



Town of Hilton Head Island
Design Review Board Meeting
Tuesday, March 8, 2022 – 1:15 p.m.
AGENDA

This meeting will be conducted virtually and can be viewed on the [Town of Hilton Head Island Public Meetings Facebook Page](#). A Facebook account is not required to access the meeting livestream.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Meeting of February 22, 2022

6. Appearance by Citizens

Citizens who wish to address the Board concerning items on the agenda may do so by contacting the Board Secretary at 843-341-4691 no later than 12:15 p.m. the day of the meeting. Citizens may also submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 12:15 p.m. the day of the meeting. Comments submitted through the portal will be provided to the Board and made part of the official record.

7. Old Business

a. *Alteration/Addition*

i. Spinnaker Building, DRB-000384-2022 (Staff Report)

8. New Business

a. *New Development – Final*

i. Spanish Wells Office Warehouse, DRB-000497-2022

b. *Alteration/Addition*

i. Northridge Plaza Walkway Canopy, DRB-000485-2022

ii. Lucky Beach Bar + Kitchen, DRB-000498-2022

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
February 22, 2022, at 1:15 p.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chair Cathy Foss, Annette Lippert, Judd Carstens, Ryan Bassett, Ben Brown

Absent from the Board: Vice Chairman John Moleski (excused)

Present from Town Council: Tamara Becker

Present from Town Staff: Teri Lewis, Deputy Community Development Director; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant; Vicki Pfannenschmidt, Temporary Administrative Assistant

1. Call to Order

Chair Foss called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of Agenda

Chair Foss asked if there were any changes to the agenda. There being none, Ms. Lippert moved to approve. Mr. Brown seconded. By show of hands, the motion passed with a vote of 5-0-0.

5. Approval of Minutes

a. Regular Meeting of February 8, 2022

Chair Foss asked for a motion to approve the minutes of the February 8, 2022, regular meeting. Mr. Bassett moved to approve. Mr. Carstens seconded. By show of hands, the motion passed with a vote of 4-0-1. (Chair Foss abstained as she was not present at the subject meeting.)

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. Those comments were provided to the Board for review and made part of the official record. In addition, citizens were provided the option to sign up for public comment participation during the meeting by phone. One citizen signed up to speak regarding Item 8.a.i. and will address the Board at that time.

7. Unfinished Business – None

8. New Business

a. Alteration/Addition

i. Spinnaker Building, DRB-000384-2022

Mr. Darnell presented the application as described in the Board's agenda package and stated Staff recommends denial. He noted that if the railings are permitted to remain removed, window stops would have to be installed to prevent the window from opening more than four inches. Mr. Darnell informed the Board of a letter received regarding this matter that details a potential conflict in the Master Deed with the removal of the railing. He stated Staff would like to obtain legal determination and recommended the item be tabled until the next scheduled meeting.

Chair Foss asked for comment from the applicant. Ms. Carolyn Nebbia, President of Village West Association explained the reasoning for the removal. Chair Foss then asked for public comment on the item. Mr. Chet Williams, the author of the letter written on behalf of Mary Ann Griffin, referenced items of concern and objections regarding the removal of the railing.

After comments, Chair Foss moved to table DRB-000384-2022 until the letter received is reviewed by the Town Attorney and a legal determination is made. Ms. Lippert seconded. By way of roll call, the motion was approved by a vote of 5-0-0.

9. Board Business – None

10. Staff Report

a. Minor Corridor Report – None

11. Adjournment

The meeting adjourned at 1:32 p.m.

Submitted by: Vicki Pfannenschmidt, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JAMES ATKINS Company: COURT ATKINS GROUP
 Mailing Address: P.O. BOX 3978 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-815-2557 Fax: _____ E-mail: jason.broene@courtatkins.com
 Project Name: Spanish Wells Office Warehouse BLDG. Project Address: 296 SPANISH WELLS ROAD
 Parcel Number [PIN]: R510 007 000 0155 0000
 Zoning District: LIGHT INDUSTRIAL (IL) Overlay District(s): CORRIDOR OVERLAY DISTRICT

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input type="checkbox"/> Alteration/Addition
<input checked="" type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2/17/22

DATE

**PROJECT NARRATIVE FOR DESIGN REVIEW BOARD
FINAL DESIGN REVIEW BOARD SUBMITTAL
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA**

Project: Spanish Wells Office and Warehouse Building

Date: February 22, 2022

Applicant: Court Atkins Architects on behalf of Hilton Head Church Investors I, LLC

Agent: Court Atkins Architects, Inc.
Contact: Jason Broene, Studio Manager
P.O. Box 3978
Bluffton, SC 29910
Tel: (843) 815-2557
Fax: (843) 815-2547

Parcel: R510 007 000 0155 0000

Zoning: Light Industrial (LI)

Property Owner: Hilton Head Church Investors I, LLC

Approval sought: Final Review with comments

ARCHITECTURE NARRATIVE

Description

The Spanish Wells Office and Warehouse project is a new building being proposed at 296 Spanish Wells Road adjacent to the existing Resurrection Church. . The building consists of the following characteristics:

1. The building is a single story 6,593 sqft. pre-engineering metal building shell for the potential of up to (6) office and/or warehouse tenant spaces. The building material and forms are in keeping the Town's design guidelines featuring sloped roof forms, wood bracketed awnings, decorative louvers, aluminum storefront doors and windows and stucco veneer with trim.
2. The building will utilize a pre-engineered metal building frame, sloped roof forms with gutters and downspouts, and stucco veneer on the front and two sides of the building.
3. The north elevation, which faces the parking lot, will feature sloped roof forms, aluminum storefront doors and windows, and overhead roll-up doors for each tenant, designated location for tenant signage, bracketed metal awnings, and stucco veneer with trim.
4. The east elevation, which faces Spanish Wells Road will feature sloped roof forms, stucco veneer and trim, bracketed metal awning, and decorative metal louvers.
5. The south / rear elevation which faces the existing tree line and power line easement, will house the building's services. This elevation will feature sloped roof forms, stucco veneer, painted hollow metal egress doors and gutters with downspouts, screened HVAC units.

6. The west elevation, which faces the power line easement, will feature stucco veneer with trim, overhead roll-up door, sloped roof forms, and screened HVAC units.
7. A color board has been submitted and the colors will be harmonious with the surrounding buildings and landscape and meet the intent of the LMO.
8. Should you have any questions or need any additional information please do not hesitate to ask.

Response to Conceptual Review Comments

1. Revise the rear elevation to include more architectural detail.
 - a. Rear elevation has been changed to stucco veneer with trim to match remainder of building. Gutter and downspouts have also been added to the elevation.
2. Revise landscape plan to include more evergreen species in the street buffer.
 - a. Additional evergreen species have been added, see landscape plan.
3. Clarify how the rain garden will be treated (planted).
 - a. Rain garden to be treated with sod, mulch and plant material. See "Rain Gardens" note on landscape plan.
4. Connect the sidewalk in front of the building to the pathway along Spanish Wells Road.
 - a. A sidewalk path has been provided for connectivity.
5. Restudy roof overhangs
 - a. The gable end roof overhangs were extended to an 2'-0" overhang and the rake overhang was extended to an 1'-0".
6. Clarify dumpster location on the site plan and provide a screen.
 - a. Dumpster is located adjacent to Raingarden #1 and screening details are shown on site development drawings.

END



RLM RS12 GNA22 H: 15 W: 12 E: 28 MC: 7

Description

12" RLM, 22" Gooseneck arm

Specifications

Housing	Spun aluminum shade with extruded arm and cast canopy		
Diffuser/Optics	<ul style="list-style-type: none"> • Bare lamp (no diffuser) for Dry locations only • Clear glass cylinder • Clear prismatic glass cylinder • FR - Frosted Glass 		
Light Source	GUL	MBL	Medium Base
Max Watts	11	15	100
Electrical	MB - Accepts Medium base 120V incandescent, CFL or LED lamps (by others) rated for use in fully enclosed fixtures. MBL - Includes Medium base 120V HPF Triac dimmable OmniLED A lamp rated for use in fully enclosed fixtures. GUL - Includes GU24 base 120V HPF Triac dimmable 25,000 Hr OmniLED A lamp with integrated driver.		
Mounting	Mounts over 4" recessed outlet box.		
Certification	Manufactured in accordance with U.L. standard 1598 - Suitable for wet locations (with diffuser only)		



Ordering Guide: Choose from each category, using designated code to specify.

RS12 GNA22				
MODEL	DIFFUSER	LIGHT SOURCE	FINISH	EXTRAS

Diffuser/Optics

- Bare-lamp (no diffuser)
- CL** - Clear glass
- CPR** - Clear prismatic glass
- FR** - Frosted glass

Light Source

- MBL6A** - 5.5W/30K 470 Lm OmniLED
- MBL9.8A** - 9.8W/30K 800 Lm OmniLED
- MBL10A JA8** - 10W/30K 800 Lm 90+ CRI OmniLED
- GUL11A** - 11W/27K 1100 Lm GU24 OmniLED
- MBL11A** - 11W/30K 1100 Lm OmniLED
- MBL13A JA8** - 13W/30K 1100 Lm 90+ CRI OmniLED
- MBL15A** - 15./30K 1600 Lm OmniLED
- MB** - 100W Max Incand A (by others)

Finish

- Standard**
- BL** - Black
- DB** - Dura-Bronze
- WH** - White
- Upgraded***
- RAL** - Specify Color #
- UPG** - Select Color from Luraline Palette
- Premium***
- CCM** - Custom Color
- CIC** - Inner Color
- CTC** - Clear Top Coat
- * Subject to Surcharge

Extras (Order Separately)

- DWG12** 12" Drop Wire Guard



SLIM WALL PACK

LED ADJUSTABLE WALL PACK



407-478-3759
www.ilp-inc.com

FEATURES

- Low profile die-cast aluminum housing
- Bronze polyester powder coat finish (std.)
- Custom and factory select colors available¹
- Isolated optical compartment with tempered glass lens and silicone gaskets
- 90° adjustable Type IV distribution or Optional IDA fixed model²
- Quick mount bracket standard for easy surface mount installation
- Three ½" coin plugs on sides for conduit or electronic photocell
- 120–277V Universal Voltage or 347V–480V High Voltage³
- Achieve code compliance with a fixed down PIR sensor with fully adjustable distribution aiming
- 0–10V Dimmable Driver (std.)
- Deep box 10W CEC Title 20 compliant battery backup & cold weather battery⁴
- Optional Field Adjustable Output device (FAO) allows individual luminaire lumen output control
- 3000K, 4000K & 5000K CCT Selectable via Integral selector
- >70 Color Rendering Index (CRI)
- Calculated L₇₀ >100,000 hrs @ 25°C per TM-21-11
- IP65 Rated Luminaire
- 5 Year Warranty (std); 10 Year Warranty Optional
- ETL Listed for Wet Locations
- DesignLights Consortium® Premium Qualified Luminaire



Shown with Sensor Box

¹Contact factory for pricing and availability ²Fixed 3000K CCT model only
³347–480V available in 5L, 8L, 10L Lumen Packages Only



SUITABLE APPLICATIONS

- Pedestrian Walkways
- Building Entrances
- Multi-use Facilities
- Industrial Facilities
- Parking Lots
- Storage Facilities
- Institutions
- Schools
- Loading Docks

ORDERING GUIDE:

SERIES	LUMENS	DRIVER	CCT	FINISH	WARRANTY
SWP Slim Wall Pack	2L	U 120-277V	CCTS Selectable CCT (5000K, 4000K, 3000K) 30 ³	BRZ Bronze	BLANK 5 Year 10YR ^{7,8} 10 Year
	3L	HV ¹ 347-480V		BLK ⁴ Black	
	5L			WHT ⁴ White	
	8L			SLV ⁴ Silver	
	10L				

SP1^{2,6} 10kA Max Univolt Surge Protection	SWP-FAO10V Field Adjustable Output via 0-10V Wires
SP2^{2,6} 22kA Max 120–277V Surge Protector	SWP-ARM3-xxx Pole Mount Arm Kit, 3" long (xxx=BRZ, BLK, WHT, SLV)
IDA³ Dark Sky IDA Fixture Seal of Approval	SWP-BPS-xxx 18x9 Beauty Plate Kit, Small (xxx=BRZ, BLK, WHT, SLV)
LEDBB^{1,2} 10W UNIV Battery Backup (32°–100°F)	SWP-BPL-xxx 18x9 Beauty Plate Kit, Large (xxx=BRZ, BLK, WHT, SLV)
LEDBBCT^{1,2} 20W UNIV CT Battery Backup (-4°–122°F)	

Controls	
PCU²	Electronic UNIV Photocell (120-277V)
USB/Lx⁹	Bluetooth User Select Bi-Level Dim Occ. Sensor; (x= Mounting height; 2=8', 3=20')

¹5L, 8L, 10L Lumen Packages Only ²Contact Factory for pricing and availability ³Contact Factory for more details
⁴Not available with HV option ⁵Does not qualify for DLC ⁶Requires additional surge protection (SP1,SP2, SP480V2);
⁷Fixed to 3000K CCT and no angle adjustability for ⁸SP1/SP2 specified in combination with battery backups, For additional details see general terms and conditions
IDA Compliance. Must choose 30 CCT and IDA option to qualify separate surge protectors are required per electrical line ⁹Requires bluetooth enabled device for programming (provided by others)



QUICK SHIP ITEMS:

SERIES	LUMENS	DRIVER	COLOR	FINISH
SWP Slim Wall Pack	2L	U 120-277V	CCTS Selectable CCT (5000K, 4000K, 3000K)	BRZ Bronze
	3L			
	5L			
	8L			
	10L			



SLIM WALL PACK

LED ADJUSTABLE WALL PACK

LED SYSTEMS INFO ¹	3000K			4000K			5000K			Watts ²	Replaces
Part Numbers	Lumens	Efficacy	Bug Rating	Lumens	Efficacy	Bug Rating	Lumens	Efficacy	Bug Rating		
SWP-2L-U-CCTS	2,465 lm	122 lm/W	B1-U0-G0	2,649 lm	139 lm/W	B1-U0-G0	2,493 lm	125 lm/W	B1-U0-G0	20 W	100W MH
SWP-3L-U-CCTS	3,160 lm	134 lm/W	B2-U0-G0	3,310 lm	145 lm/W	B2-U0-G0	3,226 lm	136 lm/W	B2-U0-G0	24 W	150W MH
SWP-5L-U-CCTS	5,396 lm	135 lm/W	B2-U0-G0	5,669 lm	147 lm/W	B2-U0-G0	5,515 lm	137 lm/W	B2-U0-G0	40 W	175W MH
SWP-8L-U-CCTS	8,254 lm	138 lm/W	B3-U0-G1	8,678 lm	150 lm/W	B3-U0-G1	8,455 lm	141 lm/W	B3-U0-G1	60 W	250W MH
SWP-10L-U-CCTS	10,141 lm	136 lm/W	B3-U0-G1	10,581 lm	147 lm/W	B3-U0-G1	10,335 lm	138 lm/W	B3-U0-G1	75 W	320W MH

¹LED Chips are frequently updated therefore values are nominal
²Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

SPECIFICATIONS

CONSTRUCTION

Slim Wall Pack luminaire features a sleek low-profile die-cast aluminum housing with matching housing styles for both a small and medium size housings. Slim Wall Pack is protected with a durable Bronze polyester powder coat finish to withstand extreme weather changes without cracking or peeling (Consult factory for availability of alternate finishes). The Adjustable head pivots up to 90° to allow for more forward throw illumination (IDA option eliminates the adjustability). Universal quick mount bracket eliminates the need to drill through the luminaire housing ensuring reliable IP65 ingress protection and fast hands-free mounting via hanging mechanism. One-piece silicone gasket seals door and back box.

ELECTRICAL

High-performance driver features over-voltage, under-voltage, short circuit and over temperature protection. 0-10V dimming (10% - 100%) standard. Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac). L70 >100,000 hrs. in accordance of IESNA TM-21-11 Projected values at 25°C Ambient temperature. Total harmonic distortion: <20%. Power factor: >0.90. Input power stays constant over life. Minimum 2.5kV surge rating. Optional Field Adjustable Output (FAO) accessory allows for individual lumen output control with 7 adjustable light levels per lumen package. 10W CEC Title 20 compliant battery backup & cold weather battery option available. 120-277V 10W CEC Title 20 compliant battery backup & cold weather battery options provide 90 minutes of constant power to the LED system, ensuring code compliance.

INSTALLATION

The Slim Wall Pack features a universal quick mount bracket, allowing for effortless installation to standard 3½" to 4" round/octagonal, 4" square, single gang, masonry junction boxes or vertical surface mounting (secured by four lag bolts (supplied by others)). ½" NPT conduit entry points allow for surface-conduit or thru-branch wiring. Back box is an authorized electrical wiring compartment. Fixture leads exit the back of the casting through a poke-in water-tight grommet. Integral CCT selector allows for toolless CCT tuning at installation.

OPTICS

The isolated silicone sealed optical chamber utilizes a proprietary high-reflective white molded baffle. Optical assembly features an impact-resistant tempered glass lens and meets IESNA requirements for full cutoff compliance. Available in five lumen packages and CCT selectable via an integral CCT selector switch (3000K, 4000K, & 5000K). The Adjustable head pivots up to 90° to allow for more forward throw illumination. IDA option is fixed 3000K and does not allow for head pivoting (full-cutoff).

THERMAL

The Slim Wall Pack features an array of High-efficacy mid-power LED's on a metal core circuit board. The LED board is mounted directly to a cast aluminum housing with heat dissipating fins to provide excellent thermal performance extending the life of electronic components. Operating Ambient Temperature: -40°C to +40°C (-40°F to 104°F) Operating temperature for standard battery backup: 0°C to +50°C (+32°F to +122°F), Cold Weather battery backup: -20°C to +50°C (-4°F to +122°F).

CONTROLS

Three ½" NPT apertures allow for field or factory installed 120-277V universal electronic photocell. Optional PIR sensors available installed in added sensor housing (see page 3 for more details). Sensors provide optional on/off control, photocell capability, bi-level dimming, and bluetooth configuration allows for on-site modifications. (See page 4 for more information)

CERTIFICATIONS

UL Listed for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

5 Year Warranty Standard; 10 Year Warranty Optional ([Terms and Conditions apply](#)).



SLIM WALL PACK

LED ADJUSTABLE WALL PACK

ADDITIONAL FEATURES & OPTIONS

Quick Mount Bracket



90° Adjustable Type IV Distribution



Optional Beauty Plate



Optional Battery Pack



CONTROLS OPTIONS



USB^D

Optional Bluetooth Programmable PIR sensor allows for Continuous Dimming, Motion and/or daylight harvesting, Fully adjustable high/low dimmed light levels, and Adjustable time delay/cutoff delay. The sensor is programmed via a free iOS® or Android® Sensor Configuration App (compatible device provided by others). Available in 8' or 20' mounting lenses. See coverage patterns below.

- Default settings:
- High Mode: 100% Output
- Low Mode: 10% Output
- Time Delay: 5 mins
- Cutoff: 1 hr
- Sensitivity: High
- Photocell: Disabled
- Continuous Dimming: Disabled

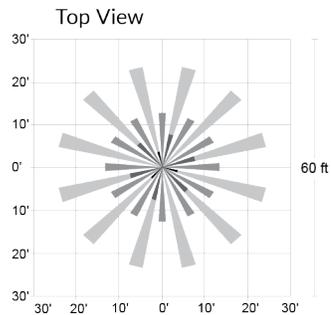


PCU

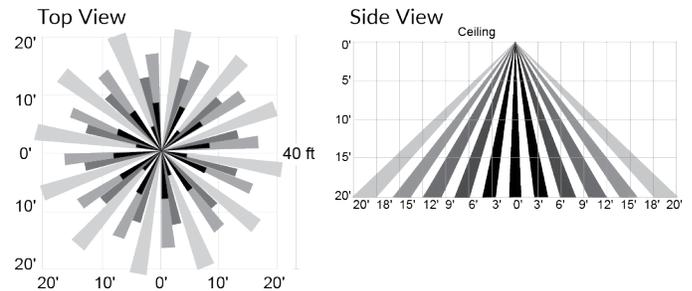
Three 1/2" apertures allow for field or factory installed 120-277V universal electronic pencil photocell.

COVERAGE PATTERN

USB^D/L2



USB^D/L3



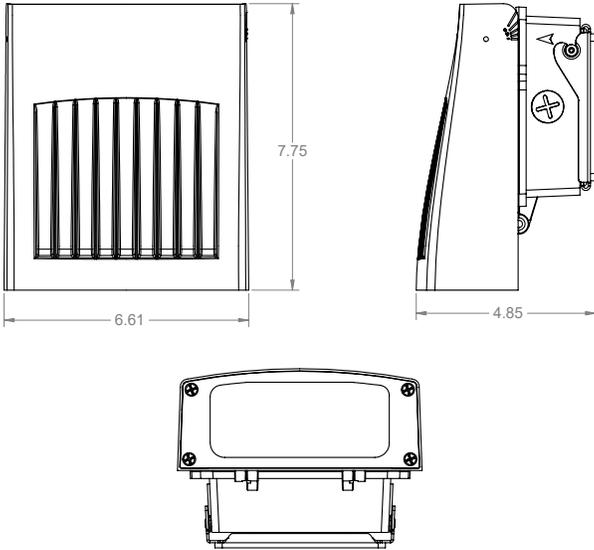


SLIM WALL PACK

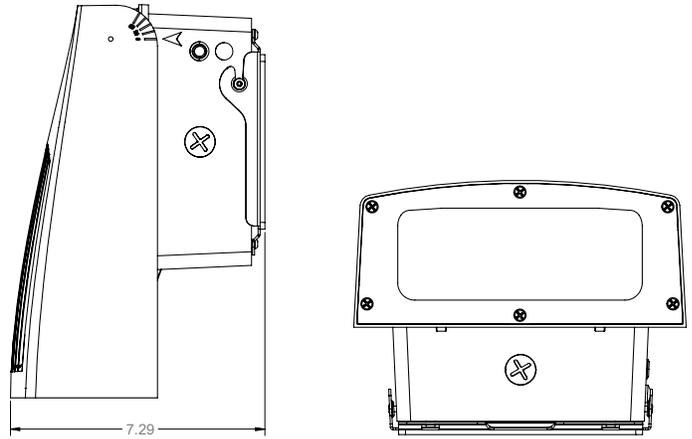
LED ADJUSTABLE WALL PACK

LINE DRAWINGS

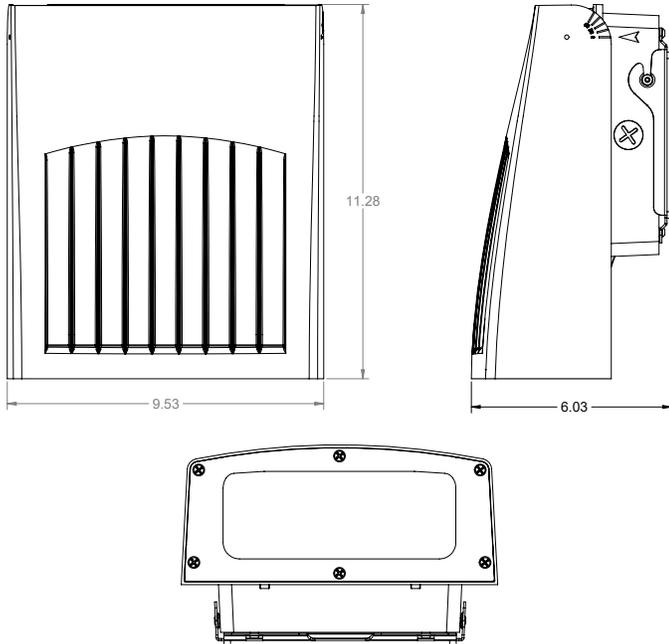
2L & 3L Small Housing



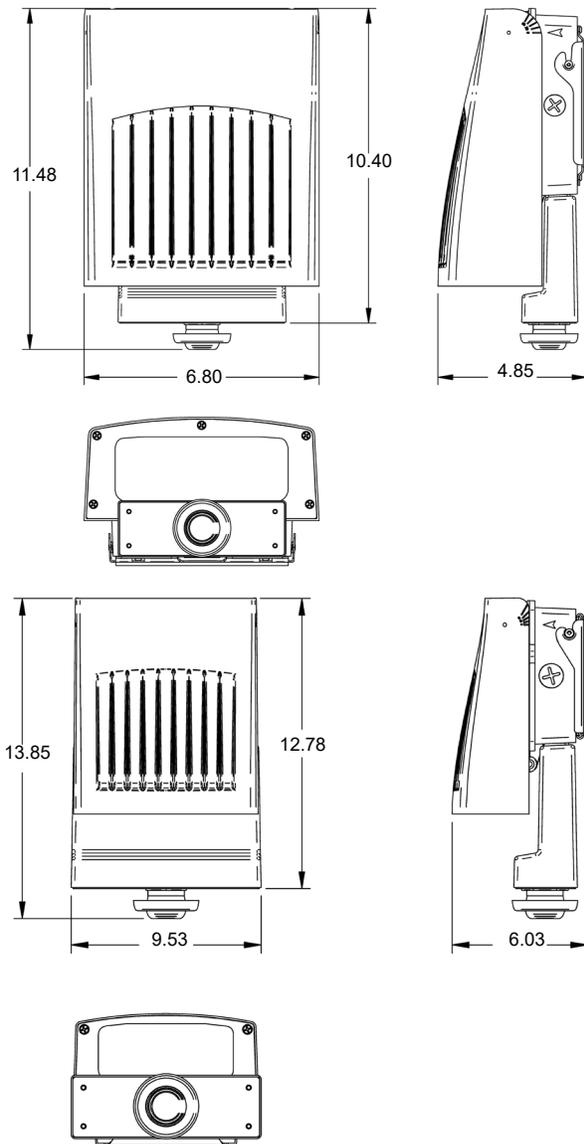
Large with Deep Box Cold Temp Battery Backup



5L, 8L & 10L Large Housing



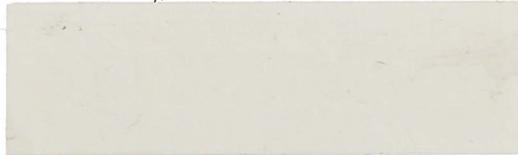
Sensor Box



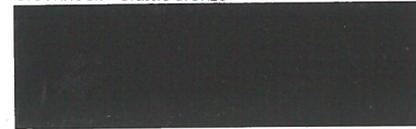
STUCCO BODY
Sto - Sandstone, Medium Texture



STUCCO, TRIM & WOOD BRACKETS
Sto - Smoked Putty, Medium Texture



LOUVERS & MECHANICAL SCREEN
Greenheck - Classic Bronze



ALUMINUM STOREFRONT WINDOWS
YKK - Dark Bronze Anodized



OVERHEAD DOORS
Clopay - Brown



HOLLOW METAL DOORS
To Match Clopay - Brown



ROOFING, GUTTERS, DOWNSPOUTS & FASCIA
Olympia Steel Buildings - Medium Bronze



SPANISH WELLS OFFICE & WAREHOUSE BUILDING

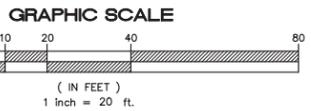
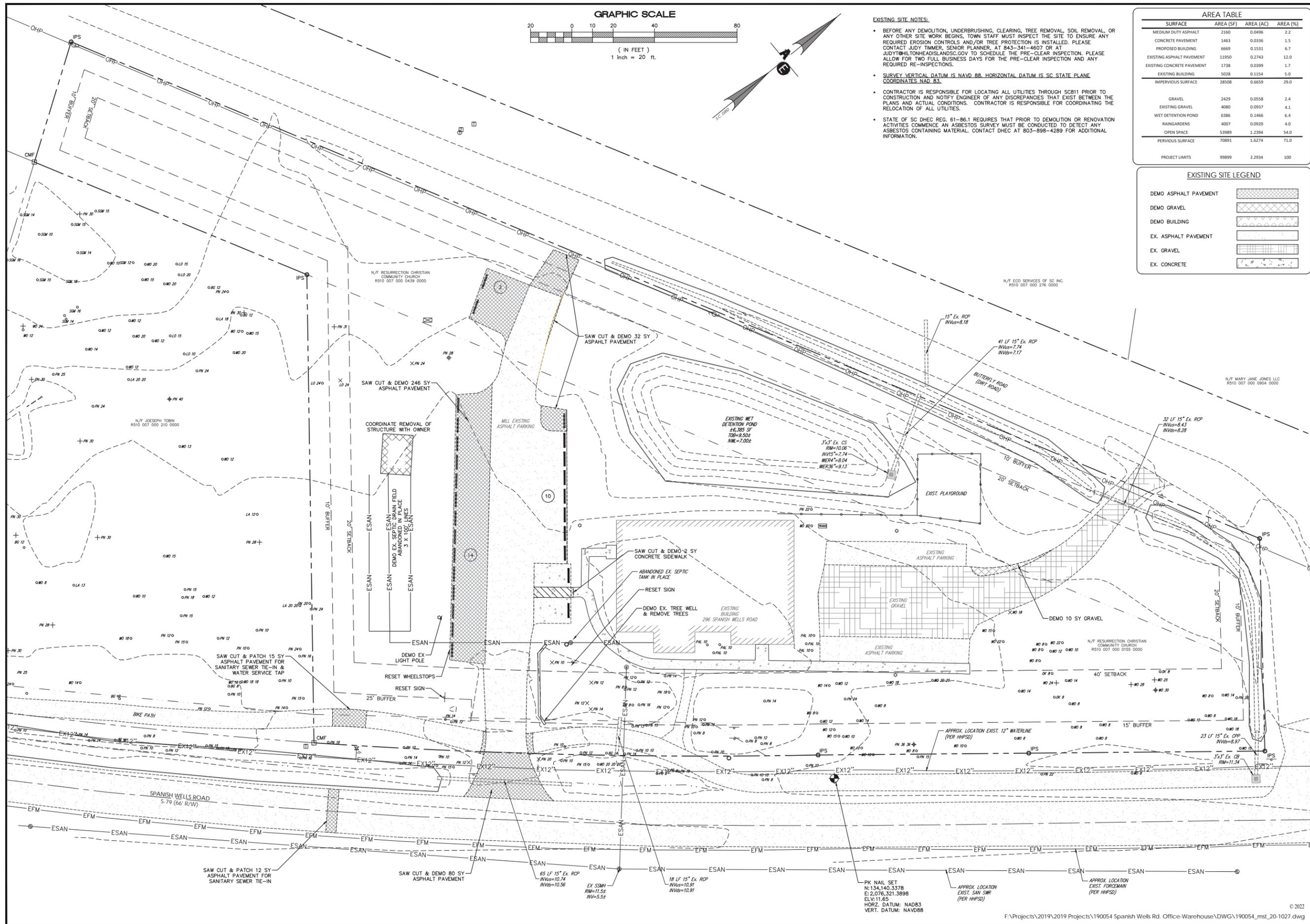
PARCEL R510 007 000 0155 0000 SPANISH WELLS ROAD, HILTON HEAD ISLAND, SC 29926

PROPOSED EXTERIOR MATERIALS & COLORS
February 22, 2022

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GROUP**



- EXISTING SITE NOTES:**
- BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT JUDY TIMMER, SENIOR PLANNER, AT 843-341-4607 OR AT JUDY@HILTONHEADLANDSCAPE.GOV TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
 - SURVEY VERTICAL DATUM IS NAVD 88. HORIZONTAL DATUM IS SC STATE PLANE COORDINATES NAD 83.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES THROUGH SC811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES THAT EXIST BETWEEN THE PLANS AND ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE RELOCATION OF ALL UTILITIES.
 - STATE OF SC DHEC REG. 61-86.1 REQUIRES THAT PRIOR TO DEMOLITION OR RENOVATION ACTIVITIES COMMENCE AN ASBESTOS SURVEY MUST BE CONDUCTED TO DETECT ANY ASBESTOS CONTAINING MATERIAL. CONTACT DHEC AT 803-898-4289 FOR ADDITIONAL INFORMATION.

AREA TABLE

SURFACE	AREA (SF)	AREA (AC)	AREA (%)
MEDIUM DUTY ASPHALT	2160	0.0496	2.2
CONCRETE PAVEMENT	1463	0.0336	1.5
PROPOSED BUILDING	6669	0.1531	6.7
EXISTING ASPHALT PAVEMENT	11950	0.2743	12.0
EXISTING CONCRETE PAVEMENT	1738	0.0399	1.7
EXISTING BUILDING	5028	0.1154	5.0
IMPERVIOUS SURFACE	28508	0.6659	29.0
GRAVEL	2429	0.0558	2.4
EXISTING GRAVEL	4080	0.0937	4.1
WET DETENTION POND	6386	0.1466	6.4
RAINGARDENS	4007	0.0920	4.0
OPEN SPACE	53989	1.2394	54.0
PERVIOUS SURFACE	70891	1.6274	71.0
PROJECT LIMITS	99899	2.2934	100

EXISTING SITE LEGEND

DEMO ASPHALT PAVEMENT	
DEMO GRAVEL	
DEMO BUILDING	
EX. ASPHALT PAVEMENT	
EX. GRAVEL	
EX. CONCRETE	

PLAN REVISIONS

NO.	DATE	DESCRIPTION
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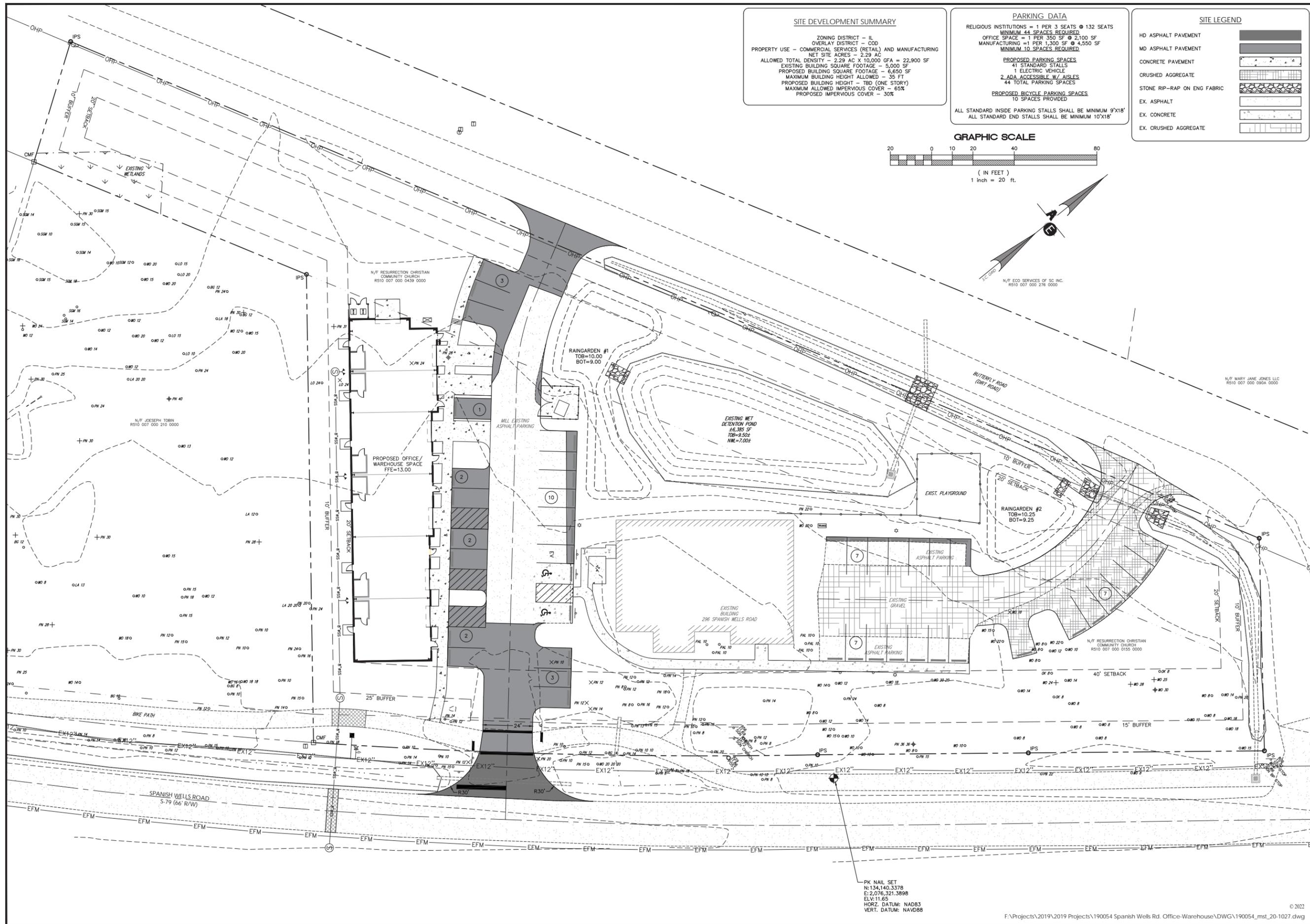
Site Development Plan
 for
 Office/Warehouse Space
 Spanish Wells Road
 Town of Hilton Head
 Beaufort County, SC

Existing Site &
 Demolition Plan

Date Drawn: 01/30/20
 Last Revised: 02/11/22
 Drawn By: L. Wilen
 Engineer: A. Klosterman

SHEET #:
1

JOB: 190054



SITE DEVELOPMENT SUMMARY

ZONING DISTRICT - IL
 OVERLAY DISTRICT - OOD
 PROPERTY USE - COMMERCIAL SERVICES (RETAIL) AND MANUFACTURING
 NET SITE ACRES - 2.29 AC
 ALLOWED TOTAL DENSITY - 2.29 AC X 10,000 GFA = 22,900 SF
 EXISTING BUILDING SQUARE FOOTAGE - 5,000 SF
 PROPOSED BUILDING SQUARE FOOTAGE - 6,850 SF
 MAXIMUM BUILDING HEIGHT ALLOWED - 35 FT
 PROPOSED BUILDING HEIGHT - TBD (ONE STORY)
 MAXIMUM ALLOWED IMPERVIOUS COVER - 65%
 PROPOSED IMPERVIOUS COVER - 30%

PARKING DATA

RELIGIOUS INSTITUTIONS = 1 PER 3 SEATS @ 132 SEATS
 MINIMUM 44 SPACES REQUIRED
 OFFICE SPACE = 1 PER 350 SF @ 2,100 SF
 MANUFACTURING = 1 PER 1,300 SF @ 4,550 SF
 MINIMUM 10 SPACES REQUIRED

PROPOSED PARKING SPACES

41 STANDARD STALLS
 1 ELECTRIC VEHICLE
 2 ADA ACCESSIBLE W/ AISLES
 44 TOTAL PARKING SPACES

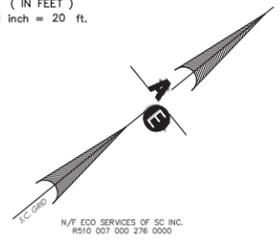
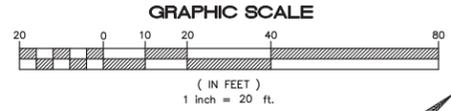
PROPOSED BICYCLE PARKING SPACES

10 SPACES PROVIDED

ALL STANDARD INSIDE PARKING STALLS SHALL BE MINIMUM 9'X18'
 ALL STANDARD EXTERIOR STALLS SHALL BE MINIMUM 10'X18'

SITE LEGEND

HD ASPHALT PAVEMENT	
MD ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
CRUSHED AGGREGATE	
STONE RIP-RAP ON ENG FABRIC	
EX. ASPHALT	
EX. CONCRETE	
EX. CRUSHED AGGREGATE	



PLAN REVISIONS

NO.	DATE	DESCRIPTION
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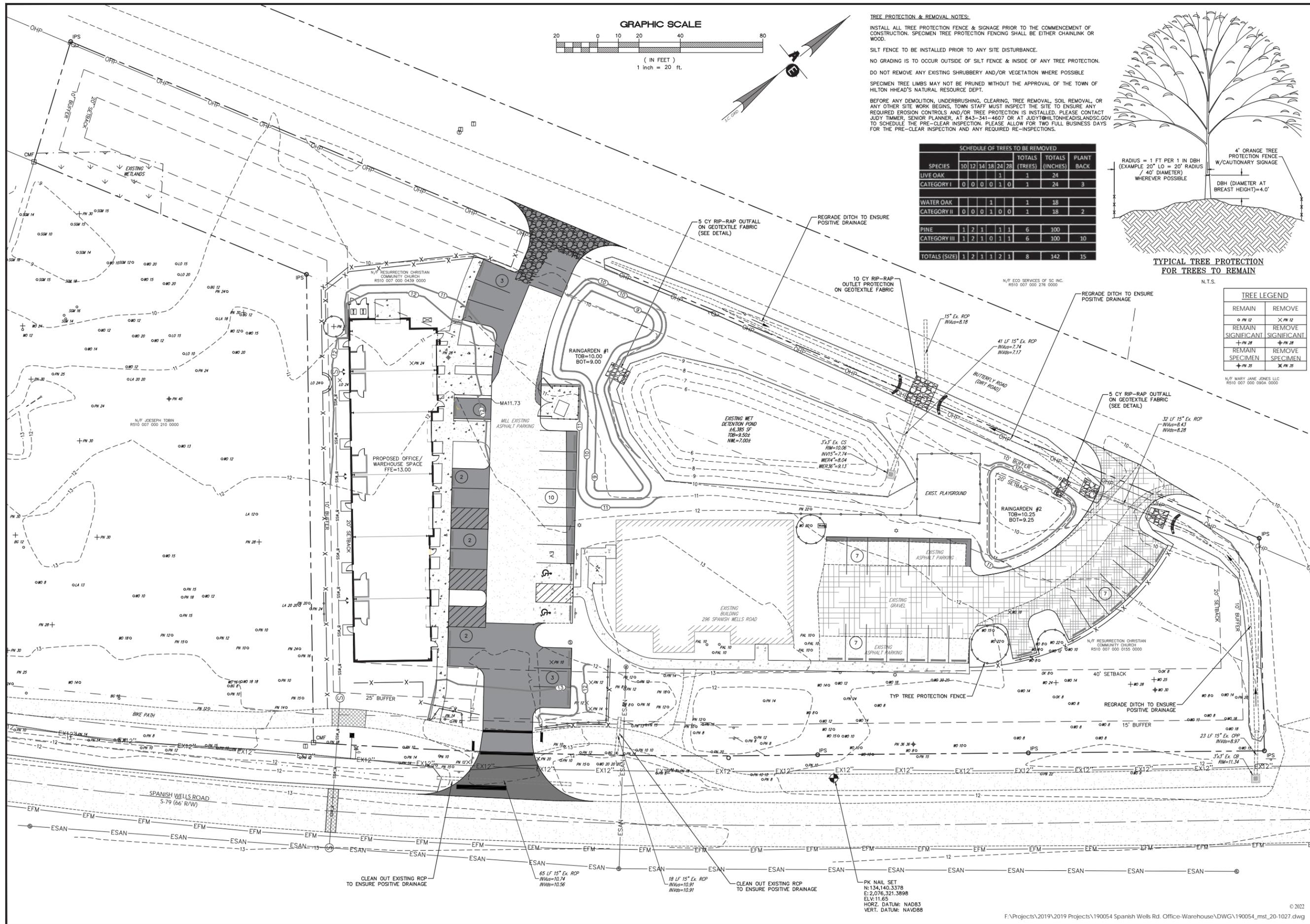
Site Development Plan
 for
 Office/Warehouse Space
 Spanish Wells Road
 Town of Hilton Head
 Beaufort County, SC

Overall
 Site Plan

Date Drawn: 01/30/20
 Last Revised: 02/11/22
 Drawn By: L. Wilen
 Engineer: A. Klosterman

SHEET #:
2

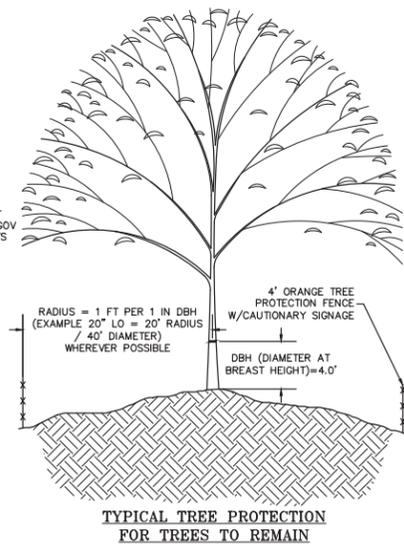
JOB: 190054



TREE PROTECTION & REMOVAL NOTES:
 INSTALL ALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SPECIMEN TREE PROTECTION FENCING SHALL BE EITHER CHAINLINK OR WOOD.
 SILT FENCE TO BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
 NO GRADING IS TO OCCUR OUTSIDE OF SILT FENCE & INSIDE OF ANY TREE PROTECTION.
 DO NOT REMOVE ANY EXISTING SHRUBBERY AND/OR VEGETATION WHERE POSSIBLE
 SPECIMEN TREE LIMBS MAY NOT BE PRUNED WITHOUT THE APPROVAL OF THE TOWN OF HILTON HEAD'S NATURAL RESOURCE DEPT.
 BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT JUDY TIMMER, SENIOR PLANNER, AT 843-341-4607 OR AT JUDY@HILTONHEADISLANDSC.GOV TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.

SCHEDULE OF TREES TO BE REMOVED

SPECIES	TOTALS (TREES)					TOTALS (INCHES)	PLANT BACK
	10	12	14	18	24		
LIVE OAK				1	1	24	3
CATEGORY I	0	0	0	1	0	24	3
WATER OAK			1			18	
CATEGORY II	0	0	1	0	0	18	2
PINE	1	2	1	1	1	100	
CATEGORY III	1	2	1	0	1	100	10
TOTALS (SIZE)	1	2	1	1	1	142	15



TREE LEGEND

REMAIN	REMOVE
○ PW 12	✕ PW 12
○ PW 28	✕ PW 28
○ PW 35	✕ PW 35
○ PW 28	✕ PW 28
○ PW 35	✕ PW 35

PLAN REVISIONS

NO.	DESCRIPTION	DATE	BY:
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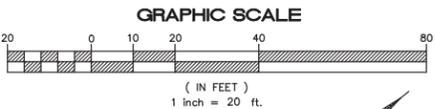
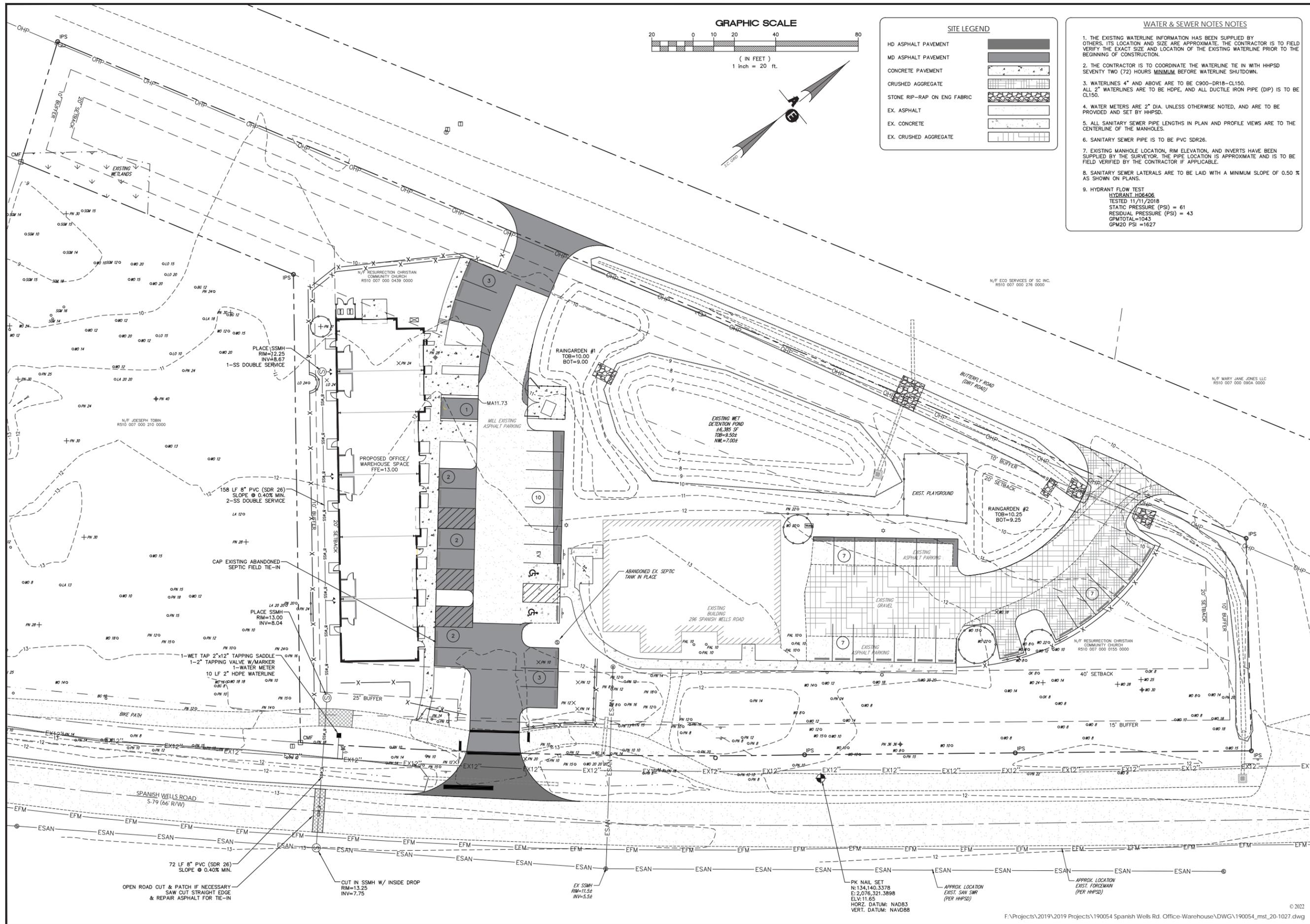
Site Development Plan
 for
 Office/Warehouse Space
 Spanish Wells Road
 Town of Hilton Head
 Beaufort County, SC

Tree Protection
 & Removal Plan

Date Drawn: 01/30/20
 Last Revised: 02/11/22
 Drawn By: L. Wilen
 Engineer: A. Klosterman

SHEET #:
5

JOB: 190054



SITE LEGEND

HD ASPHALT PAVEMENT	
MD ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
CRUSHED AGGREGATE	
STONE RIP-RAP ON ENG FABRIC	
EX. ASPHALT	
EX. CONCRETE	
EX. CRUSHED AGGREGATE	

- WATER & SEWER NOTES**
1. THE EXISTING WATERLINE INFORMATION HAS BEEN SUPPLIED BY OTHERS. ITS LOCATION AND SIZE ARE APPROXIMATE. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT SIZE AND LOCATION OF THE EXISTING WATERLINE PRIOR TO THE BEGINNING OF CONSTRUCTION.
 2. THE CONTRACTOR IS TO COORDINATE THE WATERLINE TIE IN WITH HHPSD SEVENTY TWO (72) HOURS MINIMUM BEFORE WATERLINE SHUTDOWN.
 3. WATERLINES 4" AND ABOVE ARE TO BE C900-DR18-CL150. ALL 2" WATERLINES ARE TO BE HDPE, AND ALL DUCTILE IRON PIPE (DIP) IS TO BE CL150.
 4. WATER METERS ARE 2" DIA. UNLESS OTHERWISE NOTED, AND ARE TO BE PROVIDED AND SET BY HHPSD.
 5. ALL SANITARY SEWER PIPE LENGTHS IN PLAN AND PROFILE VIEWS ARE TO THE CENTERLINE OF THE MANHOLES.
 6. SANITARY SEWER PIPE IS TO BE PVC SDR26.
 7. EXISTING MANHOLE LOCATION, RIM ELEVATION, AND INVERTS HAVE BEEN SUPPLIED BY THE SURVEYOR. THE PIPE LOCATION IS APPROXIMATE AND IS TO BE FIELD VERIFIED BY THE CONTRACTOR IF APPLICABLE.
 8. SANITARY SEWER LATERALS ARE TO BE LAID WITH A MINIMUM SLOPE OF 0.50 % AS SHOWN ON PLANS.
 9. HYDRANT FLOW TEST
 HYDRANT H06406
 TESTED 11/11/2018
 STATIC PRESSURE (PSI) = 61
 RESIDUAL PRESSURE (PSI) = 43
 GPM TOTAL = 1043
 GPM 20 PSI = 1627

PLAN REVISIONS

NO.	DESCRIPTION	DATE	BY:
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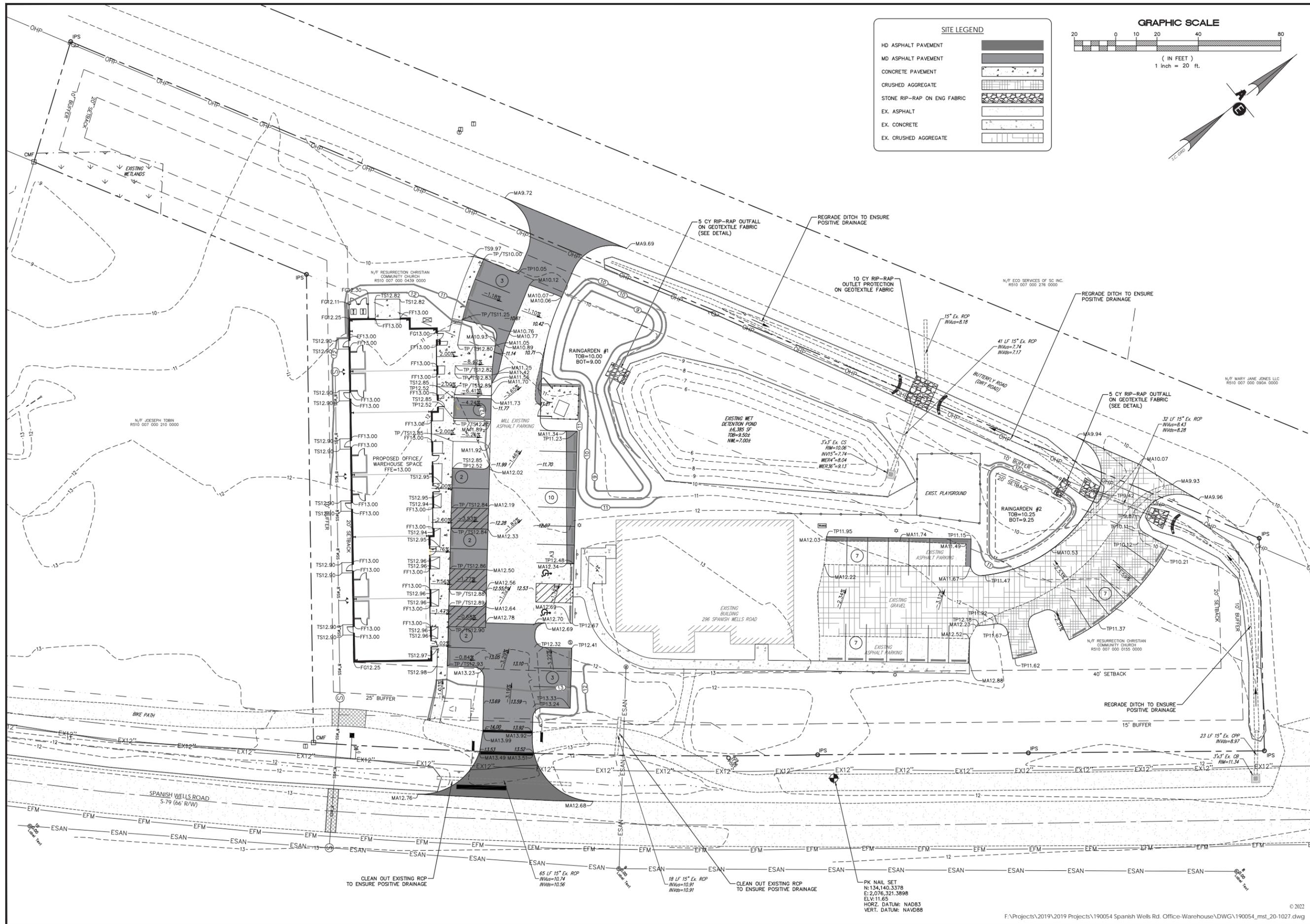
Site Development Plan for
 Office/Warehouse Space
 Spanish Wells Road
 Town of Hilton Head
 Beaufort County, SC

Sanitary Sewer & Waterline Plan

Date Drawn: 01/30/20
 Last Revised: 02/11/22
 Drawn By: L. Wilen
 Engineer: A. Klosterman

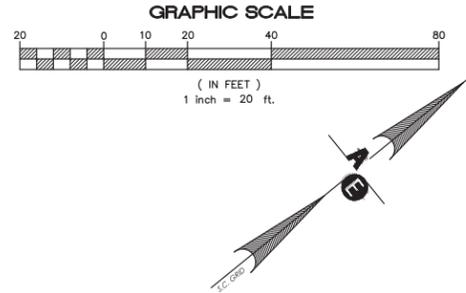
SHEET #: **7**

JOB: 190054



SITE LEGEND

HD ASPHALT PAVEMENT	
MD ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
CRUSHED AGGREGATE	
STONE RIP-RAP ON ENG FABRIC	
EX. ASPHALT	
EX. CONCRETE	
EX. CRUSHED AGGREGATE	



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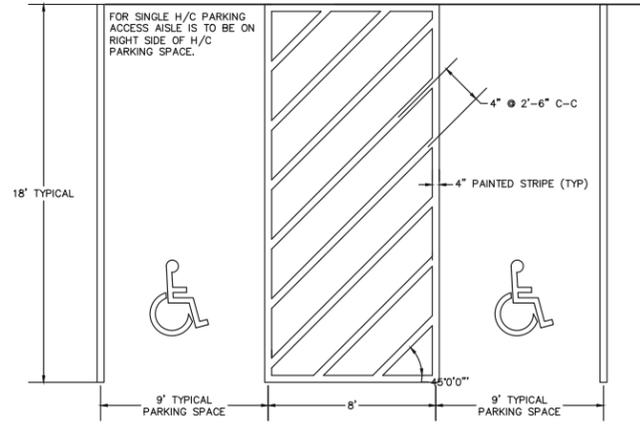
Site Development Plan
for
Office/Warehouse Space
Spanish Wells Road
Town of Hilton Head
Beaufort County, SC

Grading Plan

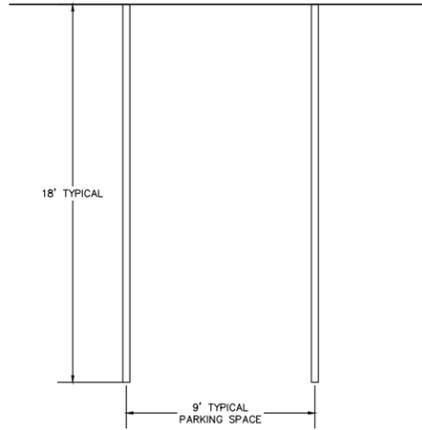
Date Drawn: 01/30/20
Last Revised: 02/11/22
Drawn By: L. Wilen
Engineer: A. Klosterman

SHEET #:
8

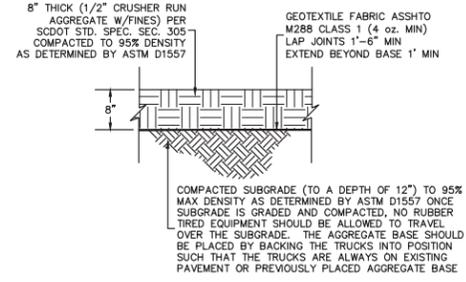
JOB: 190054



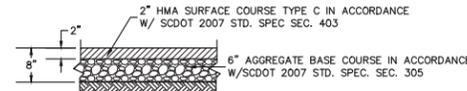
H/C PASSENGER VEHICLE PARKING SPACE STRIPE DETAIL
N.T.S.



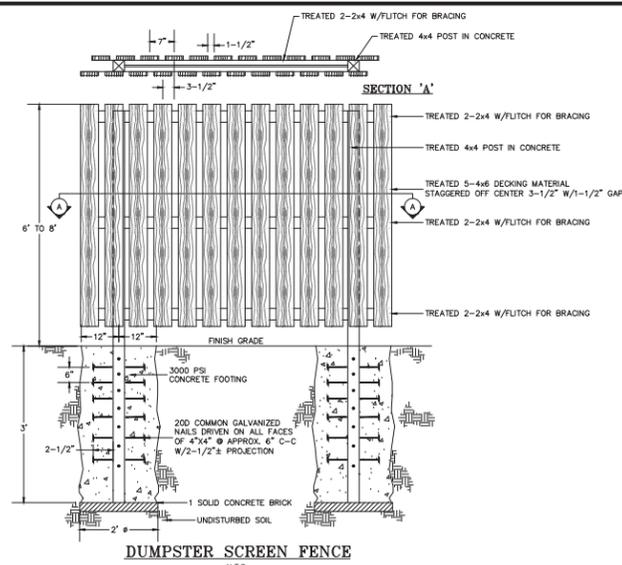
PARKING SPACE STRIPE DETAIL
N.T.S.



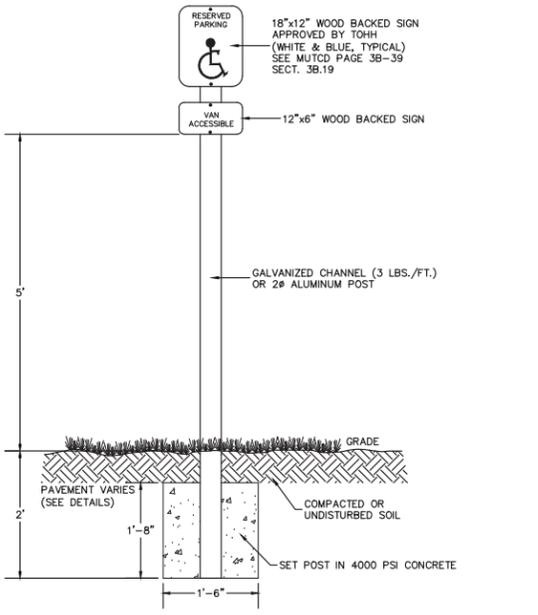
CRUSHED AGGREGATE PAVING DETAIL
N.T.S.



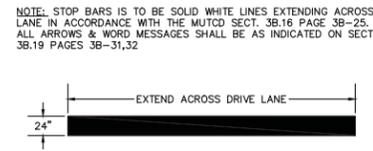
MEDIUM DUTY ASPHALT PAVING DETAIL
N.T.S.



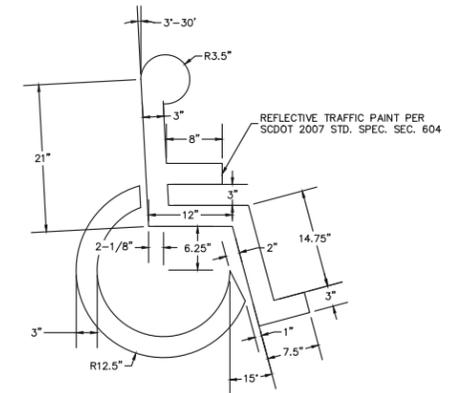
DUMPSTER SCREEN FENCE
N.T.S.



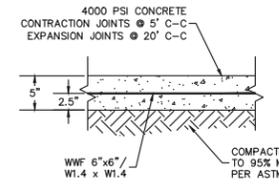
HANDICAPPED PARKING SIGN
N.T.S.



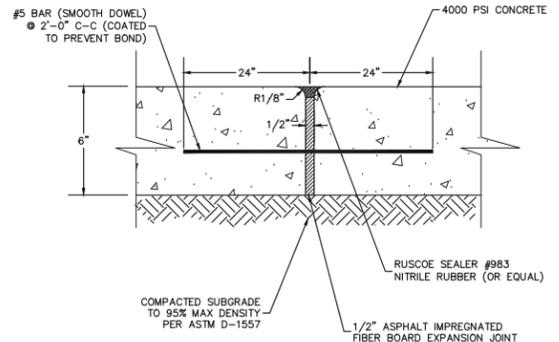
STOP BAR DETAIL
N.T.S.



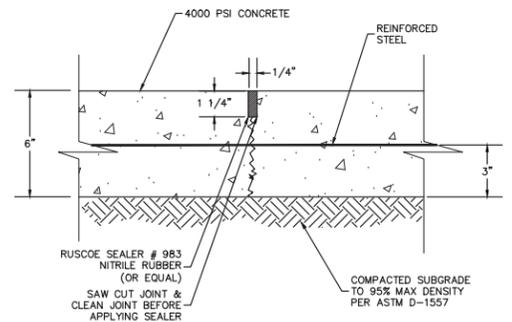
HANDICAP PARKING SYMBOL STRIPE DETAIL
N.T.S.



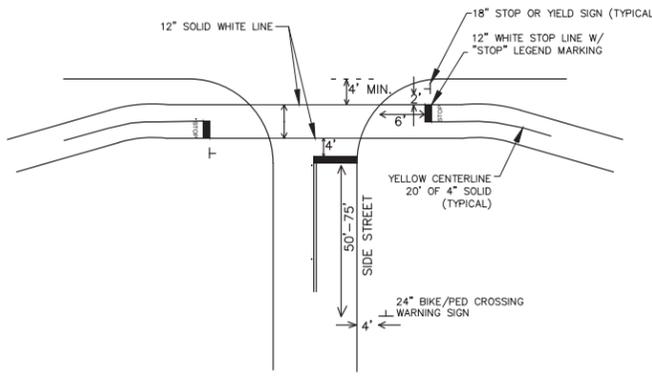
TYPICAL SECTION CONCRETE SIDEWALK
N.T.S.



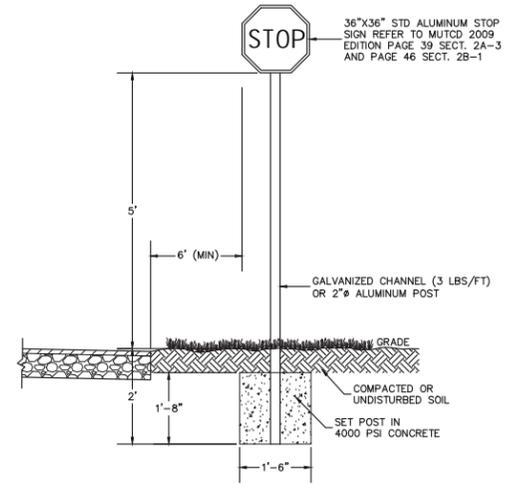
BUTT-TYPE CONSTRUCTION JOINT WITH SMOOTH DOWELS
N.T.S.



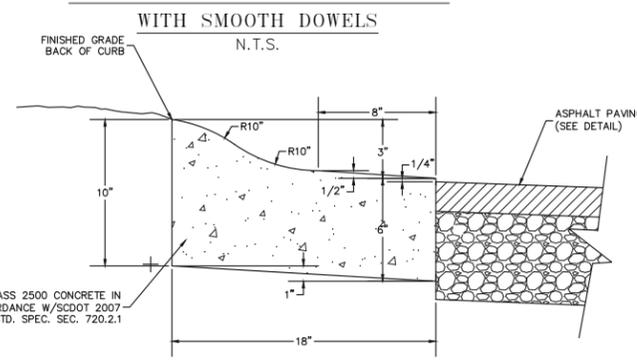
TYPICAL SECTION CONTRACTION JOINT
N.T.S.



MODIFIED TOWN OF HILTON HEAD ISLAND TYPICAL CROSSWALK AND BIKE PATH MARKINGS
N.T.S.



STOP SIGN
N.T.S.



TYPICAL CROSS SECTION SCDOT DRAWING NO. 720-105-01 1'-6\"/>

ALL SAW CUT JOINTS SHALL BE MADE WHEN CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING W/O EXCESSIVE RAVELING, USUALLY 4 TO 6 HOURS. ALL SAW CUT JOINTS SHALL BE IN ACCORDANCE W/ SCDOT 2007 STD. SPEC. SEC. 501.4.13

NOTE: TRANSVERSE EXPANSION & CONTROL JOINTS SHALL BE PROVIDED IN THE CURB, GUTTER & SIDEWALK IN ACCORDANCE W/SCDOT 2007 STD SPEC SEC 720.4.6 EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 50' IN CURB & GUTTER AND NOT MORE THAN 20' IN SIDEWALK. CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10' IN CURB & GUTTER AND NOT MORE THAN 5' IN SIDEWALK.

- NOTES:
- CONTRACTION JOINTS SHALL BE BY SCORING 1/4" DEEP. JOINT SPACING SHALL BE AT INTERVALS NOT MORE THAN 10' C-C.
 - EXPANSION JOINTS SHALL BE AT INTERVALS NOT MORE THAN 50' C-C. EXPANSION JOINT MATERIAL SHALL BE 3/4" THICK PREFORMED JOINT FILLER CONSISTING OF CELLULAR FIBERS SATURATED W/ BITUMINOUS BINDER.
 - CONTRACTOR MAY SUBMIT ALTERNATE ROLL TYPE OR MOUNTABLE CURB SHAPE FOR CONSIDERATION BY THE ENGINEER AND OWNER.
 - TRANSVERSE EXPANSION & CONTROL JOINTS SHALL BE PROVIDED IN THE CURB & GUTTER IN ACCORDANCE W/SCDOT 2007 STD. SPEC. SEC. 720.4.4 & 720.4.6.

PLAN REVISIONS	
NO.	DESCRIPTION
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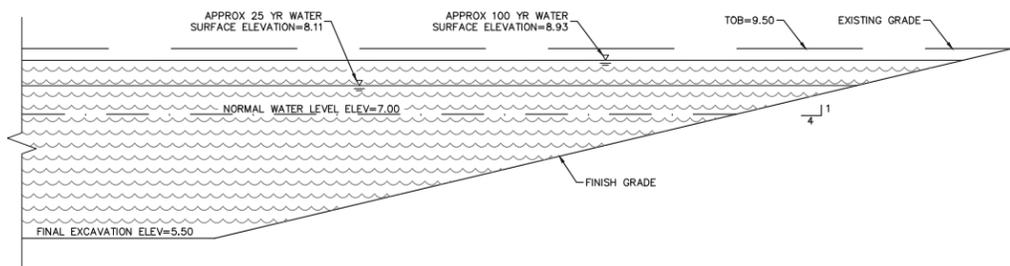
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Site Development Plan for
Spanish Wells Road
Office/Warehouse
Hilton Head Island
Beaufort County, SC

Paving Details

Date Drawn: 01/30/20
Last Revised: 02/11/22
Drawn By: L. Wlien
Engineer: A. Klosterman

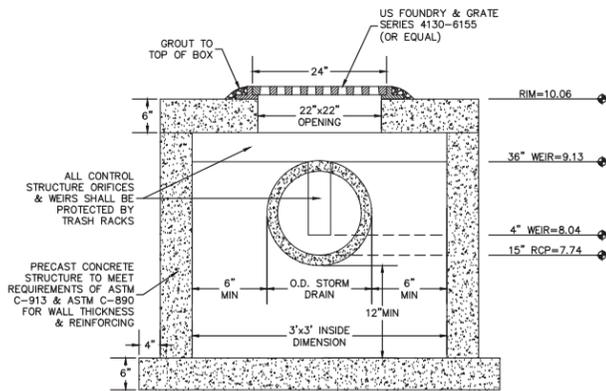
SHEET #:
10
JOB: 190054



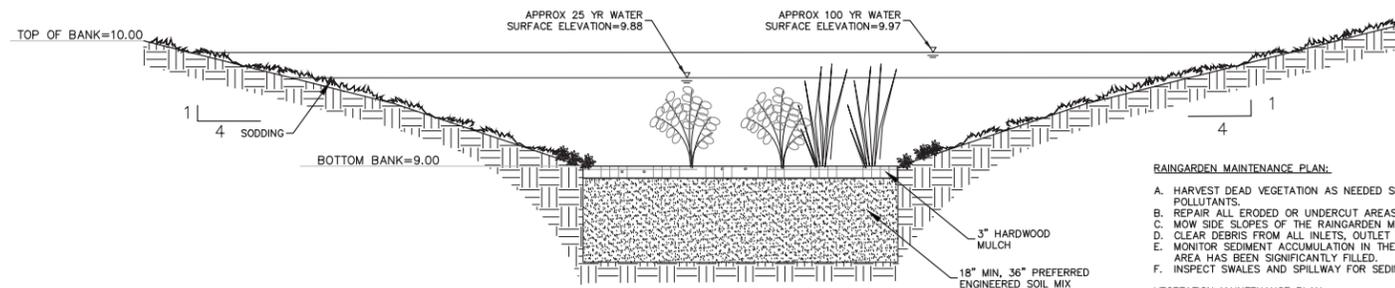
EXISTING WET DETENTION POND (TYPICAL CROSS SECTION)
N.T.S.

WET DETENTION POND MAINTENANCE PLAN:

- A. THE SIDE SLOPES OF THE POND SHALL BE MOWED MONTHLY.
- B. SINCE DECOMPOSING VEGETATION CAPTURED IN THE POND CAN RELEASE POLLUTANTS, ESPECIALLY NUTRIENTS, IT MAY BE NECESSARY TO HARVEST DEAD VEGETATION ANNUALLY. OTHERWISE THE DECAYING VEGETATION CAN EXPORT POLLUTANTS OUT OF THE POND AND ALSO CAN CAUSE NUISANCE CONDITIONS TO OCCUR.
- C. DEBRIS SHALL BE CLEARED FROM ALL INLET AND OUTLET STRUCTURES MONTHLY.
- D. ALL ERODED OR UNDERCUT AREAS SHALL BE REPAIRED AS NEEDED.
- E. A SEDIMENT MARKER SHALL BE PLACED IN THE FOREBAY(S) TO DETERMINE WHEN SEDIMENT REMOVAL IS REQUIRED.
- F. SEDIMENT ACCUMULATIONS IN THE MAIN POND AREA SHALL BE MONITORED AND SEDIMENT SHALL BE REMOVED WHEN THE PERMANENT POOL VOLUME HAS BEEN SIGNIFICANTLY FILLED AND/OR THE POND BECOMES EUTROPHIC.



EXISTING CONTROL STRUCTURE (TYPICAL SECTION)
N.T.S.



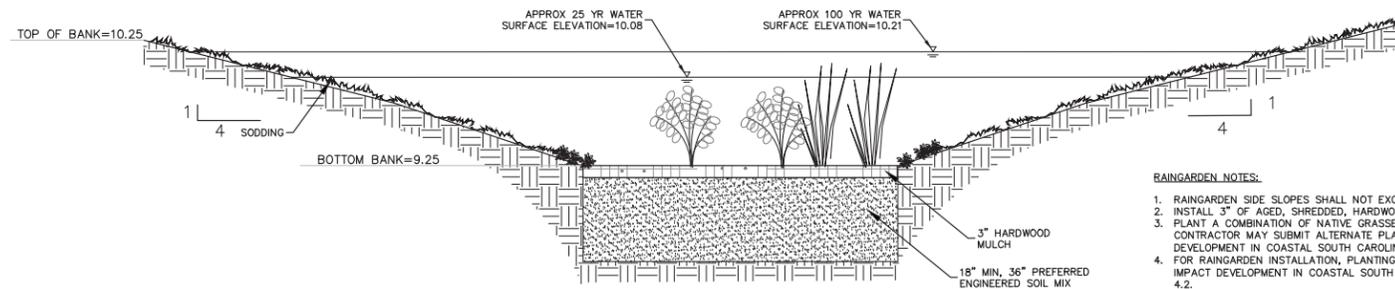
RAINGARDEN #1 (TYPICAL SECTION)
N.T.S.

RAINGARDEN MAINTENANCE PLAN:

- A. HARVEST DEAD VEGETATION AS NEEDED SINCE DECOMPOSING VEGETATION CAN RELEASE POLLUTANTS.
- B. REPAIR ALL ERODED OR UNDERCUT AREAS AS NEEDED.
- C. MOW SIDE SLOPES OF THE RAINGARDEN MONTHLY.
- D. CLEAR DEBRIS FROM ALL INLETS, OUTLET STRUCTURES, AND SPILLWAYS MONTHLY.
- E. MONITOR SEDIMENT ACCUMULATION IN THE RAINGARDEN AND REMOVE SEDIMENT WHEN BOTTOM AREA HAS BEEN SIGNIFICANTLY FILLED.
- F. INSPECT SWALES AND SPILLWAY FOR SEDIMENT ACCUMULATION EVERY 6 MONTHS.

VEGETATION MAINTENANCE PLAN:

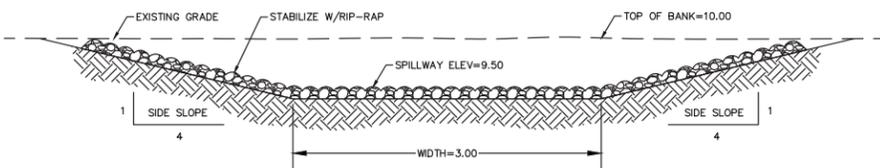
- A. INSPECT PLANTS AS NEEDED UNTIL THEY ARE ESTABLISHED. PROVIDE WATER DURING HOT, DRY SPELLS, ESPECIALLY DURING THE FIRST TWO YEARS.
- B. PRUNE, WEED, AND REMOVE ACCUMULATED TRASH MONTHLY. REPLACE MULCH AS NEEDED.
- C. INSPECT DETENTION AREA AND RIP-RAP SPILLWAY EVERY 6 MONTHS AND REMOVE ACCUMULATED SEDIMENT BUILD-UP AS NECESSARY. ADD VEGETATION IN HEAVILY ERODED AREAS.
- D. REMOVE AND REPLACE MULCH EVERY TWO YEARS.



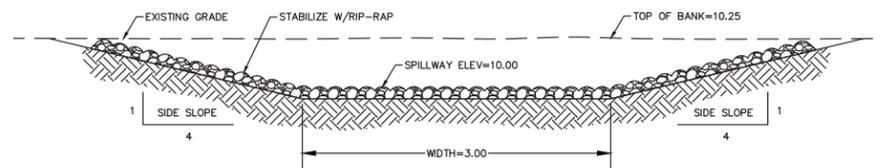
RAINGARDEN #2 (TYPICAL SECTION)
N.T.S.

RAINGARDEN NOTES:

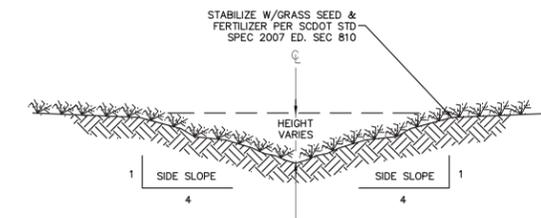
- 1. RAINGARDEN SIDE SLOPES SHALL NOT EXCEED 3:1.
- 2. INSTALL 3" OF AGED, SHREDDED, HARDWOOD BARK MULCH ON BIORETENTION BOTTOMS.
- 3. PLANT A COMBINATION OF NATIVE GRASSES AND SHRUBS. SEE PROJECT PLANTING PLAN. CONTRACTOR MAY SUBMIT ALTERNATE PLAN. SEE THE CLEMSON EXTENSION'S "LOW IMPACT DEVELOPMENT IN COASTAL SOUTH CAROLINA: A PLANNING AND DESIGN GUIDE" CHAPTER 4.2.
- 4. FOR RAINGARDEN INSTALLATION, PLANTING, AND MAINTENANCE GUIDANCE, PLEASE SEE THE "LOW IMPACT DEVELOPMENT IN COASTAL SOUTH CAROLINA: A PLANNING AND DESIGN GUIDE" CHAPTER 4.2.
- 5. ENGINEERED SOIL MIX WILL ADHERE TO THE FOLLOWING:
 - a. 40% SAND, 30% TOPSOIL, AND 30% COMPOST
 - b. ORGANIC CONTENT MATTER FROM 8-10% BY WEIGHT
 - c. LESS THAN 5% MINERAL FINES CONTENT (CLAY)
 - d. 1.5 FOOT MINIMUM THICKNESS
 - e. COMPACT TO 85% MAXIMUM DENSITY PER ASTM D 1557
 - f. MINIMUM LONG-TERM HYDRAULIC CONDUCTIVITY OF 0.5 INCH/HOUR PER ASTM D2434.
 - g. MAXIMUM IMMEDIATE HYDRAULIC CONDUCTIVITY OF 12 INCHES/HOUR.
- 6. ENGINEERED SOIL MAY BE OBTAINED OFF SITE OR CREATED BY TESTING NATIVE SOILS AND MIXING WITH IMPORTED MATERIALS AS NEEDED TO ACHIEVE SPECIFICATIONS.
- 7. ENGINEERED SOIL SHOULD BE MIXED UNIFORMLY AND ITS CHARACTERISTICS SHOULD BE VERIFIED BY MATERIALS TESTING PRIOR TO PLACEMENT.
- 8. PLACE UNSATURATED SOIL IN 6 INCH LIFTS. DO NOT PLACE IF SATURATED.
- 9. TO PRESERVE INFILTRATION CAPACITY OF NATIVE SOIL, KEEP MACHINERY OUTSIDE OF GREEN INFRASTRUCTURE AREA.
- 10. AFTER PLACEMENT, COMPACT EACH LIFT TO 85% MAXIMUM DENSITY USING WATER UNTIL SATURATED OR BY WALKING ON THE SURFACE. DO NOT USE A VIBRATORY COMPACTOR.



RAINGARDEN #1 RIP-RAP OVERFLOW SPILLWAY (TYPICAL SECTION)
N.T.S.



RAINGARDEN #2 RIP-RAP OVERFLOW SPILLWAY (TYPICAL SECTION)
N.T.S.



GRASS SWALE (TYPICAL SECTION)
N.T.S.

PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

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Professional Engineer Seal: Andrew R. Klosterman, No. 00008, State of North Carolina.

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Beaufort, SC 29902
843.379.2222
Fax 843.379.2223

Andrews Engineering & Surveying

Site Development Plan
for
Spanish Wells Road
Office/Warehouse
Hilton Head Island
Beaufort County, SC

Drainage Details

Date Drawn: 01/30/20
Last Revised: 02/11/22
Drawn By: L. Wlien
Engineer: A. Klosterman

SHEET #:
13
JOB: 190054

CONCEPTUAL LANDSCAPE PLAN

Proposed Office Warehouse Development

HILTON HEAD ISLAND, SOUTH CAROLINA

PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	NUMBER	SIZE (REMARKS)
TREES:				
LOK	Live Oak	Quercus virginiana	4	15 GAL/2.5" CAL/10' HT/5'-6" SPD
PAL	Palmello Palm	Sabal palmetto	4	8'-10' HT (B&B)(STAGGER HT)
CMY	Crape Myrtle	Lagerstroemia indica	6	7 GAL/5' HT/3' SPD (MULTI-STEM)
PIN	Longleaf Pine	Pinus palustris	4	15 GAL/2.5" CAL/6' HT
SHY	Savannah Holly	Ilex x 'Savannah'	3	30 GAL/10' HT/5' SPD
DOG	Flowering Dogwood	Cornus florida	2	7 GAL/5' HT/3' SPD
SHRUBS:				
WXM	Wax Myrtle	Myrica cerifera	12	15 GAL/5' HT/4' SPD/12'
YHY	Yaupon Holly	Ilex vomitoria	62	3 GAL/2' HT/2' SPD
AZI	Southern Indica Azalea	Rhododendron	28	7 GAL/3' HT/3' SPD
FGR	Fountain Grass	Pennisetum setaceum	14	3 GAL/3' HT/2' SPD
LAU	Loropetalum	Loropetalum chinense	11	7 GAL/3' HT/2' SPD

RAIN GARDENS: Plant Material: *Spartina alterniflora* (Smooth cordgrass) - 234 Plants to be sprigged.
 Hardwood mulch: To be placed around above plants - 355 sq. yds.
 Sod: To be placed on pervious slopes around raingarden perimeter - 380 sq. yds.

- NOTES:
- All actively landscaped areas to be irrigated.
 - All non-landscaped non-buffer areas to be sprayed to eliminate existing weeds and mulched.
 - All non-landscaped buffer areas to be left natural and selectively mulched.

K.P. SKODACEK & ASSOCIATES
 1010 10TH STREET, SUITE 200
 BEAUFORT, SOUTH CAROLINA 29516
 TEL: 843.735.1234 FAX: 843.735.1235

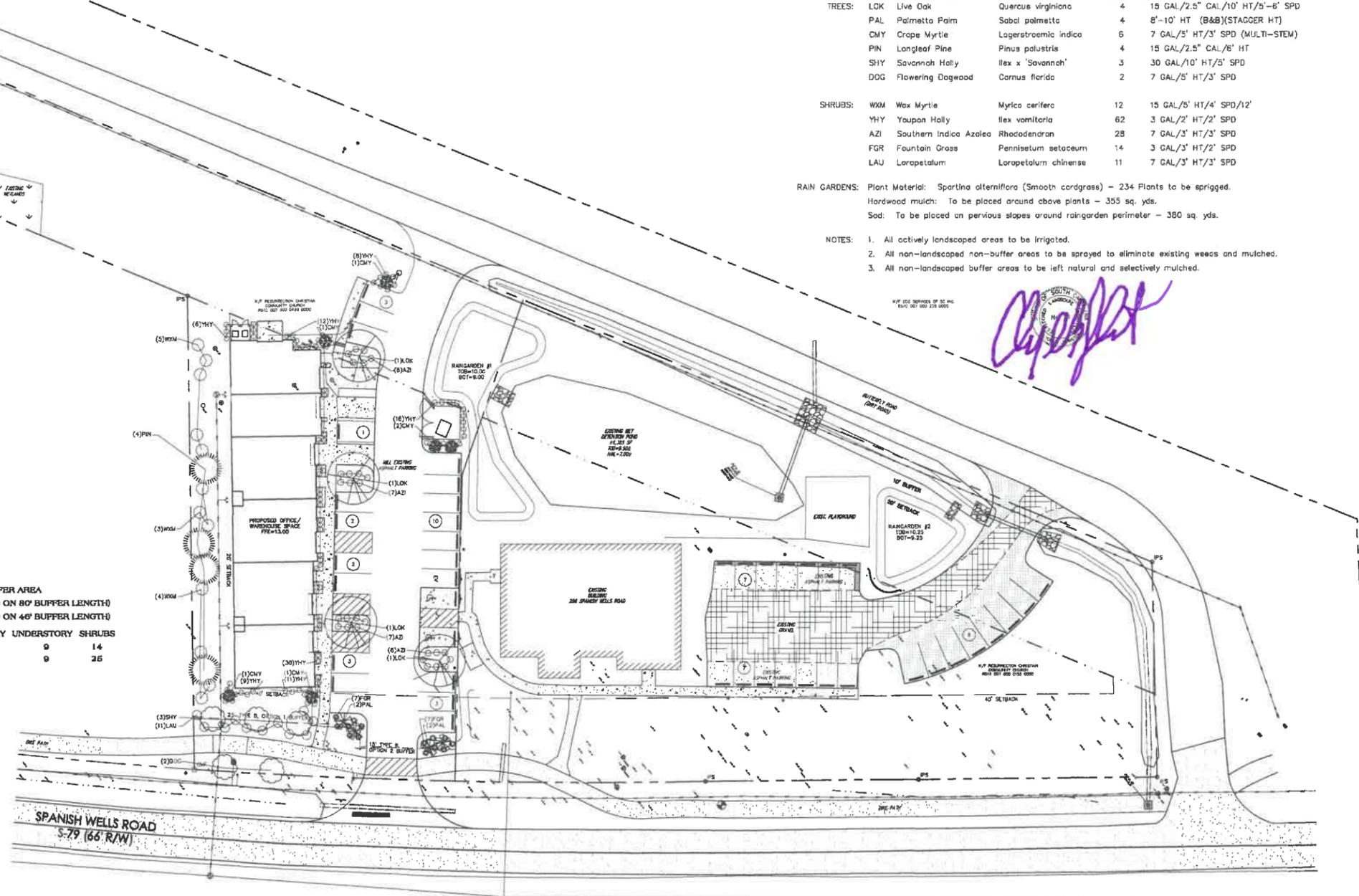
K.P. SKODACEK & ASSOCIATES
 1010 10TH STREET, SUITE 200
 BEAUFORT, SOUTH CAROLINA 29516
 TEL: 843.735.1234 FAX: 843.735.1235

K. Skodacek

ADJACENT STREET BUFFER AREA
 BUFFER TYPE: TYPE 'B' - OPTION 1 (BASED ON 80' BUFFER LENGTH)
 BUFFER TYPE: TYPE 'B' - OPTION 2 (BASED ON 40' BUFFER LENGTH)

	OVERSTORY	UNDERSTORY	SHRUBS
TREES/SHRUBS REQUIRED:	5	9	14
TREES/SHRUBS PROVIDED:	6*	9	25

* 6 EXISTING OVERSTORY TREES:
 PINES: 18", 10", 14", 6", 12", 10"



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PREPARED FOR
JIM YIRKA
 BEAUFORT, SOUTH CAROLINA



DESIGN TEAM
 LAND PLANNING & LANDSCAPE DESIGN: KENNETH P.P. SKODACEK
 BEAUFORT, SOUTH CAROLINA
 CIVIL ENGINEERS: ANDREWS ENGINEERING, INC.
 BEAUFORT, SOUTH CAROLINA
 ARCHITECT: MICHAEL GRIFFITH
 SEBRING, FLORIDA
 SURVEYING: ANDREWS ENGINEERING, INC.
 BEAUFORT, SOUTH CAROLINA

The above drawing is conceptual and is subject to change.

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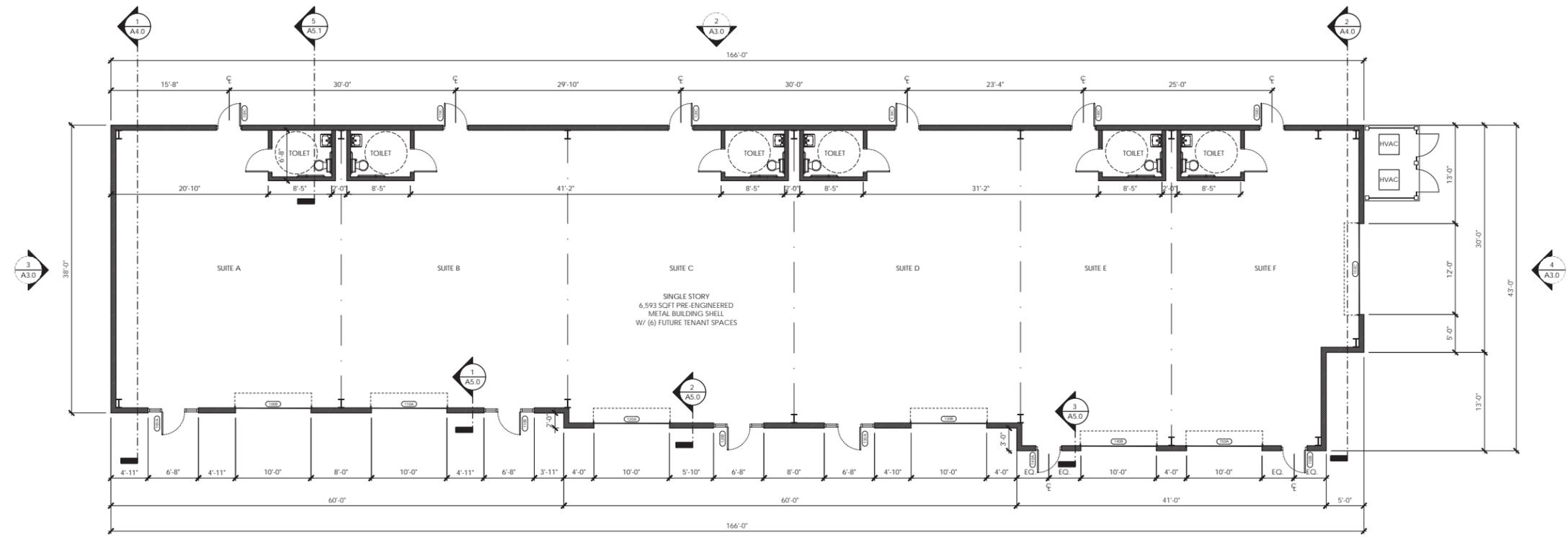


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1 FLOOR PLAN
A2.1 SCALE 1/8" = 1'-0"

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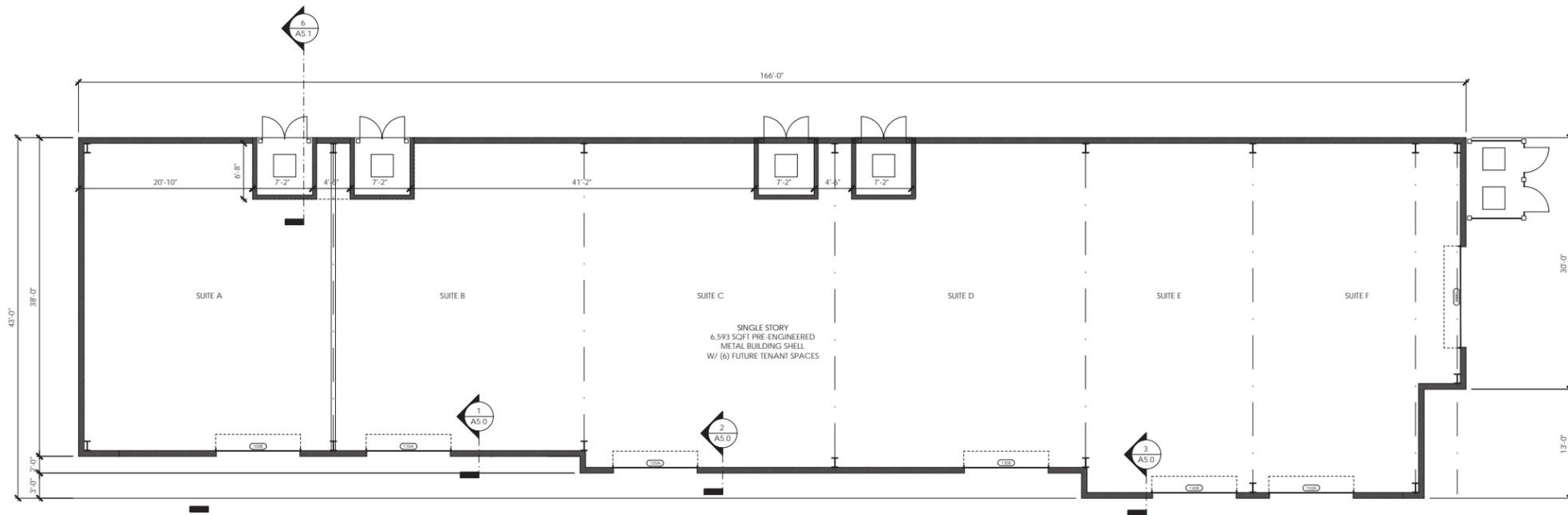
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PROJECT CONTACT : JW
DATE : 02/22/2022

FLOOR PLAN A2.1



1 HVAC PLAN
A2.2 SCALE 1/8" = 1'-0"



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PROJECT # : 21-141
PROJECT CONTACT : JW
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HVAC
PLAN
A2.2

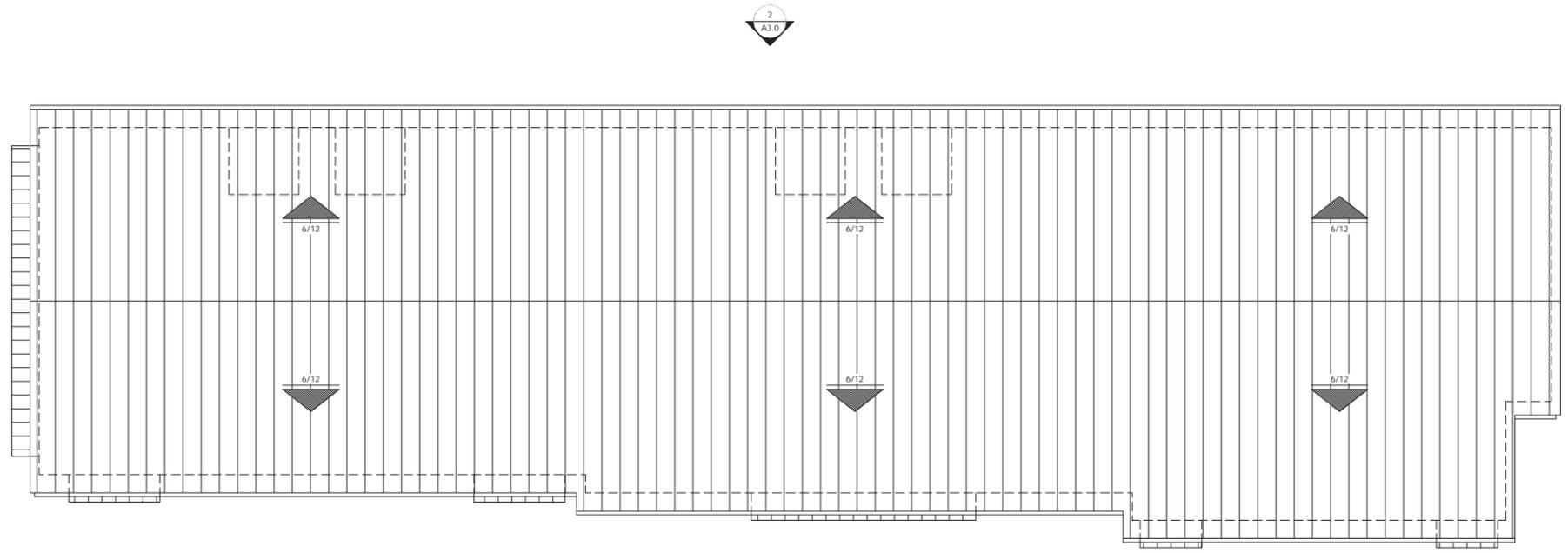


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1 ROOF PLAN
A2.3 SCALE 1/8" = 1'-0"

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ROOF PLAN A2.3

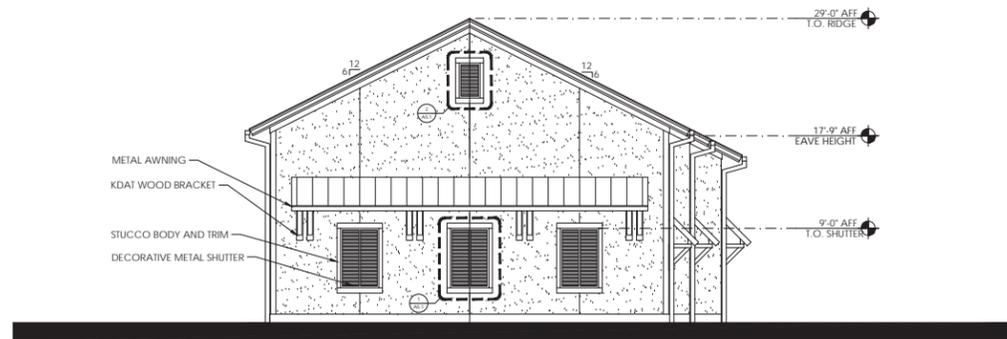


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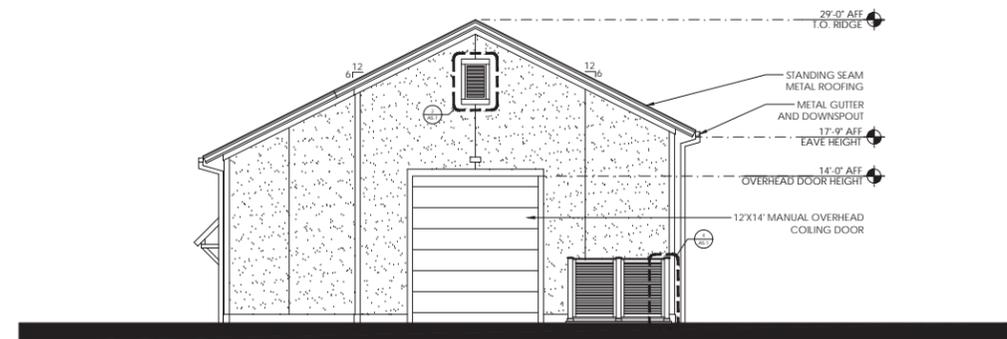
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3 SPANISH WELLS ROAD ELEVATION (EAST)
A3.0 SCALE 1/8" = 1'-0"



4 BUTTERFLY ROAD ELEVATION (WEST)
A3.0 SCALE 1/8" = 1'-0"



2 REAR ELEVATION (SOUTH)
A3.0 SCALE 1/8" = 1'-0"



1 PARKING LOT ELEVATION (NORTH)
A3.0 SCALE 1/8" = 1'-0"

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EXTERIOR
ELEVATIONS
A3.0



3 SPANISH WELLS ROAD ELEVATION (EAST)
SCALE 1/8" = 1'-0"



4 BUTTERFLY ROAD ELEVATION (WEST)
SCALE 1/8" = 1'-0"



2 REAR ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"



1 PARKING LOT ELEVATION (NORTH)
SCALE 1/8" = 1'-0"

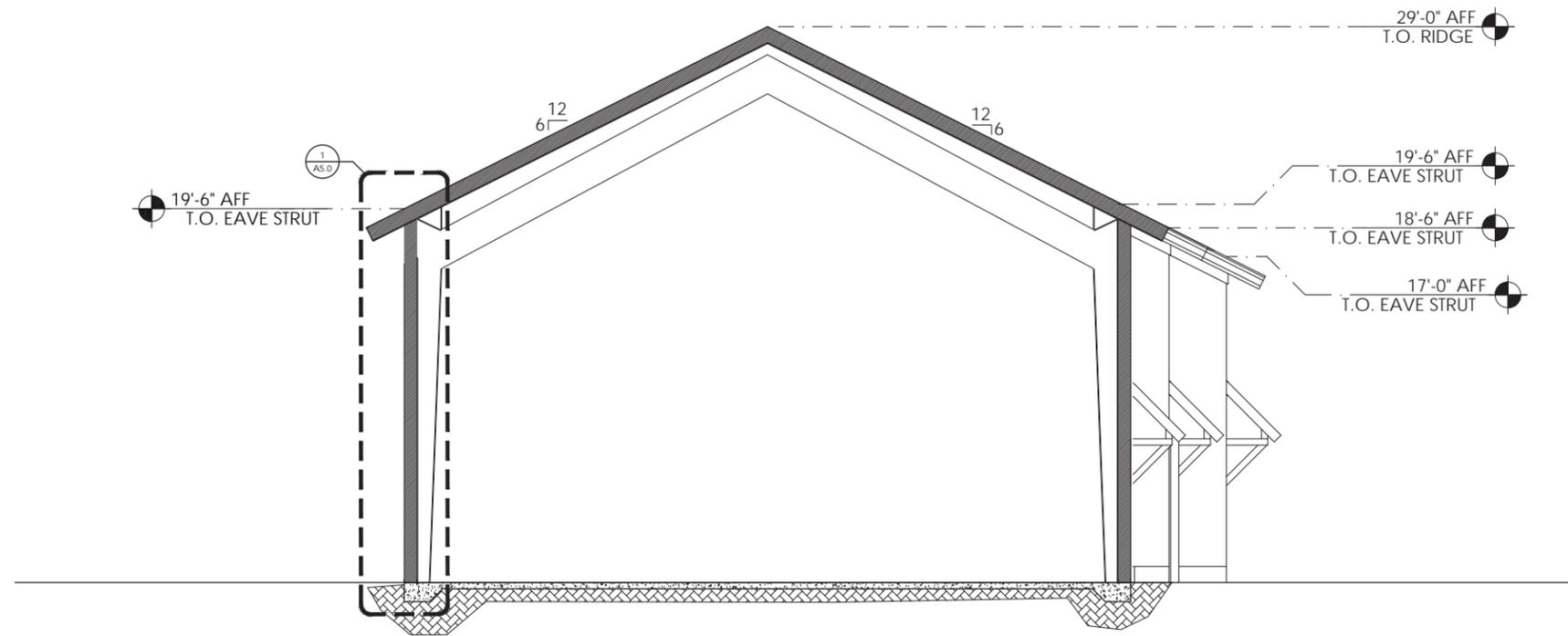


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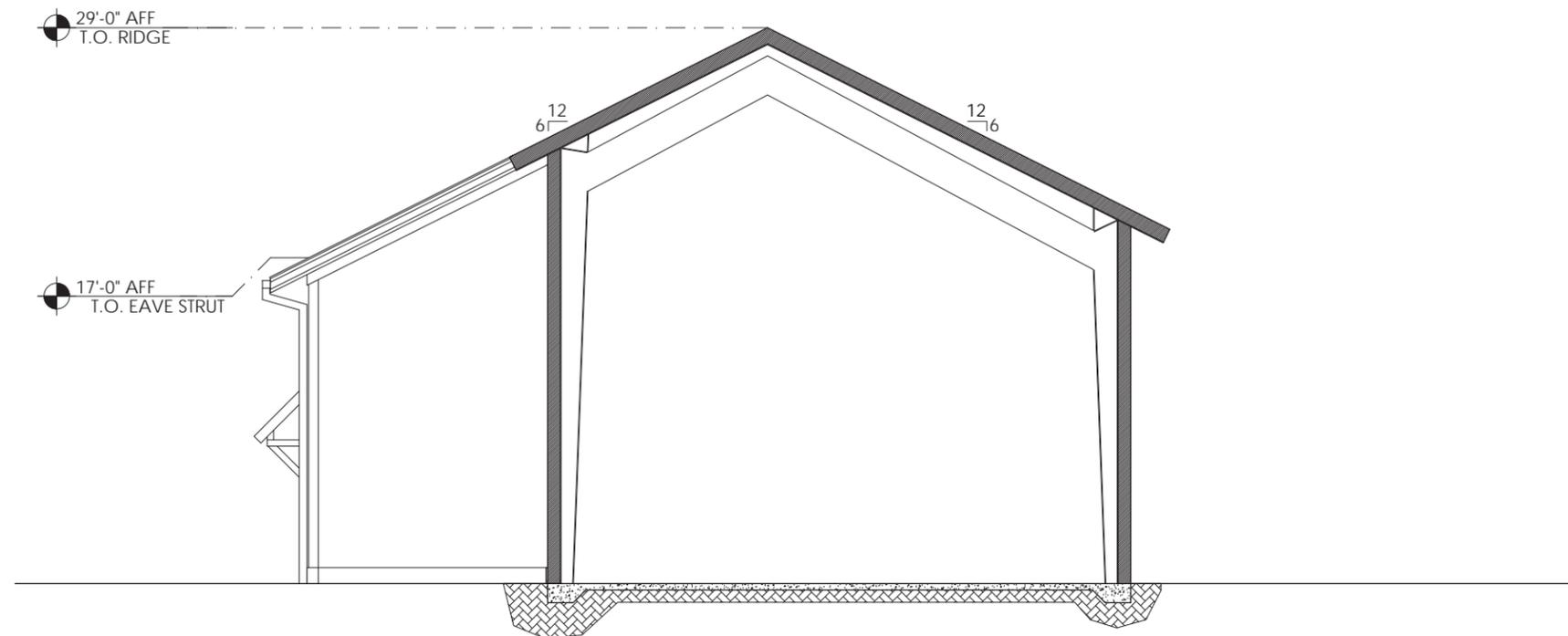
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1 BUILDING SECTION
A4.0 SCALE 1/8" = 1'-0"



2 BUILDING SECTION
A4.0 SCALE 1/8" = 1'-0"

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BUILDING
SECTIONS
A4.0



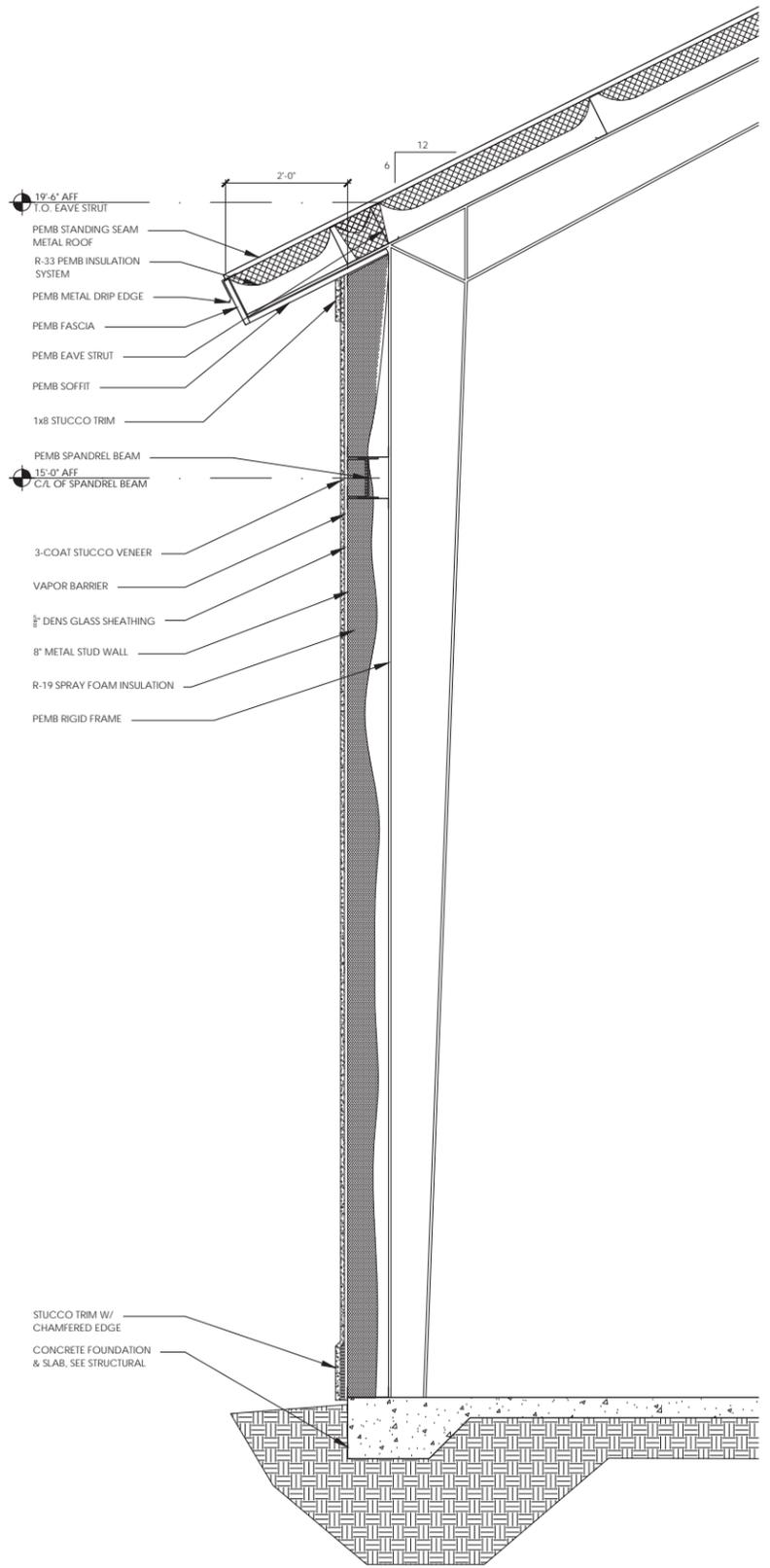
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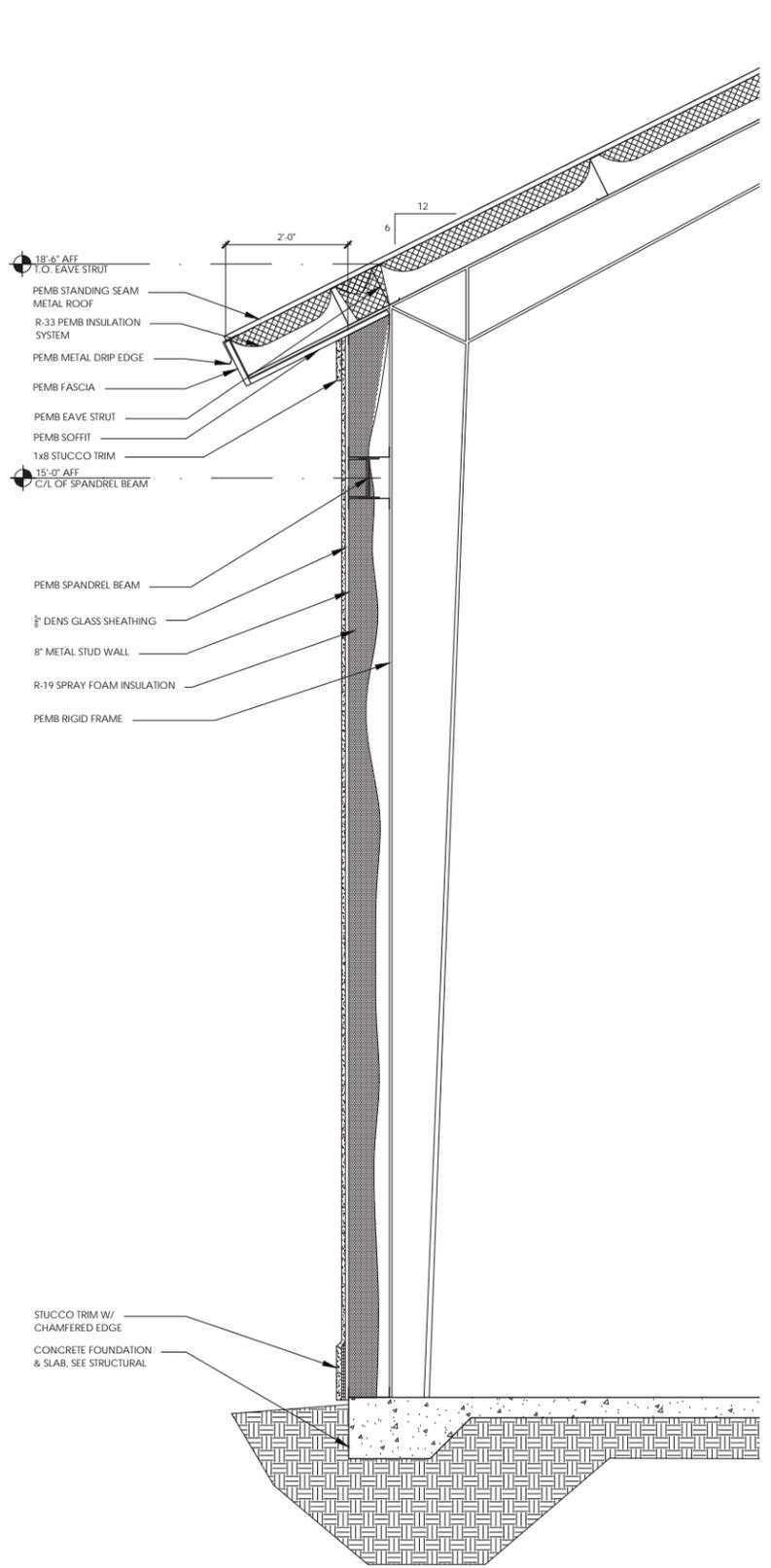
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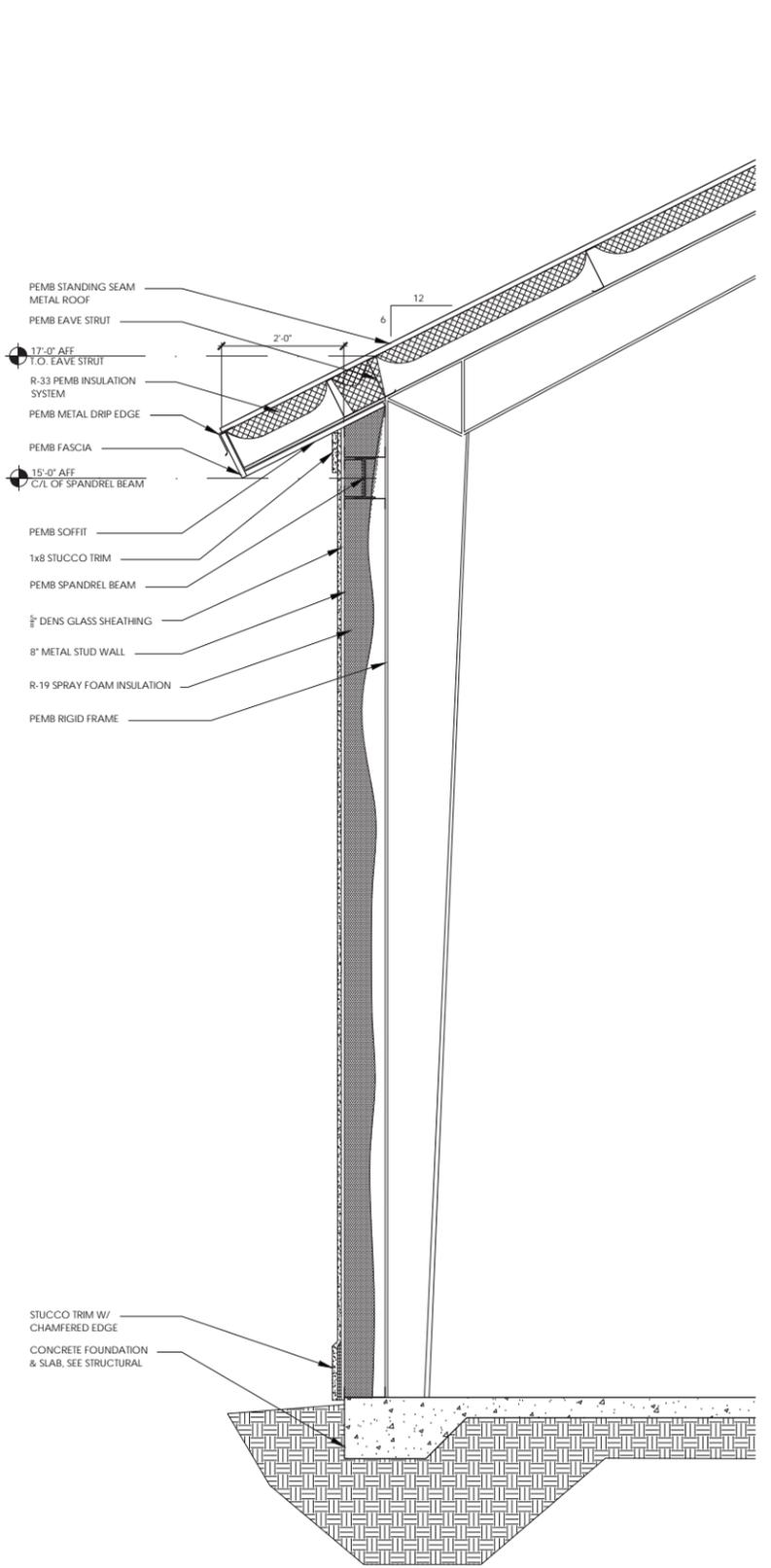
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1 WALL SECTION
SCALE 3/4" = 1'-0"



2 WALL SECTION
SCALE 3/4" = 1'-0"



3 WALL SECTION
SCALE 3/4" = 1'-0"

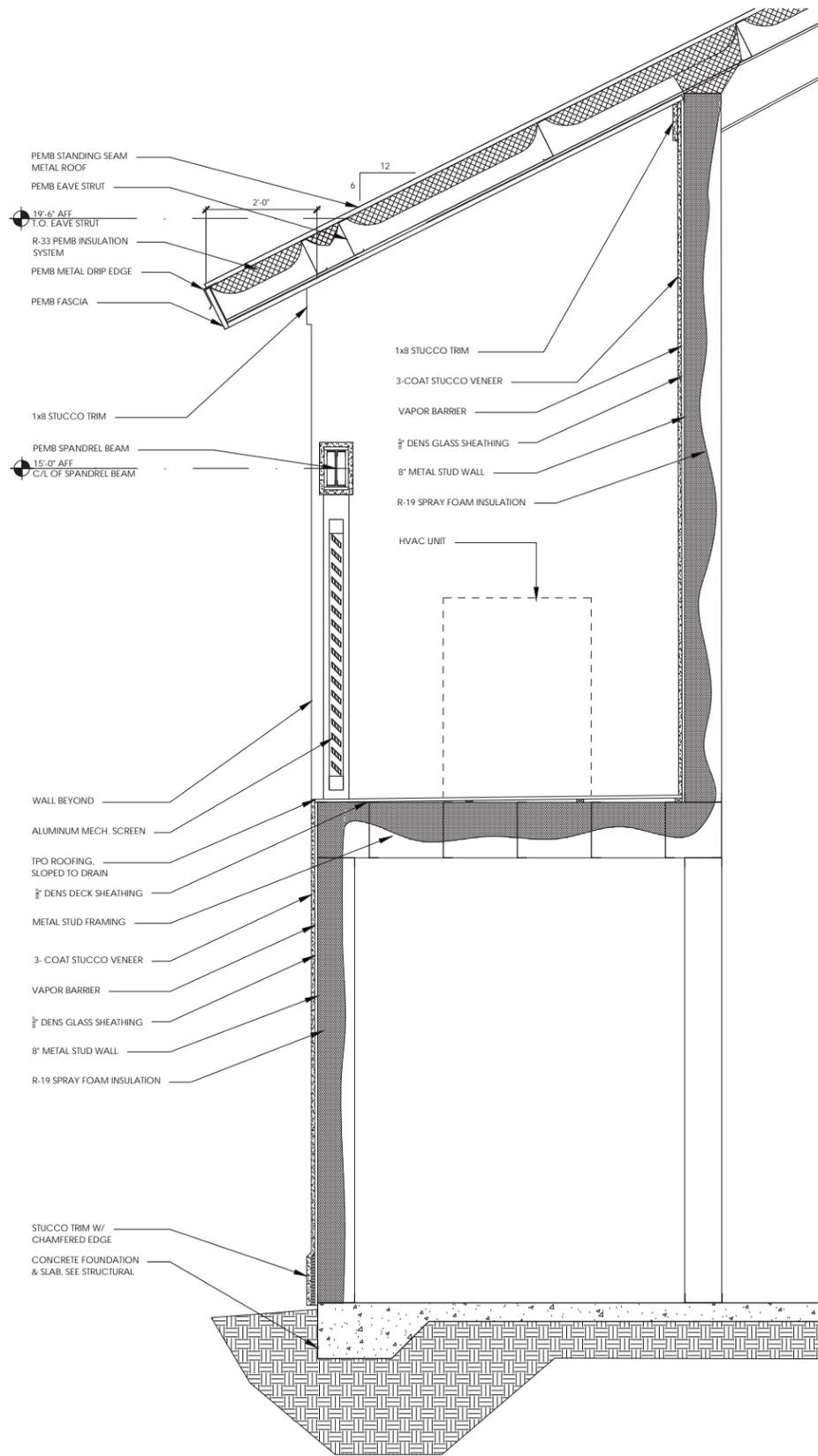
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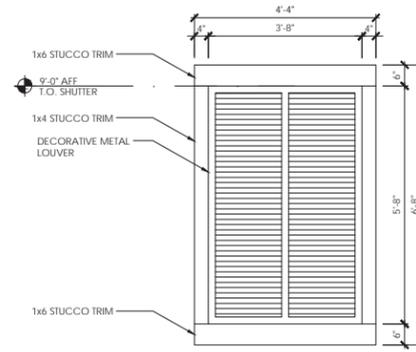
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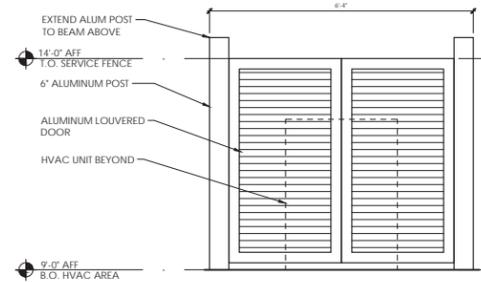
**WALL
SECTION
A5.0**



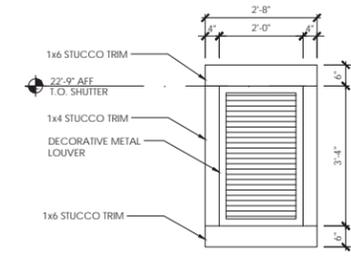
6 MECHANICAL WALL SECTION
SCALE 3/4" = 1'-0"



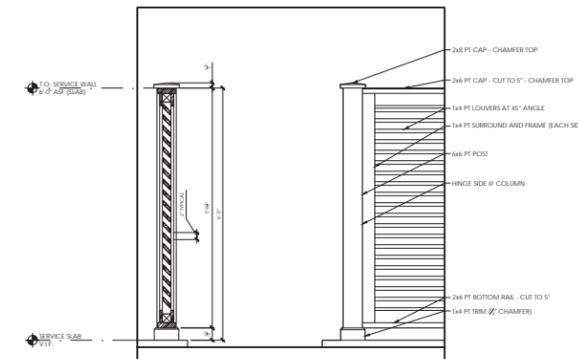
1 LOUVER TRIM DETAIL
SCALE 1/2" = 1'-0"



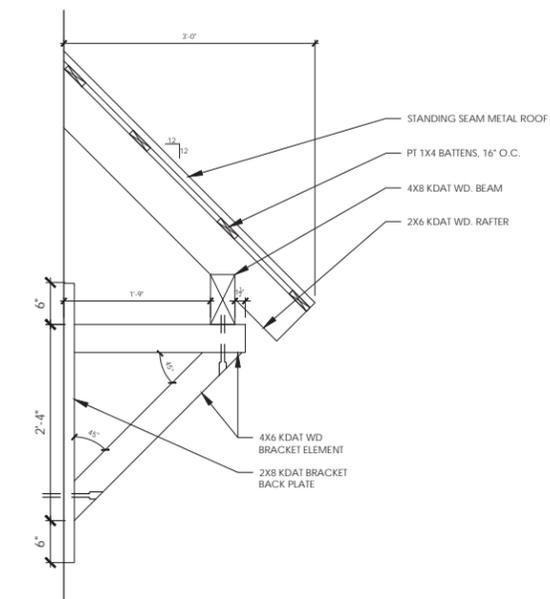
3 ALUMINUM MECHANICAL SCREEN
SCALE 1/2" = 1'-0"



2 LOUVER TRIM DETAIL
SCALE 1/2" = 1'-0"



4 SERVICE YARD DETAIL
SCALE 1/2" = 1'-0"



5 WOOD BRACKET DETAIL
SCALE 1" = 1'-0"



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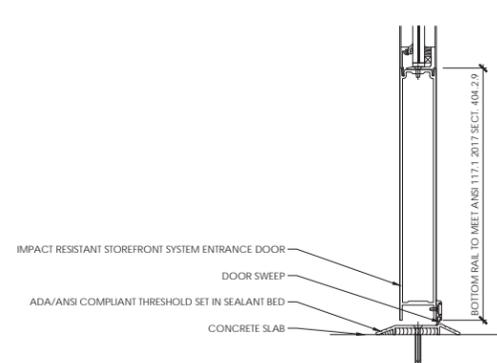
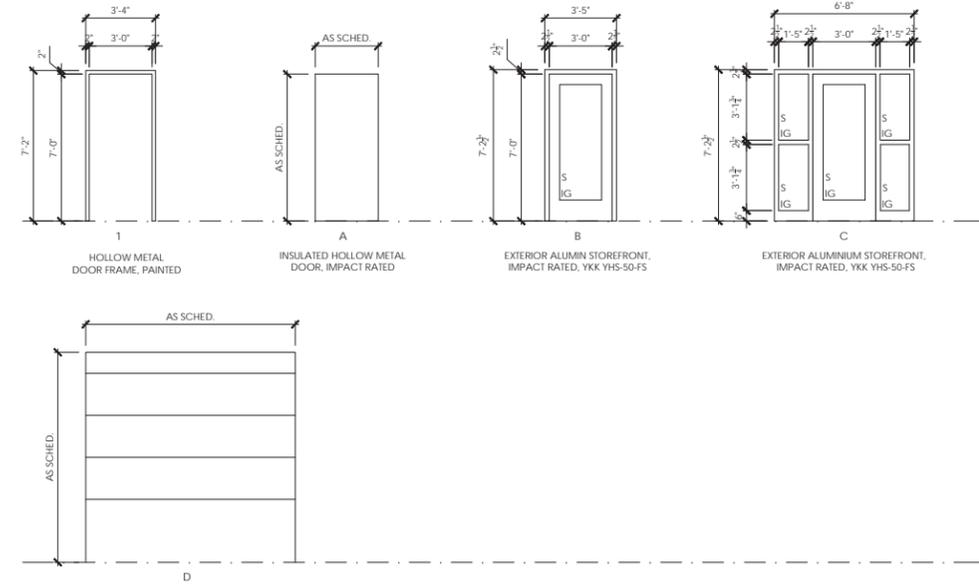
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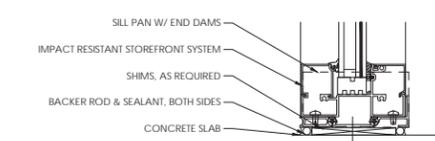
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PROJECT CONTACT: JW
DATE: 02/22/2022

DETAIL
A5.1

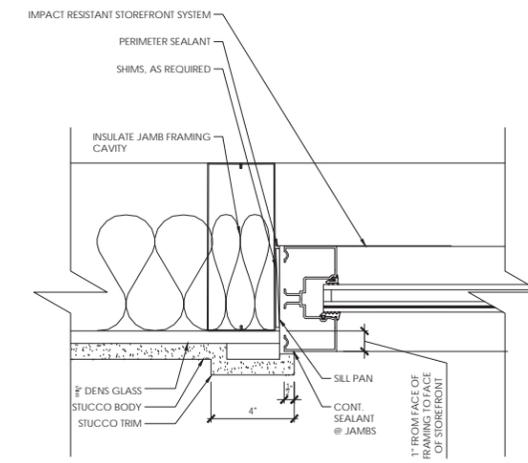
DOOR AND WINDOW SCHEDULE												HARDWARE						
DOOR NUMBER	SIZE			DOOR		FRAME		DETAILS			DESIGN PRESSURE	PASSAGE SET	PUSH/PULL	CLOSER	THRESHOLD	KICK PLATES	WEATHER STRIPPING	REMARKS
	W	H	T	ELEVATION	MATERIAL	ELEVATION	MATERIAL	HEAD	JAMB	SILL/THRESH.								
100A	6'-8"	7'-2 1/2"	--	C	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
100B	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
100C	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							
110A	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
110B	6'-8"	7'-2 1/2"	--	C	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
110C	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							
120A	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
120B	6'-8"	7'-2 1/2"	--	C	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
120C	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							
130A	6'-8"	7'-2 1/2"	--	C	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
130B	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
130C	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							
140A	3'-5"	7'-2 1/2"	--	B	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
140B	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
140C	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							
150A	10'-0"	10'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
150B	3'-5"	7'-2 1/2"	--	B	ALUM / GLASS	--	ALUM	3/A6.0	2/A6.0	1/A6.0	--							
150C	12'-0"	14'-0"	--	D	STL	--	--	6/A6.0	5/A6.0	4/A6.0	--							
150D	3'-0"	7'-0"	--	A	HM	1	HM	7/A6.0	8/A6.0	9/A6.0	--							



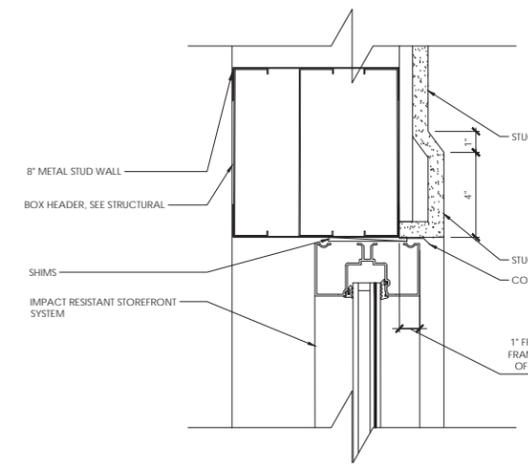
1A STOREFRONT BOTTOM RAIL DETAIL
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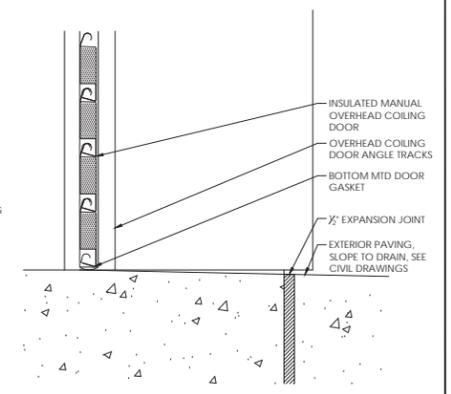
1B STOREFRONT SILL DETAIL
SCALE 3" = 1'-0"



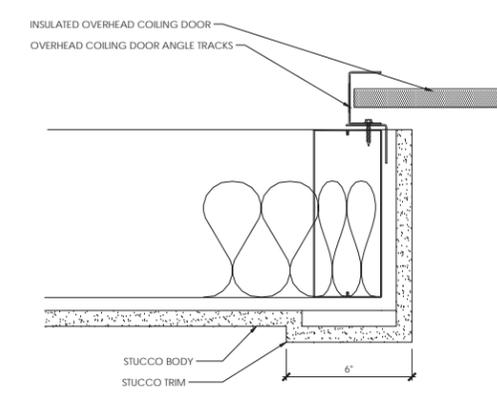
2 STOREFRONT JAMB DETAIL
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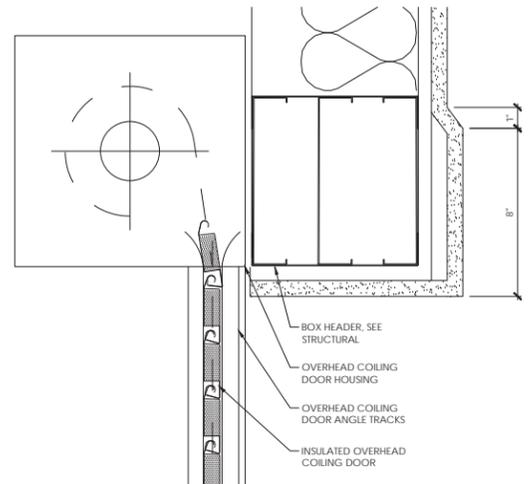
3 STOREFRONT HEAD DETAIL
SCALE 3" = 1'-0"



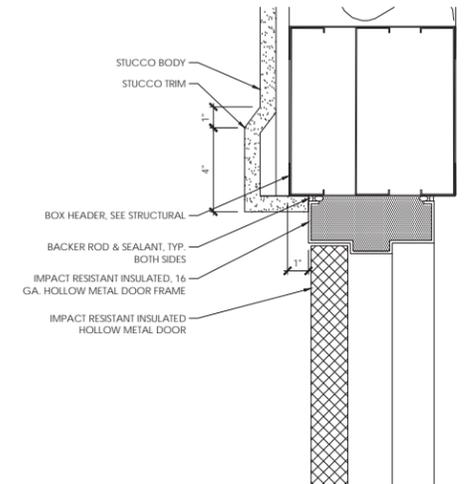
4 COILING DOOR SILL DETAIL
SCALE 3" = 1'-0"



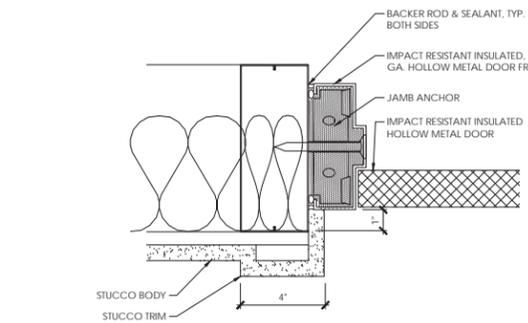
5 COILING DOOR JAMB DETAIL
SCALE 3" = 1'-0"



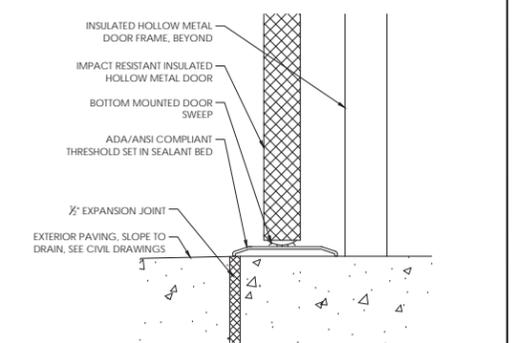
6 COILING DOOR HEAD DETAIL
SCALE 3" = 1'-0"



7 HM DOOR HEAD DETAIL
SCALE 3" = 1'-0"



8 HM DOOR JAMB DETAIL
SCALE 3" = 1'-0"



9 HM DOOR SILL DETAIL
SCALE 3" = 1'-0"

COURT ATKINS GROUP
 POST OFFICE BOX 3978
 BLUFFTON, SC 29910
 PH: 843.815.2557
 FX: 843.815.2547
 WWW.COURTATKINS.COM

SPANISH WELLS OFFICE AND WAREHOUSE BUILDING
 PARCEL R510 007 000 0155 0000 SPANISH WELLS RD.
 HILTON HEAD ISLAND, SC

NOT FOR CONSTRUCTION

ISSUE DATE DESCRIPTION

PROJECT #: 21-141
 PROJECT CONTACT: JW
 DATE: 02/22/2022

DOOR SCHEDULE
A6.0

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Spanish Wells Office Warehouse Bldg.

DRB#: DRB-000497-2022

DATE: 02/23/2022

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
All facades have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The rear façade appears to have random architectural detail.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider raising the roof of the center two units to add visual interest.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	East elevations appear out of proportion. Windows are large and high for human scale. Awning appears high on the facade. Consider architectural detail of the second story.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fixtures selected are available with 3000K or less temperature. Please add note on plan regarding temperature.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Add additional evergreen understory trees to the rear buffer to screen the building. Staff

				<p>suggest 6 Dahoon or Savannah Hollies.</p> <p>2. Change the planting around the dumpster enclosure to a double staggered row of Wax Myrtle (more vigorous) around the enclosure.</p>
--	--	--	--	--

<i>MISC COMMENTS/QUESTIONS</i>

1. This project required DPR review.
2. Specify a spacing of the Spartina in the stormwater detention basins.
3. Specify a paint or finish for the dumpster enclosure. Staff recommends a darker color.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Thomas Hultgren Company: Gator Northridge Partners, LLLP
 Mailing Address: 7850 NW 146th St. 4th Floor City: Miami Lakes State: FL Zip: 33016
 Telephone: mobile: 786-316-9113 Fax: 305-948-6478 E-mail: thultgren@gatorinv.com
office: 305-949-9049
 Project Name: Northridge Plaza Walkway Roof Renovation Project Address: 435 William Hilton Parkway
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 2 5 4 0 0 0 0
 Zoning District: Community Commercial Overlay District(s): COD - ROW Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\$100.00 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

For Gator Northridge Partners, LLLP

 Thomas Hultgren - Project Manager

2/21/22

SIGNATURE

DATE



GATOR INVESTMENTS
7850 NW 146th St, 4th Floor
Miami Lakes, FL 33016
(305) 949-9049 phone
(305) 948-6478 fax

February 21st, 2022

Project Narrative – Design Review Board (DRB) Submittal
Walkway Canopy Roof Renovation – Northridge Plaza

The intent of this project is to renovate the approximate 151 Squares (15,100 SF) of existing walkway canopy and its wooden “Cedar Shake” roof for the entirety of the Gator Northridge Partners, LLLP (Landlord) owned Northridge Plaza shopping center located at 435 William Hilton Parkway Suites A through Y, Hilton Head, SC 29926.

Landlord intends to remove and replace the canopy’s 4x10x20 treated fascia board walkway as well as the “tongue & groove” 2x6 pine soffit. The Cedar Shake will be replaced with a natural slate Vermont Slate roofing system. Specifically, the Cupa 14 slate in dark grey per the provided spec sheets.

Existing lighting and landscaping will remain. Existing building elevations will remain the same. A sample of the Cupa 14 natural slate will be provided to the DRB for review and approval.

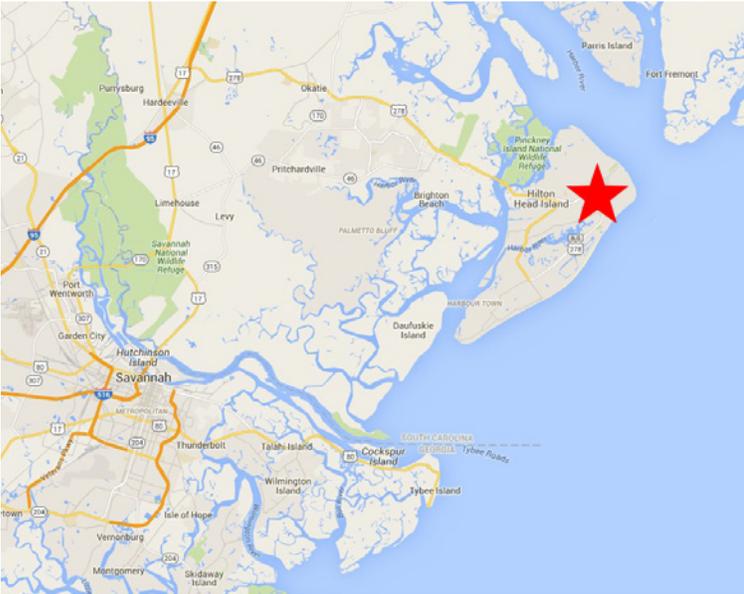
Please see the attached site plans & surveys, existing photos, and natural slate specs sheets for reference.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas Hultgren".

Thomas Hultgren
Project Manager
On behalf of Gator Northridge Partners, LLLP

cc: James A. Goldsmith
William Goldsmith

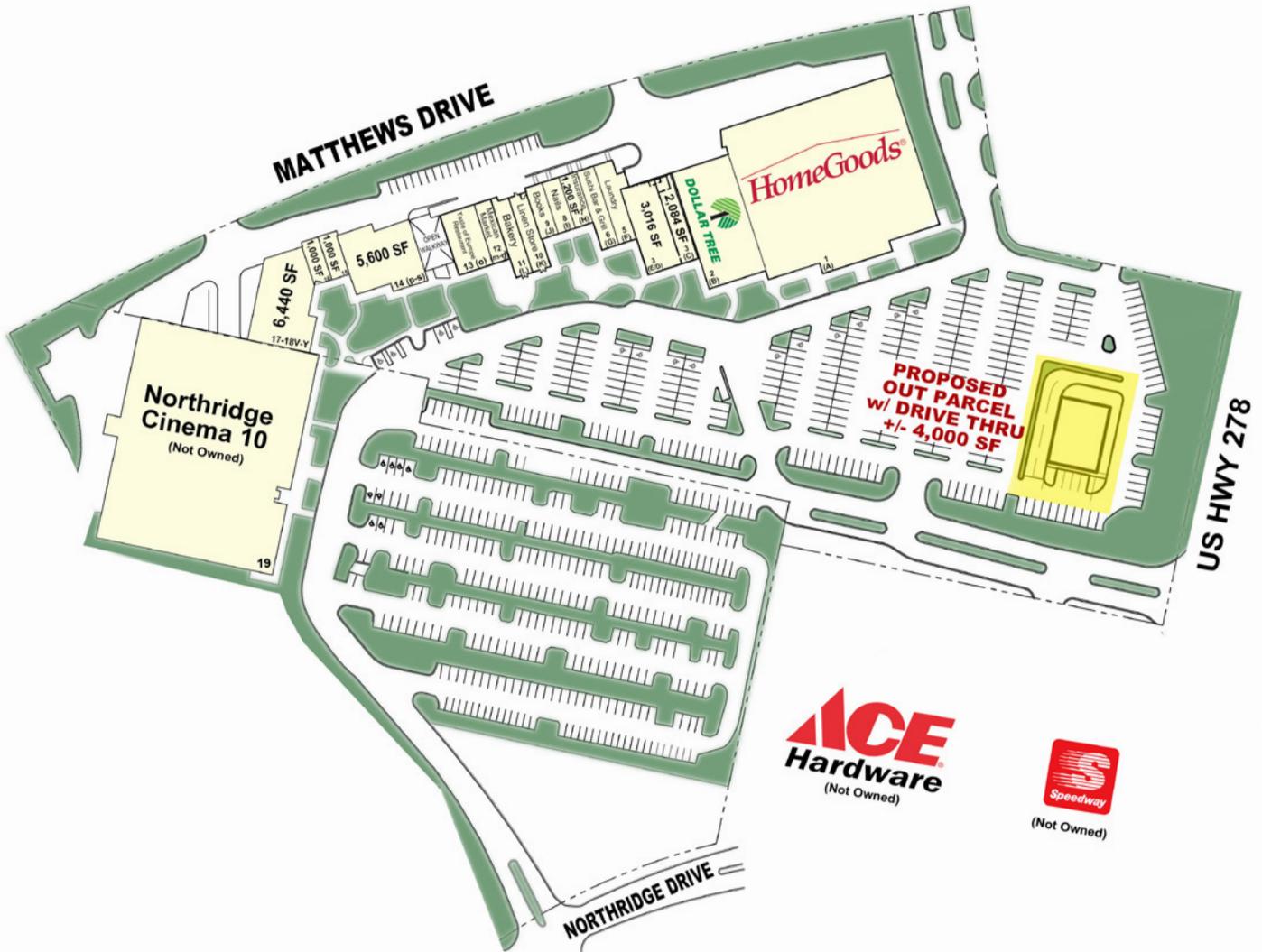


DEMOGRAPHICS

•2021

435 William Hilton Parkway, Hilton Head, SC 29926

RADIUS	1 MILE	3 MILE	5 MILE
POPULATION	3,819	21,351	29,456
AVG. HH INCOME	\$99,157	\$128,318	\$145,107
AVG. AGE	42	53	53



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AFFILIATED COMPANY

www.GatorInvestments.com

7850 NW 146th Street • Miami Lakes • FL 33016

James A. Goldsmith, Lic. Real Estate Broker

LEASING INFO: 877.459.9605

Sales@GatorInvestments.com

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This is being provided without warranty of any kind, either expressed or implied and does not constitute an offer to sell or lease.



CUPA 14

*Non carbonated slate formed by tectonic compression.
Dark grey slate with thin laminations and a riven surface.*



 Quarry Las Fuentes. Benuza (León)
Spain.

 Operating since 1985.

 Main sizes: 8"x6" to 24"x12"
Thickness: 3/16" to 3/8"



Formats



Rectangu a

Selections

EXCELLENCE

ARDOISIER

HEAVY

Technical specifications

ABSORPTION	CARBONATE NON CARBONATED	MOR CHARACTERISTIC	SO ₂ EXPOSURE TEST	THERMAL CYCLE TEST	FREEZE THAW TEST
0,21% Code : W1 (< 0,6%)	Complies (< 1,5%)	Longitudinal 43,5 MPA Transverse 45,7 MPA	S1	T1	Fulfill < 0,6%

International certifications



European Standard: EN 12326 | American Standard: ASTM C406-15





Northridge Plaza







Image capture: Jan 2019 © 2022 Google





Image capture: Jan 2019 © 2022 Google





Google





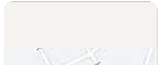
Google





Google







Google

Image capture: Jan 2019 © 2022 Google



Street View - Jan 2019



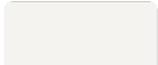




Image capture: Jan 2019 © 2022 Google



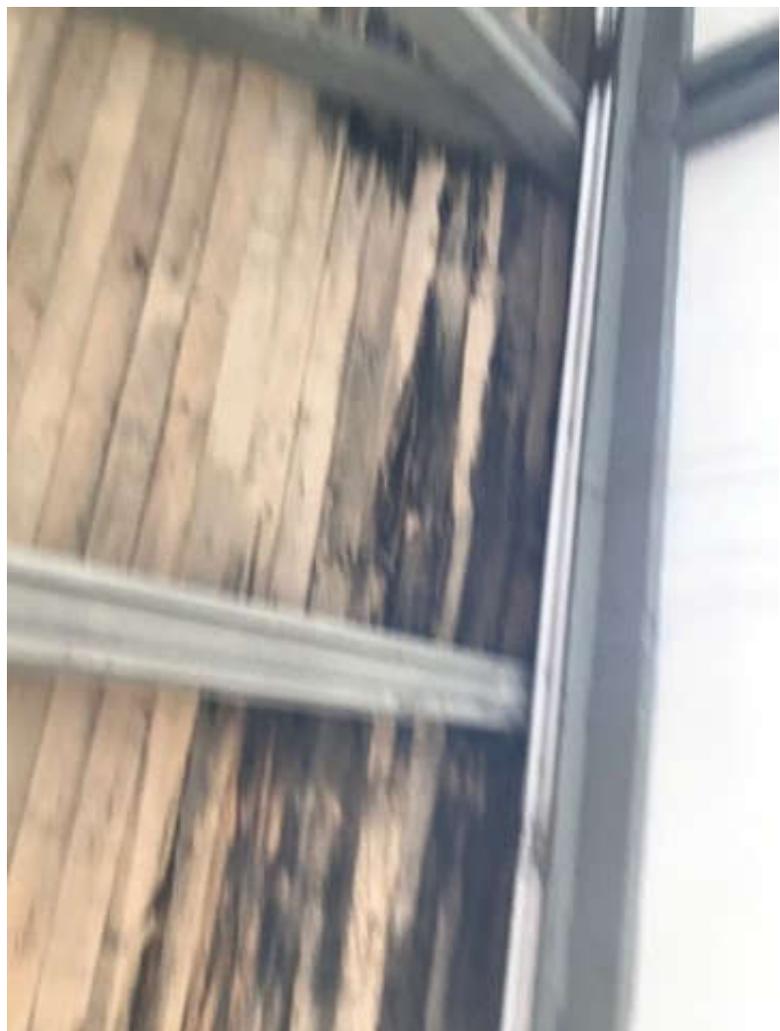
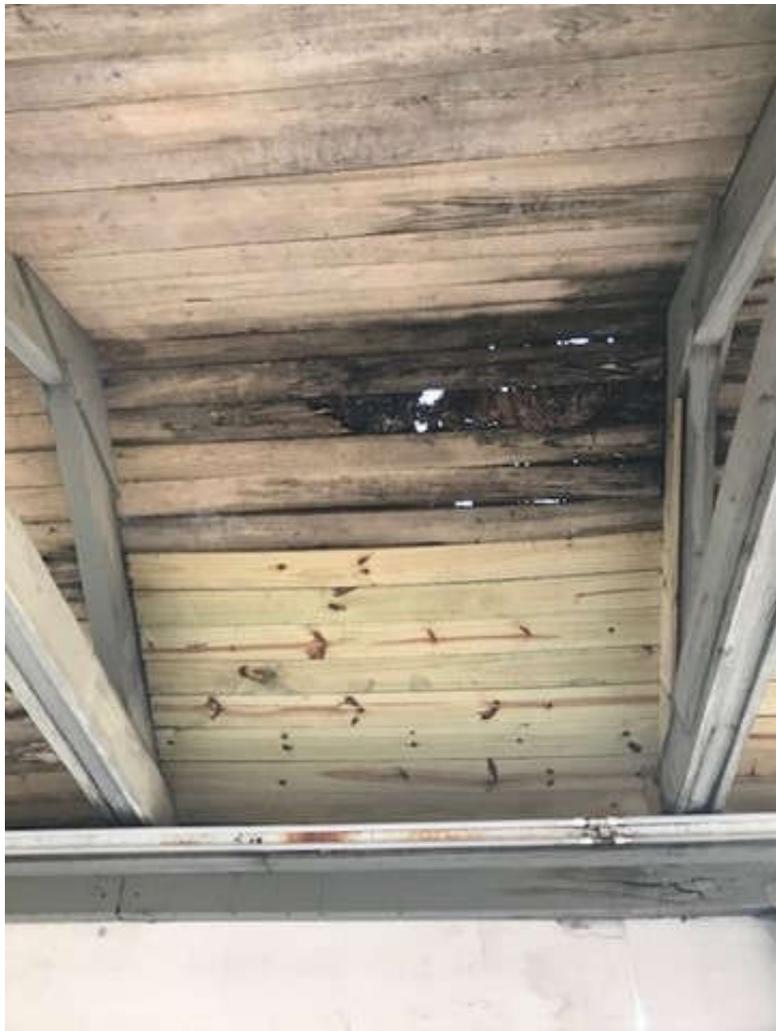
Street View - Jan 2019



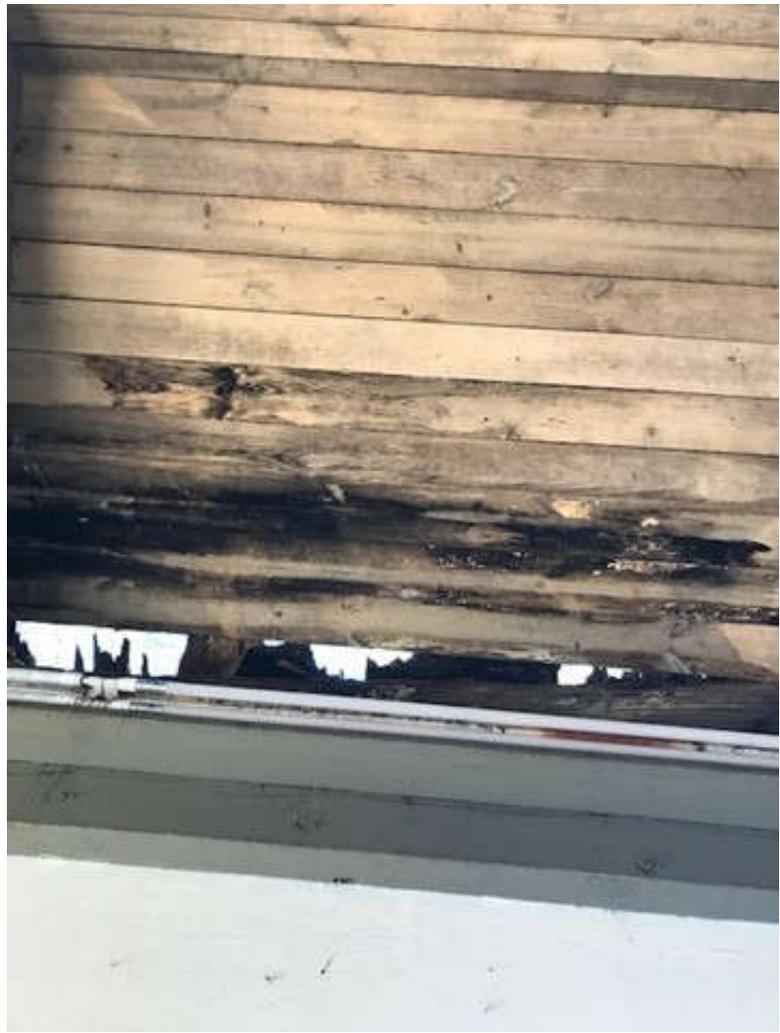


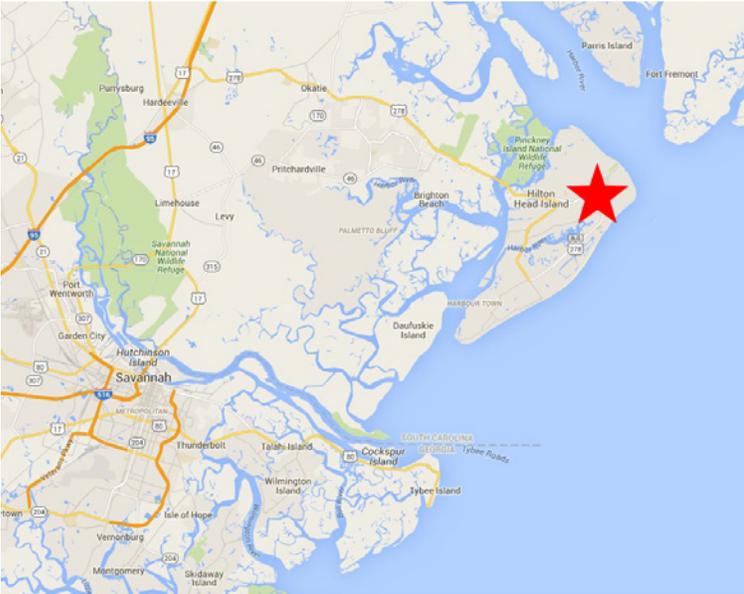










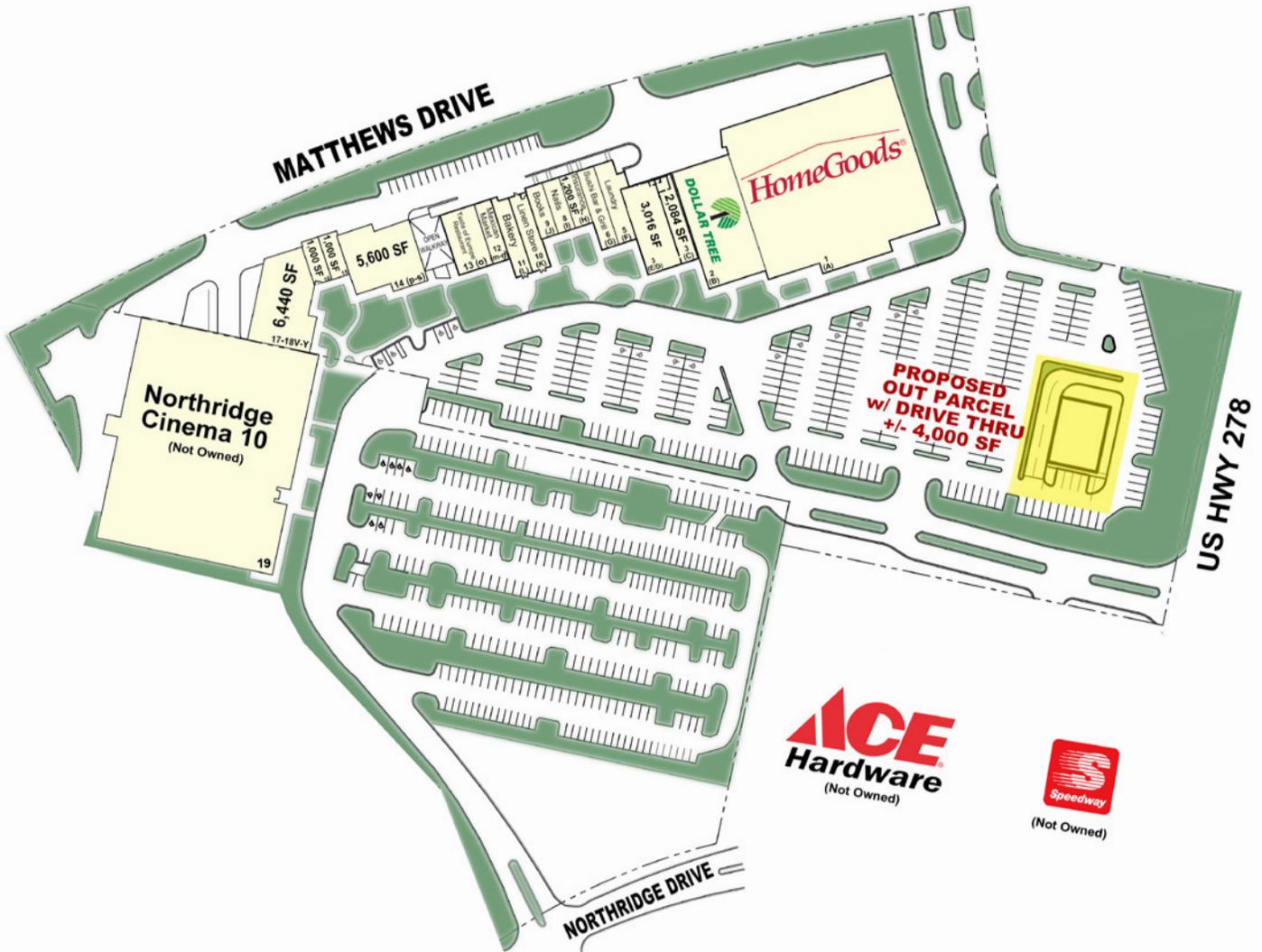


DEMOGRAPHICS

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435 William Hilton Parkway, Hilton Head, SC 29926

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The information contained here is subject to errors, omissions and changes without notice.
This is being provided without warranty of any kind, either expressed or implied and does not constitute an offer to sell or lease.

Red Marks the Walkway to be Renovated



©2019 WJK LTD.
DESIGN, CONCEPTS, DRAWING, SHEETS,
LOGOS, SPECIFICATIONS, DETAILS,
WRITTEN MATERIAL, SHALL NOT BE USED
OR REPRODUCED IN WHOLE OR IN PART
IN ANY FORM WITHOUT PRIOR WRITTEN
CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 2"X30"

SITE DEVELOPMENT PLANS
FOR
NORTHBRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: NOV. 13, 2020
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

REVISIONS:

01	02-21-2022	ROOFING

DRAWING TITLE
DEMOLITION PLAN

DRAWING NUMBER
L50

Northridge Plaza





Google



Image capture: Jan 2019 © 2022 Google





Google

Image capture: Jan 2019 © 2022 Google

Google

Street View - Jan 2019





Google





Google





Google











Google

Image capture: Jan 2019 © 2022 Google



Street View - Jan 2019





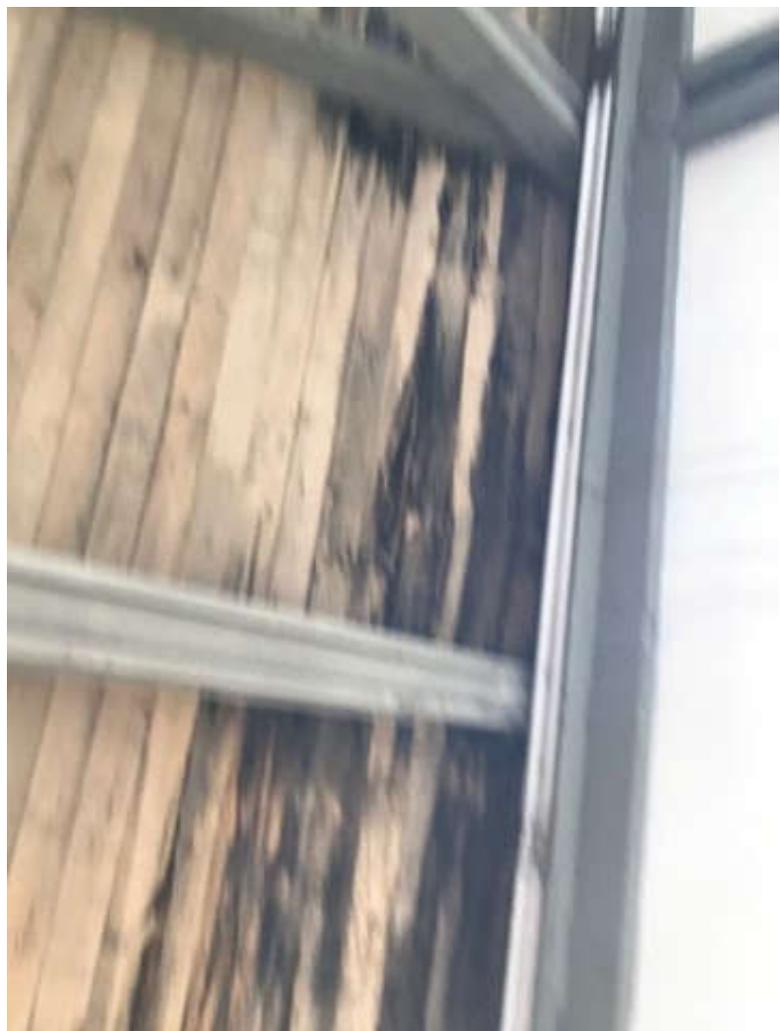
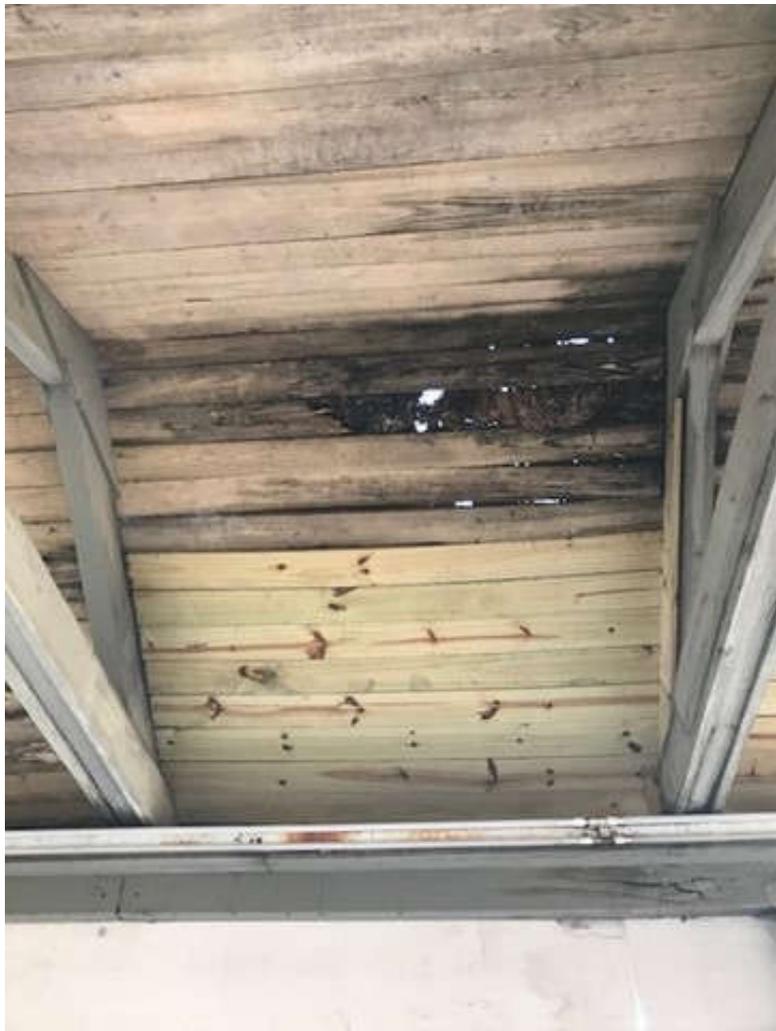
Cinema is not Gator Owned

Google















CUPA 14

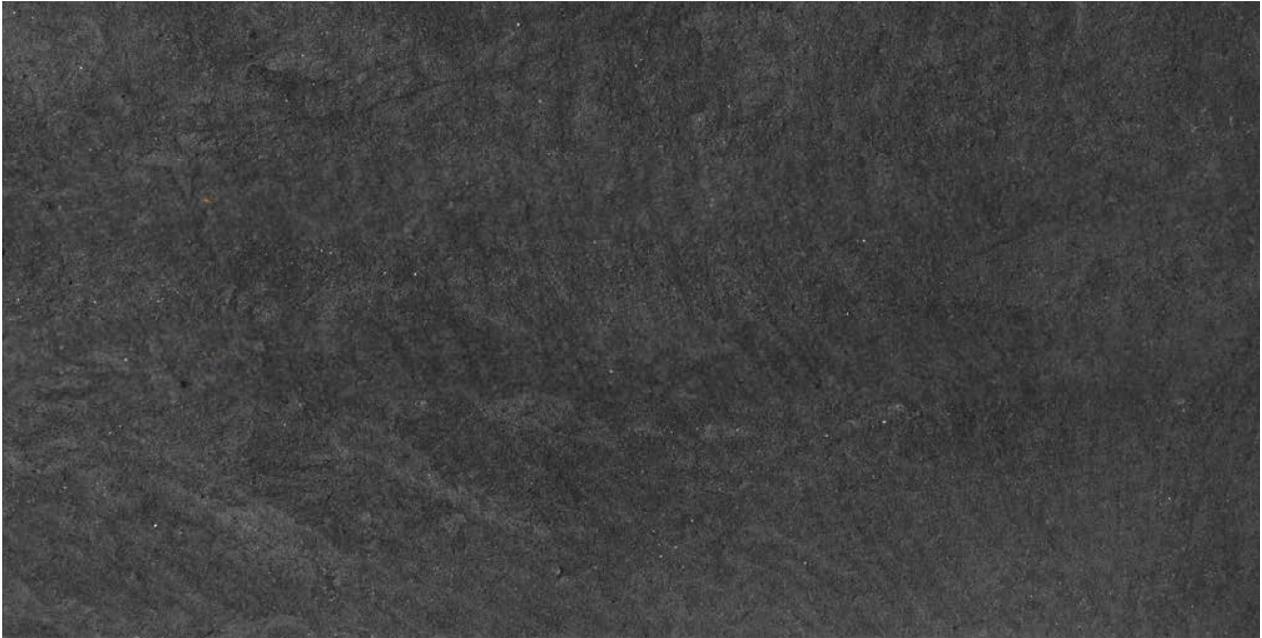
*Non-carbonated slate formed by tectonic compression.
Dark grey slate with thin laminations and a riven surface.*



 Quarry Las Fuentes. Benuza (León)
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 Operating since 1985.

 Main sizes: 8"x6" to 24"x12"
Thickness: 3/16" to 3/8"



Formats



Rectangular

Selections

EXCELLENCE

ARDOISIER

HEAVY

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International certifications



European Standard: EN 12326 | American Standard: ASTM C406-15





DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Northridge Walkway Canopy

DRB#: DRB-000485-2022

DATE: 02/03/2022

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The walkway roof of the Cinema is not proposed to be replaced. Please note the Cinema building is under different ownership.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Design Guide, page 15, "Generally materials common to the area or historically present should be selected." Slate is not a roofing material "common" to a sea island.

<i>MISC COMMENTS/QUESTIONS</i>
Staff is motivated to see Northridge renovations proceed but they must comply with the Design Guide. Staff would suggest the applicant consider a standing seam metal roof. That material is and has been commonly used as a roofing on Hilton Head.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: David Thompson Company: David Thompson Architect
 Mailing Address: 704 Meeting Street City: Charleston State: SC Zip: 29403
 Telephone: 843-297-8939 Fax: _____ E-mail: dthompson@dthompsonarchitect.com
 Project Name: Lucky Beach Bar + Kitchen Project Address: 14 Folly Field RD, Hilton Head, SC 29928
 Parcel Number [PIN]: R 5 1 1 0 0 9 0 0 0 1 0 0 0 0 0 0 0
 Zoning District: RD- Resort Development Overlay District(s): RD Zoning District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development

Alteration/
 Addition Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
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- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

February 22, 2022

DATE



DAVID THOMPSON ARCHITECT

February 22, 2022

RE: Lucky Beach Bar + Kitchen – Alterations to 14 Folly Field Rd

To: Mr. Chris Darnell, Hilton Head DRB

The goals of this alteration are as follows;

1. Enhance the architectural value of the existing building by adding wood siding to the two existing vertical elements at the West Porch and North Entry.
2. Improve connectivity and visibility from inside to outside by increasing the amount of glazing and doors.
3. Animate the exterior by increasing outdoor dining opportunities and providing activity areas such as a fire pit and gaming opportunities.
4. Improve the pedestrian experience and public views through landscape design, lighting and furnishings.

The scope of exterior work includes the following;

- Construct a new service window porch on the East Parking lot façade for to-go orders, curb service and bar service to the patio.
- Construct a new dining porch on the North façade
- Increase outdoor dining areas with pervious surfaces on the North East corner including a fire pit
- Modify and supplement existing landscaping
- Modify windows on the East and North sides
- Add overhead doors and increased storefront area on the West façade to engage the bar patio
- Enclose the existing entry vestibule using aluminum storefront and add a wood framed awning to the front door
- Signage design will follow under separate submittal



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



VIEW FROM PARKING LOT



VIEW OF MAIN ENTRANCE FROM BIKE PATH



VIEW OF SIDE PATIO FROM BIKE PATH

ISSUED DATE / REVISIONS
SD - 11.12.2021
DRB SUBMITTAL - 12.21.2021
DRB SUBMITTAL - 02.22.2022



VIEW OF MAIN ENTRANCE FROM BIKE PATH

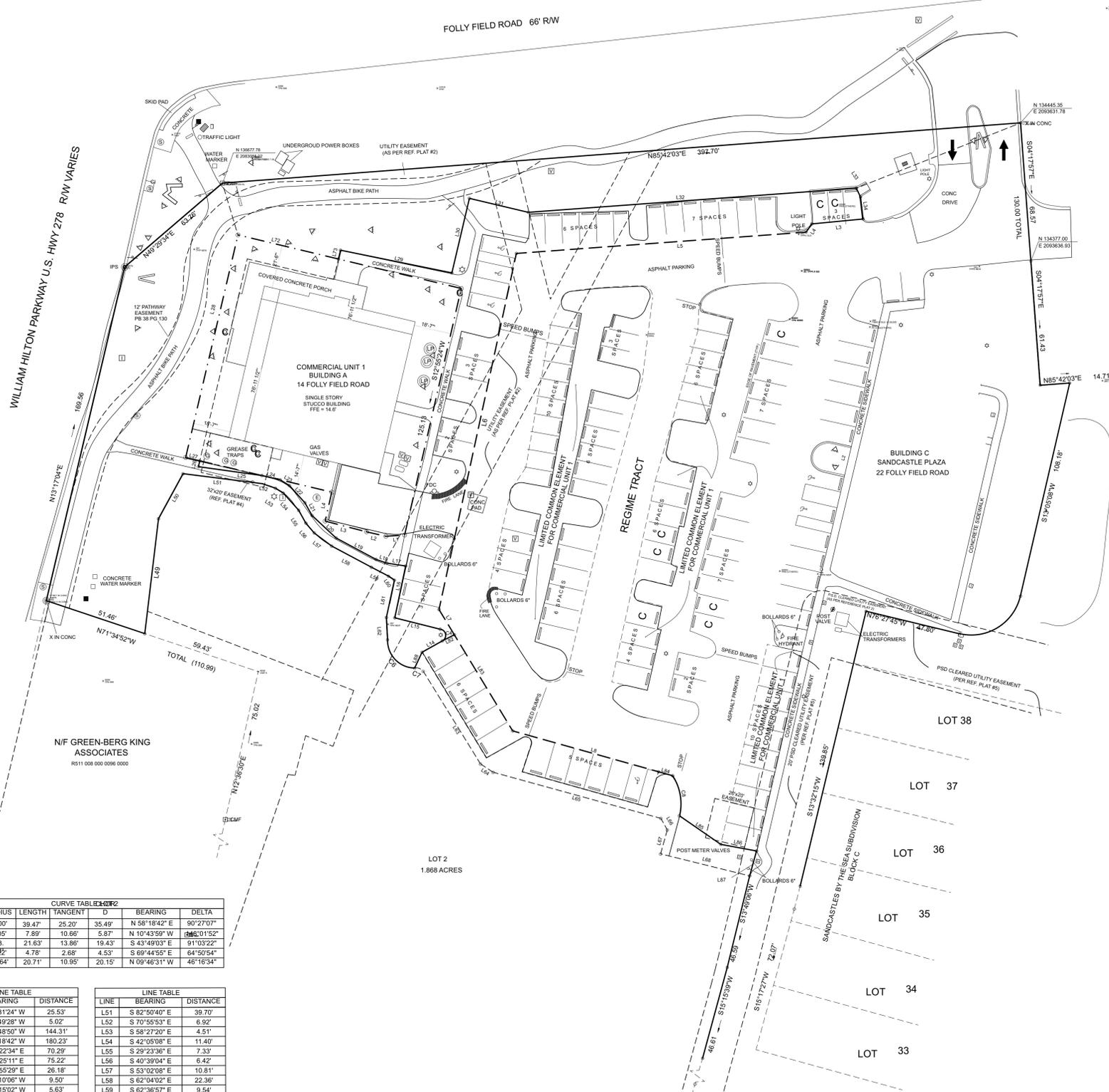
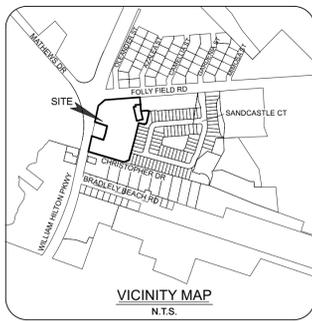


VIEW OF SIDE PATIO FROM BIKE PATH



VIEW OF WEST SIDE OF BUILDING FROM BIKE PATH

LUCKY BEACH BAR + KITCHEN
14 FOLLY FIELD RD,
HILTON HEAD, SC 29928



- SYMBOLS**
- ⚡ - ELECTRIC SERVICE
 - ⚡ - ELECTRIC TRANSFORMER
 - ☎ - TELEPHONE SERVICE
 - 📺 - TELEVISION SERVICE
 - ⛑ - WATER METER
 - ⛑ - VALVE BOX
 - ⊠ - IRRIGATION CONTROL VALVE
 - ⊠ - SANITARY MANHOLE
 - ⊠ - STORM MANHOLE
 - ⊠ - FIRE HYDRANT
 - ⊠ - CMF 3" CONCRETE MONUMENT FOUND
 - ⊠ - SIGN
 - ⊠ - LIGHT POLE
 - ⊠ - 1/2" IRON PIN SET WITH CAP
 - ⊠ - CLEANOUT
 - ⊠ - A/C UNIT
 - ⊠ - CATCH BASIN
 - ⊠ - FLOOD LIGHT

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	D	BEARING	DELTA
C1	25.00'	39.47'	25.20'	35.49'	N 58°18'42" E	90°27'07"
C4	3.05'	7.89'	10.66'	5.87'	N 10°43'59" W	86°01'52"
C6	13.00'	21.63'	13.86'	19.43'	S 43°49'03" E	91°03'22"
C7	4.92'	4.78'	2.68'	4.53'	S 69°44'55" E	64°50'54"
C8	25.64'	20.71'	10.95'	20.15'	N 09°46'31" W	46°16'34"

LINE TABLE

LINE	BEARING	DISTANCE
L3	S 84°31'24" W	25.53'
L4	S 35°49'28" W	5.02'
L5	S 85°48'50" W	144.31'
L6	S 12°18'42" W	180.23'
L7	S 31°22'34" E	70.29'
L8	S 74°25'11" E	75.22'
L16	N 11°55'29" E	26.18'
L17	N 81°10'06" W	9.50'
L18	N 71°15'02" W	5.63'
L19	N 61°54'23" W	22.49'
L20	N 47°02'35" W	16.31'
L21	N 29°23'36" W	7.24'
L22	N 42°05'08" W	11.48'
L23	N 58°27'20" W	5.35'
L24	N 76°43'07" W	9.30'
L25	N 82°04'55" W	33.22'
L26	N 13°16'57" E	2.98'
L27	N 76°43'07" W	7.27'
L28	N 13°17'04" E	113.07'
L29	S 76°32'09" E	56.44'
L30	N 13°17'19" E	37.86'
L31	S 76°42'41" E	30.04'
L32	N 85°48'50" E	163.46'
L33	S 24°58'09" E	4.78'
L34	S 07°00'07" E	10.97'
L51	S 82°50'40" E	39.70'
L52	S 70°55'53" E	6.92'
L53	S 58°27'20" E	4.51'
L54	S 42°05'08" E	11.40'
L55	S 29°23'36" E	7.33'
L56	S 40°39'04" E	6.42'
L57	S 53°02'08" E	10.81'
L58	S 62°04'02" E	22.36'
L59	S 62°36'57" E	9.54'
L60	S 56°18'23" E	3.54'
L61	S 12°09'42" W	18.89'
L62	S 03°01'54" W	11.03'
L63	S 31°50'05" E	54.00'
L64	S 56°43'26" E	7.44'
L65	S 74°41'15" E	86.42'
L66	S 29°27'42" E	6.54'
L67	S 15°45'52" W	12.34'
L72	S 76°34'47" E	51.36'
L73	N 13°38'31" E	4.49'
L82	N 83°12'31" E	6.69'
L83	N 31°22'34" W	56.67'
L84	S 74°25'11" E	7.32'
L85	N 55°27'19" W	24.85'
L86	N 79°35'02" W	18.04'
L87	N 15°27'01" E	12.79'

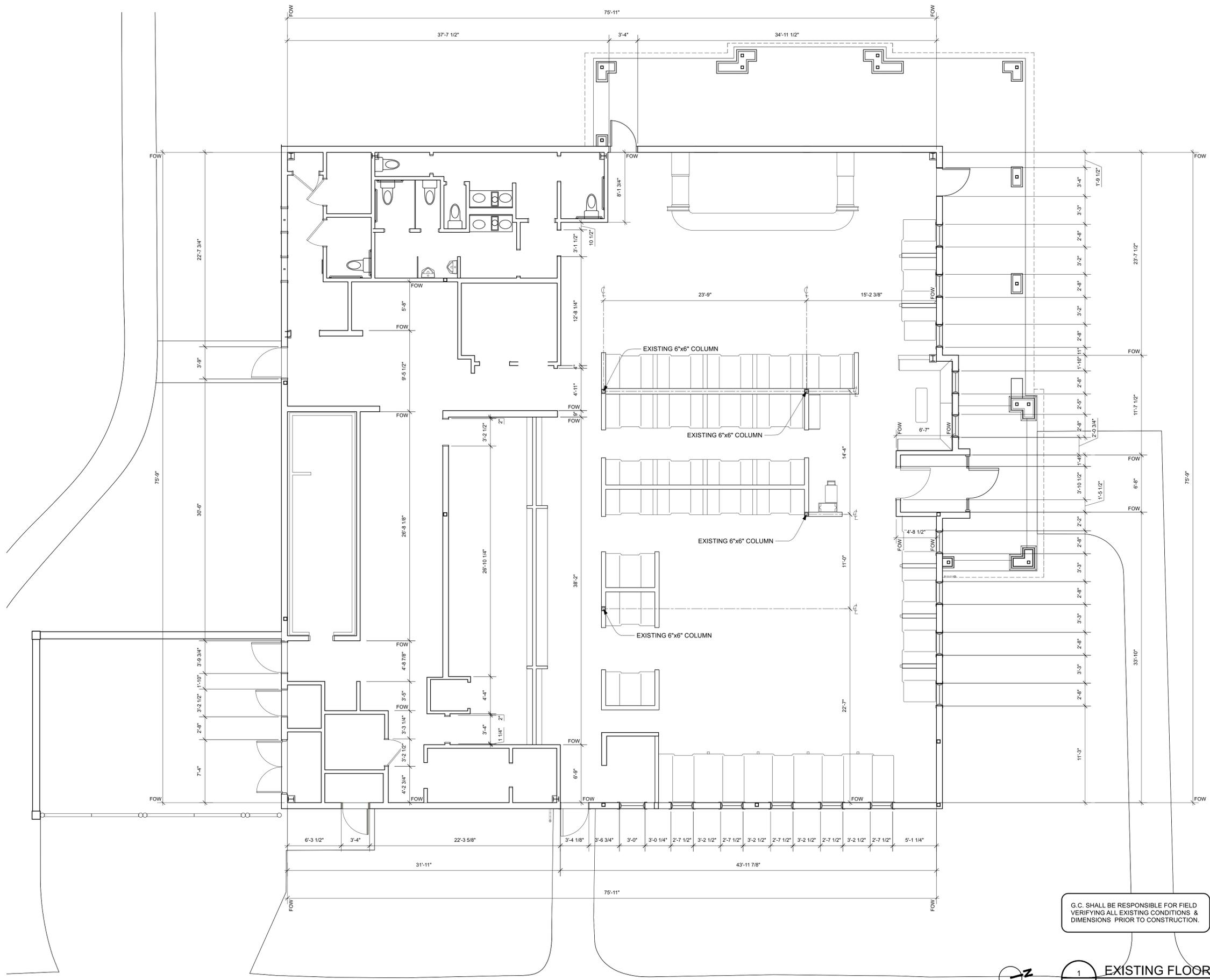
REFERENCE PLAT
 1) A BOUNDARY PLAT OF 0.308 ACRES LEASE AREA MIXED USE BUILDING PREMISES, A PORTION OF COMMERCIAL TRACT AT THE INTERSECTION OF FOLLY FIELD ROAD AND WILLIAM HILTON PARKWAY, BY: TERRY G. HATCHELL, S.C.R.L.S. # 11059

ADDRESS: 14 FOLLY FIELD ROAD
 DISTRICT: 511, MAP: 9, PARCEL: Por Pcl 200
 THIS PROPERTY LIES IN F.E.M.A. ZONE A7
 BASE FLOOD ELEVATION = 14.0
 COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

ASBUILT SURVEY OF: ADVENTURE COVE
 COMMERCIAL UNIT 1, FOLLY FIELD ROAD
 HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA
 PREPARED FOR: BLUE MARBLE FOLLY FIELD, LLC.

DATE: 10/29/2021 SCALE: 1" = 30'
 GRAPHIC SCALE

SIS Sea Island Land Survey, LLC.
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
 Tel (843) 681-3248 Fax (843) 689-3871
 E-mail: sis@sprynet.com
 FILE No: DWG No.:



G.C. SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO CONSTRUCTION.

1 EXISTING FLOOR PLAN
 X101 SCALE: 3/16" = 1'-0"



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ISSUED DATE / REVISIONS
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 DRB SUBMITTAL - 02.22.2022

LUCKY BEACH BAR + KITCHEN
 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928



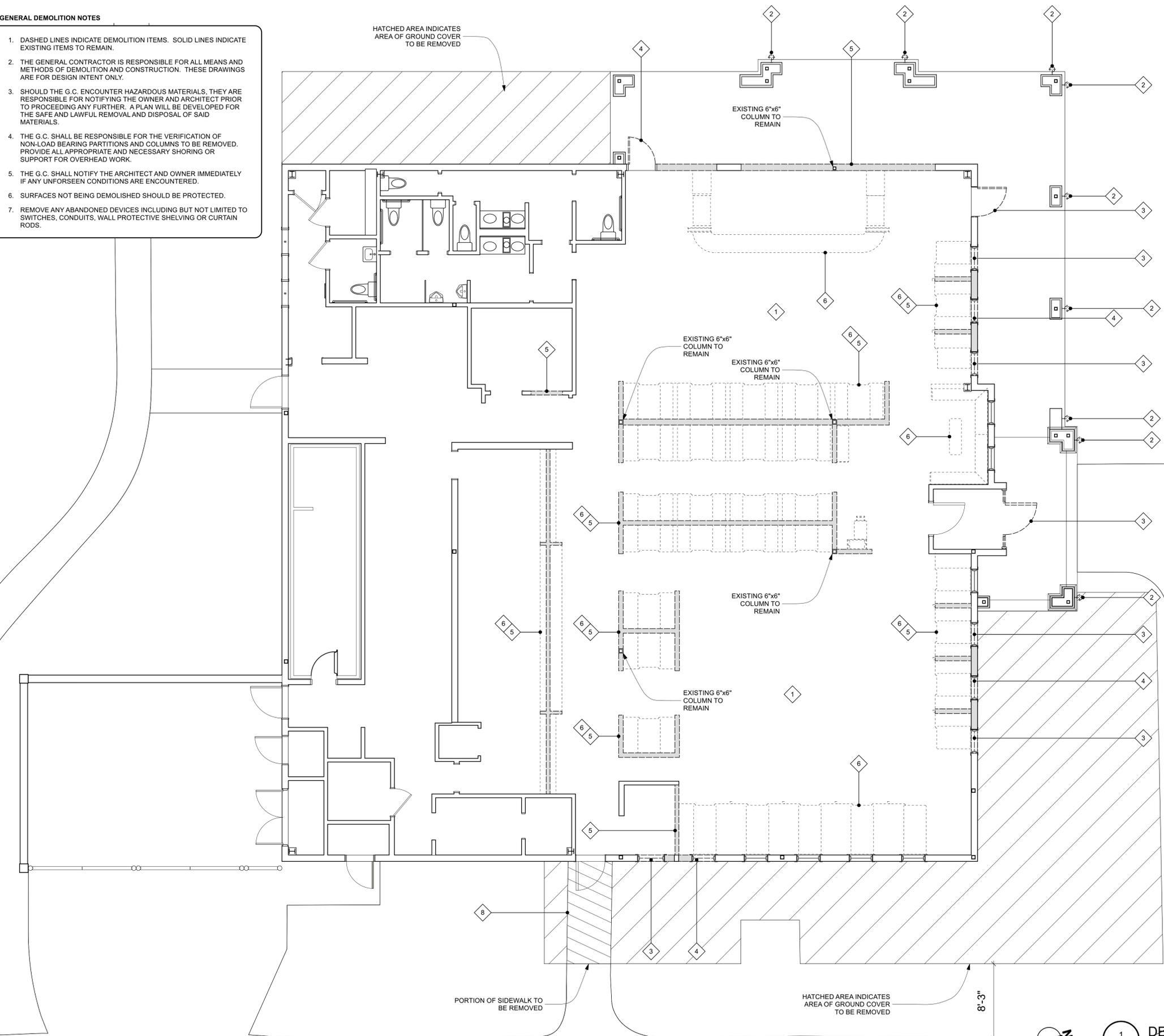
GENERAL DEMOLITION NOTES

1. DASHED LINES INDICATE DEMOLITION ITEMS. SOLID LINES INDICATE EXISTING ITEMS TO REMAIN.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF DEMOLITION AND CONSTRUCTION. THESE DRAWINGS ARE FOR DESIGN INTENT ONLY.
3. SHOULD THE G.C. ENCOUNTER HAZARDOUS MATERIALS, THEY ARE RESPONSIBLE FOR NOTIFYING THE OWNER AND ARCHITECT PRIOR TO PROCEEDING ANY FURTHER. A PLAN WILL BE DEVELOPED FOR THE SAFE AND LAWFUL REMOVAL AND DISPOSAL OF SAID MATERIALS.
4. THE G.C. SHALL BE RESPONSIBLE FOR THE VERIFICATION OF NON-LOAD BEARING PARTITIONS AND COLUMNS TO BE REMOVED. PROVIDE ALL APPROPRIATE AND NECESSARY SHORING OR SUPPORT FOR OVERHEAD WORK.
5. THE G.C. SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF ANY UNFORSEEN CONDITIONS ARE ENCOUNTERED.
6. SURFACES NOT BEING DEMOLISHED SHOULD BE PROTECTED.
7. REMOVE ANY ABANDONED DEVICES INCLUDING BUT NOT LIMITED TO SWITCHES, CONDUITS, WALL PROTECTIVE SHELVING OR CURTAIN RODS.

HATCHED AREA INDICATES AREA OF GROUND COVER TO BE REMOVED

DEMOLITION KEY

- 1 OWNER TO REMOVE ALL ART AND FURNISHINGS PRIOR TO DEMOLITION START.
- 2 REMOVE EXISTING LIGHT FIXTURE. TERMINATE TO CODE WITH ALL WEATHER CAP.
- 3 REMOVE EXISTING EXTERIOR DOOR OR WINDOW. SAVE FOR REUSE.
- 4 REMOVE EXISTING DOOR AND PORTION OF EXTERIOR WALL. COORDINATE LOCATION PER PROPOSED FLOOR PLAN. TEMPORARILY SUPPORT ALL EX'G FLOOR, CEILING, AND ROOF LOADS AS REQUIRED. PREPARE FOR NEW WINDOW OR DOOR WHERE NECESSARY.
- 5 REMOVE EXISTING EXTERIOR OR INTERIOR WALL. COORDINATE LOCATION PER PROPOSED FLOOR PLAN. PREPARE FOR NEW WINDOW OR DOOR WHERE NECESSARY.
- 6 REMOVE EXISTING CASEWORK. COORDINATE REUSE W/ OWNER.
- 7 REMOVE EXISTING EQUIPMENT/PLUMBING. CAP TEMPORARILY FOR REPLACEMENT OR TERMINATE TO CODE IF ELIMINATED. COORDINATE REUSE W/ OWNER.
- 8 REMOVE PORTION OF EXISTING CONCRETE SLAB.



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1 DEMOLITION PLAN
 D101 SCALE: 3/16" = 1'-0"





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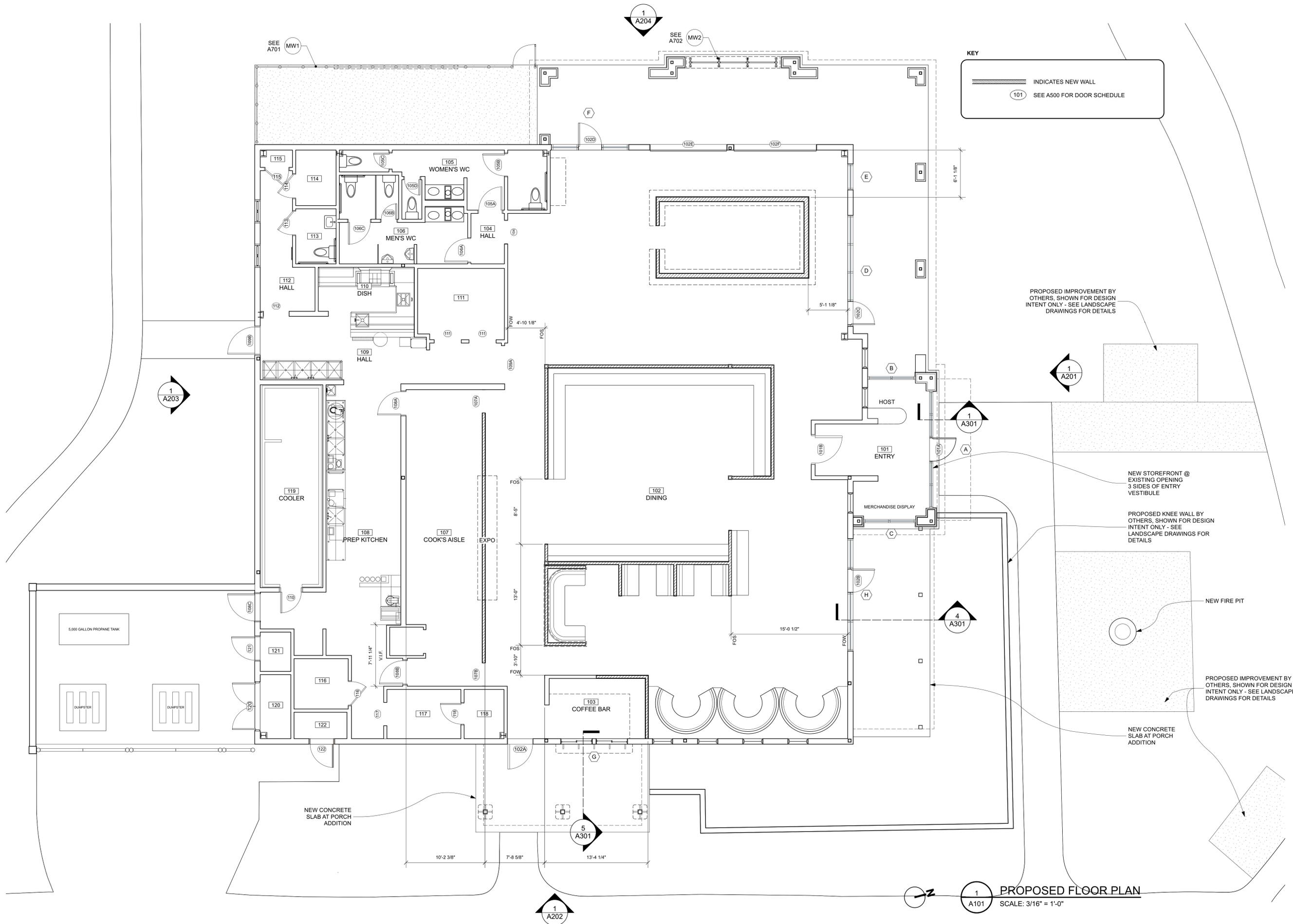
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 HILTON HEAD, SC 29928

A101



KEY
 [Hatched line] INDICATES NEW WALL
 [Door symbol] 101 SEE A500 FOR DOOR SCHEDULE

PROPOSED IMPROVEMENT BY OTHERS, SHOWN FOR DESIGN INTENT ONLY - SEE LANDSCAPE DRAWINGS FOR DETAILS

NEW STOREFRONT @ EXISTING OPENING 3 SIDES OF ENTRY VESTIBULE

PROPOSED KNEE WALL BY OTHERS, SHOWN FOR DESIGN INTENT ONLY - SEE LANDSCAPE DRAWINGS FOR DETAILS

NEW FIRE PIT

PROPOSED IMPROVEMENT BY OTHERS, SHOWN FOR DESIGN INTENT ONLY - SEE LANDSCAPE DRAWINGS FOR DETAILS

NEW CONCRETE SLAB AT PORCH ADDITION

NEW CONCRETE SLAB AT PORCH ADDITION

1
 A101
PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"

1
 A202

1
 A204

SEE A702 MW2

SEE A701 MW1

1
 A203

2

1
 A101



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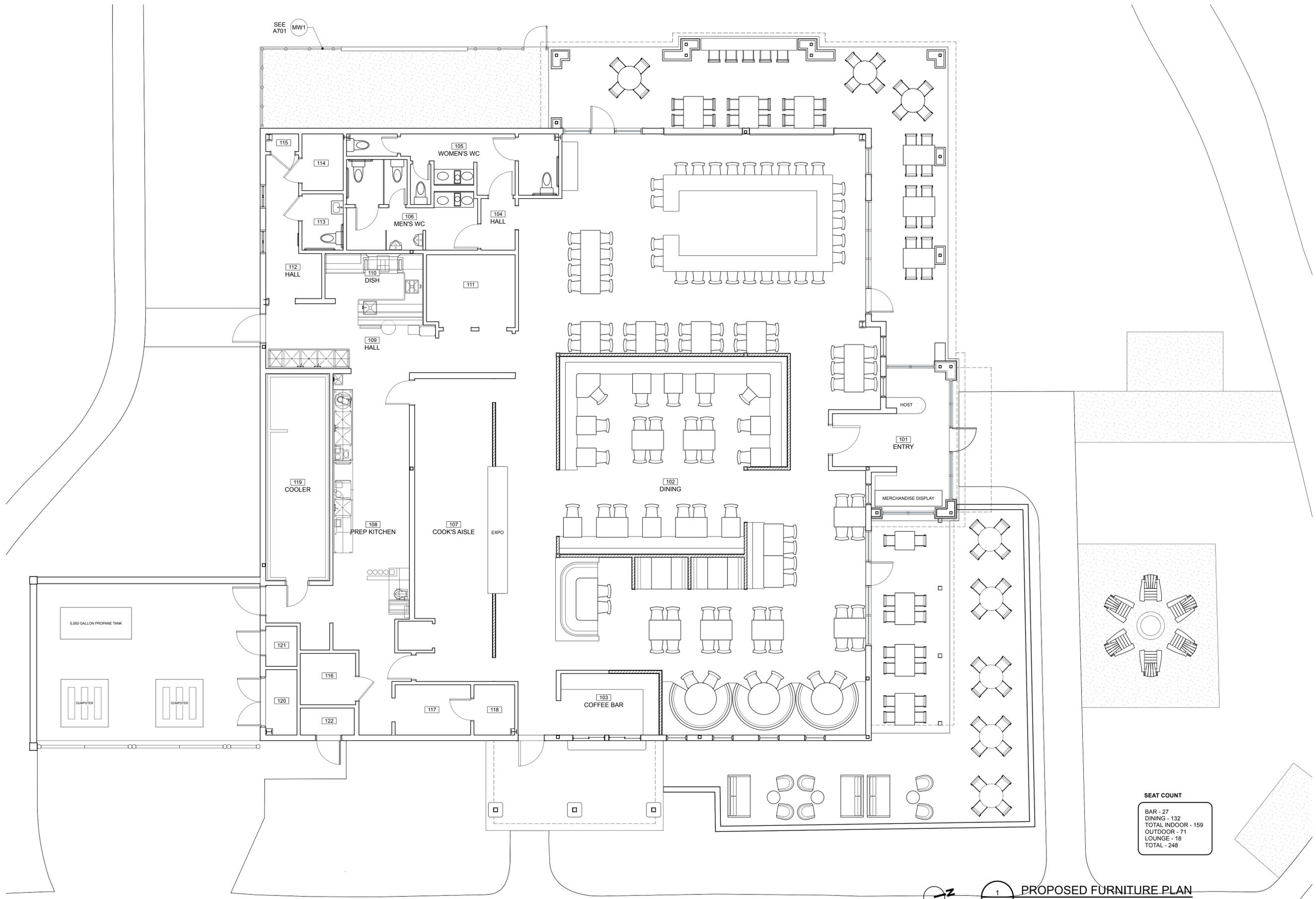
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 HILTON HEAD, SC 29928

A102



SEAT COUNT

BAR	- 27
DINING	- 132
TOTAL INDOOR	- 159
OUTDOOR	- 71
LOUNGE	- 18
TOTAL	- 248

1
A102 PROPOSED FURNITURE PLAN
 SCALE: 3/16" = 1'-0"



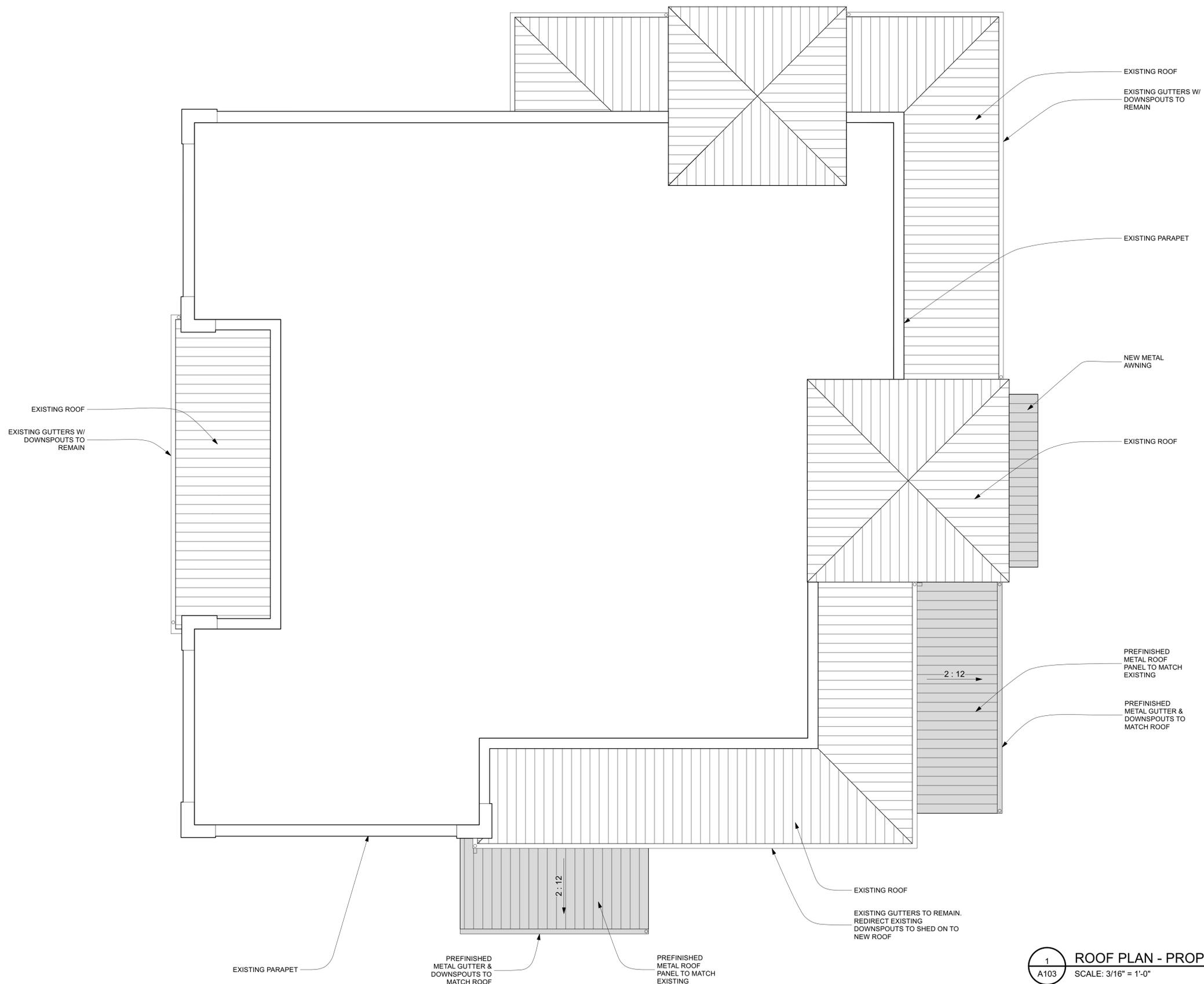
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1 ROOF PLAN - PROPOSED
 A103 SCALE: 3/16" = 1'-0"



VIEW OF SIDE PATIO FROM BIKE PATH



VIEW FROM PARKING LOT



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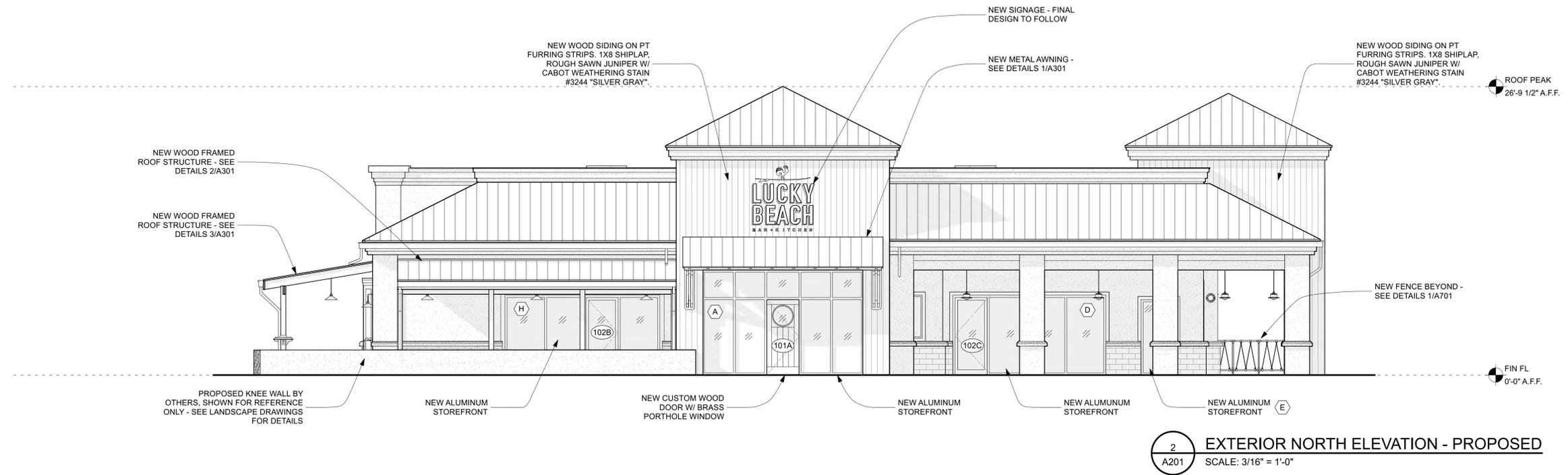
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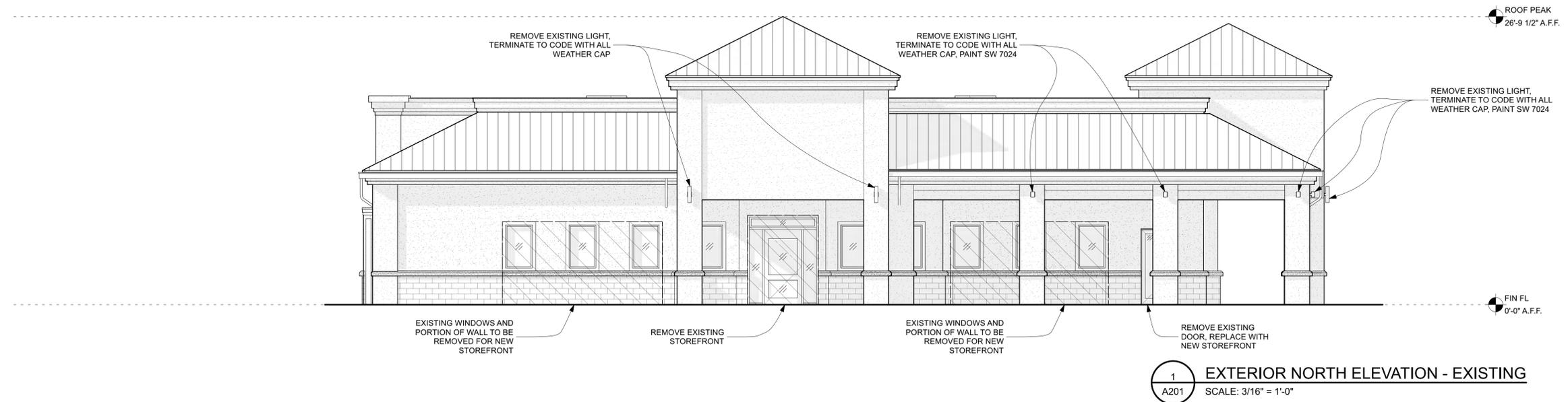


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2 EXTERIOR NORTH ELEVATION - PROPOSED
 A201 SCALE: 3/16" = 1'-0"



1 EXTERIOR NORTH ELEVATION - EXISTING
 A201 SCALE: 3/16" = 1'-0"

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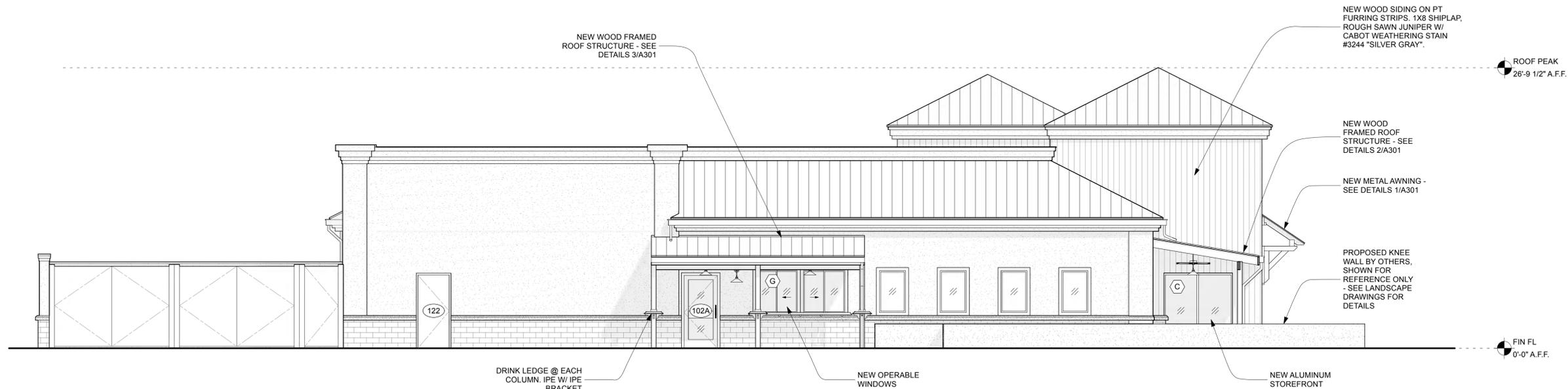
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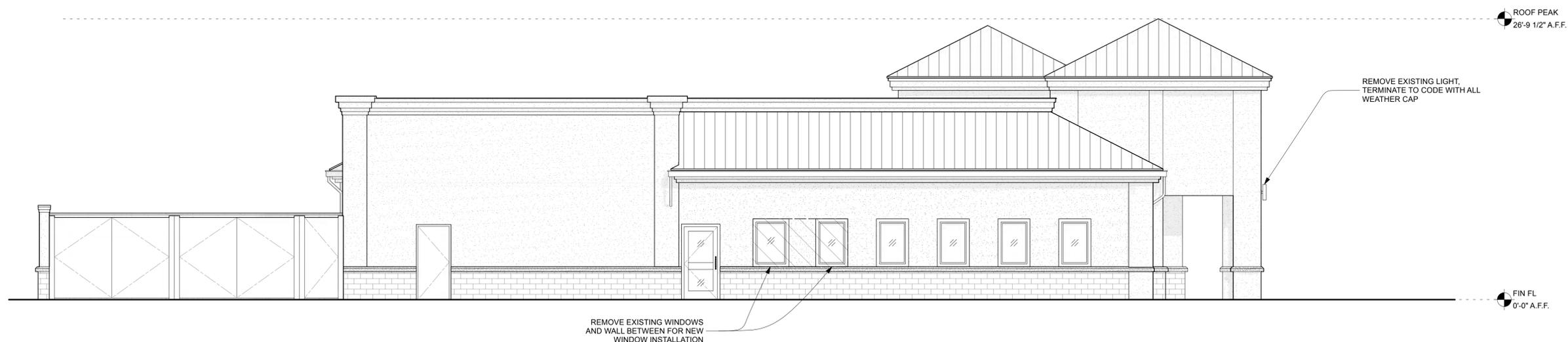


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2 EXTERIOR EAST ELEVATION - PROPOSED
 A202 SCALE: 3/16" = 1'-0"

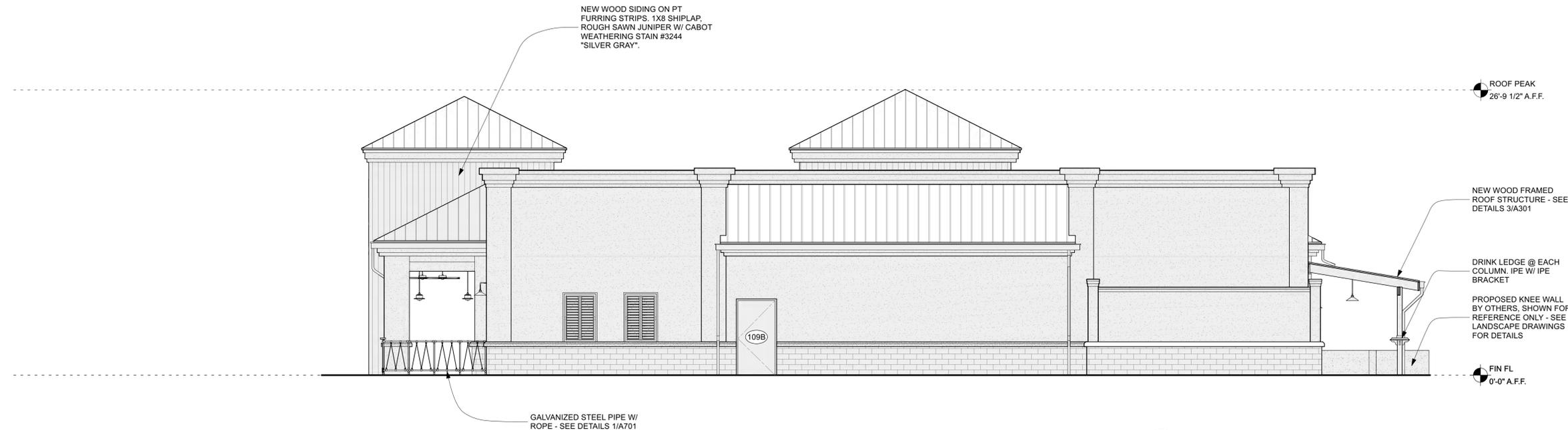


1 EXTERIOR EAST ELEVATION - EXISTING
 A202 SCALE: 3/16" = 1'-0"



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2 EXTERIOR SOUTH ELEVATION - PROPOSED
 A203 SCALE: 3/16" = 1'-0"

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1 EXTERIOR SOUTH ELEVATION - EXISTING
 A203 SCALE: 3/16" = 1'-0"

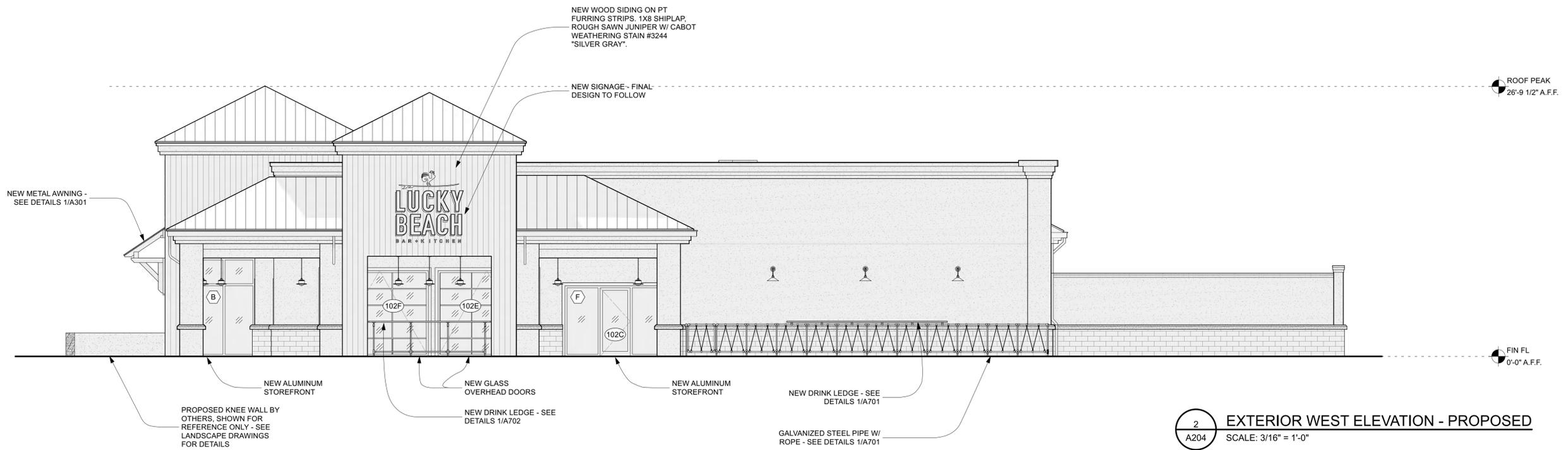
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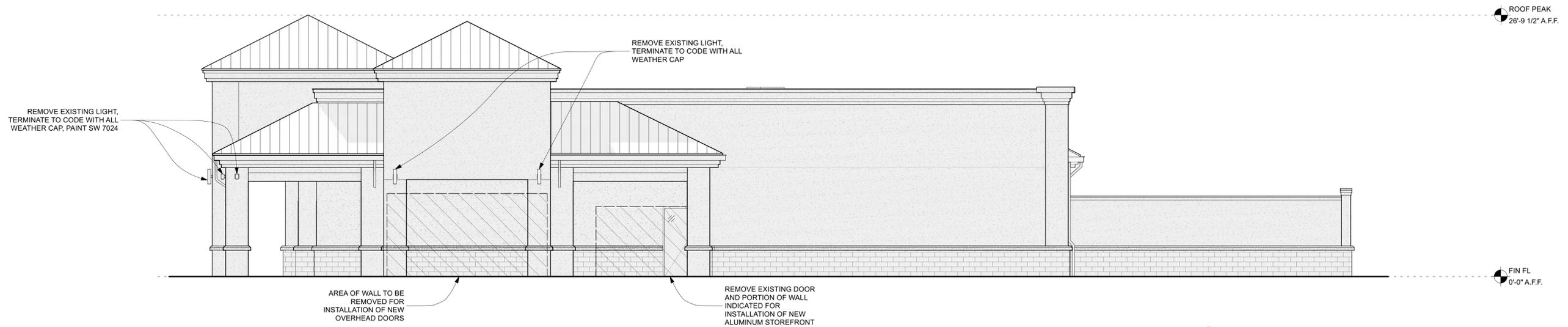
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2 EXTERIOR WEST ELEVATION - PROPOSED
 A204 SCALE: 3/16" = 1'-0"

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1 EXTERIOR WEST ELEVATION - EXISTING
 A204 SCALE: 3/16" = 1'-0"

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A

METAL ROOF
MATCH EXISTING BRONZE ROOF



B

WOOD SIDING
1X8 SHIPLAP, ROUGH SAWN JUNIPER
W/ CABOT WEATHERING STAIN #3244 "SILVER GRAY".



C

WALL PAINT
SW 7024 FUNCTIONAL GREY



D

IPE WOOD
UNFINISHED



E

CEILING PAINT
DCR079



2 EXTERIOR EAST ELEVATION - COLORED
A205 SCALE: 3/16" = 1'-0"



1 EXTERIOR NORTH ELEVATION - COLORED
A205 SCALE: 3/16" = 1'-0"



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A

METAL ROOF
MATCH EXISTING BRONZE ROOF



B

WOOD SIDING
1X8 SHIPLAP, ROUGH SAWN JUNIPER
W/ CABOT WEATHERING STAIN #3244 "SILVER GRAY".



C

WALL PAINT
SW 7024 FUNCTIONAL GREY



D

IPE WOOD
UNFINISHED



E

CEILING PAINT
DCR079



2 EXTERIOR WEST ELEVATION - COLORED
A206 SCALE: 3/16" = 1'-0"



1 EXTERIOR SOUTH ELEVATION - COLORED
A206 SCALE: 3/16" = 1'-0"



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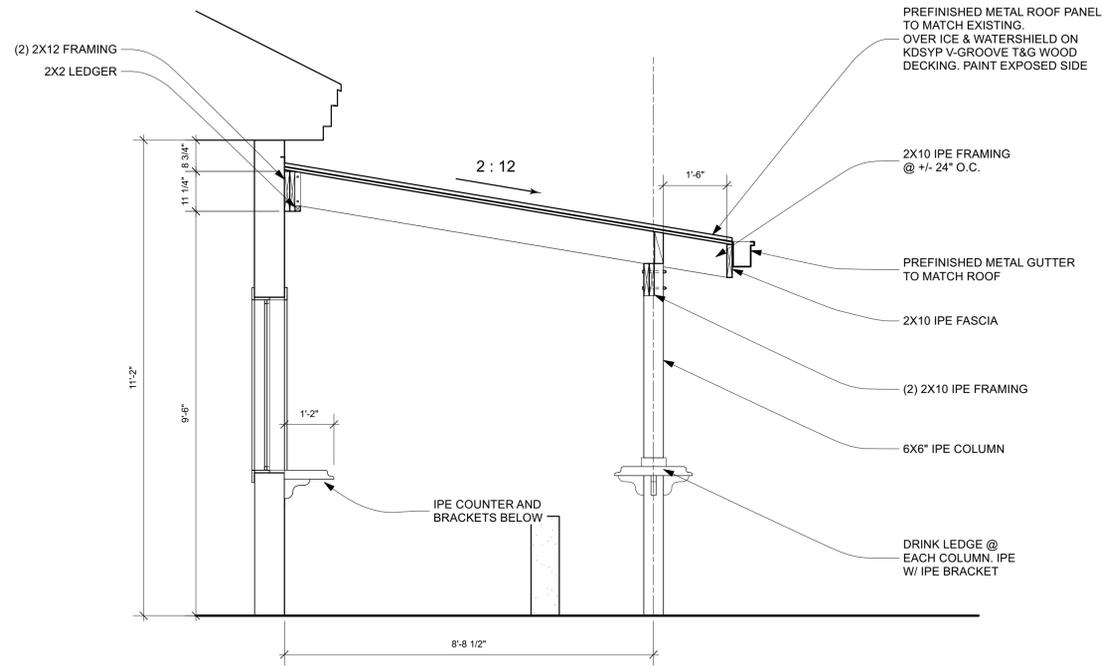
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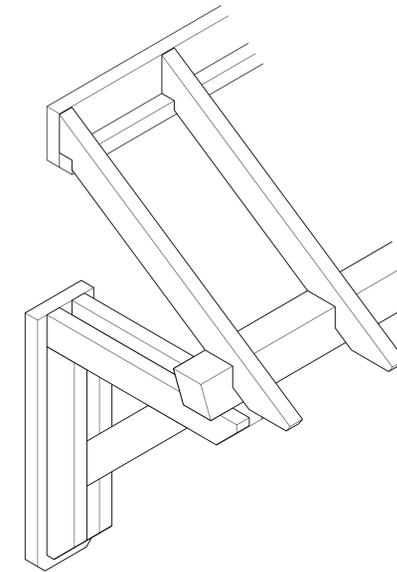
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A301

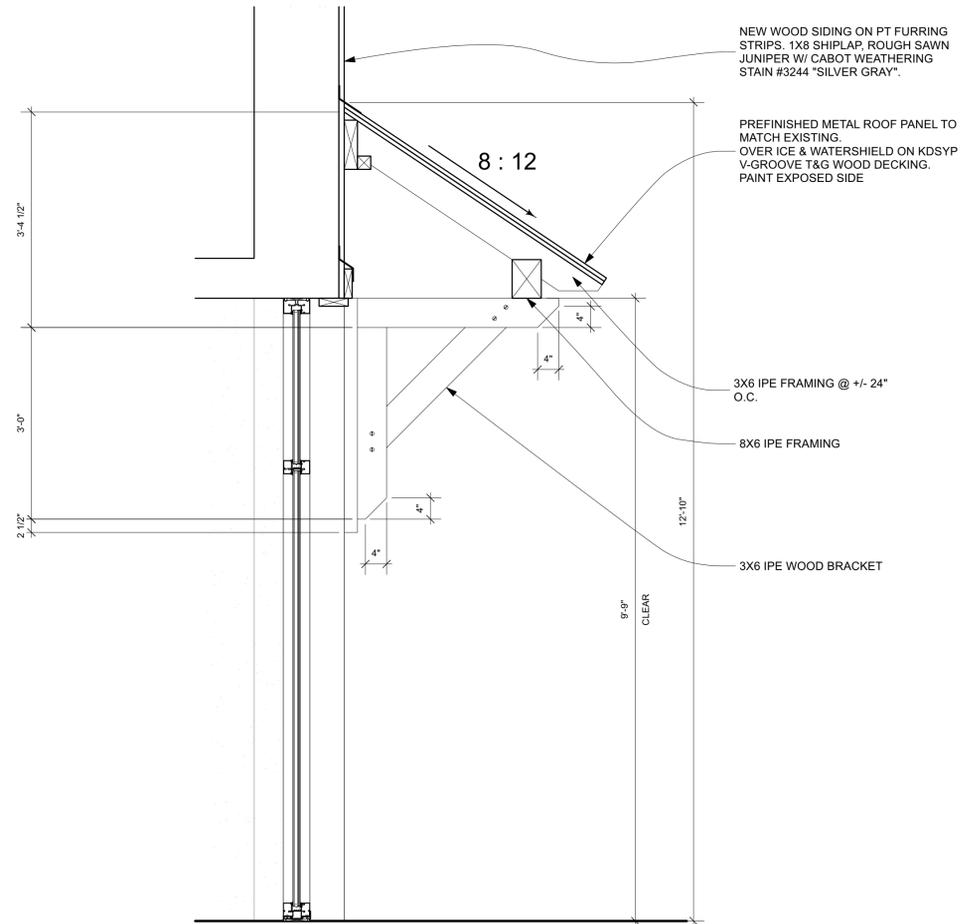


3 AWNING BRACKET ELEVATION
 A301 SCALE: 1" = 1'-0"

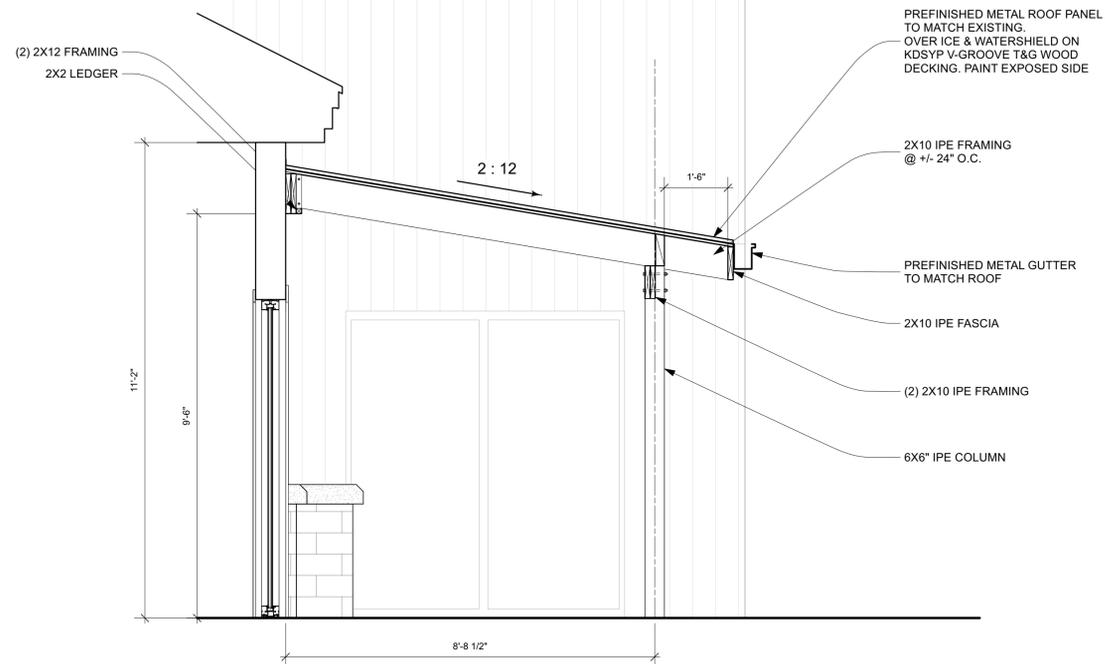


2 AWNING BRACKET AXONOMETRIC
 A301 SCALE: 1" = 1'-0"

5 TAKE-OUT WINDOW AWNING SECTION
 A301 SCALE: 1/2" = 1'-0"



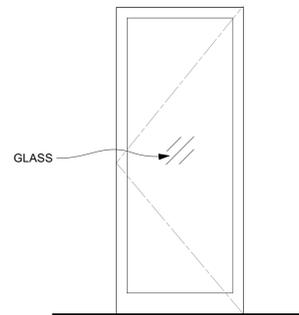
1 STOREFRONT WALL SECTION
 A301 SCALE: 3/4" = 1'-0"



4 PATIO AWNING SECTION
 A301 SCALE: 1/2" = 1'-0"



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B

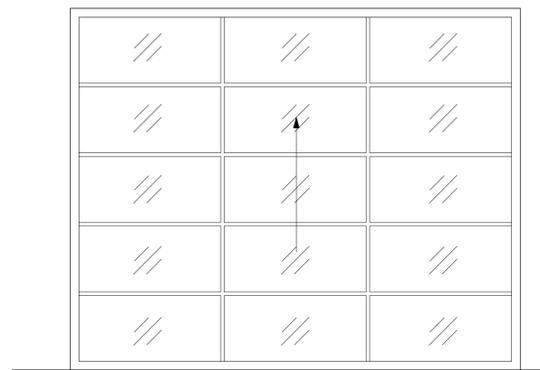
ALUMINUM STOREFRONT DOOR
EXTERIOR

- G.C. MUST PROVIDE PRODUCT DATA SUBMITTAL AND SHOP DRAWINGS FOR DOORS. HARDWARE SUBMITTAL TO INCLUDE BUT NOT LIMITED TO HINGES, LOCKING MECHANISMS, THRESHOLDS, ETC.
- DOORS SHALL HAVE ANSI COMPLIANT HARDWARE. PROVIDE SUBMITTAL.
- ALL DOORS AND ASSOCIATED HARDWARE SHALL COMPLY WITH ICCA117.1-2009
- ALL DOOR HARDWARE SHALL COMPLY WITH 1008.1.9 FOR DOOR OPERATIONS. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL EFFORT.
- G.C. SHALL COORDINATE LOCK AND KEY REQUIREMENTS WITH OWNER.

3 DOOR NOTES
A501

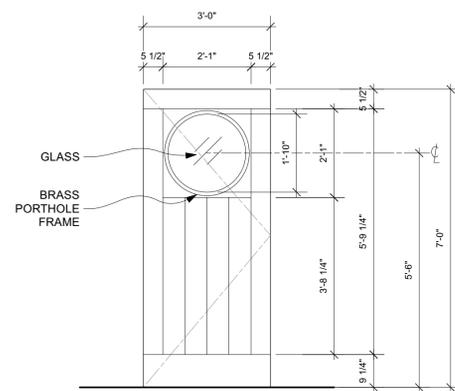


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C

"ALUMAVIEW AV300"
SECTIONAL RAIL AND
STILE DOORS BY
RAYNOR GARAGE DOORS
EXTERIOR



A

CUSTOM IPE DOOR
EXTERIOR

DOOR #	LOCATION	TYPE	NOMINAL SIZE		EXT / INT	HW SET	TRIM	REMARKS
			WIDTH	HEIGHT				
101A	ENTRY	A	3'0"	7'0"	EXT	TBD	N/A	
102B	DINING	B	3'0"	7'0"	EXT	TBD	N/A	
102C	DINING	B	3'0"	7'0"	EXT	TBD	N/A	
102D	DINING	B	3'0"	7'0"	EXT	TBD	N/A	
102E	DINING	C	9'10 1/2"	8'6"	EXT	TBD	TBD	
102F	DINING	C	10'7 1/2"	8'6"	EXT	TBD	TBD	

2 DOOR TYPES
A501 SCALE: 1/2" = 1'-0"

1 DOOR SCHEDULES
A501

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 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928



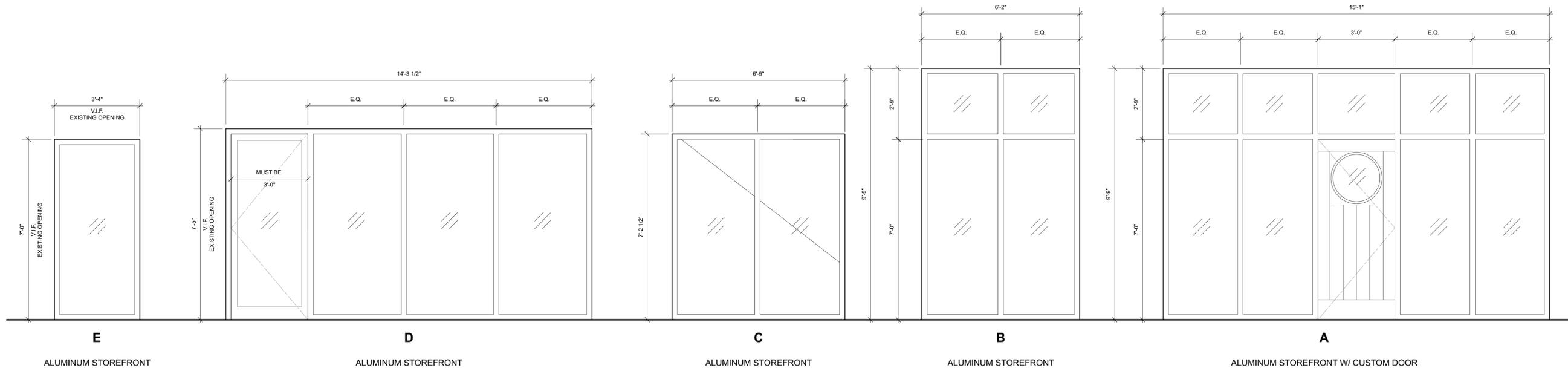
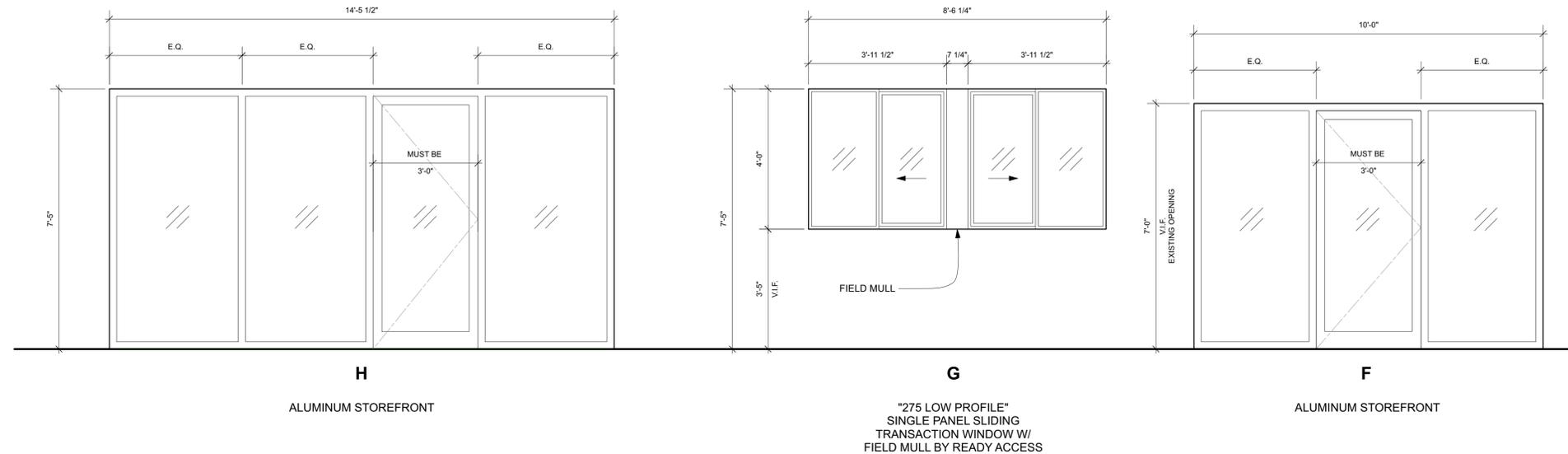


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DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.

1. ALUMINUM STOREFRONT: KAWNEER IR501 - MEDIUM BRONZE PERMA FLUOR ARCHITECTURAL FINISH, OR APPROVED EQUAL
2. G.C. MUST PROVIDE SHOP DRAWINGS AND FINISH SAMPLE FOR ARCHITECT APPROVAL.
3. ALL WINDOWS SHALL BE IMPACT RATED AND MEET REQUIRED MISSILE TEST STANDARDS AND DP RATING REQUIREMENTS PER 2018 IBC SECTION 2406.2.
4. ALL GLAZING SHALL BE 1" INSULATED UNIT, W/ SOLARBAND 70 FILM SHGC MUST BE ≤ 0.3 , U-VALUE MUST BE ≤ 0.5 , LOW E
5. G.C. SHALL INSTALL PER MANUFACTURER'S INSTRUCTIONS.

2 WINDOW NOTES
 A502



1 WINDOW TYPES
 A502 SCALE: 1/2" = 1'-0"



ISSUED DATE / REVISIONS
 SD - 11.12.2021
 DRB SUBMITTAL - 12.21.2021
 DRB SUBMITTAL - 02.22.2022

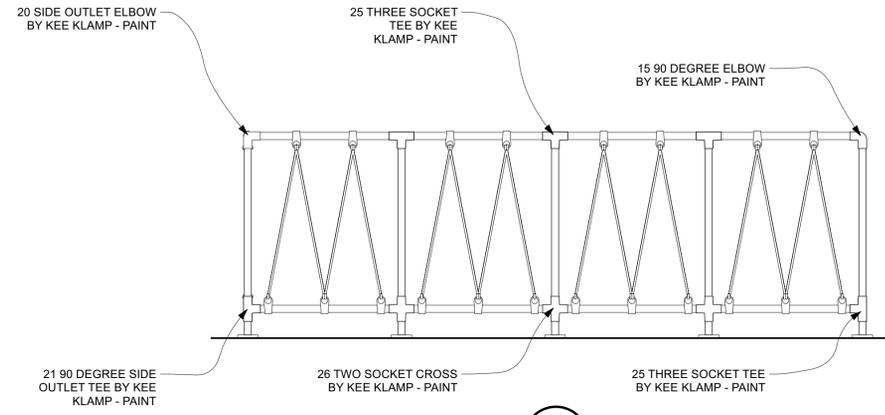
LUCKY BEACH BAR + KITCHEN
 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928



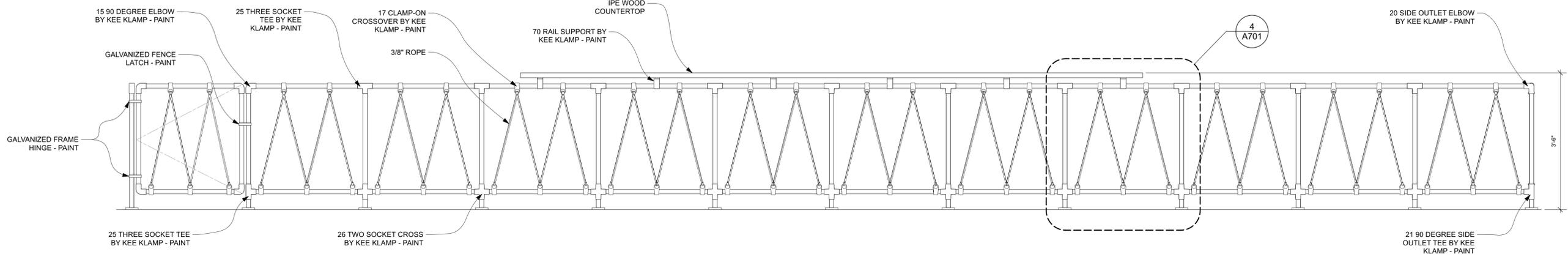


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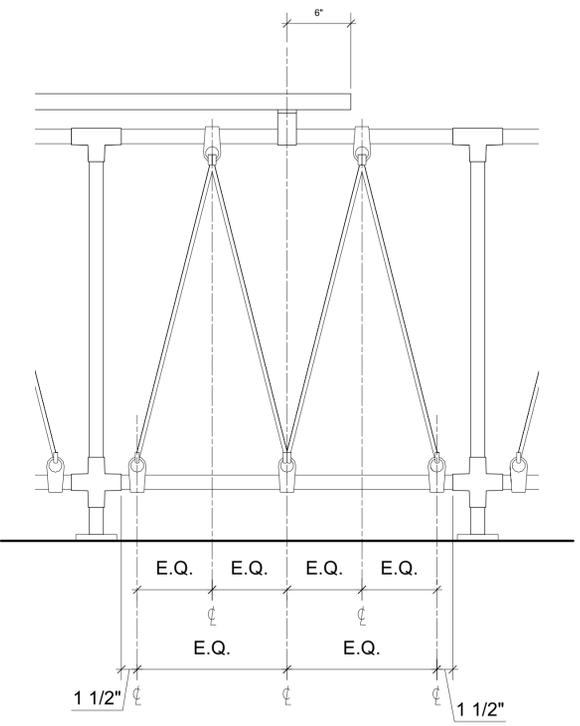
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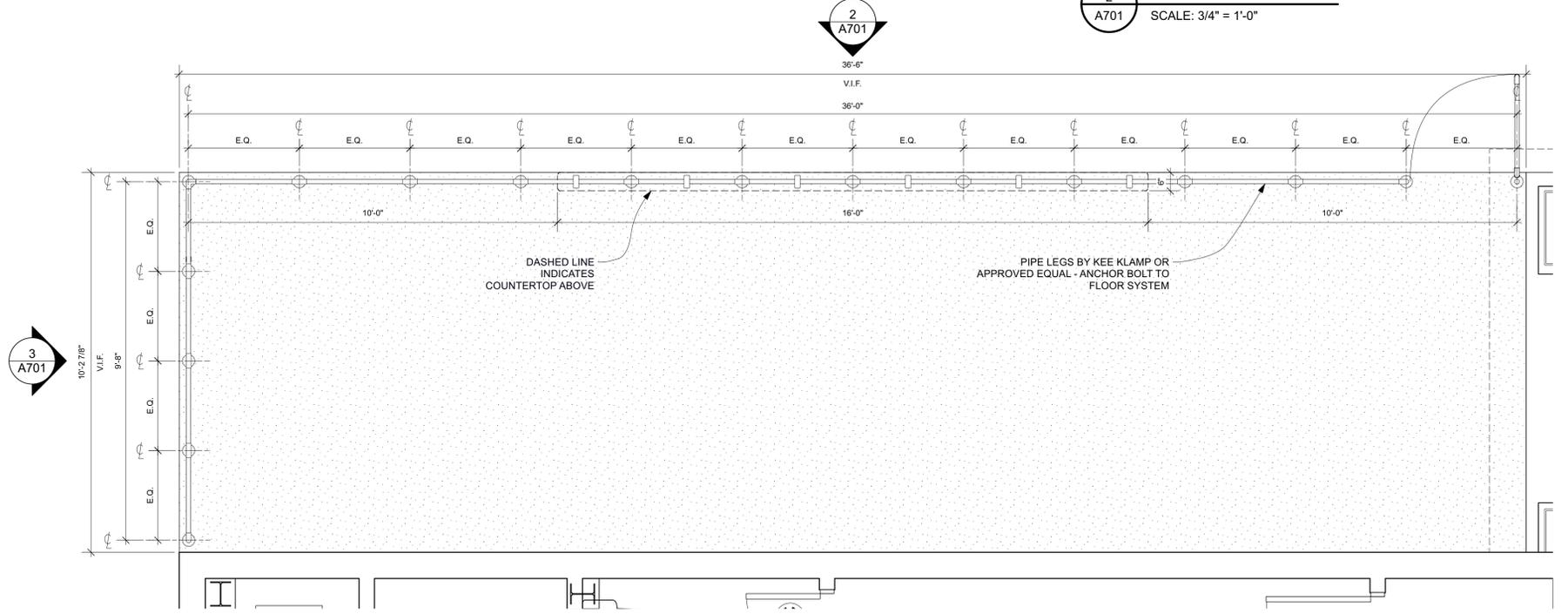
3 FENCE ELEVATION
 A701 SCALE: 3/4" = 1'-0"



2 FENCE ELEVATION
 A701 SCALE: 3/4" = 1'-0"



4 TYP. ROPE DETAIL
 A701 SCALE: 1 1/2" = 1'-0"



1 FENCE FLOOR PLAN
 A701 SCALE: 1/2" = 1'-0"



ISSUED DATE / REVISIONS
 SD - 11.12.2021
 DRB SUBMITTAL - 12.21.2021
 DRB SUBMITTAL - 02.22.2022

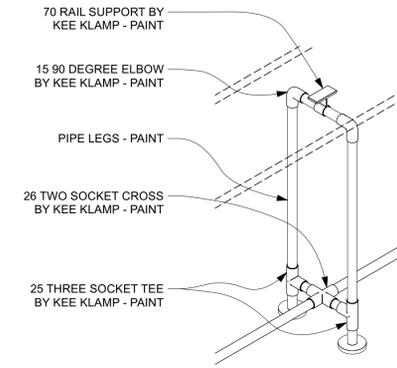
LUCKY BEACH BAR + KITCHEN
 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928



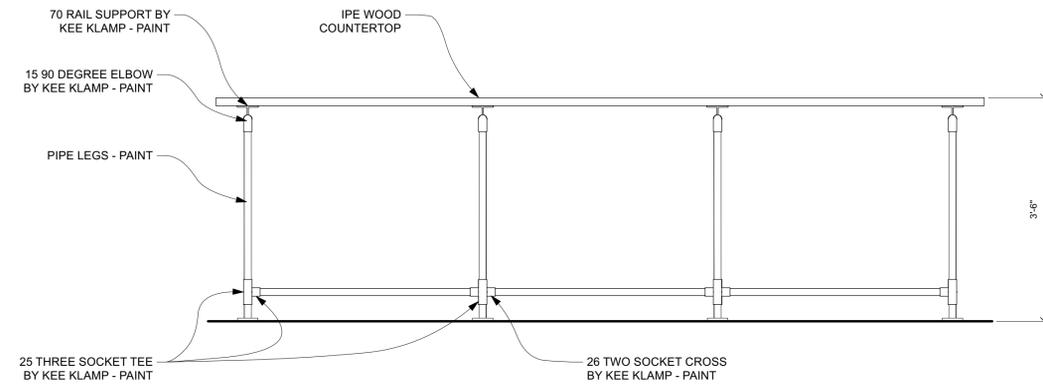


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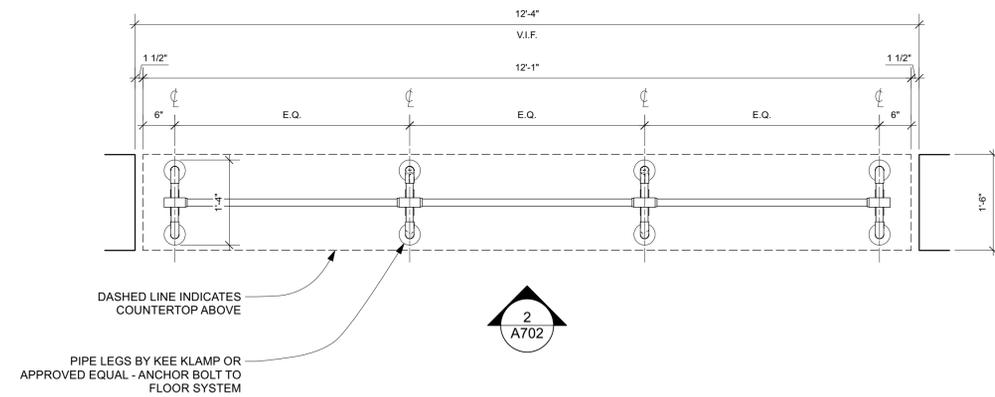
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



3 DRINK RAIL LEG AXONOMETRIC
 A702 SCALE: 1" = 1'-0"



2 DRINK RAIL ELEVATION
 A702 SCALE: 3/4" = 1'-0"



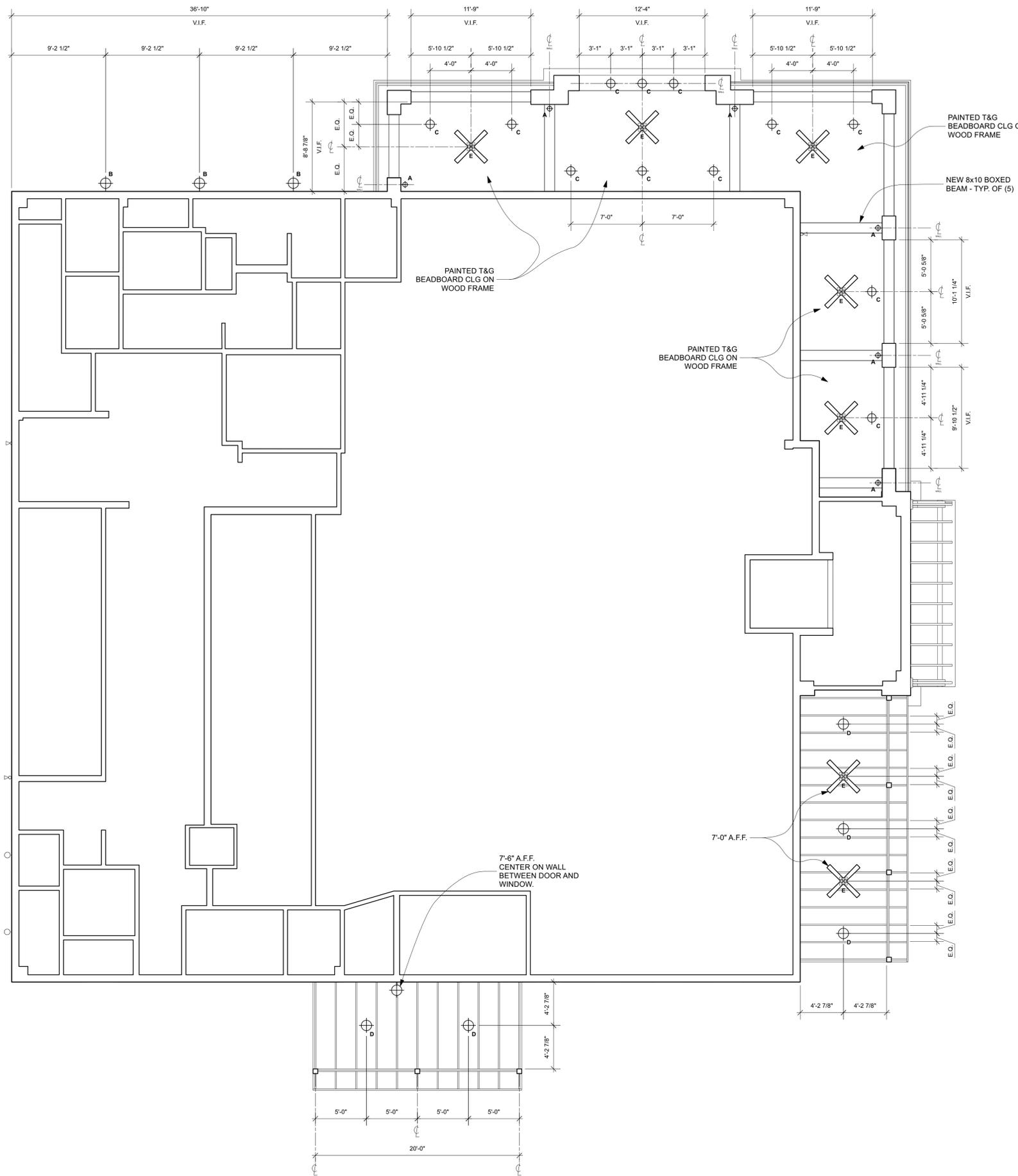
1 DRINK RAIL ELEVATION
 A702 SCALE: 3/4" = 1'-0"



ISSUED DATE / REVISIONS
 SD - 11.12.2021
 DRB SUBMITTAL - 12.21.2021
 DRB SUBMITTAL - 02.22.2022

LUCKY BEACH BAR + KITCHEN
 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928





A
 "NORFOLK B3262" W/ MARINE BRONZE FINISH BY TROY LIGHTING.
 7'-6" A.F.F. UNLESS NOTED OTHERWISE.



B
 "TOLEDO B2772" W/ OLD SILVER FINISH BY TROY LIGHTING.
 8'-8" A.F.F. UNLESS NOTED OTHERWISE.



C
 "SOUTH STREET F9396OR" W/ OLD RUST FINISH BY TROY LIGHTING.
 7'-0" A.F.F.



D
 "TOLEDO F2774" W/ OLD SILVER FINISH BY TROY LIGHTING.
 7'-0" A.F.F.



E
 "INDUSTRY DC" W/ GALVANIZED FINISH AND SILVER PLYWOOD BLADES BY THE MODERN FAN CO.
 9'-0" A.F.F. UNLESS NOTED OTHERWISE.

KEY

A	LETTER INDICATES FIXTURE TYPE
	HVAC RETURN GRILLE, SEE MECHANICAL
	HVAC SUPPLY GRILLE, SEE MECHANICAL
	CEILING MOUNTED FIRE ALARM HORN/STROBE - WHITE
	CEILING MOUNTED FIRE ALARM VISUAL STROBE - WHITE
NOTE: LOCATION OF TRANSFORMERS TO BE COORDINATED IN CONCEALED LOCATIONS IN THE FIELD	



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ISSUED DATE / REVISIONS
 SD - 11.12.2021
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 DRB SUBMITTAL - 02.22.2022

LUCKY BEACH BAR + KITCHEN
 14 FOLLY FIELD RD,
 HILTON HEAD, SC 29928



PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		CONCRETE WALK	1/L4
2.2		GRAVEL WALK	2/L4
2.3		BRICK PATIO	3/L4

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
5.1	BIKE RACK	N/A
6.1	SEAT WALL	4/L4

KEY SHEET REFERENCE NOTES:

- ① MAINTAIN EXISTING SIDEWALK. CONTRACTOR RESPONSIBLE FOR REPLACEMENT / REPAIR OF ANY AND ALL DAMAGES.
- ② PROPOSED IMPROVEMENTS BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL ENGINEER AS REQUIRED.

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 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
LUCKY BEACH BAR
 14 FOLLY FIELD ROAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB. 22, 2022
 PROJECT NO.: 22040.01
 DRAWN BY: PT
 CHECKED BY: BW

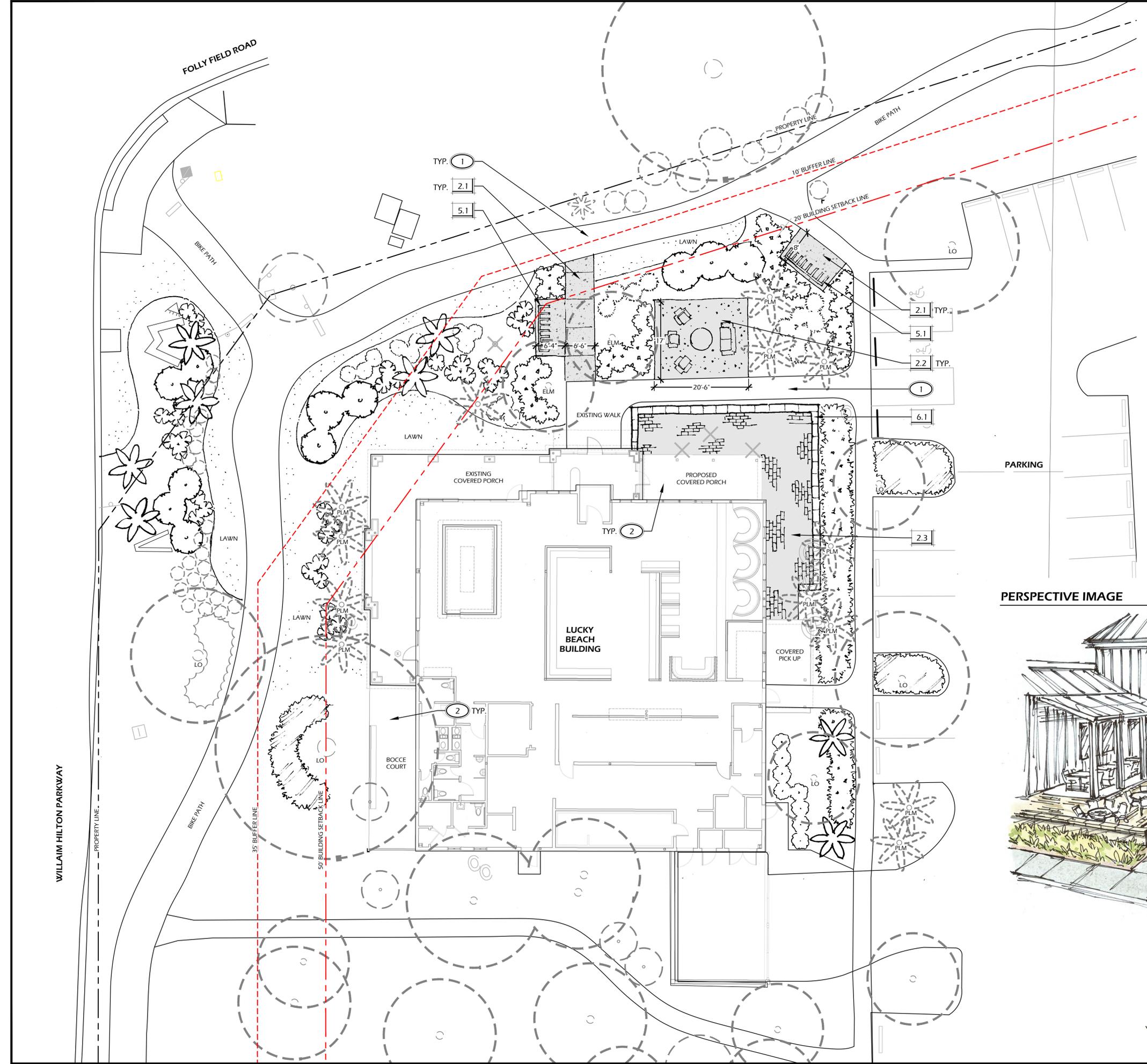
**FINAL SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

REVISIONS:

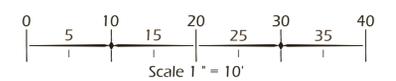
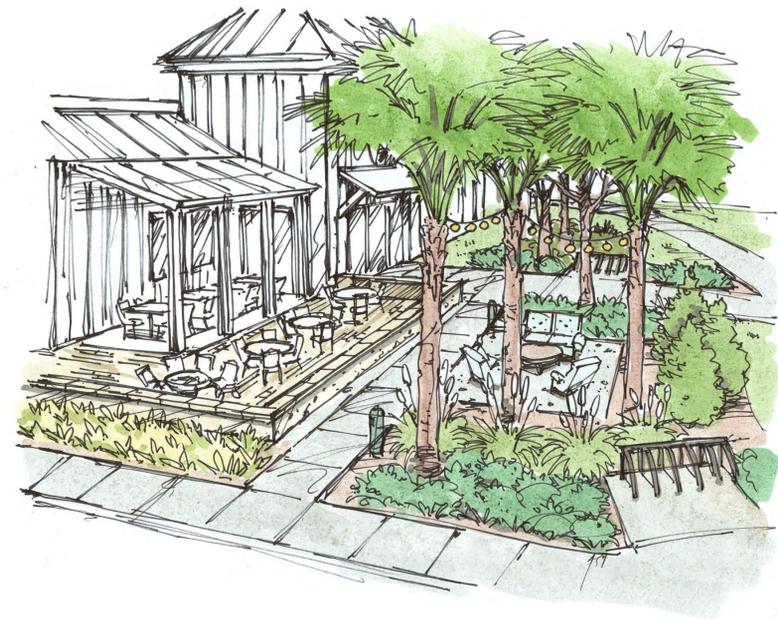
DRAWING TITLE
**KEY SHEET AND
 LAYOUT PLAN**

DRAWING NUMBER

L1



PERSPECTIVE IMAGE



FOLLY FIELD ROAD

BIKE PATH

BIKE PATH

WILLIAM HILTON PARKWAY

2 EXISTING LIGUSTRUM TO REMAIN
2 EXISTING BUFORD HOLLY TO REMAIN
1 EXISTING PITOSPORUM TO REMAIN

3 EXISTING DAHOON HOLLY TO REMAIN
2 EXISTING BUFORD HOLLY TO REMAIN
1 EXISTING SAW PALMETTO TO REMAIN

1 SABP
5 ZAMF

1 SABP
11 ZAMF

1 EXISTING CRAPE MYRTLE TO REMAIN

3 ILEC
13 ZAMF

3 SERR
2 TYP.

1 SABP
3 SERR

3 SERR
1 SABP
2 ILEC

1 SABP
3 SERR

3 SERR
3 ILEC

3 SERR
3 ILEC

3 SERR
3 SERR

7 SERR
11 ZAMF

4 TYP.

EXISTING WALK

PROPOSED COVERED PORCH

2 TYP.

EXISTING PORCH

PROPOSED COVERED PORCH

LUCKY BEACH BUILDING

EXISTING WALK

PROPOSED COVERED PORCH

10.3 TYP.

11 ZAMF

3 TYP.

10.1 TYP.

11 ZAMF

3 TYP.

10.3 TYP.

11 ZAMF

3 TYP.

10.1 TYP.

11 ZAMF

3 TYP.

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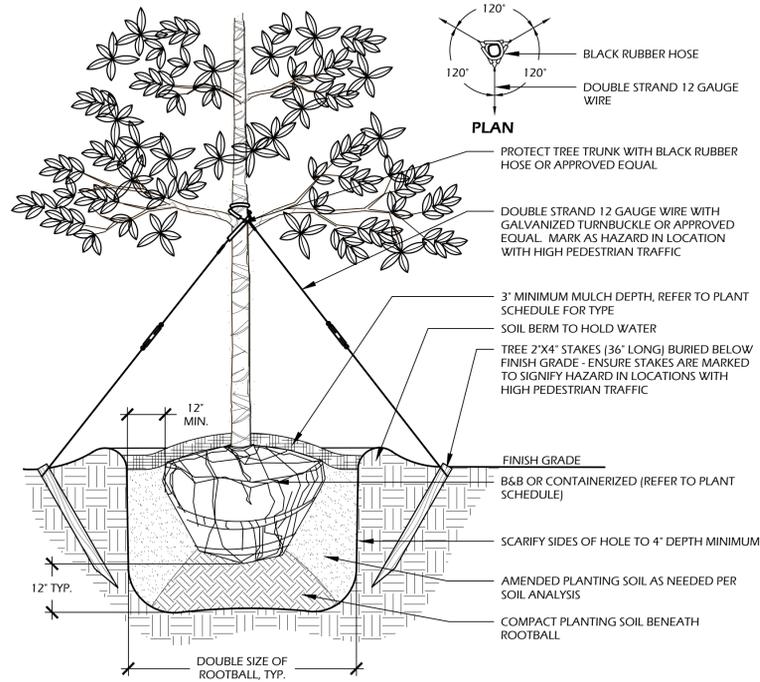
3 TYP.

10.3 TYP.

11 ZAMF

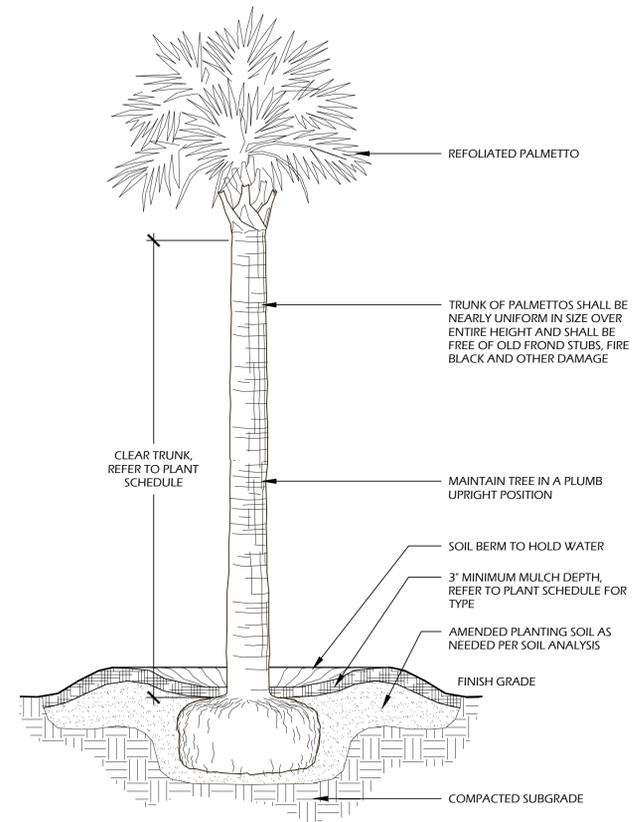
3 TYP.

10



- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L3 TREE PLANTING
SCALE: N.T.S.

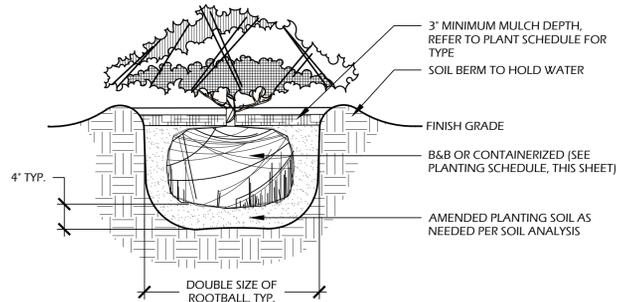


- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L3 PALM TREE PLANTING
SCALE: N.T.S.

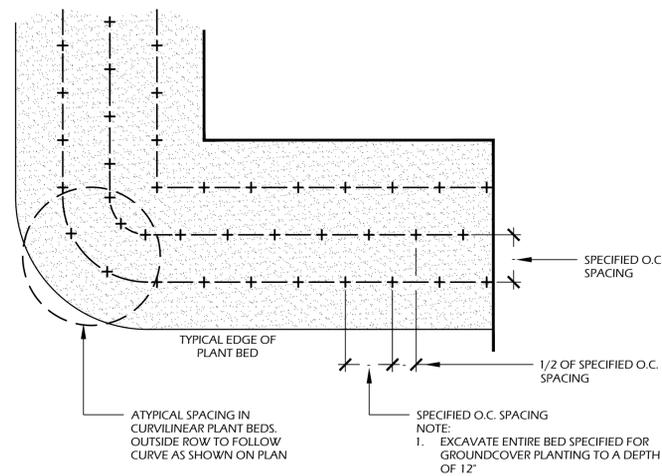
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Gal./Spacing	Notes
UNDERSTORY TREES								
11	ILEC	Ilex cassine	Dahoon Holly	6'-7'	3'-4'	15 gal.	-	Full
10	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
SHRUBS								
8	PODM	Podocarpus macrophyllus	Podocarpus	36"-42"	24"-30"	15 gal.	-	Full
34	SERR	Serenoa repens	Saw Palmetto	24"-30"	24"-30"	15 gal.	-	Full
51	ZAMF	Zamia floridana	Coontie Palm	12'-18"	18"-24"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
48	CYRF	Cyrtomium falcatum	Holly Fern	10"-12"	8"-12"	1 gal.	24" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
89	DIAY	Dianella tasmanica 'Variegata'	Variegated Flax Lily	12"-18"	12"-18"	1 gal.	30" O.C.	Full
259	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
2,490	SODSF	-	Empire Zoysia Sod	-	-	-	-	-
7,168	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

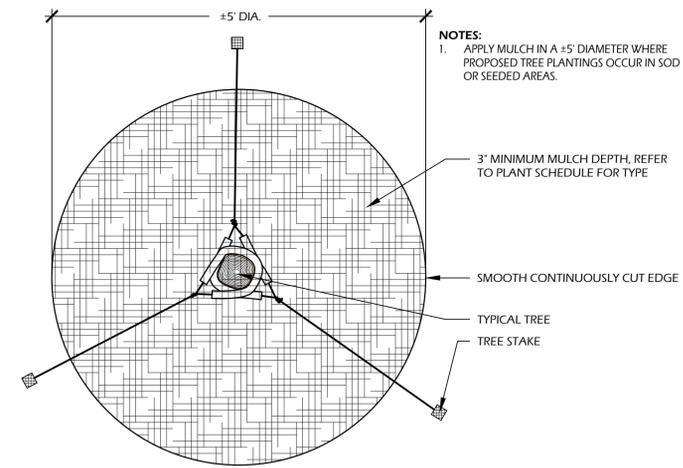


- NOTES:**
- WHEN GROUND COVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L3 SHRUB PLANTING
SCALE: N.T.S.



4 // L3 GROUND COVER PLANTING
SCALE: N.T.S.



5 // L3 TREE STAKING
SCALE: N.T.S.

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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
LUCKY BEACH BAR
14 FOLLY FIELD ROAD
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB. 22, 2022
PROJECT NO.: 22040.01
DRAWN BY: PT
CHECKED BY: BW

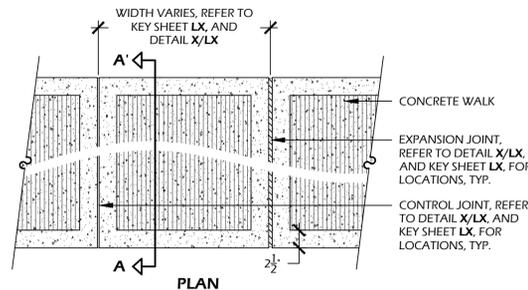
FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER

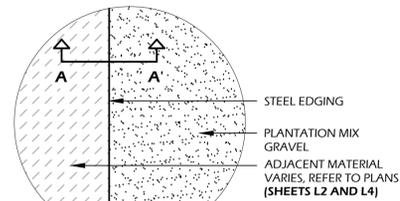
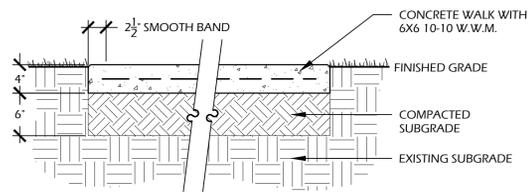
L3



CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: PICTURE FRAME BROOM
FINISH WITH 2-1/2" SMOOTH BAND

SOIL INFORMATION:
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN (SHEET LX) FOR WIDTHS OF WALK
 3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.

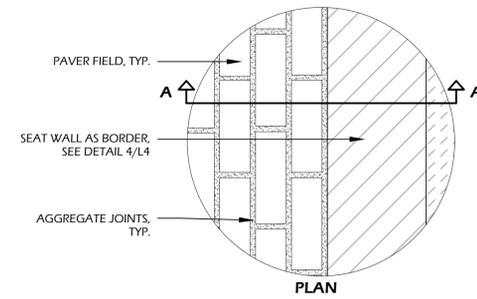
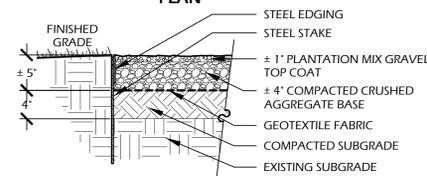


EDGING AND STAKE INFORMATION:
MANUFACTURER: BORDER CONCEPTS, INC.
 7621 LITTLE AVE., SUITE 426
 CHARLOTTE, NC 28226
PHONE: (800) 845.3343
WEB: WWW.BORDERCONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16" X 4" X 16"
STAKES: STANDARD STAKE 3/16" THICK X 15" LONG (6 PER 16")
COLOR: BLACK

NOTE: INSTALL FLUSH PER MANUFACTURER'S SPECIFICATIONS

OTHER INFORMATION:
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR



PAVER MANUFACTURER INFORMATION:
 LOWCOUNTRY PAVER
 535 STINEY RD.
 HARDEEVILLE, SC 29927
PHONE: (866) 468.3561
WEB: WWW.LCPAVER.COM.COM

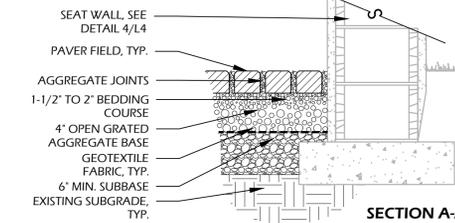
PAVER: HYDRAPLANK PERMEABLE PAVER 4.33"X4.33"X12.99"
COLOR: CANYON
PATTERN: RUNNING BOND (REFER TO PLAN, SHEET L1, FOR DIRECTION)

JOINTS: TYP. #8 AGGREGATE IN OPENINGS
BEDDING COURSE: TYP. #8 AGGREGATE
OPEN GRATED BASE: #57 STONE
SUBBASE: #2 STONE

CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS

GEOTEXTILE INFORMATION:
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL

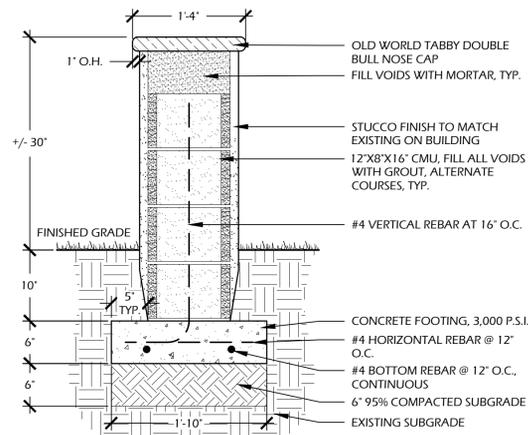
- NOTES:**
1. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 3. LIGHTS ARE LOCATED ON ONE SET OF STEPS ONLY. REFER TO SHEET L4 FOR LOCATION. ALL OTHER STEPS SHALL HAVE A CONTINUOUS RUN OF STUCCO TABBY.



1 // L4 CONCRETE WALK
SCALE: 1'-1'-0"

2 // L4 GRAVEL PAVING
SCALE: 1'-1'-0"

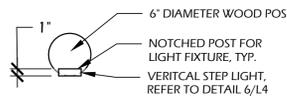
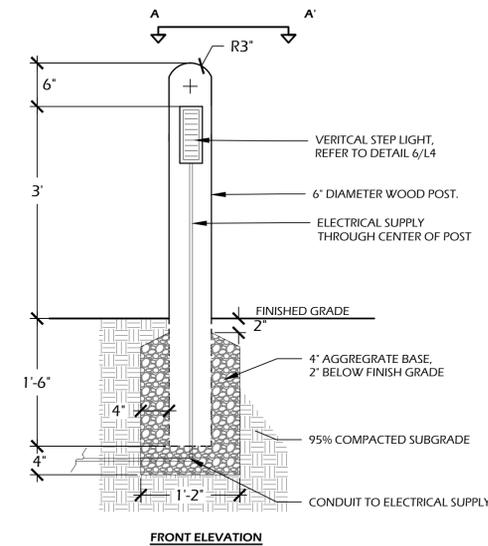
3 // L4 PLANK PAVERS
SCALE: 1'-1'-0"



STONE MANUFACTURER INFORMATION:
MANUFACTURER: TO MATCH ARCHITECTURE

STONE: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: SINGLE COURSE BORDER
JOINTS: MORTAR JOINTS TO MATCH ARCHITECTURE

- NOTES:**
1. REFER TO LAYOUT PLAN (SHEET L3) FOR OVERALL DIMENSIONS OF SEAT WALL



MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED SHERWIN WILLIAMS SEMI-TRANSPARENT 3568 'WEATHERED GRAY'

5 // L4 LIGHT POST
SCALE: 1'-1'-0"

COASTAL SOURCE
[defy the elements]

VERTICAL STEP LIGHT

The Vertical Step Light offers excellent low level illumination along walls, steps and other vertical surfaces. The Vertical Step Light allows for 3.5 watts of LED power to increase both the safety and beauty of your installation. Coastal Source Vertical Step Lights utilize the patented Coastal Connector™ system for easy installation and long life.

Note: Proportion is about 1/4", please see Step Light Recess Mount™ if you want an almost flush profile!

VERTICAL STEP LIGHT SPECIFICATIONS
 Size (H x W): 3.25in x 8.375in
 Weight: 2.5 lbs
 Construction: Solid Brass
 Finish: Vintage Brass
 Lamp: Rechargeable LED Module
 Wattage: 3.5 Watts (2000m)
 Mounting: Surface Mount
 Fixture Connector: CMC Male Direct Connector
 Wiring: 5' CMC Cable (not included)
 Warranty: 5-Year Limited Warranty™

LANDSCAPE LIGHTING AND OUTDOOR AUDIO
[ENGINEERED] FOR LIFE

coastalsource.com

6 // L4 VERTICAL STEP LIGHT
SCALE: N.T.S.

COASTAL SOURCE
DEFYING THE ELEMENTS

MR11 BULLET
WIRED

WBTHY

MR11 BULLET MANUFACTURE UP LIGHT

Size (H x W): 7in x 1.75in Weight: 2.0 lbs
 Construction: Solid Brass Voltage: 7-18VAC/7-24VDC

Finish: Beaded, Vintage
 Shroud: 360 Rotational with O-ring
 Lamp: MR11 (LED Recommended)
 Wattage: Maximum 50 Watts
 Lens: Clear Convex Glass
 Mounting: Stake, Tree Mount, Flush Mount
 Wiring: 6' CC Cable
 Warranty: 5-Year Limited Warranty™

*Follow Warranty for certified installations. See terms and conditions of sale for details.
 CS OFFICE LOCATIONS
 www.coastalsource.com

New Jersey: 1270 Glen Avenue, Moorestown, NJ 08057
 Florida: 11450 Overseas Highway, Marathon, FL 33950
 Please visit coastalsource.com for more information or call us at 1-800-719-1596. You will always be pleased you purchased a Coastal Source product.

7 // L4 UP/DOWN LIGHT
SCALE: N.T.S.

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 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
LUCKY BEACH BAR
 14 FOLLY FIELD ROAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB. 22, 2022
 PROJECT NO.: 22040.01
 DRAWN BY: PT
 CHECKED BY: BW

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
 SITE DETAILS

DRAWING NUMBER

L4

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lucky Beach Bar + Kitchen

DRB#: DRB-000498-2022

DATE: 02/23/2022

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide a color board for DRB review.
2. Specify the color of the rope.
3. Specify the light temperature of the landscape lighting.
4. Provide a specification for the bike racks.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify the color of the rope in the fence.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify 3000K or less on the landscape lighting fixtures.

MISC COMMENTS/QUESTIONS

1. This project required DPR review.
2. Provide a bike rack specification.
3. Provide a color board for DRB review.