



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, May 14, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes** – Meeting of April 23, 2019
- 6. New Business**
 - A. *New Development – Conceptual*
 - i. Bayshore Phase 2, DRB-000994-2019
 - B. *Sign*
 - i. Airport Sign, DRB-000995-2019
 - ii. St. Francis Sign, DRB-000616-2019
- 7. Appearance by Citizens**
- 8. Board Business**
- 9. Staff Report**
 - A. Discussion of Small Wireless Facility Designs
 - B. Minor Corridor Report
- 10. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
April 23, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Debbie Remke, Brian Witmer, Kyle Theodore, Cathy Foss

Board Members Absent: None

Town Council Present: None

Town Staff Present: Taylor Ladd, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of April 9, 2019

Ms. Theodore moved to approve the minutes of the April 9, 2019 regular meeting as corrected. Ms. Foss seconded. The motion passed unanimously.

6. Old Business

A. Alteration/Addition

- Shelter Cove Plaza Exterior Façade Renovation, DRB-000867-2019

(Ms. Theodore recused herself from review of DRB-000867-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered the Board's questions.

The Board complimented the project and thanked the applicant for addressing their previous comments. The Board asked the applicant to clarify the overhang dimension on the awning. The Board asked additional questions and the applicant confirmed: no new exterior lighting is proposed as part of this submittal; no new material is proposed and all material will match existing; the new color Dryvit Toast 461 will be used next to the storefront and piers; the existing brick piers will remain and modified to be bigger; the white stripe at the Whole Foods will be changed as part of a previous DRB approval.

Vice Chairman Gentemann made a motion to approve DRB-000867-2019 with the following condition:

1. Metal awning shall be scaled per the drawing scale and dimension set as scaled within the drawings.

Ms. Foss seconded. The motion passed with a vote of 5-0-0.

7. New Business

A. *New Development - Conceptual*

- HH Presbyterian Ministry Building, DRB-000850-2019

(Mr. Witmer recused himself from review of DRB-000850-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant answered the Board's questions.

The Board complimented the conceptual submittal. The Board made comments and asked the applicant to provide in the next submittal: site landscaping; site lighting; concrete paver walkway; samples of all materials; renderings demonstrating the deep roof overhangs; the new building should relate to the existing building; detail on mechanical equipment screening; detail on gutters and downspout; include room for plantings between the pavement and the building; and detail of any courtyard enclosure.

Ms. Theodore made a motion to approve DRB-000850-2019 as submitted. Ms. Remke seconded. The motion passed with a vote of 5-0-0.

B. *Sign*

- HH Community Church Sign, DRB-000866-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the conditions:

1. Provide the location and the cut sheets for the sign lights for Staff review and approval.
2. Replace Big Blue Liriope with Super Blue Liriope.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered the Board's questions.

The Board generally agreed with Staff comments. The Board complimented the font style and color selections. Although the size of the sign meets LMO size requirements, some board members expressed concern the sign is too large. The Board made comments pertaining to: reduce the sign base to 24 inches in height, resulting in a reduction of the overall sign height by 1 foot; and reduce the size of the logo and lettering, and create adequate separation from both ends of the sign. The Board discussed the sign materials expressing preference for tabby to be used for the base and the cap, and stucco for the remainder of the sign.

The Board discussed the proposed landscaping and made the following comments: eliminate the Dwarf Yaupon Holly planting due to ongoing maintenance concerns; Asiatic Jasmine may cause maintenance issues as well particularly if mixed with other plantings, therefore, choose one foreground planting, either Asiatic Jasmine or Super Blue Liriope. The Board also noted the palms surrounding the sign shall be retained and only relocated if necessary. The applicant indicated working with the architects on the project to make sure the removal of the palms does not occur.

Mr. Witmer made a motion to approve DRB-000866-2019 with the following conditions:

1. Reduce the base to 24 inches in height and reduce the overall height of the sign by 1 foot.
2. Eliminate the Dwarf Yaupon Holly planting, and select either Asiatic Jasmine or Super Blue Liriope as the foreground planting.
3. Adjust the logo and the sign lettering so that there is a minimum of 8" separation from both ends of the sign.
4. Tabby shall be used at the base and the cap, and the remainder of the sign shall be stucco.
5. Provide cut sheet for sign lights for Staff review and approval.

Ms. Theodore seconded. The motion passed with a vote of 6-0-0.

8. Appearance by Citizens – None

9. Board Business – None

10. Staff Report

Mr. Darnell reported there were no Minor Corridor approvals since the last Board meeting.

11. Adjournment

The meeting was adjourned at 2:19 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Dale Strecker, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Agent - Trey Griffin Company: Wood+Partners, Inc.
 Mailing Address: POB 23949 City: HHI State: SC Zip: 29925
 Telephone: 681-6618 Fax: 681-2319 E-mail: tgriffin@woodandpartners.com
 Project Name: The Bayshore on Hilton Head Island PH 2 Project Address: 424 Squire Pope Road
 Parcel Number [PIN]: R 510 003 000 0126 0000
 Zoning District: PD-1 Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175 Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

4.30.19
DATE

The Bayshore Phase 2

Hilton Head Island, SC

Conceptual DRB Narrative

April 30th, 2019

Bayshore Hilton Head Island Phase 2 will be a continuation of the Bayshore Community. Phase 2 will occur on approximately 5.98 acres on parcels 12 and 12A (R510 003 000 0126 0000 and R510 003 000 0121 0000) along Squire Pope Road directly across from the existing Bayshore property. The property is zoned as PD-1 and allows for 26 units. The parcels will be combined prior to finalizing the DPR.

The plan will consist of 26 single level residential units in a combination of two and three unit buildings. The homes will be offered on a rental basis to independent living seniors. Residents will have access to all services and amenities available on Phase 1, and will have periodic housekeeping (including trash removal) and maintenance services available at their homes. Additional buildings will include a small club building providing amenities for the residences as well as a small storage building

Parking will be provided at the appropriate rate for 2 bedroom multi-family units per LMO requirements. Thirty Nine (39) additional parking spaces have been proposed to serve as overflow parking for the community and have been addressed under separate cover with planning staff. Overflow and guest parking serving the entire community has been located throughout the site with a larger parking area adjacent to the club facility and additional guest and overflow parking distributed around the property. A parking summary is provided on the concept master plan.

The buildings are envisioned to have individual architectural treatments, details, and color schemes that complement each other to avoid creating a redundant or repetitive feel. The mass and scale of the buildings will compliment adjacent existing buildings within the Cypress and other surrounding areas and maintain a lower massing along Squire Pope in order to provide a quality streetscape presence.

Phase 1 and Phase 2 will be connected by an existing crosswalk installed during Phase 1 which will allow Bayshore to leverage its existing Phase 1 staff to support the services offered to Phase 2 residents.

The site will feature nicely landscaped walking paths and common areas and will connect with the adjacent Town bike path. The main entry to the site will align with the existing entry drive to the Bayshore Phase 1 property and will terminate internally on a small club amenity providing a strong sense of arrival. A waiver request will be submitted during the DPR process to allow the alignment of the two driveways.

The entry will be heavily landscaped and include signage and entry walls and columns and is envisioned to mimic the Phase 1 portion of the project. Hardscape elements are also envisioned to mimic the phase 1 portion of the project utilizing permeable decorative pavers where appropriate which will also help reduce the overall impervious hardscape surfaces.

The 26 units are arranged to maximize the layout and provide easy access to units. A small storage facility is located to the rear of the property. Mail delivery is envisioned to be by gang mail boxes located at each set of buildings (pending post master approval).

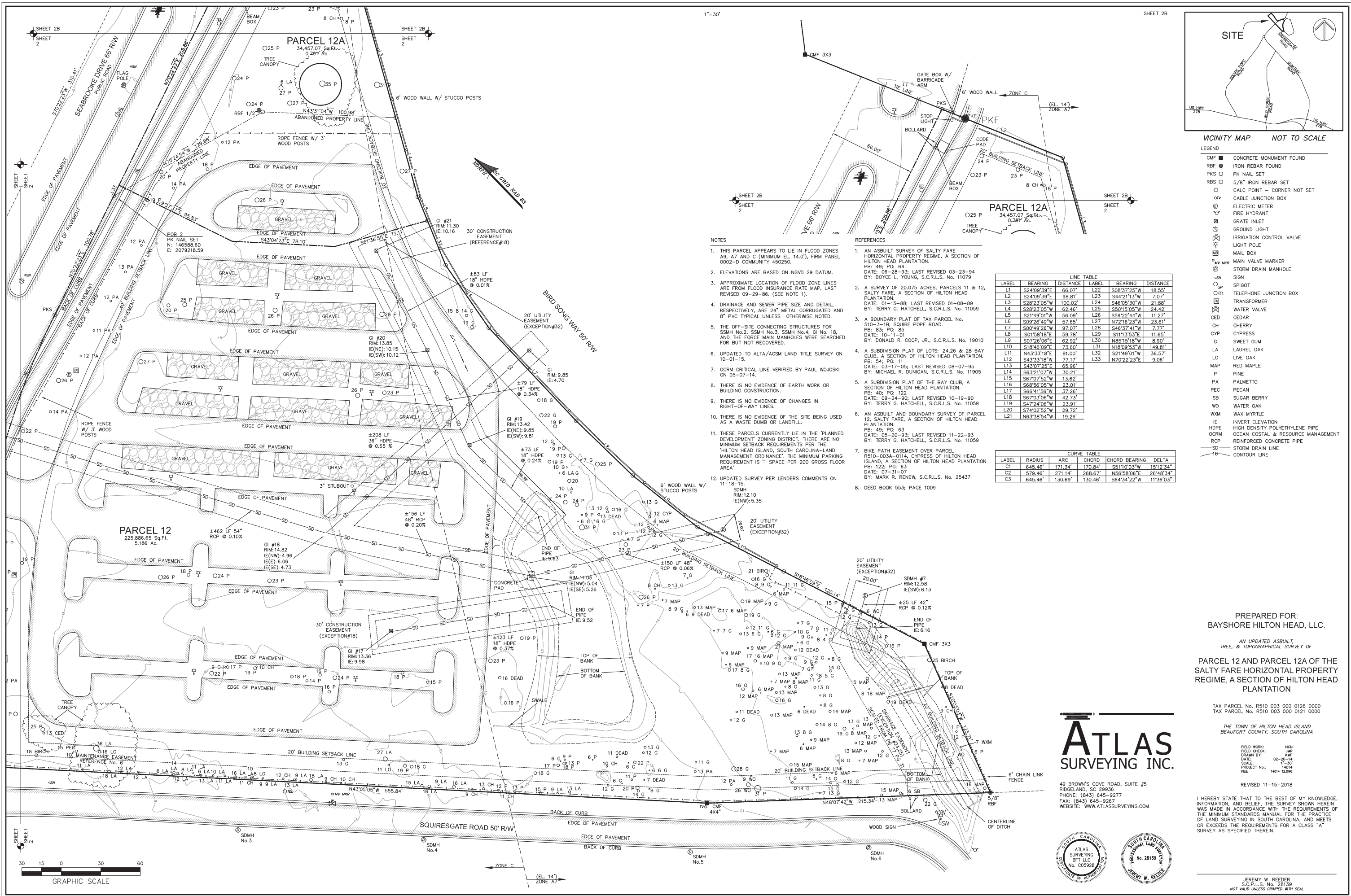
There are 3 specimen trees located on-site and are indicated on the as-built survey. All specimens will be preserved through site planning efforts with any encroachment meeting LMO standards.

The water quality analysis for the project will address the OCRM First Flush requirements, the Town of Hilton Head Island Volume Control requirements and BMP Standards. The site contains existing infrastructure (parking, dry-pond, etc.) and will be accounted for as the pre-existing condition. Runoff associated with the buildings, parking areas, and sidewalks will be routed through a series of pervious paving, perforated pipes and bio-retention systems in order to infiltrate the required volume. These proposed BMP's will take advantage of the highly permeable soils onsite and infiltrate runoff prior to ultimately discharging peak flows to Skull Creek at the previous developed Phase 1 area of the site.

The stormwater routing from the site will ultimately connect to the existing drainage trunk-line onsite and discharge into Skull Creek. This system discharges directly to Skull Creek and appears to present no adverse effects on surrounding properties. Ward Edwards has met with Town of Hilton Head engineering staff to review the existing site drainage infrastructure. There are a few existing drainage easements on the property which have been incorporated into the site planning efforts. Relocation of one of the minor spurs of the existing drainage system will be integrated with the development and designed to improve the existing system (materials and hydraulics). The updated drainage easements will be recorded with the Town of Hilton Head as appropriate.

Existing water and sewer service, owned and maintained by Hilton Head PSD, are available for the subject parcel with adequate capacity to properly service the proposed development. Fire protection accessibility and flow with new fire hydrants will be incorporated in to the detailed design. Electrical service will be provided by Palmetto Electric. The existing service is located along Squire Pope Road. Cable television services will be provided by Time Warner Cable and/or Hargray Communications.

There are no wetlands on the property. The USACE has issued a wetland delineation letter indicating that the site does not contain any wetlands.



NOTES

- THIS PARCEL APPEARS TO LIE IN FLOOD ZONES A9, A7 AND C (MINIMUM EL. 14.0'). FIRM PANEL 0002-D COMMUNITY 450250.
- ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- APPROXIMATE LOCATION OF FLOOD ZONE LINES ARE FROM FLOOD INSURANCE RATE MAP, LAST REVISED 09-29-86. (SEE NOTE 1).
- DRAINAGE AND SEWER PIPE SIZE AND DETAIL, RESPECTIVELY, ARE 24" METAL CORRUGATED AND 8" PVC TYPICAL UNLESS OTHERWISE NOTED.
- THE OFF-SITE CONNECTING STRUCTURES FOR SSMH No. 2, SSMH No. 3, SSMH No. 4, GI No. 18, AND THE FORCE MAIN MANHOLES WERE SEARCHED FOR BUT NOT RECOVERED.
- UPDATED TO ALTA/ACSM LAND TITLE SURVEY ON 10-01-15.
- OCR CRITICAL LINE VERIFIED BY PAUL WOJOSKI ON 05-07-14.
- THERE IS NO EVIDENCE OF EARTH WORK OR BUILDING CONSTRUCTION.
- THERE IS NO EVIDENCE OF CHANGES IN RIGHT-OF-WAY LINES.
- THERE IS NO EVIDENCE OF THE SITE BEING USED AS A WASTE DUMP OR LANDFILL.
- THESE PARCELS CURRENTLY LIE IN THE 'PLANNED DEVELOPMENT' ZONING DISTRICT. THERE ARE NO MINIMUM SETBACK REQUIREMENTS PER THE 'HILTON HEAD ISLAND, SOUTH CAROLINA-LAND MANAGEMENT ORDINANCE'. THE MINIMUM PARKING REQUIREMENT IS '1 SPACE PER 200 GROSS FLOOR AREA'.
- UPDATED SURVEY PER LENDERS COMMENTS ON 11-18-15.

REFERENCES

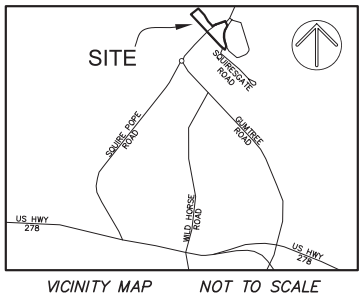
- AN ASBUILT SURVEY OF SALTY FARE HORIZONTAL PROPERTY REGIME, A SECTION OF HILTON HEAD PLANTATION. PB: 49; PG: 64. DATE: 06-28-93; LAST REVISED 03-23-94. BY: BOYCE L. YOUNG, S.C.R.L.S. No. 11079.
- A SURVEY OF 20.075 ACRES, PARCELS 11 & 12, SALTY FARE, A SECTION OF HILTON HEAD PLANTATION. DATE: 01-15-88; LAST REVISED 01-08-89. BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
- A BOUNDARY PLAT OF TAX PARCEL No. 510-3-1B, SQUIRE POPE ROAD. PB: 83; PG: 85. DATE: 10-11-01. BY: DONALD R. COOP, JR., S.C.R.L.S. No. 19010.
- A SUBDIVISION PLAT OF LOTS: 24,26 & 28 BAY CLUB, A SECTION OF HILTON HEAD PLANTATION. PB: 54; PG: 11. DATE: 03-17-05; LAST REVISED 08-07-95. BY: MICHAEL R. DUNIGAN, S.C.R.L.S. No. 11905.
- A SUBDIVISION PLAT OF THE BAY CLUB, A SECTION OF HILTON HEAD PLANTATION. PB: 40; PG: 122. DATE: 09-24-90; LAST REVISED 10-19-90. BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
- AN ASBUILT AND BOUNDARY SURVEY OF PARCEL 12, SALTY FARE, A SECTION OF HILTON HEAD PLANTATION. PB: 49; PG: 63. DATE: 05-20-93; LAST REVISED 11-22-93. BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059.
- BIKE PATH EASEMENT OVER PARCEL R510-003A-0114, CYPRESS OF HILTON HEAD ISLAND, A SECTION OF HILTON HEAD PLANTATION. PB: 122; PG: 63. DATE: 07-31-07. BY: MARK R. RENEW, S.C.R.L.S. No. 25437.
- DEED BOOK 553; PAGE 1009.

LINE TABLE

LABEL	BEARING	DISTANCE	LABEL	BEARING	DISTANCE
L1	S24°09'39"E	66.07'	L22	S08°37'25"W	18.55'
L2	S24°09'39"E	98.81'	L23	S44°21'13"W	7.07'
L3	S28°23'05"W	100.02'	L24	S46°05'30"W	21.88'
L4	S28°23'05"W	62.46'	L25	S50°15'05"W	24.42'
L5	S21°49'01"W	56.09'	L26	S59°22'44"W	11.27'
L6	S09°26'49"W	57.85'	L27	N72°19'23"W	23.81'
L7	S00°49'26"W	97.07'	L28	S46°37'41"W	7.77'
L8	S01°58'18"E	59.78'	L29	S11°13'53"E	11.65'
L9	S07°26'06"E	62.92'	L30	N85°15'18"W	8.90'
L10	S18°46'09"E	73.60'	L31	N18°09'53"W	149.81'
L11	N43°33'18"E	81.00'	L32	S21°49'01"W	36.57'
L12	S43°33'18"W	77.17'	L33	N70°22'23"E	9.06'
L13	S43°07'25"E	65.96'			
L14	S63°21'07"W	30.21'			
L15	S67°07'52"W	13.62'			
L16	S68°56'05"W	23.01'			
L17	S66°41'56"W	37.26'			
L18	S67°03'06"W	42.73'			
L19	S47°24'06"W	23.91'			
L20	S74°02'52"W	29.72'			
L21	N63°38'54"W	19.26'			

CURVE TABLE

LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	645.46'	171.34'	170.84'	S51°10'03"W	151°2'34"
C2	579.46'	271.14'	268.67'	N56°58'06"E	28°48'34"
C3	645.46'	130.69'	130.46'	S64°34'22"W	111°36'03"



- LEGEND**
- CMF ■ CONCRETE MONUMENT FOUND
 - RBF ● IRON REBAR FOUND
 - RBS ○ 5/8" IRON REBAR SET
 - PKS ○ 5/8" IRON REBAR SET
 - ORV ○ CALC POINT - CORNER NOT SET
 - CABLE JUNCTION BOX
 - ⊕ ELECTRIC METER
 - ⊕ FIRE HYDRANT
 - ⊕ GRATE INLET
 - ⊕ GROUND LIGHT
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ LIGHT POLE
 - ⊕ MAIL BOX
 - ⊕ MAIN VALVE MARKER
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ SIGN
 - ⊕ SPIGOT
 - ⊕ TELEPHONE JUNCTION BOX
 - ⊕ TRANSFORMER
 - ⊕ WATER VALVE
 - CEDAR
 - CHERRY
 - CYPRESS
 - SWEET GUM
 - LAUREL OAK
 - LIVE OAK
 - RED MAPLE
 - PINE
 - PALMETTO
 - PECAN
 - SUGAR BERRY
 - WATER OAK
 - WAX MYRTLE
 - ⊕ INVERT ELEVATION
 - ⊕ HIGH DENSITY POLYETHYLENE PIPE
 - ⊕ OCEAN COSTAL & RESOURCE MANAGEMENT
 - ⊕ REINFORCED CONCRETE PIPE
 - ⊕ STORM DRAIN LINE
 - ⊕ CONTOUR LINE

PREPARED FOR:
BAYSHORE HILTON HEAD, LLC.

AN UPDATED ASBUILT,
TREE, & TOPOGRAPHICAL SURVEY OF
PARCEL 12 AND PARCEL 12A OF THE
SALTY FARE HORIZONTAL PROPERTY
REGIME, A SECTION OF HILTON HEAD
PLANTATION

TAX PARCEL No. R510 003 000 0126 0000
TAX PARCEL No. R510 003 000 0121 0000

THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

ATLAS SURVEYING INC.

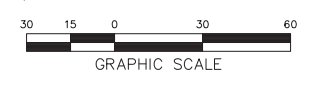
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
FAX: (843) 645-9267
WEBSITE: WWW.ATLASSURVEYING.COM



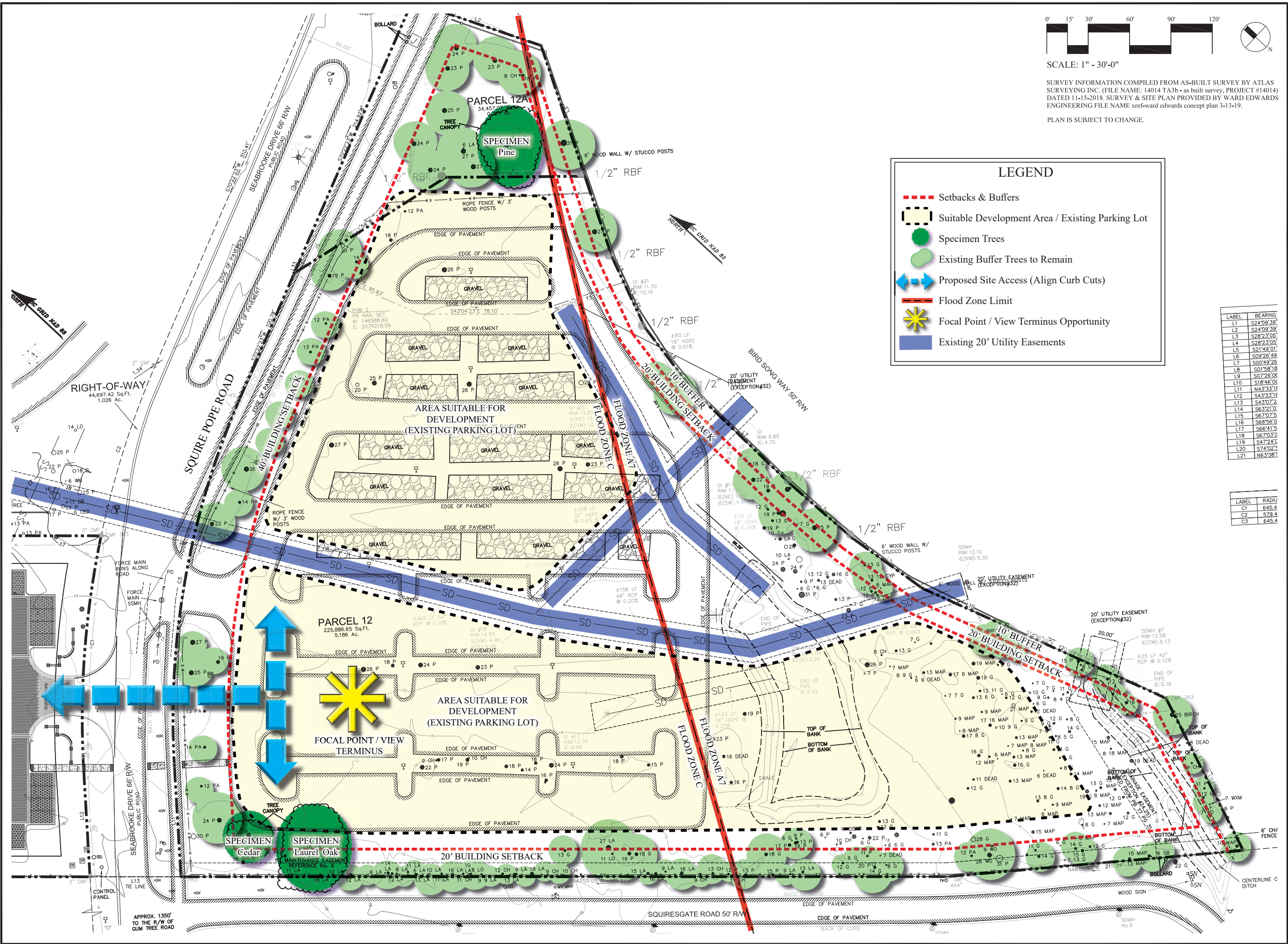
REVISED 11-15-2018

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE,
INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF
LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A"
SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL



G:\Projects\HHM\Multifamily\Baysshore Phase 2\Production\Work\DD801-19021 Site Analysis.dwg, Friday, April 26, 2019, Printed By: David McAllister
This document and all reproducible copies of this document are the property of Wood + Partners, Inc. reproduction or alterations of this drawing without the written consent of Wood + Partners, Inc. is not permitted. If this sheet is less than 24"x36" it is a reduced print, scale accordingly



0' 15' 30' 60' 90' 120'

SCALE: 1" = 30'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY ATLAS SURVEYING INC. (FILE NAME: 14014 TA3b - as built survey, PROJECT #14014) DATED 11-15-2018. SURVEY & SITE PLAN PROVIDED BY WARD EDWARDS ENGINEERING FILE NAME: xref-ward edwards concept plan 3-13-19.

PLAN IS SUBJECT TO CHANGE.

LEGEND

- Setbacks & Buffers
- Suitable Development Area / Existing Parking Lot
- Specimen Trees
- Existing Buffer Trees to Remain
- ⇄ Proposed Site Access (Align Curb Cuts)
- Flood Zone Limit
- ✦ Focal Point / View Terminus Opportunity
- Existing 20' Utility Easements

LABEL	BEARING
L1	S24°09'39"
L2	S24°09'39"
L3	S28°23'05"
L4	S28°23'05"
L5	S21°49'01"
L6	S09°28'49"
L7	S09°49'28"
L8	S01°58'18"
L9	S07°26'06"
L10	S18°46'05"
L11	N43°33'11"
L12	S43°33'11"
L13	S43°07'2"
L14	S63°21'0"
L15	S67°07'9"
L16	S68°56'0"
L17	S66°41'9"
L18	S67°03'0"
L19	S47°24'5"
L20	S74°02'1"
L21	N63°38'1"

LABEL	RADIUS
C1	645.4
C2	579.4
C3	645.4

Wood+Partners Inc.
Landscape Architects
Land Planners

Client Info:
Bayshore Retirement Living
701 S Howard Ave
Tampa, FL 33606

CONSTRUCTION DOCUMENTS
BAYSHORE RETIREMENT LIVING
PHASE 2 - RESIDENTIAL
LOTS 1-12 GRANDVIEW COURT
HILTON HEAD ISLAND, SC 29926

PROFESSIONAL SEAL:
DESIGN DEVELOPMENT;
NOT FOR CONSTRUCTION

DRAWN BY:
BH

CHECKED BY:
TG

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#	REVISION	DATE	BY

DATE
04-30-2019

PROJECT NUMBER
01-19021

SHEET TITLE
Site Analysis

SHEET NUMBER
L-001

G:\Projects\HHI\Multifamily\Bayshore Phase 2\Production\Work\DDs\01-19021 Site Analysis.dwg, Friday, April 26, 2019, Printed By: David McAllister
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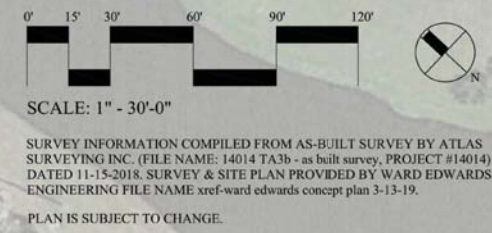
PROPERTY SUMMARY:

PROJECT NAME:	Bayshore - Phase 2
ZONING DISTRICT:	PD-1
OVERLAY DISTRICT:	COR
PARCEL NUMBER:	R510 003 000 0126 0000
ADDRESS:	424 Squire Pope Road
BUILDING USE:	Multi-family
ALLOWED DENSITY:	26 UNITS
GROSS SITE ACREAGE:	5.977 ACRES
EXISTING IMPERV. COVER:	101,500 S.F. (39%)
PROPOSED IMPERV. COVER:	101,500 S.F. (39%)
PROPOSED PERM. PAVERS:	18,140 S.F. (7%)
OPEN SPACE PROVIDED:	140,415 S.F. (54%)

DEVELOPMENT SUMMARY:

PROPOSED MF UNITS:	26 UNITS
PARKING REQUIRED:	
1.7 spaces / 2 bed * 26	44 SPACES
PHASE 1 OVERFLOW*	39 SPACES
TOTAL REQUIRED	83 SPACES
PARKING PROVIDED:	
1 SURFACE/1 GARAGE/UNIT	52 SPACES
OVERFLOW PARKING	39 SPACES
TOTAL PROVIDED	91 SPACES*

EXCESS PARKING SHALL BE PERMEABLE PAVEMENT INCLUDING DRIVEWAYS AND ON-STREET PARKING AREAS.



Wood+Partners Inc.
Landscape Architects
Land Planners

Client Info:
Bayshore Retirement Living
701 S Howard Ave
Tampa, FL 33606

CONSTRUCTION DOCUMENTS
BAYSHORE RETIREMENT LIVING
PHASE 2 - RESIDENTIAL
LOTS 1-12 GRANDVIEW COURT
HILTON HEAD ISLAND, SC 29926

PROFESSIONAL SEAL:
DESIGN DEVELOPMENT;
NOT FOR CONSTRUCTION

DRAWN BY:
BH
CHECKED BY:
TG

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#	REVISION	DATE	BY

DATE: 04-30-2019
PROJECT NUMBER: 01-19021
SHEET TITLE: Conceptual Master Plan

SHEET NUMBER: L-002

EXISTING CONDITIONS AND NEIGHBORING USES IMAGERY

Existing Site Photos & Aerial



Property Aerial (Phase 1 & 2, The Cypress and The Boathouse)

Neighboring uses and Architectural Styles



Phase 1 Building



The Cypress - Patio Homes



Squire Pope Street View



Squire Gate Street View



Site Photo - existing parking lot



Squire Pope Fire Station

CONCEPTUAL HARDSCAPE AND AMENITIES IMAGERY

Walls & Signage



Stucco Entry Walls and Signs to match Phase 1



Entry Road to align with Phase 1



Garden Walls

Paving and Driveways



Permeable Decorative Pavers for Entry Drive to match Phase 1



Concrete Walks- Tooled w/ Broom Finish



Paver On-Street Parking Areas



Permeable Decorative Paver Driveways



Potential Pool Deck Paving

Clubhouse Courtyard Garden and Potential Amenities



Walled Courtyard with Spa style Pool



Garden Style Seating and Benches



Courtyard style Pool



Pocket Parks with Swing Trellis



Potential Putting and Socialization Area



Garden Gates and Planters

PLANT PALETTE IMAGERY

Trees & Palms



LIVE OAK



NUTTAL OAK



HOLLIES



GRAPE MYRTLE



WHITE GRAPE MYRTLE



LIRIOPE



LILY OF THE NILE



Athena Elm

ELM TREE



CABBAGE PALM



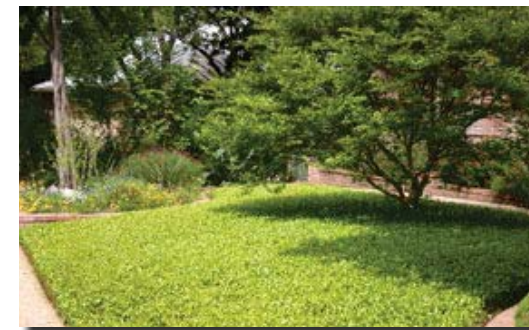
SYLVESTER PALM



SAW PALMETTO



VIRGINIA SWEETSPIRE



ASIATIC JASMINE



VARIEGATED GINGER

Shrubs & Evergreens



ANISE



PODOCARPUS HEDGE



INKBERRY



UPRIGHT YAUPON HOLLY



PHYLODENDRON



MUHLY GRASS



SOCIETY GARLIC



ROSES



PURPLE LOROPETALUM



AZALEAS



BEAUTYBERRY

Groundcovers and Accent plantings



PLUMBAGO



LANTANA

Native plantings

Project No: 01-19021

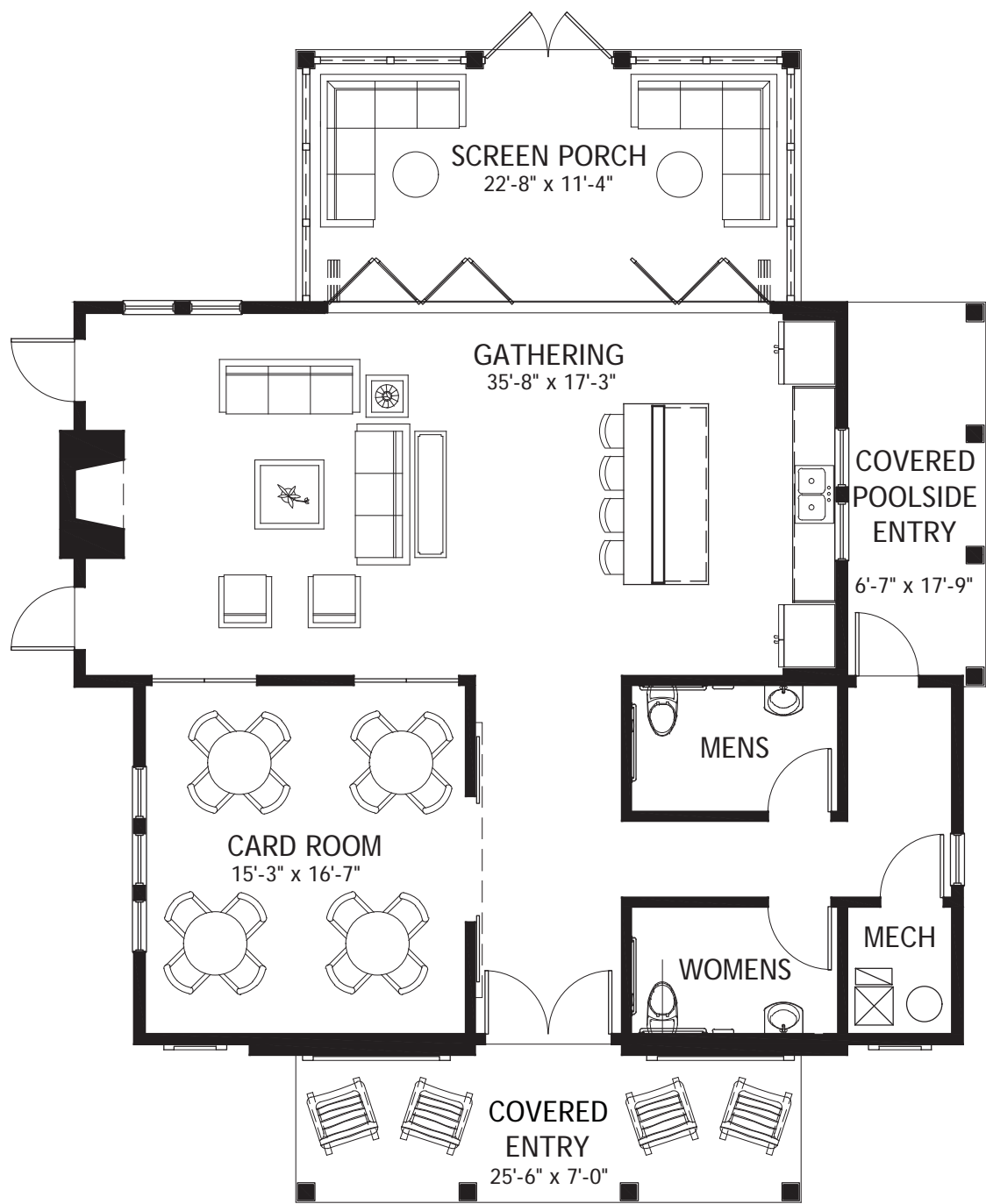
Date: 04-30-2019

Scale:

Page Title: Landscape Imagery Board

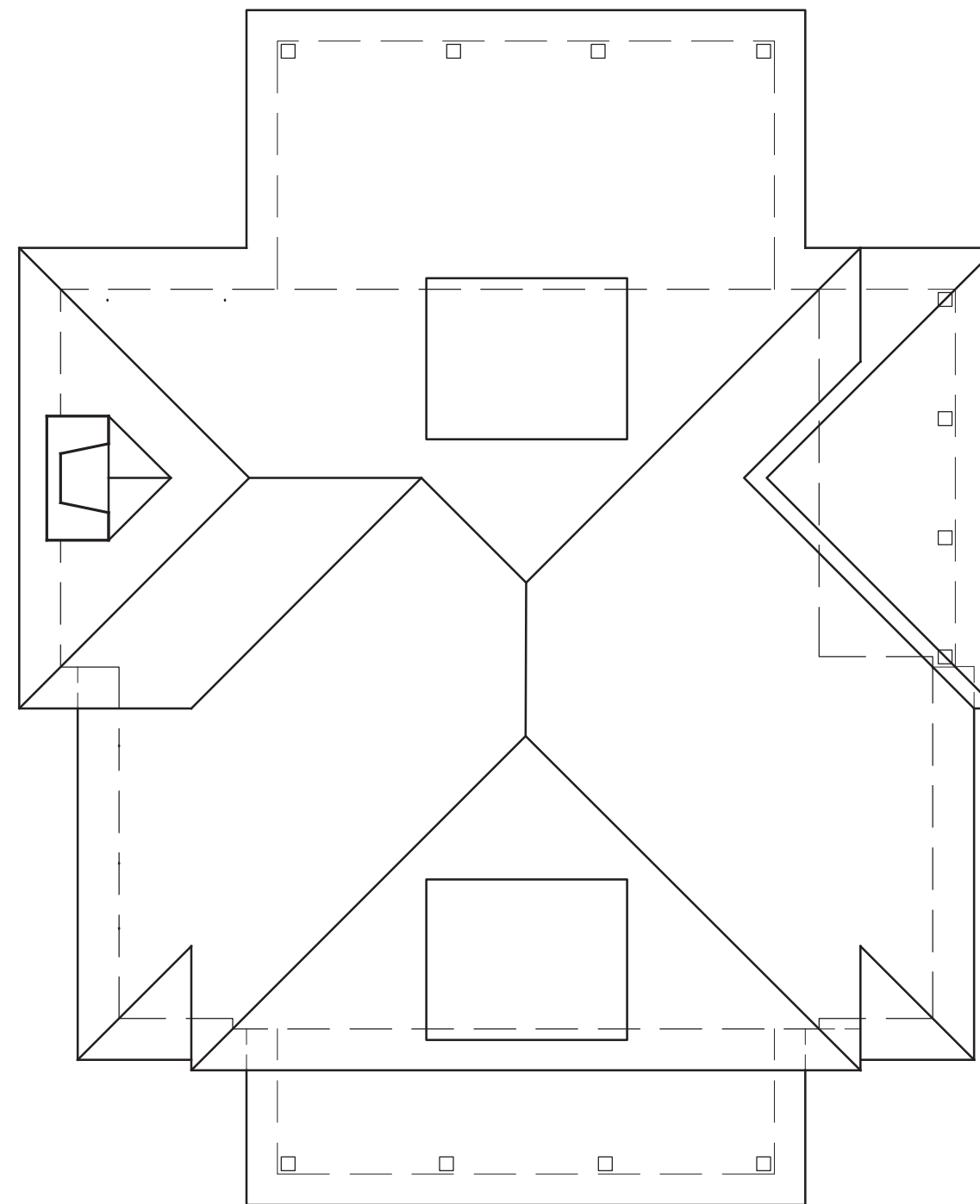
Bayshore Retirement Living - Phase 2 - Residential
Hilton Head Island, S.C.

Wood+Partners Inc. WPI
Landscape Architects
Land Planners



1 CLUBHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR AREA (A/C)	= 1,341 SF
FRONT PORCH	= 168 SF
REAR PORCH	= 288 SF
POOLSIDE ENTRY PORCH	= 117 SF
TOTAL UNDER ROOF	= 1,914 SF



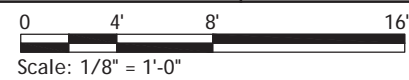
2 CLUBHOUSE ROOF PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

CLUBHOUSE: FLOOR & ROOF PLANS



Scale: 1/8" = 1'-0"

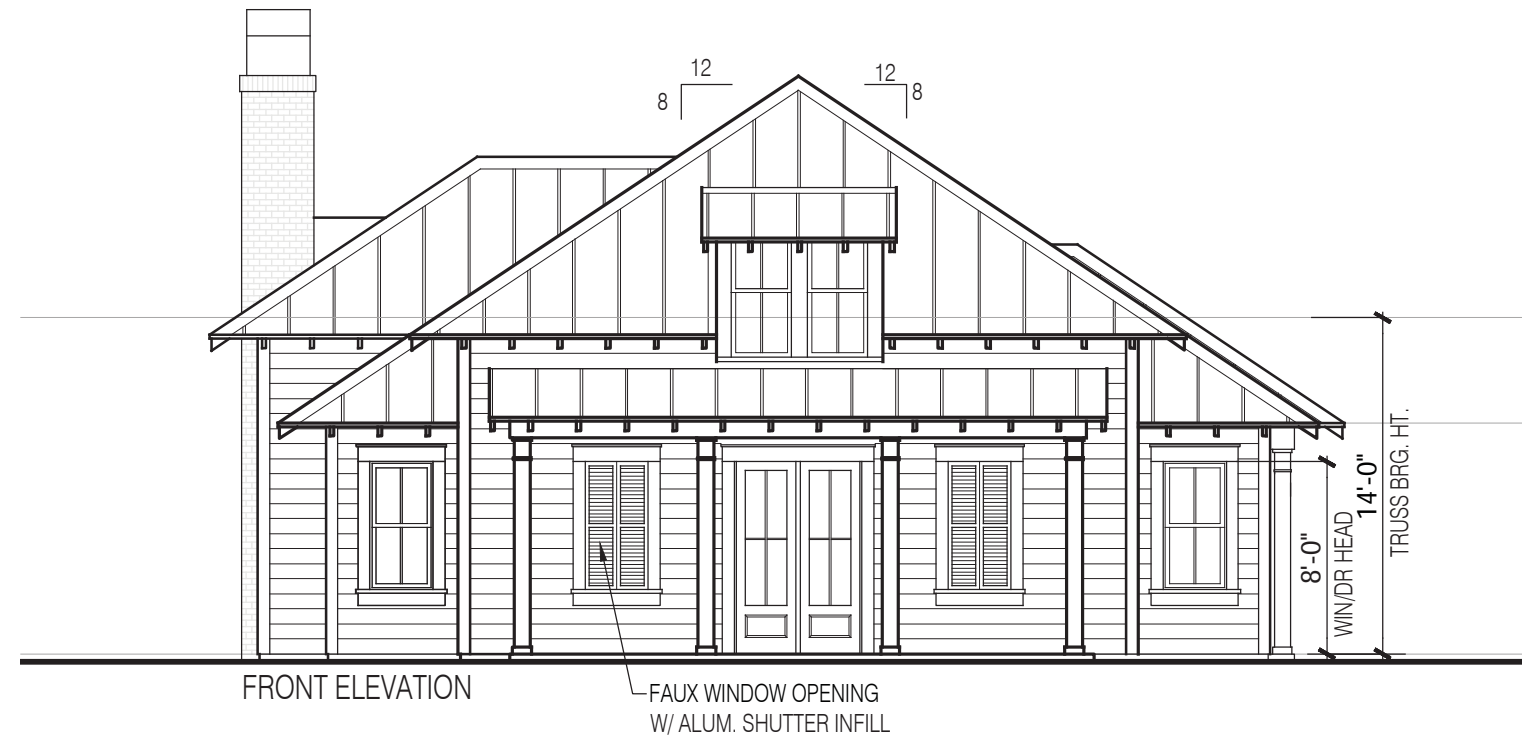
THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



BAYSHORE
RETIREMENT LIVING

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FRONT ELEVATION

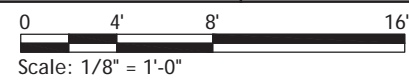
FAUX WINDOW OPENING
W/ ALUM. SHUTTER INFILL

8'-0"
WIN/DR HEAD
14'-0"
TRUSS BRG. HT.

Project No: 1903

Date: 05.01.2019

CLUBHOUSE: FRONT (ENTRY) ELEVATION



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



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RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

FRENCH DOOR W/ 3/4 LITE GLASS PANEL OVER SOLID RAISED PANEL



REAR ELEVATION

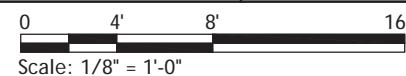
8"X8" BOXED COLUMNS WITH DECORATIVE TRIM

SCREEN PANELS ABOVE SOLID WAINESCOT PANELS



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Date: 05.01.2019



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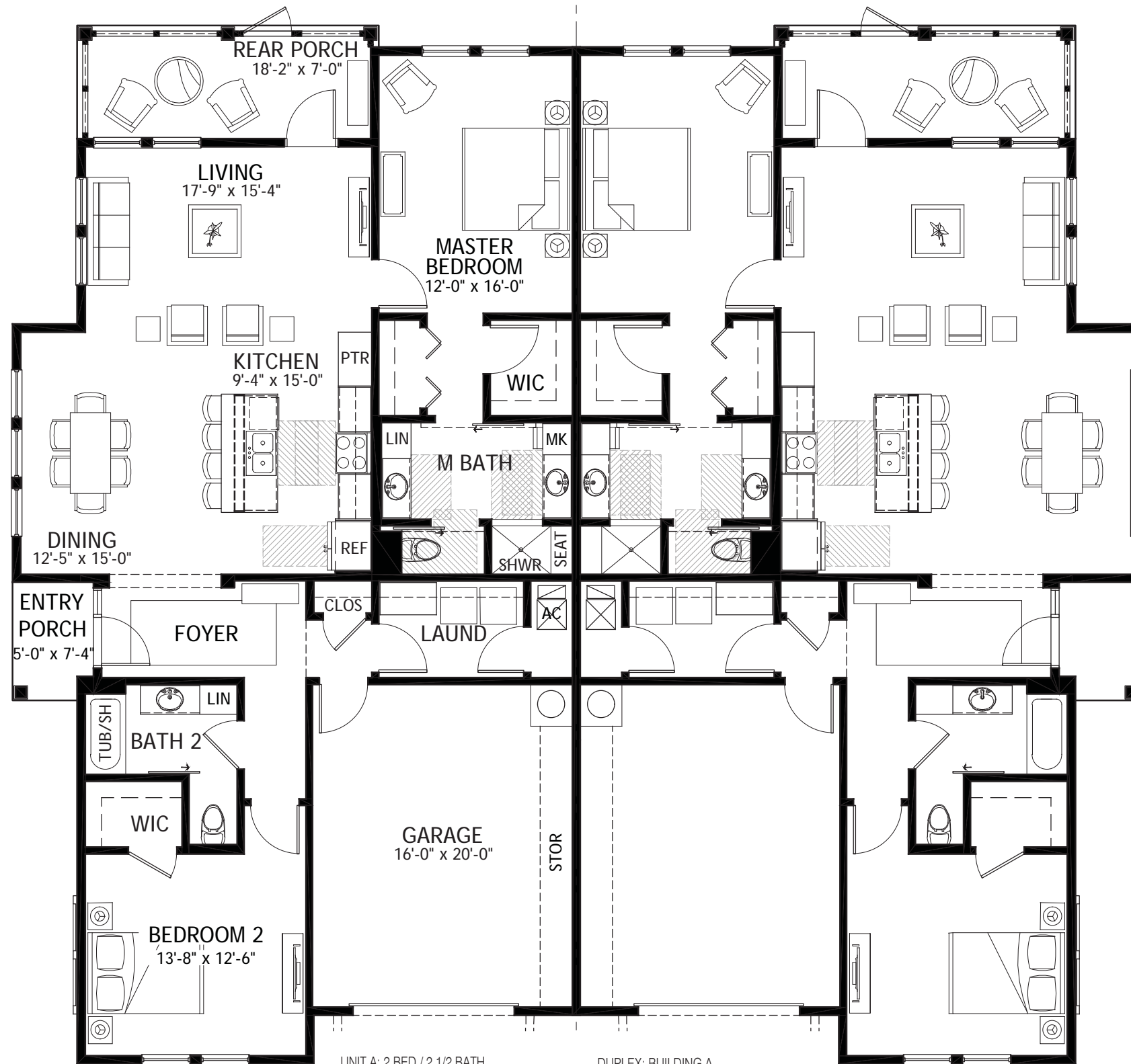
THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina

CLUBHOUSE: ELEVATIONS



BAYSHORE
RETIREMENT LIVING



UNIT A: 2 BED / 2 1/2 BATH	
FLOOR AREA (A/C)	= 1,520 SF
ENTRY PORCH	= 35 SF
REAR PORCH	= 128 SF
GARAGE	= 335 SF
TOTAL (UNDER ROOF)	= 2,018 SF

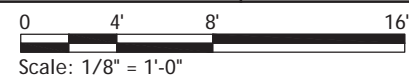
DUPLEX: BUILDING A	
TOTAL (UNDER ROOF)	= 4,036 SF

1 BUILDING A
FLOOR PLAN
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

BUILDING A: FLOOR PLAN

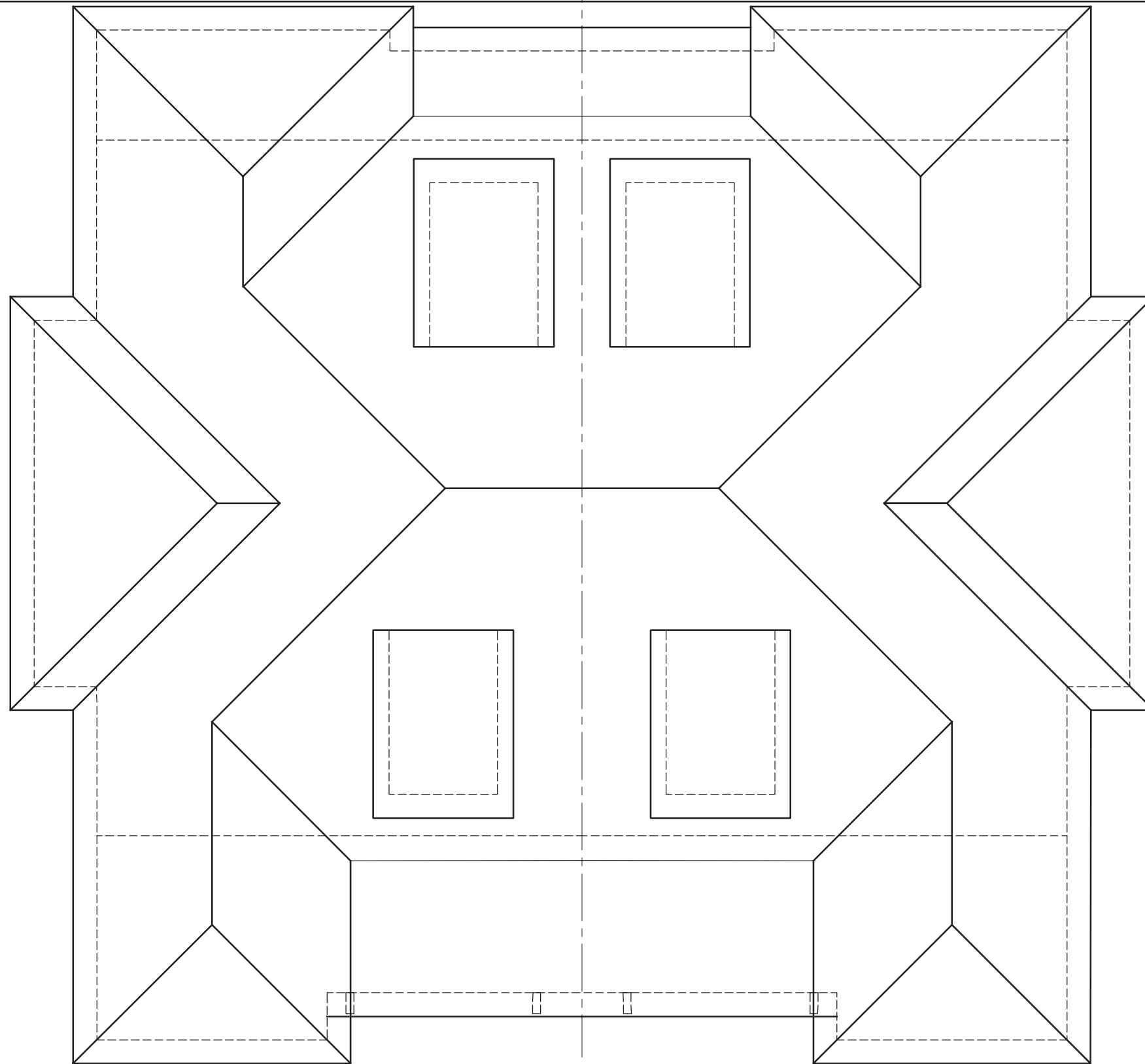


THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



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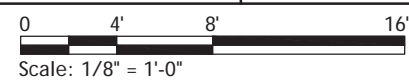
1 BUILDING A
ROOF PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

BUILDING A: ROOF PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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METAL ROOF ON FALSE DORMER

FIXED METAL SHUTTERS

HARDI-BOARD OVER PT WOOD BEAM & POSTS

HORIZONTAL HARDI-BOARD SIDING

"CARRIAGE LOOK" OVERHEAD DOORS - 8' T x 10' W

2 BUILDING A FRONT ELEVATION
SCALE: 1/8" = 1'-0"



METAL ROOF ON FALSE DORMER

FIXED METAL SHUTTERS

HARDI-BOARD OVER PT WOOD BEAM & POSTS

HORIZONTAL HARDI-BOARD SIDING

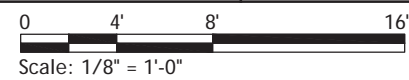
SCREENED PORCH

1 BUILDING A REAR ELEVATION
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

BUILDING A: FRONT & REAR ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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2 BUILDING A
LEFT SIDE ELEVATION (ENTRY)
SCALE: 1/8" = 1'-0"



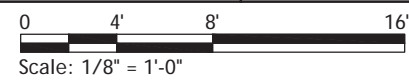
1 BUILDING A
RIGHT SIDE ELEVATION (ENTRY)
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

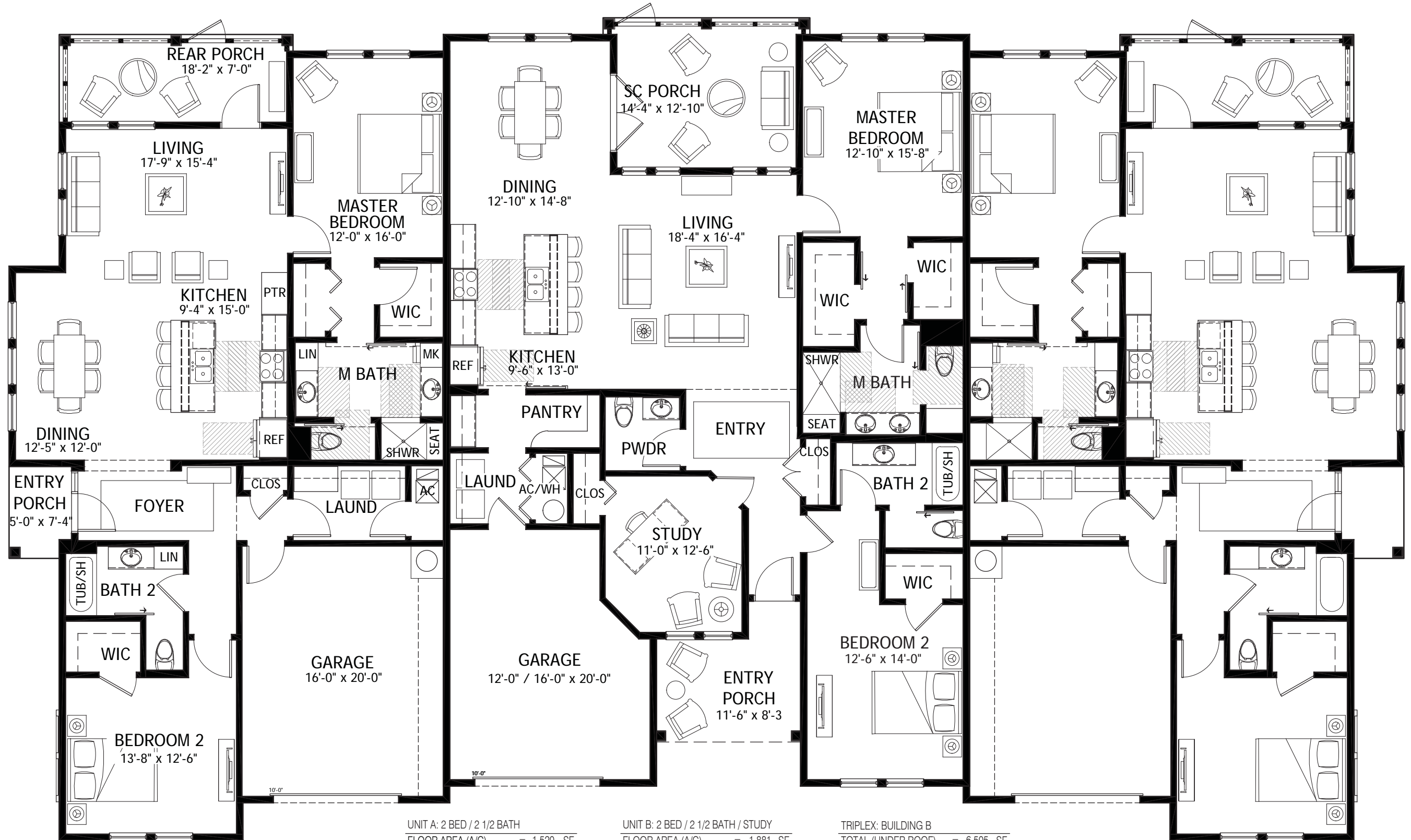
BUILDING A: LEFT & RIGHT ENTRY SIDE ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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UNIT A: 2 BED / 2 1/2 BATH	
FLOOR AREA (A/C)	= 1,520 SF
ENTRY PORCH	= 35 SF
REAR PORCH	= 128 SF
GARAGE	= 335 SF
TOTAL (UNDER ROOF)	= 2,018 SF

UNIT B: 2 BED / 2 1/2 BATH / STUDY	
FLOOR AREA (A/C)	= 1,881 SF
ENTRY PORCH	= 107 SF
REAR PORCH	= 172 SF
GARAGE	= 309 SF
TOTAL (UNDER ROOF)	= 2,469 SF

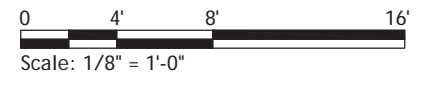
TRIPLEX: BUILDING B	
TOTAL (UNDER ROOF)	= 6,505 SF

1 BUILDING B FLOOR PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

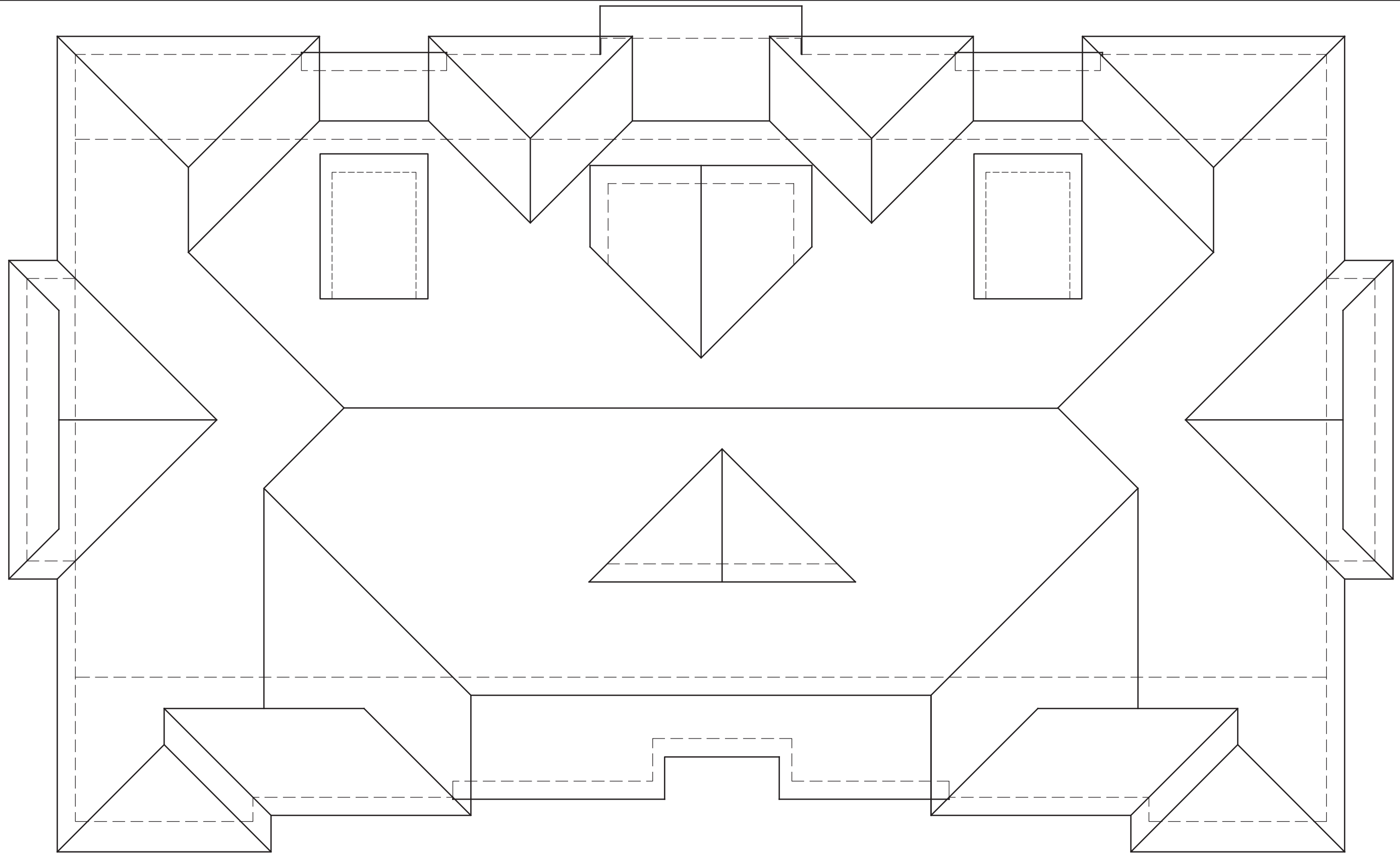


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THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina

BUILDING B: FLOOR PLAN





1 BUILDING B ROOF PLAN

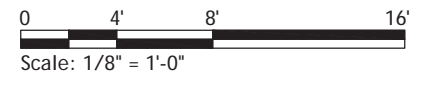
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

BUILDING B: ROOF PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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2 BUILDING B
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



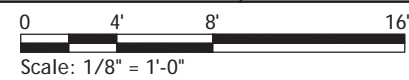
1 BUILDING B
REAR ELEVATION
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

BUILDING B: FRONT & REAR ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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2 BUILDING B
LEFT SIDE ELEVATION (ENTRY)
SCALE: 1/8" = 1'-0"

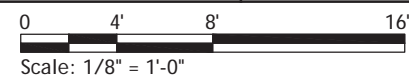


1 BUILDING B
RIGHT SIDE ELEVATION (ENTRY)
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

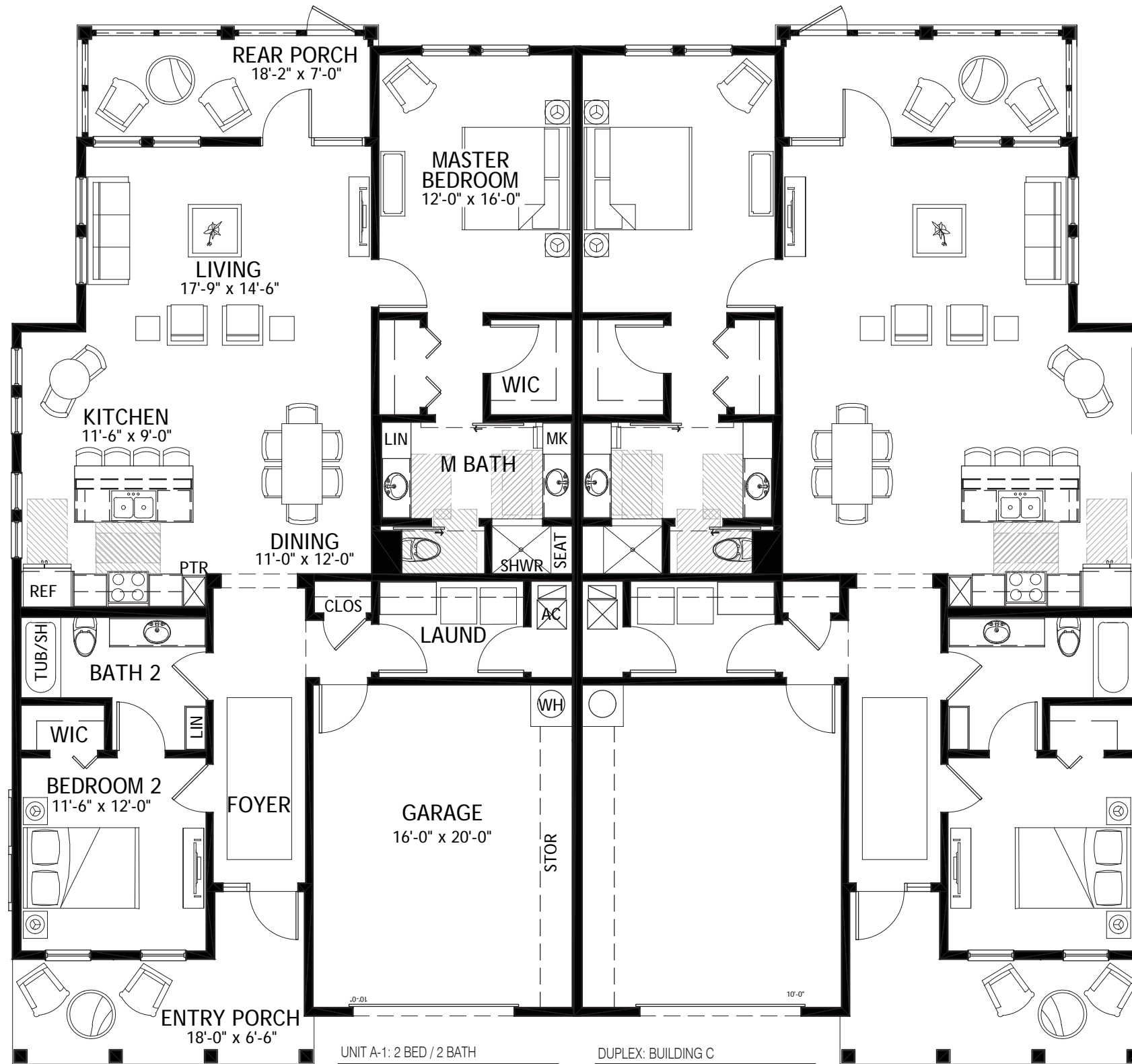
BUILDING B: LEFT & RIGHT ENTRY SIDE ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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UNIT A-1: 2 BED / 2 BATH	
FLOOR AREA (A/C)	= 1,500 SF
ENTRY PORCH	= 143 SF
REAR PORCH	= 128 SF
GARAGE	= 340 SF
TOTAL (UNDER ROOF)	= 2,111 SF

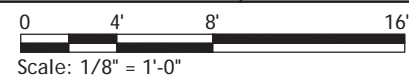
DUPLEX: BUILDING C	
TOTAL (UNDER ROOF)	= 4,222 SF

1 BUILDING C
FLOOR PLAN
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

BUILDING C: FLOOR PLAN

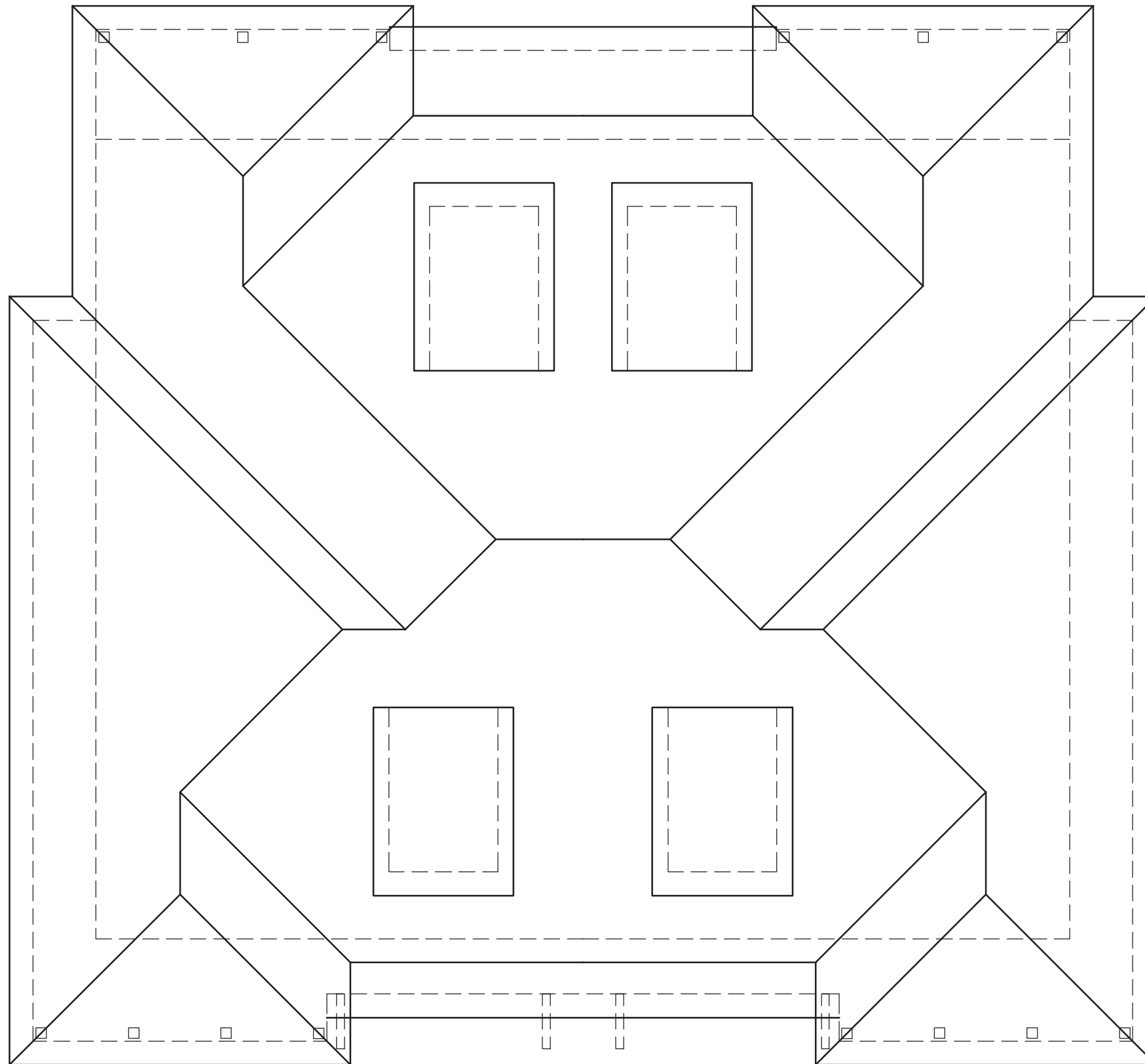


THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



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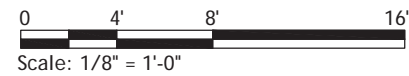
1 BUILDING C
ROOF PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

BUILDING C: ROOF PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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METAL ROOF ON FALSE DORMER
FIXED METAL SHUTTERS

HARDI-BOARD OVER PT WOOD BEAM & POSTS
HORIZONTAL HARDI-BOARD SIDING
"CARRIAGE LOOK" OVERHEAD DOORS - 8' T x 10' W

2 BUILDING C FRONT ELEVATION
SCALE: 1/8" = 1'-0"



METAL ROOF ON FALSE DORMER
FIXED METAL SHUTTERS

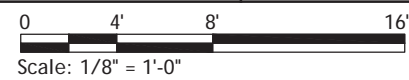
HARDI-BOARD OVER PT WOOD BEAM & POSTS
HORIZONTAL HARDI-BOARD SIDING
SCREENED PORCH

1 BUILDING C REAR ELEVATION
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

BUILDING C: FRONT & REAR ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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2 BUILDING C
LEFT SIDE LEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING C
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

METAL ROOF ON FALSE DORMER

HARDI-BOARD OVER PT WOOD BEAM & POSTS

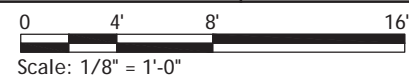
HORIZONTAL HARDI-BOARD SIDING

SCREENED PORCH

Project No: 1903

Date: 05.01.2019

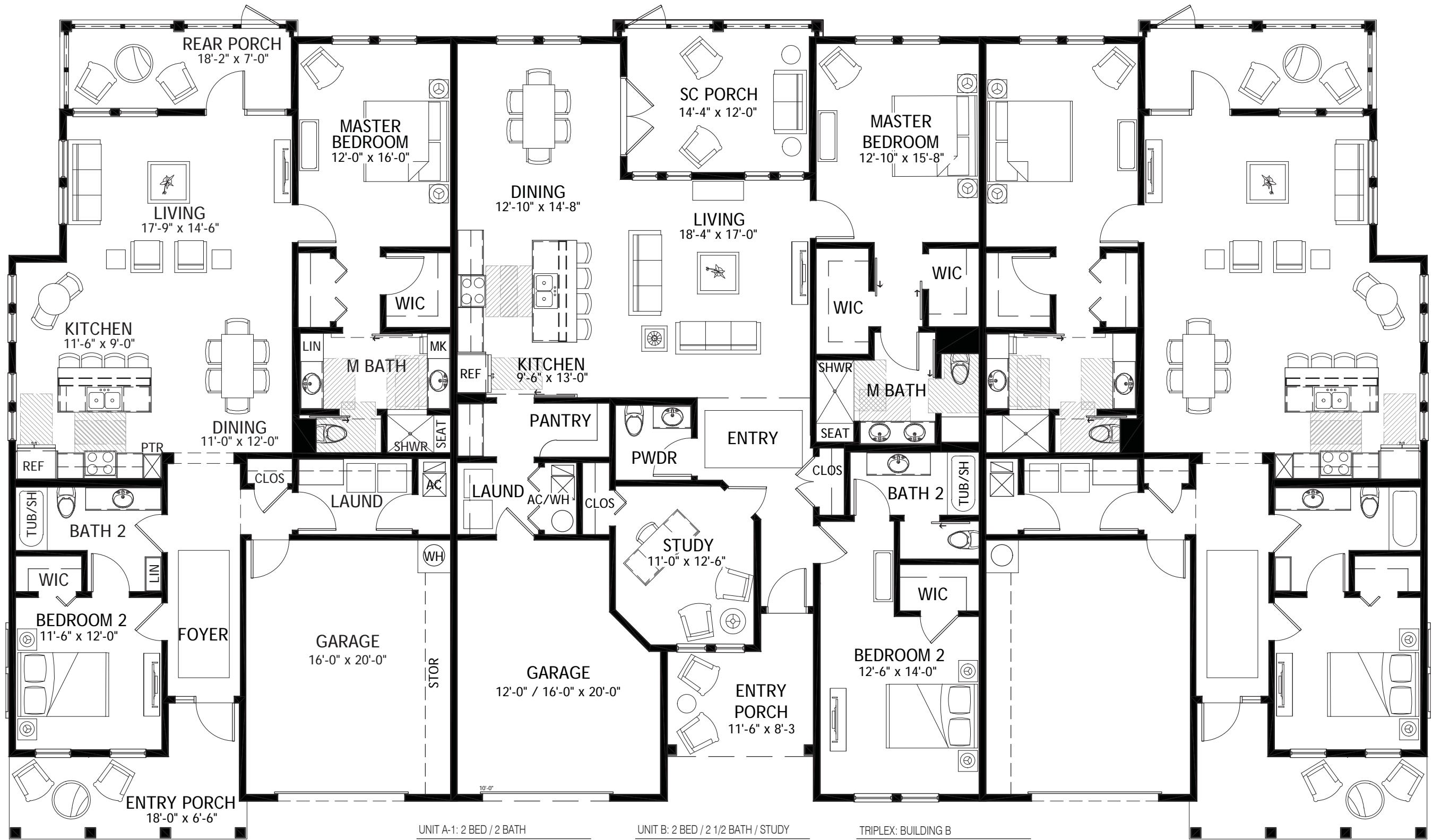
BUILDING C: LEFT & RIGHT SIDE ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



Document is preliminary and subject to change.



UNIT A-1: 2 BED / 2 BATH	
FLOOR AREA (A/C)	= 1,500 SF
ENTRY PORCH	= 143 SF
REAR PORCH	= 128 SF
GARAGE	= 340 SF
TOTAL (UNDER ROOF)	= 2,111 SF

UNIT B: 2 BED / 2 1/2 BATH / STUDY	
FLOOR AREA (A/C)	= 1,881 SF
ENTRY PORCH	= 107 SF
SCRND PORCH	= 172 SF
GARAGE	= 309 SF
TOTAL (UNDER ROOF)	= 2,469 SF

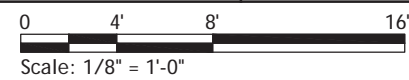
TRIPLEX: BUILDING B	
TOTAL (UNDER ROOF)	= 6,691 SF

1 BUILDING D
FLOOR PLAN
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

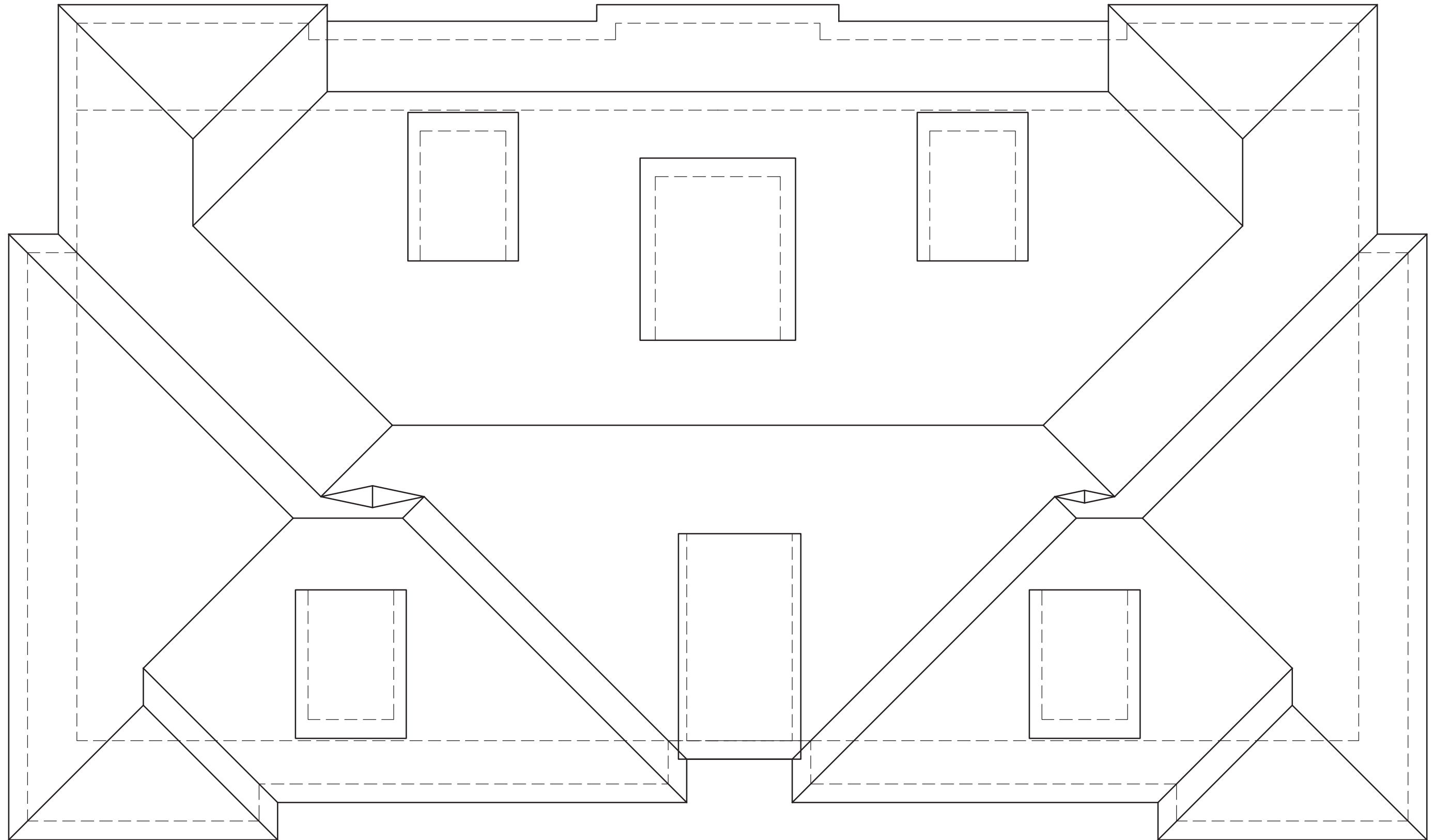
BUILDING D: FLOOR PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina





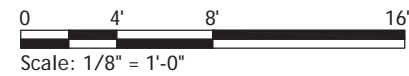
1 BUILDING D
 ROOF PLAN
 SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

BUILDING D: ROOF PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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- METAL ROOF ON FALSE DORMER
- FIXED METAL SHUTTERS
- HARDI-BOARD OVER PT WOOD BEAM & POSTS
- HORIZONTAL HARDI-BOARD SIDING
- "CARRIAGE LOOK" OVERHEAD DOORS - 8' T x 10' W

2 BUILDING D
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



- METAL ROOF ON FALSE DORMER
- FIXED METAL SHUTTERS
- HARDI-BOARD OVER PT WOOD BEAM & POSTS
- HORIZONTAL HARDI-BOARD SIDING
- SCREENED PORCH

1 BUILDING D
REAR ELEVATION
SCALE: 1/8" = 1'-0"

CGH
CURTIS GARNER HALL JONES
ARCHITECTS

Project No: 1903

Date: 05.01.2019

0 4' 8' 16'
Scale: 1/8" = 1'-0"

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THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina

BUILDING D: FRONT & REAR ELEVATIONS





2 BUILDING D
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

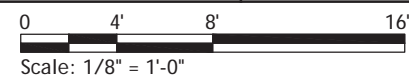


1 BUILDING D
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

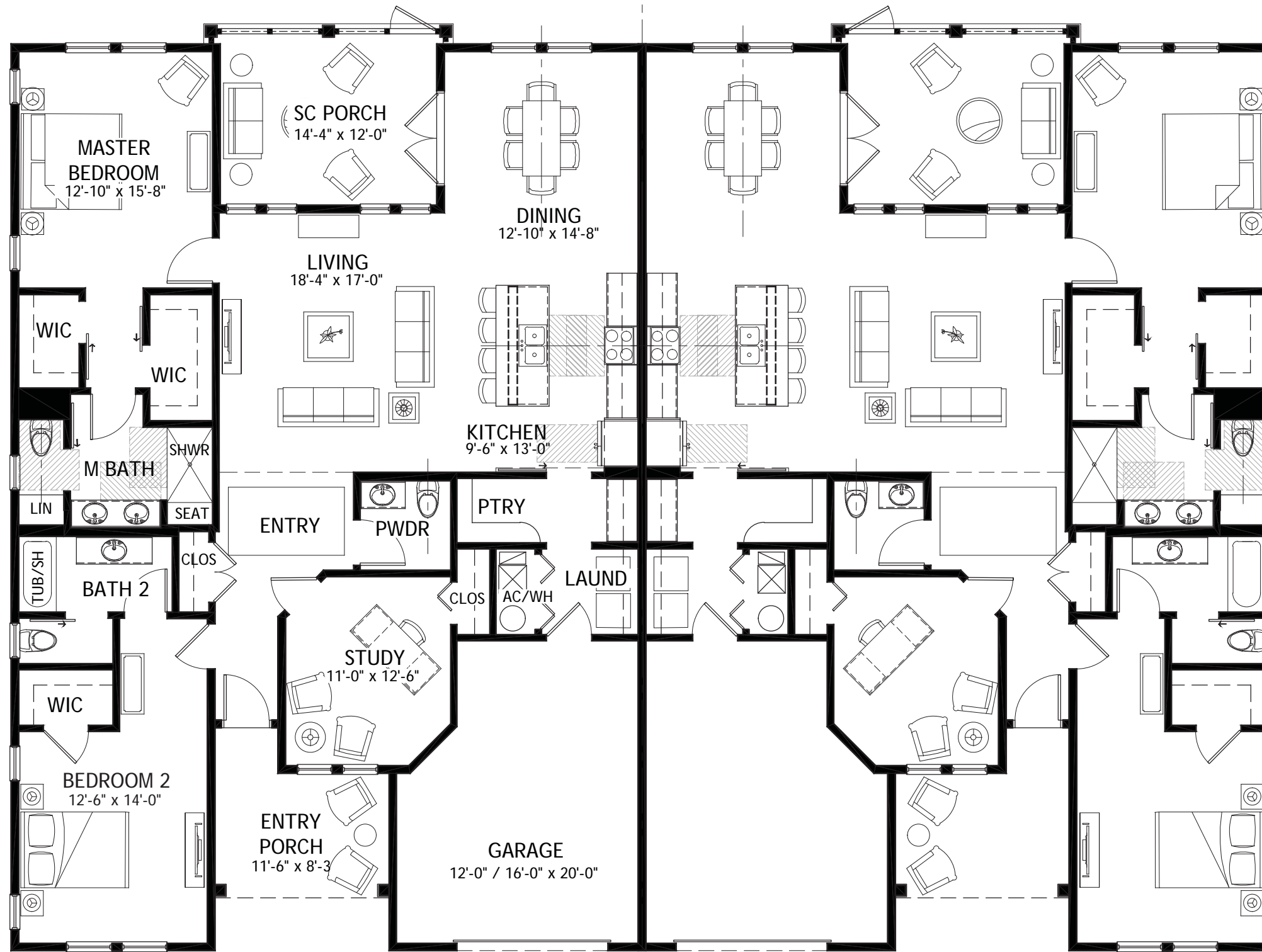
BUILDING D: LEFT & RIGHT SIDE ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



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B-1 (ALT) UNIT: 2 BED / 2 BATH	
FLOOR AREA (A/C)	= 1,896 SF
ENTRY PORCH	= 107 SF
REAR PORCH	= 172 SF
GARAGE	= 309 SF
TOTAL (UNDER ROOF)	= 2,484 SF

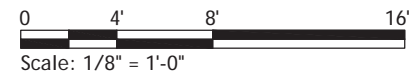
B-1 (ALT) / B-1 (ALT) DUPLEX	
TOTAL (UNDER ROOF)	= 4,968 SF

1 BUILDING E FLOOR PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019



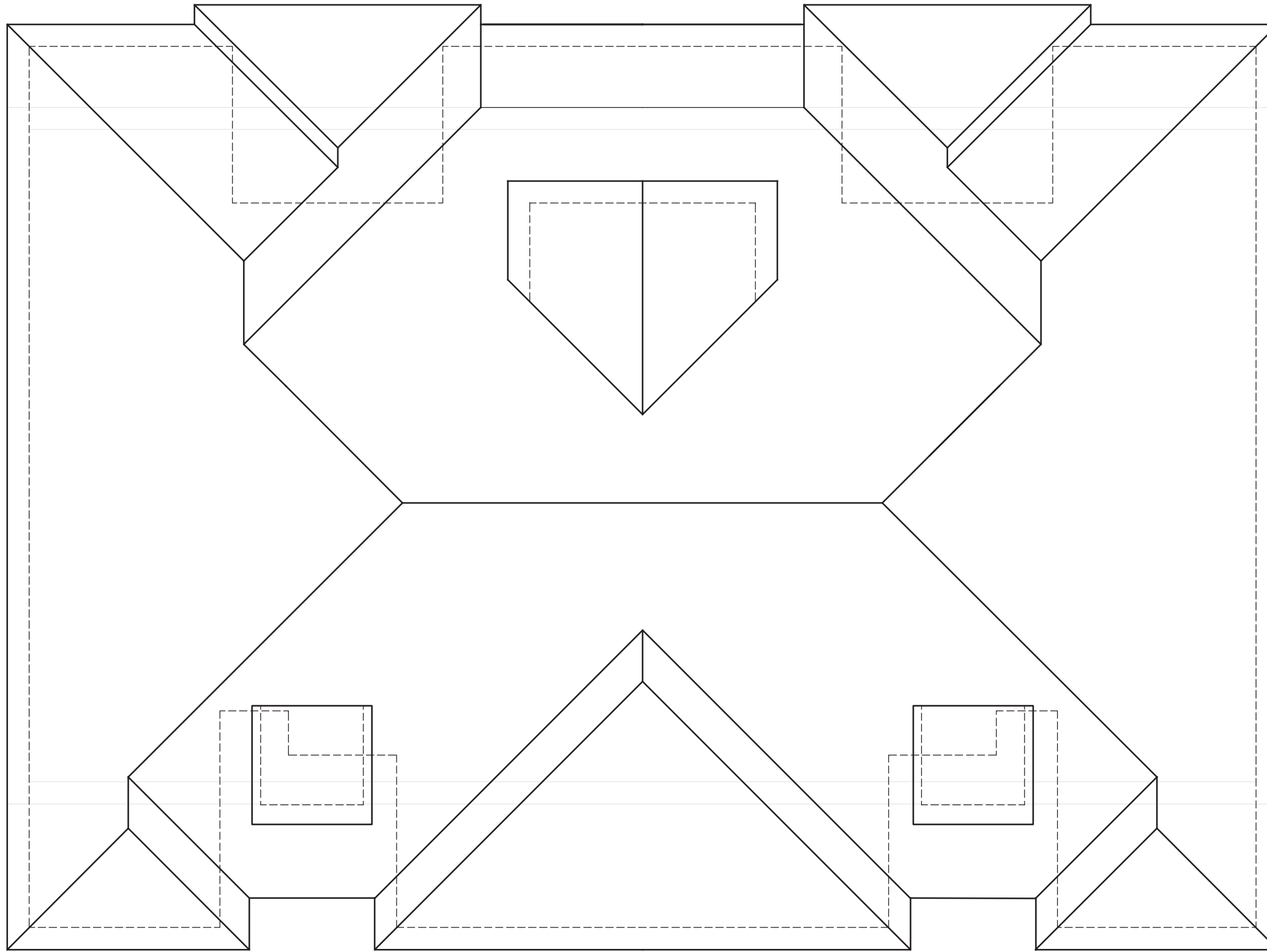
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THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina

BUILDING E: FLOOR PLAN





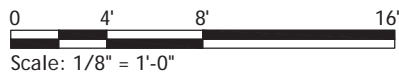
1 BUILDING E
ROOF PLAN

SCALE: 1/8" = 1'-0"

Project No: 1903

Date: 05.01.2019

BUILDING E: ROOF PLAN



Scale: 1/8" = 1'-0"

THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



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2 BUILDING E
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



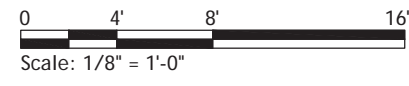
1 BUILDING E
REAR ELEVATION
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

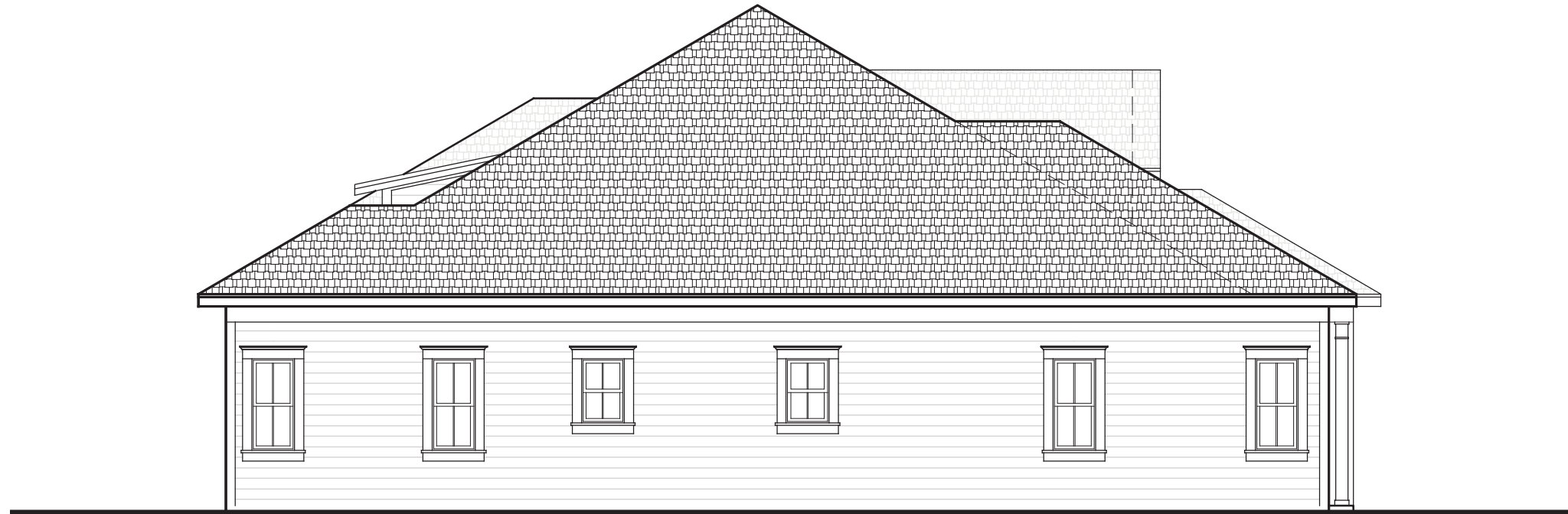
BUILDING E: FRONT & REAR ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



Document is preliminary and subject to change.



2 BUILDING E
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



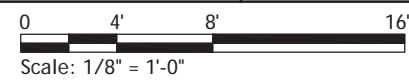
1 BUILDING E
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

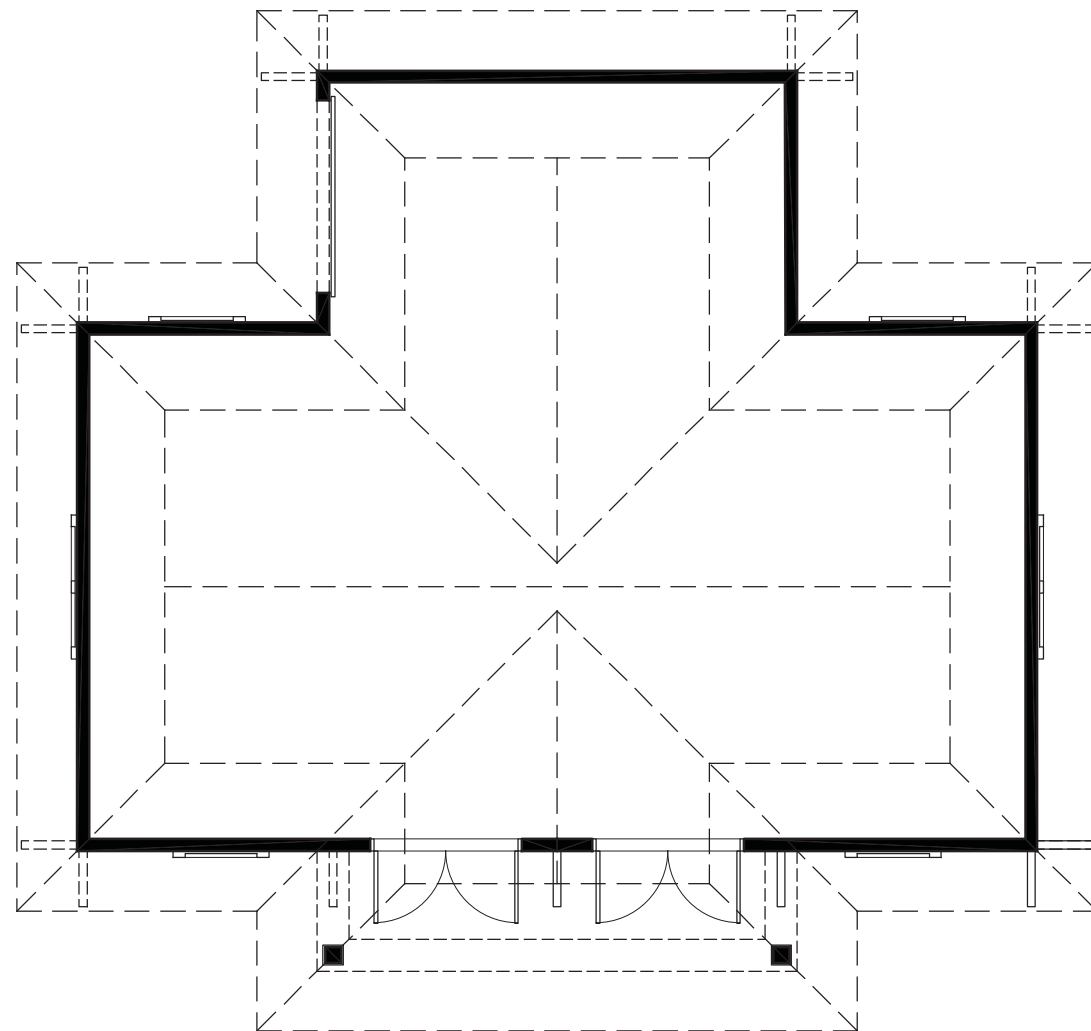
BUILDING E: LEFT & RIGHT SIDE ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



Document is preliminary and subject to change.



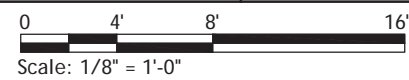
1 MAINTENANCE BUILDING
FLOOR PLAN
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

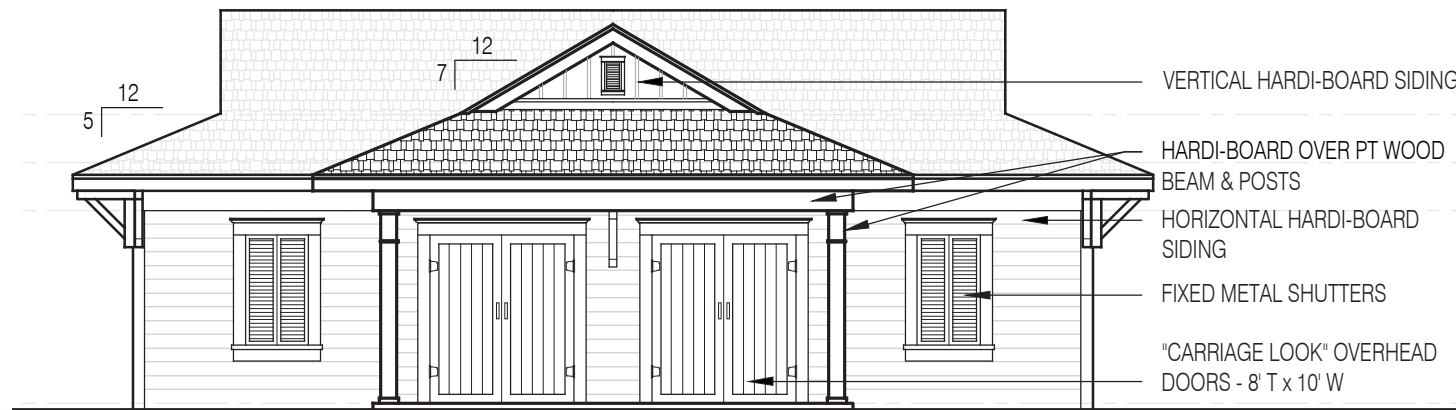
MAINTENANCE BUILDING: FLOOR PLAN



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND
Hilton Head Island, South Carolina



Document is preliminary and subject to change.



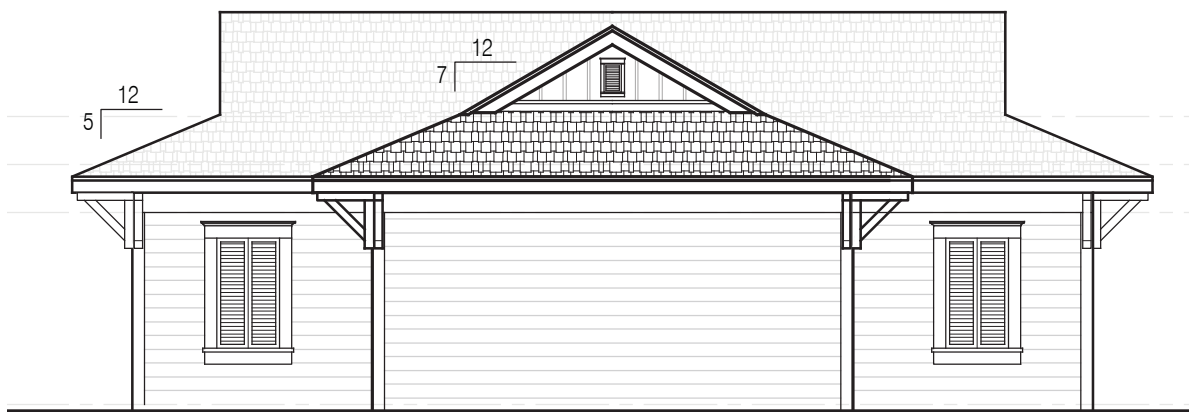
2 MAINTENANCE BUILDING
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



4 MAINTENANCE BUILDING
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



1 MAINTENANCE BUILDING
REAR ELEVATION

SCALE: 1/8" = 1'-0"



3 MAINTENANCE BUILDING
RIGHT SIDE ELEVATION

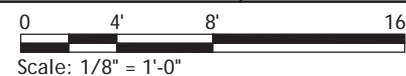
SCALE: 1/8" = 1'-0"



Project No: 1903

Date: 05.01.2019

MAINTENANCE BUILDING: ELEVATIONS



THE BAYSHORE COTTAGES ON HILTON HEAD ISLAND

Hilton Head Island, South Carolina



BAYSHORE
RETIREMENT LIVING

Document is preliminary and subject to change.

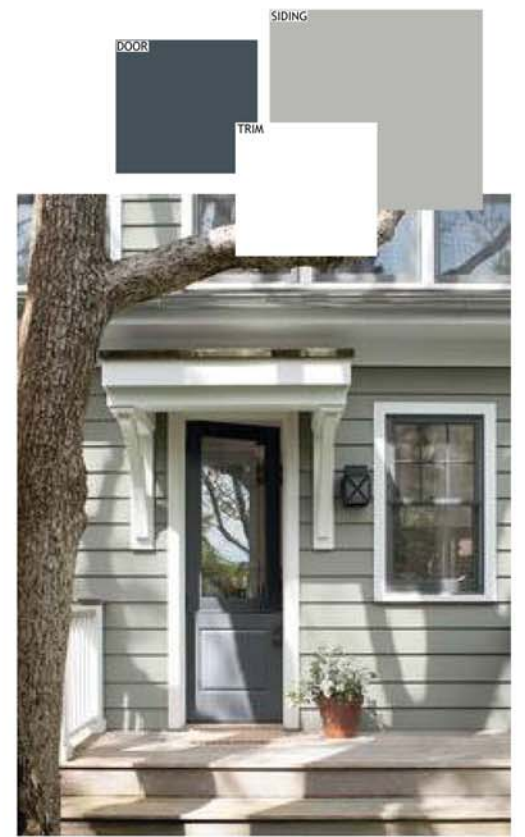
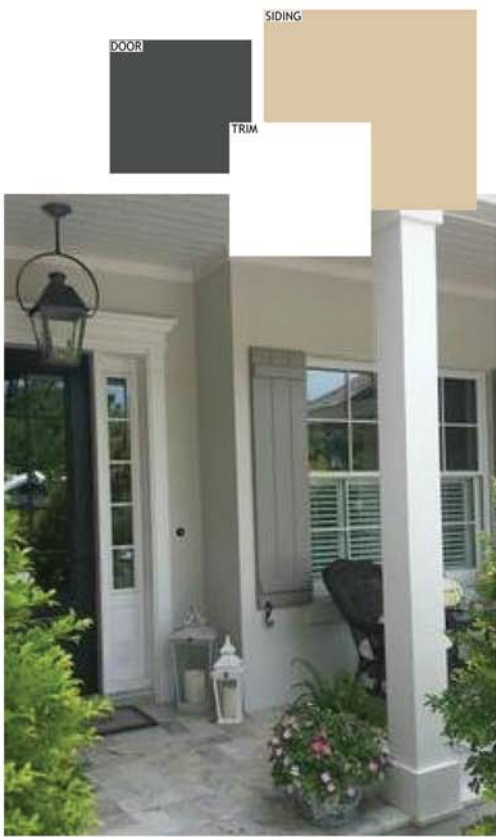


THE BAYSHORE COTTAGES ON HILTON HEAD

Hilton Head Island, South Carolina

CURTS GAINES HALL JONES
ARCHITECTS

BAYSHORE RETIREMENT
LIVING



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: The Bayshore on Hilton Head Island Phase 2 DRB#: DRB-000994-2018

DATE: 05/02/2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sidewalks do not extend throughout the development. Consider adding sidewalks to both sides of the road.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	varies

<i>MISC COMMENTS/QUESTIONS</i>



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Eric Walsnovich Company: Wood + Partners, Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-681-6618 Fax: _____ E-mail: ewalsnovich@woodandpartners.com
 Project Name: HHI Airport Entry Project Address: 120 Beach City Road
 Parcel Number [PIN]: R510 008 000 0085 0000
 Zoning District: Light Industrial Overlay District(s): Corridor + Airport

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

4-30-2019

DATE

Hilton Head Island Airport Entry

Hilton Head Island, SC

Design Review Board

April 30, 2019

This project is Phase One of the Hilton Head Island Airport Campus Revitalization project.

This project was submitted for review in March, but subsequently withdrawn due to several concerns, which have been addressed in this submittal. Changes are as follows:

- 25% reduction in proposed turf areas from previous submission.
- Created a curvilinear woodland bed/ turf edge.
- Created a narrower and curvilinear storm drainage swale, therein adding back several trees that were to be removed in previous submission.
- Primary ID sign to use fabricated metal, reverse channel letters and back lit with LEDs.
- Plants added to woodland edge.
- Decorative aggregate at mow edge to have brownish red colors.
- Changed ornamental grass type in triangular area to a type that matures at 36" tall. Sculpture is 10 feet tall.
- Added *Zamia pumila* (common name Coontie) to center median to complement sculpture design.

The Hilton Head Island Airport is the doorstep to the island for many tourists, as well as, residents. An enhanced and revitalized airport campus would welcome these visitors and remind them of why they fell in love with the island.

The primary goal of this project is to create a beautiful experience that would rival many first-class resorts on the island, and remind the visitor that Hilton Head is a first-class tourist destination.

This project proposes to renovate and revitalize the Main Airport Terminal Entrance located at Beach City Road in an effort to improve street visibility and give the campus a fresh new look.

Existing conditions at the entrance include damaged vehicular pavement and curbing; a dated primary ID sign; poor storm water drainage; inadequate irrigation; outdated street light fixtures; and overgrown vegetation on both sides of the entry drive.

Proposed improvements include a new monument entrance sign; a widened entrance and exit vehicular drive lanes; improved storm water management facilities; concrete curb and gutters; new landscaping including plants, irrigation and site lighting; new street pole lighting fixtures; and new raised planter at center, triangular island to showcase the *Humanus* sculpture, which is a public art piece from the 2018 Public Art Exhibition on Hilton Head Island, and selected for this site by the Public Art Fund of the Community Foundation of the Lowcountry.

The proposed plan includes selective tree removal on either side of the drive to allow for better sightlines to the entrance sign from Beach City Road; and improved on-site stormwater storage and treatment by using shallow, grassed swales. All new plantings and hardscapes will comply with the Land Management Ordinance.

A major component of the revitalized entrance will be *Humanus* sculpture piece, which is made of weathered steel. The new monument sign and raised planter will use metal materials as well, providing a consistent use of material with nature blending colors.

The proposed monument entrance sign utilizes materials and forms that relate to the site, as well as the natural island environment. The dark bronze metal aesthetic relates to the sculpture and retaining wall system, and provides visual contrast with the tabby finished sign wall.

As funds become available, the airport intends to continue renovations to the remainder of the airport campus in subsequent phases.

Hilton Head Island Airport Entry

Materials, Finishes & Product Selections

April 30, 2019



Concrete Sidewalk With Broom Finish



Permeable Vehicular Pavers

- Pine Hall Brick
- StormPave Permeable Pavers
- Color: Full Range
- Border: Single Header
- Pattern: 45° Herringbone



Rock Mow Edge

- Large Sunset Decorative Aggregate by Courtyard Landscape Supply



Pathway Light

- Attraction Lights
- 4"x4"x24" Pathway Light
- "Minimalist" model with Weathered Steel Finish
- 10W, 3,000K LED fixture



Rustic Texture

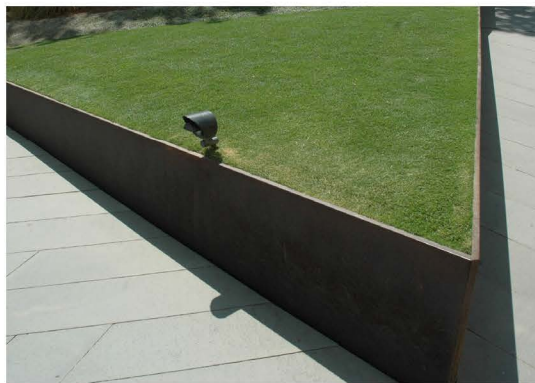


Signage Materials

- Tabby finish sign face (whole oyster shell)
- Aluminum tubing to have “rustic texture” powder coated finish (by Prismatic Powders or approved equal)
- Letters to have Medium Bronze color
- See detail for elevation, dimensions & additional information



Humanus Sculpture



Steel Retaining Wall With Mow Edge

Weathered Steel Retaining Wall (Case Study Imagery)

- High strength low alloy steel
- Nature blending colors that relate to sculpture & sign

Wood+Partners Inc.

Landscape Architects
Land Planners





**PROFESSIONAL
OUTDOOR LIGHTING**

Type: Accent Light - Sculpture

Model: GR-5006-DZ-5.5-W-36

Project: HHI AIRPORT - ENTRANCE

SPECIFICATION SHEET

MODEL 5006 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper-free aluminum.

SHROUD:

Die-cast, copper-free aluminum fitted to housing with a silicone O-ring gaskets – providing a superior weather-tight seal.

FINISH:

Durable powder coat finish available in Black, Architectural Bronze, Dark Bronze, Granite, White, Architectural Brick, Light Bronze, Special Bronze, Glossy Gray, Rust, Hunter Green, Weathered Bronze, Weathered Iron, Graphite Metallic, Verde, Pewter, Mocha and Olde Finish.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens.

LAMP TYPE:

MR-16 LED Lamp Only - 36° Flood, 4.5W is standard.

Optics:

Available in 15° Narrow Spot, 25° Spot, 36° Flood, or 60° Wide Flood distributions.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS stem. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

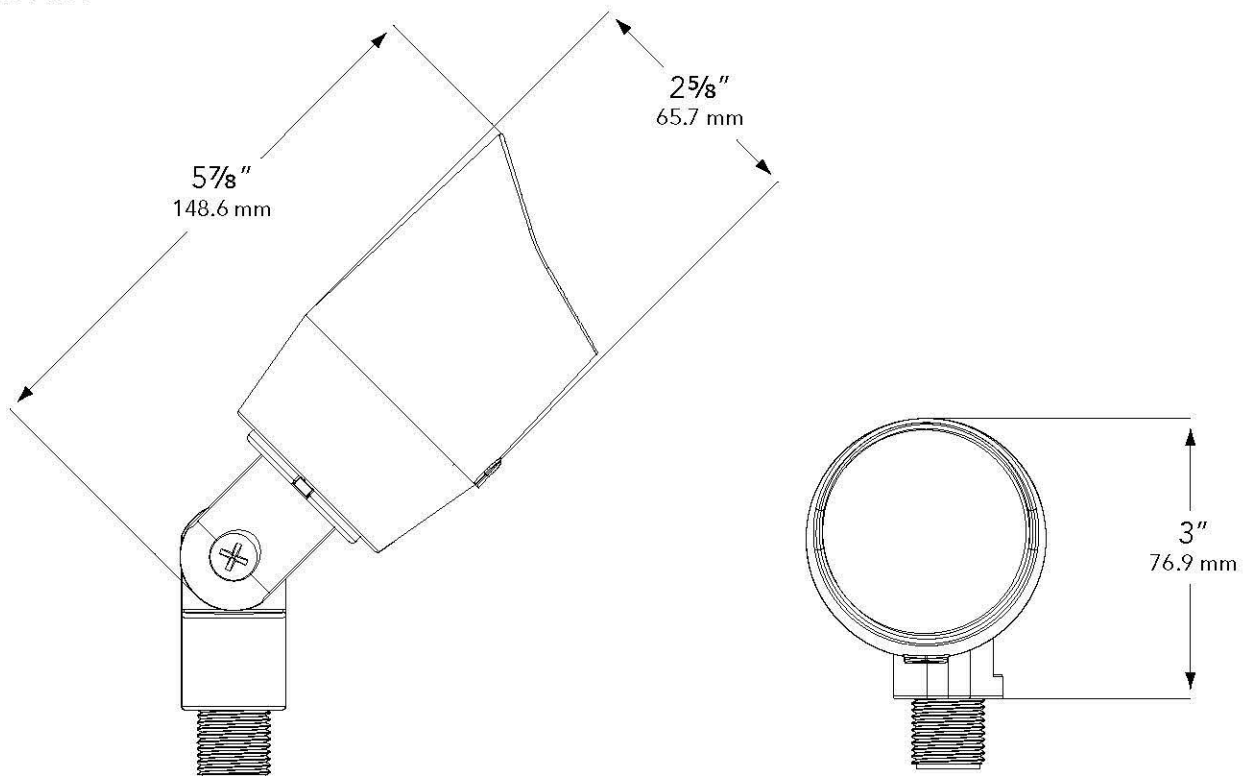
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 5006 Landscape Series • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-5006-B-4.5-W-25-SL

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
<u>GR</u> - ABS ground stake <u>WR</u> - Wall-mount canopy <u>TR</u> - Tree-mount junction box	5006	Standard	4.5	<u>W</u> - Warm	15- 15° Narrow Spot 25- 25° Spot <u>36</u> - 36° Flood 60- 60° Wide Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Spread Lens DBL - Flat Dark Blue Lens GL - Flat Dark Green Lens RL - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Louver 5' - 5' Wire Lead
		B - Black	5.5			
		Z - Architectural Bronze				
		<u>DZ</u> - Dark Bronze				
		GT - Granite				
		W - White				
		Premium				
		BR - Architectural Brick				
		LZ - Light Bronze				
		SB - Special Bronze				
GG - Glossy Gray						
R - Rust						
HG - Hunter Green						
WB - Weathered Bronze						
WI - Weathered Iron						
GM - Graphite Metallic						
Hand Finished						
G - Verde						
P - Pewter						
M - Mocha						
OF - Olde Finish						

NOTE:
 * If fixture to be used with Extended Arm Mount (EAM) - must order with extended wire length

Fixtures shipped with standard lamp, unless otherwise specified.
 Fixtures shipped with specified mounting hardware.



CONCEPTUAL ILLUSTRATIONS FOR
HILTON HEAD ISLAND AIRPORT ENTRY
HILTON HEAD ISLAND, SC



CONCEPTUAL ILLUSTRATIONS FOR
HILTON HEAD ISLAND AIRPORT ENTRY
HILTON HEAD ISLAND, SC

DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: HHI Airport Entry Sign

DRB#: DRB-000995-2019

DATE: 05/02/2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

~~Revise the planting plan to include more undulation of the sod edge and reconsider the camellia variety selection to Staff for review and approval.~~ **Staff recommends approval per the 05/03/2019 revised Planting Plan.**

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed variety of camellia is upright. Reconsider the variety selected to be planted along the sod edge for one that is more spreading or mounding. Done 05/03/2019
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sod edge should undulate more and not reflect the road edge. Done 05/03/2019

MISC COMMENTS/QUESTIONS
1. This project was last before the DRB on April 9.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>B-12-19</u>
Accepted by:	<u>140</u>
DRB #:	<u>616-19</u>
Meeting Date:	_____

Applicant/Agent Name: Sack Winarchick Company: Hilton Head Signs, Inc.
 Mailing Address: PO Box 21410 City: Hilton Head State: SC Zip: 29925
 Telephone: 843-681-3513 Fax: 843-681-5521 E-mail: sack@hiltonheadsigns.com
 Project Name: St. Francis by the Sea Project Address: 45 Beach City Rd.
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition Sign

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61619

Additional Submittal Requirements:

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Jack W. Marchica
SIGNATURE

3/12/19
DATE





MASS SCHOOLS
SOUTH BRITAIN
ST FRANCIS BY THE SEA
CATHOLIC CHURCH



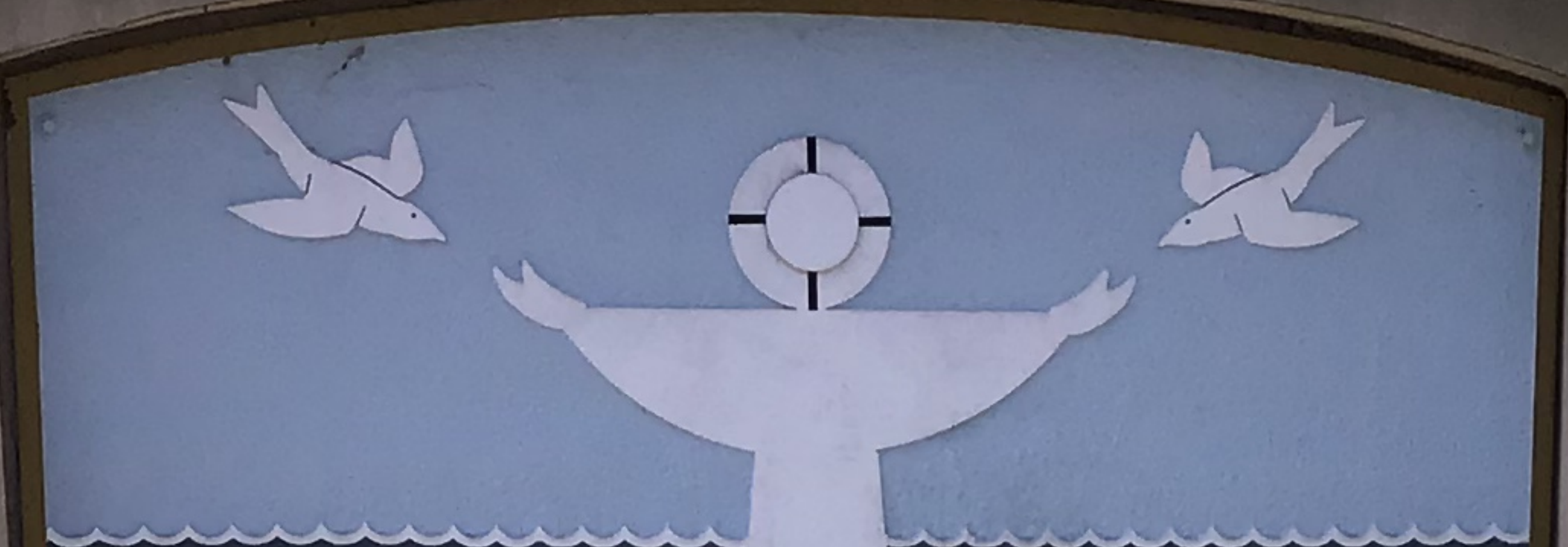


MASS SCHEDULE
 SATURDAY 8:00 AM - 9:30 PM Vigil
 SUNDAY 7:30-9:00-10:30 AM 12:15 PM
 MON. THUR. FRI 8:00 AM & 12:15 PM
 WED 8:00AM & 10:00AM

MISA ESPAÑOL
 SABADO 7:00 PM
CONFESSIONS
 SATURDAY 4:15PM TO 5:15 PM
 AND
 BEFORE DAILY MASS

ST FRANCIS BY THE SEA
 CATHEDRAL





MASS SCHEDULE

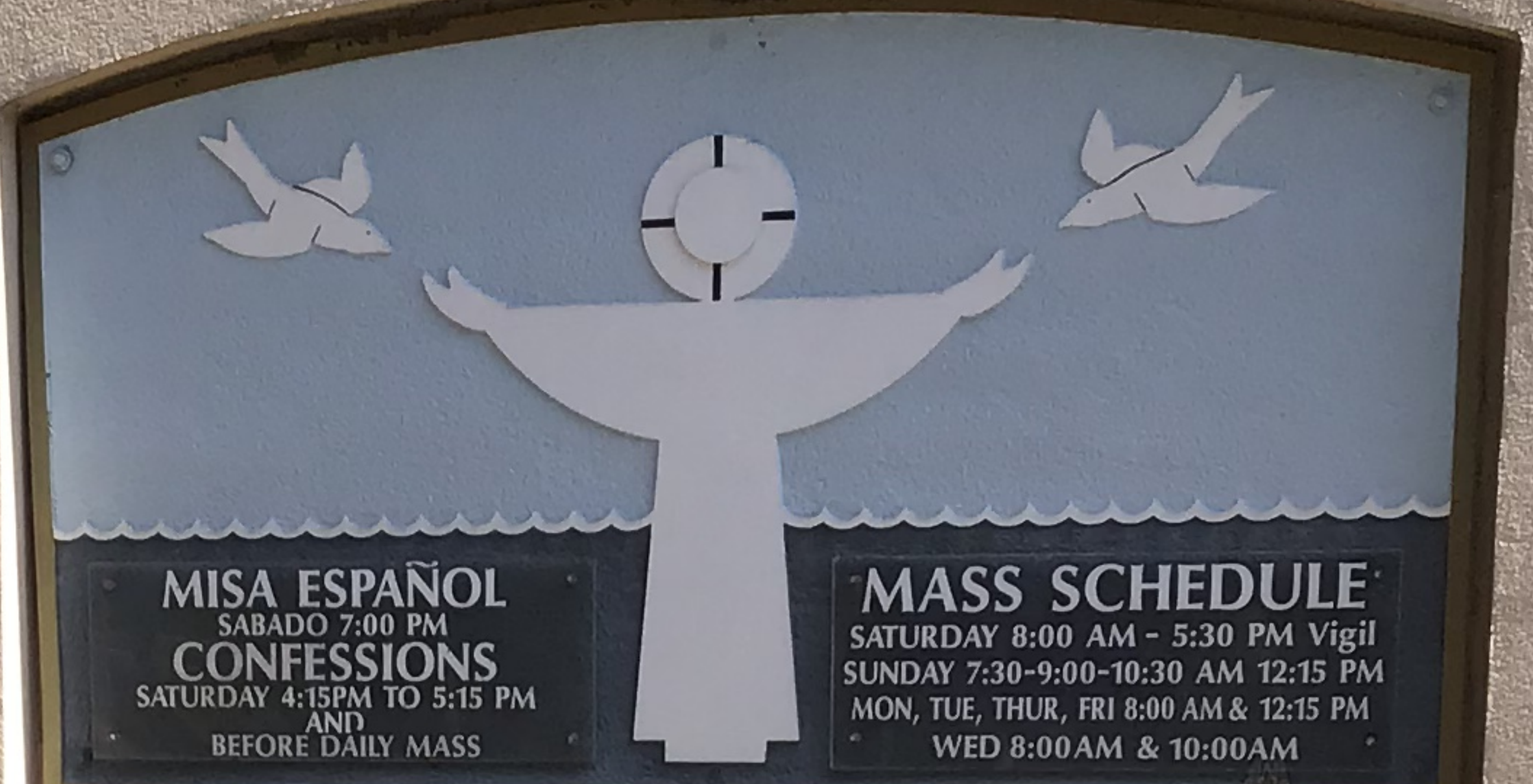
SATURDAY 8:00 AM - 5:30 PM Vigil
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WED 8:00AM & 10:00AM

MISA ESPAÑOL

SABADO 7:00 PM
CONFESSIONS
SATURDAY 4:15PM TO 5:15 PM
AND
BEFORE DAILY MASS

ST FRANCIS BY THE SEA
CATHOLIC CHURCH





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MASS SCHEDULE
 SATURDAY 8:00 AM - 5:30 PM Vigil
 SUNDAY 7:30-9:00-10:30 AM 12:15 PM
 MON, TUE, THUR, FRI 8:00 AM & 12:15 PM
 WED 8:00AM & 10:00AM

ST FRANCIS BY THE SEA
CATHOLIC CHURCH



MISA ESPAÑOL
SABADO 7:00 PM
CONFESSIONS
SATURDAY 4:15PM TO 5:15 PM
AND
BEFORE DAILY MASS

ST FRANCIS
CATHOLIC
CHURCH

TRAFFIC LAWS
ENFORCED
BY LOCAL
AUTHORITIES
BY S.C. CODE 23-1-15



↑ St. Francis ↑
FAMILY CENTER



*Saint Francis
Catholic School*

**BRING IN YOUR GALA DONATIONS
RE REGISTRATION DUE 3-1-19
LENTEN FISH FRY MARCH 8 5 TIL 7**

St. Francis →
SCHOOL OFFICE



ST. FRANCIS SCHOOL
GYM / AUDITORIUM
ENTRANCE

ST. FRANCIS SCHOOL
GYM / AUDITORIUM
ENTRANCE

BILL FRIES DRIVE S-7-703

PROPOSED MH BY OTHERS
SEE HUSSEY, GAY, BELL & DEYOUNG PLANS, JOB NO. PDR 611
SAN. MH. NO. 4
TOP 16.8
I.E. 1.27

PROPOSED 85 L.F. 10" SAN. SEWER @ 0.28% BY OTHERS

PROPOSED PROP MH BY OTHERS
SAN. MH. NO. 4A
TOP 10.5
I.E. 1.51

PROPOSED 10" WATER MAIN BY OTHERS
SEE HUSSEY, GAY, BELL & DEYOUNG PLANS, JOB NO. PDR 611

15' WIDE UTILITY EASEMENT
235 L.F. SAN. SEWER @ 0.6% (BY OTHERS)

SAN. MH. TOP 18.4
I.E. 1.97

FUTURE RECTORY
FIN. FL. ELEV. 21.0

CHURCH
FIN. FL. ELEV. 21.0

NOTE: MAXIMUM DISTANCE BETWEEN FIRE DEPT. CONNECTION & FIRE HYDRANT SHALL BE ONE HUNDRED (100) FEET.

FUTURE HAUL

PROPOSED MH BY OTHERS
SAN. MH. NO. 6A
TOP 15.6, I.E. 2.00

TO LAGOON BY HUSSEY, GAY, BELL & DEYOUNG

NATURE WALK

LAGOON

NATURE WALK

NATURE WALK

NATURE WALK

NATURE WALK

NATURE WALK

NATURE WALK

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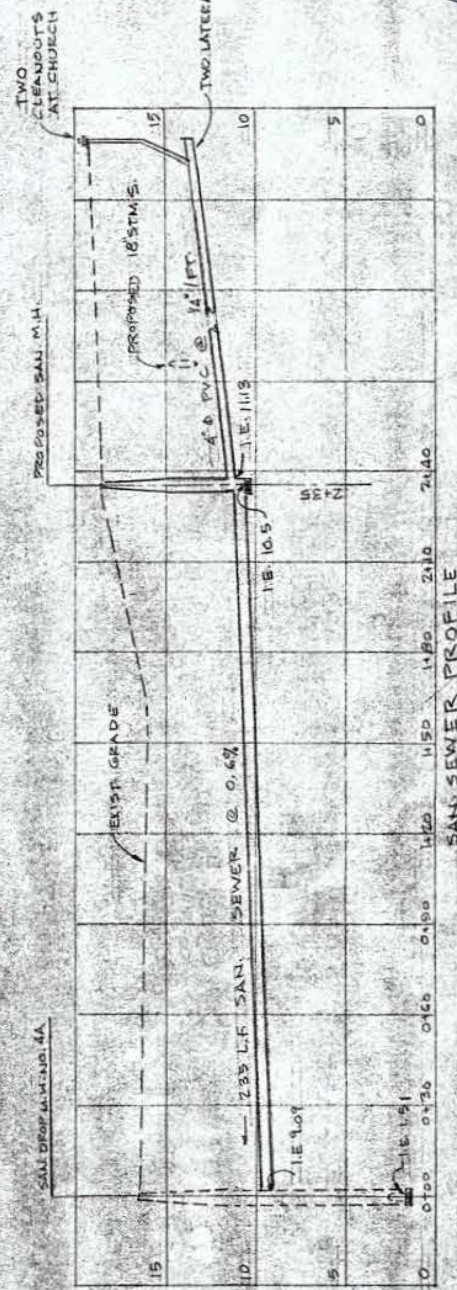
NATURE WALK

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NATURE WALK

NATURE WALK

BEACH CITY ROAD S-7-44



NOTE: SITE CONTRACTOR SHALL CHECK WITH MECHANICAL CONTRACTOR TO AVOID DUPLICATION OF APPURTENANCES IN REGARD TO FIRE LINE & FIRE DEPT. CONNECTION.
MAJOR WORK ON THIS SHEET IS BY OTHERS.



*heads of lot
bank of lot*

MINSON ARCHITECTS & PLANNERS, INC.
18 BRINE AVE. SUITE 101
MAYFIELD, OHIO 44130
(216) 885-2111

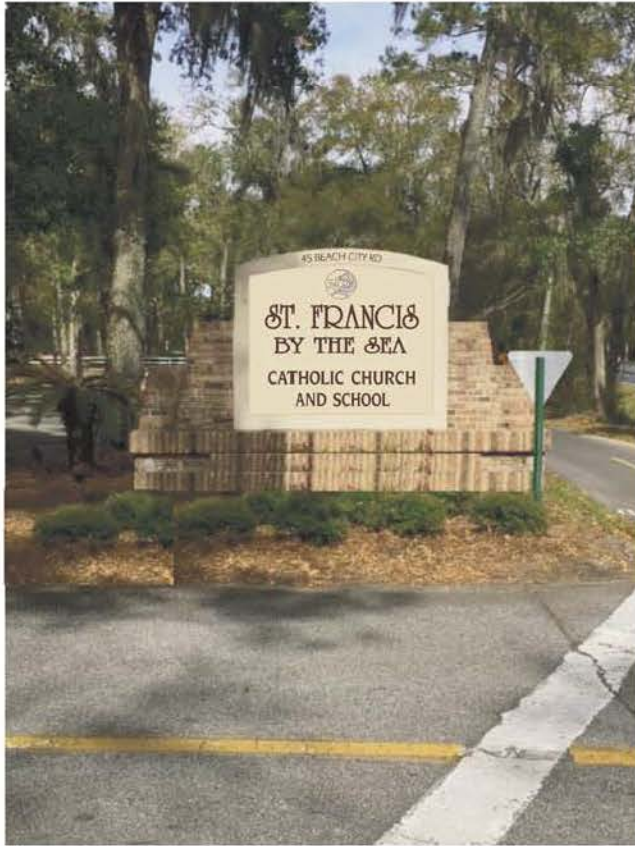
WATER SERVICE PLAN AND SANITARY SEWER PLAN & PROFILE
ST. FRANCIS BY THE SEA CHURCH
HILTON H., SOUTH CAROLINA

ENGINEERS - COASTAL SURVEYING & ENGINEERING CO.

JOB NO. ARCHITECT 8715
ENGINEER 5703
DATE NOV. 14, 1989

REVISIONS

SHEET SW2



EXISTING BRICK UNALTERED
EXISTING STUCCO DRYVIT PARCHMENT
RAILROAD TIE PLANTERS REMOVED
ADDITIONAL PLANTS (OF EXISTING
TYPE) ADDED TO FILL IN VOID
1" THICK EXTRA LETTERS AND
ROUTED LOGO PANEL ARE FLUSH
MOUNTED TO STUCCO FACE
NO EXISTING LIGHTING
71 1/2"X59" SIGN FACE OPENING



12" ROUTED EXTIRA LOGO
LIGHT BACKGROUND DRYVIT PARCHMENT
TO MATCH STUCCO IS SECOND SURFACE
GRAY SECOND SURFACE AREA IS SW#7644
TO MATCH EXISTING CHURCH TRIM
CUTOUT LETTERS AND RAISED LOGO LINES
ARE SW#7073 STATUS BRONZE

4" height cutout letters
on stucco border

45 BEACH CITY RD



ST. FRANCIS
BY THE SEA
CATHOLIC CHURCH
AND SCHOOL

12"

9.5"

59"

6.5"

5.3"

5.3"

71.5"



45 BEACH CITY RD



ST. FRANCIS
BY THE SEA
CATHOLIC CHURCH
AND SCHOOL



TOWN OF HILTON HEAD ISLAND SIGN REVIEW CHECKLIST: FREESTANDING SIGN

SIGN PERMIT #:	DRB 000616-2019	DATE SUBMITTED:	3/12/19
BUSINESS NAME:	St. Francis By The Sea	DATE REVIEWED:	3/14/19 R 5/2/19
ADDRESS:	45 Beach City Road	SUBMITTAL #:	1

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Provide a landscape plan that illustrates existing landscaping to remain and proposed plantings to be installed for Staff review and approval.

GENERAL COMMENTS & QUESTIONS

- ~~1. Provide the overall height of the existing sign for comparison to the proposed sign height.~~
2. Provide a narrative for this project. Include: the sign location (replacing the existing) and that the sign is double sided (if it is).
- ~~3. The existing sign relates to the building (the arc at the top of the sign relates to the arc on the building windows, brick matches, etc.) which is a suggested by the Design Guide on page 27. There is no relationship between the proposed sign and the church (the pitched top of the sign is not similar to the roof pitch of the church). Staff suggest the applicant consider a renovation of the existing sign. Consider a new sign panel on the existing structure.~~
4. The landscaping does not compliment or match the existing landscaping. The Design Guide speaks to landscaping on pages 18 thru 20. Consider renovation of the landscape around the existing sign as part of this project.

REQUIRED INFORMATION & MATERIALS

APPLICATION MATERIALS

REQUIRED MATERIALS	Yes	No	N/A	Comments & Questions
For new or relocated signs on sites with existing freestanding signs: An aerial photo, site plan, or sketch to scale showing the location of the existing sign(s) and the proposed sign(s). Indicate each sign location using the corresponding number or letter on the rendering, e.g. "Sign A". Note: Freestanding signs on the same parcel or part of the same development must be located at least 200 feet apart.		X		Please confirm there are no other freestanding signs on this site. Is there a sign at the Main Street access? If so provide a picture. Photo graphic inventory of the signs on site is provided.

DESIGN REVIEW

RENDERING – MATERIALS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
If they will be used, existing structure or posts are clearly visible in photos.			X	It appears the existing sign will be removed and replaced with the proposed in the same location.
Structure or post materials are listed, e.g. “Concrete block with stucco”, “4 inch x 4 inch wood posts”.		X		Please reference structure construction in narrative.
Sign panel materials are listed, e.g. “2 inch thick HDU”.		X		<ol style="list-style-type: none"> 1. What are the letters? Are they applied? Are the letters 1” deep? 2. What color is the brick? Will it match the building brick?
All materials match the Town-approved sign system, if applicable.				

RENDERING – DIMENSIONS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The sign does not exceed the size limit in LMO Section 16-5-114.F.				
Logo dimensions, if applicable.		X		Provide a dimension for the logo.

RENDERING – DESIGN				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The street address of the site is shown in 4 inch tall numbers on both sides of the sign. Note: The street name may be also required if the site accesses more than one street.		X		

RENDERING – COLORS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Colors reflect/complement the colors on the building walls, trim, etc.		X		
Background colors are earth tones: green, brown, beige, and grey.		X		Consider a dark background with light lettering (example: bronze background with Navajo White letters).
Subdued shades of color are used.		X		Staff will not recommend approval of Navajo White for the background of a sign this large.

There isn't a harsh contrast between adjacent colors.		X		Avoid black (for the letters) in favor of a bronze or dark brown
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LIGHTING				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
For new signs or signs without existing lighting, rendering states: "New lighting will be installed" or "The sign will not be illuminated."		X		Please add note to the drawings.

LANDSCAPE PLAN				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The proposed landscaping matches or complements the existing vegetation on site.		X		<ol style="list-style-type: none"> 1. The proposed landscape does not match or complement the existing landscape. Include the massing of the existing landscape so it is illustrated how the new landscape blends with the existing. 2. Ligustrum is an exotic invasive species and should not be used. 3. Planters are discouraged because they are often not properly maintained. Annual color can be provided in beds at the base of the sign with an evergreen groundcover as a backdrop or frame between the annual bed and sign.



TOWN OF HILTON HEAD ISLAND

Community Development Department

TO: Design Review Board
VIA: Jennifer Ray, *ASLA, Deputy Director of Community Development*
FROM: Anne Cyran, *AICP, Senior Planner*
CC: Chris Darnell, *ASLA, Urban Designer*
DATE: May 14, 2019
SUBJECT: Discussion of Small Wireless Facility Designs

Staff seeks input on acceptable designs for Small Wireless Facilities (SWFs) in rights-of-way. Small Wireless Facilities are a new type of wireless broadband infrastructure, typically in the form of small antennas that are placed on existing infrastructure (including utility and light poles) with associated ground mounted equipment. New SWFs can be contained within a pole, with or without a light fixture.

In the near future, the Town will need to review applications for SWFs in rights-of-way. The Corridor Overlay District allows the Design Review Board to review proposed SWFs to ensure they meet Design Guide standards. However, federal requirements require municipalities to take action on SWF applications quickly (45 days) or risk automatic approval of the application.

Staff recommends that the Board pre-approve several SWF designs that meet the Town's Design Guide standards. To start the discussion of acceptable designs, staff asks the Board to review and discuss the attached examples of SWFs approved by other municipalities. Based on the Board's discussion and direction, staff will present proposed designs at a future meeting.

New Poles without Light Fixtures

Boulder, CO



Brentwood, TN



New Poles with Light Fixtures

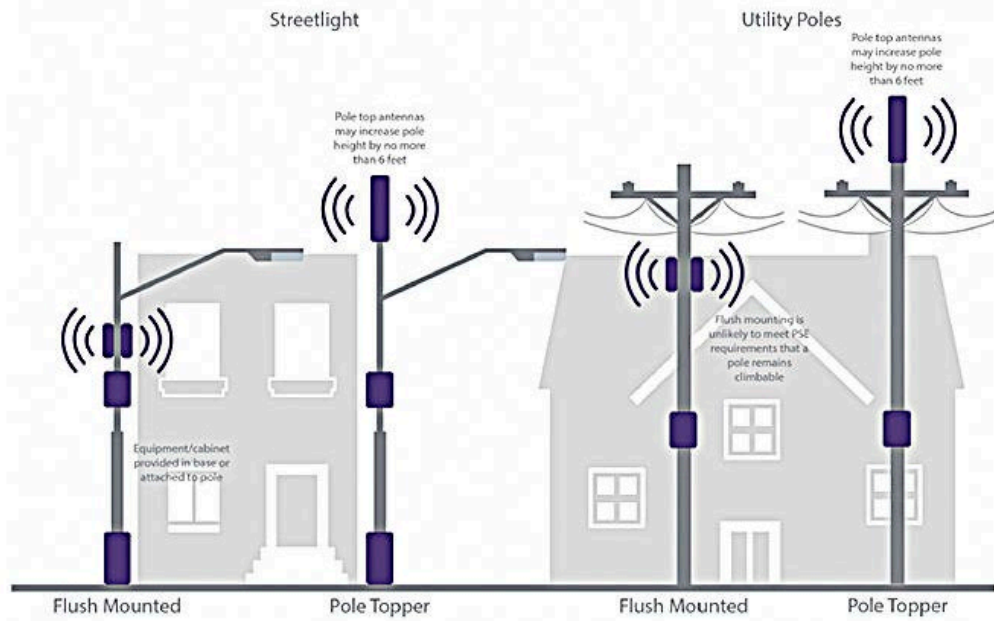
Columbia, SC



Dublin, OH



SWFs on Existing Poles



San Bruno, CA



Eugene, OR



Queen Creek, AZ

