



# Town of Hilton Head Island Regular Design Review Board Meeting

September 13, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

**1. Call to Order**

**2. Roll Call**

**3. Freedom of Information Act Compliance**

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

**4. Approval of Agenda**

**5. Approval of Minutes – Meeting of August 23, 2016**

**6. Staff Report**

**7. Board Business**

**8. Old Business**

**9. Unfinished Business**

**10. New Business**

A. Alteration/Addition

- Marriott at Monarch (re-paint), DRB-001604-2016
- Lighthouse I Villas, DRB-001632-2016
- Fresh Market Shoppes (re-paint) DRB-001653-2016

B. Sign

- Hilton Grand Vacations, DRB-001636-2016

**11. Appearance by Citizens**

**12. Adjournment**

***Town of Hilton Head Island***  
***Minutes of the Design Review Board***

**Benjamin M. Racusin Council Chambers**

**August 23, 2016**

**1:15p.m.**

**Board Members Present:** Chairman Jake Gartner, Vice Chairman Dale Strecker, Debbie Remke, Brian Witmer, Ron Hoffman, Kyle Theodore, Michael Gentemann

**Board Members Absent:** None

**Town Council Present:** Tom Lennox

**Town Staff Present:** Jennifer Ray, Urban Designer  
Teresa Haley, Secretary

**As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting**

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**1. Call to Order**

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm.**

**2. Roll Call - See as noted above.**

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board **approved** the agenda by general consent.

**5. Approval of Minutes**

The Board reviewed the minutes of the **August 9, 2016** meeting and **approved** the minutes by general consent.

**6. Staff Report – None**

**7. Board Business**

Vice Chairman Strecker brought to the Board's attention issues regarding a past project that the Board ruled upon – Hilton Head Ice Cream. Mr. Highsmith, the contractor, discussed issues with the construction as the Board originally intended. The Board said the existing lattice is not allowed to remain. The Board advised that an application be submitted to meet the deadline of the September 27, 2016 meeting.

**8. Old Business – None**

**9. Unfinished Business – None**

**10. New Business**

A. New Development – Conceptual

- Heritage Plaza Redevelopment – Building D, DRB-001485-2016

*(Ms. Theodore recused herself from review of application DRB-001393-2016 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 75 and 81 Pope Avenue. The applicant proposes to renovate existing commercial property fronting Pope Avenue. Renovation includes the existing Heritage Plaza mixed use commercial center and an adjacent vacant parcel to the north. This submittal is for conceptual review of the proposed 2,400 sq. ft. commercial building ‘D’ fronting Pope Avenue and surrounding site improvements. Ms. Ray noted the project is in keeping with the Design Guide, the LMO, and the Circle to Circle Committee’s efforts. Ms. Ray presented an in-depth description of the project as provided in the Board’s packet. Staff recommends approval as submitted.

Chairman Gartner asked the applicant to come forward. The applicant thanked Ms. Ray for her presentation of the project. The applicant and design team answered questions by the Board.

Chairman Gartner requested comments from the Board. The Board complimented various aspects of the project including the overall improvement to the site plan. The Board expressed appreciation for saving existing trees where possible. The Board made inquiries as to certain aspects of the project and then suggested providing the following for final submittal: details for screening the transformer and dumpster areas; hard samples of remaining colors and materials; lighting plan; substrate package; and consider the entry pavilion back corner in connection with the roof plan.

Mr. Gentemann made a motion to **approve** DRB-001485-2016 as submitted. Mr. Hoffman **seconded** the motion. The motion **passed** with a vote of 6-0-0.

- Northridge Retail Building, DRB-001486-2016

Ms. Ray introduced the project and stated its location: 407 William Hilton Parkway. The applicant proposes to build a Dollar General store on this vacant approximately 1 acre parcel. The applicant is requesting feedback from the Board prior to closing on the land purchase. Ms. Ray described the Staff comments provided to the applicant in the DPR and comments regarding LMO signage requirements. Ms. Ray presented an in-depth description of the project as provided in the Board’s packet. Staff recommends approval with the following conditions: 1) provide additional landscaping in required buffers/setbacks as well as around service areas and pedestrian areas; 2) consider modifications to roof as move to final submittal to eliminate appearance of flat roof beyond.

Chairman Gartner asked the applicant to come forward. The applicant thanked Ms. Ray for her presentation of the project. The applicant answered questions by the Board.

Chairman Gartner requested comments from the Board. The Board was in agreement with Staff comments and discussed them at length. The Board was in agreement that the site, landscaping, and roof plans need to be restudied. The Board expressed concern for the access roads located in the back of the building may be used more heavily than expected. The Board expressed concern for the landscaping and that more is needed in the buffer and on all sides surrounding the building. The Board discussed adding more, larger sized shutters, and if possible, windows, on the building. The Board discussed needing to see more details and materials on various aspects of the project, including the following: shutters, roof, siding, lighting, service door, service area screening, and left and right side elevations.

Vice Chairman Strecker made a motion to **approve** DRB-001486-2016 with the following conditions: 1) retain existing trees to the extent possible; 2) provide additional landscaping in the required buffers and setbacks, as well as around service and pedestrian areas; 3) provide landscaping between the hard paving and the building at all sides; 4) modify the shutter sizes and locations to be more proportioned with the building; 5) consider reducing height of the brick at the base of the building; 6) modify the roof to break it up more and provide some elements that project above the parapet, such that the line of the parapet doesn't run continuously horizontally uninterrupted; 7) return the slope of the roof at the right side of the main entry; 8) screen the dumpster and loading areas from view. Mr. Gentemann **seconded** the motion. Following the motion and second, the Board briefly discussed the conditions. Vice Chairman Strecker moved to **amend** his original motion to add the following condition: 9) consider the location of the bike path, and any potential conflict between the bike path and the right turn lane, and provide landscaping between the two areas. Ms. Theodore **seconded** the amended motion. The motion **passed** with a vote of 7-0-0.

**11. Appearances by Citizens – None**

**12. Adjournment**

Chairman Gartner adjourned the meeting at 2:38p.m.

Submitted by:

Approved by:

\_\_\_\_\_  
Teresa Haley, Secretary

\_\_\_\_\_  
Jake Gartner, Chairman



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Tim Probst Company: Parker Design Group | Architects  
 Mailing Address: PO Box 5010 City: HHI State: SC Zip: 29928  
 Telephone: 843 785 5171 Fax: 843 785 7471 E-mail: tprobst@hargray.com  
 Project Name: Marriott at Monarch Project Address: 91 North Sea Pines Dri  
 Parcel Number [PIN]: R550 017 00A 1281 0000 R550 017 00A 1290 0000 R550 017 00A 1281 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
  - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

8/25/16  
DATE

# REQUEST FOR EXTERIOR REPAINTING

Date 02/25/16

To: **Sea Pines Architectural Review Board**  
175 Greenwood Drive  
Hilton Head Island, SC 29928

From: **Owner's Name** MONARCH MARRIOTT  
**Legal Address** #91 North Sea Pines Drive  
**Mailing Address** \_\_\_\_\_

The undersigned property owner (or owner's representative) requests SPARB approval to repaint the exterior of the ~~residential~~ structure at the above legal address.

## PROPOSED COLORS:

**Siding - Mfg.** Sherwin Williams **Color Name/No.** SW7527 Nantucket Dune  
**Deck, Benches, etc.** Sherwin Williams **Color Name/No.** SW7513 Sanderling  
**Garage Doors - Mfg.** \_\_\_\_\_ **Color Name/No.** \_\_\_\_\_

## Trim (Check applicable items)

**Windows Mfg.** Anderson **Color Name/No.** Sandstone  
 **Fascia Mfg.** Sherwin Williams **Color Name/No.** SW7513 Sanderling  
 **Soffits Mfg.** Sherwin Williams **Color Name/No.** SW Nantucket Dune  
 **Columns Mfg.** Sherwin Williams **Color Name/No.** SW7513 Sanderling  
 **Corner Boards Mfg** \_\_\_\_\_ **Color Name/No.** \_\_\_\_\_  
 **Front Entry Door Color:** SW7513 Sanderling

**Exterior Doors Color:** To match windows  
 **Fences, Handrails, Pickets, etc. Color** SW7513 Sanderling  
 **Shutter Color** \_\_\_\_\_  
 **Window & Door Trim Color** SW7513 Sanderling  
 **Band Board Color** \_\_\_\_\_  
 **Other:** \_\_\_\_\_

**Stucco/Masonry - Brand** \_\_\_\_\_ **Color Name/No.** \_\_\_\_\_

I have attached a sample (4" x 4" or smaller on the actual material) of all proposed colors not displayed in ARB Office and a photograph of the front exterior.

**Submitted by: (Signature)** 

**Address (if different)** PO Box 5010 Hilton Head Island, SC 29928

**Phone No.** 843 785 5171 **Fee Paid** \_\_\_\_\_

Revised July 19, 2012

**ARB** SEA PINES PLANTATION  
ARCHITECTURAL REVIEW BOARD  
OFFICE (843) 671-5533 • FAX (843) 671-5368

Date:  
Legal Address:  
Owner:

March 1, 2016  
MONARCH  
MARRIOT

W. Thomas Parker, Jr.  
Parker Design Group  
P. O. Box 5010  
Hilton Head Island, SC 29938

The Sea Pines Architectural Review Board has approved the colors for the painting of the above captioned address.

SIDING - S/W "NANTUCKET DUNE" # 7527  
TRIM - S/W "SANDERLING" # 7513  
STUCCO - N/A  
DOORS - S/W "SANDERLING"

Thank you for your cooperation. Please post the permit while you are painting.

Sincerely,



Suzanne Sherman  
Assistant Administrator

**THE MONARCH MARRIOTT  
91 NORTH SEA PINES DR.**



**SIDING D  
SHERWIN WILLIAMS  
#SW7527 NANTUCKET DUNE**

**RAILINGS, ROOF, & TRIM  
SHERWIN WILLIAMS  
#SW7513 SANDERLING**





COLOR STUDY MONARCH BUILDINGS  
MARRIOTT VACATIONS WORLDWIDE

**pdg**  
ARCHITECTS

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Marriott at Monarch (repaint) – ALTERATION/ADDITION

DRB#: DRB-001604-2016

DATE: September 13, 2016

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

Applicant proposes to repaint existing building in two shades of brown (SW 7527 “Nantucket Dune” & SW 7513 “Sanderling”) that are in keeping with the Design Guide.

The Sea Pines Plantation ARB has reviewed and approved the submittal.



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 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY  
 Date Received: 8-29-16  
 Accepted by: [Signature]  
 DRB #: 11032-2016  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Lighthouse I HOA Company: Nix Construction Co, Inc  
 Mailing Address: P.O. Box 7667, HHI, SC 29938 City: HHI State: SC Zip: 29938  
 Telephone: 843-341-2330 Fax: 843-341-2320 E-mail: jocnix@nixconstruction.com  
 Project Name: Lighthouse I Villas Project Address: 51 Lighthouse Lane  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
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**FOR OFFICIAL USE ONLY**  
 Date Received: 8-29-16  
 App. #: 1632-2016  
 Form revised 10-2012

**AFFIDAVIT OF OWNERSHIP AND  
 HOLD HARMLESS PERMISSION TO ENTER PROPERTY**

The undersigned being duly sworn and upon oath states as follows:

1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize JOENIX to act as my agent for this application only.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. The application is being submitted with my knowledge and consent.
5. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at UNIT 1079, 51 LIGHTHOUSE LANE (address),  
 R \_\_\_\_\_ (parcel ID) for the purpose of application review, for the limited time necessary to complete that purpose.  
 Description of Work: EXTERIOR CONCRETE REPAIR.
6. Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
7. I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions that:
  - a. any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
  - b. all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
  - c. all mechanical, electrical and plumbing devices will be installed above base flood elevation.
  - d. walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
  - e. the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
8. I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

Print Name: <u>HARWOOD HULL</u>	Owner Signature: <u>[Handwritten Signature]</u>
Phone No.: <u>843-816-5051</u>	Email: <u>harwoodhull@gmail.com</u>
Date: <u>8-28-16</u>	

The foregoing instrument was acknowledged before me by _____, who is personally known to me or has produced _____ as identification and who did not take an oath.	
WITNESS my hand and official seal this _____ day of _____, A.D., 2____.	
Notary Public Signature _____	My Commission expires: _____ Please affix seal or stamp.

## **EXTERIOR CONCRETE ARCH REPAIR**

51 LIGHTHOUSE LANE – UNIT (STACK) # 1079, HILTON HEAD ISLAND, S.C.  
PROJECT NO. LHI-1079

### **OWNER**

LIGHTHOUSE 1 VILLAS HOA  
JOHN MARYNOWSKI – BOARD PRESIDENT

### **GENERAL CONTRACTOR**

NIX CONSTRUCTION COMPANY INC.  
JOSEPH E. NIX JR. – PRESIDENT

843-683-3344

[joenix@nixconstruction.com](mailto:joenix@nixconstruction.com)

### **Project Narrative**

Lighthouse 1 Villas, Located at 51 Lighthouse lane, is experiencing problems with the precast concrete arches located on the rear elevation of the building. The Board has hired Nix Construction to make the necessary repairs to the arches located on the 2<sup>nd</sup> and 3<sup>rd</sup> floor of the # 1079 stack located in the center portion of the building. In order to control the cost of the repairs and the impact these repairs will have on the building occupants the Board has elected to “square off” the precast arches located in this area. If permission is granted, it is assumed the Board will square off the balance of the rear elevation arches as repairs to these areas become necessary.

### **Existing Conditions**

The overall dimensions of the existing balcony openings will remain the same. The color and texture of the new concrete and stucco repairs will remain the same.

August 10, 2016

Joe Nix  
Nix Construction Co., Inc.  
P.O. Box 7667  
Hilton Head Island, SC 29938-7667

Re: LIGHTHOUSE ONE VILLAS

Dear Joe:

The Sea Pines Architectural Review Board approved the application you submitted to remove the arches over the four balconies at the above referenced address. It will not be necessary to pay an escrow deposit for compliance and clean up but please call me when the project is complete so I can do a final inspection.

You may call me if you have any questions.

Sincerely,



Ken Rabon  
Administrator

DRB - 1632 - 2016



Google earth

feet 700  
meters 200



#51 LIGHTHOUSE LANE VILLAS  
HARBOUR TOWN, SEA PINES  
STACK (UNIT #1079) ONLY

RE: SQUARE OFF 4 ARCHES ON  
REAR ELEVATION OF BID FACING  
GOLF COURSE. 2@ 2ND FLOOR  
& 2@ 3RD FLOOR.

DRB-1632-2016

LEAVE AS-IS.  
LOCATION # 3

SQ. OFF  
LOCATION # 2

Leave  
As-Is  
LOCATION



UNIT #1079

SQUARE OFF  
THESE 4  
ARCHES

DRB-1632-  
2016

4TH

3RD

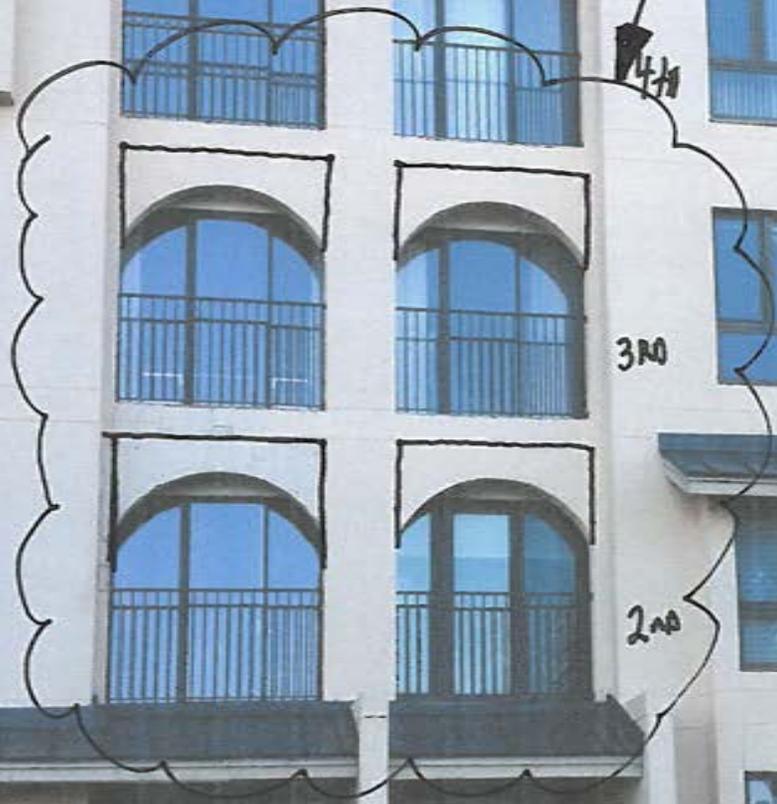
2ND

1ST



DRB-1632-2016

SQUARE OFF  
THESE 4 ARCHES  
@ 2ND & 3RD FLOOR



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lighthouse I Villas – ALTERATION/ADDITION

DRB#: DRB-001632-2016

DATE: September 13, 2016

RECOMMENDATION:    Approval             Approval with Conditions             Denial   
RECOMMENDED CONDITIONS:

Applicant proposes to revise the concrete arches on the center rear elevation of the building by “squaring off” the precast arches in the center portion only. Remaining arches will be squared off at future date as repairs become necessary.

The Sea Pines Plantation ARB has reviewed and approved the submittal.



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FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JOHN HOLLMEYER Company: FM SHOPPES LLC  
 Mailing Address: 532 GOVERNOR MORRISON ST. City: CHARLOTTE State: NC Zip: 28211  
 Telephone: (704) 323-7609 Fax: N/A E-mail: JOHN@FERNCROFTCAPITAL.COM  
 Project Name: FRESH MARKET SHOPPES Project Address: 890 WILLIAM HILTON PARKWAY  
 Parcel Number [PIN]: R550011000 138A 0001 - 0110 (25 PARCELS)  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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- ✓ \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

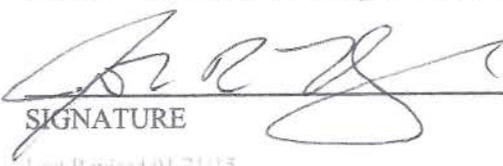
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

8/29/16  
\_\_\_\_\_  
DATE

## FERNCROFTCAPITAL

532 Governor Morrison Street, Suite 201  
Charlotte, NC 28211  
(704) 323-7609  
john@ferncroftcapital.com

VIA E-MAIL

August 29, 2016

**To: Design Review Board**

RE: Review of Proposed Alterations for Fresh Market Shoppes at 890 William Hilton Parkway

Since acquiring The Fresh Market Shoppes last year, Ferncroft Capital has been thoughtfully putting together a restoration plan that will bring the shopping center up to Class A standards and propel it to a top tier shopping destination on the island. Ferncroft specializes in revitalization of older centers and has vast experience in transforming properties into some of the top centers in the Southeast.

We have studied many other local and regional centers and with our architect have come up with a plan to reinvigorate this center. The vision is a Lowcountry coastal-based architecture accenting the wood and roof accents, lush landscaping and magnificent metal details that are already in place. New table seating, benches, rocking chairs, fans and landscaped pots will activate the common areas and invite strolling through the center. Our intent is to create a destination far beyond the notion of a quick trip to the store.

Our central covered terrace and patios throughout the center have the potential to attract top tier retailers and a place where friends can meet, relax and dine while enjoying the beautiful Lowcountry weather all year round. Much of the emphasis on the renovation is on making the center feel updated and fresh. We want to create a "place". That goal is most effectively achieved through upgrades to paint, landscaping, potscaping and new pavers at the pedestrian level and on the front elevations.

Our request to the board is a fresh, new color scheme on the front elevation, that will incorporate Lowcountry architecture with muted grays, green metal roof (existing), cream trim and accents that are in keeping with Hilton Head standards.

Enclosed you'll find a site plan, photos of the existing building, photos of other centers in the region that inspired our plan, a conceptual elevation drawing and proposed color samples. We respectfully request your review and consideration of our proposal.

Should you have any questions, please don't hesitate to call me at (704) 323-7609 or e-mail me at [john@ferncroftcapital.com](mailto:john@ferncroftcapital.com).



John Hollmeyer  
Principal

Exhibit E: Proposed paint colors

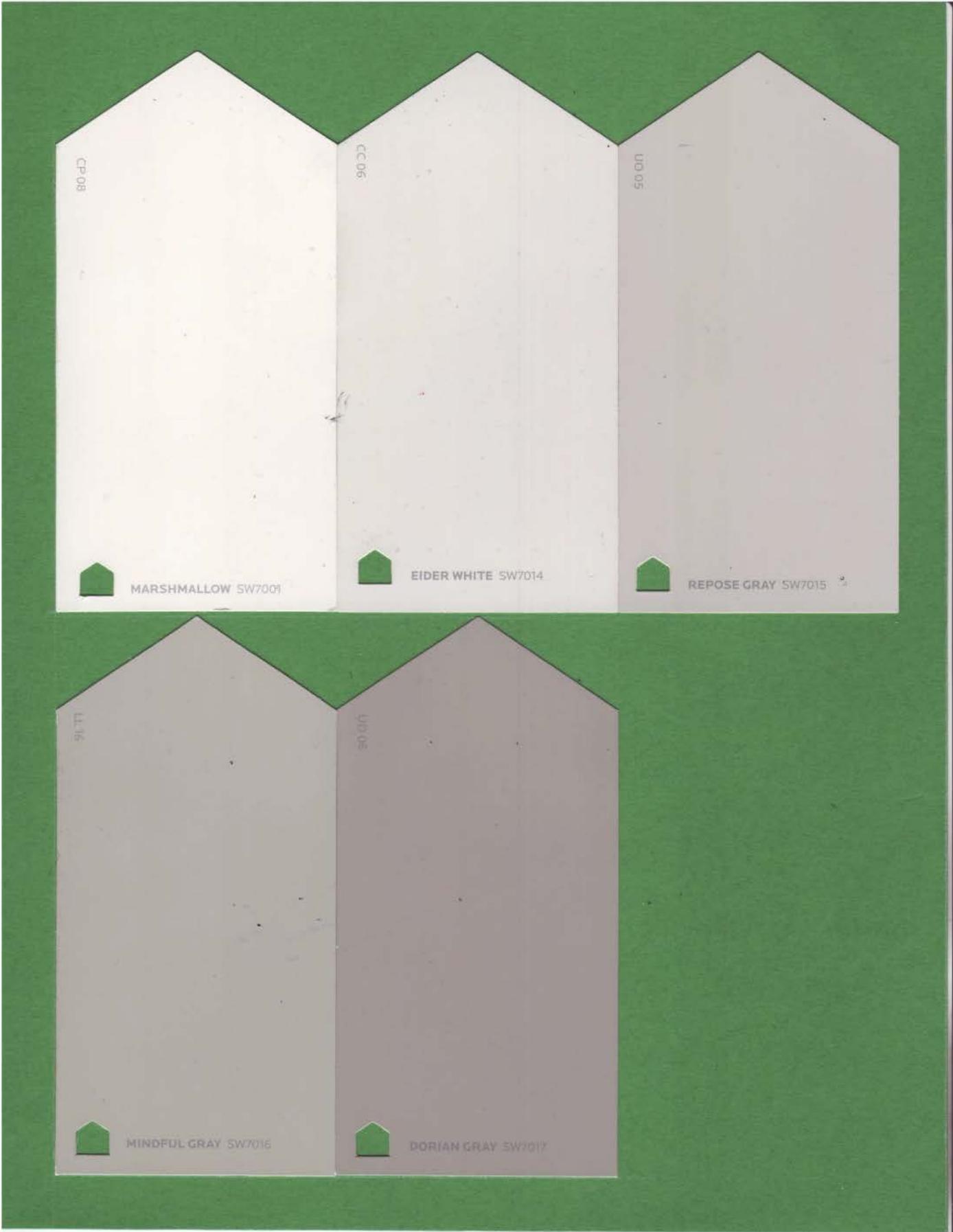


Exhibit B: Existing building photos





Propose light gray color on sign band and main building (see Exh. D & E for detail)

Propose cream color on all trim and columns similar to tower (see Exh. D & E for detail)

Tower color remains the same

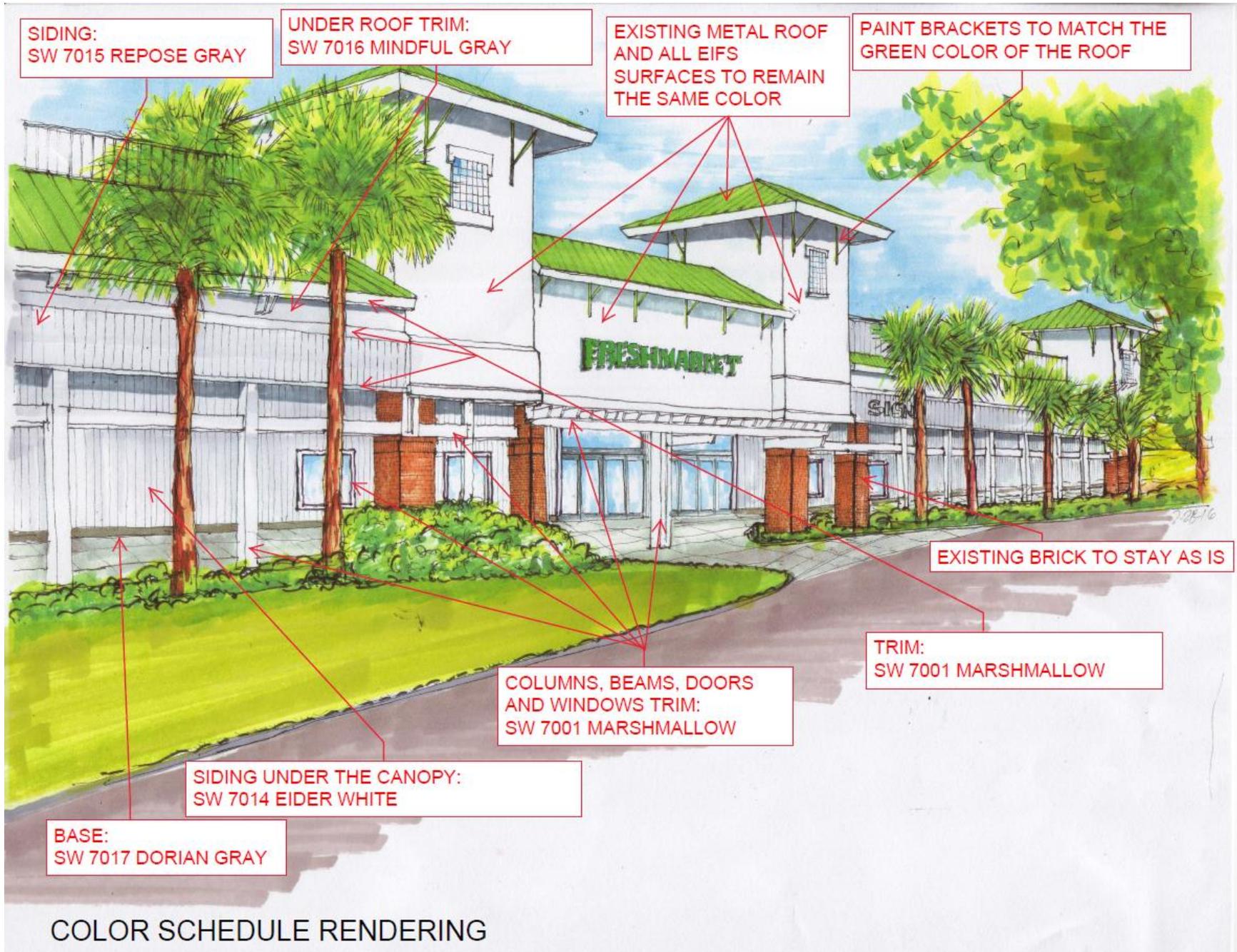
Exhibit C: Photos that have inspired the restoration and new color scheme



Exhibit A: Site Plan



Exhibit D: Conceptual drawing with new color scheme



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fresh Market Shoppes (repaint) – ALTERATION/ADDITION

DRB#: DRB-001653-2016

DATE: September 13, 2016

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. New paint scheme should include side elevations as well as rear elevation.

Applicant proposes to repaint existing buildings with a new color scheme on the front elevation that will include colors that are in keeping with the Design Guide including muted greys, green metal, and cream trim and accents.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	8-30-16
Accepted by:	JCS
DRB #:	1636-16
Meeting Date:	

Applicant/Agent Name: Jack Winarchick Company: Hilton Head Signs  
 Mailing Address: PO Box 21410 City: Hilton Head State: SC Zip: 29925  
 Telephone: 843-681-3513 Fax: 843-681-5521 E-mail: jack@hiltonheadsigns.com  
 Project Name: Hilton Grand Vacations Project Address: 41 South Forest Beach  
 Parcel Number [PIN]: R \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

**Submittal Requirements for *All* projects:**

\_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_\_\_ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

**Additional Submittal Requirements:**

**Concept Approval – Proposed Development**

\_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

\_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

\_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

\_\_\_\_\_ Context photographs of neighboring uses and architectural styles.

\_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

\_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
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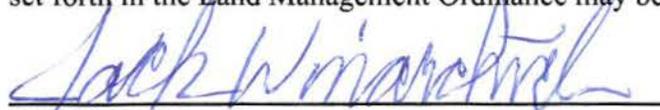
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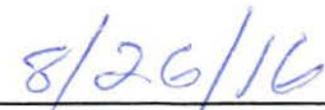
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SIGNATURE

  
DATE

## Ray Jennifer

---

**From:** Forest Beach Owners Association <fbassn@aol.com>  
**Sent:** Tuesday, September 6, 2016 3:50 PM  
**To:** jack@hiltonheadsigns.com  
**Cc:** Ray Jennifer  
**Subject:** Ocean Oak Resort - Forest Beach ARB Approval

Jack - Thank you for your submission for the proposed signage at the Ocean Oak Resort complex located at 41 S Forest Beach DR along with the Carolina Beach Club located at 39 S Forest Beach DR, Hilton Head Island, SC. The Association has reviewed your email submission dated September 6, 2016, along with the attached narrative and accompanying photographs and drawings..

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals. Exterior materials and colors are to as specified. This email constitutes your ARB approval.

As with any project, we will require written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans once reviewed by the Town, you will need to re-submit them to us for review before adopting them in to your project.

Only the scope of the project, as delineated in the submission package, is approved. Any other work to be performed that may require an ARB review, and approval will have to be made under a separate application.

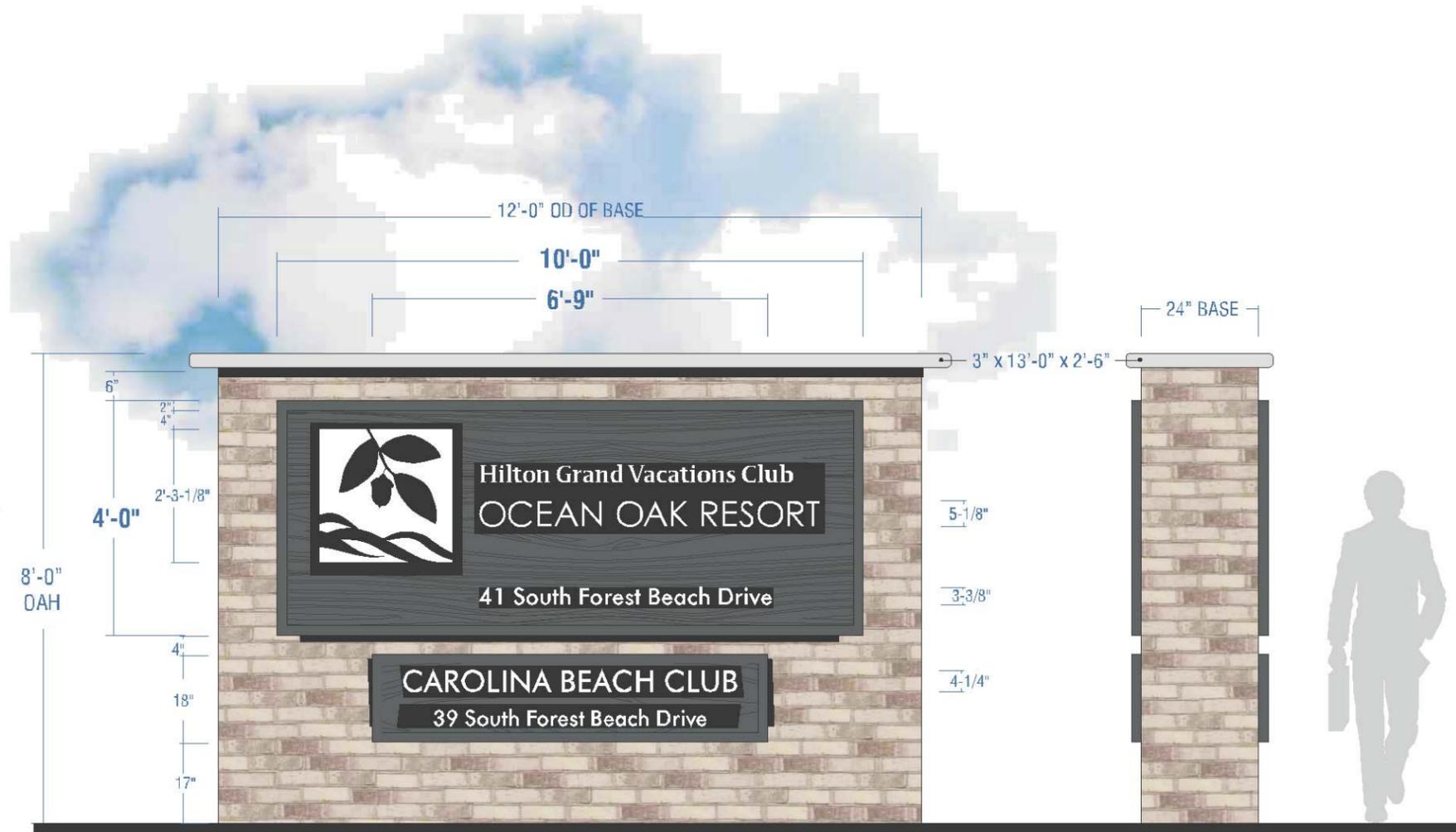
If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Jennifer Ray at the Town for their records. Please keep a copy of this approval on site during construction and forward a copy of this email to the property owner for their records.

*John D. Snodgrass*

John D. Snodgrass  
Executive Director,  
Forest Beach Owners' Association, Inc.

Hilton Panel: 40 square feet  
 Carolina Beach Club Panel: 10.1 square feet  
 Total: 50.1 square feet



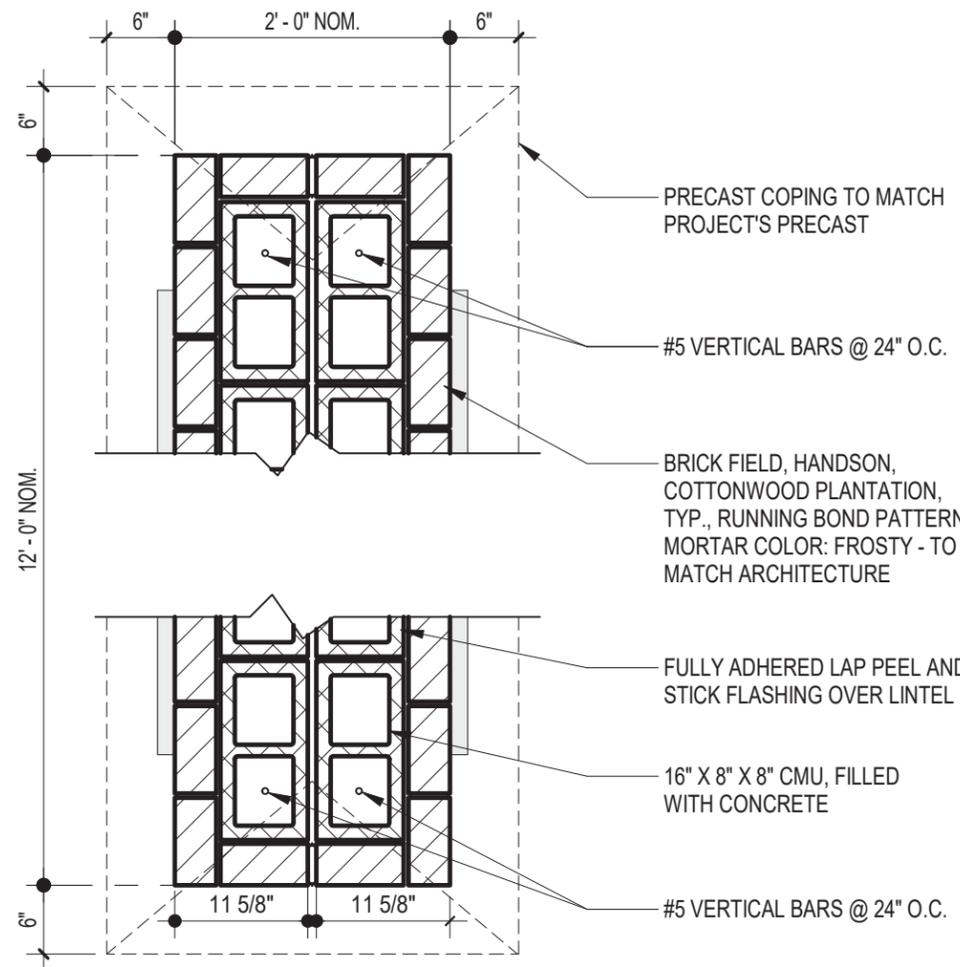
**BKGD:** 1" thick routed extira – minimal texture painted SW7033 Brainstorm Bronze

**GRAPHICS:** Logo & copy painted Satin White as shown; Border, Logo & copy to be raised from background

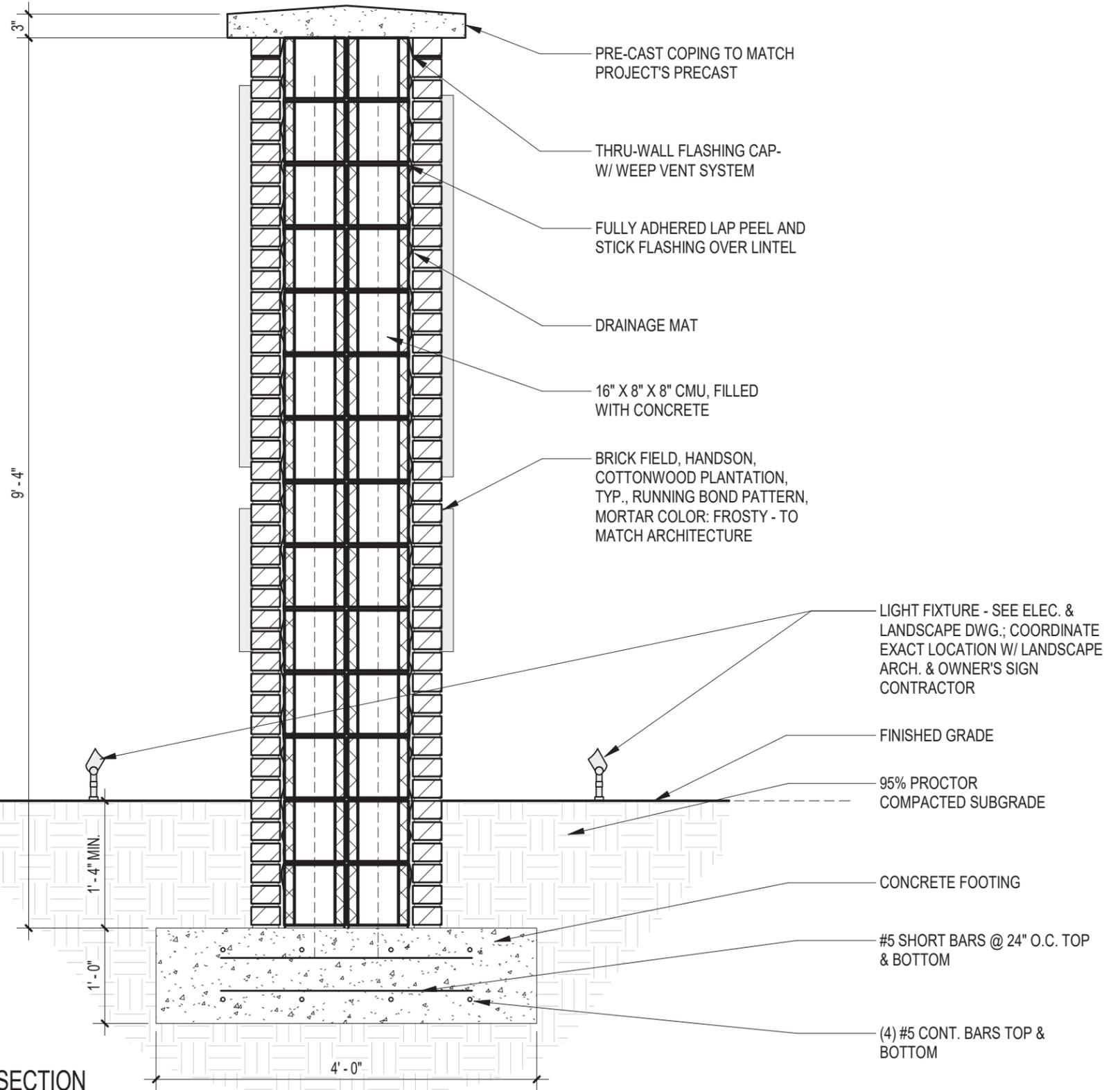
**MASONRY BASE:** Brick to be Hanson Brick (Forterra): Cottonwood 392 / Columbia 4 "Carolina Collection" w/ sandstone caps to match brickwork



Hanson Brick (Forterra): Cottonwood 392



**1** MONUMENT SIGN PLAN  
 \*A-010 3/4" = 1'-0" REFERENCED ON:



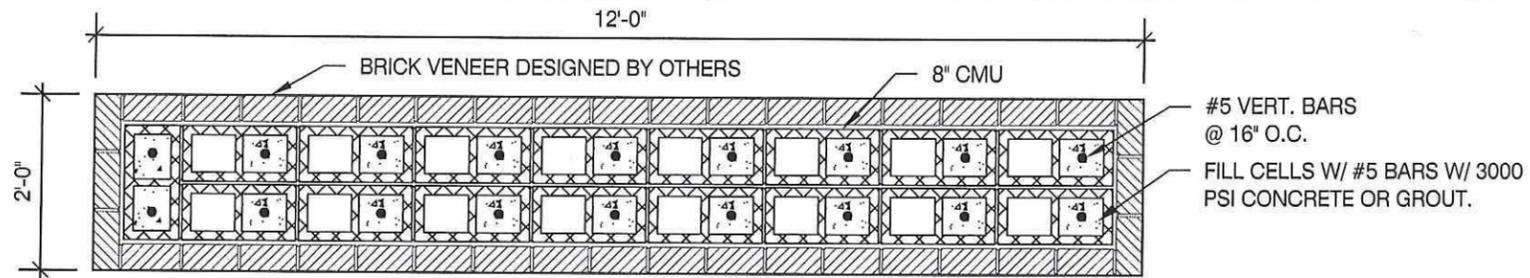
**2** MONUMENT SIGN SECTION  
 \*A-010 3/4" = 1'-0" REFERENCED ON:



THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF THE GARVIN DESIGN GROUP, INC. THE REPRODUCTION, COPYING, OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE GARVIN DESIGN GROUP IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

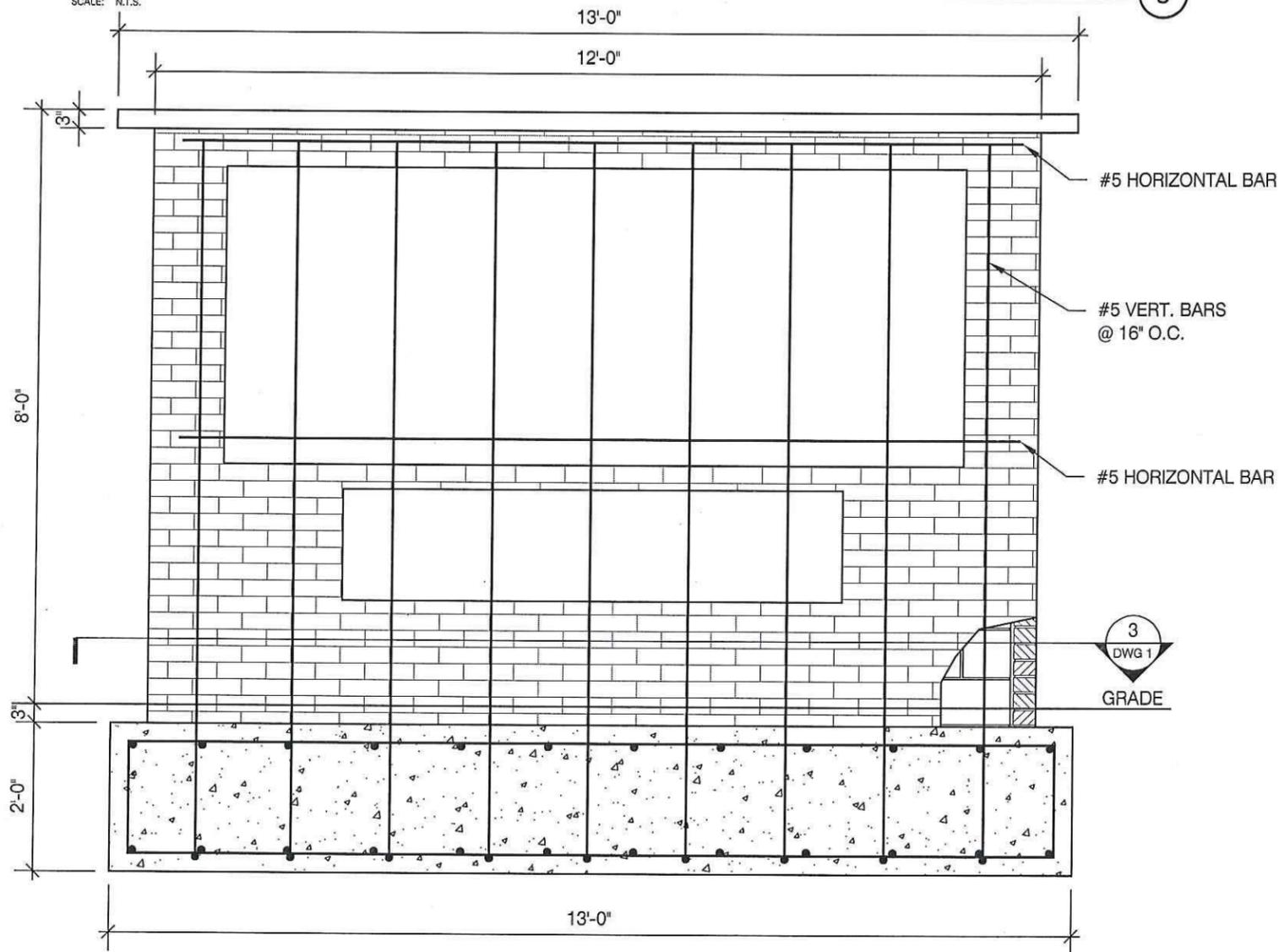
**PROJECT TITLE**  
**Adventure Inn Redevelopment**  
 South Forest Beach Road  
 Hilton Head, SC 29925

REVISION:	ISSUED VIA:
ARCH PROJECT NO: <b>H373.14</b>	REFERENCE: <b>Author</b>
DATE:	SKETCH NO: <b>*A-010</b>



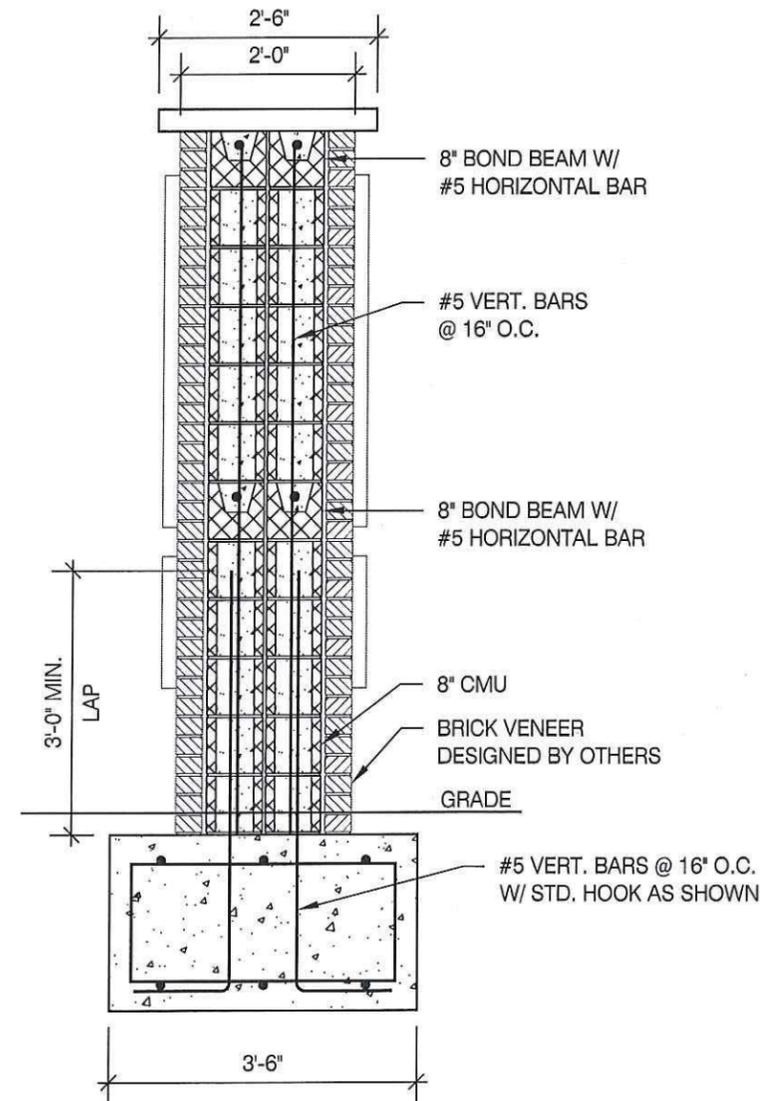
SECTION THROUGH BASE

SCALE: N.T.S.



SPREAD FOUNDATION FRONT VIEW

SCALE: N.T.S.



SPREAD FOUNDATION SIDE VIEW

SCALE: N.T.S.

NOTES

- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
- 2.) SIGN CABINET AND CONNECTION BY OTHERS.

- \* CLIENT - MC SIGN COMPANY
- \* 2012 IBC
- \* 150 MPH WIND SPEED, EXP. C
- \* (1) FOOTING

**SPREAD FOUNDATION**

**REQUIRED REINFORCEMENT**

- #5 BAR VERT. AS REQ'D TO HOLD REBAR MATS IN PLACE
- (12) #5 S.W. T+B
- (3) #5 L.W. T+B



**MBI**

michael brady inc.  
sign engineering  
structural engineering

**KNOXVILLE OFFICE**

299 WEISGARBER RD.  
KNOXVILLE, TENNESSEE  
37919

PHONE 865-584-0999  
FAX 865-584-5213

PROJECT:

39 S. Forest Beach Dr., Hilton Head, SC

DRAWING TITLE:

Hilton Grand Vacations Club

DRAWN BY:  
FCM

CHECKED BY:  
DSA

COMM. NO.  
160181.08

DATE:  
08/22/16

DRAWING NO.  
DWG.

1

REV. #	DATE	DRAWN BY

**WIND DATA**

Building Code	2012 IBC	Importance Factor, I	1.0	Damping Ratio, $\beta$	0.005
Wind Load Criteria	ASCE 7-10	Directionality Factor, $K_d$	0.85	Natural Frequency, $n_1$	0.00 Hz
Wind Speed, V	150 mph	Topography Factor, $K_{zt}$	1.0	Gust Effect Factor, G	0.85
Exposure Category	C	Base Pressure, $\gamma(q_z/K_z)$	29.4 psf	ASD Wind Load Factor, $\gamma$	0.6
Wind Pressure Override per Jurisdiction Requirement	0 psf				

**DEFLECTION ANALYSIS**

Deflection Limit	H/60
Deflection at 0.7*W	
Deflection Ratio	

Notes: (1) Loading values in chart below are based upon average  $K_z$  values for each segment. Actual values are calculated on hidden sheet using derived V-M equations. Chart is provided for information purposes only.  
 (2) Wind directionality ( $K_d$ ) factor is 0.95 for Single Pole (Round) segments instead of 0.85. The  $C_f$  value from Fig. 6-21 has been increased by 0.95/0.85 to account for this variation.  
 (3) Wind pressures listed below have already been multiplied by the ASD Wind Load Factor,  $\gamma$ .

**GEOMETRY INPUT**

Section	Location	Type	Height ft	Width ft	Horiz. Offset ft	Area sq ft	Top Elev. ft	Centroid ft	$K_z$	$C_f$	Wind Press. psf	Support Pole Loads			Footing Loads			
												Trib. Factor	Shear kips	Moment k-ft	Trib. Factor	Shear kips	Moment k-ft	
1	Base	Single Pole (Not Round)	0.25	0.00		0.0	0.3	0.1	0.85	1.46	31.0	1.0	0.0	0.0	1.0	0.0	0.0	
2		Single Pole (Custom Weight)	7.75	10.00		77.5	8.0	4.1	0.85	1.46	31.0	1.0	2.4	9.9	1.0	2.4	9.9	
3		Single Pole w/ Cabinet	0.25	13.00		3.3	8.3	8.1	0.85	2.03	43.0	1.0	0.1	1.1	1.0	0.1	1.1	
4		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
5		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
6		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
7		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
8		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
9		None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
10	Top	None				0.0	8.3	8.3	0.85	1.46	31.0	0.0	0.0	0.0	0.0	0.0	0.0	
Overall Height: 8.25 ft												Summation based upon averages above:			2.5	11.0	2.5	11.0
												Actual base reactions based upon V-M equations:			2.5	11.1	2.5	11.1

**FOUNDATION DESIGN SUMMARY**

Type	Diameter ft	Width ft	Thickness ft	Length ft	Depth ft	Volume CY	Reinforcing	Status
<input type="checkbox"/> Caisson								
<input type="checkbox"/> Vertical Slab								
<input checked="" type="checkbox"/> Spread	--	13.00	--	3.50	2.00	3.37	#5 at 14 in o.c. E.W. T&B	OK

**DESIGN SPECIFICATIONS:**

REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS.  
 ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:

- 2012 IBC
- ACI
- AISC
- AMERICAN WELDING SOCIETY
- LOCAL BUILDING CODES & ORDINANCES

CONCRETE: 2500 PSI @ 28 DAYS  
 STD. STEEL PIPE SECTION: ASTM A53 GRADE B (Fy=35 KSI), U.N.O.  
 STEEL PIPE SECTION (> 20" Ø): ASTM A252 GRADE 3 (Fy=42 KSI MIN.) U.N.O.  
 HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42 KSI) U.N.O.  
 HSS SQUARE/RECTANGULAR SECTION: ASTM A500 GRADE B (Fy=46 KSI)  
 ANCHOR BOLTS: ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)  
 CONNECTION BOLTS: ASTM A325  
 THREADED RODS: ASTM A193 GRADE B7  
 STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES & PLATES ASTM A36  
 REINFORCING: GRADE 60 ASTM A615  
 PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.

THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY. NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.  
 WELDING ELECTRODES: E70XX

ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 2000 PSF  
 ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 150 PSF/FT OF DEPTH.  
 ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.

ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.  
 FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.

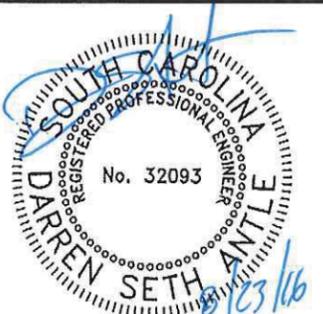
EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING. ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS. GROUT UNDER BASE PLATES WITH NON-SHRINK GROUT. THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.

ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.

THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER. DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.

- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAIL AND DIMENSIONS.
- 2.) SIGN CABINET AND CONNECTION BY OTHERS.

- \* CLIENT - MC SIGN COMPANY
- \* 2012 IBC
- \* 150 MPH WIND SPEED, EXP. C
- \* (1) FOOTING



**MBI**

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 37919

PHONE 865-584-0999  
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**PROJECT:**

39 S. Forest Beach Dr., Hilton Head, SC

**DRAWING TITLE:**

Hilton Grand Vacations Club

**DRAWN BY:**

FCM

**CHECKED BY:**

DSA

**COMM. NO.**

160181.08

**DATE:**

08/22/16

**DRAWING NO.**

DWG.

2

**REV. # DATE DRAWN BY**

REV. #	DATE	DRAWN BY



**SITE KEY LEGEND:**

**SITE WORK:**

- S1 4" OYSTER SHELL CONCRETE  
DETAIL 1/L300
- S2 4" CONCRETE  
DETAIL 4/L300
- S3 6" OYSTER SHELL CONCRETE  
DETAIL 2/L300
- S4 OYSTER SHELL BANDING  
DETAIL 7/L300
- S5 BRICK PAVERS AND BANDING (VEHICULAR)  
DETAIL 8/L300
- S6 PERMEABLE BRICK PAVERS AND BANDING  
(VEHICULAR) DETAIL 9/L300
- S7 DECORATIVE POOL DECK AND COPING  
DETAIL 11/L300
- S8 CONCRETE POOL DECK & COPING (OCEAN  
DUNES) DETAIL 12/L300
- S9 PLANK PAVEMENT W/ OYSTER SHELL BANDING  
DETAIL 5/L300
- S10 BRICK KNEE WALL AND POOL FENCE  
ENCLOSURE DETAIL 1/L302
- S11 ADA DOME PAVERS  
DETAIL 6/L300
- S12 4" POOL FENCE ENCLOSURE AND GATE  
DETAIL 2/L302
- S13 LOUVERED SCREEN FENCE & KNEEWALL  
DETAIL 6/L301
- S14 LOUVERED POOL EQUIPMENT FENCE  
DETAIL 4/L302
- S15 BRICK ENTRY COLUMNS (TYPE A & B)  
DETAIL 3/L301
- S16 BRICK PLANTER / SEAT WALL  
DETAIL 1/L301
- S17 STUCCO RETAINING WALL  
DETAIL 2/L301
- S18 CONCRETE STAIRS WITH STUCCO  
DETAIL 4/L301
- S19 SMALL COLUMN  
DETAIL 5/L301
- S20 SWING TRELLIS  
DETAIL 2/L301
- S21 LOUNGE POOL TRELLIS  
DETAIL 1/L303
- S22 BOARDWALK  
DETAIL 6/L304
- S23 BEACH SHOWER ZONE  
DETAIL 1/L304
- S24 GRANT W.C.  
DETAIL 1/L300
- S25 BRICK KNEEWALL WITH GATING  
DETAIL 3/L302
- S26 SITE WALL W/ FENCE & DECORATIVE  
COLUMN  
DETAIL 5/L302
- S27 STANDARD BOLLARDS  
(FIXED AND REMOVABLE)  
DETAIL 5/L302
- S28 BUILT IN BENCH  
DETAIL 4/L304
- S29 CHANNEL DRAIN IN DECORATIVE BANDING  
DETAIL 13/L300
- S30 POOL DECK DRAIN  
DETAIL 14/L300
- S31 BOARDWALK TO CONCRETE LEDGER  
DETAIL 5/L304
- S32 DECORATIVE SITE WALL  
DETAIL 6/L302
- S33 STUCCO RETAINING WALL (PARKING AREA)  
DETAIL 7/L301
- S34 BRICK LANDSCAPE APRON  
DETAIL 15/L300

**SIGNAGE:**

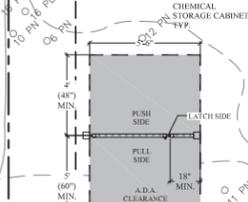
- SN1 POOL RULES SIGN
- SN2 NO LIFEGUARD ON DUTY SIGN
- SN3 NO DIVING SIGN
- SN4 SPA RULES SIGN
- SN5 SPA TIMER
- SN6 EMERGENCY POOL SHUTOFF

- PAVING SCHEDULE:**
- 4" OYSTER SHELL CONCRETE
  - 6" OYSTER SHELL CONCRETE
  - 4" COLOR CONCRETE W/ ROCK SALT FINISH
  - 4" STANDARD CONCRETE W/ ROCK SALT FINISH
  - DECORATIVE PLANK STYLE PAVERS WITH OYSTER SHELL BANDING
  - BRICK LANDSCAPE APRON
  - ADA DETECTABLE WARNING
  - DECORATIVE POOL DECKING (BISHOPS HAT PATTERN)
  - BRICK PAVERS (VEHICULAR)
  - PERMEABLE BRICK PAVERS (VEHICULAR)

- SITE FURNISHINGS SCHEDULE:**
- CABANNAS (BY OTHERS)
  - DECORATIVE PLANTER POTS (BY OTHERS)
  - BENCH (BY OTHERS)
  - BOLLARD (REMOVABLE)
  - FAIRWEATHER B-3 6"X6" WITH LOCK WELL  
DETAIL 3/L303
  - BOLLARD (FIXED)
  - FAIRWEATHER B-3 6"X6" WITH LOCK WELL  
DETAIL 3/L303
  - BIKE RACK
  - PILOT ROCK MODEL#BR102/AW, SURFACE MOUNT, PROVIDE COLOR SAMPLE PRIOR TO ORDERING
  - GRILL
  - FIREMAGIC CHARCOAL #25-SC01C-66 IN-GROUND, STAINLESS
  - EMERGENCY TELEPHONE (TOLL FREE)
  - PROVIDE EMERGENCY PHONE (TOLL FREE) IN WATER TIGHT ENCLOSURE FOR DHEC REQUIREMENTS. MOUNT TO 6X6 P.T. POST AT HT. WITH 1" CHAMFER AT TOP AT THE OCEAN DUNES POOL (SEAN POST TO MATCH ARCHITECTURE). MOUNTING HEIGHT AT HIGHEST CONTROL ON PHONE SHALL NOT EXCEED 48" PER ADA REQUIREMENTS. PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF POOL AND DISPLAY AT PHONE. PROVIDE SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.
  - HOSE BIBB
  - MOST DEPENDABLE FOUNTAINS HYDRANT #4MD245M SS, STAINLESS
  - FOOTWASH/HOSE BIBB
  - MOST DEPENDABLE FOUNTAINS #525 SM SS W/ HOSE BIBB, STAINLESS
  - ADA SHOWER
  - MOST DEPENDABLE FOUNTAINS #565 SM SS, STAINLESS
  - DRINKING FOUNTAIN
  - MOST DEPENDABLE FOUNTAINS #4405M SS, ADA COMPLIANT, STAINLESS
  - PROVIDE HOSE BIBB OPTION FOR THE OCEAN DUNES POOL.
  - SPA TIMER
  - 18"X18"X4" OYSTER SHELL CONCRETE STEPPERS, COLOR & SHELL RATIO TO MATCH OYSTER SHELL BANDING

- GENERAL CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
  2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
  3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
  4. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
  5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
  7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
  8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.

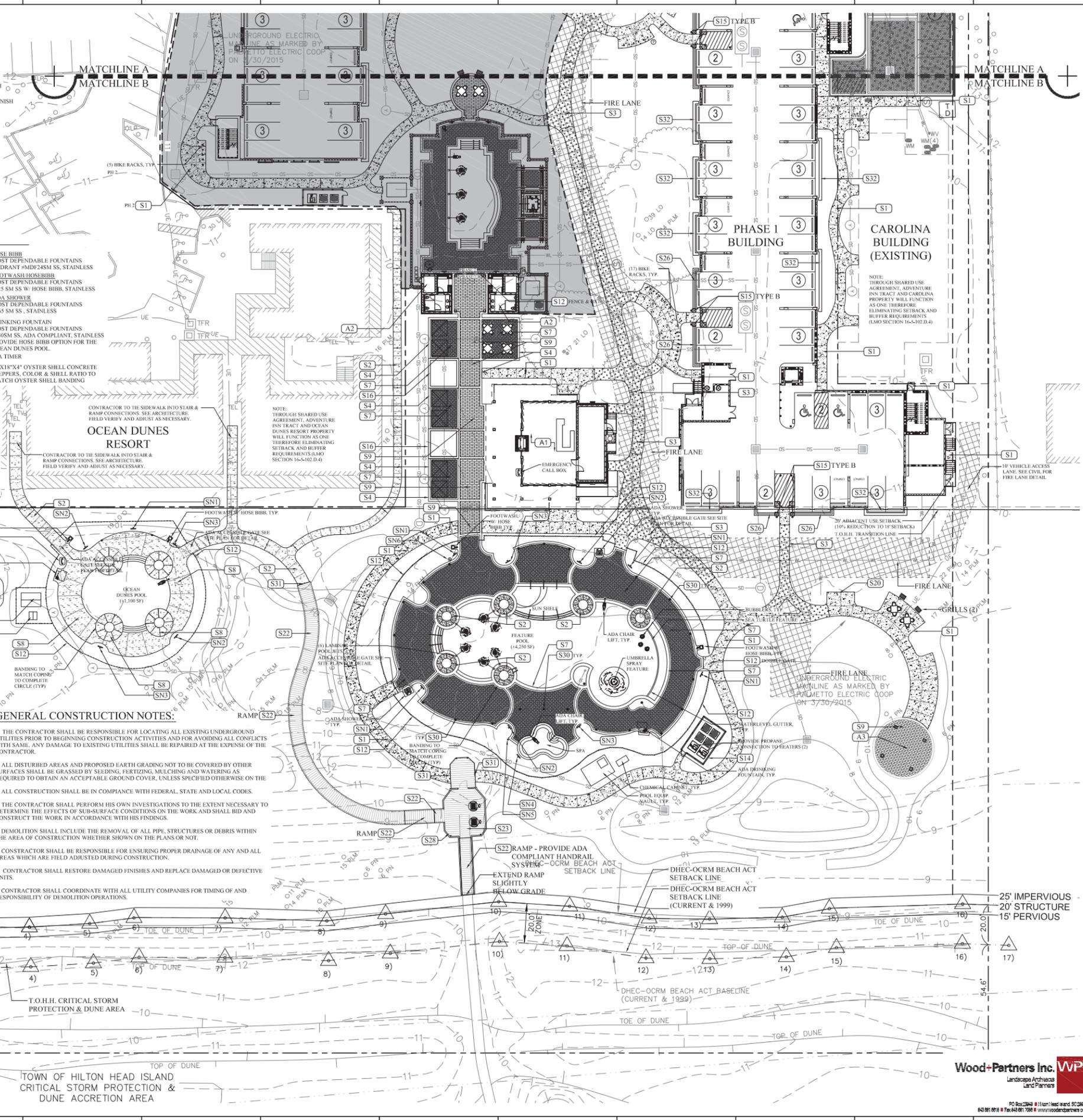
- ARCHITECTURE:**
- A1 FOOD AND BEVERAGE BUILDING SEE ARCHITECTURE
  - A2 RESTROOM BUILDINGS SEE ARCHITECTURE
  - A3 BEACH PAVILION SEE ARCHITECTURE
  - A4 MAINTENANCE BUILDING AND DUMPSTER ENCLAVE SEE ARCHITECTURE



\*\*\*NOTE: ALL NOTED GATES SHALL COMPLY WITH A.D.A. ACCESSIBLE ROUTES STANDARDS



SCALE: 1" = 20'-0"  
PLAN IS SUBJECT TO CHANGE.  
SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE SC050010D.3EMAIL 7.23.14.dwg. DATED JULY 21, 2014.



TOWN OF HILTON HEAD ISLAND  
CRITICAL STORM PROTECTION &  
DUNE ACCRETION AREA



**Adventure Inn  
Redevelopment**  
South Forest Beach Road  
Hilton Head, SC 29925

NO.	NAME	DATE

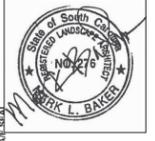
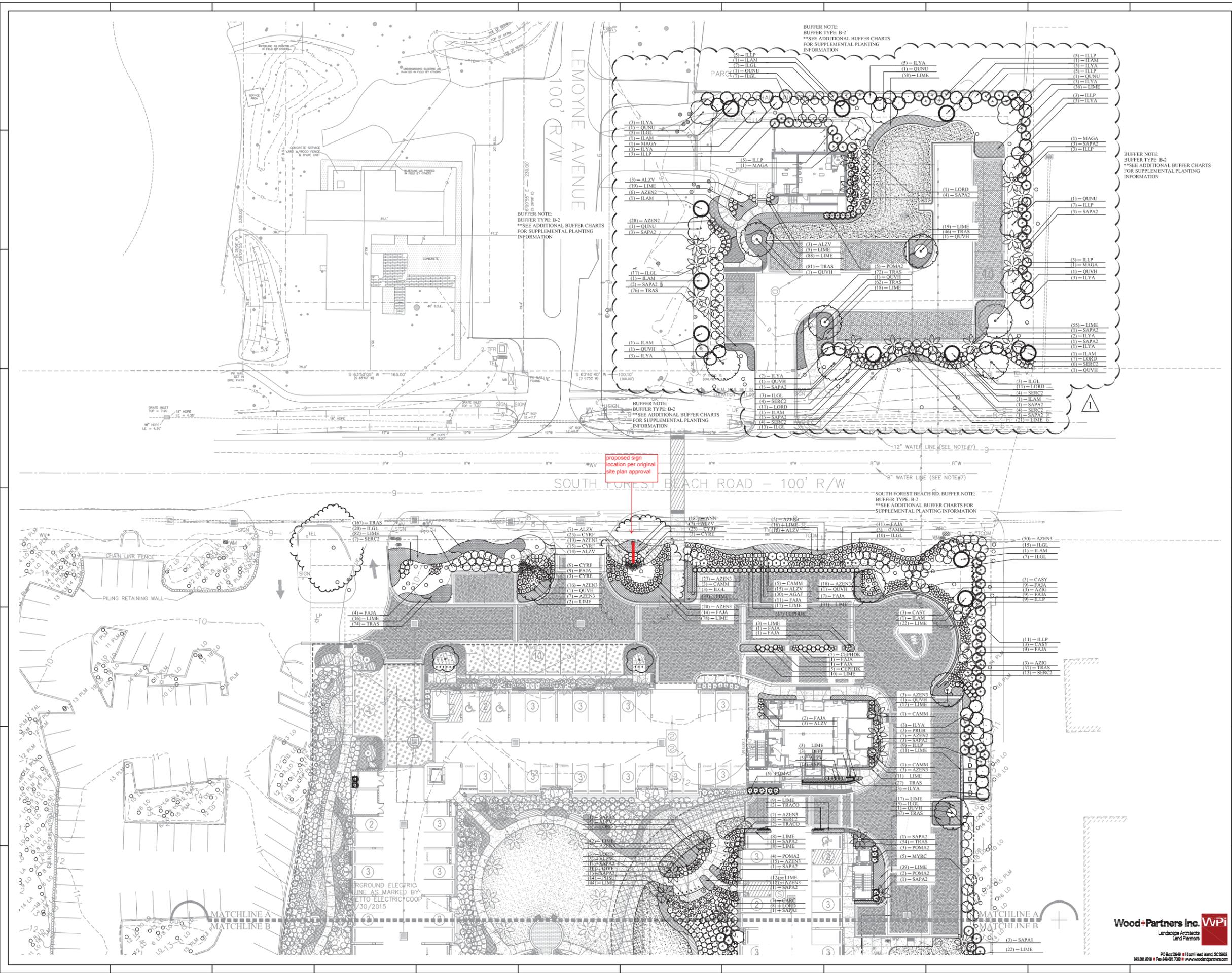
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**Site Plan**

PROJECT NO. X11110  
DATE 05-15-15  
DRAWING NO. L-101



PO Box 23868 • Hilton Head Island, SC 29925  
843.681.8818 • Fax 843.681.7088 • www.woodpartners.com



**PROJECT TITLE**  
 Adventure Inn  
 Redevelopment  
 South Forest Beach Road  
 Hilton Head, SC 29925

REVISIONS	NO.	NAME	DATE
1	Owner requested revisions	8-4-15	

**DRAWN BY:**  
**CHECKED BY:**

**DRAWING TITLE**  
 Landscape Plan  
 Phase 1

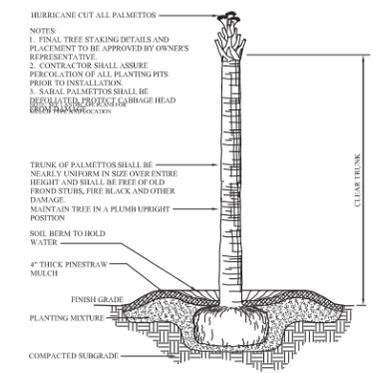
**PROJECT NO.:** X11110  
**DATE:** 05-15-15  
**DRAWING NO.:** L-400

PLANT SCHEDULE										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS	
ILEAM	13	Ilex opaca	American Holly	B & B or Cont.	2" Cal	8'-10"	6'-8"	6'-4"	SPECIMEN	
LIGH	2	Ligustrum japonicum	Japanese Privet	B & B or Cont.	1.5" Cal				Tree Form, SPECIMEN	
MAGA	4	Magnolia grandiflora 'Ala'	Ala Magnolia	B & B	2" Cal	10' Min.			Fall to ground, SPECIMEN	
PITF	14	Pinus taeda 'Thunderhead'	Thunderhead Scotch Pine	B & B or Cont.	1.5" Cal		7'-8"	4'-5"	Strong central leader, SPECIMEN	
PRUB	10	Prunus caroliniana 'Bright 'N' Tight' TM	Bright 'N' Tight Carolina Laurel	B & B or Cont.	2" Cal		6'	3'-4"	SPECIMEN	
QOON	9	Quercus nuttallii	Nuttall Oak	B & B	2 1/2" Cal	10' Min.	8'-12"	8'-10"	SPECIMEN	
QUVI	15	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	5" Cal		16'-18"	8'-10"	3" caliper minimum, strong central leader, SPECIMEN	
PALM TREES										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS	
BUCA	2	Betula capitata	Prado Palm	B & B			8'-10"		8'-10" CT, SPECIMEN	
PHSY	7	Phoenix tylerii	Sylvestre Palm	B & B or Cont.			8'-10"	6'-8"	Specimen, 10' clear trunk, SPECIMEN	
SAPA1	9	Sabal palmetto	Cabbage Palmetto	B & B or Cont.			16'-18"		Refoliated	
SAPA2	92	Sabal palmetto	Cabbage Palmetto	B & B			16'-18"		Height varies, smooth trunk, hurricane cut	
WARO	5	Washingtonia robusta	Mexican Fan Palm	B & B			14' C.T.		Matched SPECIMEN	
SHRUBS										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
ALZV	126	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	24" x 30"	24" x 30"	Full			
AEZ1	20	Azalea Encore 'Autumn Ember'	Autumn Ember Encore Azalea	3 gal	24" x 30"	24" x 30"	Full			
AZEN2	65	Azalea Encore 'Autumn Sangria' TM	Encore Azalea	3 gal	24" x 30"	24" x 30"	Full			
AZEN3	250	Azalea hybrid 'Rebel'	Autumn Moonlight Azalea	3 gal	24" x 30"	24" x 30"	Full			
AZG	6	Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Azalea	7 gal	24" x 30"	24" x 30"	Full			
BAMUL	17	Bambusa multiplex	Hedge Bamboo	3 gal	16" x 18"	20" x 24"	Full			
CARC	39	Callitriche rigida 'Clonson Hardy'	Clonson Hardy Butterbush	7 gal	30" x 36"	24" x 36"	SPECIMEN			
CAMM	13	Camellia sasanqua 'Mino-No-Yuki'	Camellia	7 gal	18" x 24"	18" x 24"	Full			
CASY	9	Camellia sasanqua 'Yulende'	Yulende Camellia	7 gal	36" x 48"	24" x 28"	Full			
CANNA	21	Canna x generalis 'Bengal Tiger'	Bengal Tiger Canna	1 gal	18" x 24"	12" x 18"	Full			
CEPHDK	12	Cephalanthus harringtonii 'Duke's Garden'	Duke's Garden Plant Yew	3 gal	18" x 24"	24" x 36"	Full			
CYRE	11	Cycas revoluta	Sago Palm	15 gal	3'-4"	3'-4"	Full, SPECIMEN			
DIVE2	9	Dioscorea vegeta	African Int	3 gal	18" x 24"	12" x 18"	Full			
FAJA	113	Fatsia japonica	Japanese Fatsia	7 gal	36"	24"	SPECIMEN			
ILEGLA	118	Ilex glabra	Hollyberry Holly	3 gal	30" x 36"	24" x 36"	Full			
ILEYA	53	Ilex vomitoria 'Pride of Houston'	Pride of Houston Yaupon	7 gal	36" x 42"	24" x 36"	Full			
ILFP	80	Ilicium floridanum	Purple Anise	7 gal	36" x 42"	30" x 36"	Full pot			
LORD	148	Loropetalum chinense 'Daruma'	Dwarf Loropetalum	3 gal	18" x 24"	18" x 24"	Full			
MYRC	35	Myrica cerifera	Wax Myrtle	7 gal	30" x 36"	20" x 24"	Full			
NEOH	45	Nerium oleander 'Hardy Red'	Hardy Red Oleander	7 gal	42" x 48"	24" x 36"	Full			
NEOP	290	Nerium oleander 'Petite Pink'	Petite Pink Oleander	7 gal	30" x 36"	24" x 36"	Full			
PISE	40	Philadelphus scoum	Split Leaf Philadelphus	7 gal	30" x 36"	24" x 36"	Full			
POMA2	147	Podocarpus macrophyllus	Japanese Yew	15 gal	48" min	30"	Full, SPECIMEN			
POMA1	7	Podocarpus macrophyllus	Japanese Yew	30 gal	96" min.	36" min.	Full, SPECIMEN			
RHIA	72	Rhapidolepis indica 'Alba'	Alba Indian Hawthorn	7 gal	18" x 24"	18" x 24"	Full			
ROSB	119	Rosmarinus officinalis 'Adiant Blue Spruce'	Rosmary	3 gal	18" x 24"	18" x 24"	Full			
SERC1	9	Serenoa repens 'Cinerea'	Silver Saw Palmetto	15 gal	24" x 36"	24" x 30"	Full, SPECIMEN			
SERC2	213	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	18"	18" x 20"	Full			
VINE-ESPALIER										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
TRACO	5	Trachelospermum jammesoides 'Confederate'	Confederate Jasmine	3 gal	18" x 20"	20" x 24"	Full			
GROUND COVERS										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
AGAF	113	Agapanthus africanus	Lily of the Nile	3 gal	12" x 18"	12" x 18"	24" o.c.			
ANNS	187	Annuals	Annuals	1 gal	12" x 18"	12" x 18"	8" o.c.			
ASPD	40	Asparagus densiflorus 'Myers'	Myers Asparagus	3 gal	16" x 18"	18" x 24"	18" o.c. Full pot			
CYRF	68	Cytisium falcatum	Holly Fern	3 gal	8" x 12"	12" x 18"	24" o.c. Full pot			
DITV	680	Dianella aemionica 'Variegata'	Variegated Flax Lily	1 gal	12" x 18"	10" x 12"	18" o.c. Full pot			
DIVE	59	Dioscorea vegeta	African Int	3 gal	18" x 24"	12" x 18"	36" o.c. Full			
GAPU	33	Gaillardia pinnatifida	Blanket Flower	1 gal	8" x 10"	6" x 8"	18" o.c. Full pot			
JUNBL	4	Juniperus horizontalis 'Blue Rug'	Blue Rug Juniper	1 gal	16" x 18"	18" x 20"	48" o.c.			
LACN	8	Lantana camara 'New Gold'	Gold Mound Lantana	1 gal	10" x 12"	10" x 12"	24" o.c. Full			
LMDE	1,685	Liriodendron muscari 'Evergreen Giant'	Evergreen Giant Liriodendron	1 gal	12" x 14"	6" x 8"	25" o.c. Full pot			
MUCA	740	Muhlenbergia capillaris	Muhly Grass	1 gal	12" x 18"	8" x 12"	36" o.c.			
PLAI	59	Plumbago auriculata 'Imperial Blue'	Plumbago	1 gal	12" x 18"	10" x 12"	24" o.c. Full pot			
ROSR	150	Rosmarinus officinalis 'Roman Beauty'	Roman Beauty Rosemary	3 gal	18" x 24"	18" x 24"	18" o.c.			
SPBA	817	Spartina bakeri	Sand Cord Grass	1 gal	18" x 24"	12" x 18"	36" o.c. Full pot			
TRAS	849	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal	18" x 20"	12" x 24"	15" o.c.			
TRDN	888	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	1 gal	12" x 18"	10" x 12"	36" o.c. Full pot			
ZAPU	33	Zamia pumila	Coonote	3 gal	12" x 18"	12" x 18"	24" o.c. Full			
MULCH										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
HWM	1,919 sf	Hardwood Mulch	Mulch	mulch			4" min. depth within pool fence limits			
PSM	72,361 sf	Pinestraw Mulch	Mulch	mulch			4" min. depth; all areas excluding pool fence limits			
SOD/SEED										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
CYN CEL	22,795 sf	Cynodon dactylon 'Celebration'	Celebration Bermuda Grass	sod						

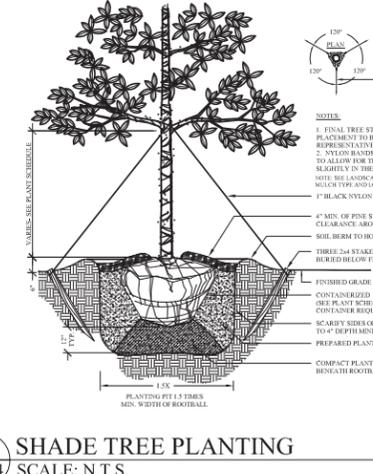
PHASE 2 PLANT SCHEDULE										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS	
LAIN	6	Laguncularia 'Natchez'	Crope Myrtle	B & B or Cont.	1.5" Cal	8'-10"	12' Min.	4'-5"	Min 3/4 caliper, SPECIMEN	
LIGH	13	Ligustrum japonicum	Japanese Privet	B & B or Cont.	1.5" Cal		6'-8"	3'-4"	Tree Form, SPECIMEN	
PRUB	8	Prunus caroliniana 'Bright 'N' Tight' TM	Bright 'N' Tight Carolina Laurel	B & B or Cont.	2" Cal		6'	3'-4"	SPECIMEN	
QOON	4	Quercus nuttallii	Nuttall Oak	B & B	2 1/2" Cal	10' Min.	8'-12"	8'-10"	SPECIMEN	
QUVI	8	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	5" Cal		16'-18"	8'-10"	3" caliper minimum, strong central leader, SPECIMEN	
PALM TREES										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS	
SAPA1	7	Sabal palmetto	Cabbage Palmetto	B & B or Cont.			16'-18"		Refoliated	
SAPA2	35	Sabal palmetto	Cabbage Palmetto	B & B			16'-18"		Height varies, smooth trunk, hurricane cut	
SHRUBS										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
ALZV	51	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	24" x 30"	24" x 30"	Full			
AEZ1	90	Azalea Encore 'Autumn Ember'	Autumn Ember Encore Azalea	3 gal	24" x 30"	24" x 30"	Full			
AZEN2	22	Azalea Encore 'Autumn Sangria' TM	Encore Azalea	3 gal	24" x 30"	24" x 30"	Full			
AZEN3	97	Azalea hybrid 'Rebel'	Autumn Moonlight Azalea	3 gal	24" x 30"	24" x 30"	Full			
CARC	44	Callitriche rigida 'Clonson Hardy'	Clonson Hardy Butterbush	7 gal	30" x 36"	24" x 36"	SPECIMEN			
CAMM	9	Camellia sasanqua 'Mino-No-Yuki'	Camellia	7 gal	18" x 24"	18" x 24"	Full			
CASY	16	Camellia sasanqua 'Yulende'	Yulende Camellia	7 gal	36" x 48"	24" x 28"	Full			
CYRE	4	Cycas revoluta	Sago Palm	15 gal	3'-4"	3'-4"	Full, SPECIMEN			
FAJA	44	Fatsia japonica	Japanese Fatsia	7 gal	36"	24"	SPECIMEN			
LORD	78	Loropetalum chinense 'Daruma'	Dwarf Loropetalum	3 gal	18" x 24"	18" x 24"	Full			
NEOH	35	Nerium oleander 'Hardy Red'	Hardy Red Oleander	7 gal	42" x 48"	24" x 36"	Full			
NEOP	70	Nerium oleander 'Petite Pink'	Petite Pink Oleander	7 gal	30" x 36"	24" x 36"	Full			
PISE	36	Philadelphus scoum	Split Leaf Philadelphus	7 gal	30" x 36"	24" x 36"	Full			
POMA2	109	Podocarpus macrophyllus	Japanese Yew	15 gal	48" min	30"	Full, SPECIMEN			
POMA1	10	Podocarpus macrophyllus	Japanese Yew	30 gal	96" min.	36" min.	Full, SPECIMEN			
RHIA	173	Rhapidolepis indica 'Alba'	Alba Indian Hawthorn	7 gal	18" x 24"	18" x 24"	Full			
SERC1	36	Serenoa repens 'Cinerea'	Silver Saw Palmetto	15 gal	24" x 36"	24" x 30"	Full, SPECIMEN			
SERC2	39	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	18"	18" x 20"	Full			
VINE-ESPALIER										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
TRACO	7	Trachelospermum jammesoides 'Confederate'	Confederate Jasmine	3 gal	18" x 20"	20" x 24"	Full			
FAAN	20	x Fatsioides 'Aztec Amaranth'	Golden Variegated Fatsioides	3 gal	18" x 24"	18" x 20"	Full			
GROUND COVERS										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
AGAF	250	Agapanthus africanus	Lily of the Nile	3 gal	12" x 18"	12" x 18"	24" o.c.			
ASPD	44	Asparagus densiflorus 'Myers'	Myers Asparagus	3 gal	16" x 18"	18" x 24"	18" o.c. Full pot			
ASPE	61	Aspidistra filatum	Cast Iron Plant	3 gal	18" x 24"	12" x 18"	18" o.c. Full pot			
CYRF	66	Cytisium falcatum	Holly Fern	3 gal	8" x 12"	12" x 18"	24" o.c. Full pot			
LACN	32	Lantana camara 'New Gold'	Gold Mound Lantana	1 gal	10" x 12"	10" x 12"	24" o.c. Full			
LMDE	556	Liriodendron muscari 'Evergreen Giant'	Evergreen Giant Liriodendron	1 gal	12" x 14"	6" x 8"	25" o.c. Full pot			
OPFA	74	Ophiosporum japonicum	Mondo Grass	1 gal	4" x 6"	4" x 6"	6" o.c. Full pot			
PLAI	19	Plumbago auriculata 'Imperial Blue'	Plumbago	1 gal	12" x 18"	10" x 12"	24" o.c. Full pot			
TRAS	447	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal	18" x 20"	12" x 24"	15" o.c.			
MULCH										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
PSM	9,000 sf	Pinestraw Mulch	Mulch	mulch			4" min. depth; all areas excluding pool fence limits			
SOD/SEED										
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS			
CYN CEL	7,149 sf	Cynodon dactylon 'Celebration'	Celebration Bermuda Grass	sod						

**GENERAL PLANTING & IRRIGATION NOTES:**

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, HYDRO-SEED AND PLANTING BEDS. SEE IRRIGATION PLAN FOR DETAILS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN, LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SURFACE, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS. ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAUNAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S DISCRETION FOR INSTALLATION.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DYEHL AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.
- AN ARBORIST REPORT WITH RECOMMENDATIONS FOR THE SPECIMEN TREE ON-SITE HAS BEEN INCLUDED AS PART OF THIS REPORT AND IS CALLED TREE EVALUATION DATED FEBRUARY 26, 2015 AS PREPARED BY TREESTOCK ENTERPRISES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REPORT AND FOLLOWING THE RECOMMENDATIONS. THE CONTRACTOR SHALL COORDINATE ALL SPECIMEN TREE TRUNK AND TREE PROTECTION WITH TOWN OF HILTON HEAD NATURAL RESOURCES PRIOR TO CONSTRUCTION.



5 PALM TREE SCALE: N.T.S.



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Grand Vacations – SIGN

DRB#: DRB-001636-2016

DATE: September 13, 2016

RECOMMENDATION:    Approval             Approval with Conditions             Denial   
RECOMMENDED CONDITIONS:

Applicant proposes to install a freestanding sign at the Ocean Oak Resort complex along with the Carolina Beach Club. The design of the sign including colors and materials is in keeping with the context of the associated buildings as well as the Design Guide. The site plan and landscaping were approved as part of the overall DRB submittal.

The Forest Beach Owners Association ARB has reviewed and approved the submittal.