



Town of Hilton Head Island  
**Design Review Board Meeting**  
Tuesday, September 27, 2022 – 1:15 p.m.  
**REVISED AGENDA**

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The Design Review Board meeting will be held in-person at Town Hall in the Benjamin M. Racusin Council Chambers.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Swearing in Ceremony for new Board Member** – Tom Parker

**4. Roll Call**

**5. Approval of Agenda**

**6. Approval of Minutes**

a. Meeting of August 23, 2022 Regular Meeting

**7. Appearance by Citizens**

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. on Monday, September 26, 2022. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

**8. Unfinished Business**

a. *Alteration/Addition*

a. *Billy Wood Appliance*, DRB 002326-2022 – Proposed changes to the building façade, color, and landscape.

**9. New Business**

a. *Alteration/Addition*

a. *Disney Resort Building 28*, DRB 002287-2022 – Proposed addition of an elevator shaft and elevated walk to improve accessibility to guest rooms.

b. *Broad Creek Marina Housing*, DRB 002326-2022 – Proposed addition of multi-family housing for workers to the existing commercial development.

c. *Nunzio's*, DRB 002303-2022 – Proposed addition of a roof over the existing deck.

**10. Board Business**

a. Proposed Amendments to Rules of Procedure – *presented by Chris Darnell*

b. Proposed Revised 2022 Meeting Schedule.

c. Review and Adoption of 2023 Meeting Schedule

## **11. Staff Report**

- a. Development Review Process Improvement
- b. Minor Corridor Report

## **12. Adjournment**

**Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**  
August 23, 2022, at 1:15 p.m.  
Benjamin M. Racusin Council Chambers  
**MEETING MINUTES**

**Present from the Board:** Chair Cathy Foss; John Moleski, Annette Lippert, Ryan Bassett, Todd Theodore, Judd Carstens

**Present from Town Council:** Glenn Stanford

**Present from Town Staff:** Chris Darnell, Urban Designer; Nicole Dixon, Development Review Program Manager; Karen Knox, Senior Administrative Assistant, Brian Glover, Administrative Assistant

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**1. Call to Order**

Chair Foss called the meeting to order at 1:15 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call** – As Noted Above.

**4. Approval of Agenda**

Chair Foss asked for a motion to approve the agenda. Ms. Lippert moved to approve. Mr. Moleski seconded. By a show of hands, the motion passed with a vote of 6-0.

**5. Approval of Minutes**

a. Special Meeting of August 9, 2022

b. Regular Meeting of August 9, 2022

Chair Foss asked for a Motion to approve the Minutes of the August 9, 2022, Special Meeting and the Minutes of the August 9, 2022, Regular Meeting. Mr. Moleski moved to approve. Mr. Theodore seconded. By a show of hands, the motion passed with a vote of 5-0. Mr. Carstens was not present at the August 9, 2022, Meeting.

**6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were no comments submitted.

**7. New Business**

a. *Alteration/Addition*

i. Billy Wood Appliance, DRB-001911-2022 – Proposed changes to the building façade, color, and landscape.

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff has concerns about the island character as it relates to architecture of the proposed additions, building color, and architectural scale. Staff recommends denial.

Chair Foss asked if the Applicant would like to add to Staff's narrative. The Applicant noted he had nothing to add but was available to answer questions. Chair Foss asked about parking striping already being started on the site. Brantley King, owner of Billy Wood, stated that the striping was a requirement for insurance and was not part of the parking renovation within the application. The Board proceeded to discussion.

The Board expressed many concerns about the project. This primarily included the entry features, front fence, service yard fence, building color, light fixtures, and landscaping choices summarized below.

**Entry features:**

Many members expressed concerns about the scale of the entry features, as well as the difference in size between the two entry features. Additionally, the Board noted that the features have a top-heavy appearance. The Board recommended making changes or adding some embellishment to remedy this issue. Finally, the Board expressed concern that the second entry feature does not connect to the building. The Board noted that the front entry feature was better suited to the building but was concerned with changes or removal to the second feature.

The applicant stated that the second feature was intended to be dual purposed and serve as both an entry feature and a feature visible from right side road. The applicant acknowledged the boards concerns stated that some changes to the features could be made. The board mentioned that they would like to see improvements to the existing roadside sign, instead of the second feature's secondary purpose as a sign.

**Front Fence:**

The Board questioned the size of the screening fence on the left of the building and its purpose in the project. They felt the fence is too tall, and the Board recommends it be shortened or matched to the height of another element in the project.

The applicant stated the reason for the fence was to help guide customers towards the entry way of the building. The applicant acknowledged that the fence height could be adjusted to a different height.

**Service Yard Fence:**

The Board stated the black paint proposed is not a color which fits within the design guidelines and a dark brown or brass replacement is recommended. The Board also recommended the addition of plants in front of the fence to assist with the fence blending into the background.

The applicant stated that the primary purpose of repainting the fence was to help it blend in and that either replacement color would be acceptable.

#### Building Color:

The board expressed concern with both the white color of the building as well as its highly reflective quality. The building color does not adhere to the design guidelines. Additionally, it was noted window frames are painted the same color as the walls.

The applicant stated that the color of the rendering was not in line with the current plan and showed the Board an updated color sheet. The Board noted that the updated grey color was appropriate and well chosen for the project. The applicant stated that they would be open to painting the window frames a dark bronze to match the lighting and railing elements.

#### Light Fixtures:

The Board mentioned that the brass lighting units did not match the bronze railings used in the project. Additionally, the Board expressed concerns about the matching themes between the light fixtures for the building walls the goose-neck fixtures for the entry features.

The applicant stated there were changes being made so that all metal elements in the project would be a dark bronze. The applicant acknowledged the themes and colors of all lighting fixtures for the project would need to be chosen appropriately.

#### Landscaping Choices:

The Board recommended that the applicant consider something other inkberry which is more suited to planters. Additionally, the board recommends the applicant reconsider the foundation planting on the right side of the building.

In addition to the concerns with the presented project, the Board stated that they would like additional details to be added for the brick façades, brick plasters, and connection of the roof to the front façade.

Following discussion, Chair Foss recommended that the applicant withdraw, and the applicant officially withdrew their application.

Chair Foss thanked the applicant for their inclusion of the renderings. She stated that despite the discrepancies with the plans, the visual was very helpful for the discussion of the project. Additionally, Chair Foss expressed hope for the applicant's success with any follow-up submittals and acknowledged the difficulties with renovations over new construction.

## **8. Board Business**

Chair Foss asked if any Board Members had anything to discuss. Ms. Lippert asked if everyone had given any additional thought on changing the meeting time going forward from 1:15 p.m. to 2:30 p.m. A brief discussion was had, and Mr. Darnell advised that there were no conflicts on the schedule with Council Chambers and if the Committee desired to change the meeting time, they would have to vote on it. Ms. Lippert moved to change the start time of the Design Review Board Meetings to 2:30 p.m. Mr. Carstens seconded. Mr. Darnell asked if it would be ok to start the new meeting time with the September 27, 2022, meeting to ensure adequate notice was given to anyone attending. Ms. Lippert amended her Motion to change the start time of the Design Review Board Meetings to 2:30 p.m., starting with the September 27, 2022, meeting. Mr. Carstens

seconded the amended motion. By a show of hands, the motion passed with a vote of 4-2. Chair Foss and Mr. Moleski opposing.

## 9. Staff Report

- a. Development Review Process Improvement – Nicole Dixon

Ms. Dixon had to leave for a meeting. This report will be on the next Agenda.

- b. Minor Corridor Report – Chris Darnell – There was no report.

- c. Meeting Efficiencies Discussion – Chris Darnell

Mr. Darnell expressed staffs concerns about the meetings taking longer than needed to cover the topics on the agenda. He stated a few things that staff felt were slowing down the meeting process and changes that could help in the future. He stressed that this was not a reprimand, but suggestions to improve future meeting efficiency.

The Board acknowledged that the meetings were longer than necessary, and changes would be helpful for both staff and board members.

## 10. Adjournment

The meeting adjourned at 3:42 p.m.

Submitted by: Brian Glover

Administrative Assistant

**Approved:** [DATE]



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MIKE VACCARO Company: VACCARO ARCHITECTURE, INC.  
 Mailing Address: 31 OGLETHORPE LN. City: HHI State: SC Zip: 29926  
 Telephone: 843-290-3076 Fax: NONE SINCE 2009 E-mail: MIKEVACCARO7@YAHOO.COM  
 Project Name: BILLY WOOD APPLIANCE Project Address: 6 MARSHLAND RD.  
 Parcel Number [PIN]: R511 008 00A 0108 0000  
 Zoning District: LC - LIGHT COMMERCIAL Overlay District(s): COO - OCRM HIGH TIDE LINE

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ✓ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

5/24/22

DATE

# **VACCARO** ARCHITECTURE, INC.

09/12/22

Chris Darnell  
URBAN DESIGNER  
Town of Hilton Head Island  
1 Town Center Court  
Hilton Head Island, SC 29928

RE: PROJECT NARRATIVE for BILLY WOOD APPLIANCE, 6 MARSHLAND ROAD

Dear Chris:

This letter is a narrative for the renovation/addition/alteration to the existing Billy Wood Appliance store located at 6 Marshland Road. The project consists of an exterior renovation to the front and right sides (south and east facades) of the building as facing from Marshland Road as well as a parking lot update.

As this is a revised submittal, I am focusing the narrative on the changes, which are as follows. I continued the brick base all the way around the front and east corner at a constant planter top height and let that be the grounding element. Then, I omitted the screening fence at the ramp, the large corner brackets and the wooden accent panels on the wall. That cleared the way for the multi-level trellis structure. In creating the trellis work, I took the previous fence post columns to a full and constant height to act as the vertical supports for most of the trellis work except where that trellis intersects the east entry element. These two components center on each other well and tie the new brickwork to the existing building soffit horizontally and also provide a shading element to the south facade. I reevaluated both brick entry points and scaled the main entry down vertically by twenty-eight inches and scaled the east entry down in width by six feet, nine inches while reducing the height there by forty-one inches. I also swapped out the roof flashing on those two elements to a simpler 1/12 metal roof since it won't really be seen. The actual front entry door remains as previously designed but I am proposing wrapping the front windows in a stained 3x6 picture box to offset them from the stucco a bit and tie them to the main entry door in color and material finish. I kept the parking the same

What we end up with is a little more brick, a trellis and a slightly cleaner, simpler modern look, but generally speaking, the project scope is about the same. I do think this design really shows that we took strong consideration of the review board members' comments and incorporated the ideas that enhance this project. Hopefully you agree.

Please let me know your thoughts as soon as possible.

All lighting, architecture, site design, landscape design, etc. will meet the requirements of the LMO.

Please feel free to contact me anytime to discuss.

Sincerely,



Michael A. Vaccaro, AIA, NCARB  
President | VACCARO ARCHITECTURE, INC.  
SC Registered Architect #6618



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

**PROJECT NAME:** Billy Wood Appliance

**PROJECT #:** DRB 001911-2022

**PROJECT ADDRESS:** 6 Marchland Road

**CATEGORY:** Alteration / Addition

**ACTION DATE:** 08/23/2022

**NOTICE DATE:** 08/29/2022

**APPLICANT/AGENT:** Mike Vaccaro

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**On the above meeting date your Application received the following action:**

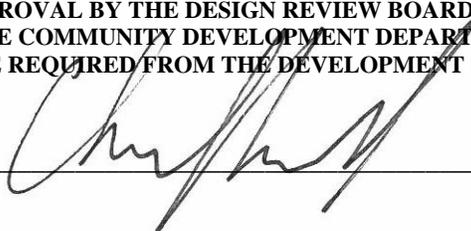
- APPROVED AS SUBMITTED**
- APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**
- DENIED**
- WITHDRAWN AT THE APPLICANTS REQUEST**

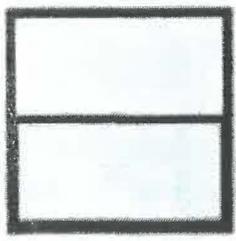
The applicant should consider the following in any new application:

1. Provide a detail for the brick pilasters.
2. Provide a detail for the connection of the roof to the front entrance façade.
3. Provide more architectural detail on the brick facades.
4. The right side façade should be architecturally connected to the building or eliminated from the project.
5. Consider enlarging the monument sign and eliminating the right side façade.
6. Study reducing the height of the fence at the handicapped ramp.
7. The back service yard fence and columns should be painted a dark color.
8. The back service yard fence should be screened with shrubs.
9. Specify a different shrub for the Inkberry better suited for planters.
10. Reconsider the foundation planting on the right side of the building.
11. The Board supported the alternate building color scheme presented at the meeting by the applicant.

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

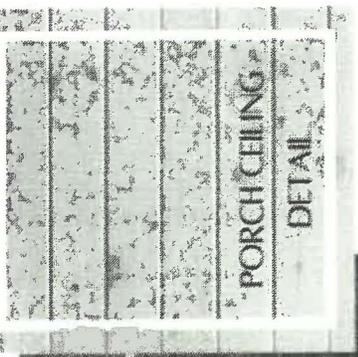
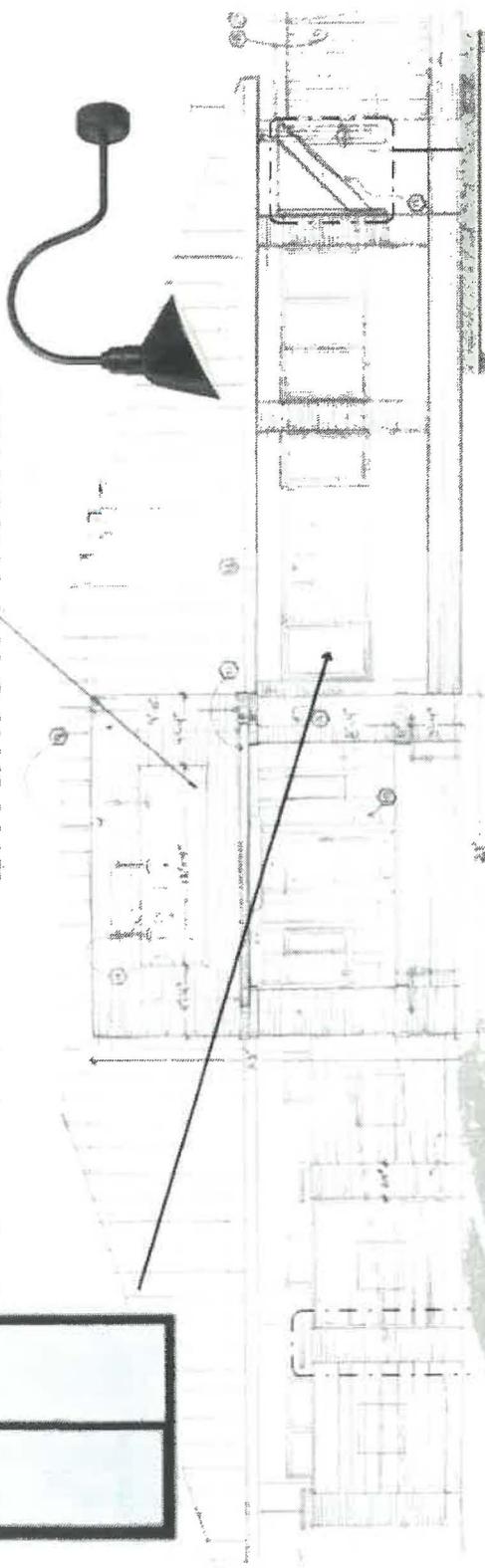
**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer

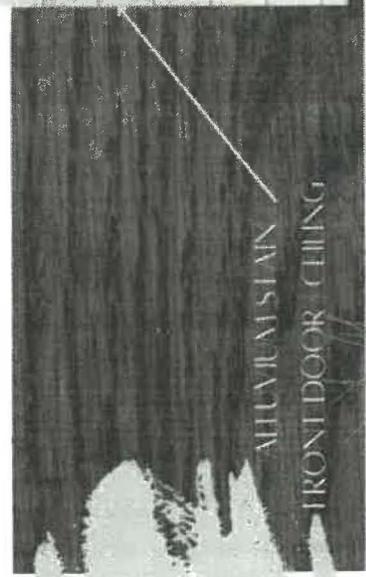


BLACK WINDOWS

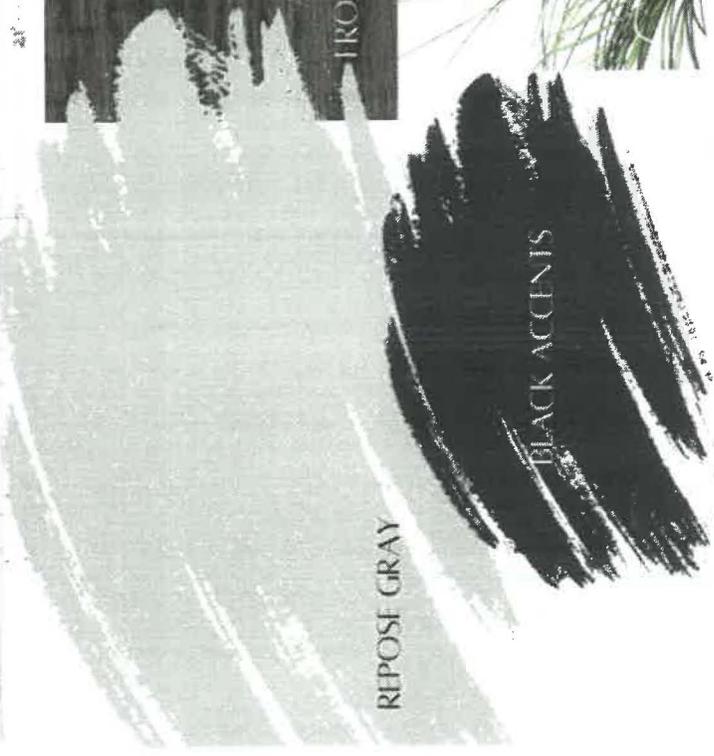
EXTERIOR FINISHES



PORCH CEILING  
DETAIL



ALUMINUM  
FRONTDOOR CEILING



REPOSE GRAY

BLACK ACCENTS

*Billy Wood Appliance*

**MOOD BOARD**

HILTON HEAD | SC

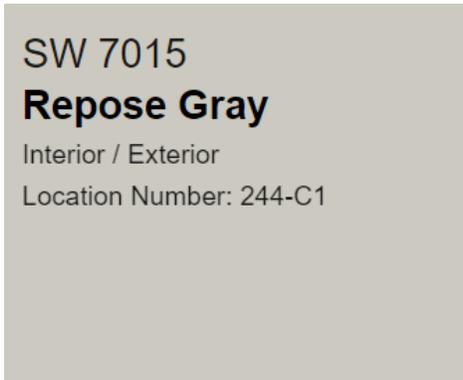
# COLOR SELECTIONS

## BILLY WOOD APPLIANCE

- BRICK
  - STANDARD BRICK PAINTED
  - SW 7015 REPOSE GREY



- STUCCO
  - STO STUCCO
  - "SW7015 REPOSE GREY"



- ROOF SHINGLES
- MATCH EXISTING METAL ROOFING"

- RAILINGS
  - BRONZE



- FRONT DOOR AND SURROUND
  - WOOD
  - CEDAR – NATURAL STAIN

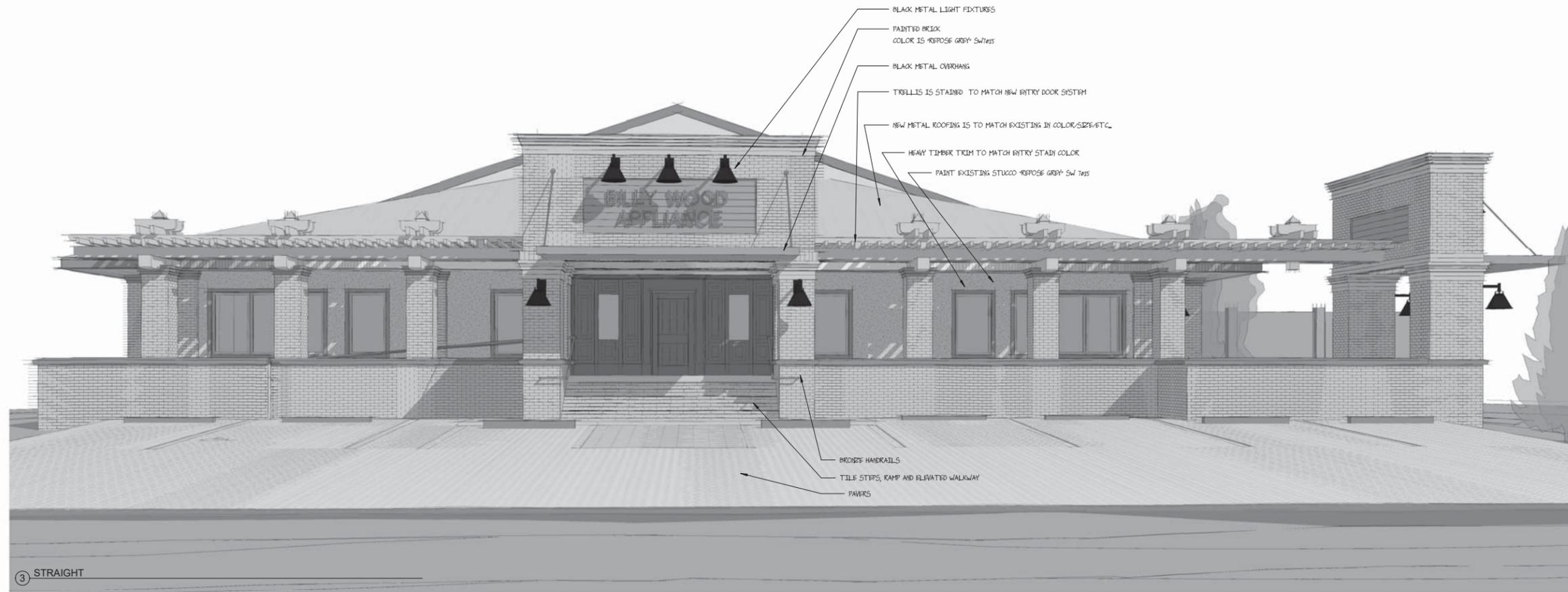


- EXTERIOR TILES/ PAVER ACCENTS
  - CONCRETE PAVERS
  - GREY/WHITE



- RENEWED PARKING LOT AREA PAVERS
  - HYDRAPLANK PERMEABLE PAVER GREY





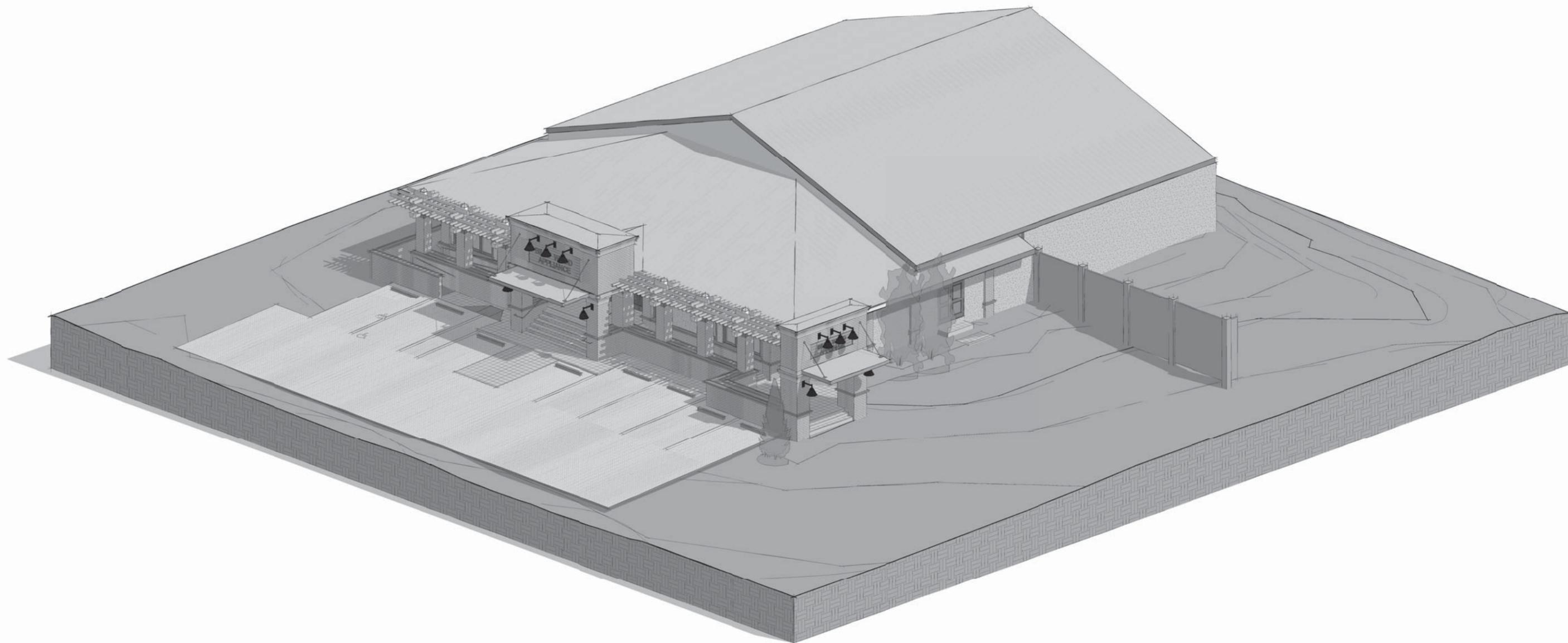
FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
 6 MARSHLAND ROAD

**VACCARO**  
 ARCHITECTURE, INC.  
 843.290.3076  
 email: mikevaccaro7@yahoo.com

**R1**  
 3D

This sheet is NOT valid for permit or construction unless signed by the Architect above. © 2022

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FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
6 MARSHLAND ROAD

**VACCARO**  
ARCHITECTURE, INC.

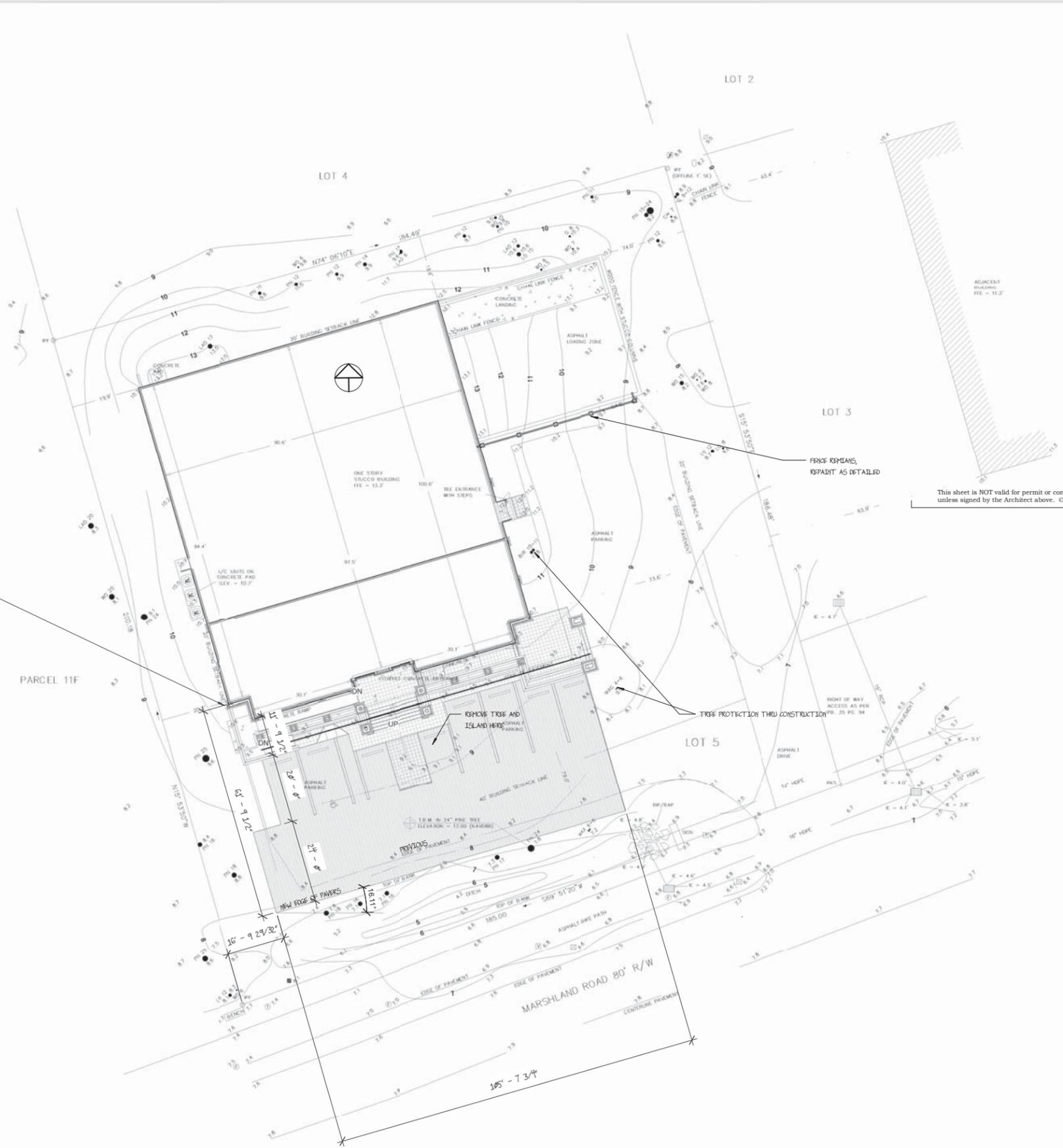
843.290.3076  
email: mikevaccaro7@yahoo.com

**R2**

3D

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A RENOVATION FOR:  
**BILLY WOOD APPLIANCE**  
 6 MARSHLAND ROAD

**VACCARO**  
 ARCHITECTURE, INC.  
 843.290.3076  
 email: mikevaccaro7@yahoo.com

**A0**  
 SITE  
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 9/12/2022 9:56:34 PM

**LEGEND & SYMBOLS:**

TREE SIZES ARE INCHES IN DIAMETER

○	SPOT ELEVATION
—	CONTOUR
CMF □	3" CONCRETE MONUMENT FOUND
TM	TEMPORARY BENCH MARK
IE	INVERT ELEVATION
FFE	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
HDP	HIGH DENSITY POLYETHYLENE PIPE
LO	LIVE OAK
LAO	LAUREL OAK
MAC	MACNOLIA
RO	RED OAK
PN	PINE
PLM	PALM
WO	WATER OAK
G	GUM
WAX	WAX MYRTLE
BIR	BIRCH
ET	ELECTRIC TRANSFORMER
TEL	TELEPHONE SERVICE
TVS	TELEVISION SERVICE
WM	WATER METER
VB	VALVE BOX
S	SIGN
FOM	FIBER OPTIC MANHOLE
TC	TRASH CAN
CB	CATCH BASIN
MB	MAIL BOX
ACU	AC UNIT
IPF	1/2" IRON PIN FOUND
PKS	NAIL IN PAVEMENT SET

**REFERENCE PLAT**

1) COMMERCIAL SUBDIVISION PREPARED FOR, NEXUS PROPERTIES LTD.  
 WOODLAND PLAZA, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C.  
 DRAWN: 12/28/83  
 RECORDED IN BOOK 35, PAGE 94, DATED 3/3/88  
 ROD. BEAUFORT COUNTY, SC  
 BY: M.A. DUNHAM S.C.R.L.S. # 11590

PROPERTY AREA = 0.82 Ac. 35,668 Sq. Ft.  
 ADDRESS: 6 MARSHLAND ROAD  
 DISTRICT: 511, MAP: 8A, PARCEL: 108  
 THIS PROPERTY LIES IN F.E.M.A. ZONE X; AE  
 BASE FLOOD ELEVATION = N/A; 7.0'  
 COMMUNITY NO. 450250, PANEL 0454G, DATED: 3/23/2021

- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A EASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1986.
  - 4) HORIZONTAL DATUM IS LOCAL.
  - 5) VERTICAL DATUM IS NAVD83.
  - 6) CONTOUR INTERVAL IS 1'
  - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
 LOT 5, COMMERCIAL SUBDIVISION,  
 MARSHLAND ROAD, HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
**BRANTLEY KING**

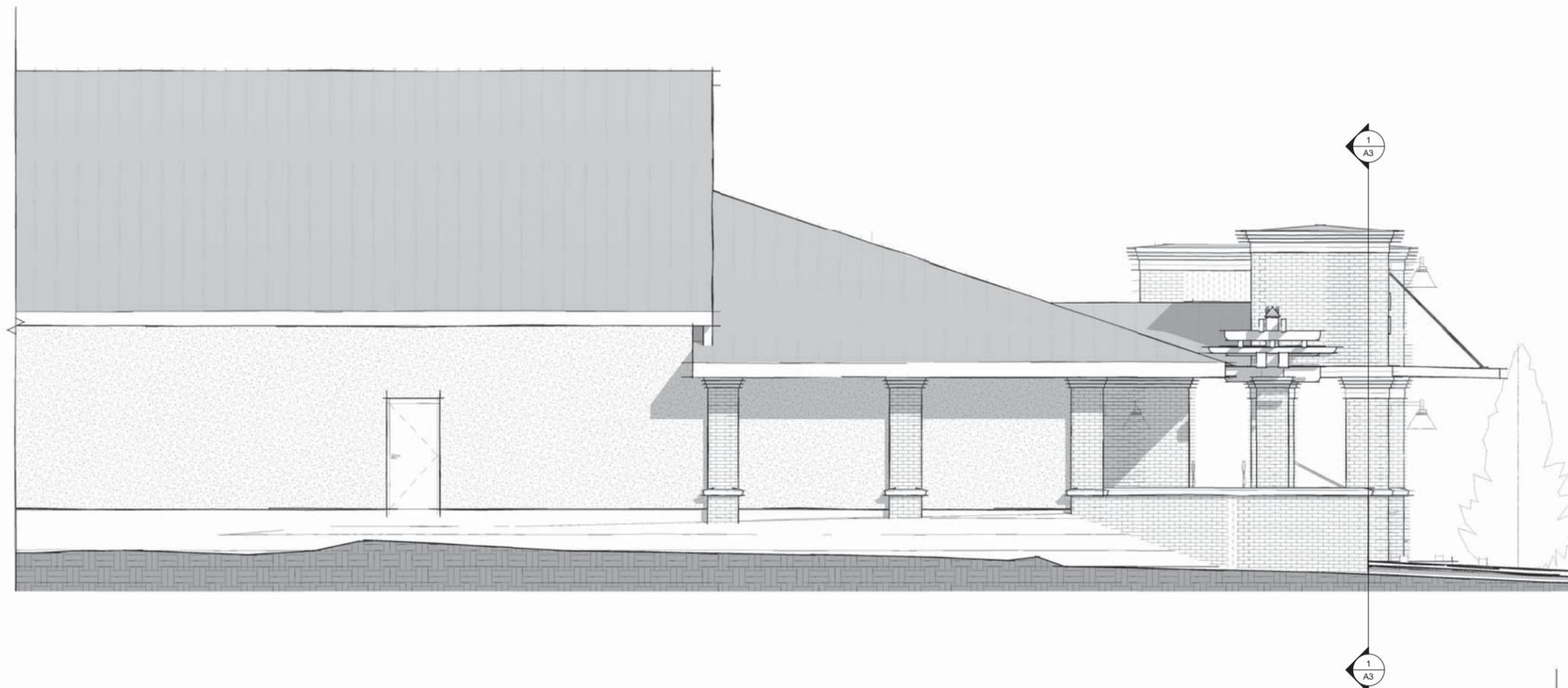
DATE: 4/21/2022 SCALE: 1" = 16'



d.b.a. Sea Island Land Survey, Inc.  
 10 Oak Park Drive, Unit C1,  
 Hilton Head Island,  
 SC 29926  
 Tel (843) 681-3248  
 Fax (843) 689-3871  
 E-mail: admin@nandinainc.com  
 FILE No.: 22104 DWG No.: 5-2386 E

THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY JUSTIN R. KESSELING S.C.R.L.S. # 29901  
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FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
 6 MARSHLAND ROAD

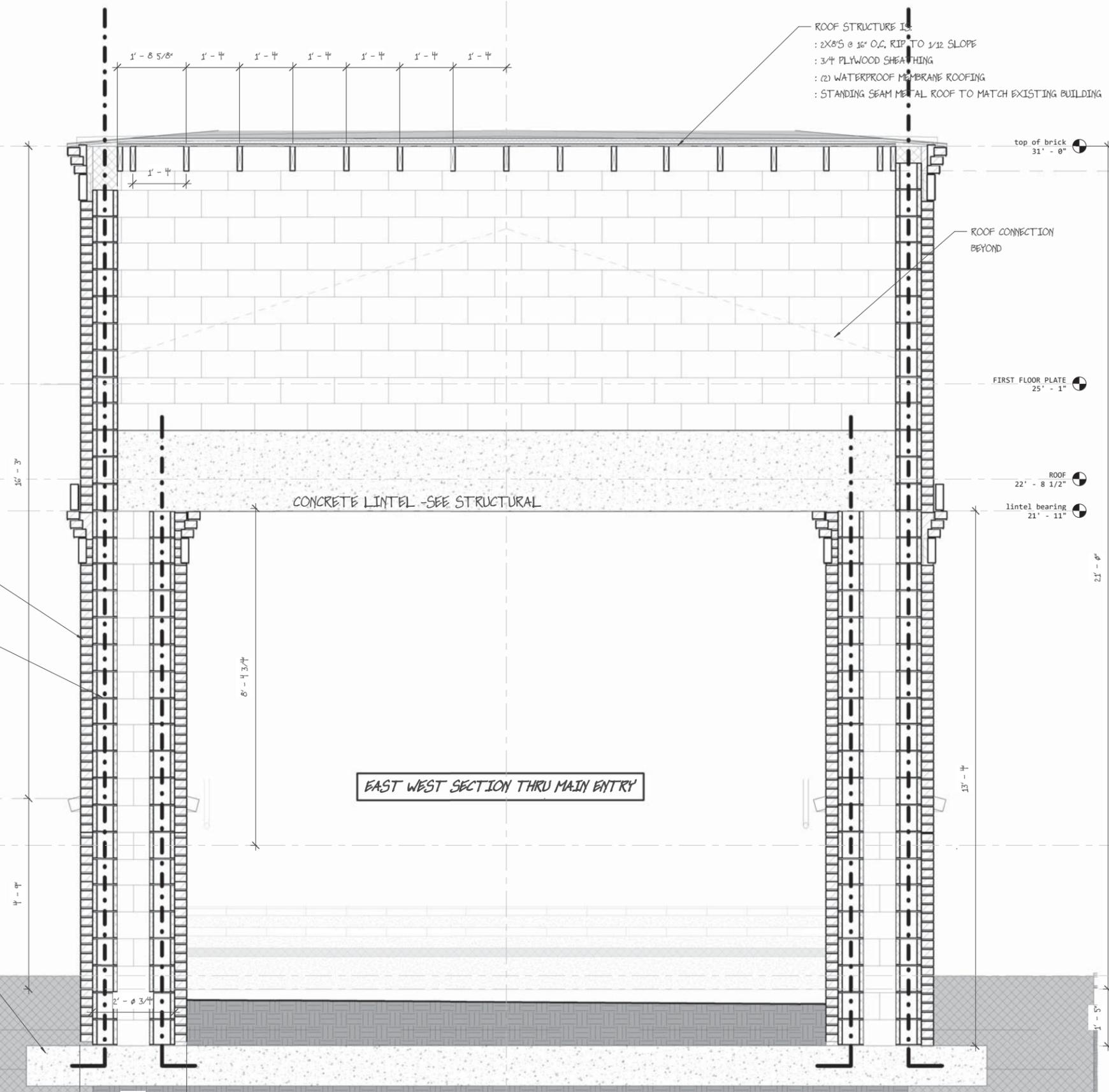
**VACCARO**  
 ARCHITECTURE, INC.  
 843.290.3076  
 email: mikevaccaro7@yahoo.com

**A2**  
 ELEVATIONS

This sheet is NOT valid for permit or construction unless signed by the Architect above. © 2022

PRINT DATE  
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ROOF STRUCTURE IS:  
 : 2X8'S @ 16" O.C. RIP TO 1/12 SLOPE  
 : 3/4" PLYWOOD SHEATHING  
 : (2) WATERPROOF MEMBRANE ROOFING  
 : STANDING SEAM METAL ROOF TO MATCH EXISTING BUILDING



EAST WEST SECTION THRU MAIN ENTRY

NORTH SOUTH SECTION THRU MAIN ENTRY

1/2 BRICK ON CMU  
 SEE STRUCTURAL FOR REINFORCING DETAILS

SEE STRUCTURAL FOR FOOTER DETAILS

top of brick 31' - 0"

FIRST FLOOR PLATE 25' - 1"

ROOF 22' - 8 1/2"

lintel bearing 21' - 11"

STEP OUT 3 BRICKS EACH 1" WITH SOLDIER COURSE UNDER

SOLDIER ABOVE

STEEL AWNING:  
 PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALL

1 ENTRY SECTION  
 3/4" = 1'-0"

FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
 6 MARSHLAND ROAD

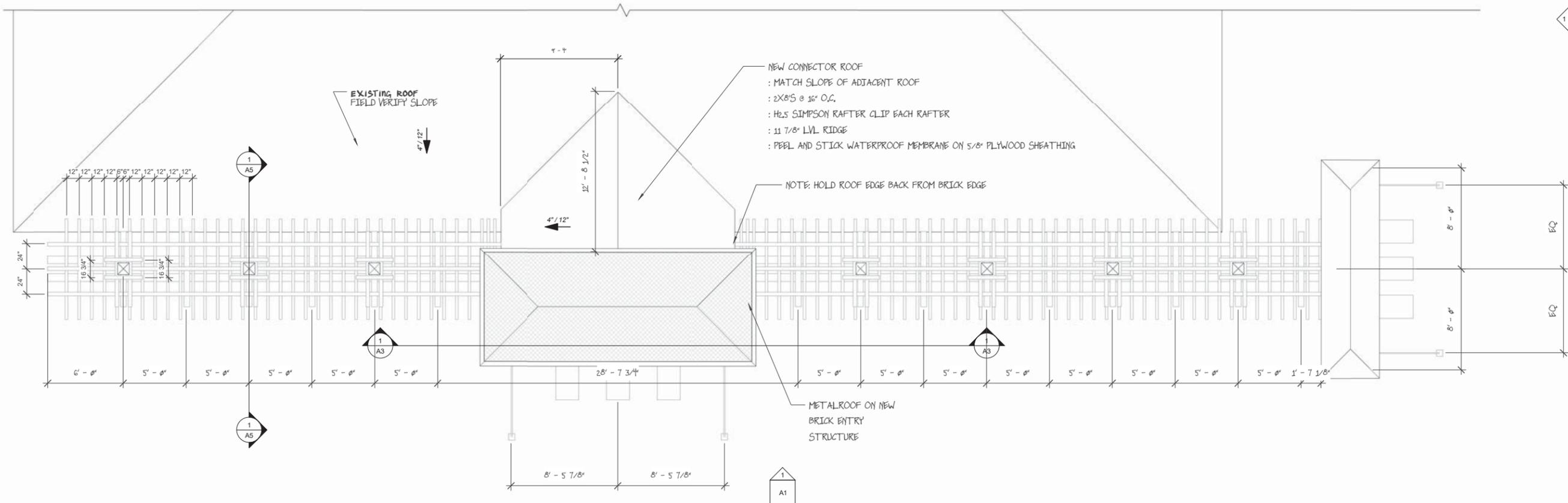
SOUTH CAROLINA REGISTERED ARCHITECT  
 VACCARO ARCHITECTURE, INC.  
 Hilton Head Island, SC No. 3061

SOUTH CAROLINA REGISTERED ARCHITECT  
 MICHAEL A. VACCARO  
 Hilton Head Island, SC No. 6618

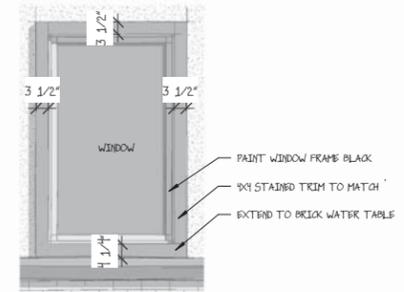
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**A3**  
 SECTIONS & DETAILS

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2 ROOF  
1/4" = 1'-0"



3 WINDOW TRIM DETAIL  
1/2" = 1'-0"

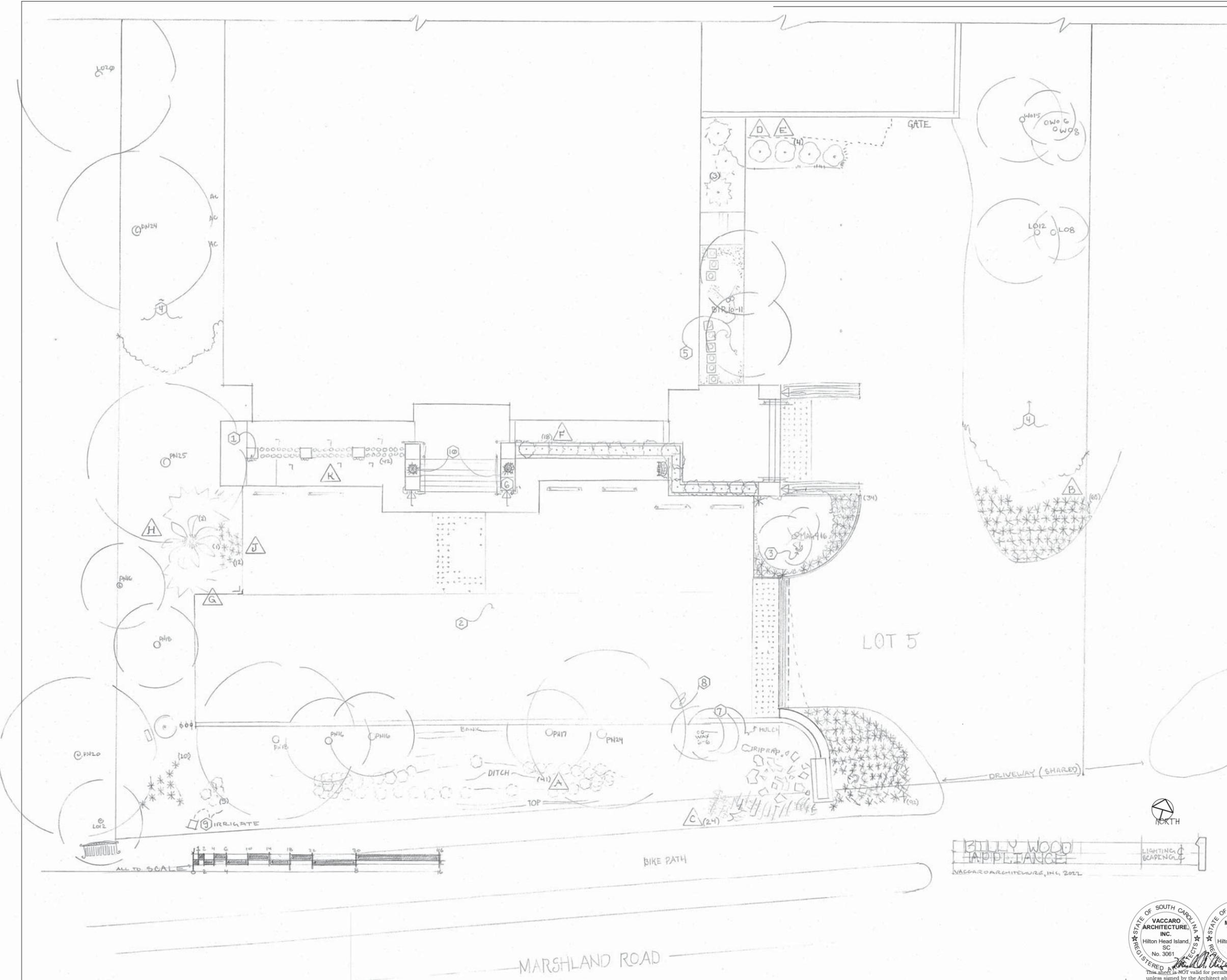
FACADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
6 MARSHLAND ROAD

**VACCARO**  
ARCHITECTURE, INC.

843.290.3076  
email: mikevaccaro7@yahoo.com

**A4**  
DETAILS





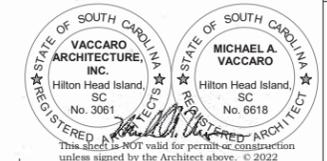
- TEXT NOTES:**
1. PROVIDE KICHLER® 12V LED 3000K HALF MOON DECK LIGHT IN CENTENNIAL BRASS FINISH LOW VOLTAGE LIGHTING FIXTURE MOUNTED @ CENTER OF EXTERIOR FACE AND 30" AFF - AND IRRIGATION AT BASE OF EACH OF (3) RAMP COLUMNS
  2. PARKING LOT - SEE ARCHITECTURAL SITE PLAN
  3. PROVIDE KICHLER® 12V 50W 1 LIGHT ACCENT LIGHT IN TEXTURED ARCHITECTURAL BRONZE FINISH.
  4. EXISTING LANDSCAPING UNNEFFECTED BY PROJECT TO REMAIN INTACT
  5. EXPERIMENTAL GARDEN:  
AREA BEHIND CURB TO BE ORGANIC MULCH WITH 24" X24" PAVER STEPPING STONES WITH POTTED PLANTS, POTS AND PLANTS BY OTHERS, LANDSCAPER TO PROVIDE IRRIGATION TO EACH OF (9) PLANTERS AND EXISTING BIRCH TREES
  6. WALL SCONCE, TYPICAL OF (4) AT ENTRY POINTS:  
KICHLER: GROVE MILL™ 3 LIGHT WALL LIGHT POLISHED BRASS  
PROVIDE (3) 30 WATT BULBS PER FIXTURE
  7. MULCH THE ENTIRE PROPERTY IN NEW PINESTRAW MULCH
  8. TYPICAL EXISTING TREE CANOPY
  9. VERIFY IRRIGATION ON SITE. PROJECT AREA TO BE IRRIGATED WITH NEW OR RENOVATED EXISTING IRRIGATION SYSTEM
  10. PROVIDE DRIP IRRIGATION AT TWO POTTED PLANT LOCATIONS IN ENTRYWAY

**PLANTING PLAN**

MARK	COUNT	COMMON NAME/ SPECIES	SIZE
A.	4	BLUE FLAG IRIS <i>IRIS VERSICOLOR</i>	1 GALLON
B.	201	MUHLI GRASS <i>MULLEBERGIA CAPILLARIS</i>	1 GALLON
C.	4	LIZARD TAIL <i>SAURURUS CERINUS</i>	1 GALLON
D.	3	STAR ANISE <i>ILLICUM FLORIDANUM</i>	3 GALLON
E.	4	YALPON HOLLY <i>ILEX VOMITORIA</i>	7 GALLON
F.	18	AZTEC GRASS <i>LIRIOPE MUSCARI</i>	1 GALLON
G.	3	SAW PALMETTO <i>SERENA REPENS</i>	7 GALLON
H.	1	SALT MYRTLE <i>BACCHARIS HALIMIFOLIA</i>	15 GALLON
J.	12	WILD GINGER <i>ASARUM CANADENSE</i>	1 GALLON
K.	18	AZTEC GRASS <i>LIRIOPE MUSCARI</i>	1 GALLON

**LANDSCAPING NOTES**  
GENERAL CONTRACTOR SHALL PROVIDE LANDSCAPER WITH FINAL ROUGH GRADE THAT IS GENERALLY FREE OF DEBRIS, AND EVENLY SLOPED AWAY FROM ALL STRUCTURES/ ROAD AND WALKING SURFACES. LANDSCAPER IS RESPONSIBLE FOR PROVIDING FINISH GRADE, FINAL SURFACE COVERING AND LOW VOLTAGE LIGHTING AS REQUIRED FOR THE WORK.

FAÇADE DESIGN FOR:  
**BILLY WOOD APPLIANCE**  
6 MARSHLAND ROAD



**VACCARO**  
ARCHITECTURE, INC.  
843.290.3076  
email: mikevaccaro7@yahoo.com

**L1**  
Landscaping Plan  
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## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Billy Wood Appliance

DRB#: DRB-002291-2022

DATE: 09/16/2022

CATEGORY: Alteration/Addition

RECOMMENDATION:    Approval             Approval with Conditions             Denial

RECOMMENDED CONDITIONS:

Provide the following for Staff review and approval:

1. Specify on the drawings the proposed color and that the entire building will be painted.
2. Specify on the drawings the proposed color of the service yard fence.
3. Provide manufacture cut sheets for the proposed light and building fixtures.
4. Revise the landscape plan to add more shrubs to screen the service yard fence.
5. Provide a plan specifying tree protection for the tree at the corner of the building.

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
All facades shall have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	"In addition, all sides of a structure should be given the same design consideration as the entrance or street façade." (Design Guide, page 12) Specify on the drawings that the entire building will be painted.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide manufacturer cut sheets for the proposed fixtures.

\

**LANDSCAPE DESIGN**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> <li>Per NOA - The back service yard fence should be screened with shrubs. The plating shown is not adequate.</li> <li>The side landscaping between the building and the parking lot is not adequate.</li> </ol>

**NATURAL RESOURCE PROTECTION**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify tree protection on the drawings for the tree at the corner of the building.

**MISC COMMENTS/QUESTIONS**

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
3. Per NOA - Provide a detail for the brick pilasters.
4. Per NOA - The back service yard fence and columns should be painted a dark color.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Sam Elsheikh Company: Ohlson Lavoie Corporation  
 Mailing Address: 2295 S. Hiawasse Rd, Suite 310 City: Orlando State: FL Zip: 32835  
 Telephone: (407) 992-0470 Fax: N/A E-mail: selsheikh@olcdesigns.com  
 Project Name: Disney's Hilton Head Island Resort - Building 28 Elevator Addition Project Address: 22 Harbourside Lane  
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 3 3 0 0 0 0  
 Zoning District: PD-1 Planned Development Overlay District(s): COD - OCRM High Tide Line

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- ✓ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ✓ Final site development plan meeting the requirements of Appendix D: D-6.F.
- ✓ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ✓ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- ✓ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- ✓ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ✓ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

\_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

\_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

\_\_\_\_\_ Proposed landscaping plan.

For wall signs:

\_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.

\_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

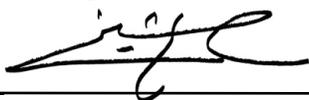
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

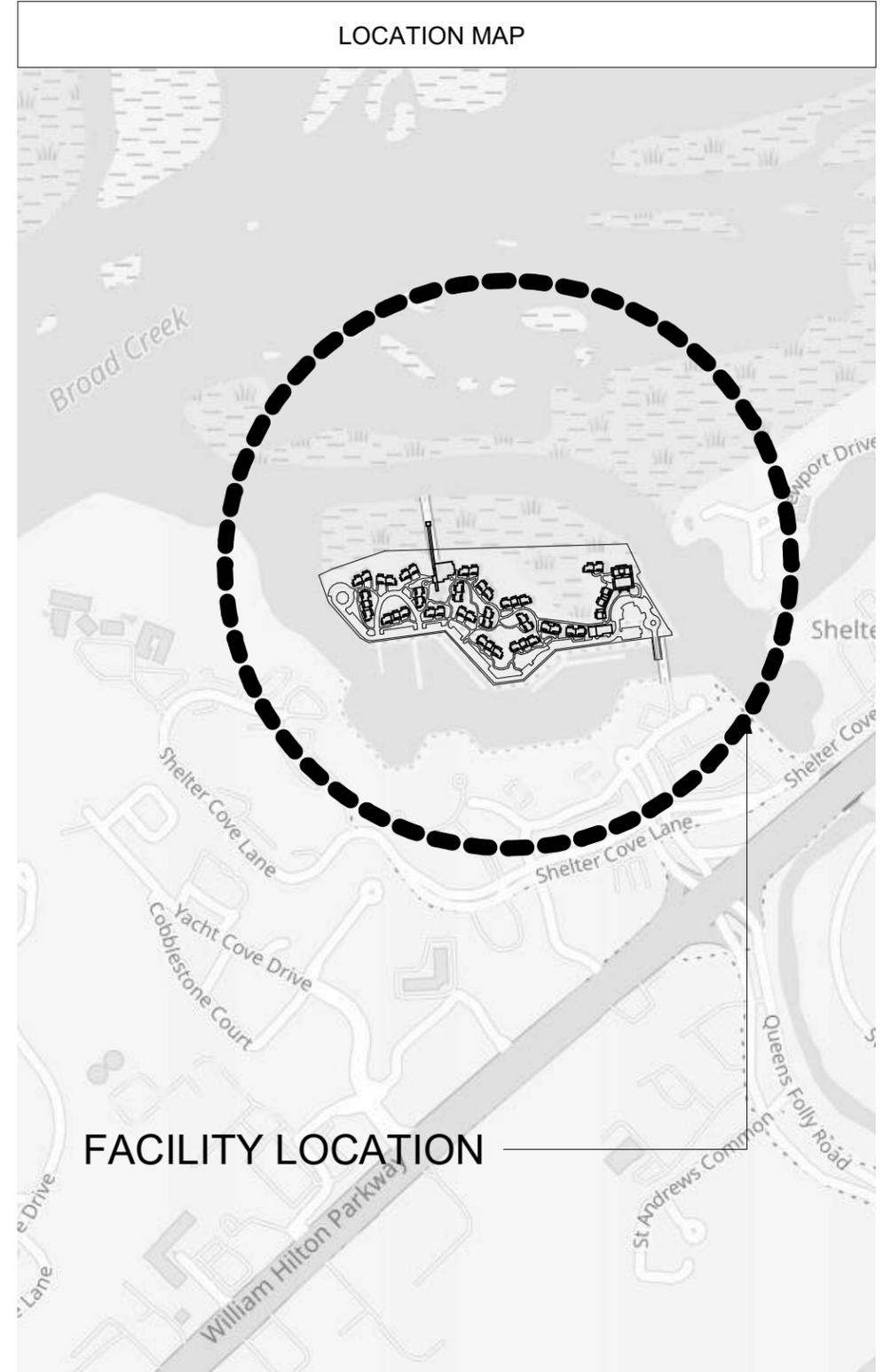
I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



09/09/2022

SIGNATURE

DATE



## PROJECT DIRECTORY

**ARCHITECT OF RECORD**  
 OHLSON LAVOIE COLLABORATIVE  
 2295 S. Hiwassee Road, Suite 310  
 Orlando, Florida, 32835  
 Phone (407) 992- 0470

**STRUCTURAL AND MEP**  
 TLC ENGINEERING SOLUTIONS  
 255 S Orange Ave # 1600, Orlando, FL 32801  
 Phone (407) 841-9050

## CODE INFORMATION

- 2018 SOUTH CAROLINA BUILDING CODE.
- ACCESIBLE AND USABLE BUILDINGS AND FACILITIES 2017 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA PLUMBING CODE.
- 2018 SOUTH CAROLINA MECHANICAL CODE.
- ENERGY CONSERVATION CODE 2009 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA FUEL GAS CODE.
- NATIONAL ELECTRICAL CODE 2017 OF SOUTH CAROLINA.
- 2018 SOUTH CAROLINA FIRE CODE.

## SUMMARY

ADDRESS: 22 HARBOURSIDE LINE, HILTON HEAD, SC 29928  
 CONSTRUCTION TYPE: TYPE V-B  
 OCCUPANCY: R-1

PROJECT SCOPE: ELEVATOR AND UPPER WALKWAY ADDITION TO BUILDING 28.

## FACILITY LOCATION



# DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
 DESIGNED  
 FOR



## LIST OF DRAWINGS

1. COVER/ INDEX
2. LIST OF DRAWINGS AND NARRATIVE
3. EXISTING SURVEY
4. EXISTING PHOTOS
5. OVERALL SITE PLAN
6. DEMOLITION SITE PLAN
7. NEW SITE PLAN
8. LANDSCAPE AND LIGHTING PLAN
9. GROUND FLOOR PLAN
10. FIRST FLOOR PLAN
11. SECOND FLOOR PLAN
12. EXTERIOR ELEVATION - SOUTH
13. EXTERIOR ELEVATION - EAST
14. EXTERIOR ELEVATION - WEST
15. BUILDING SECTIONS
16. BUILDING SECTIONS
17. SECOND FLOOR WALKWAY LIGHTING PLAN
18. SECOND FLOOR LIGHT FIXTURE SPECIFICATIONS
19. SECOND FLOOR LIGHT FIXTURE SPECIFICATIONS
20. LOWER FLOORS WALKWAY LIGHTING PLAN
21. LOWER FLOORS LIGHT FIXTURE SPECIFICATIONS
22. LOWER FLOORS LIGHT FIXTURE SPECIFICATIONS
23. RENDERING
24. RENDERING
25. MATERIAL BOARD

## NARRATIVE

This project is adding a hydraulic Limited Use/ Limited Application elevator to an existing two-story hotel building at 22 Harbourside Lane in Disney's Hilton Head Island Resort. Along with the addition of a new elevator, there will be a new exterior walkway at both floor levels, as well as minor planting and hardscape modifications.

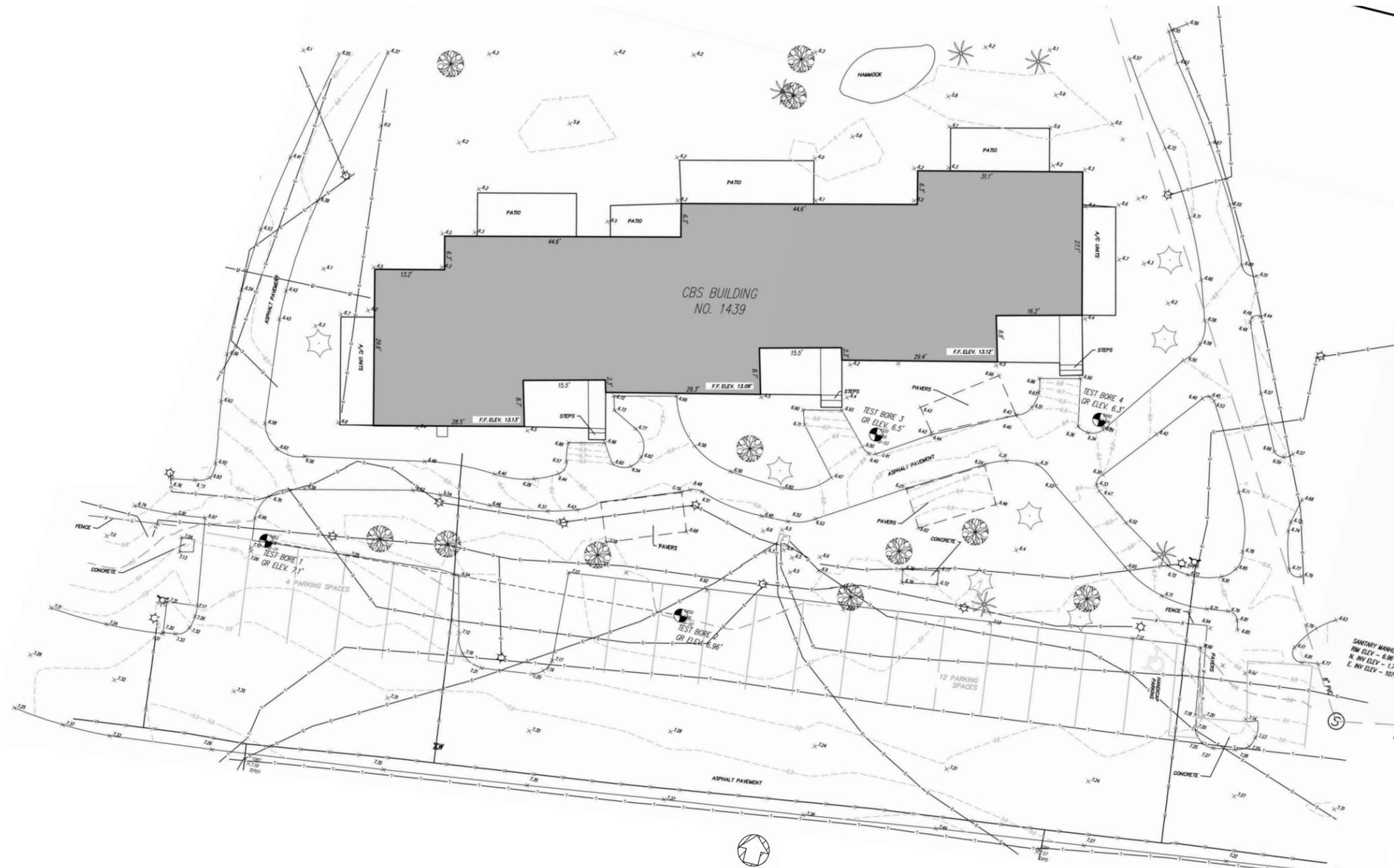
The architecture is designed to match the existing Hilton Head Island Resort main guestroom buildings, and to keep with the "Island Character" outlined by the Town of Hilton Head. The elevator shaft will be constructed using masonry construction, and will feature the same wood plank siding that is located on the existing main guestroom buildings. The shaft will be topped by a high-slope pitched roof to match the existing roof slope and roof type. The new exterior walkways that will link the elevator with the existing guestrooms will depict a similar language to the existing exterior stairways found on all guestroom buildings. The use of wood timber posts, bracing, and wood plank decking all blend seamlessly with the architecture exuded from the original design and campus. Lastly, all exterior paint colors are intended to match the existing color scheme of Building 28.



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION





LEGEND			
12+00	13+00	TRAVERSE LINE, CENTER LINE OR BASELINE	WETLAND MARKER
---	---	RIGHT OF WAY LINE	TREE
---	---	PROPERTY LINE	ROADWAY SIGNS
---	---	EDGE OF PAVEMENT	TRAFFIC FLOW
---	---	FACE	MALIBOX
---	---	BACK	TRAFFIC SIGNAL POLE
---	---	D.C. DEPRESSED CURB	POLE MOUNTED LIGHT
---	---	CHAIN FENCE	UTILITY POLE
---	---	WETLAND LINE	GUY WIRE
---	---	MUNICIPAL BOUNDARY	TRANSFORMER
---	---	TREELINE	FIRE DEPT. CONNECTION
---	---	ELECTRICAL MANHOLE	FIRE HYDRANT
---	---	WATER MANHOLE	WATER VALVE
---	---	TELEPHONE MANHOLE	GAS VALVE
---	---	UNMARKED MANHOLE	SANITARY CLEANOUT
---	---	SANITARY MANHOLE	CONCRETE MONUMENT
---	---	DRAINAGE MANHOLE	CAPPED REBAR/IRON PIPE
---	---	MAJOR CONTOUR	STORM INLET TYPE 'A'
---	---	MINOR CONTOUR	STORM INLET TYPE 'B'
×	×	SPOT ELEVATION	STM. DBL. INLET TYPE 'B'
×	×	TOP OF CURB ELEV.	STORM INLET TYPE 'E'
×	×	BOTTOM OF CURB ELEV.	STM. DBL. INLET TYPE 'E'
---	---	U/G CABLE TV LINE	FLARED END SECTION
---	---	U/G FIBER OPTIC LINE	HEADWALL
---	---	U/G TELEPHONE LINE	BACK OF CURB ELEV
---	---	U/G ELECTRIC LINE	EDGE OF PAVEMENT ELEV
---	---	OVERHEAD WIRE	
---	---	WATER MAIN	
---	---	GAS MAIN	
---	---	SAN. SEWER LATERAL	
---	---	SAN. SEWER MAIN	
---	---	STORM PIPE	

ABBREVIATIONS					
D.C.	DEPRESSED CURB	GE	GENERATOR	EBH	ELECTRIC BOX
E.P.	EDGE OF PAVEMENT	FF	FINISH FLOOR	M.H.	MEAN HIGH
ELEV.	ELEVATION	UV	UNKNOWN VALVE	W.L.	WATERLINE
BOL.	BOLLARD	M.H.	MANHOLE	M.L.	MEAN LOW
GR.	GRATE	DEP.	DEPRESSED	W.L.	WATERLINE
CONC.	CONCRETE	CL	CENTRALLINE	T.W.	TOP OF WALL
MB	MALIBOX	PM	PARKING METER	BTM	BOTTOM WALL

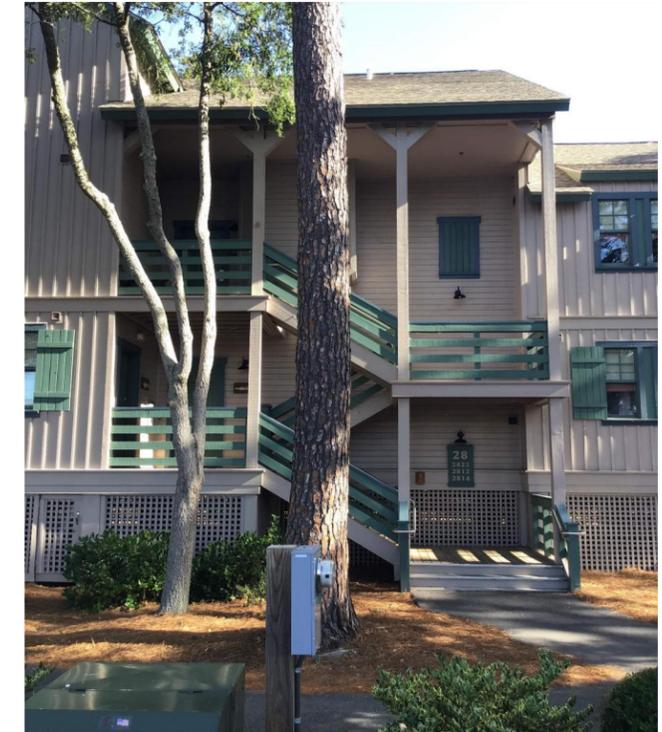
# EXISTING SURVEY SITE PLAN



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION



- ### SURVEY NOTES
- THIS PLAN IS MADE FOR AND CERTIFIED TO THE PARTIES NAMED HEREON FOR THE PURPOSE(S) STATED. NO OTHER PURPOSE IS INTENDED NOR IMPLIED. THE UNDERSIGNED PROFESSIONAL IS NEITHER RESPONSIBLE NOR LIABLE FOR THE USE OF THIS PLAN BEYOND ITS INTENDED PURPOSE.
  - THE PURPOSE OF THIS SURVEY IS TO SHOW AS-BUILT CONDITIONS OF THE SURVEY AREA.
  - THIS TOPOGRAPHIC SURVEY MEETS 1' CONTOUR REQUIREMENTS BUT IS DISPLAYED AT 0.1' OVER IMPERVIOUS AREAS PER CLIENT REQUEST.



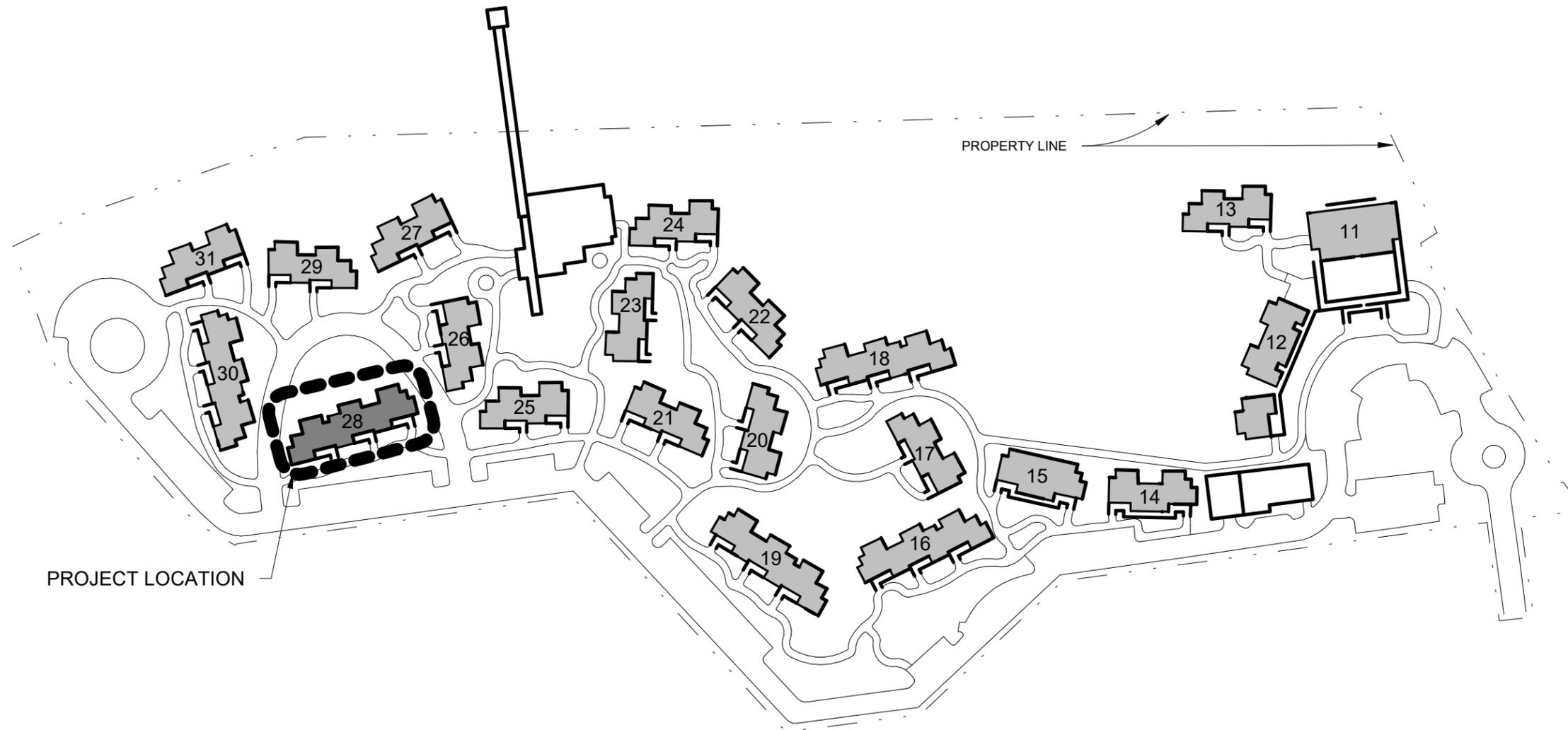
EXISTING PHOTOS



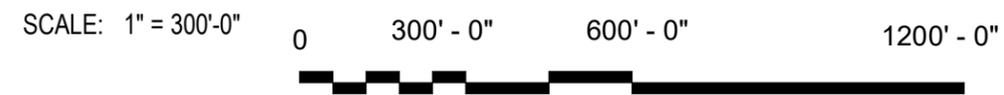
## DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION





# OVERALL SITE PLAN



DISNEY'S HILTON HEAD ISLAND RESORT  
 BUILDING 28 ELEVATOR ADDITION



EXISTING HARDSCAPE, TO BE DEMOLISHED, INCLUDING SUB-BASE.

EXISTING LANDSCAPE, TO BE REMOVED, INCLUDING STUMPS AND MAJOR ROOTS >1" DIAM.

EXISTING LANDSCAPE, TO BE REMOVED, INCLUDING STUMPS AND MAJOR ROOTS >1" DIAM.

EXISTING HARDSCAPE, TO BE DEMOLISHED, INCLUDING SUB-BASE.

EXISTING POST - MOUNTED WALKWAY LIGHT FIXTURE TO REMAIN, TYP.

EXISTING LANDSCAPE, TO BE REMOVED, INCLUDING STUMPS AND MAJOR ROOTS >1" DIAM.

EXISTING TREES AND LANDSCAPE, TO BE PROTECTED AND PRESERVED.

EXISTING 13" DBH OAK TREE TO BE REMOVED, INCLUDING ROOT BALL AND MAJOR ROOTS.

EXISTING TREES AND LANDSCAPE, TO BE PROTECTED AND PRESERVED.

EXISTING HARDSCAPE, TO BE DEMOLISHED, INCLUDING SUB-BASE.

EXISTING LIGHTPOST TO REMAIN, TYP.

DEMOLITION LEGEND

	EXISTING HARDSCAPE
	EXISTING LANDSCAPE
	HARDSCAPE DEMOLITION
	LANDSCAPE DEMOLITION

# DEMOLITION SITE PLAN

SCALE: 1/16" = 1'-0" 0 16' - 0" 32' - 0" 64' - 0"

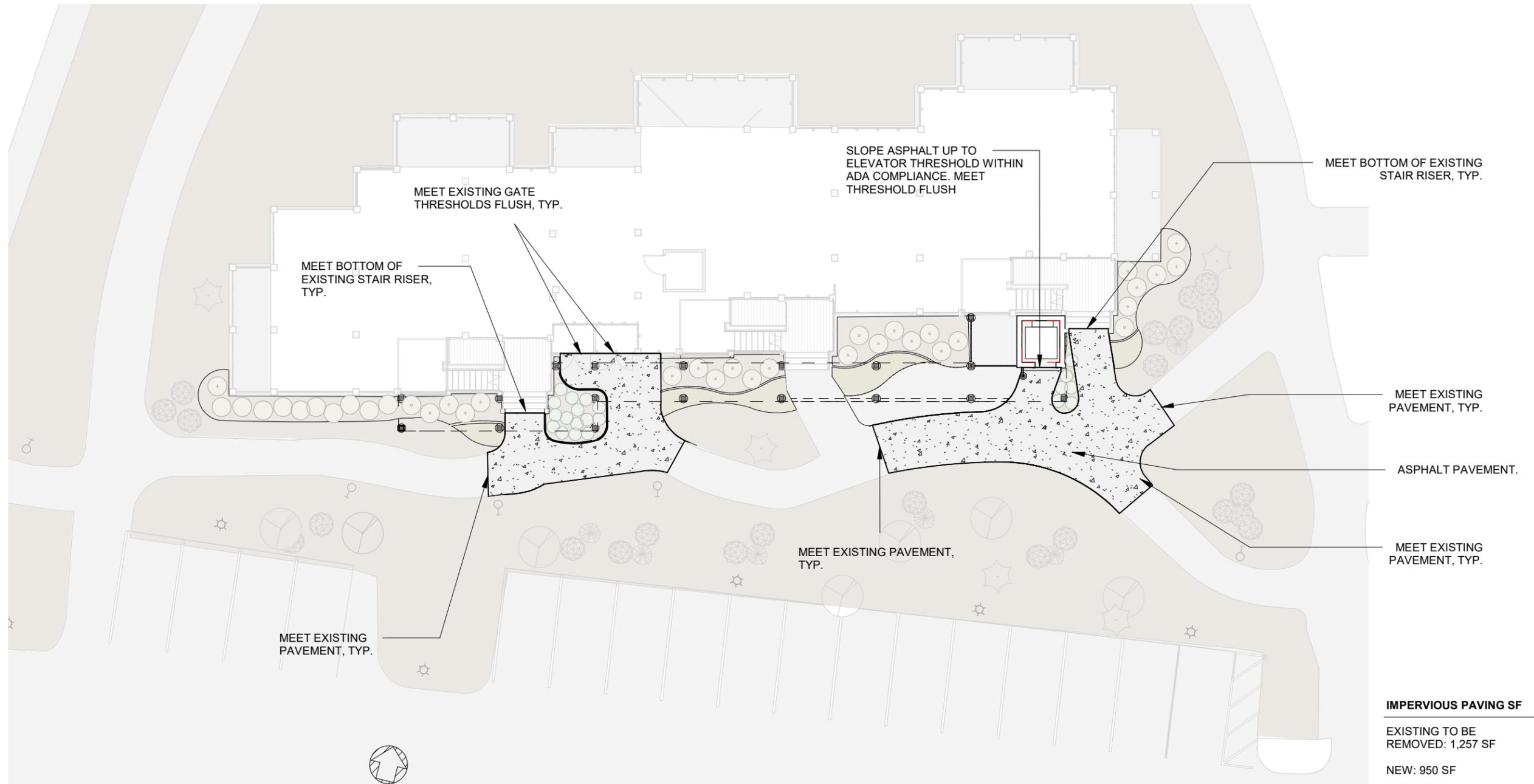


## DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT DESIGNED FOR





# NEW SITE PLAN

SCALE: 1/16" = 1'-0" 0 16' - 0" 32' - 0" 64' - 0"



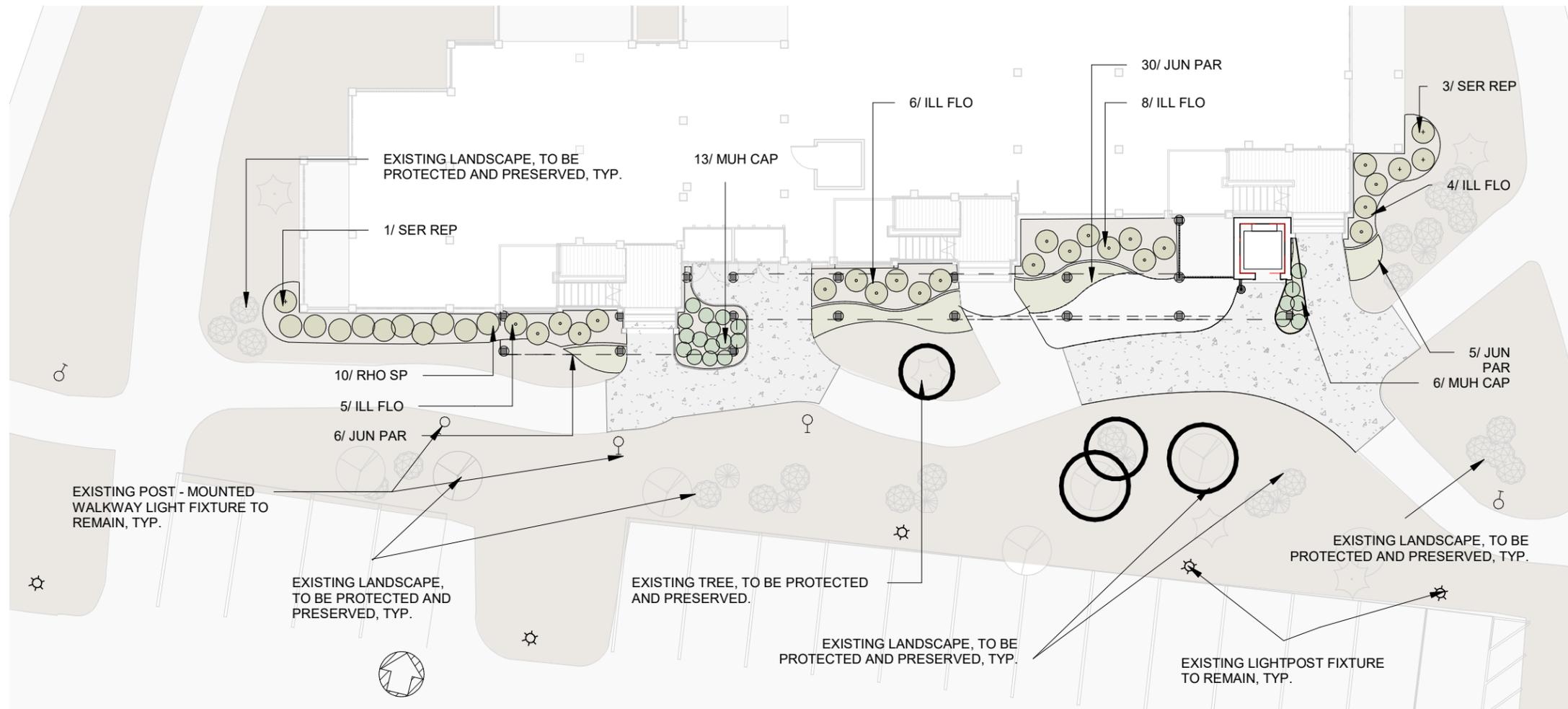
IMPERVIOUS PAVING SF	
EXISTING TO BE REMOVED:	1,257 SF
NEW:	950 SF
NET REDUCTION 307 SF	



## DISNEY'S HILTON HEAD ISLAND RESORT

### BUILDING 28 ELEVATOR ADDITION





# LANDSCAPE AND LIGHTING PLAN

SCALE: 1/16" = 1'-0"      0      16' - 0"      32' - 0"      64' - 0"



**NOTES:**

- MARK TREES TO BE PROTECTED AND PRESERVED WITH A BLUE RIBBON PER REQUIREMENTS.
- NO SPECIMEN OR SIGNIFICANT TREES ARE TO BE IMPACTED FOR PROJECT.
- COORDINATE HEAD - TO - HEAD IRRIGATION COVERAGE WITH CONTRACTOR.

## PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SPEC/ SPACING	NATIVE	DROUGHT TOLERANT
4	SER REP	<i>Serenoa repens</i> 'Cinerea'	Silver Saw Palmetto	7 al., 2' x 2', full to the ground, see plan for location.	*	*
10	RHO SP	<i>Rhododendron</i> 'Azalea Formosa'	Formosa Azalea	3 gal., 18"- 24" x 18" - 24", full, 36" o.c.		*
24	ILL FLO	<i>Illicium floridanum</i>	Star Anise	7 gal., 2.5-3' ht x 1.5-2' w, full to the ground, 36" o.c.	*	*
41	JUN PAR	<i>Juniperus chinensis</i> 'Parsonii'	Parson's Juniper	3 gal., 18" ht x 18" o.c., 24" o.c.		*



FORMOSA AZALEA  
*RHODODENDRON* 'AZALEA FORMOSA'



PARSON'S JUNIPER  
*JUNIPERUS CHINENSIS* 'PARSONII'



PINK MUHLY GRASS  
*MUHLENBERGIA CAPILLARIS*



SILVER SAW PALMETTO  
*SERENOA REPENS* 'CINEREA'



STAR ANISE  
*ILlicium FLORIDANUM*



EXISTING LIGHT POST



EXISTING POST - MOUNTED WALKWAY LIGHT

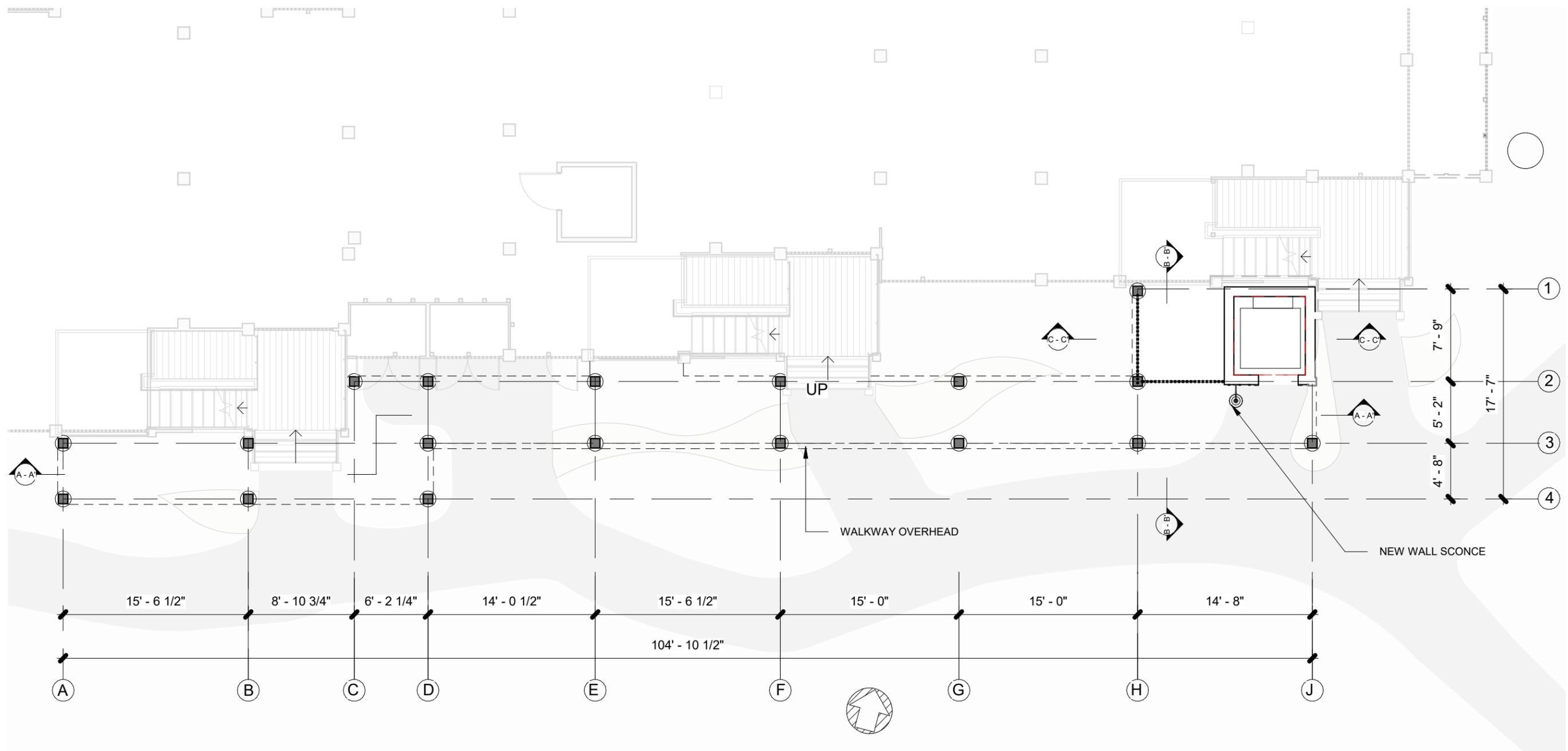


## DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT DESIGNED FOR





# NEW CONSTRUCTION GROUND FLOOR PLAN

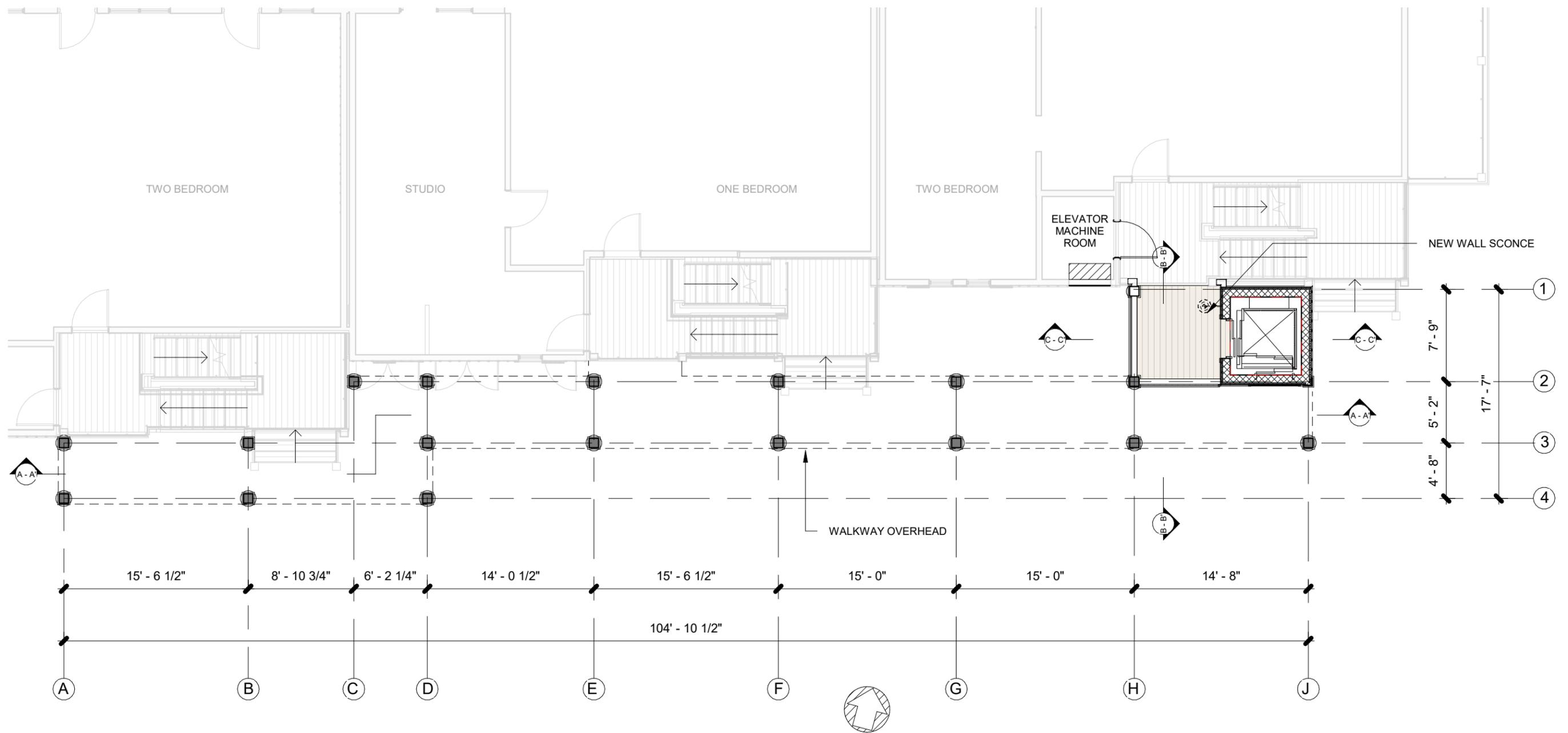
SCALE: 1/8" = 1'-0"    0    8' - 0"    16' - 0"    32' - 0"



DISNEY'S HILTON HEAD ISLAND RESORT

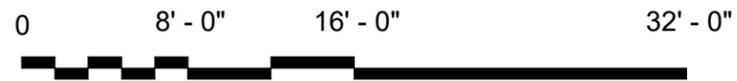
BUILDING 28 ELEVATOR ADDITION





# NEW CONSTRUCTION FIRST FLOOR PLAN

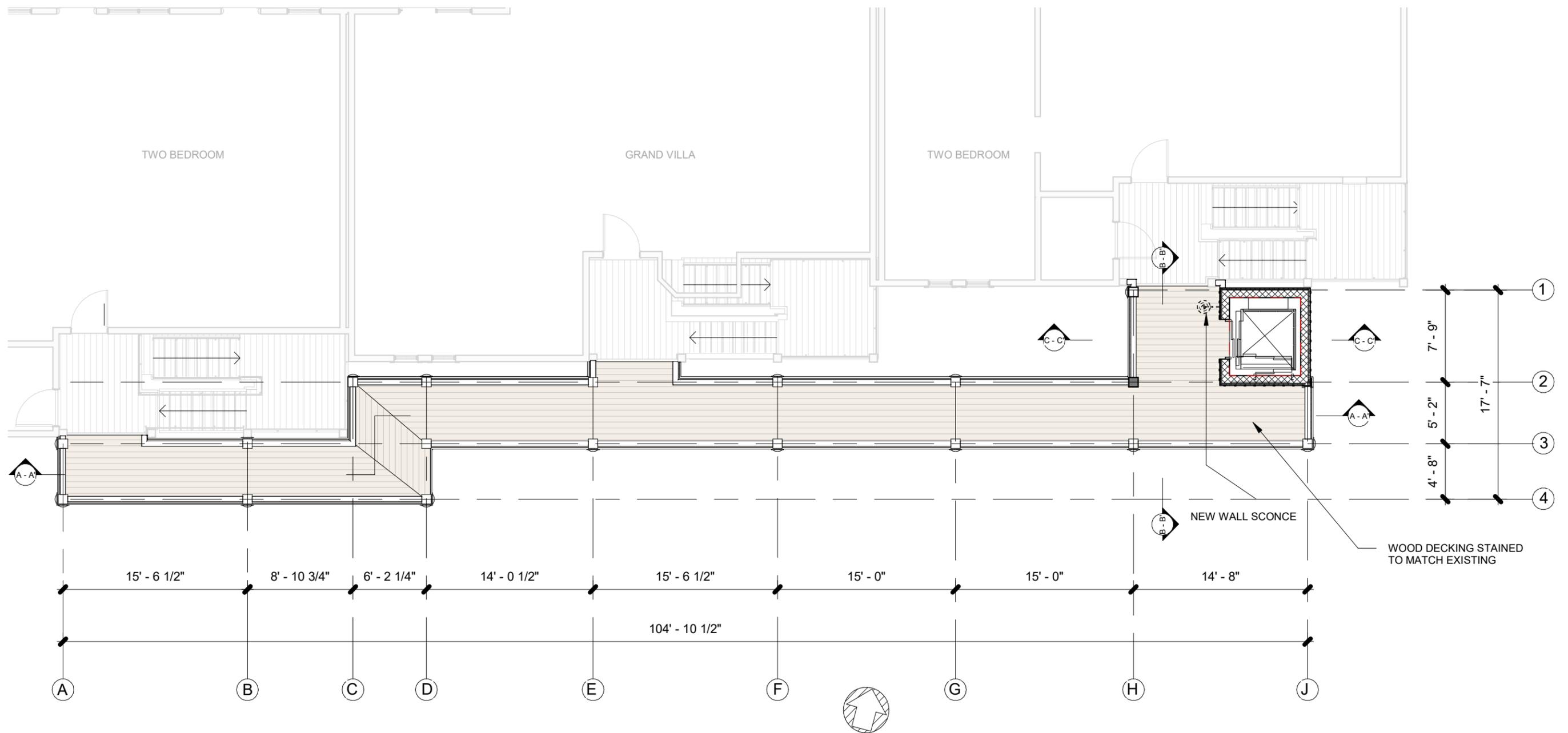
SCALE: 1/8" = 1'-0" ELEVATION + 6' - 10" ABOVE GROUND



DISNEY'S HILTON HEAD ISLAND RESORT

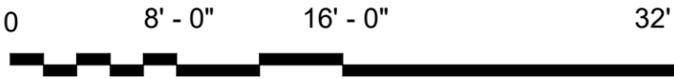
BUILDING 28 ELEVATOR ADDITION





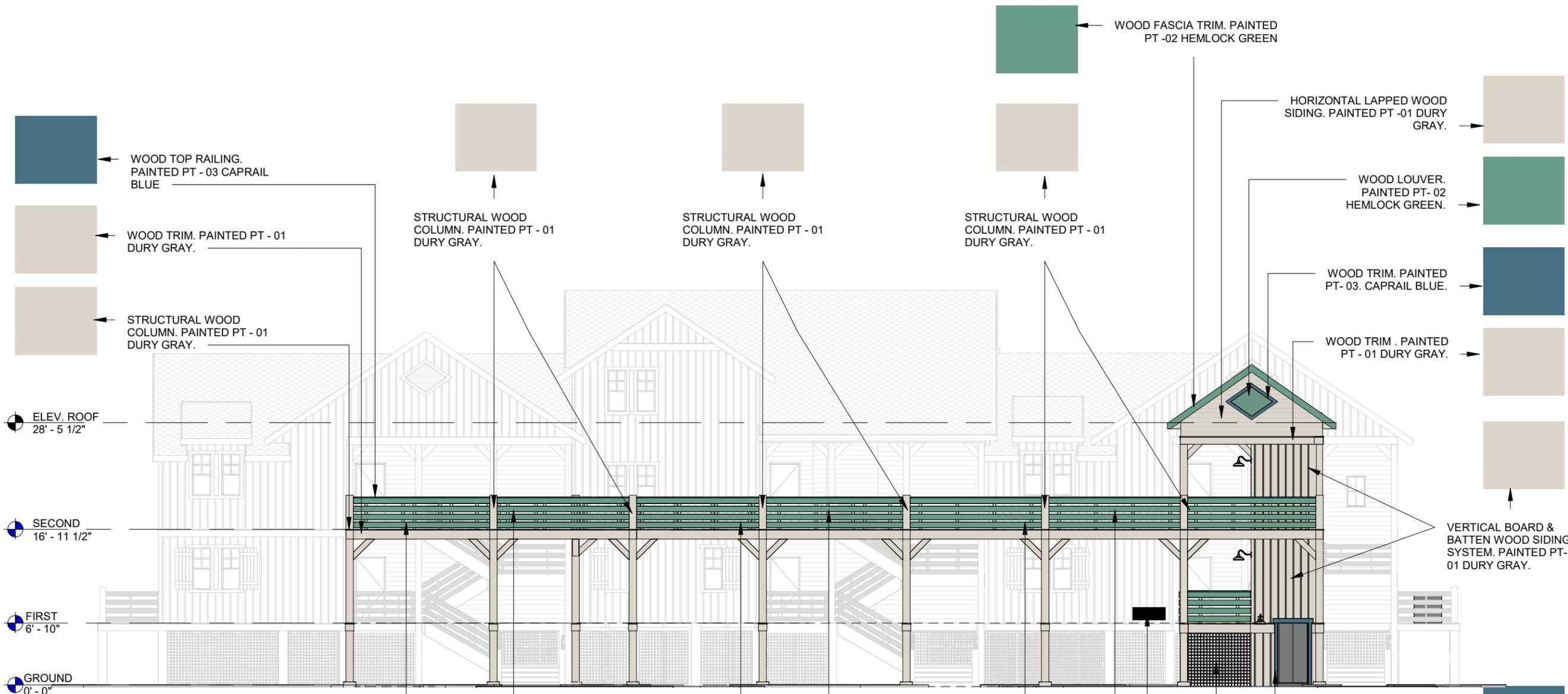
# NEW CONSTRUCTION SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0" ELEVATION + 16' - 11 1/2" ABOVE GROUND

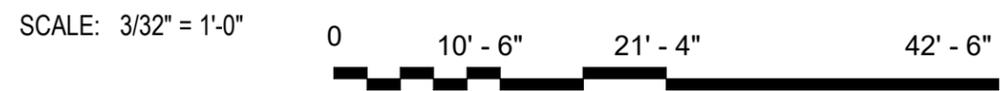


DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION



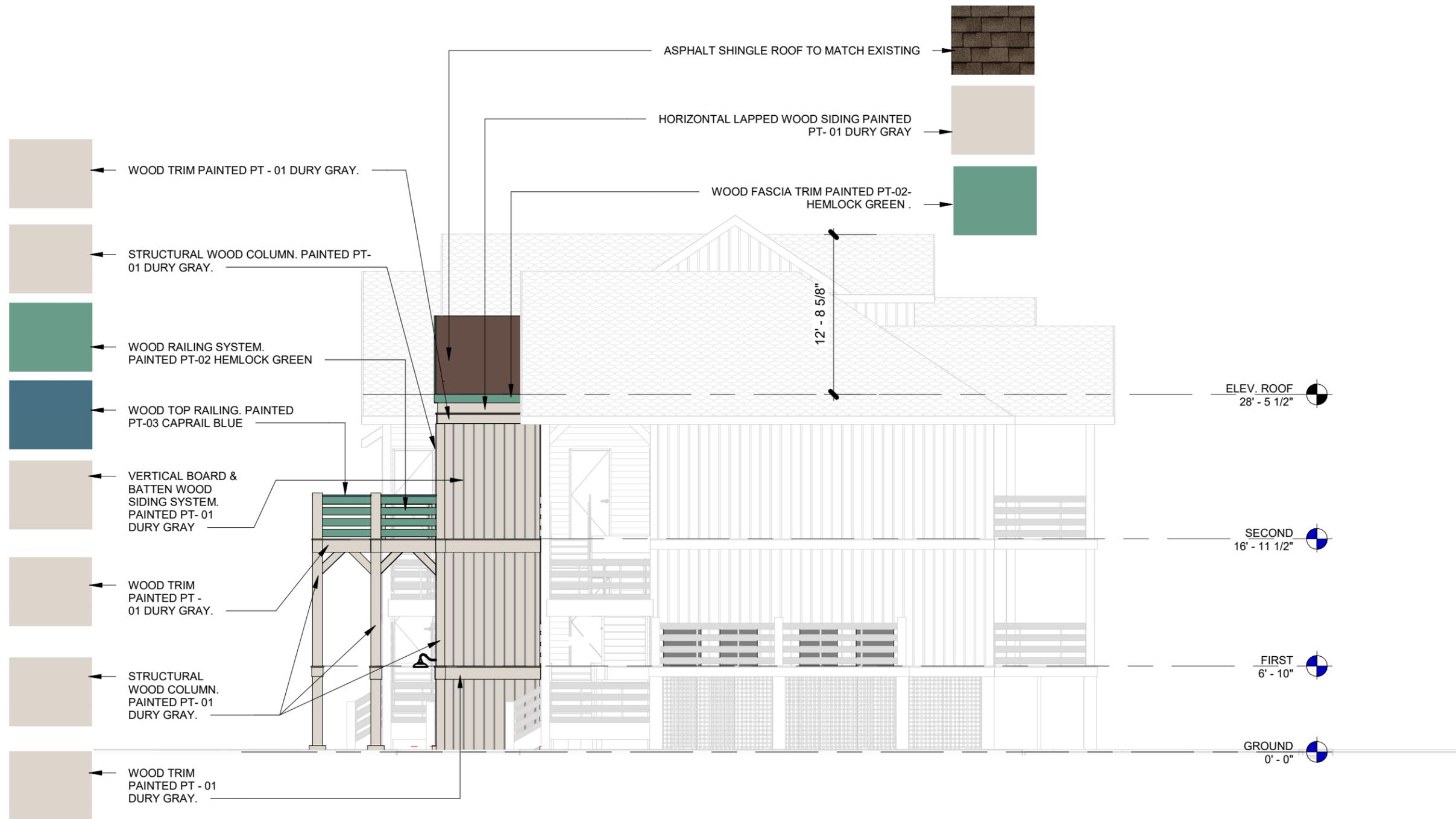


# EXTERIOR ELEVATION - SOUTH

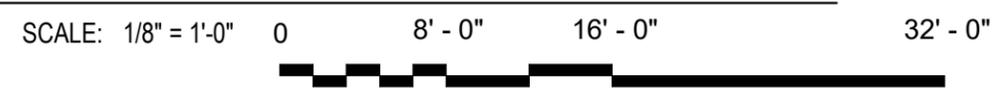


DISNEY'S HILTON HEAD ISLAND RESORT  
 BUILDING 28 ELEVATOR ADDITION





# EXTERIOR ELEVATION - EAST

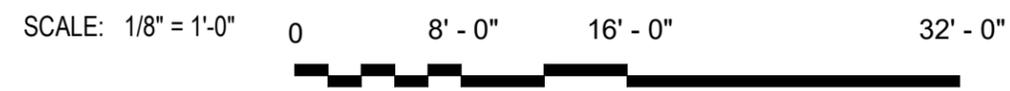


DISNEY'S HILTON HEAD ISLAND RESORT  
 BUILDING 28 ELEVATOR ADDITION



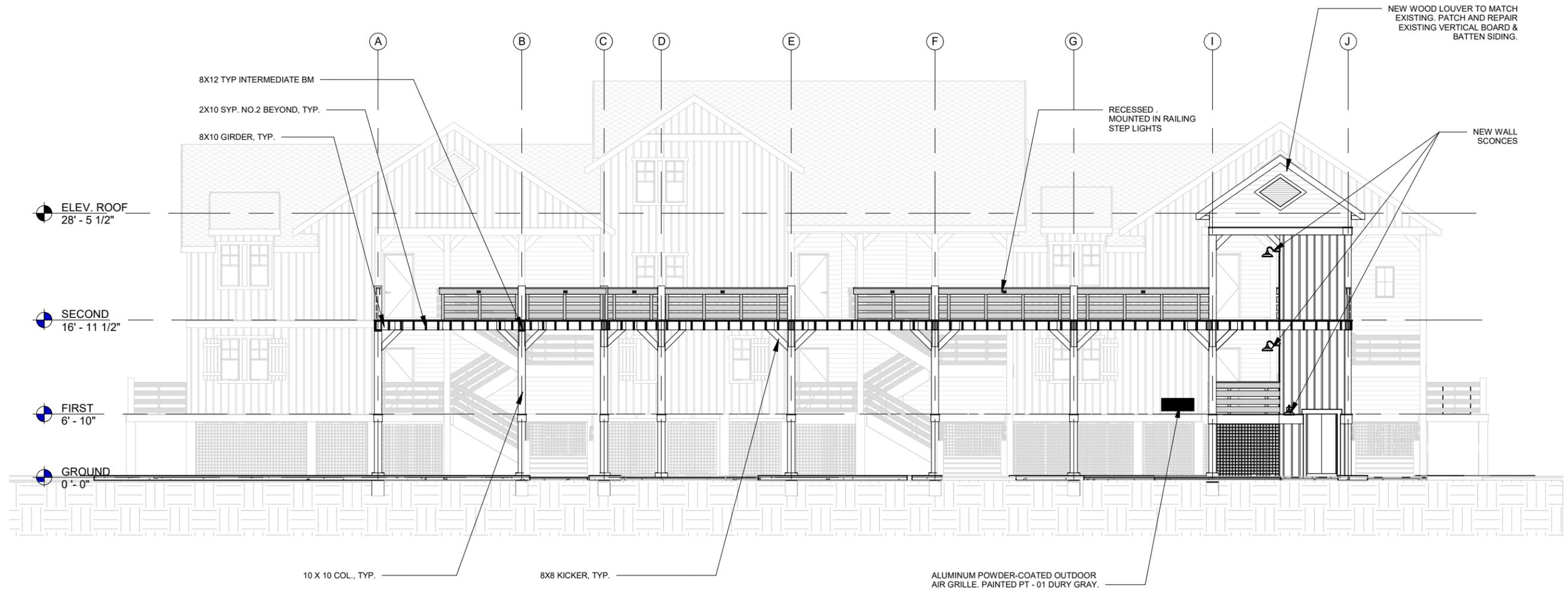


# EXTERIOR ELEVATION - WEST



DISNEY'S HILTON HEAD ISLAND RESORT  
 BUILDING 28 ELEVATOR ADDITION



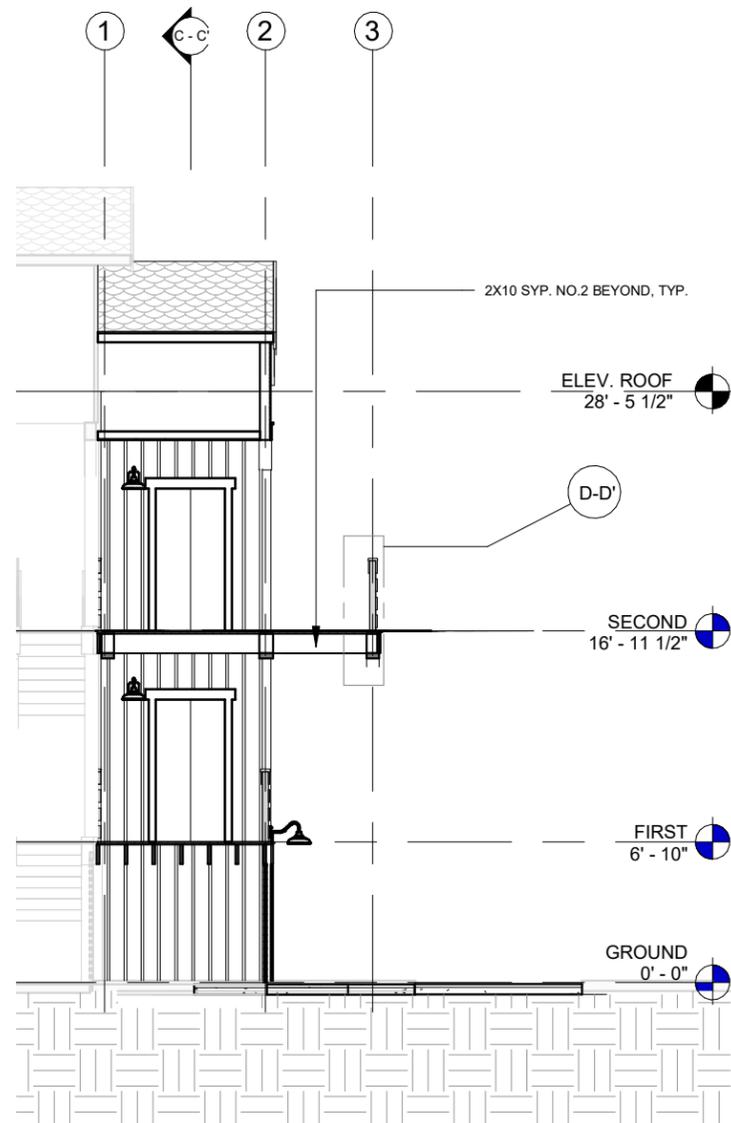


# BUILDING SECTION A - A'



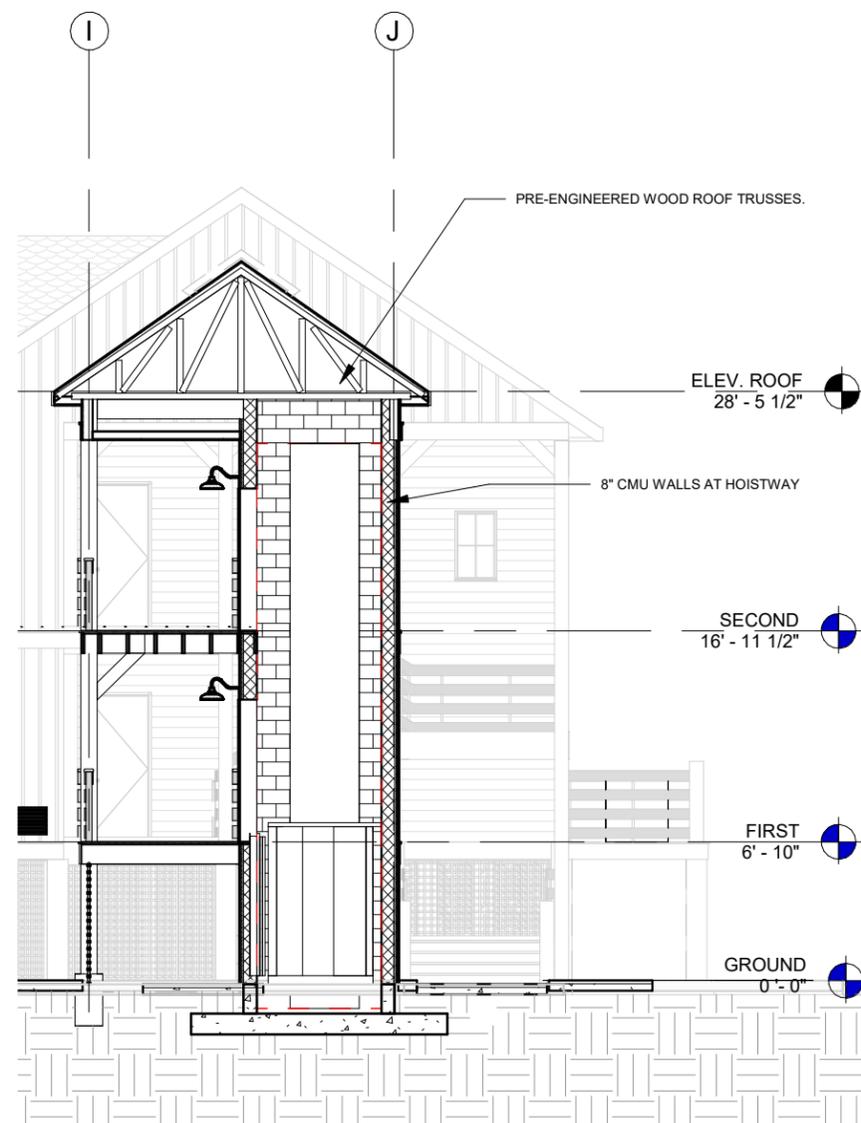
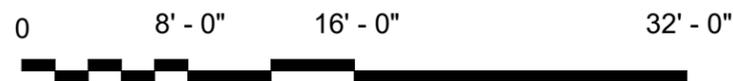
DISNEY'S HILTON HEAD ISLAND RESORT  
 BUILDING 28 ELEVATOR ADDITION





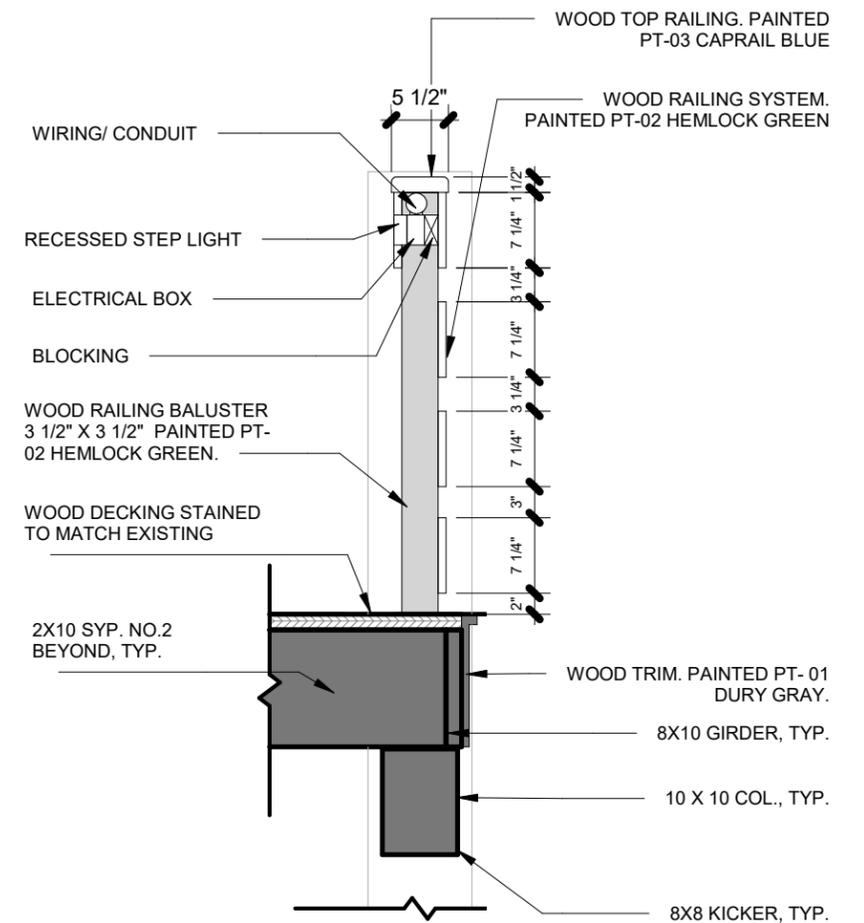
### BUILDING SECTION B - B'

SCALE: 1/8" = 1'-0"



### BUILDING SECTION C - C'

SCALE: 1/8" = 1'-0"



### SECTION DETAIL D - D'

SCALE: 3/4" = 1'-0"



DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION



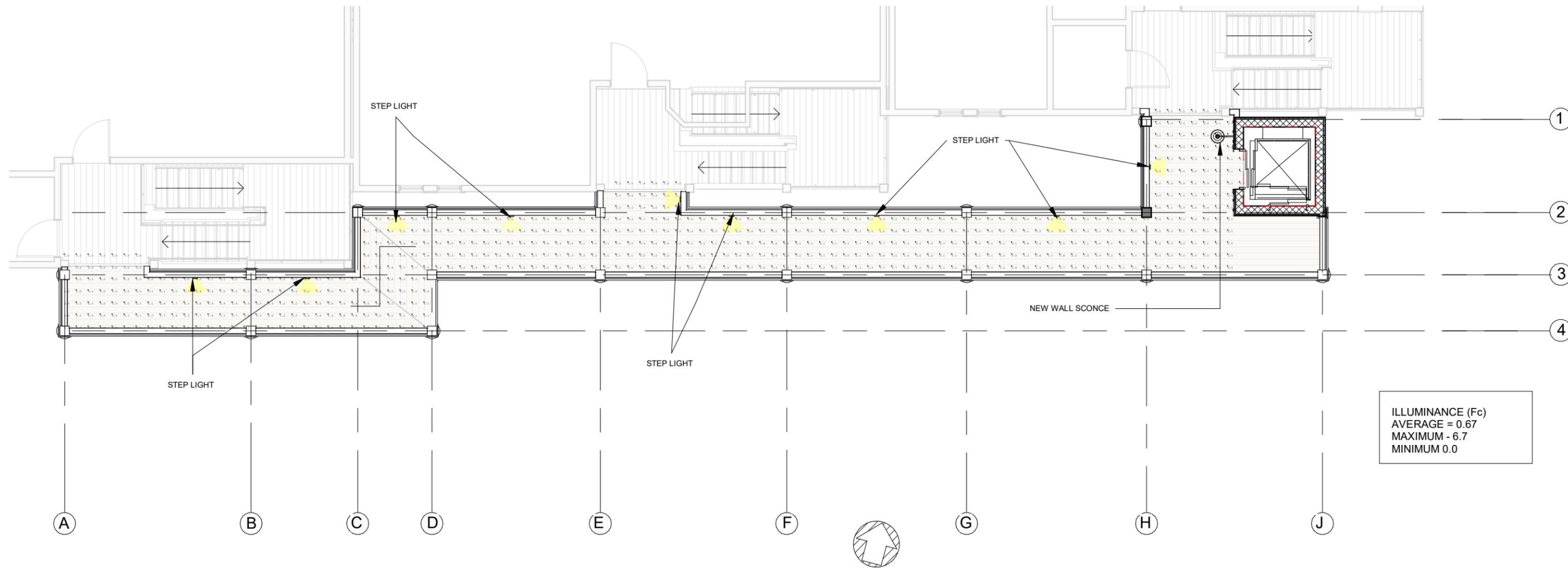


RECESSED MOUNTED STEP LIGHTS



WALL-MOUNTED LIGHT SCONCES TO MATCH EXISTING EXTERIOR FIXTURE

NOTE: ALL NEW LED LAMPS TO BE 3000K COLOR TEMPERATURE.



# SECOND FLOOR WALKWAY LIGHTING PLAN - STEP LIGHTS

SCALE: 1/8" = 1'-0" 0 8' - 0" 16' - 0" 32' - 0"



## DISNEY'S HILTON HEAD ISLAND RESORT

### BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR



A Disney Vacation Club Resort



## FCSL1000 Series

Date: \_\_\_\_\_ Approved: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Fixture: \_\_\_\_\_  
 Project: \_\_\_\_\_

FCSL1000 Series ADA certified, direct AC, die-cast step light for installation in standard, single-gang j-box for interior or exterior applications. ELV dimming included.

120V ONLY



### SPECIFICATIONS

#### PHYSICAL

dimensions	Fixture 3.1" W x 4.9" H x depth from surface: FC SL1011 .9" D   FC SL1012 or FC SL1013 .6" D   <b>FC SL1014 or FC SL1015 .3" D</b>
weight	0.4 lbs
housing	Marine grade, corrosion resistant, heavy walled, die-cast aluminum
lens	White glass lens
mounting	Mounts directly to single-gang J-Box with minimum inside dimension, 4"H X 2"W X 1.75"D, Mount Vertical (std) or in Horizontal Position (HP)
ingress protection	IP65 : dry, damp or wet locations with neoprene gasket
faceplate finish	Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.

#### PERFORMANCE

color temperature	2700K   <b>3000K</b>   3500K   4000K
lumen output	models: FC SL1011 35 lm   FC SL1012 10 lm   FC SL1013 15 lm   FC SL1014 50 lm   <b>FC SL1015 76 lm</b>
lifetime	> 70,000 hours / L70 or better
color consistency	3 SDCM / 85 CRI
operating temperature	-13°F to 104°F (-25°C to 40°C)
warranty	5-Year limited warranty (refer to website for details)

#### ELECTRICAL

input voltage	120V AC only
power supply	integral Class II, electronic high-power factor > 94% @120V
standards	ETL / cETL
power consumption	3W (10~76 lm)
dimming	ELV dimming, 10% minimum (included)

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions. FCC Series Cylinder Lights are engineered and produced in our Illinois manufacturing facility.

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Specification Sheet

TG-JF-012022

## FCSL1000 Series



## Ordering Information

### PART NUMBER

#### ELV DIMMING INCLUDED

SERIES	VOLTAGE	CCT	CRI	LUMENS	FINISH	OPTIONS
FC SL1011	120V 120V only	27K 2700K white	CRI85 85 CRI	03L 35 lm FC SL1011 (3W)	BK Black	CL Clear Lens
FC SL1012		3K 3000K white		01L 10 lm FC SL1012 (3W)	BZ Bronze	BL Blue Lens
FC SL1013		35K 3500K white		02L 15 lm FC SL1013 (3W)	SL Silver	AL Amber Lens
FC SL1014		4K 4000K white		05L 50 lm FC SL1014 (3W)	WH White	AM Anti-Microbial Paint
FC SL1015				09L 76 lm FC SL1015 (3W)	CC Custom Color	HP Horizontal Position

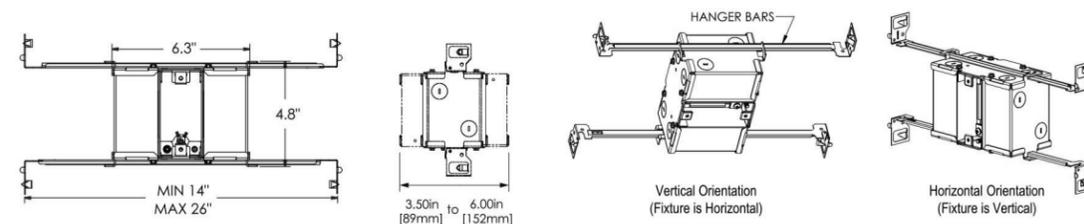
#### JUNCTION BOX OPTIONS

Indicate quantities on lines below.

- JBTW Junction Box Thru-Wall - Double-sided, adjustable junction box. Functions in both vertical and horizontal orientations. Requires compatible conduit adapters below\*
- JBC-3/8 3/8 Conduit Adapter - Sized for 3/8 trade size conduits and 0.44-0.61 OD Armored Cable (AC, MC), 3/8 knockout
- JBC-1/2 1/2 Conduit Adapter - Sized for 1/2 trade size conduits and 0.71-0.91 OD Armored Cable (AC, MC), 1/2 knockout

\*Conduit adapters sold separately. Please order JBC-3/8 or JBC-1/2 based on your conduit size needs. 2 pcs required for thru-wiring, 1 pc required for end of run

### JUNCTION BOX THRU-WALL (JBTW) DIMENSIONS - WORKS IN BOTH VERTICAL & HORIZONTAL ORIENTATIONS



#### Consult Factory for other options and configurations.

To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical requirements.

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Specification Sheet

TG-JF-012022



# DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR



A Disney Vacation Club Resort

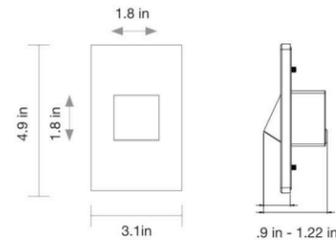
# Dimensions

## FCSL1000 Series



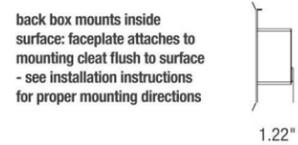
### PRODUCT DIMENSIONS - FCSL1011 (hood)

width x height	3.1" W x 4.9" H
surface depth FCSL1011	.9" D



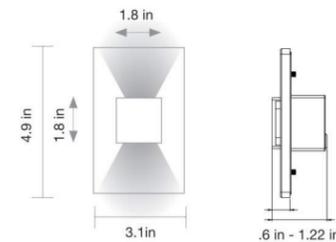
### MOUNTING - ALL MODELS *j-box sold by others*

width x height	1.8" W x 1.8" H
back box depth	.122" D



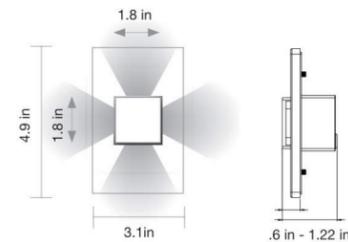
### PRODUCT DIMENSIONS - FCSL1012 (2 window indirect)

width x height	3.1" W x 4.9" H
surface depth FCSL1012	.6" D



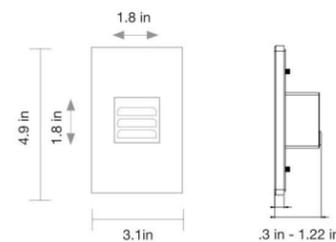
### PRODUCT DIMENSIONS - FCSL1013 (4 window indirect)

width x height	3.1" W x 4.9" H
surface depth FCSL1013	.6" D



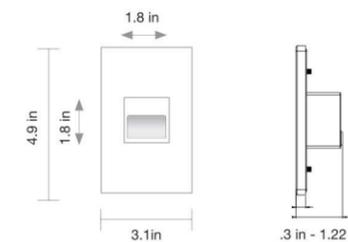
### PRODUCT DIMENSIONS - FCSL1014 (louvered)

width x height	3.1" W x 4.9" H
surface depth FCSL1014	.3" D



### PRODUCT DIMENSIONS - FCSL1015 (recessed cut-off)

width x height	3.1" W x 4.9" H
surface depth FCSL1015	.3" D



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Specification Sheet

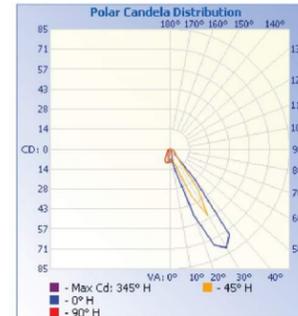
TG-JF-012022

# Photometry

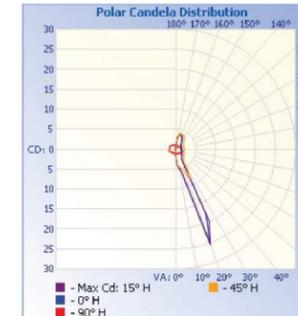
## FCSL1000 Series



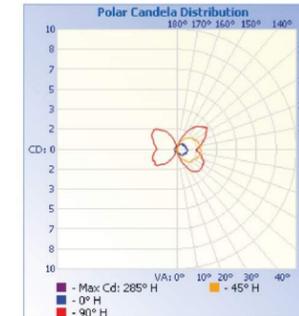
### FCSL1011 LED 4000K 35 lumens



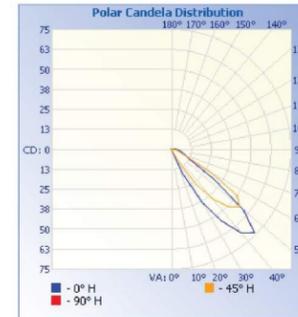
### FCSL1012 LED 4000K 10 lumens



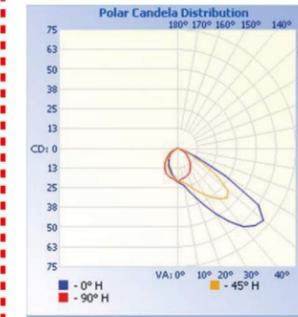
### FCSL1013 LED 4000K 15 lumens



### FCSL1014 LED 4000K 50 lumens



### FCSL1015 LED 4000K 76 lumens



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Specification Sheet

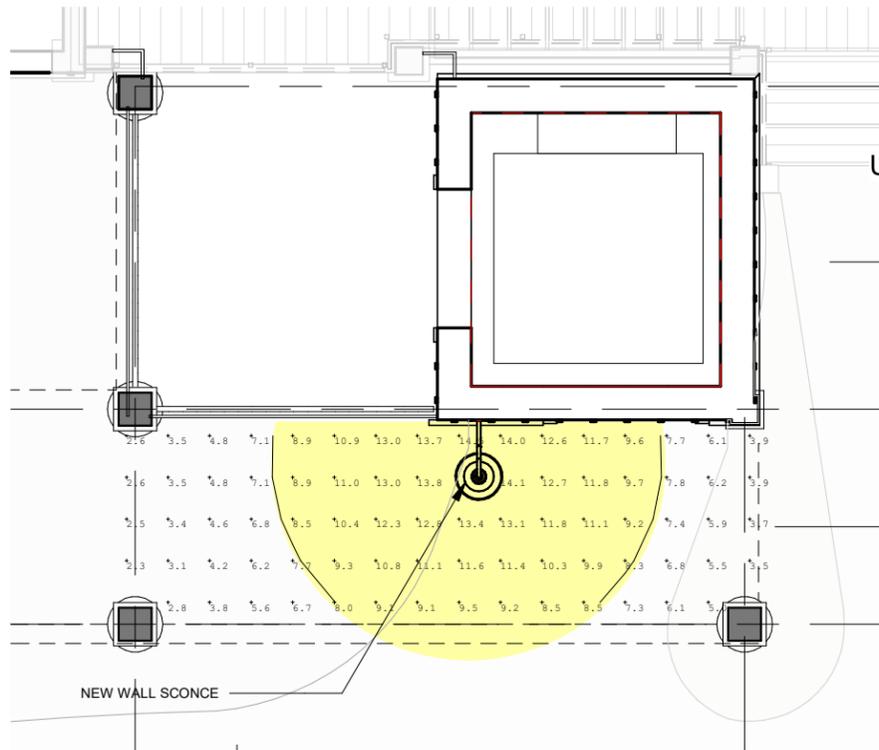
TG-JF-012022



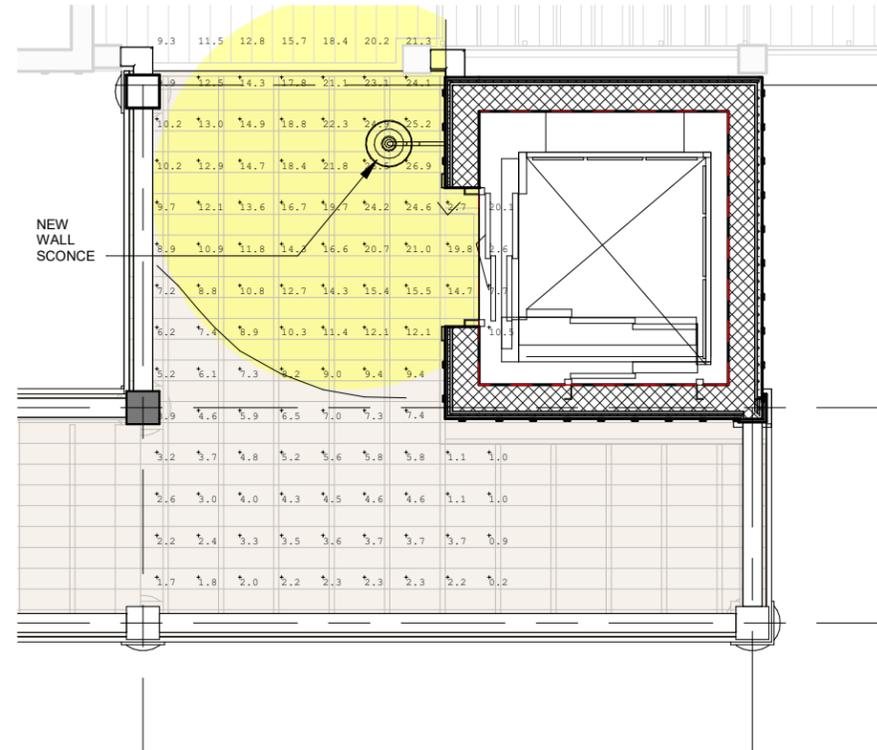
# DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION





GROUND FLOOR WALKWAY LIGHTING PLAN



FIRST AND SECOND FLOOR WALKWAY LIGHTING PLAN



WALL- MOUNTED LIGHT SCONCES TO MATCH EXISTING EXTERIOR FIXTURE

NOTE: ALL NEW LED LAMPS TO BE 3000K COLOR TEMPERATURE.

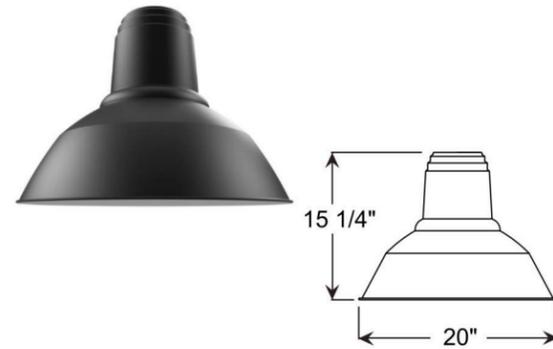


DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION

PROJECT  
DESIGNED  
FOR





**SBW20 LED**

Weight: 4 lbs

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**Specifications**

**Material:**  
 RLM shades are constructed of heavy duty spun aluminum. Wall back plate and driver housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

**Electrical:**  
 Universal voltage 120-277 is standard. 0-10V, TRIAC and ELV dimming to 1% protocols are standard for LED modules. (12w is 120v and TRIAC dimming only)

See page 2 table for LED module and driver specs, voltage and dimming protocols

**Certifications:**  
 Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

**Finish:**  
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**  
 Consult factory for custom or modified designs.



1	2	3	4	5	6	7	8
SBW20							UNV

**1 LIGHT SOURCE & WATTAGES**

M012LDN	(12w, 750 lumen, Cree module) Integral driver, 120V, TRIAC dimming & narrow distribution only.
M009LDD	(9w, 850 lumen, Cree module)
M010LDD	(10w, 1250 lumen, Cree module)
M016LDD	(16w, 2000 lumen, Cree module)
M024LDD	(24w, 3000 lumen, Cree module)
M037LDD	(37w, 4000 lumen, Cree module)

**2 DISTRIBUTION**

W	(T5 Wide Distribution with Dome LED Lens)
N	(T5 Narrow Distribution with Flat LED Lens)

\*12w is narrow only, select "N".

**3 COLOR TEMPERATURE (CCT)**

27K	(2700K)
30K	(3000K)
35K	(3500K)
40K	(4000K)

**4 DRIVER HOUSINGS\* (Driver Housing only Required with Color Cord and/or Emergency Backup Options)**

NA No selection is required if Color Cord or Emergency Backup are not chosen

**Color Cord Driver Housing Options Choose Color Cord Style in Box 5**

CRD-DCC (Driver Housing for Color Cord only; 7 3/4" x 1 1/2")

SSC-DCC (Driver Housing for SS Cable/Color Cord only; 7 3/4" x 1 1/2")

**Emergency Backup Driver Housing Options**

CRD-DCCEM-BLC (Emergency Ballast Housing for Black Cord only; 12" x 1 1/2")  
Choose NA in Box 5

CRD-DCCEM-WHC (Emergency Ballast Housing for White Cord only; 12" x 1 1/2")  
Choose NA in Box 5

CRD-DCCEM (Emergency Ballast Housing for Color Cord only; 12" x 1 1/2")  
Choose Color Cord Style in Box 5

ST-DCCEM (Emergency Ballast Housing for Stem only; 12" x 1 1/2")  
Choose Stem Size in Box 5

SSC-DCCEM-BLC (Stainless steel cable with 6-foot black cord and 12" canopy)  
Choose NA in Box 5

SSC-DCCEM-WHC (Stainless steel cable with 6-foot white cord and 12" canopy)  
Choose NA in Box 5

SSC-DCCEM (Emergency Ballast Housing for SS Cable/Color Cord only; 12" x 1 1/2")  
Choose Color Cord Style in Box 5

\*Driver Housing finish will match fixture finish.

**5 MOUNTING SOURCES\* (Arm and Wall mounts include mounting plate)**

Arm Mounts

E3 E4 E6 E8 E9 E10 E11 E12 E18 E25

Wall Mounts

WM54 WM74 WM317

Post Mounts

PM10 PM20 PM30 PM40 PM50 PM319

**5 MOUNTING SOURCES (Continued)\***

**Cable Mounts (See page 4 for color cord style)**

SSC-BLC-5W (Stainless steel cable with 6-foot black cord and 5 3/8" canopy)

SSC-WHC-5W (Stainless steel cable with 6-foot white cord and 5 3/8" canopy)

**Cord Mounts (See page 4 for color cord style)**

NA No Selection Required if:  
 CRD-DCCEM-BLC; CRD-DCCEM-WHC; SSC-DCCEM-BLC or SSC-DCCEM-WHC is chosen in Box 4.

**SJT Cord**

BLC-5W (6' Black 5-wire SJT Cord) | WHC-5W (6' White 5-wire SJT Cord)

**Solid Fabric Colored Cords Must Choose DCC Housing in Box 4**

BLSF (6' Black) | ORSF (6' Orange)  
 GYSF (6' Gray) | LGSF (6' Lime Green)  
 CHSF (6' Chocolate Brown) | KGSF (6' Kelly Green)  
 WHSF (6' White) | CBSF (6' Cobalt Blue)  
 CASF (6' Cardinal) | SBSF (6' Sky Blue)

**Patterned Fabric Colored Cords Must Choose DCC Housing in Box 4**

BWHPF (6' Black/White Houndstooth) | BIHPF (6' Brown/Ivory Houndstooth)  
 GYCPF (6' Gray/Citrus Yellow) | MOSPF (6' Magenta/Orange Stripe)

**Glossy Fabric Colored Cords Must Choose DCC Housing in Box 4**

GMGF (6' Gun Metal) | SSGF (6' Sterling Silver)  
 CPGF (6' Copper Penny) | BRGF (6' Bronze)  
 GOGF (6' Gold)

**Stem Mounts (Includes STC Flat Canopy)**

1/2" (13/16" OD) Rigid Stems	3/4" (1" OD) Rigid Stems
2ST6 2ST12 2ST18	3ST6 3ST12 3ST18
2ST24 2ST36 2ST48	3ST24 3ST36 3ST48
2ST60 2ST72 2ST96	3ST60 3ST72 3ST96

\*Arm mount, Wall mount or Stem finish will match fixture finish.

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**6 ACCESSORIES\*\***

CBC (Cast back plate Spun Alum Cover)\*\*

\*EMG-LED06 (6w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED)  
**MUST CHOOSE DCCEM CANOPY IN BOX 4.**

\*EMG-LED10 (10w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED)  
**MUST CHOOSE DCCEM CANOPY IN BOX 4.**

\*EMG-LED16 (16w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED)  
**MUST CHOOSE DCCEM CANOPY IN BOX 4.**

\*EMG-LED20 (20w, LED Emergency Driver, remote placement, Cree module only, Not applicable for 12w LED)  
**MUST CHOOSE DCCEM CANOPY IN BOX 4.**

GR20 (20" Wire Grill)

SC (Scroll for Arms)\*\*

SLC (Sloped Ceiling Mount, 20" Max)\*\*

SQ (Square Back Plate)\*\*

TBK (Turn Buckle Kit)\*\*

\*For Emergency lumen output data, see Resources section at www.ANPlighting.com.

\*\*Accessory finish will match fixture finish.

**7 FINISHES**  
 \*Marine Grade Finish has an additional charge

Standard Colors	Standard Grade	Marine Grade*	Premium Colors		Marine Grade*
Aspen Green	10	10M	High Gloss Black	01	01M
Cantaloupe	11	11M	Arctic Silver	14	14M
Lilac	12	12M	Candy Apple Red	64	64M
Puffy	13	13M	Cobalt Blue	65	65M
Raw Unfinished	40	NA	Caramel	66	66M
Black	41	41M	Butterscotch	67	67M
Forest Green	42	42M	Black Silver	68	68M
Bright Red	43	43M	Gunmetal Gray	69	69M
White	44	44M	Mayan Gold	79	NA
Bright Blue	45	45M	Textured Desert Stone	80	80M
Sunny Yellow	46	46M	Extreme Chrome	81	81M
Aqua Green	47	47M	Graystone	82	82M
Galvanized	49	NA	Oil Rubbed Bronze	83	83M
Navy	50	50M	Carbon Graphite	96	96M
Architectural Bronze	51	51M			
Patina Verde	52	52M			
Copper Clay	53	53M			
Silver	56	56M			
Black Verde	61	61M			
Painted Chrome	70	70M			
Painted Copper	71	71M			
Textured Black	72	72M			
Matte Black	73	73M			
Textured Architectural	76	76M			
Textured White	77	77M			
Textured Silver	78	78M			

Consult Factory for additional paint charges and availability.

**8 VOLTAGE**

UNV (120-277)

**LED MODULE SPECIFICATIONS**

LED Wattage	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
9W	2700K	850	11W	97
	3000K	850	11W	97
	4000K	850	11W	97
10W	2700K	1250	12W	125
	3000K	1250	12W	125
	4000K	1250	12W	125
12W	2700K	750	12W	65
	3000K	750	12W	65
	4000K	750	12W	65
16W	2700K	2000	19W	125
	3000K	2000	19W	125
	4000K	2000	19W	125
24W	2700K	3000	29W	125
	3000K	3000	29W	125
	4000K	3000	29W	125
37W	2700K	4000	43W	108
	3000K	4000	43W	108
	4000K	4000	43W	108

**MODULE SPECIFICATION:**

- Efficacy 65-125 lumens per watt
- Life: L70 50,000 hours
- Color temp: 2700K, 3000K, 3500K and 4000K
- CRI: >90

**MODULE DRIVER SPECIFICATION:**

- Input Voltage: 120-277 Volts; 50/60Hz
- Dimmable down to 1%
- 0-10V, TRIAC and ELV dimming protocols are standard. (12w is 120v and TRIAC dimming only)
- Output Current: Constant Current; 440mA to 940mA (model dependent)
- Driver Efficiency > 80%; Power Factor > 0.9
- Integral Surge Protection in conformance to ANSI C62.41 Category A.

**MODULE LISTINGS**

- Fully compliant with the RoHS Directive
- Certifications: CE/UL

**WARRANTY**

See www.ANPlighting.com for complete fixture warranty.

LED warranty information

- 5 year limited warranty\*

\*Limited Warranty: A typical year is defined as 4380 hours of operation



DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION



Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**ARM MOUNTS** | Dimensions are Projection x Height | CB included with all arms | Arm will match fixture finish

 E3   35" x 11 7/8"	 E4   29" x 14"	 E6   29" x 9 1/4"	 E7   44 1/4" x 9 1/8"
 E8   32 1/4" x 12 1/2"	 E9   28" x 43 5/8"	 E10   55 1/4" x 18"	 E11   38 1/4" x 17 1/4"
 E12   40 3/8" x 2"	 E18   30 3/4" x 21 3/8"	 E25   26" x 5 1/4"	

**Driver Housings**

	CRD-DCC (7 3/4" x 1 1/2") Cord Only
	SSC-DCC (7 3/4" x 1 1/2") Cable/Cord Only
	ST-DCEM (12" x 1 1/2") Stem Only
	CRD-DCCEM (12" x 1 1/2") Cord Only
	SSC-DCCEM (12" x 1 1/2") Cable/Cord Only

**WALL MOUNTS** | Dimensions are Projection x Height | **POST MOUNTS** | Dimensions are Projection x Height

 WM54   23 3/8" x 18"	 WM74   22" x 26 1/2"	 PM10   14 1/2" x 25"	 PM20   30 1/8" x 25"
 WM317   15" x 12 3/4"		 PM30   21 5/8" x 28 7/8"	 PM40   43 3/8" x 28 7/8"
		 PM50   27" x 38"	 PM319   16 5/8" x 27 1/2"

**ACCESSORIES**

 EMG-LED	 GR20	 PC	 SLC
 SQ	 SWL	 TBK	 SC

© 2020 ANP Lighting. All rights reserved. These specifications are intended for general purposes only. ANP reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products. **1-800-548-3227**  
**ANPlighting.com**

08012019



**DISNEY'S HILTON HEAD ISLAND RESORT**  
 BUILDING 28 ELEVATOR ADDITION





DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





DISNEY'S HILTON HEAD ISLAND RESORT  
BUILDING 28 ELEVATOR ADDITION





NEW AGE OAK  
PLAM - 01: ELEVATOR WALLS



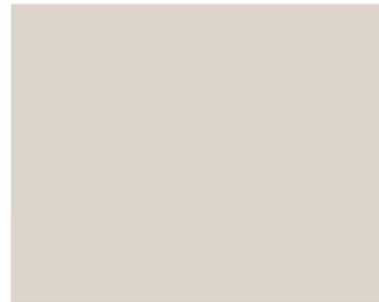
STAINLESS STEEL  
SS - 01: ELEVATOR DOORS AND TRIMS



ROOF ASPHALT SHINGLES TO  
MATCH EXISTING



WD - 01: PT WOOD DECKING STAINED  
TO MATCH EXISTING



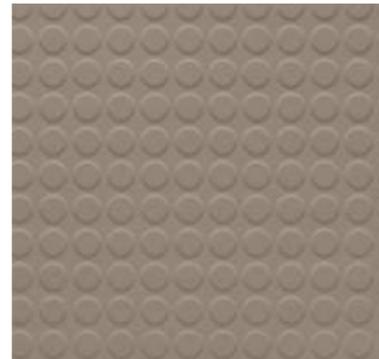
PT- 01 - DURY GRAY TO MATCH EXISTING  
LOCATION: PRIMARY WALLS



PT- 02 - HEMLOCK GREEN TO MATCH  
EXISTING. LOCATION: WOOD  
RAILING, SHUTTERS.



PT - 03 - CAPRAIL BLUE TO MATCH EXISTING.  
LOCATION: CAP RAILS/ OPENING TRIMS



45 SANDALWOOD  
RT- 01: RAISED ROUND RUBBER TILE  
FLOORING. LOCATION ELEVATOR.

FINISH SCHEDULE							
ITEM #	DESCRIPTION	MANUFACTURER	COLOR	PATTERN / STYLE / DIMENSION	CONTACT	OFCI / CFCI	NOTE
ASPH-01	ASPHALT PAVING	BY GC	TO MATCH EXISTING	N/A	N/A	CFCI	
EJ-01	ALUMINUM EXPANSION JOINT	CSI	ANODIZED ALUMINUM	GFS	N/A	CFCI	EXPANSION JOINT BETWEEN NEW WALKWAY & EXISTING ENTRY STAIR LANDINGS
PLAM-01	LAMINATE WALL COVERING - ELEVATOR WALLS	WILSONART	NEW AGE OAK	N/A	N/A	CFCI	
PT-01	PAINT - GRAY	PPG	DURY GRAY	N/A	N/A	CFCI	
PT-02	PAINT - GREEN	PPG	HEMLOCK GREEN	N/A	N/A	CFCI	
PT-03	PAINT - BLUE	PPG	CAPRAIL BLUE	N/A	N/A	CFCI	
RT-01	RUBBER TILE - ELEVATOR FLOOR	JOHNSONITE	45 SANDALWOOD	24" X 24" TILE; RAISED ROUND	N/A	CFCI	
SS-01	STAINLESS STEEL	GARAVENTA LIFT	N/A	N/A	N/A	CFCI	ELEVATOR DOORS & TRIM
WD-01	WOOD DECKING	BY GC	TO MATCH EXISTING	N/A	N/A	CFCI	



WALL- MOUNTED LIGHT SCONCES TO  
MATCH EXISTING EXTERIOR FIXTURE



ANODIZED ALUMINUM EXPANSION JOINT. LOCATION: ALL  
AREAS WHERE NEW WOOD DECKING MEETS EXISTING  
WOOD DECKING



RAILING POST- MOUNTED STEP  
LIGHTS



## DISNEY'S HILTON HEAD ISLAND RESORT

BUILDING 28 ELEVATOR ADDITION



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Disney's Building 28

DRB#: DRB-002287-2022

DATE: 09/16/22

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

### ***MISC COMMENTS/QUESTIONS***

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov) or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: NATE JONES Company: BROAD CREEK MARINA PROPERTIES LLC  
 Mailing Address: 18 SIMMONS RD City: HILTON HEAD State: SC Zip: 29926  
 Telephone: 843 368 2530 Fax: 843 689 9451 E-mail: NATE@BROADCREEKMARINAHH.COM  
 Project Name: MARINA HOUSING Project Address: 33 BROAD CREEK MARINA WAY  
 Parcel Number [PIN]: R 510 011 ~~0182A~~ 0000  
 Zoning District: WMU 000 Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

9/12/2022  
\_\_\_\_\_  
DATE

Broad Creek Marina Properties LLC is seeking a solution to solve its own employee housing issues by developing 5 prefabricated homes on its WMU zoned property located at 33 Broad Creek Marina Way on Hilton Head Island. This site is off of Marshland Rd. The property is bordered by the WMU zoned Broad Creek Marina as well as Adventure Hilton Head (also owned by BCMP) and a TOHH owned parcel of woods that is adjacent to a Power Line Easement. BCMP plans to create a Lowcountry Live and Work atmosphere with the project. The planned homes are the same as 3 homes BCMP has already developed on a parcel in close proximity to this project on Simmons Rd called Adolfo Way.

The proposed homes have Clay colored Vinyl siding with Chocolate shutters and White skirting. The roof material is conventional shingle. The units are 5 bedroom, 3 bath. While these homes are not visible to any public roadway, they have similar character to many road front homes along Marshland Rd. There will be a wooden privacy fence and ample landscape separating the units from the TOHH owned parcel to the West. A private drive accessible to Fire and Rescue along with parking will connect these homes to the Broad Creek Marina. There is a large Live Oak that will be a centerpiece to these homes and will contribute to the Lowcountry Live and Work theme. The front and back stairs and landing are wood and will be painted chocolate to match the shutters. The sites natural manicured vegetation will be retained, while adding plantings in the buffer to separate the site from the adjacent parcel.

Adventure Hilton Head, owned by Broad Creek Marina Properties, was only able to operate at approximately 50% capacity this past year due to the shortage of Labor on Hilton Head Island. Almost two thirds of its labor needs are seasonal to match the seasonal demand. This project will ensure small businesses such as Adventure Hilton Head can continue to operate and serve the continually high demand Hilton Head Island has while providing enriching outdoor family friendly activities.







3831



BLACK

WHITE



CHOCOLATE



- SYMBOLS**
- ⊠ - ELECTRIC TRANSFORMER
  - ⊞ - TELEPHONE SERVICE
  - ⊙ - SANITARY MANHOLE
  - ⊕ - FIRE HYDRANT
  - ⊙ - CUI
  - ⊙ - SIGN
  - ⊙ - LIGHT POLE
  - ⊙ - POWER METER
  - ⊙ - 12" WOOD POST
  - ⊙ - MONITOR WELL
  - LO - LIVE OAK
  - LAO - LAUREL OAK
  - RO - RED OAK
  - PK - PINE
  - PKM - PALM
  - WO - WATER OAK
  - - CUM
  - HC - HICKORY
  - PO - PIN OAK
  - TAL - TALLOW TREE
  - CH - CHERRY
  - WAL - WALNUT
  - ⊙ - SPOT ELEVATION
  - ⊙ - CONTOUR
  - ⊙ - TEMPORARY BENCH MARK
  - ⊙ - 3" CONCRETE MONUMENT FOUND
  - ⊙ - 1/2" IRON PIN FOUND
  - ⊙ - CUI POLE

R510 011 000 082A 0000  
TOWN OF HILTON HEAD ISLAND SC  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928

**REFERENCE PLAT**

1) PARCEL RECONFIGURATION BOUNDARY SURVEY PREPARED FOR BROAD CREEK MARINA OF HILTON OF HILTON HEAD, LLC BROAD CREEK MARINA TOWN OF HILTON HEAD ISLAND BEAUFORT COUNTY, SC  
DRAWN: 08/18/15  
RECORDED IN BOOK 142, PAGE 149  
ROD, BEAUFORT COUNTY, SC  
BY: JAMES E. HAYES JR. #13527

ADDRESS: 33 BROAD CREEK MARINA WAY & 18 SIMMONS ROAD  
DISTRICT: 510, MAP:11, PARCELS: 6, 7F, 183, & 389  
THIS PROPERTY LIES IN F.E.M.A. ZONE C & A7  
BASE FLOOD ELEVATION = N/A & 14.0'  
COMMUNITY NO. 450250, PANEL 0007D, DATED: 9/29/86

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT (SCHEC OCRM) PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF SCHEC OCRM, SCHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION, AT ANY TIME, IN ANY CRITICAL AREA, ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

*James E. Hayes Jr.*  
SIGNATURE  
7-31-19  
DATE  
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

**LINE TABLE**

LINE	LENGTH	BEARING
L9	22.29	S 89°28'23" W
L10	22.80	S 85°42'31" W
L11	12.50	S 65°02'47" W
L12	22.19	S 86°32'16" W
L13	13.85	N 78°02'48" W
L14	16.69	S 67°08'35" W
L15	24.05	N 85°40'22" W
L16	24.72	S 87°52'02" W
L17	26.07	S 78°42'40" W
L18	12.00	S 62°26'31" W
L19	13.83	S 52°42'18" W
L20	14.38	S 79°11'11" W
L21	21.55	S 78°15'11" W
L22	22.60	S 84°42'51" W
L23	22.61	S 74°41'14" W
L24	14.65	S 25°19'51" W
L25	16.23	S 47°48'07" W
L26	25.83	S 74°09'09" W
L27	38.70	S 60°05'33" W
L28	14.19	S 21°09'29" W
L29	14.38	N 79°30'35" W
L30	15.80	S 62°39'05" W
L31	10.23	S 38°10'15" W
L32	19.18	S 22°22'08" W
L33	25.54	S 63°25'13" W
L34	25.03	S 40°55'16" W
L35	22.08	S 53°49'45" W
L36	21.58	S 47°39'00" W
L37	15.45	S 52°50'40" W

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - HORIZONTAL DATUM IS STATE.
  - VERTICAL DATUM IS NAVD83.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

SHEET 1 OF 3

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



PARTIAL BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF TAX PARCELS: R510 011 000 0006 0000, R510 011 000 007F 0000, R510 011 000 0183 0000, AND R510 011 000 0389 0000  
BROAD CREEK MARINA VILLAGE  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
BROAD CREEK MARINA

DATE: 12/10/19 SCALE: 1" = 20'

**SIS** Sea Island Land Survey, LLC.  
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: sis@sprynet.com  
FILE No.: 19067/5 DWG No.: 5-2099  
COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: TW



- SYMBOLS**
- ⊕ - ELECTRIC TRANSFORMER
  - ☎ - TELEPHONE SERVICE
  - ⊙ - SANITARY MANHOLE
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  - - GUY
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  - TM - TEMPORARY BENCH MARK
  - ⊕ - 3" CONCRETE MONUMENT FOUND
  - ⊕ - 1/2" IRON PIN FOUND
  - ⊕ - GUY POLE

**CURVE TABLE**

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	22.86	25.00	22.07	S44°56'51"W	52°23'29"
C2	22.86	25.00	21.84	S44°50'17"W	51°47'43"
C3	55.25	162.00	54.98	N10°51'33"W	19°32'26"
C4	38.60	113.00	38.41	N10°36'00"W	19°34'19"
C5	22.86	25.00	22.07	S44°50'17"W	52°23'29"
C6	22.86	25.00	21.84	S44°50'07"W	51°47'43"
C7	33.78	325.00	33.76	S23°19'48"E	5°37'19"

**REFERENCE PLAT**

LINE	LENGTH	BEARING
L1	14.63	S 18°56'18" W
L2	22.67	N 20°28'36" W
L3	7.61	N 00°46'47" W
L4	28.70	N 00°46'47" W
L5	27.83	N 20°10'08" W
L6	25.97	S 18°56'18" W
L7	19.98	N 70°37'03" E
L8	21.92	N 69°27'35" E

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - HORIZONTAL DATUM IS STATE.
  - VERTICAL DATUM IS NGVD29.
  - CONTOUR INTERVAL IS 1'.
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  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
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ADDRESS: 33 BROAD CREEK MARINA WAY & 18 SIMMONS ROAD  
 DISTRICT: 510, MAP: 11, PARCELS: 6, 7F, 183, & 389

THIS PROPERTY LIES IN F.E.M.A. ZONE C & A7  
 BASE FLOOD ELEVATION = N/A & 14.0'  
 COMMUNITY NO. 450250, PANEL 0007D, DATED: 9/29/86

PARTIAL BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF TAX PARCELS:  
 R510 011 000 0006 0000, R510 011 000 007F 0000,  
 R510 011 000 0183 0000, AND R510 011 000 0389 0000  
 BROAD CREEK MARINA VILLAGE  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
 BROAD CREEK MARINA  
 DATE: 12/10/19 SCALE: 1" = 20'

**SIS** Sea Island Land Survey, LLC.  
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
 Tel (843) 681-3248 Fax (843) 689-3871 E-mail: sils@sprynet.com  
 FILE No: 19067/5 DWG No.: 5-2099  
 COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: TW

HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



SHEET 2 OF 3



MATCHLINE SHEET 2 SHEET 1

MATCHLINE SHEET 2 SHEET 1

MATCHLINE SHEET 3 SHEET 2

MATCHLINE SHEET 3 SHEET 2



**TREE TABLE**

101 HC 21	178 LO 42	251 PH 14	327 LAO 16	408 WO 8	483 G 9	559 G 12	759 BP 10 14
102 HC 17	177 PH 16	252 LAO 8	328 LO 30	410 CH 14	485 G 10	560 PH 23	751 G 12
103 HC 15	178 WAL 10	253 LAO 8	329 LAO 16	411 LO 26	486 PH 18	561 PH 20	752 WO 8
104 WAL 12	179 LAO 14	254 WO 8	330 LAO 8	412 LO 24	487 PH 13	562 PH 12	753 LO 10 12
105 WAL 28	180 PH 16	255 PH 16	331 LAO 12	413 LO 22	488 G 7	563 G 8	754 LO 10 14
106 HC 13	181 LAO 6	256 LAO 26	332 LAO 13 14 DEAD	414 PH 24	489 MAP 10	564 PH 14	755 LO 10 12
107 LO 20	182 PH 14	257 LAO 24	333 PO 10	415 G 11	490 PH 8	565 LO 24	756 PH 16
108 TUP 16	183 PLM 12	258 PH 30	334 PO 12	416 LAO 12	491 PH 12	566 LO 43	757 PH 16
109 LAO 18	184 PLM 14	259 LAO 36	335 LO 12	417 LAO 10	492 G 13	567 PH 19	758 PH 12
110 LAO 15	185 LAO 15	260 PH 16	336 LO 12	418 LAO 8	493 PH 14	568 PH 14	759 PH 14
111 PLM 10	186 WO 8	261 LAO 12	337 LAO 10 12 18	419 LAO 8	494 PH 13	569 PH 14	760 PH 8
112 PLM 13	187 PH 16	262 LAO 14	338 LAO 11	420 PH 8	495 PH 10	570 TUP 28	761 G 8
113 PH 14	188 PH 16	263 LAO 14	339 PH 24	421 PH 14	496 LO 26	571 LO 19	762 LO 15
114 LO 58	189 LAO 6	264 PH 14	340 PH 14	422 PH 15	497 PO 12	572 PO 15	763 PH 10
115 HC 14	190 PH 16	265 LAO 30	341 LAO 14	423 PH 14	498 PO 12	573 PO 14	764 BP 24
116 PLM 18	191 LAO 10	266 LO 12	342 LAO 10	424 LAO 9	499 PH 12	574 CH 18	765 LO 10 12
117 CH 14	192 PLM 12	267 LAO 24	343 LO 10	425 PH 16	500 PO 10	575 PO 14	766 PH 16
118 LAO 14	193 LAO 14	268 LAO 24	344 LO 10	426 PH 16	501 PH 18	576 PO 14	767 WO 10
119 PH 15	194 LAO 14	269 LAO 16	345 LO 8	427 LO 8	502 PO 8	577 PO 6	768 LO 20
120 PH 30	195 LAO 8 15	270 LAO 10	346 LO 8	428 LAO 26	503 WO 16	578 WO 14	769 LO 18
121 LAO 24	196 LO 30	271 LAO 10	347 LAO 20	429 LAO 13	504 TUP 8	579 PH 14	770 PH 22
122 PH 13	197 PLM 12	272 LAO 18	348 LAO 15	430 LAO 10	505 PH 13	580 PH 8	771 WO 12
123 LO 34	198 PLM 12	273 LAO 18	349 LAO 24	431 LAO 26	506 WO 20	581 PH 14	772 WO 8 18
124 PH 10	199 HC 16	274 LAO 18	350 LO 12	432 LO 12	507 LO 13	582 PH 14	773 WO 14
125 PH 20	200 LAO 10	275 LAO 18	351 LO 22 24	433 LO 10	508 PLM 14	583 G 8	774 LO 36
126 LO 12	201 LAO 10	276 LAO 8	352 PO 8	434 LO 8	509 PH 10	584 PH 18	775 LAO 10
127 PH 12	202 LAO 6	277 LAO 16	353 LO 10	435 LO 8	510 WO 12	585 PH 12	776 PH 14
128 PH 10	203 PH 14	278 LAO 12	354 LO 20	436 LO 12	511 TUP 28	586 CH 8	777 PLM 14
129 LAO 10	204 PLM 14	280 LO 12	355 LAO 14	437 LO 9	512 PH 17	587 PH 12	778 WO 10
130 LAO 8	205 PLM 18	281 LAO 8	356 LAO 14	437 LO 14	513 WO 10	588 PLM 10	779 LAO 10
131 LAO 10	206 LAO 10	282 LAO 15 18	357 LAO 18	438 LAO 30	514 WO 12 12	589 PH 6	780 WO 8
132 LAO 8	207 LAO 12	283 LAO 14	358 LO 12	439 LO 10	515 WO 12 10	590 PH 14	781 LO 24
133 LAO 10	208 PLM 12	284 LAO 8 12	359 LO 10	440 WO 10	516 WO 8	591 PH 12	782 WO 8 8
134 LAO 8	209 PLM 14	285 LAO 8	360 LAO 8	441 WO 18	517 WO 11 13	592 PH 8	783 WO 10
135 PH 22	210 PLM 10	286 LAO 8	361 LAO 11	442 LO 17	518 PH 10	593 PH 14	784 WO 12
136 LAO 10	211 LAO 8	287 PH 22	362 LAO 11	443 LO 17	519 WO 11	594 PH 17	785 LAO 10
137 PH 18	212 PLM 14	288 LAO 16	363 LAO 8	444 LO 23	520 WO 10	595 PH 8	786 LAO 14
138 LAO 14	213 LAO 8	289 PH 14	364 PH 12	445 WO 6	521 PH 12	600 LAO 30	787 WO 8
139 LO 18	214 HC 10	290 PH 16	365 LAO 8 11	446 WO 36	522 WO 11	603 LAO 8	788 WO 10
140 LO 26	215 HC 8	291 PH 8	366 LAO 18	447 LAO 22	523 PH 12	604 HC 13	789 LAO 12
141 LAO 13	216 LAO 18	292 PH 7	367 LAO 8	448 PH 10	524 PH 12	605 LAO 9	790 WO 8
142 LAO 10	217 PLM 15	293 PH 25	368 LAO 8	449 WO 9	525 WO 9	606 LAO 10	791 LAO 8
143 LAO 30	218 LAO 19	294 LAO 14	369 LAO 7	450 WO 18	526 WO 8	607 LAO 10	792 WO 8
144 LO 10	219 HC 8	295 LAO 14	370 PH 22	451 LO 30	527 G 12	611 PO 10	793 WO 10
145 PLM 14	220 HC 8	296 LAO 10	371 PH 22	452 LAO 12	528 WO 10	612 LO 11	794 LO 20
146 PLM 12	221 HC 18 DEAD	297 LAO 12	372 PH 10	453 LAO 12	529 LO 15	613 WAL 6	795 WO 8
147 PH 18	222 PH 10	298 LAO 10	373 PH 12	454 PH 14	530 WO 11	614 T&E	796 HO 12
148 PH 14	223 LAO 8	299 LAO 18	374 PO 10	455 G 12	531 WO 10	615 LAO 8	797 WO 14
149 PH 18	224 LAO 11	300 PH 22	375 PH 12	456 PH 15	532 WO 8	616 PO 11	798 WO 20
150 PH 8	225 LAO 6	301 LAO 14 11	376 LAO 11	457 G 10	533 PLM 14	617 WO 11	799 WO 14
151 PH 25	226 HC 8	302 LAO 12 7	377 LAO 12	458 PH 14	534 PLM 13	618 WO 10 122	800 WO 18
152 PH 25	227 PH 16	303 PLM 12	378 LAO 18	459 G 12	535 WO 10	619 PH 10	
153 PH 18	228 LAO 8	304 PH 28	379 LAO 13	460 PH 12	536 WO 9	620 PH 8	
154 LO 70	229 HC 8	305 PH 32	380 LAO 18	461 G 10	537 PLM 13	628 PO 20	
155 PH 28	230 PH 20	306 PLM 14	381 LAO 18 20	462 PH 12	538 PH 8	629 WO 12	
156 PH 24	231 LAO 30	307 PLM 12	382 PH 30	463 G 10	539 LAO 10	630 WO 14	
157 LAO 18	232 LAO 27	308 LO 60	383 LAO 6	464 PH 10	540 PH 13	631 WO 10	
158 PLM 12	233 LAO 18	309 PH 28	384 LAO 14	465 PH 12	541 PH 14	632 PO 14	
159 PLM 14	234 LAO 40	310 PH 24	385 LAO 18	466 G 8	542 G 10	633 PO 12	
160 LO 32 DEAD	235 LAO 30	311 LO 30	386 LAO 12	467 PH 14	543 G 8	634 PH 20	
161 PH 14	236 PH 24	312 LAO 10	387 HO 6	468 PH 15	544 WO 6	635 BO 12	
162 PH 16	237 LAO 10	313 PO 10	388 TUP 10	469 PH 10	545 PLM 10	636 PH 10	
163 PH 8	238 LAO 8	314 LO 10	389 TUP 11	470 PH 16	546 LO 27	637 WO 24	
164 PH 14	239 LAO 12	315 PO 8	390 PH 24	471 PH 6	547 PH 8	638 PH 16	
165 HC 18	240 HC 20	316 LAO 14	391 LAO 12 18	472 PH 10	548 LAO 26	639 WO 10	
166 PH 12	241 PH 24	317 LAO 8 10 14	392 LAO 26	473 G 10	549 WO 17	640 PH 12	
167 PH 16	242 LAO 12	318 LAO 11	393 PH 13	474 PH 19	550 LO 18	641 PH 10	
168 PH 18	243 PH 10	319 LAO 14	394 TUP 10	475 PH 16	551 PH 20	642 WO 8	
169 LO 32	244 HC 18	320 LAO 15	395 PH 18	476 G 12	552 G 13	643 PH 12	
170 PH 14	245 WO 6	321 LO 10	396 PH 15	477 PH 12	553 PH 14	644 WO 4 6	
171 PH 20	246 LAO 12	322 PO 8	397 PH 10	478 WO 6	554 PH 14	645 WO 8	
172 PLM 12	247 LAO 8	323 LAO 14	398 PH 13	479 PO 10	555 PH 14	646 WO 10 10 12	
173 PLM 14	248 HC 8	324 LAO 18	399 LAO 12	480 G 18	556 G 10	647 PH 14	
174 LAO 14	249 HC 9	325 LAO 12 12	400 LAO 12	481 PH 12	557 G 10	648 PH 12	
175 PLM 12	250 PH 18	326 WO 18	401 LAO 8	482 PO 10	558 G 11	649 PH 18	

R510 011 000 082A 0000  
TOWN OF HILTON HEAD ISLAND SC  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29926

- SYMBOLS**
- ⊠ - ELECTRIC TRANSFORMER
  - ☎ - TELEPHONE SERVICE
  - ⊙ - SANITARY MANHOLE
  - ⊕ - FIRE HYDRANT
  - GUY
  - SIGN
  - ★ - LIGHT POLE
  - ⊠ - POWER METER
  - ⊙ - 12" WOOD POST
  - ⊙ - MONITOR WELL
  - LO - LIVE OAK
  - LAD - LAUREL OAK
  - RO - RED OAK
  - PH - PINE
  - PLM - PALM
  - WO - WATER OAK
  - G - GUM
  - HC - HICKORY
  - PO - POPLAR
  - TAL - TALLOW TREE
  - CH - CHERRY
  - WAL - WALNUT
  - - SPOT ELEVATION
  - - - - - CONTOUR
  - TBM - TEMPORARY BENCH MARK
  - ⊠ - 3" CONCRETE MONUMENT FOUND
  - ⊕ - 1/2" IRON PIN FOUND
  - ⊕ - GUY POLE

**REFERENCE PLAT**

1) PARCEL RECONFIGURATION BOUNDARY SURVEY PREPARED FOR BROAD CREEK MARINA OF HILTON HEAD ISLAND, LLC BROAD CREEK MARINA TOWN OF HILTON HEAD ISLAND BEAUFORT COUNTY, SC  
DRAWN: 08/18/15  
RECORDED IN BOOK 142, PAGE 149  
ROD, BEAUFORT COUNTY, SC  
BY: JAMES E. HAYES JR. #13527

ADDRESS: 33 BROAD CREEK MARINA WAY & 18 SIMMONS ROAD  
DISTRICT: 510, MAP: 11, PARCELS: 6, 7F, 183, & 389  
THIS PROPERTY LIES IN F.E.M.A. ZONE C & A7  
BASE FLOOD ELEVATION = C & 14.0'  
COMMUNITY NO. 450250, PANEL 0007D, DATED: 9/29/86

LINE TABLE			CURVE TABLE					
LINE	LENGTH	BEARING	CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
L1	14.63	S 18°56'18" W	C1	22.86	25.00	22.07	S44°56'51" W	52°23'29"
L2	22.67	N 20°28'36" W	C2	22.60	25.00	21.84	S44°50'17" W	51°47'43"
L3	7.61	N 00°46'47" W	C3	55.25	162.00	54.98	N10°51'33" W	19°32'26"
L4	28.70	N 00°46'47" W	C4	36.80	113.00	36.41	N10°36'00" W	19°34'19"
L5	27.83	N 20°10'08" W	C5	22.86	25.00	22.07	S45°07'48" W	52°23'29"
L6	26.97	S 18°56'18" W	C6	22.60	25.00	21.84	S44°50'09" W	51°47'43"
L7	19.96	N 70°37'03" E	C7	33.78	325.00	33.78	S23°19'48" E	5°57'19"
L8	21.92	N 69°27'35" E						

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - SEA ISLAND LAND SURVEY, LLC CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - HORIZONTAL DATUM IS STATE.
  - VERTICAL DATUM IS NGVD29.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

SHEET 3 OF 3

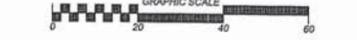
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE SURVEYING AND MAPPING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



PARTIAL BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF TAX PARCELS:  
R510 011 000 0006 0000, R510 011 000 007F 0000, R510 011 000 0183 0000, AND R510 011 000 0389 0000  
BROAD CREEK MARINA VILLAGE  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
BROAD CREEK MARINA

DATE: 12/10/19 SCALE: 1" = 20'



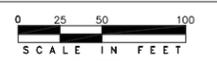
**SIS** Sea Island Land Survey, LLC.  
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
Tel (843) 681-3248 Fax (843) 689-3871 E-mail: sils@sprynet.com  
FILE No.: 19067/5 DWG No.: 5-2089  
COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: TW



09/13/22

PREPARED FOR:  
**BROAD CREEK MARINA HOLDINGS, LLC**

PROJECT:  
**WATERFRONT SMALL RESIDENTIAL**



PLAN  
HORIZONTAL SCALE 1"=50'



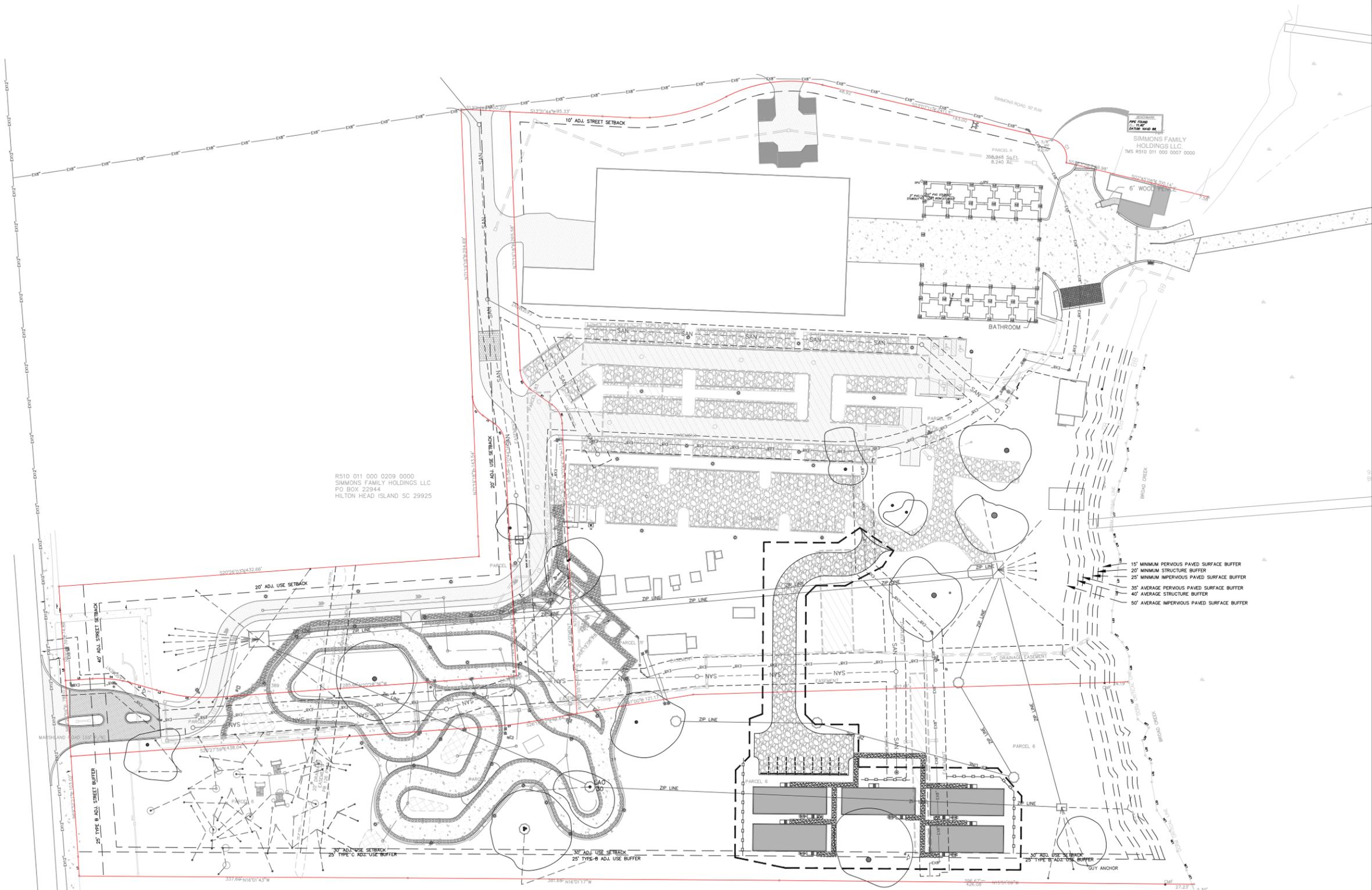
REV #	DATE	DESCRIPTION

DATE 9/13/2022

SHEET NAME

**SITE ASSESSMENT**

SHEET NO. **1 OF 2**



R510 011 000 0209 0000  
SIMMONS FAMILY HOLDINGS LLC  
PO BOX 22944  
HILTON HEAD ISLAND SC 29925

R510 011 000 082A 0000  
TOWN OF HILTON HEAD ISLAND SC  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928

**Existing Conditions Area (acres)**

Total	Asphalt	Concrete	Building	Compacted Gravel	Brick	Raingarden	Total Impervious	% Impervious	Open Space	% Open Space
4.37	-	0.410	-	-	-	0.036	0.446	10.2%	3.924	89.8%
8.39	0.692	0.636	1.090	1.108	-	-	3.526	42.0%	4.864	58.0%
1.72	0.332	0.228	0.060	0.050	0.098	0.018	0.787	45.7%	0.933	54.3%
1.37	0.177	0.220	-	0.041	-	-	0.438	32.0%	0.932	68.0%
<b>15.85</b>	<b>1.201</b>	<b>1.494</b>	<b>1.150</b>	<b>1.199</b>	<b>0.098</b>	<b>0.054</b>	<b>5.197</b>	<b>32.8%</b>	<b>10.653</b>	<b>67.2%</b>

**Proposed Improvement Area (acres)**

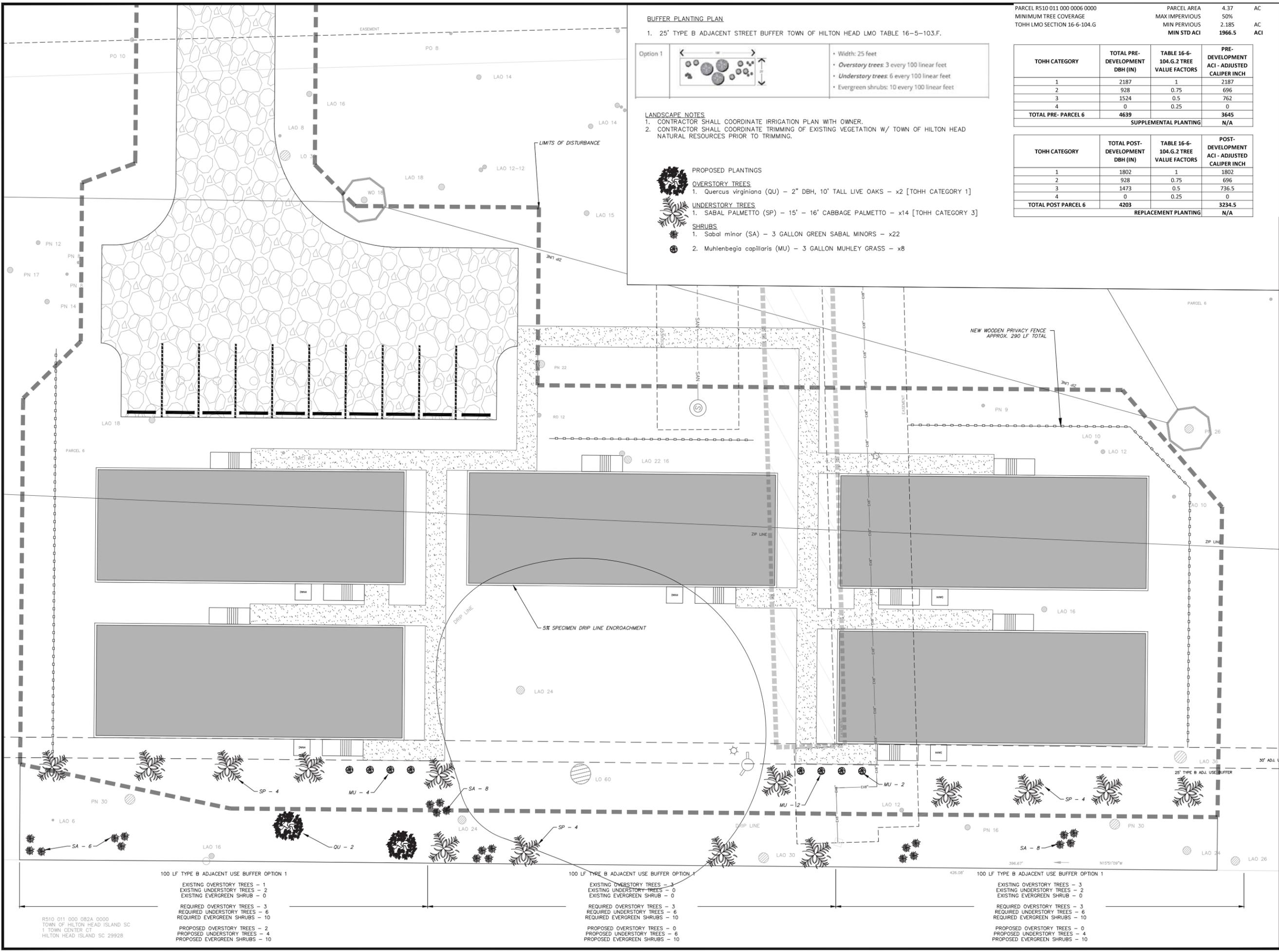
Total	Asphalt	Concrete	Building	Compacted Gravel	Brick	Raingarden	Total Impervious	% Impervious	Open Space	% Open Space
4.37	-	0.410	0.244	0.124	-	0.036	0.814	18.6%	3.556	81.4%
8.39	0.692	0.636	1.090	1.227	-	-	3.645	43.4%	4.745	56.6%
1.72	0.332	0.228	0.060	0.050	0.098	0.018	0.787	45.7%	0.933	54.3%
1.37	0.177	0.220	-	0.041	-	-	0.438	32.0%	0.932	68.0%
<b>15.85</b>	<b>1.201</b>	<b>1.494</b>	<b>1.394</b>	<b>1.442</b>	<b>0.098</b>	<b>0.054</b>	<b>5.684</b>	<b>35.9%</b>	<b>10.166</b>	<b>64.1%</b>

Total Acreage	% Impervious	TOHH Max Impervious Cover	% Open Space	TOHH Min Open Space Req'd	Existing Building Density (sf)	TOHH Permitted Density (sf)
4.37	10.2%	50.0%	89.8%	16.0%	-	34,960
8.39	42.0%	50.0%	58.0%	16.0%	47,476	67,120
1.72	45.7%	50.0%	54.3%	16.0%	2,622	13,760
1.37	32.0%	50.0%	68.0%	16.0%	-	10,960
<b>15.85</b>	<b>32.8%</b>	<b>50.0%</b>	<b>67.2%</b>	<b>16.0%</b>	<b>50,098</b>	<b>126,800</b>

Total Acreage	% Impervious	TOHH Max Impervious Cover	% Open Space	TOHH Min Open Space Req'd	Proposed Building Density (sf)	TOHH Permitted Density (sf)
4.37	18.6%	50.0%	81.4%	16.0%	10,640	34,960
8.39	43.4%	50.0%	56.6%	16.0%	47,476	67,120
1.72	45.7%	50.0%	54.3%	16.0%	2,622	13,760
1.37	32.0%	50.0%	68.0%	16.0%	-	10,960
<b>15.85</b>	<b>35.9%</b>	<b>50.0%</b>	<b>64.1%</b>	<b>16.0%</b>	<b>60,738.24</b>	<b>126,800.00</b>

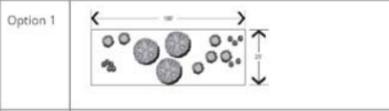






**BUFFER PLANTING PLAN**

1. 25' TYPE B ADJACENT STREET BUFFER TOWN OF HILTON HEAD LMO TABLE 16-5-103.F.



- Width: 25 feet
- Overstory trees: 3 every 100 linear feet
- Understory trees: 6 every 100 linear feet
- Evergreen shrubs: 10 every 100 linear feet

**LANDSCAPE NOTES**

1. CONTRACTOR SHALL COORDINATE IRRIGATION PLAN WITH OWNER.
2. CONTRACTOR SHALL COORDINATE TRIMMING OF EXISTING VEGETATION W/ TOWN OF HILTON HEAD NATURAL RESOURCES PRIOR TO TRIMMING.



**PROPOSED PLANTINGS**

**OVERSTORY TREES**

1. Quercus virginiana (QU) - 2" DBH, 10' TALL LIVE OAKS - x2 [TOHH CATEGORY 1]

**UNDERSTORY TREES**

1. SABAL PALMETTO (SP) - 15' - 16' CABBAGE PALMETTO - x14 [TOHH CATEGORY 3]

**SHRUBS**

1. Sabal minor (SA) - 3 GALLON GREEN SABAL MINORS - x22
2. Muhlenbergia capillaris (MU) - 3 GALLON MUHLEY GRASS - x8

PARCEL R510 011 000 0006 0000	PARCEL AREA	4.37	AC
MINIMUM TREE COVERAGE	MAX IMPERVIOUS	50%	
TOHH LMO SECTION 16-6-104.G	MIN PERVIOUS	2.185	AC
	MIN STD ACI	1966.5	ACI

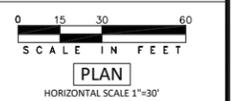
TOHH CATEGORY	TOTAL PRE-DEVELOPMENT DBH (IN)	TABLE 16-6-104.G.2 TREE VALUE FACTORS	PRE-DEVELOPMENT ACI - ADJUSTED CALIPER INCH
1	2187	1	2187
2	928	0.75	696
3	1524	0.5	762
4	0	0.25	0
<b>TOTAL PRE-PARCEL 6</b>	<b>4639</b>		<b>3645</b>
		<b>SUPPLEMENTAL PLANTING</b>	<b>N/A</b>

TOHH CATEGORY	TOTAL POST-DEVELOPMENT DBH (IN)	TABLE 16-6-104.G.2 TREE VALUE FACTORS	POST-DEVELOPMENT ACI - ADJUSTED CALIPER INCH
1	1802	1	1802
2	928	0.75	696
3	1473	0.5	736.5
4	0	0.25	0
<b>TOTAL POST PARCEL 6</b>	<b>4203</b>		<b>3234.5</b>
		<b>REPLACEMENT PLANTING</b>	<b>N/A</b>



PREPARED FOR:  
**BROAD CREEK MARINA HOLDINGS, LLC**

PROJECT:  
**WATERFRONT SMALL RESIDENTIAL**



REV #	DATE	DESCRIPTION
	9/12/2022	
SHEET NAME		

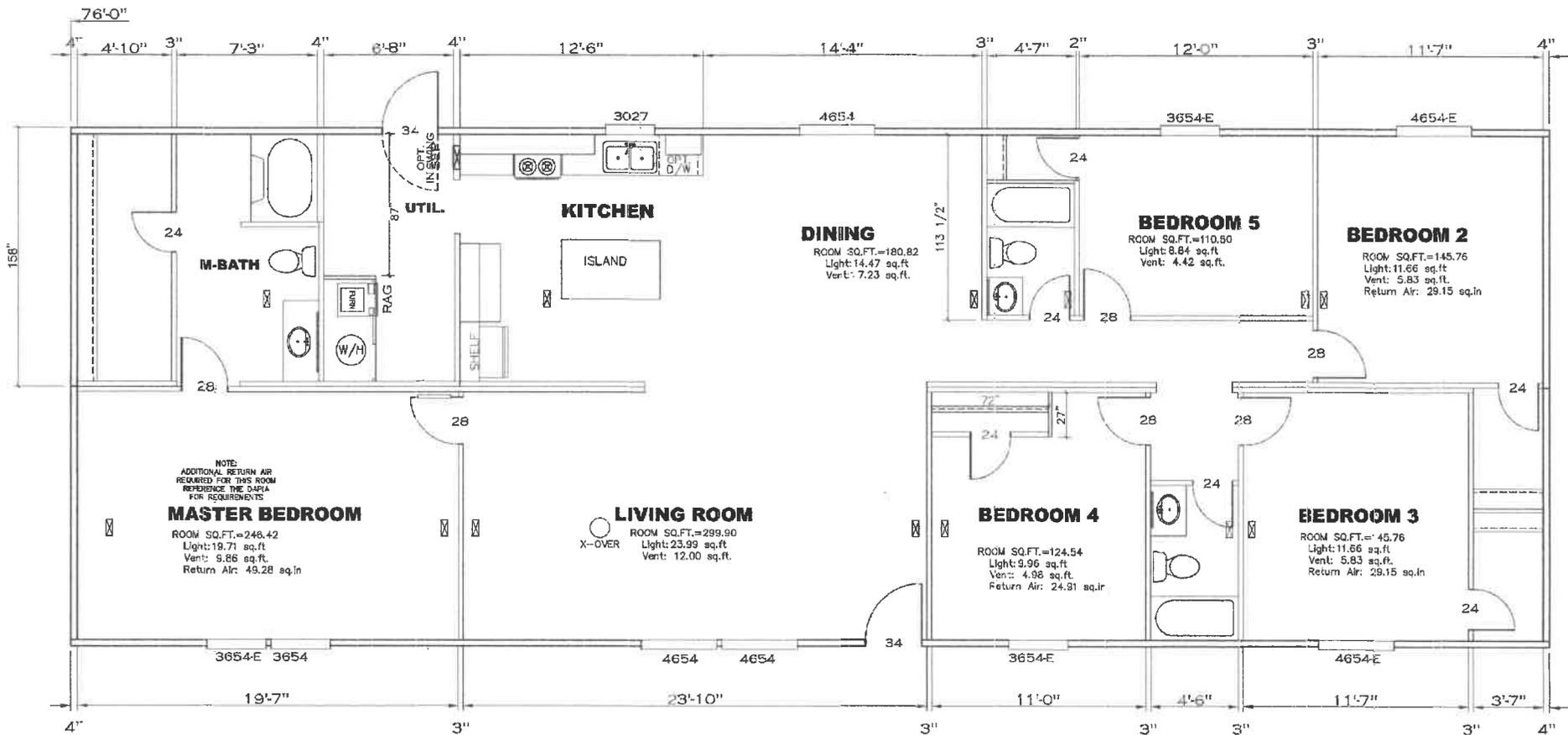
LANDSCAPE PLAN

R510 011 000 082A 0000  
TOWN OF HILTON HEAD ISLAND SC  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928

100 LF TYPE B ADJACENT USE BUFFER OPTION 1  
EXISTING OVERSTORY TREES - 1  
EXISTING UNDERSTORY TREES - 2  
EXISTING EVERGREEN SHRUB - 0  
REQUIRED OVERSTORY TREES - 3  
REQUIRED UNDERSTORY TREES - 6  
REQUIRED EVERGREEN SHRUBS - 10  
PROPOSED OVERSTORY TREES - 2  
PROPOSED UNDERSTORY TREES - 4  
PROPOSED EVERGREEN SHRUBS - 10

100 LF TYPE B ADJACENT USE BUFFER OPTION 1  
EXISTING OVERSTORY TREES - 3  
EXISTING UNDERSTORY TREES - 0  
EXISTING EVERGREEN SHRUB - 0  
REQUIRED OVERSTORY TREES - 3  
REQUIRED UNDERSTORY TREES - 6  
REQUIRED EVERGREEN SHRUBS - 10  
PROPOSED OVERSTORY TREES - 0  
PROPOSED UNDERSTORY TREES - 6  
PROPOSED EVERGREEN SHRUBS - 10

100 LF TYPE B ADJACENT USE BUFFER OPTION 1  
EXISTING OVERSTORY TREES - 3  
EXISTING UNDERSTORY TREES - 2  
EXISTING EVERGREEN SHRUB - 0  
REQUIRED OVERSTORY TREES - 3  
REQUIRED UNDERSTORY TREES - 6  
REQUIRED EVERGREEN SHRUBS - 10  
PROPOSED OVERSTORY TREES - 0  
PROPOSED UNDERSTORY TREES - 4  
PROPOSED EVERGREEN SHRUBS - 10



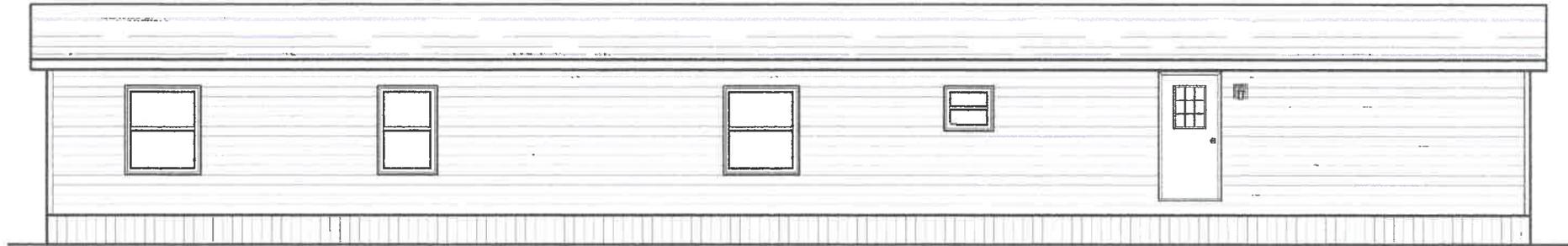
**APPROVED** **HWC** **APPROVED**

JULY 27 2018

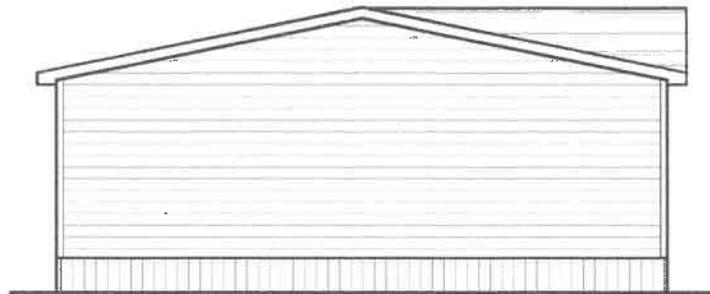
Federal Manufactured  
Home Construction  
And Safety Standards

FP-28-5105

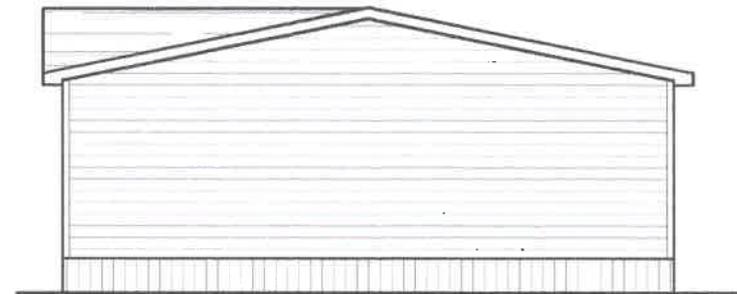
2,000+ SQ.FT. (STD PLAN "CONDITIONED")	
N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")	
<b>TRU HOMES</b>	Model #: TRU28765A
Product Designer: HuitingJ	Date: 22.18   Site: N.T.S.   Drawing #: TRU-MO08-76-5
28' x 76' Triumph	
<b>FLOOR PLAN</b>	REV: 7/24/2018 11:24:58 AM; HuitingJ



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

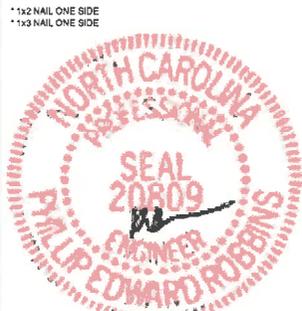


FRONT ELEVATION

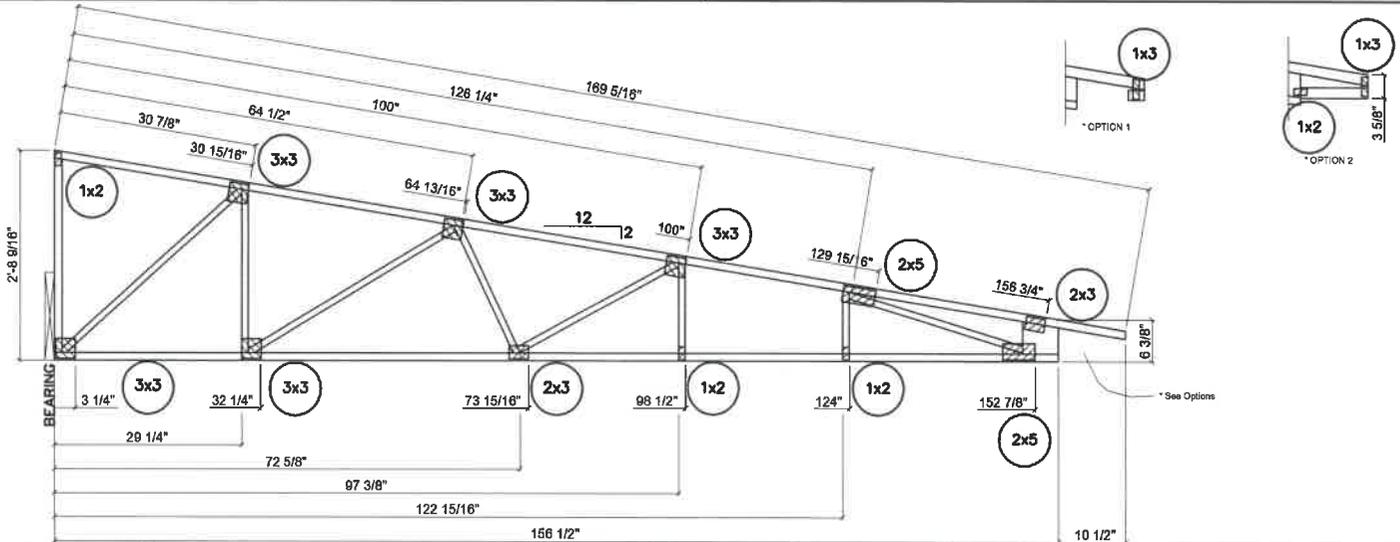
2,001 SQ.FT. (STD PLAN "CONDITIONED")  
 N/A SQ.FT. (W/OPT. PORCH/RECESS "CONDITIONED")

	Model #: TRU20705A	Drawing #:
	Date: 1.24.12	Scale: N.T.S.
Product Designer: HarmonB	28' x 76' Triumph	
		REV:

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) <u>20</u>	TOP CHORD (LL) <u>30</u>	TOP CHORD <u>1 3/16 x 1 1/2</u> #2 SPF	<ol style="list-style-type: none"> <li>RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE.</li> <li>CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME.</li> <li>CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN.</li> <li>MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED.</li> <li>TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL.</li> <li>LUMBER MOISTURE CONTENT NOT TO EXCEED 19%.</li> <li>NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED.</li> <li>TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014.</li> <li>NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K.</li> <li>TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE.</li> <li>DEAD LOAD FOR UPLIFT IS 6 PSF.</li> <li>ALL CONNECTOR PLATES TO BE PLACED ±1/4".</li> <li>FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)</li> <li>FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)</li> <li>FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)</li> </ol>
TOP CHORD (DL) <u>11</u>	TOP CHORD (DL) <u>16.5</u>	BOT CHORD <u>1 3/16 x 1 1/2</u> #2 SPF	
BOTTOM CHORD (LL) <u>0</u>	BOTTOM CHORD (LL) <u>0</u>	KING POST <u>1 3/16 x 1 1/2</u> #3 SPF	
BOTTOM CHORD (DL) <u>5</u>	BOTTOM CHORD (DL) <u>7.5</u>	DIAG WEB <u>1 x 1 1/2</u> #3 SPF	
TOTAL <u>36</u>	TOTAL <u>54</u>	VERT WEB <u>1 x 1 1/2</u> #3 SPF	
UPLIFT <u>ZONE I ONLY</u>	UPLIFT <u>ZONE I ONLY</u>	HEEL BLOCK <u>2 x 6</u> #3 SPF	
<b>P.E. Robbins, P.E.</b> <b>1777 State Route 167</b> <b>Victoria, IL 61485</b>			



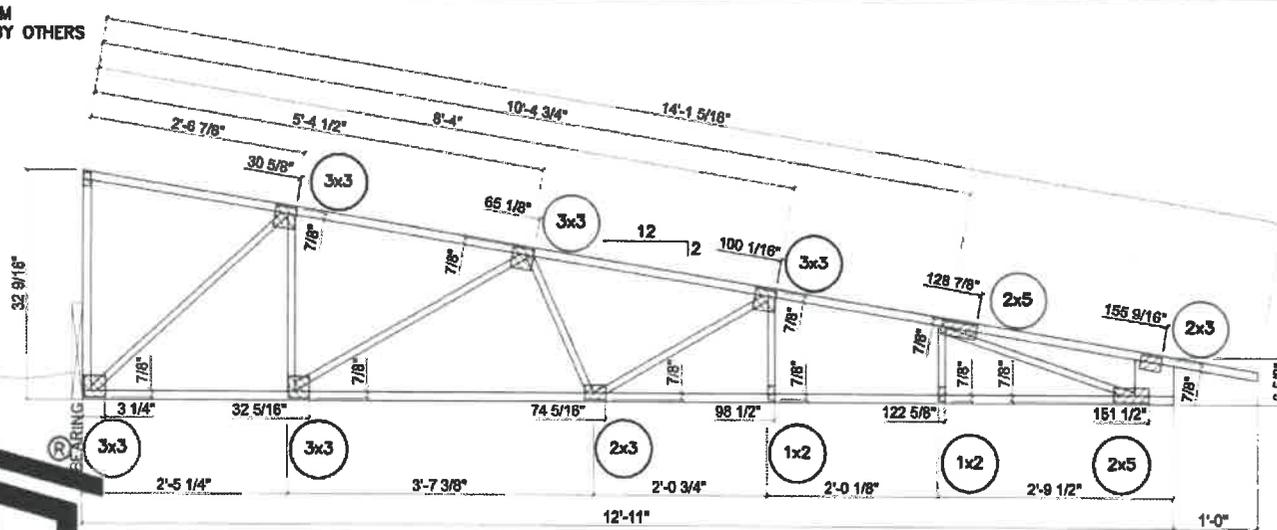
08/07/2017  
WP17029



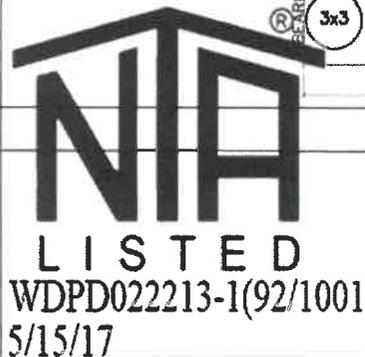
REVISIONS	DESIGN	WOODPERFECT, LTD	
A Changed length and zones 2017-05-09	CLEAR SPAN: 156 1/2"	MONOPITCH	
B Added options 2017-08-07	BEARING: RIDGE BEAM/ 1 1/2"		
C --	OVERHANG: 0"-10 1/2"	OVERALL LENGTH: 167"	HEIGHT: 32 9/16"
D --	HUD CODE: ULTIMATE LOAD	PLATE 20 GA. DATE 04/24/17	DRAWING NUMBER
E --	TEST METHOD: AIR CYLINDER TEST	MITEK ZONE I ONLY	M072-14

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER	GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 3/16 x 1 1/2 #2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE. 2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME. 3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN. 4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED. 5. TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL. 6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%. 7. NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT IS 6 PSF. 12. ALL CONNECTOR PLATES TO BE PLACED ±1/4". 13. FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14. FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 15. FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
TOP CHORD (DL) 11	TOP CHORD (DL) 16.5	BOT CHORD 1 3/16 x 1 1/2 #2 SPF	
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST 1 3/16 x 1 1/2 #3 SPF	
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB 1 x 1 1/2 #3 SPF	
TOTAL 36	TOTAL 54	VERT WEB 1 x 1 1/2 #3 SPF	
UPLIFT ZONE II	UPLIFT ZONE III	HEEL BLOCK 2 x 6 #3 SPF	
P.E. Robbins, P.E. 1777 State Route 167 Victoria, IL 61485 See WP17006 for additional test sheets.			

TRUSS TO BEAM CONNECTION, BY OTHERS



5/12/17  
WP17020

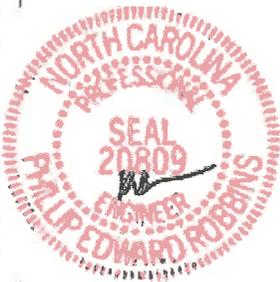


REVISIONS	DESIGN	WOODPERFECT, LTD	
A Revised nail placements, changed dimensions, and adjusted vertical webs 2017-04-21	CLEAR SPAN: 155"	MONOPITCH	
B Changed zones 2017-05-09	BEARING: RIDGE BEAM/ 1 1/2"	OVERALL LENGTH: 167"	HEIGHT: 32 9/16"
C --	OVERHANG: 0"-12"	PLATE 20 GA.	DATE 10/06/16
D --	HUD CODE: ULTIMATE LOAD	MITEK	DRAWING NUMBER
	TEST METHOD: AIR CYLINDER TEST	ZONE II AND III	M074-14

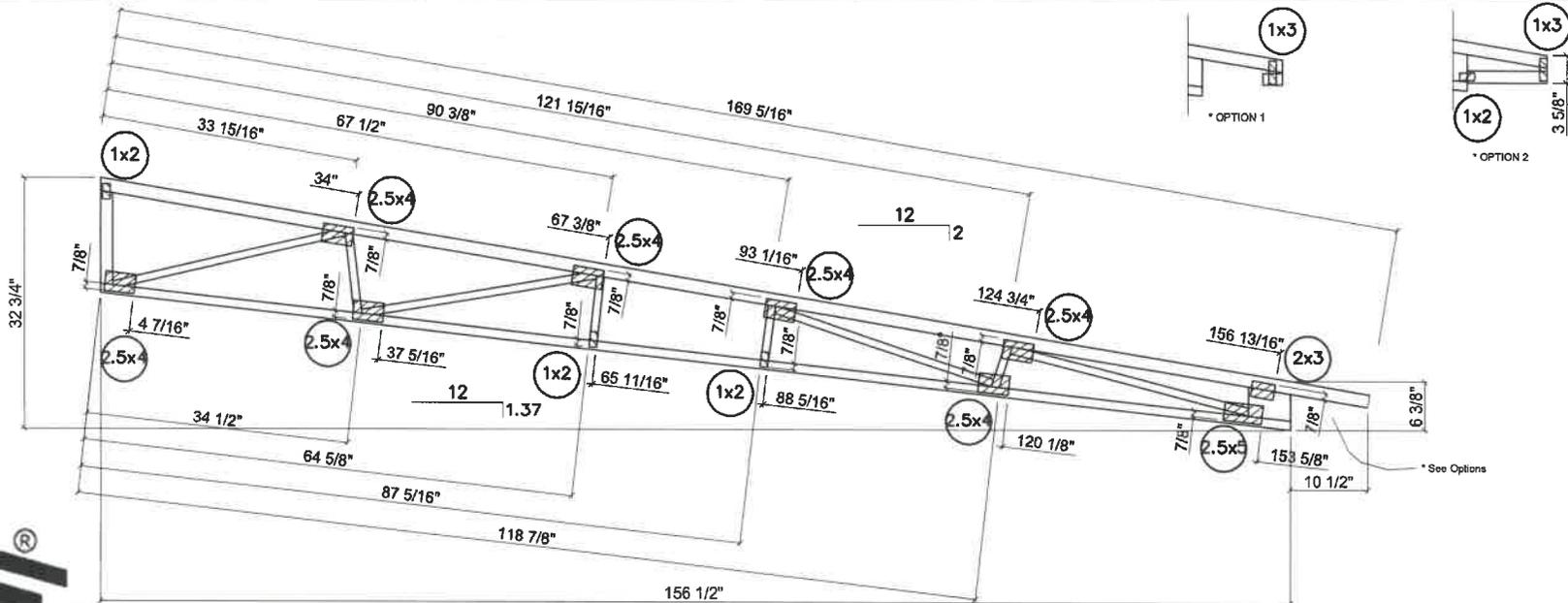
LOAD (PSF) @ 24" C.C.		LOAD (PSF) @ 16" C.C.		LUMBER		GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS. 1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE. 2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME. 3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN. 4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED. 5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL. 6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%. 7. NAILS BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT 6 PSF 12. ALL CONNECTOR PLATES TO BE PLACED ±1/4". 13. FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)
TOP CHORD (LL)	20	TOP CHORD (LL)	30	TOP CHORD	1 5/8 x 1 1/2 #2 SPF	
TOP CHORD (DL)	11	TOP CHORD (DL)	16.5	BOT CHORD	1 3/16 x 1 1/2 #2 SPF	
BOTTOM CHORD (LL)	0	BOTTOM CHORD (LL)	0	KING POST	1 5/8 x 1 1/2 #3 SPF	
BOTTOM CHORD (DL)	5	BOTTOM CHORD (DL)	7.5	DIAG WEB	1 x 1 1/2 #3 SPF	
TOTAL	36	TOTAL	54	VERT WEB	1 x 1 1/2 #3 SPF	
UPLIFT	ZONE I ONLY	UPLIFT	ZONE I ONLY	HEEL	2 x 6 #3 SPF	

P.E. Robbins, P.E.  
1777 State Route 167  
Victoria, IL 61485

\* 1x2 NAIL ONE SIDE  
\* 1x3 NAIL ONE SIDE



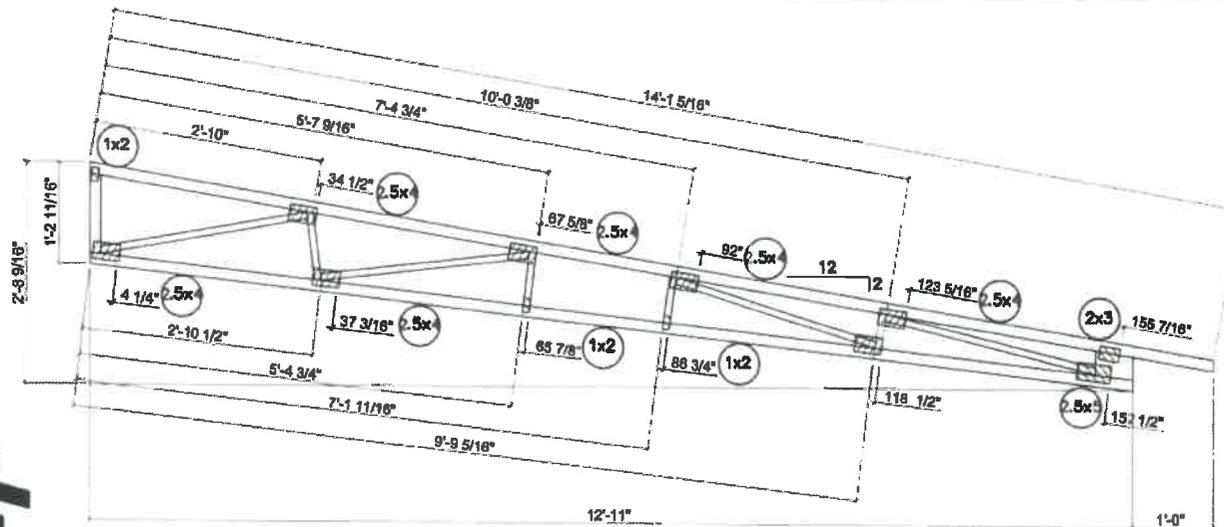
08/07/2017  
WP17029



REVISIONS	DESIGN
A Changed overhang to 12" 11/15/2016	CLEAR SPAN: 156 1/2"
B Changed nail plates, webs, and length 2017-04-21	BEARING: RIDGE BEAM/POINT
C Added dimension 2017-05-09	OVERHANG: 0"-12"
D Added options 2017-08-07	HUD CODE: PROOF LOAD
E ---	TEST METHOD: AIR CYLINDER TEST

WOODPERFECT, LTD	
CATHEDRAL TRUSS	
OVERALL LENGTH: 167"	HEIGHT: 14 11/16"
PLATE 20 GA.	DATE 11/15/2016
MITEK	ZONE I ONLY
DRAWING NUMBER ETN C072	

LOAD (PSF) @ 24" C.C.		LOAD (PSF) @ 16" C.C.		LUMBER		GENERAL NOTES – UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL)	20	TOP CHORD (LL)	30	TOP CHORD	1 5/8 x 1 1/2	
TOP CHORD (DL)	11	TOP CHORD (DL)	16.5	BOT CHORD	1 5/8 x 1 1/2	#2 SPF
BOTTOM CHORD (LL)	0	BOTTOM CHORD (LL)	0	KING POST	1 5/8 x 1 1/2	#2 SPF
BOTTOM CHORD (DL)	5	BOTTOM CHORD (DL)	7.5	DIAG WEB	1 x 1 1/2	#2 SPF
TOTAL	36	TOTAL	54	VERT WEB	1 x 1 1/2	#2 SPF
UPLIFT	ZONE II	UPLIFT	ZONE III	HEEL	2 x 6	#2 SPF
				P.E. Robbins, P.E. 1777 State Route 167 Victoria, IL 61485 See WP14118 for additional test sheets.		
1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE. 2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME. 3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN. 4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED. 5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL. 6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%. 7. NAILS BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT 6 PSF 12. ALL CONNECTOR PLATES TO BE PLACED ±1/4". 13. FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14. FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 15. FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE)						



5/12/17  
WP17021

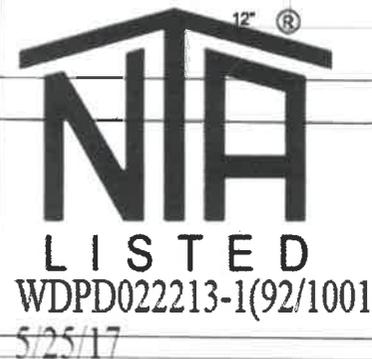
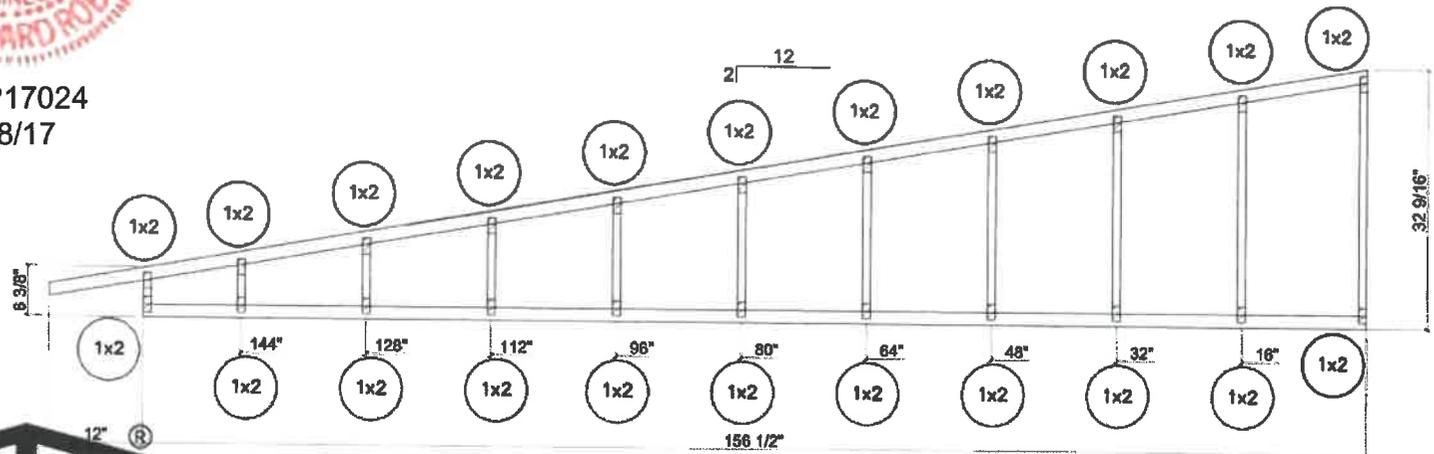


REVISIONS		DESIGN		WOODPERFECT, LTD	
A	Changed nail plate locations, webs, and clearspan from 155 1/4" to 155" 2017-04-27	CLEAR SPAN:	155"	CATHEDRAL TRUSS	
C	Changed Zones 2017-05-09	BEARING:	RIDGE BEAM / POINT	OVERALL LENGTH:	167"
D	--	OVERHANG:	0"-12"	PLATE 20 GA.	DATE 10/06/16
E	--	HUD CODE:	PROOF LOAD	HEIGHT:	32 9/16"
		TEST METHOD:	AIR CYLINDER TEST	MITEK	DRAWING NUMBER
				ZONE II & III	C074-14

LOAD (PSF) @ 24" C.C.	LOAD (PSF) @ 16" C.C.	LUMBER		GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS.
TOP CHORD (LL) 20	TOP CHORD (LL) 30	TOP CHORD 1 3/16 x 1 1/2	#2 SPF	1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE. 2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME. 3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN. 4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED. 5. TRUSS MAY BE SHORTENED UP TO 6" IF PANEL POINTS REMAIN PROPORTIONAL. 6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%. 7. NAIL PLATE ON BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT IS 8 PSF. 12. ALL CONNECTOR PLATES TO BE PLACED ±1/4". 13 FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14 FOR 1X3 PLATES PROVIDE 6 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 15 FOR 1X4 PLATES PROVIDE 8 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 16 TRUSS SHALL BE TIED DOWN FOR UPLIFT LOADS AS NECESSARY UP TO 246 PLF.
TOP CHORD (DL) 11	TOP CHORD (DL) 18.5	BOT CHORD 1 3/16 x 1 1/2	#2 SPF	
BOTTOM CHORD (LL) 0	BOTTOM CHORD (LL) 0	KING POST F1 x 1 1/2	#3 SPF	
BOTTOM CHORD (DL) 5	BOTTOM CHORD (DL) 7.5	DIAG WEB NA	NA	
TOTAL 38	TOTAL 54	VERT WEB F1 x 1 1/2	#3 SPF	
UPLIFT ZONE I AND II	UPLIFT ZONE III	HEEL BLOCK NA	NA	

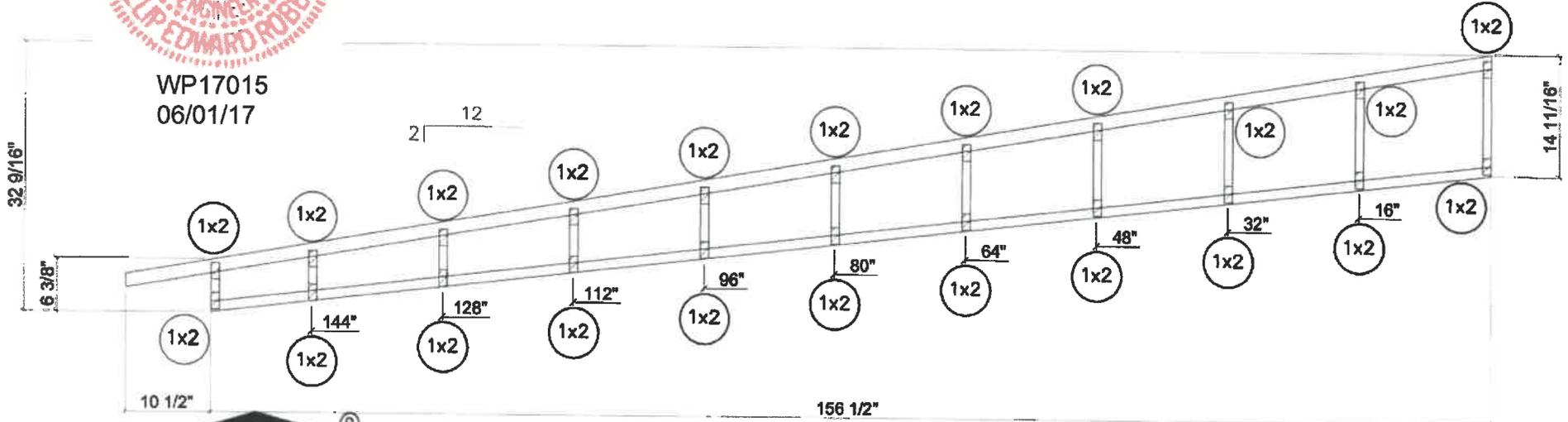


WP17024  
5/18/17



REVISIONS	DESIGN	WOODPERFECT, LTD	
A Add note 16, C/S to N/A, cont. bearing 2017-05-18	CLEAR SPAN: N/A	MONOPITCH	
B ---	BEARING: CONTINUOUS	OVERALL LENGTH: 168 1/2"	HEIGHT: 32 9/16"
C ---	OVERHANG: 0"-12"	PLATE 20 GA.	DATE: 02/24/2017
D ---	HUD CODE: ULTIMATE LOAD	MITEK	ZONE I, II AND III
E ---	TEST METHOD: AIR CYLINDER TEST	DRAWING NUMBER: M072-G	

LOAD (PSF) @ 24" C.C.		LOAD (PSF) @ 16" C.C.		LUMBER		GENERAL NOTES - UNLESS OTHERWISE NOTED ON THE DRAWING THE FOLLOWING APPLY TO THIS TRUSS. 1. RIPPED LUMBER GRADE AND SPECIES SHOWN ARE MINIMUM. EQUAL OR BETTER GRADE AND SPECIES ACCEPTABLE. 2. CHORD AND WEB SIZE MAY BE INCREASED PROVIDING EFFECTIVE DEPTH OF THE TRUSS AND NUMBER OF TEETH IN THE MEMBERS REMAIN THE SAME. 3. CHORDS AND WEBS MAY BE 3% UNDER SIZE SHOWN. 4. MEMBERS ARE SQUARE CUT UNLESS OTHERWISE NOTED. 5. TRUSSES MAY BE SHORTENED UP TO 24" IF PANEL POINTS REMAIN PROPORTIONAL. 6. LUMBER MOISTURE CONTENT NOT TO EXCEED 19%. 7. NAILS BOTH SIDES OF JOINTS UNLESS OTHERWISE NOTED. 8. TRUSS IS TESTED TO HUD 3280.402 TESTING REQUIREMENTS THAT TAKE EFFECT ON JANUARY 13, 2014. 9. NAIL SIZE AND GAUGE ARE MINIMUM. EQUAL OR BETTER O.K. 10. TEST RESULTS ON FILE AT NTA. DRAWING NOT TO SCALE. 11. DEAD LOAD FOR UPLIFT 6 PSF 12. ALL CONNECTOR PLATES TO BE PLACED ±1/4". 13. FOR 1X2 PLATES PROVIDE 4 TEETH BITE (MIN.) INTO EACH MEMBER (PER PLATE PER SIDE) 14. TRUSS SHALL BE TIED DOWN FOR UPLIFT LOADS AS NECESSARY UP TO 246 PLF.
TOP CHORD (LL)	20	TOP CHORD (LL)	30	TOP CHORD	1 5/8 x 1 1/2 #2 SPF	
TOP CHORD (DL)	11	TOP CHORD (DL)	16.5	BOT CHORD	1 3/16 x 1 1/2 #2 SPF	
BOTTOM CHORD (LL)	0	BOTTOM CHORD (LL)	0	KING POST	F1 x 1 1/2 #3 SPF	
BOTTOM CHORD (DL)	5	BOTTOM CHORD (DL)	7.5	DIAG WEB	NA NA	
TOTAL	36	TOTAL	54	VERT WEB	F1 x 1 1/2 #3 SPF	
UPLIFT	ZONE I ONLY	UPLIFT	ZONE II & III	HEEL	NA NA	



REVISIONS		DESIGN		WOODPERFECT, LTD	
A	Increased clear span and overall length 2017-05-09	CLEAR SPAN:	N/A	CATHEDRAL TRUSS	
B	Add note 14, C/S as N/A, and cont. bearing 5/16/17	BEARING:	CONTINUOUS	OVERALL LENGTH:	168 1/2"
C	Overhang changed to 10 1/2" from 12" 6/1/17	OVERHANG:	0"-10 1/2"	HEIGHT:	14 11/16"
D	--	HUD CODE:	PROOF LOAD	PLATE 20 GA.	MITEK
E	--	TEST METHOD:	AIR CYLINDER TEST	DATE	02/24/2017
				ZONE	I II III
				DRAWING NUMBER	C072-G

16' Dormer

Job Standard Cottage WP13072	Truss Standard Dormer	Truss Type GABLE	Qty 1	Ply 1	Wood Perfect Standard Cottage Dormer
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Wood Perfect, Guin, AL

7.340 s Feb 24 2012 MiTek Industries, Inc. Fri Feb 22 09:42:47 2013 Page 1

Alternate Splice

This truss is designed for 30 psf ground snow load, Category II, Exp. C, Partially Exp.; Ct = 1.1, ASCE 7-88.

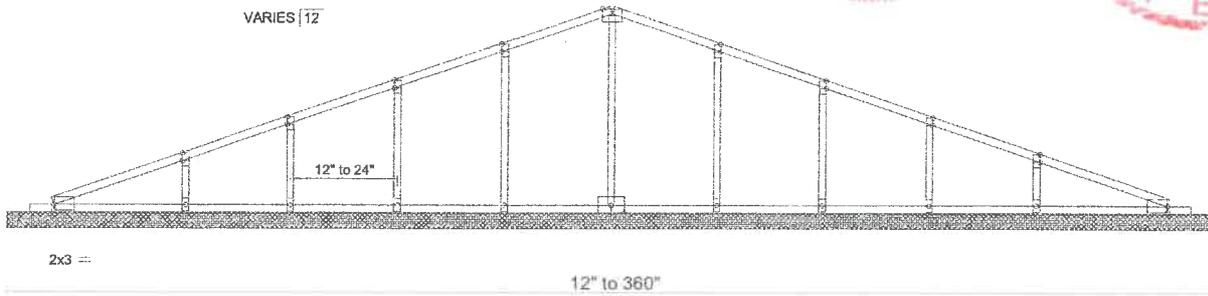


Plate Offsets (X,Y): Vertical webs: 0-1-0,0-0-0 or symmetric, Heel: 0-0-0, 0-0-14 or symmetric.

<b>LOADING</b> (psf)	<b>SPACING</b>	<b>CSI</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL 30.0	2-0-0	TC 0.37	MT20	197/144
TCDL 10.0	Plates Increase 1.15	BC 0.15		
BCLL 0.0 *	Lumber Increase 1.15	WB 0.21		
BCDL 6.0	Rep Stress Incr YES	(Matrix)		
	Code HUD/TPI2007/IRC-IBC2009			

LUMBER

TOP CHORD 1-1/2x1-3/16 to 1-5/8 SPF No.2/STUD  
 BOT CHORD 1-1/2x1-3/16 to 1-5/8 SPF Stud/Std  
 WEBS 1-1/2x1-0/16 to 1-5/8 SPF Stud/Std  
 THERS 1-1/2x1-0/16 to 1-5/8 SPF Stud/Std

BRACING

TOP CHORD Structural wood sheathing directly applied, except end verticals.  
 BOT CHORD Attach directly to truss top chords below at maximum 24" c/c spacing.

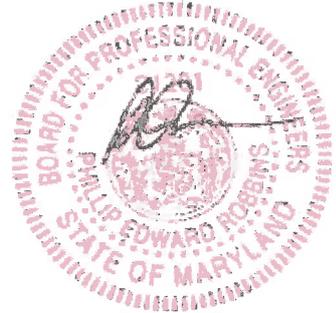
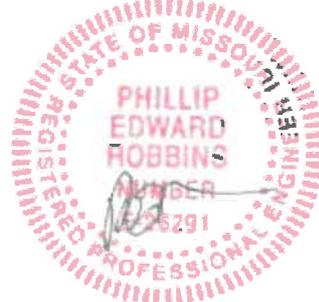
REACTIONS

Maximum 188 lbs uplift at 24" c/c.  
 Maximum 192 lbs gravity at 24" c/c.

NOTES (10-15)

- 1) Wind: ZONE II; TCCL=6.0psf; BCDL=0.0psf; Lumber DOL=1.60 plate grip DOL=1.60
- 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 3) TCCL: Roof=30.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15);
- 4) All plates are 1x2 MT20 unless otherwise indicated.
- 5) Gable requires continuous bottom chord bearing.
- 6) This truss is designed in accordance with the 2009 International Building Code section 2306.1 and referenced standard ANSI/TPI-1
- 7) Wind: ASCE 7-05; 130mph; TCCL=6.0psf; BCDL=3.6psf; h=15ft; Cat. II; Exp C; enclosed; C-C Exterior(2); Lumber DOL=1.60 plate grip DOL=1.60
- 8) All webs and chords shall be optionally square cut at necessary.
- 9) This truss has been designed for HUD WIND ZONE I at 24" c/c (9 psf net uplift truss clear span, 22.5 psf net uplift on overhangs and porches).
- 10) This truss has been designed for HUD WIND ZONE II at 24" c/c (39 psf uplift truss clear span, 51 psf uplift on overhangs and porches) and 6 psf dead load.
- 11) This truss has been designed for HUD WIND ZONE III at 16" c/c (47 psf uplift truss clear span, 62 psf uplift on overhangs and porches) and 6 psf dead load.
- 12) This over framing has been designed for HUD WIND ZONE III at 24" c/c (39 psf uplift truss clear span, 51 psf uplift on overhangs and porches) and 3 psf dead load.

LOAD CASE(S) Standard



4/25/13

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Broad Creek Marina Housing

DRB#: DRB-002326-2022

DATE: 09/15/2022

CATEGORY: Alteration/Addition

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“To achieve Island Character the architectural design of structures shall be visually harmonious with the overall natural appearances, history and cultural heritage of Hilton Head Island. Structures must be designed to be unobtrusive and set into the natural environment. They should demonstrate a strong relationship to the outside and avoid appearing foreign to the site.” (Design Guide, Page 12)
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is no pedestrian connections to adjacent development. Pedestrian walks around the units are angular and to not represent typical human walking habits.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“For a project to achieve Island Character a site analysis must be used to identify features and constraints to be considered in order to lose nothing but see more.” (Design Guide, Page 6) This was not accomplished.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“The overall exterior color scheme must be selected to be harmonious with the neighborhood and blend with

				the natural surroundings of the site. Earth tones must be chosen as the predominant colors.” (Design Guide, Page 16) On this site the proposed colors would stand out from the “natural surroundings”.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“In larger structures a variety of forms can provide greater visual interest and break up large roof planes.” (Design Guide, page 13) These are not large structures but there are five of them with no proposed variation. At a minimum consider a different material on the short gables.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“Roof form is also a key element to achieve Island Character. Typically gable, hip or shed roof forms are desirable with a minimum pitch of 6/12.” (Design Guide, Page 13) The pitch of the roofs on the units is too flat to achieve Island Character.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“Overhangs of sufficient depth and in proportion to the façade height can also be important to roof form and for shadow play.” (Design Guide, page 13) “Details such as exposed rafter tails, brackets, and louvers all add to Island Character.” (Design Guide, page 15) Proposed overhangs are insufficient detailing is missing to achieve Island Character.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“All materials should be high quality, durable materials, suitable for the Hilton Head Island environment... The use of wood or wood simulating materials is strongly encouraged.” (Design Guide, page 15) In Staff’s opinion the proposed siding is not the quality required on commercial or multifamily development historically approved by the DRB.
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“Window openings must be in proportion to the façade or façade element and have a unified relationship in overall design.” (Design Guide, page 15) Window placement lacks rhythm and appear out of proportion across the façade. The gable ends have no windows and are void of any architectural detail.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Please provide detail, materials, and finish for the proposed wood privacy fence around the units.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>

Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	“The landscape, the site’s existing and new vegetation, plays an essential role in creating the Island Character... Landscape plantings of new vegetation, is to be used to supplement the existing vegetation and provide for a harmonious setting for the site’s structures,... (Design Guide, page 18) The landscape plan does not adequately reflect what is required in the Design Guide.
--	--------------------------	-------------------------------------	--------------------------	--

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
3. DRB Jurisdiction Explanation - Typically the DRB does not review single family buildings or manufactured homes. Because these manufactured homes are being added to an existing commercial development makes them an Alteration / Addition to the commercial development; and because there are multiple units on one parcel the addition is multi-family, which is within the jurisdiction of the DRB.
4. Staff does not think the proposed location is compatible with, and negatively impacts the zipline facility that runs above the units.



B

Final Approval – Proposed Development

Final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 6-3-6.F.3.

Final site development plan meeting the requirements of Appendix D: D-6.F.

Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

Final floor plans and elevation drawings (8"=1' minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

A color board (12" x 7" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Alterations/Additions

All of the materials require for final approval of proposed development as listed above, plus the following additional materials.

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 6-6-4.C.2, and applicable, location of bordering streets, marshes and beaches.

Photographs of existing structure.

Signs

Accurate color rendering of signs showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

Site plan (1"=30' minimum scale) showing location of signs in relation to buildings, parking, existing signs, and property lines.

Propose landscaping plan.

For wall signs:

Photograph or drawing of the building depicting the proposed location of the sign.

Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. [ ] YES [X] NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

8/31/22 DATE

August 31, 2022

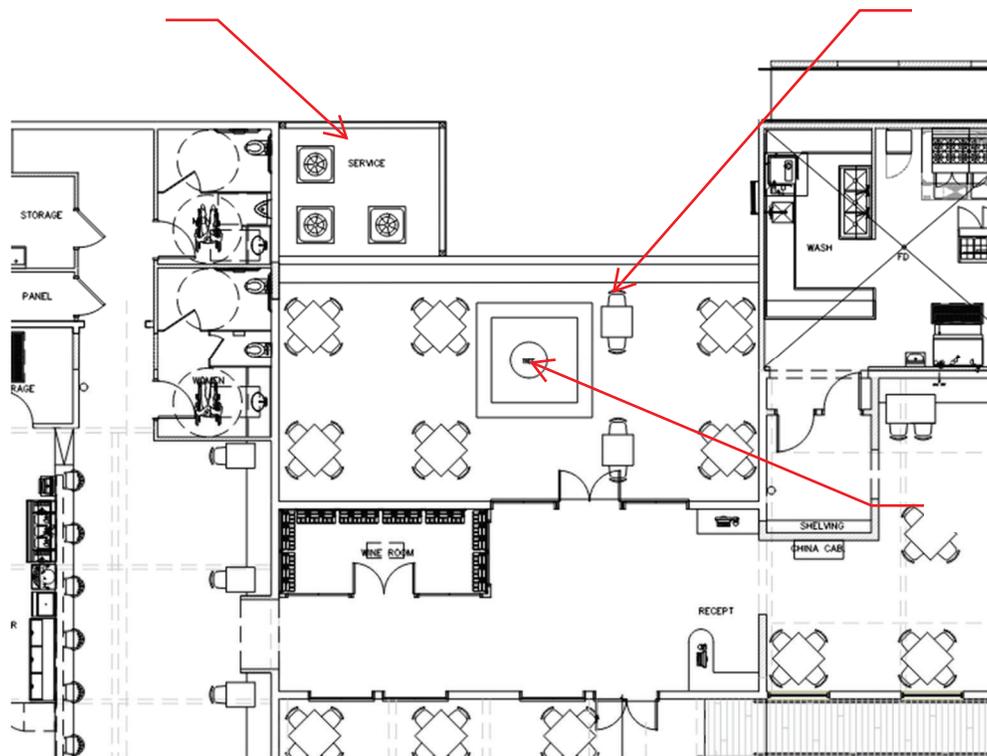
Town of Hilton Head Island  
Design Review Board

RE: Nunzio Restaurant and Bar – Porch Addition

DRB Members

We are please to present for your review the porch renovation/addition to Nunzio Restaurant and Bar at 16 New Orleans Road.

The addition will be located at the rear of the building which faces Highway 278. The existing rear deck is shielded by a stucco wall which inhibits air flow to the exterior dining area. The deck is also uncovered which hinders the exterior dining during tome of rainy weather. (Image 1, Image 2)



*Image 1: Existing plan*



*Image 2: Rear façade at addition location*

The new addition will be an extension of the existing deck of approximately 8 feet towards the rear of the property. It will include a new trellis over the existing and new deck. (Image 3) This trellis will include areas covered by translucent roofing panels to protect the diners from the rain. (See attached information) The mass of the stucco wall will be replaced with a louvered wall system constructed by 6X6 wood members to allow for air circulation. (Image 4) All materials and colors shall match the existing structure. The new area will be lit with wall sconces to match the existing lighting currently on the deck. (Image 5) New heaters will also be added that match the existing heaters on the property. (Image 6) The trellis will screen these items from view.

New landscaping will be added to supplement the existing in the form of Carolina Cheery Laurels and Confederate Jasmine to grow on the trellis which is similar to the entry patio at the front of the restaurant.

Relocated service yard

New deck extension

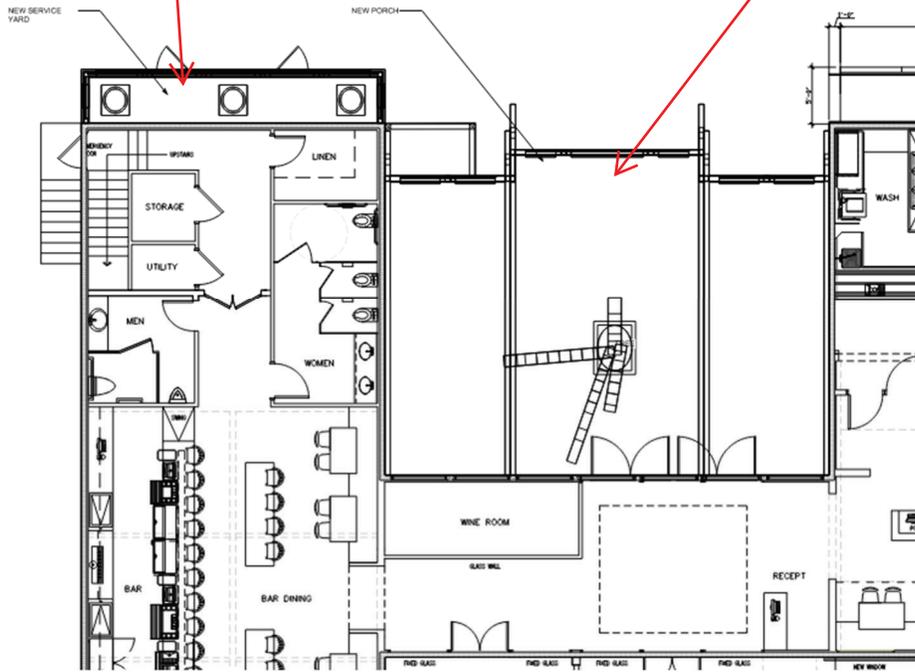


Image 3: New plan

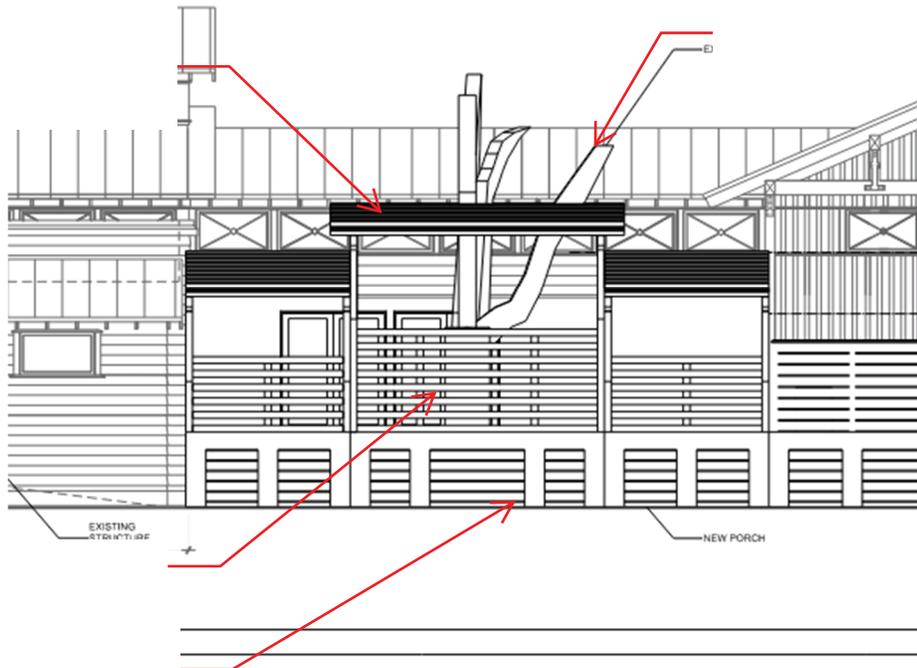


Image 4: New trellis and lattice wall



# SUNSKY®

Corrugate i o carbonate Sk ight an iSi e ight anes i



AGRICULTURE



CONSTRUCTION



## Overv ew i

SunSk i corrugate ipo icarbonate i pane s stan i up to punishing i exterior app ications an i offer i mu tip e a i advantages over i tra itiona fiberg lass corrugate i pane s. SunSk i provi es up to 20 i times greater impact resistance, i warrant i protection against i e owing, exce ent oa iratings, i an i the highest resistance to win i up i t-outstan i ng properties i confirme i b i in i open i ent i laborator tests an i in i nsta tions i wor i wi e since 1984. i

SunSk i s avai ab e in so t white i or maximum ight transmission i without glare, as we i as c ear an i a range o i to rs to fi ter ight or i re iuce heat oa i b. i

[palram.com/us](http://palram.com/us) i

## Main Benefits i

- Virtua i unbreakab e i
- Se f extinguishing i
- High transmission of natura i a ight i
- Retains optica c arit over time i
- Engineere i to sta i tough over a wi e i temperature range (-40°F to 212°F) i
- Easi an i safe i i nsta e i
- 10 ear i mite i warrant (oss of ight transmitting capabi i t ; i damage i ue to hai) i
- Hai an i win i resistant (*FBC approved*) i
- Superior, in iustr ea i ng UV a er i provi i ng 100% UV protection i
- Ma e in the USA i



## T pica App ications i

- Sk i ghts for corrugate i meta roofs i
- Si e ights i
- Roofing i
- Ri ge ights (using SunSk ri ge cap) i

### Look ng for reduced glare and less shadows? i

Un ike competing pro ducts, i Ask for SUNSKY i SunSk i Soft White isn't just i  white i c with less white tint. i It's a vance i techno og , proven to provi e 100% i i ffusion an i 85% ight transmission. Soft White i sprea s ight an i re iuces harsh sha ows an i glare. i



S gck Pr fil s and Availabili y\* g

Profile Name g	Basic Profile Dimensions g	Thicknesses (mm) g			Standard Lengths (Ft.) g					Colors g			
		0.8	1.0	1.20	8'	10'	10 1/2'	12'	16'	Clear g	Soft White g	White g	Solar Gray g
SunSky 9" g		★ g	★ g		★ g	★ g		★ g	★ g	★ g	★ g	★ g	★ g
SunSky 12" g		★ g	★ g		★ g	★ g		★ g		★ g	★ g	★ g	
SunSky Ridge Caps g		★ a	★ g	★ b				★ g		★ g	★ g	★ g	

C gmmorySp gcial y Pr fil s\* (Subject to minimum order requirements. Other profiles available.) g

9" Classic Rib g		★ g			★	★		★		★ g		★	
9" ProPanel II g		★ g			★	★		★		★ g		★	
9" Frontier g (a.k.a. SUN UF6010)		★ g						★		★		★	
7.2 MegaRib g			★ g					★		★		★	
2.67" LP g			★ g					★		★		★ g	
2.67" SP g			★ g					★		★		★ g	
5V Crimp g			★ g					★		★		★ g	
Sunsky Mini g		★ g						★		★		★ g	
Sunsky U-Panel g (a.k.a. SUN UF9600)		★						★ g				★	

\*Special dimensions and colors are available, subject to minimum order. g  
 †For detailed profile drawings, fastening patterns, snow/wind g load & g spanning capabilities, see the technical addendums at palram.com/us/sunsky g

Availabl C I rs and Ligh Transmissi n g

Color g	Light Transmission g	Color g	Light Transmission g
Clear g	90% 5	White Opal g	45% 5
Soft White g	85% 5	Solar Gray g	35% 5

N g d Ma chy ur wn g Cus gm Pr fil ? g

Palram can match virtually any metal profile in just a few short weeks, and with minimal order requirements. g Talk to your Palram rep or call Palram. g



**PALRAM AMERICAS g**  
 9735 Commerce Circle g  
 Kutztown, PA, 19530 USA g  
 800.999.9459 g  
 ContactUs.USA@palram.com g  
 palram.com/us g



Authorized Distributor

Availabl xclusiv ly fr m Palram: g

SunSky 12 f r High r L ads & Wid r Purlin Spans g

1mm and 1.5mm thick SunSky 12 for applications that require better loading capabilities, FBC Approval, or for greater spans between purlins. Contact Palram. g



R gula gry C d C mplianc C r ifica i n g

Organization g	Standard g	Classification g
Florida Building Code g	FBC 2020 (SunSky 12 in 1mm or 1.5mm required) g	FL11238 Roof Deck g FL11240 Structural Wall Applications g
Miami Dade County g	FBC 2020 g (Canopy Approval) g	NOA Approval
City of Los Angeles g	LABC 2020 (Light Transmitting Plastics) g	ESR 1893 Supplement
ICC (International Code Council) g	IBC 2021 (Light Transmitting Plastics) g	ESR-1893
TDI (Texas Dept. of Insurance) g	IBC 2018 (SunSky 12 in 1mm or 1.5mm required) g	RWA-04

Inasmuch as Palram Americas has no control over the use (and/or installation method) to which others may put this material, it does not guarantee that the same results as those described herein will be obtained. Each user of the material should make their own test to determine the suitability of the material for their own particular use. In the event of a warranty claim for product failure, Palram Americas reserves the right to inspect any or all of the sheets involved and the installation site itself while the sheets are still in their original position and have not been removed or moved or altered in any way. g  
 © 2022 Palram Americas g





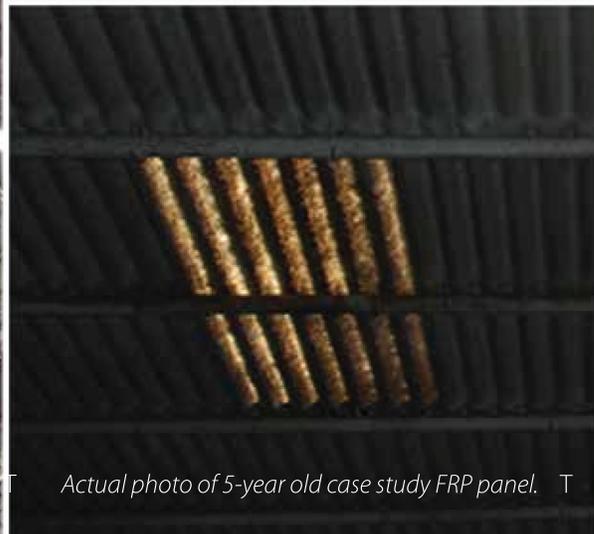
C A S T S T U D Y T



Actual photo of case study test structure. T



Actual photo of 5-year old case study FRP panel. T



Actual photo of 5-year old case study SUNSKY® panel.

# Case Study

erg use & light transmission in machine shops, Sun sky vs. FRP sheets



**Build On.**

# Energy use & light transmission in machine shops, SunSky® vs. FRP sheets

## Purpose:

Evaluate lifecycle energy savings & lumen depreciation of Standard FRP (Fiberglass Reinforced Plastic) Sheets available in the market & SunSky polycarbonate sheet produced by Palram, Ltd.

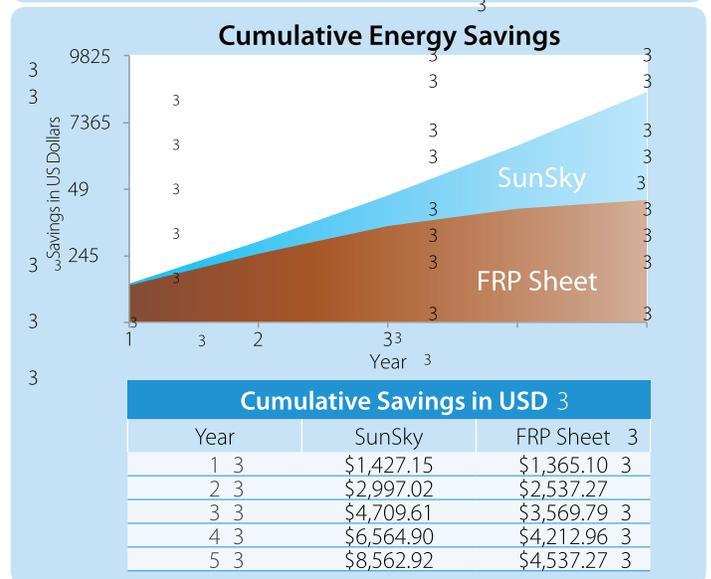
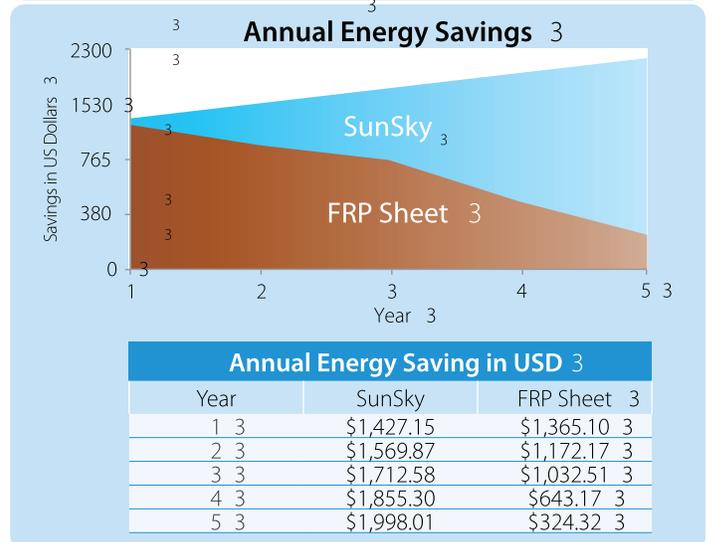
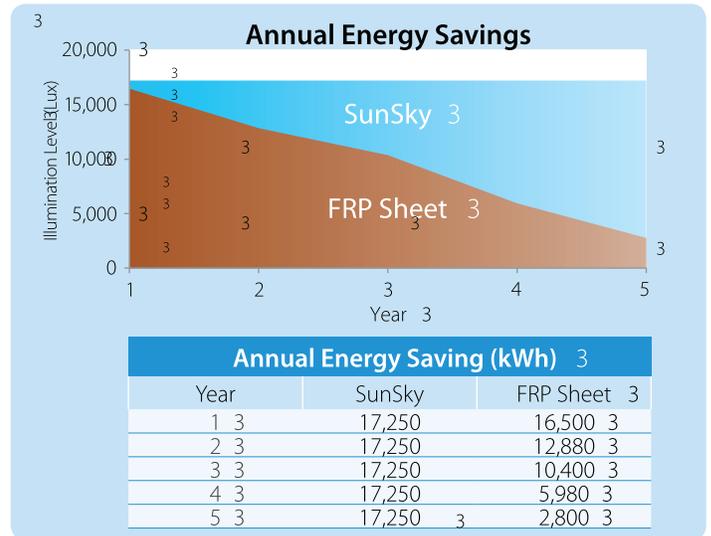
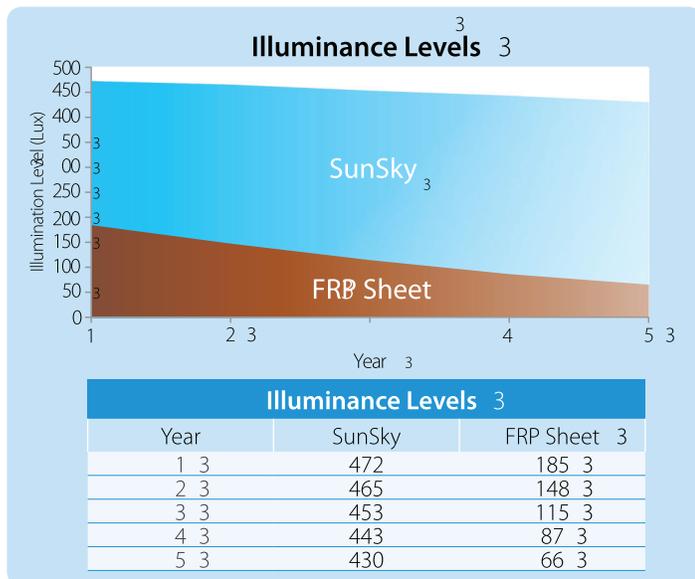
## Method:

For our detailed study, we selected a pair of near identical machine shop sheds, which had an area of approximately 12,910 sq. ft.

The units operated for 24 hours a day and for 300 days a year and were illuminated by 200 Watt metal halide lamps. By installing an energy meter in the Main Lighting Distribution Board of the respective units, we measured power consumption over a week before sheets were installed on the roof covering to provide daylight in the shed. We took an identical set of measurements to record the illuminance level at different times of day at various places. The SunSky sheets were installed on the roof of one of the sheds while standard FRP sheets were installed on the roof of the other shed. We installed a timer to note and monitor the period during which the lamps were actually switched off.

We monitored the energy consumption as well as off time of the lamps by noting the requisite data on a day-to-day basis. The illuminance levels were measured once per week at different times of the day in both sheds at the same time intervals; the test continued for five years. After five years there was virtually no savings in the unit with the FRP sheets due to reduced light transmission of the FRP sheets over time.

## Observations & Findings:

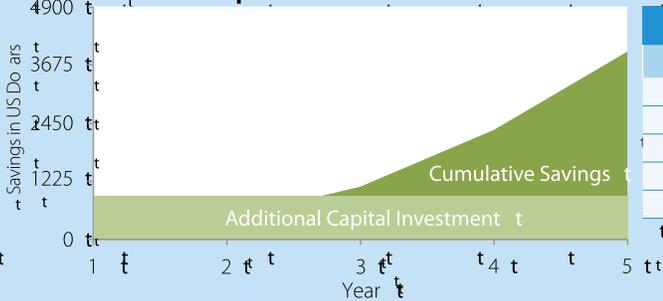


### Economics



Year	Savings
1	\$1,427.15
2	\$2,997.02
3	\$4,709.61
4	\$6,564.90
5	\$8,562.92

### Comparison with FRP Sheets



Year	Savings
1	\$62.05
2	\$459.75
3	\$1,139.82
4	\$2,351.95
5	\$4,025.65

### Installation Details

Description	Units	Unit – I FRP Sheets	Unit – II SunS
Width of the premises	ft	98.4	98.4
Length of the premises	ft	131.2	131.2
Area of the premises	ft <sup>2</sup>	12910	12910
Height of fitting from working level	ft	14.8	14.8
Operation	Hr/ day Days/ year	24 300	24 300
Type of lamp	Metal Halide	Metal Halide	Metal Halide
Rating of the lamp		250	250
Number of fittings	—	20	20
Average Illuminance	Lux	200	200
Duration of the installation	hr	2	2
Annual power consumption	kh77	36000	36000
Cost of Translucent sheet	USD	\$ 96.0	\$1, 89.20

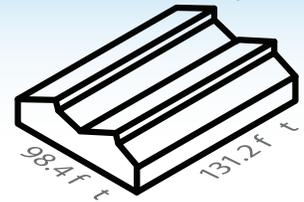
### Attainment Elements

Duration of the test: April 00 through September 01 7

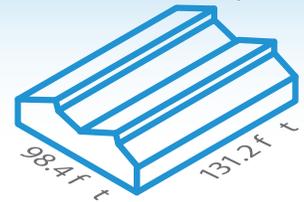
Description	Unit	Year 1		Year 2		Year 3		Year 4		Year 5	
		FRP Sht.	SunSky	FRP Sht.	SunSky	FRP Sht.	SunSky	FRP Sht.	SunSky	FRP Sht.	SunSky
Illuminance	Lux	185.4	72	184	65	115.4	61	87.4	57	66.4	8
Time-Lamp Off	Hr/day	11	11.5	9.2	11.5	7.6	11.5	7.6	11.5	6.9	11.5
Day-Lamp Off	Days/300	300	300	280	300	257	300	225	300	203	300
Lamp On	Days/300	0	0	0	0	0	0	5	0	10	0
Energy Saving	kh77	16500	17250	12880	17250	1000	17250	5980	17250	2800	17250
	USD	1,365.10	1,271.5	1,172.17	1,569.87	1,032.51	1,712.58	633.17	1,855.30	323.32	1,998.01

### Reference for Installation Details

Unit 1: 12,910 sq. ft.



Unit 2: 12,910 sq. ft.

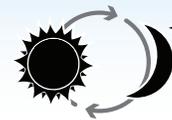


### Lighting Specs



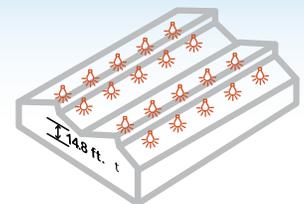
Bulb: Metal Halide  
Wattage: 250  
Avg. Illum.: 200 Lux

### Operating Time and Duration of Measurement

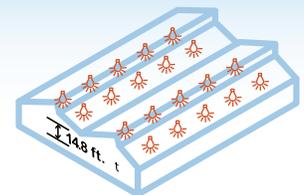


24 Hours/Day    300 Days/Year

Unit 1: 20 Lights @ 14 ft. Height



Unit 2: 20 Lights @ 14 ft. Height



Findings								
Description	Units	FR Shets			SunSky			Drop %
		First Year	Fifth Year	Drop %	First Year	Fifth Year	Drop %	
Illuminance Lux	1850	660	6%	4	7	8	5%	
Time-Lamp Off Hr/day	110	69	3%	7%	115	115	0%	
Days-Lamp Off Days	3	2	0%	3%	3	3	0%	
Lamp On All Day Days	0	100	50%		0	0	0%	
Energy Savings kWh	16500	2800	8%		1750	1750	0%	
USD	1,65,103		7%	6%	1,71,500	1,71,500	30%	Gain

### Observation & Conclusion:

- SunSky provided a high and more uniform illuminance level than standard FR shets over the entire period of five years. The illuminance level of SunSky averaged at 50 Lux whereas FR shets averaged approximately 1.5 Lux during the same period.
- The unit with FR Shets observed a luminaire depreciation of 66% as against approximately 5% for the unit with SunSky during the period of five years.
- The unit with FR shets was forced to switch on the artificial light during daytime on rainy/cloudy days right from day on; switching on the artificial light kept increasing over the period. The unit with SunSky never switched on the artificial light during daytime during the entire period of five years.
- The unit with FR shets required switching to artificial lighting in twilight zones - varying as well as morning; but no such concern was felt by the unit with SunSky. The "Lamp on" indicator kept on increasing during twilight period as the days passed by.
- At the end of third year/beginning of fourth year, the unit with FR shets switched on lamps throughout the day to illuminate critical areas; required maintenance of artificial illuminance increased as the days passed. The unit with SunSky required no artificial illumination to supplement the lighting.
- At the end of fifth year the unit with FR shets had to switch on all the lamps since the shets became practically opaque whereas the unit with SunSky could easily rely on natural daylight.

### About PALRAM

With 50 years of experience in the industry, ALRAM has established a manufacturing, distribution and sales operations across seven continents and 100 countries around the world. PALRAM markets its products to the sign and graphics markets, as well as to the commercial, industrial, residential, marine, and do-it-yourself construction markets.



ALRAM corrugated polycarbonate products are sold under the trademark name Suntuf® (and SunSky in North America). PALRAM also offers the MetalMatch™ technology, allowing the use of SUN-TUF polycarbonate panels for daylighting options with virtually any metal profile available. Suntuf is offered in a range of colors, including a soft white to eliminate glare. PALRAM also offers Sunlit®, a multi-wall polycarbonate sheet for skylights, roof lights, or side-lighting applications.

### About SENERGY Consultants

Senergy Consultants' mission is to "provide total solutions to optimize resource utilization for the mutual benefits of our customers, the nation and the society at large." As the name emphasizes, it's the synergy between Senergy and YOU that alone can facilitate the optimum utilization of energy. Senergy was founded with this concept in early 1990 and has grown up with the same Senergy believes that the ultimate aim of an energy study is the realization of the savings. Senergy provides frank and practical solutions. A base of over 1000 satisfied Clients with many repeat orders from their Sister/Associated Concerns serves as testimony of Senergy's capabilities and results. Senergy is a member consultant with Maharashtra Energy Development Agency (MEDA) & Gujarat Energy Development Agency (GEDA). Senergy has Accredited and Certified Energy Auditors by Bureau of Energy Efficiency.



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Govandi East, Mumbai 400088, India  
Phone: +91 22 555 07  
Website: http://www.senergy-india.com

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*Image 5: Existing wall sconce*



*Image 6: Existing exterior heater*

Existing Photos



*Existing facade facing highway 278*



*Rear deck area enclosed by wall*



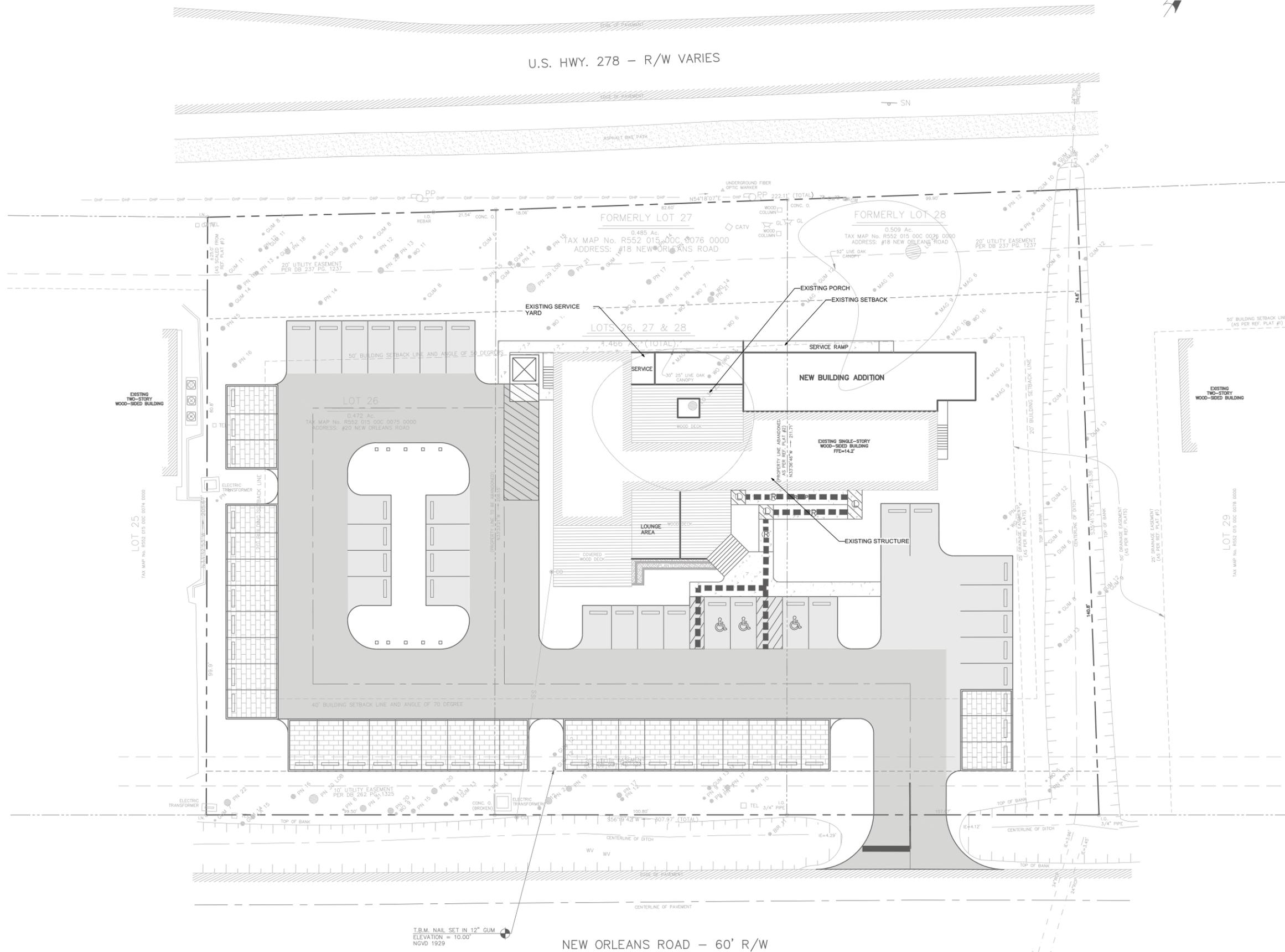
*Rear of building at new service yard location*



*Front of building with jasmine*



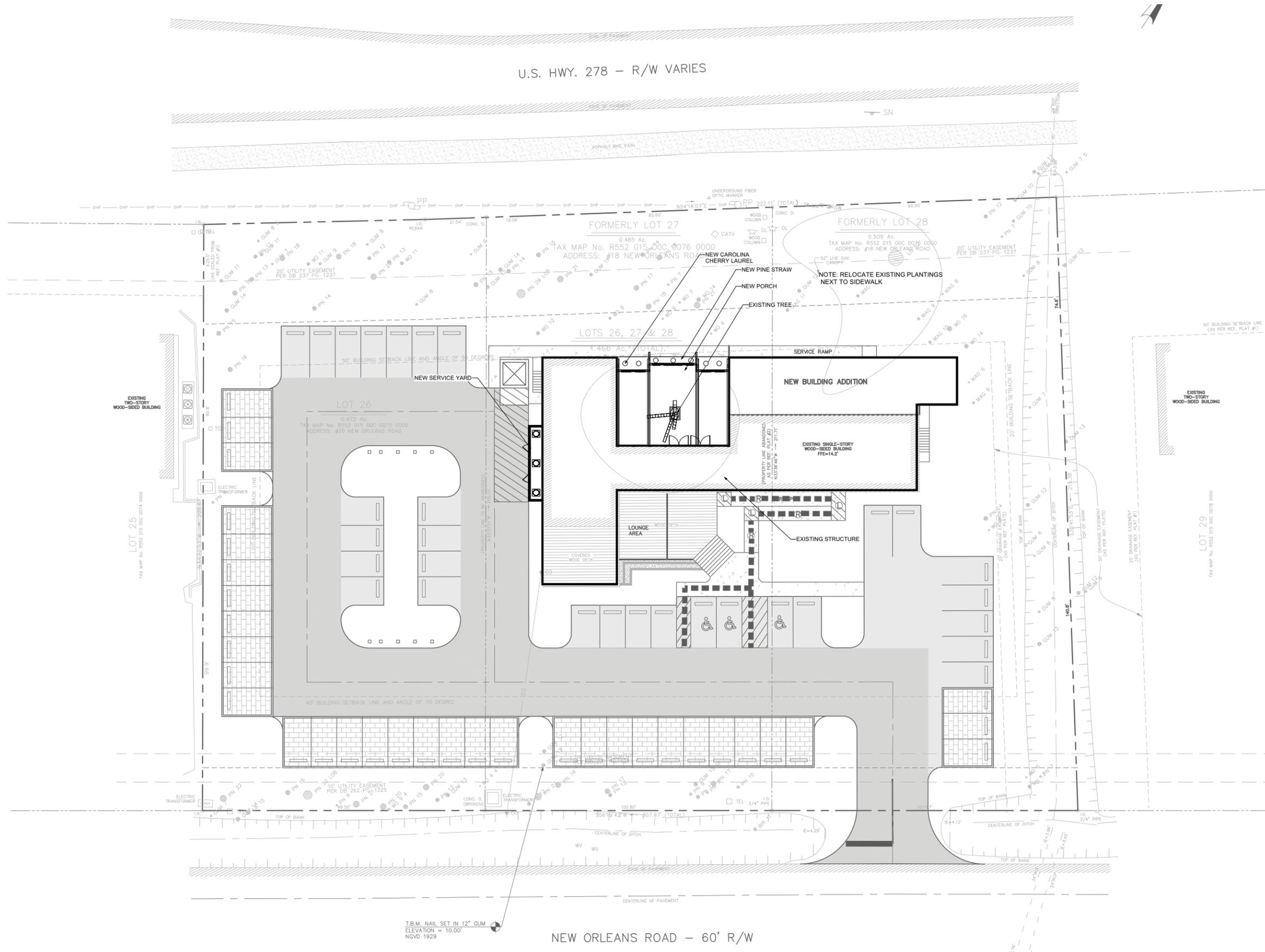
*Existing foundation detail*



GRAPHIC SCALE

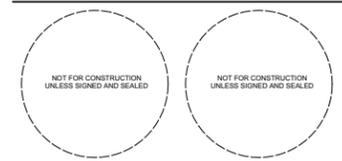
0 20 40 80

1 EXISTING SITE PLAN  
Scale: 1/16" = 1'-0"



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PROJECT:  
**NUNZIO'S  
RESTAURANT**

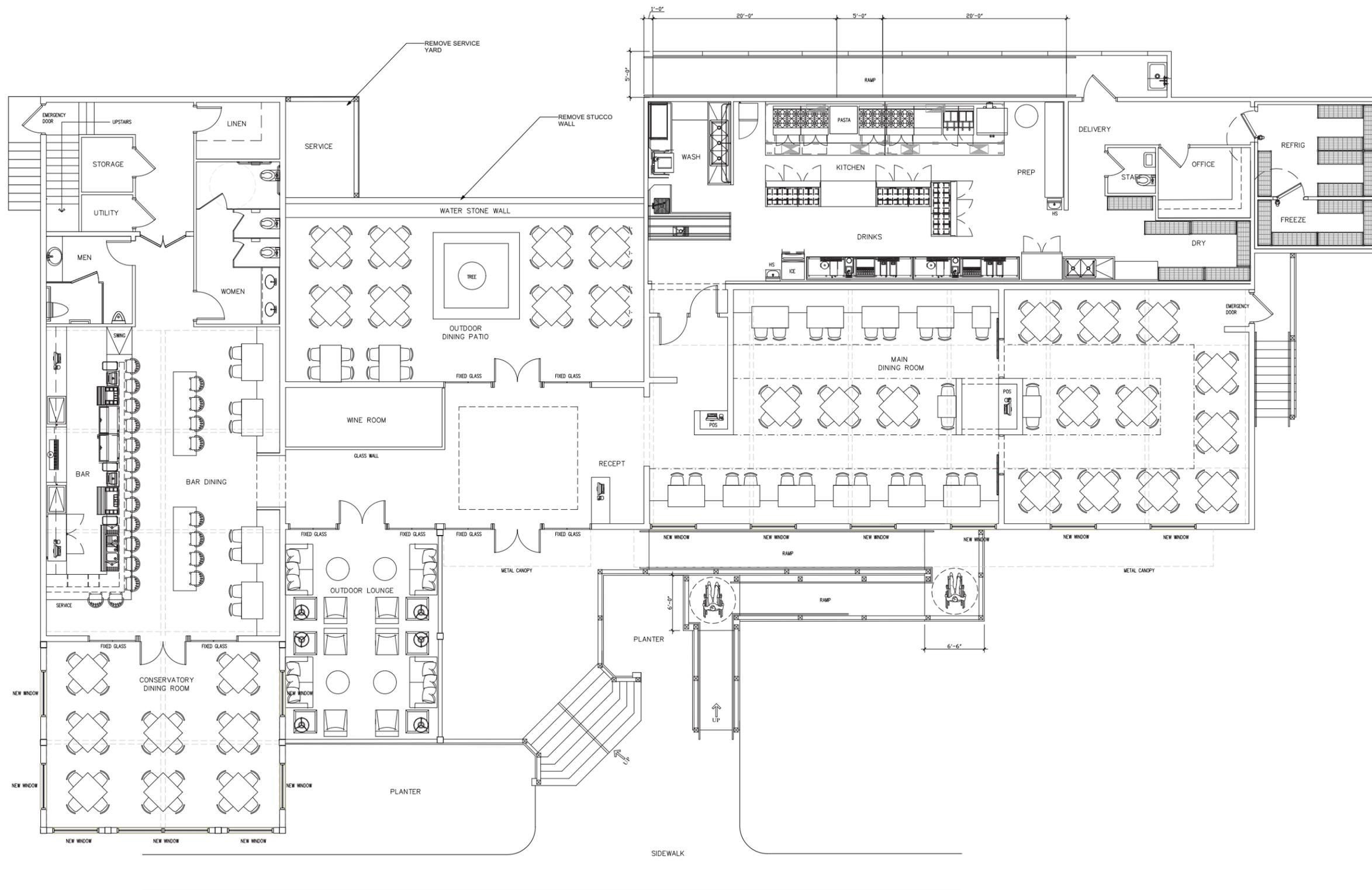
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Hilton Head Island, SC**

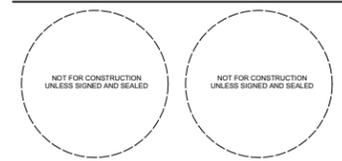
ISSUE / REVISION:  
9/19/2022 UPDATED SERVICE YARD  
AND SITE PLAN

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DRAWING SCALES ARE PROVIDED FOR REFERENCE ONLY. DO NOT SCALE DRAWINGS. ORIGINAL SHEET SIZE - 24"x36"

DRAWN BY: D. SKLAR  
REVIEWED BY: D. SKLAR  
PROJECT ID: 21-016B  
SHEET TITLE:

**EXISTING FLOOR  
PLAN**





PROJECT:  
**NUNZIO'S  
RESTAURANT**

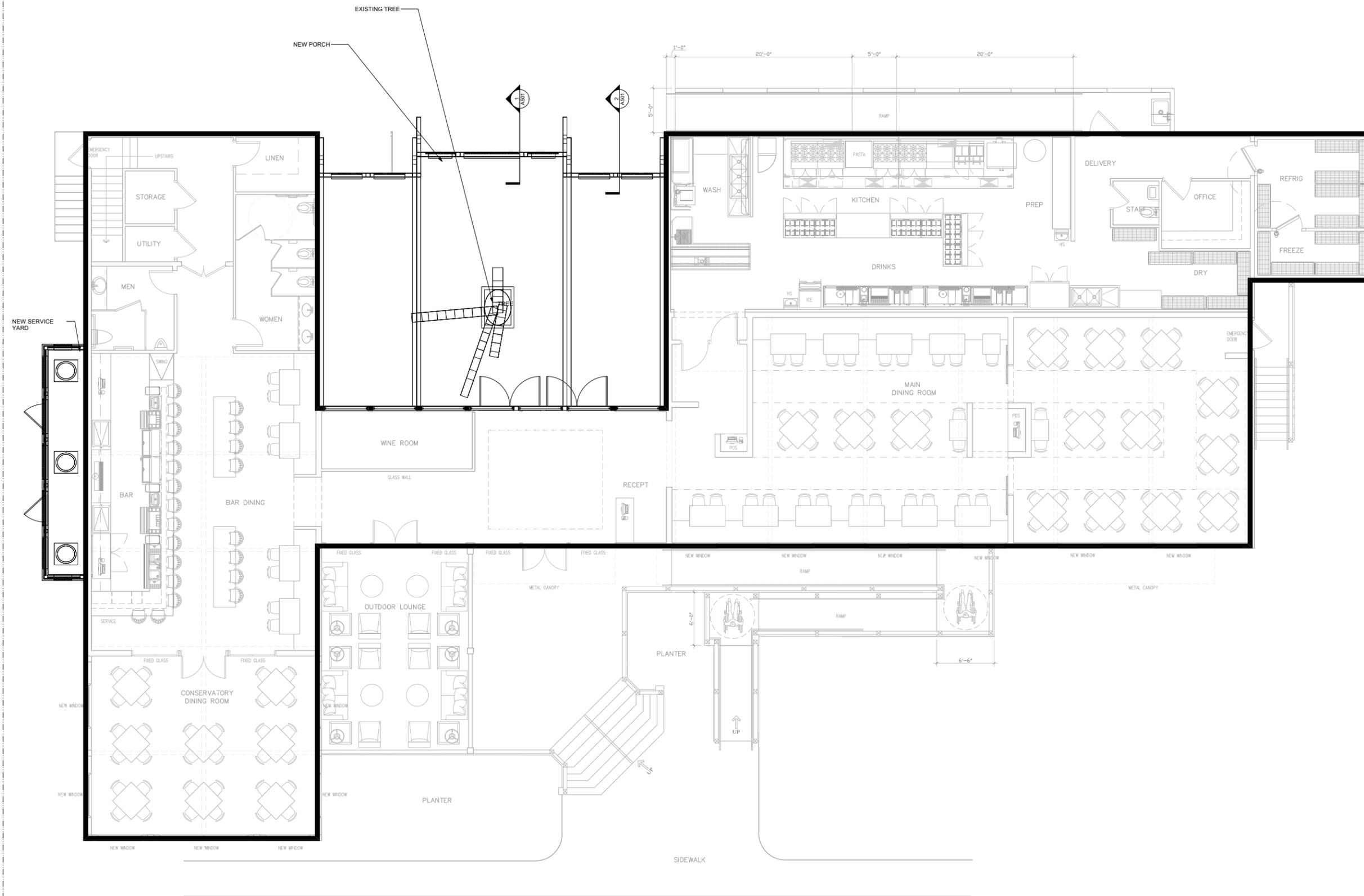
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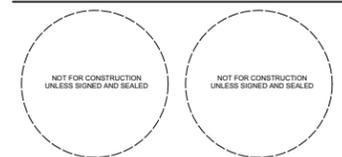
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DRAWN BY: D. SKLAR  
REVIEWED BY: D. SKLAR  
PROJECT ID: 21-016B  
SHEET TITLE:

**PROPOSED FLOOR  
PLAN**





PROJECT:  
**NUNZIO'S  
RESTAURANT**

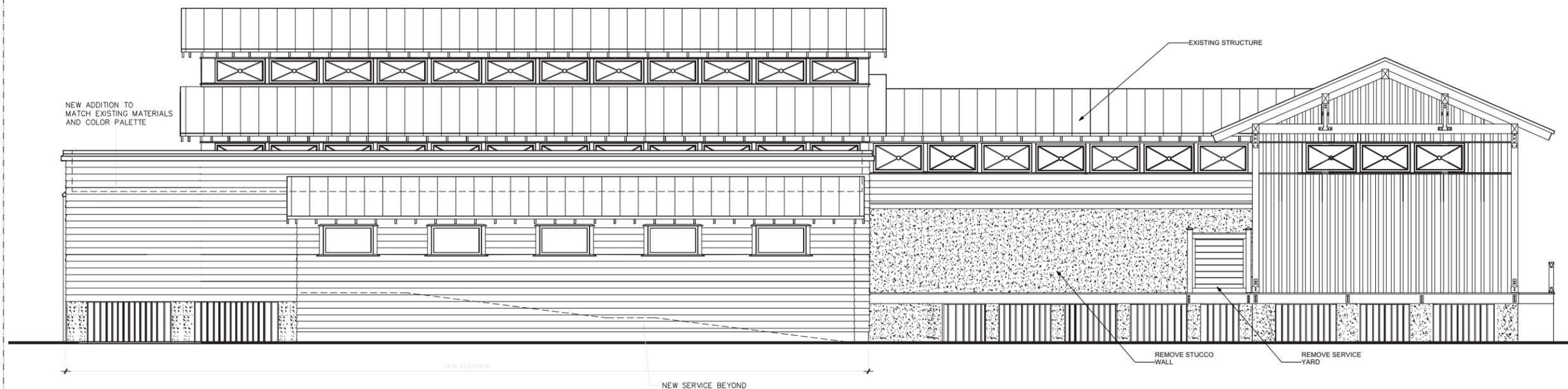
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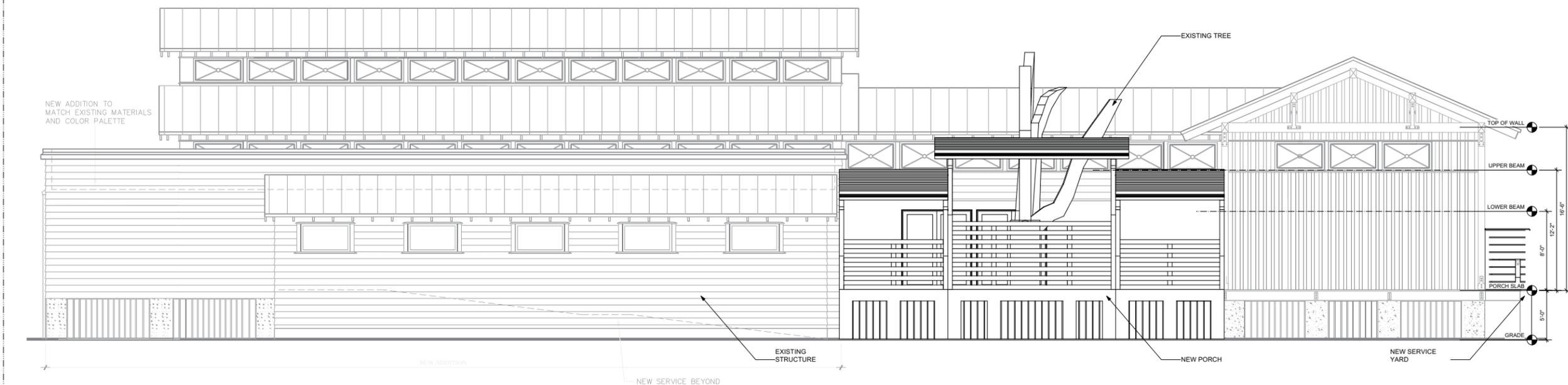
DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**ELEVATIONS**

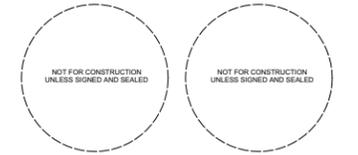


**2** EXISTING REAR ELEVATION  
Scale: 3/16" = 1'-0"

**ELEVATION GENERAL NOTES**  
1. ALL MATERIALS AND COLORS TO MATCH EXISTING ONES.



**1** PROPOSED REAR ELEVATION  
Scale: 3/16" = 1'-0"



PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
Hilton Head Island, SC**

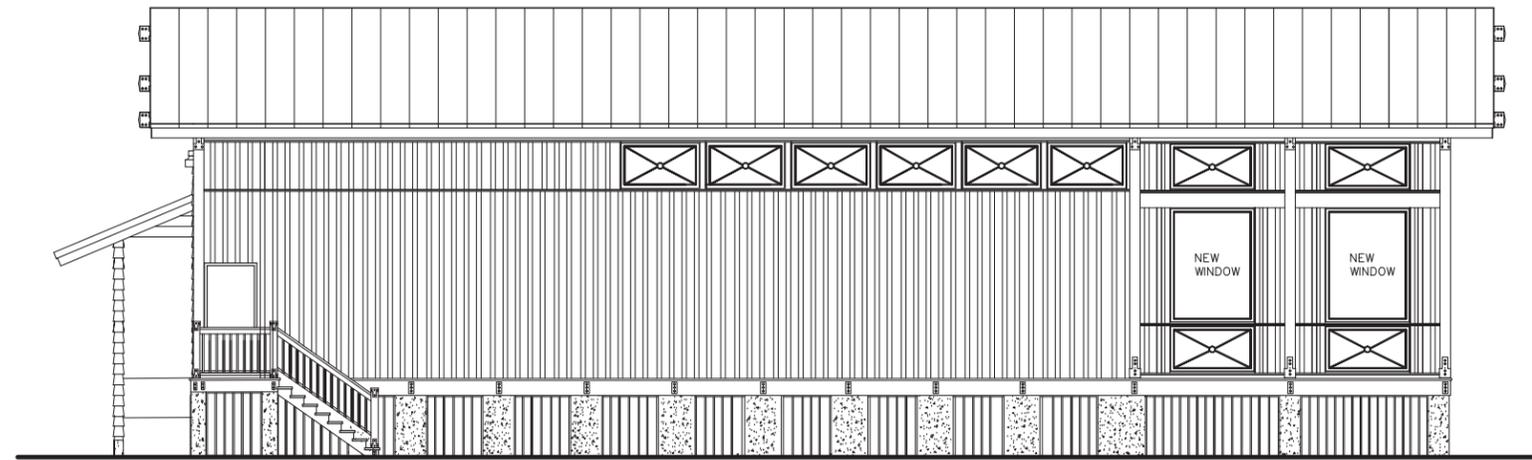
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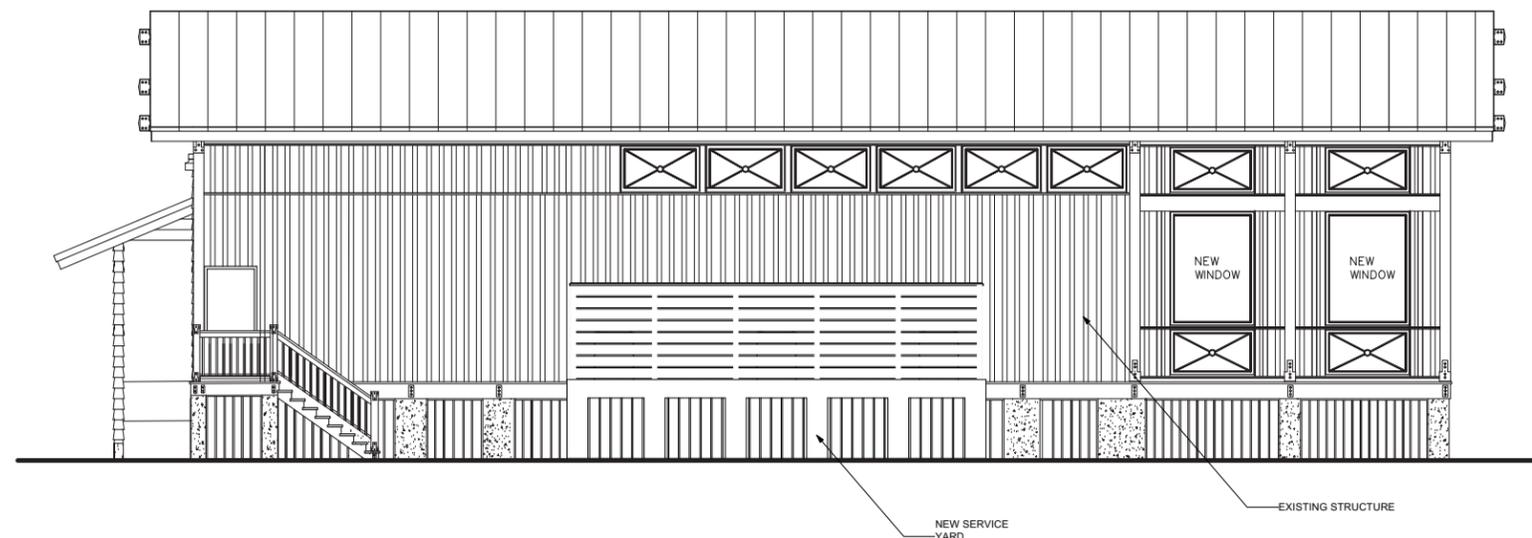
DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**ELEVATIONS**

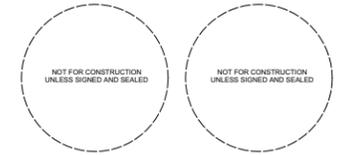


**2** EXISTING LEFT ELEVATION  
Scale: 3/16" = 1'-0"

**ELEVATION GENERAL NOTES**  
1. ALL MATIEALS AND COLORS TO MATCH EXISTING  
ONES.



**1** PROPOSED LEFT ELEVATION  
Scale: 3/16" = 1'-0"



PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
Hilton Head Island, SC**

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9/19/2022 UPDATED SERVICE YARD  
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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**ELEVATIONS**

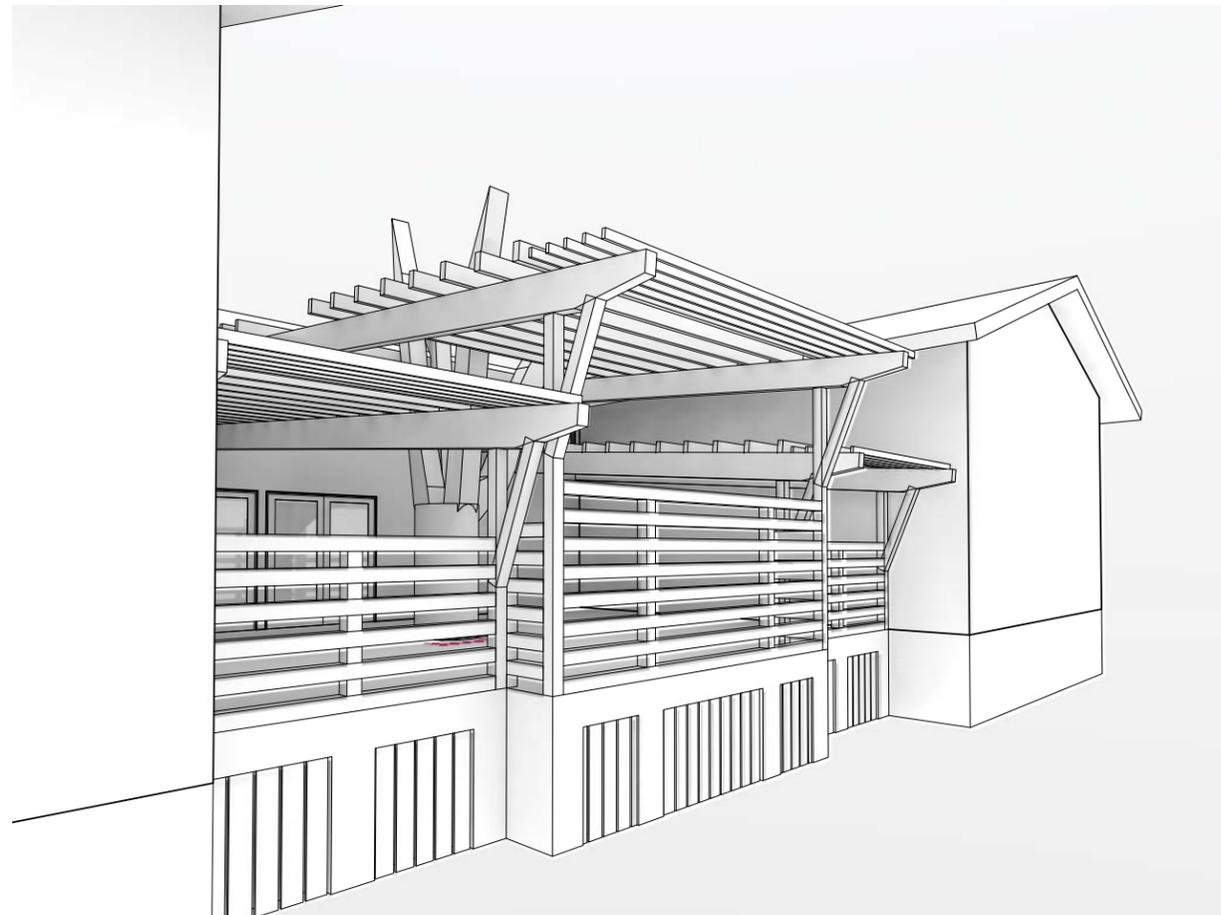
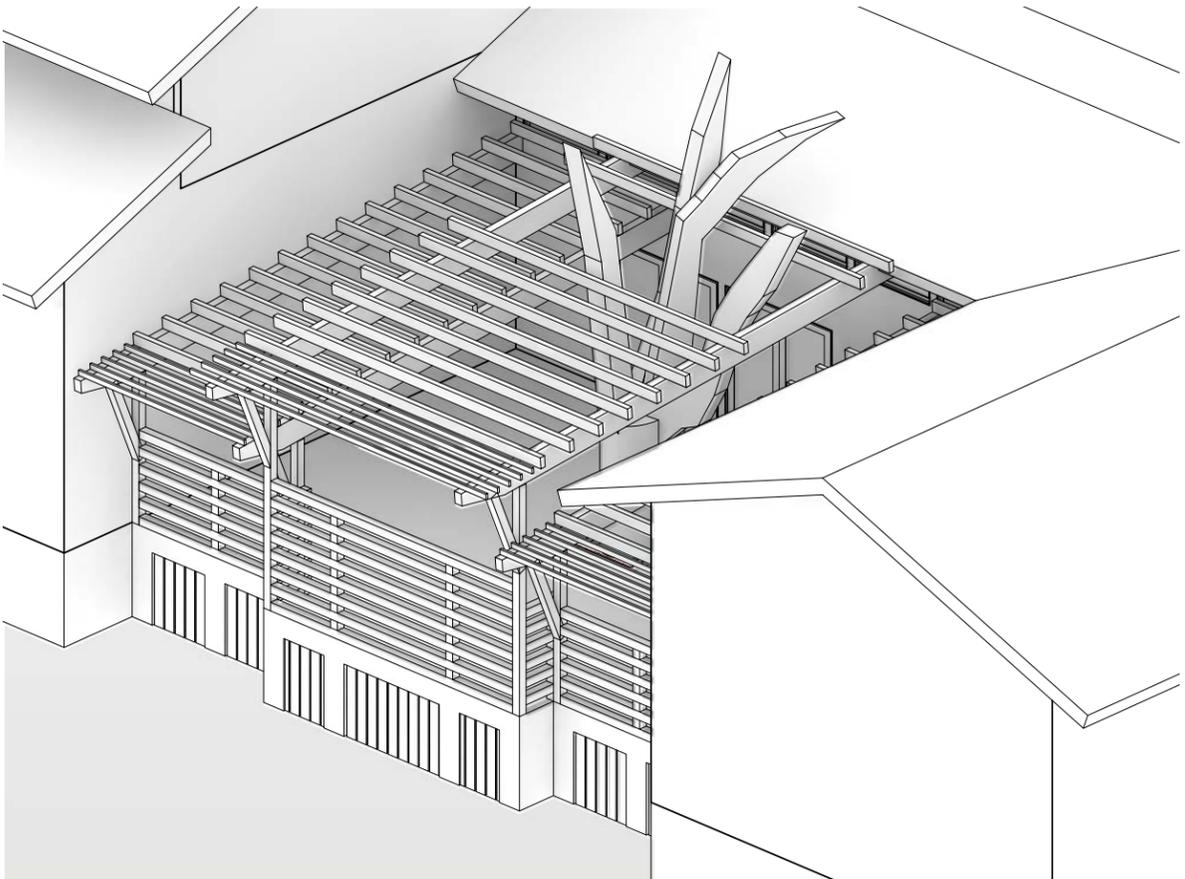
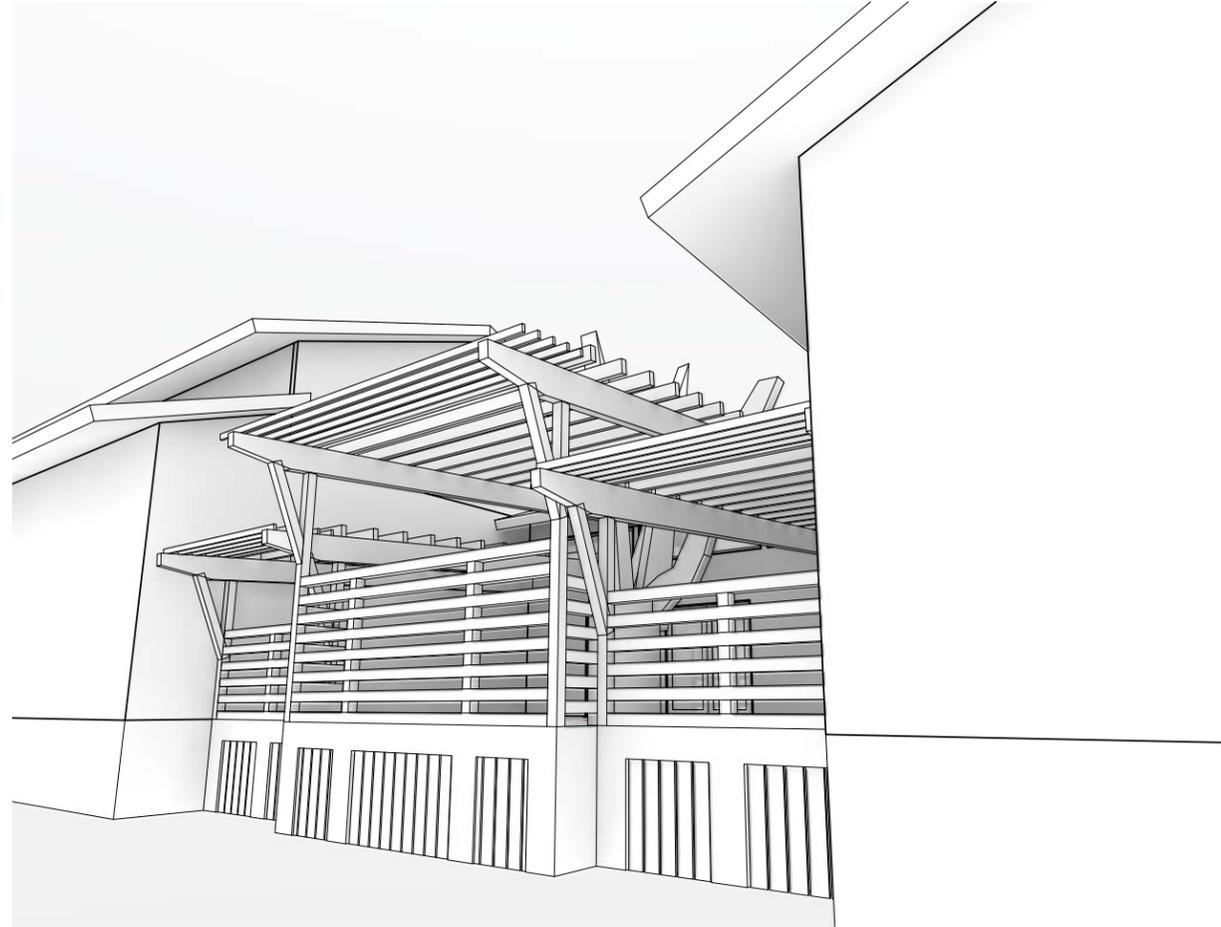
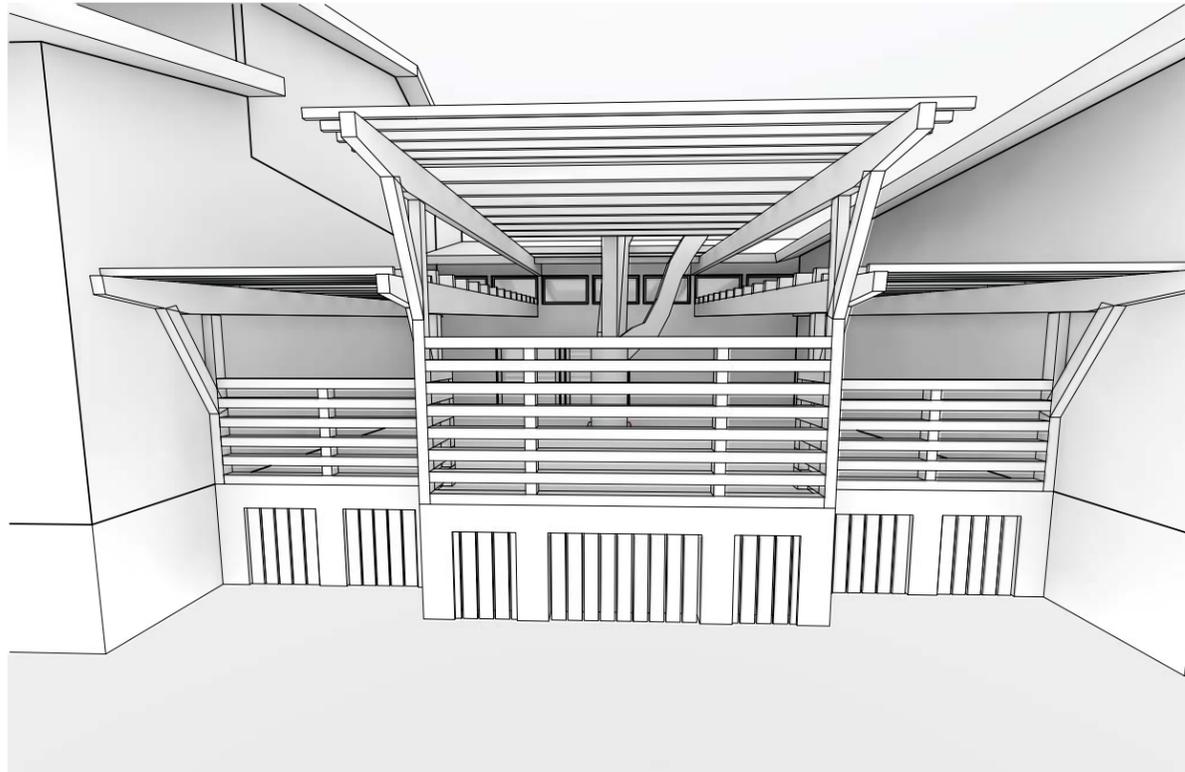


**2** EXISTING FRONT ELEVATION  
Scale: 3/16" = 1'-0"



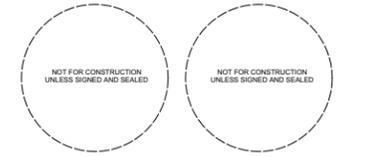
**ELEVATION GENERAL NOTES**  
1. ALL MATERIALS AND COLORS TO MATCH EXISTING ONES.

**1** PROPOSED FRONT ELEVATION  
Scale: 3/16" = 1'-0"



architecture + planning

SM7 DESIGN LLC  
1011 BAY STREET, STE 314  
BEAUFORT SC 29002



PROJECT:  
**NUNZIO'S  
RESTAURANT**

ADDRESS:  
**18 New Orleans Rd,  
Hilton Head Island, SC**

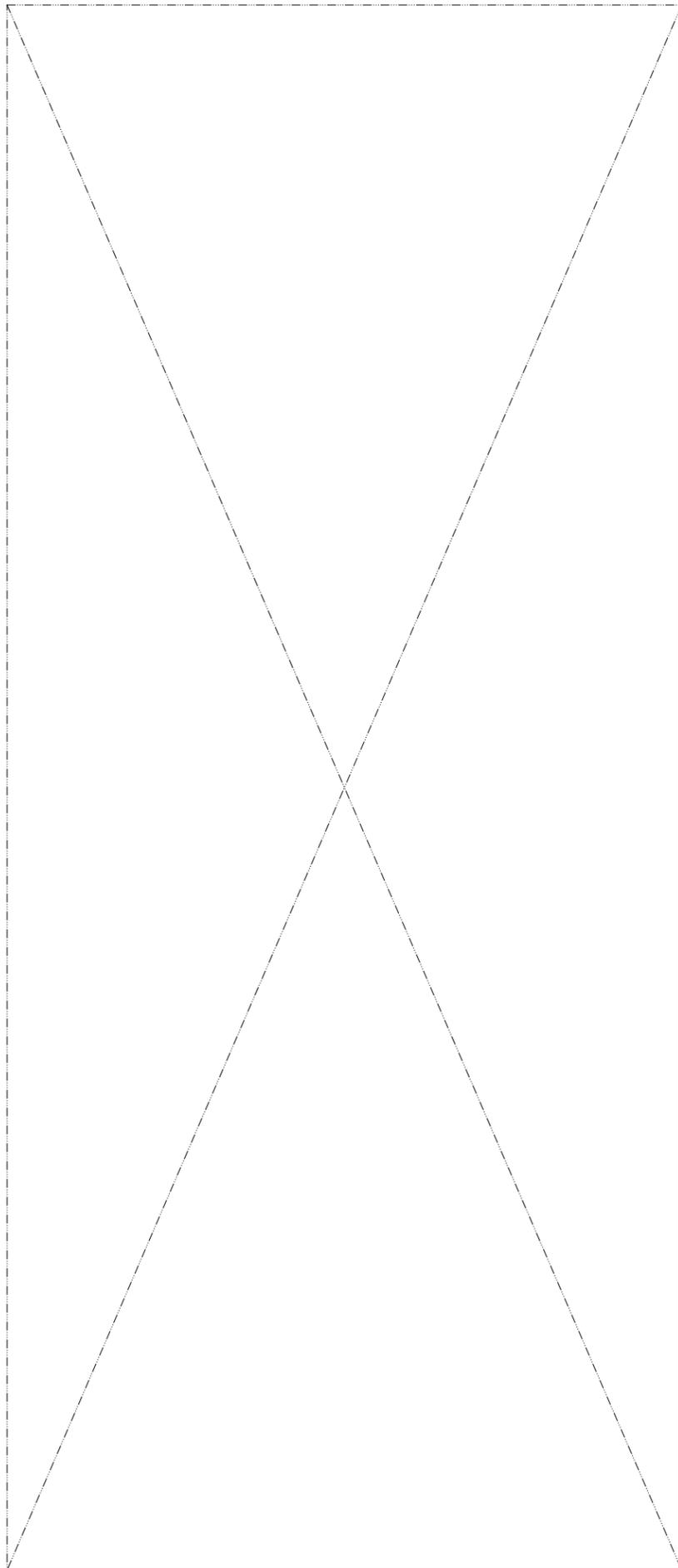
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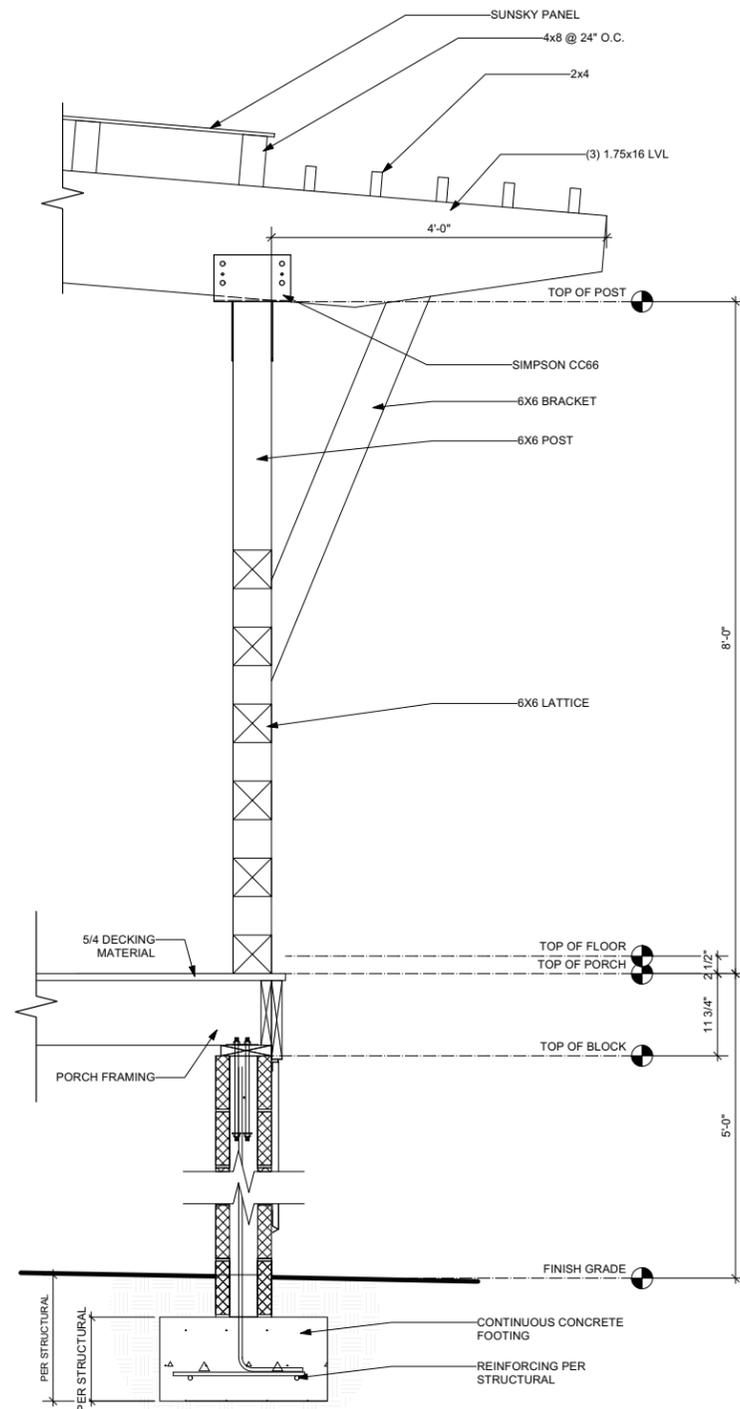
DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**VIEWS**

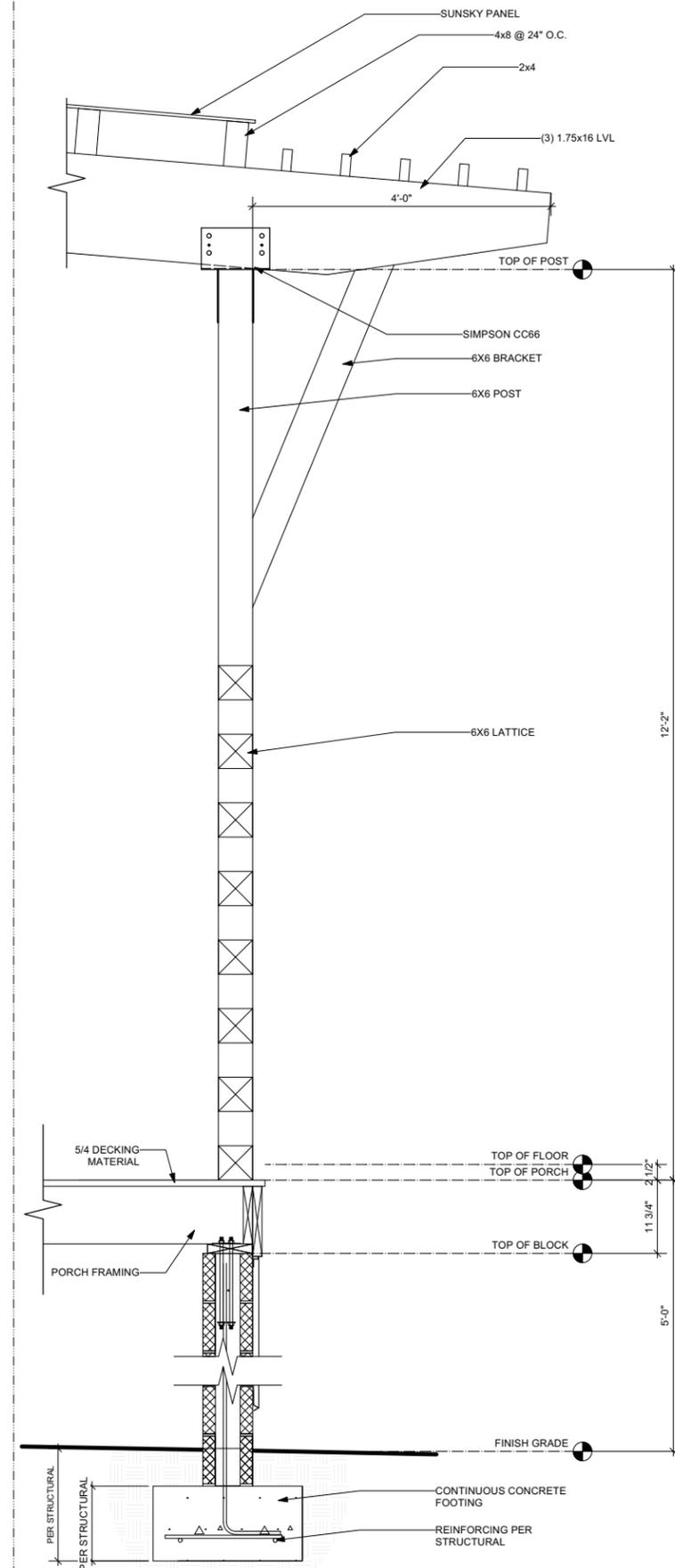
**A401**



Scale:



**2** 8' POST WALL SECTION  
Scale: 1" = 1'-0"

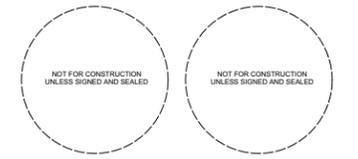


**1** 12'2 POST WALL SECTION  
Scale: 1" = 1'-0"



architecture + planning

SM7 DESIGN LLC  
1011 BAY STREET, STE 314  
BEAUFORT SC 29002



PROJECT:  
**NUNZIO'S  
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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 21-016B  
SHEET TITLE:

**WALL SECTIONS**

**A501**

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Nunzio Restaurant

DRB#: DRB-002303-2022

DATE: 09/16/2022

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Provide a detail of the proposed roof connection to the existing structure.
2. Double the number of Cherry Laurel along the foundation and specify a minimum 5' ht. at planting.
3. Replace any dead trees required in the Parkway buffer from the 2018 DPR Planting Plan.
4. Provide a fertilization and mycor treatment for the Oak in the deck.

### ***APPLICATION MATERIAL***

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	How will the roof structure connect to the existing building and how does that relate to the clear story windows. Please provide a detail.

### ***LANDSCAPE DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff suggest: <ol style="list-style-type: none"> <li>1. The number of Carolina Cherry Laurel be doubled.</li> <li>2. Specify Carolina Cherry Laurel 5' ht. minimum.</li> </ol>
Location of existing trees and new trees provides	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Include in the Landscape Plan any trees in the

street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)				William Hilton Parkway buffer that have died per the 2018 DPR approved Planting Plan. Since the Red Bud have not performed well, Staff suggest this species be replaced with an evergreen understory tree, such as American Holly.
---	--	--	--	--

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Because the Oak is surrounded by a roof, Staff suggest a fertilization and mycor treatment by an arborist prior to construction of the roof.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See buffer planting note.

***MISC COMMENTS/QUESTIONS***

1. This project requires a Minor Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.

*Design Review Board*  
*Rules of Procedure*  
*Town of Hilton Head Island*

---

**Article I**  
**Purpose and Function**

The Design Review Board is established as a board of architectural and landscape design review for projects in the Corridor Overlay District and for signs throughout the community. Its main responsibilities include the review of development within the Corridor Overlay District, the review of applications for sign permits; and the review of the Design Guide or documents relating to aesthetics. In carrying out its duties, the Design Review Board must work within the legal framework and requirements of the law while exercising elemental fairness and open mindedness.

**Article II**  
**Rules of Procedure**

**Section 1. Rules of Procedure.**

These *Rules of Procedure* are adopted by the Board pursuant to SC Code 6-29-870 and Appendix A-4 of the LMO. The *Rules of Procedure* can be suspended by majority vote of the Board to meet particular circumstances. If there is a situation where the *Rules of Procedure* are not specific concerning an issue, then the most recent edition of *Robert's Rules of Order* shall govern the conduct of meetings on the issue not covered.

**Section 2. Amendments.**

1. Written notification of proposed amendments to these rules must be given or mailed to each member at least one (1) calendar week before the meeting at which a vote on the proposal(s) is intended. The notice shall include: (1) the proposed amendment(s); (2) reason(s) for the proposal(s); and (3) the date of the meeting for the intended vote.
2. Adoption of proposed amendments shall require the favorable vote of the majority of the members serving at the time of the vote.
3. The effective date of adopted amendments shall be the next regularly scheduled meeting following adoption.

**Article III**  
**Board Organization and Duties**

**Section 1. Membership.**

1. **Number and Qualifications.** The Board shall consist of seven members appointed by the Town Council. To the extent practicable, the appointed members shall include at least one attorney and at least two but not more than three design professionals (such as a registered architect, a landscape architect or a graphic artist). None of the members shall hold an elected public office or position with the Town of Hilton Head Island or Beaufort County, South Carolina, and no former Board member shall be appointed to the Board without having been absent from the Board for a period of at least one year.
2. **Length of Terms.** Members of the Board shall be appointed annually for three-year terms effective each July 1, with all such terms ending on June 30 of the applicable year, unless a member is appointed to fill a vacancy. Vacancies shall be filled by the Town Council by appointments for the balance of any unexpired terms.
3. **Term Limits.** No member may serve more than two successive terms, except at the pleasure of the Town Council when the Council believes that such continuation of service is in the best interest of the Community and is for a specific purpose. Service to fill an unexpired term of less than one and one-half years shall not constitute a term of service for the purpose of these term limits.
4. **Attendance/Absences.** Board members are expected to attend all Board meetings. Each member of the board who has prior knowledge that they will not be able to attend a scheduled Regular Meeting of the board shall notify the Secretary no later than noon the business day before the meeting. In the case of an emergency, a member shall give the earliest possible notification. The Secretary or Staff shall notify the Chairperson in the event that the projected absence(s) will produce a lack of a quorum.
5. **Removal.** Three (3) unexcused absences at Regular or Special Meetings of the Board during one calendar year shall be cause for recommendation by the Chairperson to the Town Council to reconsider the appointment of that member. Attendance records shall be reviewed annually by the Chairperson.

**Section 2. Election of Officers.**

The officers of the Board shall be a Chairperson and a Vice-Chairperson for one-year terms beginning on the first meeting in July. They are elected annually by the Board members no later than at the first meeting in July. Neither of these two positions shall be filled by a member who has not served at least 1 year on the Board. Nominations for the Chairperson and Vice-Chairperson shall be made from the floor at the meeting with a roll call election to follow.

A majority vote is normally required to elect to office. If no one in an election receives a majority vote, the vote must be repeated until one of them does get a majority. Votes can be taken by ballot or show of hands if there is more than one candidate.

**A. Chairperson.** The term shall be for one year. At the end of each year, the Chairperson may be re-elected subject to his/her appointment term. The Chairperson shall be a voting member, and shall have the following duties:

1. In consultation with the Staff Board Coordinator, create agendas for all meetings;
2. Preside at all meetings of the Board;
3. Act as spokesperson for the Board;
4. Sign documents for the Board;
5. Designate a Board member or personally act as liaison with other governmental agencies and Town boards;
6. Assign or delegate tasks to other Board members as may be necessary to perform the Board's functions;
7. If approved by Town Council, make appointments to committees of the Board and be an ex-officio member of all committees with a voice in discussions, but with no authority to vote on questions before committees unless specified;
8. Transmit reports and recommendations to Town Council;
9. Work with the Staff Board Coordinator to ensure all business is conducted in accordance with procedures;
10. Cancel a scheduled board meeting if there are no agenda items; and
11. Perform other duties approved by the Board.

**B. Vice-Chairperson.** A Vice-Chairperson shall be elected by the Board from among the members in the same manner and for the same term as the Chairperson. The Vice -Chairperson shall serve as Acting Chairperson in the absence of the Chairperson, and, at such time, the Vice-Chairperson shall have the same powers and duties as the Chairperson. The Vice-Chairperson shall succeed the Chairperson, if the office is vacated before the term has expired, to serve the remainder of the unexpired term of the Chairperson. A new Vice-Chairperson shall be elected at the next regular meeting of the Board.

### **Section 3. Secretary.**

With the advice and consent of the Director of Community Development, the Chairperson annually shall appoint or reappoint a member of the Town's Community Development Department staff as Secretary of the Board. The Secretary will not be eligible to vote or to otherwise deliberate in the proceedings of the Board. The Secretary shall:

1. Publish and post notices of all meetings of the Board;

2. Assist the Staff Board Coordinator in preparation of meeting agendas;
3. Distribute the agenda, prior minutes and other relevant materials to each Board member in advance of each meeting;
4. Record the proceedings of meetings on audio tape and prepare written minutes of meetings for approval by the Board at its next regular meeting, recording in the written minutes the attendance of members at each meeting;
5. Maintain the Board's notices, correspondence, reports and forms as public records for a period of time consistent with the records retention schedule of the Town of Hilton Head Island; and,
6. Assist in the preparation and forwarding of all reports and recommendations of the Board.

#### **Section 4. Staff Board Coordinator.**

The Director of Community Development shall appoint a member of Staff to assist the Chairperson and the Secretary in Board coordination, including discussing agenda items and any other item that needs attention for the efficient running of the meetings.

#### **Section 5. Duties of the Design Review Board.**

The LMO and the Code of South Carolina set forth the duties of the Board and those mandated items that fall under their review, along with their review process. Also mandated by the Code of South Carolina are a 6 hour Orientation Program and a 3 hour/year Continuing Education Program.

### **Article IV** **Meetings and Quorum**

#### **Section 1. Regular and Special Meetings.**

1. **Meeting Schedule.** An annual schedule of regular meetings and work sessions of the Board shall be adopted, published and posted at the Town Government Center in late Fall of each year for the next calendar year. Meetings shall be held at the time and place stated in notices and shall be open to the public.
2. **Regular Meetings.** Regular Meetings of the Board shall be held at least monthly if there is no business pending. The Board shall meet on the second and fourth Tuesday of each month at ~~1:15 p.m.~~ 2:30 p.m.
3. **Special Meetings.** Special meetings of the Board may be called at any time by the Chairperson. At least twenty-four (24) hours notice of the time and place of special meetings shall be given by the Secretary to each member.
4. **Cancellation of Meetings.** Whenever there is no business for the Board the Secretary

will dispense with a regular meeting by giving notice to all members not less than seventy-two (72) hours prior to the time set for the meeting.

### **Section 2. Quorum.**

A quorum shall consist of four (4) members of the board for regular business. The Secretary will notify the Chairperson in the event projected absences will result in the lack of a quorum. If a quorum for each agenda item for which action is being taken is established, then a member leaves, the quorum is no longer present. Transaction of substantive business on agenda items for which there is not a quorum shall not continue and the remaining items should be postponed to the next meeting.

### **Section 3. Conflict of Interest.**

The question of disqualification shall be decided by the Board member affected, who shall announce the reason for disqualification, give it to the Chairperson in writing, and have it placed in the minutes of the meeting. Any Board member so disqualified shall leave the dais while the disqualifying matter is being considered and refrain from deliberating or voting on the question.

At a minimum, South Carolina law regarding conflicts of interest [S. C. Code Ann. § 8-13-10, *et seq.*, (Supp. 1994)] shall control board members' actions. In addition, any member of the board who believes that he or she has or may have a conflict of interest of any nature on any matter before the board shall, prior to the case at the Regular or Special Meeting at which such matter may be heard or considered by the board:

1. Prepare a written Potential Conflict of Interest Form describing the matter requiring action or decisions and the nature of his/her potential conflict of interest with respect to the action or decision;
2. File the Potential Conflict of Interest Form with the Secretary; and,
3. Provide a copy of the Potential Conflict of Interest Form to the Chairperson.

Upon receipt of a Potential Conflict of Interest Form from any member of the board, as required in section II (J)(A), *supra.*, the Chairperson shall cause the Potential Conflict of Interest form to be recorded in the minutes and shall require that the member filing such Potential Conflict of Interest Form be excused from any votes, deliberations, and any other actions on the matter on which the potential conflict of interest or conflict of interest exists.

## **Article V** **Meeting Administration**

### **Section 1. Media Notices.**

The Secretary shall give the notice required by statute or ordinance for all meetings of the Board to include Section 16-2-103.I of the LMO. All Board meetings shall be open to the public and all requirements of the South Carolina Freedom of Information Act [S. C. Code Ann. § 30-4-10, *et seq.* (Supp. 1994)] shall be complied with in the conduct of meetings.

## **Section 2. Agenda.**

A written agenda shall be furnished by the Secretary to each member of the Board and media. An agenda may be changed at the related meeting by a majority vote of the members present. Generally, the agenda should contain:

1. Call to Order;
2. Roll Call;
3. Freedom of Information Act Compliance;
4. Approval of Agenda;
5. Approval of Minutes of Previous Meeting
6. Staff Report;
7. Board Business;
8. Unfinished Business;
9. New Business;
10. Appearance by Citizens;
11. Adjournment.

## **Section 3. Minutes.**

**A. Meetings.** Minutes of meetings are governed by the Code of South Carolina (30-4-70 through 30-4-90). Minutes of each Board meeting shall be recorded by the Secretary and approved at the next available meeting after their preparation. Final approved Minutes shall be available on microfilm for previous years, and may be posted on the Town's Web site for public information.

### **B. Minimum Contents of Minutes.**

1. Kind of meeting (regular or special).
2. Name of the organization.
3. Date and place of the meeting.
4. Presence of the Chairperson and secretary or the names of substitutes.
5. Presence of a quorum.
6. Names of all members reporting.
7. Names of all those elected or appointed.
8. Time the meeting was called to order.
9. Whether the minutes of the previous meeting were approved or corrected.
10. All adopted and defeated motions. (Withdrawn motions need not be recorded.)

11. Name of the maker of the motion.
12. Record the vote of each member upon each question, or, if absent or failing to vote, indicating that fact.
13. The adjournment and the time of adjournment.
14. Attached reports.

**C. Lack of Quorum.** If there is lack of a quorum of the Board, minutes may be recorded but shall include a statement in the header of each page indicating that a quorum was not present and the minutes are not official. Such minutes shall not be approved by the Board at a later meeting

**D. Motions.** Motions must be recorded verbatim.

## **Article VI** **Meeting Organization**

### **Section 1. Regular and Special Meetings.**

Generally, the below sequence shall be followed:

1. The Chairperson introduces the agenda item by reading its description on the agenda;
2. Staff presentation (maximum 20 minutes) of the application or other item including an analysis and recommendations to the Board, if so requested. During the presentation by Staff, members of the Board may ask such questions as they deem appropriate. At the discretion of the Chairperson, Staff's time may be extended if the Staff is unable to complete the presentation due to questioning from the Board.
3. If present, the Applicant, his attorney, or agent (maximum 20 minutes) may make remarks, demonstrating compliance with all required architectural standards and guidelines, minimum visual buffers, or other applicable regulations as per Sections 16-3-106.F.3 and 16-3-106.F.4 of the Land Management Ordinance. During the presentation by the Applicant, members of the Board may ask such questions as they deem appropriate. At the discretion of the Chairperson, the Applicant's time may be extended if the Applicant is unable to complete the presentation due to questioning from the Board.
4. Following the presentation, the Board may ask such additional questions of the Applicant or Staff as the members deem appropriate.
5. Comments from the public on the agenda item including why the Board should approve, modify, or disapprove an application. At the Chairman's discretion, speakers could be limited to speaking only once for 3 minutes on each agenda topic.

6. Motion and discussion by the Board;
7. Clarification from Staff, if necessary; and
8. Vote on Motion by the Board.

## **Section 2. Recess.**

A recess shall be declared as deemed appropriate by the Chairperson or by majority vote of the members present at the meeting. No discussion of the agenda item shall be conducted by Board members during the recess.

## **Section 3. Executive Session.**

If a member determines after reviewing the applicable cases that they would benefit from the advice of legal counsel in Executive Session they shall contact the Chairperson or his designee. The Chairperson will determine if an Executive Session is warranted. If the Chairperson decides that the membership would benefit from an Executive Session, they will inform the Board's secretary of the request. The Chairperson's decision can be overridden by a majority vote of the Board taken at a regular or special meeting of the Board.

Executive Session is a meeting at which the proceedings are secret. A member can be punished under disciplinary procedure if he violates the secrecy of an executive session. Non-members permitted to be present in Executive Session are honor-bound not to divulge anything that occurred or was discussed in Executive Session.

Permitted reasons for Executive Session are:

1. Personnel reasons
2. Contracts
3. Legal advice relating to pending, threatened or potential claim
4. Discussion regarding development of security personnel
5. Investigative proceedings regarding allegations of criminal misconduct
6. Economic development (specific criteria in FOIA)

Entering and Adjourning an Executive Session:

1. A motion to close the current meeting and go into executive session is made and passed by a majority vote;
2. Chairperson must announce the specific purpose of the executive session;
3. No formal action may be taken in executive session except to:
  - a. Adjourn
  - b. Return to public session

The Board can request attendance by non-members as they deem appropriate.

**Section 4. Communication with Outside Parties.**

1. Once a decision has been rendered by the Board it is then considered final. There should be no further discussions between Board members and staff, applicants and their attorneys on the matter. All further communications should be handled through the Town Attorney.
2. Communication with non-members on behalf of the Board to convey the official position of the Board will be at the discretion of the Chairperson or by an affirmative vote of the majority of the Board members.
3. The Chairperson or his designee will communicate positions or opinions of the Board.

**Section 5. Communication among Board Members.**

All communication regarding agenda items is to be conducted during the scheduled meeting and not prior to the meeting or during recesses. If Board members need to meet in the field to resolve an application, they shall follow all FOIA regulations regarding a quorum, public notices, minutes and communication with each other.

**Section 6. Requests of Staff**

Any requests of Staff from the Board, other than questions regarding pending applications, shall be communicated to the Chairperson or his designee. The Chairperson will then decide if the request should be forwarded to the Secretary. If the Chairperson denies the request of a Board member, the members may ask that the request be placed on the Board's agenda for discussion. If the item is voted onto the agenda, and if the majority of the members deem the request of staff appropriate, it will become an official request of the Board.

**Section 7. Preliminary Comments.**

Persons seeking informal preliminary comments from the Board shall submit their request in writing to the Administrator not less than ten business days before a Board meeting to secure a place on the agenda.

**Article VII**  
**Conducting the Meeting**

The Chairperson:

1. Is responsible for maintaining order.
2. Should begin the meeting promptly at the scheduled hour if a quorum is present.
3. Should have a well prepared agenda and abide by it.
4. Be familiar with the procedural rules of the bylaws.
5. Keeps the Board working together by explaining procedure clearly and communicating the next business in order.
6. Allow Board members to speak at their will on the agenda item. At the Chairman's discretion, he may "assign" the floor by recognizing those members who wish to speak by calling them by name. No other member may interrupt or call out remarks without being out of order. Private discussion between members while another has the floor is out of order and disruptive members should be reminded of this rule.
7. Should impartially call on members wishing to speak. He should give members on both sides of an issue an opportunity to speak.
8. Should remain calm and objective, keeping the meeting moving.
9. At the Chairman's discretion, he may restate the motion before taking a vote if he believes the motion is unclear. If a motion is confusing, it is the Chairperson's duty to clarify it – rephrasing it or putting a long motion in writing. (Complex motions may be brought to the meeting pre-written.) The motion is said to be pending once it has been stated by the Chairperson. It must be disposed of in some manner before other business can be considered.
10. If a motion fails to get a second, the Chairperson states, "Since there is no second, the motion is not before this meeting."
11. Opens debate by saying "Is there any discussion?" The Chairperson *must* open all debatable questions to debate.
12. Recognizes members who wish to speak by stating their names.
13. Puts the question to vote. The vote is taken in the following way:
  - a. The Chairperson restates the motion – keeping the members clear about the purpose of the vote.
  - b. Request Polling of the members for vote.
14. Announces the result of the vote by interpreting the action taken.
15. Should not allow irrelevant discussion. Restate the question and, if necessary directly request the member to "confine his remarks to the pending question."
16. Should use the gavel sparingly, tapping it once to open and close the meeting.
17. Can assist a member in making a motion, or make a motion himself if no motion is being made.
18. Meeting adjourned without motion – "If there is no further business and there is no

objection, the meeting will be adjourned. There being no objection, the meeting is adjourned.”

**Article VIII**  
**Board Actions**

**Section 1. Motions.**

The attached charts on Motions give the various types of motions that can be done by a Board member.

**Section 2. Voting.**

1. A Board member must be present at the beginning of each case to discuss and vote on the case.
2. All members of the Board shall be voting members, and shall be entitled to vote on any issue before the Board unless disqualified by law.
3. A simple majority of a quorum shall be required to conduct all other Board business.

**For the Design Review Board**  
**Town of Hilton Head Island, South Carolina**

Date of Approval:

By: \_\_\_\_\_  
Cathy Foss, Its Chairperson

## Attachment for Reference

### TYPES OF MOTIONS

<b>Main Motions</b>	<b>A main motion is defined as a proposal that certain action is taken or an opinion be expressed by the group.</b> The words to use are: “I Move.”
<b>Secondary Motions</b>	<b>A secondary motion is one which can be made <i>while</i> the main motion is on the floor and <i>before</i> it has been decided.</b> Secondary motions are divided into three classes which relate to their use in parliamentary procedure. Those classes are: <ul style="list-style-type: none"> <li>○ Subsidiary motions</li> <li>○ Privileged motions</li> <li>○ Incidental motions</li> </ul>
<b>Subsidiary Motions</b>	<b>Subsidiary motions relate directly to the motion on the floor. They may change the words, send it to a committee, delay it, etc.</b> They are designed to expedite business by disposing of the pending motion other than by adopting or rejecting it. <i>Subsidiary motions are the class of motions most frequently used in meetings.</i> These motions have rank (order of precedence of motions) among themselves. A motion of higher rank can be made while a motion of lower rank is on the floor. The lower rank motion “yields” to the higher rank motion. (Motion to postpone has higher rank than the motion to commit and takes precedence. If motion to postpone is adopted, the main motion and the motion to commit are postponed until the next meeting.)
<b>Privileged Motions</b>	<b>Privileged motions are motions of an emergency nature,</b> such as to recess or adjourn. They do not relate to the motion on the floor but to the welfare of the group. They are of high rank and must be handled before any other business that may be pending.
<b>Incidental Motions</b>	<b>Incidental motions are procedural.</b> They deal with process, such as enforcing proper procedure, correcting errors, verifying votes, etc. When introduced, they must be decided before business can resume.
<b>Amending Motion</b>	General consent can be used with amendments to motions if the Chairperson feels the group will accept the amendment. “If there is no objection, the motion is so amended.” <i>Restate the motion.</i>
<b>Motions Commit</b>	Have precedence over the motion to amend. <b>More than one motion can be on the floor but only one question.</b> All pending motions must relate to the main motion on the floor. No new business may be introduced.
<b>Point of Order</b>	Motion used if a board member feels the Chairperson’s failing to operate within the rules.

### Restorative Motions or Motions that Bring Back a Question

<b>Restorative Motion</b>	<b>Allows a group to change its mind.</b> <ul style="list-style-type: none"> <li>○ They are a separate category because of their contradiction to the parliamentary rule that once a question has been decided it cannot be brought up again at the same meeting.</li> <li>○ Within limits, members have the right to rethink a situation if they feel their decision has been made too quickly or without enough information.</li> <li>○ The two most commonly used restorative motions are: <i>Rescind</i> and <i>Reconsider</i>.</li> </ul>
<b>Rescind</b>	<b>Rescind is the motion to use to quash or nullify a previously adopted motion.</b> It may strike out an entire motion, resolution, bylaw, etc.

	<ul style="list-style-type: none"> <li>○ Rescind is <i>not in order</i> when any action has already been taken as a result of the vote, such as any kind of contract when the other party has been notified.</li> <li>○ It must be seconded.</li> <li>○ It requires a <i>two-thirds</i> vote unless <i>notice has been given</i> at the previous meeting, either verbally or in writing. If notice has been given, the motion requires <i>only a majority</i> vote.</li> </ul>
<b>Reconsider</b>	<p><b>Reconsider is the motion which allows a group to reconsider the vote on a motion.</b> It enables a majority of the members, within a limited time, to bring back a motion for further consideration after it has been acted upon. Its purpose is to prevent hasty or ill-advised action.</p> <ul style="list-style-type: none"> <li>○ Reconsider has special rules to prevent its abuse by a disgruntled minority, since it allows a question already decided to be brought up again.</li> <li>○ Rules limit who can make the motion. <b>It can only be made by someone who voted on the prevailing (winning) side.</b></li> <li>○ <b>It has a time limit. It must be made on the same day that the vote to be reconsidered was taken.</b></li> <li>○ It requires a second.</li> <li>○ It may be debated and it opens up the motion to which it is applied to debate.</li> <li>○ It requires only a majority vote.</li> <li>○ It may be made and seconded while other business is pending because of its time limit. However, it is not debated and voted on until the business on the floor is completed.</li> <li>○ All action that might come out of the original motion is stopped at the time that reconsider is made and seconded. This is the main value of the motion, and it should be made as quickly as the situation calling for it is recognized.</li> </ul>
<b>Amend a Motion</b>	<p><b>Change the wording to make it clearer, more complete, or more acceptable before the motion is voted upon.</b> The amendment must be germane to the motion on the floor to be in order. Adoption of the amendment does not adopt the motion. If the group votes “no” on the amendment, the motion is on the floor in its original wording.</p>
<b>Amend an Amendment</b>	<p>First amendment is called the primary and the amendment to the amendment is the secondary amendment. Only two amendments may be pending at any time. First vote on the amendment to the amendment (secondary), then vote on the original amendment (primary), then vote on the main motion. Amendments require a majority vote.</p>
<b>Friendly Amendments</b>	<p>Change in wording to enhance the original motion – can be changed by general consent.</p>
<b>Hostile Amendments</b>	<p>Gives a different meaning to a motion and may defeat the intent of the main motion.</p>
<b>To Commit or Refer a Motion</b>	<p>Sends the question to a small group (committee) to be studied and put into proper form for the group to consider. Motion includes specific directions as to where the question ought to go (what committee). Motion can be applied to any main motion with any amendments that may be pending. It must be seconded, it can be debated, and requires a majority vote.</p>
<b>Postpone</b>	<p><b>Delays action on a question until later in the same meeting or until the next meeting.</b> <i>A motion cannot be postponed further than the next regular meeting.</i> Can be applied to all main motions, it must be seconded, it can be debated, it can be amended (as to time of the postponement), it requires a majority vote. Motion is called up automatically when the time to which it was postponed arrives (place under Unfinished Business on agenda of next meeting).</p>
<b>Limit Debate</b>	<p><b>Motion to exercise special control over debate</b> – reducing the number and length of speeches allowed. Used with any motion, must be seconded, is not debatable, can be amended (but only as to the length of speeches or when the vote will be taken), requires 2/3 vote, vote must be taken by show of hands or a rising vote in a large group. (Need a timekeeper and timer if speeches have a time limit.)</p>

<b>Previous Question</b>	<b>The motion used to cut off debate and to bring the group to an immediate vote on the pending motion. (Call the question for an immediate vote).</b> Previous question can be ruled out of order if the motion is debatable and has not received debate. Motion requires 2/3 vote (by show of hands or standing vote). Not debatable.
<b>Postpone Indefinitely</b>	Lowest-ranked subsidiary motion is used to kill a main motion. It avoids a direct vote on the question on the floor. Shouldn't be used.
<b>Lay on the Table</b>	Highest-ranked subsidiary motion. Cannot be amended or debated. It is out of order when used to "kill or avoid dealing with a measure". <b>Was designed as a courtesy motion to allow a group to set aside a question for something more important, such as arrival of a speaker.</b>
<b>Withdraw a Motion</b>	<b>Permission to withdraw a motion allows a member who realizes he has made a hasty or ill-advised motion to withdraw it with the consent of the group.</b> This device saves time in disposing of the motion. The presiding officer usually handles the request by use of general consent.
<b>Dilatory Tactics</b>	A dilatory tactic is the misuse of parliamentary procedure to deliberately delay or prevent action in a meeting. It is the duty of the presiding officer to prevent a dissident minority from misusing legitimate forms of motions to obstruct business. Such motions should be ruled out of order or those members engaged in such game playing should not be recognized.

### TYPES OF VOTES

<b>Majority Vote</b>	<ul style="list-style-type: none"> <li>• <b>More than half of the votes cast.</b></li> <li>• The minority has the right to be heard, but once a decision has been reached by a majority of the members present and voting, the minority must then respect and abide by the decision.</li> </ul>
<b>Silence is Consent</b>	Those members who do not vote, agree to go along with the decision of the majority by their silence.
<b>Two-thirds Vote</b>	<b>A two-thirds vote is necessary whenever you are limiting or taking away the rights of members or whenever you are changing something that has already been decided.</b> A two-thirds vote has at least twice as many votes on the winning side as on the losing side. A show of hands should be taken for <i>all</i> motions requiring a <i>two-thirds vote</i> . If a motion requires a two-thirds vote, the Chairperson should inform the group of that.
<b>General Consent</b>	<b>Is an informal agreement of the group, the method in which action is taken without a formal vote or on occasion without a motion.</b> The Chairperson initiates the procedure to expedite business. Usually done to approve and correct the minutes. <ul style="list-style-type: none"> <li>• The presiding officer always pauses after asking if there is any objection. If there is <i>any</i> objection, the matter is put to a vote in the usual way.</li> <li>• A member may object because he feels it is important to have a formal vote and dispel any suspicion of railroading.</li> </ul>
<b>Tie Vote</b>	Is a <i>lost</i> vote because a majority was not obtained. The <i>Chairperson is not compelled to break a tie</i> . While the Chairperson has a right to vote as a member, it is recommended he not vote unless the vote is by ballot. He may also vote in cases where the vote would change the result. The Chairperson should appear impartial.



The Town of Hilton Head Island

**Design Review Board**

**2022 Meeting Schedule**

**Revised September 27<sup>th</sup>, 2022**

Meetings are generally held in Benjamin M. Racusin Council Chambers at 4:15 **2:30** p.m. on the **second & fourth** Tuesdays of each month, subject to change with notice.

<b>PUBLIC MEETING DATES</b>	<b>APPLICATION DEADLINES</b>
January 11, 2022	December 28, 2021
January 25, 2022	January 11, 2022
February 8, 2022	January 25, 2022
February 22, 2022	February 8, 2022
March 8, 2022	February 22, 2022
March 22, 2022	March 8, 2022
April 26, 2022	April 12, 2022
*May 10, 2022	April 26, 2022
May 24, 2022	May 10, 2022
June 14, 2022	May 31, 2022
June 28, 2022	June 14, 2022
July 12, 2022	June 28, 2022
July 26, 2022	July 12, 2022
August 9, 2022	July 26, 2022
August 23, 2022	August 9, 2022
September 13, 2022	August 30, 2022
September 27, 2022	September 13, 2022
<b>2:30 p.m.</b> October 11, 2022	September 27, 2022
<b>2:30 p.m.</b> October 25, 2022	October 11, 2022
<b>2:30 p.m.</b> November 8, 2022	October 25, 2022
<b>2:30 p.m.</b> December 13, 2022	November 29, 2022

**Notes:** \*The May 10 meeting will begin at 9:00 a.m. due to the Town Council Budget Workshop in the afternoon.

There is only one meeting in April, November, and December. The April 12 meeting is cancelled due to the RBC Heritage. The November 22 and December 27 meetings are cancelled due to the holidays.

All applications must be completed and submitted not later than **4:30 p.m.** 14 days prior to the meeting date at which the application will be reviewed. An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum

requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department Staff.



The Town of Hilton Head Island  
**Design Review Board**

**Proposed 2023 Meeting Schedule**

Meetings are generally held in Benjamin M. Racusin Council Chambers at 2:30 p.m. on the **second & fourth** Tuesdays of each month, subject to change with notice.

<b>PUBLIC MEETING DATES</b>	<b>APPLICATION DEADLINES</b>
January 10, 2023	December 27, 2022
January 24, 2023	January 10, 2023
February 14, 2023	January 31, 2023
February 28, 2023	February 14, 2023
March 14, 2023	February 28, 2023
March 28, 2023	March 14, 2023
April 25, 2023	April 11, 2023
May 9, 2023	April 25, 2023
May 23, 2023	May 9, 2023
June 13, 2023	May 30, 2023
June 27, 2023	June 13, 2023
July 11, 2023	June 27, 2023
July 25, 2023	July 11, 2023
August 8, 2023	July 25, 2023
August 22, 2023	August 8, 2023
September 12, 2023	August 29, 2023
September 26, 2023	September 12, 2023
October 10, 2023	September 26, 2023
October 24, 2023	October 10, 2023
November 14, 2023	October 31, 2023
December 12, 2023	November 28, 2023

Notes:

There is only one meeting in April, November, and December. **The April 11 meeting is cancelled due to the RBC Heritage.** The **November 28** and December 26 meetings are cancelled due to the holidays.

All applications must be completed and submitted not later than **4:30 p.m.** 14 days prior to the meeting date at which the application will be reviewed. An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department Staff.