



**Town of Hilton Head Island**  
**Design Review Board Meeting**  
**Tuesday, September 27, 2022 – 1:15 p.m.**  
**REVISED AGENDA**

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The Design Review Board meeting will be held in-person at Town Hall in the Benjamin M. Racusin Council Chambers.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Swearing in Ceremony for new Board Member – Tom Parker**

**4. Roll Call**

**5. Approval of Agenda**

**6. Approval of Minutes**

a. Meeting of August 23, 2022 Regular Meeting

**7. Appearance by Citizens**

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. on Monday, September 26, 2022. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

**8. Unfinished Business**

a. *Alteration/Addition*

a. *Billy Wood Appliance*, DRB 002326-2022 – Proposed changes to the building façade, color, and landscape.

**9. New Business**

a. *Alteration/Addition*

a. *Disney Resort Building 28*, DRB 002287-2022 – Proposed addition of an elevator shaft and elevated walk to improve accessibility to guest rooms.

b. *Broad Creek Marina Housing*, DRB 002326-2022 – Proposed addition of multi-family housing for workers to the existing commercial development.

c. *Nunzio's*, DRB 002303-2022 – Proposed addition of a roof over the existing deck.

**10. Board Business**

a. Proposed Amendments to Rules of Procedure – *presented by Chris Darnell*

b. Proposed Revised 2022 Meeting Schedule.

c. Review and Adoption of 2023 Meeting Schedule

**11. Staff Report**

- a. Development Review Process Improvement
- b. Minor Corridor Report

**12. Adjournment**

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**



## Town of Hilton Head Island Design Review Board Meeting

August 23, 2022, at 1:15 p.m.

Benjamin M. Racusin Council Chambers

### MEETING MINUTES

**Present from the Board:** Chair Cathy Foss; John Moleski, Annette Lippert, Ryan Bassett, Todd Theodore, Judd Carstens

**Present from Town Council:** Glenn Stanford

**Present from Town Staff:** Chris Darnell, Urban Designer; Nicole Dixon, Development Review Program Manager; Karen Knox, Senior Administrative Assistant, Brian Glover, Administrative Assistant

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#### 1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

**2. FOIA Compliance –** Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call – As Noted Above.**

**4. Approval of Agenda**

Chair Foss asked for a motion to approve the agenda. Ms. Lippert moved to approve. Mr. Moleski seconded. By a show of hands, the motion passed with a vote of 6-0.

**5. Approval of Minutes**

a. Special Meeting of August 9, 2022

b. Regular Meeting of August 9, 2022

Chair Foss asked for a Motion to approve the Minutes of the August 9, 2022, Special Meeting and the Minutes of the August 9, 2022, Regular Meeting. Mr. Moleski moved to approve. Mr. Theodore seconded. By a show of hands, the motion passed with a vote of 5-0. Mr. Carstens was not present at the August 9, 2022, Meeting.

**6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments submitted.

**7. New Business**

a. *Alteration/Addition*

i. Billy Wood Appliance, DRB-001911-2022 – Proposed changes to the building façade, color, and landscape.

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff has concerns about the island character as it relates to architecture of the purposed additions, building color, and architectural scale. Staff recommends denial.

Chair Foss asked if the Applicant would like to add to Staff's narrative. The Applicant noted he had nothing to add but was available to answer questions. Chair Foss asked about parking striping already being started on the site. Brantley King, owner of Billy Wood, stated that the striping was a requirement for insurance and was not part of the parking renovation within the application. The Board proceeded to discussion.

The Board expressed many concerns about the project. This primarily included the entry features, front fence, service yard fence, building color, light fixtures, and landscaping choices summarized below.

**Entry features:**

Many members expressed concerns about the scale of the entry features, as well as the difference in size between the two entry features. Additionally, the Board noted that the features have a top-heavy appearance. The Board recommended making changes or adding some embellishment to remedy this issue. Finally, the Board expressed concern that the second entry feature does not connect to the building. The Board noted that the front entry feature was better suited to the building but was concerned with changes or removal to the second feature.

The applicant stated that the second feature was intended to be dual purposed and serve as both an entry feature and a feature visible from right side road. The applicant acknowledged the boards concerns stated that some changes to the features could be made. The board mentioned that they would like to see improvements to the existing roadside sign, instead of the second feature's secondary purpose as a sign.

**Front Fence:**

The Board questioned the size of the screening fence on the left of the building and its purpose in the project. They felt the fence is too tall, and the Board recommends it be shortened or matched to the height of another element in the project.

The applicant stated the reason for the fence was to help guide customers towards the entry way of the building. The applicant acknowledged that the fence height could be adjusted to a different height.

**Service Yard Fence:**

The Board stated the black paint proposed is not a color which fits within the design guidelines and a dark brown or brass replacement is recommended. The Board also recommended the addition of plants in front of the fence to assist with the fence blending into the background.

The applicant stated that the primary purpose of repainting the fence was to help it blend in and that either replacement color would be acceptable.

**Building Color:**

The board expressed concern with both the white color of the building as well as its highly reflective quality. The building color does not adhere to the design guidelines. Additionally, it was noted window frames are painted the same color as the walls.

The applicant stated that the color of the rendering was not in line with the current plan and showed the Board an updated color sheet. The Board noted that the updated grey color was appropriate and well chosen for the project. The applicant stated that they would be open to painting the window frames a dark bronze to match the lighting and railing elements.

**Light Fixtures:**

The Board mentioned that the brass lighting units did not match the bronze railings used in the project. Additionally, the Board expressed concerns about the matching themes between the light fixtures for the building walls the goose-neck fixtures for the entry features.

The applicant stated there were changes being made so that all metal elements in the project would be a dark bronze. The applicant acknowledged the themes and colors of all lighting fixtures for the project would need to be chosen appropriately.

**Landscaping Choices:**

The Board recommended that the applicant consider something other inkberry which is more suited to planters. Additionally, the board recommends the applicant reconsider the foundation planting on the right side of the building.

In addition to the concerns with the presented project, the Board stated that they would like additional details to be added for the brick façades, brick plasters, and connection of the roof to the front façade.

Following discussion, Chair Foss recommended that the applicant withdraw, and the applicant officially withdrew their application.

Chair Foss thanked the applicant for their inclusion of the renderings. She stated that despite the discrepancies with the plans, the visual was very helpful for the discussion of the project. Additionally, Chair Foss expressed hope for the applicant's success with any follow-up submittals and acknowledged the difficulties with renovations over new construction.

## **8. Board Business**

Chair Foss asked if any Board Members had anything to discuss. Ms. Lippert asked if everyone had given any additional thought on changing the meeting time going forward from 1:15 p.m. to 2:30 p.m. A brief discussion was had, and Mr. Darnell advised that there were no conflicts on the schedule with Council Chambers and if the Committee desired to change the meeting time, they would have to vote on it. Ms. Lippert moved to change the start time of the Design Review Board Meetings to 2:30 p.m. Mr. Carstens seconded. Mr. Darnell asked if it would be ok to start the new meeting time with the September 27, 2022, meeting to ensure adequate notice was given to anyone attending. Ms. Lippert amended her Motion to change the start time of the Design Review Board Meetings to 2:30 p.m., starting with the September 27, 2022, meeting. Mr. Carstens

seconded the amended motion. By a show of hands, the motion passed with a vote of 4-2. Chair Foss and Mr. Moleski opposing.

## **9. Staff Report**

- a. Development Review Process Improvement – Nicole Dixon

Ms. Dixon had to leave for a meeting. This report will be on the next Agenda.

- b. Minor Corridor Report – Chris Darnell – There was no report.

- c. Meeting Efficiencies Discussion – Chris Darnell

Mr. Darnell expressed staffs concerns about the meetings taking longer than needed to cover the topics on the agenda. He stated a few things that staff felt were slowing down the meeting process and changes that could help in the future. He stressed that this was not a reprimand, but suggestions to improve future meeting efficiency.

The Board acknowledged that the meetings were longer than necessary, and changes would be helpful for both staff and board members.

## **10. Adjournment**

The meeting adjourned at 3:42 p.m.

Submitted by: Brian Glover

Administrative Assistant

**Approved: [DATE]**



**Town of Hilton Head Island**  
**Community Development Department**  
One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MIKE VACCARO Company: VACCARO ARCHITECTURE, INC.  
Mailing Address: 31 OGLETHORPE LN. City: HHI State: SC Zip: 29926  
Telephone: 843-290-3076 Fax: NONE SINCE 2009 E-mail: MIKEVACCARO7@YAHOO.COM  
Project Name: BILLY WOOD APPLIANCE Project Address: 6 MARSHLAND RD.  
Parcel Number [PIN]: R511 ØØ8 ØØA Ø1Ø8 ØØØØ  
Zoning District: LC - LIGHT COMMERCIAL Overlay District(s): COD - OCRM HIGH TIDE LINE

**CORRIDOR REVIEW, MAJOR**  
**DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:

- Concept Approval – Proposed Development  
 Final Approval – Proposed Development

Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
  - ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
  - ✓ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5/24/22

DATE

**V A C C A R O**  
ARCHITECTURE, INC.

09/12/22

Chris Darnell  
URBAN DESIGNER  
Town of Hilton Head Island  
1 Town Center Court  
Hilton Head Island, SC 29928

RE: PROJECT NARRATIVE for BILLY WOOD APPLIANCE, 6 MARSHLAND ROAD

Dear Chris:

This letter is a narrative for the renovation/addition/alteration to the existing Billy Wood Appliance store located at 6 Marshland Road. The project consists of an exterior renovation to the front and right sides (south and east facades) of the building as facing from Marshland Road as well as a parking lot update.

As this is a revised submittal, I am focusing the narrative on the changes, which are as follows. I continued the brick base all the way around the front and east corner at a constant planter top height and let that be the grounding element. Then, I omitted the screening fence at the ramp, the large corner brackets and the wooden accent panels on the wall. That cleared the way for the multi-level trellis structure. In creating the trellis work, I took the previous fence post columns to a full and constant height to act as the vertical supports for most of the trellis work except where that trellis intersects the east entry element. These two components center on each other well and tie the new brickwork to the existing building soffit horizontally and also provide a shading element to the south facade. I reevaluated both brick entry points and scaled the main entry down vertically by twenty-eight inches and scaled the east entry down in width by six feet, nine inches while reducing the height there by forty-one inches. I also swapped out the roof flashing on those two elements to a simpler 1/12 metal roof since it won't really be seen. The actual front entry door remains as previously designed but I am proposing wrapping the front windows in a stained 3x6 picture box to offset them from the stucco a bit and tie them to the main entry door in color and material finish. I kept the parking the same

What we end up with is a little more brick, a trellis and a slightly cleaner, simpler modern look, but generally speaking, the project scope is about the same. I do think this design really shows that we took strong consideration of the review board members' comments and incorporated the ideas that enhance this project. Hopefully you agree.

Please let me know your thoughts as soon as possible.

All lighting, architecture, site design, landscape design, etc. will meet the requirements of the LMO.

Please feel free to contact me anytime to discuss.

Sincerely,

  
Michael A. Vaccaro, AIA, NCARB  
President | VACCARO ARCHITECTURE, INC.  
SC Registered Architect #6618



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

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**PROJECT NAME:** Billy Wood Appliance

**PROJECT #:** DRB 001911-2022

**PROJECT ADDRESS:** 6 Marchland Road

**CATEGORY:** Alteration / Addition

**ACTION DATE:** 08/23/2022

**NOTICE DATE:** 08/29/2022

**APPLICANT/AGENT:** Mike Vaccaro

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**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**
- APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**
- DENIED**
- WITHDRAWN AT THE APPLICANTS REQUEST**

The applicant should consider the following in any new application:

1. Provide a detail for the brick pilasters.
2. Provide a detail for the connection of the roof to the front entrance façade.
3. Provide more architectural detail on the brick facades.
4. The right side façade should be architecturally connected to the building or eliminated from the project.
5. Consider enlarging the monument sign and eliminating the right side façade.
6. Study reducing the height of the fence at the handicapped ramp.
7. The back service yard fence and columns should be painted a dark color.
8. The back service yard fence should be screened with shrubs.
9. Specify a different shrub for the Inkberry better suited for planters.
10. Reconsider the foundation planting on the right side of the building.
11. The Board supported the alternate building color scheme presented at the meeting by the applicant.

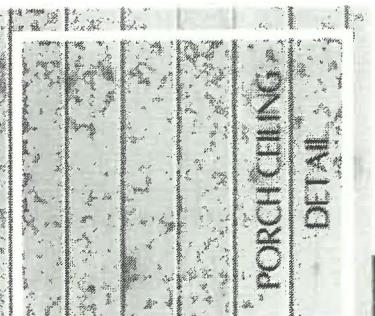
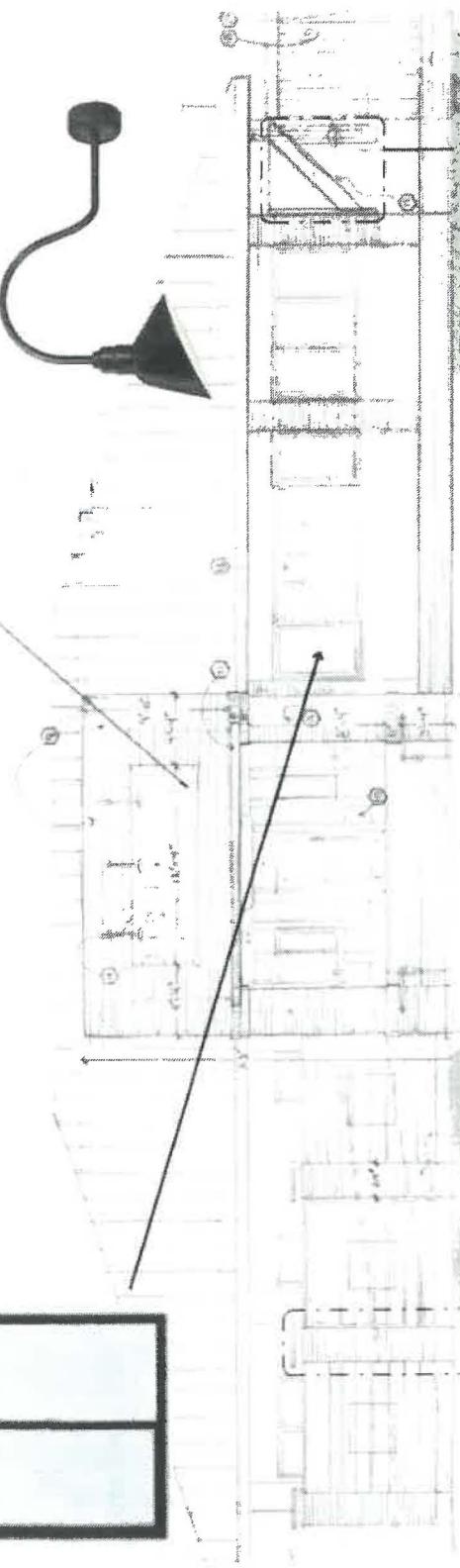
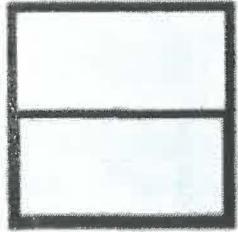
**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY: \_\_\_\_\_, Urban Designer

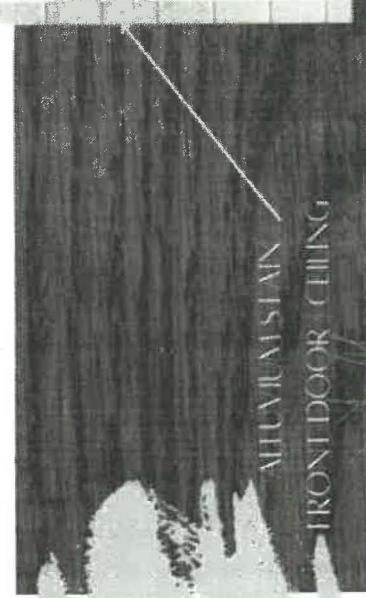
BLACK WINDOWS

EXTERIOR FINISHES



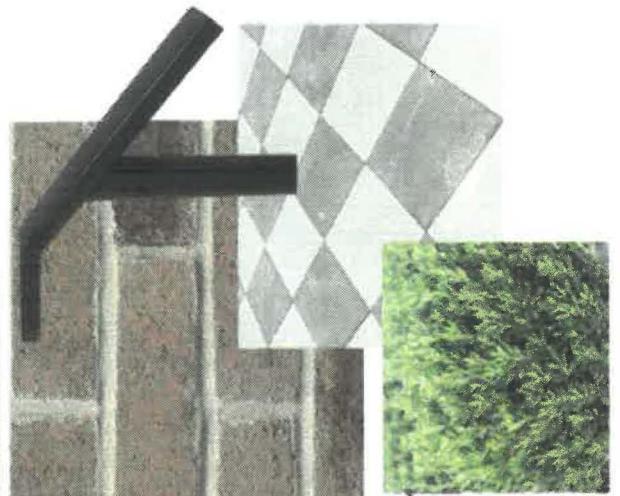
PORCH CEILING

DETAIL



ALUMINUM DOOR

REPOSI GRAY

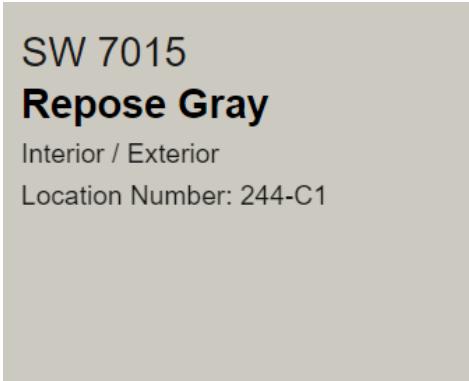
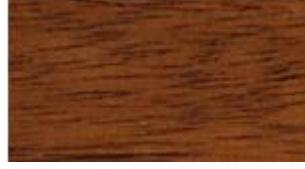


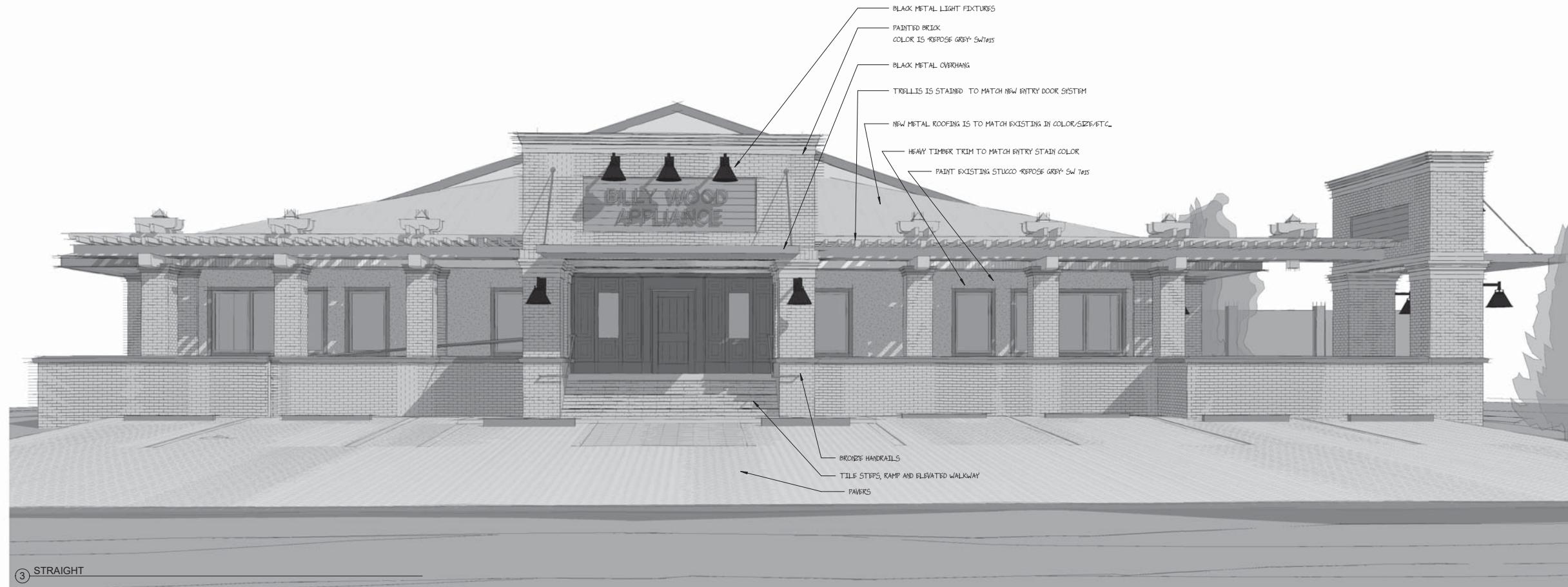
*Billy Wood Appliance*  
MOOD BOARD

HILTON HEAD | SC

# COLOR SELECTIONS

## BILLY WOOD APPLIANCE

- BRICK
  - STANDARD BRICK PAINTED  
SW 7015 REPOSE GREY
- STUCCO
  - STO STUCCO
  - "SW7015 REPOSE GREY"
- FRONT DOOR AND SURROUND
  - WOOD
  - CEDAR – NATURAL STAIN
- EXTERIOR TILES/PAVER ACCENTS
  - CONCRETE PAVERS
  - GREY/WHITE
- RENEWED PARKING LOT AREA PAVERS
  - HYDRAPLANK PERMEABLE PAVER GREY
- ROOF SHINGLES
- MATCH EXISTING METAL ROOFING”
- RAILINGS
  - BRONZE



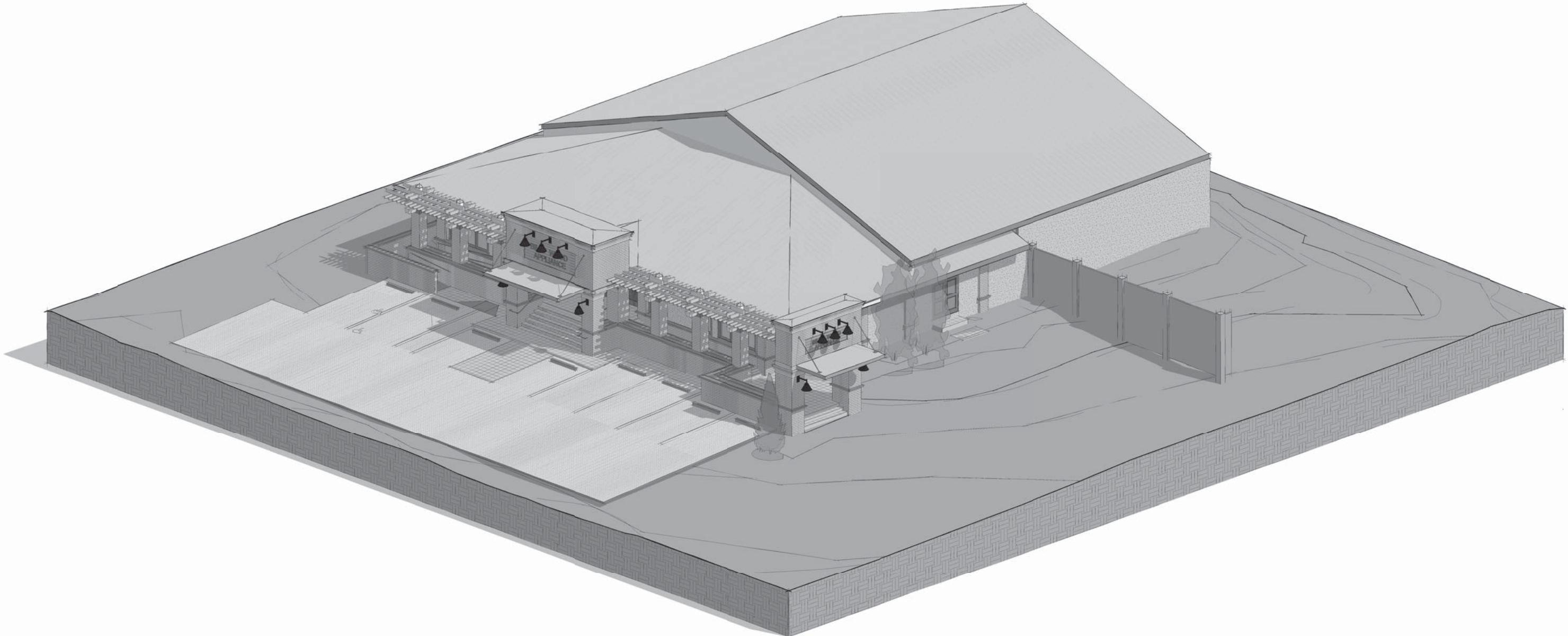
FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**

6 MARSHLAND ROAD

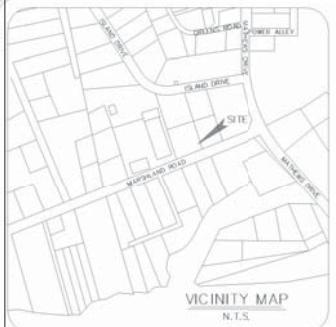
**VACCARO**  
ARCHITECTURE, INC.

843.290.3076  
email: mikevaccaro7@yahoo.com

**R1**  
3D



FAÇADE DESIGN FOR: <b>BILLY WOOD APPLIANCE</b>	
6 MARSHLAND ROAD	
VACCARO ARCHITECTURE, INC.	R2
843.290.3076 email: mikevaccaro7@yahoo.com	PRINT DATE 9/12/2022 9:56:52 PM



AREA OF WORK

PARCEL 11F

LEGEND & SYMBOLS:	
Tree sizes are inches in diameter.	
SPOT ELEVATION	
CMF	CONCRETE MONUMENT FOUND
TBM	TEMPORARY BENCH MARK
IE	INVERT ELEVATION
FFE	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
HDP	HIGH DENSITY POLYETHYLENE PIPE
LO	LIVE OAK
LAO	LAUREL OAK
MAG	MAGNOLIA
RO	RED OAK
PIN	PINE
PALM	PALM
WO	WATER OAK
GUM	GUM
WAX	WAX MYRTLE
BIR	BIRCH
BTR	ELECTRIC TRANSFORMER
TEL	TELEPHONE SERVICE
TV	TELEVISION SERVICE
WM	WATER METER
VBX	VALVE BOX
SIGN	SIGN
FOM	FIBER OPTIC MANHOLE
TRASH	TRASH CAN
CATCH	CATCH BASIN
MAIL	MAIL BOX
AC	AC UNIT
IPF	1/2" IRON PIN FOUND
PKS	NAIL IN PAVEMENT SET

## REFERENCE PLAT

1) COMMERCIAL SUBDIVISION PREPARED FOR, NEXUS PROPERTIES LTD.  
2) HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C.  
DRAWN: 12/28/83  
RECORDED IN BOOK 35, PAGE 94, DATED 3/3/88  
ROD: BEAUFORT COUNTY, SC  
BY: M.A. DUNHAM S.C.R.L.S. # 11599

PROPERTY AREA = 0.82 Ac. 35,688 Sq. Ft.  
ADDRESS: 6 MARSHLAND ROAD

DISTRICT: 511, MAP: 8A, PARCEL: 108

THIS PROPERTY LIES IN F.E.M.A. ZONE X; AE  
BASE FLOOD ELEVATION = N/A; 7.0'  
COMMUNITY NO. 450250, PANEL 0454G, DATED: 3/23/2021

## NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) SEA ISLAND LAND SURVEY, LLC, CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR PLANNING AND DESIGN PURPOSES ONLY. THIS SURVEY IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC, WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS LOCAL.
- 5) VERTICAL DATUM IS NAVD88.

## 6) CONTOUR INTERVAL: 1'.

- 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
- 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
- 9) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
- 10) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

THIS DOCUMENT ORIGINALLY ISSUED AND  
SEALED BY JUSTIN R. KESSELING S.C.R.L.S. # 29901  
THIS ELECTRONIC MEDIA SHALL NOT BE  
CONSIDERED A CERTIFIED DOCUMENT.  
A CERTIFIED HARDCOPY MAY BE OBTAINED FROM  
SEA ISLAND LAND SURVEY UPON REQUEST

d.b.a. Sea Island Land Survey, Inc.

Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: admin@mandinainc.com  
FILE No.: 22104  
DWG No.: 5-2386 E

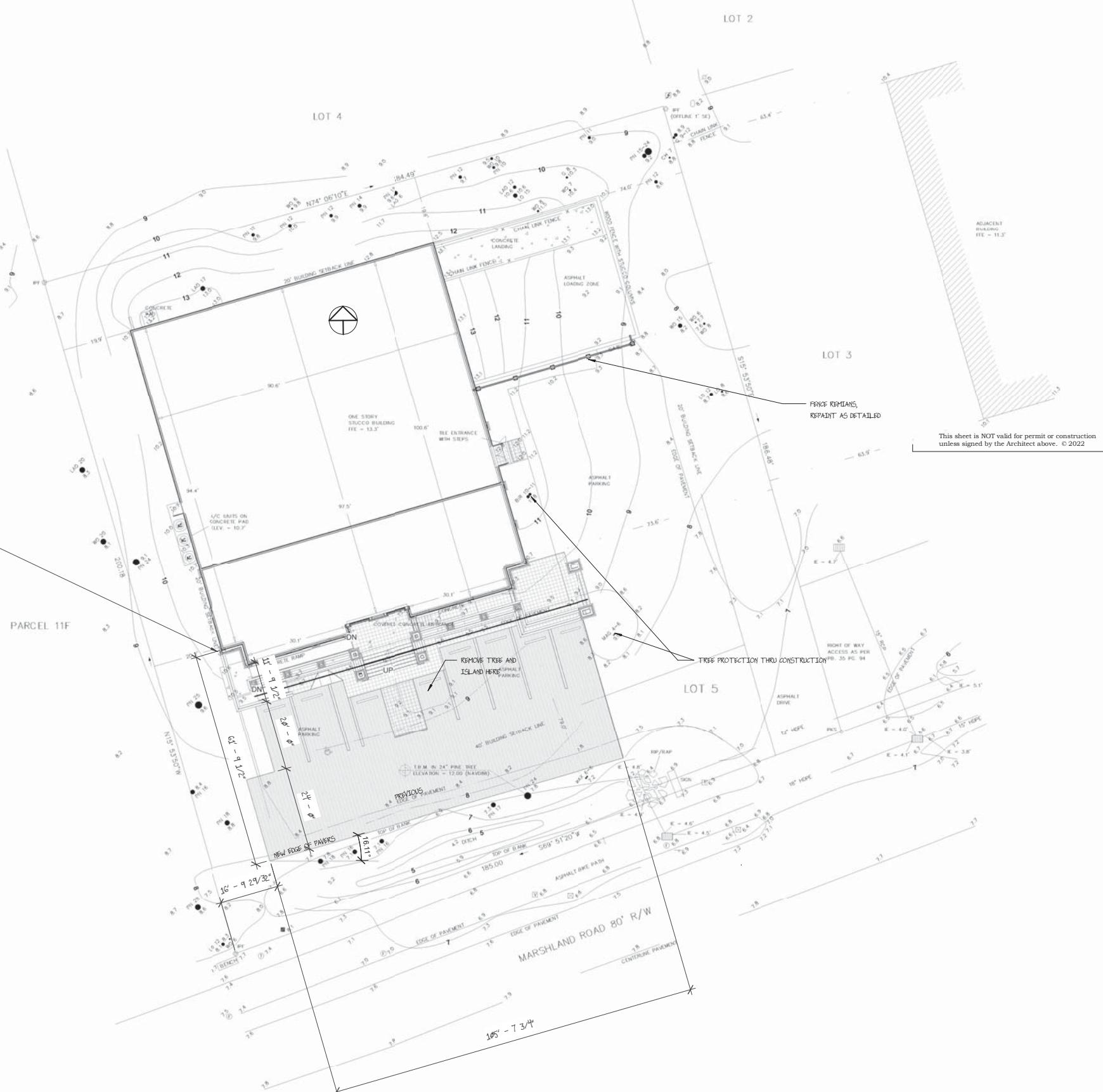
REFERENCE PLAT

A RENOVATION FOR:  
**BILLY WOOD APPLIANCE**

6 MARSHLAND ROAD

**VACCARO**  
ARCHITECTURE, INC.

**AO**  
SITE  
PRINT DATE  
9/1/2022 9:56:54 PM  
843.290.3076  
email: mikevaccaro7@yahoo.com

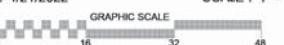


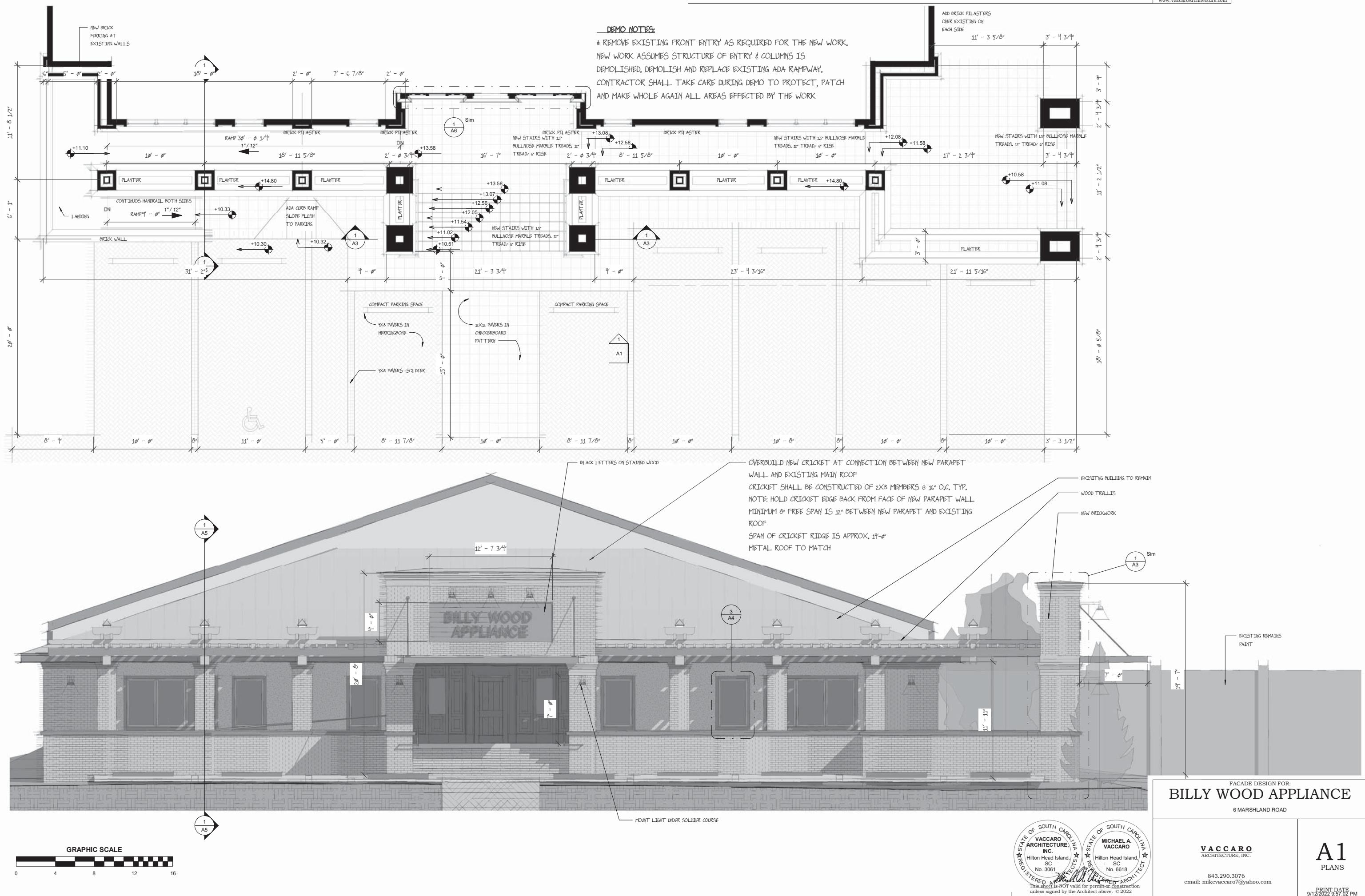
ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
LOT 5, COMMERCIAL SUBDIVISION,  
MARSHLAND ROAD, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

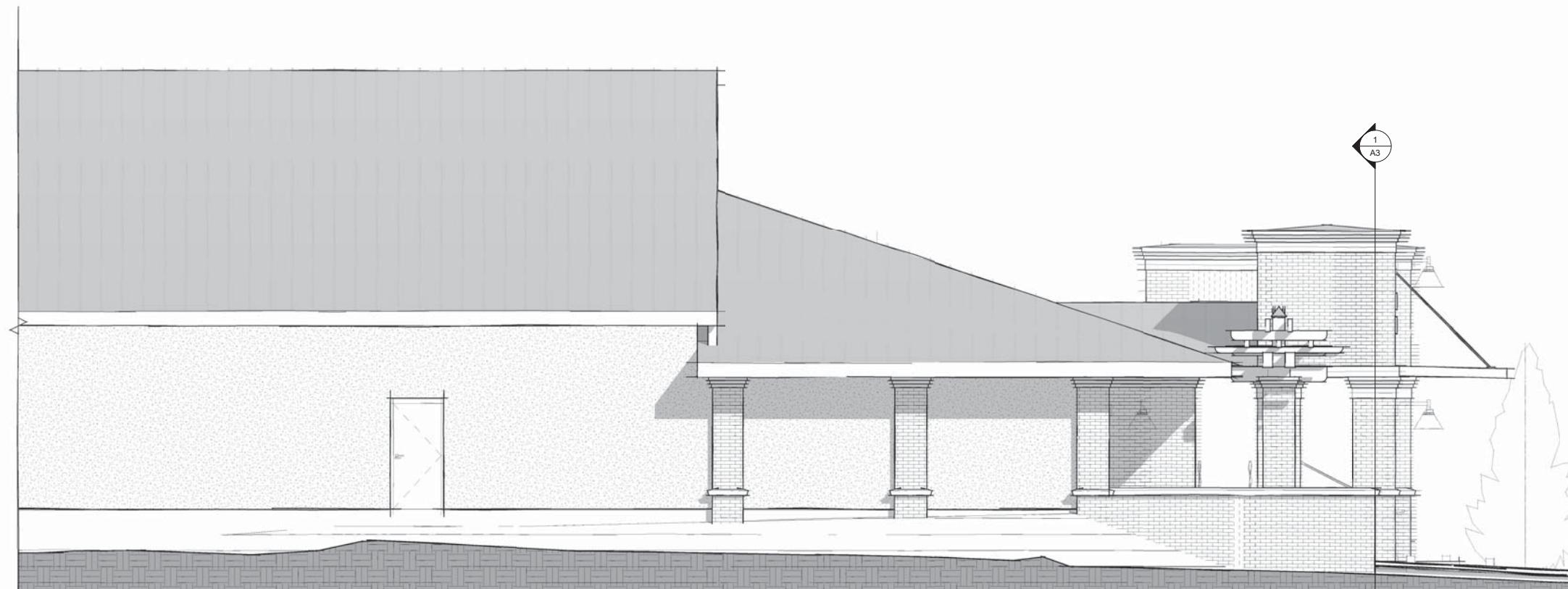
PREPARED FOR:  
BRANTLEY KING

DATE : 4/21/2022

SCALE : 1" = 16'







GRAPHIC SCALE

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unless signed by the Architect above. © 2022

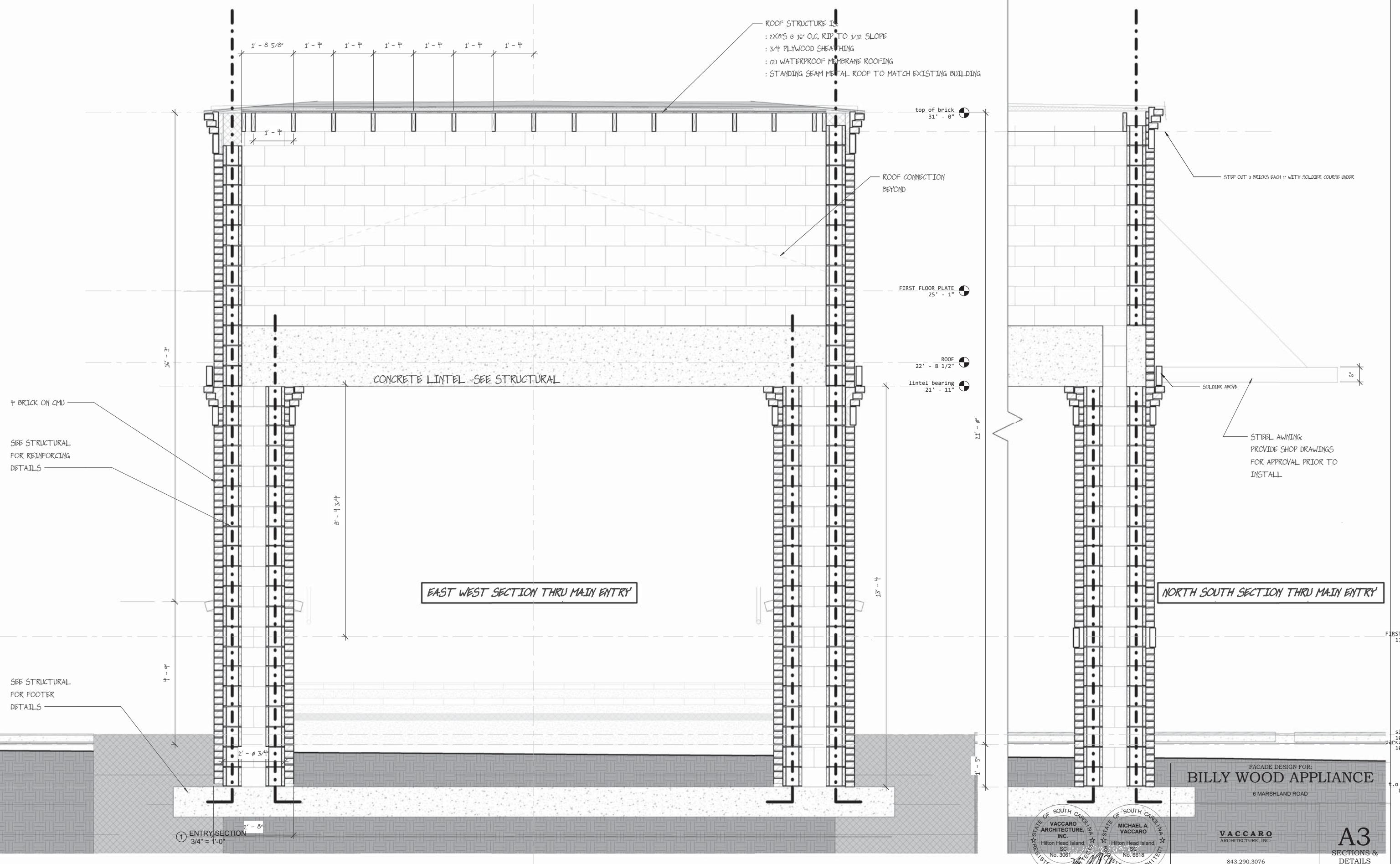
FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
6 MARSHLAND ROAD

VACCARO  
ARCHITECTURE, INC.

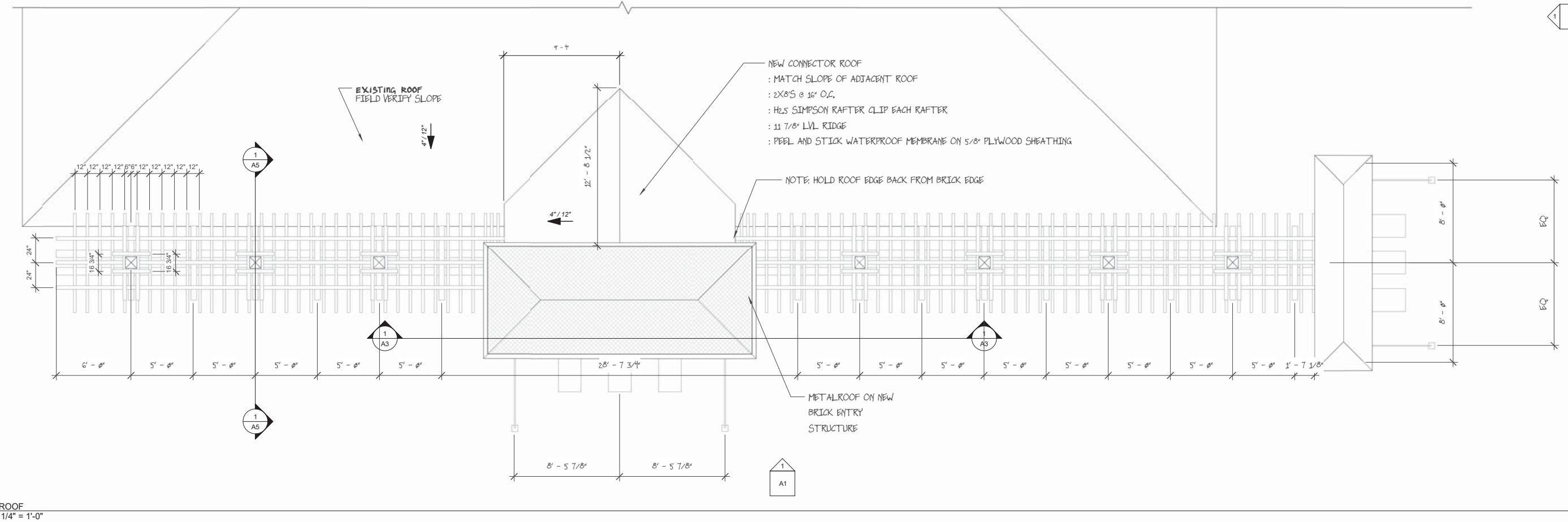
843.290.3076  
email: mikevaccaro7@yahoo.com

A2  
ELEVATIONS

PRINT DATE  
9/12/2022 9:57:06 PM

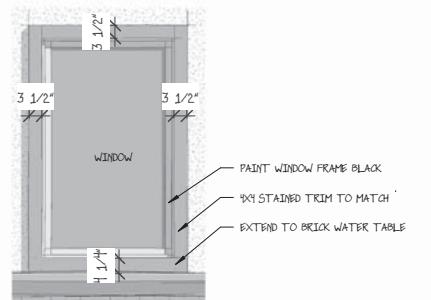


A2



A1

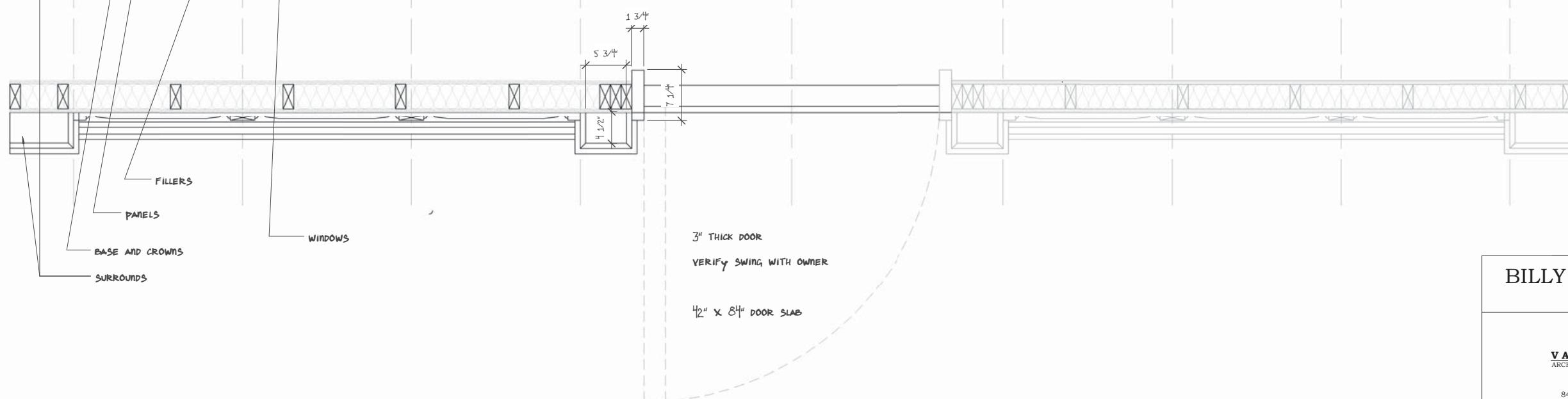
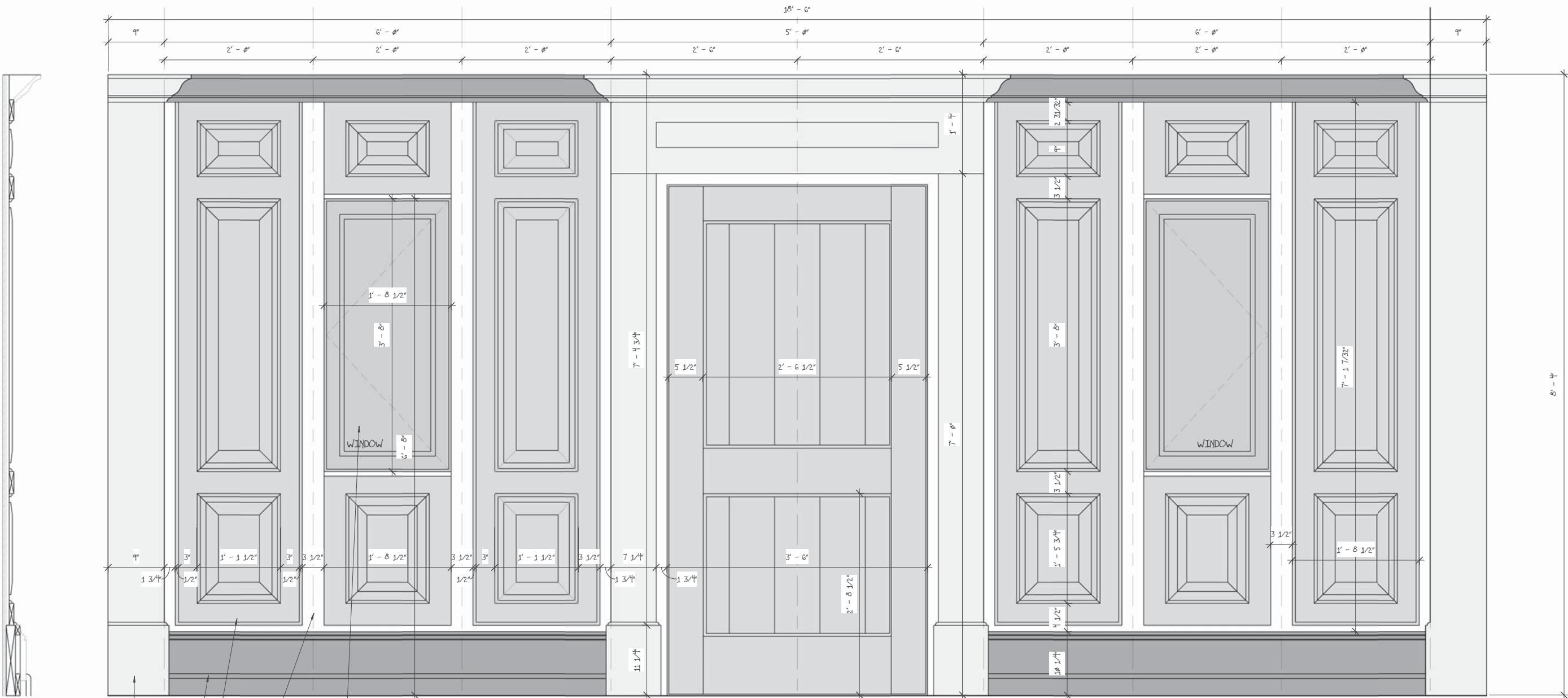
A2



FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**

6 MARSHLAND ROAD

VACCARO  
ARCHITECTURE, INC.**A4**  
DETAILS843.290.3076  
email: mikevaccaro7@yahoo.comThis sheet is NOT valid for permit or construction  
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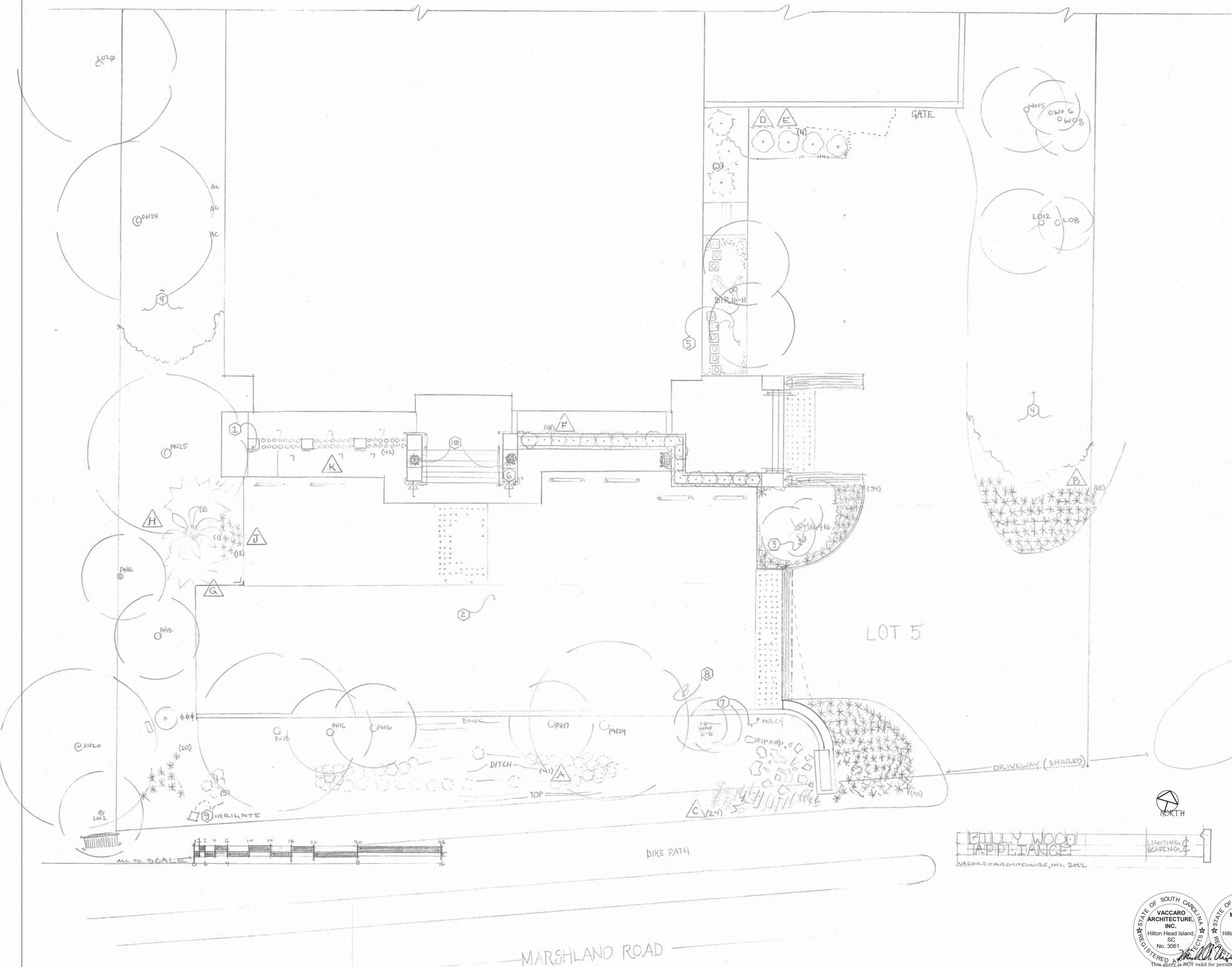


FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**

6 MARSHLAND ROAD

A6  
FRONT DOOR

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FAÇADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**

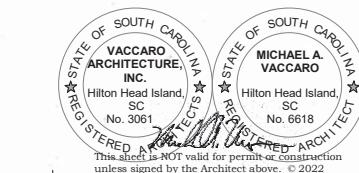
6 MARSHLAND ROAD

VACCARO  
ARCHITECTURE, INC.

843.290.3076  
email: mikevaccaro7@yahoo.com

**L1**

Landscaping Plan



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PRINT DATE  
9/12/2022 9:57:10 PM

- TEXT NOTES:**
1. PROVIDE "KICHLER" 12V LED 3000K HALF MOON DECK LIGHT IN CENTENNIAL BRASS FINISH LOW VOLTAGE LIGHTING FIXTURE MOUNTED @ CENTER OF EXTERIOR FACE AND 30° AFF - AND IRRIGATION AT BASE OF EACH OF (3) RAMP COLUMNS
  2. PARKING LOT - SEE ARCHITECTURAL SITE PLAN
  3. PROVIDE "KICHLER" 12V 50W 1 LIGHT ACCENT LIGHT IN TEXTURED ARCHITECTURAL BRONZE FINISH.
  4. EXISTING LANDSCAPING UNFFECTED BY PROJECT TO REMAIN INTACT
  5. EXPERIMENTAL GARDEN:  
AREA BEHIND CURB TO BE ORGANIC MULCH WITH 2" X 2" PAVER STEPPING STONES WITH POTTED PLANTS, POTS AND PLANTS BY OTHERS, LANDSCAPER TO PROVIDE IRRIGATION TO EACH OF (4) PLANTERS AND EXISTING BIRCH TREES
  6. WALL SCONCE, TYPICAL OF (4) AT ENTRY POINTS:  
KICHLER GROVE MILL™ 3 LIGHT WALL LIGHT POLISHED BRASS PROVIDE (3) 30 WATT BULBS PER FIXTURE
  7. MULCH THE ENTIRE PROPERTY IN NEW PINESTRAW MULCH
  8. TYPICAL EXISTING TREE CANOPY
  9. VERIFY IRRIGATION ON SITE, PROJECT AREA TO BE IRRIGATED WITH NEW OR RENOVATED EXISTING IRRIGATION SYSTEM
  10. PROVIDE DRIP IRRIGATION AT TWO POTTED PLANT LOCATIONS IN ENTRYWAY

#### PLANTING PLAN

MARK	COUNT	COMMON NAME / SPECIES	SIZE
A.	41	BLUE FLAG IRIS <i>IRIS VERSICOLOR</i>	1 GALLON
B.	201	MUHLY GRASS <i>MUEHLENBERGIA CAPILLARIS</i>	1 GALLON
C.	41	LIZARD TAIL <i>Saururus Cernua</i>	1 GALLON
D.	3	STAR ANISE <i>Illicium Floridanum</i>	3 GALLON
E.	4	YAUPON HOLLY <i>Ilex vomitoria</i>	7 GALLON
F.	18	AZTEC GRASS <i>Liriope Muscari</i>	1 GALLON
G.	LOT 3	SAW PALMETTO <i>Serenoa Repens</i>	7 GALLON
H.	1	SALT MYRTLE <i>Baccharis halimifolia</i>	15 GALLON
J.	12	WILD GINGER <i>Asarum Canadense</i>	1 GALLON
K.	18	AZTEC GRASS <i>Liriope Muscari</i>	1 GALLON

#### LANDSCAPING NOTES

GENERAL CONTRACTOR SHALL PROVIDE LANDSCAPER WITH FINAL ROUGH GRADE THAT IS GENERALLY FREE OF DEBRIS, AND EVENLY SLOPED AWAY FROM ALL STRUCTURES/ ROAD AND WALKING SURFACES. LANDSCAPER IS RESPONSIBLE FOR PROVIDING FINISH GRADE, FINAL SURFACE COVERING AND LOW VOLTAGE LIGHTING AS REQUIRED FOR THE WORK.

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Billy Wood Appliance

DRB#: DRB-002291-2022

DATE: 09/16/2022

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval

Approval with Conditions

Denial

RECOMMENDED CONDITIONS:

Provide the following for Staff review and approval:

1. Specify on the drawings the proposed color and that the entire building will be painted.
2. Specify on the drawings the proposed color of the service yard fence.
3. Provide manufacturer cut sheets for the proposed light and building fixtures.
4. Revise the landscape plan to add more shrubs to screen the service yard fence.
5. Provide a plan specifying tree protection for the tree at the corner of the building.

### ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
All facades shall have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"In addition, all sides of a structure should be given the same design consideration as the entrance or street façade." (Design Guide, page 12) Specify on the drawings that the entire building will be painted.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide manufacturer cut sheets for the proposed fixtures.

## **LANDSCAPE DESIGN**

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>1. Per NOA - The back service yard fence should be screened with shrubs. The plating shown is not adequate.</li> <li>2. The side landscaping between the building and the parking lot is not adequate.</li> </ol>

## **NATURAL RESOURCE PROTECTION**

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify tree protection on the drawings for the tree at the corner of the building.

## **MISC COMMENTS/QUESTIONS**

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov) or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.
3. Per NOA - Provide a detail for the brick pilasters.
4. Per NOA - The back service yard fence and columns should be painted a dark color.



**Town of Hilton Head Island**  
**Community Development Department**  
One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

**FOR OFFICIAL USE ONLY**

Date Received: \_\_\_\_\_

Accepted by: \_\_\_\_\_

DRB #: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Sam Elsheikh Company: Ohlson Lavoie Corporation  
Mailing Address: 2295 S. Hiawassee Rd, Suite 310 City: Orlando State: FL Zip: 32835  
Telephone: (407) 992-0470 Fax: N/A E-mail: selsheikh@olcdesigns.com  
Project Name: Elevator Addition Disney's Hilton Head Island Resort - Building 28 Project Address: 22 Harbourside Lane  
Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 3 3 0 0 0 0 Overlay District(s): COD - OCRM High Tide Line  
Zoning District: PD-1 Planned Development

**CORRIDOR REVIEW, MAJOR  
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:

Concept Approval – Proposed Development  
 Final Approval – Proposed Development

Alteration/Addition  
 Sign

Submittal Requirements for **All** projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

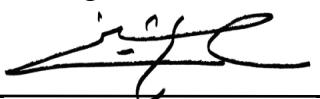
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



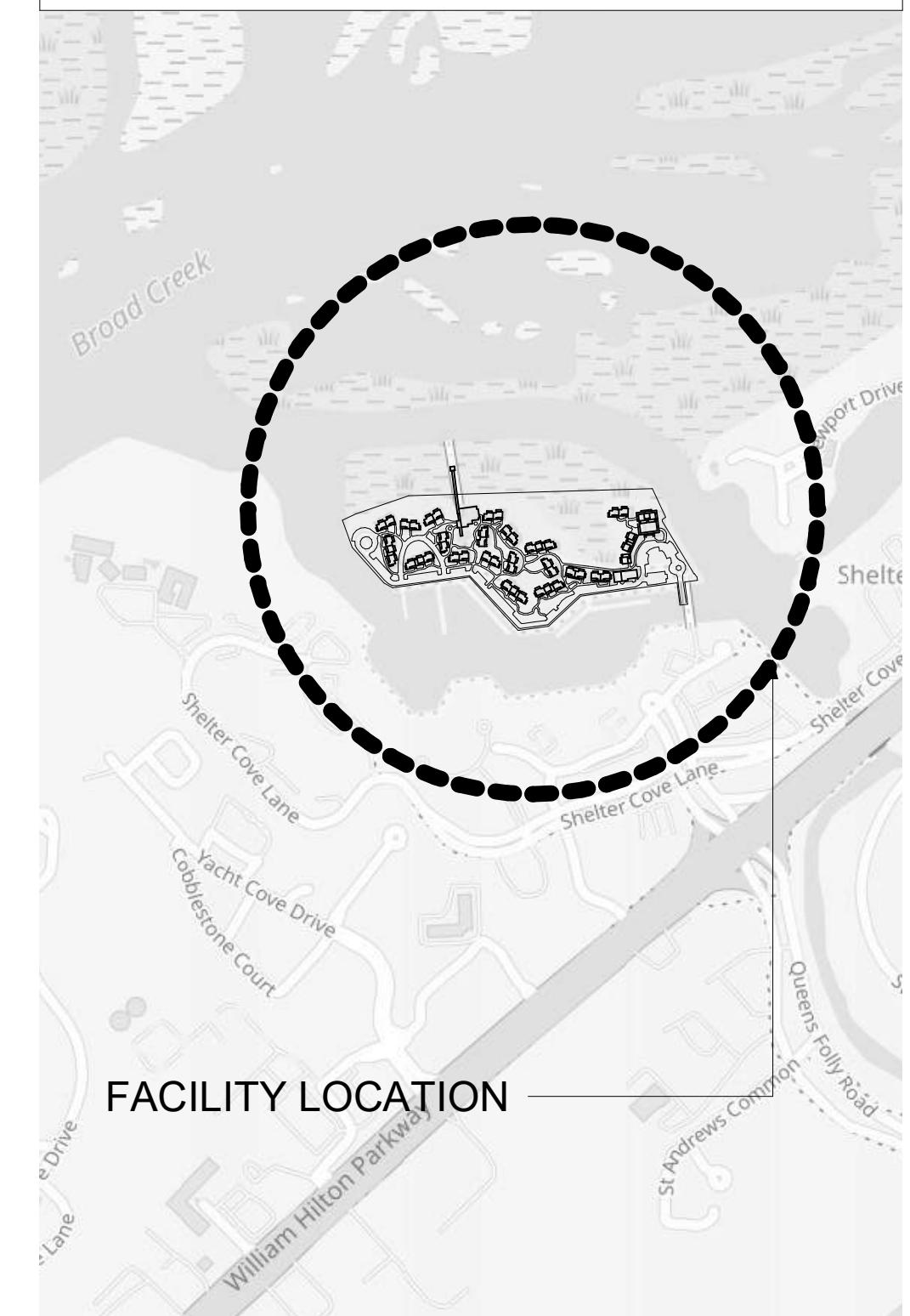
SIGNATURE

09/09/2022

DATE



LOCATION MAP



## PROJECT DIRECTORY

**ARCHITECT OF RECORD**  
OHLSON LAVOIE COLLABORATIVE  
2295 S. Hiawassee Road, Suite 310  
Orlando, Florida, 32835  
Phone (407) 992-0470

**STRUCTURAL AND MEP**  
TLC ENGINEERING SOLUTIONS  
255 S Orange Ave # 1600, Orlando, FL 32801  
Phone (407) 841-9050

## CODE INFORMATION

- 2018 SOUTH CAROLINA BUILDING CODE.
- ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2017 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA PLUMBING CODE.
- 2018 SOUTH CAROLINA MECHANICAL CODE.
- ENERGY CONSERVATION CODE 2009 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA FUEL GAS CODE.
- NATIONAL ELECTRICAL CODE 2017 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA FIRE CODE.

## SUMMARY

ADDRESS: 22 HARBOURSIDE LINE, HILTON HEAD, SC 29928  
CONSTRUCTION TYPE: TYPE V-B  
OCCUPANCY: R-1  
  
PROJECT SCOPE: ELEVATOR AND UPPER WALKWAY ADDITION TO  
BUILDING 28.

## FACILITY LOCATION



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED FOR  
  
Disney's  
HILTON HEAD ISLAND  
RESORT  
A Disney Vacation Club Resort

## LIST OF DRAWINGS

1. COVER/ INDEX
2. LIST OF DRAWINGS AND NARRATIVE
3. EXISTING SURVEY
4. EXISTING PHOTOS
5. OVERALL SITE PLAN
6. DEMOLITION SITE PLAN
7. NEW SITE PLAN
8. LANDSCAPE AND LIGHTING PLAN
9. GROUND FLOOR PLAN
10. FIRST FLOOR PLAN
11. SECOND FLOOR PLAN
12. EXTERIOR ELEVATION - SOUTH
13. EXTERIOR ELEVATION - EAST
14. EXTERIOR ELEVATION - WEST
15. BUILDING SECTIONS
16. BUILDING SECTIONS
17. SECOND FLOOR WALKWAY LIGHTING PLAN
18. SECOND FLOOR LIGHT FIXTURE SPECIFICATIONS
19. SECOND FLOOR LIGHT FIXTURE SPECIFICATIONS
20. LOWER FLOORS WALKWAY LIGHTING PLAN
21. LOWER FLOORS LIGHT FIXTURE SPECIFICATIONS
22. LOWER FLOORS LIGHT FIXTURE SPECIFICATIONS
23. RENDERING
24. RENDERING
25. MATERIAL BOARD

## NARRATIVE

This project is adding a hydraulic Limited Use/ Limited Application elevator to an existing two-story hotel building at 22 Harbourside Lane in Disney's Hilton Head Island Resort. Along with the addition of a new elevator, there will be a new exterior walkway at both floor levels, as well as minor planting and hardscape modifications.

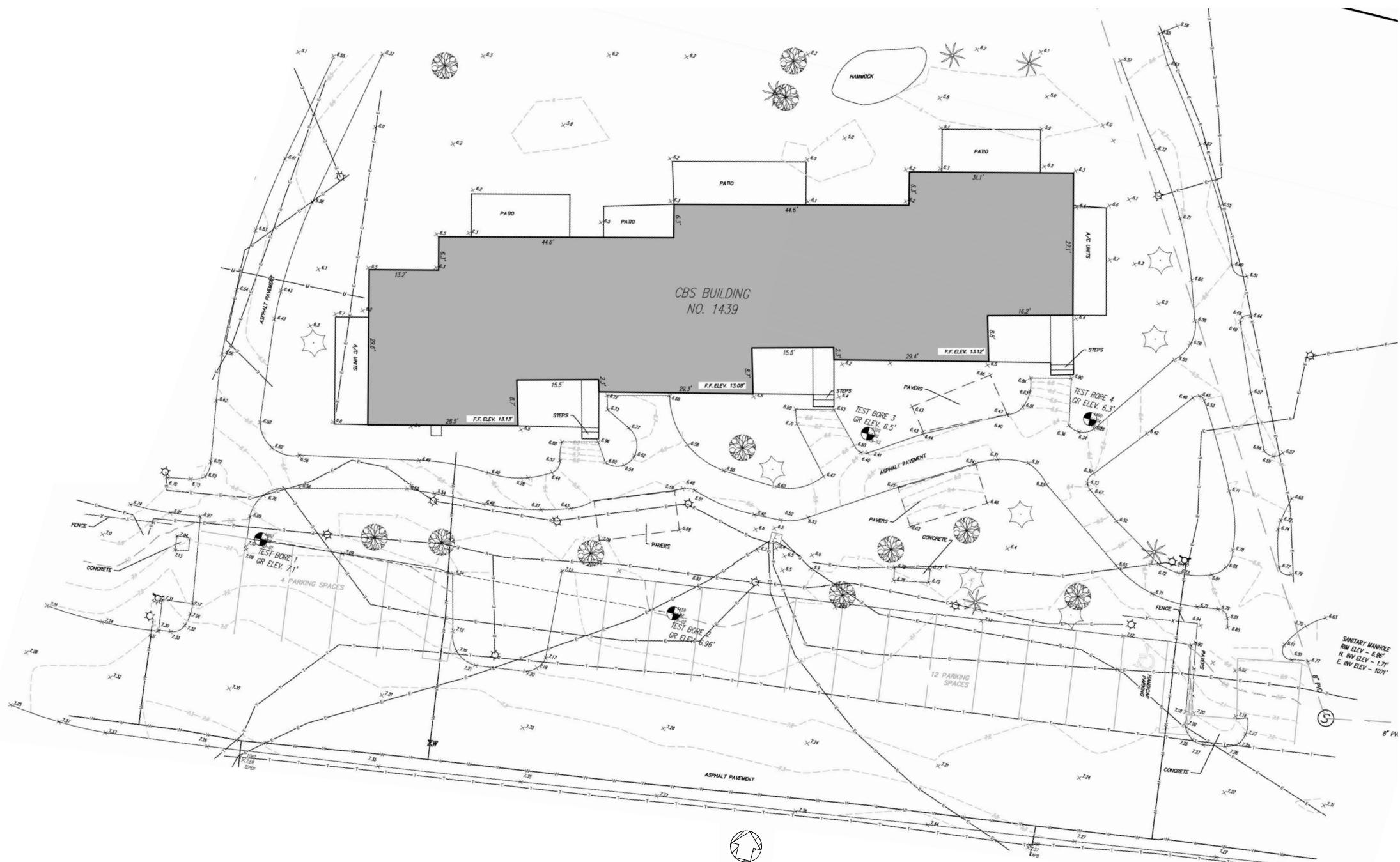
The architecture is designed to match the existing Hilton Head Island Resort main guestroom buildings, and to keep with the "Island Character" outlined by the Town of Hilton Head. The elevator shaft will be constructed using masonry construction, and will feature the same wood plank siding that is located on the existing main guestroom buildings. The shaft will be topped by a high-slope pitched roof to match the existing roof slope and roof type. The new exterior walkways that will link the elevator with the existing guestrooms will depict a similar language to the existing exterior stairways found on all guestroom buildings. The use of wood timber posts, bracing, and wood plank decking all blend seamlessly with the architecture exuded from the original design and campus. Lastly, all exterior paint colors are intended to match the existing color scheme of Building 28.



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION



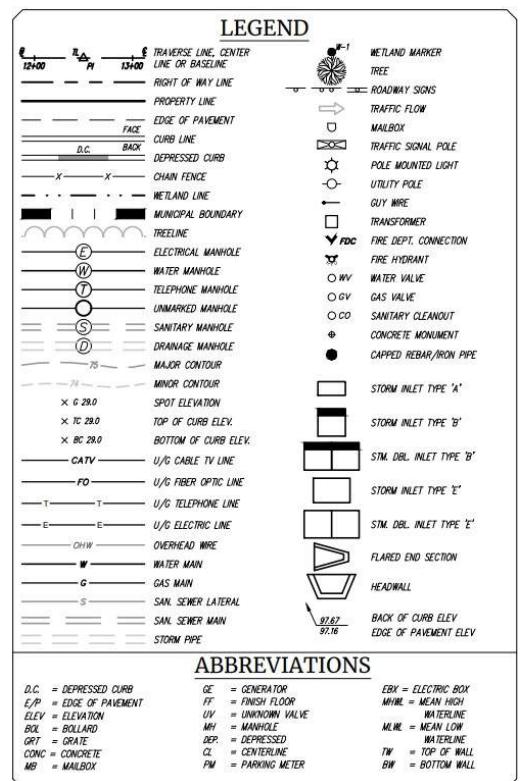


## EXISTING SURVEY SITE PLAN

SCALE: 3/64" = 1'-0" 0 21' 43' 86'



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

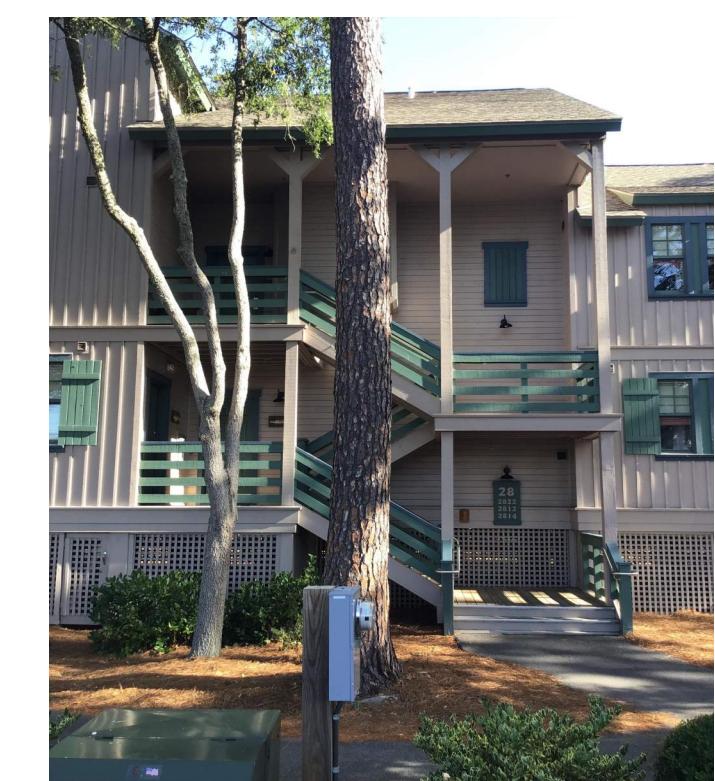


### SURVEY NOTES

1. THIS PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED PROFESSIONAL IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS PLAN BEYOND ITS INTENDED PURPOSE.
2. THE PURPOSE OF THIS SURVEY IS TO SHOW AS-BUILT CONDITIONS OF THE SURVEY AREA.
3. THIS TOPOGRAPHIC SURVEY MEETS 1' CONTOUR REQUIREMENTS BUT IS DISPLAYED AT 0.1' OVER IMPERVIOUS AREAS PER CLIENT REQUEST.

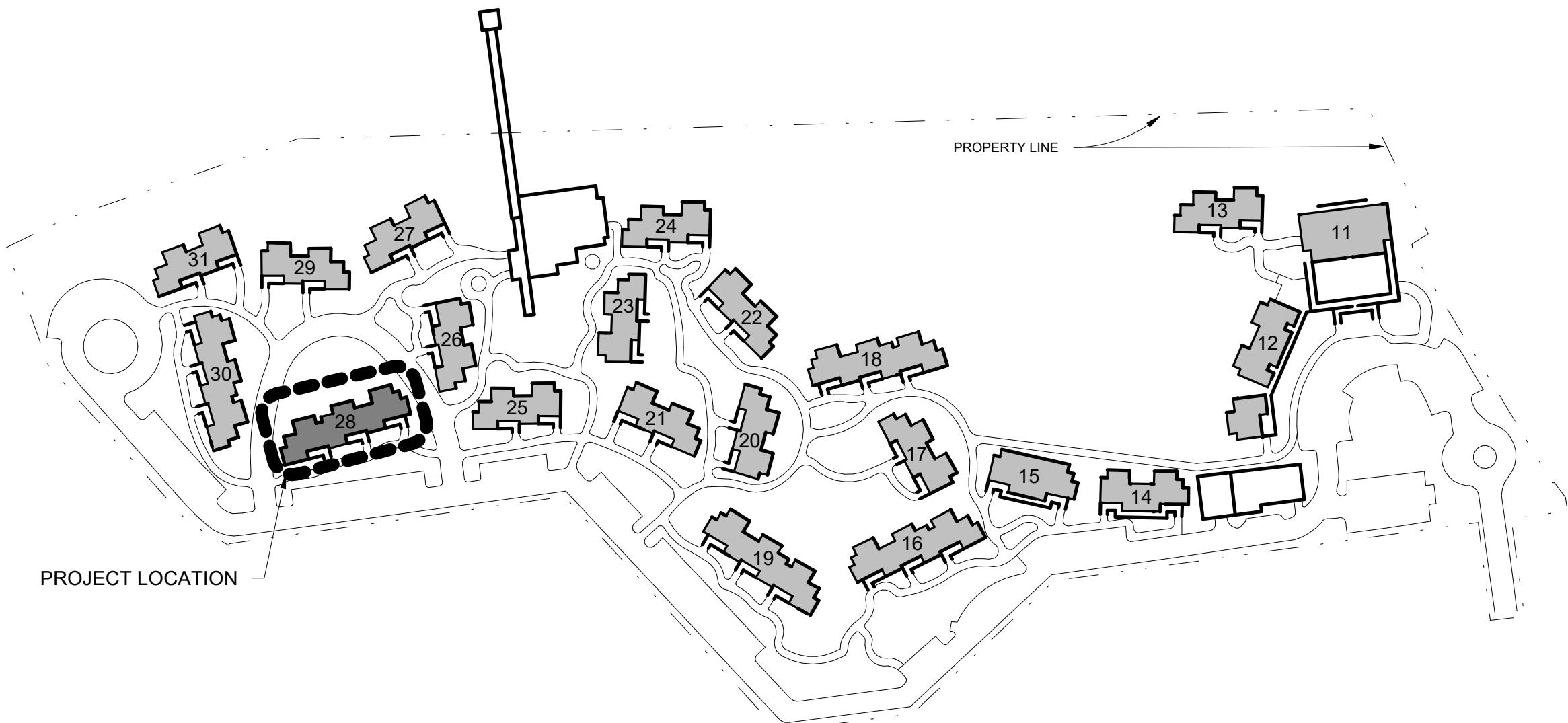


EXISTING PHOTOS



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





## OVERALL SITE PLAN



SCALE: 1" = 300'-0"

0

300' - 0"

600' - 0"

1200' - 0"

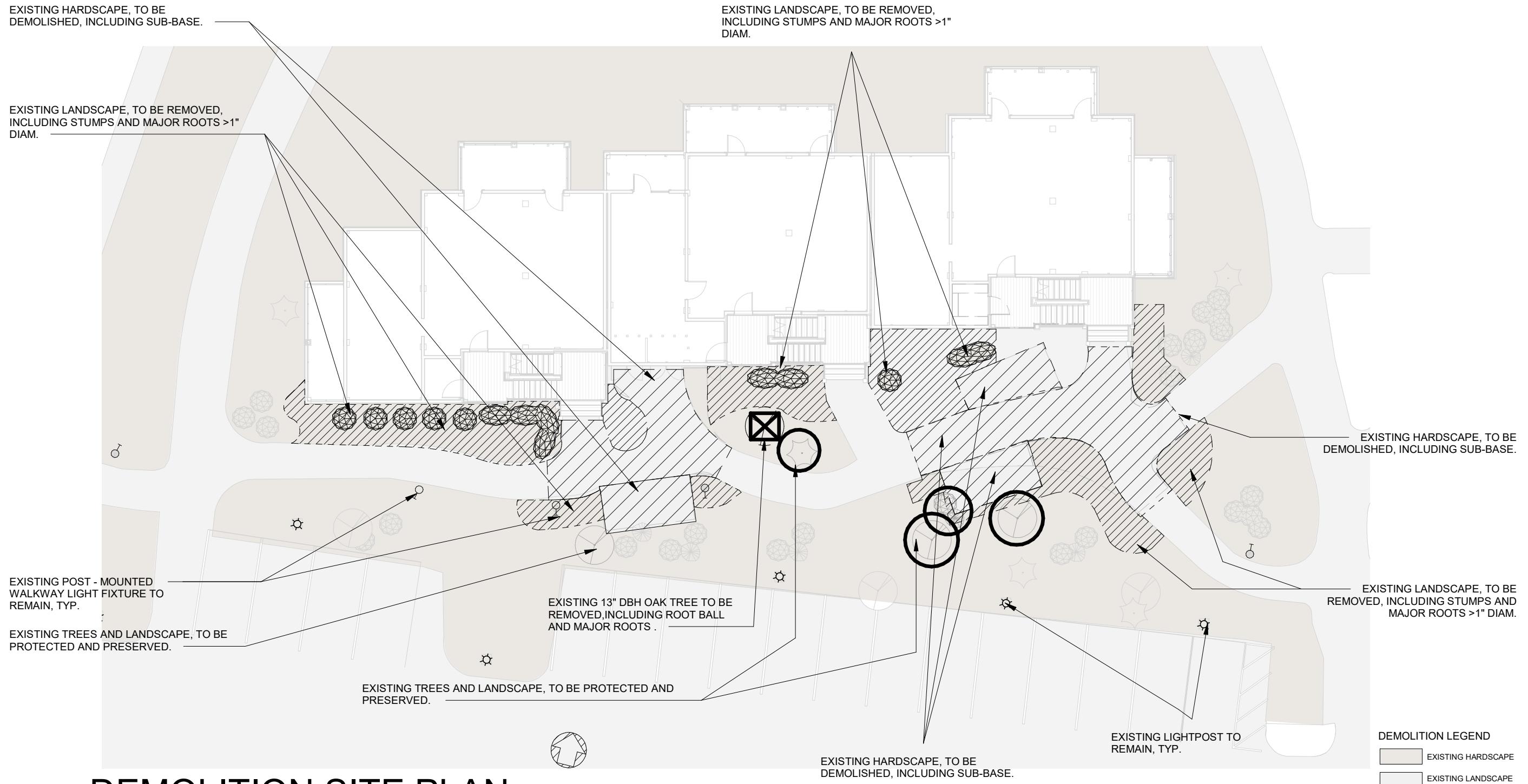


DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR  
  
Disney's  
HILTON HEAD ISLAND  
RESORT  
A Disney Vacation Club Resort





## DEMOLITION SITE PLAN

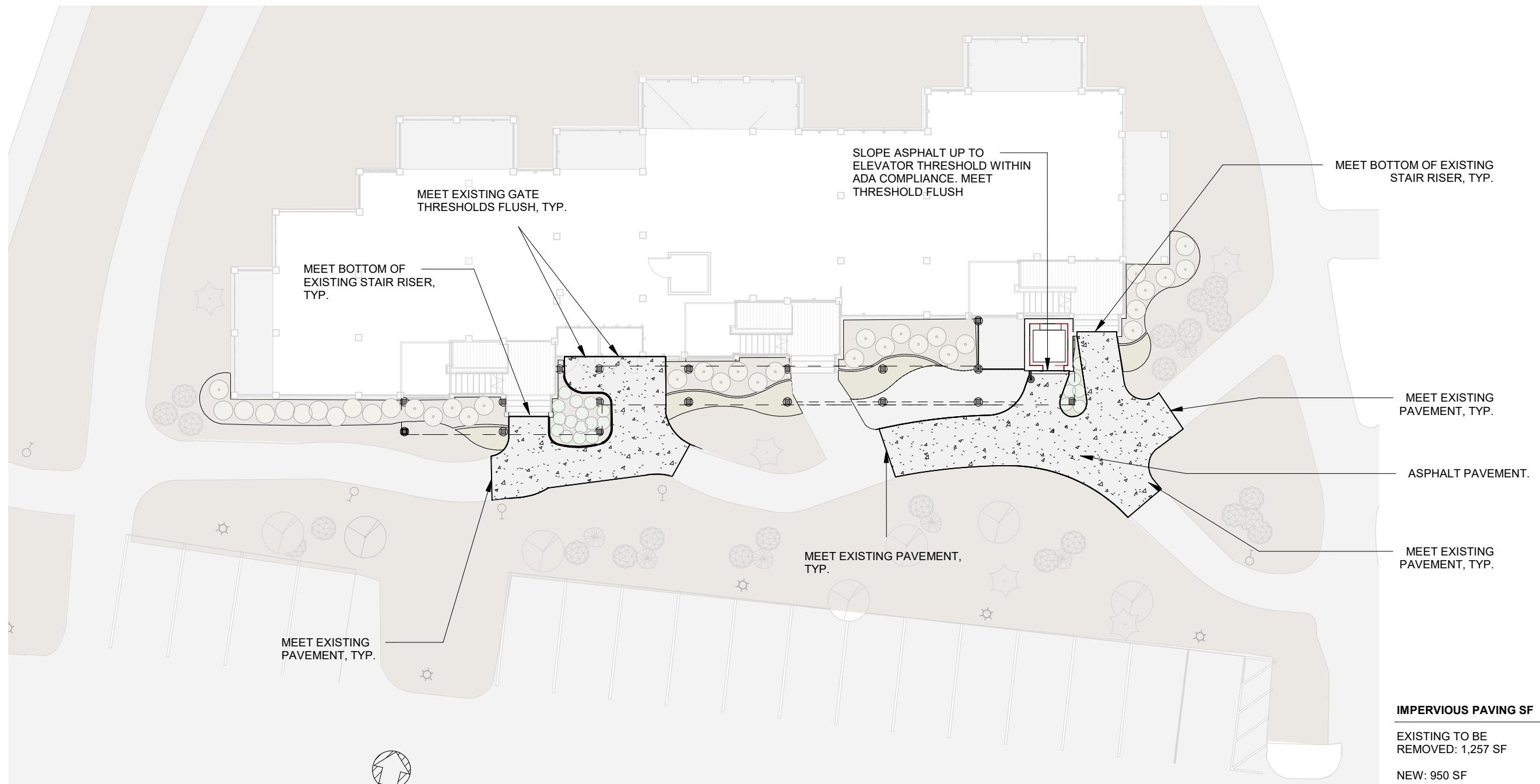
SCALE: 1/16" = 1'-0" 0 16' - 0" 32' - 0" 64' - 0"

DEMOLITION LEGEND	
	EXISTING HARDSCAPE
	EXISTING LANDSCAPE
	HARDSCAPE DEMOLITION
	LANDSCAPE DEMOLITION



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





## NEW SITE PLAN

SCALE: 1/16" = 1'-0" 0 16' - 0" 32' - 0" 64' - 0"

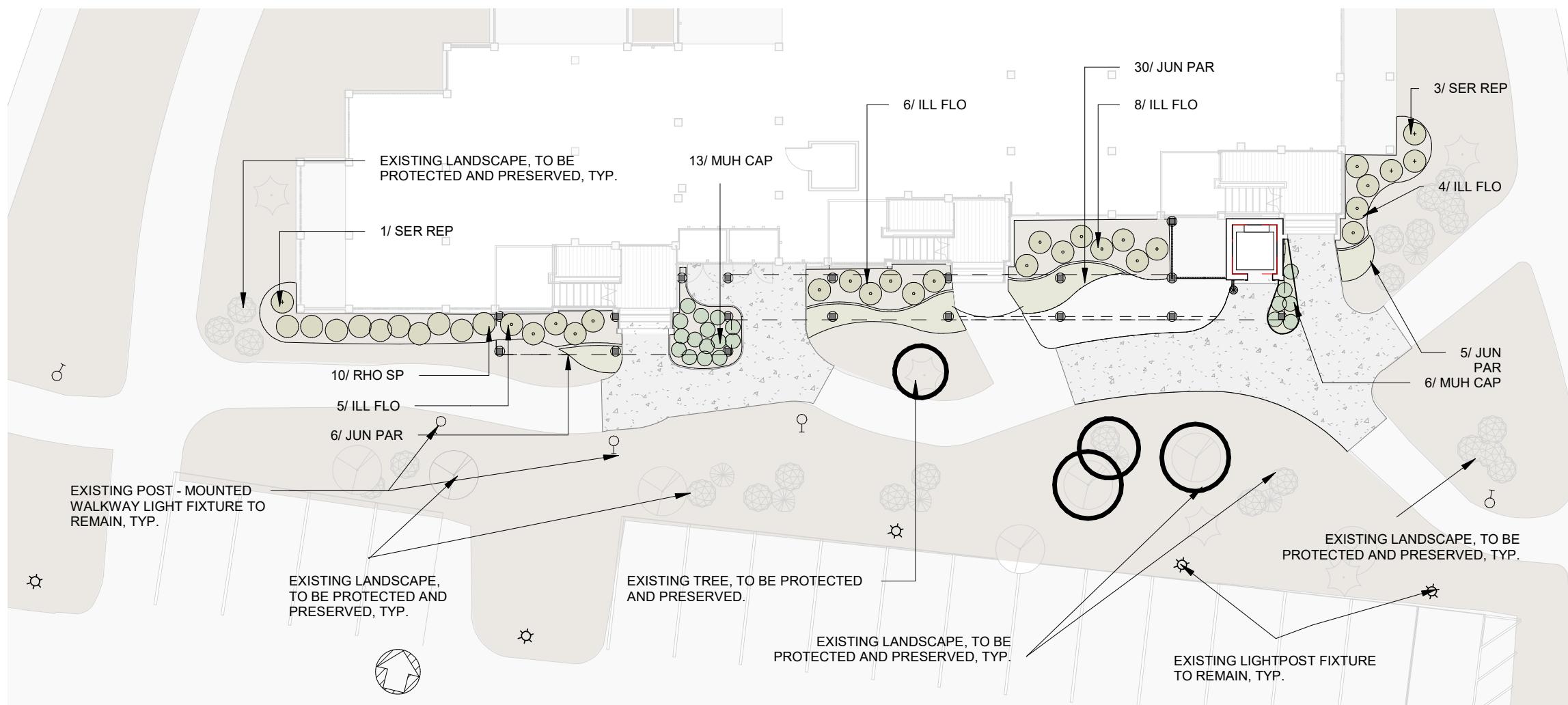


DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED FOR

Disney's  
HILTON HEAD ISLAND  
RESORT  
A Disney Vacation Club Resort



## LANDSCAPE AND LIGHTING PLAN

SCALE: 1/16" = 1'-0"

0      16' - 0"      32' - 0"      64' - 0"

NOTES:

- MARK TREES TO BE PROTECTED AND PRESERVED WITH A BLUE RIBBON PER REQUIREMENTS.
- NO SPECIMEN OR SIGNIFICANT TREES ARE TO BE IMPACTED FOR PROJECT.
- COORDINATE HEAD - TO - HEAD IRRIGATION COVERAGE WITH CONTRACTOR.



EXISTING  
LIGHT POST



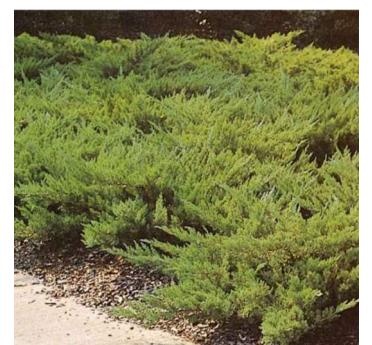
EXISTING POST -  
MOUNTED  
WALKWAY LIGHT

### PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SPEC/ SPACING	NATIVE	DROUGHT TOLERANT
4	SER REP	Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 al., 2' x 2', full to the ground, see plan for location.	*	*
10	RHO SP	Rhododendron 'Azalea Formosa'	Formosa Azalea	3 gal., 18"- 24" x18"- 24", full, 36" o.c.		*
24	ILL FLO	Illicium floridanum	Star Anise	7 gal., 2.5-3' ht x 1.5-2' w, full to the ground, 36" o.c.	*	*
41	JUN PAR	Juniperus chinensis 'Parsonii'	Parson's Juniper	3 gal., 18" ht x 18" o.c., 24" o.c.		*



FORMOSA AZALEA  
*RHODODENDRON 'AZALEA FORMOSA'*



PARSON'S JUNIPER  
*JUNIPERUS CHINENSIS 'PARSONII'*



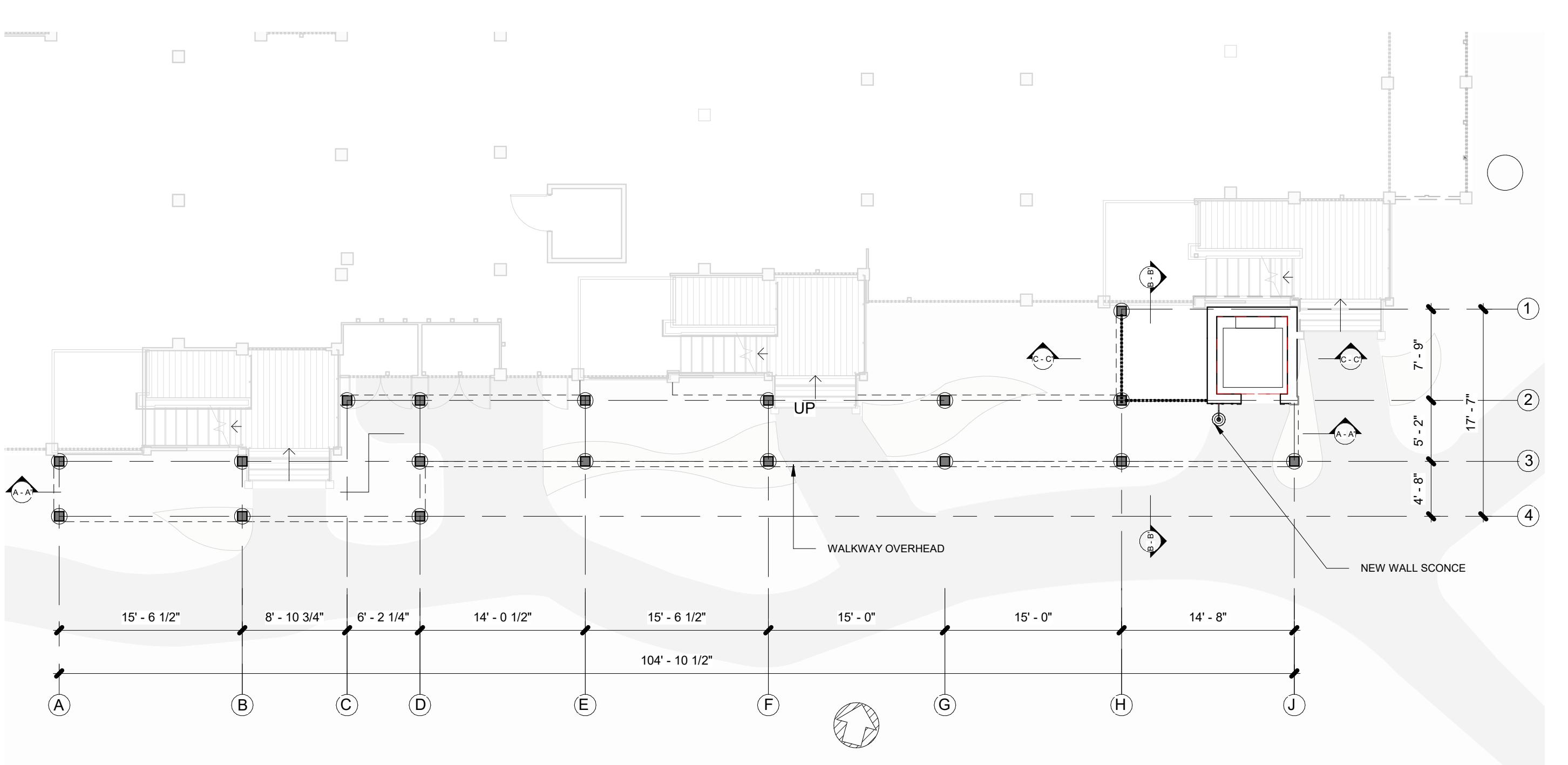
PINK MUHLY GRASS  
*MUHLENBERGIA CAPILLARIS*



SILVER SAW PALMETTO  
*SERENOA REPENS 'CINEREA'*



STAR ANISE  
*ILlicium FLORIDANUM*



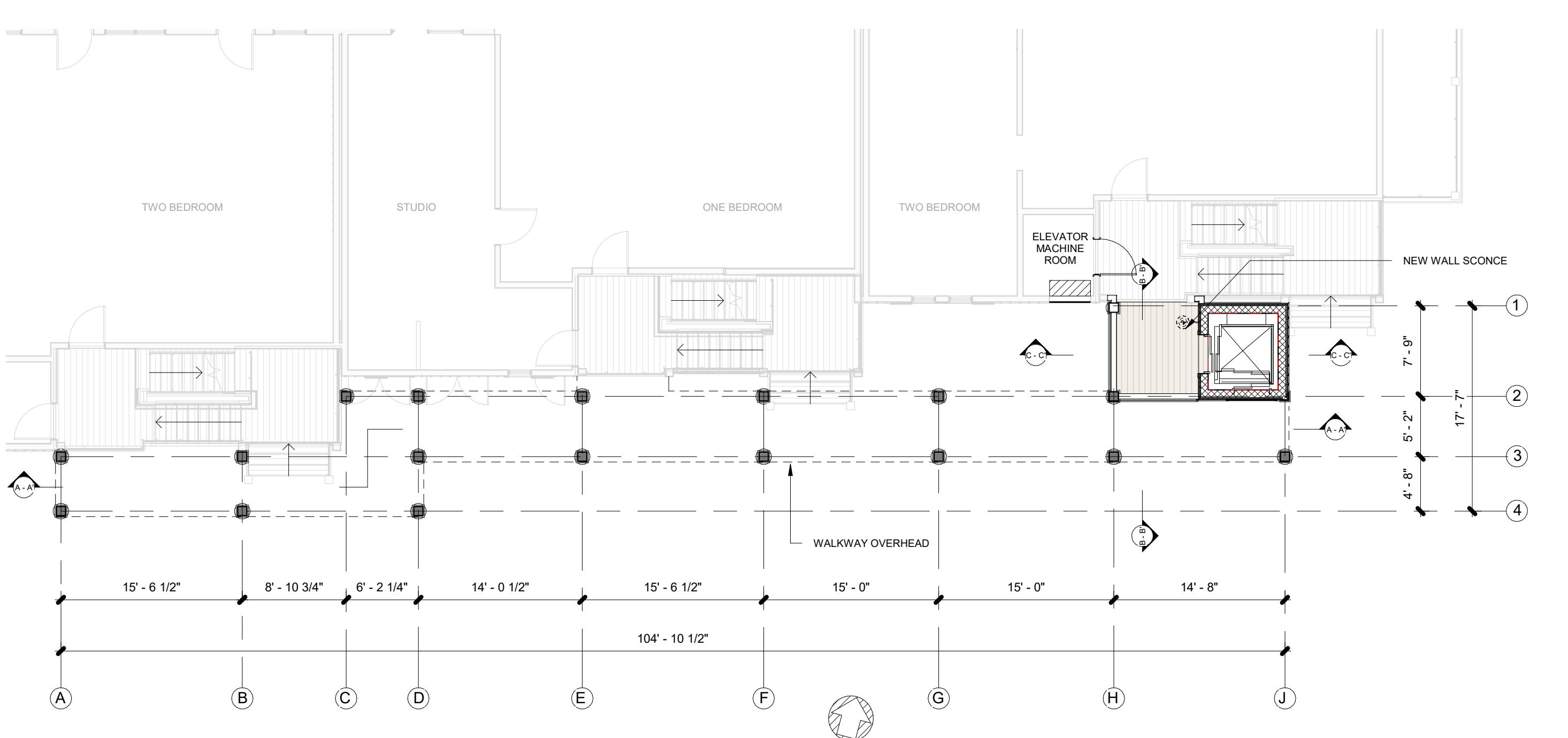
## NEW CONSTRUCTION GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0" 0 8' - 0" 16' - 0" 32' - 0"



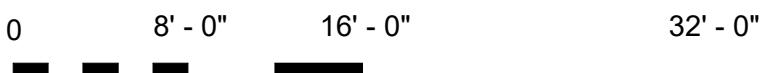
DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

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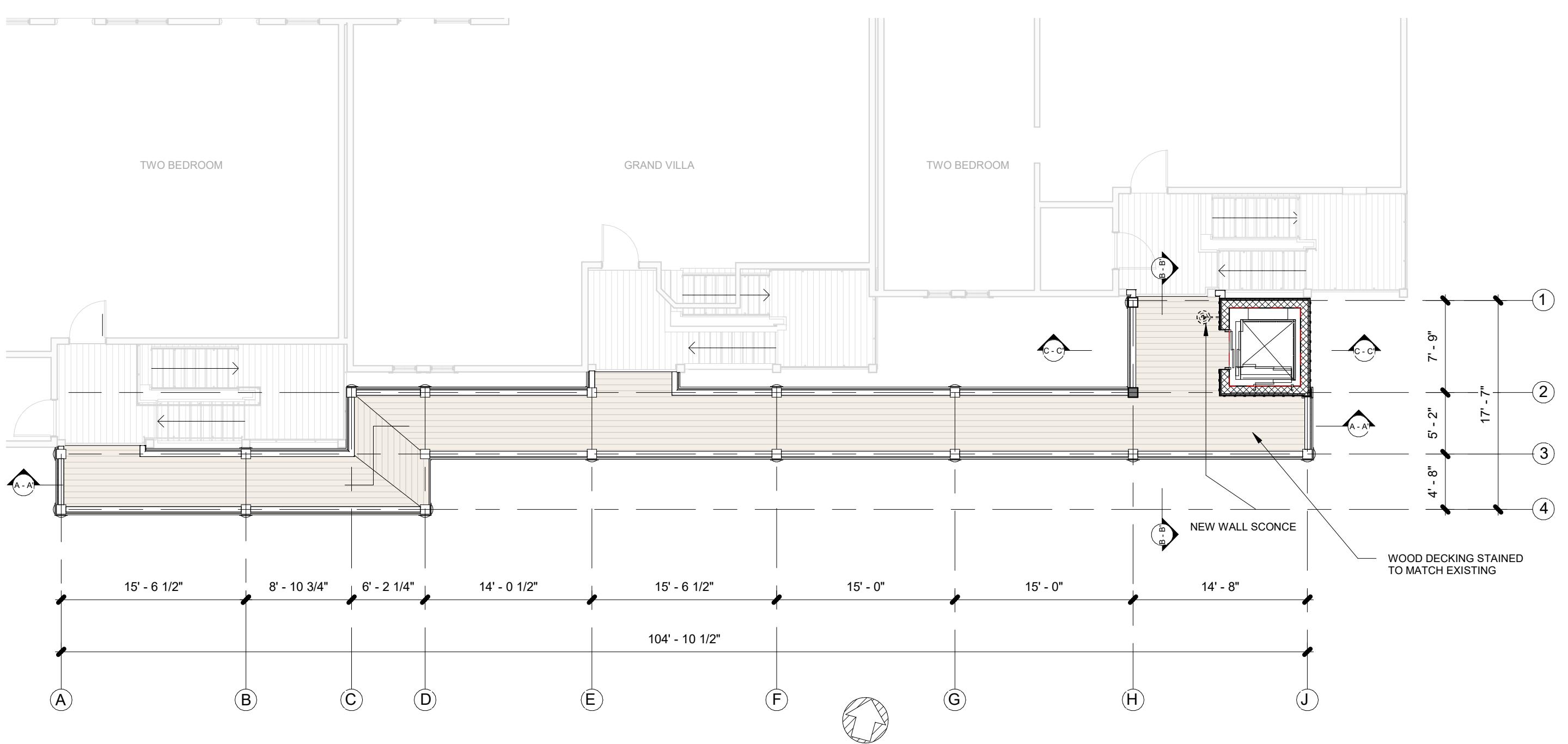
## NEW CONSTRUCTION FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0" ELEVATION + 6' - 10" ABOVE GROUND



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

PROJECT  
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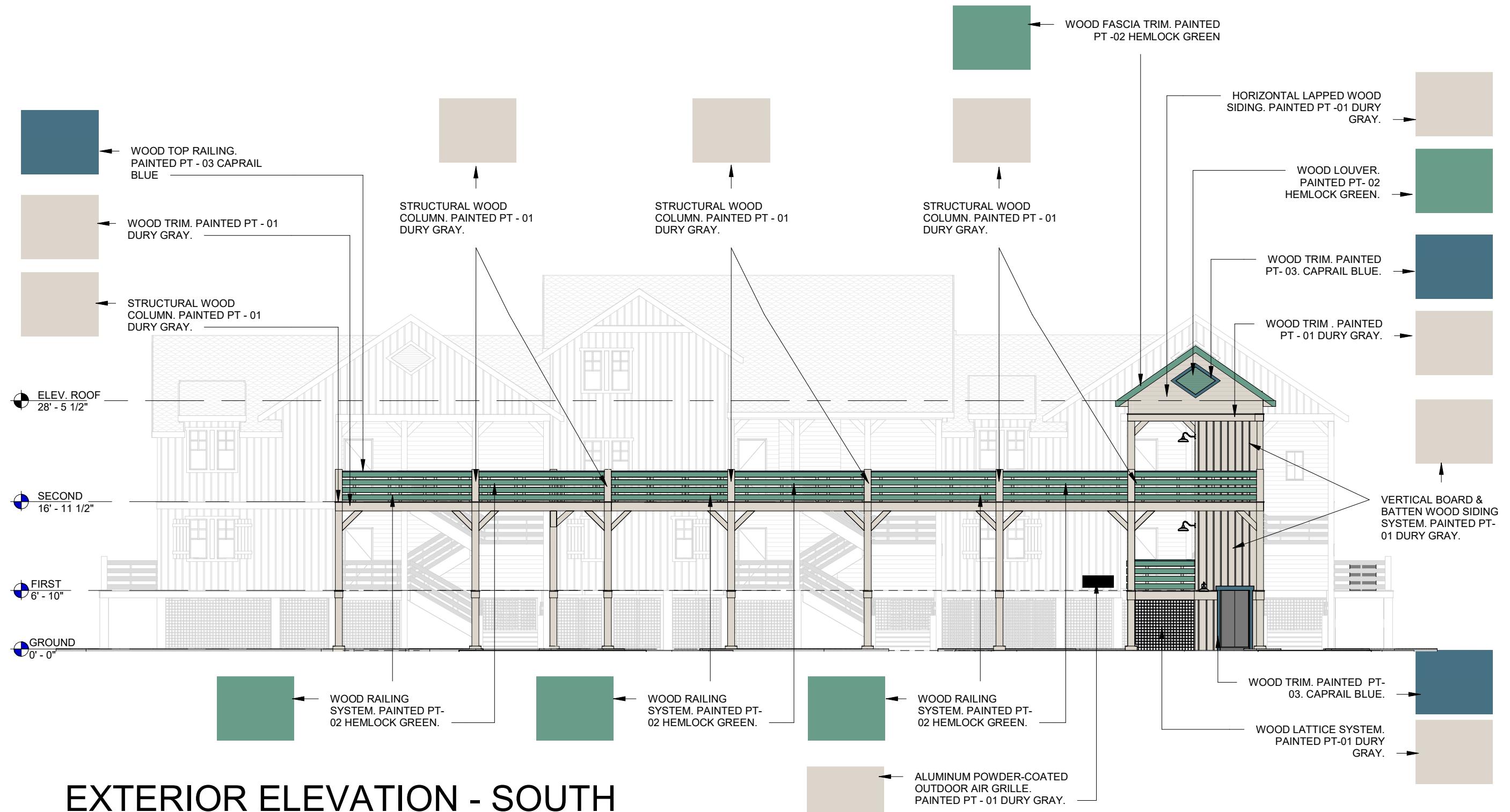


## NEW CONSTRUCTION SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" ELEVATION + 16' - 11 1/2" ABOVE GROUND 0 8' - 0" 16' - 0" 32' - 0"

DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





## EXTERIOR ELEVATION - SOUTH

SCALE: 3/32" = 1'-0"

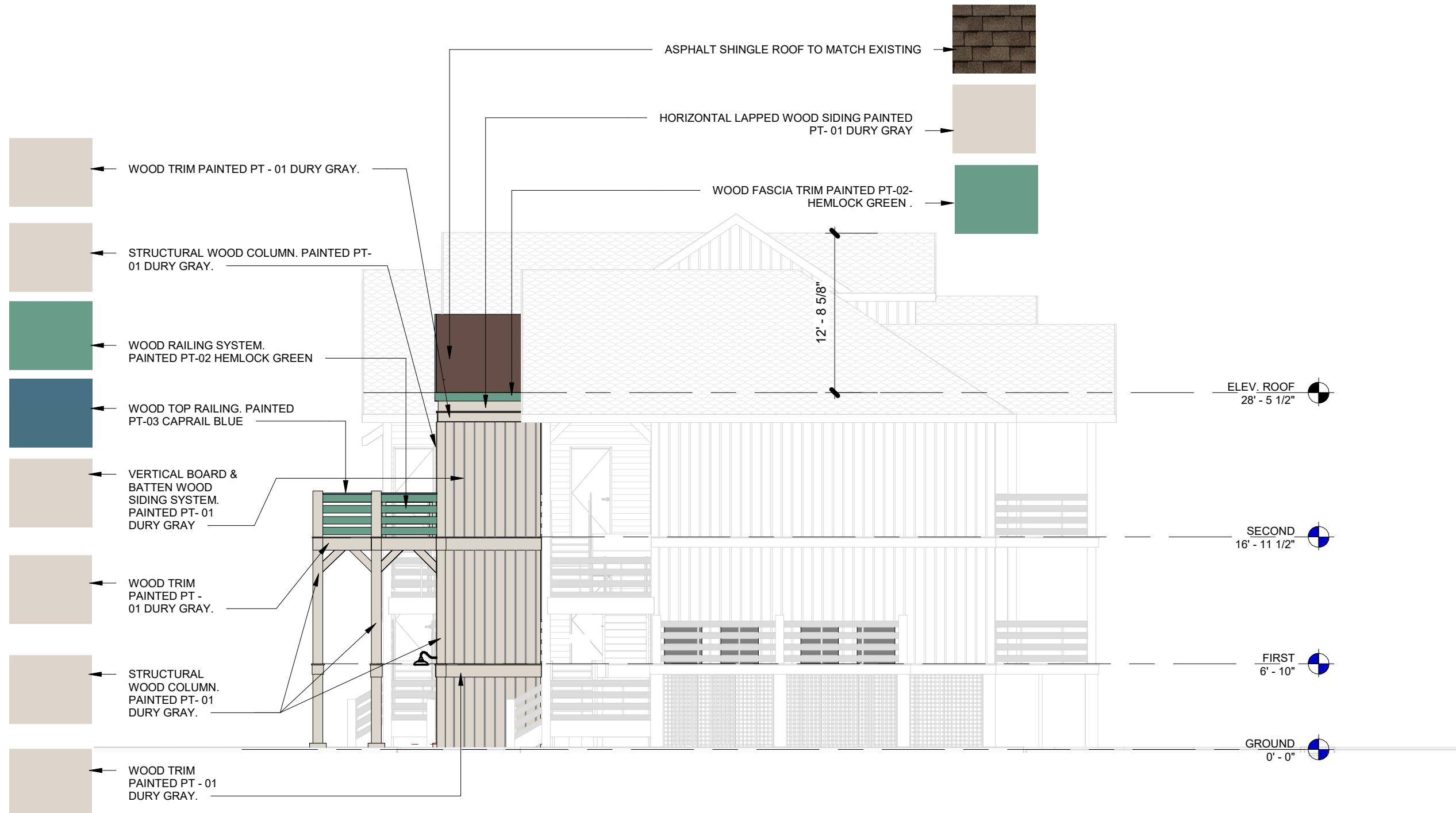
0      10' - 6"      21' - 4"      42' - 6"



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED FOR  
  
Disney's  
HILTON HEAD ISLAND  
RESORT  
A Disney Vacation Club Resort



## EXTERIOR ELEVATION - EAST

SCALE: 1/8" = 1'-0" 0 8' - 0" 16' - 0" 32' - 0"



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION





## EXTERIOR ELEVATION - WEST

SCALE: 1/8" = 1'-0"

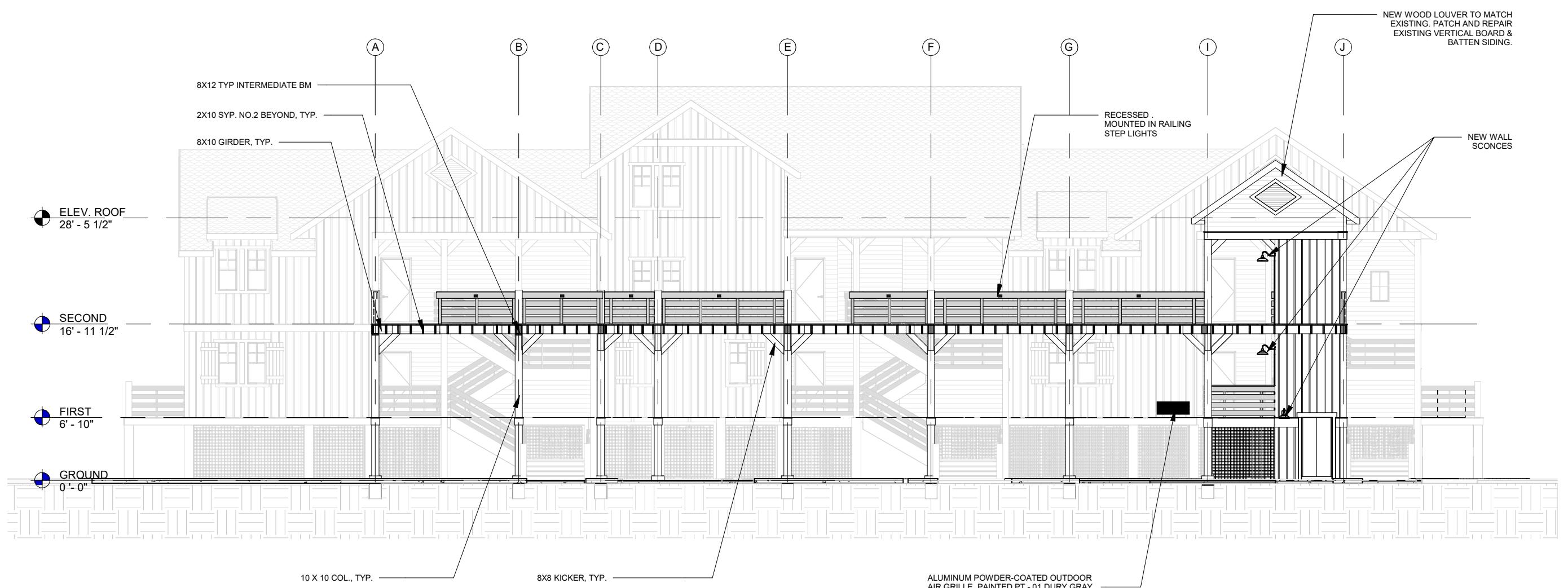
0      8' - 0"      16' - 0"      32' - 0"



DISNEY'S HILTON HEAD ISLAND RESORT

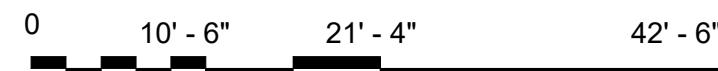
BUILDING 28 ELEVATOR ADDITION





## BUILDING SECTION A - A'

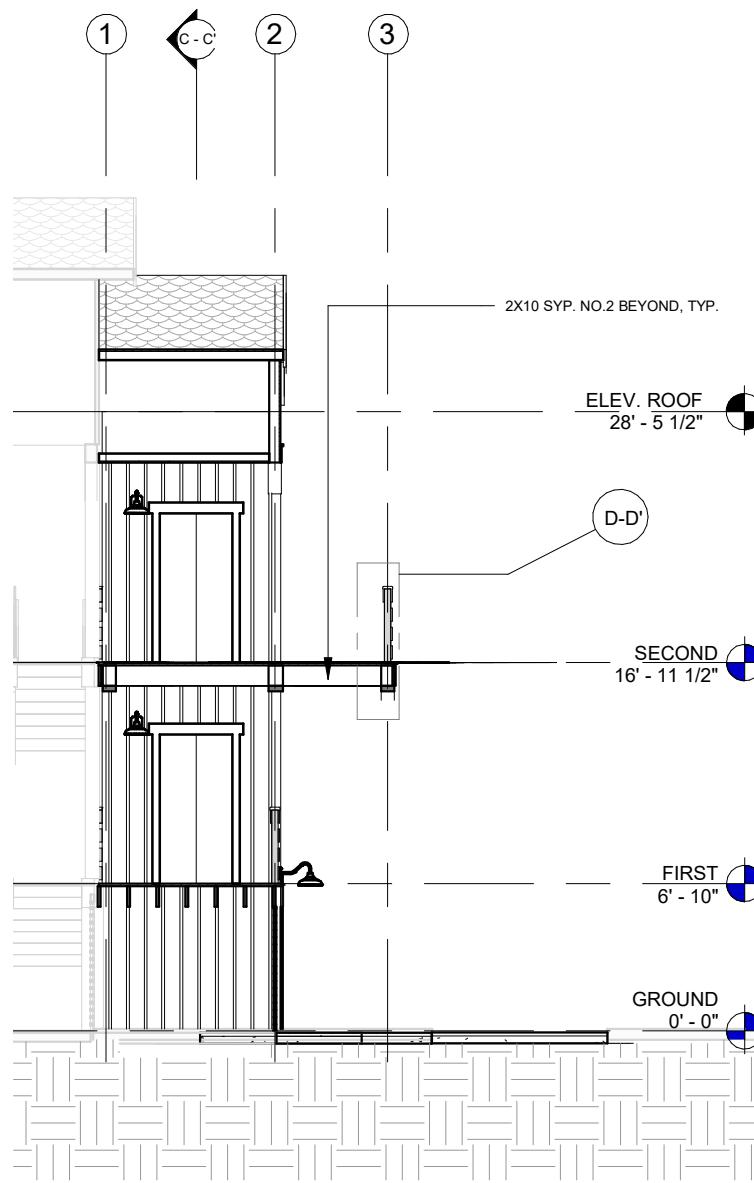
SCALE: 3/32" = 1'-0"



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

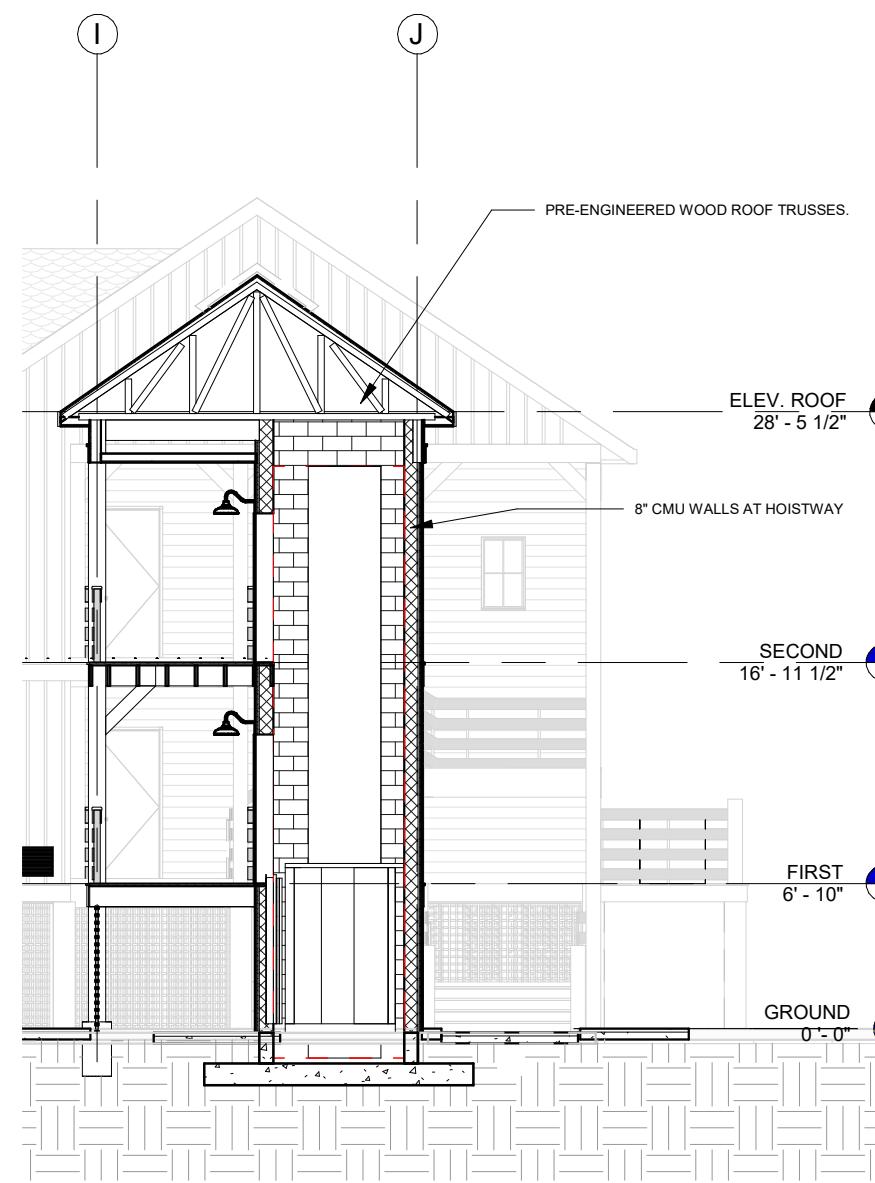




# BUILDING SECTION B - B'

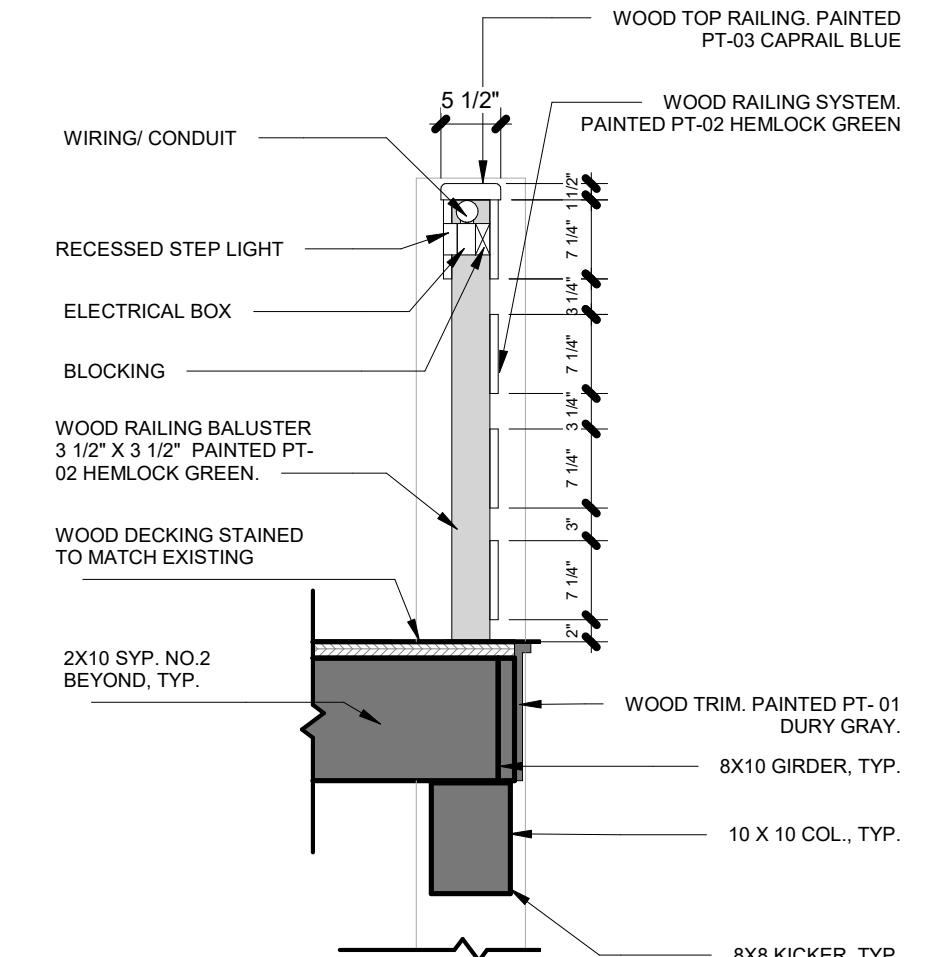
SCALE: 1/8" = 1'-0"

A horizontal scale bar with numerical markings at 0, 8' - 0", 16' - 0", and 32' - 0". Tick marks are present at each of these positions, except for the final one which is located below the scale line.



## BUILDING SECTION C - C'

SCALE: 1/8" = 1'-0"



## SECTION DETAIL D - D'

SCALE: 3/4" = 1'-0"

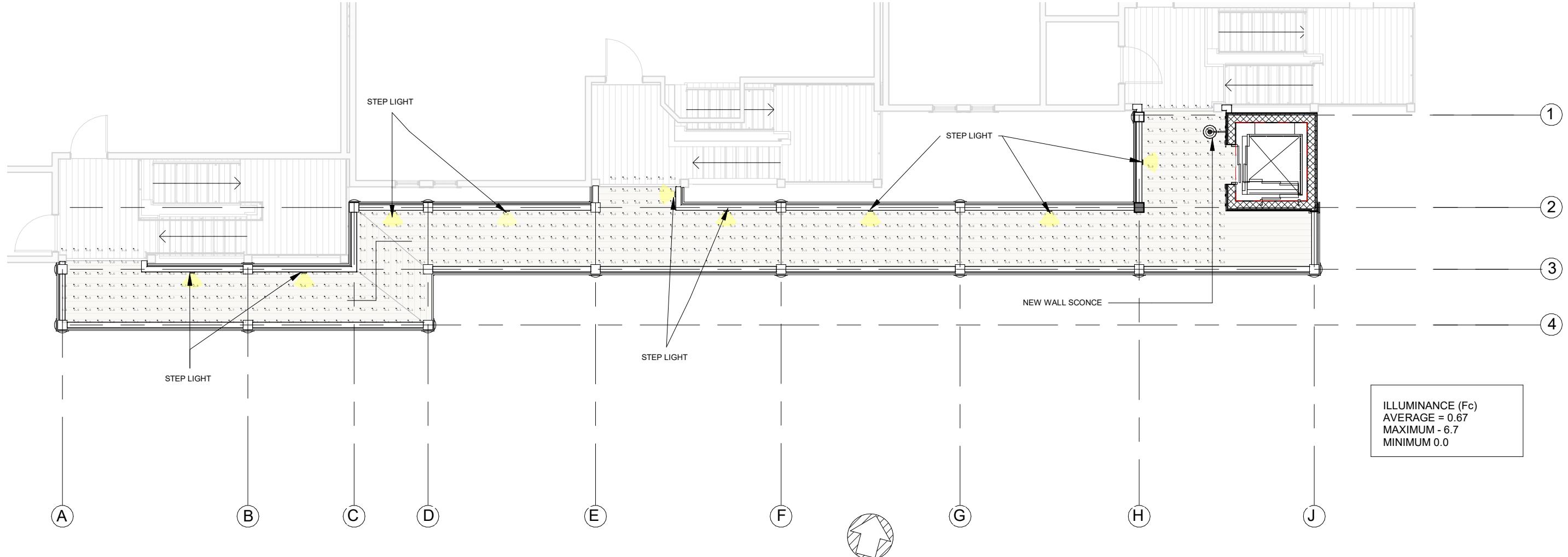


RECESSED  
MOUNTED  
STEP LIGHTS



WALL- MOUNTED LIGHT  
SCONCES TO MATCH  
EXISTING EXTERIOR  
FIXTURE

NOTE: ALL NEW LED LAMPS TO BE 3000K COLOR TEMPERATURE.



## SECOND FLOOR WALKWAY LIGHTING PLAN - STEP LIGHTS

SCALE: 1/8" = 1'-0" 0 8' - 0" 16' - 0" 32' - 0"



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





## FCSL1000 Series

Date: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Fixture: \_\_\_\_\_  
 Project: \_\_\_\_\_

FCSL1000 Series ADA certified, direct AC, die-cast step light for installation in standard, single-gang j-box for interior or exterior applications. ELV dimming included.

**120V ONLY**



### SPECIFICATIONS

#### PHYSICAL

dimensions	Fixture 3.1" W x 4.9" H x depth from surface: FCSL1011 .9" D   FCSL1012 or FCSL1013 .6" D   FCSL1014 or FCSL1015 .3" D
weight	0.4 lbs
housing	Marine grade, corrosion resistant, heavy walled, die-cast aluminum
lens	White glass lens
mounting	Mounts directly to single-gang J-Box with minimum inside dimension, 4"H X 2"W X 1.75"D, Mount Vertical (std) or in Horizontal Position (HP)
ingress protection	IP65 : dry, damp or wet locations with neoprene gasket
faceplate finish	Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.

#### PERFORMANCE

color temperature	2700K   3000K   3500K   4000K
lumen output	models: FCSL1011 35 lm   FCSL1012 10 lm   FCSL1013 15 lm   FCSL1014 50 lm   FCSL1015 76 lm
lifetime	> 70,000 hours / L70 or better
color consistency	3 SDCM / 85 CRI
operating temperature	-13°F to 104°F (-25°C to 40°C)
warranty	5-Year limited warranty (refer to website for details)

#### ELECTRICAL

input voltage	120V AC only
power supply	integral Class II, electronic high-power factor > 94% @120V
standards	ETL / cETL
power consumption	3W (10~76 lm)
dimming	ELV dimming, 10% minimum (included)

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions. FCC Series Cylinder Lights are engineered and produced in our Illinois manufacturing facility.

US Commercial Lighting Manufacturer Since 1982

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### Specification Sheet

TG-JF-012022

## Ordering Information

### FCSL1000 Series



#### PART NUMBER

##### ELV DIMMING INCLUDED

	120V	CCT	CRI85	LUMENS	FINISH	OPTIONS
SERIES	VOLTAGE					
FCSL1011	120V	120V only	27K 2700K white	03L 35 lm FCSL1011 (3W)	BK Black	CL Clear Lens
FCSL1012			3K 3000K white	01L 10 lm FCSL1012 (3W)	BZ Bronze	BL Blue Lens
FCSL1013			35K 3500K white	02L 15 lm FCSL1013 (3W)	SL Silver	AL Amber Lens
FCSL1014			4K 4000K white	05L 50 lm FCSL1014 (3W)	WH White	AM Anti-Microbial Paint
FCSL1015				09L 76 lm FCSL1015 (3W)	CC Custom Color	HP Horizontal Position

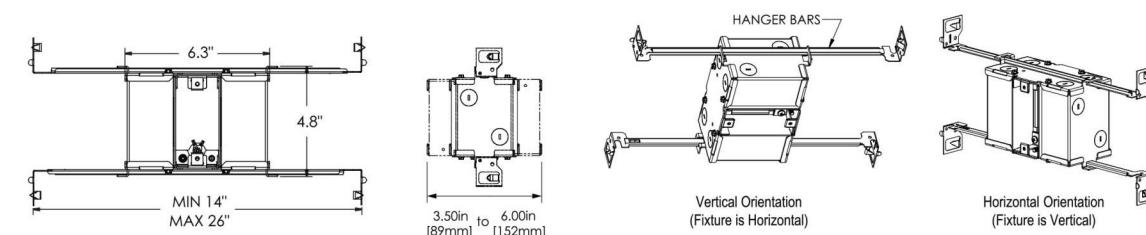
#### JUNCTION BOX OPTIONS

Indicate quantities on lines below.

- JBTW Junction Box Thru-Wall - Double-sided, adjustable junction box. Functions in both vertical and horizontal orientations. Requires compatible conduit adapters below\*
- JBC-3/8 3/8 Conduit Adapter - Sized for 3/8 trade size conduits and 0.44-0.61 OD Armored Cable (AC, MC), 3/8 knockout
- JBC-1/2 1/2 Conduit Adapter - Sized for 1/2 trade size conduits and 0.71-0.91 OD Armored Cable (AC, MC), 1/2 knockout

\*Conduit adapters sold separately. Please order JBC-3/8 or JBC-1/2 based on your conduit size needs. 2 pcs required for thru-wiring, 1 pc required for end of run

#### JUNCTION BOX THRU-WALL (JBTW) DIMENSIONS - WORKS IN BOTH VERTICAL & HORIZONTAL ORIENTATIONS



#### Consult Factory for other options and configurations.

To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical requirements.

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### Specification Sheet

TG-JF-012022

1

2



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





## Dimensions

PRODUCT DIMENSIONS - FCSL1011 (hood)		MOUNTING - ALL MODELS j-box sold by others	
width x height	3.1" W x 4.9" H	width x height	1.8" W x 1.8" H
surface depth FCSL1011	.9" D	back box depth	.1.22" D
width x height	3.1" W x 4.9" H	width x height	3.1" W x 4.9" H
surface depth FCSL1012	.6" D	surface depth FCSL1013	.6" D
width x height	3.1" W x 4.9" H	width x height	3.1" W x 4.9" H
surface depth FCSL1014	.3" D	surface depth FCSL1015	.3" D

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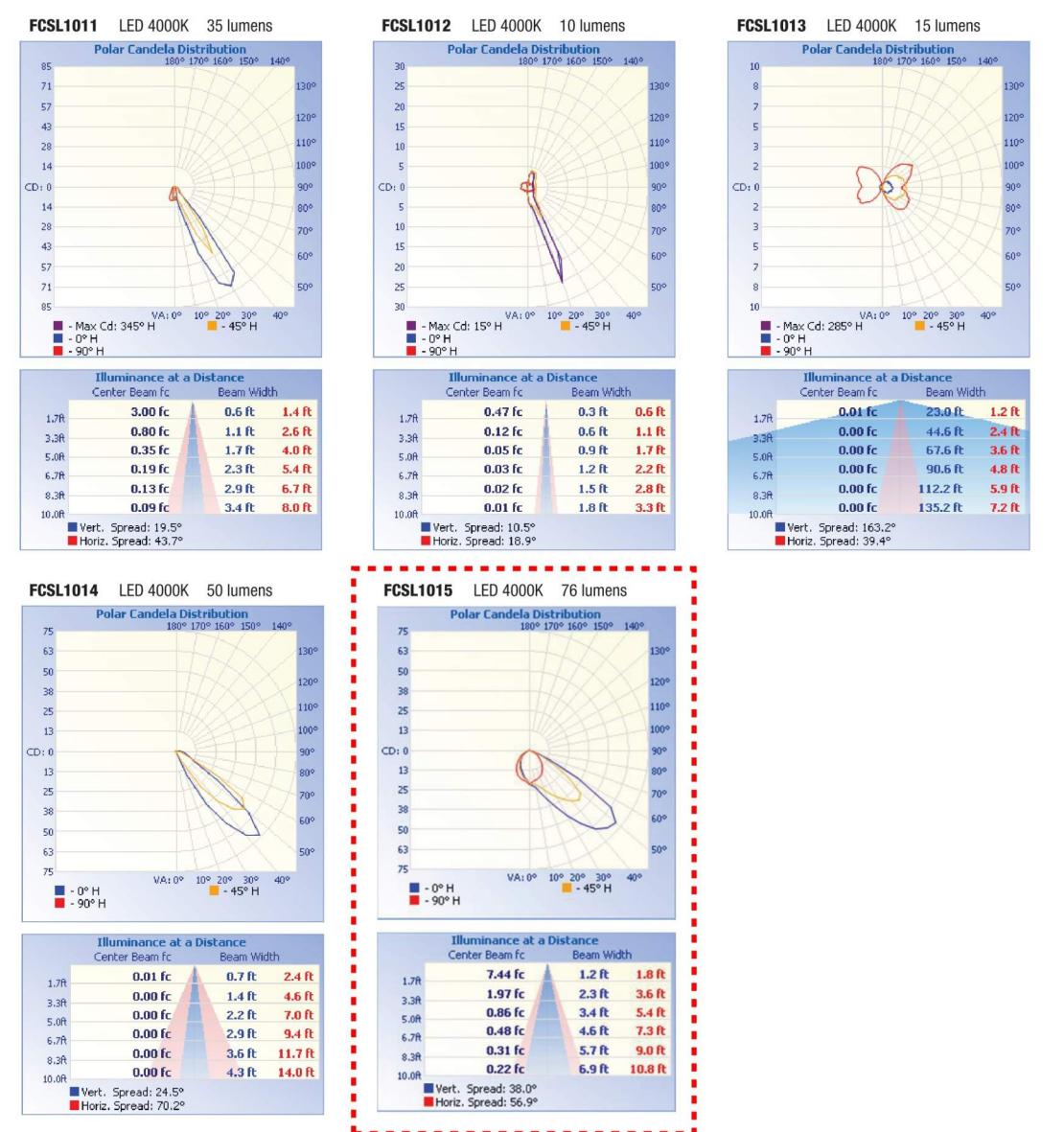
Specification Sheet

TG-JF-012022

3



## Photometry



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Specification Sheet

TG-JF-012022

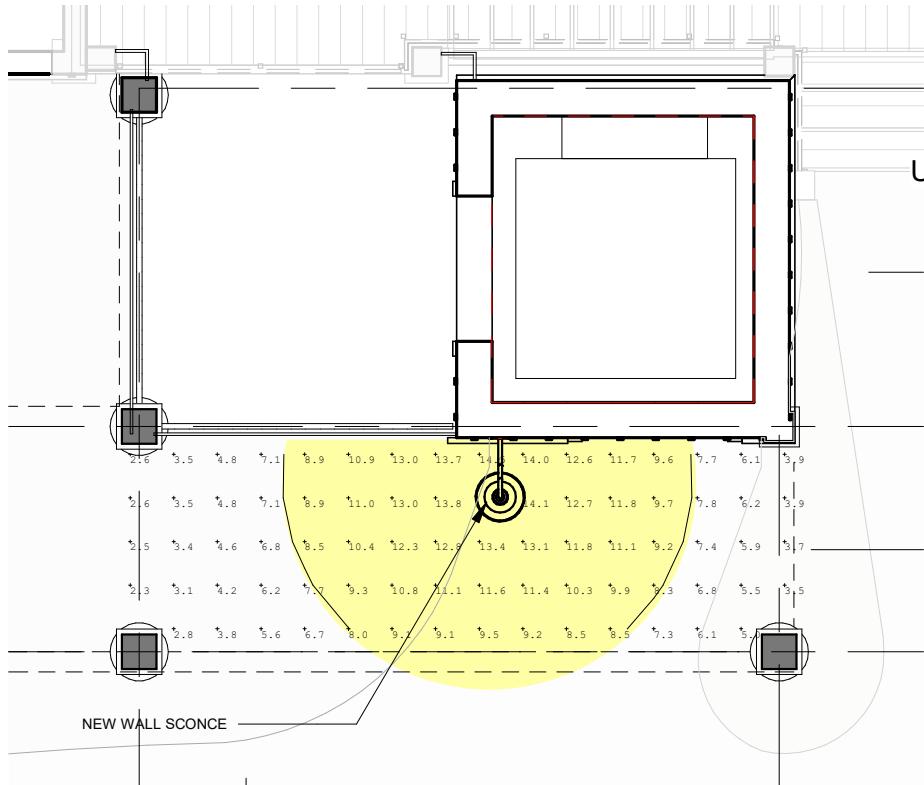
4



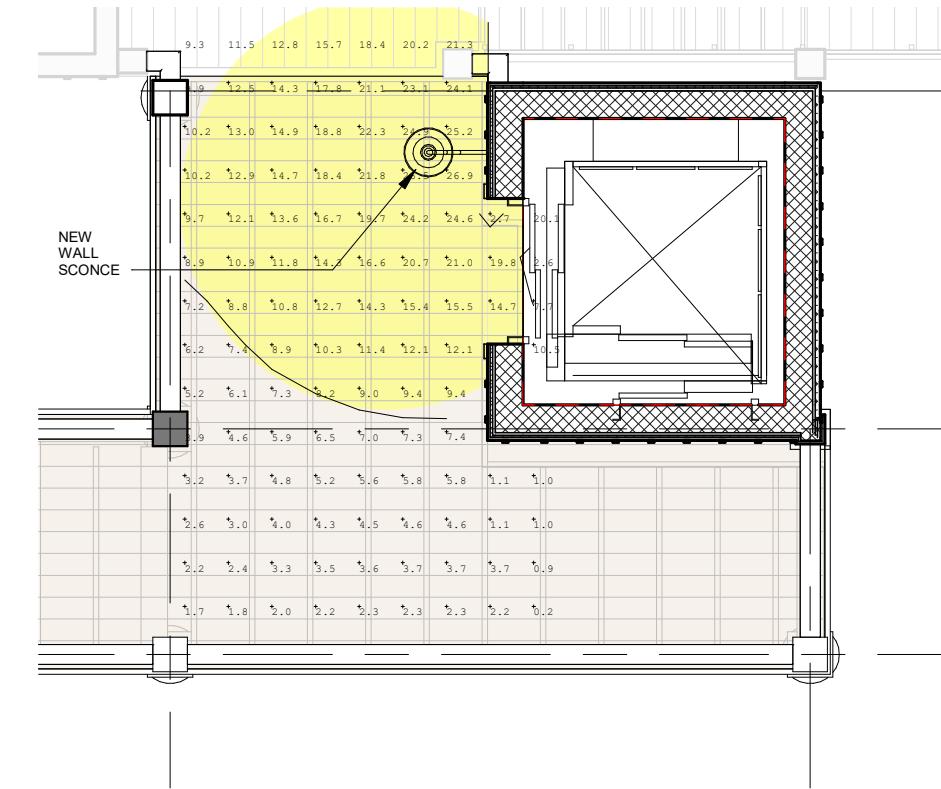
DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION



A Disney Vacation Club Resort



GROUND FLOOR WALKWAY LIGHTING PLAN



FIRST AND SECOND FLOOR WALKWAY  
LIGHTING PLAN



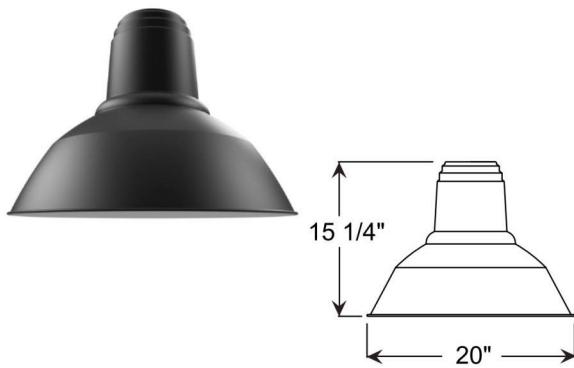
WALL-MOUNTED LIGHT  
SCONCES TO MATCH  
EXISTING EXTERIOR  
FIXTURE

NOTE: ALL NEW LED  
LAMPS TO BE 3000K  
COLOR TEMPERATURE.



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





**SBW20  
LED**

Catalog Number	
SBW20	
1 LIGHT SOURCE & WATTAGES	
M012LDN	(12w, 750 lumen, Cree module) Integral driver, 120V, TRIAC dimming & narrow distribution only.
M009LDD	(9w, 850 lumen, Cree module)
M010LDD	(10w, 1250 lumen, Cree module)
M016LDD	(16w, 2000 lumen, Cree module)
M024LDD	(24w, 3000 lumen, Cree module)
M037LDD	(37w, 4000 lumen, Cree module)
2 DISTRIBUTION	
W	(T5 Wide Distribution with Dome LED Lens)
N*	(T5 Narrow Distribution with Flat LED Lens)
*12w is narrow only, select "N".	
3 COLOR TEMPERATURE (CCT)	
27K	(2700K)
30K	(3000K)
35K	(3500K)
40K	(4000K)

<b>4</b>	<b>DRIVER HOUSINGS*</b> (Driver Housing only Required with Color Cord and/or Emergency Backup Options)
<b>NA</b>	No selection is required if Color Cord or Emergency Backup are not chosen
	<b>Color Cord Driver Housing Options</b> Choose Color Cord Style in Box 5
<b>CRD-DCC</b>	(Driver Housing for Color Cord only; 7 3/4" x 1 1/2")
<b>SSC-DCC</b>	(Driver Housing for SS Cable/Color Cord only; 7 3/4" x 1 1/2")
	<b>Emergency Backup Driver Housing Options</b>
<b>CRD-DCCEM-BLC</b>	(Emergency Ballast Housing for B Cord only; 12" x 1 1/2") Choose NA in Box 5
<b>CRD-DCCEM-WHC</b>	(Emergency Ballast Housing for W Cord only; 12" x 1 1/2") Choose NA in Box 5
<b>CRD-DCCEM</b>	(Emergency Ballast Housing for Color Cord only; 12" x 1 1/2") Choose Color Cord Style in Box 5
<b>ST-DCCEM</b>	(Emergency Ballast Housing for Stem only; 12" x 1 1/2") Choose Stem Size in Box 5
<b>SSC-DCCEM-BLC</b>	(Stainless steel cable with 6-foot black cord and 12" canopy) Choose NA in Box 5
<b>SSC-DCCEM-WHC</b>	(Stainless steel cable with 6-foot white cord and 12" canopy) Choose NA in Box 5
<b>SSC-DCCEM</b>	(Emergency Ballast Housing for SS Cable only; 12" x 1 1/2") Choose Color Cord Style in Box 5
*Driver Housing finish will match fixture finish.	
<b>5</b>	<b>MOUNTING SOURCES*</b> (Arm and Wall mounts include mounting plate)
	Arm Mounts
E3 E4 E6 E8 E9 E10 E11 E12 E18 E25	Wall Mounts
WM54 WM74 WM317	Post Mounts
PM10 PM20 PM30 PM40 PM50 PM319	

<b>Finish:</b>							
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.							
<b>Marine grade finish</b> provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.							
<b>Modifications:</b> Consult factory for custom or modified designs.							
<b>UL Listed</b> for dry locations. mount and wall mount are locations.							
<b>37LDD</b> - <b>W</b> - <b>40K</b> - <b>CRD-DCC</b> - <b>BLC</b> - <b>EMG-LED20</b> - <b>64</b> - <b>UNV</b>							
1 Source/ attenuate	Distribution	CCT	Driver Housing	Mounting	Accessories	Shade Finish	Voltage

080120

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**1-800-548-3227**  
**ANPlighting.com**

# DISNEY'S HILTON HEAD ISLAND RESORT

## BUILDING 28 ELEVATOR ADDITION



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*ANP Lighting*

Specifications SBW20

Project: \_\_\_\_\_  
Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
Customer: \_\_\_\_\_

LED Module Specifications				
LED Wattage	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
9W	2700K	850	11W	97
	3000K	850	11W	97
	3500K	850	11W	97
	4000K	850	11W	97
10W	2700K	1250	12W	125
	3000K	1250	12W	125
	3500K	1250	12W	125
	4000K	1250	12W	125
12W	2700K	750	12W	65
	3000K	750	12W	65
	3500K	750	12W	65
	4000K	750	12W	65
16W	2700K	2000	19W	125
	3000K	2000	19W	125
	3500K	2000	19W	125
	4000K	2000	19W	125
24W	2700K	3000	29W	125
	3000K	3000	29W	125
	3500K	3000	29W	125
	4000K	3000	29W	125
37W	2700K	4000	43W	108
	3000K	4000	43W	108
	3500K	4000	43W	108
	4000K	4000	43W	108

## **MODULE SPECIFICATION:**

- Efficacy 65-125 lumens per watt
  - Life: L70 50,000 hours
  - Color temp: 2700K, 3000K, 3500K and 4000K
  - CRI: >90
  - Input Voltage: 120-277 Volts; 50/60Hz
  - Dimmable down to 1%
  - 0-10V, TRIAC and ELV dimming protocol standard. (12w is 120v and TRIAC dimming only)
  - Output Current: Constant Current; 440mA to 9

MODULE LISTINGS

- Fully compliant with the RoHS Directive
  - Certifications: CE/UL

#### **WARRANTY**

See [www.ANPlighting.com](http://www.ANPlighting.com) for complete fixture warranty.

#### **LED warranty information**

- 5 year limited wa

[View Details](#) | [Edit](#) | [Delete](#)

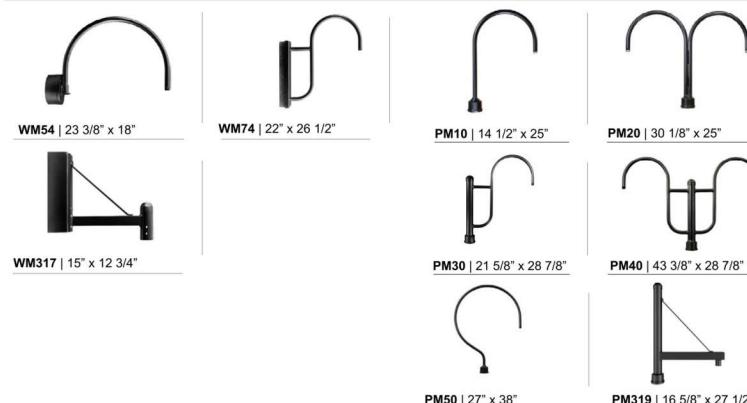
Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_

**ARM MOUNTS** | Dimensions are Projection x Height | CB included with all arms | Arm will match fixture finish**Driver Housings**

	CRD-DCC (7 3/4" x 1 1/2") Cord Only
	SSC-DCC (7 3/4" x 1 1/2") Cable/Cord Only
	ST-DCCEM (12" x 1 1/2") Stem Only
	CRD-DCCEM (12" x 1 1/2") Cord Only
	SSC-DCCEM (12" x 1 1/2") Cable/Cord Only

**WALL MOUNTS** | Dimensions are Projection x Height | **POST MOUNTS** | Dimensions are Projection x Height**ACCESSORIES**

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08/01/2019



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR  
  
Disney's  
HILTON HEAD ISLAND  
RESORT  
A Disney Vacation Club Resort



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR





NEW AGE OAK  
PLAM - 01: ELEVATOR WALLS



PT- 01 - DURY GRAY TO MATCH EXISTING  
LOCATION: PRIMARY WALLS



STAINLESS STEEL  
SS - 01: ELEVATOR DOORS AND TRIMS



PT- 02 - HEMLOCK GREEN TO MATCH  
EXISTING. LOCATION: WOOD  
RAILING, SHUTTERS.



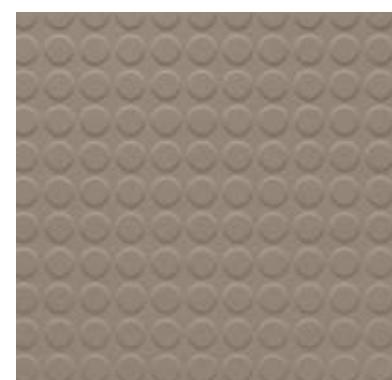
ROOF ASPHALT SHINGLES TO  
MATCH EXISTING



PT - 03 - CAPRAIL BLUE TO MATCH EXISTING.  
LOCATION: CAP RAILS/ OPENING TRIMS



WD - 01: PT WOOD DECKING STAINED  
TO MATCH EXISTING



45 SANDALWOOD  
RT- 01: RAISED ROUND RUBBER TILE  
FLOORING. LOCATION ELEVATOR.

FINISH SCHEDULE							
ITEM #	DESCRIPTION	MANUFACTURER	COLOR	PATTERN / STYLE / DIMENSION	CONTACT	OFCI / CFCI	NOTE
ASPH-01	ASPHALT PAVING	BY GC	TO MATCH EXISTING	N/A	N/A	CFCI	
EJ-01	ALUMINUM EXPANSION JOINT	CSI	ANODIZED ALUMINUM	GFS	N/A	CFCI	EXPANSION JOINT BETWEEN NEW WALKWAY & EXISTING ENTRY STAIR LANDINGS
PLAM-01	LAMINATE WALL COVERING - ELEVATOR WALLS	WILSONART	NEW AGE OAK	N/A	N/A	CFCI	
PT-01	PAINT - GRAY	PPG	DURY GRAY	N/A	N/A	CFCI	
PT-02	PAINT - GREEN	PPG	HEMLOCK GREEN	N/A	N/A	CFCI	
PT-03	PAINT - BLUE	PPG	CAPRAIL BLUE	N/A	N/A	CFCI	
RT-01	RUBBER TILE - ELEVATOR FLOOR	JOHNSONITE	45 SANDALWOOD	24" X 24" TILE; RAISED ROUND	N/A	CFCI	
SS-01	STAINLESS STEEL	GARAVENTA LIFT	N/A	N/A	N/A	CFCI	ELEVATOR DOORS & TRIM
WD-01	WOOD DECKING	BY GC	TO MATCH EXISTING	N/A	N/A	CFCI	



WALL-MOUNTED LIGHT SCONCES TO  
MATCH EXISTING EXTERIOR FIXTURE



ANODIZED ALUMINUM EXPANSION JOINT. LOCATION: ALL  
AREAS WHERE NEW WOOD DECKING MEETS EXISTING  
WOOD DECKING



RAILING POST-MOUNTED STEP  
LIGHTS



## DISNEY'S HILTON HEAD ISLAND RESORT

### BUILDING 28 ELEVATOR ADDITION

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Disney's Building 28

DRB#: DRB-002287-2022

DATE: 09/16/22

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval

Approval with Conditions

Denial

RECOMMENDED CONDITIONS:

### MISC COMMENTS/QUESTIONS

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov) or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.



**Town of Hilton Head Island**  
**Community Development Department**  
One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY

Date Received: \_\_\_\_\_  
Accepted by: \_\_\_\_\_  
DRB #: \_\_\_\_\_  
Meeting Date: \_\_\_\_\_

Applicant/Agent Name: NATE JONES Company: BROAD CREEK MARINA PROPERTIES LLC  
Mailing Address: 18 SIMMONS RD City: HILTON HEAD State: SC Zip: 29926  
Telephone: 843 368 2530 Fax: 843 689 9451 E-mail: NATE@BROADCREEKMARINAH.COM  
Project Name: MARINA HOUSING Project Address: 33 BROAD CREEK MARINA WAY  
Parcel Number [PIN]: R 5 1 0 0 1 1 0 8 2 A 0 0 0 Overlay District(s): \_\_\_\_\_  
Zoning District: WMV

**CORRIDOR REVIEW, MAJOR  
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

**Project Category:**

- Concept Approval – Proposed Development       Alteration/Addition  
 Final Approval – Proposed Development       Sign

**Submittal Requirements for *All* projects:**

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

- Filing Fee: Concept Approval–Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

**Additional Submittal Requirements:**

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

**Additional Submittal Requirements:**

**Final Approval – Proposed Development**

- \_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_ Final floor plans and elevation drawings (1/8"=1'0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

**Additional Submittal Requirements:**

**Alterations/Additions**

- \_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_ Photographs of existing structure.

**Additional Submittal Requirements:**

**Signs**

- \_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

**For freestanding signs:**

- \_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_ Proposed landscaping plan.

**For wall signs:**

- \_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

Last Revised 01/21/15

DATE

Broad Creek Marina Properties LLC is seeking a solution to solve its own employee housing issues by developing 5 prefabricated homes on its WMU zoned property located at 33 Broad Creek Marina Way on Hilton Head Island. This site is off of Marshland Rd. The property is bordered by the WMU zoned Broad Creek Marina as well as Adventure Hilton Head (also owned by BCMP) and a TOHH owned parcel of woods that is adjacent to a Power Line Easement. BCMP plans to create a Lowcountry Live and Work atmosphere with the project. The planned homes are the same as 3 homes BCMP has already developed on a parcel in close proximity to this project on Simmons Rd called Adolfo Way.

The proposed homes have Clay colored Vinyl siding with Chocolate shutters and White skirting. The roof material is conventional shingle. The units are 5 bedroom, 3 bath. While these homes are not visible to any public roadway, they have similar character to many road front homes along Marshland Rd. There will be a wooden privacy fence and ample landscape separating the units from the TOHH owned parcel to the West. A private drive accessible to Fire and Rescue along with parking will connect these homes to the Broad Creek Marina. There is a large Live Oak that will be a centerpiece to these homes and will contribute to the Lowcountry Live and Work theme. The front and back stairs and landing are wood and will be painted chocolate to match the shutters. The sites natural manicured vegetation will be retained, while adding plantings in the buffer to separate the site from the adjacent parcel.

Adventure Hilton Head, owned by Broad Creek Marina Properties, was only able to operate at approximately 50% capacity this past year due to the shortage of Labor on Hilton Head Island. Almost two thirds of its labor needs are seasonal to match the seasonal demand. This project will ensure small businesses such as Adventure Hilton Head can continue to operate and serve the continually high demand Hilton Head Island has while providing enriching outdoor family friendly activities.







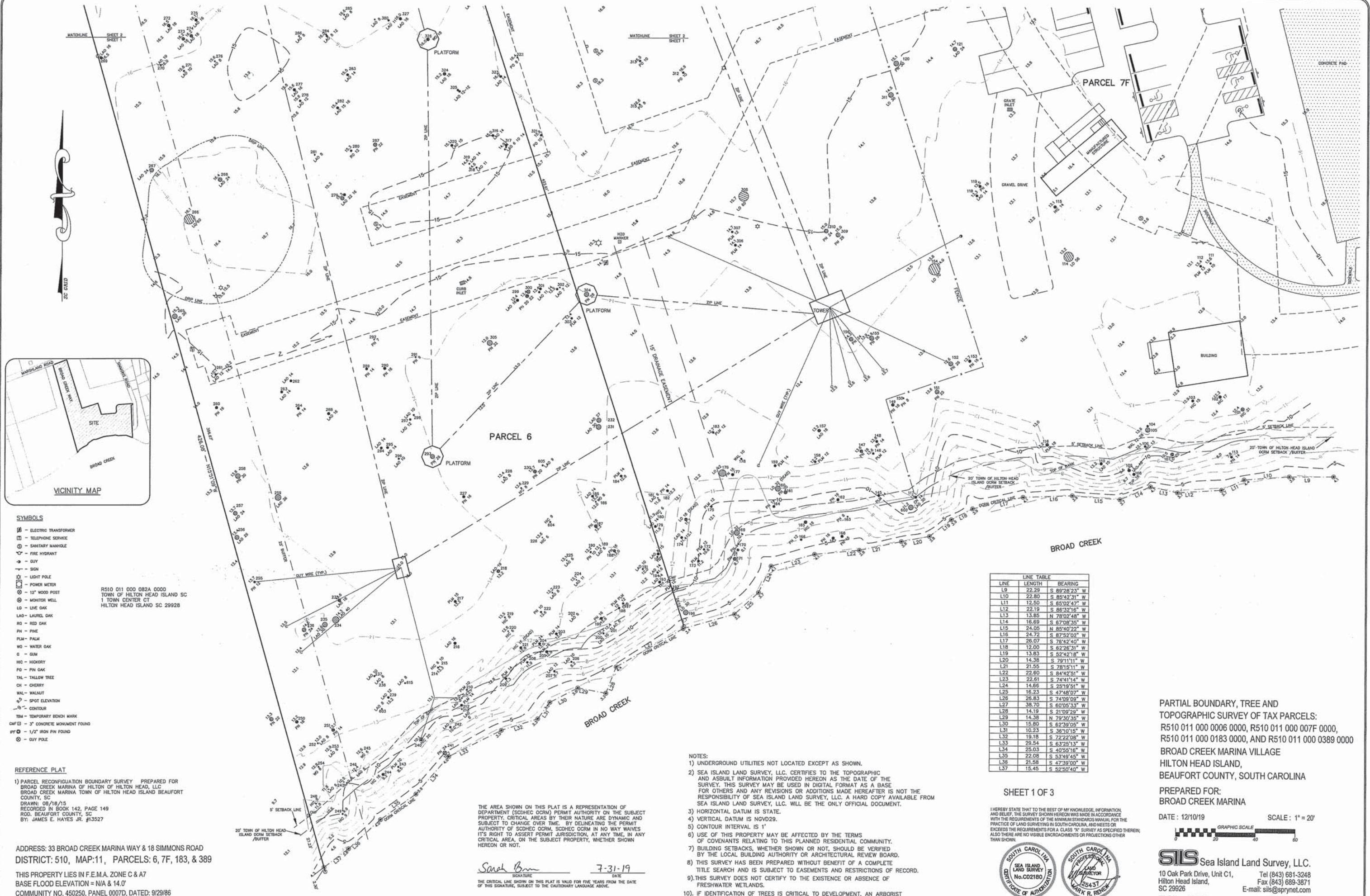
3831

A photograph showing three vertical door samples side-by-side against a light-colored, textured background. The first sample on the left is black with a dark wood grain texture. The second sample in the center is white with a light wood grain texture. The third sample on the right is dark brown ('Chocolate') with a dark wood grain texture. Each sample has a rectangular panel with a thin frame. The word 'BLACK' is printed in white capital letters at the bottom left of the black sample, 'WHITE' is printed in black capital letters at the bottom center of the white sample, and 'CHOCOLATE' is printed in white capital letters at the bottom right of the dark brown sample.

BLACK

WHITE

CHOCOLATE





#### SYMBOLS

- - ELECTRIC TRANSFORMER
- - TELEPHONE SERVICE
- - SANITARY MANHOLE
- △ - FIRE HYDRANT
- ♦ - GUY
- × - SIGN
- ⊕ - LIGHT POLE
- - POWER METER
- - 12" WOOD POST
- ⊕ - MONITOR WELL
- LO - LIVE OAK
- LAD - LAURIL OAK
- RD - RED OAK
- PIN - PINE
- PALM - PALM
- WO - WATER OAK
- G - GUM
- HICKORY
- PIN OAK
- TAL - TALLOW TREE
- CH - CHERRY
- WAL - WALNUT
- SPOT ELEVATION
- CONTOUR
- TEMPORARY BENCH MARK
- CMBD - 3" CONCRETE MONUMENT FOUND
- SPF - 1/2" IRON PIN FOUND
- GUY POLE

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	22.86	25.00	22.07	S44°5'6"S 52°3'29"E
C2	22.60	25.00	21.84	S44°5'0"7"W 51°47'43"E
C3	55.25	162.00	54.98	N10°5'1"33"W 19°32'26"E
C4	38.60	113.00	38.41	N10°3'6"00"W 19°34'19"E
C5	22.86	25.00	22.07	S45°0'7"48"W 52°2'3"29"E
C6	22.60	25.00	21.84	S44°5'0"99"W 51°47'43"E
C7	33.78	325.00	33.76	S23°19'48"E 55°7'19"S

#### REFERENCE PLAT

1) PARCEL RECONFIGURATION BOUNDARY SURVEY PREPARED FOR  
BROAD CREEK MARINA OF HILTON HILTON HEAD, LLC  
BROAD CREEK MARINA TOWN OF HILTON HEAD ISLAND BEAUFORT  
COUNTY, SC  
DRAWN: 08/18/15  
RECORDED IN BOOK 142, PAGE 149  
ROD. BEAUFORT COUNTY, SC  
BY: JAMES E. HAYES JR. #13527

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE TOPOGRAPHIC AND ABSULT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY, THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) HORIZONTAL DATUM IS STATE.
  - 4) VERTICAL DATUM IS NVD92.
  - 5) CONTOUR INTERVAL IS 1'.
  - 6) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 9) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 10) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

ADDRESS: 33 BROAD CREEK MARINA WAY & 18 SIMMONS ROAD  
DISTRICT: 510, MAP:11, PARCELS: 6, 7F, 183, & 389

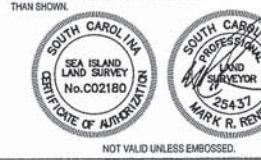
THIS PROPERTY LIES IN F.E.M.A. ZONE C & A7  
BASE FLOOD ELEVATION = NIA & 14.0'  
COMMUNITY NO. 450250, PANEL 0007D, DATED: 9/29/06

R510 011 000 0006 0000, R510 011 000 007F 0000,  
R510 011 000 0183 0000, AND R510 011 000 0389 0000

BROAD CREEK MARINA VILLAGE  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
BROAD CREEK MARINA  
DATE: 12/10/19

SCALE: 1" = 20'

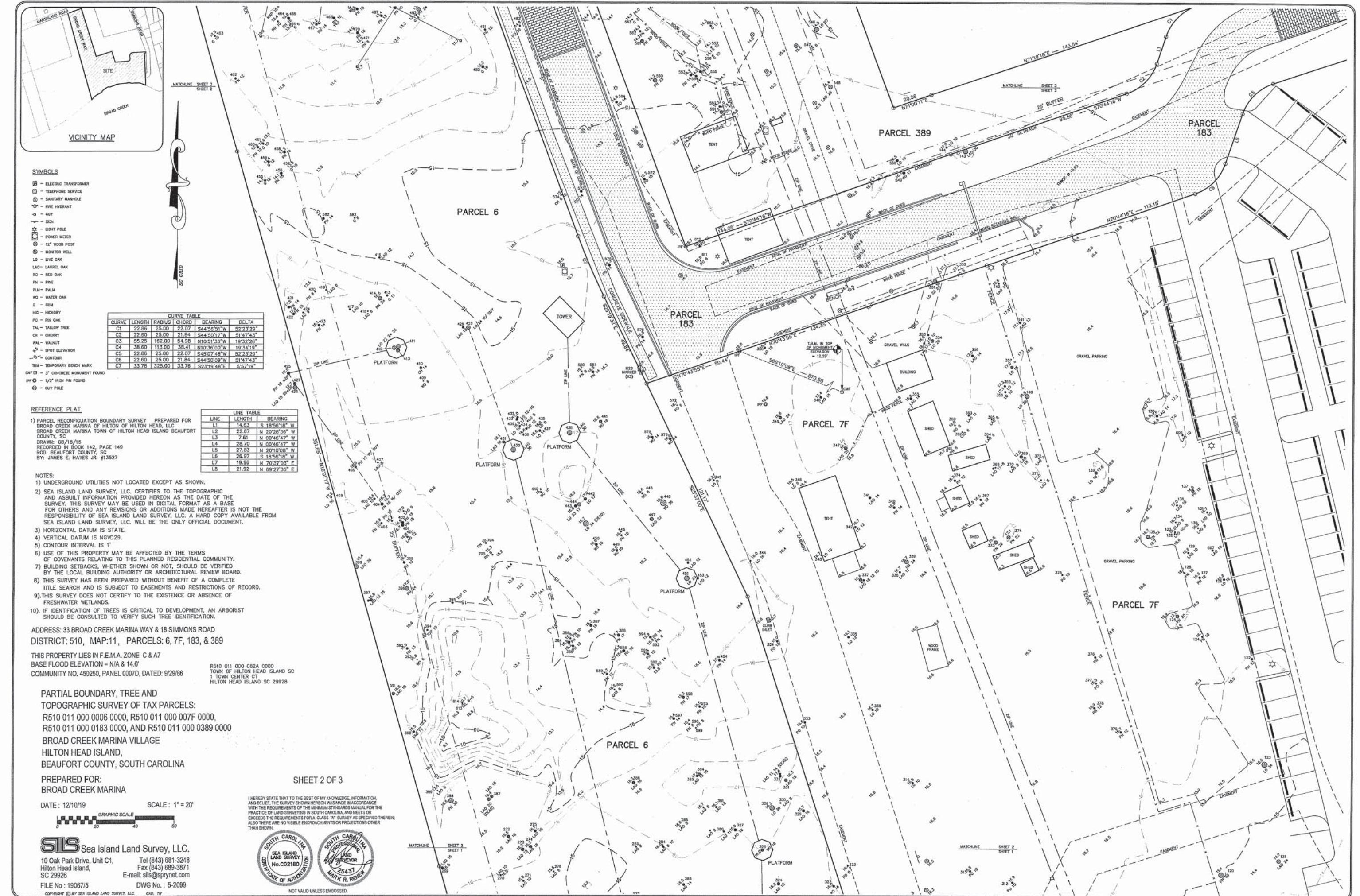
**SIS** Sea Island Land Survey, LLC.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
E-mail: sis@sprynet.com  
FILE No.: 19067/5 DWG No.: 5-2099



#### SHEET 2 OF 3

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOT VALID UNLESS EMBOSSED.





**REFERENCE PLAT**

1) PARCEL RECONFIGURATION BOUNDARY SURVEY PREPARED FOR  
BROAD CREEK MARINA OF HILTON OF HILTON HEAD, LLC  
BROAD CREEK MARINA TOWN OF HILTON HEAD ISLAND BEAUFORT  
COUNTY, SC  
DRAWN: 10/18/15  
RECORDED IN BOOK 142, PAGE 149  
ROD, BEAUFORT COUNTY, SC  
BY: JAMES E. HAYES JR. #13527

ADDRESS: 33 BROAD CREEK MARINA WAY & 18 SIMMONS ROAD  
DISTRICT: 510, MAP:11, PARCELS: 6, 7F, 183, & 389  
THIS PROPERTY LIES IN F.E.M.A. ZONE C & A7  
BASE FLOOD ELEVATION = C & 14.0'  
COMMUNITY NO. 450250, PANEL 0007D, DATED: 9/29/06

LINE TABLE		
LINE	LENGTH	BEARING
L1	14.63	S 18°56'18"E
L2	22.67	N 20°28'36"E
L3	7.61	N 00°46'47"W
L4	28.70	N 00°46'47"W
L5	27.63	N 20°10'06"W
L6	26.97	S 18°56'18"E
L7	19.96	N 30°37'03"E
L8	21.92	N 68°27'35"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	22.86	25.00	22.07	S 44°56'51"E	52°23'29"
C2	22.60	25.00	21.84	S 44°50'17"W	51°47'43"
C3	55.25	182.00	54.98	N 00°51'33"W	19°32'26"
C4	38.60	113.00	38.41	N 03°36'00"W	19°34'19"
C5	22.86	25.00	22.07	S 45°07'48"W	52°23'29"
C6	22.60	25.00	21.84	S 44°50'09"W	51°47'43"
C7	33.78	325.00	33.76	S 23°19'48"E	55°71'19"

- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) HORIZONTAL DATUM IS STATE.
  - 4) VERTICAL DATUM IS NGVD29.
  - 5) CONTOUR INTERVAL IS 1'.
  - 6) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
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  - 10) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

TREE TABLE											
101 HIC 21	176 LO 42	251 PN 14	327 LAO 16	409 WO 6	483 G 9	559 G 12	750 BD 10	14	14	14	14
102 HIC 17	177 PN 16	328 LAO 30	410 CH 14	489 G 10	560 PD 23	751 G 12	752 WO 8				
103 HIC 15	178 WAL 10	253 LAO 8	329 LAO 16	411 LO 26	489 PH 18	561 PH 20	752 WO 8				
104 WAL 12	179 LAO 14	324 WO 12	412 LO 24	487 PN 13	562 PD 12	753 LO 10	12				
105 WAL 28	180 LAO 12	255 PN 12	331 LAO 18	413 LO 22	488 G 7	563 G 8	754 LO 10	14			
106 HIC 13	181 LAO 6	256 LO 20	332 LAO 12 4 DEAD	414 PN 24	489 MAP 10	564 PD 14	755 LO 10	12			
107 CH 20	182 LAO 14	257 LO 24	333 PD 10	415 LO 20	490 G 6	565 LO 54	756 PN 16				
108 TUP 16	183 PLM 12	258 PN 12	341 LAO 14	416 LAO 12	491 PN 12	566 LO 43	757 PN 16				
109 LAO 18	184 PLM 14	259 PN 16	342 LO 12	417 CH 14	492 PO 12	567 CH 6 16	758 WO 8				
110 LAO 15	185 LAO 14	260 PN 16	343 LO 10	418 LAO 12	493 PO 12	568 PN 14	759 PN 12				
111 PLM 10	186 WO 8	261 LAO 12	344 LAO 14	419 LAO 8	494 PN 13	569 G 14	760 WO 14				
112 PLM 13	187 PN 14	262 LAO 14	345 LAO 11	420 PN 8	495 PN 15	570 TUP 28	761 G 8				
113 PN 14	188 PN 16	263 LAO 14	346 LAO 14	421 PN 14	496 LO 26	571 LO 18	762 LO 15				
114 LO 58	189 LAO 6	264 LAO 14	347 LAO 14	422 PN 15	497 PO 12	572 PD 15	763 PH 10				
115 HIC 14	190 PN 10	265 LO 30	348 LAO 14	423 PN 14	498 PO 12	573 PD 14	764 BD 24				
116 PLM 18	191 LAO 10	266 LO 60	349 LAO 12	424 LAO 11	499 PO 12	574 CH 6 16	765 WO 8				
117 CH 14	192 PLM 12	267 LAO 24	350 LAO 10	425 PN 16	500 PD 10	575 BD 10	766 BD 10	14			
118 LAO 14	193 LAO 14	268 LAO 24	351 LAO 10	426 LAO 14	501 PN 18	576 PL 14	767 WO 10				
119 PN 14	194 LAO 14	269 LAO 24	352 LAO 20	427 LAO 16	502 PD 8	577 PO 6	768 LO 20				
120 PLM 24	195 LAO 14	270 LAO 24	353 LAO 20	428 LAO 26	503 WO 16	578 WO 14	769 LO 18				
121 LAO 24	196 LO 30	271 LAO 10	354 LAO 20	429 LAO 29	504 TUP 28	579 WO 14	770 PN 22				
122 PN 13	197 PLM 12	272 LAO 10	355 LAO 20	430 LAO 30	505 PN 13	580 PL 10	771 WO 18				
123 LO 34	198 PLM 12	273 LAO 18	356 LAO 24	431 LAO 15	506 WO 20	581 PL 10	772 WO 18				
124 PN 10	199 HIC 16	274 LAO 16	357 LO 12	432 LAO 12	507 LO 13	582 PL 14	773 WO 14				
125 PN 20	200 LAO 10	275 LAO 22	358 LO 10	433 LO 22	508 PL 14	583 G 8	774 LO 36				
126 LO 12	201 LAO 6	276 LAO 8	359 PL 6	434 LAO 8	509 PL 10	584 WO 16	775 LAO 10				
127 PN 12	202 LAO 6	277 LAO 16	360 PL 10	435 LO 8	510 WO 12	585 PL 12	776 PL 14				
128 PN 10	203 PLM 14	278 LAO 12	361 LAO 12	436 LO 12	511 TUP 28	586 CH 8	777 PL 14				
129 PLM 10	204 PLM 14	279 LAO 10	362 LAO 14	437 LO 9	512 PN 17	587 PN 12	778 WO 10				
130 LAO 8	205 PLM 10	280 LAO 6	363 LAO 14	438 LO 14	513 WO 10	588 PL 10	779 LAO 10				
131 HIC 10	206 PLM 10	281 LAO 10	364 LAO 16	439 LO 16	514 LO 12	589 PL 6	780 LA 8				
132 LAO 8	207 PLM 12	282 LAO 12	365 LAO 15	440 LO 15	515 WO 13	590 PN 14	781 LO 24				
133 LAO 10	208 PLM 12	283 LAO 14	366 LAO 12	441 LO 12	516 WO 8	591 PN 12	782 WO 6				
134 LAO 8	209 PLM 14	284 LAO 12	367 LAO 12	442 LO 13	517 WO 11	592 PN 4	783 WO 10				
135 PN 12	210 PLM 10	285 LAO 8	368 LAO 11	443 LO 17	518 WO 11	593 PN 17	784 WO 12				
136 LAO 10	211 LAO 8	286 PL 22	369 LAO 9	444 LO 17	519 WO 11	594 PN 10	785 LAO 10				
137 PN 18	212 PLM 14	287 LAO 16	370 LAO 8	445 LO 23	520 WO 8	595 PN 8	786 WO 20				
138 LAO 14	213 LAO 8	288 PN 14	371 LAO 8	446 WO 8	521 PN 12	596 PN 6	787 WO 6				
139 LO 18	214 LAO 10	289 PN 16	372 LAO 8	447 LAO 22	522 PN 12	597 WO 11	788 WO 10				
140 LA 26</td											



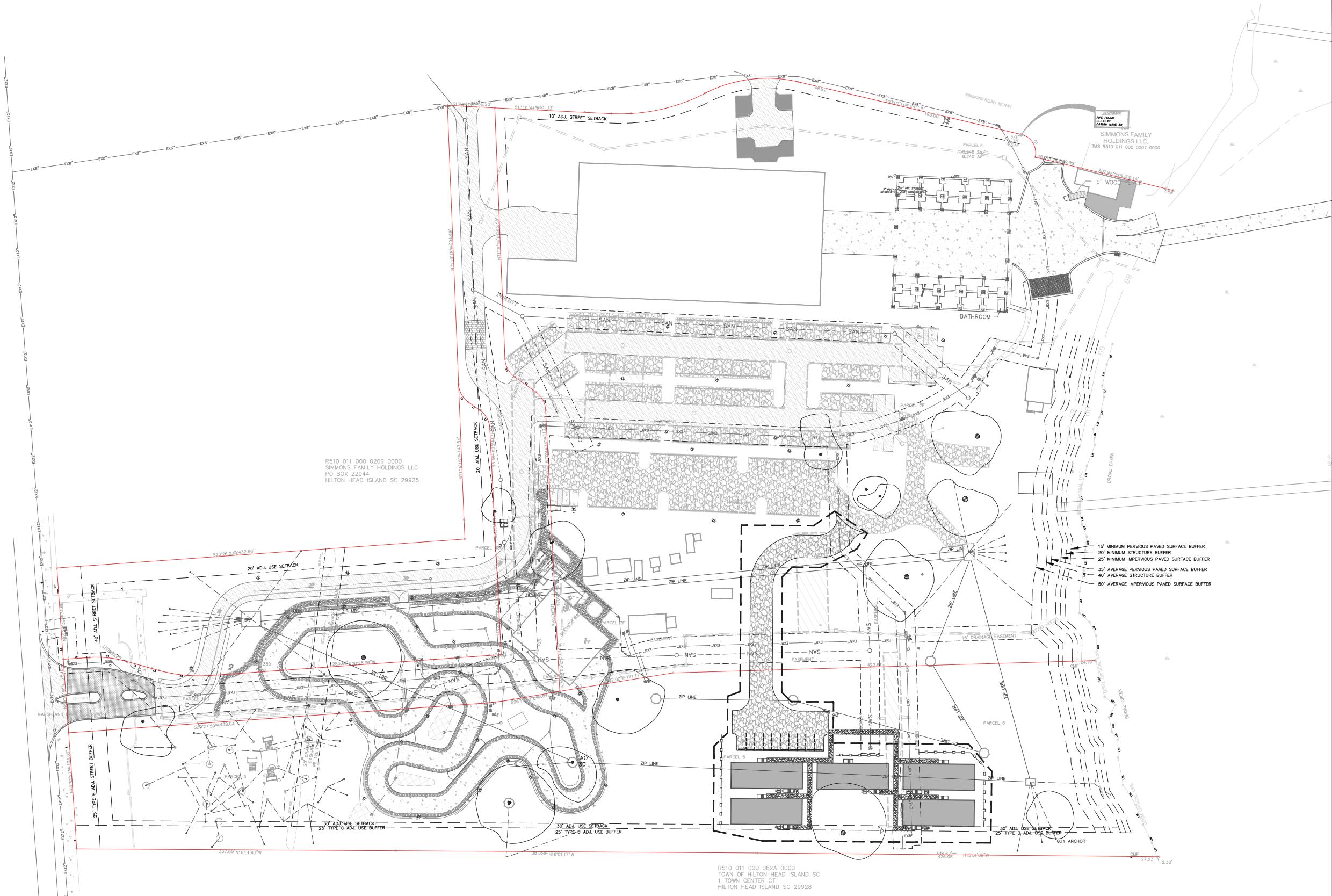
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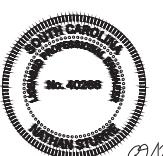
BROAD CREEK  
MARINA HOLDINGS,  
LLC

PROJECT:

WATERFRONT SMALL  
RESIDENTIAL

0 25 50 100  
SCALE IN FEET  
PLAN  
HORIZONTAL SCALE 1"=50'





PREPARED FOR:

BROAD CREEK  
MARINA HOLDINGS,  
LLC

PROJECT:

WATERFRONT SMALL  
RESIDENTIAL

SCDHEC STANDARD NOTES:

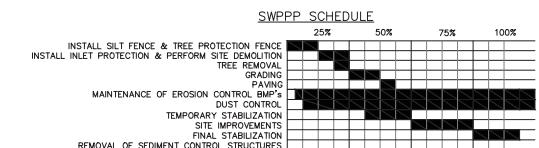
- Provide silt fence and/or other control devices, as may be required, to control erosion during construction. Disturbed areas shall be cleaned, graded and stabilized with grassing immediately after the utility installation. Fill, cover & temporary seeding at the end of the day are required. Sediment control measures shall be removed and/or filtered to remove any sediments before being pumped back into any waters of the state.
- Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the work has ceased, except as noted below. A. STABILIZATION ON THE 14TH DAY OF PRE-CONSTRUCTION COULD OCCUR DUE TO SNOW CONDITIONS. STABILIZATION MUST BE INITIATED AS SOON AS PRACTICABLE.
- When construction activity on a portion of the site is temporarily ceased, earth-disturbing activities will be resumed within 14 days, temporary stabilization measures do not have to be initiated on that portion of the site. The contractor must take necessary action to minimize tracking of mud onto the roadway and adjacent construction area. The generation dust control shall daily remove mud/soil from pavement, as may be required.
- All erosion control devices, as proposed, maintain disturbed phases of construction until all construction activities in all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or sediment. Temporary control devices shall be removed once construction is complete and the site is stabilized.
- Residential subdivisions require erosion control features for infrastructure as well as stormwater management. SCDHEC BMP's, SCDHEC Stormwater Management Plans or obtain approval for an individual plan in accordance with S.C. REG. 72-300 & SCRR000.
- Litter, construction debris, oils, fuels & building products with the significant potential to pollute water bodies shall be removed from the site. Construction equipment that could be exposed to storm water must be prevented from becoming a pollutant source in storm water discharge.
- Periodic inspection or other information indicates that a BMP has been inappropriately or incorrectly installed, the permittee must address the necessary replacement or modification of the BMP within 14 days of identification.
- Initiate stabilization measures on any exposed steep slope (>1V:1H or greater) where land disturbing activities have ceased, and will not resume for a period of 7 calendar days.
- Minimize soil compaction and, unless infeasible, preserve topsoil.
- Soil washing, wheel wash water, & other wash water, wash waters must be treated in a sediment basin or alternative control that provides equivalent or better treatment prior to discharge.
- These discharges are to be routed through appropriate BMP's (sediment basin, filter bag, etc.)
- The following discharges from the site are prohibited:
  - Wastewater from washout & cleanup of stucco, paint, from release oils, curing compounds & other construction materials
  - Fuel oil, paint, solvents, detergents, volatile & equipment operation & maintenance soaps or solvents used in vehicle & equipment washing
- After construction activities begin, inspections must be conducted at a minimum of at one per week. Inspections must be conducted until final stabilization is reached on all areas of the construction site.
- If existing BMP's need to be modified or if additional BMP's are necessary to comply with the requirements of this permit, the modifications or addition of new BMP's must be completed before next storm event whenever practicable. If implementation before next storm is impracticable, the situation must be documented in the SWPPP & alternative stormwater management plan.
- Temporary diversion berms and/or ditches will be provided as needed during construction to protect works areas from upslope runoff and/or to divert sediment-laden water.
- All waters of the state (WOS), including wetlands, are to be flagged or otherwise clearly marked the field. A double row of silt fence is to be installed in all areas where a buffer is required. The distance between the two rows of silt fence shall be a 10-foot buffer should be maintained between the last row of silt fence and all WOS.
- If cable, electric, and natural gas utilities are installed, the installation of these is to occur within the disturbed area and disturbance and installation outside of these areas will require a modification to the permit.
- Inlet protection shall be provided at all existing inlets that receive flows from the disturbed area.
- Construction entrances shall be provided at all locations where construction traffic accesses a paved roadway.

GENERAL EROSION CONTROL NOTES:

- All silt barriers and other erosion control measures must be placed prior to land disturbing activities.
- All drainage easements & disturbed areas must be grased and/or rip-rapped as required to control erosion.

GENERAL CONSTRUCTION NOTES:

- All structures, trees and shrubs which are within the limits of the property boundary, but outside the limits of construction shall not be disturbed unless otherwise instructed by the engineer.
- Unstable and surplus excavation material not required for fill shall be disposed of offsite.
- Contractor is to clean all storm water inlets and pipe at the completion of construction to remove any silt and debris. The cleaning of drop inlets, culverts, and pipes (existing and proposed) shall be considered incidental to the project, no additional compensation shall be made therefor.
- Any damage to the side streets or sidewalk due to construction activity shall be repaired in an expedient manner at the contractor's expense.



- The time and periods above are not exact or readily determinable, but in all cases soil erosion and sediment control structures will be incorporated into the construction in the sequence as shown above and/or as required by the engineer.
- Grassing will be accepted when a 95% cover by permanent grasses is obtained and weeds are not dominant.
- Grassing and construction will commence at completion of each phase of construction or in the sequence as shown above. In any case, grassing of any construction area will begin at the earliest possible date.

SCDHEC STANDARD DETAILS:

- Concrete washout - SCDHEC Standard Detail RC-07
- Silt fence - SCDHEC Standard Detail RC-03
- Surface inlet protection - SCDHEC Standard Detail SC-07
- Temporary seeding - SCDHEC BMP Handbook Pages 8-10 & Appendix C
- Permanent seeding - SCDHEC BMP Handbook Pages 26-28 & Appendix C
- Dust control - SCDHEC BMP Handbook Pages 39-40

All standard details, notes and information can be found at:  
<https://scdhec.gov/bow/stormwater/best-management-practices-bmps/bmp-handbook>

TREE REMOVAL SUMMARY

TREE SPECIES	NO. REMOVED	TOTAL DBH REMOVED (IN)	TOHH CATEGORY 1
			LAUREL OAK
TOHH CATEGORY 1	26	385	TOHH CATEGORY 3
LAUREL OAK	26	385	PINE
TOHH CATEGORY 3	4	51	PINE
TOTAL	30	436	TOTAL



REV #	DATE	DESCRIPTION
	9/12/2022	

SHEET NAME  
DEMO / SWPP PLAN  
SHEET NO.



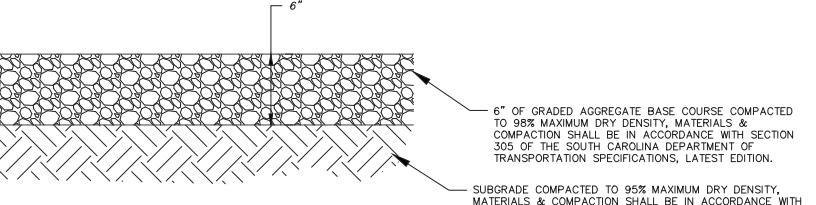
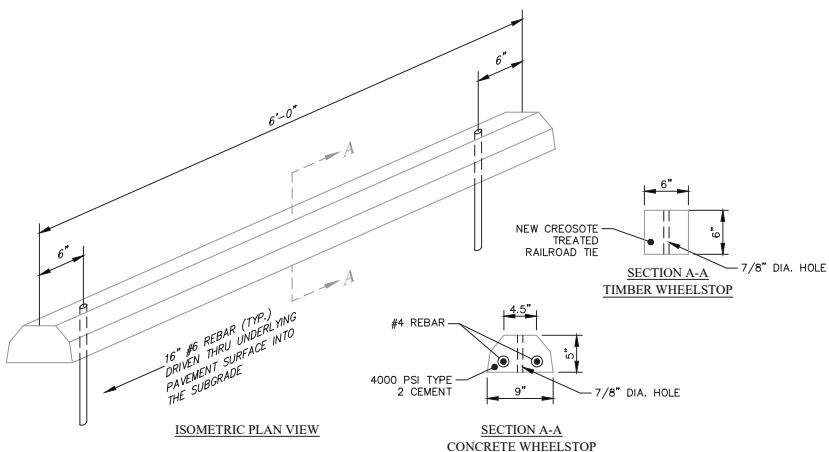
A circular state seal of South Carolina. The outer ring contains the words "THE GREAT SEAL OF THE STATE OF SOUTH CAROLINA". Inside the ring, the state motto "Ense petit placidam sub libertate quietem" is written above a central shield. The shield features a plow, a sheaf of wheat, and a cotton plant. A star at the bottom indicates the 8th state.

GENERAL NOTES:

- ALL SILT BARRIERS AND OTHER EROSION CONTROL MEASURES MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
  - A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
  - THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
  - ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), BEAUFORT COUNTY SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
  - THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
  - ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.
  - THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
  - CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
  - CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
  - NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
  - THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THEIR WORK.
  - ANY EXCAVATION ACTIVITY SHALL BE CONDUCTED WITHIN THE LIMITS OF THE PROPERTY BOUNDARY, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
  - UNUSABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE.
  - CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
  - ANY DAMAGE TO THE SIDE STREETS OR SIDEWALK DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE.
  - ENSURE THAT TEMPORARY WORK ZONE TRAFFIC CONTROL DEVICES EMPLOYED ARE COMPLIANT WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AVAILABLE AT [http://mutcd.fhwa.dot.gov/kno\\_2009.htm](http://mutcd.fhwa.dot.gov/kno_2009.htm)

## AVEL DRIVE & PARKING DETAIL

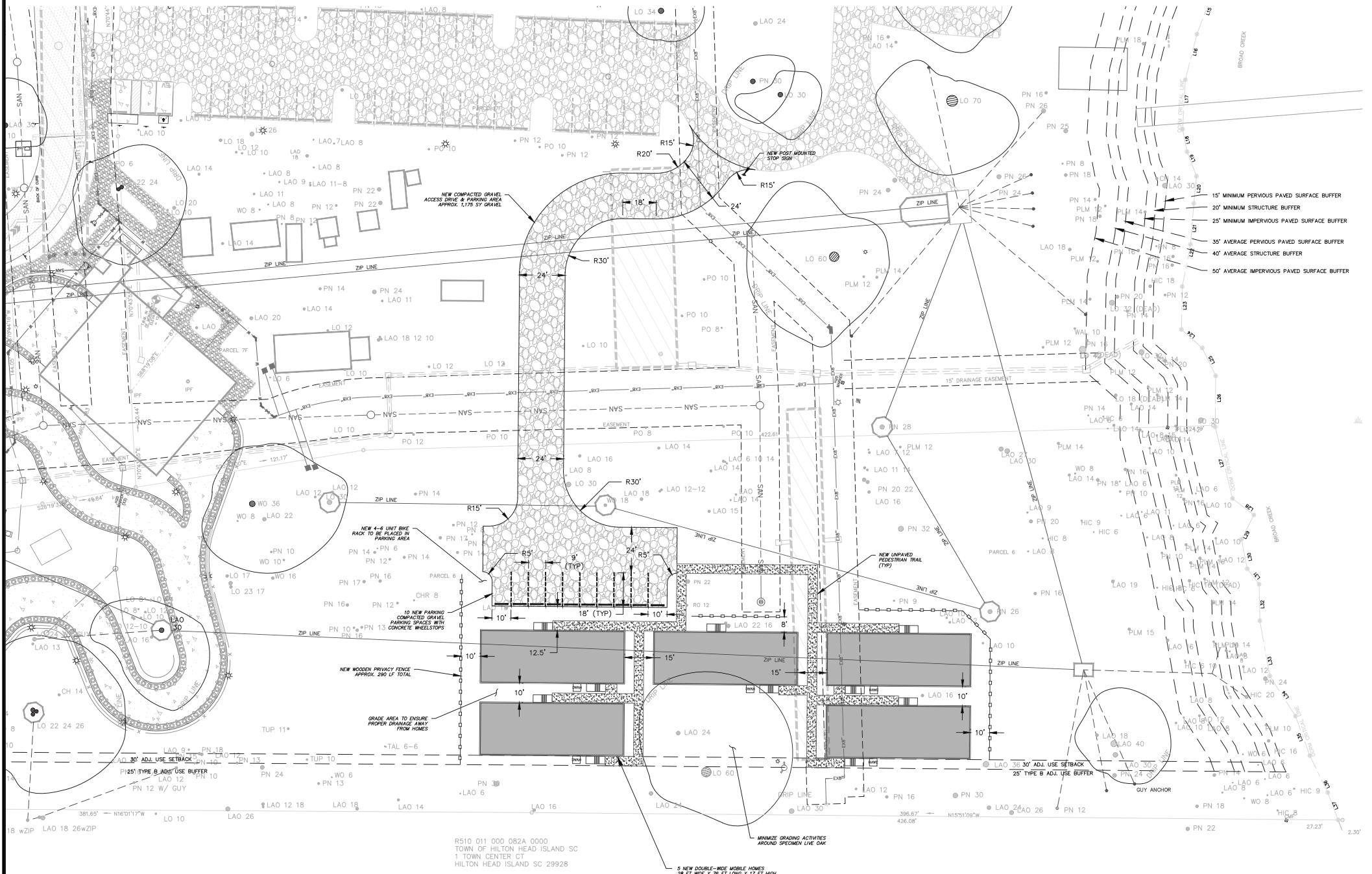
TE: ALL STONE TO BE CLEAN, DOUBLE-WASHED FREE OF ALL FINES.



## ERIC PLAN VIEW

## WHEEL STOP

I.T.S.



**PREPARED FOR:**

BROAD CREEK  
MARINA HOLDINGS,  
LLC

PROJECT:

## WATERFRONT SMALL RESIDENTIAL

## TOWN OF HILTON HEAD DATA

1. ZONING DISTRICT – WATERFRONT MIXED-USE (VMU)  
 2. OVERLAY DISTRICT – OCRM HIGH TIDE LINE  
 3. USE OF PROPERTY – MIXED USE  
 4. GROSS SITE ACRES

  - 4.1. TMS R510 011 000 0006 0000 = 4.37 AC
  - 4.2. TMS R510 011 000 007F 0000 = 8.39 AC

5. NET SITE ACRES

  - 5.1. TMS R510 011 000 0006 0000 = 4.37 AC
  - 5.2. TMS R510 011 000 007F 0000 = 8.39 AC

6. ALLOWABLE BUILDING HEIGHT (TOTAL)

  - 6.1. TMS R510 011 000 0006 0000 = 16 DU PER NET ACRE X 4.37 AC = 69 DU
  - 6.2. TMS R510 011 000 007F 0000 = 16 DU PER NET ACRE X 8.39 AC = 134 DU

7. MAXIMUM BUILDING HEIGHT ALLOWED = 75 FT

8. PROPOSED BUILDING HEIGHT IN FEET

9. MAXIMUM IMPERVIOUS AREA & PERCENTAGE

  - 9.1. TMS R510 011 000 0006 0000 = 50% (96,179 SF)
  - 9.2. TMS R510 011 000 007F 0000 = 50% (182,734 SF)

10. CURRENT IMPERVIOUS AREA & PERCENTAGE

  - 10.1. TMS R510 011 000 0006 0000 = 10.2% (19,437 SF)
  - 10.2. TMS R510 011 000 007F 0000 = 42% (153,604 SF)

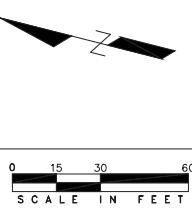
11. PROPOSED IMPERVIOUS AREA & PERCENTAGE

  - 11.1. TMS R510 011 000 0006 0000 = 18.6% (35,457 SF)
  - 11.2. TMS R510 011 000 007F 0000 = 50% (96,179 SF)

12. MINIMUM NUMBER OF PARKING SPACES REQUIRED = PER DU X 5 DU = 10 SPACES

13. EXISTING NUMBER OF PARKING SPACES (IN AREA) = 0 SPACES

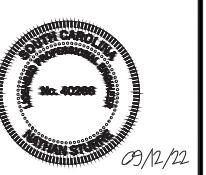
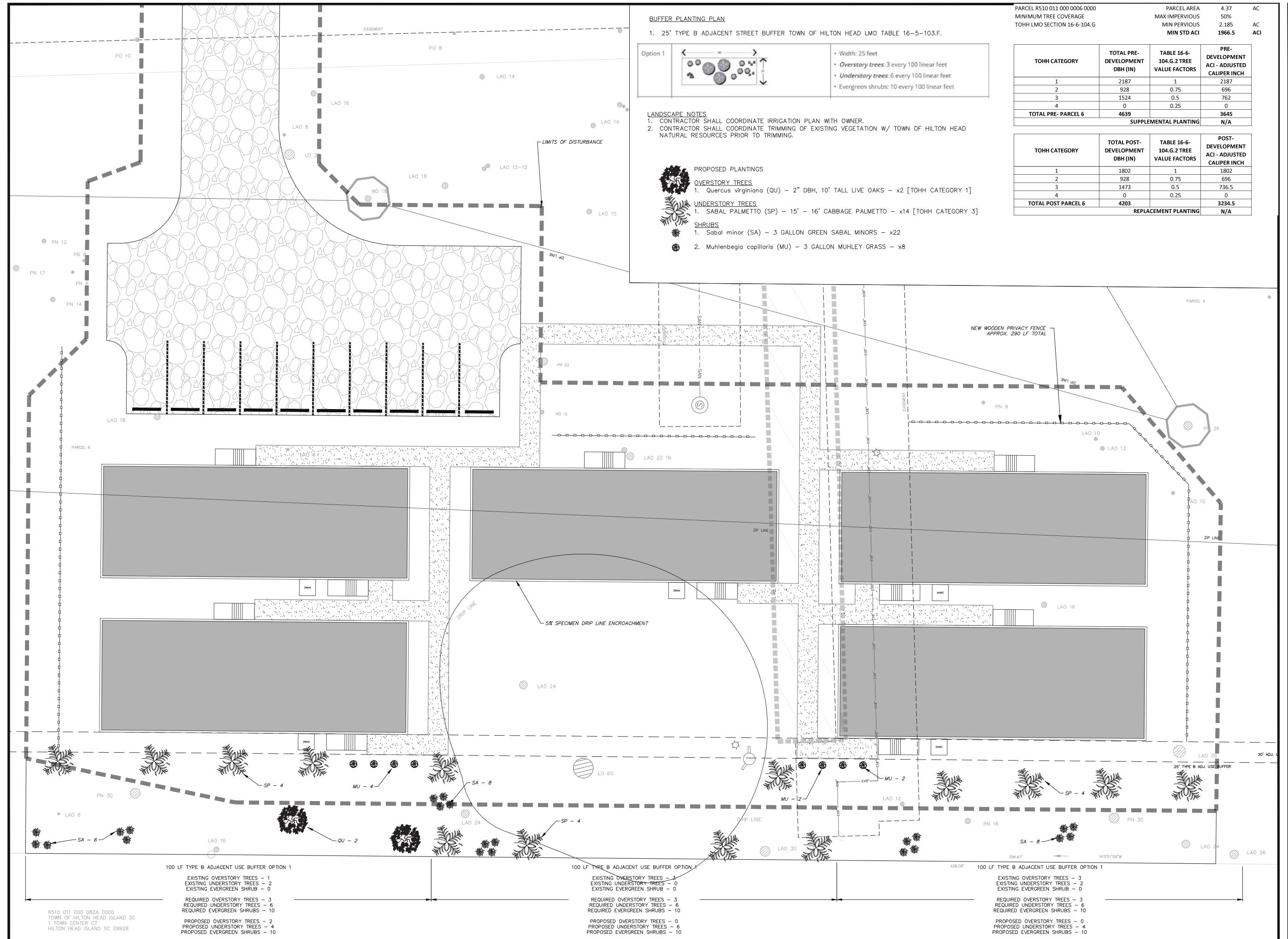
14. PROPOSED ADDITIONAL PARKING SPACES = 10 SPACES



REV #	DATE	DESCRIPTION
	DATE	9/12/2022

2022-2023

8.85.4

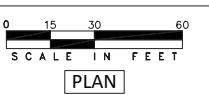


**PREPARED FOR:**

BROAD CREEK  
MARINA HOLDINGS,  
LLC

## PROJECT:

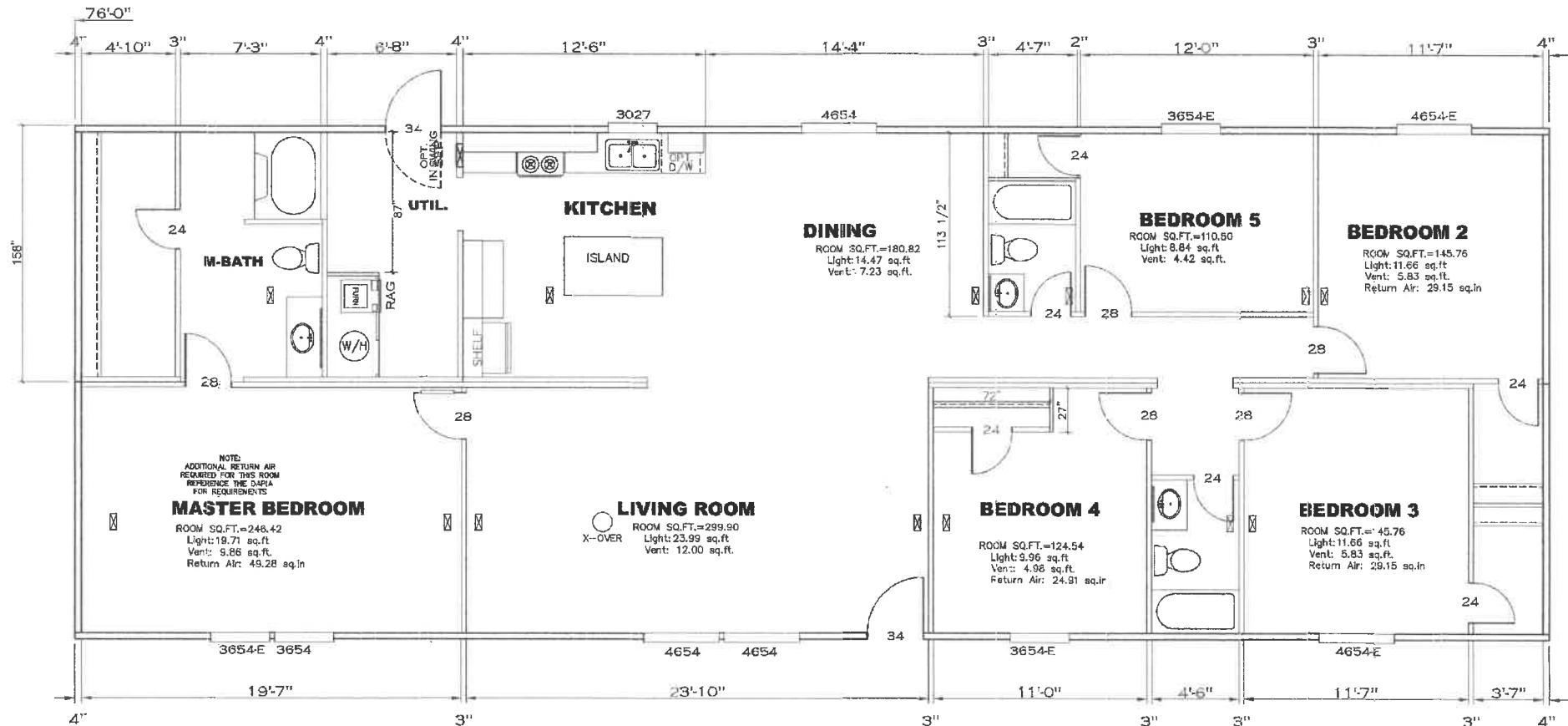
## WATERFRONT SMALL RESIDENTIAL



REV #	DATE	DESCRIPTION
	DATE	9/12/2022

Page 1

4.05.4



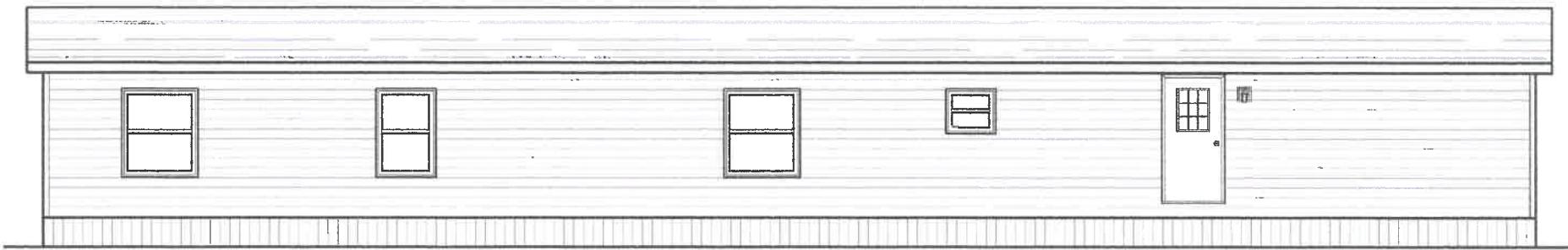
**APPROVED** JULY 27 2018  
2  
Federal Manufactured  
Home Construction  
And Safety Standards

FP-28-5105

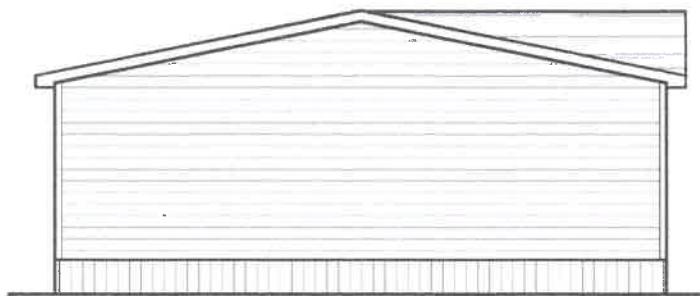
2,001 SQ.FT. (STD PLAN "CONDITIONED")	N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")	Model #: TRU28765A	Drawing #:
Date: 02.18	Spec: N.T.S.	TRU-M008-76-5	
Product Designer: Huiting J			
28' x 76' Triumph			

FLOOR PLAN

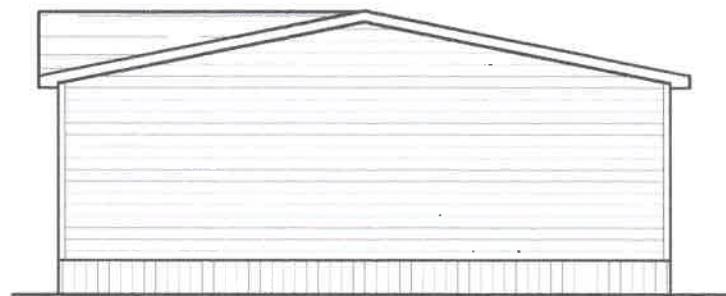
REV: 7/24/2018 11:24:58 AM, Huiting J



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

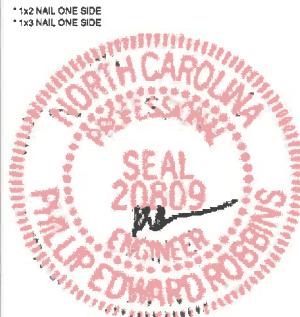
2,001 SQ.FT. (STD PLAN "CONDITIONED")

N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")

<b>TRU HOMES</b>	Model #: TRU28725A	Drawing #:
	Date: 1.24.12	Scale: N.I.S.
	Product Designer: HarmonB	TRU-M008-76-5
	28' x 76' Triumph	RJV:

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 3/16 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
TOP CHORD (DL) 11	TOP CHORD (DL) 16.5	BOT CHORD 1 3/16 x 1 1/2 #2 SPF	2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST 1 3/16 x 1 1/2 #3 SPF	3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB 1 x 1 1/2 #3 SPF	4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
TOTAL 36	TOTAL 54	VERT WEB 1 x 1 1/2 #3 SPF	5. TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL.
UPLIFT ZONE I ONLY	UPLIFT ZONE I ONLY	HEEL BLOCK 2 x 6 #3 SPF	6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.
			7. NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED.
			8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014.
			9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K.
			10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE.
			11. DEAD LOAD FOR UPLIFT IS 6 PSF.
			12. ALL CONNECTOR PLATES TO BE PLACED $\pm 1/4"$ .
			13 FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
			14 FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
			15 FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)

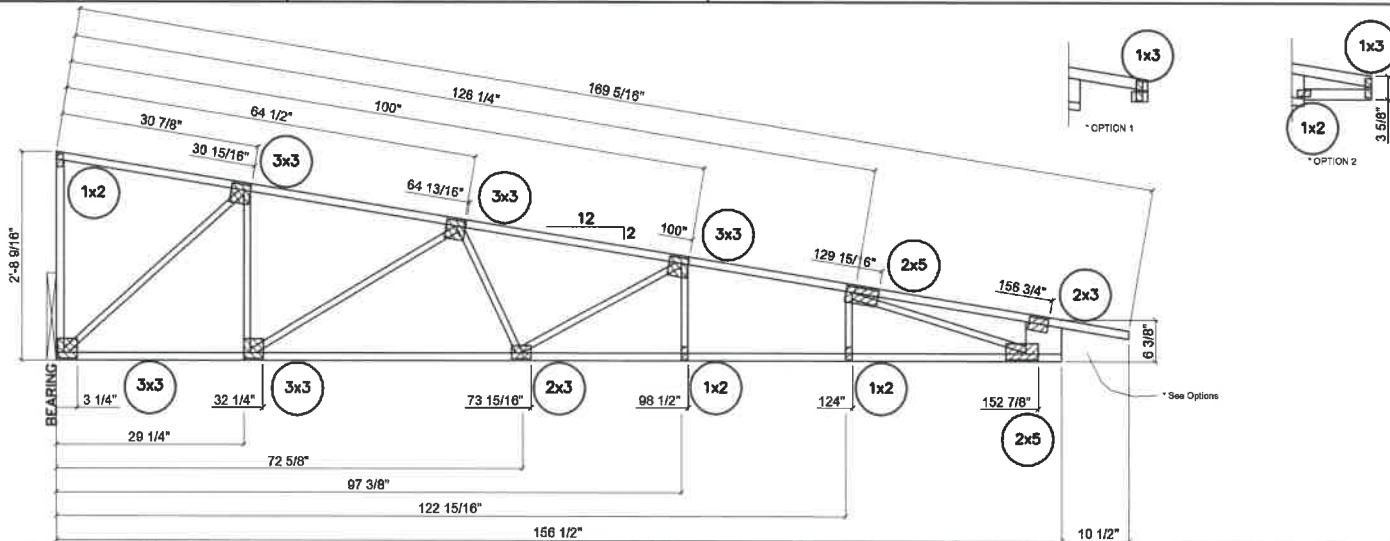
P.E. Robbins, P.E.  
1777 State Route 167  
Victoria, IL 61485



08/07/2017  
WP17029



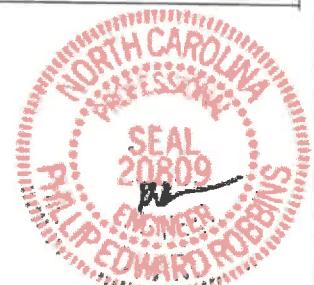
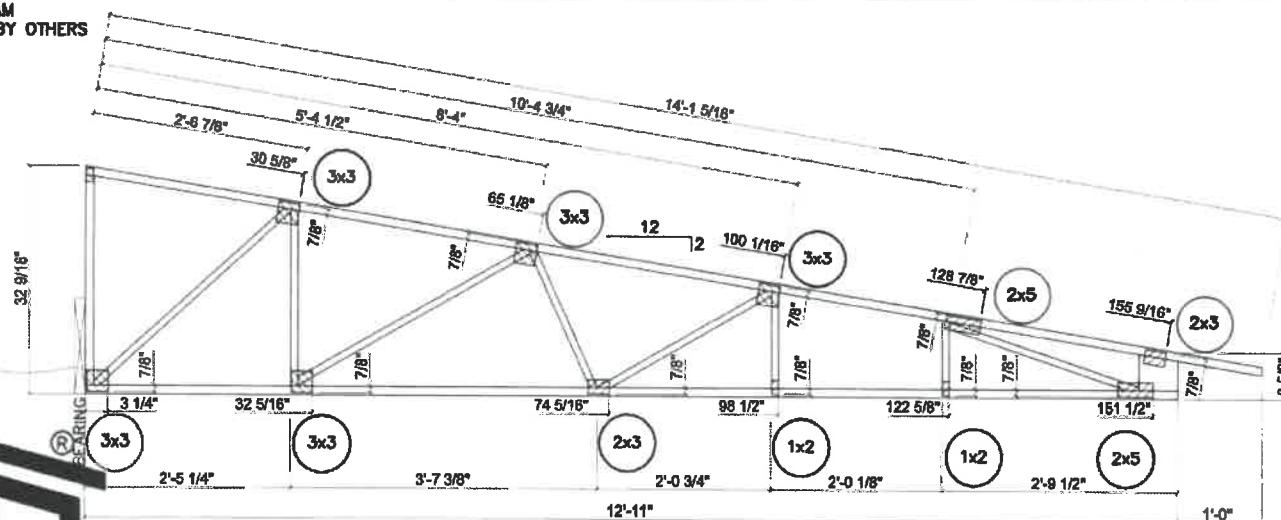
LISTED  
WDPD022213-1(92/1001)  
08/14/17



REVISIONS	DESIGN	WOODPERFECT, LTD		
		CLEAR SPAN:	156 1/2"	MONOPITCH
A Changed length and zones 2017-05-09	CLEAR SPAN: 156 1/2"	BEARING: RIDGE BEAM/ 1 1/2"	OVERHANG: 0"-10 1/2"	OVERALL LENGTH: 167"
B Added options 2017-08-07	BEARING: RIDGE BEAM/ 1 1/2"	HUD CODE: ULTIMATE LOAD	TEST METHOD: AIR CYLINDER TEST	HEIGHT: 32 9/16"
C --	OVERHANG: 0"-10 1/2"	MITEK	DATE 04/24/17	DRAWING NUMBER M072-14
D --	HUD CODE: ULTIMATE LOAD	ZONE I ONLY		
E --	TEST METHOD: AIR CYLINDER TEST			

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 3/16 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
TOP CHORD (DL) 11	TOP CHORD (DL) 16.5	BOT CHORD 1 3/16 x 1 1/2 #2 SPF	2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST 1 3/16 x 1 1/2 #3 SPF	3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB 1 x 1 1/2 #3 SPF	4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
TOTAL 36	TOTAL 54	VERT WEB 1 x 1 1/2 #3 SPF	5. TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL.
UPLIFT ZONE II	UPLIFT ZONE III	HEEL BLOCK 2 x 6 #3 SPF	6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.
		P.E. Robbins, P.E. 1777 State Route 167 Victoria, IL 61485 See WP17006 for additional test sheets.	7. NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT IS 6 PSF. 12. ALL CONNECTOR PLATES TO BE PLACED $\pm 1/4"$ . 13 FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14 FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 15 FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)

TRUSS TO BEAM  
CONNECTION, BY OTHERS



5/12/17  
WP17020



LISTED  
WDPD022213-1(92/1001  
5/15/17

REVISIONS	DESIGN	WOODPERFECT, LTD		
A Revised nail placements, changed dimensions, and adjusted vertical webs 2017-04-21	CLEAR SPAN: 155" BEARING: RIDGE BEAM/ 1 1/2"	MONOPITCH		
B Changed zones 2017-05-09	OVERHANG: 0°-12°	OVERALL LENGTH: 167"	HEIGHT: 32 9/16"	
C --	HUD CODE: ULTIMATE LOAD	PLATE 20 GA.	DATE 10/06/16	DRAWING NUMBER M074-14
D --	TEST METHOD: AIR CYLINDER TEST	MITEK	ZONE II AND III	

LOAD (PSF) @ 24" C.C.		LOAD (PSF) @ 16" C.C.		LUMBER	
TOP CHORD (LL)	20	TOP CHORD (LL)	30	TOP CHORD 1 5/8 x 1 1/2	#2 SPF
TOP CHORD (DL)	11	TOP CHORD (DL)	16.5	BOT CHORD 1 3/16 x 1 1/2	#2 SPF
BOTTOM CHORD (LL)	0	BOTTOM CHORD (LL)	0	KING POST 1 5/8 x 1 1/2	#3 SPF
BOTTOM CHORD (DL)	5	BOTTOM CHORD (DL)	7.5	DIAG WEB 1 x 1 1/2	#3 SPF
TOTAL	36	TOTAL	54	VERT WEB 1 x 1 1/2	#3 SPF
UPLIFT	ZONE I ONLY	UPLIFT	ZONE I ONLY	HEEL 2 x 6	#3 SPF

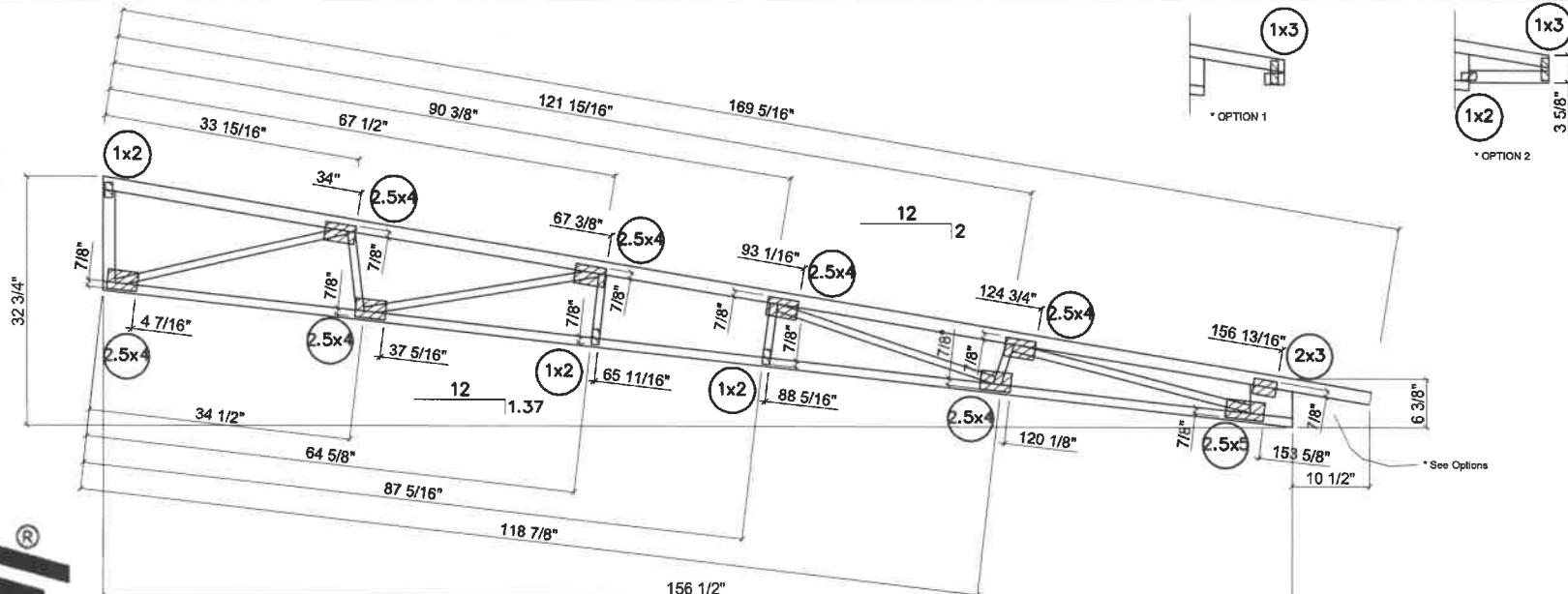
P.E. Robbins, P.E.  
1777 State Route 167  
Victoria, IL 61485

- GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
  2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
  3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
  4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
  5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL.
  6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.
  7. NAILS BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED.
  8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014.
  9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K.
  10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE.
  11. DEAD LOAD FOR UPLIFT 6 PSF
  12. ALL CONNECTOR PLATES TO BE PLACED  $\pm 1/4"$ .
  - 13 FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)

\* 1x2 NAIL ONE SIDE  
\* 1x3 NAIL ONE SIDE



08/07/2017  
WP17029

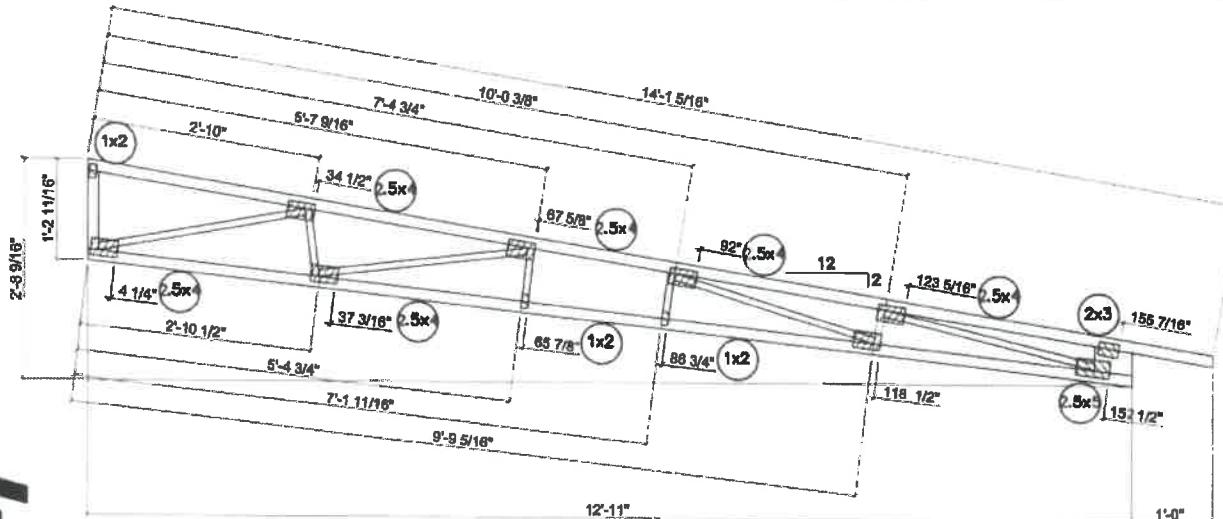


WDPD022213-1(92/1001  
8/14/17

REVISIONS		DESIGN	WOODPERFECT, LTD		
A	Changed overhang to 12" 11/15/2016	CLEAR SPAN: 156 1/2"	CATHEDRAL TRUSS	OVERALL LENGTH: 167" HEIGHT: 14 11/16"	DRAWING NUMBER
B	Changed nail plates, webs, and length 2017-04-21	BEARING: RIDGE BEAM/POINT			
C	Added dimension 2017-05-09	OVERHANG: 0"-12"			
D	Added options 2017-08-07	HUD CODE: PROOF LOAD			
E	--	TEST METHOD: AIR CYLINDER TEST			

PLATE 20 GA.	DATE 11/15/2016	ZONE I ONLY	ETN C072
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LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 5/8 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
TOP CHORD (DL) 11	TOP CHORD (DL) 16.5	BOT CHORD 1 5/8 x 1 1/2 #2 SPF	2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST 1 5/8 x 1 1/2 #2 SPF	3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB 1 x 1 1/2 #2 SPF	4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
TOTAL 36	TOTAL 54	VERT WEB 1 x 1 1/2 #2 SPF	5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL.
UPLIFT ZONE II	UPLIFT ZONE III	HEEL 2 x 6 #2 SPF	6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.
		P.E. Robbins, P.E. 1777 State Route 167 Victoria, IL 61485 See WP14118 for additional test sheets.	7. NAILS BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT 6 PSF 12. ALL CONNECTOR PLATES TO BE PLACED $\pm 1/4"$ . 13. FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14. FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 15. FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)

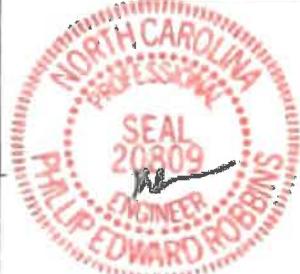


5/12/17  
WP17021

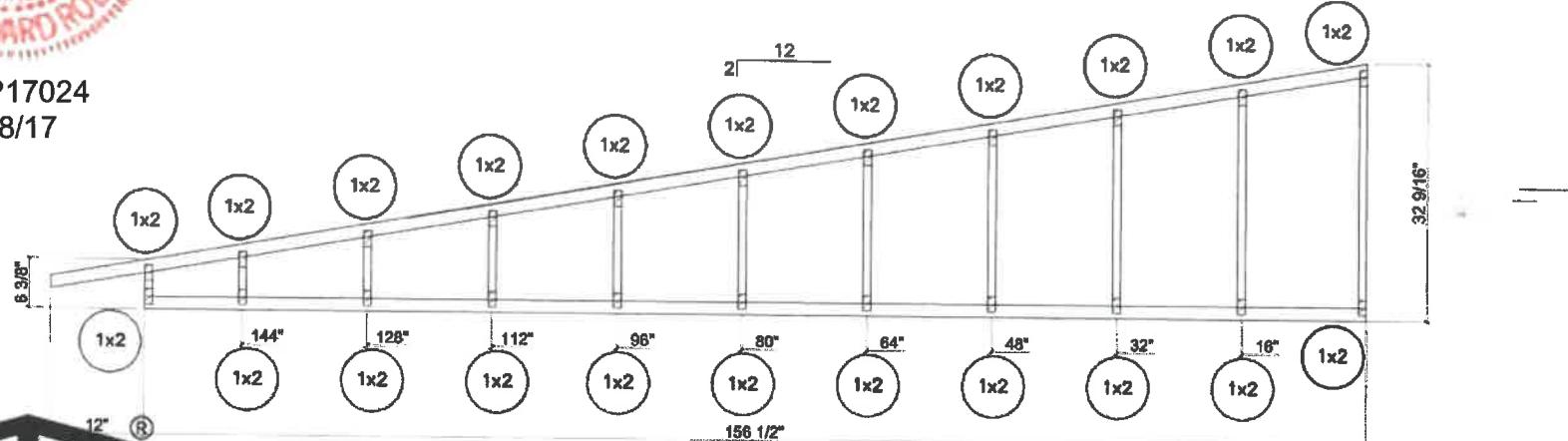
**NIA**  
L I S T E D  
WDPD022213-1(92/1001  
5/15/17

REVISIONS	DESIGN	WOODPERFECT, LTD	
A Changed nail plate locations, webs, and clearspan from 155 1/4" to 155" 2017-04-27	CLEAR SPAN: 155" BEARING: RIDGE BEAM /POINT	CATHERDRAL TRUSS	
C Changed Zones 2017-05-09	OVERHANG: 0"-12"	OVERALL LENGTH: 167"	HEIGHT: 32 9/16"
D --	HUD CODE: PROOF LOAD	PLATE 20 GA. DATE	DRAWING NUMBER
E --	TEST METHOD: AIR CYLINDER TEST	MITEK 10/06/16	ZONE II & III C074-14

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 3/16 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
TOP CHORD (DL) 11	TOP CHORD (DL) 18.5	BOT CHORD 1 3/16 x 1 1/2 #2 SPF	2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST F1 x 1 1/2 #3 SPF	3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB NA NA	4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
TOTAL 36	TOTAL 54	VERT WEB F1 x 1 1/2 #3 SPF	5. TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL.
UPLIFT ZONE I AND II	UPLIFT ZONE III	HEEL BLOCK NA NA	6. LUMBER MOISTURE CONTENT NOT TO EXCEED 18%.
			7. NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED.
			8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JUNE 13, 2014.
			9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K.
			10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE.
			11. DEAD LOAD FOR UPLIFT IS 8 PSF.
			12. ALL CONNECTOR PLATES TO BE PLACED $\pm 1/4"$ .
			13 FOR 1x2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
			14 FOR 1x3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
			15 FOR 1x4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
			16 TRUSS SHALL BE TIED DOWN FOR UPLIFT LOADS AS NECESSARY UP TO 246 PLF.



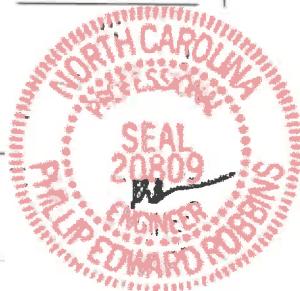
WP17024  
5/18/17



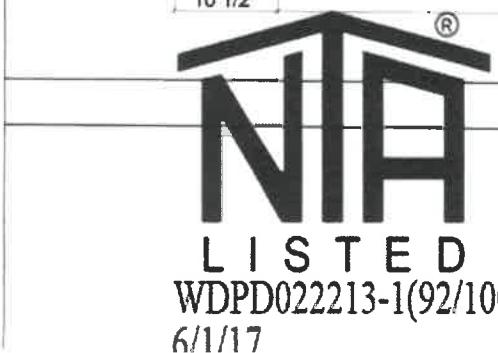
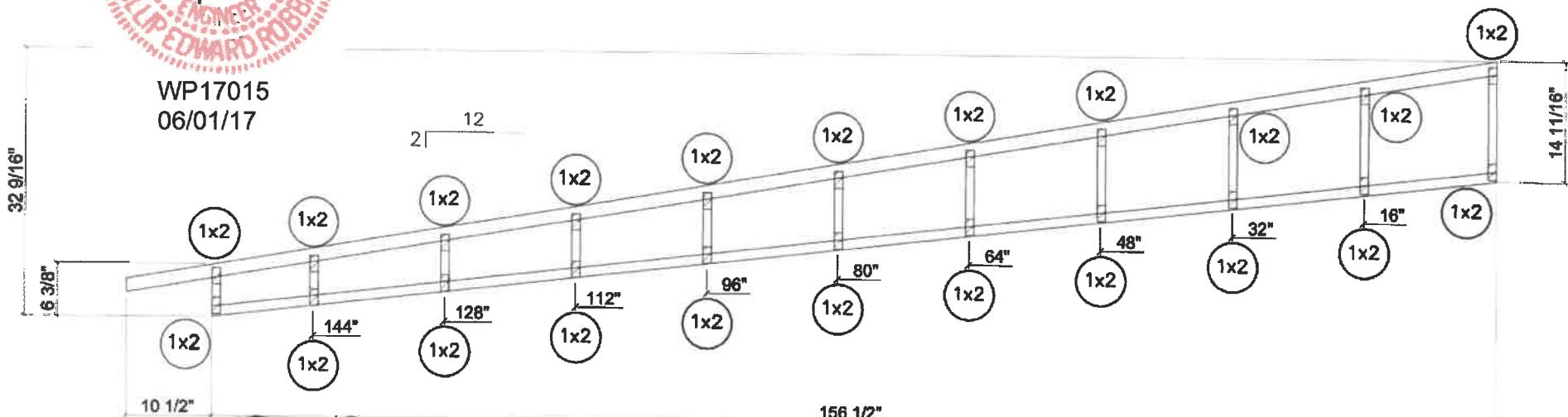
LISTED  
WDPD022213-1(92/1001  
5/25/17

REVISIONS	DESIGN	WOODPERFECT, LTD		
		CLEAR SPAN:	N/A	MONOPITCH
A Add note 16, C/S to N/A, cont. bearing 2017-05-16	CLEAR SPAN: N/A			
B --	BEARING: CONTINUOUS			
C --	OVERHANG: 0"-12"			
D --	HUD CODE: ULTIMATE LOAD			
E --	TEST METHOD: AIR CYLINDER TEST			
		OVERALL LENGTH: 168 1/2"	HEIGHT: 32 9/16"	DRAWING NUMBER M072-G
		PLATE 20 GA.	DATE 02/24/2017	
		MITEK	ZONE I,II AND III	

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 5/8 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM, EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.
TOP CHORD (DL) 11	TOP CHORD (DL) 16.5	BOT CHORD 1 3/16 x 1 1/2 #2 SPF	2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST F1 x 1 1/2 #3 SPF	3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB NA NA	4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.
TOTAL 36	TOTAL 54	VERT WEB F1 x 1 1/2 #3 SPF	5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL.
UPLIFT ZONE I ONLY	UPLIFT ZONE II & III	HEEL NA NA	6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.



WP17015  
06/01/17



REVISIONS		DESIGN		WOODPERFECT, LTD	
A	Increased clear span and overall length 2017-05-09	CLEAR SPAN:	N/A	CATHEDRAL TRUSS	
B	Add note 14, C/S as N/A, and cont. bearing 5/16/17	BEARING:	CONTINUOUS	OVERALL LENGTH:	168 1/2"
C	Overhang changed to 10 1/2" from 12" 6/1/17	OVERHANG:	0"-10 1/2"	HEIGHT:	14 11/16"
D	--	HUD CODE:	PROOF LOAD	PLATE 20 GA.	DATE 02/24/2017
E	--	TEST METHOD:	AIR CYLINDER TEST	ZONE	DRAWING NUMBER C072-G

16 'Dolman

Job Standard Cottage WP13072	Truss Standard Dormer	Truss Type GABLE	Qty 1	Ply 1	Wood Perfect Standard Cottage Dormer
Wood Perfect, Guin, AL					

7,340 s Feb 24 2012 MiTek Industries, Inc. Fri Feb 22 09:42:47 2013 Page 1

## Alternate Splice

This truss is designed for 30 psf ground snow load,  
Category II, Exp. C, Partially Exp.; Ct = 1.1, ASCE 7-88.

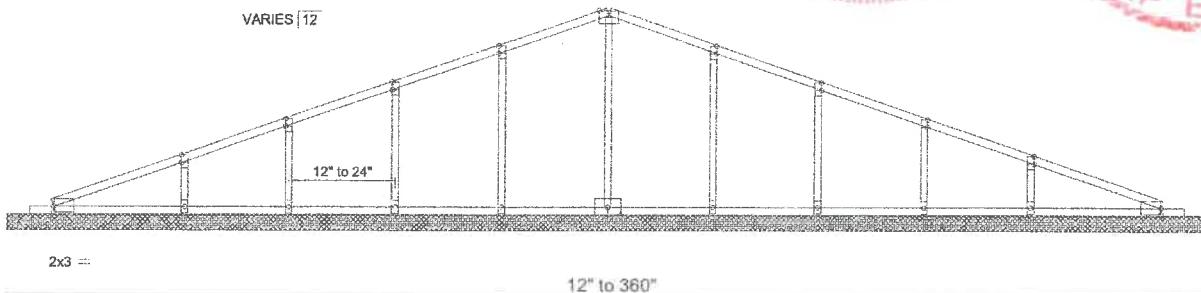


Plate Offsets (X,Y): Vertical webs: 0-1-0,0-0-0 or symmetric, Heel: 0-0-0, 0-0-14 or symmetric.

LOADING (psf)	SPACING	CSI	PLATES	GRIP
TCLL 30.0	Plates Increase 1.15	TC 0.37		
TCDL 10.0	Lumber Increase 1.15	BC 0.15		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.21		
BCDL 6.0	Code HUD/TPI2007/IRC-IBC2009	(Matrix)	MT20	197/144

## LUMBER

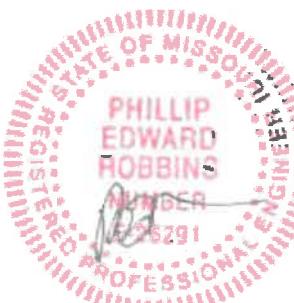
TOP CHORD 1-1/2x1-3/16 to 1-5/8 SPF No.2/STUD  
BOT CHORD 1-1/2x1-3/16 to 1-5/8 SPF Stud/Std  
WEBS 1-1/2x1-0/16 to 1-5/8 SPF Stud/Std  
THERS 1-1/2x1-0/16 to 1-5/8 SPF Stud/Std

RÉACTIONS Maximum 188 lbs uplift at 24" c/c.  
Maximum 192 lbs gravity at 24" c/c.

## NOTES (10-15)

- 1) Wind: ZONE II; TCDL=6.0psf; BCDL=0.0psf; Lumber DOL=1.60 plate grip DOL=1.60
- 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 3) TCLL: Roof=30.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15);
- 4) All plates are 1x2 MT20 unless otherwise indicated.
- 5) Gable requires continuous bottom chord bearing.
- 6) This truss is designed in accordance with the 2009 International Building Code section 2306.1 and referenced standard ANSI/TPI-1
- 7) Wind: ASCE 7-05; 130mph; TCDL=6.0psf; BCDL=3.6psf; h=15ft; Cat. II; Exp C; enclosed; C-C Exterior(2); Lumber DOL=1.60 plate grip DOL=1.60
- 8) All webs and chords shall be optionally square cut at necessary.
- 9) This truss has been designed for HUD WIND ZONE I at 24" c/c (9 psf net uplift truss clear span, 22.5 psf net uplift on overhangs and porches).
- 10) This truss has been designed for HUD WIND ZONE II at 24" c/c (39 psf uplift truss clear span, 51 psf uplift on overhangs and porches) and 6 psf dead load.
- 11) This truss has been designed for HUD WIND ZONE III at 16" c/c (47 psf uplift truss clear span, 62 psf uplift on overhangs and porches) and 6 psf dead load.
- 12) This over framing has been designed for HUD WIND ZONE III at 24" c/c (39 psf uplift truss clear span, 51 psf uplift on overhangs and porches) and 3 psf dead load.

## LOAD CASE(S) Standard



4/25/13



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Broad Creek Marina Housing

DRB#: DRB-002326-2022

DATE: 09/15/2022

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval

Approval with Conditions

Denial

RECOMMENDED CONDITIONS:

### ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“To achieve Island Character the architectural design of structures shall be visually harmonious with the overall natural appearances, history and cultural heritage of Hilton Head Island. Structures must be designed to be unobtrusive and set into the natural environment. They should demonstrate a strong relationship to the outside and avoid appearing foreign to the site.” (Design Guide, Page 12)
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is no pedestrian connections to adjacent development. Pedestrian walks around the units are angular and to not represent typical human walking habits.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“For a project to achieve Island Character a site analysis must be used to identify features and constraints to be considered in order to lose nothing but see more.” (Design Guide, Page 6) This was not accomplished.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“The overall exterior color scheme must be selected to be harmonious with the neighborhood and blend with

				the natural surroundings of the site. Earth tones must be chosen as the predominant colors." (Design Guide, Page 16) On this site the proposed colors would stand out from the "natural surroundings".
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"In larger structures a variety of forms can provide greater visual interest and break up large roof planes." (Design Guide, page 13) These are not large structures but there are five of them with no proposed variation. At a minimum consider a different material on the short gables.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"Roof form is also a key element to achieve Island Character. Typically gable, hip or shed roof forms are desirable with a minimum pitch of 6/12." (Design Guide, Page 13) The pitch of the roofs on the units is too flat to achieve Island Character.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"Overhangs of sufficient depth and in proportion to the façade height can also be important to roof form and for shadow play." (Design Guide, page 13) "Details such as exposed rafter tails, brackets, and louvers all add to Island Character." (Design Guide, page 15) Proposed overhangs are insufficient detailing is missing to achieve Island Character.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"All materials should be high quality, durable materials, suitable for the Hilton Head Island environment... The use of wood or wood simulating materials is strongly encouraged." (Design Guide, page 15) Is it Staff's opinion the proposed siding is not the quality required on commercial or multifamily development historically approved by the DRB.
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"Window openings must be in proportion to the façade or façade element and have a unified relationship in overall design." (Design Guide, page 15) Window placement lacks rhythm and appear out of proportion across the façade. The gable ends have no windows and are void of any architectural detail.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Please provide detail, materials, and finish for the proposed wood privacy fence around the units.

## LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
---------------------------	-----------------	----	----------------	------------------------

Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“The landscape, the site’s existing and new vegetation, plays an essential role in creating the Island Character... Landscape plantings of new vegetation, is to be used to supplement the existing vegetation and provide for a harmonious setting for the site’s structures,... (Design Guide, page 18) The landscape plan does not adequately reflect what is required in the Design Guide.
--	--------------------------	-------------------------------------	--------------------------	--

### NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

### MISC COMMENTS/QUESTIONS

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov) or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.
3. DRB Jurisdiction Explanation - Typically the DRB does not review single family buildings or manufactured homes. Because these manufactured homes are being added to an existing commercial development makes them an Alteration / Addition to the commercial development; and because there are multiple units on one parcel the addition is multi-family, which is within the jurisdiction of the DRB.
4. Staff does not think the proposed location is compatible with, and negatively impacts the zipline facility that runs above the units.



**Town of Hilton Head Island**  
**Community Development Department**  
One Town Center Court  
Hilton Head Island, SC 29928  
Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

**FOR OFFICIAL USE ONLY**

Date Received: \_\_\_\_\_

Accepted by: \_\_\_\_\_

DRB #: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Thomas Michaels Jr. Company: SM7 Design LLC  
Mailing Address: PO Box 2287 City: Bluffton State: SC Zip: 29910  
Telephone: 843-252-2454 Fax: n/a E-mail: thomas@sm7design.com  
Project Name: Nunzio Restaurant Porch Addition Project Address: 18 New Orleans Road  
Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 C 0 0 7 6 0 0 0 0  
Zoning District: LC - Light Commercial Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR**  
**DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:

Concept Approval – Proposed Development  
 Final Approval – Proposed Development

Alteration/Addition  
 Sign

Submittal Requirements for **All** projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

B

B A B t onal Subm itaBRequ rements: B

**Final Approval – Proposed Development B**

B **XX** A f nal wr tten narrat ve escr b ng how the project conforms w th the conceptual approval an es gn B  
B rev ew gu B l nes of Sec. 6-3- B.F.3. B

B **XX** F nal s te evelopment plan meet ng the requ rements of Appen B D: D-6.F. B

B **XX** F nal s te l ght ng an lan scap ng plans meet ng the requ rements of Appen B D: D-6.H an D-6.I.

B **XX** F nal floor plans an elevat on raw ngs ( 8"= '- " m in mum scale) show ng exter or bu l ng mater als an colors w th arch tectural sect ons an eta ls to a equately escr be the project.

B **n/a** A color boar ( Bx 7" max mum) conta n ng actual color samples of all exter or f n shes, keye to the elevat ons, an n Rat ng the manufacturer's name an color es gnat on. B

B **n/a** Any a Bt onal nformat on requeste by the Des gn Rev ew oar at the t me of concept approval, such as scale mo el or color ren er ngs, that the oar f n s necessary n or er to act on a f nal appl cat on. B

B

B A B t onal Subm itaBRequ rements: B

**Alterations/Additions**

B **XX** All of the mater als requ re for f nal approval of propose evelopment as l ste above, plus the follow ng a Bt onal mater als.

B **XX** A survey ( "=3 ' m in mum scale) of property l nes, ex st ng topography an the locat on of trees meet ng the tree protect on regulat ons of Sec. 6-6- B.C.2, an f appl cable, locat on of bor er ng streets, marshes an beaches. B

B **XX** Photographs of ex st ng structure. B

B

B A B t onal Subm itaBRequ rements:

**Signs**

B Accurate color ren er ng of s gn show ng mens ons, type of letter ng, mater als an actual color samples.

B For freestan Bg s gns:  
B Ste plan ( "=3 ' m in mum scale) show ng locat on of s gn n relat on to bu l ngs, park ng, ex st ng s gns, an property l nes. B

B Propose lan scap ng plan. B

B

**For wall s gns:**

B Photograph or raw ng of the bu l ng ep ct ng the propose locat on of the s gn. B

B Locat on, f xture type, an wattage of any propose l ght ng.

B

Note: All appl cat on tems must be rece ve by the ea lne ate n or er to be rev ewe by the DR Bper LMO Appen B D: D-23. B

A representative for each agenda item is strongly encouraged to attend the meeting. B

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO B

B

To the best of my knowle ge, the nformat on on ths appl cat on an all a Bt onal documentat on s true, factual, an complete. I hereby agree to ab B by all con B ons of any approvals grante by the Town of H lton Hea Islan . I un erstan that such con B ons shall apply to the subject property only an are a right or obligat on transferable by sale. B

B

I further un erstan that n the event of a State of Emergency ue to a D saster, the rev ew an approval t mes set forth n the Lan Management Or nance may be suspen e . B

B



SIGNATURE

B

B

B

B

B

8/31/22

DATE

August 31, 2022

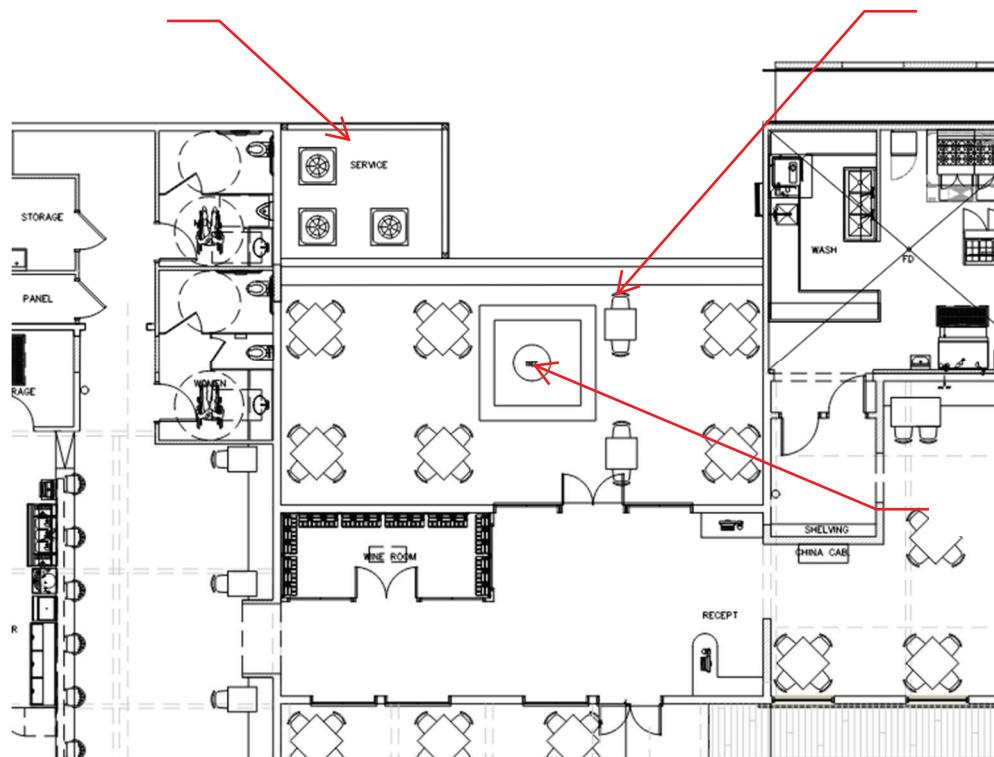
Town of Hilton Head Island  
Design Review Board

RE: Nunzio Restaurant and Bar – Porch Addition

DRB Members

We are please to present for your review the porch renovation/addition to Nunzio Restaurant and Bar at 16 New Orleans Road.

The addition will be located at the rear of the building which faces Highway 278. The existing rear deck is shielded by a stucco wall which inhibits air flow to the exterior dining area. The deck is also uncovered which hinders the exterior dining during some of rainy weather. (Image 1, Image 2)



*Image 1: Existing plan*



*Image 2: Rear façade at addition location*

The new addition will be an extension of the existing deck of approximately 8 feet towards the rear of the property. It will include a new trellis over the existing and new deck. (Image 3) This trellis will include areas covered by translucent roofing panels to protect the diners from the rain. (See attached information) The mass of the stucco wall will be replaced with a louvered wall system constructed by 6X6 wood members to allow for air circulation. (Image 4) All materials and colors shall match the existing structure. The new area will be lit with wall sconces to match the existing lighting currently on the deck. (Image 5) New heaters will also be added that match the existing heaters on the property. (Image 6) The trellis will screen these items from view.

New landscaping will be added to supplement the existing in the form of Carolina Cheery Laurels and Confederate Jasmine to grow on the trellis which is similar to the entry patio at the front of the restaurant.

Relocated service yard

New deck extention

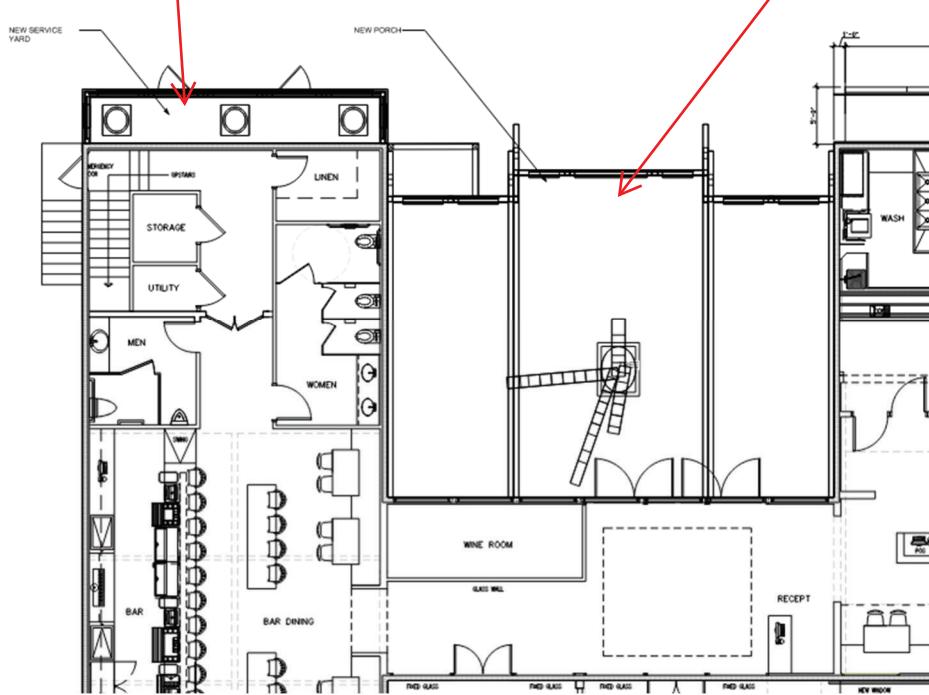


Image 3: New plan

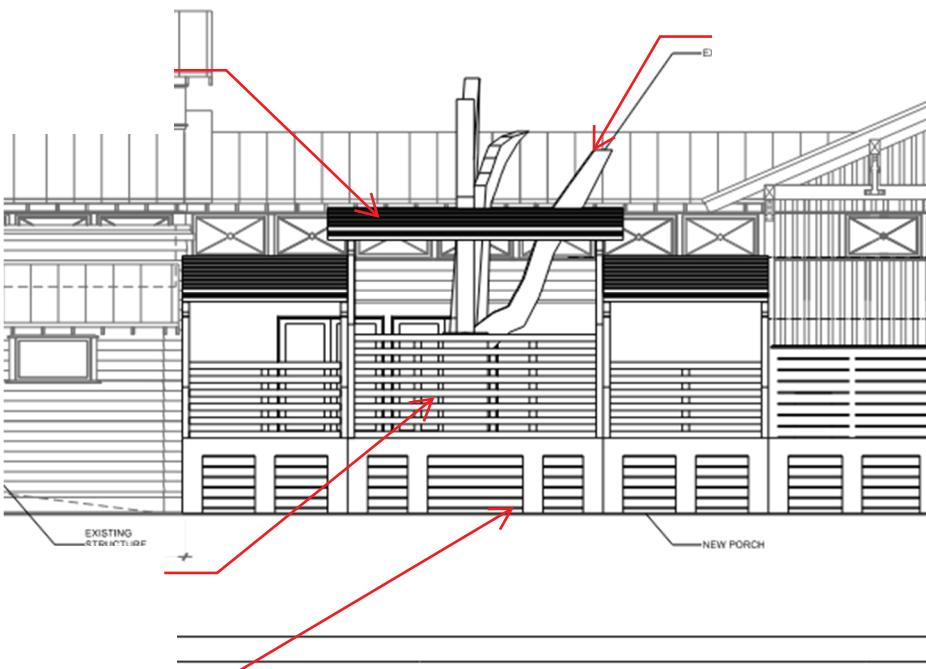


Image 4: New trellis and lattice wall



## Over ew i

SunSk i corrugate ipo icarbonate i pane s stan up to punishing i exterior app ications an ioffer i mu tip e a vantages over i tra itiona fiberg ass corrugate i pane s. SunSk iprovi es up to 20 i times greater impact resistance, i warra nte iprotection against i e owing, exce ent oa iratings, i an i the highest resistance to win i up i t-outstan ing properties i confirme i b iin iopen ient i aborator tests an iin insta ations i wor iwi e since 1984. i

SunSk is avai ab e in so t white i or maximum iight transmission i without g are, as we has c ear an i a range o to ors to fi ter iight or i re iuce heat oa i.

[palram.com/us](http://palram.com/us)

## Main Benefits i

- Virtua i unbreakab e i
- Se fextinguishing i
- High transmission of natura ia iight i
- Retains optica carit over time i
- Engineere ito sta tough over a wi e i temperature range (-40°F to 212°F) i
- Easi an isafe iinsta e i
- 10 ear imite iarrant (oss of iight transmitting capabi it ; i amage iue to hai) i
- Hai an iwin iresistant (FBC approved) i
- Superior, in iustr - ea ing UV a er i provi ng 100% UV protection i
- Ma e in the USA i



## T pica App ications i

- Sk iights for corrugate imeta roofs i
- Si eights i
- Roofing i
- Ri ge iights (using SunSk ri ge cap) i

Look ng for reduced glare and less shadows? i

Unike competing pro ucts, Ask for SUNSKY i SunSk Soft White isn't just iSoftWhite® white IC with ess white tint. ii It's a vance itechno og , proven to provi e 100% i ffusion an i85% iight transmission. Soft White i spre a s iight an ires harsh sha ows an igare. i



# SUNSKY®

This sheet only displays a partial list of available profiles; for additional profiles visit [o.palram.com/profiles](http://o.palram.com/profiles) or call Palram.

## Stock Profiles and Availability\*

Profile Name	Basic Profile Dimensions	Thicknesses (mm)		Standard Lengths (Ft.)					Colors			
		0.8	1.0	1.20	8'	10'	10 1/2'	12'	16'	Clear	Soft White	White
SunSky 9"		★	★	★	★	★	★	★	★	★	★	★
SunSky 12"		★	★	★	★	★	★	★	★	★	★	★
SunSky Ridge Caps		★ <sup>a</sup>	★ <sup>b</sup>	★	★	★	★	★	★	★	★	★

## Common Special Profiles\* (Subject to minimum order requirements. Other profiles available.)

9" Classic Rib		★	★	★	★	★	★	★	★	★	★	★
9" ProPanel II		★	★	★	★	★	★	★	★	★	★	★
9" Frontier (a.k.a. SUN UF6010)		★	★	★	★	★	★	★	★	★	★	★
7.2 MegaRib		★	★	★	★	★	★	★	★	★	★	★
2.67" LP		★	★	★	★	★	★	★	★	★	★	★
2.67" SP		★	★	★	★	★	★	★	★	★	★	★
5V Crimp		★	★	★	★	★	★	★	★	★	★	★
Sunsky Mini		★	★	★	★	★	★	★	★	★	★	★
Sunsky U-Panel (a.k.a. SUN UF9600)		★	★	★	★	★	★	★	★	★	★	★

\*Special dimensions and colors are available, subject to minimum order.

<sup>a</sup>For detailed profile drawings, fastening patterns, snow/wind load & spanning capabilities, see the technical addendums at [palram.com/us/sunsky](http://palram.com/us/sunsky)

## Available Colors and Light Transmission

Color	Light Transmission	Color	Light Transmission
Clear	90% 5	White Opal	45% 5
Soft White	85% 5	Solar Gray	35% 5

## Need Match Your Own Custom Profile?



Palram can match virtually any metal profile in just a few short weeks, and with minimal order requirements. Talk to your Palram rep or call Palram.

## Available Exclusively from Palram:

### SunSky 12 for High Ridges & Wide Purlin Spans

1mm and 1.5mm thick SunSky 12 for applications that require better loading capabilities, FBC Approval, or for greater spans between purlins. Contact Palram. \*ask for details



## Regulatory Codes Compliance Certification

Organization	Standard	Classification
Florida Building Code	FBC 2020 (SunSky 12 in 1mm or 1.5mm required)	FL11238 Roof Deck FL11240 Structural Wall Applications
Miami Dade County	FBC 2020 (Canopy Approval)	NOA Approval
City of Los Angeles	LABC 2020 (Light Transmitting Plastics)	ESR 1893 Supplement
ICC (International Code Council)	IBC 2021 (Light Transmitting Plastics)	ESR-1893
TDI (Texas Dept. of Insurance)	IBC 2018 (SunSky 12 in 1mm or 1.5mm required)	RWA-04

Authorized Distributor



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Kutztown, PA, 19530 USA  
800.999.9459  
ContactUs.USA@palram.com  
[palram.com/us](http://palram.com/us)



Inasmuch as Palram Americas has no control over the use (and/or installation method) to which others may put this material, it does not guarantee that the same results as those described herein will be obtained. Each user of the material should make their own test to determine the suitability of the material for their own particular use. In the event of a warranty claim for product failure, Palram Americas reserves the right to inspect any or all of the sheets involved and the installation site itself while the sheets are still in their original position and have not been removed or moved or altered in any way.

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Actual photo of case study test structure.

Actual photo of 5-year old case study FRP panel.

Actual photo of 5-year old case study SUNSKY® panel.

## Case Study T

Energy use & light transmission in machine shops, Sunsky vs. FRP sheets



# Energy use & light transmission in machine shops, SunSky® vs. FRP sheets

## Purpose:

Evaluate lifecycle energy savings & lumen depreciation of Standard FRP (Fiberglas Reinforced Plastic) Sheets available in the market & SunSky polycarbonate sheet produced by Palram, Ltd.

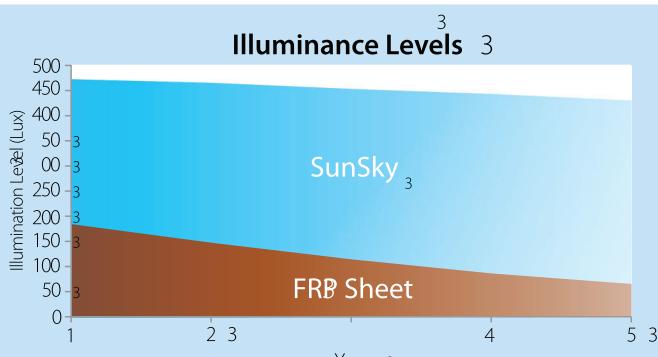
## Method:

For our detailed study, we selected a pair of near identical machine shop sheds, which had an area of approximately 12,910 sq. ft.

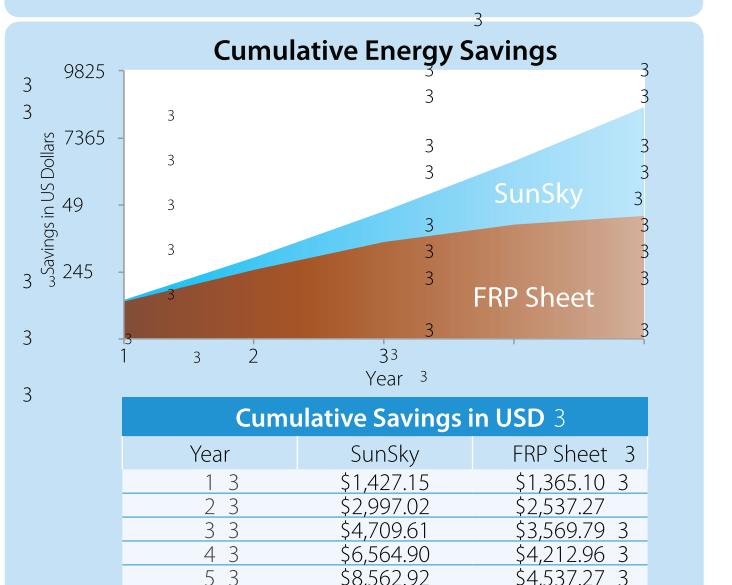
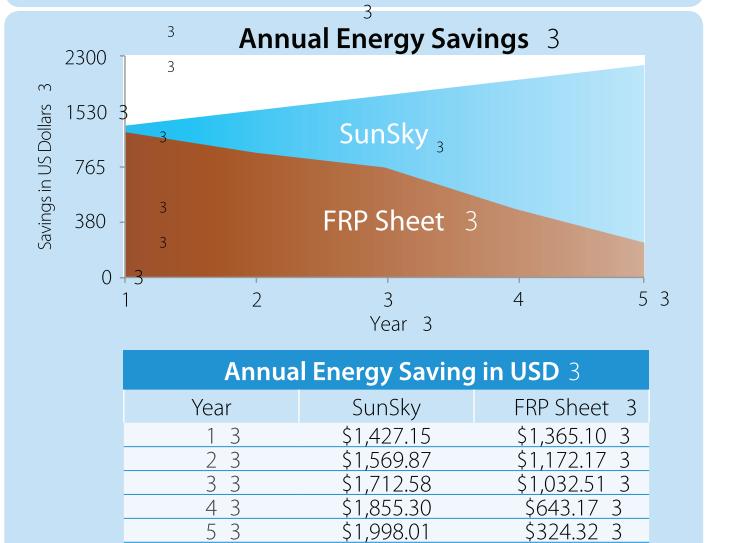
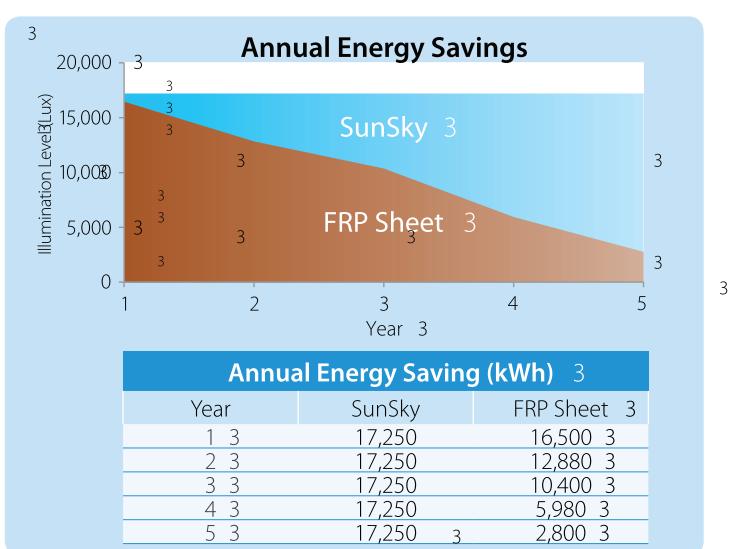
The units operated for 24 hours a day and for 300 days a year and were illuminated by 200 Watt metal halide lamps. By installing an energy meter in the Main Lighting Distribution Board of the respective units, we measured power consumption over a week before sheets were installed on the roof covering to provide daylight in the shed. We took an identical set of measurements to record the illuminance level at different times of day at various places. The SunSky sheets were installed on the roof of one of the sheds while standard FRP sheets were installed on the roof of the other shed. We installed a timer to note and monitor the period during which the lamps were actually switched off.

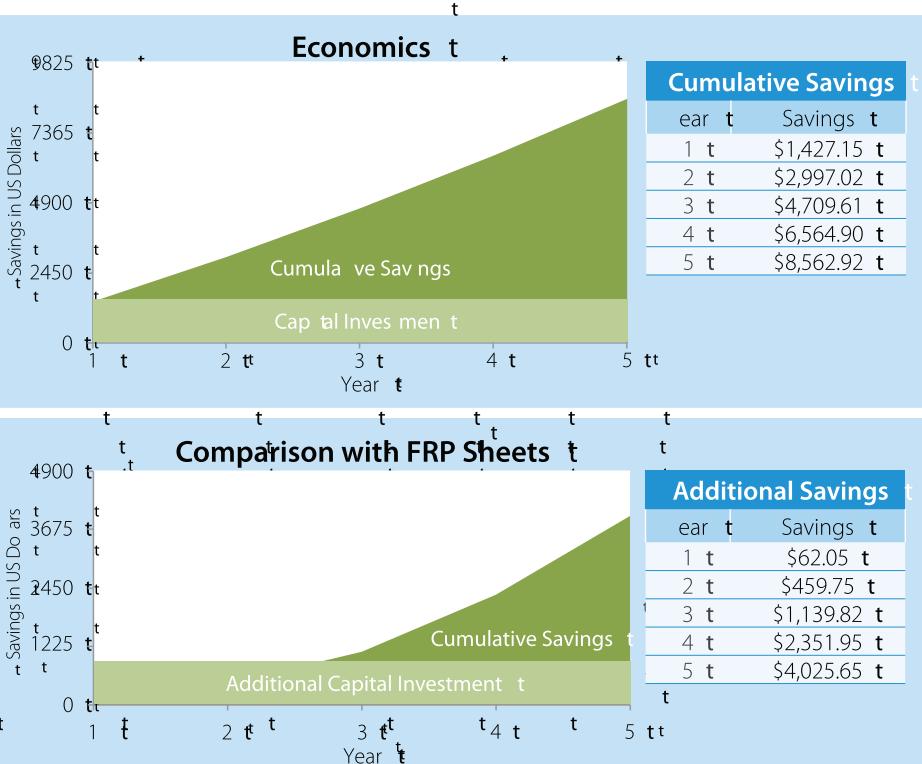
We monitored the energy consumption as well as off time of the lamps by noting the requisite data on a day-to-day basis. The illuminance levels were measured once per week at different times of the day in both sheds at the same time intervals; the test continued for five years. After five years there was virtually no savings in the unit with the FRP sheets due to reduced light transmission of the FRP sheets over time.

## Observations & Findings:



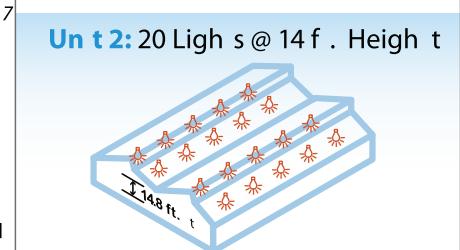
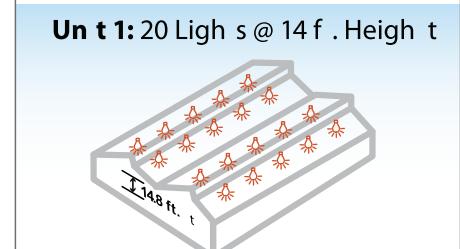
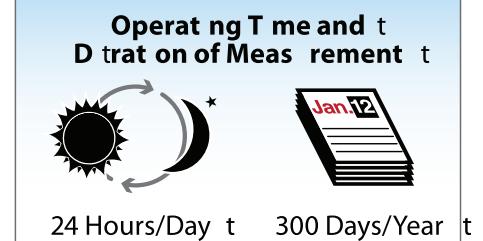
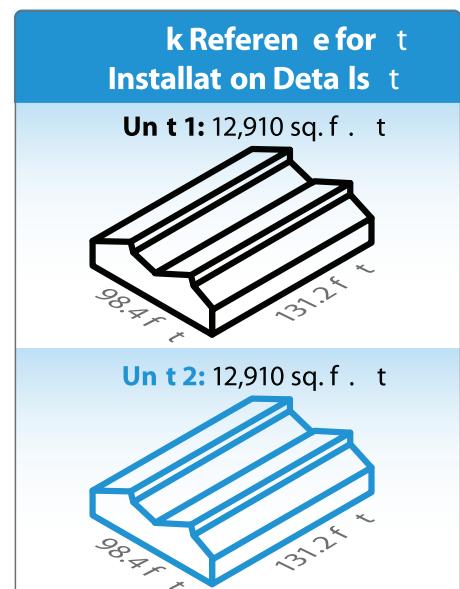
Year	SunSky	FRP Sheet
1	472	185
2	465	148
3	453	115
4	443	87
5	430	66





Installation Details			
Description	Units	Unit - I FRP Sheets	Unit - II SunSht.
Length of the premises	t.	98.4 t	98.4 t
Area of the premises	t <sup>2</sup>	12910 t	12910 t
Height of fitting from working level	t	14.8 t	14.8 t
Operation	Hr/ a	24 t	24 t
	Da / ear	300 t	300 t
Type of lamp	Metal Halide t	Metal Halide t	Metal Halide t
Rating of the lamp		250 t	250 t
Number of fittings	—	20 t	20 t
Average Illuminance	Lux	200 I	200 I
Duration of the measurement	hr	2 I	2 I
Annual power consumption	kWh	36000 I	36000 I
Cost of Translucency	USD I	\$ 96.0 I	\$1,89.20 I

Description	Unit	A total of 20 luminaires				
		Year 1	Year 2	Year 3	Year 4	Year 5
Illuminance	Lux	185.4	172	184	165	115.4
Timed Lamp Off	Hr./day	7.11	11.5	9.2	11.5	7.6
Day - Lamp Off	Day	300	280	300	257	300
Lamp On / Day	Day	0	0	0	0	5
Energy Saving	kWh	16500	17250	12880	17250	10000
	USD	1,365.10	1,271.15	1,172.17	1,569.87	1,032.51



Findings								
Description	Units	FR Sheet e			SunSky e			Drop e
		First Year	Fifth Year	Drop e	First Year	Fifth Year	Drop e	
Illuminanc e	Lux	1850	660	6% 4	17 e	8 e	5% e	
Time - Lamp Off e	Hr/day	110 e	69 3 e	7% e	115 e	115 e	0% e	
Days - Lamp Off e	Days	3 e 00	2 e 0 e	% 3 e	00 3 e	00 e	0% e	
Lamp On All Day e	Days	e 00	100	50% e	0 e	0 e	0% e	
Energy e	kWh e	16500	2 800	8 %	17 50	17 50 e	0% e	
Savings e	USD	1,6510 3 e	7 6%	1 e 7e15	199801	30% Gain		

## Observation & Conclusion:

- SunSky provided a high and more uniform illuminance level than standard FR sheets over the entire period of five years. The illuminance level of SunSky averaged at 50 Lux whereas FR sheets averaged approximately 15 Lux during the same period.
- The unit with FR Sheets observed reduction in power consumption of 66% as against approximately 5% for the unit with SunSky during the period of five years.
- The unit with FR sheets was forced to switch on the artificial light during daytime on rainy/cloudy days right from day one; switching on the artificial light kept increasing over the time period. The unit with SunSky never switched on the artificial light during daytime during the period of five years.
- The unit with FR sheets required switching to artificial lighting in twilight zone several times as well as morning; but no such concern was faced by the unit with SunSky. The "Lamp on All Day" kept on increasing during twilight period as the days passed by.
- At the end of third year/beginning of fourth year, the unit with FR sheets switched on lamps throughout the day to illuminate critical areas; requirement of artificial illumination increased as the days passed. The unit with SunSky required no artificial illumination to supplement the lighting.
- At the end of fifth year, the unit with FR sheets had to be switched on all the lamps since the sheets became practically opaque whereas the unit with SunSky could easily rely on natural daylight.

## About PALRAM

With 50 years of experience in the industry, ALRAM has established a manufacturing, distribution and sales operations across seven continents and 10 countries around the world. The company markets its products to the sign and graphics market, as well as to the commercial, industrial, residential, marine, and do-it-yourself construction markets.

ALRAM corrugated polycarbonate products are sold under the trade name Suntuf® (and SunSky in North America). ALRAM also offers the MetalMatch™ technology, allowing the use of SUN-TUF polycarbonate panels for daylighting options with virtually any metal profile available. Suntuf is offered in a range of colors, including a soft white to transparent clear. ALRAM also offers Sunlit®, a multi-wall polycarbonate sheet for skylights, roof lights, or side-lighting applications.

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As the name emphasizes, it's the synergy between SENERGY and YOU that alone can facilitate the optimum utilization of energy. SENERGY was founded with this



concept in early 1990 and has

grown up with the same. SENERGY believes that ultimate aim of energy study is actual realization of the savings. SENERGY provides frank and practical solutions. A basic of over 100 satisfied clients with many reports from their sister/associates demonstrate the credibility of SENERGY's capabilities and results. SENERGY is a member of Consultant with Maharashtra Energy Development Agency (MEDA) & Gujarat Energy Development Agency (GEDA).

SENERGY has Accredited and Certified Energy Auditors by Bureau of Energy Efficiency.



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Ramat-Yohanan 00 5, Israel  
Tel: +972 8 59900 e  
Fax: +972 8 e 01 e  
E-mail: palram@palram.com e



Case Study Performed By: **SENERGY Consultants (P) Ltd**, Aastha II, B K S Dhasi Road e Govandi East, Mumbai 400 088, India e hon: +91 e 555 07 e Web site : <http://www.senergy-india.com>

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*Image 5: Existing wall sconce*



*Image 6: Existing exterior heater*

## Existing Photos



*Existing facade facing highway 278*



*Rear deck area enclosed by wall*



*Rear of building at new service yard location*



*Front of building with jasmine*



*Existing foundation detail*



## architecture + planning

SM7 DESIGN LLC  
1011 BAY STREET, STE 314  
BEAUFORT SC 29002

**PROJECT:  
NUNZIO'S  
RESTAURANT**

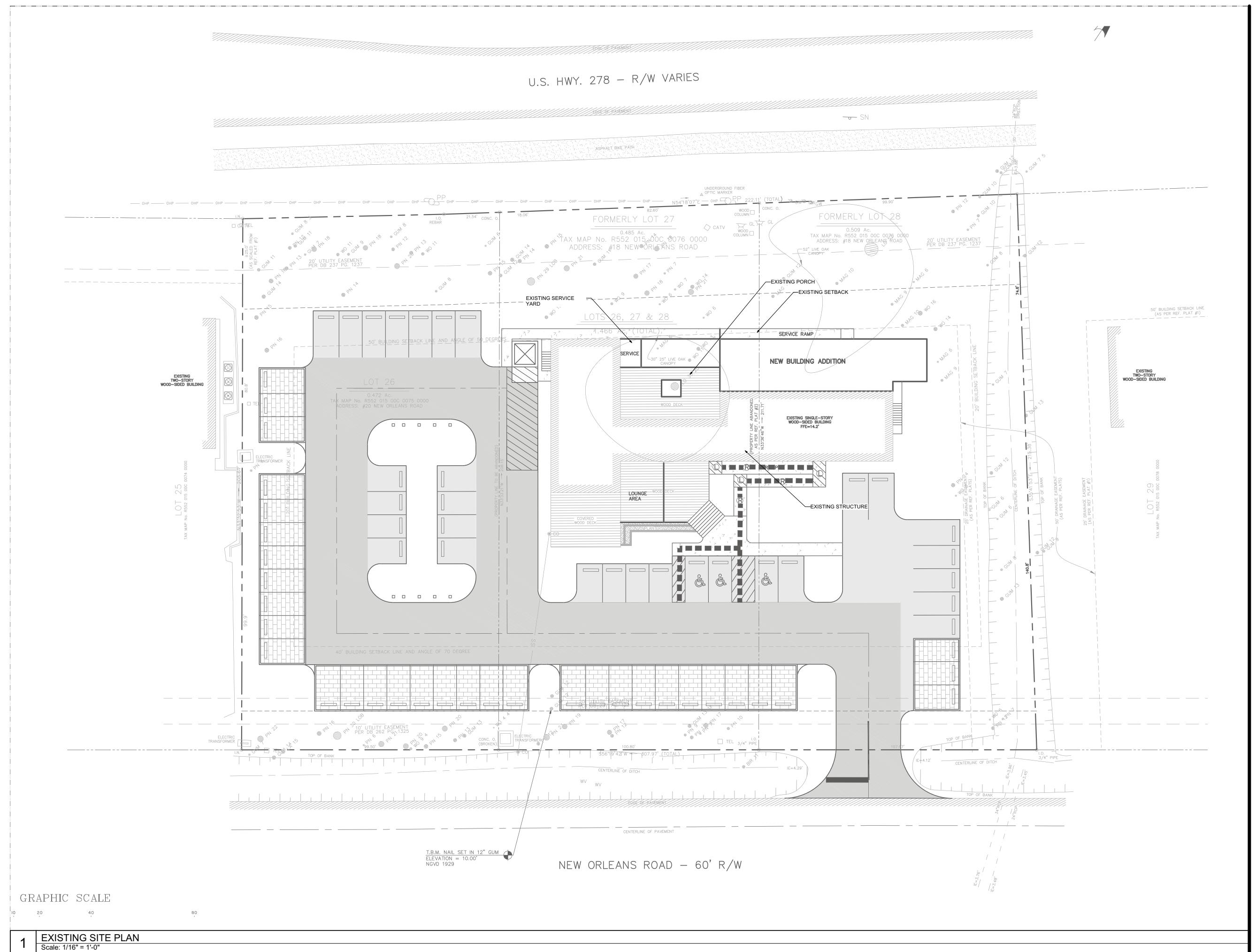
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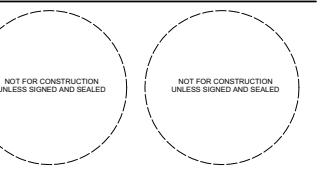
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DRAWN BY:	T. Michaels
REVIEWED BY:	T. Michaels
PROJECT ID:	21-016B
SHEET TITLE:	

## EXISTING SITE PLAN



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BEAUFORT SC 29902



PROJECT:  
**NUNZIO'S RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
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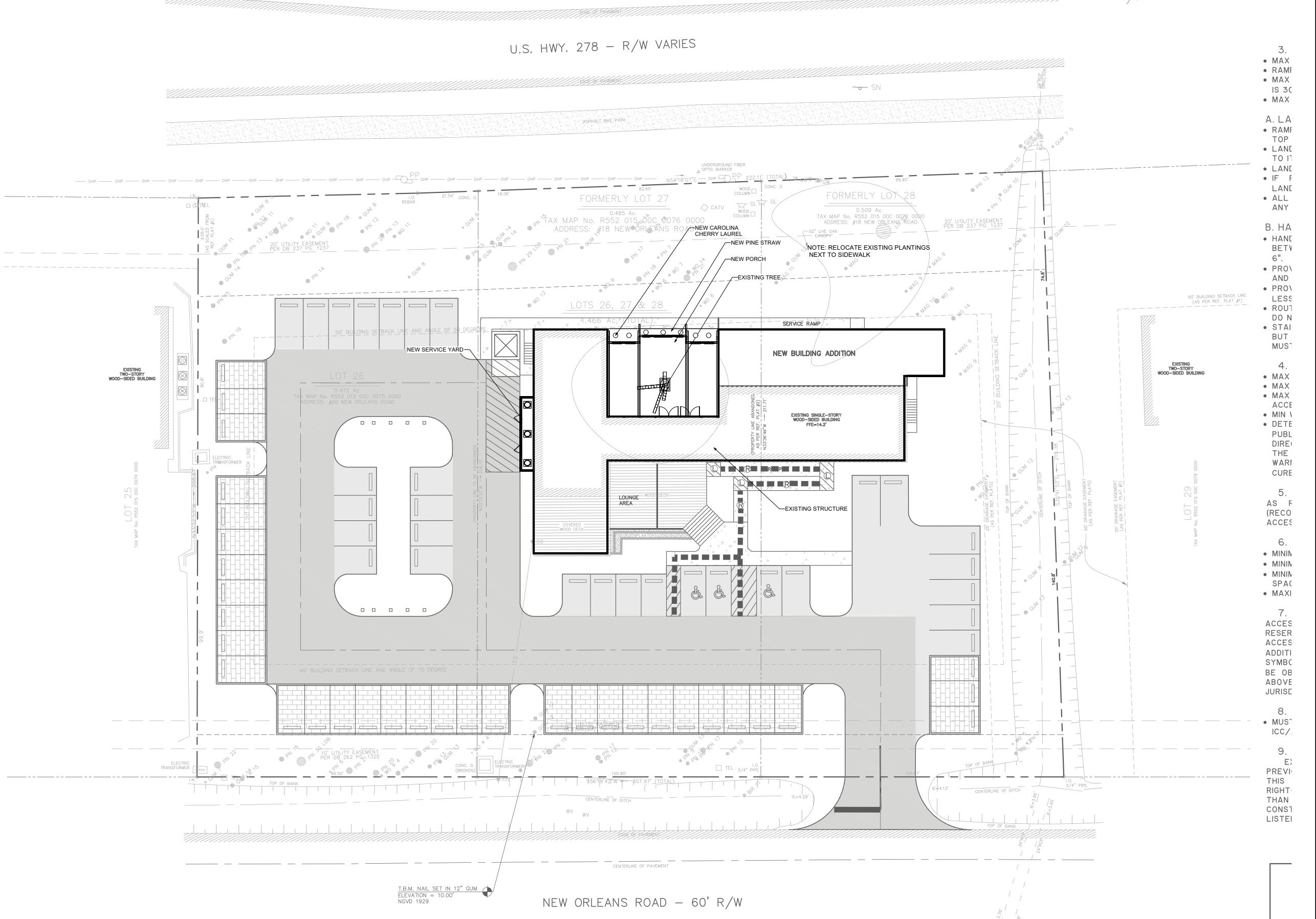
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REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**PROPOSED SITE  
PLAN**

A002



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BEAUFORT SC 29002

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UNLESS SIGNED AND SEALED  
NOT FOR CONSTRUCTION  
UNLESS SIGNED AND SEALED

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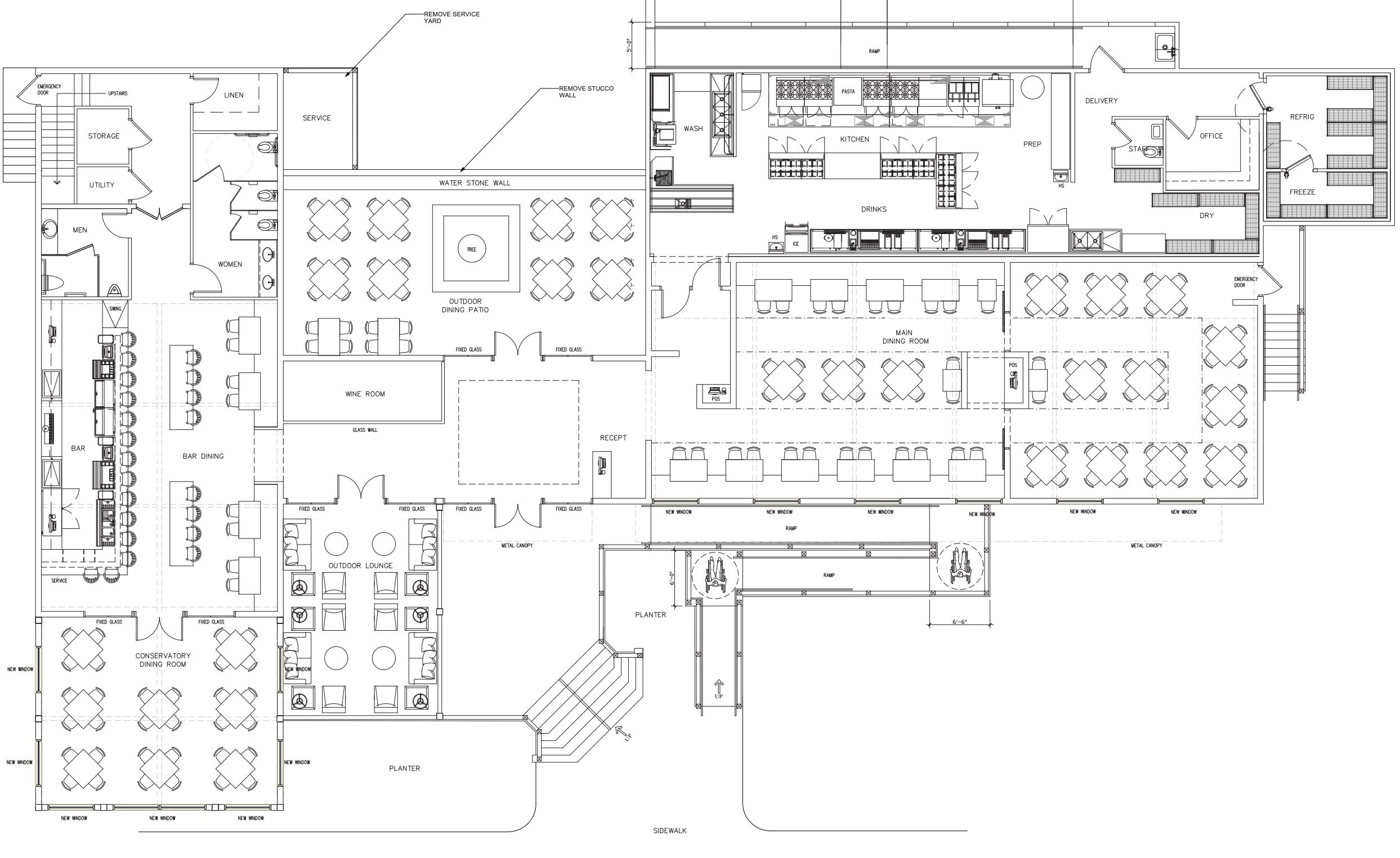
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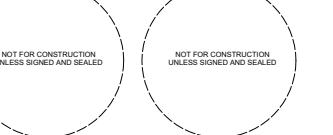
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DRAWN BY: D. SKLAR  
REVIEWED BY: D. SKLAR  
PROJECT ID: 21-016B  
SHEET TITLE:

**EXISTING FLOOR  
PLAN**



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BEAUFORT SC 29002



PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
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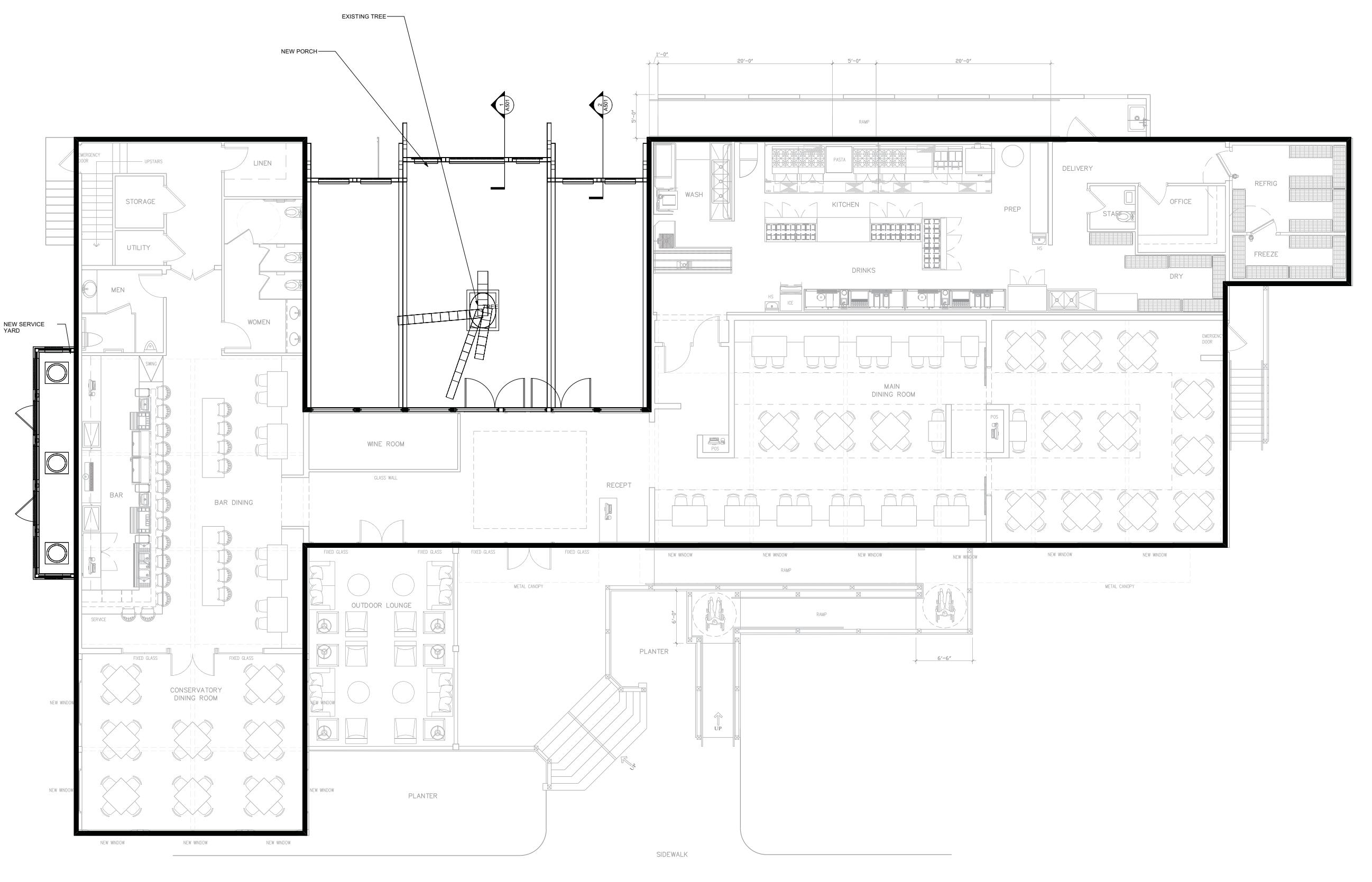
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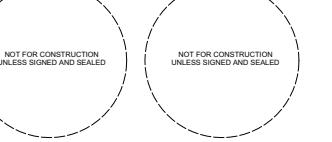
DRAWN BY: D. SKLAR  
REVIEWED BY: D. SKLAR  
PROJECT ID: 21-016B  
SHEET TITLE:

**PROPOSED FLOOR  
PLAN**

A103

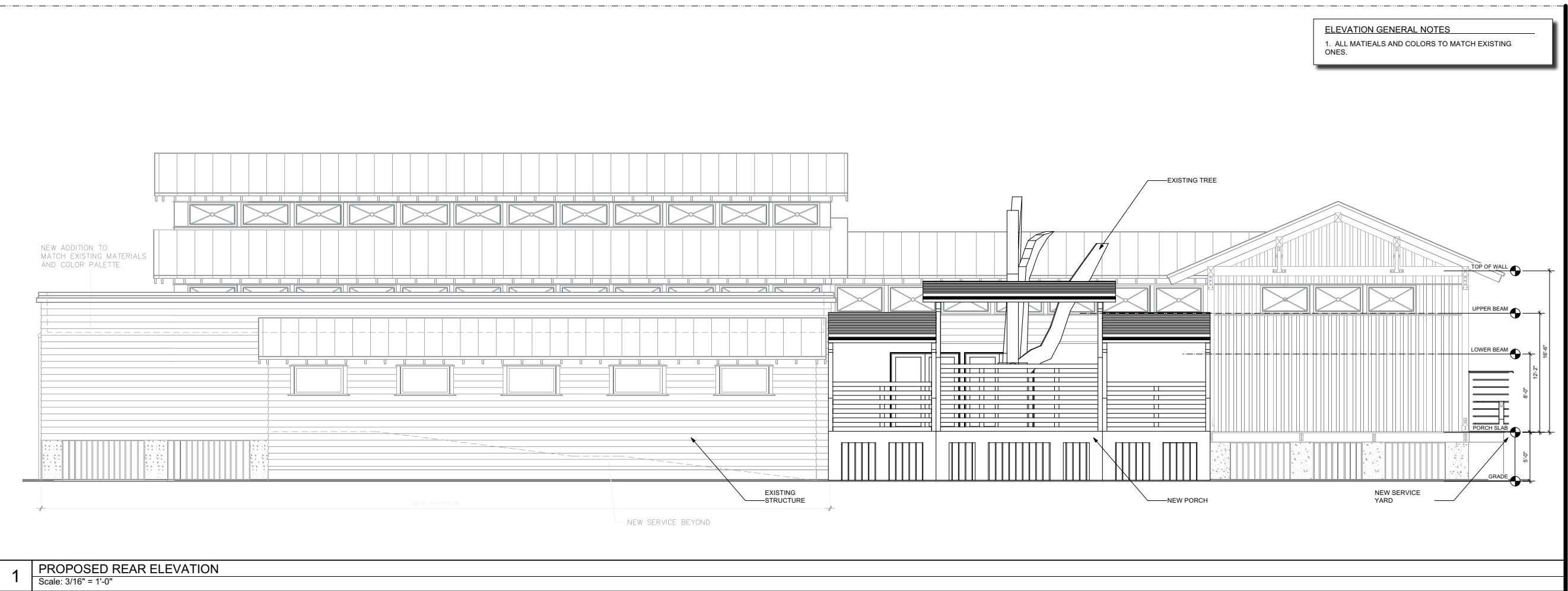
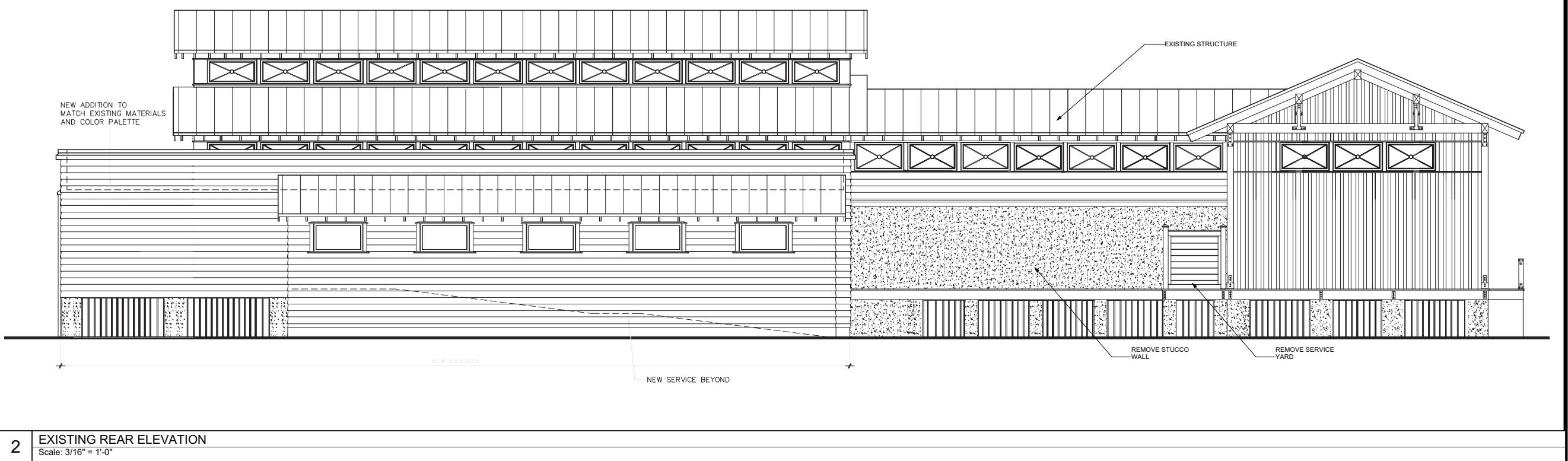


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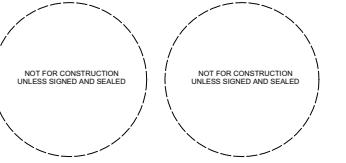


PROJECT:  
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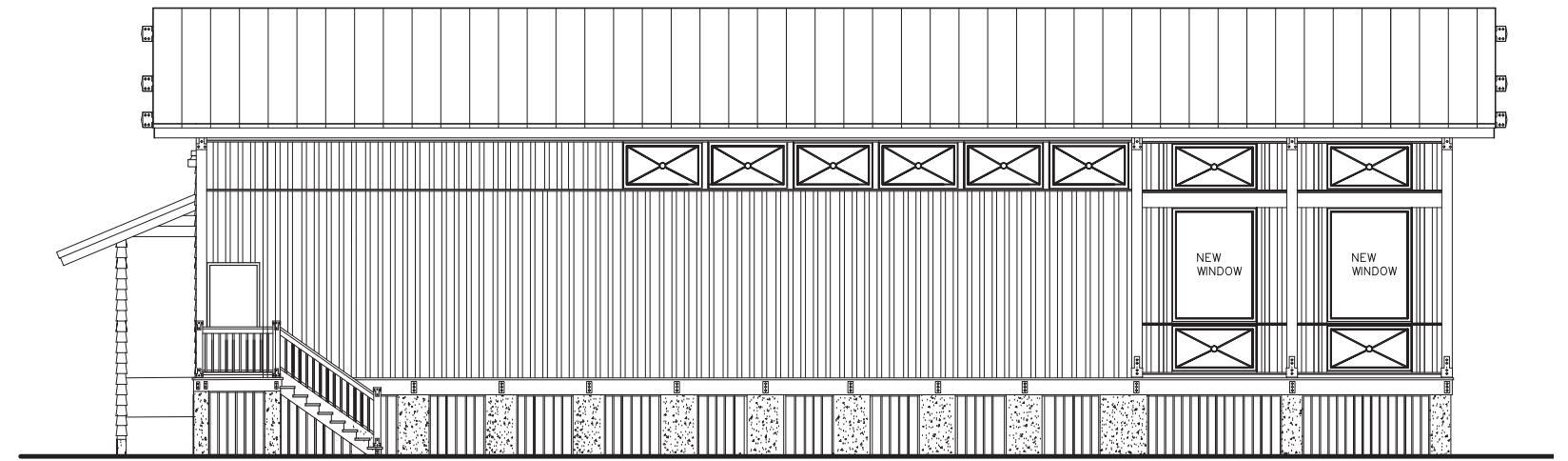


PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
Hilton Head Island, SC**

**2 EXISTING LEFT ELEVATION**

Scale: 3/16" = 1'-0"

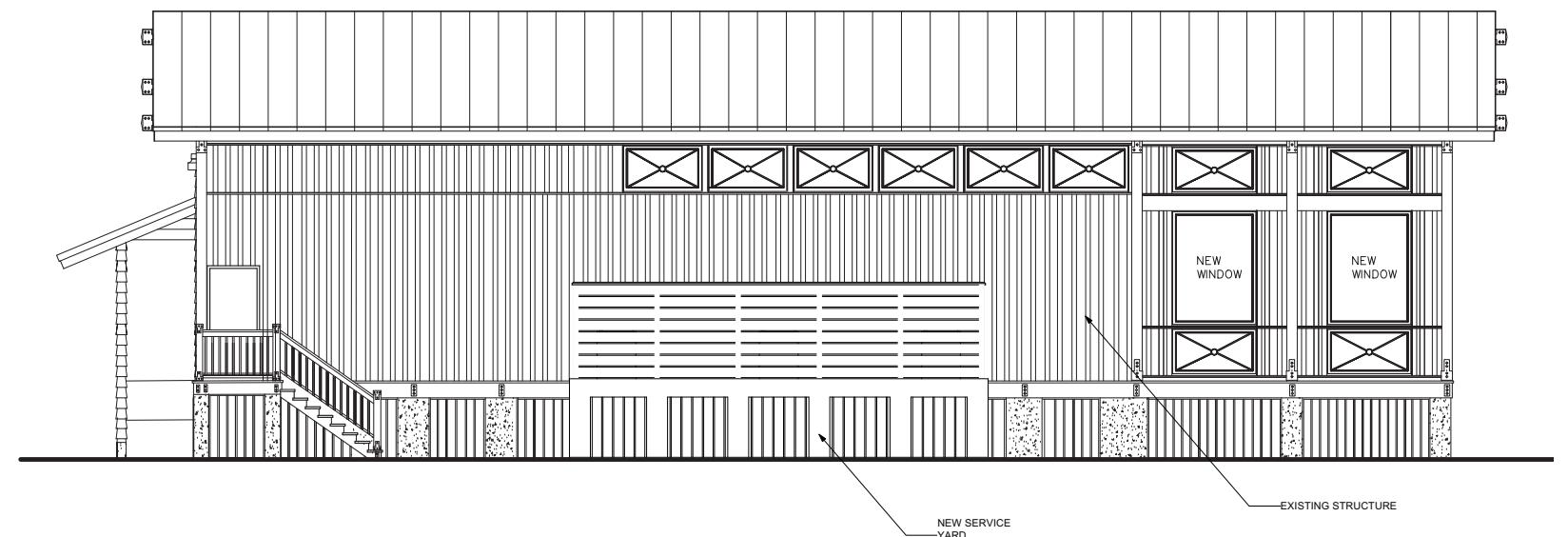


ELEVATION GENERAL NOTES  
1. ALL MATERIALS AND COLORS TO MATCH EXISTING ONES.

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**1 PROPOSED LEFT ELEVATION**

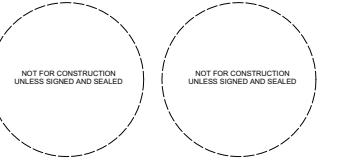
Scale: 3/16" = 1'-0"



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REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**ELEVATIONS**



PROJECT:  
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RESTAURANT

ADDRESS:  
18 New Orleans Rd,  
Hilton Head Island, SC

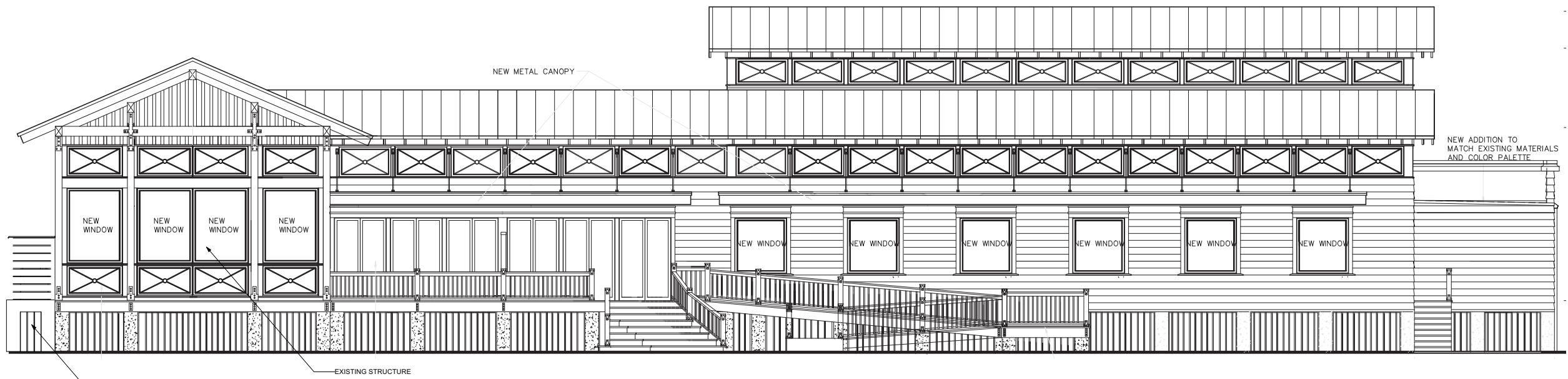


2 EXISTING FRONT ELEVATION

Scale: 3/16" = 1'-0"

ELEVATION GENERAL NOTES  
1. ALL MATERIALS AND COLORS TO MATCH EXISTING ONES.

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1 PROPOSED FRONT ELEVATION

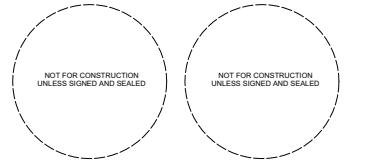
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REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE: ELEVATIONS

A203

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BEAUFORT SC 29902



PROJECT:  
NUNZIO'S  
RESTAURANT

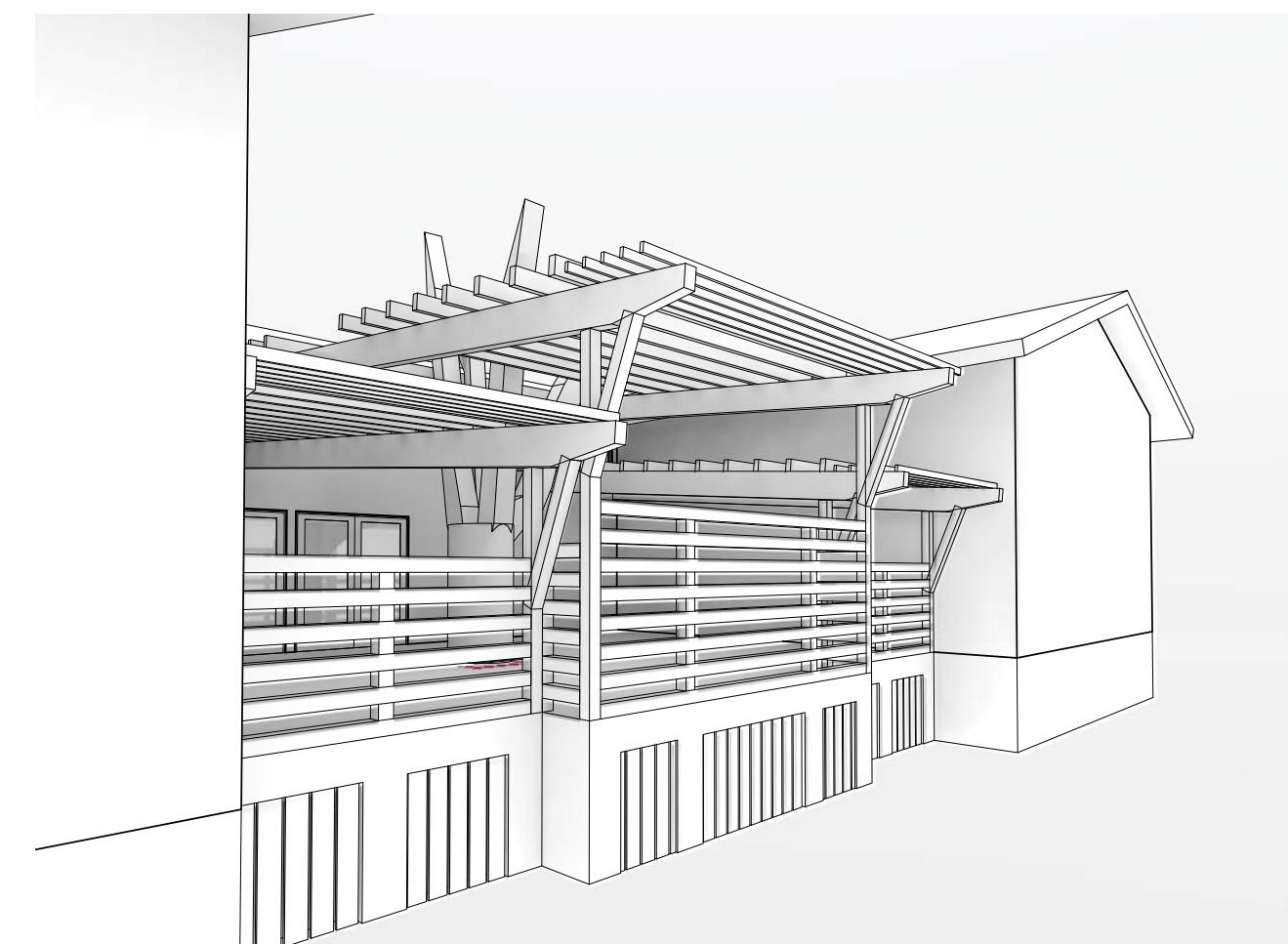
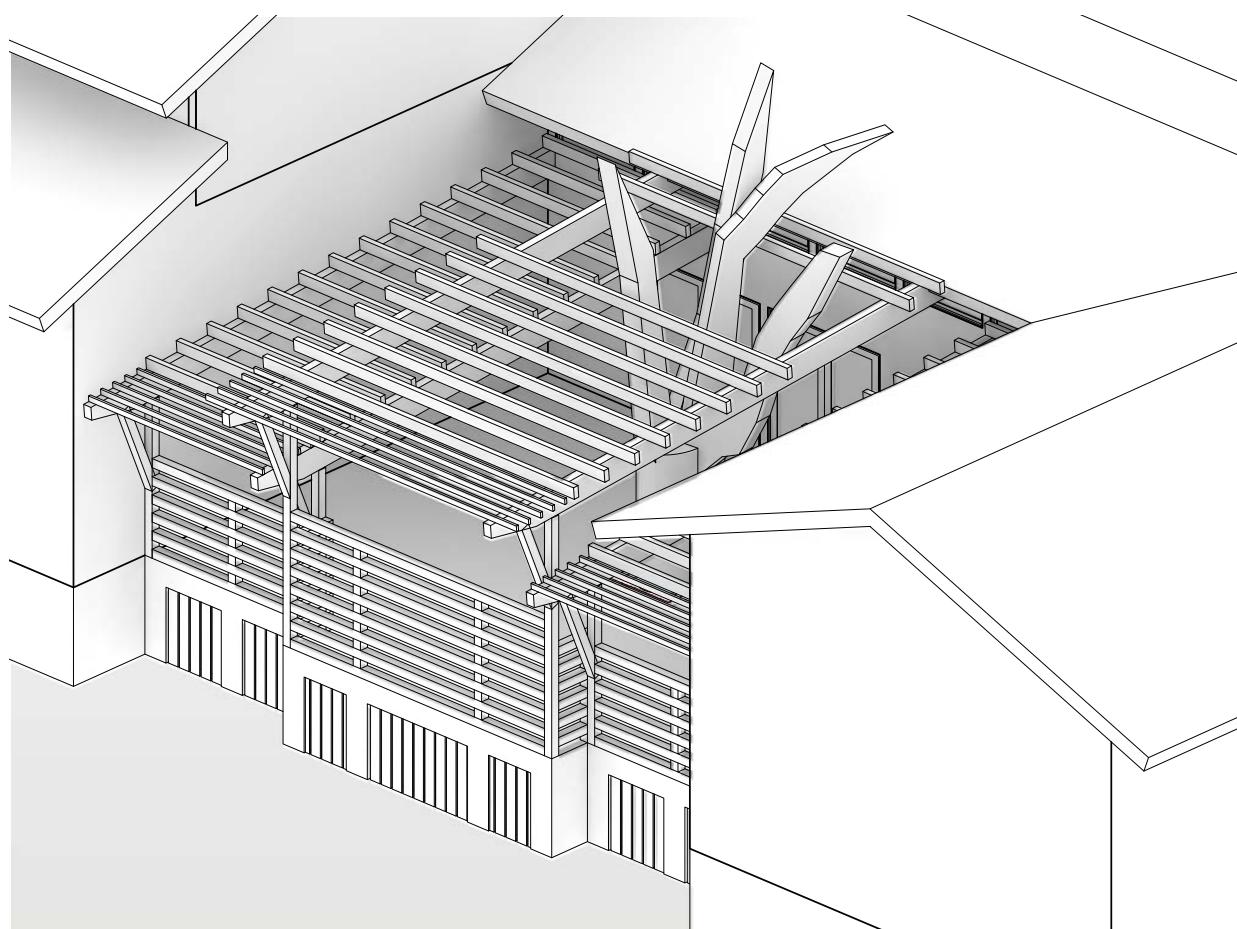
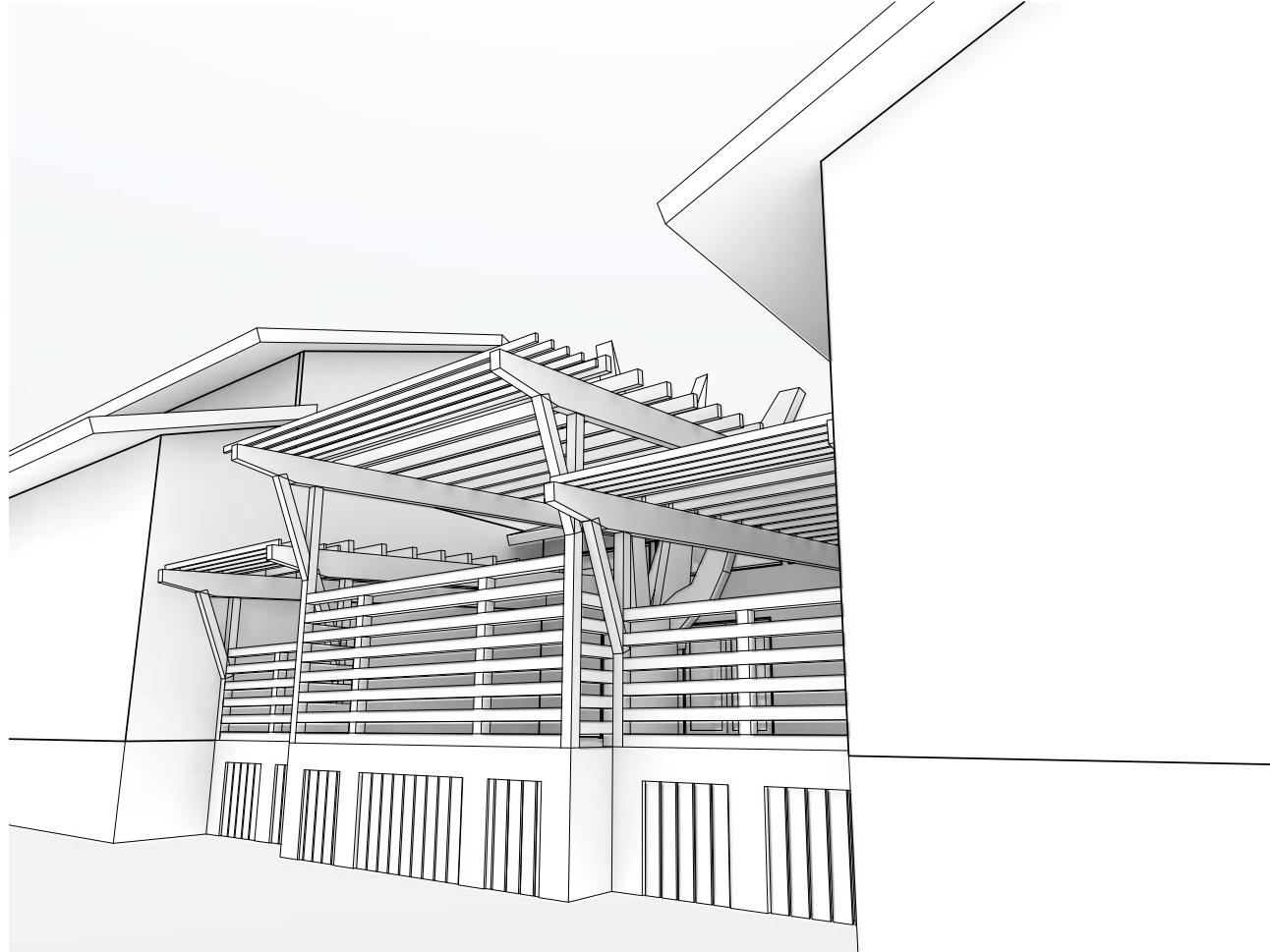
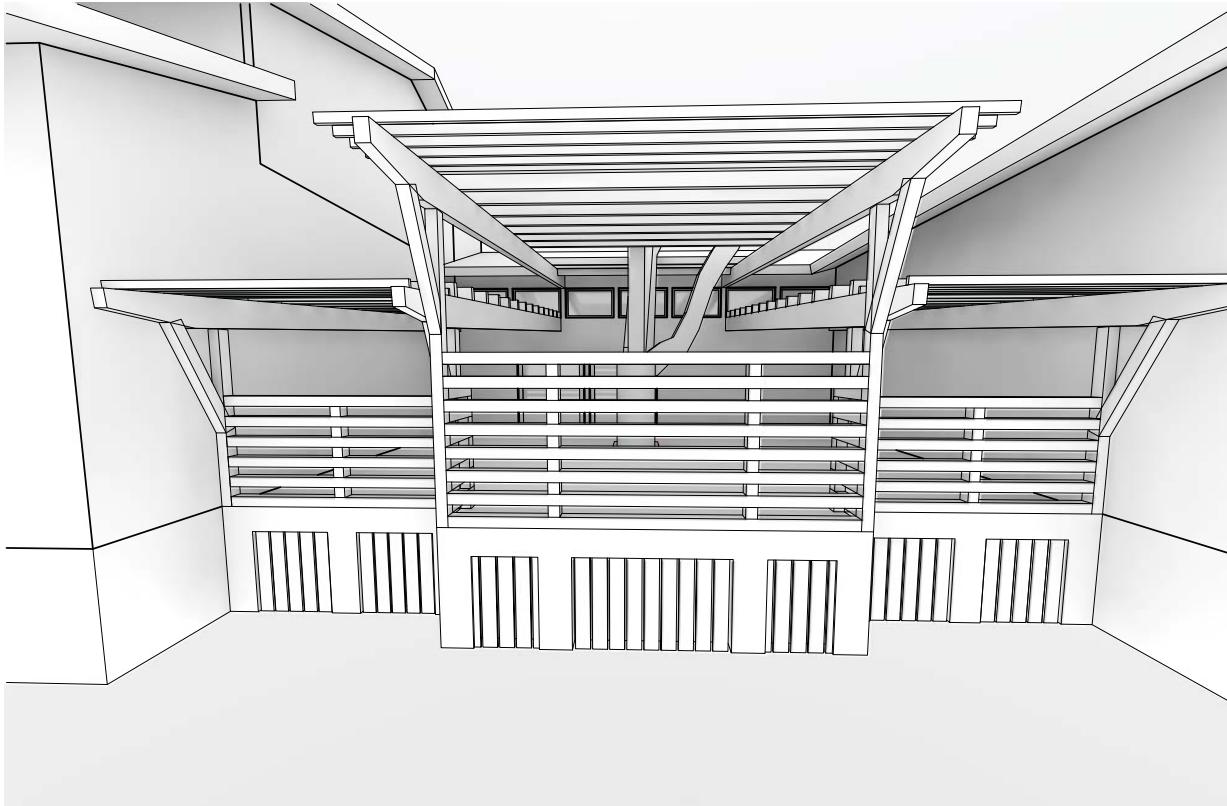
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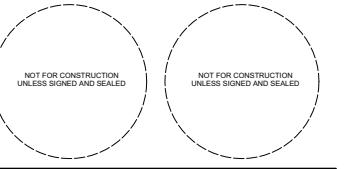
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REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

VIEWS





PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
Hilton Head Island, SC**

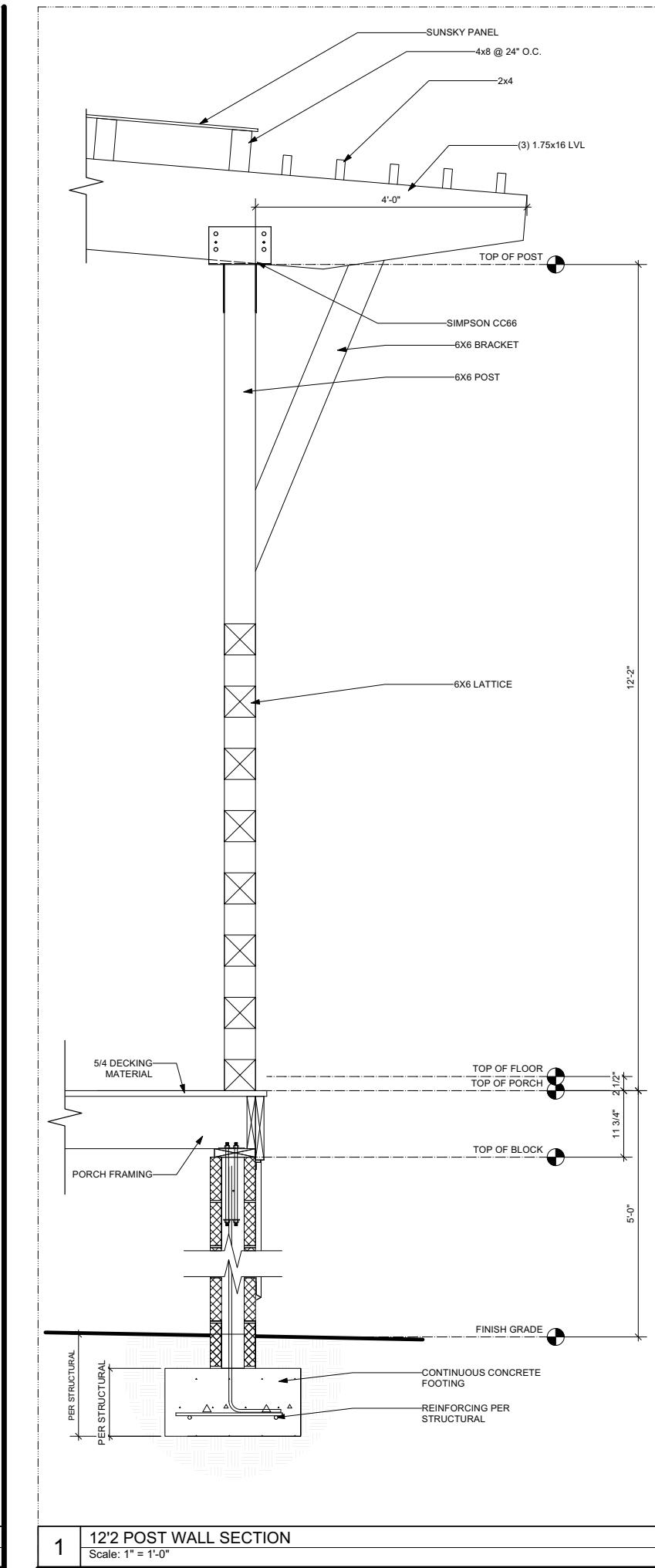
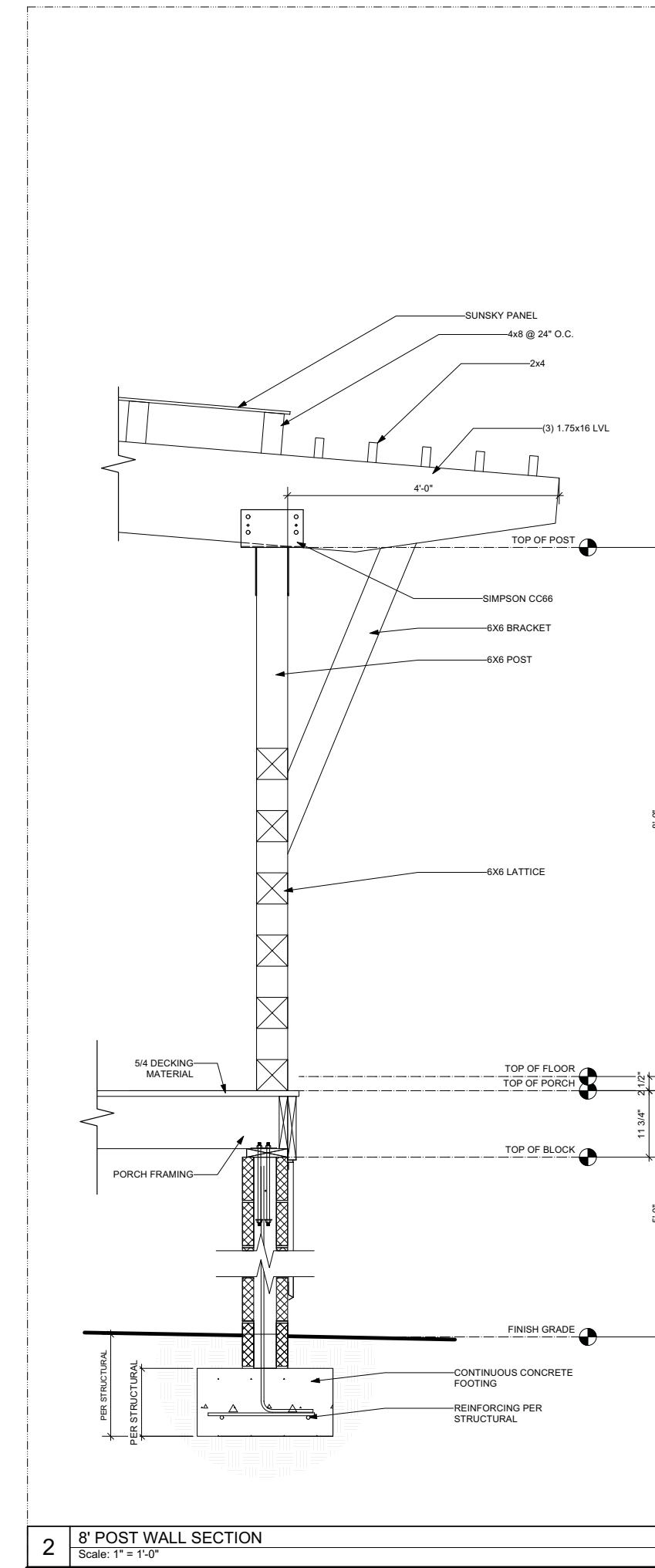
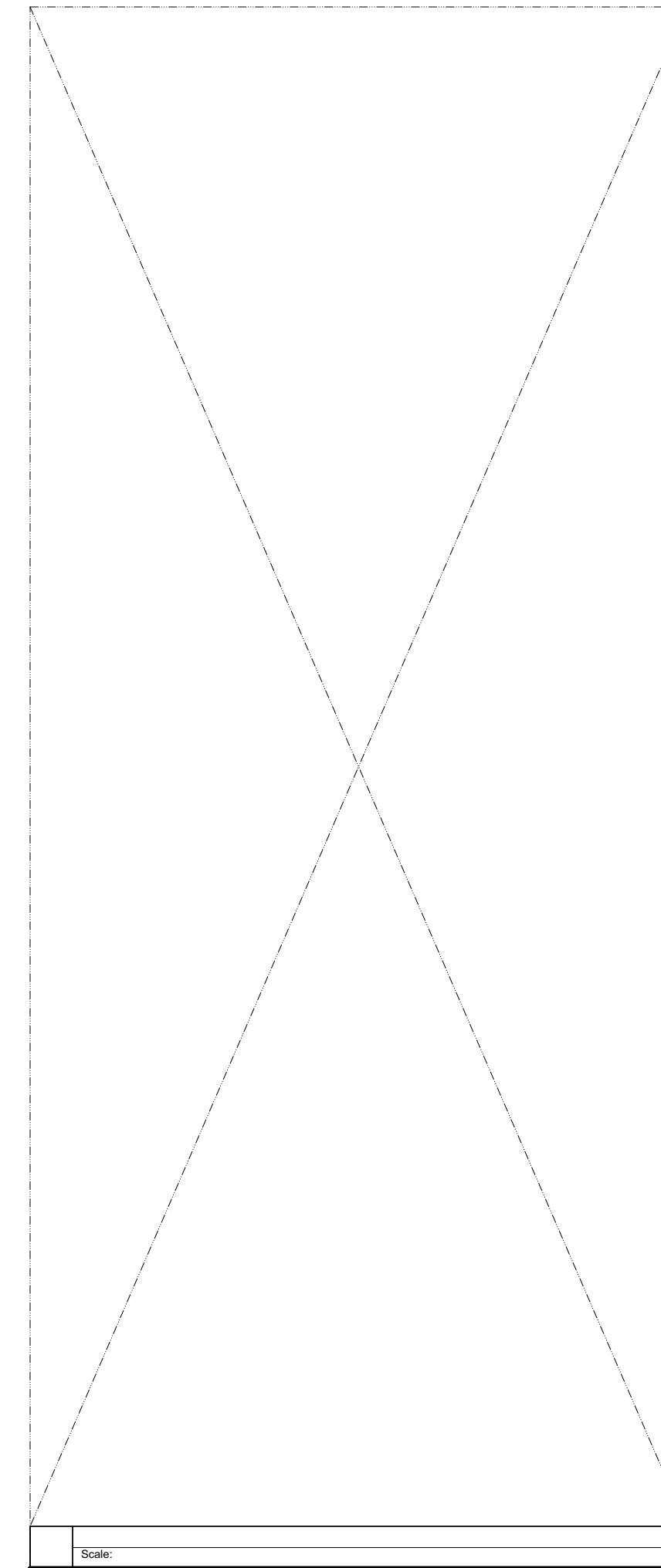
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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

## WALL SECTIONS

A501



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Nunzio Restaurant

DRB#: DRB-002303-2022

DATE: 09/16/2022

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Provide a detail of the proposed roof connection to the existing structure.
2. Double the number of Cherry Laurel along the foundation and specify a minimum 5' ht. at planting.
3. Replace any dead trees required in the Parkway buffer from the 2018 DPR Planting Plan.
4. Provide a fertilization and mycor treatment for the Oak in the deck.

### APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	How will the roof structure connect to the existing building and how does that relate to the clair story windows. Please provide a detail.

### LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff suggest: 1. The number of Carolina Cherry Laurel be doubled. 2. Specify Carolina Cherry Laurel 5' ht. minimum.
Location of existing trees and new trees provides	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Include in the Landscape Plan any trees in the

street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)				William Hilton Parkway buffer that have died per the 2018 DPR approved Planting Plan. Since the Red Bud have not performed well, Staff suggest this species be replaced with and evergreen understory tree, such as American Holly.
---	--	--	--	---

## NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Because the Oak is surrounded by a roof, Staff suggest a fertilization and mycor treatment by an arborist prior to construction of the roof.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See buffer planting note.

## MISC COMMENTS/QUESTIONS

- |   |
|---|
| <ol style="list-style-type: none"> <li>This project requires a Minor Development Plan Review application for the site work. Please contact Nicole Dixon at <a href="mailto:nicoled@hiltonheadislandscc.gov">nicoled@hiltonheadislandscc.gov</a> or at 843-341-4686 with any questions about this process.</li> <li>This project requires a Building Permit. Please contact Toney Pierce at <a href="mailto:tonyp@hiltonheadislandscc.gov">tonyp@hiltonheadislandscc.gov</a> or at 843-341-4675 with any questions about this permit.</li> </ol> |
|   |
|   |
|   |
|   |

*Design Review Board*  
*Rules of Procedure*  
*Town of Hilton Head Island*

---

**Article I**  
**Purpose and Function**

The Design Review Board is established as a board of architectural and landscape design review for projects in the Corridor Overlay District and for signs throughout the community. Its main responsibilities include the review of development within the Corridor Overlay District, the review of applications for sign permits; and the review of the Design Guide or documents relating to aesthetics. In carrying out its duties, the Design Review Board must work within the legal framework and requirements of the law while exercising elemental fairness and open mindedness.

**Article II**  
**Rules of Procedure**

**Section 1. Rules of Procedure.**

These *Rules of Procedure* are adopted by the Board pursuant to SC Code 6-29-870 and Appendix A-4 of the LMO. The *Rules of Procedure* can be suspended by majority vote of the Board to meet particular circumstances. If there is a situation where the *Rules of Procedure* are not specific concerning an issue, then the most recent edition of *Robert's Rules of Order* shall govern the conduct of meetings on the issue not covered.

**Section 2. Amendments.**

1. Written notification of proposed amendments to these rules must be given or mailed to each member at least one (1) calendar week before the meeting at which a vote on the proposal(s) is intended. The notice shall include: (1) the proposed amendment(s); (2) reason(s) for the proposal(s); and (3) the date of the meeting for the intended vote.
2. Adoption of proposed amendments shall require the favorable vote of the majority of the members serving at the time of the vote.
3. The effective date of adopted amendments shall be the next regularly scheduled meeting following adoption.

## **Article III** **Board Organization and Duties**

### **Section 1. Membership.**

1. **Number and Qualifications.** The Board shall consist of seven members appointed by the Town Council. To the extent practicable, the appointed members shall include at least one attorney and at least two but not more than three design professionals (such as a registered architect, a landscape architect or a graphic artist). None of the members shall hold an elected public office or position with the Town of Hilton Head Island or Beaufort County, South Carolina, and no former Board member shall be appointed to the Board without having been absent from the Board for a period of at least one year.
2. **Length of Terms.** Members of the Board shall be appointed annually for three-year terms effective each July 1, with all such terms ending on June 30 of the applicable year, unless a member is appointed to fill a vacancy. Vacancies shall be filled by the Town Council by appointments for the balance of any unexpired terms.
3. **Term Limits.** No member may serve more than two successive terms, except at the pleasure of the Town Council when the Council believes that such continuation of service is in the best interest of the Community and is for a specific purpose. Service to fill an unexpired term of less than one and one-half years shall not constitute a term of service for the purpose of these term limits.
4. **Attendance/Absences.** Board members are expected to attend all Board meetings. Each member of the board who has prior knowledge that they will not be able to attend a scheduled Regular Meeting of the board shall notify the Secretary no later than noon the business day before the meeting. In the case of an emergency, a member shall give the earliest possible notification. The Secretary or Staff shall notify the Chairperson in the event that the projected absence(s) will produce a lack of a quorum.
5. **Removal.** Three (3) unexcused absences at Regular or Special Meetings of the Board during one calendar year shall be cause for recommendation by the Chairperson to the Town Council to reconsider the appointment of that member. Attendance records shall be reviewed annually by the Chairperson.

### **Section 2. Election of Officers.**

The officers of the Board shall be a Chairperson and a Vice-Chairperson for one-year terms beginning on the first meeting in July. They are elected annually by the Board members no later than at the first meeting in July. Neither of these two positions shall be filled by a member who has not served at least 1 year on the Board. Nominations for the Chairperson and Vice-Chairperson shall be made from the floor at the meeting with a roll call election to follow.

A majority vote is normally required to elect to office. If no one in an election receives a majority vote, the vote must be repeated until one of them does get a majority. Votes can be taken by ballot or show of hands if there is more than one candidate.

**A. Chairperson.** The term shall be for one year. At the end of each year, the Chairperson may be re-elected subject to his/her appointment term. The Chairperson shall be a voting member, and shall have the following duties:

1. In consultation with the Staff Board Coordinator, create agendas for all meetings;
2. Preside at all meetings of the Board;
3. Act as spokesperson for the Board;
4. Sign documents for the Board;
5. Designate a Board member or personally act as liaison with other governmental agencies and Town boards;
6. Assign or delegate tasks to other Board members as may be necessary to perform the Board's functions;
7. If approved by Town Council, make appointments to committees of the Board and be an ex-officio member of all committees with a voice in discussions, but with no authority to vote on questions before committees unless specified;
8. Transmit reports and recommendations to Town Council;
9. Work with the Staff Board Coordinator to ensure all business is conducted in accordance with procedures;
10. Cancel a scheduled board meeting if there are no agenda items; and
11. Perform other duties approved by the Board.

**B. Vice-Chairperson.** A Vice-Chairperson shall be elected by the Board from among the members in the same manner and for the same term as the Chairperson. The Vice -Chairperson shall serve as Acting Chairperson in the absence of the Chairperson, and, at such time, the Vice-Chairperson shall have the same powers and duties as the Chairperson. The Vice-Chairperson shall succeed the Chairperson, if the office is vacated before the term has expired, to serve the remainder of the unexpired term of the Chairperson. A new Vice-Chairperson shall be elected at the next regular meeting of the Board.

### **Section 3. Secretary.**

With the advice and consent of the Director of Community Development, the Chairperson annually shall appoint or reappoint a member of the Town's Community Development Department staff as Secretary of the Board. The Secretary will not be eligible to vote or to otherwise deliberate in the proceedings of the Board. The Secretary shall:

1. Publish and post notices of all meetings of the Board;

2. Assist the Staff Board Coordinator in preparation of meeting agendas;
3. Distribute the agenda, prior minutes and other relevant materials to each Board member in advance of each meeting;
4. Record the proceedings of meetings on audio tape and prepare written minutes of meetings for approval by the Board at its next regular meeting, recording in the written minutes the attendance of members at each meeting;
5. Maintain the Board's notices, correspondence, reports and forms as public records for a period of time consistent with the records retention schedule of the Town of Hilton Head Island; and,
6. Assist in the preparation and forwarding of all reports and recommendations of the Board.

#### **Section 4. Staff Board Coordinator.**

The Director of Community Development shall appoint a member of Staff to assist the Chairperson and the Secretary in Board coordination, including discussing agenda items and any other item that needs attention for the efficient running of the meetings.

#### **Section 5. Duties of the Design Review Board.**

The LMO and the Code of South Carolina set forth the duties of the Board and those mandated items that fall under their review, along with their review process. Also mandated by the Code of South Carolina are a 6 hour Orientation Program and a 3 hour/year Continuing Education Program.

### **Article IV**

#### **Meetings and Quorum**

#### **Section 1. Regular and Special Meetings.**

1. **Meeting Schedule.** An annual schedule of regular meetings and work sessions of the Board shall be adopted, published and posted at the Town Government Center in late Fall of each year for the next calendar year. Meetings shall be held at the time and place stated in notices and shall be open to the public.
2. **Regular Meetings.** Regular Meetings of the Board shall be held at least monthly if there is no business pending. The Board shall meet on the second and fourth Tuesday of each month at 1:15 p.m.- 2:30 p.m.
3. **Special Meetings.** Special meetings of the Board may be called at any time by the Chairperson. At least twenty-four (24) hours notice of the time and place of special meetings shall be given by the Secretary to each member.
4. **Cancellation of Meetings.** Whenever there is no business for the Board the Secretary

will dispense with a regular meeting by giving notice to all members not less than seventy-two (72) hours prior to the time set for the meeting.

## **Section 2. Quorum.**

A quorum shall consist of four (4) members of the board for regular business. The Secretary will notify the Chairperson in the event projected absences will result in the lack of a quorum. If a quorum for each agenda item for which action is being taken is established, then a member leaves, the quorum is no longer present. Transaction of substantive business on agenda items for which there is not a quorum shall not continue and the remaining items should be postponed to the next meeting.

## **Section 3. Conflict of Interest.**

The question of disqualification shall be decided by the Board member affected, who shall announce the reason for disqualification, give it to the Chairperson in writing, and have it placed in the minutes of the meeting. Any Board member so disqualified shall leave the dais while the disqualifying matter is being considered and refrain from deliberating or voting on the question.

At a minimum, South Carolina law regarding conflicts of interest [S. C. Code Ann. § 8-13-10, *et seq.*, (Supp. 1994)] shall control board members' actions. In addition, any member of the board who believes that he or she has or may have a conflict of interest of any nature on any matter before the board shall, prior to the case at the Regular or Special Meeting at which such matter may be heard or considered by the board:

1. Prepare a written Potential Conflict of Interest Form describing the matter requiring action or decisions and the nature of his/her potential conflict of interest with respect to the action or decision;
2. File the Potential Conflict of Interest Form with the Secretary; and,
3. Provide a copy of the Potential Conflict of Interest Form to the Chairperson.

Upon receipt of a Potential Conflict of Interest Form from any member of the board, as required in section II (J)(A), *supra.*, the Chairperson shall cause the Potential Conflict of Interest form to be recorded in the minutes and shall require that the member filing such Potential Conflict of Interest Form be excused from any votes, deliberations, and any other actions on the matter on which the potential conflict of interest or conflict of interest exists.

# **Article V**

## **Meeting Administration**

## **Section 1. Media Notices.**

The Secretary shall give the notice required by statute or ordinance for all meetings of the Board to include Section 16-2-103.I of the LMO. All Board meetings shall be open to the public and all requirements of the South Carolina Freedom of Information Act [S. C. Code Ann. § 30-4-10, *et seq.* (Supp. 1994)] shall be complied with in the conduct of meetings.

## **Section 2. Agenda.**

A written agenda shall be furnished by the Secretary to each member of the Board and media. An agenda may be changed at the related meeting by a majority vote of the members present. Generally, the agenda should contain:

1. Call to Order;
2. Roll Call;
3. Freedom of Information Act Compliance;
4. Approval of Agenda;
5. Approval of Minutes of Previous Meeting
6. Staff Report;
7. Board Business;
8. Unfinished Business;
9. New Business:
10. Appearance by Citizens;
11. Adjournment.

## **Section 3. Minutes.**

**A. Meetings.** Minutes of meetings are governed by the Code of South Carolina (30-4-70 through 30-4-90). Minutes of each Board meeting shall be recorded by the Secretary and approved at the next available meeting after their preparation. Final approved Minutes shall be available on microfilm for previous years, and may be posted on the Town's Web site for public information.

### **B. Minimum Contents of Minutes.**

1. Kind of meeting (regular or special).
2. Name of the organization.
3. Date and place of the meeting.
4. Presence of the Chairperson and secretary or the names of substitutes.
5. Presence of a quorum.
6. Names of all members reporting.
7. Names of all those elected or appointed.
8. Time the meeting was called to order.
9. Whether the minutes of the previous meeting were approved or corrected.
10. All adopted and defeated motions. (Withdrawn motions need not be recorded.)

11. Name of the maker of the motion.
12. Record the vote of each member upon each question, or, if absent or failing to vote, indicating that fact.
13. The adjournment and the time of adjournment.
14. Attached reports.

**C. Lack of Quorum.** If there is lack of a quorum of the Board, minutes may be recorded but shall include a statement in the header of each page indicating that a quorum was not present and the minutes are not official. Such minutes shall not be approved by the Board at a later meeting

**D. Motions.** Motions must be recorded verbatim.

## **Article VI** **Meeting Organization**

### **Section 1. Regular and Special Meetings.**

Generally, the below sequence shall be followed:

1. The Chairperson introduces the agenda item by reading its description on the agenda;
2. Staff presentation (maximum 20 minutes) of the application or other item including an analysis and recommendations to the Board, if so requested. During the presentation by Staff, members of the Board may ask such questions as they deem appropriate. At the discretion of the Chairperson, Staff's time may be extended if the Staff is unable to complete the presentation due to questioning from the Board.
3. If present, the Applicant, his attorney, or agent (maximum 20 minutes) may make remarks, demonstrating compliance with all required architectural standards and guidelines, minimum visual buffers, or other applicable regulations as per Sections 16-3-106.F.3 and 16-3-106.F.4 of the Land Management Ordinance. During the presentation by the Applicant, members of the Board may ask such questions as they deem appropriate. At the discretion of the Chairperson, the Applicant's time may be extended if the Applicant is unable to complete the presentation due to questioning from the Board.
4. Following the presentation, the Board may ask such additional questions of the Applicant or Staff as the members deem appropriate.
5. Comments from the public on the agenda item including why the Board should approve, modify, or disapprove an application. At the Chairman's discretion, speakers could be limited to speaking only once for 3 minutes on each agenda topic.

6. Motion and discussion by the Board;
7. Clarification from Staff, if necessary; and
8. Vote on Motion by the Board.

## **Section 2. Recess.**

A recess shall be declared as deemed appropriate by the Chairperson or by majority vote of the members present at the meeting. No discussion of the agenda item shall be conducted by Board members during the recess.

## **Section 3. Executive Session.**

If a member determines after reviewing the applicable cases that they would benefit from the advice of legal counsel in Executive Session they shall contact the Chairperson or his designee. The Chairperson will determine if an Executive Session is warranted. If the Chairperson decides that the membership would benefit from an Executive Session, they will inform the Board's secretary of the request. The Chairperson's decision can be overridden by a majority vote of the Board taken at a regular or special meeting of the Board.

Executive Session is a meeting at which the proceedings are secret. A member can be punished under disciplinary procedure if he violates the secrecy of an executive session. Non-members permitted to be present in Executive Session are honor-bound not to divulge anything that occurred or was discussed in Executive Session.

Permitted reasons for Executive Session are:

1. Personnel reasons
2. Contracts
3. Legal advice relating to pending, threatened or potential claim
4. Discussion regarding development of security personnel
5. Investigative proceedings regarding allegations of criminal misconduct
6. Economic development (specific criteria in FOIA)

Entering and Adjourning an Executive Session:

1. A motion to close the current meeting and go into executive session is made and passed by a majority vote;
2. Chairperson must announce the specific purpose of the executive session;
3. No formal action may be taken in executive session except to:
  - a. Adjourn
  - b. Return to public session

The Board can request attendance by non-members as they deem appropriate.

#### **Section 4. Communication with Outside Parties.**

1. Once a decision has been rendered by the Board it is then considered final. There should be no further discussions between Board members and staff, applicants and their attorneys on the matter. All further communications should be handled through the Town Attorney.
2. Communication with non-members on behalf of the Board to convey the official position of the Board will be at the discretion of the Chairperson or by an affirmative vote of the majority of the Board members.
3. The Chairperson or his designee will communicate positions or opinions of the Board.

#### **Section 5. Communication among Board Members.**

All communication regarding agenda items is to be conducted during the scheduled meeting and not prior to the meeting or during recesses. If Board members need to meet in the field to resolve an application, they shall follow all FOIA regulations regarding a quorum, public notices, minutes and communication with each other.

#### **Section 6. Requests of Staff**

Any requests of Staff from the Board, other than questions regarding pending applications, shall be communicated to the Chairperson or his designee. The Chairperson will then decide if the request should be forwarded to the Secretary. If the Chairperson denies the request of a Board member, the members may ask that the request be placed on the Board's agenda for discussion. If the item is voted onto the agenda, and if the majority of the members deem the request of staff appropriate, it will become an official request of the Board.

#### **Section 7. Preliminary Comments.**

Persons seeking informal preliminary comments from the Board shall submit their request in writing to the Administrator not less than ten business days before a Board meeting to secure a place on the agenda.

## **Article VII** **Conducting the Meeting**

The Chairperson:

1. Is responsible for maintaining order.
2. Should begin the meeting promptly at the scheduled hour if a quorum is present.
3. Should have a well prepared agenda and abide by it.
4. Be familiar with the procedural rules of the bylaws.
5. Keeps the Board working together by explaining procedure clearly and communicating the next business in order.
6. Allow Board members to speak at their will on the agenda item. At the Chairman's discretion, he may "assign" the floor by recognizing those members who wish to speak by calling them by name. No other member may interrupt or call out remarks without being out of order. Private discussion between members while another has the floor is out of order and disruptive members should be reminded of this rule.
7. Should impartially call on members wishing to speak. He should give members on both sides of an issue an opportunity to speak.
8. Should remain calm and objective, keeping the meeting moving.
9. At the Chairman's discretion, he may restate the motion before taking a vote if he believes the motion is unclear. If a motion is confusing, it is the Chairperson's duty to clarify it – rephrasing it or putting a long motion in writing. (Complex motions may be brought to the meeting pre-written.) The motion is said to be pending once it has been stated by the Chairperson. It must be disposed of in some manner before other business can be considered.
10. If a motion fails to get a second, the Chairperson states, "Since there is no second, the motion is not before this meeting."
11. Opens debate by saying "Is there any discussion?" The Chairperson *must* open all debatable questions to debate.
12. Recognizes members who wish to speak by stating their names.
13. Puts the question to vote. The vote is taken in the following way:
  - a. The Chairperson restates the motion – keeping the members clear about the purpose of the vote.
  - b. Request Polling of the members for vote.
14. Announces the result of the vote by interpreting the action taken.
15. Should not allow irrelevant discussion. Restate the question and, if necessary directly request the member to "confine his remarks to the pending question."
16. Should use the gavel sparingly, tapping it once to open and close the meeting.
17. Can assist a member in making a motion, or make a motion himself if no motion is being made.
18. Meeting adjourned without motion – "If there is no further business and there is no

objection, the meeting will be adjourned. There being no objection, the meeting is adjourned.”

## **Article VIII** **Board Actions**

### **Section 1. Motions.**

The attached charts on Motions give the various types of motions that can be done by a Board member.

### **Section 2. Voting.**

1. A Board member must be present at the beginning of each case to discuss and vote on the case.
2. All members of the Board shall be voting members, and shall be entitled to vote on any issue before the Board unless disqualified by law.
3. A simple majority of a quorum shall be required to conduct all other Board business.

**For the Design Review Board  
Town of Hilton Head Island, South Carolina**

Date of Approval:

By: \_\_\_\_\_  
Cathy Foss, Its Chairperson

## Attachment for Reference

### TYPES OF MOTIONS

<b>Main Motions</b>	<b>A main motion is defined as a proposal that certain action is taken or an opinion be expressed by the group.</b> The words to use are: "I Move."
<b>Secondary Motions</b>	<p><b>A secondary motion is one which can be made while the main motion is on the floor and before it has been decided.</b></p> <p>Secondary motions are divided into three classes which relate to their use in parliamentary procedure. Those classes are:</p> <ul style="list-style-type: none"> <li>○ Subsidiary motions</li> <li>○ Privileged motions</li> <li>○ Incidental motions</li> </ul>
<b>Subsidiary Motions</b>	<p><b>Subsidiary motions relate directly to the motion on the floor. They may change the words, send it to a committee, delay it, etc.</b> They are designed to expedite business by disposing of the pending motion other than by adopting or rejecting it. <i>Subsidiary motions are the class of motions most frequently used in meetings.</i> These motions have rank (order of precedence of motions) among themselves. A motion of higher rank can be made while a motion of lower rank is on the floor. The lower rank motion "yields" to the higher rank motion. (Motion to postpone has higher rank than the motion to commit and takes precedence. If motion to postpone is adopted, the main motion and the motion to commit are postponed until the next meeting.)</p>
<b>Privileged Motions</b>	<p><b>Privileged motions are motions of an emergency nature,</b> such as to recess or adjourn. They do not relate to the motion on the floor but to the welfare of the group. They are of high rank and must be handled before any other business that may be pending.</p>
<b>Incidental Motions</b>	<p><b>Incidental motions are procedural.</b> They deal with process, such as enforcing proper procedure, correcting errors, verifying votes, etc. When introduced, they must be decided before business can resume.</p>
<b>Amending Motion</b>	<p>General consent can be used with amendments to motions if the Chairperson feels the group will accept the amendment. "If there is no objection, the motion is so amended." <i>Restate the motion.</i></p>
<b>Motions Commit</b>	<p>Have precedence over the motion to amend. <b>More than one motion can be on the floor but only one question.</b> All pending motions must relate to the main motion on the floor. No new business may be introduced.</p>
<b>Point of Order</b>	Motion used if a board member feels the Chairperson's failing to operate within the rules.

### Restorative Motions or Motions that Bring Back a Question

<b>Restorative Motion</b>	<p><b>Allows a group to change its mind.</b></p> <ul style="list-style-type: none"> <li>○ They are a separate category because of their contradiction to the parliamentary rule that once a question has been decided it cannot be brought up again at the same meeting.</li> <li>○ Within limits, members have the right to rethink a situation if they feel their decision has been made too quickly or without enough information.</li> <li>○ The two most commonly used restorative motions are: <i>Rescind</i> and <i>Reconsider</i>.</li> </ul>
<b>Rescind</b>	<p><b>Rescind is the motion to use to quash or nullify a previously adopted motion.</b> It may strike out an entire motion, resolution, bylaw, etc.</p>

	<ul style="list-style-type: none"> <li>○ Rescind is <i>not in order</i> when any action has already been taken as a result of the vote, such as any kind of contract when the other party has been notified.</li> <li>○ It must be seconded.</li> <li>○ It requires a <i>two-thirds</i> vote unless <i>notice has been given</i> at the previous meeting, either verbally or in writing. If notice has been given, the motion requires only a <i>majority</i> vote.</li> </ul>
<b>Reconsider</b>	<p><b>Reconsider is the motion which allows a group to reconsider the vote on a motion.</b> It enables a majority of the members, within a limited time, to bring back a motion for further consideration after it has been acted upon. Its purpose is to prevent hasty or ill-advised action.</p> <ul style="list-style-type: none"> <li>○ Reconsider has special rules to prevent its abuse by a disgruntled minority, since it allows a question already decided to be brought up again.</li> <li>○ Rules limit who can make the motion. <b>It can only be made by someone who voted on the prevailing (winning) side.</b></li> <li>○ <b>It has a time limit. It must be made on the same day that the vote to be reconsidered was taken.</b></li> <li>○ It requires a second.</li> <li>○ It may be debated and it opens up the motion to which it is applied to debate.</li> <li>○ It requires only a majority vote.</li> <li>○ It may be made and seconded while other business is pending because of its time limit. However, it is not debated and voted on until the business on the floor is completed.</li> <li>○ All action that might come out of the original motion is stopped at the time that reconsider is made and seconded. This is the main value of the motion, and it should be made as quickly as the situation calling for it is recognized.</li> </ul>
<b>Amend a Motion</b>	<p><b>Change the wording to make it clearer, more complete, or more acceptable before the motion is voted upon.</b> The amendment must be germane to the motion on the floor to be in order. Adoption of the amendment does not adopt the motion. If the group votes “no” on the amendment, the motion is on the floor in its original wording.</p>
<b>Amend an Amendment</b>	<p>First amendment is called the primary and the amendment to the amendment is the secondary amendment. Only two amendments may be pending at any time. First vote on the amendment to the amendment (secondary), then vote on the original amendment (primary), then vote on the main motion. Amendments require a majority vote.</p>
<b>Friendly Amendments</b>	Change in wording to enhance the original motion – can be changed by general consent.
<b>Hostile Amendments</b>	Gives a different meaning to a motion and may defeat the intent of the main motion.
<b>To Commit or Refer a Motion</b>	Sends the question to a small group (committee) to be studied and put into proper form for the group to consider. Motion includes specific directions as to where the question ought to go (what committee). Motion can be applied to any main motion with any amendments that may be pending. It must be seconded, it can be debated, and requires a majority vote.
<b>Postpone</b>	<p><b>Delays action on a question until later in the same meeting or until the next meeting.</b> A motion cannot be postponed further than the next regular meeting. Can be applied to all main motions, it must be seconded, it can be debated, it can be amended (as to time of the postponement), it requires a majority vote. Motion is called up automatically when the time to which it was postponed arrives (place under Unfinished Business on agenda of next meeting).</p>
<b>Limit Debate</b>	<p><b>Motion to exercise special control over debate</b> – reducing the number and length of speeches allowed. Used with any motion, must be seconded, is not debatable, can be amended (but only as to the length of speeches or when the vote will be taken), requires 2/3 vote, vote must be taken by show of hands or a rising vote in a large group. (Need a timekeeper and timer if speeches have a time limit.)</p>

<b>Previous Question</b>	<b>The motion used to cut off debate and to bring the group to an immediate vote on the pending motion. (Call the question for an immediate vote).</b> Previous question can be ruled out of order if the motion is debatable and has not received debate. Motion requires 2/3 vote (by show of hands or standing vote). Not debatable.
<b>Postpone Indefinitely</b>	Lowest-ranked subsidiary motion is used to kill a main motion. It avoids a direct vote on the question on the floor. Shouldn't be used.
<b>Lay on the Table</b>	Highest-ranked subsidiary motion. Cannot be amended or debated. It is out of order when used to "kill or avoid dealing with a measure". <b>Was designed as a courtesy motion to allow a group to set aside a question for something more important, such as arrival of a speaker.</b>
<b>Withdraw a Motion</b>	Permission to withdraw a motion allows a member who realizes he has made a hasty or ill-advised motion to withdraw it with the consent of the group. This device saves time in disposing of the motion. The presiding officer usually handles the request by use of general consent.
<b>Dilatory Tactics</b>	A dilatory tactic is the misuse of parliamentary procedure to deliberately delay or prevent action in a meeting. It is the duty of the presiding officer to prevent a dissident minority from misusing legitimate forms of motions to obstruct business. Such motions should be ruled out of order or those members engaged in such game playing should not be recognized.

## TYPES OF VOTES

<b>Majority Vote</b>	<ul style="list-style-type: none"> <li>• <b>More than half of the votes cast.</b></li> <li>• The minority has the right to be heard, but once a decision has been reached by a majority of the members present and voting, the minority must then respect and abide by the decision.</li> </ul>
<b>Silence is Consent</b>	Those members who do not vote, agree to go along with the decision of the majority by their silence.
<b>Two-thirds Vote</b>	<b>A two-thirds vote is necessary whenever you are limiting or taking away the rights of members or whenever you are changing something that has already been decided.</b> A two-thirds vote has at least twice as many votes on the winning side as on the losing side. A show of hands should be taken for <i>all</i> motions requiring a <i>two-thirds vote</i> . If a motion requires a two-thirds vote, the Chairperson should inform the group of that.
<b>General Consent</b>	<b>Is an informal agreement of the group, the method in which action is taken without a formal vote or on occasion without a motion.</b> The Chairperson initiates the procedure to expedite business. Usually done to approve and correct the minutes. <ul style="list-style-type: none"> <li>• The presiding officer always pauses after asking if there is any objection. If there is <i>any</i> objection, the matter is put to a vote in the usual way.</li> <li>• A member may object because he feels it is important to have a formal vote and dispel any suspicion of railroading.</li> </ul>
<b>Tie Vote</b>	Is a <i>lost</i> vote because a majority was not obtained. The <i>Chairperson is not compelled to break a tie</i> . While the Chairperson has a right to vote as a member, it is recommended he not vote unless the vote is by ballot. He may also vote in cases where the vote would change the result. The Chairperson should appear impartial.



## The Town of Hilton Head Island

### Design Review Board

#### 2022 Meeting Schedule

**Revised September 27<sup>th</sup>, 2022**

Meetings are generally held in Benjamin M. Racusin Council Chambers at 1:15 **2:30** p.m. on the **second & fourth** Tuesdays of each month, subject to change with notice.

PUBLIC MEETING DATES	APPLICATION DEADLINES
January 11, 2022	December 28, 2021
January 25, 2022	January 11, 2022
February 8, 2022	January 25, 2022
February 22, 2022	February 8, 2022
March 8, 2022	February 22, 2022
March 22, 2022	March 8, 2022
April 26, 2022	April 12, 2022
*May 10, 2022	April 26, 2022
May 24, 2022	May 10, 2022
June 14, 2022	May 31, 2022
June 28, 2022	June 14, 2022
July 12, 2022	June 28, 2022
July 26, 2022	July 12, 2022
August 9, 2022	July 26, 2022
August 23, 2022	August 9, 2022
September 13, 2022	August 30, 2022
September 27, 2022	September 13, 2022
<b>2:30 p.m. October 11, 2022</b>	<b>September 27, 2022</b>
<b>2:30 p.m. October 25, 2022</b>	<b>October 11, 2022</b>
<b>2:30 p.m. November 8, 2022</b>	<b>October 25, 2022</b>
<b>2:30 p.m. December 13, 2022</b>	<b>November 29, 2022</b>

Notes: \*The May 10 meeting will begin at 9:00 a.m. due to the Town Council Budget Workshop in the afternoon.

There is only one meeting in April, November, and December. The April 12 meeting is cancelled due to the RBC Heritage. The November 22 and December 27 meetings are cancelled due to the holidays.

All applications must be completed and submitted not later than **4:30 p.m.** 14 days prior to the meeting date at which the application will be reviewed. An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum

requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department Staff.



The Town of Hilton Head Island  
**Design Review Board**  
**Proposed 2023 Meeting Schedule**

Meetings are generally held in Benjamin M. Racusin Council Chambers at 2:30 p.m. on the **second & fourth Tuesdays** of each month, subject to change with notice.

PUBLIC MEETING DATES	APPLICATION DEADLINES
January 10, 2023	December 27, 2022
January 24, 2023	January 10, 2023
February 14, 2023	January 31, 2023
February 28, 2023	February 14, 2023
March 14, 2023	February 28, 2023
March 28, 2023	March 14, 2023
April 25, 2023	April 11, 2023
May 9, 2023	April 25, 2023
May 23, 2023	May 9, 2023
June 13, 2023	May 30, 2023
June 27, 2023	June 13, 2023
July 11, 2023	June 27, 2023
July 25, 2023	July 11, 2023
August 8, 2023	July 25, 2023
August 22, 2023	August 8, 2023
September 12, 2023	August 29, 2023
September 26, 2023	September 12, 2023
October 10, 2023	September 26, 2023
October 24, 2023	October 10, 2023
November 14, 2023	October 31, 2023
December 12, 2023	November 28, 2023

Notes:

There is only one meeting in April, November, and December. **The April 11 meeting is cancelled due to the RBC Heritage.** The **November 28** and December 26 meetings are cancelled due to the holidays.

All applications must be completed and submitted not later than **4:30 p.m.** 14 days prior to the meeting date at which the application will be reviewed. An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department Staff.