



# Town of Hilton Head Island Regular Design Review Board Meeting

March 12, 2019 – 1:15 p.m.  
Benjamin M. Racusin Council Chambers

## AGENDA

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*As a courtesy to others please turn off/silence all electronic devices during the meeting.*

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of February 26, 2019
6. **New Business**
  - A. *Alteration/Addition*
    - Sunset Pavilion, DRB-000509-2019
    - Slapfish, DRB-000510-2019
7. **Appearance by Citizens**
8. **Staff Report**
9. **Adjournment**

*Please note that a quorum of Town Council may result if four or more of their members attend this meeting.*

***Town of Hilton Head Island***  
***Minutes of the Design Review Board Meeting***  
**February 26, 2019 at 1:15 p.m.**  
**Benjamin M. Racusin Council Chambers**

**Board Members Present:** Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, Kyle Theodore, Brian Witmer

**Board Members Excused:** Debbie Remke

**Town Council Present:** Bill Harkins

**Town Staff Present:** Chris Darnell, Urban Designer; Shari Mendrick, Floodplain Administrator; Teresa Haley, Senior Administrative Assistant

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**1. Call to Order**

Chairman Strecker called the meeting to order at 1:19 p.m.

**2. Roll Call – See as noted above.**

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board approved the agenda by general consent.

**5. Approval of Minutes – Meeting of February 12, 2019**

Chairman Strecker asked for a motion to approve the minutes of the February 12, 2019 regular meeting. Ms. Theodore moved to approve. Vice Chairman Gentemann seconded. The motion passed with a vote of 5-0-0.

**6. New Business**

*A. Alteration/Addition*

- Ferns Iams Amish Style Restaurant, DRB-000289-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the application.

Chairman Strecker asked the Board for comments. The Board made comments and inquiries regarding: flood proofing and grading requirements; buffer requirements between the property and the adjacent properties; concerns for adequate space and fire protection between the existing building and the end of the proposed building; and parking requirements.

The Board generally agreed the roof needs to be restudied and the red color is not in keeping with Island character. The shutters on the proposed building are not proportionate to the windows. The shutter color is not in keeping with the Design Guide. The dumpster enclosure will stand out as proposed and therefore shall recede and blend with the building color. The Board discussed the flood proofing requirement and questioned whether the board and batten was an appropriate material. The Board asked to see the flood proofing system as it impacts the building architecture. The Board expressed concern that the building is over the setback line and constructed at odd angles. The Board expressed the proposed building does not need to match the surrounding buildings, but relate to them. The Board and applicant discussed design elements of Charlie's L'Etoile Verte building to apply to this project.

The Board expressed concern with keeping the existing building as it appears to be creating the issues discussed. The Board suggested to demolish the building to the slab, construct a building within the setbacks and avoid odd angles, create a raised front porch, address flood proofing concerns, and result in a Lowcountry style building.

The Board indicated the landscape plan needs to be revised based on the Design Guide and Staff comments. Native plant materials need to be used. The proposed building extends to the parking lot and modifications need to be made to better coordinate its surrounds. Add landscaping to help soften the area between the sidewalk and the building. Provide plans to show existing trees, trees to be removed and saved, and required mitigation trees.

The Board indicated this project is a major alteration/addition and explained if the building is torn down, the project will need to go through the process of conceptual and final reviews.

The applicant was withdrawn at the applicant's request.

- Summer House, DRB-000354-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval of SW 2822 Downing Sand, SW 7518 Beach House, and SW 6163 Grassland.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Strecker asked the Board for comments. The Board agreed with the Staff comments. The Board made comments and inquiries regarding the color options and their locations; the roof shingle will be CertainTeed Landmark Weatherwood; the soffits and the ceilings will match the trim color; the Board expressed preference to a Charleston green color for the porch doors; and the trim on the casement windows is white and will remain.

Vice Chairman Gentemann made a motion to approve DRB-000354-2019 with the following conditions:

1. The final selected colors are SW 2822 Downing Sand, SW 7518 Beach House, and SW 6163 Grassland.

2. The soffits and ceilings shall match the trim color.
3. The roof shingle shall be CertainTeed Landmark Weatherwood.

Ms. Theodore seconded. The motion passed with a vote of 5-0-0.

**7. Appearance by Citizens**

Joe Highsmith presented statements to encourage the Board and Staff to use the new USCB building as the standard for future projects.

**8. Staff Report**

Mr. Darnell reported there were no Minor Corridor approvals since the last Board meeting.

Mr. Darnell reported on Board continuing education training.

**9. Adjournment**

The meeting was adjourned at 2:41 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

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Dale Strecker, Chairman



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: Parker Design Group|Architects  
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29910  
 Telephone: 843-785-5171 Fax: \_\_\_\_\_ E-mail: joe@pda-architects.com  
 Project Name: Sunset Pavilion Project Address: 397 Squire Pope Rd., HHI, SC 29926  
 Parcel Number [PIN]: R 5 1 0 0 0 3 0 0 0 0 0 0 1 B 0 0 0 0  
 Zoning District: Water-Oriented Mixed Use Overlay District(s): OCRM High Tide Line

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 \_\_\_\_\_ Concept Approval – Proposed Development \_\_\_\_\_ Alteration/Addition  
 Final Approval – Proposed Development \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**  
 \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 \_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 \_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 \_\_\_\_\_ Context photographs of neighboring uses and architectural styles.  
 \_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 \_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
DATE



February 26, 2019

Town of Hilton Head Island  
Design Review Board  
One Town Center Court  
Hilton Head Island SC 29928

### **Project Narrative for the Sunset Pavilion at Skull Creek Boathouse**

The attached waterfront pavilion project is located adjacent to the Skull Creek Boathouse, and it is the final component of the development plan for the for the boat house property at 397 Squire Pope Road. The structure is to occupy the Sunset Landing area where temporary tents are often erected for special events, and will provide a permanent covered gathering space along the water.

The 2,400 sq. ft. pavilion consists of 2,150 sq. ft. of sky-lit, open-air pavilion with restrooms and a small catering room. A see-through fireplace anchors the pavilion's interior space and provides a place for gathering both inside and out. The structure consists of timber posts and exposed trusses which are a nod to the adjacent pier. The natural wood posts and galvanized roof, tie-rods and lights create a color palette consistent with the existing boathouse and restaurant, while the weathered steel wall panels and dark painted louvers blend into the wooded area at the edge of the site.

Thank you for your time and consideration,

A handwritten signature in black ink, which appears to read 'Joseph DePauw'. The signature is fluid and cursive, with a long horizontal stroke at the end.

Joseph A. DePauw, AIA  
Parker Design Group | Architects

**From:** [Joe DePauw](#)  
**To:** [Darnell Chris](#)  
**Subject:** Skull Creek Boathouse Roof  
**Date:** Friday, March 01, 2019 9:48:06 AM

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Chris,

Thanks for the call yesterday. The roof on the boathouse restaurant is in fact a 1" standing seam. Our intent is to match that roof on the new pavilion, so we'll use standing seam there instead of 5-V. I can give you updated drawings if that would be appropriate.

Thanks,

**Joe DePauw, Architect, AIA**

**parker design group | architects**  
[10 Palmetto Business Park](#)  
PO Box 5010  
Hilton Head Island, SC 29938  
o: (843) 785-5171  
c: (513) 349-4672  
[www.pdg-architects.com](http://www.pdg-architects.com)



BLE - G	- ULA16	- 975	- SBK	- 975	- SBK	- NA	-
<b>A</b>	<b>B</b>	<b>C</b>	<b>D</b>	<b>E</b>	<b>F</b>	<b>G</b>	
975	- RIB	- NA	- LED16.8	- 3000K			
<b>H</b>	<b>I</b>	<b>J</b>	<b>K</b>	<b>L</b>			

Order Example: BLE - S - ULA16 - 600 - ST512 - 975 - NA - CAP - 975 - CLR - HSC - E26 - NA

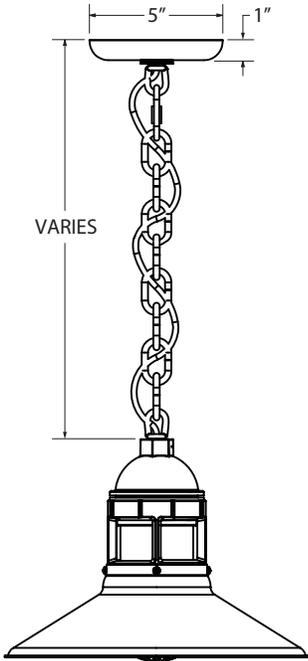
<p><b>A - MOUNTING STYLE</b></p> <p><b>C</b> Cord Hung  <b>CN</b> Chain Hung  <b>F</b> Flush Mount  <b>G</b> Gooseneck  <b>S</b> Stem Mount</p> <p><b>B - SHADE &amp; SHADE SIZE</b></p> <p><i>THE WALLABY:</i>  <b>ULA12</b> 12" Shade  <b>ULA14</b> 14" Shade  <b>ULA16</b> 16" Shade</p> <p><b>C - SHADE FINISH</b></p> <p><i>POWDER COAT FINISHES<sup>1</sup>:</i></p> <p><b>100</b> Black  <b>105</b> Textured Black  <b>200</b> White  <b>300</b> Dark Green  <b>307</b> Emerald Green  <b>311</b> Jadite  <b>370</b> Mint  <b>380</b> Chartreuse  <b>390</b> Teal  <b>400</b> Barn Red  <b>420</b> Orange  <b>470</b> Watermelon  <b>480</b> Blush Pink  <b>490</b> Magenta  <b>500</b> Buttery Yellow  <b>570</b> Sunflower  <b>600</b> Bronze  <b>601</b> Chocolate  <b>605</b> Rust  <b>615</b> Oil-Rubbed Bronze  <b>700</b> Royal Blue  <b>705</b> Navy  <b>710</b> Cobalt Blue  <b>715</b> Delphite Blue  <b>800</b> Industrial Grey  <b>805</b> Charcoal Granite  <b>810</b> Graphite  <b>975</b> Galvanized</p> <p><i>NATURAL FINISHES<sup>2</sup>:</i></p> <p><b>995</b> Raw Copper  <b>996</b> Weathered Copper  <b>997</b> Raw Brass  <b>998</b> Weathered Brass  <b>999</b> Oil-Rubbed Copper</p>	<p><b>D - MOUNTING</b></p> <p><i>CSA LISTED CORD OPTIONS:</i></p> <p><b>SBK</b> Standard Black  <b>SWH</b> Standard White  <b>CSB</b> Black Cloth  <b>CSW</b> White Cloth  <b>CSR</b> Red Cloth  <b>CSBB</b> Black &amp; Brown Cloth  <b>CSRW</b> Red &amp; White Cloth  <b>CSGW</b> Gold &amp; White Cloth  <b>CSBG</b> Black &amp; Gold Cloth  <b>CSBW</b> Black &amp; White Cloth  <b>CSBP</b> Black &amp; Pink Cloth  <b>CSUW</b> Blue &amp; White Cloth</p> <p><i>NON-CSA LISTED CORD OPTIONS:</i></p> <p><b>CBK</b> Black Cotton  <b>CMG</b> Grey Cotton  <b>CRZ</b> Red Chevron  <b>TBK</b> Black Cotton Twist<sup>3</sup>  <b>TWH</b> White Cotton Twist<sup>3</sup>  <b>TBR</b> Brown Cotton Twist<sup>3</sup>  <b>TRD</b> Red Cotton Twist<sup>3</sup>  <b>TPT</b> Putty Cotton Twist<sup>3</sup>  <b>TBW</b> Black &amp; White Twist<sup>3</sup>  <b>TRW</b> Red &amp; White Twist<sup>3</sup>  <b>TBB</b> Brown &amp; Beige Twist<sup>3</sup></p> <p><i>CHAIN MOUNT OPTIONS:</i></p> <p><b>CN36</b> 3' of Chain<sup>4</sup>  <b>CN48</b> 4' of Chain<sup>4</sup>  <b>CN60</b> 5' of Chain<sup>4</sup>  <b>CN72</b> 6' of Chain<sup>4</sup></p> <p><i>FLUSH MOUNT OPTIONS:</i></p> <p><b>FM<sup>4</sup></b></p> <p><i>GOOSENECK OPTIONS:</i></p> <p><b>G1<sup>4</sup></b> <b>G16<sup>4</sup></b>  <b>G2<sup>4</sup></b> <b>G17</b>  <b>G3<sup>4</sup></b> <b>G19<sup>4</sup></b>  <b>G4</b> <b>G22</b>  <b>G5<sup>4</sup></b> <b>G24</b>  <b>G6<sup>4</sup></b> <b>G25</b>  <b>G7</b> <b>G26<sup>4</sup></b>  <b>G8</b> <b>G32</b>  <b>G9</b> <b>G34<sup>4</sup></b>  <b>G10</b> <b>G35<sup>4</sup></b>  <b>G11<sup>4</sup></b> <b>G36<sup>4</sup></b>  <b>G12<sup>4</sup></b> <b>G40<sup>4</sup></b>  <b>G13</b> <b>G64<sup>4</sup></b>  <b>G14</b> <b>G65<sup>4</sup></b>  <b>G15</b></p>	<p><b>D - MOUNTING (CONTINUED)</b></p> <p><i>STEM MOUNT OPTIONS:</i></p> <p><b>ST506</b> .5" Stem Mount, 6"  <b>ST512</b> .5" Stem Mount, 12"  <b>ST518</b> .5" Stem Mount, 18"  <b>ST524</b> .5" Stem Mount, 24"  <b>ST536</b> .5" Stem Mount, 36"  <b>ST548</b> .5" Stem Mount, 48"  <b>ST706</b> .75" Stem Mount, 6"  <b>ST712</b> .75" Stem Mount, 12"  <b>ST718</b> .75" Stem Mount, 18"  <b>ST724</b> .75" Stem Mount, 24"  <b>ST736</b> .75" Stem Mount, 36"  <b>ST748</b> .75" Stem Mount, 48"</p> <p><b>E - MOUNTING FINISH</b></p> <p><i>Please Note: See Section C for all applicable Mounting Finish Options</i>  <i>(I) If Cord Hung [C] Mounting Style, selection identifies canopy finish</i>  <i>(II) If Flush Mount [F] Mounting Style, select NA</i>  <i>(III) If Stem Mount [S] Mounting Style, selection identifies stem and canopy finish</i>  <i>(IV) If Chain Hung [CN] Mounting Style, selection identifies chain and canopy finish. Natural finishes not available.</i>  <i>(V) If Gooseneck [G] Mounting Style, selection identifies gooseneck and wall backing plate finish</i></p> <p><b>NA</b> Not Applicable</p> <p><b>F - CORDS<sup>5</sup></b></p> <p><i>Please Note: See Section D for all applicable CSA Listed Cord Options. Non-CSA Listed Cord Options for Chain Hung Mounting Style limited to: Black Cotton [CBK], Red Chevron [CRZ] and Grey Cotton [CMG]</i></p> <p><b>NA</b> Not Applicable</p> <p><b>G - CAP OPTION<sup>6</sup></b></p> <p><b>NA</b> No Cap/Not Applicable  <b>CAP</b> Cap<sup>6,7</sup></p>	<p><b>H - CAST GUARD FINISH</b></p> <p><i>Please Note: See Section C for all applicable Cast Guard Finish Options</i>  <i>(I) Cast Guard not available in Natural Finishes</i></p> <p><b>I - GLASS OPTION</b></p> <p><b>CLR</b> Clear Glass<sup>8</sup>  <b>FST</b> Frosted Glass  <b>RIB</b> Ribbed Glass  <b>CCR</b> Clear Crackle Glass  <b>SMK</b> Smoke Crackle Glass  <b>HCR</b> Honey Crackle Glass</p> <p><b>J - MOUNTING ACCESSORY</b></p> <p><b>NA</b> None/Not Applicable  <b>HSC</b> Hang Straight Canopy<sup>4,9</sup>  <b>HDSMC</b> Heavy Duty Stem Mount Canopy<sup>1</sup>  <b>HDBP</b> Heavy Duty Backing Plate<sup>4,10</sup>  <b>DD</b> Dusk-to-Dawn Photocell<sup>3</sup>  <b>DBPC</b> Decorative Backing Plate Cover  <b>DCHX</b> Decorative Backing Plate Cover &amp; Hex Cover  <b>DCC</b> Decorative Canopy Cover<sup>9,11</sup></p> <p><b>K - LIGHT SOURCE</b></p> <p><b>E26</b> 100 Watt Max  <b>GU24</b> GU24 Bi-Pin, 18W Max<sup>12</sup>  <b>LED16.8</b> 16.8W LED, 1600 Lumen</p> <p><b>L - COLOR TEMPERATURE<sup>13</sup></b></p> <p><b>NA</b> Not Applicable  <b>2700K</b> 2700K, Warm White  <b>3000K</b> 3000K, Neutral White  <b>3500K</b> 3500K, Bright White  <b>4000K</b> 4000K, Cool White</p>
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**IMPORTANT:** (1) All Powder Coat finished shades, Galvanized excluded, feature a white interior (2) Natural Finishes have a longer estimated manufacturing time, please check the website for exact lead time. There are no returns accepted on Natural Finishes (3) Not available in LED (4) Not available in Natural Finishes (5) Only applicable if Chain Hung Mounting Style is selected in Section A (6) Cap not available if Chain Hung mounting style is selected in Section A (7) Cap Finish will match shade finish selected in Section C (8) Clear Glass not recommended if LED Light Source is selected in Section K (9) Only applicable if Stem Mounting Style selected in Section A (10) Not available in LED (11) Only available if Natural Finish is selected in Section C (12) Fixtures configured with a GU24 socket are non-returnable (13) Only applicable if LED16.8 Light Source is selected in Section J, select NA is non-LED source selected

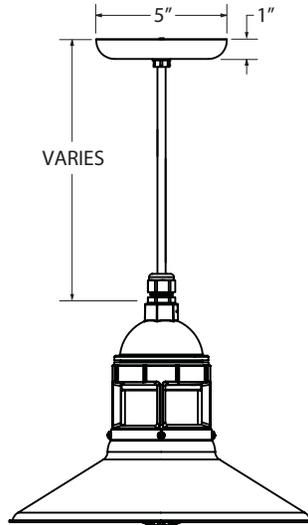
**MOUNTING STYLE**

Galvanized steel shades are crafted from 20 Ga Sheet metal while 1100-0 Aluminum—ranging from 0.050" to 0.125"—is used for all other shades. All shades have their edges rolled, and the result is highly durable and stylish lighting.

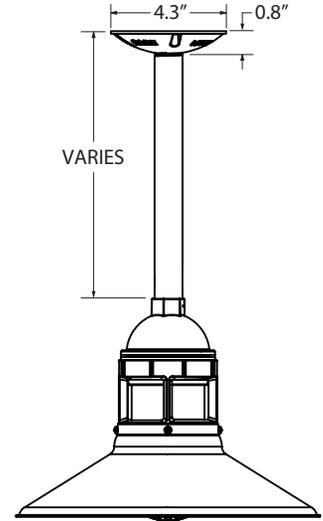
**CHAIN HUNG PENDANT (CN)**



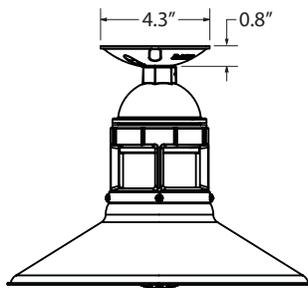
**CORD HUNG PENDANT (C)**



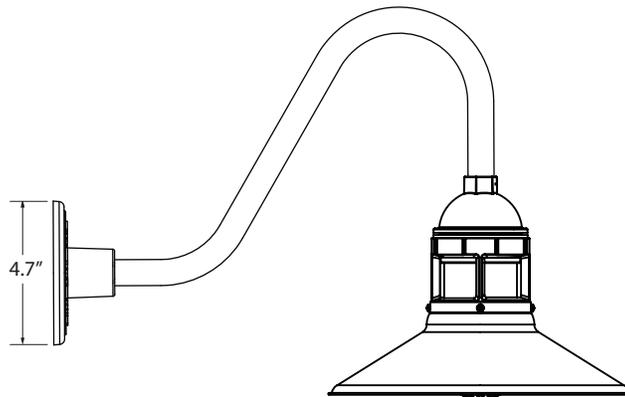
**STEM MOUNT PENDANT (S)**



**FLUSH MOUNT (F)**

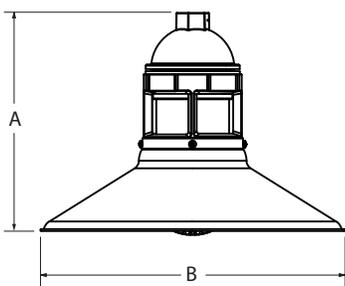


**GOOSENECK (G)**



SHOWN WITH: G26 GOOSENECK ARM

**AVAILABLE SHADE SIZES**



SHADE CODE	HEIGHT (A)	DIAMETER (B)
ULA12	9.3"	12"
ULA14	10"	14"
ULA16	10.8"	16"



**LIGHT SOURCE**

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. To obtain an IES file specific to your project, please contact the factory.

OPTION	WATTAGE	LUMENS <small>*Avg. value, actual value dependent on bulb used</small>	CRI	VOLTAGE	DIMMING
<b>INCANDESCENT (MED E26)</b>					
<b>E26</b>	100W Max	1400*	100	120 VAC	Bulb Dependant
<b>COMPACT FLOURESCENT (GU24 CFL)</b>					
<b>GU24</b>	18W Max	1400*	75	120 VAC	Bulb Dependant
<b>LED</b>					
<b>LED16.8</b>	16.8W	1600	>90	120 VAC	TRIAC

**SPECIFICATIONS**

**MOUNTING**

**STEM**  
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6063 Aluminum Mounting Stem. Custom Lengths Available upon Request.

**GOOSENECK**  
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6063 Aluminum Gooseneck

**CORD**  
Cord-hung Pendants Include 7' Of Standard Cord Or 5' Of Cotton Cord, +/- For Socket Orientation

**SHADE & FINISHES**

**WALLABY SHADE**  
Hand-Spun from High Purity 0.050" Thick 3003-O Temper Aluminum

**POWDER COAT FINISHES**  
Polyester Powder Coat Finishes Are Electro-Statically Applied and Thermocured

**CERTIFICATIONS, LISTINGS & WARRANTY**

**MADE IN THE USA**  
Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility Located in Titusville, FL

**CSA LISTED FOR WET LOCATIONS**  
Includes all Stem and Gooseneck Mounting Styles

**CSA LISTED FOR DAMP LOCATIONS**  
Includes all Chain and Select Cord Hung Mounting Styles

**LIMITED WARRANTY**  
For Additional Information on Our Limited Warranty, Please See Our Terms & Conditions

**LED SPECIFICATIONS**

**LUMEN MAINTENANCE**  
LED16.8 Source is L90(11K) > 61,000 Hours.

**COLOR TEMPERATURES**  
Standard Color Temperatures Available Include 2700K, 3000K, 3500K and 4000K. Custom Temperatures Available upon Request.

**CRI**  
Minimum 90 CRI. Consult Factory for Other CRI Options.

**EFFICACY**  
Delivers over 95 Lumens Per Watt

**DRIVER & DIMMING OPTION**  
Reliant on Triac Dimming 16.8W / 120V, Dimmable down to 1% Depending on Dimmer. Requires Compatible Dimming Switch.



SKULL CREEK  
**BOATHOUSE**  
LANDMARK WATERFRONT RESTAURANT



SKULL CREEK  
GENERAL STORE





Sunset Landing  
SKULL CREEK  
BOATHOUSE  
THE BEER  
GARDEN

Ice Cold  
Draft Beer







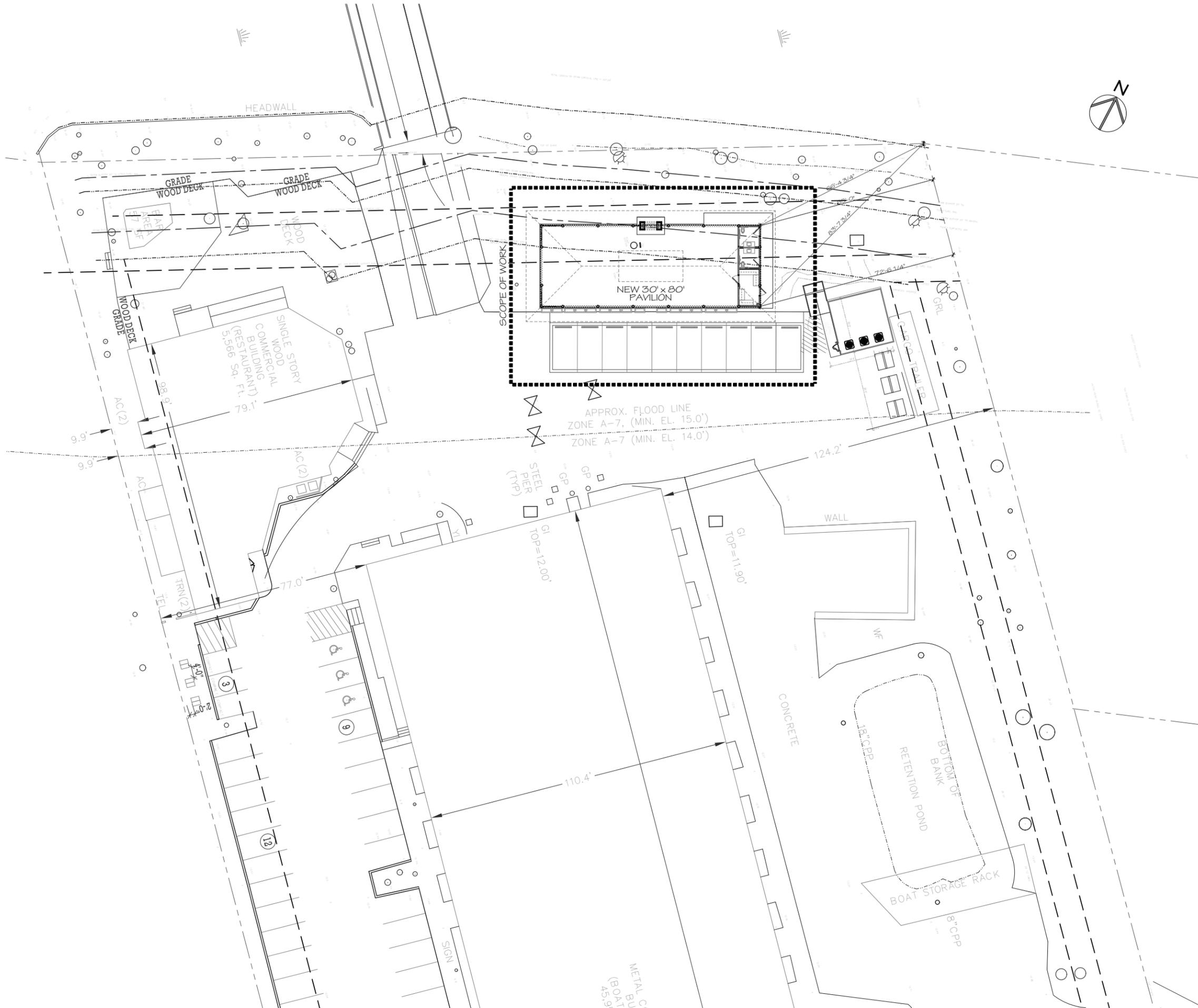
SINMARINABULL LP FPO

FDC

NO  
OUTLET

ISLAND INFORMATION





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**SUNSET PAVILION at  
 SKULL CREEK BOATHOUSE**  
 397 Squire Pope Rd.  
 Hilton Head Island, SC 29928

REVISIONS	

DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 DATE OF ISSUE 2/26/2019  
 SCALE \_\_\_\_\_  
 JOB NO. \_\_\_\_\_  
 SHEET \_\_\_\_\_

**1 SITE PLAN**  
 SCALE: 1/16" = 1'-0"

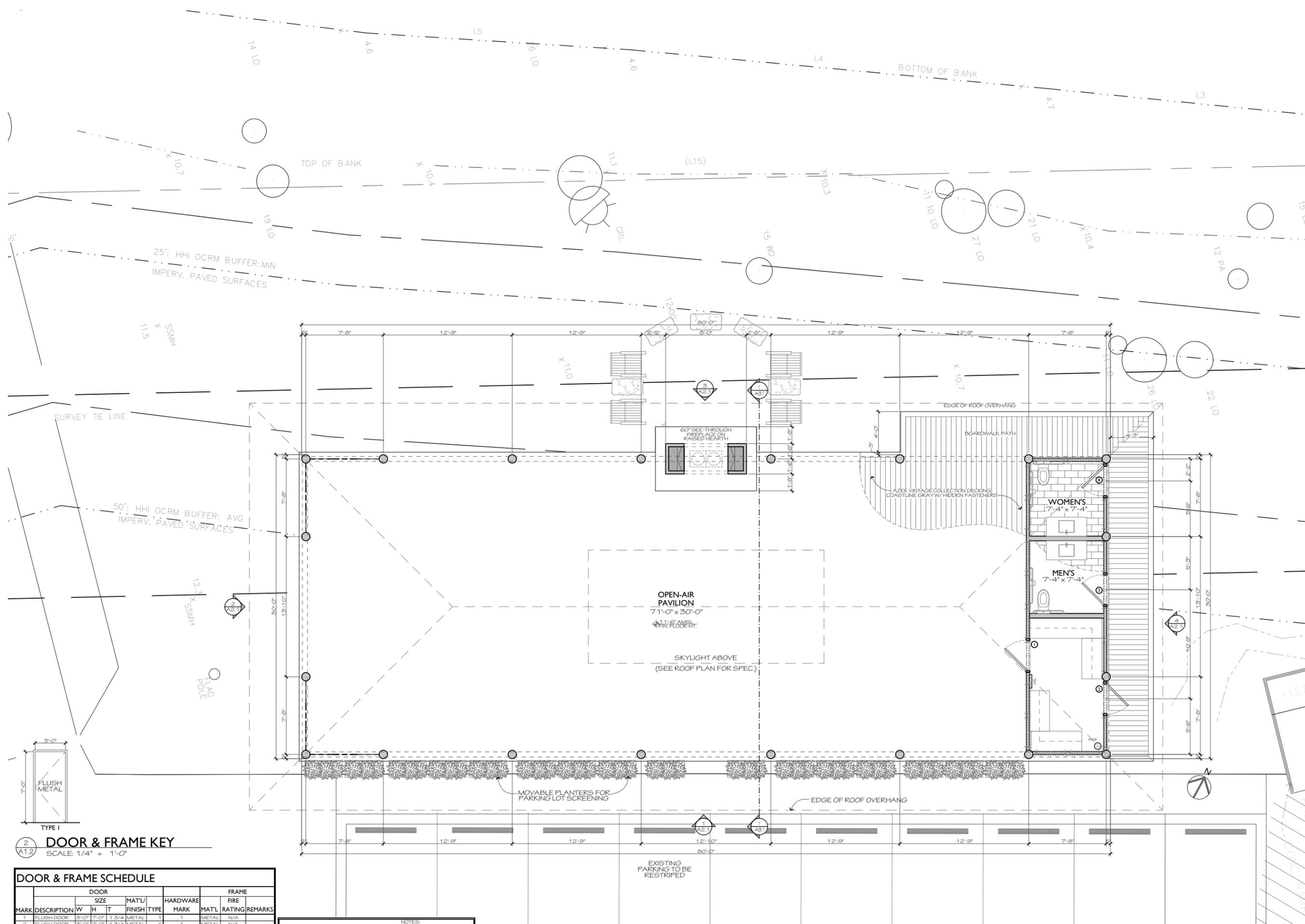
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397 Squire Pope Rd.  
Hilton Head Island, SC 29928

REVISIONS	

DRAWN BY	
CHECKED BY	
DATE OF ISSUE	2/26/2019
SCALE	
JOB NO.	
SHEET	

FLOOR PLAN  
**A1.2**



**DOOR & FRAME KEY**  
SCALE: 1/4" = 1'-0"

MARK	DESCRIPTION	DOOR			HARDWARE	FRAME		REMARKS
		W	H	T		MAT'L	RATING	
1	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	1	METAL	N/A
2	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	1	METAL	N/A
3	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	2	METAL	N/A
4	FLUSH DOOR	3'-0"	7'-0"	1 3/4"	METAL	2	METAL	N/A

NOTES:  
1. ALL FINISHES TO BE 613

MARK	TYPE	MFG. NAME	MFG. NUMBER	REMARKS
1	BATHROOM LOCK	SCHLAGE	AL40PD	
2	ENTRANCE/OFFICE LOCK	SCHLAGE	AL50PD	

**1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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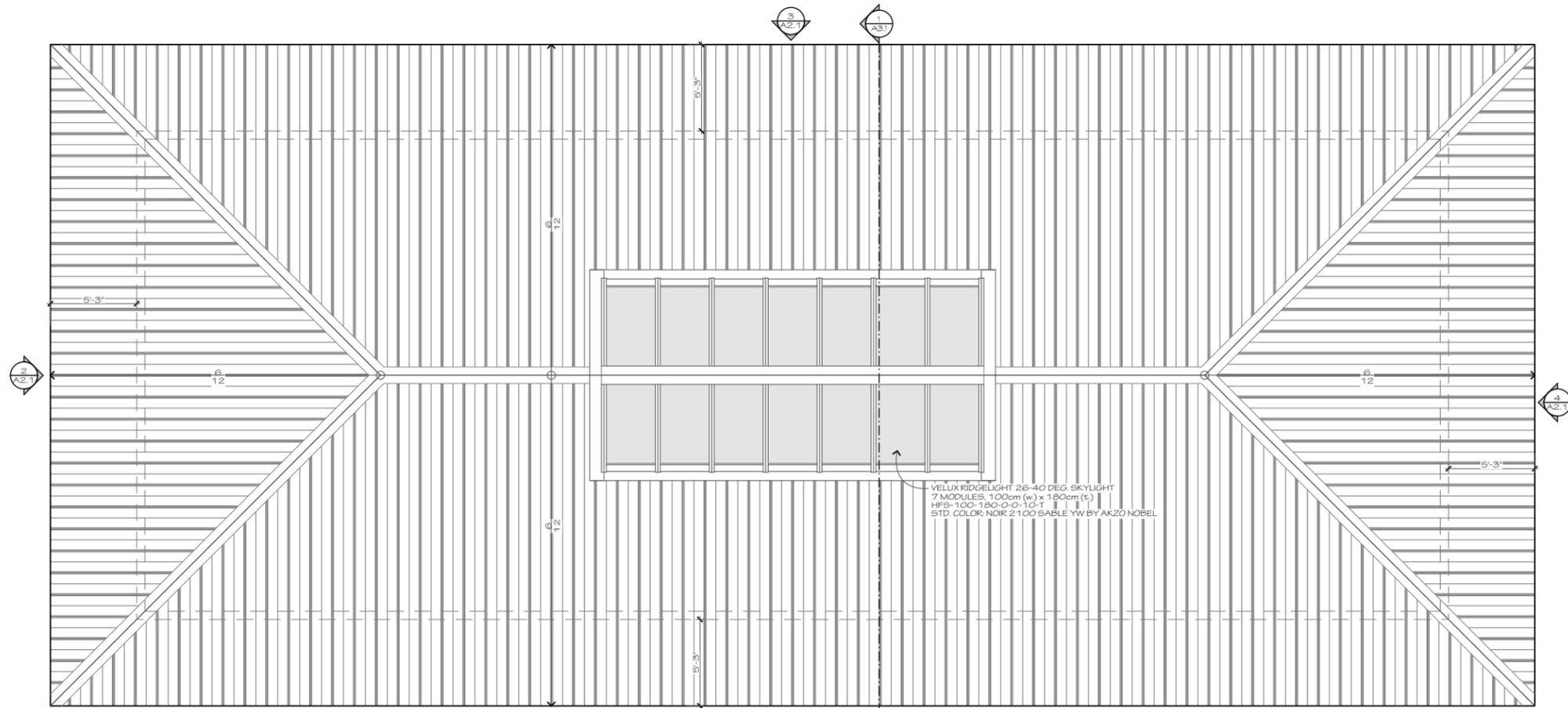
**SUNSET PAVILION at  
SKULL CREEK BOATHOUSE**  
397 Squire Pope Rd.  
Hilton Head Island, SC 29928

REVISIONS

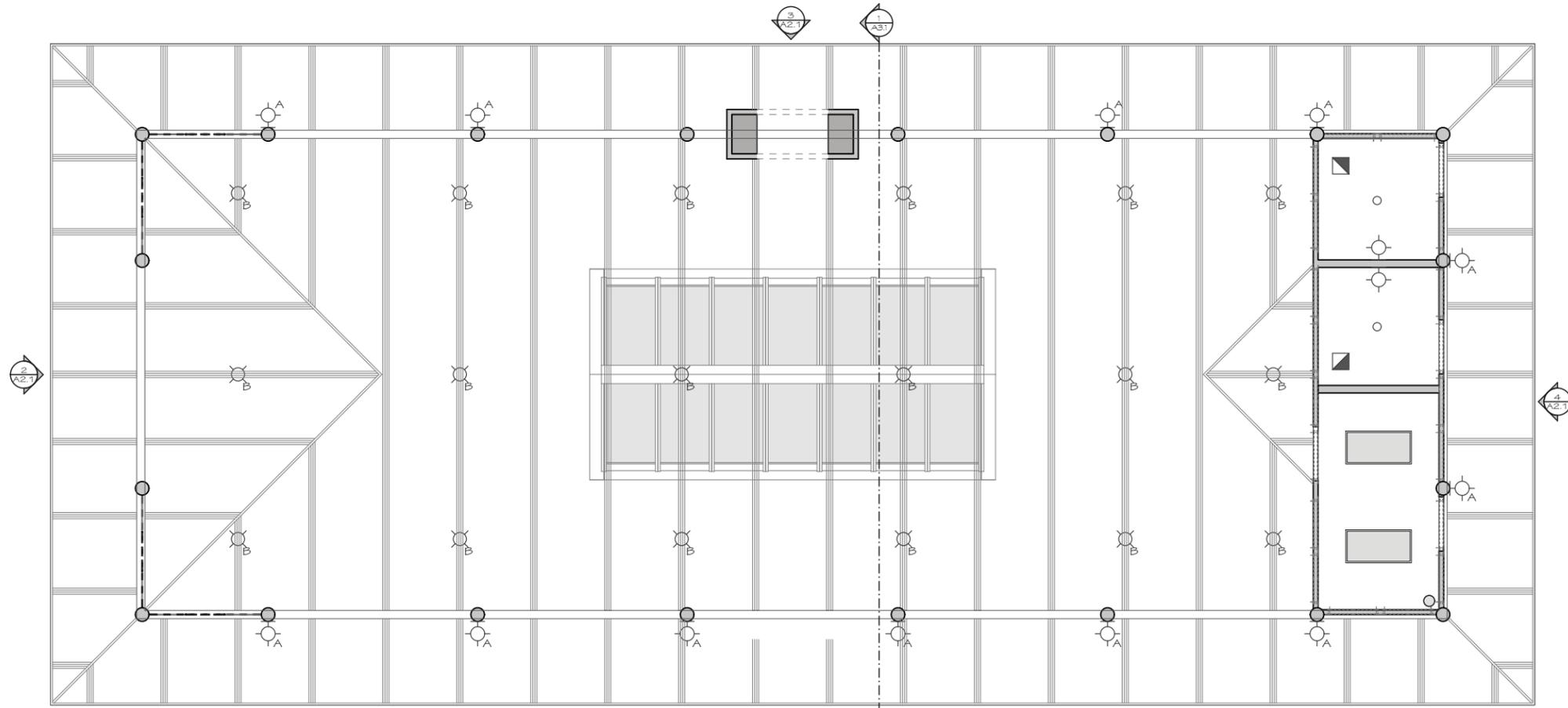
NO.	DATE	DESCRIPTION

DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
DATE OF ISSUE 2/26/2019  
SCALE \_\_\_\_\_  
JOB NO. \_\_\_\_\_

SHEET **ROOF & REFLECTED CEILING PLANS**  
**A1.3**



**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



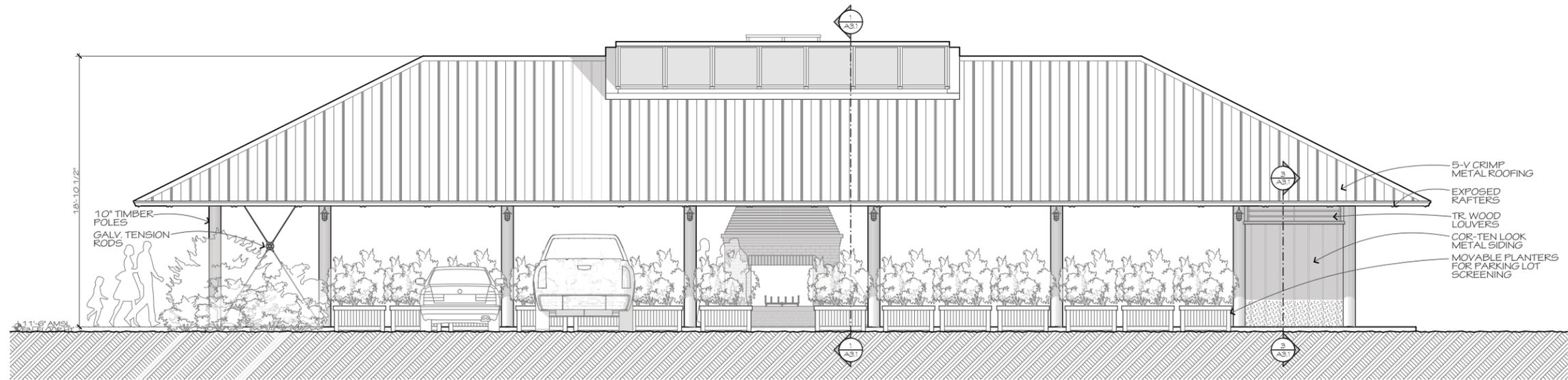
**2 REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**SYMBOL KEY**

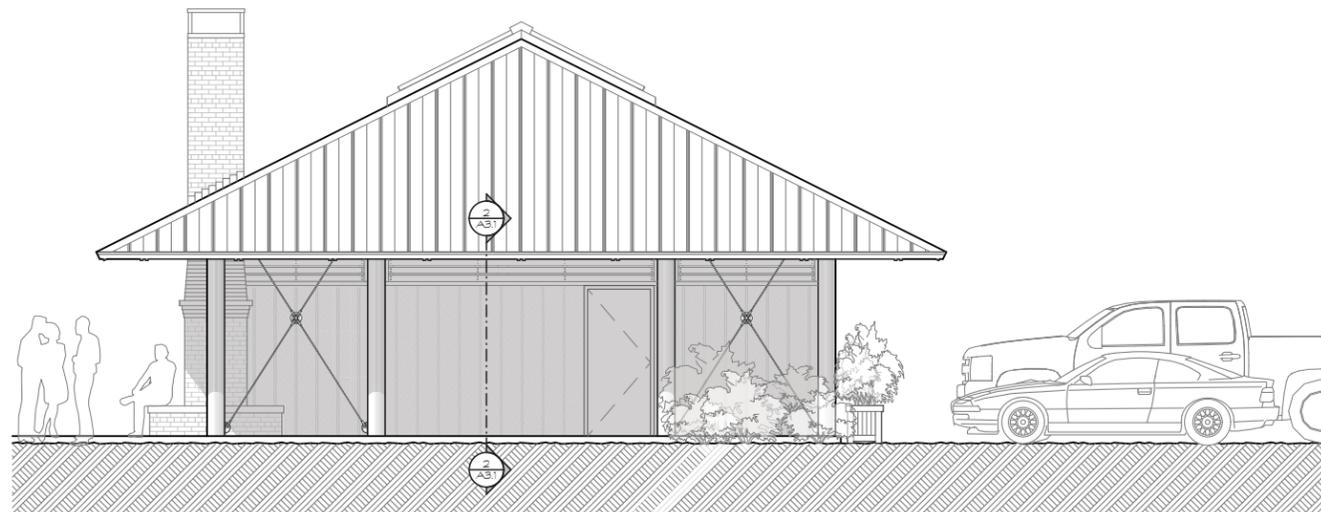
- SURFACE MOUNTED LIGHT FIXTURE
- WALL SCONCE
- PENDANT
- CAN LIGHT
- 24"x24" LED LIGHT FIXTURE
- 24"x48" LED LIGHT FIXTURE
- 24"x24" SUPPLY DIFFUSER
- 24"x24" RETURN AIR GRILLE
- 12"x12" SUPPLY DIFFUSER
- 12"x12" EXHAUST GRILLE
- CEILING FAN

**EXTERIOR LIGHTING SCHEDULE**

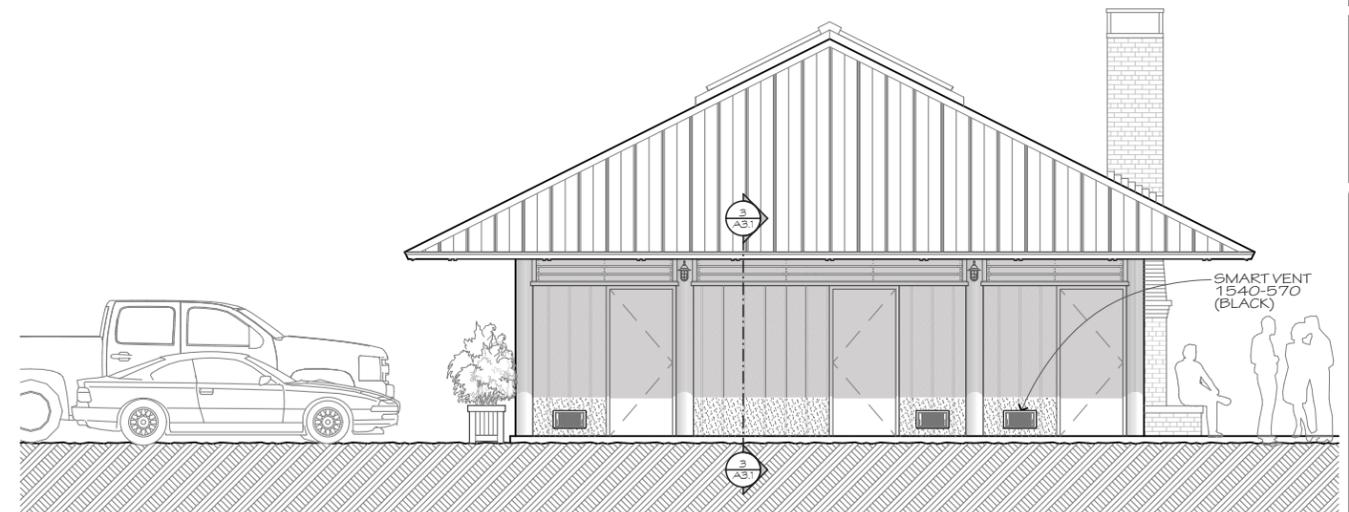
MARK	MANUF.	CATALOGUE NUMBER	LAMP	MOUNTING	COLOR	REMARKS
A	BARN LIGHT	BLE-G-CGGF5-975-G4-975-TGG-RB-DD-ES26	LED, 800 LM (3000K)	WALL	GALV.	
B	BARN LIGHT	BLE-C-ULA16-975-SBK-975-SBK-NA-975-RIB-NA-LED16.B-3000K	LED	PENDANT	GALV.	



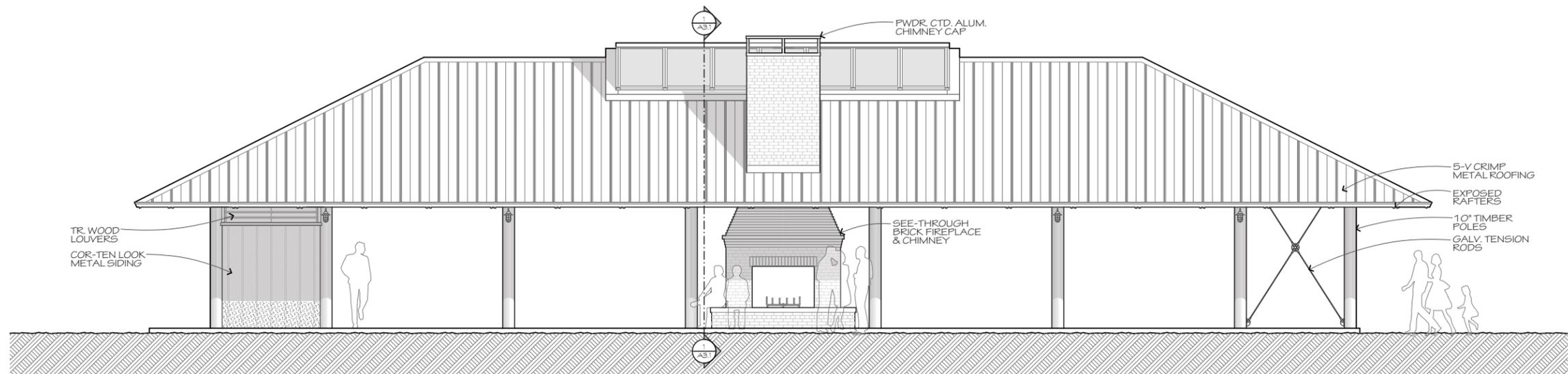
1 FRONT (PARKING LOT) ELEVATION  
SCALE: 1/4" = 1'-0"



2 LEFT (RESTAURANT) ELEVATION  
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



3 REAR (WATER) ELEVATION  
SCALE: 1/4" = 1'-0"

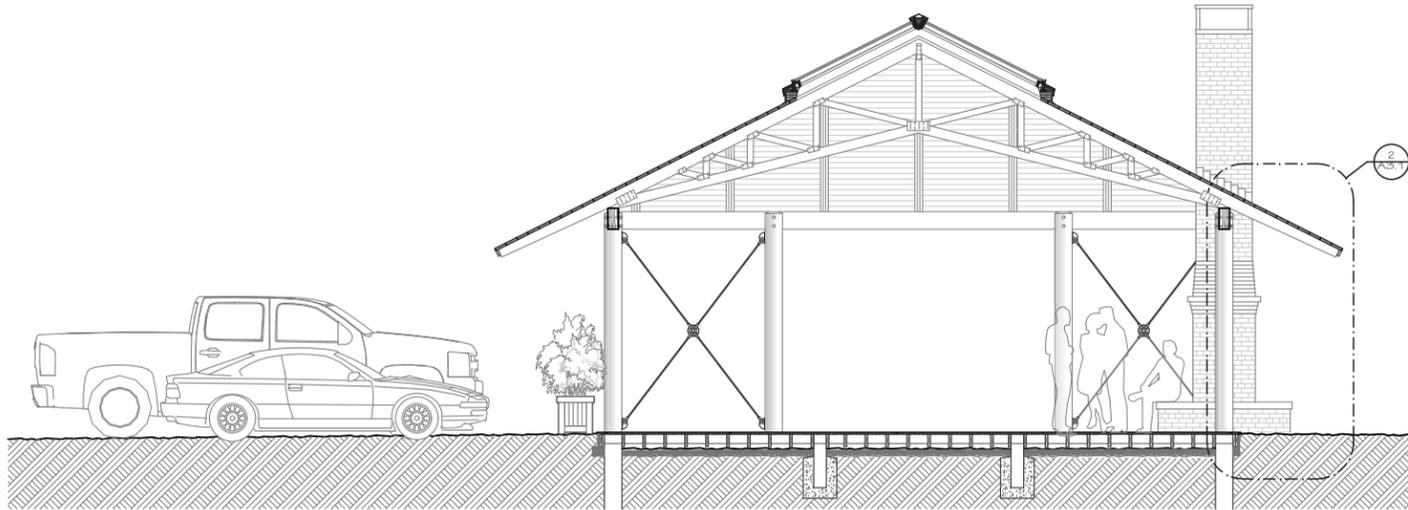
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397 Squire Pope Rd.  
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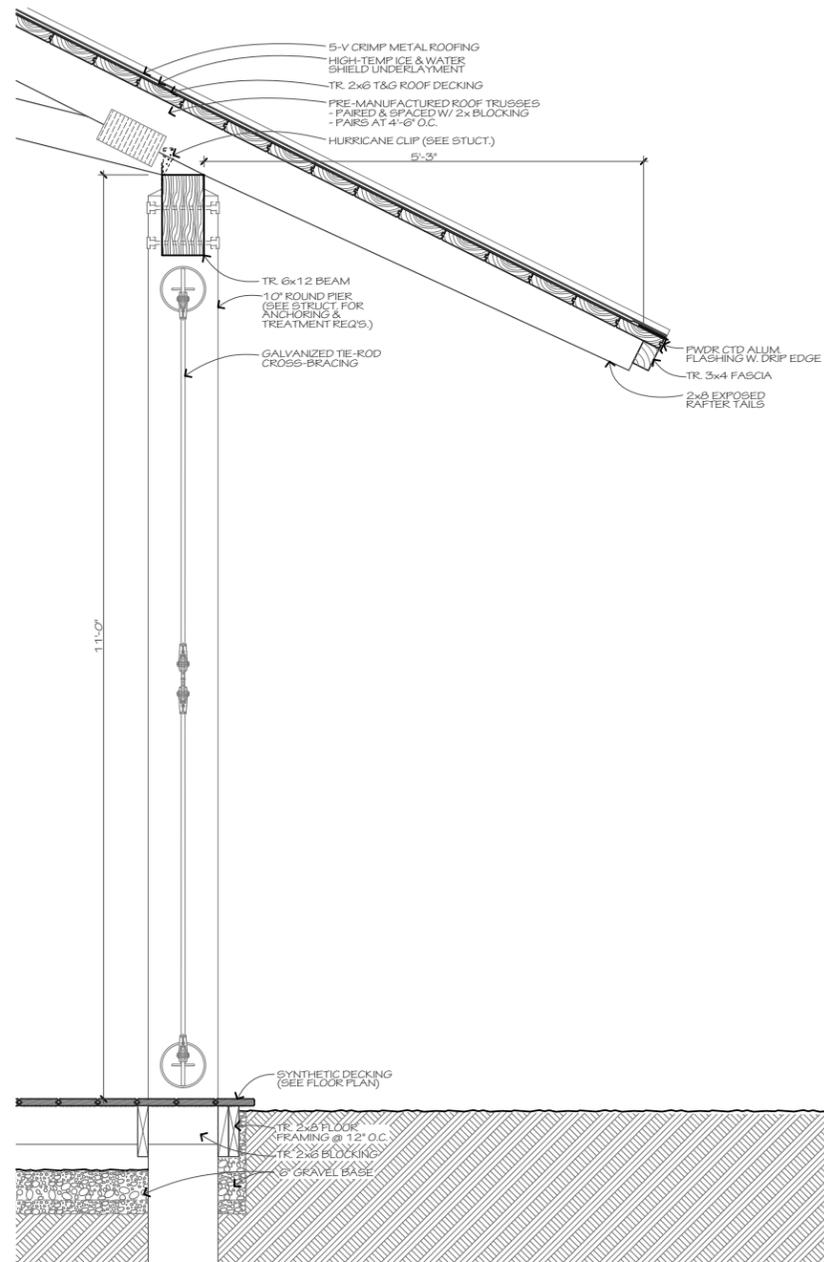
REVISIONS

NO.	DESCRIPTION	DATE

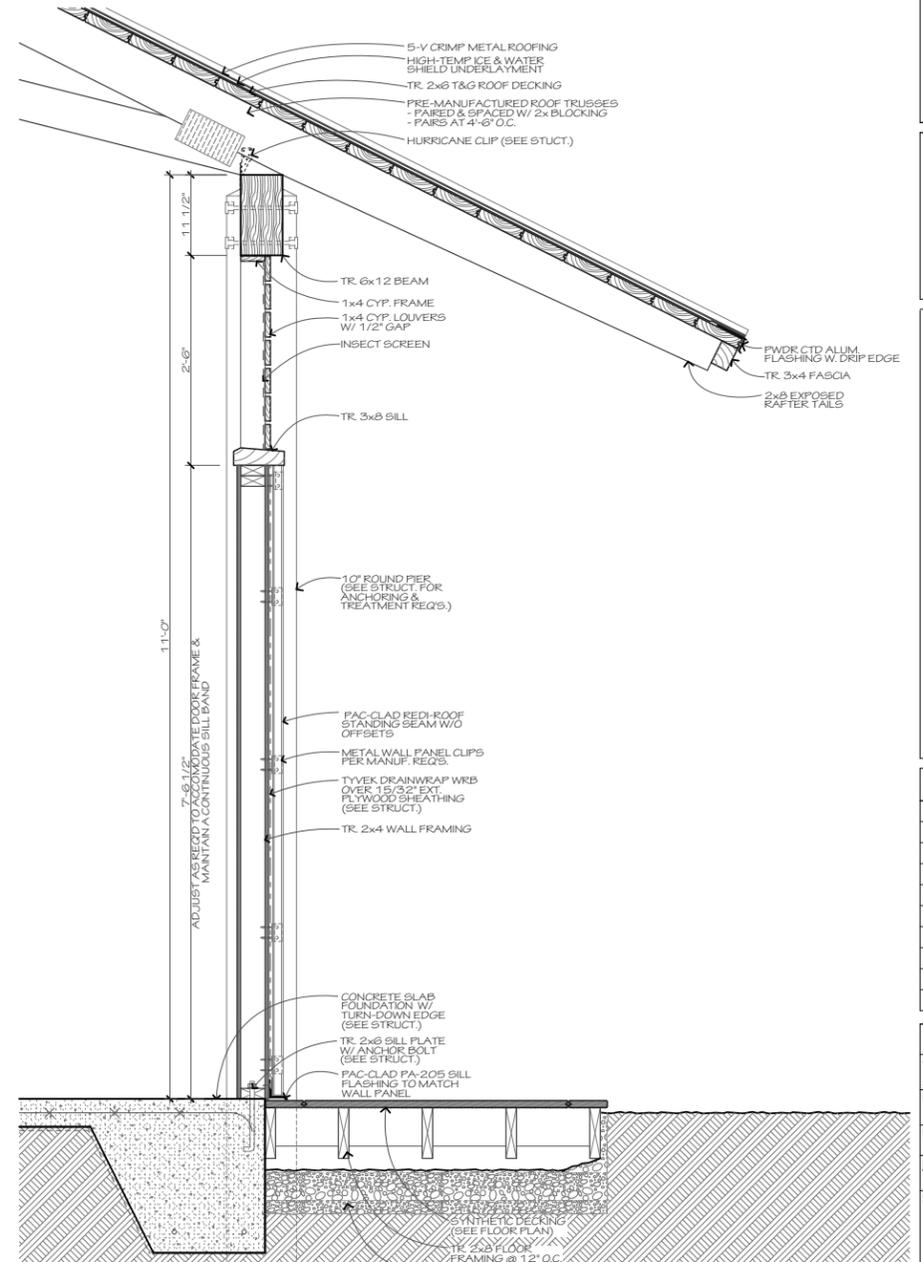
DRAWN BY  
CHECKED BY  
DATE OF ISSUE  
2/26/2019  
SCALE  
JOB NO.  
SHEET



1 PAVILION SECTION  
SCALE: 1/4" = 1'-0"



2 PAVILION DETAIL  
SCALE: 1" = 1'-0"



3 WALL DETAIL  
SCALE: 1" = 1'-0"

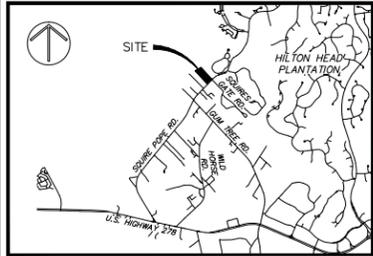
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**SUNSET PAVILION at  
SKULL CREEK BOATHOUSE**  
397 Squire Pope Rd.  
Hilton Head Island, SC 29928

REVISIONS	

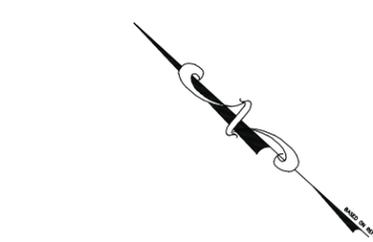
DRAWN BY  
CHECKED BY  
DATE OF ISSUE  
2/26/2019  
SCALE  
JOB NO.  
SHEET

SECTIONS &  
DETAILS  
**A3.1**



VICINITY MAP NOT TO SCALE

LINE	LENGTH	BEARING
L1	42.69'	N05°17'16"W
L2	23.57'	S70°56'47"W
L3	34.47'	S68°02'41"W
L4	41.40'	S67°40'34"W
L5	26.19'	S65°59'46"W
L6	34.65'	S69°25'12"W
L7	34.72'	S46°05'00"W
L8	4.44'	S73°38'51"E
L9	4.81'	N85°18'17"E
L10	100.97'	N59°54'54"E
L11	5.31'	N44°42'37"E
L12	5.14'	N23°03'56"E
L13	5.98'	N05°20'22"E
L14	4.53'	N42°18'15"W
(L15)	319.85'	S61°08'57"W
(L16)	738.01'	N42°33'59"W
(L17)	314.72'	N45°20'04"E
(L18)	825.38'	N42°18'15"W



N/F  
BLOODY POINT ASSET CORP.  
TAX PARCEL No. 510-3-128  
P.O. BOX 21307  
HILTON HEAD ISLAND, SC 29925

N/F  
BLOODY POINT ASSET CORP.  
TAX PARCEL No. 510-3-89A  
P.O. BOX 21307  
HILTON HEAD ISLAND, SC 29925

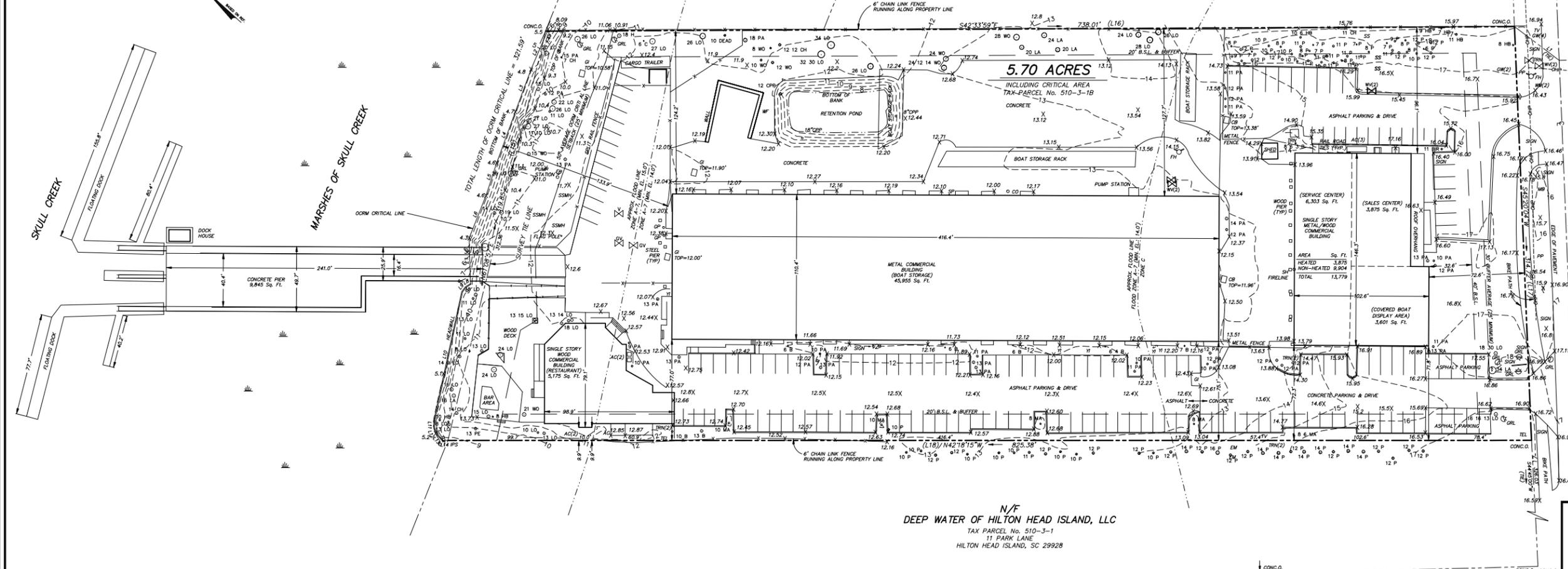
N/F  
DAUFUSKIE ISLAND CLUB & RESORT, INC.  
TAX PARCEL No. 510-3-126  
P.O. DRAWER 23266  
HILTON HEAD ISLAND, SC 29925

SQUIRESGATE ROAD  
50' R/W

N/F  
HAROLD FRAZIER  
TAX PARCEL No. 510-3-198  
1516 CLOVERDALE DRIVE  
SAVANNAH, GA 31401

N/F  
KJC INC.  
TAX PARCEL No. 510-3-19A  
920 SEASIDE DRIVE  
DELRAY BEACH, FL 33483

N/F  
DEEP WATER OF HILTON HEAD ISLAND, LLC  
TAX PARCEL No. 510-3-1  
11 PARK LANE  
HILTON HEAD ISLAND, SC 29928



SQUIRE POPE ROAD  
66 R/W

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AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF  
**5.70 Ac.**  
SQUIRE POPE ROAD  
HILTON HEAD BOATHOUSE  
TMS R510 003 000 001B 0000  
HILTON HEAD ISLAND, BEAUFORT COUNTY,  
SOUTH CAROLINA

PREPARED FOR:  
**SOUTHEASTERN  
COMMERCIAL SERVICES, LLC**

**Cook**  
Land Surveying  
23 Trotting Hill Lane, Bluffton, SC 29910  
phone: (843) 247-1311  
email: cooklandsurveying@argray.com

- NOTES:
- THIS LOT APPEARS TO LIE IN FLOOD ZONE A-7, (MIN. EL.: 14.0' & 15.0'), AND IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA PER FIRM PANEL No. 2-D, COMMUNITY No. 450250, DATED 9/29/86.
  - B.S.L. DENOTES BUILDING SETBACK LINE AND IS BASED ON BEAUFORT COUNTY ZONING AND DEVELOPMENT STANDARDS AND ORDINANCES, ADOPTED IN APRIL 1999.
- REFERENCE(S):
- "AN ASBUILT PLAT OF 7.01 ACRES, CARMINE'S RESTAURANT SQUIRE POPE ROAD TAX PARCEL No. 500-3-1" DATE: 10/24/95 BY: MATTHEW M. CRAWFORD, S.C.R.L.S. No. 9756 RECORDED IN: PB. 60, PG. 182, DATED: 6/6/97
  - "0.946 ACRE BELONGS TO MELVIN FORD" DATE: 2/22/79 BY: NIELS CHRISTENSEN, S.C.R.L.S. No. 2209 RECORDED IN: PB. 29, PG. 147
  - "PROPERTY OF THE ESTATE OF MARTHA FIELDS HILTON HEAD ISLAND" DATE: 1/16/64 BY: CARL E. EKHOLM, S.C.R.L.S. No. NOT NOTED RECORDED IN: PB. 20, PG. 150
  - DEED BOOK 457, PAGE 1024

LEGEND:

CONC. O.	CONCRETE MONUMENT, OLD (FOUND)
IPS	IRON PIPE SET
MB	MAIL BOX
GRL	GROUND LIGHT
AC	AIR CONDITIONER UNIT
PP	POWER POLE
CHP	OVER HEAD POWER LINE
GW	QUIRY WIRE
TV	CABLE TELEVISION PEDESTAL
TEL	TELEPHONE PEDESTAL
TRN	ELECTRIC TRANSFORMER
EM	ELECTRIC METER
EB	ELECTRIC BOX
GV	GAS VALVE
GP	GAS PUMP
V	VALVE
SSMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER STUB OUT
CO	CLEAN OUT
WV	WATER VALVE
WM	WATER METER
WF	WATER FAUCET
FH	FIRE HYDRANT
CB	CATCH BASIN
GI	GRATE INLET
CH	CHERRY
LO	LAUREL OAK
LA	LIVE OAK
PA	PALMETTO
HB	HICKORY
P	HUCKLEBERRY
BIR	BIRCH
X10.0	SPOT ELEVATION
-10-	CONTOUR LINE

THE AREA SHOWN HEREON IS A GENERAL REPRESENTATION OF DHEC-OCRM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DHEC-OCRM, THE OFFICE OF OCRM IN NO WAY WAIVES THE RIGHT TO ASSERT PERMIT JURISDICTION IN ANY CRITICAL AREA OF THE SUBJECT PROPERTY WHETHER SHOWN OR NOT.

- REVISION(S):
- 08.09.01 ADDED DIMENSIONS TO PROPERTY LINES
  - 07.31.09 ADDED CONCRETE AREA IN BOAT PARKING
  - 07.26.13 UPDATED BOATHOUSE RESTAURANT AREA

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
The critical line shown on this plot is valid for three years from the date of this signature, subject to the cautionary language above.



DONALD R. COOK, JR.  
S.C.P.L.S. No. 19010  
NOT VALID UNLESS CRIMPED WITH SEAL

PROJECT No.: 09070008  
DRAWN BY: DRC PROJECT NAME: 09070008  
DATE: 06.28.01 FILE: 09070008ARev3 072613.dwg  
SCALE: 1" = 40'  
SHEET 1 OF 1

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sunset Pavilion

DRB#: DRB-000509-2019

DATE: Feb. 28, 2019

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Add 40' average wetland buffer to the site plan.
2. Add canopy dripline and height of the lowest branches on the pavilion side to the live oak clusters adjacent to the pavilion.
3. The roofing material shall be a standing seam metal in a bronze color.
4. Reduce the pavilion roof overhang on the parking lot side to accommodate planting.
5. Provide a planting plan to be approved by Staff for the area between the parking lot and the pavilion to screen the parking lot.

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The structure would blend better with a bronze color roof. Staff understands the restaurant roof is a galvalume color but thinks the best option for this structure, when viewed from the water is for a bronze or dark grey color roof. The pavilion would recede from view and help screen the boathouse.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Unclear from drawings.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The planter boxes seem out of character with the overall feel of the structure. Given the open structure, the screening between the pavilion and the parking lot will be visible from the water. Staff recommends a

				planting of native species in the ground. Consideration should be given to reducing the roof overhang on that side to allow the plants to receive rain.
--	--	--	--	--

***LANDSCAPE DESIGN***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comment above.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additional planting is required on the water side to blend the finished building with the site or some indication of how the buffer area will be treated / maintained.
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use plantings of native ornamental grasses or shrubs to define and protect the existing marsh buffer.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Area between the parking lot and the structure should be planted.
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The building has been placed with little attention to the treatment of the ground plane beyond the deck.
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Unclear from the drawings.

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Submit a site plan showing that the pavilion and the seating area near the fireplace meet the 40' average wetland buffer per LMO Section 16-6-102. Note that the average buffer is 40' feet from tidal wetlands. The average buffer is measured from the OCRM line to the nearest structure. The seats and tables around the fireplace meet the definition of "structure." In LMO Section 16-10-105, "structure" includes anything portable that requires a location on a parcel of land. Please ensure the measurement of the 40' average wetland buffer includes the chairs and tables around the fireplace and the pavilion.

***MISC COMMENTS/QUESTIONS***

1. The DRB approved revision to the front parking lot and boat rack storage on this site on Feb. 28, 2017.
2. The 11/26/22 and the 11/27/21 Live Oak clusters are within an inch of being specimen size. Revise the plans to show the canopies of the clusters along with the location and height of the lowest limbs near the pavilion. It appears the tree survey may be out of date. Note the specimen tree protection standards in LMO Section 16-6-104.F.2. Note the no paving or soil compaction is allowed within 15 feet of a specimen tree trunk, and no more than 20 percent of the total area within the drip line of any specimen tree shall be subject to paving or soil compaction. If these are specimen tree clusters, the plans will need to demonstrate that these standards are met.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: David Lomasney Company: SFF, HHI LLC  
 Mailing Address: 33 Castle Bridge Drive City: Hilton Head Island State: SC Zip: 29928  
 Telephone: 845-750-4572 Fax: \_\_\_\_\_ E-mail: domasney@unitedpf.com  
 Project Name: Slapfish Restaurant Project Address: 1024 William Hilton Parkway  
 Parcel Number [PIN]: R5 5 2 0 1 5 0 0 0 0 4 2 0 0 0 0 0  
 Zoning District: Light Commercial Overlay District(s): ROW Arterial

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

02 / 26 / 2019

\_\_\_\_\_  
DATE

# DESIGN REVIEW BOARD CORRIDOR

## PROJECT NARRATIVE

### ALTERATION / ADDITION SUBMITTAL

---

#### **Project Information:**

Project Name: Slapfish Restaurant

Location: 1024 William Hilton Parkway  
R552 015 000 0420 0000

#### **Project Contacts:**

##### ***Owner:***

David Lomasney / SFF, HHI LLC.  
33 Castle Bridge Lane  
Hilton Head Island, SC 29928  
(845) 750-4572

##### ***Architect:***

Court Atkins Architects, Inc.  
P.O. Box 3978  
Bluffton, SC 29910  
(843) 815-2557

##### ***Civil Engineer:***

Ward Edwards  
PO Box 381  
Bluffton, SC 29910  
(843) 837-5250

##### ***Landscape:***

Witmer Jones Keefer  
22 Promenade Street, Suite 201  
Bluffton, SC 29910  
(843) 757-7411

#### **Project Description:**

The project includes an interior renovation and exterior alterations to the former gas station, "The Pantry". The exterior modifications include:

- Re-painting of exterior existing stucco. Existing metal roof to remain as-is.
- Removal of existing aluminum storefront doors and windows.
- New aluminum storefront windows and doors, and bi-fold doors on Arrow Road, 278 and Northeast elevation.
- Providing an outdoor seating area on the east corner of the building which will include new pavers, a wood fence, and landscaping.

- Adding a new outdoor cooler/freezer to service the restaurant, which will be screened by a new wood louvered element.
- Exterior can light fixtures will be added in the existing exterior soffit at the center of each new exit door(3), above each bi-fold door (2) and above patio door.

### *Landscape*

- Buffer plantings along US 278 and Arrow Road to soften visuals of existing building and concrete paving from surrounding roadways. Plantings will occur in existing landscape beds and new planting areas provided by removing existing concrete. Increased shade from proposed canopy trees will reduce heat island of the predominantly impervious site.
- Foundation plantings will provide buffer and transition from parking and circulation to patio area and building.
- Native and naturalized plants will be utilized to minimize water needs and connect restaurant theming to traditional Island plant palette.
- Existing concrete paving will be reduced and pavement markings provided to increase parking capacity. Circulation will be clearly delineated for vehicular and pedestrian traffic into and around site.
- Bike racks will provide capacity for 20 bikes and located for easy access from Arrow Road sidewalk. The signalized crossing at US 278 and Arrow Road provides site access to greater Island trail system for pedestrians and bicyclists.
- A dumpster enclosure will be provided to shield trash service from public. Finish and form to match architecture.

### *Site*

- The parcel contains a single limited access (right-in, right-out) from William Hilton Parkway and two full accesses from Arrow Road. As part of the conversion to an eating establishment, the program requests closure of the southernmost access from Arrow Road. This closure will be established through landscaping and signage.
- Sidewalks around the building will provide a destination for pedestrians coming from all parking areas with larger sidewalk areas adjacent to the main entry and outdoor dining areas. Pedestrian access will be from both William Hilton Parkway and Arrow Road by way of striped crosswalks to the existing sidewalks within the respective rights-of-way. Bicycle access is primarily expected to be from Arrow Road and will be encouraged by the placement of bicycle racks in the existing vegetated area nearest Arrow Road.
- The existing structure will remain and be repurposed for use as a restaurant. The limited access from William Hilton Parkway will remain operational as will the northernmost full access from Arrow Road. The southernmost, and closest to intersection, access from Arrow Road will be decommissioned by way of landscaping and striping.
- The structure is presently un-sprinklered and the proposed occupancy loads will allow it to remain as such. The nearest known hydrant is on the northwest quadrant of the Arrow Road traffic circle, approximately 330 linear feet from the Arrow Road entrance. All portions of the building are within 140 feet when measured from the travel-way of adjacent rights-of-way.
- Existing water and sewer services, owned and maintained by South Island PSD, presently serve the parcel. Sewer discharges the existing building to the north to a small, package grinder station. This station also appears to serve the adjacent Furniture Solutions 151 site. Grease traps will be added as necessary to meet applicable building and plumbing codes. The existing water service is assumed to be adequate to serve the proposed restaurant use.

- Existing electrical services, owned and operated by Palmetto Electric, are located along the northern boundary, with an existing transformer located near the grinder pump station and a second transformer located at the northeastern property corner.
- Existing telecommunication services are located within the William Hilton Parkway right-of-way and are assumed to be adequate to serve the proposed restaurant use.
- The existing grading patterns are proposed to be retained and the redevelopment of the site proposes to reduce the overall impervious coverage of the site by removing pockets of existing concrete paving to create landscape beds.
- The existing site is fairly flat with two known inlets located on the western portion of the property. These two inlets appear interconnected with an ultimate outfall to existing drainage infrastructure located within the Arrow Road right-of-way.

STUCCO  
SW 7043 - WORLDLY GRAY



TRIM  
SW 7043 - WORLDLY GRAY



PATIO FENCE  
WOOD - STAIN: SW 3513 SPICE CHEST



SERVICE & DUMPSTER SCREEN  
SW 3025 - CARIBOU



DOORS  
MARVIN - BRONZE

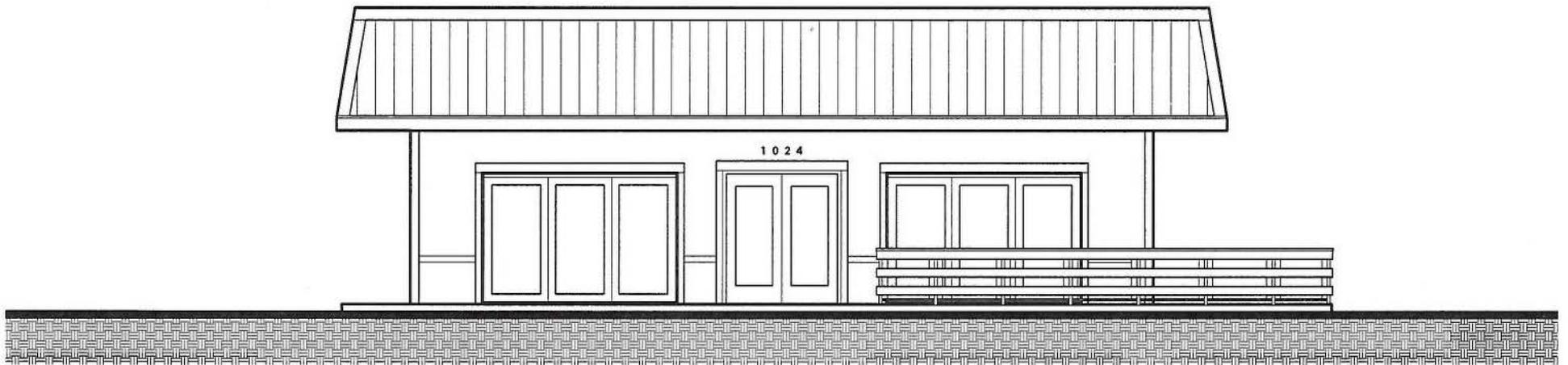


FRAME - SOLID STAIN: SW 3025 - CARIBOU



ROOFING  
EXISTING: TO REMAIN

STOREFRONT  
YKK - DARK BRONZE



# SLAPFISH RESTAURANT

#1024 William Hilton Parkway - Hilton Head Island, South Carolina 29928

COLOR BOARD  
February 26, 2019

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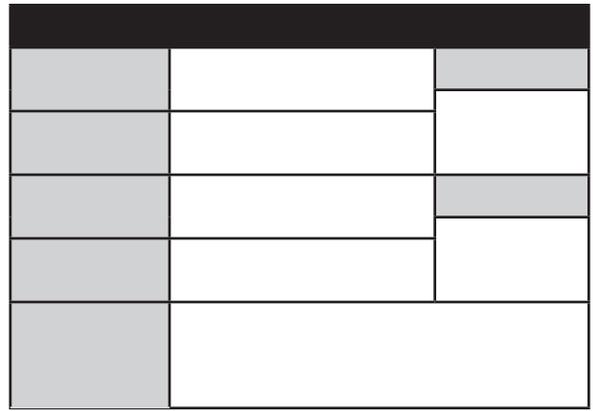
COURT  
ATKINS  
GROUP

These outdoor lights are proposed for use in existing soffits.

# SLMPRO4

## SLIMLED™

4" Round LED Slim Profile Recess Retrofit, 12W, Dimmable Recess Lighting



### Features

#### Body

Durable airtight aluminum body with etched white PMMA diffuser lens for low glare.

#### LED Characteristics

This general application light fixture features a 12 watt LED module that maintains uniform intensity producing up to 800 lumens; with a typical CRI of 80. Available in 2700 K, 3000 K, 3500 K or 4000 K colour temperature.

#### Dimming

100%-10% dimming capability. This fixture is compatible with industry standard TRIAC/ELV dimmers (contact factory for listing of compatible dimmers).

#### Beam Spread

The fixture lens provides 110° beam spread.

#### Mounting

Includes two spring loaded clips to attached to any ceiling material.

#### LED Driver

Extruded aluminum hardware box with 300mA dimmable class II electronic LED driver with 100-135V AC input. Includes an 18" plenum rated FT6 wire with DC 2.1 connector from driver to fixture.

#### Quick Connect push-in terminals

Three "Quick connect" push-in terminals for fast and easy wiring.

#### Operating Temperature

-20°C~40°C (-4°F~104°F)

#### Environment

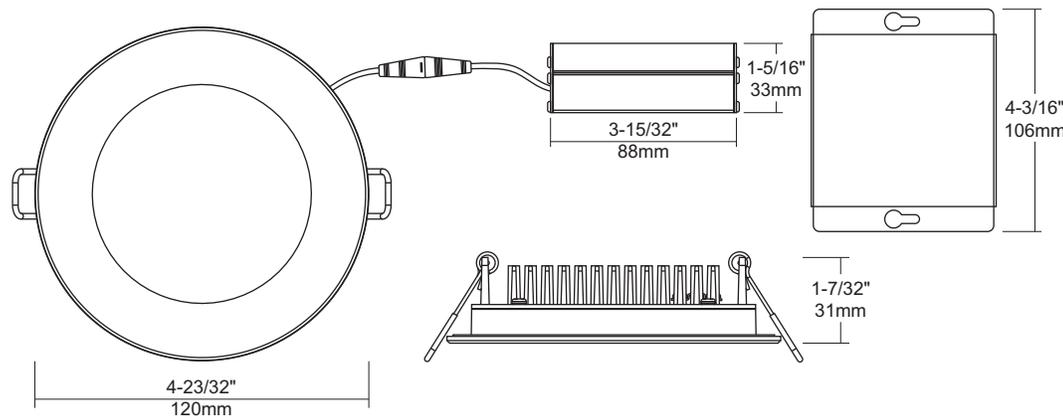
- Suitable for wet locations.
- Suitable for insulated ceiling applications.

SPECIFICATION	
Application	Ceiling Recess Mount
Approved Location	Wet
Beam Angle	110°
CCT	2700 K / 3000 K / 3500 K / 4000 K
Certification	cETLus
Class II	Yes
Colour	BK / BN / SL / WH
CRI	80
Dimming	Yes
Dimming Tech	Phase dimming
Energy Star	Yes
Hole Cut	Ø 4 3/16" (106mm)
Input	100-135V AC
LM80	Yes
Lumens	775 / 800 / 800 / 800 (based on WH)
Lumens per Watt	64.5 / 64.5 / 64.5 / 66.6 (based on WH)
Power Factor	>0.9
Projected Life	70% @ 50,000 hrs
Warranty	Lifetime <sup>1</sup>
Wattage	12W



### Description

The SLMPRO4 is a 12 watt 4" round slim profile light fixture for recess retrofit application. It is a high-performance, easy to install residential and commercial grade downlight solution that offers super high output, energy-efficiency and streamlined design. Suitable for wet locations.



**Notes:** Accessories are sold separately. For additional options please consult your Liteline representative. Due to our continued efforts to improve our products, product specifications are subject to change without notice.

### Ordering Guide

<b>SLMPRO4</b>	Colour Temperature	Driver Options <sup>1</sup>	Trim Finish
	<div style="border: 1px solid black; width: 100px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 100px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 100px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 100px; height: 20px;"></div>	<div style="border: 1px solid black; width: 150px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 150px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 150px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 150px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 150px; height: 20px;"></div>	<div style="border: 1px solid black; width: 80px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 80px; height: 20px; margin-bottom: 5px;"></div> <div style="border: 1px solid black; width: 80px; height: 20px;"></div>
	<p><b>27K</b> : 2700 K</p> <p><b>30K</b> : 3000 K</p> <p><b>35K</b> : 3500 K</p> <p><b>40K</b> : 4000 K</p>	<p>Leave blank for standard 120V driver</p> <p><b>L3</b> : Lutron Hi-Lume® 1% (3 Wire)</p> <p><b>E</b> : Lutron Hi-Lume® 1% (EcoSystem®)</p> <p><b>EM</b> : Emergency Backup, 120~277V, 0-10V</p> <p><b>C</b> : 120~347V, 0-10V</p>	<p><b>BK</b> : Black</p> <p><b>BN</b> : Brushed Nickel</p> <p><b>SL</b> : Silver</p> <p><b>WH</b> : White</p>

<sup>1</sup> Lifetime warranty only applies to fixture and standard driver. All other drivers are 5 year warranty.

## Accessories



**SLM-60-FC**  
60" Flexible connector, for use with SlimLED fixtures.



**P-4020**  
4 1/4" Round pre-mounting plate with driver attachment clip, for 4" SlimLED round fixtures.



**P-NCMK-1**  
New construction mounting kit. Includes hanger bars, brackets and screws.



**VBE-1**  
Vapour barrier extender. For use in new construction applications.



**VBE-2**  
Vapour barrier extender. For use in remodel applications.



**VBE-3**  
Vapour barrier extender. For use in remodel applications.



**VBE-4**  
Vapour barrier extender. For use in remodel applications.

## Compatible Dimmers

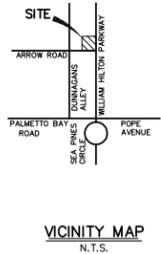
Dimmer Type	Brand	Model	Light Output		Maximum Number of Fixtures per Dimmer	
			Min	Max	Min	Max
CFL/LED	Lutron	DVCL-153	8%	85%	1	14
		CTCL-153	0%	83%	1	1
		MACL-153	0%	80%	1	1
		PD-6WCL-	0%	80%	2	2
	Legrand	HCL453PTC	0%	87%	3	14
	Leviton	6674	10%	90%	1	14
ELV	Lutron	MAELV-300	6%	87%	1	32
		NTELV-300	10%	79%	1	32
	Legrand	H703PTU	4%	98%	2	48
	Cooper	AAL06	0%	87%	2	12
	Leviton	6615	20%	95%	1	48
		IPE04	10%	90%	1	45
		DSE06	9%	99%	1	48
Incandescent	Lutron	D600	0%	82%	1	14
		DV-600P	0%	85%	2	13
	Cooper	R1061	0%	86%	2	13
	Leviton	6633-P	0%	97%	4	14



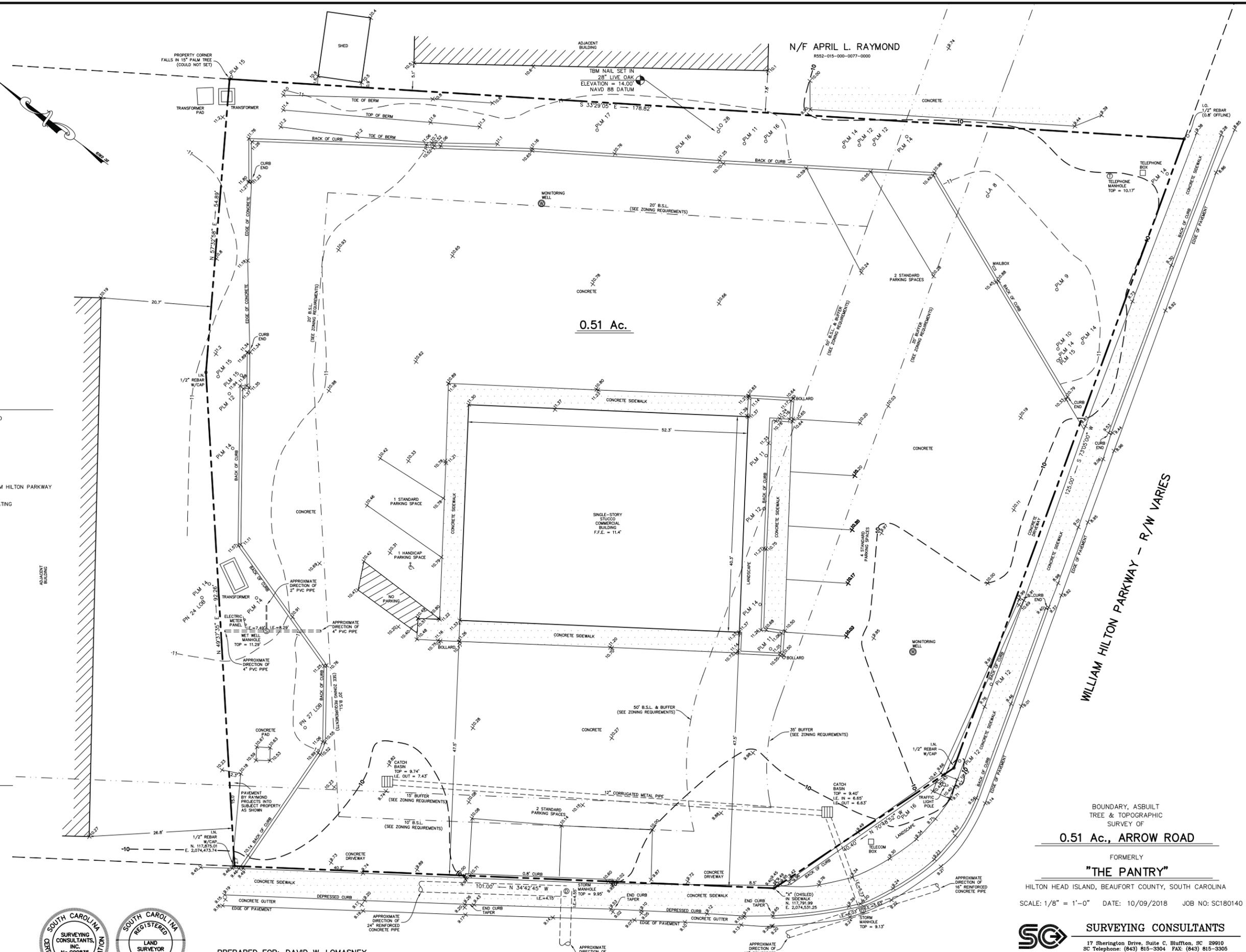








N/F APRIL L. RAYMOND  
R552-015-000-077A-000



**ZONING REQUIREMENTS:**  
RECEIVED 10/08/2018 FROM TAYLOR LADD, SENIOR PLANNER, COMMUNITY DEVELOPMENT DEPARTMENT, TOWN OF HILTON HEAD ISLAND

**ZONED:** LC and COR

**SETBACKS:** ADJACENT STREET WILLIAM HILTON PARKWAY - 50ft.  
ADJACENT STREET ARROW ROAD - 10ft.  
ADJACENT USES - 20ft.

**BUFFERS:** THERE IS NO BUFFER REQUIREMENT ADJACENT TO THE RETAIL BUILDING AND THE CONSIGNMENT STORE. THE ADJACENT STREET BUFFER IS NON-CONFORMING TYPE B, OPTION 2 - 15ft. FOR ARROW ROAD. TYPE E, OPTION 1 - 50ft. or OPTION 2 - 35ft. FOR WILLIAM HILTON PARKWAY

**PARKING:** 1 SPACE PER 100 GFA OF THE BUILDING AND OUTDOOR SEATING

**TOWN OF HILTON HEAD ISLAND LMO SECTION 16-5-1402 DISCLOSURE STATEMENT**

Some or all areas on this plot are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain flood hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

**REFERENCE PLATS:**

1) A BOUNDARY RECONFIGURATION PLAT OF 0.52 AC. & 0.51 AC. PARCELS, WILLIAM HILTON PARKWAY, ARROW ROAD & DUNNIGAN'S ALLEY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 10/04/2012, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 135, PG. 174, 11/30/2012.

**LEGEND:**

○	TREE SIZES ARE INCHES IN DIAMETER
○	SPOT ELEVATION
○	CONTOUR
○	CONC. O. CONCRETE MONUMENT, OLD (FOUND)
○	T.B.M. TEMPORARY BENCH MARK
○	L.O. IRON PIN, OLD (FOUND)
○	LA LAUREL OAK
○	LO LIVE OAK
○	PLM PALM
○	PN LOB LOBLOLLY PINE
○	F.F.E. FINISHED FLOOR ELEVATION
○	I.E. INVERT ELEVATION

**NOTES**

1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

2) AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-D, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0' NGVD 29 DATUM. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.

3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.

4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.

5) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.

6) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

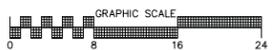


PREPARED FOR: DAVID W. LOMASNEY  
ADDRESS: #153 ARROW ROAD  
TAX PARCEL I.D. NO. R552-015-000-0420-0000

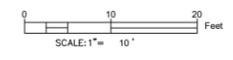
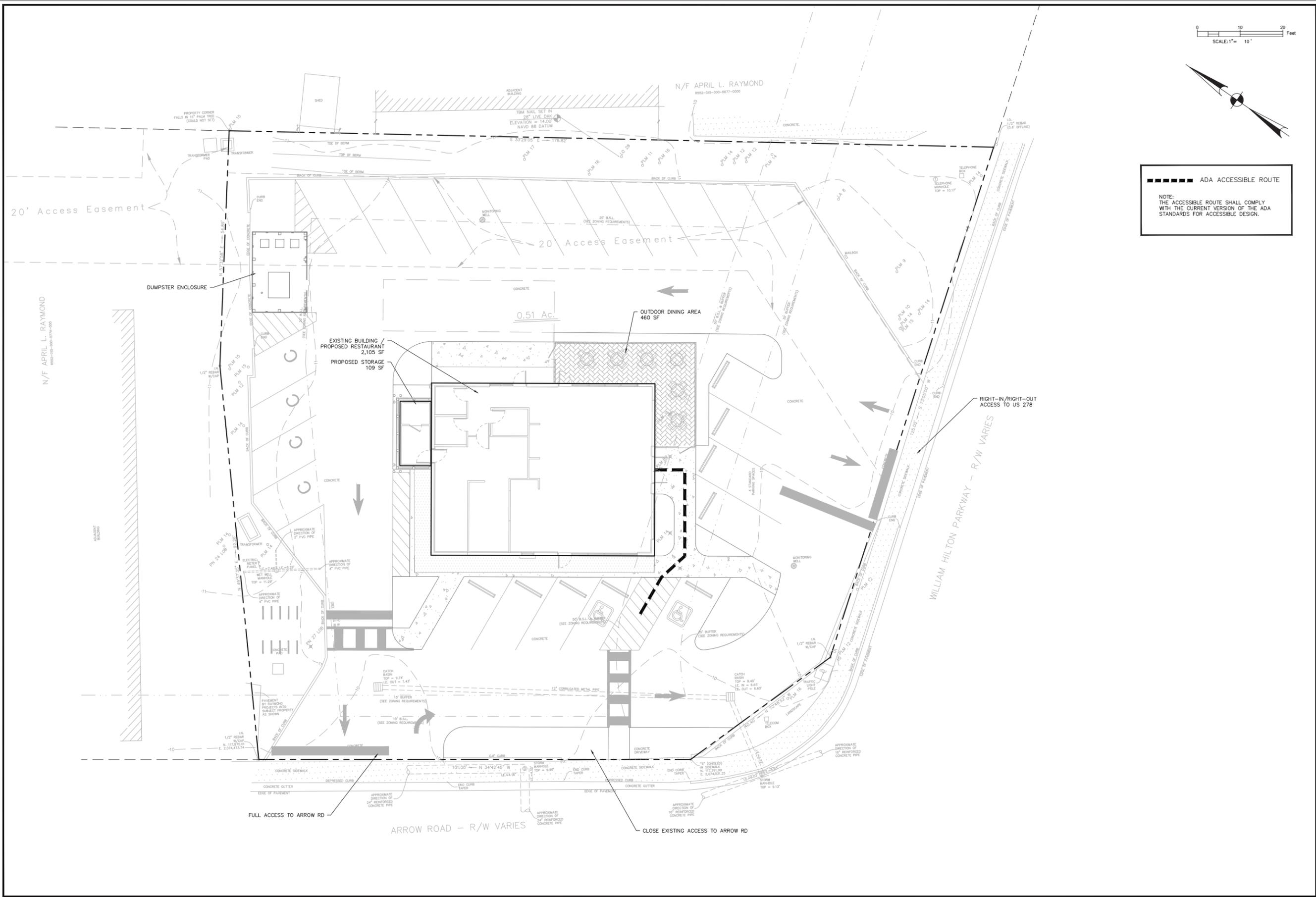
ARROW ROAD - R/W VARIES

BOUNDARY, ASBUILT TREE & TOPOGRAPHIC SURVEY OF  
**0.51 Ac., ARROW ROAD**  
FORMERLY  
**"THE PANTRY"**  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
SCALE: 1/8" = 1'-0" DATE: 10/09/2018 JOB NO: SC180140

**SC SURVEYING CONSULTANTS**  
17 Sherrington Drive, Suite C, Bluffton, SC 29910  
SC Telephone: (843) 815-3304 FAX: (843) 815-3305  
GA Telephone: (912) 828-2775  
www.SurveyingConsultants.com  
Email: SC@SurveyingConsultants.com

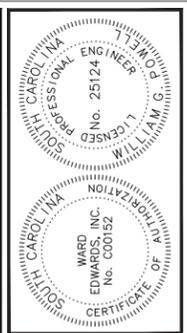


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**----- ADA ACCESSIBLE ROUTE**

NOTE:  
THE ACCESSIBLE ROUTE SHALL COMPLY WITH THE CURRENT VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN.



NO.	DESCRIPTION	DATE
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**Ward Edwards ENGINEERING**  
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910  
 PH (843) 837-5250 / FAX (843) 837-2558  
 WWW.WARDEDWARDS.COM

**SLAPFISH RESTAURANT**  
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
**SFH HHI, LLC**  
 Hilton Head Island, South Carolina  
**SITE PLAN**

VERTICAL DATUM:  
NAVD88

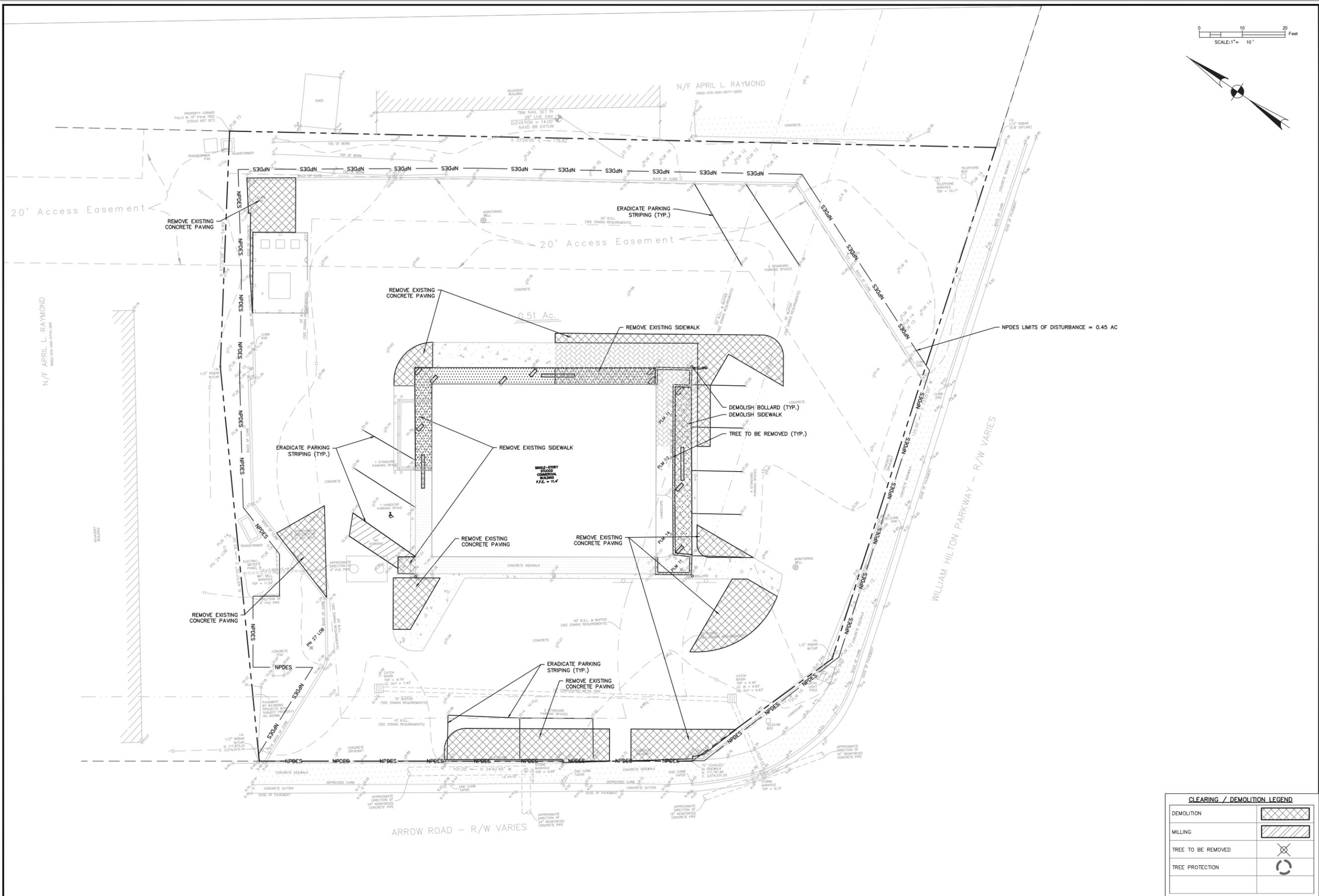
PROJECT #:	180245
DATE:	01/21/19
DESIGNED BY:	JCH
CHECKED BY:	WGR

**SHEET C201**

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CLEARING / DEMOLITION LEGEND	
DEMOLITION	
MILLING	
TREE TO BE REMOVED	
TREE PROTECTION	

Professional Engineer Seal for Ward Edwards, Inc. License No. 25124, State of South Carolina. The seal includes the text 'SOUTH CAROLINA PROFESSIONAL ENGINEER', 'WARD EDWARDS, INC.', 'LICENSED PROFESSIONAL ENGINEER', and 'STATE OF SOUTH CAROLINA'.

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**Ward Edwards ENGINEERING**  
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910  
 PH (843) 837-5250 / FAX (843) 837-2558  
 WWW.WARDEDWARDS.COM

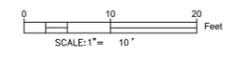
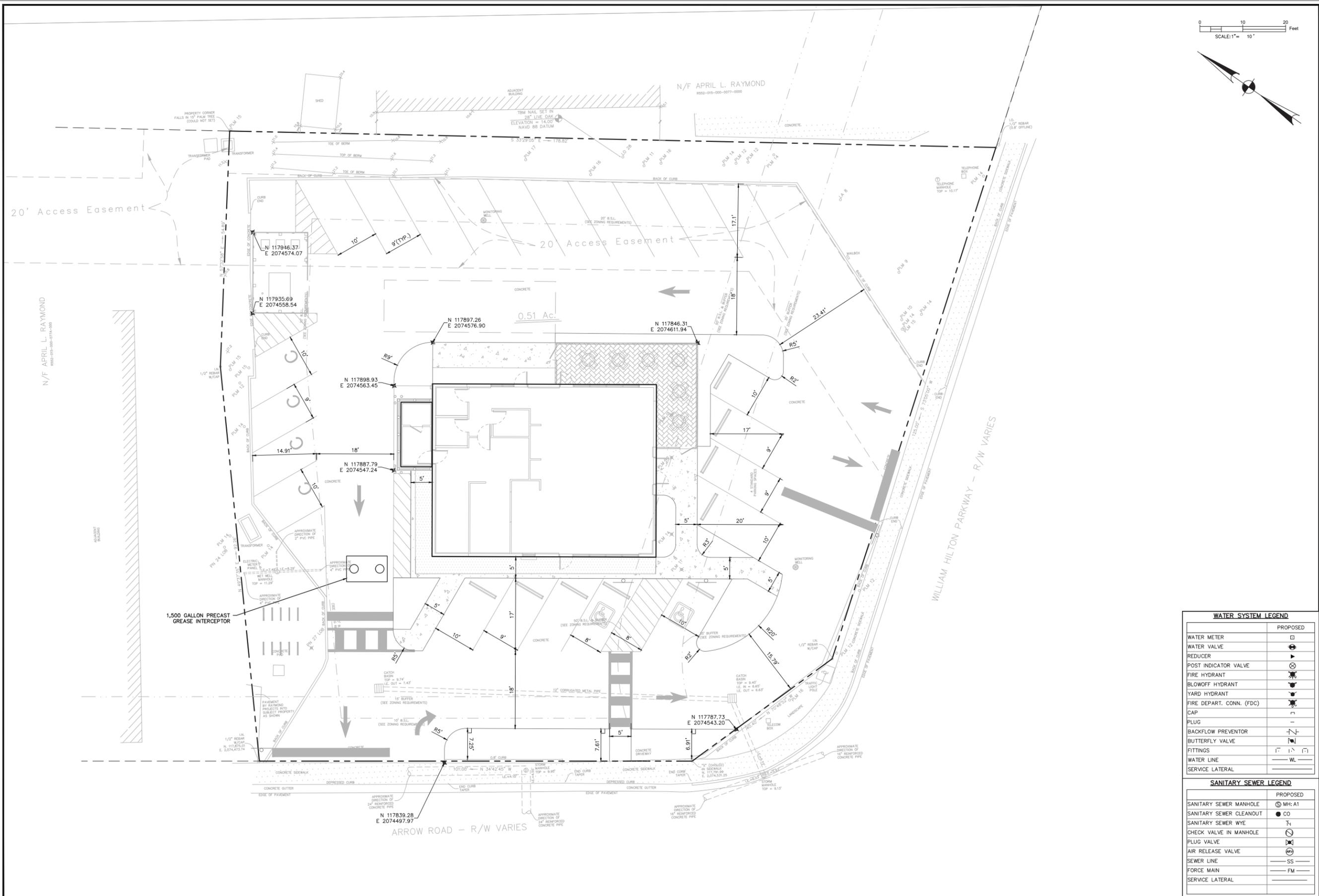
**SLAPFISH RESTAURANT**  
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
**SFH HHI, LLC**  
 Hilton Head Island, South Carolina  
**CLEARING & DEMOLITION PLAN**

VERTICAL DATUM:	NAVD88
PROJECT #:	180245
DATE:	01/21/19
DESIGNED BY:	JCM
CHECKED BY:	WGR
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WATER SYSTEM LEGEND	
	PROPOSED
WATER METER	⊠
WATER VALVE	⊕
REDUCER	⊖
POST INDICATOR VALVE	⊗
FIRE HYDRANT	⊙
BLOWOFF HYDRANT	⊙
YARD HYDRANT	⊙
FIRE DEPART. CONN. (FDC)	⊙
CAP	⊙
PLUG	⊙
BACKFLOW PREVENTOR	⊙
BUTTERFLY VALVE	⊙
FITTINGS	⊙
WATER LINE	— WL —
SERVICE LATERAL	— SL —

SANITARY SEWER LEGEND	
	PROPOSED
SANITARY SEWER MANHOLE	⊙ MH: A1
SANITARY SEWER CLEANOUT	⊙ CO
SANITARY SEWER WYE	⊙
CHECK VALVE IN MANHOLE	⊙
PLUG VALVE	⊙
AIR RELEASE VALVE	⊙
SEWER LINE	— SS —
FORCE MAIN	— FM —
SERVICE LATERAL	— SL —

Professional Engineer Seal for Ward Edwards, Inc. License No. 25124, State of South Carolina. The seal includes the text 'NOT VALID UNTIL 12/31/2024' and 'CERTIFICATE OF PROFESSIONAL QUALIFICATION'.

NO.	DESCRIPTION	DATE
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**Ward Edwards ENGINEERING**  
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910  
 PH (843) 837-5250 / FAX (843) 837-2558  
 WWW.WARDEDWARDS.COM

**SLAPFISH RESTAURANT**  
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
**SFH HHI, LLC**  
 Hilton Head Island, South Carolina  
**SITE LAYOUT & UTILITY PLAN**

VERTICAL DATUM:  
NAVD88

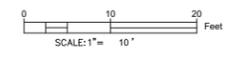
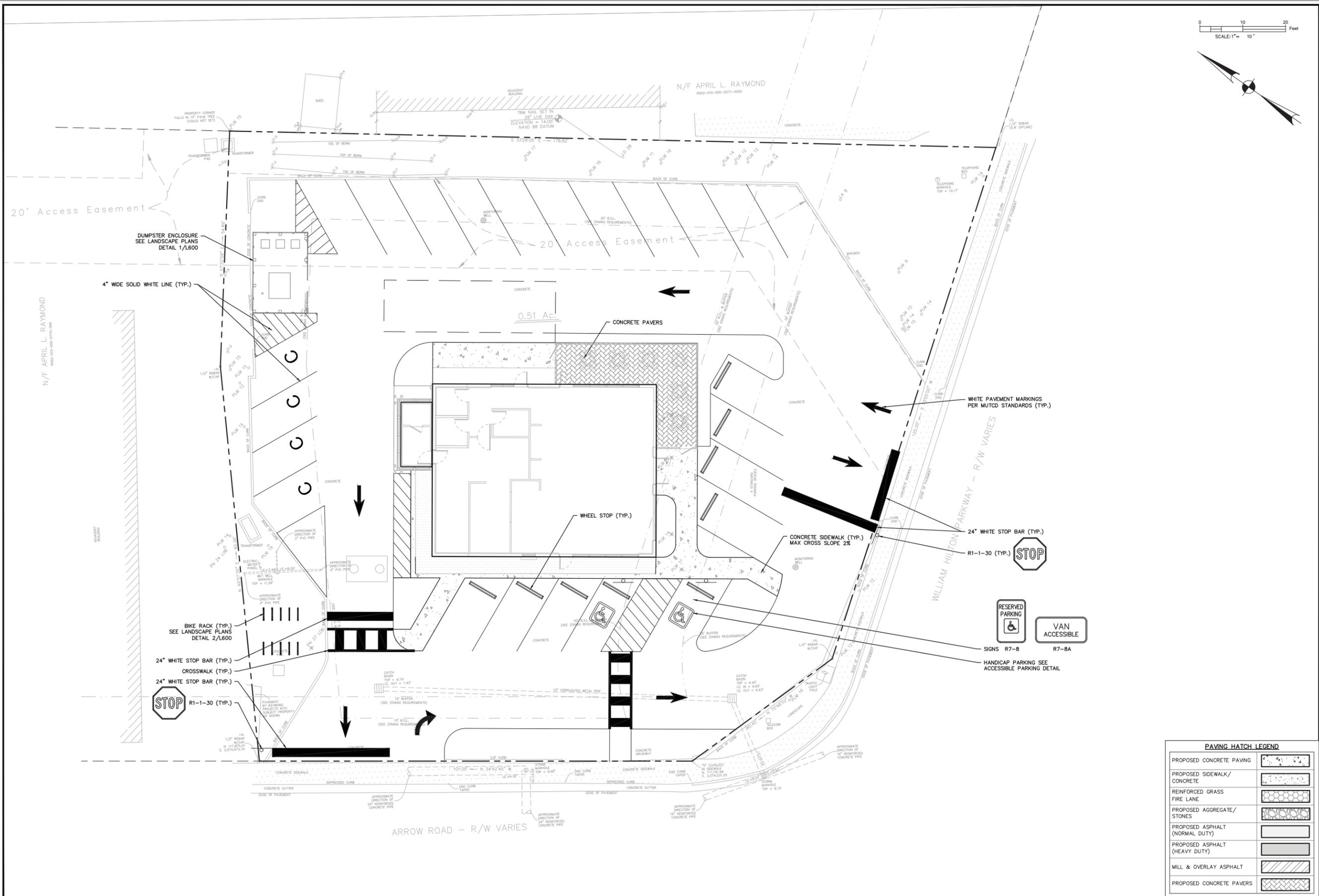
PROJECT #: 180245  
 DATE: 01/21/19  
 DESIGNED BY: JCH  
 CHECKED BY: WGB

**SHEET C601**

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PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS	
FIRE LANE	
PROPOSED AGGREGATE/ STONES	
PROPOSED ASPHALT (NORMAL DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED CONCRETE PAVERS	

Professional Engineer Seal for Ward Edwards, Inc. License No. 25124, State of South Carolina. The seal is circular and contains the text 'SOUTH CAROLINA PROFESSIONAL ENGINEER', 'WARD EDWARDS, INC.', 'No. 25124', and 'LICENSED PROFESSIONAL ENGINEER'. Below the seal is the text 'NOT FOR CONSTRUCTION'.

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 WWW.WARDEDWARDS.COM

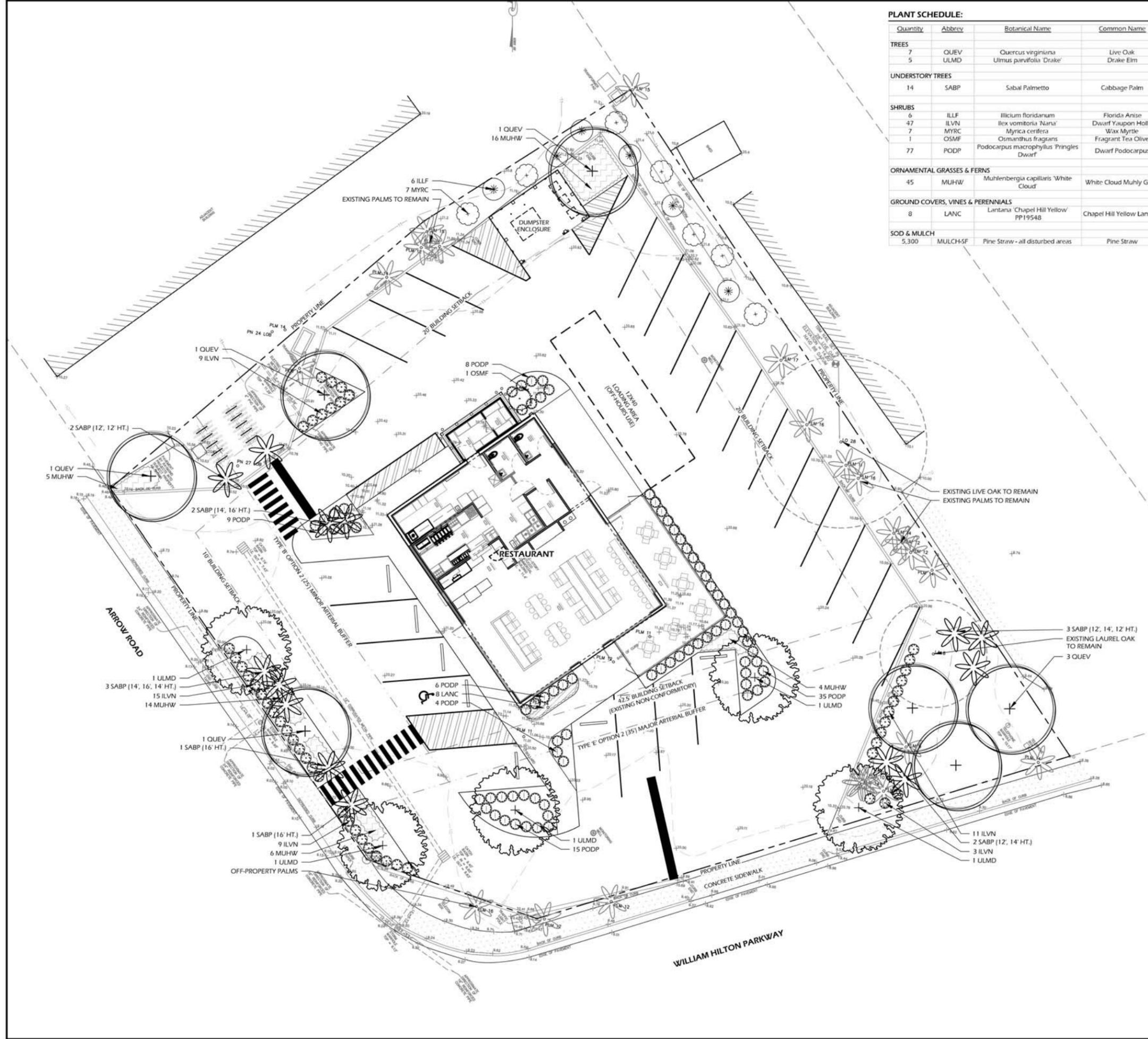
**SLAPFISH RESTAURANT**  
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
**SFH HHI, LLC**  
 Hilton Head Island, South Carolina  
**PAVING & PAVEMENT MARKING PLAN**

PROJECT #:	180245
DATE:	01/21/19
DESIGNED BY:	JCH
CHECKED BY:	WGB

**SHEET C701**

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**PLANT SCHEDULE:**

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
<b>TREES</b>								
7	QUEV	Quercus virginiana	Live Oak	12'-14'	5'-6'	Cont.	2'	Full
5	ULMD	Ulmus parvifolia 'Drake'	Drake Elm	11'-12'	4'-5'	45 gal.	2.5'	Full
<b>UNDERSTORY TREES</b>								
14	SABP	Sabal Palmetto	Cabbage Palm	12'-16'	6'-8'	Cont.	-	Refoliated, See plan for heights
<b>SHRUBS</b>								
6	ILLF	Illicium floridanum	Florida Anise	30'-36"	24'-30"	7 gal.	-	Full
47	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18'-24"	18'-24"	7 gal.	-	Full
7	MYRC	Myrica cerifera	Wax Myrtle	30'-36"	24'-30"	7 gal.	-	Full
1	OSMF	Osmanthus fragrans	Fragrant Tea Olive	36'-42"	18'-24"	7 gal.	-	Full
77	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24"	16'-20"	7 gal.	-	Full
<b>ORNAMENTAL GRASSES &amp; FERNS</b>								
45	MUHW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	14'-16'	10'-16"	1 gal.	30" O.C.	Full
<b>GROUND COVERS, VINES &amp; PERENNIALS</b>								
8	LANC	Lantana 'Chapel Hill Yellow' PP19548	Chapel Hill Yellow Lantana	8'-12"	8'-12"	1 gal.	18" O.C.	Yellow Flowers, Full
<b>SOD &amp; MULCH</b>								
5,300	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

**WILLIAM HILTON PARKWAY  
MAJOR ARTERIAL  
BUFFER SUMMARY**

**BUFFER TYPE 'E' OPTION 2 - 35' WIDTH**  
 REQUIRED PLANTING PER 100 LF:  
 OVERSTORY TREE: 5  
 UNDERSTORY TREE: 7  
 SHRUBS: 25

**165 LF FRONTAGE**  
 REQUIRED PLANTS FOR 165 LF:  
 OVERSTORY TREE: 8  
 UNDERSTORY TREE: 12  
 SHRUBS: 41

**PLANTS PROVIDED:**  
 OVERSTORY: 8 TOTAL  
 (7 PROPOSED, 1 EXISTING)  
 UNDERSTORY: 12 TOTAL  
 (5 PROPOSED, 7 EXISTING)  
 SHRUBS: 41

**ARROW ROAD  
MINOR ARTERIAL  
BUFFER SUMMARY**

**BUFFER TYPE 'B' OPTION 1 - 25' WIDTH**  
 REQUIRED PLANTING PER 100 LF:  
 OVERSTORY TREE: 3  
 UNDERSTORY TREE: 6  
 SHRUBS: 10

**101 LF FRONTAGE**  
 REQUIRED PLANTS FOR 101 LF:  
 OVERSTORY TREE: 3  
 UNDERSTORY TREE: 6  
 SHRUBS: 10

**PLANTS PROVIDED:**  
 OVERSTORY: 3  
 UNDERSTORY: 6  
 SHRUBS: 15

SITE DEVELOPMENT PLANS FOR

**SLAPFISH RESTAURANT**

1024 WILLIAM HILTON PARKWAY  
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB 26, 2019  
 PROJECT NO.: 18116.01  
 DRAWN BY: JC / JM  
 CHECKED BY: DK

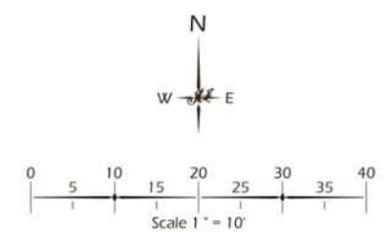
**PRELIMINARY  
SUBMITTAL PLAN,  
NOT FOR  
CONSTRUCTION**

REVISIONS:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER

**L500**



**Winters Jones-Keefe Ltd.**  
landscape architecture  
land planning

W. W. Jones-Keefe Ltd., LLC  
23 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | Ph. 843.757.7411

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 ANY FORM WITHOUT PRIOR WRITTEN  
 CONSENT OF WJK LTD.  
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS  
 FOR  
**SLAPFISH RESTAURANT**  
 1024 WILLIAM HILTON PARKWAY  
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE:	FEB 26, 2019
PROJECT NO.:	18116.01
DRAWN BY:	JC / JM
CHECKED BY:	DK

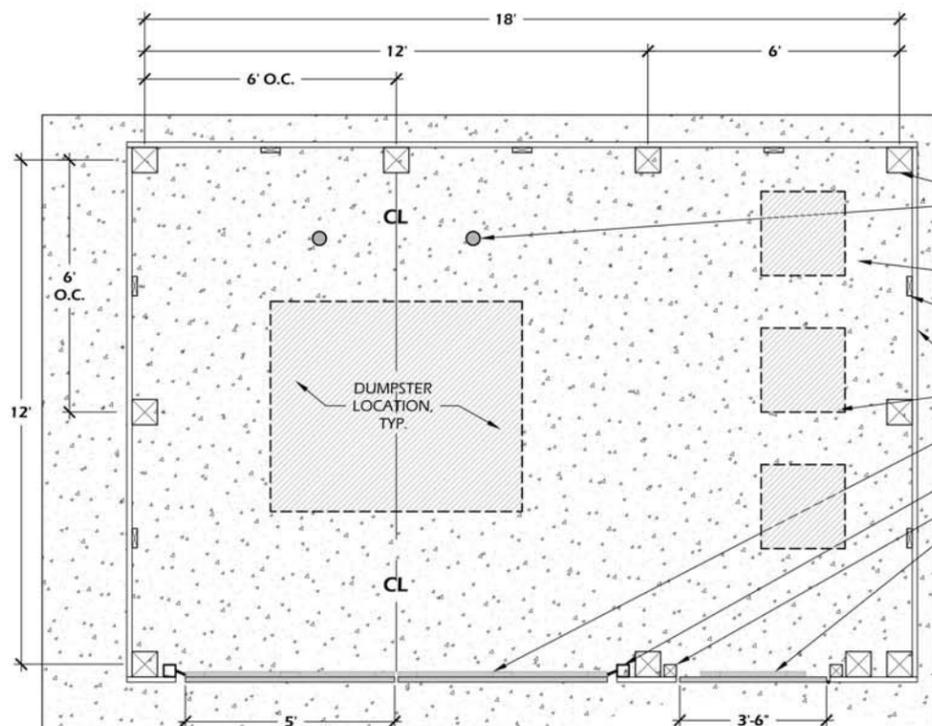
**PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:

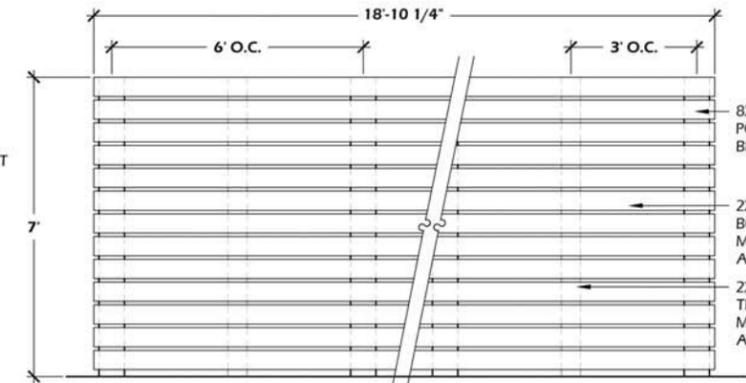

DRAWING TITLE  
**SITE DETAILS**

DRAWING NUMBER

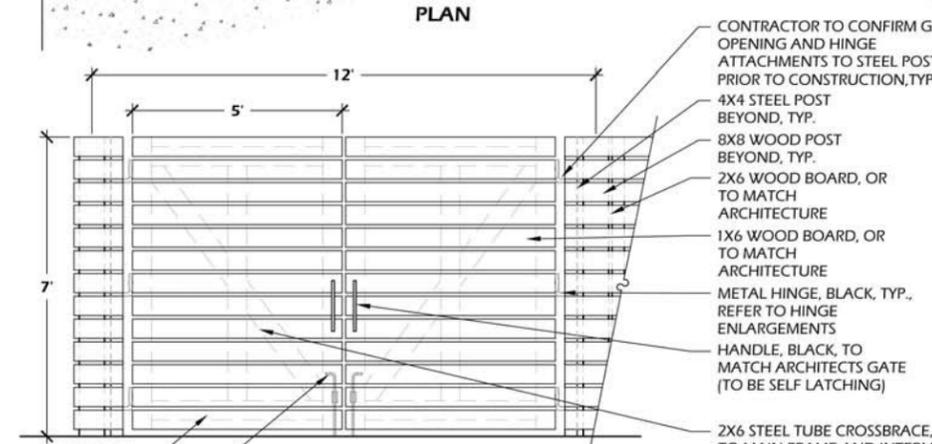
**L600**



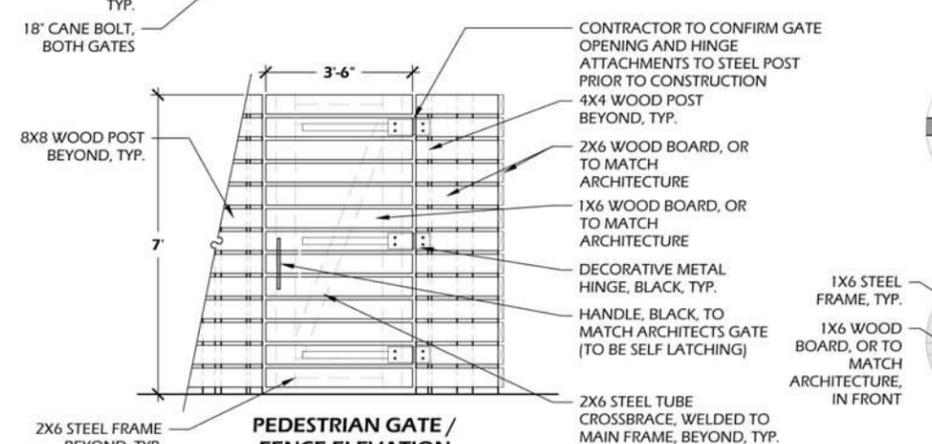
**PLAN**



**FENCE BACK ELEVATION**

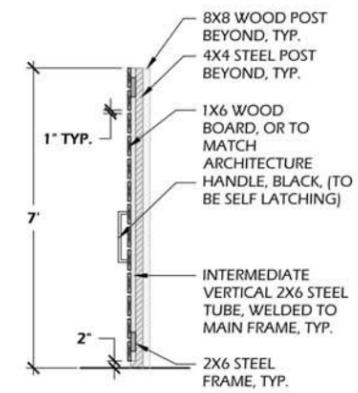


**ACCESS GATE ELEVATION**

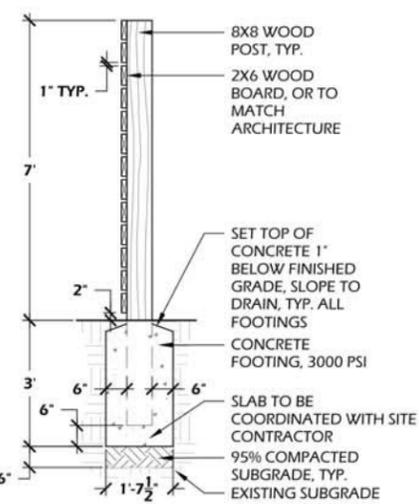


**PEDESTRIAN GATE / FENCE ELEVATION**

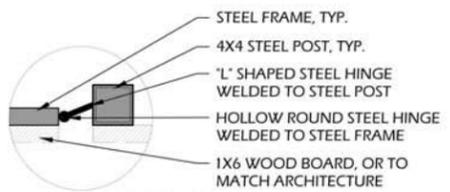
- 8X8 WOOD POST, TYP.
- 4" PIPE CONCRETE FILLED BOLLARD, 4' HIGH, TYP. (PAINT GLOSS YELLOW)
- CONCRETE PAD, SEE CIVIL PLANS, TYP.
- 2X6 WOOD TRIM, OR TO MATCH ARCHITECTURE
- 2X6 WOOD BOARD, OR TO MATCH ARCHITECTURE
- APPROXIMATE TRASH CAN LOCATIONS
- ACCESS GATE, REFER TO SECTION
- 4X4 STEEL POST, TYP.
- 4X4 WOOD POST, TYP.
- PEDESTRIAN ACCESS GATE, REFER TO SECTION



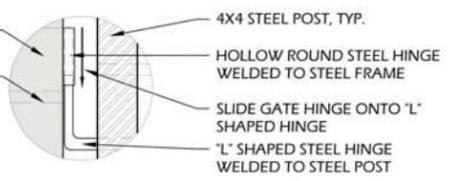
**GATE SECTION**



**FENCE SECTION**



**HINGE PLAN N.T.S.**



**HINGE ELEVATION N.T.S.**

**NOTES:**

- PRIOR TO FABRICATION VERIFY ROAD/DRIVE GRADES AND CLEARANCE FOR GATE OPENING. VERIFY SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO GATE OPENING WIDTHS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STRUCTURAL DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL LUMBER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE. COLOR TO MATCH PRIMARY BUILDING COLOR. **FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.**
- ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
- CONTRACTOR TO PROVIDE SAMPLE OF ALL METAL ATTACHMENTS, HINGES, ETC. TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION. COLOR TO BE BLACK. **FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.**
- ALL STEEL FRAMING, BOLLARDS, AND POSTS TO HAVE POWDER COATED PAINT. COLOR TO BE HOT-DIPPED GALVANIZED STEEL. **FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.**

**Circle Bike Rack - 2 Bike Capacity**



Select a color: Black

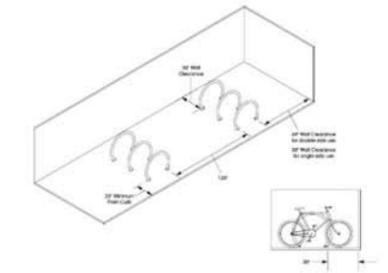
**MANUFACTURER INFORMATION:**  
 ULINE  
 705 BRASELTON INDUSTRIAL BLVD.  
 BRASELTON, GA 30517  
 PHONE: 1(800) 295-5510  
 WEB: WWW.ULINE.COM

**MODEL:** H-6572BL  
**COLOR:** BLACK  
**BIKE CAPACITY:** 2

OR APPROVED EQUAL

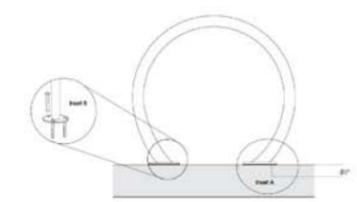
CONTRACTOR TO PROVIDE CONCRETE FOOTERS FOR MOUNTING.

**SPACE REQUIREMENTS**



**MOUNTING**

- Drill a 1/2" diameter hole into the concrete, block or stone to a depth of 3 1/2". (See Detail A)
- Blow out the dust in the hole.
- Drive the spigot Bolt to rock base and into drilled hole. (See Detail B)
- Repeat on remaining spigots.





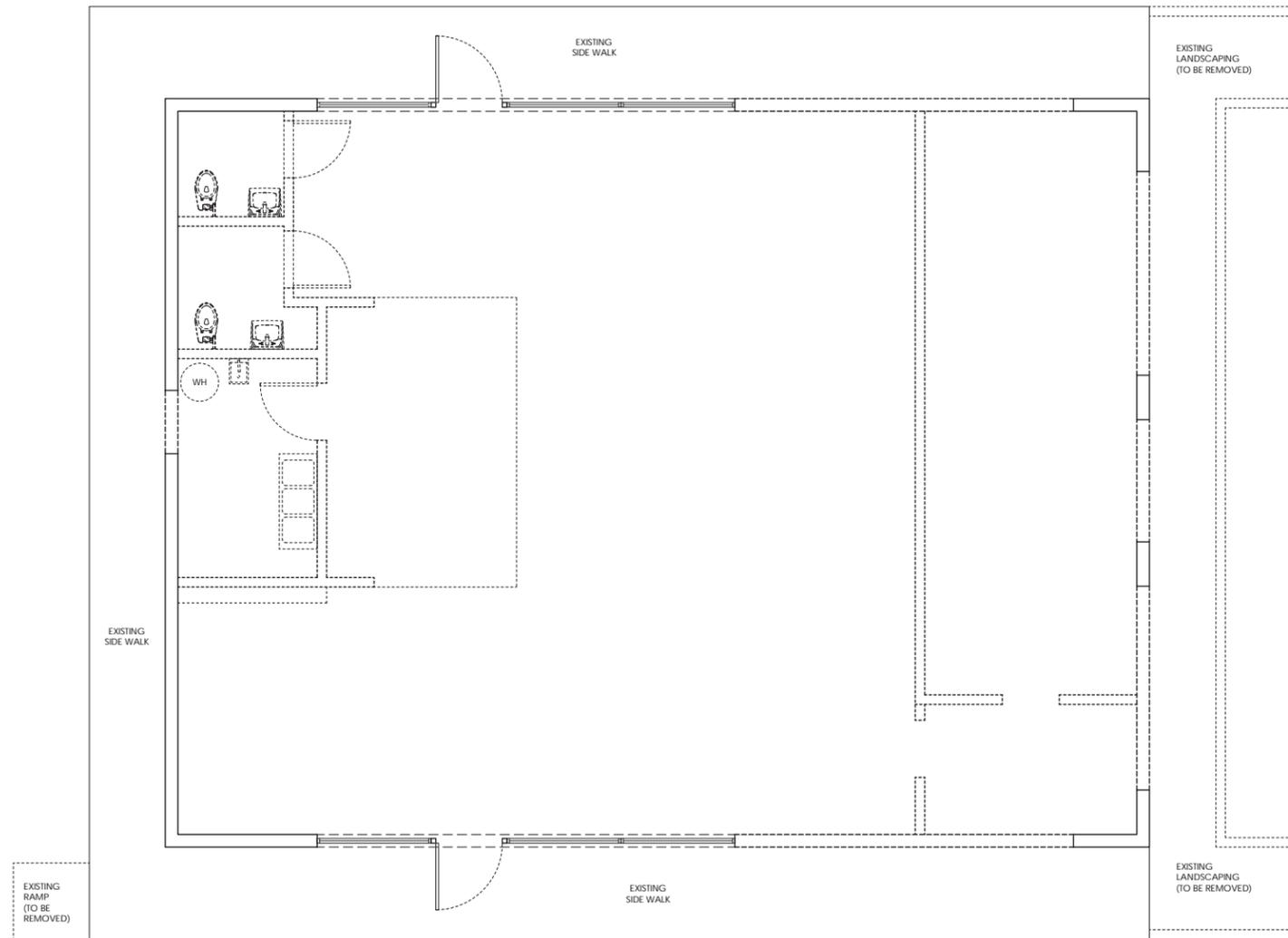
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SLAPFISH RESTAURANT

1024 WILLIAM HILTON PARKWAY  
HILTON HEAD ISLAND, SC 29928



1  
A2.1 EXISTING FLOOR PLAN  
SCALE 1/4" = 1'-0"

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ISSUE	DATE	DESCRIPTION

PROJECT # : 18-070  
PROJECT CONTACT : JB  
DATE: 02/26/2019

EXISTING  
FLOOR  
PLAN  
**A2.1**



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1  
A2.2  
NEW FLOOR PLAN  
SCALE 1/4" = 1'-0"

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DATE: 02/26/2019

NEW  
FLOOR  
PLAN  
A2.2





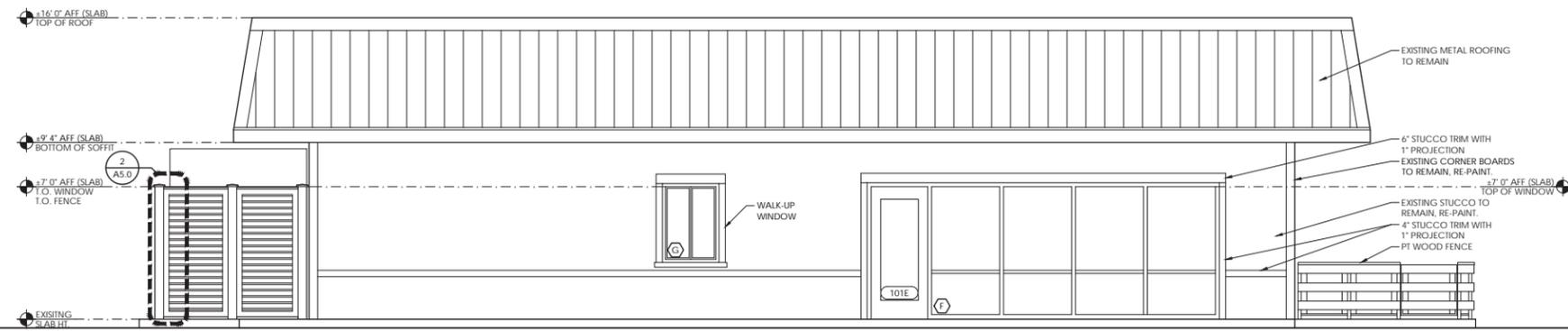
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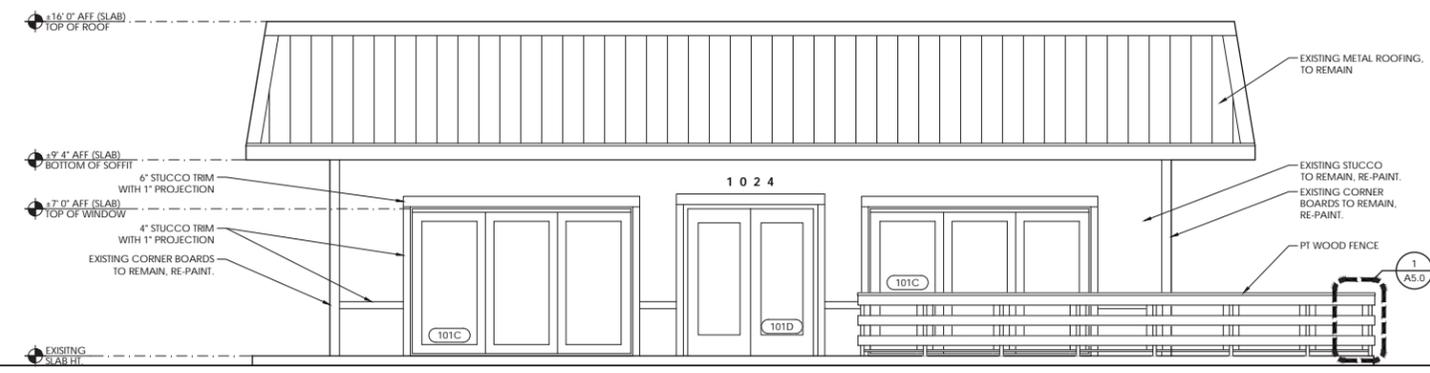
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SLAPFISH RESTAURANT

1024 WILLIAM HILTON PARKWAY  
HILTON HEAD ISLAND, SC 29928



1 WEST ELEVATION - ARROW ROAD  
A3.0 SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION - HWY 278  
A3.0 SCALE 1/4" = 1'-0"

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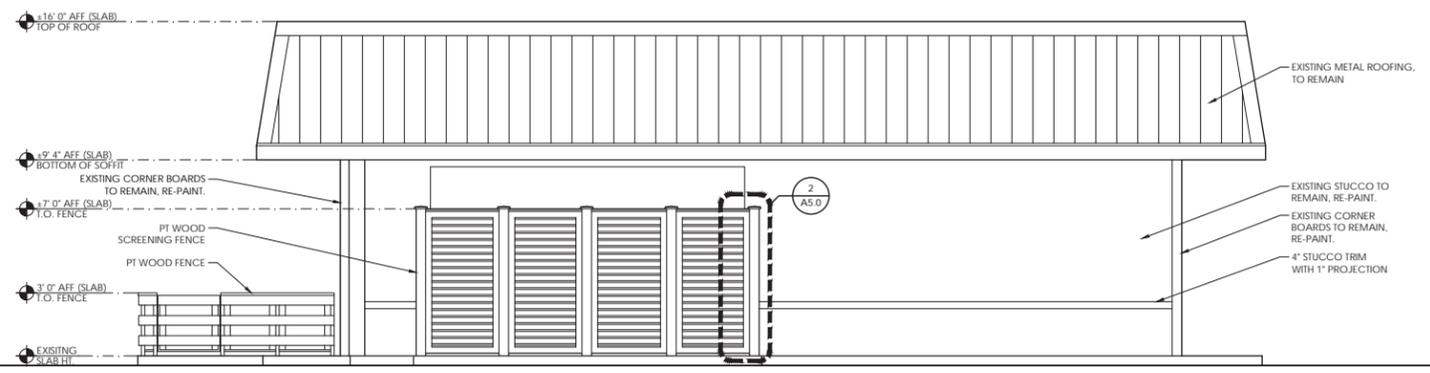
PROJECT # : 18-070  
PROJECT CONTACT : JB  
DATE : 02/26/2019

EXTERIOR  
ELEVATIONS  
**A3.0**

MATERIAL SELECTIONS		
MATERIAL	MANUFACTURER	COLOR
ALUMINUM STOREFRONT	YKK	DARK BRONZE
BI-FOLD DOORS	MARVIN	BRONZE
STUCCO RE-PAINT	SHERWIN WILLIAMS	WORLDLY GRAY
COOLER FENCE	SHERWIN WILLIAMS	SOLID STAIN - CARIBOU
DUMPSTER FENCE	SHERWIN WILLIAMS	SOLID STAIN - CARIBOU
OUTDOOR DINING FENCE	SHERWIN WILLIAMS	SOLID STAIN - CARIBOU / SEMI-TRANSPARENT STAIN - SPICE CHEST



1 EAST ELEVATION  
A3.1 SCALE 1/4" = 1'-0"



2 NORTH ELEVATION  
A3.1 SCALE 1/4" = 1'-0"



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SLAPFISH RESTAURANT

1024 WILLIAM HILTON PARKWAY  
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ISSUE	DATE	DESCRIPTION

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EXTERIOR  
ELEVATIONS  
**A3.1**



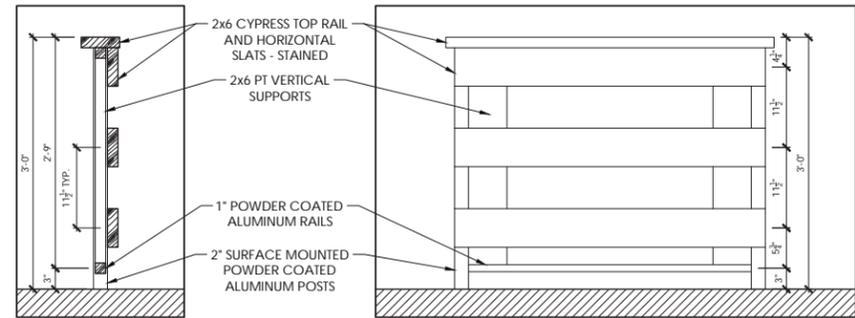
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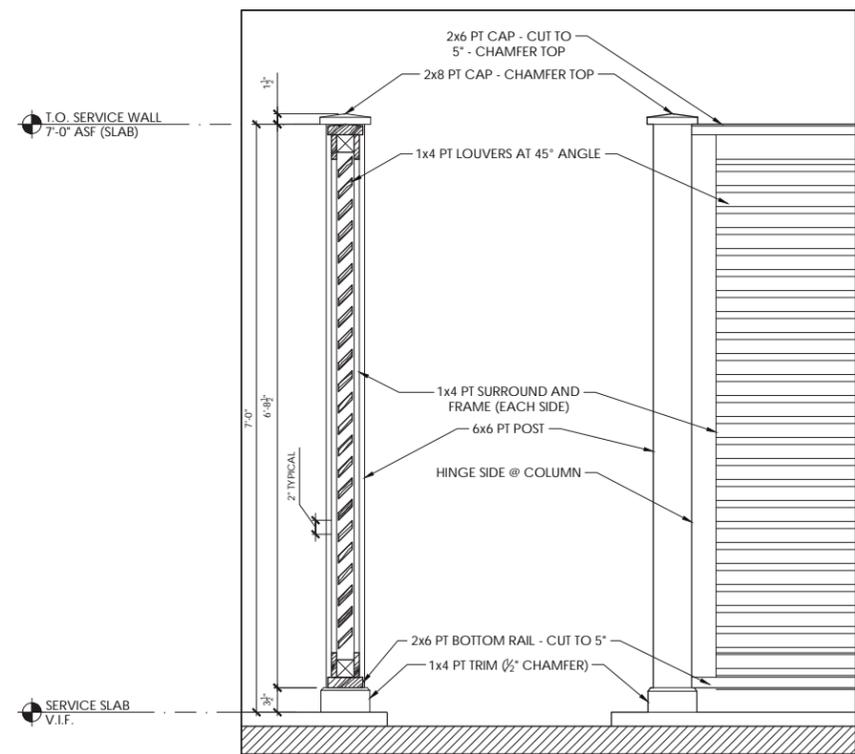
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SLAPFISH RESTAURANT

1024 WILLIAM HILTON PARKWAY  
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1 PATIO RAILING DETAIL  
SCALE 1" = 1'-0"



2 FENCE DETAIL  
SCALE 1" = 1'-0"

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ISSUE	DATE	DESCRIPTION

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DETAILS  
**A5.0**





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SLAPFISH RESTAURANT

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EAST ELEVATION  
SCALE 3/8" = 1'-0"



SOUTH ELEVATION - HWY 278  
SCALE 3/8" = 1'-0"

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ISSUE	DATE	DESCRIPTION

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EXTERIOR  
ELEVATIONS



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**SLAPFISH RESTAURANT**

1024 WILLIAM HILTON PARKWAY  
HILTON HEAD ISLAND, SC 29928



WEST ELEVATION ARROW ROAD  
SCALE 3/8" = 1'-0"



NORTH ELEVATION  
SCALE 3/8" = 1'-0"

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ISSUE	DATE	DESCRIPTION

PROJECT # : 18-070  
PROJECT CONTACT : JB  
DATE : 02/26/2019

**EXTERIOR  
ELEVATIONS**

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Slapfish

DRB#: DRB-000510-2019

DATE: March 1, 2019

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Remove the pavement on the southwest side of the dumpster enclosure to make space for additional planting for review and approval by Staff.

### ***MISC COMMENTS/QUESTIONS***
