



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, September 24, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

1. **Call to Order**
2. **FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
3. **Roll Call**
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of September 10, 2019
6. **New Business**
 - a. *Alteration/Addition*
 - i. Northridge Plaza Site Improvements & Building Façade Upgrades, DRB-001415-2019
7. **Appearance by Citizens**
8. **Board Business**
 - a. Review and Adoption of 2020 Meeting Schedule
9. **Staff Report**
 - a. Minor Corridor Report
10. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board
Tuesday, September 10, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: Chairman Dale Strecker (excused)

Present from Town Council: Tamara Becker, Glenn Stanford

Present from Town Staff: Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Acting Chairman Gentemann called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of August 27, 2019

The Board approved the minutes of the August 27, 2019 regular meeting by general consent.

6. New Business

a. Alteration/Addition

i. Festival Centre Color Change, DRB-001788-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval of the application as submitted.

Chairman Gentemann asked if the applicant would like to add to Staff's narrative. The applicant answered the Board's questions.

The Board complimented the project. The Board asked the color of the roof. The applicant indicated the roof and the trim will be painted the same color, Dark Ash. The repaint encompasses the band of shops anchored by Publix, including New York City Pizza Company and the space formerly occupied by Atlanta Bread Company. Barnes & Noble is not part of this project. The Board asked how much darker the Dark Ash color is compared to the existing color. The applicant indicated Dark Ash is about two shades darker on the color wheel.

Upon the conclusion of the discussion, Chairman Gentemann asked for a motion.

Mr. Moleski made a motion to approve DRB-001788-2019 as submitted. Ms. Foss seconded. The motion passed with a vote of 6-0-0.

7. Appearance by Citizens – None

8. Board Business – None

9. Staff Report

- a. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the July 30, 2019 meeting.

10. Adjournment

The meeting was adjourned at 1:25 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: WILLIAM GOLDSMITH Company: GATOR NORTHRIDGE PARTNERS, LLLP
 Mailing Address: 7850 NW 146th ST., 4th FLR City: MIAMI LAKES State: FL Zip: 33016
 Telephone: 305-949-9049 Fax: 305-948-6478 E-mail: BILLG@GATORINV.COM
 Project Name: NORTHRIDGE PLAZA SITE IMPROVEMENTS Project Address: 435 WILLIAM HILTON PKWY, HILTON HEAD, SC.
 Parcel Number [PIN]: R511 008 000 0345 0000
 Zoning District: CC Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input checked="" type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant. LOA (LANDOWNER ASSOCIATION), CBL PERIPHERAL PROPERTIES, HAS BEEN DISSOLVED. SEE ATTACHED DOCUMENT FROM SOUTH CAROLINA SECRETARY OF STATE.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3. *ATTACHED*
- Final site development plan meeting the requirements of Appendix D: D-6.F. *SEE EXHIBIT C*
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I. *SEE EXHIBIT C AND D*
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project. *SEE EXHIBIT A*
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- N/A* Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

GATEWAY NORTHERIDGE PARTNERS LTD
 By *[Signature]*
 SIGNATURE *William Gustafson, VP*

6-27-19
 DATE

Business Entities Online

File, Search, and Retrieve Documents Electronically

CBL PERIPHERAL PROPERTIES LIMITED PARTNERSHIP

Corporate Information

Entity Type: Limited Partnership

Status: Dissolved

Domestic/Foreign: Foreign

Incorporated State: Tennessee

Important Dates

Effective Date: 09/08/1994

Expiration Date: N/A

Term End Date: N/A

Dissolved Date: 12/21/2017

Registered Agent

Agent: CORPORATION SERVICE COMPANY

Address: 1703 LAUREL STREET
COLUMBIA, South Carolina 29201

Official Documents On File

Filing Type	Filing Date
Certificate of Cancellation	12/21/2017
Change of Agent or Office	12/06/2007
Change of Agent or Office	02/06/2004
LP Certificate	09/08/1994

NARRATIVE

Northridge Plaza Site Improvements and Building Façade Upgrades

435 William Hilton Parkway, Hilton Head, SC 29926

The project titled Northridge Plaza Site Improvements and Building Façade Upgrades will take place at the Northridge Plaza Shopping Center located at 435 William Hilton Parkway, in Hilton Head South Carolina.

The entire property consists of approximately 10.234 Acres. Site improvements consist of milling and resurfacing existing asphalt surfaces, replace timber curbs with concrete curbs, upgrade existing site / parking lot lighting with LED lighting to be designed and installed in accordance with Town standards by Palmetto Electric, landscaping, tree pruning, and removal of poor and fair condition trees as identified in the Tree Inventory report prepared by Bartlett Tree Experts. The combined site improvements of landscaping, lighting and paving will improve exterior lighting conditions creating enhanced view corridors which will improve both appearance and security monitoring opportunities.

Building Façade upgrades are long overdue and will eliminate deteriorating wood canopy conditions, as well as modernize the appearance of the property providing an enhanced experience for vendors, customers and visitors alike. These upgrades include removal of the existing wooden canopy along the shopping center façade, and providing a combination of metal and fabric canopies to provide shade, shelter from the elements and an improved appearance for the shopping center. Existing exterior wall surfaces will be re-surfaced with an EIFS (Stucco) system. The overall footprint of the shopping center, approximately 79,573 square feet, will remain unchanged as no enclosed spaces are being removed or added.

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
OVERALL
EXISTING ELEVATION

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
HOMEGOODS
EXISTING ELEVATION

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
DOLLAR TREE
EXISTING ELEVATION



NORTHRIDGE PLAZA
LOCAL TENANTS (TYP.)
EXISTING ELEVATION

TURF AND GRASSING NOTES:

- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
- ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
- THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
- FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
- SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

LIGHTING NOTES:

- THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
- IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
- MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

NOTE: EXISTING SIGNIFICANT TREES TO REMAIN SHALL RECEIVE FERTILIZATION AND MYCOR TREATMENT PRIOR TO CONSTRUCTION COMMENCING. TREE HEALTH WILL BE MONITORED DURING CONSTRUCTION BY LICENSED ARBORIST, AND AN ADDITIONAL FERTILIZATION AND ROOT STIMULATION PROVIDED POST-CONSTRUCTION. ALL EXISTING TREES TO REMAIN SHALL RECEIVE ONE ROUND OF FERTILIZATION AND ROOT STIMULATION POST-CONSTRUCTION AND A MAINTENANCE SCHEDULE GENERATED BY LICENSED ARBORIST FOR HEALTH AND PRESERVATION OF TREES GOING FORWARD.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.1.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 2B CATEGORY I TREES AND 12 CATEGORY II TREES. THE CATEGORY I AND II REPLACEMENT TREES MUST BE 10' HT. AND 2" CALIPER AT TIME OF PLANTING. DISCUSSION WITH TOWN STAFF WILL BE NECESSARY FOR WAIVER AND ACCEPTANCE OF PROPOSED OVERSTORY TREES (MAGG & QUEH) AND PALMS (SABP).

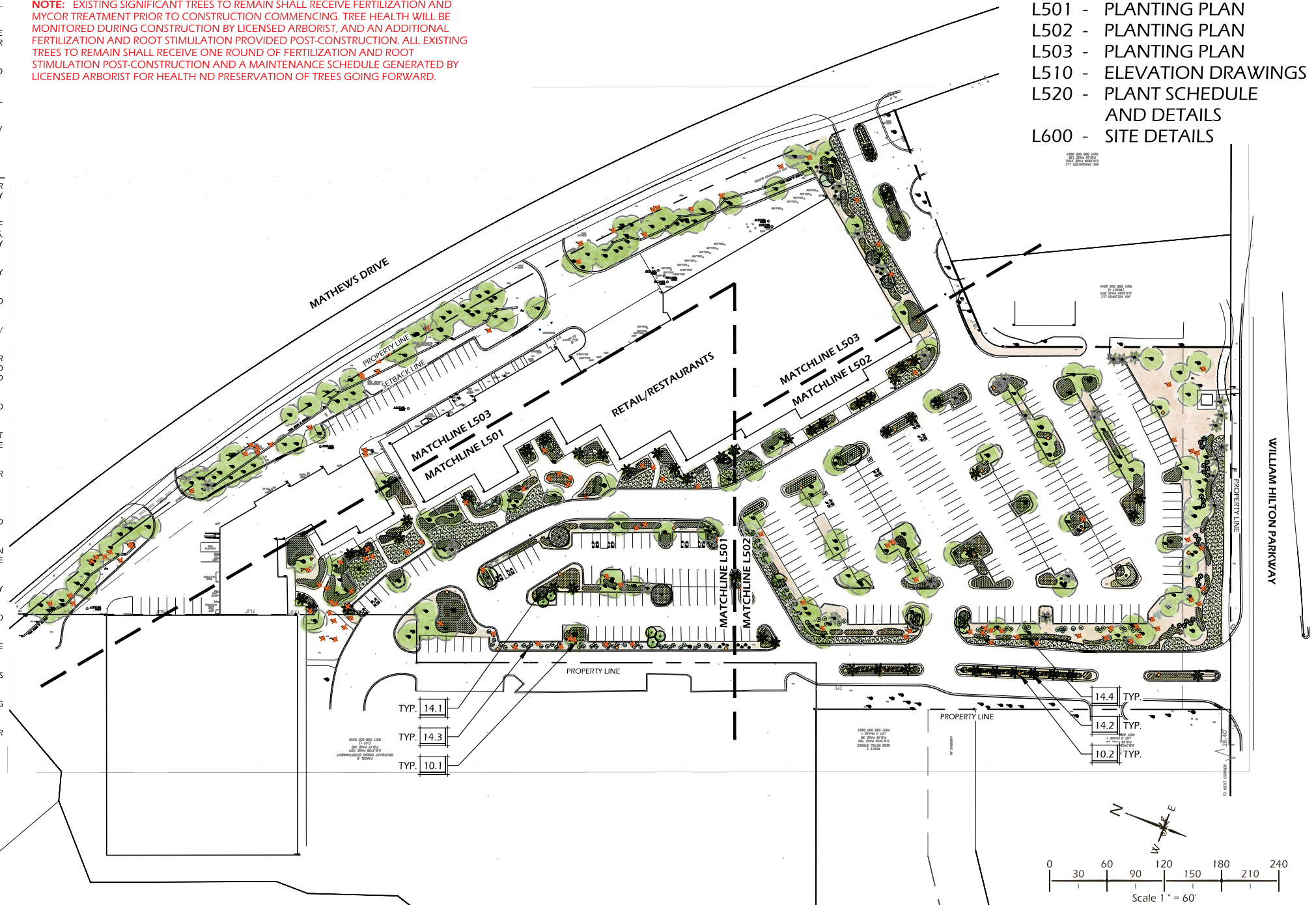
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L520
14.2	PALM TREE PLANTING	2/L520
14.3	SHRUB PLANTING	3/L520
14.4	GROUND COVER PLANTING	4/L520

LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1	▲	12	UP LIGHT	1/L600
10.2	●	25	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.
* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

SHEET INDEX

- L500 - KEY SHEET AND NOTES
- L501 - PLANTING PLAN
- L502 - PLANTING PLAN
- L503 - PLANTING PLAN
- L510 - ELEVATION DRAWINGS
- L520 - PLANT SCHEDULE AND DETAILS
- L600 - SITE DETAILS



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DESIGN CONCEPTS, DRAWING SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS FOR
NORTH RIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
KEY SHEET AND NOTES

DRAWING NUMBER
L500

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



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SITE DEVELOPMENT PLANS
 FOR
NORTHRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
 PROJECT NO.: 19083.01
 DRAWN BY: JM
 CHECKED BY: BW/JC

**FINAL SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L501

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L502

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

**FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

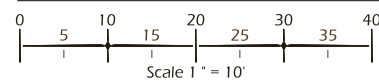
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L503

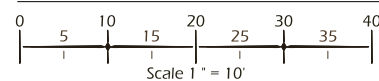
© 2019 WJK LTD.
 DESIGN CONCEPTS, DRAWING SHEETS,
 LOGOS, SPECIFICATIONS, DETAILS, WRITTEN
 MATERIAL SHALL NOT BE USED OR
 REPRODUCED IN WHOLE OR IN PART IN
 ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"



ELEVATION A



ELEVATION B



SITE DEVELOPMENT PLANS
 FOR
NORTHRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
 PROJECT NO.: 19083.01
 DRAWN BY: JM
 CHECKED BY: BW/JC

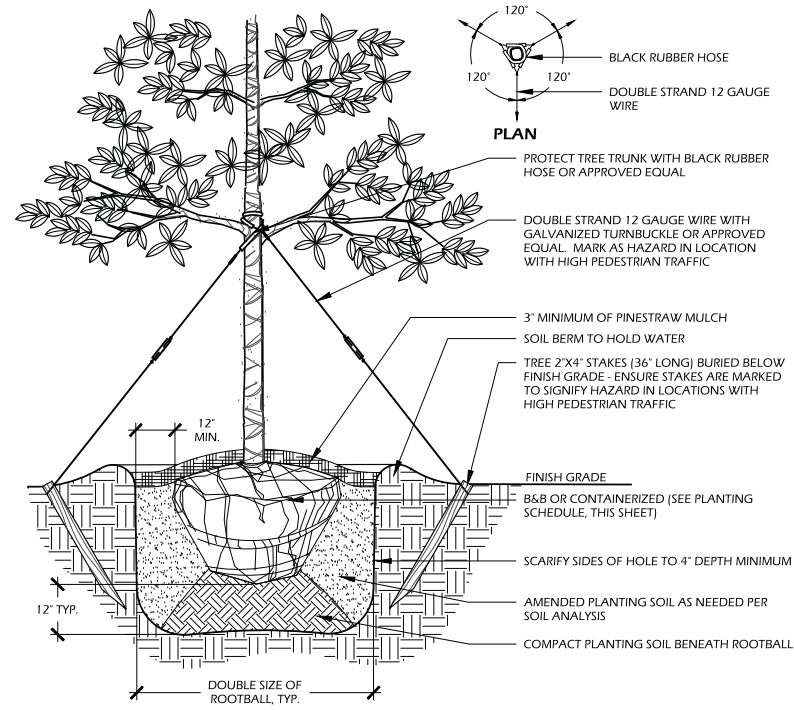
**FINAL SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
**ELEVATION
 DRAWINGS**

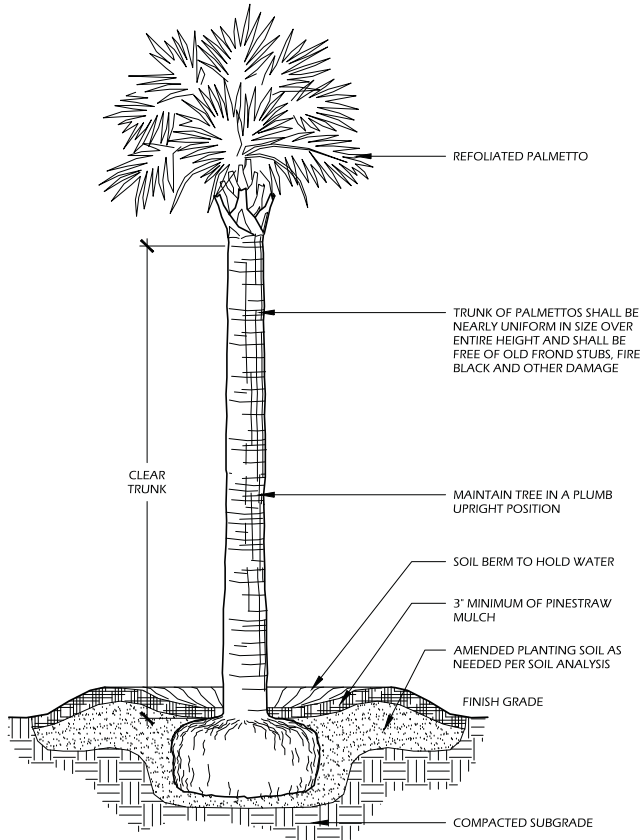
DRAWING NUMBER

L510



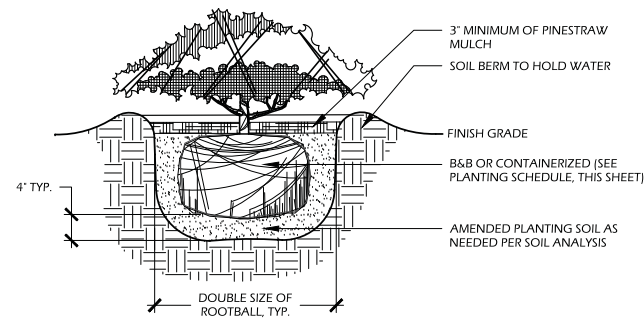
- NOTES:**
- TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



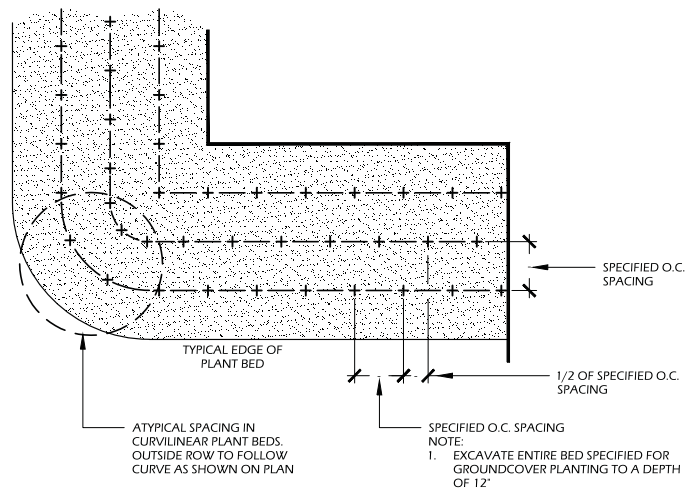
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
3	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	5'	Full to ground
5	QUEH	Quercus virginiana 'QVITA' PP 11219	High Rise Live Oak	14'-16'	6'-8'	Cont.	5'	Full
48	SABP	Sabal palmetto	Cabbage Palm	14'-16'	6'-8'	Cont.	-	Smooth trunk, Refoliated. See plan for heights
UNDERSTORY TREES								
12	ILEC	Ilex cassine	Dahoon Holly	10'-12'	5'-6'	-	2.5'	Full
1	LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
SHRUBS								
172	ABEG	Abelia grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	24'-30'	24'-30'	3 gal.	-	Full
25	AZAF	Azalea indica 'Formosa'	Formosa Azalea	24'-30'	24'-30'	7 gal.	-	Lavender Flowers, Full
30	AZAG	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	24'-30'	24'-30'	7 gal.	-	Full
120	LORP	Loropetalum chinense 'Peack' PP18441	Purple Pixie Dwarf Weeping Loropetalum	8'-12'	18'-24'	3 gal.	-	Full
39	SERR	Serenoa repens	Saw Palmetto	18'-24'	18'-24'	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
920	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12'	8'-12'	1 gal.	24" O.C.	Full
150	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
1,255	MUHW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
380	AGAA	Agapanthus africanus	Lily of the Nile	12'-18"	8'-12"	1 gal.	24" O.C.	Blue Flowers, Full
75	LANC	Lantana sellowiana 'Monma'	White Lightnin' Trailing Lantana	8'-12"	8'-12"	1 gal.	24" O.C.	White Flowers, Full
1,454	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12' runners	1 gal.	24" O.C.	Full
SOD & MULCH								
14,100	SOD-SF	-	Empire Zoysia Sod	-	-	-	-	-
62,400	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.I.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 124 CATEGORY I TREES, 19 CATEGORY II TREES, 22 CATEGORY III TREES, AND 1 CATEGORY IV TREE. AT TIME OF PLANTING, THE REPLACEMENT TREES MUST BE 10' HEIGHT AND 2" CALIPER FOR CATEGORY I AND II, AND 6' HEIGHT AND 1" CALIPER FOR CATEGORY III AND IV. DISCUSSION WITH TOWN STAFF WILL BE NECESSARY FOR WAIVER AND ACCEPTANCE OF PROPOSED CATEGORY I TREES (MAGG & QUEH), CATEGORY II TREES (ILEC), CATEGORY III TREES (SABP), AND CATEGORY IV TREES (LAGN).

POOR CONDITION TREE TALLY

CATEGORY I	CATEGORY II	CATEGORY III	CATEGORY IV
LAO 12, 18, 12, 10, 12, 12, 17, 15, 16, 15, 15, 20, 11, 10, 15, 14, 19, 14, 14, 11, 14, 15, 12, 14, 14, 22, 13, 12, 10, 8, 10, 14, 13, 10, 10, 14, 15, 12, 12, 12, 13, 14, 20, 9, 13, 22, 14, 13, 14, 12, 17, 12, 14, 15, 17, 13, 13, 9, 11, 16, 18, 19, 16, 16, 20, 11, 13, 7, 9, 6, 11, 16, 9, 13, 21, 19, 16, 8, 7, 12	GUM 7, 6, 14 WO 8, 10, 9, 9, 12, 13, 16, 18, 7, 8, 10, 8, 5, 8, 4, 9 MAP 13	PN 1 16, 12, 16, 16, 9. PN 2 7, 17, 13, 13, 19, 16, 17, 19, 12, 14	CM 4, 2
LO 10, 10, 14, 22, 21, 23, 19, 10, 29			

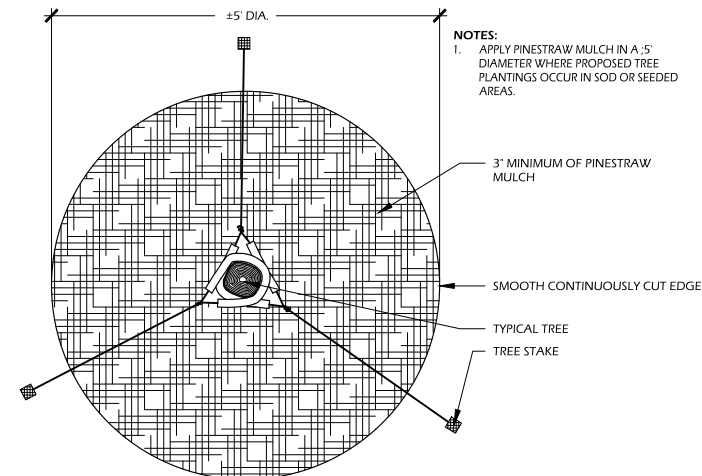
TREE LEGEND:
 CM - CRAPE MYRTLE | GUM - SWEETGUM | LAO - LAUREL OAK
 LO - LIVE OAK | MAP - RED MAPLE | PN 1 - LOBLOLLY PINE
 PN 2 - SLASH PINE | WO - WATER OAK

TREE MITIGATION CALCULATIONS

CATEGORY I	CATEGORY II
# OF TREES TO BE REMOVED: 89 TOTAL # OF DBH INCHES: 1244 1244 ÷ 10 = 124.4	# OF TREES TO BE REMOVED: 20 TOTAL # OF DBH INCHES: 194 194 ÷ 10 = 19.4
# OF NEW TREES REQUIRED: 124 # OF NEW TREES PROVIDED: 8 (SEE NOTE 01) # OF NEW TREES NOT PROVIDED: 116 (SEE NOTE 02)	# OF NEW TREES REQUIRED: 19 # OF NEW TREES PROVIDED: 12 (SEE NOTE 02) # OF NEW TREES NOT PROVIDED: 7 (SEE NOTE 02)
CATEGORY III	CATEGORY IV
# OF TREES TO BE REMOVED: 15 TOTAL # OF DBH INCHES: 216 216 ÷ 10 = 21.6	# OF TREES TO BE REMOVED: 2 TOTAL # OF DBH INCHES: 6 6 ÷ 10 = 0.6
# OF NEW TREES REQUIRED: 22 # OF NEW TREES PROVIDED: 44	# OF NEW TREES REQUIRED: 1 # OF NEW TREES PROVIDED: 1

NOTE 01: REPLACING WITH 5" CALIPER TREES, COUNTING AS DOUBLE BASED ON SIZE.

NOTE 02: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104 B.2.iii, WE WILL COORDINATE WITH TOWN DURING THE DPR PROCESS REMOVAL OF TREES IN POOR CONDITION THAT ARE EXEMPT FROM TREE MITIGATION. PER ARBORIST REPORT, SOME OF THE TREES IN POOR CONDITION CONSTITUTE DANGER TO ENVIRONMENT, PROPERTY, AND SAFETY DUE TO HAZARDOUS CONDITIONS.



5 // L501 TREE STAKING
SCALE: N.T.S.

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 DESIGN CONCEPTS, DRAWING SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
NORTH RIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 29, 2019
 PROJECT NO.: 19083.01
 DRAWN BY: JM
 CHECKED BY: BW/JC

**FINAL SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER
L600

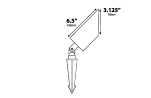
FOCUS INDUSTRIES DIRECTIONAL LIGHTS DL-46-LEDM20 **TYPE**

CONSTRUCTION: Cast aluminum or cast brass integrated heat sink base matching cast adjustable neck with 180° rotation, integral diffuser and brass housing.
LENS: High impact clear tempered corner glass.
DRIVING: 24 volt temperature and dimmer.
LIGHT SOURCE: Integrated 1200 lumen 20w LED module (equivalent to 100w halogen) with high power LED, 50000 hours average rating, 3000k color temperature, 1 year warranty.
OPTICS: Interchangeable spot (17.5° Flood 80°, wide Flood 80° and 180° very wide Flood 90° optic).
OPERATION: Integrated on-board, no external driver required, DALI/0-10V dimmer.
WARNING: Shock 1802 182 2 pin cord from base of fixture (2x 1802) For 0-10V dimmer head with 1802 2 pin cord from base of fixture to main cable (1802, 1802 or 0-10V).
CONNECTION: DL-46 Quick Connector (not supplied) from fixture to main cable (1802, 1802 or 0-10V).
FINISHES: Aluminum - Black, Bronze, Polished, Powder Coat. Optional finishes available.
 Brass - Polished, Optional finishes available.



ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
DL-46-LEDM20-15	Aluminum, 180°, 17° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-17	Aluminum, 180°, 40° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-18	Aluminum, 180°, 80° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-19	Aluminum, 180°, 90° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-20	Aluminum, 180°, 17° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-21	Aluminum, 180°, 40° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-22	Aluminum, 180°, 80° Optic	20w LED Module	5.00lbs
DL-46-LEDM20-23	Aluminum, 180°, 90° Optic	20w LED Module	5.00lbs



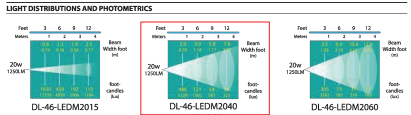
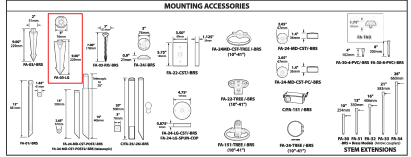
Beam Type	Angle	Mount Indicator
Spot	17.5°	Spot
Flood	40°	Flood
Wide Flood	80°	Wide Flood

BEAM/GLARE CONTROL ACCESSORIES

DL-46-40-01	Round 40° Flood Cap
DL-46-40-02	Clear Acrylic Flood Cap
DL-46-40-03	Black Acrylic Flood Cap
DL-46-40-04	Black Acrylic Flood Cap with Lens
DL-46-40-05	Black Acrylic Flood Cap with Lens and Diffuser
DL-46-40-06	Black Acrylic Flood Cap with Lens and Diffuser and Lens
DL-46-40-07	Black Acrylic Flood Cap with Lens and Diffuser and Lens and Lens
DL-46-40-08	White Acrylic Flood Cap with Lens and Lens

Part No.	Part Name	Part Description	Part Quantity	Part Unit	Part Price	Part Total
DL-46-40-01	Round 40° Flood Cap		1	EA	1.00	1.00
DL-46-40-02	Clear Acrylic Flood Cap		1	EA	1.00	1.00
DL-46-40-03	Black Acrylic Flood Cap		1	EA	1.00	1.00
DL-46-40-04	Black Acrylic Flood Cap with Lens		1	EA	1.00	1.00
DL-46-40-05	Black Acrylic Flood Cap with Lens and Diffuser		1	EA	1.00	1.00
DL-46-40-06	Black Acrylic Flood Cap with Lens and Diffuser and Lens		1	EA	1.00	1.00
DL-46-40-07	Black Acrylic Flood Cap with Lens and Diffuser and Lens and Lens		1	EA	1.00	1.00
DL-46-40-08	White Acrylic Flood Cap with Lens and Lens		1	EA	1.00	1.00

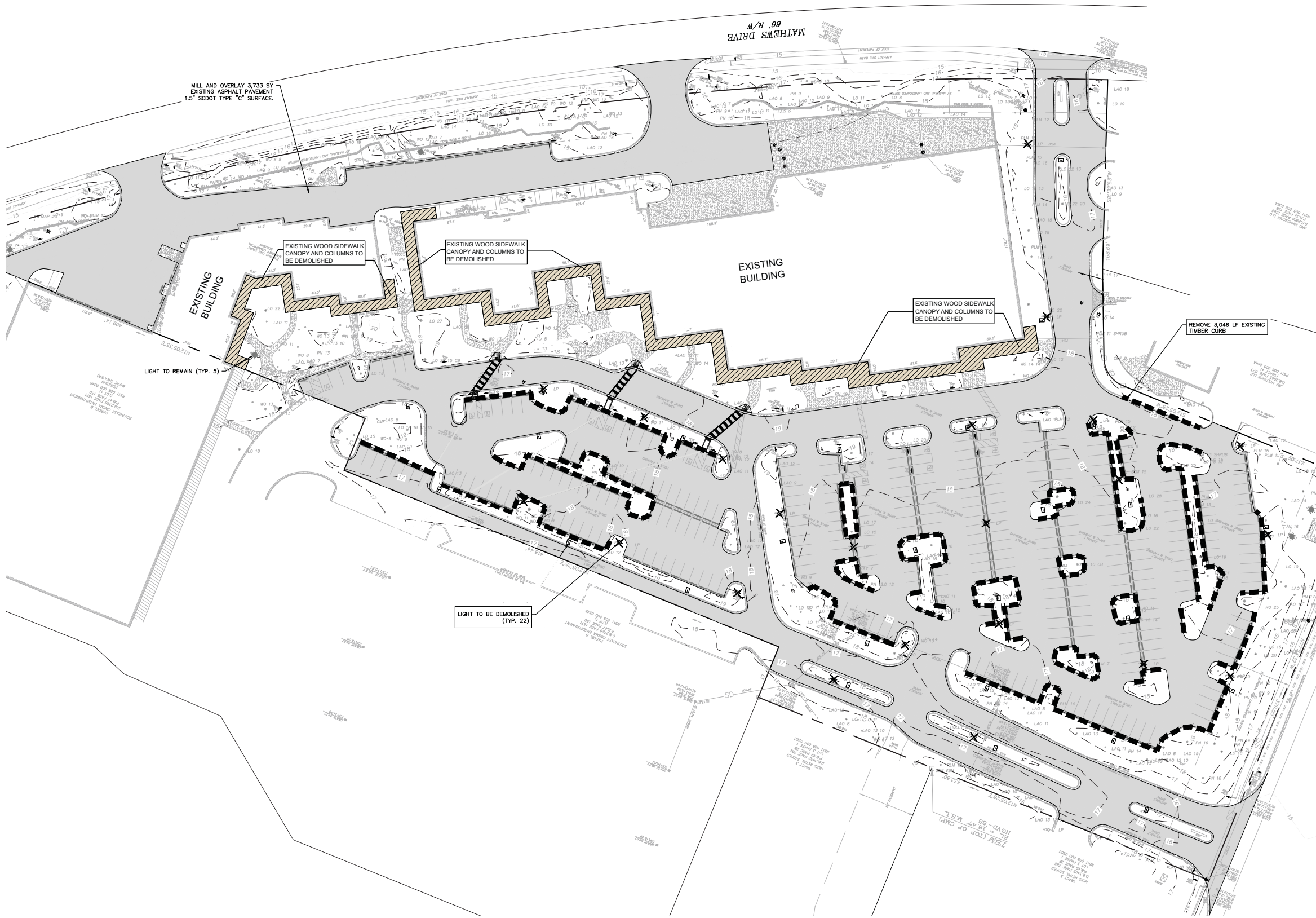
FOCUS INDUSTRIES DIRECTIONAL LIGHTS DL-46-LEDM20 **TYPE**



MANUFACTURER INFORMATION:
 FOCUS INDUSTRIES
 25301 COMMERCENTRE DRIVE
 LAKE FOREST, CA. 92630
PHONE: (949) 830.1350
WEB: WWW.FOCUSINDUSTRIES.COM

MODEL: DL-46-LEDM2040
COLOR: BRASS
 OR APPROVED EQUAL

1 // L600
 UP LIGHT
 SCALE: N.T.S.

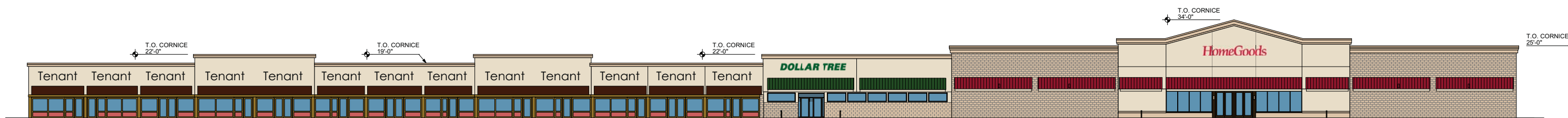


DEMOLITION SITE PLAN
NOT TO SCALE



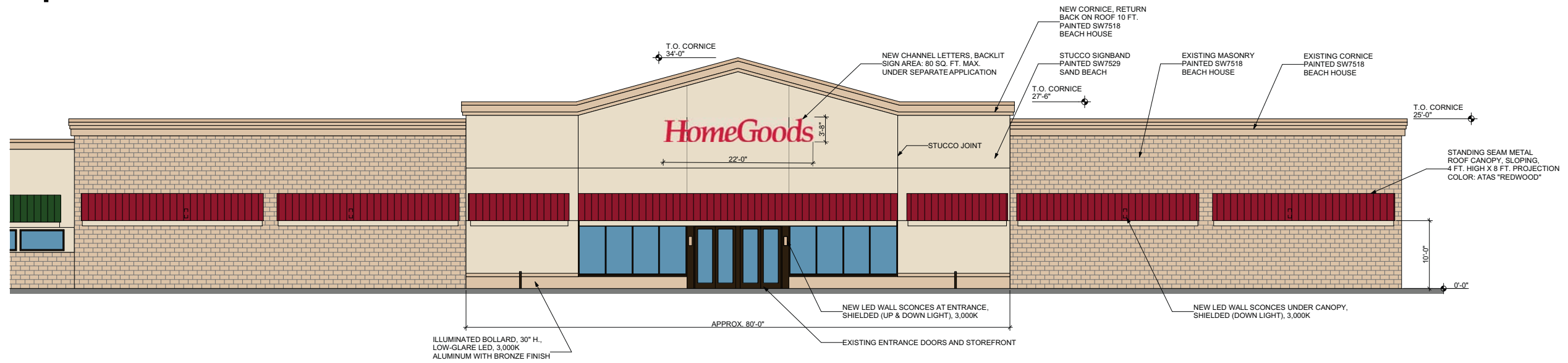
OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"



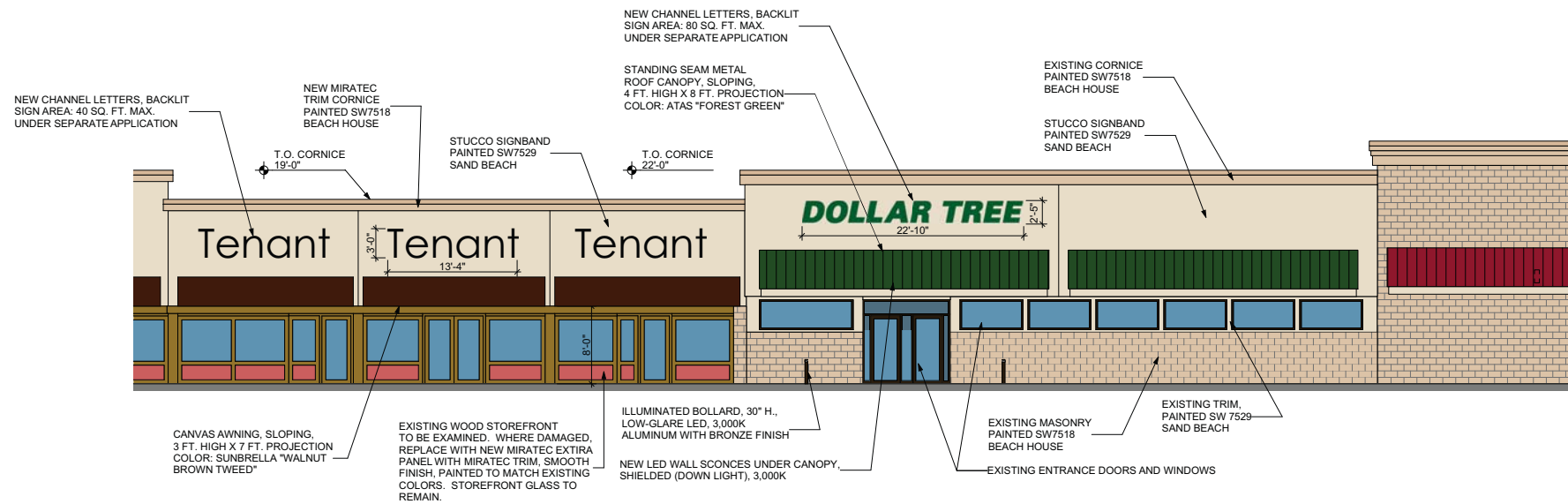
OVERALL FRONT ELEVATION

SCALE: 1/16" = 1'-0"



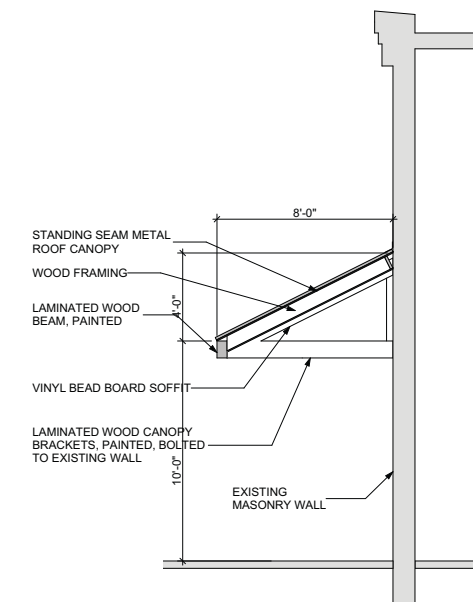
FRONT ELEVATION - HOMEGOODS

SCALE: 1/8" = 1'-0"



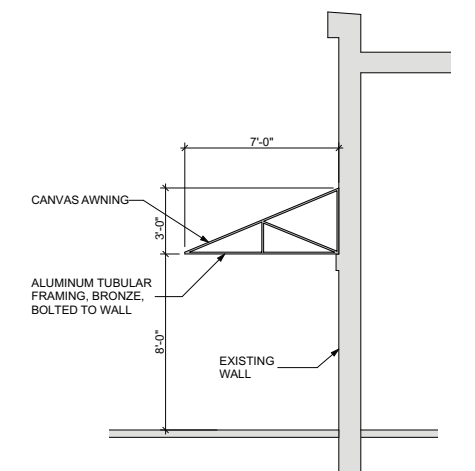
FRONT ELEVATION - DOLLAR TREE & SMALL STORES

SCALE: 1/8" = 1'-0"



CANOPY SECTION

SCALE: 1/4" = 1'-0"



AWNING SECTION

SCALE: 1/4" = 1'-0"



EXTIRA PANELS ARE ENGINEERED FOR OUTDOOR USE

Made with the same proprietary TEC™ process used to make MiraTEC, Extira is a revolutionary product for exterior applications that performs better than wood or MDF. Extira panels may look like MDF, but they don't perform like it. Different ingredients and a patented and proprietary manufacturing process lead to a superior performance.

Extira is easy to work with; can be carved, routed and machined. Resists moisture, rot, and termites. Twice as strong as MDF, Extira is made to be used outside.

Plus, Extira panels are covered by an industry-leading 10-year limited warranty that far exceeds competitive panel products. Download the warranty for complete details:

- [Extira Warranty, English](#)
- [Extira Warranty, Spanish](#)
- [Extira Warranty, French](#)

Acrobat Reader is needed to view PDF files. [Click here](#) to download a free copy of Acrobat Reader.

EXTIRA PANELS SIZE RANGE

With Five Thicknesses and Three Panel Sizes, Extira Measures Up to Any Project

THICKNESS OPTIONS (+/- 0.005")

Panel Size	7/16"	1/2"	5/8"	11/16"	3/4"	1"	1-1/4"
4' x 8' (49" x 97")							
4' x 16' (49" x 194")							
2' x 16' (25" x 194")							

MIRATEC[®]
 by JELD-WEN

EXTIRA[®]
 by JELD-WEN

MIRATEC SMOOTH SELECT



MiraTEC Smooth Select builds on the solid TEC™ process to deliver a ultra-smooth exterior trim. The nearly-square corners add a contemporary feel that looks like PVC, but at more affordable price point. MiraTEC Smooth Select is ready to take on any color your project needs; even popular dark colors that show cracking due to expansion and contraction when applied to PVC.

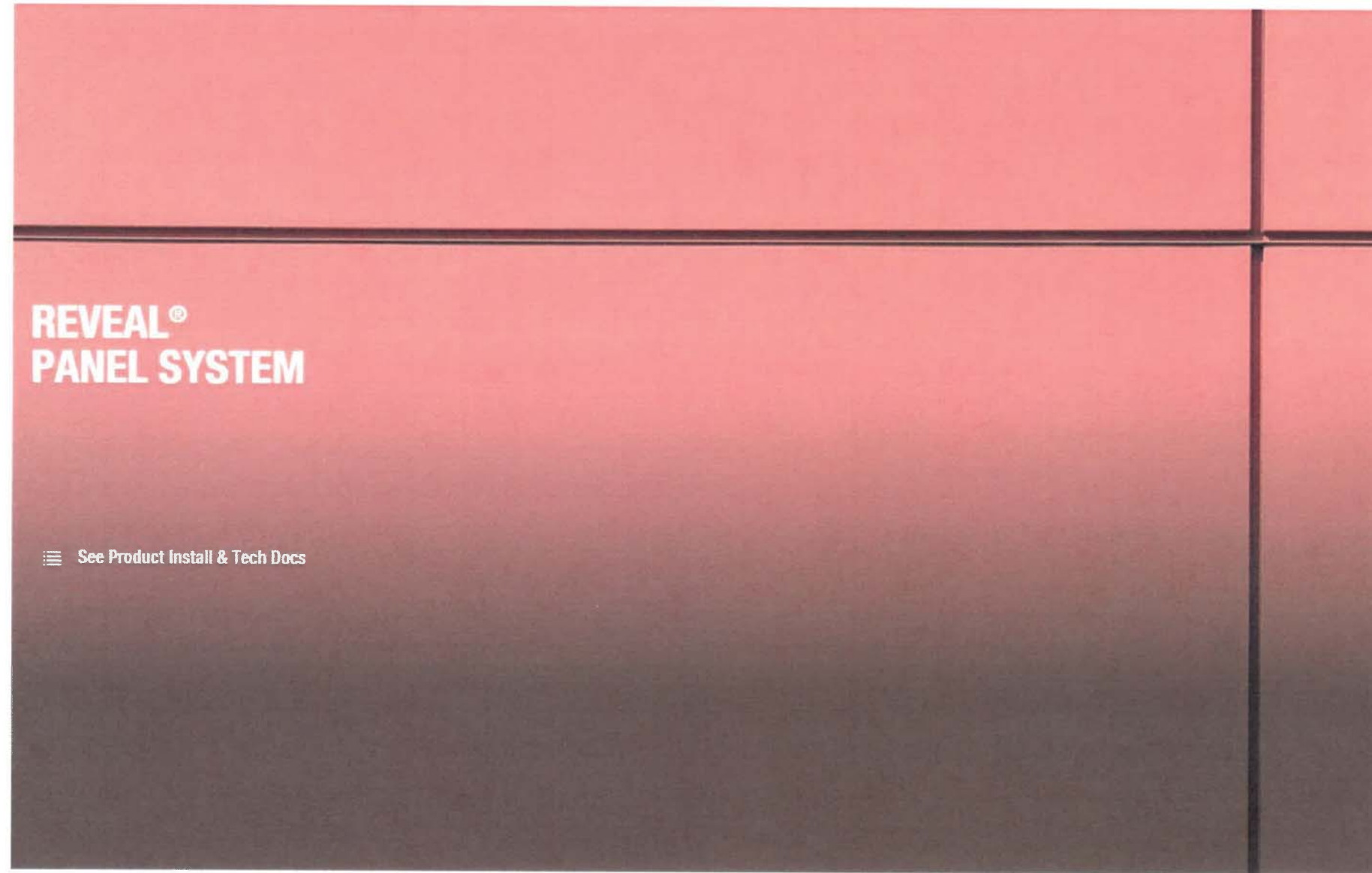
Made from the patented TEC™ process, MiraTEC Treated Exterior Composite trim combines the eye-catching beauty of authentic woodgrain with the long-lasting performance of an engineered product. Because it is not hardboard, MiraTEC trim will not delaminate, is moisture, rot and termite resistant, and is backed by a 50-year limited warranty.

MiraTEC Treated Exterior Composite Trim is the first and only wood composite trim to earn an evaluation report from ICC Evaluation Service (ICC-ES). To view ESR-3043, visit the ICC website at: http://www.icc-es.org/reports/pdf_files/ICC-ES/ESR-3043.pdf

Competitive and long term performance testing shows MiraTEC resists moisture, rot and termites and outperforms the competition in several key areas:

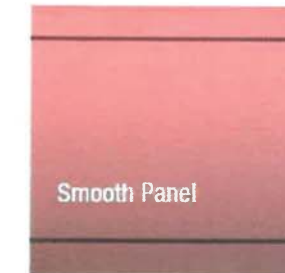
- **Moisture resistant:** As measured by ASTM D1037 for water absorption and thickness swelling.
- **Rot resistant:** Tested per AWPA E16 Field Test for Evaluation of Wood Preservatives to be Used Out of Group Contact: Horizontal Lap-Joint Method.
- **Termite resistant:** As measured by AWPA E7 Standard Method of Evaluating Wood Preservatives by Field Tests with Stakes.





Hardie Reveal Panel system is currently available in Washington, Oregon, California, Kansas City, Denver, Omaha, Texas, Minneapolis, St. Louis, Chicago, Tennessee, Indianapolis, Gulf, Ohio, Georgia, Florida, South Carolina, North Carolina, Virginia, the DC/Baltimore area, Philadelphia, British Columbia, New Jersey, New York, and New England.

Available Textures

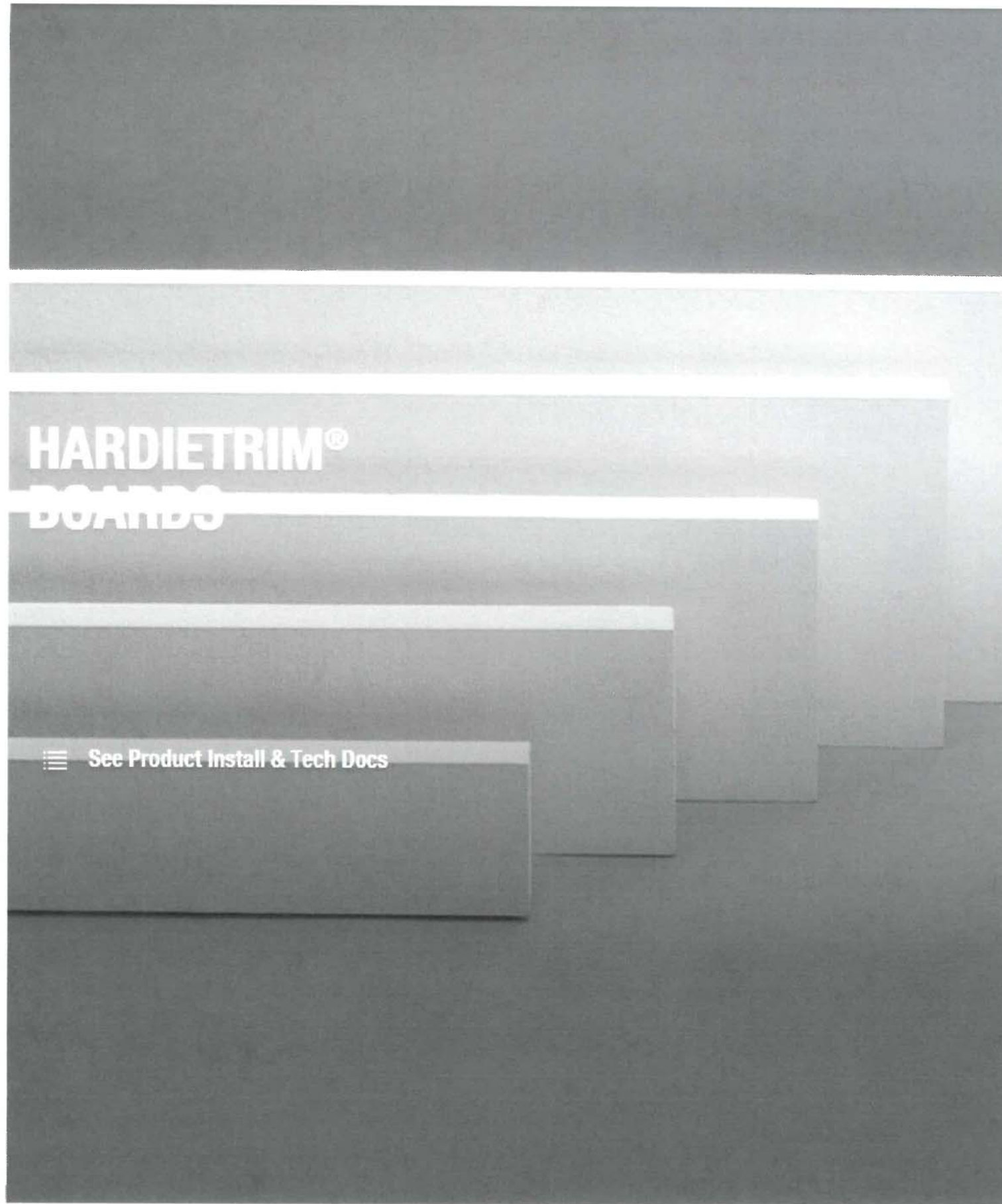


**REVEAL® PANEL SYSTEM
Smooth Panel**

Smooth Panel

Thickness	0.438"
Weight	3.1 lbs. per square foot
Length	95.5"
Width	47.5"





HARDIETRIM® BOARDS
4/4 Smooth









You can't go wrong with this simple, clean look. With our ColorPlus® Technology finish, your vibrant color will last for years.

Thickness 0.75"
Weight 4.96 lbs. per square foot
Length 144"

Width	1.65"	3.5"	5.5"
Pcs./Pallet	405 Primed	322 ColorPlus 322 Primed	184 ColorPlus 184 Primed
Width	5.5"	7.25"	9.25"
Pcs./Pallet	208 Primed	138 ColorPlus 138 Primed	115 ColorPlus 115 Primed
Width	11.25"		
Pcs./Pallet	92 ColorPlus 92 Primed		

Color Options

HardieTrim® Boards 4/4 Smooth are available in your area in 8 ColorPlus® Technology finishes or primed for paint.

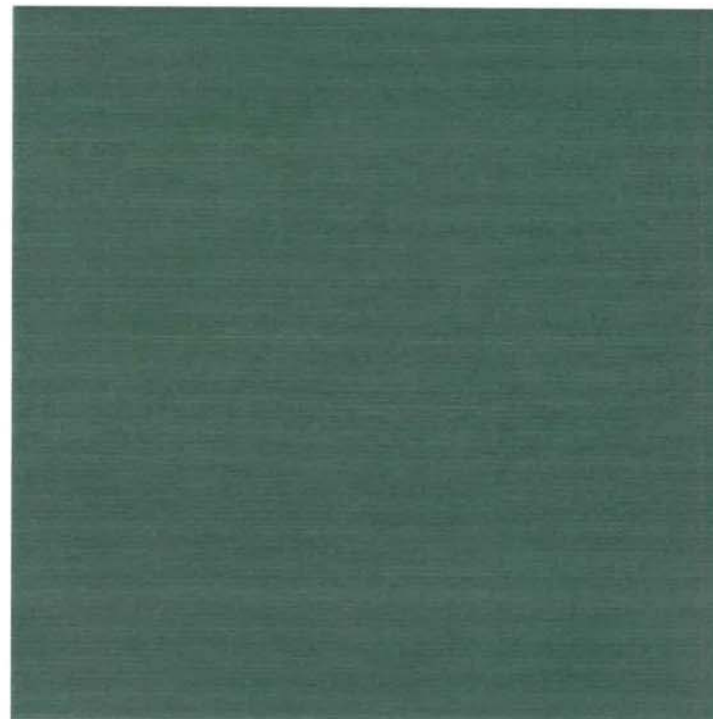
-  Woodstock Brown
-  Sail Cloth
-  Timber Bark
-  Monterey Taupe
-  Cobble Stone
-  Khaki Brown
-  Navajo Beige
-  Arctic White



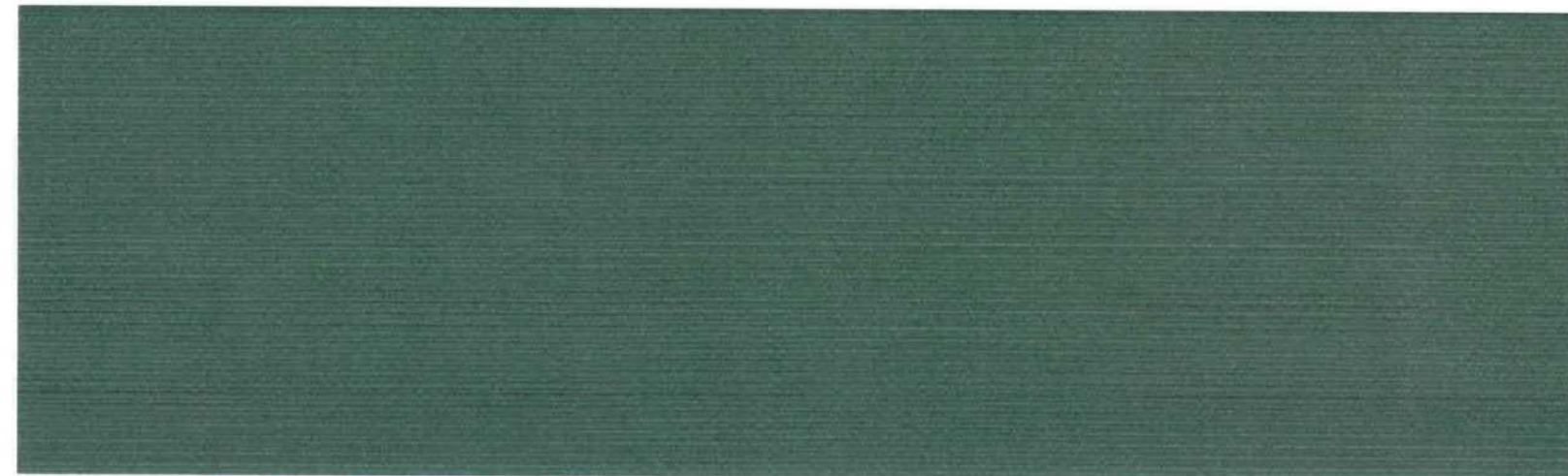


Bro

[← back](#)



FOREST GREEN



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6037-0000

100% Sunbrella Acrylic

60" / 152 cm width

Selvedge is Left / Right

COLLECTIONS

2017-2018 Sunbrella Shade Collection

CERTIFICATIONS





LUMINAIRE SPECIFICATION

Head Office: Tel: 503-645-0500
 7144 NW Progress Ct Fax: 503-645-8100
 Hillsboro, Oregon 97124
 www.ligmanlightingusa.com

IP65 : Suitable for Wet Locations
 IK08 : Impact Resistant (Vandal Resistant)

UAR-21001
 Arizona light column

A decorative light column with symmetrical light distribution. The sleek and minimalist shape provides distinctive lighting effects by night and a decorative urban effect during the day. Suitable for pedestrian precincts, building surrounds, shopping centers, squares and parks. The LED luminaires have features such as long life, limited maintenance and constant lifetime performance. Dark sky compliant.

Extruded aluminium column. Low Copper content Die-cast aluminium housing with high corrosion resistance. Stainless steel screws. Durable High temperature silicone rubber gasket. Clear vandal resistant UV Stabilizes acrylic (PMMA) diffuser. UV Stabilized Polyester Powder coating with high corrosion resistance and chemical chromatised protection. Integral control gear. Anodized high purity aluminium reflector. Easy Lamp access for maintenance.

Physical Data

Length: 6.3"
 Height: 10' 5"
 Weight: 50.4 lb

Lamp

HIT-CPO 60w

(For More Lamp options including LED, please Consult the Catalogue, Website or Contact The Ligman Lighting Factory)

Voltage (Please Specify)

120V
 277V
 Other _____

Options (Please Specify)

Color (Please Specify)

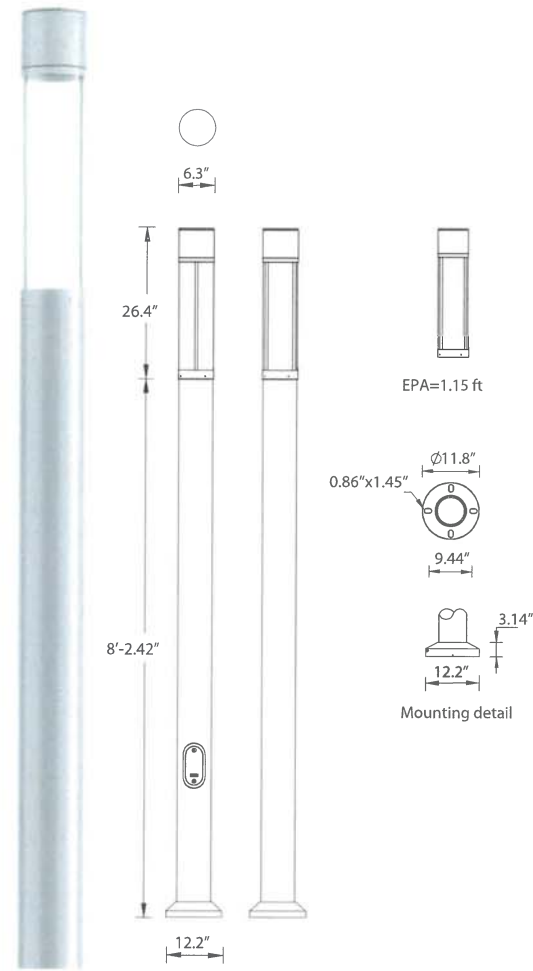
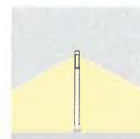
- 01-Black - RAL 9011
- 02- Dark Grey - RAL 7043
- 03-White - RAL 9003
- 04 - Metallic Silver - RAL 9006
- 05-Matt Silver - RAL 9006
- 07- Custom - RAL _____
- 06-Bronze - RAL 6014



HSS - House Side Shield

HGT - Specify Custom Height _____ ft

GFCI - GFCI Receptacle - Specify Position _____



Ordering Example : UAR - 21001 - HIT-CPO - 60w - 120v - Options



Rev: 11/13

PROJECT: _____ DATE: _____

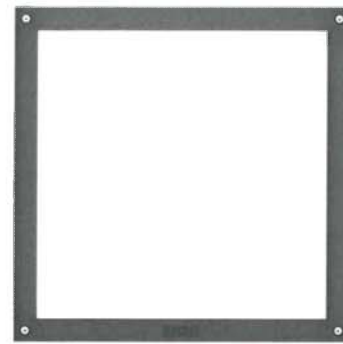
TYPE: _____ QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

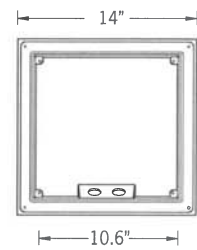
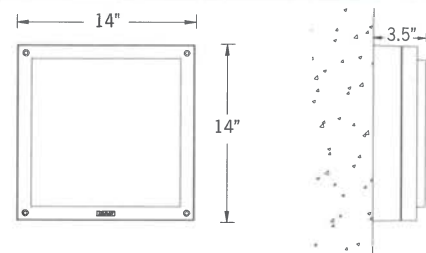


UPA-31942
Paletta 3 Large Surface

7144 NE Progress Ct | Hillsboro, Oregon 97124 | T:503.645.0500 | F:503.645.8100 | www.ligmanlightingusa.com



Length 14" | Height 14" | Weight 10.6 lbs
 IP65 • Suitable For Wet Locations
 IK08 • Impact Resistant (Vandal Resistant)



Mounting Detail

Paletta Product Family



UPA-31572



UPA-31951

Construction

Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B0 - U3 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

High Impact UV Stabilized Polycarbonate Lens

Manufactured with Ultra High Impact, UV Stabilized Injection Molded Polycarbonate.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

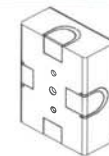
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Contemporary surface-mounted bulkhead fixtures. Pure and clean designed, very tough square and rectangular exterior bulkhead family.

A range of vandal resistant square wall and ceiling mounted sconces with opal vandal resistant UV stabilized polycarbonate diffuser. Ideal for numerous indoor or outdoor applications. The paletta range of sconces are ADA compliant.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options.

Additional Options (Consult Factory For Pricing)



SCE
 Surface Conduit Entry Box



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

UPA-31942
 Paletta 3 Large Surface

7144 NE Progress Ct | Hillsboro, Oregon 97124
 T:503.645.0500 | F:503.645.8100
 www.ligmanlightingusa.com



PROJECT	<input type="text"/>	DATE	<input type="text"/>
QUANTITY	<input type="text"/>	TYPE	<input type="text"/>
		NOTE	<input type="text"/>

ORDERING EXAMPLE || UPA - 31942 - 24w - W30 - 02 - 120/277v - Options

LAMP	LED COLOR	FINISH COLOR	VOLTAGE
24w LED 1218 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

<input type="text"/>	<input type="text"/>	<input type="text"/>
ADDITIONAL OPTIONS		

NAT - Natatorium Rated
 DIM - 0-10v Dimming
 SCE - Surface Conduit Entry Box

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



24V Continulum™ Outdoor

CAT:	FEET:
TYPE:	PROJECT:



Continulum™ Outdoor LED rigid cove fixture represents the latest in high-quality linear LED cove lighting from Tivoli Lighting. This simple yet elegant, low-profile luminaire delivers up to 343 lumens per foot of white light, or in RGB at an affordable price. Continulum™ outdoor LED rigid cove fixture is designed to replace traditional cove lighting sources for wall and ceiling glow effects, wall washing, and indirect lighting from a single cove. Multiple color temperatures, power levels, RGB, and lengths afford an abundance of design options.

Features

- Surface-mounted linkable linear strip fixture
- Tivoli flexible LED PCB engine inside
- Heavy-gauge extruded aluminum
- Lumens ranging from 172 to 343
- Available in manufactured continuous lengths up to 8'
- Off-Set electrical connection system allows for seamless connection
- Pivot "easy mount" mounting brackets included
- 90+ CRI available
- UL Wet Listed

Mounting

This unit features factory attached swivel mounting brackets. Attach multiple fixtures with water-tight interconnection system.

Applications

- Ideal for direct or indirect cove and architectural applications.
- Replace fluorescent lighting with high efficiency LEDs or as a new construction element.
- Use for indoor or outdoor applications.

Warranty

5 years

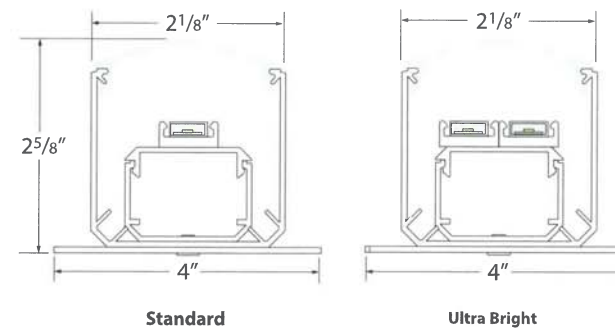
Technical Information



Model	White		RGB	
	Standard	Ultra Bright	Standard	Ultra Bright
*Lumens/ft	172	343	N/A	N/A
*Watts/ft	4.81	9.62	4.1	8.2
*Lumen/Watt	36		N/A	N/A
CRI	>80/TYP 86		N/A	N/A
Kelvin Temp	2400K (± 50K), 2700K (± 50K), 3000K (±75K), 3500K (±75K), 4000K (±75K)			
Rated Life	50,000 hrs.			
Max run length	20'	10'	23'	12'
Ordering Increment	1', 2', 4', 6', 8', 12'			
Operating Voltage	24V DC			
Power Supply	Class 2			
Dimming	Yes			

*4000K Sample

Profile Dimensions





24V | Continulum™ Outdoor

Recommended Power Supplies

CAT NO	APPLICATION	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	LISTING	DIMENSIONS	ELECTRONIC OR AC MAGNETIC
ADNM-120-1-4-24-D	Outdoor	120-277V AC / 24V DC	96W / 1X4A	cULus	12"W X 12"L X 4.25"D	Electronic
ADNM-240-2-4-24-D		120-277V AC / 24V DC	192W / 2X4A	cULus	12"W X 12"L X 4.25"D	Electronic
ADNM-320-3-4-24-D		120-277V AC / 24V DC	288W / 3X4A	cULus	12"W X 12"L X 4.25"D	Electronic
JT-100-1-4-24-D		120V AC / 24V DC	96W / 1X4A	cETLus	4.25"W X 11.00"L X 4.00"D	Magnetic
JTH-100-1-4-24-D		277V AC / 24V DC	96W / 1X4A	cETLus	4.25"W X 11.00"L X 4.00"D	Magnetic
JT-300-3-4-24-D		120V AC / 24V DC	288W / 3X4A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic
JTH-300-3-4-24-D		277V AC / 24V DC	288W / 3X4A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic
MT-100-1-4-24-DD		120-240, 277V AC	96W / 1X4A	UL recognized	2.50"W X 12.32"L X 1.56"D	Electronic

DESCRIPTION	CAT NO	INPUT VOLTAGE	CONTINUOUS MAX VOLTAGE AC	CONTINUOUS MAX VOLTAGE DC	MAX CLAMPING VOLTAGE 8/20 μS @ 20KA	DIMENSION
Universal Surge Protector	JT-120-SURGE	120V - 277V AC	320V AC	420V DC	1600	3" L X 1.625" D

Dimming Interface - White Only

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	MAX LOAD	CIRCUIT CAPACITY	DIMENSION
0-10V Dimming Module	AMP-OT-5-D	Indoor	10V DC~48V DC	10V DC~48V DC	96W @ 24V DC 60W @ 12V DC	5A	5.9"L X 1.61"W X 0.78"H

Recommended RGB Sub-controller

DESCRIPTION	CAT NO	MODES	WATTAGE	PRIMARY VOLTAGE	DIMENSION
DMX Sub-controller	COR-RGB-180-24	Sub-controller only	5X96W	24V DC	2.87"W X 6.46"L X 1.45"H

Controls

TIVOCUE 10



CAT NO	Color	Zones	Scenes	DMX Channels	DIMENSIONS
TVOQ - 10 -BK - 7	Black	10	500	1024	5 1/8"W X 6 3/8"L X 7/16"D
TVOQ - 10 -WH - 7	White	10	500	1024	5 1/8"W X 6 3/8"L X 7/16"D



PC Software
CUE, CUE PRO



MAC Software
CUE



Android App
Arcolis (wifi)
Easy Remote (wifi)
Lightpad (wifi)



iOS App
Easy Remote (wifi)
Lightpad (wifi)



24V Continulum™ Outdoor

Ordering Information

PRODUCT CODE	LED COLOR	LED TYPE	LENS TYPE	LENGTH	END PREP	VOLTAGE	REQUIRED POWER SUPPLY
COR	RGB = RGB 24 = 2400K 27 = 2700K 30 = 3000K 35 = 3500K 40 = 4000K	S = Standard U = Ultra Bright	F = Frosted	01 = 1' 02 = 2' 03 = 3' 04 = 4' 06 = 6' 08 = 8' 12 = 12'	MD = Male/ Dead End MF = Male/ Female * Static Lead Wire also required (See below).	24 24 = 24V DC	PSU See above

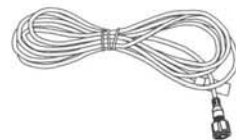
Wiring Accessories

***Lead Preparation** - Factory attached end preps required. End preps must be indicated at time of ordering.

Static Color Wiring Accessories



***LEAD WIRE (Required)**
COR-LEAD-O-2-01
 2 conductor static 1' lead wire. Features 24AWG wire on input end and 2 pin static connection on other end.
COR-LEAD-O-2-16
 2 conductor static 16' lead wire. Features 24AWG wire on input end and 2 pin static connection on other end.

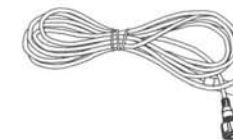


MALE/FEMALE JUMPERS
COR-CONN-O-2-1
 Connector, Static, Jumper 1' Male/Female
COR-CONN-O-2-16
 Connector, Static, Jumper 16' Male/Female

RGB Wiring Accessories



***LEAD WIRE (Required)**
COR-LEAD-O-4-01
 2 conductor RGB 1' lead wire. Features 24 gauge wire on input end and 2 pin static connection on other end.
COR-LEAD-O-4-16
 2 conductor RGB 16' lead wire. Features 24 gauge wire on input end and 2 pin static connection on other end.



MALE/FEMALE JUMPERS
COR-CONN-O-4-1
 Connector, RGB, Jumper 1' Male/Female
COR-CONN-O-4-16
 Connector, RGB, Jumper 16' Male/Female

Shaper

DESCRIPTION

673 Luminous wall source features 6 standard finishes, 2 decorative trim bar options and is ADA compliant.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Material

Painted or plated solid aluminum with a 1/8" matte white extruded acrylic panel, open top and bottom end caps, with acrylic inserts.

Finishes

- ALP (Aluminum Paint)
- MW (Matte White)
- MB (Matte Black)
- GRM (Graphite Metallic)
- DP (Dark Platinum)
- BM (Bronze Metallic)
- CC (Custom Color – Specify)

For Custom Color contact factory for quotation.

LED

- 16": L3:2000 nominal lumens at max 20W
- 25": L3:2000 nominal lumens at max 20W
- 37": L4:3000 nominal lumens at max 29W

Driver

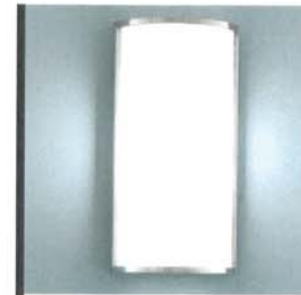
LED system coupled with electronic driver to deliver optimal performance. Electronic drivers are available for 120-277V applications. A 0-10V dimming control is available (Standard) on all models.

Options

- 2VTB (Two Vertical Trim Bars)
- 2HTB (Two Horizontal Trim Bars)
- RBP(Remote Battery Pack 5' Max Distance)

Compliance

U.L. and C.U.L. approved for indoor and damp location. See options for damp location finishing requirements. Shaper's DL option is for interior applications (only) that have more than average moisture (i.e. bathroom, laundry room, etc.) but are not UL listed for pool, sauna, shower, whirlpool and any exterior applications (i.e. covered garage or building entrance) with exposure to weather elements such as rain, wind, etc. ADA compliant.



673 SERIES

Height: 16"

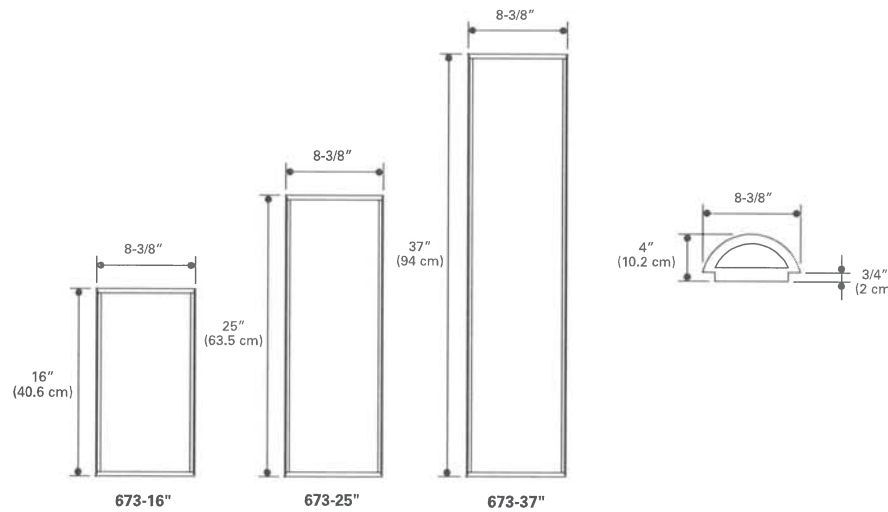
- Lumen Output Source Lumens: L3:2000
- Wattage: 20W
- Color Rendering: CRI 83+
- Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
- Rated Life of Lamp (hrs): 50,000
- Dimming: 0-10V
- Warranty: Warranty: 5 year limited warranty on LED components

Height: 25"

- Lumen Output Source Lumens: L3:2000
- Wattage: 20W
- Color Rendering: CRI 83+
- Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
- Rated Life of Lamp (hrs): 50,000
- Dimming: 0-10V
- Warranty: Warranty: 5 year limited warranty on LED components

Height: 37"

- Lumen Output Source Lumens: L4:3000
- Wattage: 29W
- Color Rendering: CRI 83+
- Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
- Rated Life of Lamp (hrs): 50,000
- Dimming: 0-10V
- Warranty: Warranty: 5 year limited warranty on LED components



ORDERING INFORMATION

Sample Number: 673-16-W-L3/827-UNV-ALP-RBP

Series	Size	Mounting Type	Lamp		Voltage	Finish	Options
			16"	37"			
673 = Luminous Half Cylinder	16=16" 25=25" 37=37"	W=Interior Wall	L3/827	L4/827	UNV (120-277V)	ALP=Aluminum Paint MW=Matte White MB=Matte Black DP= Dark Platinum GRM=Graphite Metallic BM=Bronze Metallic CC=Custom Color - Contact factory for quotation	2VTB=Two Vertical Trim Bars 2HTB=Two Horizontal Trim Bars RBP=Remote Battery Pack (Max 5' Mounting Distance)
			L3/830	L4/830			
			L3/835	L4/835			
			L3/840	L4/840			
			25"				
			L3/827				
			L3/830				
			L3/835				
			L3/840				



Eaton
 18001 E. Colfax Avenue
 Aurora, CO 80011
 P: 303-393-5122
 www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

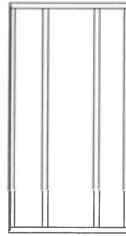
673 SERIES INTERIOR WALL LUMINAIRE

PS525084EN
 12/20/16 Pg 1 of 2

OPTIONS



**TWO HORIZONTAL
TRIM BARS (2HTB)**



**TWO VERTICAL
TRIM BARS (2VTB)**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Northridge Plaza Façade Upgrade

DRB#: DRB-0001415-2019

DATE: 07/03/2019 **08/01/2019**

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a Demolition Plan that clearly identifies everything to be removed. How will the existing pedestrian canopy on the adjacent building (movie theater) be treated once the proposed demolition is complete.
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide detail of the proposed façade additions
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide detail of the proposed awnings and how they connect to the building

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The removal of the covered pedestrian walk, specifically, at Home Goods and Dollar Tree takes this center in the opposite direction, add architectural detail that provide a sense of pedestrian scale to these areas. The existing covered pedestrian walk has columns and is deep enough to mitigate the blank wall

				that is behind it. The proposed canopy at Home Goods and Dollar Tree is not deep enough and its roof large enough to soften the wall behind it. Staff suggest that columns be added to the canopy and or the addition of other architectural detail to the back wall. How will the blank walls be treated where the building steps back, i.e., between space 10 and 9 and the Dollar Tree and space 3A.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed awnings at Home Goods and Dollar Tree are not nature blending colors and do not coordinate with the balance of the center. A physical color board will need to be submitted to adequately review the proposed materials, colors and finishes. The color of the metal roof canopies should be consistent and relate to the building color scheme and not the current tenants brand colors.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed stacked stone façade is not a material native to the island and is not in keeping with “Island Character”.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The repetition beyond Dollar Tree could be broken up with color (at a minimum), additional treatment of the “tower” elements or variation of / in the awning system.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The strong roof form has been eliminated at Home Goods.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a sections of the new canvas awnings proposed.
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The architectural elements that act to reduce the mass of the center are proposed for removal. The proposed canopy at Dollar Tree and HomeGoods is not deep enough to mitigate the wall behind it and the canopies float on the wall without columns to anchor them to the ground.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Nothing is being proposed to achieve a human scale to replace the canopy that is being removed. The canopies at Dollar Tree and HomeGoods do not currently function to give the building a pedestrian scale.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All light sources should not be visible, only the effects of the light should be seen. The LED fixtures on the façade The sconce specification at HomeGoods is unclear. Eliminate the sconces in favor of the lighting

				<i>under the proposed canopies.</i>
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The bollards appear foreign to the center and “Island Character”

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a fertilization program for significant trees on this site.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At a minimum the landscape plan should include the required mitigation trees. Additional tree preservation and or mitigation may be required by the DRB. <i>Based on Staff’s understanding of the note in red on sheet L520, Staff recommends that the DRB not approve the landscape plan until the mitigation trees are shown on that plan. The applicant should schedule a meeting with the TOHH Urban Designer and Natural Resource Planner to identify and mark trees to be removed in the field so that mitigation requirements can be determined.</i>
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No understory planting is proposed along Mathews Drive.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The use of lawn along Hwy 278 should be reduced.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees in fair condition should be preserved with a preservation program that may include fertilization, mycor treatment and / or root stimulation.

MISC COMMENTS/QUESTIONS

- Given the size of the project, the application is disjointed and difficult to understand. Consider having one consultant organize the application.*

2. ~~The proposed temperature of the proposed lighting is unclear. 3000K or less is required.~~



DRAFT

The Town of Hilton Head Island
Design Review Board
2020 Meeting Schedule

Meetings are generally held in Benjamin M. Racusin Council Chambers at 1:15 p.m. on the **second & fourth** Tuesdays of each month, subject to change with notice.

PUBLIC MEETING DATES	APPLICATION DEADLINES
January 14, 2020	December 31, 2019
January 28, 2020	January 14, 2020
February 11, 2020	January 28, 2020
February 25, 2020	February 11, 2020
March 10, 2020	February 25, 2020
March 24, 2020	March 10, 2020
*April 14, 2020	March 31, 2020
April 28, 2020	April 14, 2020
May 12, 2020	April 28, 2020
May 26, 2020	May 12, 2020
June 9, 2020	May 26, 2020
June 23, 2020	June 9, 2020
July 14, 2020	June 30, 2020
July 28, 2020	July 14, 2020
August 11, 2020	July 28, 2020
August 25, 2020	August 11, 2020
September 8, 2020	August 25, 2020
September 22, 2020	September 8, 2020
October 13, 2020	September 29, 2020
October 27, 2020	October 13, 2020
November 10, 2020	October 27, 2020
November 24, 2020	November 10, 2020
December 8, 2020	November 24, 2020
December 22, 2020	December 8, 2020

*The April 14, 2020 meeting falls during the week of the RBC Heritage Golf Tournament.

All applications must be completed and submitted not later than **4:30 p.m.** 14 days prior to the meeting date at which the application will be reviewed. An Application Check-In Conference is recommended for all applications to determine whether the application meets the minimum requirements for acceptance. Application Check-In Conferences must be scheduled by appointment with the Community Development Department Staff.