



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, October 22, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

1. **Call to Order**
2. **FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
3. **Roll Call**
4. **Approval of Agenda**
5. **Approval of Minutes** – None
6. **New Business**
 - a. New Development – Conceptual
 - i. 55 Gardner, DRB 002099-2019
7. **Appearance by Citizens**
8. **Board Business**
9. **Staff Report**
 - a. Minor Corridor Report
10. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood + Partners Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: (843) 681-6618 x230 Fax: _____ E-mail: ttheodore@woodandpartners.com
 Project Name: 55 Gardner Dr. - Multi-Family Project Address: 55 Gardner Dr., Hilton Head Island, SC 29925
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 9 8 A 0 0 0 0
 Zoning District: PD-1 (Multi-Family Residential) Overlay District(s): COR (Corridor Overlay District)
Indigo Run

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for ***All*** projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.1.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

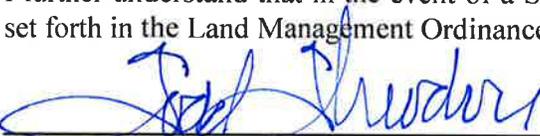
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-8-19

DATE

55 Gardner Drive

Hilton Head Island, SC

Conceptual Design Review Board Narrative

October 8, 2019

Spandrel Development Partners, LLC is proposing a new multi-family residential community on approximately 13.89 acres at 55 Gardner Drive (Parcel ID # R510 008 000 098A 0000). The property is currently developed as the Hilton Head Christian Academy campus. The school plans to relocate to Bluffton, SC. All existing building structures, parking, select utilities, and infrastructure related to the multi-use field will be demolished. The property is zoned as PD-1 and allows for 260 units.

The proposed development will provide 260 apartments consisting of studio, one, two, and three bedroom units with five percent (5%) of the units to be at below market rental rates. The plan will consist of four (4) separate three-story, and four-story residential buildings strategically placed to take advantage of previously developed areas of the site and create useable open space for residents and guests. As a result of discussions and meetings with the residents of the Old Woodlands Plantation neighborhood, buildings along the Southern property line have been stepped down so that all facades are three-stories or less. In addition to the four (4) residential buildings, a clubhouse building located adjacent to the realigned entrance off of Gardner Drive will provide amenities for residents.

The building architecture will be understated and harmonious with the island's natural environment in form and color and will feature the following prominently:

- Generous overhangs with brackets to create shadow lines
- Gables and hips to break up large roof planes.
- Offsetting planes with a variety of depths to introduce articulation in the building façade.
- Historically presented materials such as lap siding, brick, and stucco will help provide contrasting textures
- Use of small-scale entry porches at grade level to achieve human scale.
- Clean and simple details. Window openings are arranged in traditional vertical proportion and have a unified relationship in overall design. Traditional elements such as shutters, brackets and louvers are used to provide visual interest.

The site will feature nicely landscaped walking paths connecting all the buildings to the central green and adjacent Town bike path. The one curb cut and main entry to the site has been realigned to better relate to the clubhouse and accommodate vehicle turnaround space for the gated entrance. In order to create a strong sense of arrival, the main identification sign will be incorporated into masonry walls that will be placed on either side of the drive aisle for a strong visual threshold.

For security and access control, a perimeter fence around the community will be utilized in conjunction with vehicular and pedestrian gates that will be installed to restrict access to only residents, guests, approved vendors, and community staff. Buildings and main entranceways have been oriented around a central green with service and garage parking located on the opposite, perimeter side.

Vehicular and bicycle parking will be provided at the appropriate rate for the studio, one, two, and three bedroom units per LMO requirements. A combination of surface parking and garage parking is being utilized in order to meet the parking requirements.

Mail delivery and pickup will be centrally located inside the clubhouse for all residents. Each of the four residential buildings will have integrated trash disposal that will then be collected and properly disposed of by community staff. The clubhouse and all related amenities will utilize a proposed nearby dumpster.

There are 4 specimen trees located on site that will be preserved. Detailed mitigation and buffer charts demonstrating the plans meet the LMO will be provided at a later date.

The water quality analysis for the project will address the OCRM First Flush requirements, the Town of Hilton Head Island Volume Control requirements, and BMP Standards. The site contains existing infrastructure (buildings, parking areas, wet-pond, etc.) and will be accounted for as the pre-existing condition. Runoff associated with the buildings, parking areas, and sidewalks will be routed through a series of pervious pavement and dry-detention ponds in order to infiltrate the required volume. These proposed BMP's will take advantage of the permeable soils onsite and infiltrate runoff prior to discharging peak flows to the existing drainage swales that discharge into wetlands before ultimately discharging into the Broad Creek.

The existing site has three outfall locations. The northeastern half of the site drains to a wet pond before discharging to an existing swale that outfalls into a wetland. The southeastern half of the site drains to existing drainage swales which run parallel to the property lines. A small southwestern portion of the site drains to an existing swale that is located on Town owned property. Ward Edwards has met with the Town of Hilton Head Island engineering staff to review the existing site drainage patterns. Due to downstream flooding issues along the southeastern swale(s), we were directed by the Town to route our stormwater to the existing southwestern swale located on Town property. Therefore, the three dry detention basins located along the southern portion of the site will be inter-connected and discharge to the existing swale located on Town property.

There are delineated wetlands located in the northwestern section of the property. However, this project won't disturb any of the wetlands locate on-site and will maintain the appropriate wetland buffers. A request has been filed with the U.S. Army Corps of Engineers for an Approved Jurisdictional Determination.

Existing water and sewer mains, owned and operated by Hilton Head Island Public Service District, are available for the subject property with adequate capacity to properly service the proposed development and are located with the Gardner Drive right-of-way. The water and sewer utilities available are anticipated to be adequate to service the proposed development. Dedicated utility easements will be provided upon close out of the development.

Electrical service will be provided by Palmetto electric. Cable television services will be provided by Hargray or Time Warner Cable. The existing services are located along Gardner Drive within the right-of-way.

The owner will be responsible for maintaining the development in accordance with all Town of Hilton Head requirements and guidelines. All proposed improvements, outside of water and sewer services, will be owned and maintained as described above.

The proposed 55 Gardner Drive Development will increase the supply of market-rate, workforce, and below market-rate housing in one of the island's largest commercial districts which will help to improve economic opportunities for adjacent businesses as well as improve quality of life for present and future Hilton Head Island residents.

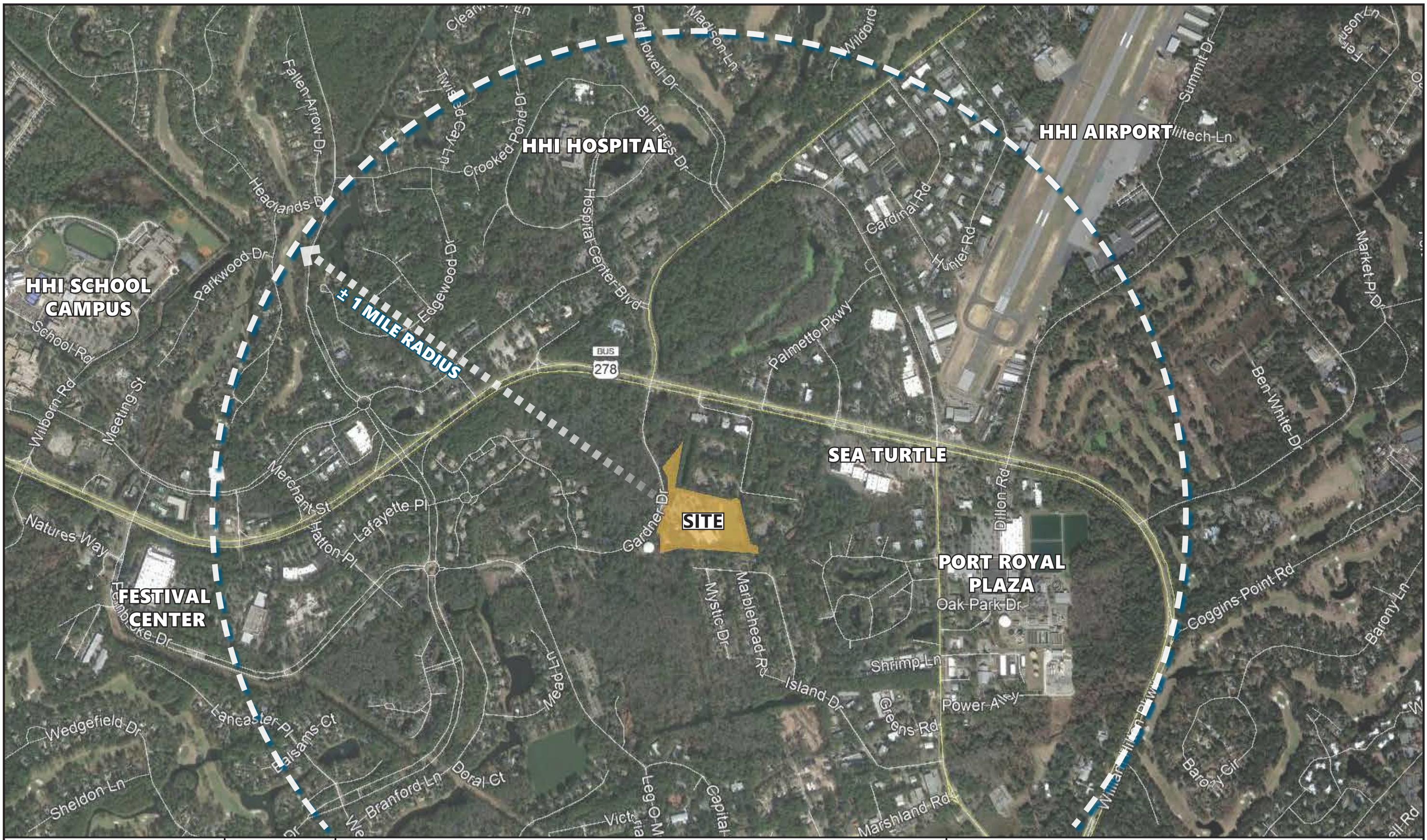
Applicant:

Todd Theodore, PLA

Wood + Partners Inc.

TTheodore@woodandpartners.com

843-681-6618 ext. 230



Project No: 01-19028 | Date: 10-08-2019 | Conceptual Design Review Board



Document is preliminary and subject to change.
 2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

OVERALL VICINITY MAP

55 Gardner Drive (Former HHCA Site)
 Hilton Head Island, South Carolina





CONTEXT MAP (NOT TO SCALE)



SANDALWOOD TERRACE (MULTI-FAMILY, 2-STORY)



SANDALWOOD TERRACE (MULTI-FAMILY, 2-STORY)



HILTON HEAD GARDENS (MULTI-FAMILY, 2-STORY)



THE OAKS (MULTI-FAMILY, 2-STORY)



THE PRESERVE AT INDIGO RUN (MULTI-FAMILY, 2-STORY)



SOUTHWOOD PARK (COMMERCIAL)



OLD WOODLANDS PLANTATION (SINGLE-FAMILY, 1 & 2-STORY)



OLD WOODLANDS PLANTATION (SINGLE-FAMILY, 1 & 2-STORY)

Project No: 01-19028

Date: 10-08-2019

Conceptual Design Review Board



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2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

SURROUNDING CONTEXT

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscapes Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



WEST PROPERTY LINE (GARDNER DRIVE)

Project No: 01-19028

Date: 10-08-2019

Conceptual Design Review Board



Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



SOUTHERN PROPERTY LINE

Project No: 01-19028

Date: 10-08-2019

Conceptual Design Review Board



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2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



EASTERN & NORTHERN PROPERTY LINE

Project No: 01-19028

Date: 10-08-2019

Conceptual Design Review Board



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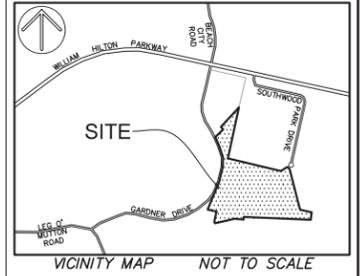
EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6616 ■ Fax 843.681.7086 ■ www.woodandpartners.com



ATLAS SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



PREPARED FOR:
SPANDREL DEVELOPMENT PARTNERS

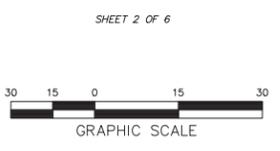
AN AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF

#55 GARDNER DRIVE

TAX PARCEL No. R510 008 000 098A 0000

THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: JNR
FIELD CHECK: JNR
DRAWN BY: KMF
DATE: 08-19-2019
SCALE: 1"=100'
PROJECT No.: BFT-19061
FILE: BFT-19061 ATLEWS



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS DRAINED WITH SEAL

SHEET 2
SHEET 3

N/F PRESERVE AT
INDIGO RUN OWNERS
ASSOCIATION
TMS R510 008 00A 0585 0000

N/F
BEAUFORT
HOUSING
AUTHORITY
TMS R510 008
000 0224 0000

NORTH
SC GRID (NAD 83)

N/F
TOWN OF HILTON
HEAD ISLAND, SC
TMS R510 008 000 0465 0000

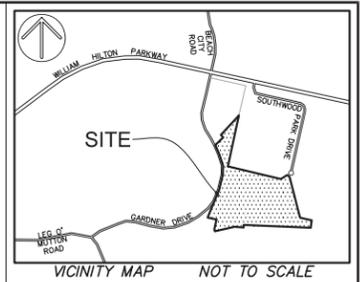
N/F
PRESERVE AT
INDIGO RUN OWNERS
ASSOCIATION
TMS R510 008 00A 0585 0000

PARCEL B
206,804.96 Sq.Ft.
4.748 Ac.

UPLAND PA1
32,050.56 Sq.Ft.
0.736 Ac.

PARCELA
604,868.50 Sq.Ft.
13.887 Ac.

N/F
BEAUFORT
HOUSING
AUTHORITY
TMS R510 008
000 0224 0000



BENCHMARK
NAIL SET
EL.: 12.61
NAVD 88

APPROXIMATE FEMA
FLOOD LINE LOCATION

ZONE C
ZONE A7
(ELEV. 14.0')

N/F
PRESERVE AT
INDIGO RUN OWNERS
ASSOCIATION
TMS R510 008 00A 0585 0000

ATLAS SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



PREPARED FOR:
SPANDREL DEVELOPMENT
PARTNERS

AN AS-BUILT, BOUNDARY, TREE
AND TOPOGRAPHIC SURVEY OF

#55 GARDNER DRIVE

TAX PARCEL No. R510 008 000 098A 0000

THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: NCM
FIELD CHECK: JWR
DRAWN BY: KWF
DATE: 08-19-2019
SCALE: 1"=100'
PROJECT No.: BFT-19061
FILE: BFT-19061 ATLEW6

SHEET 3 OF 6

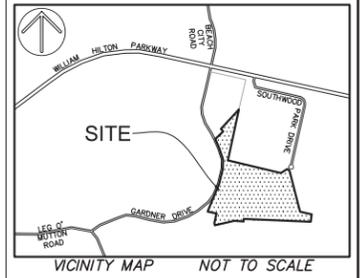


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INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A"
SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS DRAINED WITH SEAL

N/F
BEAUFORT
HOUSING
AUTHORITY
TMS R510 008
000 0224 0000

NORTH
SC GRID (NAD 83)



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PREPARED FOR:
SPANDREL DEVELOPMENT PARTNERS

AN AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF

#55 GARDNER DRIVE

TAX PARCEL No. R510 008 000 098A 0000

THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: JNR
FIELD CHECK: JNR
DRAWN BY: KMF
DATE: 08-19-2019
SCALE: 1"=100'
PROJECT No.: BFT-19061
FILE: BFT-19061 ATLEW6

SHEET 4 OF 6



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

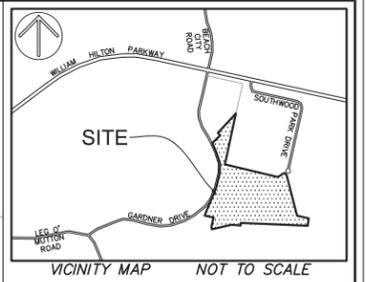
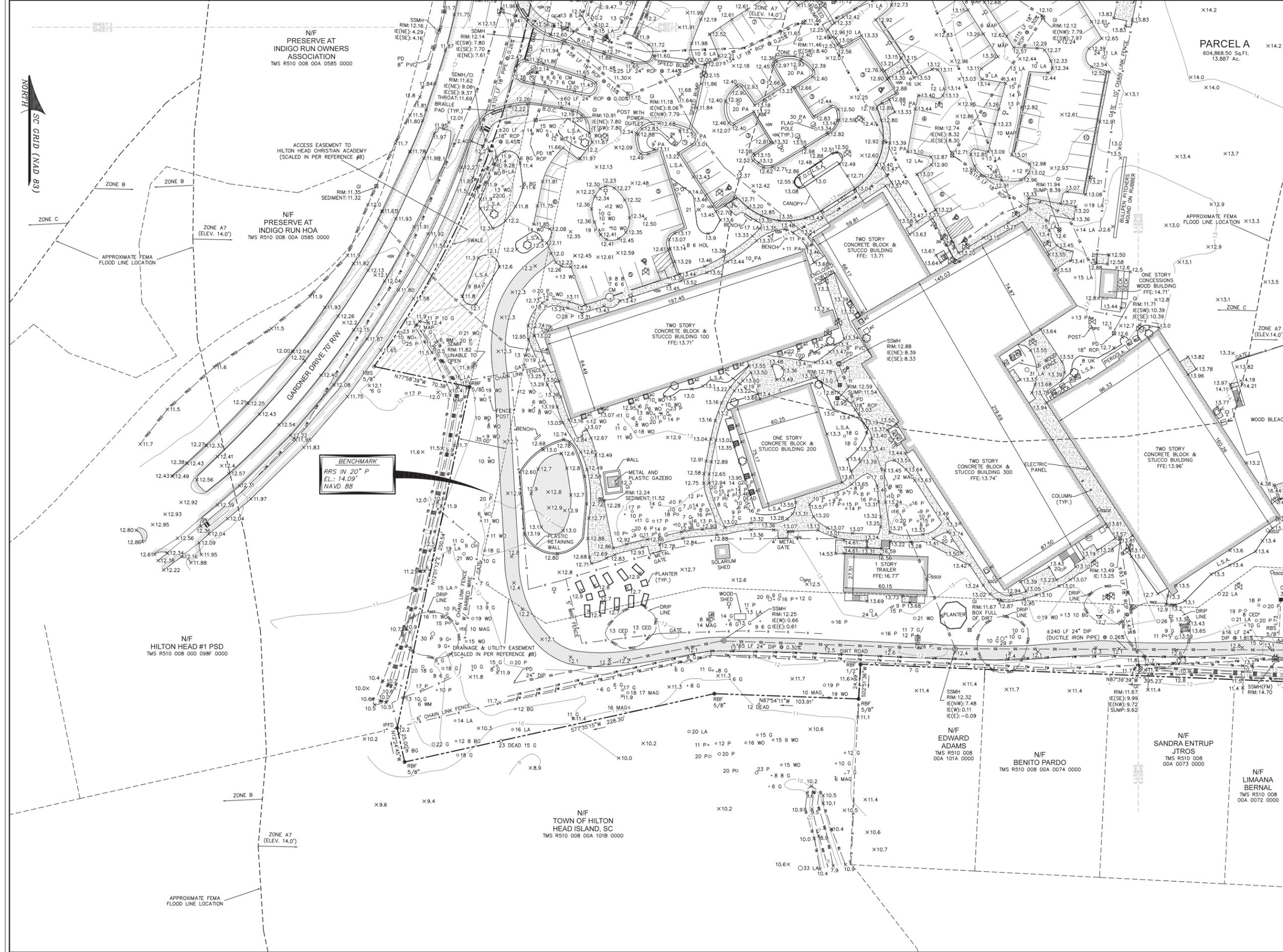
JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS DRAINED WITH SEAL



PARCEL A
604,868.50 Sq.Ft.
13.887 Ac.

N/F
BARNETT GROUP INC
TMS R510 008 000 098C 0000

N/F
BEAUFORT HOUSING
AUTHORITY
TMS R510 008 000 0214 0000



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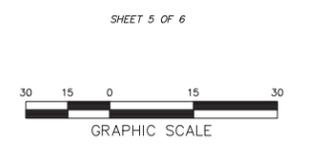
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#55 GARDNER DRIVE

TAX PARCEL No. R510 008 000 098A 0000

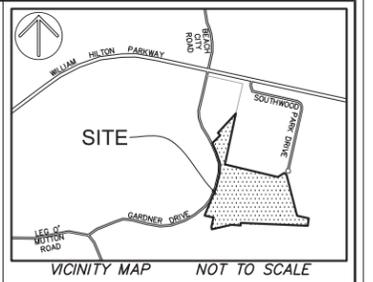
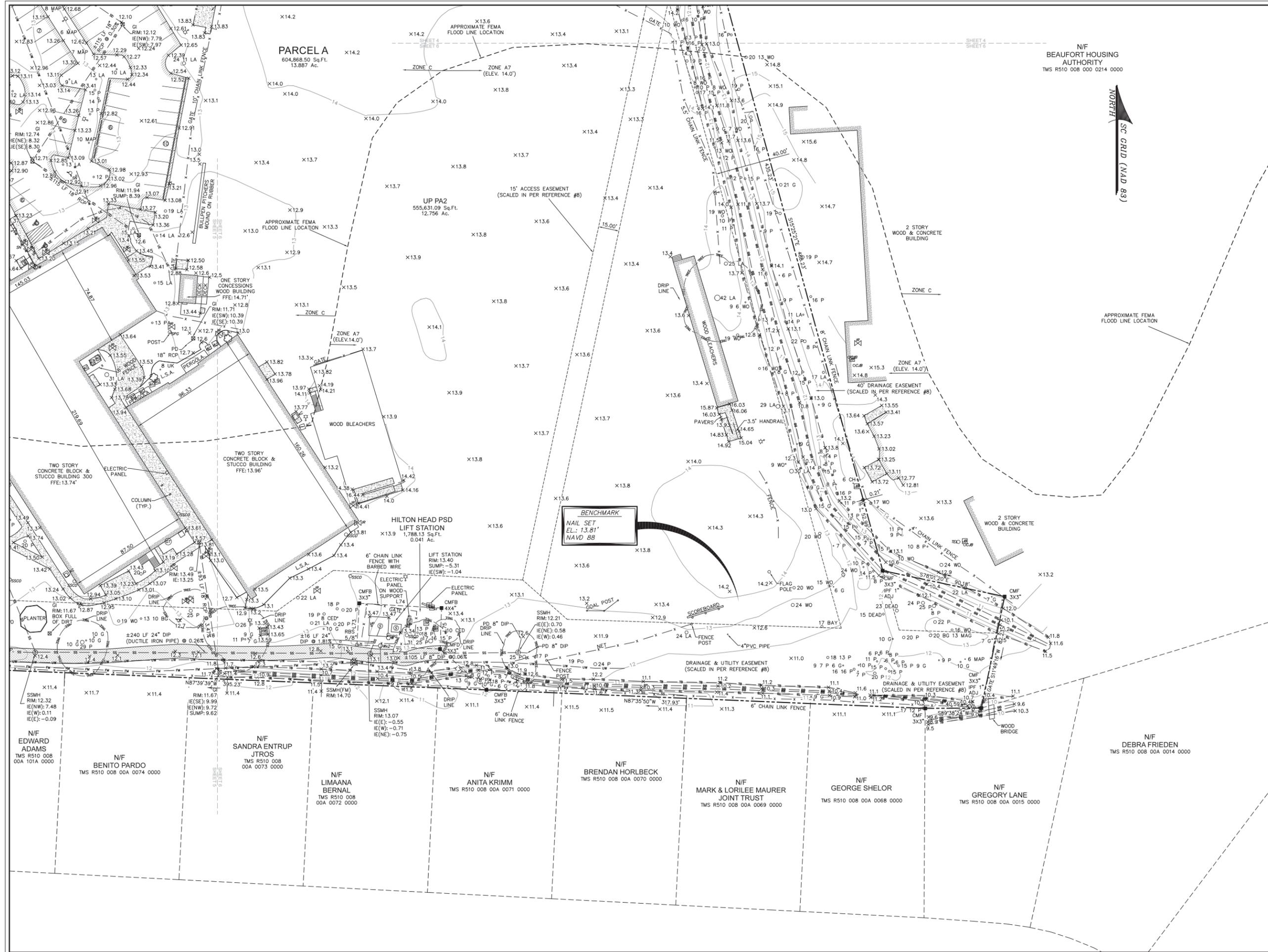
THE TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: NCM
FIELD CHECK: JWR
DRAWN BY: KWF
DATE: 08-19-2019
SCALE: 1"=100'
PROJECT No.: BFT-19001
FILE: BFT-19001 ATLEW6



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N/F
BEAUFORT HOUSING
AUTHORITY
TMS R510 008 000 0214 0000

NORTH
SC GRID (NAD 83)

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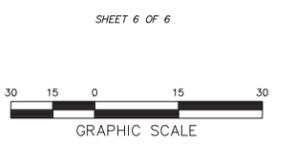
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#55 GARDNER DRIVE

TAX PARCEL No. R510 008 000 098A 0000

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BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: NCM
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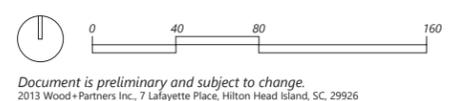


LEGEND	
	Setbacks & Buffers
	Suitable Development Area <i>(Existing Parking Lots, Buildings, Multi-Use Field)</i>
	Specimen Trees* <i>(28/18 Magnolia Not Shown. See Survey)</i>
	Existing Tree Canopy To Remain
	Flood Zone Limit
	Existing Utility Easements* <i>Final Easements to be re-platted and adjusted based on proposed infrastructure</i>
	Existing Retention Pond
	Pedestrian Access
	Vehicular Access <i>(Median Strip Present within Gardner Dr.)</i>

Project No: 01-19028 Date: 10-08-2019 Scale: 1" = 40'-00" Conceptual Design Review Board

SITE INVENTORY & ANALYSIS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina

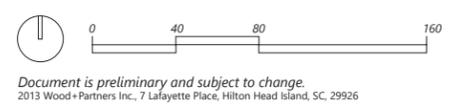


LEGEND

 Proposed Site Plan Overlay



Project No: 01-19028 Date: 10-08-2019 Scale: 1" = 40'-00" Conceptual Design Review Board



SITE PLAN OVERLAY
55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina





PROPERTY SUMMARY:

PROJECT NAME:	55 Gardner Drive
ZONING DISTRICT:	PD-1
OVERLAY DISTRICT:	COR
PARCEL NUMBER:	R510 008 000 098A 0000
ADDRESS:	55 Gardner Drive
GROSS SITE ACREAGE:	13.877 ACRES
EXISTING IMPERV. COVER:	±3.5 ACRES
PROPOSED IMPERV. COVER:	270,725 S.F. (44.7%)
OPEN SPACE PROVIDED:	7.59 AC (55%)
BUILDING USE:	Multi-Family

DEVELOPMENT SUMMARY:

PROPOSED MF UNITS:	260 UNITS
PARKING REQUIRED:	
1.4 spaces / 1 bed x 102	143 SPACES
1.7 spaces / 2 bed x 128	218 SPACES
2 spaces / 3 bed x 30	60 SPACES
TOTAL REQUIRED	421 SPACES

PARKING PROVIDED:

1 SURFACE/1 GARAGE/UNIT	103 SPACES
SURFACE PARKING	318 SPACES
TOTAL PROVIDED	421 SPACES*

9 ADA SPACES REQUIRED (2 VAN)
10 ADA SPACES PROVIDED (6) VAN

SITE CALCULATIONS:

13.887 TOTAL ACRES
TOTAL ALLOWABLE IMPERVIOUS CAP: 45% OR 6.25 AC
TOTAL IMPERVIOUS COVER SHOWN: 6.21 AC [44.7%]

• BUILDINGS	2.69 AC (117,354 S.F.) [19.4%]
• ASPHALT	2.45 AC (106,801 S.F.)
• DUMPSTER PAD	0.01 AC (418 S.F.)
• POOL AREA	0.22 AC (10,222 S.F.)
• COURTS	0.09 AC (3,843 S.F.)
• WALKS / MISC.	0.74 AC (32,087 S.F.)

PERMEABLE HARDSCAPE SHOWN : 1.13 AC

• PERMEABLE PAVERS	0.74 AC (32,314 S.F.)
• PERMEABLE CONC. (OR GRAVEL)	0.39 AC (17,148 S.F.)

Project No: 01-19028 Date: 10-08-2019 Scale: 1" = 40'-00" Conceptual Design Review Board



Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

CONCEPTUAL SITE PLAN

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina





Project No: 01-19028

Date: 10-08-2019

Scale: 1" = 40'-00"

Conceptual Design Review Board



Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

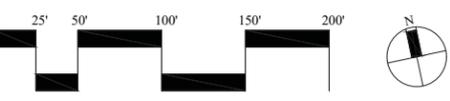
CENTRAL GREEN & CAMPUS CHARACTER

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



PO Box 23949 ■ Hilton Head Island, SC 29926
843.681.6618 ■ Fax 843.681.7066 ■ www.woodandpartners.com

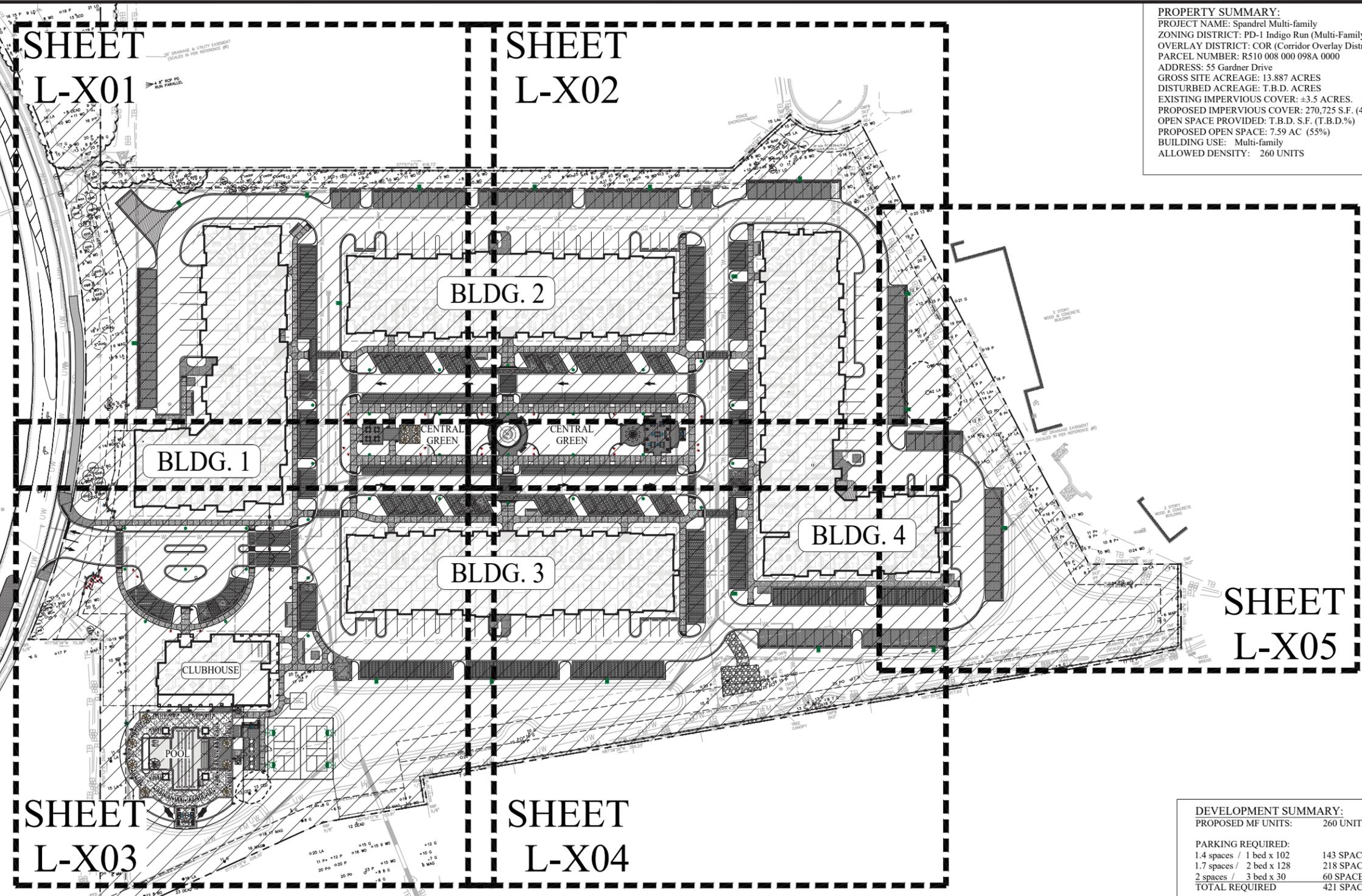
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SCALE: 1" = 50'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



PROPERTY SUMMARY:
 PROJECT NAME: Spandrel Multi-family
 ZONING DISTRICT: PD-1 Indigo Run (Multi-Family)
 OVERLAY DISTRICT: COR (Corridor Overlay District)
 PARCEL NUMBER: R510 008 000 098A 0000
 ADDRESS: 55 Gardner Drive
 GROSS SITE ACREAGE: 13.887 ACRES
 DISTURBED ACREAGE: T.B.D. ACRES
 EXISTING IMPERVIOUS COVER: ±3.5 ACRES. (25.3%)
 PROPOSED IMPERVIOUS COVER: 270,725 S.F. (44.7%)
 OPEN SPACE PROVIDED: T.B.D. S.F. (T.B.D.%)
 PROPOSED OPEN SPACE: 7.59 AC (55%)
 BUILDING USE: Multi-family
 ALLOWED DENSITY: 260 UNITS



Client Info:
 SDP, LLC
 205E. 42nd St, 20th Floor
 New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

55 GARDNER DRIVE

BEAUFORT COUNTY
 HILTON HEAD ISLAND, SC 29926

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DRAWN BY:
 JS
 CHECKED BY:
 TT

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REVISION	DATE	BY

DATE
 10-08-2019
 PROJECT NUMBER
 01-18055
 SHEET TITLE

Overall Site Plan

SHEET NUMBER

L-100

13.887 TOTAL ACRES
 TOTAL ALLOWABLE IMPERVIOUS CAP: 45% OR 6.25 AC

TOTAL IMPERVIOUS COVER SHOWN: 6.21 AC [44.7%]

- BUILDINGS 2.69 AC (117,354 S.F.) [19.4%]
- ASPHALT 2.45 AC (106,801 S.F.)
- DUMPSTER PAD 0.01 AC (418 S.F.)
- POOL AREA 0.22 AC (10,222 S.F.)
- COURTS 0.09 AC (3,843 S.F.)
- WALKS / MISC. 0.74 AC (32,087 S.F.)

PERMEABLE HARDSCAPE SHOWN: 1.13 AC

- PERMEABLE PAVERS 0.74 AC (32,314 S.F.)
- PERMEABLE CONC. 0.39 AC (17,148 S.F.) (OR GRAVEL)

DEVELOPMENT SUMMARY:
 PROPOSED MF UNITS: 260 UNITS

PARKING REQUIRED:

1.4 spaces / 1 bed x 102	143 SPACES
1.7 spaces / 2 bed x 128	218 SPACES
2 spaces / 3 bed x 30	60 SPACES
TOTAL REQUIRED	421 SPACES

PARKING PROVIDED:

1 SURFACE/1 GARAGE/UNIT	103 SPACES
SURFACE PARKING	318 SPACES
TOTAL PROVIDED	421 SPACES*

EXCESS PARKING SHALL BE PERMEABLE PAVEMENT INCLUDING DRIVEWAYS AND ON-STREET PARKING AREAS.

BIKE PARKING REQUIRED: (16-5-104 H.7)
 4 PER 10 REQ. VEH. PARKING SPACES UNTIL 20
 THEN: 2 PER 10 REQ. VEH. PARKING SPACES

FIRST 50 VEH. SPACES REQ. / 10 = (5)
 REMAINING 371 VEH. SPACES REQ. / 10 = (37)

(5) x 4 BIKE SPACES	=	20 SPACES
(37) x 2 BIKE SPACES	=	74 SPACES
TOTAL REQUIRED	=	94 SPACES

BIKE PARKING PROVIDED:
 (12) x 8 SPACE RACKS = 96 SPACES

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SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6")	S16 MAIN ID SIGN WALL
S2 ADA DOME TILE	S17 POOL ENCLOSURE & GATES
S3 PEDESTRIAN PAVERS	S18 VEHICULAR ENTRY GATE W/ READER
S4 PAVER BANDING	S19 MAIN PEDESTRIAN ENTRY GATE
S5 ASPHALT MULTI-USE PATH	S20 SCHEMATIC FOUNTAIN
S6 POOL DECK & COPING	S21 OUTDOOR KITCHEN & BAR (GREEN)
S7 VEHICULAR PERMEABLE PAVERS	S22 SUMMER KITCHEN & BAR (POOL)
S8 VEHICULAR PERMEABLE PAVING	S23 CANTILEVERED TRELLIS (POOL)
S9 STAMPED ASPHALT CROSSWALK	S24 CANTILEVERED TRELLIS (GREEN)
S10 GRAVEL PERMEABLE PAVING	S25 NOT USED
S11 SMALL AREA DRAINS	S26 PICKLEBALL COURT
S12 DUMPSTER ENCLOSURE	S27 NOT USED
S13 PERIMETER OPAQUE FENCE, 6' HT.	S28 VEHICULAR CHARGING STATION
S14 DECORATIVE ENTRY FENCE	S29 NOT USED
S15 BRICK ENTRY COLUMN	S30 FIREPIT

ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN)	A3 POOL EQUIPMENT ENCLOSURE
A2 POOL PAVILION	A4 NOT USED

POOL & WATER ELEMENTS:

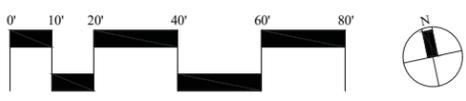
SP1 POOL W/ ZERO ENTRY	SP4 EMERGENCY POOL CUTOFF
SP2 ZERO ENTRY UMBRELLA, 12' DIA.	SP5 POOL SHOWER & FOOT WASH
SP3 POOL RULES SIGN	SP6 DRINKING FOUNTAIN

MATERIAL SCHEDULE

4" CONCRETE:	
6" CONCRETE:	
ARTIFICIAL TURF:	
PEDESTRIAN PAVERS:	
ADA DOME TILE	
ASPHALT MULTI-USE PATH	
POOL DECK & COPING:	
VEHICULAR PAVERS - TYPE 1	
VEHICULAR PAVERS - TYPE 2	
VEHICULAR PAVING	
GRAVEL PAVING	
CONTROL JOINT:	
EXPANSION JOINT:	
PLANTING AREA:	

SITE FURNISHINGS SCHEDULE

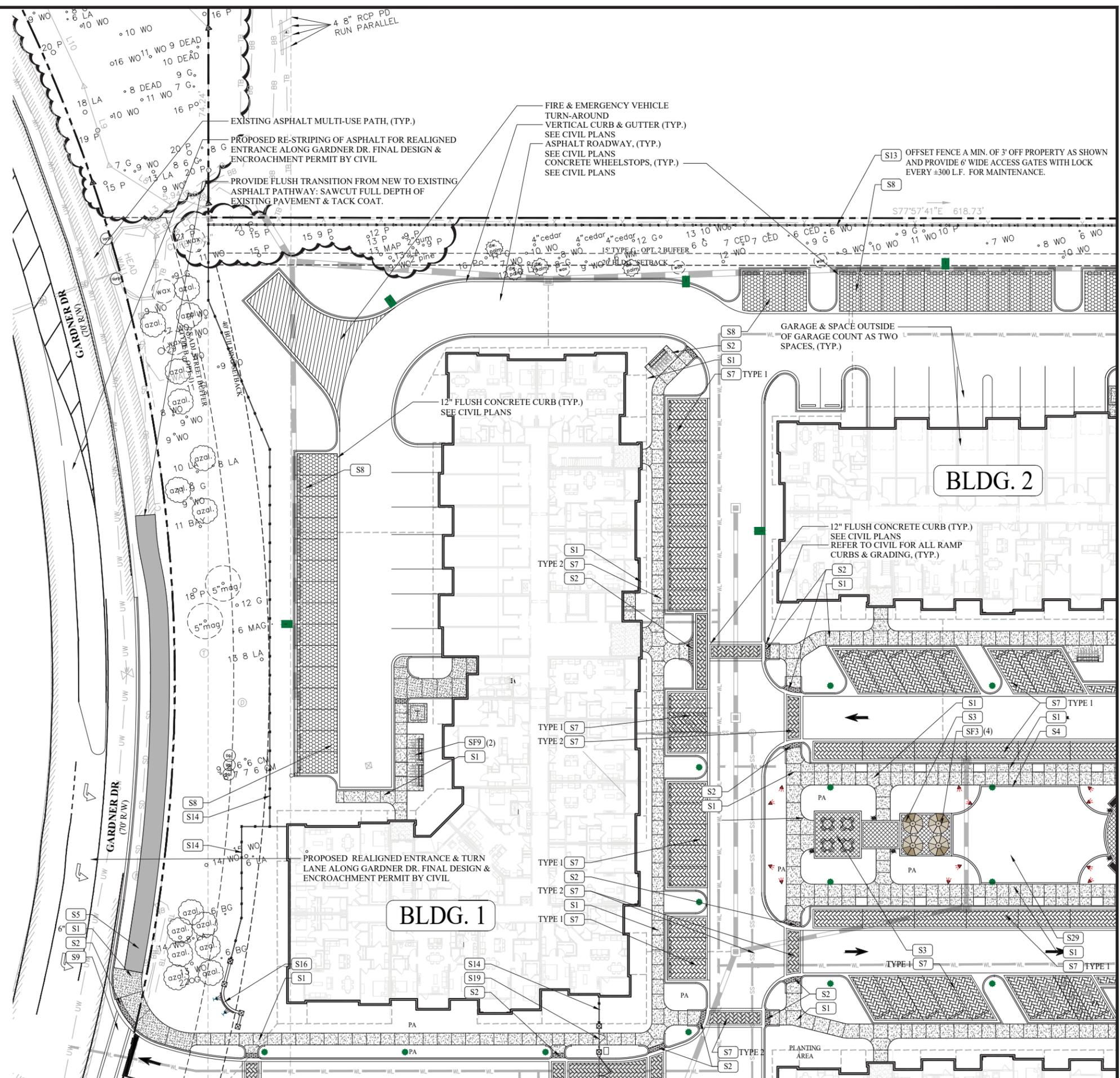
SF1 CHAISE LOUNGE	
SF2 WATER LOUNGER	
SF3 UMBRELLA & BASE	
SF4 MOVEABLE CHAIRS / MISC.	
SF5 CAFE TABLE & CHAIRS	
SF6 BENCH	
SF7 PICNIC TABLE	
SF8 TRASH RECEPTACLE	
SF9 BIKE RACKS	
SF10 HAMMOCK	
SF11 RAISED PLANTER	
SF12 FLAGPOLE	
SF13 EMERGENCY TELEPHONE	



SCALE: 1" = 20'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



Client Info:
 SDP, LLC
 205E. 42nd St, 20th Floor
 New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DRAWN BY:
 JS
 CHECKED BY:
 TT

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REVISION	DATE	BY

DATE
 10-08-2019
 PROJECT NUMBER
 01-18055
 SHEET TITLE
 Site Plan

SHEET NUMBER
 L-101

55 GARDNER DRIVE
 BEAUFORT COUNTY
 HILTON HEAD ISLAND, SC 29926

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SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6")	S16 MAIN ID SIGN WALL
S2 ADA DOME TILE	S17 POOL ENCLOSURE & GATES
S3 PEDESTRIAN PAVERS	S18 VEHICULAR ENTRY GATE W/ READER
S4 PAVER BANDING	S19 MAIN PEDESTRIAN ENTRY GATE
S5 ASPHALT MULTI-USE PATH	S20 SCHEMATIC FOUNTAIN
S6 POOL DECK & COPING	S21 OUTDOOR KITCHEN & BAR (GREEN)
S7 VEHICULAR PERMEABLE PAVERS	S22 SUMMER KITCHEN & BAR (POOL)
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S9 STAMPED ASPHALT CROSSWALK	S24 CANTILEVERED TRELLIS (GREEN)
S10 GRAVEL PERMEABLE PAVING	S25 NOT USED
S11 SMALL AREA DRAINS	S26 PICKLEBALL COURT
S12 DUMPSTER ENCLOSURE	S27 NOT USED
S13 PERIMETER OPAQUE FENCE, 6' HT.	S28 VEHICULAR CHARGING STATION
S14 DECORATIVE ENTRY FENCE	S29 NOT USED
S15 BRICK ENTRY COLUMN	S30 FIREPIT

ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN)	A3 POOL EQUIPMENT ENCLOSURE
A2 POOL PAVILION	A4 NOT USED

POOL & WATER ELEMENTS:

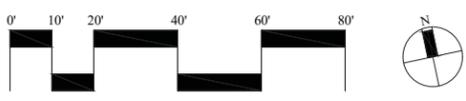
SP1 POOL W/ ZERO ENTRY	SP4 EMERGENCY POOL CUTOFF
SP2 ZERO ENTRY UMBRELLA, 12' DIA.	SP5 POOL SHOWER & FOOT WASH
SP3 POOL RULES SIGN	SP6 DRINKING FOUNTAIN

MATERIAL SCHEDULE

4" CONCRETE:	SF1 CHAISE LOUNGE
6" CONCRETE:	SF2 WATER LOUNGER
ARTIFICIAL TURF:	SF3 UMBRELLA & BASE
PEDESTRIAN PAVERS:	SF4 MOVEABLE CHAIRS / MISC.
ADA DOME TILE	SF5 CAFE TABLE & CHAIRS
ASPHALT MULTI-USE PATH	SF6 BENCH
POOL DECK & COPING:	SF7 PICNIC TABLE
VEHICULAR PAVERS - TYPE 1	SF8 TRASH RECEPTACLE
VEHICULAR PAVERS - TYPE 2	SF9 BIKE RACKS
VEHICULAR PAVING	SF10 HAMMOCK
GRAVEL PAVING	SF11 RAISED PLANTER
CONTROL JOINT:	SF12 FLAGPOLE
EXPANSION JOINT:	SF13 EMERGENCY TELEPHONE
PLANTING AREA:	

SITE FURNISHINGS SCHEDULE

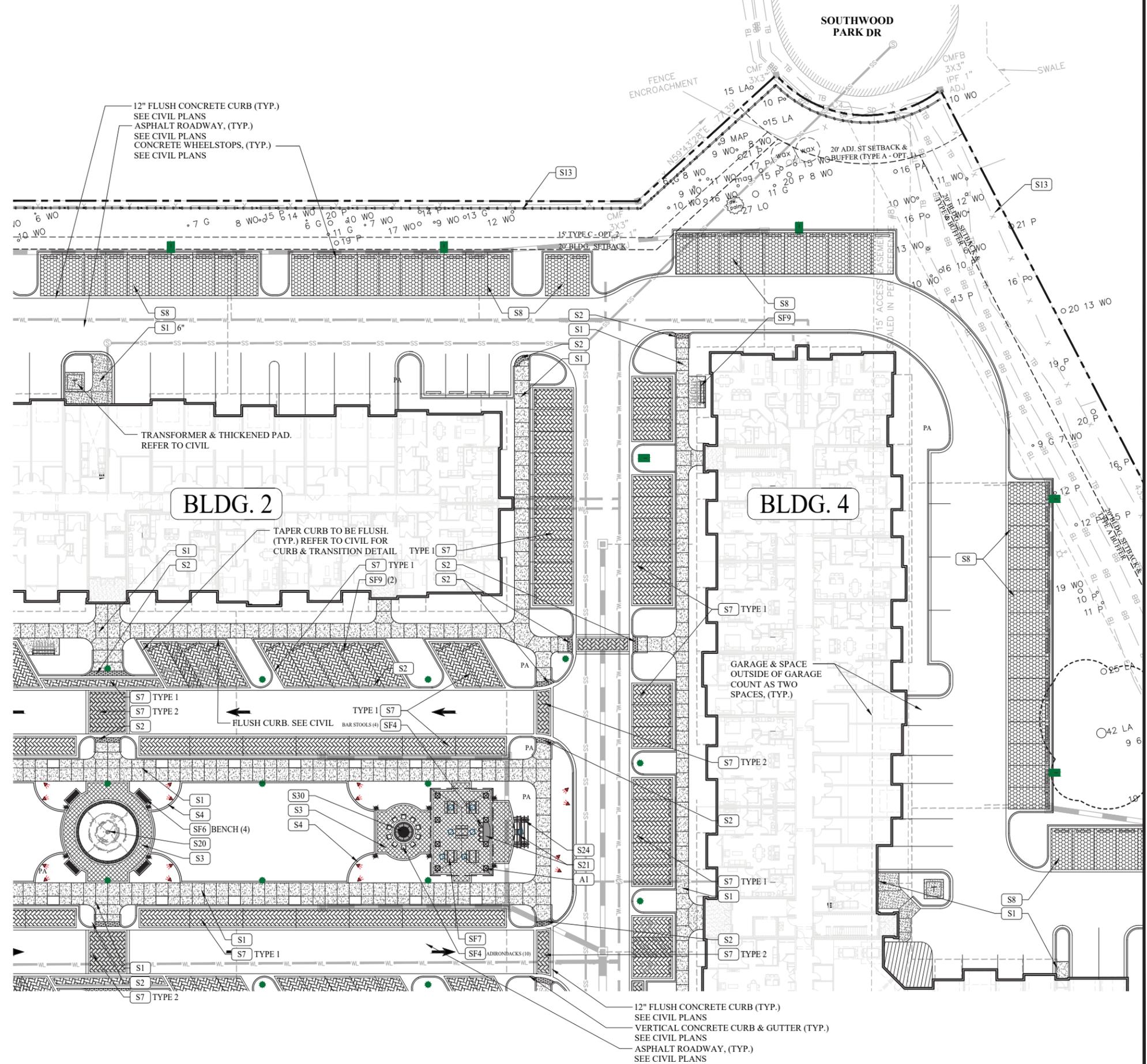
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SCALE: 1" = 20'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



Client Info:
 SDP, LLC
 205E. 42nd St, 20th Floor
 New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

55 GARDNER DRIVE

BEAUFORT COUNTY
 HILTON HEAD ISLAND, SC 29926

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DRAWN BY:
 JS
 CHECKED BY:
 TT

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REVISION	DATE	BY

DATE
 10-08-2019
 PROJECT NUMBER
 01-18055
 SHEET TITLE

Site Plan

SHEET NUMBER

L-102

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SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6")	S16 MAIN ID SIGN WALL
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S11 SMALL AREA DRAINS	S26 PICKLEBALL COURT
S12 DUMPSTER ENCLOSURE	S27 NOT USED
S13 PERIMETER OPAQUE FENCE, 6' HT.	S28 VEHICULAR CHARGING STATION
S14 DECORATIVE ENTRY FENCE	S29 NOT USED
S15 BRICK ENTRY COLUMN	S30 FIREPIT

ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN)	A3 POOL EQUIPMENT ENCLOSURE
A2 POOL PAVILION	A4 NOT USED

POOL & WATER ELEMENTS:

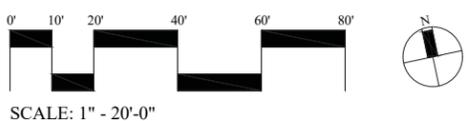
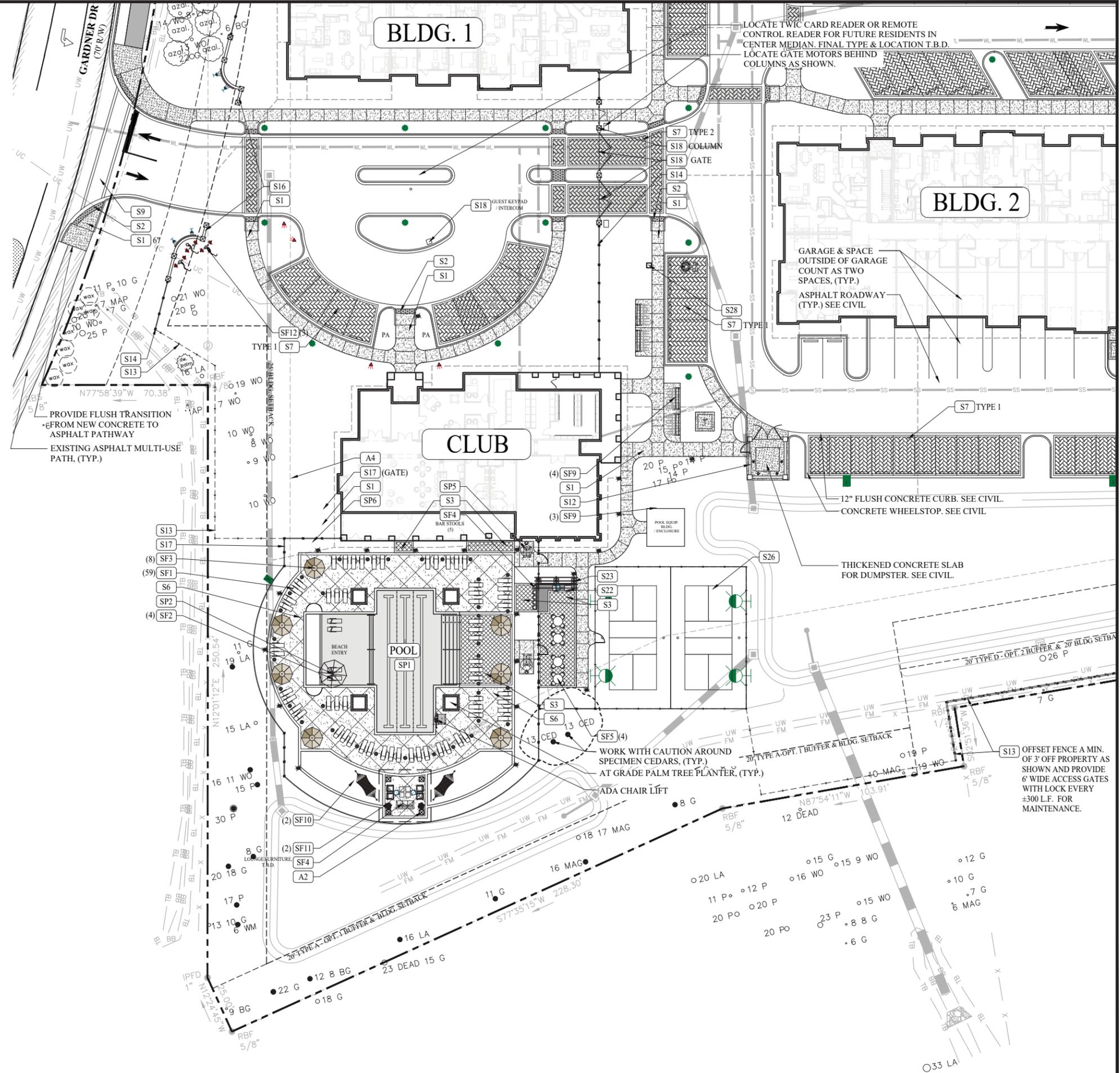
SP1 POOL W/ ZERO ENTRY	SP4 EMERGENCY POOL CUTOFF
SP2 ZERO ENTRY UMBRELLA, 12' DIA.	SP5 POOL SHOWER & FOOT WASH
SP3 POOL RULES SIGN	SP6 DRINKING FOUNTAIN

MATERIAL SCHEDULE

4" CONCRETE:	
6" CONCRETE:	
ARTIFICIAL TURF:	
PEDESTRIAN PAVERS:	
ADA DOME TILE	
ASPHALT MULTI-USE PATH	
POOL DECK & COPING:	
VEHICULAR PAVERS - TYPE 1	
VEHICULAR PAVERS - TYPE 2	
VEHICULAR PAVING	
GRAVEL PAVING	
CONTROL JOINT:	
EXPANSION JOINT:	
PLANTING AREA:	

SITE FURNISHINGS SCHEDULE

SF1 CHAISE LOUNGE	
SF2 WATER LOUNGER	
SF3 UMBRELLA & BASE	
SF4 MOVEABLE CHAIRS / MISC.	
SF5 CAFE TABLE & CHAIRS	
SF6 BENCH	
SF7 PICNIC TABLE	
SF8 TRASH RECEPTACLE	
SF9 BIKE RACKS	
SF10 HAMMOCK	
SF11 RAISED PLANTER	
SF12 FLAGPOLE	
SF13 EMERGENCY TELEPHONE	



SCALE: 1" = 20'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



Client Info:
SDP, LLC
205E. 42nd St, 20th Floor
New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

55 GARDNER DRIVE

BEAUFORT COUNTY
HILTON HEAD ISLAND, SC 29926

DESIGN DEVELOPMENT,
NOT FOR CONSTRUCTION

DRAWN BY:
JS
CHECKED BY:
TT

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REVISION	DATE	BY

DATE
10-08-2019
PROJECT NUMBER
01-18055
SHEET TITLE

Site Plan

SHEET NUMBER

L-103

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SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6")	S16 MAIN ID SIGN WALL
S2 ADA DOME TILE	S17 POOL ENCLOSURE & GATES
S3 PEDESTRIAN PAVERS	S18 VEHICULAR ENTRY GATE W/ READER
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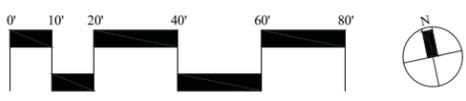
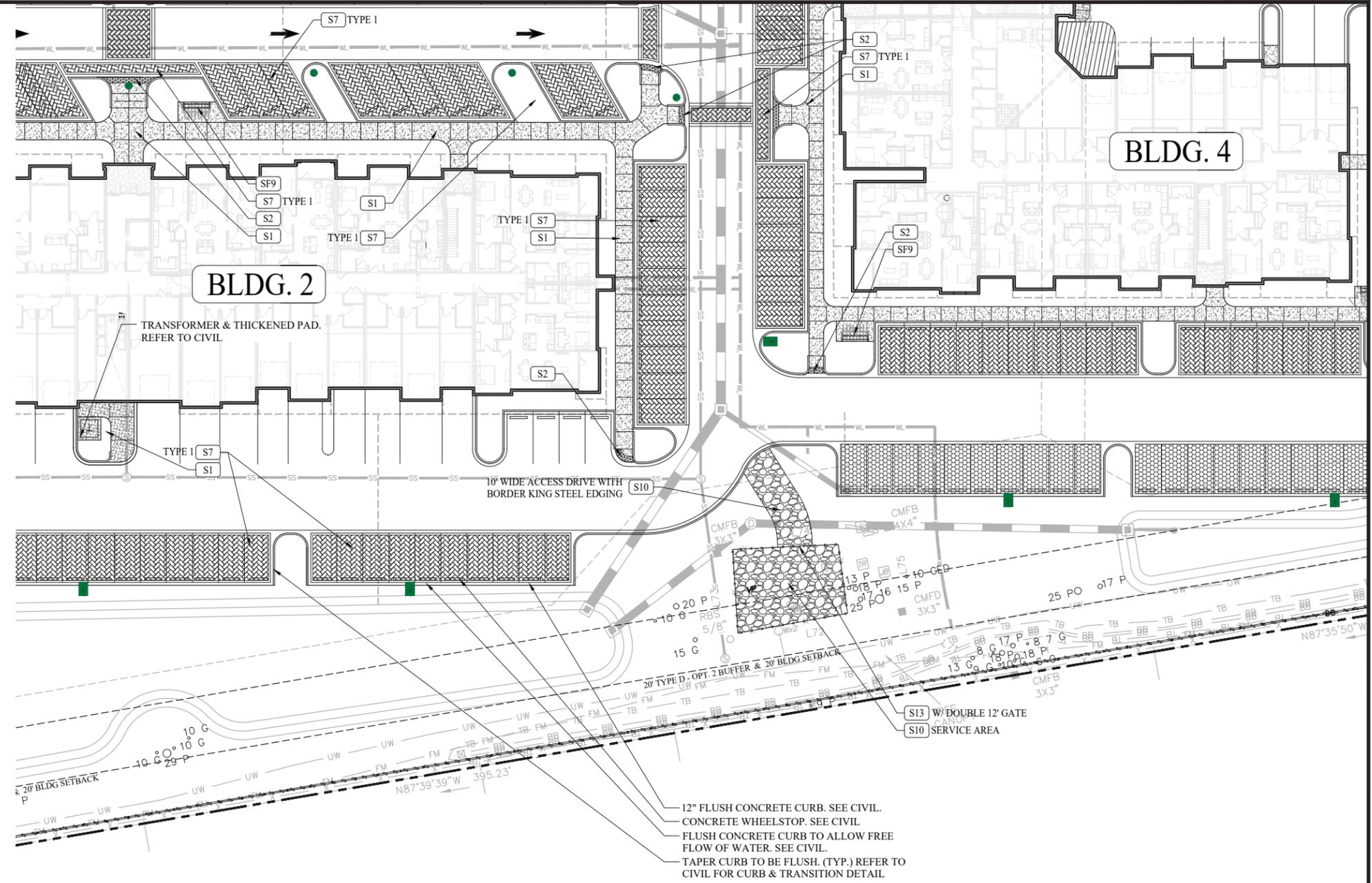
ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN)	A3 POOL EQUIPMENT ENCLOSURE
A2 POOL PAVILION	A4 NOT USED

POOL & WATER ELEMENTS:

SP1 POOL W/ ZERO ENTRY	SP4 EMERGENCY POOL CUTOFF
SP2 ZERO ENTRY UMBRELLA, 12' DIA.	SP5 POOL SHOWER & FOOT WASH
SP3 POOL RULES SIGN	SP6 DRINKING FOUNTAIN

MATERIAL SCHEDULE	SITE FURNISHINGS SCHEDULE
4" CONCRETE:	SF1 CHAISE LOUNGE
6" CONCRETE:	SF2 WATER LOUNGER
ARTIFICIAL TURF:	SF3 UMBRELLA & BASE
PEDESTRIAN PAVERS:	SF4 MOVEABLE CHAIRS / MISC.
ADA DOME TILE	SF5 CAFE TABLE & CHAIRS
ASPHALT MULTI-USE PATH	SF6 BENCH
POOL DECK & COPING:	SF7 PICNIC TABLE
VEHICULAR PAVERS - TYPE 1	SF8 TRASH RECEPTACLE
VEHICULAR PAVERS - TYPE 2	SF9 BIKE RACKS
VEHICULAR PAVING	SF10 HAMMOCK
GRAVEL PAVING	SF11 RAISED PLANTER
CONTROL JOINT:	SF12 FLAGPOLE
EXPANSION JOINT:	SF13 EMERGENCY TELEPHONE
PLANTING AREA:	



SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



Client Info:
SDP, LLC
205E. 42nd St, 20th Floor
New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

55 GARDNER DRIVE

BEAUFORT COUNTY
HILTON HEAD ISLAND, SC 29926

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DRAWN BY:
JS
CHECKED BY:
TT

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REVISION	DATE	BY

DATE
10-08-2019
PROJECT NUMBER
01-18055
SHEET TITLE

Site Plan

SHEET NUMBER

L-104

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SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6")	S16 MAIN ID SIGN WALL
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ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN)	A3 POOL EQUIPMENT ENCLOSURE
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POOL & WATER ELEMENTS:

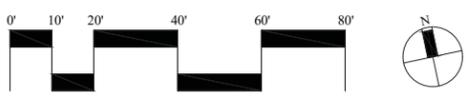
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MATERIAL SCHEDULE

4" CONCRETE:	SF1 CHAISE LOUNGE
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PEDESTRIAN PAVERS:	SF4 MOVEABLE CHAIRS / MISC.
ADA DOME TILE	SF5 CAFE TABLE & CHAIRS
ASPHALT MULTI-USE PATH	SF6 BENCH
POOL DECK & COPING:	SF7 PICNIC TABLE
VEHICULAR PAVERS - TYPE 1	SF8 TRASH RECEPTACLE
VEHICULAR PAVERS - TYPE 2	SF9 BIKE RACKS
VEHICULAR PAVING	SF10 HAMMOCK
GRAVEL PAVING	SF11 RAISED PLANTER
CONTROL JOINT:	SF12 FLAGPOLE
EXPANSION JOINT:	SF13 EMERGENCY TELEPHONE
PLANTING AREA:	

SITE FURNISHINGS SCHEDULE

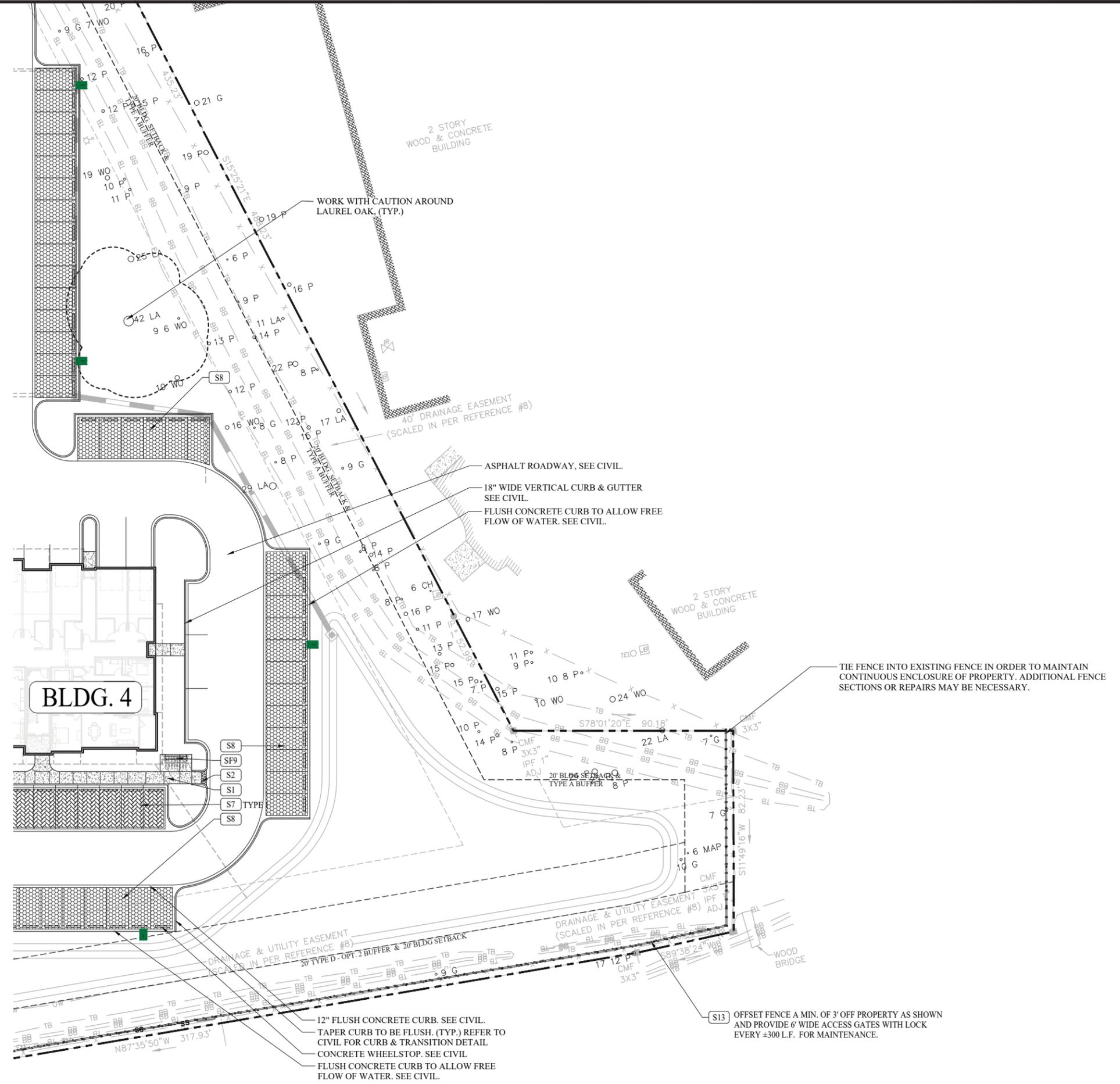
SF1 CHAISE LOUNGE	
SF2 WATER LOUNGER	
SF3 UMBRELLA & BASE	
SF4 MOVEABLE CHAIRS / MISC.	
SF5 CAFE TABLE & CHAIRS	
SF6 BENCH	
SF7 PICNIC TABLE	
SF8 TRASH RECEPTACLE	
SF9 BIKE RACKS	
SF10 HAMMOCK	
SF11 RAISED PLANTER	
SF12 FLAGPOLE	
SF13 EMERGENCY TELEPHONE	



SCALE: 1" = 20'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.



Client Info:
SDP, LLC
205E, 42nd St, 20th Floor
New York, NY 10017

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

55 GARDNER DRIVE

BEAUFORT COUNTY
HILTON HEAD ISLAND, SC 29926

DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

DRAWN BY:
JS
CHECKED BY:
TT

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REVISION	DATE	BY

DATE
10-08-2019
PROJECT NUMBER
01-18055
SHEET TITLE

Site Plan

SHEET NUMBER

L-105



NOTES

- SEE SHEET C701 FOR UTILITY PLAN
- SEE SHEET C702 FOR UTILITY PLAN
- SEE SHEET C703 FOR UTILITY PLAN
- SEE SHEET C704 FOR UTILITY PLAN
- SEE SHEET C705 FOR UTILITY PLAN
- SEE SHEET C706 FOR UTILITY PLAN
- SEE SHEET C707 FOR UTILITY PLAN
- SEE SHEET C708 FOR UTILITY PLAN
- SEE SHEET C709 FOR UTILITY PLAN
- SEE SHEET C710 FOR UTILITY PLAN
- SEE SHEET C711 FOR UTILITY PLAN
- SEE SHEET C712 FOR UTILITY PLAN
- SEE SHEET C713 FOR UTILITY PLAN
- SEE SHEET C714 FOR UTILITY PLAN
- SEE SHEET C715 FOR UTILITY PLAN
- SEE SHEET C716 FOR UTILITY PLAN
- SEE SHEET C717 FOR UTILITY PLAN
- SEE SHEET C718 FOR UTILITY PLAN
- SEE SHEET C719 FOR UTILITY PLAN
- SEE SHEET C720 FOR UTILITY PLAN

WATER SYSTEM LEGEND

PROPOSED	PROPOSED
WATER METER	MR-A1
WATER VALVE	CO
REDUCER	CO
POST INDICATOR VALVE	CO
FIRE HYDRANT	CO
BLOWOFF HYDRANT	CO
YARD HYDRANT	CO
FIRE DEPART. CONN. (FDC)	CO
CAP	CO
PLUG	CO
BACKFLOW PREVENTOR	CO
BUTTERFLY VALVE	CO
FITTINGS	CO
WATER LINE	CO
SERVICE LATERAL	CO

SANITARY SEWER LEGEND

PROPOSED	PROPOSED
SANITARY SEWER MANHOLE	MR-A1
SANITARY SEWER CLEANOUT	CO
SANITARY SEWER WYE	CO
CHECK VALVE IN MANHOLE	CO
PLUG VALVE	CO
AIR RELEASE VALVE	CO
SEWER LINE	SS
FORCE MAIN	FM
SERVICE LATERAL	CO

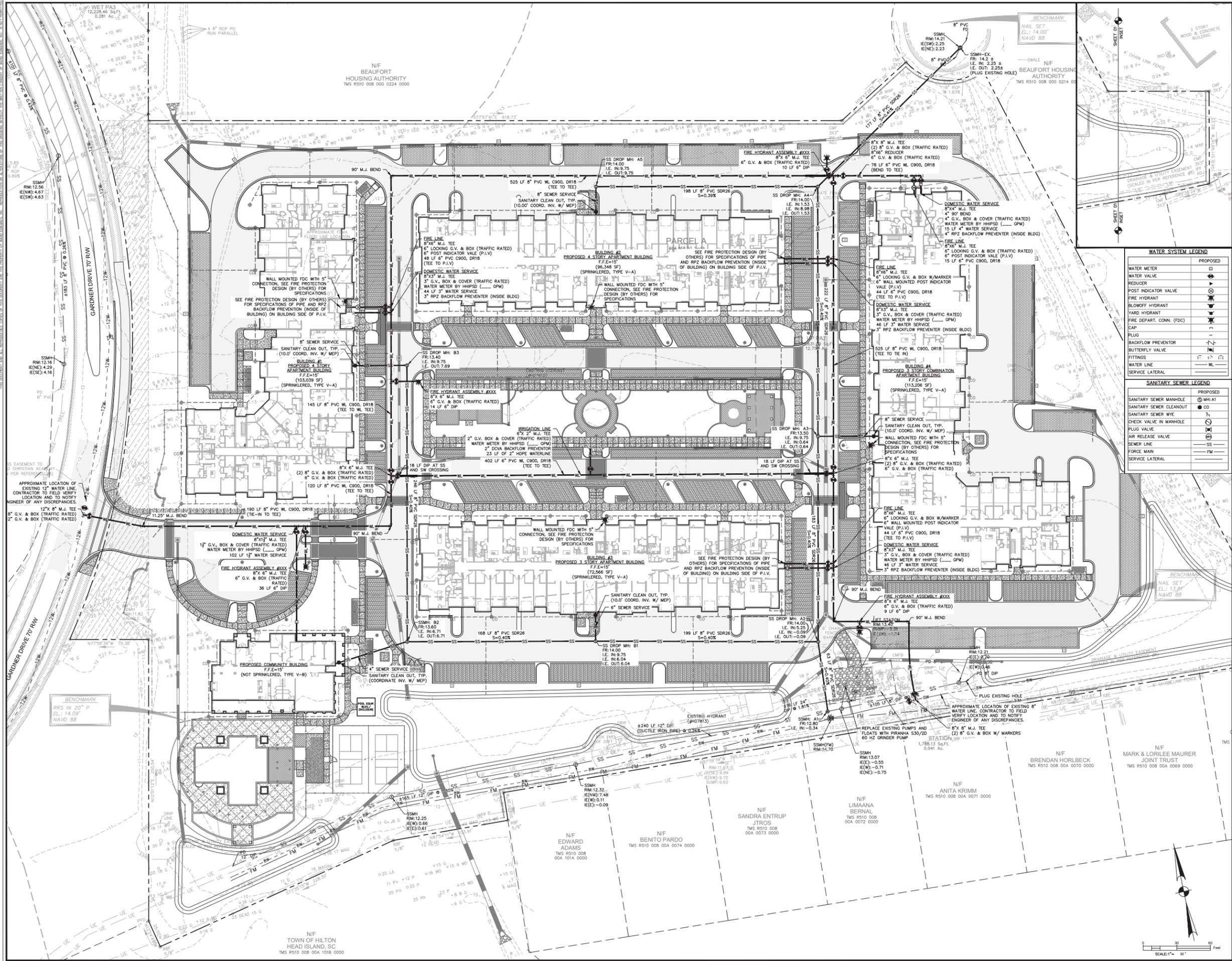
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2	FOR REVISIONS	
3		
4		
5		
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7		
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10		

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 P.O. BOX 381, BEAUFORT, SOUTH CAROLINA 29910
 PH: (843) 853-5400 FAX: (843) 857-2558
 WWW.WARDEWARDS.COM

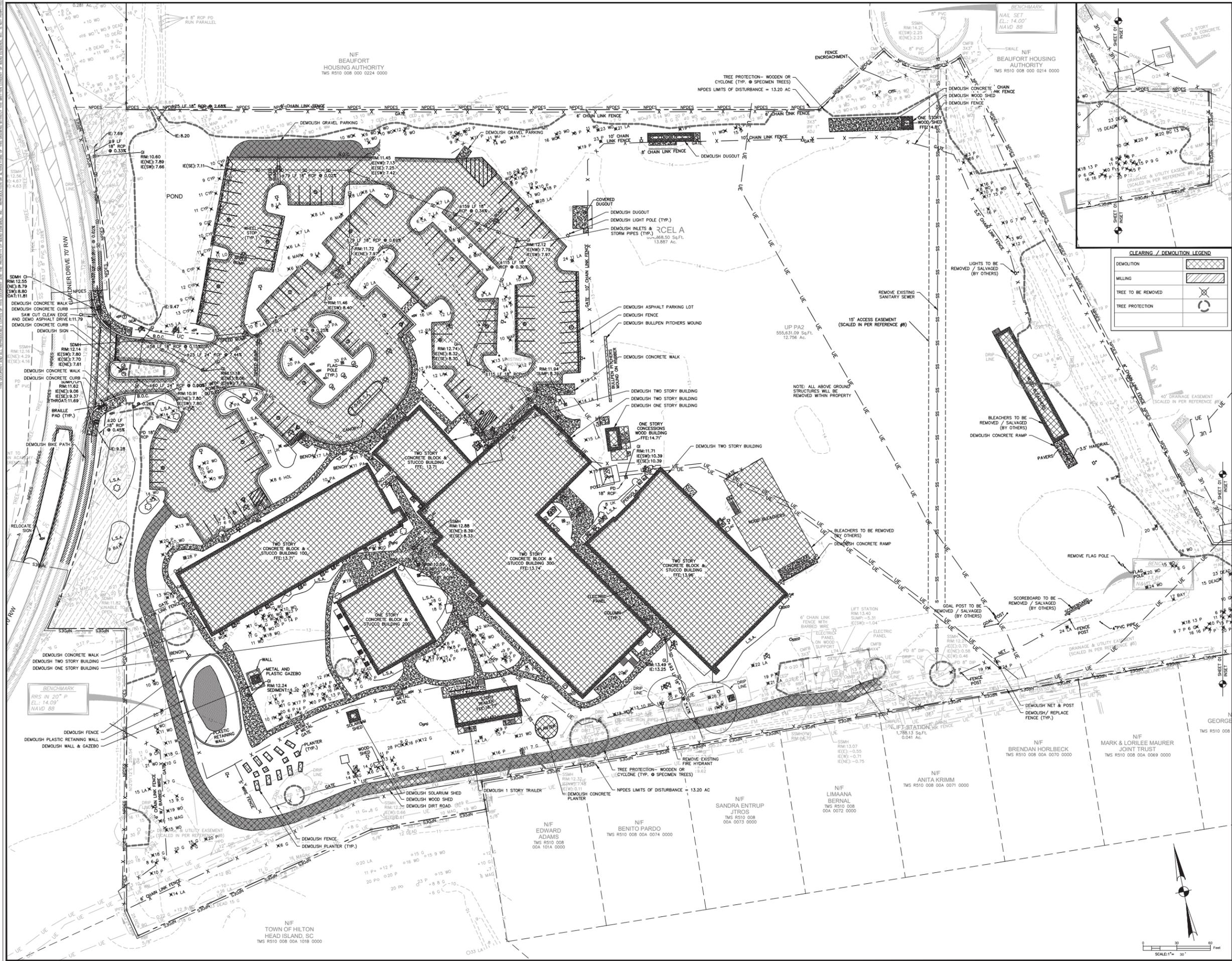
55 GARDNER DRIVE
 BEAUFORT COUNTY, SOUTH CAROLINA
SDP HHI, LLC
 NEW YORK, NEW YORK
UTILITY PLAN

VERTICAL DATUM: NAVD88
 PROJECT #: 00071
 DATE: 04/18/19
 DESIGNED BY: TCR
 CHECKED BY: ELM

SHEET C701



IF THIS SHEET IS LESS THAN 30" X 42" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



CLEARING / DEMOLITION LEGEND

DEMOLITION	
MILLING	
TREE TO BE REMOVED	
TREE PROTECTION	

NOTES

1. ALL ABOVE GROUND STRUCTURES WILL BE REMOVED WITHIN PROPERTY.
2. REMOVE EXISTING SANITARY SEWER.
3. 15' ACCESS EASEMENT (SCALED IN PER REFERENCE #).
4. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
5. DEMOLISH CONCRETE RAMP.
6. REMOVE FLAG POLE.
7. SCOREBOARD TO BE REMOVED / SALVAGED (BY OTHERS).
8. GOAL POST TO BE REMOVED / SALVAGED (BY OTHERS).
9. FENCE POST.
10. DEMOLISH NET & POST FENCE / REPLACE FENCE (TYP.).
11. DEMOLISH CONCRETE RAMP.
12. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
13. DEMOLISH CONCRETE RAMP.
14. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
15. DEMOLISH CONCRETE RAMP.
16. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
17. DEMOLISH CONCRETE RAMP.
18. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
19. DEMOLISH CONCRETE RAMP.
20. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
21. DEMOLISH CONCRETE RAMP.
22. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
23. DEMOLISH CONCRETE RAMP.
24. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
25. DEMOLISH CONCRETE RAMP.
26. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
27. DEMOLISH CONCRETE RAMP.
28. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).
29. DEMOLISH CONCRETE RAMP.
30. BLEACHERS TO BE REMOVED / SALVAGED (BY OTHERS).

NO.	DESCRIPTION	DATE
1	PLAN REVISIONS	
2		
3		
4		
5		
6		
7		
8		
9		
10		

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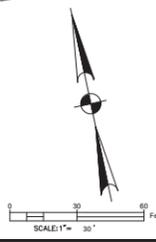
55 GARDNER DRIVE
 BEAUFORT COUNTY, SOUTH CAROLINA
SDP HHI, LLC
 NEW YORK, NEW YORK

CLEARING & DEMOLITION PLAN

VERTICAL DATUM: NAVD88

PROJECT #	00271
DATE	04/8/19
DESIGNED BY	TCR
CHECKED BY	ELM

SHEET C301



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6 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"

5 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"

4 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"



3 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"

1 BUILDING TYPE I - ELEVATION
 SCALE: 3/32" = 1'-0"

55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANDREL DEVELOPMENT PARTNERS

HUMPHREYS & PARTNERS
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 CERTIFICATE #AA 0003227



SHEET CONTENTS:
 BUILDING TYPE I
 ELEVATIONS
 SHEET NO.

A-4.16

DD SUBMITTAL SET 8-30-2019

Drawn By: _____
 Checked By: _____
 Date Plotted: 9 September 2019
 Issue Date: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions:

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4 BUILDING TYPE II A - ELEVATION
 SCALE: 3/32" = 1'-0"

3 BUILDING TYPE II A - ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING TYPE II A - ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II A - ELEVATION
 SCALE: 3/32" = 1'-0"

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DD SUBMITTAL SET 8-30-2019

55 GARDNER DRIVE
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SHEET CONTENTS:
 BUILDING TYPE II A
 ELEVATIONS
 SHEET NO.

A-4.26

2018565

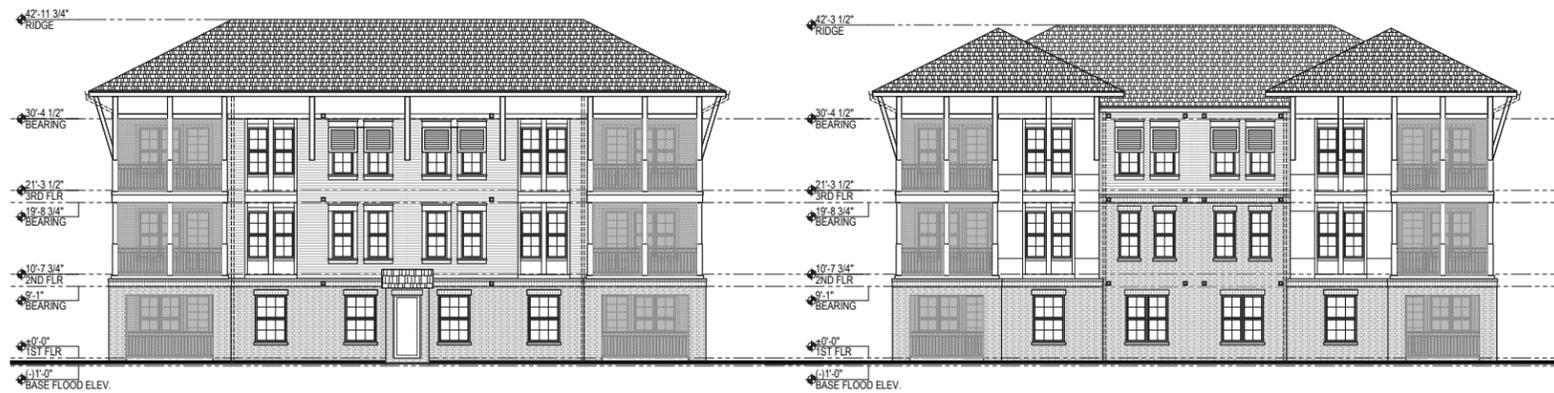
Drawn By: _____
 Checked By: _____
 Date Plotted: 9 September 2019
 Issue Date: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

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#	DATE	COMMENTS

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4 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"

3 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE II B - ELEVATION
 SCALE: 3/32" = 1'-0"

55 GARDNER DRIVE
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 TORONTO - CHENNAI - DUBAI - HANOI - MONTEVIDEO
 CERTIFICATE #AA 000327



SHEET CONTENTS:
 BUILDING TYPE II B
 ELEVATIONS

SHEET NO.

A-4.35

2018565

DD SUBMITTAL SET 8-30-2019

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 Checked By: _____
 Date Plotted: 9 September 2019
 Issue Date: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions:		
#	DATE	COMMENTS
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55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

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ARCHITECTS / FLORIDA LLC
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 NEW YORK - SAN RAMON - SCOTTSDALE - EDMONTON -
 TORONTO - CHENNAI - DUBAI - HANOI - MONTEVIDEO
 CERTIFICATE #AA 000327



SHEET CONTENTS:
 BUILDING TYPE III
 ELEVATIONS

SHEET NO.

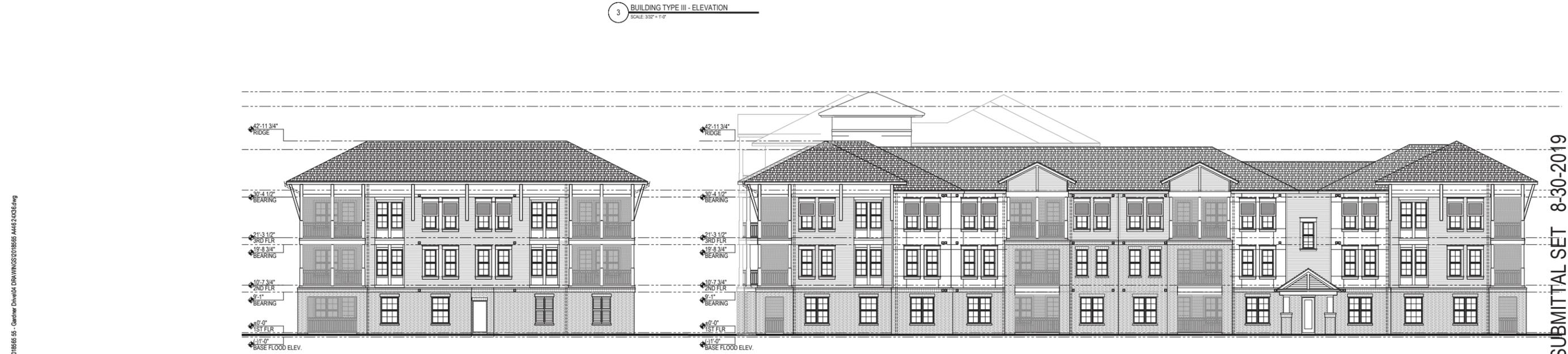
A-4.46

2018565

DD SUBMITTAL SET 8-30-2019



3 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"

1 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"

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F:\2018 Projects\2018565 55 - Gardner Drive\04 DRAWINGS\2018565 55 A47 2.43.19.rvt

Drawn By: _____
 Checked By: _____
 Date Plotted: 9 September 2019
 Issue Date: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions:		
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55 GARDNER DRIVE
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 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

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SHEET CONTENTS:
 BUILDING TYPE III
 ELEVATIONS
 SHEET NO.

A-4.47

2018565

DD SUBMITTAL SET 8-30-2019



3 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"



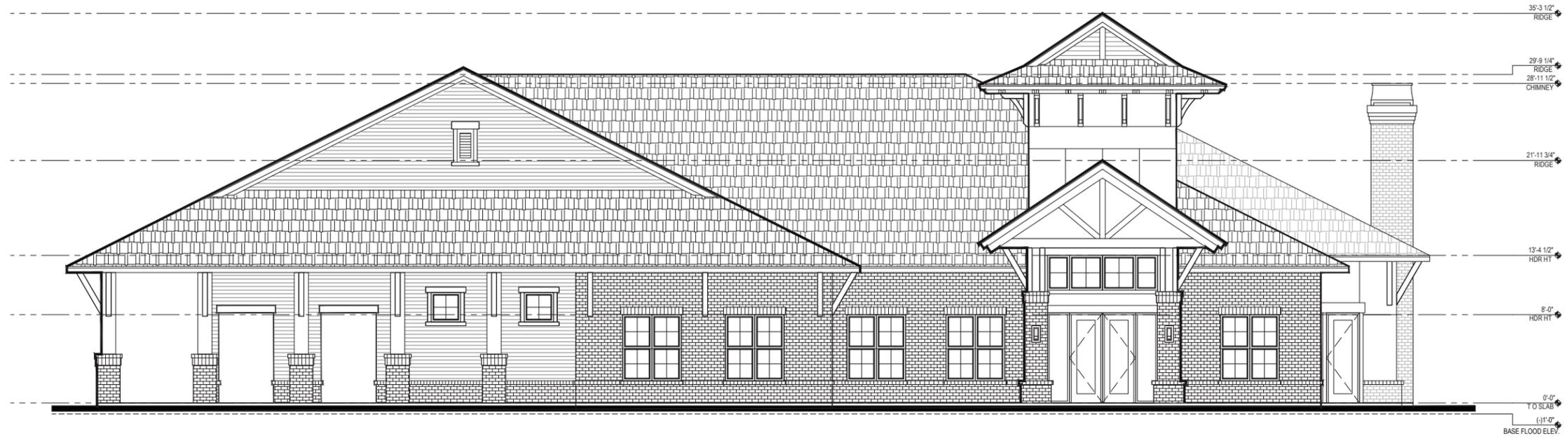
2 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"



1 BUILDING TYPE III - ELEVATION
 SCALE: 3/32" = 1'-0"



2 CLUBHOUSE - REAR ELEVATION
SCALE: 3/16" = 1'-0"



1 CLUBHOUSE - FRONT ELEVATION
SCALE: 3/16" = 1'-0"

Drawn By: _____
Checked By: _____
Date Plotted: 9 September
Issue Date: 2019

Issue for Pricing / Bidding: _____
Issue for Permit Application: _____
Issue for Construction: _____

Revisions:

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55 GARDNER DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

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CERTIFICATE #AA 0003227



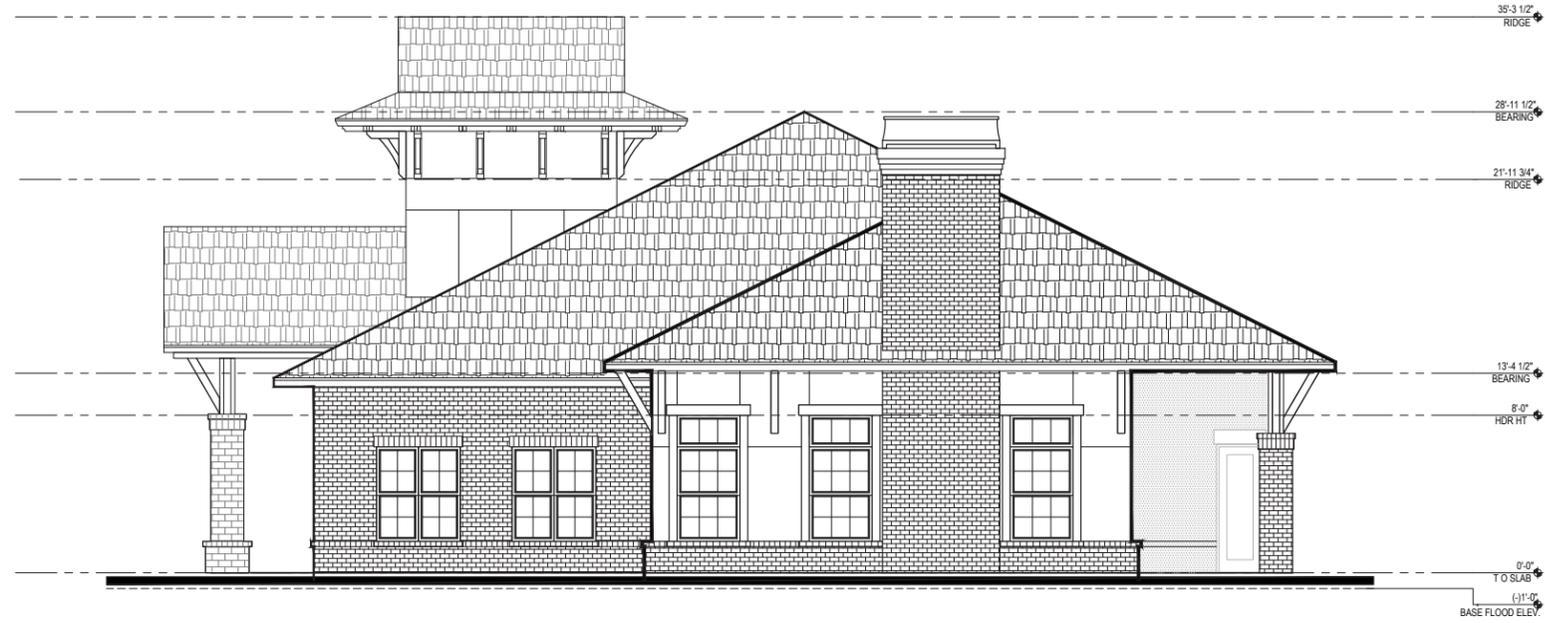
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CLUBHOUSE
ELEVATIONS
SHEET NO.

A-8.13

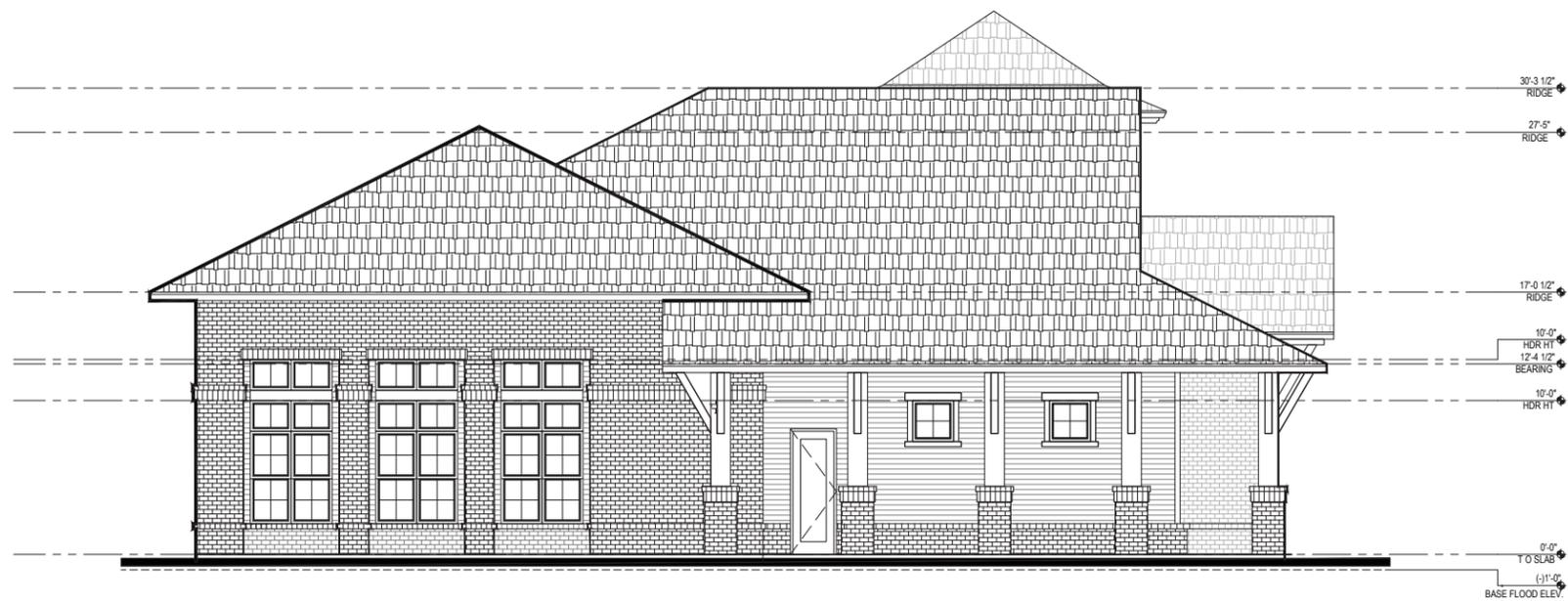
2018565

DD SUBMITTAL SET 8-30-2019

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2 CLUBHOUSE - RIGHT ELEVATION
SCALE 3/16" = 1'-0"



1 CLUBHOUSE - LEFT ELEVATION
SCALE 3/16" = 1'-0"

Drawn By: _____
Checked By: _____
Date Plotted: 9 September 2019
Issue Date: _____

Issue for Pricing / Bidding: _____
Issue for Permit Application: _____
Issue for Construction: _____

Revisions:		
#	DATE	COMMENTS
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BEAUFORT COUNTY, SOUTH CAROLINA
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CERTIFICATE #AA 000327



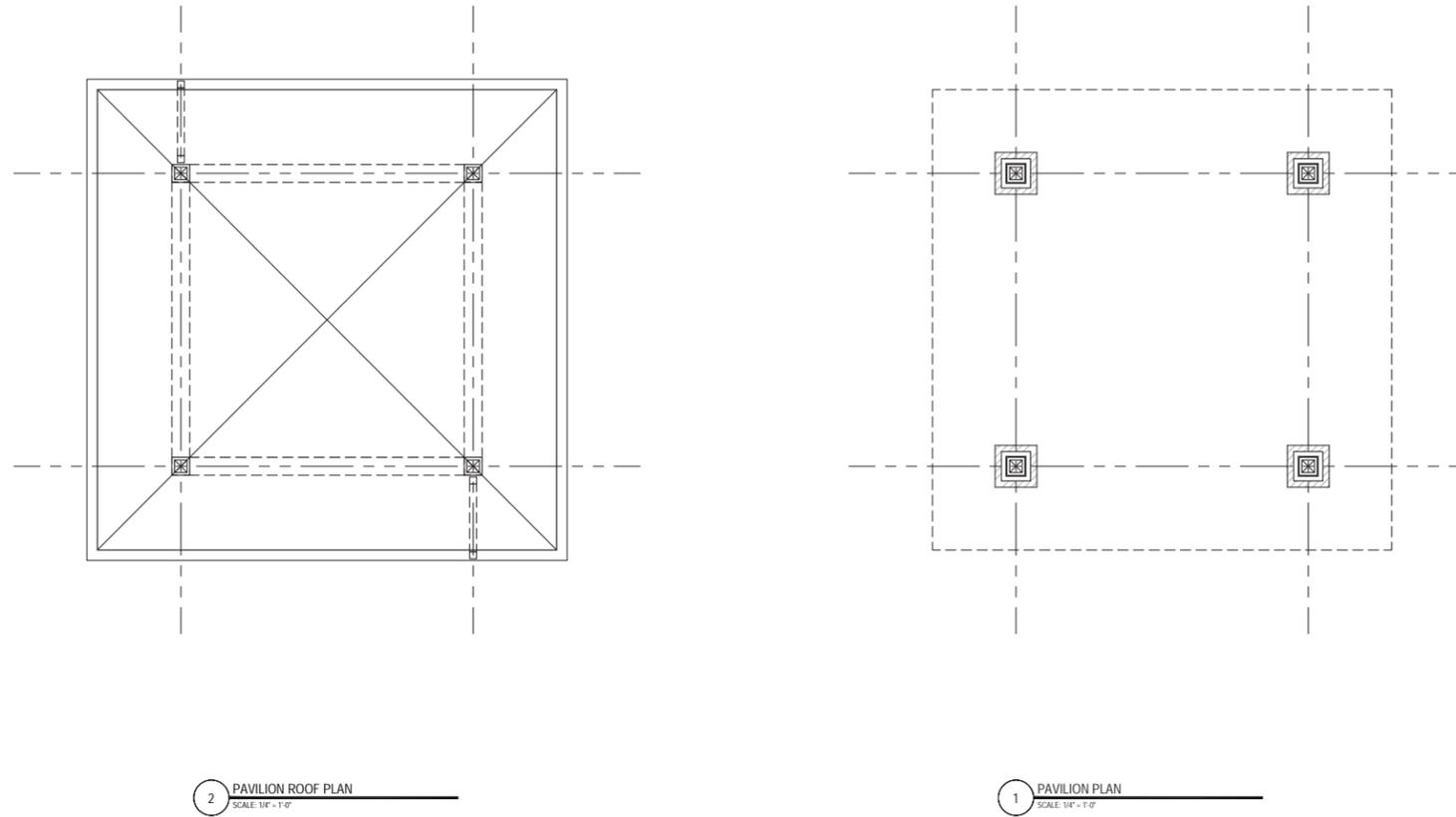
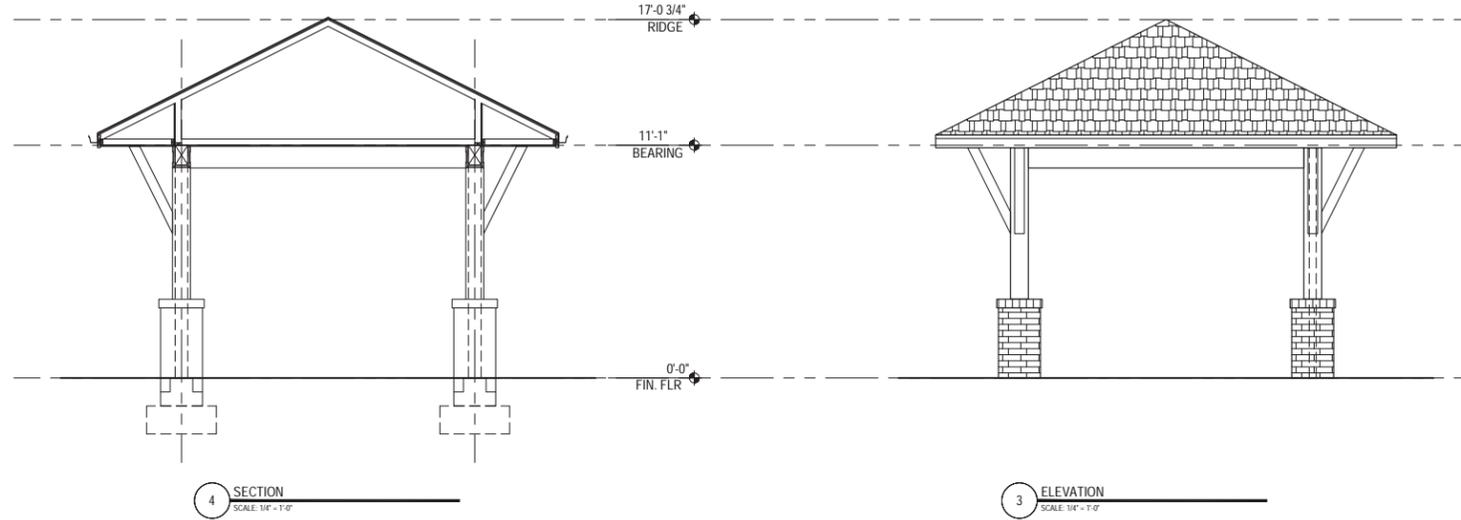
SHEET CONTENTS:
CLUBHOUSE
ELEVATIONS

SHEET NO.

A-8.13

2018565

DD SUBMITTAL SET 8-30-2019



Drawn By: _____
 Checked By: _____
 Date Plotted: 7 October 2019
 Issue Dates: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisors:

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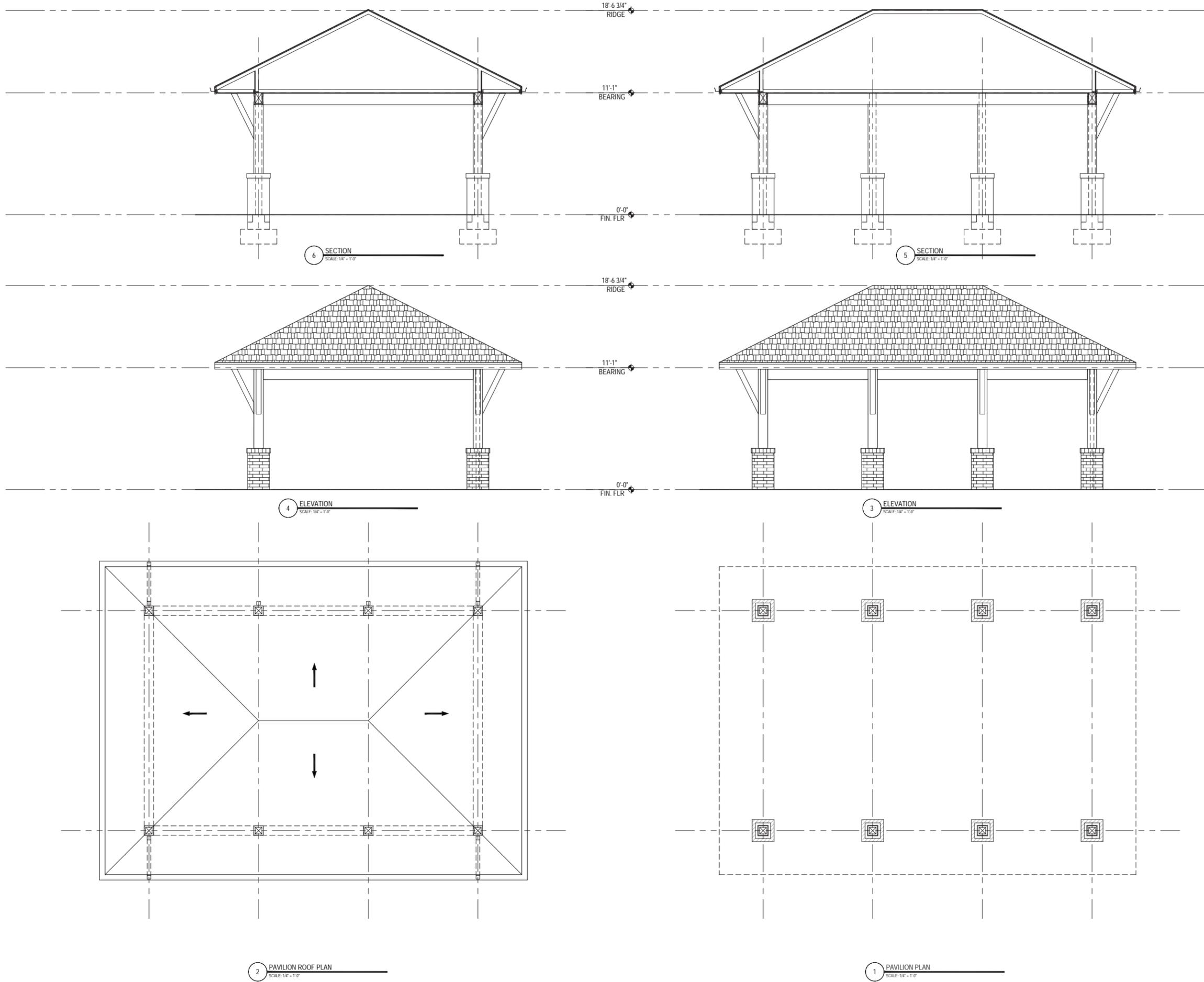


SHEET CONTENTS:
 PAVILION 1 & 1A
 PLANS, ELEVS.& SECTIONS
 SHEET NO.

A-9.10

2018646

DD SUBMITTAL SET 8-30-2019



Drawn By: _____
 Checked By: _____
 Date Plotted: 7 October 2019
 Issue Dates: _____

Issue for Pricing / Bidding: _____
 Issue for Permit Application: _____
 Issue for Construction: _____

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 ARCHITECTS / FLORIDA LLC
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 DALLAS - ORLANDO - NEWPORT - NEW ORLEANS - CHICAGO -
 NEW YORK - SAN RAMON - SCOTTSDALE - EDMONTON -
 TORONTO - CHENNAI - DUBAI - HANOI - MONTEVIDEO
 CERTIFICATE #AA 0003227



SHEET CONTENTS:
 PAVILION 2
 PLANS, ELEVATIONS & SECTIONS
 SHEET NO.

A-9.20

2018565

DD SUBMITTAL SET 8-30-2019

F:\2018 Projects\2018565 55 - Gardner Drive\04 DRAWINGS\2018565 AFD02 A3.dwg

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 55 Gardner Drive

DRB#: DRB-002099-2019

DATE: 10/14/19

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Should be provided at Final

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Should be provided at Final
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider a second roofing material to break up the extensive roof.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Should be provided at Final
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Should be provided at Final

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Additional trees could be saved: <ol style="list-style-type: none"> 1. Shift clubhouse and drop-off toward Gardner to save 28" pine currently in drive isle. 2. Shift clubhouse and drop-off toward Gardner to save 23" pine and other trees left of the front door. 3. There appear to be additional trees in the southern buffer that could be saved.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The conceptual planting plan should include trees in the dry stormwater detention basin and or on the basin banks adjacent to the parking lot to help screen the buildings from the single family residences.