



**Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, January 23, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA**

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of January 9, 2018**
- 6. Board Business**
- 7. Old Business**
 - A. *New Development – Final*
 - Lidl, DRB-000054-2018 (Conceptual Approval Oct. 13, 2017)
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
January 9, 2018 at 12:00 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Debbie Remke, Brian Witmer, Ron Hoffman, Kyle Theodore, Michael Gentemann

Board Members Absent: None

Town Council Present: David Ames

Town Staff Present: Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at 12:00 p.m.

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – December 12, 2017

The Board approved the minutes of the December 12, 2017 meeting by general consent.

6. Board Business – None

7. Old Business

A. Alteration/Addition

- Broad Creek Marina, DRB-002869-2017 (withdrawn May 23, 2017)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial of the application as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board expressed appreciation for addressing some of their previous concerns. The Board discussed and made inquiries regarding: The drawing is inaccurate and out of scale. The height will be the top of the blue/gray trim. The proposal includes four boats high. No windows are included on the structure due to window and wind load sizing requirements. There was discussion on leaving the wall panels as proposed or removing them to see just the boat rack. Some Board members preferred removing all of the

panels. There were concerns for adding siding to try to make the boat rack look like something that it's not. If the panels are to remain then they need to be shorter in height and function as intended. One member expressed this project would be categorized under Architecture in the Design Guide. The panels as proposed do not meet the criteria for a structure nor achieve the intent of the Design Guide. All sides of a structure need to be considered. Landscaping can be used to augment the structure, but the structure has to stand on its own. There was discussion on replacing the Loropetalums and increasing the size of the landscaping. The Board was still concerned for the height of the structure at 45 feet plus a boat on top adding 10 feet more. The visibility of the structure from all sides was discussed with the most concern for the pedestrian and vehicular traffic coming from Simmons Road. The Board cannot support the structure at its current height. The Board discussed the size of the boat racks at Skull Creek, which has three boat racks totaling 28 feet tall. The current proposal is for three racks approximately 45 feet tall plus a boat on top totaling approximately 55 feet and would accommodate 80 boats. The Board made inquiries regarding moving the footprint of the building away from the pedestrian side of Simmons Road and downsizing the structure to accommodate less boats. The applicant indicated the footprint cannot be moved. Downsizing the project would not work financially, and that more tenants/boats are needed to help offset project costs. The Board appreciated the financial considerations to make the project work. One member suggested to decrease the height on the Simmons Road side to better scale the pedestrian view. Most of the Board was in agreement with this suggestion. The applicant agreed to 70 boats. One member expressed decreasing the height helps, but the structure remains massive at 127 feet long and more needs to be done architecturally to meet the Design Guide.

Mr. Witmer made a motion to approve DRB-002869-2017 with the following conditions:

- 1) Remove the panels from the southern end of the boat racks;
- 2) Reduce the height of the boat rack closest to Simmons Road to thirty (30) feet.
- 3) Replace the Loropetalums with Sabal Palms.

Ms. Remke seconded. The motion passed with a vote of 6-1-0.

B. *New Development – Final*

- Port Royal Investments, DRB-002873-2017 (Conceptual Approval Nov. 28, 2017)

(Ms. Theodore recused herself from review of application DRB-002873-2017 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following condition:

- 1) Revise the Landscape Plan buffer note on the existing vegetation to narrow the scope and protect the understory and submit for Staff approval.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board. Samples of the colors were provided to the Board. The applicant indicated Option 1 biofertile feature should have been removed from the original submittal.

Chairman Gartner requested comments from the Board. The Board complimented project. The Board indicated the color temperate must be specified at 3000K or less. The service yard gate detail indicates the chain link will be on the inside of the fence and boards will be on the outside. The Board complimented the solar panels on the elevation and asked whether a photo or panel will be submitted. The solar panel comes in an all black panel or aluminum, and the applicant is leaning toward the aluminum panels. There was discussion on the impressions in the concrete sidewalks. Three patterns were submitted and one will be selected.

Vice Chairman Strecker made a motion to approve DRB-002873-2017 with the following conditions:

- 1) Revise the landscape plan buffer note on the existing vegetation to narrow the scope and protect the understory, and submit to Staff for review and approval;
- 2) Detail and information on the solar panels shall be submitted to Staff for review and approval.

Mr. Gentemann seconded. The motion passed with a vote of 6-0-0.

- Mullet's, DRB-002785-2017 (Conceptual Approval Nov. 28, 2017)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

- 1) Specify the height dimension on the porta potty screen detail.
- 2) Eliminate uplighting at base of large existing Live Oak.
- 3) Specify on the drawings that all light sources shall be 3000K or less.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding Staff comments and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the project. The Board conveyed preference for the porta potty in the conceptual submittal. The current proposal is sufficient so long as the screen wall is specified at least six inches above the porta potty. The amount of pavement in front of the porta potty is compliant with ADA requirements. Regarding landscaping, the Ligustrum need to be replaced with a more native species. The Board discussed protecting the specimen trees from vehicular traffic by putting up posts and rope.

Ms. Theodore made a motion to approve DRB-002785-2017 with the following conditions:

- 1) Specify the porta potty screen wall height and submit to Staff for review and approval;
- 2) Eliminate the Oak uplights;
- 3) Replace Ligustrum with a more native material and submit to Staff for review and approval;
- 4) Add a post and rope segment on the South property line to protect the existing Live Oaks.

Mr. Witmer seconded. The motion passed with a vote of 7-0-0.

8. Unfinished Business – None

9. New Business

A. Alteration/Addition

- Lucky Rooster, DRB-002881-2017

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with conditions:

- 1) Provide a Lighting Plan for Staff review and approval.
- 2) Provide a Planting Plan for Staff review and approval.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board asked for clarification on the colors and their locations. The red and gray will match the existing building. The Board asked how this proposal works with the existing tree hanging into the terrace. The applicant indicated this would be cut at a certain point to address this. The Board had safety concerns about the arrangement of the furniture at the sidewalk that may cause people to walk into the parking area. The Board asked whether the plantings will be irrigated and the applicant indicated they would be watered. The Board asked for a sample of the gutter and downspout, it will be the same gray tone. There were concerns about the location of the building signage as it will have to be moved. The sign relocation will go through a separate approval process. There were questions about the underside of the structure – exposed steel and painted façade on the ceiling and lights underneath the beams. The bottom of the beams will be 10'4" at its lowest point. The Board agreed with the Staff comments for lighting and planting plans.

Mr. Gentemann made a motion to approve DRB-002881-2017 with the following conditions:

- 1) The gutter water collection to match the gray trim color;
- 2) Submit Lighting Plan and Planting Plan to Staff for review and approval.

Ms. Theodore seconded. The motion passed with a vote of 7-0-0.

- Pool Bar Jim's, DRB-002882-2017

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial of the application as submitted. Mr. Darnell noted that Staff comments were provided to the applicant in adequate time prior to the meeting in order for the applicant to have time to respond, and no response was received.

Chairman Gartner asked if the applicant was present. The applicant was not in attendance.

Chairman Gartner requested comments from the Board. There were questions and concerns related to: whether this is a portable structure, the elevations and drawings, the roof plan, roof material, how drainage would be handled, casters, lighting plan, etc. There is conflicting information on the elevations and drawings, and neither coordinate with the existing structure. The general consensus among the Board was that there is sufficient reason to deny this project as a major change would be expected upon resubmittal.

Chairman Gartner made a motion to *deny* DRB-002882-2017 as submitted, based on the following:

- 1) The project's lack of reference to the existing buildings;
- 2) Construction, materials, and finishes are unclear;
- 3) The lighting plan and vegetation plan are insufficient.

Mr. Hoffman seconded. The motion passed with a vote of 7-0-0.

Staff noted the recording of this meeting is public information and can be made available to the applicant.

B. *Sign*

- Bank of America, DRB-002887-2017

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial of the application as submitted. Per the Fire Department, the business address is required to be on the sign. Staff needs clarification on push through letters.

Chairman Gartner asked if the applicant was present. The applicant was not in attendance.

Chairman Gartner requested comments from the Board. The Board had concerns for the appearance of the proposed vinyl sign panel and that it may appear shiny or plastic-like. A vinyl material is out of character for the surrounding area. There were concerns with the proposed blue and red colors as they need to be more nature blending shades. There were questions about the background texture of the sign and the white outline appearing around the lettering. The Board expressed the desire to not increase the sign size. The Board expressed not being able to support an approval with so many unanswered questions and discussed options for proceeding.

Ms. Theodore made a motion to *deny* DRB-002887-2017 as submitted, based on the following concerns:

- 1) The use of a vinyl sign panel versus materials used within the area, such as a sandblasted wood;
- 2) The vivid red and blue used for sign;
- 3) Lack of information incorporating the street address;
- 4) Lack of understanding of raised push through copy;
- 5) Clarification of proposed sign lighting or lighting to remain.

Vice Chairman Strecker seconded. The motion passed with a vote of 7-0-0.

For the record, materials and samples were not provided and the applicant was not present to answer questions and concerns of the Board. Staff noted the recording of this meeting is public information and can be made available to the applicant.

10. Staff Report

Mr. Darnell reported on the Minor Corridor approvals since the last Board meeting.

11. Appearance by Citizens

Eleanor Lightsey expressed her appreciation for the Board’s hard work. She suggested public comment be taken on each project rather than solely under “Appearance by Citizens”. She inquired about DHEC approvals, and the Cordillo Courts and Pool Bar Jim’s projects.

12. Adjournment

The meeting was adjourned at 2:19 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Jake Gartner, Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Desmond Anyanwu Company: Lidl US Operations, LLC
 Mailing Address: 1500 Sunday Drive, Suite 101 City: Raleigh State: NC Zip: 27607
 Telephone: (703) 851-7880 Fax: _____ E-mail: desmond.anyanwu@lidl.us
 Project Name: Sea Turtle Marketplace - LiDL Project Address: 430 William Hilton Plwy
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 1 5 6 0 0 0 0
 Zoning District: Community Commercial (CC) Overlay District(s): Airport Overlay (A-O); Corridor Overlay (COR)

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

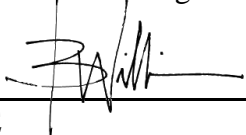
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE

1/9/18

 DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Lidl **PROJECT #:** DRB-002144-2017
PROJECT ADDRESS: 430 William Hilton Parkway
CATEGORY: Concept Approval
ACTION DATE: October 10, 2017 **NOTICE DATE:** October 13, 2017
APPLICANT/AGENT: John Raymond, c/o Lidl US Operations. LLC
1500 Sunday Drive, Suite 101
Raleigh, NC 27607
Email: john.raymond@lidl.uc

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

- 1) Consider a pitched roof over the covered cart storage on the Mathews Drive elevation;
- 2) Vary the height of the parapet wall to break the horizontal line of the roof;
- 3) Consider using tabby stucco on the parapet wall over the arched glass wall on the 278 elevation;
- 4) Include dumpster and utility screen details to compliment others at Sea Turtle Marketplace;
- 5) Increase the density of the plant massings;
- 6) On the Mathews elevation, locate the sidewalk along the back of the curb to eliminate the tendency for pedestrians to cut through landscape. Locate landscape between sidewalk and shopping cart storage;
- 7) Improve the pedestrian connection around the corner of the building where the sidewalk ties to Sea Turtle Marketplace;
- 8) Use 4" caliper Live Oak in the landscape islands on the Mathews and William Hilton elevations to match Sea Turtle Marketplace;
- 9) Eliminate turf in the BMP areas and replace with plant materials that can handle flooding;
- 10) Revise the site plans to save existing trees.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Project Narrative

The proposed Lidl Grocery Store #1130 is located at the southwest corner of the intersection of Mathews Drive & William Hilton Parkway on Hilton Head Island, SC. This site is part of the redevelopment of the existing Pineland Mall Shopping Center. This portion of the project proposes a grocery store on the eastern end of the recently completed Sea Turtle Market Place development. Associated with the development of the grocery store improvements, LIDL and its design team have attended several meetings with the design review board members and worked closely with staff to shape this project such that it is compatible with the Sea Turtle Market Place themes. This proposed project maintains Hilton Head aesthetics by limiting impacts to the visual experience as prescribed by the design guide. The list below summarizes themes from the Sea Turtle Market Place development which were included in the LIDL development.

- Hardscape surfacing – LIDL will utilize the same pavers in parking areas as well as decorative concrete in pedestrian areas (mesa beige with rock salt finish, winter beige with rock salt, and oyster shell finish concrete). Additionally, the layout of sidewalks will be curvilinear which matches layout of the overall shopping center.
- Site amenities- LIDL will utilize the same bollards, bike racks and site lighting fixtures.
- Color Palette- Various building components will utilize the same colors - e.g. store front, gutters, flashing.
- Dumpster Enclosure- Dumpster enclosure will match building architecture as required by Hilton Head.
- Landscaping- Similar plant species will be utilized to match those used in the remainder of the center.

Concept Review Comments and how we addressed them.

Comments were made by the DRB members during the October 10, 2017 meeting, as well as the December 12, 2017 application that was withdrawn. Revisions addressing those comments have been incorporated into this submittal package. The bullets below list specific adjustments based on comments received from the board.

1. Consider a pitched roof over the covered cart storage on the Mathews Drive elevation.
 - The roof has been pitched over the cart corral.
2. Vary the height of the parapet wall to break the horizontal line of the roof.
 - The parapet wall has been varied along the Mathews and William Hilton elevations.
3. Consider using tabby stucco on the parapet wall over the arched glass wall on the 278 elevation.
 - This has been addressed.
4. Include dumpster and utility screen details to compliment others at Sea Turtle Marketplace.
 - Dumpster enclosure will match building architecture. Physical material samples of gate material have been provided with this submittal.
5. Increase the density of the plant massings.
 - Density of plants massings has been increased.
6. On the Mathews elevation, locate the sidewalk along the back of the curb to eliminate the tendency for pedestrians to cut through landscape.



- Sidewalk has been pushed to northern parking bay to facilitate easy sidewalk access for patrons.
- 7. Locate landscape between sidewalk and shopping cart storage.
 - Landscaping has been added between cart corral and sidewalk. A sidewalk connection has been provided to the bike rack area at the end of the cart corral area.
- 8. Improve the pedestrian connection around the corner of the building where the sidewalk ties to Sea Turtle Marketplace.
 - A smooth/flowing sidewalk connection has been provided connecting the Lidl sidewalk to the adjacent Sea Turtle Market Place sidewalk. Sidewalk along the William Hilton Parkway frontage of the store is covered to provide better protection from the weather to pedestrians/cyclists.
- 9. Use 4" caliper Live Oak in the landscape islands on the Mathews and William Hilton elevations to match Sea Turtle Marketplace.
 - All live oaks are specified as 4"
- 10. Eliminate turf in the BMP areas and replace with plant materials that can handle flooding;
 - Grasses which are tolerant of water inundation have been specified in parking lot depressions.
- 11. Revise the site plans to save existing trees.
 - Existing live oak along William Hilton Parkway has been preserved. Design team will coordinate with the town to ensure the tree is properly fertilized and protected during construction.

Additional town staff recommendations were received at the DRB meeting on December 5, 2017. These comments are below and have been addressed as per the response below each comment.

- 1. As part of the DPR submission, locate the silt fence along the south property line to protect existing vegetation.
 - The erosion control plans are now included in the submittal package and depict the fence in this area. Additional notes have been added calling out the protection of existing plant material in this area.
- 2. Revise the Site Plan to preserve the 27" Live Oak in front of the Hwy 278 elevation.
 - Existing live oak along William Hilton Parkway has been preserved. Design team will coordinate with the town to ensure the tree is properly fertilized and protected during construction.
- 3. Provide a lighting plan for staff review and approval that:
 - Illustrates compliance with the LMO site lighting standards.
 - This plan has been provided and complies with LMO.
 - Matches Sea Turtle Marketplace light fixtures and sources.
 - Lighting design has been completed by same designer as Sea Turtle Market place with the same fixtures.
 - Locates light poles behind parking stalls to match (generally) Sea Turtle Marketplace light pole locations.
 - Poles have been located behind parking stalls.
 - Locates light poles to avoid conflicts with trees (existing and proposed).
 - Poles have been located to avoid conflicts with Landscaping.



Additional comments were made by the DRB at the December 5, 2017 meeting. The design team took notes during the meeting and the comments they received are below and have been addressed as per the response below each comment.

- Specify color of bike rack.
 - Bike racks are the same make and model used in the Sea Turtle Market Place. A detail has been added to the plans.
- Add a canopy tree along the southern side of the entrance Drive off Matthews (off LIDL property).
 - LIDL and the seller have negotiated to allow for the installation of a 4" Live oak.
- Gutter and store front metal color should match Sea Turtle Market Place color pallet.
 - Gutter and store front colors will match the Sea Turtle Market Place McElroy metal charcoal.
- Provide a plan showing existing vegetation to remain.
 - Additional plans and color exhibits have been provided to show the existing vegetation and areas of vegetation to remain.
- Provide cut sheets on site lighting and exterior building lighting package.
 - Site lighting cut sheets have been provided on the site lighting plan. Exterior building lighting package cut sheets have been provided.
- Scale LIDL building size down.
 - The size of the building cannot be scaled down due to the mechanical components inside the building on the mezzanine and sales floor.
- Provide more oaks in lieu of palms.
 - Select palm trees were replaced with live oaks. We left the remaining palm trees adjacent to the building because they present a lower potential impact to the building foundations with their root structure than the Oak trees.
- Address flatness on Matthew Drive elevation.
 - Parapet wall has varied height and wall fenestration is varied in depth.
- Provide roof plan.
 - This has been included.
- Pitch canopy along front of store
 - The roof is now pitched.
- Provide color elevations.
 - Color elevations have been provided.
- Provide details for brackets on roof canopies, louvers, door cut sheets for building doors and loading dock doors, column details, wall sections, and reflected ceiling plan (for exterior ceilings under canopies? I believe anything people will walk under).
 - Details have been included with this submittal
- Lower building height.
 - The size of the building cannot be scaled down due to the mechanical components inside the building on the mezzanine and sales floor.
- Eliminate straight flat lines on roof.
 - The parapet wall height has been varied.

STOREFRONT

Features

- Trifab™ VG 451/451T is 4-1/2" (114.3) deep with a 2" (50.8) sightline
- Front, Center, Back or Multi-Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block, Stick or Type-B fabrication
- SSG / Weatherseal option
- IsoLock™ lanced and debridged thermal break option with Trifab™ VG 451T
- Infill options up to 1-1/8" (28.6) thickness
- Permanodic™ anodized finishes in seven choices
- Painted finishes in standard and custom choices

Optional Features

- High performance interlocking flashing
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)
- Integrates with Versoleil™ SunShade Outrigger System and Horizontal Single Blade System
- Profit\$Maker™ plus die sets available

Product Applications

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer windows or GLASSvent™ Windows for Storefront Framing are easily incorporated

For specific product applications,
Consult your Kawneer representative.

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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PICTORIAL VIEWS..... 5-9

CENTER11-21

CENTER (LARGE MISSILE IMPACT)..... 22-24

FRONT 25-39

BACK 41-47

MULTI-PLANE 49-55

CHARTS (WIND LOAD, DEADLOAD, END REACTION & THERMAL) 57-97

LAWS AND BUILDING AND SAFETY CODES GOVERNING THE DESIGN AND USE OF GLAZED ENTRANCE, WINDOW, AND CURTAIN WALL PRODUCTS VARY WIDELY. KAWNEER DOES NOT CONTROL THE SELECTION OF PRODUCT CONFIGURATIONS, OPERATING HARDWARE, OR GLAZING MATERIALS, AND ASSUMES NO RESPONSIBILITY THEREFOR.

Metric (SI) conversion figures are included throughout these details for reference. Numbers in parentheses () are millimeters unless otherwise noted.

The following metric (SI) units are found in these details:

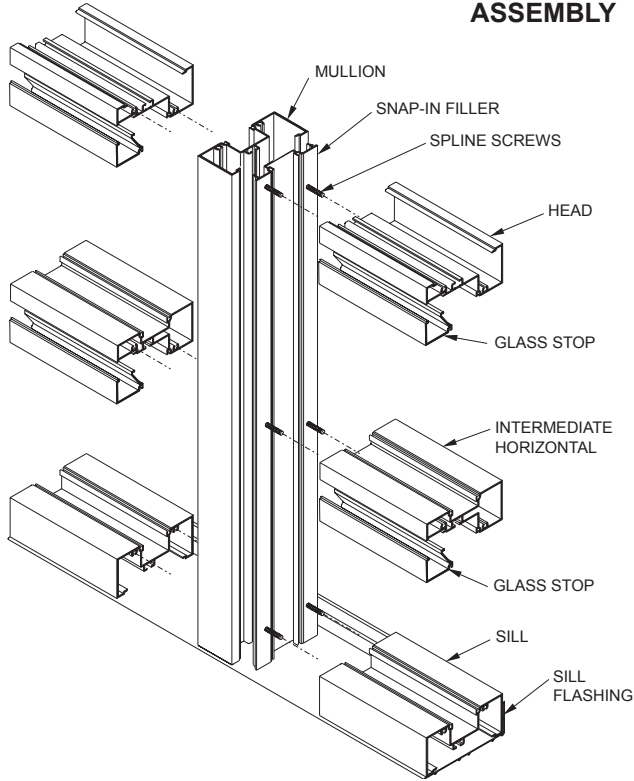
- m – meter
- cm – centimeter
- mm – millimeter
- s – second
- Pa – pascal
- MPa – megapascal

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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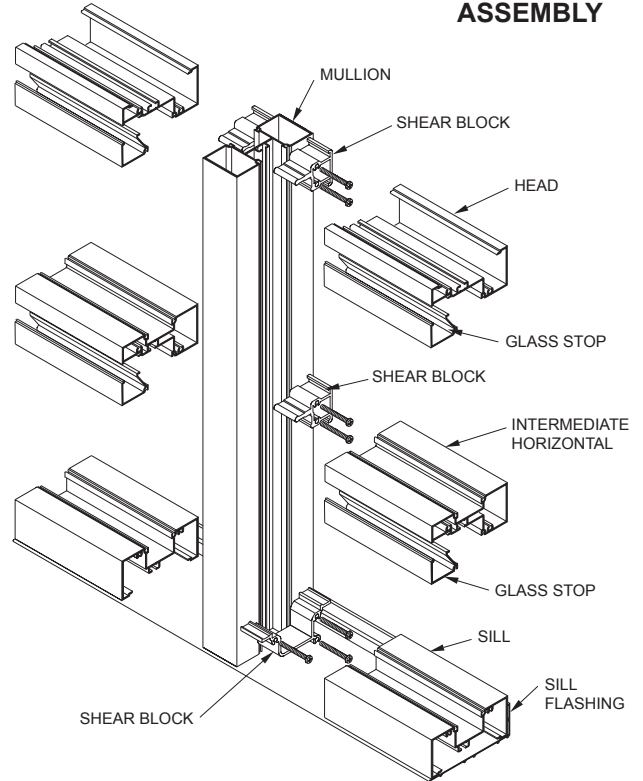
The split vertical in the **Screw Spine** system allows a frame to be installed from unitized assemblies. Screws are driven through the back of the verticals into splines extruded in the horizontal framing members. The individual units are then snapped together to form a complete frame.

SCREW SPLINE ASSEMBLY

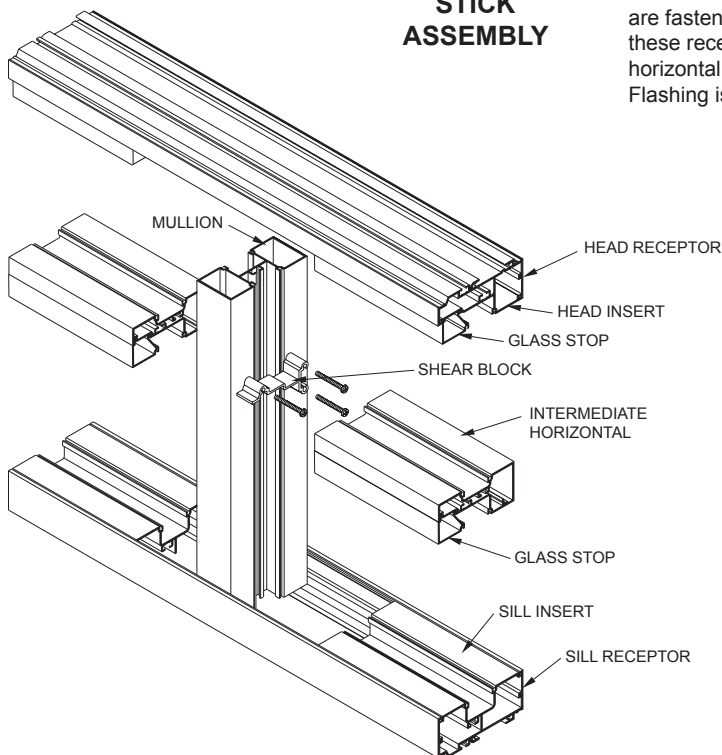


The **Shear Block** system of fabrication allows a frame to be pre-assembled as a single unit. Horizontals are attached to the verticals with shear blocks.

SHEAR BLOCK ASSEMBLY



STICK ASSEMBLY



The **Stick** system allows on-site construction. Head and sill receptors are fastened to the surround. Vertical mullions are then installed in these receptors and are held in place by snap-in inserts. Intermediate horizontal members are attached to the verticals with shear blocks. Flashing is not required.

NOTE:

If the end reaction of the mullion (mullion spacing (ft.) times height (ft.) times specified wind load (psf) divided by two) is more than 500 lbs., the optional mullion anchors must be used. (See page 14)

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BASIC FRAMING DETAILS 12-13

MISCELLANEOUS FRAMING..... 14-15

CORNERS.....16

CURVING & TRIM DETAILS17

ENTRANCE FRAMING18

ENTRANCE FRAMING (OPEN BACK).....19

GLASSvent™ WINDOW for STOREFRONT FRAMING20

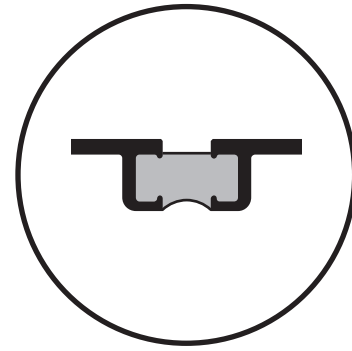
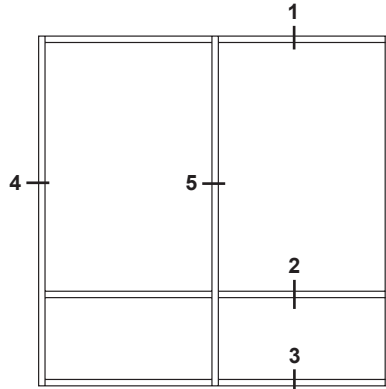
7225 NON-THERMAL WINDOWS.....21

LARGE MISSILE IMPACT 22-24

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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SCALE 3" = 1'-0"

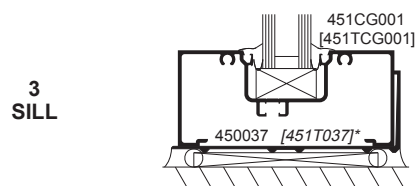
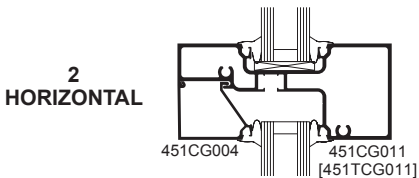
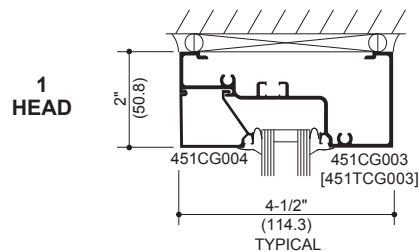
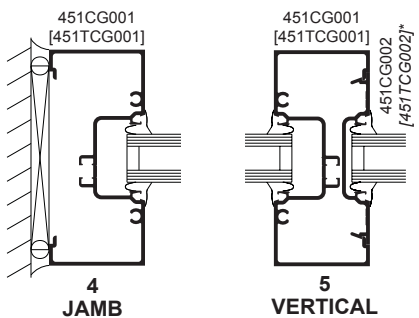


*Note: See Misc. Details for Thermal Pocket Filler and Thermal Flashing.

ELEVATION IS NUMBER KEYED TO DETAILS

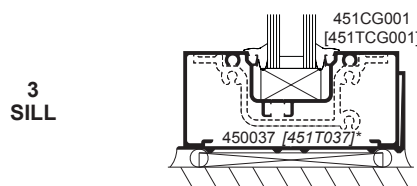
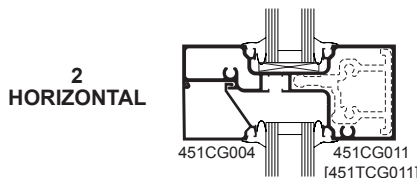
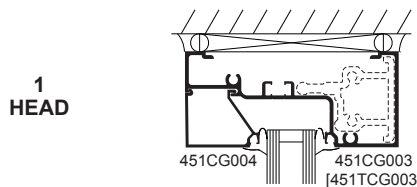
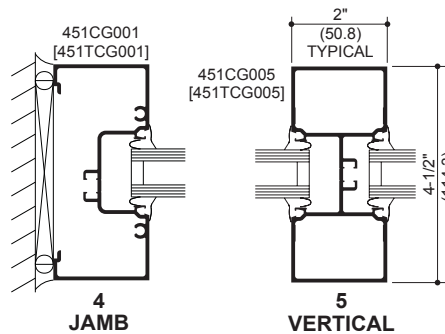
NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

SCREW SPLINE



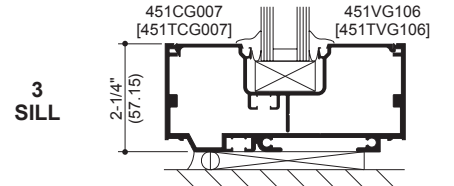
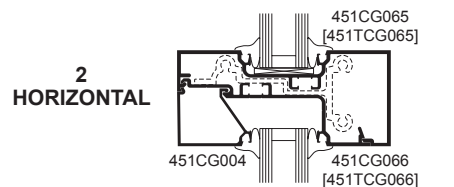
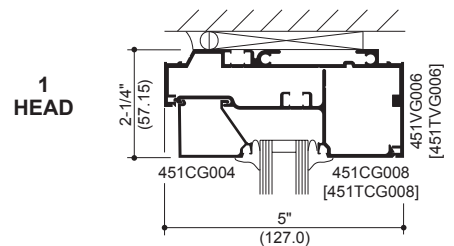
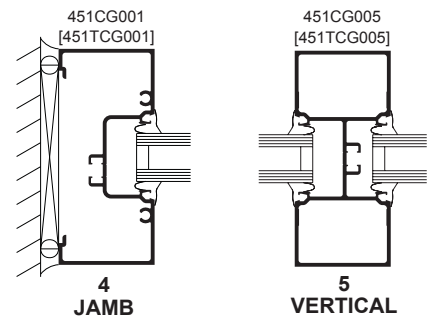
*See Page 14 for Thermal Flashing and Optional High Performance Flashing

SHEAR BLOCK



*See Page 14 for Thermal Flashing and Optional High Performance Flashing

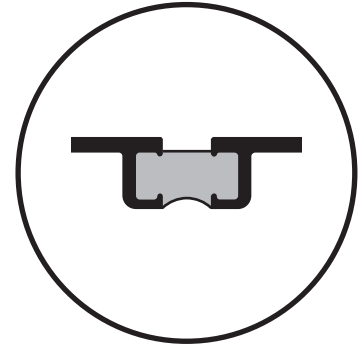
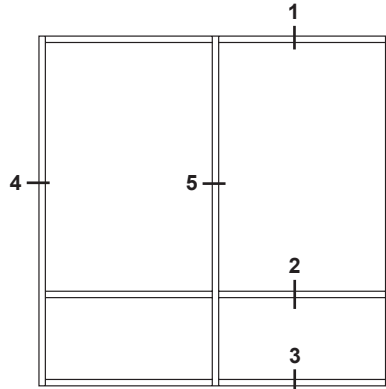
STICK



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SCALE 3" = 1'-0"

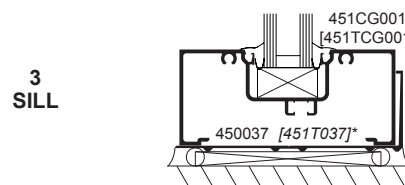
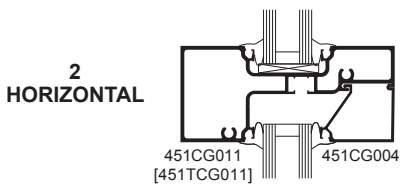
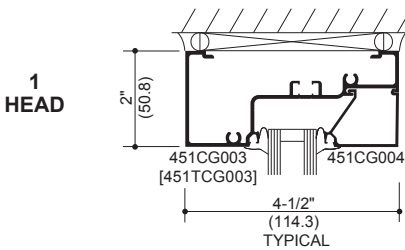
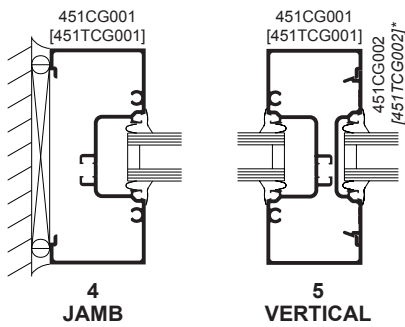


*Note: See Misc. Details for Thermal Pocket Filler and Thermal Flashing.

ELEVATION IS NUMBER KEYED TO DETAILS

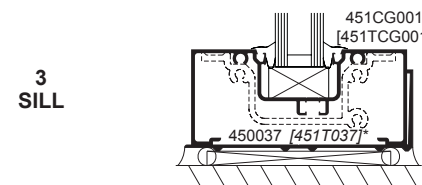
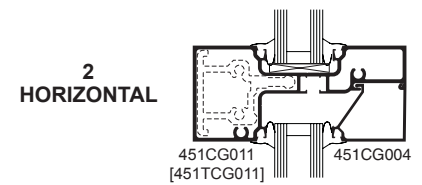
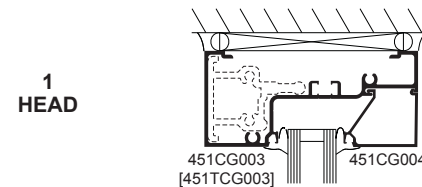
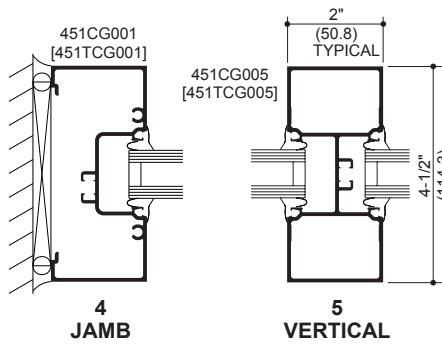
NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

SCREW SPLINE



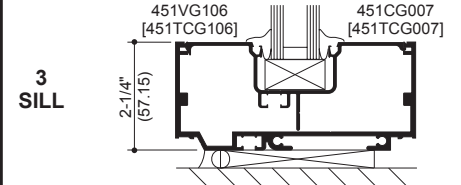
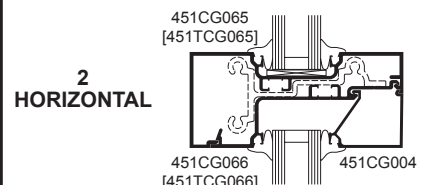
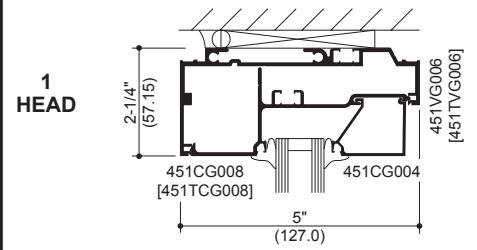
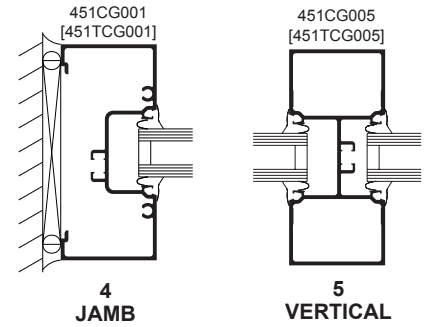
*See Page 14 for Thermal Flashing and Optional High Performance Flashing

SHEAR BLOCK



*See Page 14 for Thermal Flashing and Optional High Performance Flashing

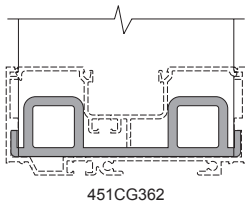
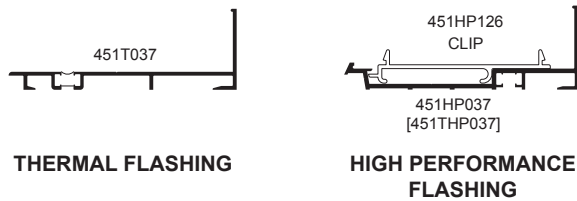
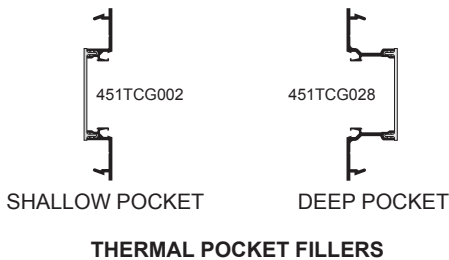
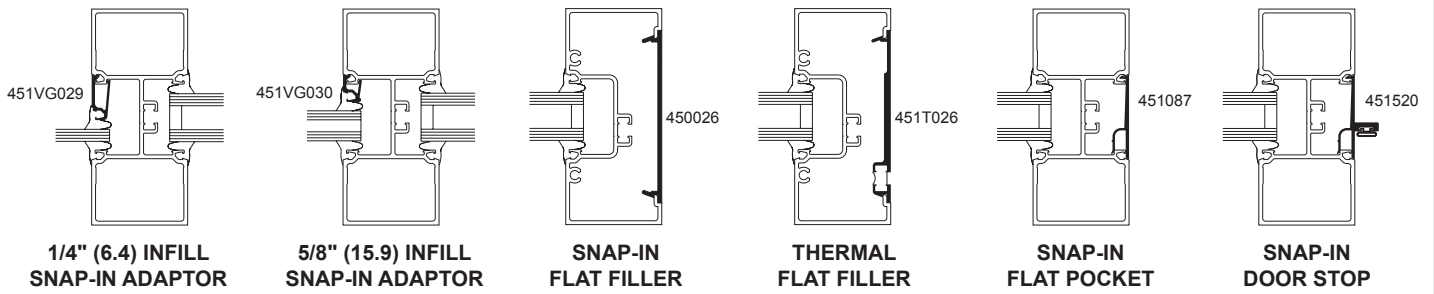
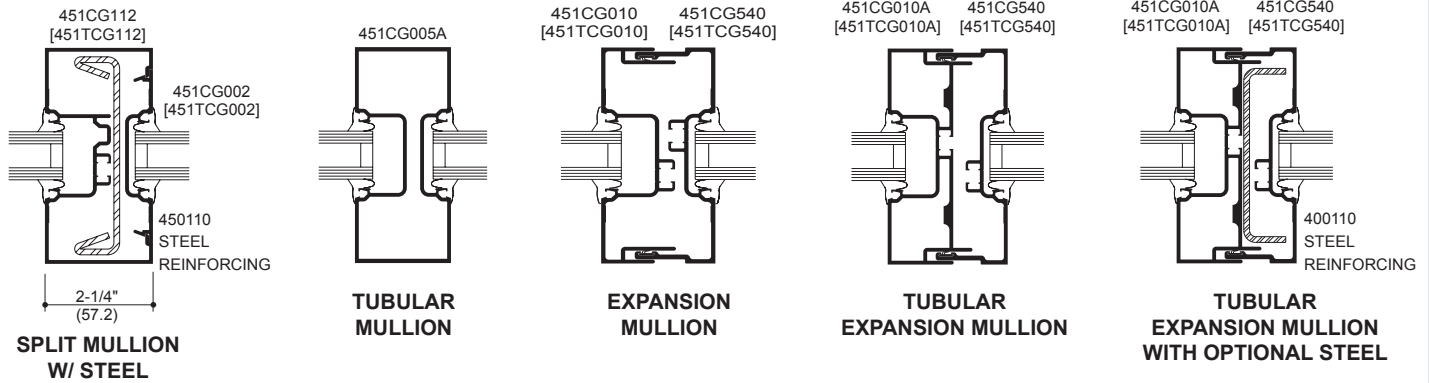
STICK



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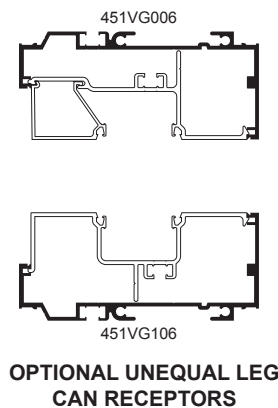
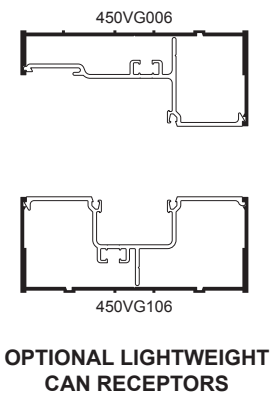
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SCALE 3" = 1'-0"



NOTE:
If the end reaction of the mullion (mullion spacing (ft.) times height (ft) times specified wind load (psf), divided by two) is more than 500 LBS., the optional mullion anchor must be used. Consult Application Engineering.

NOTE:
Mullion Anchor not used with Lightweight Receptor.



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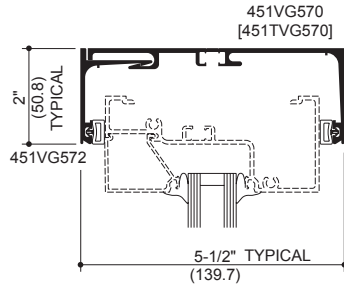
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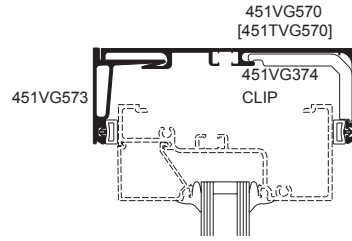
SCALE 3" = 1'-0"

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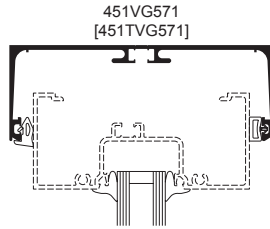
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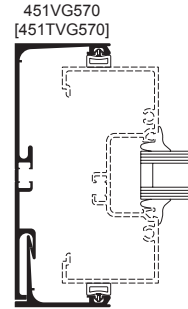
STANDARD HEAD COMPENSATING RECEPTOR



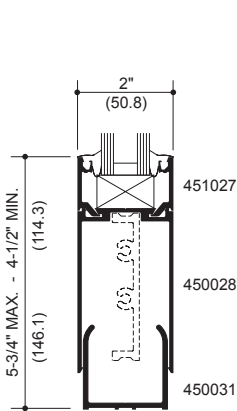
HEAVY WEIGHT HEAD COMPENSATING RECEPTOR



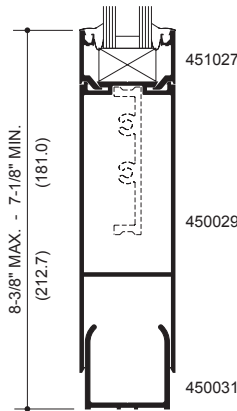
ONE PIECE HEAD COMPENSATING RECEPTOR



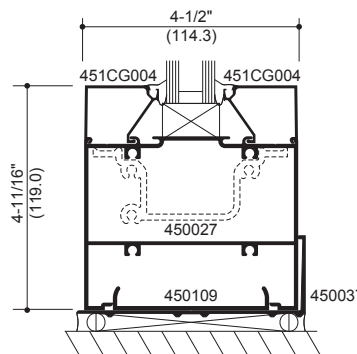
JAMB COMPENSATING RECEPTOR



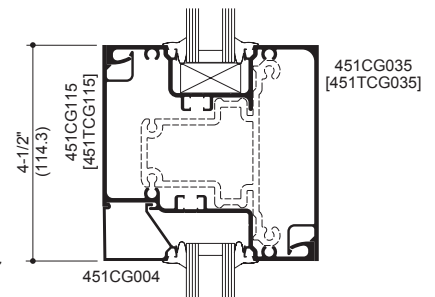
***NARROW SIDELITE BASE**



***NARROW SIDELITE BASE**



SIDELITE BASE



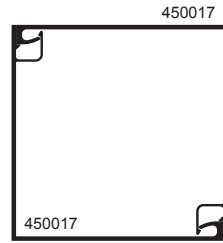
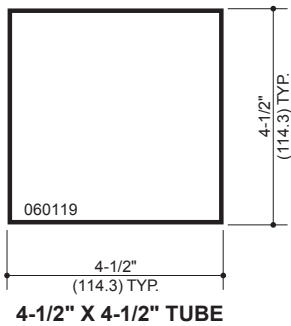
4-1/2" (114.3) x 4-1/2" (114.3) HORIZONTAL

SIDELITE BASES ARE NON-THERMAL APPLICATIONS

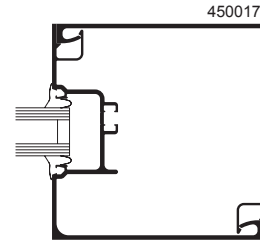
*NARROW SIDELITE BASES REQUIRE THE USE OF NON-THERMAL 2-PIECE VERTICALS ONLY.

NOTE: SIDELITE BASES SHOWN ARE FOR USE WITH SCREW SPLINE AND SHEAR BLOCK SYSTEMS ONLY.

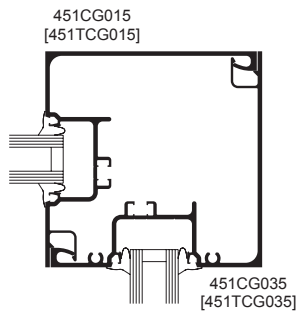
SCALE 3" = 1'-0"



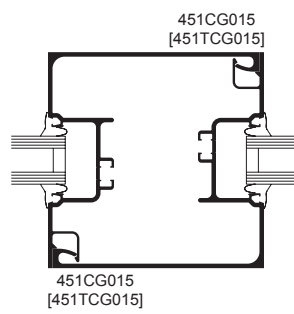
TWO PIECE NO POCKET CORNER



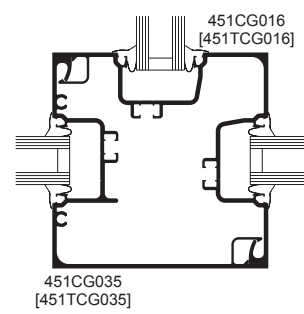
ONE POCKET CORNER



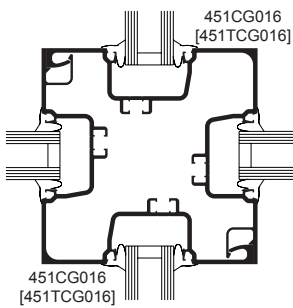
TWO POCKET 90° CORNER



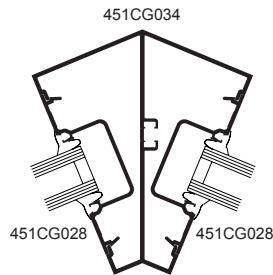
TWO POCKET CORNER POST



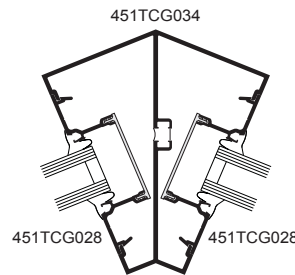
THREE POCKET 90° CORNER



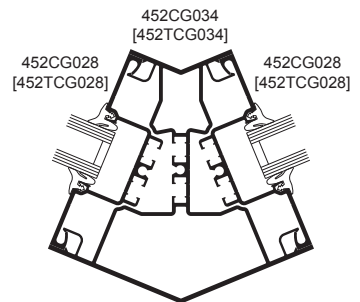
FOUR POCKET 90° CORNER



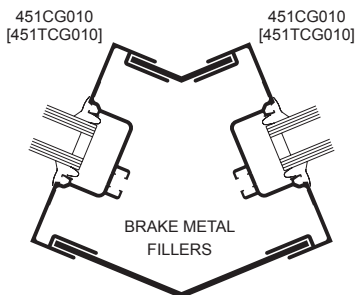
135° CORNER (NON-THERMAL)



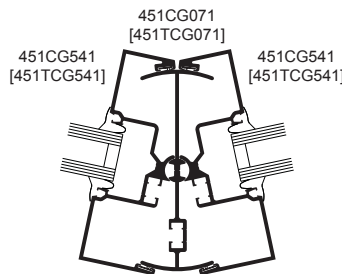
135° CORNER (THERMAL)



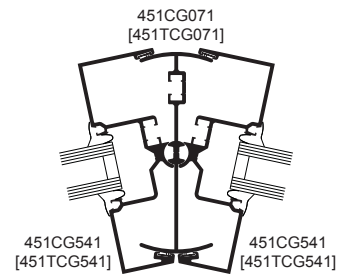
135° CORNER



VARIABLE DEGREE BRAKE METAL CORNER



155° TO 180° PIVOT MULLION (OUTSIDE CORNER)

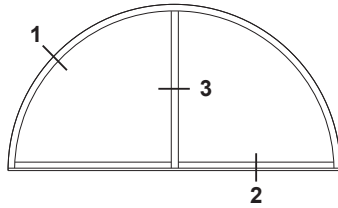


155° TO 180° PIVOT MULLION (INSIDE CORNER)

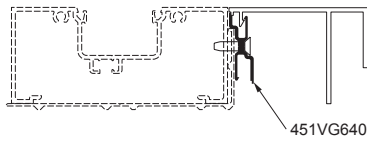
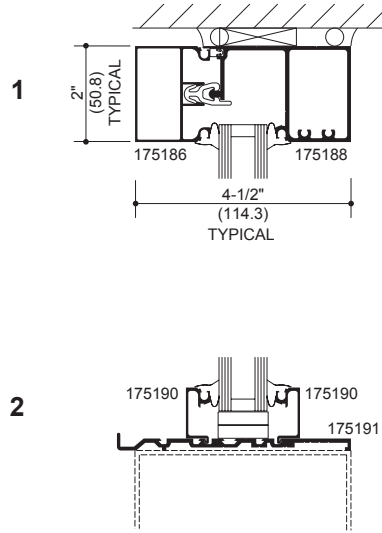
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SCALE 3" = 1'-0"

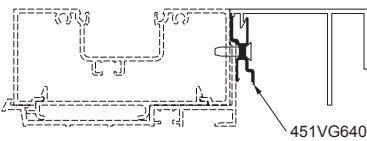


CURVING DETAILS
(Center Plane Only)



STOOL TRIM

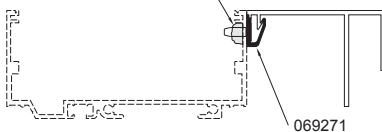
STOOL TRIM CLIP WITH STANDARD FLASHING



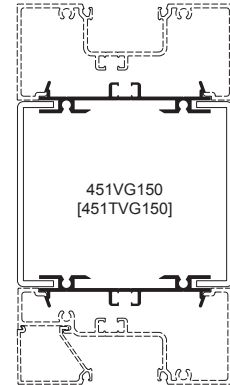
STOOL TRIM

STOOL TRIM CLIP WITH HIGH PERFORMANCE FLASHING

Seal over Stool Trim fasteners to prevent water infiltration.



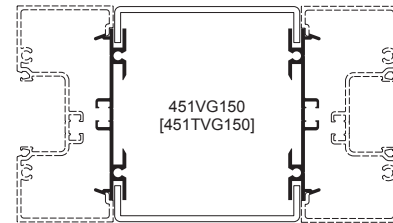
STOOL TRIM CLIP FOR STICK ASSEMBLY



BRAKE METAL FILLERS

BRAKE METAL ADAPTOR AT HORIZONTAL

BRAKE METAL FILLERS



BRAKE METAL ADAPTOR AT VERTICAL

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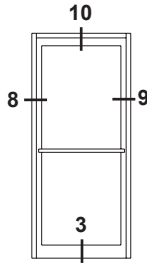
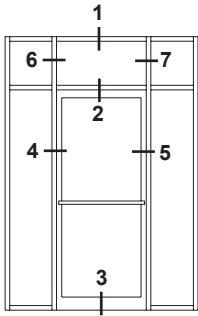
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SCALE 3" = 1'-0"

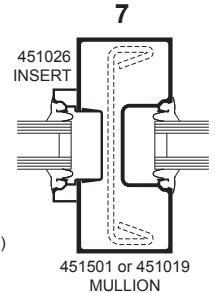
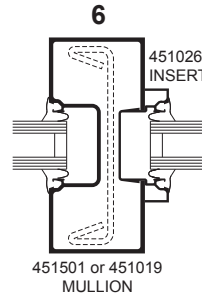
Trifab™ VG 451 FRAMING INCORPORATING KAWNEER™ "190" DOORS.

DOOR FRAMING NON-THERMAL ONLY

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM. SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.



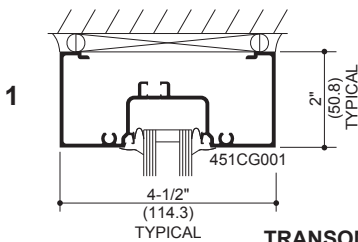
ELEVATIONS ARE NUMBER KEYED TO DETAILS



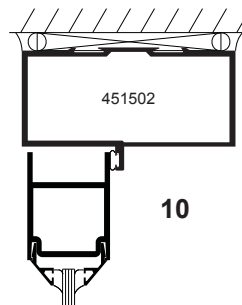
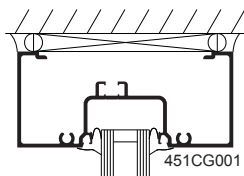
450110 STEEL (AS REQUIRED)

TRANSOM JAMBS

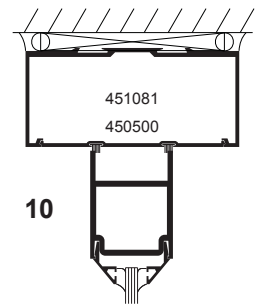
Transom area for both double or single acting doors with glass surround. Jamb above transom bar are routed out to accept glass holding insert with or without steel reinforcing.



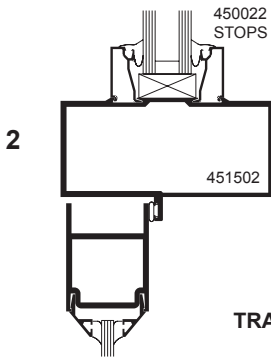
TRANSOM HEAD



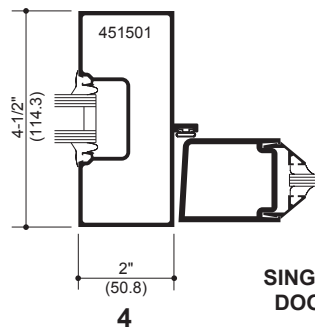
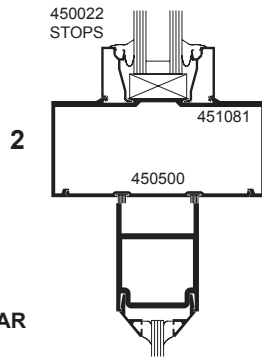
SINGLE ACTING HEADER



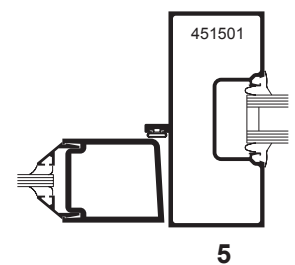
DOUBLE ACTING HEADER



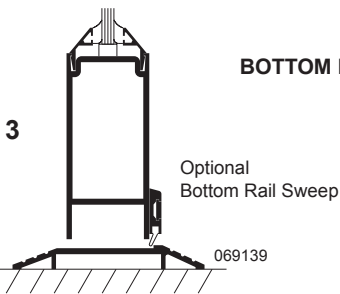
TRANSOM BAR



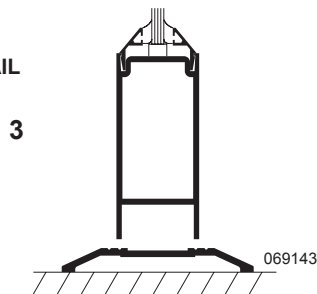
SINGLE ACTING DOOR JAMBS



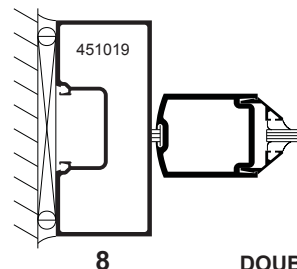
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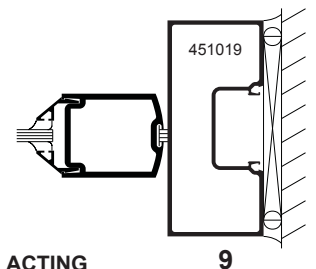
SINGLE ACTING



DOUBLE ACTING



DOUBLE ACTING DOOR JAMBS



9

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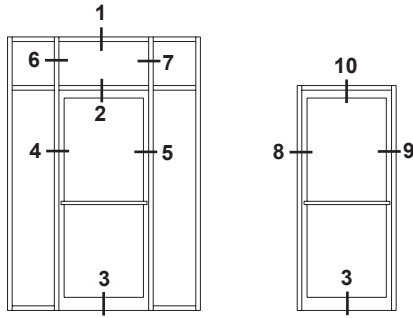
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
© Kawneer Company, Inc., 2013

SCALE 3" = 1'-0"

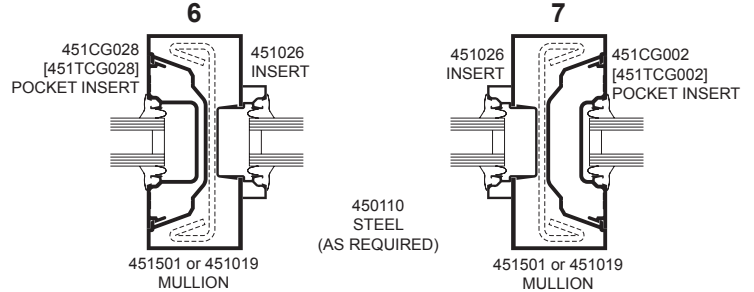
Trifab™ VG 451 FRAMING INCORPORATING KAWNEER™ "190" DOORS.

DOOR FRAMING NON-THERMAL ONLY

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM. SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.

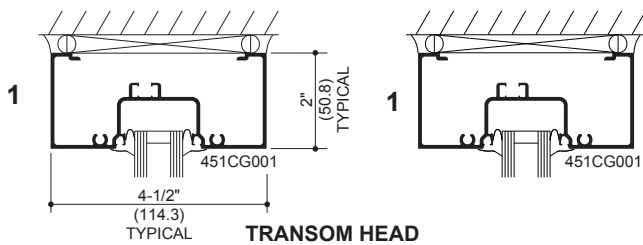


ELEVATIONS ARE NUMBER KEYED TO DETAILS

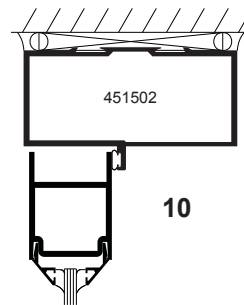


TRANSOM JAMBS

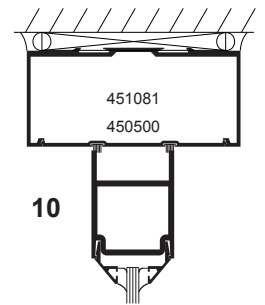
Transom area for both double or single acting doors with glass surround. Jamb above transom bar are routed out to accept glass holding insert with or without steel reinforcing.



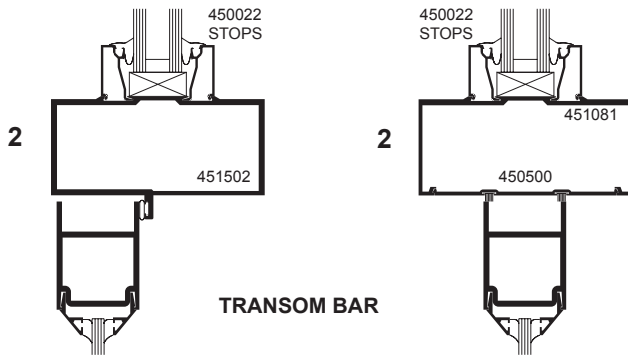
TRANSOM HEAD



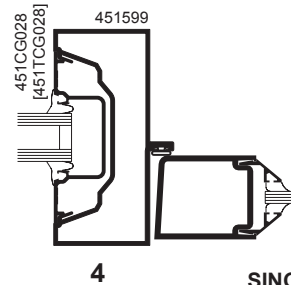
SINGLE ACTING HEADER



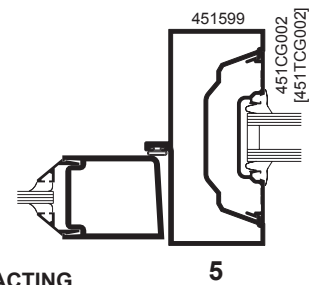
DOUBLE ACTING HEADER



TRANSOM BAR

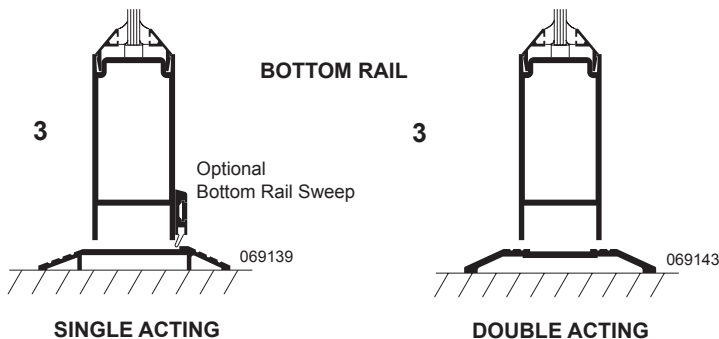


SINGLE ACTING DOOR JAMBS



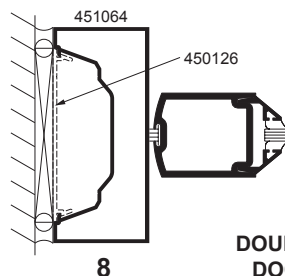
5

NOTE: Sidelite mullions must be oriented to provide at least one (1) deep vertical pocket per lite to facilitate glazing.

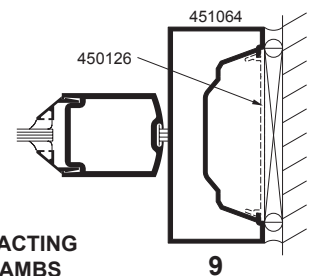


SINGLE ACTING

DOUBLE ACTING



DOUBLE ACTING DOOR JAMBS



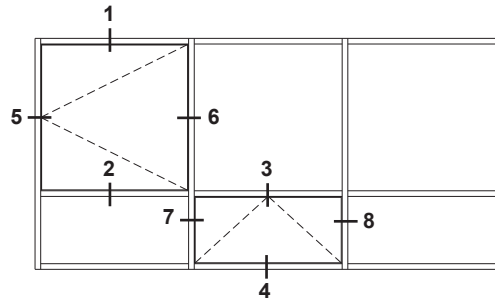
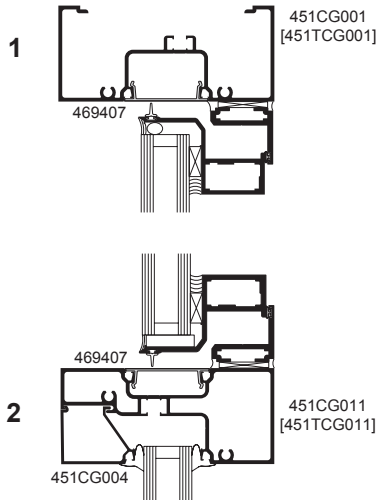
9

Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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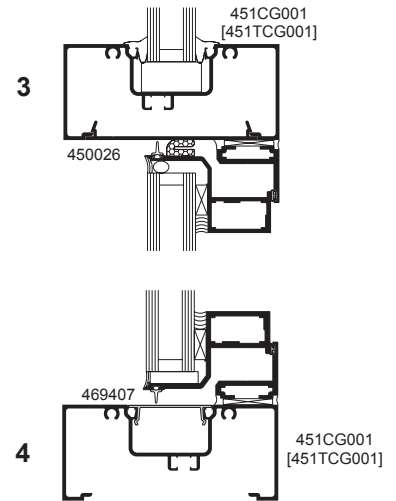
SCALE 3" = 1'-0"

OUTSWING CASEMENT VERTICAL SECTION

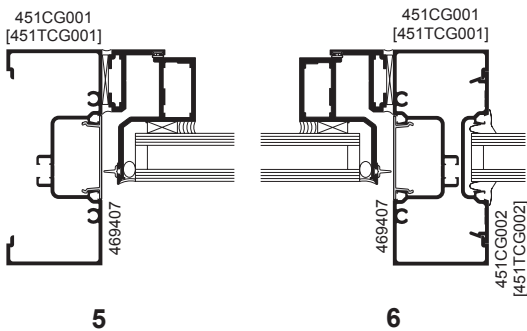


ELEVATION IS NUMBER KEYED TO DETAILS

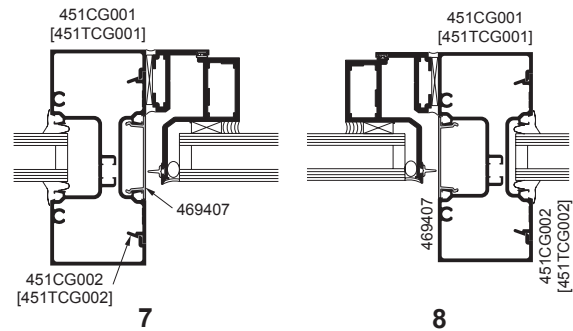
PROJECT-OUT VERTICAL SECTION



OUTSWING CASEMENT HORIZONTAL SECTION



PROJECT-OUT HORIZONTAL SECTION



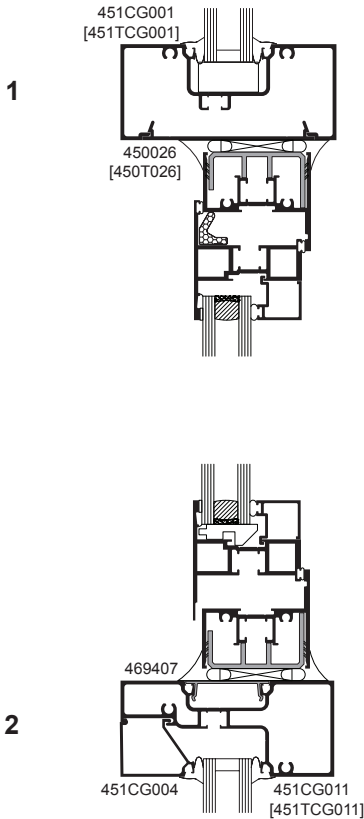
NOTE: Black spacer is recommended when 1" (25.4) insulating glass is used.

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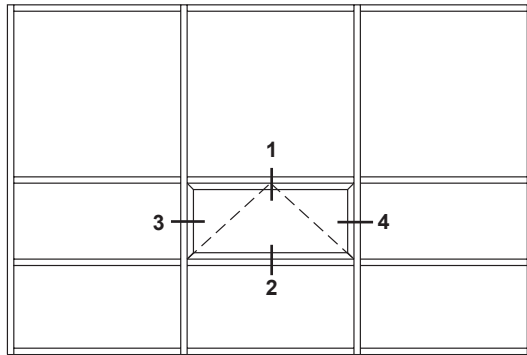
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© Kawneer Company, Inc., 2013

SCALE 3" = 1'-0"

PROJECT-OUT VERTICAL SECTION

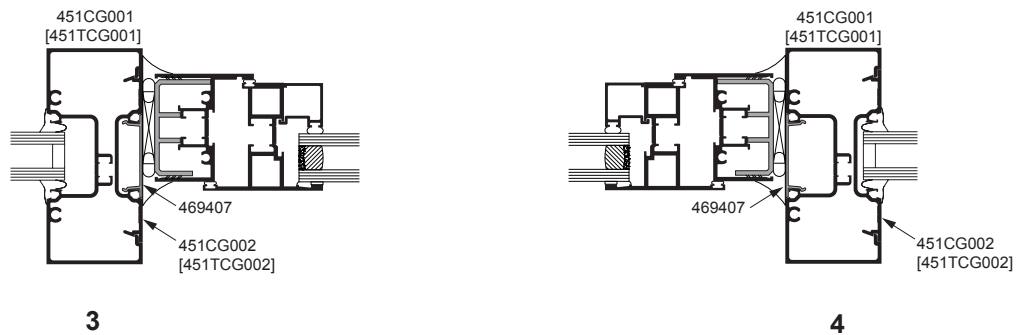


7225 NON-THERMAL WINDOW SHOWN
NOTE: OTHER VENT TYPES CAN BE
ACCOMMODATED, CONSULT YOUR KAWNEER
REPRESENTATIVE FOR OTHER OPTIONS



ELEVATION IS NUMBER KEYED TO DETAILS

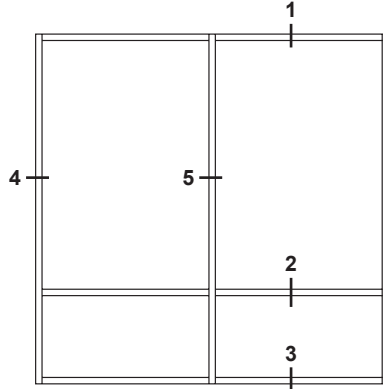
PROJECT-OUT HORIZONTAL SECTION



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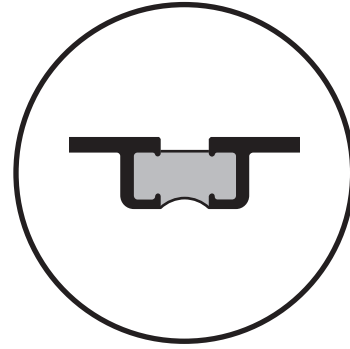
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 © Kawneer Company, Inc., 2013

SCALE 3" = 1'-0"



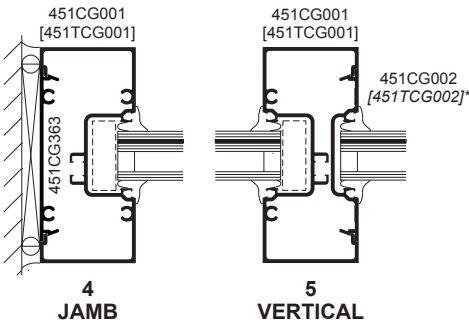
ELEVATION IS NUMBER KEYED TO DETAILS

Hurricane Resistant Product

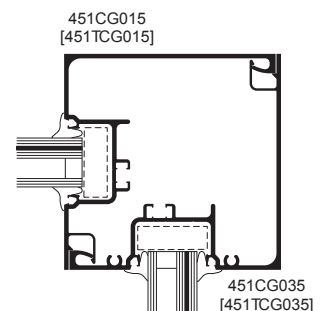
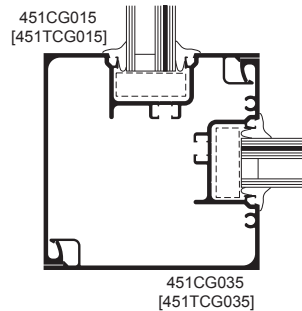
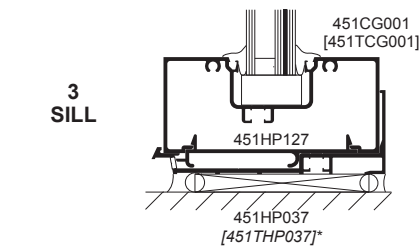
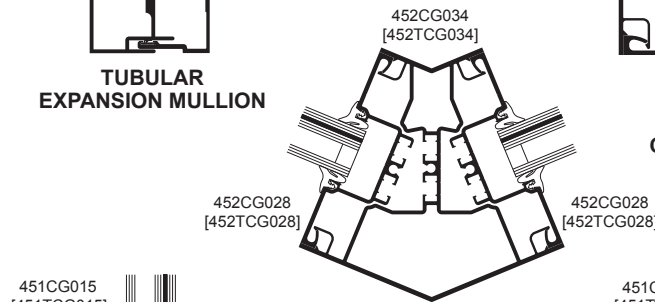
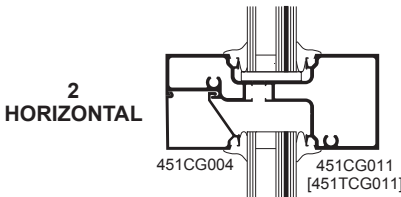
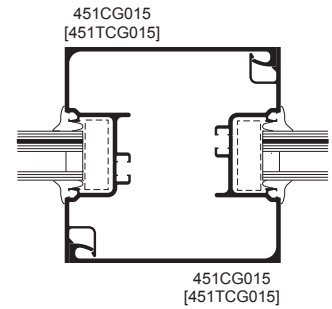
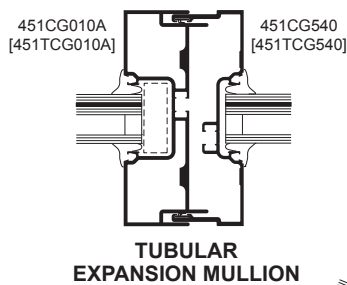
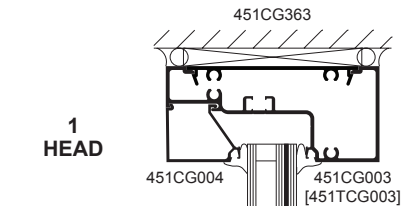
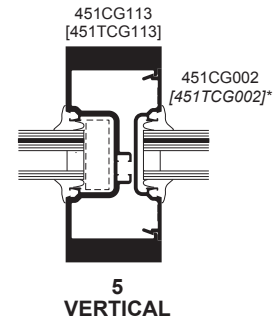
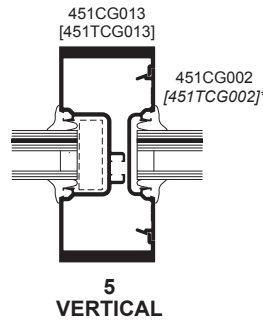
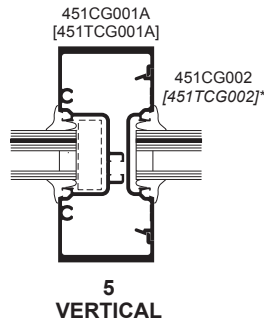


NUMBERS IN BRACKETS ARE THERMALLY BROKEN MEMBERS

SCREW SPLINE



OPTIONAL FRAMING (CENTER)



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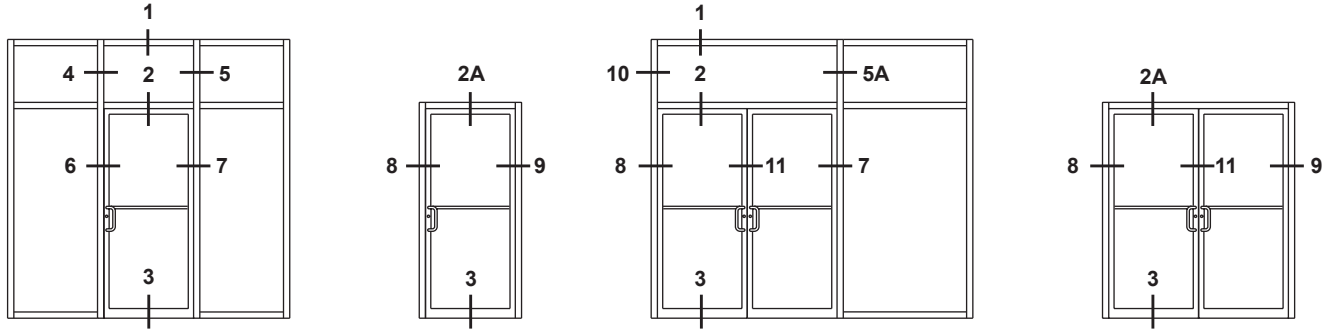


SCALE 3" = 1'-0"

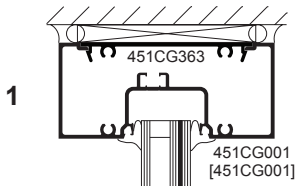
Trifab™ VG 451 FRAMING INCORPORATING KAWNEER™ “350/500 IR” DOORS (DRY GLAZED).

DOOR FRAMING NON-THERMAL ONLY

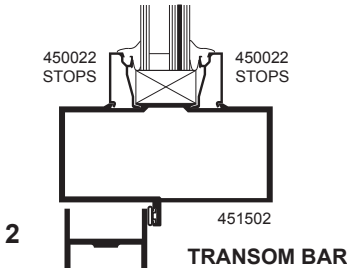
NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM.
SEE ENTRANCE DETAILS FOR ADDITIONAL INFORMATION.



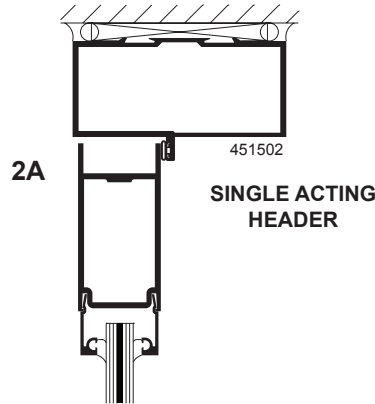
ELEVATIONS ARE NUMBER KEYED TO DETAILS



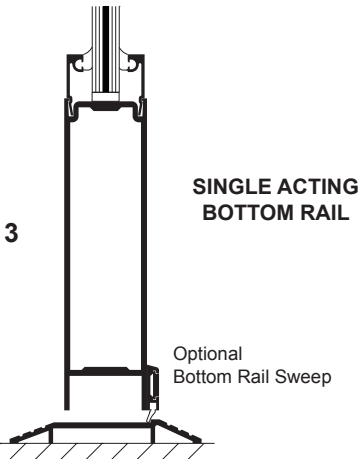
TRANSOM HEAD



TRANSOM BAR

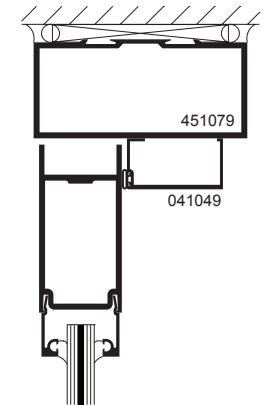
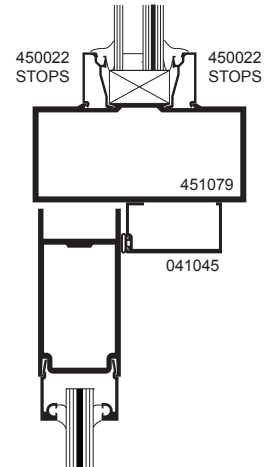


SINGLE ACTING HEADER



SINGLE ACTING BOTTOM RAIL

CONCEALED OVERHEAD CLOSERS



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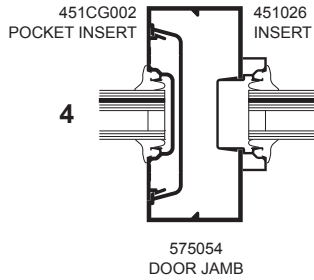
SCALE 3" = 1'-0"

 **Hurricane Resistant Product**

Trifab™ VG 451 FRAMING INCORPORATING KAWNEER™ “350/500 IR” DOORS (DRY GLAZED).

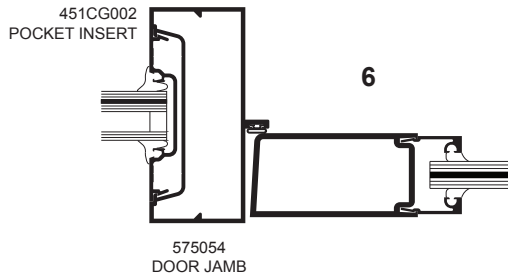
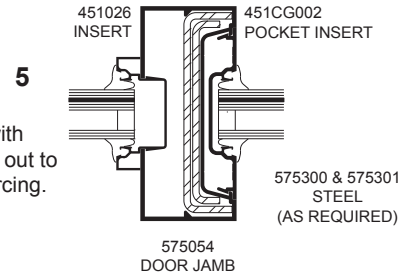
DOOR FRAMING NON-THERMAL ONLY

NOTE: OTHER TYPES OF KAWNEER DOORS MAY BE USED WITH THIS FRAMING SYSTEM.
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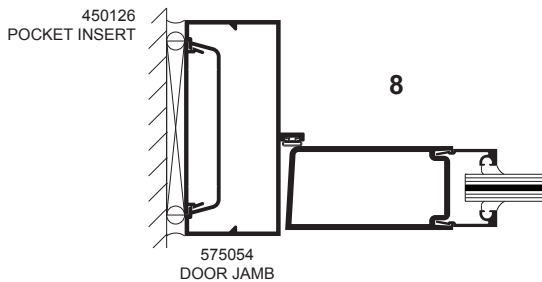
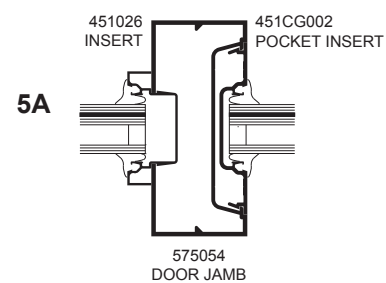
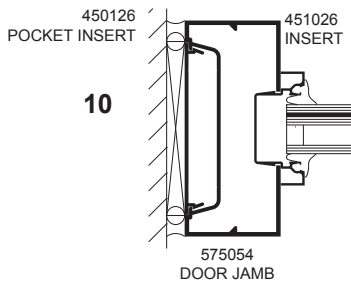
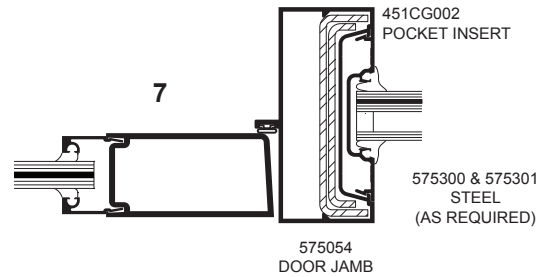


TRANSOM JAMBS

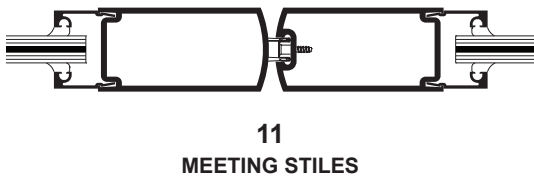
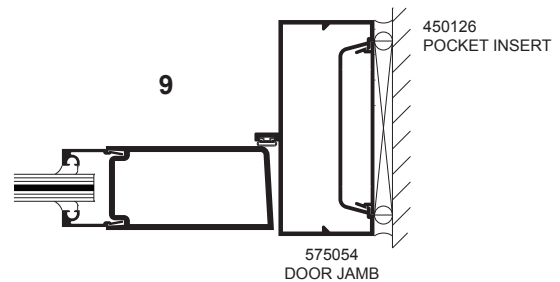
Transom area for both double or single acting doors with glass surround. Jamb above transom bar are routed out to accept glass holding insert with or without steel reinforcing.



SINGLE ACTING DOOR JAMBS



SINGLE ACTING DOOR JAMBS



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APERTURE
121mm (4.75")



APERTURE
133mm (5.25")

PANOS 140mm (5.5") 150mm (5.9")

Applications: PANOS provides high quality illumination using an advanced optical system with a luminaire efficiency of up to 129 lumens per watt, color temperatures of 2700, 3000, 3500 and 4000 Kelvin and a CRI of 80+ or 90+. This fixture family is perfect for retail spaces, offices, restaurants, hospitality, art galleries and museums. Simple, unobtrusive, powerful and efficient. Perfect for all applications where true, vivid color is crucial and the luminaire disappears into the architecture.

Type: L10 & L10ALT

Project: LiDL

Online Find It Fast 1174	140mm (5.5") High Recessed Square DL
Online Find It Fast 1186	140mm (5.5") Low Recessed Square DL
Online Find It Fast 1175	150mm (5.9") High Recessed Round DL
Online Find It Fast 1187	150mm (5.9") Low Recessed Round DL



PANOS LED DRIVER MODULE

PANOS	FE	150	R	18W	DA1	
FIXTURE	CEILING TYPE	SIZE	SHAPE	WATTAGE	DRIVER	OPTIONS
PANOS Recessed Downlight	TG T-Grid Accessible	150 150mm	R Round	12W 12 Watts 18W 18 Watts	DA * Standard 0-10v Dimming Driver, 10% (Specify 120V-277V for TP) DH * Lutron EcoSytem A Series Dimming, 1% (Specify 120V-277V for TP) DD * DALI Dimming, 1% (Specify 120V-277V for TP) (*: Specify (1) for 120V or (2) for 277V for Thermal Protector (TP))	EM EM **EM with Inaccessible Ceiling (FE) Contact Factory
	FE Inaccessible Ceiling** - Retrofit	140 140mm	S Square			

NOTE: Lumen output shown on page 2

Compatible 0-10V Dimmers: Lutron DTV, Lutron NTFTV, LEVITON IP710-DLZ, Wattstopper/Legrand ADF-120277, Osram 45561 - LC-SL3W-TVWBX/UNV

PANOS LED TRIM

Panos	D	N	150	R	H	18W	840	CL	W
FIXTURE	TYPE	TRIM / CEILING TYPE	SIZE	SHAPE	REFLECTOR SIZE	WATTAGE	LED MODULE	REFLECTOR FINISH	FLANGE FINISH
PANOS	D Recessed Downlight	N Standard Flange F Flangeless (Flangeless not available with T-Grid ceiling)	150 150mm	R Round	L low reflector (76° Cut Off) H high reflector (60° Cut Off)	12W 12 Watts 18W 18 Watts	827 CRI 80, 2700K 830 CRI 80, 3000K 835 CRI 80, 3500K 840 CRI 80, 4000K 927 CRI 90, 2700K 930 CRI 90, 3000K 935 CRI 90, 3500K 940 CRI 90, 4000K	CL Clear Specular FS Faceted CS Clear Semi-Specular M Matte WH White Matte	W White F Flangeless (Flangeless not available with T-Grid ceiling)
			140 140mm	S Square	L low reflector (78° Cut Off) H high reflector (62° Cut Off)				



Suitable for
Damp Locations

IBEW Union Made

IP 44 rated

1) Driver Module - 20-gauge galvanized steel. Driver module mounts directly on grid, includes an enclosure with quick release door for all wiring and dual access points for standard or emergency power for new construction. For sheetrock and retrofit, the driver box is inserted through the aperture.

2) Wattage & CCT - Unit is available in 12W OR 18W, and in 2700K, 3000K, 3500K or 4000K color temperatures for 80CRI or 90CRI. 3-Step MacAdam Ellipse.

3) Dimming - PANOS 140mm (5.5") aperture 121mm (4.75") and 150mm (5.9") aperture 133mm (5.25") are available with 0-10V Dimming driver standard, with 10% dimming, with the Lutron Hi-Lume A series, and 1% dimming with a DALI driver. **For non-dimming installations, the standard**

0-10V dimming driver will be provided, and the dimming control wires can simply be capped off at installation.

4) Trim/Reflector - Trim and reflector are made of impact resistant polycarbonate. Reflector is vacuum metallized for high-specularity and is iridescence free, providing highest efficiency and effective beam distribution. Simple twist-and-lock (round) or click and lock (square) mechanism for quick tool-free fitting of luminaire unit. Flangeless not available with T-Grid ceiling.

5) Mounting - Rigid mounting brackets on driver module sits on T-Bar. The trim mounting ring is inserted through the aperture. It provides 1.75" vertical adjustment from inside the aperture via finger clamp. Trim mounting ring is then secured to the ceiling tile or sheetrock. Insert the LED module through the aperture

and twist and lock (round) or click and lock (square) into place. For sheetrock and retrofit, connect driver assembly to main power source. Connect 2 pin connector from driver to the 2-pin connector on the trim. Push driver assembly through opening in ceiling, follow with trim. Move spring clips 180° to upright position then push fixture through opening.

6) Reflectors - Available in Faceted, Clear Specular, Matte (smooth aluminum-look finish), and White Matte.

7) Flange Finish: White - Smooth White finish blends well with typical White painted ceilings.

8) Life - 50,000 hours, L80.

9) Weight - 3lbs.

BEAM ANGLES

SIZE	BEAM ANGLE			
	FS Faceted	CS Clear Semi-specular	M Matte Silver	WH White Matte
R150 LOW	76°	76°	88°	92°
R150 HIGH	66°	66°	70°	72°
S140 LOW	84°	84°	86°	92°
S140 HIGH	66°	64°	72°	74°

OPTICAL PERFORMANCE PANOS 140mm (5.5") SQUARE RECESSED DOWNLIGHT

140MM (5.5") SQUARE 12W		DELIVERED LUMENS							
REFLECTOR SIZE	REFLECTOR TYPE	90 CRI				80 CRI			
		2700K	3000K	3500K	4000K	2700K	3000K	3500K	4000K
LOW	FS	1034	1081	1101	1113	1251	1308	1334	1350
	CS	1027	1074	1094	1107	1243	1300	1326	1341
	M	1028	1075	1095	1107	1244	1301	1326	1342
	WH	1082	1132	1153	1166	1310	1370	1397	1413
HIGH	FS	1018	1065	1084	1096	1232	1288	1313	1329
	CS	1042	1090	1110	1122	1261	1318	1344	1360
	M	896	937	954	965	1084	1134	1156	1170
	WH	1014	1061	1080	1093	1227	1284	1309	1324

PANOS 140mm (5.5")	
Square	12W
Low	86-117 lumens per watt
High	75-113 lumens per watt

140mm (5.5") SQUARE 18W		DELIVERED LUMENS							
REFLECTOR SIZE	REFLECTOR TYPE	90 CRI				80 CRI			
		2700K	3000K	3500K	4000K	2700K	3000K	3500K	4000K
LOW	FS	1615	1689	1721	1740	1955	2044	2084	2109
	CS	1605	1679	1710	1729	1943	2031	2071	2096
	M	1606	1680	1711	1730	1944	2032	2073	2097
	WH	1691	1769	1802	1822	2047	2140	2183	2208
HIGH	FS	1591	1664	1694	1713	1925	2013	2053	2077
	CS	1628	1703	1734	1754	1970	2060	2101	2126
	M	1400	1465	1492	1508	1695	1772	1807	1828
	WH	1585	1658	1688	1707	1918	2006	2046	2069

PANOS 140mm (5.5")	
Square	18W
Low	89-123 lumens per watt
High	78-115 lumens per watt

FEATURES & SPECIFICATIONS

INTENDED USE — For building- and wall-mounted applications.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Die-cast doorframe has a 1/8" thick tempered glass lens. Doorframe is fully gasketed with one-piece solid silicone.

OPTICS — Segmented reflectors for superior uniformity and control. Medium throw (MD) full cutoff distribution available.

ELECTRICAL — Ballast: Class P, multi-volt electronic, high power factor, <10%THD, with starting temperature of 0°F (-18°C).

Socket: High temperature thermoplastic with an integral lamp retention clip.

Finish: Standard finish is textured dark bronze (DBT) corrosion-resistant polyester powder finish. Additional architectural colors are available. Striping is also available.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down.

LISTINGS — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option offers wet location listing in up orientation (see Options). IP65 Rated. 25°C ambient.

WARRANTY — 1-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type

Decorative Wall-Mounted Lighting

WST



COMPACT FLUORESCENT:
 26W DTT
 26W-42W TRT

Specifications

Length: 16-1/4 (41.2)

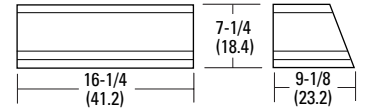
Depth: 9-1/8 (23.2)

Overall Height: 7-1/4 (18.4)

*Weight: 30 lbs (13.6 kg)

All dimensions are inches (centimeters) unless otherwise indicated.

*Weight as configured in example below.



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

Example: WST 42TRT MD 120 LPI

WST Series	Wattage	MD Distribution	Voltage	Ballast	Mounting	Options
WST	26DTT 2/26DTT 26TRT 2/26TRT 32TRT 2/32TRT 42TRT 2/42TRT	MD Medium throw	120 277 347 MVOLT¹	(blank) Electronic 0° F	(blank) Surface mount <i>Shipped separately²</i> BBW Surface mount back box UT5 Uptilt 5 degrees	<i>Shipped installed in fixture</i> DC12 Emergency circuit 12-volt (35W lamp included) ³ 2DC12 Emergency circuit 12-volt (two 35W lamps included) ³ DC2012 Emergency circuit 12-volt (20W lamp included) ³ 2DC2012 Emergency circuit 12-volt (two 20W lamps included) ³ DFL Diffusing lens

Options (continued)						Finish ¹⁵	Lamp ¹⁷
EC	Emergency circuit ⁴	GMF	Internal slow-blow fusing ^{8,9}	<i>Shipped separately¹⁴</i>	(blank) Dark bronze, textured	LPI Lamp included	
ELDW	Emergency battery pack (32° min. operating temp) ^{5,6,7,8}	PE	Photoelectric cell-button type ^{9,14}	WG Wire guard	DSST Sandstone, textured		
ELDWC	Emergency battery pack (0° min. operating temp) ^{5,6,7,8,9,10,11}	WLU	Wet location door for up orientation	VG Vandal guard	DNAT Natural aluminum, textured	L/LP Less lamp	
ELDW RPS	Fixture wired ready for PS1400 or PSDL remote battery pack (battery pack not included; 32° min. operating temp) ^{9,12,13}	CSA	CSA certified		DWHG White, textured		
		NOM	NOM certified		DBLB Black, textured		
					CRT Non-stick protective coating ¹⁶		
					<i>Super Durable Finishes</i>		
					DDBXD Dark bronze		
					DBLXD Black		
					DNAXD Natural aluminum		
					DWHXD White		
					DDBTXD Textured dark bronze		
					DBLBXD Textured black		
					DNATXD Textured natural aluminum		
					DWHGXD Textured white		

See footnotes for above on page 2.



6" ROUND DIRECT / INDIRECT CYLINDER XT SERIES / 2 x 2000 LUMENS MAX LED



SPC06-UDLEDXT

APPLICATION

6" Round x 18" or 24" High Direct / Indirect LED XT Series Cylinder Luminaire for accent and general illumination.

FEATURES

Rugged design with flexible mounting, finish and LED options make these extremely versatile fixtures. Quick change LED module with interchangeable optics for job site flexibility and fixture upgrade.

FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. See mounting and color pages for standard finishes. All exposed materials are chromate pretreated to resist corrosion.

ELECTRONICS

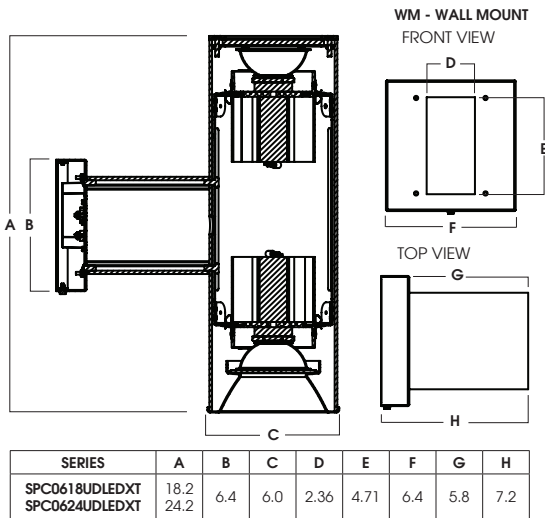
LED system features Xicato LED module with proprietary phosphor technology that provides consistent stable color with CCT control of +/- 100K over life of the light engine. Base CRI is 83 with 2 MacAdam Ellipse binning. High CRI is 98 with 1 MacAdam Ellipse binning. Variety of electronic 120V/277V and dimming drivers.

CONSTRUCTION

Fabricated seamless aluminum fixture housing. Silicone gasket seals optical chamber. Specular primary optical reflectors provide high efficiency illumination. Impact resistant tempered glass lenses. Stainless steel hardware with galvanized steel brackets to resist corrosion. Trim formed from .063 thick high purity aluminum and finished to specification. Passively cooled aluminum heatsink.

CODE COMPLIANCE

ARRA Compliant. ETL listed for damp locations. Wet location available. Manufactured and tested to UL standard No.1598/8750.



WATTAGE TO LUMENS UPDATE					
CURRENT PART NUMBER EXAMPLE	PREVIOUS PART NUMBER EXAMPLE	SOURCE LUMENS ¹	DELIVERED LUMENS ²	SYSTEM WATTS ³	LPW
SPC06xxUDLEDXT10L10L	SPC0618UDLEDX115W	2000	985	18.2	54.1
SPC06xxUDLEDXT13L13L	SPC0618UDLEDX120W	2600	1327	26.0	51.0
SPC06xxUDLEDXT20L20L	N/A	4000	2042	43.4	47.0

SERIES	UPLIGHT		DOWNLIGHT		CCT	DRIVER / DIMMING ⁴	OPTIONS ⁵	TRIM / FINISH	MOUNTING ⁶	FINISH ⁹
SPC0618UDLEDXT 6" x 18" Cylinder	LUMENS ¹	BEAM	LUMENS ¹	BEAM	83 CRI	EX Electronic Driver, 120V/277V	WL Wet Location	6454XT	WM Wall Mount	MW ¹⁰ Matte White
SPC0624UDLEDXT 6" x 24" Cylinder	10L 1000 Lm	XN 10°	10L 1000 Lm	XN 10°	27K 2700K	DS10X .10% 0-10V Dimming, 120V/277V	FS Fuse Holder and Fuse	SG Semi Diffuse Low Iridescence Clear	EMERGENCY BATTERY OPTIONS	PT ¹⁰ Platinum
	13L 1300 Lm	ND 27°	13L 1300 Lm	ND 27°	30K 3000K					
	20L 2000 Lm	MD 45°	20L 2000 Lm	MD 45°	35K 3500K	DS2W1 ELV MLV 1% Phase Dimming, 120V Only	CR Corrosion Resistant	CY Same Color as Cylinder	EMRM7W 7W Remote EM EMEN7W 7W Remote with Enclosure	TW Textured White
		WD 50°		WD 50°	40K 4000K		CC Custom Color	OB Oil Rubbed Bronze		
		XW 55°		XW 55°	98 CRI			GL ⁸ Clear Glass Lens		CH Charcoal
					27HK 2700K			SO ⁷ Micro Prism Solite™ Lens		GH Graphite
					30HK 3000K			FG Frosted Glass Lens		AC Champagne
					35HK 3500K					SN Sun Gold
					40HK 4000K					BR Brecchia Rust
										AN Anodic Natural
										CO Copper Metallic
										CC Custom Color

EXAMPLE: SPC0618UDLEDXT20LMD20L35KMDX6454XTSOWMMW

NOTES:

- 1 Nominal Source Lumens at Any CCT
- 2 Nominal Delivered Lumens at Any CCT 83 CRI With MD-MD-SG-SO
- 3 At 83 CRI
- 4 Contact Factory for Additional Options
- 5 See Product Options Page for Details
- 6 Standard Lens For All Uplight and Downlight: XN, ND
- 7 Standard Lens for Downlight: MD, WD, XW
- 8 See Mounting Page for Details on Components and Finishes
- 9 Contact Factory for Special Finishes
- 10 Standard Finishes



Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



PROJECT:	TYPE:
CAT. NO.:	

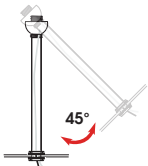




SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES. CONSULT SPECIFICATION SHEETS. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION. NOTE: THIS IS TYPICAL OF SPECULUME SPECIFICATION FOR PENDANT MOUNTING. INDIVIDUAL FIXTURES OR PROJECTS MAY HAVE SPECIALIZED REQUIREMENTS.

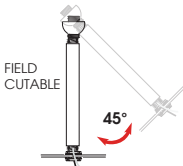
MOUNTING TYPES

HM*
HANG STRAIGHT
45° SWIVEL 1/2" STEM - 3/8" NPT

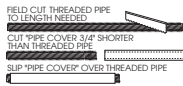


ORDER: **HM** (Length)
SPECIFY LENGTH:
HM3 - 3" **HM24** - 24"
HM6 - 6" **HM36** - 36"
HM12 - 12" **HM48** - 48"
HM18 - 18" **HM72** - 72"
HMLC(XX)
Custom Length
(Specify in Inches)

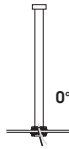
HMAT*
HANG STRAIGHT ALL THREAD
45° SWIVEL 1/2" STEM - 1/4" IP



ORDER: **HMAT** (Length)
SPECIFY LENGTH:
HMAT12 - 12"
HMAT24 - 24"
HMAT36 - 36"
HMAT48 - 48"
HMAT72 - 72"
HMATLC(XX)
Custom Length
(Specify in Inches)



PM*
RIGID PENDANT MOUNT
RIGID 1/2" STEM - 3/8" NPT



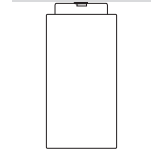
ORDER: **PM** (Length)
SPECIFY LENGTH:
PM3 - 3" **PM24** - 24"
PM6 - 6" **PM36** - 36"
PM12 - 12" **PM48** - 48"
PM18 - 18" **PM72** - 72"
PMLC(XX)
Custom Length
(Specify in Inches)

CD
CORD / CABLE MOUNT
SJ CORD WITH 1/16 SS CABLE

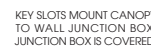


ORDER: **CD** (Length)
SPECIFY LENGTH:
CD36 - 36"
CD72 - 72"
CD144 - 144"
CDLC(XX)
Custom Length
(Specify in Inches)

SM
SURFACE MOUNT
WIRING COMPARTMENT / TOP HAT

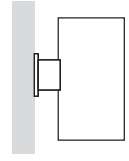


ORDER: **SM**
TOP VIEW CANOPY
3.5"

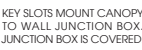


KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

WM
WALL MOUNT



ORDER: **WM**
TOP VIEW WALL MOUNTING PLATE
3.5"



KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

*MAXIMUM ONE PIECE STEM LENGTH IS 72". LONGER LENGTHS ARE POSSIBLE USING MULTIPLE STEMS AND COUPLERS.

MOUNTING FINISH

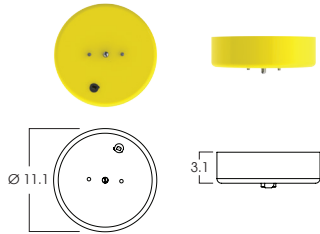
Standard Canopy / Stem or Cord mounting finish is matte white. Black fixtures receive matte black mounting finish, silver fixture receive silver mounting finish. Custom colors for canopy and stem are available upon request.

MOUNTING COMPONENTS FINISH

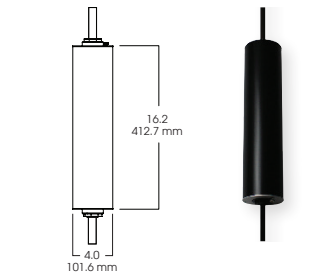
FIXTURE COLOR	CANOPY / STEM / CORD COLOR
Matte White, Textured White	Matte White
Matte Black, Textured Black, Bronze, Oil Rubbed Bronze	Matte Black
Platinum, Textured Silver, Silver	Silver
All Others	Matte White
Custom Color	Canopy / Stem Same Color as Fixture

EMERGENCY BATTERY OPTIONS

EMCP7W - LARGE DRIVER CANOPY FOR 7W EMERGENCY BATTERY (FOR ALL CEILING MOUNT TYPES)

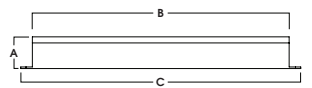


EMLN7W - 7W IN-LINE EMERGENCY BALLAST (FOR HM, HMAT, AND PM OPTIONS)



REMOTE EMERGENCY BATTERY OPTIONS

EMRM7W - REMOTE EMERGENCY BATTERY (UP TO 12W, 50" MAX)

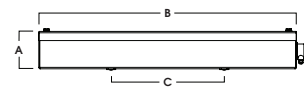


EM WATTAGE	A	B	C
EMRM5W	1.5	9.0	9.5
EMRM7W*	1.3	12.6	13.0
EMRM12W	1.3	12.8	13.3

*STANDARD

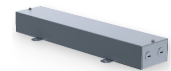


EMEN7W - REMOTE EMERGENCY BATTERY WITH ENCLOSURE (UP TO 12W, 50" MAX)



ENCLOSURE	A	B	C
EMEN5W	2.0	17.0	6.2
EMEN7W*	2.0	17.0	6.2
EMEN12W	2.0	17.0	6.2

*STANDARD

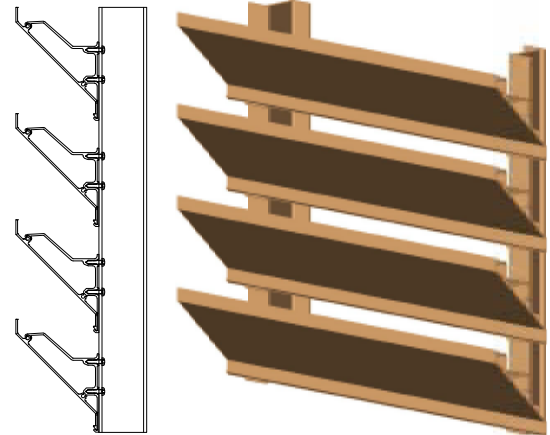


Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.

PROJECT:	TYPE:
CAT. NO.:	

ARCHITECTURAL LOUVER SCREEN

Concealed Mullion Louver Screen	ENCB609
Material	Extruded Aluminum (Alloy 6063-T5)
Stationary Blade	0.081 in. (2.06 mm)
Vertical Support	Extruded Aluminum Z-Support
Louver Screen Depth	4 in. (101.6 mm)
Free Area – 4 ft. x 4 ft. Unit	8.23 sq. ft. (0.76 sq m)
Percent Free Area	51.4%



RECOMMENDED SPECIFICATION

Aiolite Louver Screen Type ENCB609 is a versatile, inverted, horizontal blade, 4-inch (101.6 mm) deep architectural louver screen designed for applications that require economical sight barriers. The inverted louver screen blade profile provides an effective visual screen when viewed from grade or any lower elevation. Louver Screen Type ENCB609 can be supplied with concealed vertical mullions, mitered and boxed corners, and man-doors in order to meet all aesthetic and service requirements. All materials are available in Aiolite's broad array of baked enamel, fluoropolymer, and clear or color anodize coatings for durability and compatibility with adjacent materials and finishes. Please contract your local Aiolite representative or the factory for assistance with the layout and design of supports systems when required.

GENERAL

Where indicated on plans or described in schedules, furnish and install Louver Screen Type ENCB609 as designed and manufactured by The Aiolite Company LLC, Schofield, Wisconsin. Louver screens shall be furnished in the configuration represented on the plan drawings and shall include installation hardware and finishes as specified and required as required for a complete installation.

SUBMITTALS

Manufacturer shall submit shop drawings incorporating key plans, elevations, sections and details showing profiles, angles and spacing of louver screen blades and frames; unit dimensions related to wall openings and construction; and, anchorage details and locations. Submit theoretical calculations prepared by a professional engineer specializing in the application of welding technology demonstrating that each fillet weld joining blade and frame members will withstand a minimum of 526 pounds of force in shear. Provide samples of manufacturer's finish and color charts showing the full range of colors available.

PRODUCTS

Louver screens shall be inverted, horizontal blade, Louver Screen Type ENCB609 with concealed vertical mullions. Louver screens shall be 4-inches (101.6 mm) deep and assembled by mechanically fastening or welding extruded aluminum components. Blades shall be 0.081-inch (2.06 mm) thick extruded aluminum, alloy 6063-T5. Blades shall be inverted, stationary, horizontal and spaced 5-inches (127 mm) on center. Blades shall be secured to vertical support members located to withstand the specified wind design load.

OPTIONAL WELDED ASSEMBLY

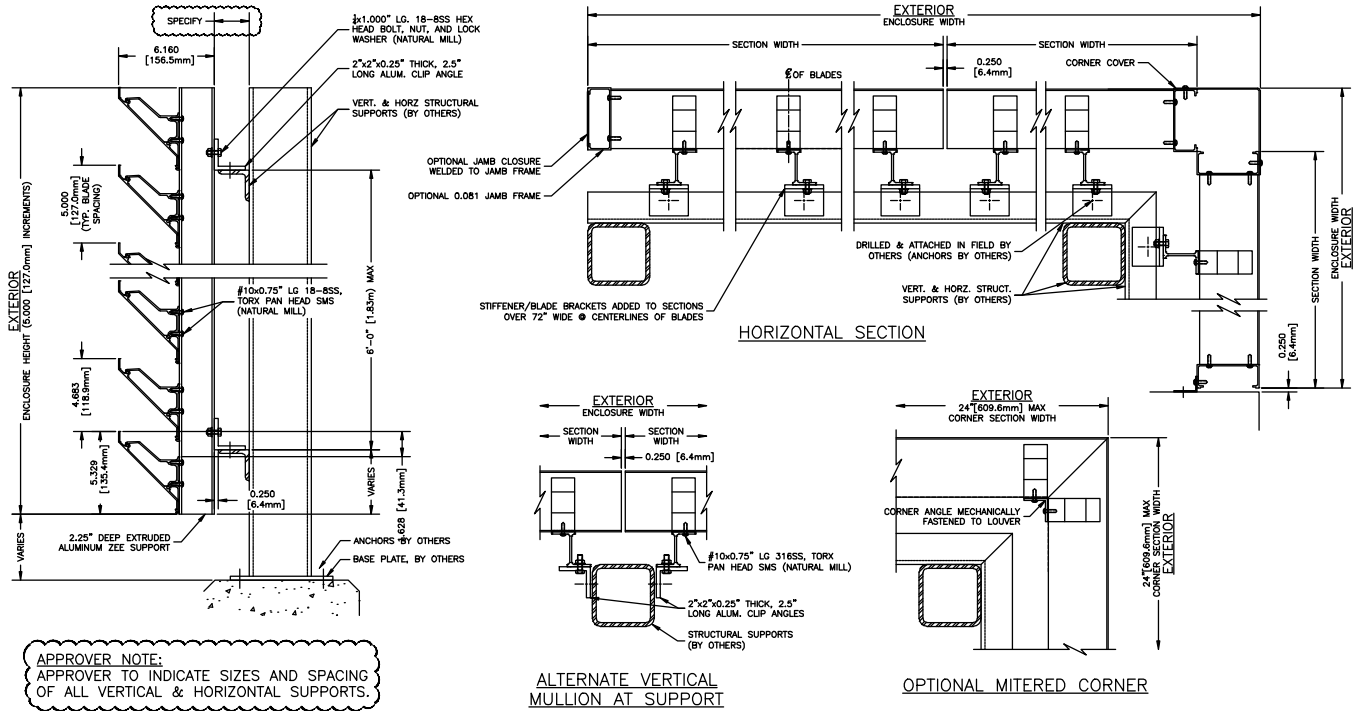
Join stationary blade, head, sill and jamb frames with fillet welds concealed from view, unless the size of the louver makes bolted connections between louver sections necessary. Louver blades shall be joined to each jamb frame with fillet welds produced with the Pulsed Gas Metal Arc Welding (GMAW/Mig) process.

STRUCTURAL DESIGN CRITERIA

Manufacturer shall design and furnished all supports required to withstand a wind force of not less than 25 pounds per square foot for panel sizes no larger than 72-inches. Louver screens larger than 72-inches (183 cm) wide x 144-inches (366 cm) high or 144-inches (366 cm) wide x 72-inches (183 cm) high will be fabricated and installed in multiples sections. Louver screen blades, horizontal members and anchorages shall be demonstrated to withstand the specified wind design load.

See page 2 for complete finish options

LOUVER SCREEN TYPE ENCB609 DETAILS & FINISH OPTIONS



*Louver screen height for ENCB609 available in 5-inch increments.

FINISHES (Select one of the following)

ACRYLIC ENAMEL: Louvers shall be cleaned, pretreated and FINISHED-AFTER-ASSEMBLY with an oven-cured thermosetting acrylic enamel finish that meets or exceeds the performance requirements of AAMA 2603, "Voluntary Specification Performance Requirements and Test Procedures for Pigmented Organic Coatings."

2-COAT FLUOROPOLYMER: Louvers shall be cleaned, pretreated and FINISHED-AFTER-ASSEMBLY with an inhibitive primer and oven-cured Kynar 500® / Hylar 5000® resin coating with minimum 1.2 mils dry-film coating thickness that meets or exceeds the performance requirements of AAMA 2605, "Voluntary Specification, Performance Requirements and Test Procedures for Superior Performance Organic Coatings on Aluminum Extrusions and Panels."

3-COAT FLUOROPOLYMER: Louvers shall be cleaned, pretreated and FINISHED-AFTER-ASSEMBLY with an inhibitive primer and oven-cured Kynar 500® / Hylar 5000® resin coating with minimum 2.0 mils dry-film coating thickness that meets or exceeds the performance requirements of AAMA 2605, "Voluntary Specification, Performance Requirements and Test Procedures for Superior Performance Organic Coatings on Aluminum Extrusions and Panels."

CLEAR ANODIZE: Louvers shall be a Class I clear anodized coating (AA-M10C22A41) that complies with the performance requirements of AAMA Specification 611-98, "Voluntary Specification for Anodized Architectural Aluminum."

COLOR ANODIZE: Louvers shall be a Class I electrolytically color anodized coating (AA-M10C22A42/44) that complies with the performance requirements of AAMA Specification 611-98, "Voluntary Specification for Anodized Architectural Aluminum." Color shall be (select one): Champagne, Light Bronze, Medium Bronze, Dark Bronze, Extra Dark Bronze or Black Anodize.



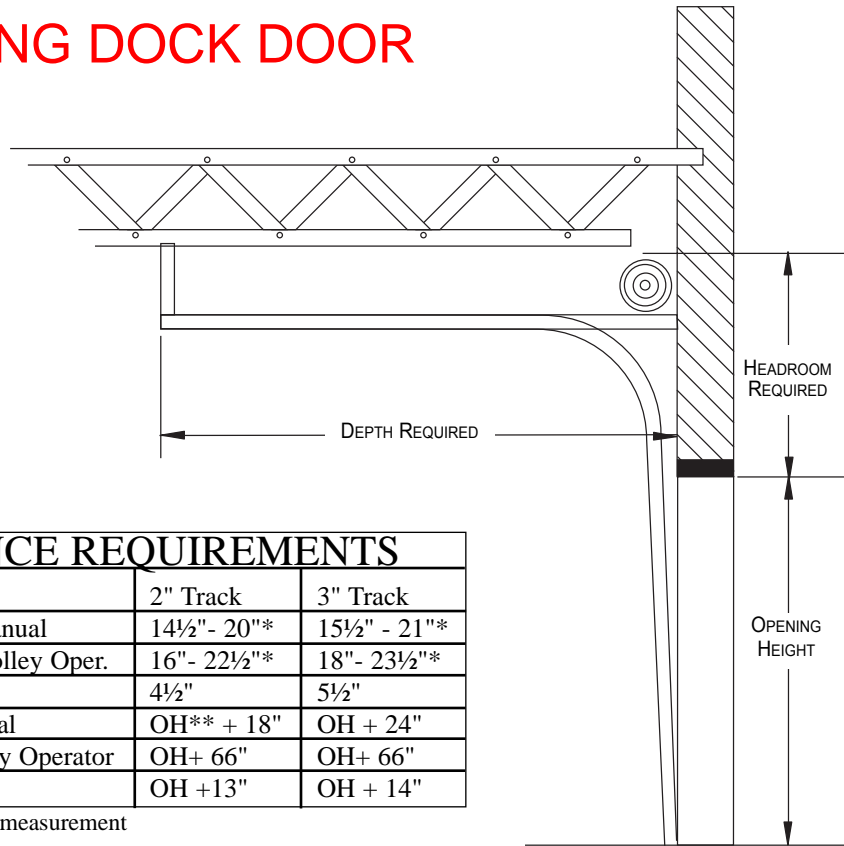
P.O. Box 410, 525 Western Road, Schofield, WI 54476-0410 USA
715.841.8757 • fax 715.841.8773 • www.airolite.com

Submittal ENCB609, May 2012, Rev. 2
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The Airolite Company, LLC reserves the right to make product changes.

INSUL-RITE™ Sectional Doors STANDARD LIFT SPECIFICATIONS

LOADING DOCK DOOR



CLEARANCE REQUIREMENTS		
	2" Track	3" Track
Headroom Required Manual	14½" - 20"*	15½" - 21"*
Headroom Required Trolley Oper.	16" - 22½"*	18" - 23½"*
Sideroom Required	4½"	5½"
Depth into Room Manual	OH** + 18"	OH + 24"
Depth into Room Trolley Operator	OH+ 66"	OH+ 66"
Centerline of Springs	OH +13"	OH + 14"

*Consult factory for exact measurement

**OH — Opening Height

GENERAL SPECIFICATIONS

Model Number: 5155/5255 SECTIONAL DOOR

SIZE:

Minimum: 4' x 6'
Maximum: 26' x 20'

PERIMETER SEALS:

Full perimeter seal of the opening on 5255 includes: section joint seals between sections, track-mounted side seal, vinyl top seal and flexible vinyl astragal on bottom edge. Top and side seals are optional on 5155.

TRACK:

16 gauge hot-dipped galvanized steel track available in 2" or 3". Track rollers are case-hardened inner steel races with 10-ball rollers.

SECTION DESIGN:

2" thick sections (5255), 1½" section (5155) constructed solid polyurethane foam core sandwiched between galvanized steel facings. Two-coat baked-on polyester finish with embossed pin-stripping and a non-repeating stucco finish. Facings are roll-formed and separated with a thermal break to eliminate thermal conductance. Hot-dipped galvanized steel wrap-around end caps add strength, rigidity. CFC-11-free polyurethane foam with an R-value of 14.80 (5255) and 10.96 (5155). Optional insulated 24" x 6" lites available.

OPERATION:

Torsion spring counterbalance system with galvanized steel aircraft cable. Standard 10,000 cycle spring. Optional 25,000, 50,000 and 100,000 cycle springs available. Optional trolley-type motor operator.

WARRANTY:

Sections warranted for ten (10) years against cracking, splitting or deterioration due to rust-through, and seven (7) years against separation/degradation of foam insulation. Ten (10) years on insulation value.

Certified for construction:

By: _____ Job: _____
 Date: _____ Location: _____
 Company: _____
 City: _____ Size: _____
 State: _____

**RITE-HITE®
DOORS**
The Leading Edge In Door Safety.

8900 North Arbon Drive
Milwaukee, WI 53223
Toll free 1-800-456-0600
1-414-355-2600
Fax: 1-414-355-9248
www.ritehite.com

General Notes:

1. These drawings have been prepared for our use **ONLY**. We accept no responsibility for their use by other trades.
2. All material will be custom fabricated in sizes as shown on our schedule. All material will be fabricated in strict accordance with these drawings, after Architect/Engineer approval.
3. All dimensions subject to industry standard fabrication tolerances.
4. We require an "approved hardware schedule" prior to any fabrication of doors or frames.
5. All fire rated doors and/or frames will be provided with either Intertek Testing Services ((ITS/WHI), Underwriters Laboratories (UL), or construction labels as indicated on these drawings.
6. All doors and frames will be clearly marked with opening #, as indicated on these drawings.
7. Hardware locations indicated on these drawings are frame manufacturers standard, unless noted otherwise, or as indicated in approved hardware schedule.
8. Due to field conditions beyond our control, it is the responsibility of the installer to install all material in strict accordance with local building codes, NFPA 80, ANSI A250.11 "Recommended Erection Instructions for Steel Door Frames" when installing doors and frames.
9. We do not include glass and glazing, unless specifically noted otherwise. The Architect is to confirm nominal glass sizes and thickness as shown on these drawings. Exact glass size requirements can only be determined from finished product dimensions. All glass inserts and stops are to accept ¼" conventional glass unless otherwise indicated or advised during the approval process. Specialty glass installations such as "Firelite" may require special materials or construction, therefore, changes from original contract documents may have an impact on our contract price. Installation must be in accordance with local building codes, or specific manufacturer's instructions.

Hollow Metal Door, Frame and Wood Door Notes:

1. Spreader bars are provided for shipping purposes **ONLY**, and must be removed prior to erection as they can inhibit a plumb installation.
2. Our work does not include any structural steel components.
3. We have assumed all frames will terminate at floor level. No frames will be extended below the floor unless noted otherwise.
4. Frames larger than 8'0" in any direction may require splicing. Splice joints will occur adjacent to vertical or horizontal mullions as required. Concealed sleeves will be provided for field assembly and finishing by installing contractor.
5. Where antifreeze additives are used in grouted frames (grouting by others), the inside of frames to be treated by the **GENERAL CONTRACTOR** with a bituminous asphalt material.
6. Frames will be prepared for door silencers, 3 per single & 2 per pair openings. It is the responsibility of the installer to protect silencer holes when grouting frames.
7. When setting frames in masonry, it is the installers' responsibility to do so in such a way as to not reduce required door swing for scheduled hardware.
8. All hollow metal doors and frames will be phosphate treated, and receive one (1) coat of manufacturers' standard primer.
9. Hollow Metal Doors & Frames will be cut and reinforced for mortise hardware items. Items reinforced for mortise hardware will be factory drilled and tapped for hardware. **EXCEPTIONS** mortise reinforcements for pivots and anchor hinges will **NOT** be drilled and tapped. Drilling and tapping for these items are to be done in the field, by the installing contractor. Preparation for locksets and exit devices is limited to function holes **ONLY**. We will reinforce all hollow metal doors and frames for surface applied hardware as required by the hardware manufacturer/and or the installation specified. Drilling and tapping for surface applied hardware and/or mounting posts and thru-bolts to be performed in the field by installing contractor.
10. Any field fitting, trimming or cutting of wood doors will require application of an appropriate sealer for compliance with warranty.

Project: LIDL

Hollow Metal Frames

ManufacturerCeco
GaugeExterior: 14 , Interior: 14
MaterialExterior: A60 , Interior: CRS
Construction.....Welded

NOTE: Unless detailed or noted otherwise all frames will be supplied with 2" face.
All hardware reinforcements in accordance with ANSI A250.8 1998

Hollow Metal Doors

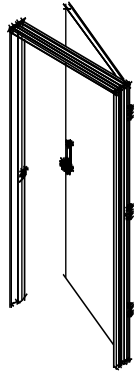
ManufacturerCeco
GaugeExterior: 14 Interior: 14
MaterialExterior: A60 Interior: CRS
EdgeSeam on Edge
UndercutTypical 5/8" Unless scheduled otherwise
Finish.....To Match Sherwin Williams SW2848
Top Caps.....None Metal Filled At Exterior Locations
Bottom Caps.....None Metal Filled

Due to the 6-8 week lead time on prefinished hollow metal frames and doors. We would like to offer a deduct of \$1,460.00 Plus Tax to change to standard primed hollow metal frames and doors.

Door Hand Nomenclature

Single Swing Openings

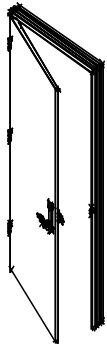
Right Hand (RH)



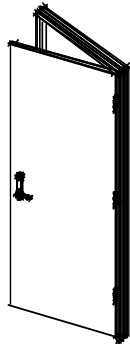
Left Hand (LH)



Left Hand Reverse (LHR)

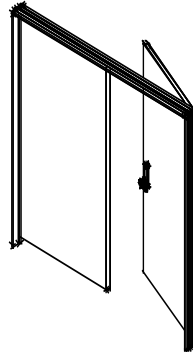


Right Hand Reverse (RHR)

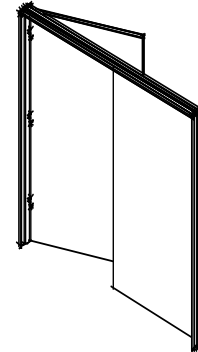


Pair Swing Openings

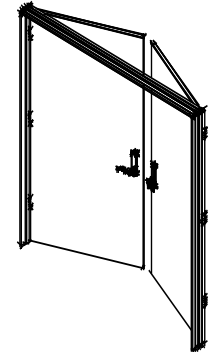
Right Hand Active (RHA)



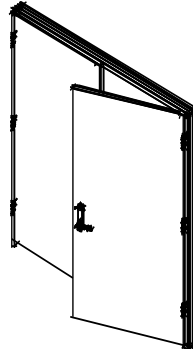
Left Hand Active (LHA)



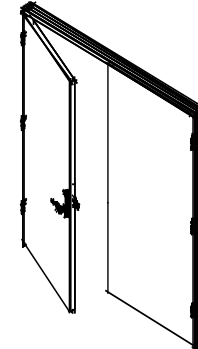
Both Active (LH/RH)



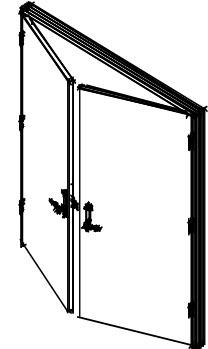
Right Hand Reverse Active (RHRA)

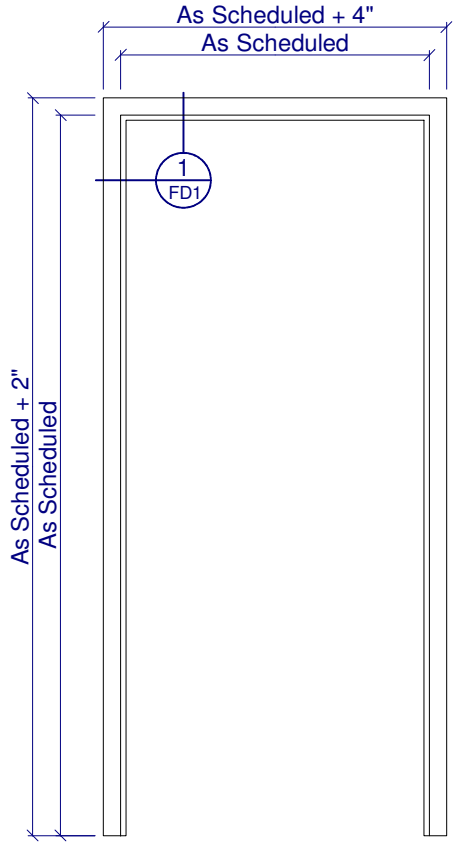


Left Hand Reverse Active (LHRA)

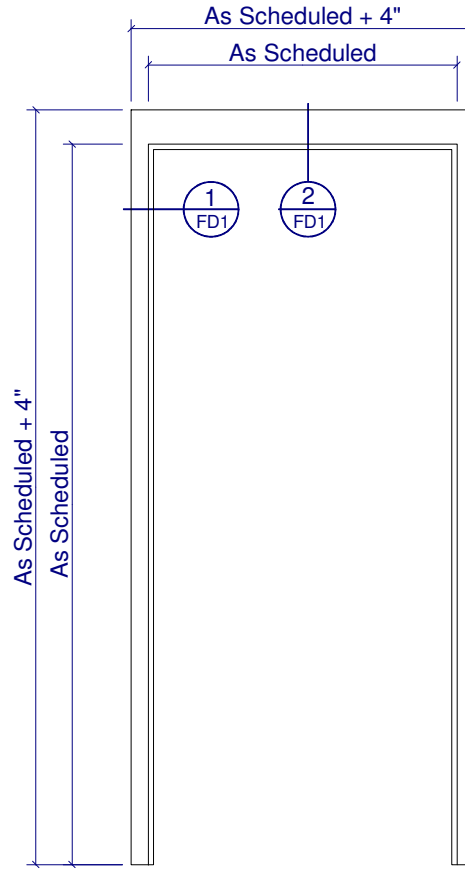


Both Active (LHR/RHR)



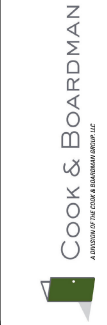


Elev 1



Elev 2

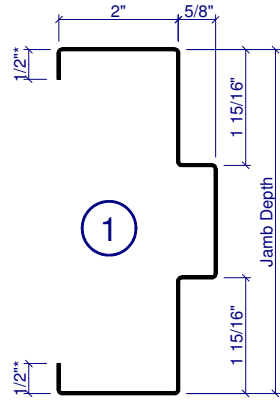
Frame Elevations



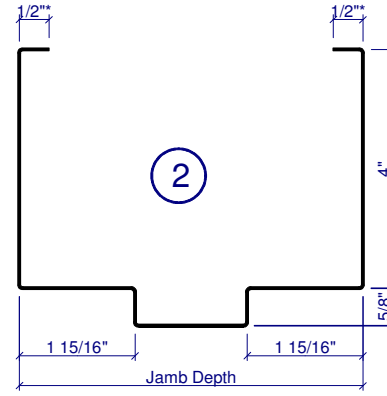
Project: **LIDL Store#**
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 Glazing requirements must be determined by field measurement ONLY.
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Drawn By: **C.Kessler**
 Date: **09/14/2016**

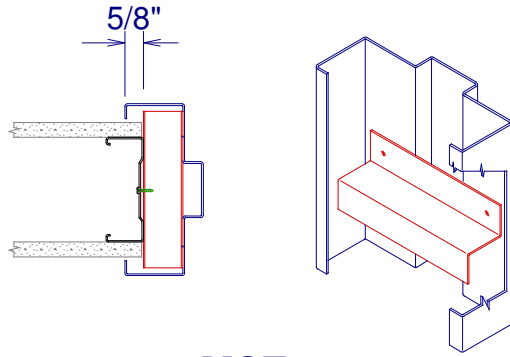
Job #: **319747**
FEE1



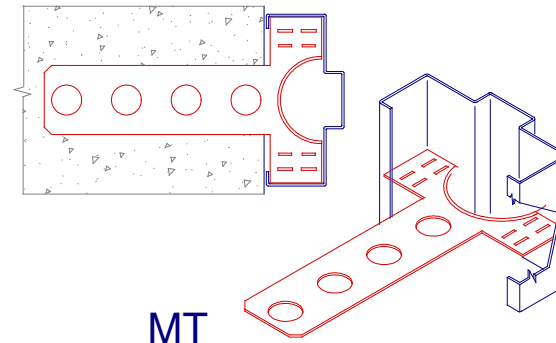
* 7/16" @ 5-3/4" JD ONLY



* 7/16" @ 5-3/4" JD ONLY

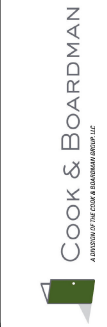


MSZ



MT

Frame Details



Project: **LIDL Store#**
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Drawn By:
C.Kessler

Date:
09/14/2016

Job #:
319747

FD1



Ceco Door

Doors with a Polystyrene Core

Features:

- 1-3/4" (44.4 mm) insulated full flush design - rated for light to extra-heavy-duty use.
- Polystyrene core provides insulation characteristics and resistance to impact
- Core is chemically bonded to face sheets providing total surface support
- Mechanically interlocked, hemmed vertical edges or stitch-welded seamless edge for added strength and rigidity
- 7 gage (4.2 mm) steel hinge reinforcements
- Inverted end channels welded to both face sheets for added stiffness.



Available Options:


- 14 gage (1.7 mm) closer reinforcement channel
- A60 Galvanized or G90 galvanized Steel
- Textured pattern steel
- Steel or vinyl end channel filler cap
- Stitch welded or epoxy filled seamless edge design
- Beveled or flush welded glass light trim
- Factory installed insulated glazing
- Factory applied **ColorStyle®** finish

Legion®

- Door is handed at factory as specified
- Lock edge beveled 1/8" in 2" (1:16)
- For 4-1/2" (114.3 mm) or 5" (127.0 mm) standard or heavy-weight, full mortise

Door Details

Page 13 of 17

 COOK & BOARDMAN <small>A DIVISION OF THE COOK & BOARDMAN GROUP, LLC</small>	Project: LiDL Store#	Drawn By: C.Kessler	Job #: 319747
	<small>These drawings are NOT to scale, and are for the sole use of Cook & Boardman, LLC. ONLY. Glazing requirements must be determined by field measurement ONLY © 2015 Cook & Boardman Group, LLC</small>	Date: 09/14/2016	DD1

- hinges
- For cylindrical or mortise locks and other standard template hardware

UltraDor™

- Door is handed at the time of installation
- Square lock edge
- For 4-1/2" (114.3 mm) standard or heavy-weight, full mortise hinges
- For cylindrical or mortise locks and other standard template hardware



Door Availability

MODEL	TYPE	GAGE	DECIMAL	mm
LEVEL 1 LIGHT COMMERCIAL				
1	Flush	20	0.032	.08
2	Seamless	20	0.032	.08
LEVEL 2 HEAVY-DUTY COMMERCIAL				
1	Flush	18	0.042	1.0
2	Seamless	18	0.042	1.0
LEVEL 3 EXTRA HEAVY-DUTY COMMERCIAL				
1	Flush	16	0.053	1.3
2	Seamless	16	0.053	1.3

Performance

CORE MATERIAL: Polystyrene

THERMAL CHARACTERISTICS U Factor 0.31 R Factor 3.23

SOUND TRANSMISSION STC 23 (18 gage operable)

PHYSICAL ENDURANCE

20 gage	Level C	500,000 cycles
18 gage	Level B	1,000,000 cycles
16 gage	Level A	1,000,000 cycles

Legion and UltraDor Fire Doors

Legion and UltraDor Fire Doors. Polystyrene core. UL, or WH label. Classified for openings rated at up to three hours (Class A,B,C,D,E, and 20 minute) which have no temperature rise restrictions.

Maximum Size

20 gage:
4'0" x 8'0" single
8'0" x 9'0" pair

18 gage, 16 gage,
4'0" x 9'0" single
8'0" x 9'0" pair

Door Details



Project: **LiDL Store#**

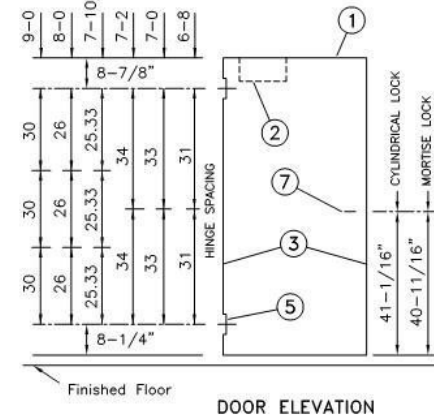
Drawn By:
C.Kessler

Job #:
319747

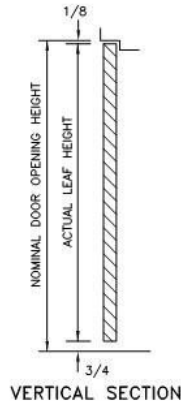
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Date:
09/14/2016

DD2



DOOR ELEVATION

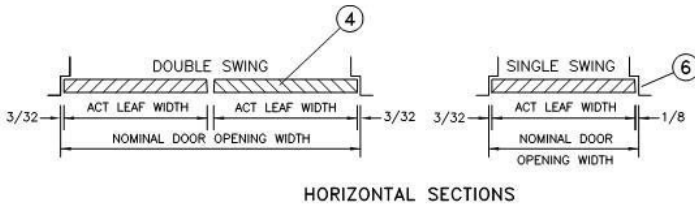


VERTICAL SECTION

FIRE DOORS:
TEST: UL10B, UL10C, UL1784 & UBC 7-2

LABELING AGENCIES:
UNDERWRITERS LABORATORY, INC.
WARNOCK HERSEY INTL.

RATING: 20 MIN THRU 3 HR
MAX. SIZE: 40 x 80 SINGLE
* 80 x 80 PAIR
* 90 x 90 W/ VERT RODS



HORIZONTAL SECTIONS

1-3/4" LEGION (LP) DOOR

<p>① END CHANNELS</p> <p>INVERTED TOP AND BOTTOM</p>	<p>② CLOSER REINFORCEMENT (OPTIONAL)</p> <p>14 GAGE STEEL CHANNEL 20"</p>												
<p>③ VERTICAL EDGES</p> <p>Hairline Seam Epoxy Seal MECHANICALLY INTERLOCKED HEMMED EDGES</p> <p>ALSO AVAILABLE SEAMLESS BODY FILLER</p>	<p>④ CORE</p> <p>1 LB DENSITY POLYSTYRENE CORE</p> <p>CONFORMS TO ASTM C578, TYPE 1</p>												
<p>⑤ HINGE PREPARATION</p> <p>4-1/2 OR 5 IN. HIGH, STANDARD OR HEAVY WEIGHT, FULL MORTISE HINGES</p> <p>ANSI A156.7 TEMPLATE</p> <p>HANDED</p>	<p>⑥ LOCK EDGE</p> <p>BEVEL 1/8" IN 2"</p>												
<p>⑦ LOCK PREPARATIONS</p> <div style="display: flex; justify-content: space-between;"> <div data-bbox="1218 1055 1470 1250"> <p>(LC1) GOV. 160/161 CYLINDRICAL LOCK PREP (ANSI A115.2) 2-3/4" BACKSET</p> </div> <div data-bbox="1470 1055 1722 1250"> <p>(LM1) GOV. 86 MORTISE LOCK PREP (ANSI A115.1) 2-3/4" BACKSET</p> <p>(LMO) SIMILAR TO DETAIL LESS FACE CUTOUT</p> </div> </div>													
<table border="1"> <tr> <td>FULLY OPERABLE ASSEMBLIES (ASTM C1363)</td> <td>R = 2.83</td> <td>U = 0.35</td> </tr> <tr> <td>CORE CALCULATED (ASTM C518)</td> <td>R = 6.35</td> <td>U = 0.157</td> </tr> <tr> <td>SOUND TRANSMISSION CLASS (STC): 27</td> <td colspan="2">F DESIGN, 18 GAGE FACE SHEETS -- ASTM E90 & E413 (FULLY OPERABLE)</td> </tr> <tr> <td>PHYSICAL ENDURANCE TEST DATA</td> <td colspan="2">MEETS OR EXCEEDS ANSI A 250.4 PERFORMANCE TEST; 20 gage steel (500,000 cycles); 18 & 16 gage steel (1,000,000 cycles).</td> </tr> </table>		FULLY OPERABLE ASSEMBLIES (ASTM C1363)	R = 2.83	U = 0.35	CORE CALCULATED (ASTM C518)	R = 6.35	U = 0.157	SOUND TRANSMISSION CLASS (STC): 27	F DESIGN, 18 GAGE FACE SHEETS -- ASTM E90 & E413 (FULLY OPERABLE)		PHYSICAL ENDURANCE TEST DATA	MEETS OR EXCEEDS ANSI A 250.4 PERFORMANCE TEST; 20 gage steel (500,000 cycles); 18 & 16 gage steel (1,000,000 cycles).	
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CORE CALCULATED (ASTM C518)	R = 6.35	U = 0.157											
SOUND TRANSMISSION CLASS (STC): 27	F DESIGN, 18 GAGE FACE SHEETS -- ASTM E90 & E413 (FULLY OPERABLE)												
PHYSICAL ENDURANCE TEST DATA	MEETS OR EXCEEDS ANSI A 250.4 PERFORMANCE TEST; 20 gage steel (500,000 cycles); 18 & 16 gage steel (1,000,000 cycles).												

CecoDoor (Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

C.R.S. steel is standard
Galvanized steel is optional

FOR HAND & SWING SEE DOOR SCHEDULE	
NOTE: FOR GLAZING TRIM, LOUVERS OR ASTRAGALS REQUIRED, SEE DOOR SCHEDULE & ACCESSORY SHEET	

Job #:	319747
Drawn By:	C.Kessler
Date:	09/14/2016
Project:	LIDL Store#
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Brad Williams

From: Darnell Chris <chrisda@hiltonheadislandsc.gov>
Sent: Wednesday, January 03, 2018 10:58 AM
To: Brad Williams
Subject: Re: LiDL - HHI - Final DRB Package

That is correct.

Office is closed because of weather. I hav access to my email if you hav any other questions.

Sent from my iPad

On Jan 3, 2018, at 10:46 AM, Brad Williams
<bwilliams@mcmillanpazdansmith.com<mailto:bwilliams@mcmillanpazdansmith.com>> wrote:

Follow up to the conversation from yesterday. You mentioned that the 3D renderings would not be required for the next submittal as long as the elevations were colored. Can you confirm this?

Thanks.

<image001.gif><<http://www.mcmillanpazdansmith.com/>>

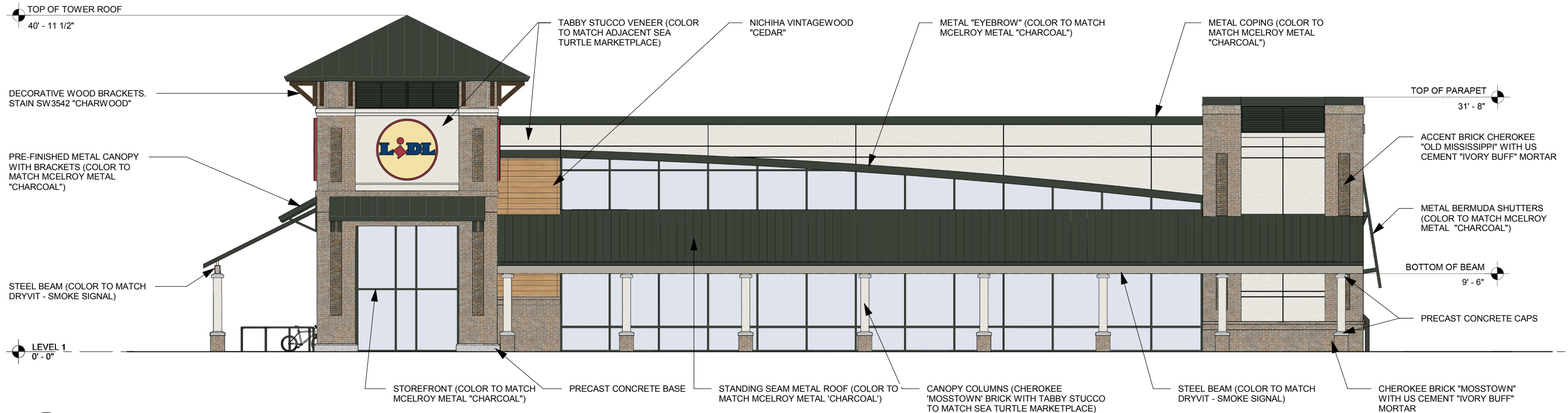
brad williams, assoc. aia, project designer
400 augusta street, ste 200, greenville, sc 29601
po box 8922, greenville, sc 29604
o. 864 242 2033 f. 864 242 2034
d. 864 679 6261 c. 864 609 7410

ideas taking shape

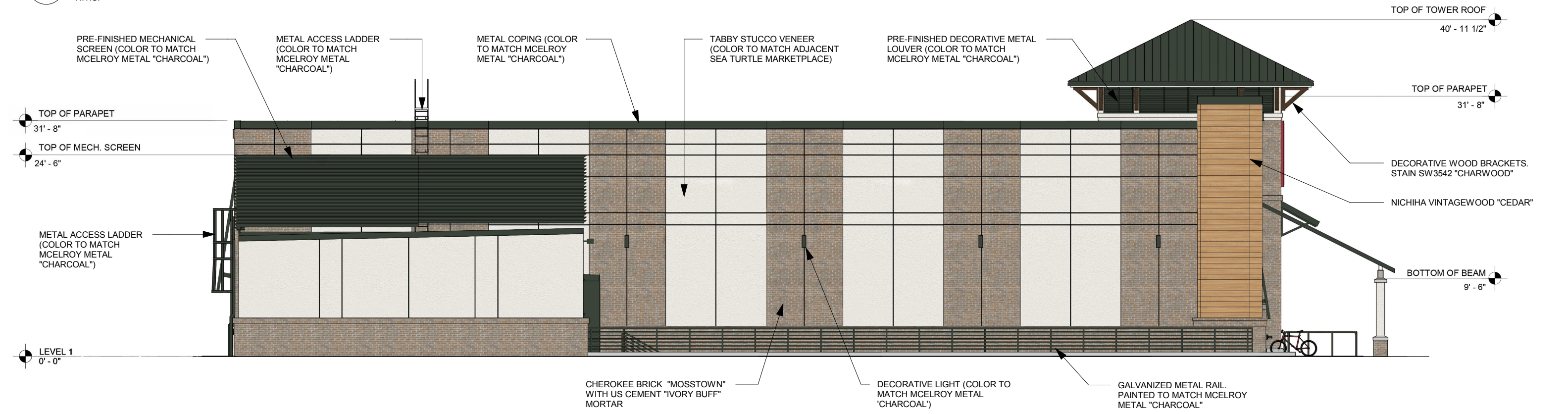
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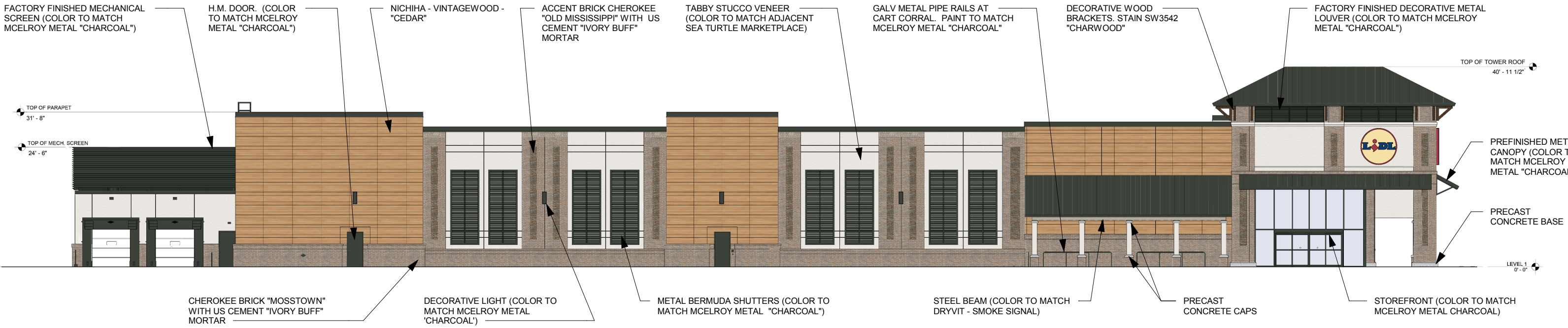
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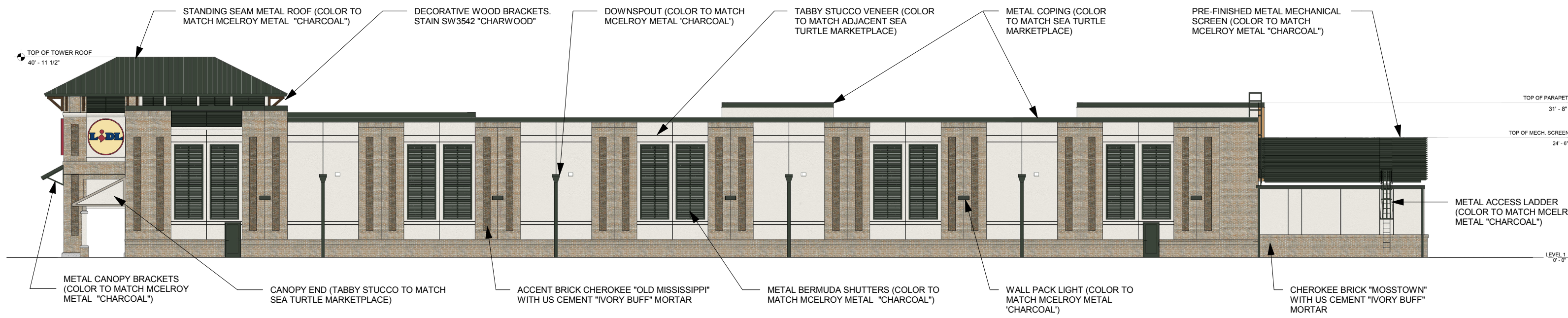
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N.T.S.



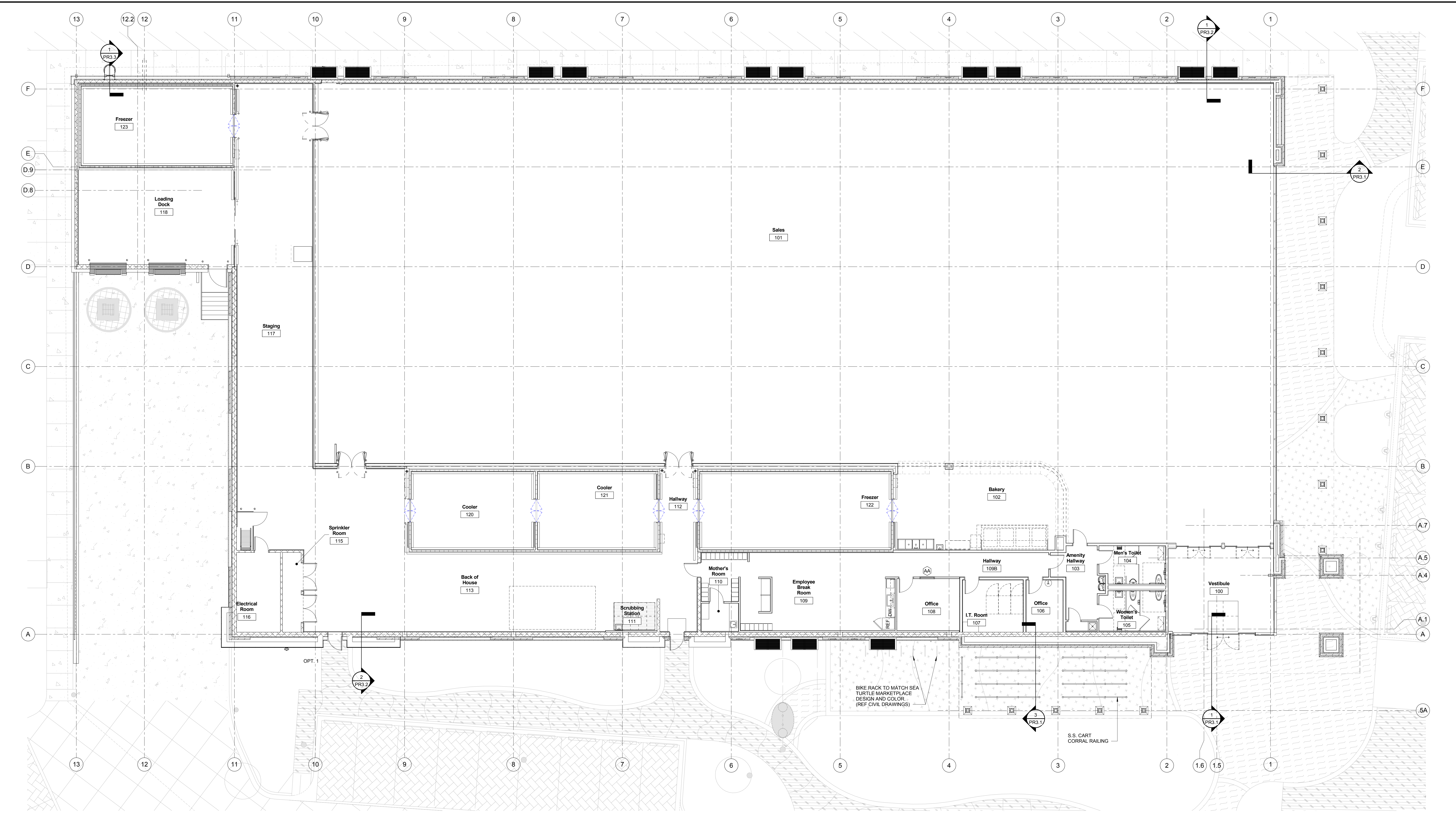
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N.T.S.



East Elevation
N.T.S.



West Elevation
N.T.S.



1 FLOOR PLAN
 1/8" = 1'-0"

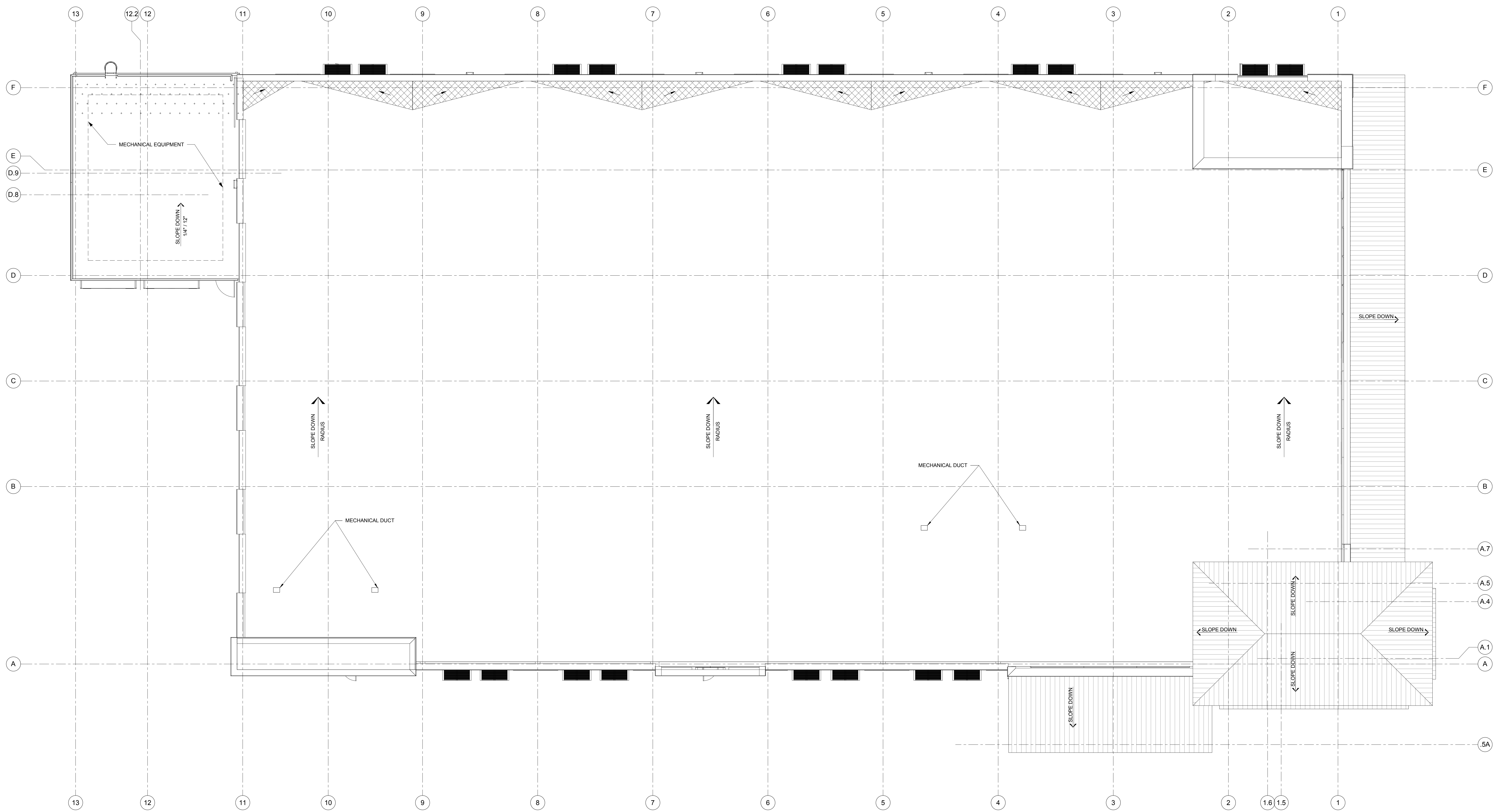
 400 augusta street, suite 200 greenville, sc 29601 po box 8922 greenville, sc 29604 o: 864.242.2033 / f: 864.242.2034 www.mcmillanpazdansmith.com	 LIDL US, LLC LIDL Store #1130 430 William Hilton Parkway Hilton Head Island, SC	Issued 1/9/2018 NOT FOR CONSTRUCTION Revisions	FLOOR PLAN
		Documents for:	Scale: 1/8" = 1'-0" Drawn: Author Checked: Checker Project: 15273.09

1/9/2018

NOT FOR CONSTRUCTION

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1 ROOF PLAN
1/8" = 1'-0"

mcmillan pazdan smith ARCHITECTURE
400 augusta street, suite 200
greenville, sc 29601
po box 8922
greenville, sc 29604
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www.mcmillanpazdansmith.com

LIDL US, LLC
LiDL Store #1130
430 William Hilton Parkway
Hilton Head Island, SC

Issued 1/9/2018
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Revisions

1/9/2018

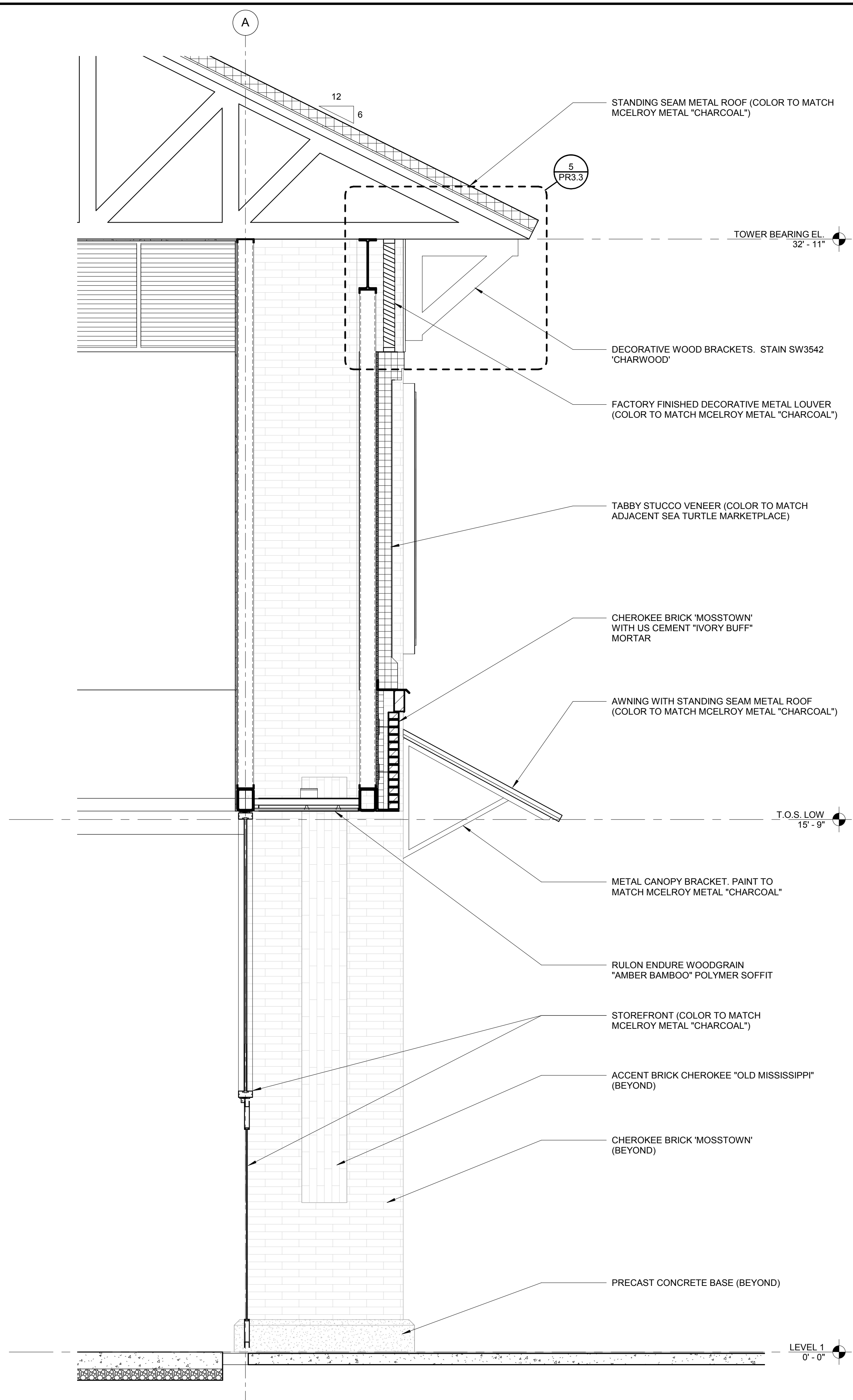
ROOF PLAN

Scale: 1/8" = 1'-0"
Drawn: Author
Checked: Checker
Project: 15273.09

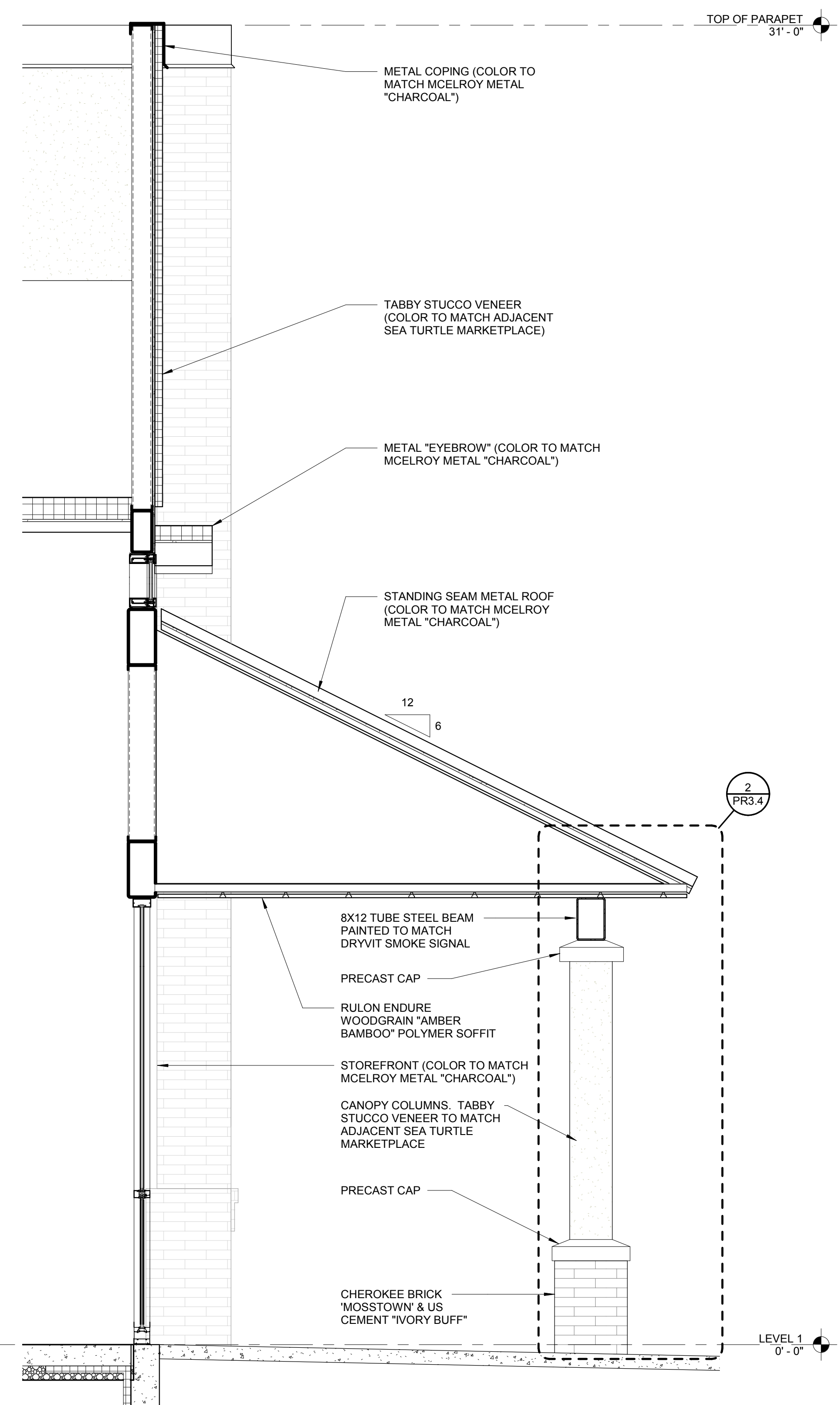
PR1.3

NOT FOR CONSTRUCTION

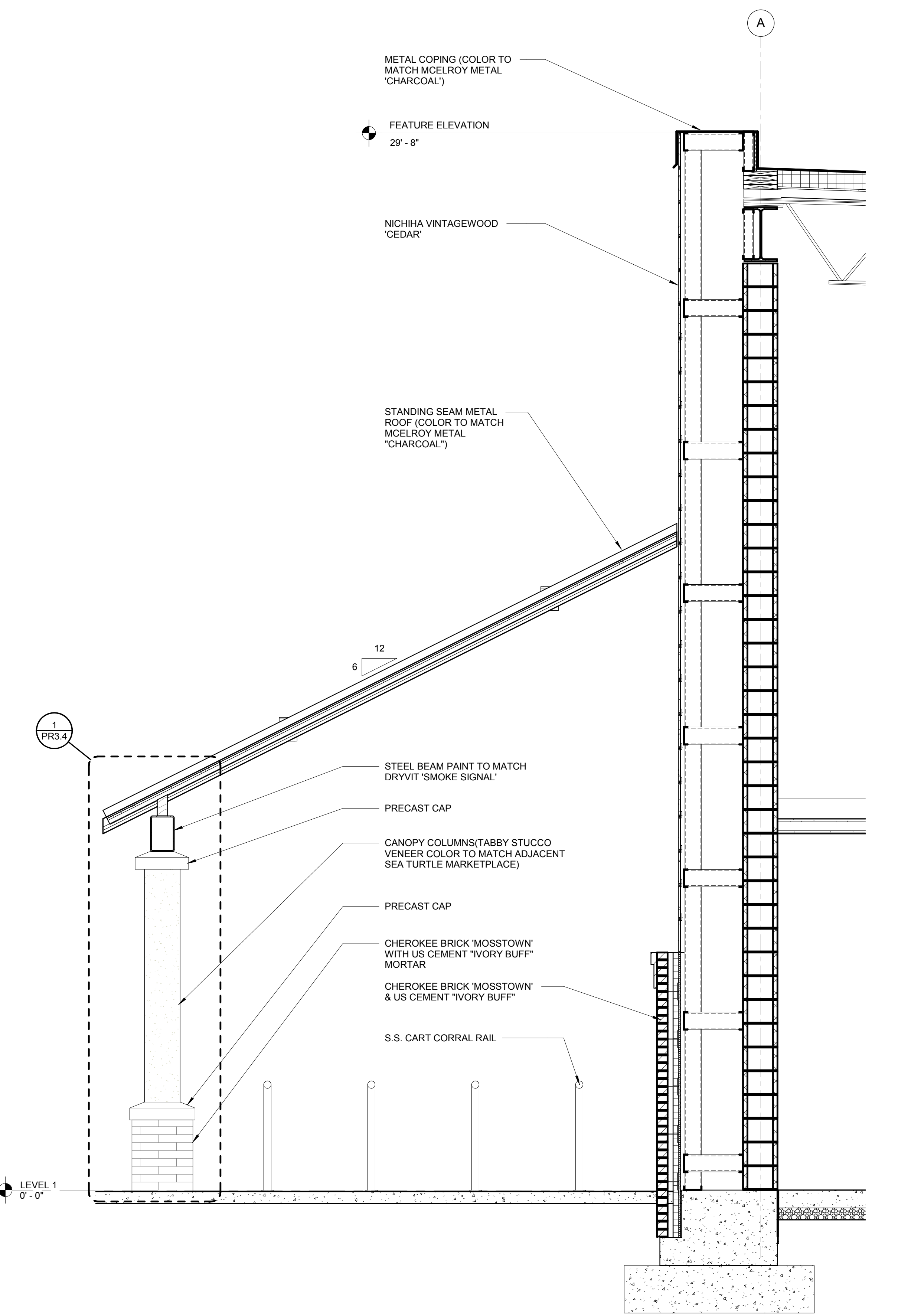
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1 Exterior Section
1/2" = 1'-0"



2 Exterior Section
1/2" = 1'-0"



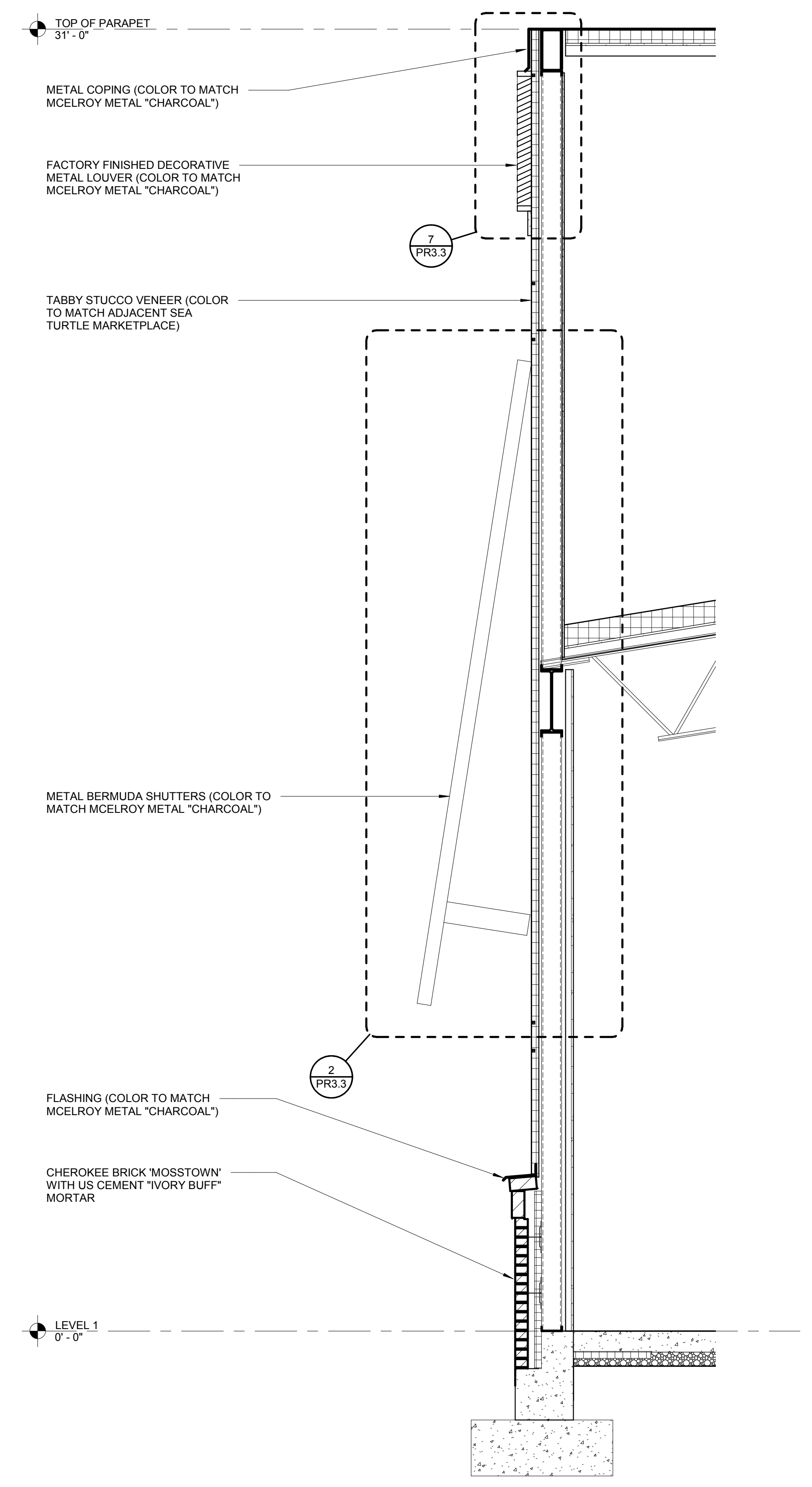
3 Exterior Section
1/2" = 1'-0"

 400 augusta street, suite 200 greenville, sc 29601 po box 8922 greenville, sc 29604 o: 864.242.2033 / f: 864.242.2034 www.mcmillanpazdansmith.com <small>alabama arkansas charlotte charleston georgia south carolina</small>	 LIDL US, LLC LiDL Store #1130 430 William Hilton Parkway Hilton Head Island, SC	Issued 1/9/2018 NOT FOR CONSTRUCTION Revisions	WALL SECTIONS
		Scale: 1/2" = 1'-0" Drawn: Author Checked: Checker Project: 15273.09	<p style="text-align: center; font-size: 24pt; font-weight: bold;">PR3.1</p>

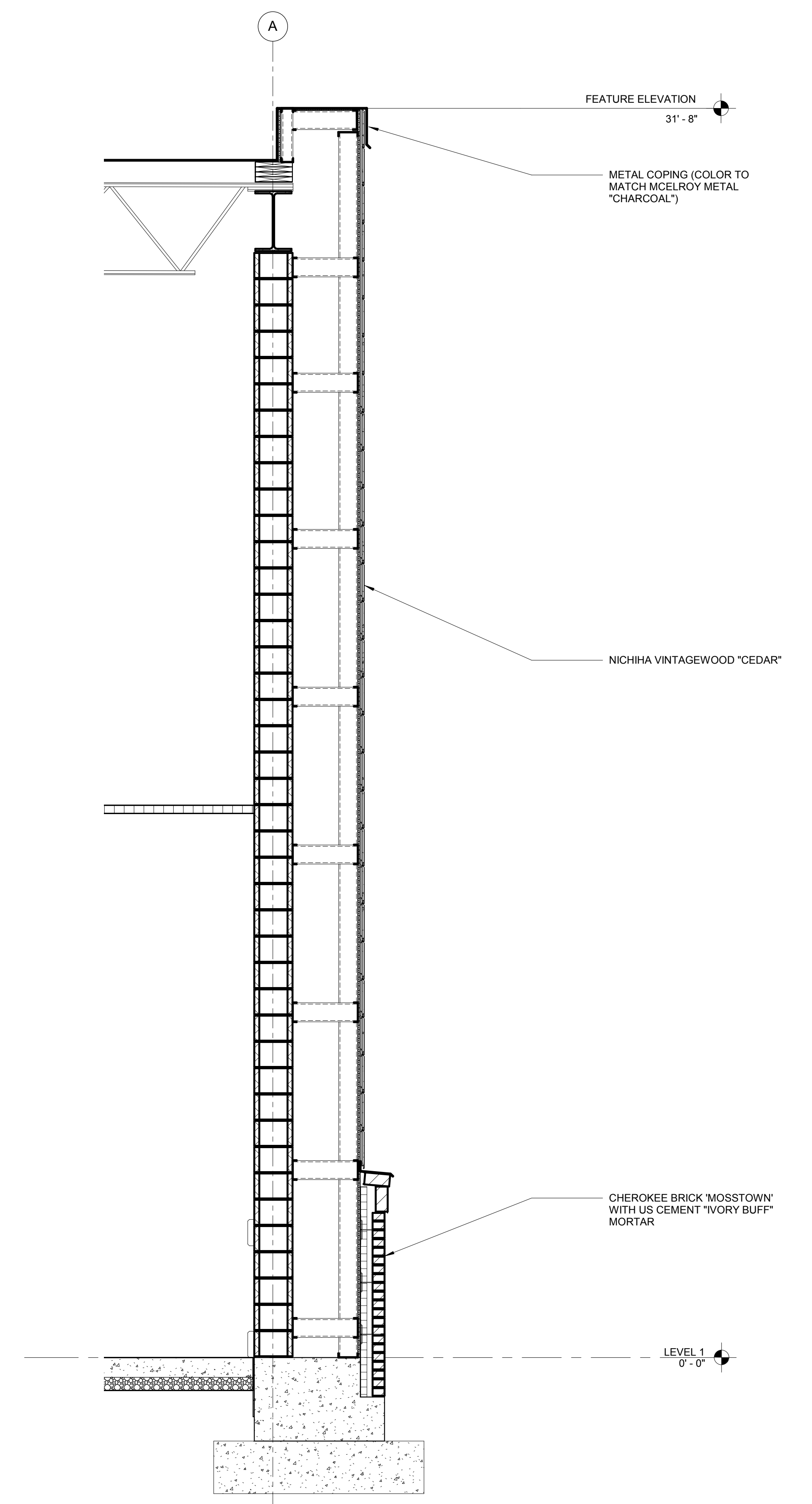
1/9/2018

NOT FOR CONSTRUCTION

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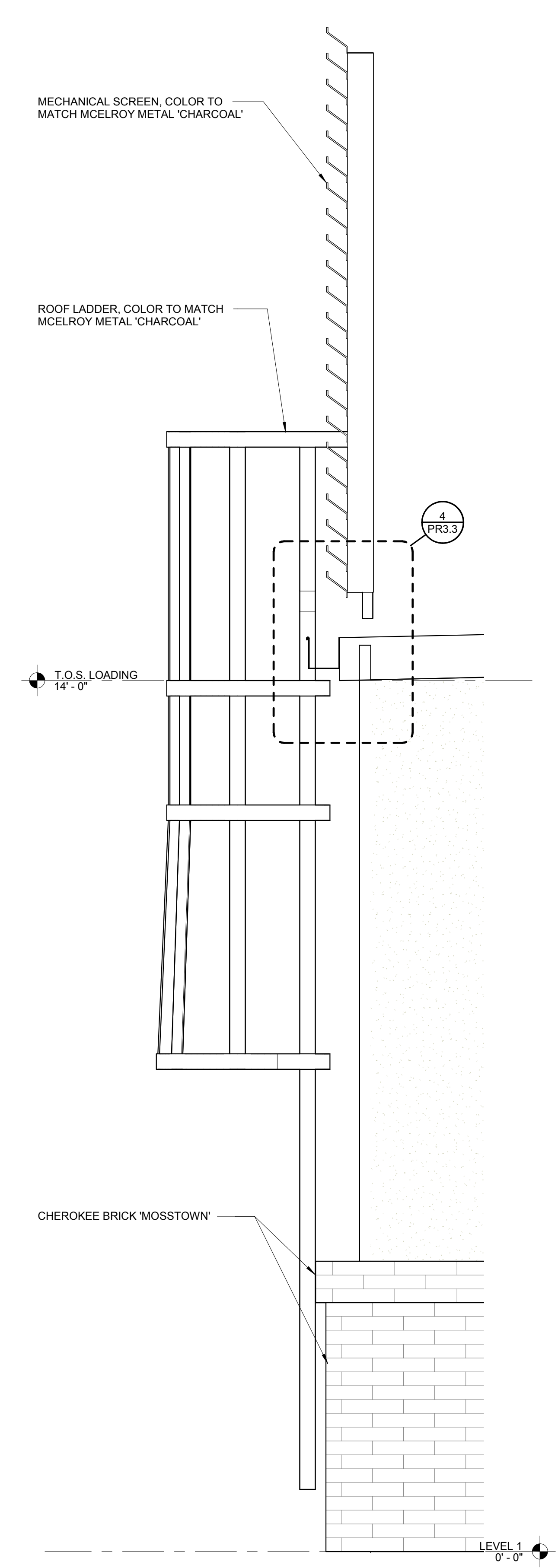


1 Exterior Section
1/2" = 1'-0"

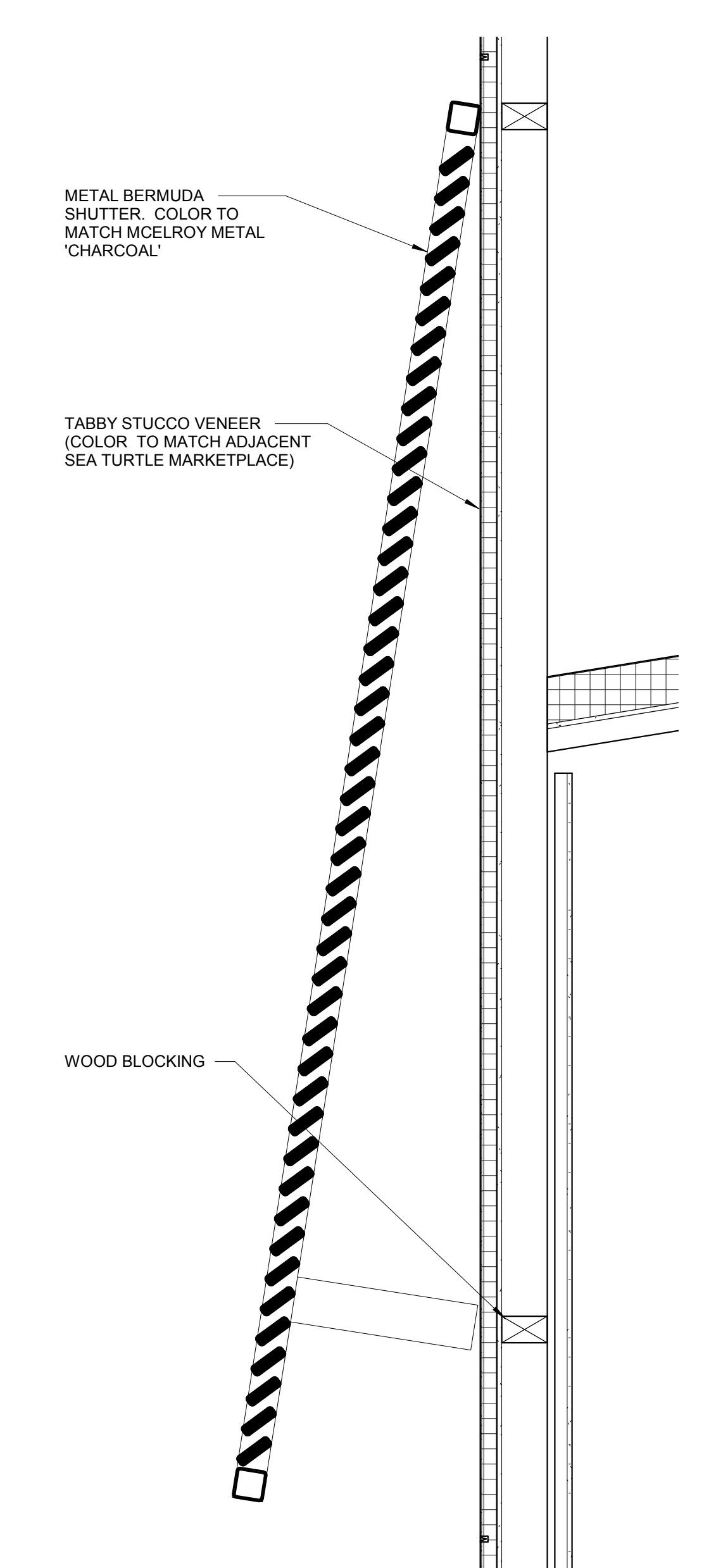


2 Exterior Section
1/2" = 1'-0"

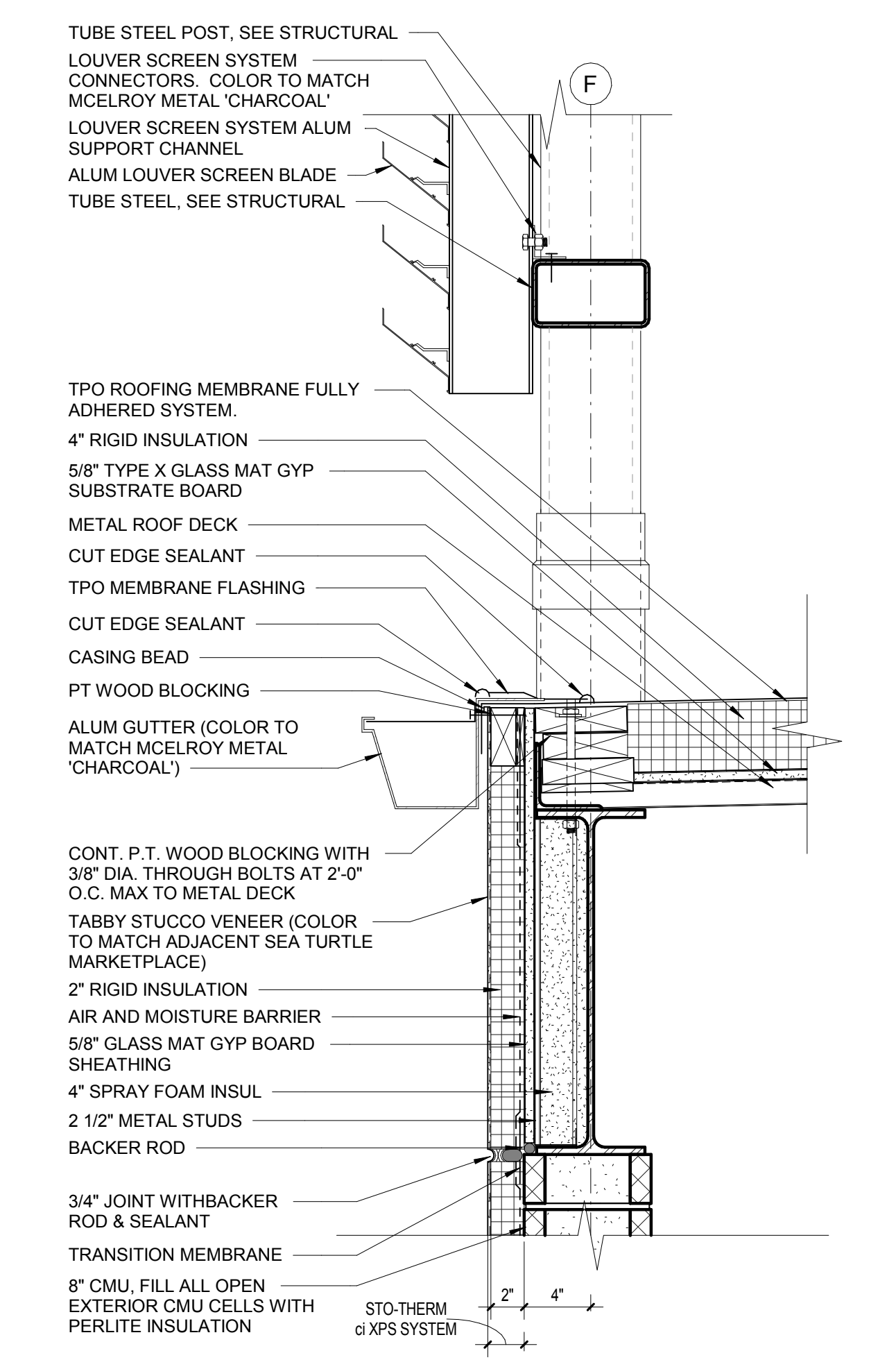
 400 augusta street, suite 200 greenville, sc 29601 po box 8922 greenville, sc 29604 o: 864.242.2033 / f: 864.242.2034 www.mcmillanpazdansmith.com <small>alabama arizona arkansas florida georgia south carolina</small>	 LIDL US, LLC LiDL Store #1130 430 William Hilton Parkway Hilton Head Island, SC	Issued 1/9/2018 NOT FOR CONSTRUCTION Revisions	WALL SECTIONS Scale: 1/2" = 1'-0" Drawn: Author Checked: Checker Project: 15273.09 PR3.2
		1/9/2018	



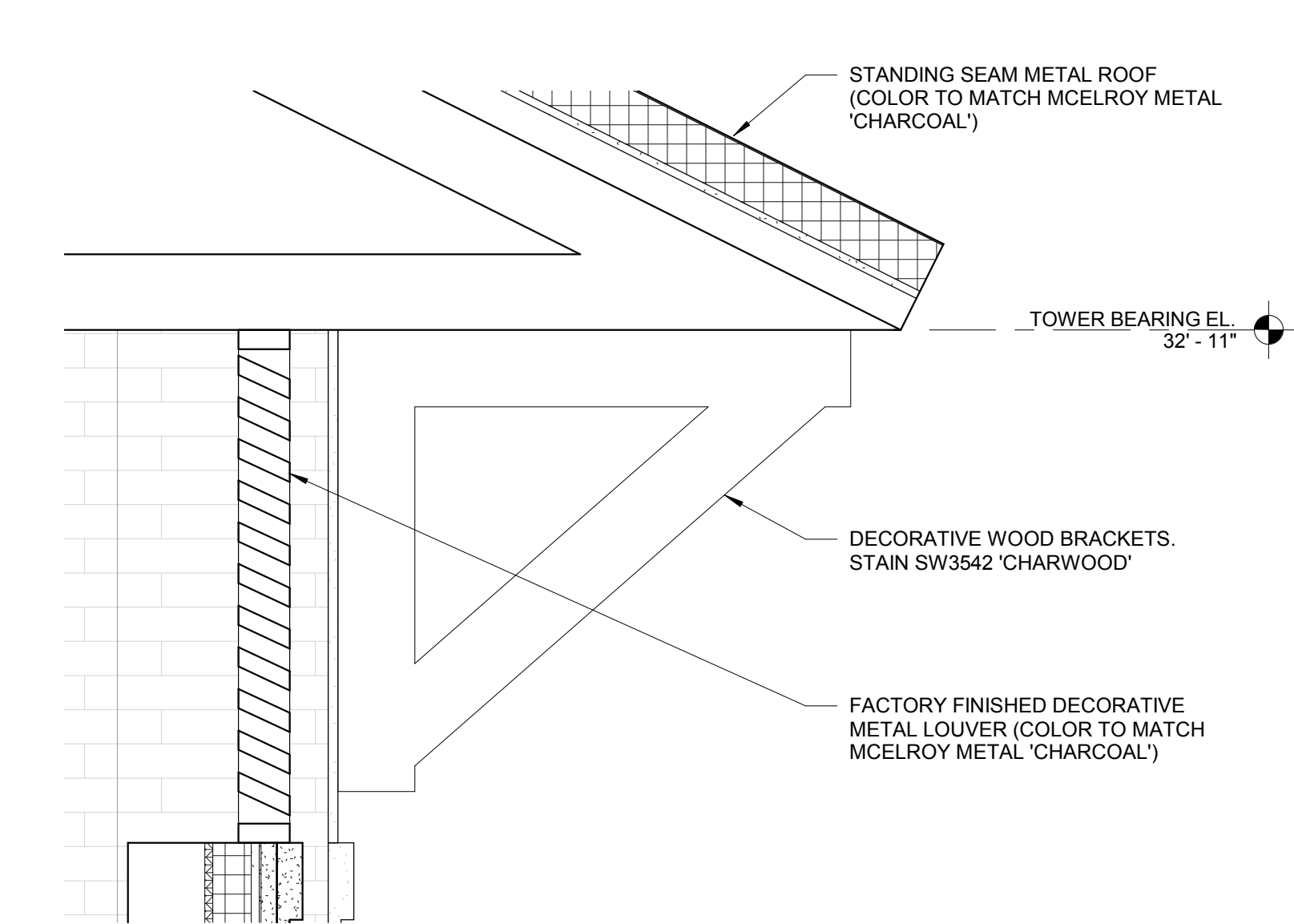
1 ROOF LADDER DETAIL
3/4" = 1'-0"



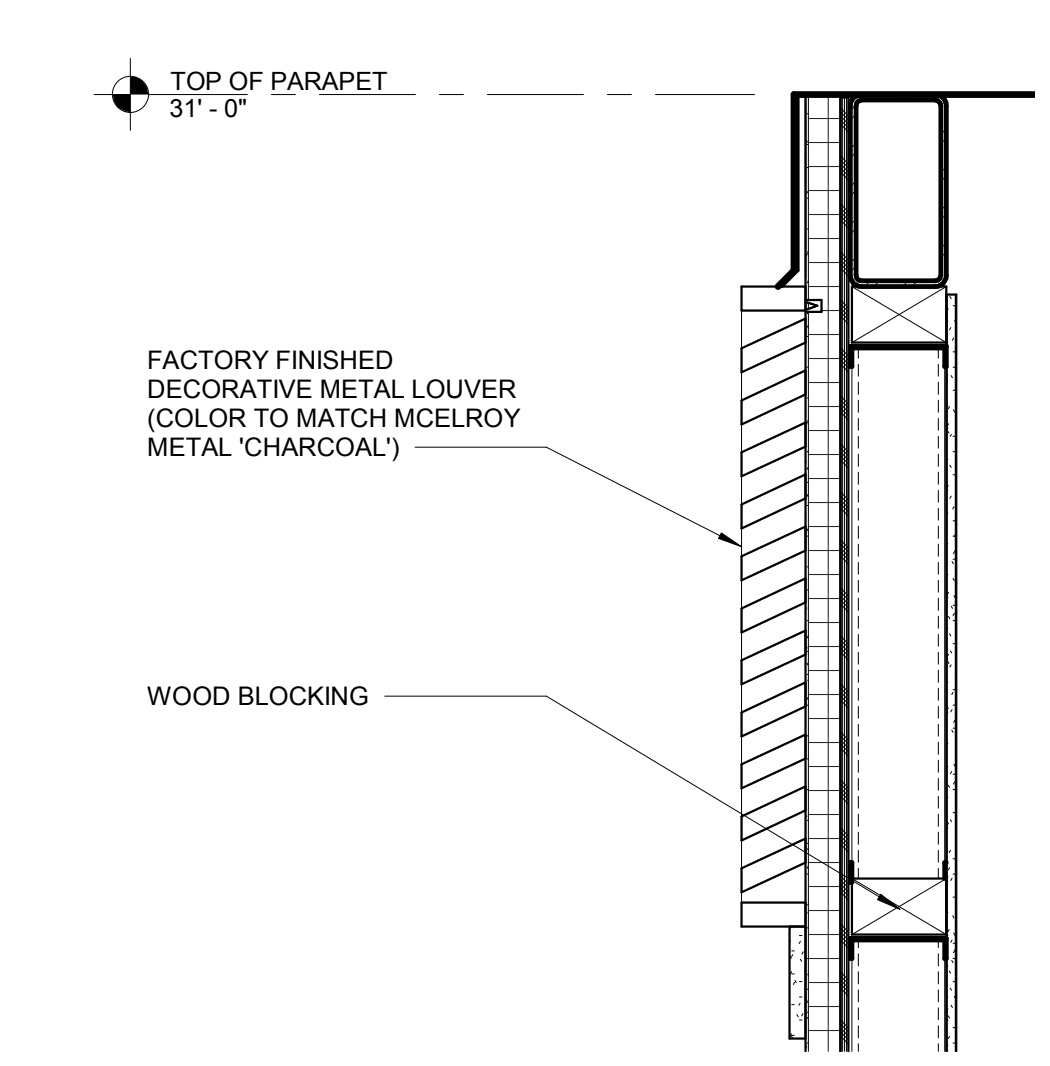
2 BAHAMA SHUTTER DETAIL
3/4" = 1'-0"



4 MECHANICAL SCREEN DETAIL (REAR)
1 1/2" = 1'-0"



5 BRACKET DETAIL
1" = 1'-0"



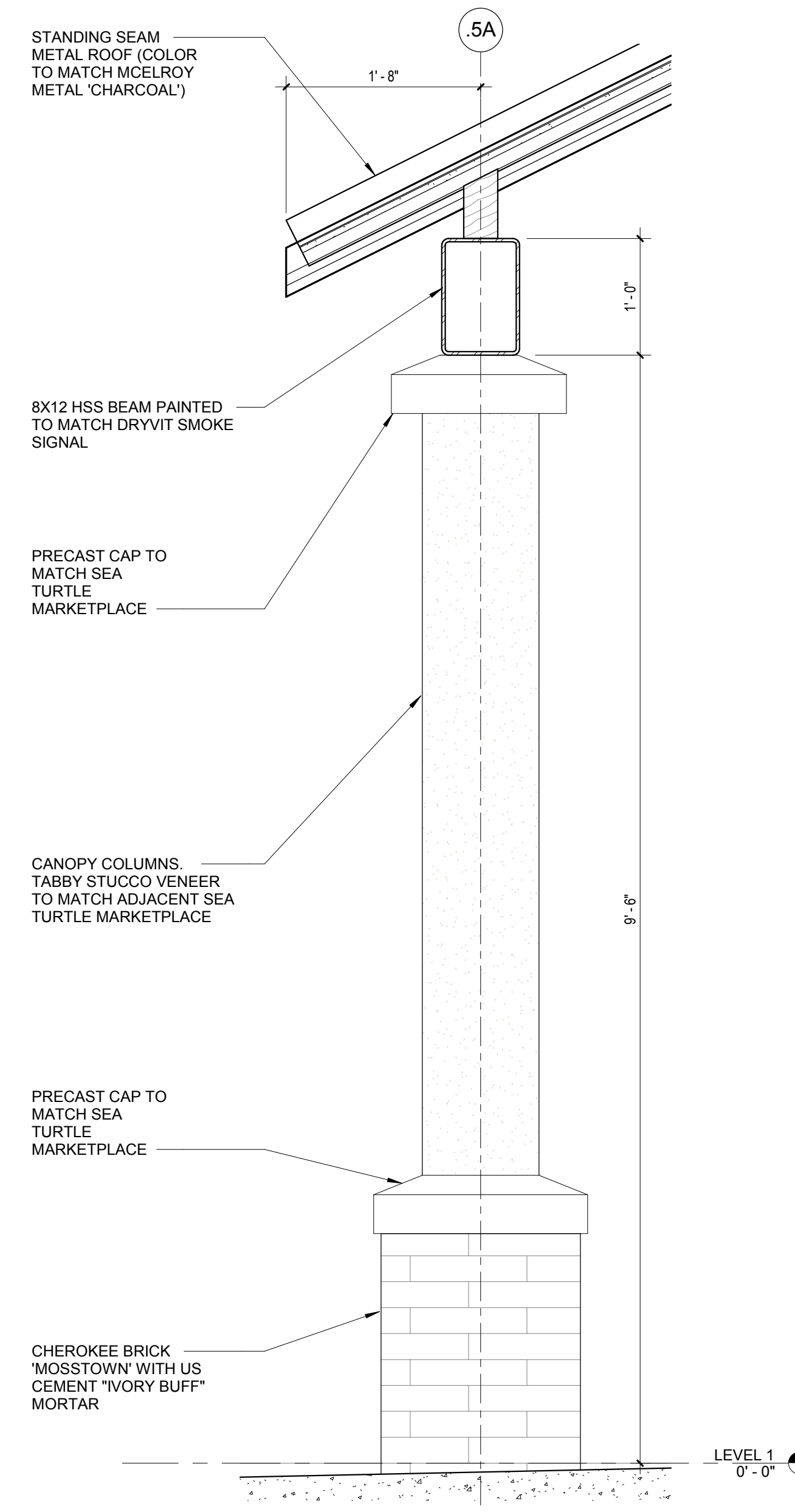
7 LOUVERS AT HIGH ROOF
1" = 1'-0"

mcmillan pazdan smith ARCHITECTURE
400 augusta street, suite 200
greenville, sc 29601
po box 8922
greenville, sc 29604
o: 864.242.2033 / f: 864.242.2034
www.mcmillanpazdansmith.com

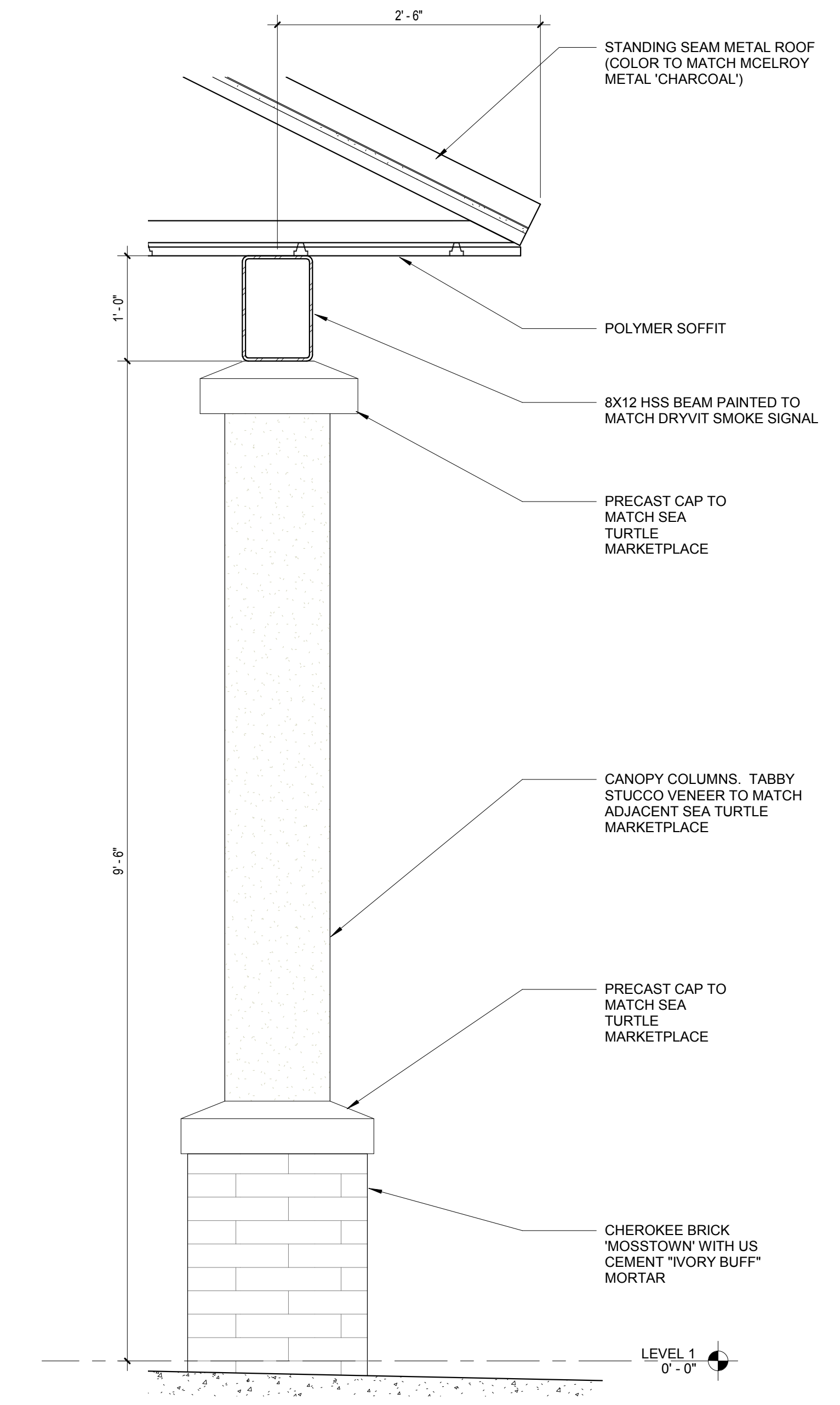
LIDL US, LLC
LIDL Store #1130
430 William Hilton Parkway
Hilton Head Island, SC

Issued 1/9/2018
NOT FOR CONSTRUCTION
Revisions

DETAILS
Scale: As indicated
Drawn: Author
Checked: Checker
Project: 15273.09
PR3.3

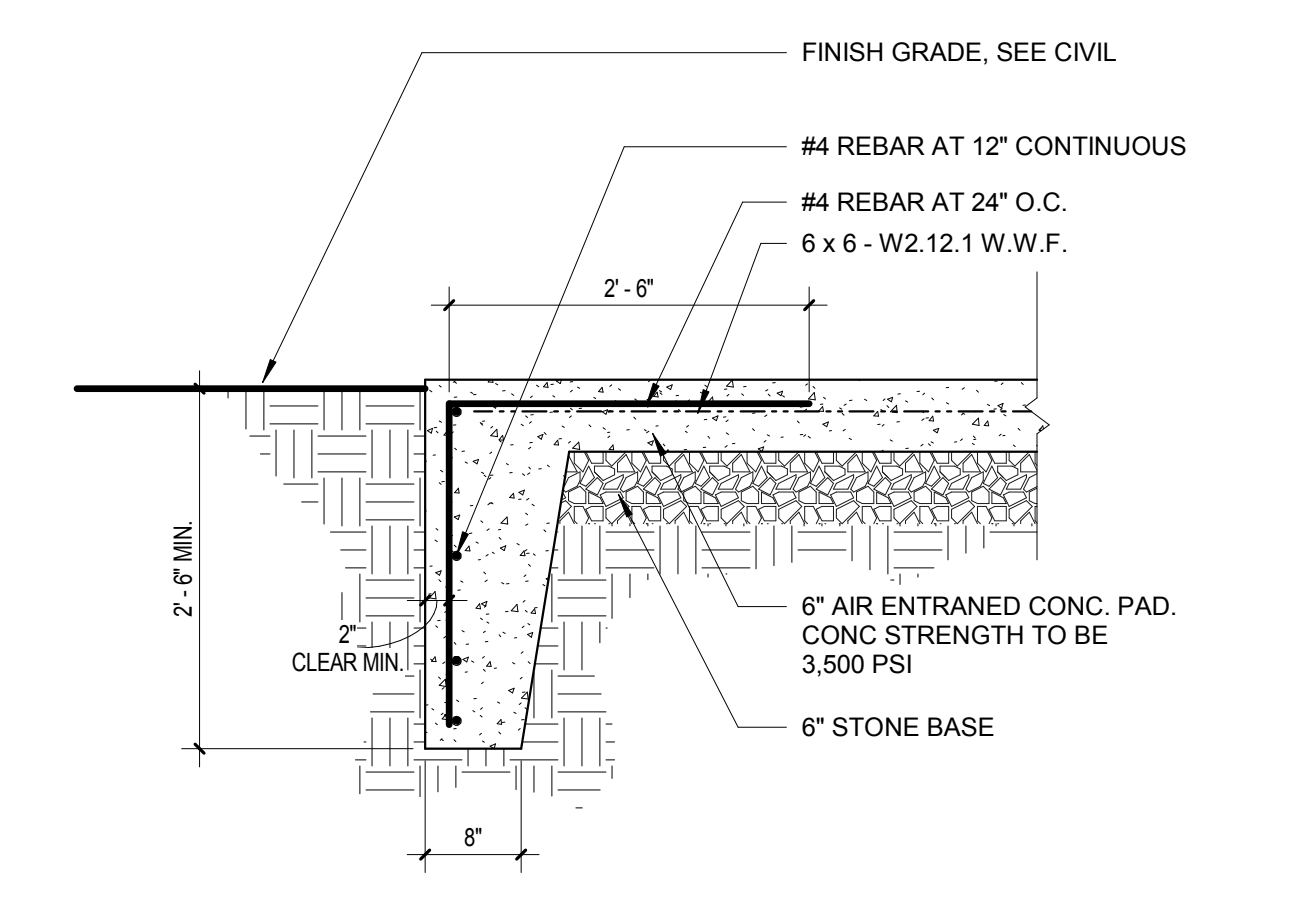
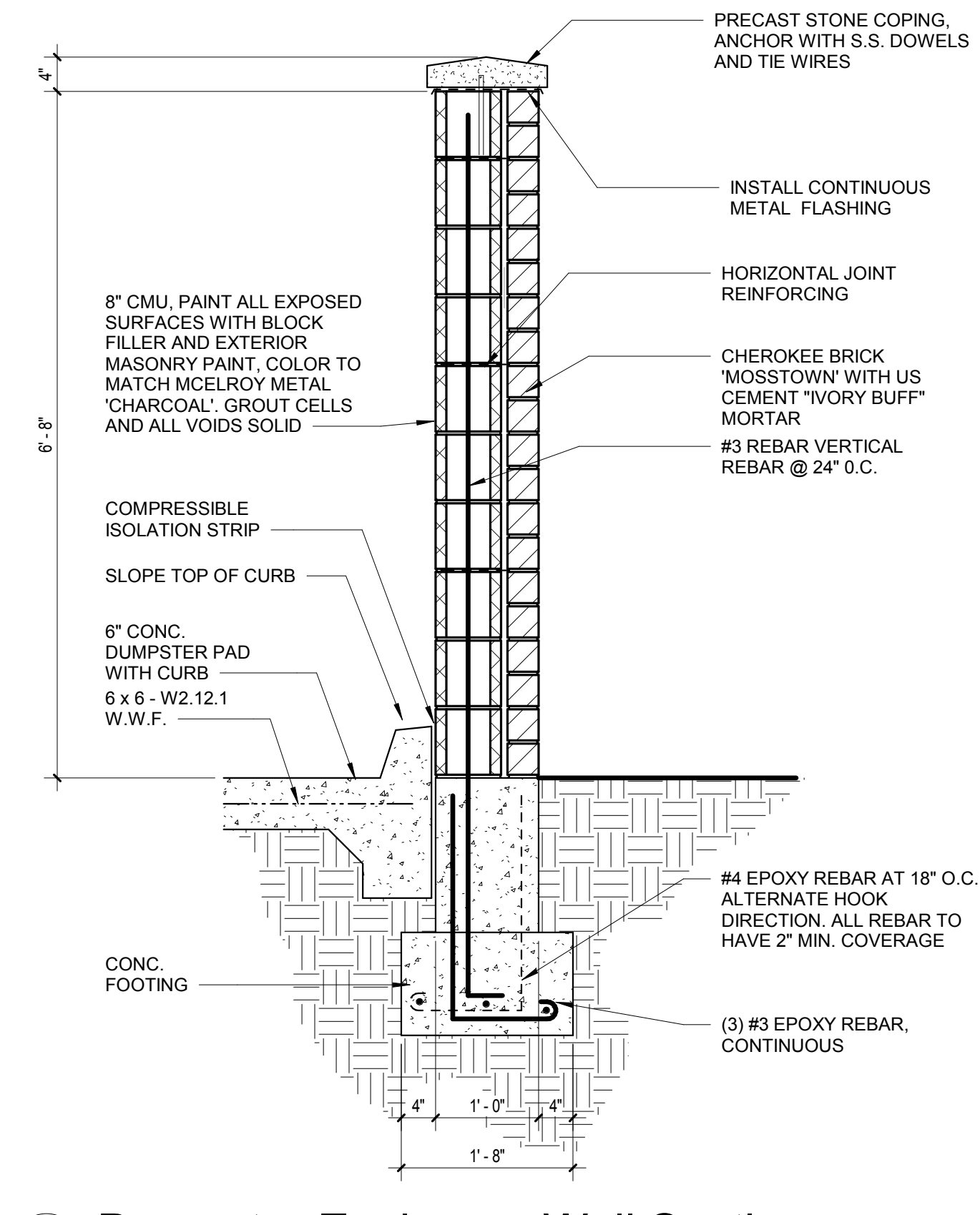
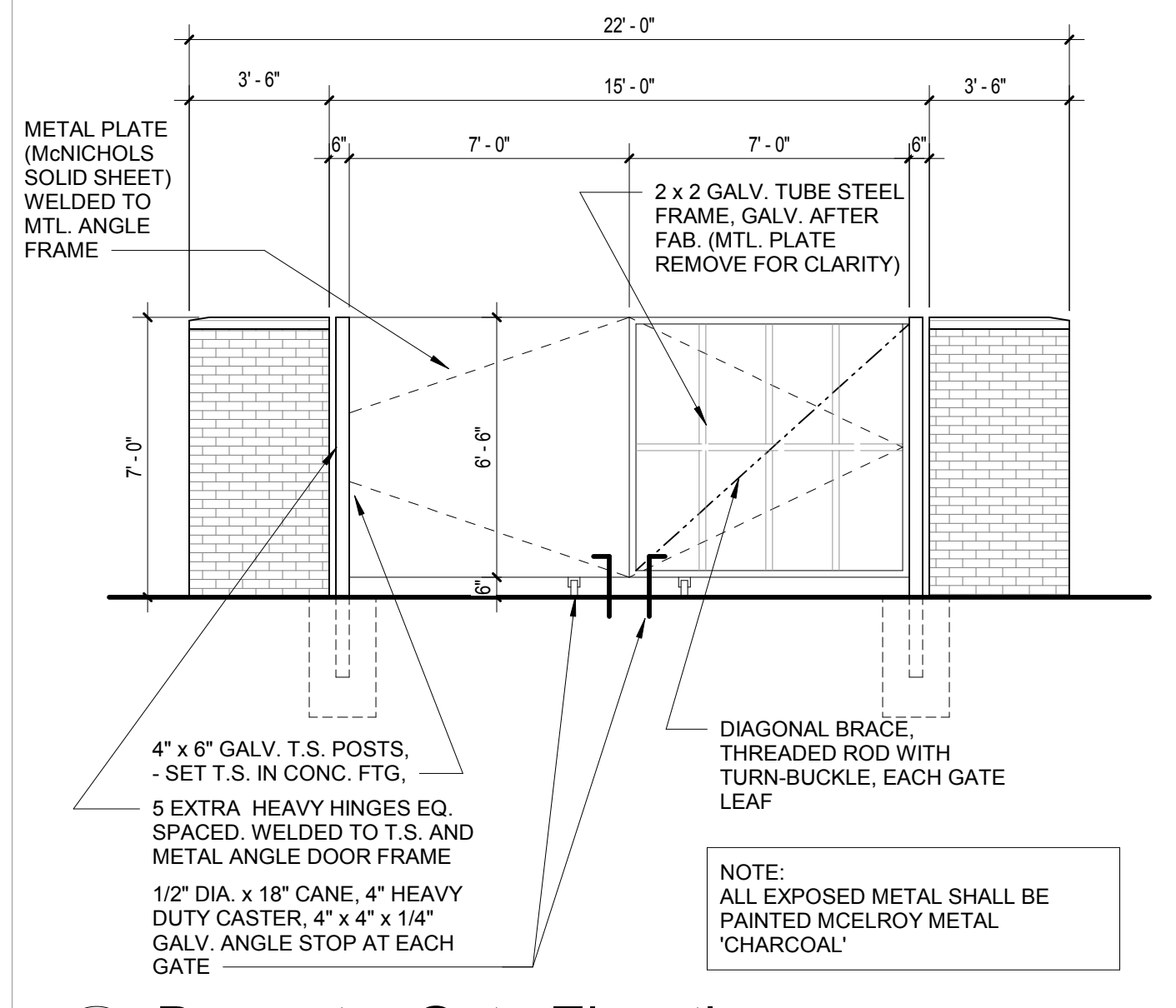
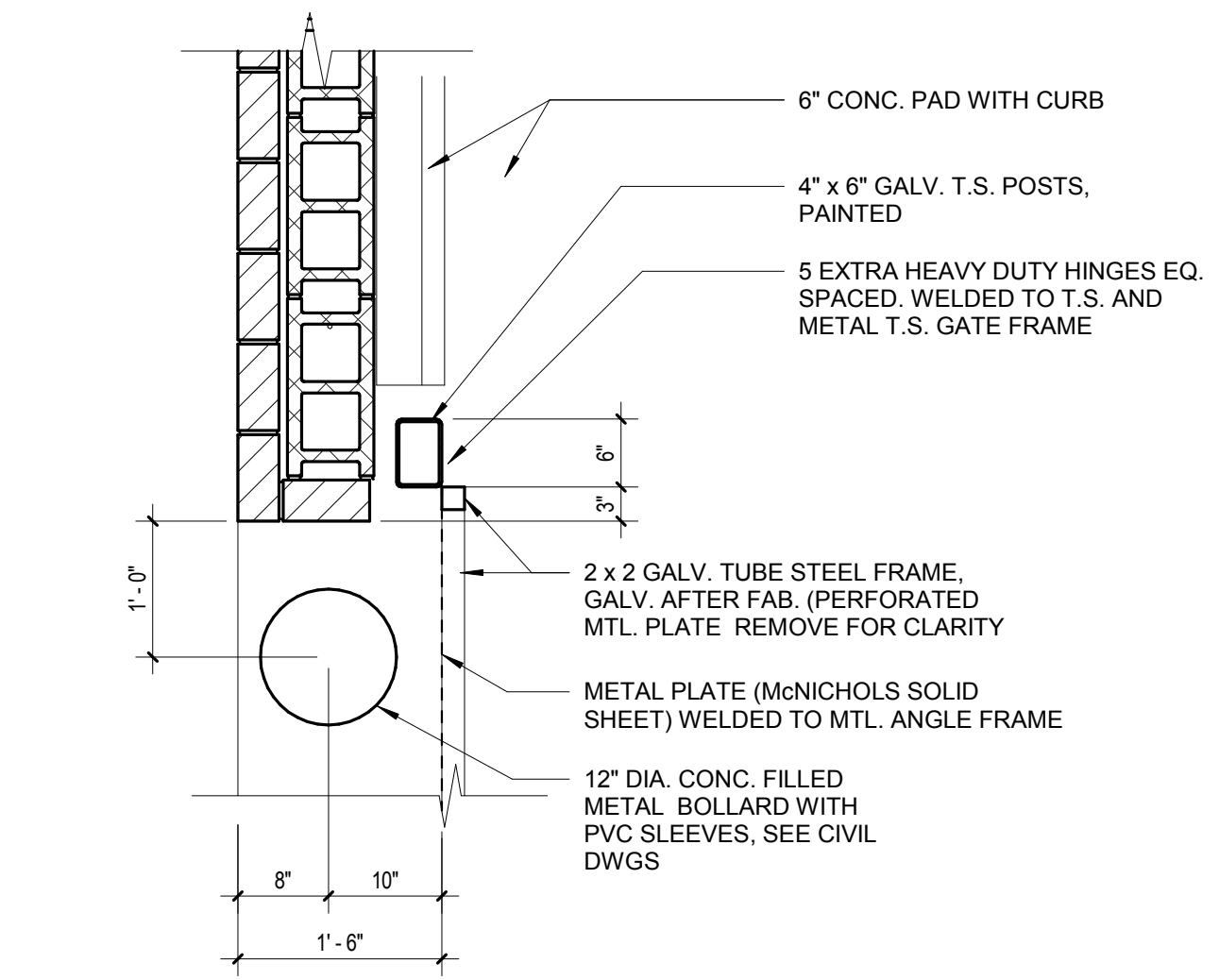
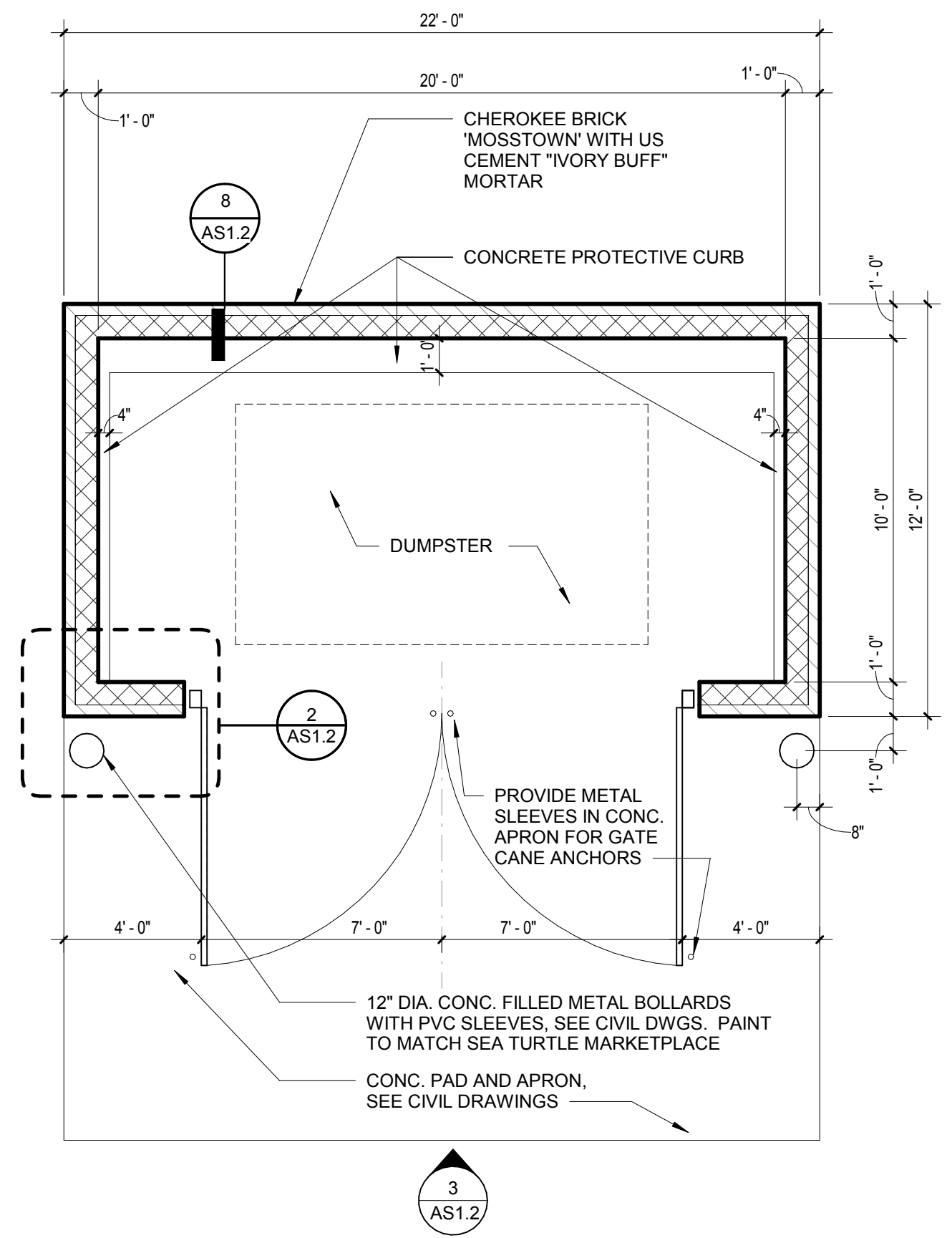


1 CART CORRAL COLUMN DETAIL
1" = 1'-0"

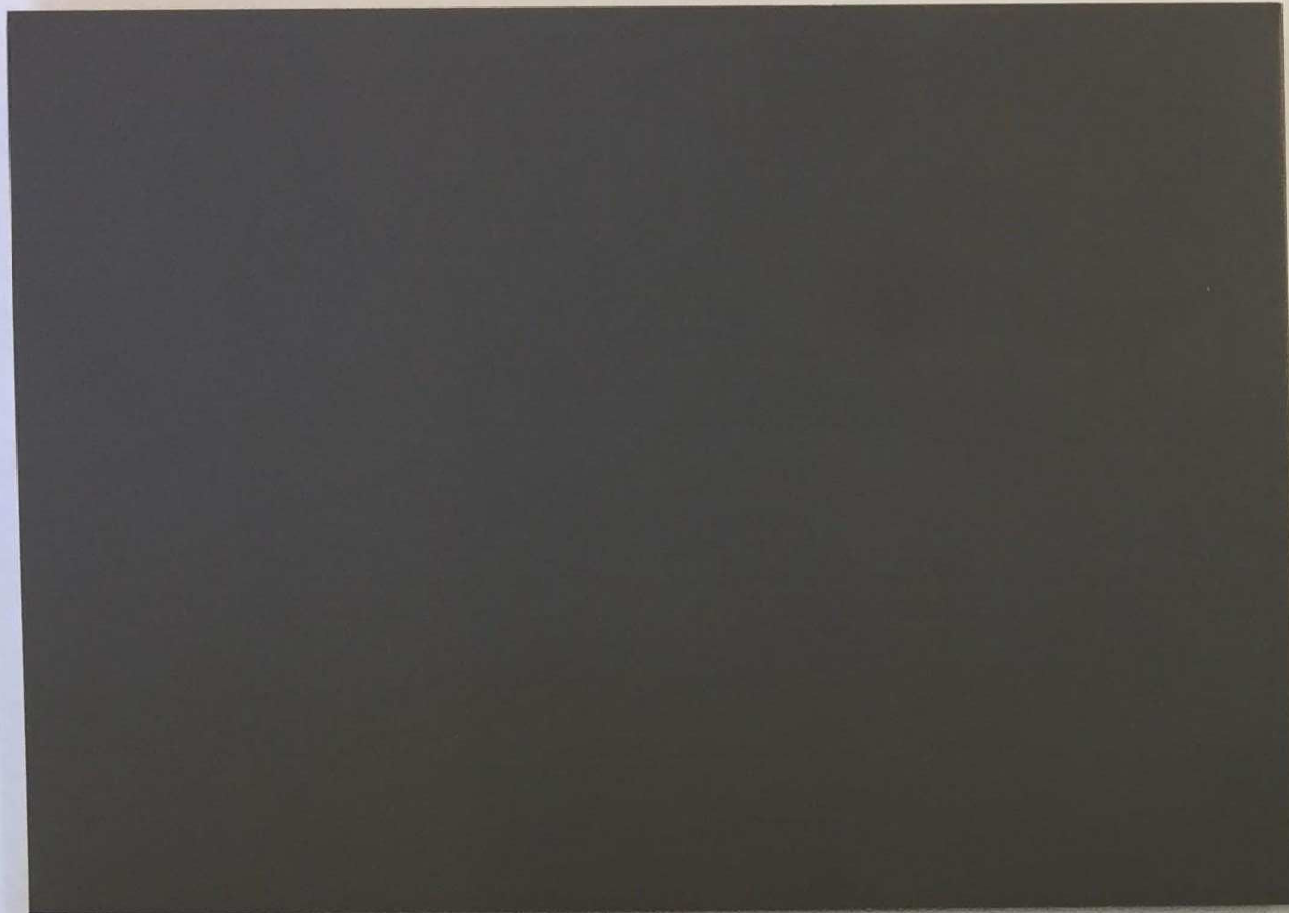


2 PEDESTRIAN WALKWAY COLUMN DETAIL
1" = 1'-0"

 400 augusta street, suite 200 greenville, sc 29601 po box 8922 greenville, sc 29604 o: 864.242.2033 / f: 864.242.2034 www.mcmillanpazdansmith.com <small>alabama arkansas charlotte charlotte georgia south carolina</small>	 LIDL US, LLC LiDL Store #1130 430 William Hilton Parkway Hilton Head Island, SC	Issued 1/9/2018 NOT FOR CONSTRUCTION Revisions	DETAILS
		Documents for: Scale: 1" = 1'-0" Drawn: Author Checked: Checker Project: 15273.09 1/9/2018	PR3.4



 400 augusta street, suite 200 greenville, sc 29601 po box 8922 greenville, sc 29604 o: 864.242.2033 / f: 864.242.2034 www.mcmillanpazdansmith.com <small>alabama arkansas carolina georgia south carolina</small>	 Documents for: LIDL US, LLC LiDL Store #1130 430 William Hilton Parkway Hilton Head Island, SC	Issued 1/9/2018 NOT FOR CONSTRUCTION Revisions	ARCHITECTURAL SITE DETAILS Scale: As indicated Drawn: JMG Checked: CJC Project: 15273.09
		1/9/2018	



RULON ENDURE: LIDL CUSTOM AMBER BAMBOO

MCELROY METAL - CHARCOAL

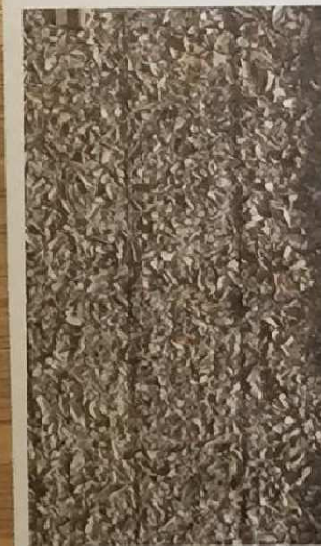
CHEROKEE BRICK 'MOSS TOWN'



CHEROKEE BRICK 'OLD MISSISSIPPI'



NICHIHA VINTAGEWOOD 'CEDAR'



TABBY STUCCO VENEER TO MATCH ADJACENT SEA TURTLE MARKETPLACE (EXAMPLE SHOWN)



SW3542 CHARWOOD

CONSTRUCTION PLANS

FOR

LIDL US OPERATIONS, LLC

PROPOSED GROCERY STORE #P000554

LOCATION OF SITE

80 MATHEWS DRIVE PARKWAY
 HILTON HEAD ISLAND, SC 29926
 TAX PARCEL ID: R511 008 000 0248
 BEAUFORT COUNTY, SOUTH CAROLINA

CONTACT INFORMATION

REFERENCES

SURVEY:
 "EXHIBIT A1" A/C/S/M LAND TITLE SURVEY SHOWING PROPOSED LEASE AREA: PINELAND STATION, HILTON HEAD ISLAND"
 SEA ISLAND LAND SURVEY, LLC.
 FILE NO. 15247
 DWG NO. S-1694
 DATED: 10/20/16

GEOTECHNICAL INVESTIGATION REPORT:
 "REPORT OF GEOTECHNICAL EXPLORATION - MGP HILTON HEAD"
 PREPARED BY ECS SOUTHEAST, LLC
 ECS PROJECT NO. 23-2773
 DATED: 10/05/15

ENVIRONMENTAL SITE ASSESSMENT:
 "PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT PROPOSED MGP - HILTON HEAD"
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 34-2588
 DATED: 10/02/15

GOVERNING AGENCIES

TOWN OF HILTON HEAD ISLAND - PLANNING COMMISSION
 ONE TOWN CENTER COURT
 HILTON HEAD ISLAND, SC 29928
 PHONE: (843) 341-4757
 EMAIL: cdc@hiltonheadislandsc.gov

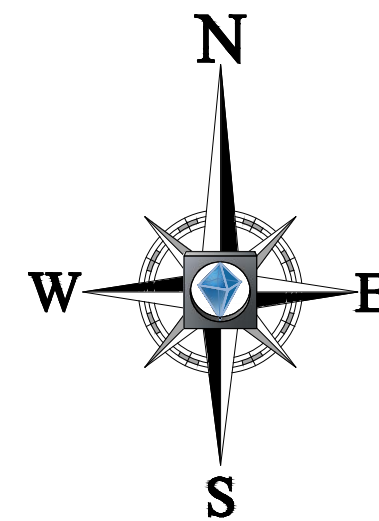
TOWN OF HILTON HEAD ISLAND - PUBLIC SERVICE DISTRICT
 21 OAK PARK DRIVE
 HILTON HEAD ISLAND, SC 29926
 CONTACT: BRYAN MCLLWEE, P.E. - ASSISTANT TOWN ENGINEER
 PHONE: (843) 681-5525
 EMAIL: bryann@hiltonheadislandsc.gov

SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT)
 DISTRICT 6
 BRIAN M HOLT - SCDOT DISTRICT TRAFFIC ENGINEER
 6355 FAIN BLVD.
 N. CHARLESTON, SC 29406
 PHONE: (843) 740-1667

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SCDHEC)
 LOWCOUNTRY EDC BEAUFORT
 104 PARKER DRIVE
 BEAUFORT, SC 29906
 PHONE: (843) 846-9400

UTILITY SERVICE CONTACTS

SERVICE	UTILITY / GOVERNING AGENCY
WATER AND SEWER	HILTON HEAD PUBLIC SERVICE DISTRICT WATER SERVICES 21 OAK PARK DRIVE HILTON HEAD ISLAND, SC 29926 PHONE: (843) 681-5525
STORMWATER AND EROSION CONTROL	BRYAN MCLLWEE, P.E. ASSISTANT TOWN ENGINEER/ STORMWATER MANAGER 21 OAK PARK DRIVE HILTON HEAD ISLAND, SC 29926 EMAIL: bryann@hiltonheadislandsc.gov



SITE LOCATION MAP

SCALE: 1"=1,000'

DRAWING SHEET INDEX

COVER SHEET	(C-0.0)
GENERAL NOTES	(C-0.1)
ALTA SURVEY (BY OTHERS)	-
EXISTING CONDITIONS & DEMOLITION PLAN	(C-1.0)
SITE PLAN	(C-2.0)
GRADING & DRAINAGE PLAN	(C-3.0)
UTILITY PLAN	(C-4.0)
PHASE I EROSION & SEDIMENT CONTROL PLAN	(C-5.0)
PHASE II EROSION & SEDIMENT CONTROL PLAN	(C-5.1)
TREE PRESERVATION PLAN	(C-7.0)
SITE DETAILS 1	(D-1.0)
SITE DETAILS 2	(D-1.1)
EROSION & SEDIMENT CONTROL DETAILS 1	(D-2.0)
EROSION & SEDIMENT CONTROL DETAILS 2	(D-2.1)
EROSION & SEDIMENT CONTROL NOTES	(D-2.2)
LANDSCAPE PLAN	(LA-1)
IRRIGATION PLAN	(LA-2)
LANDSCAPE DETAILS	(LA-3)

NOTES

PER LMO 16-2-103.P, THIS PROJECT SHALL OBTAIN APPROVAL OF A CERTIFICATE OF COMPLIANCE (C OF C) PRIOR TO THE ACTUAL OCCUPANCY OR USE OF THE SITE OR STRUCTURE. WHEN THE SITE WORK IS COMPLETE, SUBMIT A CERTIFICATE OF COMPLIANCE APPLICATION AND ALL REQUIRED ITEMS TO ANNE CYRAN AT ANNEC@HILTONHEADISLANDSC.GOV. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE C OF C INSPECTION AND ANY REQUIRE RE-INSPECTIONS.

DEVELOPER

LIDL US OPERATIONS, LLC
 STORE # P000554
 1500 SUNDAY DRIVE, SUITE 101
 RALEIGH, NC 27607
 TELEPHONE (703) 851-6827
 CONTACT: LINDSAY LOCKE
 EMAIL: LINDSAY.LOCKE@LIDL.US



PREPARED BY
BOHLER
 ENGINEERING NC, PLLC
 NCBELS P-1132

4130 PARKLAKE AVE., SUITE 130

RALEIGH, NC 27612

Phone: (919) 578-9000

Fax: (919) 703-2665

NC@BohlerEng.com

CONTACT: ANDREW MORIARTY - AMORIARTY@BOHLERENG.COM

SURVEYOR

SEA ISLAND LAND SURVEY, LLC
 4D MATTHEWS COURT
 HILTON HEAD ISLAND, SC 29926
 LICENSE NO.: C02180
 TELEPHONE (843) 681-3248

ALERT TO CONTRACTOR:

- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM



KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

NOT APPROVED FOR
 CONSTRUCTION

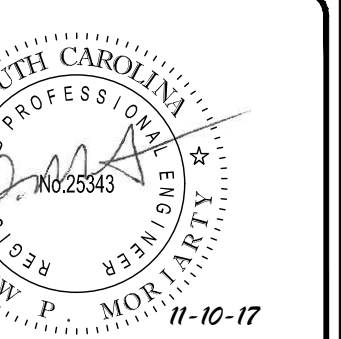
PROJECT No: NCR151023
 DRAWN BY: MJH
 CHECKED BY: WLB
 DATE: 12/22/16
 SCALE: AS NOTED
 CAD I.D.: SD1

PROJECT:
CONSTRUCTION PLANS

FOR
LIDL US OPERATIONS, LLC

LOCATION OF SITE
 SEA TURTLE MARKETPLACE
 80 MATHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

BOHLER
 ENGINEERING NC, PLLC
 NCBELS P-1132
 4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

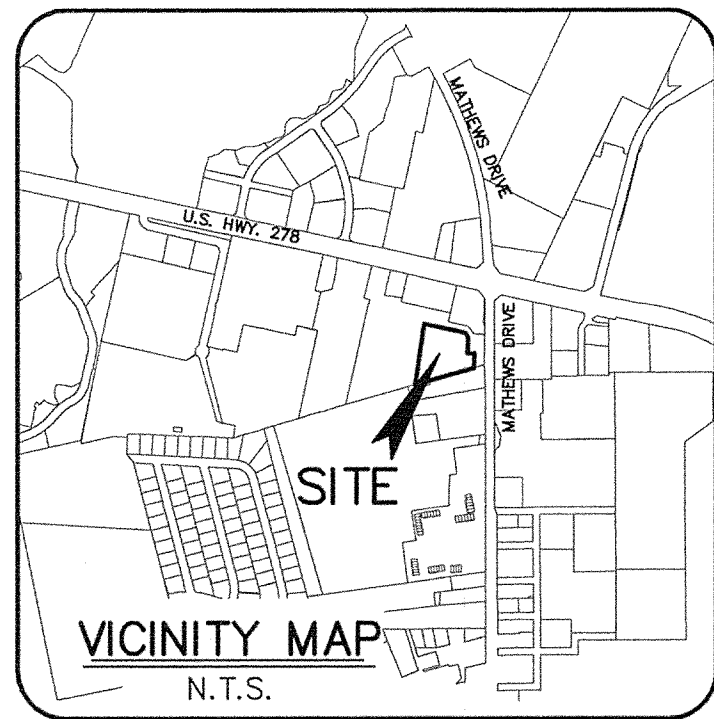


SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-0.0



REFERENCE PLAT

- 1) PLAT OF PROPERTY OF THE HILTON HEAD COMPANY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 4/23/74. RECORDED IN BOOK 22, PAGE 80. BEAUFORT COUNTY, SC. BY: BENJAMIN WILSON
- 2) A BOUNDARY PLAT OF A PORTION OF PINELAND STATION, MATHEWS DRIVE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 1/25/01. RECORDED IN BOOK 77, PAGE 164, DATED 01/25/01. BEAUFORT COUNTY, SC. BY: WRIGHT C. POWERS S.C.R.L.C. # 19845
- 3) PLAT PARCELS A & B ADJACENT TO PINELAND MALL, SOUTHWEST INTERSECTION U.S. HWY. 278 & S.C. 44, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: MAY 1978. RECORDED IN BOOK 26, PAGE 208. BEAUFORT COUNTY, SC. BY: FREISLEBEN S.C.R.L.C. # 4624
- 4) EASEMENT PLAT SHOWING A PERMANENT ACCESS EASEMENT THROUGH BUFFER R51-008-000-0156-00, PROPERTY OF TOWN OF HILTON HEAD ISLAND PREPARED FOR THE TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: JULY 14, 2008. RECORDED IN BOOK 126, PAGE 30, DATED: 05/14/2009. BEAUFORT COUNTY, SC. BY: FRANKIE MANHARDT S.C.R.L.C. # 23839

- SYMBOLS**
- IPS O - 1/2" IRON PIN SET WITH CAP
 - ☐ - TELEPHONE SERVICE
 - ▣ - TELEVISION SERVICE
 - ☐ - CATCH BASIN
 - ⊕ - MONITORING WELL
 - ⊕ - ELECTRIC TRANSFORMER
 - ⊕ - WATER METER
 - ⊕ - VALVE BOX
 - ⊕ - SANITARY MANHOLE
 - PLTR - PLANTER
 - ☉ - FIRE HYDRANT
 - ☉ - SIGN
 - ⊕ - ELECTRIC SERVICE
 - ☉ - LIGHT POLE
 - E.O.P. - EDGE OF PAVEMENT
 - B.O.C. - BACK OF CURB
 - I.E. - INVERT ELEVATION
 - PVC - POLYVINYL CHLORIDE
 - SS - SANITARY SEWER
 - UL - UNDERGROUND ELECTRICAL
 - FM - FORGED IRON
 - WL - WATER LINE

PARCEL	LAND USE	RATIO
A	SHOPPING CENTRE	1 PARKING PER 200 SQ. FT GROSS FLOOR AREA
B	BANKING AND FINANCIAL INSTITUTION	1 PER/ 225 SQ. FT
E & G	EATING ESTABLISHMENT	1 PER/ 100 SQ. FT.
F	PARKING, COMMERCIAL	N/A

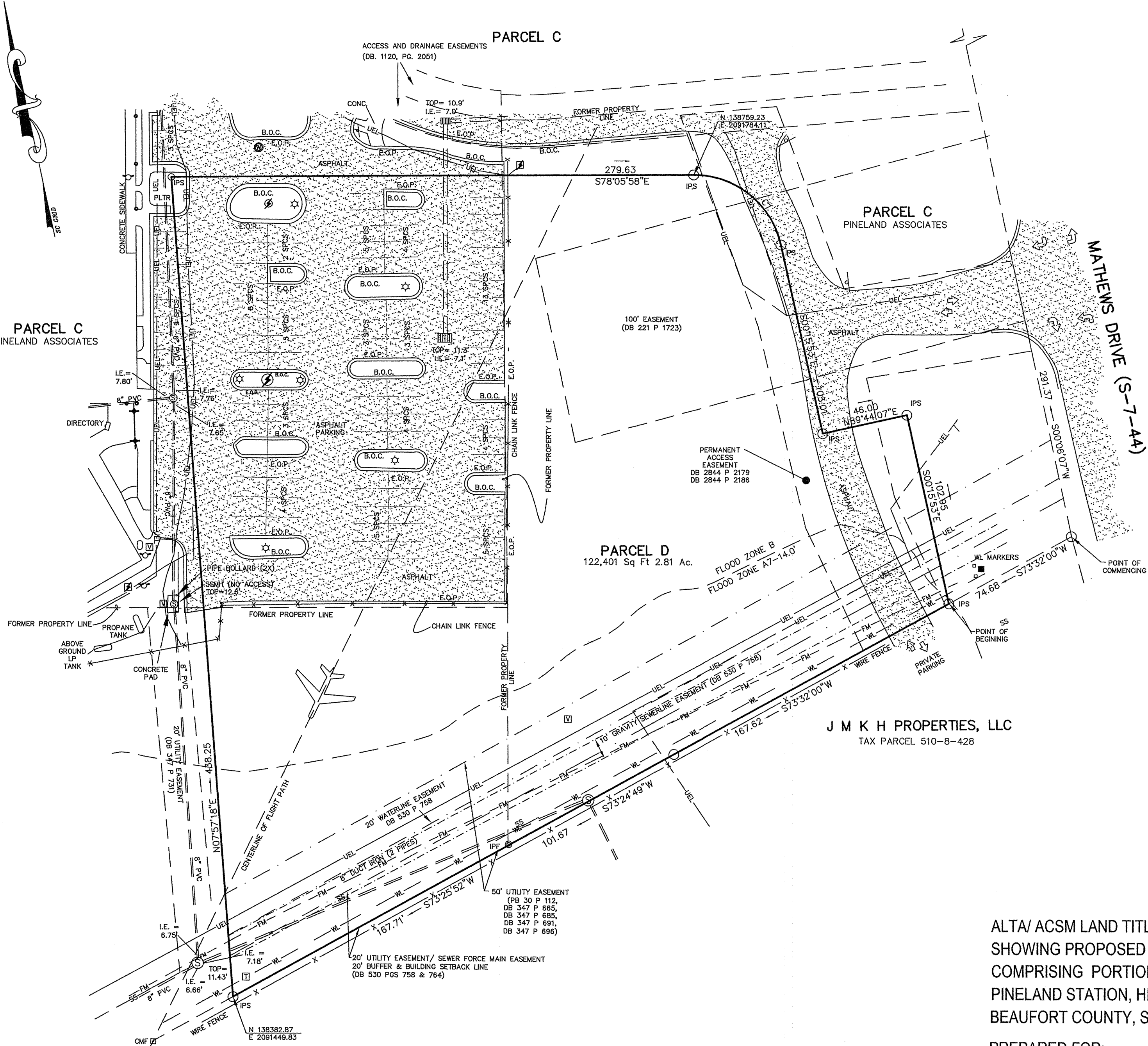
ITEMS CORRESPONDING TO SCHEDULE B-II

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. DOES NOT AFFECT SURVEY
2. Rollback Taxes on the property which may be assessed under the rollback provisions of Section 12-43-220 of the code of Laws of South Carolina (1976, as amended). DOES NOT AFFECT SURVEY
3. Rights of parties in possession as tenants only, under unrecorded lease(s) or rental. DOES NOT AFFECT SURVEY
4. Encroachments, overlaps, boundary line disputes, deficiency in amount of area, rights, easements, ditches, cartways, setbacks, rights of parties in possession, interests or claims which would be revealed by a current and accurate survey and inspection of the Land. NONE
5. Terms, provisions, covenants, conditions, easements and restrictions as provided in Covenants, Conditions, Restrictions, and Assessments, recorded in Book 210, Page 1033, as amended in Deed Book 265, Page 847, Deed Book 347, Page 701, Deed Book 347, Page 710, Deed Book 321, Page 859, and Deed Book 1362, Page 1704, Beaufort County Registry. DOES AFFECT THIS PROPERTY
6. Terms, provisions, covenants and restrictions as provided in Covenants, Conditions, Restrictions and Assessments, recorded in Book 207, Page 1841, as amended in Deed Book 1037, Page 2498, Beaufort County Registry. Reference is being made to the records thereof for full particulars. NOTE: The restrictions hereby referenced contain provisions which establish easements and provide for an option to repurchase referred to Property Research Holdings, Inc., successor in Interest to the Hilton Head Company, Inc. DOES NOT AFFECT THIS PROPERTY
7. Restrictions and easements contained in that certain Declaration of Restrictions and Easements recorded in Book 1120, Page 2051, and re-recorded in Book 1140, Page 1043, Beaufort County Registry. Reference is being made to the records thereof for full particulars. DOES NOT AFFECT THIS PROPERTY
8. Easements, restrictions and covenants contained in that certain Declaration of Easements recorded in Book 1140, Page 1052, Beaufort County Registry. [Parcel A and apartment reciprocal easement] DOES NOT AFFECT THIS PROPERTY
9. Rights of others under the terms and conditions of that certain Agreement Regarding Easements and Restrictions recorded in Book 347, Page 742, Beaufort County Registry. [Parcel "1" Only] DOES NOT AFFECT THIS PROPERTY
10. Easement granted to Central Electric Power Cooperative recorded in Book 179, Page 63, Beaufort County Registry. BLANKET EASEMENT
11. Easement(s) granted to The Hilton Head Company, Inc. recorded in Book 347, Pages 665, 670, 679, 685, 691, and 696, Beaufort County Registry. DOES NOT AFFECT THIS PROPERTY
12. Easement granted to Pineland Mall Associates recorded in Book 494, Page 1963, Beaufort County Registry. BLANKET EASEMENT
13. Drainage Easement Agreement with Town of Hilton Head Island recorded in Book 1603, Page 2411, Beaufort County Registry. DOES NOT AFFECT THIS PROPERTY
14. Terms and conditions of that certain Lease, for occupancy only with no rights or options to purchase, by and between Seaport Partners and Stein Mart as evidenced by that certain Memorandum of Lease recorded in Book 1148, Page 1208, Beaufort County Registry. DOES NOT AFFECT SURVEY
15. Waiver of Appraisal Rights recorded in Book 1941, Page 2460, Beaufort County Registry. DOES NOT AFFECT SURVEY
16. Waiver of Appraisal Rights recorded in Book 1941, Page 2462, Beaufort County Registry. DOES NOT AFFECT SURVEY
17. Waiver of Right of Repurchase recorded in Book 1941, Page 2410, Beaufort County Registry. DOES NOT AFFECT SURVEY
18. Easements and any other facts as shown on plat recorded in Plat Book 99, Page 4, Beaufort County Registry. DOES NOT AFFECT THIS PROPERTY
19. Memorandum of Tenancy in Common recorded between Pineland Associates, LLC and Cohoon Hilton Head, LLC recorded in Book 1941, Page 2460, Beaufort County Registry. DOES NOT AFFECT SURVEY
20. Avigation Easement Agreement between Pineland Associates, LLC, Cohoon Hilton Head, LLC and County of Beaufort recorded in Book 2375, Page 102, Beaufort County Records. BLANKET IN NATURE
21. Access Easement Agreement between Pineland Associates, LLC, Cohoon Hilton Head, LLC and Town of Hilton Head Island, South Carolina recorded in Book 2844, Page 2179, Beaufort County Records. SHOWN ON SURVEY
22. Easement Agreement between Pineland Associates, LLC, Cohoon Hilton Head, LLC and Town of Hilton Head Island, South Carolina recorded in Book 2844, Page 2192, Beaufort County Records. DOES NOT AFFECT THIS PROPERTY.
23. Access Easement Agreement between Pineland Associates, LLC, Cohoon Hilton Head, LLC and Town of Hilton Head Island, South Carolina recorded in Book 3149, Page 244, Beaufort County Records. DOES NOT AFFECT THIS PROPERTY.
24. Contractor's Notice of Project Commencement by Fraser Construction Company, LLC recorded in Book 3427, Page 2387, Beaufort County Registry. DOES NOT AFFECT SURVEY
25. Easements and any other facts as shown on plat recorded in Plat Book 128, Page 31, Beaufort County Registry. DOES NOT AFFECT THIS PROPERTY
26. No insurance is afforded as to the exact amount of acreage contained in the property described herein. DOES NOT AFFECT SURVEY
27. Any encroachment, encumbrance, violation, variation or circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. NO ENCROACHMENTS FOUND
28. Utility Easement to Hilton Head No. 1 Public Service District dated May 30, 1989 and recorded June 7, 1989 in Book 530, Page 764. SHOWN ON SURVEY
29. Grant of rights and for construction to South Carolina Department of Highways and Public Transportation dated March 2, 1989 and recorded March 17, 1989 in Book 525, Page 963. DOES NOT AFFECT SURVEY
30. Utility Easement to Hilton Head No. 1 Public Service District dated May 30, 1989 and recorded June 7, 1989 in Book 530, Page 758. SHOWN ON SURVEY
31. Terms and conditions contained in that certain Easement Agreement by and between First Capital Income Properties, Ltd. --- Series VII and Pineland Mall Associates, dated January 13, 1988 and recorded January 21, 1988 in Book 494, Page 1963, which contains a utility easement beneficial to the Land. BLANKET EASEMENT
32. Easement Agreement by and between Pineland Mall Associates and First Capital Income Properties, Ltd. --- Series VII dated January 13, 1988 and recorded January 21, 1988 in Book 494, Page 1968. DOES NOT AFFECT SURVEY
33. Easements, restrictions, terms and conditions of that certain Agreement Regarding Easement and Restrictions by and between PinelandMall Associates and First Capital Income Properties, Ltd. --- Series VII, dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 742. DOES NOT AFFECT SURVEY
34. Utility Easement granted by Pineland Mall Associates to First Capital Income Properties, Ltd. --- Series VII, dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 731. SHOWN ON SURVEY
35. Easement granted by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 686. SHOWN ON SURVEY
36. Utility Easement granted by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 691. SHOWN ON SURVEY
37. Easement granted by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 685. SHOWN ON SURVEY (FOR DRAINAGE)
38. Grant of Easement by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 679. DOES NOT AFFECT THIS PROPERTY
39. Grant of Easement by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 670. DOES NOT AFFECT THIS PROPERTY
40. Utility Easement granted by Pineland Mall Associates to The Hilton Head Company, Inc., dated May 12, 1982 and recorded May 19, 1982 in Book 347, Page 665. SHOWN ON SURVEY (SEWER EASEMENT)
41. Easement to Palmetto Electric Cooperative, Inc. dated December 5, 1960 and recorded March 28, 1961 in Mortgage Book 81, Page 175. BLANKET EASEMENT
42. Easement to Central Electric Power Cooperative, Inc. dated September 29, 1970 and recorded November 17, 1970 in Book 179, Page 63. BLANKET EASEMENT
43. Easement to Central Electric Power Cooperative, Inc. dated August 12 1971 and recorded September 6, 1971 in Book 189, Page 261. BLANKET EASEMENT
44. Terms and conditions of the Easement from Plantation Shopping Center, Inc. to The Hilton Head Company, Inc. June 26, 1974 and recorded June 28, 1974 in Book 221, Page 1723, which contains driveway easements beneficial to the Land. SHOWN ON SURVEY
45. Avigation Easement granted by The Town of Hilton Head to the County of Beaufort dated May 15, 2006 and recorded May 18, 2006 in Book 2375, Page 111. BLANKET EASEMENT
46. Avigation Easement granted by The Town of Hilton Head to the County of Beaufort dated May 15, 2006 and recorded May 18, 2006 in Book 2375, Page 120. BLANKET EASEMENT
47. Access Easement Agreement by and between The Town of Hilton Head Island, South Carolina and Pineland Associates, LLC and Cohoon Hilton Head, LLC, dated May 6, 2009 and recorded June 14, 2009 in Book 2844, Page 2179. SHOWN ON SURVEY
48. Access Easement Agreement by and between The Town of Hilton Head Island, South Carolina and J.M.K.H. Properties, LLC, dated May 6, 2009 and recorded June 14, 2009 in Book 2844, Page 2186. SHOWN ON SURVEY
49. Terms and conditions of Ordinance #2014-13 by the Town Council of the Town of Hilton Head Island, South Carolina recorded June 27, 2014 in Book 3330, Page 1201, DOES NOT AFFECT SURVEY
50. Terms and conditions of that certain Absolute Assignment from The Town of Hilton Head Island, South Carolina to Pineland Associates II, LLC dated August 14, 2015 and recorded August 17, 2015 in Book 3422, Page 1821. DOES NOT AFFECT SURVEY
51. Easements and any other facts as shown on plat recorded in Plat Book 30 at Page 112, Beaufort County Registry. SHOWN ON SURVEY

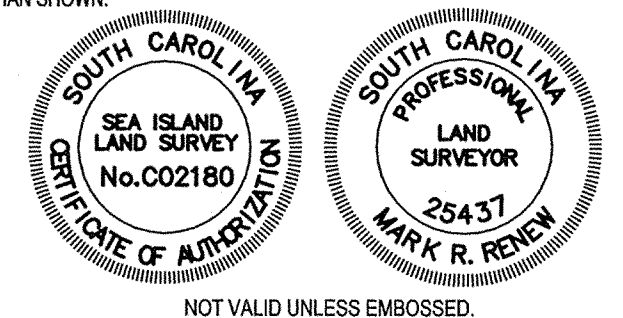
NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) HORIZONTAL DATUM IS S.C STATE PLANES NAD 83
- 3) VERTICAL DATUM IS NAVD88
- 4) DEMOLITION IN PROGRESS.

PROPERTY AREA = 122,401 Sq Ft 2.81 Ac.
 ADDRESS: MATHEWS DRIVE
 DISTRICT: 511, MAP: 8, PORTIONS OF PARCELS 96B, 98E, 156
 THIS PROPERTY LIES IN F.E.M.A. ZONE A7 - 14 AND B
 COMMUNITY NO. 450250, PANEL: 0009D, DATED: 9/29/86



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



SURVEYOR'S CERTIFICATION

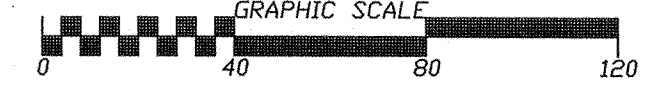
This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 2011 and includes items 3, 4, 8, 9, 11(a), 13, 16, and 17 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance and Closure Requirements for Survey Measurement Which Control Land Boundaries for ALTA/ACSM Land Title Surveys"

Date: 12/18/15
 (signed) [Signature]
 S.C. Professional No. 25437

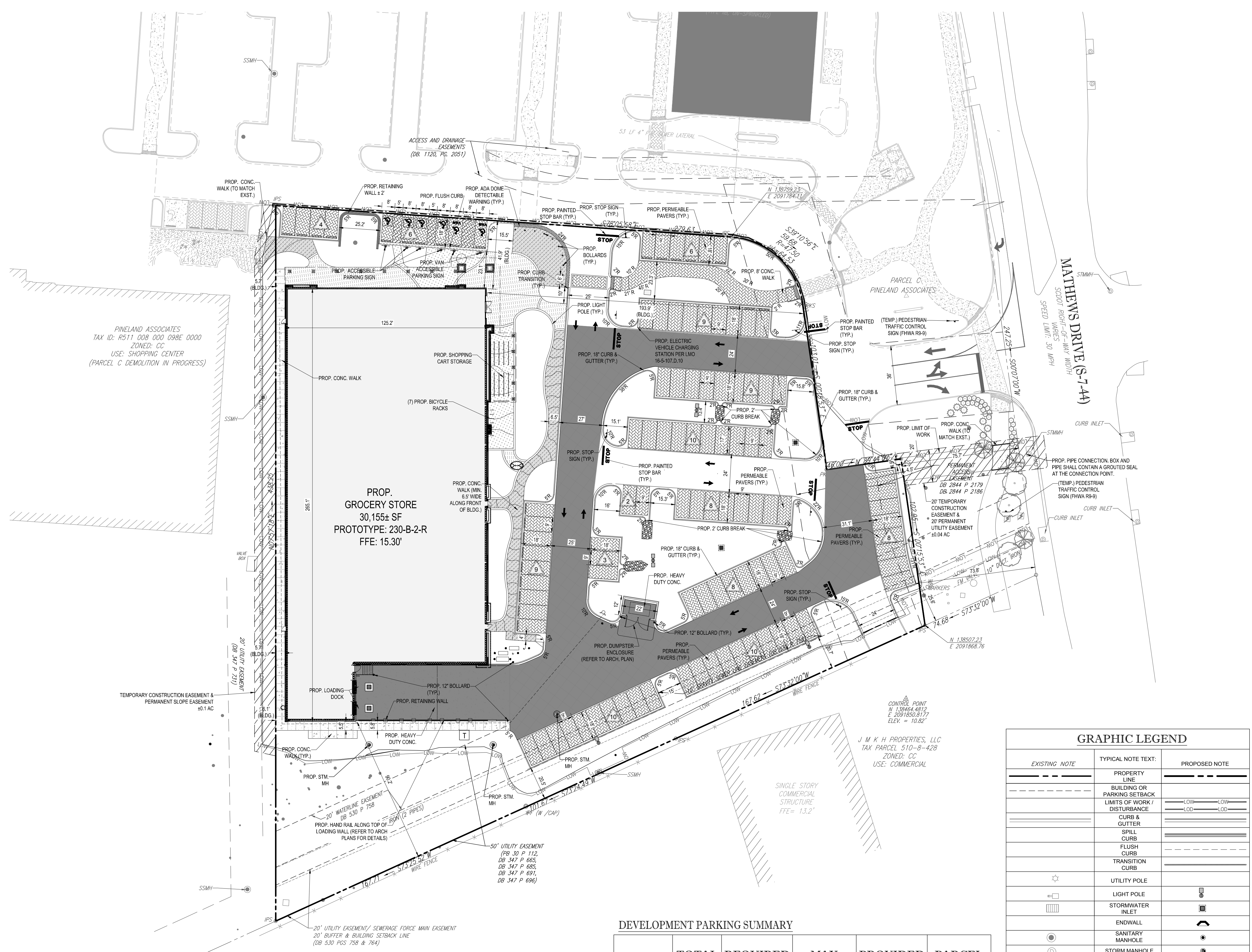
ALTA/ACSM LAND TITLE SURVEY
 SHOWING PROPOSED PARCEL "D",
 COMPRISING PORTIONS OF PARCELS 98B, 98E, AND 156
 PINELAND STATION, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:
 LIDL US OPERATIONS, LLC AND
 FIRST AMERICAN TITLE INSURANCE COMPANY

DATE: 12/18/15 SCALE: 1" = 40'



SILS Sea Island Land Survey, LLC.
 4D Mathews Court, Hilton Head Island, SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sils@sprynet.com
 FILE NO: 15247 DWG NO: 5-1694
 COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: TW



NOTES

- SEE SHEET C-0.1 FOR ALL GENERAL NOTES
- ALL DIMENSIONS ARE SHOWN FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
- ALL CONSTRUCTION WITHIN THE SCOOT RIGHT-OF-WAY SHALL COMPLY WITH THE MOST CURRENT EDITION OF SCOOT CONSTRUCTION STANDARDS & SPECIFICATIONS
- THIS SITE WILL REQUIRE FIRE LAND MARKING AND/OR OTHER FIRE RESCUE SIGNAGE BEFORE STRIPING THE PARKING LOT. CONTACT JOHEIDA FISTER, FIRE MARSHAL AT 843-682-5140 OR 843-247-3741 OR JOHEIDAF@HILTONHEADISLANDSC.GOV TO SCHEDULE A SITE VISIT TO DETERMINE WHAT WILL BE REQUIRED.

PAINTING STRIPING LEGEND

4" SSWL - 4" WIDE SINGLE SOLID WHITE LINE
 4" DSYL - 4" WIDE (EACH) DOUBLE SOLID YELLOW LINE
 4" SBL - 4" WIDE SINGLE SOLID BLUE LINE

SITE PLAN & ZONING NOTES:

- THIS PLAN REFERENCE THE FOLLOWING DOCUMENTS & INFORMATION BY:
 - EXHIBIT ALTA/ACSM LAND TITLE SURVEY SHOWING PROPOSED LEASE AREA: PINELAND STATION, HILTON HEAD ISLAND
 - PREPARED BY SEA ISLAND LAND SURVEYING, LLC
 - 40 MATTHEWS COURT
 - HILTON HEAD ISLAND, SC 29926
 - DATED 1/6/2016

- EXISTING OWNER: PARCEL #1
 PIN # R511 008 000 098E (ALTERNATE: 00358614)
 PINELAND ASSOCIATES II, LLC.
 DB 1941 PG 2402
 GROSS AREA: ±10.02 AC
- APPLICANT: LIDL US OPERATIONS, LLC
 1500 SUNDAY DRIVE, SUITE 101
 RALEIGH, NC 27607
 CONTACT: LINDSAY LOCKE
 PHONE: (703) 851-6827
- PARCEL: ID# R511 008 000 098E (ALTERNATE: 00358614)
 80 MATTHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926
 GROSS AREA: ±10.02 ACRES
- ZONE: CC - COMMUNITY COMMERCIAL
 USES:
 GROCERY STORES = PERMITTED

BULK REQUIREMENTS:

BUSINESS DISTRICT	CODE REFERENCE	REQUIRED	PROPOSED
MIN. LOT AREA:		NIS	122,360 SF (2.81 AC)
MIN. LOT WIDTH		NIS	329'
BUILDING SETBACKS			
MIN. FRONT YARD SETBACK		50'	193.9'
MIN. SIDE YARD SETBACK		20'	41.9'
MIN. REAR YARD SETBACK		20'	5.7'
MAX BUILDING HEIGHT		45'	29'-6"
PARKING SETBACKS/BUFFERS			
MIN. FRONT YARD SETBACK		25'	73.8'
MIN. SIDE YARD BUFFER		N/A	20.5'
MIN. REAR YARD BUFFER		N/A	N/A

N/A = NOT APPLICABLE. NIS = NOT SPECIFIED (V) = VARIANCE (W) = WAIVER (E) = EXISTING NON-COMFORMANCE TBD = TO BE DETERMINED (C) = COMPLIES

- IMPERVIOUS/PERVIOUS AREA SUMMARY:
 AMOUNT OF PERVIOUS PAVEMENT: 15,652 SF (0.36 AC)
 TOTAL AMOUNT OF PERVIOUS AREA: 50,175 SF (1.15 AC), 41.01%
 TOTAL AMOUNT OF IMPERVIOUS AREA: 72,185 SF (1.66 AC), 58.99%
 TOTAL AREA: 122,360 SF (2.81 AC)

- PARKING SUMMARY:
 NUMBER OF PARKING SPACES REQUIRED (TOWN OF HILTON HEAD ISLAND - SECTION 16-3-102):
 REQUIRED: GROCERY STORE (MIN): 1 SPACE / 200 SF GFA x 30,155 SF LIDL GROCERY STORE = 151 SPACES
 PROPOSED (NOT INCLUDING SHARED SPACES): TOTAL PROPOSED PARKING = 102 SPACES (1,298 SF OF GROSS FLOOR AREA) (COMPLIES THROUGH SHARED PARKING AGREEMENT W/ OVERALL DEVELOPMENT)
 NUMBER OF ACCESSIBLE SPACES REQUIRED:
 CODE REQUIREMENT (5 / 101-150 SPACES): 5 SPACES
 PROPOSED: 6 SPACES (2 VAN) (COMPLIES)
 FOR 90 DEGREE PARKING SPACES:
 TWO-WAY TRAFFIC FLOW: 24' PROPOSED 24 FEET (COMPLIES)
 PARKING SPACE DIMENSION: 9' X 18' PROPOSED 9' X 18' (COMPLIES)

- LOADING REQUIREMENTS:
 NUMBER OF LOADING SPACES: N/A 2
 SIZE OF LOADING SPACE (MIN.): N/A 14' x 85'

GRAPHIC LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT:	PROPOSED NOTE
---	PROPERTY LINE	---
---	BUILDING OR PARKING SETBACK	---
---	LIMITS OF WORK / DISTURBANCE	---
---	CURB & GUTTER	---
---	SPILL CURB	---
---	FLUSH CURB	---
---	TRANSITION CURB	---
☆	UTILITY POLE	☆
⊞	LIGHT POLE	⊞
⊞	STORMWATER INLET	⊞
---	ENDWALL	---
⊙	SANITARY MANHOLE	⊙
⊙	STORM MANHOLE	⊙
⊙	PARKING COUNT	⊙
⊞	ELEC. TRANSFORMER ON CONC. PAD	⊞
---	PAVEMENT STRIPING - 4" SSWL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---
---	FENCE	---
---	RIPRAP	---

DEVELOPMENT PARKING SUMMARY

PARCEL	TOTAL GFA	REQUIRED PARKING	MAX PARKING	PROVIDED PARKING	PARCEL ACERAGE
A	2,687 SF	8	8	8	0.64 AC.
B	29,550 SF	88	93	104	7.61 AC.
C	52,633 SF	157	165	155	8.62 AC.
D	30,155 SF	151	159	102	2.81 AC.
E	11,115 SF	33	35	35	1.48 AC.
F	9,800 SF	29	31	36	1.65 AC.
G	4,800 SF	14	15	9	0.51 AC.
TOTAL	146,547	480	506	449	23.32 AC.

PAVEMENT LEGEND

	DELINEATES PROPOSED HEAVY DUTY ASPHALT PAVEMENT		DELINEATES PROPOSED PERMEABLE PAVERS
	DELINEATES PROPOSED CONCRETE SIDEWALK		DELINEATES MESA BEIGE CONCRETE WITH ROCK SALT FINISH AND IMPRESSIONS
	DELINEATES PROPOSED HEAVY DUTY CONCRETE PAVEMENT*		DELINEATES WINTER BEIGE CONCRETE WITH ROCK SALT FINISH AND IMPRESSIONS
	DELINEATES PROPOSED STANDARD DUTY ASPHALT PAVEMENT		DELINEATES OYSTER SHELL FINISH CONCRETE (60/50 MIX OF #2 AND #3 SHELL)

(*) CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL AND SPECIFICATIONS.

BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE LAND SURVEYING DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

OFFICES:

- NORTHERN VIRGINIA
- CENTRAL VIRGINIA
- PHILADELPHIA, PA
- LEHIGH VALLEY, PA
- NEW ENGLAND
- NEW YORK, NY
- NEW YORK, NY
- BALTIMORE, MD
- SOUTH BEND, IN
- CHARLOTTE, NC
- REHOBOTH BEACH, DE
- MIAMI, FL
- MIAMI, FL

REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

811

KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151023
 DRAWN BY: MJH
 CHECKED BY: WLB
 DATE: 12/22/16
 SCALE: 1" = 30'
 CAD I.D.: SS1

CONSTRUCTION PLANS

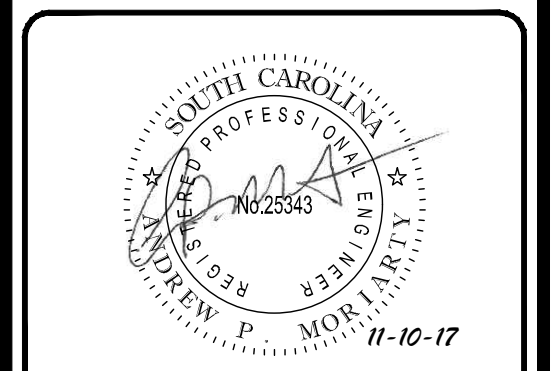
FOR

LIDL US OPERATIONS, LLC

LOCATION OF SITE
 SEA TURTLE MARKETPLACE
 80 MATTHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

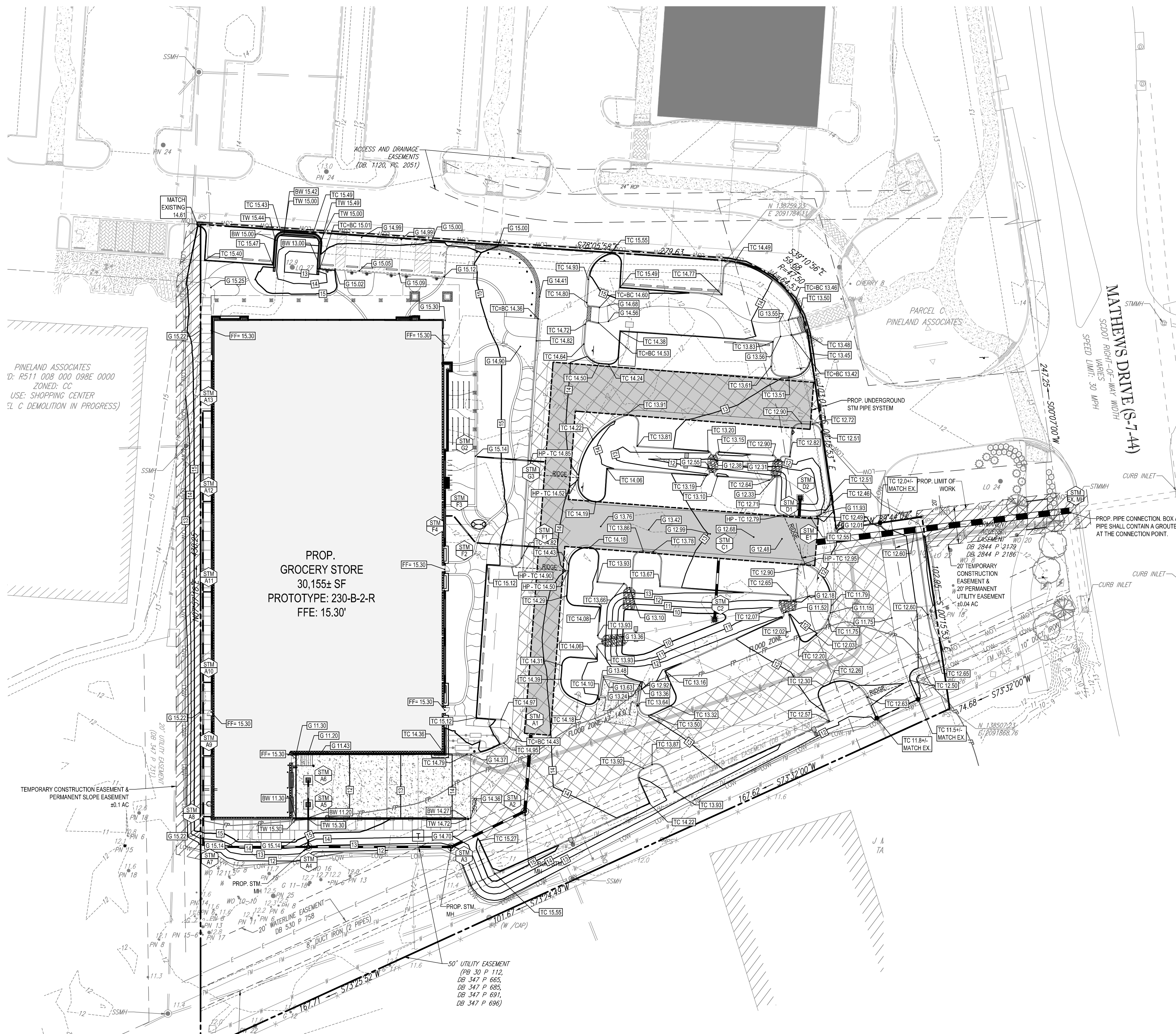
BOHLER ENGINEERING NC, PLLC

4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com



SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-2.0



PINELAND ASSOCIATES
D: R511 008 000 098E 0000
ZONED: CC
USE: SHOPPING CENTER
S/C DEMOLITION IN PROGRESS

PROP. GROCERY STORE
30,155± SF
PROTOTYPE: 230-B-2-R
FFE: 15.30'

MATHEWS DRIVE (S-7-44)
SPEED LIMIT: 30 MPH
SCOOT RIGHT-OF-WAY WIDTH

STORM SEWER PIPE SCHEDULE

FROM	TO	UPPER INVERT	LOWER INVERT	SLOPE (%)	LENGTH	SIZE (IN.)	MATERIAL
A2	A1	7.71	7.50	0.50%	41.27'	18"	HDPE
A3	A2	7.92	7.71	0.50%	43.38'	15"	HDPE
A4	A3	8.30	7.92	0.50%	78.00'	12"	HDPE
A5	A4	10.77	9.54	5.50%	22.45'	8"	PVC
A6	A5	10.03	9.89	1.10%	13.00'	8"	PVC
A7	A4	8.58	8.30	0.50%	55.72'	10"	HDPE
A8	A7	8.66	8.58	0.50%	16.07'	10"	HDPE
A9	A8	8.82	8.66	0.50%	32.25'	10"	HDPE
A10	A9	9.02	8.82	0.50%	38.96'	8"	HDPE
A11	A10	9.26	9.02	0.50%	48.04'	8"	HDPE

STORM SEWER PIPE SCHEDULE

FROM	TO	UPPER INVERT	LOWER INVERT	SLOPE (%)	LENGTH	SIZE (IN.)	MATERIAL
A12	A11	9.50	9.26	0.50%	47.93'	8"	HDPE
A13	A12	9.74	9.50	0.50%	48.03'	8"	HDPE
C2	C1	8.50	7.50	3.06%	32.63'	15"	HDPE
D2	D1	8.00	7.50	4.87%	10.28'	15"	HDPE
E1	EX.MH	7.50	6.80	0.52%	135.61'	36"	RCP
F2	F1	7.67	7.50	0.50%	33.67'	6"	PVC
F3	F2	7.76	7.67	0.50%	18.45'	6"	PVC
F4	F3	10.50	10.22	6.00%	4.60'	6"	PVC
G2	G3	8.50	7.50	2.71%	36.95'	6"	HDPE

STORM STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A1	PROP. INSERTA TEE		INV IN = 7.50'
A2	SCDOT 719-505-01	14.33	INV IN = 7.71' INV OUT = 7.71'
A3	SCDOT 719-505-01	12.82	INV IN = 7.92' INV OUT = 7.92'
A4	SCDOT 719-505-01	13.35	INV IN = 6.30' INV IN = 9.54' INV OUT = 6.30'
A5	SCDOT 719-105-01	11.10	INV IN = 9.89' INV OUT = 10.77'
A6	SCDOT 719-105-01	11.10	INV IN = 10.03'
A7	PROP. CLEANOUT	12.35	INV IN = 8.58' INV OUT = 8.58'
A8	PROP. CLEANOUT	15.24	INV IN = 8.66' INV OUT = 8.66'
A9	PROP. CLEANOUT	15.24	INV IN = 8.82' INV OUT = 8.82'
A10	PROP. CLEANOUT	15.24	INV IN = 9.02' INV OUT = 9.02'
A11	PROP. CLEANOUT	15.24	INV IN = 9.26' INV OUT = 9.26'
A12	PROP. CLEANOUT	15.24	INV IN = 9.50' INV OUT = 9.50'
A13	PROP. CLEANOUT	15.24	INV IN = 9.74'
C1	PROP. INSERTA TEE		INV IN = 7.50'
C2	SCDOT 719-105-01	10.04	INV IN = 8.50'
D1	PROP. INSERTA TEE		INV IN = 7.50'
D2	SCDOT 719-105-01	10.40	INV IN = 6.00'
E1	PROP. OUTLET STRUCTURE	12.16	INV IN = 7.50'
EX.MH	EXIST. MANHOLE	13.82	INV IN = 6.80'
F1	PROP. INSERTA TEE		INV IN = 7.50'
F2	PROP. CLEANOUT	15.17	INV IN = 7.67' INV OUT = 7.67'
F3	PROP. CLEANOUT	10.75	INV IN = 10.22' INV OUT = 7.76'
F4	BUILDING	15.30	INV IN = 10.50'

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7 BARRIER FREE ACCESS, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
2. CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%) WITH A MAX. CHANGE OF ELEVATION OF 6". AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE IN ANY DIRECTION.
3. LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE. AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) CROSS SLOPE IN ANY DIRECTION.
4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE-SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
5. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE UP THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE). THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.
6. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

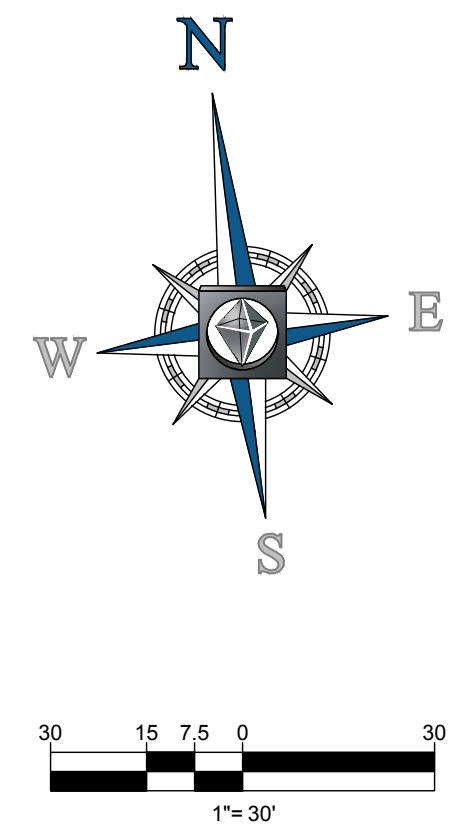
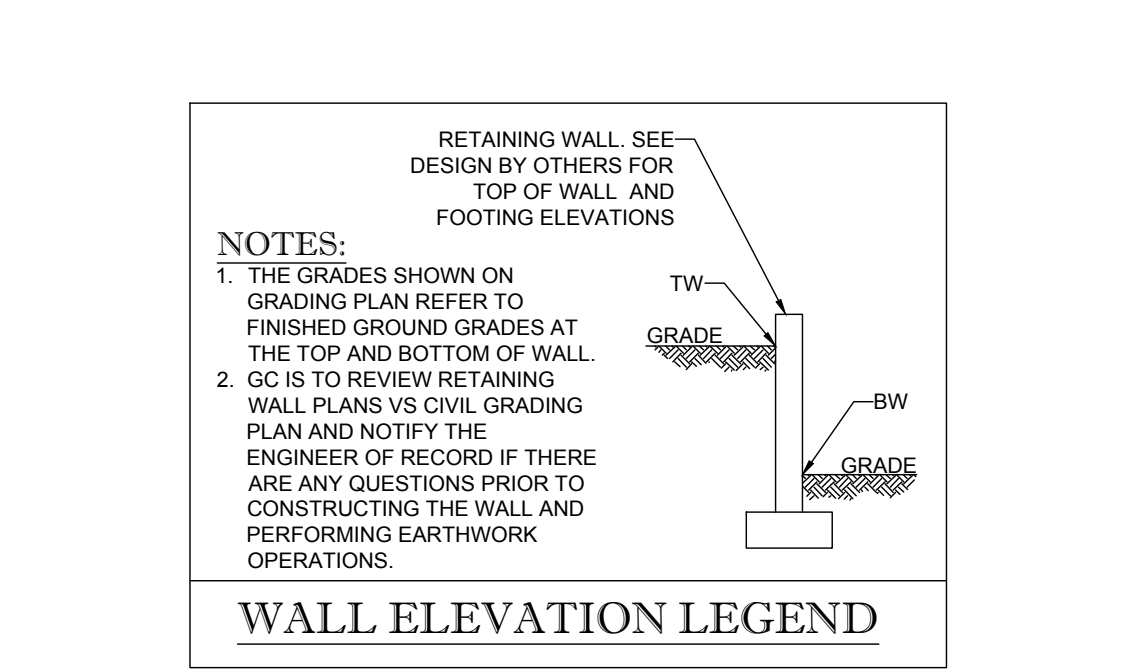
IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

GENERAL NOTES:

1. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
2. CURB REVEALS ARE 6" UNLESS OTHERWISE NOTED. FLUSH CURB REVEAL IS 0".

GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	PROPERTY LINE	— P —
	CONTOUR & ELEVATION	— 15 —
	WATER MAIN	— W —
	GAS LINE	— G —
	ELECTRIC LINE	— E —
	TELEPHONE LINE	— T —
	OVERHEAD WIRES	— OH —
	FIBER OPTIC LINE	— FO —
	STORM PIPE	— S —
	SANITARY PIPE	— SA —
	LIMITS OF WORK / DISTURBANCE	— LOW —
	DIRECTION OF DRAINAGE FLOW ARROW	→
	TOP OF CURB GRADE ELEVATION	TC 11.33
	HIGH POINT & FINISHED GRADE ELEVATION	HP 12.11 G 14.05
	FLUSH CURB ELEVATION	FG 14.23
	AREAYARD LIGHT	□
	SANITARY CLEAN OUT	○
	SANITARY MANHOLE	●
	STORM INLET	⊠
	STORM MANHOLE	⊙
	STORM LABEL	⊕
	FIRE HYDRANT	⊕
	UTILITY VALVE	●
	UTILITY POLE	○



BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE LAND SURVEYING DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES SUSTAINABLE DESIGN

NORTHERN VIRGINIA
CENTRAL VIRGINIA
LEHIGH VALLEY, PA
PHILADELPHIA, PA
NEW ENGLAND
NEW YORK, NY
NEW YORK, NY
NEW YORK, NY
BALTIMORE, MD
SOUTH BEND, IN
TAMPA, FLORIDA

REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

811

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151023
DRAWN BY: MJH
CHECKED BY: WLB
DATE: 12/22/16
SCALE: 1" = 30'
CAD I.D.: SS1

CONSTRUCTION PLANS

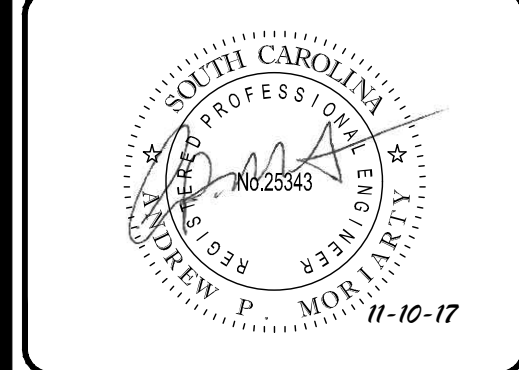
FOR

LIDL US OPERATIONS, LLC

LOCATION OF SITE
SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

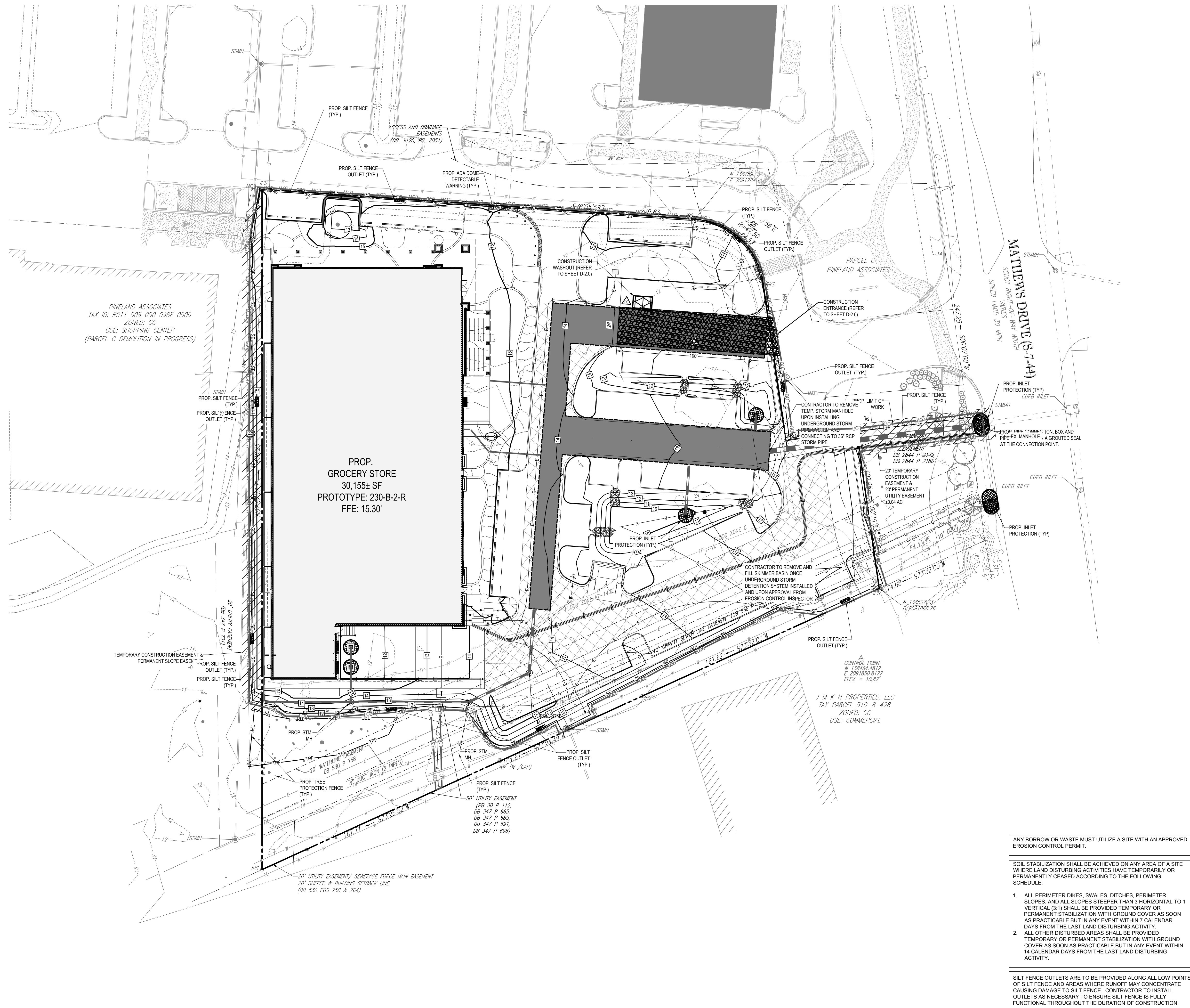
BOHLER ENGINEERING NC, PLLC

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com



SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C-3.0



EROSION CONTROL LEGEND	
PROPOSED NOTE	TYPICAL NOTE TEXT
— SF —	SILT FENCE
⊕	TREE PROTECTION FENCE
LOW — LOW	LIMITS OF WORK/DISTURBANCE
⊠	CONSTRUCTION ENTRANCE
⊠	SILT FENCE OUTLET
---	SOILS BOUNDARY
▶	TEMPORARY DIVERSION SWALE
⊠	COMPOST SOCK
⊠	CONCRETE WASH
⊠	DUST CONTROL
▨	EROSION CONTROL MATTING
Rd	RIDGELAND FINE SAND
Ro	ROSEDHU FINE SAND

EROSION CONTROL NOTES:

1. A LAND DISTURBANCE PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ANY DISTURBANCE ON THE SITE.
2. ALL CONSTRUCTION SHALL COMPLY WITH SCOECH STANDARDS AND SPECIFICATIONS.
3. LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. ALL EXISTING UTILITY LOCATIONS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. SITE GRADING AND EXCAVATION MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. EXCAVATION AND EARTH MOVING OPERATIONS MUST BE PERFORMED UNDER THE SUPERVISION OF THE OWNER'S GEOTECHNICAL ENGINEER.
5. FOOTING EXCAVATIONS SHALL BE CONTINUOUSLY DEWATERED DURING CONSTRUCTION TO PREVENT SETTLEMENT AND SEDIMENT DEPOSIT.
6. ALL TEMPORARY DIVERSIONS MUST BE INSTALLED WITH POSITIVE DRAINAGE AND SHALL OPPOSE EXISTING GRADE WHEN NECESSARY TO PROVIDE A MINIMUM OF 0.4% LONGITUDINAL SLOPE.
7. ALL ADJACENT ROADWAYS TO THE SITE ARE TO BE SWEEPED NOT WASHED AT THE END OF EACH WORK DAY TO REMOVE SEDIMENT FROM THE ROAD SURFACE.
8. ALL EROSION CONTROL MEASURES MUST BE INSPECTED AND PROPERLY MAINTAINED ONCE PER WEEK AND WITHIN 24 HOURS OF A STORM EVENT PRODUCING 0.5" OF PRECIPITATION OR GREATER.
9. INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
10. CONTRACTOR SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING. PARTICLES WHICH CAN BE PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER TO PREVENT PARTICLES FROM BECOMING AIRBORNE AND FROM EXISTING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATE ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH FEDERAL, LOCAL, AND STATE DUST CONTROL REGULATIONS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

PHASE II EROSION CONTROL CONSTRUCTION SEQUENCE:

1. CONTINUE CLEARING, GRUBBING, AND STRIPPING THE SITE. (PHASE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME)
2. CONTINUE GRADING THE SITE. ADJUST TEMPORARY DIVERSION DIKES, CHANNELS AND OTHER BMP'S AS GRADES ARE ADJUSTED.
- 2.1. GRADE BUILDING PAD AREA SUCH THAT WEST SIDE IS BUILT UP FIRST. DURING PAD GRADING OPERATIONS SLOPE PAD SUCH THAT RUNOFF FROM PAD IS DIRECTED TOWARD SKIMMER BASIN.
- 2.2. GRADE THE SITE SUCH THAT THE OUTSIDE OF THE SITE IS BUILT UP FIRST AND DRAINS AS MUCH OF THE SITE AS POSSIBLE TOWARDS THE SKIMMER BASIN.
3. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
4. TEMPORARILY STABILIZE THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY. ANY DISTURBED AREAS, INCLUDING MATERIAL, STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 7 DAYS OR MORE.
5. IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
6. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, UNDERGROUND DETENTION SYSTEM, CURBS AND GUTTERS. RELOCATE CONSTRUCTION ENTRANCE AS REQUIRED TO INSTALL UNDERGROUND DETENTION SYSTEM.
- 6.1. SKIMMER BASIN TO REMAIN IN PLACE AS LONG AS POSSIBLE TO PROTECT UNDERGROUND DETENTION SYSTEM FROM SILT.
- 6.2. EXCAVATE ANY SEDIMENT WITHIN SKIMMER BASIN AND BACKFILL TO FINAL GRADE AND STABILIZE.
7. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
8. PREPARE SITE FOR PAVING.
9. PAVE SITE.
10. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
12. AFTER ALL UPSTREAM DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED WASH AND VACUUM OUT UNDERGROUND DETENTION SYSTEM TO REMOVE ALL SEDIMENT ACCUMULATIONS. DO NOT DISCHARGE WASH WATER OR SEDIMENT FROM SITE.
13. OBTAIN CONCURRENCE FROM THE OWNER THAT THE SITE HAS BEEN FULLY STABILIZED. SEDIMENT HAS BEEN REMOVED FROM UNDERGROUND DETENTION SYSTEM, AND ALL CONSTRUCTION HAS BEEN COMPLETED, THEN:
 - a. REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs).
 - b. STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPs, AND CONTACT THE SCOECH EROSION CONTROL INSPECTOR TO COMPLETE A FINAL NOT SITE INSPECTION AND REPORT.
15. CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL NOT IS ISSUED BY SCOECH.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY, ONLY IF ALL PRECEDING BMPs AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. THE CEC MUST APPROVE IN WRITING. ANY CHANGES IN THE ABOVE IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.

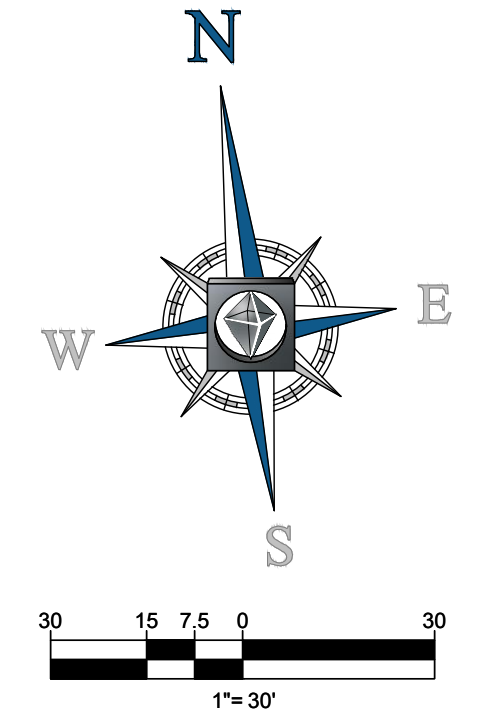
THE ESTIMATED DATES OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR.

ANY BORROW OR WASTE MUST UTILIZE A SITE WITH AN APPROVED EROSION CONTROL PERMIT.

SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:

1. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.
2. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND DISTURBING ACTIVITY.

SILT FENCE OUTLETS ARE TO BE PROVIDED ALONG ALL LOW POINTS OF SILT FENCE AND AREAS WHERE RUNOFF MAY CONCENTRATE CAUSING DAMAGE TO SILT FENCE. CONTRACTOR TO INSTALL OUTLETS AS NECESSARY TO ENSURE SILT FENCE IS FULLY FUNCTIONAL THROUGHOUT THE DURATION OF CONSTRUCTION.



BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE
 LAND SURVEYING DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
 SUSTAINABLE DESIGN

NORTHERN VIRGINIA
 CENTRAL VIRGINIA
 PHILADELPHIA, PA
 LEHIGH VALLEY, PA
 NEW ENGLAND
 NEW YORK, NY
 NEW YORK, NY
 NEW YORK, NY
 BALTIMORE, MD
 SOUTHERN CALIFORNIA
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REVISIONS				
REV	DATE	COMMENT	BY	
1	11/10/17	DRB AND DPR COMMENTS	JDM	

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PROJECT No.: NCR151023
 DRAWN BY: MJH WLB
 CHECKED BY: DATE: 12/22/16
 SCALE: 1" = 30'
 CAD I.D.: SS1

CONSTRUCTION PLANS

FOR

LIDL US OPERATIONS, LLC

LOCATION OF SITE
 SEA TURTLE MARKETPLACE
 80 MATTHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

BOHLER ENGINEERING NC, PLLC

4130 PARKLAKE AVENUE, SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

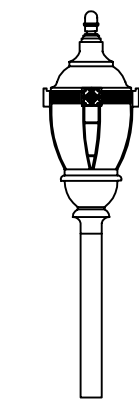
SHEET TITLE:
PHASE II EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C-5.1

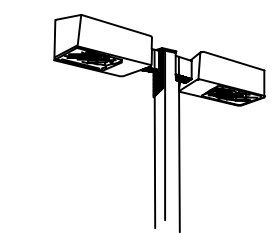
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
1	2	LARGE SHOEBOX	SINGLE	30000	0.600	300W PS MH DN 30' LAMINATED POLE, 25' MOUNTING HEIGHT
2	2	DOUBLE LARGE SHOEBOX	BACK-2-BACK	30000	0.600	300W PS MH DN 30' LAMINATED POLE, 25' MOUNTING HEIGHT
3	7	EXISTING HAGERSTOWN	SINGLE	13300	0.600	150W PS MH DN 14' DIMENSIONAL POLE, 14' MOUNTING HEIGHT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPct	Illuminance	Fc	116	3.9	0.2	5.89	29.50
Shaded Area	Illuminance	Fc	0.00	0.0	0.0	N/A	N/A

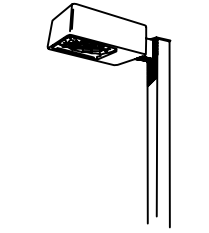
LumNo	Label	X	Y	Z	Orient	Ylt
1	DOUBLE LARGE SHOEBOX	2091749	1386578	25	298231	0
2	DOUBLE LARGE SHOEBOX	2091729	1386578	25	298231	0
3	EXISTING HAGERSTOWN	2091736	1387998	14	258233	0
4	EXISTING HAGERSTOWN	2091805	1387933	14	248175	0
5	EXISTING HAGERSTOWN	2091845	1387430	14	198138	0
6	EXISTING HAGERSTOWN	2091904	1386946	14	0	0
7	EXISTING HAGERSTOWN	2091907	1386939	14	0	0
8	EXISTING HAGERSTOWN	2091895	1386961	14	233319	0
9	EXISTING HAGERSTOWN	2091899	1386934	14	117371	0
10	LARGE SHOEBOX	2091660	1384627	25	10632	0
11	LARGE SHOEBOX	2091797	1385033	25	107354	0



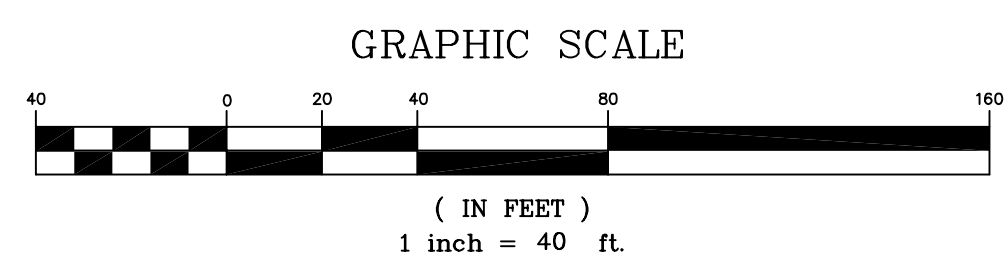
HAGERSTOWN
APPLICATION
 Shopping centers, malls, roadways, parks, residential areas
SELECTIONS
 Authentic accent design
 Massive polycarbonate lens
 Ruggedly crafted of heavy duty aluminum
 For decades of dependable service
 Black finish



LARGE SHOEBOX DOUBLE FIXTURE
APPLICATION
 Warehouses, strip centers, malls, shopping centers, commercial and industrial complexes, and residential areas
SELECTIONS
 UL1075 listed available for wet locations
 Maximum mounting height: 30 feet
 Maximum spacing: 150 feet
 Maximum spacing: 150 feet
 Maximum spacing: 150 feet
 Maximum spacing: 150 feet



LARGE SHOEBOX
APPLICATION
 Warehouses, strip centers, shopping centers, commercial and industrial complexes, and residential areas
SELECTIONS



NOTES

1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

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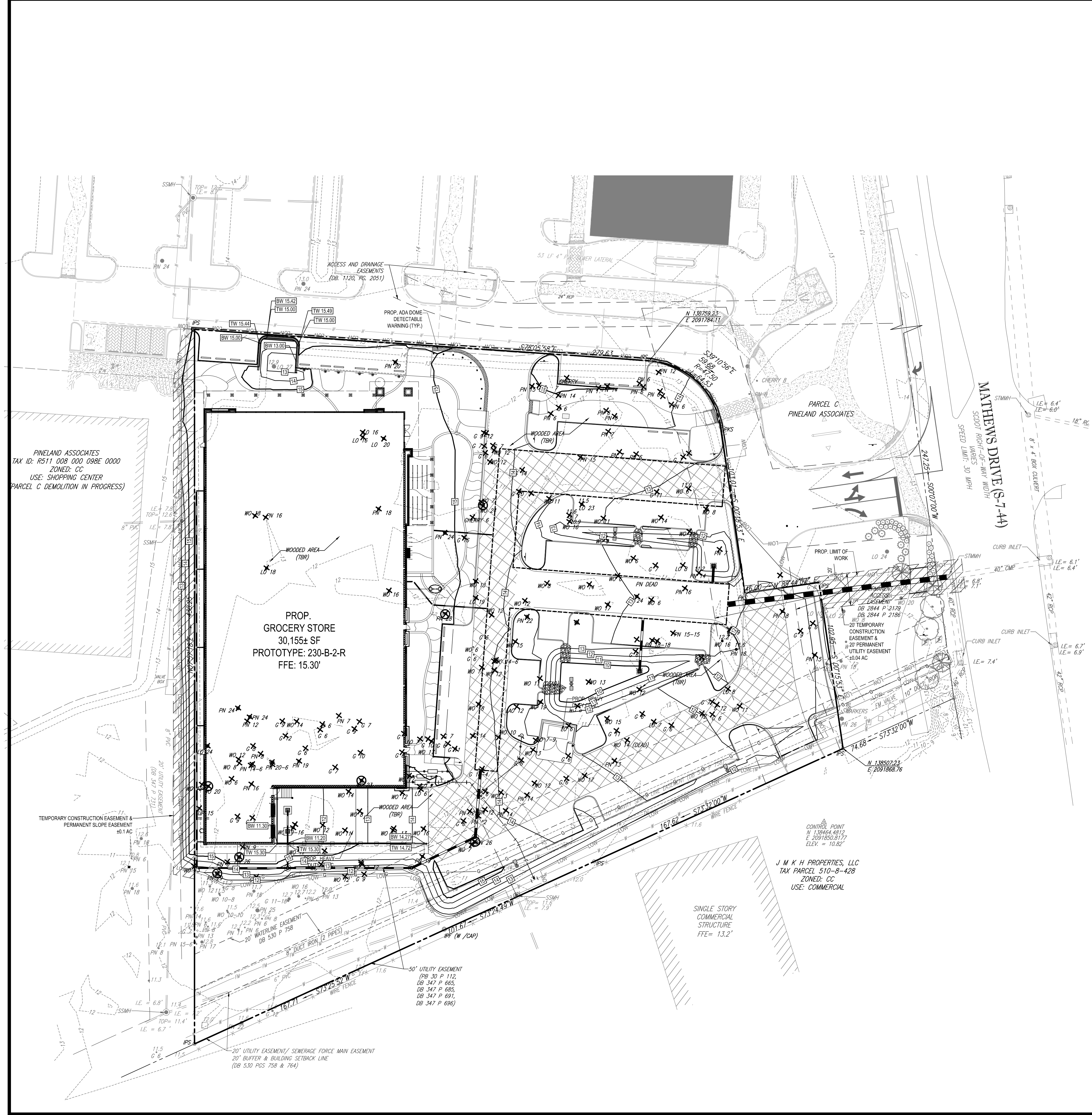
PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HARDEEVILLE, SOUTH CAROLINA 29027
 (843) 208-5561 / FAX (843) 208-5592



REMARKS:

DESIGNED BY: T.J.H.
 CHECKED BY: E.H.G.
 DRAWN BY: RBT
 DATE: 12/6/17
 SCALE: 1" = 40'
 PROJECT NO.: 1711006L
 MAP NO.: 00000000
 SHEET NO.
 1
 OF
 1

LIGHTING PROPOSAL FOR
 LIDL SEA TURTLE_HH
 U.S. HIGHWAY 278- WILLIAM HILTON PARKWAY
 HILTON HEAD
 BEAUFORT COUNTY, SOUTH CAROLINA



SPECIMEN TREES

TREE TYPE	DBH REQUIREMENTS (INCHES)	# OF SPECIMEN TREES
LIVE OAK	35 SINGLE; 60 MULTIPLE	0
LAUREL OAK	35	0
TUPELO	N/A	0
WHITE OAK	20	3
POND PINE	25	4
BLACK GUM	30	0
SOUTHERN MAGNOLIA	30	0
BLACK CHERRY	25	0

* EXISTING TREES WERE ONCE CONSIDERED TO BE SPECIMEN TREES, HOWEVER, UPON FURTHER INVESTIGATION FROM THE TOWN, THE TREES HAVE BEEN TOPPED AND ARE NO LONGER CONSIDERED TO BE SPECIMEN TREES.

DBH= DIAMETER AT BREAST HEIGHT
ACI= ADJUSTED CALIPER INCHES

PRE-DEVELOPMENT ACI VALUE (INCL. SPECIMEN TREES)

TREE TYPE	TREE CATEGORY	CATEGORY FACTOR	TOTAL DBH (INCHES)	ACI VALUE (INCHES)
LIVE OAK	I	1.00	262	262
LAUREL OAK	I	1.00	12	12
TUPELO	II	0.75	15	11.25
WHITE OAK	II	0.75	941	705.75
POND PINE	III	0.50	896	448
BLACK GUM	II	0.75	482	361.5
SOUTHERN MAGNOLIA	I	1.00	0	0
BLACK CHERRY	II	0.75	13	9.75
TOTAL PRE-DEVELOPMENT ACI VALUE			1810.25	

TO REMAIN ACI VALUE

TREE TYPE	TREE CATEGORY	CATEGORY FACTOR	TOTAL DBH (INCHES)	ACI VALUE (INCHES)
LIVE OAK	I	1.00	10	10
LAUREL OAK	I	1.00	0	0
TUPELO	II	0.75	0	0
WHITE OAK	II	0.75	33	24.75
POND PINE	III	0.50	266	133
BLACK GUM	II	0.75	29	21.75
SOUTHERN MAGNOLIA	I	1.00	0	0
BLACK CHERRY	II	0.75	8	6
TOTAL POST-DEVELOPMENT/REMAINING ACI VALUE			195.5	

ZONING: CC- COMMUNITY COMMERCIAL DISTRICT

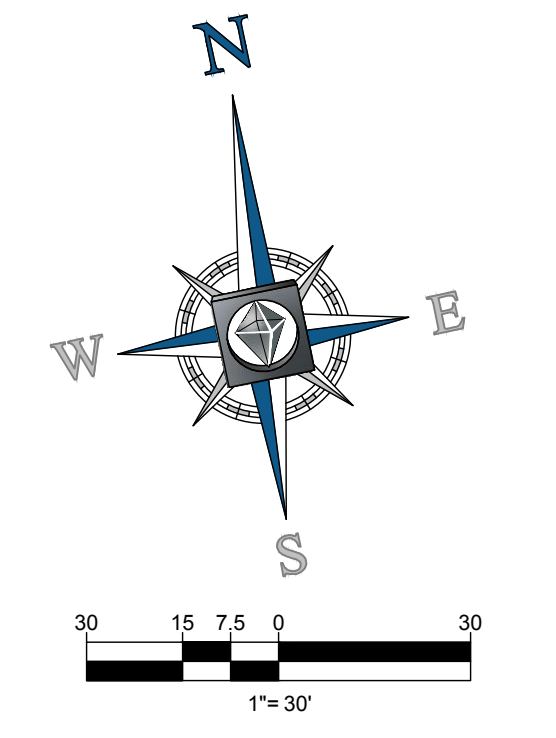
MAX. IMPERVIOUS ALLOWED=	60%
MIN. PERVIOUS REQUIRED =	40%
Lot area (AC) =	2.81
Min. pervious area required (AC)=	1.124
Min ACI required / Acres=	900
Min ACI =	1012

FOR REDEVELOPMENT PROJECTS:
 REPLACEMENT PLANTING = 30% OF (MIN. ACI - REMAINING ACI) = 245
 IF REPLACEMENT TREES HAVE 3" CALIPER THEN 82 TREES NEED TO BE PLANTED OR TREE MITIGATION FEE PAID INTO THE TOWN TREE REPLACEMENT FUND
 IF REPLACEMENT TREES HAVE 2.5" CALIPER THEN 98 TREES NEED TO BE PLANTED OR TREE MITIGATION FEE PAID INTO THE TOWN TREE REPLACEMENT FUND
 IF REPLACEMENT TREES HAVE 2" CALIPER THEN 123 TREES NEED TO BE PLANTED OR TREE MITIGATION FEE PAID INTO THE TOWN TREE REPLACEMENT FUND

NOTES
 1. BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT ANNE CYRAN, SENIOR PLANNER, AT 843-341-4897 OR AT ANNE@HILTONHEADISLANDS.COV.GOV TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.

TREE LEGEND

ABBREVIATION	TREE TYPE
LO	LIVE OAK
LAO	LAUREL OAK
TUP	TUPELO
WO	WHITE OAK
PN	POND PINE
G	BLACK GUM
MAG	SOUTHERN MAGNOLIA
CHERRY	BLACK CHERRY
PN 28	SPECIMEN TREE TO BE REMOVED
LO 7	TREE TO BE REMOVED
	TREE TO REMAIN



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LAND SURVEYING DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
SUSTAINABLE DESIGN

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NEW YORK, NY
NEW YORK, NY
NEW YORK, NY
BALTIMORE, MD
SOUTH BEND, IN
CHARLOTTE, NC
CHAMPAIGN, IL
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REV	DATE	COMMENT	BY
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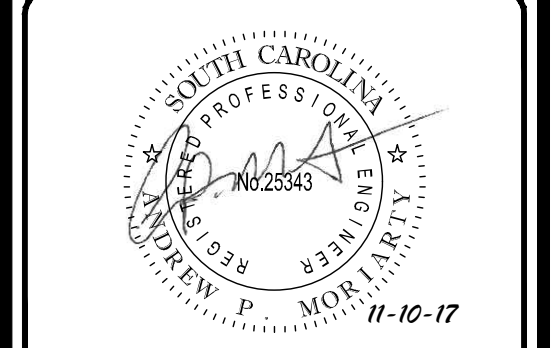
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DRAWN BY:	MJH
CHECKED BY:	WLB
DATE:	12/22/16
SCALE:	1" = 30'
CAD I.D.:	SS1

CONSTRUCTION PLANS

FOR
LIDL US OPERATIONS, LLC
LOCATION OF SITE
SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

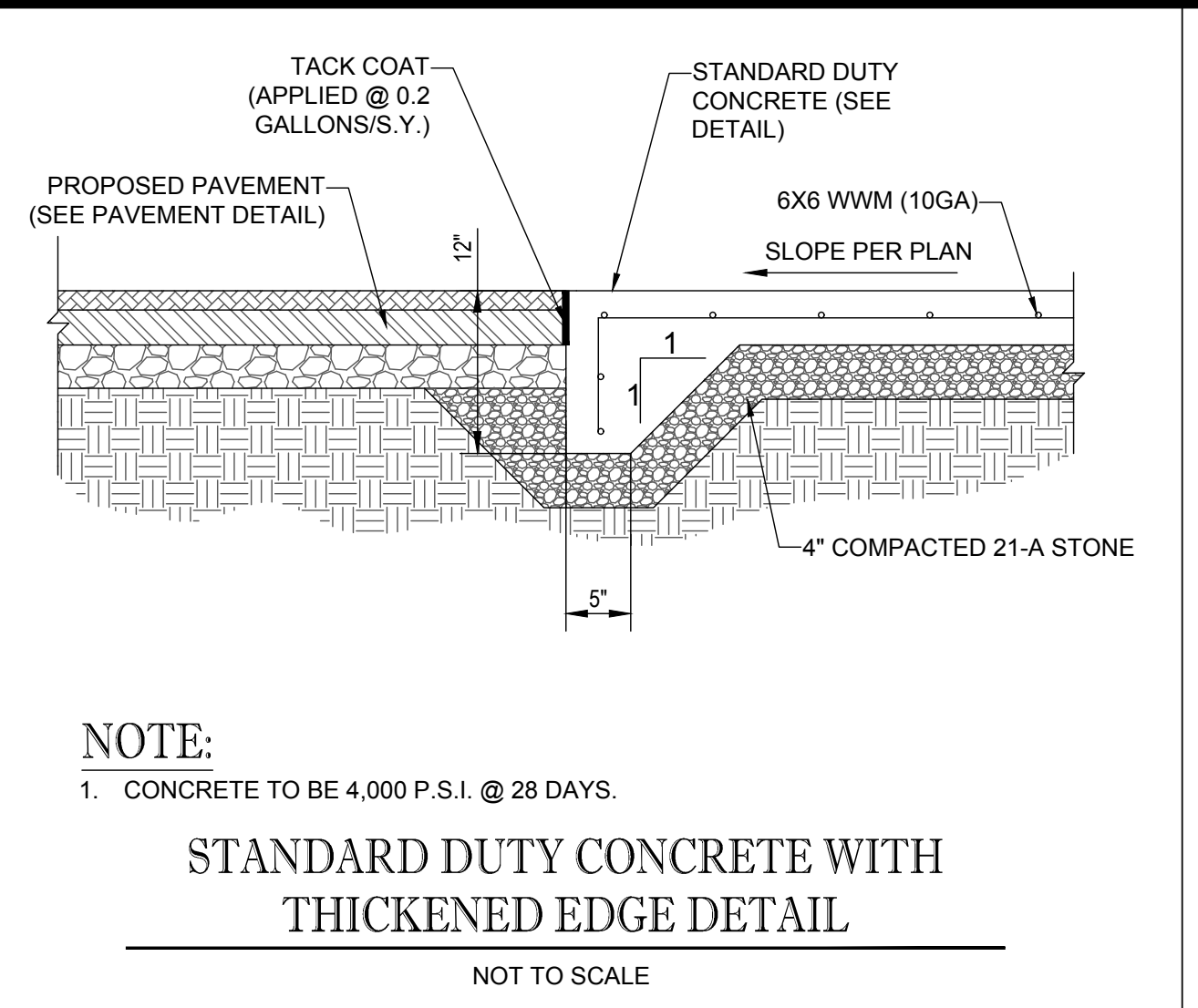
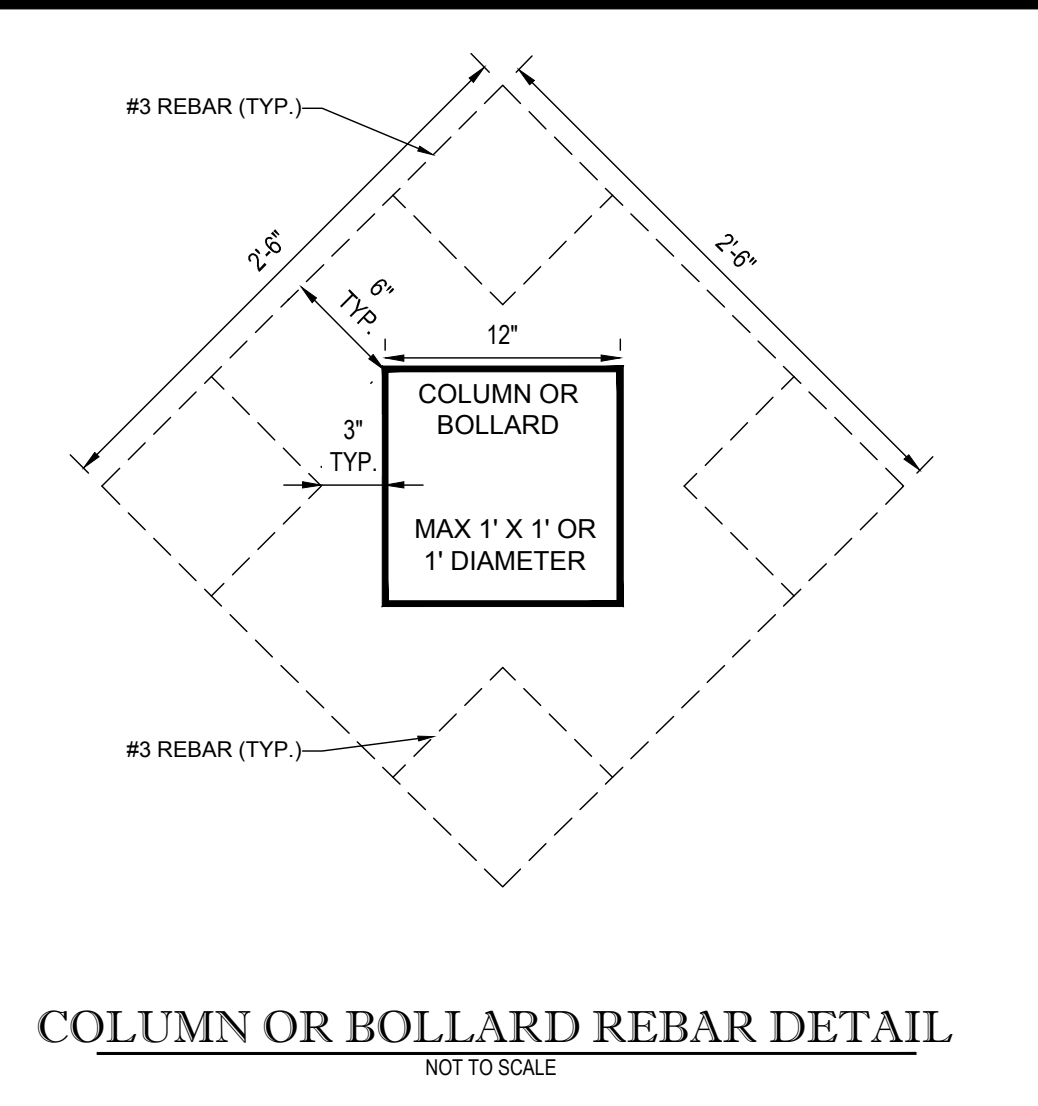
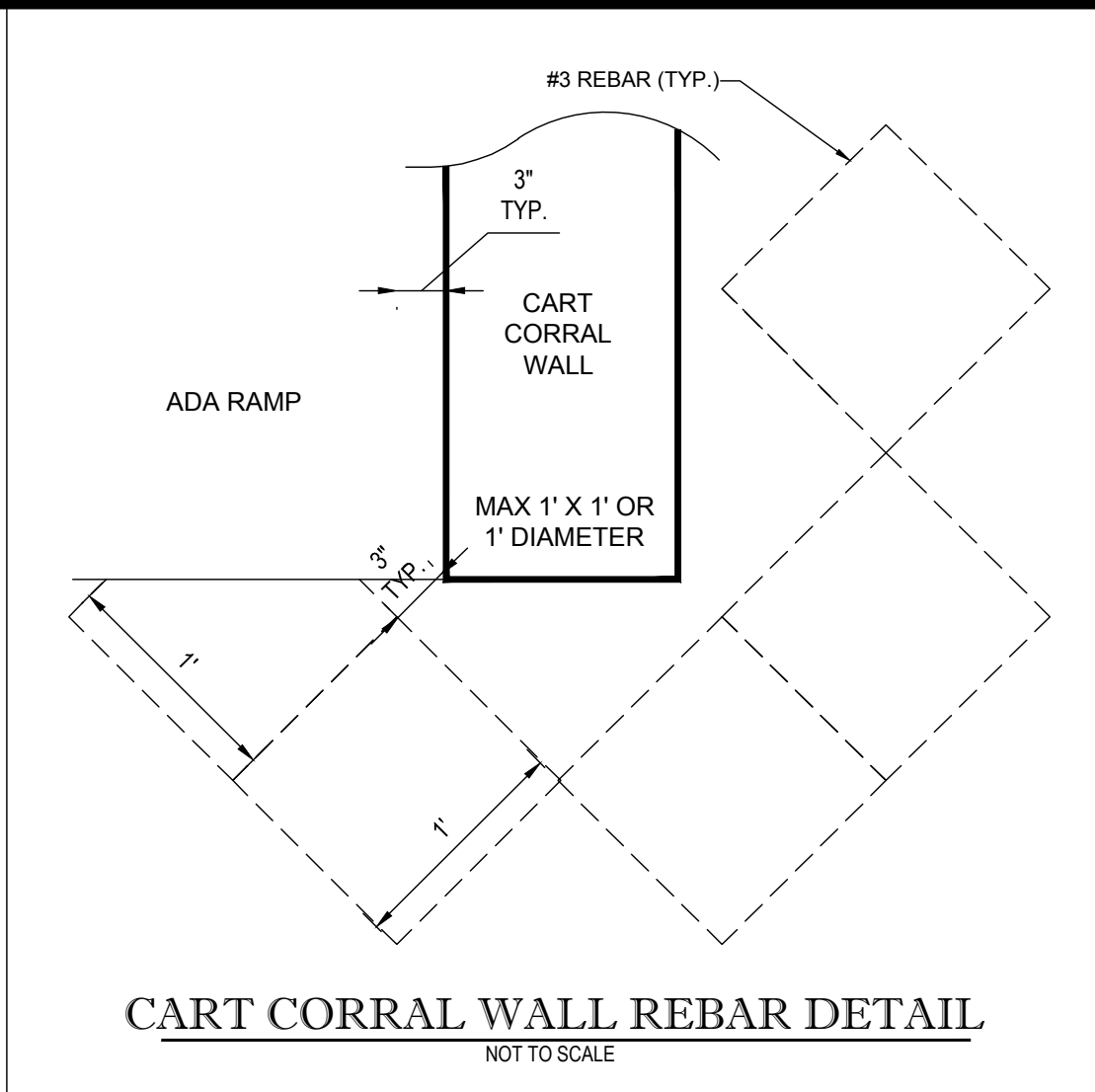
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NCBES 9-1132

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com



SHEET TITLE:
TREE PRESERVATION PLAN

SHEET NUMBER:
C-7.0



NOTES:

- CONTRACTOR SHALL INSTALL CURB AND GUTTER AT ELEVATION OF EXISTING PAVEMENT (ELEVATION AT EDGE OF GUTTER PAN MATCHES ELEVATION AT EXISTING PAVEMENT, UNLESS PLANS AND/OR SCHEMATICS INDICATE DIFFERENTLY).
- CONTRACTOR SHALL PROVIDE GUTTER PANS (COLLECTOR/SPILL) PER GRADING PLAN. SHADED GUTTER PAN REPRESENTS FULL SPILL SECTION, NON-SHADED IS COLLECTOR. CONTRACTOR SHALL PROVIDE 3 FOOT TRANSITIONS BETWEEN SPILL AND COLLECTOR SECTIONS.
- PLAN INTENT IS TO PROVIDE A MINIMUM SLOPE OF 0.50% ALONG COLLECTOR CURB. IF FIELD CONDITIONS AND/OR PLAN REPRESENTATION DOES NOT PROVIDE MINIMUM SLOPE REQUIREMENTS, CONTRACTOR IS TO CONTACT ENGINEER PRIOR TO POURING CURB AND GUTTER. BOHLER ENGINEERING SHALL BE HELD HARMLESS FOR ANY CURB AND GUTTER POURED THAT DOES NOT MEET MINIMUM REQUIREMENTS.
- IN THOSE SITUATIONS WHERE RE-GRADING OF PARKING AND PAVEMENT REMOVAL IS NECESSARY (SEE EXAMPLE 2), THE CONTRACTOR IS TO VERIFY THAT THE RESULTANT GRADIENT AT THE HIGH SIDE OF THE ISLAND PROVIDES 1% PAVEMENT SLOPE, PER PLAN INTENT.
- IN ISLANDS WHERE FLUMES ARE INDICATED, THE CONTRACTOR SHALL PROVIDE A FLAT BOTTOMED FLUME AT THE SPECIFIED WIDTH. MINIMUM FLUME SLOPE SHALL BE 0.50%.

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CHECKED BY: WLB
DATE: 12/22/16
SCALE: AS NOTED
CAD I.D.: SD1

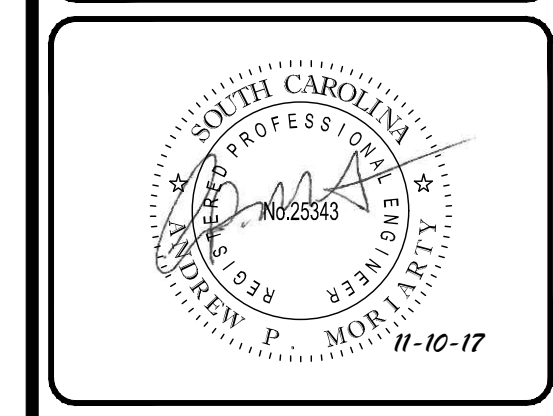
CONSTRUCTION PLANS

FOR
LIDL US OPERATIONS, LLC

LOCATION OF SITE
SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

BOHLER ENGINEERING NO. PLLC

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com



SHEET TITLE:
SITE DETAILS 1

SHEET NUMBER:
D-1.0

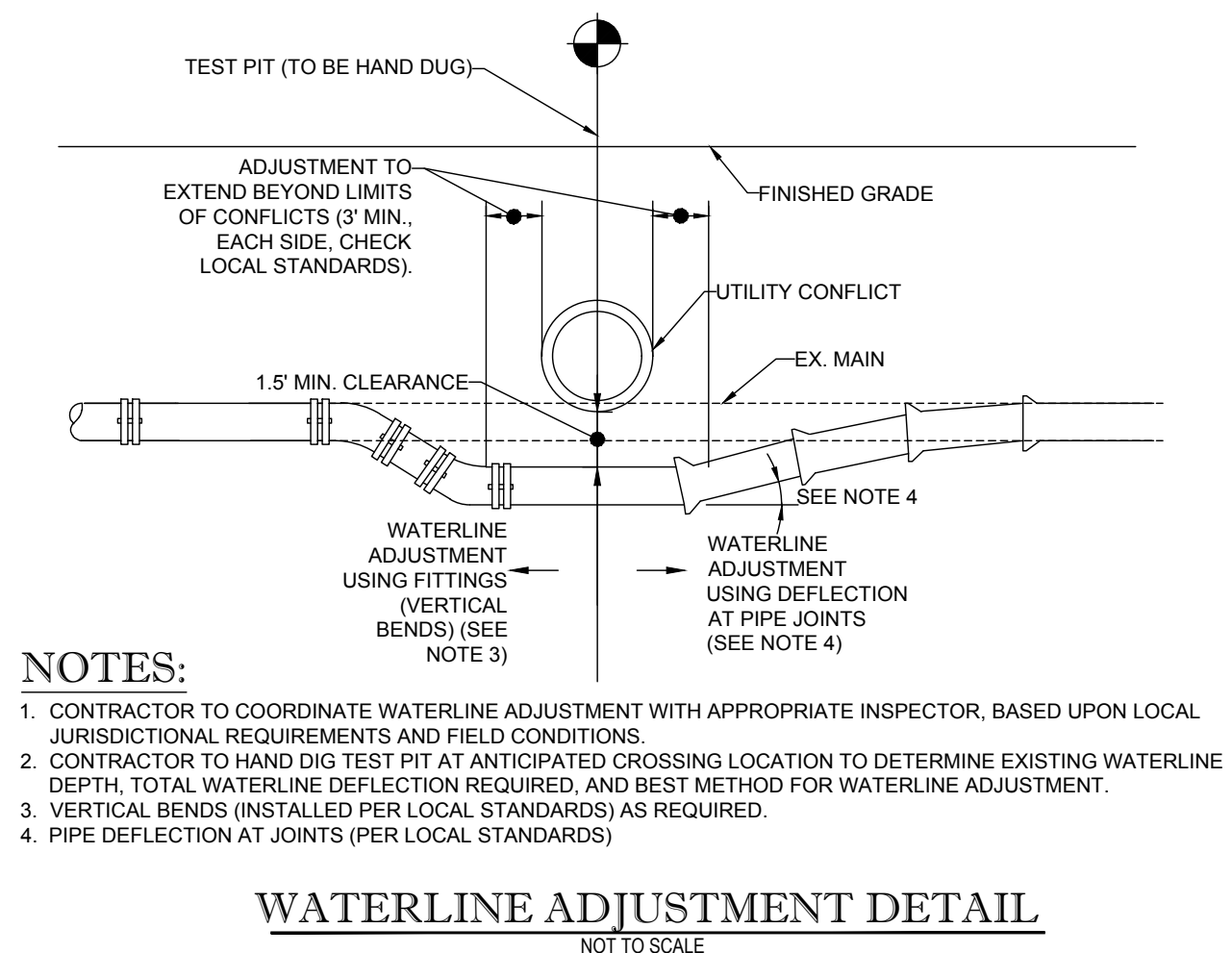
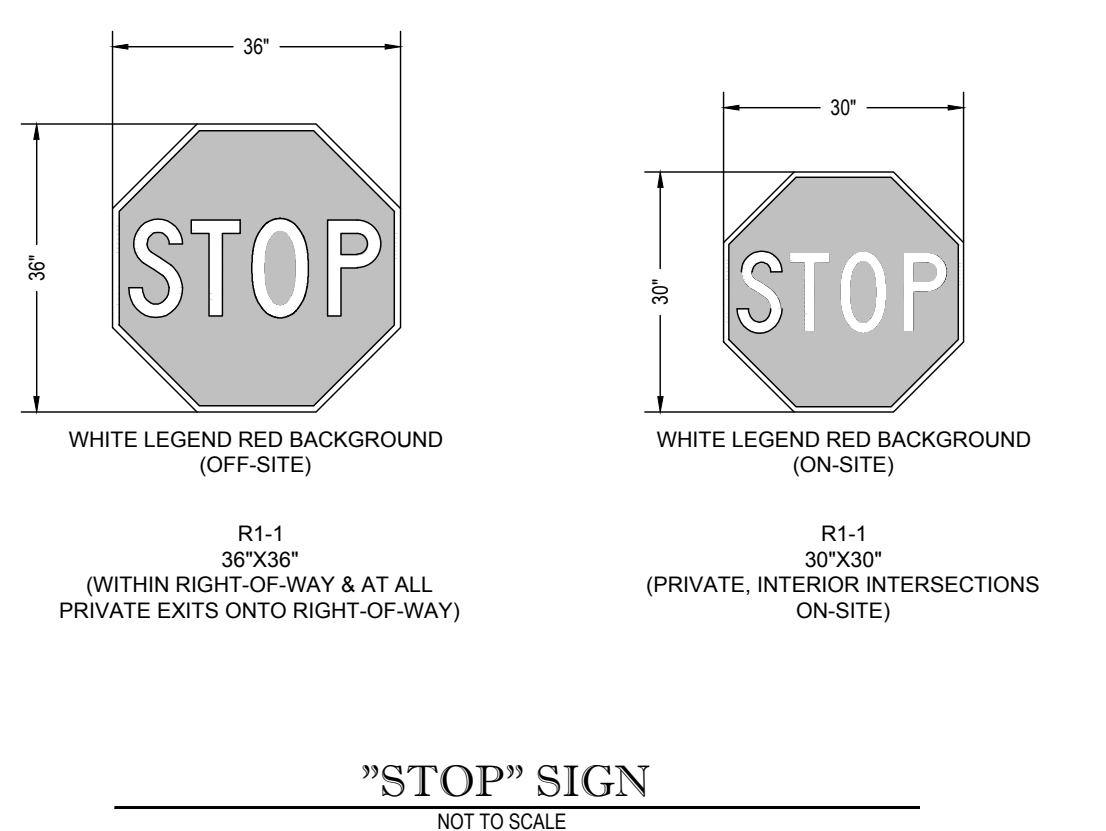
Annapolis™ Bollard, 6" Embedded
Product Drawing

www.landscapiforms.com Date: 5/13/2010 Ph: 800.521.2546

**COLOR: BRONZE
FINISH: METALLIC**

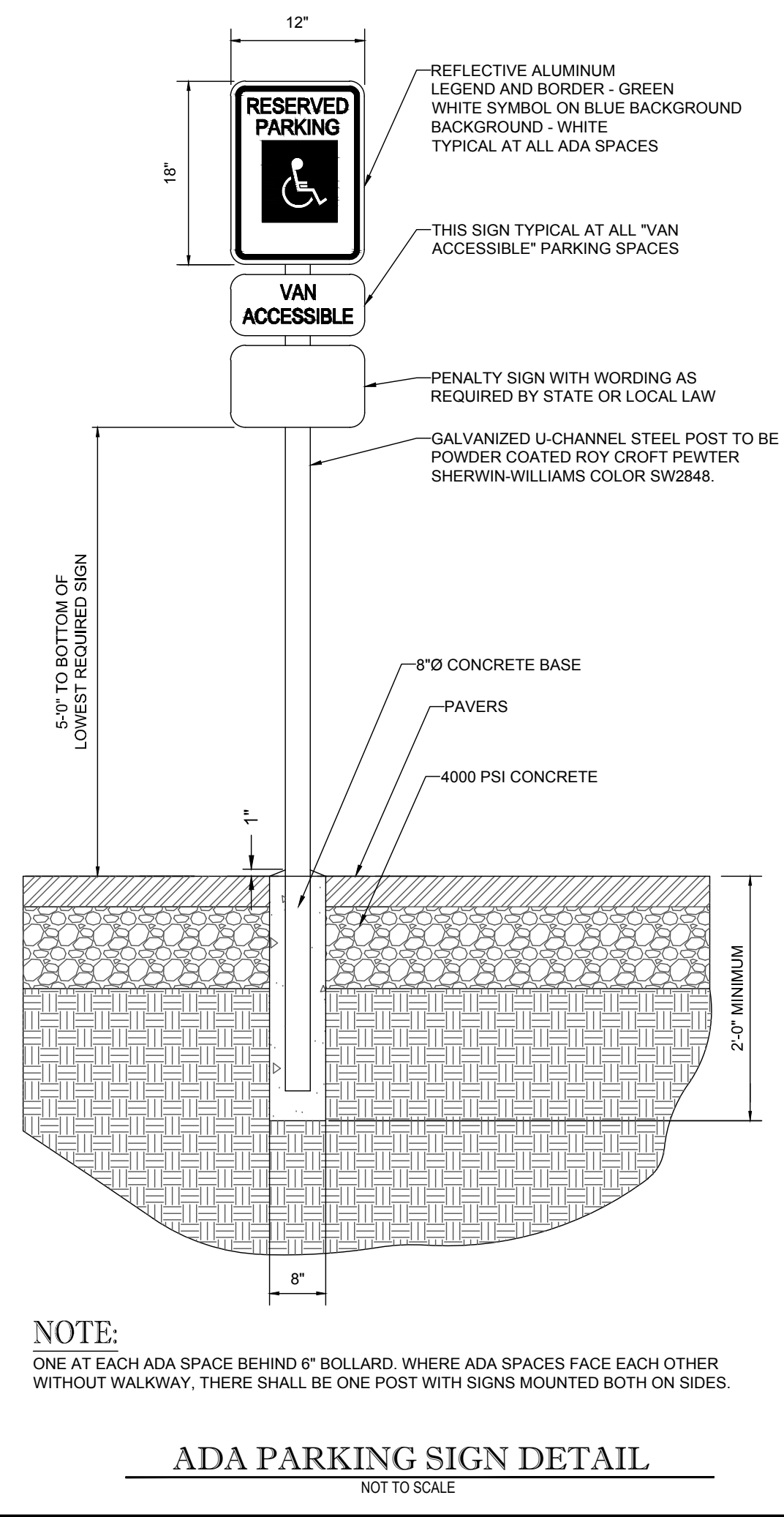
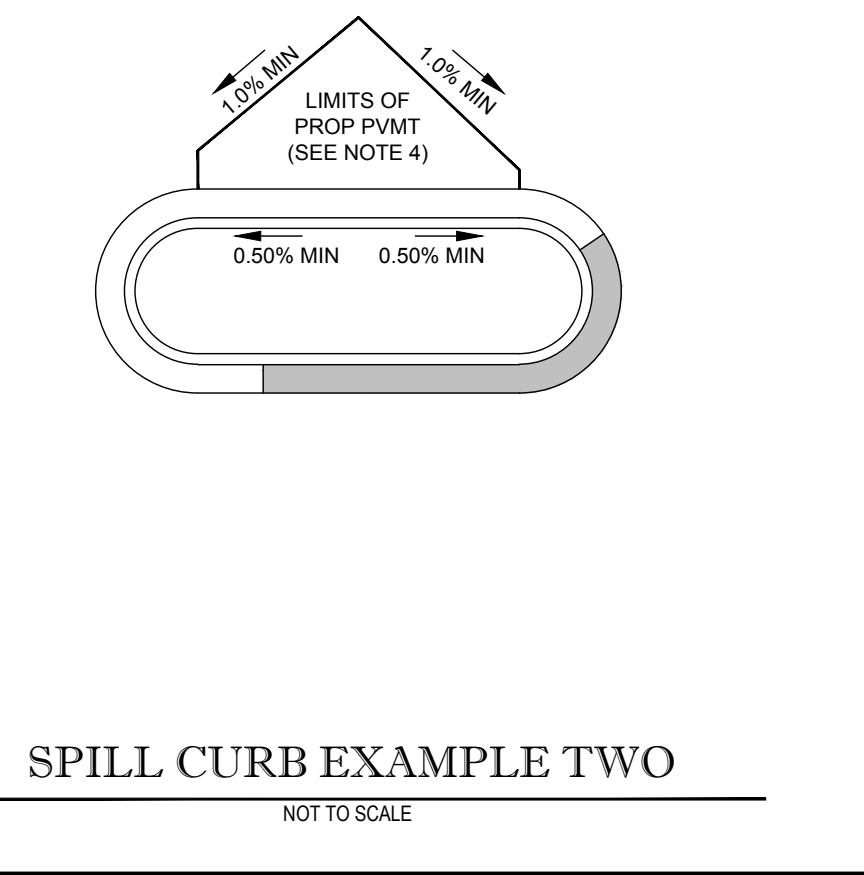
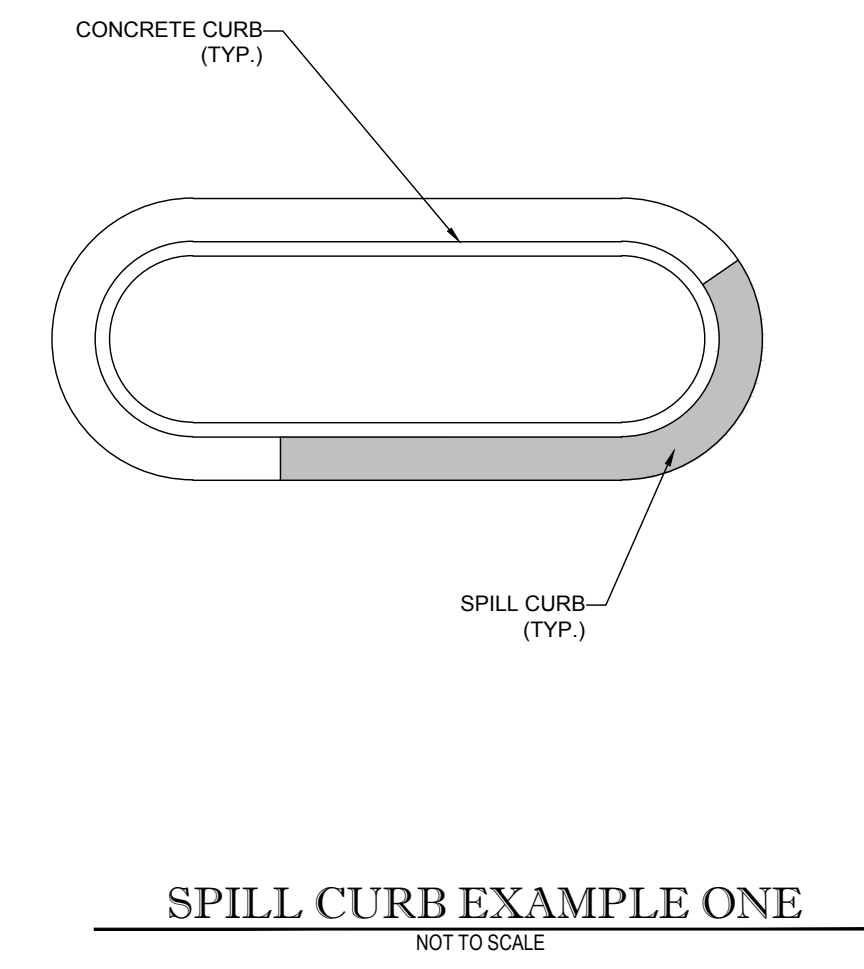
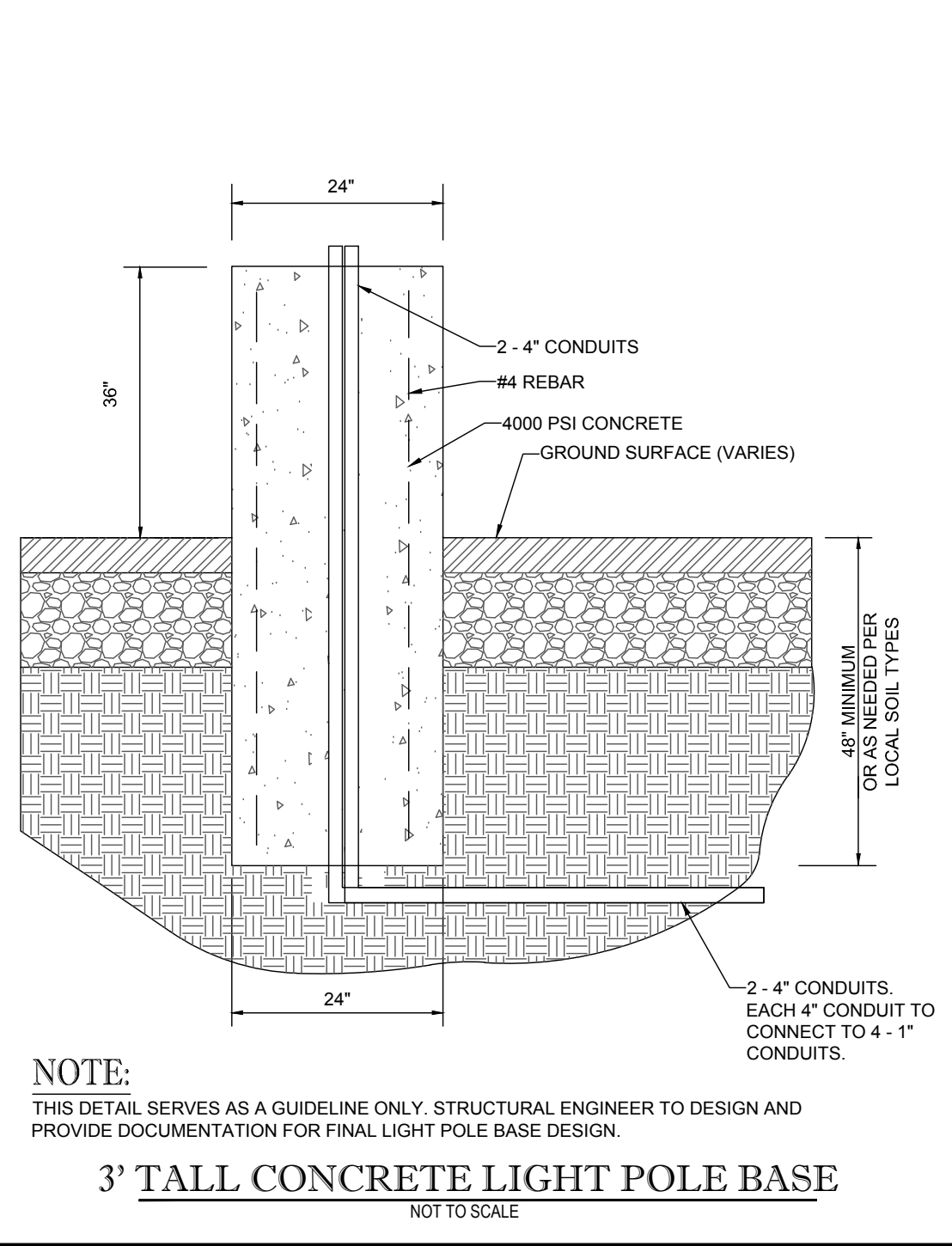
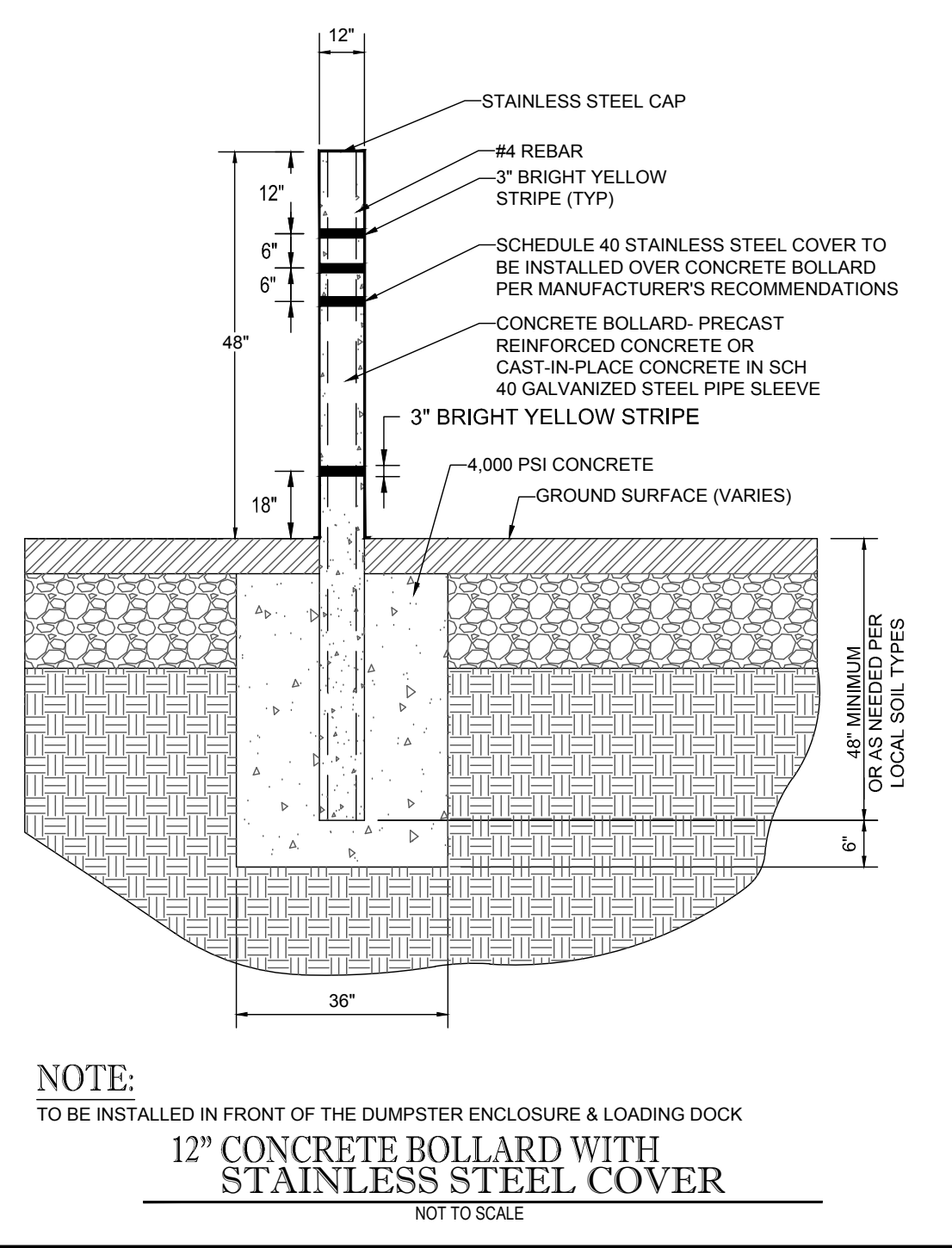
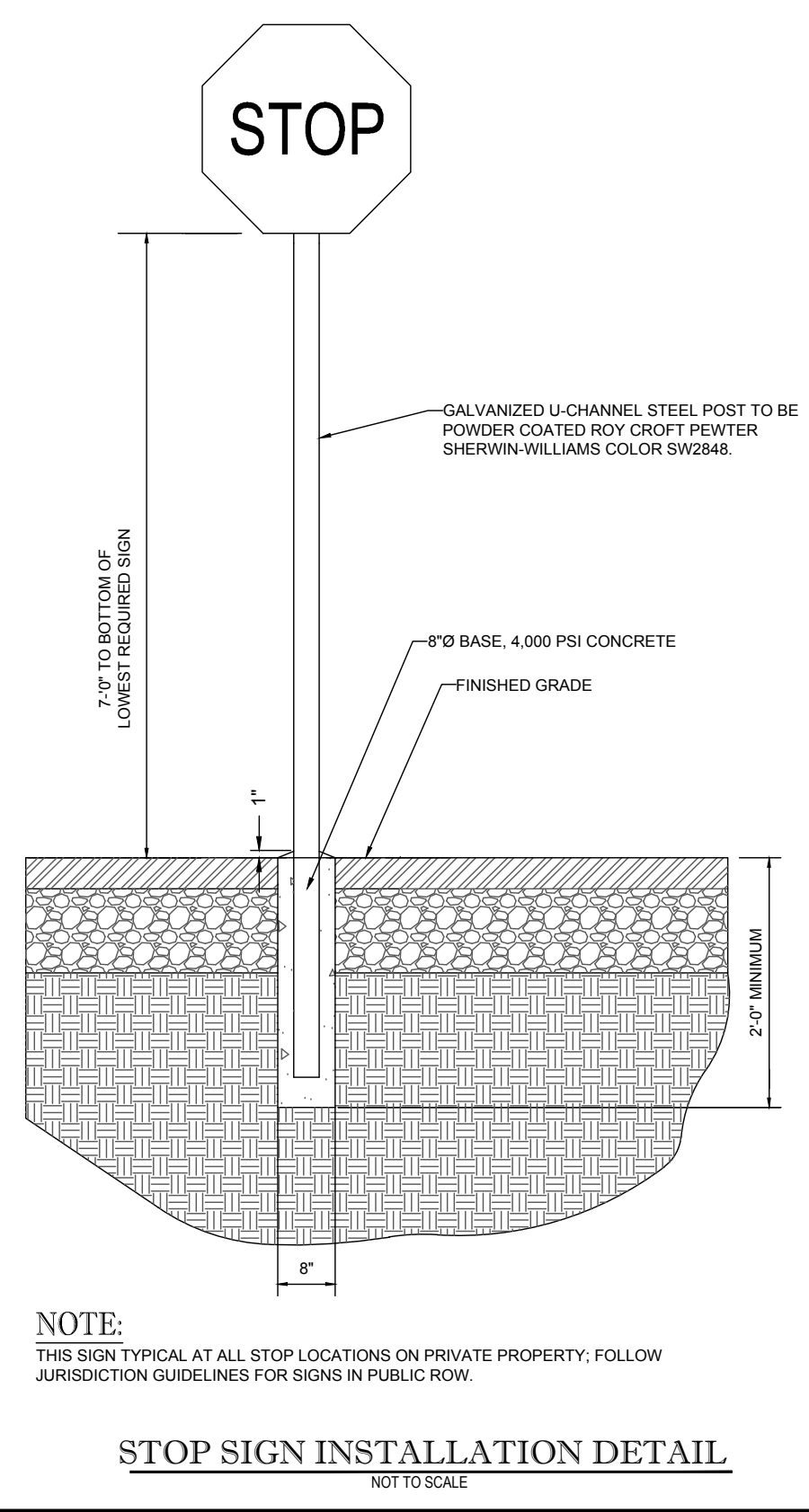
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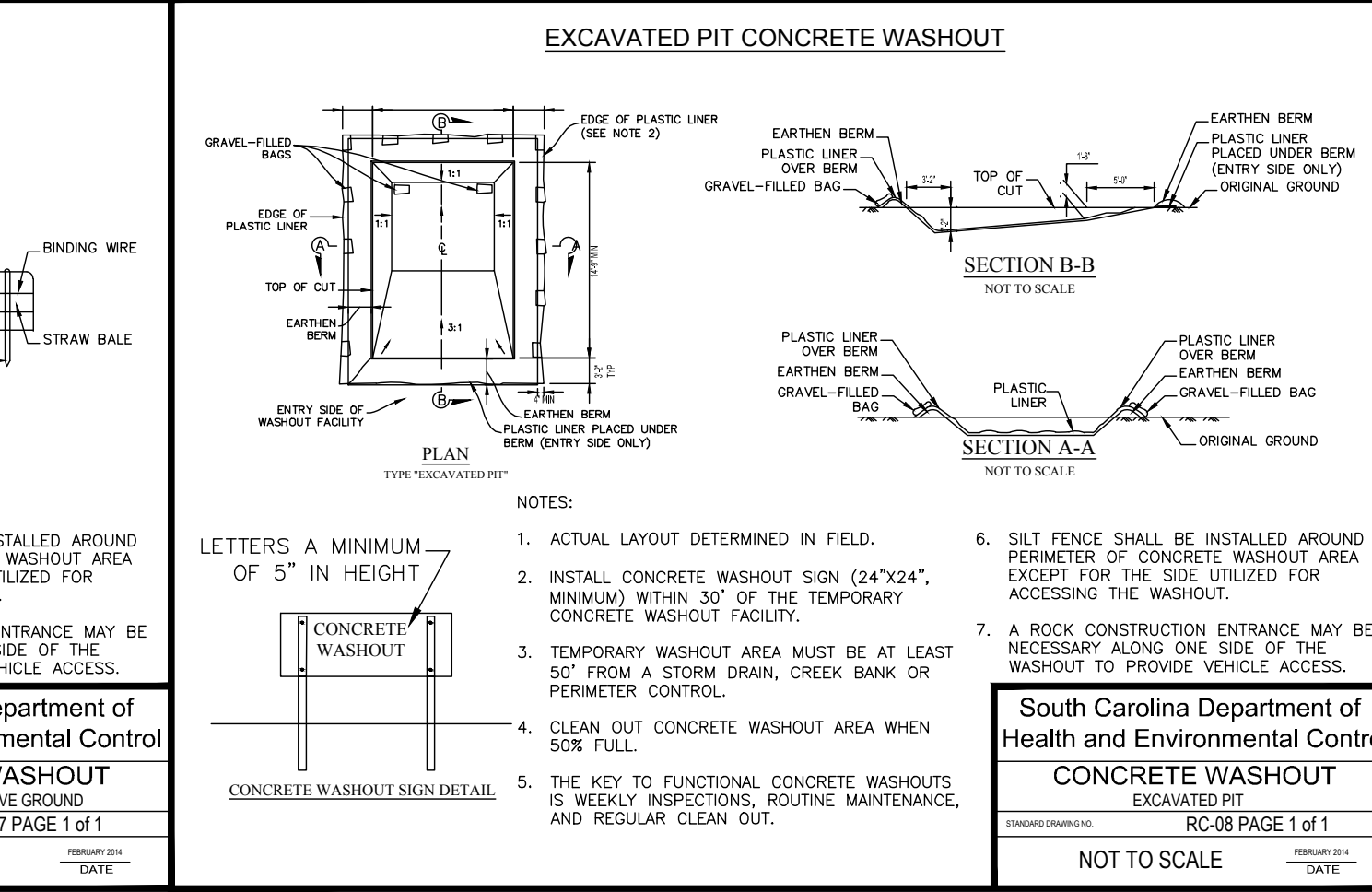
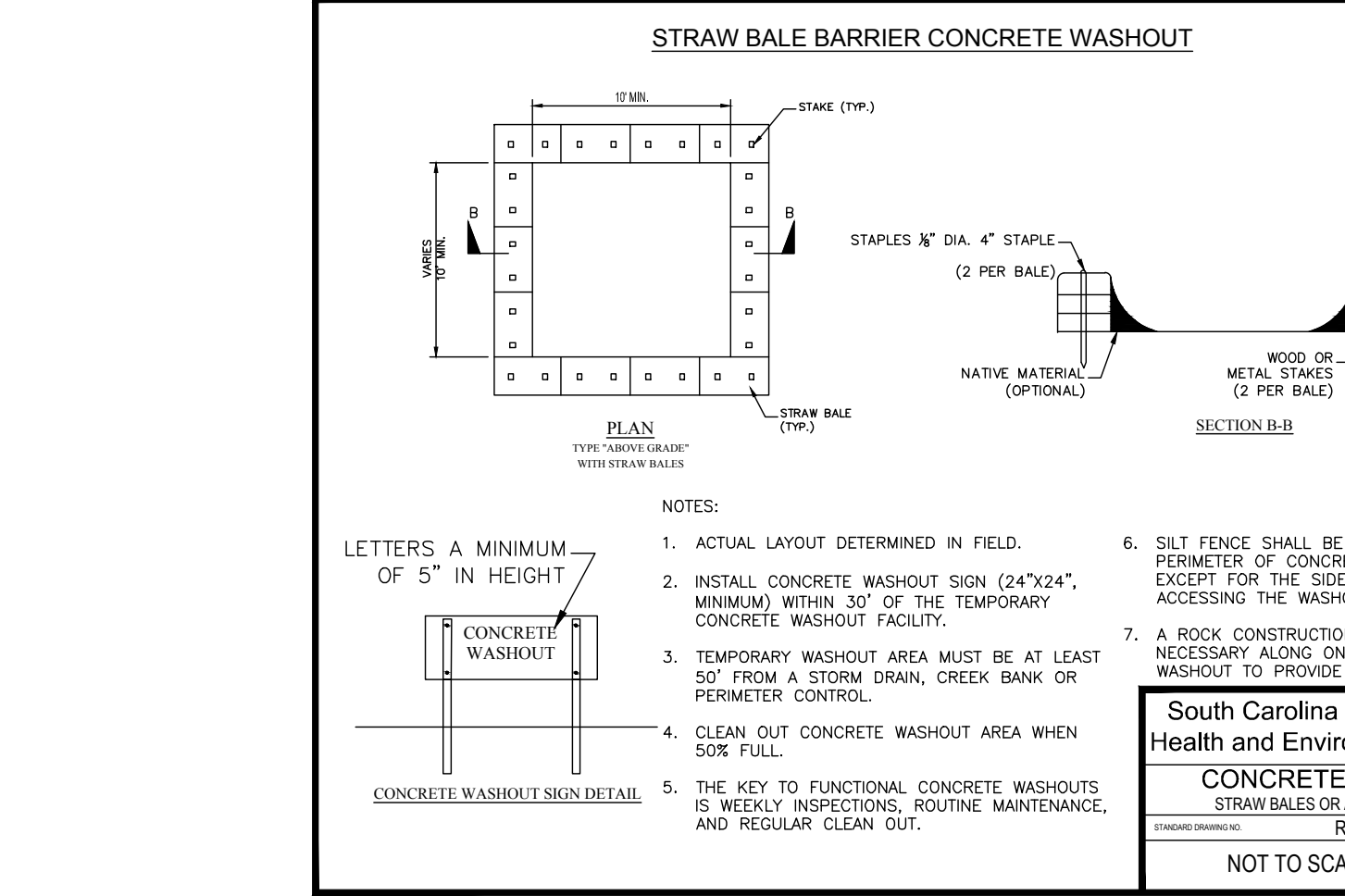
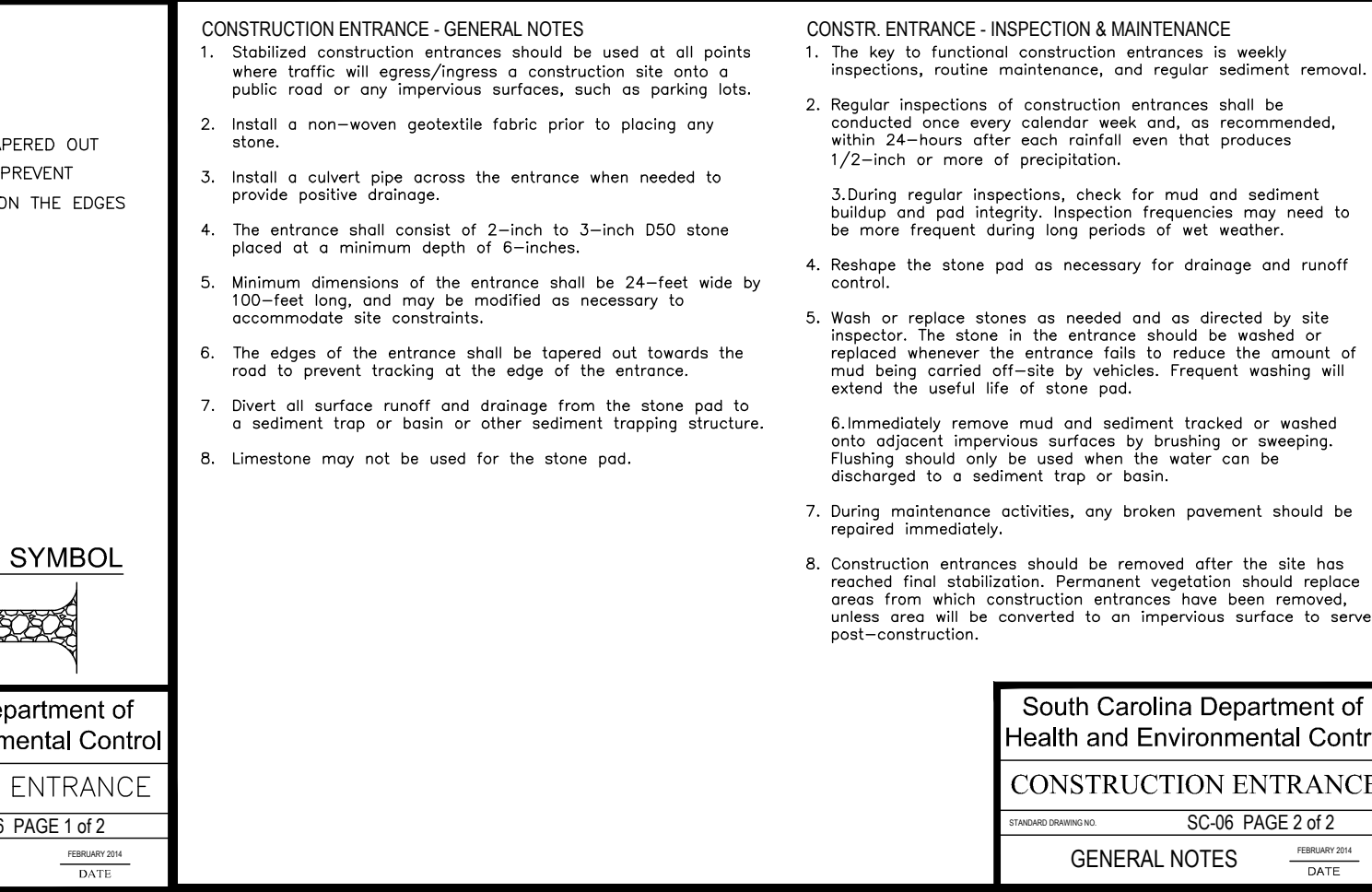
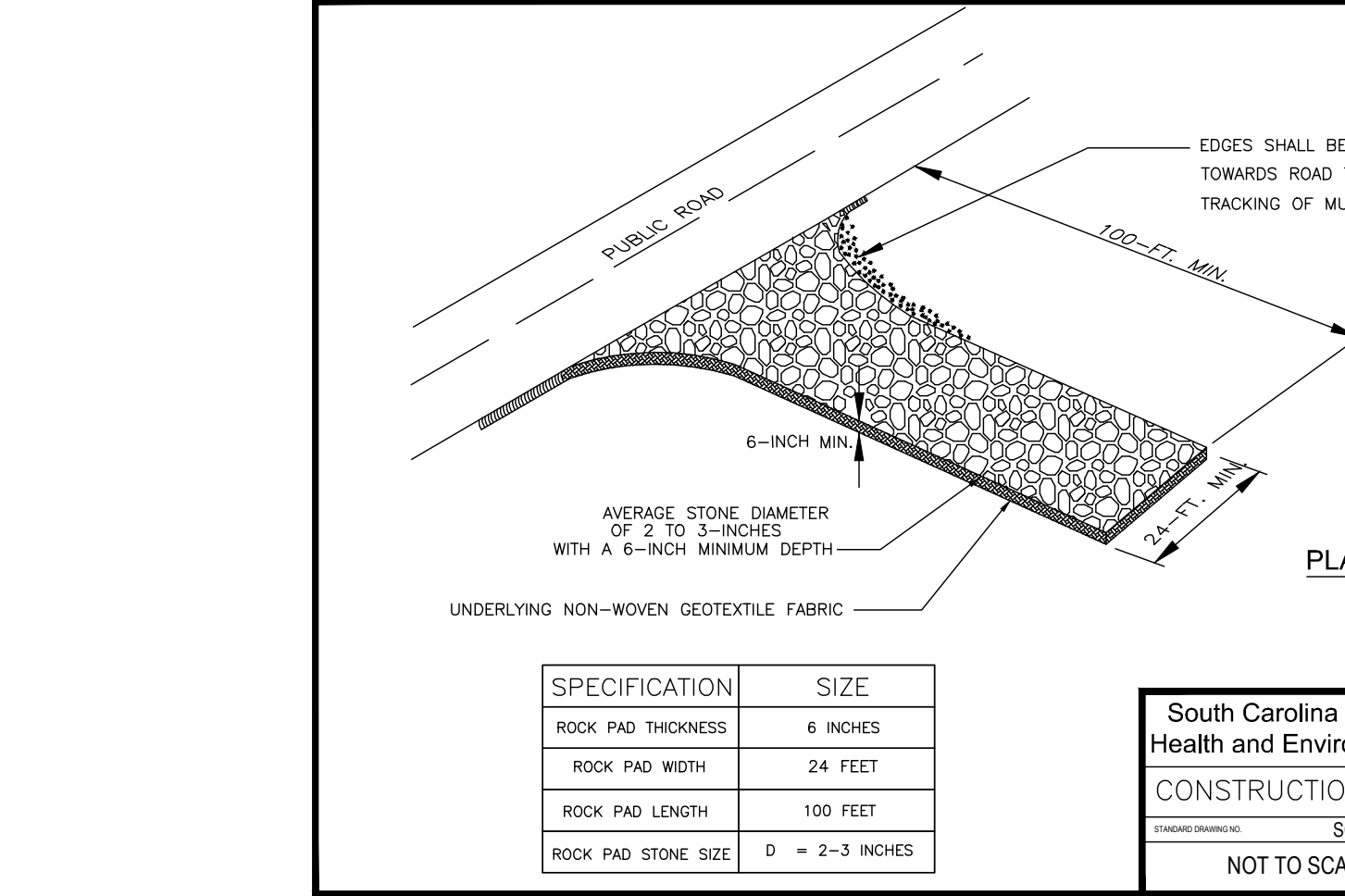
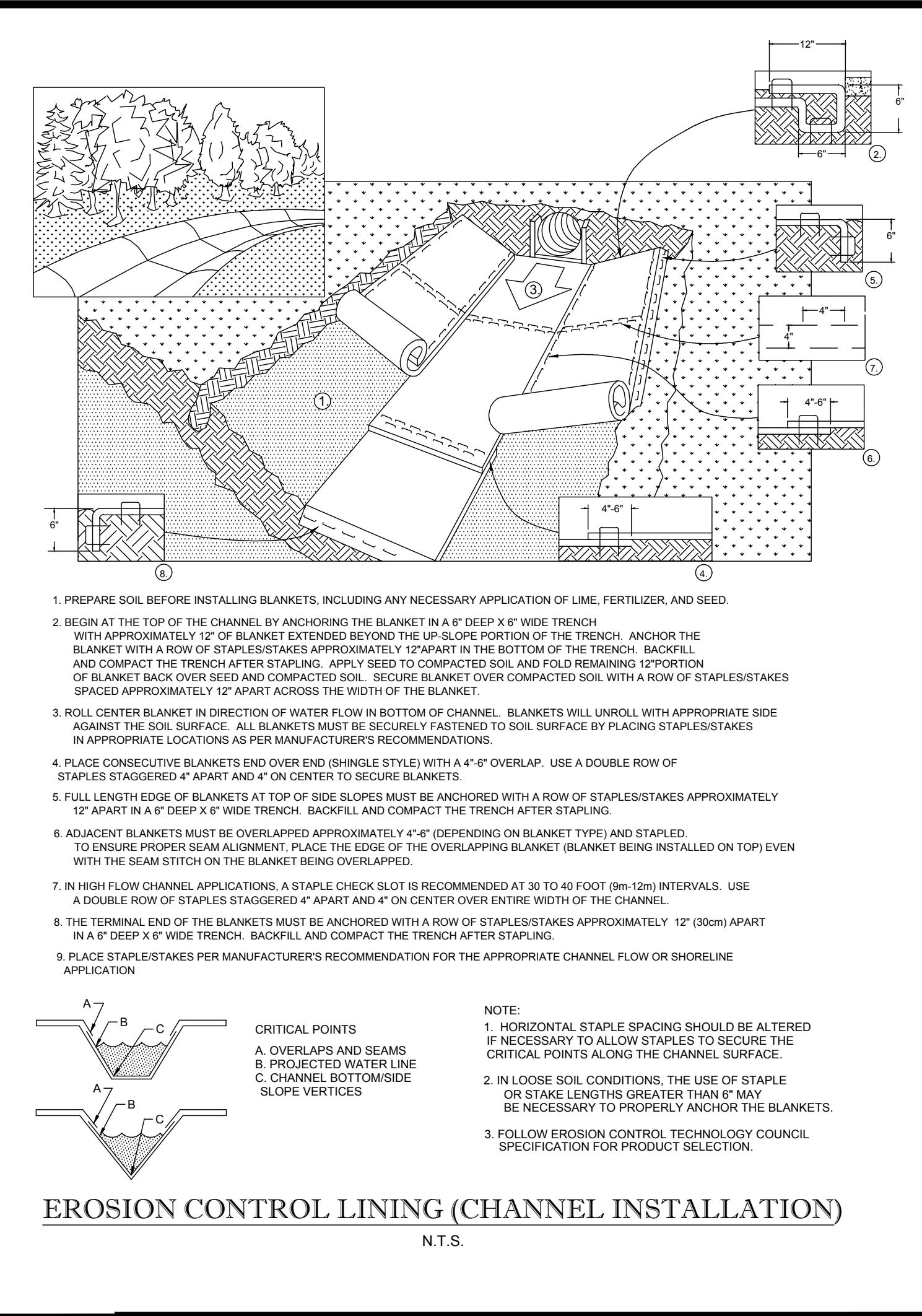
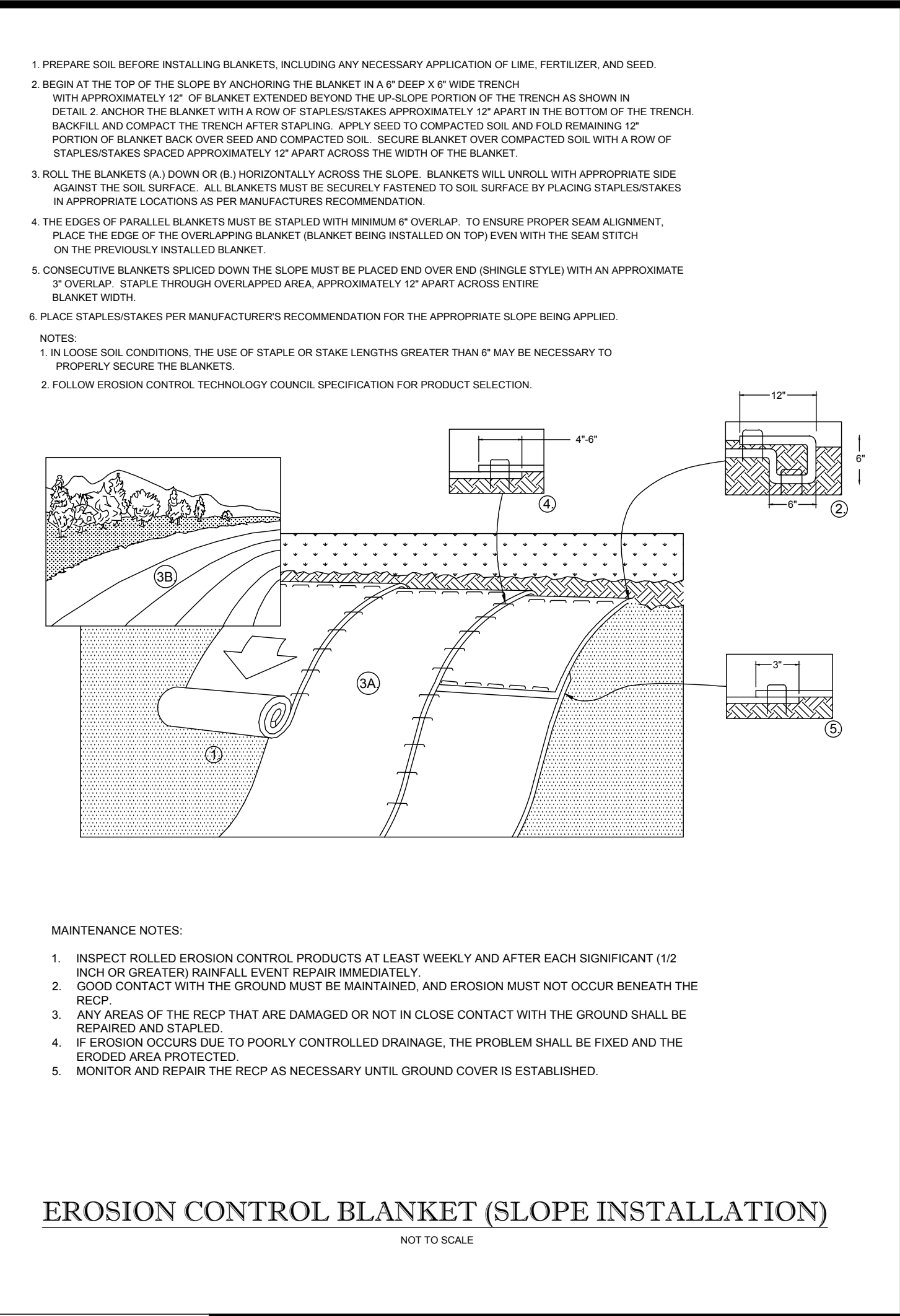
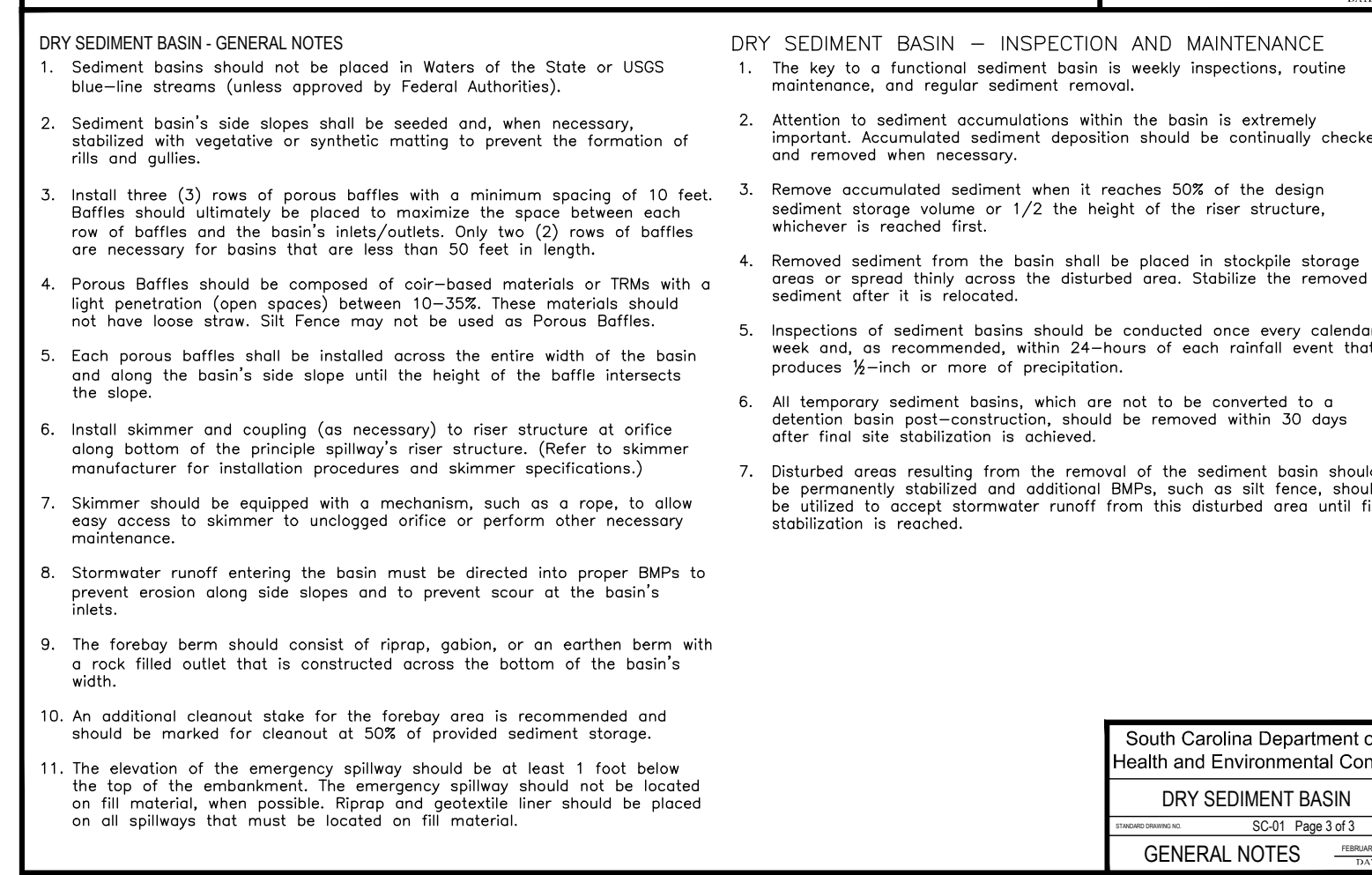
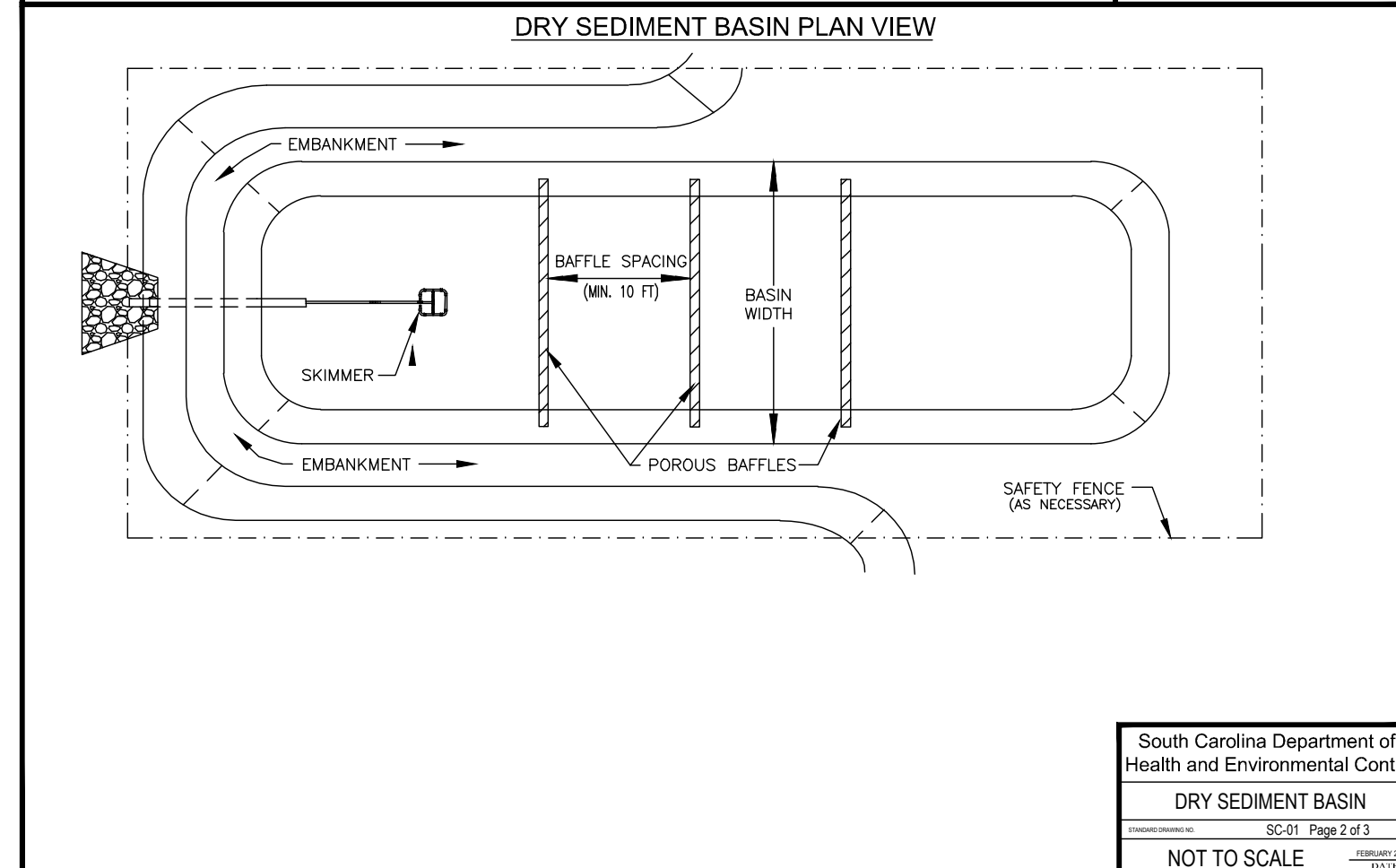
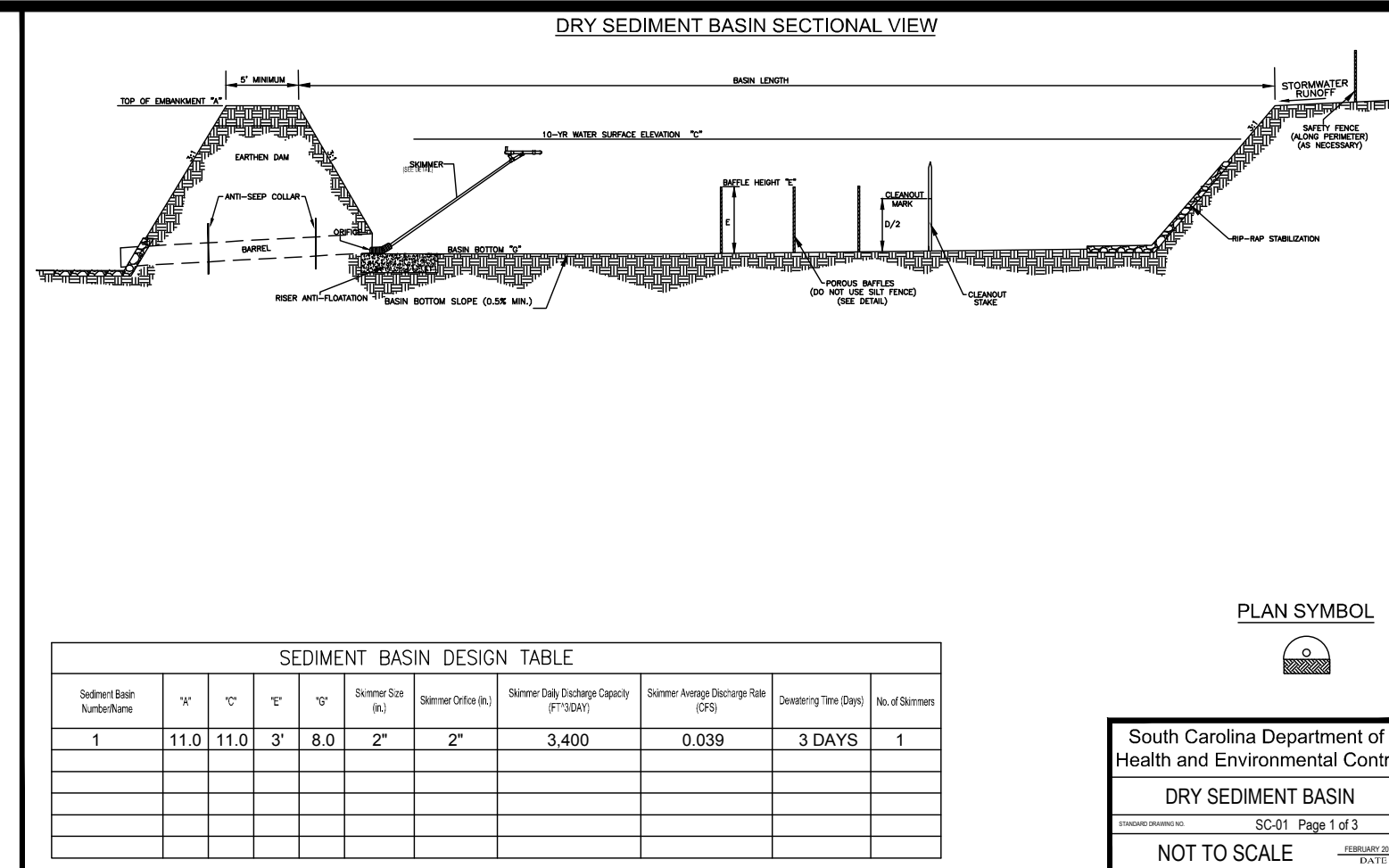


NOTES:

- CONTRACTOR TO COORDINATE WATERLINE ADJUSTMENT WITH APPROPRIATE INSPECTOR, BASED UPON LOCAL JURISDICTIONAL REQUIREMENTS AND FIELD CONDITIONS.
- CONTRACTOR TO HAND DIG TEST PIT AT ANTICIPATED CROSSING LOCATION TO DETERMINE EXISTING WATERLINE DEPTH, TOTAL WATERLINE DEFLECTION REQUIRED, AND BEST METHOD FOR WATERLINE ADJUSTMENT.
- VERTICAL BENDS (INSTALLED PER LOCAL STANDARDS) AS REQUIRED.
- PIPE DEFLECTION AT JOINTS (PER LOCAL STANDARDS)



NOTE:
ONE AT EACH ADA SPACE BEHIND 6" BOLLARD. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH ON SIDES.



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STATE OF NORTH CAROLINA
 PROFESSIONAL ENGINEER
 NO. 22343
 EXPIRES 12/31/17

LAND SURVEYING PROGRAM MANAGEMENT TRANSPORTATION SERVICES
 SUSTAINABLE DESIGN PERMITTING SERVICES LANDSCAPE ARCHITECTURE

PHILADELPHIA, PA
 PHOENIX, AZ
 RICHMOND, VA
 RICHMOND BEACH, DE
 RICHMOND, VA
 SOUTH CAROLINA
 SOUTH EASTERN, PA
 CHARLOTTE, NC
 CHARLOTTE, NC
 NEW YORK, NY
 NEW YORK, NY
 NEW YORK, NY
 NEW YORK, NY
 NEW YORK, NY
 SOUTH FLORIDA

REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

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PROJECT NO.: NCR151023
 DRAWN BY: MJH
 CHECKED BY: WLB
 DATE: 12/22/16
 SCALE: AS NOTED
 CAD I.D.: SD1

CONSTRUCTION PLANS

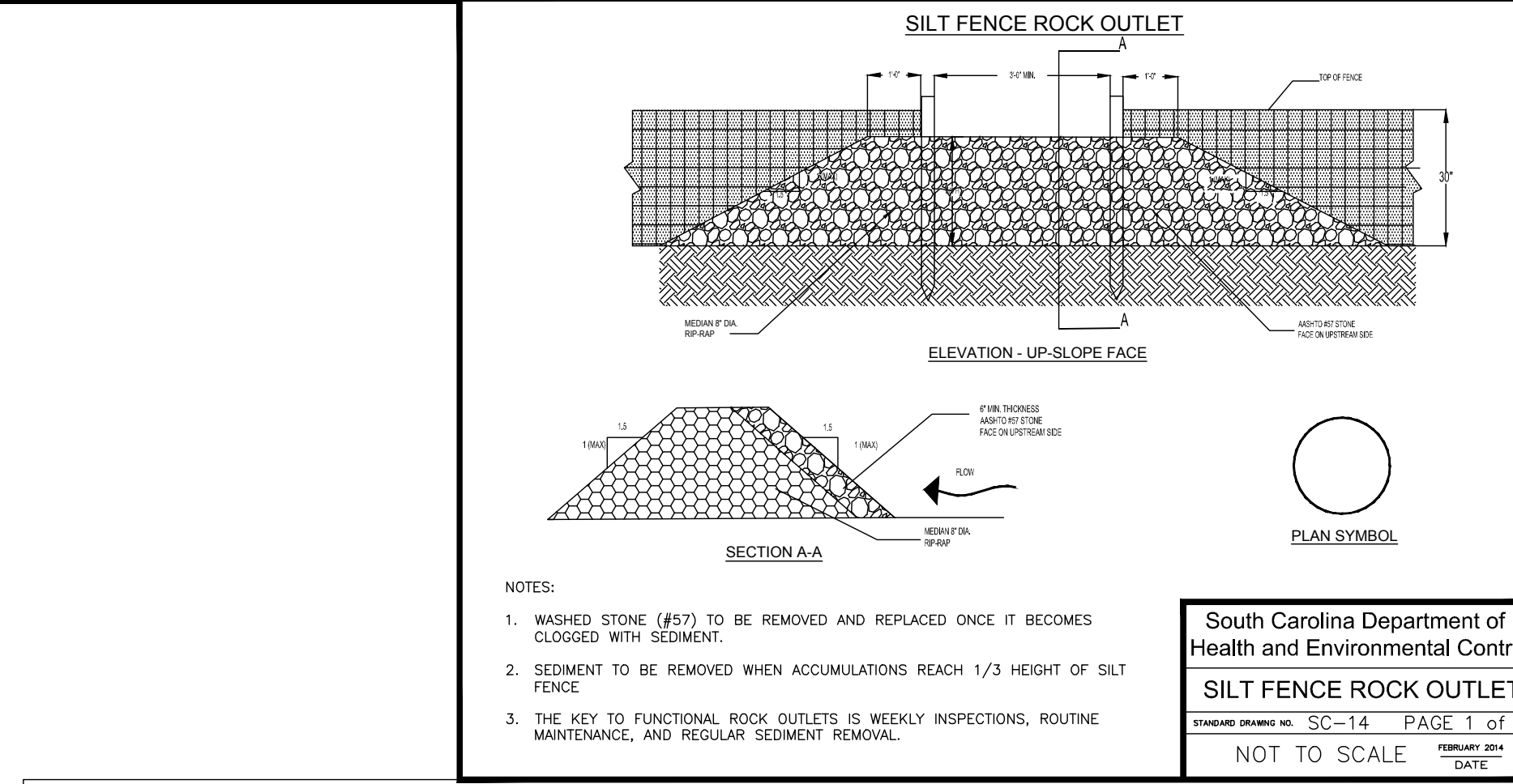
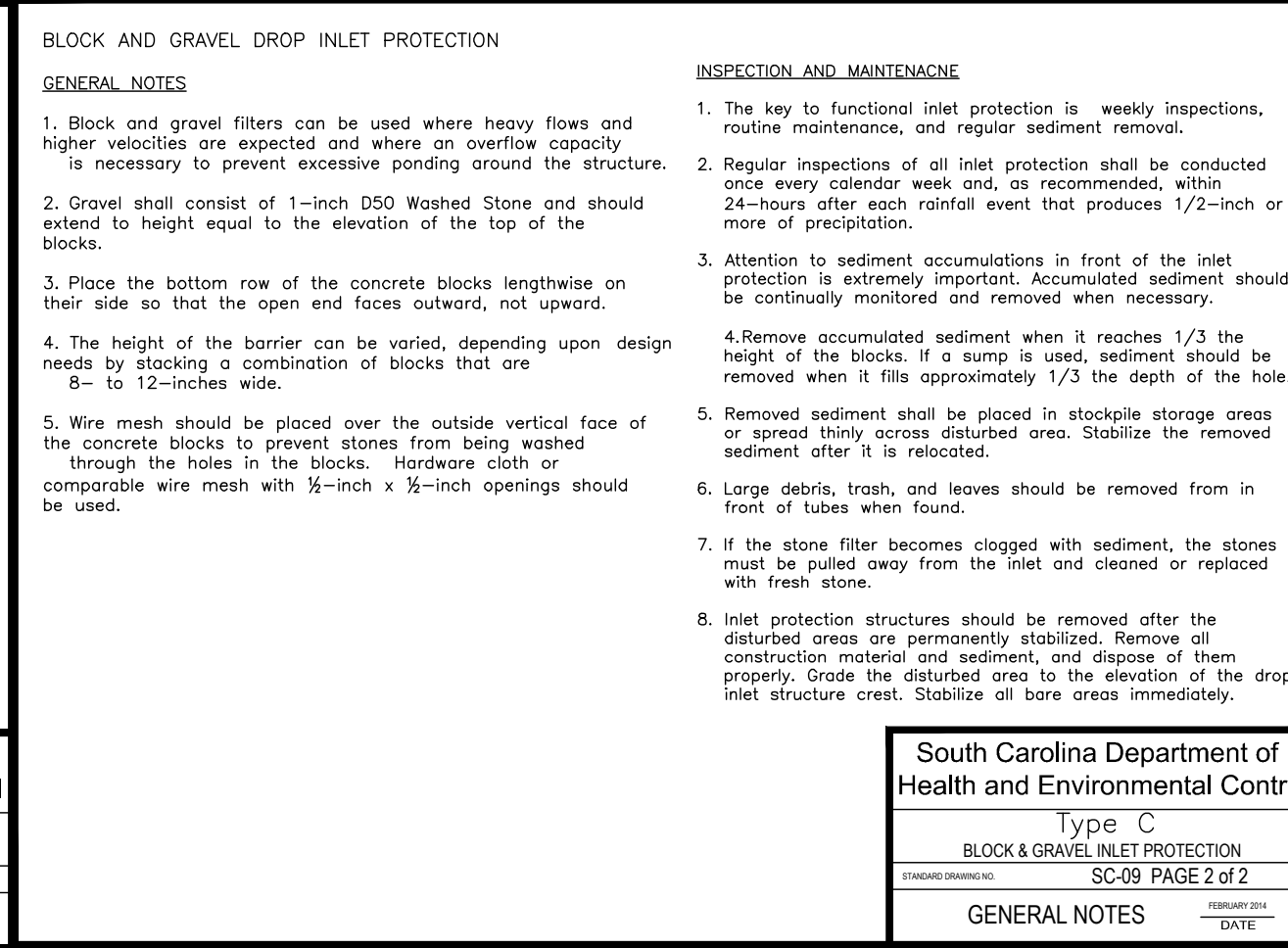
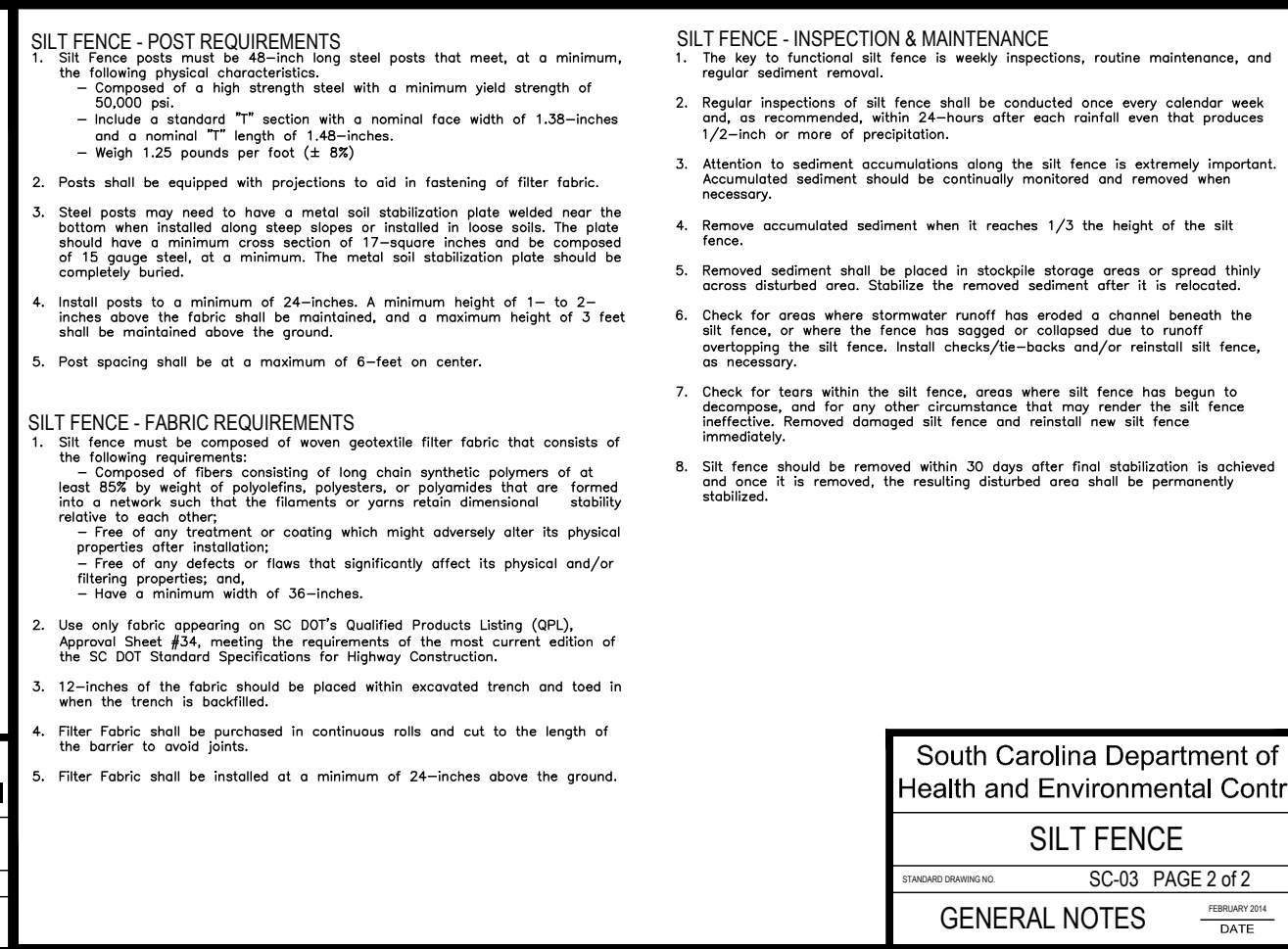
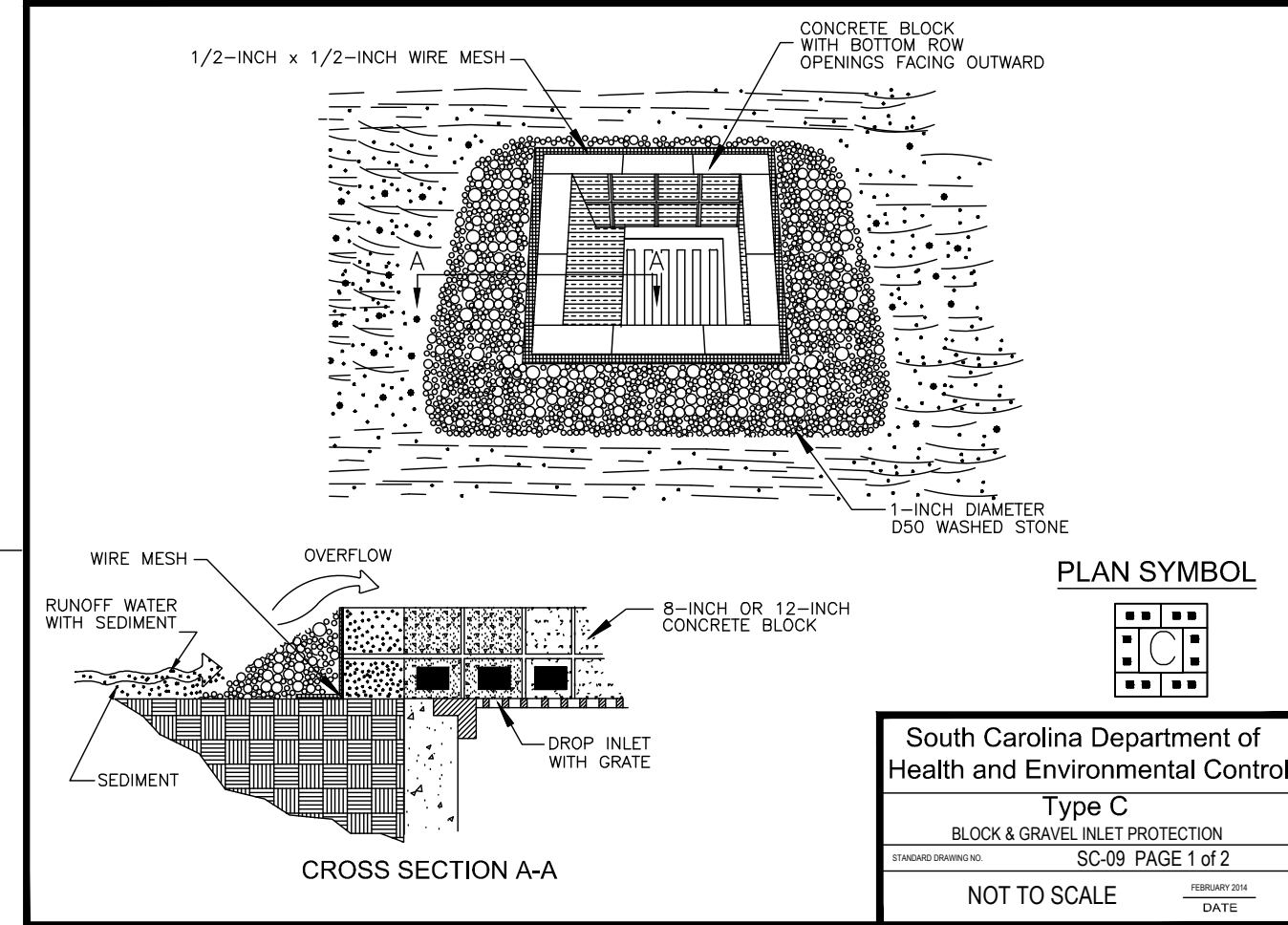
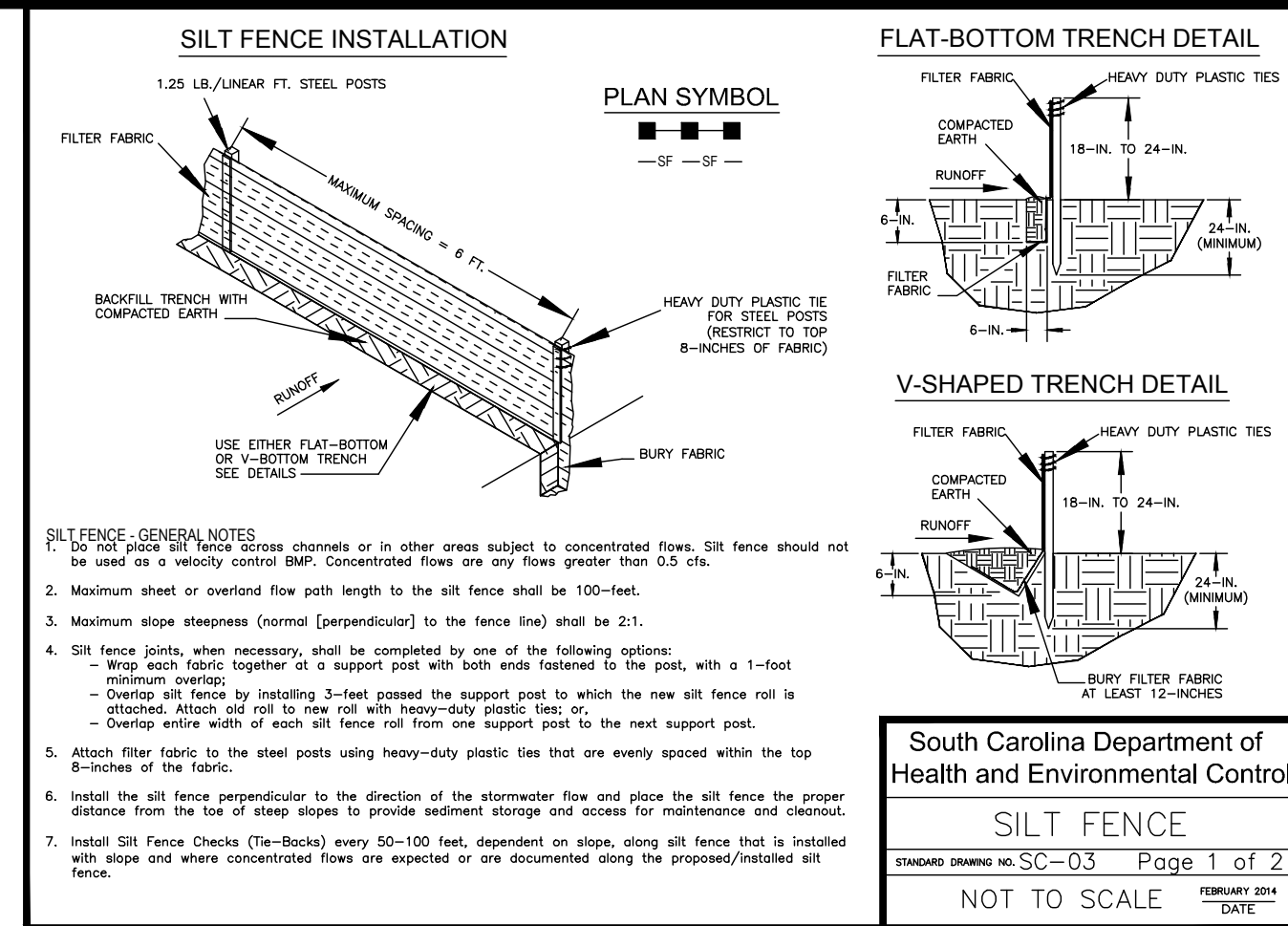
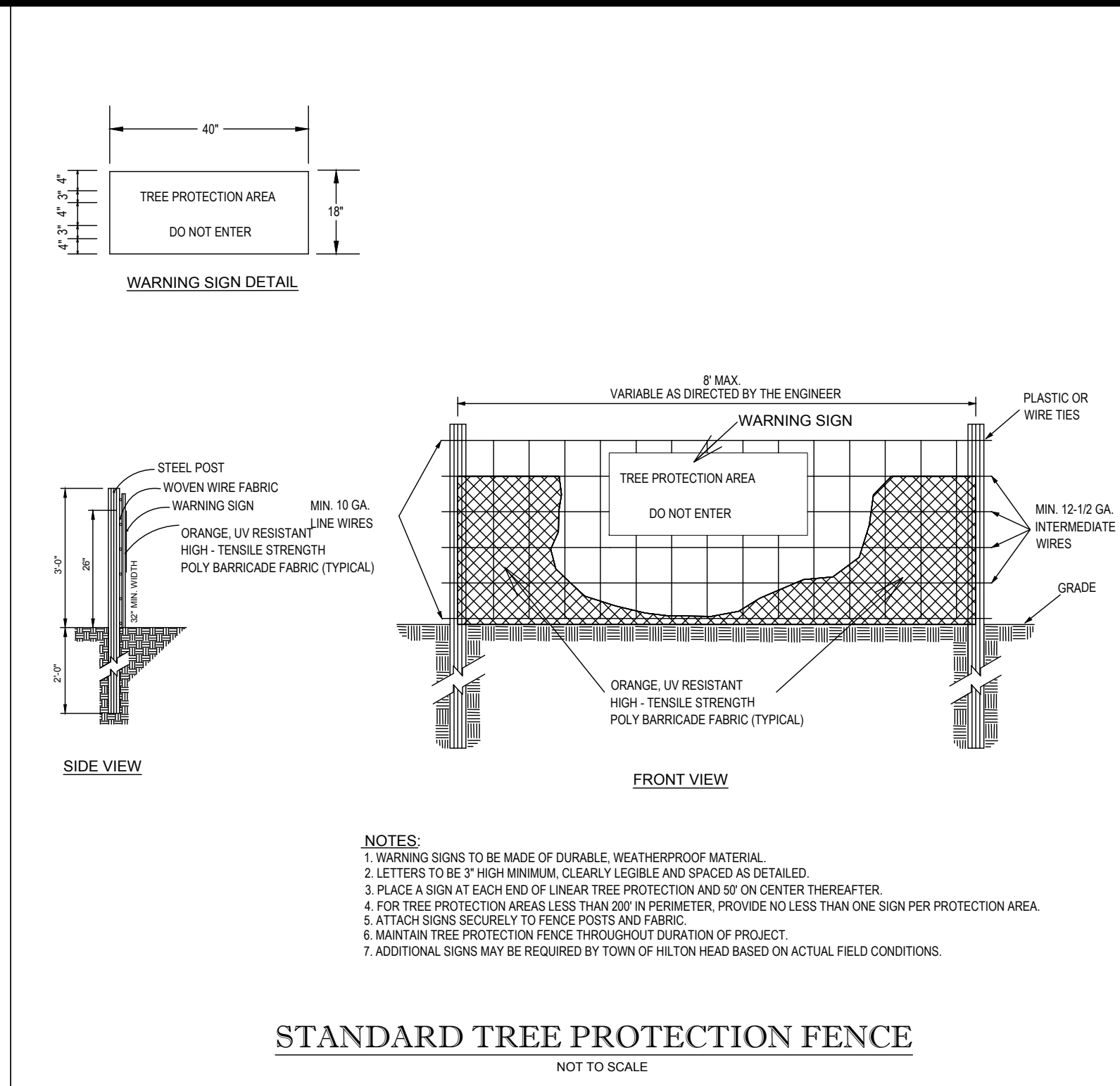
FOR
LIDL US OPERATIONS, LLC
 LOCATION OF SITE
 SEA TURTLE MARKETPLACE
 80 MATHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

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EROSION & SEDIMENT CONTROL DETAILS 1

SHEET NUMBER:
D-2.0



South Carolina Department of Health and Environmental Control

SILT FENCE

SC-03 PAGE 2 of 2

GENERAL NOTES

South Carolina Department of Health and Environmental Control

Type C

BLOCK & GRAVEL INLET PROTECTION

SC-09 PAGE 1 of 2

GENERAL NOTES

South Carolina Department of Health and Environmental Control

SILT FENCE ROCK OUTLET

SC-14 PAGE 1 of 1

NOT TO SCALE

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NORTHERN VIRGINIA
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REVISIONS

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1	11/10/17	DRB AND DPR COMMENTS	JDM

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SCALE: AS NOTED
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CONSTRUCTION PLANS

FOR

LIDL US OPERATIONS, LLC

LOCATION OF SITE

SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

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PROFESSIONAL ENGINEER

STATE OF NORTH CAROLINA

NO. 25343

11-10-17

SHEET TITLE:

EROSION & SEDIMENT CONTROL DETAILS 2

SHEET NUMBER:

D-2.1

GENERAL CONSERVATION NOTES AND SPECIFICATIONS (SOURCE: SOUTH CAROLINA STATE NOTES)

I. GENERAL INFORMATION

- A. THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE.
- B. NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING PROPERLY FILTERED.
- C. ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY.
- D. DISTURBED AREAS ON WHICH EARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY, EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRIVEWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERIMETER AREAS. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUBGRADES IS CONSIDERED ADEQUATE PROTECTION.
- E. AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDED OR MULCHED.
- F. WORKING DISTURBED AREAS ARE DIFFICULT TO STABILIZE. NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES.
- G. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY.
- H. IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
- I. THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE SCDHEC, A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION.
- J. CONTRACTOR SHALL NOTIFY THE SCDHEC OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
- K. STANDARD FOR DISPOSAL OF MATERIALS
- L. ALL MATERIALS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS. STOCKPILES TO BE HAULLED OFF-SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.

II. STANDARD FOR LAND GRADING

- A. DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT.
 - 1. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FULL SLOPES.
 - 2. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- B. INSTALLATION REQUIREMENTS
 - 1. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS.
 - 2. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
 - 3. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.
- C. ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.
 - 5. (SEE I. D.)

III. STANDARD FOR UTILITY TRENCH EXCAVATION

- A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- B. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF SIX DAYS ON CERTAIN BASES. TESTING OF THE INSTALLED PIPE.
- C. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
 - 1. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE IMMEDIATELY.
 - 2. WORKING DISTURBED AREAS ARE DIFFICULT TO STABILIZE. NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES.
- D. ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.
 - 5. (SEE I. D.)
- F. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.

HAZARDOUS MATERIAL MANAGEMENT & SPILL REPORTING

ANY HAZARDOUS OR POTENTIALLY HAZARDOUS MATERIAL THAT IS BROUGHT ONTO THE CONSTRUCTION SITE SHALL BE HANDLED PROPERLY TO REDUCE THE POTENTIAL FOR STORMWATER POLLUTION. ALL MATERIALS USED ON THIS CONSTRUCTION SITE SHALL BE PROPERLY STORED, HANDLED, DISPENSED AND DISPOSED OF FOLLOWING ALL APPLICABLE LABEL DIRECTIONS, FLAMMABLE AND COMBUSTIBLE LIQUIDS SHALL BE STORED AND HANDLED ACCORDING TO APPLICABLE REGULATIONS, AND, AT A MINIMUM, ACCORDING TO 29 CFR 1926.152. ONLY APPROVED CONTAINERS AND PORTABLE TANKS SHALL BE USED FOR STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS.

MATERIAL SAFETY DATA SHEETS (MSDS) INFORMATION SHALL BE KEPT ON SITE FOR ANY AND ALL APPLICABLE MATERIALS. HOWEVER, MSDS MAY ALSO BE ACCESSED VIA TELEPHONE OR OTHER ELECTRONIC MEANS OR APPARATUS.

IN THE EVENT OF AN ACCIDENTAL SPILL, IMMEDIATE ACTION SHALL BE TAKEN BY THE GC TO CONTAIN AND REMOVE THE SPILLED MATERIAL. THE SPILL SHALL BE REPORTED TO THE APPROPRIATE AGENCIES IN THE REQUIRED TIME FRAMES, AS REQUIRED UNDER THE PROVISIONS OF THE CLEAN WATER ACT. ANY SPILL OR DISCHARGE ENTERING WATERS OF THE UNITED STATES SHALL BE PROPERLY REPORTED.

ALL HAZARDOUS MATERIALS, INCLUDING CONTAMINATED SOIL AND LIQUID CONCRETE WASTE, SHALL BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY FEDERAL, STATE AND LOCAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS.

THE GC SHALL PREPARE A WRITTEN RECORD OF ANY SPILL AND ASSOCIATED CLEAN-UP ACTIVITIES OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF 1 GALLON OR REPORTABLE QUANTITIES, WHICHEVER IS LESS, ON THE DAY OF THE SPILL. THE GC SHALL PROVIDE NOTICE TO OWNER IMMEDIATELY UPON IDENTIFICATION OF ANY SPILL.

ANY SPILLS OF PETROLEUM PRODUCTS OR HAZARDOUS MATERIALS IN EXCESS OF REPORTABLE QUANTITIES AS DEFINED BY EPA OR THE STATE OR LOCAL AGENCY REGULATIONS, SHALL BE IMMEDIATELY REPORTED TO THE EPA NATIONAL RESPONSE CENTER (1-800-424-8802) AND THE CITY OF GREENWOOD.

THE STATE REPORTABLE QUANTITY FOR PETROLEUM PRODUCTS IS:

- IF THE PETROLEUM DISCHARGED, RELEASED OR SPILLED:
 - IS 25 GALLONS OR MORE, OR
 - CAUSES A SHEEN ON NEARBY SURFACE WATER, OR
 - IS 100 FEET OR LESS FROM SURFACE WATER BODY.
- THEN THE PERSON WHO OWNS OR HAS CONTROL OVER THE OIL MUST IMMEDIATELY TAKE MEASURE TO COLLECT AND REMOVE THE DISCHARGE, AND REPORT THE DISCHARGE TO SCDHEC WITHIN 24 HOURS OF DISCHARGE, AND BEGIN TO RESTORE AREA AFFECTED BY DISCHARGE.

IF THE PETROLEUM RELEASED OR SPILLED:

- IS LESS THAN 25 GALLONS OR MORE,
- DOES NOT CAUSE A SHEEN ON NEARBY SURFACE WATER, AND
- IS MORE THAN 100 FEET OR LESS FROM SURFACE WATER BODY,

THEN THE PERSON WHO OWNS OR HAS CONTROL OVER THE OIL MUST IMMEDIATELY TAKE MEASURE TO COLLECT AND REMOVE THE DISCHARGE. IF IT CANNOT BE CLEANED UP WITHIN 24 HOURS OF THE DISCHARGE OR CAUSE A SHEEN ON NEARBY SURFACE WATER, THE PERSON MUST IMMEDIATELY NOTIFY SCDHEC.

IF THE PETROLEUM RELEASED OR SPILLED IN ANY CIRCUMSTANCES DOES NOT MEET ONE OF THE ABOVE REQUIREMENTS, OR IS NOT PERMITTED BY GS 143-215.1, OR IT IS NOT PURSUANT TO A RULE ADOPTED BY THE ENVIRONMENTAL MANAGEMENT COMMISSION OR A REGULATION OF USEPA, IT MUST BE REPORTED TO SCDHEC IMMEDIATELY.

THE REPORTABLE QUANTITY FOR HAZARDOUS MATERIALS CAN BE FOUND IN SECTION 304 OF THE EPCRA

TO MINIMIZE THE POTENTIAL FOR A SPILL OF PETROLEUM PRODUCT OR HAZARDOUS MATERIALS TO COME IN CONTACT WITH STORMWATER, THE FOLLOWING STEPS SHALL BE IMPLEMENTED:

- 1) ALL MATERIALS WITH HAZARDOUS PROPERTIES, SUCH AS PESTICIDES, PETROLEUM PRODUCTS, FERTILIZERS, SOAPS, DETERGENTS, CONSTRUCTION CHEMICALS, ACIDS, BASES, PAINTS, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE, CURING COMPOUNDS AND ADDITIVES, ETC., SHALL BE STORED IN A SECURE LOCATION, UNDER COVER AND IN APPROPRIATE, TIGHTLY SEALED CONTAINERS WHEN NOT IN USE.
- 2) THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS SHALL BE KEPT ON THE JOB SITE AND SCHEDULED FOR DELIVERY AS CLOSE TO TIME OF USE AS PRACTICAL.
- 3) A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID, BASE, NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGE AND SHOWN ON SITE MAPS.
 - a. THE SPILL CONTROL AND CONTAINMENT KIT SUPPLIES SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.
 - b. CONTENTS SHALL BE INSPECTED DAILY DURING THE DAILY STORMWATER INSPECTION.
- 4) ALL PRODUCTS SHALL BE STORED IN AND USED FROM THE ORIGINAL CONTAINER WITH THE ORIGINAL PRODUCT LABEL. CONTAINERS MUST BE STORED IN A MANNER TO PROTECT THEM FROM THE ELEMENTS AND INCIDENTAL DAMAGE.
- 5) ALL PRODUCTS SHALL BE USED IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL.
- 6) THE DISPOSAL OF EXCESS OR USED PRODUCTS SHALL BE IN STRICT COMPLIANCE WITH INSTRUCTIONS ON THE PRODUCT LABEL AND REGULATIONS.

IV. STANDARD FOR TEMPORARY STABILIZATION

- A. STANDARD FOR TEMPORARY STABILIZATION WITH MULCH
 - 1. MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING. IN ADDITION, STABILIZATION WITH MULCH SHALL BE USED DURING NON-GERMINATION PERIODS.
 - 2. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
 - 3. GRADE AS NEEDED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.
 - 4. PROTECTIVE MATERIALS TO BE USED:
 - A. UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A
 - B. HYDROSEEDER OR HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. IF EMULSIFIED ASPHALT - (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2), APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT SLOPES LESS THAN 8° HIGH, ON SLOPES 8° OR MORE HIGH USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE.
- B. STANDARD FOR TEMPORARY STABILIZATION WITH SEED
 - 1. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE SEEDED AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER.
 - 2. SEEDED PREPARATION
 - A. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
 - B. APPLY GROUND LIMESTONE AT A RATE OF 1 TON/AC.
 - C. APPLY 10-10-10 FERTILIZER AT RATE OF 150 LB/AC.
 - D. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES.
- C. SEEDING
 - LATE WINTER/EARLY SPRING (PIEDMONT JAN. 1 - MAY 1; COASTAL PLAIN DEC. 1 - APRIL 15)
 - 1. SEED MIXTURE TEMPORARY: RYE (GRAIN) SHALL BE APPLIED AT A RATE OF 120 LB/ACRE ANNUAL LESPEDEZA (KOBÉ) SHALL BE APPLIED AT A RATE OF 50 LB/ACRE
 - 2. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS, SEE STANDARD FOR STABILIZATION WITH MULCH.
 - 3. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.
 - SUMMER (PIEDMONT MAY 1 - AUG. 15; COASTAL PLAIN APRIL 15 - AUG. 15)
 - 1. SEED MIXTURE TEMPORARY: GERMAN MILLET SHALL BE APPLIED AT A RATE OF 40 LB/ACRE
 - 2. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS, SEE STANDARD FOR STABILIZATION WITH MULCH.
 - 3. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.
 - FALL (PIEDMONT MAY 1 - AUG. 15; COASTAL PLAIN APRIL 15 - AUG. 15)
 - 1. SEED MIXTURE TEMPORARY: RYE (GRAIN) SHALL BE APPLIED AT A RATE OF 120 LB/ACRE
 - 2. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS, SEE STANDARD FOR STABILIZATION WITH MULCH.
 - 3. FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

V. STANDARD FOR PERMANENT STABILIZATION

- A. SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER
 - 1. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE.
 - B. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
 - C. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL.
 - 2. APPLYING TOPSOIL
 - A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
- B. STANDARD FOR PERMANENT STABILIZATION WITH SOD
 - 1. METHODS AND MATERIALS
 - A. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
 - B. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
 - C. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING (EXCLUDES TOP GROWTH).
 - D. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - E. FOR DROUGHTY SITES A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
 - F. ONLY MOIST, FRESH UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
 - 2. SITE PREPARATION
 - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
 - 3. APPLYING TOPSOIL
 - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
 - 4. SEEDED PREPARATION
 - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
 - 5. SOD PLACEMENT
 - A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD, DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
 - B. PLACE SOD STRIPS WITH SNUG EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
 - C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS, WHICH WOULD CAUSE DRYING OF THE ROOTS.
 - D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).
 - E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTINGS IN CHANNEL WORK.
 - F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
 - G. TOP DRESSING
 - IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
 - A. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.
 - B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.

SCDHEC EROSION AND SEDIMENT CONTROL NOTES

- 1. ON-SITE BURIAL PITS ARE NOT ALLOWED AT ANY LOCATION WITHIN THE CITY OF HILTON HEAD.
- 2. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THIS PLAN IS SUBJECT TO A FINE.
- 3. GRADING 1 ACRE OR MORE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND SUBJECT TO A FINE.
- 4. GROUND STABILIZATION MUST OCCUR WITHIN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1, AND GROUND STABILIZATION MUST OCCUR WITHIN 14 DAYS ON OTHER AREAS.
- 5. BASIN OUTLET STRUCTURES WITH DRAINAGE AREAS EQUAL OR GREATER THAN ONE ACRES MUST WITHDRAW WATER FROM THE SURFACE.
- 6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE SCDHEC EROSION CONTROL INSPECTOR.
- 7. ALL ELEVATIONS ARE IN REFERENCE TO THE SURVEYORS BENCHMARK WHICH MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- 8. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE S.C. EROSION AND SEDIMENT CONTROL DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, AND ANY APPLICABLE LOCAL LAWS AND CODES.
- 9. PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHOULD BE CONSTRUCTED AT 2:1 (HORIZONTAL TO VERTICAL) OR FLATTER. PERMANENT SLOPES OF 3:1 SHOULD BE CONSTRUCTED WHERE MOVING IS DESIRABLE AND AS INDICATED, IF FILL MATERIAL IS BROUGHT ONTO THE PROPERTY OR IF WASTE MATERIAL IS HAULED FROM THE PROPERTY THEN THE CONTRACTOR SHALL DISCLOSE THE LOCATION OF ANY ON-SITE AND/OR OFF-SITE BARROW LOCATION AND/OR WASTE BURIAL LOCATION TO THE EROSION CONTROL INSPECTOR.
- 10. ANY REPORT SUBMITTED TO SCDHEC MUST ALSO BE SENT TO THE CITY OF HILTON HEAD ENGINEERING DEPARTMENT ATTENTION DIRECTOR INCLUDING ANY SELF INSPECTION REPORTS.
- 11. LIMITS OF CLEARING SHOWN ARE BASED ON CUT AND FILL SLOPES OR OTHER GRADING REQUIREMENTS.
- 12. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES AS INDICATED PRIOR TO GRADING OPERATIONS. NO DEVICE MAY BE REMOVED WITHOUT APPROVAL OF EROSION CONTROL COORDINATOR.
- 13. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
- 14. ALL DISTANCES ARE HORIZONTAL GROUND.
- 15. TOTAL DISTURBED AREA = 2.87 AC
- 16. ANCHOR SILT FENCE WITH COMPACTED BACKFILL ON TREE PROTECTION ZONES. DO NOT BURY.
- 17. ALL EROSION CONTROL DEVICES SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM EVENT. IF ANY FAILURES ARE FOUND, THEY SHOULD BE REPAIRED AS SOON AS POSSIBLE.
- 18. ANY ASSOCIATED DEMOLITION PERMITS AND METHODS OF DEMOLITION ARE TO BE OBTAINED AND ARRANGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 19. SEDIMENT TRAPS AND BASINS NEED TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.
- 20. STONE OUTLETS SHOULD BE INSTALLED AT LOW POINTS OF THE SILT FENCING, BASED ON FIELD CONDITIONS.

- B. ALL DISTURBED TOPSOIL ON-SITE IS TO BE REDISTRIBUTED ON-SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. NO REMOVAL OF TOPSOIL IS ALLOWED UNLESS APPROVED BY THE TOWNSHIP. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
- 3. SEEDED PREPARATION
 - A. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
 - B. APPLY 10-20-10 OR EQUIVALENT RATED FERTILIZER AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET.
 - C. APPLY 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN.
 - D. APPLY PULVERIZED DOLOMITIC LIMESTONE AT A RATE OF 1/3 TONS PER ACRES OR 15 POUNDS PER 1000 SQUARE FEET.
 - E. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED.
 - F. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
 - G. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
- 4. SEEDING
 - A. SEED MIXTURE PERMANENT: SAHARA BERMUDA GRASS AT A RATE OF 275 LB/ACRE IN ADDITION TO TEMPORARY SEEDING (SEE ABOVE)
 - 1. SEEDING DATES 3/1 TO 5/15 8/15 TO 10/1
 - 2. SEED MIX SHALL HAVE A PURE LIVE SEED (PLS) RATING OF 60% OR GREATER
 - B. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), WHICH ARE MULCHED, MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS SEE STANDARD FOR STABILIZATION WITH MULCH- PROTECTIVE MATERIALS TO BE USED.
 - C. UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A
 - 5. IRRIGATION - (WHERE FEASIBLE)

- IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER. A MINIMUM OF 1/4" TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED, ESPECIALLY WHEN SEEDING IS PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- B. STANDARD FOR PERMANENT STABILIZATION WITH SOD
 - 1. METHODS AND MATERIALS
 - A. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
 - B. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
 - C. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING (EXCLUDES TOP GROWTH).
 - D. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.
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REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.:	NCR151023
DRAWN BY:	MJH
CHECKED BY:	WLB
DATE:	12/22/16
SCALE:	AS NOTED
CAD I.D.:	S01

PROJECT:

CONSTRUCTION PLANS

FOR

LIDL US OPERATIONS, LLC

LOCATION OF SITE

SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

BOHLER ENGINEERING NC, PLLC
NCELS P-1132

4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

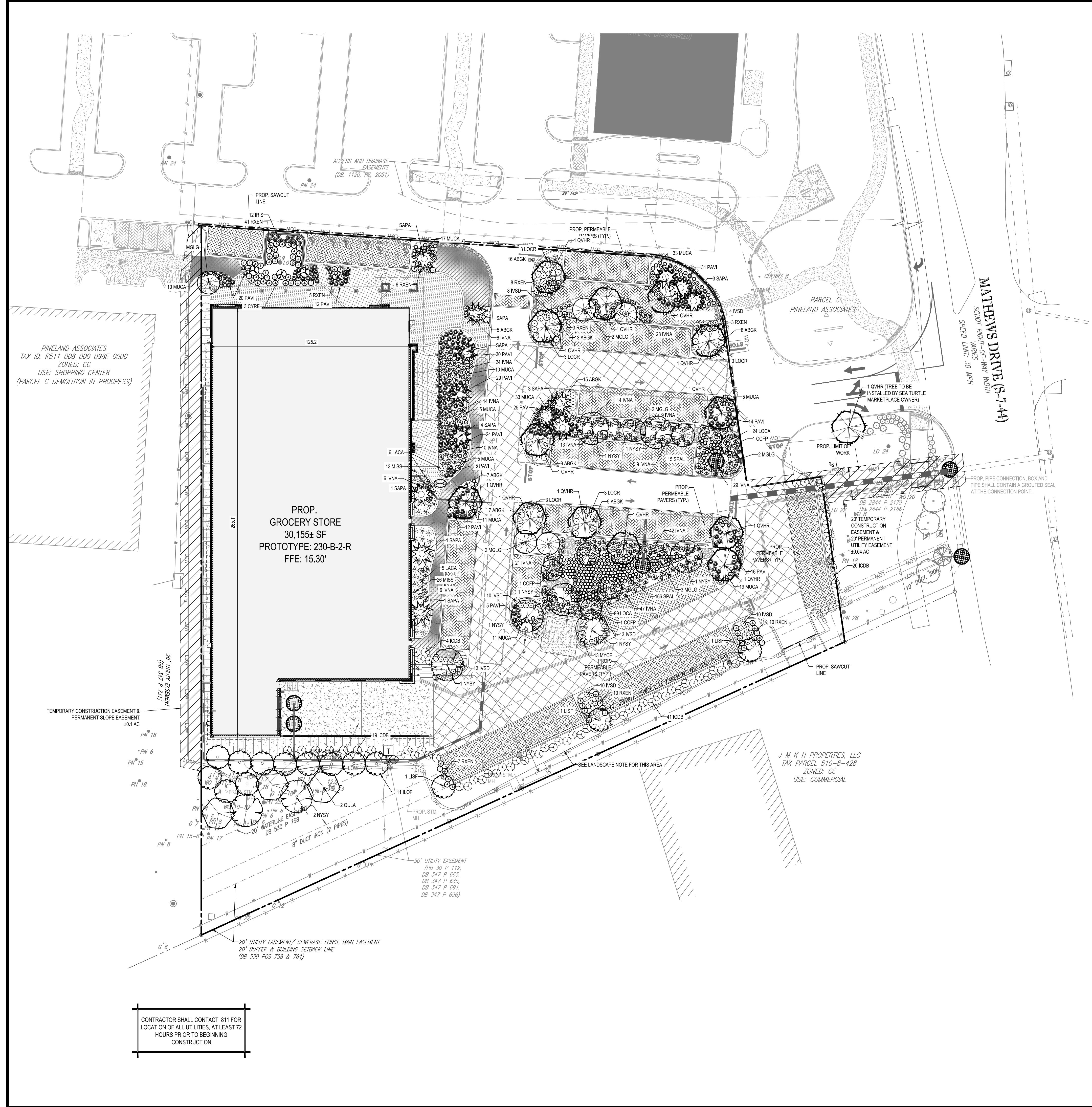
Professional Engineer Seal for North Carolina, License No. 102543, State of North Carolina, expires 11-10-17.

SHEET TITLE:

EROSION & SEDIMENT CONTROL NOTES

SHEET NUMBER:

D-2.2



LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL.	CONT.	SIZE	Remarks
NYSY	9	<i>Nyssa sylvatica</i>	Black Gum	2.5' CAL	B+B	12-14 HT	Full
QJLA	3	<i>Quercus laurifolia</i>	Laural Oak	2.5' CAL	B+B	12-14 HT	Full, Central Leader
QJHR	14	<i>Quercus virginiana</i> 'High Rise'	High Rise Live Oak	4' CAL	B+B	18-18 HT	Full, Central Leader
SAPA	14	<i>Sabal palmetto</i>	Sabal Palm			12-14 HT	Full
USF	3	<i>Lagerstroemia indica</i>	'Savini Favorite' Crepe Myrtle	2' CAL	B+B	8-10 HT	Full, 3 to 5 canes
CYRE	3	<i>Cycas revoluta</i>	Sago Palm			5 HT	Full
ILOP	11	<i>Ilex opaca</i>	American Holly	2' CAL	B+B	8 HT	Full
CCFP	3	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	2' CAL	B+B	8 HT.	Full
MGLG	12	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	2' CAL	B+B	8 HT	Full
ABGK	83	<i>Abelia x grandiflora</i> 'Kaleidoscope'	Kaleidoscope Abelia	3 GAL		18" HT	Full
ICDB	88	<i>Ilex cornuta</i> 'Dwarf Burford'	Dwarf Burford Holly	5 GAL		32" HT	Full
INNA	273	<i>Ilex vomitoria</i> 'Nana'	Nana Yaupon Holly	3 GAL		14"-18" HT	Full
IVSD	68	<i>Ilex vomitoria</i> 'Stokes Dwarf'	Stokes Dwarf Yaupon Holly	3 GAL		14"-18" HT	Full
IRIS	12	<i>Iris sibirica</i>	Siberian Iris	1 GAL			Full
LACA	11	<i>Lantana camara</i>	Lantana	3 GAL		24" HT	Full
LOCR	15	<i>Loropetalum chinense</i> 'Ruby'	Ruby Loropetalum	5 GAL		24" HT	Full
MSS	39	<i>Miscanthus sinensis</i>	Maiden Grass	3 GAL		18" HT	Full
MYCE	13	<i>Myrica carolinensis</i>	Wax Myrtle	B+B		36" HT	Full
MUCA	146	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	3 GAL		18" HT	Full
PAVI	233	<i>Panicum virgatum</i>	Switch Grass	3 GAL		18" HT	Full
RVEN	93	<i>Rhododendron x Encosme</i>	Encore Azalea	5 GAL		30" HT	Full
LOCA	123	<i>Lobelia cardinalis</i>	Cardinal Flower	1 GAL		N/A	Full
SPAL	182	<i>Spartina alterniflora</i>	Cordgrass	1 GAL		N/A	Full

- NOTES:
- IF ANY DISCREPANCIES OCCUR BETWEEN PLANT COUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLANT COUNTS ON THE PLAN SHALL DICATE.
 - BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT ANNE CYRAN, SENIOR PLANNER, AT 843.341.4697 OR AT ANNEC@HILTONHEADISLANDSC.GOV TO SCHEDULE A PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
 - IN THIS AREA, CONTRACTOR SHALL TAKE ALL NECESSARY CARE IN ORDER TO PRESERVE EXISTING VEGETATION. ALL VEGETATION NOT REQUIRED TO BE REMOVED FOR PROPOSED PLANTING OF DWARF BURFORD HOLLY SHRUBS SHALL REMAIN, AS PART OF ADDITIONAL SCREENING ALONG THIS PROPERTY LINE. ANY GAPS IN THE EXISTING VEGETATION WILL BE SUPPLEMENTED WITH LARGE NATIVE SHRUBS (WAX MYRTLE).
 - PRESERVED LIVE OAK TREE WILL RECEIVE PRE AND POST CONSTRUCTION FERTILIZATION REGIMENT IN ACCORDANCE WITH TOWN STAFF'S RECOMMENDATION.

LANDSCAPE COMPLIANCE CHART HILTON HEAD, SC

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
SECTION 16-5-103E ADJACENT USE BUFFER REQUIREMENTS:	NO BUFFER REQUIRED. CC ZONING ON SUBJECT LOT VS CC ZONING ON ADJACENT LOTS	NOT APPLICABLE	COMPLIES
SECTION 16-5-107G LANDSCAPING OF PARKING LOTS	6' WIDE MEDIAN REQUIRED BETWEEN PARKING BAY AND ADJACENT PROPERTY LINE 12' WIDE MEDIAN REQUIRED BETWEEN ADJACENT PARKING BAYS 15' WIDE MEDIANS REQUIRED AT THE ENDS OF PARKING BAYS	MEDIANS MEETING CODE REQUIREMENTS PROVIDED	COMPLIES
SECTION 16-6-104 TREE PROTECTION	SEE TREE SURVEY SHEET FOR EXISTING TREES TO BE REMOVED AND TREE REPLACEMENT CALCULATIONS		COMPLIES
SECTION 16-6-104 A3I REQUIREMENT	CATEGORY I - 4 TREES REQUIRED, 8 MITIGATION INCHES CATEGORY II - 16 TREES REQUIRED, 32 MITIGATION INCHES CATEGORY III - 6 TREES REQUIRED, 6 MITIGATION INCHES CATEGORY IV - 3 TREES REQUIRED, 3 MITIGATION INCHES	CATEGORY I - 29 TREES PROVIDED, 76.5 MITIGATION INCHES CATEGORY II - 16 TREES PROVIDED, 32 MITIGATION INCHES CATEGORY III - 6 TREES PROVIDED, 6 PALMS PROVIDED CATEGORY IV - 3 TREES PROVIDED, 6 MITIGATION INCHES	COMPLIES

BOHLER
ENGINEERING NC, PLLC

STATE OF NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
LAND SURVEYING
SUSTAINABLE DESIGN
PROGRAM MANAGER
PERMITTING SERVICES
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PHILADELPHIA, PA
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REHOBOTH BEACH, DE
NEW YORK METRO AREA
NEW JERSEY
SOUTHERN MARYLAND
CHARLOTTE, NC
RICHMOND, VA
SOUTH FLORIDA

REVISIONS

REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

811

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NOT APPROVED FOR
CONSTRUCTION

PROJECT No.: NCR151023
DRAWN BY: MJH
CHECKED BY: WLB
DATE: 12/22/16
SCALE: 1" = 30'
CAD I.D.: LP1

PROJECT:
**CONSTRUCTION
PLANS**

FOR
**LIDL US
OPERATIONS,
LLC**

LOCATION OF SITE
SEA TURTLE MARKETPLACE
80 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926

BOHLER
ENGINEERING NC, PLLC
NCELS P-1132

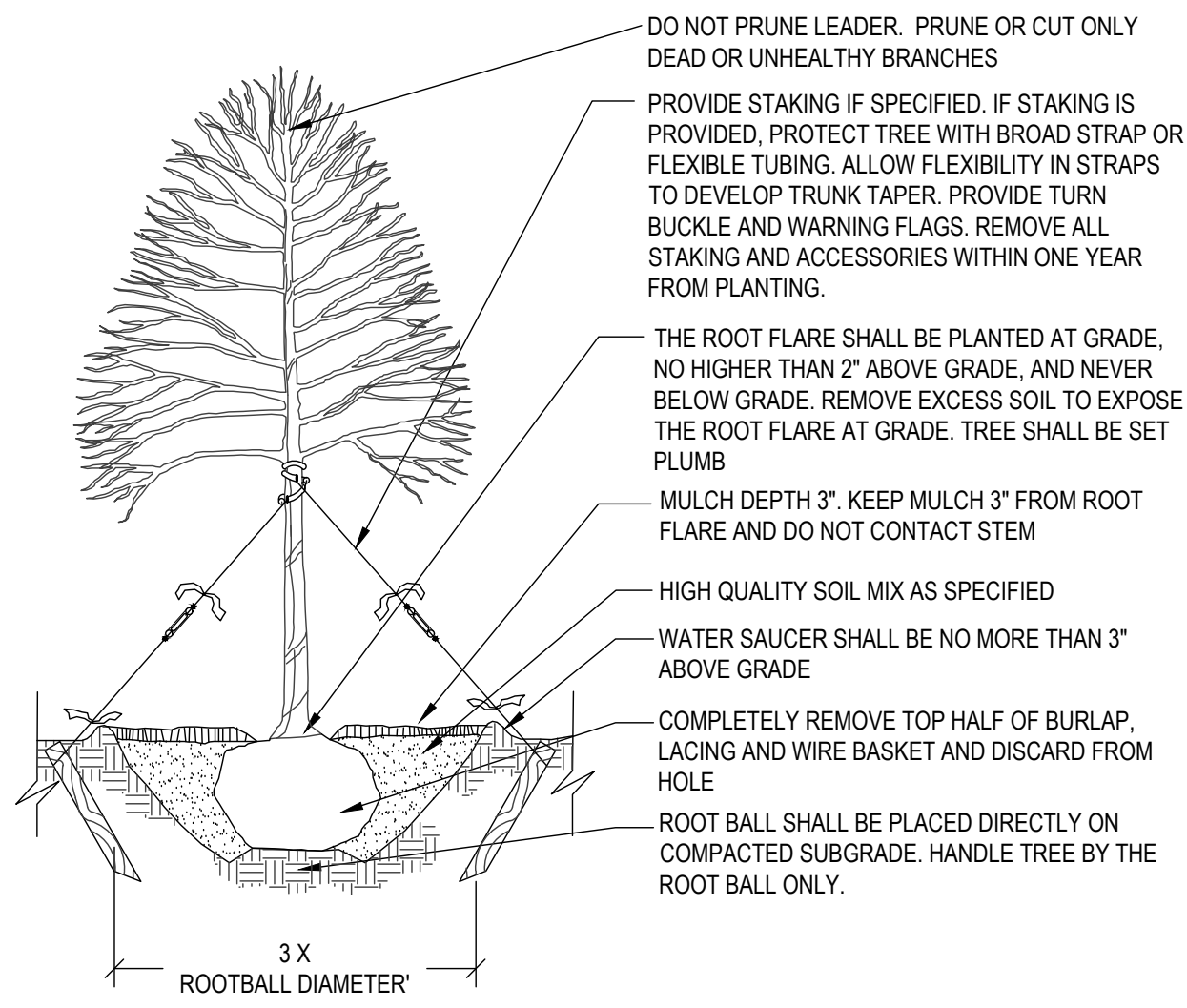
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
LAND SURVEYING
NCELS P-1132
11-10-17

SHEET TITLE:
LANDSCAPE PLAN

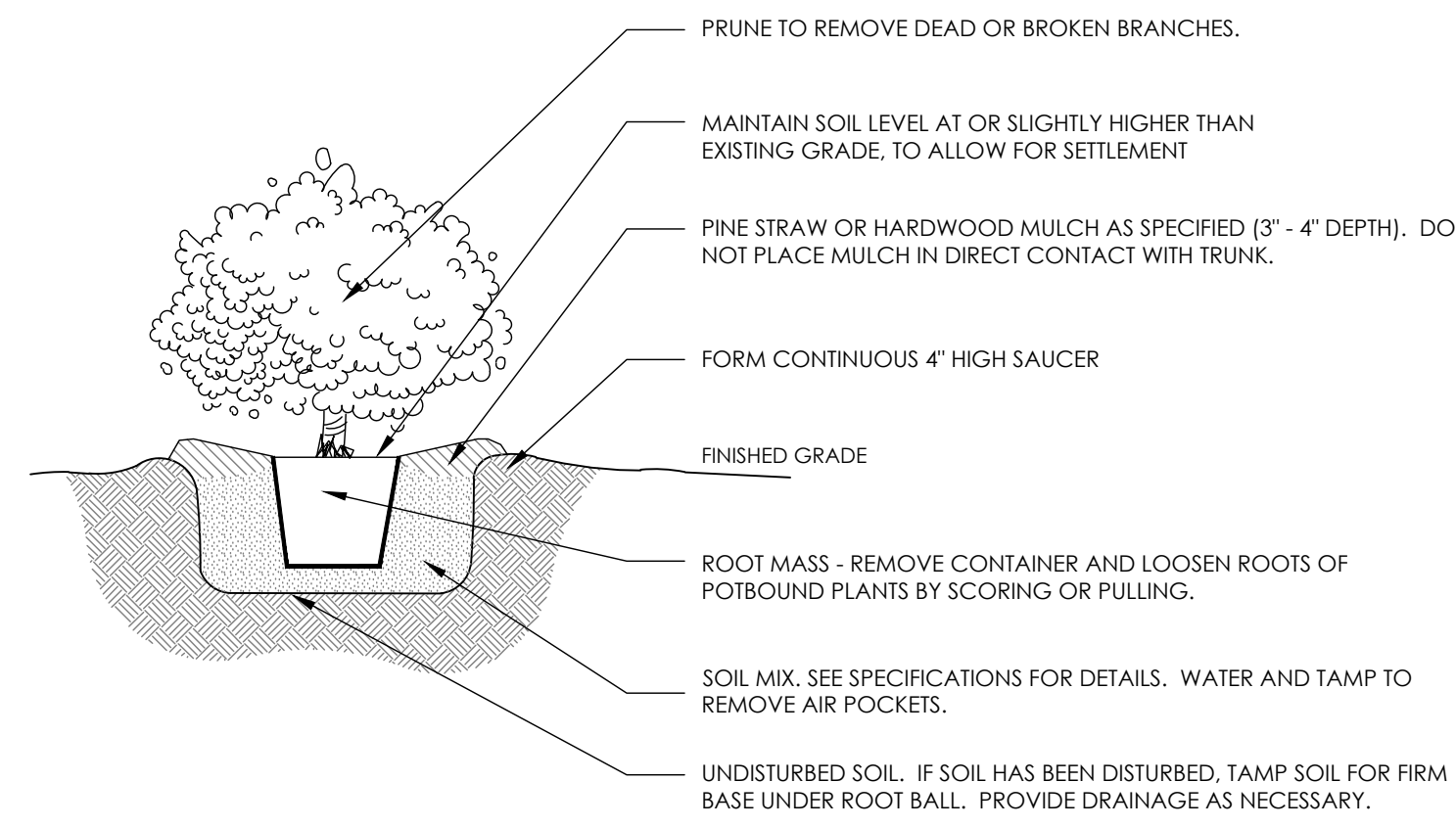
SHEET NUMBER:
LA-1

LANDSCAPE SPECIFICATIONS



TREE PLANTING DETAIL

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE

NOTES:

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING, INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS:

- A. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5 AND 7.5. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOTS.
 - I. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. AMEND SOILS AS RECOMMENDED BY TEST RESULTS.
 - II. PLANTING BEDS SHALL BE PROVIDED WITH A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS REQUIRED BY THE LOCAL ORDINANCE IN ALL PLANTING. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED THICKNESS.
 - III. LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION 3 BELOW. THE FOLLOWING SHALL BE TILLED INTO THE SOIL IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 2.A]).
 - a. 20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER / FERTILIZER
 - b. 20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

- B. LAWN - LAWN AREAS SHALL BE SODDED WITH TIFBLAIR SEED MIX OR AN APPROVED EQUAL WARM SEASON SOD GRASS.
 - I. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PLACED PERPENDICULAR TO THE SLOPE DIRECTION AND SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - II. SOD SHALL BE INSTALLED WITHIN 24 HOURS OF HARVESTING.

- C. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

- D. FERTILIZER
 - I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS, SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO IT CAN BE KEPT DRY PRIOR TO USE.
 - II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED LABORATORY.

- E. PLANT MATERIAL
 - I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION).
 - II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIALS.
 - III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLOUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - VI. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES:

- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS:

- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DIG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO BEGINNING OF WORK.

- D. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

5. PLANTING:

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT IT IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. BALLED AND BURLAPPED PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING, UTILIZING CLEAN SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE CURRENT ANSI A300 PRUNING STANDARDS.

- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM THE ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT OR FOLDED FROM AROUND THE TRUNK OF THE TREE AND TOP 1/3 OF ROOT BALL PRIOR TO BACKFILLING.

- E. ALL PLANTS SHALL BE INSTALLED PER PLANTING DETAILS PROVIDED.

- F. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

- G. NO PLANT, EXCEPT SMALL SHRUBS, GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO (2) FROM EXISTING STRUCTURES AND SIDEWALKS.

- H. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

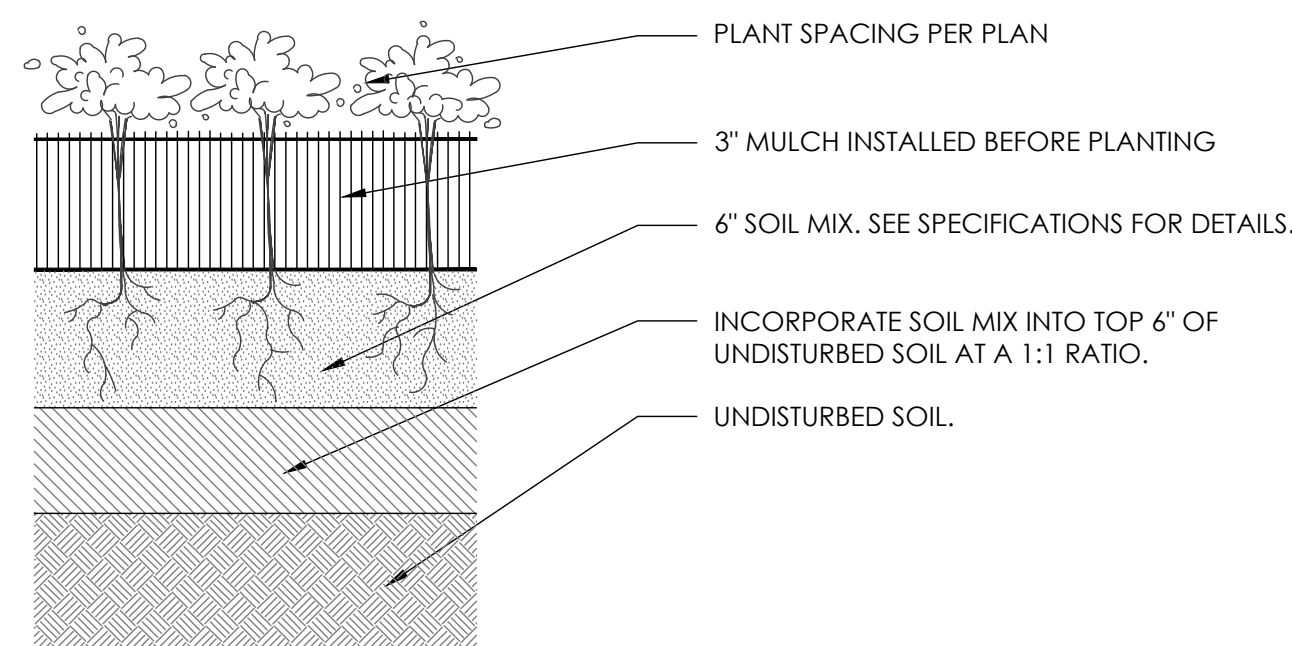
- I. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

6. WATERING

- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER FROM POTABLE SOURCES, WHERE PERMISSIBLE, SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

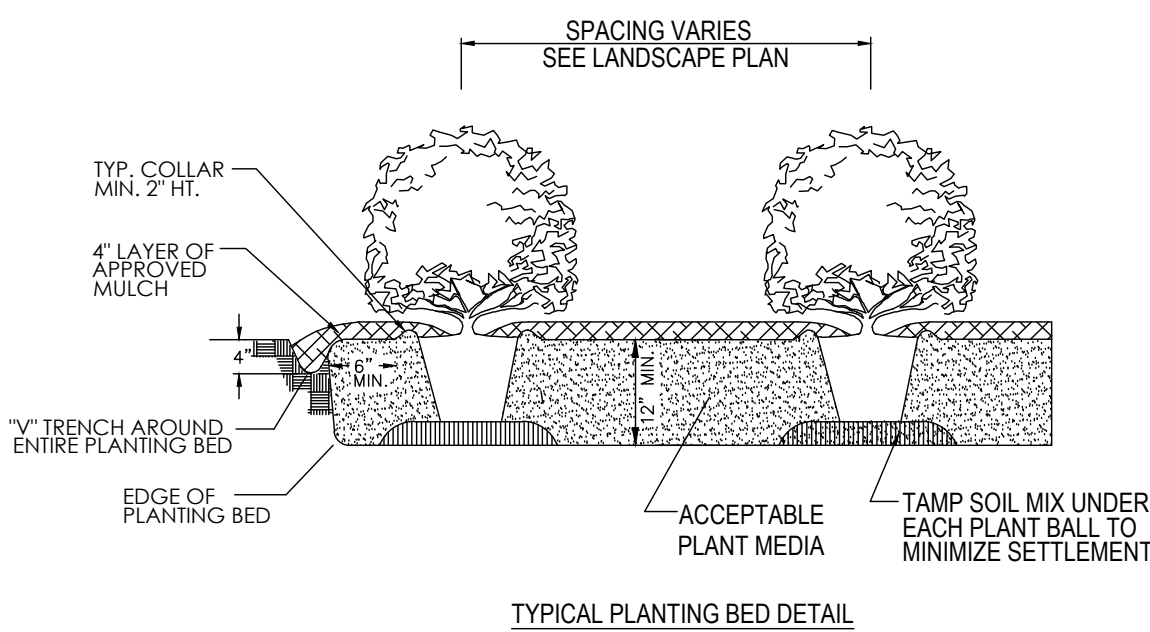


GROUNDCOVER PLANTING

NOT TO SCALE

NOTES:

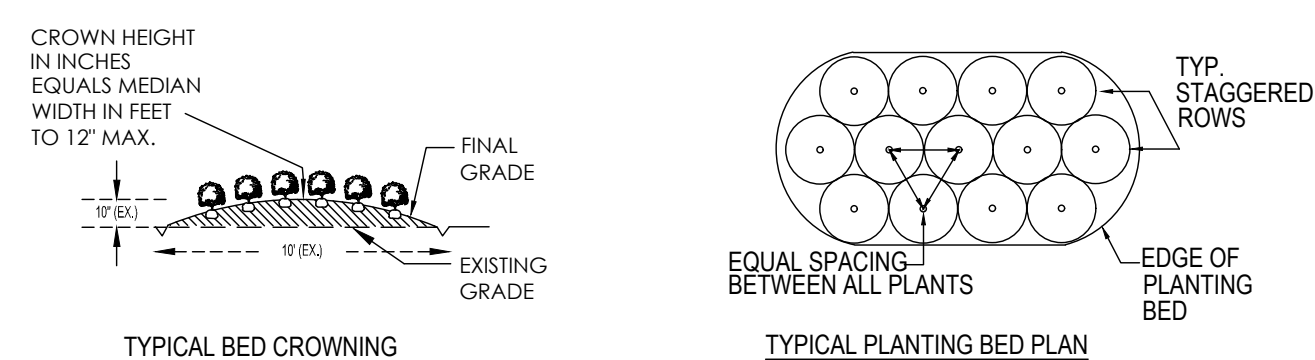
1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. LOOSEN ROOTS OF POTBOUND PLANTS BY SCORING OR PULLING.
3. REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.



TYPICAL PLANTING BED DETAIL

NOTES:

1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



SHRUB PLANTING BED

NOT TO SCALE

BOHLER ENGINEERING NC, PLLC
 SITE CIVIL AND CONSULTING ENGINEERING ARCHITECTURE
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REVISIONS			
REV	DATE	COMMENT	BY
1	11/10/17	DRB AND DPR COMMENTS	JDM

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NOT APPROVED FOR CONSTRUCTION

PROJECT No.:	NCR1510223
DRAWN BY:	MJH
CHECKED BY:	WLB
DATE:	12/22/16
SCALE:	1" = 30'
CAD I.D.:	LP1

PROJECT:
CONSTRUCTION PLANS
 FOR
LIDL US OPERATIONS, LLC
 LOCATION OF SITE
 SEA TURTLE MARKETPLACE
 80 MATHEWS DRIVE
 HILTON HEAD ISLAND, SC 29926

BOHLER ENGINEERING NC, PLLC
 NCBS 019-1132
 4130 PARKLAKE AVENUE, SUITE 130
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 NC@BohlerEng.com

SHEET TITLE:
LANDSCAPE DETAILS
 SHEET NUMBER:
LA-3

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sea Turtle Marketplace - LiDL

DRB#: DRB- DRB 000054-2017

DATE: Jan. 1, 2018

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS

MISC COMMENTS/QUESTIONS
