



Town of Hilton Head Island
Design Review Board Special Meeting
Tuesday, September 8, 2020 – 1:15 p.m.
AGENDA

This meeting is being conducted virtually in accordance with Town Council Emergency Ordinance 2020-17 and can be viewed live on the Town's Public Meeting Facebook Page at <https://www.facebook.com/townofhiltonheadislandmeetings/>. Following the meeting, the video record will be made available on the Town's website at <https://www.hiltonheadislandsc.gov/>.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. Special Meeting of August 21, 2020

6. Citizen Comments

7. Unfinished Business

a. *Alteration/Addition*

i. Schooner Court, DRB-001283-2020

8. New Business

a. *New Development – Final*

i. Palmetto Bay Lodges, DRB-001730-2020

b. *Alteration/Addition*

i. Dune House Lane, DRB-001686-2020

ii. Nunzio Patio Roof, DRB-001705-2020

iii. Port Royal Plaza Renovations, DRB-001671-2020

c. *Signs*

i. Port Royal Plaza Sign, DRB-001619-2020

ii. Inspired Closets, DRB-001717-2020

9. Adjournment

Public comments concerning business items can be submitted electronically via the Town's Virtual Town Hall public comment portal at <https://hiltonheadislandsc.gov/opentownhall/>. The portal will close at **Noon on Friday, September 4, 2020**. Citizens may also call 843-341-4684 to sign up to comment on business items during the meeting by phone. The public comment period will close at **Noon on Friday, September 4, 2020**. All comments will be provided to the Board for review and made part of the official record.

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Special Meeting
Friday, August 21, 2020 at 9:00 a.m. Virtual Meeting
MEETING MINUTES

Present from the Board: Chairman Michael Gentemann, David McAllister, John Moleski, Debbie Remke, Annette Lippert, Judd Carstens

Absent from the Board: Vice Chair Cathy Foss (excused)

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Shea Farrar, Landscape Associate; Stephen Ryan, Staff Attorney; Eileen Wilson, Senior Administrative Assistant; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gentemann called the meeting to order at 9:05 a.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Swearing in Ceremony for New Board Member Mr. Judd Carstens – Stephen Ryan, Staff Attorney, performed the swearing in ceremony for new member Judd Carstens.

4. Roll Call – See as noted above.

5. Approval of Agenda

Chairman Gentemann asked for a motion to approve the agenda. Ms. Lippert moved to approve. Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0-0.

6. Approval of Minutes

a. Special Meeting of July 24, 2020

Chairman Gentemann asked for a motion to approve the minutes of the July 24, 2020 special meeting. Mr. McAllister moved to approve. Mr. Moleski seconded. By way of roll call, the motion passed with a vote of 6-0-0.

7. Citizen Comments

Public comments concerning agenda items were to be submitted electronically via the Town's Open Town Hall portal. The portal closed at noon yesterday and there were no comments of record. Citizens were provided the option to sign up for public comment participation by phone during the meeting. The public comment period closed at Noon yesterday and there were no requests from citizens to participate by phone.

8. New Business

a. New Development - Conceptual

i. Mount Calvary Baptist Church, DRB 001487-2020

Mr. Darnell presented the application as described in the Board's agenda package. The development appears to be moving in a direction compliant with the Design Guide with the

exception of issues described in the Design Team/Comment Sheet. Staff recommends conceptual approval with the condition that the Design Team/Comment Sheet be addressed and added to the Notice of Action.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application with the applicant. Following the discussion, Chairman Gentemann asked for a motion.

Ms. Lippert made a motion approve DRB-001487-2020 with the following conditions:

1. The conditions described in the Design Team/DRB Comment Sheet shall be addressed in the final application, with the exception of the comment "overhangs appear narrow".
2. No grading shall occur in the buffers.
3. The pedestrian pathway circulation and how that is defined shall be studied.
4. The chain link fence around the current playground will be removed as part of the project.
5. No connector between the existing and the new building will exist.
6. The gravel parking will have concrete wheel stops.
7. Confirm the southern side will be a Type C buffer and provide a landscape plan to match.
8. Parking calculations appear to be in excess of LMO requirements. Reduce the number of parking stalls in order to preserve more existing trees.
9. The circulation to the covered drop off area be studied.
10. Landscape screening to and from the mobile home park shall be address in the landscape plan.
11. Add detailing to the minor entry columns.
12. Study the side yard compressor and location. Review the fencing height. The fence shall match the building color.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0-0.

ii. Mitchelville Lot 11, DRB 001500-2020

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends conceptual approval with the condition that the Design Team/Comment Sheet be addressed and added to the Notice of Action.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board had an in depth discussion of the application with the applicant.

Following the discussion, the application was withdrawn at the applicant's request. No action was taken by the Board on the application.

b. New Development – Final

i. Parkers, DRB 001382-2020

(Mr. Carstens recused himself from review of DRB-001382-2020 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the application as described in the Board's agenda package. Staff recommends approval with the following conditions:

1. The exterior brick shall be reconsidered by the applicant and a façade with revised materials be resubmitted for review by Staff and one DRB member for approval.
2. The anodized silver roof shall be reconsidered by the applicant and a revised material finish or color shall be resubmitted for review by Staff and one DRB member for approval.
3. The applicant shall revise the reflected ceiling plan of the canopy to include more “beams and joist” detail and resubmit for review by Staff and one DRB member for approval.
4. The lighting plan shall meet LMO requirements.
5. The parking lot shoe box fixtures shall match Sea Turtle Market Place fixtures.
6. Bollards shall match Sea Turtle Marketplace bollards.

Chairman Gentemann asked if the applicant would like to add to Staff’s narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application with the applicant. Following the discussion, Chairman Gentemann asked for a motion.

Mr. McAllister made a motion approve DRB-001382-2020 with the following conditions:

1. The grout color shall be a shade darker.
2. Add beams to the reflected ceiling plan of the canopy closer to 12’ on center.
3. Light fixtures and bollards shall match the Sea Turtle Marketplace shopping center.
4. Roof color material shall be reexamined and a revised material finish or color shall be resubmitted for review and approval by Staff and one DRB member.
5. The brick is approved as submitted.
6. The rooftop equipment shall be concealed by the parapet wall.
7. All conditions shall be reviewed and approved by Staff and one DRB member.

Ms. Remke seconded. By way of roll call, the motion passed with a vote of 5-0-0.

c. Alteration / Addition

i. Smokehouse, DRB 001533-2020

Mr. Darnell presented the application as described in the Board’s agenda package. Staff recommends denial as submitted.

Chairman Gentemann asked if the applicant would like to add to Staff’s narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application with the applicant. Following the discussion, Chairman Gentemann asked for a motion.

Ms. Lippert made a motion approve DRB-001533-2020 with the following conditions:

1. The exterior stairway enclosure shall match the vertical siding and color of the entry element and have a trellis in the bronze color that extends only to the top of the handrail with the jasmine planting.
2. The jasmine planting shall be a minimum size of 3-gallon and minimum quantity of 4 plants.
3. All conditions shall be reviewed and approved by Staff and one DRB member.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0-0.

d. Sign

i. Purplecow, DRB 001597-2020

Ms. Farrar presented the application as described in the Board's agenda package. Staff recommends approval with the following conditions:

1. The background color of the sign be SW 6198 Sensible Hue or SW 6199 Rare Gray.
2. Column caps and bases are painted to match the background color.
3. The color of the copy for the business name be SW 9565 Forged Steel.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board. The Board discussed the application with the applicant. Following the discussion, Chairman Gentemann asked for a motion.

Chairman Gentemann made a motion approve DRB-001597-2020 with the following conditions:

1. The background color of the sign be SW 6198 Sensible Hue or SW 6199 Rare Gray.
2. Column caps and bases are painted to match the background color.
3. The color of the copy for the business name "The Purple Cow" and the logo cow character body and apron may remain in SW 6982 African Violet.

Mr. McAllister seconded. By way of roll call, the motion passed with a vote of 6-0-0.

9. Adjournment

The meeting was adjourned at 12:22 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 6/19/2020
 Accepted by: Nicole J. Christ
 DRB #: 1283-2020
 Meeting Date: _____

Applicant/Agent Name: Schooner Court 30 Company: GW SERVICES
 Mailing Address: PO Box 6476 City: Hilton Head State: SC Zip: 29938
 Telephone: 843-686-4082 Fax: 843-686-4055 E-mail: Greg@gwservicesllc.com
 Project Name: Schooner Court 30 Project Address: 150 LIGHTHOUSE ROAD 29928
 Parcel Number [PIN]: R 550 017 000 0670 0000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5/29/2020

DATE



Eddie Mayers <eddie@gwserviceshhi.com>

Schooner Painting

Eddie Mayers <eddie@gwserviceshhi.com>

Tue, Jun 2, 2020 at 9:12 AM

To: Greg Wynn <greg@gwserviceshhi.com>

BUILDING 1

701 SW DCL030 WEATHERED MIST
702 SW DCR002 AIKE IVORY
703 SW DCR084 ACANTHUS
704 SW 6687 LANTERN LIGHT
705 SW DCL030 WEATHERED MIST
706 SW DCR002 AIKE IVORY
707 SW DCR084 ACANTHUS
708 SW 6687 LANTERN LIGHT

BUILDING 2

709 SW DCL030 WEATHERED MIST
710 SW DCR002 AIKE IVORY
711 SW DCR084 ACANTHUS
712 SW 6687 LANTERN LIGHT
713 SW DCL030 WEATHERED MIST

BUILDING 3

714 SW DCL030 WEATHERED MIST
715 SW DCR002 AIKE IVORY
716 SW DCR084 ACANTHUS
717 SW 6687 LANTERN LIGHT
718 SW DCL030 WEATHERED MIST
719 SW DCR002 AIKE IVORY
720 SW DCR084 ACANTHUS
721 SW 6687 LANTERN LIGHT

Eddie Mayers
Maintenance Director
GW Services, Inc.
O) 843.686.4052
F) 843.686.4055

SHUTTERS - SW 6510 LOYAL BLUE

This email and any attachments are confidential. They may contain privileged information and are intended for the named addressee(s) only. They must not be distributed without our consent. If you are not the intended recipient, please notify us immediately and do not disclose, distribute, or retain this email or any part of it.

DRB 1243-2020

Date: June 3, 2020
Legal Address: SCHOONER COURT
Owner: SCHOONER COURT HOA

**Greg Wynn
GW Services, Inc.
10 Office Way
Hilton Head Island, SC 29928**

The Sea Pines Architectural Review Board has approved the colors for the painting of the above captioned address.

UNITS # 704,708,712,717, & 721

SIDING COLOR	-	N/A
TRIM	-	N/A
STUCCO	-	S/W "LANTERN LIGHT" # 6687
DOORS	-	N/A
FRONT DOOR	-	S/W "LOYAL BLUE # 6510
SHUTTERS	-	S/W "LOYAL BLUE

Please pick up and post the painting permit before you begin painting. Thank you for your cooperation

Sincerely,



**Suzanne Sherman
Assistant Administrator**

Date: June 3, 2020
Legal Address: SCHOONER COURT
Owner: SCHOONER COURT HOA

**Greg Wynn
GW Services, Inc.
10 Office Way
Hilton Head Island, SC 29928**

The Sea Pines Architectural Review Board has approved the colors for the painting of the above captioned address.

UNITS # 703,707,711,716, & 720

SIDING COLOR	-	N/A
TRIM	-	N/A
STUCCO	-	S/W "ACANTHUS" # DCR084
DOORS	-	N/A
FRONT DOOR	-	S/W "LOYAL BLUE # 6510
SHUTTERS	-	S/W "LOYAL BLUE

Please pick up and post the painting permit before you begin painting. Thank you for your cooperation

Sincerely,



**Suzanne Sherman
Assistant Administrator**

Date: June 3, 2020
Legal Address: SCHOONER COURT
Owner: SCHOONER COURT HOA

**Greg Wynn
GW Services, Inc.
10 Office Way
Hilton Head Island, SC 29928**

The Sea Pines Architectural Review Board has approved the colors for the painting of the above captioned address.

UNITS # 702,706,710, 715, & 719

SIDING COLOR	-	N/A
TRIM	-	N/A
STUCCO	-	S/W "AIKE IVORY" # DCR002
DOORS	-	N/A
FRONT DOOR	-	S/W "LOYAL BLUE # 6510
SHUTTERS	-	S/W "LOYAL BLUE

Please pick up and post the painting permit before you begin painting. Thank you for your cooperation

Sincerely,



**Suzanne Sherman
Assistant Administrator**

Date: June 3, 2020
Legal Address: SCHOONER COURT
Owner: SCHOONER COURT HOA

**Greg Wynn
GW Services, Inc.
10 Office Way
Hilton Head Island, SC 29928**

The Sea Pines Architectural Review Board has approved the colors for the painting of the above captioned address.

UNITS # 701,705,709,713,714, & 718

SIDING COLOR	-	N/A
TRIM	-	N/A
STUCCO	-	S/W "WEATHERED MIST" #DCI030
DOORS	-	N/A
FRONT DOOR	-	S/W "LOYAL BLUE # 6510
SHUTTERS	-	S/W "LOYAL BLUE

Please pick up and post the painting permit before you begin painting. Thank you for your cooperation

Sincerely,



**Suzanne Sherman
Assistant Administrator**

TOWN OF HILTON HEAD ISLAND

One Town Center Court, Hilton Head Island, S.C. 29928

(843) 341-4600 Fax (843) 842-7728

www.hiltonheadislandsc.gov

John J. McCann
Mayor

William D. Harkins
Mayor ProTem

Council Members

David Ames
Tamara Becker
Marc A. Grant
Thomas W. Lennox
Glenn Stanford

Stephen G. Riley
Town Manager

Aug. 7, 2020

Greg Wynn
GW Services
PO Box 6476
Hilton Head Island, SC 29938

Re: DRB 001283-2020 Schooner Court

Mr. Wynn,

During the July 24, 2020 Design Review Board (DRB) meeting, the DRB reviewed the information submitted for DRB 001283-2020 with the consensus among the board members that the application was consistent with the Design Guide and the unique aesthetic of Harbour Town. The DRB voted to table the issue with agreement from Jim Cantalupo, representing the application for the owners, in order that additional information be provided for their review.

The DRB requested the following:

1. The shutter color be reconsidered. The DRB suggested the shutter be a darker shade of the building color to reduce contrast.
2. Propose a solution to the different asphalt shingle roof colors that currently exist.
3. Include proposed color or colors for the service yard fences. This may be accompanied by a schedule to complete this part of the work.
4. Provide colors for the trim, soffit, fascia and balcony railings.
5. Provide colors for the gutters and down spouts.
6. Provide colors for the metal flashing and roofing over the doors.
7. Provide directions to the wall painted with the proposed building colors so the DRB can review the colors on site.

If you have any questions do not hesitate to contact me.

Sincerely,



Hilton Head Island Urban Designer
Chris Darnell, RLA



August 28, 2020

Town of Hilton Head Island Design Review Board
Attn: Mr. Chris Darnell
One Town Center Court
Hilton Head Island, SC 29928
(843) 341-4600

Bluffton Studio
32 Bruin Road
Bluffton
SC 29910

Re: Narrative Response to comments from July 24, 2020 Design Review Board Meeting DRB 001283-2020 Schooner Court

Savannah Studio
2408 De Soto Ave
Savannah
GA 31401

Mr. Darnell,

Please see responses to DRB comments / requests:

1. The shutter color be reconsidered. The DRB suggested the shutter be a darker shade of the building color to reduce contrast.
 - a. **Response:** The shutter color by unit is to be painted the trim color for that respective unit. The trim color for all the units is darker and provides a contrast to the body color.

2. Propose a solution to the different asphalt shingle roof colors that currently exist.
 - a. **Response:** The shingle roofs are to be painted to match the shingle that is shown in the attached photo so all the shingles will be the same color for all the buildings and units. Schooner Court has been corresponding with Sherwin Williams for this color match and painting of the roof shingles.

3. Include proposed color or colors for the service yard fences. This may be accompanied by a schedule to complete this part of the work.
 - a. **Response:** The service yard fences are to be painted the trim color of the respective unit. See 2D renderings and new service yard fence detail.

Interior Design
Studio
32 Bruin Road
Bluffton
SC 29910

P: (843) 815-2557

4. Provide colors for the trim, soffit, fascia, and balcony railings.
 - a. **Response:** The trim, soffit, fascia, and balcony railings are to be painted the trim color of the respective units. See 2D renderings and new balcony railing detail.

5. Provide colors for gutters and downspouts.
 - a. **Response:** The gutters and downspouts are to be painted the trim color of the respective units. See 2D renderings.

6. Provide colors for the metal flashing and roofing over the doors.
 - a. **Response:** The metal flashing shall be painted the adjacent body color of the respective units. The roofing over the doors will match the painting of the main roof shingles.

7. Provide directions to the wall painted with the proposed building colors so the DRB can review the colors on site.
 - a. **Response:** See 2D renderings and site plan for all building / unit colors. Painting mock-up can be viewed at 150 Light House Road parking lot wall adjacent to unit 709 Schooner Court. Call Jim Cantalupo 704-577-6699 for gate pass into Sea Pines.

Sincerely,

A handwritten signature in black ink, appearing to read 'JB' followed by a stylized surname.

Jason Broene
Commercial Studio Manager
Court Atkins Group

cc: File

color match this shingle color



SW 6220
Interesting Aqua

X
Weathered Mist
DCL030

SW 6142
Macadamia

Aiken Ivory
DCR002

SW 6430
Great Green

155-C3

X
Acanthus
DCR084

136

136-C1

SW 6687
Lantern Light

SW 6988
Solaria







SCHOONER COURT - ORIGINAL IMAGE



SCHOONER COURT - ORIGINAL IMAGE



SCHOONER COURT - ORIGINAL IMAGE

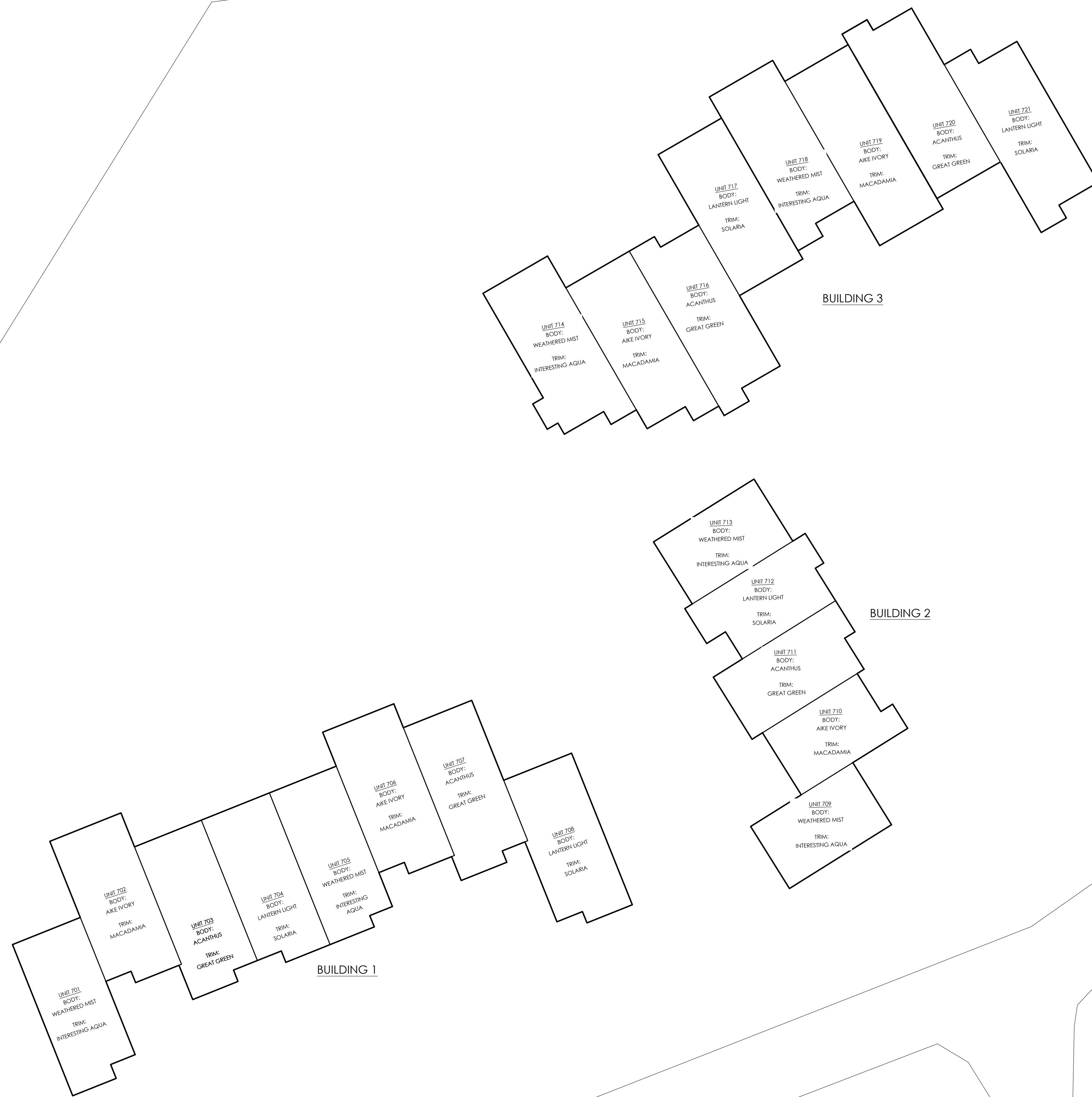


SCHOONER COURT - ORIGINAL IMAGE



SCHOONER COURT - ORIGINAL IMAGE

CALIBOGUE
SOUND



MARINERS WAY

LIGHTHOUSE ROAD

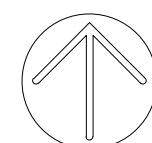
MARINERS WAY

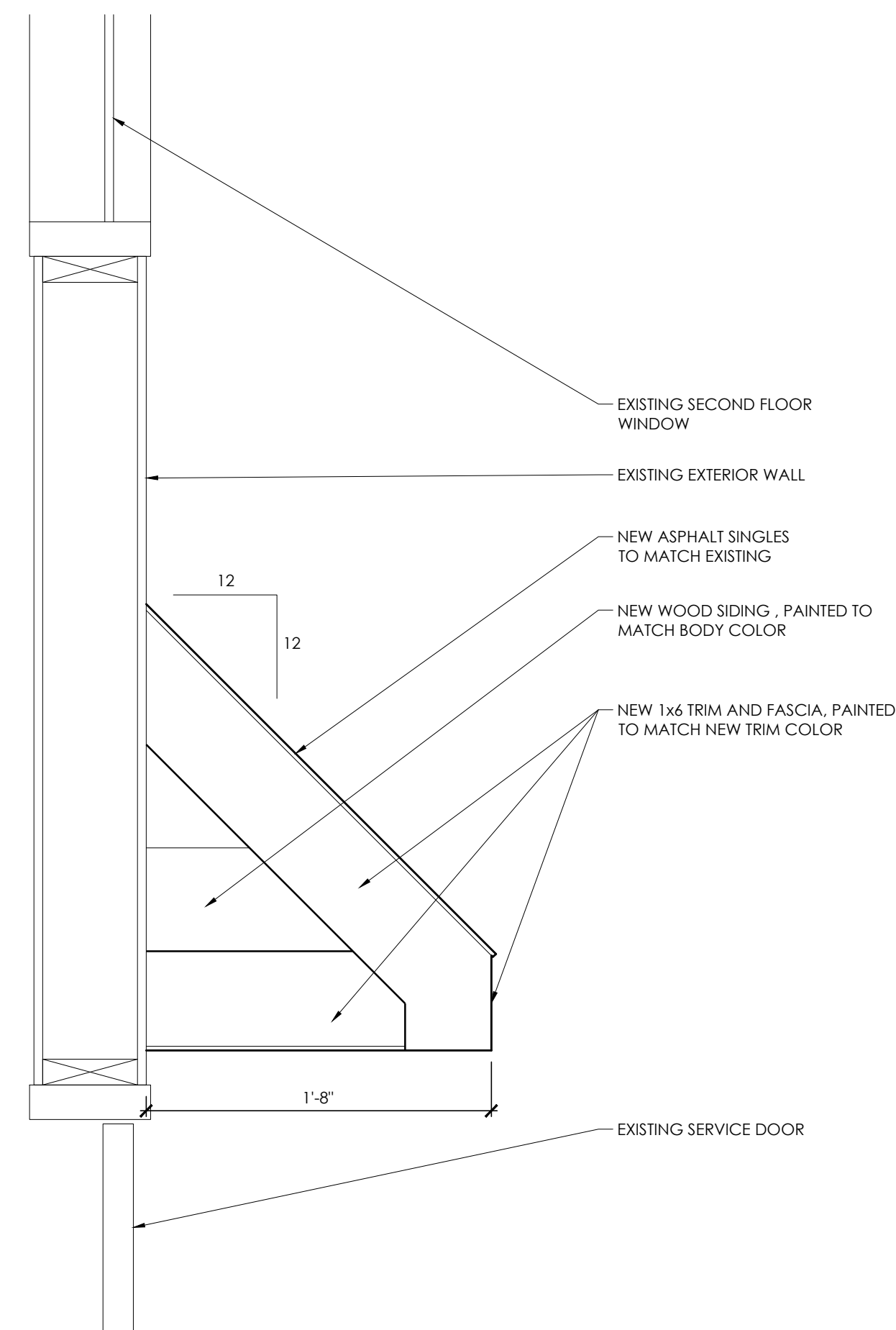
LIGHTHOUSE ROAD

SCHOONER COURT 30 DRB SITE LAYOUT

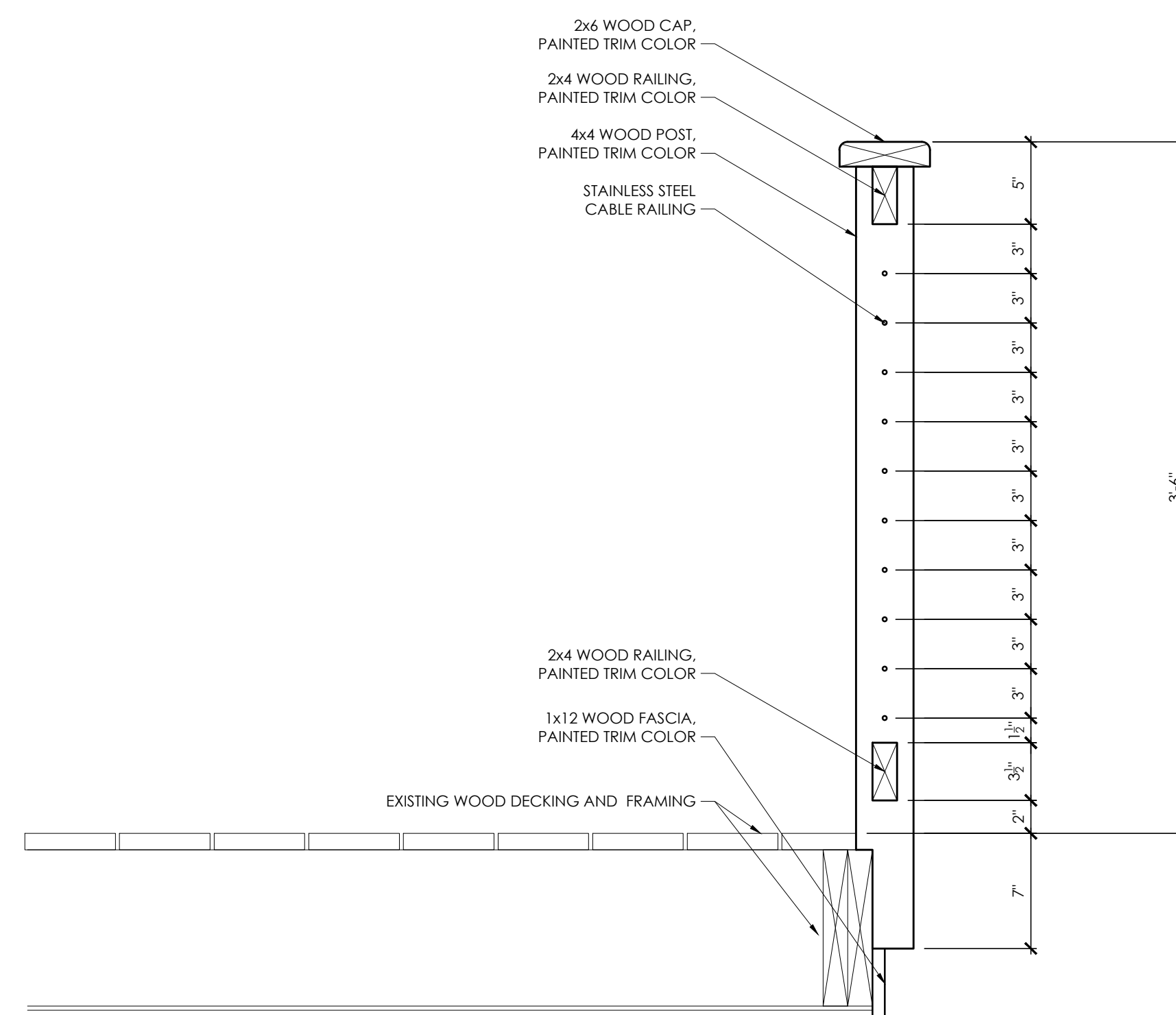
August 25, 2020

SCALE: 1/8" = 1'-0"

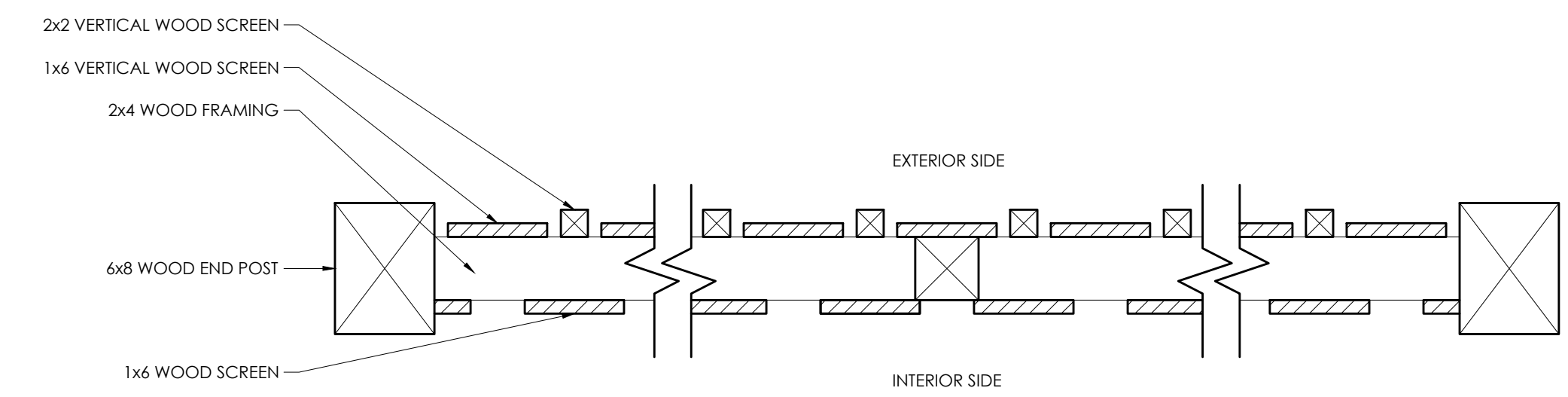




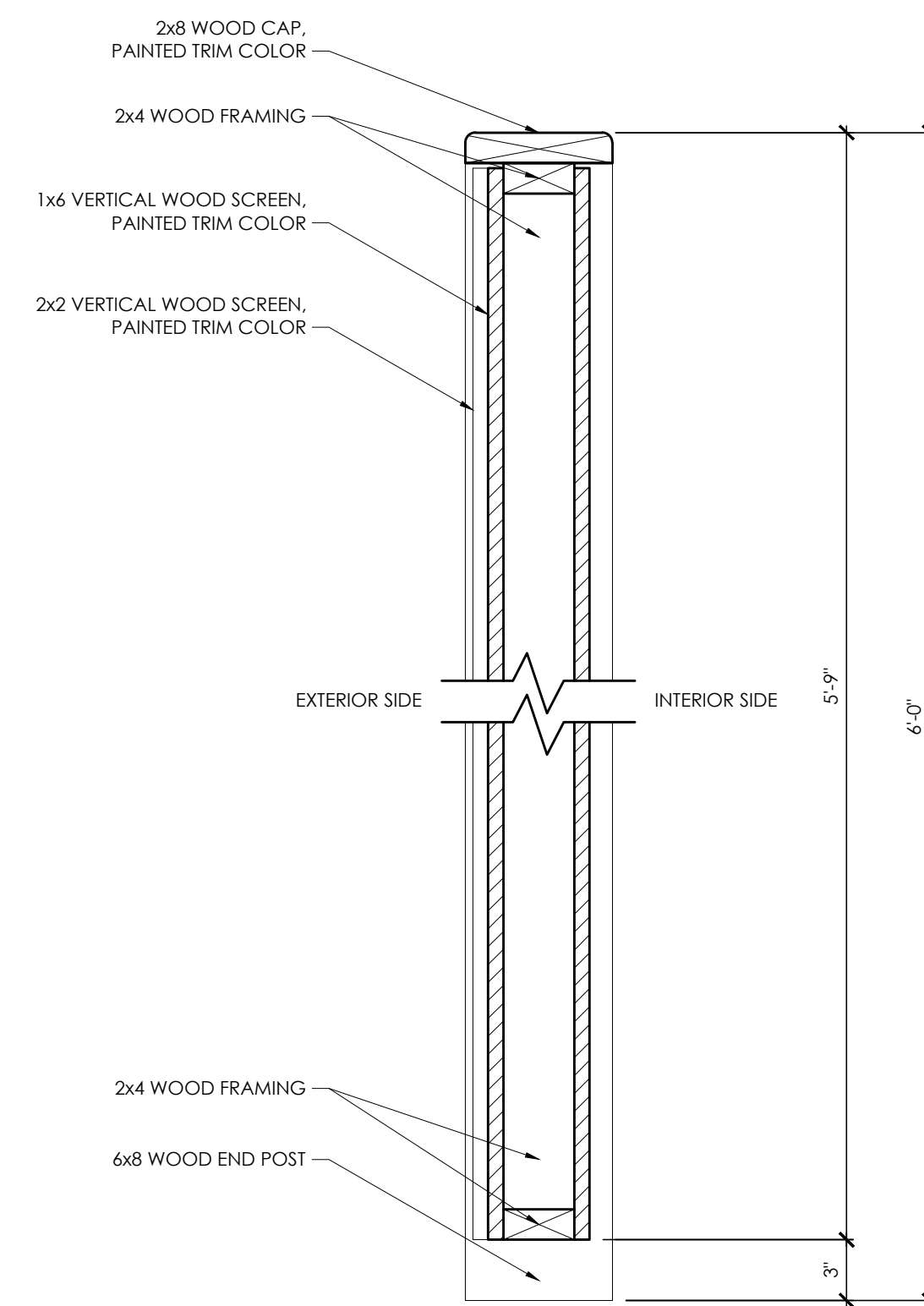
NEW ENTRY ROOF DETAIL AT SERVICE DOOR



NEW BALCONY CABLE RAILING DETAIL



NEW SERVICE YARD FENCE PLAN DETAIL



NEW SERVICE YARD FENCE SECTION DETAIL



SCHOONER COURT 30 DRB ELEVATIONS
August 25, 2020



SCHOONER COURT 30 DRB ELEVATIONS
August 25, 2020



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Schooner Court

DRB#: DRB-001283-2020

DATE: 07/09/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Change all service yard fence colors to SW 6142 Macadamia.
2. Satisfy the DRB's question regarding the different roof colors.

MISC COMMENTS/QUESTIONS

1. Staff is concerned that the translation of the different building colors into the service yard fences may come off as cartoonish. Because the wooden service yard fence is a different material from the stucco building it would suggest a different compatible color for the fence. With the proposed diversity of building colors, a single fence color compatible with all the building colors would serve to bring the development together, or in other words provide a harmonious setting for the buildings. An earthtone service yard fence would be a nod to the color scheme preferred in the Design Guide (page 16, "Color: Context") while still honoring the Portafino inspiration of Harbor Town, also noted in the Design Guide (page 14, "Context").
2. How has the different existing roof colors been addressed?
3. Directions to the wall painted with the proposed building colors will be provided via email to the DRB members.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: BRIAN WITMER Company: WITMER JONES KEEFER
 Mailing Address: 23 PROMENADE STREET City: BUFFYTON State: SC Zip: 29910
 Telephone: 843 290 9099 Fax: _____ E-mail: BRIAN@WJKLTD.COM
 Project Name: PALMETTO Bay LANCES Project Address: 7 TARSET ROAD
 Parcel Number [PIN]: R552015000 00150368
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input type="checkbox"/> Alteration/Addition
<input checked="" type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

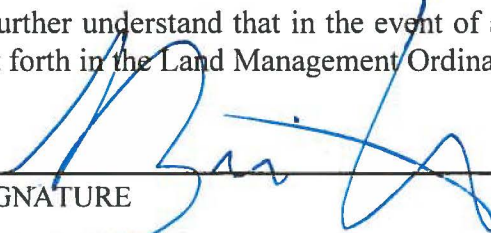
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

8/25/20

DATE



PROJECT NARRATIVE - PALMETTO BAY LODGES

The intent of this project is to provide workforce housing dwelling units. The site is comprised of three tracts of land (parcels C, F, and G on the survey) totaling 2.78 acres. The projects consist of a 16 dwelling unit 2 story multi-family building, a clubhouse building with grill area and activity lawn, associated parking, sidewalks and drives. The placement of the buildings and activity lawn are primary in the existing clearing to minimize trees removal. Placement also utilizes the same area for the entry drive as the existing asphalt entry. Building colors are nature blending and plantings selected are native and naturalized species. Please note the one large lawn area is for active use with the design concept being it's everyone's yard spilling out of the clubhouse / grill area.

This project was conceptually approved by the DRB with conditions. Per the conditions the plans have been adjusted changing shingle color, roof color, mortar color, gutter and downspout color per DRB recommendations. Pedestrian circulation has been refined and the bike rack location moved to a less predominate view area. The turnaround area was reviewed and is sufficient for passenger vans. Landscape has been added between the sidewalk and edge of pavement. Per the updated survey we do have one significant tree (30" Pine) we studied shifting the drive but there is not space. Per the tree mitigation plan we are showing it being removed and mitigated for.

Sincerely,

A handwritten signature in black ink that reads "Brian Witmer". The signature is fluid and cursive, written in a professional style.

Brian Witmer
Principal
Witmer Jones Keefer

**23 Promenade Street, Suite 201
Bluffton, SC 29910
Tel: 843.757.7411**



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD (DRB) – NOTICE OF ACTION**

PROJECT NAME: Palmetto Bay Lodges **PROJECT #:** DRB-001368-2020

PROJECT ADDRESS: 7 Target Road

CATEGORY: New Development – Conceptual

ACTION DATE: July 24, 2020 **NOTICE DATE:** July 28, 2020

APPLICANT/AGENT: Brian Witmer, Witmer Jones Keefer
23 Promenade Street Suite 201
Bluffton, SC 29910
Email: brian@wjk ltd.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
- APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**
- DENIED**
- WITHDRAWN AT THE APPLICANTS REQUEST**

1. The conditions described in the Design Team/DRB Comment Sheet attached as Exhibit “A” shall be addressed in the final application.
2. The shingle color is Weathered Wood.
3. The metal roof is Slate Gray.
4. The mortar color is gray.
5. Restudy the pedestrian circulation and how the path serves the lift at the clubhouse.
6. Reconsider the bike rack location.
7. The gutters and downspouts are to match the Slate Gray metal roof.
8. Restudy the width of brick piers.
9. Provide sufficient turn-around space for large passenger vans.
10. Include landscaping between the sidewalk and edge of pavement.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

EXHIBIT A

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Palmetto Bay Lodges

DRB#: DRB-001368-2020

DATE: 07/08/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Comment Sheet attached to Conceptual Notice of Action as Conditions of Approval.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> How is ADA access to the apartment building provided? This affects the site design. The right angle geometry of the sidewalk does not reflect a realistic pedestrian flow through the site reinforced by the fence and pedestrian gate location. It appears the sidewalk adjacent to the drive does not serve an anticipated need. Restudy the pedestrian circulation.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> Consider "Weathered Wood" shingle color. Consider "Slate Gray" or similar for the metal roof elements. The white mortar is unacceptable, specify an off-white or beige mortar.

				4. The color board should include all the site elements and conform to the size requirements in the application.
--	--	--	--	--

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. It appears there may be a “Significant” (as defined by the LMO) 28” pine that should be preserved. The drive may need to be shifted to assure its preservation. 2. A tree protection plan is required at final.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. The tree portion of the survey is out of date and must be updated. 2. Tree mitigation calculations must be run to prepare the planting plan for Final.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Updated survey is required prior to final review.

MISC COMMENTS/QUESTIONS

1. The applicant should be aware of the 3’ limit (per the LMO) on fill and the 15’ FFE (per Building Code) requirements.
2. A lighting plan is required at final.

THE SEA PINES RESORT
PALMETTO BAY - HILTON HEAD ISLAND, SC
MATERIALS BOARD

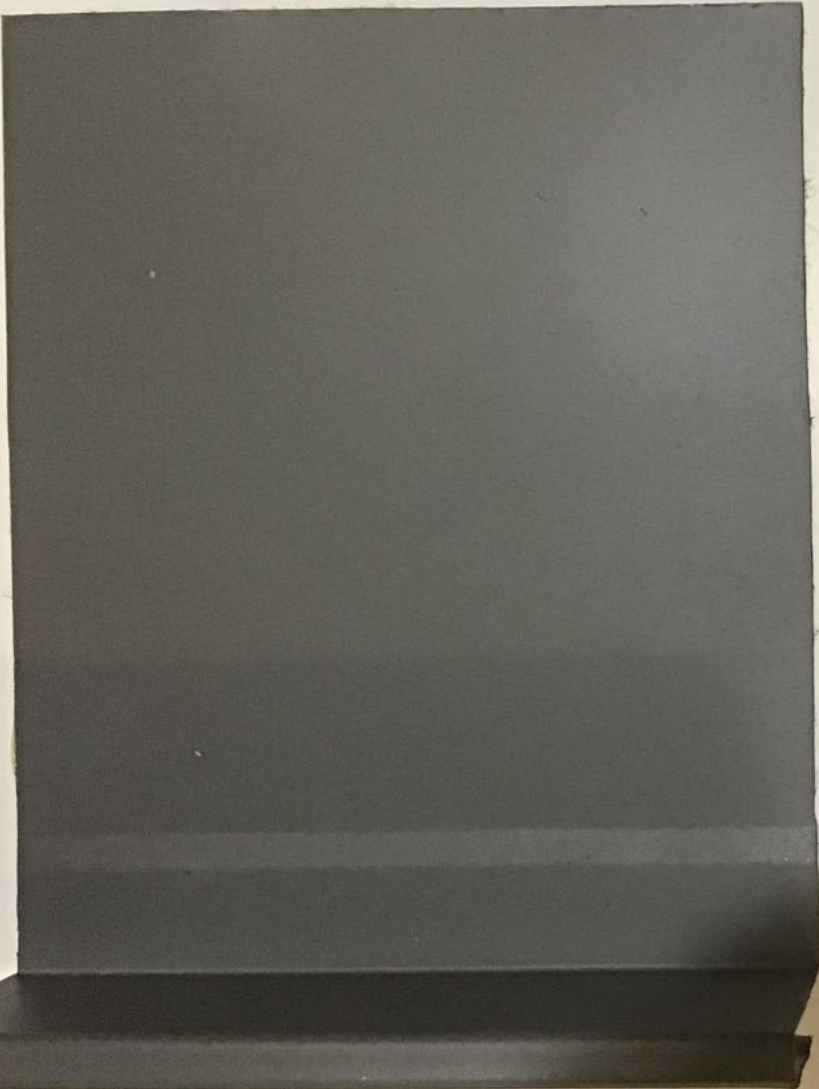


ARCHITECTURE: ISI HOUSING STUDIO
DESIGN: ISI HOUSING STUDIO
CONSTRUCTION: ISI HOUSING STUDIO
PHOTOGRAPHY: ISI HOUSING STUDIO



ARCHITECTURE: ISI HOUSING STUDIO
DESIGN: ISI HOUSING STUDIO
CONSTRUCTION: ISI HOUSING STUDIO
PHOTOGRAPHY: ISI HOUSING STUDIO

METAL ROOF, GUTTERS AND
DOWNSPOUT
SLATE GRAY





THE SEA PINES RESORT
PALMETTO BAY - HILTON HEAD ISLAND, SC
MATERIALS BOARD



FIBER CEMENT BOARD AND
BATTEN, PANEL, LAP SIDING
3/8"X5/8" - ANCOB



THE SEA PINES RESORT
PALMETTO BAY - HILTON HEAD ISLAND, SC
MATERIALS BOARD



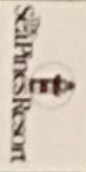
ARCHITECTURE: HILTING STUDIO
DATE: 12/2010
SCALE: 1/8" = 1'-0"
PROJECT: PALMETTO BAY
HILTING STUDIO
1000 W. PALMETTO AVE.
HILTING STUDIO
HILTING STUDIO



ARCHITECTURE: HILTING STUDIO
DATE: 12/2010
SCALE: 1/8" = 1'-0"
PROJECT: PALMETTO BAY
HILTING STUDIO
HILTING STUDIO
HILTING STUDIO

FIBER CEMENT AT BALCONY
AND TRIM
SW7008 - ALABASTER





THE SEA PAVES RESORT
PALMETTO BAY - HILTON HEAD ISLAND, SC
 MATERIALS BOARD



CONCRETE FINISHES FOR THE PALMETTO BAY
 RESORT. SEE THE FINISHES FOR THE
 OTHER BUILDINGS IN THE RESORT.
 SEE THE FINISHES FOR THE
 OTHER BUILDINGS IN THE RESORT.
 SEE THE FINISHES FOR THE
 OTHER BUILDINGS IN THE RESORT.
 SEE THE FINISHES FOR THE
 OTHER BUILDINGS IN THE RESORT.

POLAR GRAY BRICK BY
 TAYLOR CLAY





ARCHITECTURAL RENDERING
OF THE PALMETTO BAY
RESORT BUILDING
DESIGNED BY
HILTON HEAD ISLAND
RESORT ARCHITECTS
AND INTERIORS
PHOTOGRAPHY BY
JAMES HARRIS



ARCHITECTURAL RENDERING
OF THE PALMETTO BAY
RESORT BUILDING
DESIGNED BY
HILTON HEAD ISLAND
RESORT ARCHITECTS
AND INTERIORS
PHOTOGRAPHY BY
JAMES HARRIS

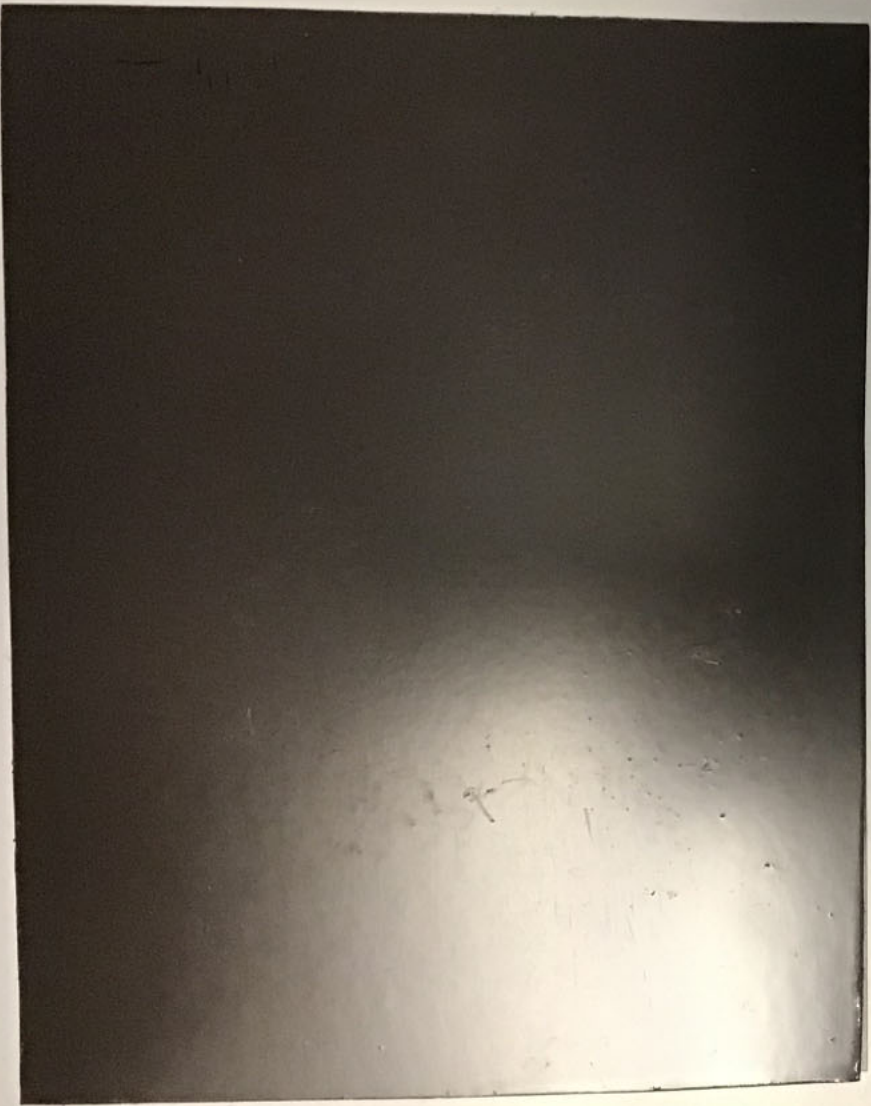
ARCHITECTURAL SHINGLES
WEATHERED WOOD



THE SEA PINES RESORT
PALMETTO BAY - HILTON HEAD ISLAND, SC
MATERIALS BOARD



WINDOWS AND PATIO DOORS
TAN - ACTUAL COLOR PER
MANUFACTURER





© 2020 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS,
 LOGOS, SPECIFICATIONS, DETAILS,
 WRITTEN MATERIAL SHALL NOT BE USED
 OR REPRODUCED IN WHOLE OR IN PART
 IN ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
PALMETTO BAY LODGES
 LANDSCAPE PLAN
 HILTON HEAD ISLAND, SOUTH CAROLINA

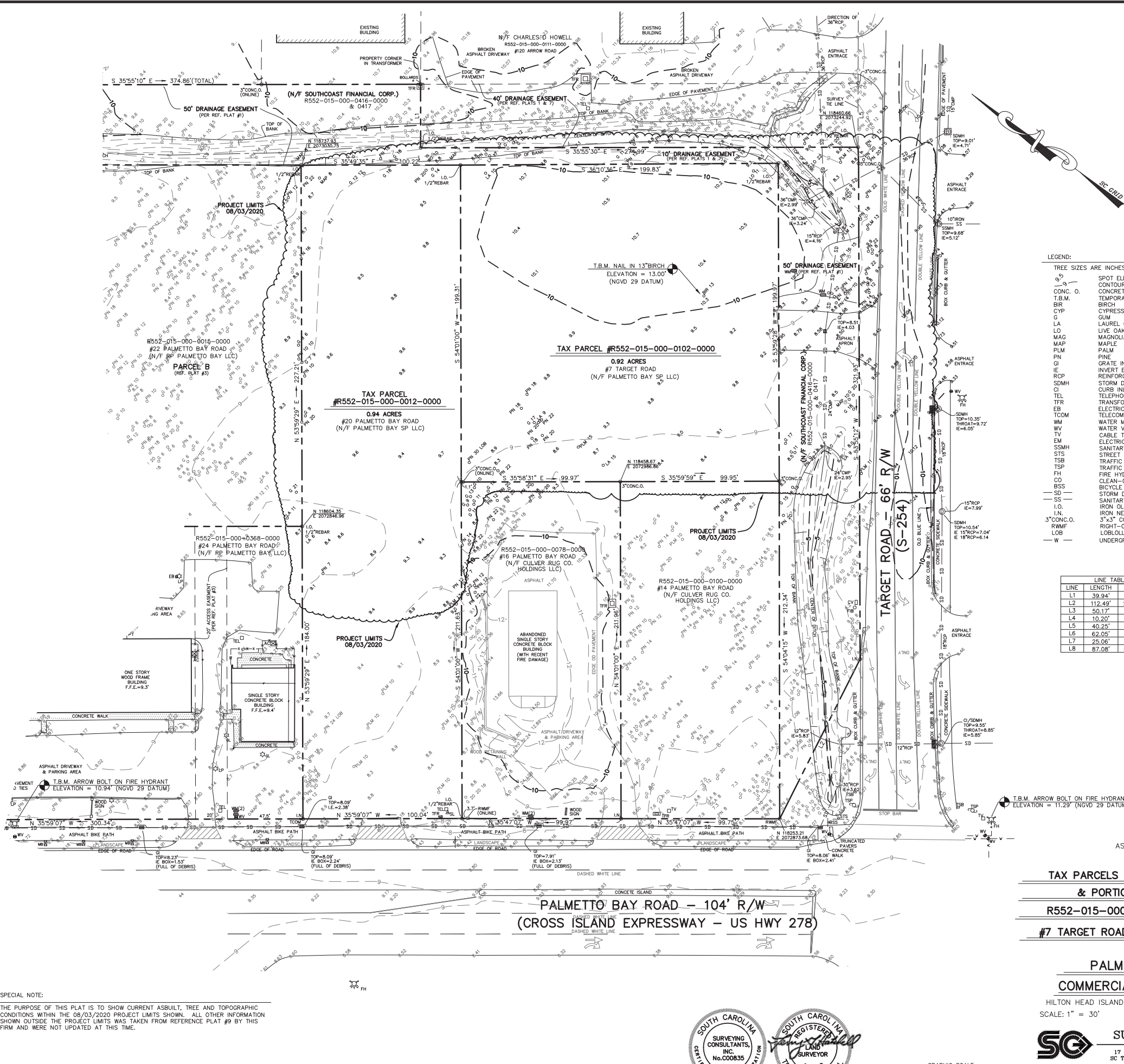
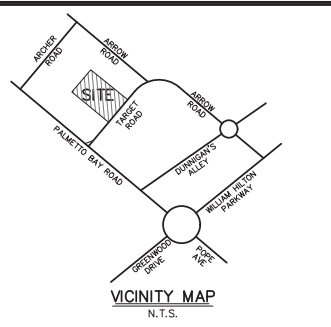
DATE: AUG 25, 2020
 PROJECT NO.: 20044.01
 DRAWN BY: CK
 CHECKED BY: BW

**PRELIMINARY
 SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
SITE PHOTOS

DRAWING NUMBER
L11



LEGEND:

TREE SIZES ARE INCHES IN DIAMETER

- SPOT ELEVATION
- CONC. O. CONCRETE MONUMENT, OLD (FOUND)
- T.B.M. TEMPORARY BENCH MARK
- BIR BIRCH
- CYP CYPRRESS
- G GUM
- LA LAUREL OAK
- LO LIVE OAK
- MAG MAGNOLIA
- MAP MAPLE
- PLM PALM
- PN PINE
- GI GRATE INLET
- IE INVERT ELEVATION
- ROP REINFORCED CONCRETE PIPE
- SDMH STORM DRAIN MANHOLE
- CI CURB INLET
- TEL TELEPHONE BOX
- TFR TRANSFORMER
- EB ELECTRIC BOX
- TCOM TELECOMMUNICATIONS BOX
- WM WATER METER
- WV WATER VALVE
- TV CABLE TV BOX
- EM ELECTRIC METER
- SSMH SANITARY SEWER MANHOLE
- STS STREET SIGN
- TSB TRAFFIC SIGNAL BOX
- TSP TRAFFIC SIGNAL POLE
- FH FIRE HYDRANT
- CO CLEAN-OUT
- BSS BICYCLE STOP SIGN
- SD STORM DRAIN LINE
- SS SANITARY SEWER LINE
- LO IRON OLD, FOUND
- LN IRON NEW, 1/2" REBAR WITH CAP SET
- 3" CONC. O. 3" CONCRETE MONUMENT FOUND
- RWMF RIGHT-OF-WAY MONUMENT FOUND
- LOB LOBBLOLLY
- W — UNDERGROUND WATERLINE APPROXIMATE

LINE TABLE

LINE	LENGTH	BEARING
L1	39.94'	N 54°05'40" E
L2	112.49'	S 80°52'07" W
L3	50.17'	N 54°14'19" E
L4	10.20'	N 52°10'53" E
L5	40.25'	N 54°10'47" E
L6	62.05'	S 36°11'14" E
L7	25.06'	S 35°28'01" E
L8	87.08'	N 35°45'12" W

- REFERENCE PLATS:
- PALMETTO BAY ROAD COMMERCIAL SUBDIVISION COMPOSITE, SEA PINES PLANTATION DATED: 04/29/74; LATEST REVISION: 5/21/86, BY: JERRY L. RICHARDSON, S.C.R.L.S. No. 4784 RECORDED: P.B. 33, PG. 227; 6/2/86,
 - PLAT OF PALMETTO BAY ROAD COMMERCIAL SUBDIVISION No. 1 SEA PINES PLANTATION DATED: 01/26/72; LATEST REVISION: 01/31/72 BY: JOSEPH J. HUTTON, S.C.R.L.S. No. 1650 RECORDED: P.B. 19, PG. 140; 02/10/72
 - PROPOSED SUBDIVISION PLAT OF PARCELS A & B PALMETTO BAY ROAD, FORMERLY LOTS C2, C3, C4 A SECTION OF PALMETTO BAY ROAD COMMERCIAL SUBDIVISION DATED: 8/1/96, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, RECORDED: P.B. 58, PG. 91, 11/18/96,
 - CROSS ISLAND PARKWAY, PART 1, FILE #7.558, SC DOT CONSTRUCTION DRAWINGS, PROJECT NO SHP 2589, DATED: 3/16/90, SHEET NOS 17 & 33.
 - BOUNDARY SURVEY OF 0.91 ACRE PORTION OF 50' DRAINAGE EASEMENT, TARGET ROAD, PALMETTO BAY ROAD, PALMETTO BAY ROAD COMMERCIAL SUBDIVISION NO. 1, DATED: 2/13/08, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059,
 - BOUNDARY SURVEY OF LOT 3 & LOT C5, TARGET ROAD AND PALMETTO BAY ROAD, PALMETTO BAY ROAD COMMERCIAL SUBDIVISION, DATED: 6/28/06, REVISED: 9/06/07, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059,
 - BOUNDARY RECONFIGURATION SURVEY OF: LOT 12, ARROW ROAD, PALMETTO BAY ROAD COMMERCIAL SUBDIVISION, DATED: 5/15/07, BY: MARK R. RENEW, S.C.R.L.S. No. 25437, RECORDED: P.B. 120, PG. 92
 - A AS-BUILT SURVEY OF PARCEL A, PARCEL B, & PARCEL C-1, A PORTION OF PALMETTO BAY ROAD COMMERCIAL SUBDIVISION, DATED: 09/08/04, BY: MACK A THOMAS, S.C.R.L.S. No. 14531,
 - ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF TAX PARCELS #s R552-015-000-0015, 0368, 0012, 0078, 0100, 0102, 0416, 0417, 0051 & 051A-0000 TARGET ROAD, PALMETTO BAY ROAD, PALMETTO BAY ROAD COMMERCIAL SUBDIVISION NO. 1, DATED: 8/28/2014, LATEST REVISION: 03/23/2020, BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059, SURVEYING CONSULTANTS.

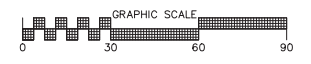
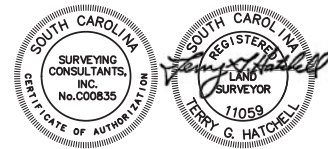
- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING SETBACKS WHICH EXIST FOR THESE LOTS, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN AND ARE APPROXIMATE. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
 - NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
 - PARCEL ADDRESSES SHOWN PER BEAUFORT COUNTY GIS AND TOWN OF HILTON HEAD ISLAND 911 ADDRESSING (843-341-4741).
 - BEARINGS AND SOUTH CAROLINA STATE PLANE COORDINATES SHOWN WERE ESTABLISHED FROM GPS OPUS OBSERVATION. SEE REFERENCE PLATS FOR RECORD BEARING AND DISTANCES.

SPECIAL NOTE:
 THE PURPOSE OF THIS PLAT IS TO SHOW CURRENT ASBUILT, TREE AND TOPOGRAPHIC CONDITIONS WITHIN THE 08/03/2020 PROJECT LIMITS. ALL OTHER INFORMATION SHOWN OUTSIDE THE PROJECT LIMITS WAS TAKEN FROM REFERENCE PLAT #9 BY THIS FIRM AND WERE NOT UPDATED AT THIS TIME.

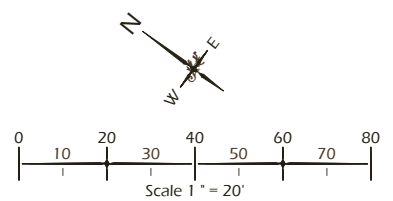
PREPARED FOR: PALMETTO BAY SP LLC

PALMETTO BAY ROAD - 104' R/W
 (CROSS ISLAND EXPRESSWAY - US HWY 278)

ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF
TAX PARCELS #R552-015-000-0102-0000
 & PORTIONS OF TAX PARCEL #s
R552-015-000-0012, 0146 & 0147-0000
#7 TARGET ROAD & #20 PALMETTO BAY ROAD
 A SECTION OF
PALMETTO BAY ROAD
COMMERCIAL SUBDIVISION NO. 1
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 30' DATE: 08/03/2020 JOB NO: SC95133F.2



SG SURVEYING CONSULTANTS
 17 Sherrington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3300
 GA Telephone: (912) 826-2775
 www.SurveyingConsultants.com
 Email: SC@SurveyingConsultants.com
 Copyright © by Surveying Consultants



© 2020 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS,
 LOGOS, SPECIFICATIONS, DETAILS,
 WRITTEN MATERIAL SHALL NOT BE USED
 OR REPRODUCED IN WHOLE OR IN PART
 IN ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
PALMETTO BAY LODGES
 LANDSCAPE PLAN
 HILTON HEAD ISLAND, SOUTH CAROLINA

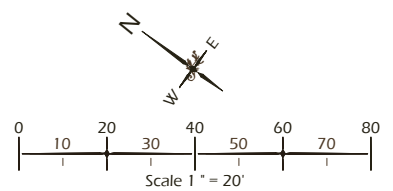
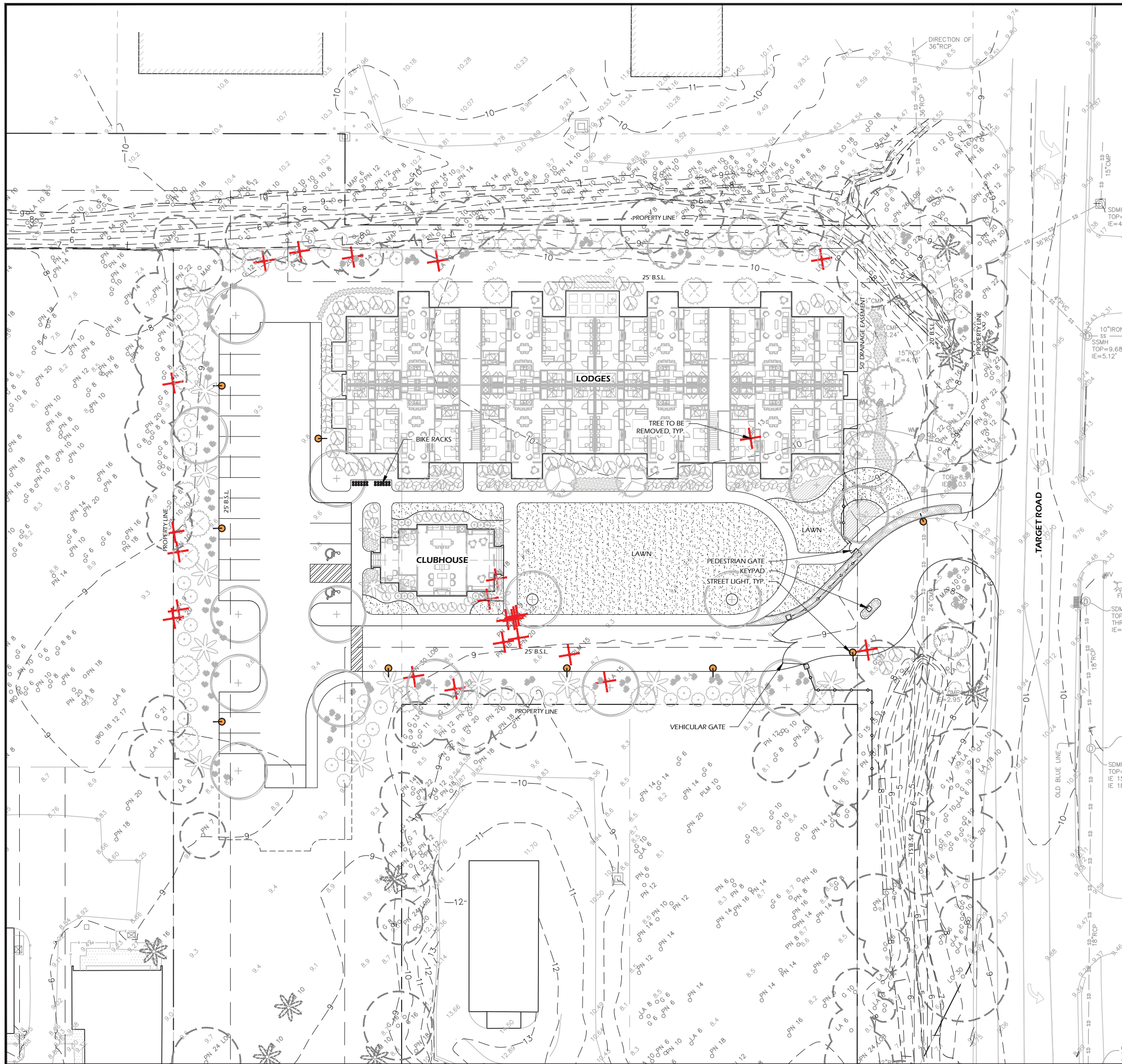
DATE: AUG 25, 2020
 PROJECT NO.: 20044.01
 DRAWN BY: CK
 CHECKED BY: BW

**PRELIMINARY
 SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
SITE ANALYSIS

DRAWING NUMBER
L10



© 2020 WJK LTD.
 DESIGN CONCEPTS, DRAWING SHEETS,
 LOGOS, SPECIFICATIONS, DETAILS,
 WRITTEN MATERIAL SHALL NOT BE USED
 OR REPRODUCED IN WHOLE OR IN PART
 IN ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
PALMETTO BAY LODGES
 LANDSCAPE PLAN
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2020
 PROJECT NO.: 20044.01
 DRAWN BY: CK
 CHECKED BY: BW

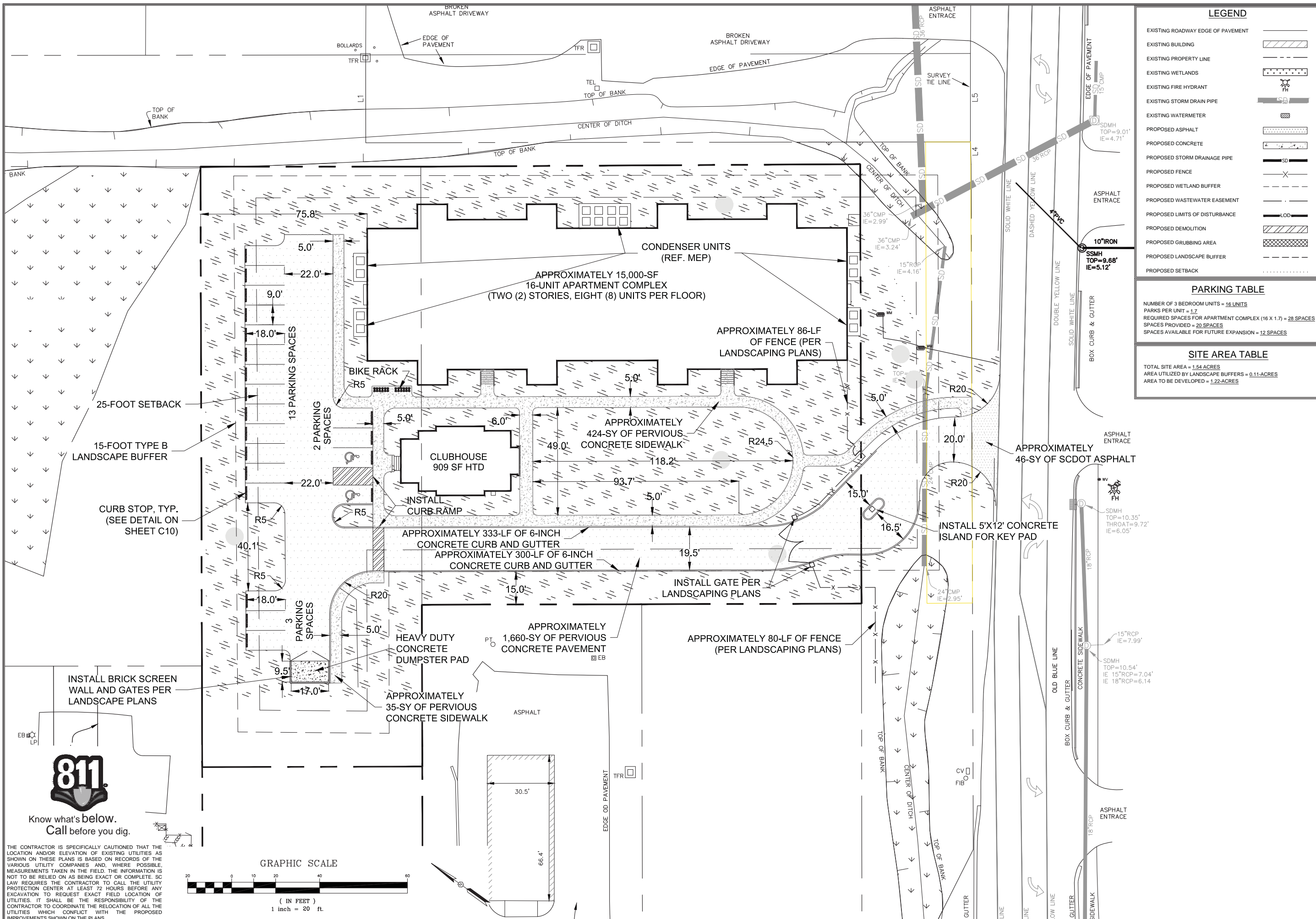
**PRELIMINARY
 SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
LAYOUT PLAN

DRAWING NUMBER
L100

August 26, 2020 - 4:56:51 PM S:\Projects\20124-0007_Design & Permit\Drawings\16 Unit Apt Complex\Town of Hilton Head Island\Bldg\20124-0007 Construction Plans (A)(V).dwg
 THIS DOCUMENT IS THE SOLE PROPERTY OF ALLIANCE CONSULTING ENGINEERS, INC. IF IT IS TO BE REPRODUCED, COPIED OR OTHERWISE EDITED WITHOUT THE AUTHORIZATION OF ALLIANCE CONSULTING ENGINEERS, INC. THE DRAWING IS INTENDED SPECIFICALLY FOR THE PROJECT REFERENCED HEREIN AND IS NOT TRANSMITTABLE TO ANOTHER PROJECT.



LEGEND

- EXISTING ROADWAY EDGE OF PAVEMENT
- EXISTING BUILDING
- EXISTING PROPERTY LINE
- EXISTING WETLANDS
- EXISTING FIRE HYDRANT
- EXISTING STORM DRAIN PIPE
- EXISTING WATERMETER
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED FENCE
- PROPOSED WETLAND BUFFER
- PROPOSED WASTEWATER EASEMENT
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED DEMOLITION
- PROPOSED GRUBBING AREA
- PROPOSED LANDSCAPE BUFFER
- PROPOSED SETBACK

PARKING TABLE

NUMBER OF 3 BEDROOM UNITS = 16 UNITS
 PARKS PER UNIT = 1.7
 REQUIRED SPACES FOR APARTMENT COMPLEX (16 X 1.7) = 28 SPACES
 SPACES PROVIDED = 20 SPACES
 SPACES AVAILABLE FOR FUTURE EXPANSION = 12 SPACES

SITE AREA TABLE

TOTAL SITE AREA = 1.54 ACRES
 AREA UTILIZED BY LANDSCAPE BUFFERS = 0.11 ACRES
 AREA TO BE DEVELOPED = 1.22 ACRES

REVISION DATE

APPROVALS

ENGINEER	W/C	DISIGNER	PM	TECHNICIAN	PM	CHECKED BY	APPROVED

PRELIMINARY

ALLIANCE CONSULTING ENGINEERS, INC.
 Alliance Consulting Engineers, Inc.
 115 Central Island Street, One Central Island Plaza, Suite 150
 Charleston, South Carolina 29402-7319
 Phone (843) 203-1600 • Fax (843) 203-1601

SITE LAYOUT

DATE: MARCH 2020

SCALE: 1" = 20'

PROJECT: CONSTRUCTION PLANS FOR A 16 UNIT APARTMENT COMPLEX ON THE 46.54-ACRES LOCATED ON THE INTERSECTION OF PALMETTO BAY ROAD (US HIGHWAY 78) AND TARGET ROAD IN THE TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

WILLIAMSBURG COUNTY SOUTH CAROLINA

FILE NAME: 20124 BASE.DWG
 REFERENCE FILE: 20124 BASE.DWG
 PROJECT NO.: 20124-0007

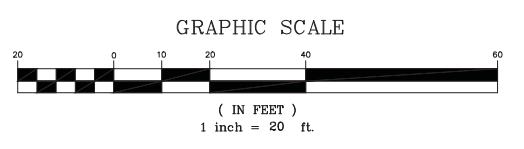
SHEET C3 OF 12

DWG NO. 01.1413-D24

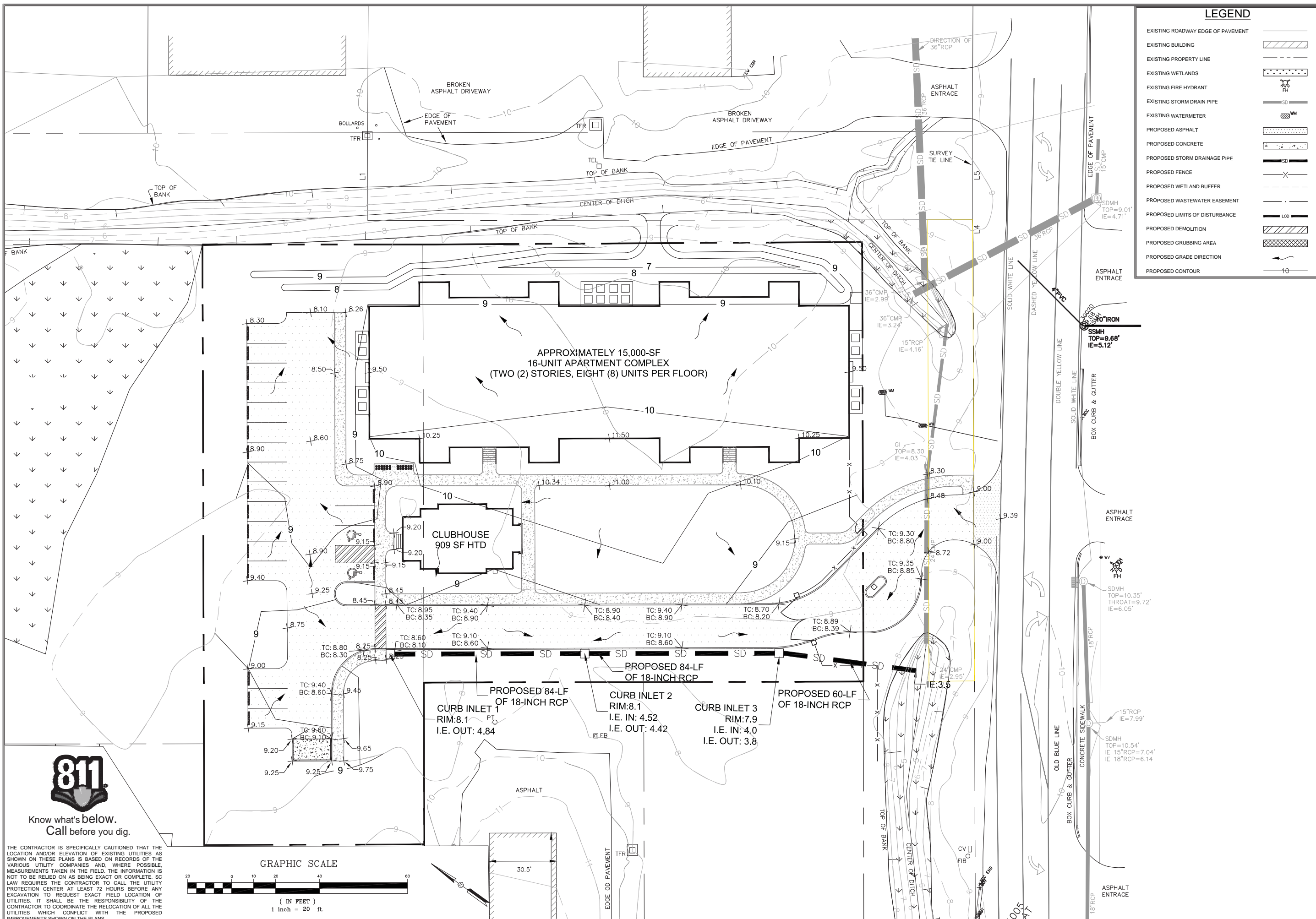
811

Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. SC LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



August 24, 2020 - 4:50:38 PM S:\Projects\03124-0007\Design & Permit\Drawings\16 Unit Apt Complex\16 Unit Apt Complex Construction Plans (AVV).dwg
 THIS DOCUMENT IS THE SOLE PROPERTY OF ALLIANCE CONSULTING ENGINEERS, INC. IT IS NOT TO BE REPRODUCED, COPIED OR OTHERWISE EDITED WITHOUT THE AUTHORIZATION OF ALLIANCE CONSULTING ENGINEERS, INC. THE DRAWING IS INTENDED SPECIFICALLY FOR THE PROJECT REFERENCED HEREIN AND IS NOT TRANSFERABLE TO ANOTHER PROJECT.



LEGEND

EXISTING ROADWAY EDGE OF PAVEMENT	
EXISTING BUILDING	
EXISTING PROPERTY LINE	
EXISTING WETLANDS	
EXISTING FIRE HYDRANT	
EXISTING STORM DRAIN PIPE	
EXISTING WATERMETER	
PROPOSED ASPHALT	
PROPOSED CONCRETE	
PROPOSED STORM DRAINAGE PIPE	
PROPOSED FENCE	
PROPOSED WETLAND BUFFER	
PROPOSED WASTEWATER EASEMENT	
PROPOSED LIMITS OF DISTURBANCE	
PROPOSED DEMOLITION	
PROPOSED GRUBBING AREA	
PROPOSED GRADE DIRECTION	
PROPOSED CONTOUR	

APPROVALS:	REVISION DATE:
ENGINEER	
WBC	
DESIGNER	
PM	
TECHNICAL	
CHECKED BY	
AVC	
APPROVED	
WBC	

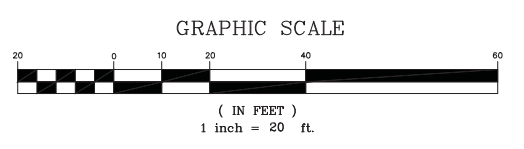
PRELIMINARY
 DATE: _____
 SIGNATURE: _____

ALLIANCE
 CONSULTING ENGINEERS
 Alliance Consulting Engineers, Inc.
 115 Central Island Street, One Central Island Plaza, Suite 150
 Charleston, South Carolina 29402-7319
 Phone (843) 203-1600 • Fax (843) 203-1601

PROJECT: CONSTRUCTION PLANS FOR A 16 UNIT APARTMENT COMPLEX ON THE 46.54-ACRES LOCATED ON THE INTERSECTION OF PALMETTO BAY ROAD (US HIGHWAY 78) AND TARGET ROAD IN THE TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SHEET: GRADING AND STORM DRAINAGE PLAN
 DATE: MARCH 2020
 SCALE: 1" = 20'
 SOUTH CAROLINA
 WILLIAMSBURG COUNTY



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. SC LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



FILE NAME:	20124 BASE.DWG	SHEET	C4
REFERENCE FILE:	20124 BASE.DWG	OF	12
PROJECT NO.:	20124-0007	DWG NO.:	01.1413-D24

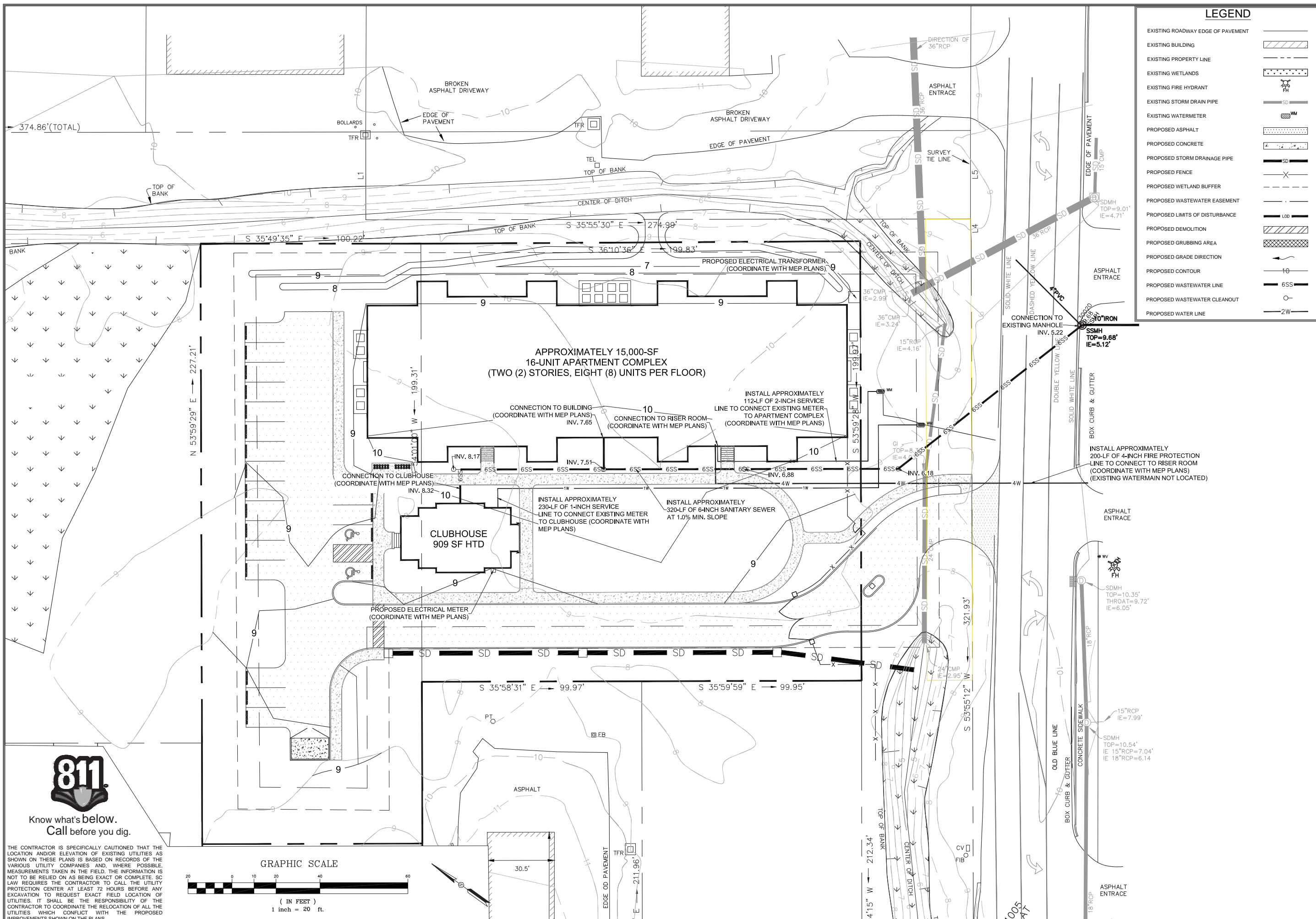
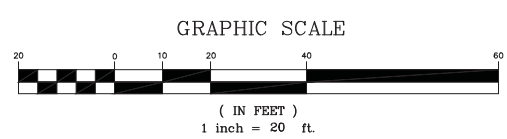
THIS DOCUMENT IS THE SOLE PROPERTY OF ALLIANCE CONSULTING ENGINEERS, INC. IT IS NOT TO BE REPRODUCED, COPIED OR OTHERWISE USED WITHOUT THE AUTHORIZATION OF ALLIANCE CONSULTING ENGINEERS, INC. THIS DOCUMENT IS INTENDED SPECIFICALLY FOR THE PROJECT REFERENCED HEREIN AND NOT TRANSFERABLE TO ANY OTHER PROJECT.

August 24, 2020 - 5:01:44 PM S:\Projects\19124-0007\Design & Permit\Sves 16 Unit Apt Complex Town of Hilton Head Island\Bldg\20124-0007 Construction Plans (AVK).dwg



Know what's below.
Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. SC LAW REQUIRES THE CONTRACTOR TO CALL THE UTILITY PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE RELOCATION OF ALL THE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



LEGEND

EXISTING ROADWAY EDGE OF PAVEMENT	---
EXISTING BUILDING	▨
EXISTING PROPERTY LINE	- - -
EXISTING WETLANDS	⋯
EXISTING FIRE HYDRANT	⊕
EXISTING STORM DRAIN PIPE	SD
EXISTING WATERMETER	⊗
PROPOSED ASPHALT	▨
PROPOSED CONCRETE	▨
PROPOSED STORM DRAINAGE PIPE	SD
PROPOSED FENCE	X
PROPOSED WETLAND BUFFER	- - -
PROPOSED WASTEWATER EASEMENT	- - -
PROPOSED LIMITS OF DISTURBANCE	---
PROPOSED DEMOLITION	▨
PROPOSED GRUBBING AREA	▨
PROPOSED GRADE DIRECTION	→
PROPOSED CONTOUR	10
PROPOSED WASTEWATER LINE	6SS
PROPOSED WASTEWATER CLEANOUT	2W
PROPOSED WATER LINE	2W

APPROVALS	REVISION	DATE
ENGINEER		
WBC		
DESIGNER		
PM		
TECHNICIAN		
PM		
CHECKED BY		
AVK		
APPROVED		
WBC		

DATE: _____
SIGNATURE: _____

PRELIMINARY

ALLIANCE CONSULTING ENGINEERS

Alliance Consulting Engineers, Inc.
115 Central Island Court, One Central Island Plaza, Suite 150
Charleston, South Carolina 29402-7319
Phone (843) 203-1600 • Fax (843) 203-1601

UTILITY LAYOUT PLAN

SHEET

SCALE: 1" = 20'

DATE: MARCH 2020

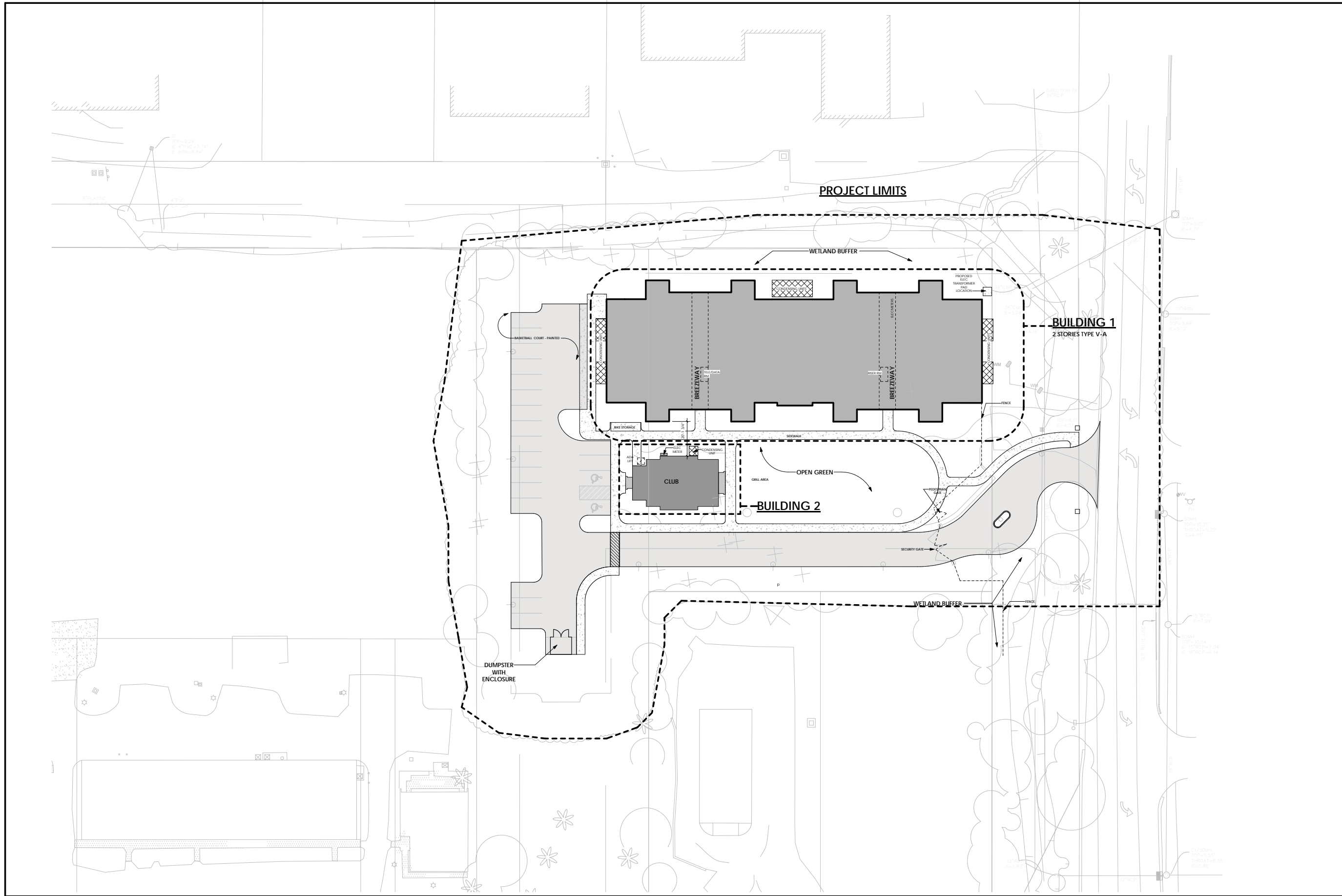
PROJECT: CONSTRUCTION PLANS FOR A 16 UNIT APARTMENT COMPLEX ON ±6.54-ACRES LOCATED ON THE INTERSECTION OF PALMETTO BAY ROAD (US HIGHWAY 78) AND TARGET ROAD IN THE TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

PROJECT: WILLIAMSBURG COUNTY SOUTH CAROLINA

FILE NAME: 20124.BASE.DWG
REFERENCE FILE: 20124.BASE.DWG
PROJECT NO.: 20124-0007

SHEET **7** OF 12

DWG NO. 01.1413-D24



**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

**HOUSING
STUDIO**

333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

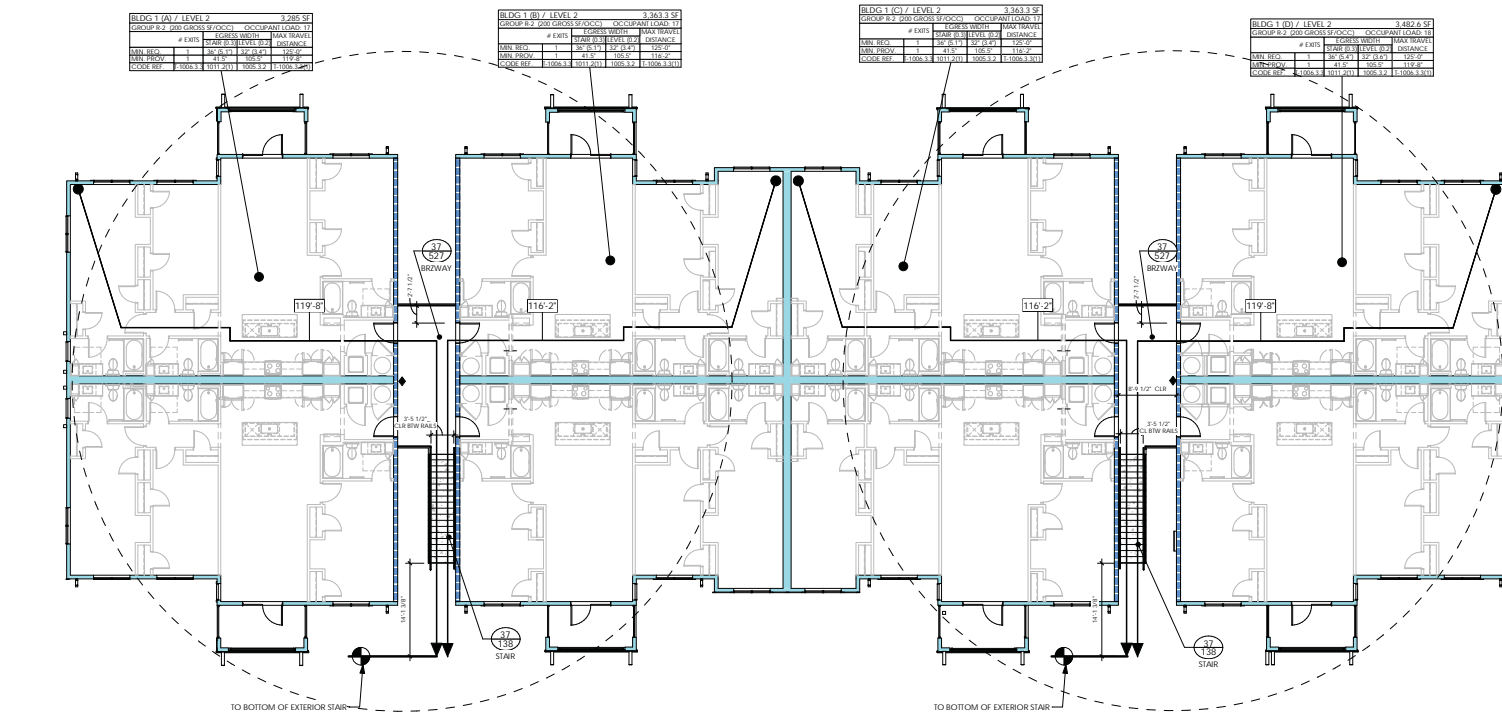
PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



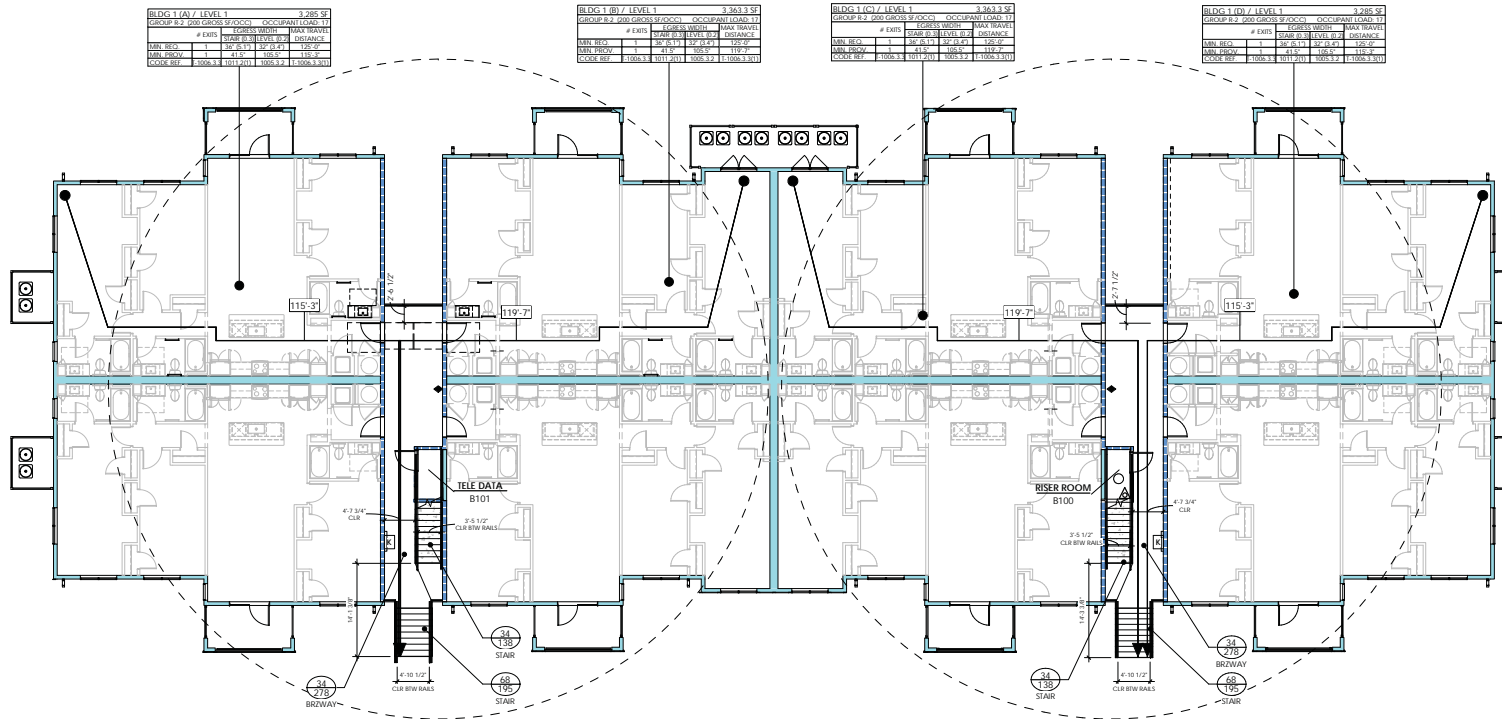
ARCHITECTURAL SITE
PLAN



A0.01



4 BUILDING 1 LIFE SAFETY PLAN - LEVEL 2
3/32" = 1'-0"



3 BUILDING 1 LIFE SAFETY PLAN - LEVEL 1
3/32" = 1'-0"

ADDITIONAL NOTES:

- ELEVATOR NOT REQUIRED AS ACCESSIBLE MEANS OF EGRESS PER 1009.2.1
- NO AREA OF REFUGE REQUIRED IN BUILDING 1 PER 1009.3.3 (5)
- EXTERIOR AREA OF ASSISTED RESCUE PROVIDED AT BLDG 2 PER 1009.7
- ALLOWABLE EXIT ACCESS TRAVEL DISTANCES 1101.7.2
- OCCUPANCY - 250 WITH SPRINKLERS
- OCCUPANCY - 125 WITH SPRINKLERS
- COMMON PATH OF EGRESS TRAVEL 1006.2.1
- OCCUPANCY - 125 WITH SPRINKLERS
- ADJACENCY - 75 WITH SPRINKLERS
- CORRIDOR / BREAKWAY FIRE RESISTANCE RATING 0.5 HR PER T2010.1
- DEAD END CORRIDORS 20' PER 1004
- SPRINKLER SYSTEM IN BUILDING 1 - NFPA 13B
- CORRIDOR / BREAKWAY DOORS TO BE 0.5 HR FIRE RATED PER T116.1 (2)
- 1 EXIT ALLOWED IN BUILDING TYPE 1 PER T1006.3 (1)
- COMMON PATH OF EGRESS TRAVEL LESS THAN 125'
- EMERGENCY ESCAPE AND RESCUE OPENINGS ARE TO BE PROVIDED IN BUILDING 1 PER 1008.1
- TYPE 'A' RESIDENTIAL UNITS NOT REQUIRED PER 1107.6.2.2.1
- MIN. STAIRWAY WIDTH IN BUILDING 1 - 36" PER 1011.2 (1)
- 4" WINDOW LIMITERS PROVIDED AT 2ND FLOOR PER 1015.8
- ALL BALCONY RALES TO BE 42"

FIRE RATED WALL TYPE LEGEND

- BREAKWAY WALL 1HR. STRUCTURE (601)
- 30 MIN. FIRE PARTITION (708.1.3)
- 1HR. WOOD STUD BEARING WALL (601)

GENERAL NOTES - LIFE SAFETY PLANS LEGEND

EXIT LOAD CAPACITY
 (OCCUPANT LOAD PER LEVEL / # OF EXITS PER LEVEL)
 (EGRESS WIDTH/ MEANS OF EGRESS CAPACITY FACTOR)

REQUIRED EGRESS WIDTH
 IN / OCCUPANT PER TABLE 1004.1.2 (WITH SPRINKLER SYSTEM)
 STAIRWAYS - 3
 OTHER EGRESS COMPONENTS - 2

EGRESS PATH

FEK - SEMI-RECESSED FIRE EXTINGUISHER CABINET

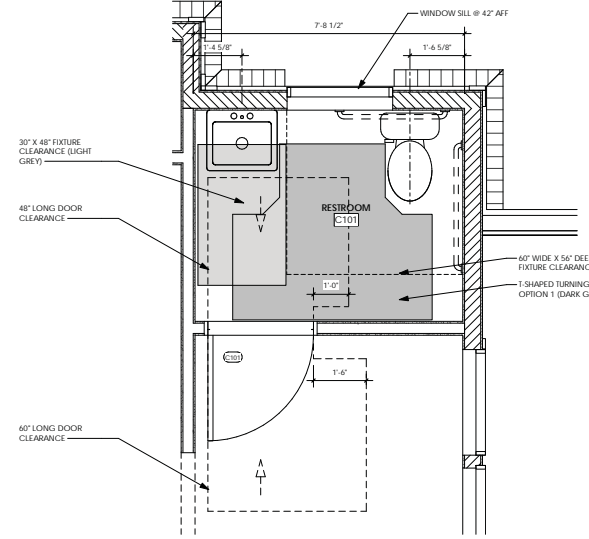
(S.F.) - STANDOFF

K - KNOX BOX

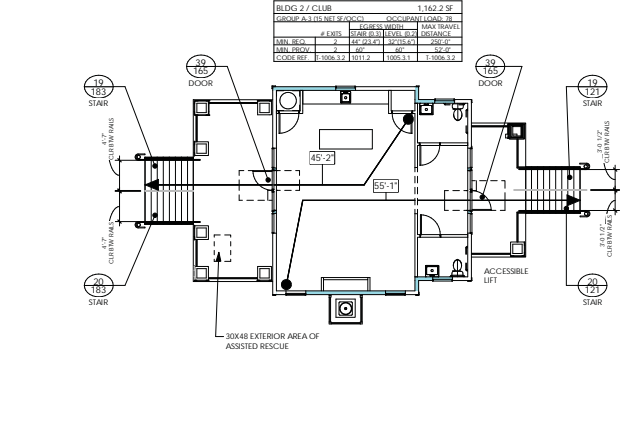
GENERAL NOTES

- PROVIDE KNOX BOX LOCATIONS PER FIRE MARSHAL. OBTAIN KNOX BOX ORDER FROM THE OFFICE OF THE FIRE MARSHAL.
- UNIT INTERIOR BEARING WALLS ARE NOT INDICATED ON THE OVERALL BUILDING LIFE SAFETY PLANS. SEE UNIT PLANS FOR BEARING WALL LOCATIONS.
- BUILDING SOFT SHOWN ON LIFE SAFETY PLANS DIFFERS FROM ALLOWABLE AREA SOFT AS IT REPRESENTS INTERIOR SOFT UNCEED FOR OCCUPANCY CALCULATION NOT OVERALL GROSS SOFT.
- REFER TO WALL TYPE SHEETS AND A4 SERIES FOR WALL TYPES AND RATINGS PER TABLE 601.
- ATRIC / ROOF ACCESS TO MAINTAIN REQUIRED FIRE RATINGS.
- PROVIDE FIRE EXTINGUISHERS IN EACH RESIDENTIAL UNIT PER UAL.
- PROVIDE SIGNAGE THAT DESIGNATES PERMANENT ROOMS OR SPACES AND GIVES DIRECTION, INFORMATION, FUNCTION AND PARKING FACILITIES CONCERNING TO THE REQUIREMENTS OF SECTION 4.30 ADJACENT TO IDENTIFICATION WITH THE INTERNATIONAL SYMBOLS OF ACCESSIBILITY. PROVIDE DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ELEMENT AT INACCESSIBLE BUILDING ENTRANCES.
- ALL VERTICAL FIRE RESISTANT RATED ASSEMBLIES SHALL BE IDENTIFIED BY SIGNAGE LOCATED ON THE ASSEMBLY ABOVE THE CEILING. SUCH SIGNAGE SHALL HAVE LETTERS NO SMALLER THAN 1" IN HEIGHT THAT STATES FIRE RATED ASSEMBLY AND GIVING THE HOURLY RATING OF THE ASSEMBLY. SIGNAGE SHALL BE PLACED AT HORIZONTAL INTERVALS OF 6' MAX.
- FLOOR IDENTIFICATION SIGNS SHALL BE PROVIDED AT EACH FLOOR LANDING DESIGNATING THE FLOOR LEVEL, TERMINUS OR THE EXIT ENCLOSURE AND THE IDENTIFICATION TO THE EXIT DISCHARGE AND AVAILABILITY OF ROOF ACCESS FROM THE ENCLOSURE.
- GENERAL CONTRACTOR TO PROVIDE SIGNAGE DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

OCCUPANCY NOTE:
 LIFE SAFETY PLANS ARE DESIGNED BASED ON A FLOOR BY FLOOR AND BUILDING BY BUILDING STRATEGY TO CORRESPOND WITH THE ANTICIPATED CERTIFICATE OF OCCUPANCY STRATEGY. BEFORE ANY LEVEL IS GRANTED A CERTIFICATE OF OCCUPANCY, FIRE ALARM AND SPRINKLER SYSTEMS MUST BE FULLY OPERATIONAL FOR THE ENTIRE BUILDING.



2 BLDG 2 - CLUB ENLARGED RESTROOM PLAN
1/2" = 1'-0"



1 BUILDING 2 LIFE SAFETY PLAN LEVEL 1
3/32" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC

HOUSING STUDIO
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



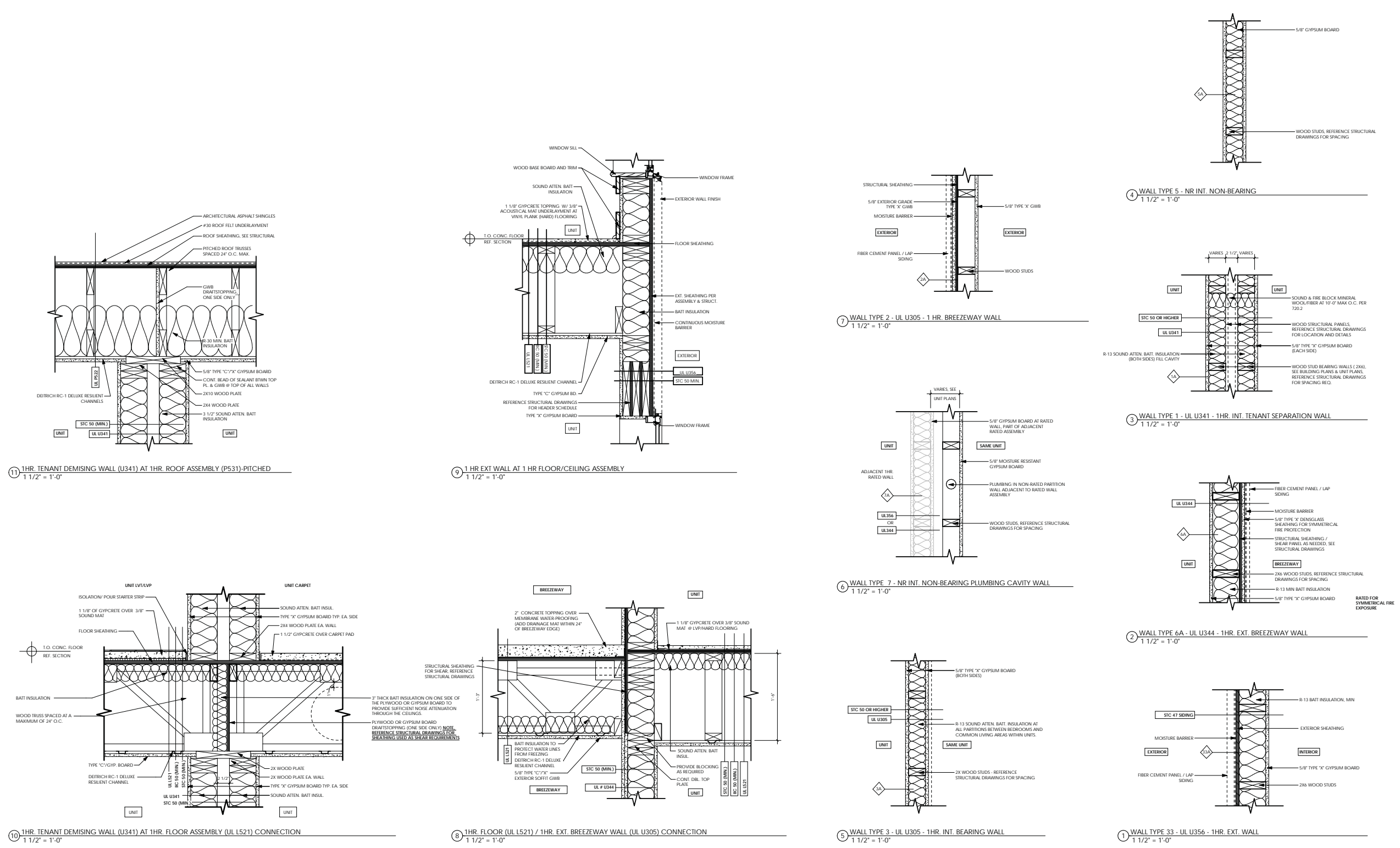
VOLUME 1: CIVIL - LANDSCAPE - ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



LIFE SAFETY PLANS

A0.04



**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

**HOUSING
STUDIO**
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP- STRUCTURAL**

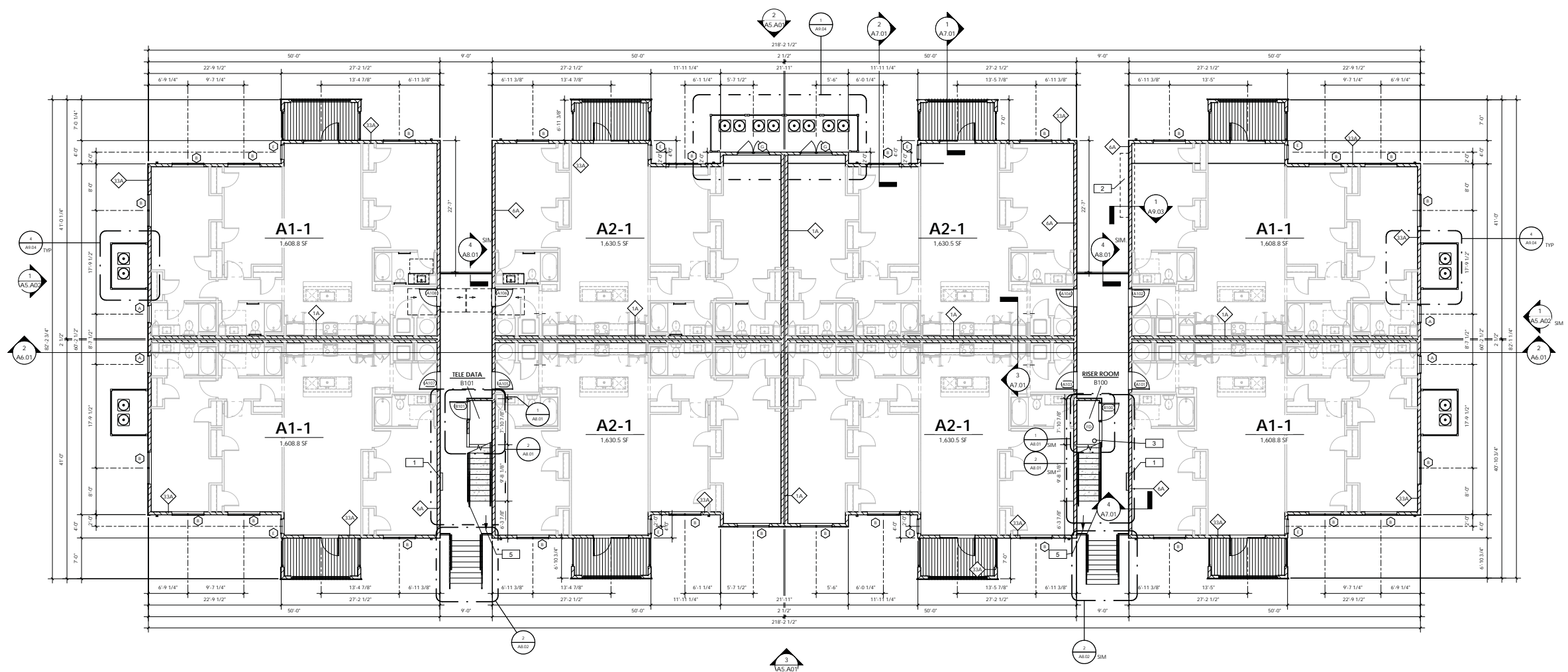
PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



**WALL, FLOOR, &
ROOF ASSEMBLY
DETAILS**

A0.05

FLOOR PLAN KEYNOTES	GENERAL NOTES - ENLARGED BUILDING PLANS
1 KNOX BOX	<ul style="list-style-type: none"> DIMENSIONS IN PLANS ARE STUD TO STUD, U.N.O. ALL EXTERIOR WALLS ON ALL FLOORS ARE 2X4 WOOD STUDS. MASONRY TO BE OFFSET 8" FROM FACE OF STUD, U.N.O. ALL CORRIDOR WALLS ARE 2X4 WOOD STUDS 16" O.C. WITH ONE LAYER OF 5/8" TYPE X GWB ON THE UNIT SIDE, AND TWO LAYERS OF 5/8" TYPE X GWB ON THE CORRIDOR SIDE, WALL TYPE 2. SEE STRUCTURAL DRAWINGS FOR LOAD BEARING WALL LOCATIONS, SHEARWALLS, STRAPS, BRACES, MISCELLANEOUS CONNECTION DETAILS & TIE DOWNS. ALL INTERIOR, SINGLE STUD BEARING WALLS ARE TO BE 1 HR. RATED (DL U205 / WALL TYPE 3), U.N.O. SEE UNIT PLANS AND STRUCTURAL DRAWINGS FOR LOCATIONS. WALLS BETWEEN UNITS & CORRIDORS OR OTHER ADJACENT SPACES ARE TO BE 30 MIN. RATED (DL U205 / WALL TYPE 3), U.N.O. TRANSIT SEPARATION WALLS BETWEEN INDIVIDUAL UNITS ARE TO BE 1 HR. RATED (DL U241 / WALL TYPE 1). WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS, DOOR TAGS, WINDOW TAGS, AND OTHER DETAIL INFORMATION IN THOSE AREAS. PROVIDE ACCESS PANELS FOR ALL MECHANICAL AND PLUMBING DEVICES CONCEALED IN WALLS OR CEILING. PANELS TO BE SIZED & RATED AS REQUIRED.
2 ELECTRICAL METERS / CABINET. PROVIDE ADDITIONAL WOOD STUD WALL	
3 SPRINKLER STANDPIPE	
4 ATTIC ACCESS HATCH, 20030 MIN	
5 SLOPE BREEZEWAY SLAB OUT 1/4" - 12" TO DRAIN	
(D) FLOOR DRAIN	



1 BLDG 1 - OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"

**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

**HOUSING
STUDIO**
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

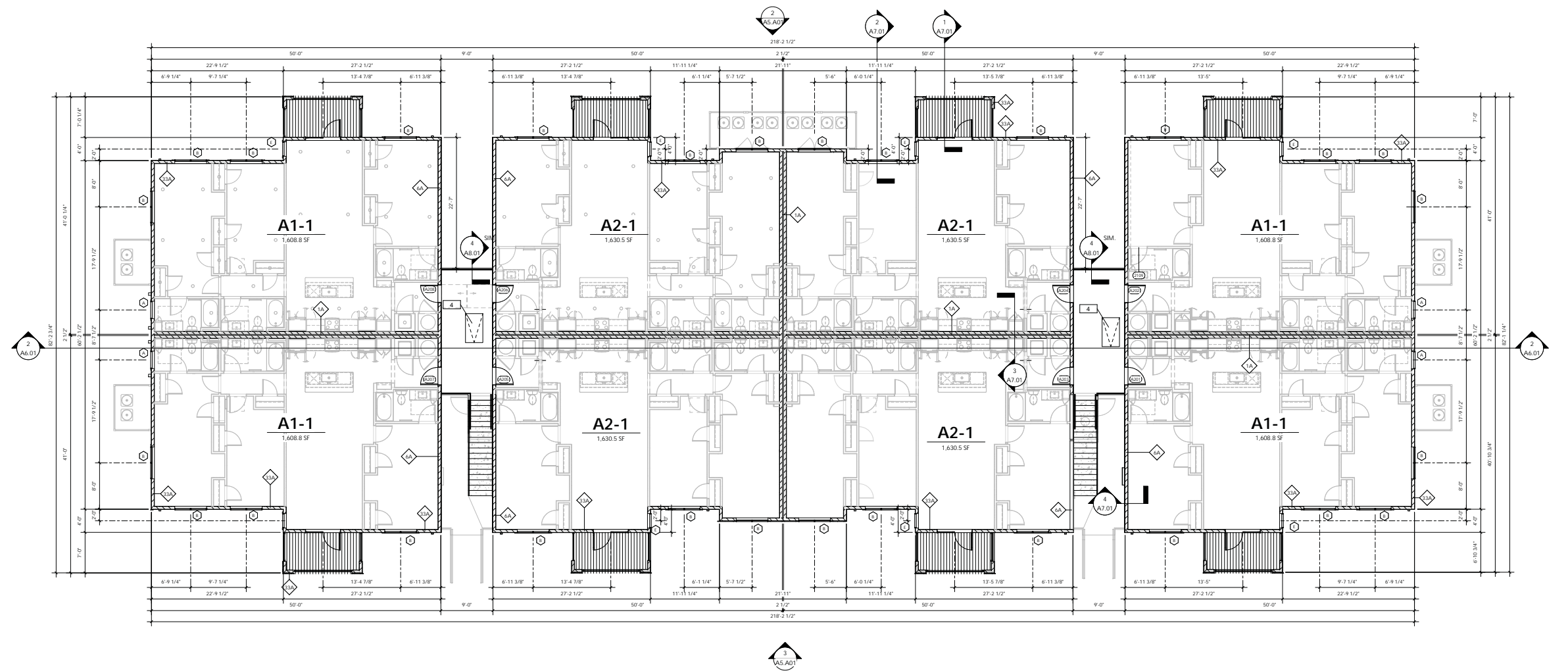


BLDG 1 - OVERALL 1ST
FLOOR PLAN



A3.A01

FLOOR PLAN KEYNOTES	GENERAL NOTES - ENLARGED BUILDING PLANS
1 KNOX BOX	DIMENSIONS IN PLANS ARE STUD TO STUD, U.N.O. ALL EXTERIOR WALLS ON ALL FLOORS ARE 2X4 WOOD STUDS. MASONRY TO BE OFFSET 8" FROM FACE OF STUD, U.N.O. ALL CORRIDOR WALLS ARE 2X4 WOOD STUDS 16" O.C. WITH ONE LAYER OF 5/8" TYPE X GWB ON THE UNIT SIDE, AND TWO LAYERS OF 5/8" TYPE X GWB ON THE CORRIDOR SIDE, WALL TYPE 2. SEE STRUCTURAL DRAWINGS FOR LOAD BEARING WALL LOCATIONS. SHEARWALLS, STRAPS, BRACES, MISCELLANEOUS CONNECTION DETAILS & RE-DOWNS. ALL INTERIOR, SINGLE STUD BEARING WALLS ARE TO BE 1 HR. RATED (UL U305 / WALL TYPE 3), U.N.O. SEE UNIT PLANS AND STRUCTURAL DRAWINGS FOR LOCATIONS. WALLS BETWEEN UNITS & CORRIDORS OR OTHER ADJACENT SPACES ARE TO BE 30 MIN. RATED (UL U305 / WALL TYPE 3), U.N.O. ISLAND SEPARATION WALLS BETWEEN INDIVIDUAL UNITS ARE TO BE 1 HR. RATED (UL U304 / WALL TYPE 1). WHERE ENLARGED PLANS ARE INDICATED, SEE ENLARGED PLAN SHEETS FOR WALL TYPES, DIMENSIONS, DOOR TAGS, WINDOW TAGS, AND OTHER DETAIL INFORMATION IN THOSE AREAS. PROVIDE ACCESS PANELS FOR ALL MECHANICAL AND PLUMBING DEVICES CONCEALED IN WALLS OR CEILINGS. PANELS TO BE SIZED & RATED AS REQUIRED.
2 ELECTRICAL METER / CABINET. PROVIDE ADDITIONAL WOOD STUD WALL	
3 SPRINKLER STANDPIPE	
4 ATTIC ACCESS HATCH, 20X30 MIN	
5 SLOPE BREZEWAY SLAB OUT 1/4" - 12" TO DRAIN	
(D) FLOOR DRAIN	



1 BLDG. 1 - OVERALL SECOND FLOOR
1/8" = 1'-0"

**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

**HOUSING
STUDIO**

333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



BLDG 1 - OVERALL
2ND FLOOR PLAN



A3.A02

BLDG 1							
SQ.FT.	MULTIPLIER	TOTAL ROOF AREA	G.P.H./SQ.FT. (100% RAINFALL=4.3 IN/HR)	G.P.M./SQ.FT. (100% RAINFALL=4.3 IN/HR)	G.P.H.	G.P.M.	
AREA 1	1152	153	1762.56	2.68	0.0447	4,724	79
AREA 2	906	153	1386.18	2.68	0.0447	3,715	62
AREA 3	906	153	1386.18	2.68	0.0447	3,715	62
AREA 4	943	153	1442.79	2.68	0.0447	3,867	64
AREA 5	943	153	1442.79	2.68	0.0447	3,867	64
AREA 6	906	153	1386.18	2.68	0.0447	3,715	62
AREA 7	906	153	1386.18	2.68	0.0447	3,715	62
AREA 8	1152	153	1762.56	2.68	0.0447	4,724	79
AREA 9	1152	153	1762.56	2.68	0.0447	4,724	79
AREA 10	906	153	1386.18	2.68	0.0447	3,715	62
AREA 11	906	153	1386.18	2.68	0.0447	3,715	62
AREA 12	943	153	1442.79	2.68	0.0447	3,867	64
AREA 13	943	153	1442.79	2.68	0.0447	3,867	64
AREA 14	906	153	1386.18	2.68	0.0447	3,715	62
AREA 15	906	153	1386.18	2.68	0.0447	3,715	62
AREA 16	1152	153	1762.56	2.68	0.0447	4,724	79

4.3" / 1 HR - 100 YEAR
 GUTTER - 4" X 2 1/2" (WxD) AT 1/4" - 1" SLOPE = 106 GPM CAPACITY
 DOWNSPOUT - 3" X 4 1/2" - 192 GPM CAPACITY

ATTIC VENTILATION CALCULATIONS - BLDG 1													
Column 1	Column 2	Column 3	Column 4	Column 5a	Column 5b	Column 5c	Column 5d	Column 5e	Column 5f	Column 5g	Column 5h	Column 5i	Column 6
BUILDING TYPE/ZONE	ATTIC AREA (SF)	MINIMUM REQUIRED TOTAL NET FREE AREA (SF)	MINIMUM REQUIRED NET FREE AREA IN UPPER ROOF (SF)	REQUIRED EXHAUST NET FREE AREA (SF)	INDUSTRIAL SOFFIT VENT (SF)	INDUSTRIAL VENT** (400 SQ.FT.)	INDUSTRIAL SUBTOTAL (SF)	ROOF LOUVER (SF)	ROOF LOUVER SUBTOTAL (SF)	GABLE VENT** (SF)	EXHAUST SUBTOTAL (SF)	TOTAL NET FREE AREA PROVIDED (SF)	TOTAL NET FREE AREA PROVIDED (SF)
COL 1	1784	854	427	427	0	0	0	0	0	0	0	1784	1784
COL 2	2034	917	459	459	0	0	0	0	0	0	0	2034	2034
COL 3	1784	854	427	427	0	0	0	0	0	0	0	1784	1784
COL 4	1784	854	427	427	0	0	0	0	0	0	0	1784	1784
COL 5	1784	854	427	427	0	0	0	0	0	0	0	1784	1784
COL 6	2034	917	459	459	0	0	0	0	0	0	0	2034	2034
COL 7	2034	917	459	459	0	0	0	0	0	0	0	2034	2034
COL 8	1784	854	427	427	0	0	0	0	0	0	0	1784	1784
COL 9	114	54	27	27	0	0	0	0	0	0	0	114	114

VENTILATION PRODUCT SCHEDULE:
 SOFFIT VENT: 4" SHIPMENT BY TRAK-TEK, 10/14
 ROOF LOUVER: AIR VENT INC./ SHINGLES VENT & SHIPMENT
 ROOF LOUVER: LARGE CAPACITY, ROUND BY TAMMACK TECHNOLOGIES
 UNDERLAYER VENT: AIR VENT INC./ SCREENED ALUMINUM VENTS 1/4"

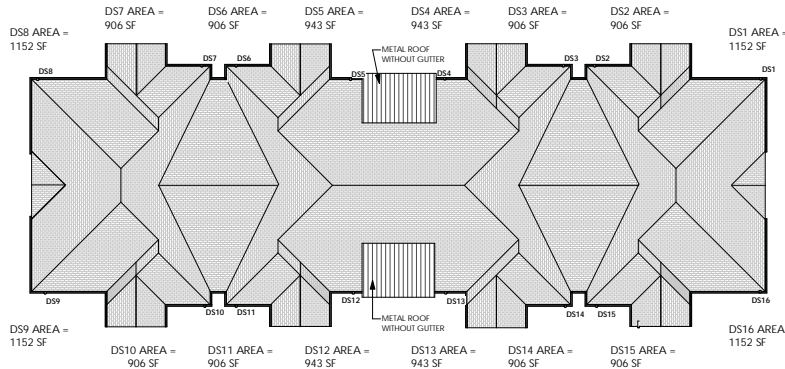
NOTE:
 ALL ROOF ATTIC VENTILATION REQUIREMENTS (NET FREE AREA) ARE CALCULATED AT 1000 OF THE AREA OF THE SPACE VENTILATED.
 VAPOR DIFFUSION RETARDER: PROVIDE VAPOR RETARDER AT ALL INTERIOR CEILING/DRYWALL SURFACES DIRECTLY BELOW ATTIC SPACES. (PER CODE VAPOR RETARDER MUST HAVE A TRANSMISSION RATE NOT EXCEEDING 1 PERCENT ACCORDANCE WITH ASTM E 91, REFER TO SPEC.)
 **TYPICAL VENTS SHALL BE LOCATED IN THE UPPER 1/3 OF THE ROOF.
 ***SEE ROOF PLAN FOR SUPPLEMENTAL VENT AND ROOF LOUVER LOCATIONS.

ROOF LEGEND

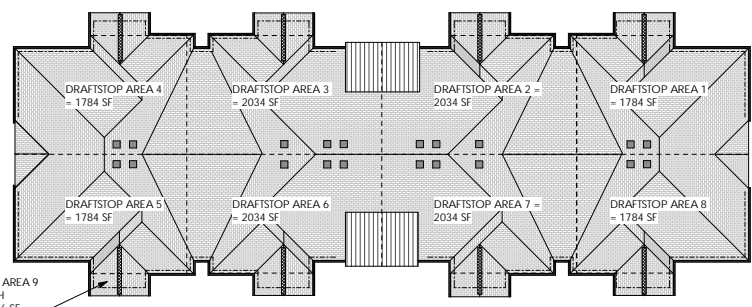
- INDICATES RIDGE VENT. PAINT TO MATCH SHINGLE/STANDING SEAM COLOR. ARCHITECT TO APPROVE COLOR.
- INDICATES ROOF SLOPE DOWN DIRECTION.
- INDICATES LOCATION OF DRAFTSTOPPING. USE 1/2" GYP. BD. OR PLYWOOD SHEATHING ADEQUATELY SUPPORTED AND CONTINUOUS FROM CEILING OF UNIT TO UNDERSIDE OF ROOF SHEATHING.
- INDICATES DOWNSPOUT LOCATIONS.
- INDICATES ATTIC ACCESS PANEL CENTER IN BREEZEWAY U.N.O.
- INDICATES ACCESS PANELS IN DRAFTSTOPPING. PANEL TO BE SELF-CLOSING AND LATCHING.
- ROOF LOUVER (SHOE BOX VENT)
- INDICATED CONTINUOUS SOFFIT VENT.

ROOF PLAN NOTES

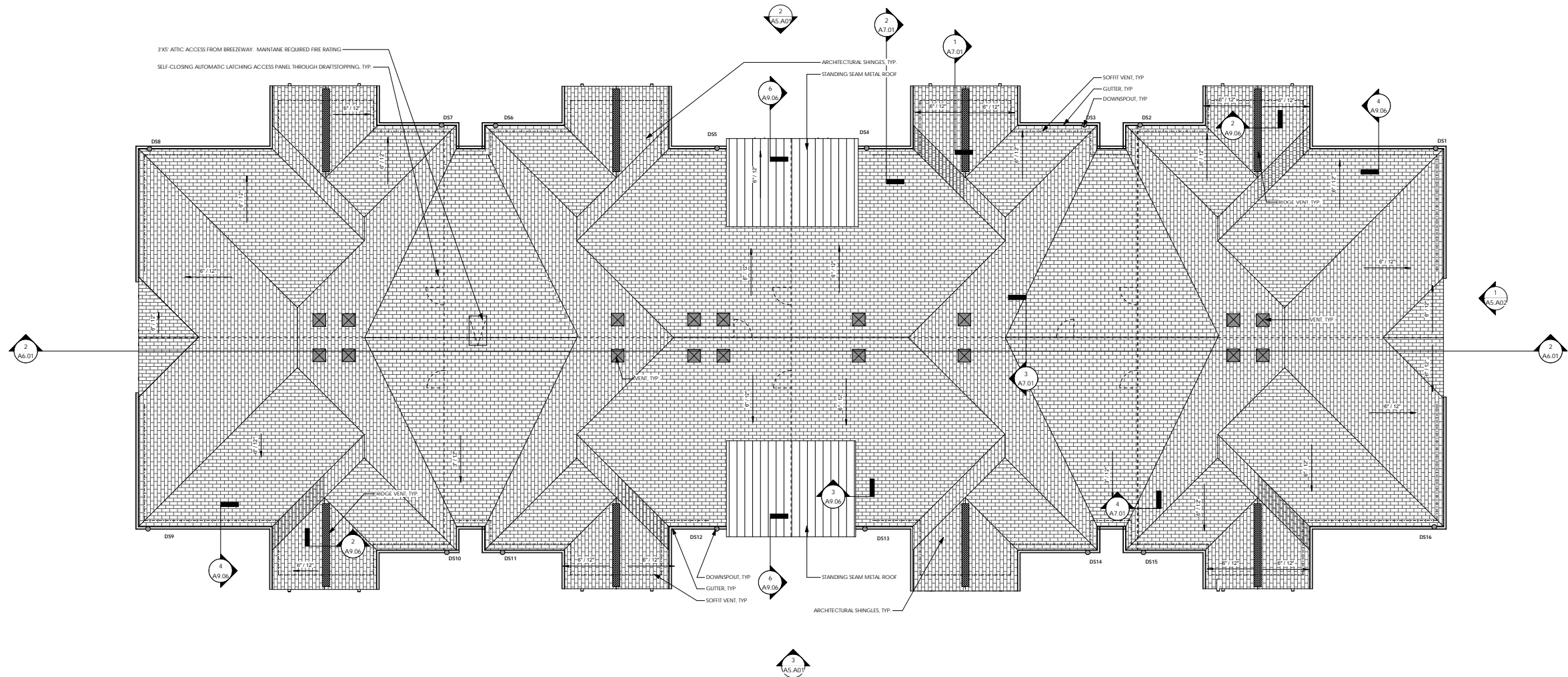
- FLASH ALL ROOF PENETRATIONS WITH FLASHING BOOTS PER MFR. REQUIREMENTS TO PROVIDE CONTINUOUS WARRANTY. PITCH PANS NOT PERMITTED. PROVIDE 1/2" MIN. HORIZONTAL BETWEEN PENETRATIONS.
- ALL ROOF PENETRATIONS (PLUMBING STACK VENTS, ETC.) TO BE PAINTED TO MATCH ROOFING COLOR.
- REFER TO STRUCTURAL DRAWINGS / ROOF TRUSS DRAWINGS FOR TRUSS PROFILES.
- SEE A9 SERIES FOR RELEVANT ROOF DETAIL DRAWINGS.
- #30 FELT UNDERLAYMENT AT SHINGLED ROOF TYPES.
- ENSURE EACH DRAFTSTOP AREA IS ACCESSIBLE WHERE HEADROOM IS 30" OR GREATER.
- INSTALL 36" SELF-ADHERING MEMBRANE AT ALL LEAVES AND VALLEYS DIRECTLY OVER ROOF DECKING.
- TURN UNDERLAYMENT UP ADJACENT WALLS MIN 8" AT ROOF - TO - WALL TRANSITIONS.
- INSTALL STANDING SEAM METAL ROOF OVER HIGH TEMPERATURE SELF-ADHERING MEMBRANE.
- INSTALL ALL ROOFING TO MEET PROJECT WIND UPLIFT REQUIREMENTS.
- TRUSS MFR. TO COORDINATE TRUSS SHOP DRAWINGS WITH ALL ENGINEERS (PLUMBING, MECHANICAL, SPRINKLER, ETC.) AND ARCHITECT.
- DOWNSPOUT SIZE = 3" X 4 1/4" MINIMUM (192 GPM)
- GUTTER SIZE = 4 1/2" X 2" (W X D) (106 GPM)
- PROVIDE GUTTER DIVERTERS AT VALLEY CONDITIONS.
- PROVIDE 2 LAYERS OF FELT UNDERLAYMENT AT PITCHES LESS THAN 4:12



1 BLDG 1 - ROOF - DRAINAGE AREAS
 3/64" = 1'-0"



2 BLDG 1 - ROOF - VENTING / DRAFTSTOP AREAS
 3/64" = 1'-0"



3 BLDG 1 - ROOF - OVERALL PLAN
 1/8" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
 : WORKFORCE HOUSING

HILTON HEAD ISLAND, SC



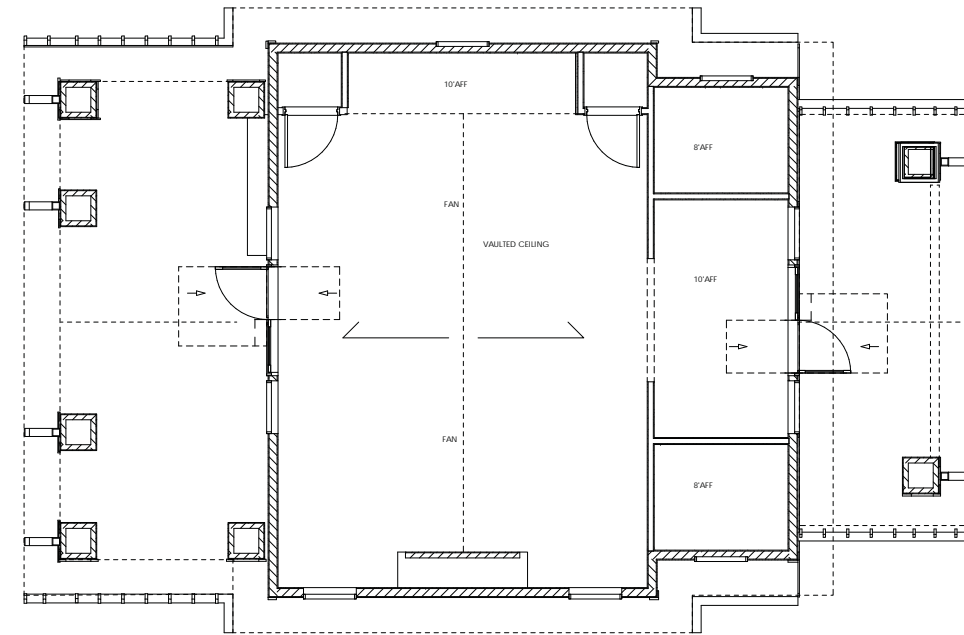
VOLUME 1: CIVIL - LANDSCAPE - ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
 ISSUE DATE: AUGUST 25, 2020
 ISSUED FOR: PERMIT DOCUMENTS

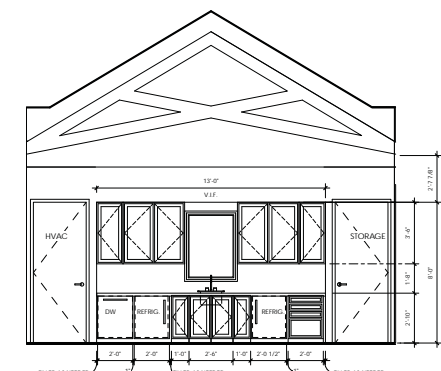


BLDG 1 - OVERALL ROOF PLAN

A3.A03

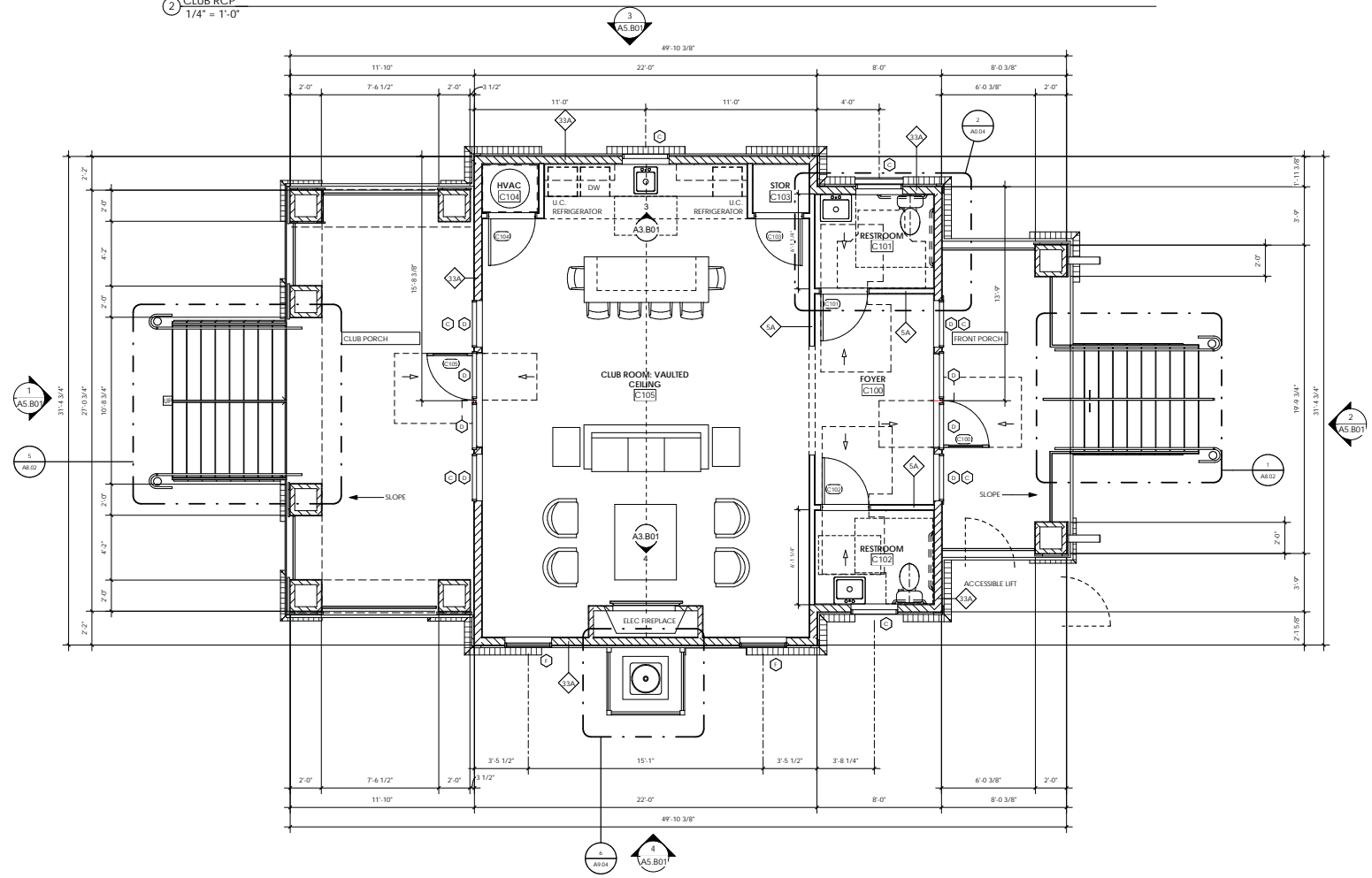


4 INTERIOR CLUB ELEVATION
1/4" = 1'-0"



3 INTERIOR ELEVATION - KITCHEN - CLUB
1/4" = 1'-0"

2 CLUB RCP
1/4" = 1'-0"



1 BLDG 2 - CLUB FLOOR PLAN
1/4" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC

HOUSING
STUDIO

333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



BLDG 2 - OVERALL 1ST
FLOOR PLAN



A3.B01

BUILDING TYPE/ZONE	Column 2 ATTIC AREA IN ZONE (SF)	Column 3 MINIMUM REQUIRED TOTAL NET FREE AREA (SF)	Column 4 MINIMUM REQUIRED EXHAUST NET FREE AREA IN UPPER ROOF (SF)	Column 5A INTAKE VENT - TOTAL NET FREE AREA PROVIDED				Column 5B EXHAUST VENT - TOTAL NET FREE AREA PROVIDED				Column 7 TOTAL NET FREE AREA PROVIDED (SF)		
				Column 5A		Column 5B		Column 5A		Column 5B				
				SOFFIT VENT 18.9 SQ.FT.	UNDEREAVE VENT** 40.0 SQ.FT.	INTAKE SUBTOTAL (5)	EXHAUST SUBTOTAL (6)	RIDGE VENT 18.9 SQ.FT.	ROOF LOUVER** 143.0 SQ.FT.	GABLE VENTS** (8)	EXHAUST SUBTOTAL (9)			
ZONE 1	1486	713	332	45	832	0	0	832	24	452	0	0	432	1269
ZONE 2	240	115	58	20	376	0	0	376	6	108	0	0	108	484

VENTILATION PRODUCT SCHEDULE:

SOFFIT VENT: #1 SHAPVENT BY TAMBLYN 31X14 NET FREE AREA: 18.9 SQ PER SF

EDGE VENT: AIR VENT INC. / SHINGLE VENT # HSPV255 NET FREE AREA: 18.9 SQ PER SF

EDGE LOUVER: LARGE CAPACITY, ROUND BY TAMRACK TECHNOLOGIES NET FREE AREA: 143.0 SQ PER VENT

UNDEREAVE VENT: AIR VENT INC. / SCREENED ALUMINUM VENTS 14X14 NET FREE AREA: 40.0 SQ PER VENT

NOTE: AIRSPACE VENTILATION PRODUCTS ARE ACCEPTABLE HOWEVER THEY MUST MEET THE ABOVE NET FREE AREA AND BE APPROVED BY THE ARCHITECT

** EXHAUST VENTS SHALL BE LOCATED IN THE UPPER 1/3 OF THE ROOF

** - SEE ROOF PLANS FOR SUPPLEMENTAL VENT AND ROOF LOUVER LOCATIONS

NOTE:

ALL ROOF ATTIC VENTILATION REQUIREMENTS (NET FREE AREA) ARE CALCULATED AT 1/1000 OF THE AREA OF THE SPACE VENTILATED.

VAPOR DIFFUSION RETARDER:

PROVIDE VAPOR RETARDER AT ALL INTERIOR CEILING SURFACES DIRECTLY BENEATH ATTIC SPACE. REFER CODE BOOK FOR RETARDER MUST HAVE A TRANSMISSION RATE NOT EXCEEDING 1 PERM IN ACCORDANCE WITH ASTM E 91. REFER TO SPEC.

BLDG 2						
AREA	SQ.FT.	MULTIPLIER 6/12 = 1.12	TOTAL ROOF AREA	G.P.H./SQ.FT. (100 YR RAINFALL = 4.3 IN/HR)	G.P.M./SQ.FT. (100 YR RAINFALL = 4.3 IN/HR)	G.P.M.
AREA 1	120	1.12	134.4	2.68	0.0447	360
AREA 2	327	1.12	366.24	2.68	0.0447	982
AREA 3	416	1.12	465.92	2.68	0.0447	1,249
AREA 4	416	1.12	465.92	2.68	0.0447	1,249
AREA 5	327	1.12	366.24	2.68	0.0447	982
AREA 6	120	1.12	134.4	2.68	0.0447	360

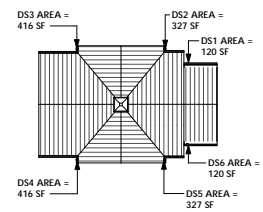
4.3" / 1 HR 100 YEAR
GUTTER = 4" X 2 1/2" (WAD) AT 1/4" : 12" SLOPE = 106 GPM CAPACITY
DOWNSPOUT = 3" X 4 1/4" = 192 GPM CAPACITY

ROOF LEGEND

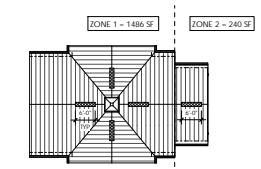
- INDICATES RIDGE VENT. PAINT TO MATCH SHINGLE/STANDING SEAM COLOR. ARCHITECT TO APPROVE COLOR.
- INDICATES ROOF SLOPE DOWN DIRECTION.
- INDICATES LOCATION OF DRAFTSTOPPING. USE 1/2" CYR. RD. OR PLYWOOD SHEATHING ADEQUATELY SUPPORTED AND CONTINUOUS FROM CEILING OF UNIT TO UNDERSIDE OF ROOF SHEATHING.
- INDICATES DOWNSPOUT LOCATIONS.
- INDICATES ATTIC ACCESS PANEL. CENTER IN BREEZEWAY U.N.O.
- INDICATES ACCESS PANELS IN DRAFTSTOPPING. PANEL TO BE SELF-CLOSING AND LATCHING.
- ROOF LOUVER (SHOE BOX VENT)
- INDICATED CONTINUOUS SOFFIT VENT.

ROOF PLAN NOTES

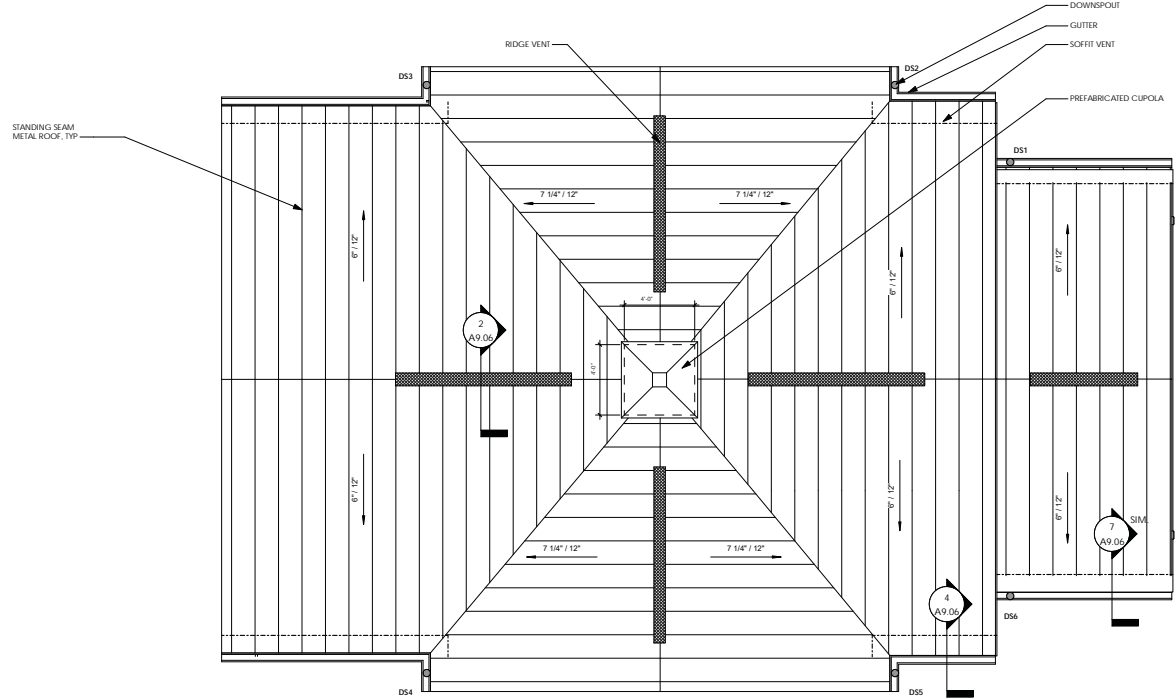
- FLASH ALL ROOF PENETRATIONS WITH FLASHING BOOTS PER MFR. REQUIREMENTS TO PROVIDE CONTINUOUS WARRANTY / PITCH PANS NOT PERMITTED. PROVIDE 12" MIN. HORIZONTAL BETWEEN PENETRATIONS.
- ALL ROOF PENETRATIONS (PLUMBING STACK VENTS, ETC.) TO BE PAINTED TO MATCH ROOFING COLOR.
- REFER TO STRUCTURAL DRAWINGS / ROOF TRUSS DRAWINGS FOR TRUSS PROFILES.
- SEE A9 SERIES FOR RELEVANT ROOF DETAIL DRAWINGS.
- #30 FELT UNDERLAYMENT AT SHINGLED ROOF TYPES.
- ENSURE EACH DRAFTSTOP AREA IS ACCESSIBLE WHERE HEADROOM IS 30" OR GREATER.
- INSTALL 36" SELF-ADHERING MEMBRANE AT ALL EAVES AND VALLEYS DIRECTLY OVER ROOF DECKING.
- TURN UNDERLAYMENT UP ADJACENT WALLS MIN 8" AT ROOF - TO - WALL TRANSITIONS.
- INSTALL STANDING SEAM METAL ROOF OVER HIGH TEMPERATURE SELF-ADHERING MEMBRANE.
- TRUSS MFR. TO COORDINATE TRUSS SHOP DRAWINGS WITH ALL ENGINEERS (PLUMBING, MECHANICAL, SPRINKLER, ETC.) AND ARCHITECT.
- DOWNSPOUT SIZE = 3" X 4 1/4" MINIMUM (192 GPM)
- GUTTER SIZE = 4 1/2" X 2" (W X D) (106 GPM)
- PROVIDE GUTTER DIVERSERS AT VALLEY CONDITIONS.
- PROVIDE 2 LAYERS OF FELT UNDERLAYMENT AT PITCHES LESS THAN 4:12



2 BLDG 2 ROOF - DRAINAGE AREAS
3/64" = 1'-0"



3 BLDG 2 ROOF - VENTING AREAS
3/64" = 1'-0"



1 BLDG 2 ROOF
1/4" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC

HOUSING STUDIO
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862

VOLUME 1: CIVIL - LANDSCAPE - ARCHITECTURE - MEP- STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

BLDG 2 - OVERALL ROOF PLAN

A3.B02

GENERAL NOTES - BUILDING ELEVATIONS		FIBER CEMENT COLOR SELECTIONS	MASONRY COLOR SELECTIONS
<ul style="list-style-type: none"> EXTERIOR MATERIALS, DETAILING, AND COLORS TO WRAP AT ALL EXTERIOR CORNERS AND TERMINATE AT THE INSIDE CORNER, U.N.O. CONTROL JOINTS SHOULD OCCUR AT INSIDE CORNERS AS NEEDED TO MEET BRICK INDUSTRY ASSOCIATION STANDARDS. EXTEND UP ENTIRE MASONRY VENEER FACE, U.N.O. SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING U.N.O. SEE WATERPROOFING DETAILS. PROVIDE 3/8" JOINT SPACE WITH SEALANT AND AT INTERFACE BETWEEN DISSIMILAR EXTERIOR FINISHES. ALL FIBER CEMENT TO BE PRIME & PAINTED SMOOTH PANEL WITH FIBER CEMENT TRIM AS NOTED OR LAP SIDING WITH TRIM AS NOTED. PRIME AND PAINT ALL CUT EDGES OF FIBER CEMENT PANELING PRIOR TO INSTALLATION. G.C. TO COORDINATE WITH MEP, ARCH, AND STRUCTURAL TO MATCH DRYER AND EXHAUST VENT LOCATIONS WITH DRAWINGS. VENTS TO BE PAINTED BASED ON ADJACENT FIELD COLORS. ARCH TO PROVIDE COLORS. ALL VENTS TO BE LOCATED TO THE LEFT OR RIGHT OF WINDOWS, NOT DIRECTLY ABOVE, UNLESS SHOWN OTHERWISE. COMMERCIAL BUILDING WRAP TO BE USED AT EXTERIOR ENVELOPE, TYP. 	<ul style="list-style-type: none"> CONDUCTORS, SCIPPERS, & DOWNSPOUTS TO BE PREFINISHED. COLOR TO BE SELECTED BY ARCH. PROVIDE SILICONE SEALANTS AT ALL MASONRY CONTROL JOINTS AND WINDOWS/DOORS IN MASONRY. PROVIDE URETHANE SEALANTS AT PANEL CONDITIONS, INCLUDING WINDOW/DOOR PERIMETERS (IF ANTICIPATED TO BE PAINTED, OTHERWISE SILICONE IS TO BE USED). PROVIDE PREFABRICATED FLASHING COMPONENTS AT DRYER/EXHAUST VENTS. PROVIDE FLASHING AT HORIZONTAL TRANSITIONS BETWEEN WALL FINISHES. REFERENCE CIVIL/LANDSCAPING DRAWINGS FOR ENTRY/PATIO CONNECTIONS AT GRADE. NOTE REMOVED. REFERENCE MATERIAL SELECTION ELEVATIONS FOR ALL MATERIAL COLOR AND MASONRY CALLOUTS. INDICATES LOCATION OF RAIN LEADERS, REF. ROOF PLANS. 	<ul style="list-style-type: none"> PRIMARY SILL HEIGHTS FOR WINDOWS ON 2ND FLOORS: 65" ± U.N.O. WINDOW SILL HEIGHTS ON 1ST FLOOR VARY. REFERENCE WALL SECTIONS FOR HEIGHTS. 36" HIGH ALUMINUM RAILINGS TYP. AT ALL 2ND FLOOR BALCONIES. 42" HIGH ALUMINUM RAILINGS TYP. AT ALL 2ND FLOOR BALCONIES. MASONRY CONSISTS OF MODULAR SIZES. NON-MASONRY AREAS TO BE FIBER PANEL WITH REVEAL TRIM OR FIBER CEMENT LAP SIDING WITH A 6" EXPOSURE. ALL MASONRY COURSING ALIGNS AT 1ST FLOOR F.F.E. MINI WINDOWS TYP. UNIT BALCONY DOORS TO MATCH VINYL WINDOW COLOR SELECTION. USE OF HIGH TEMPERATURE PAINT TYP. DRIP TRIM/BALCONIES TYP. AT ALL UNITS. SEE WINDOW DETAILS FOR DIFFERENTIAL SETTLEMENT NOTES. 	<ul style="list-style-type: none"> WINDOW AND DOOR TRIM: "TAN" ACTUAL COLOR PER MANUFACTURER F.C. LAP SIDING: COLOR: S.W. ARGOS F.C. TRIM: COLOR: S.W. ALABASTER GUTTERS, DOWNSPOUTS, METAL ROOF: COLOR: SLATE GRAY ARCHITECTURAL SHINGLES: COLOR: WEATHERED WOOD



3 BLDG 1 SOUTH EAST ELEVATION
1/8" = 1'-0"



2 BLDG 1 NORTH WEST ELEVATION
1/8" = 1'-0"

**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

HOUSING STUDIO
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862

**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

BLDG 1 - OVERALL ELEVATIONS

A5.A01



1 BLDG 1 WEST ELEVATION
1/8" = 1'-0"

**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC

**HOUSING
STUDIO**
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

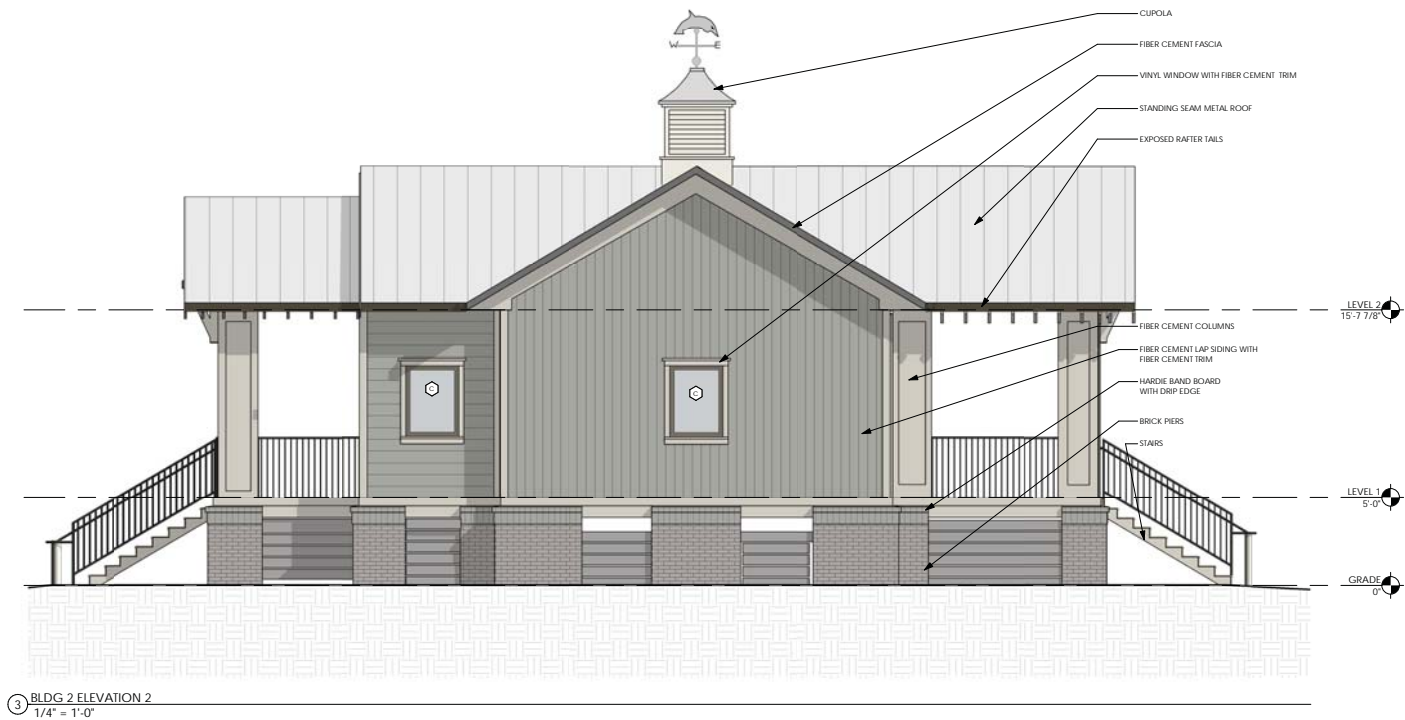
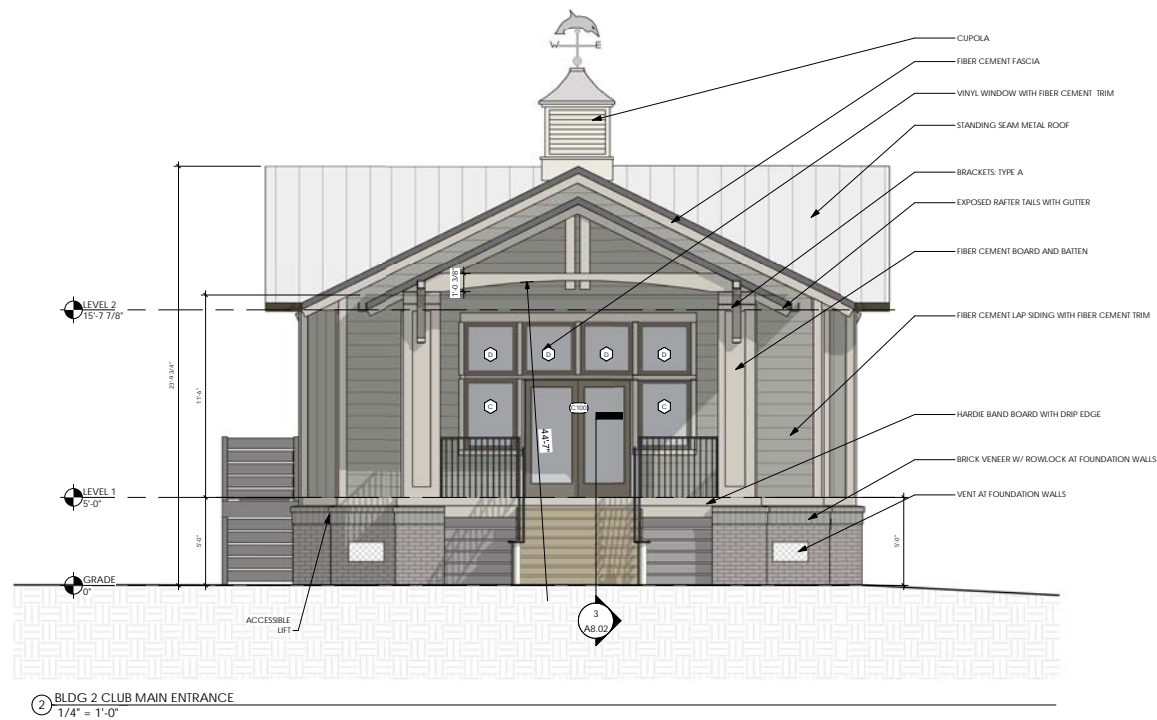
PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



BLDG 1 - OVERALL
ELEVATIONS

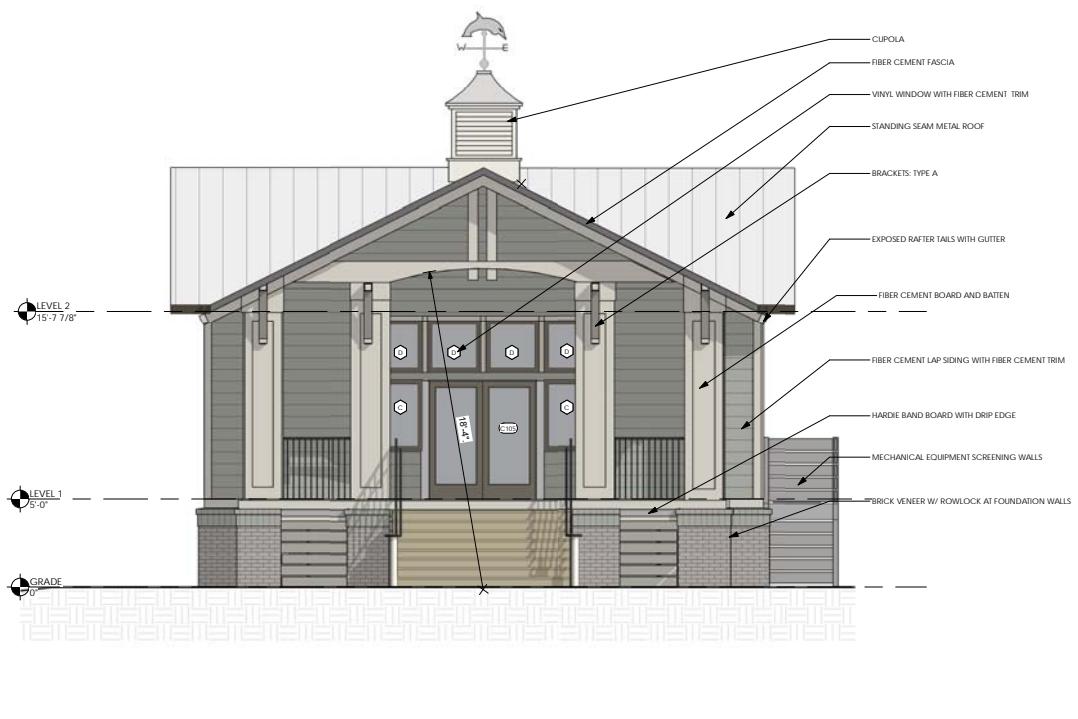


A5.A02

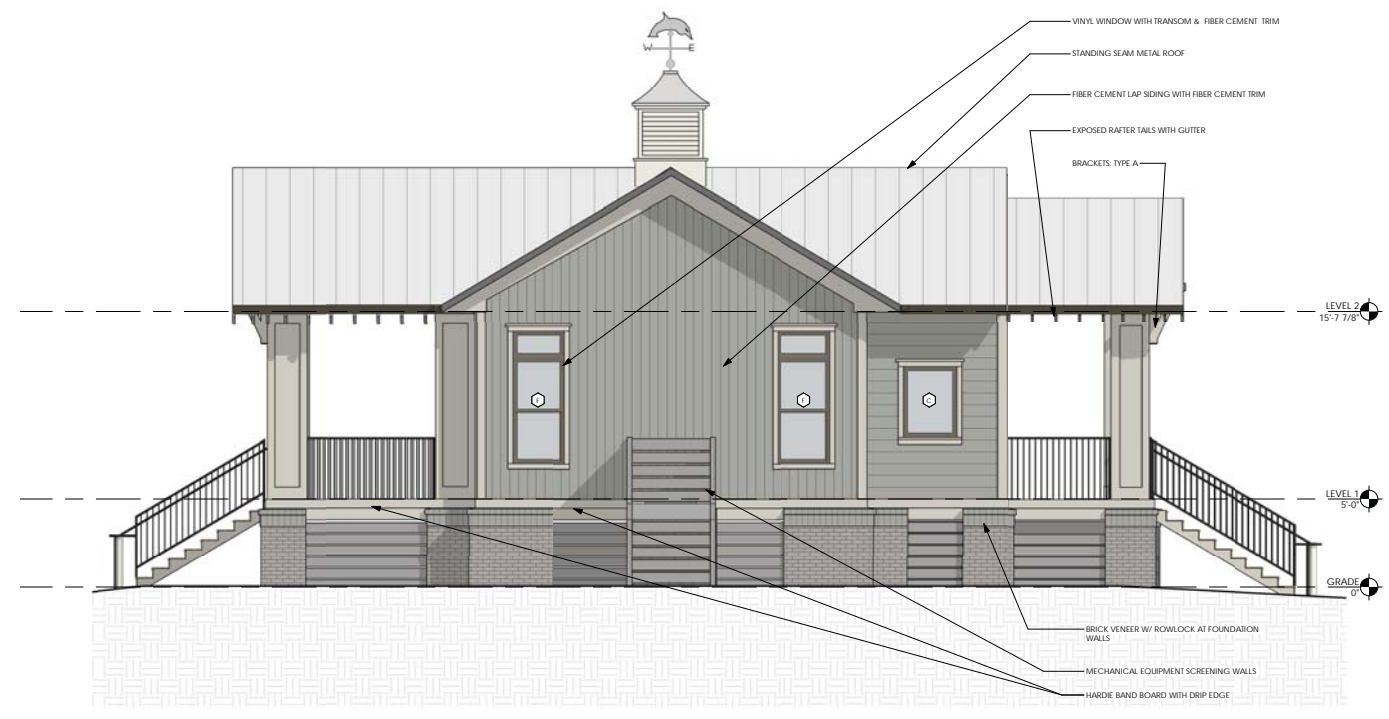


2 BLDG 2 CLUB MAIN ENTRANCE
1/4" = 1'-0"

3 BLDG 2 ELEVATION 2
1/4" = 1'-0"



1 BLDG 2 REAR PORCH ELEVATION
1/4" = 1'-0"



4 CLUB BUILDING - SOUTH
1/4" = 1'-0"

**SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING**

HILTON HEAD ISLAND, SC



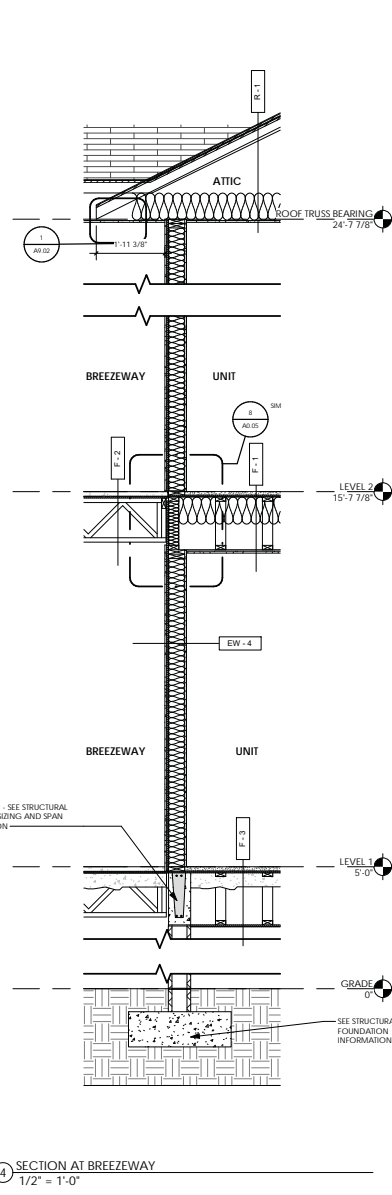
**VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL**

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

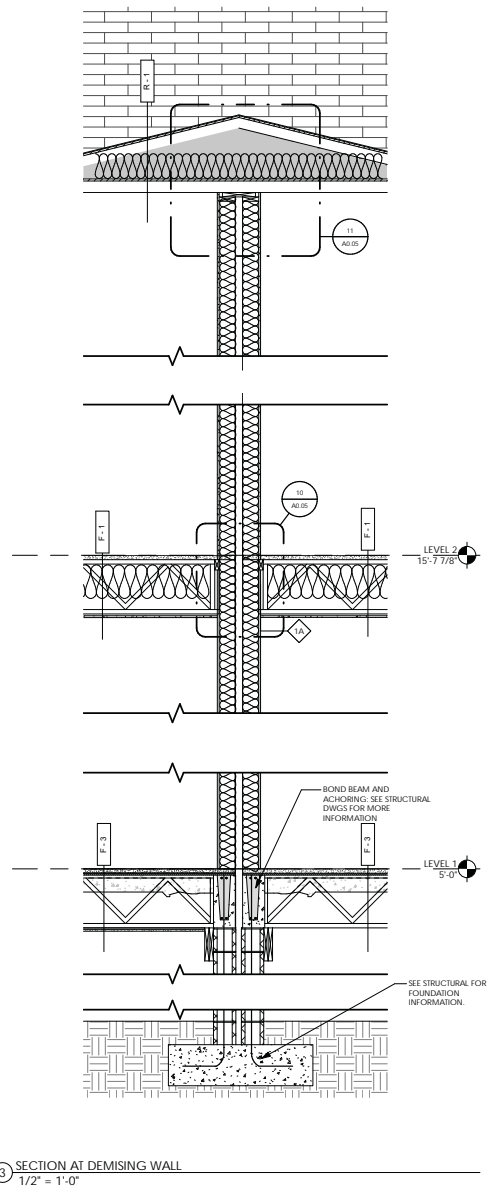


BLDG 2 - ELEVATIONS

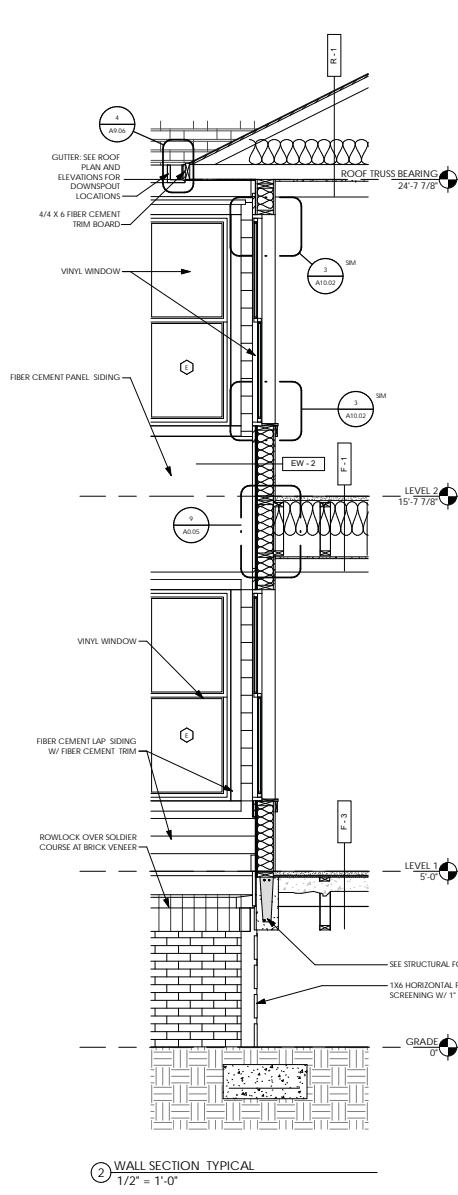
A5.B01



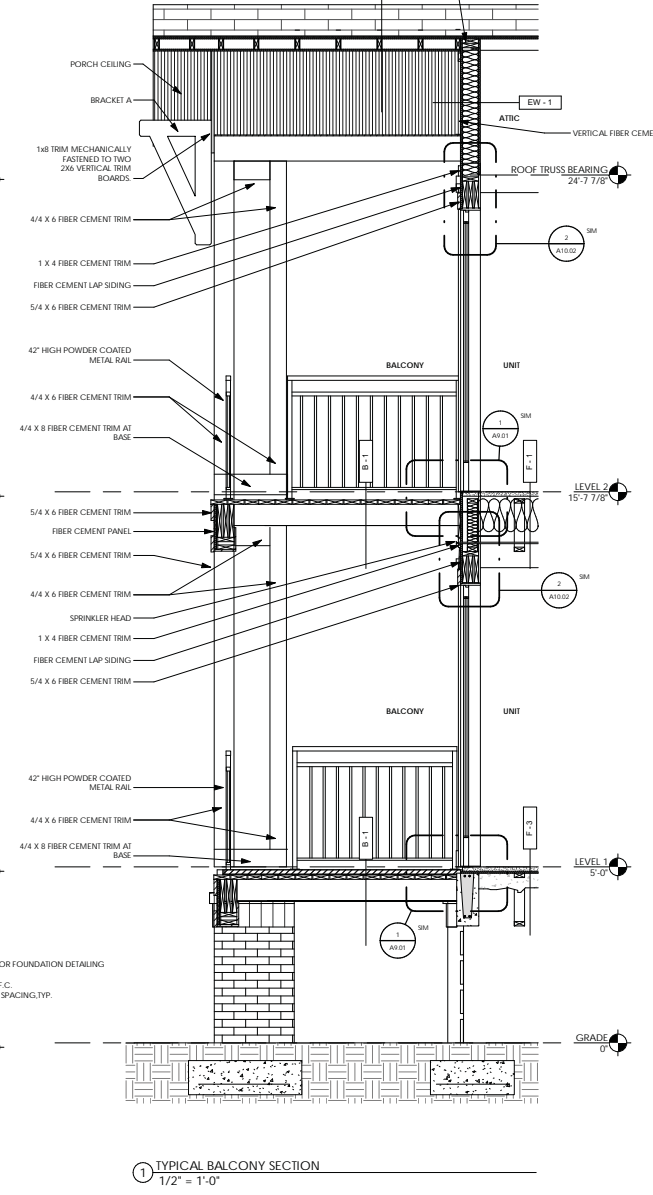
4 SECTION AT BREEZEWAY
1/2" = 1'-0"



3 SECTION AT DEMISING WALL
1/2" = 1'-0"



2 WALL SECTION TYPICAL
1/2" = 1'-0"



1 TYPICAL BALCONY SECTION
1/2" = 1'-0"

GENERAL NOTES - WALL SECTIONS	
1.	SEE WALL TYPES (AND SERIES) FOR TYPICAL WALL CONSTRUCTION.
2.	REFER TO APPENDIX B FOR CONSTRUCTION TYPES AND REQUIRED RATINGS OF BUILDING ELEMENTS. SEE LIFE SAFETY PLANS FOR SEPARATION RATINGS. RATED SPACES MUST HAVE RATED CEILING, FLOORS AND WALLS WITH PROTECTED OPENINGS AS REQUIRED.
3.	FIREBLOCKING AND DRAFTSTOPPING IS REQUIRED PER SCBC 718.
4.	BUILDING 1 TO BE SPRINKLED PER NFPA 13.R.
5.	ALL EXTERIOR PENETRATIONS THROUGH EXTERIOR SHEATHING AND CLADDING TO BE PROPERLY SEALED TO PREVENT EXCESS WATER INFILTRATION ONTO THE DRAINAGE PLANE. SEE BUILDING DETAILS INDICATING WATERPROOFING REQUIREMENTS.
6.	ALL INSIDE AND OUTSIDE CORNERS OF EXTERIOR SHEATHING TO RECEIVE A 12" SELF-ADHERED MEMBRANE FLASHING TO PREVENT WATER INFILTRATION AND ENERGY LOSS.
7.	MASONRY NOTES
A.	PROVIDE MASONRY WALL TIES AT 24" MAX VERTICAL AND 36" MAX HORIZONTAL. INITIAL WALL TIES OVER STRIP OF SELF-ADHERING MEMBRANE.
B.	PROVIDE LOOSE STEEL LINTELS AT ALL OPENINGS IN MASONRY WALLS WITH HEAD WEEPS AND INSERTS AT 24" MAX. LOOSE LINTEL TO INCLUDE MIN 4" HORIZONTAL LEG (SEE STRUCTURAL).
C.	PROVIDE 1/2" MASONRY CONTROL JOINTS AT 30' MAX IN VENEER.
D.	PROVIDE SELF-ADHERING MEMBRANE THRU WALL FLASHING AT BASE OF MASONRY VENEER. AT BASE OF WALL OR HEADS OF OPENINGS. BRU WALL FLASHING AND WEEPS TO BE STEPPED AS NECESSARY WHERE GRADE CHANGES. FLASHING AND WEEPS TO BE 6" ABOVE FINISH GRADE.
8.	PROVIDE SELF-ADHERING MEMBRANE AND / OR METAL FLASHING TRANSITIONS BETWEEN WOOD FRAMING AND CONCRETE / MASONRY CONSTRUCTION.
9.	ENSURE FRAMING FOR BALCONY ROOF IS INDEPENDENT FROM THE MAIN BUILDING ROOF FRAMING TO ALLOW BALCONY COLUMNS TO BE NON-FIRE RATED.
10.	PROVIDE METAL Drip EDGE / HEAD FLASHING OVER ALL HORIZONTAL TRIM BOARDS. TYP. TO PREVENT EDGE FROM BECOMING SATURATED.
11.	PROVIDE METAL BASE FLASHING AT BOTTOM OF FIBER CEMENT WALL FINISH WHERE TRIM IS NOT PRESENT.
12.	EXPOSED WOOD TRUSS, FRAMING, ETC TO BE SEALED/STAINED.
F-1.	INTERIOR FLOOR CONSTRUCTION (IL #1521): FINISH FLOORING (HARD SURFACE) ON 1 1/2" GYPCRETE ON 3/4" SOUND ISOLATION MAT ON 3/4" FLOOR SHEATHING ON 18" PRE-FAB OPEN WEB WOOD TRUSSES WITH R-19 BATT INSULATION FOR ACCOUSTICS WITH 1/2" RESILIENT CHANNELS (RC-12 DELUXE BY DETRIUCH) AND 5/8" TYPE 'C' GWB.
F-2.	BREEZEWAY FLOOR CONSTRUCTION (IL #1521): 2 GYPCRETE ON 3/4" FLOOR SHEATHING ON 18" PRE-FAB OPEN WEB WOOD TRUSSES WITH 1/2" RESILIENT CHANNELS (RC-12 DELUXE BY DETRIUCH) AND 5/8" EXTERIOR GRADE TYPE 'C' GWB. USE SELF-ADHERING MEMBRANE AT SLAB LANDINGS FOR A DISTANCE OF 15' FROM ROOF EDGE.
F-3.	INTERIOR FLOOR CONSTRUCTION (IL #1521): FINISH FLOORING (HARD SURFACE) ON 1 1/2" GYPCRETE ON 3/4" FLOOR SHEATHING ON 18" PRE-FAB OPEN WEB WOOD TRUSSES WITH R-19 CLOSED CELL SPRAY APPLIED INSULATION.
B-1.	BALCONY CONSTRUCTION: 2x6 FT WOOD BEAMS (PAINTED OR SEALED ON ALL SURFACES) OVER 8" DIMENSIONAL FRAMING.
EW-1.	EXTERIOR WALL CONSTRUCTION @ FC LAP SIDING (IL #1354): 4" EXPOSURE FIBER CEMENT LAP SIDING OVER WEATHER BARRIER OVER EXTERIOR GRADE SHEATHING PANELS ON WOOD STUDS WITH R-13 MIN. BATT INSULATION WITH 5/8" TYPE 'X' GWB.
EW-2.	EXTERIOR WALL CONSTRUCTION @ FC BOARD AND BATTEN / PANEL SIDING (IL #1354): 5/8" FIBER CEMENT BOARD AND BATTEN SIDING SYSTEM OVER WEATHER BARRIER OVER EXTERIOR GRADE SHEATHING PANELS ON WOOD STUDS WITH R-13 MIN. BATT INSULATION WITH 5/8" TYPE 'X' GWB.
EW-3.	EXTERIOR DOUBLE WALL CONSTRUCTION @ FC LAP SIDING - ALTERNATIVE METRANERS (IL #1354): 4" EXPOSURE FIBER CEMENT LAP SIDING OVER WEATHER BARRIER OVER EXTERIOR GRADE SHEATHING PANELS ON WOOD STUDS WITH R-13 MIN. BATT INSULATION WITH 5/8" TYPE 'X' GWB.
EW-4.	EXTERIOR WALL CONSTRUCTION @ FC LAP SIDING - BELTWAYS (IL #1354): 4" EXPOSURE FIBER CEMENT LAP SIDING OVER WEATHER BARRIER OVER EXTERIOR RATED CWB OVER EXTERIOR GRADE SHEATHING PANELS ON WOOD STUDS WITH R-13 MIN. BATT INSULATION WITH 5/8" TYPE 'X' GWB.
R-1.	SHINGLED PITCHED ROOF CONSTRUCTION (IL #P521): ARCHITECTURAL SHINGLES OVER #30 FELT ON STRUCTURAL SHEATHING OVER OPEN WEB WOOD TRUSSES (SEE ROOF PLANS FOR SLOPE) WITH R-30 BATT INSULATION (AT ATTIC FLOOR) AND 5/8" TYPE 'C' GWB CEILING ATTACHED WITH DETRIUCH RC-1 DELUXE RESILIENT CHANNELS. SEE ROOF PLAN FOR VENTING.
R-2.	METAL SEAM PITCHED ROOF CONSTRUCTION (IL #P522): METAL STANDING SEAM ROOF OVER 40 MIL HIGH TEMP SELF-ADHERING UNDERLAMENT ON STRUCTURAL SHEATHING OVER OPEN WEB WOOD TRUSSES (SEE ROOF PLANS FOR SLOPE) WITH R-30 BATT INSULATION AND 5/8" TYPE 'C' GWB CEILING ATTACHED WITH RESILIENT CHANNELS. SEE ROOF PLAN FOR VENTING.
R-3.	SHINGLED ROOF CONSTRUCTION (NON-RATED): ARCHITECTURAL SHINGLES OVER #30 FELT ON BEAD BOARD SHEATHING OVER OPEN WOOD FRAMING (SEE ROOF PLANS FOR SLOPE).

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC



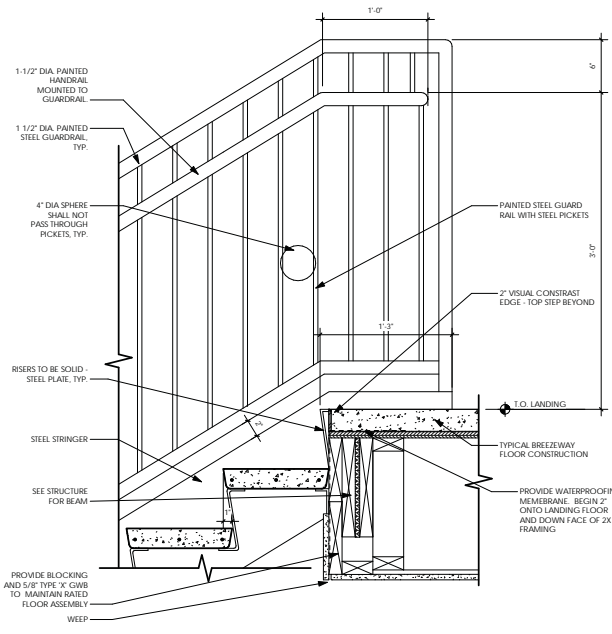
VOLUME 1: CIVIL - LANDSCAPE - ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

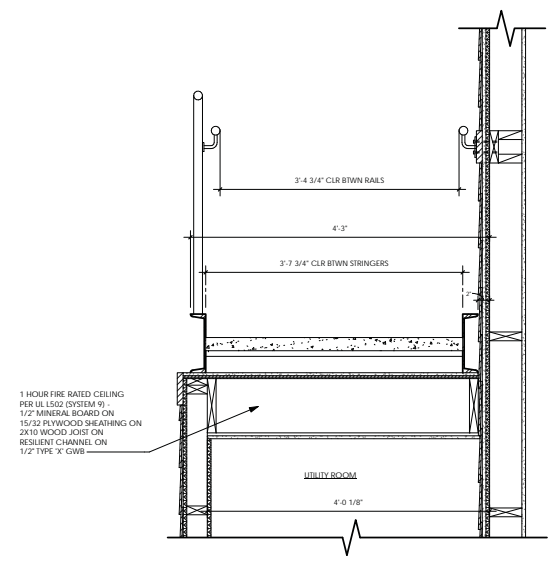


BLDG 1 - WALL SECTIONS

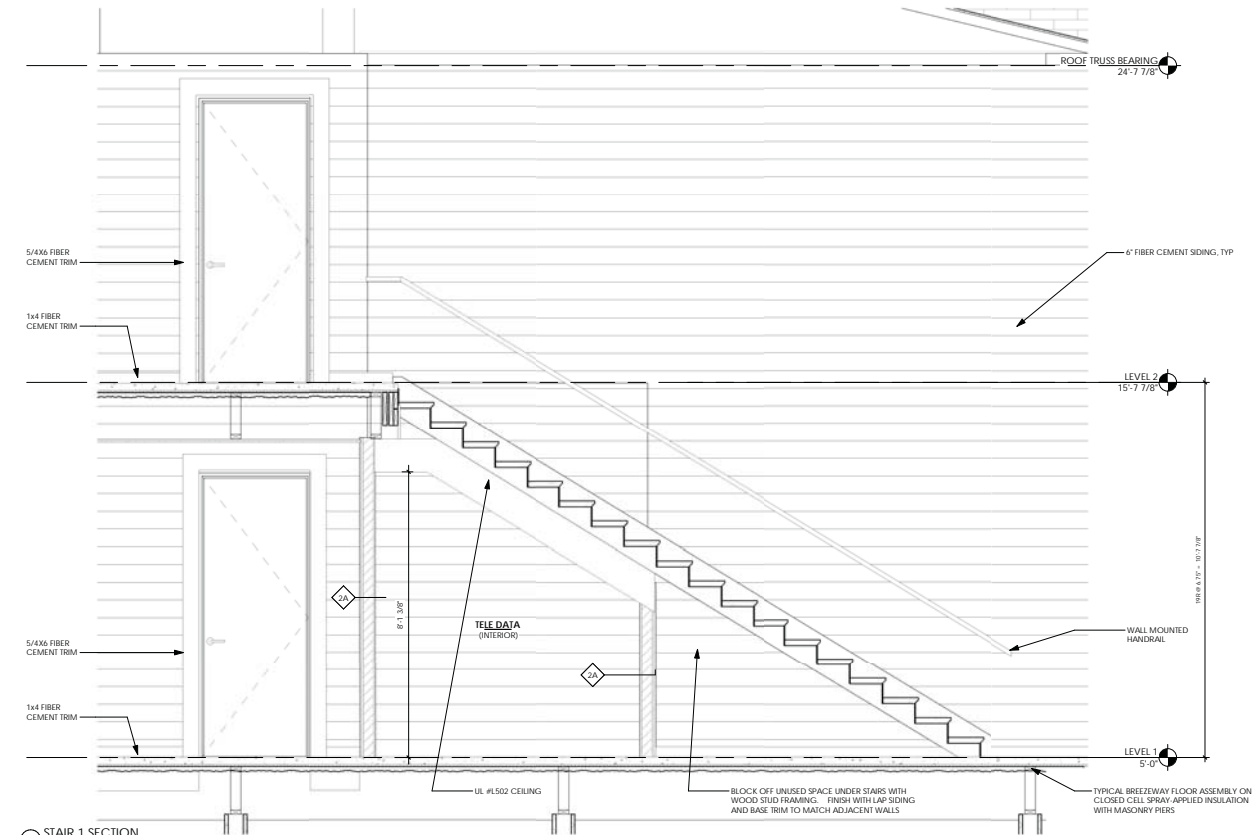
A7.01



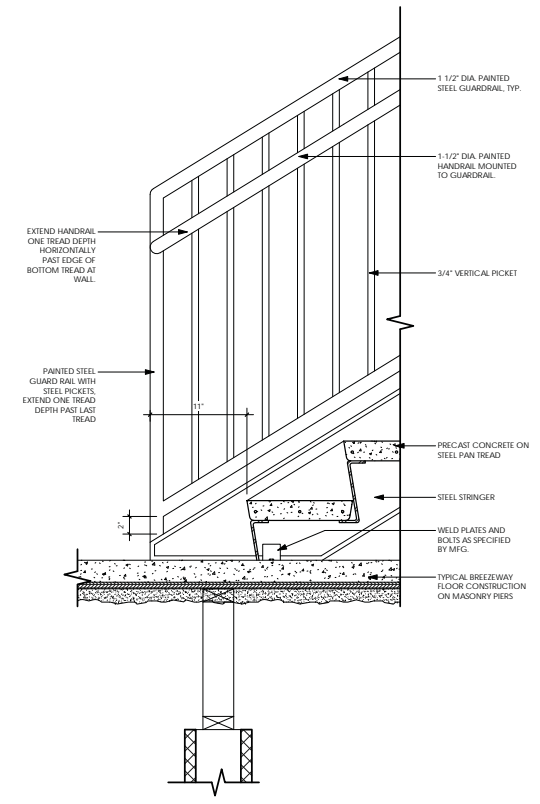
7 TYPICAL TOP LANDING
 1 1/2" = 1'-0"



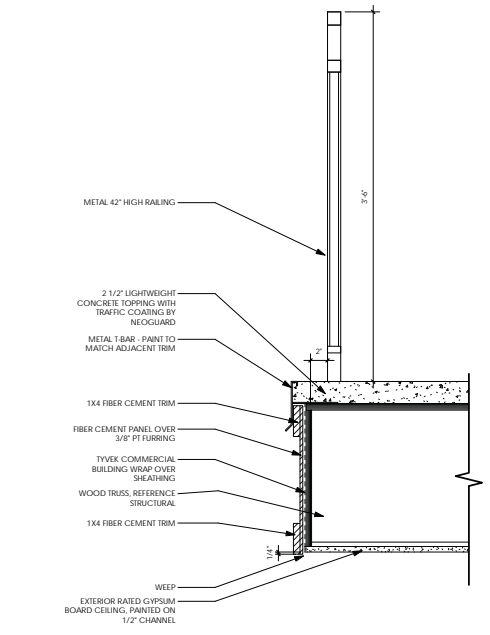
5 STAIR CROSS SECTION
 1" = 1'-0"



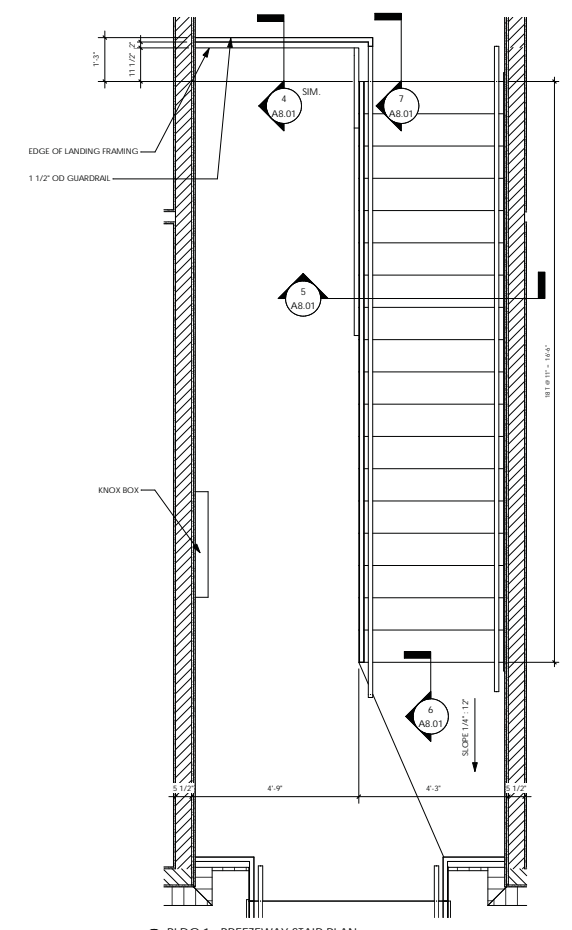
3 STAIR 1 SECTION
 1/2" = 1'-0"



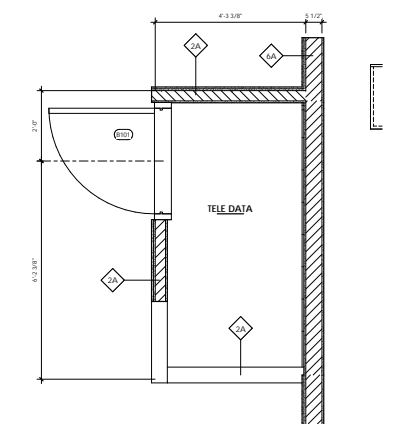
6 STAIR TYPICAL CONTIDION AT SLAB
 1 1/2" = 1'-0"



4 LANDING GUARDRAIL
 1 1/2" = 1'-0"



2 BLDG 1 - BREEZEWAY STAIR PLAN
 1/2" = 1'-0"



1 ENLARGED PLAN- UTILITY ROOM AT STAIR 2
 1/2" = 1'-0"

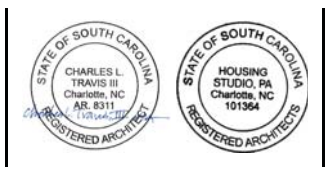
SEA PINES - PALMETTO BAY LODGES
 : WORKFORCE HOUSING

HILTON HEAD ISLAND, SC



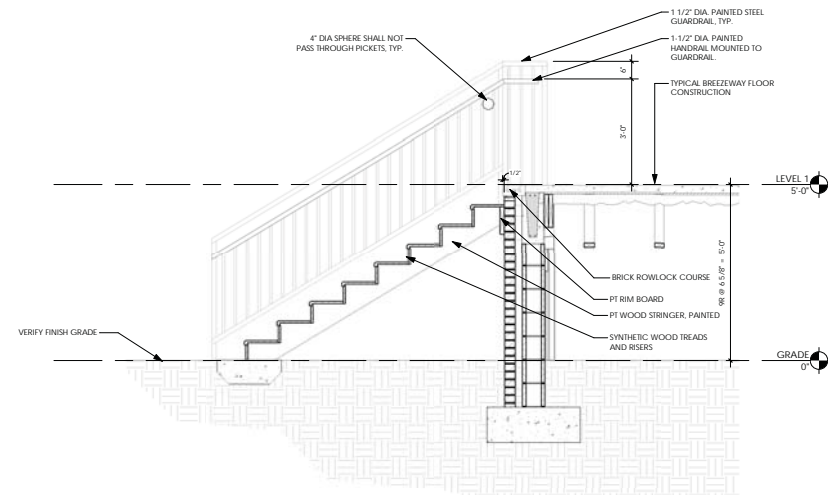
VOLUME 1: CIVIL - LANDSCAPE - ARCHITECTURE - MEP- STRUCTURAL

PROJECT NUMBER: 1920
 ISSUE DATE: AUGUST 25, 2020
 ISSUED FOR: PERMIT DOCUMENTS

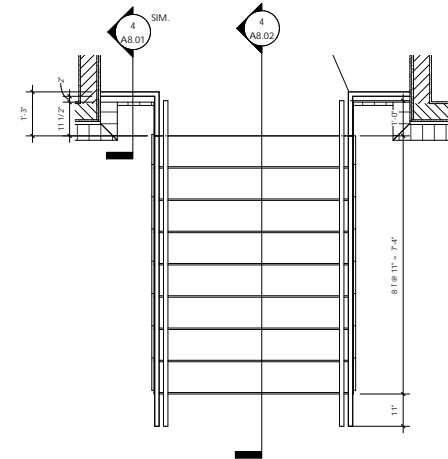


BLDG 1 - STAIR PLANS

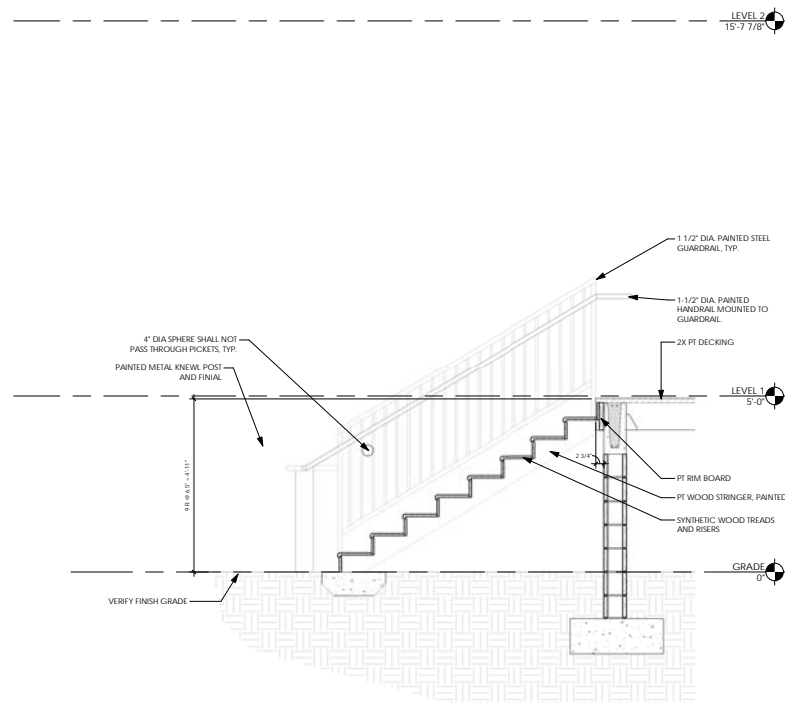
A8.01



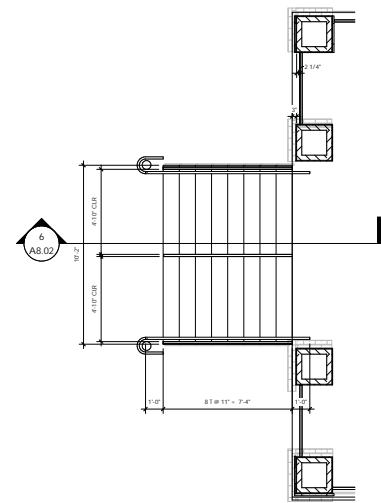
4 BLDG 1 - EXTERIOR STAIR SECTION
1/2" = 1'-0"



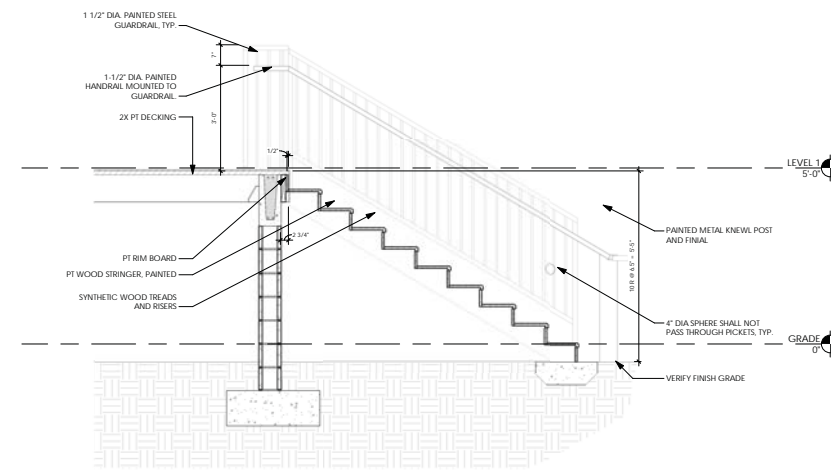
2 BLDG 1 - EXTERIOR STAIR PLAN
1/2" = 1'-0"



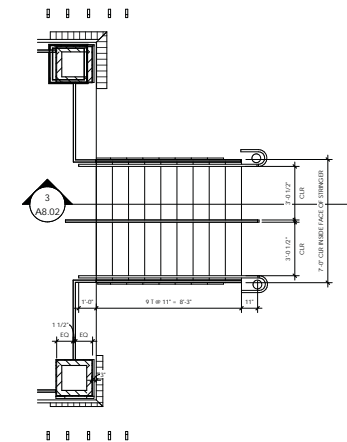
6 BLDG 2 STAIR SECTION 2
1/2" = 1'-0"



5 BLDG 2 - STAIR PLAN 2
1/4" = 1'-0"



3 BLDG 2 - STAIR 1 SECTION
1/2" = 1'-0"



1 BLDG 2 - STAIR PLAN 1
1/4" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC

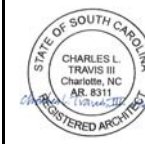
HOUSING
STUDIO

333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



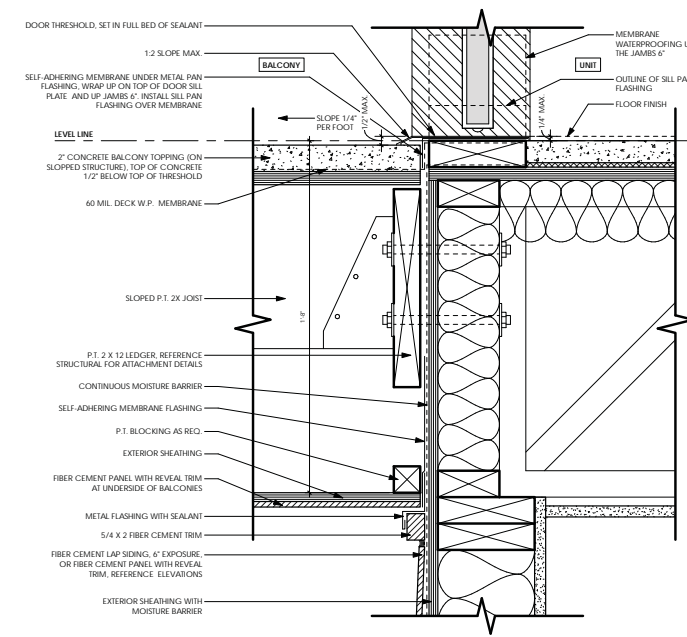
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

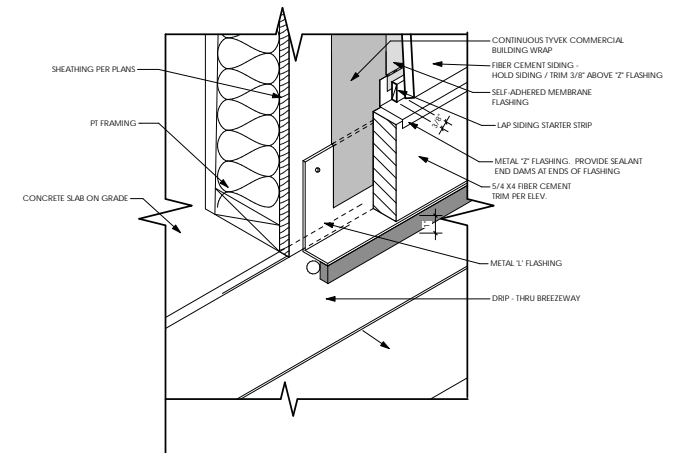


BLDG 2 - STAIR PLANS

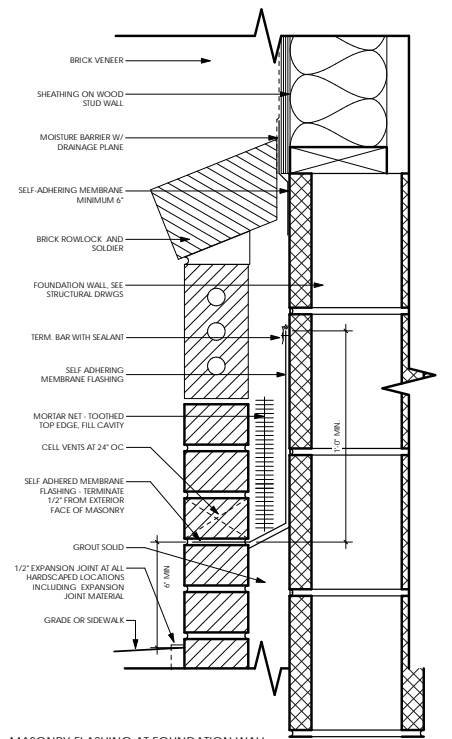
A8.02



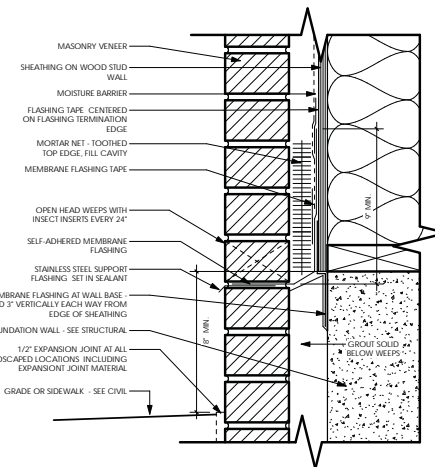
1 TYPICAL DOOR THRESHOLD AT CONCRETE BALCONY
3" = 1'-0"



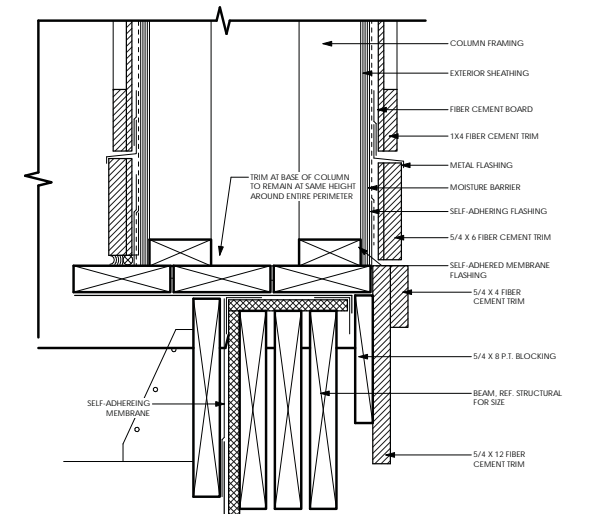
3 BASE OF FIBER CEMENT SIDING / TRIM AT BALCONY
3" = 1'-0"



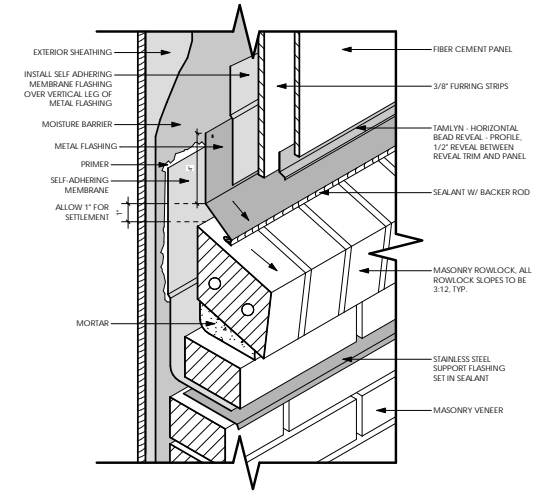
4 MASONRY FLASHING AT FOUNDATION WALL
3" = 1'-0"



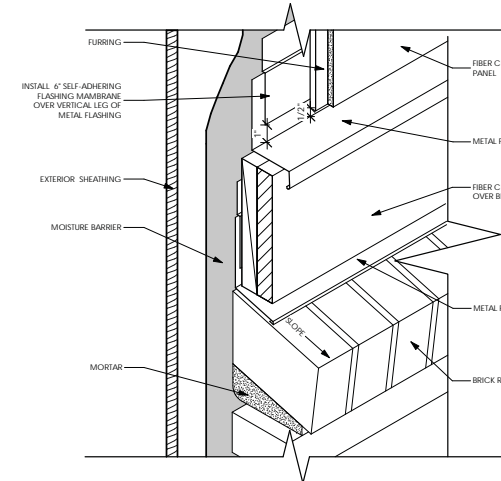
5 MASONRY FLASHING AT GRADE
3" = 1'-0"



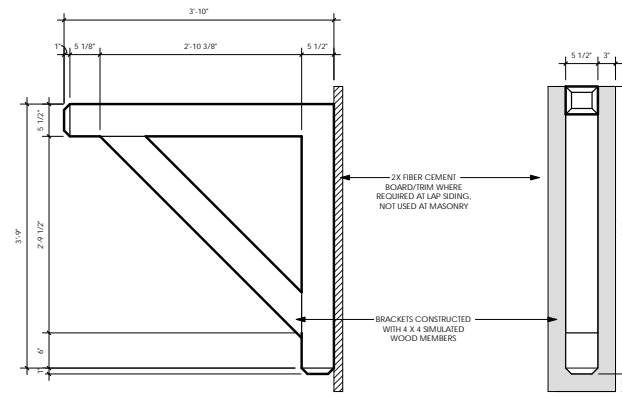
2 BASE OF FIBER CEMENT COLUMN TRIM AT PATIO EDGE
3" = 1'-0"



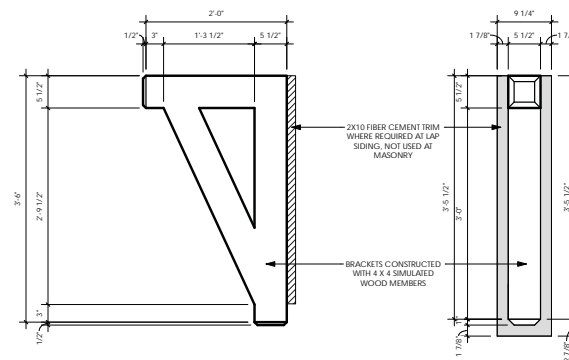
3 HORIZONTAL TRANSITION - FIBER CEMENT PANEL WITH REVEAL TRIM TO BRICK
3" = 1'-0"



2 HORIZ. TRANSITION - BRICK TO PANEL WITH TRIM W/ FLASHING
3" = 1'-0"

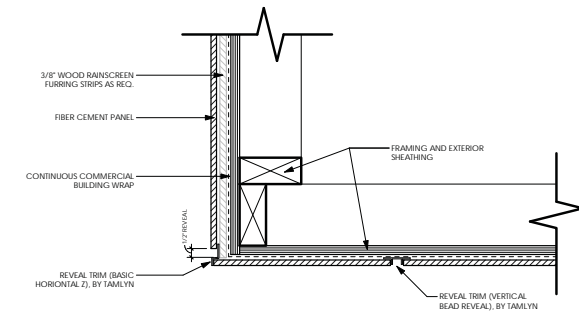


BRACKET B



BRACKET A

4 ACCENT BRACKET SCHEDULE
1" = 1'-0"



1 FIBER CEMENT PANEL SOFFIT SECTION DETAIL
3" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

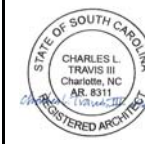
HILTON HEAD ISLAND, SC

HOUSING
STUDIO
333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



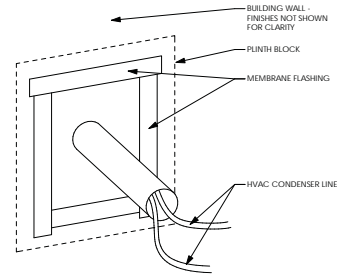
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP - STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS

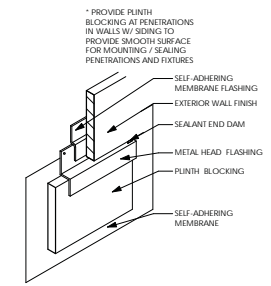


BUILDING DETAILS

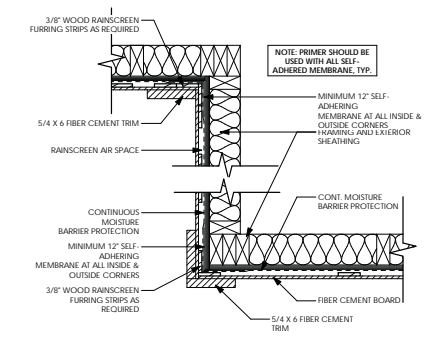
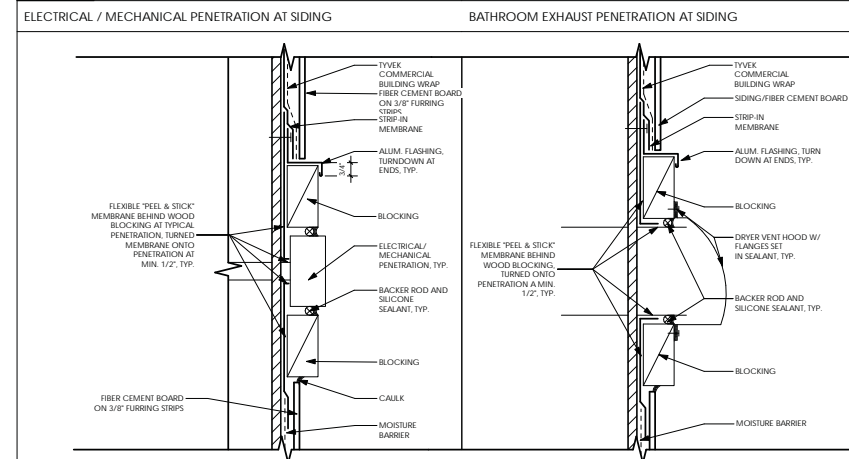
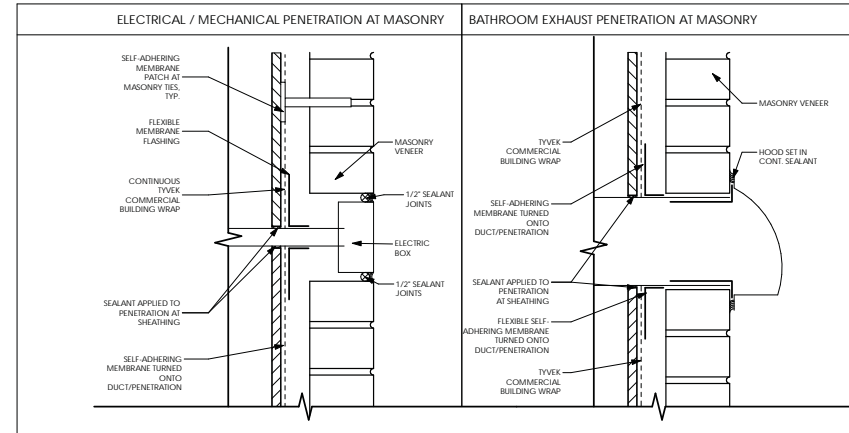
A9.02



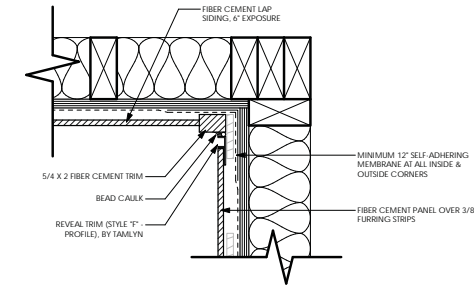
④ HVAC CONDENSER LINES
1" = 1'-0"



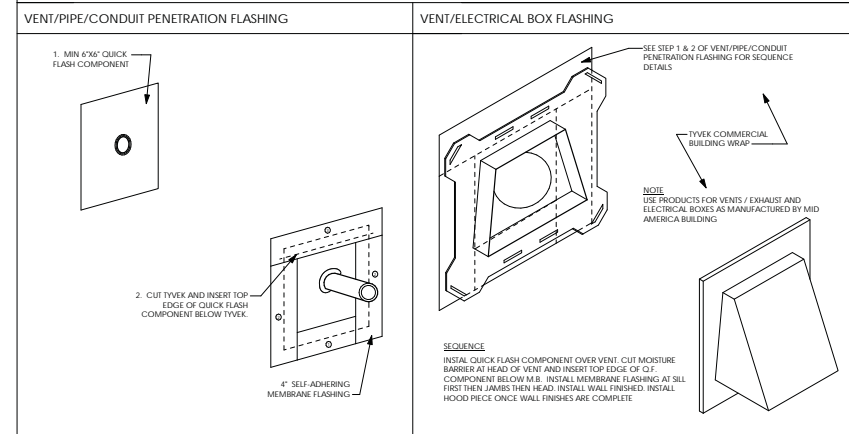
④ EXTERIOR WALL PLINTH FLASHING DETAIL
1" = 1'-0"



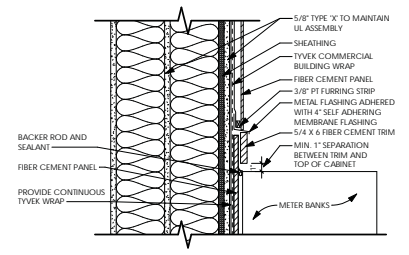
③ INSIDE/OUTSIDE CORNER AT FIBER CEMENT PANEL
1 1/2" = 1'-0"



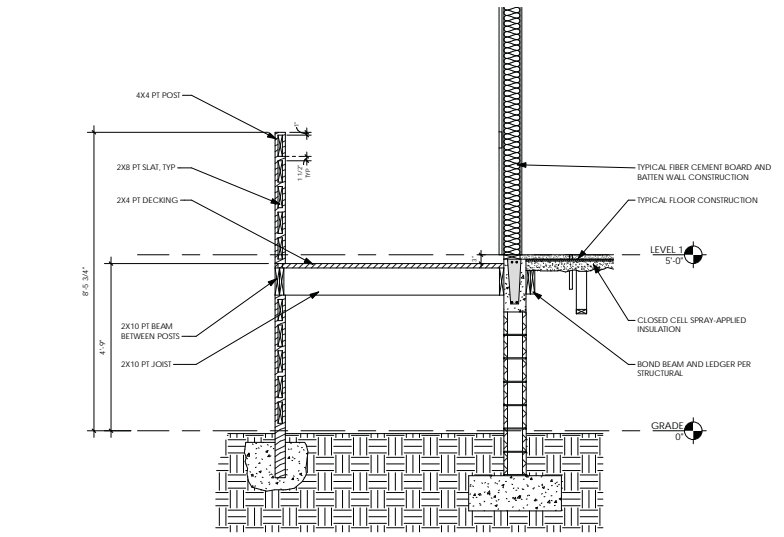
② INSIDE CORNER AT FIBER CEMENT PANEL & LAP SIDING TRANSITION
3" = 1'-0"



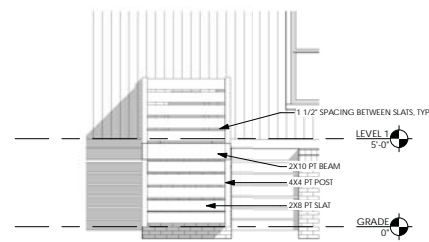
⑤ EXTERIOR WALL PENETRATIONS
3" = 1'-0"



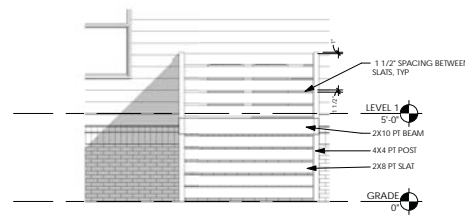
① METERBANK WALL FLASHING AND TRIM
1 1/2" = 1'-0"



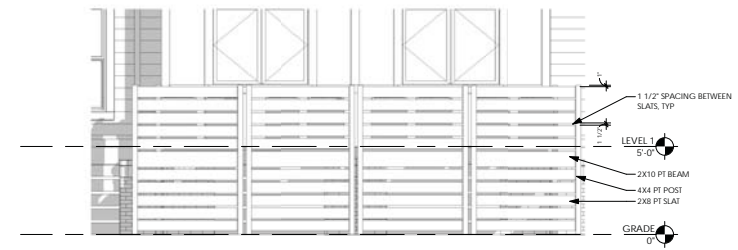
3 HVAC SCREEN SECTION
1/2" = 1'-0"



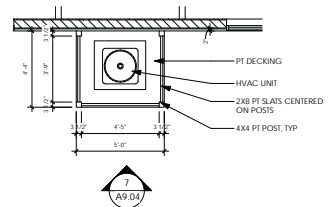
7 HVAC SCREEN ELEVATION - CLUB
1/4" = 1'-0"



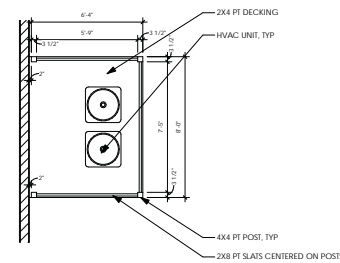
5 HVAC SCREEN ELEVATION - SMALL
1/4" = 1'-0"



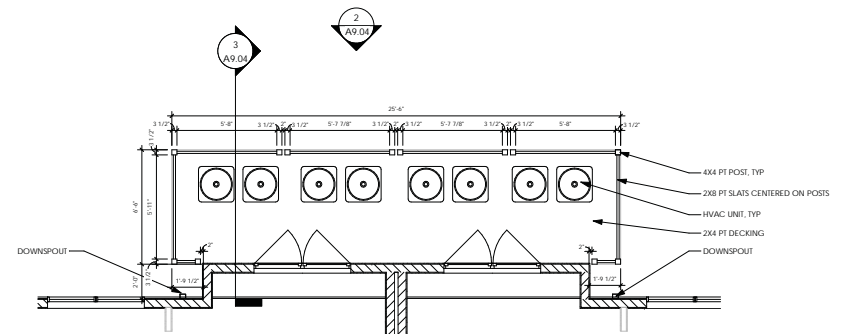
2 HVAC SCREEN ELEVATION - LARGE
1/4" = 1'-0"



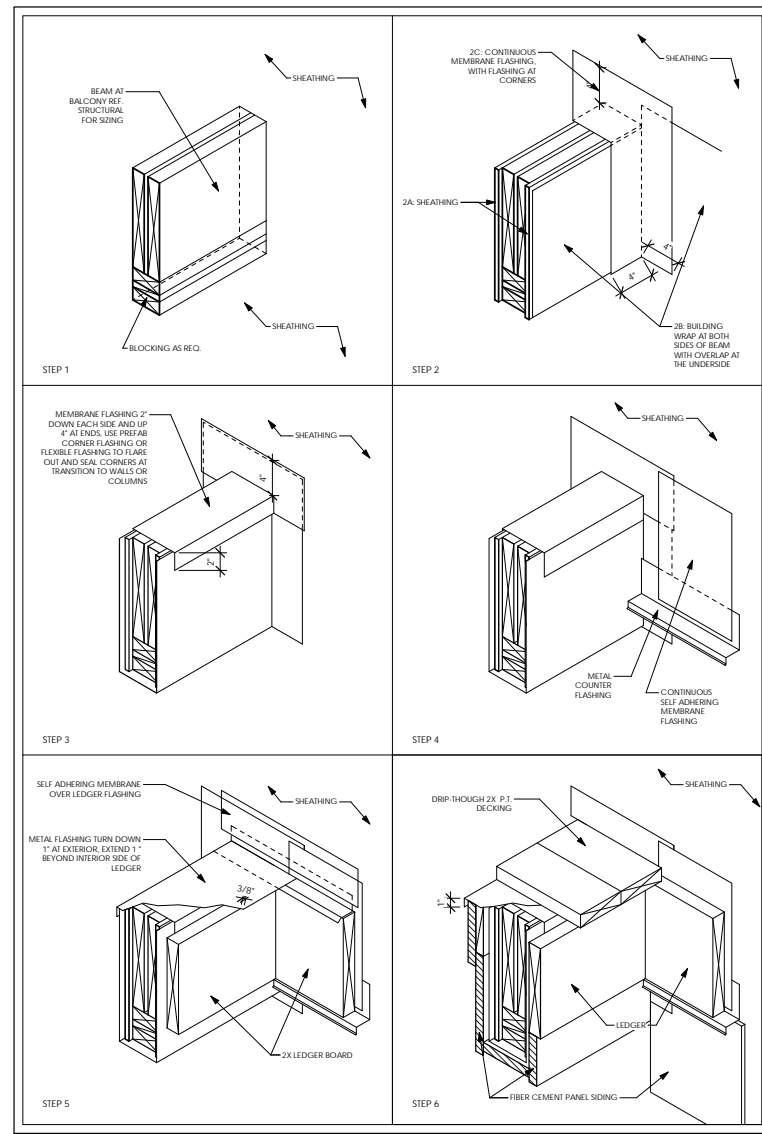
6 HVAC SCREEN PLAN - CLUB
1/4" = 1'-0"



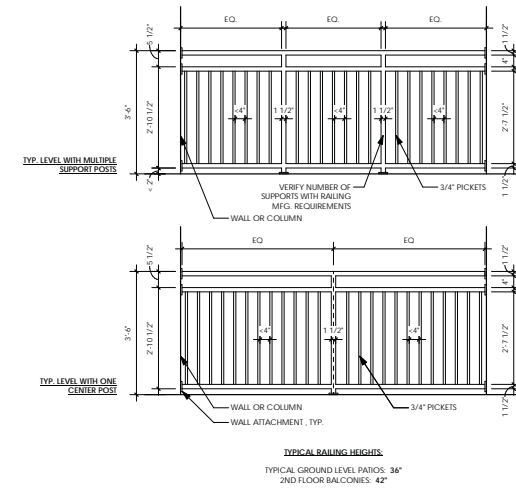
4 HVAC SCREEN PLAN - SMALL
1/4" = 1'-0"



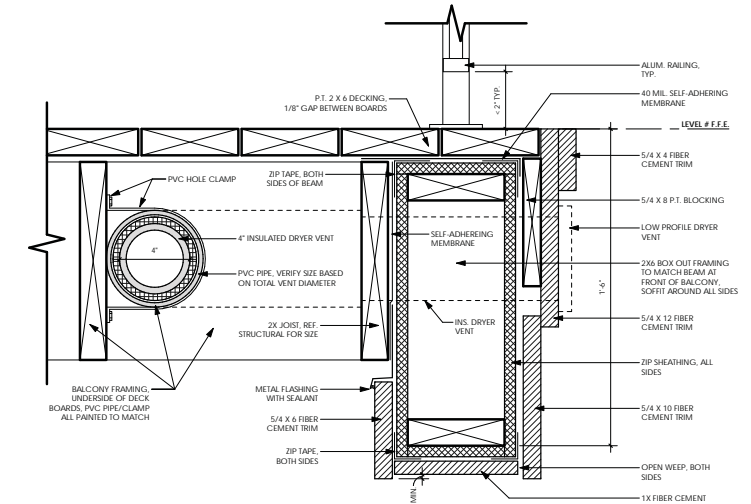
1 HVAC SCREEN PLAN - LARGE
1/4" = 1'-0"



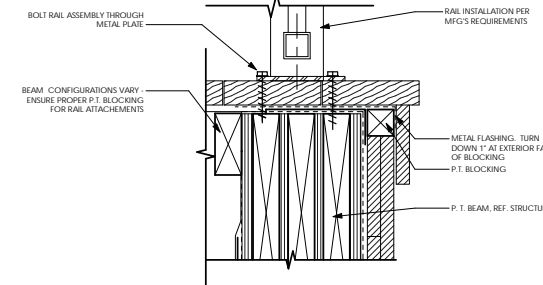
5 BALCONY BEAM AT WALL INSTALLATION SEQUENCE
1 1/2" = 1'-0"



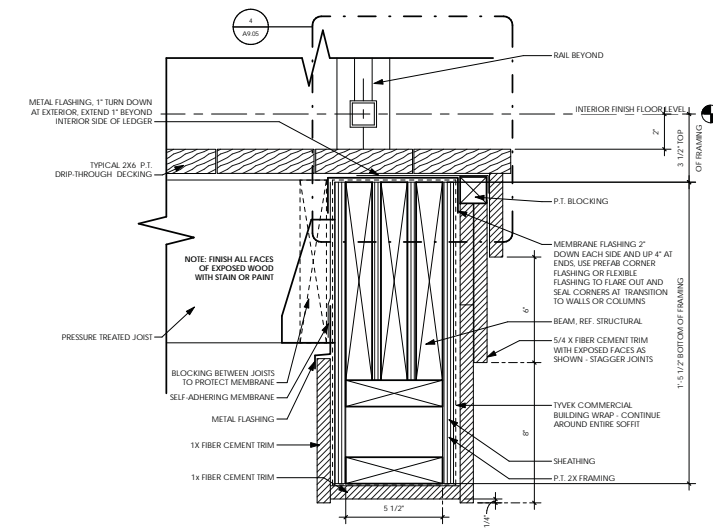
3 TYPICAL RAILING ELEVATIONS
1/2" = 1'-0"



2 DRYER VENT DETAIL AT DRIP THRU BALCONY
3" = 1'-0"



4 RAIL ATTACHMENT AT DRIP THROUGH BALCONY
3" = 1'-0"



1 DRIP THROUGH BALCONY EDGE DETAIL 1
3" = 1'-0"

SEA PINES - PALMETTO BAY LODGES
: WORKFORCE HOUSING

HILTON HEAD ISLAND, SC

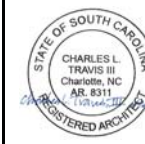
HOUSING
STUDIO

333 West Trade Street, Suite 300
Charlotte, NC 28202
T: 704.333.7862 F: 980.237.3862



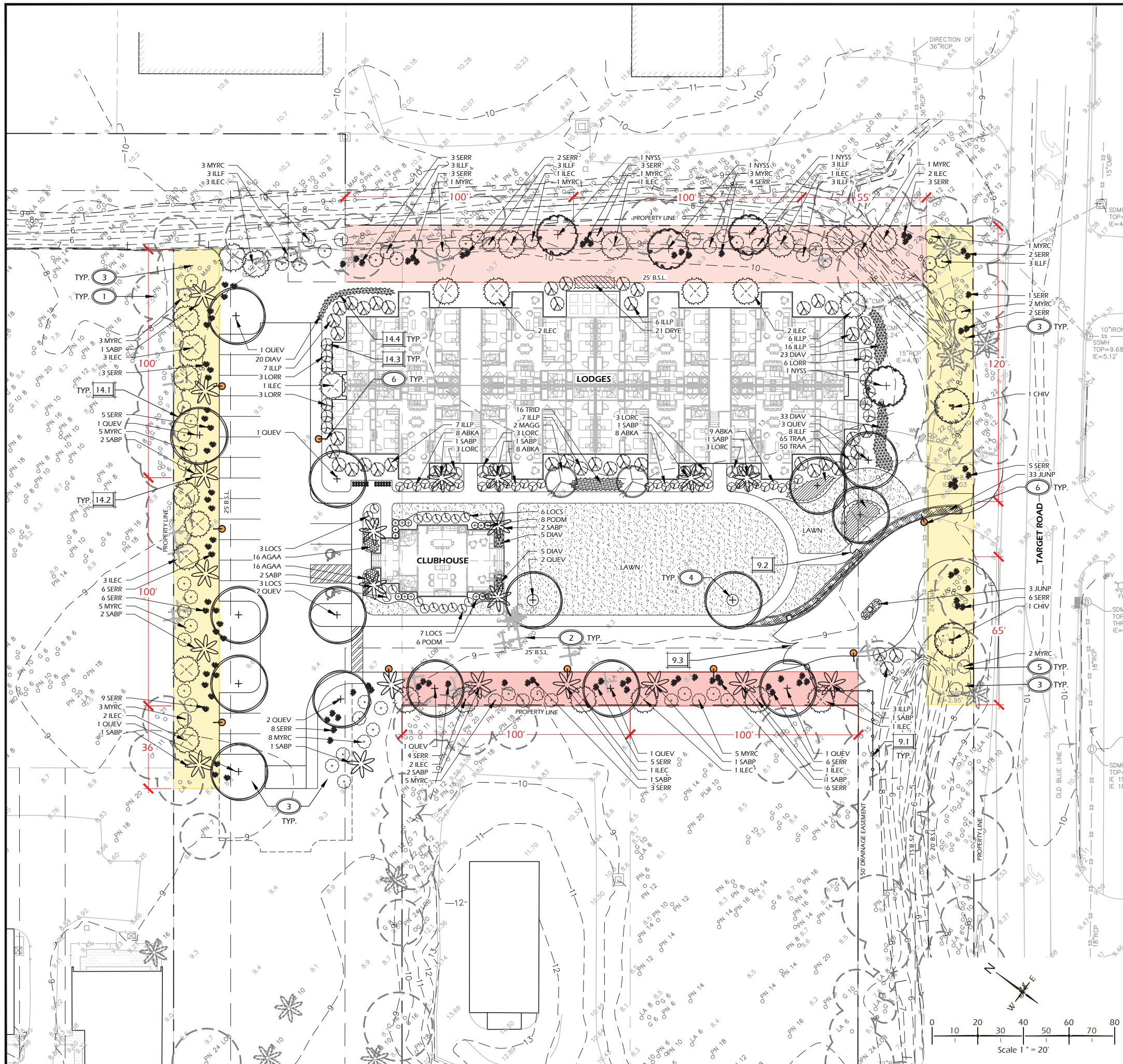
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - MEP- STRUCTURAL

PROJECT NUMBER: 1920
ISSUE DATE: AUGUST 25, 2020
ISSUED FOR: PERMIT DOCUMENTS



BALCONY DETAILS

A9.05



BUFFER SUMMARY						
BUFFER SECTION	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
NORTHEAST BUFFER (TYPE B - OPTION 1, 25' WIDE)						
SEC. 1 (100 LF)	3	4 (2 EXISTING)	6	6	10	15
SEC. 2 (100 LF)	3	3 (1 EXISTING)	6	6	10	10
SEC. 3 (55 LF)	2	(2 EXISTING)	3	3	5	6
SOUTHWEST BUFFER (TYPE B - OPTION 2, 15' WIDE)						
SEC. 1 (100 LF)	4	4	8	8	12	12
SEC. 2 (100 LF)	4	4	8	8	12	12
SOUTHEAST BUFFER (TYPE A - OPTION 1, 20' WIDE)						
SEC. 1 (120 LF)	2	(9 EXISTING)	4	4	10	13
SEC. 2 (65 LF)	1	(4 EXISTING)	2	3	5	6
NORTHWEST BUFFER (TYPE A - OPTION 1, 20' WIDE)						
SEC. 1 (100 LF)	2	4 (1 EXISTING)	3	10	8	11
SEC. 2 (100 LF)	2	3	3	10	8	16
SEC. 3 (36 LF)	1	1	1	3	3	3

SITE DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
9.1	WOODEN FENCE	1/L600
9.2	PEDESTRIAN GATE	2/L600
9.3	VEHICULAR GATE	3/L600

PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L501
14.2	PALM TREE PLANTING	2/L501
14.3	SHRUB PLANTING	3/L501
14.4	GROUND COVER PLANTING	4/L501

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
MAGG	Magnolia grandiflora	Southern Magnolia
NYSS	Nyssa sylvatica	Black Gum
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
CHIV	Chionanthus virginicus	Fringe Tree
ILEC	Ilex cassine	Dahoon Holly
MYRC	Myrica cerifera	Wax Myrtle
SHRUBS		
ABKA	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia
ILLF	Illicium floridanum	Florida Anise
ILLP	Illicium parviflorum	Yellow Anise
LOCS	Loropetalum chinense 'Shangwhite' PP21738	Emerald Snow Fringe Flower
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower
LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower
PODM	Podocarpus macrophyllus	Podocarpus
SERR	Serenoa repens	Saw Palmetto
ORNAMENTAL GRASSES & FERNS		
DRYE	Dryopteris erythrosora	Autumn Fern
TRID	Tripsacum dactyloides	Fakahatchee Grass
GROUND COVERS, VINES & PERENNIALS		
AGAA	Agapanthus africanus	Lily of the Nile
DIAV	Dianella tasmanica 'Variegata'	Variegated Flax Lily
JUNP	Juniperus chinensis 'Parsonii'	Parson's Juniper
TRAA	Trachelospermum asiaticum	Asiatic Jasmine

- PLANTING REFERENCE NOTES:**
- 1 EXISTING TREES TO REMAIN.
 - 2 EXISTING TREES TO BE REMOVED.
 - 3 MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - 4 MULCH RING, TYP.
 - 5 CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
 - 6 STREET LIGHT LOCATION.

SITE DEVELOPMENT PLANS
 FOR
PALMETTO BAY LODGES
 LANDSCAPE PLAN
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2020
 PROJECT NO.: 20044.01
 DRAWN BY: CK
 CHECKED BY: BW

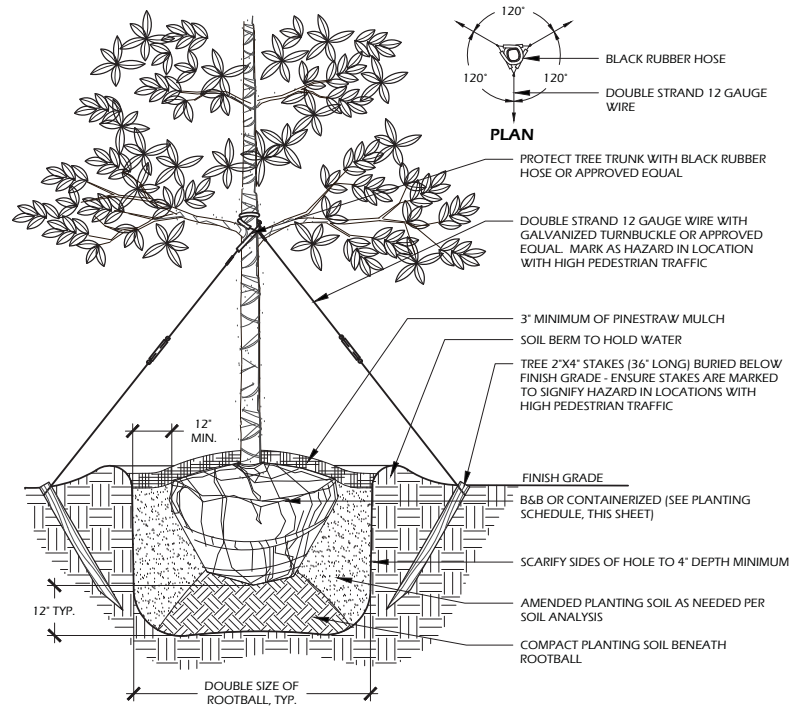
PRELIMINARY
 SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION

REVISIONS:

 DRAWING TITLE
PLANTING PLAN

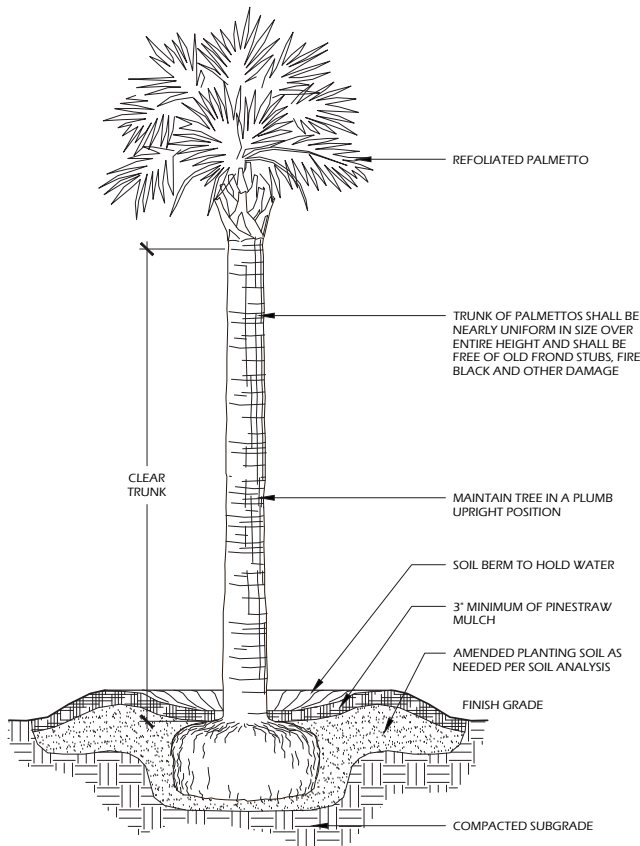
DRAWING NUMBER
L500

Winters Jones Keefer
 Ltd.
 landscape architecture
 land planning
 www.wjk.com
 23 Promenade Street, Suite 201 | Bluffton, South Carolina | 29910 | Ph: 843.797.7411



- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.

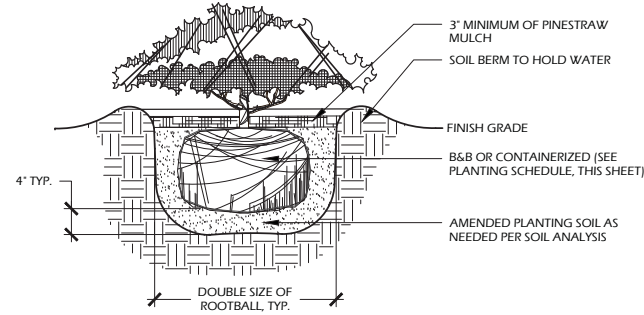
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
2	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	-	Full to ground
4	NYSS	Nyssa sylvatica	Black Gum	10'-12'	5'-6'	Cont.	2"	Full
16	QUEV	Quercus virginiana	Live Oak	10'-12'	6'-8'	Cont.	2"	Full
21	SABP	Sabal palmetto	Cabbage Palm	10'-14'	6'-8'	Cont.	-	Refoliated, See plan for heights
UNDERSTORY TREES								
2	CHV	Chionanthus virginicus	Fringe Tree	6'-7'	3'-4'	15 gal.	-	Full
28	ILEC	Ilex cassine	Dahoon Holly	6'-7'	3'-4'	15 gal.	-	Full
48	MYRC	Myrica cerifera	Wax Myrtle	6'-7'	2'-3'	30 gal.	-	Full
SHRUBS								
33	ABKA	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	30'-36"	24'-30"	7 gal.	-	Full
18	ILF	Illicium floridanum	Florida Anise	30'-36"	24'-30"	7 gal.	-	Full
44	ILP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
19	LOCS	Loropetalum chinense 'Shang-white' PP21738	Emerald Snow Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
12	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
12	LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
14	PODM	Podocarpus macrophyllus	Podocarpus	36'-42"	24'-30"	7 gal.	-	Full
101	SERR	Serenia repens	Saw Palmetto	36' min.	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
21	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
16	TRID	Tripsacum dactyloides	Fakahatchee Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
32	AGAA	Agapanthus africanus	Lily of the Nile	12'-18"	8'-12"	1 gal.	18" O.C.	Blue Flowers, Full
86	DIAY	Dianella tasmanica 'Variegata'	Variegated Flax Lily	12'-18"	12'-18"	1 gal.	24" O.C.	Full
36	JUNP	Juniperus chinensis 'Parsonii'	Parson's Juniper	6'-10"	8'-12"	1 gal.	36" O.C.	Full
115	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12' runners	1 gal.	18" O.C.	Full
SOD & MULCH								
7,280	LAWN-SF	-	Centipede Sod	-	-	-	-	-
31,600	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

TREE MITIGATION TABLES:

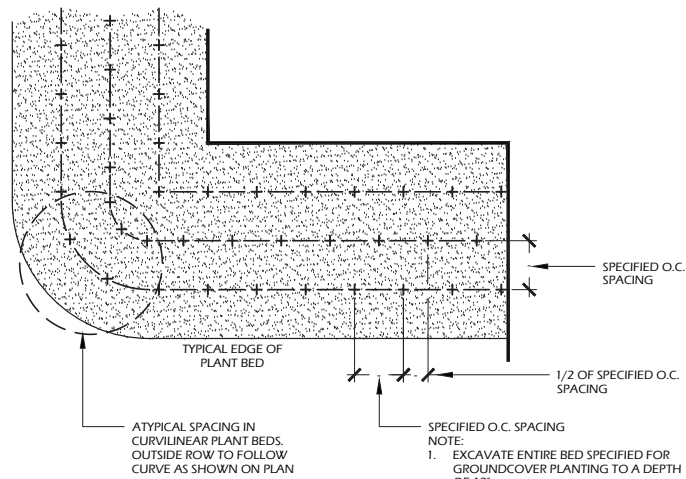
Species Abbrev.	Trees Removed						Tree Mitigation Calculations				
	LO	LA	G	BIR	PLM	PN	CAT. I	CAT. II	CAT. III	CAT. IV	
Caliper Inches	11	10	9	13	15	20	# OF TREES TO BE REMOVED	4	9	13	0
		15	7			10	TOTAL # OF DBH INCHES	45	114	249	0
		9	12			16	CALCULATION	45 + 10 = 4.5	114 + 10 = 11.4	249 + 10 = 24.9	0 + 0 = 0
		12	18			20	# OF NEW TREES REQUIRED	5	11	25	0
		17	17			20	# OF NEW TREES PROVIDED	18	11	21	23*
		18	18			20	*NOTE: 8 CAT. IV TREES TO BE USED TO MEET THE ADDITIONAL 4 CAT. III TREES REQUIRED				
		20	20			22					
		20	20			18					
		22	22			18					
		20	20			18					
Species DBH Totals	11	34	101	13	15	234					
Total DBH Inches	CAT. I	45	CAT. II	114	CAT. III	249					

TREE LEGEND: LO-Live Oak, LA-Laurel Oak, G-Sweet Gum, BIR-River Birch, PLM-Palmetto, PN-Pine

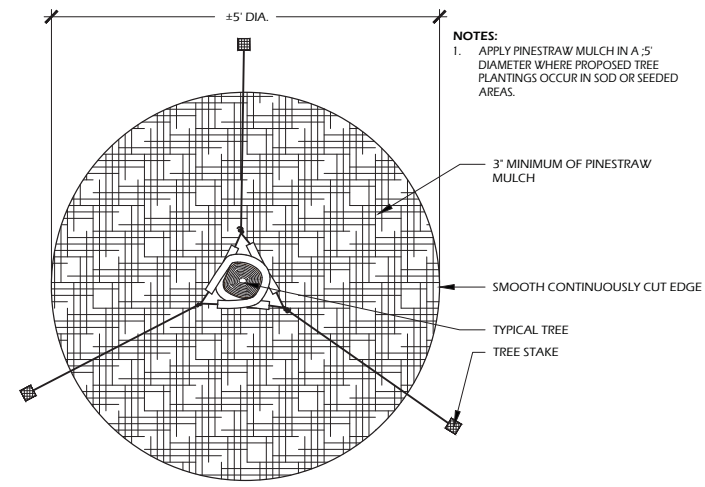


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.



5 // L501 TREE STAKING
SCALE: N.T.S.

SITE DEVELOPMENT PLANS FOR
PALMETTO BAY LODGES
LANDSCAPE PLAN
HILTON HEAD ISLAND, SOUTH CAROLINA

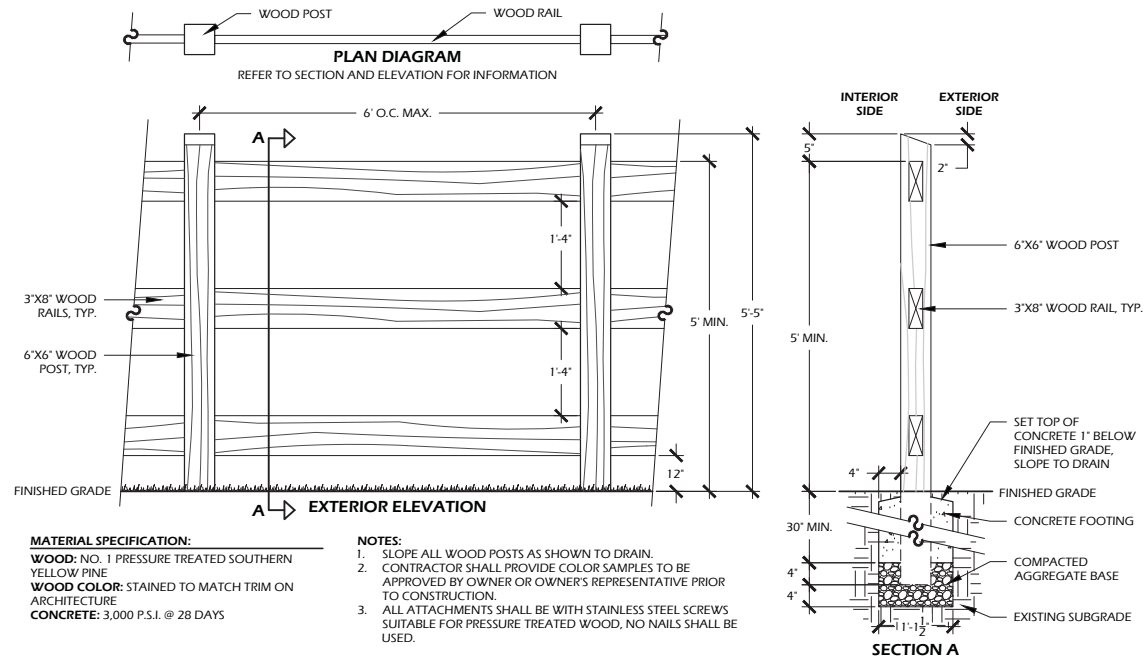
DATE: AUG 25, 2020
PROJECT NO.: 20044.01
DRAWN BY: CK
CHECKED BY: BW

PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION

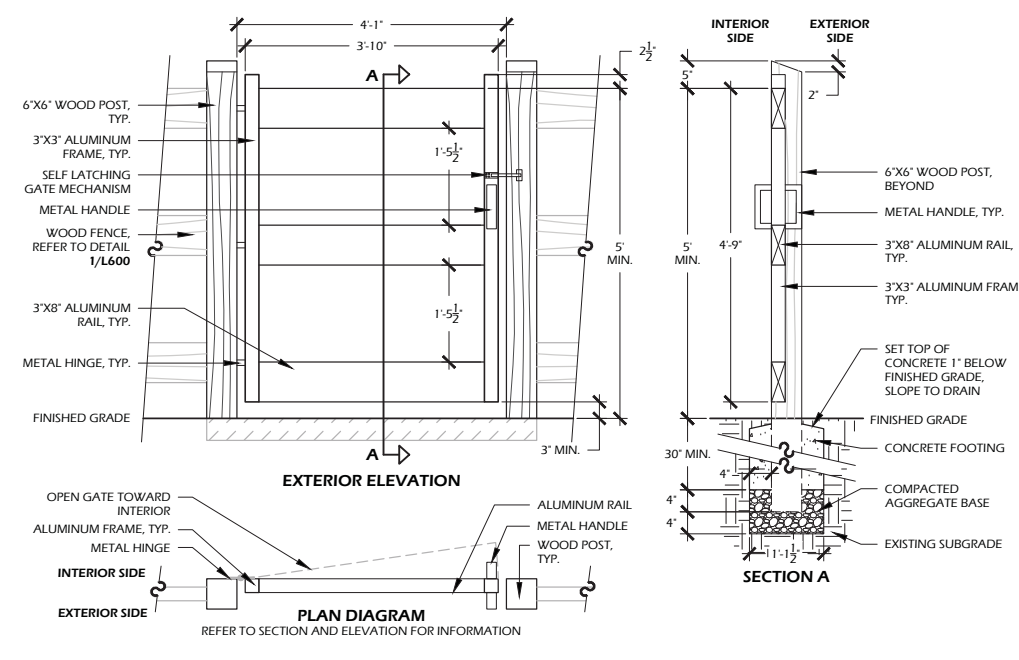
REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

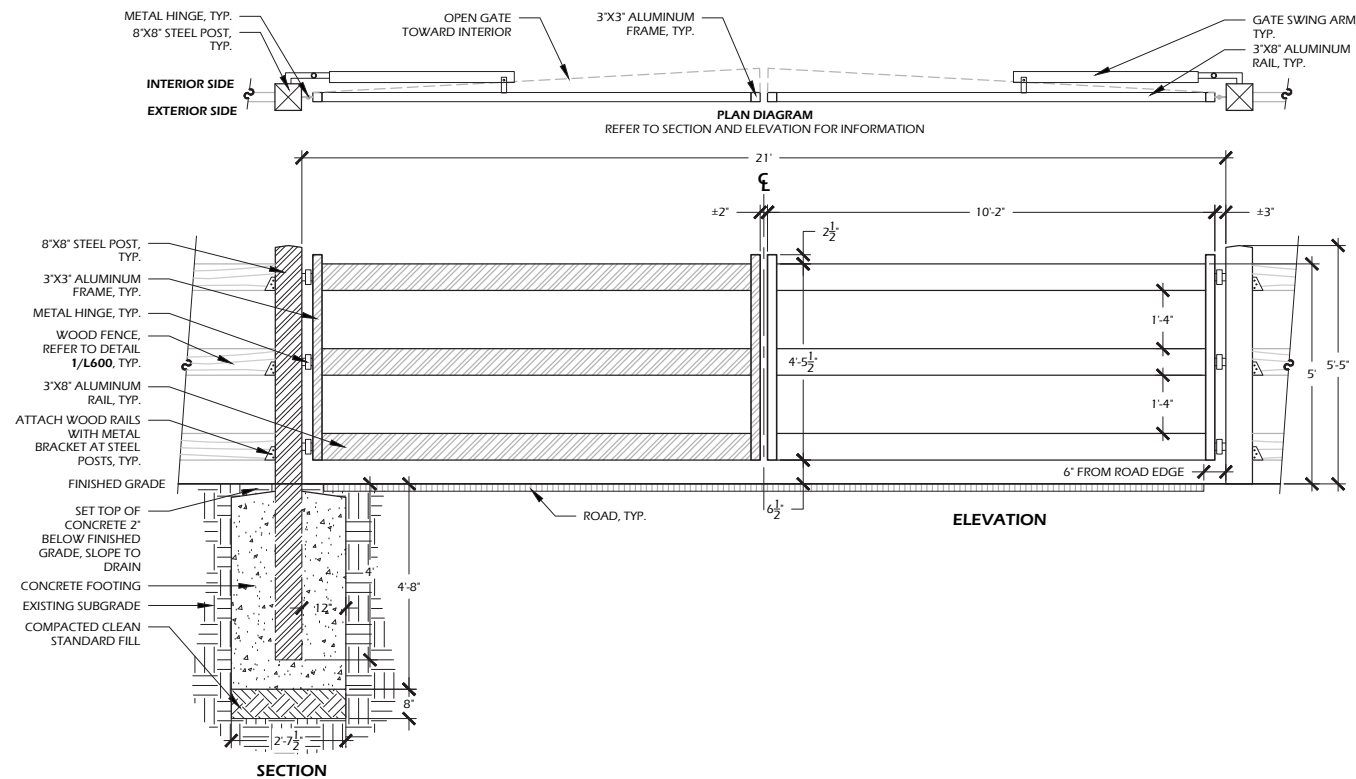
DRAWING NUMBER
L501



1 // L600 WOOD FENCE
SCALE: 3/4" = 1'-0"



2 // L600 PEDESTRIAN GATE
SCALE: 3/4" = 1'-0"



3 // L600 VEHICULAR GATE
SCALE: 1/2" = 1'-0"

MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED TO MATCH TRIM ON ARCHITECTURE
CONCRETE: 3,000 P.S.I. @ 28 DAYS

GATE INFORMATION:
GATE: CUSTOM ALUMINUM GATE. FINAL SHOP DRAWINGS TO BE PROVIDED BY FABRICATOR FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
COLOR: POWDER COATED TO MATCH TRIM ON ARCHITECTURE

LATCH AND HINGE INFORMATION:
LATCH: (METAL) SELF LATCHING, BLACK IN COLOR, MODEL BY OWNER
HINGE: (METAL) BLACK IN COLOR, MODEL BY OWNER
HANDLE: (METAL), BLACK IN COLOR, MODEL BY OWNER

NOTES:
1. SLOPE WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
2. CONTRACTOR SHALL PROVIDE SAMPLES OF LATCH, HINGE AND HANDLE FOR APPROVAL BY OWNER PRIOR TO ORDERING.
3. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL CONFIRM GATE OPENING AND HINGE ATTACHMENTS TO WOOD POST PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND / OR LANDSCAPE ARCHITECT.
5. IT IS THE RESPONSIBILITY OF THE GATE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR AND PROVIDE SHOP DRAWINGS AND STRUCTURAL DRAWINGS FOR GATE ASSEMBLY INCLUDING, BUT NOT LIMITED TO, ALUMINUM GATE, CONNECTIONS / WELDS, HINGES, ETC. FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
6. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.



© 2020 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
PALMETTO BAY LODGES
LANDSCAPE PLAN
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2020
PROJECT NO.: 20044.01
DRAWN BY: CK
CHECKED BY: BW



PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

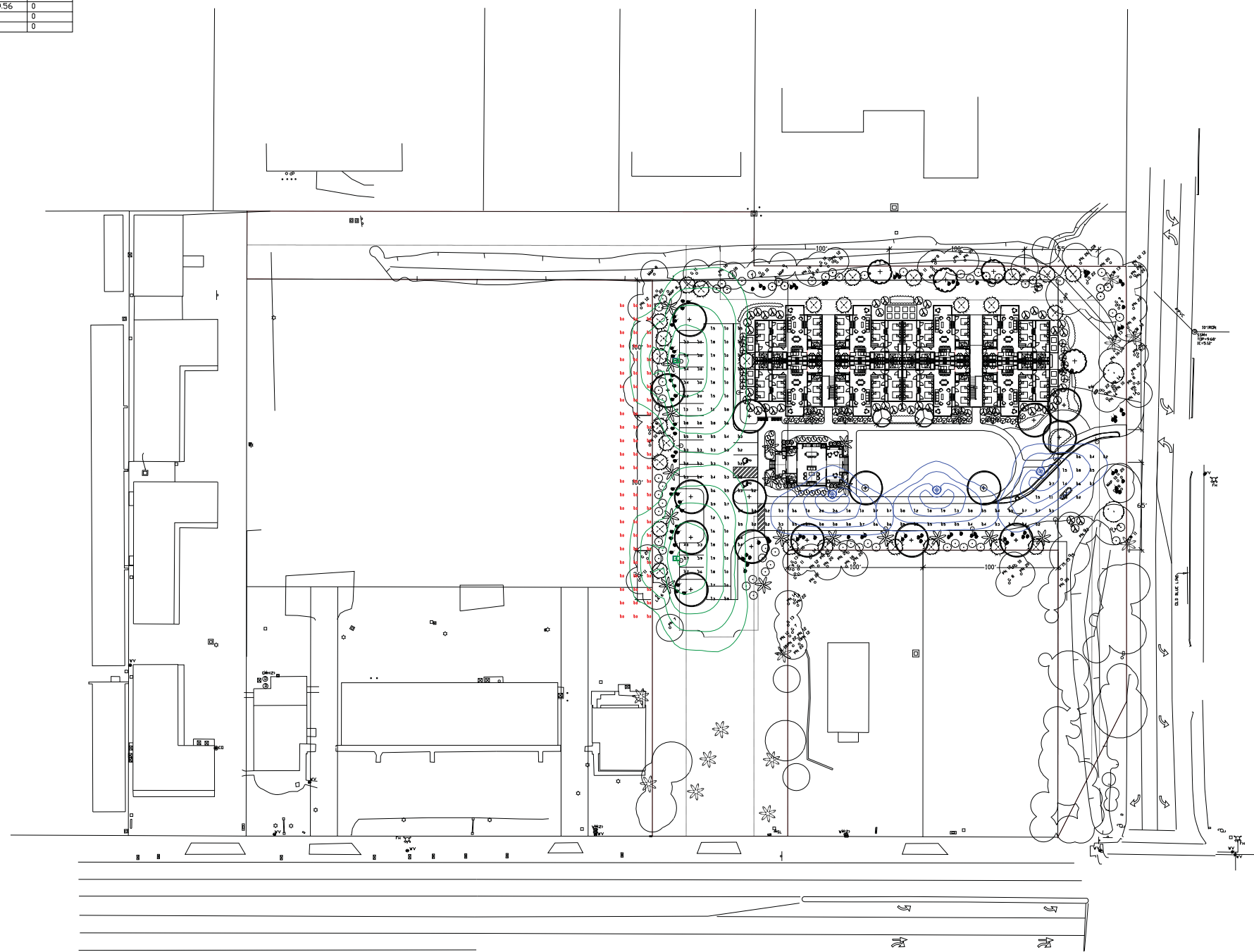
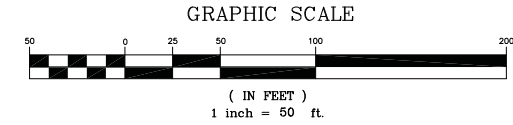
DRAWING NUMBER

L600

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	3	Hagerstown	SINGLE	NA	0.720	100ED LED on 14' Decorative Pole
	2	Large Autobahn	SINGLE	NA	0.720	250ED LED on 25' pole, 20' mounting height

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	1.40	5.7	0.2	7.00	28.50
Roadway	Illuminance	Fc	0.75	2.7	0.2	3.75	13.50
Shielded Area 1	Illuminance	Fc	0.00	0.0	0.0	NA	NA
Shielded Area 2	Illuminance	Fc	0.00	0.0	0.0	NA	NA

LumNo	Label	X	Y	Z	Orient	Tilt
1	Hagerstown	331.778	511.685	14	304.257	0
2	Hagerstown	255.03	497.911	14	271.54	0
3	Hagerstown	177.747	494.739	14	269.56	0
4	Large Autobahn	61.41	593.441	20	0	0
5	Large Autobahn	61.272	447.267	20	0	0



LED LARGE AUTOBAHN
APPLICATIONS
 Valleys, driveway, malls, shopping centers, commercial and industrial complexes, and residential areas.
SPECIFICATIONS
 UL1572 Listed Suitable For Wet Locations
 Heavy-duty die-cast aluminum housing and door
 Polyester powder finish standard in dark bronze

HAGERSTOWNE
APPLICATIONS
 Shopping centers, malls, courtyards, parks, residential areas.
SPECIFICATIONS
 Automatic sconce design
 Die-cast aluminum housing
 Ruggedly crafted of heavy duty aluminum
 For decades of superior service
 Black finish

NOTES
 1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 3. ANY OBSTRUCTIONS OR THE INTRODUCTION OF WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
 THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. SECURITY LIGHTS ONLY.
 COPYRIGHT: PALMETTO ELECTRIC COOPERATIVE, INC. 2018
 ALL RIGHTS RESERVED. THESE PAGES ARE PROTECTED BY UNITED STATES AND INTERNATIONAL LAWS. UNAUTHORIZED COPYING, DISTRIBUTION, ALTERATION OR USE BY ANY MEANS IS STRICTLY PROHIBITED.

PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HARDEEVILLE, SOUTH CAROLINA 29927
 (843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: ML
 CHECKED BY: ML
 DRAWN BY: RBT
 DATE: 8/25/20
 SCALE: 1" = 50'
 PROJECT NO.: 2004011L-1
 MAP NO.: 00000000
 SHEET NO. 1 OF 1

LIGHTING PROPOSAL FOR
 PALMETTO BAY LODGES
 PALMETTO BAY ROAD
 TOWN OF HILTON HEAD
 BEAUFORT COUNTY, SOUTH CAROLINA

NAME: X:\MAPS\2020\2004011L-1.DWG

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Palmetto Bay Lodges

DRB#: DRB-001730-2020

DATE: 08/28/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify a gray mortar on the plans.
2. Upgrade the Live Oaks in the lawn and at the southern corner of the building from 2” caliper to 4” caliper.
3. Revise the lighting plan to meet LMO requirements.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Conceptual NOA specifies gray mortar. Please specify.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Upgrade the Live Oaks in the lawn and at the southern corner of the building from 2” caliper to 4” caliper to help screen the buildings from Target Road.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies			Comments or Conditions

	Yes	No	Not Applicable	
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The larger pine on the west side was removed for proximity to road. Upsizing the oaks (see above) helps mitigate loss.

<i>MISC COMMENTS/QUESTIONS</i>
Parking lot lighting exceed the 1 foot candle average allowed in the LMO.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Mike Ruegamer Company: Group 3 Design
 Mailing Address: 1600 Main Street City: HHI State: SC Zip: 29926
 Telephone: 843-689-9060 Fax: 843-689-9072 E-mail: mike@group3designs.net
 Project Name: 4 Beach Villa (Palmetto Dunes) Project Address: 12 Dunc House Lane
 Parcel Number [PIN]: R 520 016 000 0095 0000
 Zoning District: PD-1 Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches. **See Narrative**
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

(Mike Ruegamer)

9-24-20
DATE



ARCHITECTURE

INTERIOR DESIGN

DESIGN STUDIO

August 24, 2020

**Corridor Review Narrative
Alterations to 4 Beach Villa, Palmetto Dunes**

Beach Villas is a condominium complex of 17 units in 6 buildings, oceanfront in Palmetto Dunes. Unit 4 is an end unit on the beach side. The renovation includes moving the rear (beach side) wall and sliding door of the bedroom bay on the first floor out 7' to enclose an existing deck. The renovation does not extend beyond the existing slab and side privacy walls. A new 2'x4' window is being added to the side wall. Exterior finishes and colors will match the existing.

No trees are being removed as part of this work.

The Homeowners Association has approved the renovation and a letter is attached. The Palmetto Dunes ARB does not review multi-family projects until the issuance of Town building permit.

Map and photos of the property are attached.

Note that a site survey is not included. We spoke to several surveyors to try to get a partial survey of the area around just this unit. They were unable to without doing the entire complex, there is nothing for them to tie into. To survey the entire site would have cost thousands. Because the addition is still within the same footprint, walls and roof and this particular unit sits back from other units in the complex, we hope that a site plan will not be required.

TAKE A STROLL THROUGH OUR GALLERY AT
GROUP3DESIGNS.NET

843-689-9060 / 1600 MAIN STREET / HILTON HEAD ISLAND, SC 29926

BEACH VILLAS, HPR I

Board of Directors

Raymond Ohlson, Dale Dawson, Mark Stalica, Philip Slavin, Peggy Kaminski

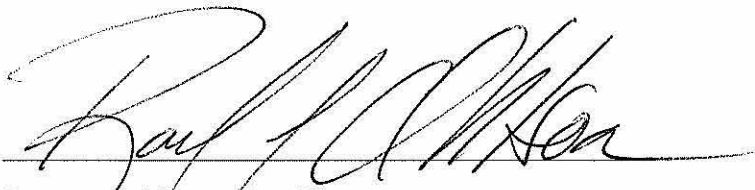
August 24, 2020

To: Town of Hilton Head Island Design Review Board

From: Beach Villas HPR Board of Directors

Re: Unit 4 Addition

The Board has reviewed plans by Group 3 Designs dated 07-20-20 and **APPROVED** as submitted for the addition of a new window to the side and a new rear sliding door relocated approximately 8'. Colors to match existing.



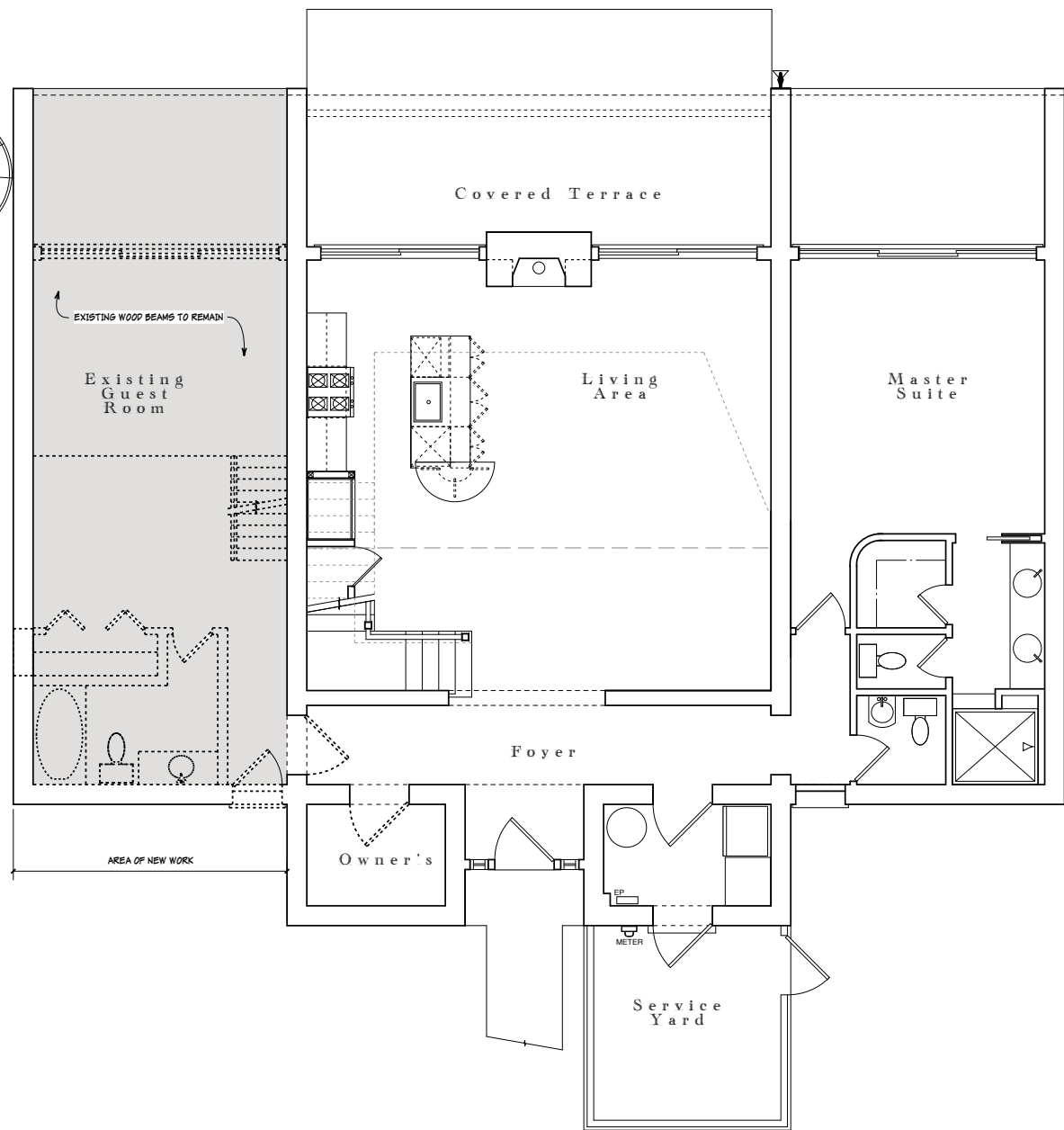
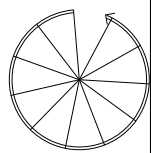
Raymond Ohlson, President

Unit 4 Beach Villas

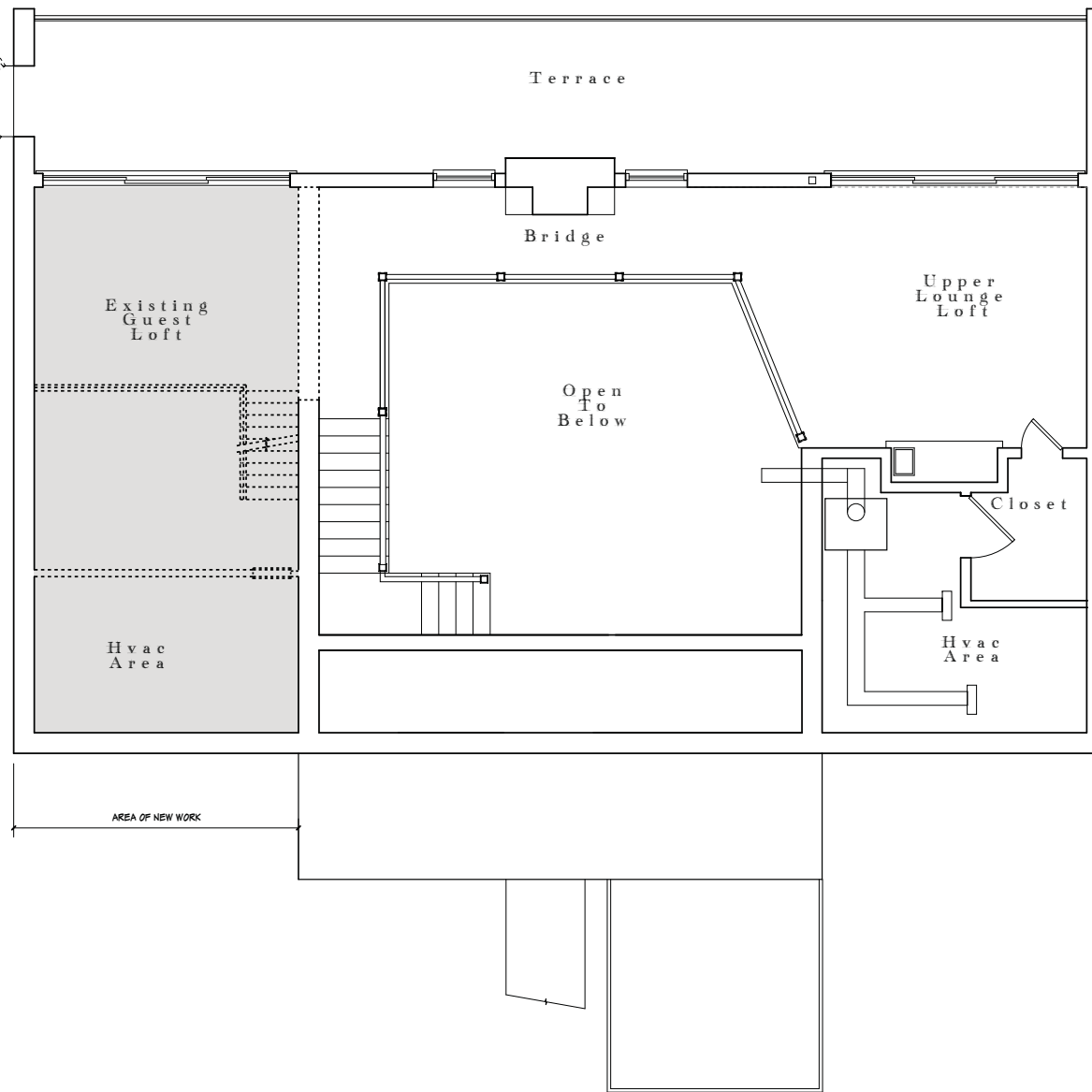
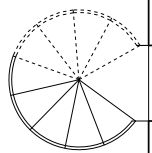




UNIT 4 BEACH VILLAS



Existing/Demo First Floor Plan



Existing/Demo Second Floor Plan

NOTE: NO TREES ARE BEING REMOVED AS PART OF THIS WORK.

Legend	
	TO BE REMOVED AND/OR DEMOLISHED
	EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN

GROUP 3 DESIGN
ARCHITECTURE & INTERIORS

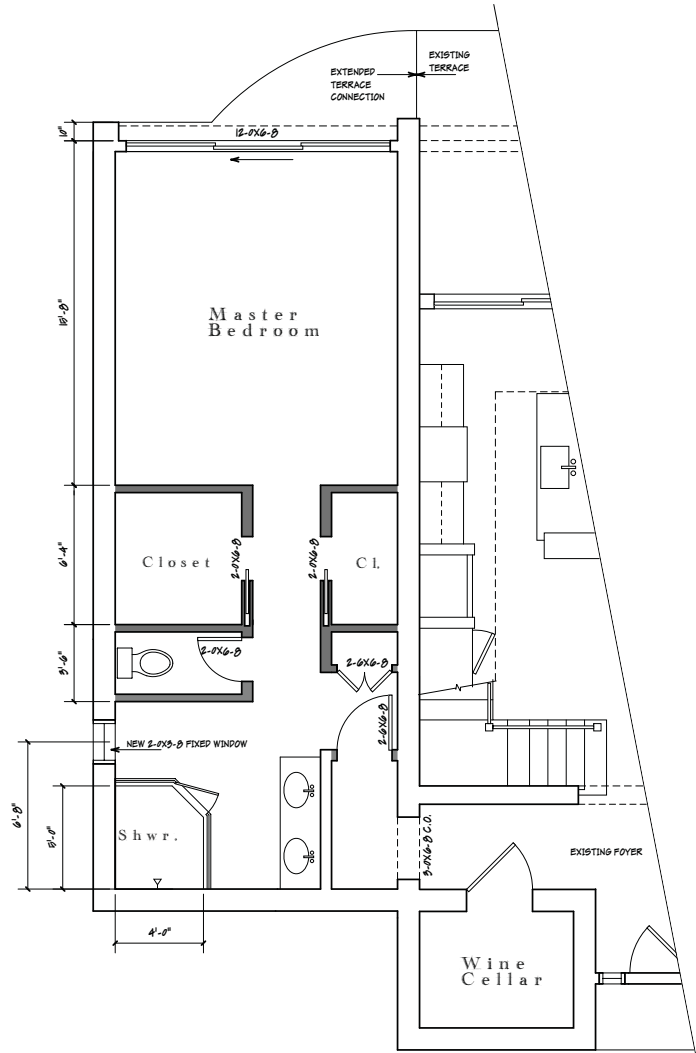
1600 Main Street, Hilton Head Island, SC 29926 (843) 689-9060
Group3Designs.net

Interior Renovations For:
Dawson-Lemacks
4 Beach Villa
Palmetto Dunes
Hilton Head Island, SC

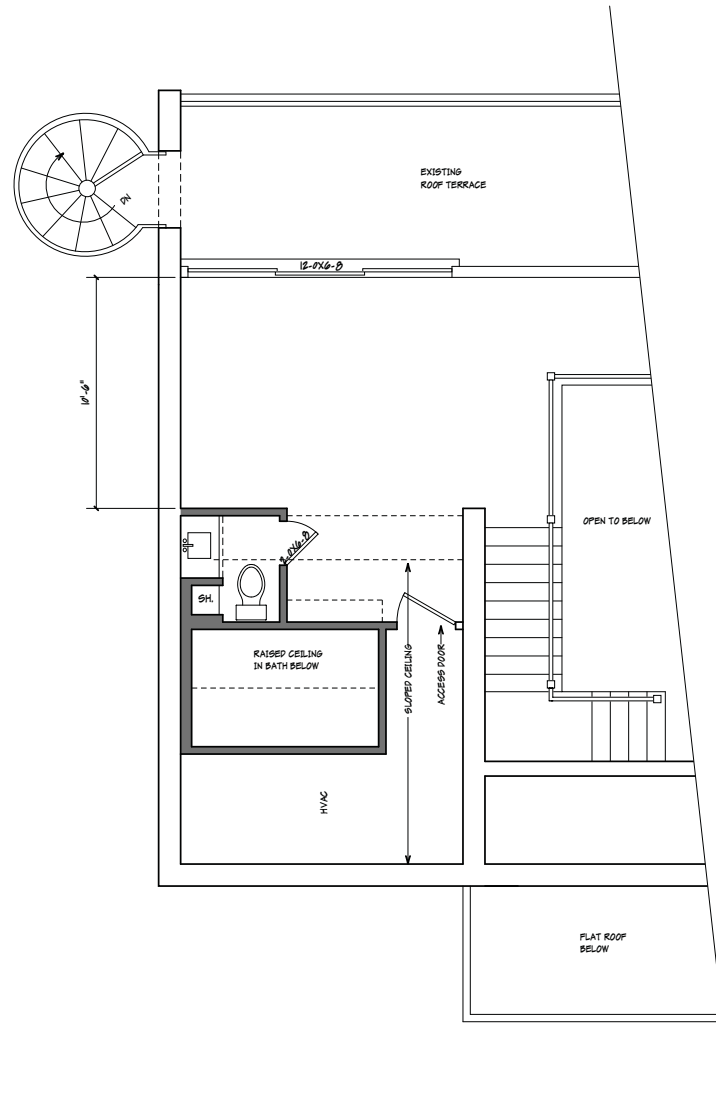
DATE:	07.22.22
PARTNER:	MSR
PROJ. MGR.:	JAV
DRAWN BY:	JAV
CHECKED BY:	MSR
OFFICE:	HHI
PROJECT NO.:	1-14-22

REVISION:	DATE:	BY:

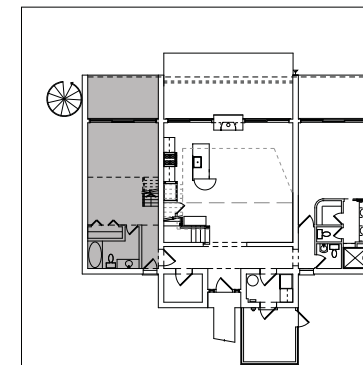
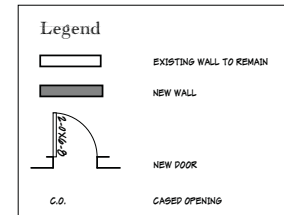
Existing /
Demo
Floor Plans
A099



First Floor Plan



Second Floor Plan



KEY PLAN



1600 Main Street, Hilton Head Island, SC 29926 (843) 689-9060 Group3Designs.net

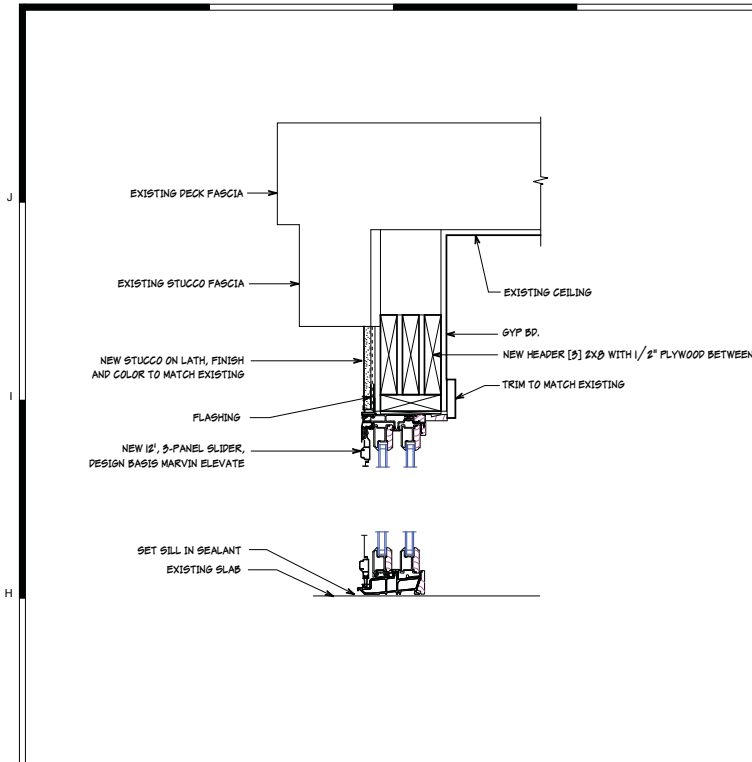
Interior Renovations For:
Dawson-Lemacks
 4 Beach Villa
 Palmetto Dunes
 Hilton Head Island, SC

DATE: 07.22.20
 PARTNER: MGR
 PROJ. MGR.: JAV
 DRAWN BY: JAV
 CHECKED BY: MGR
 OFFICE: HH
 PROJECT NO.: 1-14-20

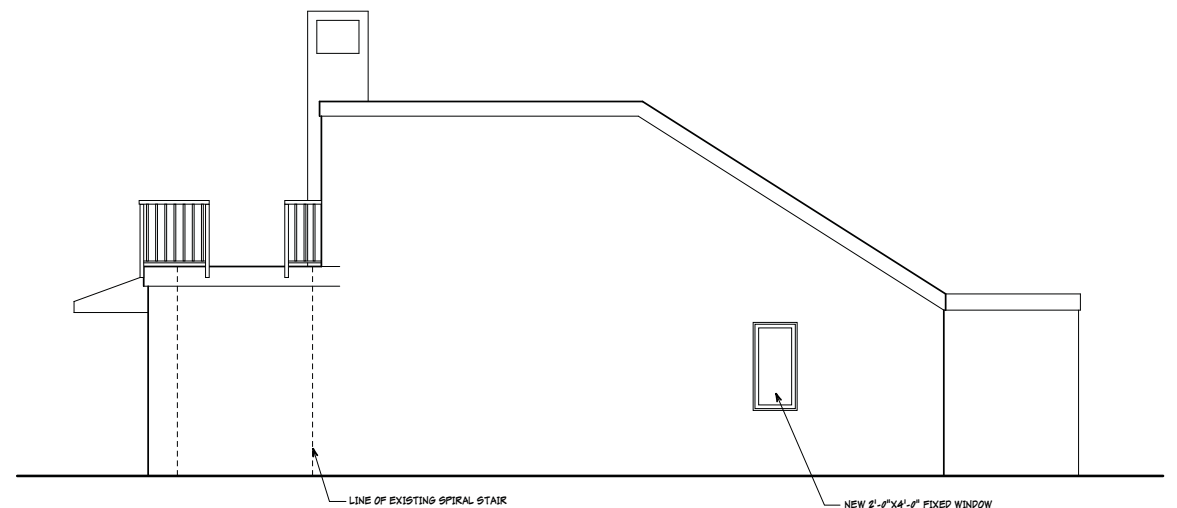
REVISION:	DATE:	BY:

New Floor Plans

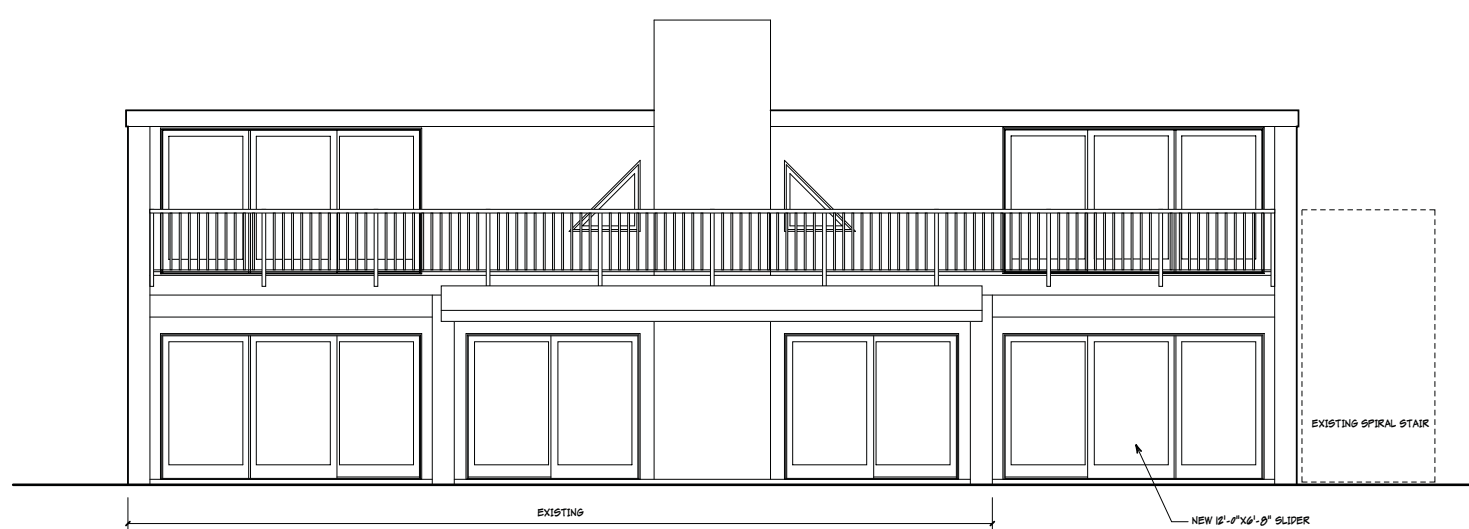
A100



A1 Door Section SCALE 1/8" = 1'-0"



Side Elevation



Beach Elevation

NOTE: ALL FINISHES AND COLORS TO MATCH EXISTING

GROUP 3 DESIGN
ARCHITECTURE & INTERIORS
1600 Main Street, Hilton Head Island, SC 29926 (843) 689-9060 - Group3Designs.net

SEAL

Interior Renovations For:
Dawson-Lemacks
4 Beach Villa
Palmetto Dunes
Hilton Head Island, SC

DATE:	07.22.20
PARTNER:	MSR
PROJ. MGR.:	JAV
DRAWN BY:	JAV
CHECKED BY:	MSR
OFFICE:	HHI
PROJECT NO.:	1-14-20

REVISION:	DATE:	BY:

Elevations
A200

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 4 Beach Villas

DRB#: DRB-001686-2020

DATE: 08/27/2020

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 8/26/17
 Accepted by: [Signature]
 DRB #: 1765
 Meeting Date:

Applicant/Agent Name: Kevin Grenier Company: KRA Architecture and Design
 Mailing Address: PO Box 2047 City: Bluffton State: SC Zip: 29910
 Telephone: 843-815-2021 Fax: E-mail: krg@krasc.com
 Project Name: Nunzio Italian Restaraunt Project Address: 18 New Orleans Road HHI, SC
 Parcel Number [PIN]: R 552 015 00C 0075 0000 + 0076
 Zoning District: Light Commercial Overlay District(s): Shipyard Plantation

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

8/24/2020
DATE



August 24, 2020

Town of Hilton Head
Design Review Board
Atten: Chris Darnell

RE: Lot 18 & 20 New Orleans Road - Concept Application Alteration/Addition

To Whom It May Concern:

This serves as a narrative to the proposed work to be performed. Our client wishes to provide a roof covering to an existing outdoor eating area. Due to our climate as well as the COVID-19 situation, our client wishes to provide a safer option for diners at his establishment. As everyone knows, due to the pandemic most diners would prefer to eat outside which they currently do. When it rains, the establishment currently has no option than to bring the diners inside and when it is busy, it is difficult to provide the mandated social distancing. If the exterior dining area is covered, they can stay outside.

The intent of the proposed design is to provide a metal shed roof with wood columns and beams to match existing. Where the existing deck angles at the stair we propose a flat roof with metal wrapped fascia to match the color of the existing metal roof. The new posts will be integrated within the existing guard rails and utilize the existing pier foundations.

We have enclosed neighboring photographs, existing photos of the building, the original survey and proposed plans, elevations and details. If you should have any questions, please do not hesitate to contact this office.

Sincerely,

Kevin Grenier | AIA, NCARB
Principal & Senior Project Manager



NEIGHBORHOOD ARCHITECTURE—NEW ORLEANS ROAD





NEIGHBORHOOD ARCHITECTURE—NEW ORLEANS ROAD





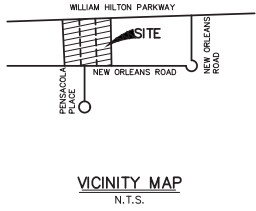
NEIGHBORHOOD ARCHITECTURE—NEW ORLEANS ROAD





SUBJECT BUILDING—18 NEW ORLEANS ROAD





TOWN OF HILTON HEAD ISLAND LMO SECTION 16-3-1402 DISCLOSURE STATEMENT
 Some or all areas on this plat are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain flood hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

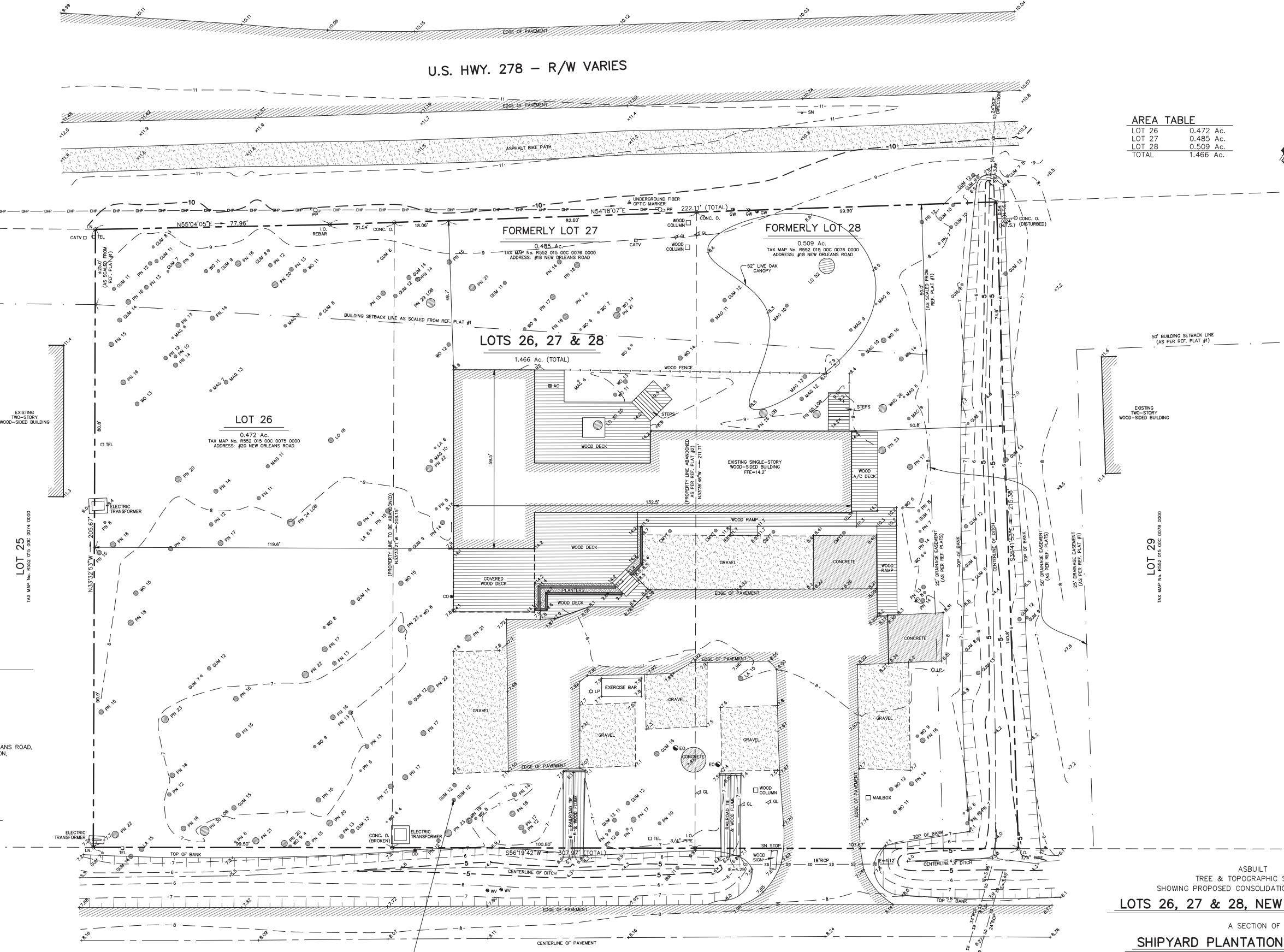
AREA TABLE

LOT 26	0.472 Ac.
LOT 27	0.485 Ac.
LOT 28	0.509 Ac.
TOTAL	1.466 Ac.

- LEGEND:**
 TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - I.O. IRON REBAR OR PIPE, OLD (FOUND)
 - I.N. IRON REBAR, NEW (SET)
 - BR BIRCH
 - MYT MYRTLE
 - GUM GUM
 - LA LAUREL OAK
 - LO LIVE OAK
 - MAG MAGNOLIA
 - PN PINE
 - LOB Loblolly Pine
 - WO WATER OAK
 - Ac. ACRE
 - AC AIR CONDITIONER
 - CATV CABLE TELEVISION JUNCTION BOX
 - CO CLEANOUT
 - EO ELECTRIC OUTLET
 - FTE FINISHED FLOOR ELEVATION
 - GL GROUND LIGHT
 - GW GUY WIRE
 - IE INVERT ELEVATION
 - LIP LAMP POST
 - NTS NOT TO SCALE
 - PP POWER POLE
 - R/W RIGHT OF WAY
 - SN SIGN
 - TBM TEMPORARY BENCH MARK
 - TEL TELEPHONE JUNCTION BOX
 - WL WATER VALVE
 - RCP REINFORCED CONCRETE PIPE
 - FENCE LINE
 - DHP OVERHEAD POWERLINE
 - SD STORM DRAIN LINE

- REFERENCE PLAT:**
- A PLAT OF 53.829 ACRES, SHIPYARD PLANTATION COMMERCIAL, DATED: APRIL-MAY 1976, LAST REVISED: 03/28/1978 BY: ERIC H. FREISELEBEN, S.C. P.E. & L.S. NO. 4624, RECORDED: P.B. 24, PG. 189.
 - A RECOMBINATION SURVEY OF: LOT 27 & LOT 28, A SECTION OF SHIPYARD PLANTATION COMMERCIAL, DATED: 10/19/1999, BY: HAROLD R. JOHNSON, S.C.R.L.S. NO. 2077 RECORDED: P.B. 73, PG. 14, DATE: 12/20/1999.
 - A BOUNDARY CONSOLIDATION SURVEY OF LOTS 26, 27 & 28, NEW ORLEANS ROAD, A SECTION OF SHIPYARD PLANTATION COMMERCIAL, SHIPYARD PLANTATION, DATED: 06/30/2017, BY: TERRY C. HATCHELL, S.C.R.L.S. NO. 11059 RECORDED: (NOT RECORDED AS OF THE DATE OF THIS SURVEY).

- NOTES**
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 09/29/1986, BASE ELEVATION 14.0' (NGVD 29 DATUM). FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

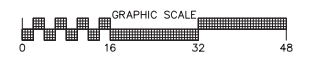
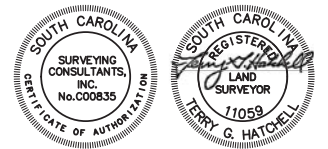


T.B.M. NAIL SET IN 12" GUM
 ELEVATION = 10.00'
 NGVD 1929

NEW ORLEANS ROAD - 60' R/W

PREPARED FOR: NUNZIO PATRINO
 ADDRESS: #18 & #20 NEW ORLEANS ROAD

TAX PARCEL I.D. NO. R552-015-00C-0075-0000 & R552-015-00C-0076-0000



ASBLUIT TREE & TOPOGRAPHIC SURVEY
 SHOWING PROPOSED CONSOLIDATION BOUNDARY OF
LOTS 26, 27 & 28, NEW ORLEANS ROAD

A SECTION OF
SHIPYARD PLANTATION COMMERCIAL
SHIPYARD PLANTATION

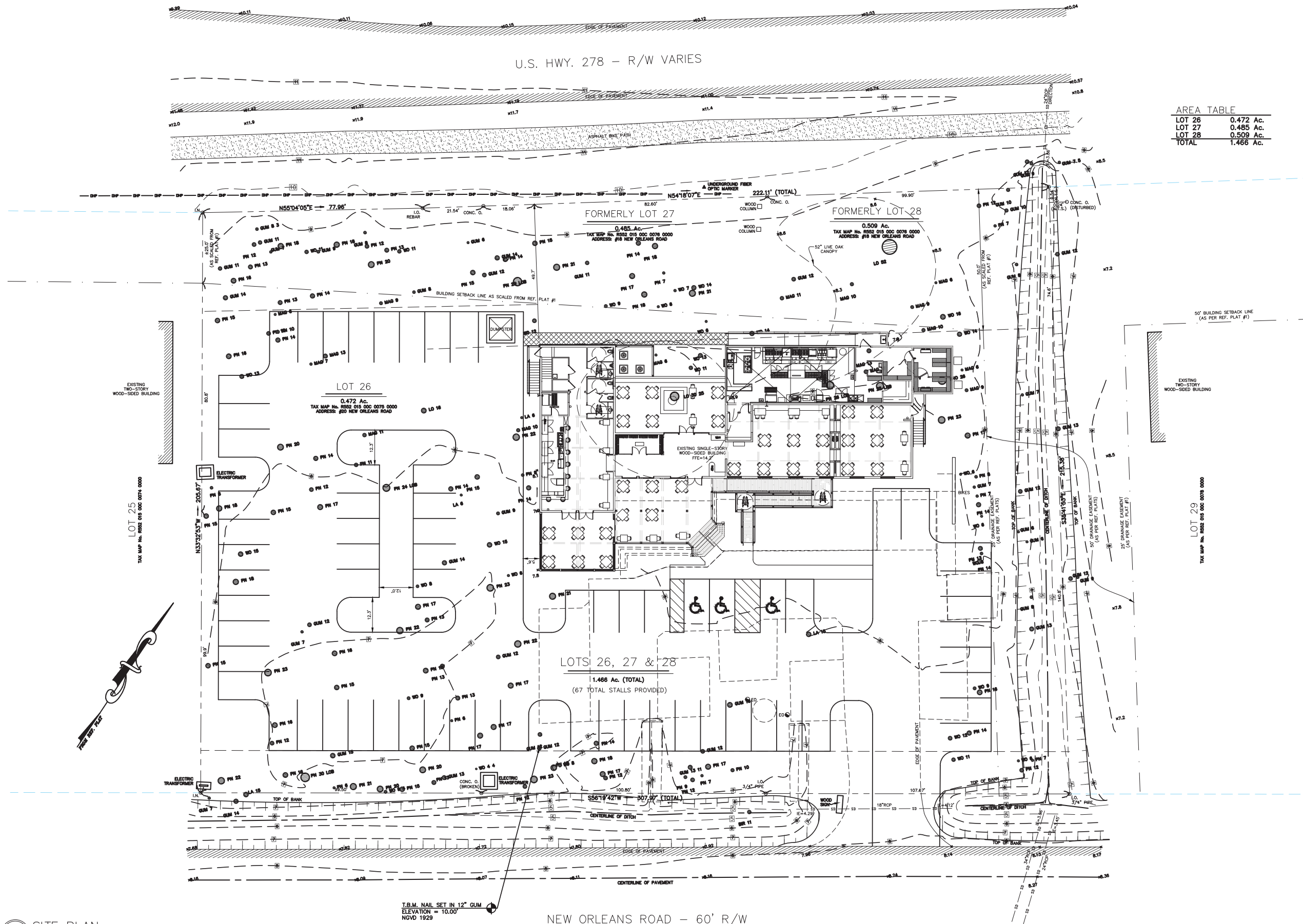
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1/16" = 1'-0" DATE: 07/03/2017 JOB NO: SC04203A

SG SURVEYING CONSULTANTS
 17 Sherington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305
 GA Telephone: (912) 828-2775
 www.SurveyingConsultants.com
 Email: SC@SurveyingConsultants.com
 COPYRIGHT © BY SURVEYING CONSULTANTS

Nunzio Italian Restaurant Upfit

18 New Orleans Rd.
Hilton Head, SC

AREA TABLE	
LOT 26	0.472 Ac.
LOT 27	0.485 Ac.
LOT 28	0.509 Ac.
TOTAL	1.466 Ac.



1 SITE PLAN
SP1.0 SCALE: 1/16" = 1'-0"

T.B.M. NAIL SET IN 12" GUM
ELEVATION = 10.00
NGVD 1929

NEW ORLEANS ROAD - 60' R/W



KRA architecture + design

1 843.815.2021
www.krasc.com
KRA architecture + design
7 Jonston Way, Suite 2A
Bluffton, SC 29910



Stamped By:
Drawn By: MWK
Checked By: KRG
Date: 08.10.20

Revisions

No.	Description

Project No. 17136.01
File Name:
Drawing Title:

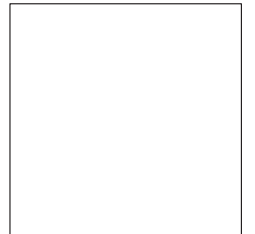
PROPOSED
SITE PLAN

Sheet No. **SP1.0**

Scale: AS NOTED

Nunzio Italian Restaurant Upfit

18 New Orleans Rd.
Hilton Head, SC



KRA architecture + design

KRA architecture + design
7 Johnston Way, Suite 2A
Bluffton, SC 29910
www.krasc.com
t 843.815.2021



Stamped By: _____
Drawn By: **MWK**
Checked By: **KRG**
Date: **08.10.20**

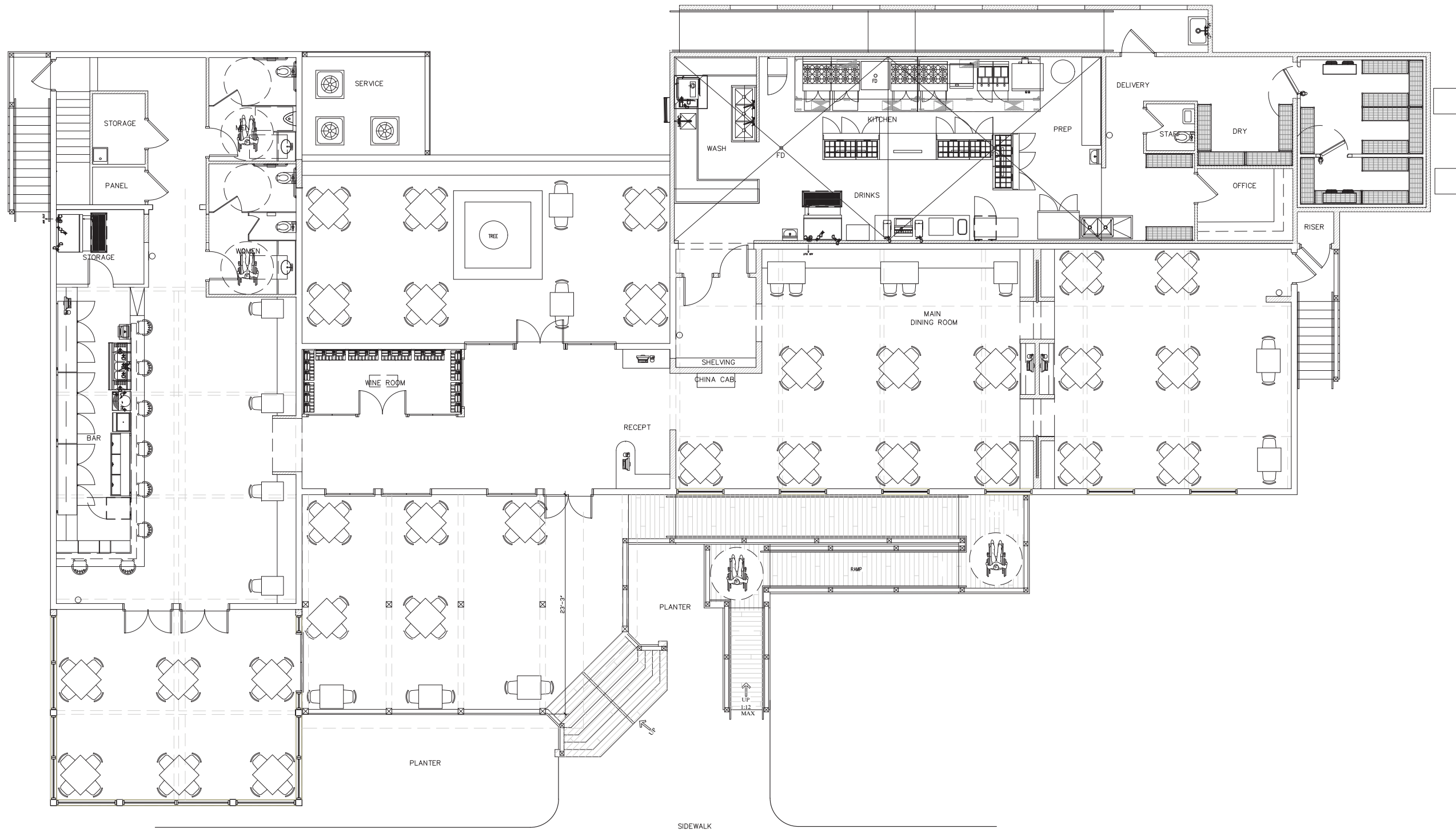
Revisions

No.	Description

Project No. 17136.01
File Name: _____
Drawing Title: _____

PROPOSED FIRST FLOOR PLAN

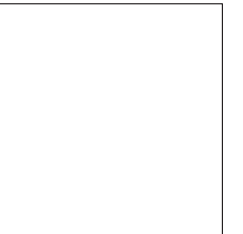
Sheet No. **A1.1**
Scale: AS NOTED



1 FIRST FLOOR PLAN
A1.1 SCALE: 3/16" = 1'-0"

Nunzio Italian
Restaurant Upfit

18 New Orleans Rd.
Hilton Head, SC



KRA architecture + design

t 843.815.2021
www.krasc.com
KRA architecture + design
7 Johnston Way, Suite 2A
Bluffton, SC 29910



Stamped By:
Drawn By: MWK
Checked By: KRG
Date: 08.10.20

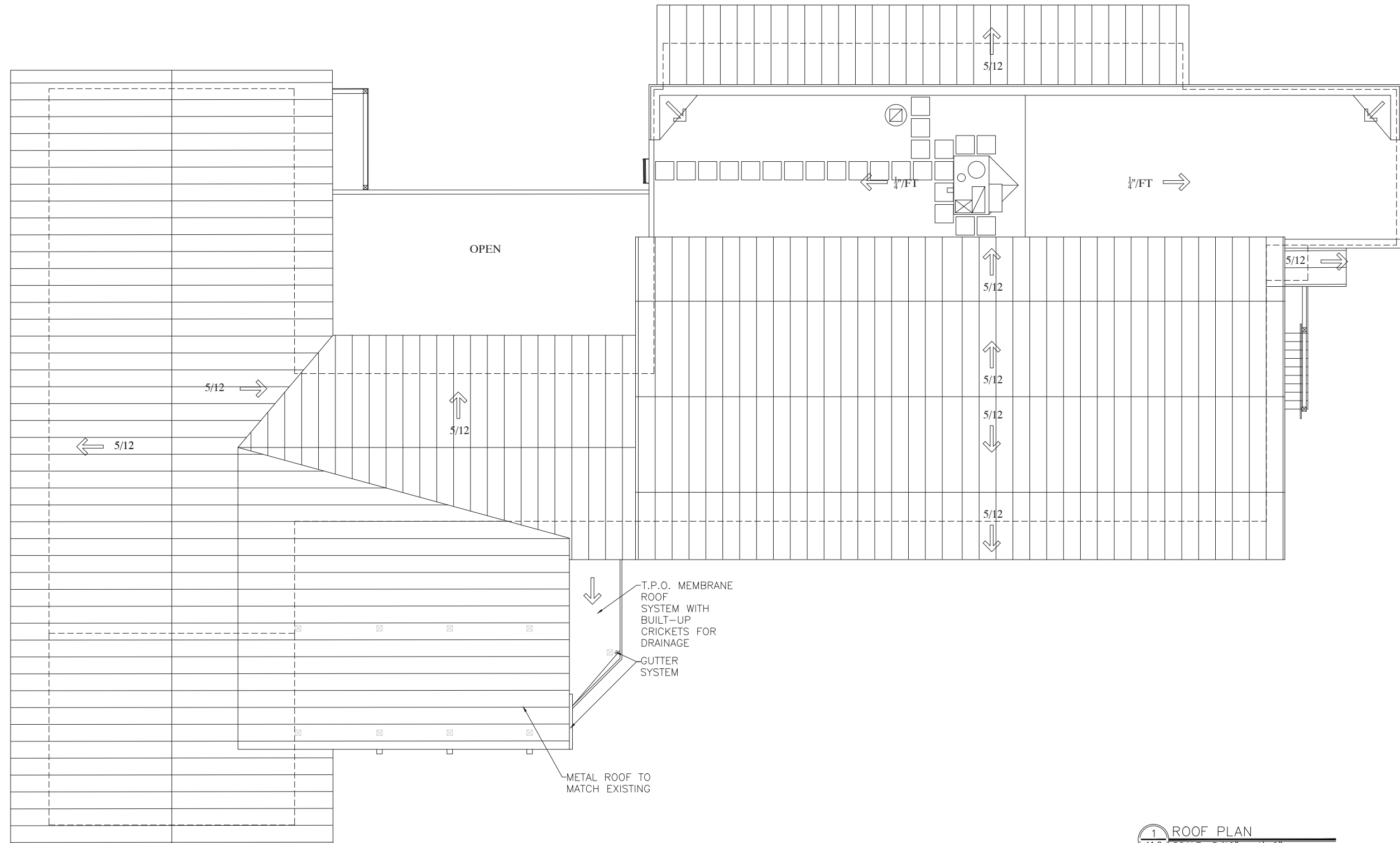
Revisions

Project No. 17136.01
File Name:
Drawing Title:

PROPOSED
ROOF PLAN

Sheet No. **A1.2**

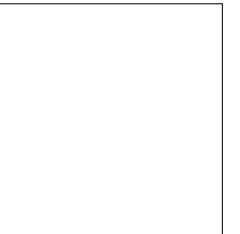
Scale: AS NOTED



1 ROOF PLAN
A1.2 SCALE: 3/16" = 1'-0"

Nunzio Italian Restaurant Upfit

18 New Orleans Rd.
Hilton Head, SC

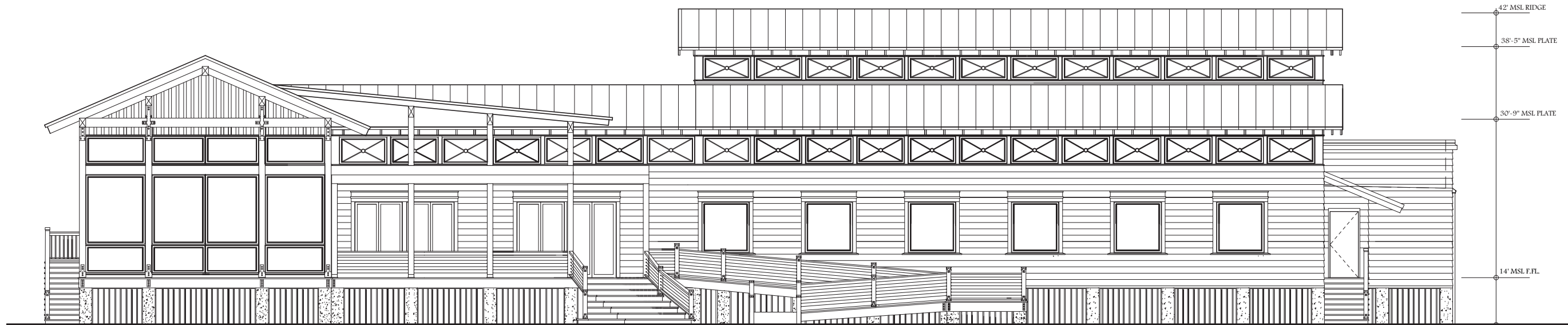


KRA architecture + design

t 843.815.2021
www.krasc.com
KRA architecture + design
7 Johnston Way, Suite 2A
Bluffton, SC 29910



2 RIGHT SIDE ELEVATION
A2.2 SCALE: 3/16" = 1'-0"



2 NEW ORLEANS ELEVATION
A2.2 SCALE: 3/16" = 1'-0"



Stamped By:
Drawn By: MWK
Checked By: KRG
Date: 08.10.20

Revisions

No.	Description

Project No. 17136.01
File Name:
Drawing Title:

PROPOSED
ELEVATIONS
W/ HARD ROOF

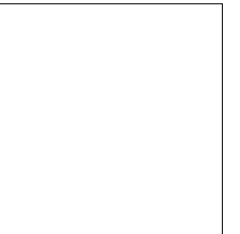
Sheet No. **A2.2**

Scale: AS NOTED



Nunzio Italian Restaurant Upfit

18 New Orleans Rd.
Hilton Head, SC



KRA architecture + design

t 843.815.2021
www.krasc.com
KRA architecture + design
7 Johnston Way, Suite 2A
Bluffton, SC 29910



Stamped By: _____
Drawn By: MWK
Checked By: KRG
Date: 08.10.20

Revisions

No.	Description

Project No. 17136.01
File Name: _____
Drawing Title: _____

EXISTING PHOTOGRAPHS

Sheet No. **P1.0**
Scale: _____

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Nunzio Patio Roof

DRB#: DRB-001705-2020

DATE: 08/20/2020

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Without a section it is difficult to understand how the proposed flat roof works with the pitched roof. Assuming the flat roof extends under the sloped roof to some extent, how much?

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Electrical conduit and sprinklers must be hidden to the extent possible. How will this be done.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Is any additional lighting contemplated? If not please note on the plans that "No additional lighting is proposed with this addition."
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Are there any fans proposed? If not please note on the plans that "no fans are proposed with this addition."

MISC COMMENTS/QUESTIONS

1. Staff is not opposed to the proposed addition but there are too many outstanding questions that have the potential to negatively affect the aesthetics of the patio to be covered by a Conditional Approval.
2. Staff suggest the proposed sloped roof be eliminated and expand the flat roof over the entire deck. This would leave the clerestory windows unobstructed and uncomplicated the roofline.
3. The addition of the roof to the deck will require a sprinkler system.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Gretchen Fisher Company: MJM Architects
 Mailing Address: 712 4th Ave. S. City: Nashville State: TN Zip: 37210
 Telephone: 615-244-8170 Fax: _____ E-mail: g.fisher@mjmarch.com
 Project Name: Facades @ 95 Matthews Project Address: 95 Matthews Dr.
 Parcel Number [PIN]: R511 008 000 0192 0000
 Zoning District: LC Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

N/A A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

N/A Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

N/A Final site development plan meeting the requirements of Appendix D: D-6.F.

N/A Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

X Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

X A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

X All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

08-14-20

DATE



DATE: 08-14-20

TO: Hilton Head Island Community Development Center – Design Review Board

PROJECT: Facades at 95 Matthews Dr.

PROJECT ADDRESS: 95 Matthews Dr.

MJM PROJECT NUMBER: 20168

To Whom It May Concern,

The intent of this project is to modify the existing facades of the vacant tenant spaces at 95 Matthews Dr. Currently there is a Planet Fitness occupying the central tenant space and this application looks to develop the north facing façade for both the western tenant (a proposed AutoZone) and the eastern tenant (to-be-determined). Additionally, the submittal includes an option for the eastern tenant space to be split into two spaces, requiring a third façade on the eastern facing elevation, adjacent to the existing gazebo structure.

The proposed modifications to the north facing façade are minimal in nature, with a small raised parapet element for each tenant, in keeping with the geometry and color palette of the remainder of the Port Royal Plaza shopping center. Additionally, storefront glazing entrances are proposed, in keeping with the rhythm and finish of the storefront glazing of the Planet Fitness.

The potential third element on the eastern façade, mimics the breezeway of the existing center in both geometry, proportion and materials.

All finishes are of a natural color palette and match exactly the finishes currently in use on the remainder of the shopping center.

If you have any questions, please do not hesitate to contact me at 615-244-8170 or by email at g.fisher@mjmarch.com

Sincerely:
MJM Architects

Gretchen Fisher
Senior Project Manager



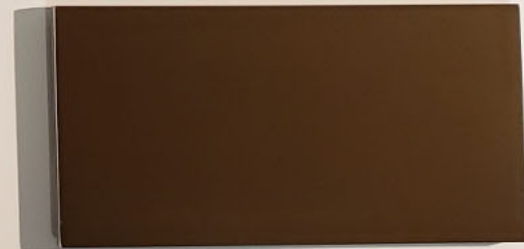
STANDING SEAM METAL
ROOF - MEDIUM BRONZE



GLIDDEN - GREY MOUNTAIN
40YY 25/074



GLIDDEN - DESIGNER GREY
50YY 63/041



STOREFRONT - BRONZE
ANODIZED



PORT ROYAL PLAZA - FACADE MODIFICATIONS

95 MATTHEWS DRIVE
HILTON HEAD ISLAND SC 29926

08-14-20 GRETCHEN FISHER
615-244-8170



ARCHITECTURE
PLANNING
INTERIORS
GRAPHICS

712 4TH AVE. S
NASHVILLE, TN 37210
(P) 615.244.8170
(F) 615.244.8141
www.mjmach.com

NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION

SEAL CONSULTANT OWNER LOCATION DATE REVISIONS SHEET

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

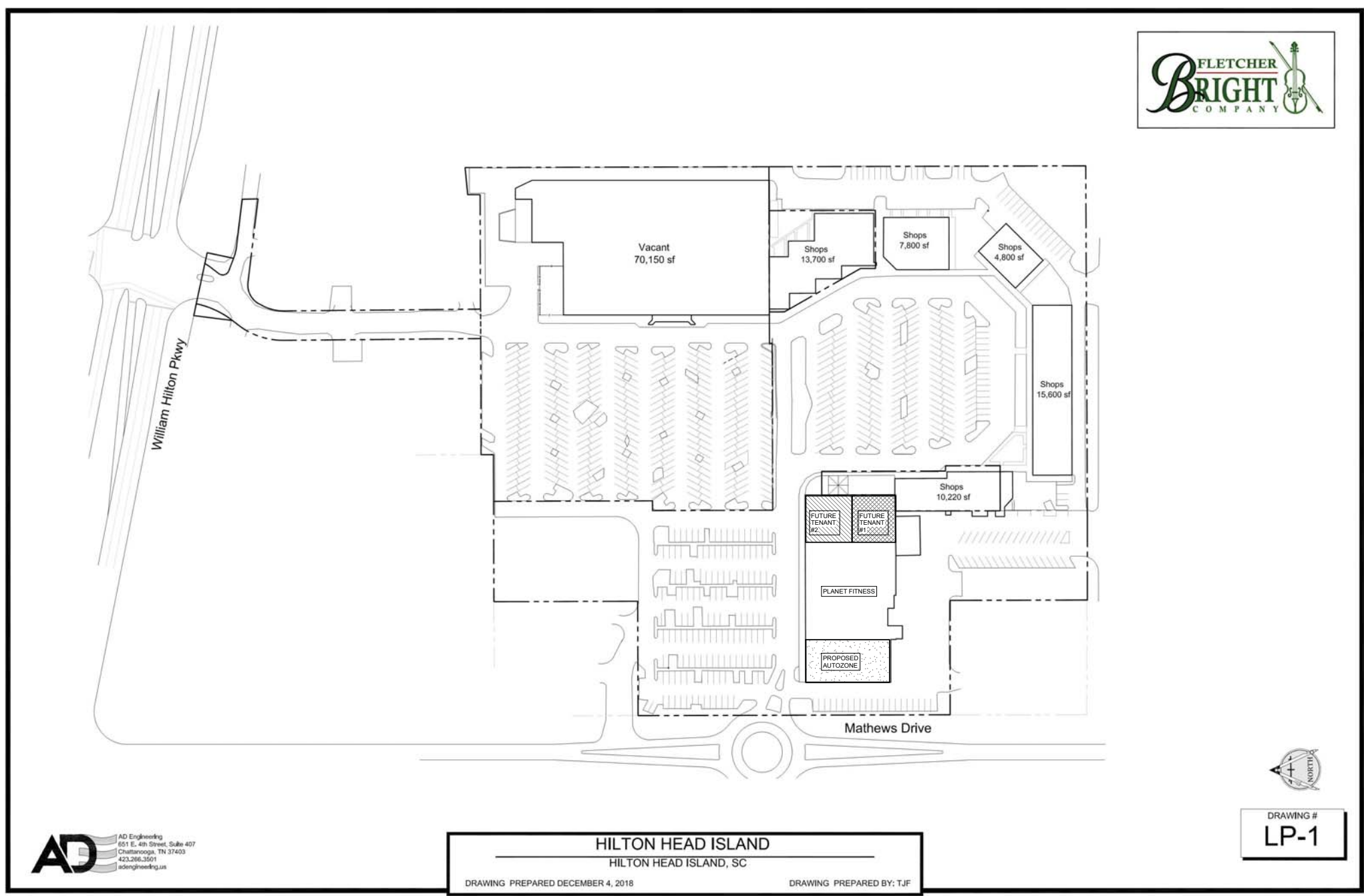
PHOTOS

A802

This drawing and the design shown is the property of the architect. The reproduction, copying or use of the drawing without their written consent is prohibited and any infringement will be subject to legal action.

SITE NOTES

SITE PLAN NOT PREPARED BY MJM ARCHITECTS AND IS INCLUDED FOR REFERENCE ONLY.



AD AD Engineering
601 E. 4th Street, Suite 407
Chattanooga, TN 37403
423.286.3501
ad@adengineering.us

HILTON HEAD ISLAND
HILTON HEAD ISLAND, SC

DRAWING PREPARED DECEMBER 4, 2018 DRAWING PREPARED BY: T.J.F.

DRAWING #
LP-1

NOT FOR CONSTRUCTION

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

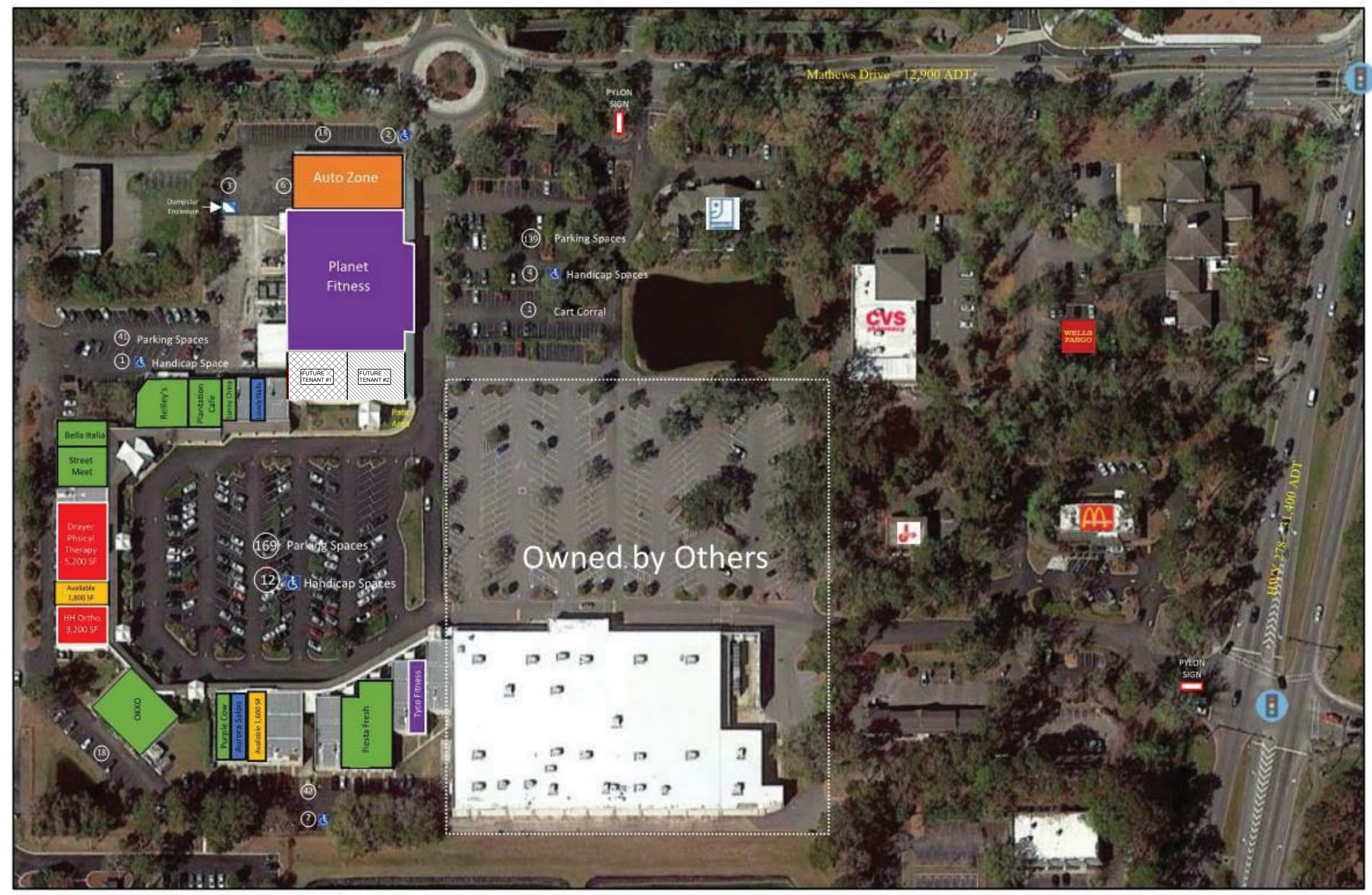
SITE PLAN

A001

SEAL CONSULTANT OWNER LOCATION DATE REVISIONS SHEET

1 SITE PLAN
NOT TO SCALE

SITE NOTES
SITE PLAN NOT PREPARED BY MJM ARCHITECTS AND IS INCLUDED FOR REFERENCE ONLY.



- - Medical Office
- - Restaurants
- - Fitness/Gym
- - Salons/Spa
- - Available

Parking Spaces - 436
Handicap Spaces - 21
Total Spaces - 457

**Port Royal Plaza - Hilton Head Island, SC
(Parking Count)**

**Port Royal Plaza
Hilton Head Island, SC**

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

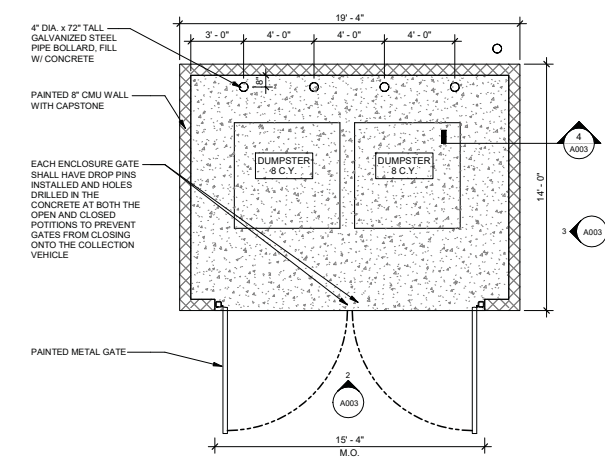
SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

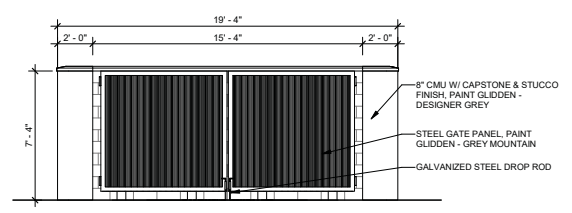
This drawing and the design shown is the property of the architect. The reproduction, copying or use of the drawing without their written consent is prohibited and any infringement will be subject to legal action.

SITE PLAN

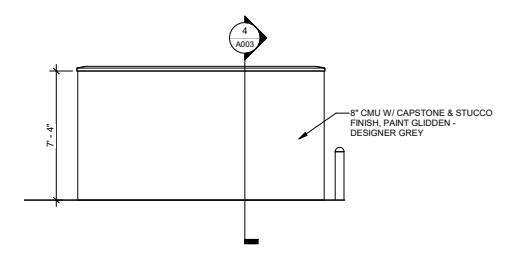
A002



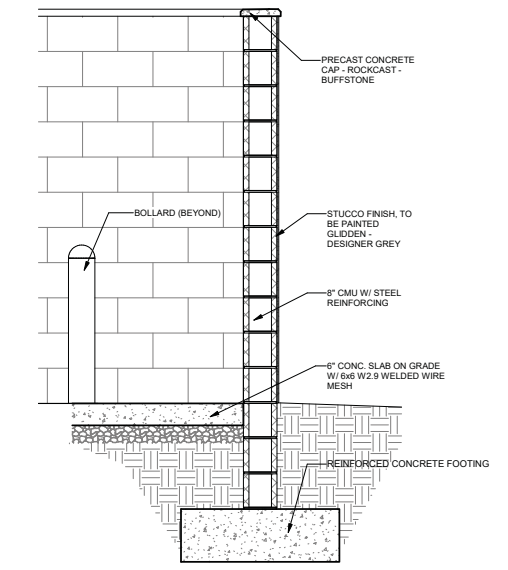
1 ENLARGED PLAN - DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



2 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



3 DUMPSTER ENCLOSURE - SIDE
SCALE: 1/4" = 1'-0"



4 DUMPSTER ENCLOSURE
SCALE: 3/4" = 1'-0"

Z:\Project\matheh\20168-GFB-Hilton-Head-Island-SC-WB-facades\04-CDs\20168-GFB-HHLL-facades.rvt

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

LOCATION

FACADES - PORT ROYAL PLAZA

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

DATE

SCHEMATIC DESIGN
08/14/20
MJM # 20168

REVISIONS

NO.	DESCRIPTION	DATE

SHEET

DUMPSTER ENCLOSURE

A003

This drawing and the design shown is the property of the architect. The reproduction, copying or use of the drawing without their written consent is prohibited and any infringement will be subject to legal action.

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

LOCATION

DATE

REVISIONS

SHEET

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

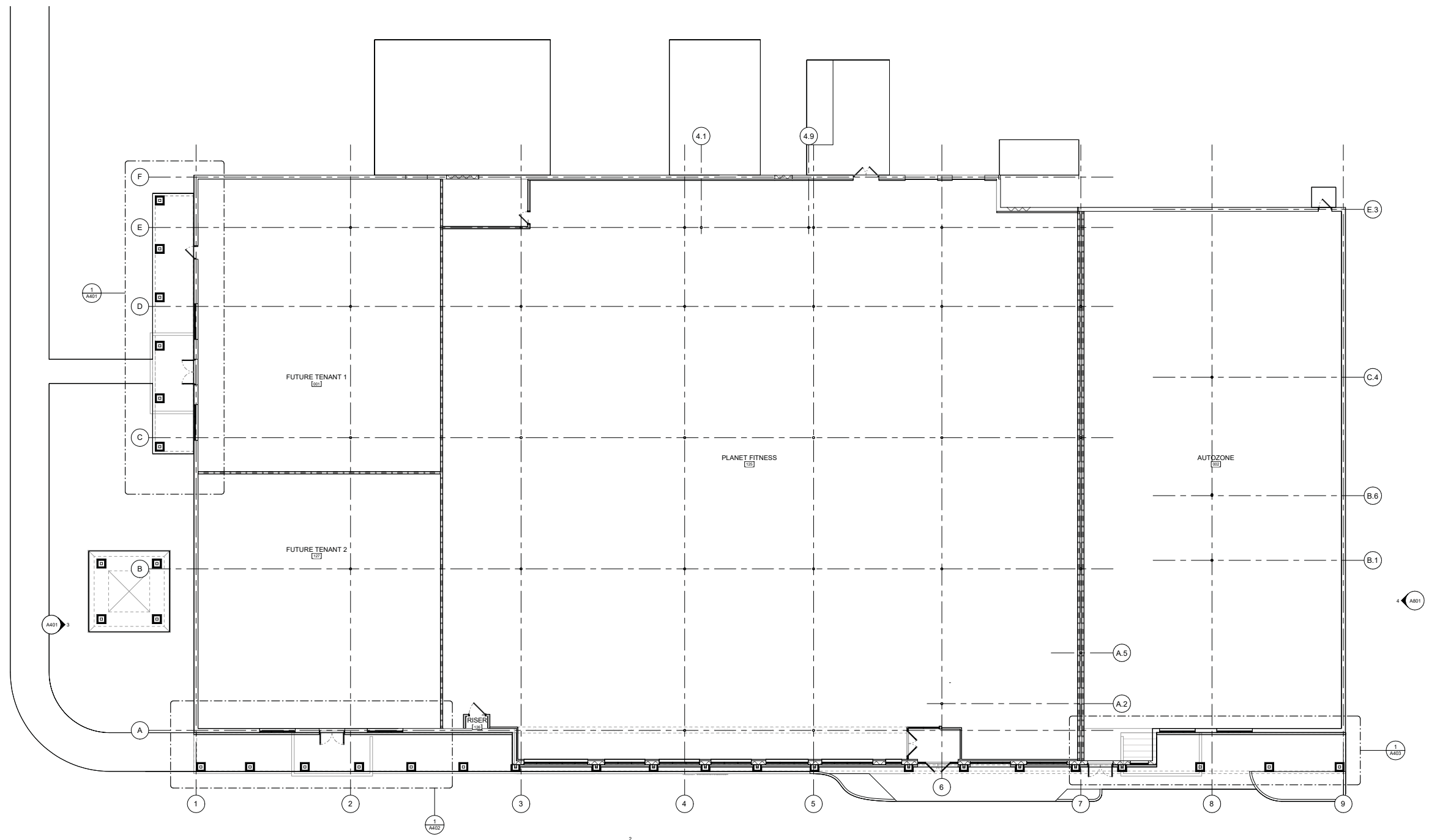
SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

FLOOR PLAN

A102



1 FLOOR PLAN
SCALE: 3/32" = 1'-0"

Z:\Project\msh\20168-GFB-Hilton-Head-Island-SC\MB-facades\04-CD\20168-GFB-HHL-facades.rvt

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

LOCATION

DATE

REVISIONS

SHEET

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

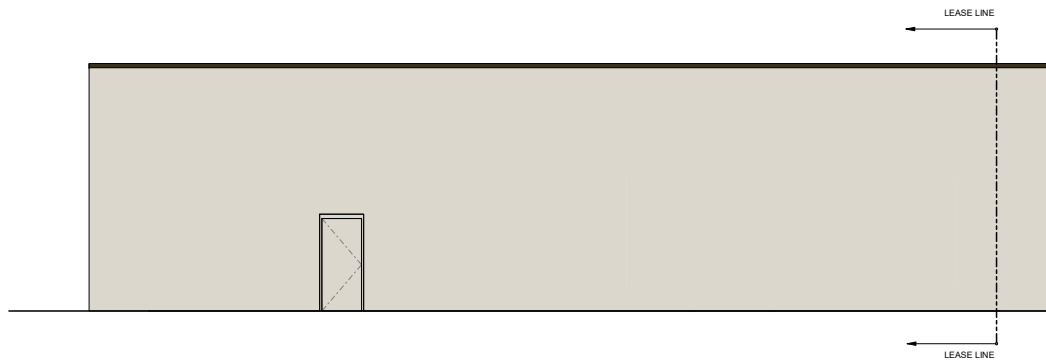
SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

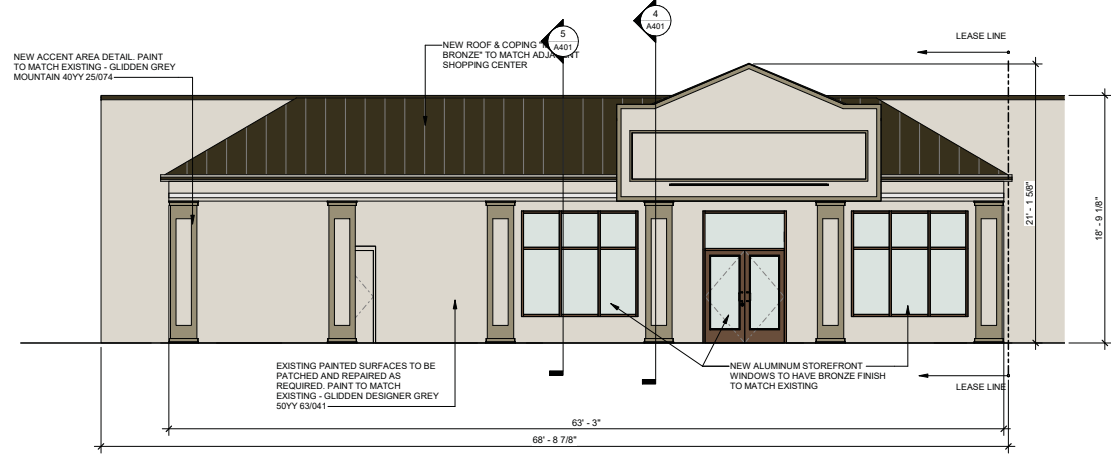
This drawing and the design shown is the property of the architect. The reproduction, copying or use of the drawing without their written consent is prohibited and any infringement will be subject to legal action.

**ENLARGED
PLAN &
DETAILS**

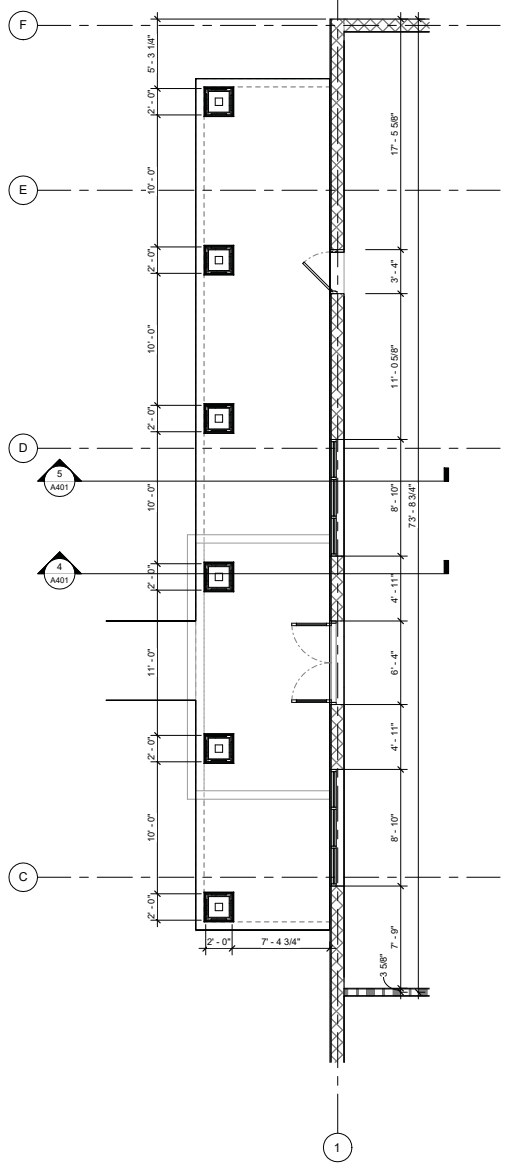
A401



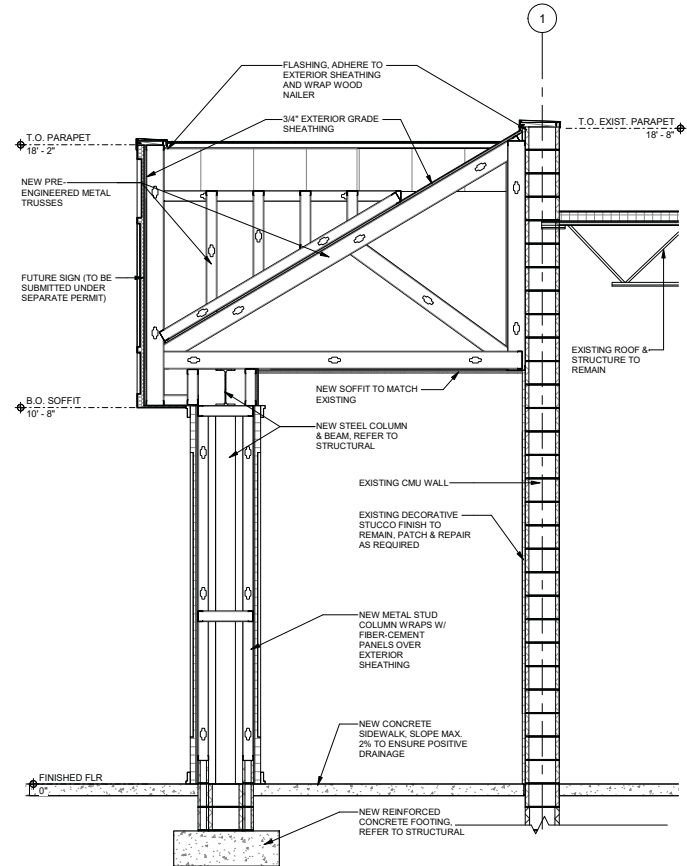
2 FUTURE TENANT - SIDE - EXISTING
SCALE: 3/16" = 1'-0"



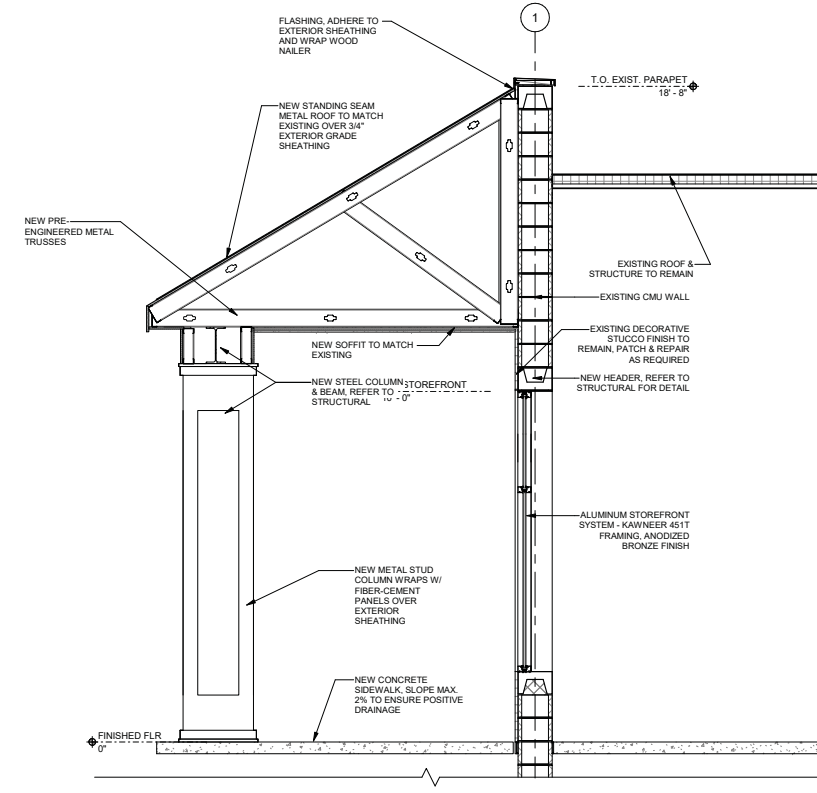
3 FUTURE TENANT - SIDE - EXISTING
SCALE: 3/16" = 1'-0"



1 FLOOR PLAN - FUTURE TENANT 1
SCALE: 3/16" = 1'-0"



4 WALL SECTION - FUTURE TENANT 1
SCALE: 1/2" = 1'-0"



5 WALL SECTION - FUTURE TENANT 1
SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

LOCATION

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

DATE

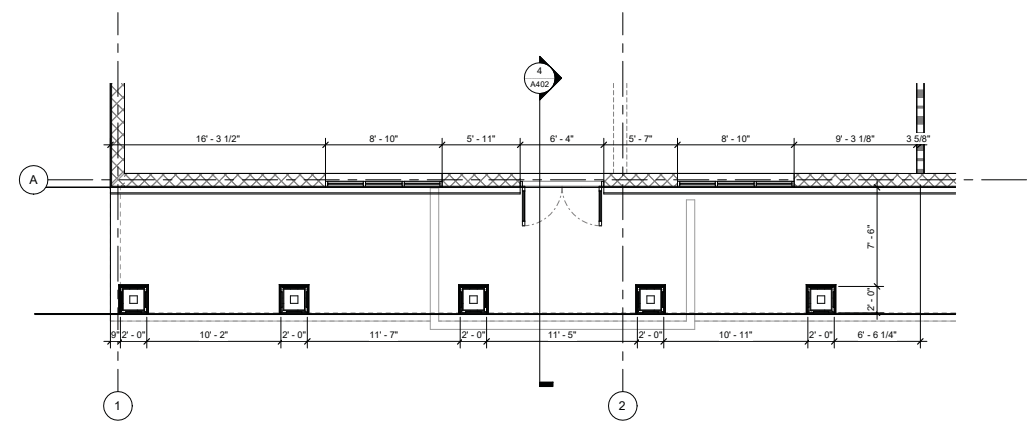
SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

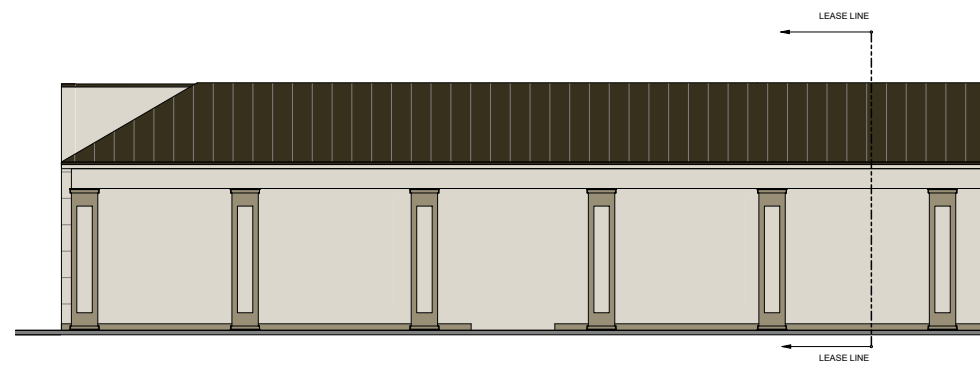
REVISIONS

SHEET

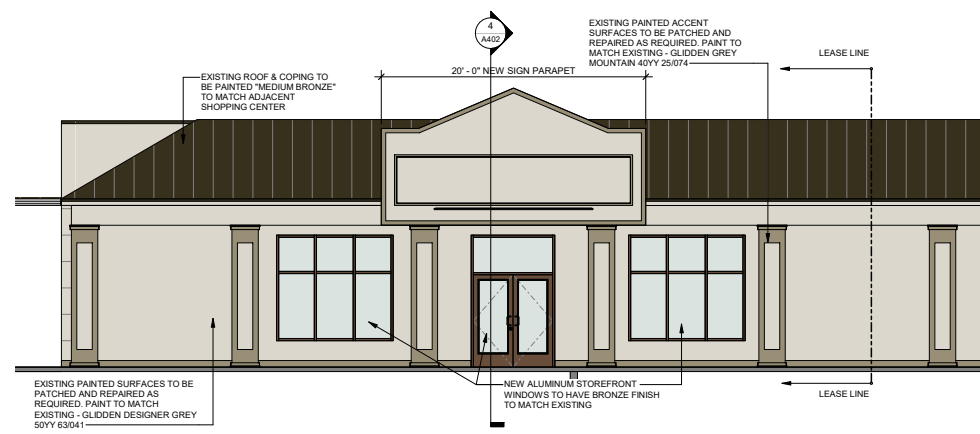
**ENLARGED
PLAN &
DETAILS
A402**



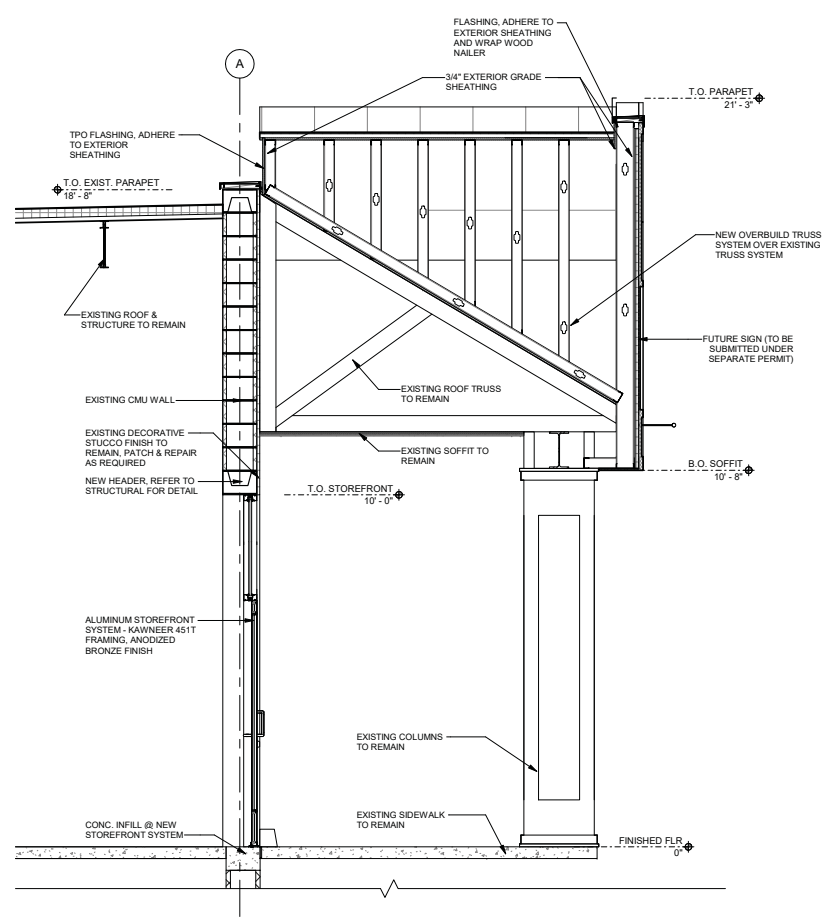
1 FLOOR PLAN - FUTURE TENANT 2
SCALE: 3/16" = 1'-0"



2 ENLARGED FRONT FACADE - FUTURE TENANT EXISTING
SCALE: 3/16" = 1'-0"



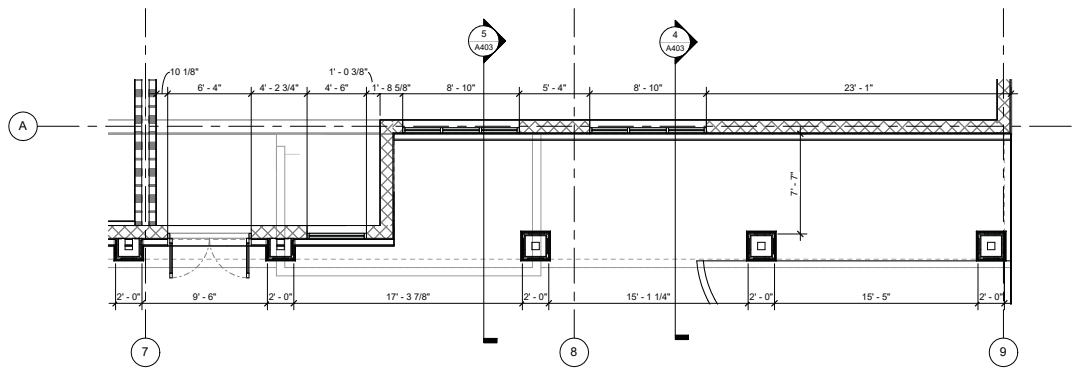
3 ENLARGED FRONT FACADE - FUTURE TENANT PROPOSED
SCALE: 3/16" = 1'-0"



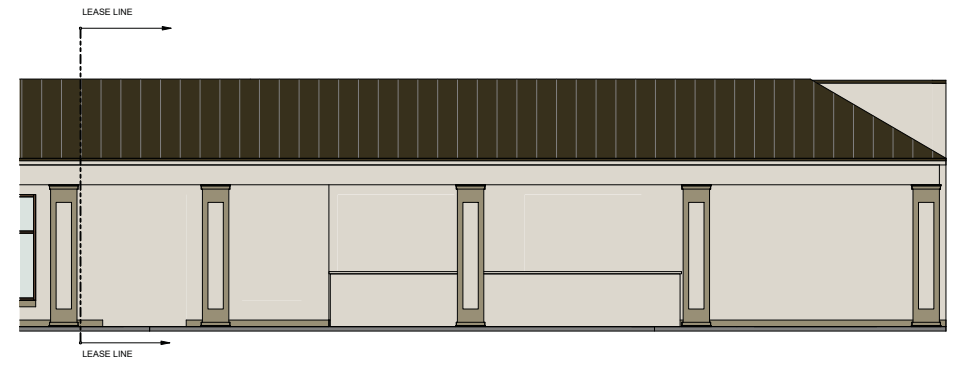
4 WALL SECTION - FUTURE TENANT 2
SCALE: 1/2" = 1'-0"

Z:\Project\mathe\20168-GFB-Hilton-Head-Island-SC-MB-facades\04-CDs\20168-GFB-HILL-facades.rvt

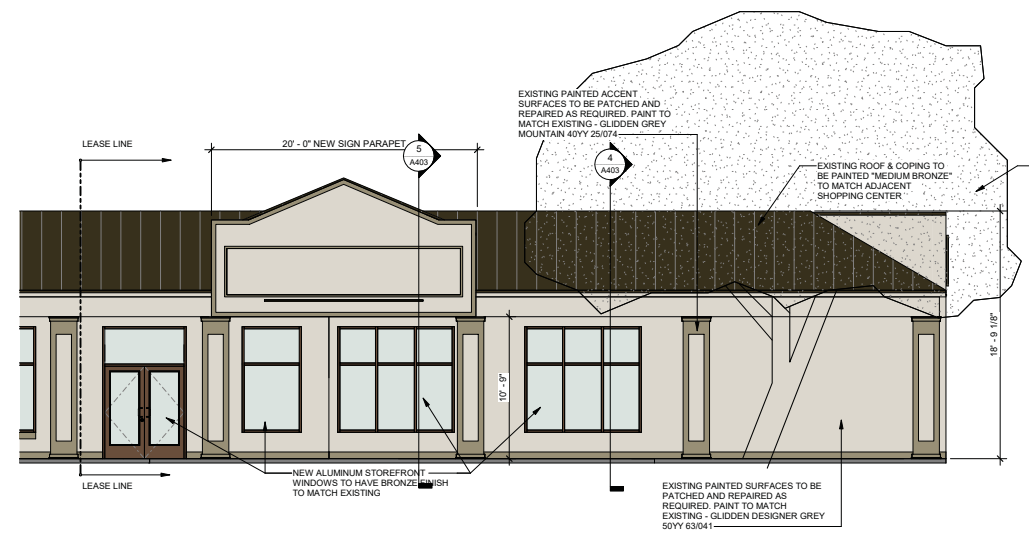
NOT FOR CONSTRUCTION



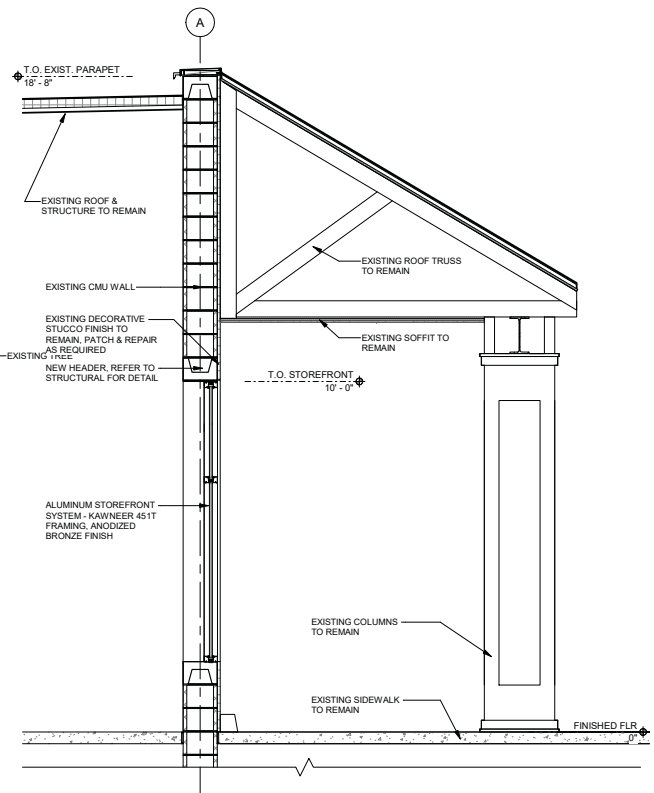
1 FLOOR PLAN - FUTURE AUTOZONE
 SCALE: 3/16" = 1'-0"



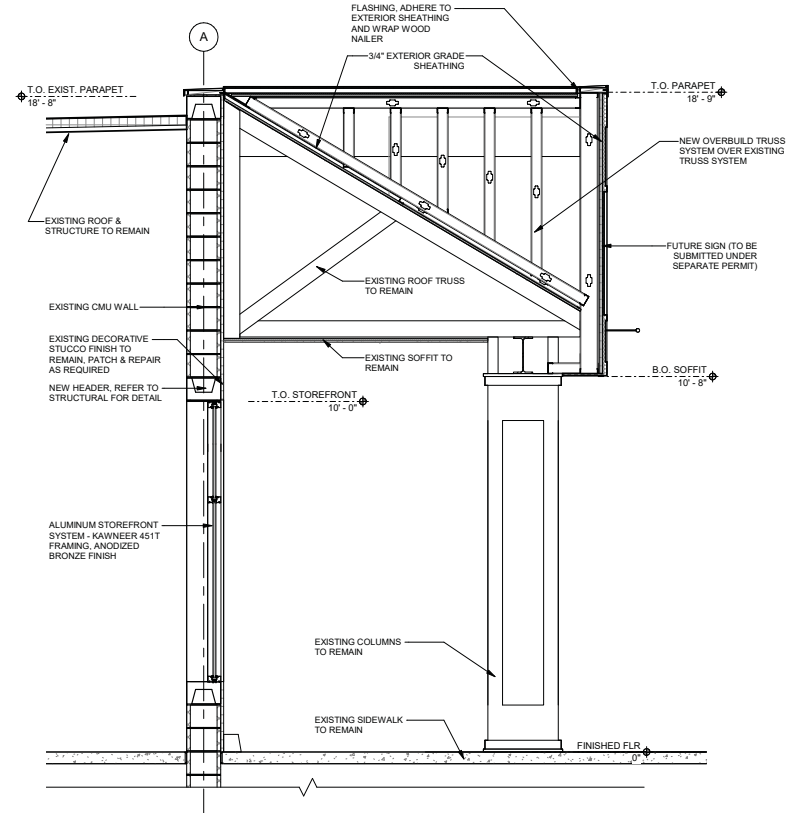
2 ENLARGED FRONT FACADE - AUTO ZONE EXISTING
 SCALE: 3/16" = 1'-0"



3 ENLARGED FRONT FACADE - AUTO ZONE PROPOSED
 SCALE: 3/16" = 1'-0"



4 WALL SECTION - AUTOZONE 2
 SCALE: 1/2" = 1'-0"



5 WALL SECTION - AUTOZONE 1
 SCALE: 1/2" = 1'-0"

FACADES - PORT ROYAL PLAZA

95 MATTHEWS DRIVE
 HILTON HEAD ISLAND, SC
 29926

SCHEMATIC DESIGN
08/14/20
 MJM # 20168

NO.	DESCRIPTION	DATE

ENLARGED PLAN & DETAILS

A403

SEAL CONSULTANT OWNER LOCATION DATE REVISIONS SHEET

Z:\Project\mathe\20168-GFB-Hilton-Head-Island-SC-MB-facades\04-CD\20168-GFB_HHL_facades.rvt

NOT FOR CONSTRUCTION

SEAL

CONSULTANT

OWNER

LOCATION

DATE

REVISIONS

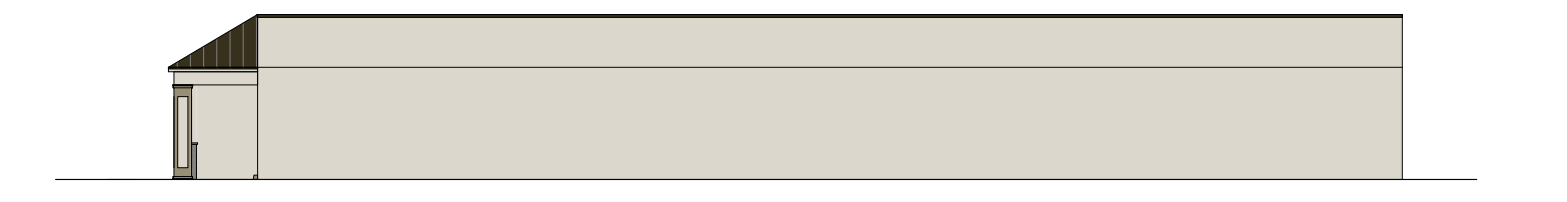
SHEET



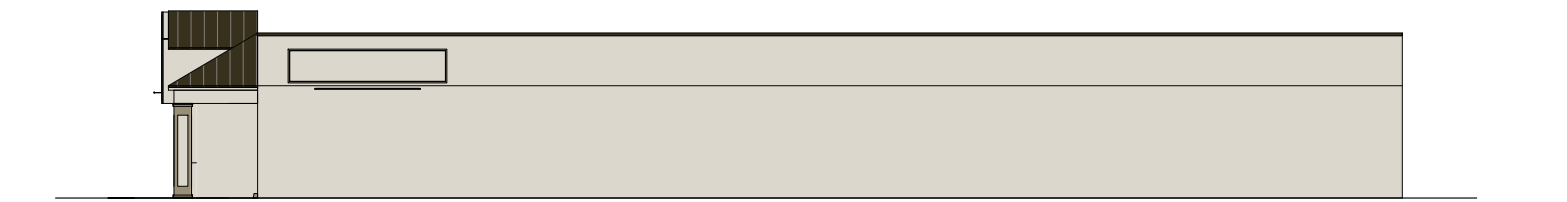
1 OVERALL FRONT FACADE - EXISTING
SCALE: 1/8" = 1'-0"



2 OVERALL FRONT FACADE - PROPOSED
SCALE: 1/8" = 1'-0"



3 AUTOZONE - OVERALL SIDE - EXISTING
SCALE: 1/8" = 1'-0"



4 AUTOZONE - OVERALL SIDE - PROPOSED
SCALE: 1/8" = 1'-0"



5 FUTURE TENANT - OVERALL SIDE - EXISTING
SCALE: 1/8" = 1'-0"



6 FUTURE TENANT - OVERALL SIDE - PROPOSED
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

1. ALL WALL GRAPHICS ARE SHOWN FOR INTENT, LOCATION & APPROXIMATE SCALE PURPOSES ONLY. FINAL SIZES, LOCATIONS, MOUNTING HEIGHTS, COLORS, ETC. TO BE FIELD VERIFIED W/ TENANT & COORDINATED W/ GRAPHICS SUPPLIER.
2. ALL PAINT COLORS TO BE REVIEWED AND APPROVED BY TENANT PRIOR TO INSTALL.

SIGNAGE ANALYSIS

HILTON HEAD ISLAND, SC - LAND MANAGEMENT ORDINANCE.

FACADE AND HANGING SIGNS

1. THE TOTAL SIZE OF FACADE AND HANGING SIGNS SHALL NOT OCCUPY MORE THAN TEN PERCENT OF THE AREA OF THE FACADE ON WHICH THEY ARE PLACED, WITH THE MAXIMUM SIZE OF ANY ONE SIGN LIMITED TO 40 SQUARE FEET. DEVELOPMENTS WITH LESS THAN 2,500 SQUARE FEET OF GROSS FLOOR AREA THAT WAIVE THE RIGHT TO HAVE A PRESTANDING SIGN SHALL BE PERMITTED TO EXCEED THESE SIZE LIMITATIONS BY 50 PERCENT.
2. NO MORE THAN TWO SIGNS MAY BE PLACED ON OR DISPLAYED FROM ANY ONE FACADE OF ANY ONE BUILDING. SHOPPING CENTERS SHALL BE PERMITTED TWO SIGNS PER TENANT FACADE. PROVIDED THAT ONLY ONE SUCH TENANT SIGN IS VISIBLE FROM ANY PUBLIC WAY. SUCH TENANT SIGNS SHALL ONLY BE PERMITTED IN LIEU OF FACADE SIGNS IDENTIFYING THE NAME OF THE SHOPPING CENTER OR BUILDING.
3. FACADE SIGNS SHALL BE CONTAINED WITHIN ANY SINGLE WALL PANEL, WINDOW, DOOR, OR OTHER ARCHITECTURAL COMPONENT UPON WHICH THEY ARE PLACED.
4. HANGING SIGNS SHALL BE LOCATED IN CONSIDERATION OF THEIR RESPECTIVE ARCHITECTURAL ELEMENT.
5. TENANT FACADE AND HANGING SIGNS SHALL BE LOCATED ON THE TENANT SPACE BEING IDENTIFIED. IF THIS REQUIREMENT CANNOT BE REASONABLY ACHIEVED, THE OFFICIAL SHALL APPROVE AN ALTERNATE LOCATION.

SIGN ILLUMINATION

1. EXTERNAL ILLUMINATION SHALL BE BY A STEADY STATIONARY LIGHT SOURCE, SHIELDED AND DIRECTED SOLELY AT THE SIGN. LIGHT FIXTURES SHALL BE RESTRICTED TO NOT MORE THAN ONE SHIELDED LIGHT FIXTURE PER SIDE FOR SIGNS UP TO 40 SQUARE FEET AND NOT MORE THAN TWO SHIELDED LIGHT FIXTURES PER SIDE FOR SIGNS OVER 40 SQUARE FEET.
2. LIGHT SOURCES TO ILLUMINATE SIGNS SHALL NEITHER BE VISIBLE FROM ANY STREET, RIGHT-OF-WAY, NOR CAUSE GLARE HAZARDOUS TO PEDESTRIANS OR VEHICLE DRIVERS OR SO AS TO CREATE A NUISANCE TO ADJACENT PROPERTIES. ALL GROUND-MOUNTED LIGHTING MUST BE OBSCURED BY LANDSCAPING APPROVED BY THE OFFICIAL.
3. THE INTENSITY OF THE LIGHT SHALL NOT EXCEED 20 FOOT-CANDLES AT ANY POINT ON THE SIGN.
4. SIGNS SHALL NOT HAVE LIGHT-REFLECTING BACKGROUNDS BUT MAY USE LIGHT-REFLECTING LETTERING OR HALO LIGHTING.
5. THE OFFICIAL MAY PERMIT INTERNAL ILLUMINATION FOR MENU BOARD SIGNS FOR EATING ESTABLISHMENTS WITH A DRIVE-THROUGH. SUCH SIGNS SHALL NOT CAUSE GLARE HAZARDOUS TO PEDESTRIANS OR VEHICLE DRIVERS OR SO AS TO CREATE A NUISANCE TO ADJACENT PROPERTIES. SUCH SIGNS SHALL BE PLACED AND ANGLED SO THAT, TO THE GREATEST EXTENT POSSIBLE, THEY ARE NOT VISIBLE FROM PUBLIC OR PRIVATE STREETS.
6. LAMPS SHALL ONLY PRODUCE A WHITE LIGHT.

PROPOSED SIGNAGE:
NON-ILLUMINATED CHANNEL LETTERS

**FACADES -
PORT ROYAL
PLAZA**

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

SCHEMATIC DESIGN
08/14/20
MJM # 20168

NO.	DESCRIPTION	DATE

**EXTERIOR
ELEVATIONS**

A801

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Façade Renovation at 95 Mathews (Port Royal)

DRB#: DRB-0001671-2020

DATE: 08/27/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide a Site Plan for the renovations that includes the addition of a sidewalk and planting area along the 278 façade for review and approval by Staff and one DRB member.
2. Provide a Landscape Plan, for review and approval by Staff and one DRB member, to include:
 - a. planting between 278 façade and drive isle,
 - b. planting in and around the gazebo,
 - c. renovations of the landscape islands adjacent to the 278 façade,
 - d. addition of evergreen understory trees in the Mathews buffer.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pedestrian is not accommodated between Planet Fitness and AutoZone with the rest of the Port Royal Shopping Center. It appears the drive isle in-front of Planet Fitness is wide enough to be reconfigured to accommodate a sidewalk and planter.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
---------------------------	--------------	----	----------------	------------------------

Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is no landscaping proposed.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Add Canopy trees in and around the existing gazebo.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comments and suggestions below.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Add planting area and sidewalk along the 278 façade between the façade and drive isle. 2. Renovate the (tired) landscape islands opposite the 278 façade to include new canopy trees. 3. Add understory evergreen trees between the parking and Mathews Drive to screen the building.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Renovations should not harm the live oak at the entrance off Mathews.

MISC COMMENTS/QUESTIONS

1. Does the proposed roof color match the gazebo roof?
2. The applicant should confirm no additional exterior lighting is proposed.
3. The limit of disturbance or limits of renovation should be expanded to include: <ol style="list-style-type: none"> a. the buffer along Mathew Drive b. the landscape islands opposite the 278 façade
4. Provide a landscape renovation plan.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: David Bloom Company: GFB Associates
 Mailing Address: 701 Market St. #400 City: Chattanooga State: TN Zip: 37402
 Telephone: 276-617-1290 Fax: _____ E-mail: dwskb@att.net
 Project Name: Port Royal Plaza Project Address: 95 Matthews Dr.
 Parcel Number [PIN]: R5 1 1 0 0 8 0 0 0 0 1 9 2 0 0 0 0
 Zoning District: Community Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input checked="" type="checkbox"/> Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

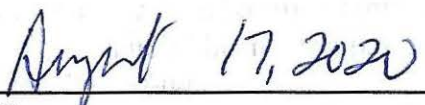
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE



DATE

8-14-2020

The Shops at Port Royal Plaza
Application for Master Sign Plan

The Shops at Port Royal Plaza Narrative Description

The renovation of the Shops of Port Royal was approved as an alteration/addition by the Design Review Board and a Notice of Action issued. The alteration was also previously approved by the ARB, Property Research Holdings.

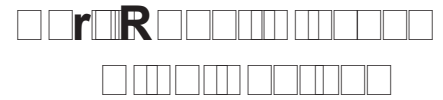
This is an application for a sign permit for the signage system at the Port Royal Plaza to incorporate verbiage for Major Tenants to allow for the addition of parapet walls to accommodate letter heights of Thirty-inch uppercase and Twenty-six-inch lowercase letters for these tenants. The application also includes a specific color palette for colors that tenants will be allowed to utilize in signs.

The previous application for a sign permit was for the signage system for the overall renovation and a sample for the sign at Powertel. The signage system for the alteration is shown on drawing A2. I (b), rev. 05/ 13/99, which was previously reviewed and approved by the ORB. It has been modified slightly to clarify sign locations and to change the vertical dimension of the sign area from 1'-2" to 1'-4". The 2-inch increase was made to permit 15" high upper-case letters that will be used with either 10-inch to 11-inch lower case letters, as described in the attached Port Royal sign system guidelines. The system is explained further in the attached wall section on drawing SK-1, dated 04/26/99. All signs will be contained in a sign band located below the fascia and will use the colors shown on the color board previously submitted. As shown in the wall section, lighting for the signs will be provided by a continuous single tube fluorescent fixture, 10 watts per ft., which will be mounted behind the fascia.

The sign system elevation on drawing A2.1 indicates that the maximum area for the tenant signs is 1'-4" by 18'-0". All signs in the project will have individual letters applied to the sign panel and, will use the sign system as defined in the attached. The intent of the system is to provide for individual identification for each store while at the same time, maintaining continuity of the system. The attached provides for fore seeable options that will be needed and provides a system to deal with other conditions that may arise.

The sign panel is part of the building structure and therefore, the structural design for it is included with the structural design for the building. The sign backs will match the color of the panel and will be attached as defined in the system guidelines attached.

A submission has been made to Property Research Holdings ARB. Their approval or comment will be submitted upon receipt.



The following is developed as a guide for the provision of signs for Tenants in the Port Royal Plaza. The guidelines are as defined herein. All signs will be presented in detail and with a template for review by the designed representative of the owner of the center and such other individuals as may be

designated to review (not to exceed three (3)) and approve signs within the center. Signs which conform to these guidelines may be approved by the designated representative responsible for administration of the sign system and a member of the Sign Review Committee. Variances to these system guidelines may be granted but require the signatures of at least two members of the Sign Review Committee. The Sign Review Committee members are to be selected by the owner of the Plaza and shall include one design professional. Approvals of the Sign Review Committee shall be provided in writing.

Pylon Multi-Tenant Sign

One primary identification sign is proposed for multi-tenant signage at this site, to be located along William Hilton Parkway and Mathews Dr. This sign will have an overall height of Sixteen (12' 0") feet. The face of the sign will be Thirteen (13' 0") feet in length and will contain six wood-grained tenant panels as shown in the attached drawing. Tenant panel usage will be at the discretion of the landlord/property owner.

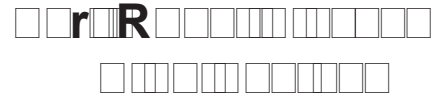
Mounting (Location and Backing)

Minor Tenant signs shall be mounted on the vertical band that runs below the eave of the shopping center canopy and across the faces of the arbor elements in front of the canopy. The location is shown on plans accompanying these guidelines. These for purposes of these guidelines are designated as main signs. Each tenant is allowed one main sign per 100' of store frontage.

Major Tenants over 7,200 square feet in gross floor area may utilize signage parapet as approved by the landlord/property owner and the Sign Review Committee in the attached drawing to allow additional area to accommodate the allowed larger letter height as proposed below. Sign Areas are designated as Sign Area A and Sign Area B depending on the parapet type.

A second set of signs may be affixed to the horizontal members under the canopy so as to be read by pedestrians moving along the walkway beneath the canopy. These signs are to be attached on either side of the same horizontal member. They are to be centered on the member to which they are attached. Under canopy signs cannot extend below the horizontal member to which they are attached more than 10". Under canopy signs must be solidly affixed and cannot be suspended from the horizontal member by chains, cords or other flexible means. Each tenant is allowed one set of under canopy signs per retail customer entrance. Under canopy signs are to be located within reasonable proximity to the retail customer entrance. Under canopy signs of tenants near the end of the canopy shall not locate under canopy signs where they are intentionally visible from the parking lot.

The main sign shall be mounted on a backing board which is one half to one quarter of an inch thick and of uniform surface texture.



Typography Style and Characteristics (Matte Finish, Low Dimension, Ascenders and Descenders, Visual Adjustment of Rounded Letters, Punctuation)

Typography for the main sign may be of wood, plastic, pvc, or other appropriate material that meets the color and sheen requirements of these guidelines. Letters, characters and symbols for the main sign shall have a low dimension profile.

Ascenders (punctuation or symbols that extend above the top of the highest text of the sign) or Descenders (letters or punctuation that descend below the base line for the system) shall be allowed to ascend or descend above or below the main field of the sign by no more than one and one quarter inch (1 - 1/4"). Ascenders and descenders should be backed by the backing material in a manner that is seamless with the remainder of the backing.

The spacing and positioning of letters, numbers, characters and punctuation shall conform to requirements of good practice as published in the book Architectural Signing and Graphics, by John Follis and Dave Hammer as published by Whitney Library of Design an imprint of Watson-Guption Publications. A copy of the pertinent sections is included as a portion of these guidelines and are attached hereto.

Upper- and lower-case letters, punctuation, small logos and numerals and symbols may be included in the signs as approved by the sign review committee.

Double line signs are acceptable but may not exceed 15" in overall height from the top of the highest letter on the upper line to the base line of the lower line. Ascenders and descenders may be incorporated as described in other portions of these guidelines. Spacing and positioning of typography and text shall comply with the recommendations of Messrs. Follis and Hammer attached.

Color per sign

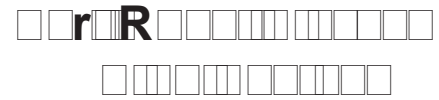
Minor Tenant signs shall utilize one color per sign. Major Tenant signs shall utilize up to three colors. Sign colors must be selected from the approved color list.

Colors and Sheen (Limit to colors)

Colors shall be selected from list approved by the landlord and Sign Review Committee as attached and listed below.

Colors shall be compatible with the colors of signs prevailing in other areas of the Island and in the Plaza. Letters, characters and other sign components for all signs shall be matte finish.

Iron Ore	SW 7069
Stolen Kiss	SW 7586
Yam	SW 6643
Andiron	SW 6174
Rookwood Dark Green	SW 2816
Hardware	SW 6172
Mountain Gray	Glidden
Naval	SW 6244
Salty Dog	SW 9177
Designer Grey	Glidden



Sign Size

Main signs may not exceed fifteen inches (15") in height for upper case letters and eleven inches (11") in height for lower case letters. Overall main sign height, excluding descenders and ascenders, shall not exceed 15". Minor Tenant backing panels shall be 17" high by 18' 2" long. Backing for ascenders and descenders may extend up to 1 3/4' beyond the perimeter of the main backing but in no case can it interrupt the trim for the sign band.

Major Tenants over 7,200 square feet in gross floor area are permitted a maximum letter height of thirty inches (30") for uppercase letters and twenty-six (26") for lowercase letters. Logos are permitted at a maximum height of 43" for Major Tenants per the requirements for logos listed below.

Under canopy signs shall not exceed three feet (3' 0") wide by one foot and eight inches (1' 8") high.

Mounting of letters

Individual letters are to be mounted to the backing panel for Minor Tenants by approved methods as recommended by the manufacturer of the letters provided. The letters shall be permanently mounted to the backing panel and the backing panel shall be mounted with hidden fasteners to the sign band. Letters and backing panel shall be mounted straight and true in accordance with the mounting template approved by the Sign Review Committee. Major Tenant signage shall be directly mounted to the building.

Under canopy signs shall be affixed with screws or other permanent fastening devices to the horizontal member to which it is attached. Under canopy signs shall not interfere with the under canopy lights or affect the structural integrity of the canopy in any way.

Logos

Tenant logos are not encouraged as part of the Plaza signage but may be incorporated in main Signs for Major Tenants subject to approval by the Sign Review Committee. Logos to be incorporated into signs as an adjunct to the text must be the same color as the sign or the backing. Logos shall not dominate the sign. Any logo that in the opinion of the Sign Review Committee would present a distraction to the sign system of the plaza may be disallowed.

Logos are encouraged to be incorporated in the under-canopy signs.

Lighting

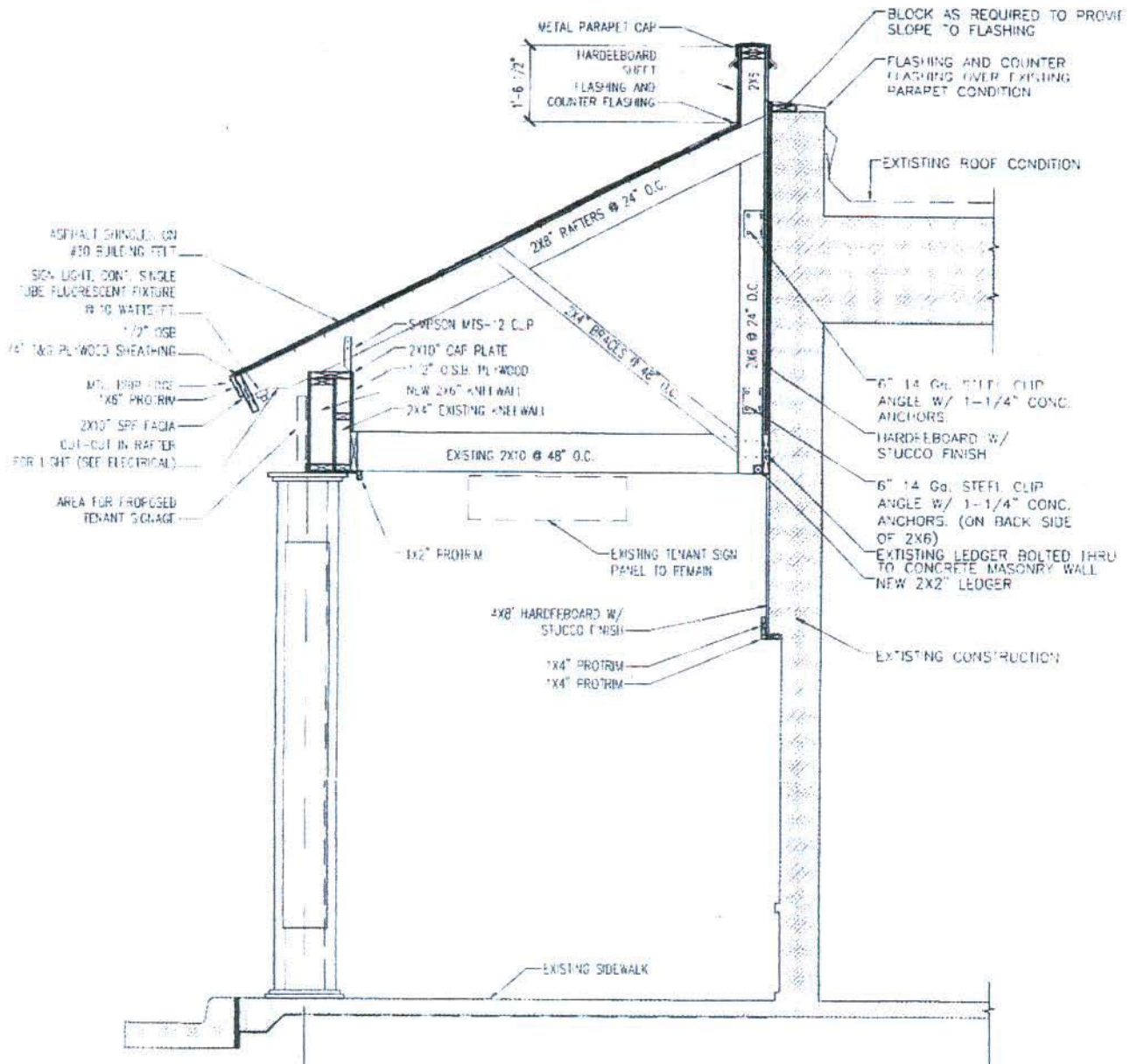
Major Tenant signage is permitted to have external illumination as permitted by landlord and approved by the Sign Review Committee.

Other Considerations





No letters or signs shall move, emit light or sound.

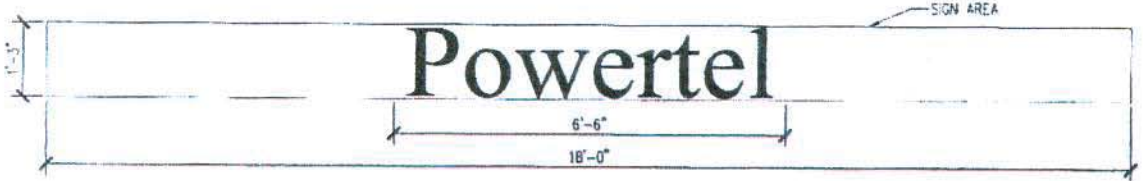
American flags displayed in accordance with the standards published by the Veterans of Foreign Wars are not considered to be signs.

Nothing in these guidelines is considered to be at odds with the local state or federal regulations and ordinances. Should any conflict arise between governmental regulations and these guidelines, governmental regulations prevail.



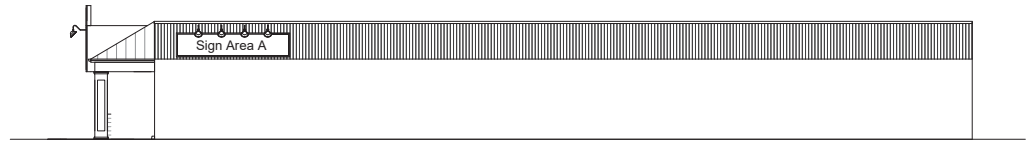
NOTE:
 ALL TENANT SIGNAGE MUST BE
 MONOCHROMATIC AND IS LIMITED
 TO ONE OF THE FOLLOWING COLORS:





1 OVERALL FRONT FACADE - PROPOSED
SCALE: 1/8" = 1'-0"



2 AUTOZONE - SIDE
SCALE: 1/8" = 1'-0"



3 FUTURE TENANT - SIDE
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

1. ALL WALL GRAPHICS ARE SHOWN FOR INTENT, LOCATION & APPROXIMATE SCALE PURPOSES ONLY. PANEL SIZES, LOCATIONS, MOUNTING HEIGHTS, COLORS, ETC. TO BE FIELD VERIFIED W/ TENANT & COORDINATED W/ GRAPHICS SUPPLIER.
2. ALL PAINT COLORS TO BE REVIEWED AND APPROVED BY TENANT PRIOR TO INSTALL.

SIGNAGE ANALYSIS

HILTON HEAD ISLAND, SC - LAND MANAGEMENT ORDINANCE.

FACADE AND HANGING SIGNS

1. THE TOTAL SIZE OF FACADE AND HANGING SIGNS SHALL NOT OCCUPY MORE THAN TEN PERCENT OF THE AREA OF THE FACADE ON WHICH THEY ARE PLACED. WITHIN THE MAXIMUM SIZE OF ANY ONE SIGN LIMITED TO 45 SQUARE FEET. DEVELOPMENTS WITH LESS THAN 2,000 SQUARE FEET OF SIGNAGE AREA THAT HAVE THE RIGHT TO MAKE ADVERTISING SIGNS SHALL BE PERMITTED TO EXCEED THESE SIZE LIMITATIONS BY 50 PERCENT.
2. NO MORE THAN TWO SIGNS MAY BE PLACED ON OR DISPLAYED FROM ANY ONE FACADE OF ANY ONE BUILDING. SHOPPING CENTERS SHALL BE PERMITTED TWO SIGNS PER TENANT FACADE. PROVIDED THAT ONLY ONE SUCH TENANT SIGN IS VISIBLE FROM ANY PUBLIC WAY. SUCH TENANT SIGNS SHALL ONLY BE PERMITTED IN CASE OF FACADE SIGNS IDENTIFYING THE NAME OF THE SHOPPING CENTER OR BUILDING.
3. FACADE SIGNS SHALL BE CONTAINED WITHIN ANY SINGLE WALL, PANEL, WINDOW, DOOR, OR OTHER ARCHITECTURAL COMPONENT UPON WHICH THEY ARE PLACED.
4. HANGING SIGNS SHALL BE LOCATED IN CONSIDERATION OF THEIR RESPECTIVE ARCHITECTURAL ELEMENT.
5. TENANT FACADE AND HANGING SIGNS SHALL BE LOCATED ON THE TENANT SPACE BEING IDENTIFIED. IF THIS REQUIREMENT CANNOT BE REASONABLY ACHIEVED, THE OFFICIAL SHALL APPROVE AN ALTERNATE LOCATION.

SIGN ILLUMINATION

1. EXTERNAL ILLUMINATION SHALL BE BY A STEADY STATIONARY LIGHT SOURCE, SHIELDED AND DIRECTED SOLELY AT THE SIGN. LIGHT FIXTURES SHALL BE RESTRICTED TO NOT MORE THAN ONE SHIELDED LIGHT FIXTURE PER SIDE FOR SIGNS UP TO 45 SQUARE FEET AND NOT MORE THAN TWO SHIELDED LIGHT FIXTURES PER SIDE FOR SIGNS OVER 45 SQUARE FEET.
2. LIGHT SOURCES TO ILLUMINATE SIGNS SHALL NEITHER BE VISIBLE FROM ANY STREET RIGHT-OF-WAY, NOR CAUSE GLARE HAZARDOUS TO PEDESTRIANS OR VEHICLE DRIVERS OR SO AS TO CREATE A NUISANCE TO ADJACENT PROPERTIES. ALL GROUND MOUNTED LIGHTING MUST BE OBSCURED BY LANDSCAPING APPROVED BY THE OFFICIAL.
3. THE INTENSITY OF THE LIGHT SHALL NOT EXCEED 20 FOOT-CANDELES AT ANY POINT ON THE SIGN.
4. SIGNS SHALL NOT HAVE LIGHT-REFLECTING BACKGROUNDS BUT MAY USE LIGHT-REFLECTING LETTERING OR HALO LIGHTING.
5. THE OFFICIAL MAY PERMIT INTERNAL ILLUMINATION FOR MENU BOARD SIGNS FOR EATING ESTABLISHMENTS WITH A DRIVE-THROUGH. SUCH SIGNS SHALL NOT CAUSE GLARE HAZARDOUS TO PEDESTRIANS OR VEHICLE DRIVERS OR SO AS TO CREATE A NUISANCE TO ADJACENT PROPERTIES. SUCH SIGNS SHALL BE PLACED AND ANGLED SO THAT, TO THE GREATEST EXTENT POSSIBLE, THEY ARE NOT VISIBLE FROM PUBLIC OR PRIVATE STREETS.
6. LAMPS SHALL ONLY PRODUCE A WHITE LIGHT.

PROPOSED SIGNAGE:

7"x7" NON-ILLUMINATED LOGO W/ CHANNEL LETTERS (APPROX 77 SF)

FACADES - PORT ROYAL PLAZA

95 MATTHEWS DRIVE
HILTON HEAD ISLAND, SC
29926

SCHEMATIC DESIGN
07/28/20
MJM # 20168

NO.	DESCRIPTION	DATE

EXTERIOR ELEVATION

A801

Z:\Project\mjm\2018-07-28-GFH-Hilton Head Island - SC-WB_Boarding04_CD\201808_GFP_HHL_Boarding.rvt

ARCHITECTS
SEAL
CONSULTANT
OWNER
LOCATION
DATE
REVISIONS
SHEET

MS.1 D/F NON-LIT MONUMENT SIGN (QTY 2)

SQUARE FOOTAGE: 104.5



WILLIAM HILTON PARKWAY & PLAZA BLVD



MATHEWS DRIVE

EXISTING
SCALE: NTS



PROPOSED (SAME MONUMENT DESIGN, 2 LOCATIONS)
SCALE: NTS



JONES SIGN
Your Vision. Accomplished.
WWW.JONESSIGN.COM

JOB #: 252471-R3

DATE: 08.13.2020

DESIGNER: T Grueschow

SALES REP: E Zeise

PROJ MGR: P Moore

REV.	DATE	BY	DESCRIPTION
1	08.17.20	TG	REVISE TENANT PANEL SIZE / MONUMENT COLORS PER COLOR CHART
2	08.20.20	TG	REVISE COLORS / CLIENT-UPDATED COLOR PALLETTE
3	08.25.20	TG	REVISE MONUMENT SIZE TO CITY SPECS / REVISE TENANT PANELS / ADD DIMS / GENERAL SPECS
4	00.00.00	XX	XXXX
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE

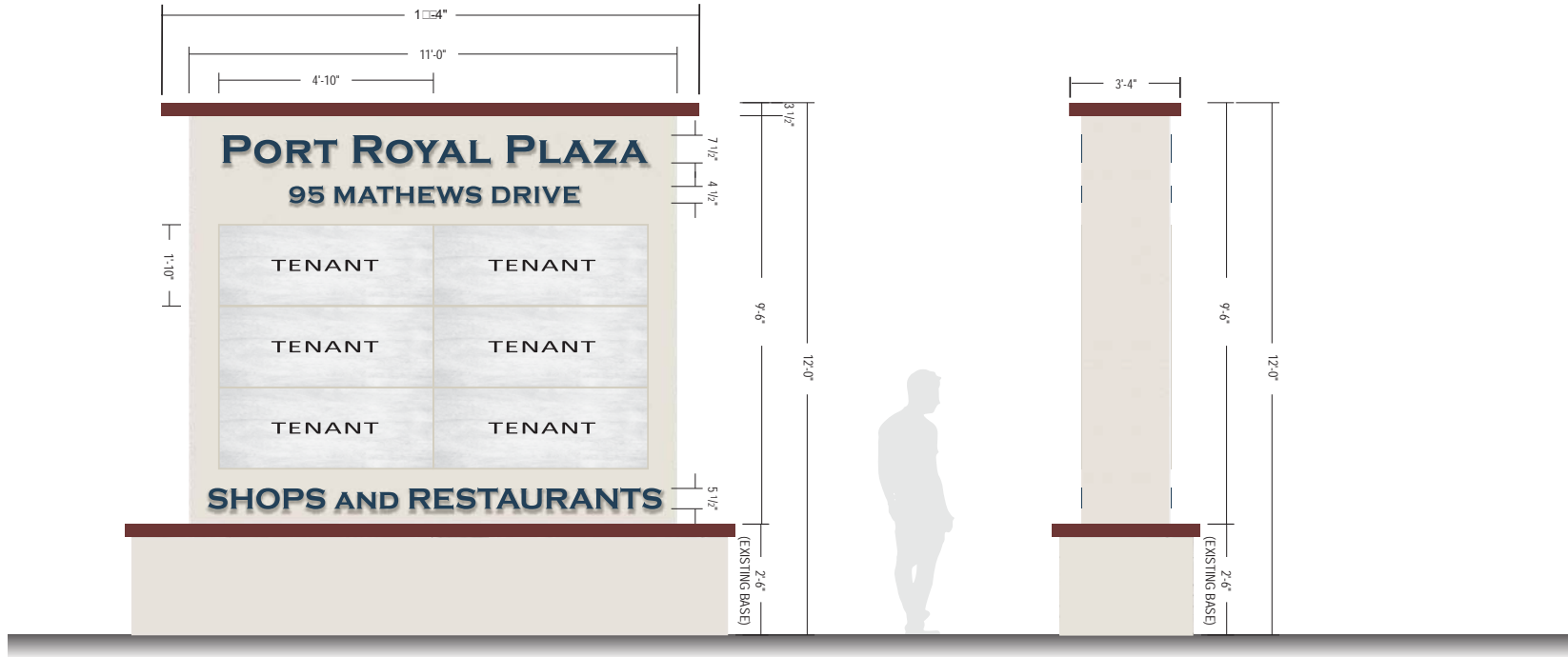
PORT ROYAL PLAZA
95 Mathews Drive
Hilton Head Island, SC 29926

SHEET NUMBER
1.0

This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

MS.1 D/F NON-LIT MONUMENT SIGN (QTY 2)

SQUARE FOOTAGE: 104.5



SPECIFICATIONS

- RESURFACE EXISTING STUCCO SIGN WITH NEW STUCCO FINISH. TEXTURED PAINT P-1 / P-3
- 1/4" THK FLAT CUT LETTERS / PAINTED P-2 / MOUNTED TO FACE
- 3/4" THIC ROUTED HDU TENANT PANELS WITH WOOD GRAIN TEXTURE P-1
- RESURFACE EXISTING SIGN BASE WITH NEW STUCCO - PAINT P-1 / P-3

COLORS/FINISHES

- P-1 MP TO MATCH GLIDDEN MOUNTAIN GRAY
- P-2 MP TO MATCH SW 9177 SALTY DOG
- P-3 MP TO MATCH SW 7586 STOLEN KISS

NOTES

- EXISTING SIGN TO STAY IN PLACE. REMOVE LETTERS FROM SIGN FACES AND RE-SURFACE SIGN FACES IN NEW STUCCO PAINTED P-1 PAINT CAP P-3.
- APPROX NEW ROUTED LETTERS AND TENANT PANELS TO RESURFACED SIGN FACES.
- *EXISTING SIGN BASE TO BE REFINISHED WITH NEW STUCCO FINISH - P-1 / P-3

FONTS

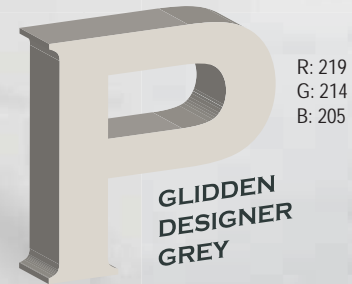
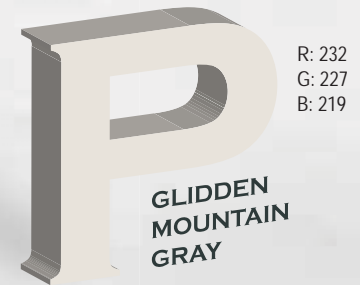
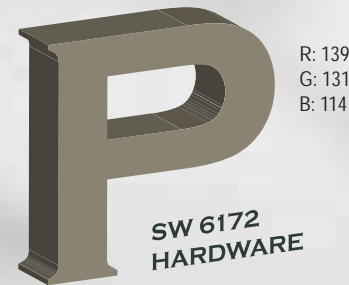
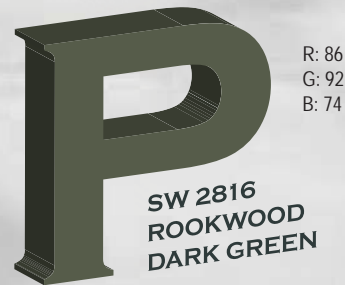
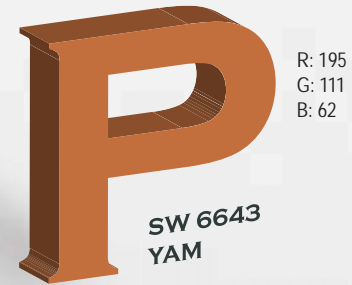
COPPERPLATE GOTHIC BOLD REGULAR

 Your Vision. Accomplished. WWW.JONESSIGN.COM	JOB #: 252471-R3 DATE: 08.13.2020 DESIGNER: T Grueschow SALES REP: E Zeise PROJ MGR: P Moore	<table border="1" style="width: 100%; border-collapse: collapse; font-size: 8px;"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08.17.20</td> <td>TG</td> <td>REVISE TENANT PANEL SIZE / MONUMENT COLORS PER COLOR CHART</td> </tr> <tr> <td>2</td> <td>08.20.20</td> <td>TG</td> <td>REVISE COLORS / CLIENT UPDATED COLOR PALLETTE</td> </tr> <tr> <td>3</td> <td>08.25.20</td> <td>TG</td> <td>REVISE MONUMENT SIZE TO CITY SPECS / REVISE TENANT PANELS / ADD DIMS / GENERAL SPECS</td> </tr> <tr> <td>4</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>5</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>6</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>7</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>8</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>9</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> <tr> <td>10</td> <td>00.00.00</td> <td>XX</td> <td>XXXX</td> </tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	08.17.20	TG	REVISE TENANT PANEL SIZE / MONUMENT COLORS PER COLOR CHART	2	08.20.20	TG	REVISE COLORS / CLIENT UPDATED COLOR PALLETTE	3	08.25.20	TG	REVISE MONUMENT SIZE TO CITY SPECS / REVISE TENANT PANELS / ADD DIMS / GENERAL SPECS	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">CLIENT APPROVAL</td> <td style="width: 50%;">DATE</td> </tr> <tr> <td style="height: 40px;"></td> <td></td> </tr> <tr> <td>LANDLORD APPROVAL</td> <td>DATE</td> </tr> <tr> <td style="height: 40px;"></td> <td></td> </tr> </table>	CLIENT APPROVAL	DATE			LANDLORD APPROVAL	DATE			PORT ROYAL PLAZA 95 Mathews Drive Hilton Head Island, SC 29926	SHEET NUMBER <h1 style="font-size: 2em; margin: 0;">2.0</h1>
	REV.	DATE	BY	DESCRIPTION																																																					
1	08.17.20	TG	REVISE TENANT PANEL SIZE / MONUMENT COLORS PER COLOR CHART																																																						
2	08.20.20	TG	REVISE COLORS / CLIENT UPDATED COLOR PALLETTE																																																						
3	08.25.20	TG	REVISE MONUMENT SIZE TO CITY SPECS / REVISE TENANT PANELS / ADD DIMS / GENERAL SPECS																																																						
4	00.00.00	XX	XXXX																																																						
5	00.00.00	XX	XXXX																																																						
6	00.00.00	XX	XXXX																																																						
7	00.00.00	XX	XXXX																																																						
8	00.00.00	XX	XXXX																																																						
9	00.00.00	XX	XXXX																																																						
10	00.00.00	XX	XXXX																																																						
CLIENT APPROVAL	DATE																																																								
LANDLORD APPROVAL	DATE																																																								

This is an original, unpublished drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project being planned for you by JONES SIGN. It is not to be shown to anyone outside of your organization, nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the express written permission of JONES SIGN, is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. JONES SIGN will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for client's conception of project and are not to be understood as being exact size or exact scale.

COLORS

Port Royal Plaza
95 Mathews Drive
Hilton Head, SC 29926



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Port Royal Plaza Sign System

DRB#: DRB-001619-2020

DATE: 8/28/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. On freestanding sign, tenant panel background color to be Glidden Designer Grey with Glidden Grey Mountain Borders.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Sign D'Sign Company: Stephanie Horrell
 Mailing Address: 270 Red Cedar St, 102 City: Bluffton State: SC Zip: 29910
 Telephone: 843-751-7054 E-mail: shorrell@sign-dsign.com
 Project Name: Inspired Closets Project Address: 10 Target Rd
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development
- Final Approval – Proposed Development

- Alteration/Addition
- Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Stephanie Horrell
SIGNATURE

08/26/2020
DATE

Sea Pines

COMMUNITY SERVICES ASSOCIATES

ADMINISTRATION DEPARTMENT
OFFICE (843) 671-1343 • INFO@CSASEAPINES.COM • FAX (843) 671-2621
WWW.SEAPINESLIVING.COM

August 28, 2020

Attn: Stephanie Horrell, Sign D'Sign

Sent to: shorrell@sign-dsign.com

cc: sheaf@hiltonheadislandsc.gov

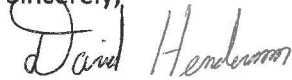
Re: Sea Pines CARB Approval for Inspired Closets Signage, 10 Target Road

Dear Ms. Horrell:

The Sea Pines Commercial ARB has approved the sign package as proposed.

If you have any questions please feel free to call/email.

Sincerely,



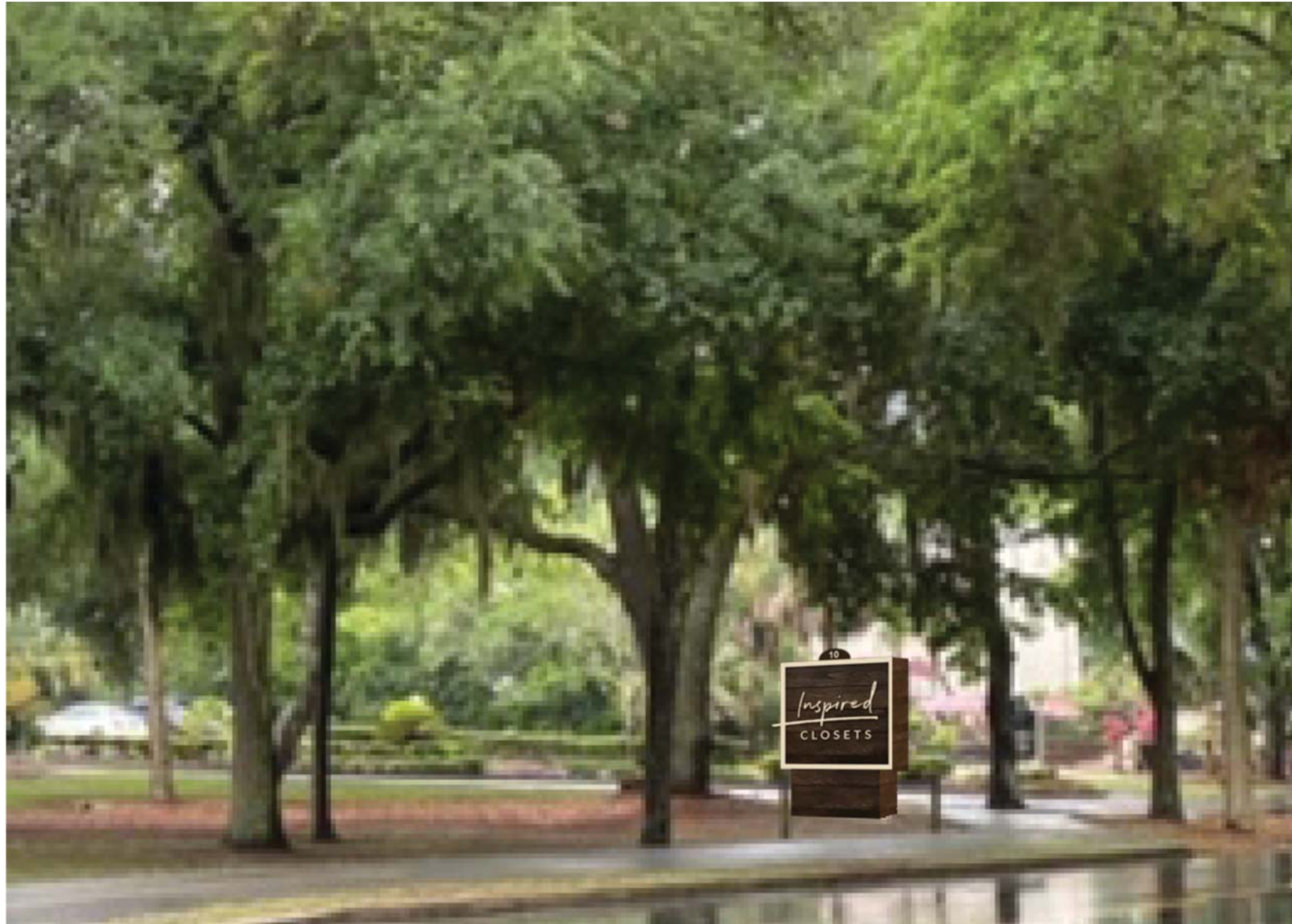
David Henderson

Director of Special Projects and Operations

wildlife@csaseapines.com

MONUMENT SIGN

HDU Foam Construction- Double Sided
 1/4" Routed Aluminum Logo Mounted to Sign w/ .5" spacers
 3/4" MDO board for base with wood look trim
 Address # measures 4" high
 7' tall 3" dia. aluminum post will secure sign to base and base to the ground.



Please review carefully. Unless noted, no revisions will be made. If revisions are requested, please note and email or fax back to us. If this meets your approval as is, please sign and email or fax. Your approval indicates that with the completion of all noted corrections we will not be held responsible for any errors.

ADDITIONAL COMMENTS

SW 2833 Roycroft Vellum



Dark Walnut



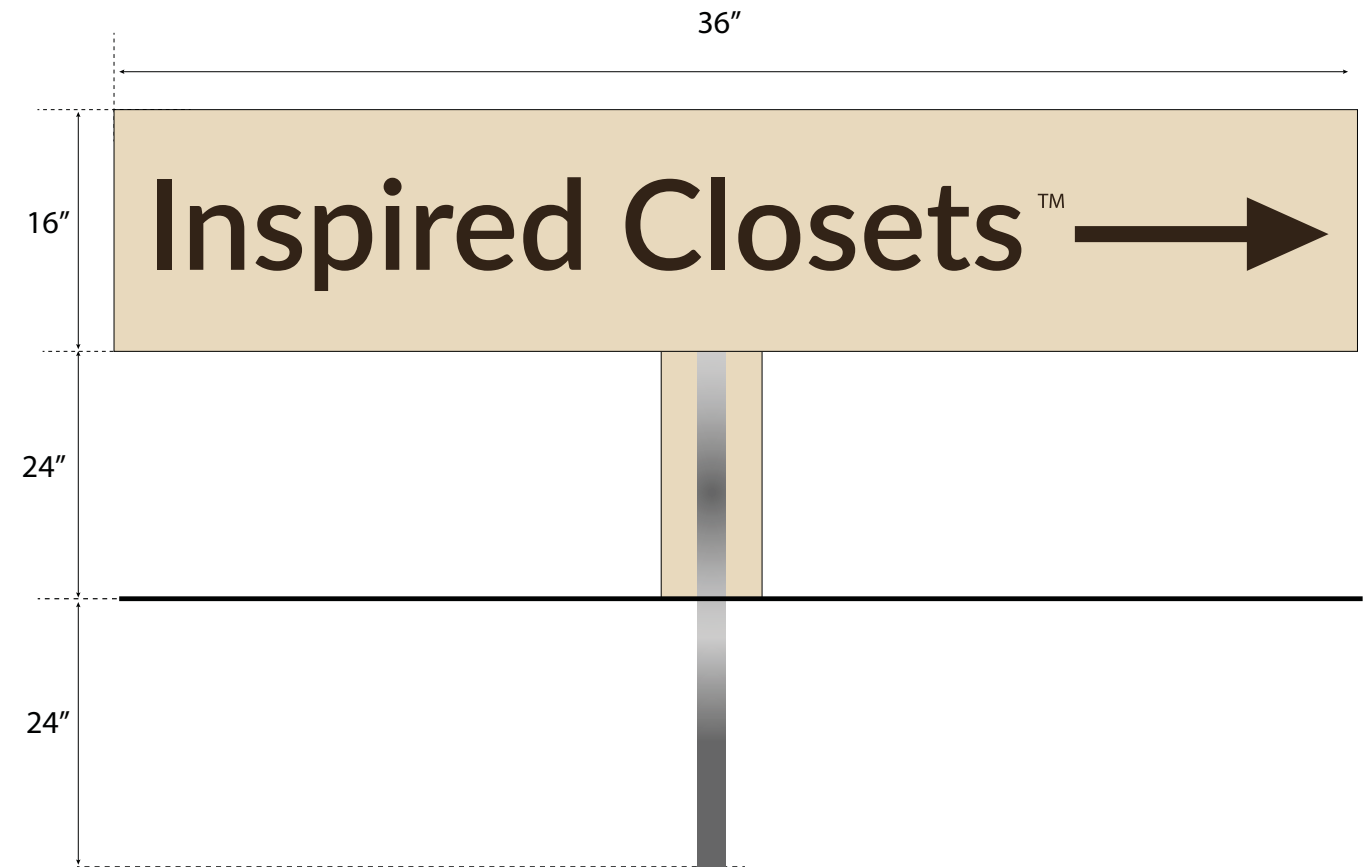
LOCATION

Hilton Head, SC



WAYFINDING SIGN

HDU Foam Face- Single Sided
 4" x 4" x 3/4" MDO Board for the base, painted SW 2833
 2"x2" square steel tube for mounting into position



Please review carefully. Unless noted, no revisions will be made. If revisions are requested, please note and email or fax back to us. If this meets your approval as is, please sign and email or fax. Your approval indicates that with the completion of all noted corrections we will not be held responsible for any errors.

ADDITIONAL COMMENTS

SW 2833 Roycroft Vellum



Dark Walnut



LOCATION

Hilton Head, SC



FACADE SIGN

HDU Foam Construction
1/4" Routed Aluminum Logo Mounted to Sign w/ .5" spacers



Please review carefully. Unless noted, no revisions will be made. If revisions are requested, please note and email or fax back to us. If this meets your approval as is, please sign and email or fax. Your approval indicates that with the completion of all noted corrections we will not be held responsible for any errors.

ADDITIONAL COMMENTS

SW 2833 Roycroft Vellum



Dark Walnut



LOCATION

Hilton Head, SC



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Inspired Closets Sign

DRB#: DRB-001717-2020

DATE: 8-28-20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify the color for the Dark Walnut.
2. On freestanding sign, the address be integrated into the sign face.
3. On freestanding sign, landscape plan approved with sign application.
4. Freestanding sign location is 2' from the edge of the pathway and logo does not extend beyond the edge of the sign.
5. Directional sign size reduced to 16" X 24" and copy stacked. Mounted to wood post rather than MDO.
6. Wind load calculations submitted with sign permit.