



Town of Hilton Head Island Regular Design Review Board Meeting

September 25, 2018

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of August 28, 2018
6. **New Business**
 - A. *Alteration/Addition*
 - 6 Lagoon, DRB-001931-2018 (withdrawn prior to Aug. 28th meeting)
 - Village House, DRB-002030-2018 (withdrawn during Aug. 14th meeting)
 - B. *New Development – Final*
 - 15 Wimbledon Court, DRB-002029-2018 (Conceptual Approval at June 12th meeting)
7. **Appearance by Citizens**
8. **Staff Report**
9. **Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
August 28, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, Debbie Remke, Brian Witmer, Kyle Theodore

Board Members Excused: Ron Hoffman

Town Council Present: None

Town Staff Present: Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

Mr. Darnell requested the agenda be amended to remove New Business items “Hargray Building, DRB-001925-2018” and “6 Lagoon Road, DRB-001931-2018” as each project was withdrawn by their respective applicant prior to the meeting. The Board approved the agenda as amended by general consent.

5. Approval of Minutes – August 14, 2018

The Board approved the minutes of the August 14, 2018 meeting by general consent.

6. New Business

A. Alteration/Addition

- Lighthouse Drive Monopole, DRB-001908-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board’s packet. Staff recommends approval with the following condition:

1. The monopole structure shall be painted light blue to blend with the sky.

Chairman Strecker asked if the applicant would like to add to Staff’s narrative. The applicant indicated the project is a temporary solution to maintain communications for the cellular carriers while the water tower is being painted. The applicant proposed to paint the temporary structure “Fountain Blue” to match the water tower.

Chairman Strecker requested comments from the Board. The Board agreed with Staff’s recommendation. The Board noted the existing tower has a green base and therefore asked for

clarification that the entire structure will be painted the light blue color. The applicant confirmed the entire structure will be painted the “Fountain Blue” color.

Ms. Theodore made a motion to approve DRB-001908-2018 with the following condition:

1. The temporary monopole structure shall be painted “Fountain Blue” in its entirety.

Ms. Foss seconded. The motion passed with a vote of 6-0-0.

- Sea Pines Drive Monopole, DRB-001909-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board’s packet. Staff recommends approval with the following conditions:

1. The monopole structure shall be painted light blue or “Fountain Blue” to match the adjacent existing water tower.
2. Any understory landscaping shall be replaced once the monopole is removed.

Chairman Strecker asked if the applicant would like to add to Staff’s narrative. The applicant indicated the tower will not be on South Island PSD property, therefore, an agreement with the Sea Pines CSA is in place for a temporary construction easement to place the pole on their property.

Chairman Strecker requested comments from the Board. The Board and the applicant agreed with Staff’s recommendation.

Ms. Theodore made a motion to approve DRB-001931-2018 with the following conditions:

1. The temporary monopole structure shall be painted “Fountain Blue” in its entirety.
2. Any landscape materials damaged during the monopole placement shall be replaced at the time such monopole is removed.

Ms. Foss seconded. The motion passed with a vote of 6-0-0.

7. Appearance by Citizens – None

8. Board Business

- A. Revision to the DRB Rules of Procedure regarding Board attendance

Vice Chairman Gentemann moved to approve the amendment to Article III, Section 1, Paragraph 4 as submitted. Ms. Theodore seconded. The motion passed with a vote of 6-0-0.

9. Staff Report

Mr. Darnell reported the Minor Corridor approvals since the last Board meeting.

10. Adjournment

The meeting was adjourned at 1:31 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Dale Strecker, Chairman

DRAFT



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Steven G. Stowers, AIA Company: Architecture 101
 Mailing Address: 21B Market, Suite 1 City: Beaufort State: SC Zip: 29906
 Telephone: 843.790.4101 Fax: N/A E-mail: Steve@A101.Design
 Project Name: Renovations to 6 Lagoon Road Project Address: 6 Lagoon Rd, HHI, SC 29928
 Parcel Number [PIN]: R 552 018 000 038B 0000
 Zoning District: NC Overlay District(s): Forest Beach

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

- Submittal Requirements for *All* projects:**
- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 - Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

- Additional Submittal Requirements:**
- Concept Approval – Proposed Development**
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 - _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 - _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 - _____ Context photographs of neighboring uses and architectural styles.
 - _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 - _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

August 14, 2018

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928



Project: Exterior Improvements to 6 Lagoon Road, Hilton Head Island, South Carolina

Please accept this design information for the proposed exterior improvements to the existing structure at 6 Lagoon Road. This building is part of Coligny Plaza.

PROJECT DESCRIPTION

This project seeks to provide a new second level balcony and a new trellis along the Lagoon Road side of the building, replacing the dated and unsightly canvas canopy. The balcony will serve two tenant suites on the north side of the building and provide a location for new signage for the first floor tenant that will be submitted under a later application.

Additionally, the project will provide two second story porches for the tenants on the south side of the building, also provided with matching trellises.

Landscaping will also be replaced for the development to accommodate the new alterations.

Thank you for your consideration.

Sincerely,


Steven G. Stowers, AIA, LEED AP

Note from Staff,

This application includes a request for DRB approval of the asphalt shingle that has recently been added to the building replacing the wood shingles (see submission photos). This shingle matches other shingles at Coligny Plaza.

ALLEGRO W LED

Architectural Outdoor



PROJECT: _____
 TYPE: _____
 PO#: _____ QTY: _____
 COMMENTS: _____

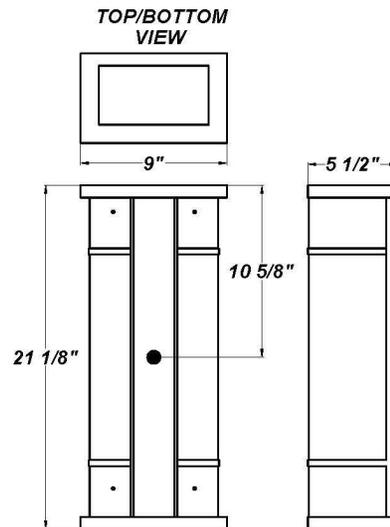


FEATURES

- Aluminum Housing w/ Textured Black Polyester Powder Coat Finish
- Aluminum End Caps and Trim Bars w/ Textured Black Polyester Powder Coat Finish
- Aluminum Mount Pan w/ Hi-Reflectance White Powder Coat Finish
- Luminous White Acrylic Wrap-Around Diffuser
- Luminous White Acrylic Top and Bottom Lens Panels
- Mounts Over 4" Junction Box w/ Easy-hang Wall Mounting Plate (Included)
- CSA Approved For Wet Location For Vertical Mounting
- LED Light Fixture
- Mounting Hardware Included
- Vandal Resistant

LINE DRAWING

LINE DRAWING NOT TO SCALE



FINISHES

Antique CopPer	Antique Silver	Bronze Mist	Matte Silver	Metallic Black	Sand
Swedish Steel	Textured Black	Textured Bronze	Textured White		

For RAL Colors & Custom Match - Contact Teron Lighting Inc.

ALLEGRO W LED

Architectural Outdoor



Fixture Core

PROJECT:	
TYPE:	
PO#:	QTY:
COMMENTS:	

PRODUCT CODE	SOURCE/WATTAGE	VOLTAGE	DIMMING DRIVER
ALLW - Allegro W	L19.0-ZE700 - 30W @ 700mA 0-10V Dimming Driver L24.0-ZE875 - 33W @ 875mA 0-10V Dimming Driver L31.0-ZE1150 - 44W @ 1150mA 0-10V Dimming Driver	120V 277V (50 / 60Hz)	Not Applicable
ORDER INFO			
ALLW	L19.0-ZE700	120V	Not Applicable

Example ^ (may not represent a manufacturable product)

Aesthetics & Options

TRIM	FINISH	COLOR TEMP	OPTIONS
Not Applicable	AC - Antique CopPer AS - Antique Silver BT - Bronze Mist MB - Metallic Black SM - Matte Silver SN - Sand SW - Swedish Steel TB - Textured Black (Standard) BZ - Textured Bronze TW - Textured White	30K - 3000K Color Temp 35K - 3500K Color Temp 40K - 4000K Color Temp	F - Fused TP - Tamper Resistant Screws
ORDER INFO			
Not Applicable	AC	30K	F

Example ^ (may not represent a manufacturable product)

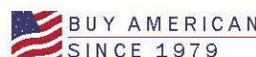
PROD	SOURCE	30K SPECS			
ALLW	L19.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 2489 LED Source Lumens 113 LED Source Lumens Per Watt 			
	L24.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 3180 LED Source Lumens 106 LED Source Lumens Per Watt 			
	L31.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 4125 LED Source Lumens 106 LED Source Lumens Per Watt 			

REPLACEMENT PART	PART NO	NOTES
White Acrylic Lens Assembly	9801460	

Don't see the configuration you are looking for?
Call us today at (513) 858-6004



TERONLIGHTING.COM
33 DONALD DR, FAIRFIELD, OH 45014
P: 513.858.6004 F: 513.858.6038
E: SALES@TERONLIGHT.COM



We reserve the right to revise the design components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

SEND CUT-SHEET

HALO LED ICAT HOUSING for NEW CONSTRUCTION

The H750ICAT is a dedicated LED new construction housing to be used with designated HALO LED modules. The H750ICAT is designed for insulated ceilings and can be in direct contact with ceiling insulation*. This AIRTITE housing design prevents airflow between conditioned and unconditioned spaces and saves on both heating and air conditioning costs. The LED connector system provides high efficacy code compliance when used with designated HALO LED modules and trims.

Catalog #		Type
Project		
Comments		Date
Prepared by		

DESIGN FEATURES

Housings

Aluminum construction for greater heat dissipation. H750 ICAT housing is gasketed to prevent airflow from heated or air conditioned spaces.

Plaster Frame

Galvanized steel frame. Housing adjusts in plaster frame to accommodate up to 1" ceiling thickness. Regressed locking screw for securing hanger bars. Cutouts included for easily crimping hanger bars in position

Slide-N-Side™ Junction Box

- Positioned to accommodate straight conduit runs.
- Seven 1/2" trade size conduit knockouts with true pry-out slots.
- Slide-N-Side wire traps allow non metallic sheathed cable to be installed without tools and without removing knockouts.
- Allows wiring connections to be made outside the box.
- Simply insert the cable directly into the trap after connections are made.
- Accommodates the following standard non-metallic sheathed cable type:
 - U.S. #14/2, #14/3, #12/2, #12/3
 - Canada: #14/2, #14/3, #12/2

GOT NAIL! Pass -N-Thru™ Bar Hangers

Bar Hanger features include

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and Guidance system prevents snagging, ensures smooth, straight nail penetration and allows bar hangers to be easily removed if necessary
- Automatic leveling flange aligns the housing and allows holding the housing in place with one hand while driving nails.
- Housing can be positioned at any point within 24" joist spans
- Score lines allow tool-free shortening for 12" joists and bar hangers do not need to be removed for shortening.
- Bar hangers may be repositioned 90° on plaster frame
- Integral T-bar clip snaps onto T-bars – no additional clips are required.

LED Module Connection

Halo LED modules simply install with a plug-in 120V-277V rated line voltage wiring connector (UL and CSA Listed Luminaire Disconnect). This non-screw-base connection preserves the high efficacy rating and prevents use of low efficacy incandescent sources (see LED Module specifications).

Caution

Connection is rated for 120V and 277V input. Installer must verify LED module voltage is compatible with the applicable voltage input. If uncertain, consult a qualified electrician.

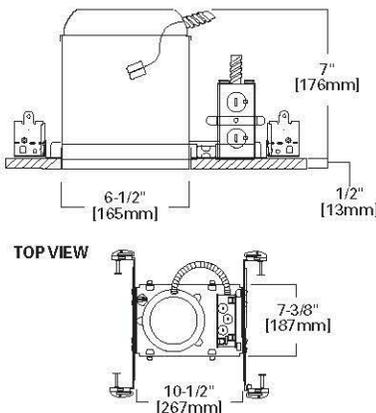
Labels

- UL/cUL Listed 1598 Luminaire
- CE Marking - "Conformité Européenne" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with ML56 Series LED modules
- UL/cUL Listed for Feed Through
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location with select trims
- UL/cUL Listed for direct contact with insulation and combustible material*
- Rated for 20W maximum

Qualification

May be used with qualified Halo LED modules and designated trims for High Efficacy Luminaire Compliance:

- State of California Title 24
- International Energy Conservation Code (IECC)
- Washington State Energy Code
- New York State Energy Conservation Construction Code - AIR-TITE™ Compliant
- Certified under ASTM-E283 standard for air-tight construction



H750ICAT

6" New Construction IC AIR-TITE™ Housing For Halo LED Modules and Trims

- ML56 Series
- RL56 Series
- RA56 Series

High Efficacy LED Housing

FOR USE IN INSULATED CEILINGS
FOR DIRECT CONTACT WITH INSULATION*



Qualified and compliant with select trims. Refer to ENERGY STAR® Qualified Products List and CEC (T24) Appliance Database for listings.

* Not to be used in direct contact with spray foam insulation.

ORDERING INFORMATION - RL56 SERIES

SAMPLE NUMBER: H750ICAT - RL560WH6927
Order housing, light module, trim and separately.

Housing	RL56 LED - Compatible LED Retrofit Modules
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>80 CRI</p> <p>RL560WH6827= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Matte White RL560SN6827= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Satin Nickel RL560WH6830= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Matte White RL560SN6830= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Satin Nickel RL560WH6835= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3500K, Matte White</p> <p>90 CRI</p> <p>RL560WH6927= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Matte White RL560SN6927= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Satin Nickel RL560WH6930= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Matte White RL560SN6930= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Satin Nickel RL560WH6935= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3500K, Matte White</p>

ORDERING INFORMATION - RA56 SERIES

SAMPLE NUMBER: H750ICAT - RA5606927WH
Order housing, light module, trim and separately.

Housing	RA56 LED - Compatible LED Retrofit Modules
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>Very Wide Flood - VWFL Models</p> <p>RA5606927WH= 5"½" LED Adjustable Gimbal, 90CRI, 2700K, White, Very Wide Flood RA5606930WH= 5"½" LED Adjustable Gimbal, 90CRI, 3000K, White, Very Wide Flood</p> <p>Narrow Flood - NFL Models</p> <p>RA5606927NFLWH= 5"½" LED Adjustable Gimbal, 90CRI, 2700K, White, Narrow Flood RA5606930NFLWH= 5"½" LED Adjustable Gimbal, 90CRI, 3000K, White, Narrow Flood</p>

ORDERING INFORMATION - ML56 SERIES

SAMPLE NUMBER: H750ICAT - ML5606830 - 693WB
Order housing, light module, trim and separately.

Housing	ML56 LED Light Modules	ML56 LED Trims	ML56 System Accessories
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>600 Series / 80 CRI</p> <p>ML5606827= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 2700K ML5606830= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3000K ML5606835= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3500K ML5606840= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 4000K</p> <p>600 Series / 90 CRI</p> <p>ML5606927= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 2700K ML5606930= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3000K ML5606935= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3500K ML5606940= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 4000K</p> <p>900 Series / 80 CRI</p> <p>ML5609827= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 2700K ML5609830= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3000K ML5609835= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3500K ML5609840= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 4000K</p> <p>900 Series / 90 CRI</p> <p>ML5609927= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 2700K ML5609930= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3000K ML5609935= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3500K ML5609940= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 4000K</p> <p>1200 Series / 80 CRI</p> <p>ML5612827= 5"½" LED Light Module, 1200 lumen, 80CRI, 2700K ML5612830= 5"½" LED Light Module, 1200 lumen, 80CRI, 3000K ML5612835= 5"½" LED Light Module, 1200 lumen, 80CRI, 3500K ML5612840= 5"½" LED Light Module, 1200 lumen, 80CRI, 4000K</p> <p>1200 Series / 90 CRI</p> <p>ML5612927= 5"½" LED Light Module, 1200 lumen, 90CRI, 2700K ML5612930= 5"½" LED Light Module, 1200 lumen, 90CRI, 3000K ML5612935= 5"½" LED Light Module, 1200 lumen, 90CRI, 3500K ML5612940= 5"½" LED Light Module, 1200 lumen, 90CRI, 4000K</p>	<p>690 Series - 6" LED Trims</p> <p>Non-Conductive "Dead-Front" Baffles</p> <p>691WB=6" LED Trim, Polymer "Dead-Front", Shallow White Baffle & Flange (For use with 600 Series LED Light Modules only)</p> <p>Reflectors</p> <p>692SC=6" LED Downlight Trim, Specular Reflector & White Flange 692H=6" LED Downlight Trim, Haze Reflector & White Flange 692W=6" LED Downlight Trim, White Reflector & Flange</p> <p>Baffles</p> <p>693WB=6" LED Downlight Trim, White Micro-Step Baffle & Flange 693BB=6" LED Downlight Trim, Black Micro-Step Baffle & Flange 693SNB=6" LED Downlight Trim, Satin Nickel Micro-Step Baffle & Flange 693TBZB=6" LED Downlight Trim, Tuscan Bronze Micro-Step Baffle & Flange</p> <p>Semi-Regressed Eyeballs</p> <p>694WB=6" LED Directional Trim, White Eyeball, Baffle & Flange 694SNB=6" LED Directional Trim, Satin Nickel Eyeball, Baffle & Flange 694TBZB=6" LED Directional Trim, Tuscan Bronze Eyeball, Baffle & Flange</p> <p>Wall Wash</p> <p>695WW=6" LED Downlight Trim, Wall Wash with Specular Kick Reflector & White Flange</p> <p>Shallow Baffle</p> <p>696WB=6" LED Trim, White Shallow Baffle & Flange</p>	<p>ML56CLIP= 6" Friction Clip Kit - For use with non-torsion spring housings. 6" clips included.</p> <p>WW6955C= Wall Wash Insert - Specular Kick Reflector for 695WW (1 included with trim). For double wall washing or replacement.</p> <p>TRM690WH= 6" LED Oversize Trim Ring for use with 59" series trims, White 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface</p> <p>EBA560PK= Replacement screwbase adapter to LED disconnect with cap</p> <p>ML56-1200 Series Beam Forming Optic Media</p> <p>BFR56NFL= Beam forming reflector kit, narrow flood, 25° nominal</p> <p>BFR56MH= Media holder, accepts one 3.45" lens. Requires BFR56NFL & L345SF, order separately.</p> <p>L345SF= 3.45" diameter soft focus lens. Requires BFR56NFL and BFR56MH, order separately.</p>



ROLLERS
→

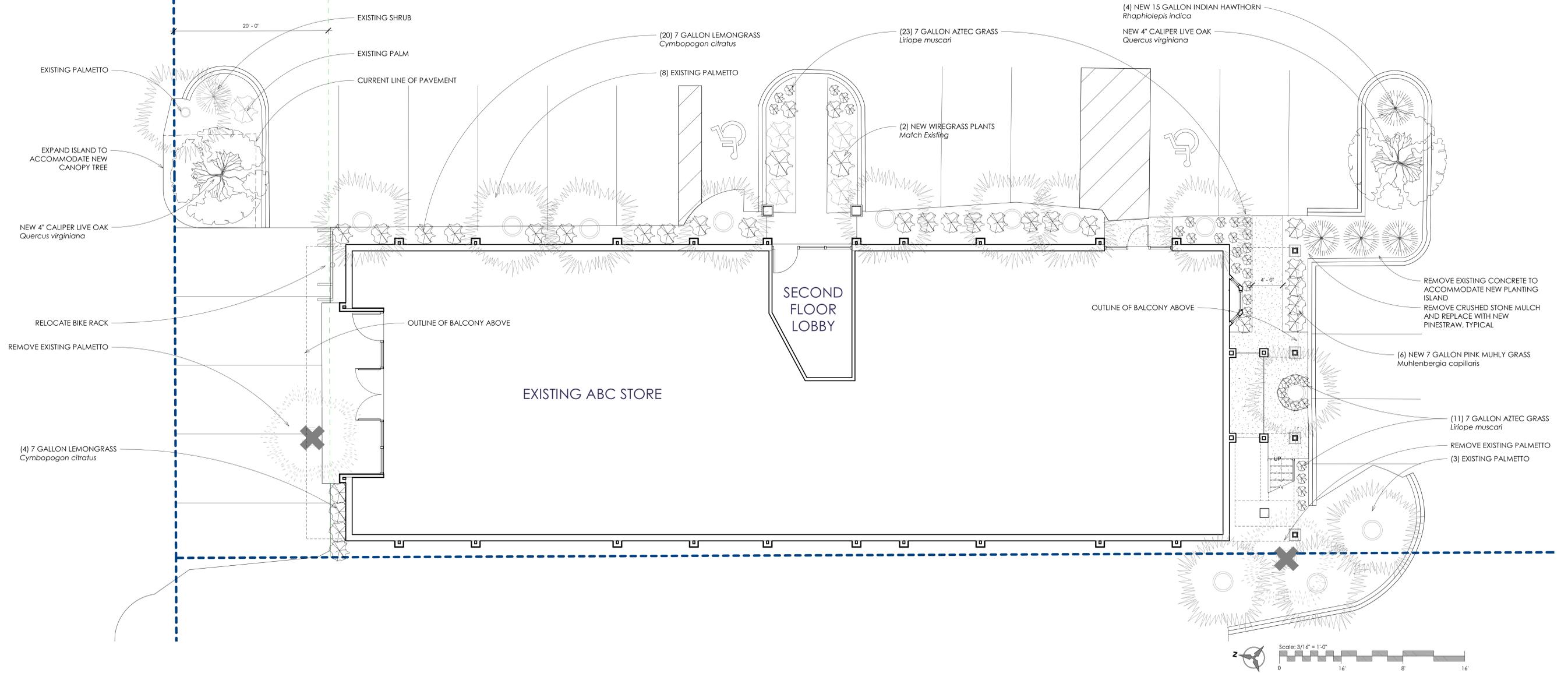
NO
BEACH
PARKING
VEHICLES WILL BE
TOWED AWAY AT
OWNER'S EXPENSE

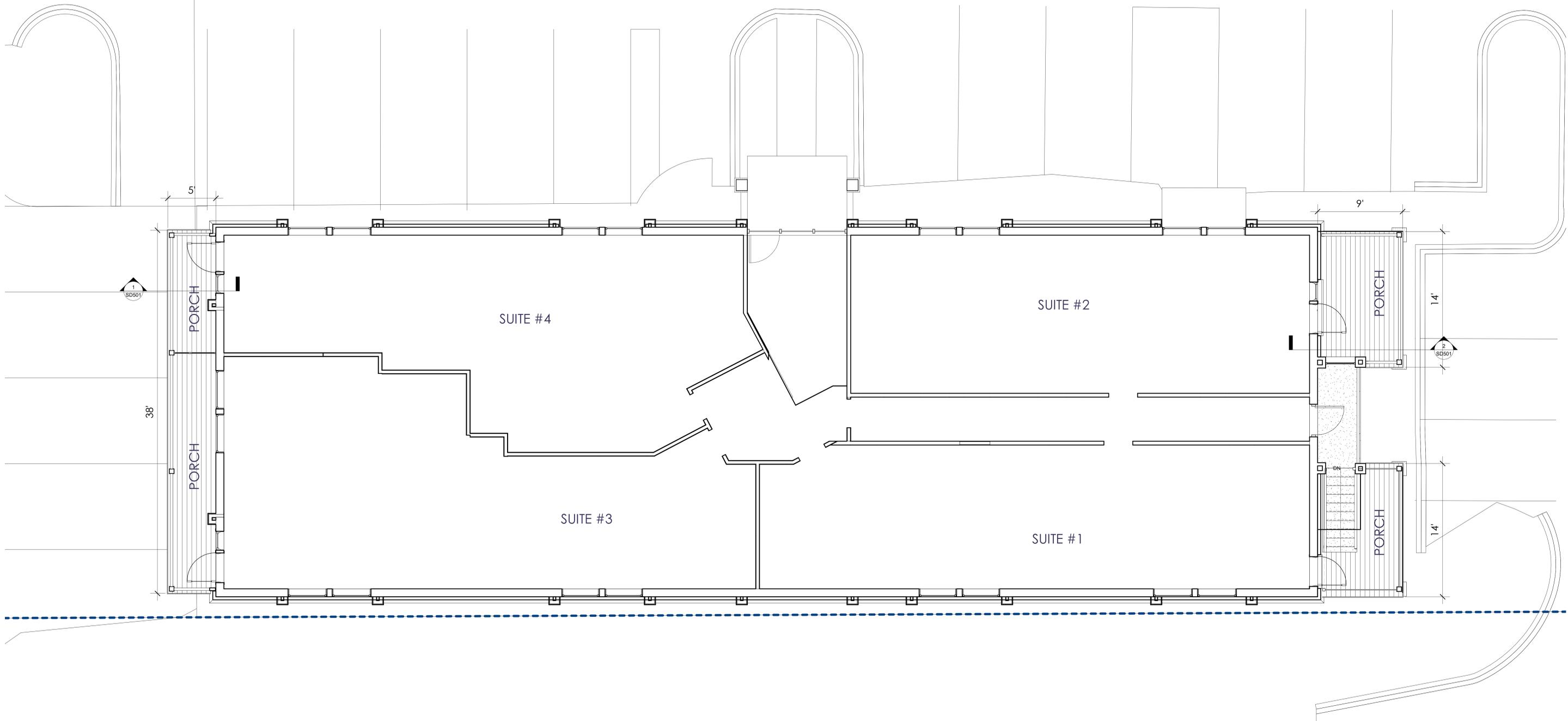
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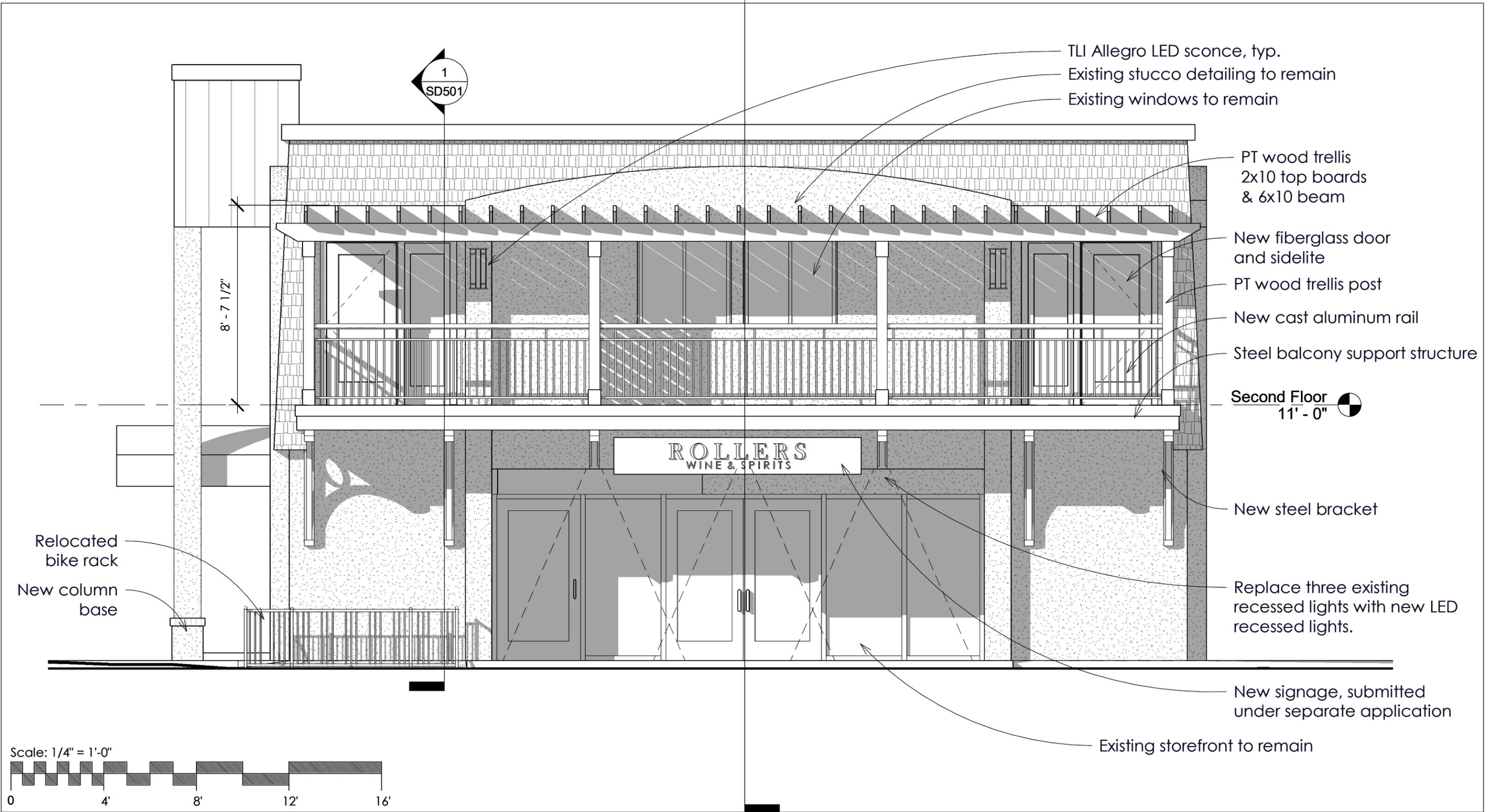




LAGOON ROAD







Proposed North Elevation

EXTERIOR RENOVATIONS TO 6 LAGOON ROAD

New fiberglass door and sidelite
 TLI Allegro LED Light, typ.



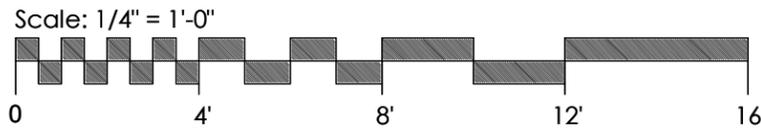
10' - 4 1/2"

- PT wood trellis
2x10 top boards
& 6x10 beam
- PT 6x6 trellis support post
- Cast aluminum rail
- 1x6 metal flashing
- PT 2x12 porch framing
- 1x8 PVC trim
- Second Floor
11' - 0"
- PT 8x8 porch support post
- New column base

PT 2x10 wood deck, typ.
 Extend wall up to
 underside of deck.
 Cap with metal
 flashing. Stucco to
 match existing.

Existing concrete stair

Repaint existing windows
 (Color: Match medium bronze)



Proposed South Elevation

EXTERIOR RENOVATIONS TO 6 LAGOON ROAD

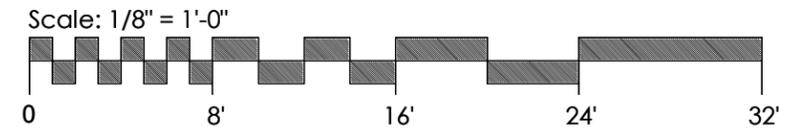
2018.08

September 4, 2018

SD201

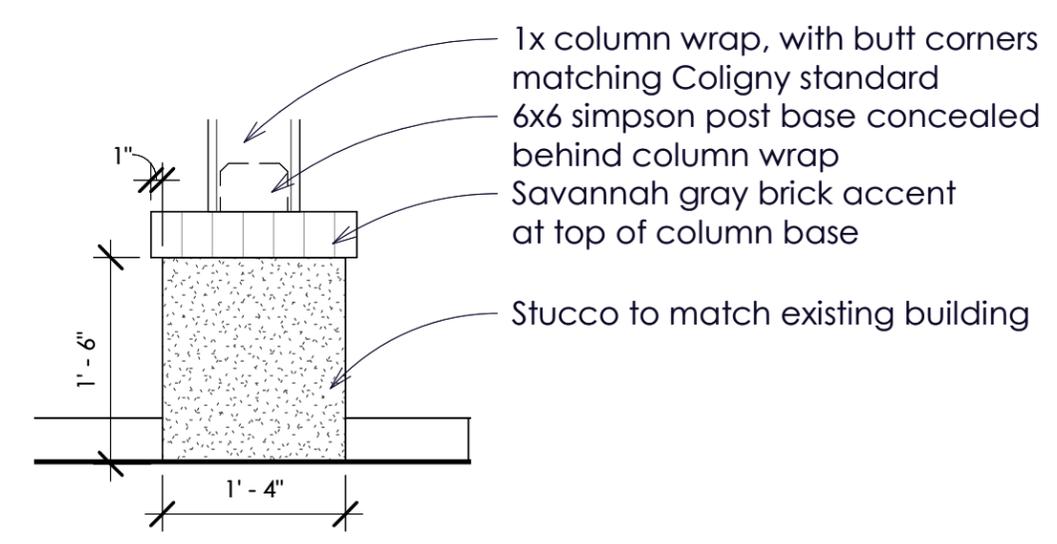
9/4/2018 8:29:49 AM

Replace existing cedar shake roof with new 'shake' architectural shingle matching existing Coligny Plaza standard mansart

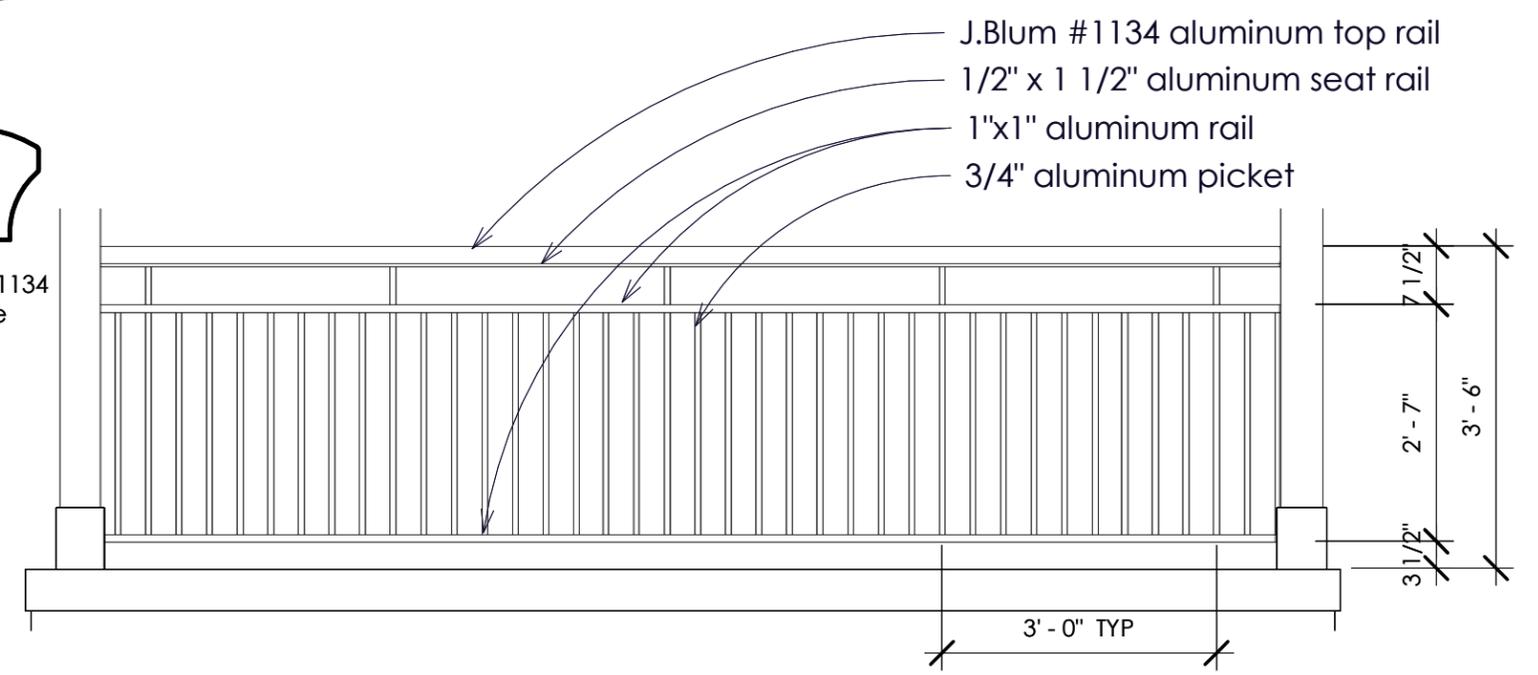
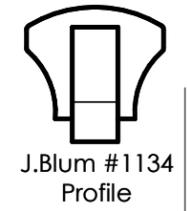


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SD202

New column base at existing columns



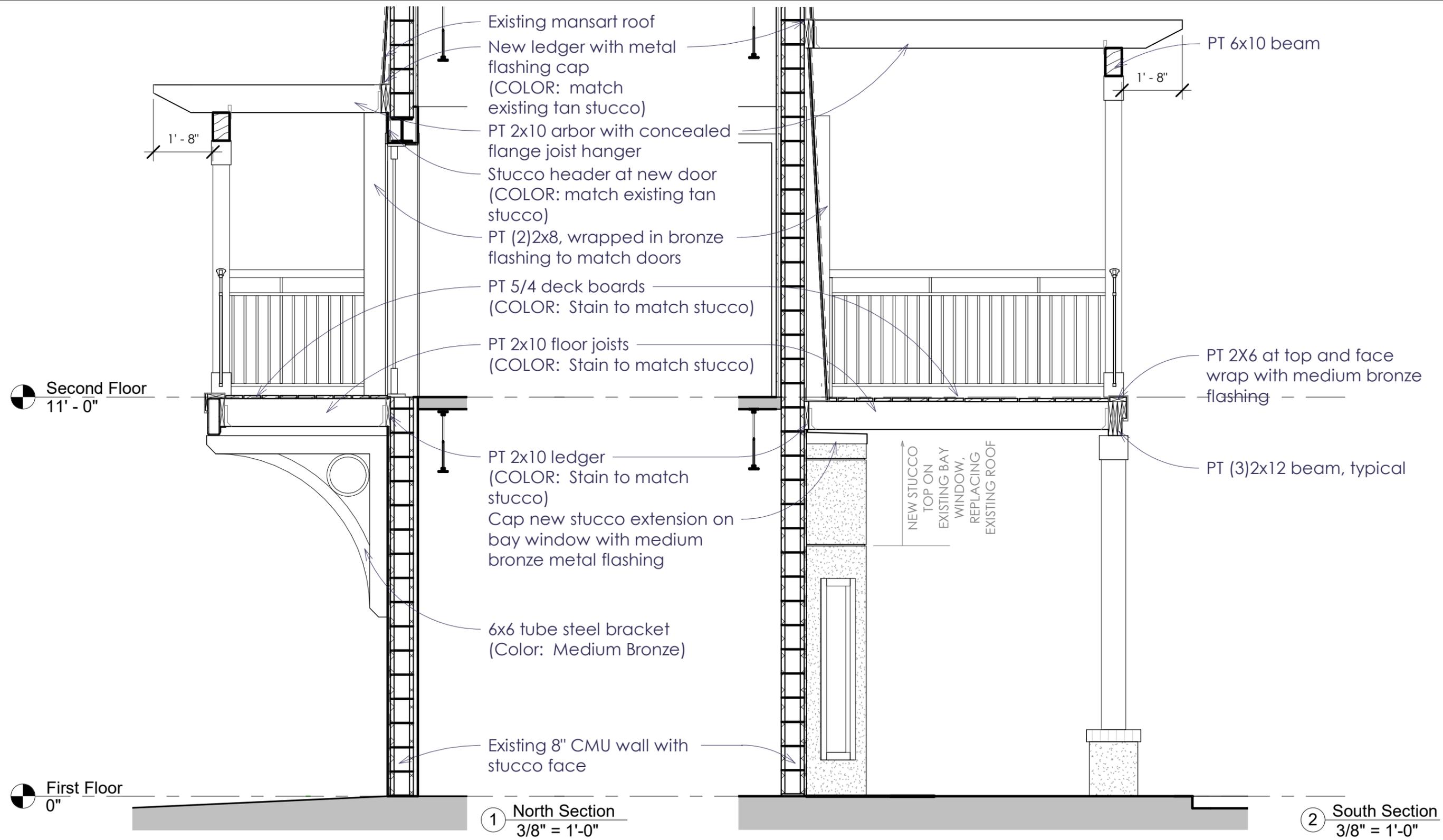
1x column wrap, with butt corners matching Coligny standard
 6x6 simpson post base concealed behind column wrap
 Savannah gray brick accent at top of column base
 Stucco to match existing building



J.Blum #1134 aluminum top rail
 1/2" x 1 1/2" aluminum seat rail
 1"x1" aluminum rail
 3/4" aluminum picket

1 COLUMN BASE DETAIL
 3/4" = 1'-0"

2 RAILING DETAIL
 1/2" = 1'-0"





NOTE: Arbor components painted to match existing tan stucco.

- PT 6x10 beam
- PT 2x10 boards, typ.
- PVC 1x8 trim
- PT 6x6, typ.
- PT 5/4" ledger board
- PT (2)2x8, wrapped in bronze flashing to match doors

Cast aluminum rail
(Color: Medium Bronze)

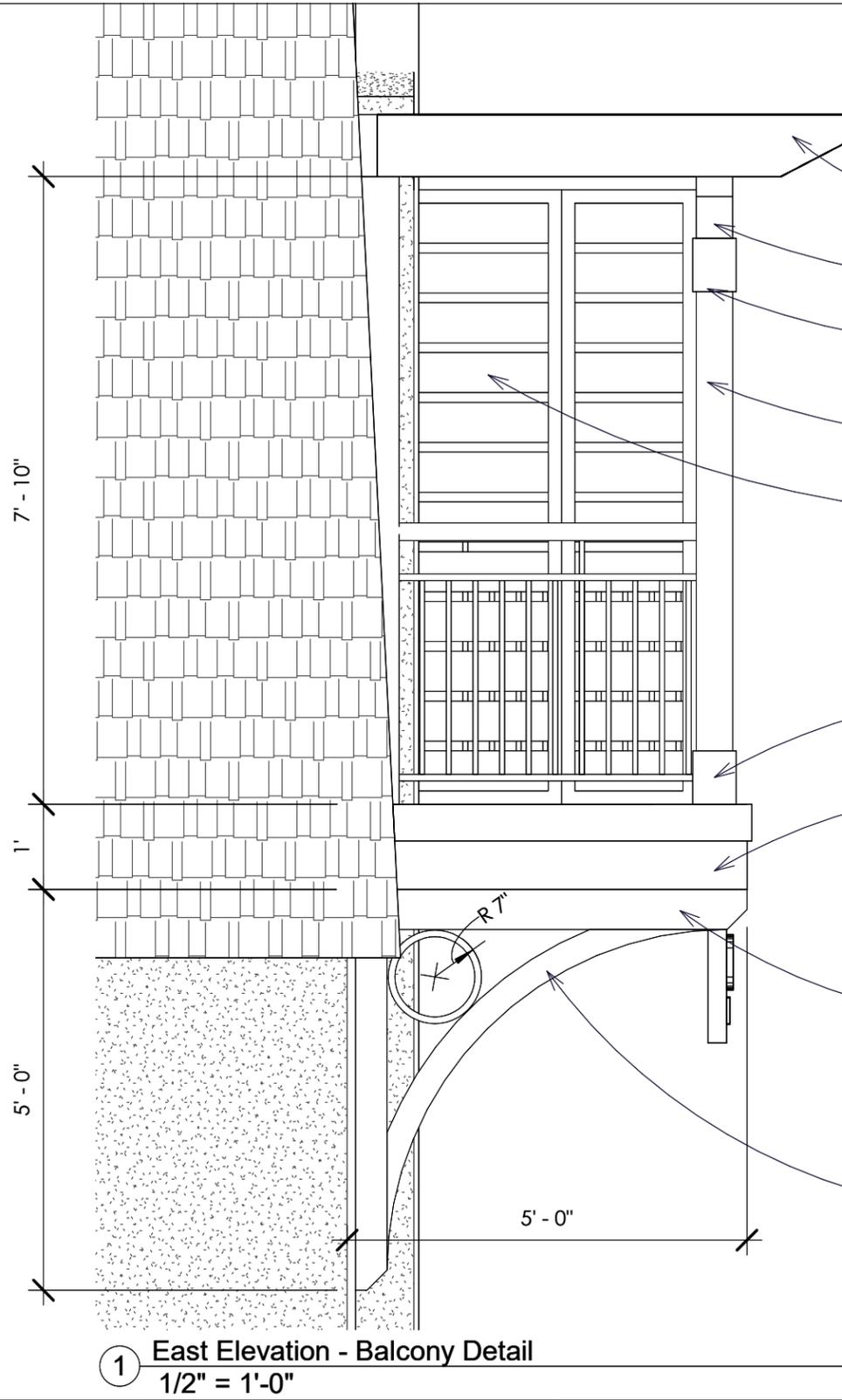
PVC 1x8 trim

6" metal flashing
(Color: Medium Bronze)

4x12 steel tube
(Color: Medium Bronze)

6x6 tube steel bracket
(Color: Medium Bronze)

4x4 radiused brace with circle accent
(Color: Medium Bronze)



NOTE: Arbor components painted to match existing tan stucco.

PT 2x10, typ.

PT 6x10, beam

PVC 1x8 trim

PT 6x6 post

PT wood privacy screen

PVC 1x8 trim

4x12 steel tube with 6" metal flashing.
(Color: Medium Bronze)

6x6 tube steel fully welded bracket
(Color: Medium Bronze)

4x4 radiused brace with circle accent
(Color: Medium Bronze)

1 East Elevation - Balcony Detail
1/2" = 1'-0"



Proposed Lagoon Road View (Northeast)

RENOVATIONS TO 6 LAGOON ROAD



Proposed Coligny View (Southeast)

RENOVATIONS TO 6 LAGOON ROAD

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 6 Lagoon

DRB#: DRB-001931-2018

DATE: 08/16/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide dimension of new planted area along east elevation, parking stall depth and drive isle behind parking stalls to be reviewed by Staff as part of the Minor DPR.
2. Revise the Landscape Plan to specify that all existing gravel mulch shall be removed and replaced with topsoil mixture and all planting beds shall be mulched with shredded hardwood mulch. Submit for Staff review and approval.

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Not provided as a separate plan
Existing Conditions match As-Built	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Roof shingles previously changed and landscape areas differ between plan and on site

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify the color of all new additions to the building. Done.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Revise the bay window roof to better coordinate with the new architectural detail additions. Done.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape Plan. Done.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a Landscape Plan that includes a Live Oak at Lagoon and the back of the building. Done.

MISC COMMENTS/QUESTIONS

1. Show 20' street setback off Lagoon per LMO 16-3-105.B.3 (Balcony may occupy the Street Setback) Added.
2. The project requires a Minor DPR.
3. Provide a Landscape Plan. Done.
4. Revise the site plan to show, at a minimum the middle of Lagoon Road. Done.
5. The privacy screen seems out of place on the Coligny Plaza elevation. Revised.
6. Remove asphalt to reconfigure and clarify the landscape island at Lagoon. Planting should include a Live Oak. Done.
7. Remove the sidewalk in the island on the Coligny Plaza end of the building. Planting should include a Live Oak. Done.
8. Staff does not support changing the wood shingles to asphalt shingles. Consider another material to replace the wood shingles. In reconsideration of the context, given the prevalence of green asphalt shingles at Coligny, Staff supports approval of the shingles currently on the building.
9. Provide dimension of new planted area along east elevation, parking stall depth and drive isle behind parking stalls. LMO nonconformities (parking stall and drive isle dimensions) cannot be make worse.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: LAURA BISCHOFBERGER Company: J. BANKS DESIGN GROUP
 Mailing Address: 35 MAIN STREET City: HILTON HEAD State: SC Zip: 29926
 Telephone: (843)681.5122 Fax: — E-mail: laura.bischofberger@jbanksdesign.com
 Project Name: VILLAGE HOUSE Project Address: 3 WIMBLEDON COURT HHI, SC
 Parcel Number [PIN]: R210 009 000 699 E 0000
 Zoning District: PD-1 Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

N/A A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

N/A Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- N/A Final site development plan meeting the requirements of Appendix D: D-6.F.
- N/A Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- N/A Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- TBD Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- N/A Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- N/A Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - N/A Proposed landscaping plan.
- For wall signs:
- N/A Photograph or drawing of the building depicting the proposed location of the sign.
 - N/A Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

William B. Pettite

SIGNATURE

08/28/2018

DATE

Village House

HORIZONTAL PROPERTY REGIME

July 27, 2018

J. Banks Design
35 Main Street
Hilton Head Island, SC 29926

RE: Village House Exterior Selections

Dear J. Banks Design,

This letter is meant to serve a documentation that the Village House Board of Directors has reviewed and approved all exterior selections, materials and renderings of the renovation of the exterior of the building.

Please feel free to contact me if you need any further information.

Sincerely,

Patricia A. Miller

Patricia A. Miller
Community Association Manager

VILLAGE HOUSE – NARRATIVE

Village House is currently looking to renovate their property by updating the exterior of their existing building.

The goal of this renovation is to refresh the current appearance and bring the building up to date. Village

House has selected J. Banks Design Group to design and coordinate the exterior finish selections. J. Banks

has proposed painting the exterior of the building, updating the existing columns of the entry and installing a

new metal roof on the updated porte-cochere. All of these proposed items will enhance the appearance

of Village House as well as Wimbledon Court.

VILLAGE HOUSE – SITE PICTURES



ABOVE AND BELOW: VILLAGE HOUSE STREET VIEW



BACK OF
VILLAGE HOUSE



VILLAGE HOUSE – ADJACENT PROPERTIES



OCEAN PALMS



THE LYONS



DEVONSHIRE

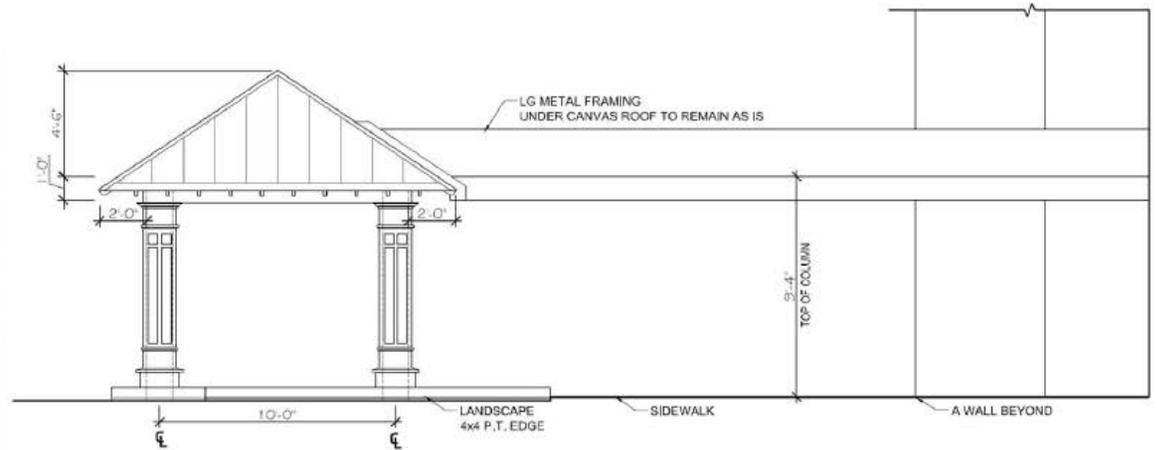


ROYAL DUNES RESORT



DEVONSHIRE

VILLAGE HOUSE – PROPOSED RENDERING

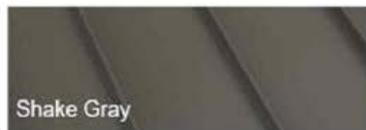


SIDE ELEVATION OF EXTERIOR ENTRY

BEFORE



AFTER



Shake Gray

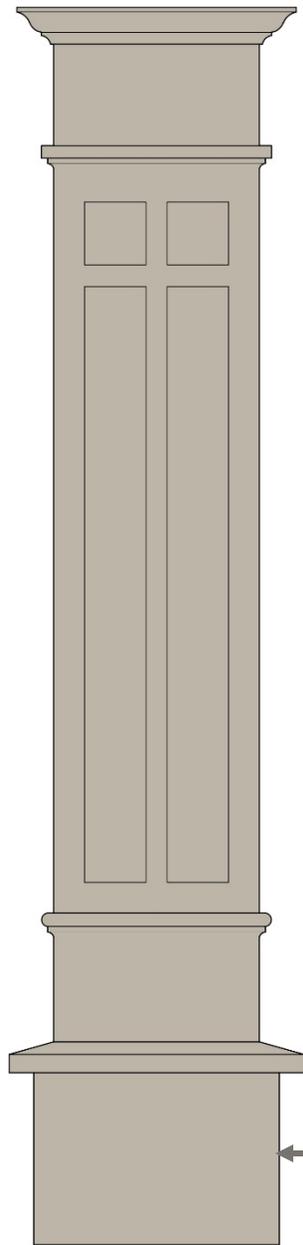
SHAKE GRAY METAL ROOF



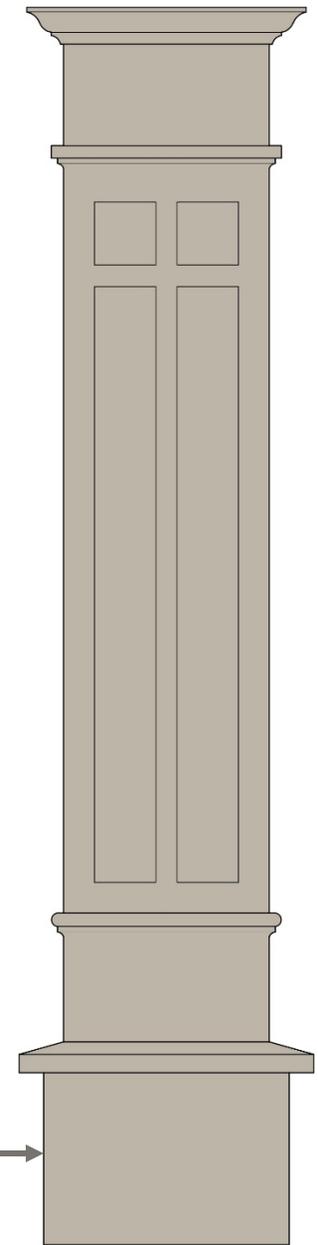
SHERWILLIAMS AMAZING GRAY



VILLAGE HOUSE – COLUMN DETAIL

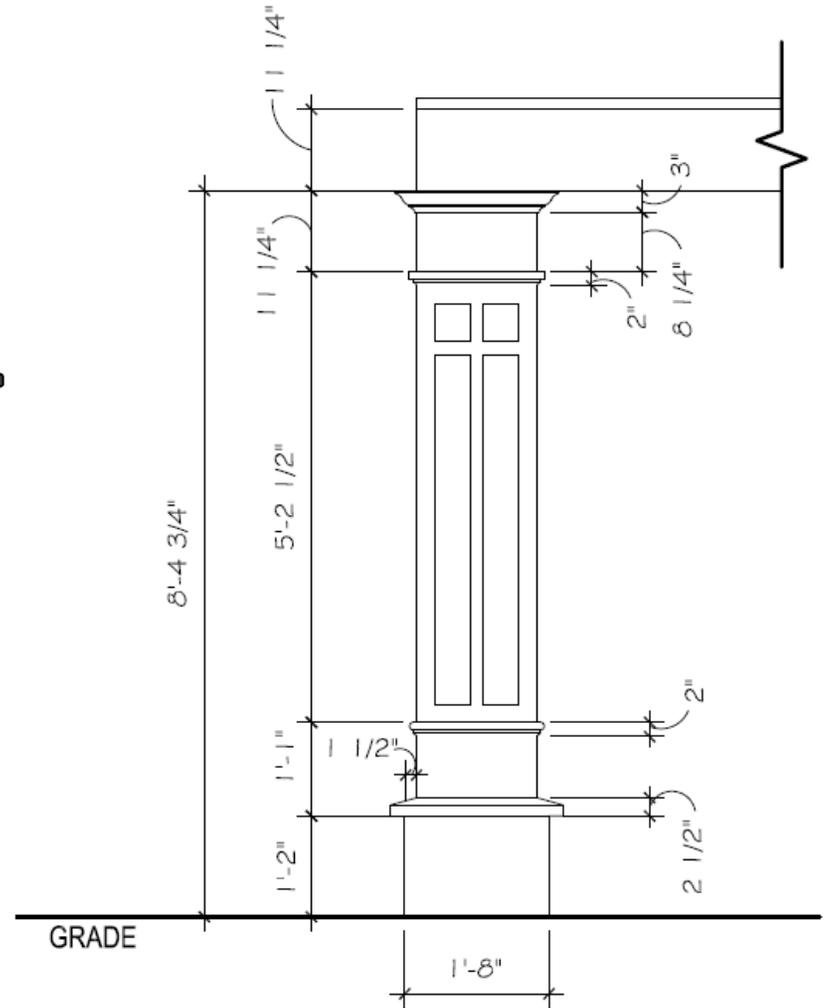
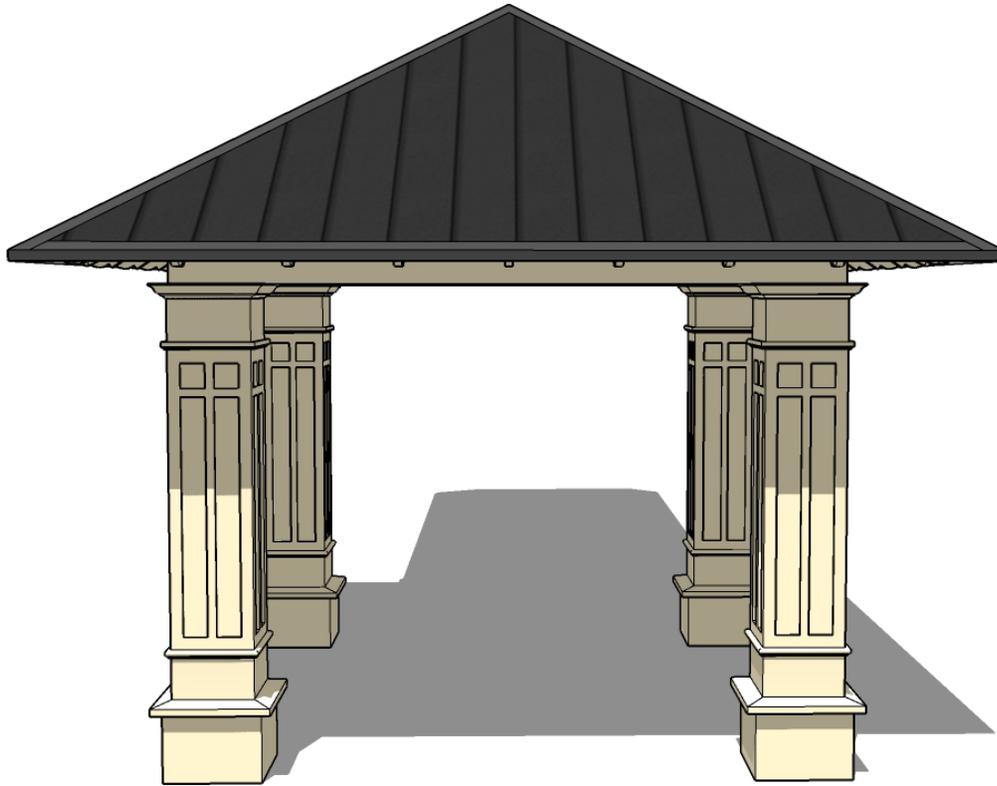


- Existing columns will be furred out with wood.
- The bottom of the columns will be addressed with pressure treated lumber.
- The pieces above the PT lumber will be white oak.
- Columns would be painted Amazing Gray to match the exterior of the building.



8'4"

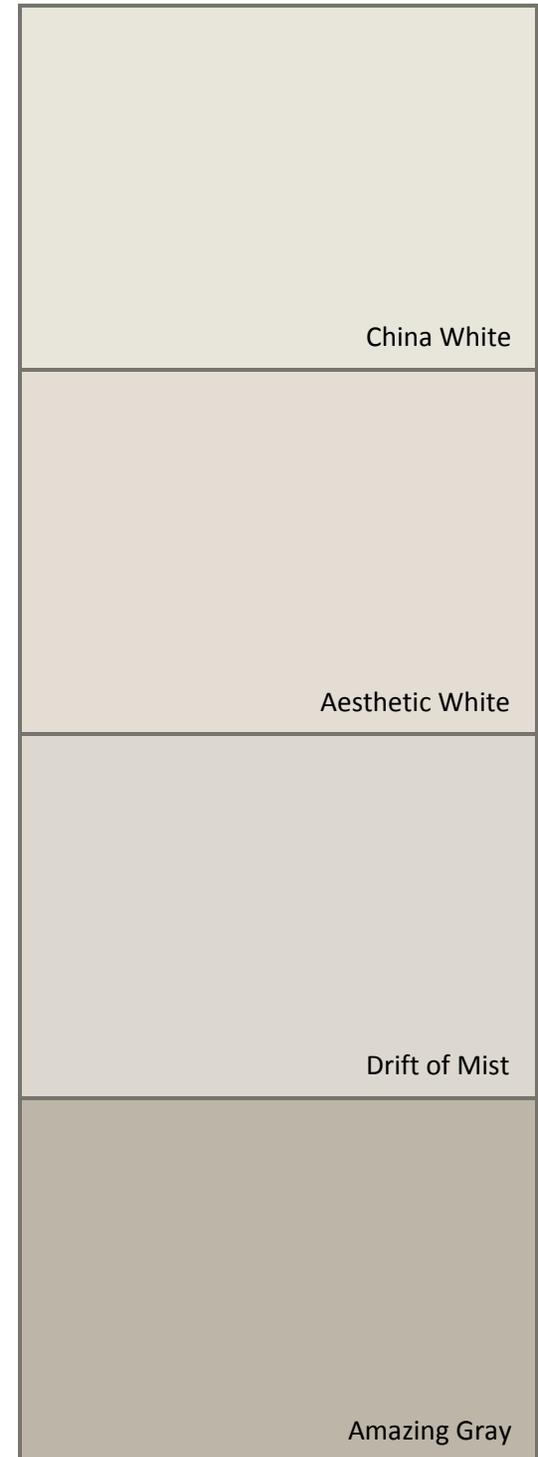
VILLAGE HOUSE – COLUMN DETAIL



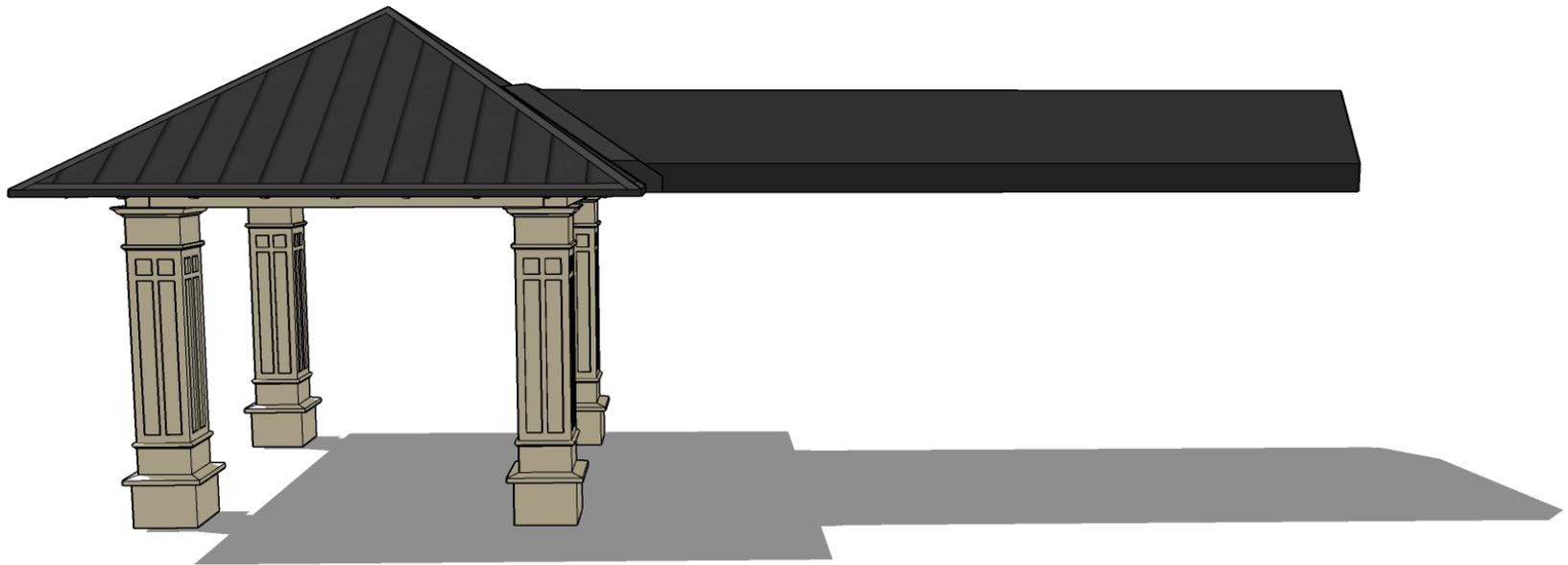
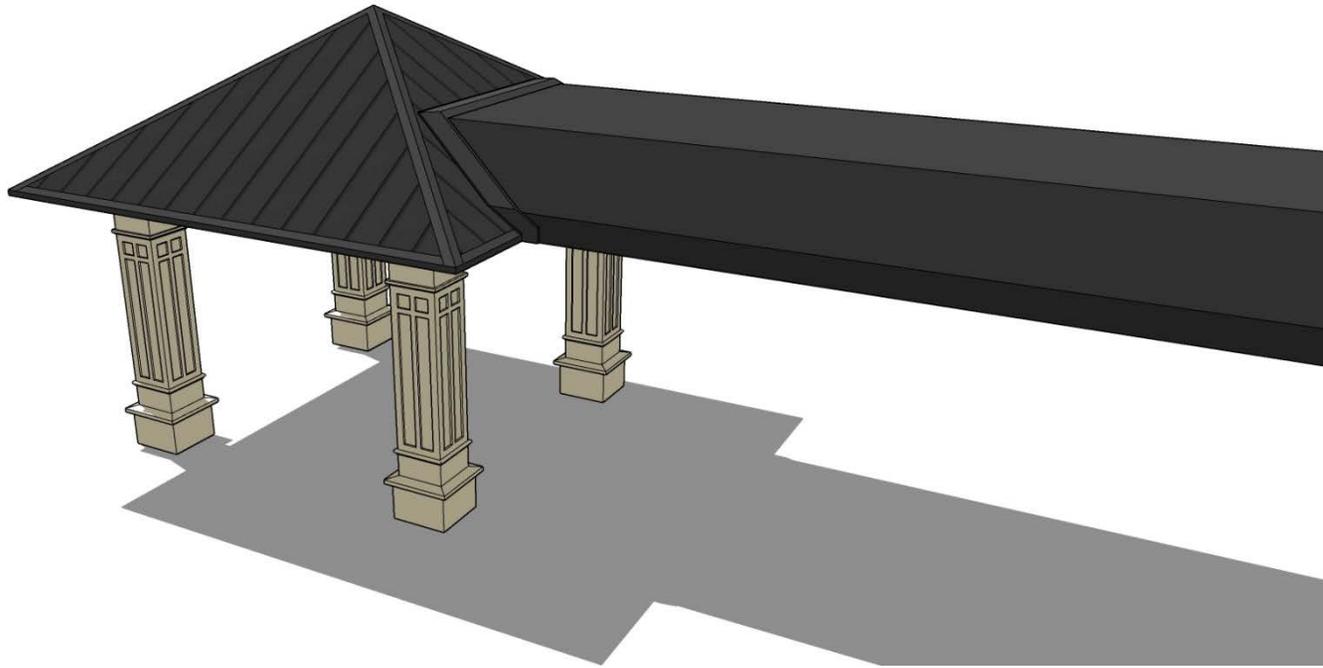
1 COLUMN DETAILS
SCALE: 1/2" = 1'-0"

VILLAGE HOUSE – PAINT PROGRESSION

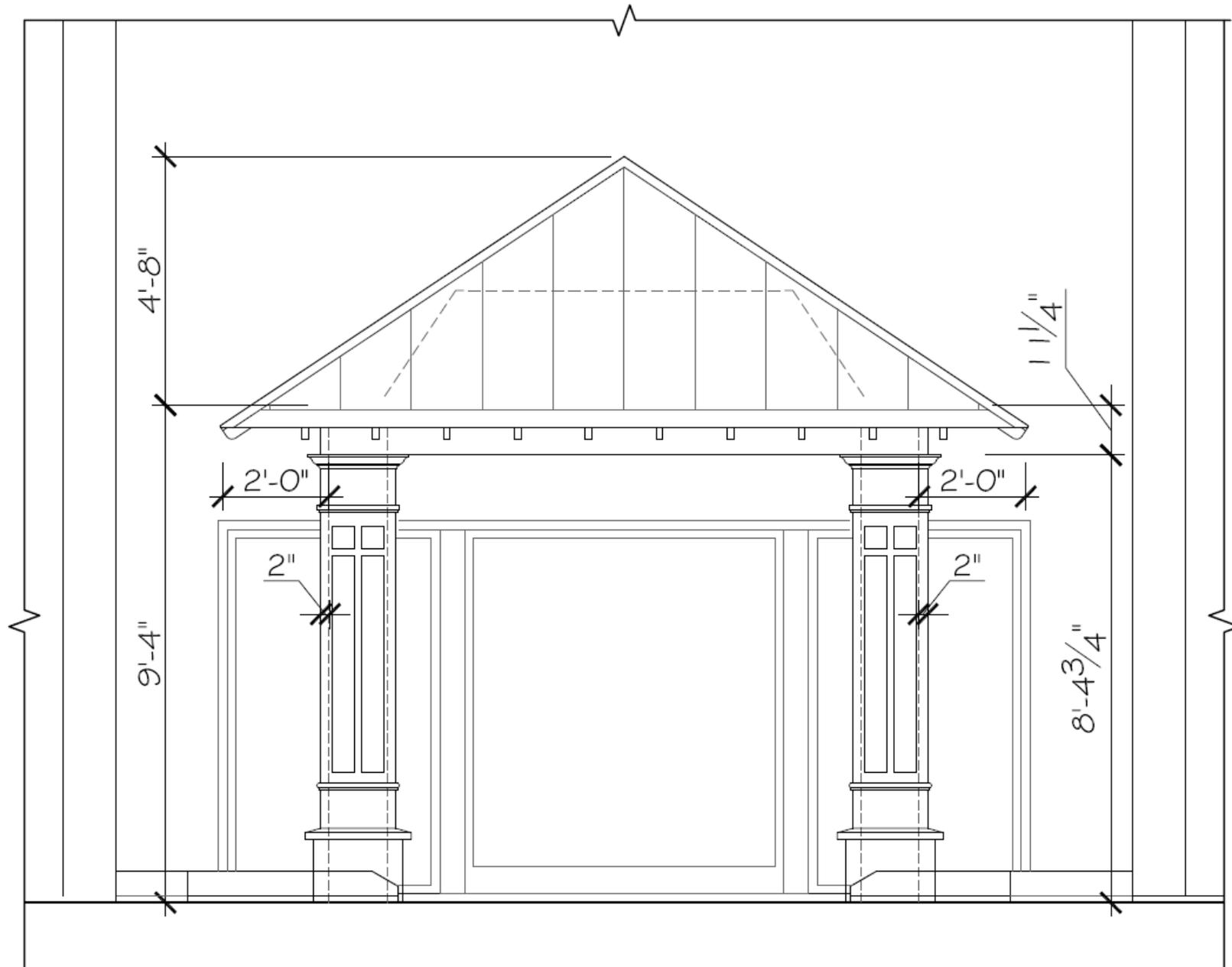
- Please reference the chart shown to show our progression of paint colors.
- We are proposing Amazing Gray for the exterior paint color for Village House



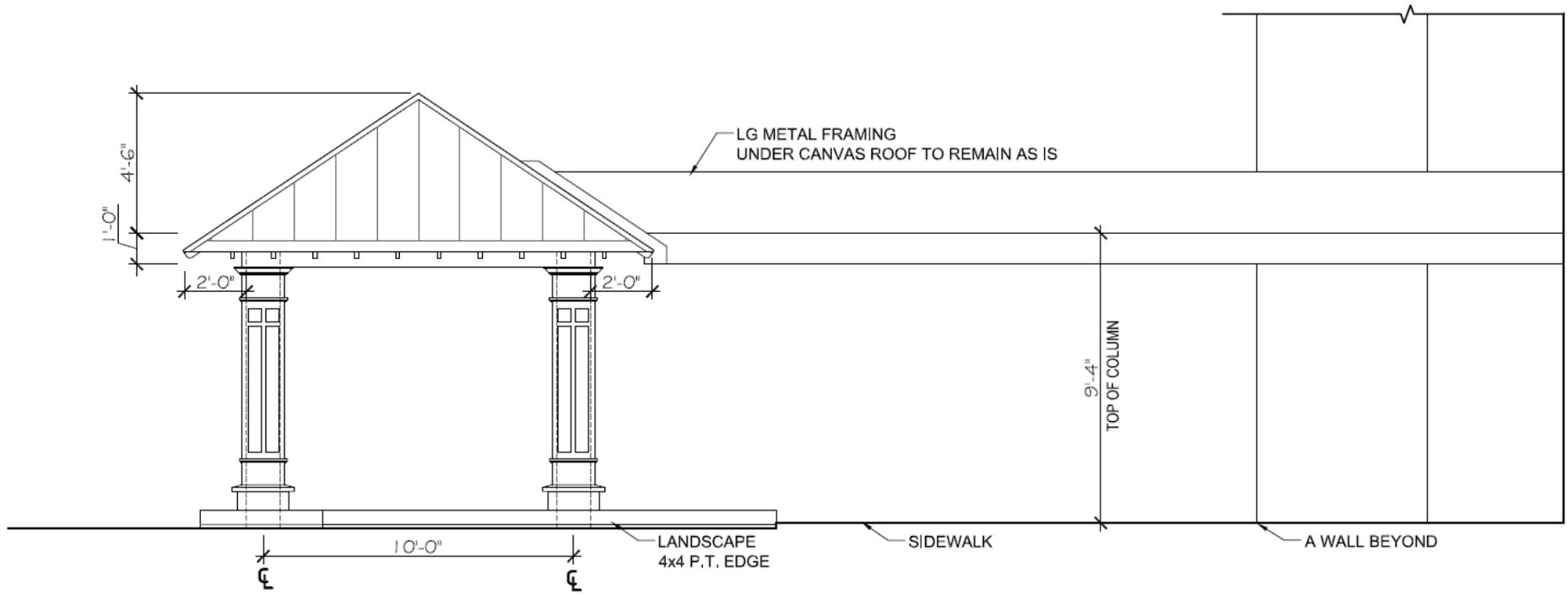
VILLAGE HOUSE – PORTE-COCHERE



VILLAGE HOUSE – ROOFING DETAILS

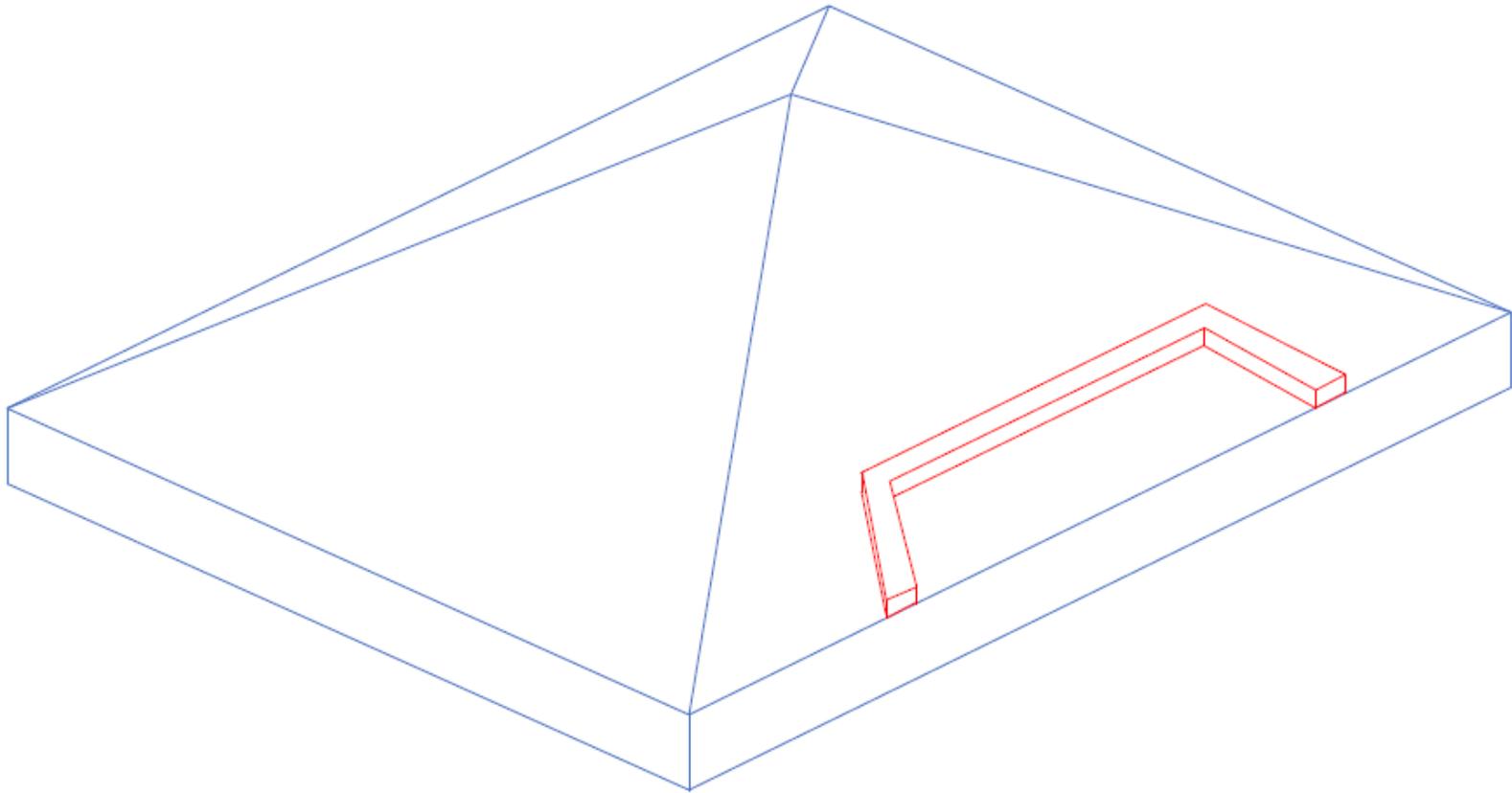


VILLAGE HOUSE – ROOFING DETAILS



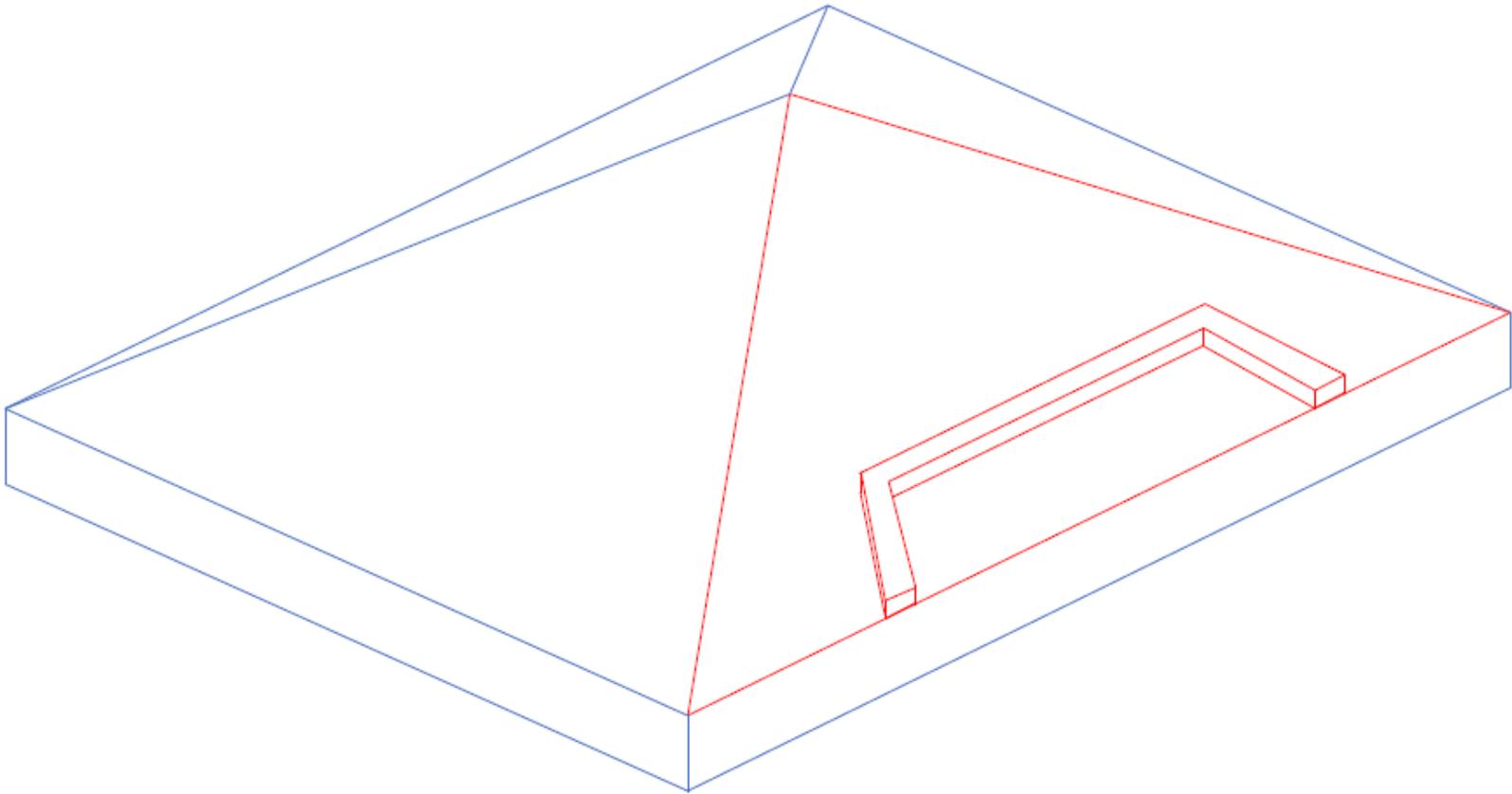
VILLAGE HOUSE – ROOFING DETAILS

- INSTALL PRESSURE TREATED BLOCKING (CANOPY FRAME RECEIVER)
- WRAP PRESSURE TREATED BLOCKING WITH HI-TEMP ICE AND WATER SHIELD



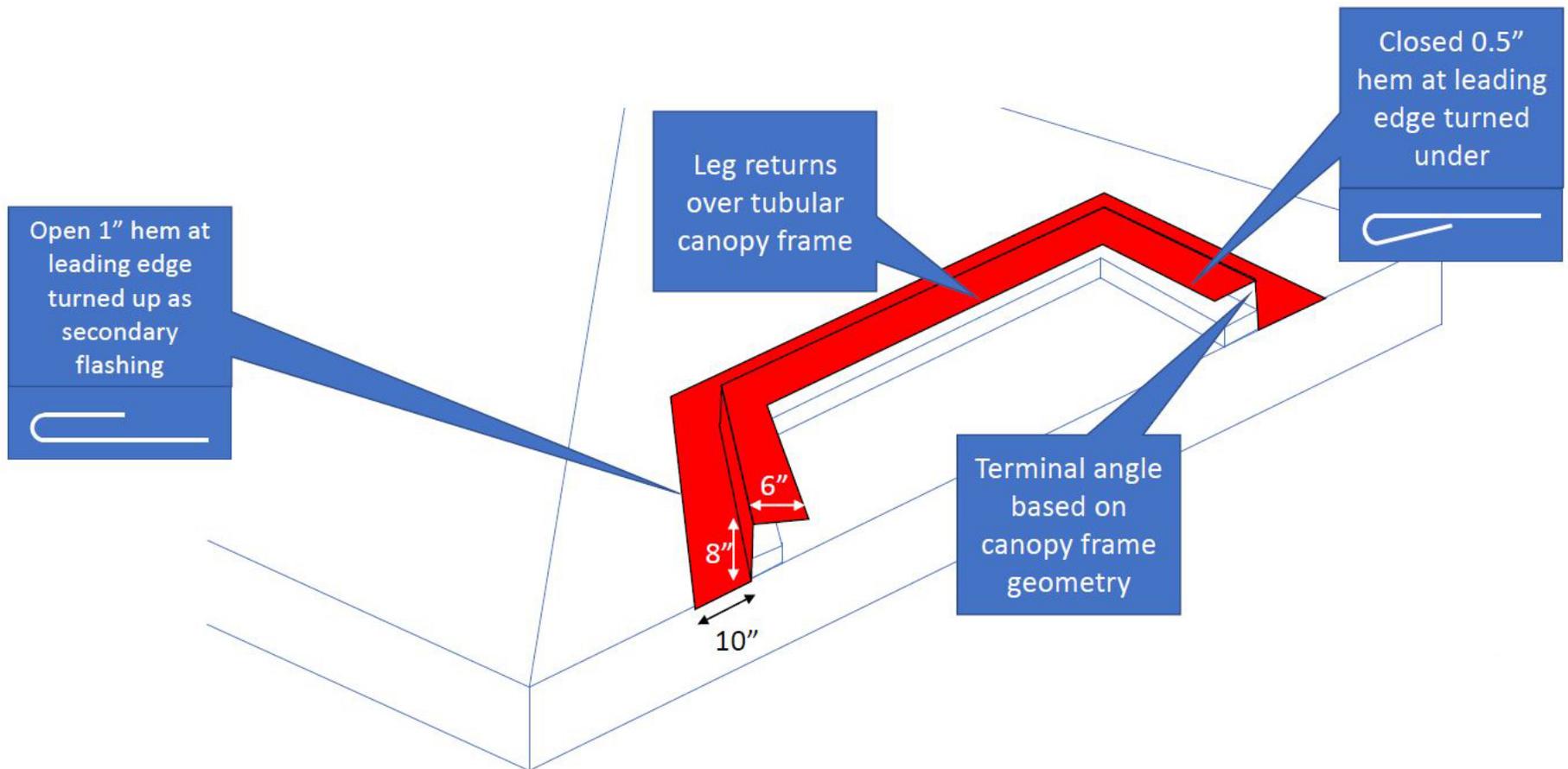
VILLAGE HOUSE – ROOFING DETAILS

- INSTALL FULLY ADHERED TPO SINGLE-PLY MEMBRANE (SINGLE FACET INSTALL)



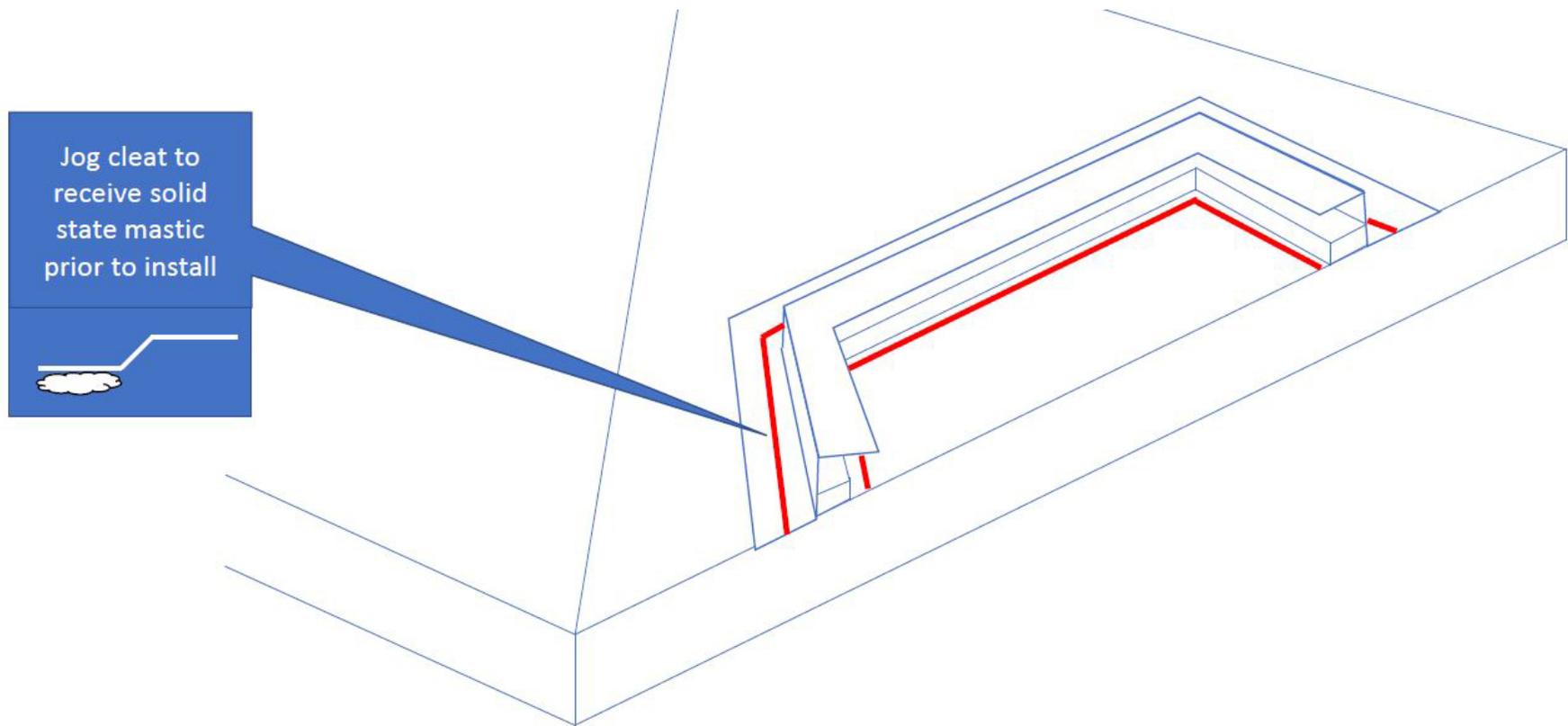
VILLAGE HOUSE – ROOFING DETAILS

- INSTALL VERTICAL TRANSITION FLASHING (PRE-FINISHED 24 GA. GALVALUME)



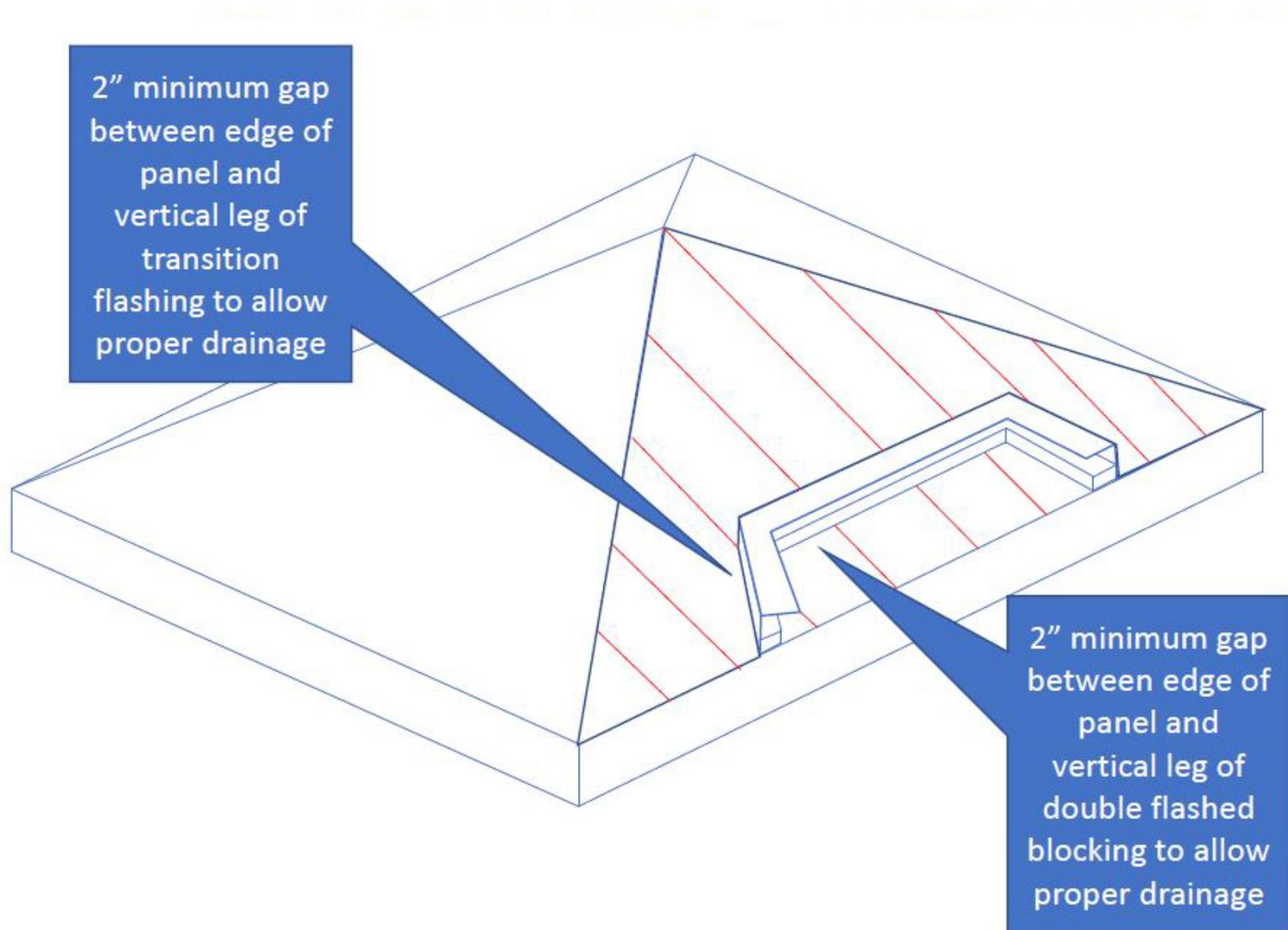
VILLAGE HOUSE – ROOFING DETAILS

- INSTALL JOG CLEAT (PRE-FINISHED 24 GA. GALVALUME)



VILLAGE HOUSE – ROOFING DETAILS

- INSTALL STANDING SEAM PANELS



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Village House

DRB#: DRB-002030-2018

DATE: 08/30/2018

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Owner - Jason Shroff

Applicant/Agent Name: Agrent -Brett Callaghan Company: HH Island Acquisition Partners, LLC

Mailing Address: 9654 North King's Hwy, Unit 101 City: Myrtle Beach State: SC Zip: 29572

Telephone: 843-222-5764 Fax: _____ E-mail: JShroff@oceaninvestments.com

Project Name: Hilton Head - Port Royal Project Address: Folly Field Road

Parcel Number [PIN]: R 5 1 0 -0 0 9 - 0 0 0 - 0 2 7 7 - 0 0 0 0 _____

Zoning District: RD Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

_____ Concept Approval – Proposed Development _____ Alteration/Addition

Final Approval – Proposed Development _____ Sign

Submittal Requirements for ***All*** projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

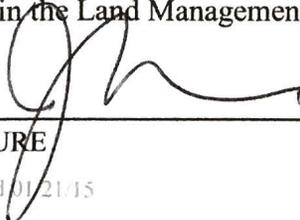
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE

August 28, 2018

 DATE

Hilton Head Port Royal Resort

Hilton Head Island, SC

Final DRB Project Narrative

August 28, 2018

HH Island Acquisition Partners LLC is proposing to construct a new resort facility to replace the previous development known as The Port Royal Racquet Club Tract (parcel 4 – Wimbledon Court) along Folly Field Road and adjacent to Fiddler's Cove, The Lyons and Ocean Palms Villas. The existing property consists of approximately 8.4 acres of land with remnants of the Racquet Club remaining on the site including portions of Wimbledon Court, existing parking spaces, an existing pro-shop/club building, and tennis courts.

HH Island Acquisition Partners is looking to redevelop the property into a signature destination resort that will be operated by Bluegreen Vacations. The proposed resort will incorporate island character within the site plan and architecture. The proposed building composition will consist of **(3) four story and (4) three story residential structures. Total units proposed for the resort will be 132 units with a mixture of 1, 2, and 3 bedrooms.** The scale of these structures is in keeping with the adjacent existing developments and appropriate for the surrounding neighborhoods.

The development will be constructed in two phases. The first phase will include the clubhouse, maintenance and laundry facility, guest amenities such as a resort pool and spa, pool house with restrooms and showers, covered pool pavilion, outdoor grill and pizza oven, tot lot, four (4) residential structures along the entry drive. The second phase will include the final three (3) residential structures, the remainder of the entry drive and sidewalks. Some additional site features include well landscaped walking paths and common areas that connect to the Town's bike path. Bicycle parking is provided at each building and adjacent to the clubhouse.

There are two significant trees (Live Oak and Cork Oak) located on the property. These trees are being preserved with less than 20% of each tree's surveyed rootzone impacted. There are several areas of existing stands of oaks, pines, and palms throughout the development to be preserved. The proposed detailed planting plan is to utilize mostly native plant material and preserve as many trees and existing vegetation as possible.

The main entry to the site will be offset to the south of the existing entry drive of the Island Club on Folly Field Dr by approximately 465 feet. Access to the site will be via two entrances on Folly Field Dr. The main entry provides a strong sense of arrival for guests with views towards the clubhouse and tabby plaza. The entry will have landscaping, signage, and entry walls as appropriate. There will be pedestrian connectivity including a pathway that connects Wimbledon Drive to Folly Field Road.

Most of the site is a free-draining sandy soil with elevations ranging between 9' and 12'. The proposed residential, amenity and maintenance buildings are set to have a finish floor elevation set at 14.1' or greater. All guest / timeshare visitor parking is located underneath the raised residential structures. Parking has been provided at the appropriate rate for 1, 2, and 3 bedroom units per LMO requirements. The number of vehicle parking spaces to be provided is 167 spaces.

Hilton Head Port Royal Resort

Hilton Head Island, SC

Final DRB – Responses

August 28, 2018

Previous Conceptual DRB was approved with specific conditions listed below. See responses or clarifications in [Blue](#).

1. Light sources shall not exceed 300k. [The lighting plan has been updated accordingly.](#)
2. The light plan exceeds the average foot candle requirement and revisions need to be made. [The lighting plan has been updated accordingly.](#)
3. Provided a color board for review at the final submittal. [In addition to updated site details that convey all the visible surfaces, a materials and site furnishings board has been provided. An architectural material and color board will be provided at the DRB meeting as well.](#)
4. Eliminate the walk between Buildings 6 and 7 to keep out of the Island Club Corridor. [Walk has been eliminated.](#)
5. Submit an alternate color to the white color paint. [Alternate color selections have been provided.](#)
6. Consider wider pedestrian paths for the beach access paths provided. [The main pedestrian promenade that connects the buildings to the amenity and Islanders Beach Park has been expanded to 8' wide wherever space allows.](#)
7. Submit all final samples including sample of roof materials. [In addition to updated site details that convey all the visible surfaces, a materials and site furnishings board has been provided. An architectural material and color board will be provided at the DRB meeting as well.](#)
8. Show accurate foundations, fill heights, etc. on the maintenance building, the clubhouse, and laundry facility with regard to finish grade. [The area around the pool and clubhouse has been carefully studied. An additional tree and limb survey of the two specimen trees was performed. Refer to sheet C4.3 for a detailed grading plan that shows the finished floor of the surrounding buildings and any grade change.](#)
9. Include all ramps and changes in grade that will affect the finished floor height in relationship to grade. [Refer to sheet C4.3 for a detailed grading plan that shows the finished floor of the surrounding buildings and any grade change and site details for ramps at the entry.](#)
10. Consider a lower scale for the buildings. For instance, three stories in lieu of four stores on the four-story buildings. [Building massing and overall scale has been carefully studied by the design team. Building sizes and heights vary throughout the site. Additional plant material is being proposed along Folly Field Drive.](#)
11. Provide a streetscape elevation along Folly Field Road that shows all buildings in relationship to each other. [A streetscape elevation has been provided along Folly Field Road. Additional plant material has been proposed above and beyond the required buffer requirements.](#)
12. Eliminate the gingerbread millwork. [Gingerbread millwork has been eliminated.](#)
13. Increase plant material size in the buffers. [Plant material has been substantially increased in the buffer and within the 40' setback off of Folly Field Road in order to visually soften the building elevations. 6" caliper Live Oaks are being proposed for all perimeter plantings in addition to upsized evergreen plantings of Southern Magnolias, Red Cedars, Pines, Dahoon Hollies, Wax Myrtles, and Upright Yaupon Hollies.](#)
14. Any and all other submittal requirements are met. [Additional information has been provided with relevant cut sheets and callouts. The overall submittal package includes over 200 pages. Any additional detail requested can be provided.](#)





VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD



VIEW OF NEARBY CLUBHOUSE OFF OF FOLLY FIELD RD



VIEW OF BORDERING DEVELOPMENT OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD ENTRY GATE OFF OF FOLLY FIELD RD

26807/0000



26807/0000



VIEW OF LYONS OFF OF FOLLY FIELD RD



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO MARRIOTT'S BARONY BEACH CLUB AND WESTIN BEYOND



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO ISLAND CLUB OF HILTON HEAD



SIGNAGE

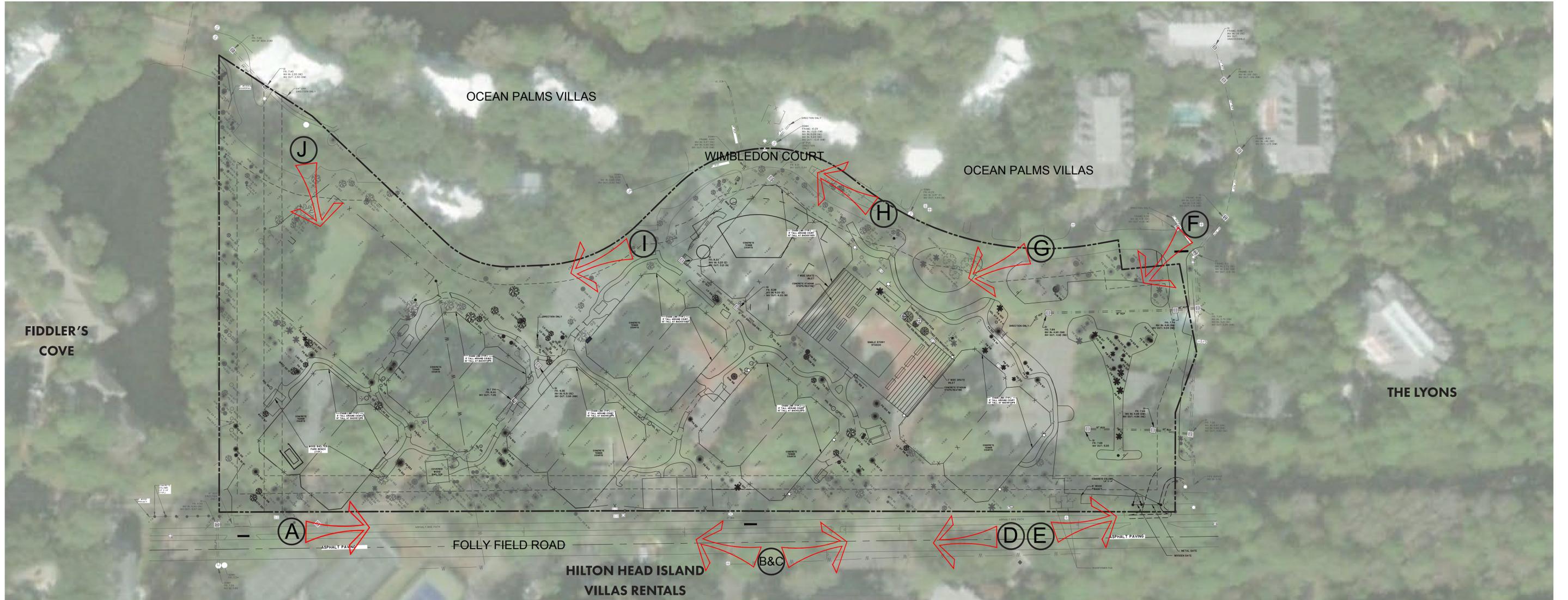


LOWCOUNTRY DORMERS / CLUBHOUSE ROOFLINE



BUILDING MASSING FOR TALLER BUILDINGS





OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

20' ADJACENT USE SETBACK
(EXISTING NON-CONFORMING ROADWAY)

ROYAL DUNES RESORT
8 Wimbledon Ct. - 4-5 Story Building
(Fractional Ownership Property) [PD-1]

EXISTING LAGOON

ACCESS TO LYONS VILLAS
OFF OF WIMBLEDON

FIDDLER'S COVE BEACH CLUB
45 Folly Field Rd - 3-4 Story Buildings
(Private Condos with Short-term rentals) [RD]

EXISTING GRASS
TENNIS COURT

SPECIMEN
34" CORK OAK

THE LYONS VILLAS
9 Wimbledon Ct. - 3-4 Story Duplexes
(Private Condos with Short-term rentals)
[PD-1]

FOLLY FIELD DR

SEWER EASEMENT(TYP.)

25' ADJACENT USE SETBACK &
25' WIDE TYPE 'B' BUFFER, OPTION 1

25' ADJACENT USE SETBACK &
TYPE 'B' BUFFER, OPTION 1

25' WIDE TYPE 'B' STREET BUFFER (TYP.)

40' STREET SETBACK (TYP.)

ISLAND CLUB OF HH
85 Folly Field Rd. - 3-4 Story Buildings
(Resort/Timeshare) [PD-1]

LEGEND

-  BIKE / PEDESTRIAN PATH
-  MINOR ARTERIAL ROAD
-  VEHICULAR CIRCULATION
-  ASPHALT TENNIS COURT
-  IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS

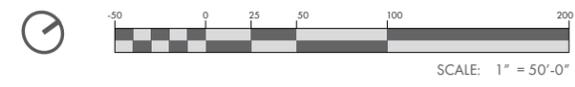
SITE ANALYSIS

PORT ROYAL - HILTON HEAD ISLAND, SC

SEPTEMBER 11, 2018

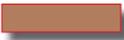
HH ISLAND ACQUISITION PARTNERS, LLC

THOMAS & HUTTON
This map illustrates a general plan of the development which is for discussion purposes only, does not limit or bind the owner/developer, and is subject to change and revision without prior written notice to the holder. Dimensions, boundaries, and position locations are for illustrative purposes only and are subject to an accurate survey and property description.



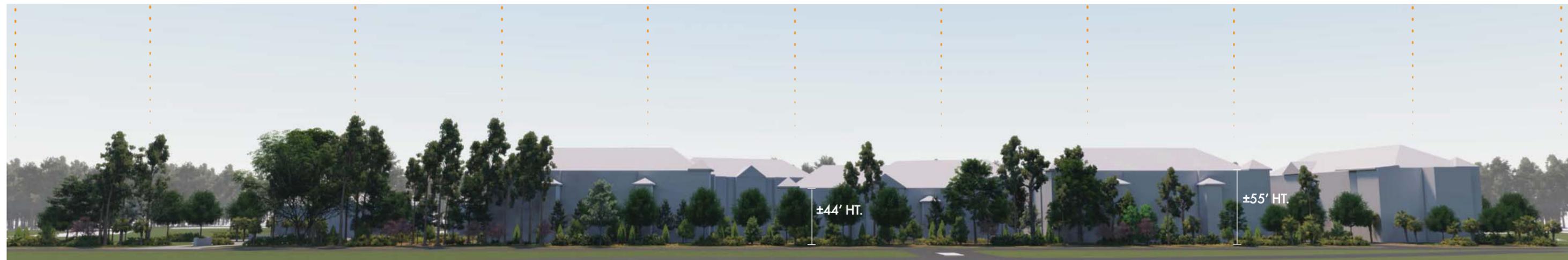
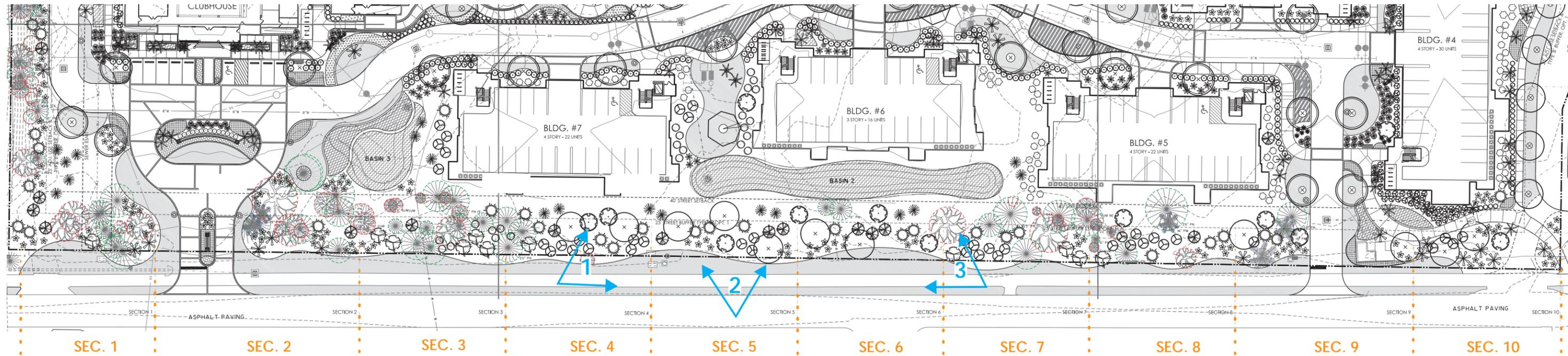
201807.0000

LEGEND

-  PROPOSED SITE PLAN
-  TREE TO BE REMOVED
-  EXISTING ASPHALT TENNIS COURT
-  EXISTING IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS



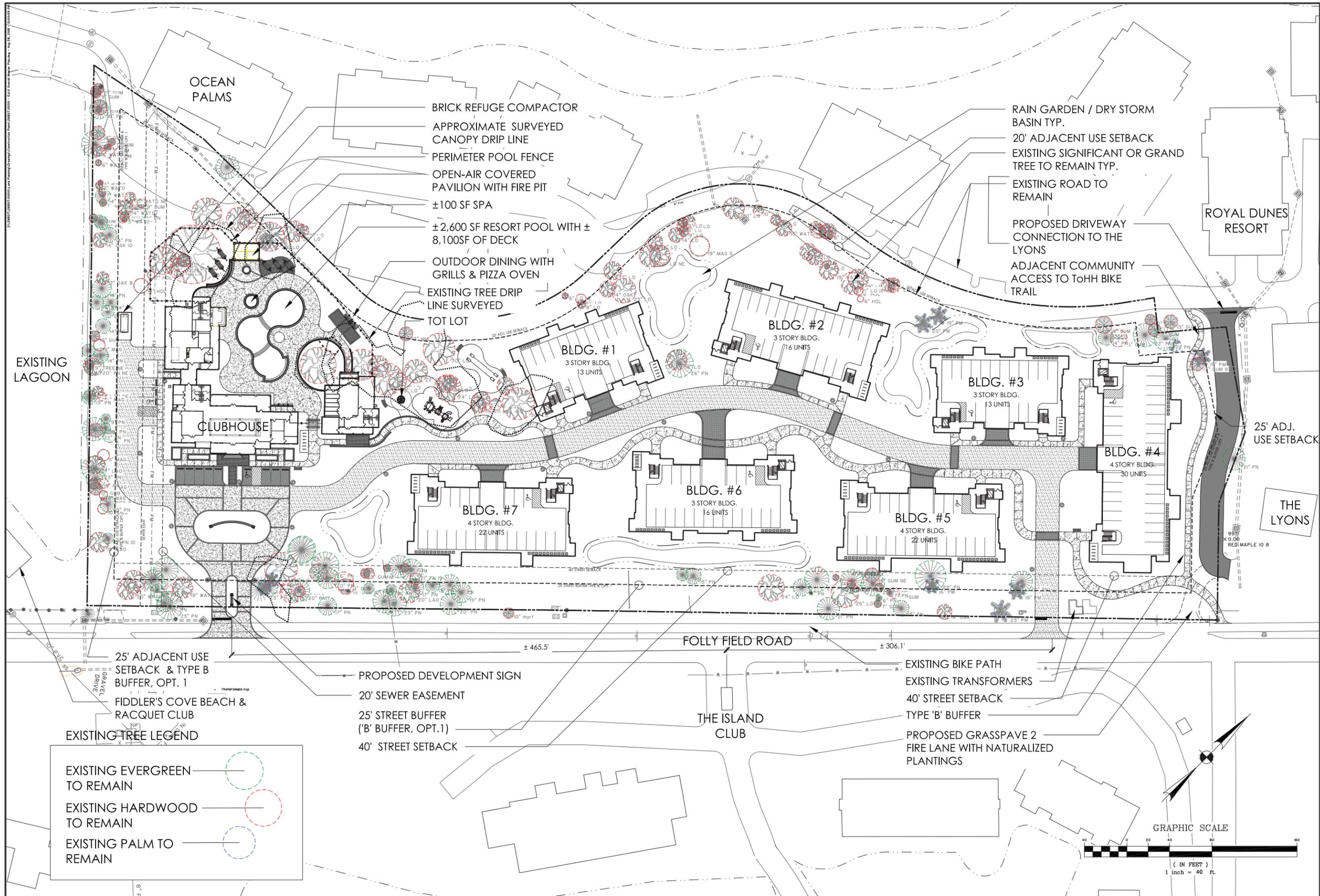




FOLLY FIELD RD SECTION

* PROPOSED PLANT MATERIAL SHOWN AFTER ±10-15 YEARS OF OPTIMAL GROWTH. ACTUAL GROWTH IN THE FIELD MAY BE MORE OR LESS DEPENDING ON SITE CONDITIONS & WEATHER PATTERNS





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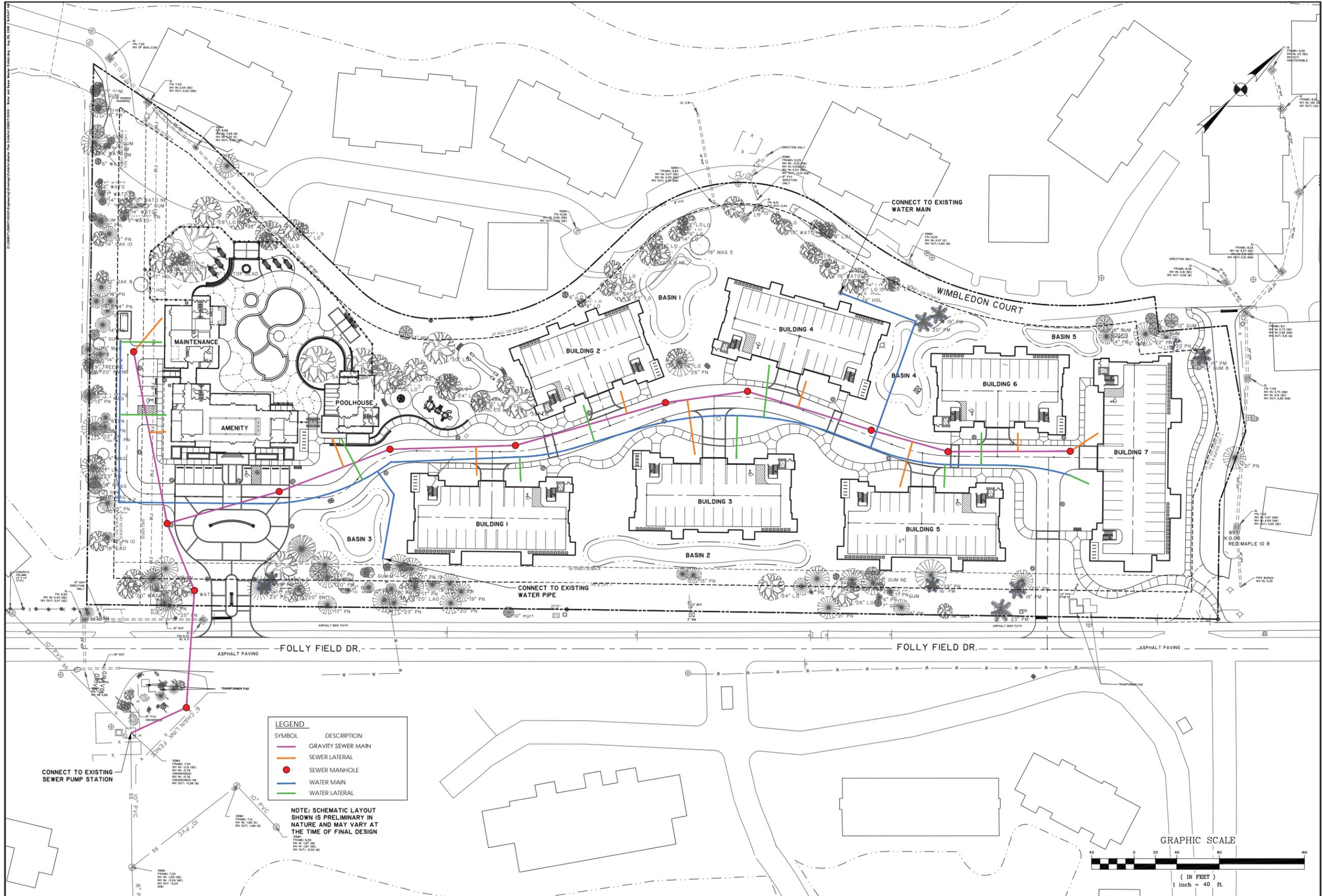
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H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
OVERALL MASTER PLAN

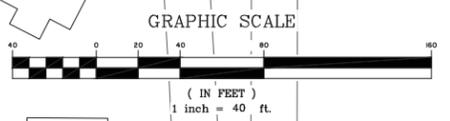
JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1"=40'

EX0.1



SYMBOL	DESCRIPTION
	GRAVITY SEWER MAIN
	SEWER LATERAL
	SEWER MANHOLE
	WATER MAIN
	WATER LATERAL

NOTE: SCHEMATIC LAYOUT SHOWN IS PRELIMINARY IN NATURE AND MAY VARY AT THE TIME OF FINAL DESIGN



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CONSTRUCTION

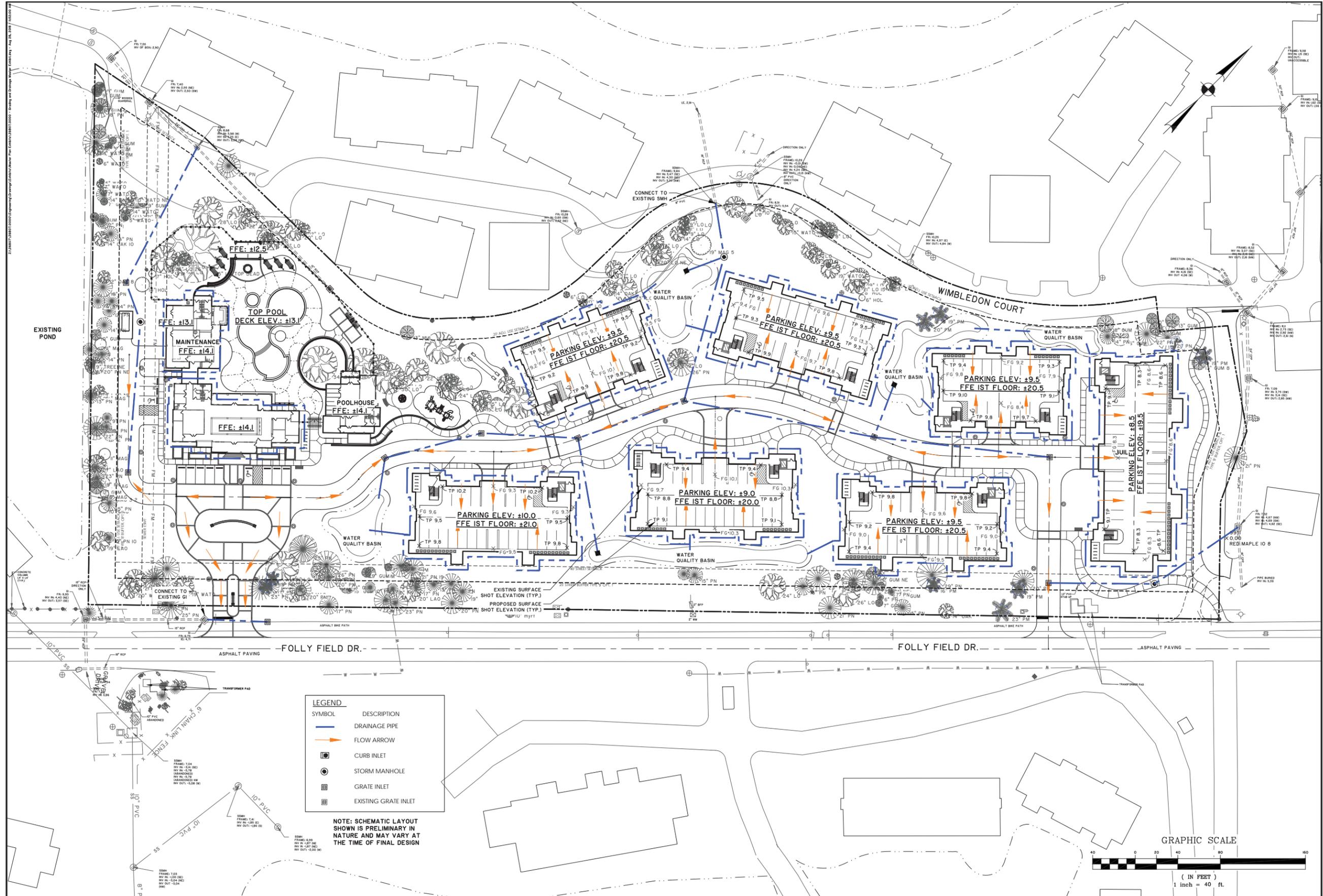
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HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON
WATER AND SEWER MASTER PLAN

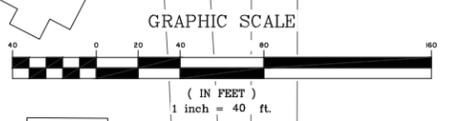
JOB NO:	J-26807-0000
DATE:	08/28/18
DRAWN:	CGC
DESIGNED:	MED
REVIEWED:	NBL
APPROVED:	NBL
SCALE:	1" = 40'

EX1.1



LEGEND	
SYMBOL	DESCRIPTION
	DRAINAGE PIPE
	FLOW ARROW
	CURB INLET
	STORM MANHOLE
	GRATE INLET
	EXISTING GRATE INLET

NOTE: SCHEMATIC LAYOUT SHOWN IS PRELIMINARY IN NATURE AND MAY VARY AT THE TIME OF FINAL DESIGN



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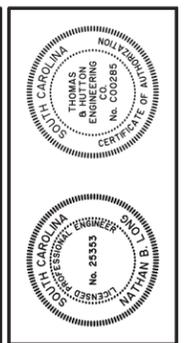
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 FIFTEEN WIMBLEDON
GRADING AND DRAINAGE MASTER PLAN

JOB NO:	J-26807.0000
DATE:	8/31/18
DRAWN:	CGC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 40'

EX2.1

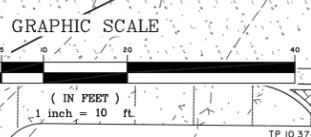


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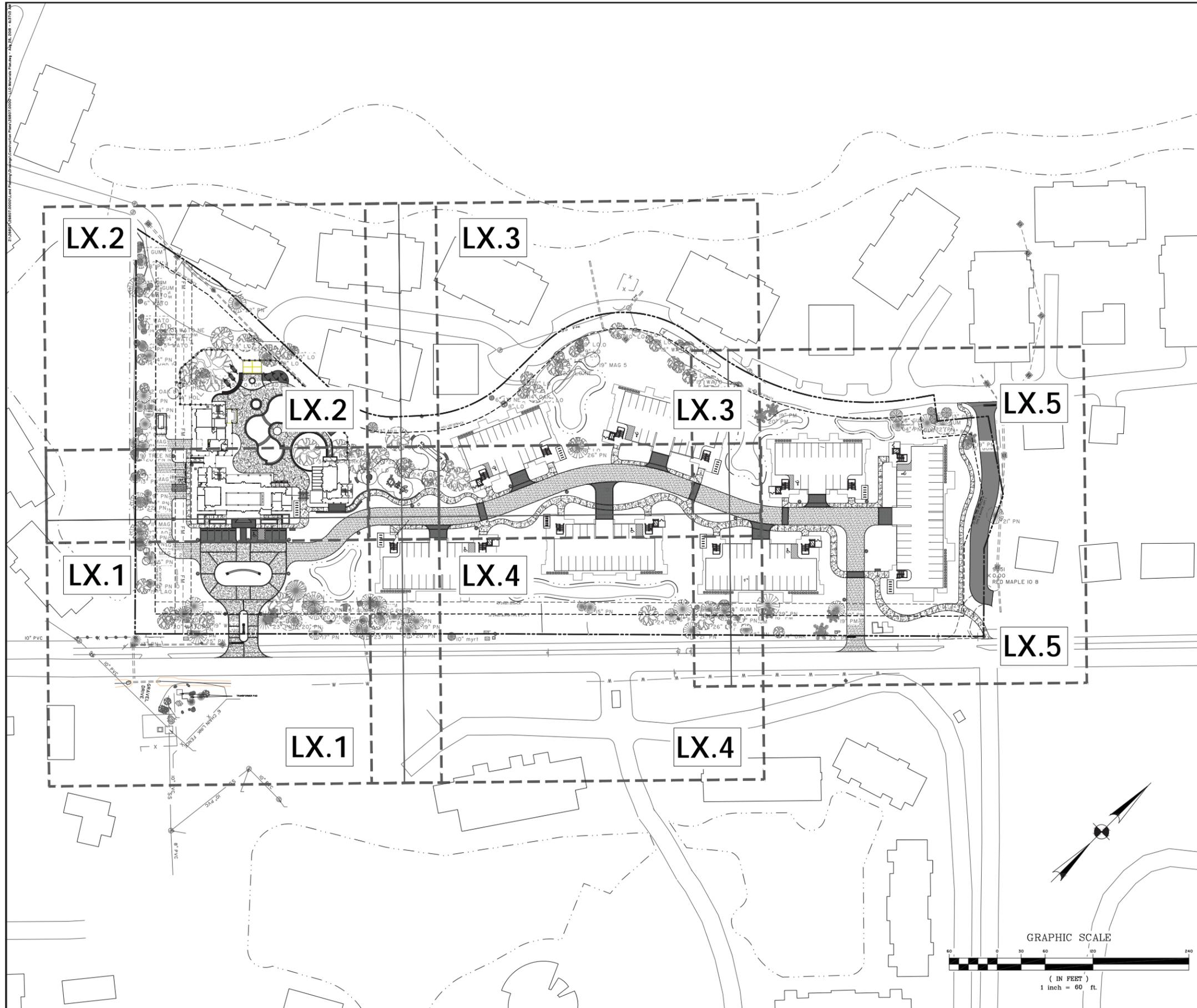
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FIFTEEN WIMBLETON
PAVING AND GRADING PLAN

JOB NO: J-26867.0000
 DATE: 8/31/18
 DRAWN: CCG
 DESIGNED: ETW
 REVIEWED: JRW
 APPROVED: NBL
 SCALE: 1" = 10'



C4.3



SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.1	TABBY ASPHALT W/ SHELL SEE CIVIL FOR SECTION	
1.2	SEE CIVIL	ASPHALT	
1.3	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ BRICK SOLIDER COURSE	
1.4	L3.1	VEHICULAR PAVERS	
1.5	L3.1	PEDESTRIAN PAVERS	
1.6	L3.1	SANDBLASTED CONC.	
1.7	L3.1	GRANITE FINES WITH METAL EDGING	
1.8	L3.1	POOL DECK & COPING - LIGHT SALT VOID CONC.	
1.9	L3.1	GRASS PAVE - FIRE LANE	
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	
2.3	SEE CIVIL	CONCRETE RAMPS / DOME TILES	
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.2	TABBY WALL WITH BRICK CAP (VARYING HTS.)	
3.2	L3.4	TIMBER RETAINING WALL (VARYING HTS.)	
3.3	L3.4	HANDRAIL	
3.4	L3.4	TABBY PIZZA OVEN	
3.5	L3.3	WOODEN TRELLIS	
3.6	L3.2	POOL FENCE & GATE	
3.7	L3.2	FIRE PIT	
3.8	SEE ARCH.	DUMPSTER ENCLOSURE	
4.0 SITE FURNISHINGS			
4.1	L3.4	BIKE RACK	
4.2	L3.4	BENCH	
4.3	L3.4	TRASH RECEPTACLE	
4.4	L3.4	DOG WASTE STATION	
4.5	L3.3	HAMMOCK	
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	
6.2	L3.1	RESORT ARRIVAL WALL	
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND (BY OTHERS - SEE MATERIALS BOARD)	

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
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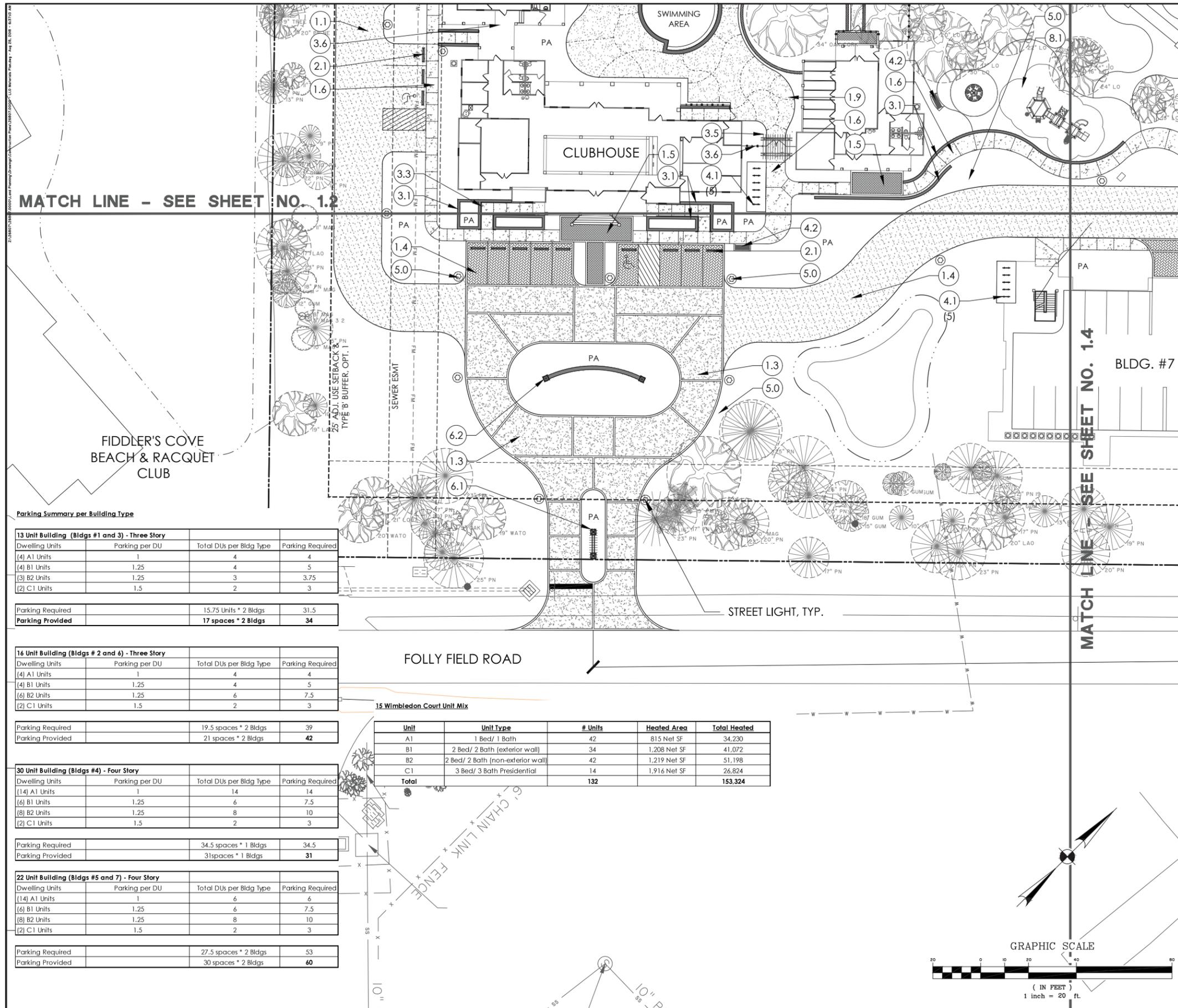
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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 60'

L1.0



MATCH LINE - SEE SHEET NO. 1.2

MATCH LINE - SEE SHEET NO. 1.4

Parking Summary per Building Type

13 Unit Building (Bldgs #1 and 3) - Three Story			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(4) A1 Units	1	4	4
(4) B1 Units	1.25	4	5
(3) B2 Units	1.25	3	3.75
(2) C1 Units	1.5	2	3
Parking Required		15.75 Units * 2 Bldgs	31.5
Parking Provided		17 spaces * 2 Bldgs	34

16 Unit Building (Bldgs #2 and 6) - Three Story			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(4) A1 Units	1	4	4
(4) B1 Units	1.25	4	5
(6) B2 Units	1.25	6	7.5
(2) C1 Units	1.5	2	3
Parking Required		19.5 spaces * 2 Bldgs	39
Parking Provided		21 spaces * 2 Bldgs	42

30 Unit Building (Bldgs #4) - Four Story			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(14) A1 Units	1	14	14
(6) B1 Units	1.25	6	7.5
(8) B2 Units	1.25	8	10
(2) C1 Units	1.5	2	3
Parking Required		34.5 spaces * 1 Bldgs	34.5
Parking Provided		31 spaces * 1 Bldgs	31

22 Unit Building (Bldgs #5 and 7) - Four Story			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(14) A1 Units	1	6	6
(6) B1 Units	1.25	6	7.5
(8) B2 Units	1.25	8	10
(2) C1 Units	1.5	2	3
Parking Required		27.5 spaces * 2 Bldgs	53
Parking Provided		30 spaces * 2 Bldgs	60

Unit	Unit Type	# Units	Heated Area	Total Heated
A1	1 Bed/ 1 Bath	42	815 Net SF	34,230
B1	2 Bed/ 2 Bath (exterior wall)	34	1,208 Net SF	41,072
B2	2 Bed/ 2 Bath (non-exterior wall)	42	1,219 Net SF	51,198
C1	3 Bed/ 3 Bath Presidential	14	1,916 Net SF	26,824
Total		132		153,324

SITE DETAIL KEYNOTES

- | # | Sheet # | Detail | Symbol |
|---------------------------------------------------------------------|-----------|------------------------------------------------------------|--------|
| 1.0 PAVING | | | |
| 1.1 | L3.1 | TABBY ASPHALT W/ SHELL
SEE CIVIL FOR SECTION | |
| 1.2 | SEE CIVIL | ASPHALT | |
| 1.3 | L3.1 | VEHICULAR PLAZA - TABBY CONC.
W/ BRICK SOLIDER COURSE | |
| 1.4 | L3.1 | VEHICULAR PAVERS | |
| 1.5 | L3.1 | PEDESTRIAN PAVERS | |
| 1.6 | L3.1 | SANDBLASTED CONC. | |
| 1.7 | L3.1 | GRANITE FINES WITH METAL EDGING | |
| 1.8 | L3.1 | POOL DECK & COPING -
LIGHT SALT VOID CONC. | |
| 1.9 | L3.1 | GRASS PAVE - FIRE LANE | |
| 2.0 STEPS, RAMPS, & CURBS | | | |
| 2.1 | SEE CIVIL | CONCRETE WHEEL STOPS | |
| 2.2 | SEE CIVIL | FLUSH CONCRETE CURB
W/ SAND-BLASTED FINISH | |
| 2.3 | SEE CIVIL | CONCRETE RAMPS / DOME TILES | |
| 3.0 WALLS, MASONRY, & VERTICAL ELEMENTS | | | |
| 3.1 | L3.2 | TABBY WALL WITH BRICK CAP
(VARYING HTS.) | |
| 3.2 | L3.4 | TIMBER RETAINING WALL
(VARYING HTS.) | |
| 3.3 | L3.4 | HANDRAIL | |
| 3.4 | L3.4 | TABBY PIZZA OVEN | |
| 3.5 | L3.3 | WOODEN TRELLIS | |
| 3.6 | L3.2 | POOL FENCE & GATE | |
| 3.7 | L3.2 | FIRE PIT | |
| 3.8 | SEE ARCH. | DUMPSTER ENCLOSURE | |
| 4.0 SITE FURNISHINGS | | | |
| 4.1 | L3.4 | BIKE RACK | |
| 4.2 | L3.4 | BENCH | |
| 4.3 | L3.4 | TRASH RECEPTACLE | |
| 4.4 | L3.4 | DOG WASTE STATION | |
| 4.5 | L3.3 | HAMMOCK | |
| 5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS | | | |
| 6.0 SIGNAGE | | | |
| 6.1 | L3.2 | PROJECT ID SIGN | |
| 6.2 | L3.1 | RESORT ARRIVAL WALL | |
| 7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2 | | | |
| 8.0 MISCELLANEOUS | | | |
| 8.1 | | CHILDREN'S PLAYGROUND
(BY OTHERS - SEE MATERIALS BOARD) | |

HARDSCAPE KEYNOTES

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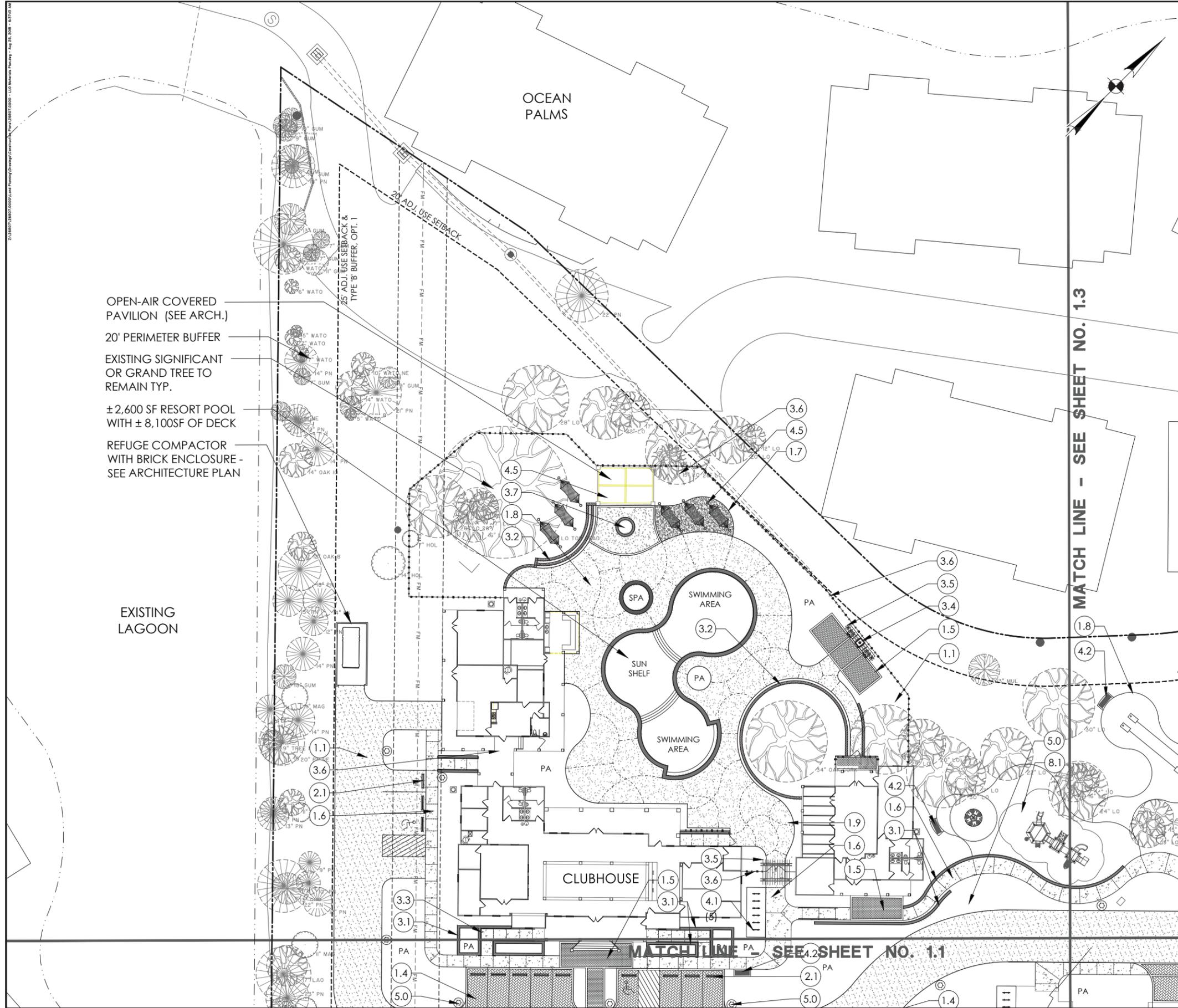
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DESIGNED:	JLG / JAS
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SCALE:	1" = 20'

L1.1

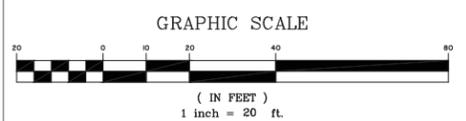


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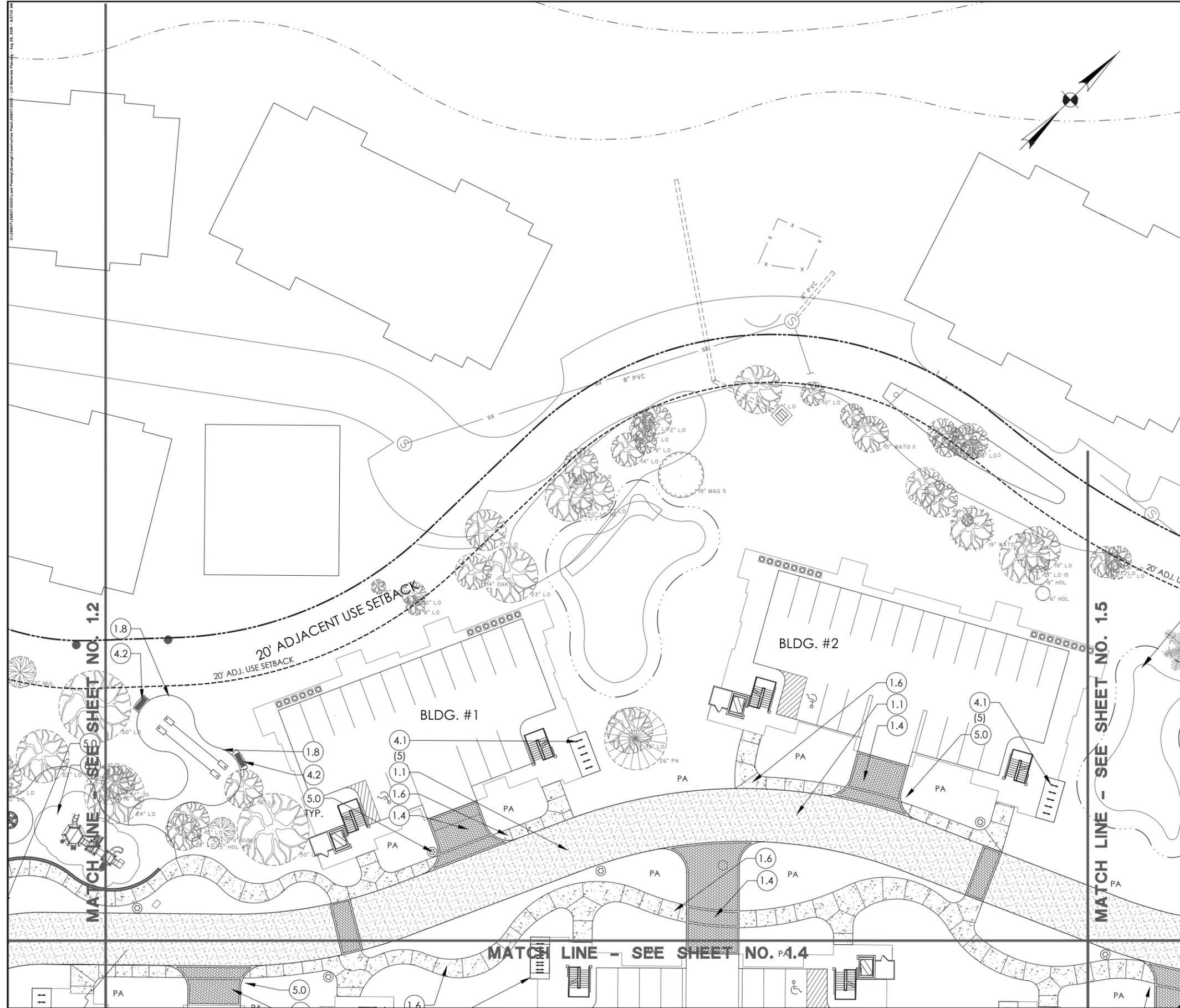
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PARTNERS, LLC**
 HILTON HEAD ISLAND, SOUTH CAROLINA
**FIFTEEN WIMBLETON
MATERIALS PLAN**

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DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.2

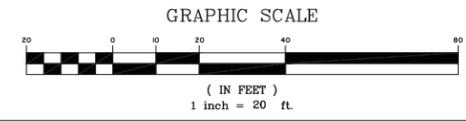


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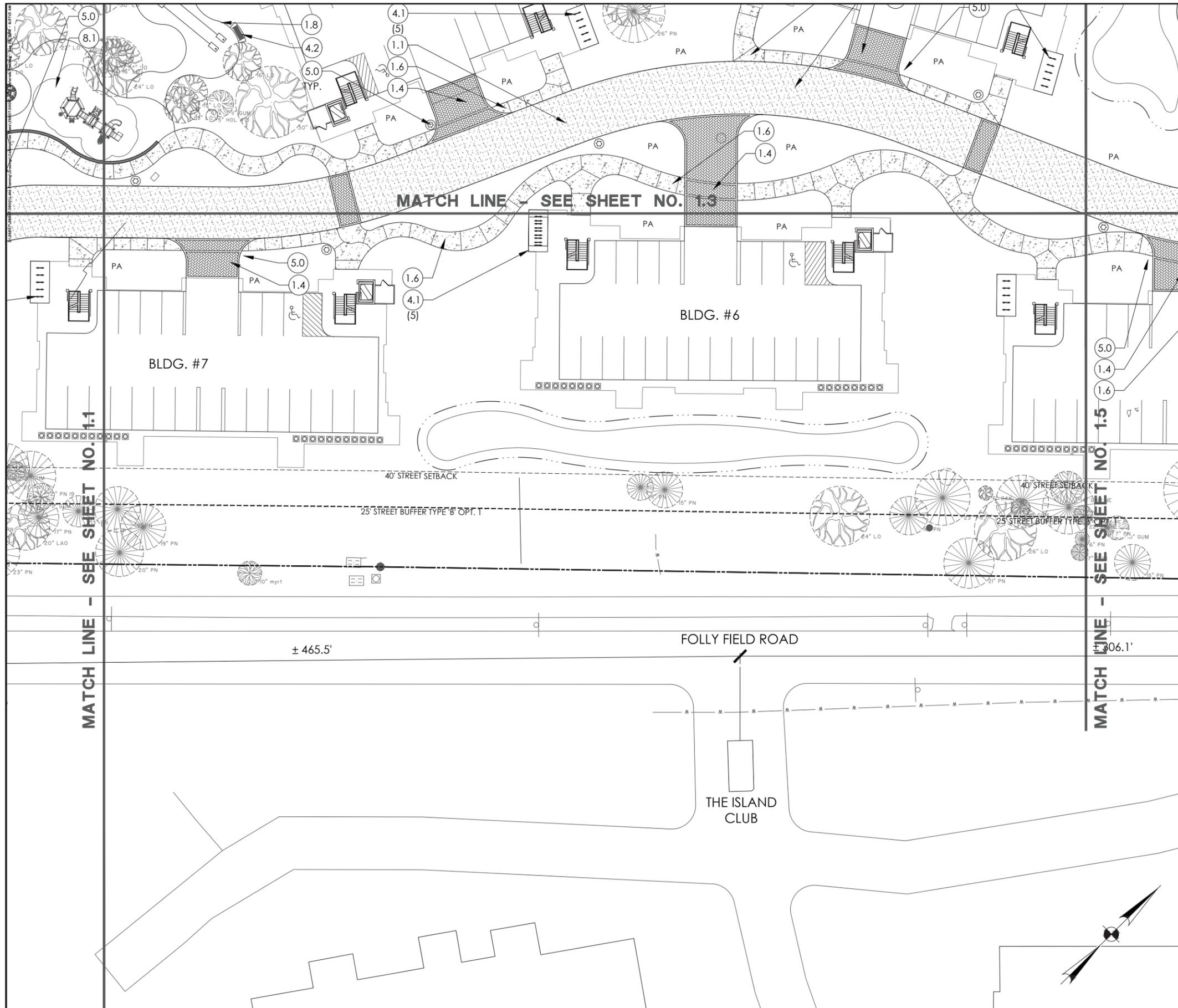
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SCALE:	1" = 20'

L1.3

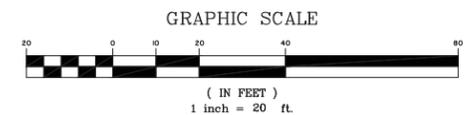


SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.1	TABBY ASPHALT W/ SHELL SEE CIVIL FOR SECTION	
1.2	SEE CIVIL	ASPHALT	
1.3	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ BRICK SOLIDER COURSE	
1.4	L3.1	VEHICULAR PAVERS	
1.5	L3.1	PEDESTRIAN PAVERS	
1.6	L3.1	SANDBLASTED CONC.	
1.7	L3.1	GRANITE FINES WITH METAL EDGING	
1.8	L3.1	POOL DECK & COPING - LIGHT SALT VOID CONC.	
1.9	L3.1	GRASS PAVE - FIRE LANE	
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	
2.3	SEE CIVIL	CONCRETE RAMPS / DOME TILES	
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.2	TABBY WALL WITH BRICK CAP (VARYING HTS.)	
3.2	L3.4	TIMBER RETAINING WALL (VARYING HTS.)	
3.3	L3.4	HANDRAIL	
3.4	L3.4	TABBY PIZZA OVEN	
3.5	L3.3	WOODEN TRELLIS	
3.6	L3.2	POOL FENCE & GATE	
3.7	L3.2	FIRE PIT	
3.8	SEE ARCH.	DUMPSTER ENCLOSURE	
4.0 SITE FURNISHINGS			
4.1	L3.4	BIKE RACK	
4.2	L3.4	BENCH	
4.3	L3.4	TRASH RECEPTACLE	
4.4	L3.4	DOG WASTE STATION	
4.5	L3.3	HAMMOCK	
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	
6.2	L3.1	RESORT ARRIVAL WALL	
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND (BY OTHERS - SEE MATERIALS BOARD)	

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
- 5 SEE LANDSCAPE PLAN



**PRELIMINARY
NOT FOR
CONSTRUCTION**

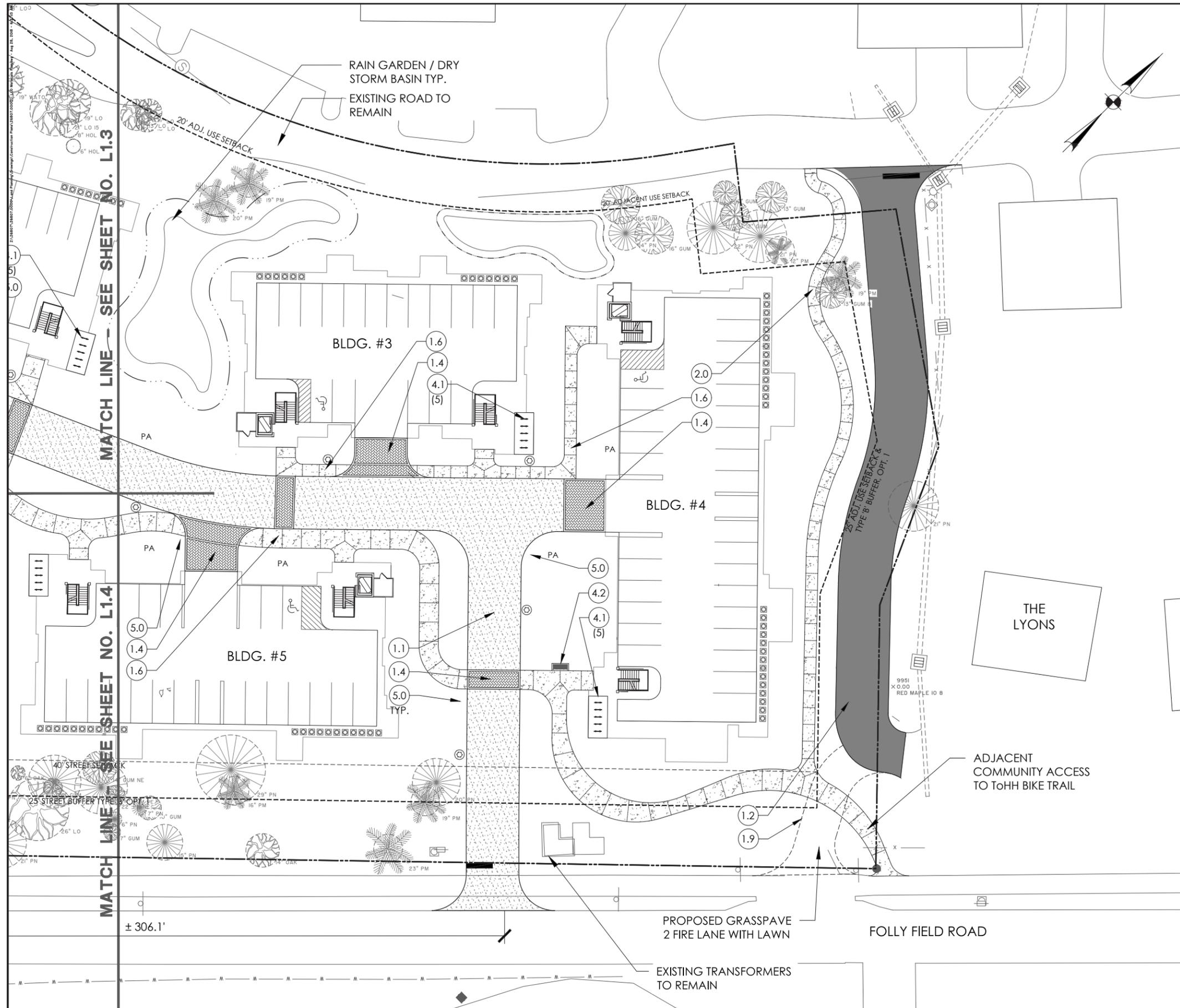
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	8/31/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.4

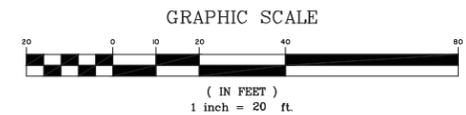


SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.1	TABBY ASPHALT W/ SHELL SEE CIVIL FOR SECTION	[Symbol]
1.2	SEE CIVIL	ASPHALT	[Symbol]
1.3	L3.1	VEHICULAR PLAZA - TABBY CONC. W/ BRICK SOLIDER COURSE	[Symbol]
1.4	L3.1	VEHICULAR PAVERS	[Symbol]
1.5	L3.1	PEDESTRIAN PAVERS	[Symbol]
1.6	L3.1	SANDBLASTED CONC.	[Symbol]
1.7	L3.1	GRANITE FINES WITH METAL EDGING	[Symbol]
1.8	L3.1	POOL DECK & COPING - LIGHT SALT VOID CONC.	[Symbol]
1.9	L3.1	GRASS PAVE - FIRE LANE	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	SEE CIVIL	CONCRETE WHEEL STOPS	[Symbol]
2.2	SEE CIVIL	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	SEE CIVIL	CONCRETE RAMPS / DOME TILES	[Symbol]
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.2	TABBY WALL WITH BRICK CAP (VARYING HTS.)	[Symbol]
3.2	L3.4	TIMBER RETAINING WALL (VARYING HTS.)	[Symbol]
3.3	L3.4	HANDRAIL	[Symbol]
3.4	L3.4	TABBY PIZZA OVEN	[Symbol]
3.5	L3.3	WOODEN TRELLIS	[Symbol]
3.6	L3.2	POOL FENCE & GATE	[Symbol]
3.7	L3.2	FIRE PIT	[Symbol]
3.8	SEE ARCH.	DUMPSTER ENCLOSURE	[Symbol]
4.0 SITE FURNISHINGS			
4.1	L3.4	BIKE RACK	[Symbol]
4.2	L3.4	BENCH	[Symbol]
4.3	L3.4	TRASH RECEPTACLE	[Symbol]
4.4	L3.4	DOG WASTE STATION	[Symbol]
4.5	L3.3	HAMMOCK	[Symbol]
5.0 LIGHTING - SEE LOW VOLTAGE & OVERHEAD LIGHTING PLANS			
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	[Symbol]
6.2	L3.1	RESORT ARRIVAL WALL	[Symbol]
7.0 PLANTING - SEE PLANTING DETAILS SHEET L5.2			
8.0 MISCELLANEOUS			
8.1		CHILDREN'S PLAYGROUND (BY OTHERS - SEE MATERIALS BOARD)	[Symbol]

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 DRY STORMWATER COLLECTION AREA
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING PALM TREES TO REMAIN
- 5 SEE LANDSCAPE PLAN



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DRAWN:	JLG / JAS
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SCALE:	1" = 20'

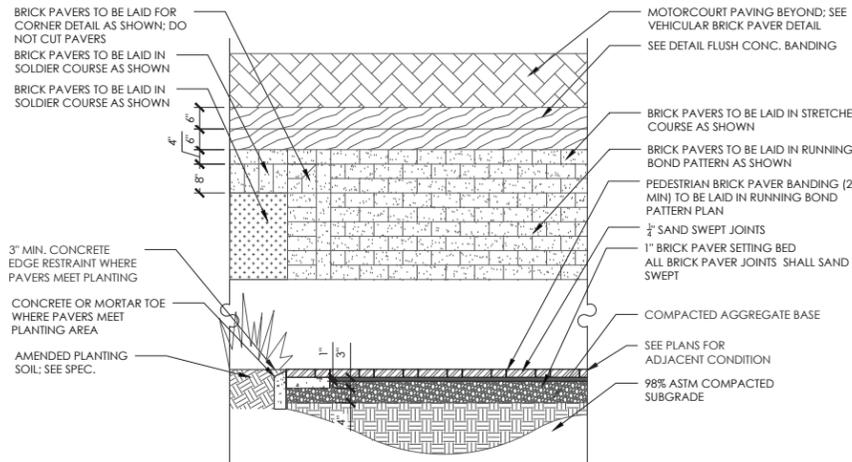
L1.5



1.1 TABBY ASPHALT DRIVE - SEE CIVIL DETAIL

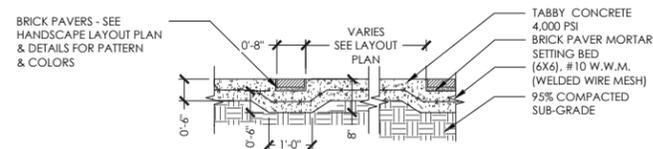
L3.1 Scale: NTS

- PEDESTRIAN PAVER NOTES:**
- CONTRACTOR TO PROVIDE 5X5 MOCK UP SHOWING ALL PAVER TRANSITION AREAS (PAVERS AT PLANTING EDGE, AT FLUSH CURBING, AT FIELDSTONE PAVING, ETC).
 - CONTRACTOR TO PROVIDE PHYSICAL PAVER SAMPLES FOR APPROVAL BY OWNER/LANDSCAPE ARCHITECT.
 - DRAIN PIPES BELOW THE BASE MAY BE NECESSARY IN SLOW DRAINING SUBGRADE
 - PAVER TO BE INSTALLED PER BRICK PAVER INSTITUTE TECH SPEC 2 FOR GUIDELINES AND SPECIFICATIONS FOR BASE MATERIALS, SUBGRADE SOIL AND BASE COMPACTION.



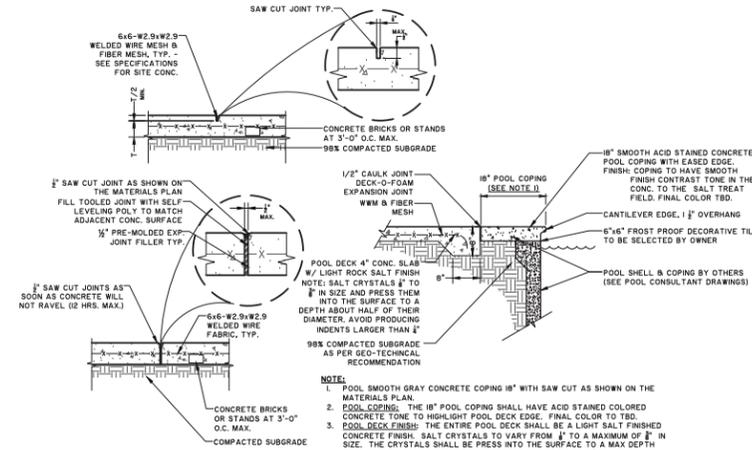
1.2 PEDESTIAN PAVERS

L3.1 Scale: 1" = 1'-0"



1.3 ENTRY PLAZA TABBY CONC.

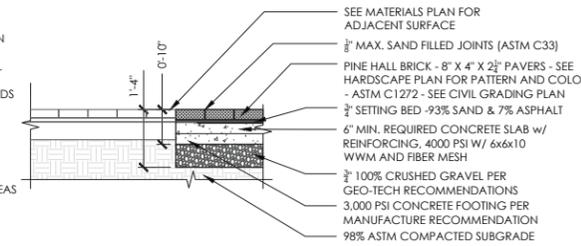
L3.1 Scale: 1" = 1'-0"



1.4 POOL DECK

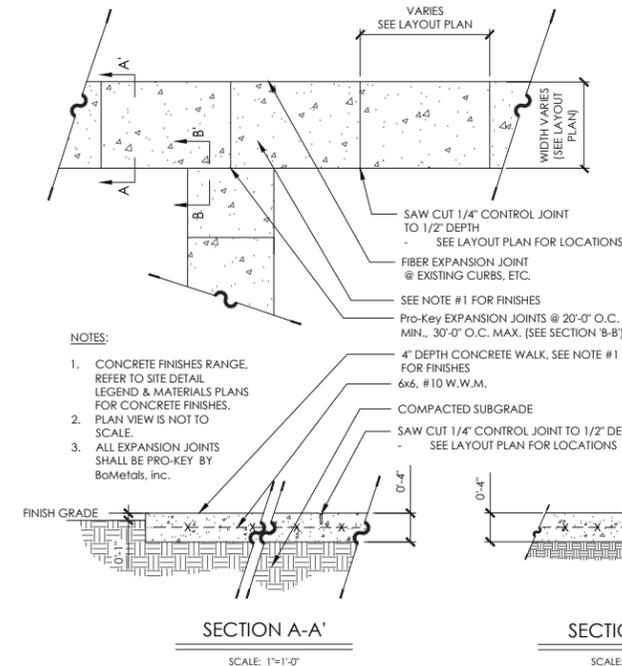
L3.1 Scale: 1" = 1'-0"

- TRAFFIC RATED PAVER NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - PAVER TO EXCEED ASTM STANDARDS FOR PEDESTRIAN / LIGHT TRAFFIC APPLICATIONS WITH 10,000 PSI STRENGTH AND LOW WATER ABSORPTION (5-6%).
 - FINAL ROAD AND TRAFFIC PAVER BASE FOR ALL VEHICLE TRAVEL AREAS WILL BE DETERMINED BASED ON GEO-TECHNICAL RECOMMENDATIONS.



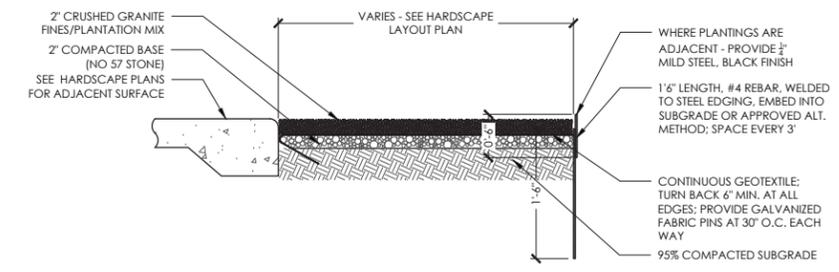
1.5 ENTRY PLAZA BRICK PAVERS

L3.1 Scale: 1" = 1'-0"



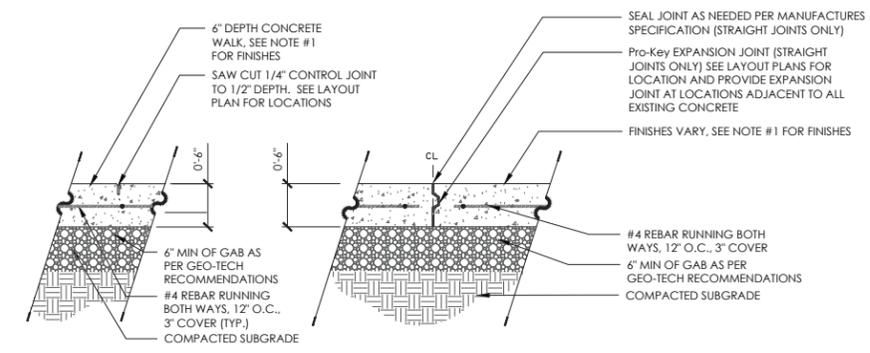
1.6 SAND BLASTED CONC.

L3.1 Scale: 1" = 1'-0"



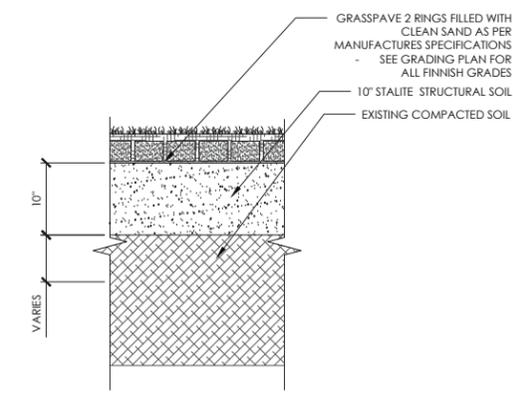
1.8 GRANITE FINES WITH METAL EDGING

L3.1 Scale: 1" = 1'-0"



1.8 VEHICULAR HEAVY DUTY CONC.

L3.1 Scale: 1" = 1'-0"



1.19 GRASS PAVE FIRE LANE

L3.1 Scale: 1" = 1'-0"

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CONSTRUCTION

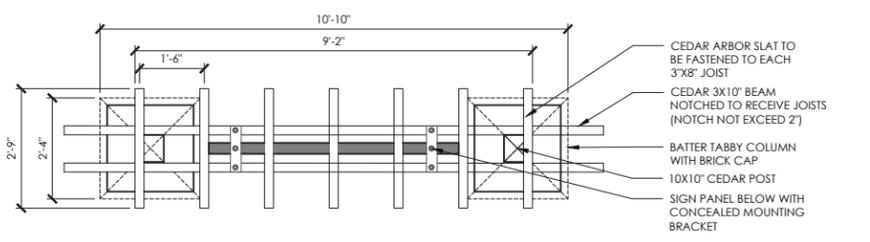
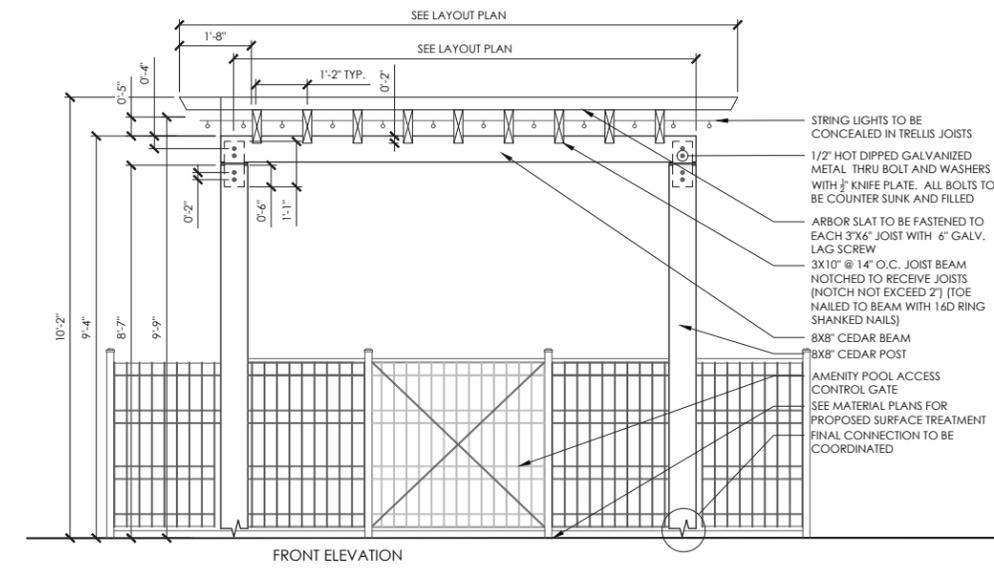
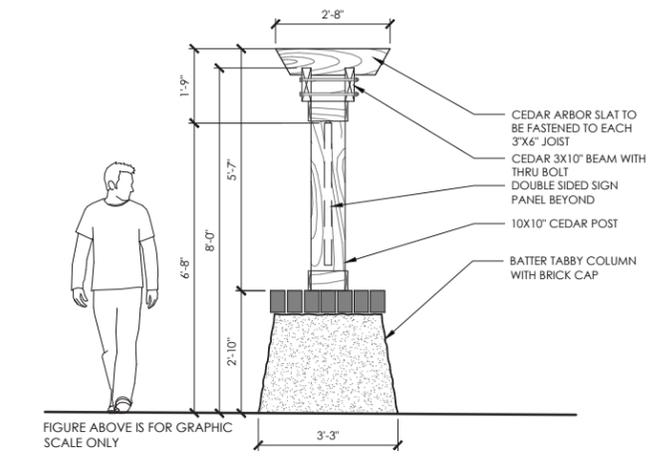
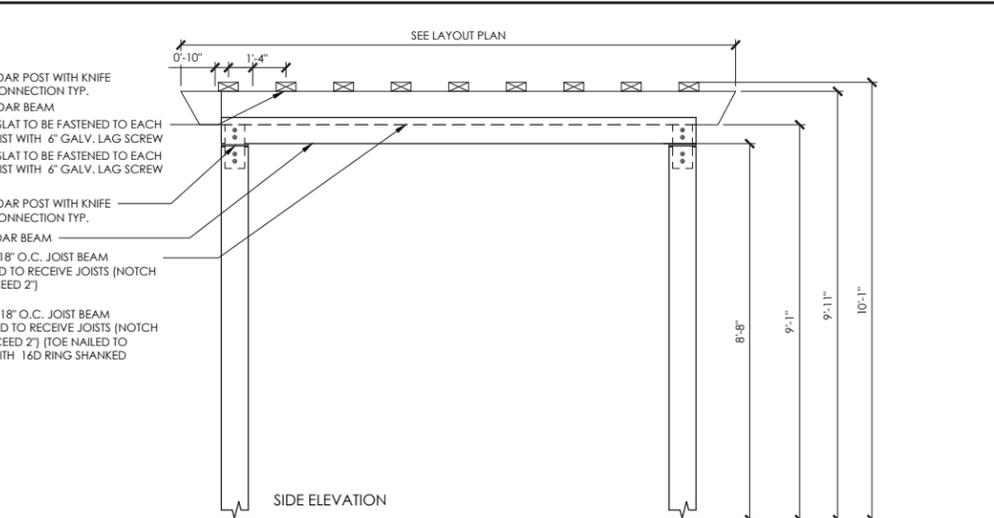
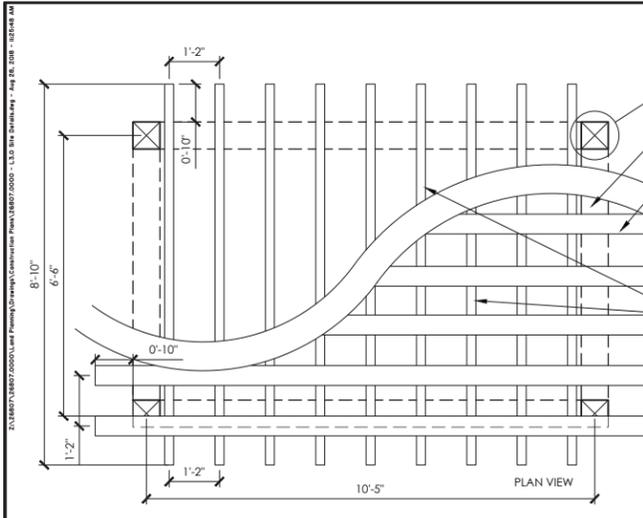
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
SITE DETAILS

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

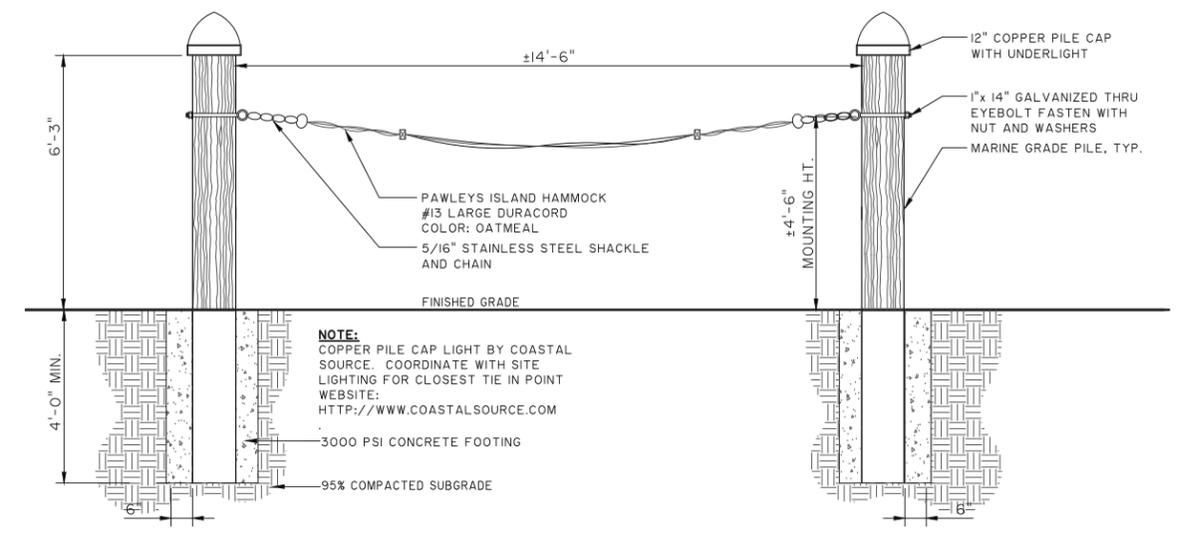
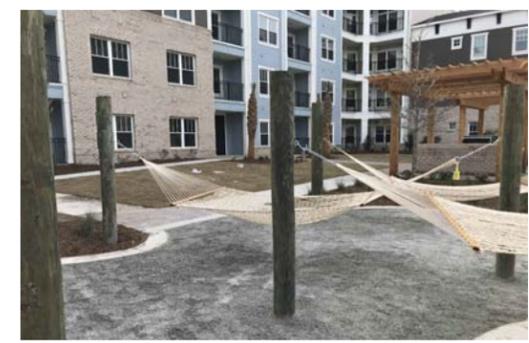
L3.1



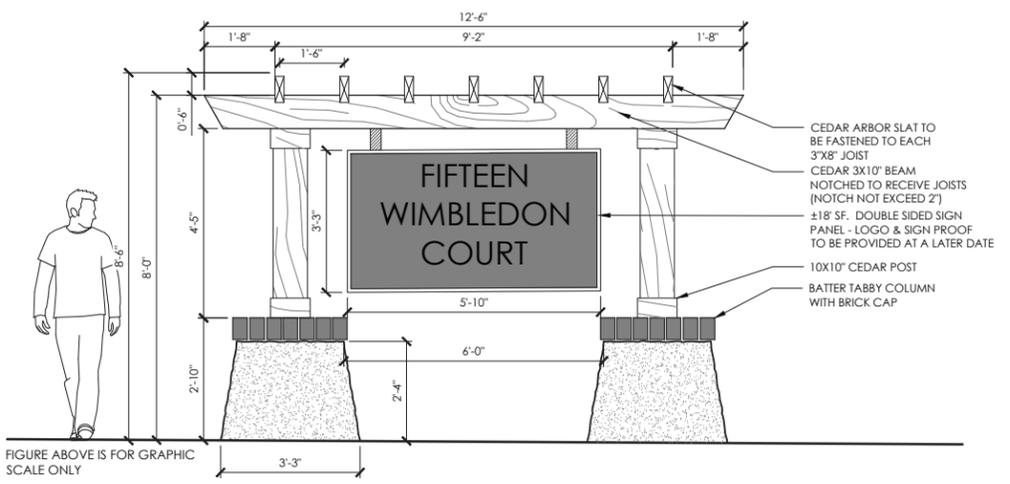
WOOD TRELLIS GENERAL NOTES:

1. ALL TIMBER SHALL BE WESTERN RED CEDAR (WRCLA WESTERN RED CEDAR) WITH NO.1 CEDAR & BETTER OR BETTER IN ACCORDANCE WITH WESTERN RED CEDAR LUMBER ASSOCIATION GRADING RULES.
2. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123-GRADE 8S.
3. ALL DETAILS THAT REFER TO WOODEN MEMBERS TO BE SEALANT FOR THE CEDAR SHALL BE PENOFIN TME HARDWOOD TRANSPARENT STAIN IN A NATURAL - MATTE FINISH. THE CONTRACTOR SHALL APPLY A MINIMUM OF 2 COATS AS PER MANUFACTURES RECOMMENDATIONS FOR UNIFORM COVERAGE.

4.1 CEDAR TELLIS
 Scale: 1/2" = 1'-0"



4.2 HAMMOCK
 Scale: 1/2" = 1'-0"



6.1 ENTRY SIGNAGE
 Scale: 1/2" = 1'-0"

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 CONSTRUCTION

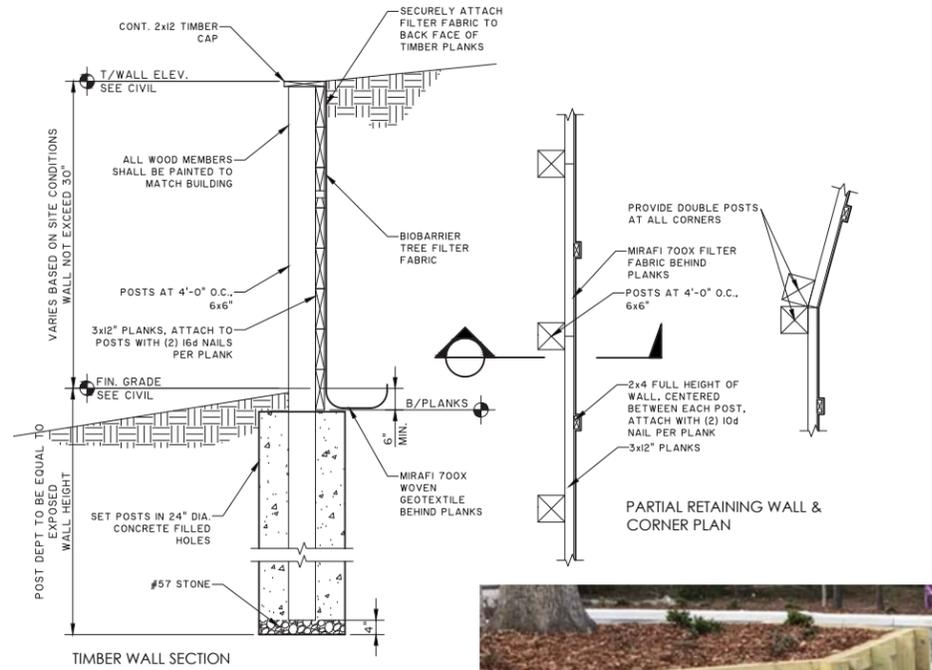
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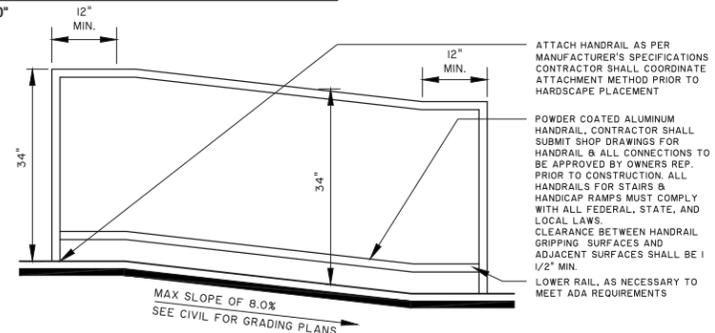
H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLEDON
 SITE DETAILS

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

L3.3



3.2 **TIMBER WALL**
L3.4 Scale: 1/2" = 1'-0"

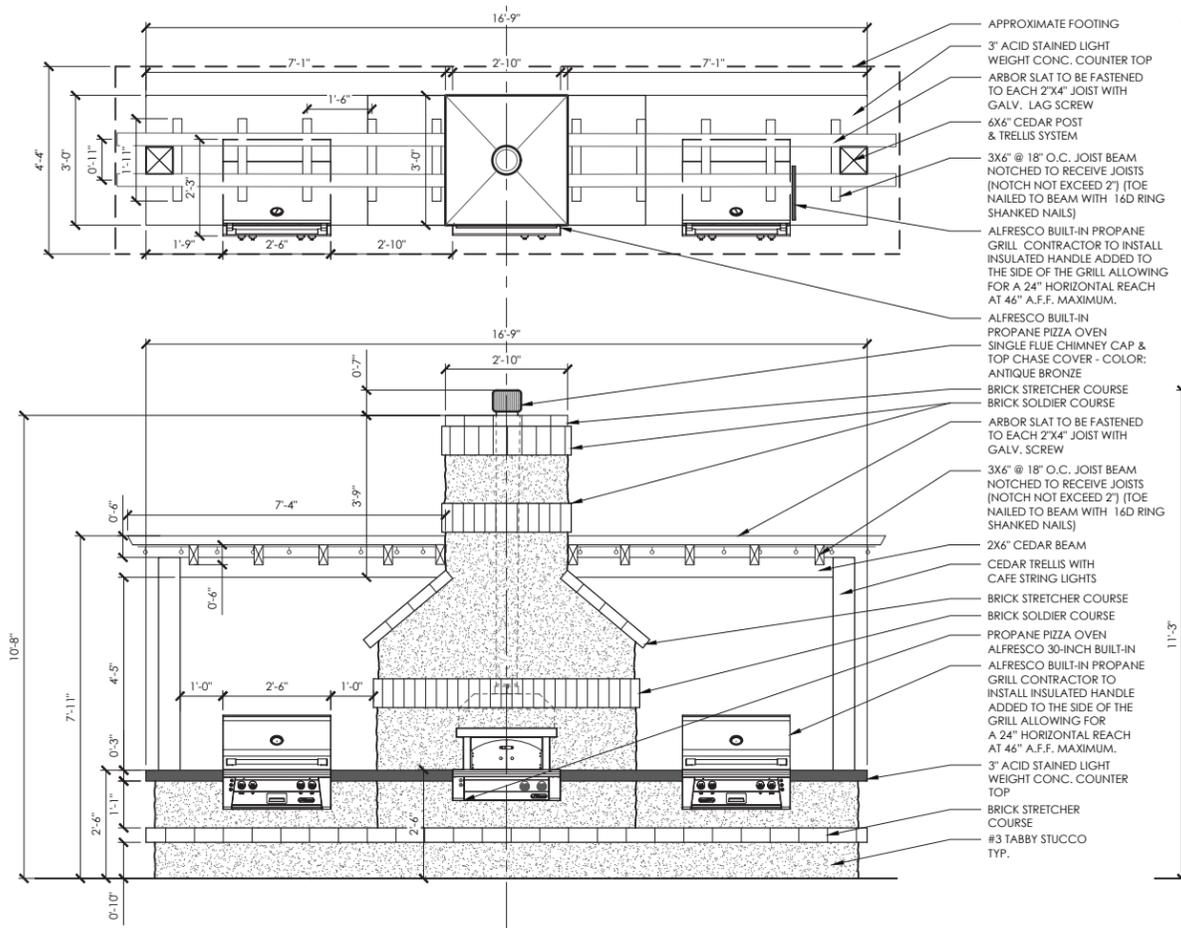


NOTE:
POWDER BAKED ALUMINUM HANDRAIL TYP. TO MATCH TO ARCHITECTURAL PLANS
- CONTRACTOR TO SUBMIT SHOP DRAWINGS AND CONSTRUCT A RAILING AND GUARDRAIL SAMPLE PANEL FOR REVIEW AND ACCEPTANCE. THE SAMPLE PANEL SHALL REMAIN ON SITE UNTIL THE PROJECT REACHES SUBSTANTIAL COMPLETION.
- CONTRACTOR TO SUBMIT COLOR SWATCHES TO BE ACCEPTED BY DESIGN TEAM AND OWNER'S REPRESENTATIVE

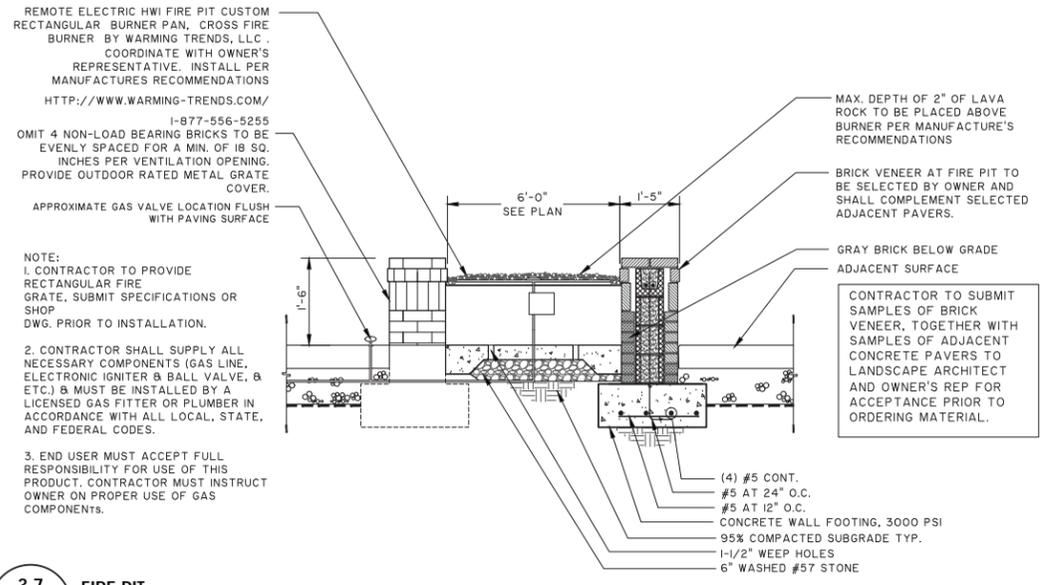
HANDRAIL NOTES:

- HANDRAILS: HANDRAILS TO COMPLY WITH ANSI 2003 SECTION 505.
-HANDRAILS: TOP OF HANDRAIL #34" ABOVE NOSING OF TREADS.
-CLEARANCE: CLEARANCE BETWEEN HANDRAIL GRIPPING SURFACES AND ADJACENT SURFACES SHALL BE 1 1/2 INCHES MIN.
-CROSS SECTION: CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 1 1/4 INCHES.
- SUBMIT SHOP DRAWINGS FOR REVIEW AND CONSTRUCT A SAMPLE PANEL OF RAILING AND GUARDRAIL FOR ACCEPTANCE FROM DESIGN TEAM AND OWNER'S REPRESENTATIVE.

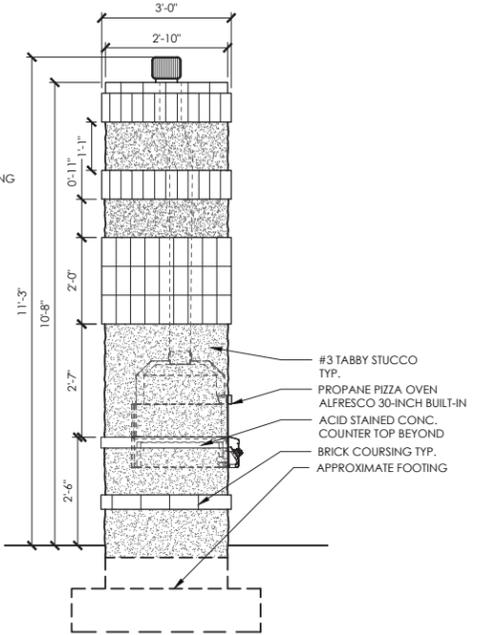
3.3 **HANDRAIL**
L3.4 Scale: 1/2" = 1'-0"



3.4 **TABBY PIZZA OVEN**
L3.4 Scale: 1/2" = 1'-0"



3.7 **FIRE PIT**
L3.4 Scale: 1/2" = 1'-0"



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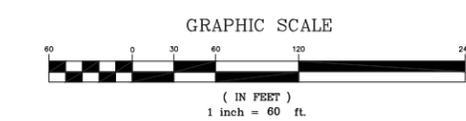
L3.4

LEGEND

6" SCH 40 PVC ELECTRIC CONDUIT
WITH PULL STRING 42" DEPTH BY OWNER

NAME: X:\MAPS\1807004P.DWG

- Redline Notes:
1. This redline drawing is a schematic representation of the electrical infrastructure that will be installed for this project and is not GPS correct. Usually all of the lines that represent primary and secondary cables are buried in the same trench, but are shown separately to represent their connectivity. This trench will be on private property and not the road right-of-way, therefore this area should be clear and to rough grade before construction can begin.
 2. Coordinate with Palmetto Electric Cooperative, Inc. (PECI) field engineer prior to the installation to ensure clarity of what is expected.
 3. All conduit shall be schedule 40 electrical PVC.
 4. All conduit elbows shall be sweep.
 5. All conduit joints shall be glued.
 6. All conduits shall have pull string.
 7. All conduits that end at a post-mounted piece of equipment shall be turned-up with a sweep 90 degree elbow. If the equipment is existing, tract it as energized and get assistance from PECO. These are typical types of equipment that require turned-up conduit: FS, SZ, SS, S9, S6, S2, TD, V4, or V6.
 8. All conduit that does not end at a piece of equipment shall be capped to keep mud or dirt out and shall be marked to ease in locating the end. This could be where the conduit acts as a sleeve crossing a parking lot, road or wetland.
 9. When the conduit is being used as a sleeve, extend it 5 feet beyond the curb or any other obstruction or utility.
 10. Typical depths are given in the legend, and the details of any particular job shall be verified with the PECO field representative.



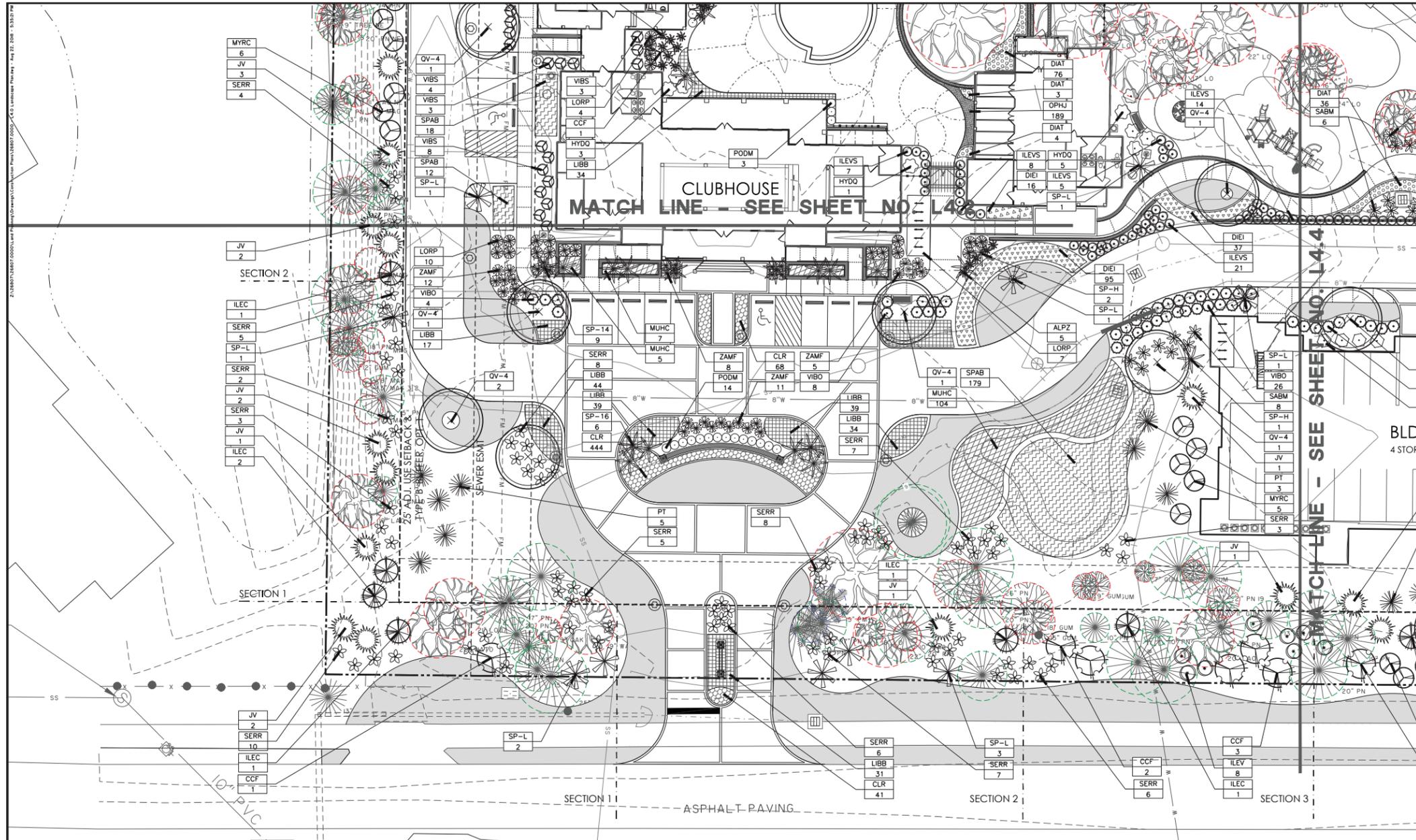
PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29827
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: T.J.H.
CHECKED BY: ENG
DRAWN BY: RBT
DATE: 8/22/18
SCALE: 1" = 60'
PROJECT NO.: 1807004P
MAP NO: 00000000
SHEET NO.
1
OF
1

PRIMARY PROPOSAL FOR
77 FOLLY FIELD ROAD
FOLLY FIELD ROAD
TOWN OF HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA



EXISTING TREE LEGEND

	HARDWOOD
	EVERGREEN
	PALM

- Preliminary -
Not For Construction

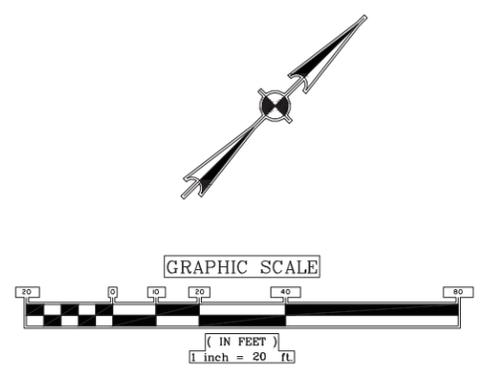
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 FIFTEEN WIMBLETON
PLANTING PLAN

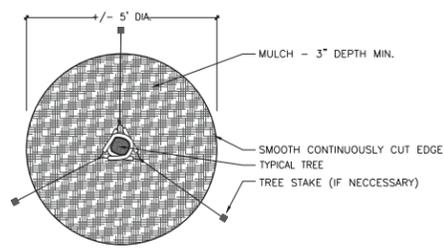
JOB NO:	J-26807 0000
DATE:	8/31/18
DRAWN:	CSC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 20'

L4.1



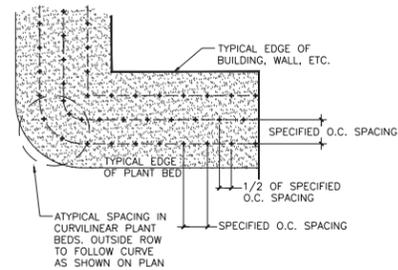


Know what's below.
Call before you dig.



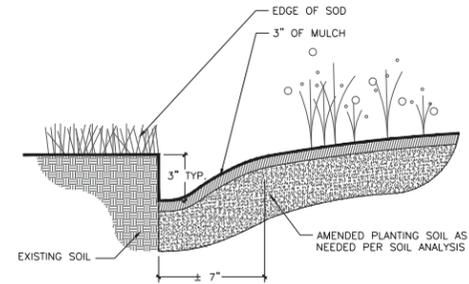
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) APPLY MULCH IN A +/- 5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREA.

TREE RING
NOT TO SCALE



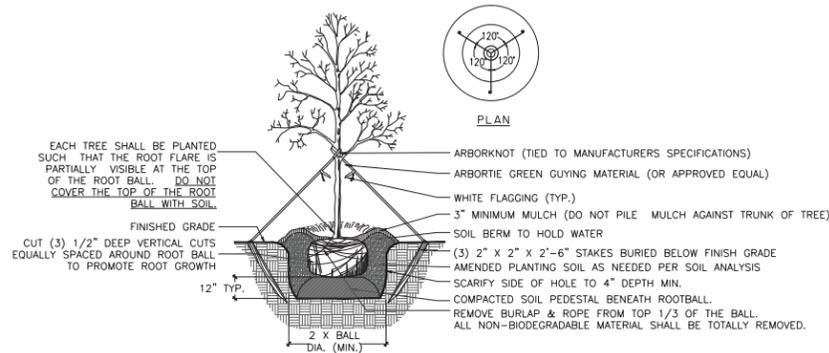
- NOTES:
- 1) EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER PLANTING TO A DEPTH OF 12".

PLANT SPACING DETAIL
NOT TO SCALE



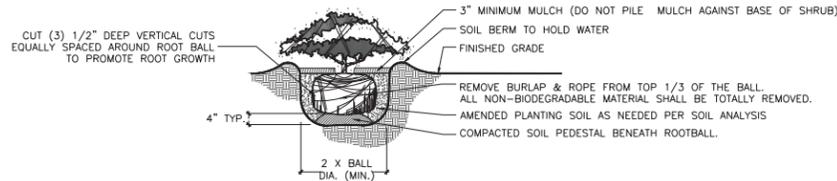
- NOTES:
- 1) TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

SOD TO PLANT BED EDGE
NOT TO SCALE



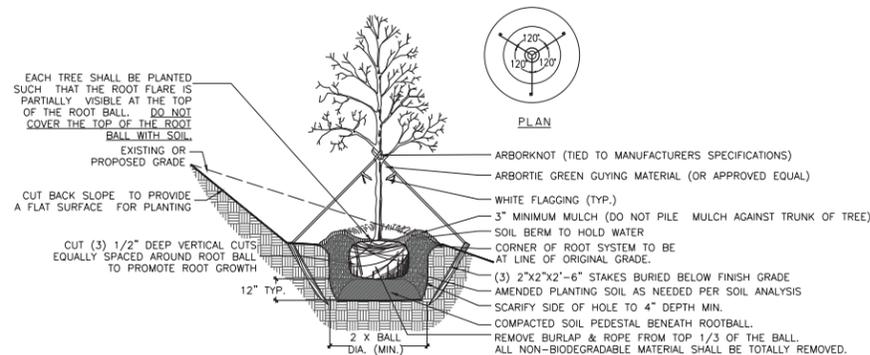
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 4) REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING, OR CROSSING OTHER BRANCHES.
 - 5) NEVER CUT A CENTRAL LEADER.
 - 6) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 7) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TREE PLANTING
NOT TO SCALE



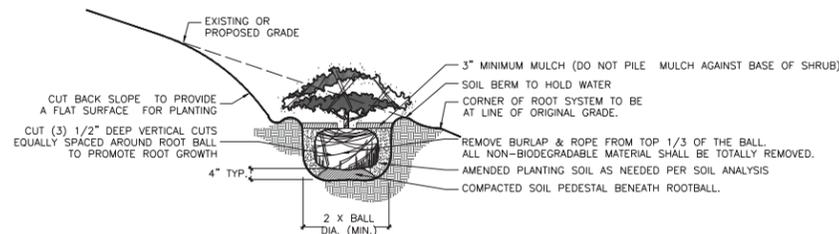
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTING BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
 - 4) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

SHRUB PLANTING
NOT TO SCALE



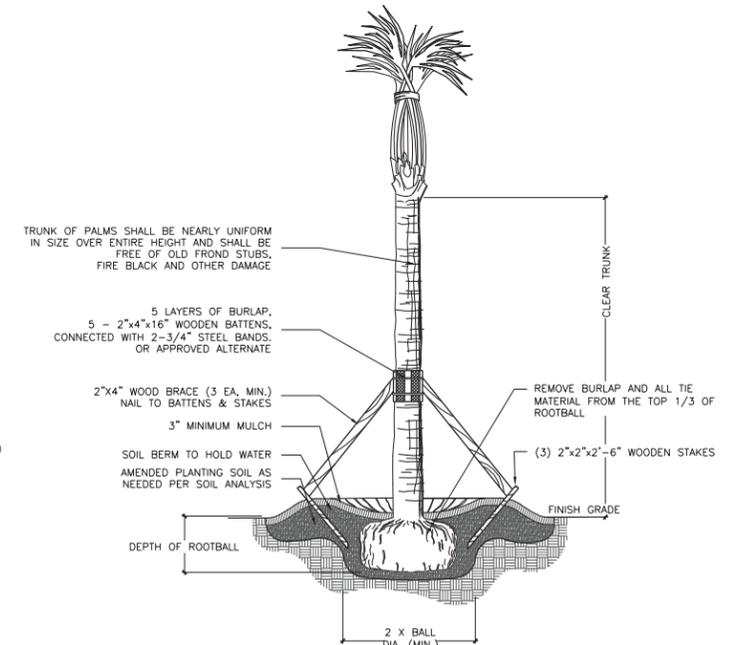
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 4) REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING, OR CROSSING OTHER BRANCHES.
 - 5) NEVER CUT A CENTRAL LEADER.
 - 6) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 7) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TREE PLANTING ON A SLOPE
NOT TO SCALE



- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTING BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
 - 4) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

SHRUB PLANTING ON A SLOPE
NOT TO SCALE



- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 3) SABAL PALMETOS SHALL BE DEFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE. ALL OTHER PALM SPECIES MUST HAVE FRONDS TIED W/Biodegradable STRAP OR TWINE.
 - 4) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 5) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

PALM TREE PLANTING
NOT TO SCALE

- Preliminary -
Not For Construction

NO.	REVISIONS	BY	DATE

THOMAS HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
PLANTING DETAILS

JOB No:	J-26807-0000
DATE:	8/31/18
DRAWN:	CSC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	NOT TO SCALE

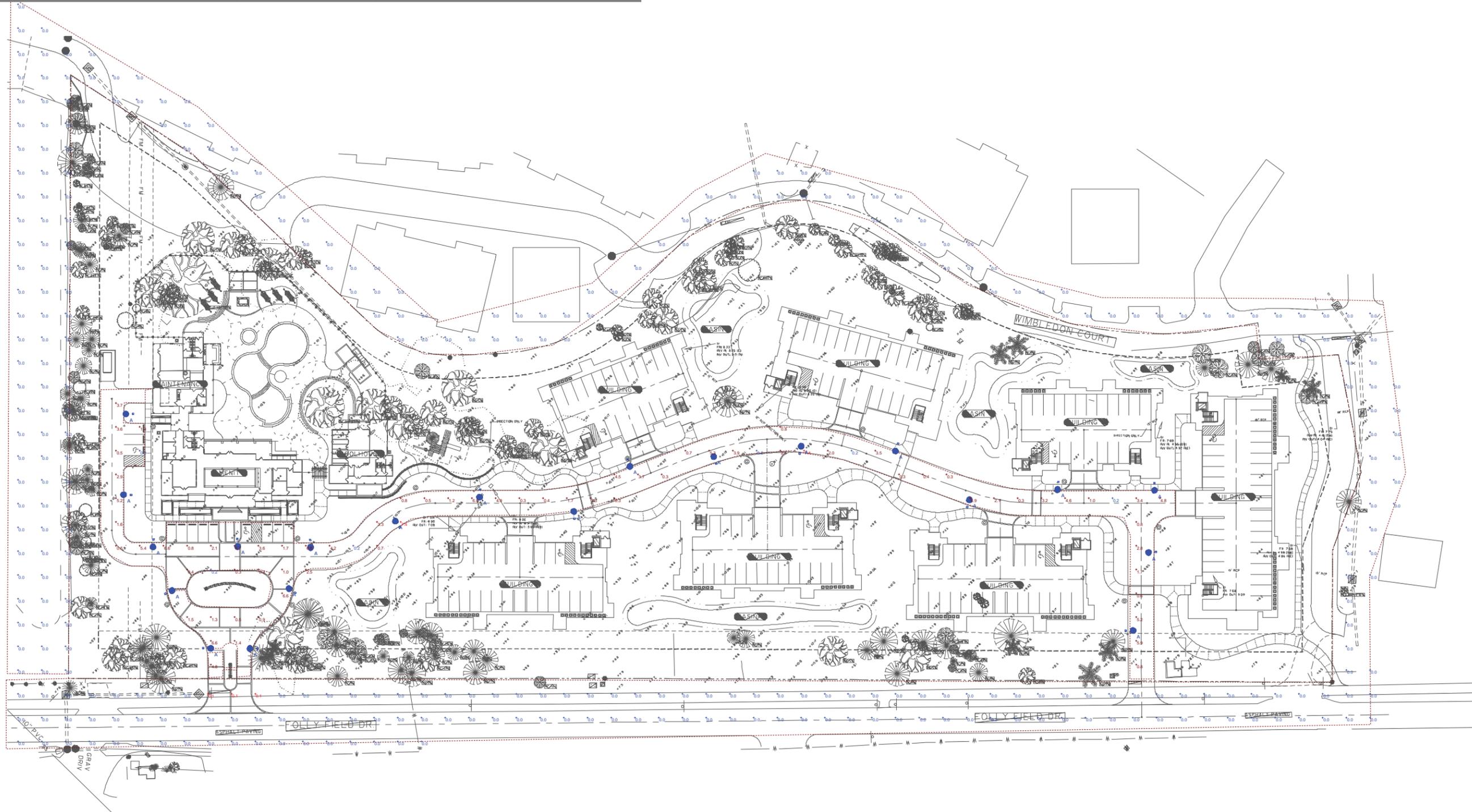
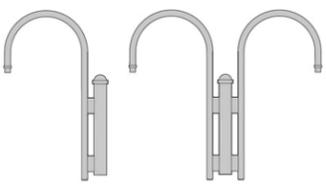
L5.2

Symbol	Label	Quantity	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	21	LS BELL 17 GCF XT 63LED 350mA 30K R2	LS BELL 17XT GCF LED, 1 MODULE, 63 LED'S 350mA 3000K, TYPE 2 OPTIC MOUNTED ON A 12 FT WOODEN POLE WITH DECORATIVE ARM	LED	1	6038	0.92	74.1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	2.5 fc	7.4 fc	0.2 fc	37.0:1	12.5:1
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Note

1. FOOTCANDLE VALUES ARE MAINTAINED.
2. LUMINAIRE IS MOUNTED ON A 12 FT POLE WITH DECORATIVE ARM.
3. CALCULATIONS ARE TAKEN AT 12 FT FIXTURE MOUNTING HEIGHT.
4. LUMINAIRE IS LED AND NO LUMENS ABOVE 90 DEGREES.



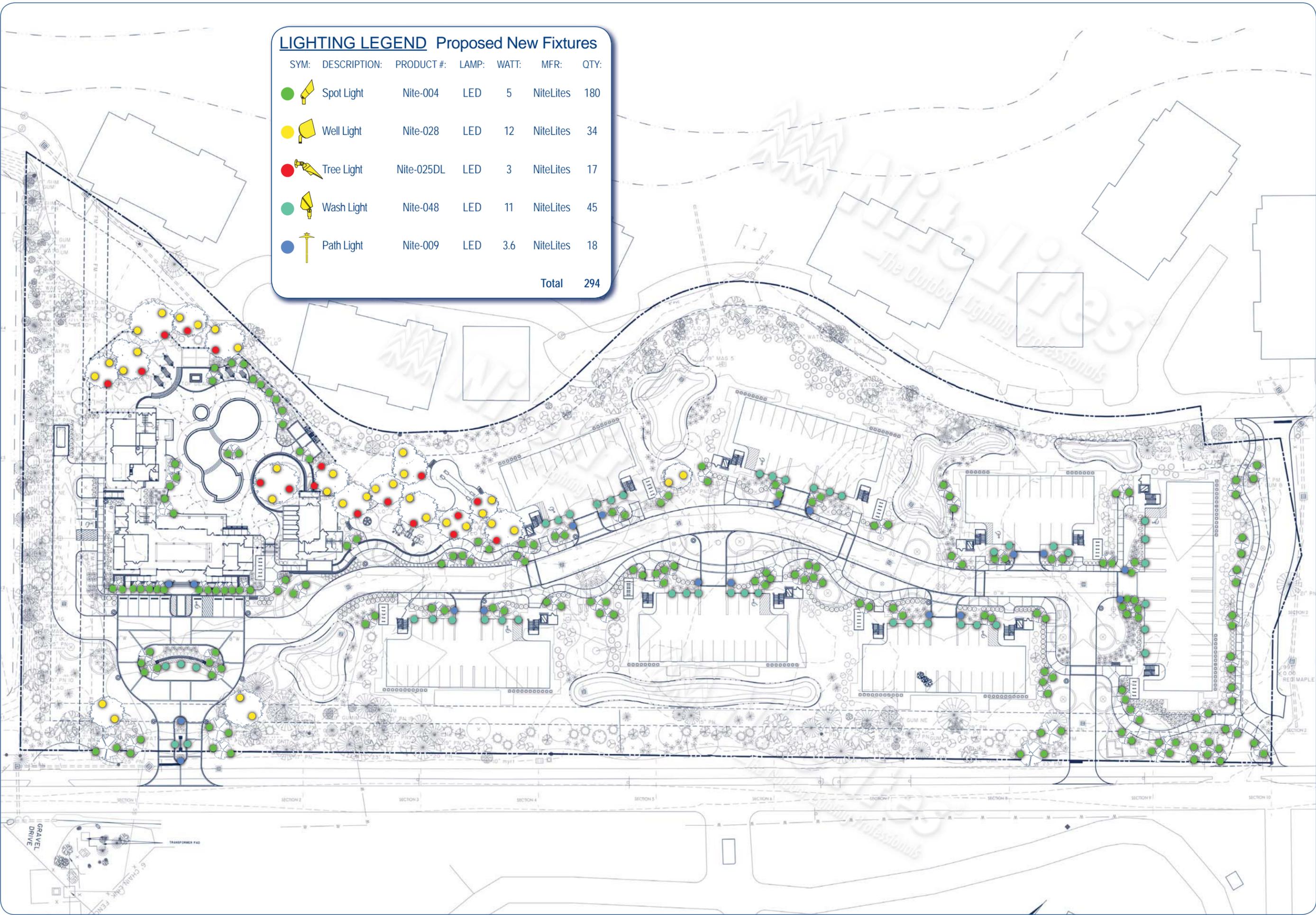
Plan View
Scale: 1" = 40'

77 FOLLY FIELD ROAD
RESORT COMMUNITY
HILTON HEAD, SOUTH CAROLINA
HH ISLAND ACQUISITION PARTNERS, LLC

Designer
JGM3
Date
8/23/2018
Scale
AS SHOWN
Drawing No.
007PXP
Summary

LIGHTING LEGEND Proposed New Fixtures

SYM:	DESCRIPTION:	PRODUCT #:	LAMP:	WATT:	MFR:	QTY:
●	Spot Light	Nite-004	LED	5	NiteLites	180
●	Well Light	Nite-028	LED	12	NiteLites	34
●	Tree Light	Nite-025DL	LED	3	NiteLites	17
●	Wash Light	Nite-048	LED	11	NiteLites	45
●	Path Light	Nite-009	LED	3.6	NiteLites	18
Total						294



NiteLites Outdoor Lighting 2019® - This plan is the intellectual property of NiteLites Outdoor Lighting®. If the plan is used by the client or contractor in whole or in part, NiteLites reserves the right to charge the client or contractor for infringing on our design. The minimum NiteLites design fee is \$2,500 per plan or \$50 per fixture and transformer, whichever is greater, as specified on the NiteLites Design Specification Sheet 2019. For questions, please contact: 1-866-NiteLites www.NiteLites.com

NiteLites® Rep:
ROBBIE EASTLAND
 Drawn By:
 NiteLites
 Date:
 8-27-2018

NiteLites®
 —The Outdoor Lighting Professionals

Outdoor Lighting Plan Prepared For:
WIMBLETON COURT
 Job Type:
 COMMERCIAL
 Location:
 HHI, SC

DRAWING #:
NL-777
 SHEET:
 1 OF 1

77 Folly Field Road

Town of Hilton Head, South Carolina



HH Island Acquisition Partners, LLC



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DRB Application Submission 08/28/2018

Drawn By	PDS	
Checked By	PDS	
Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-1



2 13 Unit Building- Left Character Elevation
SCALE: NTS



1 13 Unit Building- Front Character Elevation
SCALE: NTS



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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-2



2 13 Unit Building- Right Character Elevation
SCALE: NTS



1 13 Unit Building- Rear Character Elevation
SCALE: NTS



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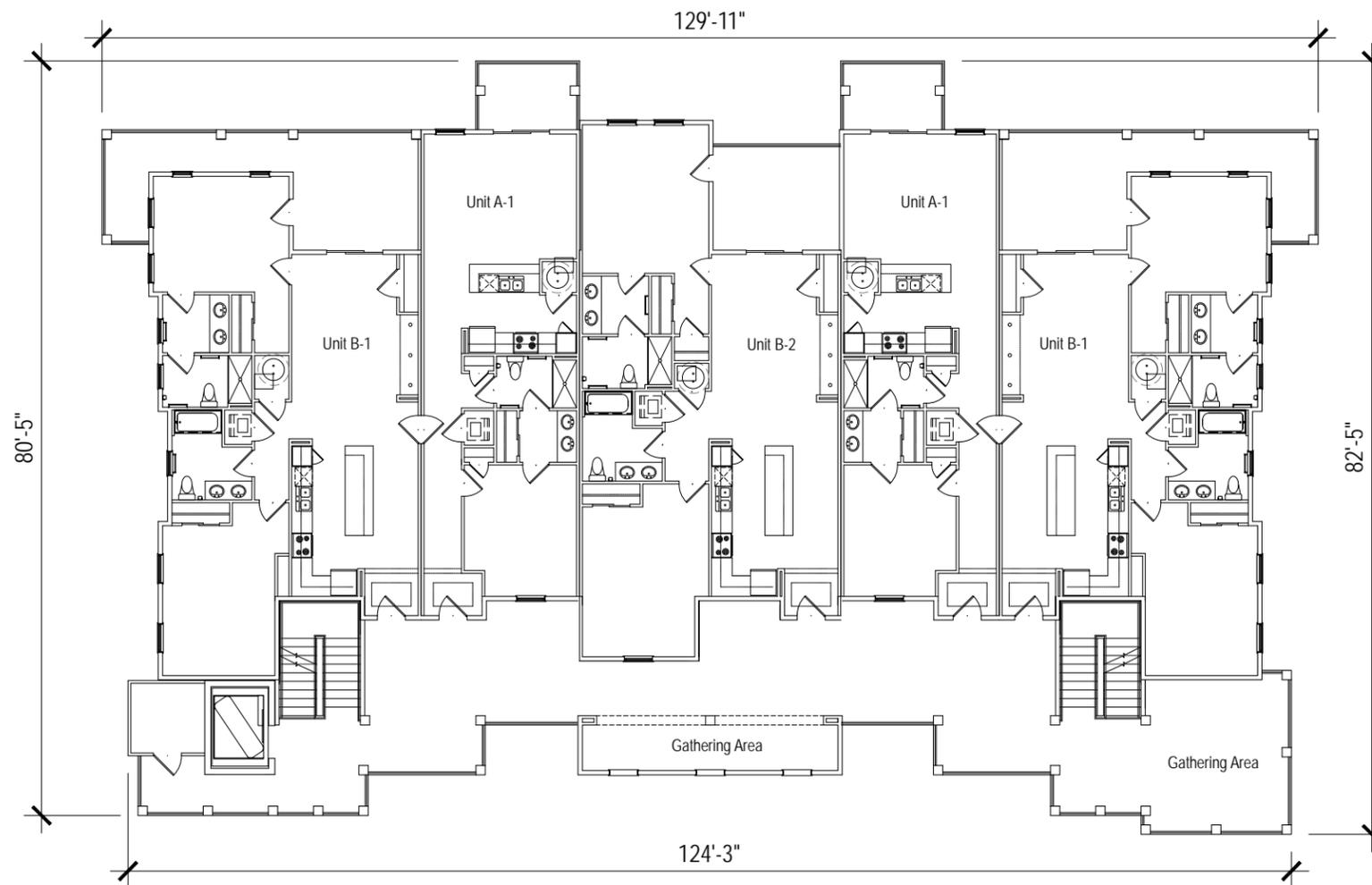
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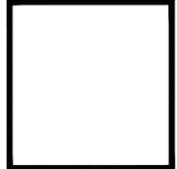
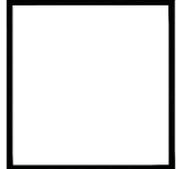
Project Number
17601
Sheet
A-3



1 13 Unit Building- 1st Floor Plan
SCALE: 1/8" = 1'-0"



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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-4



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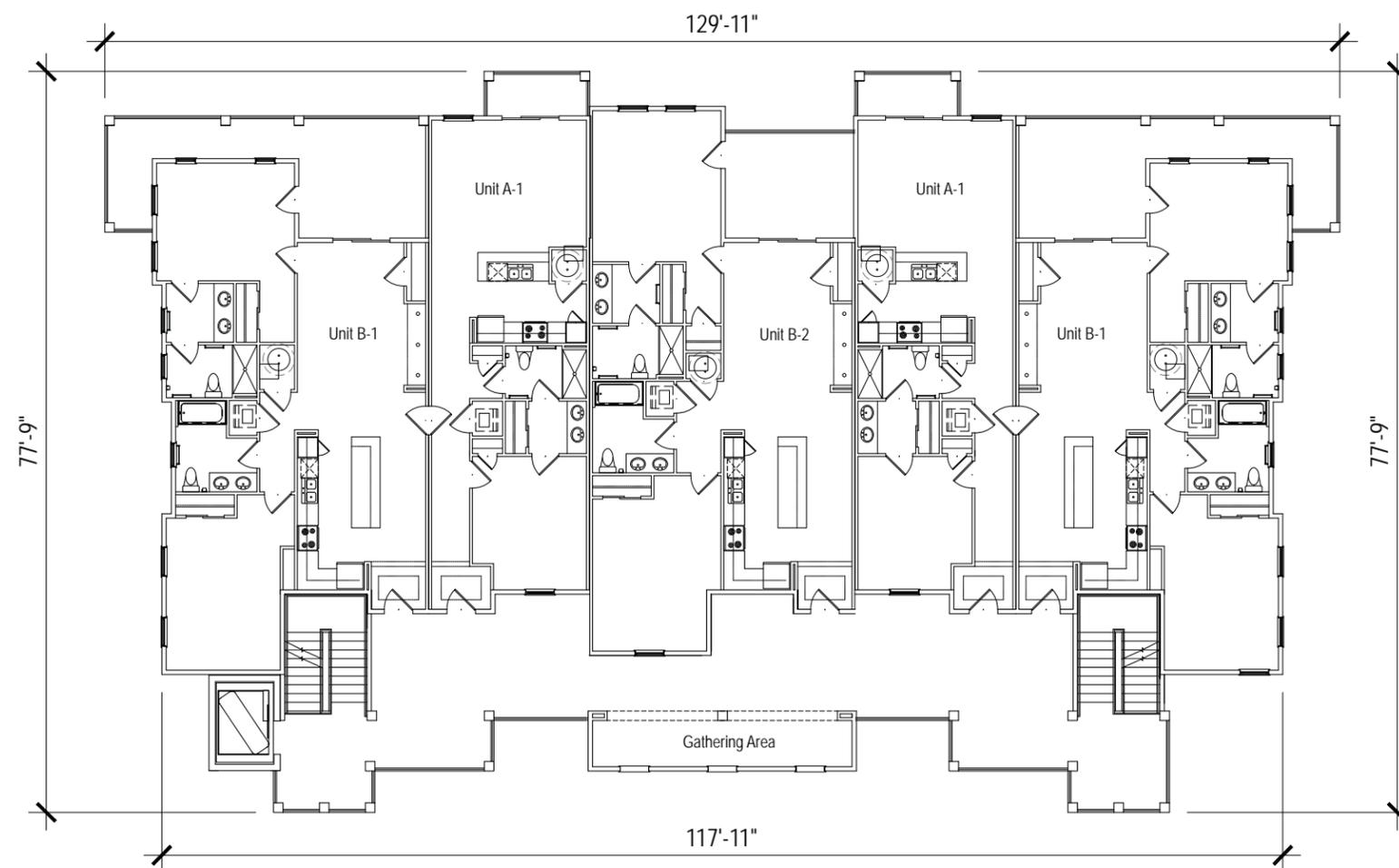
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1 13 Unit Building- 2nd Floor Plan
 SCALE: 1/8" = 1'-0"

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Drawn By
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Checked By
PDS

Date
08/28/2018

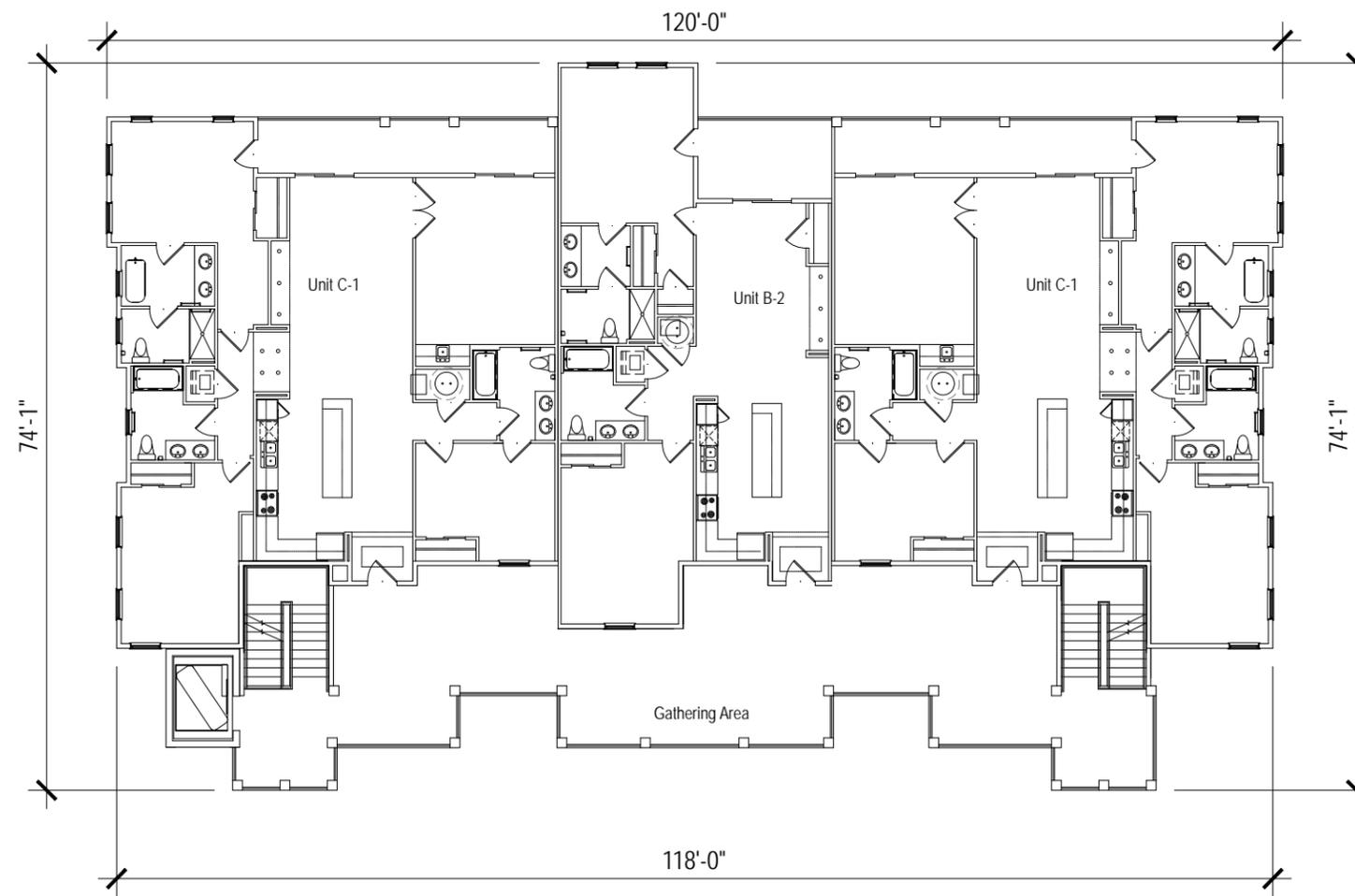
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Project Number

17601

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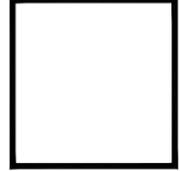
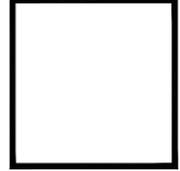
A-5



1 13 Unit Building- 3rd Floor Plan
SCALE: 1/8" = 1'-0"



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Project Number
17601
Sheet
A-6



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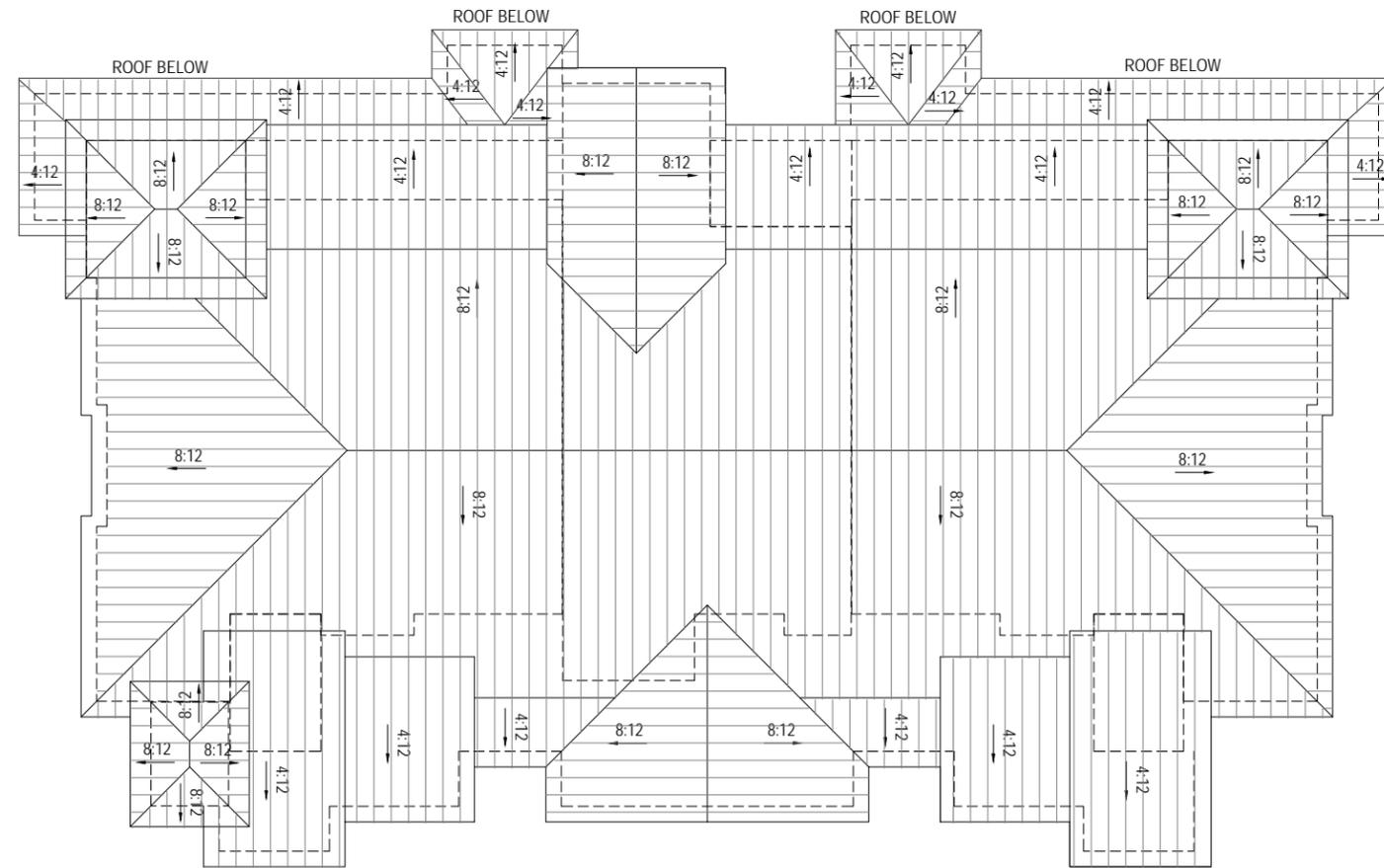
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1 13 Unit Building- Roof Plan
SCALE: 1/8" = 1'-0"

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Date	08/28/2018	
#	Issue History	Date

Project Number	17601
Sheet	A-7



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77 Folly Field Road
Resort Community
Town of Hilton Head, South Carolina
HH Island Acquisition Partners, LLC

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Vertical Siding- Sandstone Beige
- 4-Hardie Vertical Siding- Heathered Moss
- 5-Hardie Vertical Siding- Mountain Sage
- 6-Vents- Sail Cloth
- 7-Metal Roof- Silver
- 8-Brick- (Palmetto Brick- Riviera)
- 9-Brick accent bands- soldier courses- (Palmetto Brick- Riviera)
- 10-All trim and columns- Sail Cloth
- 11-Rails- Silver
- 12-Exposed truss- sail cloth
- 13-Shutters- Silver
- 14-Trellis- Painted wood to match trim
- 15-Decorative metal grate with climbing flowers/ vines



2 13 Unit Building- Left Elevation
SCALE: 1/8" = 1'-0"



1 13 Unit Building- Front Elevation
SCALE: 1/8" = 1'-0"

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#	Issue History	Date

Project Number
17601
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A-8



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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-9

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Vertical Siding- Sandstone Beige
- 4-Hardie Vertical Siding- Heathered Moss
- 5-Hardie Vertical Siding- Mountain Sage
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- 13-Shutters- Silver
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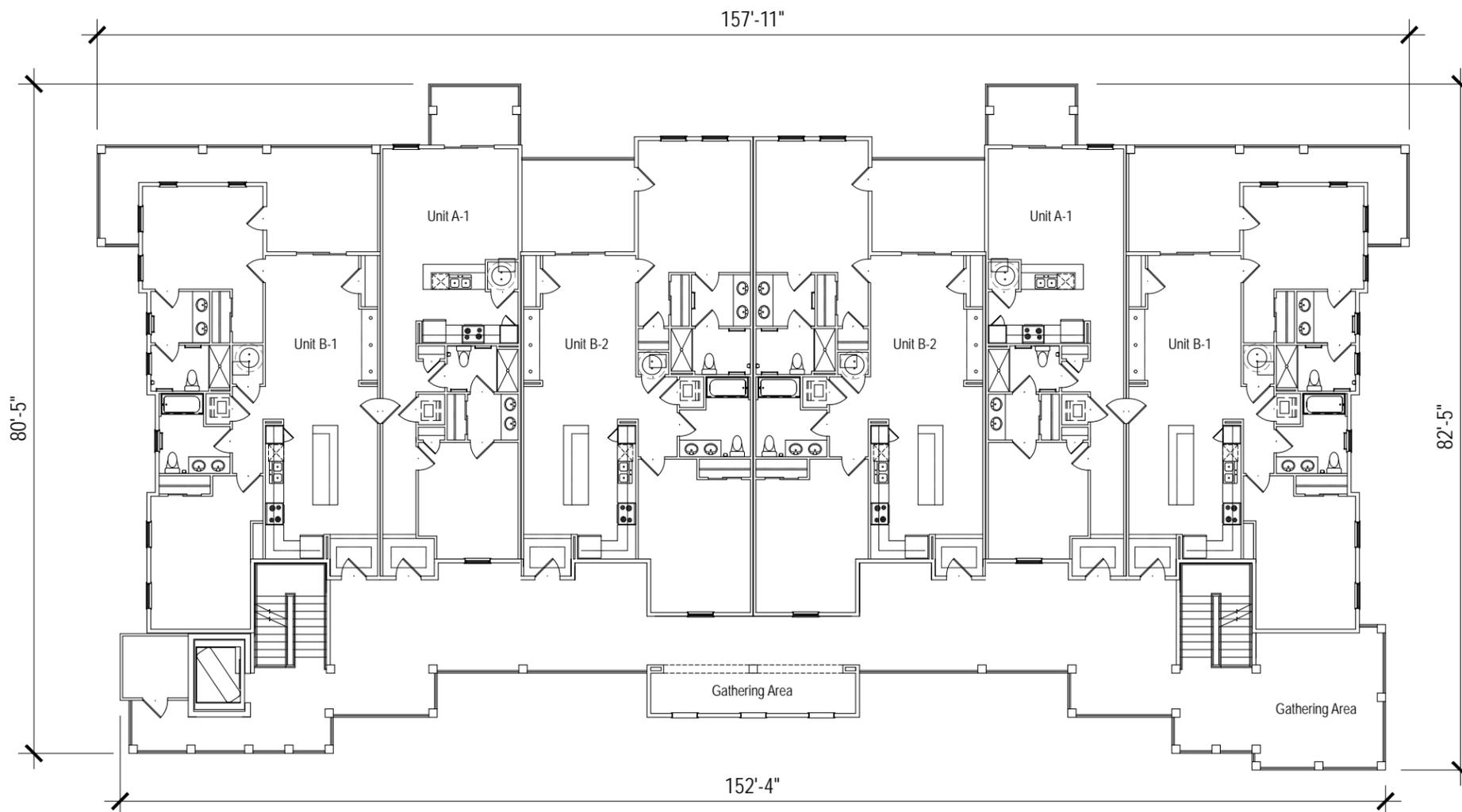


2 13 Unit Building- Right Elevation
SCALE: 1/8" = 1'-0"



1 13 Unit Building- Rear Elevation
SCALE: 1/8" = 1'-0"

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1 16 Unit Building- 1st Floor Plan
SCALE: 1/8" = 1'-0"



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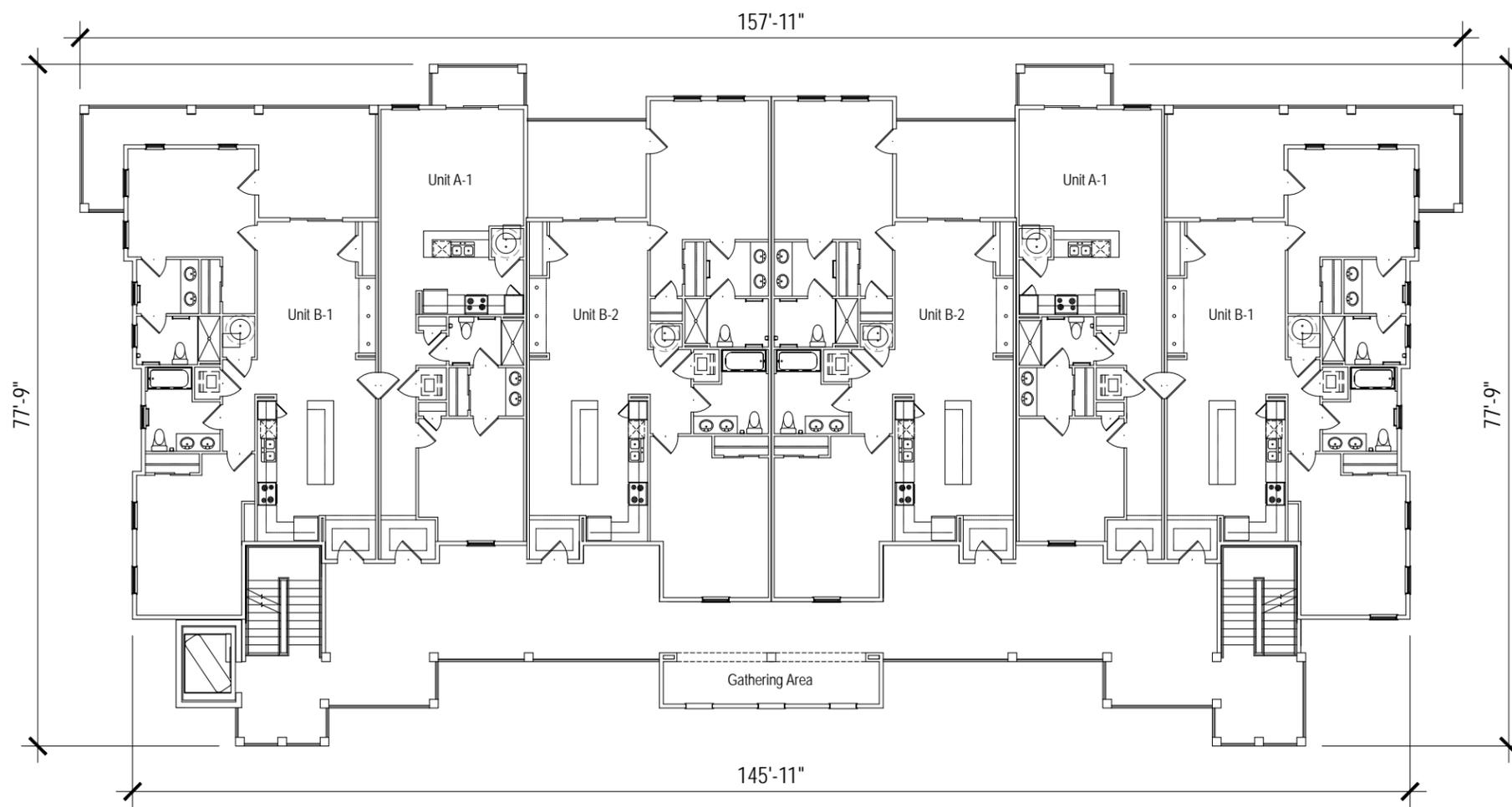
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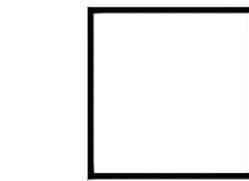
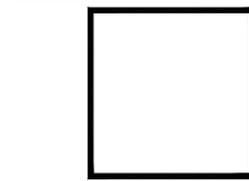
Project Number
17601
Sheet
A-10



1 16 Unit Building- 2nd Floor Plan
SCALE: 1/8" = 1'-0"



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#	Issue History	Date

Project Number
17601
Sheet
A-11



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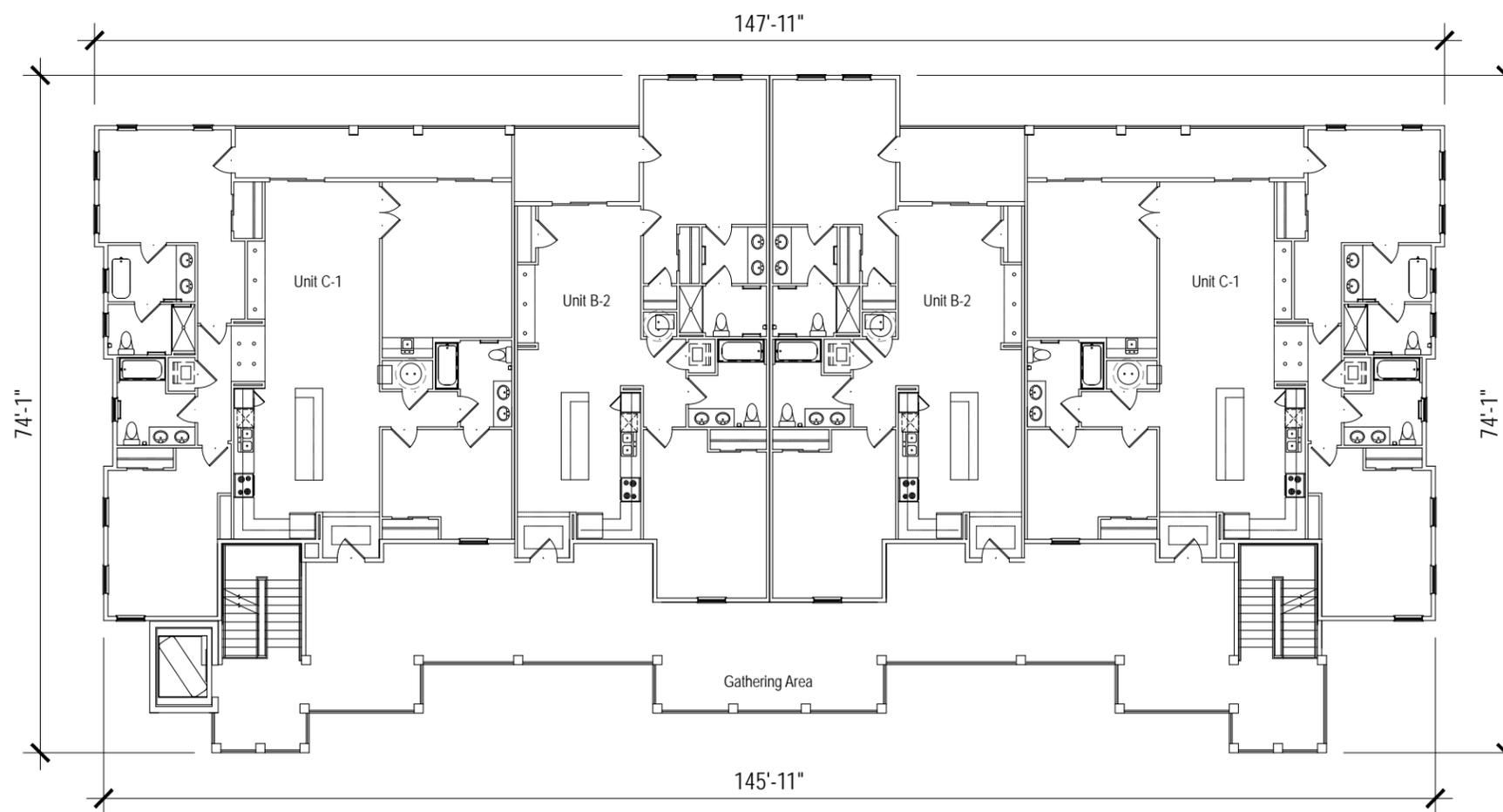
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1 16 Unit Building- 3rd Floor Plan
SCALE: 1/8" = 1'-0"

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08/28/2018

#	Issue History	Date

Project Number

17601

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A-12



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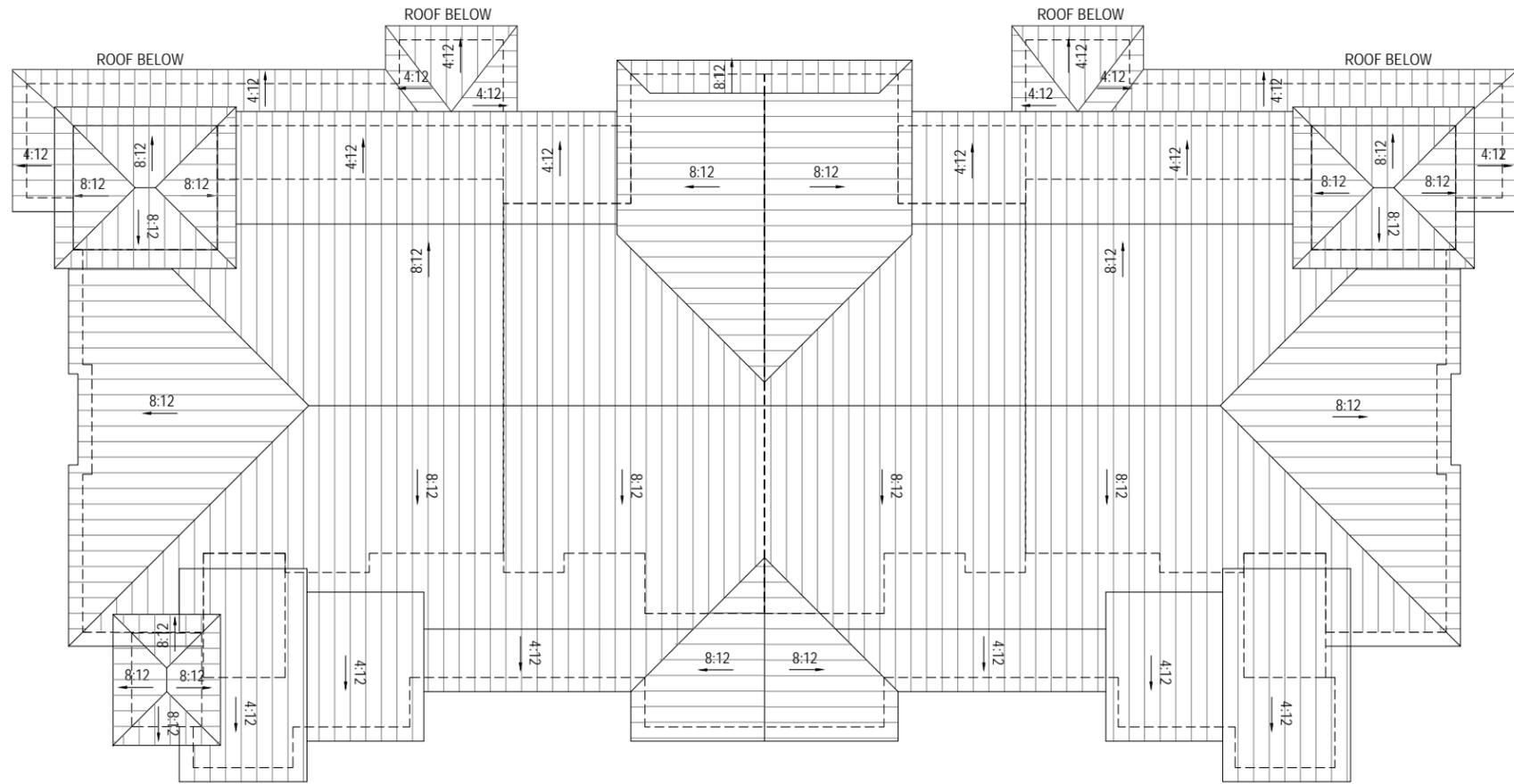
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1 16 Unit Building- Roof Plan
SCALE: 1/8" = 1'-0"

DRB Application Submission 08/28/2018

Drawn By	PDS	
Checked By	PDS	
Date	08/28/2018	
#	Issue History	Date

Project Number	17601
Sheet	A-13

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Vertical Siding- Sandstone Beige
- 4-Hardie Vertical Siding- Heathered Moss
- 5-Hardie Vertical Siding- Mountain Sage
- 6-Vents- Sail Cloth
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- 11-Rails- Silver
- 12-Exposed truss- sail cloth
- 13-Shutters- Silver
- 14-Trellis- Painted wood to match trim
- 15-Decorative metal grate with climbing flowers/ vines



2 16 Unit Building- Left Elevation
SCALE: 1/8" = 1'-0"



1 16 Unit Building- Front Elevation
SCALE: 1/8" = 1'-0"



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#	Issue History	Date

Project Number
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Sheet
A-14

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Vertical Siding- Sandstone Beige
- 4-Hardie Vertical Siding- Heathered Moss
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2 16 Unit Building- Right Elevation
SCALE: 1/8" = 1'-0"



1 16 Unit Building- Rear Elevation
SCALE: 1/8" = 1'-0"



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A-15



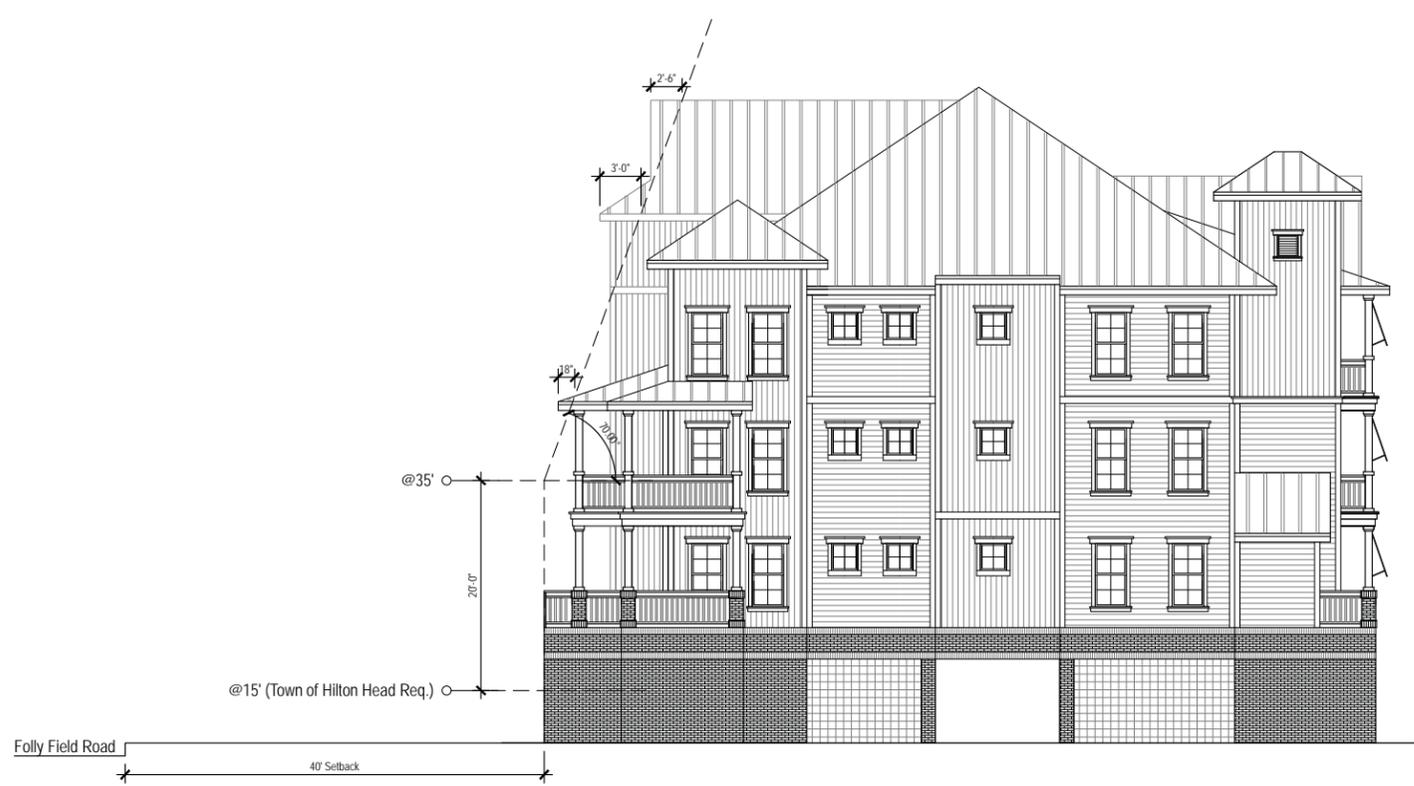
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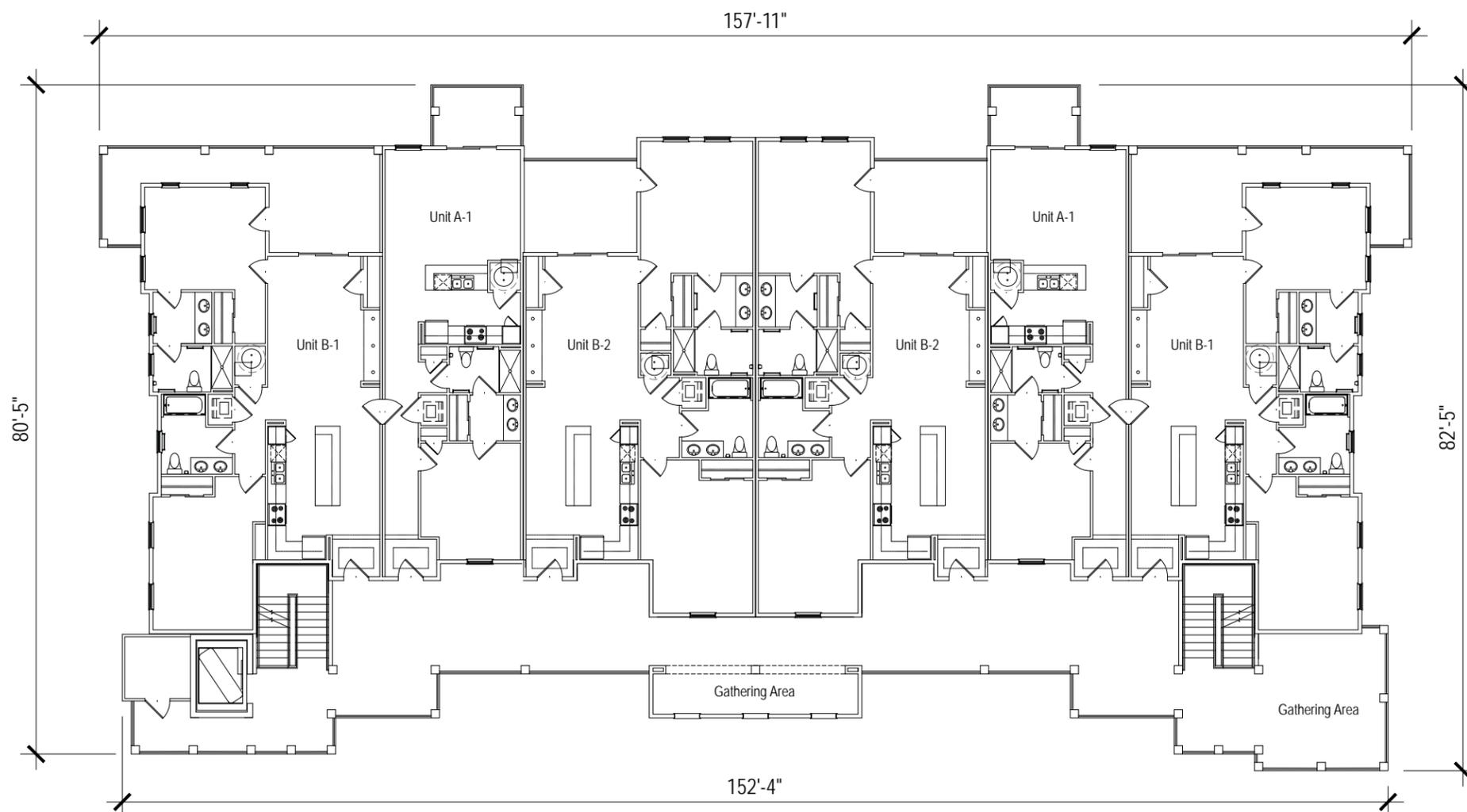


1 16 Unit Building- Folly Field Road Setback
SCALE: 1/8" = 1'-0"

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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-16

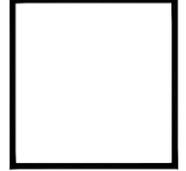
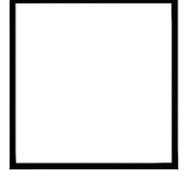


1 22 Unit Building- 1st Floor Plan
SCALE: 1/8" = 1'-0"



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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-17



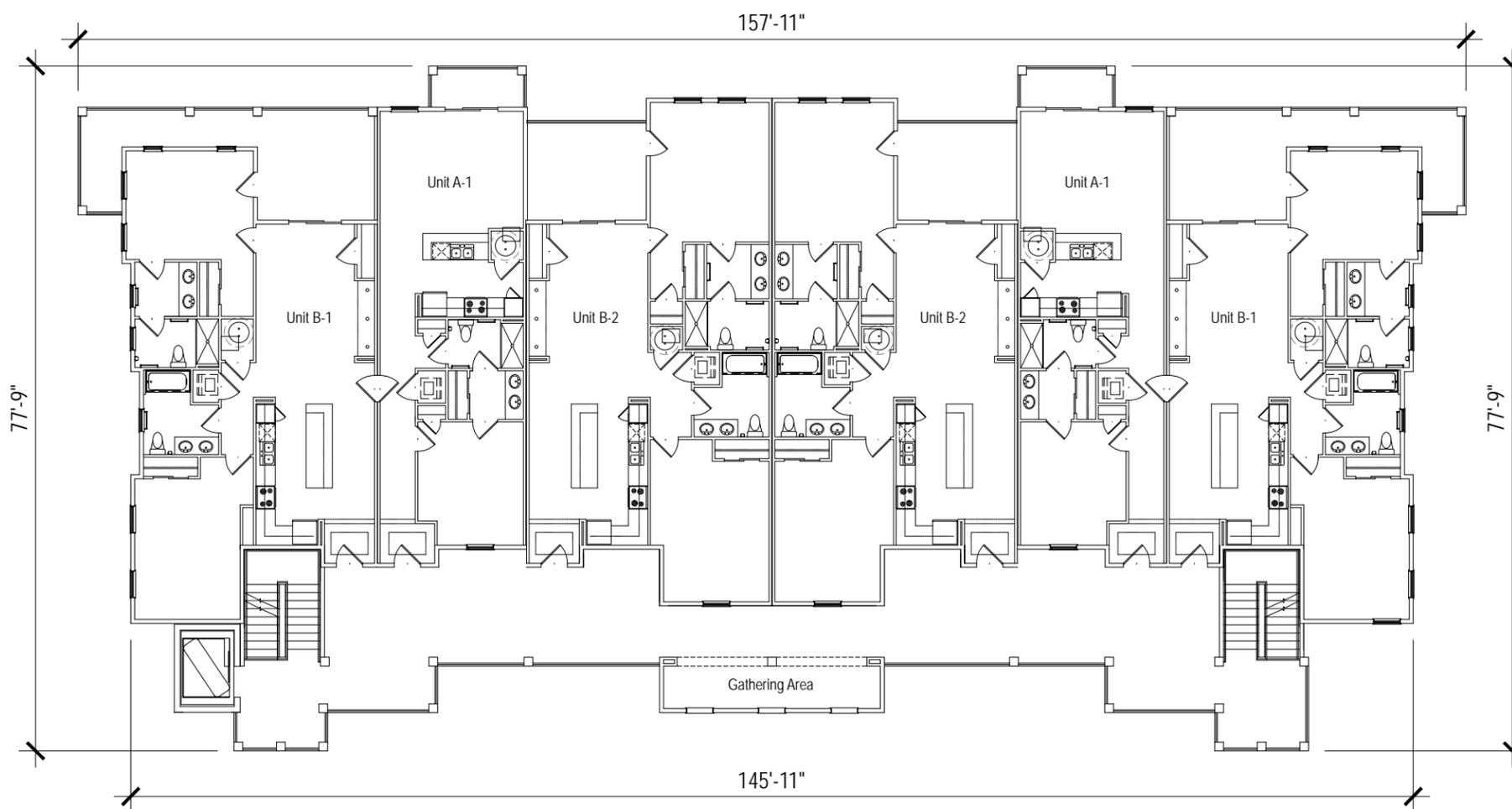
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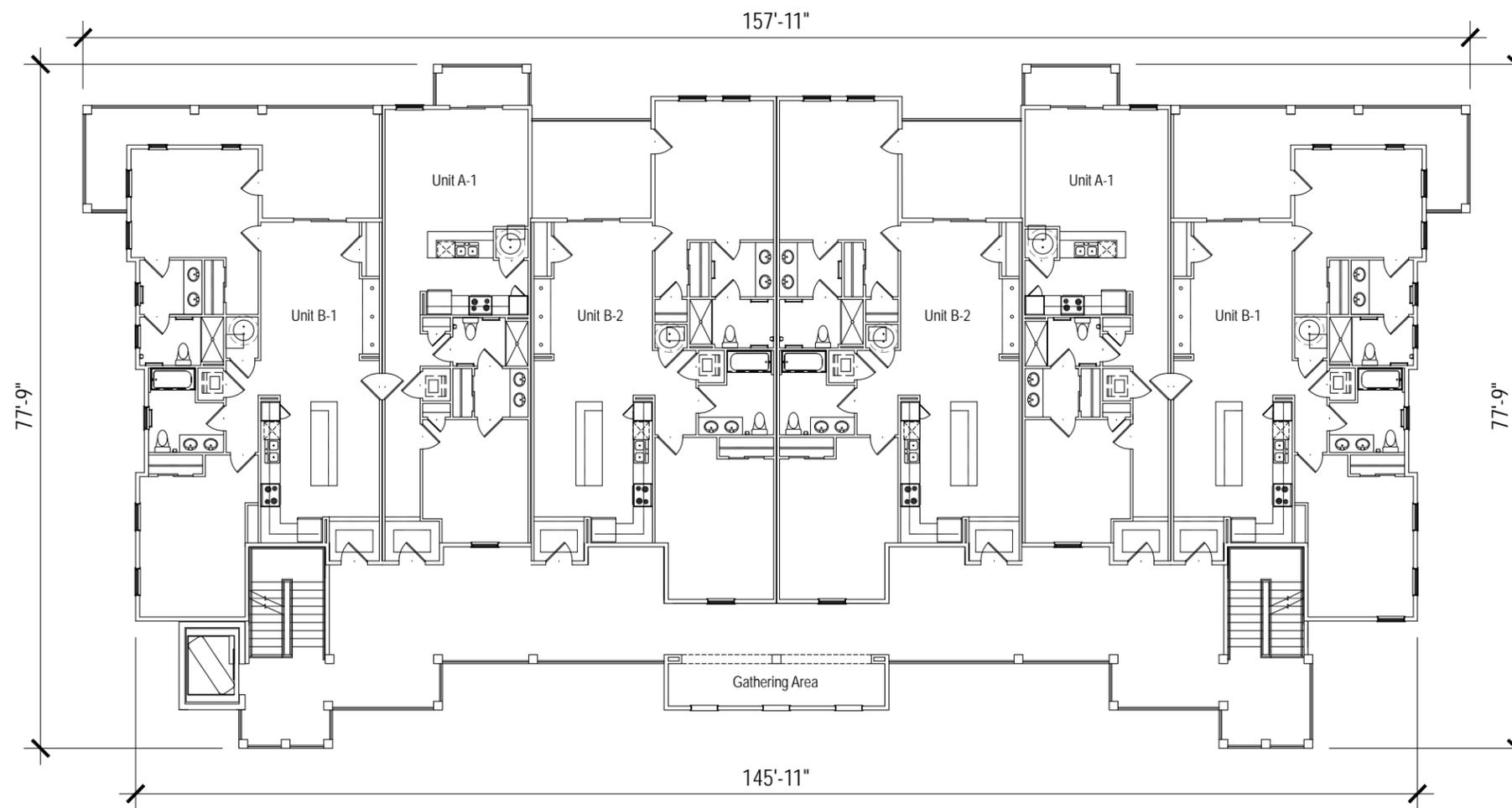


1 22 Unit Building- 2nd Floor Plan
SCALE: 1/8" = 1'-0"

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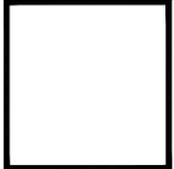
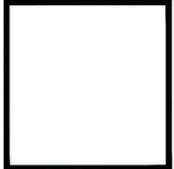
Project Number	17601
Sheet	A-18



1 22 Unit Building- 3rd Floor Plan
SCALE: 1/8" = 1'-0"



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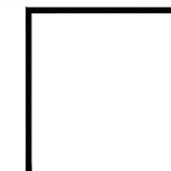
Project Number
17601
Sheet
A-19



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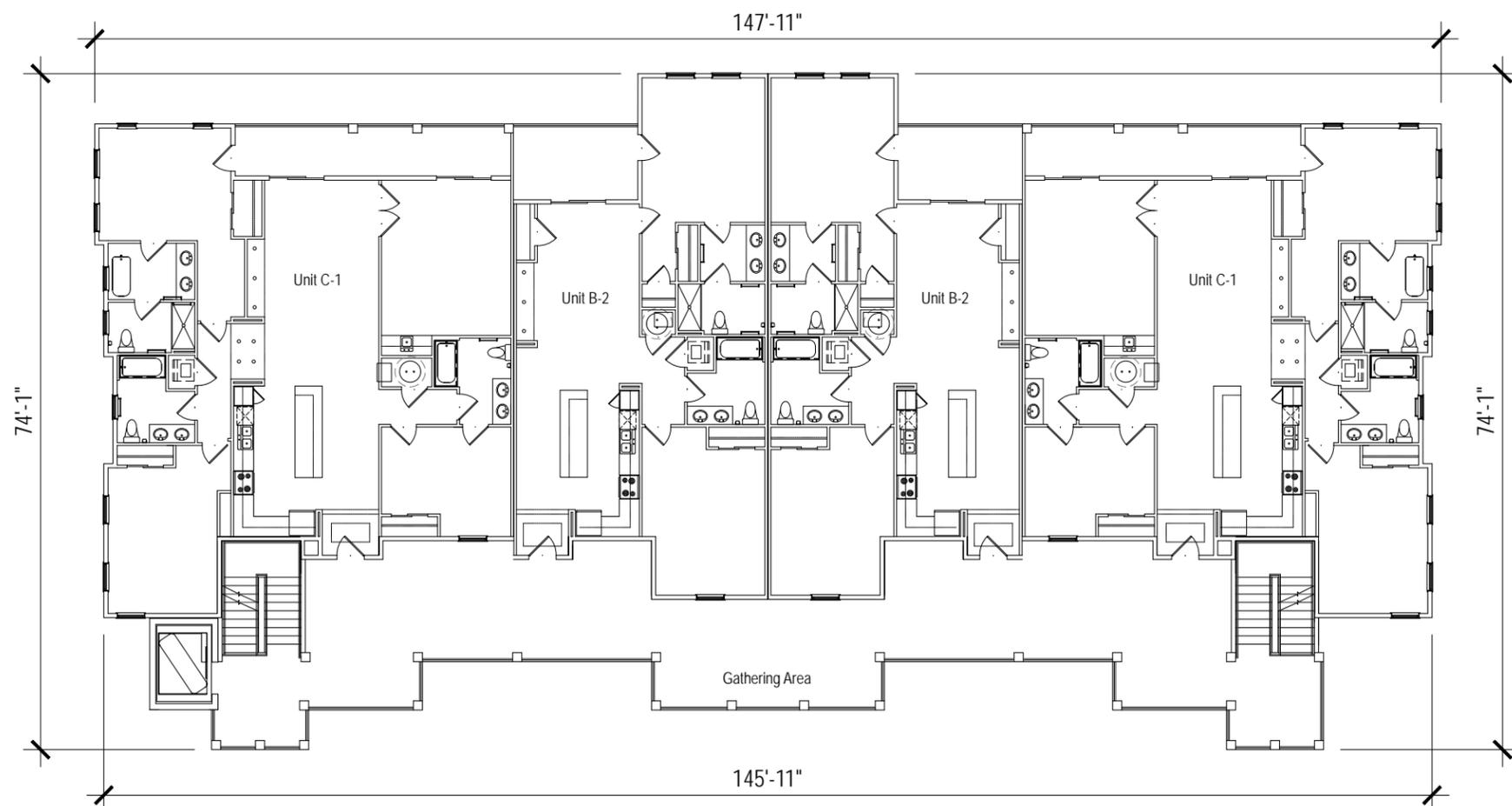
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1 22 Unit Building- 4th Floor Plan
 SCALE: 1/8" = 1'-0"

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#	Issue History	Date

Project Number
17601
 Sheet
A-20



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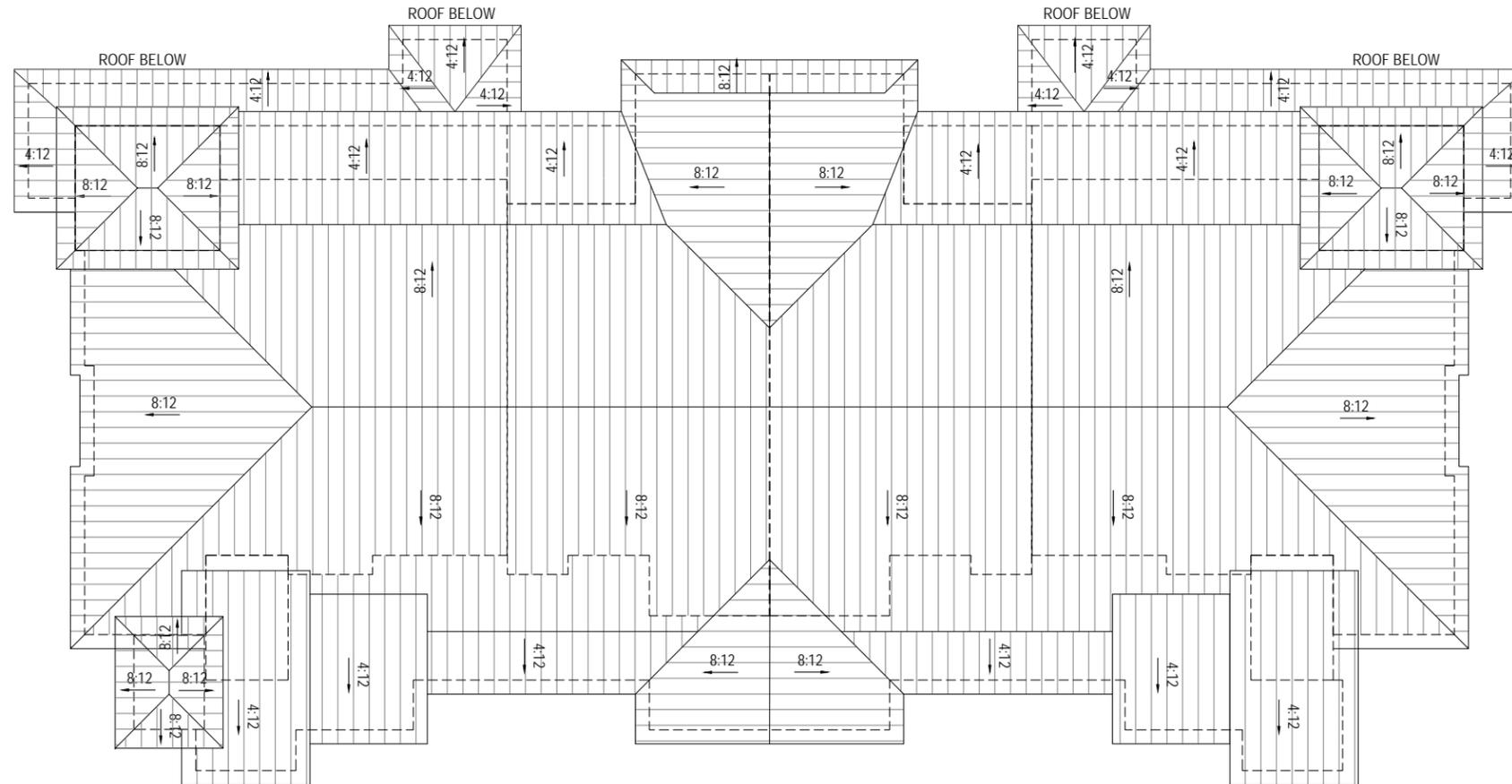
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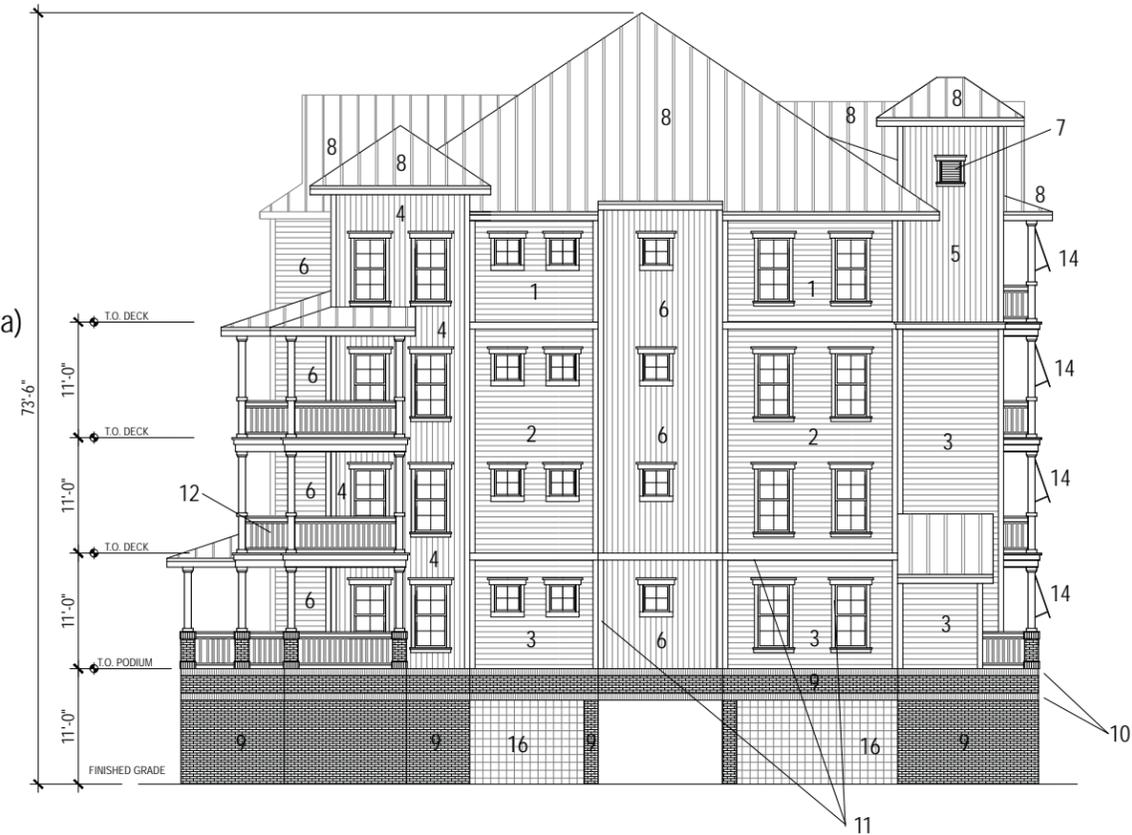
1 22 Unit Building- Roof Plan
SCALE: 1/8" = 1'-0"

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#	Issue History	Date

Project Number
17601
Sheet
A-21

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Hardie Vertical Siding- Heathered Moss
- 6-Hardie Vertical Siding- Mountain Sage
- 7-Vents- Sail Cloth
- 8-Metal Roof- Silver
- 9-Brick- (Palmetto Brick- Riviera)
- 10-Brick accent bands- soldier courses- (Palmetto Brick- Riviera)
- 11-All trim and columns- Sail Cloth
- 12-Rails- Silver
- 13-Exposed truss- sail cloth
- 14-Shutters- Silver
- 15-Trellis- Painted wood to match trim
- 16-Decorative metal grate with climbing flowers/ vines



2 22 Unit Building- Left Elevation
SCALE: 1/8" = 1'-0"



1 22 Unit Building- Front Elevation
SCALE: 1/8" = 1'-0"



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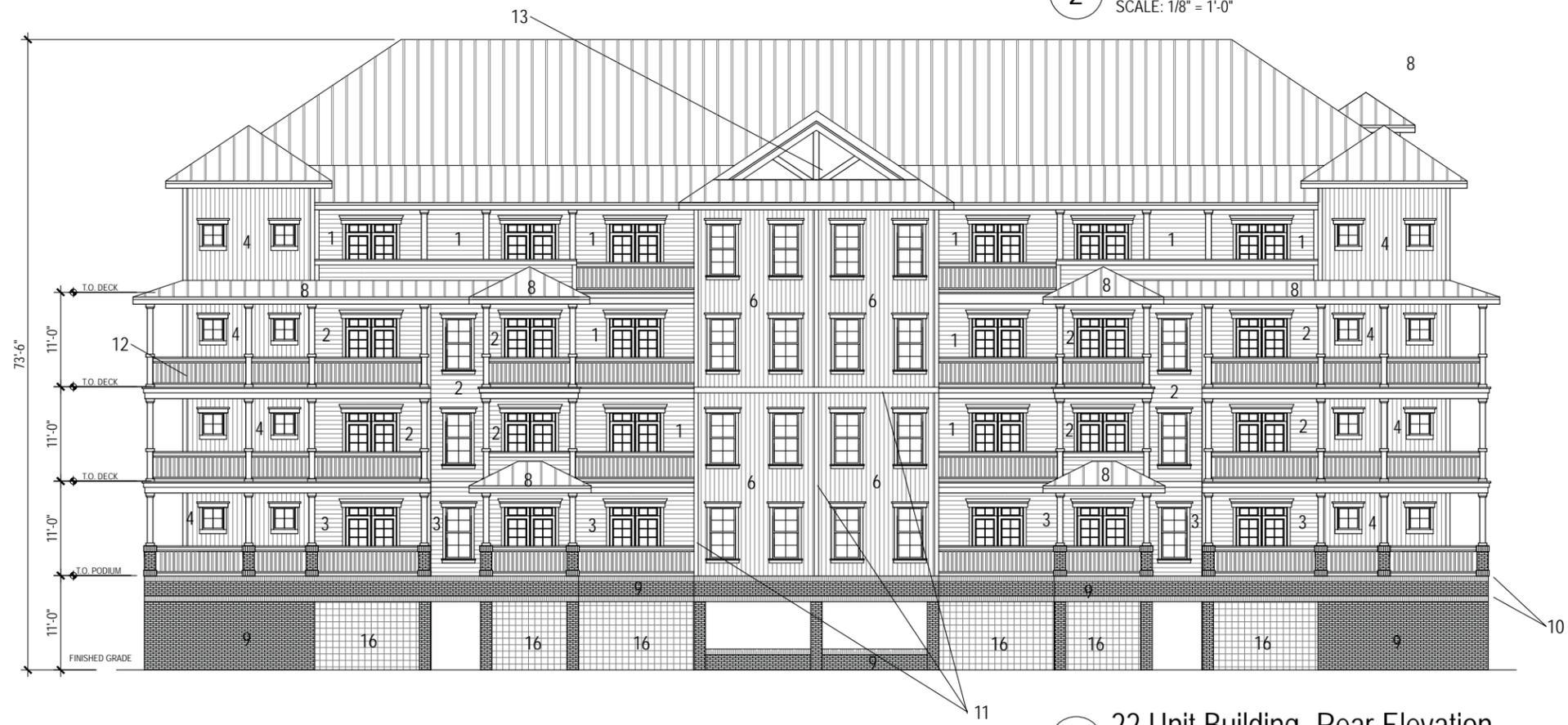
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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-22

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Hardie Vertical Siding- Heathered Moss
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- 14-Shutters- Silver
- 15-Trellis- Painted wood to match trim
- 16-Decorative metal grate with climbing flowers/ vines



2 22 Unit Building- Right Elevation
SCALE: 1/8" = 1'-0"



1 22 Unit Building- Rear Elevation
SCALE: 1/8" = 1'-0"



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#	Issue History	Date

Project Number
17601
Sheet
A-23



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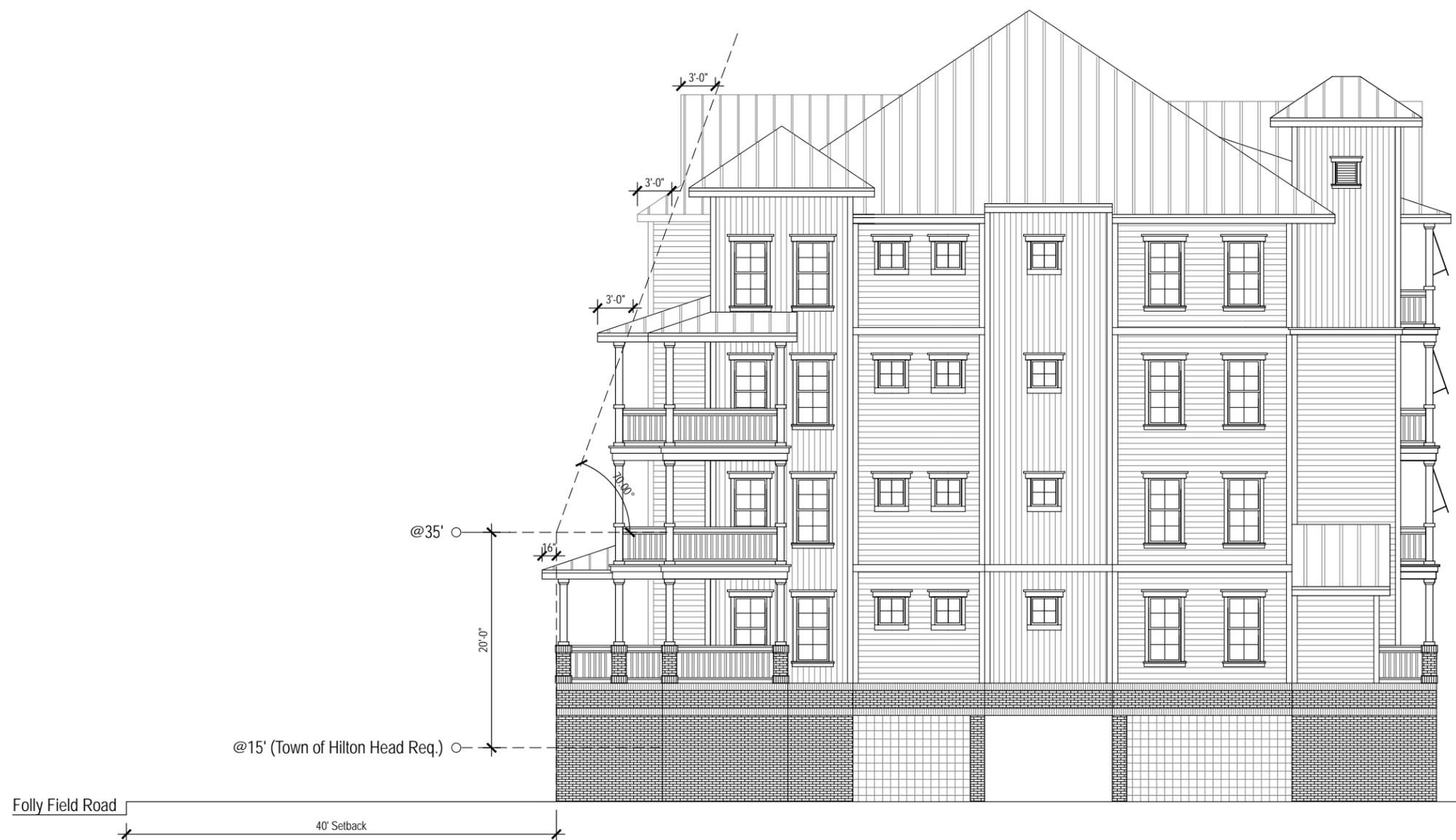
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1 22 Unit Building- Folly Field Road Setback
SCALE: 1/8" = 1'-0"

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Project Number
17601
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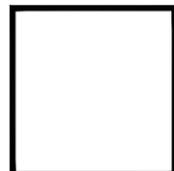
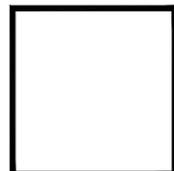
A-24



1 30 Unit Building- Front Character Elevation
SCALE: NTS



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Project Number
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Sheet
A-25

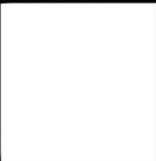
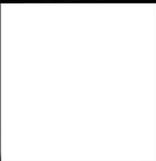


1 30 Unit Building- Left Character Elevation
SCALE: NTS



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Sheet
A-26

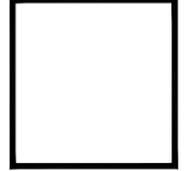
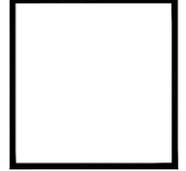


1 30 Unit Building- Rear Character Elevation
SCALE: NTS



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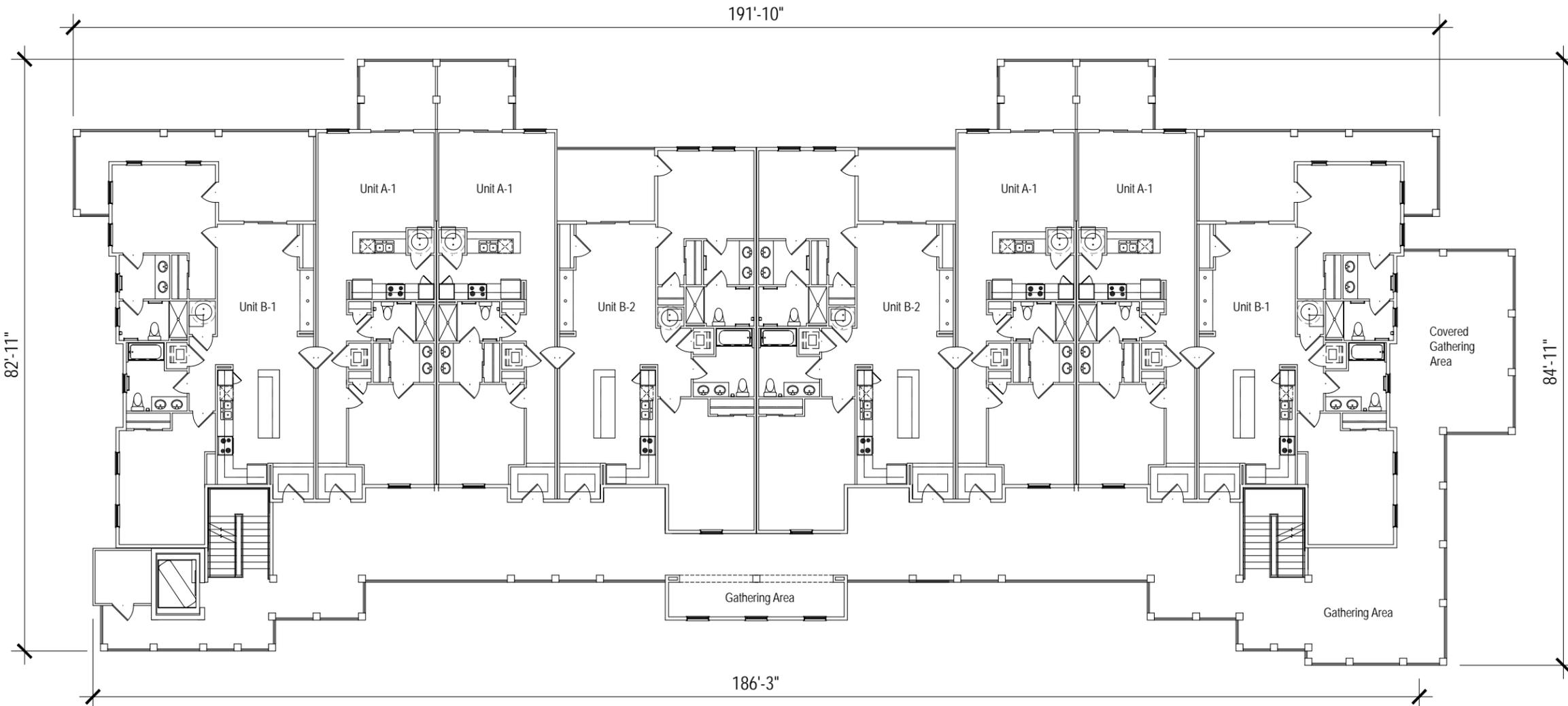
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Sheet
A-27

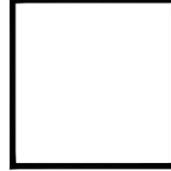


1 30 Unit Building- 1st Floor Plan
SCALE: 1/8" = 1'-0"



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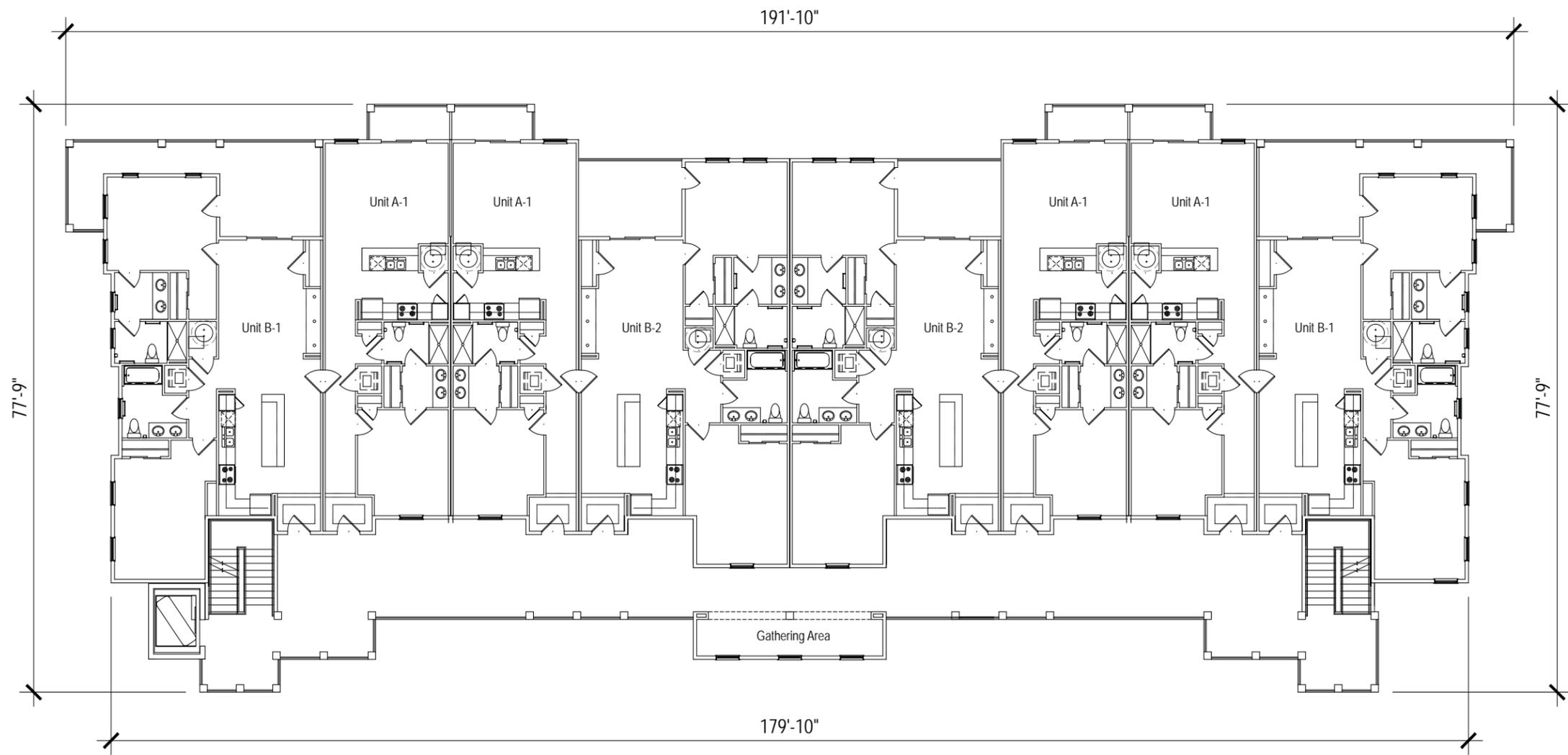
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#	Issue History	Date

Project Number
17601
Sheet
A-29



1 30 Unit Building- 2nd Floor Plan
SCALE: 1/8" = 1'-0"



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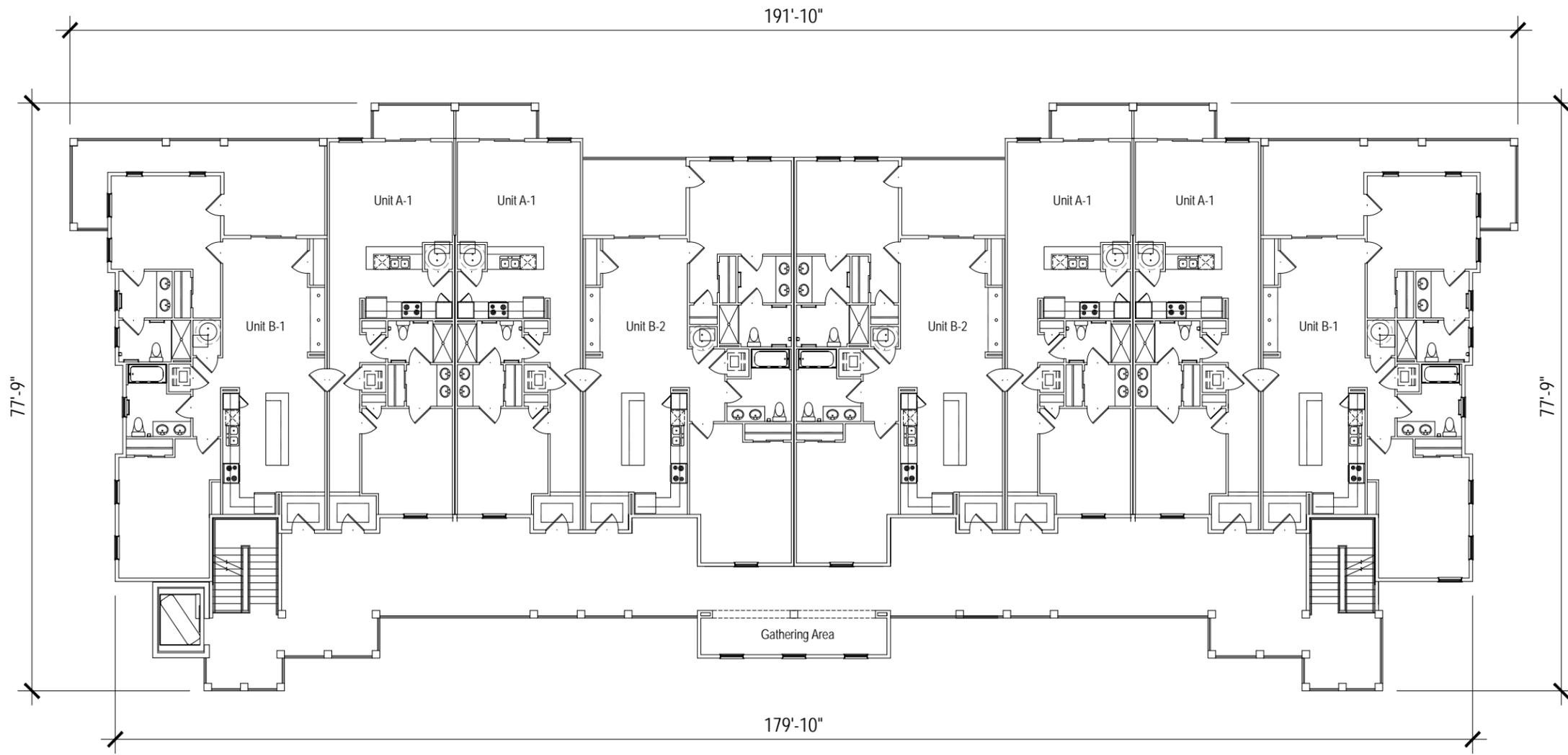
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#	Issue History	Date

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Sheet
A-30

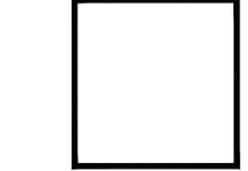
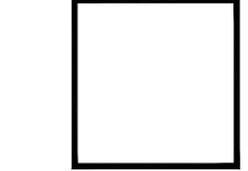


1 30 Unit Building- 3rd Floor Plan
SCALE: 1/8" = 1'-0"



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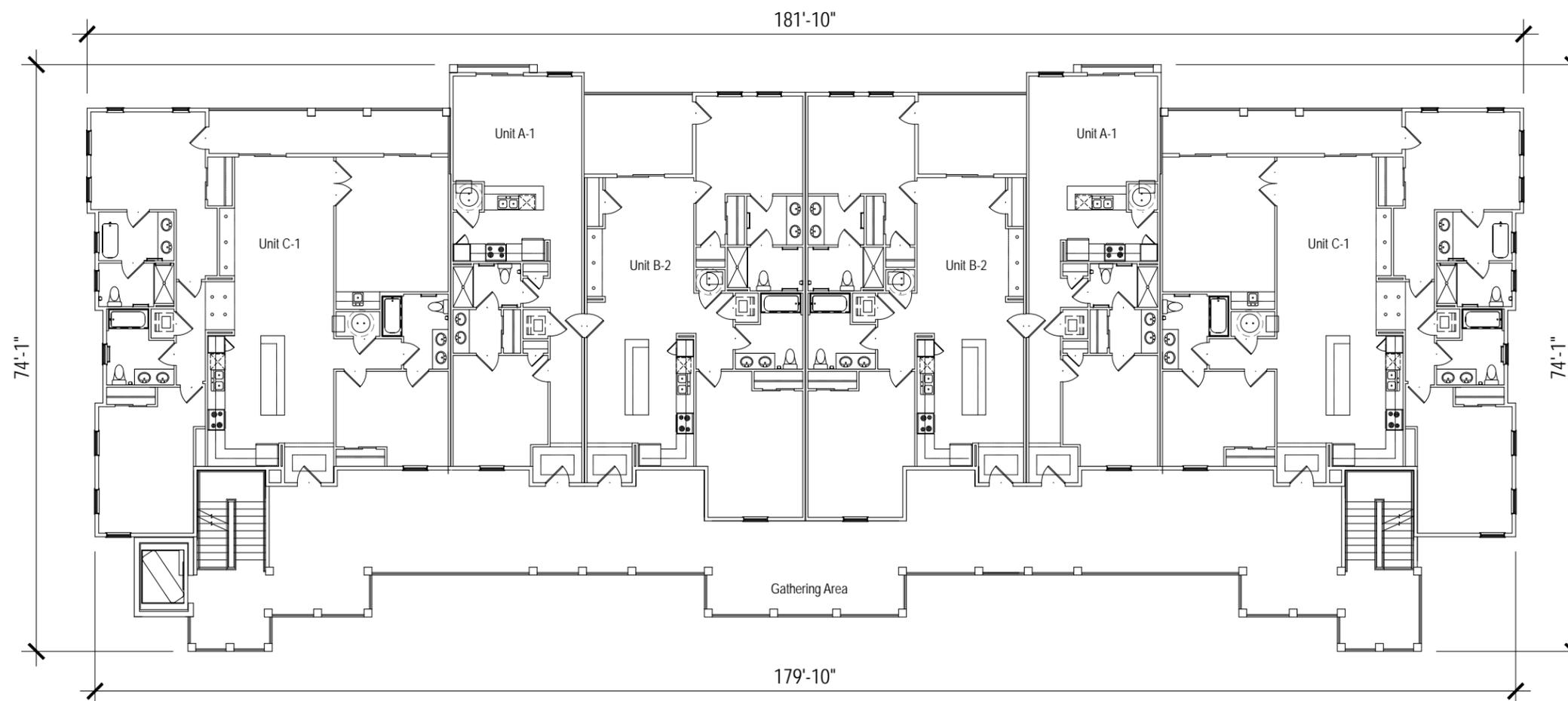
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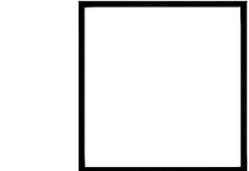
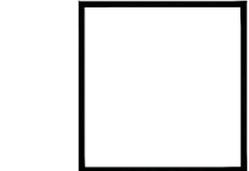
Project Number
17601
Sheet
A-31



1 30 Unit Building- 4th Floor Plan
SCALE: 1/8" = 1'-0"



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#	Issue History	Date

Project Number
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A-32



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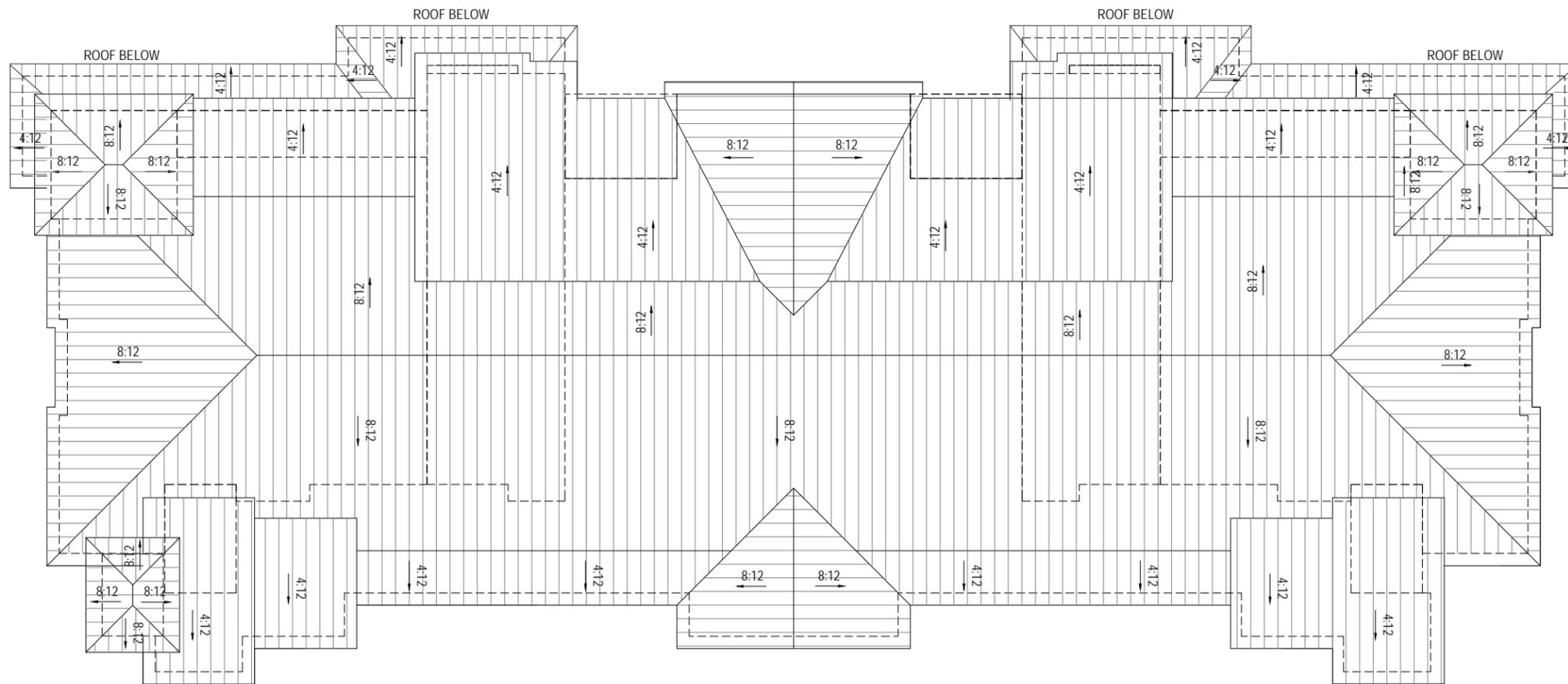
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1 30 Unit Building- Roof Plan
SCALE: 1/8" = 1'-0"

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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-33

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Hardie Vertical Siding- Heathered Moss
- 6-Hardie Vertical Siding- Mountain Sage
- 7-Vents- Sail Cloth
- 8-Metal Roof- Silver
- 9-Brick- (Palmetto Brick- Riviera)
- 10-Brick accent bands- soldier courses- (Palmetto Brick- Riviera)
- 11-All trim and columns- Sail Cloth
- 12-Rails- Silver
- 13-Exposed truss- sail cloth
- 14-Shutters- Silver
- 15-Trellis- Painted wood to match trim
- 16-Decorative metal grate with climbing flowers/ vines



2 30 Unit Building- Left Elevation
SCALE: 1/8" = 1'-0"



1 30 Unit Building- Front Elevation
SCALE: 1/8" = 1'-0"



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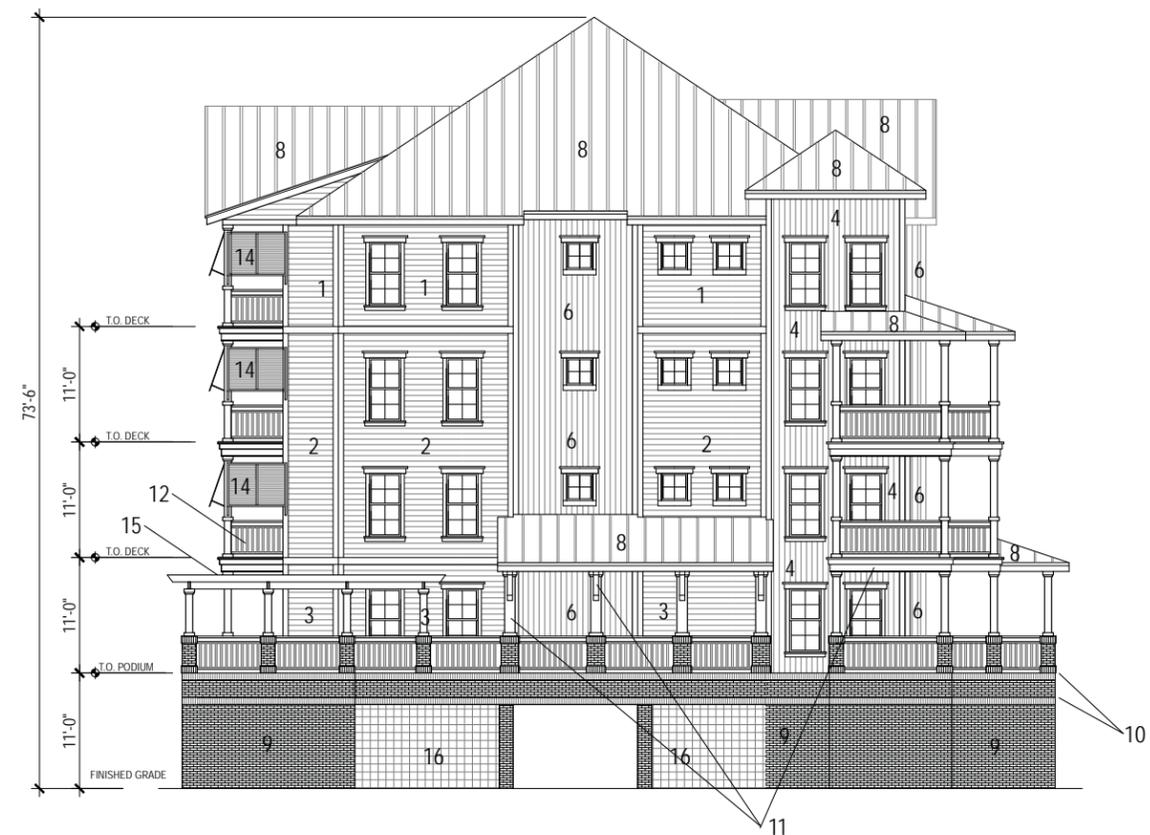
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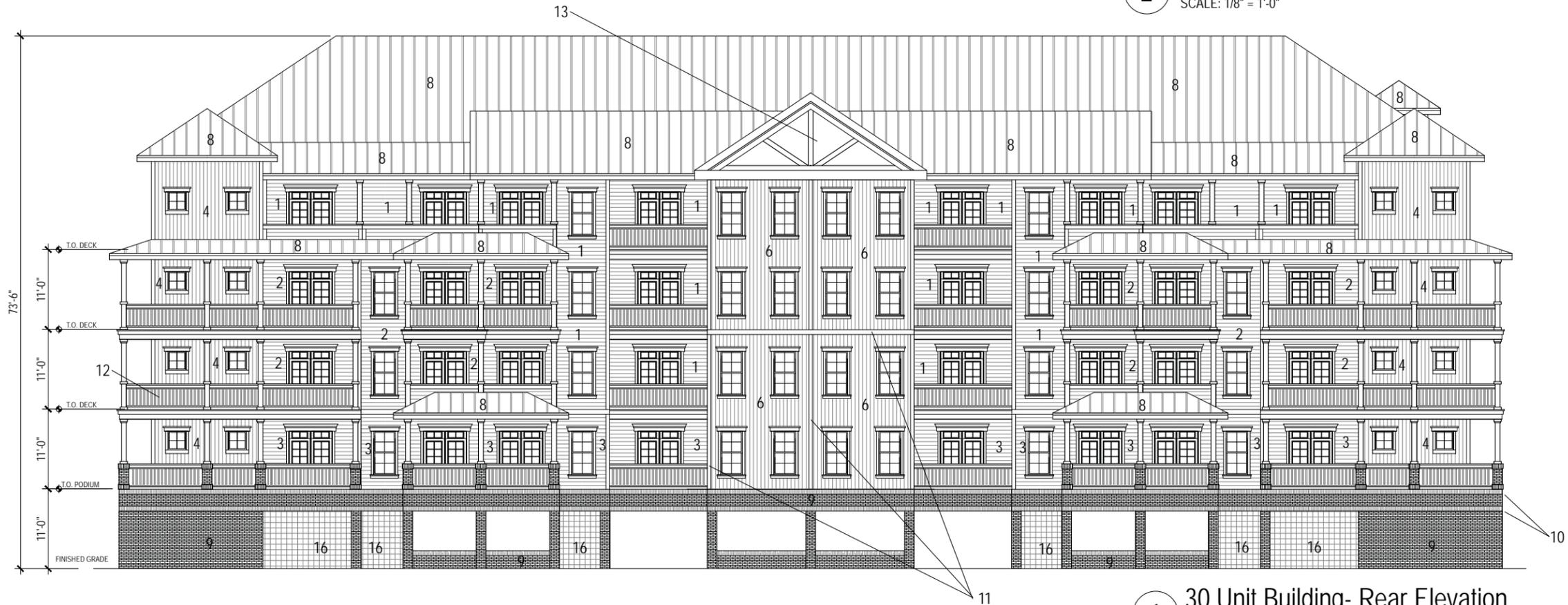
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#	Issue History	Date

Project Number
17601
Sheet
A-34

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
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- 13-Exposed truss- sail cloth
- 14-Shutters- Silver
- 15-Trellis- Painted wood to match trim
- 16-Decorative metal grate with climbing flowers/ vines



2 30 Unit Building- Right Elevation
SCALE: 1/8" = 1'-0"



1 30 Unit Building- Rear Elevation
SCALE: 1/8" = 1'-0"



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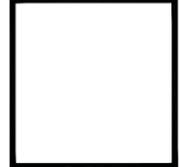
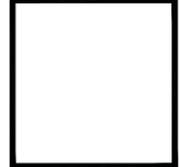
Project Number
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Sheet
A-35



1 30 Unit Building- Folly Field Road Setback
SCALE: NTS



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Sheet
A-36



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1 Clubhouse Character Elevation
SCALE: NTS

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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-37



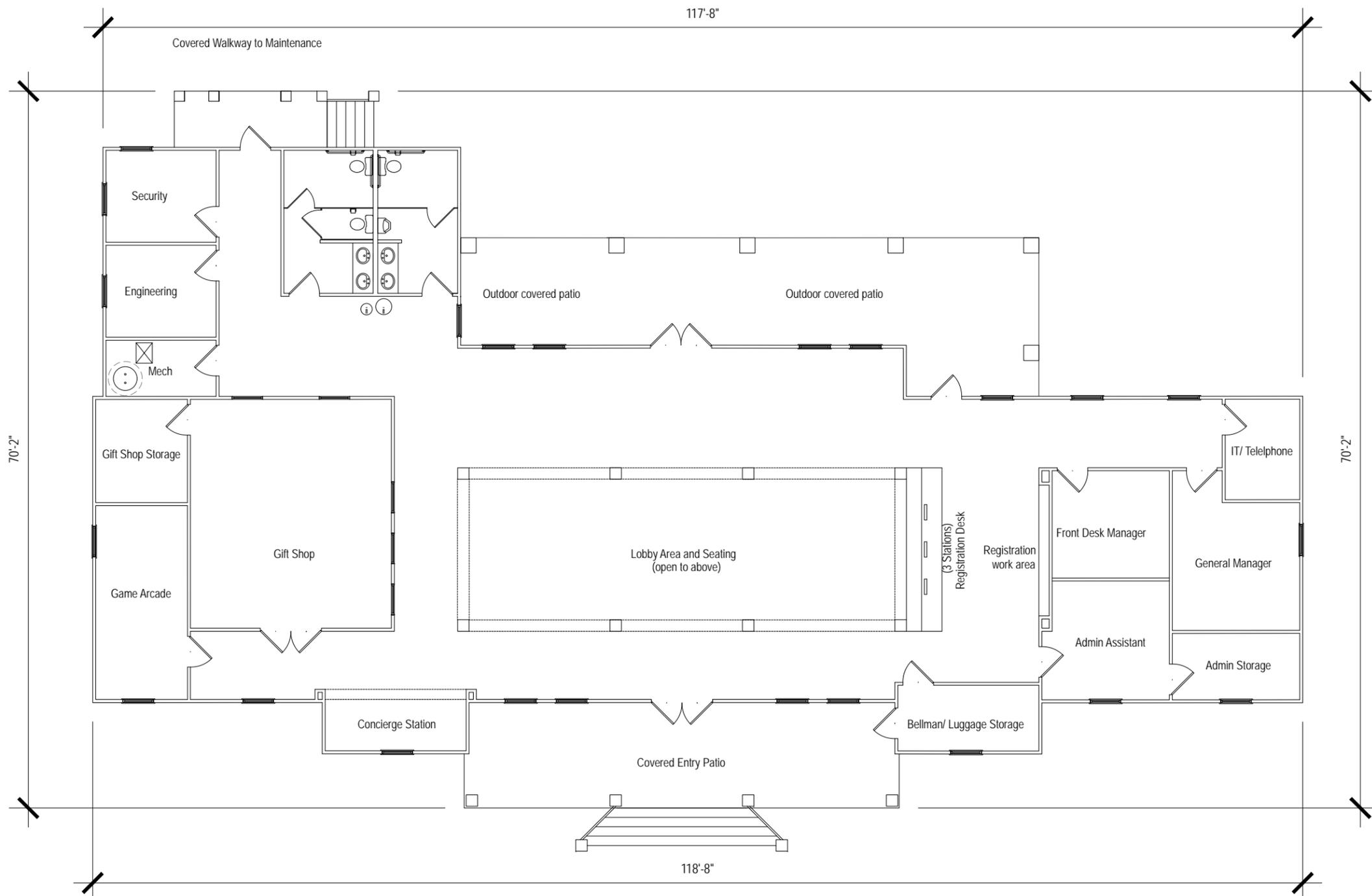
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1 Clubhouse Floor Plan
SCALE: 3/16" = 1'-0"

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#	Issue History	Date

Project Number

17601

Sheet

A-38



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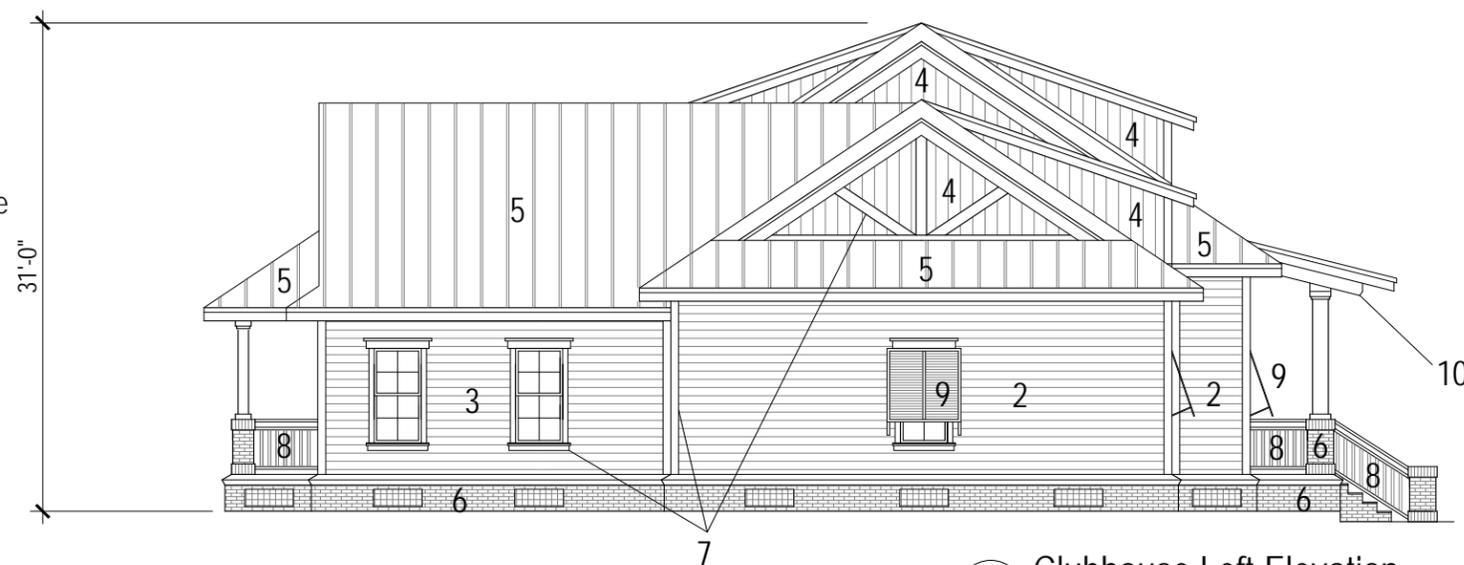
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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-39

- 1-Hardie Lap Siding- Sandstone Beige
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- Sail Cloth
- 8-Rails- Silver
- 9-Shutters- Silver
- 10-Rafter Tails- Sail Cloth



2 Clubhouse Left Elevation
SCALE: 3/16" = 1'-0"



1 Clubhouse Front Elevation
SCALE: 3/16" = 1'-0"



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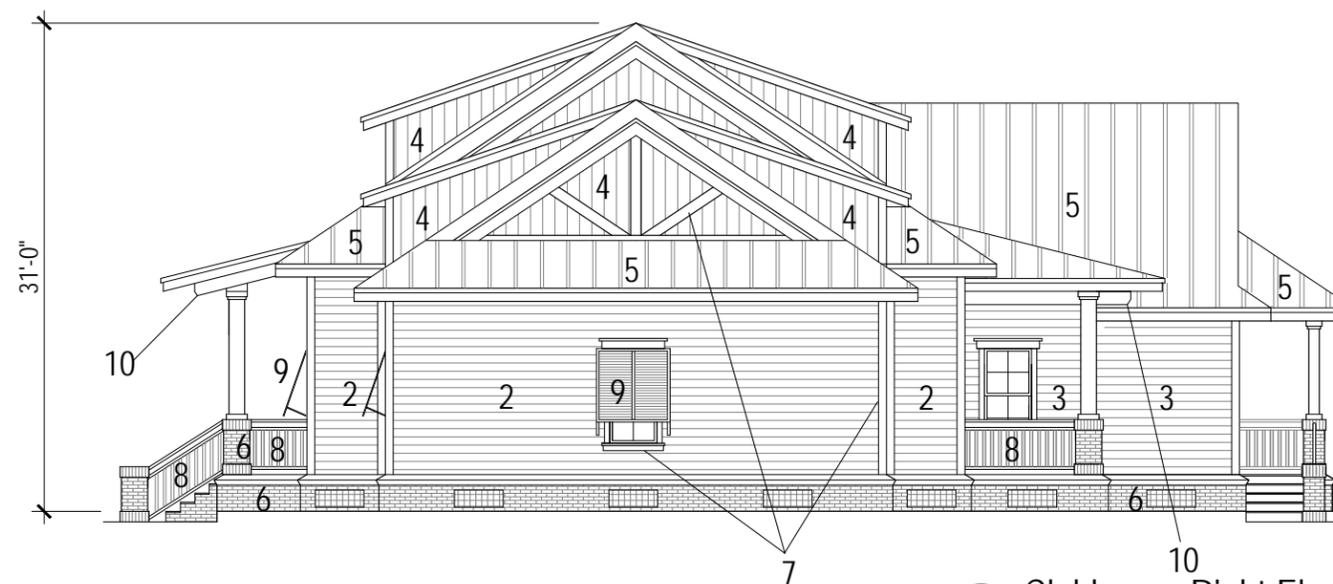
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- 7-All trim and columns- Sail Cloth
- 8-Rails- Silver
- 9-Shutters- Silver
- 10-Rafter Tails- Sail Cloth



2 Clubhouse Right Elevation
SCALE: 3/16" = 1'-0"



1 Clubhouse Rear Elevation
SCALE: 3/16" = 1'-0"

DRB Application Submission 08/28/2018

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08/28/2018

#	Issue History	Date

Project Number
17601
Sheet
A-40



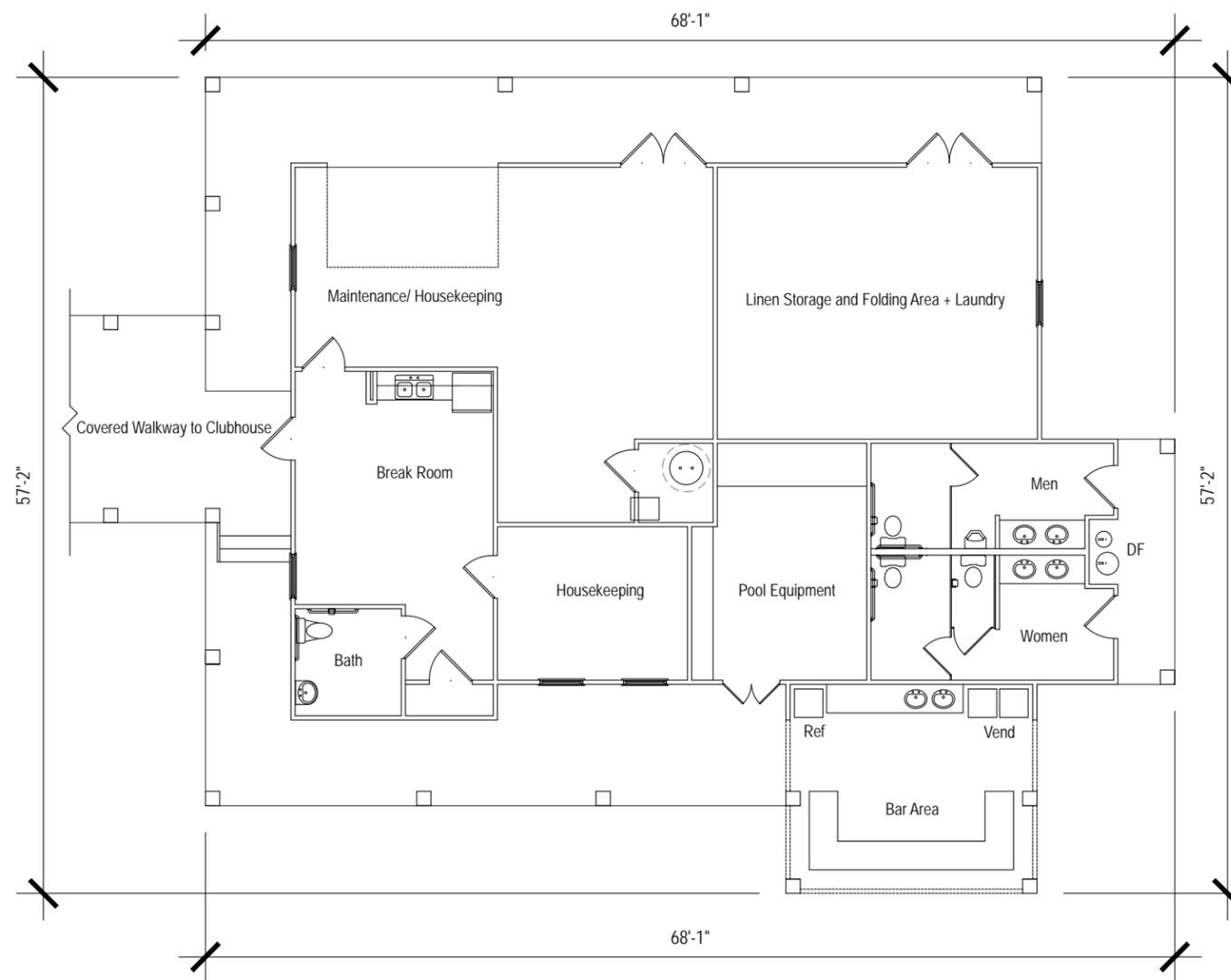
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1 Maintenance Building Floor Plan
SCALE: 3/16" = 1'-0"

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Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-41



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- 1-Hardie Lap Siding- Sandstone Beige
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- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- Sail Cloth



Note: For exact stem wall elevations, refer to Civil plans

2 Maintenance Building Left Elevation
SCALE: 3/16" = 1'-0"



Note: For exact stem wall elevations, refer to Civil plans

1 Maintenance Building Front Elevation
SCALE: 3/16" = 1'-0"

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#	Issue History	Date

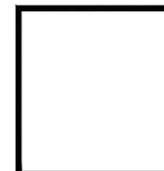
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Sheet
A-42



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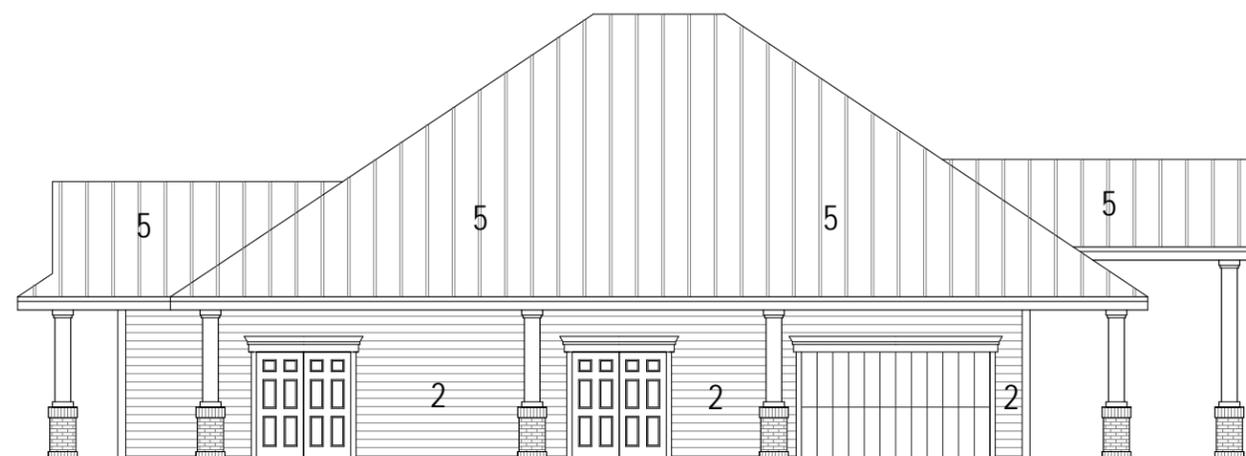
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- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- Sail Cloth



Note: For exact stem wall elevations, refer to Civil plans

2 Maintenance Building Right Elevation
SCALE: 3/16" = 1'-0"



Note: For exact stem wall elevations, refer to Civil plans

1 Maintenance Building Rear Elevation
SCALE: 3/16" = 1'-0"

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#	Issue History	Date

Project Number

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Sheet

A-43



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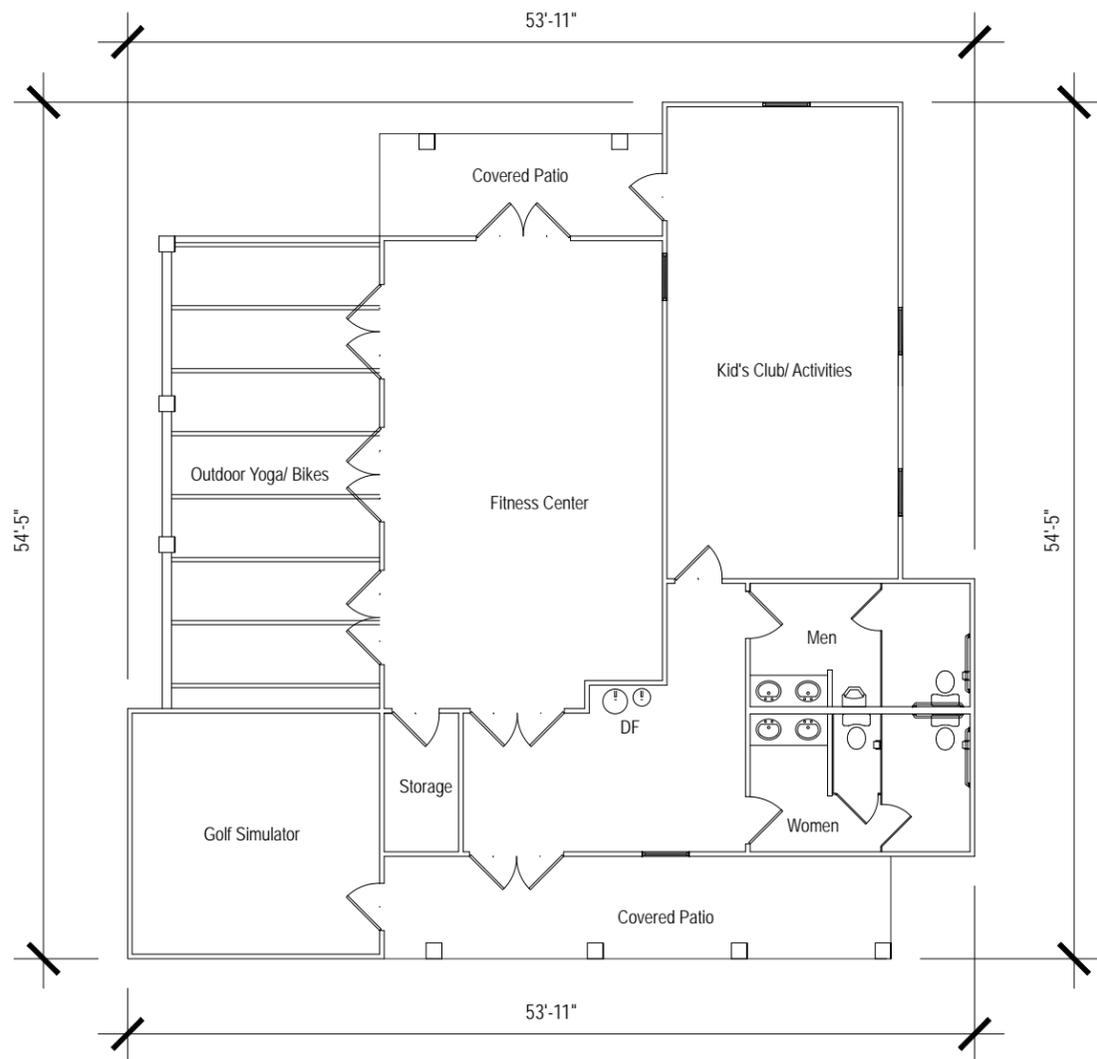
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1 Fitness Center Plan
SCALE: 3/16" = 1'-0"

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Checked By	PDS	
Date	08/28/2018	
#	Issue History	Date

Project Number
17601
Sheet
A-44



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- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sandstone Beige
- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- Sail Cloth



Note: For exact stem wall elevations, refer to Civil plans

1 Fitness Center Left Elevation
SCALE: 3/16" = 1'-0"



Note: For exact stem wall elevations, refer to Civil plans

1 Fitness Center Front Elevation
SCALE: 3/16" = 1'-0"

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17601
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A-45



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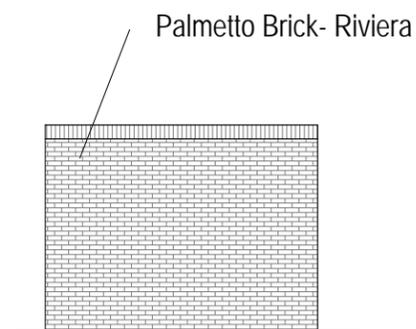
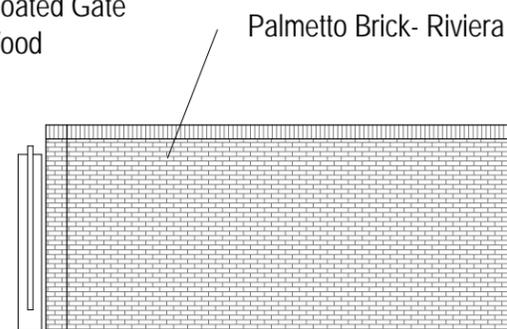
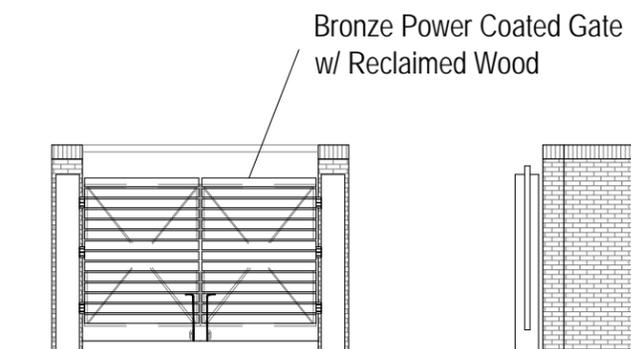
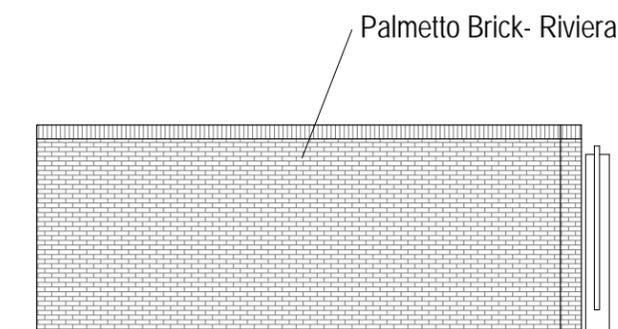
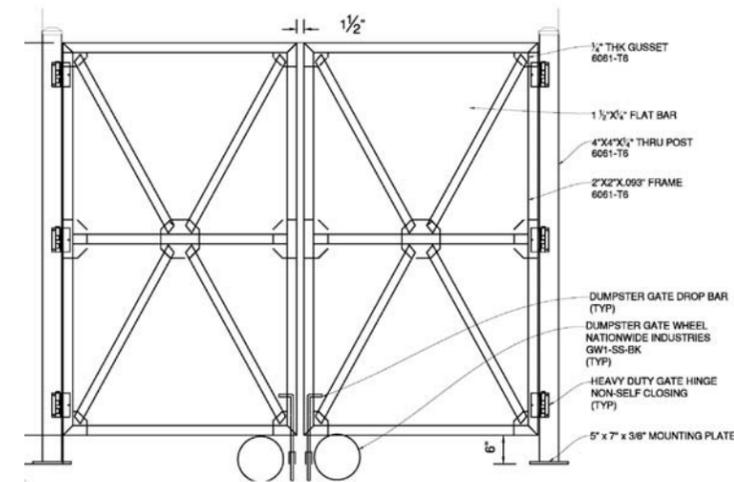
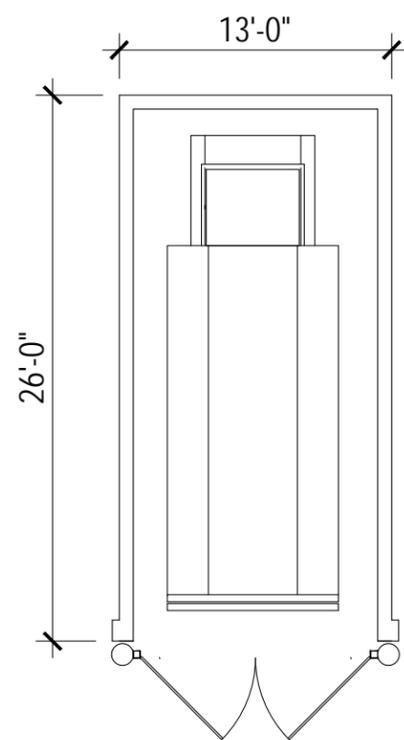
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Date	08/28/2018	
#	Issue History	Date

Project Number	17601
Sheet	A-47



1 Compactor Plan and Elevations
SCALE: 1/4" = 1'-0"



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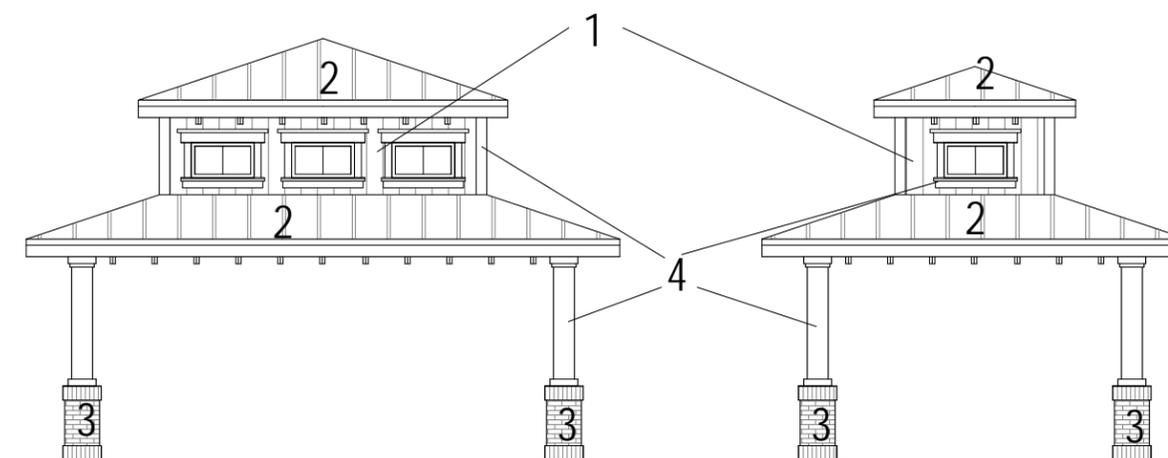
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- 2-Metal Roof- Silver
- 3-Brick- (Palmetto Brick- Riviera)
- 4-All trim and columns- Sail Cloth
- 5-Rafter Tails- Sail Cloth



1 Picnic Shelter Elevation
SCALE: 1/4" = 1'-0"

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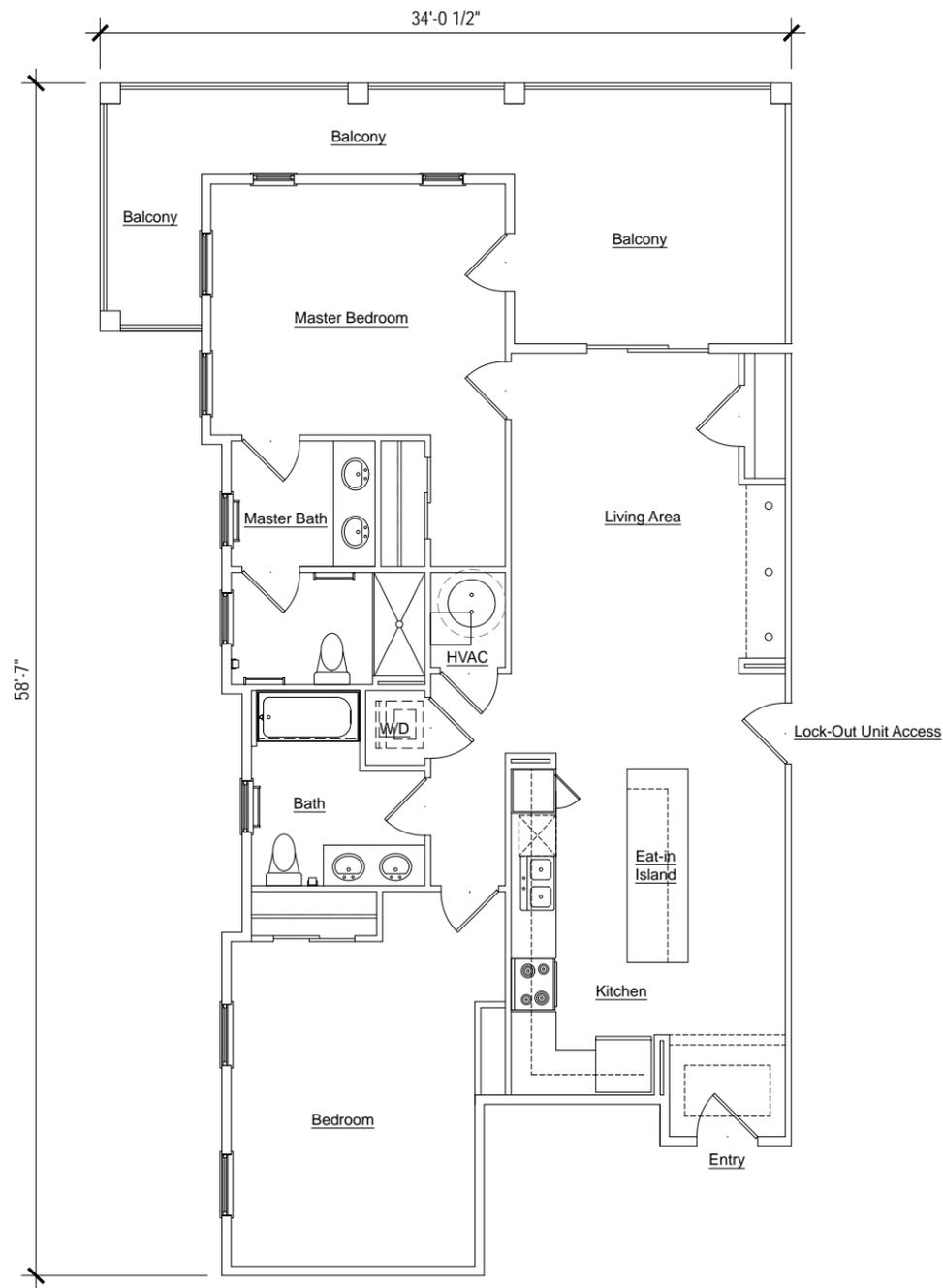
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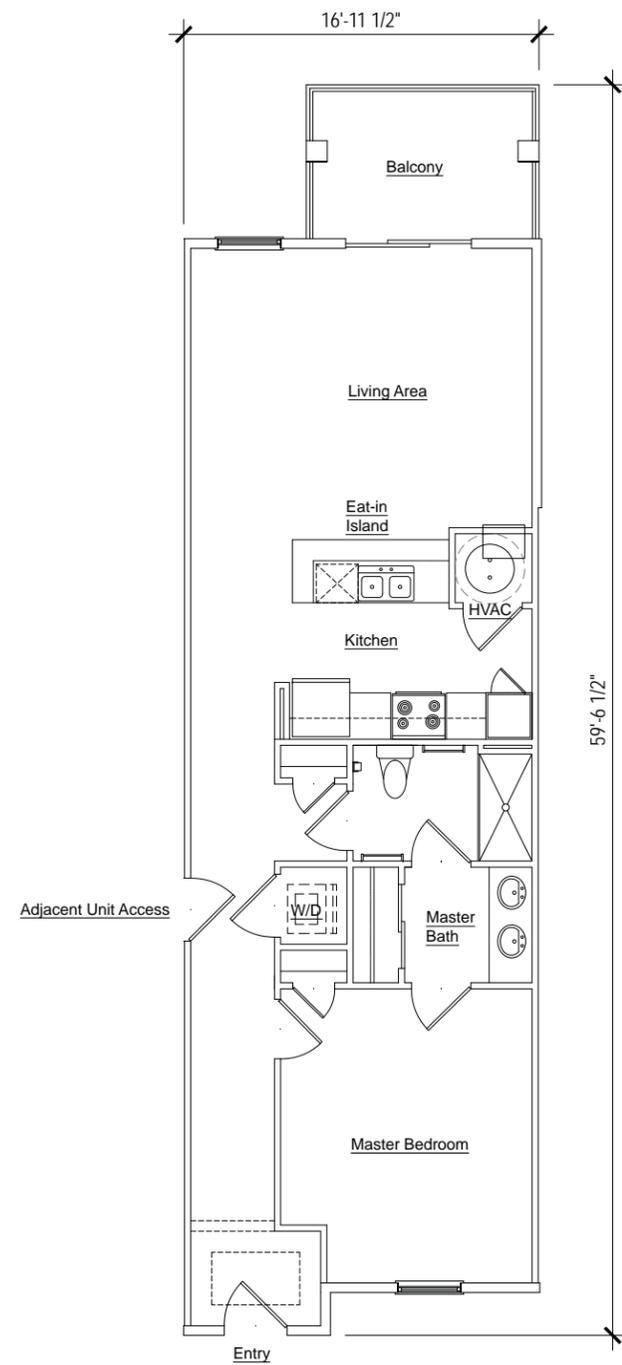
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Project Number
17601

Sheet
A-48



2 Unit B-1 Floor Plan
 SCALE: 1/4" = 1'-0" NET SF = 1,208 S.F.
 (34) Units on Site



1 Unit A-1 Floor Plan
 SCALE: 1/4" = 1'-0" NET SF = 815 S.F.
 (42) Units on Site



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Project Number
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 Sheet
A-49

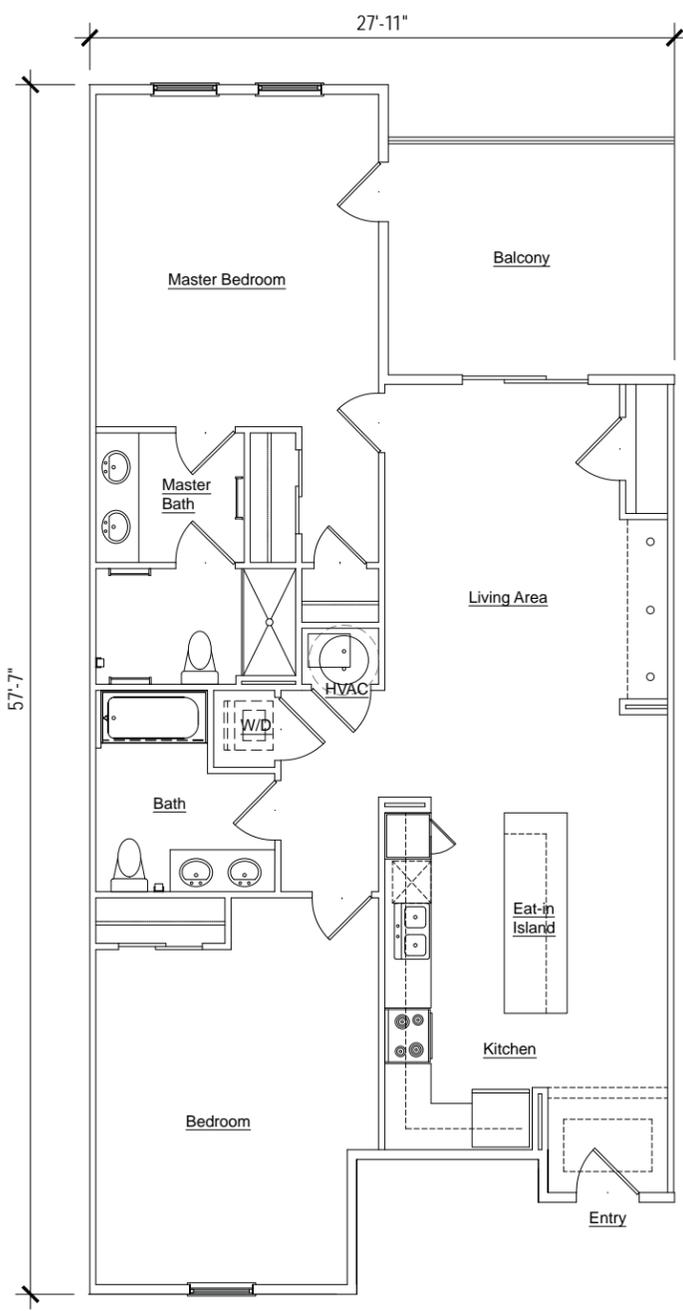


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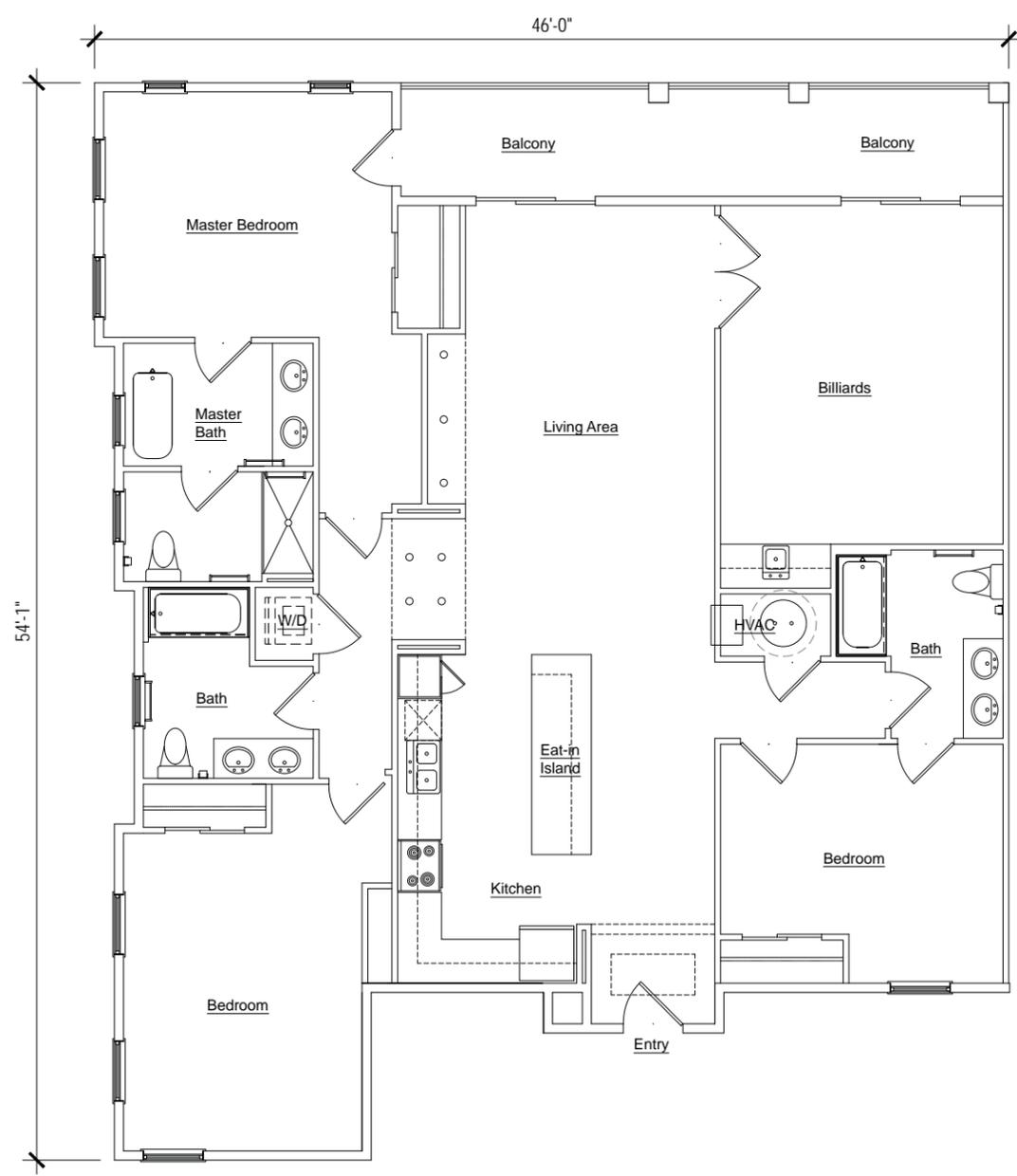
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2 Unit B-2 Floor Plan
SCALE: 1/8" = 1'-0" NET SF = 1,219 S.F.
(42) Units on Site



1 Unit C-1 Floor Plan
SCALE: 1/8" = 1'-0" NET SF = 1,916 S.F.
(14) Units on Site

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Project Number
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Sheet
A-50

FIFTEEN WIMBLEDON

Hilton Head, SC

MATERIALS & SITE FURNISHINGS

(SEE PLANS FOR SPECIFIC LOCATIONS)

FINAL DRB SUBMITTAL - SEPTEMBER 11, 2018

SCHEDULE

1.0 PAVING

- 1.1 - TABBY ASPHALT WITH SHELL
- 1.2 - ASPHALT
- 1.3 - VEHICULAR PLAZA - TABBY CONCRETE WITH BRICK BANDING
- 1.4 - VEHICULAR PAVERS
- 1.5 - PEDESTRIAN PAVERS
- 1.6 - SANDBLASTED CONCRETE
- 1.7 - GRANITE FINES WITH METAL EDGING
- 1.8 - LIGHT-SALT VOID CONCRETE POOL DECK & COPING
- 1.9 - GRASSPAVE (EMERGENCY ACCESS ONLY)

4.0 SITE FURNISHINGS

- 4.1 - BIKE RACK
- 4.2 - BENCH
- 4.3 - TRASH RECEPTACLE
- 4.4 - DOG WASTE STATION

8.0 MISCELLANEOUS

- 8.1 - CHILDREN'S PLAYGROUND (BY OTHERS)

1.0 PAVING



1.1: TABBY ASPHALT WITH SHELL

- Typical asphalt section with Oyster Shell #3 & #4



1.2: ASPHALT

- Final Section per Geotechnical Report (repaving of access road to Lyons to match existing)



1.3: MOTOR COURT PAVING

- 6" Depth Minimum Reinforced Concrete with Oyster Shell #3 & #4
- Brick Banding to Match 1.4



1.4: VEHICULAR PAVING

- Pine Hall Brick [8" x 4" x 2-1/4"]
- Color: 50% Cocoa/ 50% Bluff
- Rumbled Finish,
- Laid in 45 Degree Herringbone with Soldier Border
- Set on Concrete Setting Bed per manufacturer's recommendations

1.0 PAVING - CONTINUED



1.5: PEDESTRIAN PAVERS

- Pine Hall Brick [8" x 4" x 2-1-4"]
- Color: 50% Cocoa/ 50% Bluff
- Rumbled Finish
- Laid in Running Bond with Soldier Course
- Set on GAB Base



1.6: CONCRETE WALKWAYS

- Light sand-blasted Concrete Finish
- Sawcut Score Joints



1.7: GRANITE FINES

- 50% Unwashed Granite Fines & 50% #789 Granite
- Heavy Duty Steel 'Border King': Black in Color



1.8: SALT-VOID CONCRETE POOL DECK

- Concrete pool deck with light salt-void finish, pool coping to Match

1.0 PAVING - CONTINUED



1.9: GRASSSPAVE 2

- For Fire / Emergency Access Only, Final Section Based on Geotechnical Recommendations

4.0 SITE FURNISHINGS



4.1 BIKE RACK Dero - Arc

- In-Ground Mount Embedded into Concrete Base
- Galvanized Finish



4.2 BENCHES Landscapeforms - Scarborough

- 72" Backed, with Horizontal Strap Seat
- Surface Mount
- Powdercoat: Matte Black



4.3: TRASH RECEPTACLE Landscapeforms - Scarborough

- Surface Mount
- Powdercoat: Matte Black



4.4: DOG WASTE STATION Mutt Mitt

- In-ground Mount
- White Sign Color

8.0 MISCELLANEOUS



8.1 CHILDREN'S PLAYGROUND Miracle Recreation Playground Final Design by Churchich

- (Unit 704-S073J) & Ten Spin (Unit 304W)
- Earth Tone Color Package (Beige, Sand, Forest Green, & Green)

PLAN VIEW - SEE SITE PLAN



PERSPECTIVE VIEW - SEE SITE PLAN

END OF MATERIAL SCHEDULE



Nite-114
(Antique Iron)

SPECIFICATIONS:

MODEL:	Nite-004
MOUNTING:	1/2" NPT.
FINISH:	Aged Brass
SOCKET:	All Weather Ceramic
ELECTRICAL:	12V
LED:	3W or 5W MR-16 LED
OTHER FINISH:	Antique Iron - Nite-114
SOP:	Custom finishes available upon request

PRODUCT DESCRIPTION / APPLICATIONS:

Designed to up light and down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Certification:

Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark. #4007735.



Sustainable Cost Effective Maintenance Free

LED OPTION: (Not Included)

Nite-429BR3W MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 3 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 280lm
- Beam Angle: 40°



Nite-429BR5W MR-16

- Long Life -40,000 Hrs
- Energy Savings - 5 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 490lm
- Beam Angle: 40°



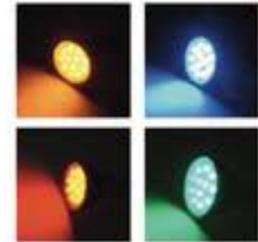
Nite-5K429BR MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 5 Watts
- Color: Bright White
- Color Temp: 5000K
- Luminous Flux: 490lm
- Beam Angle: 40°

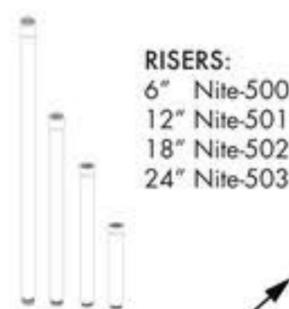


Colored LED Lamps Available:

- Nite-429BR-A – Amber
- Nite-429BR-B – Blue
- Nite-429BR-R – Red
- Nite-429BR-G – Green



MOUNTING ACCESSORIES:



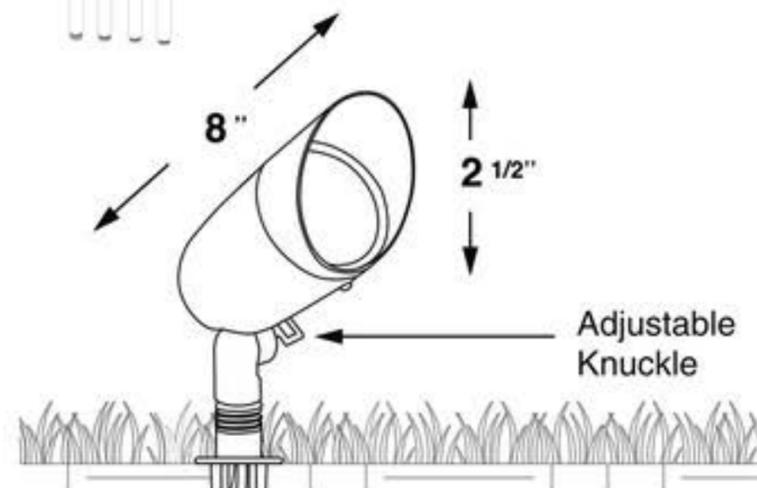
RISERS:
6" Nite-500
12" Nite-501
18" Nite-502
24" Nite-503



SURFACE MOUNT:
Nite-509



COMMERCIAL STAKE:
Nite-124 A



DRAWN BY: NITELITES

BASE DESIGN: NITELITES

DATE: 12-4-2015



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Tel: (513) 424-5510
Fax: (513) 433-0242
www.NiteLites.com

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WELL

SPOT

SPREAD

STEP/DECK

PATH

SPECIALTY

ACCESSORIES



SPECIFICATIONS:

MODEL:	Nite-028
MOUNTING:	1/4" NPT.
FINISH:	Aged Brass
SOCKET:	Wire Leads for PAR 36
ELECTRICAL:	12V
LED:	7W or 11W PAR36
GRADE:	Commercial

PRODUCT DESCRIPTION / APPLICATIONS:

Designed to up light and down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Certification:

Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark. #4007735.



Sustainable Cost Effective Maintenance Free

LED OPTIONS: (Not Included)

Nite-441 PAR36

- Long Life - 30,000 Hrs
- Energy Savings - 7 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 420~440lm
- Beam Angle: 25°, 45°, 60°



Nite-442 PAR36

- Long Life - 30,000 Hrs
- Energy Savings - 11 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 660~680lm
- Beam Angle: 25°, 45°, 60°



MOUNTING ACCESSORIES:



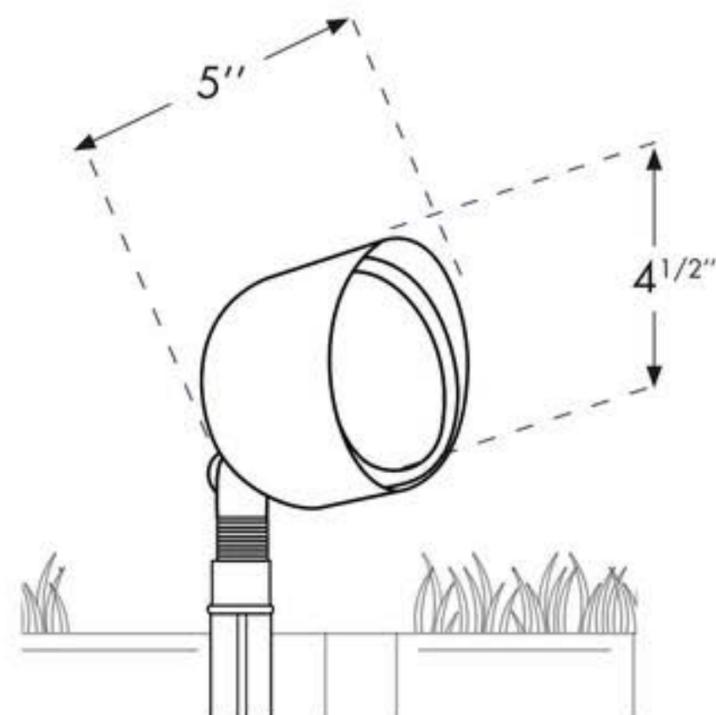
- RISERS:**
 6" Nite-520
 12" Nite-521
 18" Nite-522
 24" Nite-523



SURFACE MOUNT:
Nite-510



COMMERCIAL STAKE:
Nite-124 A



DRAWN BY: NITELITES

BASE DESIGN: NITELITES

DATE: 12-4-2015



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WELL

SPOT

SPREAD

STEP/DECK

PATH

SPECIALTY

ACCESSORIES



SPECIFICATIONS:

MODEL:	Nite-025 Down Light
MOUNTING:	1/2" NPT.
FINISH:	Aged Brass
SOCKET:	All Weather Ceramic
ELECTRICAL:	12V
LED:	3W, 5W or 7W MR-16 LED

PRODUCT DESCRIPTION / APPLICATIONS:

Angled cut down light is designed to down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.



Sustainable Cost Effective Maintenance Free

LED OPTION: (Not Included)

Nite-429BR3W MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 3 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 280lm
- Beam Angle: 40°



Nite-429BR5W MR-16

- Long Life -40,000 Hrs
- Energy Savings - 5 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: 490lm
- Beam Angle: 40°



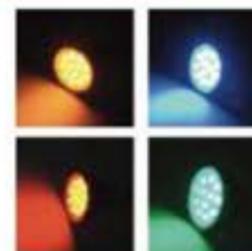
Nite-5K429BR MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 5 Watts
- Color: Bright White
- Color Temp: 5000K
- Luminous Flux: 490lm
- Beam Angle: 40°



Colored LED Lamps Available:

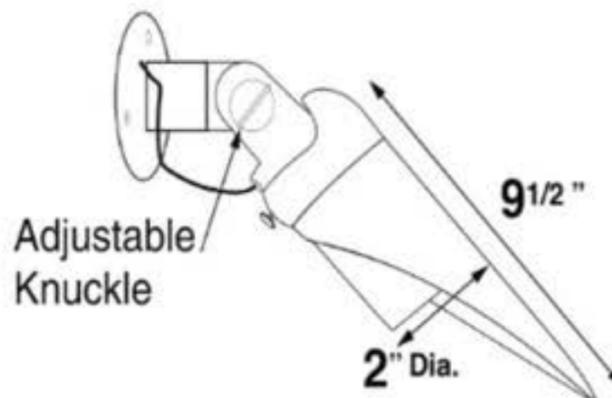
- Nite-429BR-A – Amber
- Nite-429BR-B – Blue
- Nite-429BR-R – Red
- Nite-429BR-G – Green



MOUNTING ACCESSORIES:



SURFACE MOUNT:
Nite-509



DRAWN BY: NITELITES

BASE DESIGN: NITELITES

DATE: 6-20-2016



6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NiteLites.com

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

WELL

SPOT

SPREAD

STEP/DECK

PATH

SPECIALTY

ACCESSORIES



SPECIFICATIONS:	
MODEL:	Nite-048
MOUNTING:	1/2" NPT.
FINISH:	Aged Brass
SOCKET:	All Weather Ceramic Bi-Pin
ELECTRICAL:	12V
LED:	11W Module
GRADE:	Commercial

PRODUCT DESCRIPTION / APPLICATIONS:
 Solid Brass, heavy duty fixture with adjustable knuckle. Fixture will wash plants, rows, architectural features, and signs.

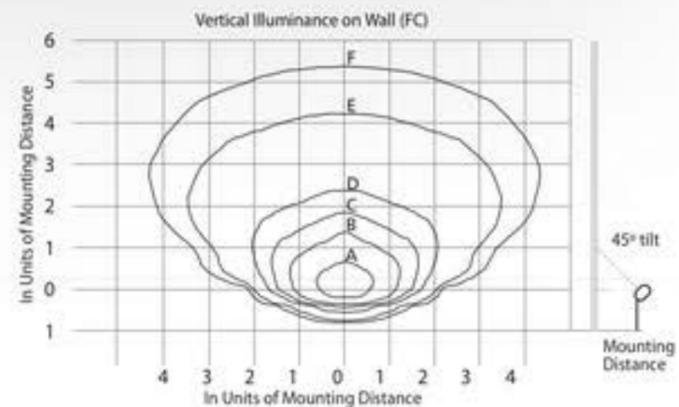


Sustainable Cost Effective Maintenance Free

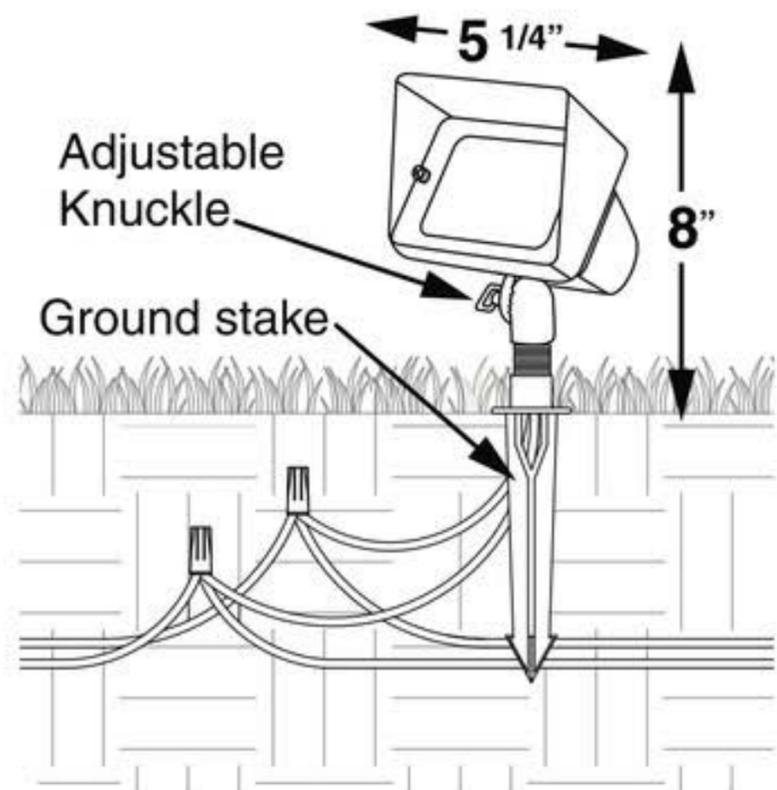
LED OPTION: (Not Included)

Nite-435

- Energy Savings - 11 Watts
- Color: Warm White
- Color Temp: 3000~3300K
- Luminous Flux: : 809~819lm



MOUNTING ACCESSORIES:



DRAWN BY: NITELITES

BASE DESIGN: NITELITES

DATE: 12-4-2015



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WELL

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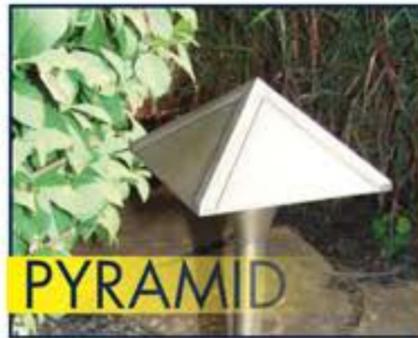
ACCESSORIES



STEM



FLAT



PYRAMID



DIMPLE



LIP



TIER



Frosted glass dome also included.



Built-in 3.6W LED.



Nite-119-STEMLED
(Antique Iron)

MOUNTING ACCESSORY:



COMMERCIAL STAKE:
Nite-124 A

SPECIFICATIONS:

MODEL:	Nite-009-STEMLED
MOUNTING:	1/2" NPT.
FINISH:	Aged Brass
ELECTRICAL:	12V
LED:	3.6W Built-in LED
OTHER FINISH:	Antique Iron - Nite-119-STEMLED
SOP:	Custom finishes available upon request

PRODUCT DESCRIPTION / APPLICATIONS:

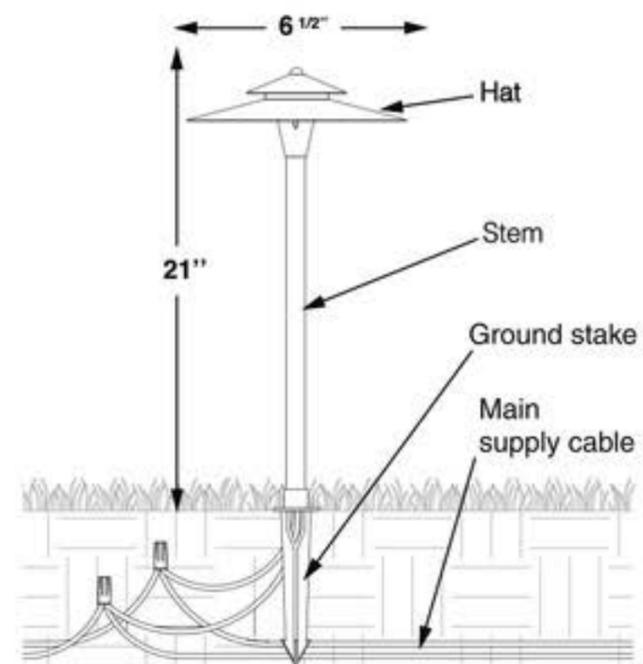
NiteLites Model Nite-009-STEMLED Path Light Stem is designed to illuminate pathways, gardens, and any other area that needs low level accent lighting. The stem can be fitted with any of the hats to give you a multitude of options. The Path Lights are constructed of brass and are available in multiple finishes.

NOTES:

Includes stem only. Hats sold separately.
Includes clear and frosted glass dome.

Certification:

Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark. #4007735.



Sustainable Cost Effective Maintenance Free

DRAWN BY: NITELITES

BASE DESIGN: NITELITES

DATE: 12-4-2015



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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 15 Wimbledon court

DRB#: DRB-002029-2018

DATE: 08/30/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide a conduit installation detail for well lights and tree lights that will not impact tree roots for Staff review and approval.
2. Provide mounting detail / specifications for the tree down lights that will not penetrate the tree bark for Staff review and approval.
3. Revise the street lighting plant to meet the LMO requirements for Staff review and approval.
4. Submit a color board for DRB review and approval.
5. Provide color specifications (including manufacturer) on the drawings.
6. Specify directional bore installation of electrical conduit under trees at Folly Field buffer.

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tree removal plan provided, It is Staffs understanding that the existing development will be removed.

MISC COMMENTS/QUESTIONS

1. Consider adding brick work that expresses columns and corners through to the finished grade to break up the flat brick wall.	
2. Provide conduit installation detail for well lights and tree lights that will not impact tree roots.	
3. Provide mounting detail and specifications for the tree down lights that will not impact the tree.	
4. The street lighting plan exceeds the LMO requirements.	
5. Provide a color board and specifications (including manufacturer) on the drawings.	
6. Specify directional bore installation of electrical conduit under trees at Folly Field buffer.	