



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, December 10, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes** – Meeting of November 26, 2019
- 6. Unfinished Business**
 - a. *Alteration/Addition*
 - i. 55 Gardner Drive, DRB-002447-2019
- 7. New Business**
 - a. *Alteration/Addition*
 - i. Burkes Outlet, DRB-002333-2019
 - ii. Port Royal Plaza Renovations, DRB-002433-2019
 - iii. Fishcamp, DRB-002450-2019
 - iv. Scott's Patio Roof Extension, DRB-002452-2019
 - v. Coastal States Bank, DRB-002459-2019
 - b. *New Development – Conceptual*
 - i. HHI Go Kart Facility, DRB-002454-2019
 - ii. Smokehouse, DRB-002461-2019
- 8. Appearance by Citizens**
- 9. Board Business**
- 10. Staff Report**
 - a. Minor Corridor Report
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board
Tuesday, November 26, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Cathy Foss, David McAllister, John Moleski, Brian Witmer

Absent from the Board: Vice Chairman Michael Gentemann (excused), Debbie Remke (excused)

Present from Town Council: Tamara Becker

Present from Town Staff: Anne Cyran, Senior Planner; Chris Darnell, Urban Designer; Taylor Ladd, Senior Planner; Teri Lewis, Deputy Director of Community Development; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of November 12, 2019

Ms. Foss moved to approve the minutes of the November 12, 2019 regular meeting. Mr. Witmer seconded. The motion passed with a vote of 5-0-0.

6. New Business

a. New Development – Final

i. Palmetto Business, DRB-002359-2019

Mr. Darnell presented the project as provided in the Board's agenda package including Staff's comments. Since the agenda package was posted, the applicant addressed two of Staff's conditions to replace the Crepe Myrtle in the parking lot island with a canopy tree and replace Sweet Viburnum and Philodendron with native species. Staff recommends approval with the following conditions:

1. Provide the necessary tree mitigation per the LMO.
2. Provide a plan or plans that illustrate any site lighting and exterior building lights.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board complimented the architecture and colors. The Board expressed concerns that the tree mitigation requirement has not been met and therefore the landscape plan will most likely alter from the proposed plan. The Board expressed areas of concern regarding landscaping including more landscape material between the parking area and the adjacent property. Although the live oaks do not appear to be in conflict with the roof line, consider putting smaller trees against the building and moving the live oaks farther out. A revised landscape plan to include the mitigation requirements will need to be submitted for the Board's review. The Board discussed shifting parking lot lights in conflict with a live oak.

The proposed fence has slats on all sides except for the back side which is proposed to be chain link. Most of the Board members were amenable to the portion of the fence being chain link as it will be located at the back side of the building, powder coated a nature blending color, and covered with Confederate Jasmine. One Board member was not in favor of the chain link fence as the Design Guide calls for all four sides of the building to be considered. The fence will need to be relocated out of the setback and meet height regulations per the LMO. The Board made additional comments and inquiries regarding materials, finishes, and HVAC compressor screening.

Ms. Foss moved to approve DRB-002359-2019 with the following conditions:

1. The landscape plan shall return for DRB review and approval after mitigation requirements are met per the LMO.
2. The lighting plan shall be revised and submitted with the landscape plan for DRB review and approval.
3. The fencing location shall be revised as required by the LMO and submitted for DRB review and approval.
4. The chain link fence at the service yard shall be powder coated dark brown.

Mr. McAllister seconded. The motion passed with a vote of 4-1-0. Chairman Strecker opposed.

7. Appearance by Citizens – None

8. Board Business – None

9. Staff Report

- a. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the last meeting.

10. Adjournment

The meeting was adjourned at 1:58 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood + Partners Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: (843) 681-6618 x 230 Fax: _____ E-mail: ttheodore@woodandpartners.com
 Project Name: 55 Gardner Dr. - Multi-Family Project Address: 55 Gardner Dr., Hilton Head Island, SC 29925
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 9 8 A 0 0 0 0
 Zoning District: PD-1 (Multi-Family Residential Overlay District(s): COR (Corridor Overlay District)
Indigo Run

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100 Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

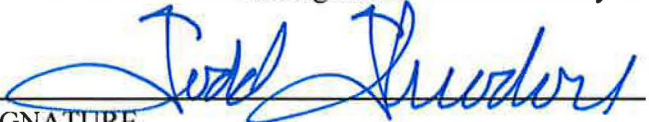
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

11-25-2019
DATE

55 Gardner Drive

Hilton Head Island, SC

December 10, 2019

DRB – 002262-2019

SEE BELOW FOR RESPONSES TO THE TWO COMMENTS REQUIRING REVIEW & APPROVAL BY THE BOARD. ADDITIONAL CONDITIONS WILL BE ADDRESSED WITH TOWN STAFF AS OUTLINED IN NOTICE OF ACTION DATED NOVEMBER 18, 2019.

APPLICATION MATERIAL:

- 5) *Submit a color and material board for Design Review Board (DRB) review and approval:*
- a. *Light gray mortar and railings in lieu of white.*
 - b. *Color P1 shall be a light gray and could also be the railing color.*
 - c. *Vinyl window color*
 - d. *Garage Door Color*

A physical material board has been submitted for review that has been revised based on previous comments received by the board.

- 7) *Submit a lighting plan for exterior building light fixtures with cut sheets for the associated light fixtures for DRB review and approval.*

A lighting plan for the exterior building has been submitted as well as detailed cutsheets of the specified light fixtures. All light fixtures are to be 3,000k or less.

Applicant:

Todd Theodore, PLA
Wood + Partners Inc.

TTheodore@woodandpartners.com

843-681-6618 ext. 230



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: 55 Gardner Drive **PROJECT #:** DRB-002262-2019
PROJECT ADDRESS: 55 Gardner Drive
CATEGORY: New Development – Final
ACTION DATE: November 12, 2019 **NOTICE DATE:** November 18, 2019
APPLICANT/AGENT: Todd Theodore, Wood+Partners Inc.
7 Lafayette Place
Hilton Head Island, SC 29926
Email: ttheodore@woodandpartners.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. Revise site lighting for Town Staff review and approval as follows:
 - a. On the plans, revise the building “Uplight” and pickle ball court lights specification to 3000K or less.
 - b. Shield the back parking lot lights on the southern property line as on the northern part of the site.
2. Revise the color specification of the truncated domes to brown.
3. Revise the color specification of the pickle ball court fence to brown.
4. Provide a tree preservation plan for Town Staff review and approval that:
 - a. Provides for pre-construction cambistat or equal treatment of key existing trees and treat pines for beetles (Gardner – 22 G, 14 WO, 15 WO, 28 P, 23 P; Southern – 24 LA, 21 WO, 19 WO, 26 P, 20 P, 26 P, 25 P, 24 P, 19 P).
 - b. Reroute electrical lines or specify directional bore to accommodate the existing trees to be preserved along Gardner Drive.
 - c. Revise the planting plans for Town Staff to replace the proposed palms with pines along the southern property line.
5. Submit a color and material board for Design Review Board (DRB) review and approval:
 - a. Light gray mortar and railings in lieu of white.
 - b. Color P1 shall be a light gray and could also be the railing color.
 - c. Vinyl window color.
 - d. Garage door color.
6. Add 4” caliper trees at the planting areas on the garage doors.
7. Submit a lighting plan for exterior building light fixtures with-cut sheets for the associated light fixtures for DRB review and approval.
8. The DRB recommends, but does not require, a three-story element be considered for that part of the apartment building closest to Gardner Drive.

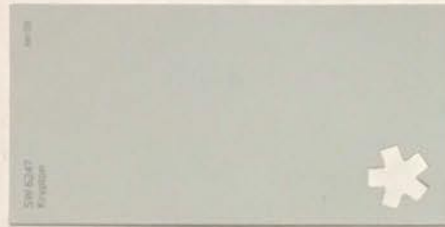
PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



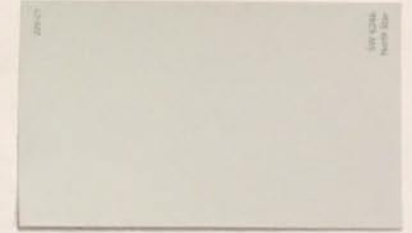
P1: SHERWIN- WILLIAMS 7048 URBANE BRONZE



P2: SHERWIN- WILLIAMS 6247 KRYPTON



P3: SHERWIN- WILLIAMS 7052 GRAY AREA



P4: SHERWIN- WILLIAMS 6246 NORTH STAR



B1: BORAL BRICK : COLOR: WALMAC BRICK OR EQUIVALENT



S1: ROYAL SOVEREIGN 3-TAB SHINGLES
COLOR/FINISH : WEATHERED WOOD OR EQUIVALENT



SH1 BAHAMA SHUTTER: COLOR: DARK BRONZE OR EQUIVALENT

MORTAR OPTION 1: CAPE GRAY



MORTAR OPTION 2: URBAN PURRY



B1 P4 P4 SH1 S1 P1 P3 P1 R1 P2 P1 W1

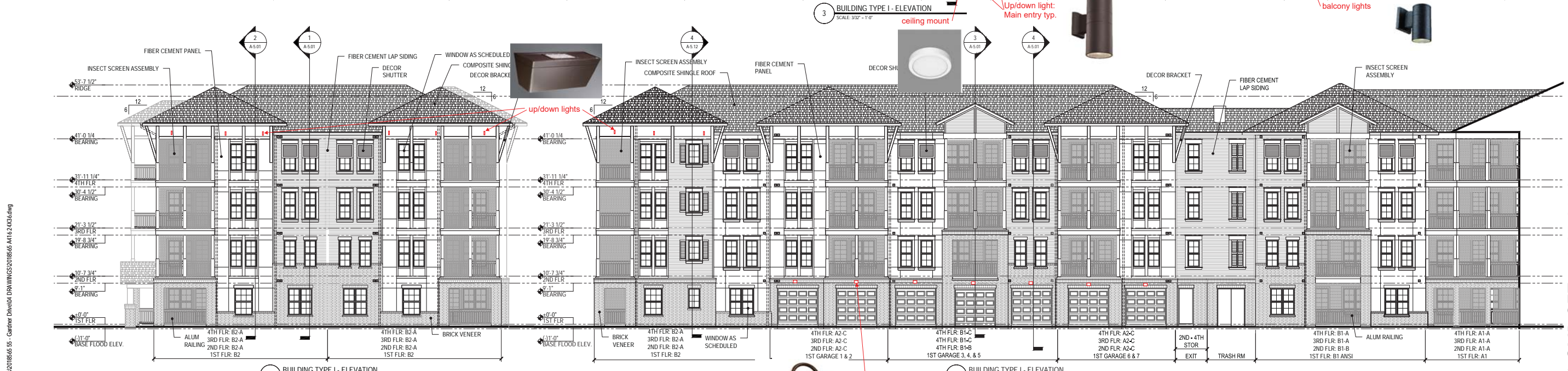
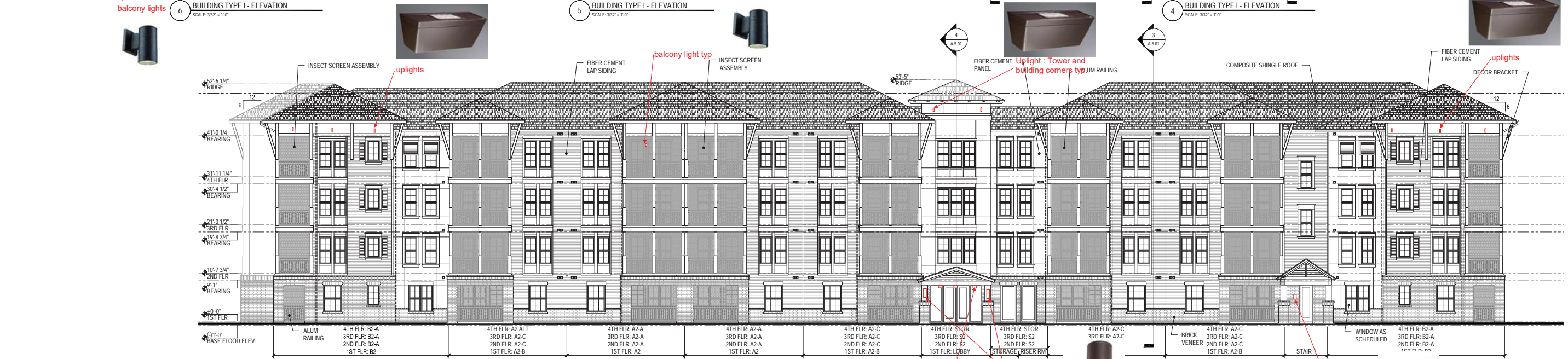
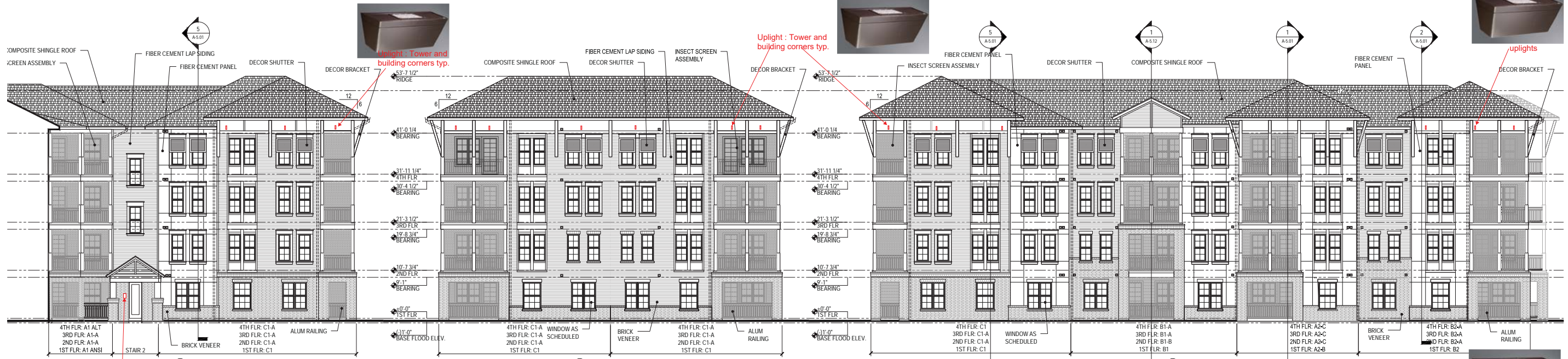


W1: VINYL WINDOW -COLOR: BEIGE



R1: ALUMINUM RAILING: COLOR: DARK BRONZE

MATERIAL BOARD



Drawn By: _____
 Checked By: _____
 Date Plotted: 24 October 2019
 Issue Dates: _____
 Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____
 Revisors:

#	DATE	COMMENTS

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55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

HUMPHREYS & PARTNERS
ARCHITECTS / FLORIDA LLC
 541 EAST HORATIO AVE - STE 100 MATLAND, FL 32751
 (407) 339-9323 • (407) 339-8266 FAX
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 CERTIFICATE #AA 0003227

SHEET CONTENTS:
 BUILDING TYPE I
 ELEVATIONS
 SHEET NO.
A-4.16

75% GMP SET 10-25-2019

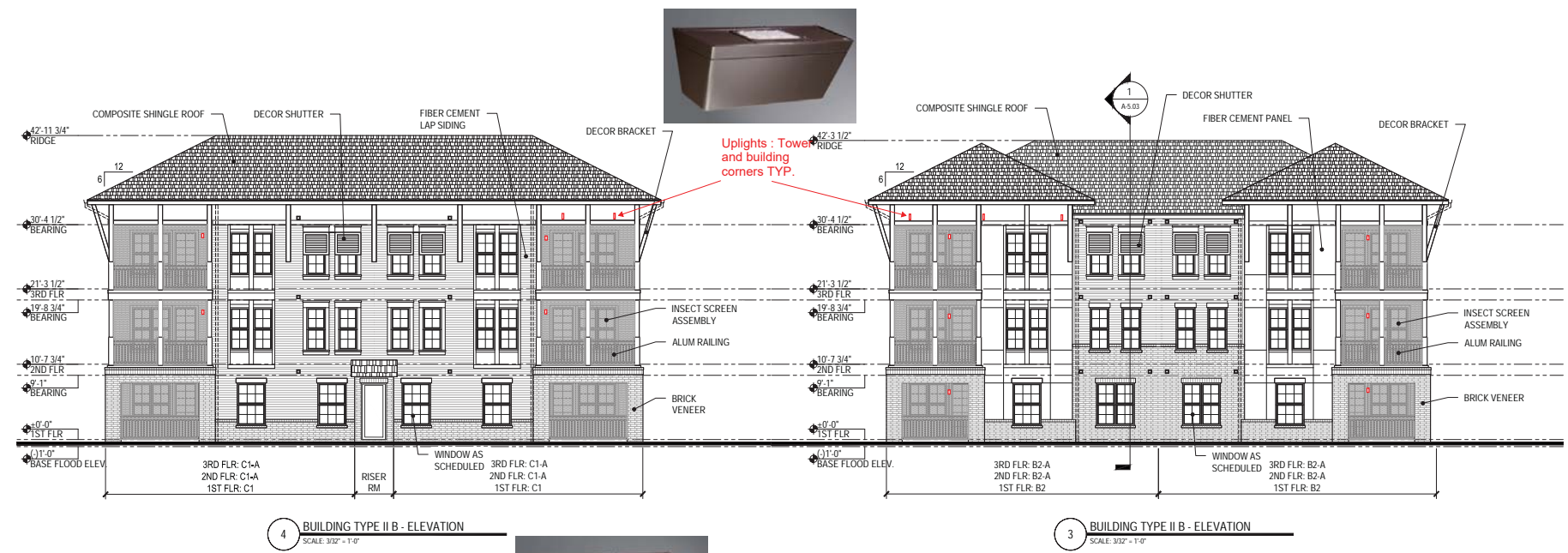
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Revisors:		
#	DATE	COMMENTS

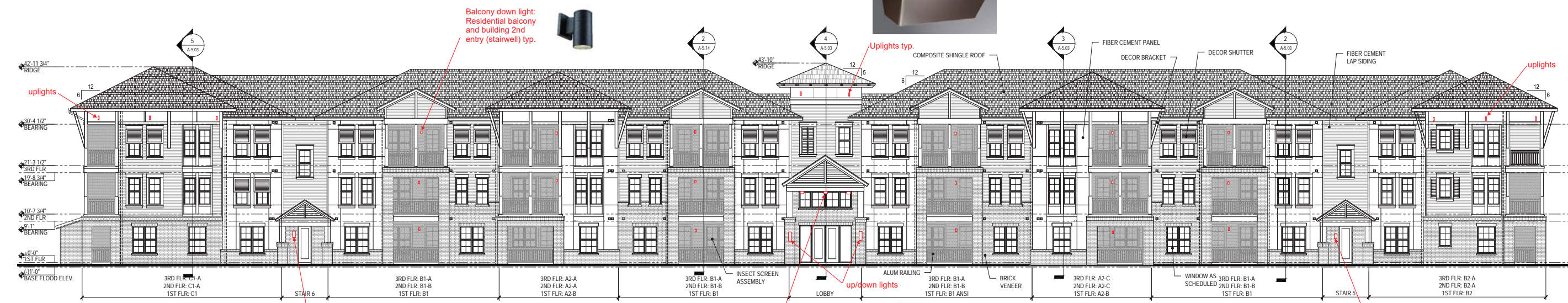
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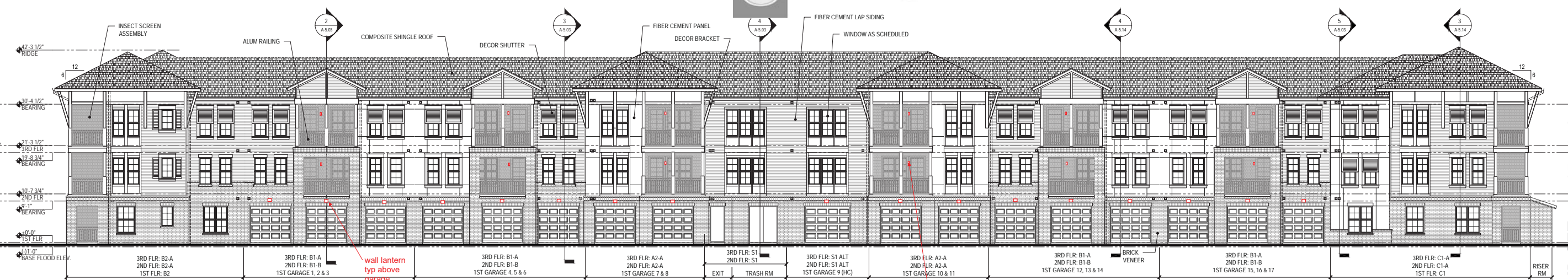


4 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"

3 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"

BUILDING 2A&B SIMILAR

55 GARDNER DRIVE
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SHEET CONTENTS:
 BUILDING TYPE II B
 ELEVATIONS
 SHEET NO.

A-4.35

2018565

75% GMP SET 10-25-2019

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Revisors:		
#	DATE	COMMENTS

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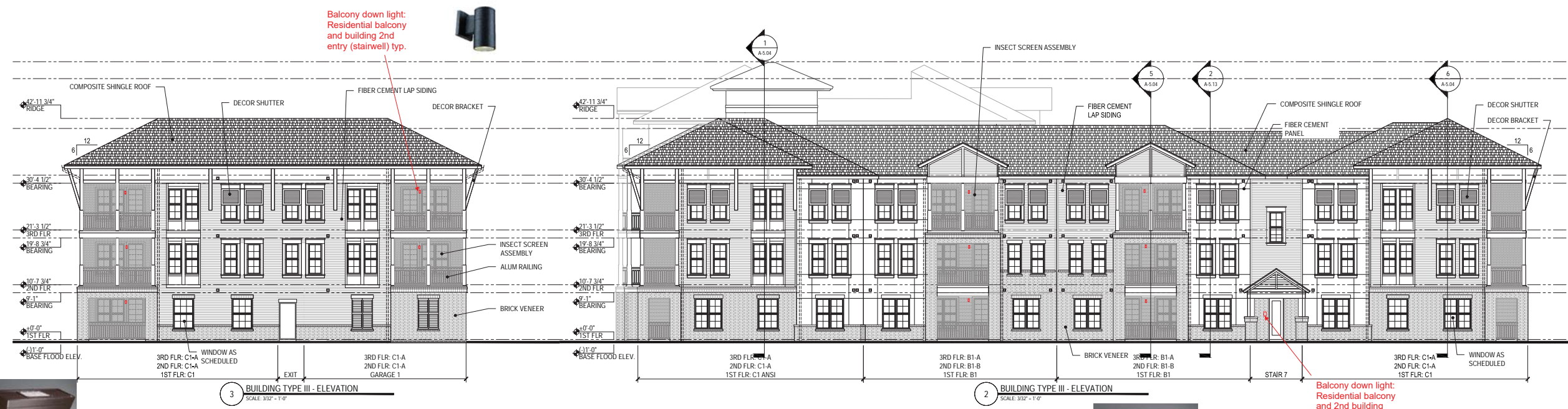


SHEET CONTENTS:
 BUILDING TYPE III
 ELEVATIONS

SHEET NO.

A-4.46

2018565



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75% GMP SET 10-25-2019

Drawn By: _____
 Checked By: _____
 Date Plotted: 24 October 2019
 Issue Dates: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisors:		
#	DATE	COMMENTS

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 BEAUFORT COUNTY, SOUTH CAROLINA
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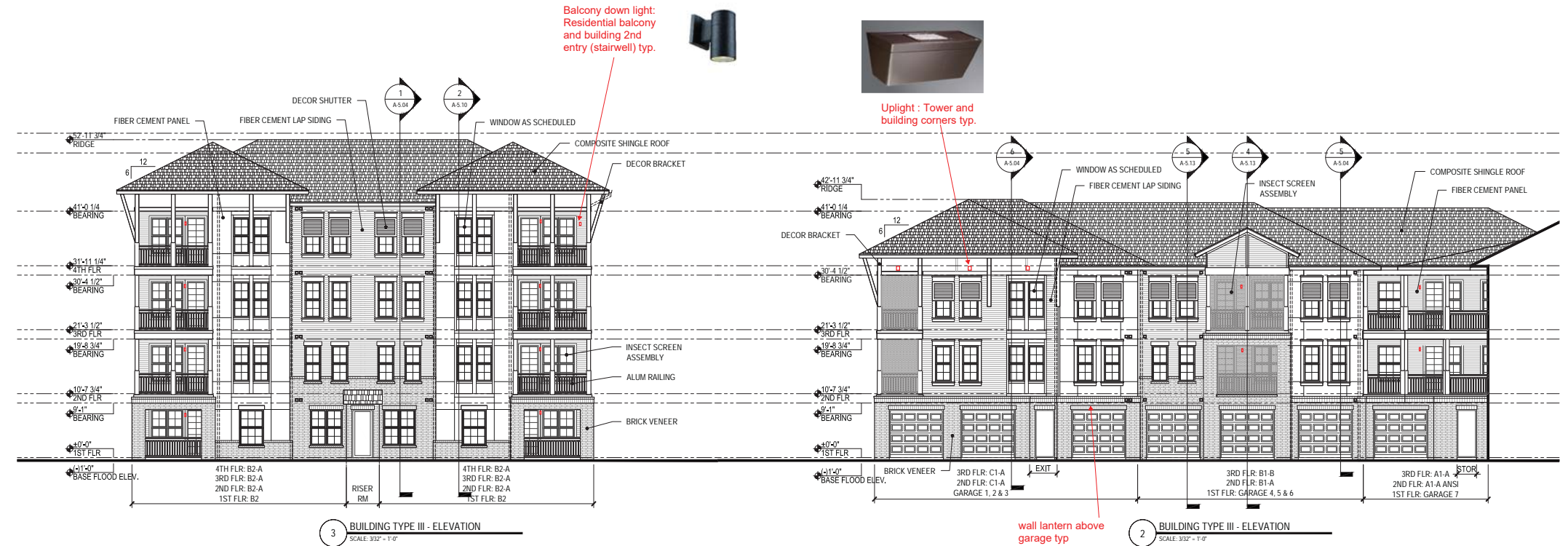
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 CERTIFICATE #AA 0003227



SHEET CONTENTS:
 BUILDING TYPE III
 ELEVATIONS
 SHEET NO.

A-4.47

2018565



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75% GMP SET 10-25-2019

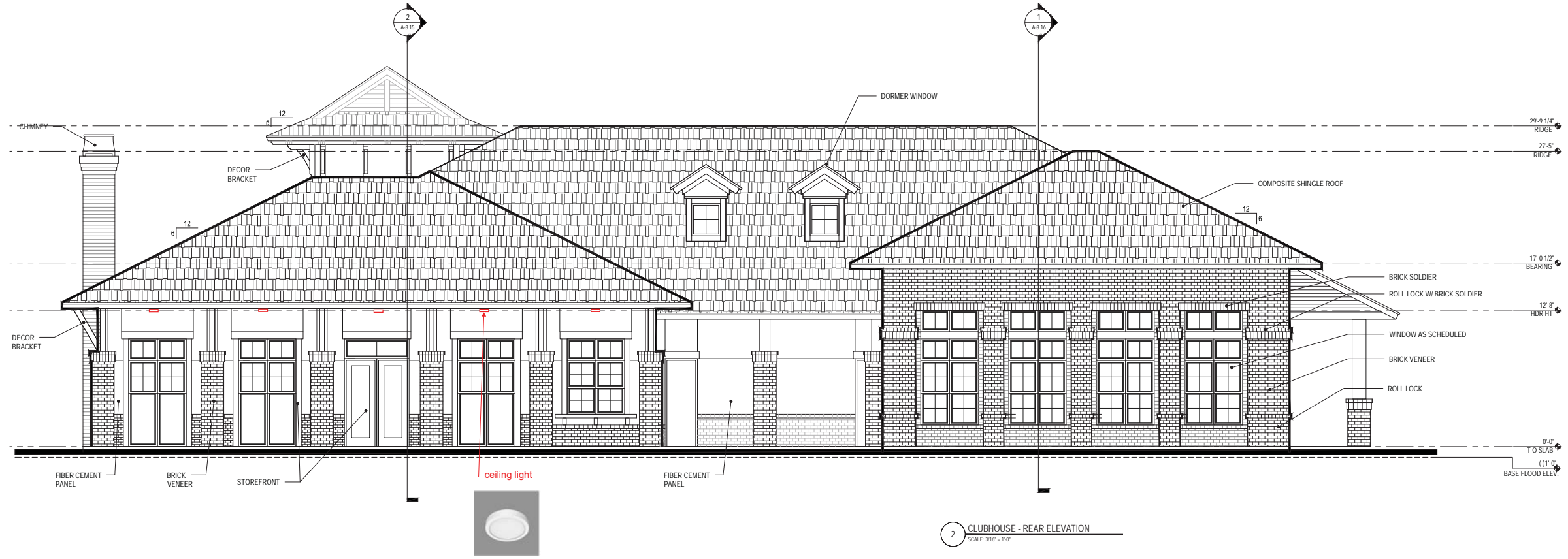
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 Checked By: _____
 Date Plotted: 24 October 2019
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Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

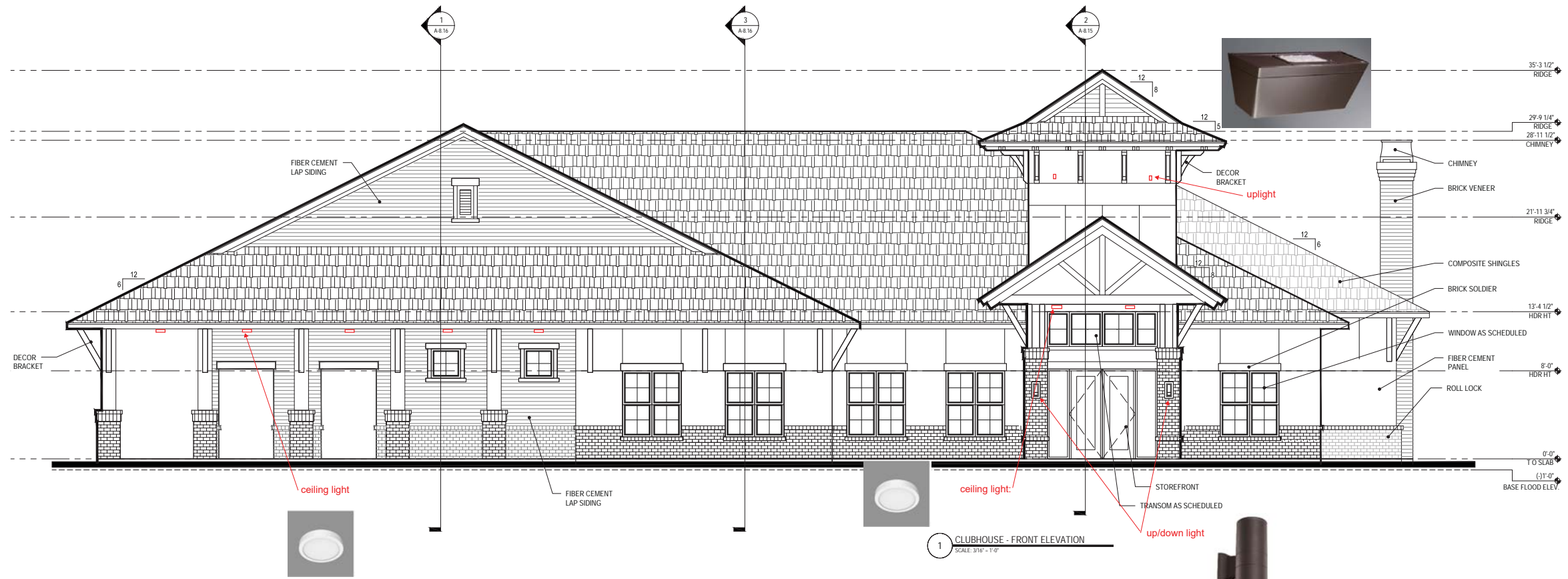
Revisors:		
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2 CLUBHOUSE - REAR ELEVATION
 SCALE: 3/16" = 1'-0"



1 CLUBHOUSE - FRONT ELEVATION
 SCALE: 3/16" = 1'-0"

55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

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 CERTIFICATE #AA 000327



SHEET CONTENTS:
 CLUBHOUSE ELEVATIONS
 SHEET NO.

A-8.13

2018565

75% GMP SET 10-25-2019

Drawn By: _____
 Checked By: _____
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Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisors:		
#	DATE	COMMENTS
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△		
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55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

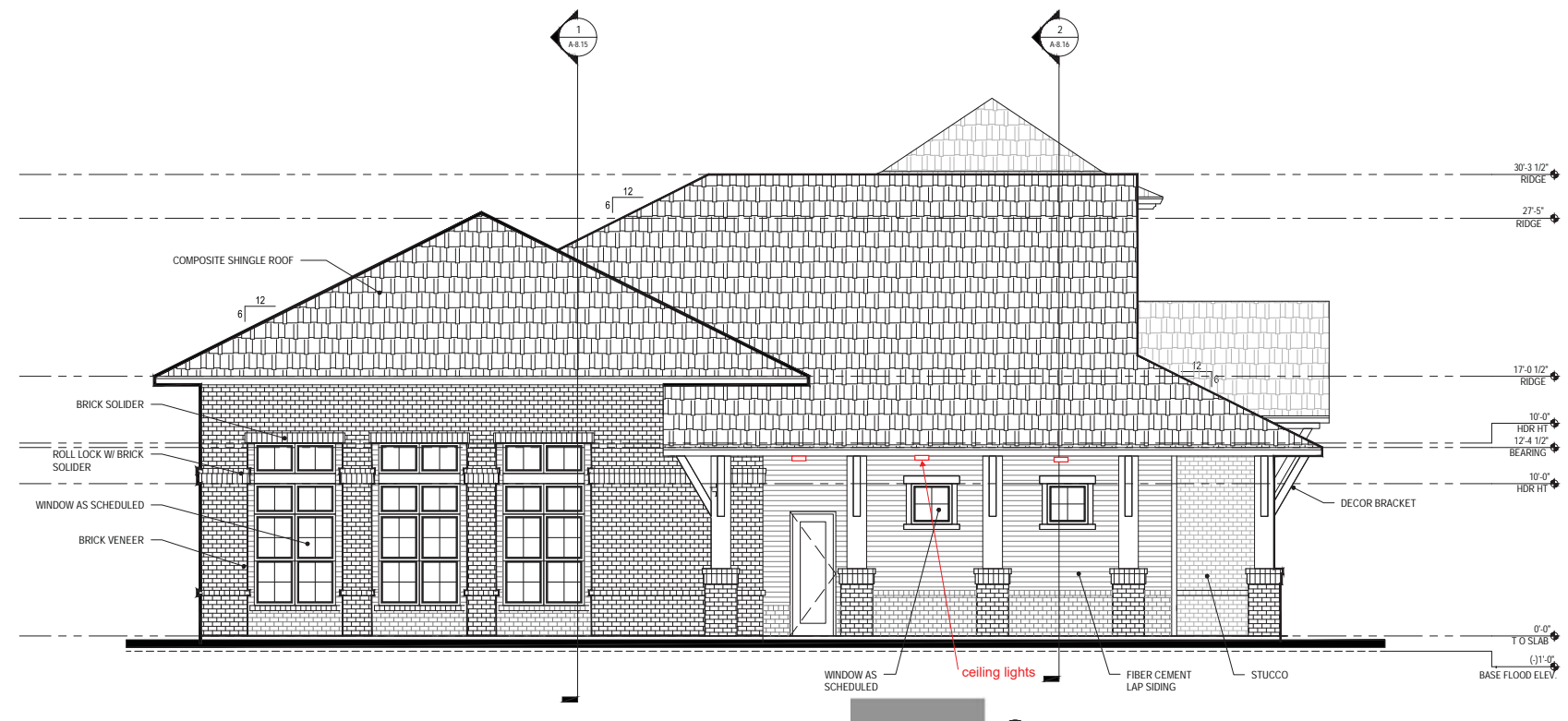
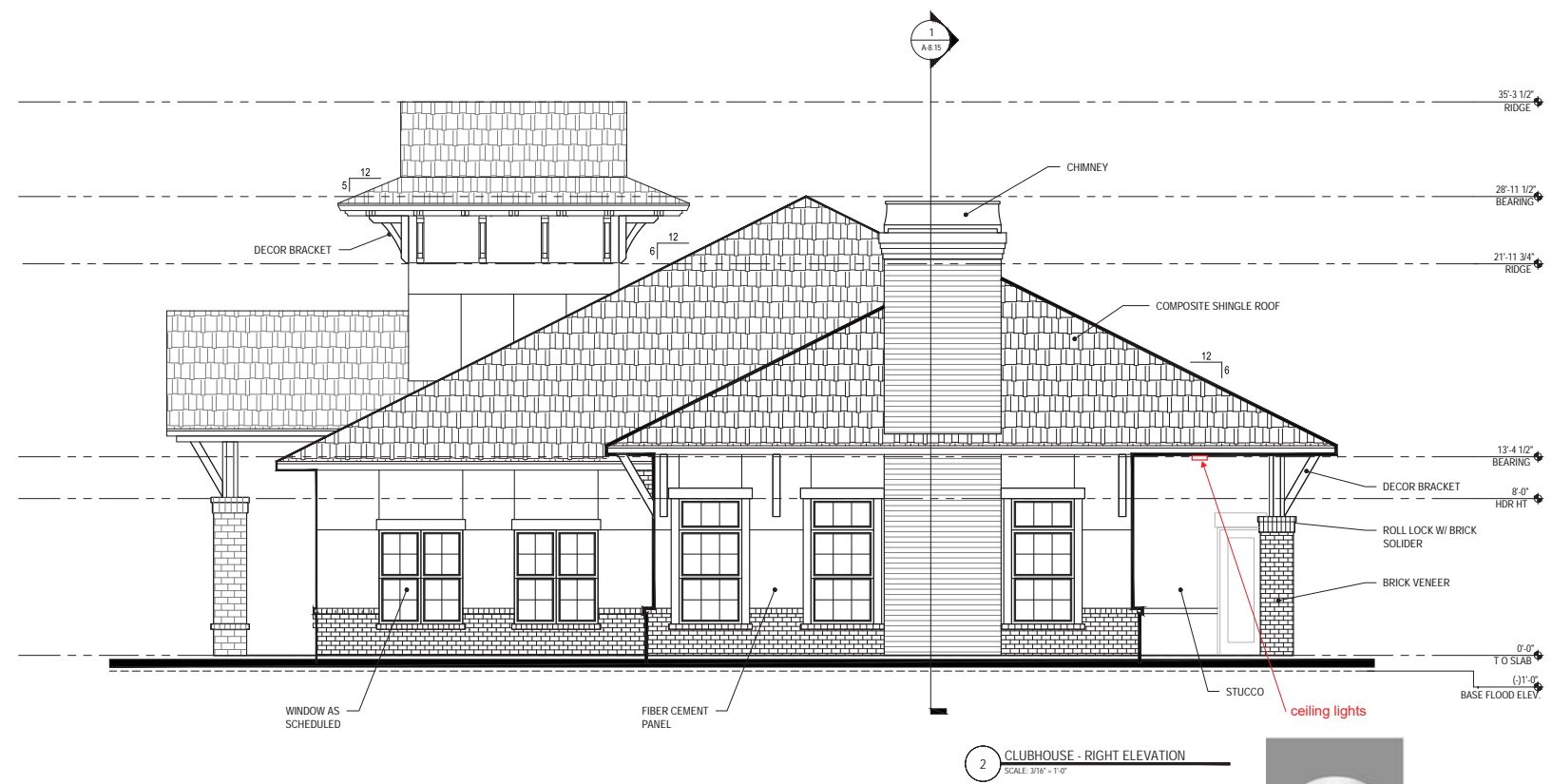
HUMPHREYS & PARTNERS
ARCHITECTS / FLORIDA LLC
 541 EAST HORATIO AVE - STE 100 - MAITLAND, FL 32751
 (407) 339-9323 • (407) 339-8266 FAX
 DALLAS - ORLANDO - NEWPORT - NEW ORLEANS - CHICAGO -
 NEW YORK - SAN RAMON - SCOTTSDALE - EDMONTON -
 TORONTO - CHENNAI - DUBAI - HANOI - MONTEVIDEO
 CERTIFICATE #AA 0003227



SHEET CONTENTS:
 CLUBHOUSE ELEVATIONS
 SHEET NO.

A-8.13

2018565



Wall Lantern:
Above Garage Door

ZJOJO

AREA: BUILDING
TYPE: L



Brand	ZJOJO
Part Number	LED-GOSSE-BROWN-50K-1PK
Item Weight	5.05 pounds
Package Dimensions	15 x 14.9 x 9.1 inches
Style	Modern
Color	3000K Daylight White
Shape	Circular
Material	Metal
Number of Lights	1
Voltage	100277 volts
Fixture Features	Instant On
Shade Material	Metal
Light Direction	Adjustable
Power Source	air-powered
Batteries Included?	No
Batteries Required?	No
Type of Bulb	LED
Wattage	42 watts

APPROVAL:	
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Balcony Down Light:
Residential Balcony and
Secondary Building Entry
(Stairwell)

AREA: UNITS
TYPE: US

NUMBER: LED-50020 BK
MANUFACTURER: LEGACY



DESCRIPTION: COMPACT POCKET LANTERN BK

LAMPING: 10W LED A19 2700K Frosted Med Base

VOLTAGE: 120 V

FINISH: BLACK

MOUNTING: SURFACE

DIMENSIONS: 6.25"H X 4.25"W X 6.25"E

LISTING: UL LISTED - WET

APPROVAL:	
------------------	--

up/down light:
Main Entry

AREA: BUILDING
TYPE: O

NUMBER: LED-40961 BZ
MANUFACTURER: LEGACY



DESCRIPTION:	LED UP/DOWN SCONCE - BZ	LAMPING:	14W 1050L 3000K
		VOLTAGE:	120 V
FINISH:	BRONZE	MOUNTING:	SURFACE
DIMENSIONS:	6.75"D X 12"H X 4.5"W	LISTING:	UL LISTED

APPROVAL:	
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Ceiling Mounted:
Main Entry and
Club House

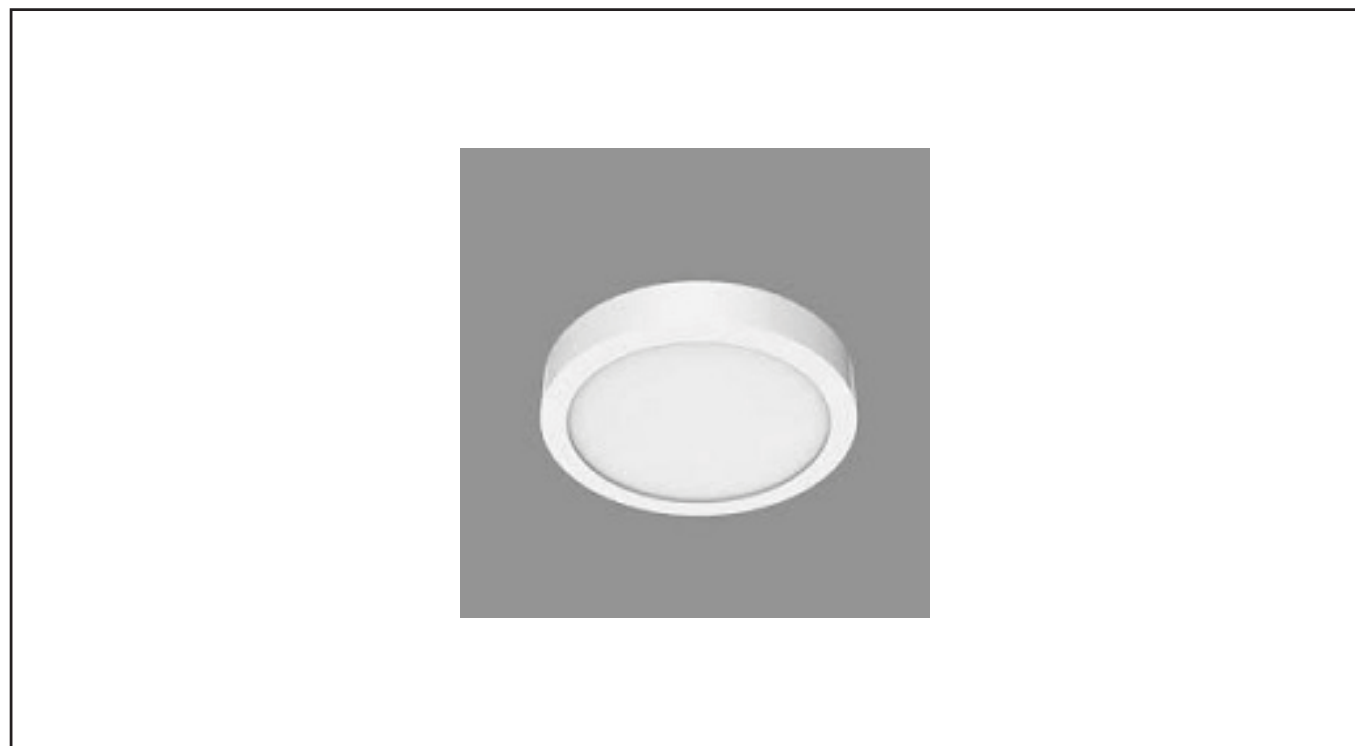
AREA: BUILDING

NUMBER:

R L 7 9 1 - 9 0 0 L -
DIMTR-120-30K-90

TYPE: CL

MANUFACTURER:



DESCRIPTION:	SLIM SURFACE DISC	LAMPING:	15W 900L 3000K
		VOLTAGE:	120 V
FINISH:	WHITE	MOUNTING:	CEILING
DIMENSIONS:	7"DIA X 1"H	LISTING:	UL LISTED

APPROVAL:	
------------------	--

Uplight: Tower and Building corners

McGraw-Edison

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

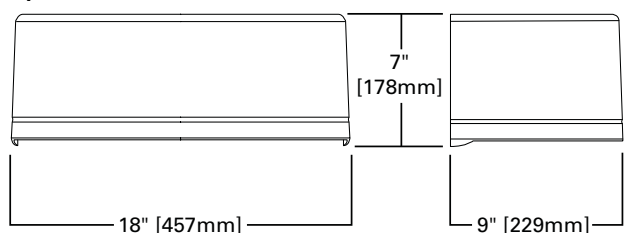
Five-year warranty.

3000K

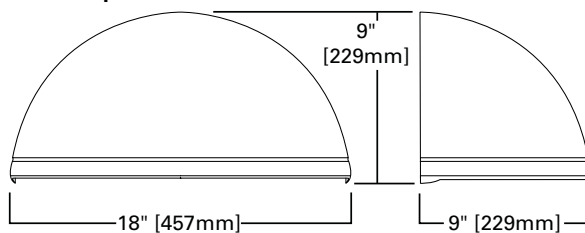


DIMENSIONS

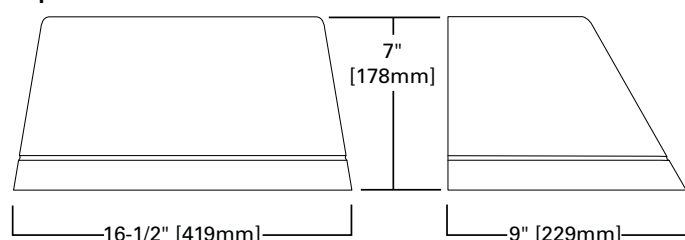
Cylinder



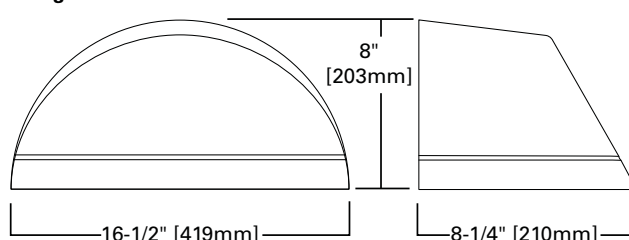
Quarter Sphere



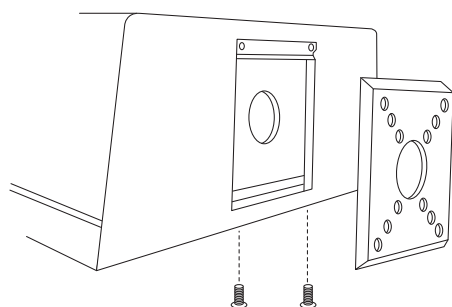
Trapezoid



Wedge



HOOK-N-LOCK MOUNTING



*www.designlights.org

ISC/ISS/IST/ISW IMPACT ELITE LED

1 LightSquare
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightSquare
DesignLights Consortium® Qualified*
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)



TD514030EN
July 23, 2019 4:13 PM

CONTROL OPTIONS

0-10V

This fixture is offered standard with 0-10V dimming driver.

Photocontrol (PC1, PC2 and PER7)

Optional button-type photocontrol provides a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels.

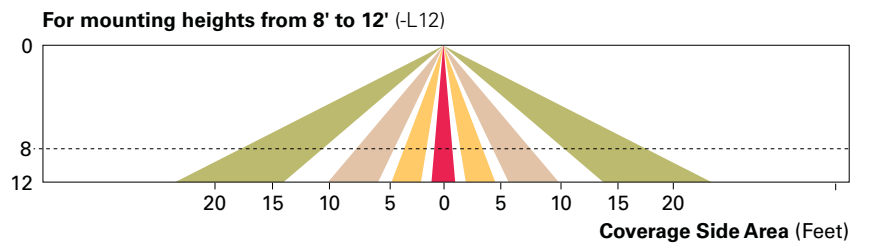
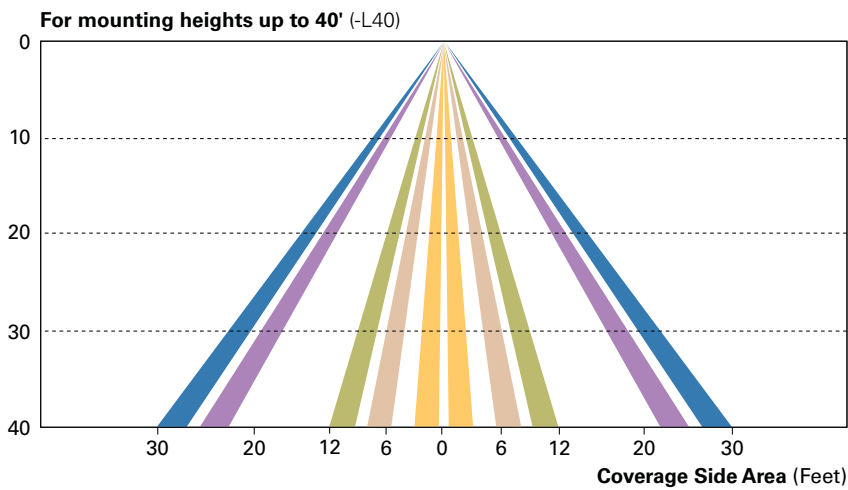
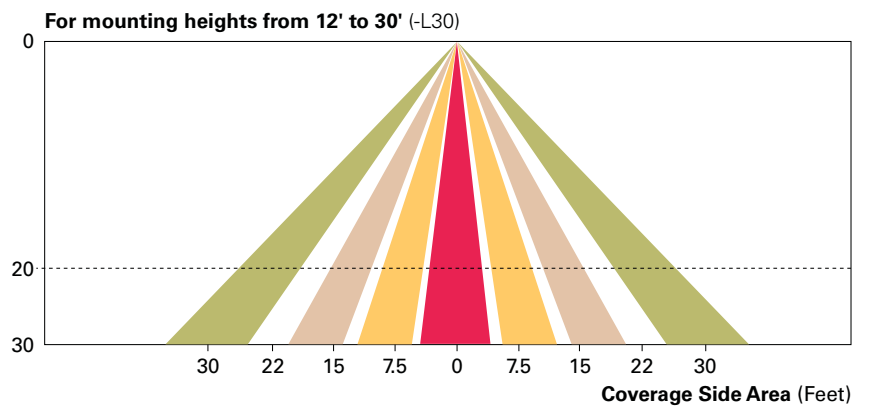
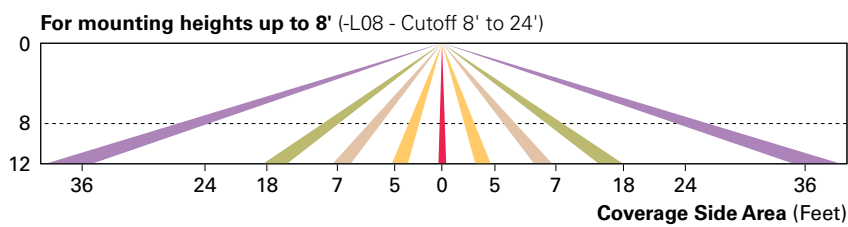
After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX)

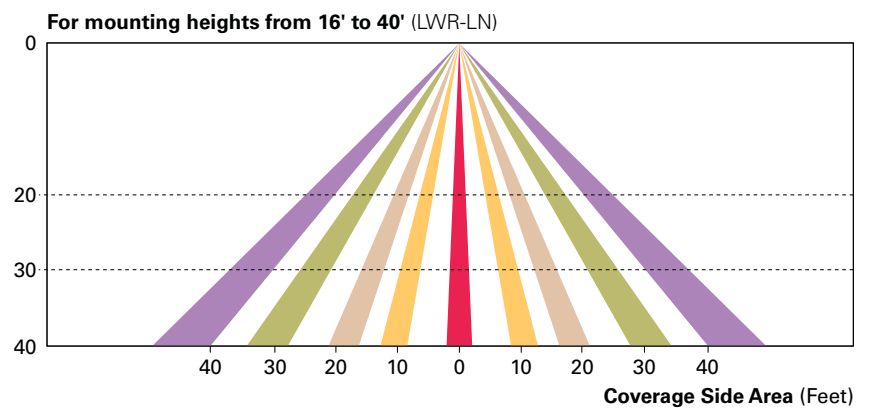
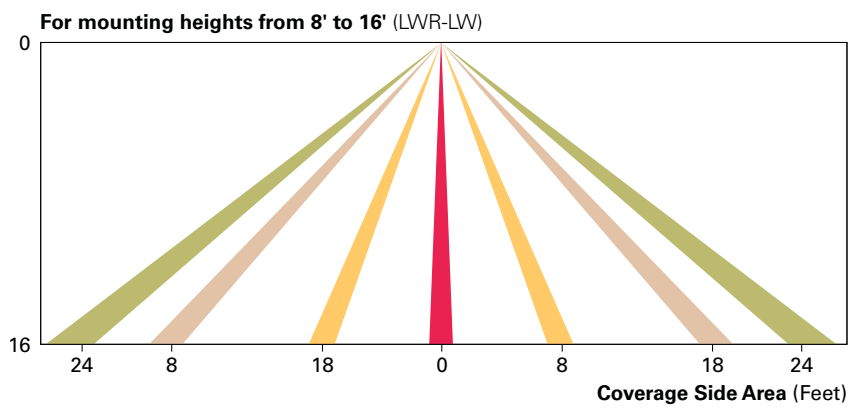
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting -- the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton’s LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 55 Gardner Drive

DRB#: DRB-002447-2019

DATE: 12/01/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff recommends approval pending clarification of the brightness of the uplights on the soffit.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies		Not Applicable	Comments or Conditions
	Yes	No		
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It is unclear to staff how bright the tower uplights will be. Please clarify the footcandles on the soffit above the light.

MISC COMMENTS/QUESTIONS

1. 55 Gardner received Conditional Final Approval from the DRB on Nov. 12, 2019
2. Staff believes the uplights are in keeping with the Design Guide because the source of the light will be hidden. The concern is how bright will the light on the soffit be? These fixtures are 3 or 4 stories high and several are on the back sides of the buildings with existing neighborhoods. Can it meet the LMO requirement of 5 fc maximum at any one spot on the soffit?



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 11/7/19
 Accepted by: Nicole J. Chris D
 DRB #: 2333-209
 Meeting Date: _____

Applicant/Agent Name: David Jagoda Company: Lampert Group, LLC
 Mailing Address: 1555 Sherman Ave. #236 City: Evanston State: IL Zip: 60201
 Telephone: 206.981.6921 Fax: _____ E-mail: dj@lampertgroup.build
 Project Name: Burkes Outlet Project Address: 95 Mathews Drive, Hilton Head, SC 29928
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 1 9 2 A 0 0 0 0
 Zoning District: CC Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

2533-2019

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

11/7/19

DATE



November 7, 2019

Project Name: Burkes 327 Hilton Head, SC – Port Royal Plaza
Project Location: 95 Matthews Drive Hilton Head, SC 29926
Project Number: 19029

Re: Zoning Review Comments
To: Town of Hilton Head Zoning

The following is an outline of work to be done at 95 Matthews Drive (the old Sam's Club space) for Burkes interior upfit:

- The existing façade is to be updated by removing the existing vestibule storefront and adding new autoslide doors at the building wall. The new façade will incorporate the use of new brick veneer, fiber cement siding and EIFS.
- The interior space will be demised and split into three separate spaces. The Burkes space will be the center space and will utilize the existing entry location. The existing interior mezzanine will be demoed along with some of the existing electrical systems. New HVAC units will be installed to service the Burkes space.
- The interior upfit will consist of providing a new vestibule and back of house area. The back of house area will consist of a receiving area, offices, restrooms, employee lounge and janitor's room. New LED lighting will be installed throughout the space with electrical updates added as necessary to provide adequate power to new spaces. The new HVAC system will be distributed with concentric drops on the sales floor and ducted in the back of house area.

List of exterior paint color:

EIFS Main Façade – Sherwin Williams SW7029 Agreeable Gray
EIFS Exterior Vestibule Wall – Sherwin Williams SW7031 Mega Greige
Siding – Sherwin Williams SW7033 Brainstorm Bronze
Existing façade and arbor structure – Sherwin Williams SW7031 Mega Greige

Should you have additional questions, comments or concerns, please let us know.

Thank you,

A handwritten signature in blue ink that reads 'R M Coleman'. The signature is fluid and cursive, with a long horizontal flourish at the end.

Ralph M. Coleman

Description

The Halo ML56 LED Downlighting System is a series of modular LED Light Modules for use with designated 5" or 6" ML56 LED trims in new construction, remodel and retrofit installation. Compatible with Halo 5" H550 and 6" H750, H2750 Series LED housings. And in retrofit of existing housings the ML56 Series fits 5" or 6" Halo, All-Pro, and others. ML56 system offers shallow trims for installation in Halo, All-Pro and others shallow housings. ML56 Light Modules are offered in 600 Series, 900 Series, and 1200 Series, 80CRI or 90CRI, and four color temperatures 2700K, 3000K, 3500K, 4000K. ML56 Light Modules are universal voltage 120V – 277V and dimmable at 120V. The ML56 lens provides uniform diffuse illumination standard.



Specification Features

Mechanical

Light Module

- Module includes LED package, LED driver, heat sink, and lens
- Durable die-cast aluminum construction.
- Heat sink designed to conduct heat away from the LED keeping the junction temperatures below specified maximums, including insulated ceiling environments

Lens

- Impact-resistant polycarbonate
- Convex form for lamp-like appearance
- High lumen transmission
- Diffusing for even illumination

Mounting

- Light Modules attach to reflector and baffle trims via locking tabs, and attach to eyeballs via keyed twist-to-lock mating bosses
- The complete light module and trim assembly installs into housings with precision formed torsion springs located on the trim
- Friction Blade mounting is an alternate option using the accessory 6" Friction Blade Kit model ML56CLIP (order separately). Friction blades provide alternative to torsion springs for retrofit in 6" housings without torsion mounting tabs. The stainless steel friction blades allow the ML56 to be installed in a wider range of housings, and allow rotation in the housing aperture (360 degrees).

Housing Compatibility

A complete ML56 system includes a LED Light Module, LED trim, and a compatible housing (new construction, remodel, or existing retrofit). Housing compatibility in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing – Trim Section in this document.

LED

- 900 Series = 900 design lumens typical.
- Delivered lumens vary depending upon 5" or 6", color temperature, and trim finish.
- Color Temperature options: 2700K, 3000K, 3500K, 4000K

- CRI: 80
- L70 at 50,000 hours, projected in accordance with IES TM-21
- LED is a chip on board design consisting of a multiple LED package to create one virtual light source for a productive "cone of light"

Color Specification & Quality Standards

- A tight chromaticity specification ensures LED color uniformity, sustainable Color Rendering Index (CRI) and Correlated Color Temperature (CCT) over the useful life of the LED
- LED color uniformity of 3 SDCM exceeds ENERGY STAR® color standards per ANSI C78.377- 2008.
- Every Halo LED Light Module is quality tested and performance measured, and then serialized in a permanent record to register lumens, wattage, CRI and CCT.
- Halo LED serialized testing and measurement process ensures color and lumen consistency on a per-unit basis, and validates long-term product consistency over time
- Halo ML56 LED Light Modules include lumen, CRI, and CCT designations in the model number
- Example: **ML5609830**
56 = 5" / 6" aperture series
09 = 900 lumen series
8 = >80 CRI
30 = 3000K nominal CCT

Electrical Power Connections

- LED connector is a non-screw base luminaire disconnect offering easy installation with the matching Halo 5" H550 series and 6" H750 and H2750 series housings (housing selected depends upon LED trim 5" or 6").
- LED Connector is a non-screw base, and where required to qualify as a high-efficacy luminaire.
- The included E26 medium screw-base Edison adapter provides easy retrofit of incandescent housings (see Housing Section).

Ground Connection

Separate grounding cable included on the module for attachment to the housing during installation.

LED Driver

- Driver is universal voltage 120V-277V, and may be controlled from a switch in this range of main inputs (switchable at 120V, 220V, 230V, 240V, and 277V)
- Driver is dimmable at 120V operation when connected to a compatible dimmer.
- Driver is a high efficiency, electronic power supply providing DC power to the LED.
- Driver meets FCC EMI/RFI Consumer Level limits on 120V main inputs, and is compliant for use in residential and commercial installations.
- Driver features high power factor, low THD, and has integral thermal protection in the event of over temperature or internal failure.
- Driver is replaceable, if replacement should be required.

Dimming

Designed for dimming capability to nominal 5% in normal operation with standard 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. (Consult dimmer manufacturer for dimmer compatibility and details. Note, some dimmers require a neutral in the wallbox.)

Warranty

Cooper Lighting provides a (5) five year limited warranty on the Halo ML56 LED Light Module.

LED Module in New or Retrofit Existing Construction – Housings other than Halo or All-Pro

- If used in recessed housings other than Halo or All-Pro the Cooper Lighting 5-year limited warranty applies to the LED Light Module and Trim only.
- As with any electrical installation, a qualified electrician must ensure compatibility of use with a particular housing; this includes all applicable national and local electrical and building codes. Installer is responsible to properly and securely retain the LED Module and LED Trim in the housing at time of installation.



ML56 LED System

900 Series / 80 CRI

ML5609827

ML5609830

ML5609835

ML5609840

**5-Inch and 6-Inch
900 Lumen LED
Light Module for
New Construction,**

Remodel and Retrofit

**For use with 59x and 69x
Series Trims**

**FOR USE IN
INSULATED CEILING
AND NON-INSULATED
CEILING RATED
HOUSINGS**

**HIGH EFFICACY LED
WITH INTEGRAL
DRIVER - DIMMABLE**

Energy Data

ML56 900/80 Series

(Values at non-dimming line voltage)

Minimum Starting Temp: -30°C (-22°F)

EMI/RFI: FCC Title 47 CFR, Part 15, (Consumer)

Sound Rating: Class A

Input Voltage: UNV 120V-277V

Power Factor: >0.95 @ 120V and >0.9 @ 277V

Input Frequency: 50/60Hz

THD: <20%

Max. Rated Wattage: 14W

Input Power: 13.4W

Input Current at 120V: 0.15A

Input Current at 277V: 0.08A

Driver Compliance: UL8750, Class II rated

Maximum IC (Insulated Ceiling) Ambient Continuous Operating Temperature: 25°C (77°F)

Maximum Non-IC Ambient Continuous Operating Temperature: 40°C (104°F)



ML5609827
5" or 6" LED 900 Series



ML5609830
5" or 6" LED 900 Series



ML5609835
5" or 6" LED 900 Series



ML5609840
5" or 6" LED 900 Series

Compliance

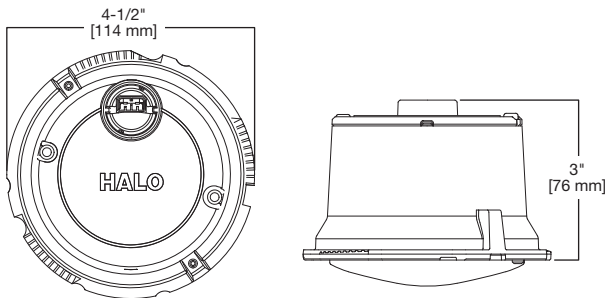
- cULus listed 1598 Luminaire (Halo and All-Pro housings)
- UL Classified when used in retrofit (refer to housing section)
- cULus listed for damp locations
- cULus Wet location listed with baffle and reflector trims only
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- IP66 ingress protection rated with baffle and reflector trims only
- RoHS compliant
- May be used in IC (insulated ceiling) housings in direct contact with insulation* and combustible material
- Can be used as a California Title 24 compliant Non-Residential LED Luminaire
- Can be used for International Energy Conservation Code (IECC) high efficiency luminaire compliance.
- Can be used for Washington State Energy Code compliance
- ENERGY STAR® certified luminaire - consult ENERGY STAR® Certified product list
- EMI/RFI per FCC 47CFR Part 15 Class B Consumer limits (commercial and residential compliant)
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21
- CE Mark - "Conformité Européene" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with Halo H550, H750, and H2750 Series LED housings only

* Not for use with housings in direct contact with spray foam insulation.



Refer to ENERGY STAR® Certified Products List.
 Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED Luminaire

Dimensions



Ordering Information

Sample Number: **ML5609830 593WB**

Order LED Module and trim separately.

A complete system also includes a compatible housing (new construction, remodel, or existing retrofit). Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to Housing Section in this document.

ML56 LED Light Modules 900 Series / 80 CRI

ML5609827= 5"/6" LED light module, 900 lumen, 80CRI, 2700K
ML5609830= 5"/6" LED light module, 900 lumen, 80CRI, 3000K
ML5609835= 5"/6" LED light module, 900 lumen, 80CRI, 3500K
ML5609840= 5"/6" LED light module, 900 lumen, 80CRI, 4000K

ML56 LED 5" and 6" Trims

590 Series - 5" LED Trims

591WB=5" LED trim, polymer "dead-front", shallow white baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
592SC=5" LED trim, specular reflector & white flange
592H=5" LED trim, haze reflector & white flange
592W=5" LED trim, white reflector & flange
593WB=5" LED trim, white micro-step baffle & flange
593BB=5" LED trim, black micro-step baffle & white flange
593SNB=5" LED trim, satin nickel micro-step baffle & flange
593TBZB=5" LED trim, tuscan bronze micro-step baffle & flange
594WB=5" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
594SNB=5" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
594TBZB=5" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
595WW=5" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
596WB=5" LED trim, white shallow baffle & flange – shallow and standard housings

690 Series - 6" LED Trims

691WB=6" LED trim, polymer "dead-front", white shallow baffle & flange – shallow and standard housings (For use with 600 Series LED light modules only)
692SC=6" LED trim, specular reflector & white flange
692H=6" LED trim, haze reflector & white flange
692W=6" LED trim, white reflector & flange
693WB=6" LED trim, white micro-step baffle & flange
693BB=6" LED trim, black micro-step baffle & white flange
693SNB=6" LED trim, satin nickel micro-step baffle & flange
693TBZB=6" LED trim, tuscan bronze micro-step baffle & flange
694WB=6" LED directional trim, white eyeball, baffle & flange – shallow and standard housings
694SNB=6" LED directional trim, satin nickel eyeball, baffle & flange – shallow and standard housings
694TBZB=6" LED directional trim, tuscan bronze eyeball, baffle & flange – shallow and standard housings
695WW=6" LED trim, wall wash - specular reflector, repositionable specular kick reflector, white flange
696WB=6" LED trim, white shallow baffle & flange – for use with shallow and standard housings

ML56 System Accessories

ML56CLIP=Friction clip mounting kit - for retrofitting non-torsion spring housings, 6" clips*
WW595SC=5" Wall wash insert - kick reflector for 595WW (1-included with trim) double or corner wall wash**
WW695SC=6" Wall wash insert - kick reflector for 695WW (1-included with trim) double or corner wall wash**
TRM590WH=5" LED oversize trim ring for use with 59" series trims, white 6.3" I.D., 7.5" O.D. Ring slips over LED trim. Inset design allows 5" trim to fit into oversize ring for an even trim surface
TRM690WH=6" LED oversize trim ring for use with 69" series trims, white 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface

*ML56CLIP is compatible with 6" baffle and reflector trims only (691, 692, 693, 695, 696 series).
 For eyeball trim (694 series) use ML7RAB retrofit adpater band.

**Wall Wash Trims 595WW and 695WW Feature an exclusive Repositionable Kick Reflector for fine-tuning adjustment of the wall wash effect. The WW595SC and WW695SC are Repositionable Kick Reflectors sold separately for addition to the Wall Wash Trim when a double or corner wall wash is needed, or for replacement of original kick reflector included with the trim.

Lighting Facts

ML5609827

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	934
Watts	13.4
Lumens Per Watt (Efficacy)	69.7
Color Accuracy (CRI)	81
Light Color (CCT) Correlated Color Temperature (CCT)	2700K
MODEL# ML5609827	

ML5609830

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	1009
Watts	13.4
Lumens Per Watt (Efficacy)	75.3
Color Accuracy (CRI)	82
Light Color (CCT) Correlated Color Temperature (CCT)	3000K
MODEL# ML5609830	

ML5609835

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	1024
Watts	13.4
Lumens Per Watt (Efficacy)	76.4
Color Accuracy (CRI)	83
Light Color (CCT) Correlated Color Temperature (CCT)	3500K
MODEL# ML5609835	

ML5609840

PRODUCT SPECIFICATIONS	
Lumens (Light Output)	1045
Watts	13.4
Lumens Per Watt (Efficacy)	78.0
Color Accuracy (CRI)	82
Light Color (CCT) Correlated Color Temperature (CCT)	4000K
MODEL# ML5609840	

Housing – Trim Compatibility

Housing aperture size in the ML56 System is determined by the ML56 trim dimensions. ML56 trims are available in 5" and 6" aperture (5" = 59xx series and 6" = 69xx series trims). Refer to ML56 TRIMS in this document. (Note "X" in the trim model number denotes finish code.)

Housing – Compatibility

The ML56 LED light module - trim combination is cULus Listed or UL Classified for use with any 5" or 6" diameter recessed housing constructed of steel or aluminum with an internal volume that exceeds 115 in³ in addition to those noted below.

Halo and All-Pro UL Listed Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X

(Note shallow housings for use with 691X, 694X, 696X trims only)

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H750ICAT	6" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H750RICAT	6" LED, Insulated Ceiling, Air-Tite, Remodel Housing
		H750T	6" LED, Non-IC, Air-Tite, New Construction Housing
		H750TCP	6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
		H750TD010	6" LED, Non-IC, Air-Tite, New Construction Housing
		H750RTD010	6" LED, Non-IC, Air-Tite, Remodel Housing
		H750TCPD010	6" LED, Non-IC, New Construction/Remodel Chicago Plenum Housing
		H750RINTD010	6" LED, Non-IC, Air-Tite, Remodel Housing (International CE Mark and UL/cUL Listed)
		Halo	Shallow Housings

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H7ICAT	6" Insulated Ceiling, Air-Tite New Construction Housing
		H7RICAT	6" Insulated Ceiling, Air-Tite Remodel Housing
		H7ICT	6" Insulated Ceiling, New Construction Housing
		H7RICT	6" Insulated Ceiling, Remodel Housing
		H7ICATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket
		H7ICTNB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket
		H7T	6" Non-IC, New Construction Housing
		H7RT	6" Non-IC, Remodel Housing
		H7TNB	6" Non-IC, New Construction Housing, No Socket Bracket
		H7TCP	6" Non-IC, Chicago Plenum, New Construction/Remodel Housing
		H7UICAT	6" Insulated Ceiling, Universal New Construction Housing
		H7UICAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing
		All-Pro	Standard Housings
E1700RAT	6" Insulated Ceiling, Air-Tite Remodel Housing		
E1700	6" Insulated Ceiling, New Construction Housing		
E1700R	6" Insulated Ceiling, Remodel Housing		
E1700ATNB	6" Insulated Ceiling, Air-Tite New Construction Housing, No Socket Bracket		
E1700NB	6" Insulated Ceiling, New Construction Housing, No Socket Bracket		
E1700U	6" Insulated Ceiling, Universal New Construction Housing		
E1700UAT	6" Insulated Ceiling, Universal, Air-Tite, New Construction Housing		
ET700	6" Non-IC, New Construction Housing		
ET700R	6" Non-IC, Remodel Housing		
Halo	Shallow Housings	H27ICAT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		H27RICAT	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		H27ICT	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RICT	6" Shallow, Insulated Ceiling, Remodel Housing (use with 691X, 694X, 696X trims only)
		H27T	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		H27RT	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)
All-Pro	Shallow Housings	E12700AT	6" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 691X, 694X, 696X trims only)
		E12700	6" Shallow, Insulated Ceiling, New Construction Housing (use with 691X, 694X, 696X trims only)
		E12700R	6" Shallow, Insulated Ceiling, Air-Tite Remodel Housing (use with 691X, 694X, 696X trims only)
		ET2700	6" Shallow, Non-IC, New Construction Housing (use with 691X, 694X, 696X trims only)
		ET2700R	6" Shallow, Non-IC, Remodel Housing (use with 691X, 694X, 696X trims only)

Halo LED Retrofit Enclosures

Brand	Type	Catalog Number	Description
Halo	Retrofit	ML7BXRFK	6" Retrofit Enclosure, Non-IC, BX Whip
		ML7E26RFK	6" Retrofit Enclosure, Non-IC, E26 Screw base Interface

Housing Compatibility - Continued

5" Trims: 591X, 592X, 593X, 594X, 595X, 596X

(Note shallow housings for use with 591X, 594X, 596X trims only)

HALO - LED Housings with LED Luminaire Connector - High-Efficacy Compliant

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H550ICAT	5" LED, Insulated Ceiling, Air-Tite, New Construction Housing
		H550RICAT	5" LED, Insulated Ceiling, Air-Tite, Remodel Housing

HALO and All-Pro - Incandescent E26 Screwbase Housings

Brand	Housing Type	Catalog Number	Description
Halo	Standard Housings	H5ICAT	5" Insulated Ceiling, Air-Tite New Construction Housing
		H5RICAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		H5T	5" Non-IC, New Construction Housing
		H5RT	5" Non-IC, Remodel Housing
		H5TM	5" Non-IC, New Construction Housing (Canada)
All-Pro	Standard Housings	EI500AT	5" Insulated Ceiling, Air-Tite New Construction Housing
		EI500RAT	5" Insulated Ceiling, Air-Tite Remodel Housing
		ET500	5" Non-IC, New Construction Housing
		ET500R	5" Non-IC, Remodel Housing
Halo	Shallow Housings	H25ICAT	5" Shallow, Insulated Ceiling, Air-Tite New Construction (use with 591X, 594X, 596X trims only)

Housings - UL Classified for Retrofit Compatibility

6" Trims: 691X, 692X, 693X, 694X, 695X, 696X

(Note shallow housings for use with 691X, 694X, 696X trims only)

Brand	Housing Type	Description
Juno	Standard Housings	IC22, IC22R, IC22W, IC22S, IC23, IC23W, TC2, TC2R, IC2
	Shallow Housings	IC21, IC21R (use with 691X, 694X, 696X trims only)
Capri	Standard Housings	CR1, PR1, QL1
	Shallow Housings	R9ASIC/PS9RM (use with 691X, 694X, 696X trims only)
Elco		HL7ICA (EL7ICA)
Lithonia	Standard Housings	LC6, L7X
	Shallow Housings	L7XP (use with 691X, 694X, 696X trims only)
Thomas		PS1
Commercial Electric		C7ICA, H3
Progress	Standard Housing	P87-AT †*
	Shallow Housing	P86TG (use with 691X, 694X, 696X trims only)
Lightolier		1104ICS †*, 1104ICR †*

† Requires replacement of torsion springs with Friction Clips. Order Friction Clip Kit separately: ML56CLIP

* ML56CLIP is compatible with only baffle and reflector trims

5" Trims: 591X, 596X

Brand	Housing Type	Catalog Number
Juno	Standard Housings	IC20, IC25S, IC25W, TC20

ML56 900 Series Compliance Table

80 CRI LED Modules with ML56 Trims

	ML5609827	ML5609830	ML5609835	ML5609840
593BB	WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693BB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
593WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
595WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
592SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692H	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
695WW	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
693WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692SC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
596WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
692W	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694TBZB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
696WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694SNB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
594WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC
694WB-30	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC	ES, T24NR, WSEC, IECC

Code Descriptions:

ES = ENERGY STAR® Certified Luminaire

T24NR = May be used for California Title 24 Non-Residential LED luminaire

IECC = International Energy Conservation Code "High Efficacy"

WSEC = Washington State Energy Code - "High Efficacy" Luminaire

ML56 900 Series Lumen Table

80 CRI LED Modules with ML56 trims

	Trim Catalog #	ML5609827		ML5609830		ML5609835		ML5609840	
		Lumens	LPW	Lumens	LPW	Lumens	LPW	Lumens	LPW
0° Tilt Angle	593BB	602.9	45.0	651.3	48.6	661.0	49.3	674.5	50.3
	693BB	676.2	50.5	730.5	54.5	741.3	55.3	756.5	56.5
	593TBZB	686.3	51.2	741.4	55.3	752.4	56.2	767.8	57.3
	693TBZB	714.1	53.3	771.4	57.6	782.9	58.4	799.0	59.6
	593SNB	757.1	56.5	817.8	61.0	830.0	61.9	847.0	63.2
	693SNB	789.9	58.9	853.3	63.7	866.0	64.6	883.8	66.0
	592H	846.8	63.2	914.8	68.3	928.4	69.3	947.4	70.7
	593WB	887.2	66.2	958.5	71.5	972.7	72.6	992.7	74.1
	592W	894.8	66.8	966.7	72.1	981.0	73.2	1001.2	74.7
	595WW	916.3	68.4	989.9	73.9	1004.6	75.0	1025.2	76.5
	592SC	917.6	68.5	991.3	74.0	1006.0	75.1	1026.6	76.6
	692H	921.4	68.8	995.3	74.3	1010.1	75.4	1030.9	76.9
	695WW	922.6	68.9	996.7	74.4	1011.5	75.5	1032.3	77.0
	693WB	934.0	69.7	1009.0	75.3	1024.0	76.4	1045.0	78.0
	692SC	946.6	70.6	1022.7	76.3	1037.9	77.5	1059.1	79.0
	596WB	946.6	70.6	1022.7	76.3	1037.9	77.5	1059.1	79.0
	692W	947.9	70.7	1024.0	76.4	1039.2	77.6	1060.6	79.1
	594TBZB	954.2	71.2	1030.8	76.9	1046.2	78.1	1067.6	79.7
	694TBZB	959.3	71.6	1036.3	77.3	1051.7	78.5	1073.3	80.1
	594SNB	959.3	71.6	1036.3	77.3	1051.7	78.5	1073.3	80.1
30° Tilt Angle	696WB	975.7	72.8	1054.1	78.7	1069.7	79.8	1091.7	81.5
	694SNB	977.0	72.9	1055.4	78.8	1071.1	79.9	1093.1	81.6
	694WB	1017.4	75.9	1099.1	82.0	1115.5	83.2	1138.3	84.9
	594WB	1018.7	76.0	1100.5	82.1	1116.8	83.3	1139.7	85.1
	594WB-30	987.1	73.7	1066.3	79.6	1082.2	80.8	1104.4	82.4
	694WB-30	959.3	71.6	1036.3	77.3	1051.7	78.5	1073.3	80.1

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 5" Trims • 900 Series • 80 CRI

Multiplier Table

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.93	1.00	1.02	1.04

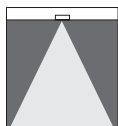
Table based upon testing with 3000°K color temperature, 80CRI.

Multipliers may be used to determine relative lumen values with other color temperatures.

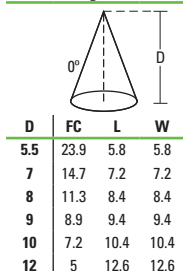
5" Trims • 900 Series • 80 CRI

ML5609830-592SC

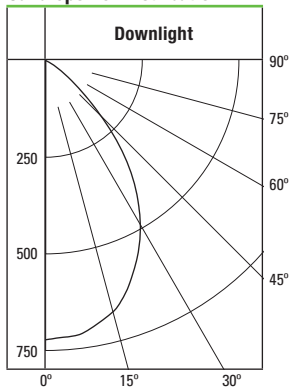
Test Number	P130004
Light Module	900 Series, 80CRI
Trim	5" Aperture, Specular Clear Trim
Lumens	991
Efficacy	74 Lm/W
SC	1.06



Cone of Light



Candlepower Distribution

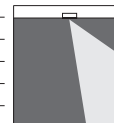


Zonal Lumen Summary

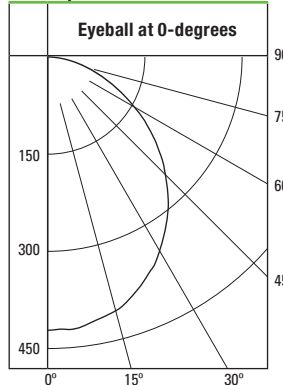
Zone	Lumens	%Fixture
0-30	513	51.8
0-40	765	77.2
0-60	979	98.8
0-90	991	100
90-180	0	0
0-180	991	100

ML5609830-594WB

Test Number	P130060
Light Module	900 Series, 80CRI
Trim	5" Aperture, Directional Eyeball
Lumens	1100
Efficacy	82.1 Lm/W
SC	1.22



Candlepower Distribution



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	324	29.5
0-40	523	47.6
0-60	892	81
0-90	1100	100
90-180	0	0
0-180	1100	100

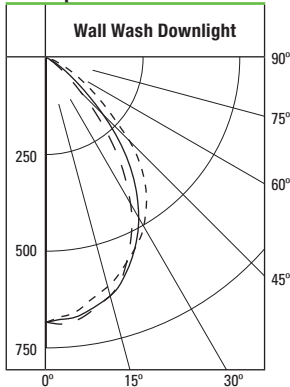
30° Horizontal Plane

D	FC	L	W	CB
5.5	12.3	6.6	6.6	3.2
7	7.6	8.3	8.6	4
8	5.8	9.6	9.8	4.6
9	4.6	10.7	11	5.2
10	3.7	11.9	12.2	5.8
12	2.6	14.3	14.6	6.9

30° Vertical Plane

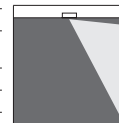
D	FC	L	W	CB
1'	240.2	1.1	1.2	1.7
2'	60.1	2.2	2.6	3.5
3'	26.7	3.3	3.8	5.2
4'	15	4.5	5.2	6.9
5'	9.6	5.6	6.6	8.7
6'	6.7	6.7	7.8	10.4

Candlepower Distribution



ML5609830-595WW

Test Number	P130084
Light Module	900 Series, 80CRI
Trim	5" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	990
Efficacy	73.9 Lm/W
SC	1.06



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	486	49.1
0-40	732	73.9
0-60	964	97.4
0-90	990	100
90-180	0	0
0-180	990	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	4	2.7	1	0.3	0.1	0	0
2'	14.1	10.3	4.4	1.3	0.4	0.1	0
3'	16.4	13.6	7.4	2.9	1.1	0.4	0.1
4'	11.5	10.4	7.4	4	1.8	0.8	0.3
5'	7.6	7.1	5.7	3.8	2.2	1.1	0.5
6'	5.1	4.9	4.2	3.1	2.2	1.3	0.7
7'	3.5	3.4	3	2.4	1.8	1.3	0.8
8'	2.5	2.5	2.3	1.9	1.5	1.1	0.8
9'	1.9	1.8	1.7	1.5	1.2	1	0.7
10'	1.4	1.4	1.3	1.2	1	0.8	0.7

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--	--4'--
1'	4.3 3.3 4.3	4.1 1.9 4.1
2'	15.4 14 15.4	14.5 8.8 14.5
3'	19.3 20.9 19.3	17.5 14.7 17.5
4'	15.5 17.7 15.5	13.3 14.8 13.3
5'	11.4 12.7 11.4	9.9 11.4 9.9
6'	8.2 9 8.2	7.3 8.3 7.3
7'	6 6.4 6	5.4 6.1 5.4
8'	4.4 4.7 4.4	4.1 4.5 4.1
9'	3.3 3.5 3.3	3.1 3.4 3.1
10'	2.6 2.7 2.6	2.4 2.6 2.4

Legend

0-deg:	---	Wall
90-deg:	---	Side
180-deg:	---	Room

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.

Photometry 6" Trims • 900 Series • 80 CRI

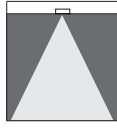
Multiplier Table

CCT Option	2700 K	3000 K	3500 K	4000 K
CCT Multiplier	0.93	1.00	1.02	1.04

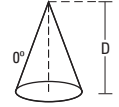
Table based upon testing with 3000°K color temperature, 80CRI.
Multipliers may be used to determine relative lumen values with other color temperatures.

ML5609830-692SC

Test Number	P130100
Light Module	900 Series, 80CRI
Trim	6" Aperture, Specular Clear Trim
Lumens	1023
Efficacy	76.3 Lm/W
SC	0.66

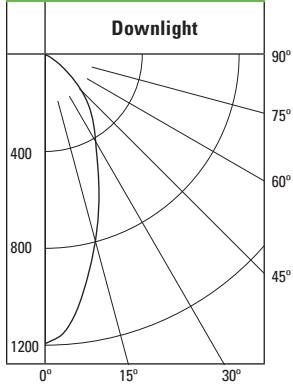


Cone of Light



D	FC	L	W
5.5	39.4	3.6	3.6
7	24.4	4.6	4.6
8	18.6	5.2	5.2
9	14.7	5.8	5.8
10	11.9	6.6	6.6
12	8.3	7.8	7.8

Candlepower Distribution

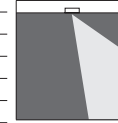


Zonal Lumen Summary

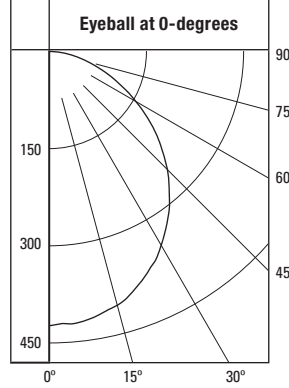
Zone	Lumens	%Fixture
0-30	562	54.9
0-40	778	76.1
0-60	1009	98.7
0-90	1023	100
90-180	0	0
0-180	1023	100

ML5609830-694WB

Test Number	P130156
Light Module	900 Series, 80CRI
Trim	6" Aperture, Directional Eyeball
Lumens	1099
Efficacy	82 Lm/W
SC	1.21

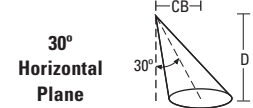


Candlepower Distribution

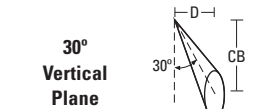


Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	324	29.5
0-40	523	47.6
0-60	891	81.1
0-90	1099	100
90-180	0	0
0-180	1099	100

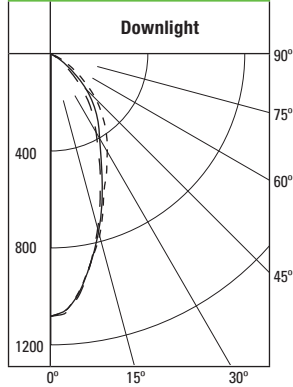


D	FC	L	W	CB
5.5	12.3	6.6	6.6	3.2
7	7.6	8.3	8.6	4
8	5.8	9.6	9.8	4.6
9	4.6	10.7	11	5.2
10	3.7	12	12.2	5.8
12	2.6	14.3	14.6	6.9



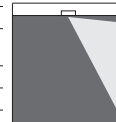
D	FC	L	W	CB
1'	240.2	1.1	1.2	1.7
2'	60.1	2.2	2.6	3.5
3'	26.7	3.3	3.8	5.2
4'	15	4.5	5.2	6.9
5'	9.6	5.6	6.6	8.7
6'	6.7	6.7	7.8	10.4

Candlepower Distribution



ML5609830-695WW

Test Number	P130180
Light Module	900 Series, 80CRI
Trim	6" Aperture, Wall Wash with Specular Clear Trim and Specular Clear Kick Reflector
Lumens	997
Efficacy	74.4 Lm/W
SC	0.69



Zonal Lumen Summary

Zone	Lumens	%Fixture
0-30	533	53.5
0-40	745	74.8
0-60	974	97.7
0-90	997	100
90-180	0	0
0-180	997	100

Single Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	●	1'	2'	3'	4'	5'	6'
1'	3	1.7	0.6	0.2	0.1	0	0
2'	13	9.3	4	1.3	0.3	0.1	0
3'	13.9	11.3	6.6	2.9	1.1	0.4	0.1
4'	10.5	9	6.2	3.6	1.8	0.8	0.3
5'	7.4	6.6	5	3.3	2	1.1	0.5
6'	5.3	4.8	3.8	2.7	1.8	1.2	0.7
7'	3.9	3.6	3	2.2	1.6	1.1	0.7
8'	3	2.8	2.3	1.8	1.3	1	0.7
9'	2.3	2.2	1.9	1.5	1.1	0.8	0.6
10'	1.8	1.7	1.5	1.2	1	0.7	0.6

Multiple Unit Footcandles

2.5' From Wall (Distance From Fixture Along Wall)

DD	--3'--	--4'--
1'	3.2 2.2 3.2	3 1.2 3
2'	14.3 13 14.3	13.4 8.1 13.4
3'	16.9 18.2 16.9	15 13.2 15
4'	14.1 15.5 14.1	12.2 12.5 12.2
5'	10.7 11.7 10.7	9.4 9.9 9.4
6'	8 8.8 8	7.1 7.7 7.1
7'	6.2 6.7 6.2	5.5 5.9 5.5
8'	4.8 5.2 4.8	4.4 4.6 4.4
9'	3.8 4.1 3.8	3.5 3.7 3.5
10'	3 3.3 3	2.8 3 2.8

Legend

0-deg: --- --- ---	Wall
90-deg: --- --- ---	Side
180-deg: --- --- ---	Room

Photometric tests are per IES measurement standards. Tests represent typical fixture performance. Field results may vary.



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Shops at Port Royal **PROJECT #:** DRB-001057-2018
PROJECT ADDRESS: 95 Mathews Drive
CATEGORY: Alteration/Addition
ACTION DATE: May 22, 2018 **NOTICE DATE:** May 24, 2018
APPLICANT/AGENT: SVG, LLC
PO Box 8
Hilton Head Island, SC 29938
Email: jyrarchitect@gmail.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. The roof shall be standing seam in “Medium Bronze”.
2. The band above the storefronts shall be a “Medium Bronze” color to match the roof color in lieu of the submitted “Colonial Red”.
3. The “Designer Grey” color shall be used for the entire underside of the structures.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer

Glidden

Trim

Field
Band

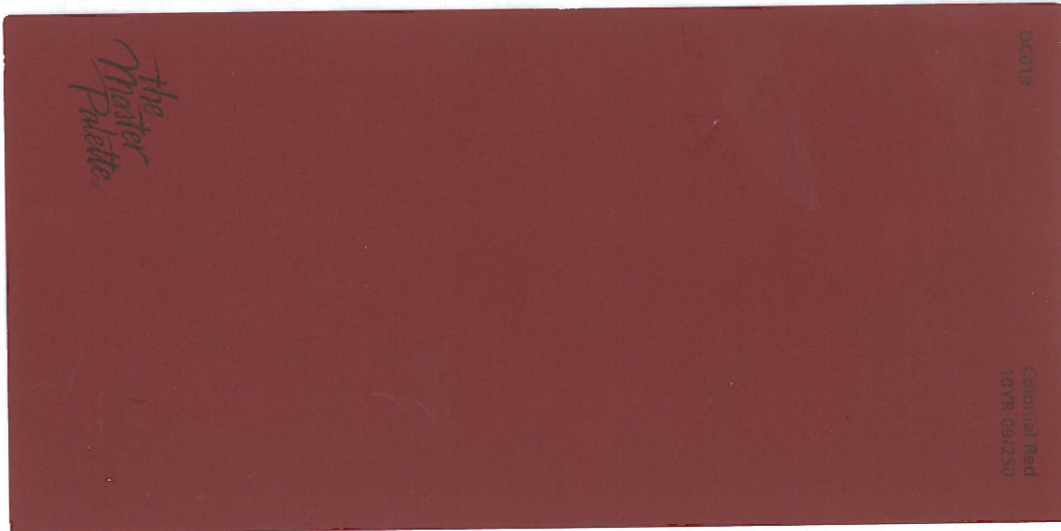
Grey Mountain
Specify #40YY 25/074

Order #A1860

The Master Palette

Designer Grey
50YY 63/041

DN042



DC019

Colonial Red
10YR 09/250

"Medium Bronze" Metal Standing Seam Room
Building Band to match



Final
4-24-18

STAMP:

STAMP:

RELEASE FOR CONSTRUCTION DATE:

June 25, 2018

RELEASE FOR PERMIT DATE:

June 15, 2018

Feb 20, 2018

JYRArchitect

ARCHITECTURE, PLANNING & ENTITLEMENT

20 Willow Oak W, Hilton Head Island, SC 29928

(843) 368-5641

E-Mail : jyrarchitect@gmail.com

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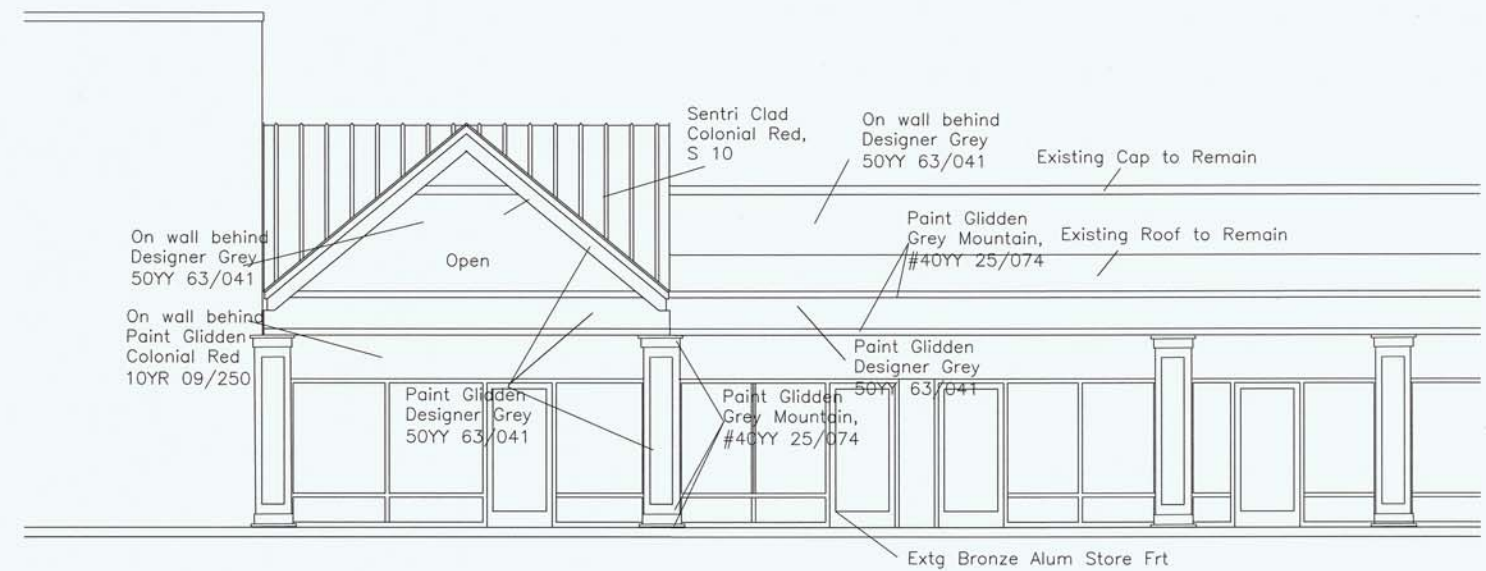
NO.	DATE	REVISION

Repainting & Refurbishing
Port Royal Plaza
Lot 3 Port Royal Plaza
Hilton Head Island, SC
PREPARED FOR:
The Bradshaw Group

PROJECT NO: JYR-3073- JYR
DRAWN BY: R
CHECKED BY: JYR

Elevations
Opt A

SHEET NO.
A3.01



Partial Front Elevation - Large Scale
SCALE: 1/4"=1'-0"
F/Elev.dwg

Note: It is expected the project may be phased .
Accomplishment will be coordinated with cash flow.

Note: All stucco is existing and should be power washed, and where necessary repointed or patched prior to re-painting.
Existing stucco texture is sand finish.











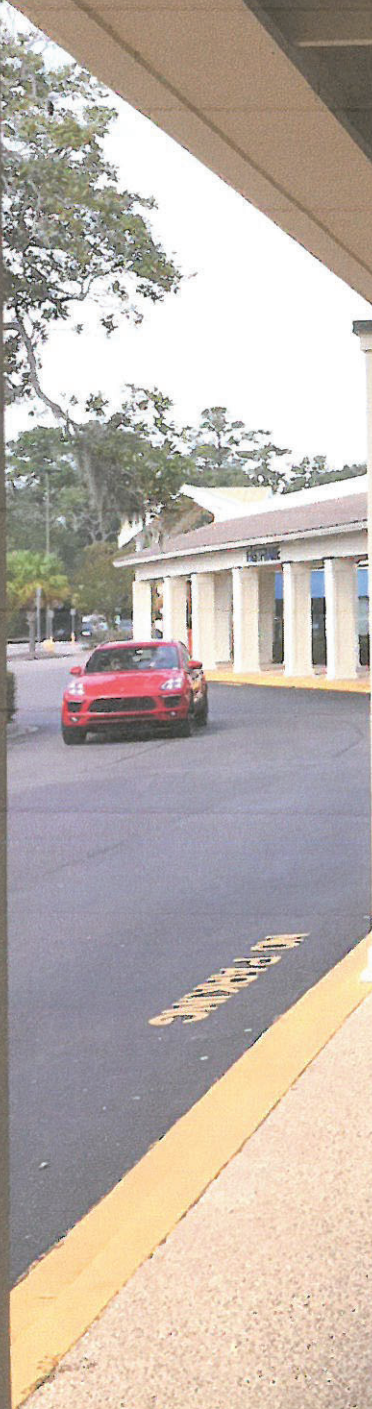
The Purple Cow

AURORA
Beauty Salon

CONFECTIONS

ROCKTAILS

ISLAND TRAVEL



Buck
ESCORTEO TRAVEL



♣ Bridge Club ♠





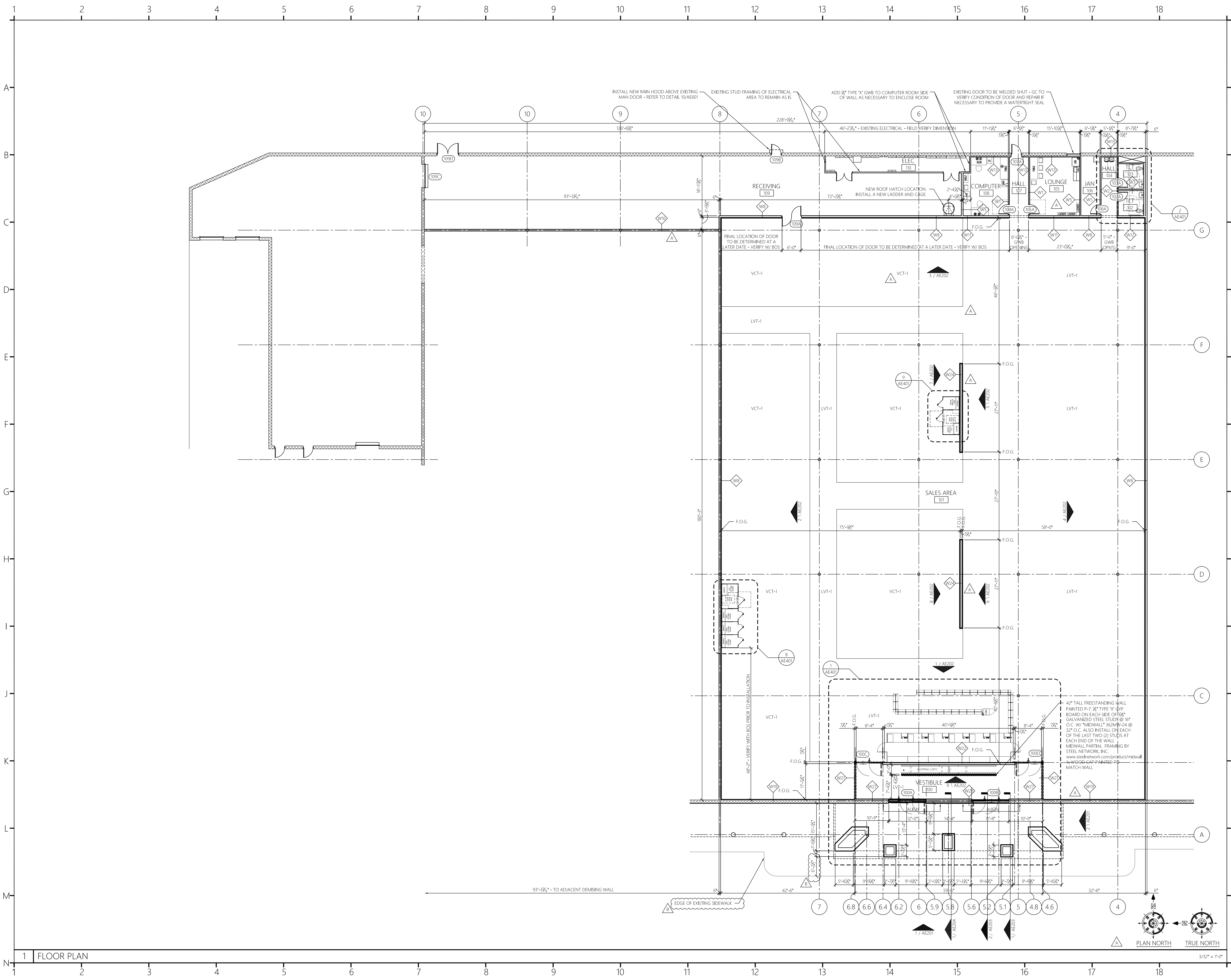
Replace





Replac

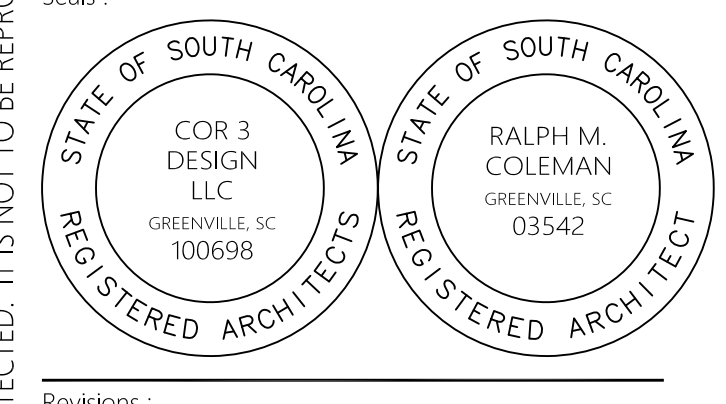




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 Fax: 864.990.3085
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 25 Woodlake Road, Suite 709
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 864.271.6335
ELECTRICAL
 REC
 116 South Pleasantburg Drive
 Greenville, SC 29607
 864.233.8944

Project Title:
#327 BURKES HOME CENTRIC
 95 MATTHEWS DRIVE
 HILTON HEAD, SC 29926

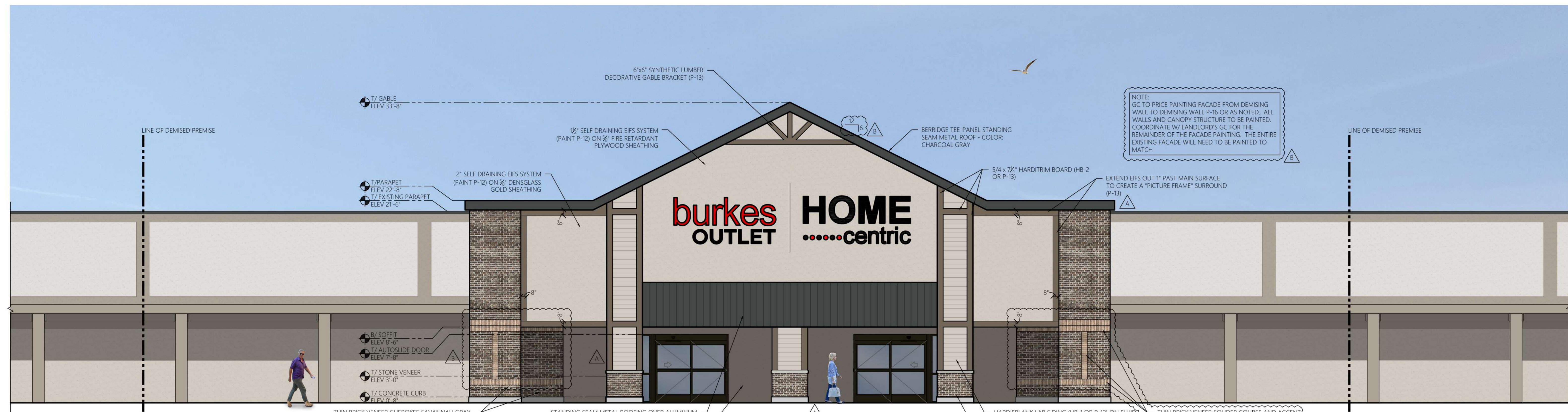


Revisions:
 10.11.2019 Issue for Permit
 A 11.13.2019 Owner Comments
 B 11.25.2019 Zoning Review Comments

Project Number:
 19029
 Phase:
 CD
 Date:
 10.11.2019
 Drawn By:
 -
 Checked By:
 -

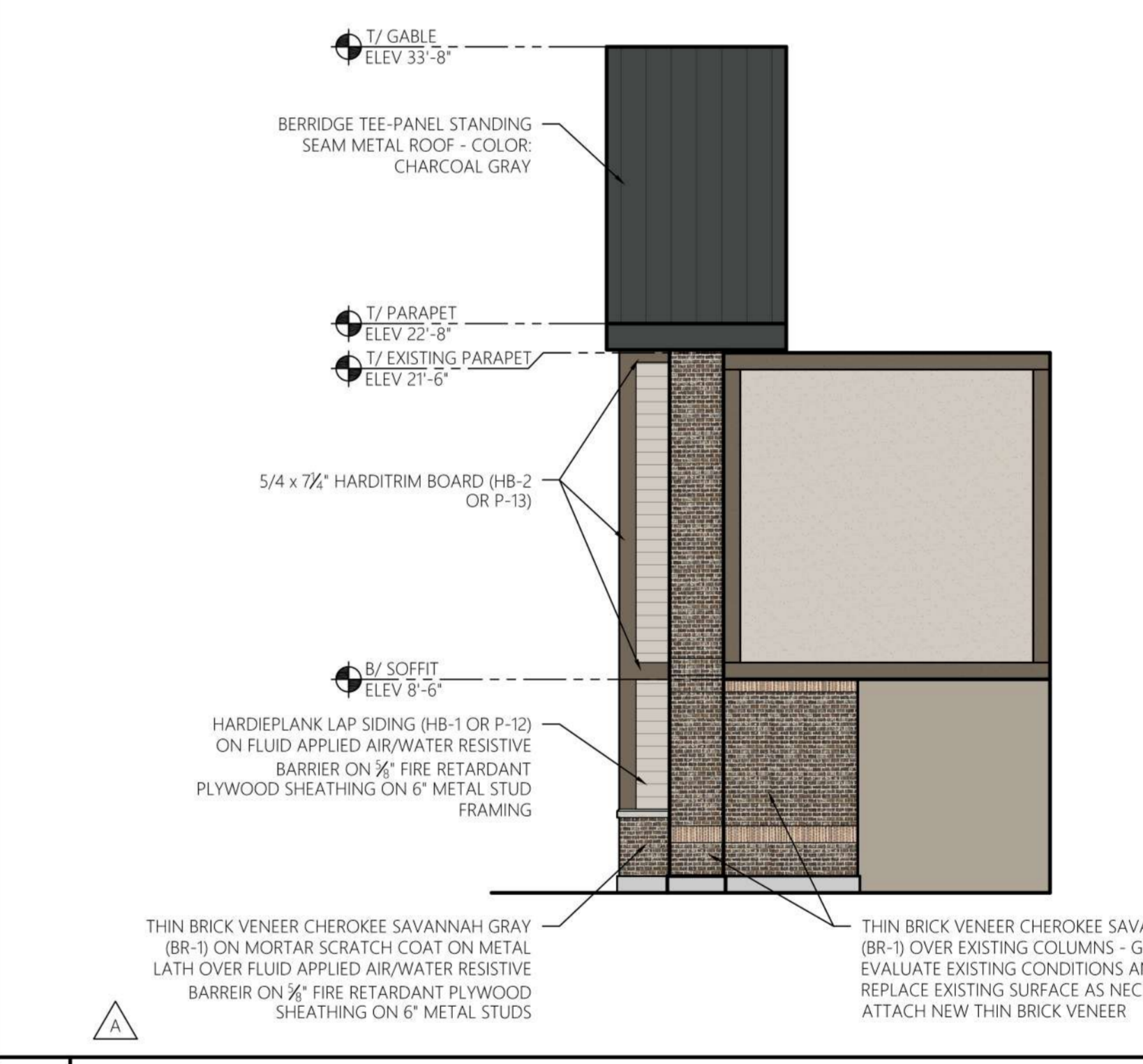
Sheet Number:
AE101
 Sheet Title:
 FLOOR PLAN

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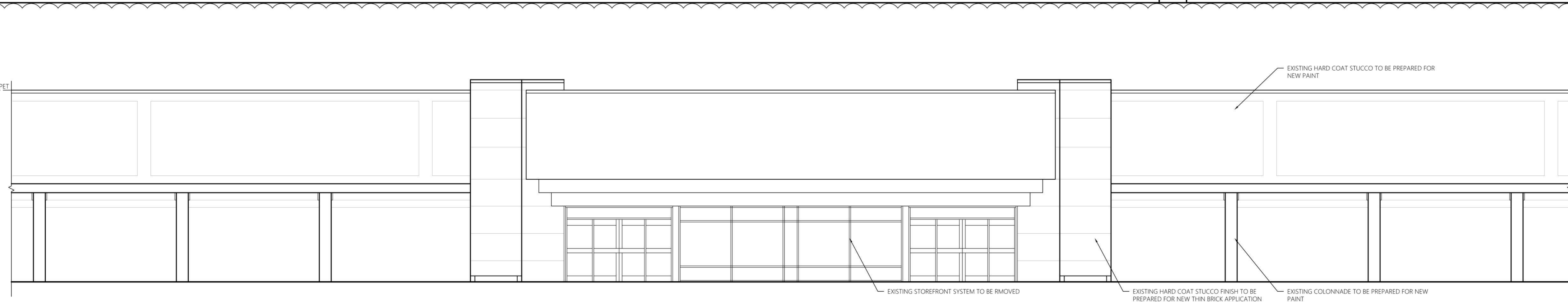
1 ENTRY ELEVATION

3/16" = 1'-0"



2 ENTRY ELEVATION

3/16" = 1'-0"



3 EXISTING ENTRY ELEVATION

3/16" = 1'-0"

Project Title:
#327 BURKES HOME CENTRIC
 95 MATTHEWS DRIVE
 HILTON HEAD, SC 29926

Client Logo:
bealls | HOME centric

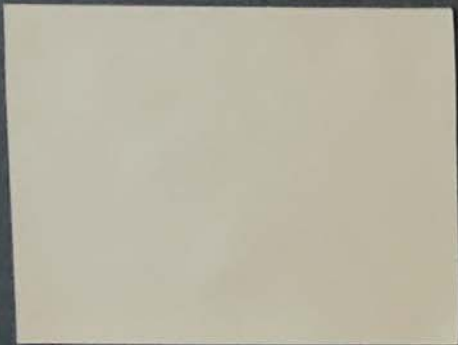
Seals:
 COR 3 DESIGN, LLC
 RALPH M. COLEMAN
 REGISTERED ARCHITECTS

Revisions:
 10.11.2019 Issue for Permit
 A 11.07.2019 Zoning Review Comments
 B 11.22.2019 Zoning Review Comments

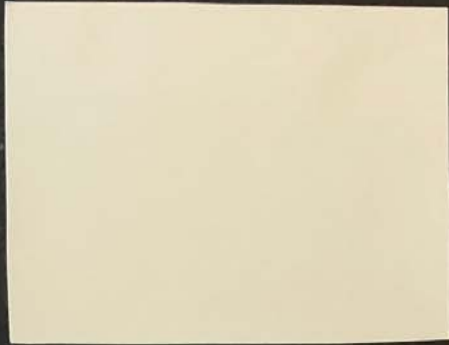
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 Phase:
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Sheet Number:
AE201
 Sheet Title:
 EXTERIOR ELEVATIONS

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PAINT 16
SW 7031 MEGA GREIGE



PAINT 12
SW 7029 AGREEABLE GRAY



PAINT 13
SW 7033 BRAINSTORM BRONZE



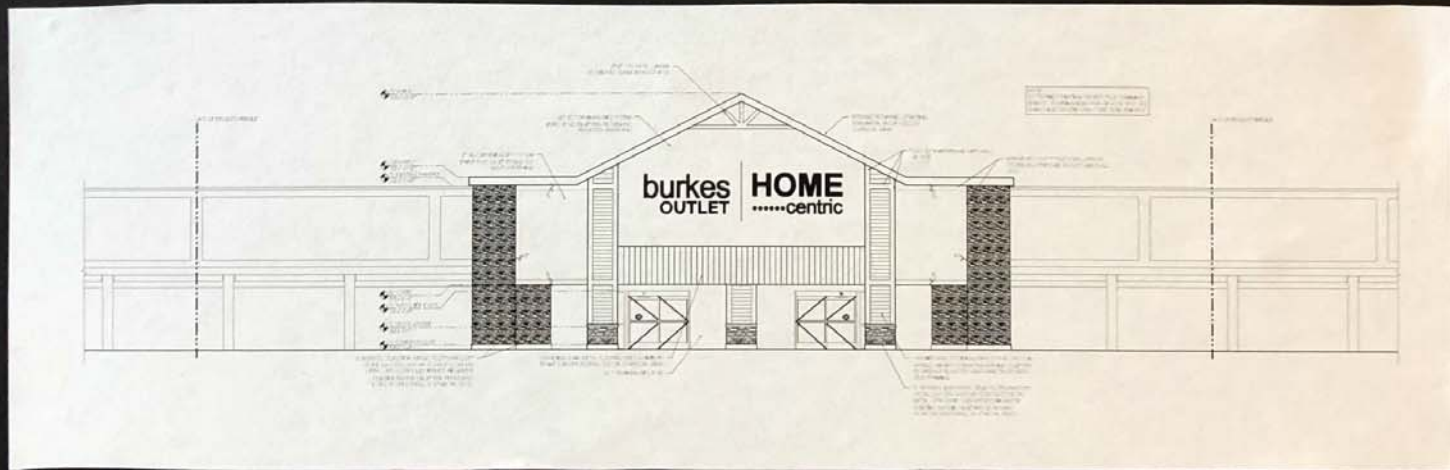
BRICK - CHEROKEE
SAVANNAH GRAY



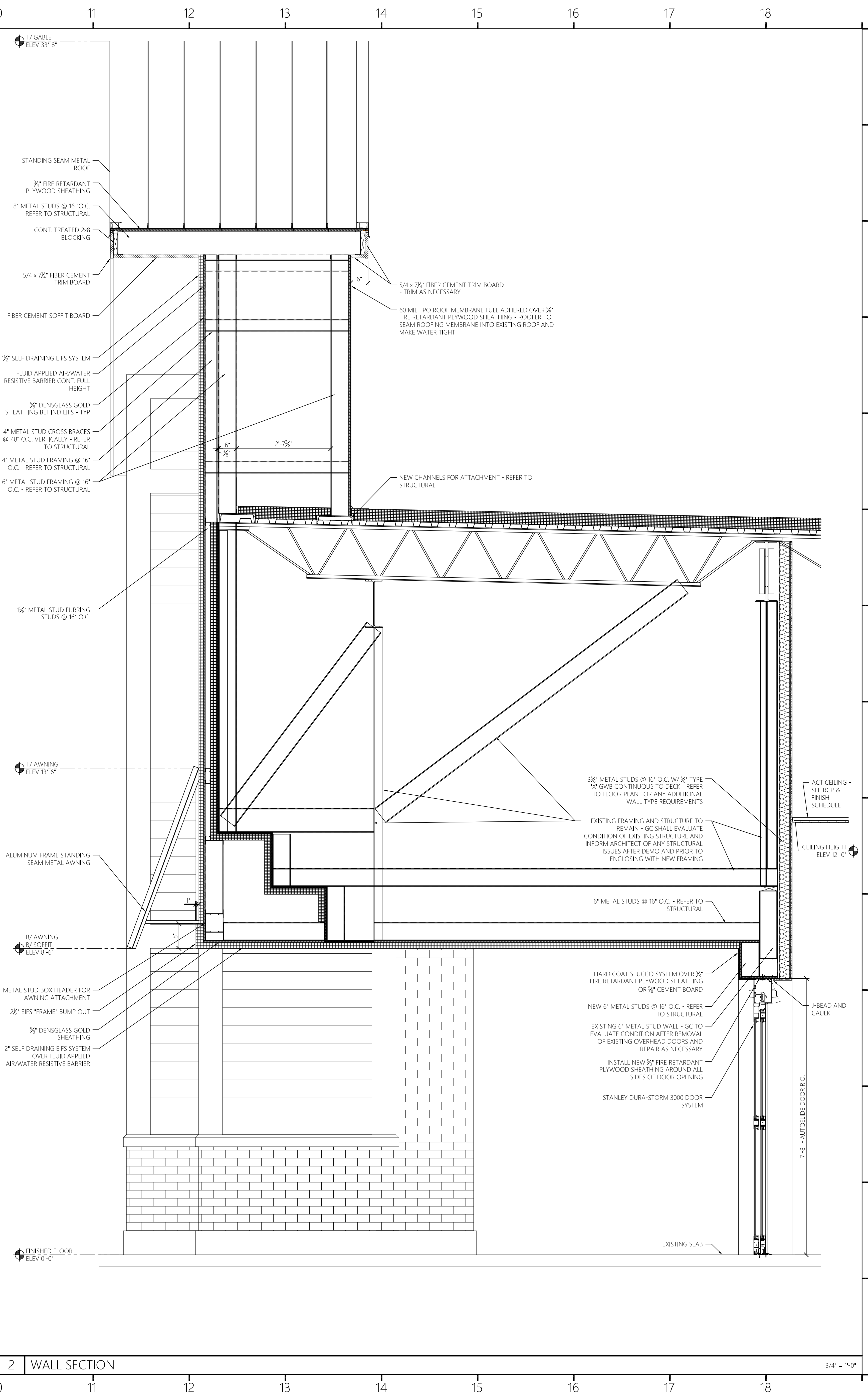
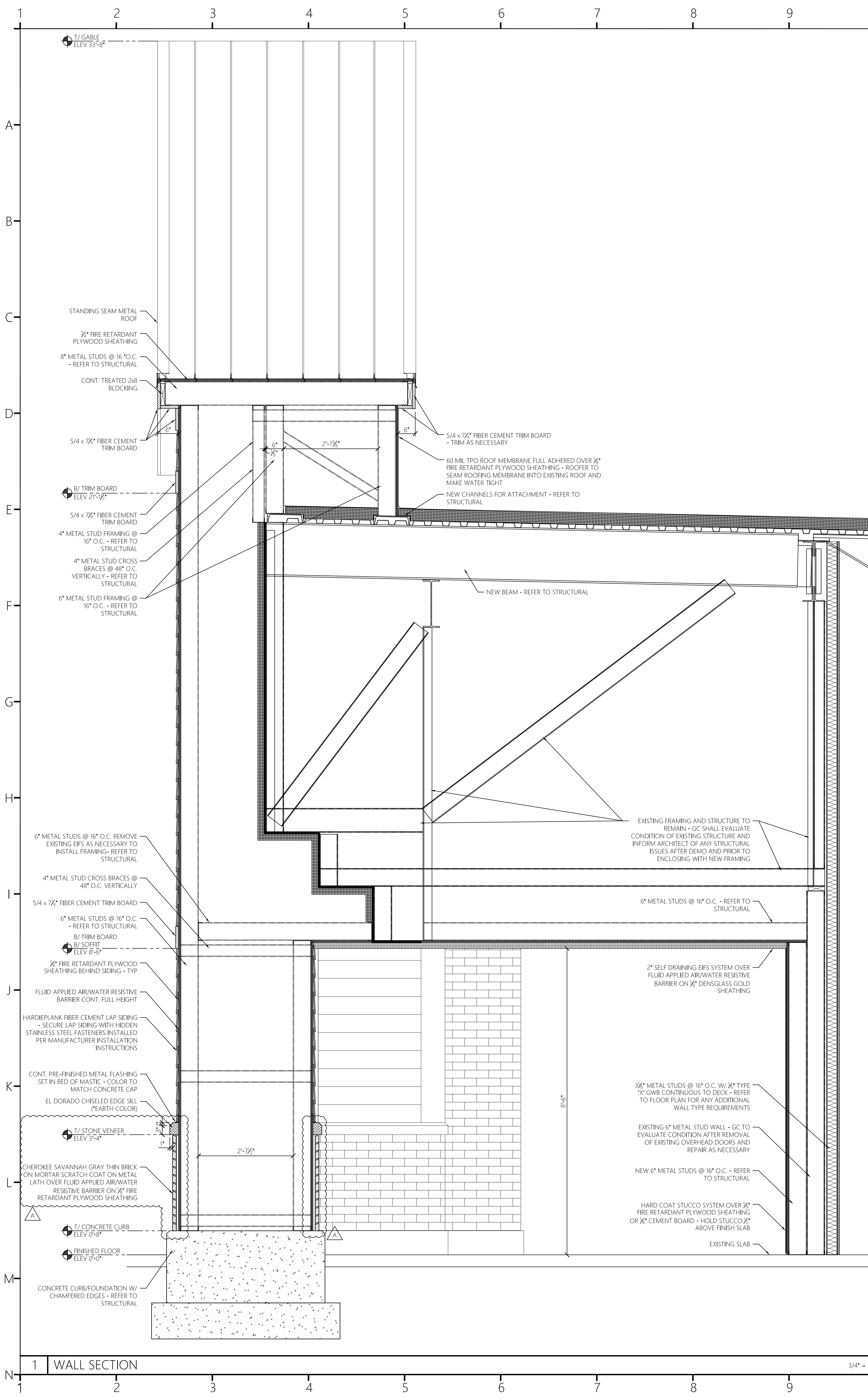
STANDING SEAM METAL ROOFING
CHARCOAL GRAY



ALUMINUM STOREFRONT
CLEAR ANODIZED



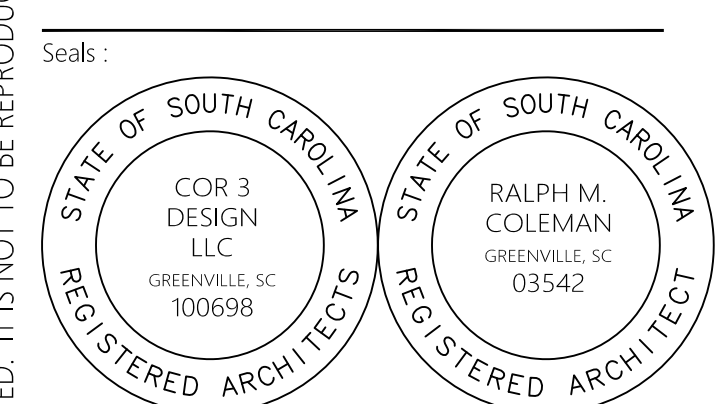
BURKES #327, PORT ROYAL PLAZA, HILTON HEAD, SC



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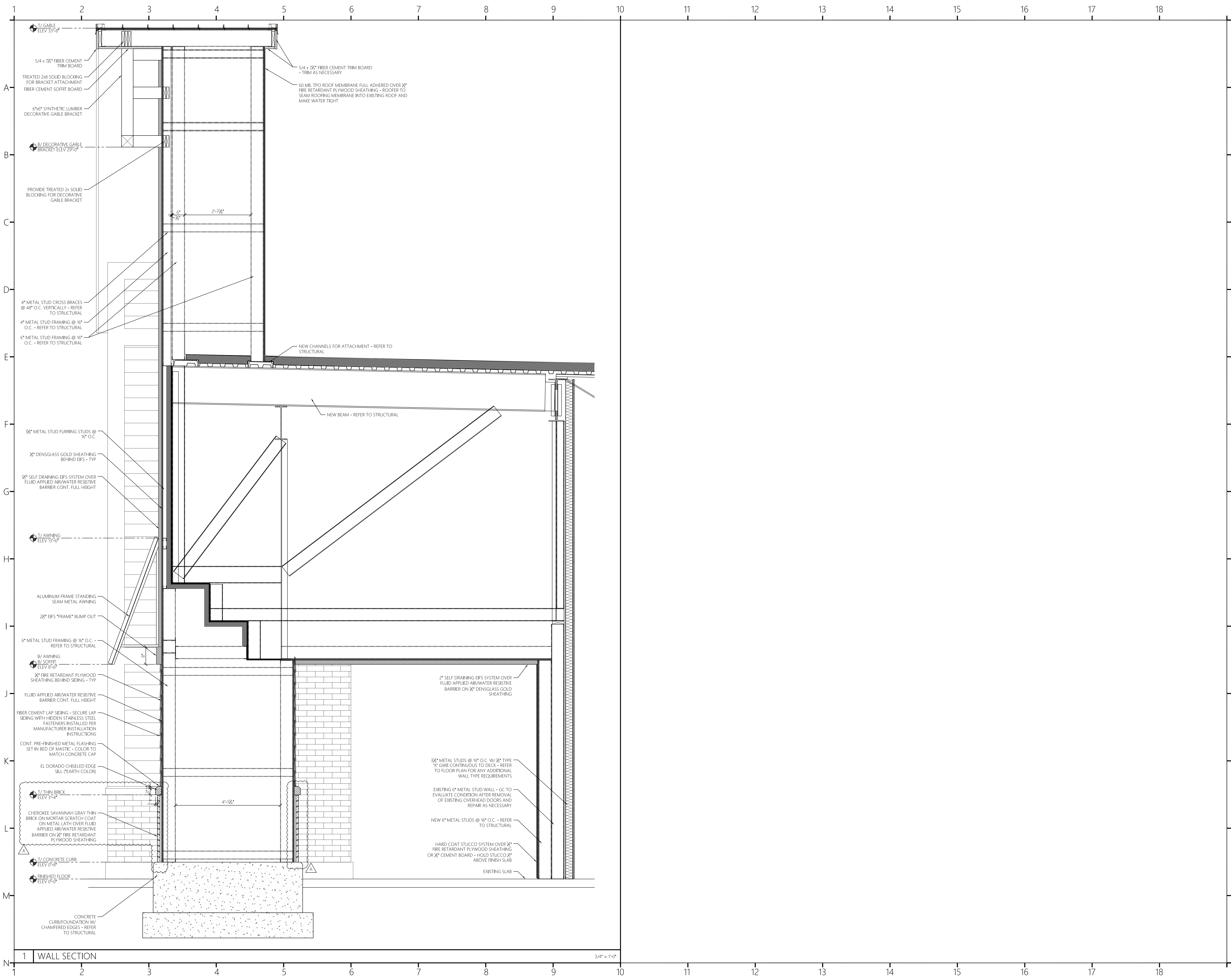


Revisions:
 10.11.2019 Issue for Permit
 A 11.25.2019 Zoning Review Comments

Project Number:
 19029
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 10.11.2019
 Drawn By:
 -
 Checked By:
 -
 Sheet Number:
AE203

Sheet Title:
WALL SECTIONS

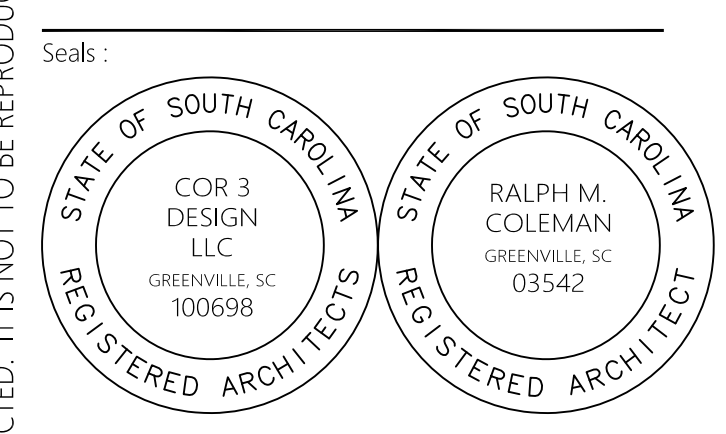
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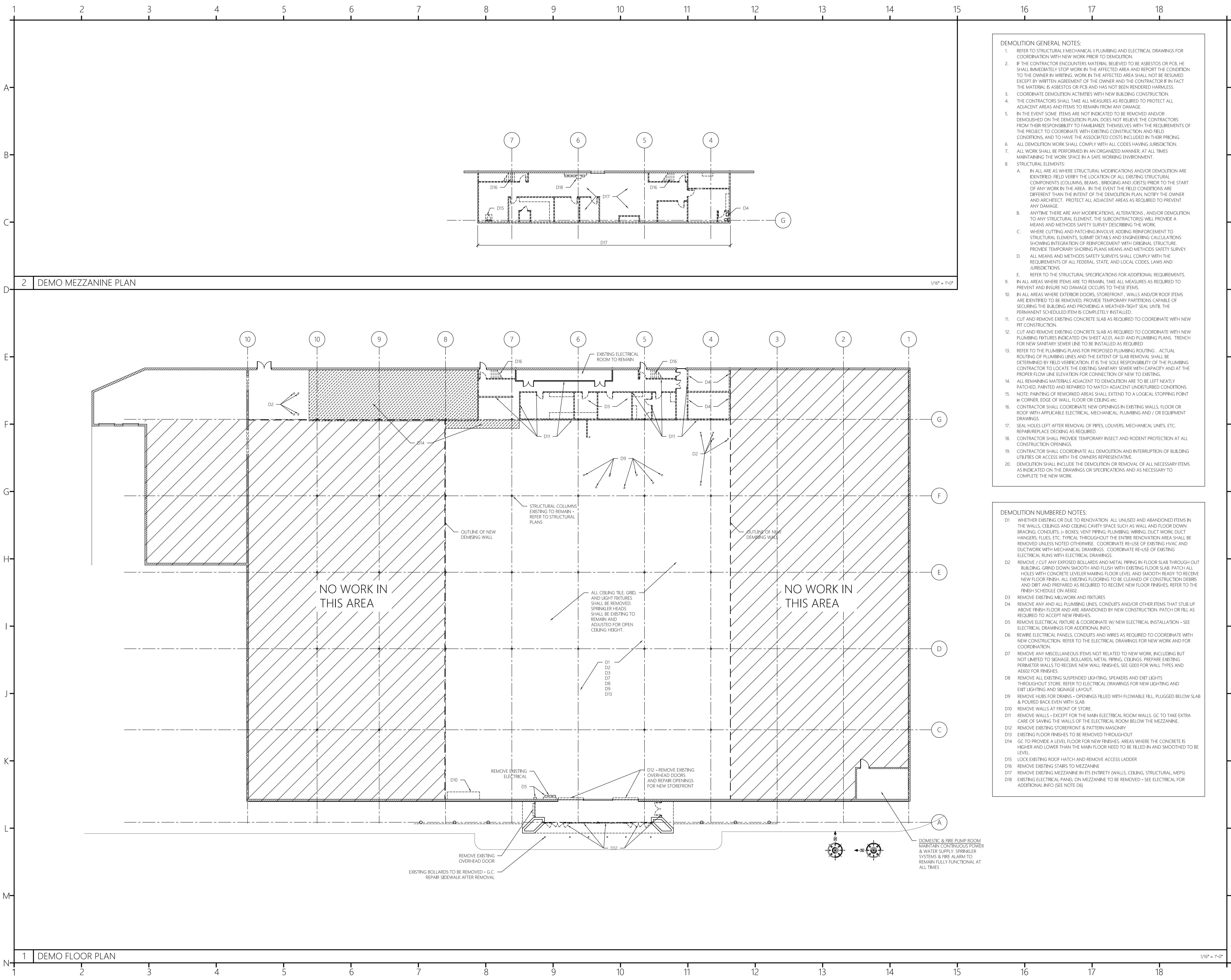
Revisions:
 10.11.2019 Issue for Permit
 A 11.25.2019 Zoning Review Comments

Project Number:
 19029
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 CD
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 10.11.2019
 Drawn By:
 -
 Checked By:
 -

Sheet Number:
AE204
 Sheet Title:
 WALL SECTIONS

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1 | WALL SECTION 3/4" = 1'-0"



- DEMOLITION GENERAL NOTES:**
- REFER TO STRUCTURAL / MECHANICAL / PLUMBING AND ELECTRICAL DRAWINGS FOR COORDINATION WITH NEW WORK PRIOR TO DEMOLITION.
 - IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR PCB, HE SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA AND REPORT THE CONDITION TO THE OWNER IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED EXCEPT BY WRITTEN AGREEMENT OF THE OWNER AND THE CONTRACTOR IF IN FACT THE MATERIAL IS ASBESTOS OR PCB AND HAS NOT BEEN RENDERED HARMLESS.
 - COORDINATE DEMOLITION ACTIVITIES WITH NEW BUILDING CONSTRUCTION.
 - THE CONTRACTORS SHALL TAKE ALL MEASURES AS REQUIRED TO PROTECT ALL ADJACENT AREAS AND ITEMS TO REMAIN FROM ANY DAMAGE.
 - IN THE EVENT SOME ITEMS ARE NOT INDICATED TO BE REMOVED AND/OR DEMOLISHED ON THE DEMOLITION PLAN, DOES NOT RELIEVE THE CONTRACTORS FROM THEIR RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS OF THE PROJECT TO COORDINATE WITH EXISTING CONSTRUCTION AND FIELD CONDITIONS, AND TO HAVE THE ASSOCIATED COSTS INCLUDED IN THEIR PRICING.
 - ALL DEMOLITION WORK SHALL COMPLY WITH ALL CODES HAVING JURISDICTION.
 - ALL WORK SHALL BE PERFORMED IN AN ORGANIZED MANNER, AT ALL TIMES MAINTAINING THE WORK SPACE IN A SAFE WORKING ENVIRONMENT.
 - STRUCTURAL ELEMENTS:
 - IN ALL AREAS WHERE STRUCTURAL MODIFICATIONS AND/OR DEMOLITION ARE IDENTIFIED, FIELD VERIFY THE LOCATION OF ALL EXISTING STRUCTURAL COMPONENTS (COLUMNS, BEAMS, BRIDGING AND JOISTS) PRIOR TO THE START OF ANY WORK IN THE AREA. IN THE EVENT THE FIELD CONDITIONS ARE DIFFERENT THAN THE INTENT OF THE DEMOLITION PLAN, NOTIFY THE OWNER AND ARCHITECT. PROTECT ALL ADJACENT AREAS AS REQUIRED TO PREVENT ANY DAMAGE.
 - ANYTIME THERE ARE ANY MODIFICATIONS, ALTERATIONS, AND/OR DEMOLITION TO ANY STRUCTURAL ELEMENT, THE SUBCONTRACTOR(S) WILL PROVIDE A MEANS AND METHODS SAFETY SURVEY DESCRIBING THE WORK.
 - WHERE CUTTING AND PATCHING INVOLVE ADDING REINFORCEMENT TO STRUCTURAL ELEMENTS, SUBMIT DETAILS AND ENGINEERING CALCULATIONS SHOWING INTEGRATION OF REINFORCEMENT WITH ORIGINAL STRUCTURE. PROVIDE TEMPORARY SHORING PLANS MEANS AND METHODS SAFETY SURVEY.
 - ALL MEANS AND METHODS SAFETY SURVEYS SHALL COMPLY WITH THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL CODES, LAWS AND JURISDICTIONS.
 - REFER TO THE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - IN ALL AREAS WHERE ITEMS ARE TO REMAIN, TAKE ALL MEASURES AS REQUIRED TO PREVENT AND INSURE NO DAMAGE OCCURS TO THESE ITEMS.
 - IN ALL AREAS WHERE EXTERIOR DOORS, STOREFRONT, WALLS AND/OR ROOF ITEMS ARE IDENTIFIED TO BE REMOVED, PROVIDE TEMPORARY PARTITIONS CAPABLE OF SECURING THE BUILDING AND PROVIDING A WEATHER-TIGHT SEAL UNTIL THE PERMANENT SCHEDULED ITEM IS COMPLETELY INSTALLED.
 - CUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO COORDINATE WITH NEW PIT CONSTRUCTION.
 - CUT AND REMOVE EXISTING CONCRETE SLAB AS REQUIRED TO COORDINATE WITH NEW PLUMBING FIXTURES INDICATED ON SHEET 201.4401 AND PLUMBING PLANS. TRENCH FOR NEW SANITARY SEWER LINE TO BE INSTALLED AS REQUIRED.
 - REFER TO THE PLUMBING PLANS FOR PROPOSED PLUMBING ROUTING. ACTUAL ROUTING OF PLUMBING LINES AND THE EXTENT OF SLAB REMOVAL SHALL BE DETERMINED BY FIELD VERIFICATION. IT IS THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO LOCATE THE EXISTING SANITARY SEWER WITH CAPACITY AND AT THE PROPER FLOW LINE ELEVATION FOR CONNECTION OF NEW TO EXISTING.
 - ALL REMAINING MATERIALS ADJACENT TO DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH ADJACENT UNDISTURBED CONDITIONS.
 - NOTE: PAINTING OF REWORKED AREAS SHALL EXTEND TO A LOGICAL STOPPING POINT @ CORNER, EDGE OF WALL, FLOOR OR CEILING etc.
 - CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS, FLOOR OR ROOF WITH APPLICABLE ELECTRICAL, MECHANICAL, PLUMBING AND/OR EQUIPMENT DRAWINGS.
 - SEAL HOLES LEFT AFTER REMOVAL OF PIPES, LOUVERS, MECHANICAL UNITS, ETC. REPAIR/REPLACE DECKING AS REQUIRED.
 - CONTRACTOR SHALL PROVIDE TEMPORARY INSECT AND RODENT PROTECTION AT ALL CONSTRUCTION OPENINGS.
 - CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND INTERRUPTION OF BUILDING UTILITIES OR ACCESS WITH THE OWNERS REPRESENTATIVE.
 - DEMOLITION SHALL INCLUDE THE DEMOLITION OR REMOVAL OF ALL NECESSARY ITEMS AS INDICATED ON THE DRAWINGS OR SPECIFICATIONS AND AS NECESSARY TO COMPLETE THE NEW WORK.

- DEMOLITION NUMBERED NOTES:**
- WHETHER EXISTING OR DUE TO RENOVATION, ALL UNUSED AND ABANDONED ITEMS IN THE WALLS, CEILINGS AND CEILING CAVITY SPACE SUCH AS WALL AND FLOOR DOWN BRACING, CONDUITS, J-BOXES, VENT PIPING, PLUMBING, WIRING, DUCT WORK, DUCT HANGERS, FLEXES, ETC. TYPICAL THROUGHOUT THE ENTIRE RENOVATION AREA SHALL BE REMOVED UNLESS NOTED OTHERWISE. COORDINATE RE-USE OF EXISTING DUCTWORK WITH MECHANICAL DRAWINGS. COORDINATE RE-USE OF EXISTING ELECTRICAL RUNS WITH ELECTRICAL DRAWINGS.
 - REMOVE / CUT ANY EXPOSED BOLLARDS AND METAL PIPING IN FLOOR SLAB THROUGHOUT BUILDING. GRIND DOWN SMOOTH AND FLUSH WITH EXISTING FLOOR SLAB. PATCH ALL HOLES WITH CONCRETE LEVELER MARKING FLOOR LEVEL AND SMOOTH READY TO RECEIVE NEW FLOOR FINISH. ALL EXISTING FLOORING TO BE CLEANED OF CONSTRUCTION DEBRIS AND DIRT AND PREPARED AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. REFER TO THE FINISH SCHEDULE ON A602.
 - REMOVE EXISTING MILLWORK AND FIXTURES
 - REMOVE ANY AND ALL PLUMBING LINES, CONDUITS AND/OR OTHER ITEMS THAT STUB UP ABOVE FINISH FLOOR AND ARE ABANDONED BY NEW CONSTRUCTION. PATCH OR FILL AS REQUIRED TO ACCEPT NEW FINISHES.
 - REMOVE ELECTRICAL FIXTURE & COORDINATE W/ NEW ELECTRICAL INSTALLATION - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
 - REWIRE ELECTRICAL PANELS, CONDUITS AND WIRES AS REQUIRED TO COORDINATE WITH NEW CONSTRUCTION. REFER TO THE ELECTRICAL DRAWINGS FOR NEW WORK AND FOR COORDINATION.
 - REMOVE ANY MISCELLANEOUS ITEMS NOT RELATED TO NEW WORK, INCLUDING BUT NOT LIMITED TO SIGNAGE, BOLLARDS, METAL PIPING, CEILING. PREPARE EXISTING PERIMETER WALLS TO RECEIVE NEW WALL FINISHES. SEE 0003 FOR WALL TYPES AND A602 FOR FINISHES.
 - REMOVE ALL EXISTING SUSPENDED LIGHTING, SPEAKERS AND EXIT LIGHTS THROUGHOUT STORE. REFER TO ELECTRICAL DRAWINGS FOR NEW LIGHTING AND EXIT LIGHTING AND SIGNAGE LAYOUT.
 - REMOVE HUBS FOR DRAINS - OPENINGS FILLED WITH FLOWABLE FILL, PLUGGED BELOW SLAB & POURED BACK EVEN WITH SLAB.
 - REMOVE WALLS AT FRONT OF STORE.
 - REMOVE WALLS - EXCEPT FOR THE MAIN ELECTRICAL ROOM WALLS. GC TO TAKE EXTRA CARE OF SAVING THE WALLS OF THE ELECTRICAL ROOM BELOW THE MEZZANINE.
 - REMOVE EXISTING STOREFRONT & PATTERNS MASONRY
 - EXISTING FLOOR FINISHES TO BE REMOVED THROUGHOUT
 - GC TO PROVIDE A LEVEL FLOOR FOR NEW FINISHES. AREAS WHERE THE CONCRETE IS HIGHER AND LOWER THAN THE MAIN FLOOR NEED TO BE FILLED IN AND SMOOTHED TO BE LEVEL.
 - LOCK EXISTING ROOF HATCH AND REMOVE ACCESS LADDER
 - REMOVE EXISTING STAIRS TO MEZZANINE
 - REMOVE EXISTING MEZZANINE IN ITS ENTIRETY (WALLS, CEILING, STRUCTURAL, MEPS)
 - EXISTING ELECTRICAL PANEL ON MEZZANINE TO BE REMOVED - SEE ELECTRICAL FOR ADDITIONAL INFO (SEE NOTE D6)

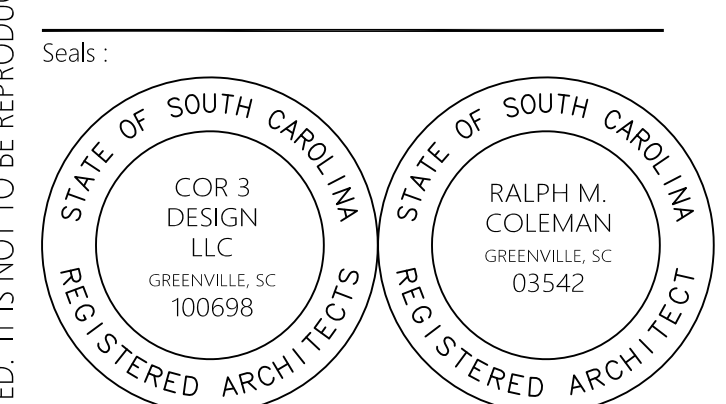


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ELECTRICAL
 HCL
 116 South Pleasantburg Drive
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Project Title:
#327 BURKES HOME CENTRIC
 95 MATTHEWS DRIVE
 HILTON HEAD, SC 29926

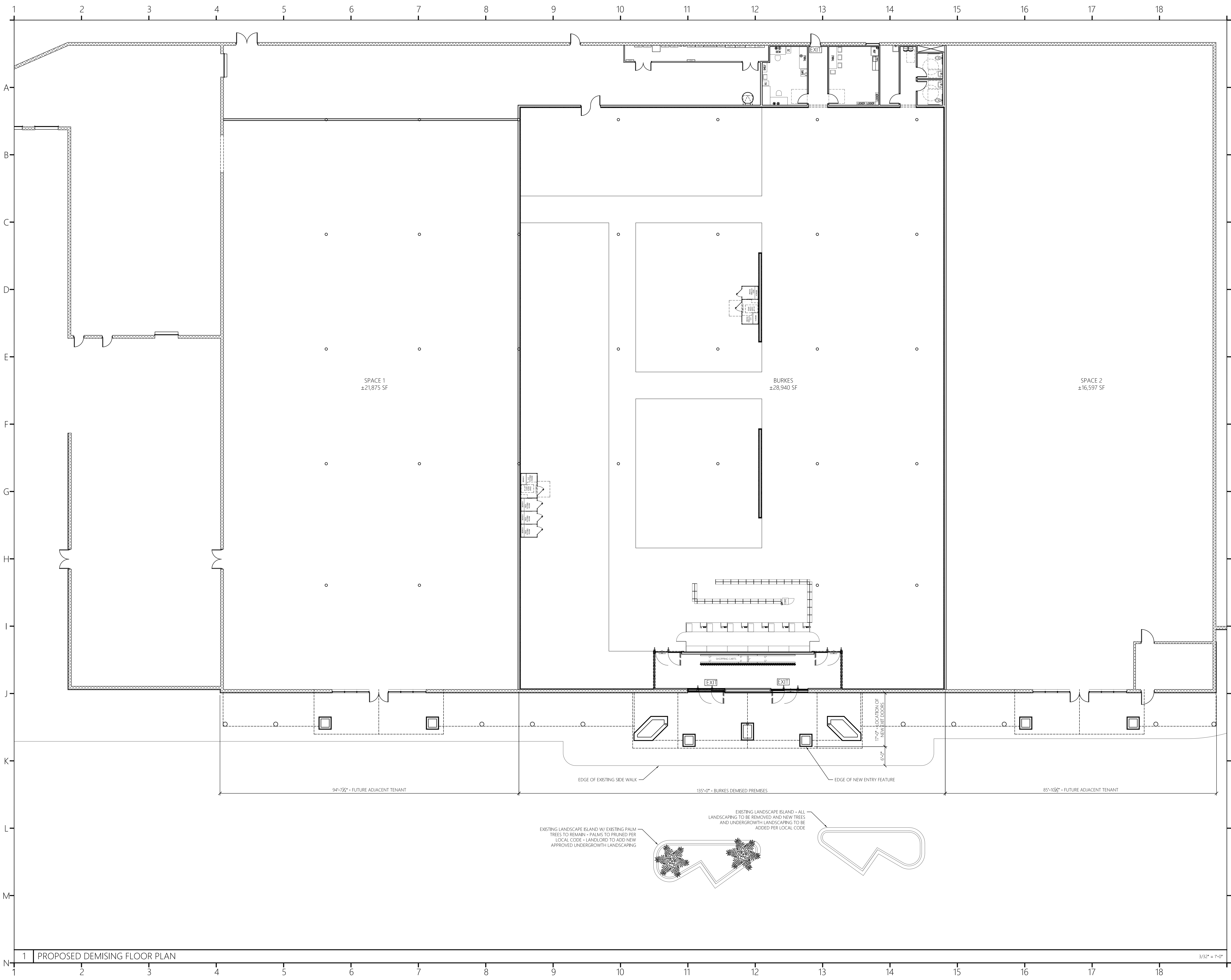
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Revisors:
 10.11.2019 Issue for Permit

Project Number:
 19029
 Phase:
 CD
 Date:
 10.11.2019
 Drawn By:
 -
 Checked By:
 -
 Sheet Number:
D101
 Sheet Title:
 DEMO FLOOR PLAN

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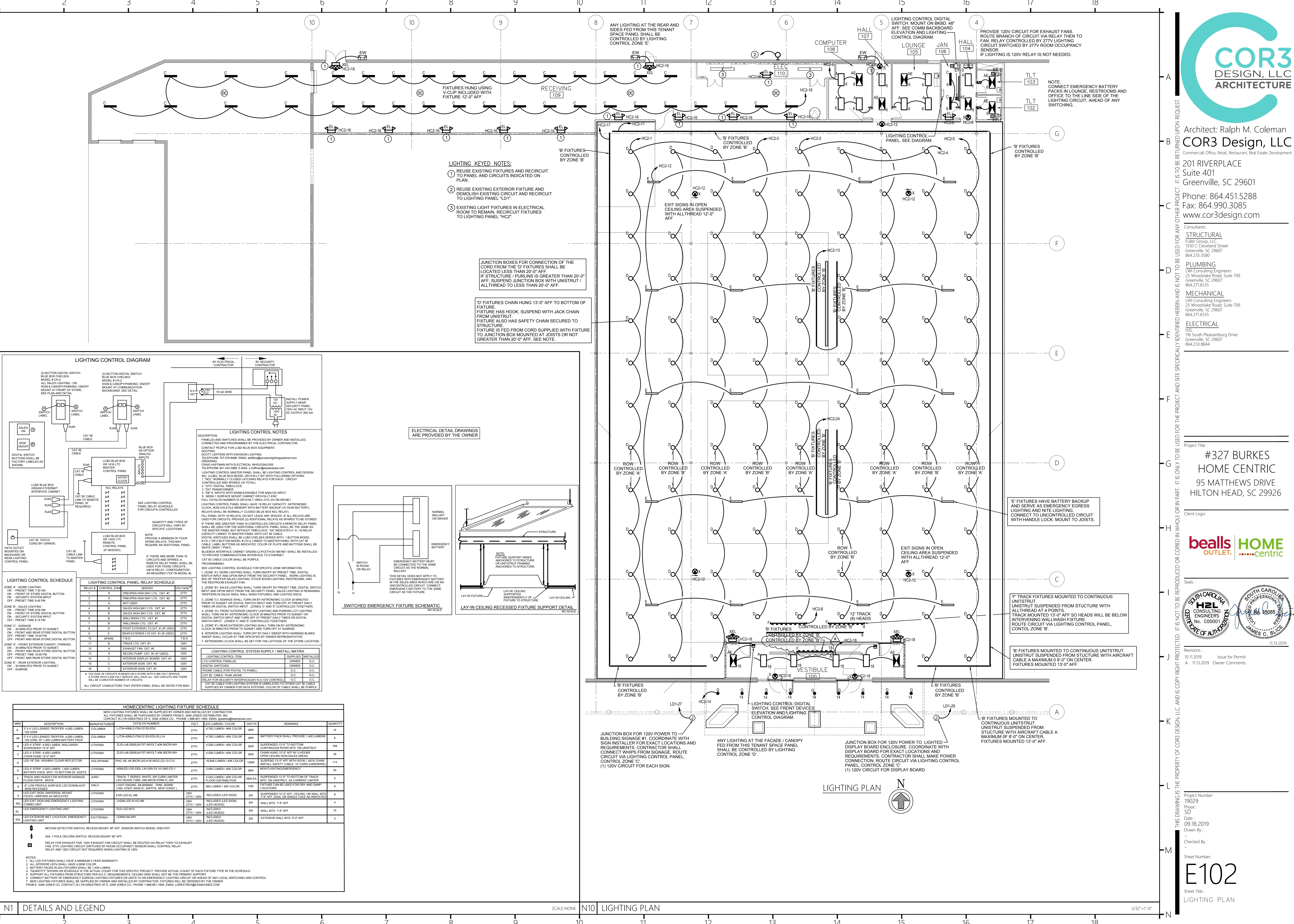
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Revisions:

Project Number:
 19029
 Phase:
 DD
 Date:
 11.25.2019
 Drawn By:
 -
 Checked By:
 -

Sheet Number:
LL101
 Sheet Title:
TENANT DEMISING PLAN

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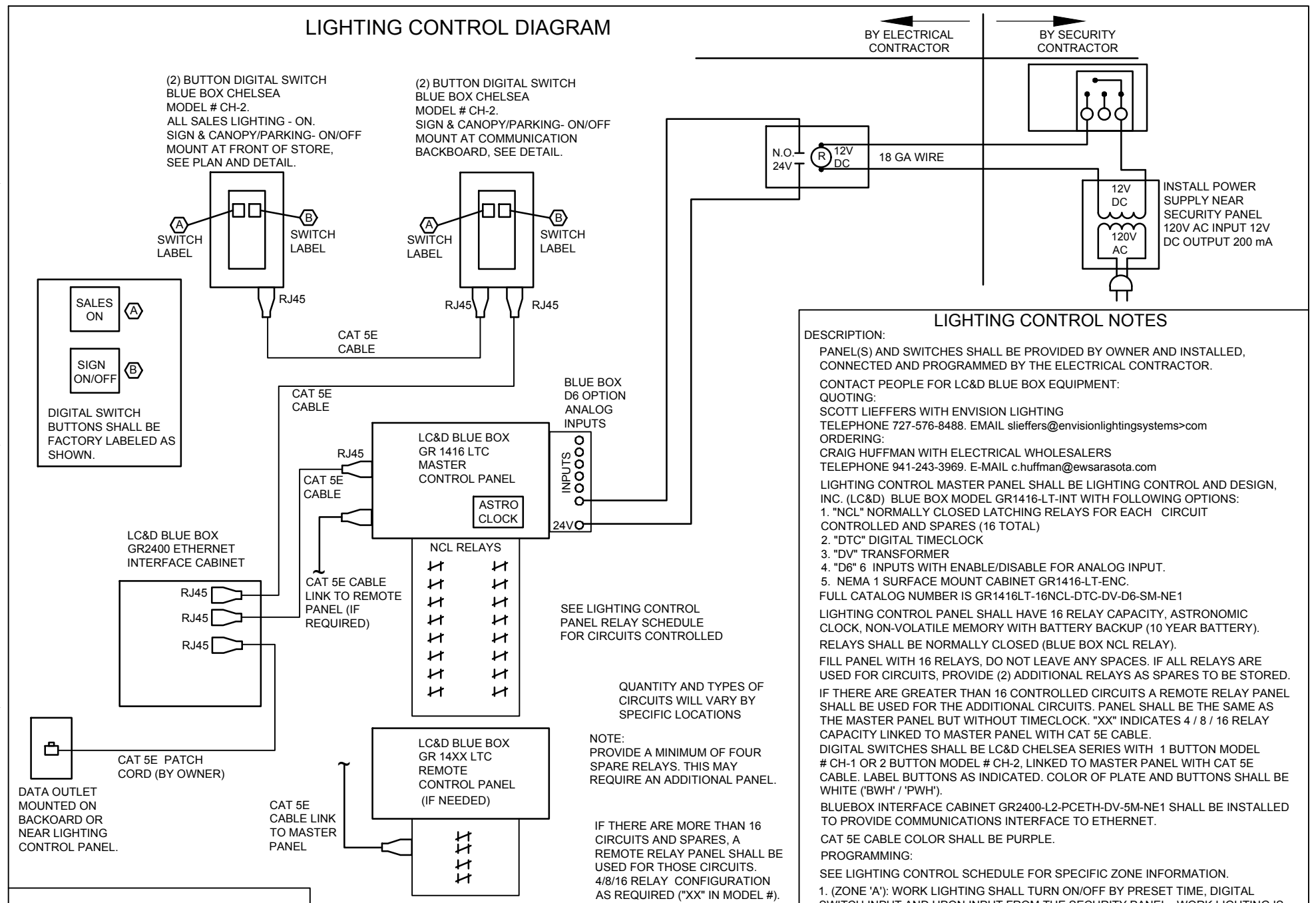


LIGHTING KEYED NOTES:

- REUSE EXISTING FIXTURES AND REWIRE TO PANEL AND CIRCUITS INDICATED ON PLAN.
- REUSE EXISTING EXTERIOR FIXTURE AND DEMOLISH EXISTING CIRCUIT AND REWIRE TO LIGHTING PANEL "LD1".
- EXISTING LIGHT FIXTURES IN ELECTRICAL ROOM TO REMAIN. REWIRE EXISTING FIXTURES TO LIGHTING PANEL "HC2".

JUNCTION BOXES FOR CONNECTION OF THE CORD FROM THE 'D' FIXTURES SHALL BE LOCATED LESS THAN 20'-0" AFF. IF STRUCTURE/PURLINS IS GREATER THAN 20'-0" AFF. SUSPEND JUNCTION BOX WITH UNISTRUT / ALL-THREAD TO LESS THAN 20'-0" AFF.

'D' FIXTURES CHAIN HUNG 13'-0" AFF TO BOTTOM OF FIXTURE. FIXTURE HAS HOOK, SUSPEND WITH JACK CHAIN FROM UNISTRUT. FIXTURE ALSO HAS SAFETY CHAIN SECURED TO STRUCTURE. FIXTURE IS FED FROM CORD SUPPLIED WITH FIXTURE TO JUNCTION BOX MOUNTED AT JOISTS OR NOT GREATER THAN 20'-0" AFF. SEE NOTE.



LIGHTING CONTROL PANEL RELAY SCHEDULE

RELAY #	CONTROL ZONE	SERVED	VOLTAGE
1	A	PRECEPIN HIGH BAY LIG. CKT #1	277V
2	A	PRECEPIN HIGH BAY LIG. CKT #2	277V
3	A	NOT USED	277V
4	B	SALES HIGH BAY LIG. CKT #1	277V
5	B	SALES HIGH BAY LIG. CKT #2	277V
6	B	WALLWASH LIG. CKT #1	277V
7	B	WALLWASH LIG. CKT #2	277V
8	D	FRONT EXTERIOR LIG. CKT #1 (IF USED)	277V
9	B	FRONT EXTERIOR LIG. CKT #1 (IF USED)	277V
10	SPARE	T.B.D.	T.B.D.
11	B	TRACK LIG. CKT #1	120V
12	A	EXHAUST FAN CKT #1	120V
13	A	RECORD PUMP CKT #1 (IF USED)	120V
14	C	INTERIOR DISPLAY BOARD CKT #1	120V
15	C	EXTERIOR SIGN CKT #2	120V
16	C	EXTERIOR SIGN CKT #1	120V

HOME CENTRIC LIGHTING FIXTURE SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLT	LED LUMENS / COLOR	WATTS	REMARKS	QUANTITY
2	2 X 4' LED LENSED TRACKER, 4,000 LUMEN, 120V	COLUMBIA	L724-40MLG-F8A12125-EDU-BL14	277V	4,792 LUMEN / 40K COLOR	38W	BATTERY PACK SHALL PROVIDE 1,800 LUMENS	12
2	2 X 4' LED LENSED TRACKER, 4,000 LUMEN, 120V	COLUMBIA	L724-40MLG-F8A12125-EDU-BL14	277V	4,792 LUMEN / 40K COLOR	38W	BATTERY PACK SHALL PROVIDE 1,800 LUMENS	12
3	2 X 4' LED LENSED TRACKER, 4,000 LUMEN, 120V	COLUMBIA	L724-40MLG-F8A12125-EDU-BL14	277V	4,792 LUMEN / 40K COLOR	38W	BATTERY PACK SHALL PROVIDE 1,800 LUMENS	12
B	LED 4' STRIP, 4,000 LUMEN, WALLWASH	LITHONIA	ZLDL48-3000M-F81-MVCL-40K-80CR-WH	277V	4,028 LUMEN / 40K COLOR	30W	SUSPENDED 13'-0" TO BOTTOM OF TRACK. COORDINATE WITH SIGN INSTALLER FOR EXACT LOCATIONS AND REQUIREMENTS. CONTRACTOR SHALL CONNECT WHIPS FROM SIGNAGE, ROUTE CIRCUIT VIA LIGHTING CONTROL PANEL. CONTROL ZONE 'C'.	169
C	LED 4' STRIP, 4,000 LUMEN, CHAIN HUNG 12'-0" AFF	LITHONIA	ZLDL48-3000M-F81-MVCL-40K-80CR-WH	277V	4,028 LUMEN / 40K COLOR	30W	SUSPENDED 12'-0" AFF TO V-BOARDS. OPEN CEILING NON-SUSPENDED AREA.	35
D	LED 4' STRIP, 4,000 LUMEN, HORIZONTAL CLEAR REFLECTOR	H2L/OPHANE	PH16L-4K-80CRI-ASH-H-WSDG-ED12-12	277V	16,846 LUMEN / 40K COLOR	128W	NON-DIMMABLE TRACK LIGHTING	113
E	LED 4' STRIP, 3,000 LUMEN, 1,400 LUMEN BATTERY PACK MTD. TO BOTTOM OF JOISTS	LITHONIA	48KLED-3S3L-1W18RI-ED14-1840-DS17	277V	3,486 LUMEN / 40K COLOR	28W	NON-DIMMABLE TRACK LIGHTING	20
F	TRACK AND REAR EXTERIOR SIGNAGE FLOOD DISTR. WHITE	JUNO	TRACK 1 SERIES: WHITE SW SQUARE LUMEN LED HEADS-T36L-26K-80CR-FW-WH	277V	3,242 LUMEN / 40K COLOR FLOOD DISTRIBUTION	39W (EA)	NON-DIMMABLE TRACK LIGHTING	2
G	8' LOW PROFILE SURFACE LED DOWNLIGHT, SEMI-RECESSED	HALO	LIGHT ENGINE-M200800 TRM-3000S CAN-H202 (NON-C, WHITE, NEW CONTS)	277V	800 LUMEN / 30K COLOR	12W	FIXTURE CAN BE USED FOR DRY AND DAMP LOCATIONS	9
X	LED EXIT SIGN, UNIVERSAL MOUNT, FACED / ARROW AS INDICATED	LITHONIA	EXR-LED-1M	120V	277V / 120V	2W	SUSPENDED 12'-0" AFF. CEILING OR WALL MTD. 7'-6" AFF. CEILING FACE AS INDICATED	4
XEL	LED EXIT SIGN AND EMERGENCY LIGHTING (COMBO UNIT)	LITHONIA	UNGR-LED-R40-M	120V	277V / 120V	2W	WALL MTD. 7'-6" AFF	9
EL	LED EMERGENCY LIGHTING UNIT	LITHONIA	EU2-LED-M12	120V	277V / 120V	2W	WALL MTD. 7'-6" AFF	10
EW	LED EXTERIOR VET LOCATION EMERGENCY LIGHTING UNIT	EXITRONIX	LEM6-N6-WH	120V	277V / 120V	2W	EXTERIOR WALL MTD. 9'-0" AFF	3

DETAILS AND LEGEND

NOTES:
1. ALL LED FIXTURES SHALL HAVE A MINIMUM 5 YEAR WARRANTY.
2. ALL EXTERIOR LED'S SHALL HAVE A 500K COLOR.
3. BATTERY PACKS IN 20A FIXTURES SHALL BE 1,800 LUMEN.
4. QUANTITY SHOWN ON SCHEDULE IS THE ACTUAL COUNT FOR THIS SPECIFIC PROJECT. PROVIDE ACTUAL COUNT OF EACH FIXTURE TYPE IN THE SCHEDULE.
5. SUPPORT ALL FIXTURES FROM STRUCTURE PER I.E.C. REQUIREMENTS. CEILING GRID SHALL NOT BE THE PRIMARY SUPPORT.
6. CONNECT BATTERY OF EMERGENCY LIGHTING FIXTURES OR UNITS TO AN EMERGENCY LIGHTING CIRCUIT OR AHEAD OF ANY LOCAL SWITCHING AND CONTROL.
7. NEW LIGHTING FIXTURES SHALL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. FIXTURES WILL BE ORDERED BY THE OWNER FROM E-SAM JONES CO. CONTACT IS LYN GREATER OF E-SAM JONES CO. PHONE: 1-888-851-1665. EMAIL: LYN.GREATER@ESAMJONES.COM



JUNCTION BOX FOR 120V POWER TO BUILDING SIGNAGE #1. COORDINATE WITH SIGN INSTALLER FOR EXACT LOCATIONS AND REQUIREMENTS. CONTRACTOR SHALL CONNECT WHIPS FROM SIGNAGE, ROUTE CIRCUIT VIA LIGHTING CONTROL PANEL. CONTROL ZONE 'C'. (1) 120V CIRCUIT FOR EACH SIGN.

ANY LIGHTING AT THE FACADE / CANOPY FED FROM THIS TENANT SPACE PANEL SHALL BE CONTROLLED BY LIGHTING CONTROL ZONE 'D'.

JUNCTION BOX FOR 120V POWER TO LIGHTED DISPLAY BOARD ENCLOSURE. COORDINATE WITH DISPLAY BOARD FOR EXACT LOCATIONS AND REQUIREMENTS. CONTRACTOR SHALL MAKE POWER CONNECTION. ROUTE CIRCUIT VIA LIGHTING CONTROL PANEL. CONTROL ZONE 'C'. (1) 120V CIRCUIT FOR DISPLAY BOARD.

LIGHTING PLAN

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Burkes Outlet

DRB#: DRB-002333-2019

DATE: 11/14/19 12/02/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Clarify the exterior light fixtures do not exceed 3000K or change the specification.
2. Provide a landscape plan for Staff approval for the landscape island to include overstory trees.

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide dimensions on proposed and existing areas critical to proposed changes.
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide section details of how the addition attached to the existing structure.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a plan of the entrance showing the existing conditions (concrete sidewalk, asphalt, columns, bollards) and proposed changes to illustrate changes in the footprint. How do these changes relate to the vehicular circulation in the parking lot?
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identify the pitch of the proposed roofs. Future adjacent façade modification will need to coordinate.

Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Add details to the proposed brick columns to break up their mass and give them a more pedestrian scale.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See above
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Will the canopy over the doors have lighting? If so please provide cut sheet. Lights should be 3000K or less and meet the LMO footcandle requirements. It appears the proposed light fixtures above the entrance exceed 3000K.

MISC COMMENTS/QUESTIONS	
1.	The notes indicate the façade is only to be painted from “demising wall to demising wall”. These extents are unclear. Please clarify. If any of the existing façade to remain is to be painted, the entire existing façade should be painted. It is Staffs understanding that the applicant is not painting the existing stucco.
2.	Provide for renovation of two landscape islands in front of the new entrance. The landscape note is not sufficient to specify landscaping.
3.	Note to DRB, the applicant has indicated that this is only one of a total of three tenants that will be in the old Sam’s location.
4.	Please indicate on the color board or on a drawing where the specified colors go on the proposed façade.
5.	Are there any changes being made to the back elevation of the building as part of this renovation? If so please provide plans. It is Staff’s understanding there are no plans to change the back elevations.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Brian Doiron Company: COR3 Design, LLC
 Mailing Address: 201 RiverPlace, Suite 401 City: Greenville State: SC Zip: 29609
 Telephone: 864.990.0363 Fax: 864.990.3085 E-mail: bdoiron@cor3design.com
 Project Name: Port Royal Plaza Renovations Project Address: 95 Matthews Drive, Hilton Head, SC 29926
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 1 9 2 A 0 0 0 0
 Zoning District: CC Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

11.22.2019
DATE



November 27, 2019

Project Name: Port Royal Plaza – Hilton Head Island
Project Location: 95 Matthews Drive Hilton Head Island, SC 29926
Project Number: 19050

Re: DRB 002433-2019
To: Town of Hilton Head Design Review Board

The following is an outline of work to be done at 95 Matthews Drive (the old Sam’s Club space) to create two new spaces and entries beside the proposed Burkes (DRB 002333-2019):

- The existing façade is to be updated by adding two new entries, featuring gabled roofs to tie into the existing center. We used elements from the existing center by looking at the existing 4-sided free-standing gable structures and utilizing those design elements in creating the new entries. The entries have been designed to stand off the building allowing pedestrians to walk at the building line passing behind the new entry features. Each end will tie into the existing colonnade to provide continuously covered pedestrian walkway. The new façade will incorporate the use of new brick veneer, fiber cement panels and trim boards and EIFS. See list of materials below and the provided sample board.
- The interior space will be demised and split into separate spaces as indicated on the included floor plan. The Burkes space will be the center space and will utilize the existing entry location as outlined in the DRB 002333-2019 submittal. The two remaining spaces will be demised and supplied with new utilities including water, sanitary sewer and electrical service.
- Please refer to the DRB 002333-2019 submittal for the interior of the Burkes space. The interiors for the two adjacent space will be developed as vanilla boxes. Including the above-mentioned new utilities, restrooms, new lighting and HVAC as needed. New HVAC will be provided as necessary to ensure adequate space conditioning. The existing slab will be cleaned, filled and leveled to except any new tenant’s flooring.
- Landscaping upgrades will be installed per city ordinance at each of the parking lot islands immediately in front of the Sam’s Building.

List of exterior paint color:

- EIFS Main Façade – Sherwin Williams SW7077 Original White
- Standing Seam Metal Roof – Tee Panel system in Charcoal Gray
- Fiber Cement Panels and Trim Board– Sherwin Williams SW7029 Agreeable Gray (Panel) SW7033 Brainstrom Bronze (Trim Board)

- Existing façade and arbor structure – Sherwin Williams SW7031 Mega Greige and SW7077 Original White
- Brick Veneer – Cherokee Savannah River Gray

Should you have additional questions, comments or concerns, please let us know.

Thank you,



Brian Doiron



STE. B1

















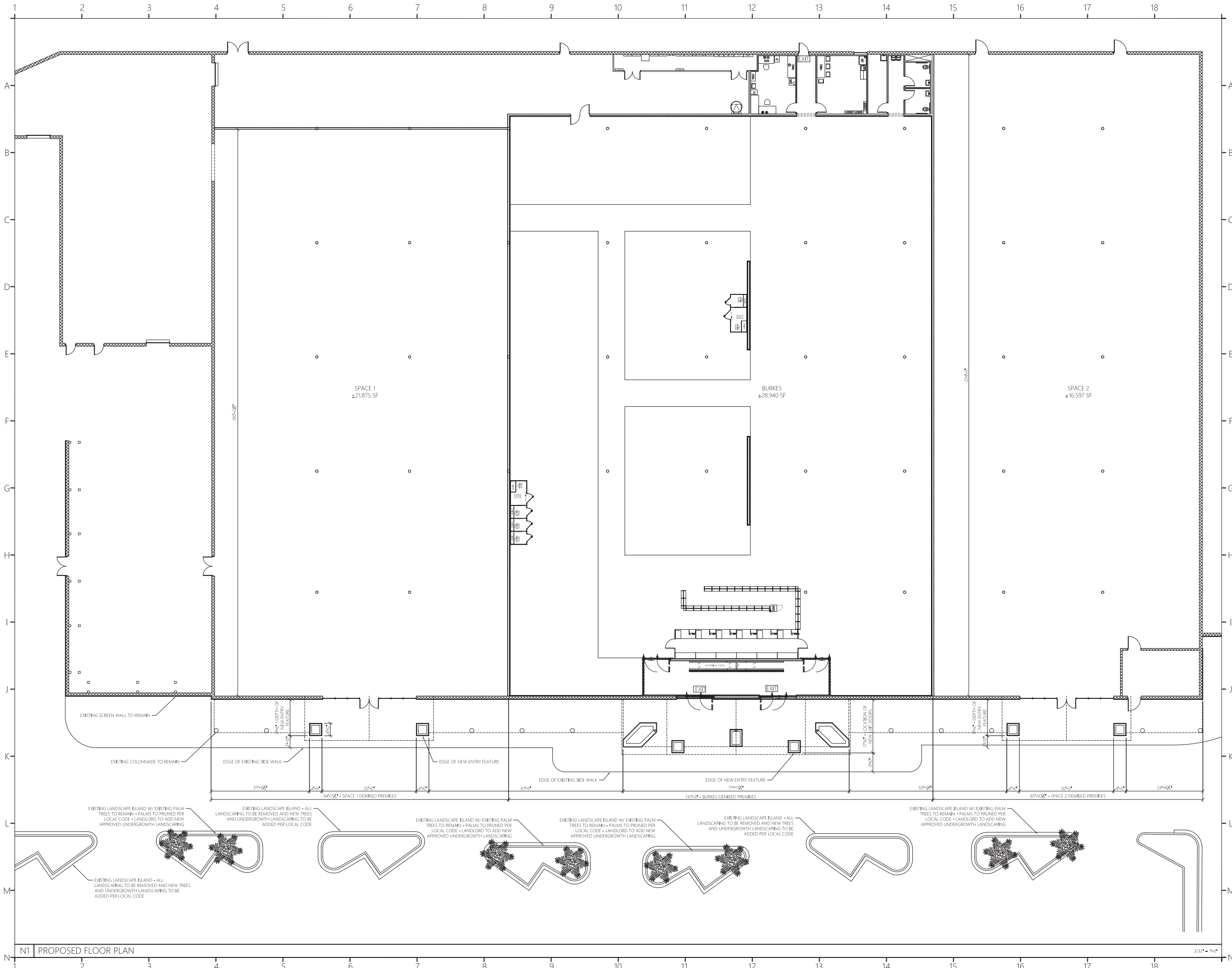






STE. A-1





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Greenville, SC 29601

Phone: 864.451.5288
Fax: 864.990.3085
www.cor3design.com

- Consultants:
- STRUCTURAL**
B&B Group, Inc.
1350 C Cleveland Street
Greenville, SC 29607
864.233.3380
 - PLUMBING**
LWI Consulting Engineers
25 Woodlake Road, Suite 709
Greenville, SC 29607
864.271.6535
 - MECHANICAL**
LWI Consulting Engineers
25 Woodlake Road, Suite 709
Greenville, SC 29607
864.271.6535
 - ELECTRICAL**
7021
105 South Hoesartburg Drive
Greenville, SC 29607
864.233.8844

Project Title:
**PORT ROYAL PLAZA
RENOVATIONS**
95 MATHEWS DRIVE
HILTON HEAD ISLAND, SC



Scale:

Revisions:
10.05.2017 Issue for Permit

Project Number:
19050
Phase:
DD
Date:
11.27.2019
Drawn By:
-
Checked By:
-

Sheet Number:
A2.01
Sheet Title:
PROPOSED FLOOR PLAN

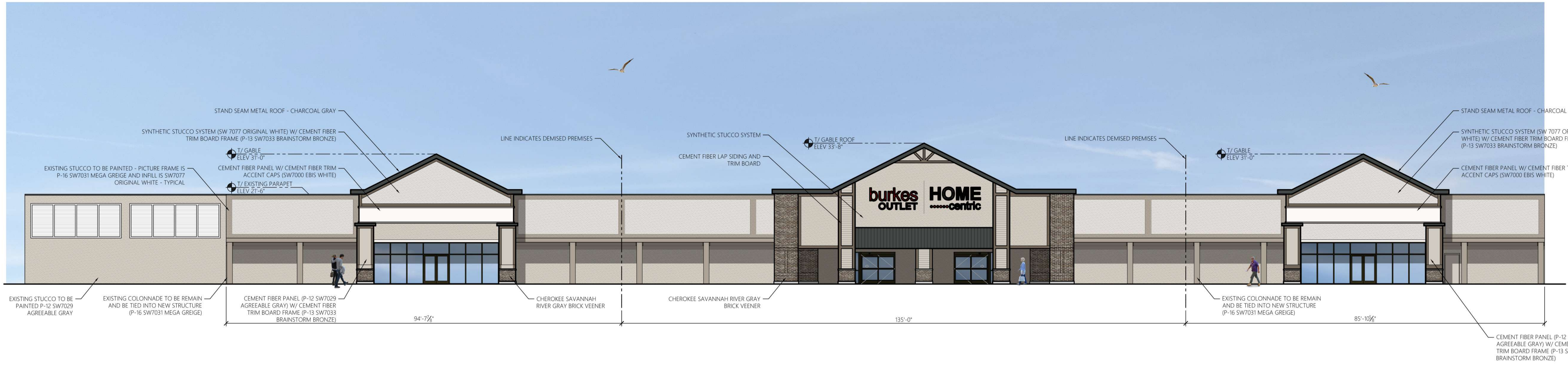
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N1 PROPOSED FLOOR PLAN

3/32" = 1'-0"

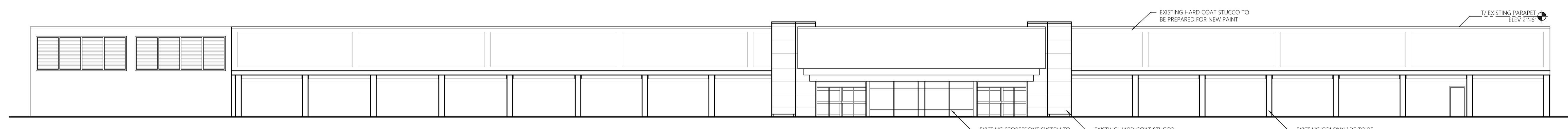


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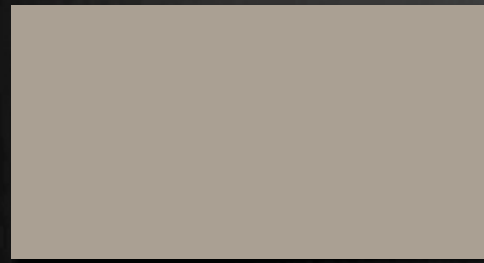
G1 PROPOSED ELEVATION

3/32" = 1'-0"

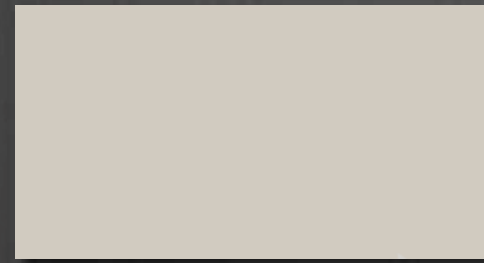


N1 EXISTING ELEVATION

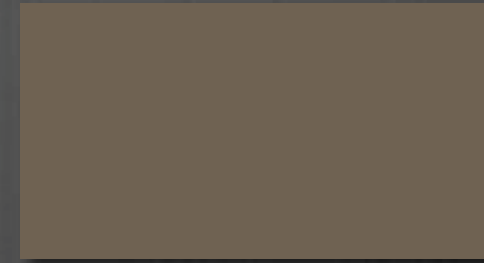
3/32" = 1'-0"



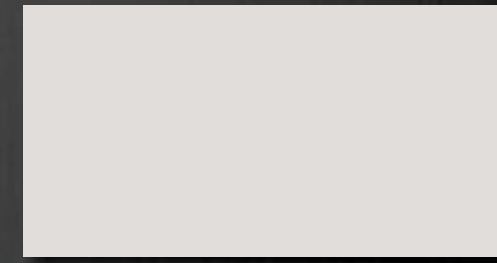
PAINT - SHERWIN WILLIAMS
7031 MEGA GREIGE



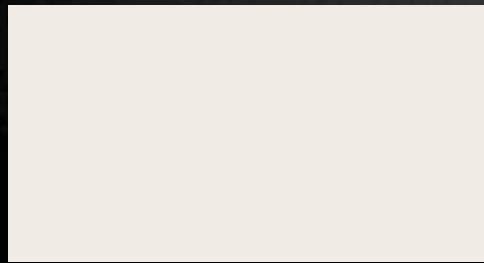
PAINT - SHERWIN WILLIAMS
7029 AGREEABLE GRAY



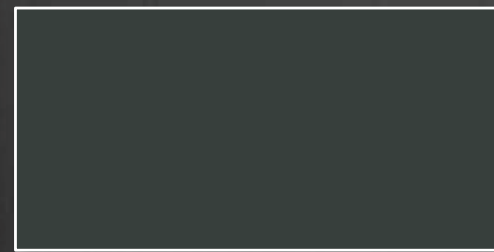
PAINT - SHERWIN WILLIAMS
7033 BRAINSTORM BRONZE



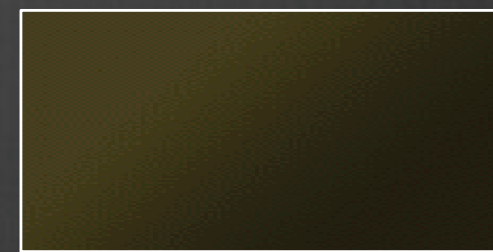
PAINT - SHERWIN WILLIAMS
7077 ORIGINAL WHITE



PAINT - SHERWIN WILLIAMS
7000 IBIS WHITE



STANDING SEAM METAL ROOFING
BERRIDGE CHARCOAL GRAY



ALUMINUM STOREFRONT
DARK BRONZE



BRICK- CHEROKEE
SAVANNAH GRAY



Port Royal Renovations - Port Royal Plaza, Hilton Head, SC

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Port Royal Plaza Renovations

DRB#: DRB-002433-2019

DATE: 12/02/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide section detail of the proposed entrance façade additions for approval by two DRB members.
2. SW 7077 Original White and SW 7000 Ibis White are not nature blending colors. Submit alternatives for approval by two DRB members.
3. Provide a landscape plan to include overstory trees to be approved by Staff.

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not provided.
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Detail for construction of new façade will mirror Burkes details.
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See above.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape plan that includes overstory trees. The landscape note is not sufficient or specific for approval of the landscape plan.

MISC COMMENTS/QUESTIONS

The top of the proposed gables and the height of the existing parapet wall are within 1' of the Sea Turtle Stein Mart entrance façade. (approved Feb. 24, 2015)



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Fish Camp Project Address: 11 Simmons Rd.
 Parcel Number [PIN]: R 5 1 0 0 1 1 0 0 0 0 0 7 F 0 0 0 0
 Zoning District: Water- Oriented Mixed Use Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11.25.19

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Fishcamp **PROJECT #:** DRB-002883-2018
PROJECT ADDRESS: 11 Simmons Road
CATEGORY: Alteration/Addition
ACTION DATE: January 8, 2019 **NOTICE DATE:** January 10, 2019
APPLICANT/AGENT: Michael Kronimus, KRA Architecture
PO Box 2047
Bluffton, SC 29910
Email: mwk@krasc.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Fish Camp:

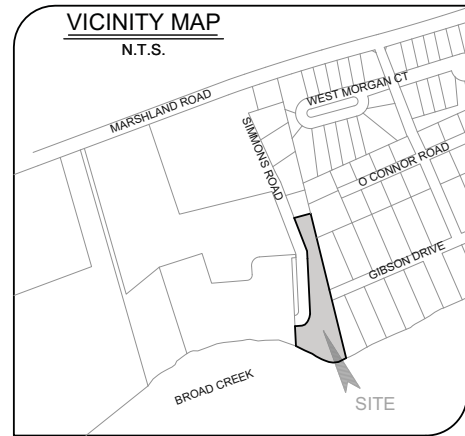
This project consists of adding another gable end covered porch on the waterside of the Fish Camp building. It will be a mirrored image of the existing covered porch with a low sloped metal roof between them for drainage.

The existing deck will remain with a slight increase on the water side as noted on the site and floor plan.

The lighting will consist of string lights in the rafters and fans will match existing.

Thank-you for your time and consideration of this project.

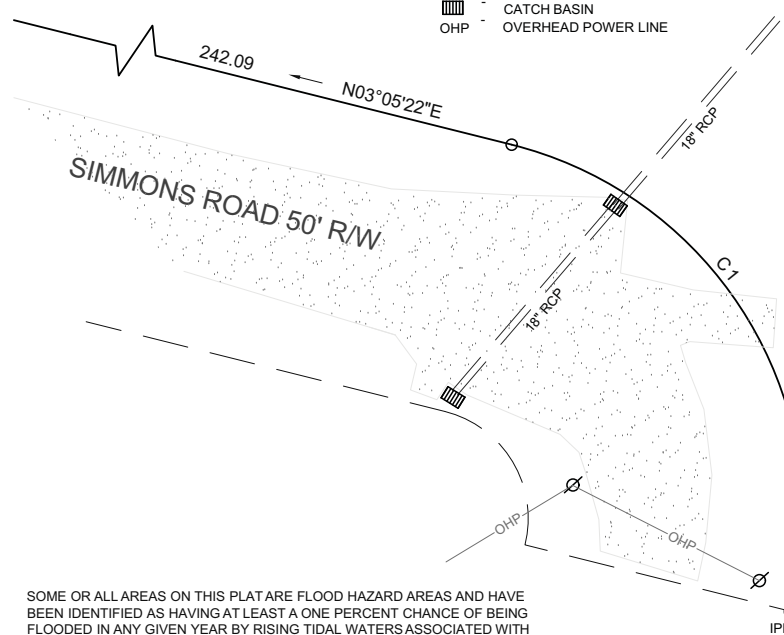
Timothy C. Probst. AIA



LOT 1
 R510 011 000 0020 0000
 HEUCK LOUIS E JANICE M
 19 GIBSON DR
 HILTON HEAD ISLAND SC 29928

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	109.96	70.00	98.99	N48°05'18"E	90°00'00"

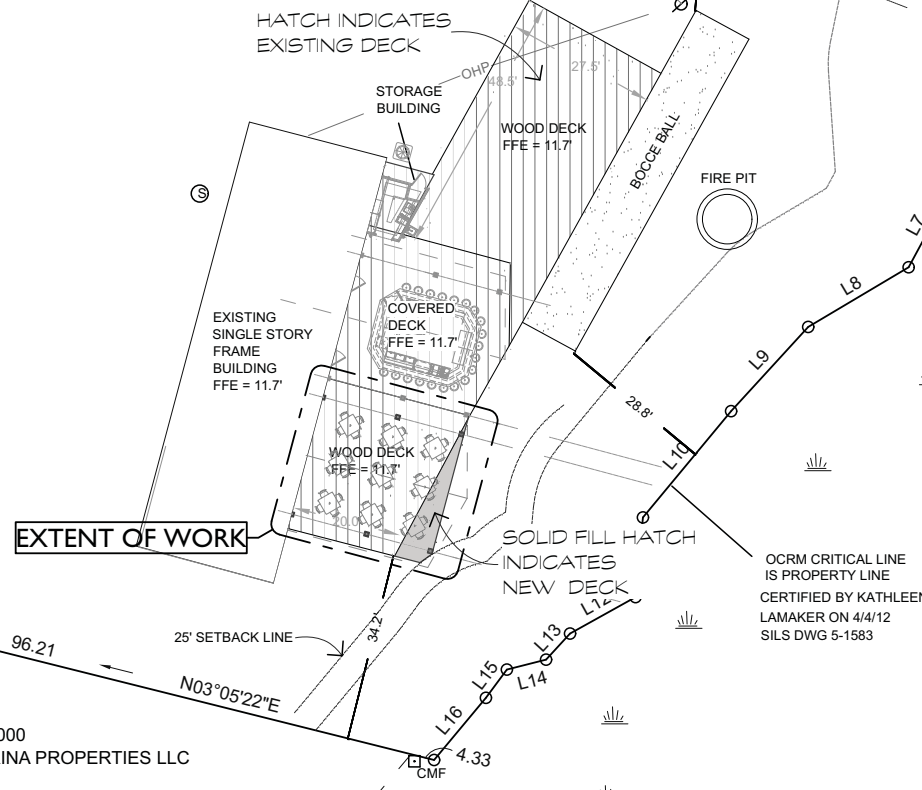
- SYMBOLS**
- CMF □ 3" CONCRETE MONUMENT FOUND
 - UTILITY POLE
 - ⊙ GUY
 - ⊙ SANITARY MANHOLE
 - ▭ CATCH BASIN
 - OHP — OVERHEAD POWER LINE



SOME OR ALL AREAS ON THIS PLAT ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS HAVING AT LEAST A ONE PERCENT CHANCE OF BEING FLOODED IN ANY GIVEN YEAR BY RISING TIDAL WATERS ASSOCIATED WITH POSSIBLE HURRICANES. LOCAL REGULATIONS REQUIRE THAT CERTAIN FLOOD HAZARD PROTECTIVE MEASURES BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES IN THESE DESIGNATED AREAS. REFERENCE SHALL BE MADE TO THE DEVELOPMENT COVENANTS AND RESTRICTIONS OF THIS DEVELOPMENT AND REQUIREMENTS OF THE TOWN BUILDING OFFICIAL. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PREREQUISITE TO FEDERALLY INSURED MORTGAGE FINANCING IN THESE DESIGNATED FLOOD HAZARD AREAS.

R510 011 000 007F 0000
 BROAD CREEK MARINA PROPERTIES LLC
 PO BOX 21584
 HILTON HEAD ISLAND SC 29925

PARCEL 7
 ALL IMPROVEMENTS NOT SHOWN



LINE TABLE		
LINE	LENGTH	BEARING
L1	4.56	S 40°27'35" W
L2	17.72	S 86°09'40" W
L3	28.97	N 31°20'24" W
L4	12.65	N 69°01'04" W
L5	23.25	N 89°21'15" W
L6	24.07	S 75°08'32" W
L7	14.76	N 72°35'19" W
L8	21.24	N 41°40'06" W
L9	20.76	N 58°28'50" W
L10	25.11	N 61°16'30" W
L11	14.55	S 84°21'16" W
L12	13.62	N 40°02'05" W
L13	6.44	N 58°21'51" W
L14	7.35	N 25°10'37" W
L15	6.40	N 64°22'47" W
L16	14.71	N 61°08'45" W

ASBUILT SURVEY OF NEW DECK:
 TAX PARCEL R510 011 000 0007 0000,
 SIMMONS FISH CAMP, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR: SIMMONS FAMILY HOLDINGS, LLC
 AND TOM PEEPLES BUILDERS, LLC

DATE: 12/23/16 SCALE: 1" = 30'



SIS Sea Island Land Survey, LLC.
 4D Mathews Court, Hilton Head Island, SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE No : 02350/14
 DWG No. : 5-1821

COPYRIGHT © SEA ISLAND LAND SURVEY, LLC. CAD: SA, PLO: CJ, CM

REFERENCE PLAT

- 1) A BOUNDARY RECONFIGURATION OF REMAINING PORTION OF PARCEL 7, SIMMONS ROAD, HILTON HEAD ISLAND BEAUFORT COUNTY, S.C. DRAWN: 5/23/16 ROD: BEAUFORT COUNTY, SC BY: MARK R. RENEW S.C.R.L.S. # 25437

PROPERTY AREA = 1.63 AC. 70,849 S.F.
 ADDRESS: 11 SIMMONS ROAD
 DISTRICT: 510, MAP: 11, PARCEL: 7
 THIS PROPERTY LIES IN F.E.M.A. ZONE A7 - 14.0'
 COMMUNITY NO. 450250, PANEL: 0007D, DATED: 9/29/86

NOTES:

- 1). THIS PLAT HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH BY SEA ISLAND LAND SURVEY, LLC.
- 2). THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OF RECORD AND COVENANT RESTRICTIONS AS RECORDED IN THE OFFICE OF THE ROD FOR BEAUFORT COUNTY.
- 3). SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4). BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
- 5). BOUNDARY NOT SHOWN IN FULL.

THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY MARK R. RENEW S.C.R.L.S. # 25437 THIS ELECTRONIC MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT. A CERTIFIED HARDCOPY MAY BE OBTAINED FROM SEA ISLAND LAND SURVEY UPON REQUEST

1
 S.1 **SITE PLAN**
 SCALE: 1/16" = 1'-0"

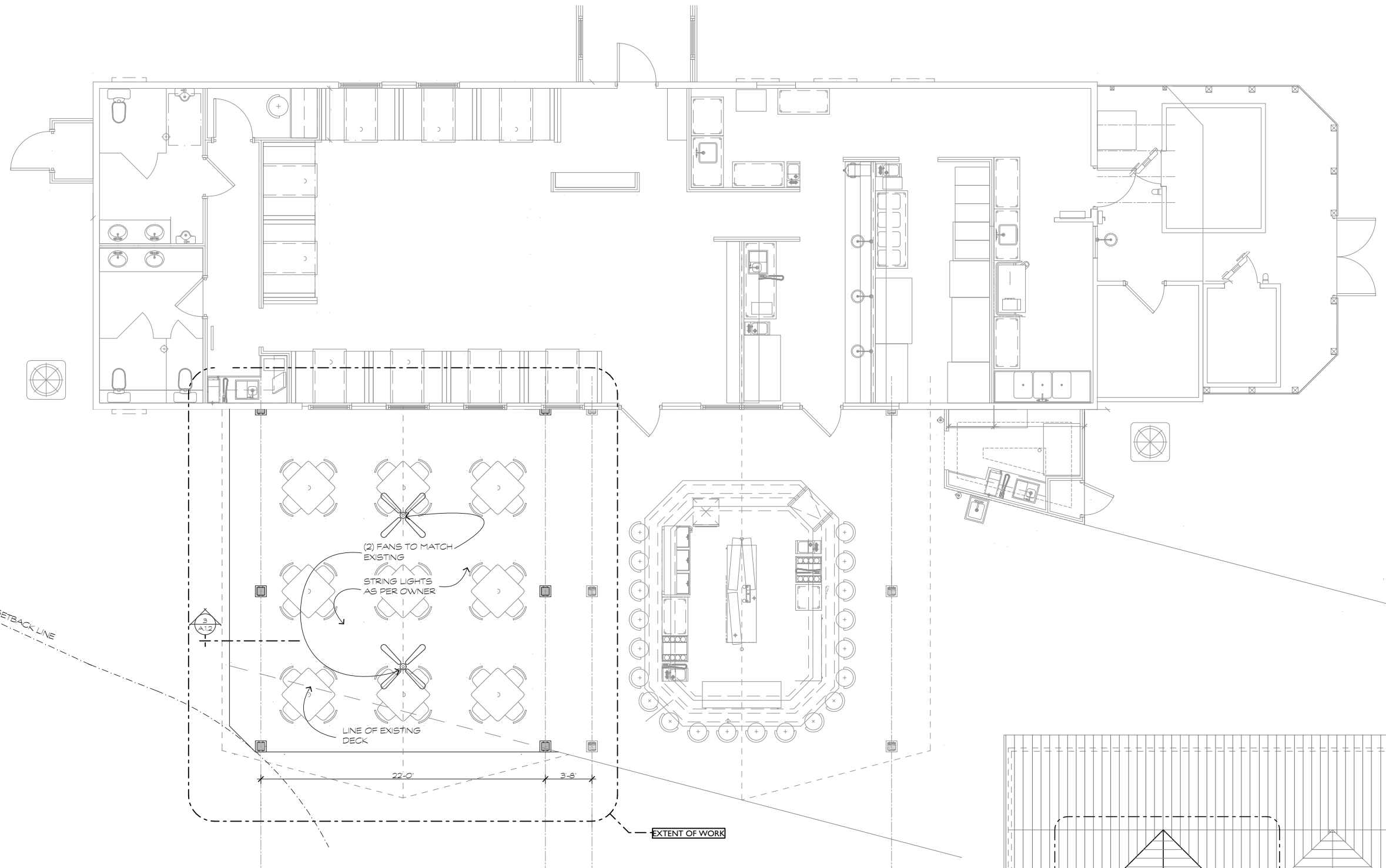


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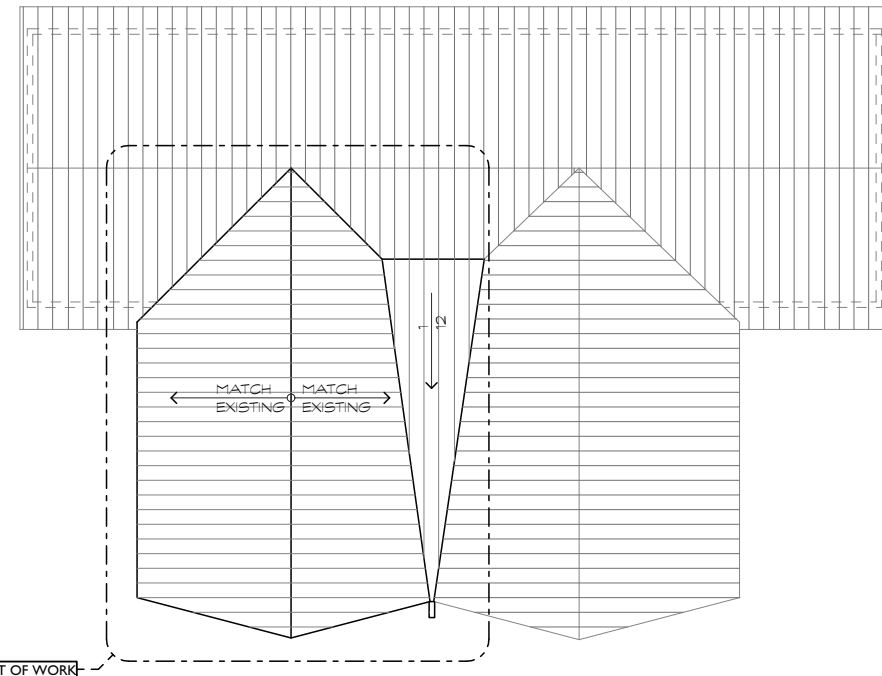
A Covered Porch Addition for:
Fishcamp on Broad Creek
 11 Simmons Rd.
 Hilton Head Island, South Carolina

REVISIONS	DATE

DRAWN BY: TCP
 CHECKED BY:
 DATE OF ISSUE: 11/25/19
 SCALE:
 JOB NO.:
 SHEET:
SITE PLAN
S.1



1 **DECK PLAN**
A.1.1 SCALE: 1/4" = 1'-0"



2 **ROOF PLAN**
A.1.1 SCALE: 1/8" = 1'-0"

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A Covered Porch Addition for:
Fishcamp on Broad Creek
11 Simmons Rd.
Hilton Head Island, South Carolina

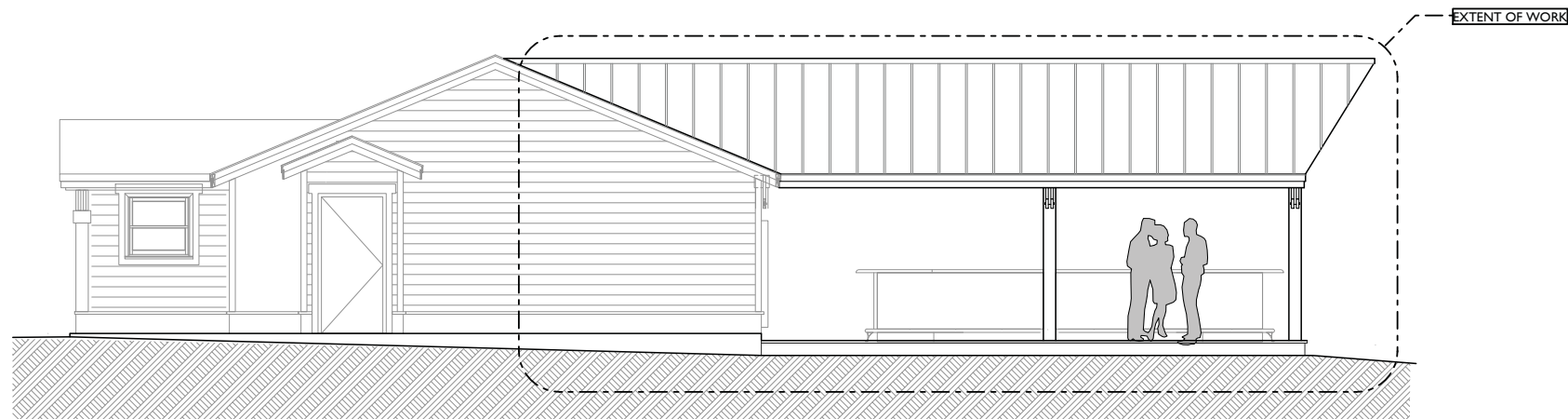
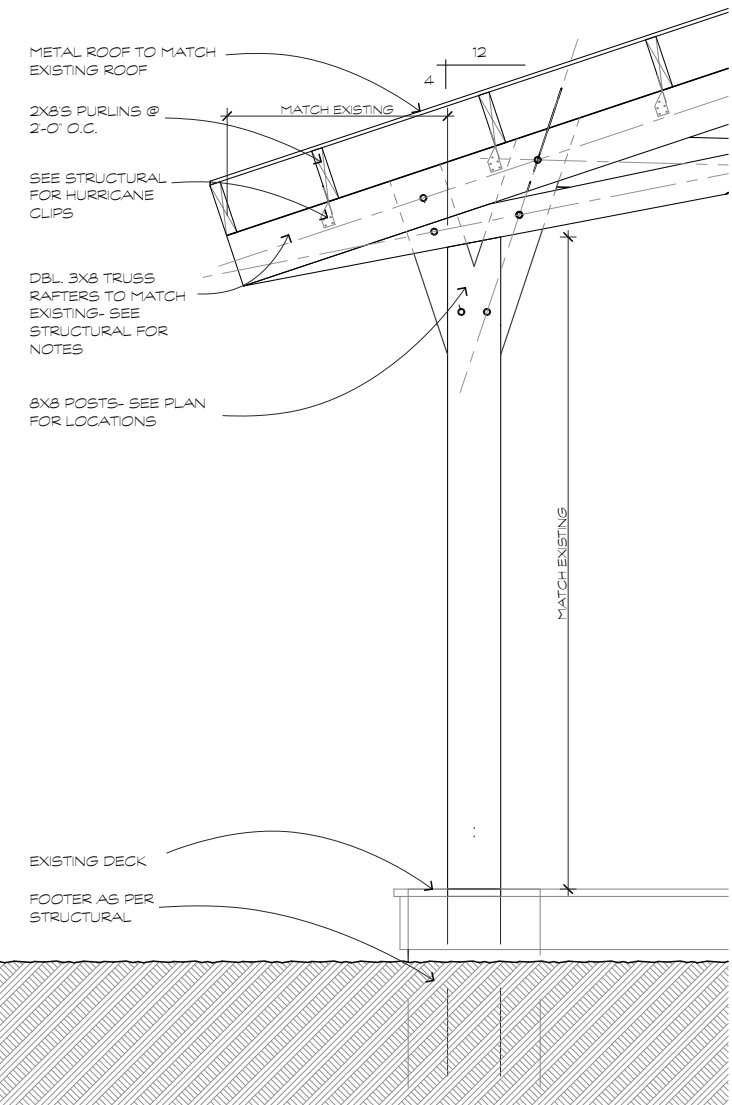
REVISIONS	DATE

DRAWN BY
TCP
CHECKED BY

DATE OF ISSUE:
11/25/19
SCALE
JOB NO.
SHEET

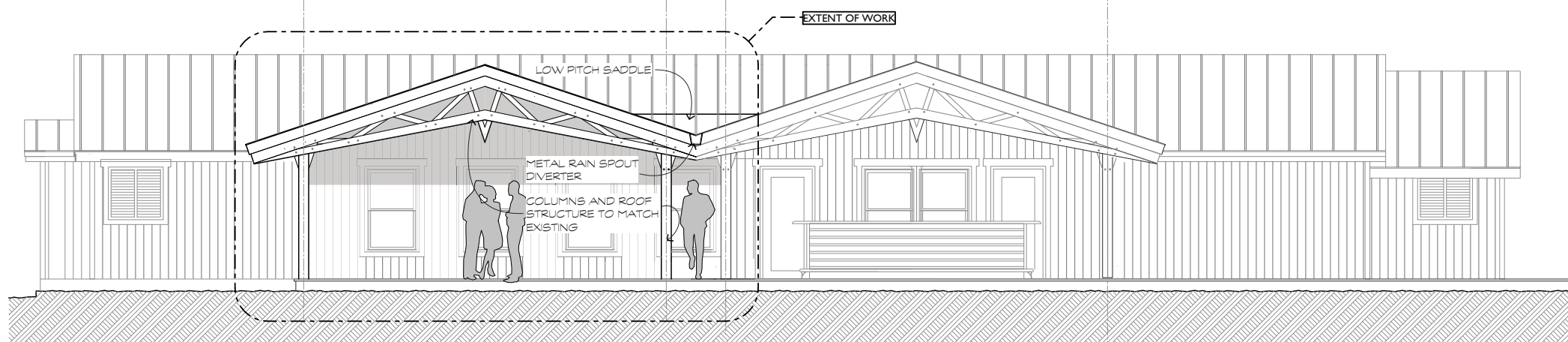


EXISTING COVERED PORCH IMAGES



1 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3 SECTION
SCALE: 1" = 1'-0"



2 WATER ELEVATION
SCALE: 1/4" = 1'-0"

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A Covered Porch Addition for:
Fishcamp on Broad Creek
11 Simmons Rd.
Hilton Head Island, South Carolina

REVISIONS	DATE

DRAWN BY
TCP
CHECKED BY

DATE OF ISSUE:
11/25/19
SCALE
JOB NO.
SHEET

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fishcamp Patio Roof

DRB#: DRB 002450-2019

DATE: 12/01/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Staff recommends Approval with Staff approval of the following conditions:

1. Specify on that plans that the exterior wall under the proposed roof will match the wall under the existing patio roof.
2. Revise the plans (shorten or narrow) so the roof does not overhang into the wetland buffer.

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Will the exterior wall of the building under the proposed patio roof match the wall under the existing patio roof?

<i>MISC COMMENTS/QUESTIONS</i>
1. This project was withdrawn prior to a vote at the DRB meeting on Jan 8, 2019.
2. The roof cannot overhand into the 25' wetland buffer.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Scott's Project Address: 17 Harbourside Ln. Hilton Head Island
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 7 2 0 0 0 0
 Zoning District: PD-1 Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



11/26/19

SIGNATURE

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Scott's Covered Patio **PROJECT #:** DRB-002008-2019
PROJECT ADDRESS: 17 Harbourside Lane
CATEGORY: Alteration/Addition
ACTION DATE: October 8, 2019 **NOTICE DATE:** October 15, 2019
APPLICANT/AGENT: Timothy C Probst, Parker Design Group Architects
10 Palmetto Business Park Suite 201
Hilton Head Island, SC 29928
Email: tim@pdg-architects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. Specify on the drawings that the structure will be stained to match the existing patio structures.
2. Note on the plans that all electrical conduit must be concealed.
3. The light fixtures shall meet the LMO lighting requirements and not exceed 3000K.
4. Conceal sprinkler lines to the extent possible with the understanding that sprinkler heads will be visible.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Scott's Fish Market:

The client has elected to extend the new trellis structure over the existing bar structure. The footprint of the new covered deck is roughly the same size as the current canvas structures that will be demolished.

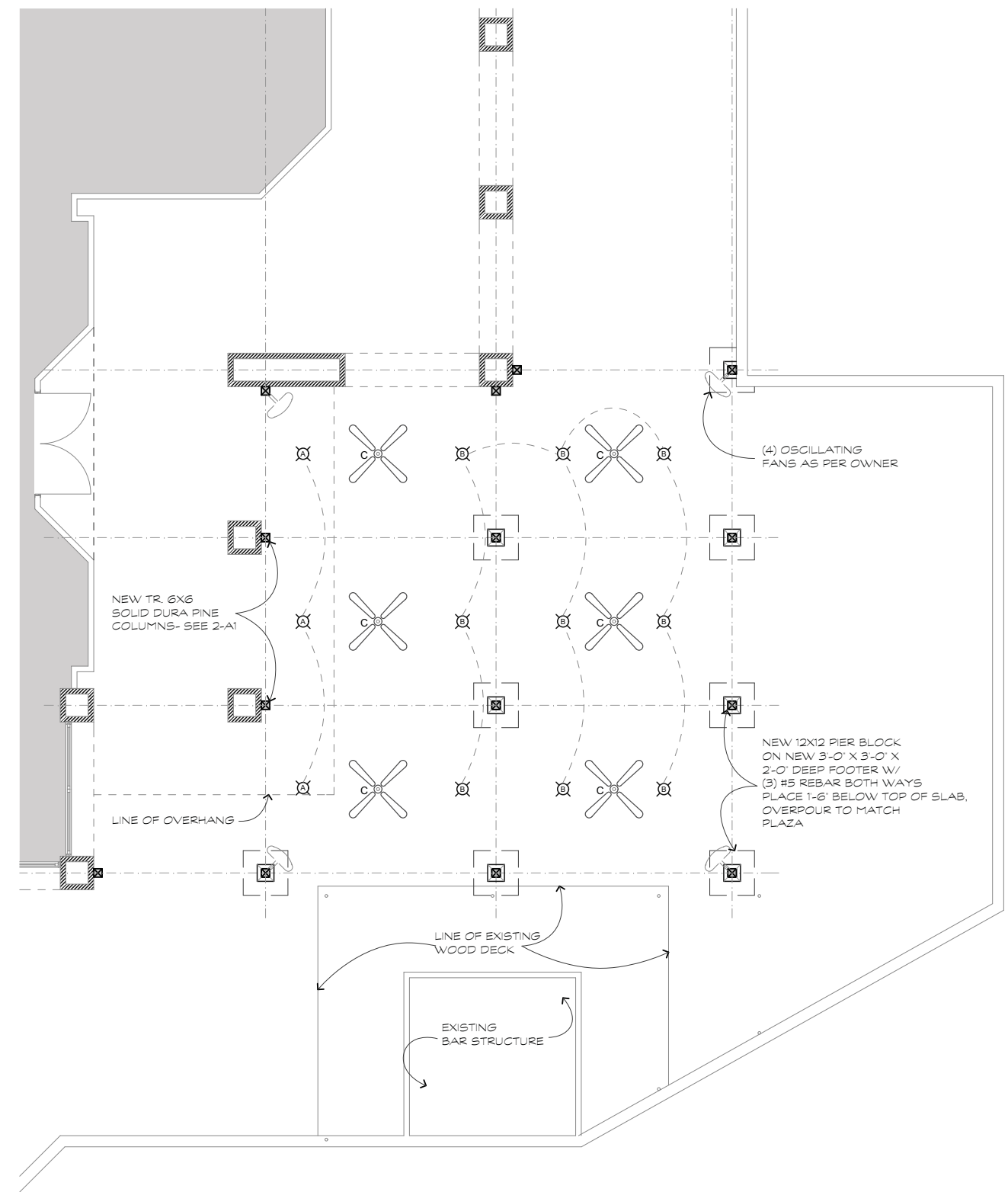
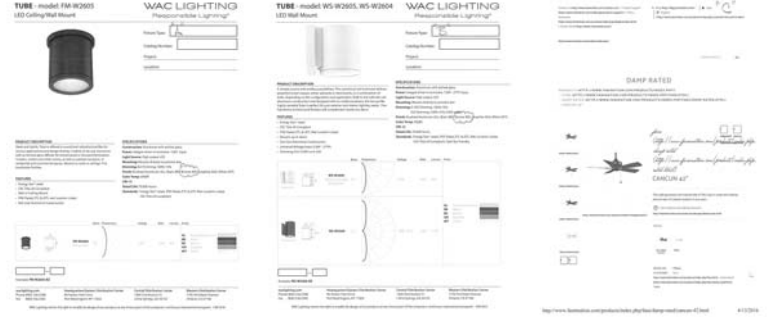
Thank-you for your time and consideration of this project.

Timothy C. Probst. AIA

APPROVED

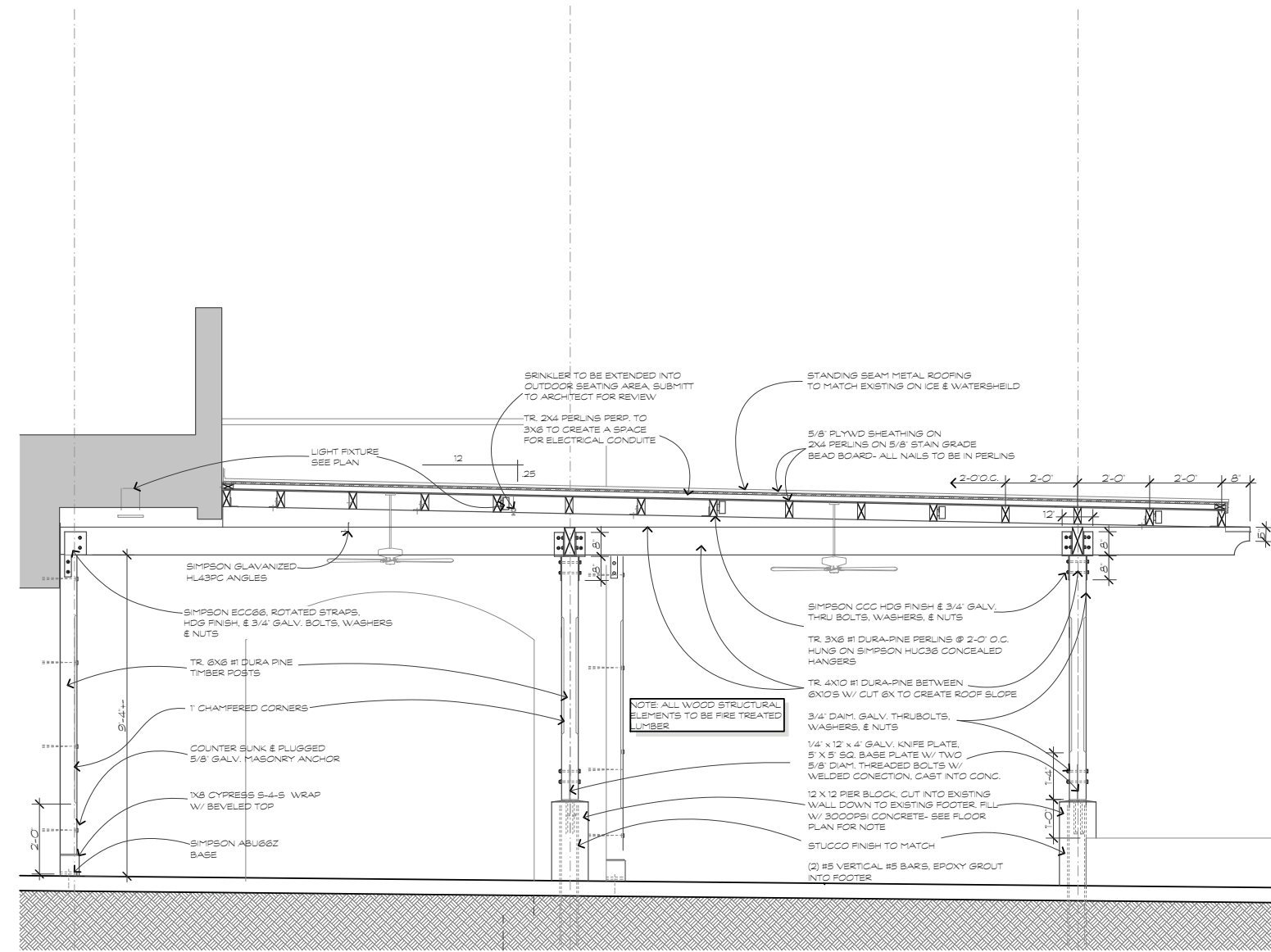
LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	WAC	FM-W2805-BZ	SURFACE	18 WATT LED	BRONZE	TUBE LIGHT
B	WAC	MS-W2805-BZ	SURFACE	18 WATT LED	BRONZE	SIDE MOUNT
C	FANMATION	FP8042	1 DROP		BRONZE	EXT FAN



LOGGIA PLAN
SCALE: 1/4" = 1'-0"

1
A.1



LOGGIA SECTION
SCALE: 1/2" = 1'-0"

2
A.1



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A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY: TP
CHECKED BY: TP
DATE OF ISSUE: 01/18/17
SCALE:
JOB NO: 1614
SHEET

A.1
OF SHEETS

APPROVED



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A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
TP

CHECKED BY
TP

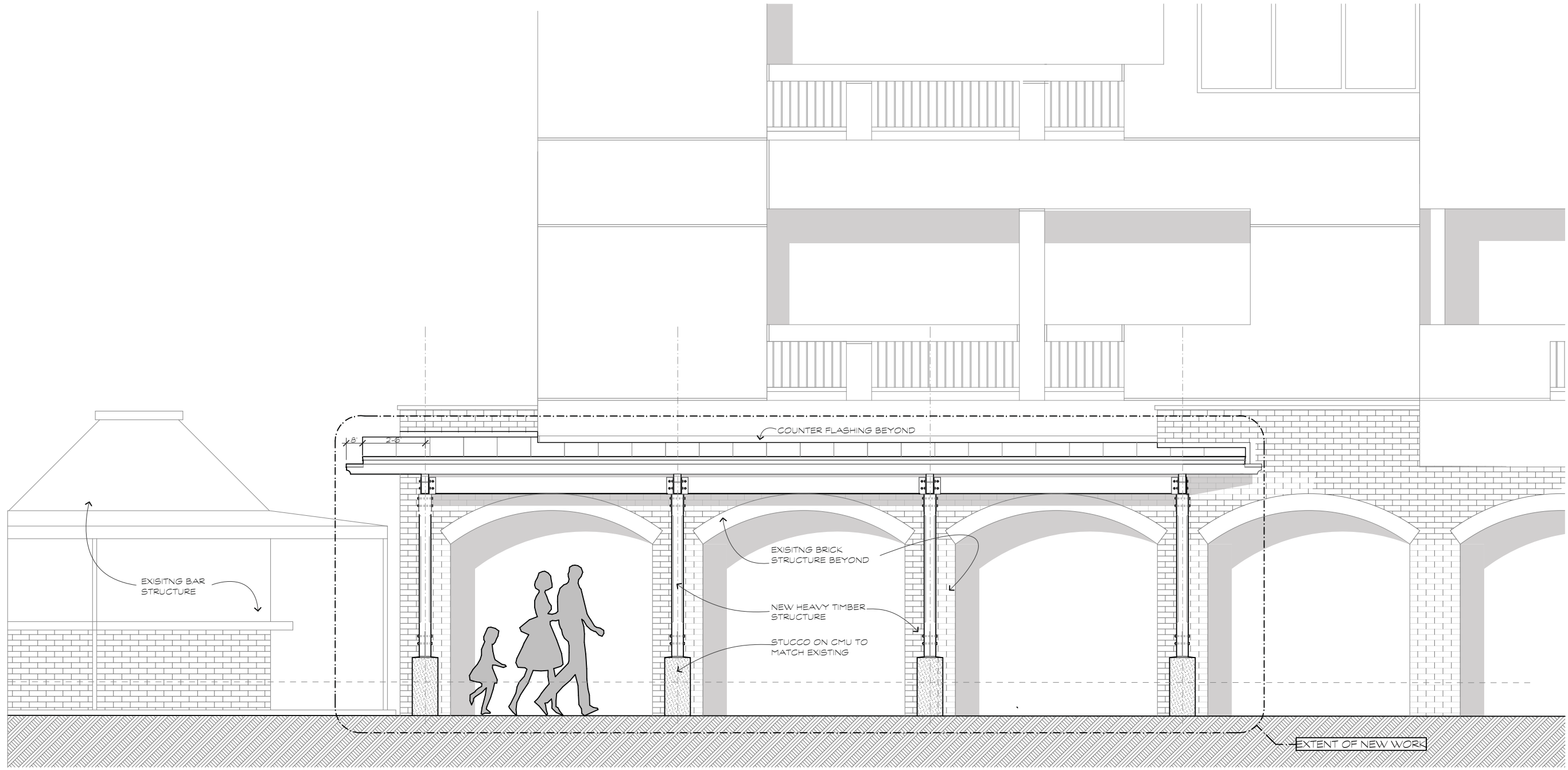
DATE OF ISSUE:
01/18/17

SCALE

JOB NO.
1614

SHEET

A.2
OF SHEETS



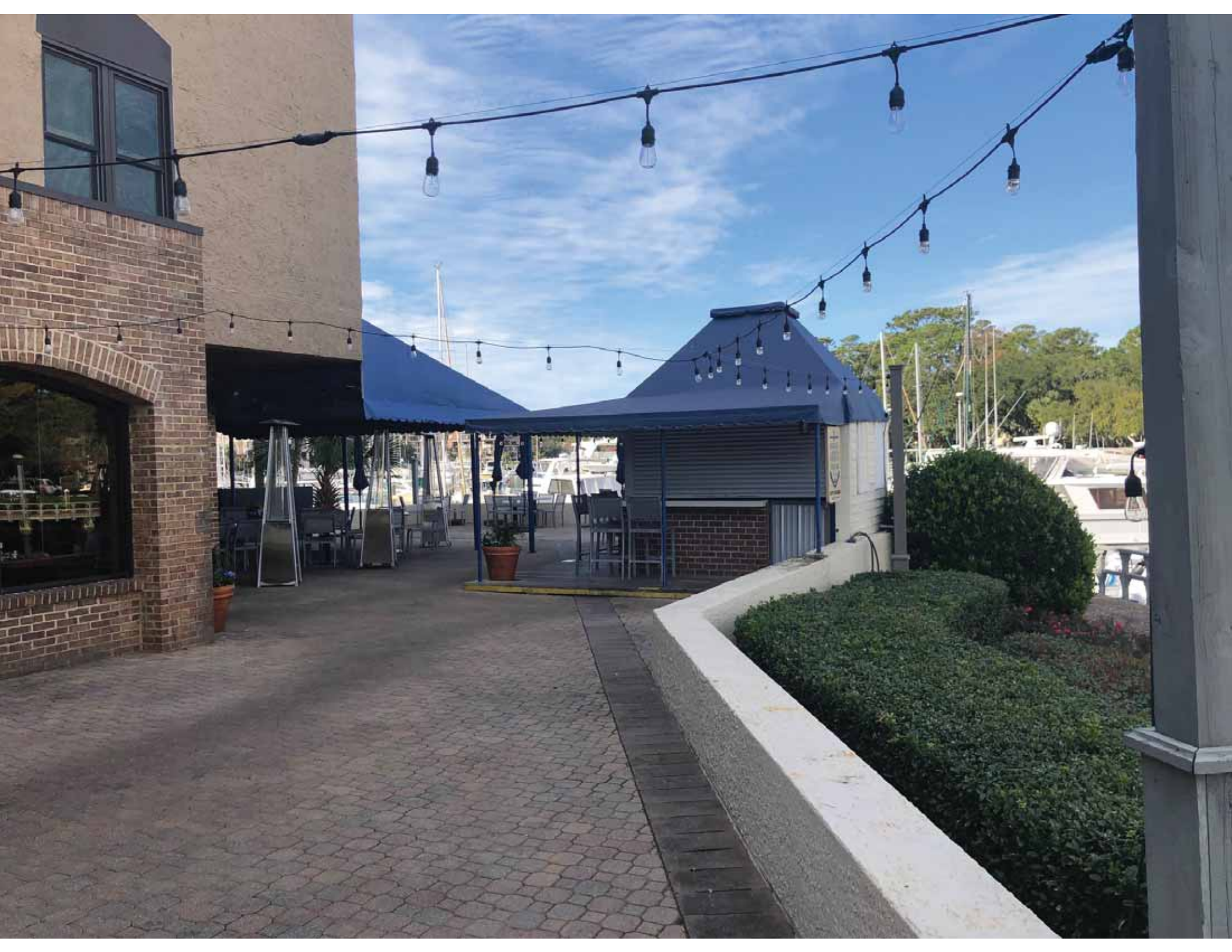
LOGGIA ELEVATION
SCALE: 1/2" = 1'-0"

1
A2



HURRICANE
HARRY'S
WHARF BAR
Est. 1989
FISH MARKET
on Head Island

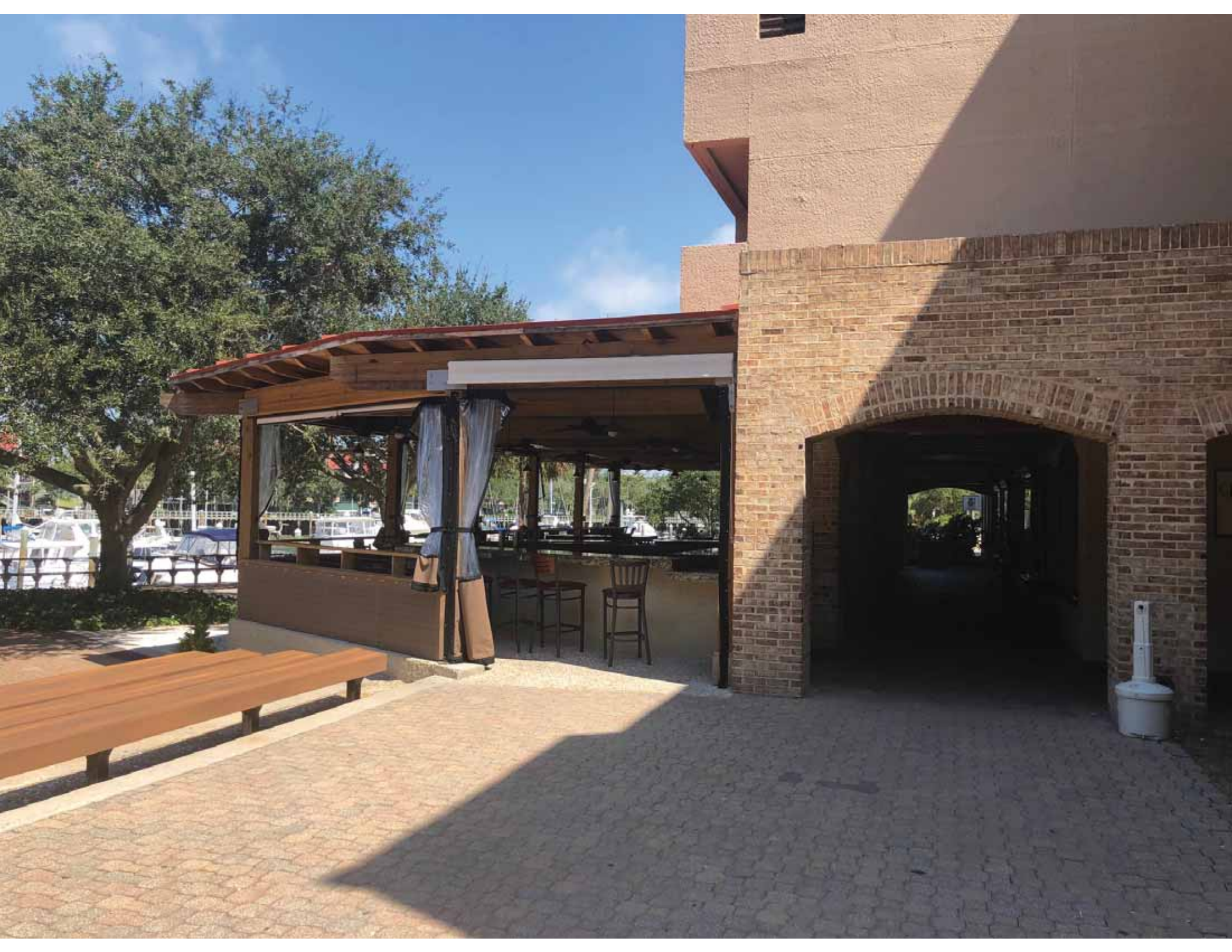


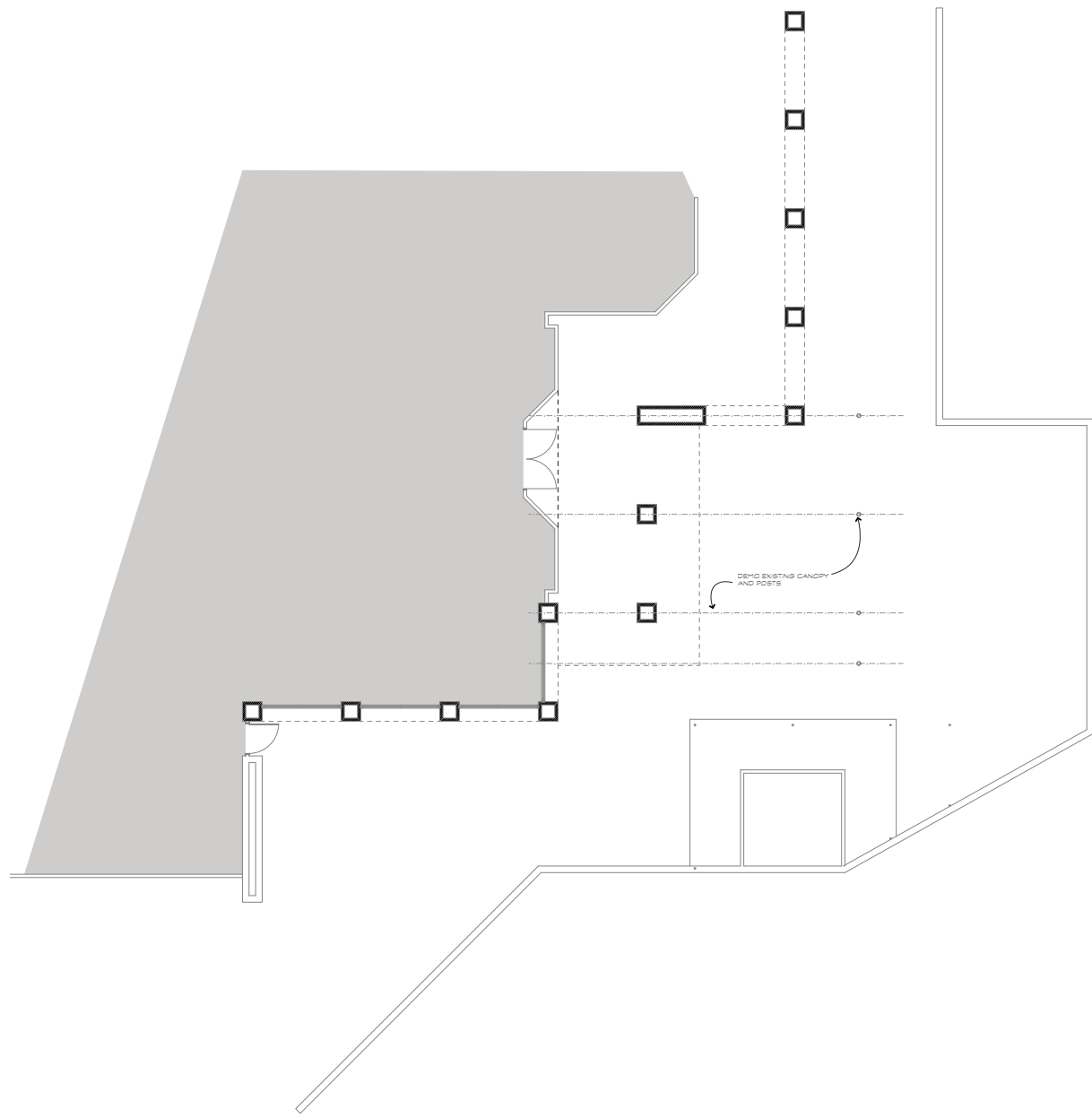












AS BUILT PLAN

SCALE: 1/8" = 1'-0"

1
S.1



SITE PLAN

SCALE: 1" = 40'-0"

2
S.1

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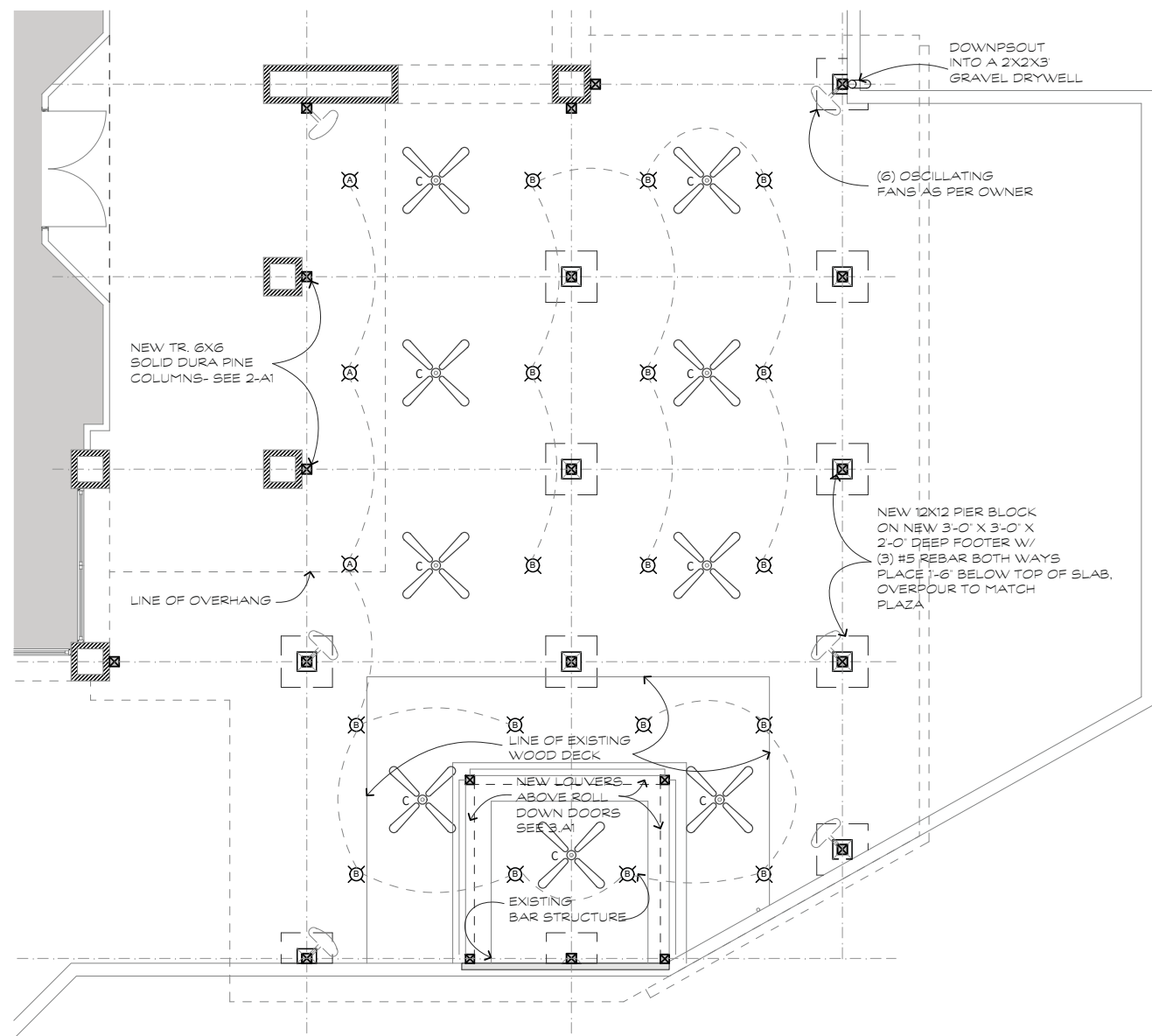
A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
 SHELTER COVE MARINA
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 11/25/19
 SCALE
 JOB NO.
 1614
SHEET

S.1
 OF SHEETS

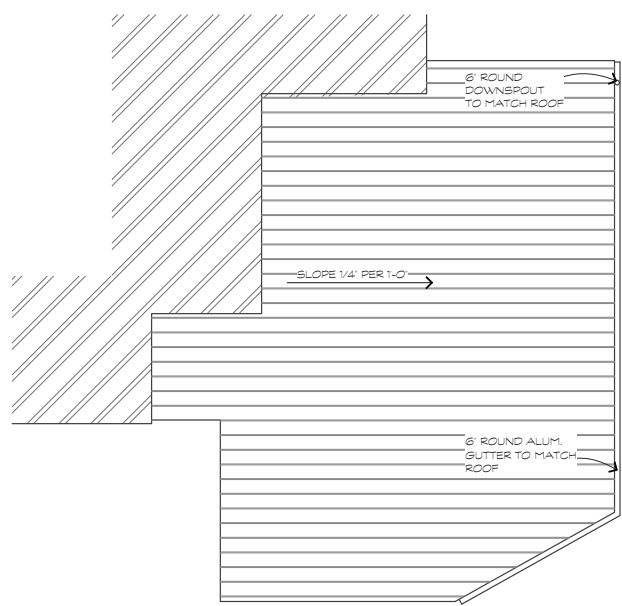
DESIGN CRITERIA	
DESCRIPTION OF WORK: REPLACE FABRIC CANOPY OVER EXISTING OUTDOOR EATING AREA W/ A NEW FIRE TREATED HEAVY TIMBER / STANDING SEAM METAL ROOF. EXISTING BUILDING IS TYP 2 SPRINKLED W/ CEMENT STUCCO SIDING AND METAL ROOF. Design Criteria for Code Compliance as of: IBC 2015 Type of Occupancy: A-2 Restaurant Type of Construction: 2 -Protected/Unprotected Sprinkler: YES	
COLOR SCHEDULE	
ROOFING :	STANDING SEAM METAL TO MATCH BUILDINGS
TIMBER ELEMENTS :	CABOTS SEMI SOLID SPANISH MOSS
CEILING :	WOOD STAIN & POLY TOP COAT TO MATCH EXISTING LOGGIA



LOGGIA PLAN

SCALE: 1/4" = 1'-0"

1
A.1



ROOF PLAN

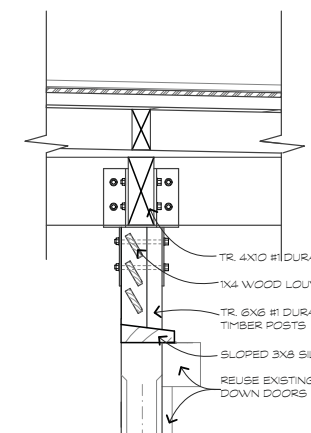
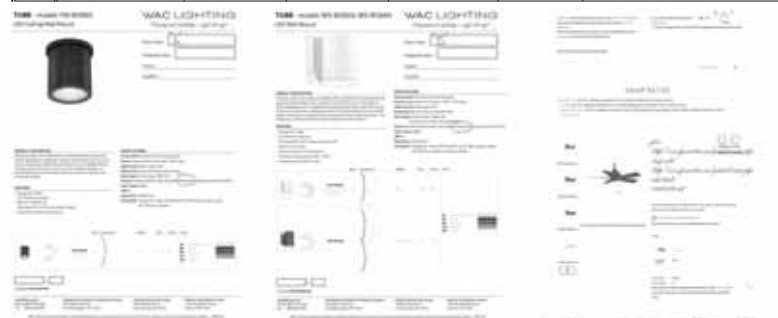
SCALE: 1/8" = 1'-0"

2
A.1

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	WAC	FM-W2605-BZ	SURFACE	16 WATT LED	BRONZE	TUBE LIGHT
B	WAC	WS-W2605-BZ	SURFACE	16 WATT LED	BRONZE	SIDE MOUNT
C	FANMATION	FP8042	T DROP		BRONZE	EXT FAN

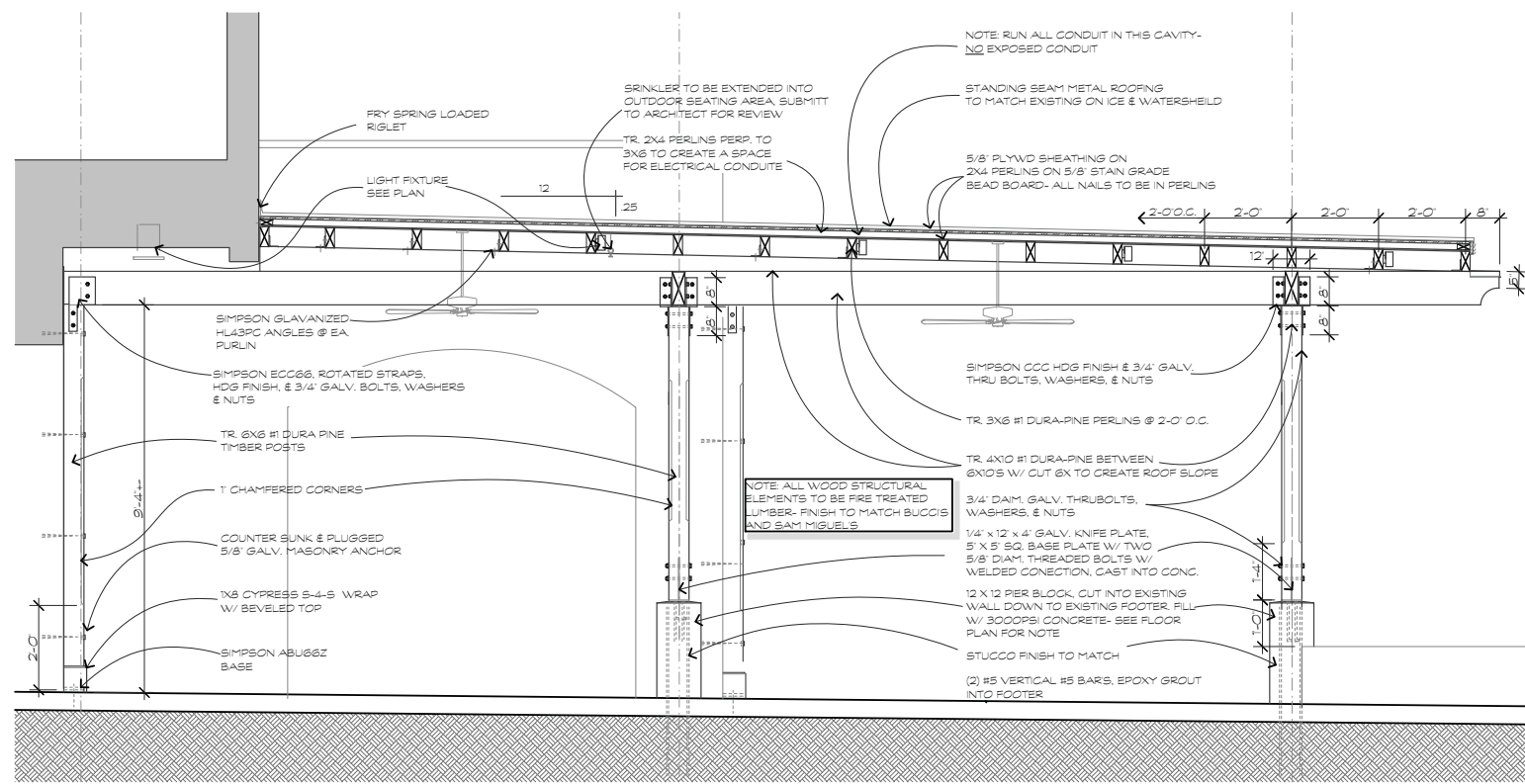
HEATERS BY OWNERS



BAR HEADER DETAIL

SCALE: 1" = 1'-0"

3
A.1



LOGGIA SECTION

SCALE: 1/2" = 1'-0"

4
A.1

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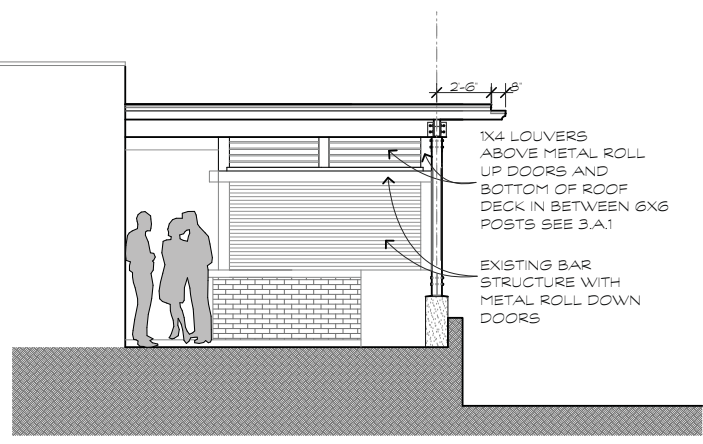
A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
SHELTER COVE MARINA
HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

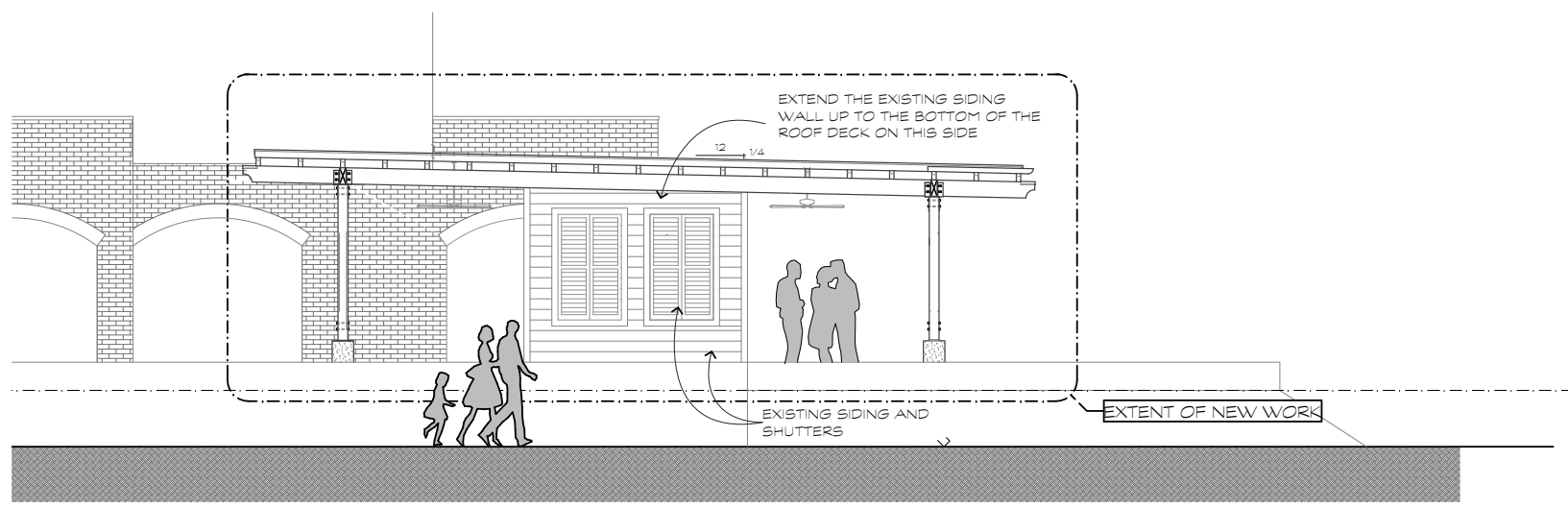
DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE:
11/25/19
SCALE
JOB NO.
1614
SHEET

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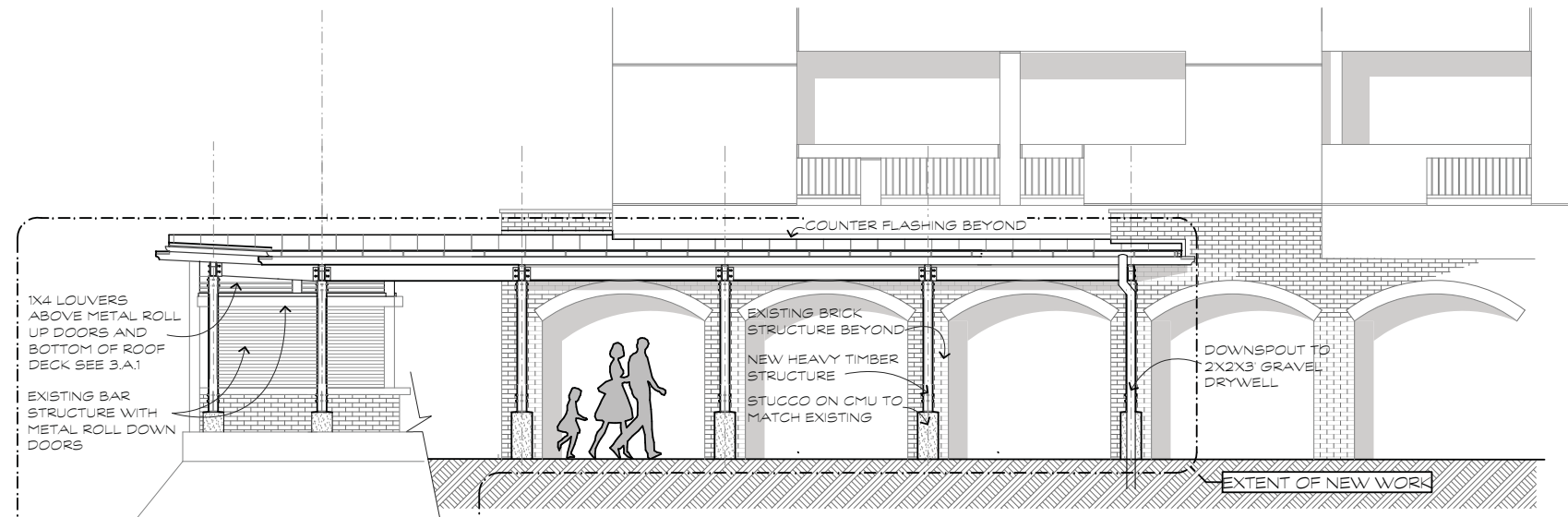
FRONT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

1
 A2



LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

2
 A2



WATER ELEVATION
 SCALE: 1/4" = 1'-0"

3
 A2

A NEW COVERED AREA FOR:
SCOTT'S FISH MARKET
 SHELTER COVE MARINA
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 11/25/19
 SCALE
 JOB NO.
 1614
 SHEET

A.2
 OF SHEETS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Scott's Patio Roof Extension

DRB#: DRB-002452-2019

DATE: 12/01/19

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The beams in the approved drawings and the proposed Loggia Section (sheet A.1) appear to be horizontal but are sloped in the proposed Left Side Elevation (sheet A.2)

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Staff is aware there is an angle on the Bucci patio roof. The angled roof, is not in keeping with the rhythm and geometry of the building.
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. The bar enclosure color should be similar to the building to differentiate it from the retaining wall. Staff would suggest a darker color scheme. 2. The metal roll down doors should be painted to coordinate with the building.

Details are clean, simple and appropriate while avoiding excessive ornamentation				The louver treatment between the bar roof and the patio roof does not seem to be clean or simple. Staff is concerned this will appear as a bandaid. Consider using the same siding detail as the exterior wall of the bar.
--	--	--	--	--

<i>MISC COMMENTS/QUESTIONS</i>

1. The patio roof (excluding the bar) received DRB approval on Oct. 8, 2019.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: __Annette Lippert__ Company: _____ Court Atkins Group _____
 Mailing Address: _____ 32 Bruin Road _____ City: __Bluffton__ State: __SC__ Zip: 29910 Telephone:
843-815-2557 Fax: _____ E-mail: annette.lippert@courtatkins.com
 Project Name: Coastal States Bank Project Address: 5 Bow Circle
 Parcel Number [PIN]: R 552 014 000 0855 0000
 Zoning District: Light Commercial Overlay District(s): ROW Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|--|---|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input checked="" type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for **All** projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

11/26/2019
DATE

MAJOR CORRIDOR REVIEW SUBMITTAL
(DECEMBER 10TH, 2019 MEETING)
PROJECT NARRATIVE

Project Information:

Project Name: Coastal States Bank – 5 Bow Circle
Location: 5 Bow Circle, Hilton Head Island, SC 29928
R552 014 000 0855 0000

Project Contacts:

Owner:

Coastal States Bank
3350 Riverwood Pkwy, Suite 750
Atlanta, GA 30339

Architect:

Court Atkins Architects, Inc.
P.O. Box 3978
Bluffton, SC 29910
843.815.2557

General Contractor:

Highsmith Construction Inc
4 Executive Park Rd
Hilton Head Island, SC 29928

Interior Designer:

J.Banks Design Group
35 N. Main Street
Hilton Head Island, SC 29926

Civil Engineer:

n/a

Landscape:

n/a

Project Description:

As part of a re-branding project, Coastal States Bank is also performing several building upgrades to the existing 13,278 square foot building.

All existing wood window will be replaced with impact resistant storefront systems using a dark gray baked on enamel finish. Window sills will be brought to a uniform height. All storefront units will be framed in painted composite trim.

Several entry roof areas, as well as the existing ATM roof will be reroofed with a dark gray standing seam roof. In the process all solar panels and skylights will be eliminated and those areas will be patched with architectural shingles to match the existing roof.

All existing stucco (entire first floor) will be removed – this will include the removal of existing mechanical thru-wall units. A combination of sand-finished stucco and tabby stucco with #2 oyster shell pieces will be used to provide a stronger low-country vernacular.

Another feature to enhance the façade is that the gable ends will have the lap siding removed at the bow window and above and this area will use board and batten to help stretch the building and de-emphasize the existing roof extents.

Interior upgrades will include all new toilet room fixtures, new toilet partitions, new toilet room ceilings, new carpet and new interior window trim.

The color scheme for the building is based on the following:

- Stucco – Sand finish to match SW7011 Natural Choice
- Tabby Stucco - #2 Oyster Shells, uncolored base
- Aluminum Impact Resistant Storefront – YKK baked on enamel to match Sheffield Metals L/G Dark Gray Cool R
- Lap Siding / Soffits – SW7011 Natural Choice
- Trim / Fascia / Trellis / Brackets & Columns – SW7527 Nantucket Dune
- Standing Seam Metal Roof - Sheffield Metals 26 Ga. L/G Dark Gray Cool R

Site Narrative / Analysis:

The existing, developed site is 1.0 acre, with the existing building, existing walkways, existing covered ATM and existing parking area. No changes are being made to any of the site elements.

Landscape Narrative:

n/a



COASTAL STATES BANK
5 BOW CIRCLE
NOVEMBER 2019

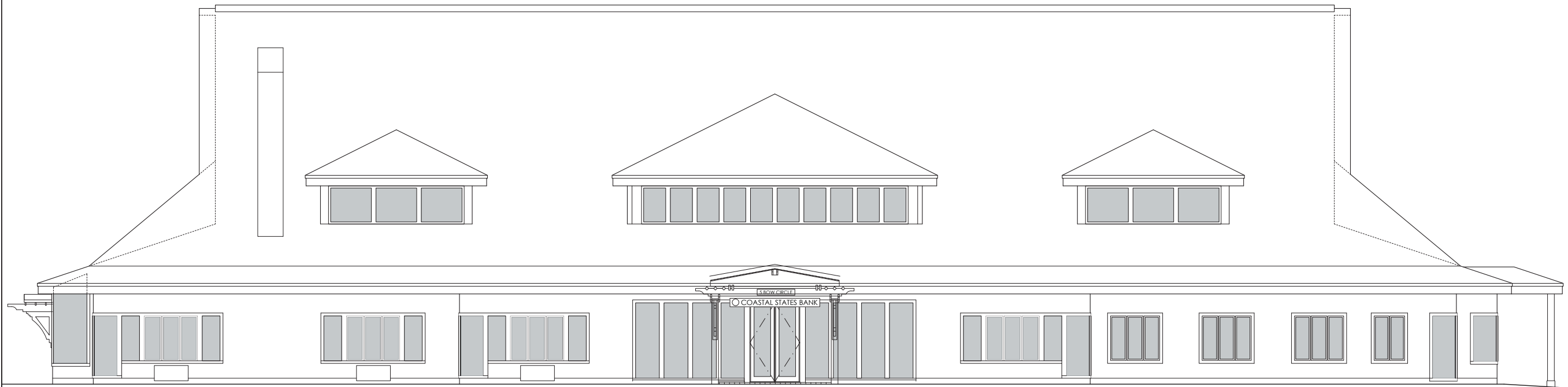


COASTAL STATES BANK
5 BOW CIRCLE
NOVEMBER 2019



**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547
WWW.COURTATKINS.COM



1 EXISTING SOUTHEAST EXTERIOR ELEVATION (FRONT)
DE3.0 SCALE 1/4" = 1'-0"



2 EXISTING NORTHEAST EXTERIOR ELEVATION (RIGHT)
DE3.0 SCALE 1/4" = 1'-0"

COASTAL STATES BANK

5 BOW CIRCLE
HILTON HEAD ISLAND, SC

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

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ISSUE DATE DESCRIPTION

ISSUE	DATE	DESCRIPTION

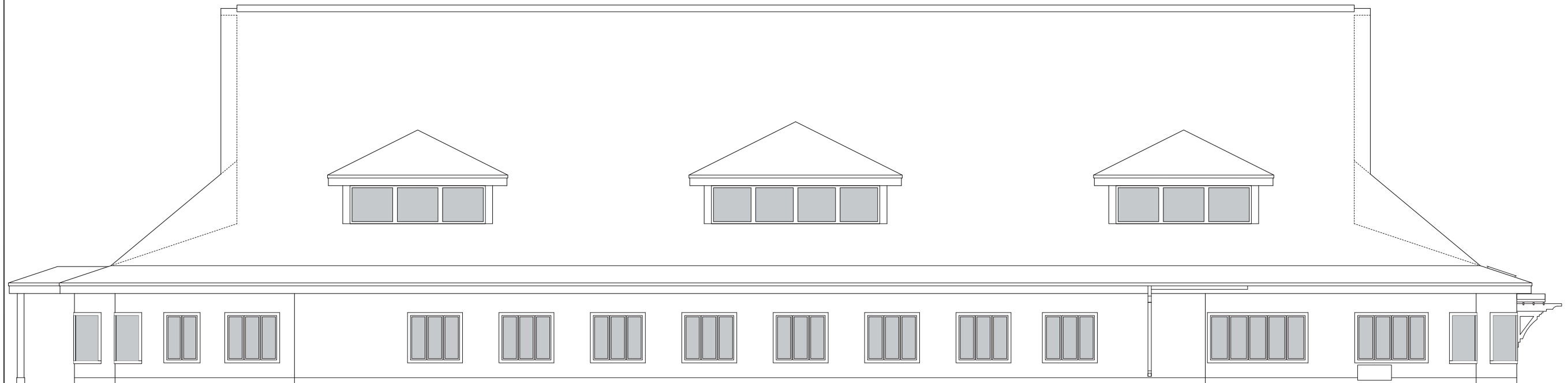
PROJECT #: 19-082
PROJECT CONTACT: ASL
DATE: 11/26/2019

EXISTING
EXTERIOR
ELEVATIONS
DE3.0



**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547
WWW.COURTATKINS.COM



1 EXISTING NORTHWEST EXTERIOR ELEVATION (REAR)
DE3.1 SCALE 1/4" = 1'-0"



2 EXISTING SOUTHWEST EXTERIOR ELEVATION (LEFT - FACING HWY 278)
DE3.1 SCALE 1/4" = 1'-0"

COASTAL STATES BANK

5 BOW CIRCLE
HILTON HEAD ISLAND, SC

NOT FOR CONSTRUCTION

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ISSUE DATE DESCRIPTION

ISSUE	DATE	DESCRIPTION

PROJECT #: 19-082
PROJECT CONTACT: ASL
DATE: 11/26/2019

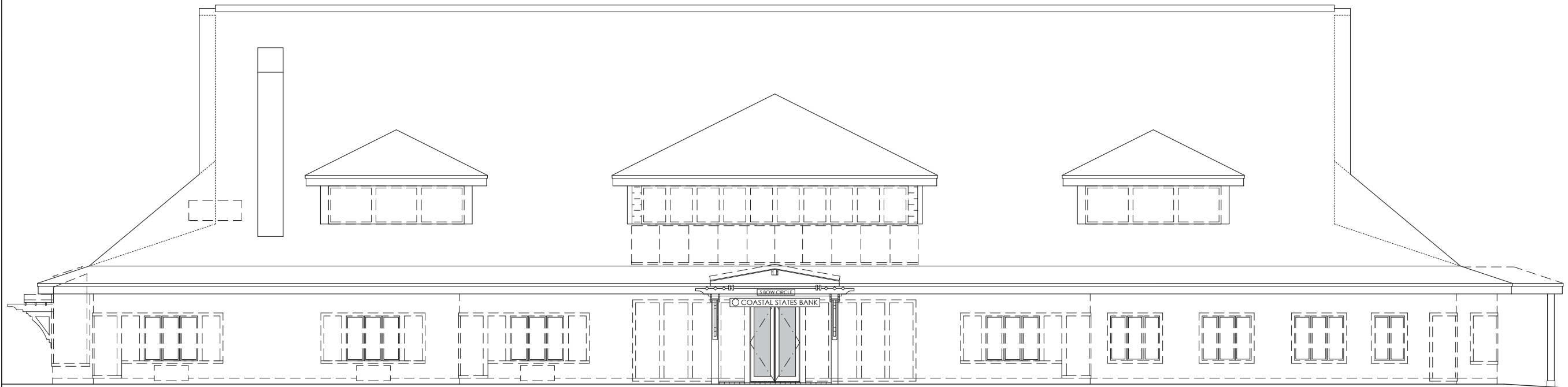
EXISTING
EXTERIOR
ELEVATIONS
DE3.1



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ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM



1
D3.0 SCALE 1/4" = 1'-0"
SOUTHEAST EXTERIOR DEMOLITION ELEVATION (FRONT)



2
D3.0 SCALE 1/4" = 1'-0"
NORTHEAST EXTERIOR DEMOLITION ELEVATION (RIGHT)

- GENERAL DEMOLITION EXTERIOR ELEVATION NOTES:**
- G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE DEMOLITION WORK AND FOR ALL TEMPORARY SUPPORTS REQUIRED TO COMPLETE THE WORK.
 - G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING A HAZMAT REPORT. G.C. SHALL BE RESPONSIBLE FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE.
 - OWNER HAS RIGHT OF FIRST REFUSAL ON ALL EXISTING MATERIALS AND EQUIPMENT REMOVED FROM SITE. VERIFY WITH OWNER THE EXISTING MATERIALS OR EQUIPMENT, WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGED MATERIAL TO OWNER AND PROPERLY DISPOSE OF REMAINING ITEMS. ITEMS TO VERIFY INCLUDE BUT ARE NOT LIMITED TO, EXISTING SECURITY SYSTEM, STEREO AND TV EQUIPMENT, BAR EQUIPMENT, AND KITCHEN EQUIPMENT.
 - COORDINATE ALL WORK, WORK SCHEDULES AND POSSIBLE POWER OUTAGES WITH OWNER PRIOR TO DEMOLITION.
 - G.C. TO MAINTAIN ALL EXISTING SURFACE MOUNTED MEP ELEMENTS (CONDUITS, CONDENSATE LINES, PANELS) FUNCTIONAL THROUGH-OUT PROJECT DURATION.
 - WHERE EXISTING WALLS, CEILINGS, BULKHEADS, CASEWORK, ETC. ARE BEING REMOVED, CONTRACTOR SHALL PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISH.
 - G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL RUBBISH REMOVED FROM THE SITE.
 - G.C. TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION AND REPORT DISCREPANCIES / DEFICIENCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - PREPARE WALL, FLOOR, AND CEILING SURFACES TO RECEIVE NEW FINISHES.
 - G.C. / SUB-CONTRACTORS SHALL REFER TO HAZMAT REPORT TO PROPERLY PREPARE ANY DEMOLITION WORK WITH ASBESTOS CONTAINING MATERIALS.
 - WALL/FLOOR/CEILING FINISHES SHOWN TO REMAIN AS IS ARE TO BE PROTECTED DURING DEMOLITION.
 - DEMOLISH ALL SOLAR PANELS AND ASSOCIATED ELECTRICAL COMPONENTS.
 - DEMOLISH ALL STUCCO, INCLUDING BASE TRIM.
 - DEMOLISH ALL WINDOW TRIM.
 - DEMOLISH ALL EXISTING WINDOW UNITS.

COASTAL STATES BANK

5 BOW CIRCLE
HILTON HEAD ISLAND, SC

NOT FOR CONSTRUCTION

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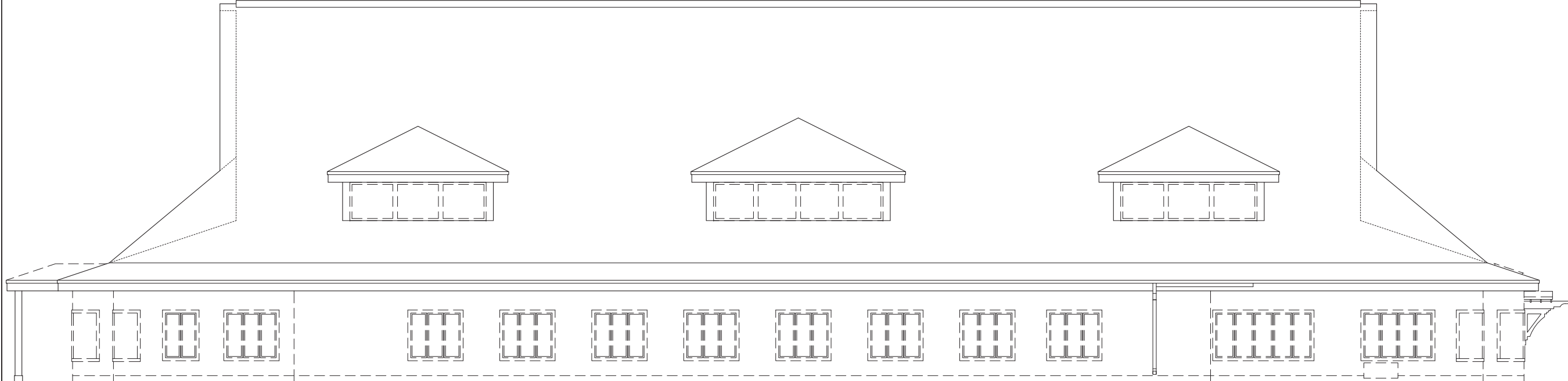
PROJECT # : 19-082
PROJECT CONTACT : ASL
DATE: 11/26/2019

EXTERIOR
DEMOLITION
ELEVATION
D3.0



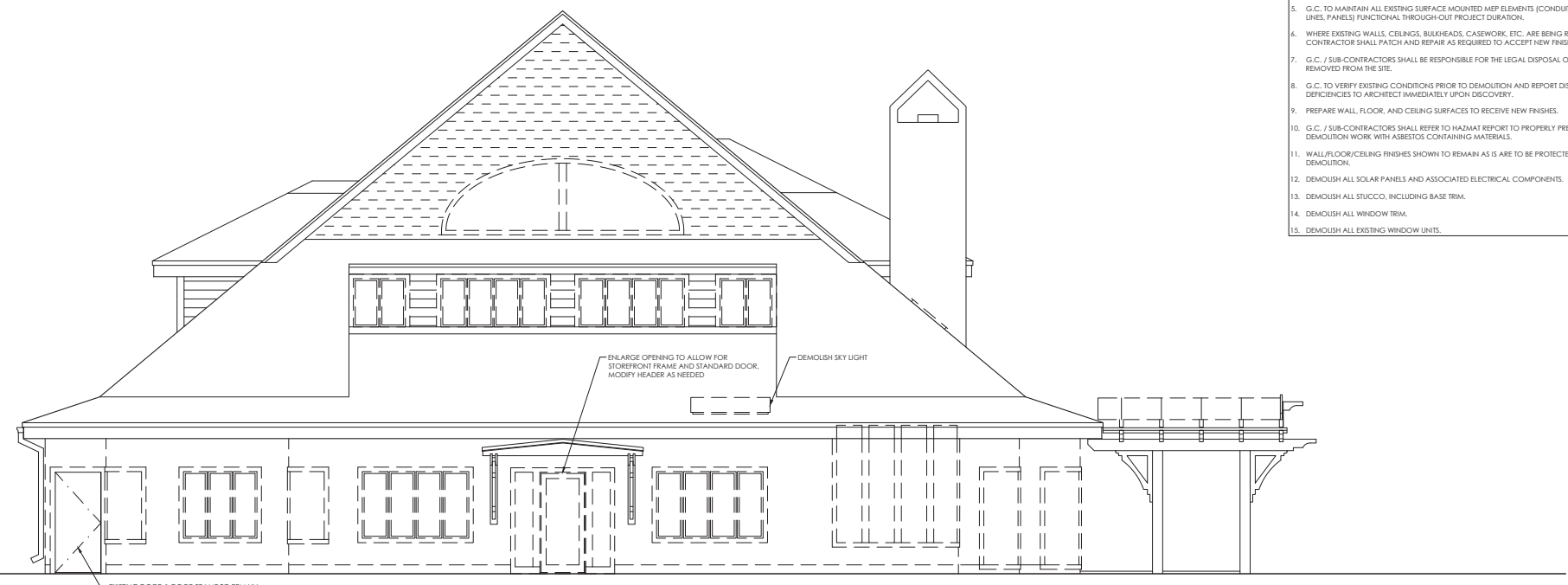
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1
D3.1 NORTHWEST EXTERIOR DEMOLITION ELEVATION (REAR)
SCALE 1/4" = 1'-0"

- GENERAL DEMOLITION EXTERIOR ELEVATION NOTES:**
- G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE DEMOLITION WORK AND FOR ALL TEMPORARY SUPPORTS REQUIRED TO COMPLETE THE WORK.
 - G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING A HAZMAT REPORT. G.C. SHALL BE RESPONSIBLE FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE.
 - OWNER HAS RIGHT OF FIRST REFUSAL ON ALL EXISTING MATERIALS AND EQUIPMENT REMOVED FROM SITE. VERIFY WITH OWNER THE EXISTING MATERIALS OR EQUIPMENT, WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGED MATERIAL TO OWNER AND PROPERLY DISPOSE OF REMAINING ITEMS. ITEMS TO VERIFY INCLUDE BUT ARE NOT LIMITED TO, EXISTING SECURITY SYSTEM, STEREO AND TV EQUIPMENT, BAR EQUIPMENT, AND KITCHEN EQUIPMENT.
 - COORDINATE ALL WORK, WORK SCHEDULES AND POSSIBLE POWER OUTAGES WITH OWNER PRIOR TO DEMOLITION.
 - G.C. TO MAINTAIN ALL EXISTING SURFACE MOUNTED MEP ELEMENTS (CONDUITS, CONDENSATE LINES, PANELS) FUNCTIONAL THROUGH-OUT PROJECT DURATION.
 - WHERE EXISTING WALLS, CEILINGS, BULKHEADS, CASEWORK, ETC. ARE BEING REMOVED, CONTRACTOR SHALL PATCH AND REPAIR AS REQUIRED TO ACCEPT NEW FINISH.
 - G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL RUBBISH REMOVED FROM THE SITE.
 - G.C. TO VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION AND REPORT DISCREPANCIES / DEFICIENCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - PREPARE WALL, FLOOR, AND CEILING SURFACES TO RECEIVE NEW FINISHES.
 - G.C. / SUB-CONTRACTORS SHALL REFER TO HAZMAT REPORT TO PROPERLY PREPARE ANY DEMOLITION WORK WITH ASBESTOS CONTAINING MATERIALS.
 - WALL/FLOOR/CEILING FINISHES SHOWN TO REMAIN AS IS ARE TO BE PROTECTED DURING DEMOLITION.
 - DEMOLISH ALL SOLAR PANELS AND ASSOCIATED ELECTRICAL COMPONENTS.
 - DEMOLISH ALL STUCCO, INCLUDING BASE TRIM.
 - DEMOLISH ALL WINDOW TRIM.
 - DEMOLISH ALL EXISTING WINDOW UNITS.



2
D3.1 SOUTHWEST EXTERIOR DEMOLITION ELEVATION (LEFT - FACING HWY 278)
SCALE 1/4" = 1'-0"

COASTAL STATES BANK

5 BOW CIRCLE
HILTON HEAD ISLAND, SC

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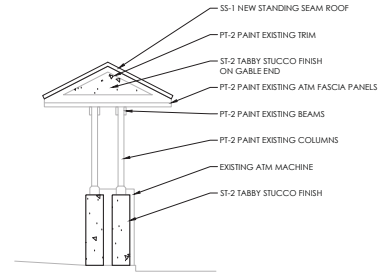
PROJECT #: 19-082
PROJECT CONTACT: ASL
DATE: 11/26/2019

DEMOLITION
EXTERIOR
ELEVATION
D3.1

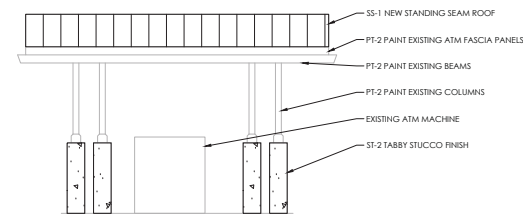


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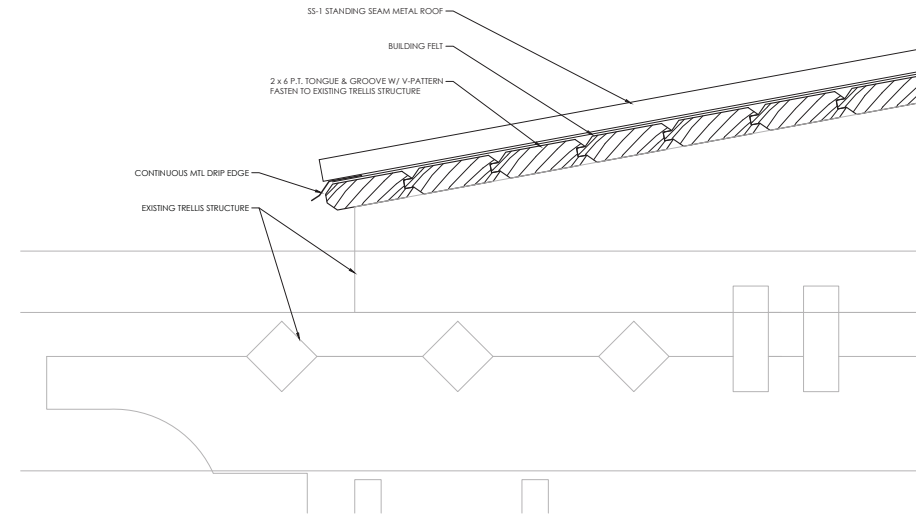
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BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547
WWW.COURTATKINS.COM



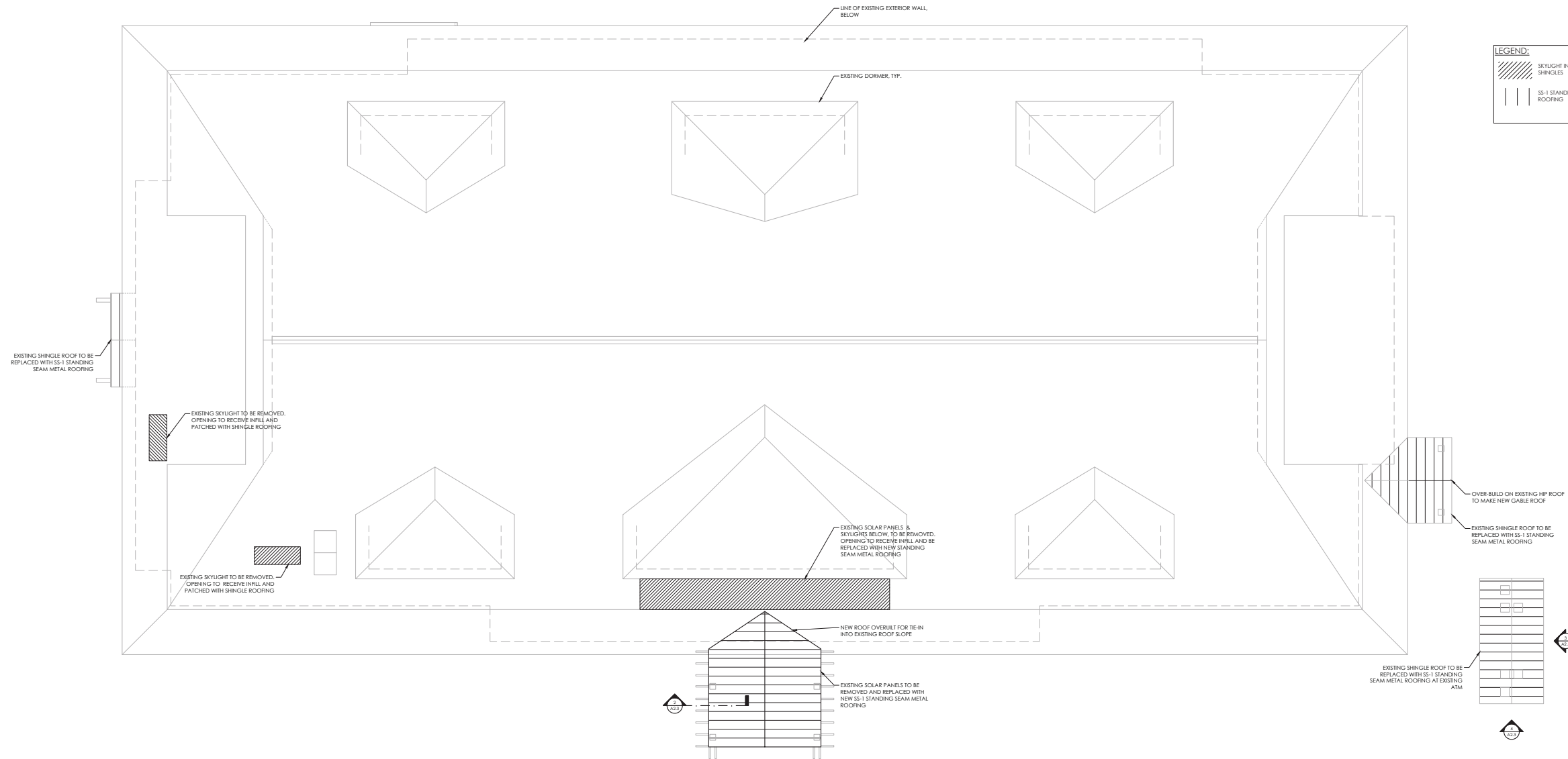
4
A2.3 **SOUTHEAST ATM ELEVATION**
SCALE 1/4" = 1'-0"



3
A2.3 **NORTHEAST ATM ELEVATION**
SCALE 1/4" = 1'-0"



2
A2.3 **SECTION DETAIL @ NEW ROOF
ON EXISTING TRELLIS**
SCALE 3" = 1'-0"



1
A2.3 **NEW ROOF PLAN**
SCALE 3/16" = 1'-0"

LEGEND:

	SKYLIGHT INFILL - ARCHITECTURAL SHINGLES
	SS-1 STANDING SEAM METAL ROOFING

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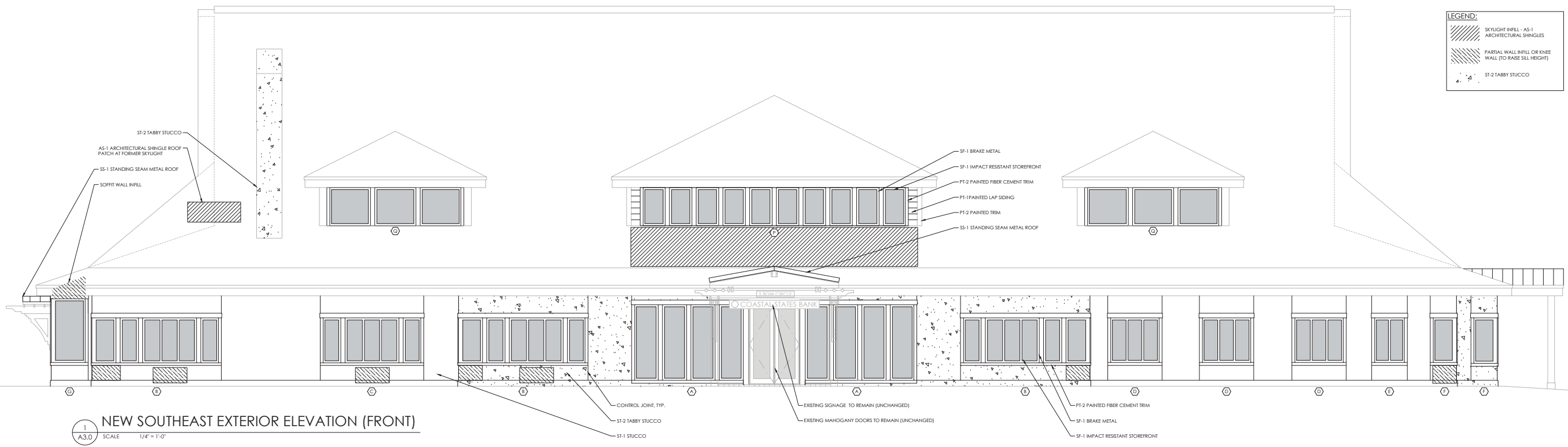
PROJECT #: 19-082
PROJECT CONTACT: ASL
DATE: 11/26/2019

NEW ROOF PLAN
TRELLIS ROOF DTL
& EXIST ATM ELEV

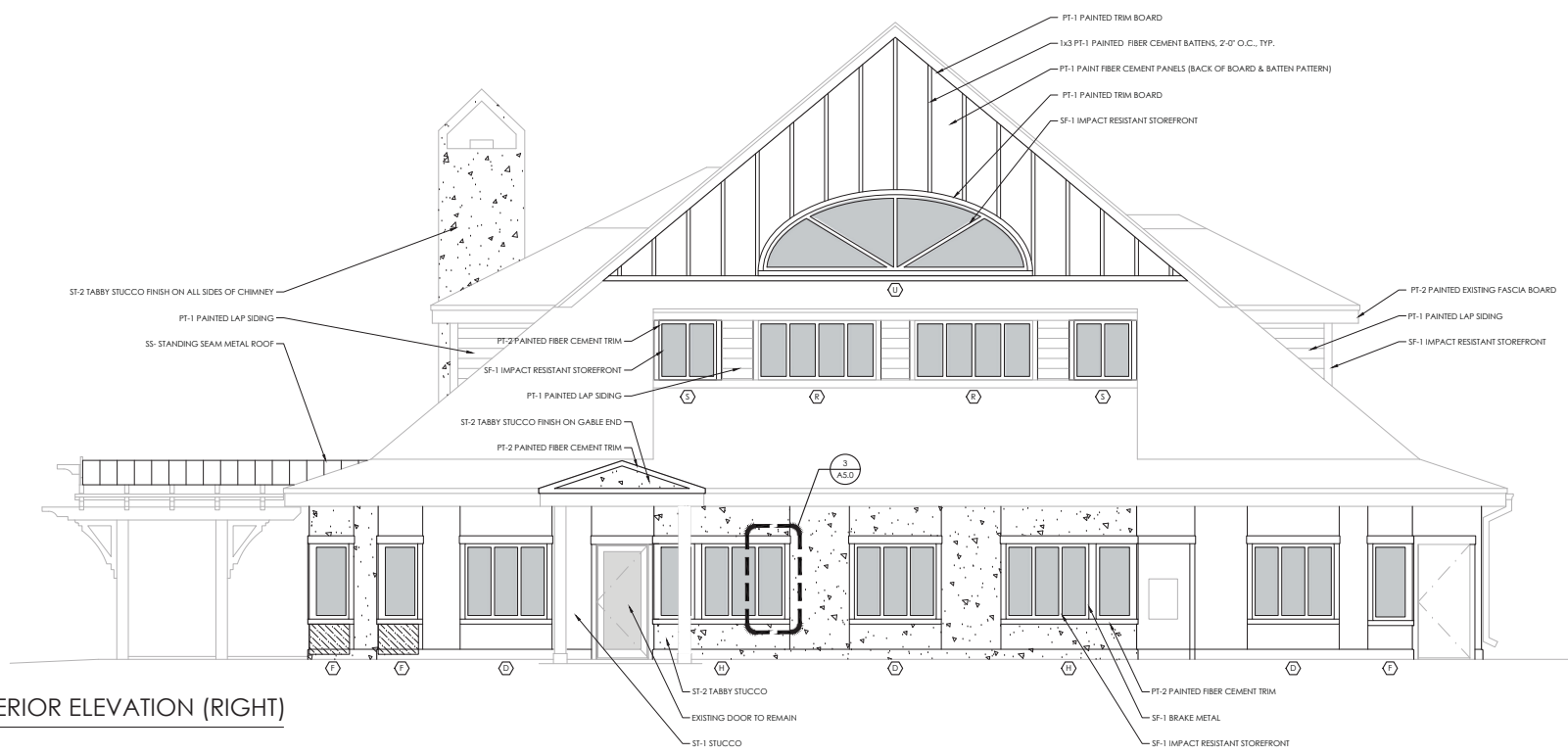
A2.3

LEGEND:

	SKYLIGHT INFILL - AS-1 ARCHITECTURAL SHINGLES
	PARTIAL WALL INFILL OR KNEE WALL (TO RAISE SILL HEIGHT)
	ST-2 TABBED STUCCO



1
A3.0
NEW SOUTHEAST EXTERIOR ELEVATION (FRONT)
SCALE 1/4" = 1'-0"



2
A3.0
NEW NORTHEAST EXTERIOR ELEVATION (RIGHT)
SCALE 1/4" = 1'-0"

FINISH LEGEND

LABEL	MATERIAL	PRODUCT INFO			REMARKS
		MANUFACTURER	STYLE	COLOR	
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	24 x 24	WHITE	GRID: ARMSTRONG SUPRAPRINE XL 1/2"
AS-1	ARCHITECTURAL SHINGLES	TIMBERLINE	ARCHITECTURAL	WEATHERED WOOD	---
PT-1	PAINT	SHERWIN-WILLIAMS	SW 7011	NATURAL CHOICE	---
PT-2	PAINT	SHERWIN-WILLIAMS	SW 7527	NANTUCKET COBE	---
SF-1	STOREFRONT & BRAKE METAL	YKK	STOREFRONT	MATCH SHEPHERD LIG DARK GRAY COOL R	---
SS-1	STANDING SEAM METAL ROOF	SHEPHERD	26 GA 12' RIBS	DARK GRAY COOL R	---
ST-1	STUCCO	---	SAND FINISH	NATURAL CHOICE	---
ST-2	TABBED STUCCO	---	#2 OYSTER SHELLS	WHITE	---
---	---	---	---	---	---
---	---	---	---	---	---
---	---	---	---	---	---
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


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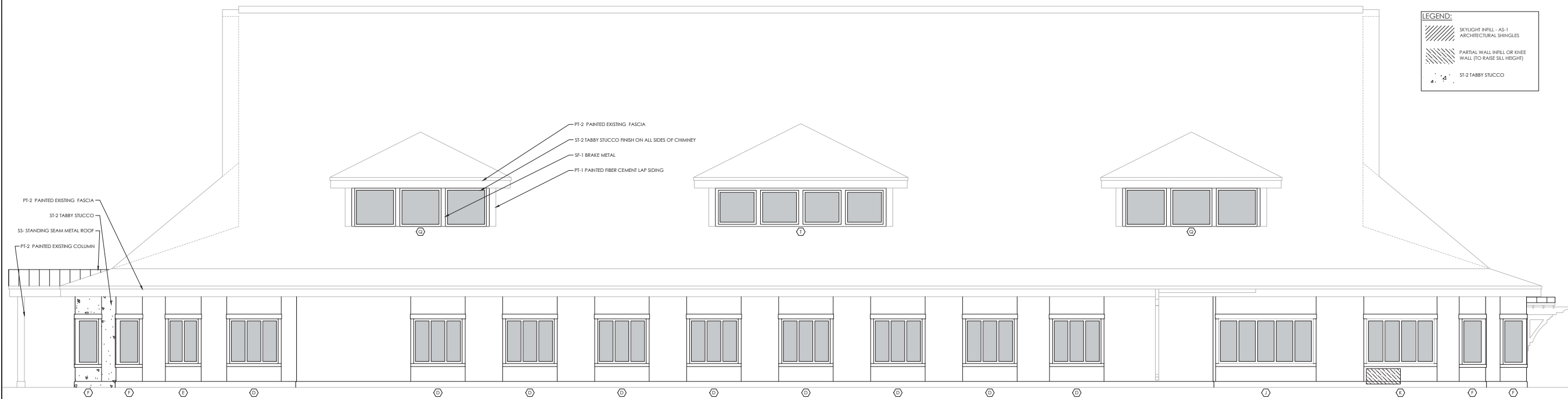
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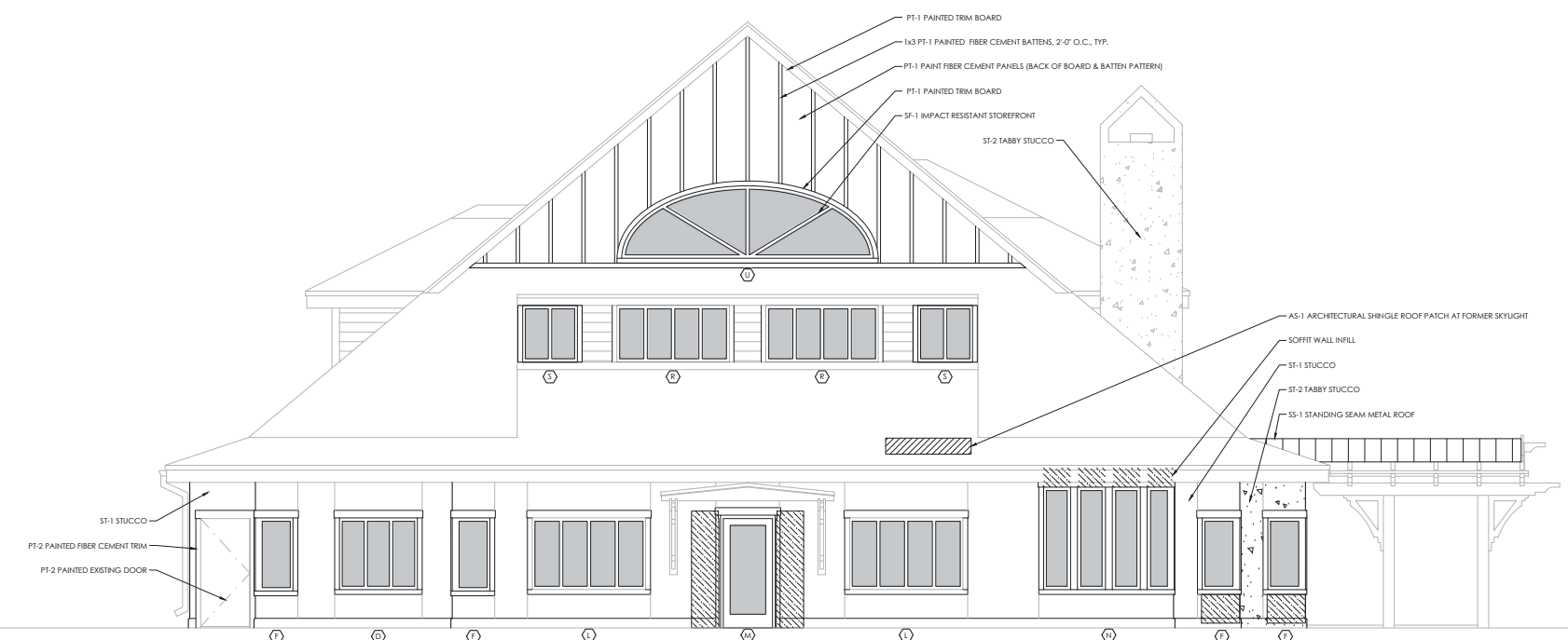
NEW
EXTERIOR
ELEVATIONS
A3.0

LEGEND:

	SKYLIGHT INFILL - AS-1 ARCHITECTURAL SHINGLES
	PARTIAL WALL INFILL OR KNEE WALL (TO RAISE SILL HEIGHT)
	ST-2 TABBY STUCCO



1
A3.1
NEW NORTHWEST EXTERIOR ELEVATION (REAR)
SCALE 1/4" = 1'-0"



2
A3.1
NEW SOUTHWEST EXTERIOR ELEVATION (LEFT - FACING HWY 278)
SCALE 1/4" = 1'-0"

COASTAL STATES BANK

5 BOW CIRCLE
HILTON HEAD ISLAND, SC

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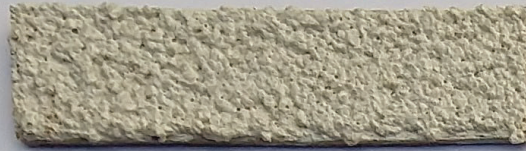
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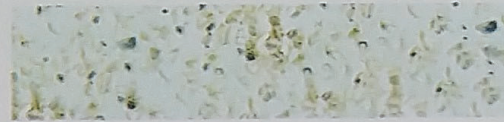
PROJECT #: 19-082
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NEW
EXTERIOR
ELEVATIONS
A3.1

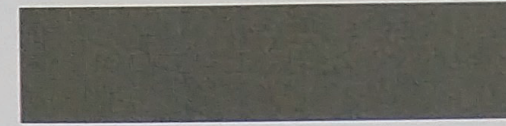
STUCCO SAND FINISH
SHERWIN WILLIAMS SW 7011 - NATURAL CHOICE (ST-1)



TABBY STUCCO #2 OYSTER SHELLS
UNCOLORED BASE - WHITE (ST-2)



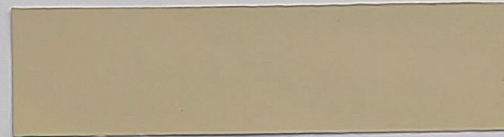
STOREFRONT & BRAKE METAL
YKK - BAKED ON ENAMEL TO MATCH STANDING SEAM ROOF (SF-1)



SIDING & SOFFIT
SHERWIN WILLIAMS SW 7011 - NATURAL CHOICE (PT-1)



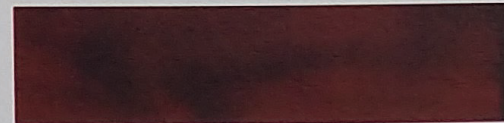
TRIM, FASCIA, TRELIS, BRACKETS & COLUMNS
SHERWIN WILLIAMS SW 7527 - NANTUCKET DUNE (PT-2)



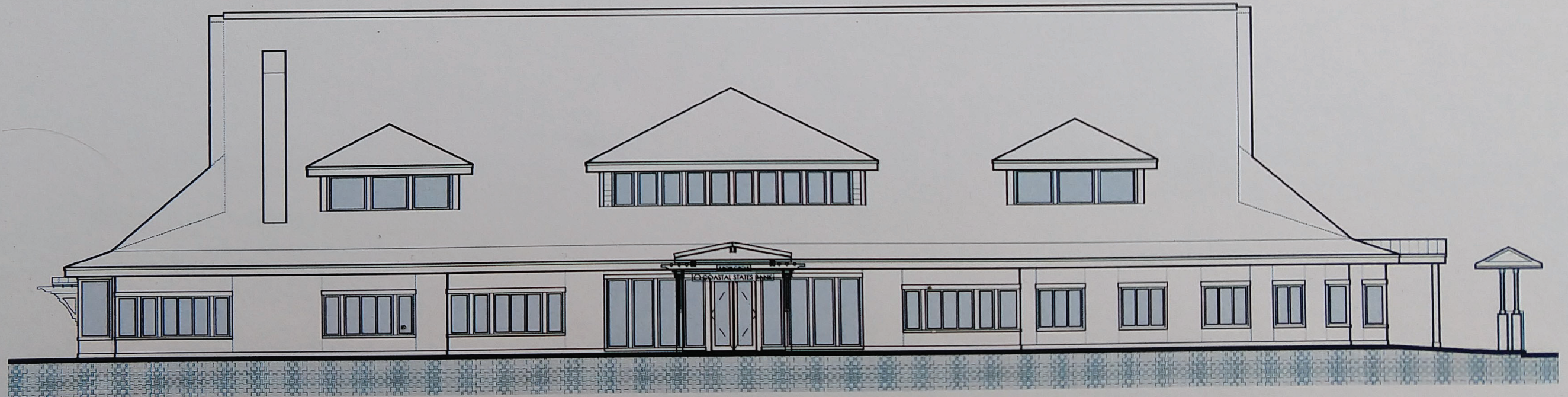
STANDING SEAM METAL ROOF
SHEFFIELD METALS 26 GA. L/G DARK GRAY COOL R (SS-1)



EXISTING DOORS
STAINED MAHAGONY



EXISTING ARCHITECTURAL SHINGLES
TIMBERLINE WEATHERED WOOD (AS-1)



COASTAL STATES BANK

5 Bow Circle, Hilton Head Island, South Carolina 29928

PROPOSED EXTERIOR MATERIALS & COLORS

November 26, 2019

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COASTAL STATES BANK
5 BOW CIRCLE
NOVEMBER 2019



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Coastal States Bank

DRB#: DRB-002459-2019

DATE: 12/01/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

- Submission of a revised color scheme that replaces SW 7011 Natural Choice with a more nature blending / less white color.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	SW 7011 Natural Choice will be bleached out to white in the sun. There are not many overstory trees on the site.

MISC COMMENTS/QUESTIONS

- If there are any changes to the exterior building light fixtures or the site lighting, those items will need DRB approval.
- If there are any major changes to the landscape, a Minor Corridor approval will be necessary.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Eric Walsnovich Company: Wood + Partners inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29925
 Telephone: 843-681-6618 x243 Fax: _____ E-mail: ewalsnovich@woodandpartners.com
 Project Name: HHI Go Kart Facility Project Address: 33 Broad Creek Marina Way, HHI
 Parcel Number [PIN]: R510 011 000 0006 0000, R510 011 000 007F 0000 R510 011 000 0183
 Zoning District: WMU 0000& R510 011 000 0389 0000 Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Eric Walsnovich Digitally signed by Eric Walsnovich
DN: cn=Eric Walsnovich, o.ou,
email=ewalsnovich@woodandpartners.com, c=US
Date: 2019.11.26 17:05:30 -05'00'

SIGNATURE

November 26, 2019

DATE

Hilton Head Island Go Kart Facility

33 Broad Creek Marina Way
Hilton Head Island, SC 29926

Project Narrative DRB Conceptual Review

November 26, 2019

Broad Creek Marina Development LLC is proposing to add a new Outdoor Electric Go Kart facility to their existing, family-friendly outdoor facilities.

Woven between the successful island destinations of the HHI Zipline and Aerial Adventure facilities, this family safe, low-speed, low-noise Outdoor Electric Go Kart Facility will provide both residents and tourists another attraction to visit on the island.

This new facility is consistent with the Hilton Head Islands' vision plan for sustainable growth and improved economic conditions as related to family oriented destinations on the island.

The new Go Kart Facility will be a part of a larger outdoor recreation complex that is located on four existing parcels totaling 15.85 acres. The disturbed area for the project will be less than 5.0 acres.

- 1) R510 011 000 0006 0000 – 4.37 acres
- 2) R510 011 000 007F 0000 – 8.39 acres
- 3) R510 011 000 0183 0000 – 1.72 acres
- 4) R510 011 000 0389 0000 – 1.37 acres

The Outdoor Electric Go Kart Facility is an approved Outdoor Recreation use and is located in the Waterfront Mixed-Use (WMU) Zoning District. A Type B Adjacent Street Buffer along Marshland Road will be provided. A Type C Adjacent Use Buffer will be provided along the adjacent Town-owned property zoned PR. No buffers are required along the adjacent Simmons Property, according to our Pre-App meeting with the Town. The proposed improvement is located in Flood Zone C, therefore, no special conditions apply.

The nearest part of the track layout is located approx. 205 feet from the Marshland Road right of way. Views to the proposed track facility will be obstructed by existing trees and shrubs, as well as, an existing masonry wall that will be preserved. The existing trees, shrubs and walls will also provide a sound buffer to Marshland Road and surrounding communities.

Broad Creek Marina Way will be mostly demolished within the site, with the existing entrance and curb cut maintained as is. A new asphalt entrance driveway will provide one-way access into the site and provide safe access to the existing parking lot. This new entrance will help to reduce traffic currently entering this facility and others via Simmons Road.

The existing parking lot providing 138 spaces will be expanded to 205 spaces to accommodate required parking for this added facility. This will include 6 existing handicap spaces and 1 proposed handicap space to accommodate ADA parking requirements.

The outdoor track layout and facilities have been painstakingly designed and arranged to maximize the number of existing trees to be saved, including three specimen trees. The proposed karts will be electric motorized and will reach speeds equal to or less than typical golf carts. Sound levels produced from the Go Kart Track will not exceed the sound level limits as specified in the Town's Land Management Ordinance (LMO) for Noise Control. Given the proposed track is more than 470 feet the nearest residential lot within Indigo Run; and buffered by another 170 feet of existing vegetation on the North side of Marshland Road, sounds created by this facility are expected to dissipate significantly over that distance. See APPENDIX A for comparisons of sound decibel levels of everyday items compared to the LMO's Sound Level Limits for this parcel.

All proposed improvements will use nature blending colors. New permeable pedestrian pathways will be provided to safely allow visitor's access to the Facilities existing Concessions and Ticketing Building, the Go Kart Facility, the adjacent Zipline, the adjacent Aerial Adventure course, and the existing Marshland Road bike path. Security fencing will encompass the entire track.

The Architecture will embrace Lowcountry style by its form and use of materials. The architecture will include a 60' x 80' open air heavy timber / pole barn type open air structure with standing seam metal roof that will provide cover and shade for the pit lane and customer queuing area. Positioned adjacent to the open-air structure, an L-shaped shed roof form building, utilizing vertical siding and metal roofing will serve as the restrooms and battery charging building. The metal roof and siding colors will be in-keeping with island character and a particular focus to blend into the natural surroundings. The track's facility structure is positioned as far into the site as possible and located so as not to impact existing specimen trees or tree clusters. This structure will be located approx. 470 feet from the Marshland Road right of way and approx. 95 feet from the Simmons Property line.

We will meet the Natural Resources Standards for Supplemental or Replacement Trees, based on trees removed by category. Furthermore, we will take all steps needed to minimize the impacts to any Specimen trees that exist on the project site by ensuring that the proposed specimen tree impacts are no more than 20 percent of the total area within the drip line of any specimen tree shall be subject to paving or soil compaction, and that no paving or soil compaction will occur within 15' of the tree's trunk. Clusters of existing trees have been preserved where possible.

All grading and utilities shall be shown in relation to the existing trees. We shall show tree protection zones for any trees located within 25' of any proposed grading, construction, or tree removals; to be established by physical barriers that will need to be maintained until such time that the work is completed.

Natural grades on the site generally range between 10.0' and 18.0' above sea level and within the limits of disturbance. The proposed structure is to be slab on grade construction, with finish floor elevation set at 17.5'.

Existing storm water management and utilities will be upgraded as required. Existing underground detention systems and a proposed wet pond will be utilized to satisfy TOHH and SCDHEC-OCRM quantity and quality control requirements. These management practices, along with pervious parking areas provided in the proposed parking expansion, will minimize the flow, sediment and nutrients leaving the proposed impervious areas.

Existing Palmetto Electric roadway light poles will be relocated along the new one-way driveway. New track and facility lighting will be full cutoff fixtures not to exceed 3000k temperature, and will meet exterior lighting illumination levels for outdoor recreation areas as outlined in the LMO and the "Lighting Handbook" of the Illuminating Engineering Society of North America (IESNA—Ninth Edition).

Overall, the design features of this project will strive to celebrate the beauty and uniqueness of the property while respecting the public experience and the greater Hilton Head design context.

Applicant:

Eric Walsnovich, RLA

Wood+Partners inc.

ewalsnovich@woodandpartners.com

843-681-6618 ext. 243



Photo Exhibit A - Typical Go Kart Track – Statesboro, GA

DCC4

Adjustable LED Cylinder

Surface, Cord, Stem, Wall Mount

Project: HHI Go Kart Facility	Type:
Product Code:	Date:

Spec Sheet V-02.01.19



Large, bronze, surface mount shown

- Precise, 360° adjustability expands the capabilities of DMF's DCC Cylinder
- Class leading 45° tilt and 20°, 30°, or 40° optics put light control at your fingertips
- Up to 6000 candelas of focused light with 90+ CRI without sacrificing efficiency
- Tool-free, field changeable optics and accessories simplify specification and adapt to your design



Lumen Output 650 lm (9.7W), 800 lm (12.0W)	Mount Surface, Stem, Cord, Wall, Wall Up/Down	
Color Quality 90+ CRI, 2-step SDCM	Size Length: Small (4"), Medium (8"), Large (12") Diameter: 4"	
Color Temperature 2700K 3000K 3500K 4000K	Finish White, Black, Brushed Aluminum, Bronze, Custom	Stem/Cord Length 24" (standard), Up to 96" (custom)
Optics Spot (20°) Narrow Flood (30°) Flood (40°)	Adjustment 360° directional aim, 45° tilt	Dimming TRIAC/ELV 5% 0-10V 1% Lutron Hi-lume® 1%
Center Beam Candlepower (CBCP) 6000cd (Spot, 800 lm)	Input Voltage 120/277V	
	Emergency Lighting Optional Emergency Inverter for lighting up to 90 minutes in event of power failure	

Standards



Ratings



Guarantee

50,000 hrs | 5 years

PRODUCT BUILDER

CYLINDER

PRODUCT CODE		MOUNT & CYLINDER		SIZE		LUMENS		CCT		OPTICS		FINISH		DRIVER	
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
DCC4	Cylinder	SM	Surface Mount	S	Small	06	650 lm	27	2700K	S	Spot	W	White	[Blank]	TRIAC/ELV
		CM	Cord Mount ^{1,2}	M	Medium	08	800 lm	30	3000K	N	Narrow Flood	B	Black	O	0-10V ³
		TM	Stem Mount ¹	L	Large	66	650 lm up/down ⁴	35	3500K	F	Flood	Z	Bronze	C	Lutron LDE1 ^{3,5}
		WM	Wall Mount ³			88	800 lm up/down ⁴	40	4000K	X	Spot, Narrow	A	Brushed Aluminum	L	Lutron LTEA2W ^{3,6}
										Y	Spot, Flood	C	Custom Color	TE	TRIAC/ELV, Remote Inverter
										Z	Narrow, Flood			OE	0-10V, Remote Inverter ³
														CE	Lutron LDE1, Remote Inverter ^{3,5}
														LE	Lutron LTEA2W, Remote Inverter ^{3,6}

ACCESSORIES

<input type="text"/>	<input type="text"/>
DCC2X-CCM	Custom Length Cord Mount (up to 96") ¹
DCC2X-CTM	Custom Length Stem Mount (up to 96") ¹
DCC2X-48CM	48" Alternate Length Cord Mount ¹

¹ 24" standard length, 48" no charge alternate length (cord); Use Custom Order Form to specify custom length

² White cord standard for White finish, black cord standard for Black or Bronze finish, silver cord standard for Brushed Aluminum finish; unless specified otherwise

³ Only available in Medium or Large size

⁴ Only applicable for Large Wall Mounts

⁵ Lutron LDE1 Dimming refers to Lutron Hi-lume 1% EcoSystem LED driver with Soft-on, Fade-to-Black

⁶ Lutron LTEA2W Dimming refers to Lutron Hi-lume 1% 3-wire LED driver

PRODUCT SUMMARY



Large, black, stem
mount shown

SUMMARY

LED: Cree® LED

DELIVERED LUMENS: 650 lm (9.7W), 800 lm (12.0W)

EFFICACY: 67 lm/W

COLOR QUALITY: 90+ CRI, 2-step SDCM

CCT: 2700K, 3000K, 3500K, 4000K

OPTICS: Spot (20°), Narrow Flood (30°), Flood (40°)

CENTER BEAM CANDLE POWER: 6000cd (Spot 800 lm)

DIMMING: Down to less than 5% for TRIAC/ELV at 120V, 1% for 0-10V or Lutron Hi-lume® 1% at 120/277V

INPUT VOLTAGE: 120/277V, 50/60Hz

MAX INPUT CURRENT (120V): 0.090 amps, 0.107 amps

MAX INPUT CURRENT (277V): 0.042 amps, 0.050 amps

POWER FACTOR: Greater than 0.9

TOTAL HARMONIC DISTORTION: Less than 20%

AMBIENT OPERATING TEMPERATURE: -20°C to 40°C

EMERGENCY LIGHTING: Optional installer mounted Remote Inverter for lighting up to 90 minutes in event of power failure

PHOTOMETRIC TESTING: Tested in accordance to IESNA LM-79-2008

LISTINGS: ENERGY STAR® qualified, California Title 24 2016 JAB compliant, UL Listed for Damp Location, cULus Listed

LIFETIME: 50,000 hours at 70% lumen maintenance

CYLINDER: Extruded aluminum; 4" (small), 8" (medium), 12" (large)

FINISH: White, Black, Bronze, Brushed Aluminum, Custom Color

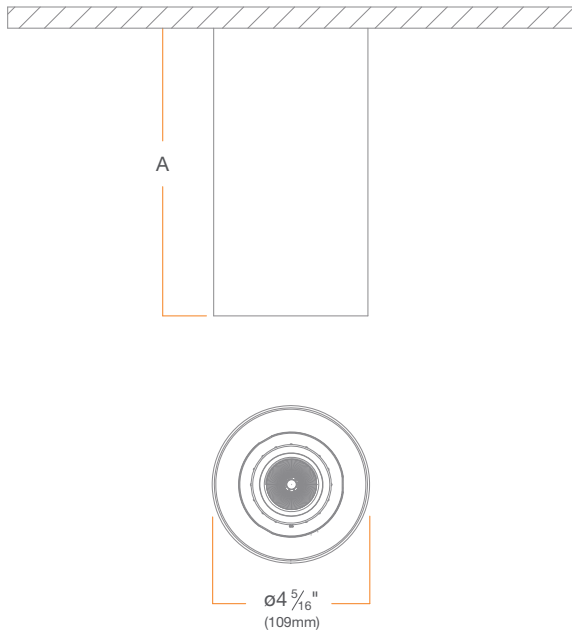
PENDANT: 24" standard, 48" no charge alternate (cord), custom length available up to 96". Cord: White, black or silver with round canopy. Stem: Painted steel stem with round canopy and hanging straight endpoint with up to 30° tilt (meets CA IR 16-9).

MOUNT: Surface, Cord, Stem: Installs in most 3" octagonal, 4" octagonal, 3" round and 4" round boxes. Wall Mount: Installs in most one-gang switch boxes.

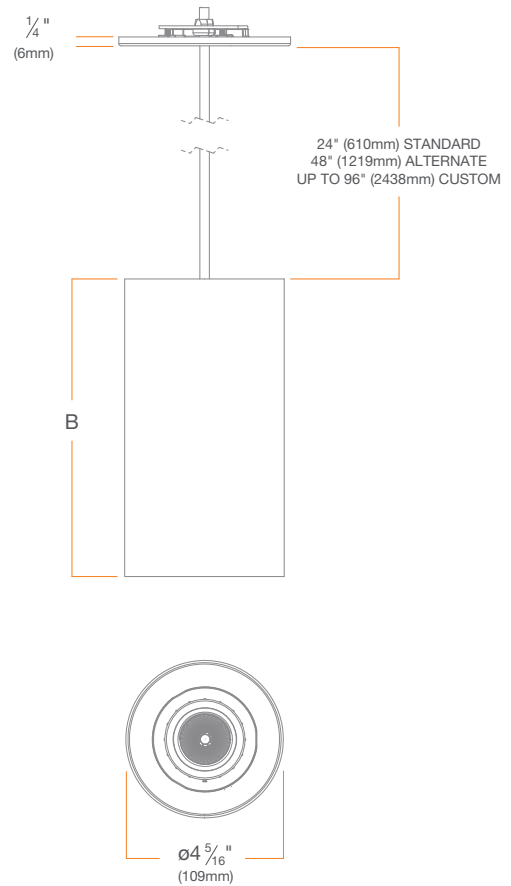
WARRANTY: 5 year limited warranty

CYLINDER DIMENSIONS

**Surface Mount
LED Cylinder**
DCC4SM



**Cord Mount
LED Cylinder**
DCC4CM

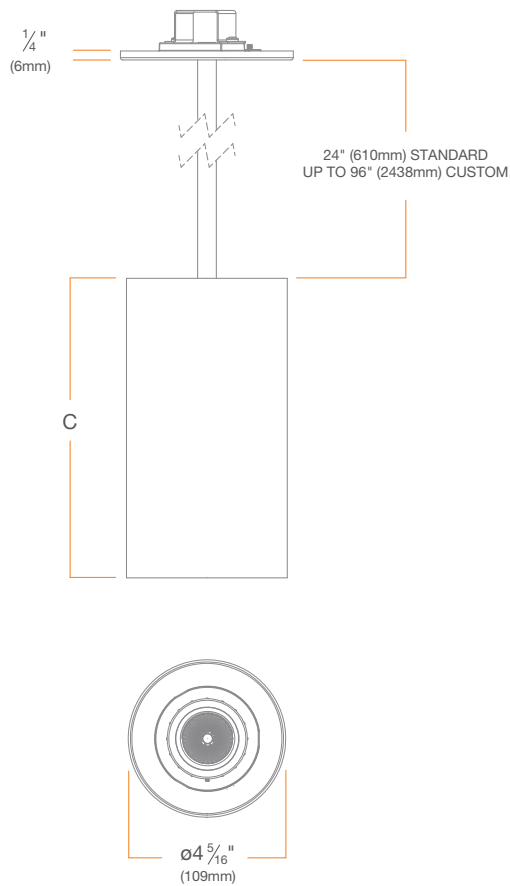


CYLINDER SIZE	A
Small	4" [102 mm]
Medium	8" [203 mm]
Large	12" [305 mm]

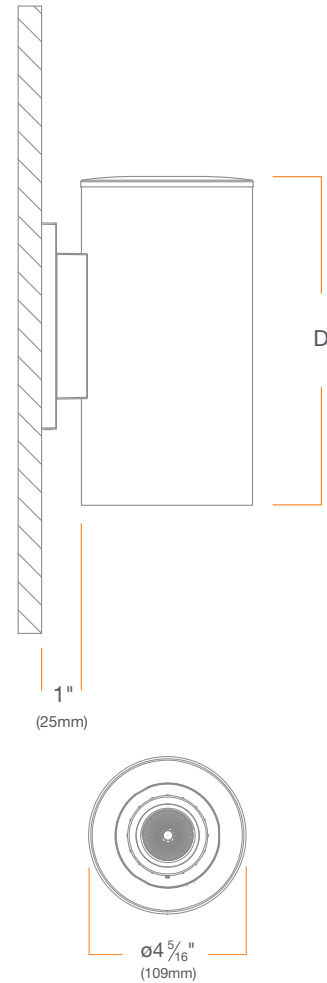
CYLINDER SIZE	B
Small	4" [102 mm]
Medium	8" [203 mm]
Large	12" [305 mm]

CYLINDER DIMENSIONS

**Stem Mount
LED Cylinder
DCC4TM**



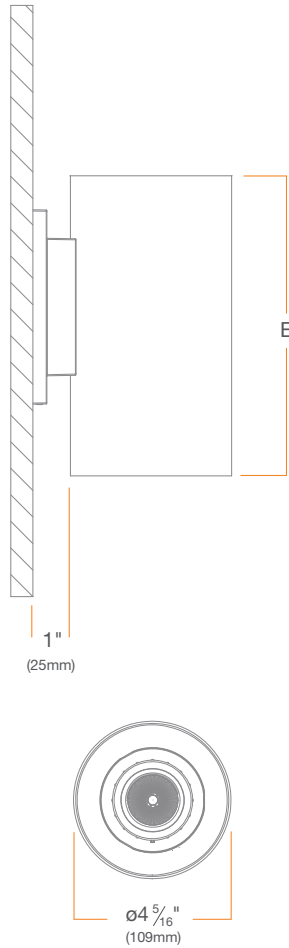
**Wall Mount Downlight
LED Cylinder
DCC4WM**



CYLINDER SIZE	C
Small	4" [102 mm]
Medium	8" [203 mm]
Large	12" [305 mm]

CYLINDER SIZE	D
Medium	8 1/4" [210 mm]
Large	12 1/4" [311 mm]

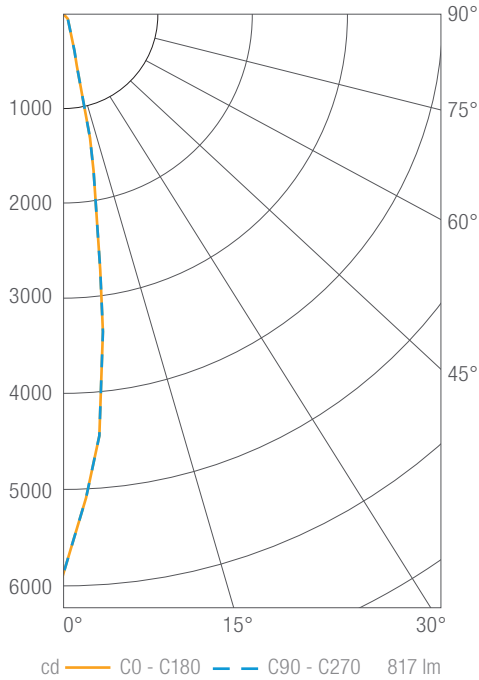
CYLINDER DIMENSIONS

**Wall Mount Up and Downlight
LED Cylinder**
DCC4WM

CYLINDER SIZE	E
Large	12" [305 mm]

PHOTOMETRY

DCC4 Cord Mount, Medium, 800 lm, 90 CRI, 3000K, Spot, White **DCC4CMM08930SW**



Luminous Intensity

Gamma	C 0°
0.0°	5897
5.0°	4418
10.0°	1911
15.0°	561
20.0°	280
25.0°	165
30.0°	117
35.0°	87
40.0°	69
45.0°	57
50.0°	47
55.0°	38
60.0°	31
65.0°	23
70.0°	16
75.0°	10
80.0°	4
85.0°	1
90.0°	0

Values in candela

Zonal Lumen Summary

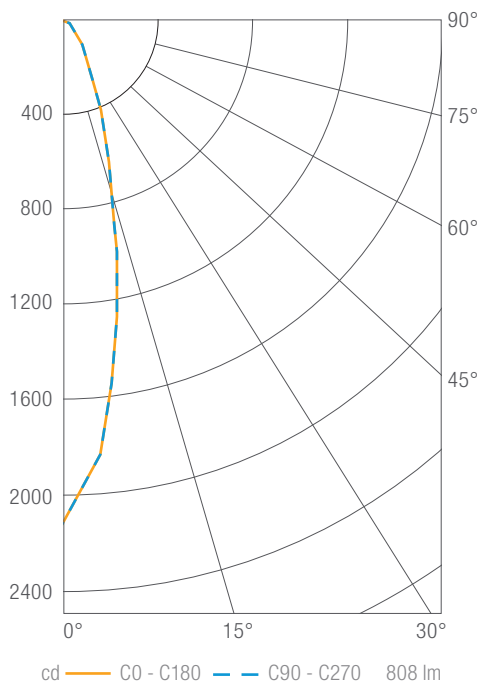
Zone	Lumens	Luminaire %
0-30	645	79
0-40	701	86
0-60	781	96
0-90	817	100
0-180	817	100

Illuminance Chart

Distance from LED	Foot Candles	Diameter
3.0'	655	0.8'
6.0'	164	1.7'
9.0'	73	2.5'
12.0'	41	3.3'

Beam Angle: 16°

DCC4 Cord Mount, Medium, 800 lm, 90 CRI, 3000K, Narrow Flood, White **DCC4CMM08930NW**



Luminous Intensity

Gamma	C 0°
0.0°	2105
5.0°	1826
10.0°	1282
15.0°	800
20.0°	497
25.0°	310
30.0°	201
35.0°	137
40.0°	98
45.0°	73
50.0°	57
55.0°	45
60.0°	35
65.0°	23
70.0°	12
75.0°	5
80.0°	3
85.0°	2
90.0°	0

Values in candela

Zonal Lumen Summary

Zone	Lumens	Luminaire %
0-30	573	71
0-40	668	83
0-60	773	96
0-90	808	100
0-180	808	100

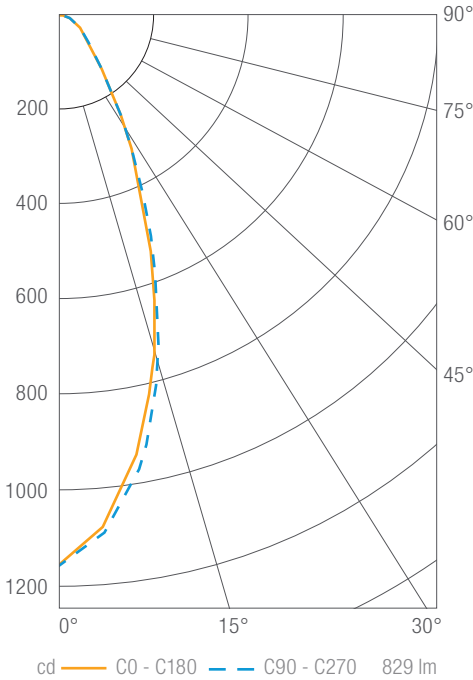
Illuminance Chart

Distance from LED	Foot Candles	Diameter
3.0'	234	1.3'
6.0'	58	2.6'
9.0'	26	3.9'
12.0'	15	5.2'

Beam Angle: 28°

PHOTOMETRY

DCC4 Cord Mount, Medium, 800 lm, 90 CRI, 3000K, Flood, White **DCC4CMM08930FW**



Luminous Intensity

Gamma	C 0°
0.0°	1158
5.0°	1081
10.0°	941
15.0°	765
20.0°	576
25.0°	414
30.0°	288
35.0°	192
40.0°	130
45.0°	96
50.0°	76
55.0°	61
60.0°	49
65.0°	38
70.0°	28
75.0°	18
80.0°	10
85.0°	4
90.0°	0

Values in candela

Zonal Lumen Summary

Zone	Lumens	Luminaire %
0-30	510	62
0-40	633	76
0-60	766	92
0-90	829	100
0-180	829	100

Illuminance Chart

Distance from LED	Foot Candles	Diameter
3.0'	129	2.2'
6.0'	32	4.5'
9.0'	14	6.7'
12.0'	8	9.0'

Beam Angle: 41°

Lumen Scaling

DCC4CMM06 (650 lm)	DCC4CMM08 (800 lm)
0.80	1.00

CCT Scaling

DCC4CMM08927 (2700K)	DCC4CMM08930 (3000K)	DCC4CMM08935 (3500K)	DCC4CMM08940 (4000K)
0.93	1.00	1.00	1.07

TRIAC/ELV DIMMER COMPATIBILITY

Recommended Phase-control Dimmers (Dims down to 5% nominal measured light output)

Brand	Series	Model Number	Max Load DCC4xxx06	Max Load DCC4xxx08
Control 4	Control 4	C4-APD120	10	9
Cooper	Decorator	DLC03P, DAL06P	25	20
Legrand	Adorne	ADTP703TU	35	30
Lutron	Caseta	PD-6WCL	12	10
	CL Series	AYCL-153, CTCL-153, DVCL-153, LGCL-513, SCL-153, TGCL-513	12	10
	CL Series	AYCL-253, DVCL-253	20	15
	Grafik Eye 3000	QSGR-3P	30	25
	Grafik Sys / Homeworks	RPM-4A	25	20
	Grafik Sys / Homeworks	RPM-4U	30	25
	Maestro CL	MACL-153M, MSCL-OP153M, MSCL-VP153M	12	10
	Maestro Wireless	MRF2-6ELV, MRF2-6CL	12	10
	Radio RA	RRD-6NA, RRD-6CL, RRD-6D	12	10

Compatible Phase-control Dimmers¹ (Dims down to 20% nominal measured light output)

Brand	Series	Model Number	Max Load DCC4xxx06	Max Load DCC4xxx08
Cooper	Slide	SLC03P, SAL06P	25	20
Legrand	Harmony	H703PTU, HCL453P	30	25
Leviton	IllumaTech Slide	IPE04	25	20
	SureSlide	6621, 6674	10	10
Lutron	Diva	DV-600	12	10
	Maestro	MA-600	12	9
	Maestro ELV	MAELV-600, MSCELV-600	35	30
	Maestro Wireless	MRF2-6ND	12	10
	Power Booster	PHPM-PA, PPHM-WBX	25	20
	Sunrise	SR400RPC120, ZP260QEW	20	15
Watt Stopper	Digital Light Management	LMRC-221	160	150
	Dimming Sensor	PW-100D	14	12

¹ Dimmer compatibility reflects performance compatibility only. Please reference your local codes for application.



DIMMER COMPATIBILITY

Recommended 0-10V Dimmers (Dims down to 1% nominal measured light output)

Brand	Series	Model Number	Max Load DCC4xxx06	Max Load DCC4xxx08
Legrand	Titan	CD4FB	80	65
Leviton	IllumaTech	IP710-DLZ	40	30
Lithonia	Synergy	ISD BC	35	30
Lutron	Diva	DVTV	60	50
	Nova	NFTV	60	50
	Nova	NTSTV-DV	60	50
	PowPak	RMJ-5T-DV	60	50

DESCRIPTION

The Galleonaire LED luminaire features advanced thermally conductive polymer heatsinks and open frame endcaps for a sleek aesthetic with significant weight reduction. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project	HHI Go Kart Facility	
Comments	Track Pole Lights	Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Open frame die-cast aluminum end caps provide structural support for the housing and heatsinks. Thermally conductive polymer heatsinks offer significant weight reduction while fully maintaining thermal management of the Light Squares. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution, maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 2700K, 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleonaire LED luminaire is suitable for operation in -40°C to 40°C ambient environments. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA and 800mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall

mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is dark gray, non-paintable. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.



GLNA GALLEONAIRE

1-10 Light Squares
Solid State LED

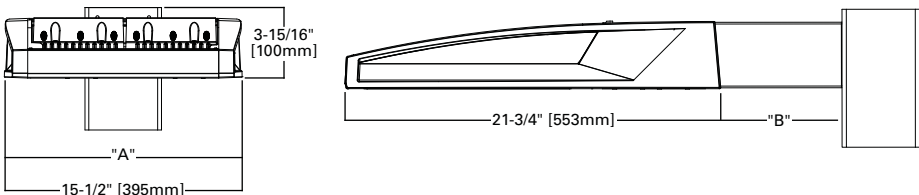
AREA/SITE LUMINAIRE



LumenSafe Technology
[CLICK HERE](#)

WaveLinx

DIMENSIONS

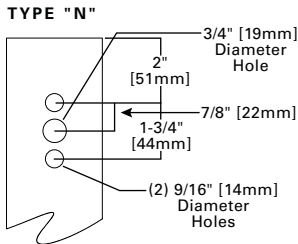


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	28 (12.7 kgs)	0.72
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	38 (16.3 kgs)	0.77
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	43 (19.5 kgs)	0.95
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	49 (22.2 kgs)	1.13

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

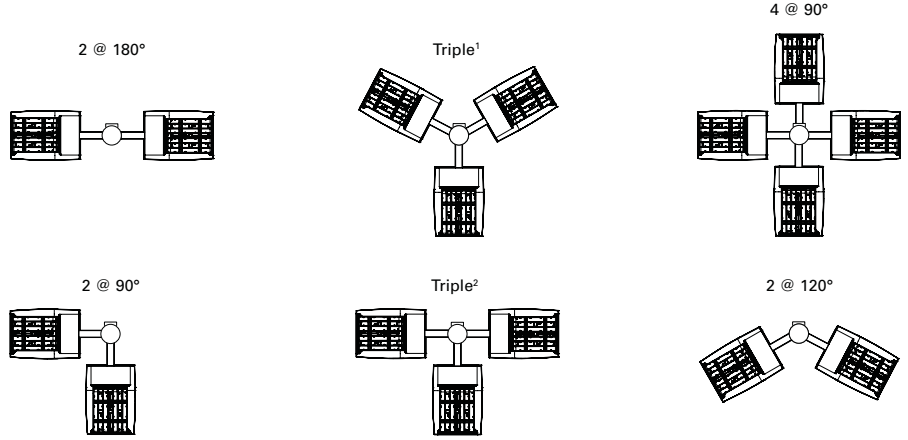
3G Vibration Rated
IP66 Rated
ISO 9001
LM79 / LM80 Compliant
UL/cUL Wet Location Listed

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature

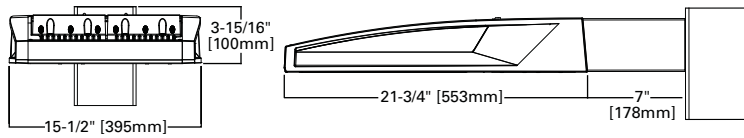
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLNA-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLNA-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLNA-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLNA-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLNA-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLNA-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLNA-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLNA-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLNA-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLNA-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

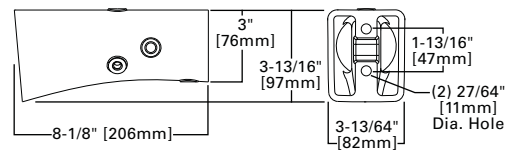


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

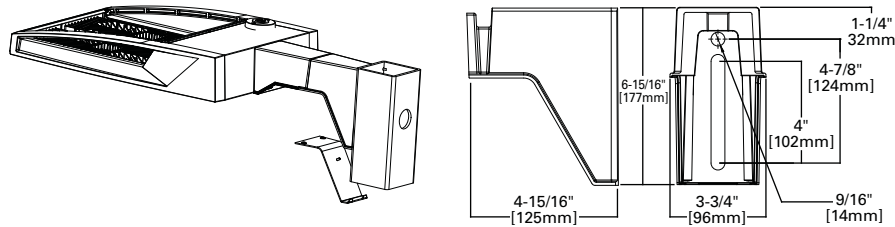
STANDARD WALL MOUNT



MAST ARM MOUNT

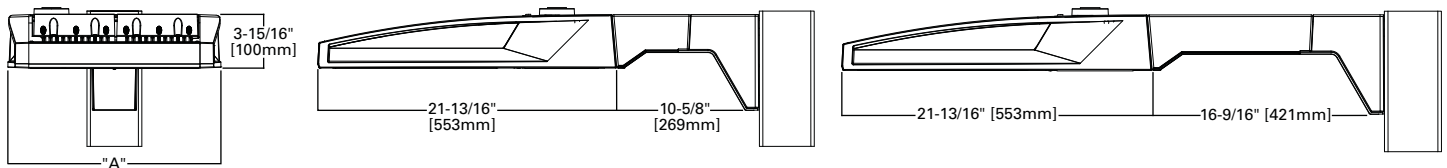


QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)

QMEA Quick Mount Arm (Extended)

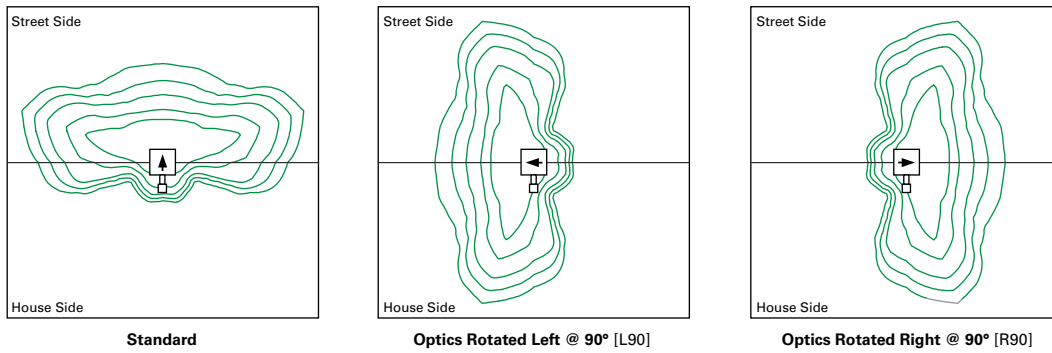


QUICK MOUNT ARM DATA

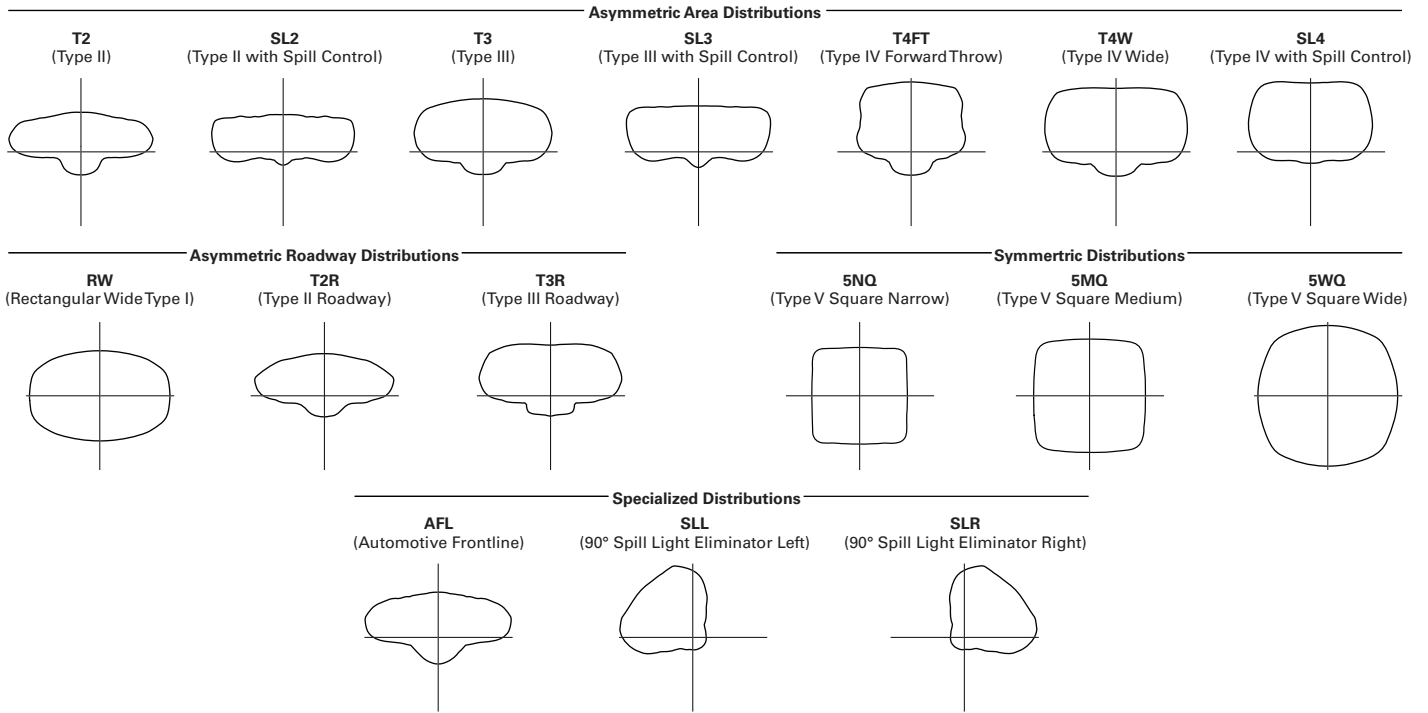
Number of Light Squares ^{1,2}	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	30 (13.6 kgs)	33 (15 kgs)	0.96
5-6 ³	21-5/8" (549mm)	38 (17.2 kgs)	41 (18.6 kgs)	
7-8 ⁴	27-5/8" (702mm)	45 (20.4 kgs)	--	

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with standard arm length. 3. QMEA arm to be used when mounting two fixtures at 90° on a single pole. 4. QM options not available for 90° or 120° configuration on a single pole.

OPTIC ORIENTATION



OPTICAL DISTRIBUTIONS

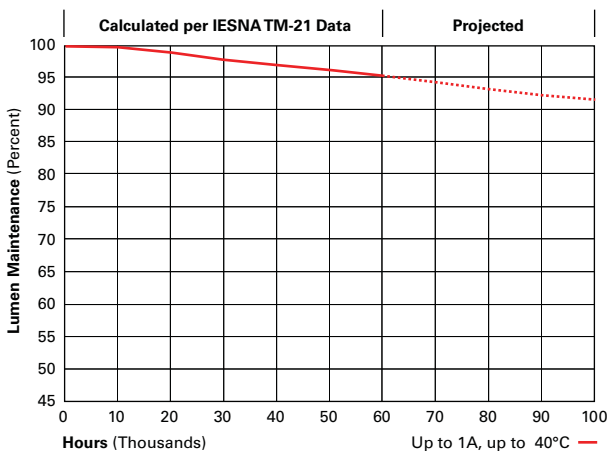


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 40°C	> 95%	416,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99



NOMINAL POWER LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	59	113	166	225	279	333	391	445	501	558	
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.60	5.07	
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
Input Current @ 240V (A)	0.26	0.48	0.71	0.96	1.19	0.41	1.67	1.89	2.12	2.39	
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
Input Current @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
Optics											
T2	4000K/5000K Lumens	6,095	11,910	17,772	23,482	29,095	34,817	41,175	46,653	52,041	57,618
	3000K Lumens	5,763	11,261	16,803	22,202	27,509	32,920	38,931	44,111	49,205	54,478
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	4000K/5000K Lumens	6,470	12,642	18,864	24,926	30,884	36,958	43,707	49,522	55,241	61,161
	3000K Lumens	6,117	11,953	17,836	23,568	29,201	34,944	41,325	46,823	52,231	57,828
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	4000K/5000K Lumens	6,212	12,139	18,114	23,934	29,654	35,487	41,967	47,550	53,042	58,726
	3000K Lumens	5,874	11,477	17,126	22,629	28,038	33,553	39,680	44,959	50,152	55,526
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T3R	4000K/5000K Lumens	6,350	12,408	18,515	24,464	30,311	36,273	42,897	48,604	54,218	60,028
	3000K Lumens	6,004	11,732	17,506	23,131	28,660	34,296	40,559	45,955	51,263	56,757
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	6,249	12,210	18,220	24,074	29,828	35,695	42,213	47,829	53,353	59,071
	3000K Lumens	5,908	11,545	17,227	22,762	28,203	33,749	39,912	45,223	50,446	55,852
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	6,168	12,052	17,984	23,763	29,442	35,233	41,667	47,210	52,663	58,307
	3000K Lumens	5,832	11,395	17,004	22,468	27,838	33,313	39,396	44,638	49,793	55,129
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	4000K/5000K Lumens	6,084	11,889	17,741	23,441	29,044	34,756	41,103	46,571	51,950	57,517
	3000K Lumens	5,753	11,241	16,774	22,164	27,461	32,862	38,863	44,034	49,119	54,383
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL3	4000K/5000K Lumens	6,211	12,137	18,111	23,930	29,650	35,481	41,961	47,544	53,035	58,718
	3000K Lumens	5,873	11,476	17,124	22,626	28,034	33,548	39,674	44,953	50,145	55,518
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	5,901	11,532	17,207	22,736	28,170	33,711	39,867	45,171	50,388	55,788
	3000K Lumens	5,580	10,903	16,269	21,497	26,635	31,874	37,694	42,710	47,642	52,748
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	6,407	12,519	18,681	24,683	30,583	36,598	43,281	49,039	54,703	60,565
	3000K Lumens	6,058	11,837	17,663	23,338	28,916	34,603	40,922	46,367	51,722	57,265
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	6,525	12,750	19,025	25,138	31,146	37,272	44,079	49,943	55,712	61,682
	3000K Lumens	6,169	12,055	17,988	23,768	29,449	35,241	41,677	47,222	52,676	58,320
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	6,542	12,783	19,074	25,203	31,227	37,369	44,193	50,072	55,856	61,841
	3000K Lumens	6,185	12,086	18,035	23,830	29,525	35,332	41,784	47,344	52,812	58,471
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SL/SLR	4000K/5000K Lumens	5,459	10,667	15,918	21,032	26,059	31,185	36,879	41,786	46,612	51,607
	3000K Lumens	5,162	10,086	15,050	19,886	24,639	29,485	34,870	39,509	44,072	48,795
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	6,349	12,406	18,512	24,461	30,307	36,268	42,891	48,597	54,210	60,019
	3000K Lumens	6,003	11,730	17,503	23,128	28,655	34,291	40,553	45,949	51,256	56,749
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	4000K/5000K Lumens	6,372	12,451	18,580	24,550	30,417	36,400	43,047	48,774	54,407	60,238
	3000K Lumens	6,025	11,773	17,567	23,212	28,760	34,416	40,701	46,116	51,442	56,955
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (800MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	44	85	124	171	210	249	295	334	374	419	
Input Current @ 120V (A)	0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80	
Input Current @ 208V (A)	0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12	
Input Current @ 240V (A)	0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84	
Input Current @ 277V (A)	0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67	
Input Current @ 347V (A)	0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52	
Input Current @ 480V (A)	0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96	
Optics											
T2	4000K/5000K Lumens	4,924	9,622	14,357	18,971	23,505	28,128	33,264	37,690	42,043	46,549
	3000K Lumens	4,656	9,097	13,575	17,937	22,224	26,595	31,452	35,636	39,752	44,012
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	4000K/5000K Lumens	5,227	10,213	15,240	20,137	24,950	29,857	35,310	40,008	44,629	49,411
	3000K Lumens	4,942	9,657	14,410	19,040	23,591	28,230	33,386	37,827	42,196	46,718
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	4000K/5000K Lumens	5,019	9,807	14,634	19,336	23,957	28,669	33,904	38,415	42,852	47,444
	3000K Lumens	4,745	9,272	13,836	18,282	22,652	27,107	32,057	36,322	40,517	44,859
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T3R	4000K/5000K Lumens	5,130	10,024	14,958	19,764	24,488	29,304	34,656	39,266	43,801	48,495
	3000K Lumens	4,850	9,478	14,143	18,687	23,153	27,707	32,767	37,126	41,415	45,853
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	5,048	9,864	14,719	19,449	24,098	28,837	34,103	38,640	43,103	47,722
	3000K Lumens	4,773	9,327	13,917	18,389	22,784	27,265	32,245	36,534	40,754	45,121
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	4,983	9,737	14,529	19,197	23,786	28,464	33,662	38,140	42,546	47,105
	3000K Lumens	4,711	9,206	13,737	18,151	22,490	26,913	31,827	36,062	40,227	44,538
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	4000K/5000K Lumens	4,915	9,605	14,332	18,937	23,464	28,079	33,206	37,624	41,970	46,467
	3000K Lumens	4,648	9,082	13,551	17,905	22,185	26,549	31,397	35,574	39,683	43,935
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL3	4000K/5000K Lumens	5,018	9,805	14,631	19,333	23,954	28,665	33,899	38,410	42,846	47,437
	3000K Lumens	4,745	9,271	13,834	18,279	22,648	27,103	32,052	36,316	40,511	44,852
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	4,768	9,316	13,901	18,368	22,758	27,234	32,208	36,493	40,708	45,070
	3000K Lumens	4,508	8,808	13,144	17,367	21,518	25,750	30,453	34,504	38,489	42,614
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	5,176	10,114	15,092	19,941	24,707	29,566	34,966	39,618	44,194	48,929
	3000K Lumens	4,894	9,563	14,269	18,854	23,361	27,955	33,060	37,459	41,785	46,263
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	5,271	10,300	15,370	20,309	25,163	30,112	35,610	40,348	45,008	49,831
	3000K Lumens	4,984	9,739	14,532	19,202	23,791	28,471	33,670	38,149	42,556	47,116
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	5,285	10,327	15,410	20,361	25,228	30,189	35,702	40,452	45,125	49,960
	3000K Lumens	4,997	9,764	14,570	19,251	23,853	28,544	33,757	38,248	42,666	47,238
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	4000K/5000K Lumens	4,410	8,618	12,860	16,991	21,053	25,193	29,794	33,758	37,657	41,692
	3000K Lumens	4,170	8,148	12,159	16,066	19,906	23,820	28,170	31,918	35,605	39,420
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	5,129	10,023	14,956	19,761	24,485	29,300	34,651	39,261	43,795	48,488
	3000K Lumens	4,850	9,477	14,141	18,684	23,150	27,703	32,762	37,121	41,409	45,846
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	4000K/5000K Lumens	5,148	10,059	15,010	19,833	24,574	29,407	34,777	39,404	43,955	48,665
	3000K Lumens	4,867	9,511	14,192	18,752	23,234	27,804	32,882	37,256	41,559	46,013
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (600MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	34	66	96	129	162	193	226	257	290	323	
Input Current @ 120V (A)	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89	
Input Current @ 208V (A)	0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63	
Input Current @ 240V (A)	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43	
Input Current @ 277V (A)	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33	
Input Current @ 347V (A)	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99	
Input Current @ 480V (A)	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77	
Optics											
T2	4000K/5000K Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,125	30,733	34,283	37,957
	3000K Lumens	3,796	7,418	11,069	14,626	18,122	21,686	25,646	29,059	32,415	35,888
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	4000K/5000K Lumens	4,262	8,328	12,427	16,420	20,345	24,346	28,792	32,623	36,391	40,291
	3000K Lumens	4,030	7,874	11,750	15,525	19,236	23,020	27,223	30,845	34,408	38,095
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	4000K/5000K Lumens	4,092	7,997	11,933	15,767	19,535	23,377	27,646	31,324	34,942	38,687
	3000K Lumens	3,869	7,561	11,282	14,907	18,471	22,103	26,140	29,617	33,038	36,579
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T3R	4000K/5000K Lumens	4,183	8,174	12,197	16,116	19,968	23,895	28,259	32,019	35,717	39,544
	3000K Lumens	3,955	7,728	11,532	15,238	18,880	22,593	26,719	30,274	33,770	37,389
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	4,116	8,044	12,002	15,859	19,650	23,514	27,808	31,508	35,147	38,914
	3000K Lumens	3,892	7,605	11,348	14,995	18,579	22,233	26,293	29,791	33,232	36,793
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	4,063	7,940	11,847	15,654	19,395	23,210	27,449	31,101	34,693	38,410
	3000K Lumens	3,842	7,507	11,202	14,801	18,339	21,945	25,953	29,406	32,802	36,317
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	4000K/5000K Lumens	4,008	7,832	11,687	15,442	19,133	22,896	27,077	30,680	34,223	37,890
	3000K Lumens	3,790	7,405	11,050	14,601	18,090	21,648	25,602	29,008	32,358	35,826
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL3	4000K/5000K Lumens	4,092	7,996	11,931	15,764	19,532	23,374	27,642	31,320	34,937	38,681
	3000K Lumens	3,869	7,560	11,281	14,905	18,468	22,100	26,136	29,613	33,034	36,573
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	3,888	7,597	11,335	14,978	18,558	22,208	26,263	29,757	33,194	36,751
	3000K Lumens	3,676	7,183	10,718	14,162	17,546	20,997	24,832	28,135	31,385	34,748
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	4,220	8,247	12,306	16,260	20,147	24,109	28,512	32,305	36,036	39,898
	3000K Lumens	3,991	7,798	11,635	15,374	19,049	22,795	26,958	30,545	34,073	37,724
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	4,298	8,399	12,533	16,560	20,518	24,554	29,037	32,901	36,701	40,634
	3000K Lumens	4,064	7,941	11,850	15,658	19,400	23,216	27,455	31,108	34,701	38,419
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	4,309	8,421	12,565	16,603	20,571	24,617	29,113	32,986	36,796	40,739
	3000K Lumens	4,075	7,962	11,881	15,698	19,450	23,276	27,526	31,188	34,791	38,519
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	4000K/5000K Lumens	3,596	7,027	10,486	13,855	17,167	20,543	24,295	27,527	30,706	33,997
	3000K Lumens	3,400	6,644	9,915	13,100	16,231	19,424	22,971	26,027	29,033	32,144
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	4,182	8,173	12,195	16,114	19,965	23,892	28,255	32,014	35,712	39,539
	3000K Lumens	3,955	7,727	11,531	15,236	18,877	22,590	26,715	30,269	33,766	37,384
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	4000K/5000K Lumens	4,198	8,203	12,240	16,172	20,038	23,979	28,358	32,131	35,842	39,682
	3000K Lumens	3,969	7,756	11,573	15,291	18,946	22,672	26,812	30,380	33,888	37,520
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.



Eaton
 1121 Highway 74 South
 Peachtree City, GA 30269
 P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

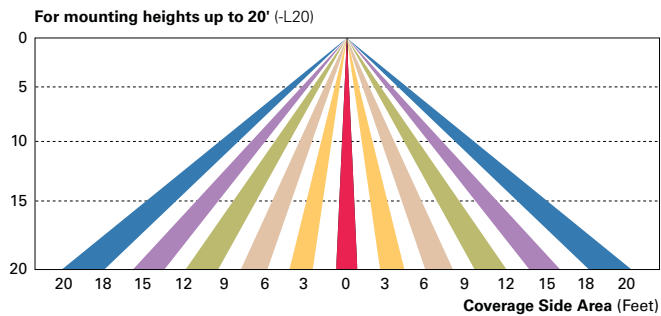
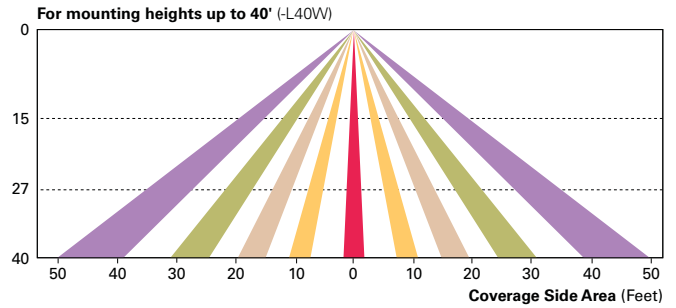
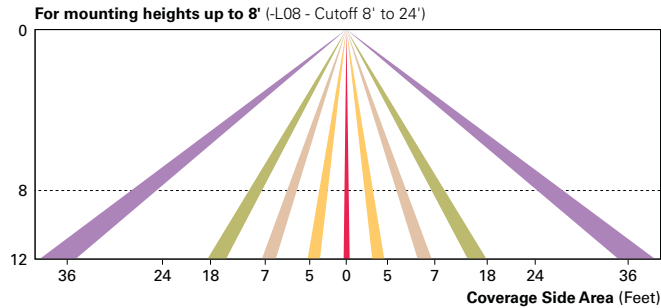
After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

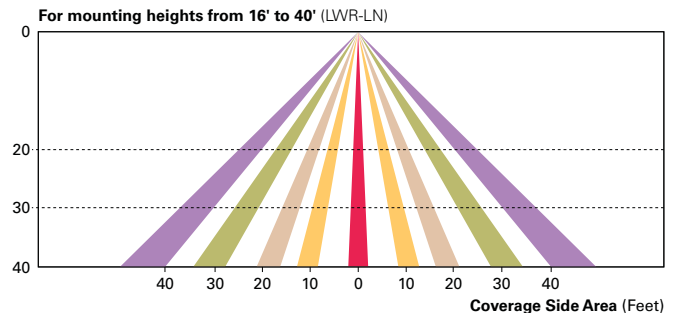
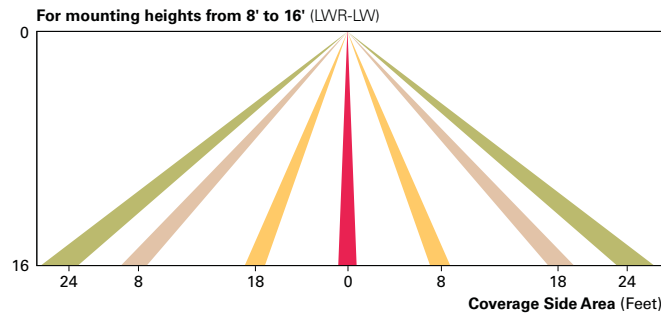
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage. pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

LumenSafe Integrated Network Security Camera (LD)

Eaton brings ease of camera deployment to a whole new level. No additional wiring is needed beyond providing line power to the luminaire. A variety of networking options allows security integrators to design the optimal solution for active surveillance. As the ideal solution to meet the needs for active surveillance, the LumenSafe integrated network camera is a streamlined, outdoor-ready fixed dome that provides HDTV 1080p video. This IP camera is optimally designed for deployment in the video management system or security software platform of choice.

Synapse (DIM10)

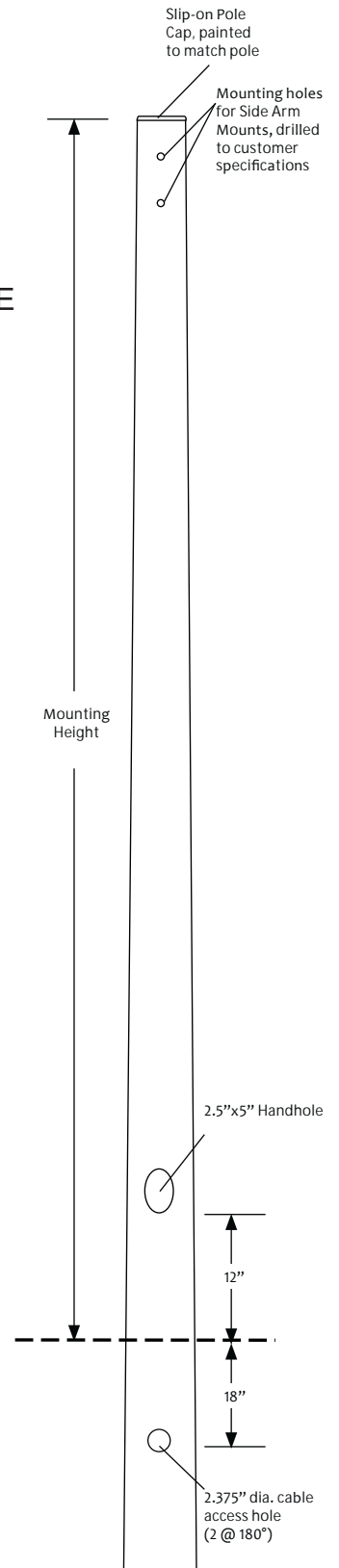
SimplySNAP integrated wireless controls system by Synapse. Includes factory installed DIM10 Synapse control module and MS/DC power supply; requires additional Synapse system components for operation. Contact Synapse at www.synapsewireless.com for product support, warranty and terms and conditions.

SIDE MOUNT : Direct Burial

CMT Catalog Number	Nominal Mounting Height (ft.)	Shaft Length (ft.)	Weight of Pole (lb.)	Tip O.D. (in.)	Butt O.D. (in.)	Maximum EPA		
						80 MPH	100 MPH	120 MPH
Single Arm, up to 50# Luminaire								
SB13-D-50	10	13	24	4.41	6.53	6.8	4.0	3.0
SB20-D-50	16	20	52	4.41	7.97	6.0	4.0	3.0
SB24-D-50	20	24	66	4.41	8.88	6.0	4.0	3.0
SB30-D-50	25	30	96	4.41	10.09	6.0	4.0	3.0
SB35-D-50	30	35	121	4.41	11.26	6.0	4.0	3.0
SB40-D-50	35	40	150	4.41	12.22	6.0	4.0	3.0
SB46-D-50	40	46	203	4.41	10.09	6.0	4.0	3.0
SB50-D-50	44	50	252	4.41	11.26	6.5	4.0	3.0
Double Arm (@ 180°), two Luminaires up to 50# each								
SB20-D-200	16	20	66	4.41	8.73	8.3	5.2	5.0
SB24-D-200	20	24	80	4.41	9.59	8.3	5.2	5.2
SB30-D-200	25	30	107	4.41	10.80	8.3	5.2	5.2
SB35-D-200	30	35	145	4.41	11.97	8.3	5.2	5.2
SB40-D-200	35	40	173	4.41	12.91	8.3	4.8	4.8
SB46-D-200	40	45	236	4.41	14.32	8.3	4.8	4.8
SB50-D-200	44	50	269	4.41	15.04	8.5	4.6	4.6

For 140 MPH, see High Wind Speed section.

COLOR: BRONZE



Don't see what you need? Call us. We can build it!

Maximum EPA is calculated using wind velocities shown with a 1.3 gust factor. Poles are available with other EPA specifications. Contact factory.

Total weight of fixture(s) and bracket(s) should not exceed vertical load shown above.

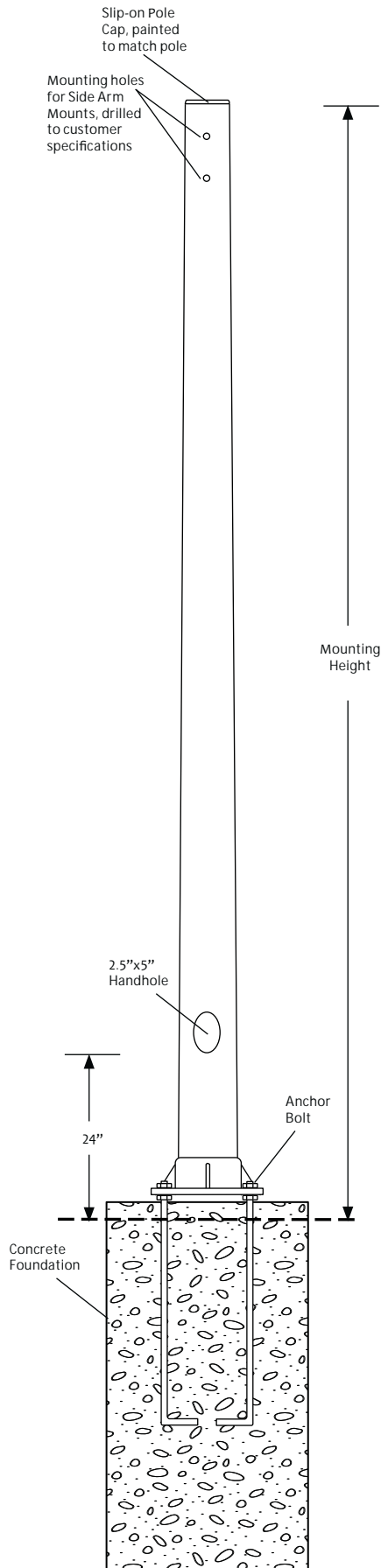
Standard features are as shown on drawing. Available optional features are listed in the order grid on Page 2, and in the Accessories pages.

Slip-fit tenon to be used only with 50# vertical load series.

Tenon-mounted side arm brackets should be used only in symmetrical double, triple, or quad arrangements. Available bullhorn brackets are listed in the Accessories section.

12 See the Breakaway Poles section for approved breakaway side-mount bracket poles.

Anchor Base : SIDE MOUNT



CMT Catalog Number	Nominal Mounting Height (ft.)	Shaft Length (ft.)	Weight of Pole (lb.)	Tip O.D. (in.)	Butt O.D. (in.)	Maximum EPA			Bolt Circle (in.)
						80 MPH	100 MPH	120 MPH	
Single Arm, up to 50# Luminaire									
SA10-D-50	10	10	38	4.41	5.89	6.8	4.0	3.5	8.625
SA16-D-50	16	16	71	4.41	7.16	6.8	4.0	3.5	10.500
SA20-D-50	20	20	83	4.41	7.97	6.8	4.0	3.5	10.500
SA25-D-50	25	25	115	4.41	9.10	6.8	4.0	3.5	11.875
SA30-D-50	30	30	145	4.41	10.08	6.8	4.0	3.5	13.500
SA35-D-50	35	35	196	4.41	11.26	6.8	4.0	3.5	15.250
SA40-D-50	40	40	241	4.41	12.20	6.8	4.0	3.5	16.000
SA45-D-50	45	45	313	4.41	14.13	7.0	4.0	3.5	17.000
Double Arm (@ 180°), two Luminaires up to 50# each									
SA16-D-200	16	16	74	4.41	7.87	8.3	5.2	5.2	10.500
SA20-D-200	20	20	100	4.41	8.68	8.3	5.2	5.2	11.875
SA25-D-200	25	25	134	4.41	9.81	8.3	5.2	5.2	13.500
SA30-D-200	30	30	161	4.41	10.79	8.3	5.2	5.2	15.250
SA35-D-200	35	35	261	4.41	12.91	8.3	4.8	4.8	16.000
SA40-D-200	40	40	261	4.41	12.91	8.5	4.6	4.6	17.000
SA45-D-200	45	45	334	4.41	14.13	8.5	4.6	4.6	17.000

For 140 MPH, see High Wind Speed section.

Don't see what you need? Call us. We can build it!

Bolt Circle (in.)	Bolt Size (in.)	Base Cover
8.625	0.5 x 15 x 4	BC1
10.5	0.625 x 21 x 4	BC2
11.875	0.75 x 30 x 4	BC3
13.500	1 x 36 x 4	BC4
15.250	1 x 36 x 4	BC5
16	1 x 36 x 4	BC6
17	1 x 36 x 4	BC7
18	1 x 36 x 4	BC8

Maximum EPA is calculated using wind velocities shown with a 1.3 gust factor. Poles are available with other EPA specifications. Contact factory. Total weight of fixture(s) and bracket(s) should not exceed vertical load shown above. Standard features are as shown in drawing. Available optional features are listed in the order grid on Page 2, and in the Accessories pages. Supply drilling template with order



ENTRANCE FROM MARSHLAND ROAD



AERIAL ADVENTURE COURSE



BROAD CREEK MARINA WAY LOOKING TOWARDS MARSHLAND ROAD AT ENTRANCE



VIEW DOWN BROAD CREEK MARINA WAY TOWARDS BROAD CREEK



VIEW ALONG EXISTING GRAVEL DRIVE TOWARDS EXISTING PARKING LOT AROUND ZIPLINE TOWER



VIEW DOWN EXISTING GRAVEL DRIVE TOWARDS EXISTING TICKETING BUILDING



VIEW FROM ZIPLINE TICKETING OFFICE TOWARDS EXISTING PARKING LOT



BROAD CREEK MARINA - BOATHOUSE STORAGE BUILDING



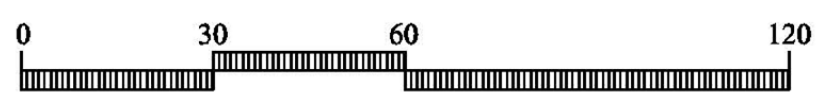
FISH CAMP AND UP THE CREEK PUB & GRILL RESTAURANTS



NORTH



Project No: 01-19042 Date: November 26, 2019 Scale: 1" = 40'-00" Page Title: SITE INVENTORY & ANALYSIS

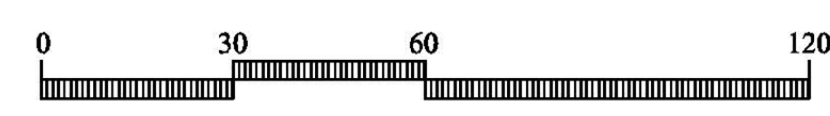


HHI GO KART FACILITY
Hilton Head Island, SC

Wood+Partners Inc. WPI
Landscape Architects
Land Planners



Project No: 01-19042 Date: November 26, 2019 Scale: 1" = 40'-00" Page Title: CONCEPTUAL SITE PLAN

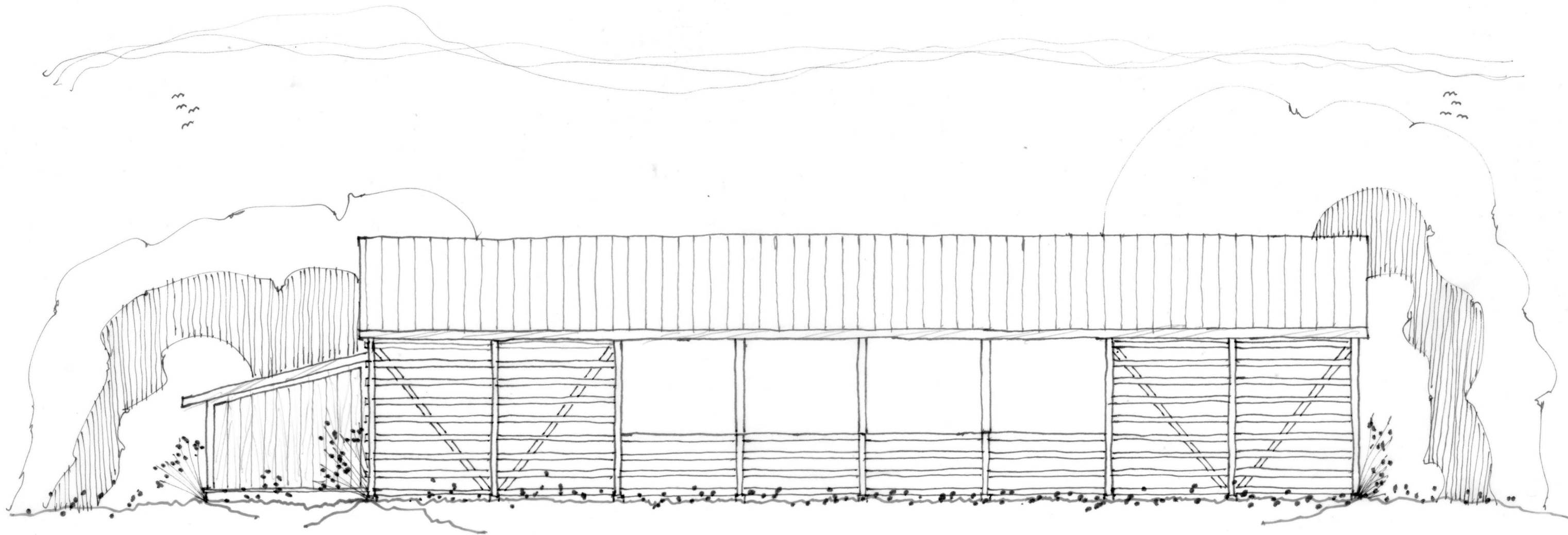


HHI GO KART FACILITY
Hilton Head Island, SC



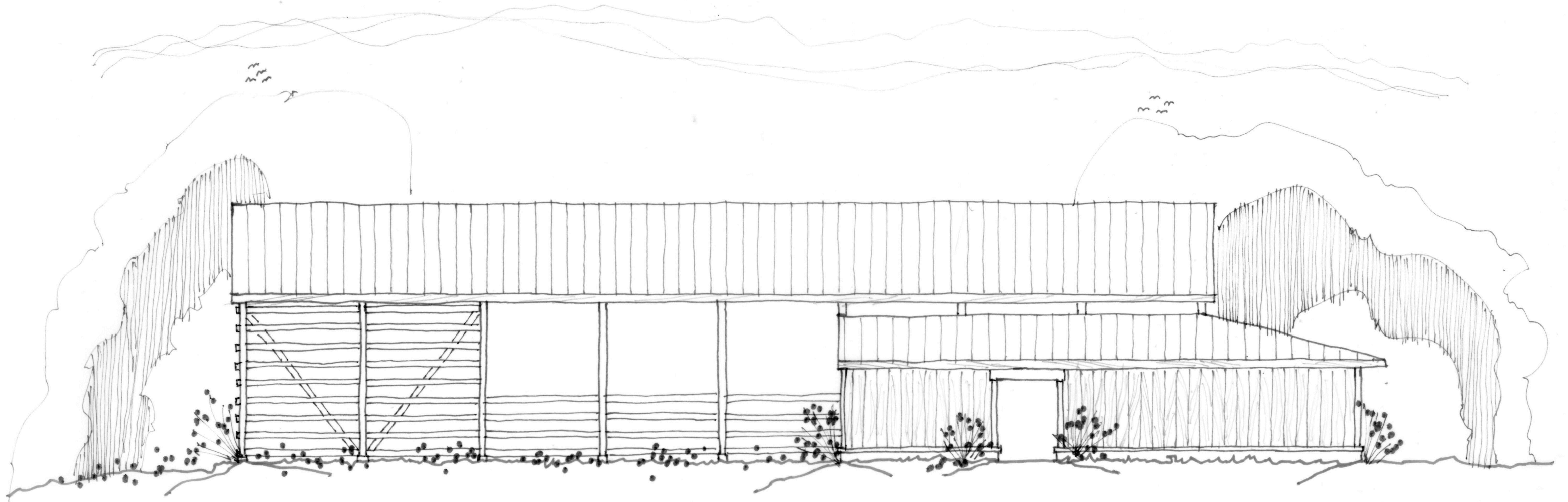
Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC 29926 Tel. 843-681-6618 Fax 843-681-7086, www.woodandpartners.com

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



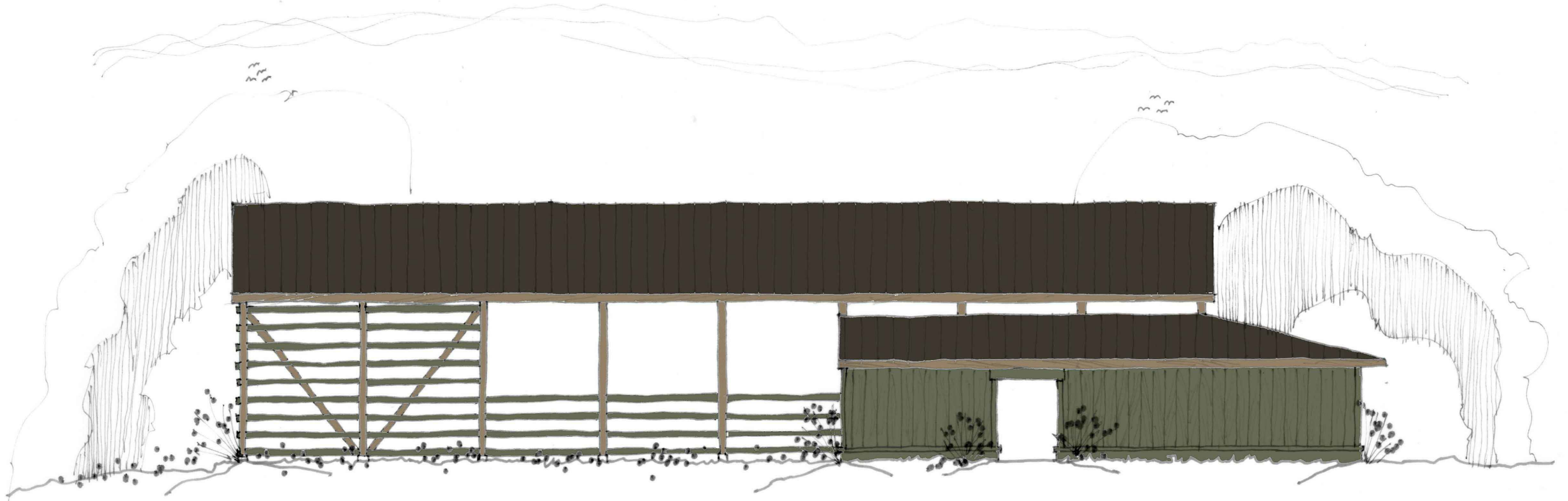
BROAD CREEK MARINA GO-KART TRACK
NOVEMBER 26TH, 2019

1 SIDE ELEVATION
SCALE 1/8" : 1'-0"



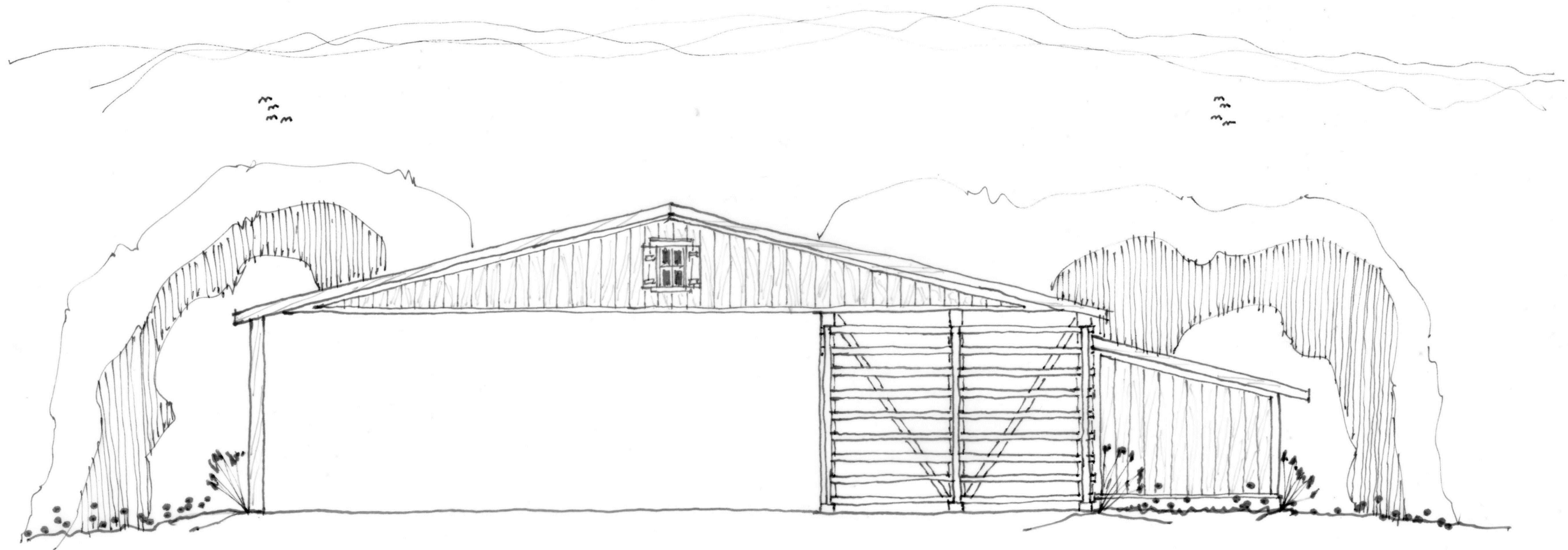
BROAD CREEK MARINA GO-KART TRACK
NOVEMBER 26TH, 2019

2 SIDE ELEVATION
SCALE 1/8" : 1'-0"



BROAD CREEK MARINA GO-KART TRACK
NOVEMBER 26TH, 2019

2a SIDE ELEVATION (w/ color)
SCALE 1/8" : 1'-0"



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HHI Go Kart Facility

DRB#: DRB-002454-2019

DATE: 12/01/19 12/03/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

The site plan for Final DRB approval should address the following:

1. The location and screening of the dumpster.
2. Provide a tree protection plan with special consideration of those trees identified by Staff.
3. Relocate the stormwater lagoon to open areas on the site.
4. Revise the parking lot to accommodate the existing trees identified by Staff and meet parking lot design requirements of the LMO.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specify at Final.
All facades are have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specify at Final.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specify at Final.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Where is the dumpster for the operation? How is it concealed?

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
---------------------------	--------------	----	----------------	------------------------

Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specify at Final.
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comments below.

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Provide a tree protection program by an arborist for the 32/30 LO, 22/24/28 LO, 36 WO/22 LAO/30 LO cluster, 47/62 LO, 23/36 LO, 69 LO/42 LAO cluster and the cluster of smaller LO within the go cart track to include: <ol style="list-style-type: none"> a. Tree protection fence to the dripline where possible, b. Pre and post construction fertilization program, c. Root stimulant and mycorrhizae treatment, d. Mulching within the dripline. 2. Relocate the stormwater pond to the open area under the zip line adjacent to the parking lot and within the go cart track loop to avoid additional tree removal.

MISC COMMENTS/QUESTIONS
1. The application does not include a site analysis study. Per the Design Guide, page 6, the site analysis must identify "existing vegetation and specimen trees, setbacks and buffers, access points..."
2. The conceptual site plan does not clearly show the location of proposed buildings.
3. Pedestrian circulation between the parking lot, ticketing building and cart barn is not shown.
4. What is the purpose of the pervious drive off the parking lot on the creek side of the lot?
5. The circulation from the parking lot to the cart barn is unclear and or missing. Sidewalks shown appear to be too narrow.
6. Provide a lighting plan with photo metrics at Final.
7. The proposed parking lot is too close to the 69 LO / 42 LAO. Staff understands there is gravel there currently but the minimum distance of 15' from the trunk should be established for the health of the specimen tree moving forward.
8. There is a 14 LAO and 24 LAO that appears to be removed and an 18 LO marked as removed in the proposed parking lot that could be easily saved. Revise the parking lot layout to accommodate these trees.
9. There is a 30 PN and 30 LO marked for removal in the parking lot that the applicant should consider revising the parking lot layout to accommodate.
10. Hickories are specimen per the LMO at 20" DBH. There are several specimen hickories on this site that do not have their canopies indicated.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: PDG|Architects
 Mailing Address: 10 Palmetto Business Park Rd. Ste. 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843.785.5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: The Smokehouse Restaurant Project Address: 34 Palmetto Bay Rd.
 Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 0 5 0 0 0 0 0
 Zoning District: SPC - Sea Pines Commercial Overlay District(s): SPC Zoning District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

11-25-2019

DATE

November 25, 2019

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: **The Smokehouse**
Lot G, #34 Palmetto Bay Road

Project Narrative

On June 9th a fire broke out in the Smokehouse restaurant, engulfing the structure in flames. Since then, the building – home to the Smokehouse since the restaurant moved in 2010 – has been closed, and we have launched planning for its reconstruction.

We are proposing to demolish portions of the remaining structure, and re-build the restaurant using the existing foundation. Along the way, we hope to salvage iconic elements of the old Smokehouse to connect the new restaurant to its past. The new 7,515 sq. ft. restaurant & bar, which features a main dining room, two bars and three outdoor dining areas, replaces the original 7,194 sq. ft. building. Access to the restaurant is defined by a plaza which provides a waiting space for patrons away from the busy parking lot. The lobby and stair tower form the central architectural statement, while the tiered outdoor dining areas add excitement and liveliness to the streetscape. The walk from the rear parking lot has visual connections to the main dining room and entry stair through glass walls. The building is sited on the existing building foundations and takes advantage of the existing parking lot with additional capacity added at the back of the lot.

The re-construction will be a phased renovation to comply with current flood regulations for non-conforming structures. Phase I will be the construction of the building shell and porches. Phase II will include the interior upfit and addition of the rooftop bar.

Thank you for your time and consideration,

A handwritten signature in black ink, appearing to read 'Joseph DePauw'. The signature is fluid and cursive, with a long horizontal stroke at the end.

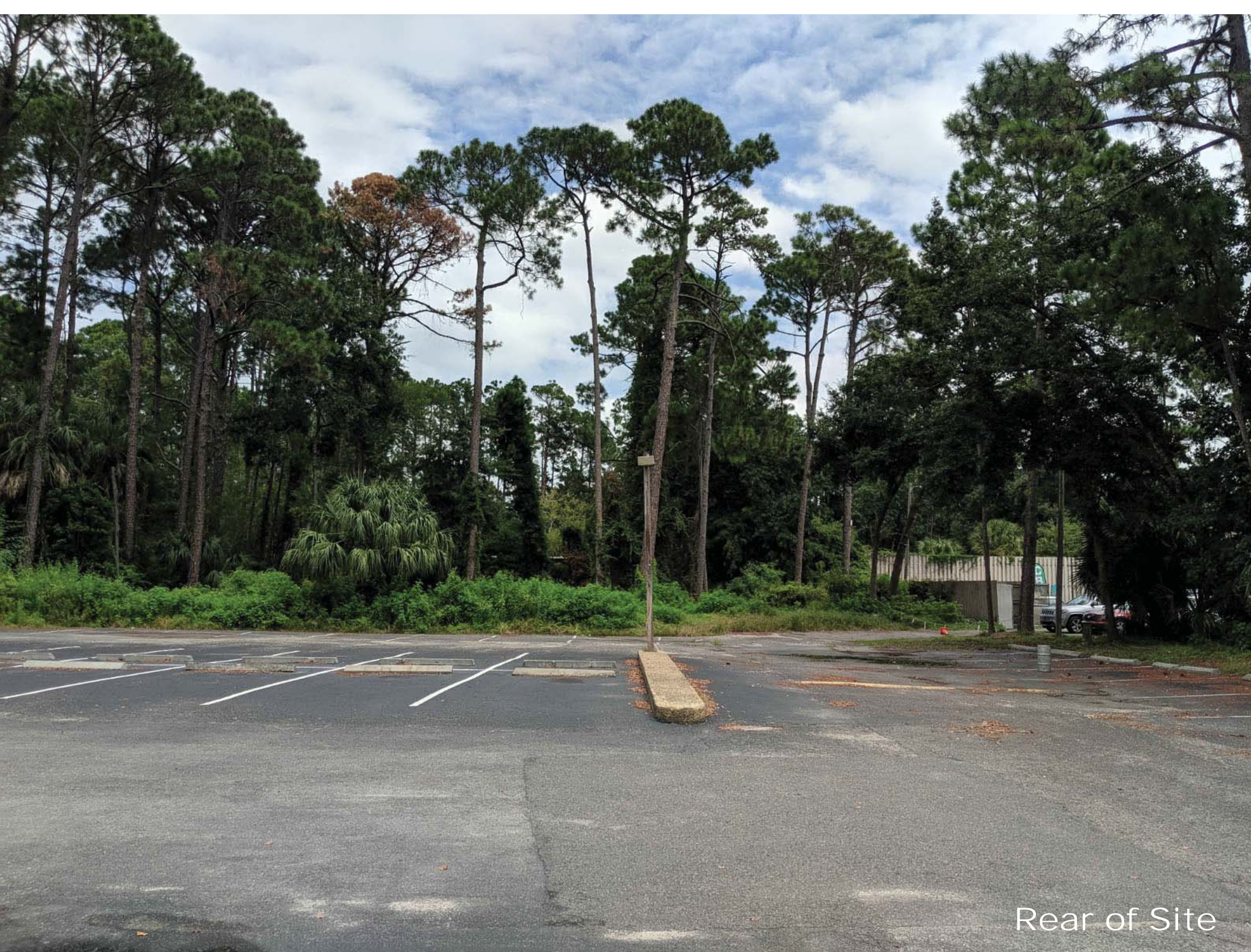
Joseph A. DePauw, AIA
PDG|Architects



Existing Restaurant



Rear of Building
(wall to be saved)



Rear of Site



Existing Vegetative Buffer



Existing Buffer @ Loading Area



View to Smokehouse from Red Fish



Live Oak @ Proposed Game Area



Village Exchange from Smokehouse



Red Fish Restaurant



Village Exchange



Village Exchange



BackYard
Restaurant

Village Exchange



RESORT RENTALS
VACATION HOMES

32

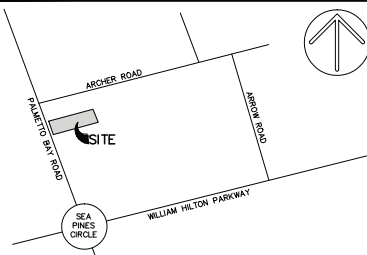
RESORT RENTALS
OF HILTON HEAD ISLAND
vacasa

VACATION RENTALS

Village Exchange



LINE	BEARING	DISTANCE
L1	N36°03'30"W	87.16
L2	N53°56'30"E	5.00
L3	N35°46'03"W	63.16



VICINITY MAP NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO LIE IN FLOOD ZONE A7 (EL:14'), PER FIRM PANEL No. 13-07; COMMUNITY No. 450250, DATED 9/29/86. BASED ON REFERENCE 2.
- TREE SIZES IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS SHOWN ARE BASED ON NGVD 1929 DATUM.
- SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83 FROM SCVRS NETWORK.

REFERENCE(S):

- PLAT BOOK 20, PAGE 19
- ASBLT SURVEY OF LOT G, PALMETTO BAY ROAD BY: SEA ISLAND LAND SURVEY DATED: 11.18.01

LEGEND:

CMF	CONCRETE MONUMENT OLD
RBF	REBAR FOUND
LP	LAMP POST
TRNF	TRANSFORMER
-UE-	UNDERGROUND ELECTRIC
EB	ELECTRIC BOX
WM	WATER METER
WS	WATER SPIGOT
GI	GRATE INLET
TEL	TELEPHONE BOX
-UT-	UNDERGROUND TELEPHONE
-X-	FENCE LINE
P	PINE
CR MYT	CREPE MYRTLE
PLM	PALMETTO
LO	LIVE OAK
WO	WATER OAK
G	GUM
x10.0	SPOT ELEVATION
-10-	CONTOUR

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRAMPED WITH SEAL



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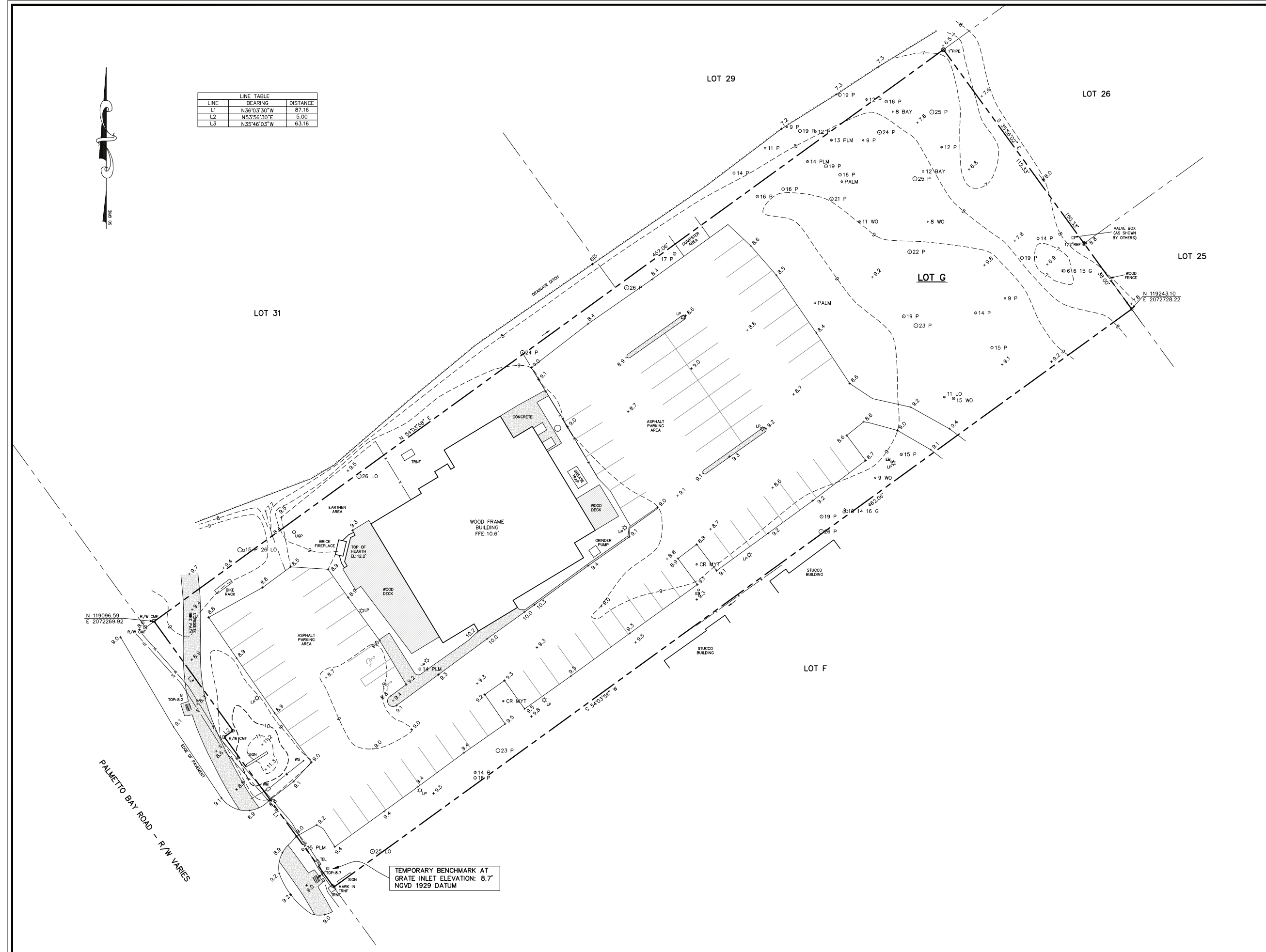
AN ASBLT, TREE & TOPOGRAPHIC SURVEY OF
LOT G
PALMETTO BAY ROAD

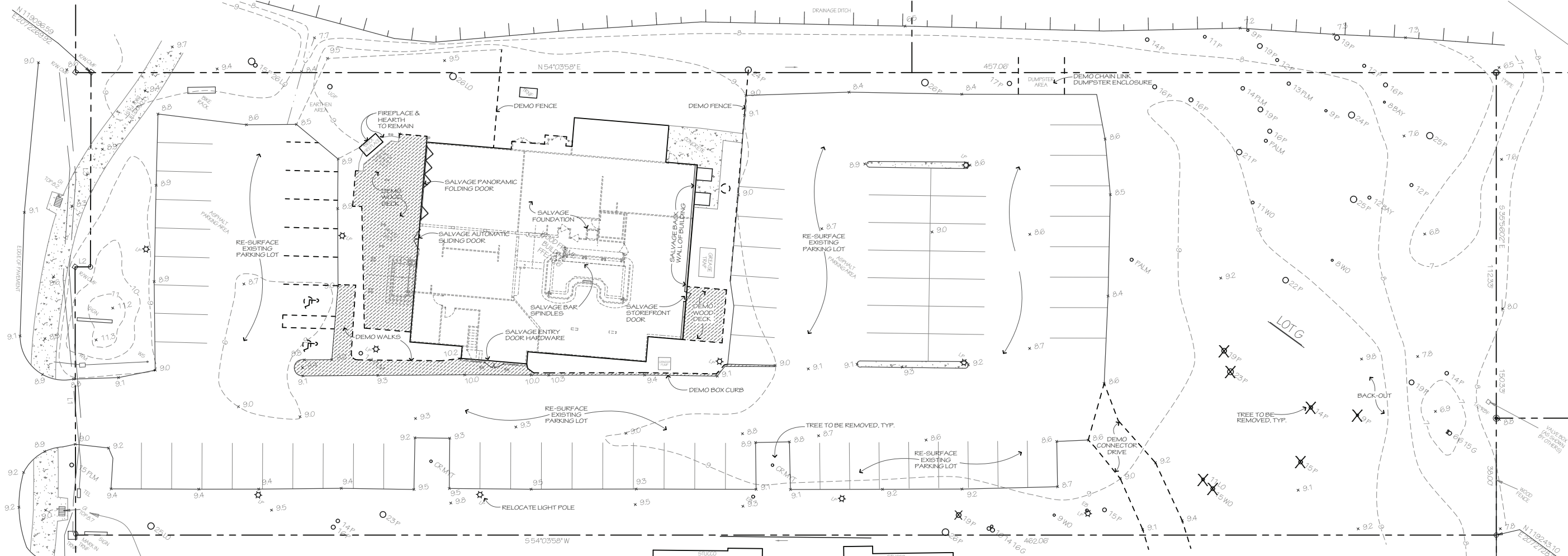
TMS R552 014 000 0050 0000
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:
SMOKEHOUSE RESTAURANT

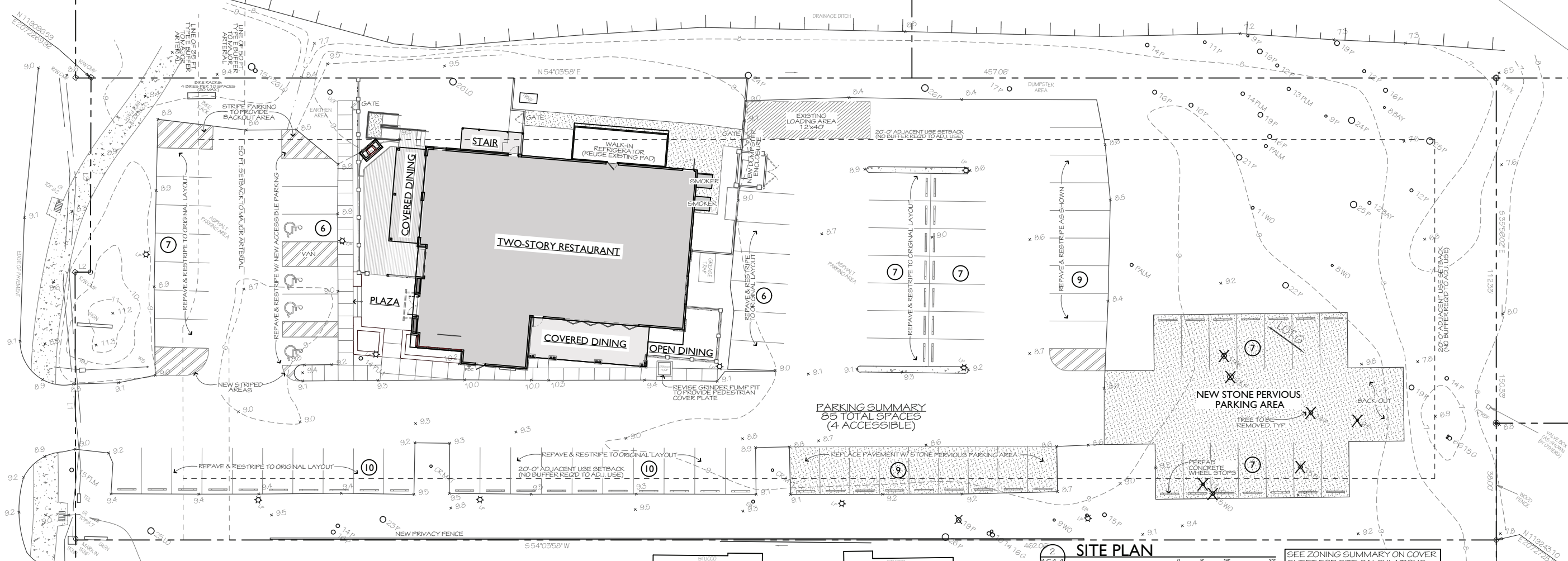
COOK
Land Surveying
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23 Trotting Hill Lane, Bluffton, SC 29910
p: 843.247.1311 e: cooklandsurvey@argray.com

PROJECT No.: 19090006
DRAWN BY: DRC PROJECT NAME: 19090006
DATE: 09.23.19 FILE: 19090006AT 092319.dwg
SCALE: 1" = 20'



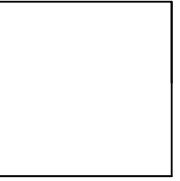


1 DEMO SITE PLAN
 SCALE: 1/16" = 1'-0"
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS



2 SITE PLAN
 SCALE: 1/16" = 1'-0"
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS

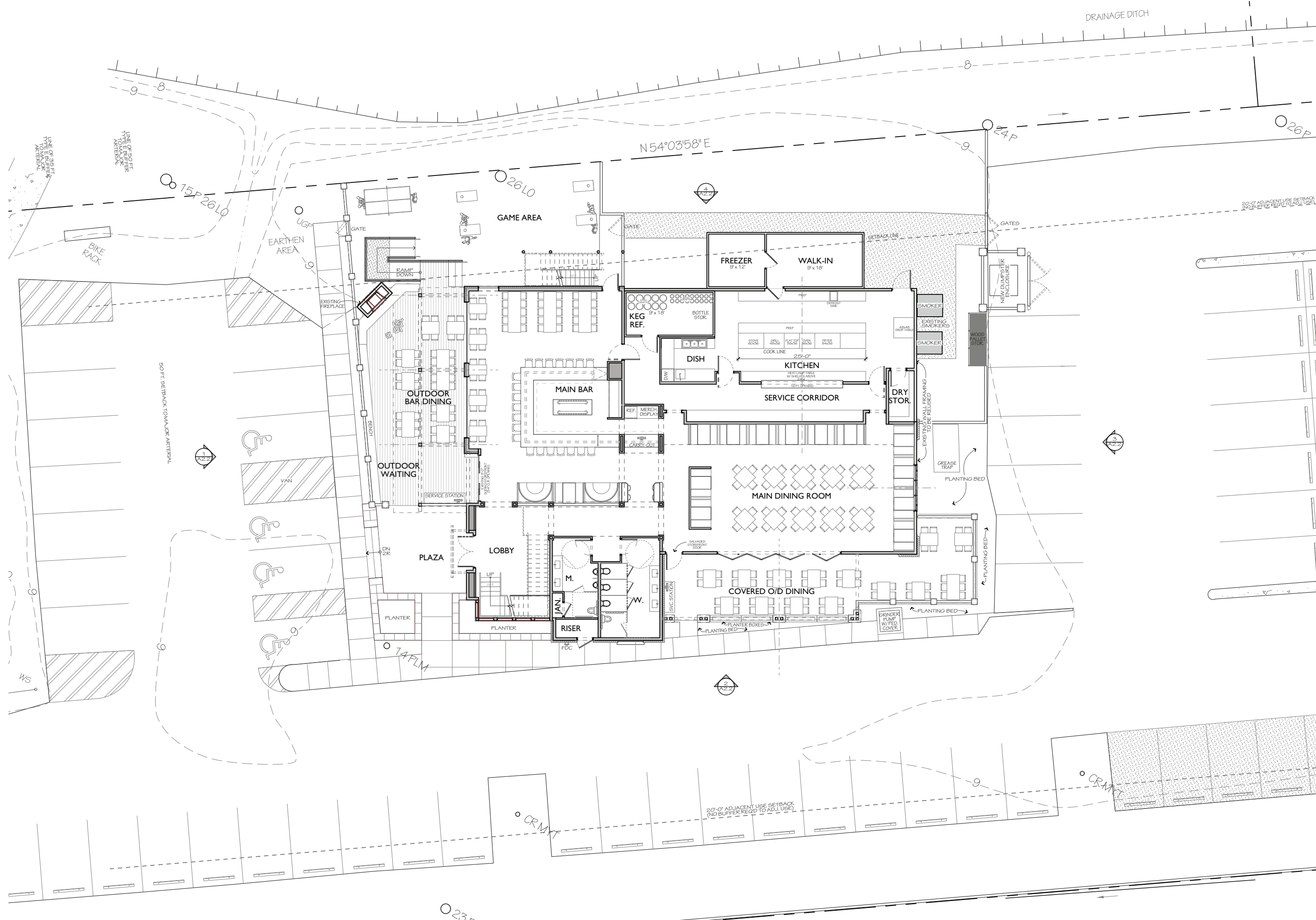
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REVISIONS

NO.	DESCRIPTION

DRAWN BY
 JD
 CHECKED BY
 JD
 DATE OF ISSUE
 11/26/2019
 SCALE
 AS SHOWN
 JOB NO.
 1928
 SHEET



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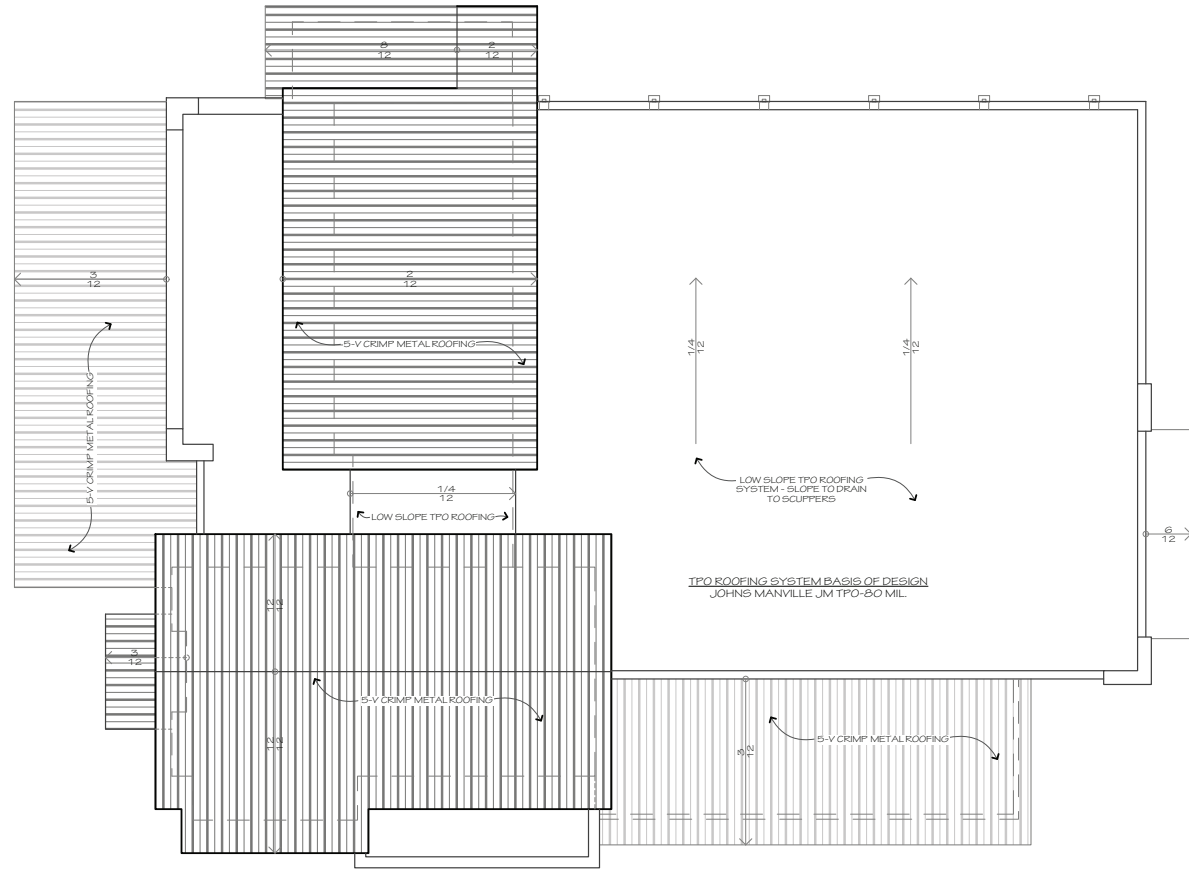
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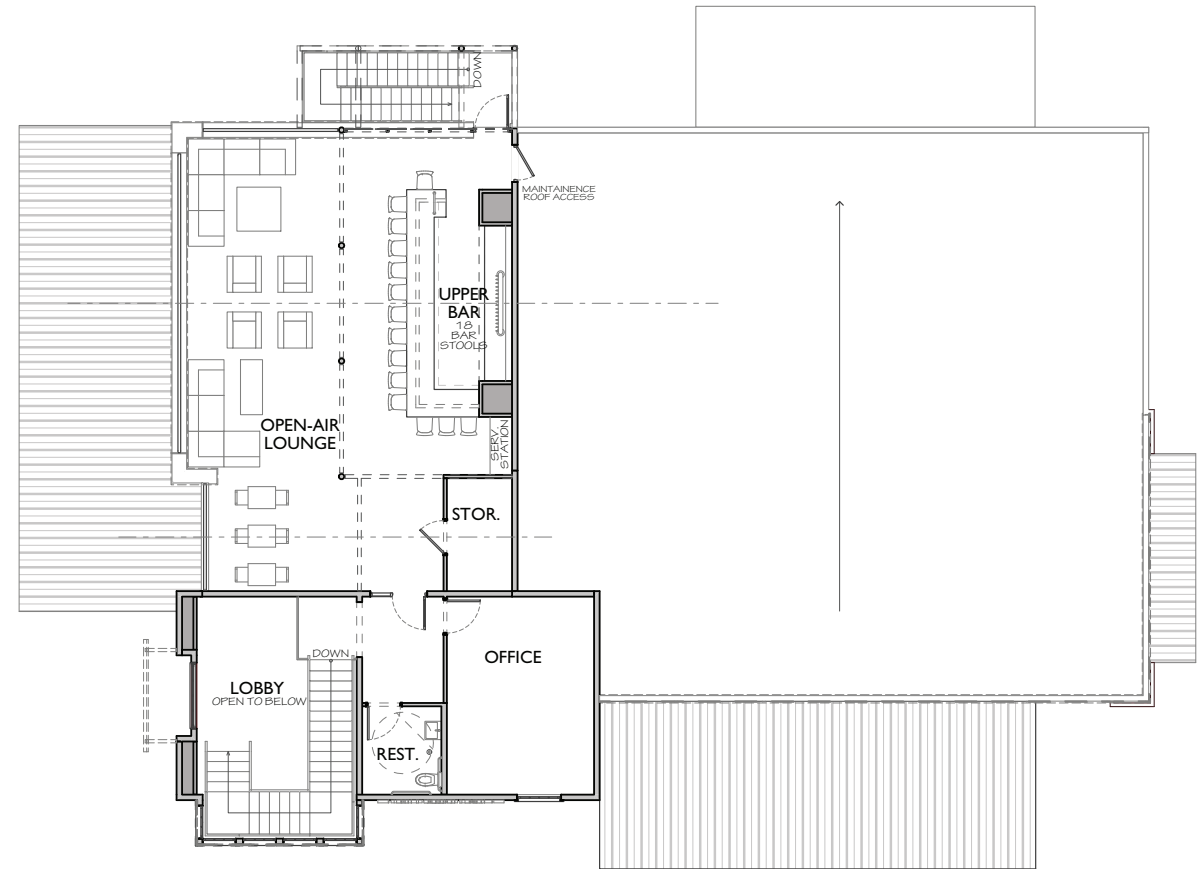
FIRST FLOOR PLAN
A1.1

1st FLOOR PLAN
 SCALE: 1/8" = 1'-0"

SEE CODE SUMMARY ON COVER SHEET FOR AREAS



2 ROOF PLAN
 A1.2 SCALE: 1/8" = 1'-0"



1 2nd FLOOR PLAN
 A1.2 SCALE: 1/8" = 1'-0"

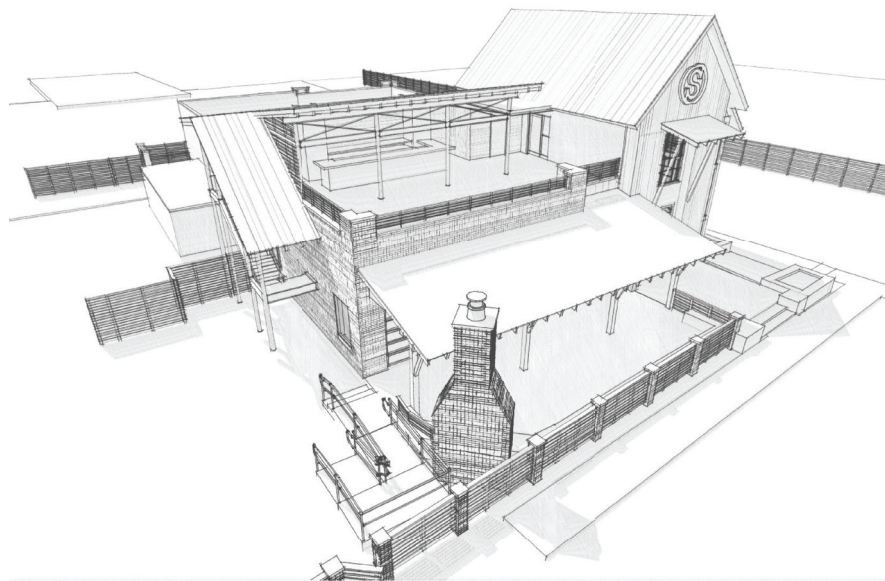
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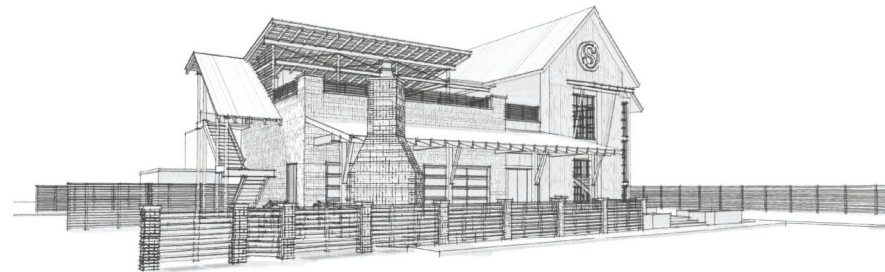
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SECOND FLOOR & ROOF PLANS
A1.2

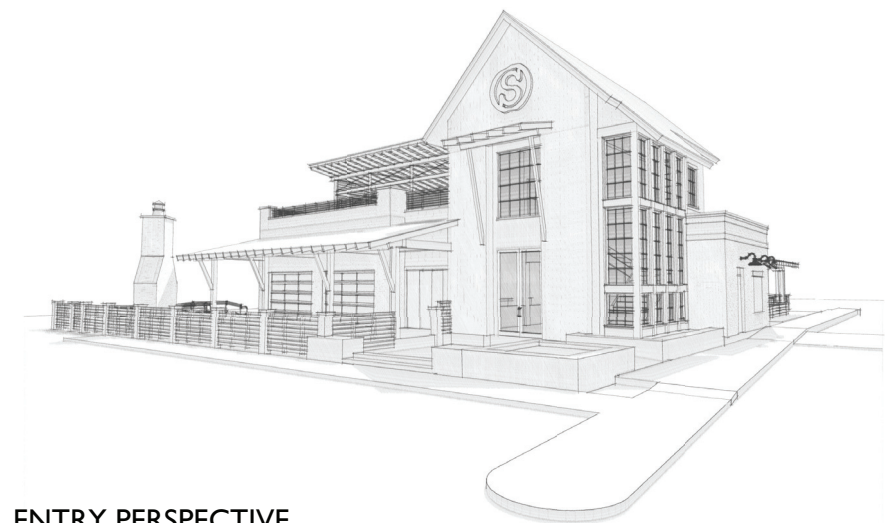
SEE CODE SUMMARY ON COVER SHEET FOR AREAS



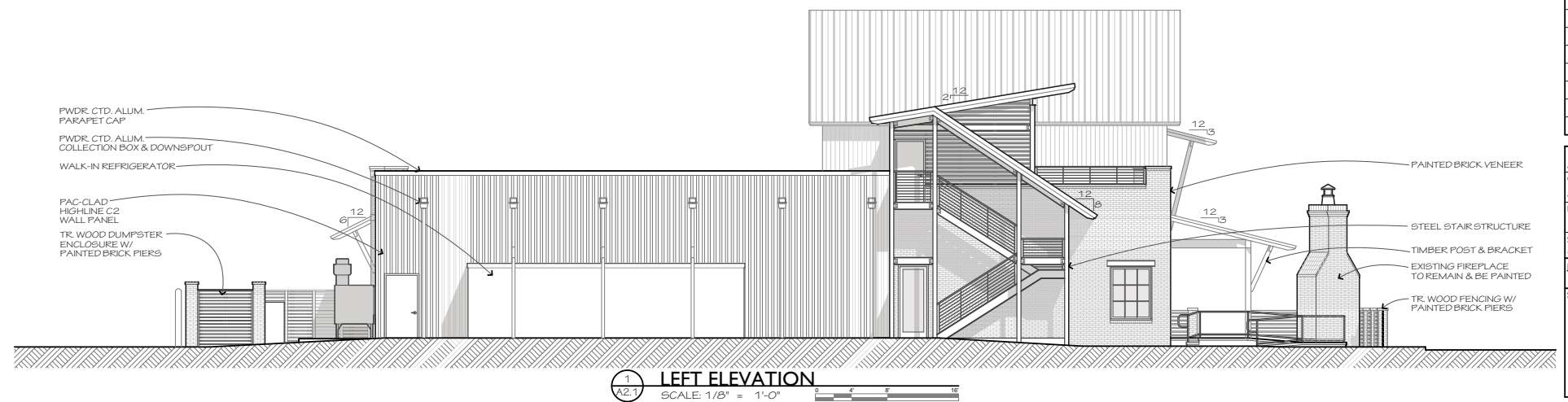
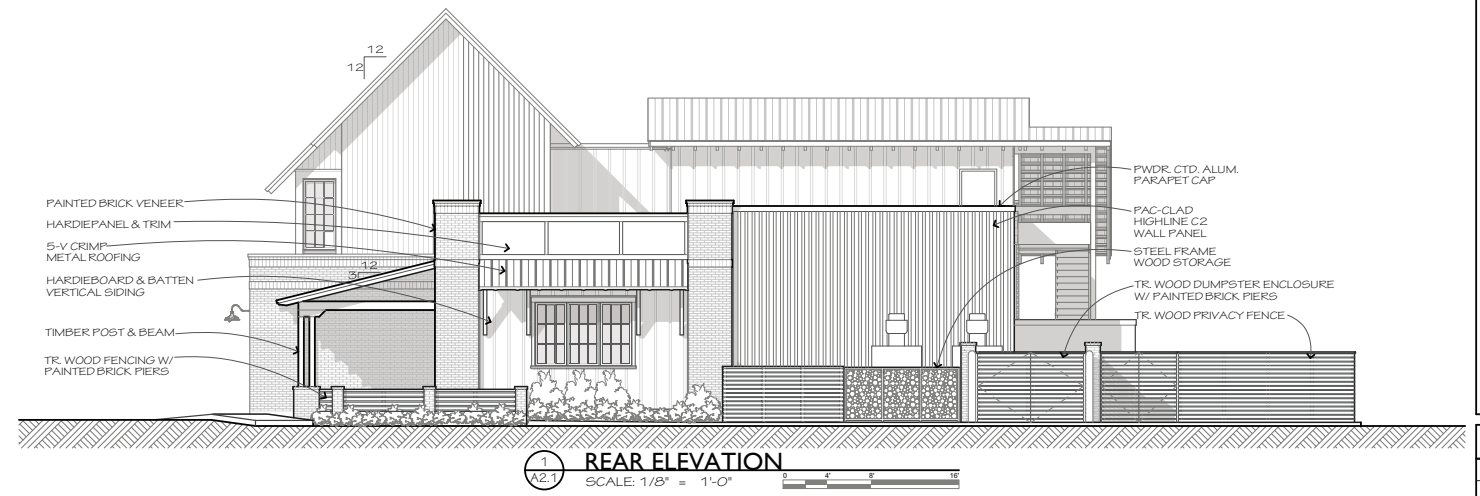
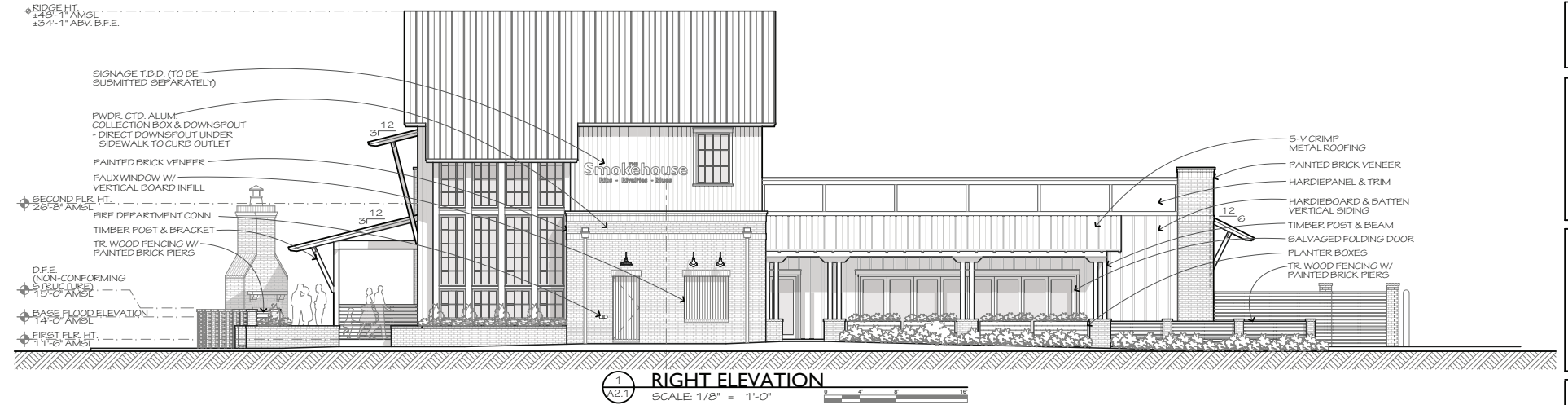
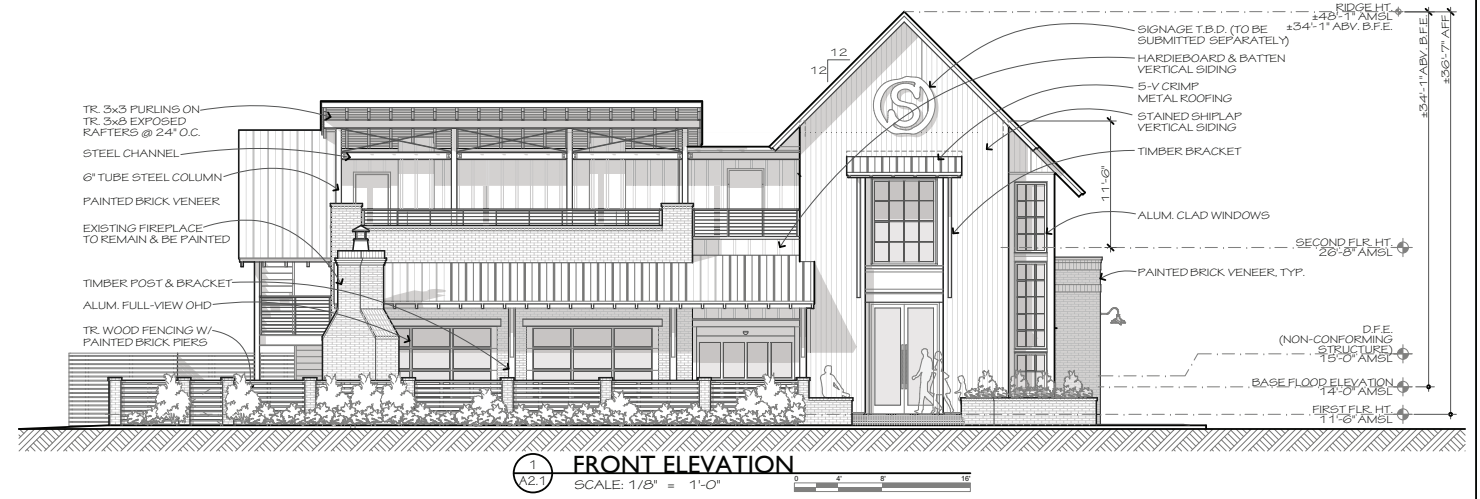
OVERHEAD PERSPECTIVE



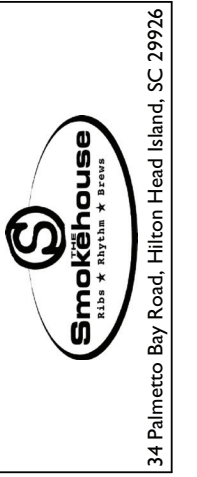
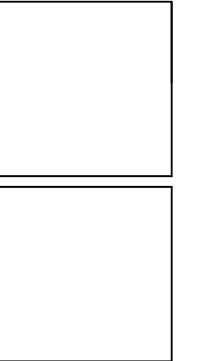
OVERHEAD PERSPECTIVE



ENTRY PERSPECTIVE



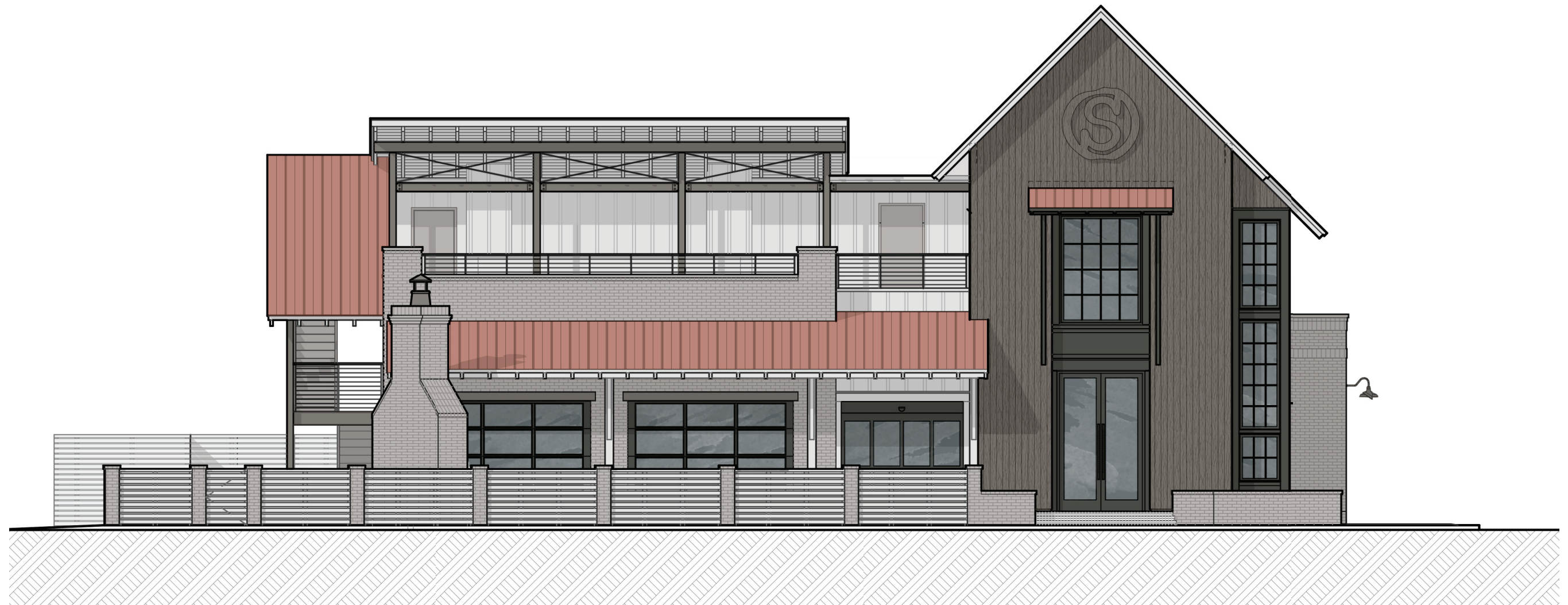
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ELEVATIONS
A2.1



Front Elevation Color Study

34 Palmetto Bay Rd.
Hilton Head Island, SC 29926
11/26/2019





Right Elevation Color Study

34 Palmetto Bay Rd.
Hilton Head Island, SC 29926
11/26/2019



5-V CRIMP METAL ROOFING
 COLONIAL RED
 PAC-CLAD



PAINTED BRICK VENEER
 SW 9167 POLISHED CONCRETE
 SHERWIN WILLIAMS



WINDOWS & DOORS
 INDUSTRIAL DARK BRONZE 102
 SIERRA PACIFIC



TRIM & SIDING
 SW 6002 ESSENTIAL GRAY
 SHERWIN WILLIAMS



STAINED PINE SIDING
 TBD TO COORDINATE W/ DARK TRIM



**STEEL STRUCTURE
 & DARK ACCENTS**
 SW 7020 BLACK FOX
 SHERWIN WILLIAMS



Proposed Exterior Colors & Materials

34 Palmetto Bay Rd.
 Hilton Head Island, SC 29926
 11/26/2019



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Smokehouse

DRB#: DRB-002461-2019

DATE: 12/02/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Remove the building from the setback off the northern property line.
2. The northern façade is revised to replace the proposed metal siding and add architectural detail.
3. The site plan should be revised to accommodate planting between the building or fence and sidewalks or parking lot.
4. The site plan shall be revised to include 3 landscape islands in the front parking lot and 1 landscape island in the back parking lot adjacent to the drive isle.
5. The site plan shall be revised to accommodate screening on both sides of the dumpster enclosure.
6. Provide a tree protection plan that:
 - a. Shows tree protection fence,
 - b. Shows the canopy of the 26” live oak on the northern property line,
 - c. Specifies pre and post construction fertilization with a root stimulant and protective mulching (3-4” aged hardwood mulch) under the 26” live oak on the northern property line.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Metal siding is not appropriate for this area. Considered adding architectural detail as well.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a lighting plan at Final that includes fixtures on the building as well as parking lot lights.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide areas for planting between sidewalks and building or fence. Staff does not recommend planters.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape islands and overstory trees should be add to the parking lot.

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a tree protection plan that: <ol style="list-style-type: none"> 1. Shows tree protection fence, 2. Shows the canopy on the 26" live oak on the northern property line, 3. Specifies Pre and Post Construction fertilization with a root stimulant and protective mulching under the 26" live oak on the northern property line.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape Plan for review at the DRB Final should include any mitigation trees and Palmetto Bay buffer plantings.

MISC COMMENTS/QUESTIONS
1. The building cannot be in the setback. The stairs and cooler on the northern property line cannot be within the setback. The LMO only allows stairs to extend 5' into the buffer.
2. As part of the waiver request for the parking lot; <ol style="list-style-type: none"> a. Provide a landscape island in the parking lot at the front right corner of the building that includes a overstory tree. b. Add landscape islands (2) with overstory trees to replace the striped areas closest to Palmetto Bay Road. c. Add landscape island with overstory trees (2) to the existing back parking lot adjacent to the drive isle.
3. Provide details of the dumpster enclosure with additional vegetative screening on both sides.
4. The property is currently in Zone A7(14) according to the current effective FEMA Flood Insurance Rate Maps (FIRM). If the cost of the construction to restore the structure back to the pre-damaged condition is less than 50% of the assessed value of the structure, the structure can remain at its current elevation. If the cost of the construction to restore the structure back to the pre-damaged condition is greater than 50% of the assessed value of the structure, the entire structure will be required to be elevated or floodproofed to one foot above the current effective base flood elevation (BFE).