



Town of Hilton Head Island Regular Design Review Board Meeting

May 24, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of May 10, 2016
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. *New Development - Final*
 - Spinnaker Welcome Center, DRB-000795-2016
 - Coligny District Redevelopment, DRB-000877-2016
11. **Appearance by Citizens**
12. **Adjournment**

Town of Hilton Head Island
Minutes of the Design Review Board

Benjamin M. Racusin Council Chambers

May 10, 2016

1:15p.m.

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Ron Hoffman, Michael Gentemann, Brian Witmer, Kyle Theodore

Board Members Absent: Debbie Remke (excused)

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Richard Spruce, Plans Examiner
Heather Colin, Development Review Administrator
Teresa Haley, Secretary

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm.**

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board **approved** the agenda by general consent.

5. Approval of Minutes

The Board reviewed the minutes of the **April 26, 2016** meeting and **approved** the minutes by general consent.

6. Staff Report

Ms. Ray noted that Board Training regarding Design Guidelines will follow today's meeting.

7. Board Business – None

8. Old Business – None

9. Unfinished Business – None

10. New Business

A. New Development – Final

- Shelter Cove Apts. East 2, DRB-000800-2016

(Ms. Theodore recused herself from review of application DRB-000800-2016 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Ms. Ray introduced the project and stated its location: 40 Shelter Cove Lane. Ms. Ray stated that this project received conceptual approval in December 2015 with conditions. Ms. Ray presented a review of the previous DRB conditions and described the changes made to the project since the last review. Ms. Ray further presented the colors, materials and design of the East 2 site and noted that all match the previously approved East 1 site. The Shelter Cove Company ARB approved the project, with the exception of a potential change to the on street parking and loading area. Staff recommends approval as submitted.

Chairman Gartner requested that the applicant make a presentation. The applicant expressed appreciation for Ms. Ray's presentation. The applicant answered questions by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the project and noted the matching aspects of this project to the previously approved East 1 site. The Board asked for clarification on the dumpster location. The Board expressed concern as to the landscaping near the parking entrance.

Mr. Hoffman made a motion to **approve** DRB-000800-2016 as submitted. Mr. Gentemann **seconded** the motion. The motion **passed** with a vote of 5-0-0.

B. Alteration/Addition

- Coral Sands-North, DRB-000779-2016

Ms. Ray introduced the project and stated its location: 66 Pope Avenue. Ms. Ray stated that Coral Sands North was approved by the DRB previously with (5) 3-story residential buildings. Two residential buildings have been constructed. The applicant proposes to replace remaining approved three-story buildings with four-story buildings. The proposed colors and materials match the existing buildings. The primary change to the elevation is the addition of the fourth floor. Additionally the stair tower is more prominent in order to locate half of the ac condenser units on the roof minimizing the number of units on the ground and allowing for additional space for landscaping. The code requires that 60% of the building entrances be accessible. Additional ramps may be required to meet this. The Forest Beach ARB approved this project. Staff recommends approval with the following conditions: 1) consider sidewalk connection from parking to Building 6 (C602); 2) provide a detail for the retaining wall at Building 7; 3) add taller landscaping between parking and front of Building 6 (LS-102) similar to other two buildings to balance scale & mass of building; and 4) add landscaping at rear of Buildings 6 & 7 or indicate existing landscaping to remain (LS 101 & LS-102)

Chairman Gartner requested that the applicant make a presentation. The applicant addressed questions by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the project. The Board discussed the following concerns: the landscaping surrounding each of the buildings and the need for taller trees to balance the size of the buildings; the possibility of extending the walkway in front of building 6; providing shielding between the buildings and the adjacent property; the material of the retaining wall; removal of a 28" laurel oak on the property; the height of the vinyl fencing to screen the ac units; and compliance with legal requirements regarding the ramps and the impact related to such ramps and landscaping.

Mr. Witmer made a motion to **approve** DRB-000779-2016 with the following conditions: 1) on Buildings 5 & 6, increase the magnolia size to 4" caliper; 2) on Building 7, increase the live oak size to 4" caliper; 3) behind Buildings 6 & 7, add landscaping at the foundations and study adding landscaping in the buffer if needed for privacy between adjacent property; 4) in front of Building 6, add taller landscape material including moving two red maples from across the street to in front of the building; 5) at Building 6, extend the walkway to the edge of parking and study connecting it to the walk on the other side; 6) the retaining wall shall be stucco to match the buildings with detail to be approved by Staff; and 7) once ramps issue is resolved, landscape around the ramps is to be reviewed by DRB. Mr. Strecker **seconded** the motion. The motion **passed** with a vote of 6-0-0.

C. New Development - Conceptual

- Diamond/AT&T Tower, DRB-000791-2016

Ms. Ray introduced the project and stated its location: 92 Folly Field Road. Ms. Ray stated that the applicant proposes to install a 140' telecommunications tower (monopole) at the Islander's Beach Club. The facility will be located on a wooded track with equipment screened by a 12' tall wood fence stained 'Charleston Green'. The standard equipment shelter is a pebble-texture building, however this building is intended to be upgraded to complement the existing TOHH building. Evergreen landscaping will be added in the 15' buffer on all sides of the enclosure fence. Final submittal requires final elevations of proposed equipment shelter on elevated platform including colors/materials, a complete landscape plan with plant schedule. Staff recommends approval with the following conditions: 1) equipment building design should take cues from existing building; and 2) adequate evergreen landscaping should be provided between the existing parking and the 12' fence.

Chairman Gartner requested that the applicant make a presentation. The applicant expressed appreciation toward Ms. Ray's presentation. The applicant clarified concerns and answered questions by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the applicant and Staff efforts. The Board raised concern as to the height of the monopole and the visual impact it presents. The Board asked the possibility of decreasing the height of the monopole. The applicant presented findings related to the necessary minimum height of the tower and adequate coverage to clients. The Board discussed the color of the fence and equipment building should

match. The Board also discussed the impact of heavy landscaping, including preserving existing trees onsite.

Mr. Strecker made a motion to **approve** DRB-000791-2016 with the following conditions: 1) the equipment building is to be ‘Charleston Green’ to match the fence; 2) the existing mature trees are to be retained to the extent possible; and 3) new landscaping around the property fence is to be dense and mature as well. Ms. Theodore **seconded** the motion. The motion **passed** with a vote of 6-0-0.

11. Appearances by Citizens – None

12. Adjournment

Chairman Gartner adjourned the meeting at 2:15p.m.

Submitted by:

Approved by:

Teresa Haley, Secretary

Jake Gartner, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood + Partners, Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-681-6618 Fax: _____ E-mail: Ttheodore@woodandpartners.com
 Project Name: Spinnaker Welcome Center Project Address: Parcel E Pope Avenue
 Parcel Number [PIN]: R 5 5 2 0 1 8 0 0 0 0 2 0 2 0 0 0 0
 Zoning District: RD Overlay District(s): Corridor Overlay

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

04-26-16

DATE

Spinnaker Resort Welcome Center

Parcel E Pope Avenue
Hilton Head Island, SC

Design Review Board Project Narrative

April 26, 2016

The Spinnaker Resort is proposing to construct a new 7,500 SF welcome center to be located at Pope Avenue and Waterside Drive. The proposed site is a 1.068 acre undeveloped parcel across the street from Coral Sands Resort and lies within the RD zone. The existing welcome center for Spinnaker Resort is located at Heritage Plaza, which will soon be re-developed, forcing Spinnaker to relocate. The proposed site is adjacent to the existing Spinnaker Resort properties, making the new location more convenient for visitors. The welcome center will be used to orient visitors to the area as well as the Spinnaker Resort facilities.

The one story building will front Pope Avenue with parking towards the side and rear. The proposed building will blend with the adjacent Waterside Resort by matching stucco and roof colors. The undeveloped parcel has undulating topography and contains several specimen Live Oaks and Hickories that will be retained, adding character to the site. The proposed site layout has been designed to retain as much existing perimeter vegetation as possible, reducing the impact of development on the site. Naturalized plantings will complement the densely vegetated site, while maintaining visibility from Pope Avenue. The primary entrance into the site will be from Waterside Drive, reducing additional vehicular congestion on Pope Avenue. Storm water management will be handled on site; the use of permeable vehicular pavers and permeable concrete will be utilized to reduce storm water runoff.

Per preliminary Design Review Board feedback, the architectural elevations include adjacent stairs, ramps and other visible architectural features. The white building trim will be replaced with the green trim and only the window frames will remain white. A dormer was added to the roof facing Aunt Chiladas and the entrance roof pitches were revised to match the main roof pitch. A foundation trim was added on all sides of the building to break up the exterior façade. Sod was removed from under the canopies of the specimen trees.

Spinnaker Resorts Welcome Center

Color Board

Roof/Shutters -

Benjamin Moore (2046 - 10) - Calypso Green



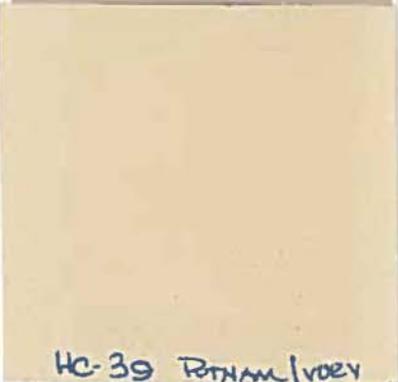
Stucco -

Benjamin Moore - (AC-32) - Pismo Dunes



Hardi Siding -

Benjamin Moore - (HC-39) - Putnam Ivory



Wood Trim -

Benjamin Moore - (PM-1) - Super White



Spinnaker Resort Welcome Center
Materials & Site Furnishings

April 2016

HARDSCAPE, MATERIALS & FURNISHINGS

WALKS

- POROUS CONCRETE
- CONCRETE WITH ROCK SALT FINISH
- PERMEABLE VEHICULAR PAVERS
- ADA TRUNCATED DOME TILES

FURNISHINGS

- BIKE RACKS
- ELECTRIC VEHICLE CHARGING STATION

LIGHTING

- DECORATIVE AREA LIGHTS
- BOLLARD LIGHTS
- ACCENT UPLIGHTS



POROUS CONCRETE

Porous Concrete Walk



ROCK SALT FINISH

Concrete Walk with Rock Salt Finish



FULL RANGE RED - STORMPAVE PAVER

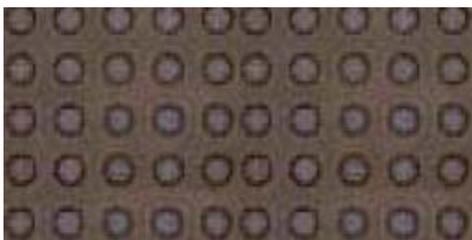
Permeable Vehicular Pavers

- Pine Hall Brick
- Stormpave Permeable Clay Paver
- Color: Full Range Red
- Pattern: 45° Herringbone with Single Paver Border



FULL RANGE RED - RUMBLER PEDESTRIAN BRICK

- Note: Concrete Walks with Single Brick Header Course Shall be Pine Hall Brick Rumbled Pedestrian Brick (Color Full Range Red to Match Parking Pavers)



ADA TRUNCATED DOME PAVERS

ADA Truncated Dome Tiles

- Manufacturer: Step Safe
- Tile Size: 12"x12"x1/2"
- Color: Chocolate Brown



BIKE RACK

Bike Racks

- Madrax Heavy Duty Winder
- Model HW238-9-IG-P
- Powdercoat Finish
- Color: Black



ELECTRIC VEHICLE CHARGING STATION

Vehicle Charging Station

- Legrand - Model L2EVPED1
- Single Pedestal Mount
- Color: Black



DECORATIVE AREA LIGHT FIXTURE

Area Light Fixture

- Philips Hadco City Post Frosted Globe LED Luminaire
- Color: Black
- 12' Black Ornamental Pole
- 54 Watt LED (4,000K)



BOLLARD LIGHT

Bollard Light

- Philips Hadco Bollard Light
- Model: RB30-A-AO-70H-E
- Color: Black
- 70 Watt Metal Halide



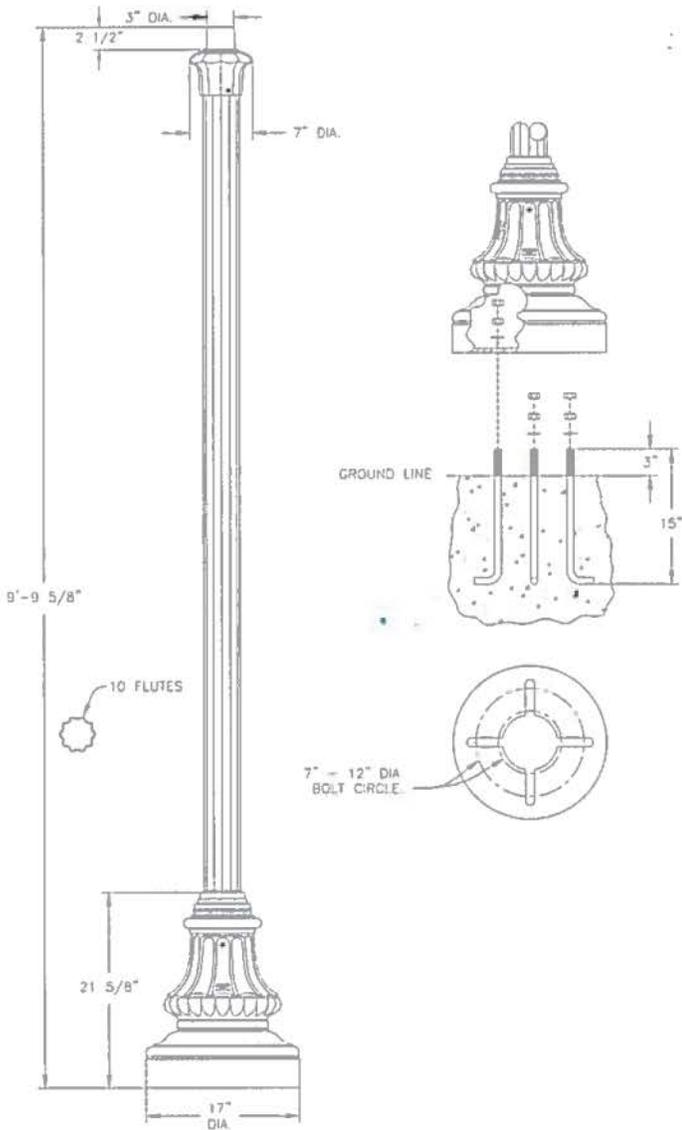
ACCENT UPLIGHT

Accent Uplight

- Philips Hadco LED Bullyte
- Model: B3-A-LED13-NF-W
- Color: Black
- 13 Watt LED

Anchor Base Post (306-) Specification Sheet

Project Name:	Location:	MFG: Philips Lighting
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: 306- 8 ABS B B D

Product Code	306-	Anchor Base Post
Height(s)	8 10 12 14 16	(8 ft.) (10 ft.) (12 ft.) (14 ft.) (16 ft.)
Finish	ABS ACP ARD ASI BLK BRN BRZ FGN GRA IRN RBZ SRT VBZ VCP VGN VTC WBZ WHT	Antique Brass Antique Copper Antique Red Antique Silver Black Brown Bronze Forest Green Granite Ironstone Rustic Bronze Shadow Rust Verde Bronze Verde Copper Verde Vintage Copper Weathered Bronze White
Photoeye (Optional)	B C	120V 208V - 277V
Outlet Location (Optional)	B T	4" from Top of Base 12" from Top of Pole
Outlet Options (Optional)	D G	Standard Duplex GFI Duplex

Specifications

OUTLET:

GFI Duplex Outlet has dual-function indicator light, universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 406.9 (B). Weather resistant. Standard Duplex Outlet has universal metal weatherproof cover. Weatherproof while in use. Heavy-duty all-metal construction. Lockable security cover. Meets NEC 406.9 (B). Weather resistant.

CONSTRUCTION:

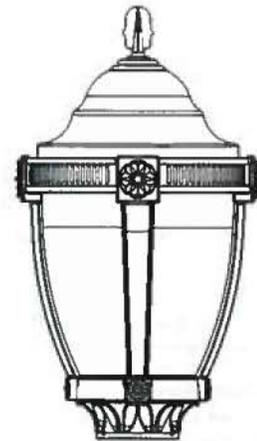
Cast aluminum anchor base. Cast aluminum removable access door. Round fluted post welded to base. Tenon secured to post top.

FINISH:

Resilient TGIC thermoset polyester powdercoat paint is electrostatically applied to every fixture. Specially formulated for Philips Outdoor Lighting, it provides UV protection, and

Traditional design, performance, and value combined.

CityPost LED POST TOP LUMINAIRE



Project: _____
 Location: _____
 Catalog No: _____
 Fixture Type: _____
 Mfg: _____ Qty: _____
 Notes: _____

PHILIPS HADCO, CITYPOST LED POST TOP LUMINAIRE, TX1

An optimal balance of standard features and accessories results in a competitively positioned luminaire to address a variety of outdoor lighting projects, efficiently illuminating streets, parks, cities, campuses and city centers. Powered by the Philips LEDgine platform, CityPost can considerably reduce operating and maintenance costs while offering superior photometric performance. This IP66 lighting solution delivers a soft and diffused light at night which will contribute to the beautification of its surroundings with a decorative and traditional look and feel during the day.

Ordering guide

example: TX1 32BH LPA1A2ENA3N

Series	LED	Globe	Fitter/Pod	Roof	Cage/ Band	Finial	Fasteners	Finish	Optics	Photo Control	Color Temp.	Voltage	Drive Current	Dimming Control
TX1	48	B	S	L	Q	A	2	A	3	E	N	A	3	N
TX1	32 32 LEDs 48 48 LEDs 64 64 LEDs 80 ¹ 80 LEDs	B Opal C Clear D Vertical Rib	H Round Contemporary J Tapered Fluted w/Round stepped fitter L Round fluted long S ² Traditional	L Traditional	P Ribbed Q Smooth	A A Finial B B Finial C C Finial D D Finial E E Finial F F Finial G G Finial H H Finial N None	1 ³ Hex Head 2 Allen Head	A Black B White G Verde H Bronze J Green	2 Type II 3 Type III 4 Type IV 5 Type V	E ⁴ 120 VAC Button Eye H ⁵ 208/240/277 VAC Button Eye K ⁶ 347V Button Eye R ⁶ Twist lock Receptacle N None	N 4000K C ⁶ 5700K	A 120-277 VAC B ⁶ 347-480 VAC	3 350 S ⁶ 530	N None A 4 Hrs, 25% reduction B 4 Hrs, 50% reduction C 4 Hrs, 75% reduction D 6 Hrs, 25% reduction E 6 Hrs, 50% reduction F 6 Hrs, 75% reduction G 8 Hrs, 25% reduction H 8 Hrs, 50% reduction J 8 Hrs, 75% reduction Z Custom Dimming Schedule

1. 80 LED configuration available with 350 mA only.
 2. Photo control options not available with 'S' pod.
 3. Not available with Traditional 'S' pod.

4. Consult factory, Cool White option increases lead times.
 5. No dimming options available with 347-480 VAC.
 6. Not available with 80 LED array.



Aluminum Bollard (RB30) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: RB30 A AO 70S E

Product Code	RB30	Aluminum Bollard
Finish	A	Black
	H	Bronze
Lens	AO	Clear, Symmetric
Wattage	70S	70W HPS
	100S	100W HPS
	70H	70W MH
	100H	100W MH
	50S	50W HPS
	50H	50W MH
	42F	42W CFL
	100I	100W INC
Voltage	E	120V
	F	208V
	G	240V
	H	277V
	K	347V

Specifications

HOUSING:

Die-cast aluminum. Constructed of 5" diameter extruded aluminum (1/8" wall). Head assembly is mounted to lower housing with three (3) stainless steel screws. Fasteners are 300 series stainless steel. Gasketing is silicone.

FINISH:

Optional CraftStone™ finish is highly weather-resistant and bonded to the aluminum substrate. Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications.

OPTICAL ASSEMBLY:

Clear molded glass lens. Highly reflective white paint on spun aluminum rings, mounted on the underside of louvers.

ELECTRICAL ASSEMBLY:

26W Fluorescent socket is a GX24Q-3 base. 32W Fluorescent socket is a GX24Q-3 base. 42W Fluorescent socket is a GX24Q-4 base. Standard quad-volt core and coil mounted on removable ballast bracket, with quick connect harness, high power factor, dipped in moisture-resistant epoxy coating. Fluorescent uses electronic ballasts.

BALLAST:

HID ballasts are HPF core and coil, factory wired and tested, mounted to a key-slotted removable tray with quick disconnect for easy installation. Ballasts shall provide +/-5% lamp power regulation with +/-10% input voltage regulation. Fluorescent ballast is electronic (-20° F cold weather start).

INSTALLATION & MOUNTING:

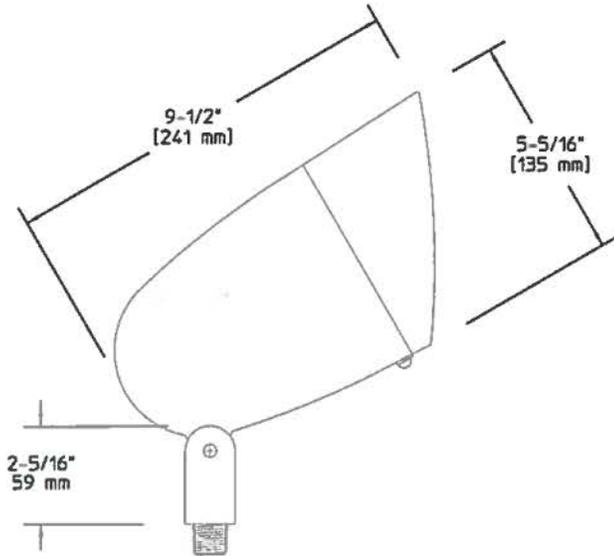
VOLTAGE CAUTION: Some local interpretation of the NEC Section 210-6 only permit the use of 120 volt fixtures when they are mounted below 8'. Check with local authorities before specifying alternate voltages. Lower casting is secured to anchor foundation by three (3) galvanized steel bolts and nuts. Before installing anchor bolts, contact factory for latest mounting template.

WARRANTY:

Three-year limited warranty.

LED Aluminum Bullyte (B3) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



Ordering Guide

Example: B3 A LED13 NF W

Product Code	B3	LED Aluminum Bullyte
Finish	A H G	Black Bronze Verde
Source/Lumen	LED13	13W LED *2
Optics	NF	Narrow Flood
CCT	W	Warm

*1 Lamp will be shipped with fixture, but not installed. Lamp not sold separately.
*2 13W LED only available in (W) warm CCT and (NF) narrow flood optics.

Specifications

HOUSING:

Die-cast aluminum. Fully-adjustable swivel arm with vibration-proof locking teeth. Gasketing is silicone. Fasteners are 300 series stainless steel. Fully rotatable shroud, gasketed, cast aluminum. 1/2" NPS male threads to screw onto accessory mounting stake or junction box, sold separately.

FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting.

OPTICAL ASSEMBLY:

Clear tempered glass affixed at 10° angle for natural cleaning.

LAMPING:

13W lamp with 25° beam spread. 25,000 hours life. Color temperature (CCT): warm white (2,700K nominal). No Mercury.

ELECTRICAL ASSEMBLY:

4kv rated porcelain mini-can base. Nickel-plated screw shell with center contact.

WARRANTY:

Three-year limited warranty.

CERTIFICATIONS:

ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

Width:

5 5/16" (135mm)

Length:

9 1/2" (241mm)

Max. Weight:

2.96 lb

FOREST BEACH OWNERS' ASSOCIATION, INC.

P O Box 6442

Hilton Head Island, SC 29938-6442

(843)785-5565 FAX (843) 342-3801

Email: FBAssn@aol.com

April 30, 2016

Mr. Charlie Halterman
35 DeAllyon AV
Hilton Head Island, SC 29928

Re: Parcel E – Pope Avenue (CFB)
Commercial Building Permit
Permit #2016-03

Dear Mr. Halterman:

Thank you for your submission for architectural review for a planned Welcome Center at the above location. We have issued a permit for construction at the above location. This permit is conditional upon the following:

- 1) Our review is based upon the documents, drawings, photos and narratives submitted to us by Wood & Partners with an application date of 4/8/16.
- 2) Approval is based upon the stated use and occupancy in the submitted plans. Any change in use or occupancy will require a new review and possible changes to the approved parking plan as shown on the documents received.
- 3) Any changes to the submitted plans required by any department of the Town of Hilton Head Island must be re-submitted to the Association for review prior to adoption.
- 4) No exterior lighting, other than that shown on the submitted plans, is approved.
- 5) Approval of all exterior colors and finish materials along with the roofing material and color is given based upon the submitted plan. Any changes from the submitted colors, including options, must be made prior to installation and re-submitted for approval.
- 6) Any service areas and/or utilities serving the structure must be screened from view of adjoining properties and roads.
- 7) No application for a sign has been submitted. A separate application will be required if a sign is to be placed at this location.
- 8) Fencing is permissible, but none is shown on the submitted plans and none is approved.
- 9) Nothing may be placed or constructed within the buffer areas except landscaping (or fencing if so desired).

Any changes/additions/modifications to the submitted and approved plans must be submitted to the FBOA ARB for review and approval before construction of the change/addition/modification is begun. Failure to do so may result in a covenant violation. Items not shown on the submitted plans are not approved and a separate application will be required. Upon the FBOA ARB's written notification of completion of work being performed under this permit a final inspection will be made. Approval for any work not completed at that time will expire and a new application for FBOA ARB approval will be required.

This letter constitutes your ARB Building Permit. We request that a copy of this be posted at the site, during construction, alongside the Town of Hilton Head Island Building Permit.

Please make a note of any additional items we require above. Failure to submit these documents for review prior to installation may cause a covenant violation and a delay in completing our review procedure and the return of your compliance deposit.

Once construction has been completed, you must notify us in writing so that we may make a final inspection and close our file on this project and return your compliance deposit.

Thank you for your submission, and, please do not hesitate contact us with any questions.

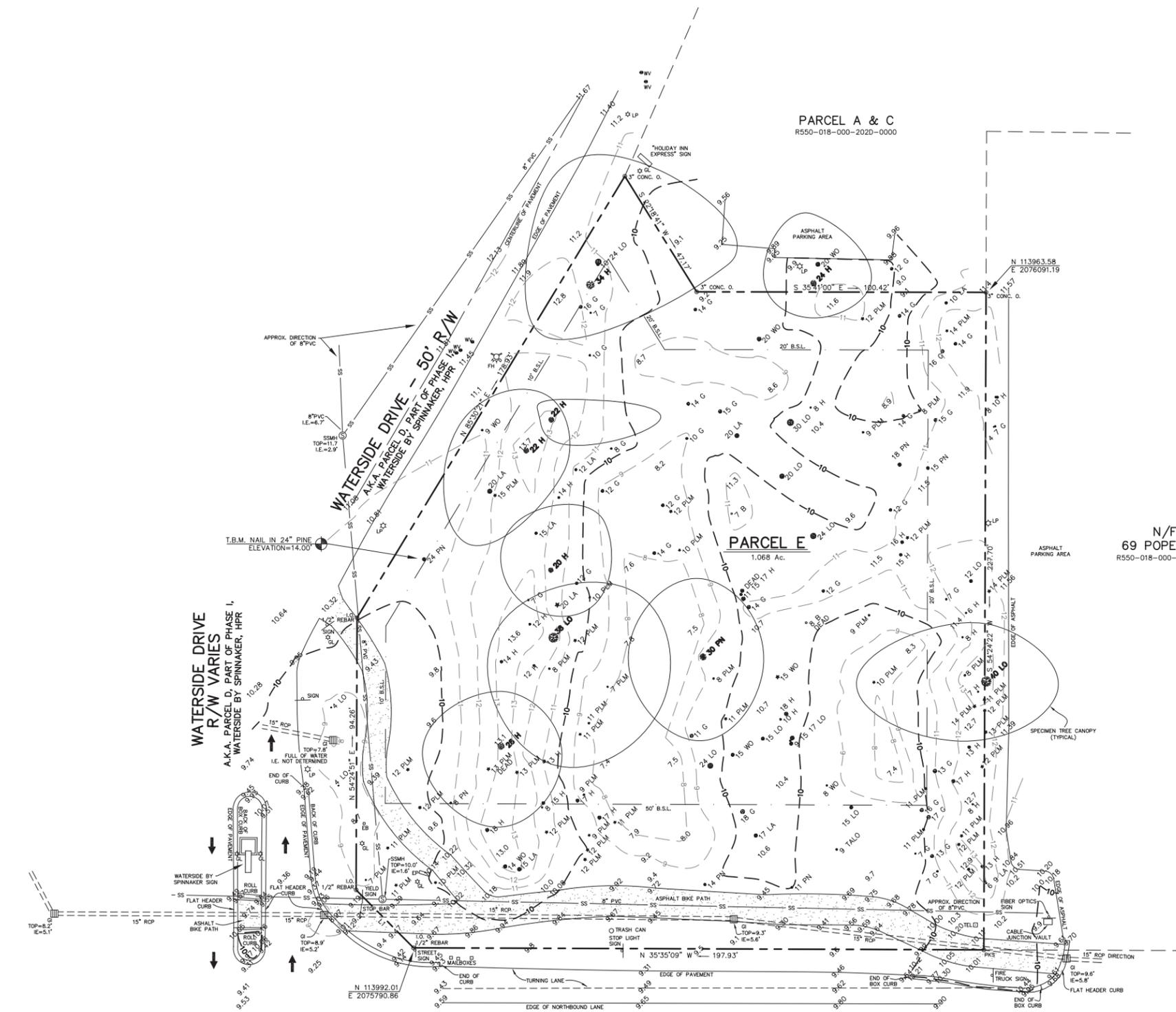
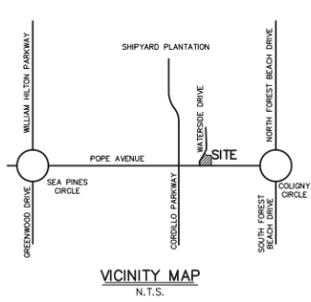
Sincerely,

John D. Snodgrass

John D. Snodgrass,
Executive Director

JDS:me

Cc: Todd Theodore, Wood & Partners
Allen Wayne Johnson
Jennifer Ray, Town of Hilton Head Island



LEGEND:

○	TREE SIZES ARE INCHES IN DIAMETER
○	SPOT ELEVATION
○	CONTOUR
○	CONCRETE MONUMENT, OLD (FOUND)
○	TEMPORARY BENCH MARK
○	BAY
○	GUM
○	HICKORY
○	LAUREL OAK
○	LIVE OAK
○	PALM
○	PINE
○	WATER OAK
○	ELECTRIC BOX
○	ELECTRIC PANEL
○	TELEPHONE BOX
○	POWER POLE
○	LIGHT POLE
○	GROUND LIGHT
○	FIRE HYDRANT
○	WATER VALVE
○	GRATE INLET
○	REINFORCED CONCRETE PIPE
○	SANITARY SEWER MANHOLE
○	INVERT ELEVATION
○	CHINESE TALLOW
○	OVERHEAD POWERLINE
○	SANITARY SEWER LINE
○	TRAFFIC FLOW
○	IRON PIN, OLD (FOUND)
○	PK NAIL SET

- NOTES**
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 1-D, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
 - BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
 - B.S.L. DENOTES BUILDING SETBACK LINES AS PER THE TOWN OF HILTON HEAD LMO.
 - SEE RESTRICTIVE COVENANTS RECORDED AT D.B. 78, PAGE 306, ARTICLE III, PARAGRAPH 13, DECLARATION OF RIGHTS BY THE HILTON HEAD COMPANY, FOR GENERAL USE AND CONVEYANCE EASEMENT FOR ELECTRICAL, TELEPHONE, SEWER, WATER, ETC.
 - THE TOWN OF HILTON HEAD ISLAND 911 ADDRESS DEPARTMENT ASSIGNED THIS PARCEL THE ADDRESS OF #30 WATERSIDE DRIVE, AND NOTED THAT THIS IS SUBJECT TO CHANGE DEPENDING ON FUTURE PROPERTY USE.

REFERENCE PLAT:

- 15.100 ACRES, WATERSIDE P.U.D., A SECTION OF PARCEL 5B, FOREST BEACH SUBDIVISION, DATED: 12/09/1987, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 35, PG. 79.
- PHASE V-A/BUILDING VII, LOCATED WITHIN WATERSIDE BY SPINNAKER, HPR, A SECTION OF WATERSIDE P.U.D., PARCEL F, BLOCK 5B, FOREST BEACH SUBDIVISION, DATED: 5/2/2002, LAST REVISED: 6/3/2002 BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.

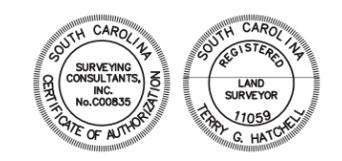
PREPARED FOR: SPINNAKER DEVELOPMENT CORPORATION
 ADDRESS: #30 WATERSIDE DRIVE (SEE NOTE #9)
 TAX PARCEL I.D. NO. R552-018-000-0202-0000

PARCEL A & C
 R550-018-000-2020-0000

PARCEL E
 1.068 Ac.
 R550-018-000-202B-0000

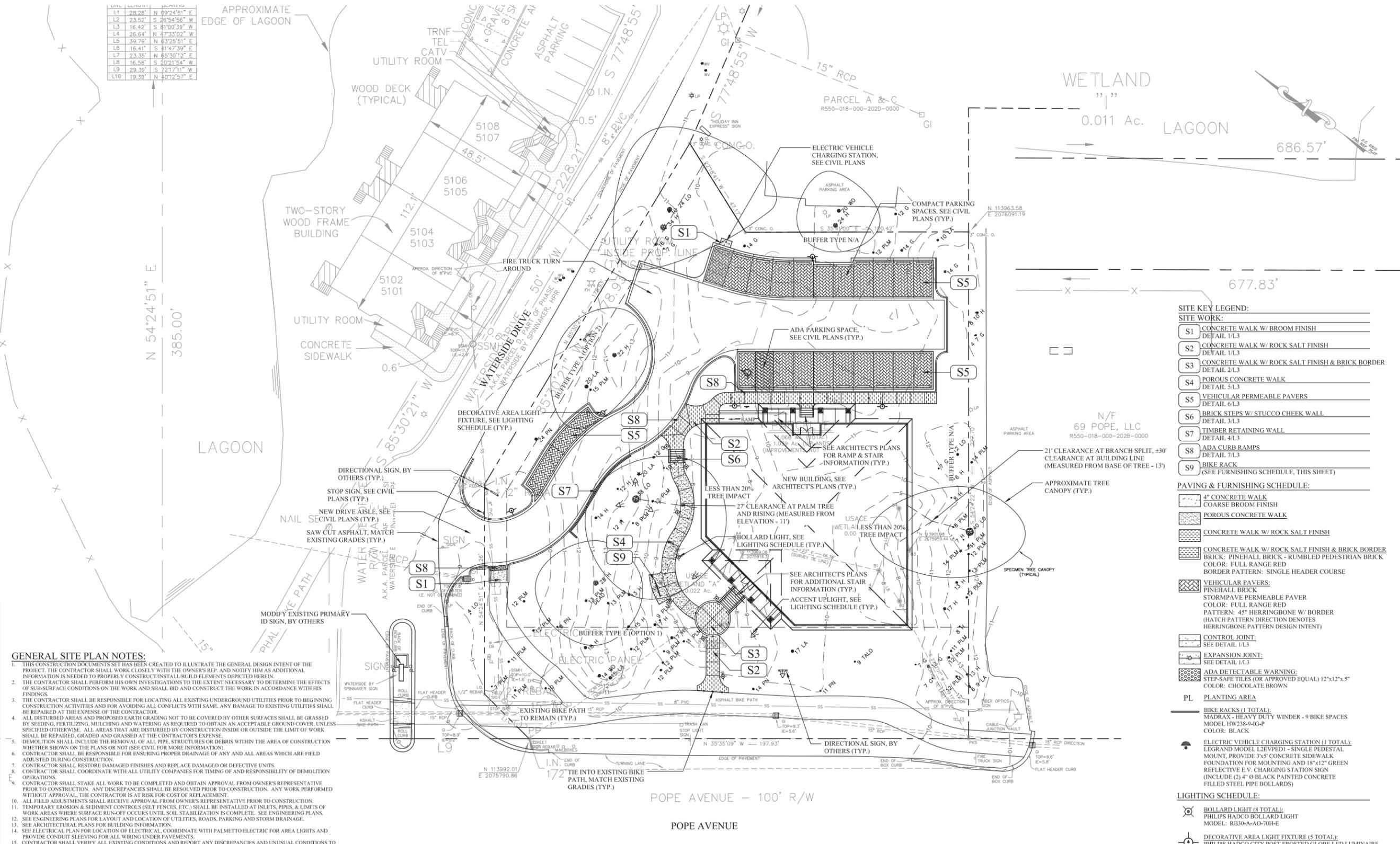
N/F
 69 POPE, LLC
 R550-018-000-202B-0000

BOUNDARY
 TREE & TOPOGRAPHIC
 SURVEY OF
PARCEL E, POPE AVENUE
 A SECTION OF
WATERSIDE P.U.D., PARCEL 5B
FOREST BEACH SUBDIVISION
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 20' DATE: 10/26/2015 JOB NO: SC87005C.1



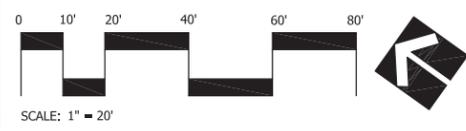
SC SURVEYING CONSULTANTS
 17 Sherington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 815-3304 FAX: (843) 815-3305
 GA Telephone: (912) 858-2775
 www.SurveyingConsultants.com
 Email: SC@SurveyingConsultants.com
 CRED: 38/75
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#	REVISION	DATE	BY
1	DRS CONCEPTUAL	2-23-16	
2	DRS SUBMITTAL	4-8-16	
3	DRS SUBMITTAL	4-28-16	



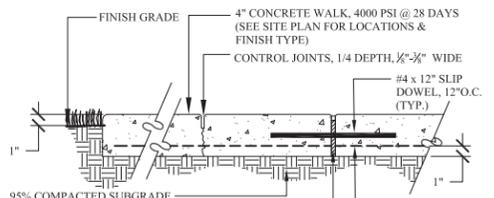
LEVEL	LENGTH	PLANNING
L1	28.28'	N 09°24'51" E
L2	23.52'	S 26°54'56" W
L3	16.42'	S 81°00'39" W
L4	26.64'	N 47°33'02" W
L5	39.79'	N 63°25'51" E
L6	16.41'	S 81°47'39" E
L7	23.35'	N 85°30'12" E
L8	16.58'	S 20°21'54" W
L9	29.39'	S 72°17'11" W
L10	19.39'	N 80°12'57" E

- GENERAL SITE PLAN NOTES:**
- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL BUILD ELEMENTS DEPICTED HEREIN.
 - THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
 - DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT (SEE CIVIL FOR MORE INFORMATION).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
 - CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
 - CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
 - ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
 - SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
 - SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 - SEE ELECTRICAL PLAN FOR LOCATION OF ELECTRICAL, COORDINATE WITH PALMETTO ELECTRIC FOR AREA LIGHTS AND PROVIDE CONDUIT SLEEVING FOR ALL WIRING UNDER PAVEMENTS.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
 - ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
 - CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAWINGS PRIOR TO PAVEMENT INSTALLATION.
 - CONTRACTOR SHALL PROVIDE 4' x 4' MOCK UP PANELS OF ALL PAVEMENT & PAYER TYPES. MOCK UP SHALL NOT BE A PART OF PROPOSED PAVEMENT WORK.
 - REFER TO ARCHITECTURE PLANS FOR ALL RAMPS & STAIRS ATTACHED TO HOTEL BUILDING.



PLAN IS SUBJECT TO CHANGE.

- SITE KEY LEGEND:**
- SITE WORK:**
- S1 CONCRETE WALK W/ BROOM FINISH
DETAIL 1/L3
 - S2 CONCRETE WALK W/ ROCK SALT FINISH
DETAIL 1/L3
 - S3 CONCRETE WALK W/ ROCK SALT FINISH & BRICK BORDER
DETAIL 2/L3
 - S4 POROUS CONCRETE WALK
DETAIL 5/L3
 - S5 VEHICULAR PERMEABLE PAVERS
DETAIL 6/L3
 - S6 BRICK STEPS W/ STUCCO CHEEK WALL
DETAIL 3/L3
 - S7 TIMBER RETAINING WALL
DETAIL 4/L3
 - S8 ADA CURB RAMPS
DETAIL 7/L3
 - S9 BIKE RACK
(SEE FURNISHING SCHEDULE, THIS SHEET)
- PAVING & FURNISHING SCHEDULE:**
- 4" CONCRETE WALK
COARSE BROOM FINISH
 - POROUS CONCRETE WALK
 - CONCRETE WALK W/ ROCK SALT FINISH
 - CONCRETE WALK W/ ROCK SALT FINISH & BRICK BORDER
BRICK: PINEHALL BRICK - RUMBLED PEDESTRIAN BRICK
COLOR: FULL RANGE RED
BORDER PATTERN: SINGLE HEADER COURSE
 - VEHICULAR PAVERS:
PINEHALL BRICK
STORMPAVE PERMEABLE PAVER
COLOR: FULL RANGE RED
PATTERN: 45° HERRINGBONE W/ BORDER
(HATCH PATTERN DIRECTION DENOTES HERRINGBONE PATTERN DESIGN INTENT)
 - CONTROL JOINT:
SEE DETAIL 1/L3
 - EXPANSION JOINT:
SEE DETAIL 1/L3
 - ADA DETECTABLE WARNING:
STEP-SAFE TILES (OR APPROVED EQUAL) 12"x12"x.5"
COLOR: CHOCOLATE BROWN
- PL PLANTING AREA**
- BIKE RACKS (1 TOTAL):**
MADRAX - HEAVY DUTY WINDER - 9 BIKE SPACES
MODEL HW238-9-IG-P
COLOR: BLACK
- ELECTRIC VEHICLE CHARGING STATION (1 TOTAL):**
LEGRAND MODEL L2EVPED1 - SINGLE PEDESTAL MOUNT, PROVIDE 3'x5' CONCRETE SIDEWALK FOUNDATION FOR MOUNTING AND 18"x12" GREEN REFLECTIVE E.V. CHARGING STATION SIGN (INCLUDE (2) 4" Ø BLACK PAINTED CONCRETE FILLED STEEL PIPE BOLLARDS)
- LIGHTING SCHEDULE:**
- BOLLARD LIGHT (8 TOTAL):**
PHILIPS HADCO BOLLARD LIGHT
MODEL: RB30-A-AO-70H-E
 - DECORATIVE AREA LIGHT FIXTURE (5 TOTAL):**
PHILIPS HADCO CITY POST FROSTED GLOBE LED LUMINAIRE FIXTURE MODEL: TX1-48-B-S-L-Q-A-2-A-3-E-N-A-3-N
POST MODEL: 306-12-BLK
 - ACCENT UPLIGHT (6 TOTAL):**
PHILIPS HADCO LED ALUMINUM BULLYITE
B3-A-LED13-NF-W
- LIGHTING NOTES:**
- INSTALL ALL FIXTURES PER MANUFACTURER'S RECOMMENDATIONS.
 - SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.

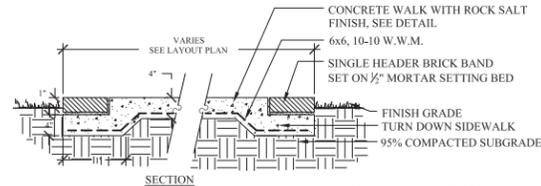


4" CONCRETE WALK, 4000 PSI @ 28 DAYS
(SEE SITE PLAN FOR LOCATIONS & FINISH TYPE)
CONTROL JOINTS, 1/4 DEPTH, 1/2" WIDE
#4 x 12" SLIP DOWEL, 12" O.C. (TYP.)

95% COMPACTED SUBGRADE
EXPANSION JOINT, 3/8" PREFORMED FIBER BOARD WITH SEALANT (COLOR TOP MATCH ADJACENT PAVEMENT) LOCATE AT 20'-0" O.C. MIN. AND 60'-0" MAX OR AS INDICATED ON SITE PLANS.

NOTES:
1. PROVIDE 4" x 4" MOCK UP PANEL OF EACH PAVEMENT TYPE AND OBTAIN APPROVAL PRIOR TO INSTALLATION. PANELS TO BE PROTECTED AND MAINTAINED ONSITE DURING CONSTRUCTION.
2. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE (SEE CIVIL).
3. SEE SITE PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS. ALL JOINTS TO BE PERPENDICULAR TO PAVEMENT EDGES.

1
L3
4" CONCRETE WALK / EXPANSION & CONTROL JOINTS
SCALE: 1/2" = 1'-0"

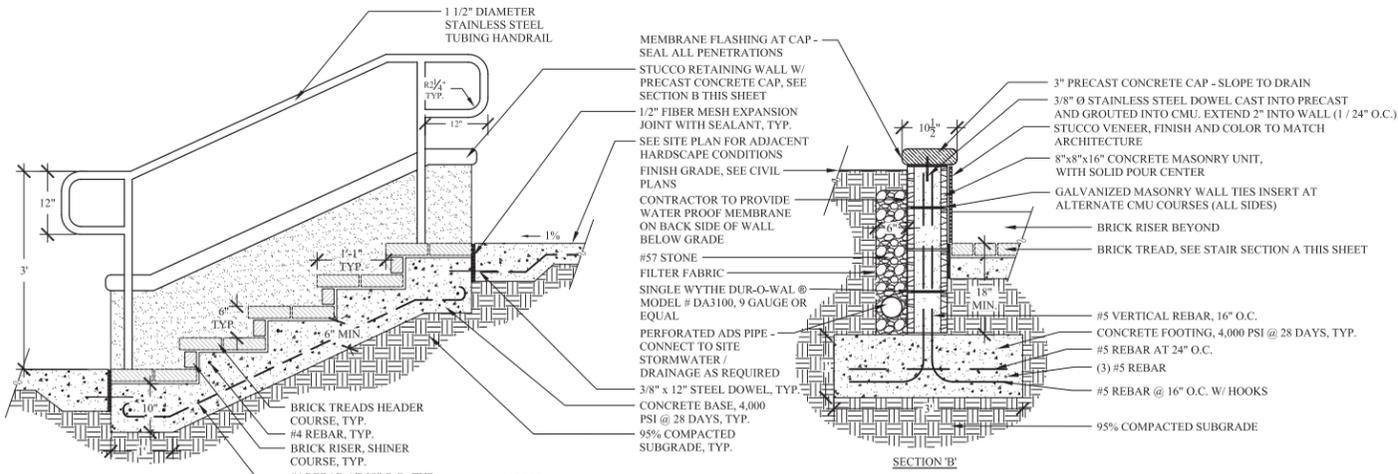


CONCRETE WALK WITH ROCK SALT FINISH, SEE DETAIL
6x6, 10-10 W.W.M.
SINGLE HEADER BRICK BAND SET ON 1/2" MORTAR SETTING BED
FINISH GRADE
TURN DOWN SIDEWALK
95% COMPACTED SUBGRADE

NOTES:
1. SEE PLAN FOR WIDTH OF WALKWAY AND LOCATION OF BRICK BANDS.
2. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS OR FIXED SLABS.
3. CONTRACTOR SHALL PROVIDE 4'x4' MOCKUP OF CONCRETE PAVING WITH BRICK BORDER FOR APPROVAL BY OWNER'S REPRESENTATIVE.
4. WHEN BORDER IS INSTALLED ALONG A RADIUS, MORTAR JOINTS SHALL NOT EXCEED 1/2". CUT BRICKS RADIIALLY AS NECESSARY.
5. MORTAR COLOR SHALL BE BUFF.
6. JOINT STYLE TO BE CONCAVE.

BRICK MANUFACTURER INFORMATION:
PINE HALL BRICK COMPANY
2701 SHOREFAIR DRIVE
WINSTON-SALEM, NC 27105
PH. 1-800-334-8689
WWW.PINEHALLBRICK.COM
BRICK STYLE: 4x8 TRADITIONAL
BRICK COLOR: PATHWAY FULL RANGE
MORTAR COLOR: BUFF

2
L3
CONCRETE WALK W/ BRICK BORDER
SCALE: 1/2" = 1'-0"



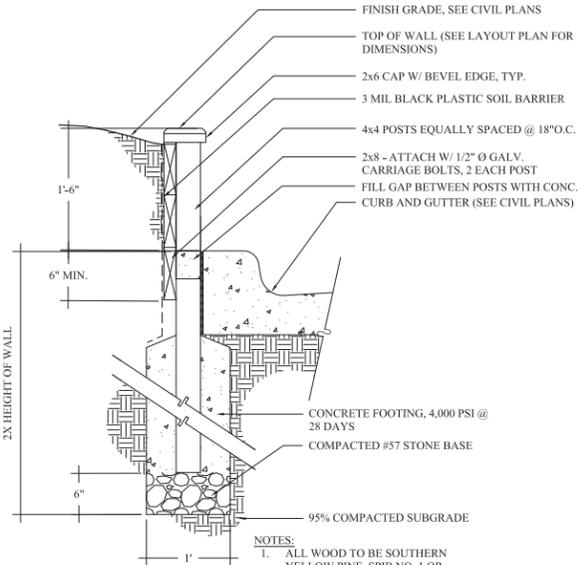
1 1/2" DIAMETER STAINLESS STEEL TUBING HANDRAIL
MEMBRANE FLASHING AT CAP - SEAL ALL PENETRATIONS
STUCCO RETAINING WALL W/ PRECAST CONCRETE CAP, SEE SECTION B THIS SHEET
1/2" FIBER MESH EXPANSION JOINT WITH SEALANT, TYP.
SEE SITE PLAN FOR ADJACENT HARDSCAPE CONDITIONS
FINISH GRADE, SEE CIVIL PLANS
CONTRACTOR TO PROVIDE WATER PROOF MEMBRANE ON BACK SIDE OF WALL BELOW GRADE
#57 STONE
FILTER FABRIC
SINGLE WYTHE DUR-O-WAL @ MODEL # DA3100, 9 GAUGE OR EQUAL
PERFORATED ADS PIPE - CONNECT TO SITE STORMWATER / DRAINAGE AS REQUIRED
3/8" x 12" STEEL DOWEL, TYP.
CONCRETE BASE, 4000 PSI @ 28 DAYS, TYP.
95% COMPACTED SUBGRADE, TYP.

3" PRECAST CONCRETE CAP - SLOPE TO DRAIN
3/8" Ø STAINLESS STEEL DOWEL CAST INTO PRECAST AND GROUTED INTO CMU. EXTEND 2" INTO WALL (1/24" O.C.)
STUCCO VENEER, FINISH AND COLOR TO MATCH ARCHITECTURE
8"x8"x16" CONCRETE MASONRY UNIT, WITH SOLID POUR CENTER
GALVANIZED MASONRY WALL TIES INSERT AT ALTERNATE CMU COURSES (ALL SIDES)
BRICK RISER BEYOND
BRICK TREAD, SEE STAIR SECTION A THIS SHEET
#5 VERTICAL REBAR, 16" O.C.
CONCRETE FOOTING, 4000 PSI @ 28 DAYS, TYP.
#5 REBAR AT 24" O.C.
(3) #5 REBAR
#5 REBAR @ 16" O.C. W/ HOOKS

NOTES:
1. SEE LAYOUT PLAN FOR STAIR LAYOUT AND NUMBER OF RISERS. COORDINATE STAIR RISERS WITH GRADING PLAN (SEE CIVIL DRAWINGS).
2. SEE CIVIL PLANS FOR TOP OF WALL HEIGHTS.
3. BRICK STEPS SHALL BE PINE HALL BRICK - FULL RANGE CLASSIC SQUARE EDGE CLAY PAVERS.
4. MORTAR JOINTS SHALL BE CONCAVE. COLOR SHALL BE BUFF.
5. EVENLY SPACE JOINTS AND REINFORCE CAST STONE CAPS PER MANUFACTURER'S RECOMMENDATION AND PROVIDE SLOTTED DOWEL SLEEVES WITH DOWELS BETWEEN JOINTS.
6. SEE SITE PLAN FOR ADJACENT HARDSCAPE CONDITIONS.
7. PAINT HANDRAIL MATTE BLACK, SUBMIT COLOR SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION.

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2701 SHOREFAIR DRIVE
WINSTON-SALEM, NC 27105
PH. 1-800-334-8689
WWW.PINEHALLBRICK.COM
BRICK STYLE: 4x8 TRADITIONAL
BRICK COLOR: PATHWAY FULL RANGE
MORTAR COLOR: BUFF

3
L3
BRICK STAIRS & STUCCO CHEEK WALL
SCALE: 1/2" = 1'-0"

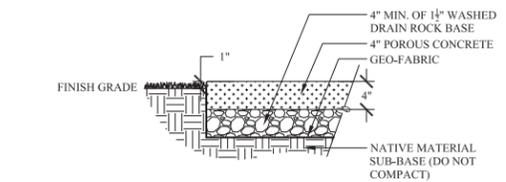


FINISH GRADE, SEE CIVIL PLANS
TOP OF WALL (SEE LAYOUT PLAN FOR DIMENSIONS)
2x6 CAP W/ BEVEL EDGE, TYP.
3 MIL BLACK PLASTIC SOIL BARRIER
4x4 POSTS EQUALLY SPACED @ 18" O.C.
2x8 - ATTACH W/ 1/2" Ø GALV. CARRIAGE BOLTS, 2 EACH POST
FILL GAP BETWEEN POSTS WITH CONC. CURB AND GUTTER (SEE CIVIL PLANS)

CONCRETE FOOTING, 4000 PSI @ 28 DAYS
COMPACTED #57 STONE BASE
95% COMPACTED SUBGRADE

NOTES:
1. ALL WOOD TO BE SOUTHERN YELLOW PINE, SPIB NO. 1 OR BETTER, SYS. PRESSURE TREATED FOR GROUND CONTACT.

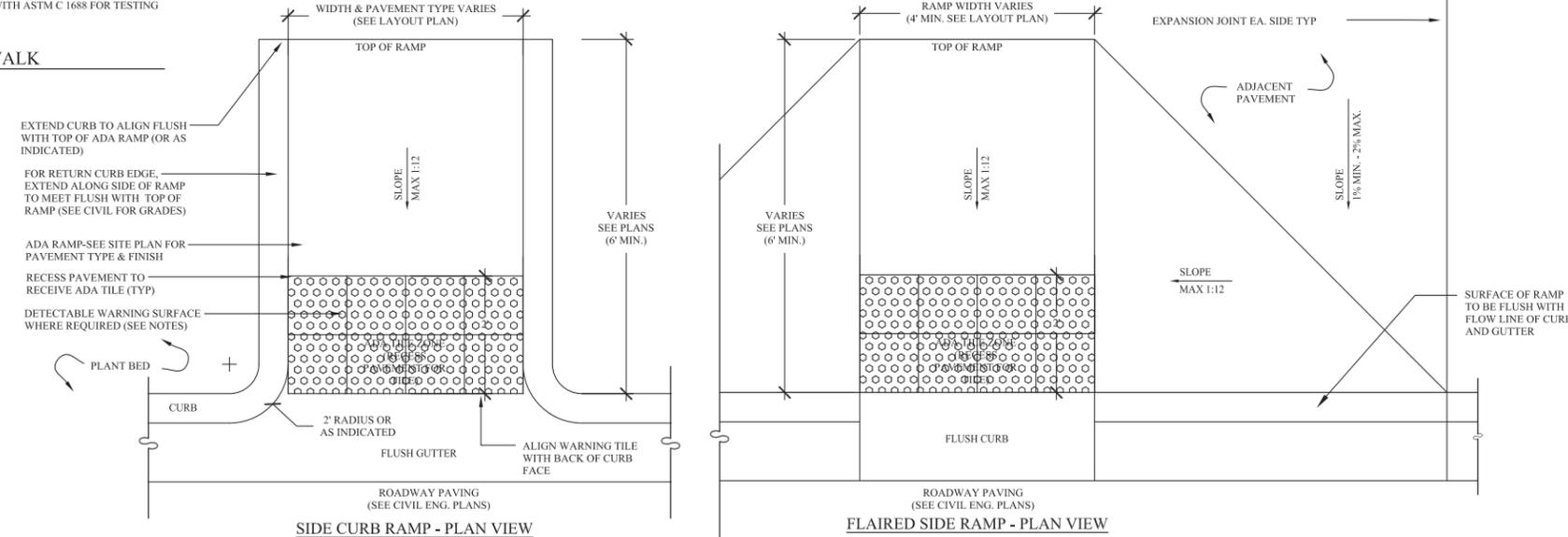
4
L3
TIMBER RETAINING WALL
SCALE: 1" = 1'-0"



4" MIN. OF 1 1/2" WASHED DRAIN ROCK BASE
4" POROUS CONCRETE
GEO-FABRIC
NATIVE MATERIAL SUB-BASE (DO NOT COMPACT)

NOTES:
1. CONTRACTOR SHALL PROVIDE MIN 4'x4' SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION
2. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE
3. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, VERTICAL ELEMENTS AND DIFFERENT PAVEMENT TYPES.
4. SEE SITE PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS.
5. POROUS CONCRETE SHALL COMPLY WITH ASTM C 1688 FOR TESTING DENSITY AND VOID CONTENT.

5
L3
POROUS CONCRETE WALK
SCALE: 1" = 1'-0"



WIDTH & PAVEMENT TYPE VARIES (SEE LAYOUT PLAN)
TOP OF RAMP
SLOPE MAX 1:12
RAMP WIDTH VARIES (4' MIN. SEE LAYOUT PLAN)
TOP OF RAMP
SLOPE MAX 1:12
EXPANSION JOINT EA. SIDE TYP.
ADJACENT PAVEMENT
SLOPE 1% MIN. - 2% MAX.
SURFACE OF RAMP TO BE FLUSH WITH FLOW LINE OF CURB AND GUTTER

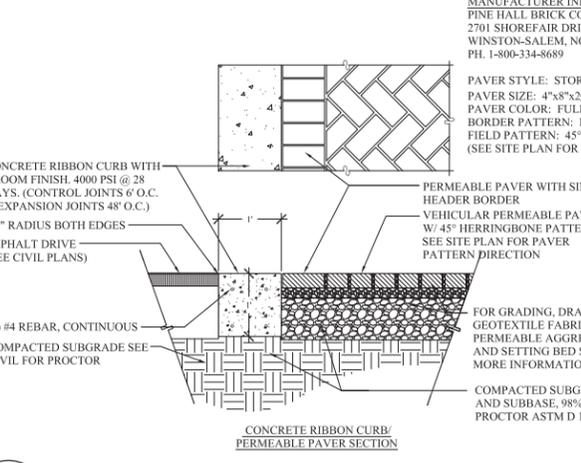
EXTEND CURB TO ALIGN FLUSH WITH TOP OF ADA RAMP (OR AS INDICATED)
FOR RETURN CURB EDGE, EXTEND ALONG SIDE OF RAMP TO MEET FLUSH WITH TOP OF RAMP (SEE CIVIL FOR GRADES)
ADA RAMP-SEE SITE PLAN FOR PAVEMENT TYPE & FINISH
RECESS PAVEMENT TO RECEIVE ADA TILE (TYP)
DETECTABLE WARNING SURFACE WHERE REQUIRED (SEE NOTES)
PLANT BED
CURB
2" RADIUS OR AS INDICATED
FLUSH GUTTER
ALIGN WARNING TILE WITH BACK OF CURB FACE
ROADWAY PAVING (SEE CIVIL ENG. PLANS)
SIDE CURB RAMP - PLAN VIEW

TRANSITION SURROUNDING GRADES FLUSH WITH CONCRETE WALK AND BACK OF CURB
CONCRETE PAVEMENT, 4000 PSI AT 28 DAYS, THICKEN SLAB TO BE FLUSH WITH BOTTOM OF CURB
VEHICULAR PAVING (SEE CIVIL)
FLUSH CURB AT RAMP & RAISED CURB BEYOND (SEE CIVIL PLAN)

NOTES:
1. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
2. DETECTABLE WARNING SURFACE:
2.1. PROVIDE TRUNCATED DOME DETECTABLE WARNING SURFACE WHERE PEDESTRIAN CIRCULATION PAVEMENTS INTERSECT FLUSH WITH VEHICULAR CIRCULATION (IN ACCORDANCE WITH ADA).
2.2. STEP-SAFE TILES (OR APPROVED EQUAL), 12"x12"x.5" COLOR: CHOCOLATE BROWN. SET TILES FLUSH, 3/8" MAX. JT., GROUT TO MATCH TILE COLOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS (SUBMIT SAMPLE FOR APPROVAL).
2.3. FOR TILES LOCATED ALONG A RADIUS, EITHER CUT TILE TO ALIGN PERPENDICULAR TO CURVE (JOINTS OF TILES TO ALIGN) OR LAY TILE IN A GRID AND CUT OUTER PERIMETER TO MATCH RADII (USE ONLY ONE TYPE THROUGH OUT PROJECT).
3. SEE PLAN FOR PAVEMENT TYPES AND ASSOCIATED DETAILS.
4. SEE CIVIL FOR GRADING, ROADWAY PAVEMENTS AND CURBS...

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PH. 1-800-334-8689
WWW.PINEHALLBRICK.COM
BRICK STYLE: 4x8 TRADITIONAL
BRICK COLOR: PATHWAY FULL RANGE
MORTAR COLOR: BUFF

7
L3
ADA CURB RAMPS
SCALE: 1/2" = 1'-0"



CONCRETE RIBBON CURB WITH BROOM FINISH, 4000 PSI @ 28 DAYS. (CONTROL JOINTS 6' O.C. & EXPANSION JOINTS 48' O.C.)
1/4" RADIUS BOTH EDGES
ASPHALT DRIVE (SEE CIVIL PLANS)

PAVER STYLE: STORMPAVE
PAVER SIZE: 4"x8"x2"
PAVER COLOR: FULL RANGE RED BORDER PATTERN: HEADER COURSE FIELD PATTERN: 45° HERRINGBONE (SEE SITE PLAN FOR DIRECTION)

PERMEABLE PAVEMENT WITH SINGLE HEADER BORDER
VEHICULAR PERMEABLE PAVEMENT W/ 45° HERRINGBONE PATTERN, SEE SITE PLAN FOR PAVEMENT PATTERN DIRECTION

FOR GRADING, DRAINAGE, GEOTEXTILE FABRIC, PERMEABLE AGGREGATE BASE AND SETTING BED SEE CIVIL FOR MORE INFORMATION
COMPACTED SUBGRADE AND SUBBASE, 98% PROCTOR ASTM D 1557

MANUFACTURER INFORMATION:
PINE HALL BRICK COMPANY, INC.
2701 SHOREFAIR DRIVE
WINSTON-SALEM, NC 27116
PH. 1-800-334-8689

6
L3
PERMEABLE VEHICULAR PAVERS
SCALE: 1/2" = 1'-0"

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY
1	DRS CONCEPTUAL	2-23-16	
2	DRS SUBMITTAL	4-16-16	
3	DRS SUBMITTAL	4-28-16	

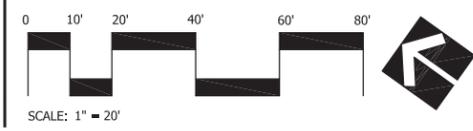
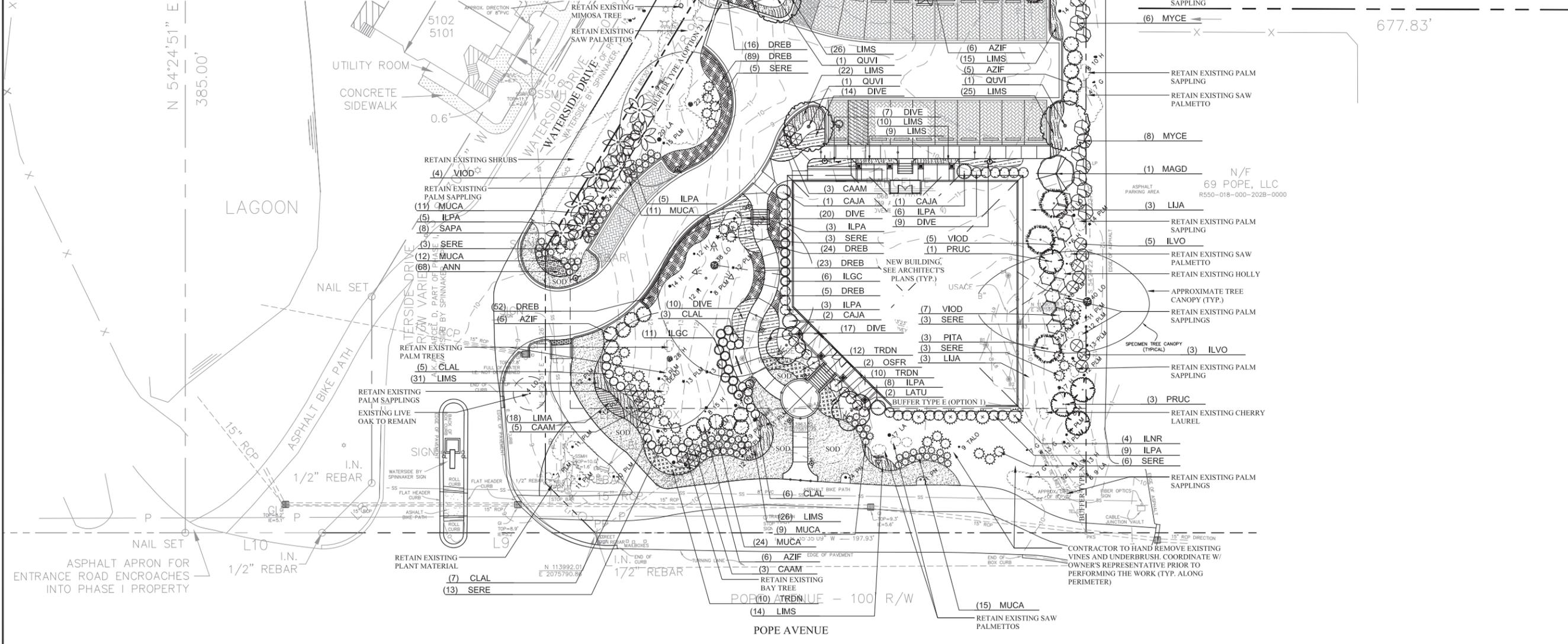
DATE: 4-26-16
PROJECT NUMBER: 01-15035
SHEET TITLE: DETAILS

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
LATU	2	Lagerstroemia x 'Tuscarora'	Crape Myrtle	B & B or Cont.	3" Cal	12'-14'	8'-10'	8'-10'	Multi-stem (min. 3 canes)
MAGD	1	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	B & B or Cont.	2" Cal	12'-14'	6'-8'	6'-8'	Full to Ground
PITA	7	Pinus taeda	Loblolly Pine	B & B or Cont.	2" Cal	7'-8'	2'-3'	2'-3'	Strong central leader
PRUC	4	Prunus caroliniana	Southern Live Oak	B & B or Cont.	2" Cal	8'-10'	5'-6'	5'-6'	Full to Ground
QUVI	3	Quercus virginiana	Southern Live Oak	B & B	4" Cal	12'-14'	5'-6'	5'-6'	Strong Central Leader, Specimen
SAPA	11	Sabal palmetto	Cabbage Palmetto	B & B		14'-18'			Smooth Clear Trunk, Hurricane Cut, Vary Height

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS
AZIF	32	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24"-30"	24"-30"	Full pot
CAAM	11	Callicarpa americana	American Beautyberry	3 gal	24"-30"	24"-30"	Full pot
CAJA	4	Camellia japonica 'Nuccio's Gem'	White Camellia	15 gal	4'-6'	36-42"	Full to ground, specimen
CLAL	21	Clethra alifolia	Summersweet Clethra	3 gal	18"-24"	18"-24"	Full pot
ILGC	17	Ilex glabra 'Compacta'	Compact Inkberry	3 gal	24"-30"	24"-30"	Full pot
ILVO	8	Ilex vomitoria	Yaupon Holly	3 Gal	18"-24"	24"-30"	Full pot
ILSD	2	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal	12"-18"	12"-18"	Full pot
ILNR	4	Ilex x 'Nellie R Stevens'	Nellie Stevens Holly	30 gal	5'-6'	4'-5'	Full to ground
ILPA	39	Illicium parviflorum	Anise Tree	7 gal	36"-42"	24"-36"	Full pot
MUCA	82	Muhlenbergia capillaris	Gulf Muhly Grass	3 gal	12"-18"	12"-18"	Full pot
MYCE	14	Myrica cerifera	Wax Myrtle	3 gal	24"-30"	24"-30"	Full pot
OSFR	2	Osmundus fragrans	Sweet Olive	7 gal	36"-48"	24"-36"	Full pot
SERE	36	Serenoa repens	Saw Palmetto	3 gal	15"-18"	12"-18"	Full pot
VIOD	25	Viburnum odoratissimum	Sweet Viburnum	7 gal	30"-36"	24"-30"	Full to ground

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
ANN	68	Annua	Annua	1 gal	12"-18"	12"-18"	12" o.c.	Full pot
DIVE	77	Dioscorea alata	African Iris	1 gal	18"-24"	12"-18"	36" o.c.	Full pot
DREB	209	Dryopteris erythrosora 'Brilliance'	African Fern	1 gal	12"-18"	10"-12"	24" o.c.	Full pot
LIMA	18	Liriope muscari 'Aztec Grass'	Aztec Grass	1 gal	8"-12"	8"-12"	24" o.c.	Full pot
LIMS	178	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	12"-14"	12"-15"	24" o.c.	Full pot
TRDN	32	Tripsacum dactyloides nama	Dwarf Fakahatchee Grass	1 gal	12"-18"	10"-12"	36" o.c.	Full pot
SOD	2,400 sf	Zoysia x 'Zeon'	Zeon Zoysia					



PLAN IS SUBJECT TO CHANGE.

SPINNAKER DEVELOPMENT GROUP
35 DeAligon Avenue
Hilton Head Island, South Carolina

SPINNAKER RESORT WELCOME CENTER
Hilton Head Island, South Carolina

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY
1	DRS CONCEPTUAL	2-23-16	
2	DRS SUBMITTAL	2-25-16	
3	DRS SUBMITTAL	2-25-16	

DATE: 4-26-16
PROJECT NUMBER: 01-15035
SHEET TITLE: PLANTING PLAN

Wood+Partners Inc. WPI
Landscape Architects
Landscape Planners

PO Box 22849 Hilton Head Island, SC 29925
843.881.8818 Fax 843.881.7888 www.woodpartners.com

SHEET NUMBER
L4

TREE REMOVAL/REPLACEMENT SUMMARY

TREE REPLACEMENT UTILIZES THE ADJUSTED CALIPER INCH CALCULATION

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES PROVIDED
1	169" LIVE OAK 47" LAUREL OAK	(3) LIVE OAKS (1) MAGNOLIA
2	38" WATER OAK 260" SWEET GUM 7" BIRCH 15" HICKORY	N/A
3	60" PALM 63" PINE	(7) PINES (11) PALMS
4	N/A	(4) CHERRY LAURELS (2) CRAPE MYRTLES

TREE MITIGATION:

- TREE MITIGATION WILL UTILIZE THE ADJUSTED CALIPER INCH CALCULATION TO MITIGATE THE REMOVAL OF TREES ON SITE. A COMPLETE TREE MITIGATION SUMMARY WILL BE PROVIDED UPON DPR SUBMITTAL.

TOTAL ACRES: 1.068
MAXIMUM IMPERVIOUS SURFACE ALLOWED (RD ZONE): 50%
ADJUSTED CALIPER INCHES TO BE MET POST DEVELOPMENT: 480.6

POST DEVELOPMENT TREE COUNTS (EXISTING TREES ONLY):

CATEGORY 1: 206 (1) = 206
CATEGORY 2: 417 (.75) = 312.75
CATEGORY 3: 441 (.5) = 220.5
CATEGORY 4: 0 (.25) = 0

POST DEVELOPMENT TREE COUNTS (PROPOSED TREES ONLY):

CATEGORY 1: 15 (1) = 15
CATEGORY 2: 0 (.25) = 0
CATEGORY 3: 102 (.5) = 51
CATEGORY 4: 14 (.25) = 3.5

POST DEVELOPMENT TREE COUNTS (TOTAL):

CATEGORY 1: 221 (1) = 221
CATEGORY 2: 417 (.75) = 312.75
CATEGORY 3: 543 (.5) = 271.5
CATEGORY 4: 14 (.25) = 3.5

TOTAL POST DEVELOPMENT ADJUSTED CALIPER INCHES: 808.75

ACI NOTES:

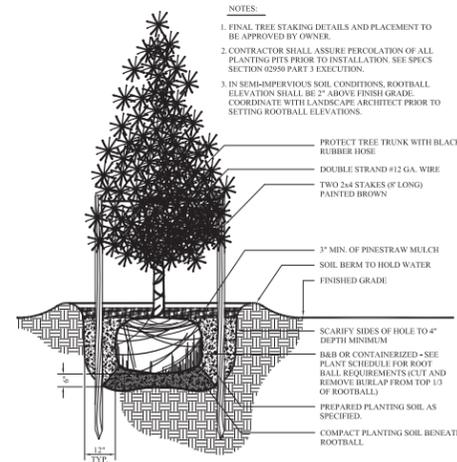
- ALL PROPOSED PALM TREES ARE CALCULATED AS AN 8" CALIPER TREE.
- ALL PROPOSED CRAPE MYRTLES ARE CALCULATED AS A 3" CALIPER TREE.

TREES REMOVED

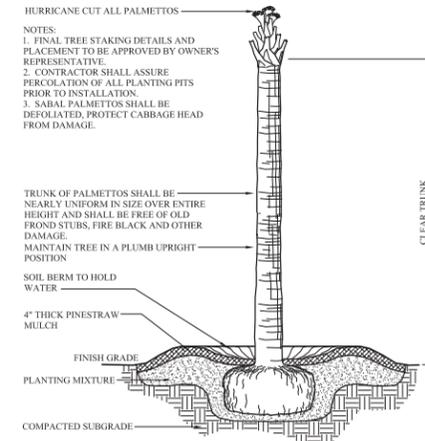
CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LIVE OAK	15"	216"
	LIVE OAK	9"	
	LIVE OAK	15"	
	LIVE OAK	17"	
	LIVE OAK	15"	
	LIVE OAK	24"	
	LIVE OAK	30"	
	LIVE OAK	24"	
	LIVE OAK	20"	
	LAUREL OAK	15"	
	LAUREL OAK	12"	
	LAUREL OAK	20"	
CATEGORY II TREES REMOVED	WATER OAK	8"	475"
	WATER OAK	15"	
	WATER OAK	15"	
	SWEET GUM	18"	
	SWEET GUM	11"	
	SWEET GUM	12"	
	SWEET GUM	8"	
	SWEET GUM	12"	
	SWEET GUM	14"	
	SWEET GUM	14"	
	SWEET GUM	12"	
	SWEET GUM	10"	
	SWEET GUM	15"	
	SWEET GUM	10"	
	SWEET GUM	15"	
	SWEET GUM	12"	
	SWEET GUM	14"	
	SWEET GUM	16"	
	SWEET GUM	7"	
	HICKORY	10"	
HICKORY	18"		
HICKORY	19"		
HICKORY	14"		
HICKORY	11"		
HICKORY	17"		
HICKORY	15"		
HICKORY	16"		
HICKORY	8"		
*HICKORY	22"		
CATEGORY III TREES REMOVED	PALM	12"	123"
	PALM	12"	
	PALM	14"	
	PALM	11"	
	PINE	30"	
	PINE	15"	

GENERAL PLANTING & IRRIGATION NOTES:

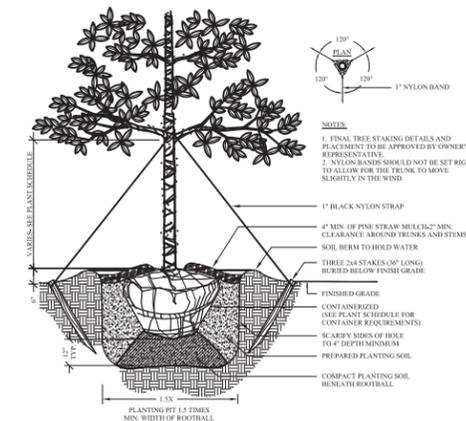
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, HYDRO-SEED AND PLANTING BEDS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH. MULCH ALL PLANT BEDS, INCLUDING AREAS OF EXISTING VEGETATION TO REMAIN.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S CHOICE FOR SEASON OF INSTALLATION.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.



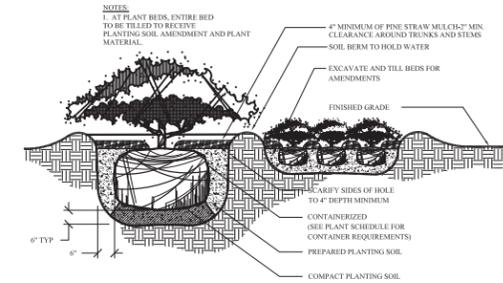
5 PINE TREE
L4.1 SCALE: N.T.S.



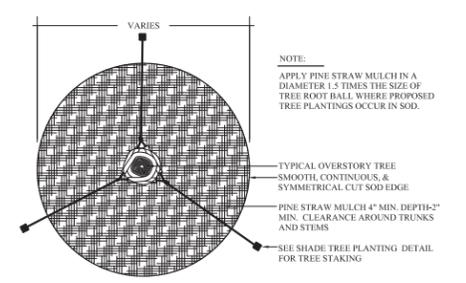
1 PALM TREE
L4.1 SCALE: N.T.S.



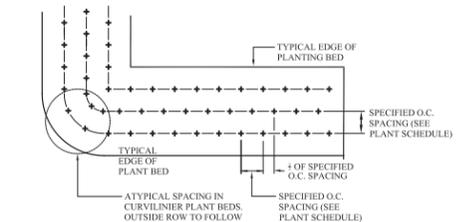
2 SHADE TREE
L4.1 SCALE: N.T.S.



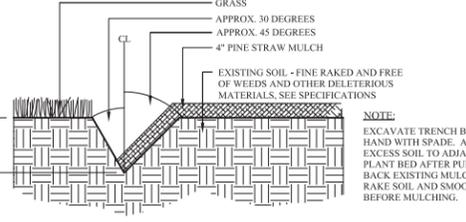
3 SHRUB PLANTING
L4.1 SCALE: N.T.S.



4 MULCH TREE RING
L4.1 SCALE: N.T.S.



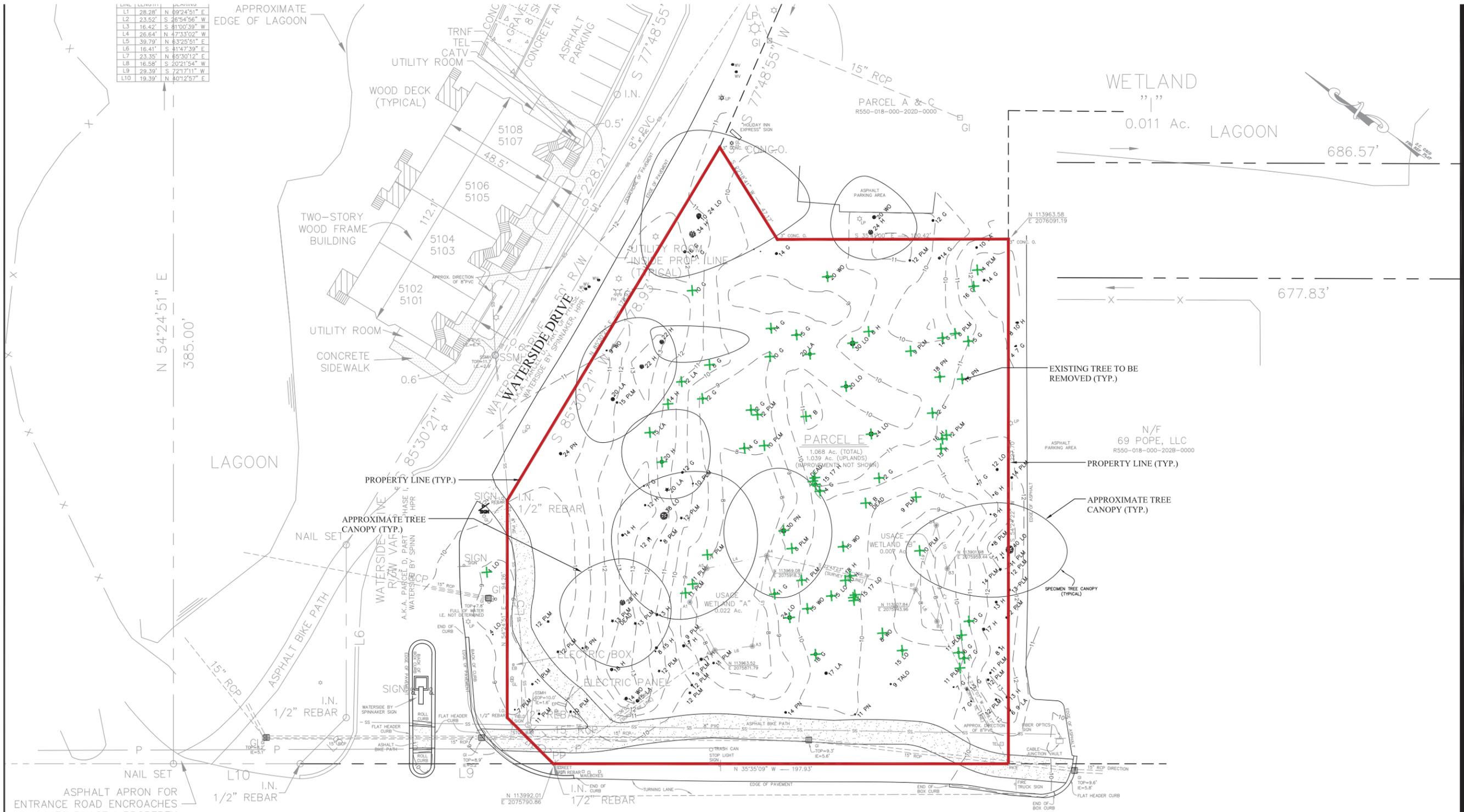
6 GROUNDCOVER SPACING
L4.1 SCALE: N.T.S.



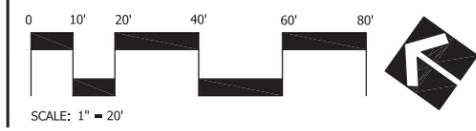
7 LANDSCAPE EDGE
L4.1 SCALE: N.T.S.

#	REVISION	DATE	BY
1	DWG CONCEPTUAL	2-23-18	
2	DWG SUBMITTAL	2-28-18	
3	DWG SUBMITTAL	2-28-18	

LINE	LENGTH	PLANNING
L1	28.28'	N 09°24'51" E
L2	23.52'	S 26°54'56" W
L3	16.42'	S 81°00'39" W
L4	26.64'	N 47°33'02" E
L5	39.79'	N 63°25'51" E
L6	16.41'	S 41°47'39" E
L7	23.35'	N 65°30'12" E
L8	16.58'	S 20°21'54" W
L9	29.39'	S 72°17'11" W
L10	19.39'	N 40°12'57" E



ASPHALT APRON FOR ENTRANCE ROAD ENCLOSES INTO PHASE I PROPERTY



PLAN IS SUBJECT TO CHANGE.

LEGEND:

- EXISTING TREE TO BE REMOVED
- PROPERTY BOUNDARY

SPINNAKER DEVELOPMENT GROUP
35 DeAligon Avenue
Hilton Head Island, South Carolina

SPINNAKER RESORT WELCOME CENTER
Hilton Head Island, South Carolina

DRAWN BY: DM
CHECKED BY: TT

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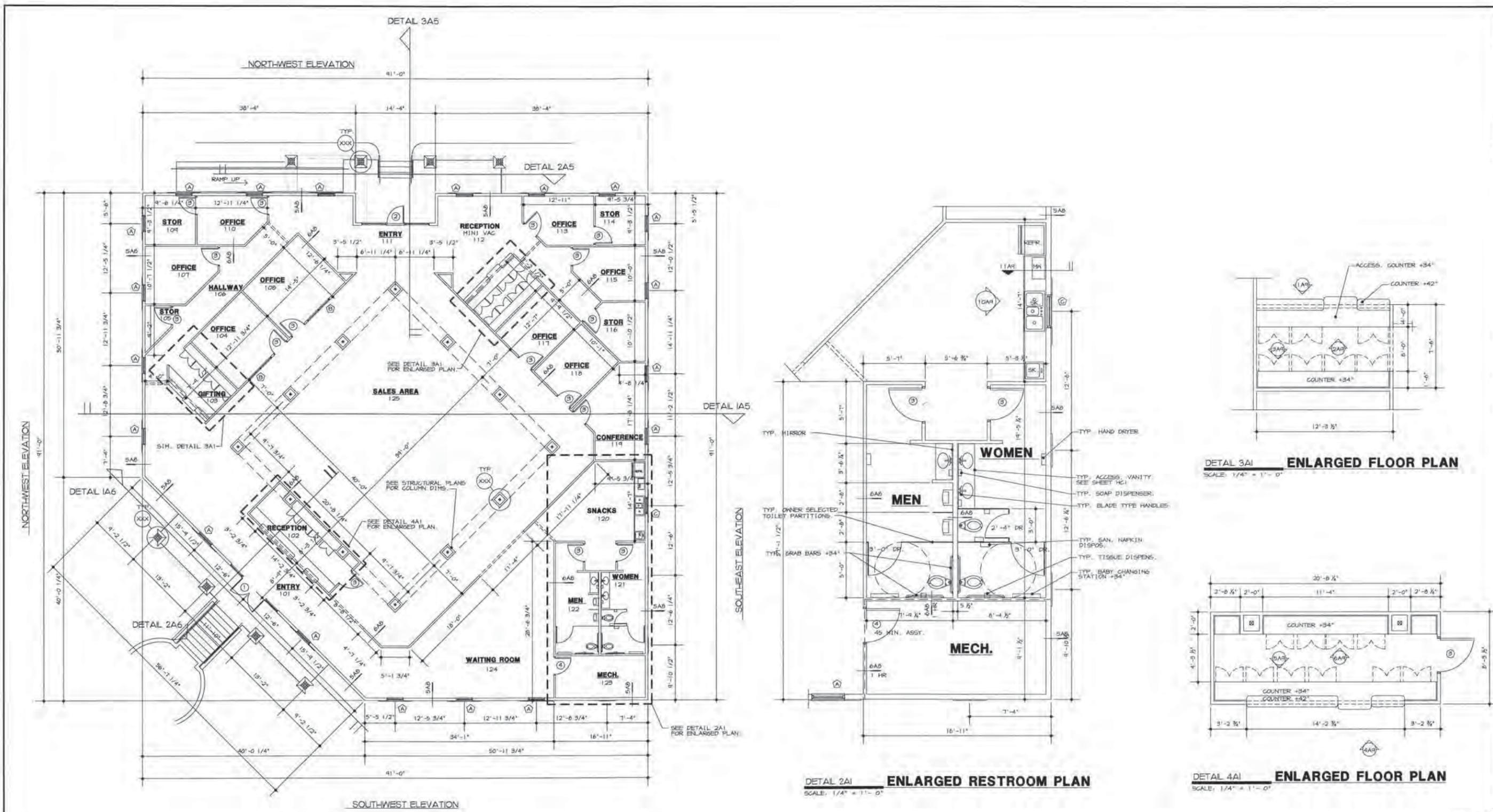
#	REVISION	DATE	BY
1	DRS CONCEPTUAL	2-23-16	
2	DRS SUBMITTAL	4-8-16	
3	DRS SUBMITTAL	4-28-16	

DATE: 4-26-16
PROJECT NUMBER: 01-15035
SHEET TITLE: TREE REMOVAL PLAN

Wood+Partners Inc. WPI
Landscape Architects
Landscape Planners

PO Box 22849 Hilton Head Island, SC 29925
843.881.8818 Fax 843.881.7888 www.woodpartners.com

SHEET NUMBER
L6



DETAIL 1A FLOOR PLAN
SCALE: 1/8" = 1'-0"

DETAIL 2A ENLARGED RESTROOM PLAN
SCALE: 1/4" = 1'-0"

DETAIL 3A ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DETAIL 4A ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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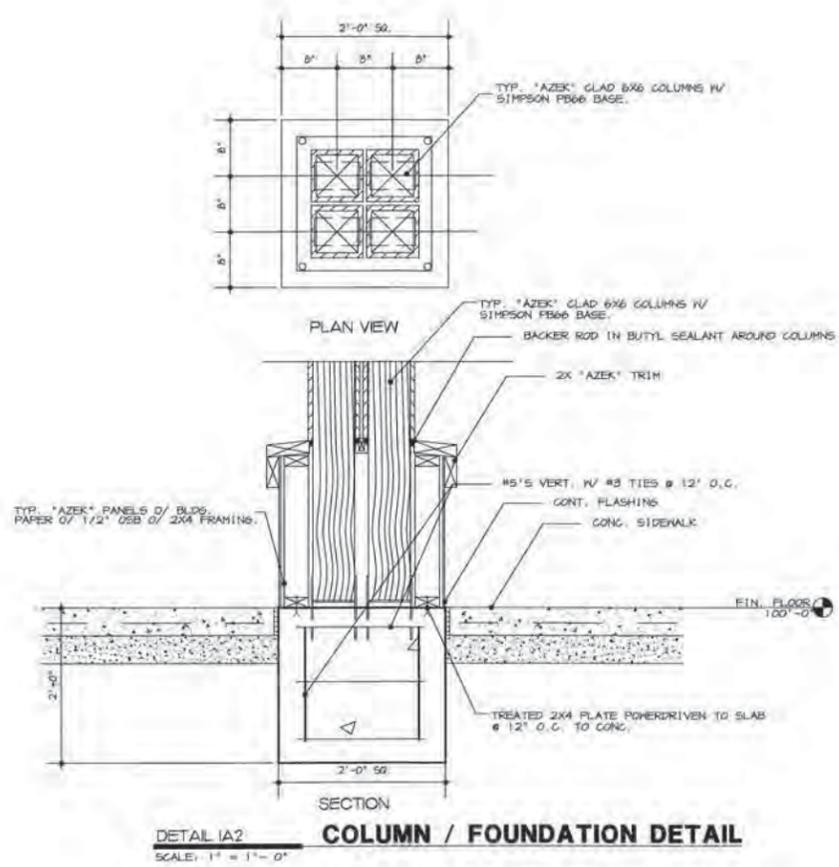


IN MISSOURI - GENERAL DESIGN AND RESTORATION INC.
GENERAL DESIGN INC. ARCHITECTURE
 1000 N. BUSINESS 65 BRANSON, MISSOURI 65616
 PH (417) 334-1999 FAX (417) 334-0746 EMAIL: AWJ@GENERALDESIGNINC.COM

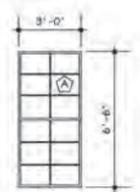


PRELIMINARY
 NOT FOR CONSTRUCTION, RECORDING
 PURPOSES, BIDDING OR IMPLEMENTATION
WATERSIDE WELCOME CENTER
 HILTON HEAD ISLAND SC.
 ISSUE DATE: 4/28/16
 DRAWN BY: B.S. CHECKED BY: J.A.S.
 REVISION #1
 REVISION #2
 REVISION #3
 P.O. (417) 334-1999

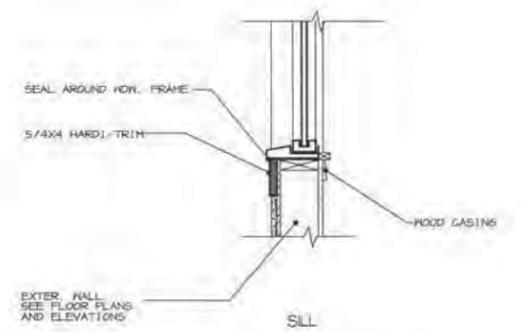
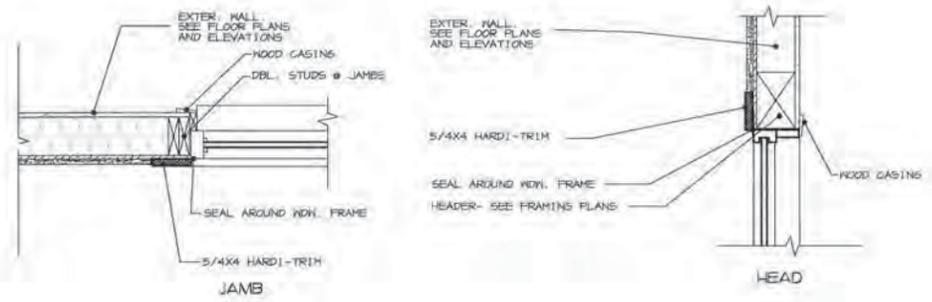
A1
 02/01/16



WINDOW SCHEDULE							
MARK	WINDOW SIZE	FRAME	GLAZING	NOTES	DETAILS		
					HEAD	SILL	JAMB
A	3'-0" X 6'-6"	WHITE VINYL	3/4" CLR. INSUL. GL.	S. HANG			



IMPACT RESISTANT WINDOWS TYP.
CAULK AROUND ALL EXTERIOR WINDOW FRAMES.



DETAIL 2A2 WINDOW DETAILS

NO SCALE

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GENERAL DESIGN INC. ARCHITECTURE

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WATERSIDE WELCOME CENTER

WATERSIDE WELCOME CENTER

HELEN HEAD ISLAND SC.

DATE: 07/19/16

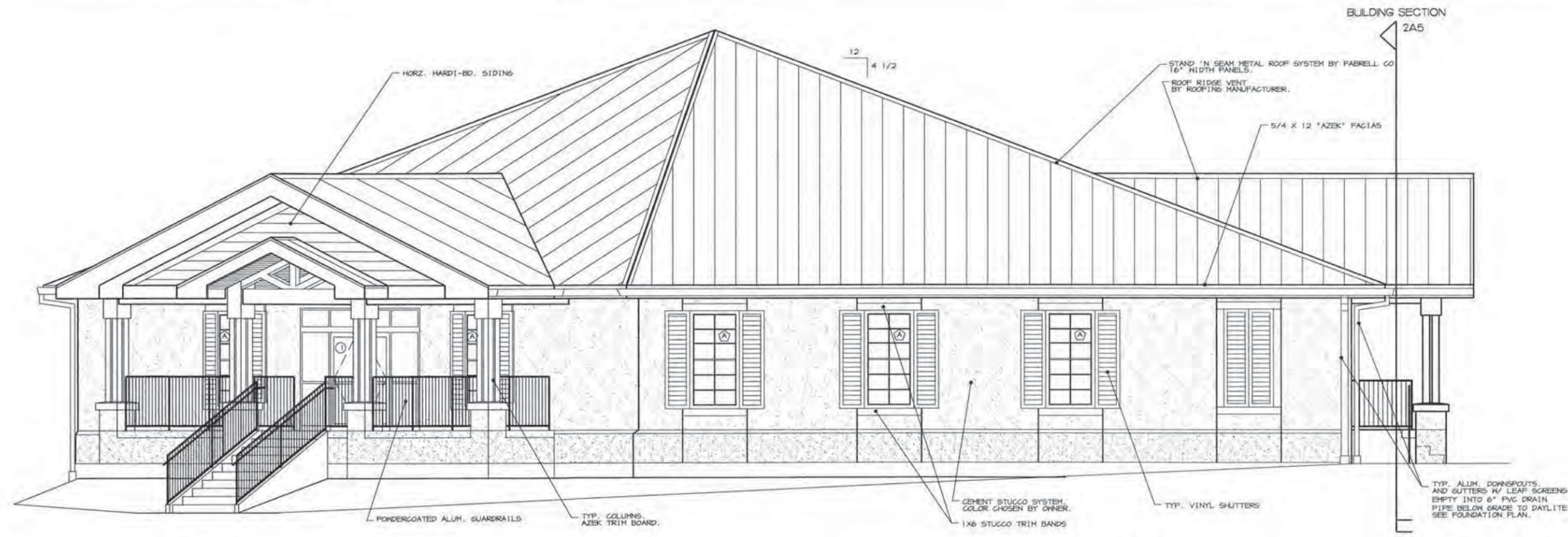
REVISION #1

DATE: 07/19/16

BY: [Signature]

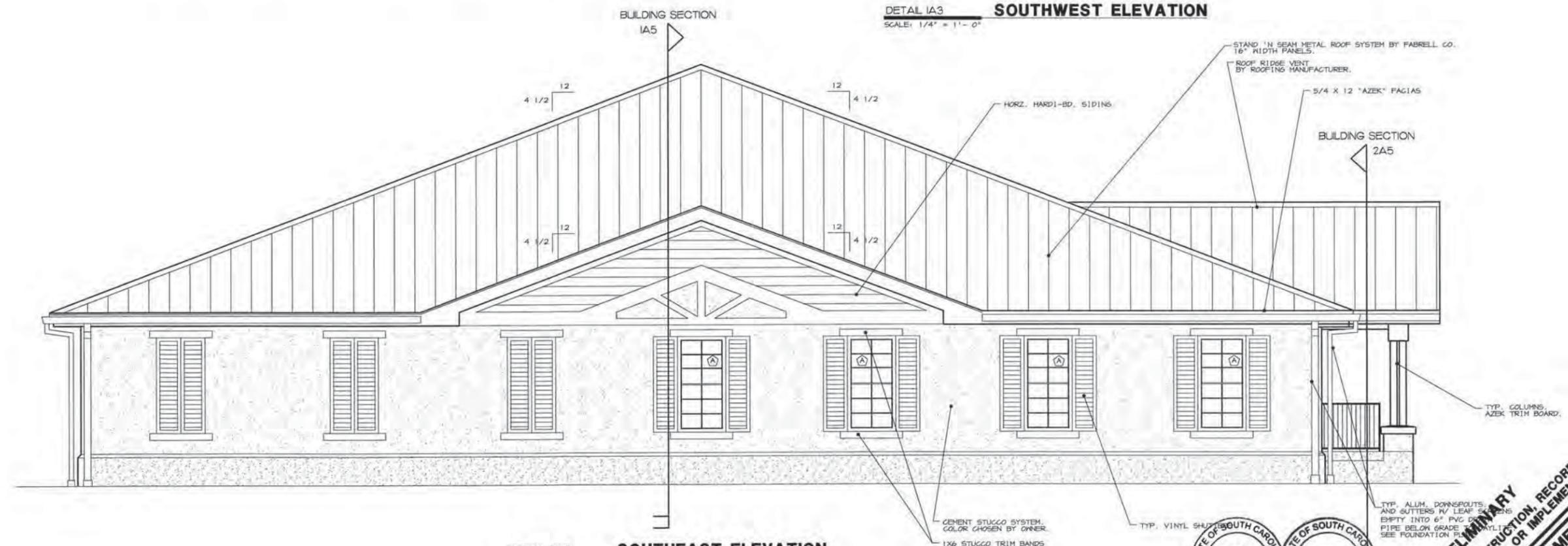
PH: (417) 334-1999

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DETAIL IA3
SCALE: 1/4" = 1'-0"

SOUTHWEST ELEVATION



DETAIL 2A3
SCALE: 1/4" = 1'-0"

SOUTHEAST ELEVATION

STATE OF SOUTH CAROLINA
GENERAL DESIGN, INC.
BRANSON, MO 100250
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
ALLEN WAYNE JOHNSON
BRANSON, MO 7295
REGISTERED ARCHITECT

PRELIMINARY
NOT FOR CONSTRUCTION RECORDING PURPOSES, BIDDING OR IMPLEMENTATION

WATERSIDE WELCOME CENTER
141 TON LEAD ISLAND S.C.
DESIGN DATE: 7/26/16
DATE: 10/10/16
PROJECT BY: G.D. & G.E. CREAGER, INC.
PH: (417) 334-1999

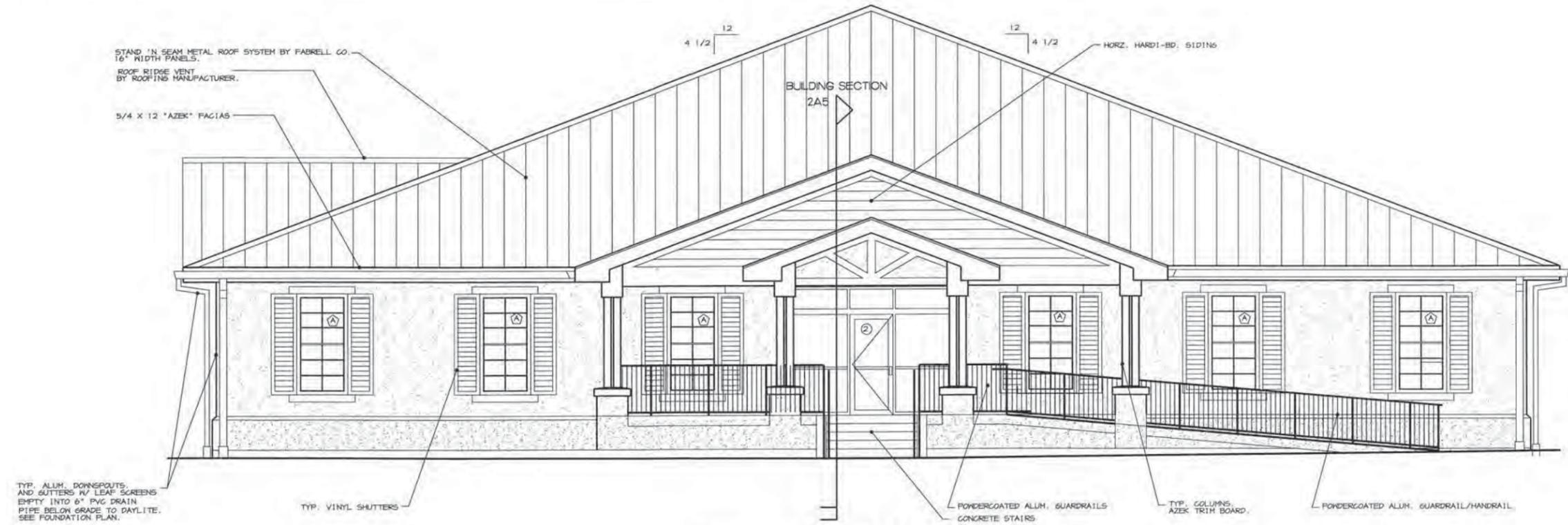
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IN MISSOURI - GENERAL DESIGN AND RESTORATION, INC.
GENERAL DESIGN INC. ARCHITECTURE
1000 N. BUSINESS 65 BRANSON, MISSOURI 65616
PH: (417) 334-1999 FAX (417) 334-0746 EMAIL: AWJ@GENERALDESIGNINC.COM

ARCHITECTURE ONLY

A3
0-2016



DETAIL 1A4 **NORTHEAST ELEVATION**
SCALE: 1/4" = 1' - 0"



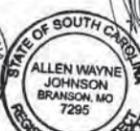
DETAIL 2A4 **NORTHWEST ELEVATION**
SCALE: 1/4" = 1' - 0"

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IN MISSOURI - GENERAL DESIGN AND RESTORATION INC.
GENERAL DESIGN INC. ARCHITECTURE
1000 N. BUSINESS 65 BRANSON, MISSOURI 65616
PH. (417) 334-1999 FAX (417) 334-0746 EMAIL: AWJ@GENERALDESIGNINC.COM



PRELIMINARY
NOT FOR CONSTRUCTION, RECORDING
PURPOSES, BIDDING OR IMPLEMENTATION
WATERSIDE WELCOME CENTER
L.L. TONI HEAD ISLAND S.C.
ISSUE DATE: 4/27/16
REVISION #1
REVISION #2
REVISION #3
REVISION #4
DRAWN BY: G.D. CREATED BY: AWJ

A4
02/16

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	CEILING	FLOOR	WALL	BASE	TRIM	CELLING HEIGHTS			
		LT. KNOC-KON, TEXTURE PAINTED 6FT. BP. SUP. ACCESS. CERAMIC TILE	CARPET	RESILIENT FLOORING	PAINTED 6FT. BP. LT. KNOC-KON, TEXTURE PAINTED 6FT. BP. CERAMIC TILE MAINGROVE #40	WOOD	CERAMIC TILE	VINYL	5 1/2" ROOD CROWN M.D.R.	
101	ENTRY								10'	
102	RECEPTION								10'	
103	SUITING								10'	
104	OFFICE								4'	
105	STORAGE								8'	
106	HALLWAY								8'	
107	OFFICE								4'	
108	OFFICE								4'	
109	STORAGE								8'	
110	OFFICE								8'	
111	ENTRY								10'	
112	RECEPTION - MINI-VACATION								10'	
113	OFFICE								8'	
114	STORAGE								8'	
115	OFFICE								8'	
116	STORAGE								8'	
117	OFFICE								4'	
118	OFFICE								4'	
119	CONFERENCE								10'	
120	SNACKS								4'	
121	WOMENS R.R.								4'	
122	MENS R.R.								4'	
123	MECHANICAL								10'	
124	WAITING RM.								10'	
125	SALES								VAULTED	

① 2' x 2' SYSTEM EQ. TO ARNSTON'S 'CERAMIGUARD FINE F156URED'

DOOR SCHEDULE				
DOOR MARK	SIZE	MATERIAL	FRAME	REMARKS
1	6'-0" X 7'-0" W/ 3'-0" X 7'-0" SIDELITES & TRANSOM	WHITE ANODIZED ALUM	WHITE ANODIZED ALUM	WEATHER RESISTANT, W/ H.C. ACCESS. THRESHOLD, CLOSER & INSUL., SAFETY LOW E GLAZING
2	3'-0" X 7'-0" W/ 4'-6" X 7'-0" SIDELITES & TRANSOM	WHITE ANODIZED ALUM	WHITE ANODIZED ALUM	WEATHER RESISTANT, W/ H.C. ACCESS. THRESHOLD, CLOSER & INSUL., SAFETY LOW E GLAZING
3	3'-0" X 6'-8"	S.C. HARDWOOD	H.M.	
4	3'-0" X 6'-8"	S.C. HARDWOOD	H.M.	45 MIN. ASSY W/ CLOSER.

DOORS TO BE OWNER SELECTED.
EXTERIOR DOORS WITH WINDOWS TO HAVE HURRICANESHIELD IMPACT-RESISTANT GLAZING.

WINDOW SCHEDULE				
MARK	WINDOW SIZE	FRAME	GLAZING	NOTES
A	3'-0" X 7'-6"	WHITE VINYL	INSUL.	DEL. HUNG - WINDOWS TO BE PELLA DOUBLE HUNG LUXURY & INSUL. LOW E IMPACT GUARD GLAZING.
B	5'-6" X 3'-0"	WHITE VINYL	S-PANE	FIXED

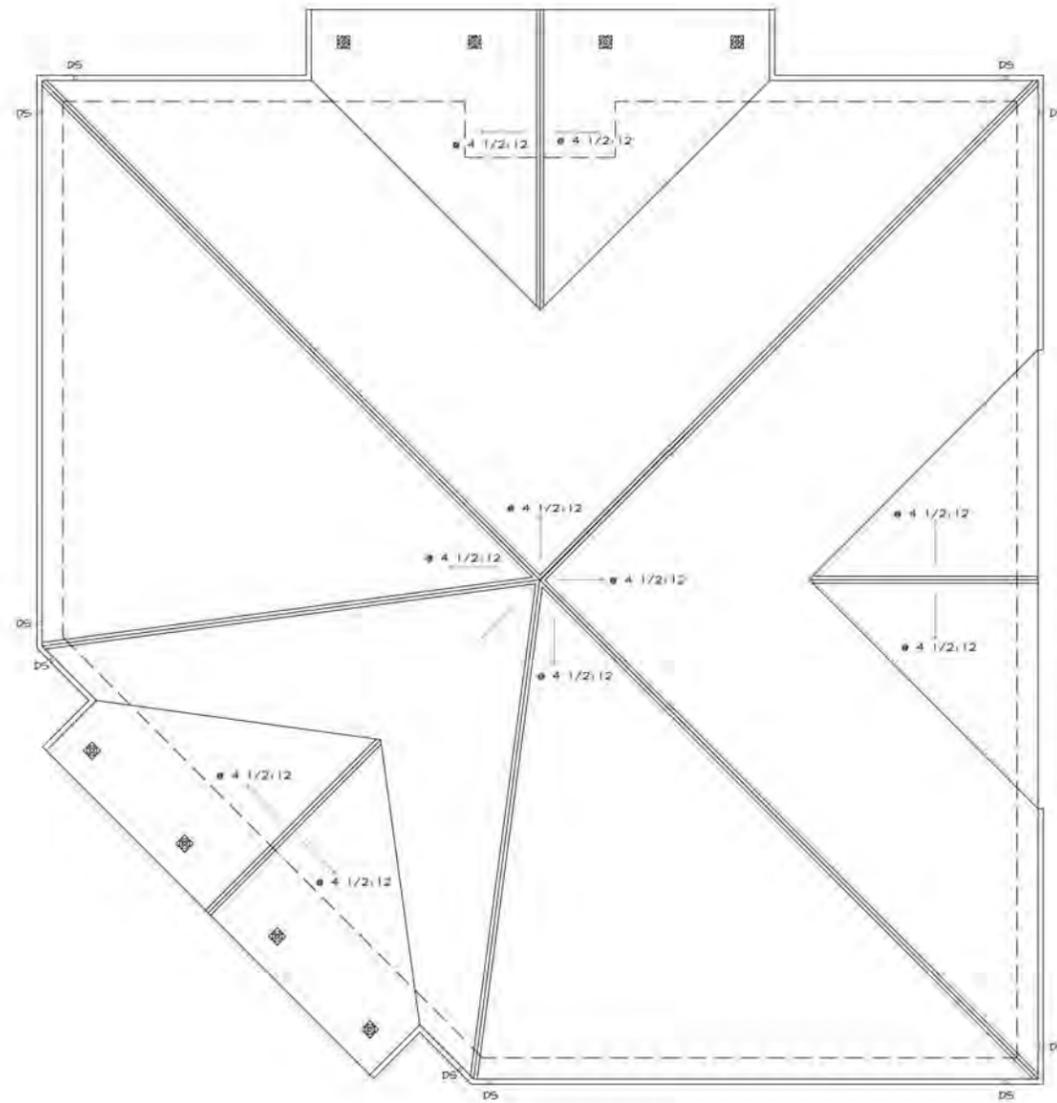
F.V. ALL WINDOW OPENING DIMS. PRIOR TO ORDERING WINDOWS.
WINDOWS TO BE OWNER SELECTED.
EXTERIOR WINDOWS TO BE TO BE HURRICANESHIELD IMPACT-RESISTANT GLAZING.
CAULK AROUND ALL EXTERIOR WINDOW FRAMES.

PRELIMINARY
NOT FOR CONSTRUCTION, RECORDING
PURPOSES, BIDDING OR IMPLEMENTATION

WATERSIDE WELCOME CENTER
HILTON HEAD ISLAND SC.
ISSUE DATE: 4/19/16
DESIGNER: AWJ
CHECKED BY: AWJ
DATE: 4/19/16
PROJECT NO: 1602
PLA (417) 334-1999
DRAWN BY: B.S. CREATED BY: AWJ

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DETAIL IA9 **ROOF PLAN**
SCALE: 1/8" = 1' - 0"



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SPINNAKER WELCOME CENTER
 LITTON LEAD ISLAND SC.
 ISSUE DATE: 9/17/16
 REVISED: 11/17/16
 REVISED: 11/17/16
 REVISED: 11/17/16
 REVISED: 11/17/16
 PH. (417) 334-1999
 DRAWN BY: A.S. CHECKED BY: AWJ

A9
 ©2016

POWDERCOATED ALUM. GUARDRAIL /HANDRAIL +42".
 W/ 1 1/2" POSTS @ 4'-0" O.C. MAX. 1 1/2"
 TOP & BOT. RAILS AND 1/2" SQ. BALLUSTERS
 SPACED SO A 4" DIA. SPHERE WILL NOT PASS
 BETWEEN THEM.

ATTACH POSTS TO CONC. W/ 4- 3/8" X 4"
 EXPAN. BOLTS.

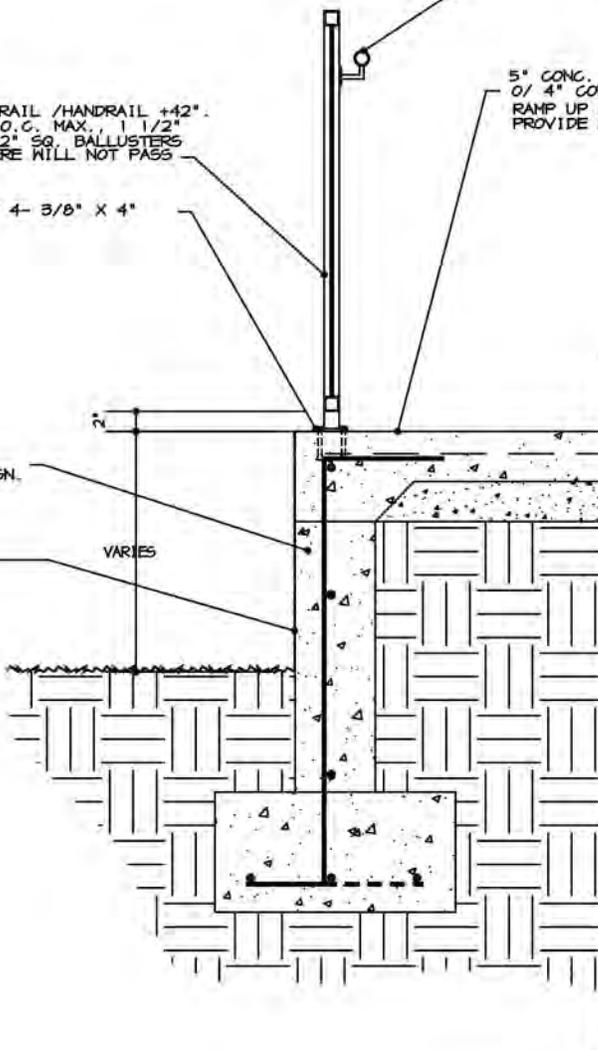
1 1/2" DIA. HANDRAIL W/ BRACKETS. +38"

5" CONC. SLAB W/ 6X6 10/10 W.W.M.
 0/ 4" COMPACTED GRANULAR FILL.
 RAMP UP @ 1:12 SLOPE MAX.
 PROVIDE BROOM FINISH.

CONCRETE FOUNDATION.
 SEE DETAIL 351 FOR DESIGN.

CEMENT STUCCO FINISH.

VARIES



GENERAL NOTE:

GUARDRAILS, HANDRAILS AND SUPPORTS MUST BE DESIGNED
 FOR 50 P.L.F. APPLIED IN ANY DIRECTION
 AT THE TOP OF THE TOP RAIL, AND A CONCENTRATED LOAD
 OF 200 LBS. APPLIED IN ANY DIRECTION AT
 ANY LOCATION ALONG THE TOP RAIL.



DETAIL

RAILING DETAIL

NTS



IN MISSOURI - GENERAL DESIGN AND RESTORATION INC.

GENERAL DESIGN INC. ARCHITECTURE

1000 N. BUSINESS 65 BRANSON, MISSOURI 65616

PH. (417) 334-1999 FAX (417) 334-0746 EMAIL: GENDESINC@AOL.COM

SPINNAKER WELCOME CENTER
 HILTON HEAD ISLAND, S.C.
 ISSUE DATE: 9/17/16
 CHECKED BY: AAU
 DRAWN BY: ELS
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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Spinnaker Welcome Center – NEW DEVELOPMENT
FINAL

DRB#: DRB-000795-2016

DATE: May 24, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Primary material is stucco in light brown color
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4.5/12; roof pitch of entry element has been revised to match main roof pitch
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials – stucco & metal roof; Colors – beige & green. To match existing
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Columns, hardie siding
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show proposed utilities including appropriate screening on final plans.
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Welcome Center designed to coordinate with existing condominium buildings

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	+/- 5 specimen trees
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TBD
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Development within wetlands & wetland buffers is not allowed without an ACOE permit and wetland mitigation.
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Fire truck turn lane is slightly encroaching into street buffer.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>5-10-14</u>
Accepted by:	<u>LD</u>
DRB #:	<u>877-16</u>
Meeting Date:	_____

Applicant/Agent Name: Jennifer B. Ray Company: Town of Hilton Head Island
 Mailing Address: One Town Center Ct. City: HHI State: SC Zip: 29928
 Telephone: 843 341 4665 Fax: 843 842 8908 E-mail: Jennifer@hiltonheadislandsc.gov
 Project Name: Coligny District Redevelopment Project Address: 90 Pope Ave
 Parcel Number [PIN]: R553 018 000 0256 0000
 Zoning District: CR Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

N/A Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

Final site development plan meeting the requirements of Appendix D: D-6.F.

Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

_____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Quiter B. Ray
SIGNATURE

5/10/16
DATE

Coligny District Master Plan- Conceptual DRB Narrative

- **Project Overview:**

- This project encompasses improvements for a new Coligny Park, as well as improvements to Nassau Street, and a new Lagoon Road Extension (tying Pope Avenue to Tanglewood Drive).
- The centerpiece of the project is the construction of a new public park containing a destination playground, an interactive fountain with restroom building, a new Children's Museum, an open-air concert pavilion, a restroom/information center/shuttle building, adult fitness stations, boardwalks and a large central open space.
- Other features include new leisure trails, heavy landscaping, irrigation and signage.

- **Existing Site Conditions:**

- A large portion of the park site is currently undeveloped. A portion of the property is currently used for the Town's beach services (refuse collection, etc.) and for overflow parking on busy beach days. The area just south of Nassau Street and west of Pope Avenue previously contained a putt-putt golf course and supporting parking area. Both areas are being demolished in preparation for the new park.
- The park site currently has a storm water detention pond on the back portion of the site. This pond will be retained, however it will be reshaped and expanded to allow for the extension of South Lagoon Road and for storage of any new storm water runoff resulting from building/park/street/parking development. The adjustment in shape includes segments of new bulkhead as indicated on the plans.
- An existing isolated wetland located along Pope Avenue will be filled to provide direct pedestrian access and to open views to the park.
- A large number of hazard trees currently exist on the site and will be removed, however, great efforts have been made to retain as many healthy trees as are practical.
- Bike Trails: Sections of existing asphalt bike path and a wood bridge along Pope Avenue are being demolished and replaced with a new multi-use trail.
- Parking lot and a small number of area standard lights will be provided through a lease agreement with Palmetto Electric, utilizing their standard shoebox fixtures on wood poles. The remaining lighting will be part of the park construction, and will be owned & operated by the Town.

- **Road & Pedestrian/Bike Network Improvements :**

- Pope Avenue Area: A new park identification will be added at the four corners of the park: Pope Avenue & Nassau Street; at the new Lagoon Road Extension & Pope Avenue intersection; and at the rear of the park on Nassau Street and Lagoon Rd. Extension. At each of these locations new pedestrian nodes have been created. Two new multi-use pathways (one paralleling Pope Ave, and the other curving into the park) will be added on the park side of Pope Avenue.
- Arbors and backless benches will be added along the curved interior pathway on Pope Ave.



- Nassau Street: A portion of Nassau Street will be improved (to comply with Town Code- the existing “road” is actually a drive aisle through Circle Center’s parking lot). This improved section will tie into existing Nassau Street just north of Coral Sands Resorts linking back to Pope Avenue. New on-street parallel parking spaces and a new sidewalk will be added on the park side of the street. At the south end of the park a new node for pedestrians entering the park has been created and supplemented with adult exercise equipment.
- Lagoon Road Extension (new): A new road extension – South Lagoon Road (extended)- will be added linking Pope Avenue and Tanglewood Drive. This road will begin with an improved curb cut at Pope Avenue serving the Town Beach Parking Lot and will provide areas of new parallel and angled parking as well as sidewalks. An “eyebrow” with vehicular specialty pavement marks the entry zone at the restroom building which could also serve as a future shuttle stop at the park. There will also be another “eyebrow” creating a turn-around and entry at the existing beach parking lot. Along the new Lagoon Rd. Extension and at the south end of the park a new node for pedestrians entering the park has been created and supplemented with adult exercise equipment.
- **Park Improvements:**
 - Park Core: Anchoring the park in the northeast corner will be a new parking area. This lot will serve the park, the Children’s Museum and will also serve as the “back of house” area for events scheduled in the pavilion. Southeast of the new lot will be an open air concert pavilion that is raised approximately 24” with broad brick steps facing a large open lawn area. Walks flanking each side of the pavilion will ramp down as they move towards the grand lawn. Across the open space from the pavilion is a restroom/information center/future shuttle stop building. The open lawn will be surrounded by concrete walks with bollards, standard benches and two arbors on the Pope Avenue end of the lawn. Bicycle parking has been strategically placed throughout the park.
 - Destination Playground: At the west end of the park will be a new destination/adventure playground with a Lowcountry/ nature focus. A central gathering oval with a raised planter serves as the entry point to the playground area. The playground will be enclosed with a 4’ ornamental fence system and ornamental entry gating with shade structure and signage. The playground will contain a water play area (interactive tidal pool), an “adventure ship” custom play structure as the area’s centerpiece, and other play structures for small children (ages 2-5) including swings.
 - Interactive Water Feature: An interactive tidal pool will represent varying ecological zones found in the Lowcountry- starting with a shallow sand/beach area. Here the water feature will begin by “bubbling up” at intervals to represent the changing tide. A shallow (2-3”) hard bottomed/sandy finished stream with shell imprints will move from this area under a small bridge and into a slightly deeper (4-8” deep) mud flat area- again hard bottomed and representing the tidal marsh mud flats. The mud flat area will be for viewing/interpretation and will not be interactive. The water will continue from there under a second bridge and into a “black bottomed” pool of 12-18” depth (representing freshwater uplands & again planted with appropriate vegetation) near the new



Children's Museum. This area will be for viewing/interpretation as well. All segments of the water feature will locate mechanical equipment in a vault located within a nearby plant bed. Interpretive signage will mark each section, providing information on Lowcountry flora and fauna.

- **Playground Adventure Ship:** The playground will utilize standard play equipment components with custom ornamentation such as sails, riggings, climbing nets and other custom elements including slides. It will also contain cannons which can be activated to produce spray misters (to simulate firing). The back side of the ship contains a ramp, providing ADA access to the ship as well as a connection to a 2-5 year old play component that is designed to appear as a dinghy. The ship will be surrounded with sand surfacing supported by areas of poured in place (rubberized) play surfacing providing handicap access to the ship and dinghy.
 - **Adventure Walk:** Just west of the interactive fountain will be an interpretive adventure walk. This sidewalk is marked with an entry monument and a walk that leads to other discovery areas such as a digging area (sand covering concrete elements that can be exposed by digging) with additional interpretive signs; and a nature-themed balance beam, log steppers, climbing turtle, crawl log and a log-style teeter totter. The walk then bypasses a restroom building before leading to a 2-5 year old roofed play structure. It will be surrounded by poured in place (rubberized) play surfacing and punctuated with a large 20' canvas shade umbrella.
 - **Directly south of the ship** are (2) arbor swings and a large compass rose that leads directly to two boardwalk areas. One will be anchored with a pier and pavilion extending over the lagoon. The second boardwalk is a loop trail that traverses under a large live oak tree and over the pond before tying back into the playground area.
 - **The east side of the playground** includes a series of small "rooms" created through placement of walks and landscaping. The area directly to the east of the adventure ship will contain both individual swings and a group/"oodle" swing.
 - **South and east of the interactive fountain** is a small picnic area with (2) shade umbrellas overhead.
 - **Safety surfacing in the playground areas** will be a blending of deep sand (12" +) and poured in place rubber surfacing (on a concrete base).
- **Enhanced Lagoon:** The existing lagoon will be completely reshaped and expanded to surround the play area, creating the feeling of an island. The lagoon will include littoral shelves with aquatic planting, a low water jet to recirculate water, and a new bulkhead along the sidewalk adjacent to the Lagoon Road on-street parking and event lawn. A trail system will circumnavigate the lagoon tying into the park's walk network.
- **"Setting Sun"**- purchased from the Public Art Exhibition will be placed in the expanded pond.



BUILDINGS:

- Children's Museum Building: The new +/- 4,000 SF Children's Museum will be located adjacent to the playground. The exterior façade will consist of hard coat stucco with tabby shell imbedded base, a brick ledge and Hardi Plank lap siding- Artisan Collection with additional thickness (taking cues from existing details at Coligny Beach Park). Trim and detailing will be in Hardi Plank trim boards. The sunshade trim on the windows will be aluminum finished with a wood appearance with steel brackets off the main structure. Connections to heavy timber columns and frames will be accentuated with stainless steel metal straps and plates. Tongue and groove wood roof/ceiling and heavy timber framing will be finished with a semi-solid Cabot's or similar stain. Roof will be standing seam Kynar coated aluminum (or similar), the high roof slopes 6/12; the lower portion of the roof will slope 3/12. The canopy roof has a minimal slope of 3/12. Windows will be Anderson-type double hung aluminum clad wood windows with low E glazing, stained interior. All glass and glass walls will be framed in with heavy timber beams and columns to divide up the window units. Exterior doors will be aluminum clad wood stained. Small stainless steel ceiling fans will be provided under the porches. Attached to the rear of the building will be a raised deck with cable rail handrail covered with canvas shade sails. ADA access will be provided to the back deck through a ramp on the Nassau Street side. The primary deck area will step down 2' at the black bottom pool to a lower level deck with handrails.
- Open Air Concert Pavilion: Located on the north side of the park is a +/- 3,800 SF open air concert pavilion with slightly less than 1,000 SF of enclosed storage split into two areas. The structure will consist of heavy timber columns, tongue and groove wood roof/ceiling and heavy timber framing to have semi-transparent Cabot's or similar stain. Connections to heavy timber columns will be accentuated with stainless steel metal straps and plates. The sunshade trim will be aluminum finished with a wood appearance with steel brackets off the main structure. The roof will be standing seam Kynar painted aluminum. The main roof structure slopes 6/12; the lower side roofs slope 2/12. Large fans will be provided in the main space of the building and on the two sides. Storage rooms will be constructed of CMU with Hardie Plank lap siding (Artisan Collection with additional thickness). A solid ipe wood barn door with stainless steel hardware to accommodate a golf cart will be provided in the storage areas.
- Restroom/Information Center/Shuttle Stop: Located on the south side of the park and adjacent to a new pull-off from South Lagoon Road this building is split into two +/- 400 SF buildings connected by a pass through. Walls will be CMU with tabby stucco up to a brick cap (water table) and Hardi Plank lap siding (Artisan Collection with additional thickness). Trim and detailing will be Hardi Plank. The center pass through will be heavy timber construction with tongue and groove wood roof/ceiling with a semi-solid Cabot's or similar stain. There will be windows behind all of the sun-screening devices. The sunshade trim on the windows will be aluminum finished with a wood appearance with steel brackets off the main structure. Roof structure will be heavy timber wood trusses with standing seam Kynar painted aluminum or similar material. The high roofs slope 6/12, the lower roofs slope 3/12. Ceiling fans will be placed in the pass through



and porch areas. Connections to heavy timber columns and frames will be accentuated with stainless steel metal straps and plates. Exterior doors will be hollow metal, painted. Windows will be Anderson-type double hung aluminum clad wood windows with 1" insulated low E glazing. Mounted to the front of the main building will be a stainless steel replica of the Town logo.

Playground Restroom Building:

This will be a men's and women's single fixture each restrooms located near the playground pool, designed to meet DHEC requirements. Walls will be CMU with tabby stucco up to a brick cap (water table) and Hardi Plank lap siding (Artisan Collection with additional thickness). Trim and detailing will be Hardi Plank. The center pass through will be heavy timber construction with tongue and groove wood roof/ceiling with a semi-solid Cabot's or similar stain. Roof structure will be heavy timber wood trusses with standing seam Kynar painted aluminum or similar material. The roofs slope 6/12. Ceiling fans will be placed in porch areas.

END OF MEMO

FOREST BEACH OWNERS' ASSOCIATION, INC.

P O Box 6442

Hilton Head Island, SC 29938-6442

(843)785-5565 FAX (843) 342-3801

Email: FBAssn@aol.com

May 6, 2016

Town of Hilton Head Island
Attn: Jennifer Ray, Project Manager
One Town Center CT
Hilton Head Island, SC 29928

Re: 80 & 90 Pope Avenue (CFB)
Commercial Building Permit
Permit #2016-05

Dear Ms. Ray:

Thank you for your submission for architectural review for a planned neighborhood park with full amenities including playground, water features, restrooms, and children's museum at the above location. We have issued a permit for construction of these facilities at this location. This permit is conditional upon the following:

- 1) Our review is based upon the documents, drawings, photos and narratives submitted to us by Wood & Partners with an application date of 4/28/16, received on 5/1/16.
- 2) Approval is based upon the stated use and occupancy in the submitted plans. Any change in use or occupancy of the planned structures will require a new review and possible changes to the approved parking plan as shown on the documents received.
- 3) Any changes to the submitted plans required by any department of the Town of Hilton Head Island must be re-submitted to the Association for review prior to adoption.
- 4) No exterior lighting, other than that shown on the submitted plans, is approved.
- 5) Approval of all exterior colors and finish materials along with the roofing material and color is given based upon the submitted plans and spec sheets. Any changes from the submitted colors, including options, must be made prior to installation and re-submitted for approval.
- 6) Any service areas and/or utilities serving facilities and the structure(s) must be screened from view of adjoining properties, roads and public areas.
- 7) No application for a sign has been submitted. A separate application will be required when signage is to be placed at this location.
- 8) Fencing is approved as submitted on the above plans.
- 9) Nothing may be placed or constructed within any buffer areas except landscaping and pathway materials.
- 10) All approvals given are subject to the Town of Hilton Head Island LMO and appropriate departmental reviews and approvals.

Any changes/additions/modifications to the submitted and approved plans must be submitted to the FBOA ARB for review and approval before construction of the change/addition/modification is begun. Failure to do so may result in a covenant violation. Items not shown on the submitted plans are not approved and a separate application will be required. Upon the FBOA ARB's written notification of completion of work being performed under this permit a final inspection will be made. Approval for any work not completed at that time will expire and a new application for FBOA ARB approval will be required.

This letter constitutes your ARB Building Permit. We request that a copy of this be posted at the site, during construction, alongside the Town of Hilton Head Island Building Permit(s).

Please make a note of any additional items we require above. Failure to submit these documents for review prior to installation may cause a covenant violation and a delay in completing our review procedure.

Once construction has been completed, you must notify us in writing so that we may make a final inspection and close our file on this project.

Thank you for your submission, and, please do not hesitate contact us with any questions.

Sincerely,

John D. Snodgrass

John D. Snodgrass,
Executive Director

JDS:me

Cc: Kyle Theodore, Wood & Partners

Coligny Park
Hilton Head, SC

Materials & Site Furnishings

(See plans for specific locations)

May 10, 2016

HARDSCAPE

WALKS

- SCOFIELD COLOR SWATCHES
- ROCK SALT CONCRETE
- OYSTER SHELL CONCRETE
- BOARDWALK FINISHED (BOARDFORM) CONCRETE
- FRACTURED EARTH CONCRETE
- STAMPED CONCRETE IMPRESSIONS

PAVERS

- PERMEABLE VEHICULAR PAVER
- DECORATIVE PEDESTRIAN PAVER

PLAYGROUND

- RUBBER SURFACE
- SAND SURFACE
- FENCE

SITE FURNISHINGS

- BENCHES
- PICNIC TABLE
- SHADE UMBRELLA
- TRASH/RECYCLING RECEPTACLES
- DRINKING FOUNTAINS
- BIKE RACK
- BOLLARDS
- PET WASTE DISPOSAL STATION
- EXERCISE EQUIPMENT
- SCULPTURE
- COMPASS ROSE

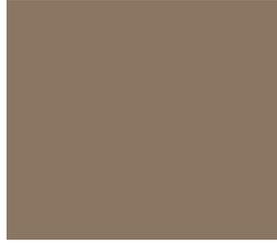
LIGHTING

- PATH LIGHTS
- INTERNAL COLUMN LIGHTS
- ACCENT UPLIGHTS

POND AERATOR



MESA BEIGE



PECAN TAN

Scofield Color Swatches

- & Chromix Admixture: Mesa Beige
- & Lithochrome Color Hardener: Pecan Tan
- & Lithochrome Antique Release: Cordovan Brown (swatch not available)



COLOR HARDENER: PECAN TAN
ANTIQUE RELEASE: CORDOVAN BROWN

Scofield Lithochrome Example



ROCK SALT FINISH

Concrete with Rock Salt Finish

- & Finish: Coarse Broom Swept with Animal Impressions & Rock Salt Finish
- & Color: Scofield Chromix Admixture Mesa Beige



OYSTER SHELL FINISH

4" & 6" Thick Oyster Shell Concrete Walks

- & 50:50 Mix of #2 & #3 Oyster Shell
- & Color: Natural



CONCRETE WALK WITH BOARDWALK FINISH

Boardwalk Finished (Boardform) Concrete:

- & Pattern: Weathered Wood Impression
- & Scofield Lithochrome Color Hardener: Pecan Tan
- & Scofield Lithochrome Antique Release Color: Cordovan Brown
- & Seal: Cureseal Semi-Gloss



FRACTURED EARTH FINISH

Fractured Earth Concrete

- Pattern: Fractured Earth Embossing Skin
- Color: Schofield Chromix Admixture Mesa Beige C-12



CONCRETE IMPRESSIONS



Stamped Concrete Impressions

- Crab
- Starfish
- Sand Dollar
- Seashell
- Bird Footprint
- Saw Palmetto

PAVERS



PERMEABLE VEHICULAR PAVERS

Permeable Vehicular Pavers

- & Lowcountry Pavers - Hydrashed Permeable Pavers
- & Color: Shrimp Boil
- & Pattern: Herringbone with Double Header Border



DECORATIVE PEDESTRIAN PAVERS

Decorative Pedestrian Pavers

- & Pine Hall Brick
- & Color: 50% Bluff : 50% Cocoa
- & Finish: Rumbled
- & Pattern: 90° Herringbone

PLAYGROUND



COLOR 1



COLOR 2

POURED-IN-PLACE RUBBER SURFACE

Rubber Surface

- Vitriturf- Poured-in-Place Playground Surface
- Color 1: 50% Eggshell: 50% Brown
- Color 2: 33% Eggshell: 33% Brown: 33% Black



SAND SURFACE

Sand Surface



FENCE

Fence

- Ameristar - Echelon II Majestic
- Material: Aluminum Fence Sections with Wood Posts
- Color: Bronze
- Height: 4-Feet
- See Detail 6/L301

SITE FURNISHINGS



BENCH TYPE 1

Site Bench (Type 1)

- & Structura - UB116 - (6) Slat w/ Back
- Material: Aluminum Frame w/ IPE Slats
- Frame Color: Dark Bronze



BENCH TYPE 2

Site Bench (Type 2)

- & Structura - UB114 - (4) Slat w/o Back
- Material: Aluminum Frame w/ IPE Slats
- Frame Color: Dark Bronze



FALLEN TREE BENCH

Fallen Tree Bench

- CRE8PLAY - #5000004
- & Material: Wood
- Finish: Natural (as shown)



CIRCULAR BENCH

Circular Bench with Back

- & Country Casual - Windermere Circular Bench with Back
- & Material: Teak
- Finish: Natural



Picnic Table

- & Equiparc - EP2886
- & Material/ Color: Ipe and Dark Bronze

PICNIC TABLE



Shade Umbrella

- & Shade Systems - 16' (U1608) & 20' (U2008)
- & Material: CoolNet™
- & Color: Eggshell White Shade w/ Coffee Brown Pole

SHADE UMBRELLA



Trash Receptacle

- Victor Stanley - SD-42 w/ Side Opening Door
- Color: Poly Powder Coat Bronze
- Lid: Tapered Formed
- Capacity: 36-gal

TRASH RECEPTACLE



Recycling Receptacle

- Victor Stanley - SD-242 w/ Side Opening Door
- Color: Poly Powder Coat Bronze
- Lid: Tapered Formed and Recycle Lid
- Capacity: 36 gal

RECYCLING RECEPTACLE

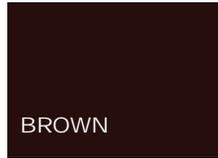




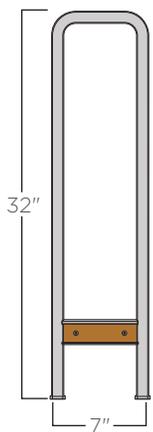
DRINKING FOUNTAIN (TYPE A)

Drinking Fountain (Type A)

- Most Dependable Fountains - 10155 SM w/ Pet Fountain, ADA Compliant
- Material: Brushed Aluminum w/ Powder Coat Finish
- Color: Brown



BROWN



BIKE RACK



Bike Rack

- Structura - Duo BR
- Material: Aluminum Frame w/ IPE
- Frame Color: Dark Bronze



DARK BRONZE



IPE



- Removable Bollard/ Fixed Bollard
- & Fairweather Site Furnishings - Model B-3
 - & Color: Mineral Bronze

REMOVABLE BOLLARD/ FIXED BOLLARD



- LED Bike Bollard
- Structura - Duo BL
 - Material: Aluminum Frame w/ IPE
 - Frame Color: Dark Bronze



LED Bike Bollard



- Pet Waste Disposal Station
- & Dogipot - Model 1003-L
 - & Material: Aluminum
 - & Color: As shown
 - & To be mounted to 4x4 wood post (not on unistrut as shown).

PET WASTE DISPOSAL STATION



TWO PERSON LAT PULL & VERTICAL PRESS

Two Person Accessible Lat Pull & Vertical Press Fitness Station

- [Greenfields Outdoor Fitness](#)
- GR2005-1-48C-W
- Color: As shown



SINGLE ELLIPTICAL

Single Elliptical Fitness Station

- Greenfields Outdoor Fitness
- HP2009-5-03
- Color: As shown



TWO PERSON LEG PRESS

Two Person Leg Press

- Greenfields Outdoor Fitness
- HP2009-5-05
- Color: As shown



STAIR CLIMBER

Stair Climber

- Greenfields Outdoor Fitness
- GR2005-1-92
- Color: As shown



FOUR PERSON PENDULUM

Four Person Pendulum, ABs and Dip Station

- Greenfields Outdoor Fitness
- GR2005-1-22
- Color: As shown



ROWER

Rower

- Greenfields Outdoor Fitness
- HP2009-5-05
- Color: As shown

Whimsical Bird Sculpture

- Design Toscano
- Heron Cast Bronze Garden Statue Set
- Material: Bronze
- To be placed in fountain, Pond 3 Section



BIRD SCULPTURE



TURTLES ON A LOG SCULPTURE

Turtles On A Log Sculpture

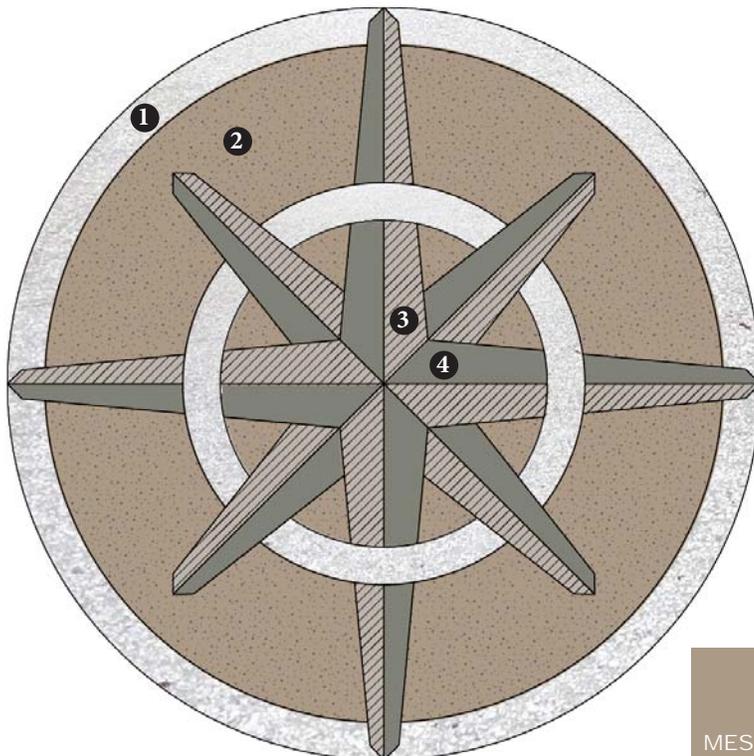
- Eric Thorsen Gallery
- Material: Bronze
- To be placed in fountain, Pond 3 Section



BENCH FROG SCULPTURE

Bench Frog Sculpture

- Beau Smith's Studio
- Material: Bronze



COMPASS ROSE

Compass Rose

- Varying Concrete Finishes
- Material: Concrete
- Colors:

Concrete ① Finish

Natural, Oyster Shell

Concrete ② Finish

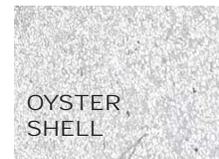
Mesa Beige, Rock Salt Finish

Concrete ③ Finish

Porcelain Grey, Light Broom Finish

Concrete ④ Finish

Shadow Slate, Light Broom Finish



LIGHTING



DECORATIVE LIGHT BOLLARD

- Decorative Bollard Light
- Fairweather Site Furnishings
 - B-3-L Lighted Steel Bollard
 - Color: Mineral Bronze



WALL MOUNTED STEP LIGHT

- Wall Mounted Step Light
- & Juno
 - & 838 LED-13-3K-WH and IC115LEDHSG (white housing)
 - & Color: Bronze



POST MOUNTED STEP LIGHT

- Post Mounted Step Light
- & Hadco
 - & RRB1 IHP
 - & Color: Bronze



INTERNAL COLUMN LIGHT

Internal Column Light

- LSI
- XALV-WCD-LED20 WW WF 120V SCDR
- Color: Bronze



IN GROUND ACCENT TREE UPLIGHT

In Ground Accent Tree Uplight

- LSI
- XIG-A-LED-19-350-WW-UE-SP10-BRZ-RGB
- Color: Bronze



SIGN FLOOD LIGHT

Sign Flood Light

- & LSI
- & Medium Flood Light LED, PFLM-WFL-LED-SS-NW-UE-BRZ-PC120
- & Color: Bronze



ACCENT TREE UPLIGHT

Accent Tree Uplight (for Signs)

- & LSI
- & Large Flood Light LED, XBAL-SP10-LED-SS-WW-UE-BRZ-DSF-SPB
- & Color: Bronze



LARGE SHOEBOX

Large Shoebox Light

- [Palmetto Electric Coop](#)
- Approved Large Shoebox
- Color: Standard w/ Wood Pole



SMALL SHOEBOX

Small Shoebox Light

- [Palmetto Electric Coop](#)
- Approved Small Shoebox
- Color: Standard w/ Wood Pole



POND AERATOR

Pond Aerator

- [Otterbine Barebo, Inc.](#)
- Phoenix Model



21 April 2016

Exterior Color Selections

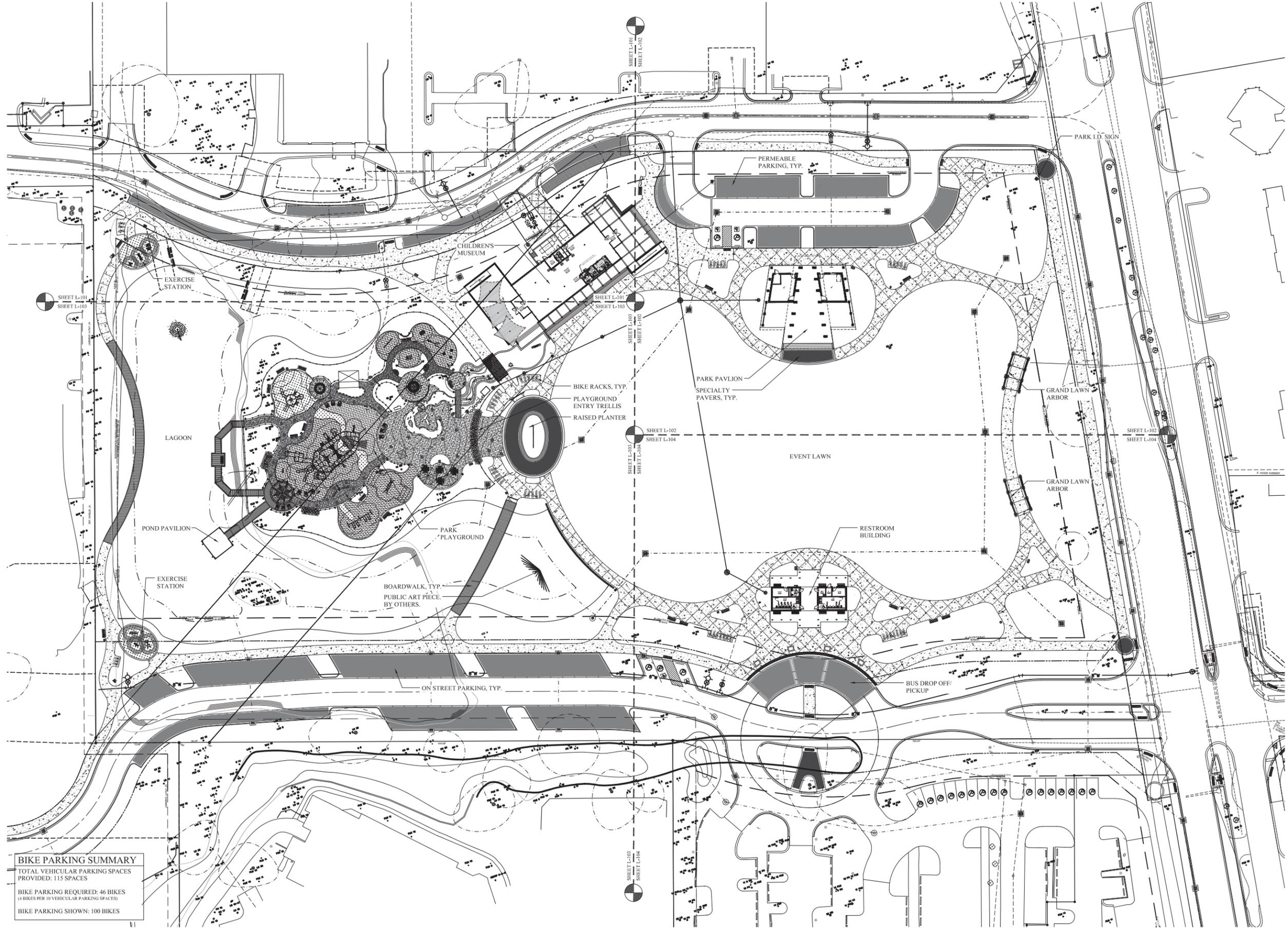
RE: Coligny Park
Town of Hilton Head Island
WTS#:1406

From: Gene Bell /Watson Tate Savory

Item	Manufacturer	Color	Sample
Siding	HardiePlank	Timber Bark	
Siding Trim	HardiePlank	Cobble Stone (Sample is for color only, trim will be smooth texture)	
Wood Structure and Ceiling	Cabots Semi-Solid Stain	Beechwood Gray	

Sunshades	Hunter Douglas	Clipper Teak #8446	
Tabby Stucco	(To Match Coligny Waterfront Park)		
Brick Trim	Carolina Ceramics	Monaco Rustic	
Roof Panels and Trim	Pac-Clad	Zinc	
Clad Wood Windows	Jeld-wen	Desert Sand	

END OF MEMORANDUM

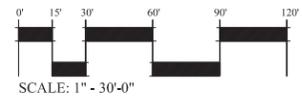


BIKE PARKING SUMMARY

TOTAL VEHICULAR PARKING SPACES PROVIDED: 115 SPACES

BIKE PARKING REQUIRED: 46 BIKES (4 BIKES PER 10 VEHICULAR PARKING SPACES)

BIKE PARKING SHOWN: 100 BIKES



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, L.L.C. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
 PLAN IS SUBJECT TO CHANGE.

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHL
 CHECKED BY: TG

This drawing is an instrument of service & remains the property of Wood+Partners Inc. It may not be copied or reproduced in any manner without written permission.

PROFESSIONAL STAMPS:



#	REVISION	DATE BY

DATE: 5-10-2016
 PROJECT NUMBER: 01-16002
 SHEET TITLE:

Overall Site Plan

Wood+Partners Inc. WPI
 Landscape Architects
 Land Partners

PO Box 23049 # Hilton Head Island, SC 29928
 843.887.8878 • Fax 843.887.7388 • www.woodpartners.com

SHEET NUMBER
L-100

Town of Hilton Head Island
 One Town Center Court
 Hilton Head Island, SC 29928

SITE KEY LEGEND:

ARCHITECTURE:	
A1	MUSEUM BUILDING SEE ARCHITECTURAL DRAWINGS
A2	CONCERT PAVILION SEE ARCHITECTURAL DRAWINGS
A3	RESTROOM / DROP-OFF BUILDING SEE ARCHITECTURAL DRAWINGS
A4	POND PAVILION SEE ARCHITECTURAL DRAWINGS
A5	SHADE SAIL FEATURE @ MUSEUM SEE ARCHITECTURAL DRAWINGS
SITE WORK: PAVEMENT	
S1	CONCRETE WALKWAY (4" & 6") DETAIL 1: L-1000
S2	STAMPED CONCRETE WALK DETAIL 2: L-1000
S3	STAMPED CONCRETE IMPRESSIONS DETAIL 3: L-1000
S4	DETECTABLE WARNING DEVICE DETAIL 5: L-1000
S5	CONCRETE CURB RESTRAINT DETAIL 11: L-1000
S6	VEHICULAR PAVING (PATTERN ONLY) DETAIL 6: L-1000
S7	SPECIALTY PAVING (PEDESTRIAN) DETAIL 7: L-1000
S8	SAND PLAYGROUND SURFACE DETAIL 9: L-1000
S9	POURED IN PLACE RUBBER SURFACE DETAIL 8: L-1000
S10	CANTILEVERED DECK DETAIL 5: L-1000
SITE FEATURES:	
S11	GRAND LAWN ARBOR DETAIL 1: L-1000
S12	PLAYGROUND GATEWAY DETAIL 1: L-1000
S13	CIRCULAR ARBOR TREE DETAIL 3: L-1000
S14	SWING TRELLIS DETAIL 3: L-1000
S15	RAISED PLANTER / SEATWALL DETAIL 9: L-1000
S16	PILE WALL DETAIL 3: L-1000
S17	CURVED TONGUE & GROOVE WOOD WALL DETAIL 1: L-1000
S18	ROPE AND PILE FENCE DETAIL 4: L-1000
S19	DISCOVERY TRAIL GATEWAY DETAIL 3: L-1000
S20	PLAYGROUND ENCLOSURE FENCE DETAIL 9: L-1000
S21	BULKHEAD & RAILING DETAIL 1: L-1000
S22	CABLE RAIL SYSTEM DETAIL 5: L-1000

SITE FEATURES CONT'D:	
S23	BOARDWALK DETAIL 4: L-1000
S24	PLAYGROUND PEDESTRIAN BRIDGE DETAIL 7: L-1000
S25	BRICK PAVILION STAIRS DETAIL 5: L-1000
S26	PARK ID SIGN DETAIL 1: L-1000
S27	SHADE UMBRELLAS DETAIL 2: L-1000
S28	WATER FEATURE SEE WATER FEATURE DRAWINGS
S29	INTERPRETIVE PARK SIGNS DETAIL SHEET L-1007
S30	COMPASS ROSE PAVING AREA DETAIL 7: L-1000
S31	PALM TREE PLANTER WELL DETAIL 10: L-1000
S32	ON GRADE BOARDWALK DETAIL 7: L-1000
S33	TRENCH DRAIN TYPES A & B DETAIL
S34	DECK DRAIN DETAIL
RECREATION FEATURES:	
R1	ICONIC SHIP STRUCTURE BY OTHERS - FOR REFERENCE ONLY
R2	2-5 YEAR STRUCTURE BY OTHERS - FOR REFERENCE ONLY
R3	SWINGS BY OTHERS - FOR REFERENCE ONLY
R4	MULTI-USER SWING PLATFORM BY OTHERS - FOR REFERENCE ONLY
R5	WHIMSICAL RIDERS (DOLPHINS & SEA HORSE) BY OTHERS - FOR REFERENCE ONLY
R6	FOSSIL DIGS (SHELLS, SHARK TEETH, CRABS) BY OTHERS - FOR REFERENCE ONLY
R7	CLIMBING TURTLE BY OTHERS - FOR REFERENCE ONLY
R8	SEESAW BY OTHERS - FOR REFERENCE ONLY
R9	FROG SCULPTURE ON LOG DETAIL 9: L-1000
R10	TURTLES ON LOG DETAIL 5: L-1000
R11	WHIMSICAL BIRD SCULPTURE DETAIL 1: L-1000
R12	PLAYGROUND KIOSK WITH MAP DETAIL 2: L-1000
R13	LOG STEPPER BY OTHERS - FOR REFERENCE ONLY
R14	LOG BALANCE BEAM BY OTHERS - FOR REFERENCE ONLY
R15	LOG CRAWL / TUNNEL BY OTHERS - FOR REFERENCE ONLY
R16	TALK TUBS BY OTHERS - FOR REFERENCE ONLY

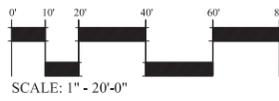
PAVING SCHEDULE:	
4" OYSTER SHELL CONCRETE: SEE DETAIL 14-300	CONCRETE CONTROL JOINT: SEE DETAIL 4L-300
6" OYSTER SHELL CONCRETE: SEE DETAIL 14-300	CONCRETE EXPANSION JOINT: SEE DETAIL 4L-300
FRACURED EARTH CONCRETE: SEE DETAIL 24-300	ROCK SALT CONCRETE: SEE DETAIL 1L-300
POURED IN PLACE RUBBER SURFACE: TYPE 1. SEE DETAIL 8L-300	BOARDFORM CONCRETE: SEE DETAIL 24-300
POURED IN PLACE RUBBER SURFACE: TYPE 2. SEE DETAIL 8L-300	

ADA DETECTABLE WARNING: SEE DETAIL 5L-300	VEHICULAR PAVEMENT PATTERN: SEE DETAIL 6L-300
DECORATIVE PAVEMENT (PEDESTRIAN): SEE DETAIL 7L-300	SAND PLAYGROUND SURFACE: SEE DETAIL 9L-300

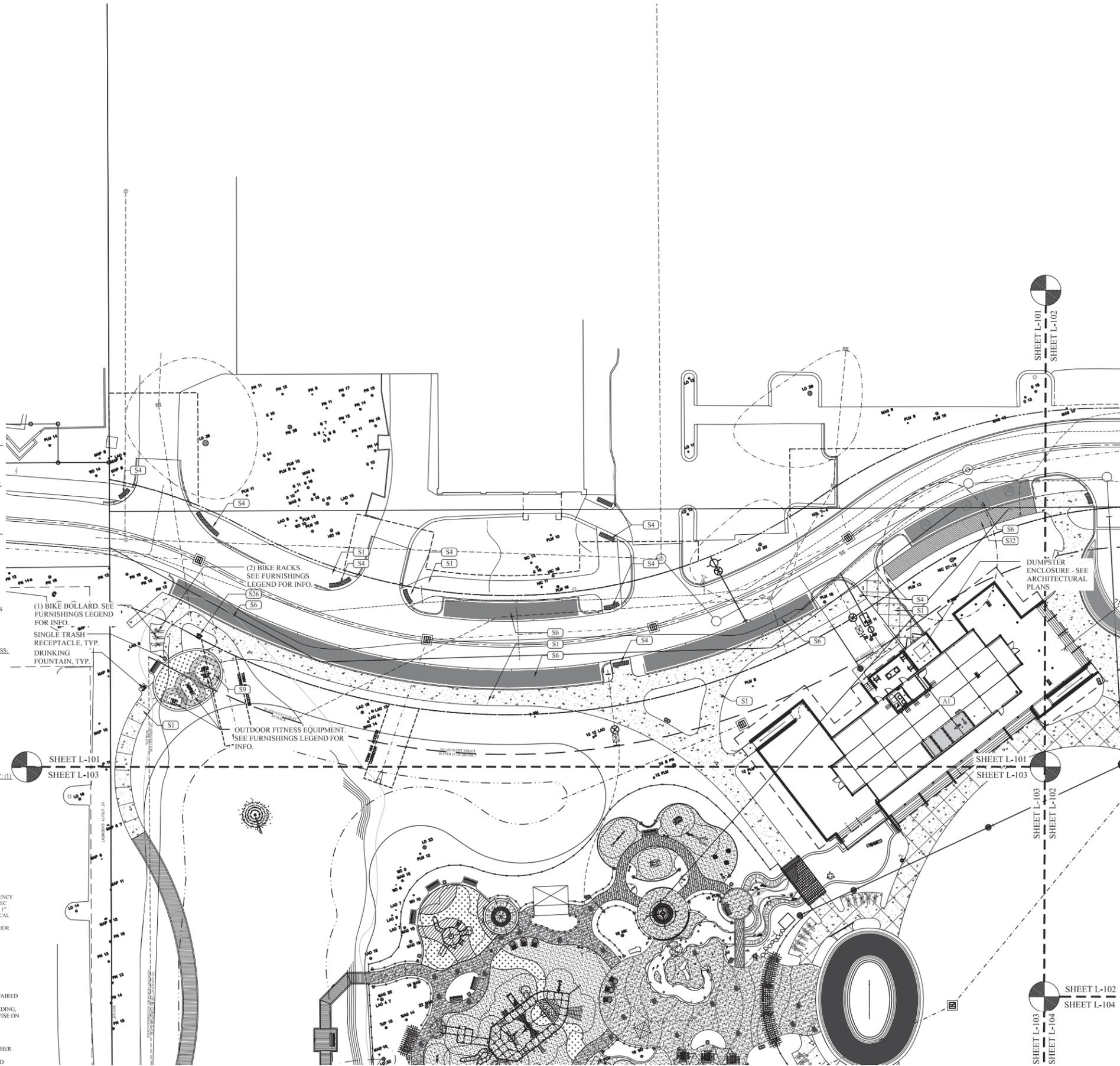
SITE FURNISHINGS SCHEDULE:	
PLAYGROUND FENCE: SEE DETAIL 6L-301	16" & 20" SHADE UMBRELLA: MANUFACTURER: SHADE SYSTEMS OR EQUAL MODEL: UH406 & U2086 SEE SITE PLANS FOR LOCATIONS AND SIZES
BENCH TYPE 1: QTY: (28) MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH6 - SIX SLAT WITH BACK SEE SITE PLAN FOR LOCATIONS	FALLEN TREE BENCH: QTY: (3) MANUFACTURER: CREPLAY OR EQUAL MODEL: #5000004. SEE SITE PLANS FOR LOCATIONS
BENCH TYPE 2: QTY: (6) MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH4 - FOUR SLAT BACKLESS SEE SITE PLAN FOR LOCATIONS	PICNIC TABLE: QTY: (4) MANUFACTURER: EQUIPARC OR EQUAL MODEL: EP 2886. IPE. SEE SITE PLANS FOR LOCATIONS
TRASH RECEPTACLE: QTY: (20) MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: SD-42 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATIONS	ROWER: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: GR2005-1-91 SEE SITE PLAN FOR LOCATIONS
RECYCLING RECEPTACLE: QTY: (6) MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: SD-342 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATIONS	2-PERSON ACCESSIBLE LATT PULL & VERTICAL PRESS: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: GR2005-48C-W SEE SITE PLAN FOR LOCATIONS
STAMPED CONCRETE IMPRESSIONS: SEE DETAIL 3: L-1000 SEE SITE PLAN FOR LOCATIONS	SINGLE ELLIPTICAL: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: HP2009-5-01 SEE SITE PLAN FOR LOCATIONS
BIKE RACKS QTY: (44) & BIKE BOLLARD QTY: (6): MANUFACTURER: STRUCTURA OR EQUAL MODEL: DVA-8R (44) & DCA-8L (6) COLOR: BLACK, POWDER COATED SEE SITE PLAN FOR LOCATIONS	TWO PERSON LEG PRESS: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: HP2009-5-05 SEE SITE PLAN FOR LOCATIONS
DECORATIVE BIKE RACKS: QTY: (1) SEE SITE PLAN FOR LOCATIONS	STAIR SLIMBER: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: GR2005-1-92 SEE SITE PLAN FOR LOCATIONS
DRINKING FOUNTAIN: TYPE A: QTY: (2) MANUFACTURER: MOST DEPENDABLE FOUNTAIN OR EQUAL MODEL: 10155 SM. W/ PET FOUNTAIN, A.D.A. COMPLIANT. SEE SITE PLAN FOR LOCATIONS	FOUR PERSON PENDULUM, ABS, & DIP STATION: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL. MODEL: GR2005-1-22 SEE SITE PLAN FOR LOCATIONS
FOOTWASH: QTY: (1) MANUFACTURER: MOST DEPENDABLE FOUNTAINS OR EQUAL MODEL: #525 SM W/ HOSE BIBB. COLOR: BROWN SEE SITE PLAN FOR LOCATIONS	WHIMSICAL BIRD SCULPTURE: QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
REMOVABLE BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL. MODEL: B-3. MINERAL BRONZE SEE SITE PLANS FOR LOCATIONS	TURTLES ON LOG SCULPTURE: QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
FIXED BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL. MODEL: B-3. MINERAL BRONZE SEE SITE PLANS FOR LOCATIONS	SCULPTURE ON BENCH: QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
CIRCULAR BENCH: QTY: (2) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS	EMERGENCY TELEPHONE (TOLL FREE): PROVIDE EMERGENCY PHONE (TOLL FREE) IN WATER TIGHT ENCLOSURE. PER DIECK REQUIREMENTS. MOUNT TO 6X6 P.T. POST AT 4'-0" WITH 1" CLAMP AT TOP. PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OR POOL AND DISPLAY AT PHONES. PROVIDE SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.
	PET WASTE DISPOSAL STATION: MANUFACTURER: DOGIPOT OR EQUAL MODEL: #1003-L SEE SITE PLANS FOR LOCATIONS

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
4. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
PLAN IS SUBJECT TO CHANGE.



PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: SH, EL
CHECKED BY: TG
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PROFESSIONAL STAMPS:

PRELIMINARY: NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Plan

Site Plan



PO Box 22049 • Hilton Head Island, SC 29928
843.887.8878 • Fax 843.887.7388 • www.woodpartners.com

SHEET NUMBER
L-101

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

SITE KEY LEGEND:

ARCHITECTURE:

- A1 MUSEUM BUILDING
SEE ARCHITECTURAL DRAWINGS
- A2 CONCERT PAVILION
SEE ARCHITECTURAL DRAWINGS
- A3 RESTROOM / DROP-OFF BUILDING
SEE ARCHITECTURAL DRAWINGS
- A4 POND PAVILION
SEE ARCHITECTURAL DRAWINGS
- A5 SHADE SAIL FEATURE @ MUSEUM
SEE ARCHITECTURAL DRAWINGS

SITE WORK: PAVEMENT

- S1 CONCRETE WALKWAY (4" & 6")
DETAIL 1: L-1000
- S2 STAMPED CONCRETE WALK
DETAIL 1: L-1000
- S3 STAMPED CONCRETE IMPRESSIONS
DETAIL 3: L-1000
- S4 DETECTABLE WARNING DEVICE
DETAIL 5: L-1000
- S5 CONCRETE CURB RESTRAINT
DETAIL 11: L-1000
- S6 VEHICULAR PAVING (PATTERN ONLY)
DETAIL 6: L-1000
- S7 SPECIALTY PAVING (PEDESTRIAN)
DETAIL 7: L-1000
- S8 SAND PLAYGROUND SURFACE
DETAIL 9: L-1000
- S9 POURED IN PLACE RUBBER SURFACE
DETAIL 8: L-1000
- S10 CANTILEVERED DECK
DETAIL 5: L-1000

SITE FEATURES:

- S11 GRAND LAWN ARBOR
DETAIL 1: L-1000
- S12 PLAYGROUND GATEWAY
DETAIL 1: L-1000
- S13 CIRCULAR ARBOR TREE
DETAIL 1: L-1000
- S14 SWING TRELLIS
DETAIL 3: L-1005
- S15 RAISED PLANTER / SEATWALL
DETAIL 6: L-1002
- S16 PILE WALL
DETAIL 3: L-1002
- S17 CURVED TONGUE & GROOVE WOOD WALL
DETAIL 1: L-1000
- S18 ROPE AND PILE FENCE
DETAIL 4: L-1002
- S19 DISCOVERY TRAIL GATEWAY
DETAIL 1: L-1000
- S20 7' PLAYGROUND ENCLOSURE FENCE
DETAIL 9: L-1001
- S21 BULKHEAD & RAILING
DETAIL 1: L-1001
- S22 CABLE RAIL SYSTEM
DETAIL 1: L-1001

PAVING SCHEDULE:

- | | | |
|---|--|--|
| 4" OYSTER SHELL CONCRETE:
SEE DETAIL 14-300 | CONCRETE CONTROL JOINT:
SEE DETAIL 4L-300 | ADA DETECTABLE WARNING:
SEE DETAIL 5L-300 |
| 6" OYSTER SHELL CONCRETE:
SEE DETAIL 15L-300 | CONCRETE EXPANSION JOINT:
SEE DETAIL 4L-300 | VEHICULAR PAVEMENT PATTERN:
SEE DETAIL 6L-300 |
| FRACTURED EARTH CONCRETE:
SEE DETAIL 24L-300 | ROCK SALT CONCRETE:
SEE DETAIL 1L-300 | DECORATIVE PAVEMENT (PEDESTRIAN):
SEE DETAIL 7L-300 |
| POURED IN PLACE RUBBER SURFACE:
TYPE 1: SEE DETAIL 8L-300
TYPE 2: SEE DETAIL 8L-300 | BOARDFORM CONCRETE:
SEE DETAIL 24L-300 | SAND PLAYGROUND SURFACE:
SEE DETAIL 9L-300 |

SITE FURNISHINGS SCHEDULE:

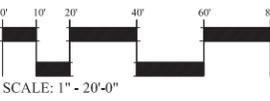
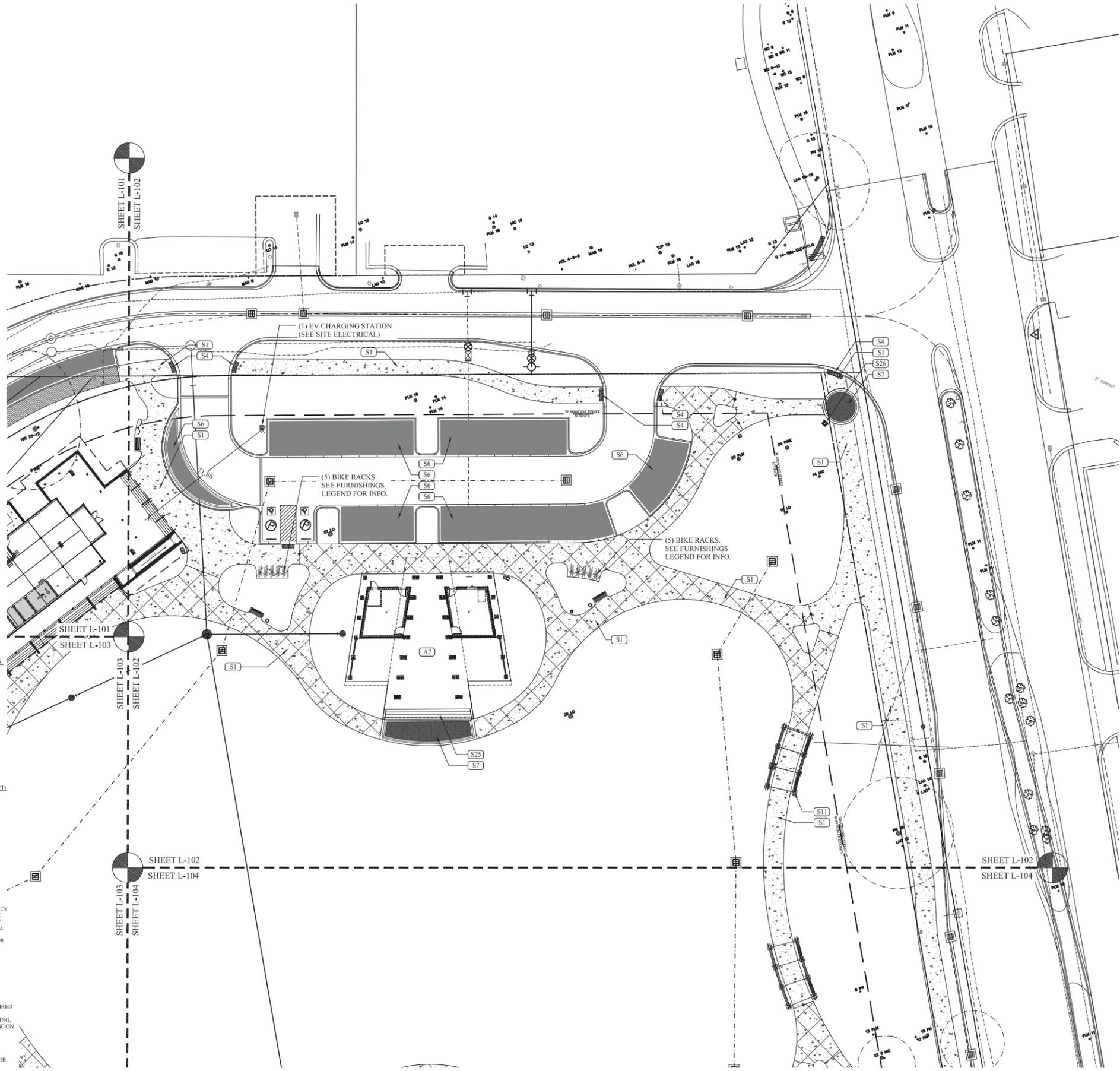
- PLAYGROUND FENCE:
SEE DETAIL 6L-301
- BENCH TYPE 1: QTY: (28)
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: 13016 - SIX SLAT WITH BACK
SEE SITE PLAN FOR LOCATIONS
- BENCH TYPE 2: QTY: (6)
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: 13016 - SIX SLAT WITH BACK
SEE SITE PLAN FOR LOCATIONS
- TRASH RECEPTACLE: QTY: (20)
MANUFACTURER: VICTOR STANLEY OR EQUAL
MODEL: SD-42 W/ SIDE OPENING DOOR
SEE SITE PLAN FOR LOCATION
- RECYCLING RECEPTACLE: QTY: (6)
MANUFACTURER: VICTOR STANLEY OR EQUAL
MODEL: SD-242 W/ SIDE OPENING DOOR
SEE SITE PLAN FOR LOCATION
- STAMPED CONCRETE IMPRESSIONS:
SEE DETAIL 3/ L-1000
SEE SITE PLAN FOR LOCATIONS
- BIKE RACKS QTY: (44) & BIKE BOLLARD QTY: (6):
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: DEX-BR (44) & DEX-BL (6)
COLOR: BLACK, POWDER COATED
SEE SITE PLAN FOR LOCATIONS
- DECORATIVE BIKE RACKS: QTY: (1)
MANUFACTURER:
SEE SITE PLAN FOR LOCATIONS
- DRINKING FOUNTAIN TYPE A: QTY: (2)
MANUFACTURER: MOST DEPENDABLE
FOUNTAIN OR EQUAL MODEL: 10155 SM,
W/ PET FOUNTAIN, A.D.A. COMPLIANT.
SEE SITE PLAN FOR LOCATIONS
- FOOTWASH: QTY: (1)
MANUFACTURER: MOST DEPENDABLE
FOUNTAIN OR EQUAL MODEL: #525 SM W/ HOSE BIBB, COLOR: BROWN
SEE SITE PLAN FOR LOCATIONS
- REMOVABLE BOLLARD:
MANUFACTURER: FAIRWEATHER SITE FURNISHINGS
OR EQUAL MODEL: B-3, MINERAL BRONZE
SEE SITE PLANS FOR LOCATIONS
- FIXED BOLLARD:
MANUFACTURER: FAIRWEATHER SITE FURNISHINGS
OR EQUAL MODEL: B-3, MINERAL BRONZE
SEE SITE PLANS FOR LOCATIONS
- CIRCULAR BENCH: QTY: (2)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- 16" & 20" SHADE UMBRELLA:
MANUFACTURER: SHADE SYSTEMS OR EQUAL
MODEL: U1608 & U2008
SEE SITE PLANS FOR LOCATIONS AND SIZES
- FALLS TREE BENCH: QTY: (3)
MANUFACTURER: CRYSTAL OR EQUAL
MODEL: #5000004. SEE SITE PLANS FOR LOCATIONS
- PICNIC TABLE: QTY: (4)
MANUFACTURER: EQUIPARC OR EQUAL
MODEL: EP 2886, IPE. SEE SITE PLANS FOR LOCATIONS
- ROWER: QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL MODEL: GR2005-491
SEE SITE PLAN FOR LOCATIONS
- 2-PERSON ACCESSIBLE LATRINE & VERTICAL PRESS:
QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR
FITNESS OR EQUAL MODEL: GR2005-491
SEE SITE PLAN FOR LOCATIONS
- SINGLE ELLIPTICAL: QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL MODEL: HP2009-5-03
SEE SITE PLAN FOR LOCATIONS
- TWO PERSON LEG PRESS: QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL MODEL: HP2009-5-05
SEE SITE PLAN FOR LOCATIONS
- STAIR SLIMMER: QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL MODEL: GR2005-491
SEE SITE PLAN FOR LOCATIONS
- FOUR PERSON PENDULUM, ABS, & DIP STATION: QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL MODEL: GR2005-1-22
SEE SITE PLAN FOR LOCATIONS
- WHIMSICAL BIRD SCULPTURE: QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- TURTLES ON LOG SCULPTURE: QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- SCULPTURE ON BENCH: QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- EMERGENCY TELEPHONE (TOLL FREE): PROVIDE EMERGENCY
PHONE (TOLL FREE) IN WATER TIGHT ENCLOSURE PER DIEC
REQUIREMENTS. MOUNT TO 6'6" P.T. POST AT 4' FT WITH 1"
CHAMFER AT TOP. PROVIDE WEATHER RESISTANT PHYSICAL
ADDRESS OF POOL, AND DISPLAY AT PHONE- PROVIDE
SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR
TO INSTALLATION.
- PET WASTE DISPOSAL STATION:
MANUFACTURER: DOGIPOT OR EQUAL
MODEL: #1003-E
SEE SITE PLAN FOR LOCATIONS

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
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5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.

SITE FEATURES CONT'D:

- S23 BOARDWALK
DETAIL 4: L-1001
- S24 PLAYGROUND PEDESTRIAN BRIDGE
DETAIL 7: L-1000
- S25 BRICK PAVILION STAIRS
DETAIL 5: L-1002
- S26 PARK ID SIGN
DETAIL 1: L-1000
- S27 SHADE UMBRELLAS
DETAIL 2: L-1005
- S28 WATER FEATURE
SEE WATER FEATURE DRAWINGS
- S29 INTERPRETIVE PARK SIGNS
DETAIL SHEET L-1007
- S30 COMPASS ROSE PAVING AREA
DETAIL 7: L-1006
- S31 PALM TREE PLANTER WELL
DETAIL 10: L-1000
- S32 ON GRADE BOARDWALK
DETAIL 7: L-1000
- S33 TRENCH DRAIN TYPES A & B
DETAIL
- S34 DECK DRAIN
DETAIL
- RECREATION FEATURES:
- R1 ICONIC SHIP STRUCTURE
BY OTHERS - FOR REFERENCE ONLY
- R2 2-5 YEAR STRUCTURE
BY OTHERS - FOR REFERENCE ONLY
- R3 SWINGS
BY OTHERS - FOR REFERENCE ONLY
- R4 MULTI-USER SWING PLATFORM
BY OTHERS - FOR REFERENCE ONLY
- R5 WHIMSY RIDERS (DOLPHINS & SEA HORSE)
BY OTHERS - FOR REFERENCE ONLY
- R6 FOSSIL DIGS (SHELLS, SHARK TEETH, CRABS)
BY OTHERS - FOR REFERENCE ONLY
- R7 CLIMBING TURTLE
BY OTHERS - FOR REFERENCE ONLY
- R8 SEESAW
BY OTHERS - FOR REFERENCE ONLY
- R9 FROG SCULPTURE ON LOG
BY OTHERS - FOR REFERENCE ONLY
- R10 TURTLES ON LOG
BY OTHERS - FOR REFERENCE ONLY
- R11 WHIMSICAL BIRD SCULPTURE
BY OTHERS - FOR REFERENCE ONLY
- R12 PLAYGROUND KIOSK WITH MAP
BY OTHERS - FOR REFERENCE ONLY
- R13 LOG STEPPER
BY OTHERS - FOR REFERENCE ONLY
- R14 LOG BALANCE BEAM
BY OTHERS - FOR REFERENCE ONLY
- R15 LOG CRAWL / TUNNEL
BY OTHERS - FOR REFERENCE ONLY
- R16 TALK TUBES
BY OTHERS - FOR REFERENCE ONLY



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
PLAN IS SUBJECT TO CHANGE.

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: SHL
CHECKED BY: TG

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PROFESSIONAL STAMPS:

PRELIMINARY:
NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Plan

Site Plan



PO Box 22049 # Hilton Head Island, SC 29928
843.887.8878 # Fax 843.887.7388 # www.woodpartners.com

SHEET NUMBER
L-102

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

SITE KEY LEGEND:

ARCHITECTURE:

- A1 MUSEUM BUILDING
SEE ARCHITECTURAL DRAWINGS
- A2 CONCRETE PAVILION
SEE ARCHITECTURAL DRAWINGS
- A3 RESTROOM / DROP-OFF BUILDING
SEE ARCHITECTURAL DRAWINGS
- A4 POND PAVILION
SEE ARCHITECTURAL DRAWINGS
- A5 SHADE SAIL FEATURE @ MUSEUM
SEE ARCHITECTURAL DRAWINGS

SITE WORK: PAVEMENT

- S1 CONCRETE WALKWAY (4" & 6")
DETAIL 1.1-500
- S2 STAMPED CONCRETE WALK
DETAIL 3.1-500
- S3 STAMPED CONCRETE IMPRESSIONS
DETAIL 3.1-500
- S4 DETECTABLE WARNING DEVICE
DETAIL 5.1-500
- S5 CONCRETE CURB RESTRAINT
DETAIL 11.1-500
- S6 VEHICULAR PAVING (PATTERN ONLY)
DETAIL 6.1-500
- S7 SPECIALTY PAVING (PEDESTRIAN)
DETAIL 7.1-500
- S8 SAND PLAYGROUND SURFACE
DETAIL 9.1-500
- S9 POURED IN PLACE RUBBER SURFACE
DETAIL 8.1-500
- S10 CANTILEVERED DECK
DETAIL 5.1-500

SITE FEATURES:

- S11 GRAND LAWN ARBOR
DETAIL 1.1-500
- S12 PLAYGROUND GATEWAY
DETAIL 1.1-500
- S13 CIRCULAR ARBOR TREE
DETAIL 3.1-500
- S14 SWING TRELLIS
DETAIL 3.1-500
- S15 RAISED PLANTER / SEATWALL
DETAIL 6.1-500
- S16 PILE WALL
DETAIL 3.1-500
- S17 CURVED TONGUE & GROOVE WOOD WALL
DETAIL 1.1-500
- S18 ROPE AND PILE FENCE
DETAIL 4.1-500
- S19 DISCOVERY TRAIL GATEWAY
DETAIL 3.1-500
- S20 7' PLAYGROUND ENCLOSURE FENCE
DETAIL 9.1-500
- S21 BULKHEAD & RAILING
DETAIL 1.1-500
- S22 CABLE RAIL SYSTEM
DETAIL 5.1-500

PAVING SCHEDULE:

- 4" OYSTER SHELL CONCRETE: SEE DETAIL 14-500
- 6" OYSTER SHELL CONCRETE: SEE DETAIL 14-500
- FRACTURED EARTH CONCRETE: SEE DETAIL 23-500
- POURED IN PLACE RUBBER SURFACE: TYPE 1, SEE DETAIL 83-500; TYPE 2, SEE DETAIL 83-500
- CONCRETE CONTROL JOINT: SEE DETAIL 4L-500
- CONCRETE EXPANSION JOINT: SEE DETAIL 4L-500
- ROCK SALT CONCRETE: SEE DETAIL 14-500
- BOARDFORM CONCRETE: SEE DETAIL 25-500
- ADA DETECTABLE WARNING: SEE DETAIL 5-500
- VEHICULAR PAVEMENT: SEE DETAIL 6L-500
- DECORATIVE PAVER (PEDESTRIAN): SEE DETAIL 7L-500
- SAND PLAYGROUND SURFACE: SEE DETAIL 9L-500

SITE FURNISHINGS SCHEDULE:

- PLAYGROUND FENCE: SEE DETAIL 6L-500
- MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH6 - SIX SLAT WITH BACK SEE SITE PLAN FOR LOCATIONS
- BENCH TYPE 2: QTY: (6)
- MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH4 - FOUR SLAT BACKLESS SEE SITE PLAN FOR LOCATIONS
- TRASH RECEPTACLE: QTY: (20)
- MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: SD-42 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATION
- RECYCLING RECEPTACLE: QTY: (6)
- MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: SD-42 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATION
- STAMPED CONCRETE IMPRESSIONS: SEE DETAIL 3.1-500 SEE SITE PLAN FOR LOCATIONS
- BIKE RACKS QTY: (40) & BIKE BOLLARD QTY: (6)
- MANUFACTURER: STRUCTURA OR EQUAL MODEL: DUO-BR (44) & DUO-BL (6) COLOR: BLACK, POWDER COATED SEE SITE PLAN FOR LOCATIONS
- DECORATIVE BIKE RACKS: QTY: (1)
- MANUFACTURER: SEE SITE PLAN FOR LOCATIONS
- DRINKING FOUNTAIN TYPE A: QTY: (2)
- MANUFACTURER: MOST DEPENDABLE FOUNTAIN OR EQUAL MODEL: 10135 SM. W/ PET FOUNTAIN, A.D.A. COMPLIANT. SEE SITE PLAN FOR LOCATIONS
- FOOTWASH: QTY: (1)
- MANUFACTURER: MOST DEPENDABLE FOUNTAINS OR EQUAL MODEL: #525 SM W/ HOSE BIBB. COLOR: BROWN SEE SITE PLAN FOR LOCATIONS
- REMOVABLE BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL MODEL: B-3, MINERAL BRONZE SEE SITE PLAN FOR LOCATIONS
- FIXED BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL MODEL: B-3, MINERAL BRONZE SEE SITE PLAN FOR LOCATIONS
- CIRCULAR BENCH: QTY: (2)
- MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
- PET WASTE DISPOSAL STATION: MANUFACTURER: DOGIPOT OR EQUAL MODEL: #1003-L SEE SITE PLANS FOR LOCATIONS
- 16" & 20" SHADE UMBRELLA: MANUFACTURER: SHADE SYSTEMS OR EQUAL MODEL: U1006 & U2008 SEE SITE PLANS FOR LOCATIONS AND SIZES
- FALLEN TREE BENCH: QTY: (3)
- MANUFACTURER: CREPLAY OR EQUAL MODEL: #5000004. SEE SITE PLANS FOR LOCATIONS
- PICNIC TABLE: QTY: (4)
- MANUFACTURER: EPOPARC OR EQUAL MODEL: EP 2886. IPE. SEE SITE PLANS FOR LOCATIONS
- ROWER: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: GR2005-4-91 SEE SITE PLAN FOR LOCATIONS
- 2-PERSON ACCESSIBLE LATR PULL & VERTICAL PRESS: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: GR2005-4-8C-W SEE SITE PLAN FOR LOCATIONS
- SINGLE ELLIPTICAL: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: HP2009-5-03 SEE SITE PLAN FOR LOCATIONS
- TWO PERSON LEG PRESS: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: HP2009-5-02 SEE SITE PLAN FOR LOCATIONS
- STAIR SUMMER: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: GR2005-4-92 SEE SITE PLAN FOR LOCATIONS
- FOUR PERSON PENDULUM, ABS, & DIP STATION: QTY: (1)
- MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL MODEL: GR2005-4-22 SEE SITE PLAN FOR LOCATIONS
- WHIMSICAL BIRD SCULPTURE: QTY: (1)
- MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
- TURTLES ON LOG SCULPTURE: QTY: (1)
- MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
- SCULPTURE ON BENCH: QTY: (1)
- MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS

GENERAL CONSTRUCTION NOTES:

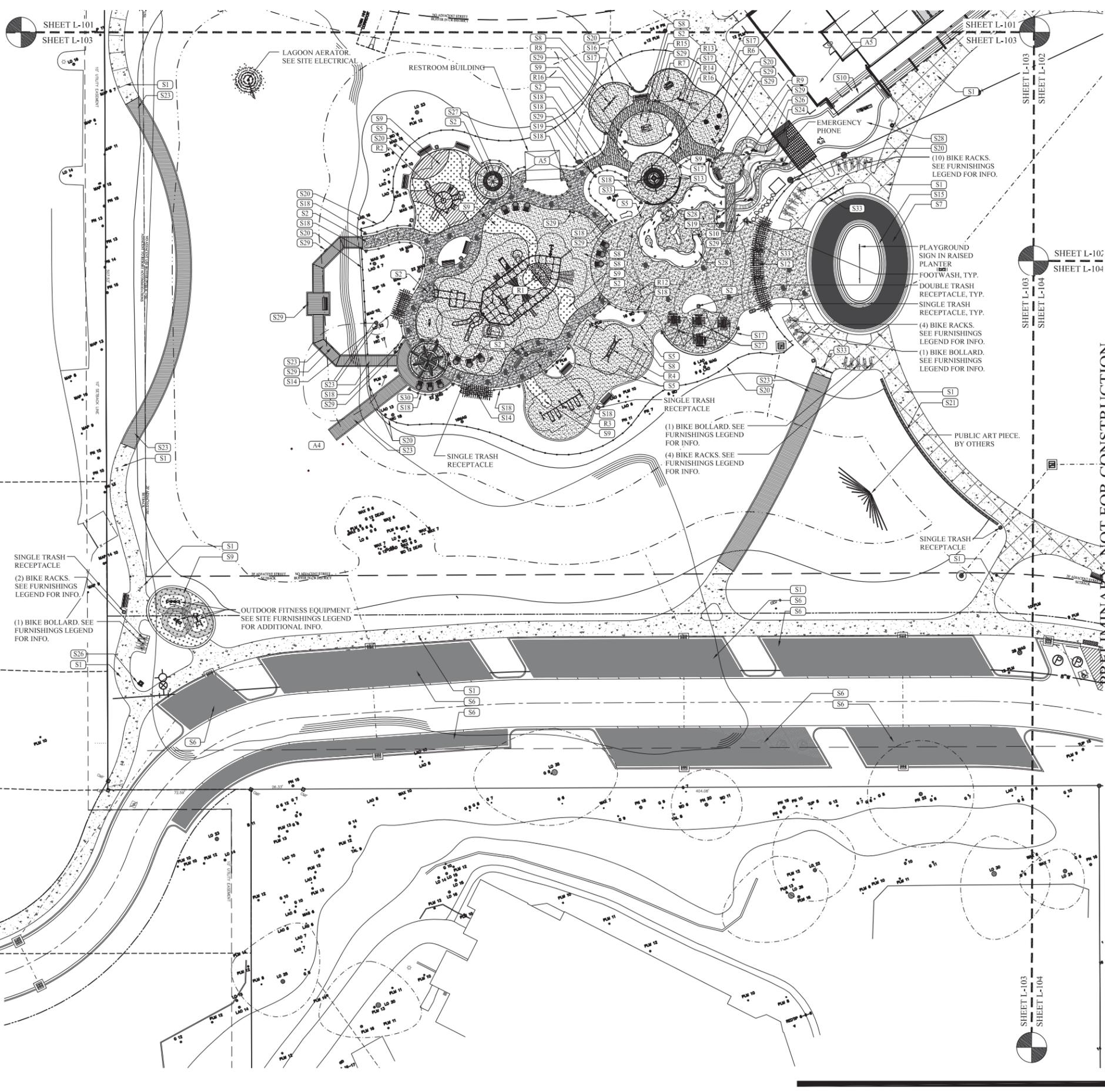
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
4. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.

SITE FEATURES CONT'D:

- S23 BOARDWALK
DETAIL 4.1-500
- S24 PLAYGROUND PEDESTRIAN BRIDGE
DETAIL 1.500
- S25 BRICK PAVILION STAIRS
DETAIL 5.1-500
- S26 PARK ID SIGN
DETAIL 1.500
- S27 SHADE UMBRELLAS
DETAIL 2.1-500
- S28 WATER FEATURE
SEE WATER FEATURE DRAWINGS
- S29 INTERPRETIVE PARK SIGNS
DETAIL SHEET L-507
- S30 COMPASS ROSE PAVING AREA
DETAIL 7.1-500
- S31 PALM TREE PLANTER WELL
DETAIL 10.1-500
- S32 ON GRADE BOARDWALK
DETAIL 7.1-500
- S33 TRENCH DRAIN TYPES A & B
DETAIL
- S34 DECK DRAIN
DETAIL

RECREATION FEATURES:

- R1 ICONIC SHIP STRUCTURE
BY OTHERS - FOR REFERENCE ONLY
- R2 2-5 YEAR STRUCTURE
BY OTHERS - FOR REFERENCE ONLY
- R3 SWINGS
BY OTHERS - FOR REFERENCE ONLY
- R4 MULTI-USER SWING PLATFORM
BY OTHERS - FOR REFERENCE ONLY
- R5 WHIMSY RIDERS (DOLPHINS & SEA HORSE)
BY OTHERS - FOR REFERENCE ONLY
- R6 FOSSIL DIGS (SHELLS, SHARK TEETH, CRABS)
BY OTHERS - FOR REFERENCE ONLY
- R7 CLIMBING TURTLE
BY OTHERS - FOR REFERENCE ONLY
- R8 SEESAW
BY OTHERS - FOR REFERENCE ONLY
- R9 FROG SCULPTURE ON LOG
DETAIL 1.1-500
- R10 TURTLES ON LOG
DETAIL 5.1-500
- R11 WHIMSICAL BIRD SCULPTURE
DETAIL 1.1-500
- R12 PLAYGROUND KIOSK WITH MAP
DETAIL 2.1-500
- R13 LOG STEPPER
BY OTHERS - FOR REFERENCE ONLY
- R14 LOG BALANCE BEAM
BY OTHERS - FOR REFERENCE ONLY
- R15 LOG CRAWL / TUNNEL
BY OTHERS - FOR REFERENCE ONLY
- R16 TALK TUBES
BY OTHERS - FOR REFERENCE ONLY



PRELIMINARY - NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHL/EL
CHECKED BY: TG

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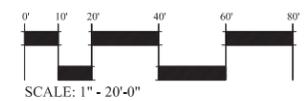
PROFESSIONAL STAMPS:

PRELIMINARY:
NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Plan

Site Plan



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
PLAN IS SUBJECT TO CHANGE.

Wood+Partners Inc. WPI
Landscape Architecture
Landscape Architects

PO Box 2399 # Hilton Head Island, SC 29928
843.887.8878 • Fax 843.887.7388 • www.woodpartners.com

SHEET NUMBER
L-103

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

SITE KEY LEGEND:

- ARCHITECTURE:**
- A1 MUSEUM BUILDING
SEE ARCHITECTURAL DRAWINGS
 - A2 CONCERT PAVILION
SEE ARCHITECTURAL DRAWINGS
 - A3 RESTROOM / DROP-OFF BUILDING
SEE ARCHITECTURAL DRAWINGS
 - A4 POND PAVILION
SEE ARCHITECTURAL DRAWINGS
 - A5 SHADE SAIL FEATURE @ MUSEUM
SEE ARCHITECTURAL DRAWINGS
- SITE WORK: PAVEMENT**
- S1 CONCRETE WALKWAY (4" & 6")
DETAIL 1: L-1000
 - S2 STAMPED CONCRETE WALK
DETAIL 2: L-1000
 - S3 STAMPED CONCRETE IMPRESSIONS
DETAIL 3: L-1000
 - S4 DETECTABLE WARNING DEVICE
DETAIL 5: L-1000
 - S5 CONCRETE CURB RESTRAINT
DETAIL 11: L-1000
 - S6 VEHICULAR PAVING (PATTERN ONLY)
DETAIL 6: L-1000
 - S7 SPECIALTY PAVING (PEDESTRIAN)
DETAIL 7: L-1000
 - S8 SAND PLAYGROUND SURFACE
DETAIL 4: L-1000
 - S9 POURED IN PLACE RUBBER SURFACE
DETAIL 8: L-1000
 - S10 CANTILEVERED DECK
DETAIL 5: L-1000
- SITE FEATURES:**
- S11 GRAND LAWN ARBOR
DETAIL 1: L-1000
 - S12 PLAYGROUND GATEWAY
DETAIL 1: L-1000
 - S13 CIRCULAR ARBOR TREE
DETAIL 1: L-1000
 - S14 SWING TRELLIS
DETAIL 3: L-1000
 - S15 RAISED PLANTER / SEATWALL
DETAIL 6: L-1000
 - S16 PILE WALL
DETAIL 3: L-1000
 - S17 CURVED TONGUE & GROOVE WOOD WALL
DETAIL 3: L-1000
 - S18 ROPE AND PILE FENCE
DETAIL 4: L-1000
 - S19 DISCOVERY TRAIL GATEWAY
DETAIL 3: L-1000
 - S20 1" PLAYGROUND ENCLOSURE FENCE
DETAIL 9: L-1000
 - S21 BULKHEAD & RAILING
DETAIL 1: L-1000
 - S22 CABLE RAIL SYSTEM
DETAIL 2: L-1000

- SITE FEATURES CONT'D:**
- S23 BOARDWALK
DETAIL 4: L-1000
 - S24 PLAYGROUND PEDESTRIAN BRIDGE
DETAIL 7: L-1000
 - S25 BRICK PAVILION STAIRS
DETAIL 5: L-1000
 - S26 PARK ID SIGN
DETAIL 1: L-1000
 - S27 SHADE UMBRELLAS
DETAIL 2: L-1000
 - S28 WATER FEATURE
SEE WATER FEATURE DRAWINGS
 - S29 INTERPRETIVE PARK SIGNS
DETAIL SHEET L-1007
 - S30 COMPASS ROSE PAVING AREA
DETAIL 7: L-1000
 - S31 PALM TREE PLANTER WELL
DETAIL 10: L-1000
 - S32 ON GRADE BOARDWALK
DETAIL 7: L-1000
 - S33 TRENCH DRAIN TYPES A & B
DETAIL
 - S34 DECK DRAIN
DETAIL
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 - R10 TURTLES ON LOG
DETAIL 5: L-1000
 - R11 WHIMSICAL BIRD SCULPTURE
DETAIL 1: L-1000
 - R12 PLAYGROUND KIOSK WITH MAP
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BY OTHERS - FOR REFERENCE ONLY
 - R15 LOG CRAWL / TUNNEL
BY OTHERS - FOR REFERENCE ONLY
 - R16 TALK TUBS
BY OTHERS - FOR REFERENCE ONLY

PAVING SCHEDULE:

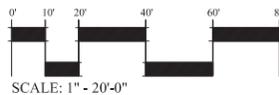
- 4" OYSTER SHELL CONCRETE:
SEE DETAIL 14-300
- 6" OYSTER SHELL CONCRETE:
SEE DETAIL 14-300
- FRACTURED EARTH CONCRETE:
SEE DETAIL 24-300
- POURED IN PLACE RUBBER SURFACE:
TYPE 1, SEE DETAIL 8-100
TYPE 2, SEE DETAIL 8-100

SITE FURNISHINGS SCHEDULE:

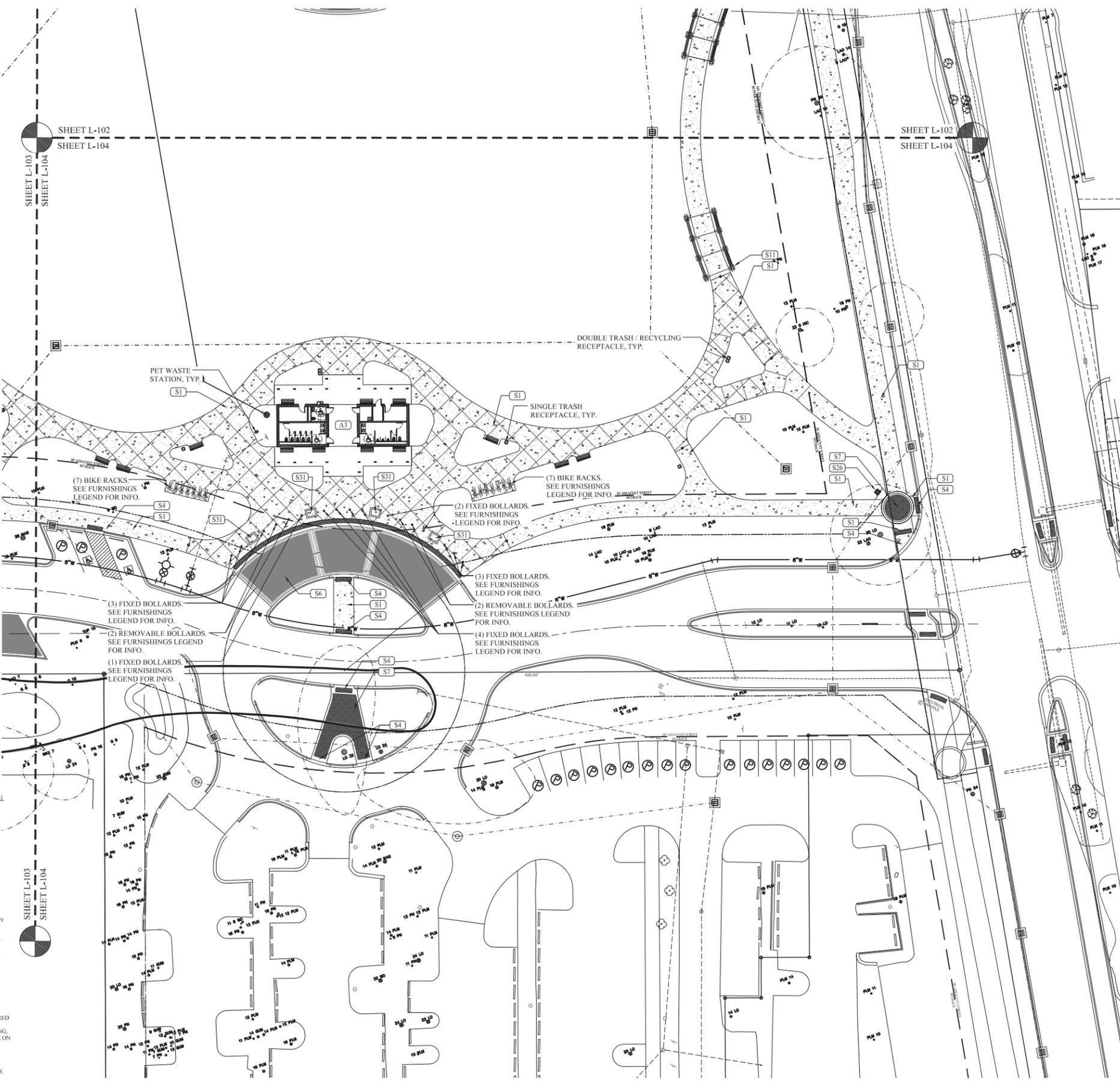
- PLAYGROUND FENCE:
SEE DETAIL 6-1-301
- BENCH TYPE 1, QTY: (28)
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: FBH4 - FOUR SLAT BACKLESS
SEE SITE PLAN FOR LOCATIONS
- BENCH TYPE 2, QTY: (6)
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: FBH4 - FOUR SLAT BACKLESS
SEE SITE PLAN FOR LOCATIONS
- TRASH RECEPTACLE, QTY: (20)
MANUFACTURER: VICTOR STANLEY OR EQUAL
MODEL: SD-42 W/ SIDE OPENING DOOR
SEE SITE PLAN FOR LOCATIONS
- RECYCLING RECEPTACLE, QTY: (6)
MANUFACTURER: VICTOR STANLEY OR EQUAL
MODEL: SD-242 W/ SIDE OPENING DOOR
SEE SITE PLAN FOR LOCATIONS
- STAMPED CONCRETE IMPRESSIONS:
SEE DETAIL 3/ L-1000
SEE SITE PLAN FOR LOCATIONS
- BIKE RACKS, QTY: (44) & BIKE BOLLARD, QTY: (6)
MANUFACTURER: STRUCTURA OR EQUAL
MODEL: DUC-BR (44) & DUC-BL (6)
COLOR: BLACK, POWDER COATED
SEE SITE PLAN FOR LOCATIONS
- DECORATIVE BIKE RACKS, QTY: (1)
MANUFACTURER:
SEE SITE PLAN FOR LOCATIONS
- DRINKING FOUNTAIN TYPE A, QTY: (2)
MANUFACTURER: MOST DEPENDABLE
FOUNTAIN OR EQUAL MODEL: 10155 SM,
W/ PET FOUNTAIN, A.D.A. COMPLIANT.
SEE SITE PLAN FOR LOCATIONS
- FOOTWASH, QTY: (1)
MANUFACTURER: MOST DEPENDABLE
FOUNTAINS OR EQUAL
MODEL: #525 SM W/ HOSE BIBB, COLOR: BROWN
SEE SITE PLAN FOR LOCATIONS
- REMOVABLE BOLLARD:
MANUFACTURER: FAIRWEATHER SITE FURNISHINGS
OR EQUAL, MODEL: B-3, MINERAL BRONZE
SEE SITE PLAN FOR LOCATIONS
- FIXED BOLLARD:
MANUFACTURER: FAIRWEATHER SITE FURNISHINGS
OR EQUAL, MODEL: B-3, MINERAL BRONZE
SEE SITE PLAN FOR LOCATIONS
- CIRCULAR BENCH, QTY: (2)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- 16" & 20" SHADE UMBRELLA:
MANUFACTURER: SHADE SYSTEMS OR EQUAL
MODEL: U1608 & U2008
SEE SITE PLANS FOR LOCATIONS AND SIZES
- FALLEN TREE BENCH, QTY: (3)
MANUFACTURER: CREPLAY OR EQUAL
MODEL: #5000004, SEE SITE PLANS FOR LOCATIONS
- PICNIC TABLE, QTY: (4)
MANUFACTURER: EQUIPARC OR EQUAL
MODEL: EP 2886, IPE, SEE SITE PLANS FOR LOCATIONS
- ROWER, QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL, MODEL: GR2005-491
SEE SITE PLAN FOR LOCATIONS
- 2-PERSON ACCESSIBLE LATRINE & VERTICAL PRESS:
QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR
FITNESS OR EQUAL, MODEL: GR2005-49C-W
SEE SITE PLAN FOR LOCATIONS
- SINGLE ELLIPTICAL, QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL, MODEL: HP2009-5-03
SEE SITE PLAN FOR LOCATIONS
- TWO PERSON LEG PRESS, QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL, MODEL: HP2009-5-05
SEE SITE PLAN FOR LOCATIONS
- STAIR SLIMBER, QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL, MODEL: GR2005-491
SEE SITE PLAN FOR LOCATIONS
- FOUR PERSON PENDULUM, ABS, & DIP STATION, QTY: (1)
MANUFACTURER: GREENFIELDS OUTDOOR FITNESS
OR EQUAL, MODEL: GR2005-422
SEE SITE PLAN FOR LOCATIONS
- WHIMSICAL BIRD SCULPTURE, QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- TURTLES ON LOG SCULPTURE, QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- SCULPTURE ON BENCH, QTY: (1)
MANUFACTURER: XXXXXXXXXXXX OR EQUAL
MODEL: XXXXXXXXXXXX
SEE SITE PLAN FOR LOCATIONS
- EMERGENCY TELEPHONE (TOLL FREE), PROVIDE EMERGENCY
PHONE (TOLL FREE) IN WATERPROOF ENCLOSURE PER DIBC
REQUIREMENTS. MOUNT TO 6'6" P.T. POST AT 4' HIG. WITH 1"
CHAMFER AT TOP. PROVIDE WEATHER RESISTANT PHYSICAL
ADDRESS OF POOL, AND DISPLAY AT PHONE-PROVIDE
SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR
TO INSTALLATION.
- PET WASTE DISPOSAL STATION:
MANUFACTURER: DOGIPOT OR EQUAL
MODEL: #1003-L

GENERAL CONSTRUCTION NOTES:

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8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
PLAN IS SUBJECT TO CHANGE.



PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHL
CHECKED BY: TG

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PROFESSIONAL STAMPS:



#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Plan

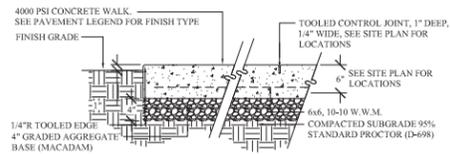
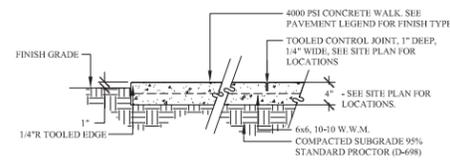
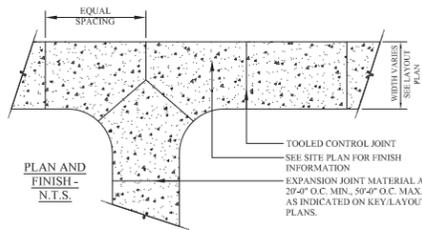
Site Plan



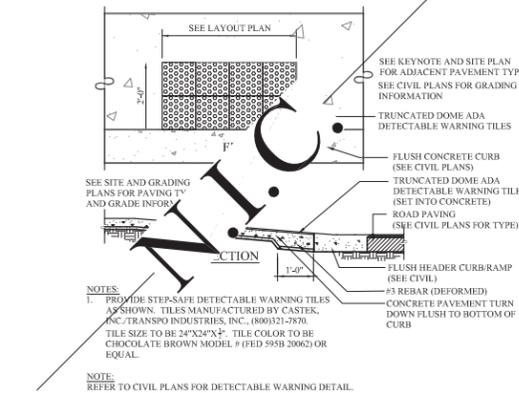
PO Box 2399 # Hilton Head Island, SC 29928
843.887.8878 • Fax 843.887.7388 • www.woodpartners.com

SHEET NUMBER
L-104

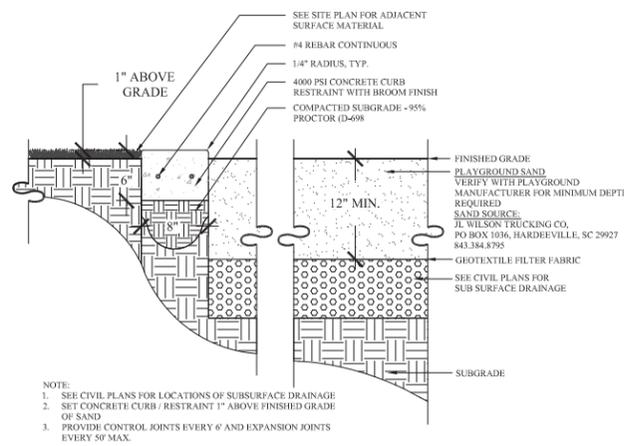
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928



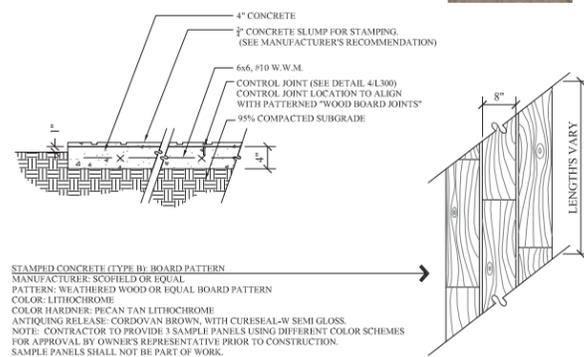
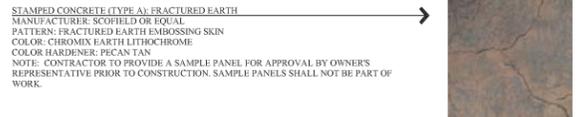
1 CONCRETE WALK
L300 SCALE: 1" = 1'-00"



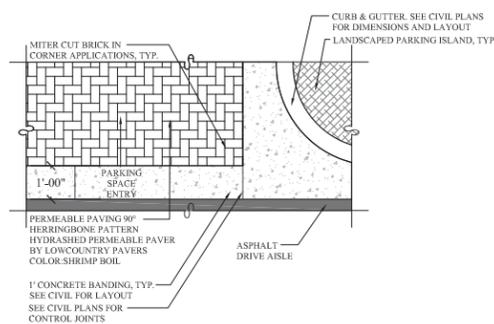
5 A.D.A. DOME TILES
L300 SCALE: 1/2" = 1'-00"



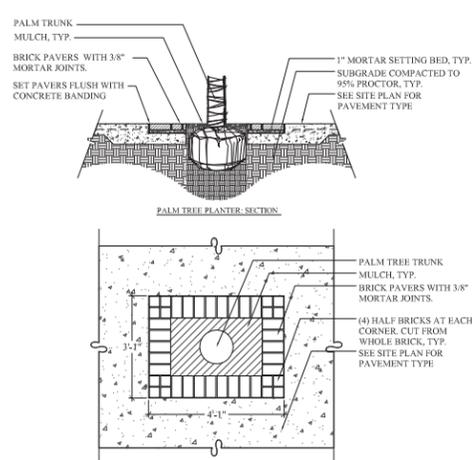
9 SAND PLAYGROUND SURFACE
L300 SCALE: 1 1/2" = 1'-00"



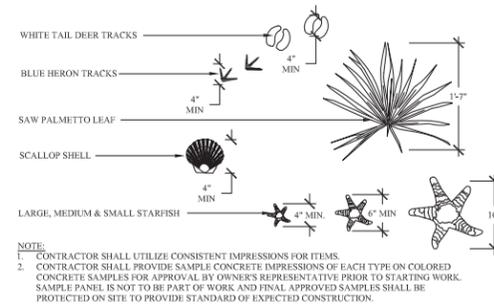
2 STAMPED CONCRETE TYPE A & B
L300 SCALE: 1" = 1'-00"



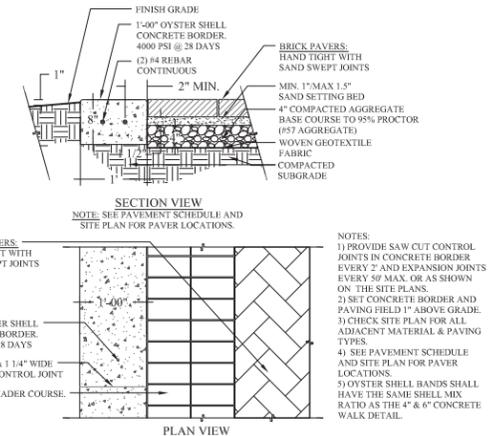
6 DECORATIVE PAVERS (VEHICULAR)
L300 SCALE: 1/2" = 1'-00"



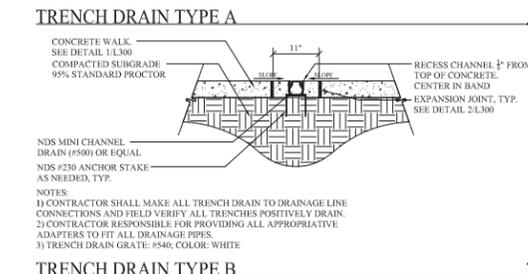
10 PALM TREE PLANTING WELL
L300 SCALE: 1/2" = 1'-00"



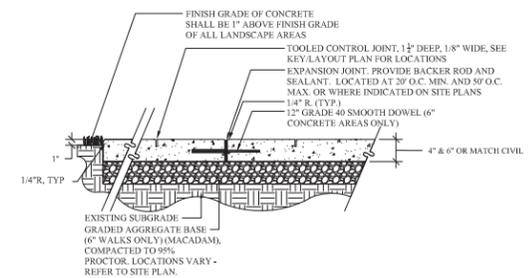
3 STAMPED CONCRETE IMPRESSIONS
L300 SCALE: 1" = 1'-00"



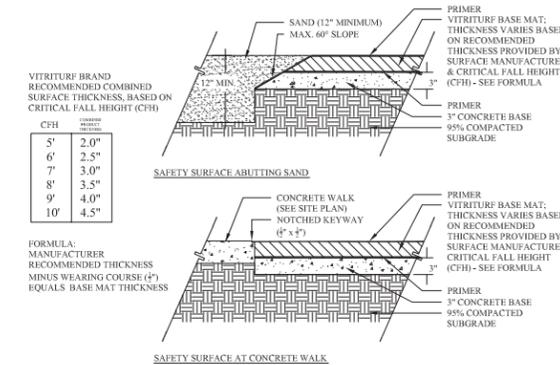
7 DECORATIVE PAVERS (PEDESTRIAN)
L300 SCALE: 1" = 1'-00"



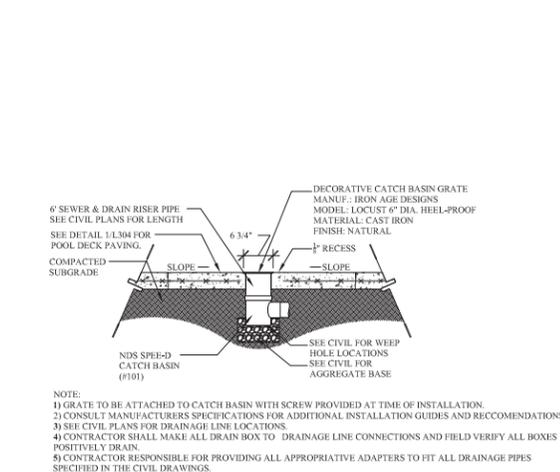
11 TRENCH DRAIN
L300 SCALE: 3/4" = 1'-00"



4 CONCRETE CONTROL & EXPANSION JOINTS
L300 SCALE: 1" = 1'-00"



8 POURED IN PLACE RUBBER PLAYGROUND SURFACE
L300 SCALE: 1" = 1'-00"



12 DECK DRAIN
L300 SCALE: 3/4" = 1'-00"

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHEL
CHECKED BY: TG

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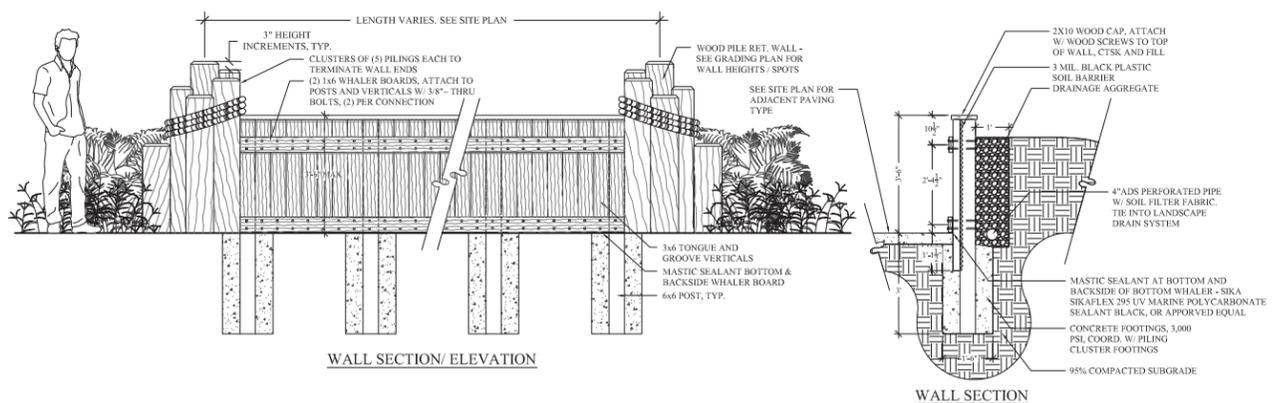
PROFESSIONAL STAMPS:



#	REVISION	DATE	BY

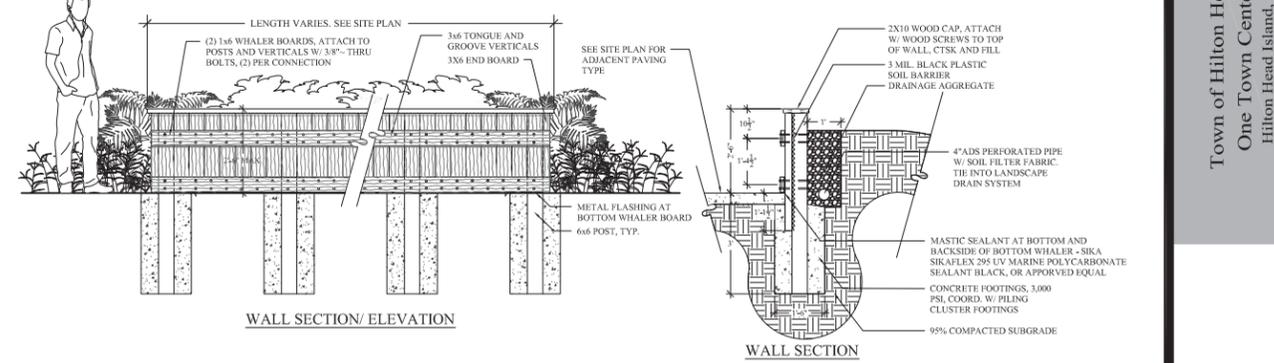
DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Details

- GENERAL NOTES**
1. ALL WOOD SHALL BE MARINE GRADE. TREAT ALL WOOD MEMBERS WITH TWO COATS OF COMMERCIAL GRADE CLEAR WOOD SEALER PRIOR TO WATER CONTACT. SAND ALL EXPOSED BOARDS TO A SMOOTH FINISH BEFORE APPLYING SEALER APPLICATION.
 2. ALL NUTS, BOLTS, AND WASHERS TO BE HOT DIPPED, GALVANIZED APPROPRIATE FOR WET ENVIRONMENT.
 3. SEE LAYOUT PLAN FOR WALL CURVATURE.
 4. SEE GRADING PLAN FOR WALL HEIGHTS / SPOT ELEVATIONS.

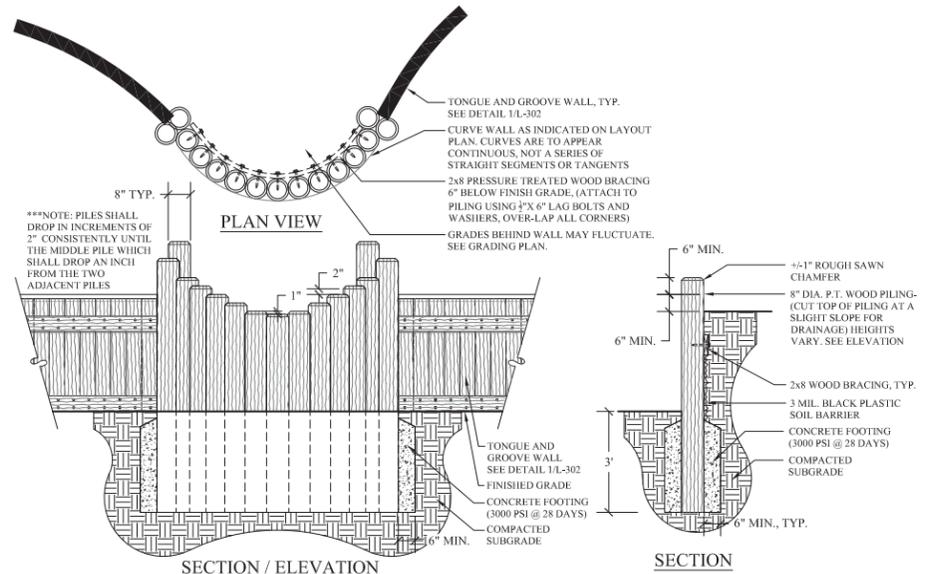


1
L302 CURVED TONGUE AND GROOVE WALL TYPE 1
SCALE: 1/2" = 1'-00"

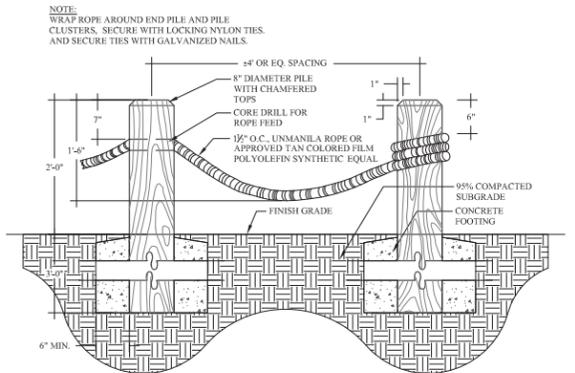
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 2. ALL NUTS, BOLTS, AND WASHERS TO BE HOT DIPPED, GALVANIZED APPROPRIATE FOR WET ENVIRONMENT.
 3. SEE LAYOUT PLAN FOR WALL CURVATURE.
 4. SEE GRADING PLAN FOR WALL HEIGHTS / SPOT ELEVATIONS.



2
L302 CURVED TONGUE AND GROOVE WALL TYPE 2
SCALE: 1/2" = 1'-00"

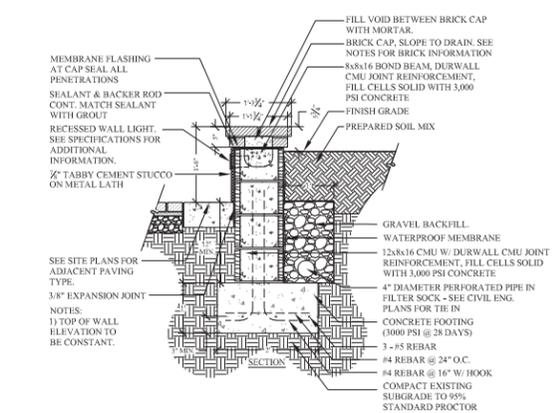


3
L302 PILE WALL
SCALE: 1/2" = 1'-00"

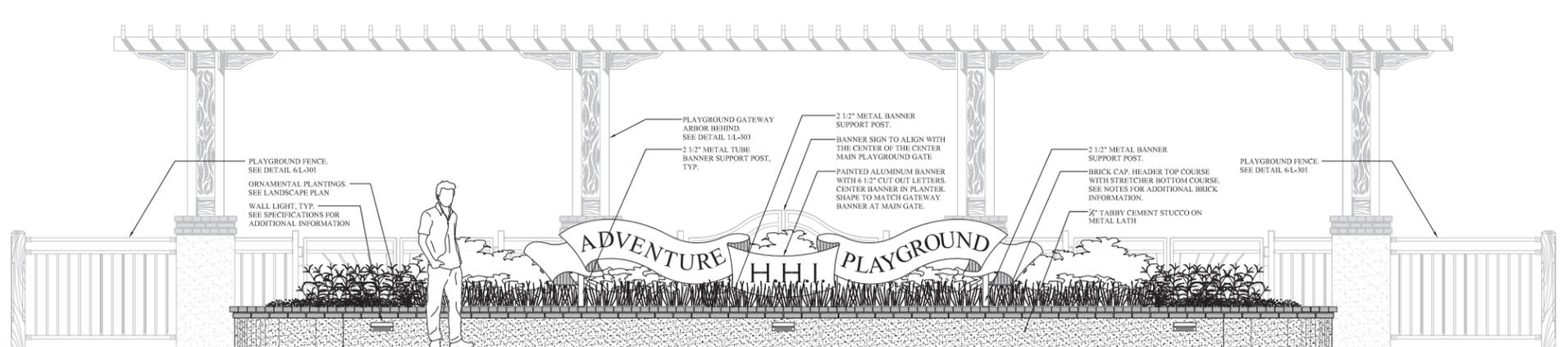


4
L302 PILE & ROPE FENCE
SCALE: 1" = 1'-00"

5
L302 BLANK
SCALE: XXX = 1'-00"



6
L302 RAISED PLANTER / SEATWALL
DETAIL SCALE: 3/4" = 1'-00", ELEVATION SCALE: 1/2" = 1'-00"



PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHL
CHECKED BY: TG

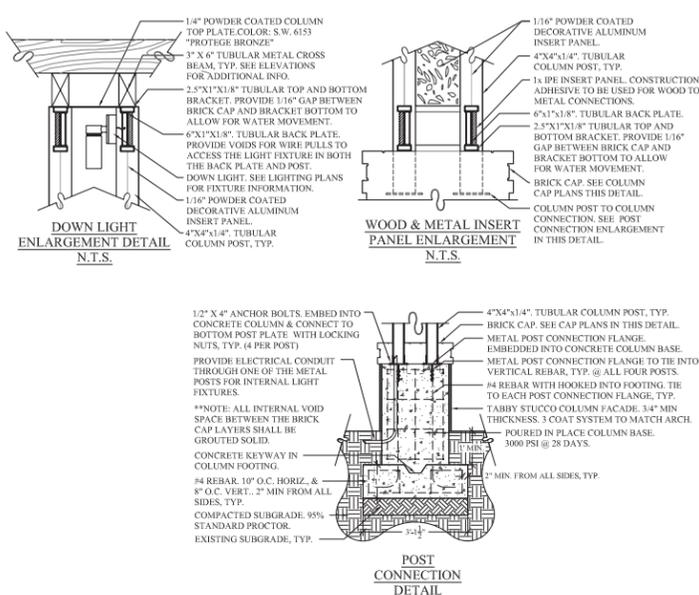
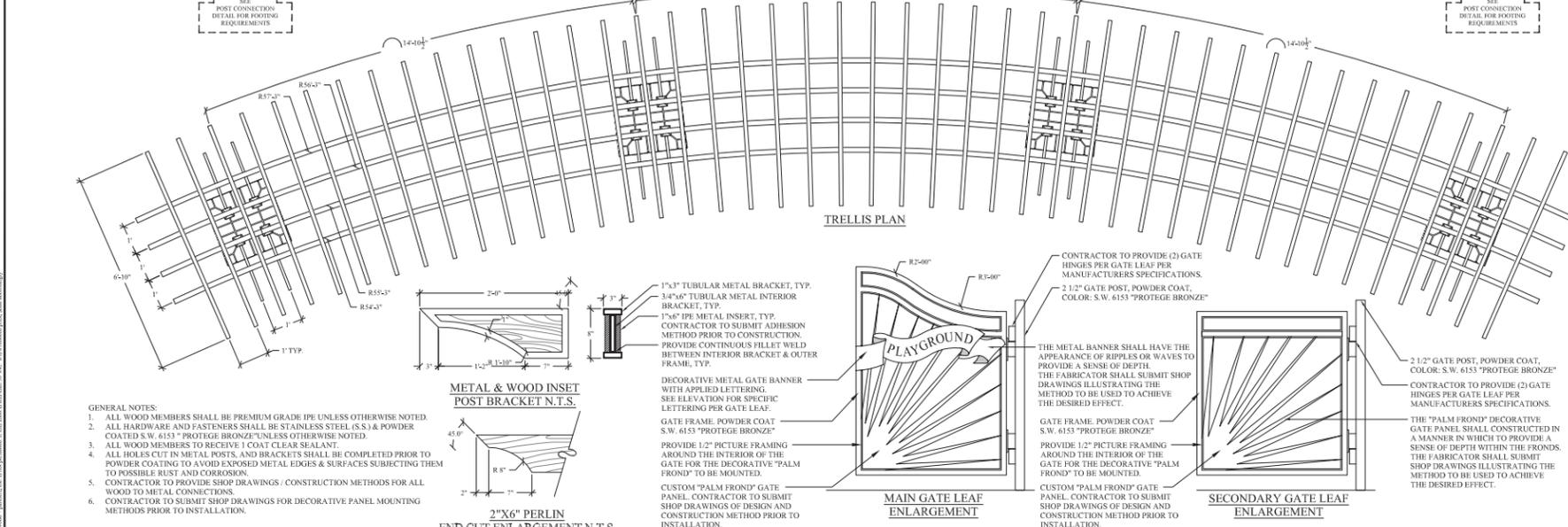
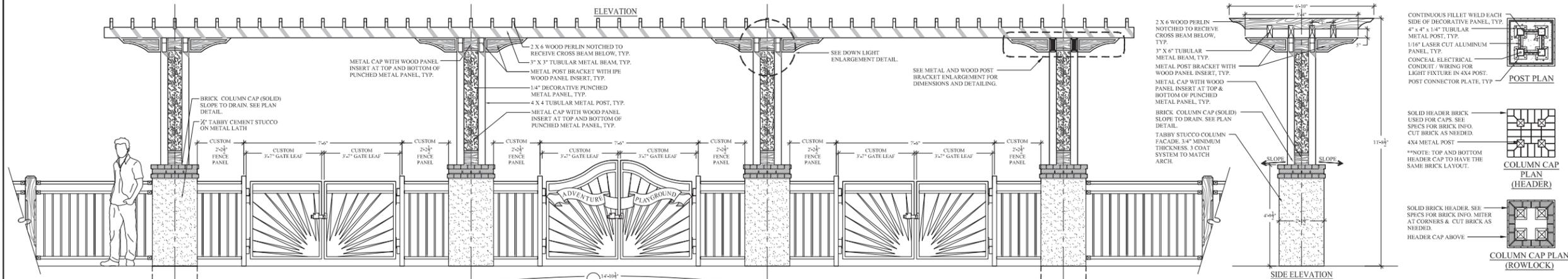
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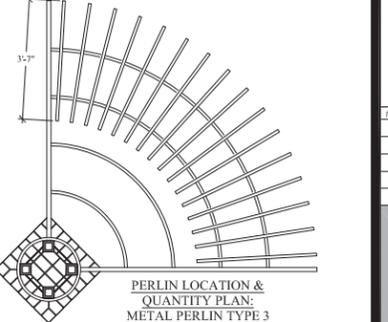
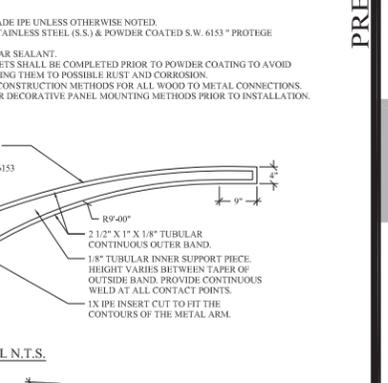
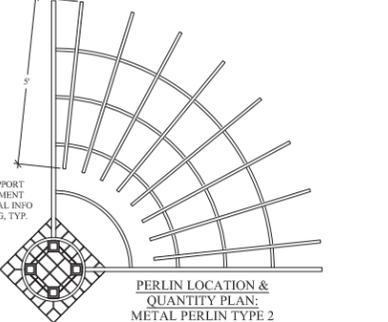
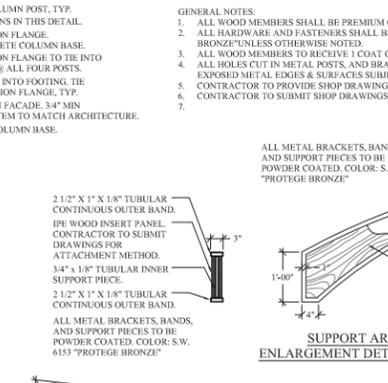
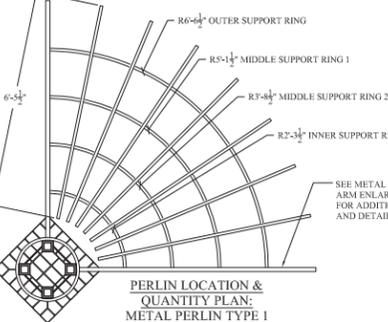
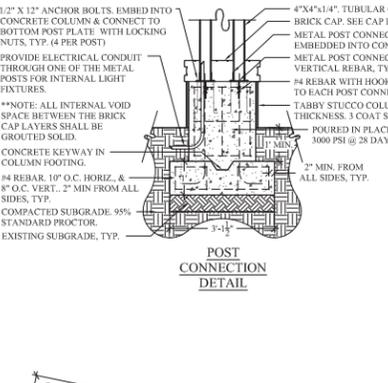
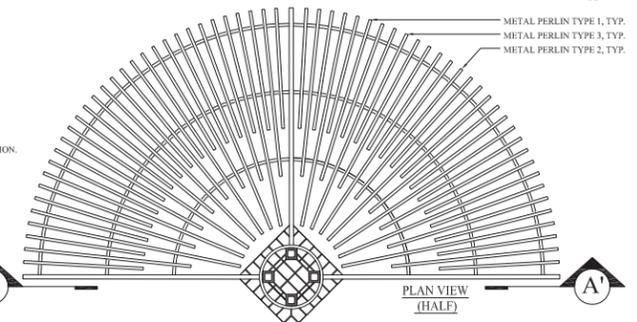
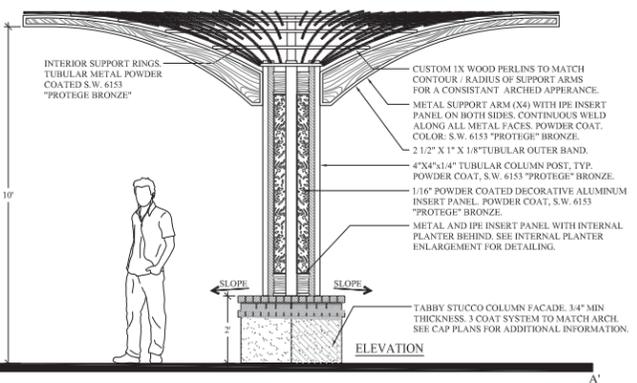
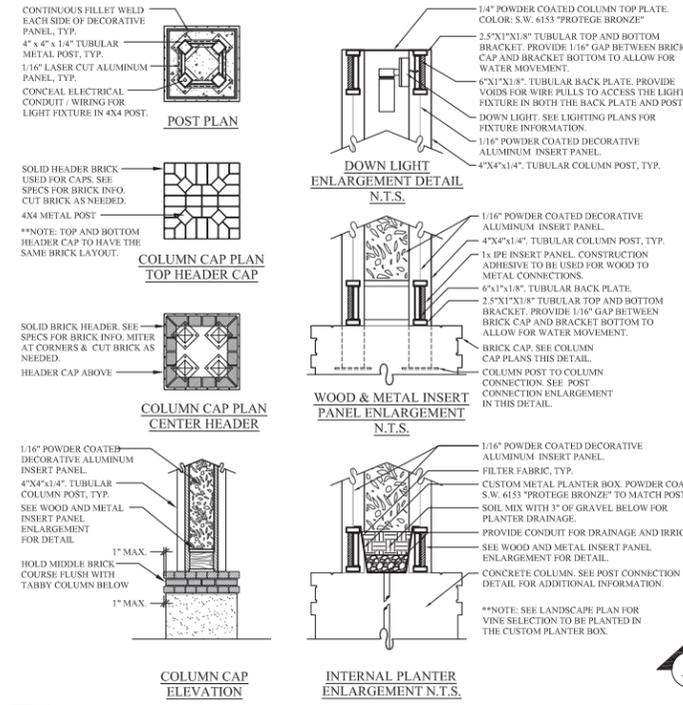
#	REVISION	DATE BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Details



- GENERAL NOTES:**
- ALL WOOD MEMBERS SHALL BE PREMIUM GRADE IPE UNLESS OTHERWISE NOTED.
 - ALL HARDWARE AND FASTENERS SHALL BE STAINLESS STEEL (S.S.) & POWDER COATED S.W. 6153 "PROTEGE BRONZE" UNLESS OTHERWISE NOTED.
 - ALL WOOD MEMBERS TO RECEIVE 1 COAT CLEAR SEALANT.
 - ALL HOLES CUT IN METAL POSTS, AND BRACKETS SHALL BE COMPLETED PRIOR TO POWDER COATING TO AVOID EXPOSED METAL EDGES & SURFACES SUBJECTING THEM TO POSSIBLE RUST AND CORROSION.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS / CONSTRUCTION METHODS FOR ALL WOOD TO METAL CONNECTIONS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR DECORATIVE PANEL MOUNTING METHODS PRIOR TO INSTALLATION.

1 PLAYGROUND GATEWAY
L303 SCALE: 1/2" = 1'-00"



2 CIRCULAR ARBOR TREE
L303 SCALE: 1/2" = 1'-00"

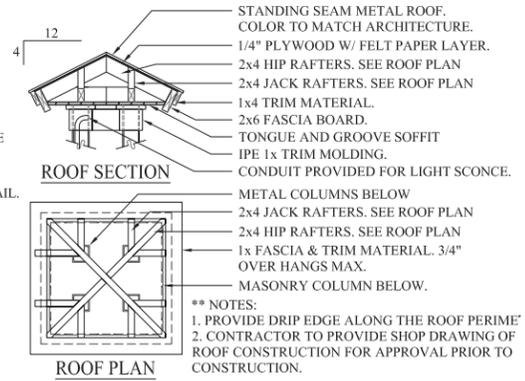
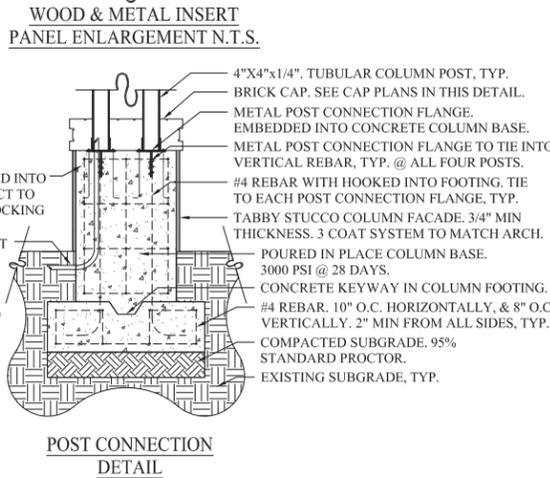
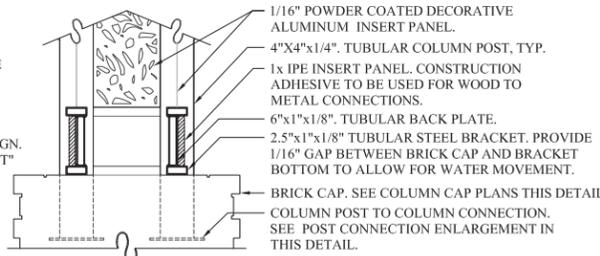
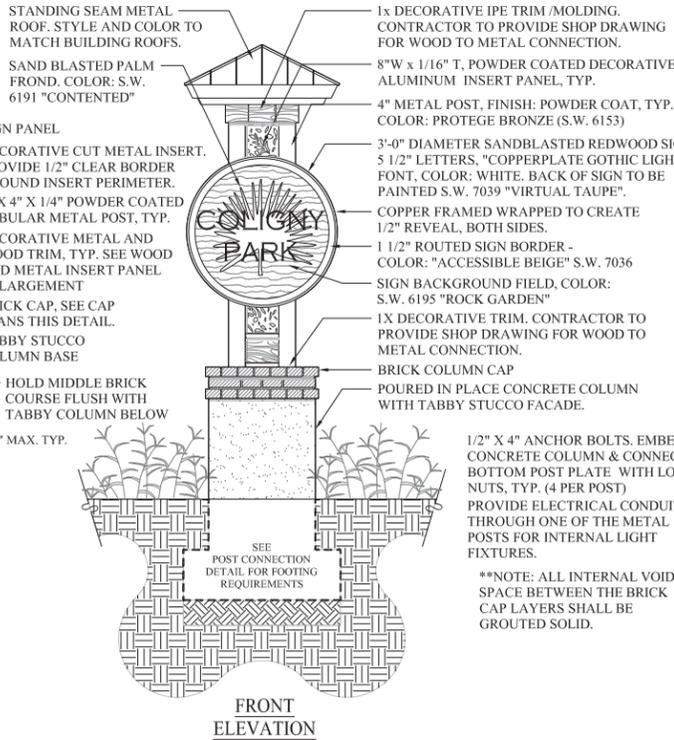
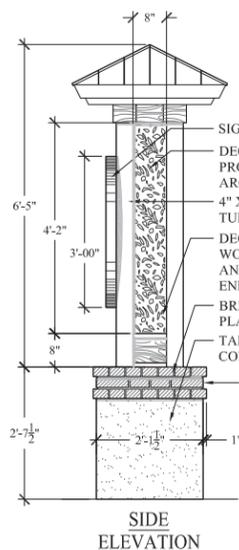
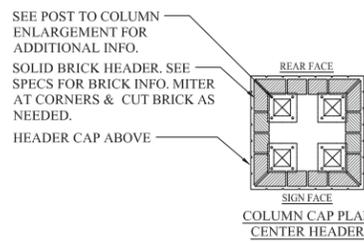
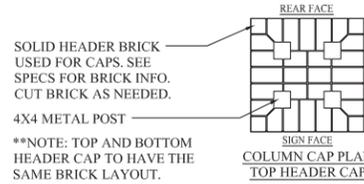
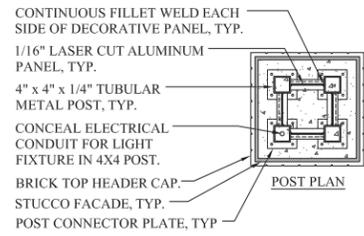


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PROFESSIONAL STAMPS:
PRELIMINARY: NOT FOR CONSTRUCTION

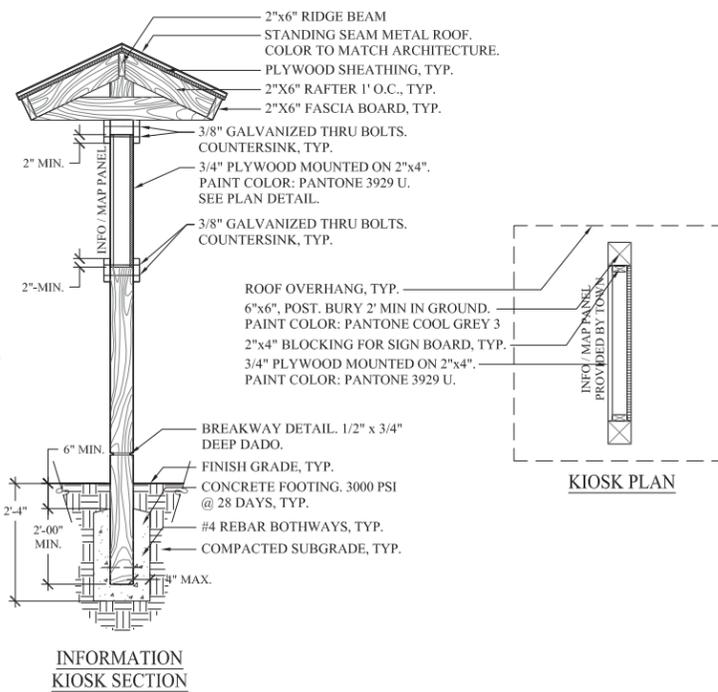
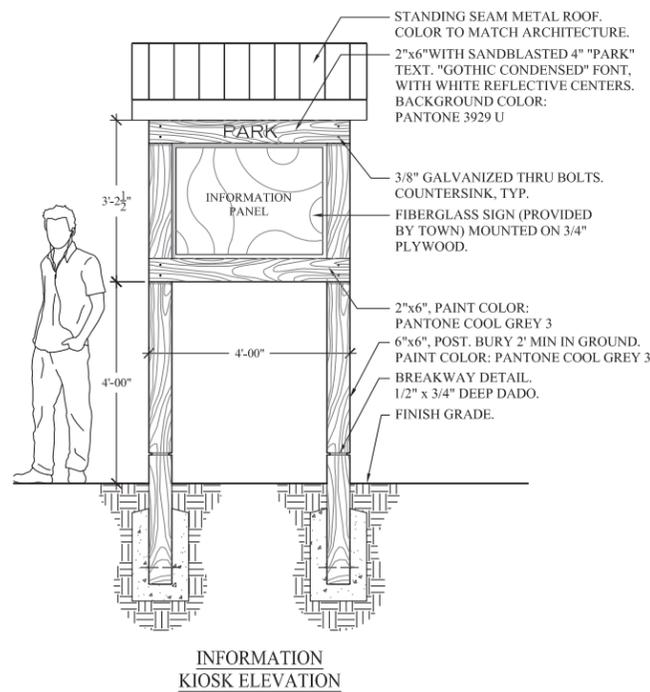
#	REVISION	DATE BY

DATE: 5-10-2016
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SHEET TITLE: Site Details

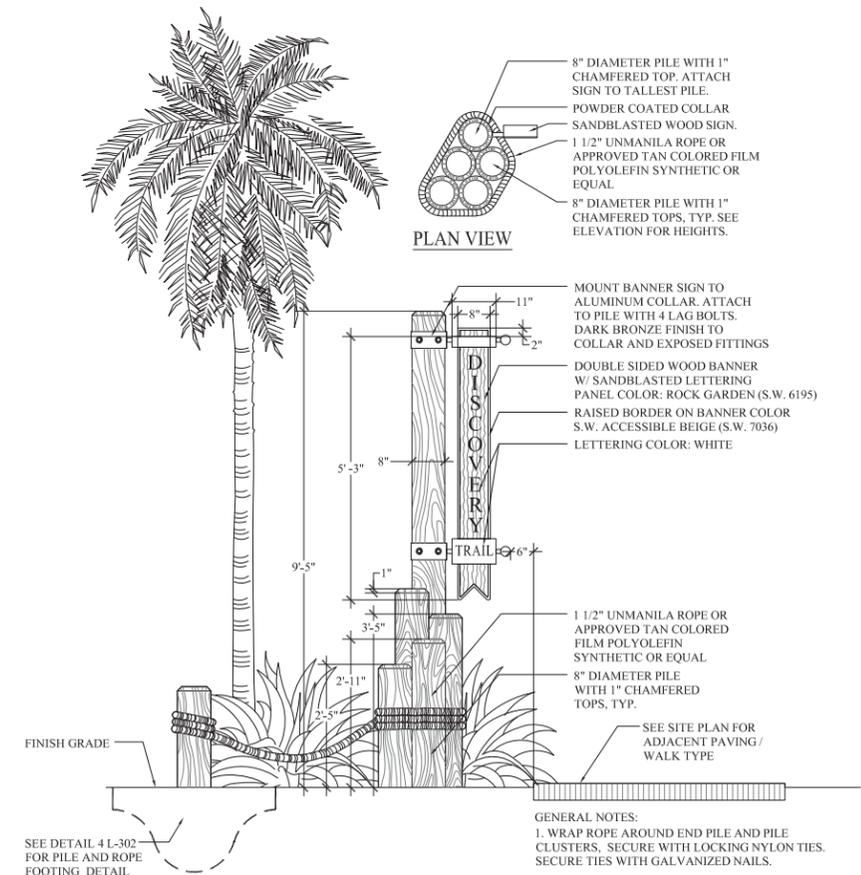


GENERAL NOTES:
1. ROOF PLANS TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. ALL FASTNERS AND MATERIALS TO BE SPECIFIED IN SHOP DRAWINGS.
2. SHOP DRAWINGS FOR DECORATIVE ALUMINUM INSERT PANEL TO BE SUBMITTED FOR APPROVAL PRIOR TO PURCHASING OR CONSTRUCTION.
3. CONSTRUCTION METHODS FOR THE ASSEMBLY OF THE WOOD AND METAL INSERT PANELS AS WELL AS THE DECORATIVE ALUMINUM INSERT PANEL TO SUPPLIED PRIOR TO CONSTRUCTION.
4. ALL IPE WOOD TO RECEIVE TWO COATS OF CLEAR SEALANT.
5. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
6. ALL METAL POSTS, BRACKETS, AND POST AND BRACKET FASTENERS SHALL BE POWDER COATED, COLOR PROTEGE BRONZE.

1 PARK I.D. SIGN
L304 SCALE: 3/4" = 1'-00"



2 PARK INFORMATION KIOSK
L304 SCALE: 3/4" = 1'-00"



3 DISCOVERY TRAIL GATEWAY
L304 SCALE: 3/4" = 1'-00"

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BHL/EL
CHECKED BY: TG

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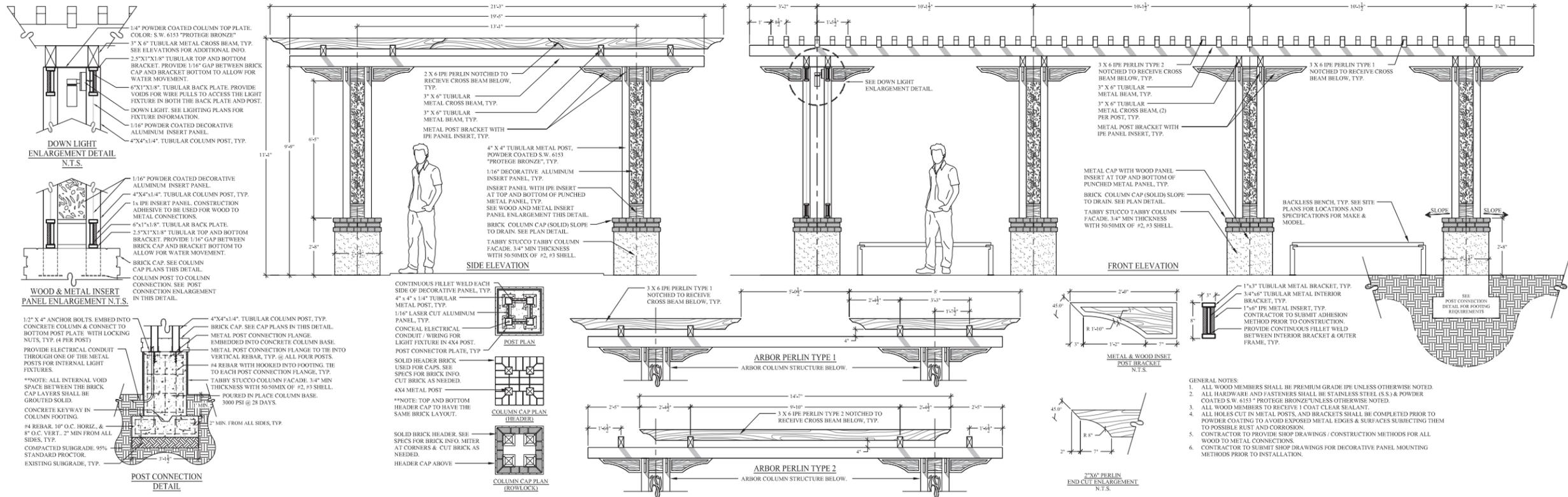
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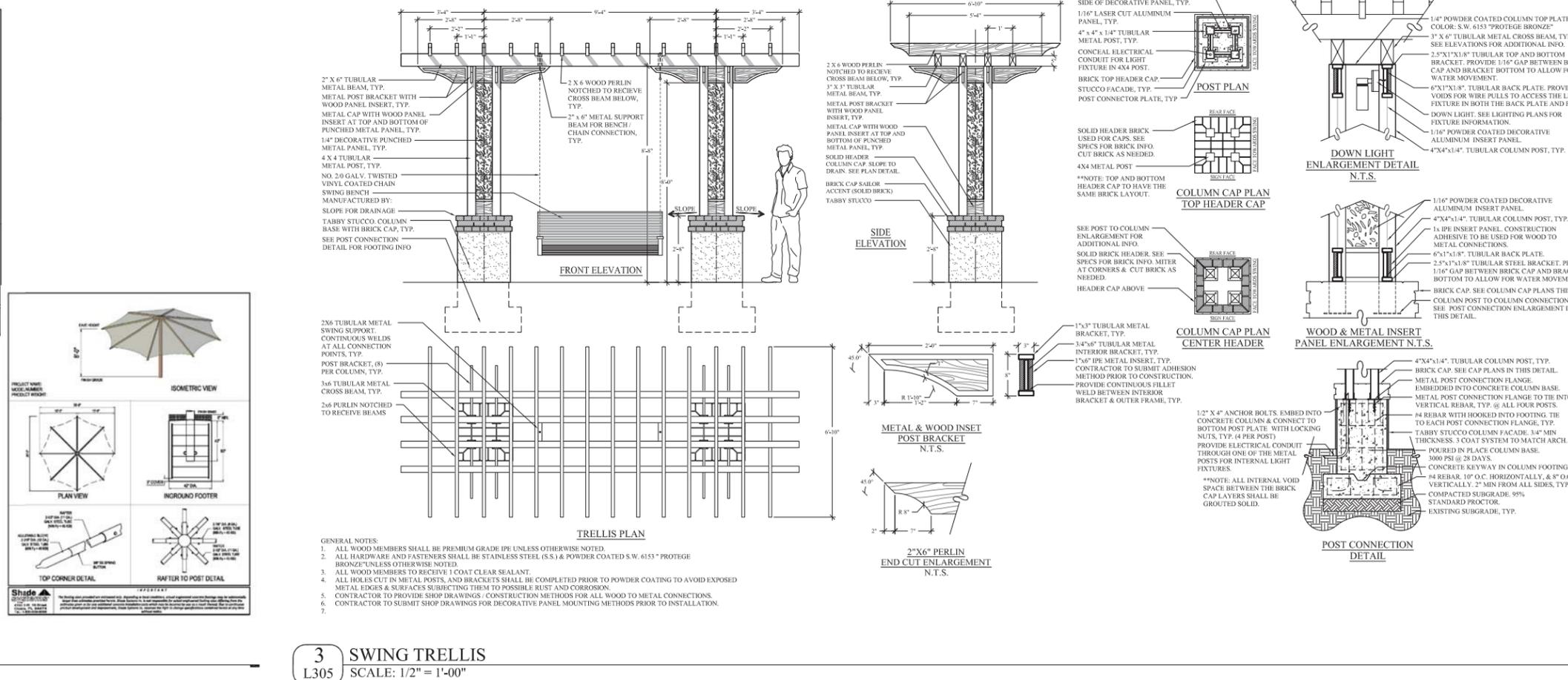
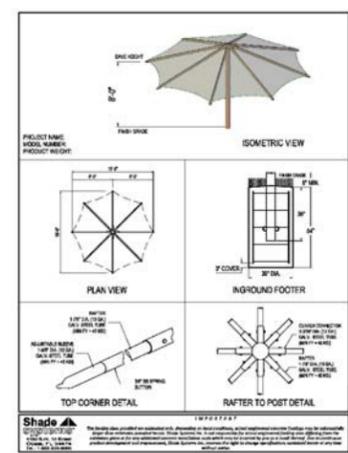
#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE:

Site Details



1 GRAND LAWN ARBOR
SCALE: 1/2" = 1'-00"



2 SHADE UMBRELLAS
SCALE: N.T.S.

3 SWING TRELLIS
SCALE: 1/2" = 1'-00"

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

CONSTRUCTION DOCUMENTS FOR
COLIGNY PARK
Hilton Head Island, South Carolina

PRELIMINARY: NOT FOR CONSTRUCTION

DRAWN BY: BHL
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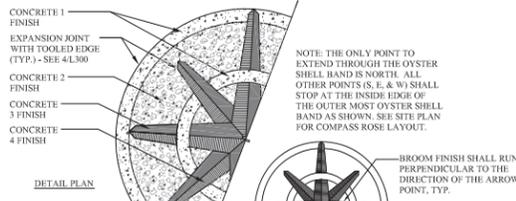
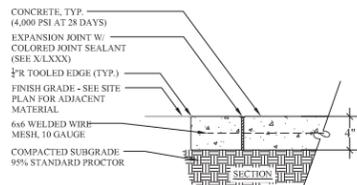
PRELIMINARY: NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Details

SHEET NUMBER: L-305

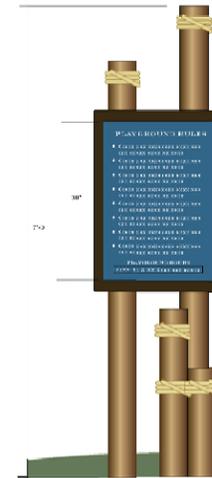
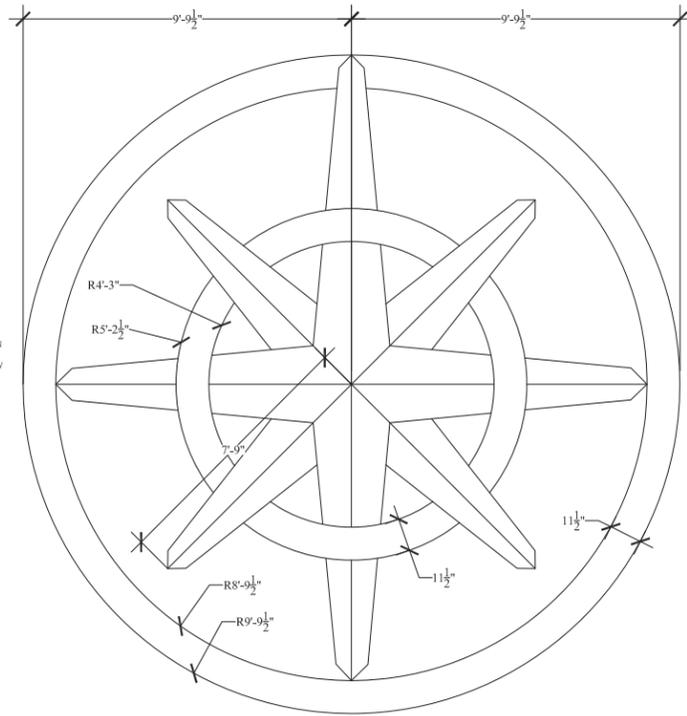
Wood+Partners Inc. WPI
Landscape Architecture
PO Box 22049 # Hilton Head Island, SC 29928
843.887.8278 • Fax 843.887.7288 • www.woodpartners.com



INTEGRAL COLOR AND COLOR HARDENER CONCRETE FINISH LEGEND:

	CONCRETE 1 FINISH OYSTER SHELL CONCRETE COLOR: NATURAL
	CONCRETE 2 FINISH ROCK SALT COLOR: MESA BEIGE INTEGRAL COLOR (C-12)
	CONCRETE 3 FINISH SCOFFLED REVIVE EXTERIOR CONCRETE: PLATINUM GRAY (A-57)
	CONCRETE 4 FINISH SCOFFLED REVIVE EXTERIOR CONCRETE STAIN: SHADOW SLATE (C-31)

- NOTES:**
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR APPROVAL PRIOR TO CONSTRUCTION.
 - PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - CONTRACTOR TO FLASH SURFACE OF INTEGRAL COLOR WITH 20% DOSAGE RATE OF COLOR HARDENER BEFORE FINAL BROOM FINISH.
 - CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, DIFFERENT PAVEMENTS AND WALLS.
 - SEE SITE PLAN FOR LOCATION.
 - FOR STANDARD FINISH PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO TRAVEL PATH.



- NOTES:**
- SIGN SHALL BE 2X SANDBLASTED REDWOOD 1 BORDER OFFSET 3/8" FROM EDGE OF PANEL.
 - FONT SHALL BE "COPPERPLATE GOTHIC LIGHT".
 - SUBMIT SHOP DRAWINGS OF SIGN TO POST CC TO INSTALLATION.
 - PROVIDE CHANGEABLE PLEXIGLAS COPY FOR AND LICENSE NUMBER TEXT ON FOUNTAIN RUL.

1
L306 **COMPASS ROSE**
SCALE: XXX = 1'-00"

2
L306 **PLAYGROUND RULES SIGN**
SCALE: XXX = 1'-00"



- NOTES:**
- LIFE SIZE SEATED FROG BY BEAU SMITH'S STUDIO
WWW.BEAUTIFULFROG.COM
(770) 434-6404
 - FROG TO BE PLACED ON WOOD BENCH.
COORDINATE WITH SCULPTOR TO PROVIDE ANCHOR/TIES TO BENCH

3
L306 **FROG SCULPTURE ON BENCH**
SCALE: NTS

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY:
BH, EL
CHECKED BY:
TG

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PROFESSIONAL STAMPS:



#	REVISION	DATE	BY

DATE
5-10-2016
PROJECT NUMBER
01-16002
SHEET TITLE
Site Details

SITE KEY LEGEND:

ARCHITECTURE:	
A1	MUSEUM BUILDING SEE ARCHITECTURAL DRAWINGS
A2	CONCERT PAVILION SEE ARCHITECTURAL DRAWINGS
A3	RESTROOM / DROP-OFF BUILDING SEE ARCHITECTURAL DRAWINGS
A4	POND PAVILION SEE ARCHITECTURAL DRAWINGS
A5	SHADE SAIL FEATURE @ MUSEUM SEE ARCHITECTURAL DRAWINGS
SITE WORK: PAVEMENT	
S1	CONCRETE WALKWAY (4" & 6") DETAIL 1, L-1000
S2	STAMPED CONCRETE WALK DETAIL 3, L-1000
S3	STAMPED CONCRETE IMPRESSIONS DETAIL 3, L-1000
S4	DETECTABLE WARNING DEVICE DETAIL 5, L-1000
S5	CONCRETE CURB RESTRAINT DETAIL 11, L-1000
S6	VEHICULAR PAVING (PATTERN ONLY) DETAIL 6, L-1000
S7	SPECIALTY PAVING (PEDESTRIAN) DETAIL 7, L-1000
S8	SAND PLAYGROUND SURFACE DETAIL 9, L-1000
S9	POURED IN PLACE RUBBER SURFACE DETAIL 8, L-1000
S10	BLANK DETAIL 5, L-1000
SITE FEATURES:	
S11	GRAND LAWN ARBOR DETAIL 1, L-1000
S12	PLAYGROUND GATEWAY DETAIL 1, L-1000
S13	CIRCULAR ARBOR TREE DETAIL 1, L-1000
S14	SWING TRELLIS DETAIL 3, L-1000
S15	RAISED PLANTER / SEATWALL DETAIL 9, L-1000
S16	PILE WALL DETAIL 3, L-1000
S17	CURVED TONGUE & GROOVE WOOD WALL DETAIL 1, L-1000
S18	ROPE AND PILE FENCE DETAIL 4, L-1000
S19	DISCOVERY TRAIL GATEWAY DETAIL 3, L-1000
S20	1" PLAYGROUND ENCLOSURE FENCE DETAIL 9, L-1000
S21	BULKHEAD & RAILING DETAIL 1, L-1000
S22	CABLE RAIL SYSTEM DETAIL 2, L-1000

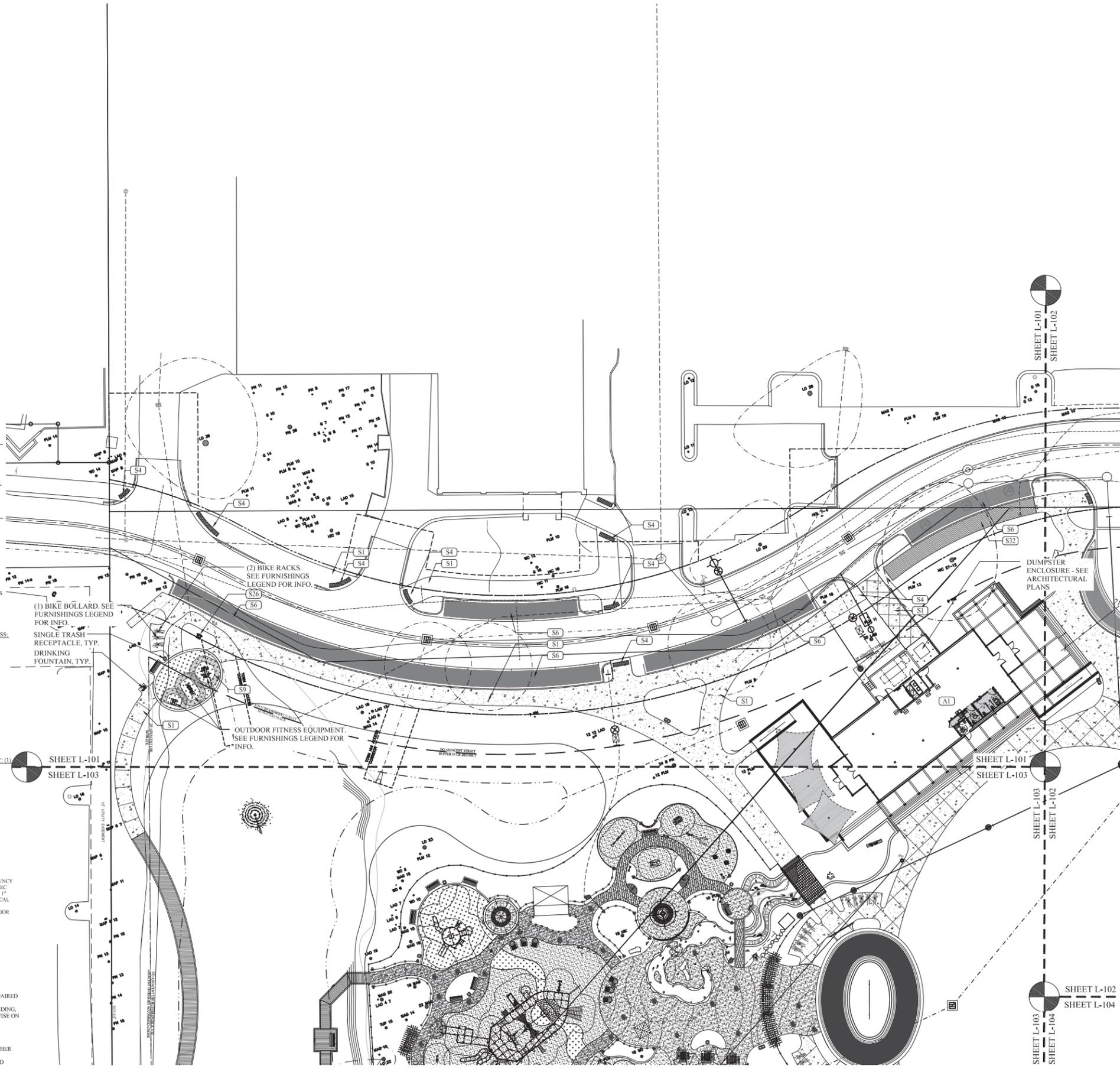
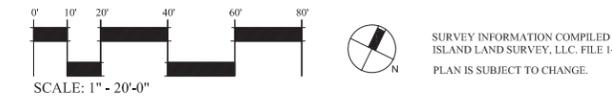
SITE FEATURES CONT'D:	
S23	BOARDWALK DETAIL 4, L-1000
S24	PLAYGROUND PEDESTRIAN BRIDGE DETAIL 5, L-1000
S25	BRICK PAVILION STAIRS DETAIL 5, L-1000
S26	PARK ID SIGN DETAIL 1, L-1000
S27	SHADE UMBRELLAS DETAIL 2, L-1000
S28	WATER FEATURE SEE WATER FEATURE DRAWINGS
S29	INTERPRETIVE PARK SIGNS DETAIL SHEET L-1007
S30	COMPASS ROSE PAVING AREA DETAIL 7, L-1000
S31	PALM TREE PLANTER WELL DETAIL 10, L-1000
S32	ON GRADE BOARDWALK DETAIL 7, L-1000
S33	TRENCH DRAIN TYPES A & B DETAIL
S34	DECK DRAIN DETAIL
RECREATION FEATURES:	
R1	ICONIC SHIP STRUCTURE BY OTHERS - FOR REFERENCE ONLY
R2	2-5 YEAR STRUCTURE BY OTHERS - FOR REFERENCE ONLY
R3	SWINGS BY OTHERS - FOR REFERENCE ONLY
R4	MULTI-USER SWING PLATFORM BY OTHERS - FOR REFERENCE ONLY
R5	WHIMSIL RIDERS (DOLPHINS & SEA HORSE) BY OTHERS - FOR REFERENCE ONLY
R6	FOSSIL DIGS (SHELLS, SHARK TEETH, CRABS) BY OTHERS - FOR REFERENCE ONLY
R7	CLIMBING TURTLE BY OTHERS - FOR REFERENCE ONLY
R8	SEESAW BY OTHERS - FOR REFERENCE ONLY
R9	FROG SCULPTURE ON LOG DETAIL 7, L-1000
R10	TURTLES ON LOG DETAIL 5, L-1000
R11	WHIMSICAL BIRD SCULPTURE DETAIL 1, L-1000
R12	PLAYGROUND KIOSK WITH MAP DETAIL 2, L-1000
R13	LOG STEPPER BY OTHERS - FOR REFERENCE ONLY
R14	LOG BALANCE BEAM BY OTHERS - FOR REFERENCE ONLY
R15	LOG CRAWL / TUNNEL BY OTHERS - FOR REFERENCE ONLY
R16	TALK TUBS BY OTHERS - FOR REFERENCE ONLY

PAVING SCHEDULE:		
	4" OYSTER SHELL CONCRETE: SEE DETAIL 14-300	CONCRETE CONTROL JOINT: SEE DETAIL 4L-300
	6" OYSTER SHELL CONCRETE: SEE DETAIL 14-300	CONCRETE EXPANSION JOINT: SEE DETAIL 4L-300
	FRACTURED EARTH CONCRETE: SEE DETAIL 24-300	ROCK SALT CONCRETE: SEE DETAIL 1L-300
	POURED IN PLACE RUBBER SURFACE: SEE DETAIL 8L-300	BOARDFORM CONCRETE: SEE DETAIL 24-300
	ADA DETECTABLE WARNING: SEE DETAIL 5L-300	VEHICULAR PAVEMENT PATTERN: SEE DETAIL 6L-300
	DECORATIVE PAVER (PEDESTRIAN): SEE DETAIL 1L-300	SAND PLAYGROUND SURFACE: SEE DETAIL 9L-300

SITE FURNISHINGS SCHEDULE:	
	PLAYGROUND FENCE: SEE DETAIL 6L-301
	ADIRONDACK CHAIRS: (BY OTHERS) LAYOUT IS CONCEPTUAL
	BENCH TYPE 1, QTY: (28) MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH6 - SIX SLAT WITH BACK SEE SITE PLAN FOR LOCATIONS
	BENCH TYPE 2, QTY: (6) MANUFACTURER: STRUCTURA OR EQUAL MODEL: UBH4 - FOUR SLAT BACKLESS SEE SITE PLAN FOR LOCATIONS
	TRASH RECEPTACLE, QTY: (20) MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: S8-2 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATION
	RECYCLING RECEPTACLE, QTY: (6) MANUFACTURER: VICTOR STANLEY OR EQUAL MODEL: S8-24 W/ SIDE OPENING DOOR SEE SITE PLAN FOR LOCATION
	STAMPED CONCRETE IMPRESSIONS: SEE DETAIL 3, L-1000 SEE SITE PLAN FOR LOCATIONS
	BIKE RACKS QTY: (44) & BIKE BOLLARD QTY: (6) MANUFACTURER: STRUCTURA OR EQUAL MODEL: DUO-BR (44) & DUO-BL (6) COLOR: BLACK, POWDER COATED SEE SITE PLAN FOR LOCATIONS
	DECORATIVE BIKE RACKS, QTY: (1) MANUFACTURER: SEE SITE PLAN FOR LOCATIONS
	DRINKING FOUNTAIN TYPE A, QTY: (2) MANUFACTURER: MOST DEPENDABLE FOUNTAIN OR EQUAL MODEL: 10155 SM, W/ PET FOUNTAIN, A.D.A. COMPLIANT SEE SITE PLAN FOR LOCATIONS
	DRINKING FOUNTAIN TYPE B, QTY: (1) MANUFACTURER: MURDOCK OR EQUAL MODEL: M-OW-1 OAKWOOD, A.D.A. COMPLIANT SEE SITE PLAN FOR LOCATIONS
	FOOTWASH, QTY: (1) MANUFACTURER: MOST DEPENDABLE FOUNTAINS OR EQUAL MODEL: #525 SM W/ HOSE BIBB, COLOR: BROWN SEE SITE PLAN FOR LOCATIONS
	REMOVABLE BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL, MODEL: B-3, MINERAL BRONZE SEE SITE PLANS FOR LOCATIONS
	FIXED BOLLARD: MANUFACTURER: FAIRWEATHER SITE FURNISHINGS OR EQUAL, MODEL: B-3, MINERAL BRONZE SEE SITE PLANS FOR LOCATIONS
	CIRCULAR BENCH, QTY: (2) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLANS FOR LOCATIONS
	16" & 20" SHADE UMBRELLA: MANUFACTURER: SHADE SYSTEMS OR EQUAL MODEL: U1608 & U2008 SEE SITE PLANS FOR LOCATIONS AND SIZES
	FALLEN TREE BENCH, QTY: (3) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: #5000004, SEE SITE PLANS FOR LOCATIONS
	PICNIC TABLE, QTY: (4) MANUFACTURER: EQUIPARC OR EQUAL MODEL: EP 2886, IPE, SEE SITE PLANS FOR LOCATIONS
	ROWER, QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: GR2005-4-91 SEE SITE PLAN FOR LOCATIONS
	2-PERSON ACCESSIBLE LATRINE & VERTICAL PRESS: QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: GR2005-148C-W SEE SITE PLAN FOR LOCATIONS
	SINGLE ELLIPTICAL, QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: HP2009-5-03 SEE SITE PLAN FOR LOCATIONS
	TWO PERSON LEG PRESS, QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: HP2009-5-05 SEE SITE PLAN FOR LOCATIONS
	STAIR SLIMMER, QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: GR2005-4-91 SEE SITE PLAN FOR LOCATIONS
	FOUR PERSON PENDULUM, ABS, & DIP STATION, QTY: (1) MANUFACTURER: GREENFIELDS OUTDOOR FITNESS OR EQUAL, MODEL: GR2005-4-22 SEE SITE PLAN FOR LOCATIONS
	WHIMSICAL BIRD SCULPTURE, QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
	TURTLES ON LOG SCULPTURE, QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
	SCULPTURE ON BENCH, QTY: (1) MANUFACTURER: XXXXXXXXXXXX OR EQUAL MODEL: XXXXXXXXXXXX SEE SITE PLAN FOR LOCATIONS
	EMERGENCY TELEPHONE (TOLL FREE), PROVIDE EMERGENCY PHONE (TOLL FREE) IN WATERPROOF ENCLOSURE PER DIEBC REQUIREMENTS. MOUNT TO 650 P.T. POST AT 4' HIG. WITH 1" CHAMFER AT TOP. PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF POOL, AND DISPLAY AT PHONE-PROVIDE SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.
	PET WASTE DISPOSAL STATION: MANUFACTURER: DOGIPOT OR EQUAL MODEL: #1003-L SEE SITE PLANS FOR LOCATIONS

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE COVER COVER, UNLESS SPECIFIED OTHERWISE ON THE PLANS.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.



PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: SHL
CHECKED BY: TG

PROFESSIONAL STAMPS:

PRELIMINARY: NOT FOR CONSTRUCTION

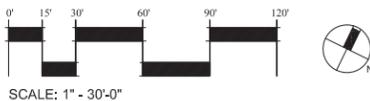
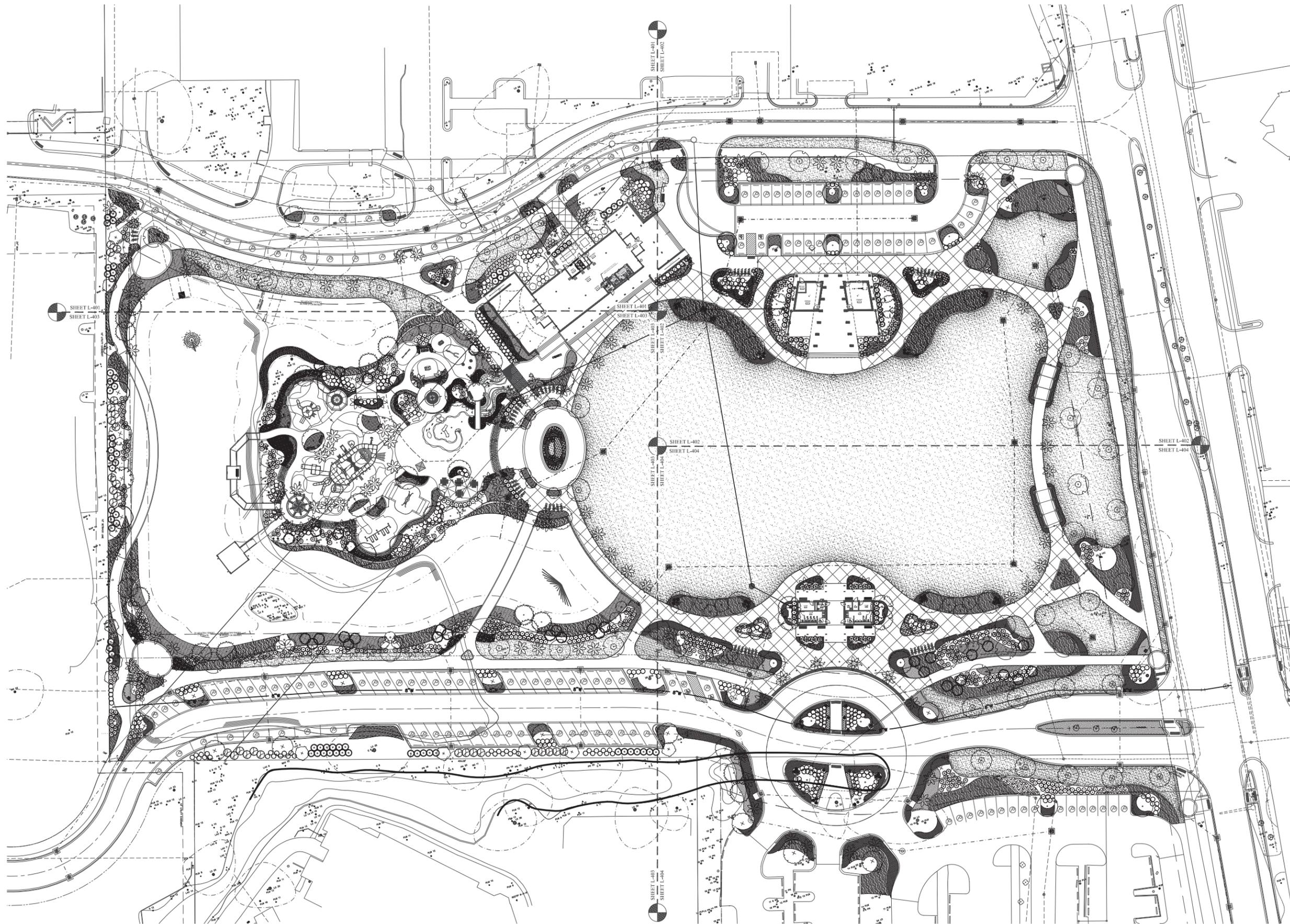
#	REVISION	DATE	BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Site Plan

Wood+Partners Inc. WPI
Landscape Architects
Landscape Partners

PO Box 2390 #1111 Hilton Head Island, SC 29928
843.887.8878 • Fax 843.887.7388 • www.woodpartners.com

SHEET NUMBER: L-101



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
 PLAN IS SUBJECT TO CHANGE.

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS
 FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY:
 BHEL
 CHECKED BY:
 TG

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#	REVISION	DATE	BY

DATE
 5-10-2016
 PROJECT NUMBER
 01-16002
 SHEET TITLE
 Overall
 Landscape

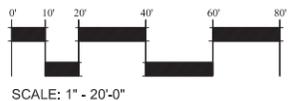
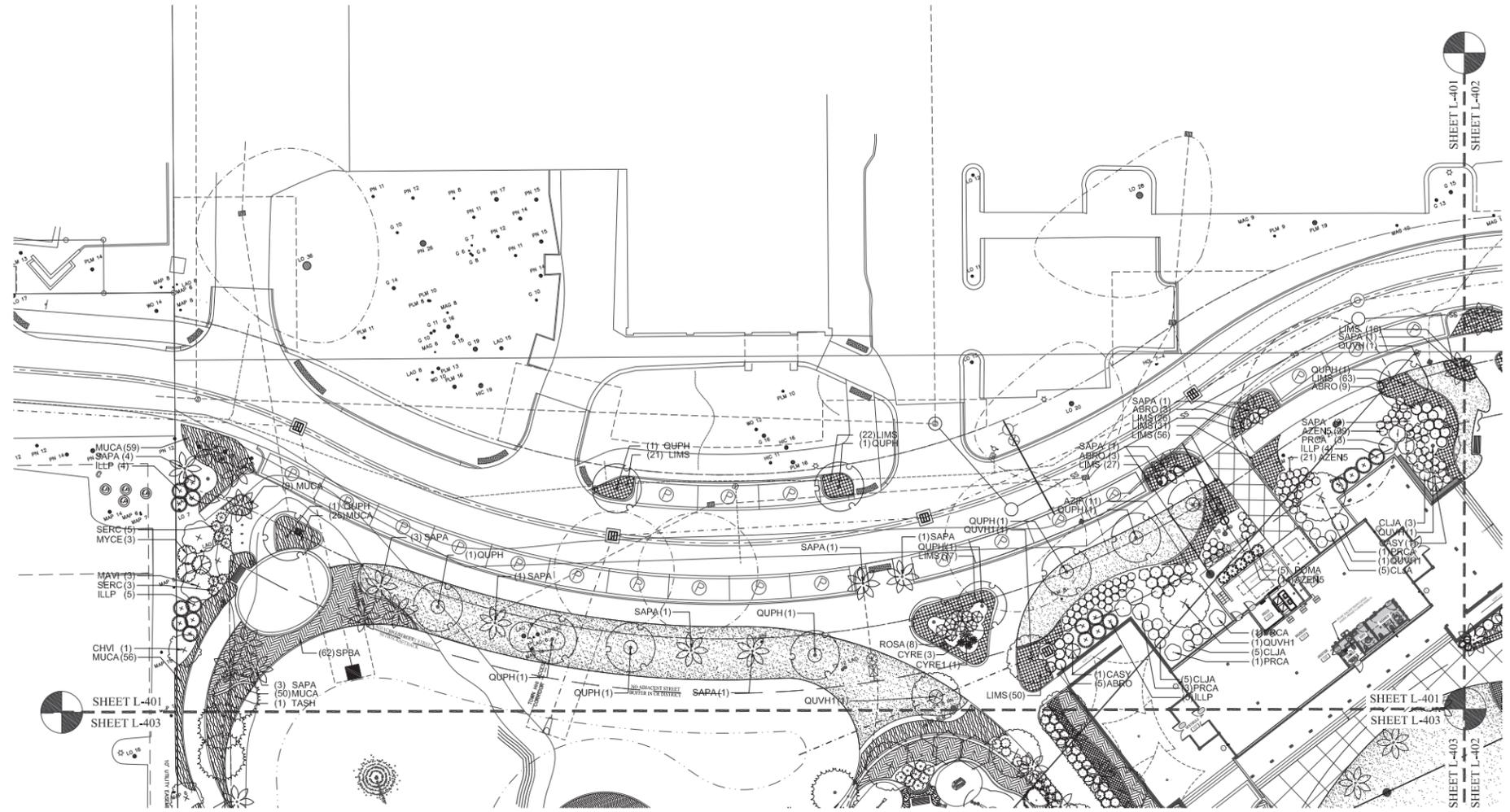
SHEET
 NUMBER
L-400

Wood+Partners Inc. WPI
 Landscape Architects
 Landscapers

PO Box 23049 # Hilton Head Island, SC 29929
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Town of Hilton Head Island
 One Town Center Court
 Hilton Head Island, SC 29928

C:\projects\HiltonHead\Coligny Park\DWG\DWG\Coligny Park Landscape.dwg, Thursday, May 13, 2015, 10:55 AM, Printed By: User, This document and all information contained herein are the property of Wood+Partners, Inc. and are confidential. If this document is not intended for your use, please do not disseminate it. If you have any questions, please contact the project manager at 843.887.8878.



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Wood+Partners Inc. WPI
Landscape Architects
Landscape Partners

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#	REVISION	DATE	BY

DATE
5-10-2016
PROJECT NUMBER
01-16002
SHEET TITLE
Landscape Plan

SHEET NUMBER
L-401

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY:
BHEL
CHECKED BY:
TG

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PROFESSIONAL STAMPS:



Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CECA	11	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	B & B or Cont.	1.5"Cal		8'-10'	3'-4'	Category IV Replacement; Strong Central Leader
CHVI	27	Chionanthus virginicus	White Fringetree	B & B			6'-8'		Category IV Replacement; match in size and shape; single leader
LAMU	18	Lagerstroemia x 'Muskogee'	Lavender Crape Myrtle Multi-Trunk	B & B or Cont.	1.5"Cal		10'-12'	4'-5'	Category IV Replacement; 3-5 Canes Minimum
LANA	6	Lagerstroemia x 'Natchez'	Crape Myrtle	B & B or Cont.	1.5"Cal		10'-12'	4'-5'	Category IV Replacement; Single Trunk/Standard; 6' Clear Trunk
MAGR	10	Magnolia grandiflora 'Alta'	Alta Magnolia	B & B	2.5"Cal		12'-14'	4'-5'	Category I Replacement; Full to Ground Specimen
MAVI	6	Magnolia virginiana	Sweet Bay	B & B	2" Cal		12'-14'	3'-4'	Category II Replacement; Full to Ground Specimen
NYSY	6	Nyssa sylvatica	Black Gum	B & B or Cont.	2 1/2" Cal		12'-14'	3'-4'	Category II; Strong Central Leader; 4' Clear Trunk
PITA	36	Pinus taeda	Loblolly Pine	Cont.	1.5"Cal		8'-10'	6'-8'	Category III Replacement/Strong central leader; Specimen
QUPH	44	Quercus phellos	Willow Oak	B & B	4"Cal		16'-18'	7'-8'	Category II Replacement/Strong central leader
QUVH1	69	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	4"Cal		12'-14'	4'-6'	Category I Replacement
SAPA	176	Sabal palmetto	Cabbage Palmetto	B & B			16'-20'		Category III Replacement; Height varies unless noted, smooth trunk, hurricane cut
SAAL	2	Sassafras albidum	Sassafras	B & B	2" Cal		12'-14'	4'-5'	Category I Replacement
TASH	51	Taxodium distichum 'Shawnee Brave' TM	Bald Cypress	B & B	3"Cal		14'-16'	5'-6'	Category I Replacement; Strong central leader
ULAM	7	Ulmus americana 'Princeton'	American Elm	B & B or Cont.	4"Cal		16'-18'	6'-8'	Category II Replacement; Full Crown; Specimen
VIAC	18	Vitex agnus-castus	Chaste Tree	15 gal			4'-5'		Category IV Replacement; Full

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS
ABRO	313	Abelia x 'Rose Creek'	Rose Creek Abelia	1 gal	18"-24"	12"-18"	Full
AZIF	11	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24"-30"	24"-30"	Full
AZENS	91	Azalea x 'Robled'	Azalea Encore Autumn Chiffon TM	3 gal	24"-30"	24"-30"	Full
AZEN1	30	Azalea x 'Robled'	Azalea Encore Autumn Sundance TM	3 gal	24"-30"	24"-30"	Full pot
CABE	4	Camellia japonica 'Berenice Boddy'	Camellia	7 gal	36"-42"	18"-24"	Full
CASY	8	Camellia sasanqua 'Yuletide'	Yuletide Camellia	7 gal	36"-42"	18"-24"	Full
CLJA	18	Cleyera japonica	Sakaki	7 gal	36"-42"	18"-24"	Full
CYRE	47	Cycas revoluta	Sago Palm	Cont.	18"-24"	18"-24"	Full, SPECIMEN
CYREI	16	Cycas revoluta	Japanese Sago Palm	Cont.	36"-48"	24"-36"	Full, SPECIMEN
ILNA	102	Ilex vomitoria 'Nana'	Dwarf Yaupon	3 gal	36"-42"	30"-36"	Upright, Single-Stem
ILWI	34	Ilex vomitoria 'Will Fleming'	Will Fleming Yaupon	7 gal	36"-42"	30"-36"	Full
ILLP	64	Illicium floridanum	Purple Anise	7 gal	36"-42"	30"-36"	Full
LEAX	20	Leucothoe axillaris	Coastal Leucothoe	7 gal	36"-42"	30"-36"	Full
LOCP	116	Loropetalum chinense 'Purple Diamond'	Fringe Flower	3 gal	24"-36"	24"-36"	Full
MISI	52	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	3 gal	24"-36"	18"-24"	Full Pot
MYCE	28	Myrica cerifera	Wax Myrtle	7 gal	36"-48"	24"-36"	Full, matched
POMA	53	Podocarpus macrophyllus	Japanese Yew	7 gal	36"-48"	24"-36"	Full; Specimen
PRCA	9	Prunus caroliniana	Carolina Laurel Cherry	15 gal	6'-8'	3'-4'	Full pot, Matched
ROSA	52	Rosa x 'Double Knockout'	Rose 'Radtko'	3 gal	18"-24"	12"-18"	Full pot, Matched
SERC	439	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	18"-24"	12"-18"	Full pot, Matched
VIOD	8	Viburnum odoratissimum 'Awabuki'	Awabuki Viburnum	3 gal	18"-24"	12"-18"	Full pot, Matched

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
AGAF	11	Agapanthus africanus 'Storm Cloud'	Lily of the Nile	1 gal	12"-18"	12"-18"	24" o.c.	Full pot
ASME	81	Asparagus meyeri	Foxtail Fern	1 gal	12"-18"	12"-18"	24" o.c.	Full pot
DITY	22	Dianella tasmanica 'Variegata'	Variegated Flax Lily	1 gal	12"-18"	10"-12"	18" o.c.	Full pot
DIVE	725	Dietsa vegeta	African Iris	1 gal	12"-18"	8"-12"	24" o.c.	Full pot
ERSP	133	Eragrostis spectabilis	Purple Love Grass	1 gal	10"-12"	8"-12"	24" o.c.	Full pot
HEST	336	Hemeroallis stella D'oro	Daylily	1 gal	6"-8"	6"-8"	16" o.c.	Full pot
LACN	154	Lantana camara 'New Gold'	Gold Mound Lantana	1 gal	10"-12"	10"-12"	24" o.c.	Full pot
LIMS	4,117	Liriope muscari 'Super Blue'	Lily Turf	1 gal	12"-14"	6"-8"	24" o.c.	Full pot
MUCA	3,358	Muhlenbergia capillaris	Muhly Grass	3 gal	12"-18"	8"-12"	30" o.c.	Full pot
OSCI	162	Osmunda cinnamomea	Cinnamon Fern	1 gal	12"-18"	8"-12"	24" o.c.	Full pot
ROME	13	Rosa x 'Meigalpio'	Red Drift Rose	1 gal	18"-24"	18"-24"	24" o.c.	Full pot
ROSR	244	Rosmarinus officinalis 'Roman Beauty'	Roman Beauty Rosemary	3 gal	18"-24"	18"-24"	30" o.c.	Full pot
SPBA	708	Spartina bakeri	Sand Cord Grass	3 gal	18"-24"	18"-24"	36" o.c.	Full pot
TRDN	116	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	3 gal	12"-18"	10"-12"	36" o.c.	Full pot
TUVI	254	Tulbaghia violacea	Society Garlic	1 gal	18" o.c.		18" o.c.	Full pot

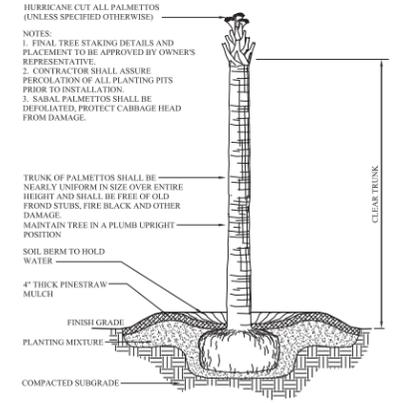
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
CYDA	123,683 sf	Cynodon dactylon 'Celebration'	Celebration Bermuda Grass	sod				

TREE REPLACEMENT REQUIREMENT ACI (TOTAL)

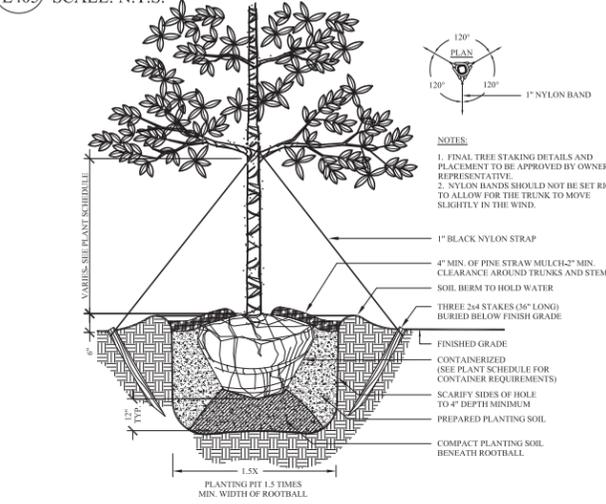
TREE CATEGORY	INCHES REQUIRED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
I Broadleaf Evergreen Overstory	161.67'	81 *(Based on 2" min tree required by TOHH)	(100) Overstory provided to satisfy mitigation numbers (19) 6" Live Oak exceed required planting
II Deciduous Overstory Hardwoods & Evergreen Understory	268.58'	134 *(Based on 2.0" min tree required by TOHH)	(65) Overstory provided to satisfy mitigation numbers (19) 4" Live Oak used to offset deficit
III Conesbearing Evergreens and Palms	167.92'	168 *(Based on 1" min tree required by TOHH)	(36) 1.5" Evergreens & (176) Palms provided to satisfy mitigation numbers
IV Ornamentals	3.01'	3 *(Based on 1" min tree required by TOHH)	(80) Ornamentals provided to satisfy mitigation numbers

GENERAL PLANTING & IRRIGATION NOTES:

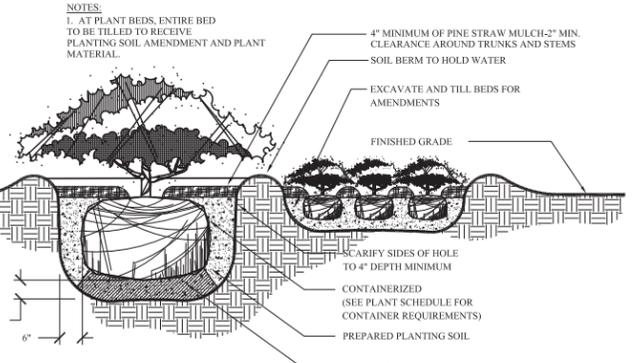
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, AND PLANTING BEDS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES.
- CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW MULCH TO A 4" DEPTH-SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S CHOICE FOR SEASON OF INSTALLATION.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.



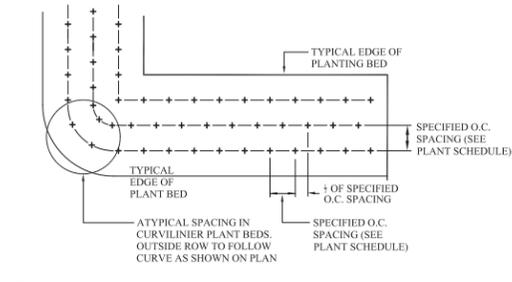
1 PALM TREE
L405 SCALE: N.T.S.



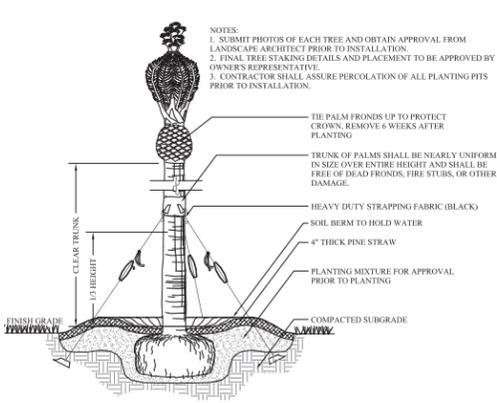
2 SHADE TREE
L405 SCALE: N.T.S.



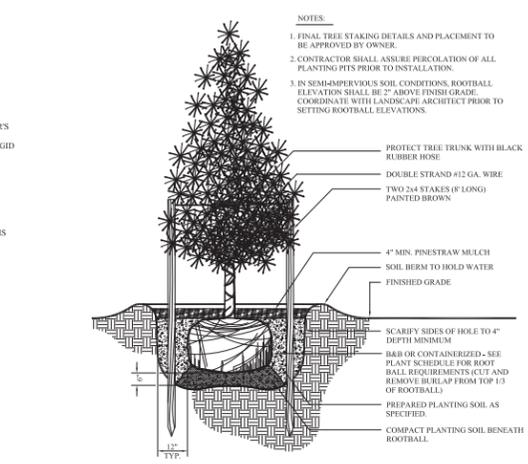
3 SHRUB PLANTING
L405 SCALE: N.T.S.



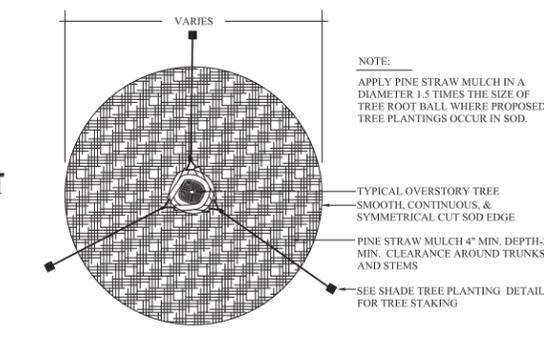
4 GROUND COVER SPACING
L405 SCALE: N.T.S.



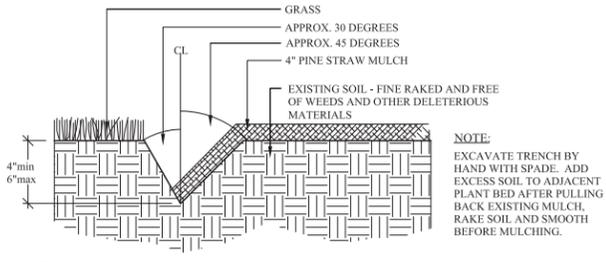
5 SPECIMEN PALM
L405 SCALE: N.T.S.



6 PINE TREE
L405 SCALE: N.T.S.



7 MULCH TREE RING
L405 SCALE: N.T.S.



8 LANDSCAPE EDGE
L405 SCALE: N.T.S.

PRELIMINARY: NOT FOR CONSTRUCTION

CONSTRUCTION DOCUMENTS FOR
COLIGNY PARK
Hilton Head Island, South Carolina

DRAWN BY: BHL, EL
CHECKED BY: TG

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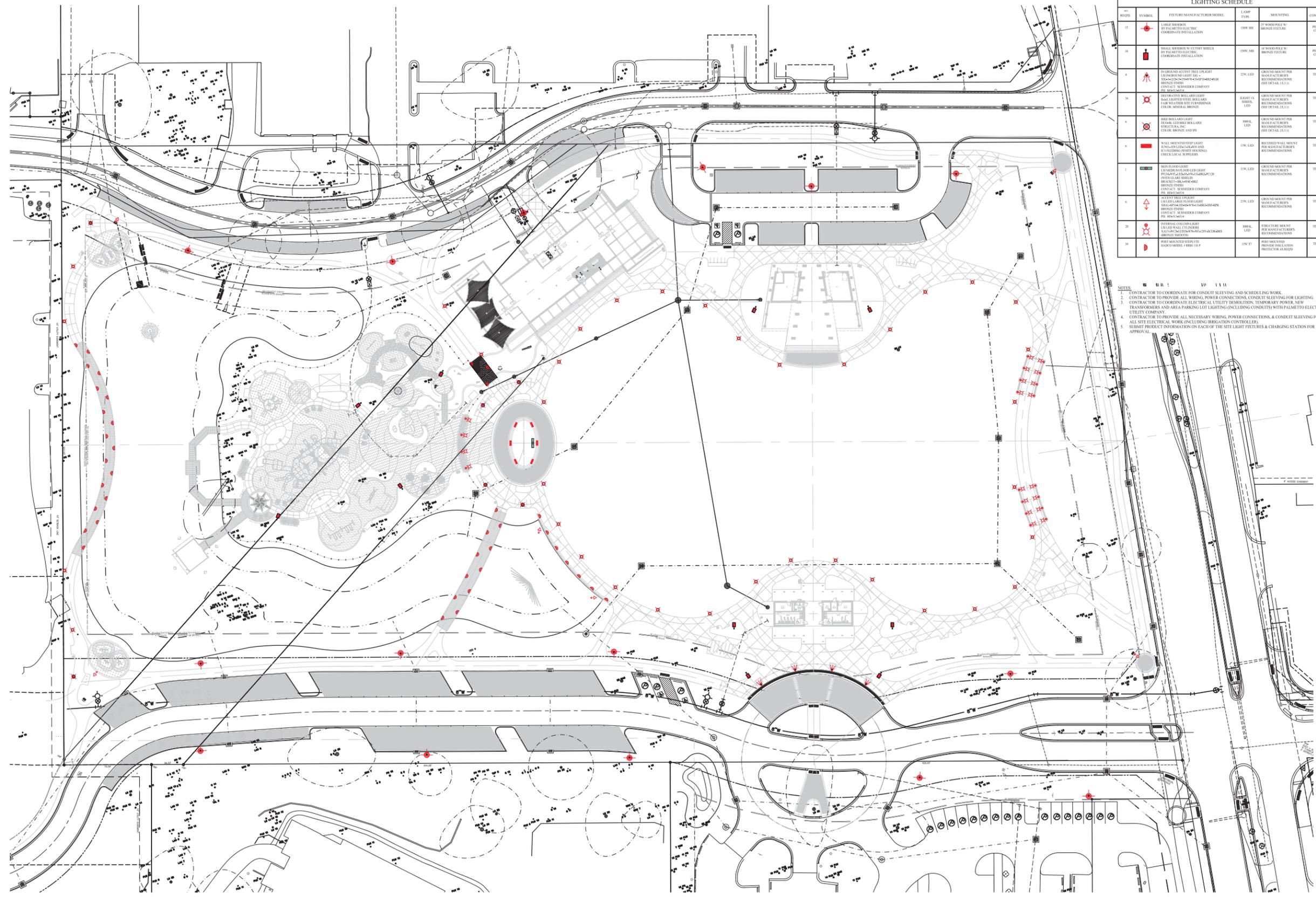
PROFESSIONAL STAMPS:

PRELIMINARY: NOT FOR CONSTRUCTION

#	REVISION	DATE BY

DATE: 5-10-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: Landscape Details

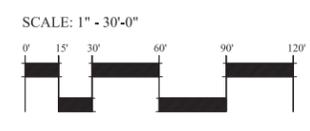
SHEET NUMBER: L-405



NO.	SYMBOL	FEATURE/MANUFACTURER/MODEL	LAMP TYPE	MOUNTING	CONTROL
15	⬤	LARGE BOLLARD WITH PALMETTO ELECTRIC COORDINATE INSTALLATION	100W MH	2" WOOD POLE W/ BRONZE FIXTURE	PHOTO CELL
16	⬤	SMALL BOLLARD WITH PALMETTO ELECTRIC COORDINATE INSTALLATION	100W MH	1 1/2" WOOD POLE W/ BRONZE FIXTURE	PHOTO CELL
4	⬤	RECURVING DOWN LIGHT WITH UP LIGHT EXHAUSTION LIGHT 300-4000K-4000LM BRONZE FINISH PROVIDER: WUNDER COMPANY #11-182-5214	27W LED	GROUND MOUNT FOR MANUFACTURER'S RECOMMENDATIONS SEE DETAIL 15.11.0	TIMER
36	⬤	RECURVING BOLLARD LIGHT BALL LIGHTED STEEL BOLLARD COLOR: METAL BRONZE PROVIDER: WUNDER COMPANY #11-182-5214	30W LED	GROUND MOUNT FOR MANUFACTURER'S RECOMMENDATIONS SEE DETAIL 15.11.0	TIMER
6	⬤	WALL BOLLARD LIGHT BALL LIGHTED STEEL BOLLARD STRUCTURA, INC. COLOR: BRONZE AND BK	30W LED	GROUND MOUNT FOR MANUFACTURER'S RECOMMENDATIONS SEE DETAIL 15.11.0	TIMER
4	⬤	WALL MOUNTED STEP LIGHT 2" X 6" BRONZE AND BK PROVIDER: WUNDER COMPANY #11-182-5214	10W LED	RECESSED WALL MOUNT FOR MANUFACTURER'S RECOMMENDATIONS	TIMER
1	⬤	RECURVING BOLLARD LIGHT 18" MEDIUM FLOODED LIGHT BRONZE FINISH PROVIDER: WUNDER COMPANY #11-182-5214	10W LED	GROUND MOUNT FOR MANUFACTURER'S RECOMMENDATIONS	TIMER
6	⬤	RECURVING BOLLARD LIGHT 18" MEDIUM FLOODED LIGHT BRONZE FINISH PROVIDER: WUNDER COMPANY #11-182-5214	27W LED	GROUND MOUNT FOR MANUFACTURER'S RECOMMENDATIONS	TIMER
36	⬤	CENTRAL COLUMN LIGHT 18" MEDIUM FLOODED LIGHT BRONZE FINISH PROVIDER: WUNDER COMPANY #11-182-5214	30W LED	STRUCTURE MOUNT FOR MANUFACTURER'S RECOMMENDATIONS	TIMER
36	⬤	POST MOUNTED LIGHT 18" MEDIUM FLOODED LIGHT BRONZE FINISH PROVIDER: WUNDER COMPANY #11-182-5214	10W LED	POST MOUNTED PROVIDE INSTALLATION PERFORMER'S APPROVAL	TIMER

NOTES:
 1. CONTRACTOR TO COORDINATE FOR CONDUIT SLEEVING AND SCHEDULING WORK.
 2. CONTRACTOR TO PROVIDE ALL WIRING, POWER CONNECTIONS, CONDUIT SLEEVING FOR LIGHTING.
 3. CONTRACTOR TO COORDINATE ELECTRICAL UTILITY DEMOLITION, TEMPORARY POWER, NEW TRANSFORMERS AND AREA PARKING LOT LIGHTING (INCLUDING CONDUITS) WITH PALMETTO ELECTRIC UTILITY COMPANY.
 4. CONTRACTOR TO PROVIDE ALL NECESSARY WIRING, POWER CONNECTIONS, & CONDUIT SLEEVING FOR ALL SITE ELECTRICAL WORK (INCLUDING IRRIGATION CONTROLLER).
 5. SUBMIT PRODUCT INFORMATION ON EACH OF THE SITE LIGHT FIXTURES & CHARGING STATION FOR APPROVAL.

GENERAL LIGHTING NOTES:
 1. PLAN IS CONCEPTUAL TO INDICATE OVERALL LIGHTING INTENT.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SEA ISLAND LAND SURVEY, LLC. FILE 1-2545.dwg, DATED NOVEMBER 11, 2015.
 PLAN IS SUBJECT TO CHANGE.

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CONSTRUCTION DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BH, EL
 CHECKED BY: TG

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PROFESSIONAL STAMPS:



#	REVISION	DATE BY

DATE: 5-10-2016
 PROJECT NUMBER: 01-16002
 SHEET TITLE: LS Lighting



SHEET NUMBER: LSE



A LIMESTONES WITH YELLOW, CREAM, GRAY AND RUST TONES TO BE USED TO COVER INLET FITTINGS AND FOR STONE STEPS



B CONCRETE STAMPED FINISH (FINISH ONLY, NOT COLOR)



C OTHER POTENTIAL STAMPS



D EDGE DETAIL



E DECK COLOR MESA BEIGE C-12



F 80% STREAM COLOR OYSTER WHITE 3611



G 20% STREAM COLOR BEIGE CREAM A-59

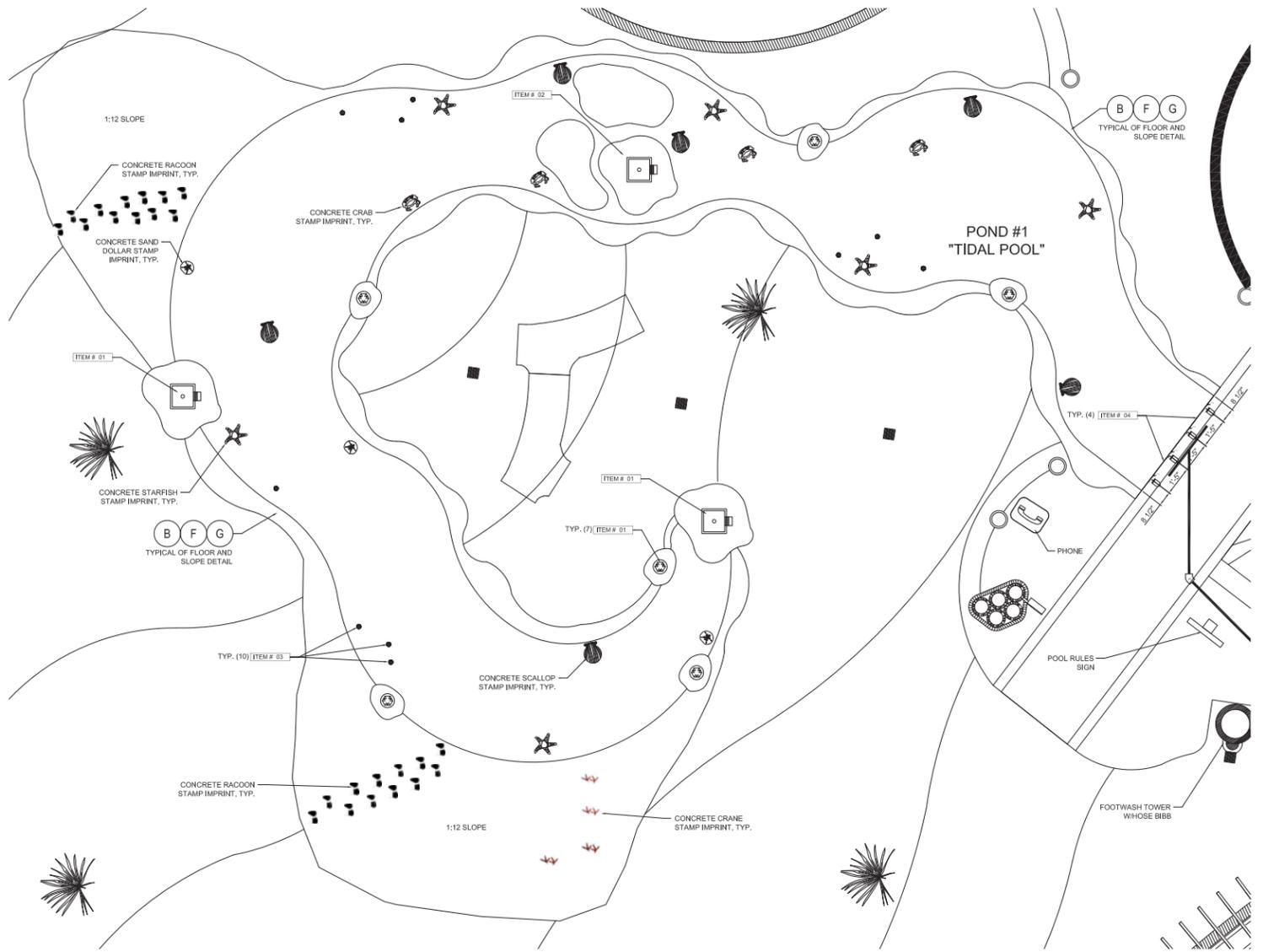
ALL COLORS ARE SCOFIELD COLORS TAKEN FROM THEIR COLOR CHART



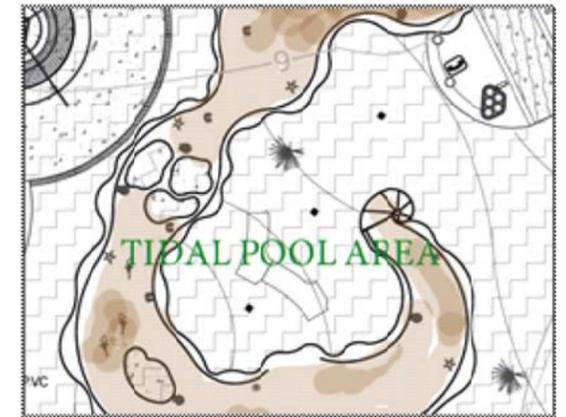
FLOOR DRAINS HIDDEN UNDER ROCKS IN 'TIDAL POOL' INTERACTIVE FOUNTAIN. ALSO USED AS INLET FITTING TO DISPERSE WATER IN 'TIDAL POOL' AND OTHER SECTIONS



BUBBLER NOZZLES FOR INTERACTIVE 'TIDAL POOL' FOOT FRIENDLY AND FLUSH WITH CONCRETE



ENLARGED POND #1 'TIDAL POOL' EMBED AND EQUIPMENT LAYOUT PLAN
SCALE: 3/8"=1'-0"



TIDAL POOL AREA
CONSISTS OF AN INTERACTIVE PLAY AREA WITH A STONE BRIDGE. WATER IS INTRODUCED IN SEVERAL PLACES ALONG STREAM AT VARIOUS TIMES TO MIMIC THE RISING AND FALLING OF THE TIDE. THE CONCRETE IS LIGHT IN COLOR AND HAS SMOOTH STAMPED CONCRETE FINISH. STONES ARE PLACED IN THE EDGE DETAIL OF THE STREAM TO HIDE THE WATER SOURCES AND FOR AESTHETICS.

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

PRELIMINARY: NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

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REVISION	DATE	BY

DATE: 3-15-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: ENLARGED POND #1 EMBED & EQUIPMENT LAYOUT PLAN

SHEET NUMBER: FM-2



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE XXXXXXXXXXXXXXXX.dwg, DATED MARCH 19, 2014. PLAN IS SUBJECT TO CHANGE.



PO Box 23644 Hilton Head Island, SC 29928
843.861.8878 • Fax 843.861.7068 • www.woodpartners.com



H REAL EXAMPLES OF WHAT WE WANT TO IMITATE



B SOME AREAS WILL HAVE SMALL BUBBLES RISING TO THE SURFACE



I RACCOON TRACKS STAMPED INTO BANK, ENTERING WATER



J SMALL STATUARY REPRESENTING TYPICAL CREATURES FOUND IN MUDFLATS



K CRANE TRACKS STAMPED INTO MUDBANK



J EDGE AND FLOOR FINISH DETAIL



K 15% BEIGE CREAM A-59

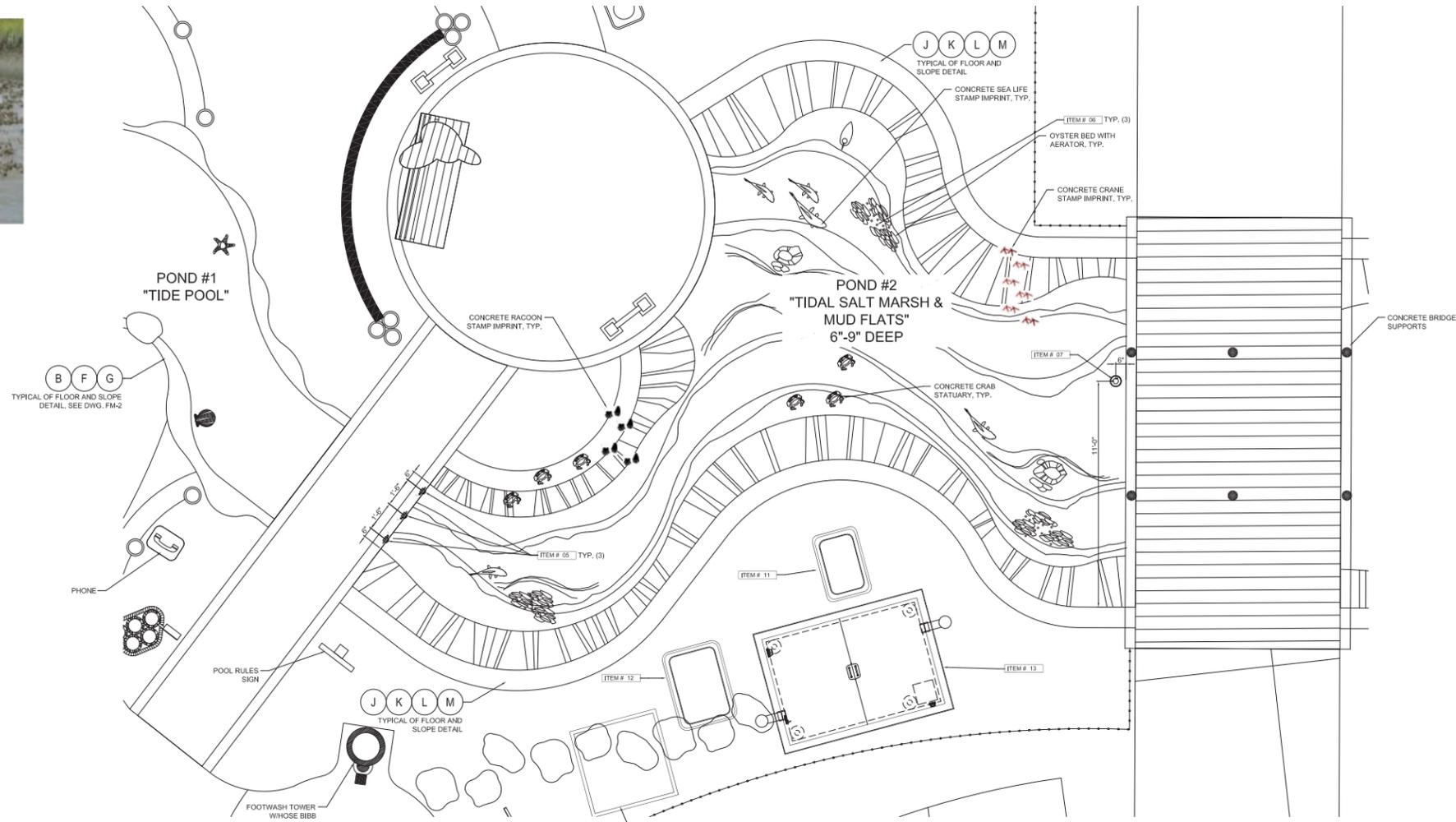
L 65% PECAN TAN A-55

M 20% WALNUT 5921

ALL COLORS ARE SCOFIELD COLORS TAKEN FROM THEIR COLOR CHART



RETURN FITTINGS USED AS A SOURCE OF SUPPLY WATER TO THE MUDFLATS. SEVERAL OF THESE FITTINGS ARE HIDDEN UNDER BRIDGE WHERE THE TIDAL POOL ENDS AND THE MUDFLATS BEGIN. THIS WILL CREATE A LIGHT WAVE ACTION TO GIVE THE ILLUSION THE TIDAL POOL AND THE MUDFLATS ARE THE SAME BODY OF WATER.



ENLARGED POND #2, 'MUDFLAT AREA' EMBED AND EQUIPMENT LAYOUT PLAN
SCALE: 3/8"=1'-0"



MUDFLAT AREA AREA
NOT INTENDED FOR USE BY THE PUBLIC. THIS AREA GIVES EDUCATIONAL INFORMATION ABOUT WHAT YOU WOULD TYPICALLY FIND IN A MUDFLAT AREA. THE WATER DEPTH INCREASES AND THE CONCRETE GETS DARKER AND MOTTLED. CONCRETE IS ROUGHER AND NOT TROWELED GIVING A SANDY MUD LOOK TO THE EDGES. CREATURES ARE REPRESENTED BY STAMPING THE CONCRETE AND 3D OBJECTS SUCH AS FIDLER CRAB. BUBBLES RISE TO THE SURFACE IN A COUPLE OF AREAS TO REPRESENT ACTIVITY UNDER THE SURFACE.

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

PRELIMINARY: NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT DOCUMENTS FOR

COLIGNY PARK

Hilton Head Island, South Carolina

DRAWN BY: BII
CHECKED BY: TG

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DATE: 3-15-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: ENLARGED POND #2 EMBED AND EQUIPMENT LAYOUT PLAN

SHEET NUMBER: FM-4



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE XXXXXXXXXXXXXXXX.dwg, DATED MARCH 19, 2014. PLAN IS SUBJECT TO CHANGE.



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O GENTLY SLOPING BANK WITH DARK BOTTOM GIVING A REFLECTIVE APPEARANCE



P SIMILAR FINISH TO MUDFLATS (NOT COLOR)



Q PROPOSED STATUARY



R 70% WALNUT 5921

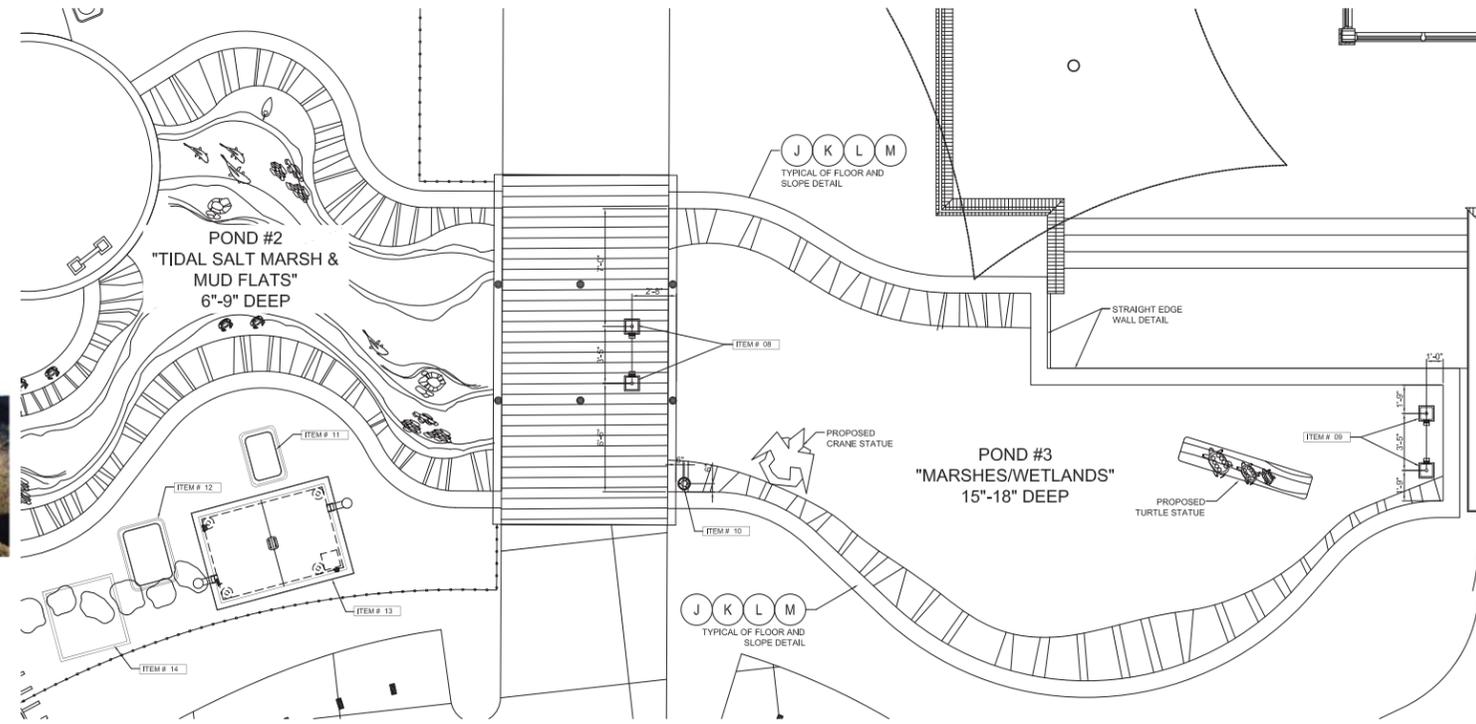


S 20% PECAN TAN A-55



T 10% BLACK

ALL COLORS ARE SCOFIELD COLORS TAKEN FROM THEIR COLOR CHART



ENLARGED POND #3 'MARSH AREA' EMBED AND EQUIPMENT LAYOUT PLAN
SCALE: 1/4"=1'-0"



MARSH AREA
NOT INTENDED FOR USE BY THE PUBLIC, THE FINISH IS SIMILAR TO THE MUDFLATS BUT THE WATER DEPTH INCREASES EVEN MORE TO A TOTAL NOT EXCEEDING 15'. TWO STATUARY ELEMENTS ARE LOCATED IN THIS FEATURE. STAMPING WILL BE LIMITED DUE TO THE BOTTOM BECOMING DARK BROWN/BLACK AND WILL HAVE LIMITED VISIBILITY OF THE FLOOR'S SURFACE.



SURVEY INFORMATION COMPILED FROM AS-BUILT SURVEY BY SURVEYING CONSULTANTS. FILE XXXXXXXXXXXXXXXX.dwg, DATED MARCH 19, 2014. PLAN IS SUBJECT TO CHANGE.



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FOR
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Hilton Head Island, South Carolina

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DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
ENLARGED POND #3
EMBED &
EQUIPMENT
LAYOUT PLAN

SHEET NUMBER
FM-6

C:\Clients\Southern Aquatics\Projects\Coligny Park\Coligny Park WF (5-2-16).dwg, Monday, May 09, 2016, Printed By: Home



SOUTH ELEVATION



NORTH ELEVATION

ARCHITECTURE BY:
WATSON TATE SAVORY
architecture interiors planning
 ENGINEERING BY:
THOMAS & HUTTON ENGINEERING CO.

COLIGNY PARK
 CHILDREN'S MUSEUM ELEVATIONS
 PREPARED FOR:
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
 DATE: 04-27-16

PLANNING AND LANDSCAPE ARCHITECTURE BY:
Wood Partners Inc. WPI
 Landscape Architects
 Land Planners
 PO Box 2949 ■ Hilton Head Island, SC 29925
 843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



EAST ELEVATION



WEST ELEVATION

ARCHITECTURE BY:
WATSON TATE SAVORY
architecture interiors planning
ENGINEERING BY:
THOMAS & HUTTON ENGINEERING CO.

COLIGNY PARK
CHILDREN'S MUSEUM ELEVATIONS
PREPARED FOR:
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
DATE: 04-27-16

PLANNING AND LANDSCAPE ARCHITECTURE BY:

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Landscape Architects
Land Planners

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843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com



SOUTH ELEVATION

ARCHITECTURE BY:
WATSON TATE SAVORY
architecture interiors planning
ENGINEERING BY:
THOMAS & HUTTON ENGINEERING CO.

COLIGNY PARK
RESTROOM ELEVATIONS
PREPARED FOR:
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
DATE: 04-27-16

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SOUTH ELEVATION

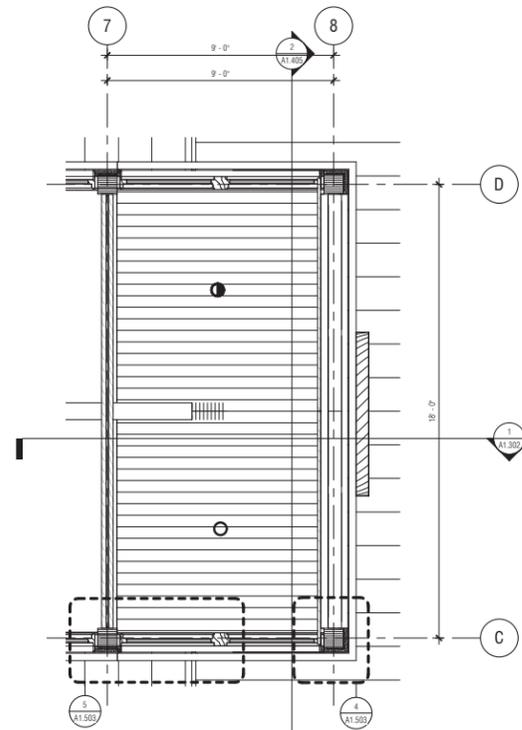


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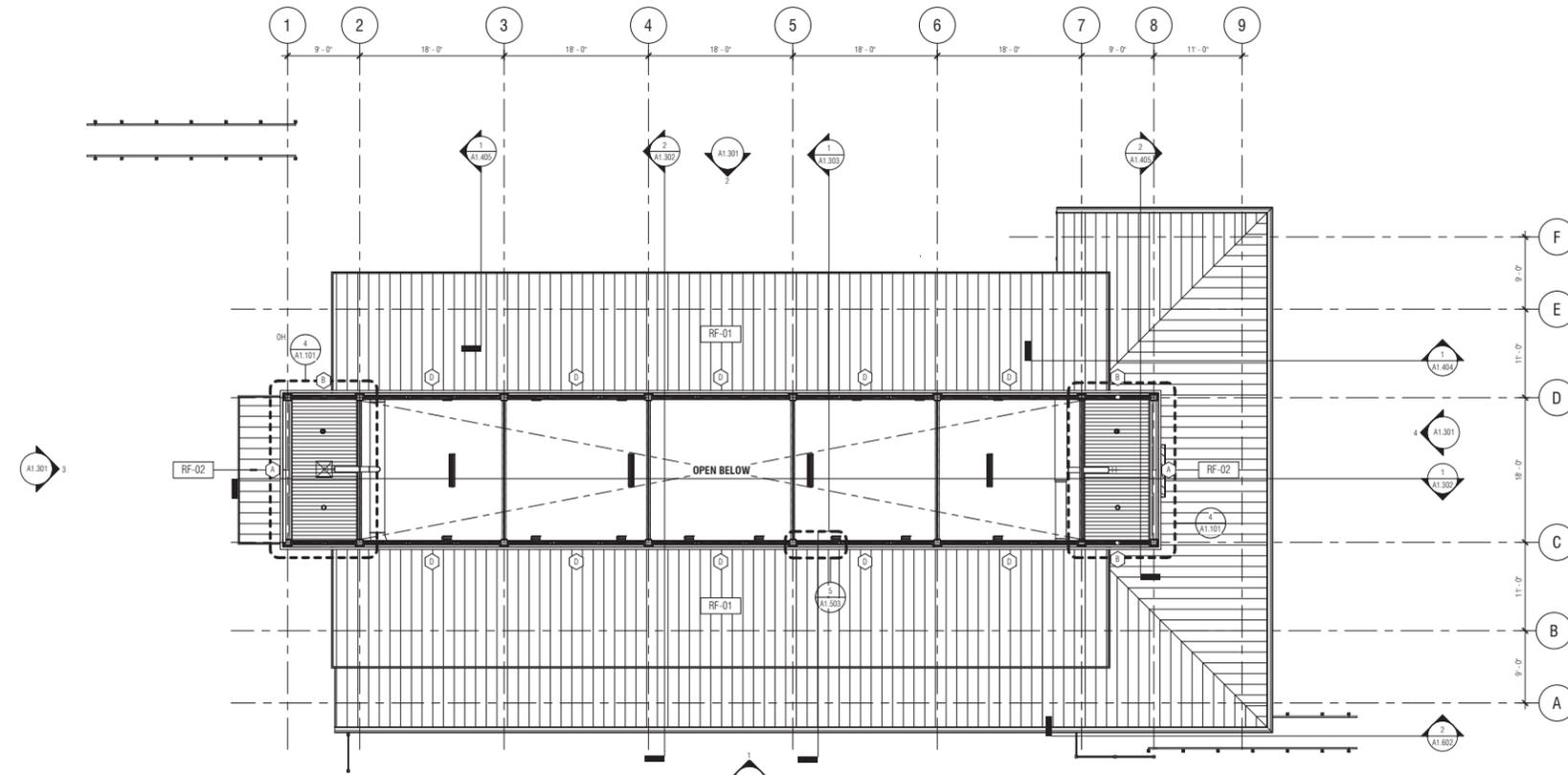
ARCHITECTURE BY:
WATSON TATE SAVORY
architecture interiors planning
 ENGINEERING BY:
THOMAS & HUTTON ENGINEERING CO.

COLIGNY PARK
PAVILION ELEVATIONS
 PREPARED FOR:
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
 DATE: 04-27-16

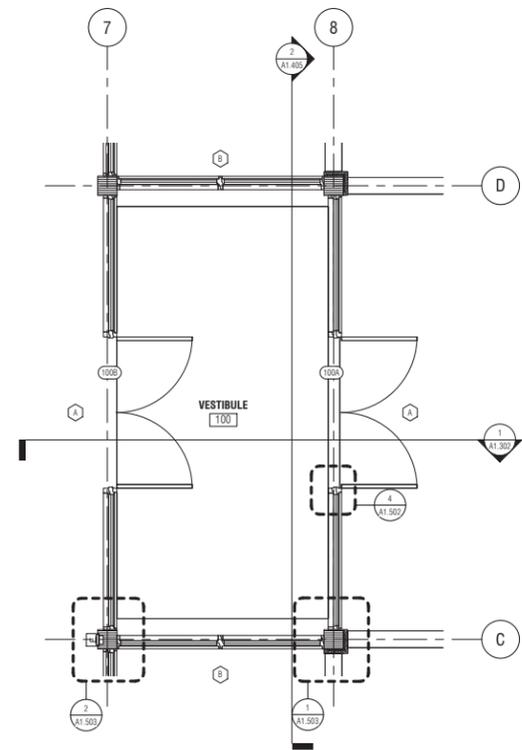
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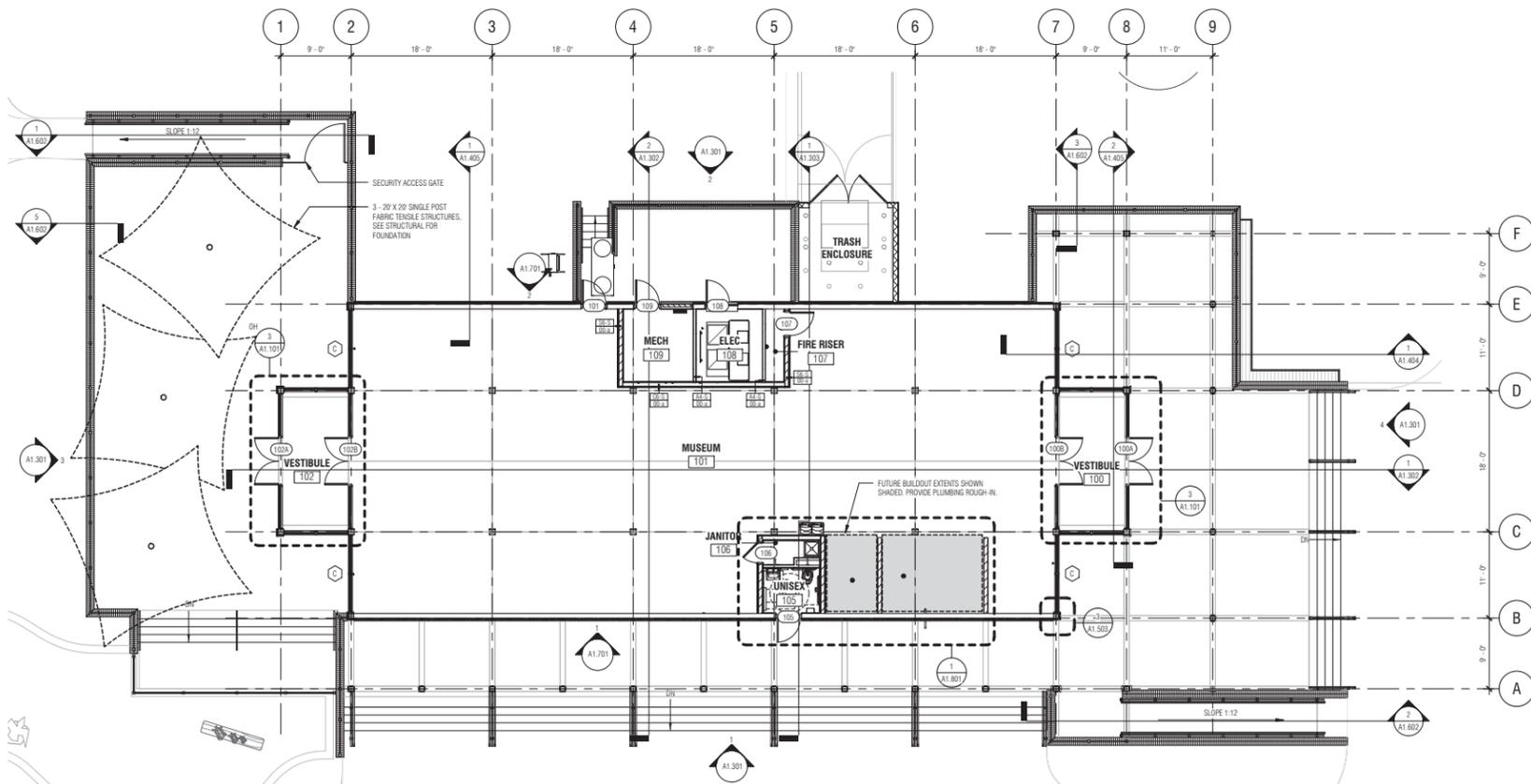
4 ENLARGED PLAN - CLERESTORY VESTIBULE
 A1.101 3/8" = 1'-0"



2 CLERESTORY FLOOR PLAN
 A1.101 1/8" = 1'-0"



3 ENLARGED PLAN - FIRST FLOOR VESTIBULE
 A1.101 3/8" = 1'-0"



1 FIRST FLOOR PLAN
 A1.101 1/8" = 1'-0"

C:\Users\ghel\Documents\1606-1111 Coligny-Museum_A1.101.rvt

Town of Hilton Head Island
 One Town Center Court
 Hilton Head Island, SC 29928

DESIGN DEVELOPMENT DOCUMENTS
 FOR
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 Hilton Head Island, South Carolina

DRAWN BY:
 MPN
 CHECKED BY:
 EMB
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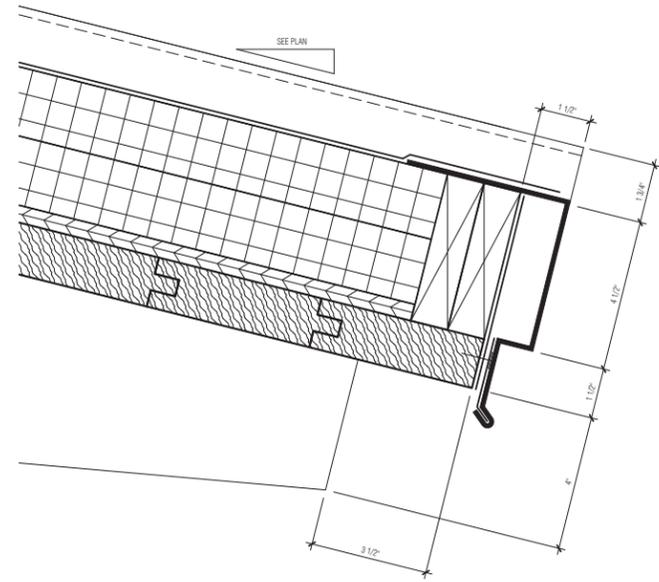
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 PROJECT NUMBER:
 01-16002
 SHEET TITLE:
 FLOOR PLANS



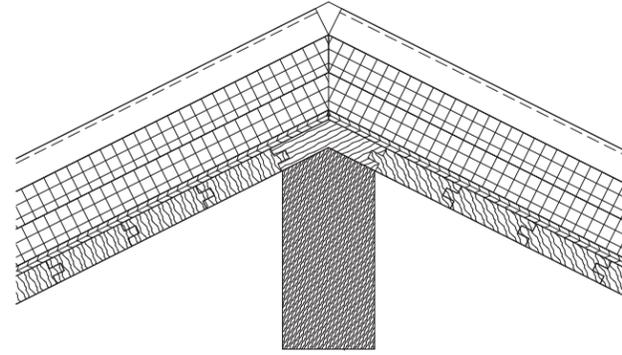
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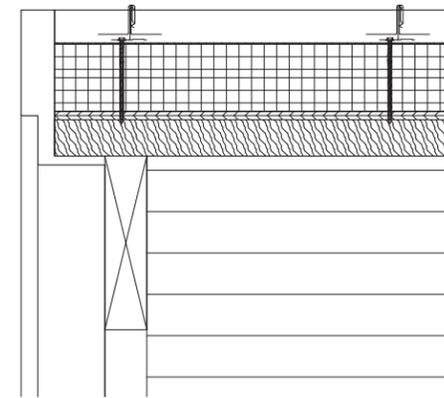
SHEET NUMBER
A1.101



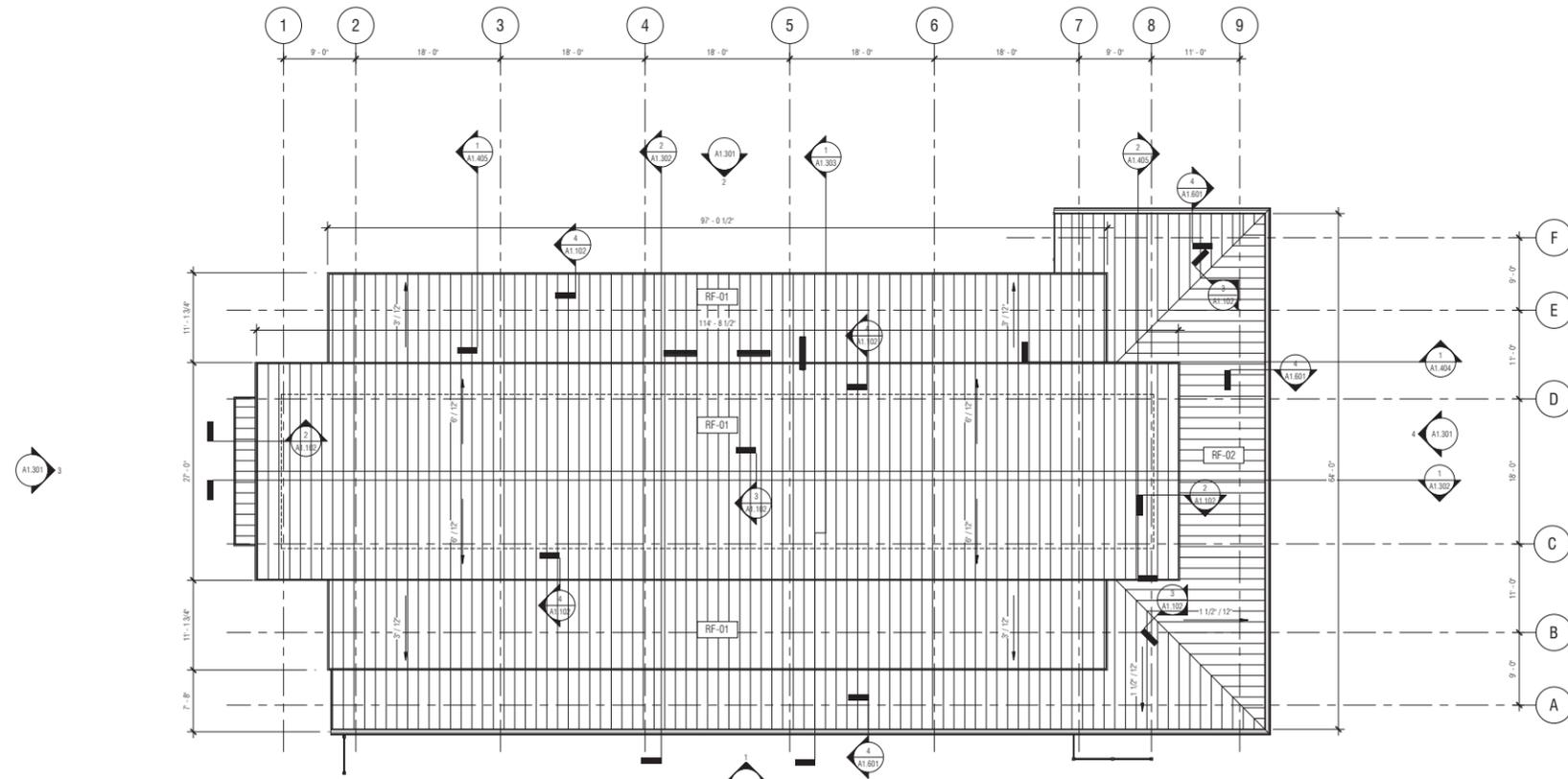
1 TYP. ROOF DETAIL - EDGE (LOW)
A1.102 6" = 1'-0"



3 TYP. ROOF DETAIL - RIDGE
A1.102 3" = 1'-0"



2 ROOF DETAIL - ROOF EDGE
A1.102 3" = 1'-0"



1 ROOF PLAN
A1.102 1/8" = 1'-0"

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DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

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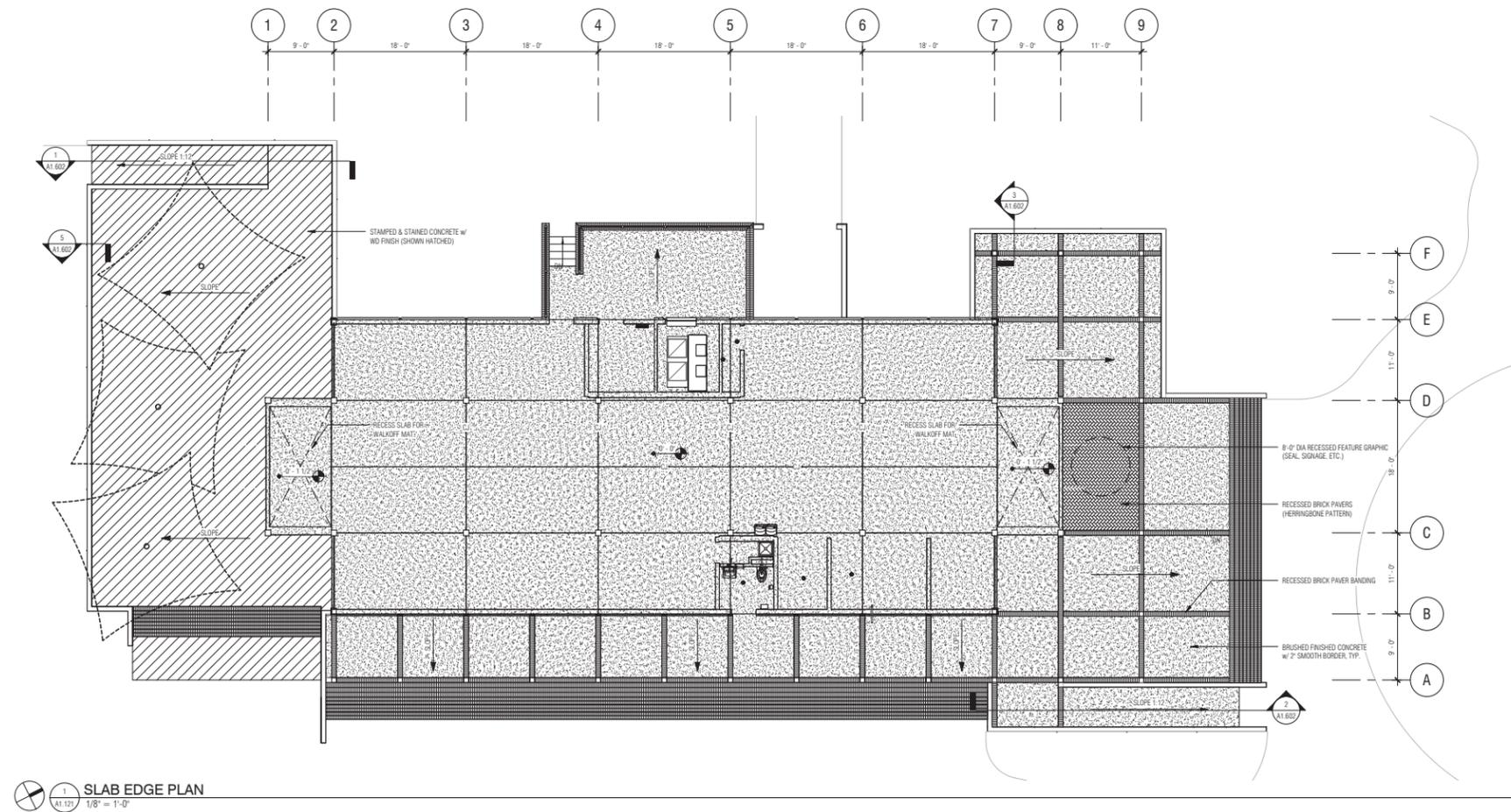
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#	REVISION	DATE	BY

DATE:
3-15-2016
PROJECT NUMBER:
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SHEET TITLE:
ROOF PLAN &
DETAILS

SHEET
NUMBER
A1.102



1 SLAB EDGE PLAN
1/8" = 1'-0"

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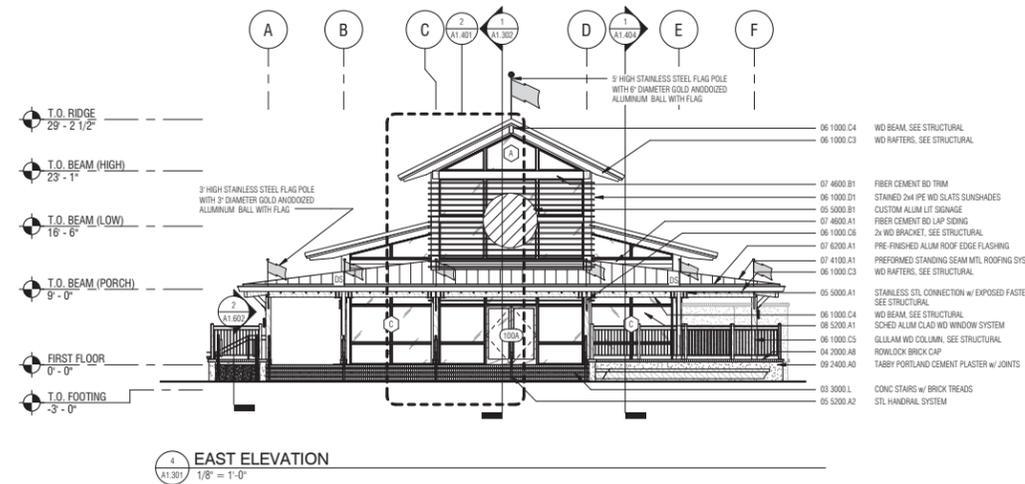
#	REVISION	DATE	BY

DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
SLAB EDGE PLAN

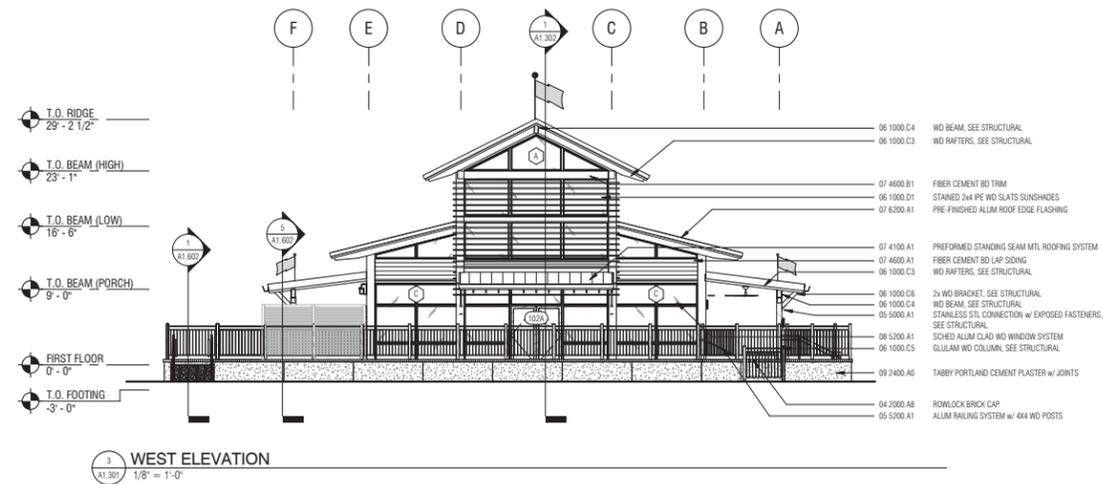
SHEET NUMBER
A1.121



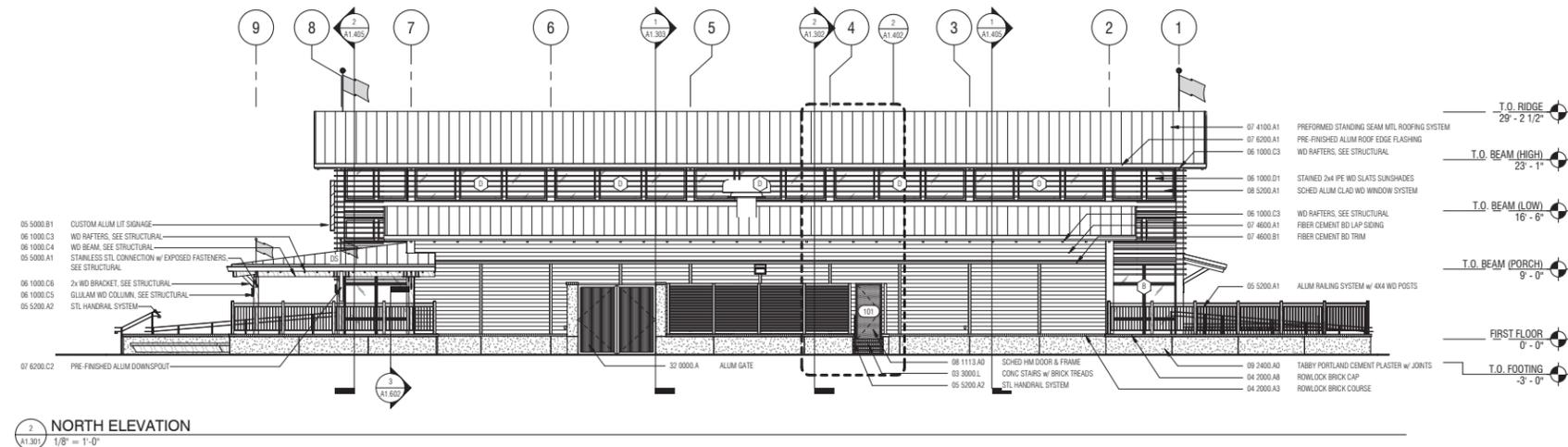
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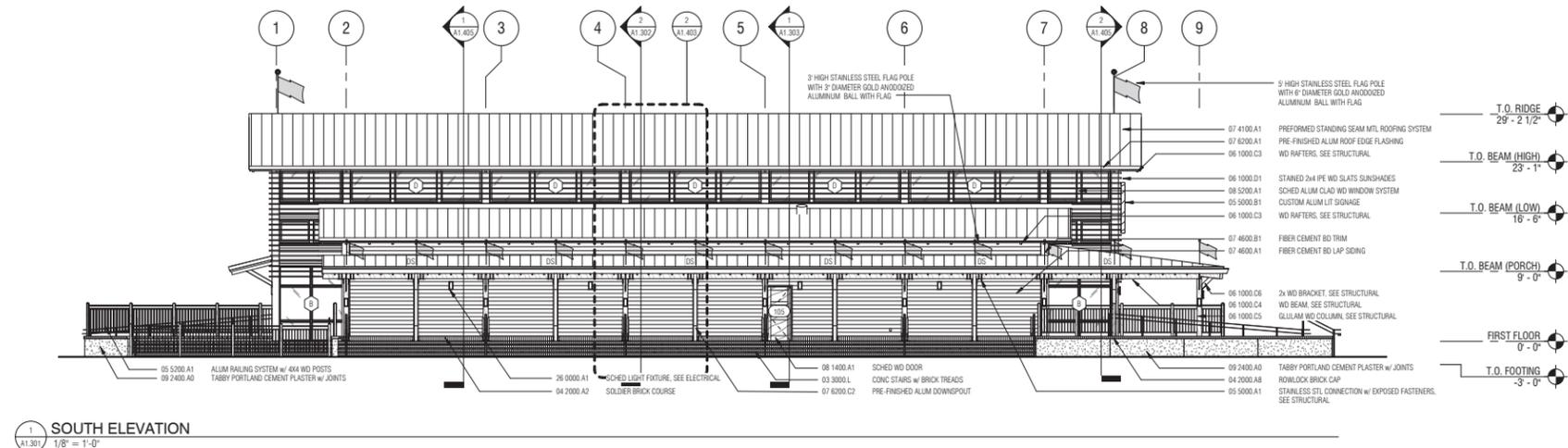
1 EAST ELEVATION
A1.301 1/8" = 1'-0"



3 WEST ELEVATION
A1.301 1/8" = 1'-0"



2 NORTH ELEVATION
A1.301 1/8" = 1'-0"



1 SOUTH ELEVATION
A1.301 1/8" = 1'-0"

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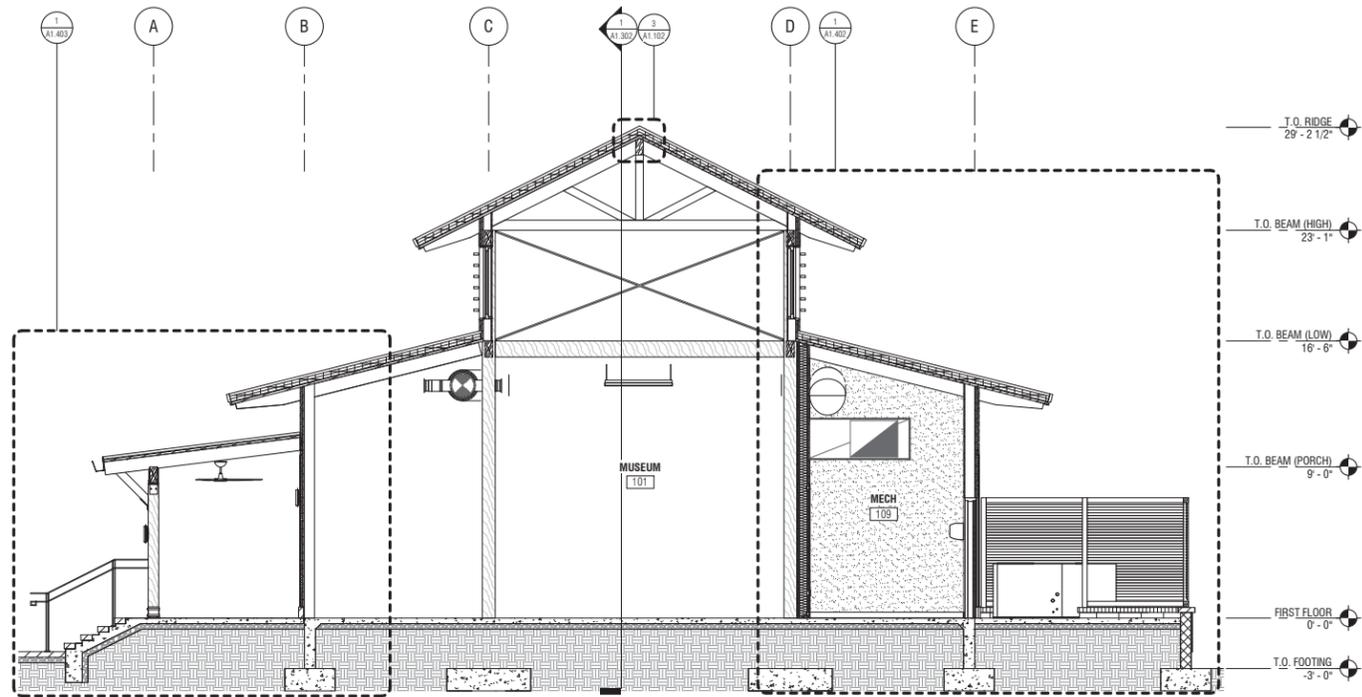
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PRELIMINARY:
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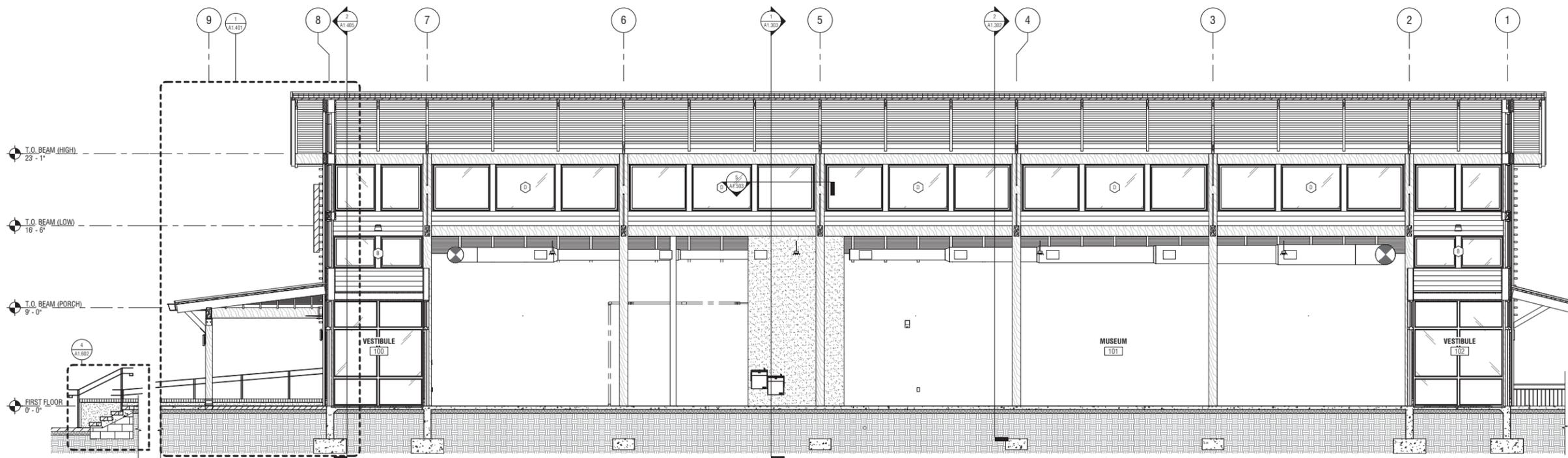
#	REVISION	DATE	BY

DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
BUILDING ELEVATIONS

SHEET NUMBER
A1.301



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

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DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

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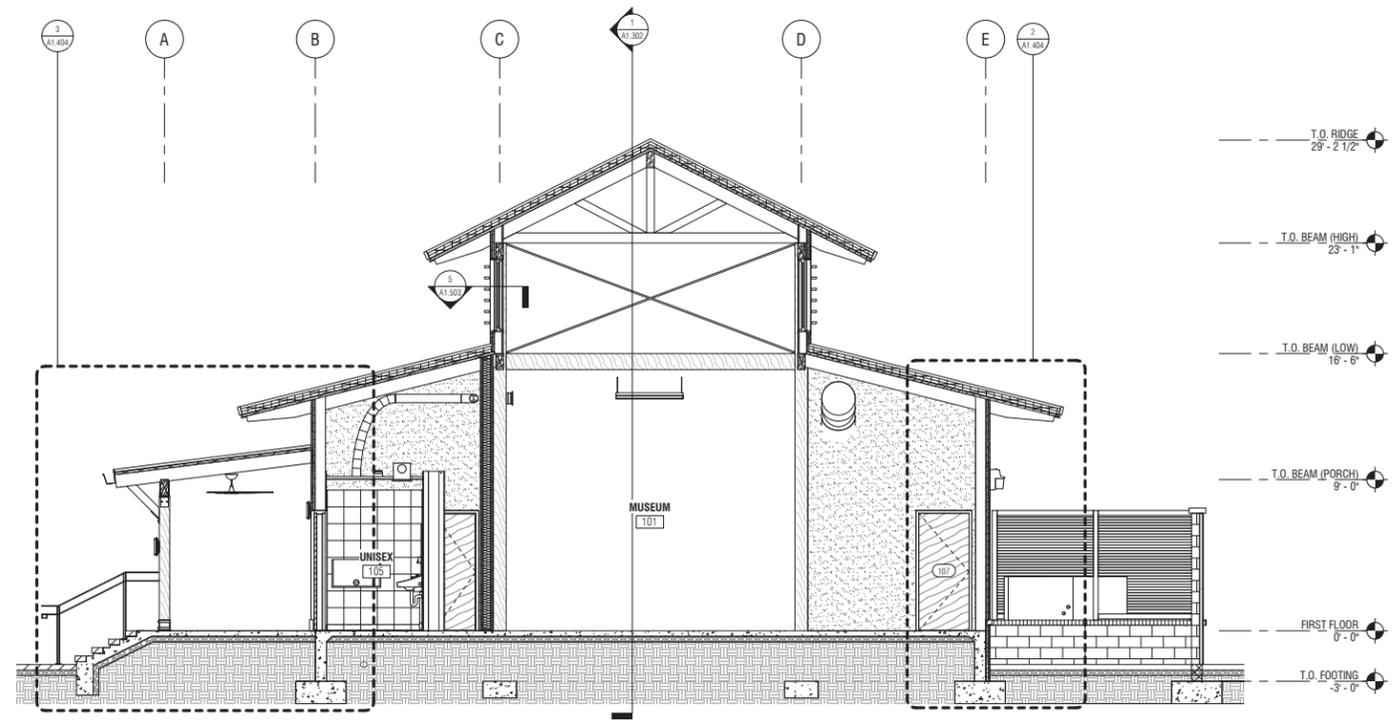
DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
BUILDING SECTIONS



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SHEET
NUMBER
A1.302



1 BUILDING SECTION
A1.303 1/4" = 1'-0"

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

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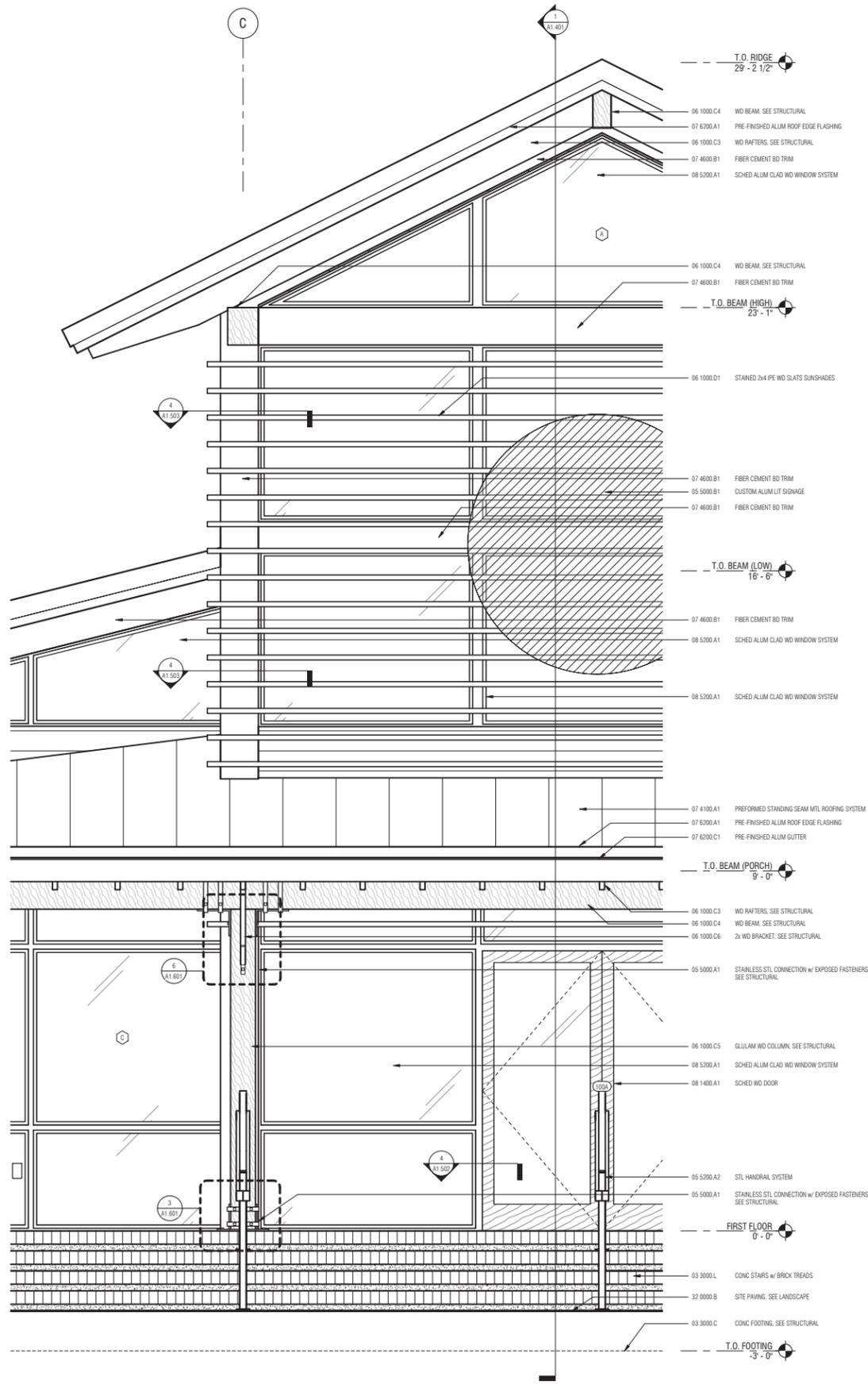
#	REVISION	DATE	BY

DATE
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PROJECT NUMBER
01-16002
SHEET TITLE
BUILDING SECTIONS

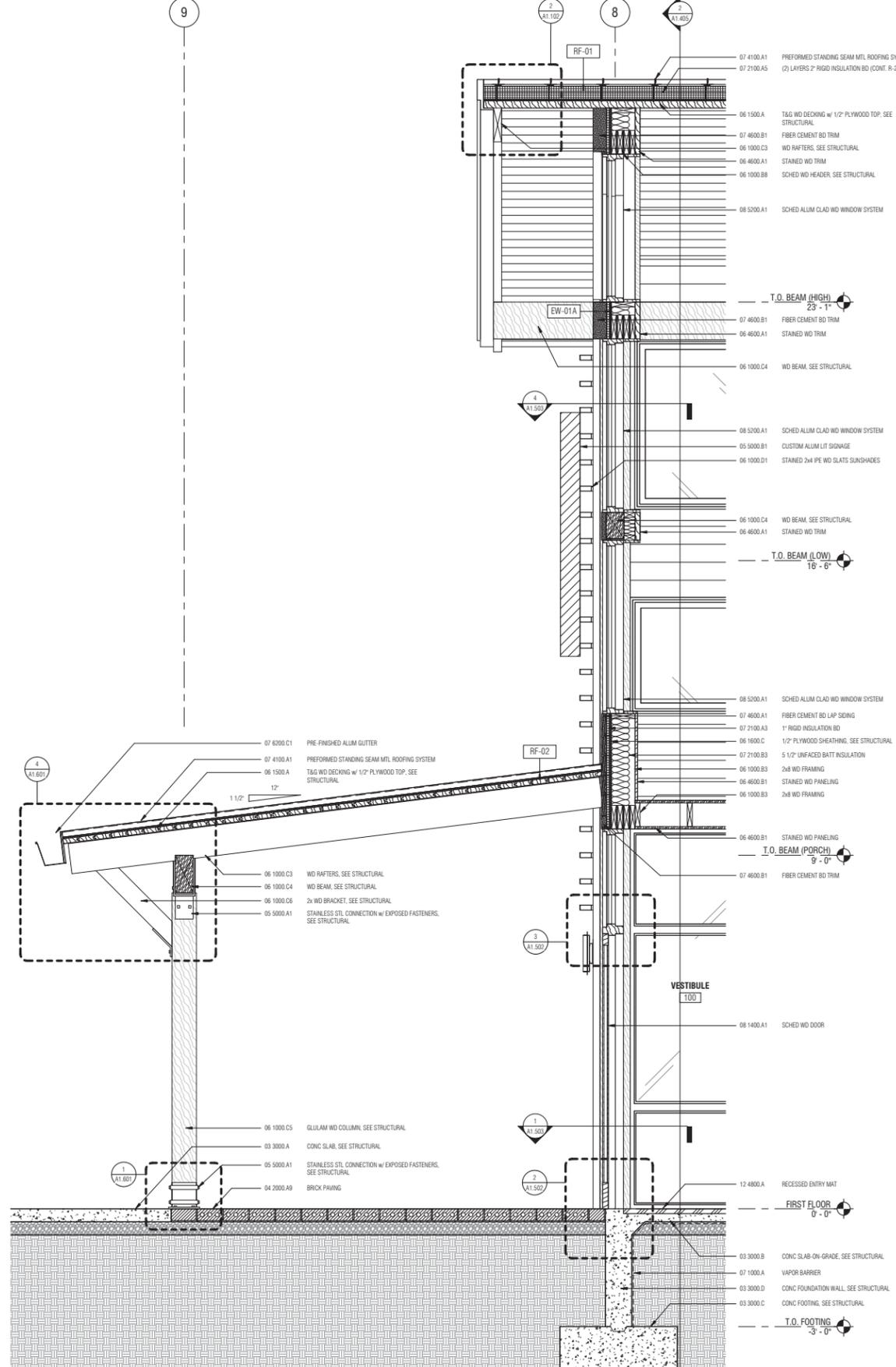


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SHEET
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A1.303



2 ENLARGED ELEVATION - ENTRANCE
3/4" = 1'-0"



1 WALL SECTION - ENTRANCE
3/4" = 1'-0"

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DESIGN DEVELOPMENT DOCUMENTS
FOR
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DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
ENLARGED
ELEVATION &
WALL SECTION

SHEET
NUMBER
A1.401



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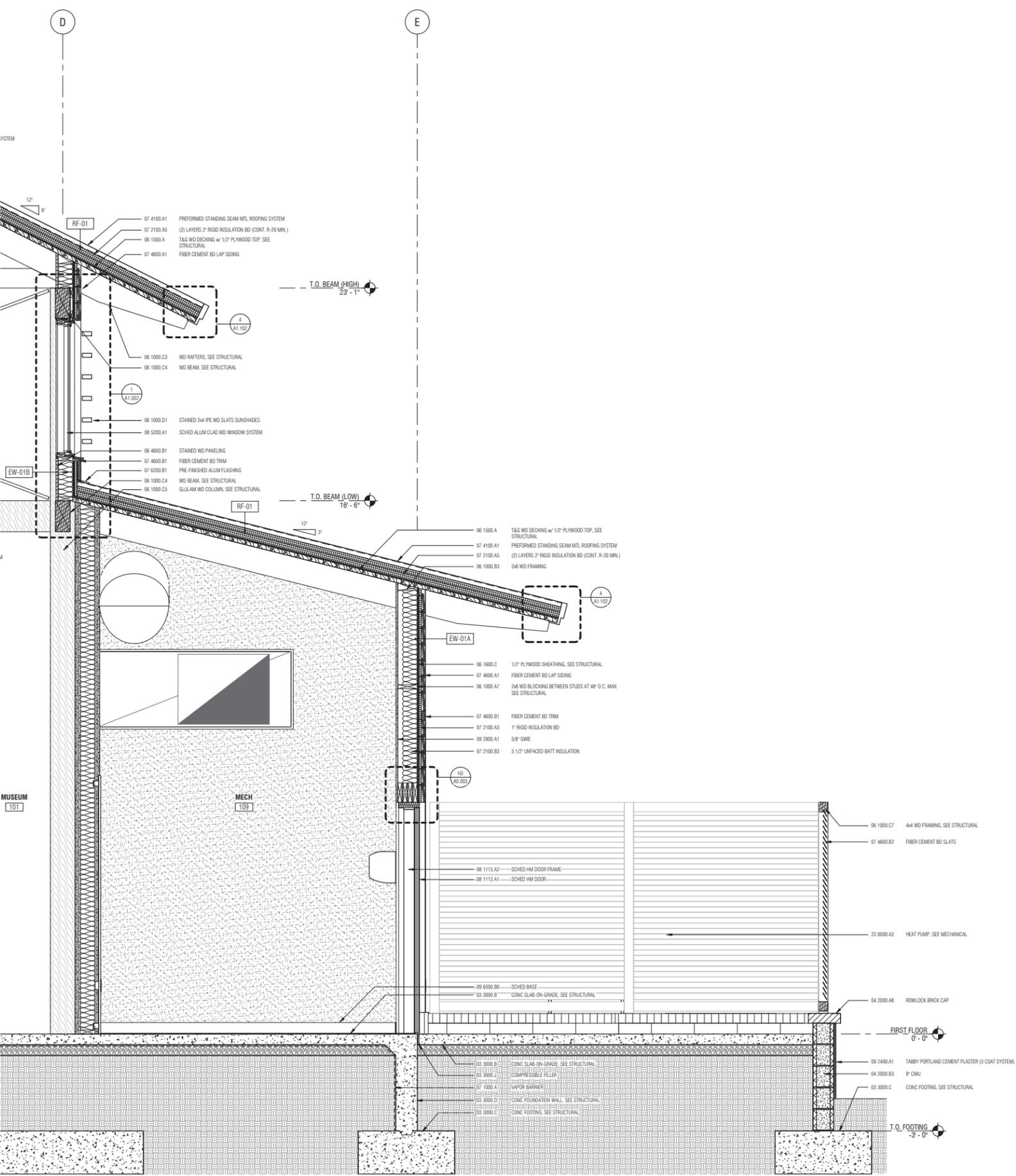
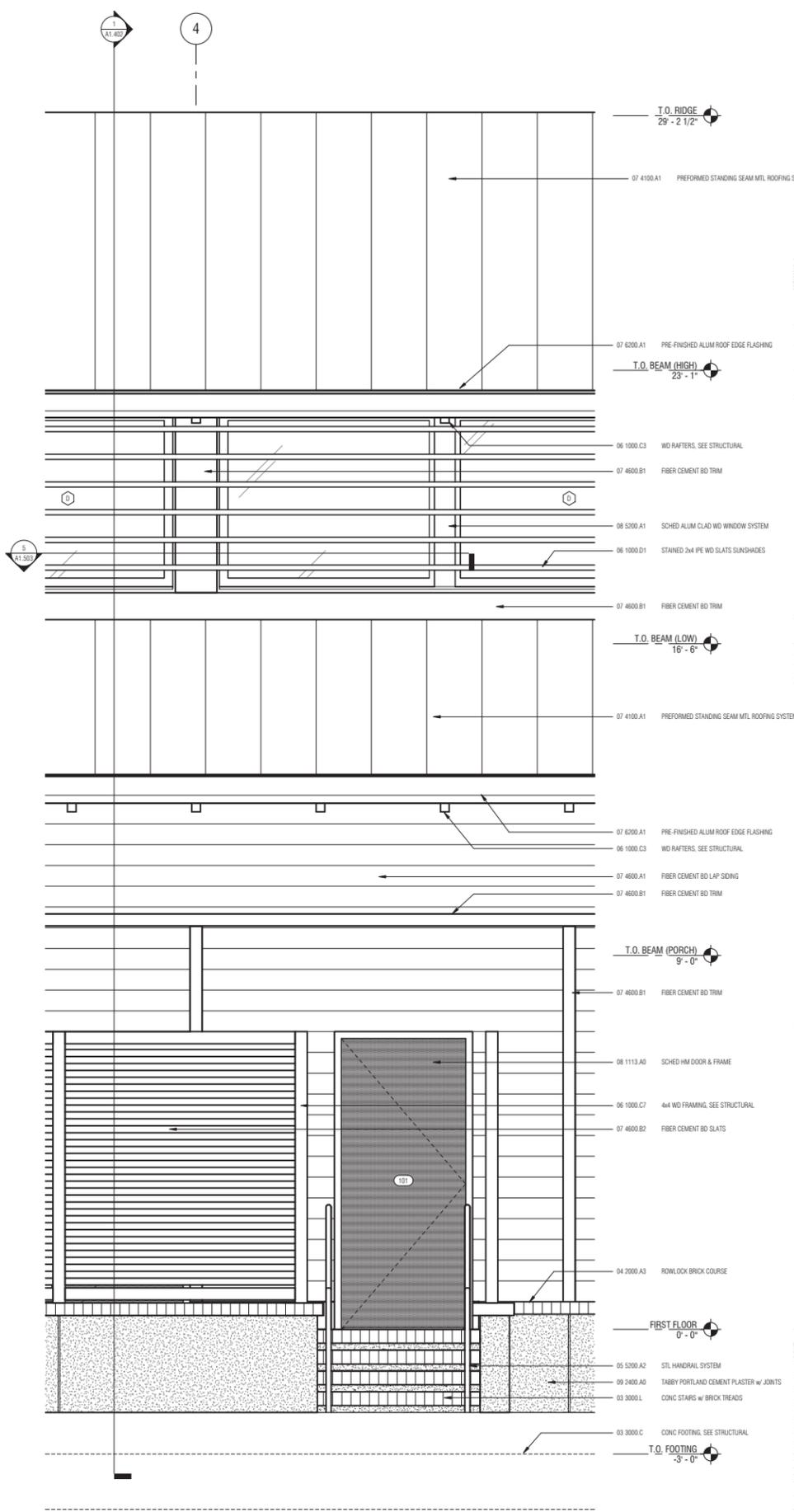
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PROJECT NUMBER:
01-16002
SHEET TITLE:
ENLARGED
ELEVATION &
WALL SECTION

SHEET
NUMBER
A1.402



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Hilton Head Island, South Carolina

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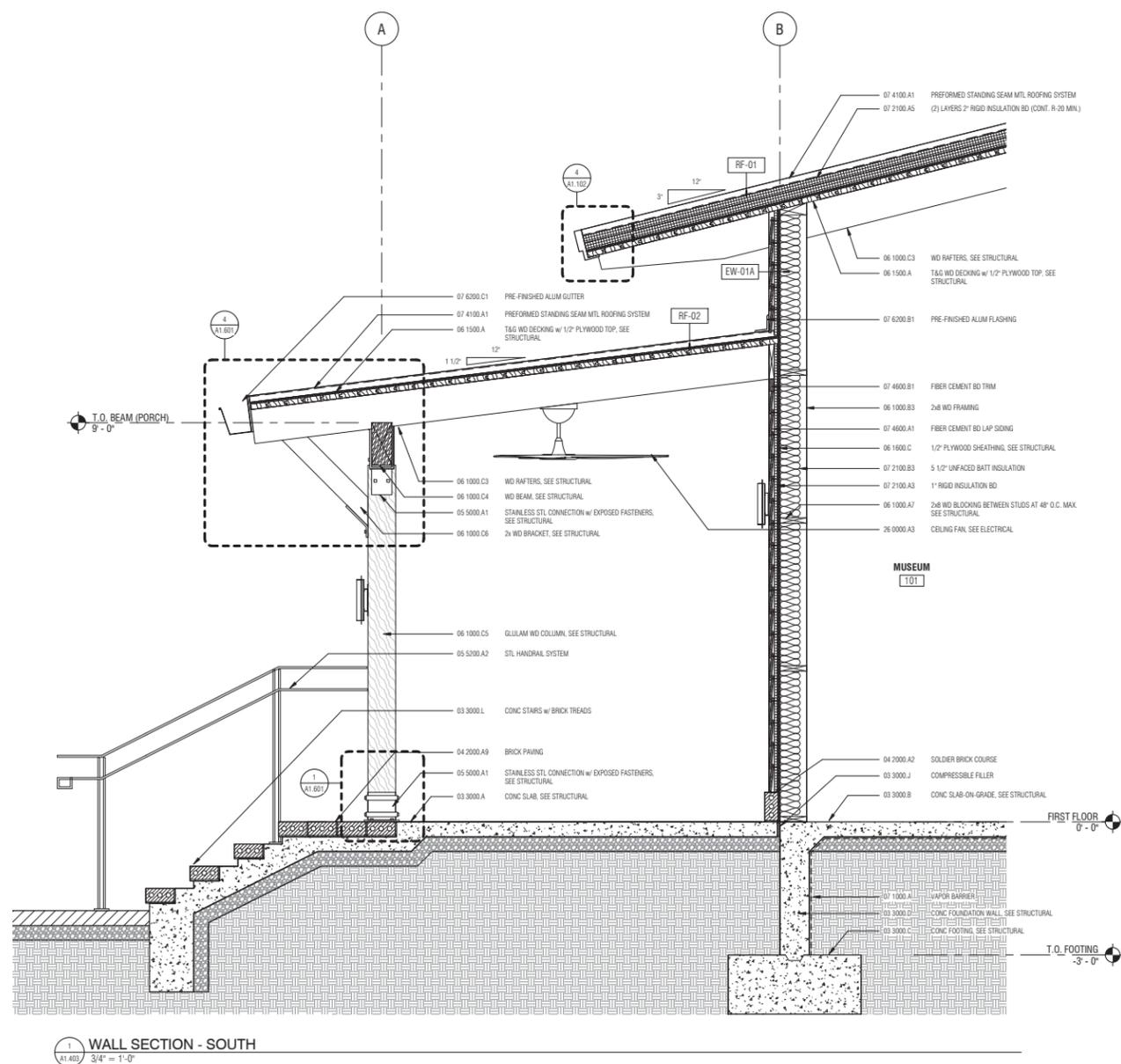
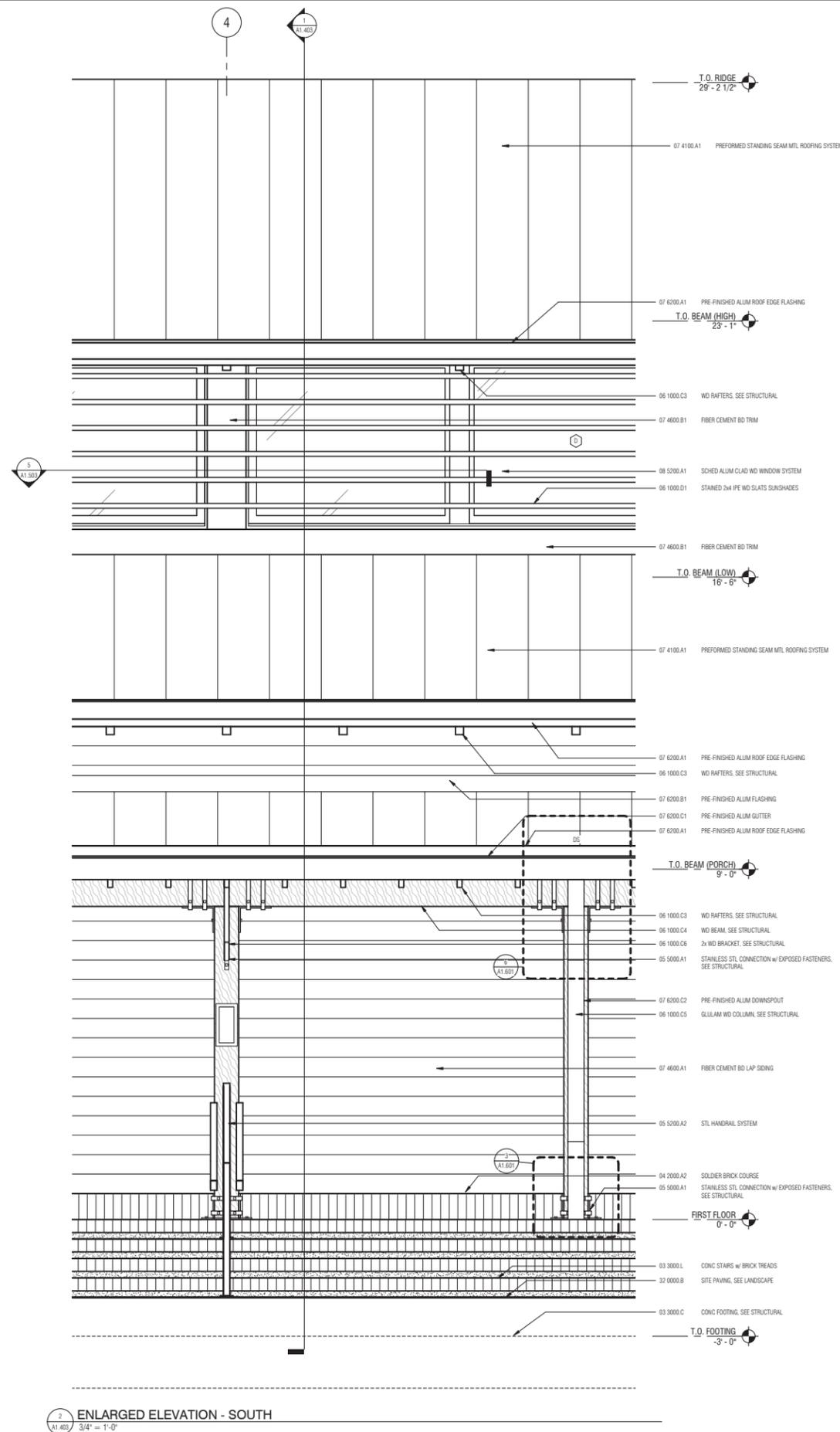
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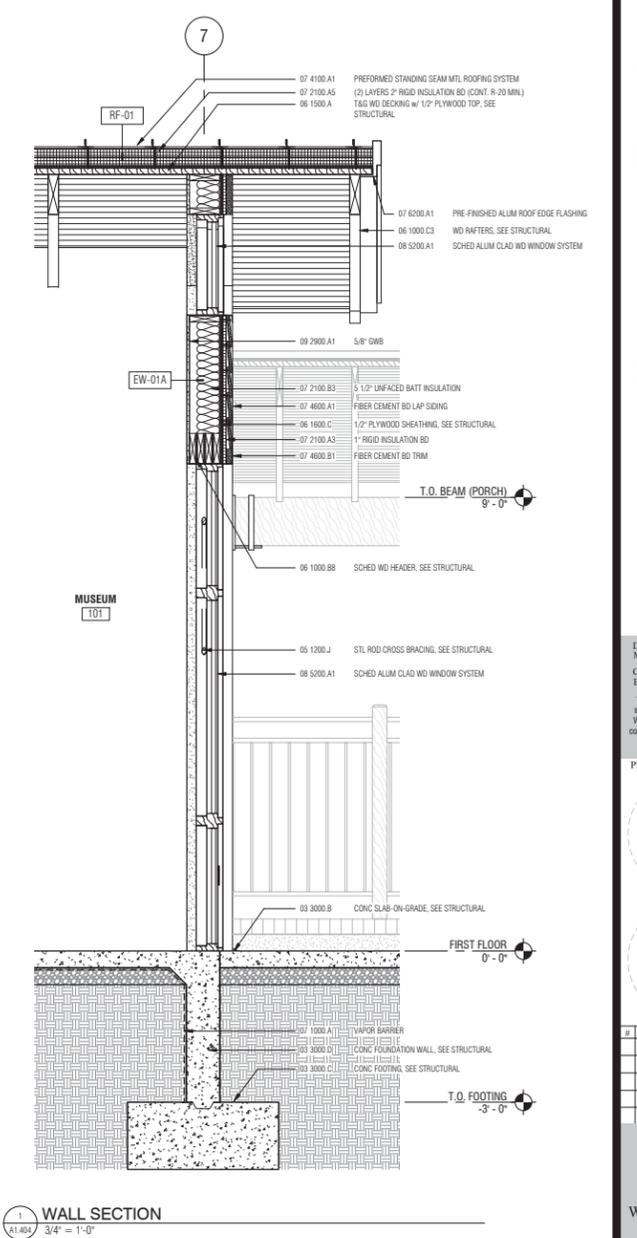
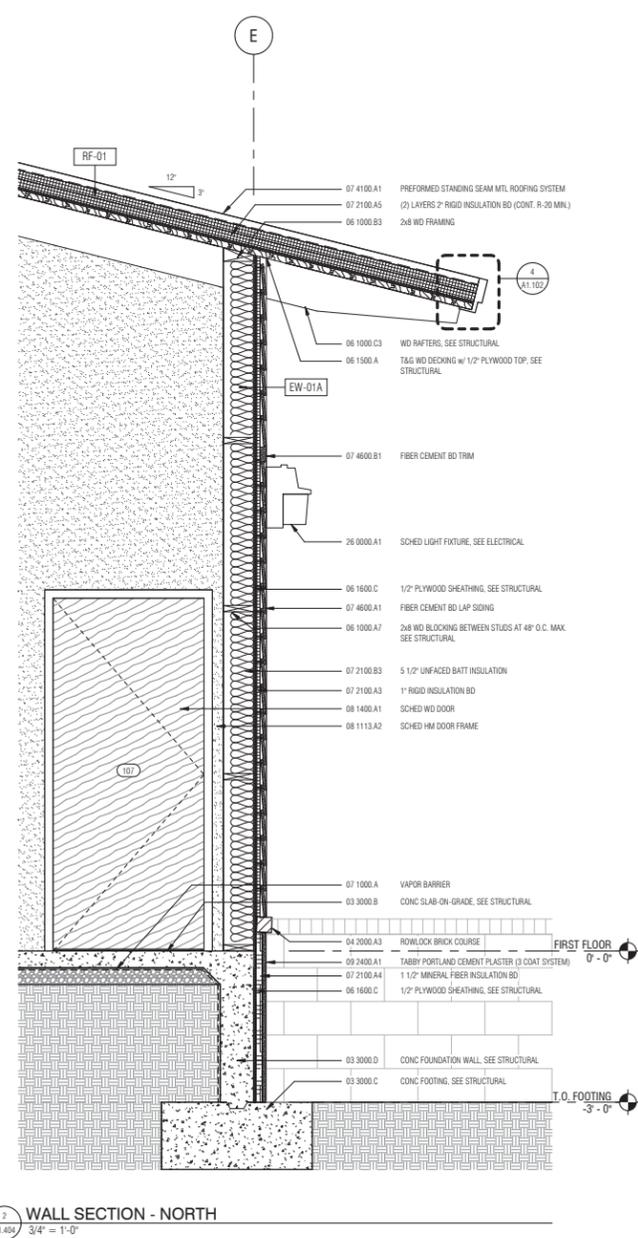
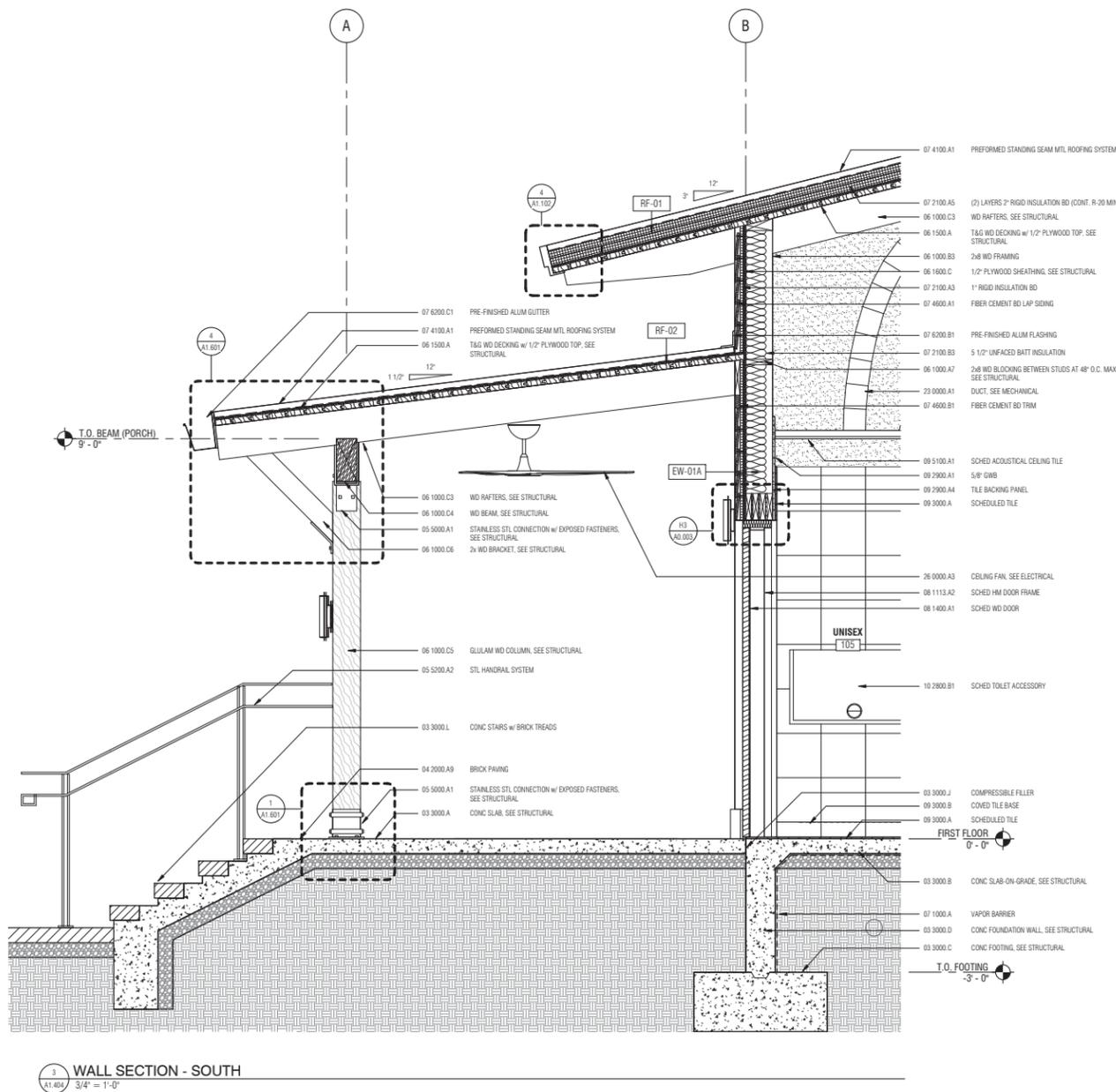
DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
ENLARGED
ELEVATION &
WALL SECTION

SHEET
NUMBER
A1.403



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DATE
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 PROJECT NUMBER
 01-16002
 SHEET TITLE
 WALL SECTIONS

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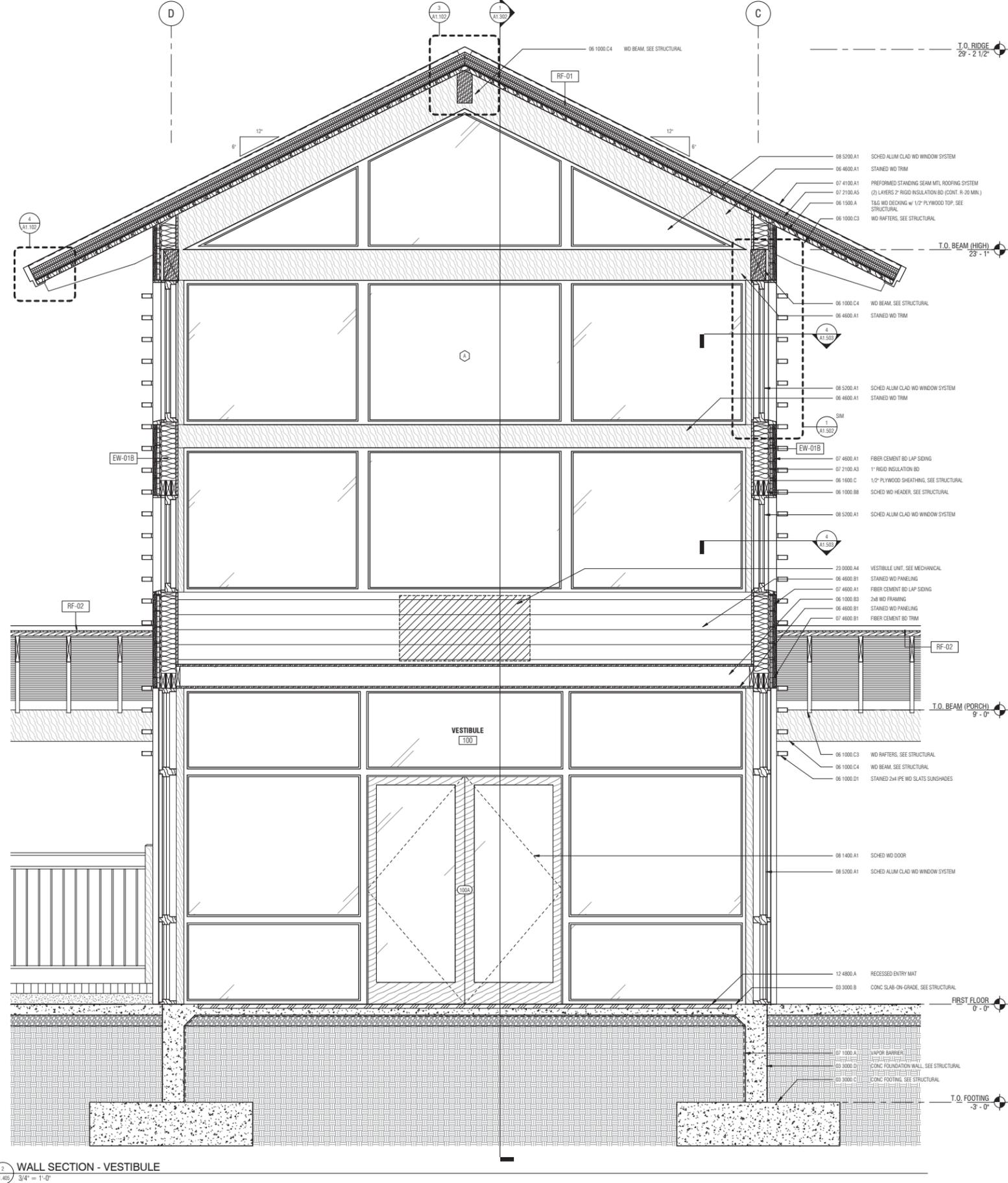
REVISION DATE BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
WALL SECTIONS

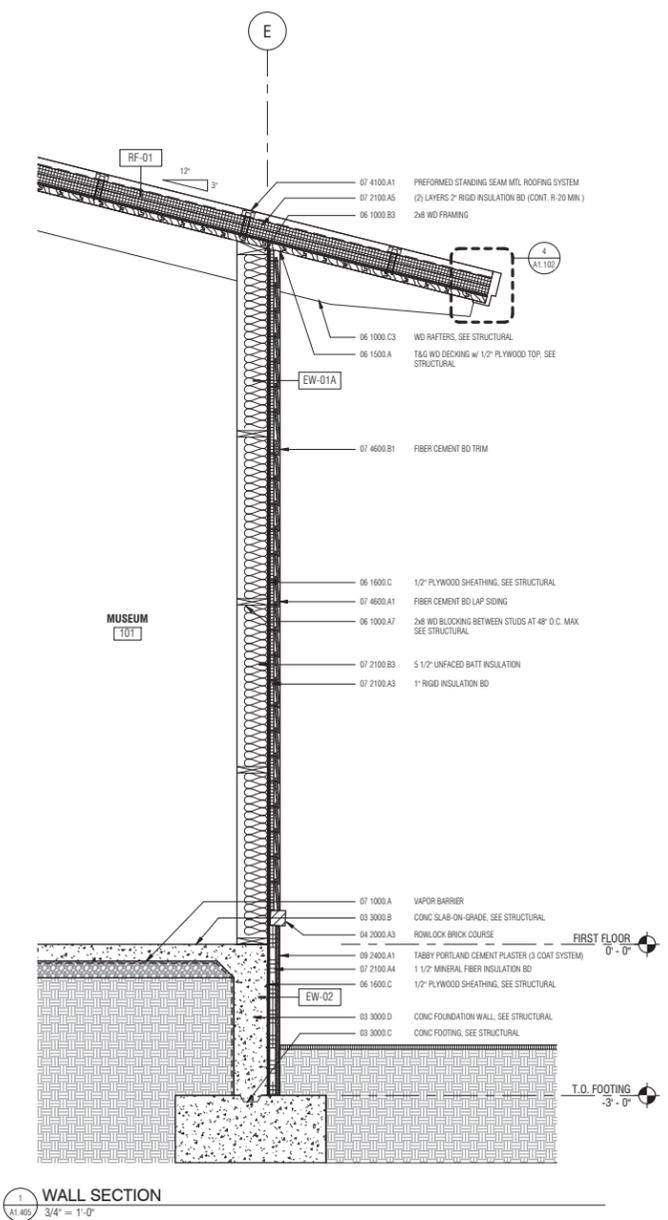
SHEET NUMBER
A1.405



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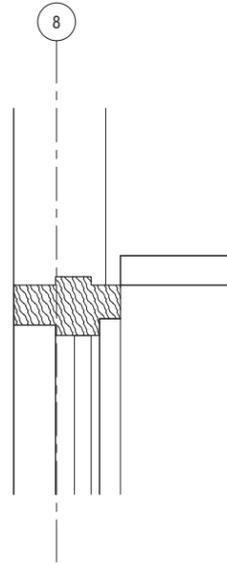
2 WALL SECTION - VESTIBULE
3/4" = 1'-0"



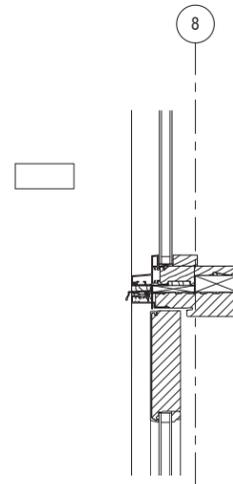
1 WALL SECTION
3/4" = 1'-0"

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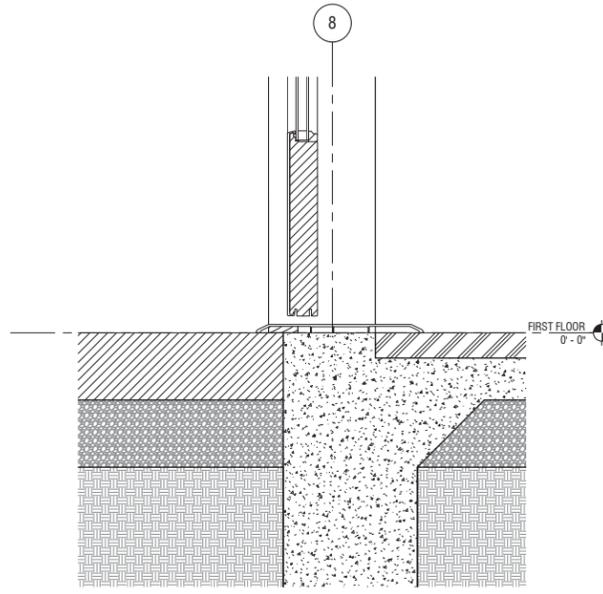
4 PLAN DETAIL - VESTIBULE DOOR
A1.502 3" = 1'-0"



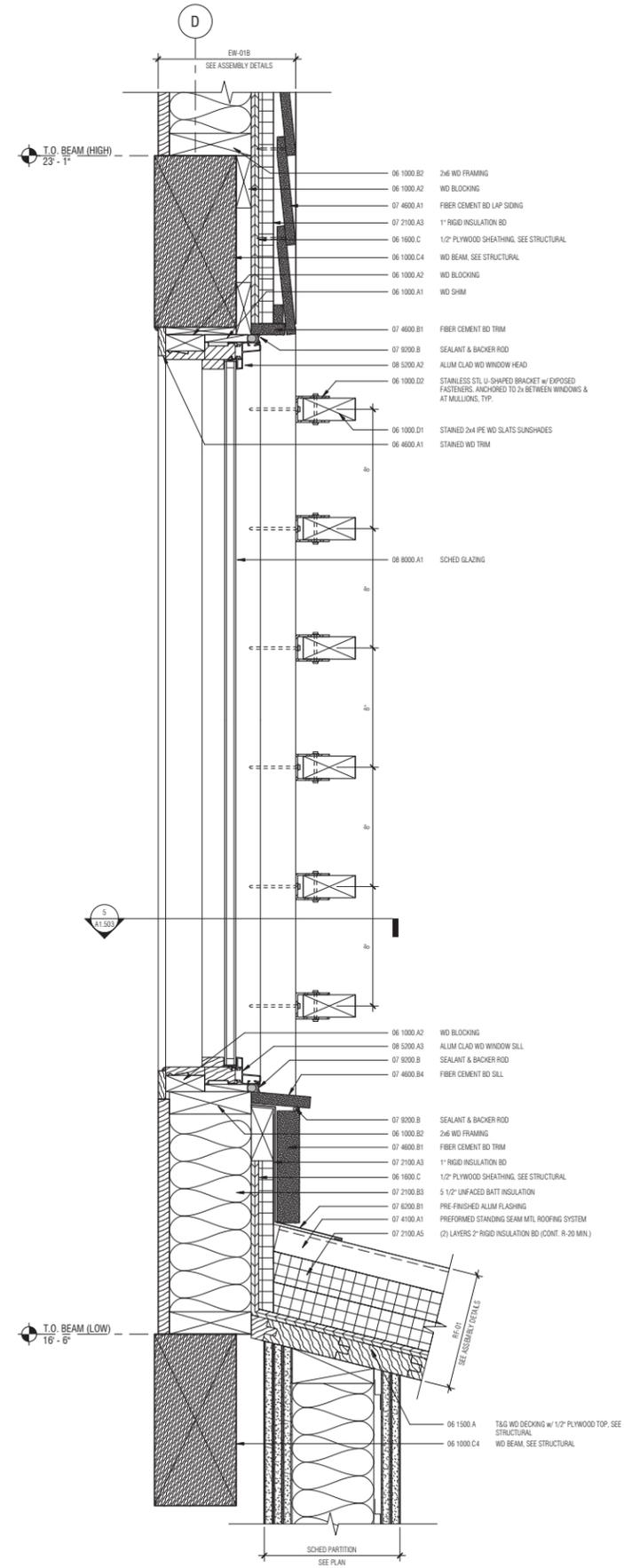
3 WINDOW DETAIL -
A1.502 3" = 1'-0"



2 WINDOW DETAIL -
A1.502 3" = 1'-0"



1 WINDOW DETAIL - CLERESTORY
A1.502 3" = 1'-0"



Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

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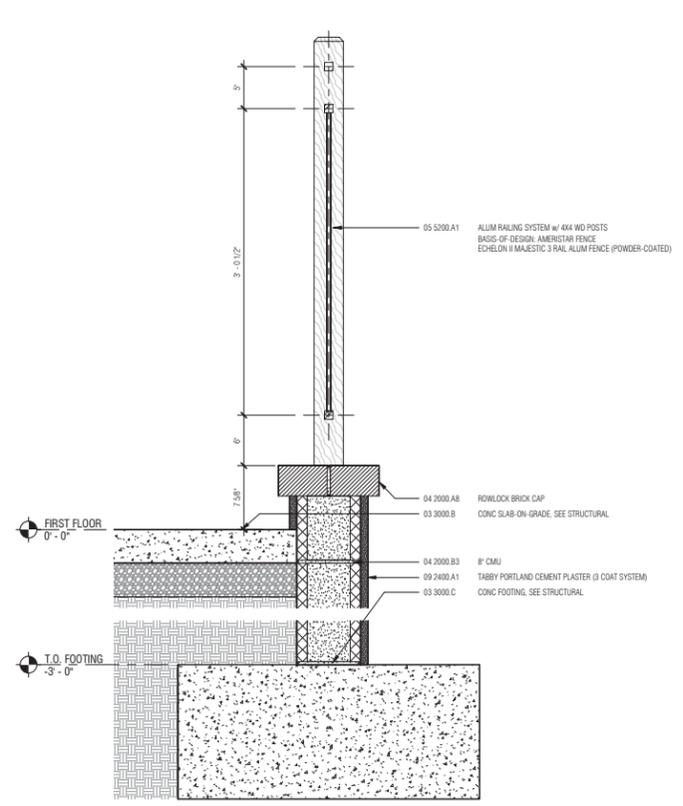
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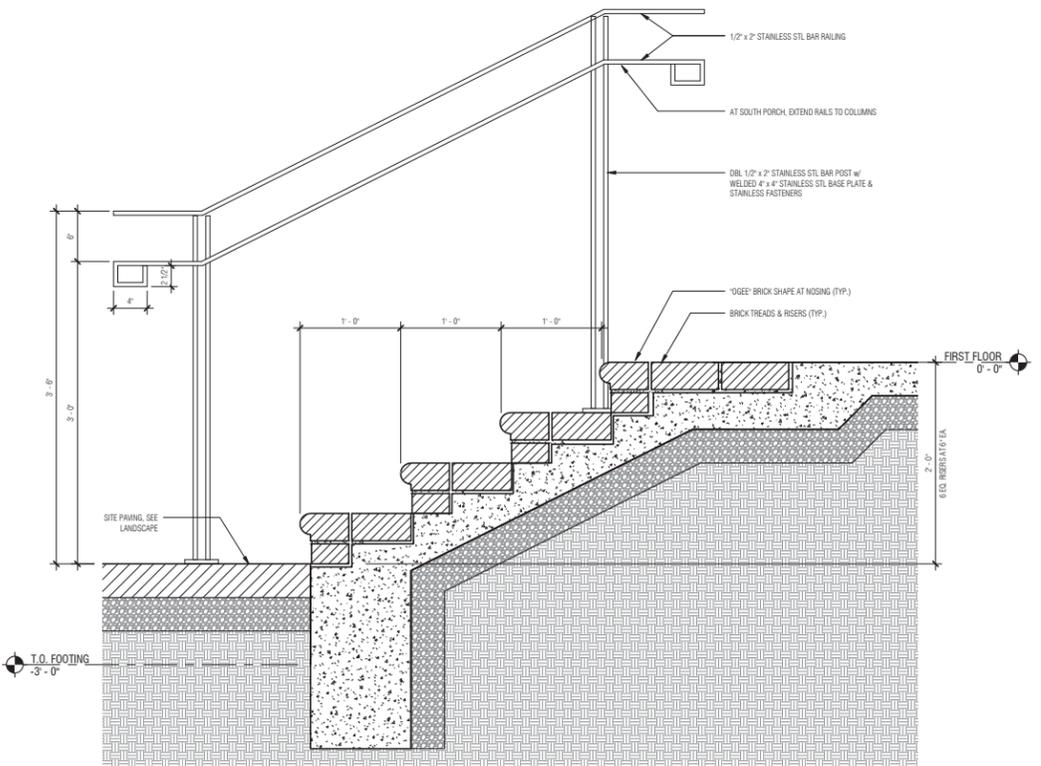
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DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
WINDOW
DETAILS

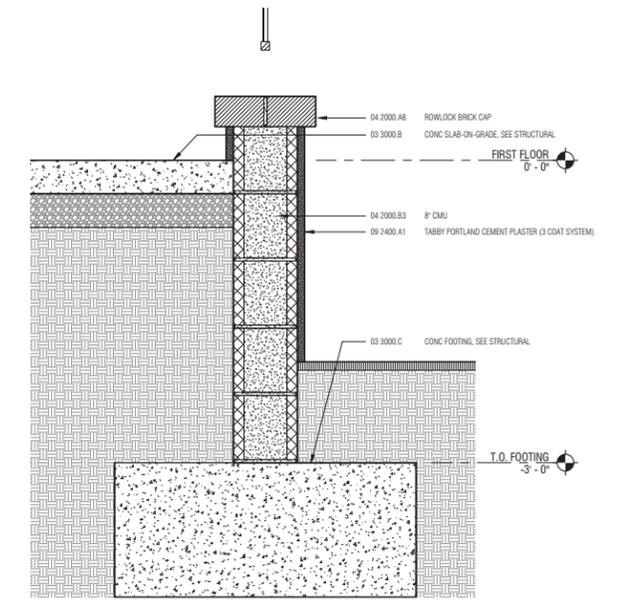
SHEET
NUMBER
A1.502



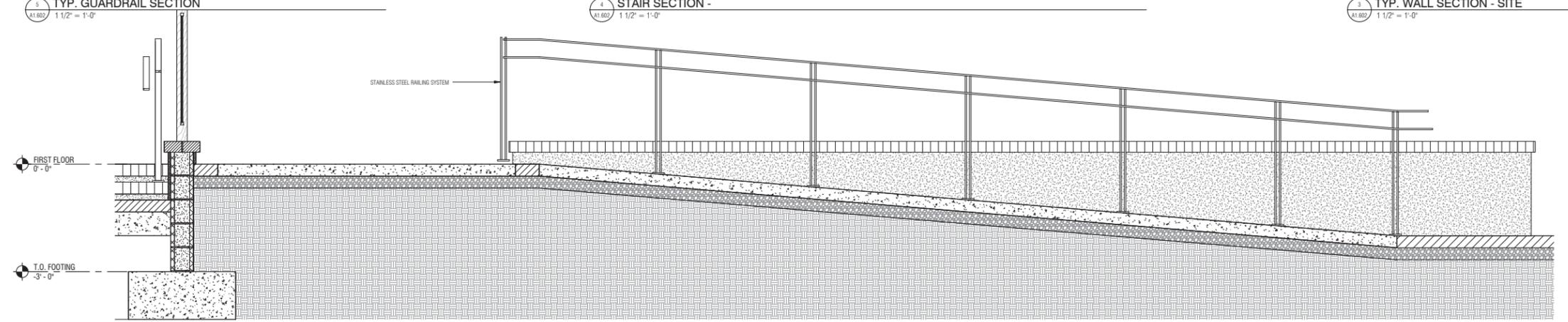
1 TYP. GUARDRAIL SECTION
 1 1/2" = 1'-0"



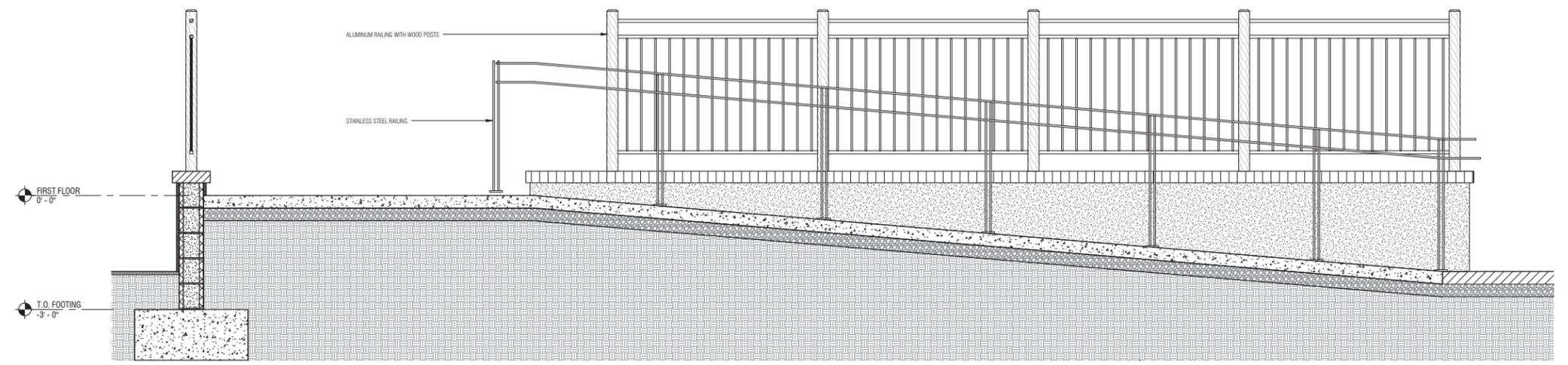
4 STAIR SECTION -
 1 1/2" = 1'-0"



3 TYP. WALL SECTION - SITE
 1 1/2" = 1'-0"



2 RAMP SECTION -
 3/4" = 1'-0"



1 RAMP SECTION -
 3/4" = 1'-0"

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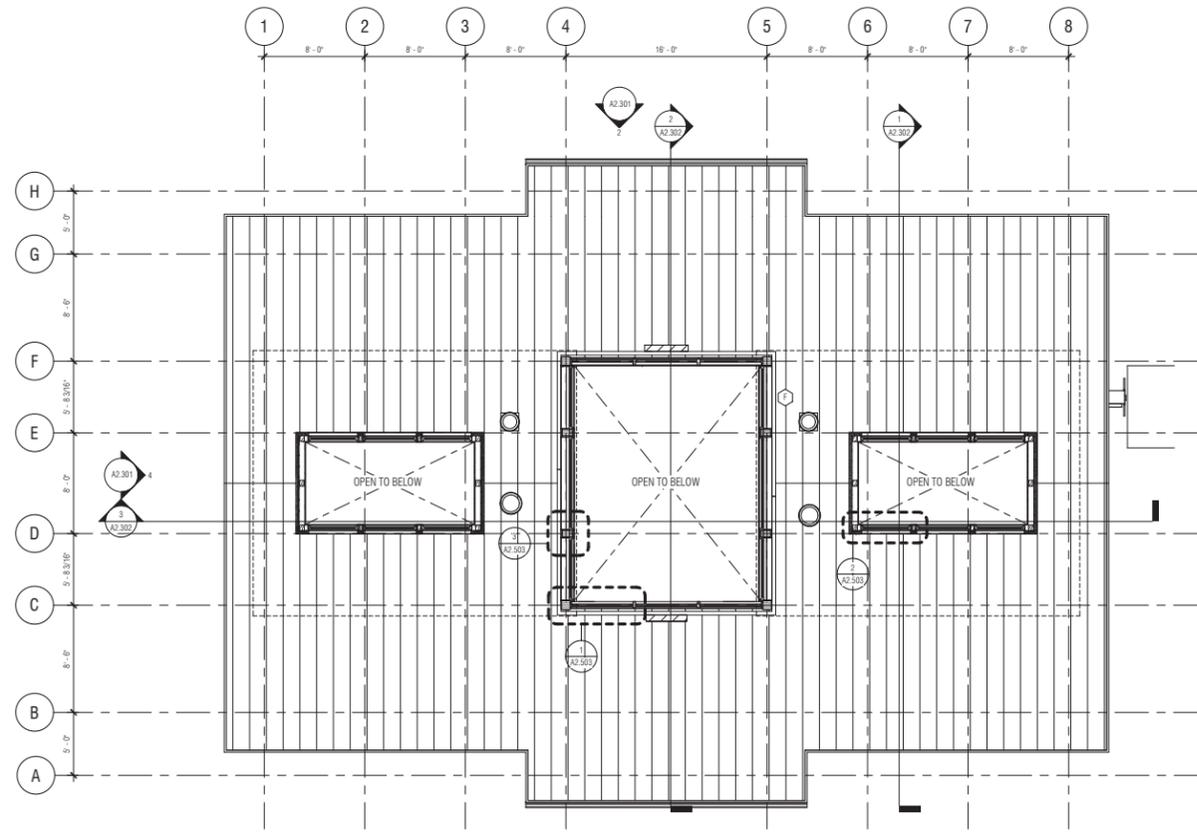
DATE:
 3-15-2016
 PROJECT NUMBER:
 01-16002
 SHEET TITLE:
 SITE & STAIR
 DETAILS

SHEET
 NUMBER
A1.602

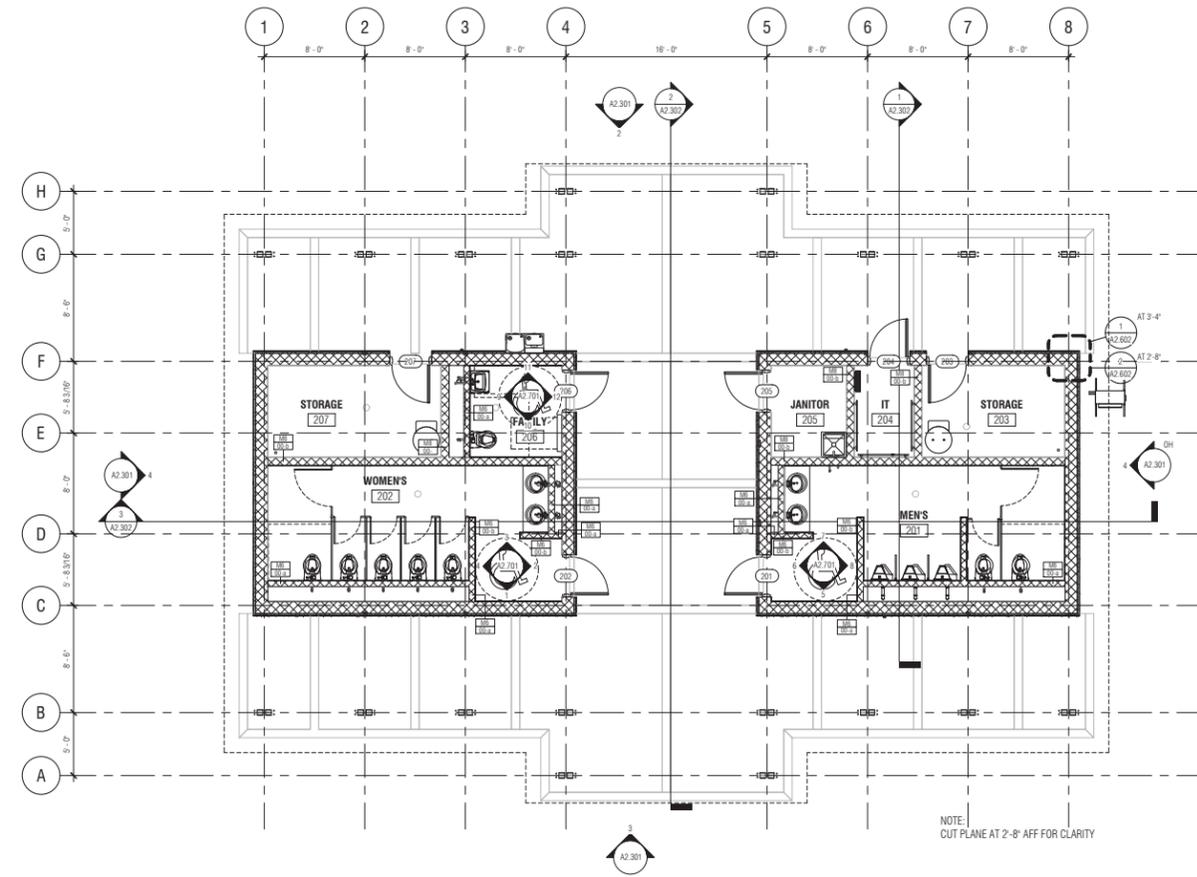


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2 CLERESTORY FLOOR PLAN - RESTROOM
3/16" = 1'-0"



1 FLOOR PLAN - RESTROOM
3/16" = 1'-0"

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

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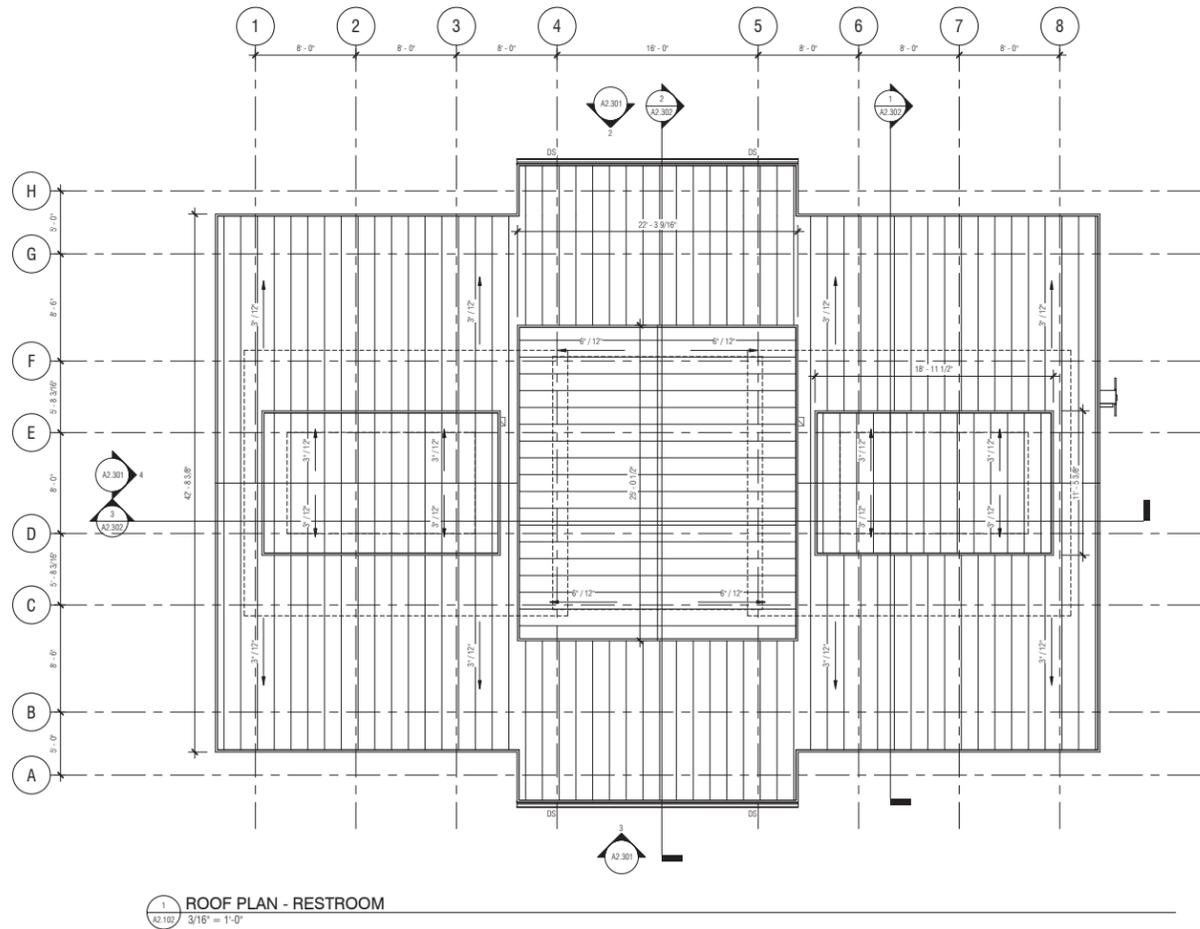
DATE:
3-15-2016
PROJECT NUMBER:
01-16002
SHEET TITLE:
FLOOR PLANS



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SHEET
NUMBER
A2.101



NOTE:

SEE SHEET A1.102 FOR TYPICAL/SIM DETAILS

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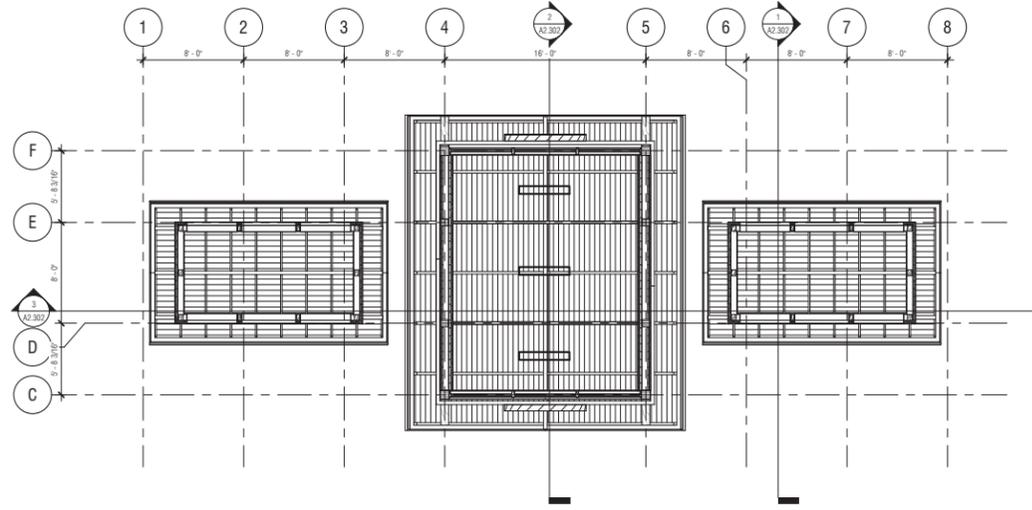
DATE: 3-15-2016
PROJECT NUMBER: 01-16002
SHEET TITLE: ROOF PLAN



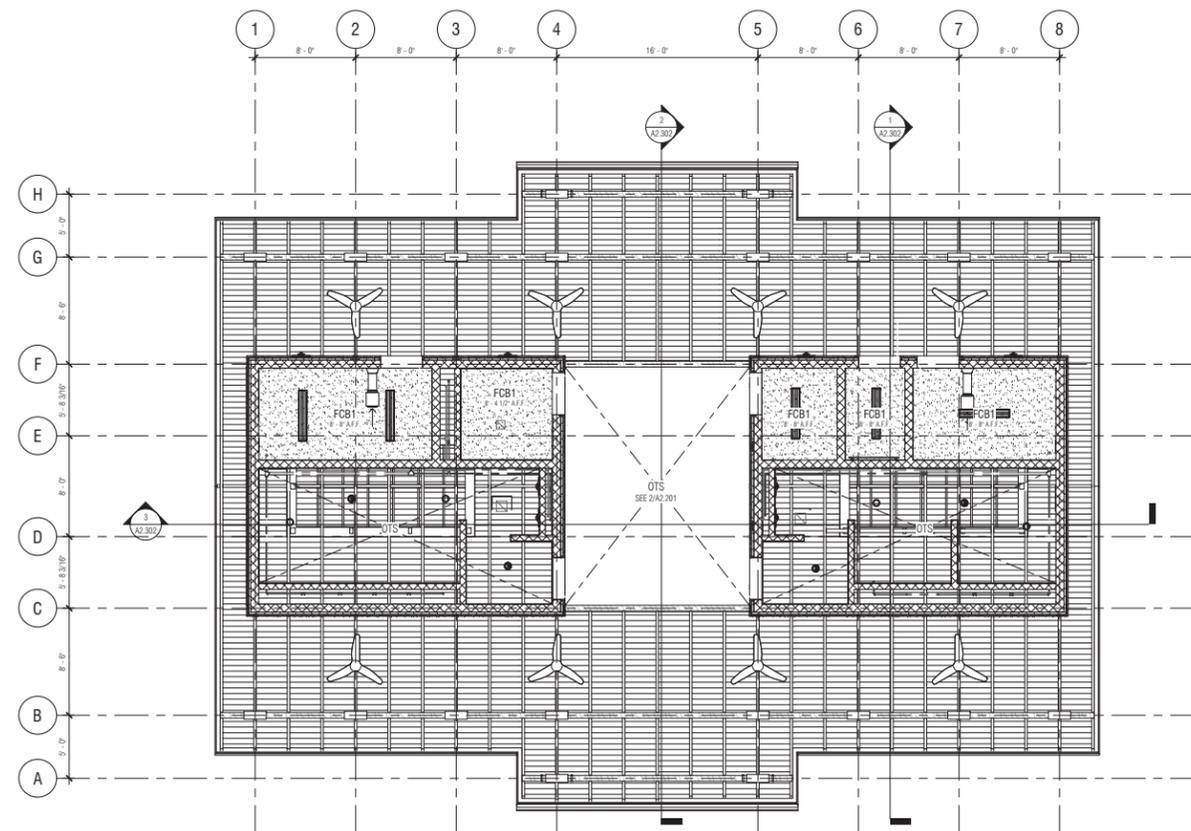
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SHEET NUMBER
A2.102

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2 CLERESTORY REFLECTED CEILING PLAN - RESTROOM
 A2.201 3/16" = 1'-0"



1 REFLECTED CEILING PLAN - RESTROOM
 A2.201 3/16" = 1'-0"

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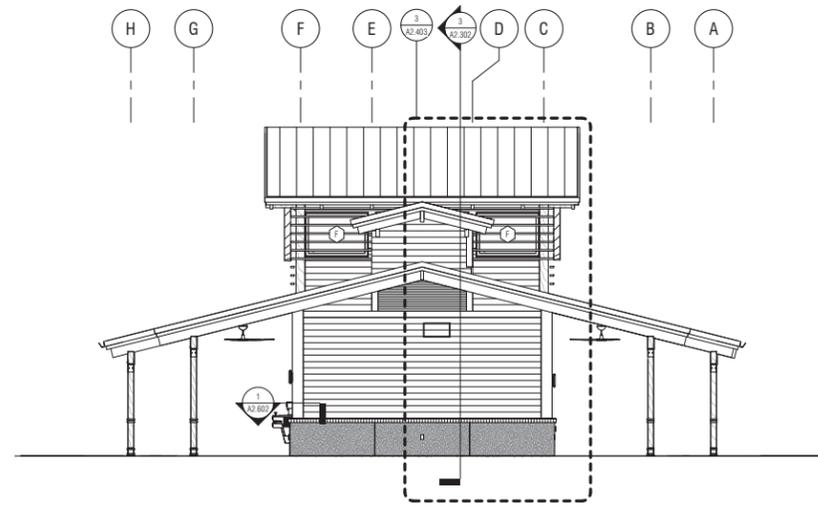
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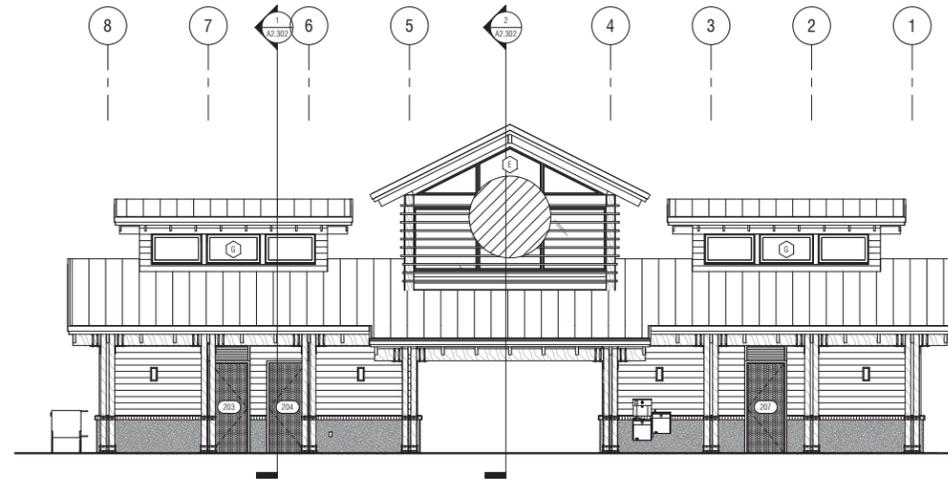
DATE
 3-15-2016
 PROJECT NUMBER
 01-16002
 SHEET TITLE
 REFLECTED
 CEILING PLANS

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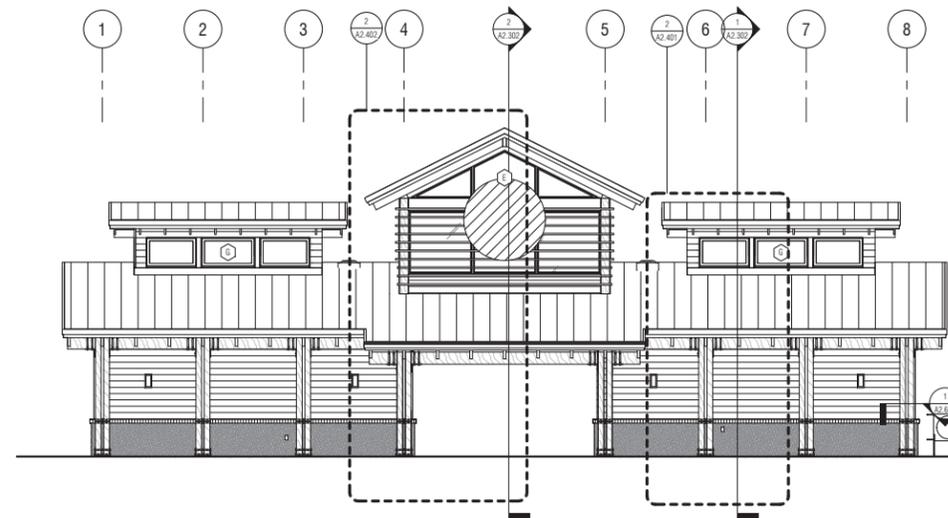
- T.O. RIDGE (HIGH) 26'-0"
- T.O. BEAM (CENTER) 20'-6"
- T.O. RIDGE (LOW) 20'-3"
- T.O. BEAM CLERE (HIGH) 18'-0"
- T.O. BEAM CLERE (LOW) 13'-10 1/2"
- T.O. BEAM (LOW) 12'-4"
- T.O. BEAM (PORCH) 9'-6"
- T.O. BEAM (FRONT) 8'-3 1/2"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-0"

4 WEST ELEVATION (EAST SIM) - RESTROOM
A2.301 3/16" = 1'-0"



- T.O. RIDGE (HIGH) 26'-0"
- T.O. BEAM (CENTER) 20'-6"
- T.O. RIDGE (LOW) 20'-3"
- T.O. BEAM CLERE (HIGH) 18'-0"
- T.O. BEAM CLERE (LOW) 13'-10 1/2"
- T.O. BEAM (LOW) 12'-4"
- T.O. BEAM (PORCH) 9'-6"
- T.O. BEAM (FRONT) 8'-3 1/2"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-0"

2 NORTH ELEVATION - RESTROOM
A2.301 3/16" = 1'-0"



- T.O. RIDGE (HIGH) 26'-0"
- T.O. BEAM (CENTER) 20'-6"
- T.O. RIDGE (LOW) 20'-3"
- T.O. BEAM CLERE (HIGH) 18'-0"
- T.O. BEAM CLERE (LOW) 13'-10 1/2"
- T.O. BEAM (LOW) 12'-4"
- T.O. BEAM (PORCH) 9'-6"
- T.O. BEAM (FRONT) 8'-3 1/2"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-0"

3 SOUTH ELEVATION - RESTROOM
A2.301 3/16" = 1'-0"

Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

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FOR
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Hilton Head Island, South Carolina

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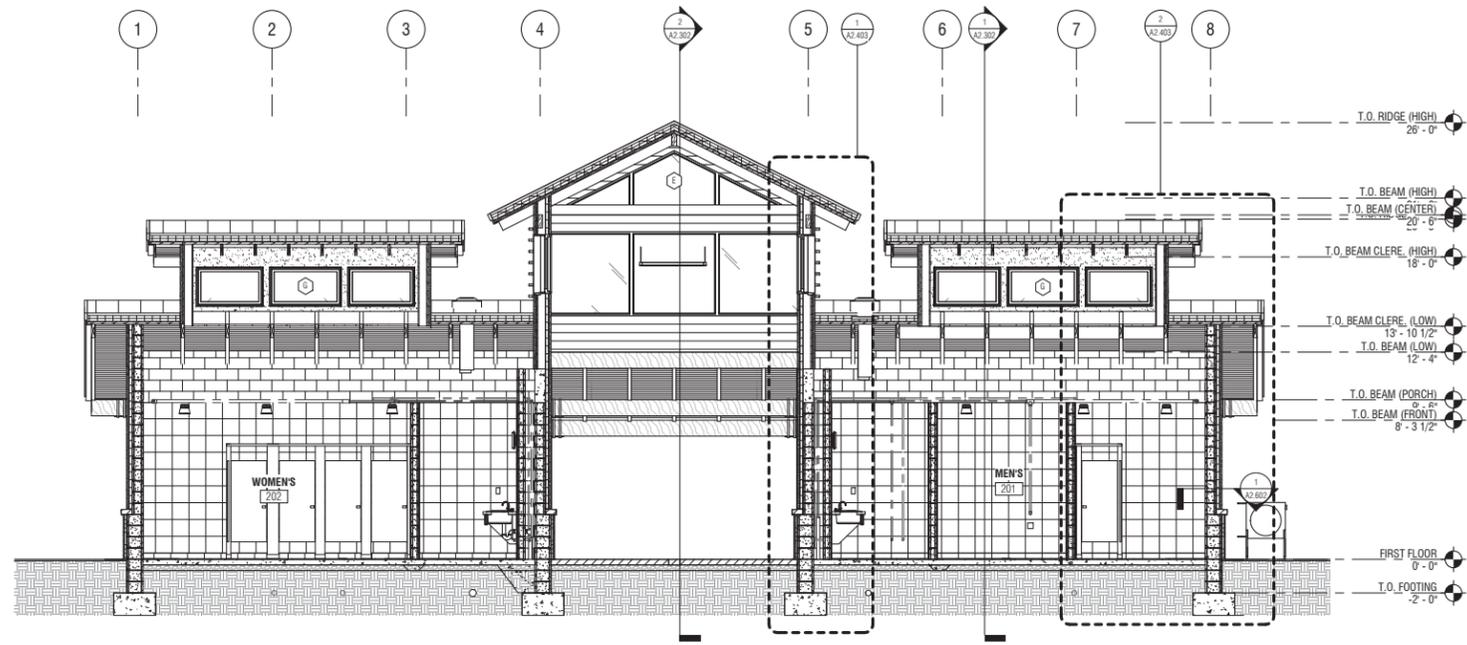
#	REVISION	DATE	BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
BUILDING
ELEVATIONS

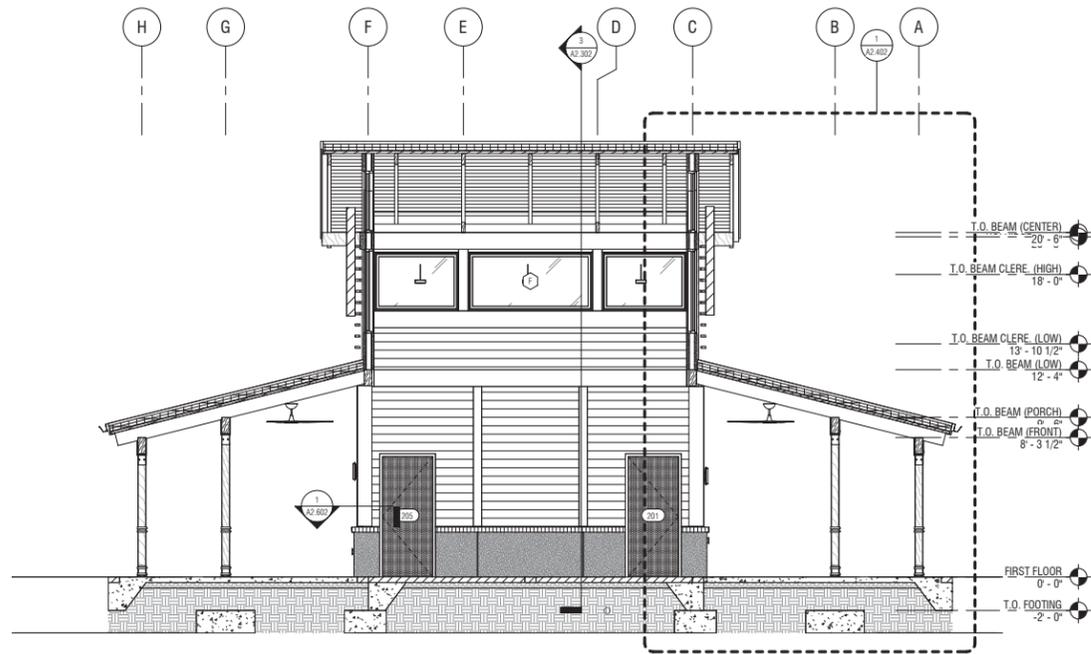
SHEET
NUMBER
A2.301



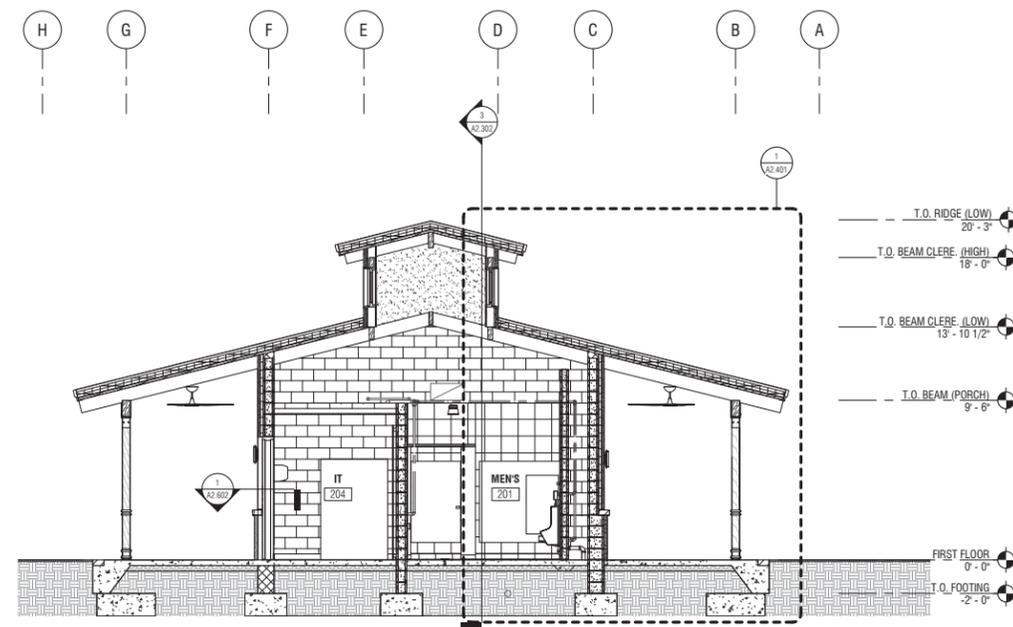
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3 BUILDING SECTION
 1/4" = 1'-0"



2 BUILDING SECTION
 1/4" = 1'-0"



1 BUILDING SECTION
 1/4" = 1'-0"

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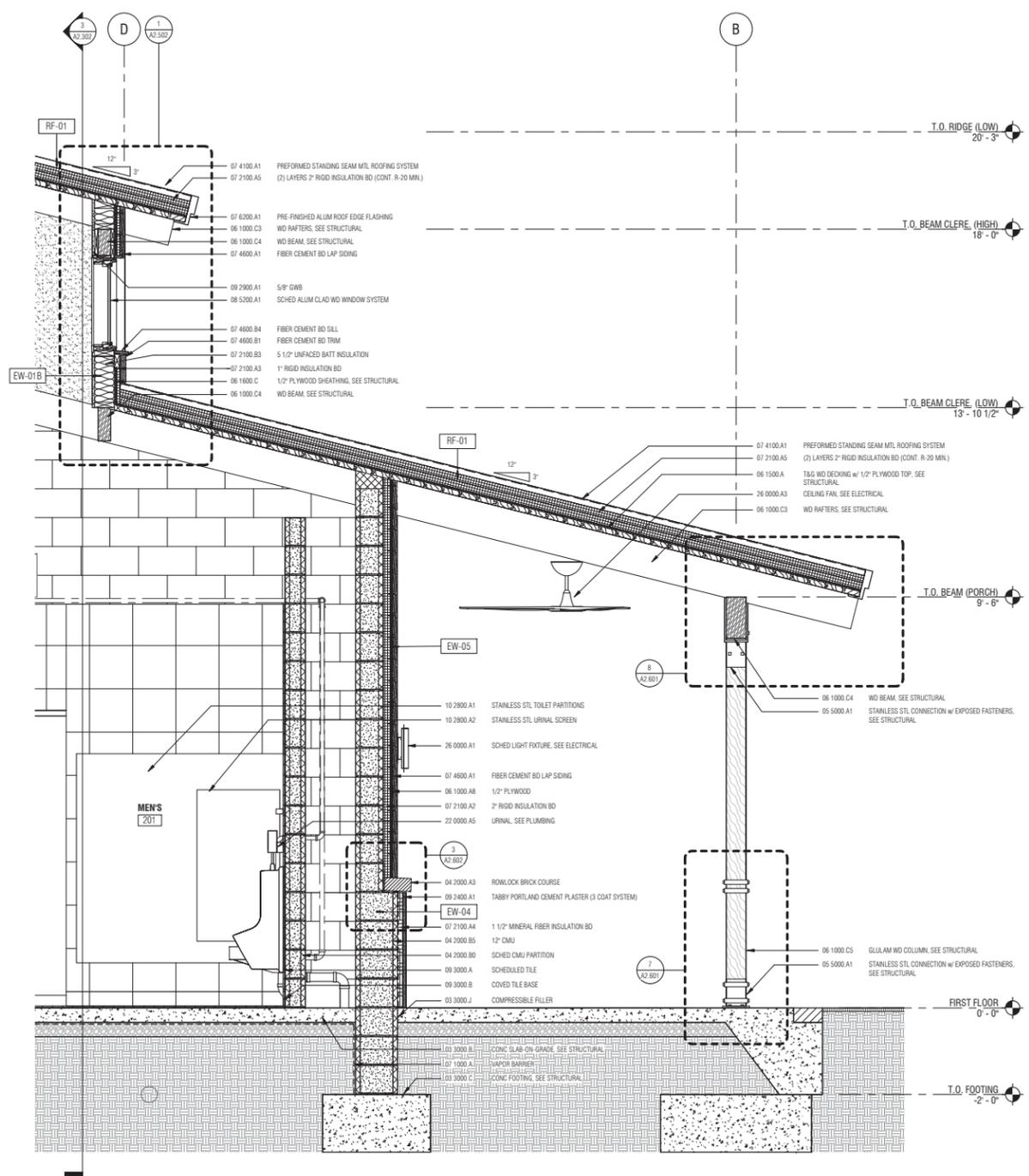
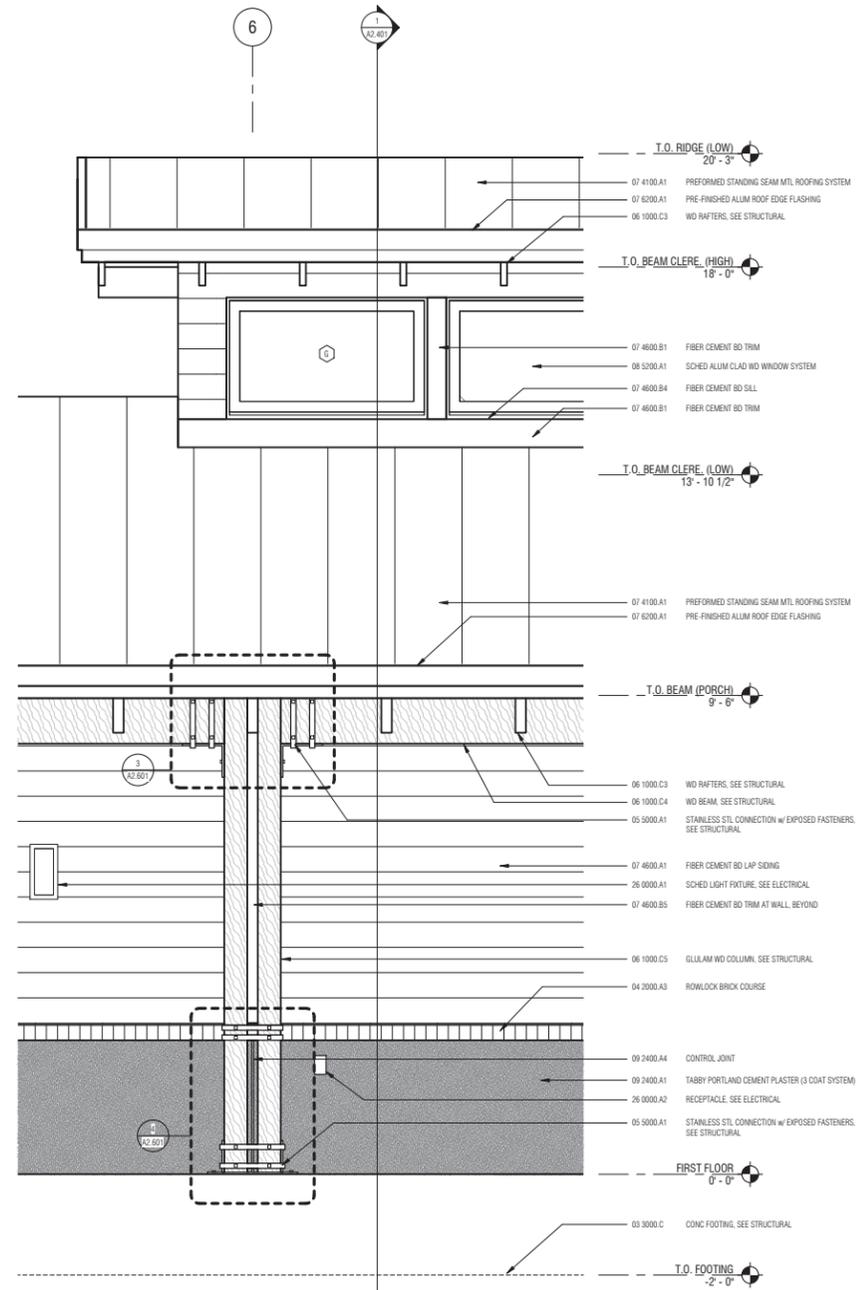
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DATE
 3-15-2016
 PROJECT NUMBER
 01-16002
 SHEET TITLE
 BUILDING SECTIONS

SHEET NUMBER
A2.302

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PROJECT NUMBER
01-16002
SHEET TITLE
ENLARGED
ELEVATION &
WALL SECTION

SHEET
NUMBER
A2.401

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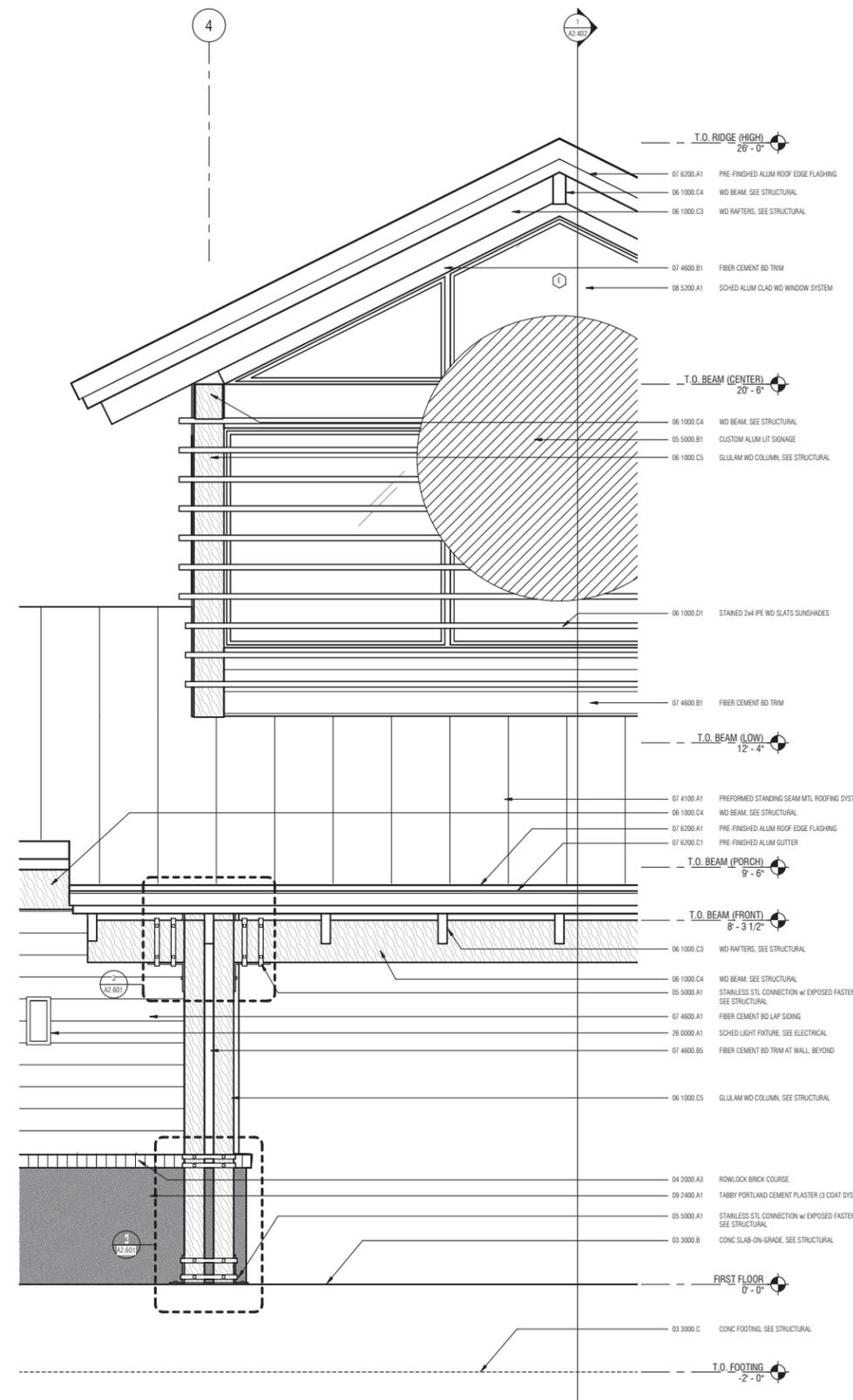
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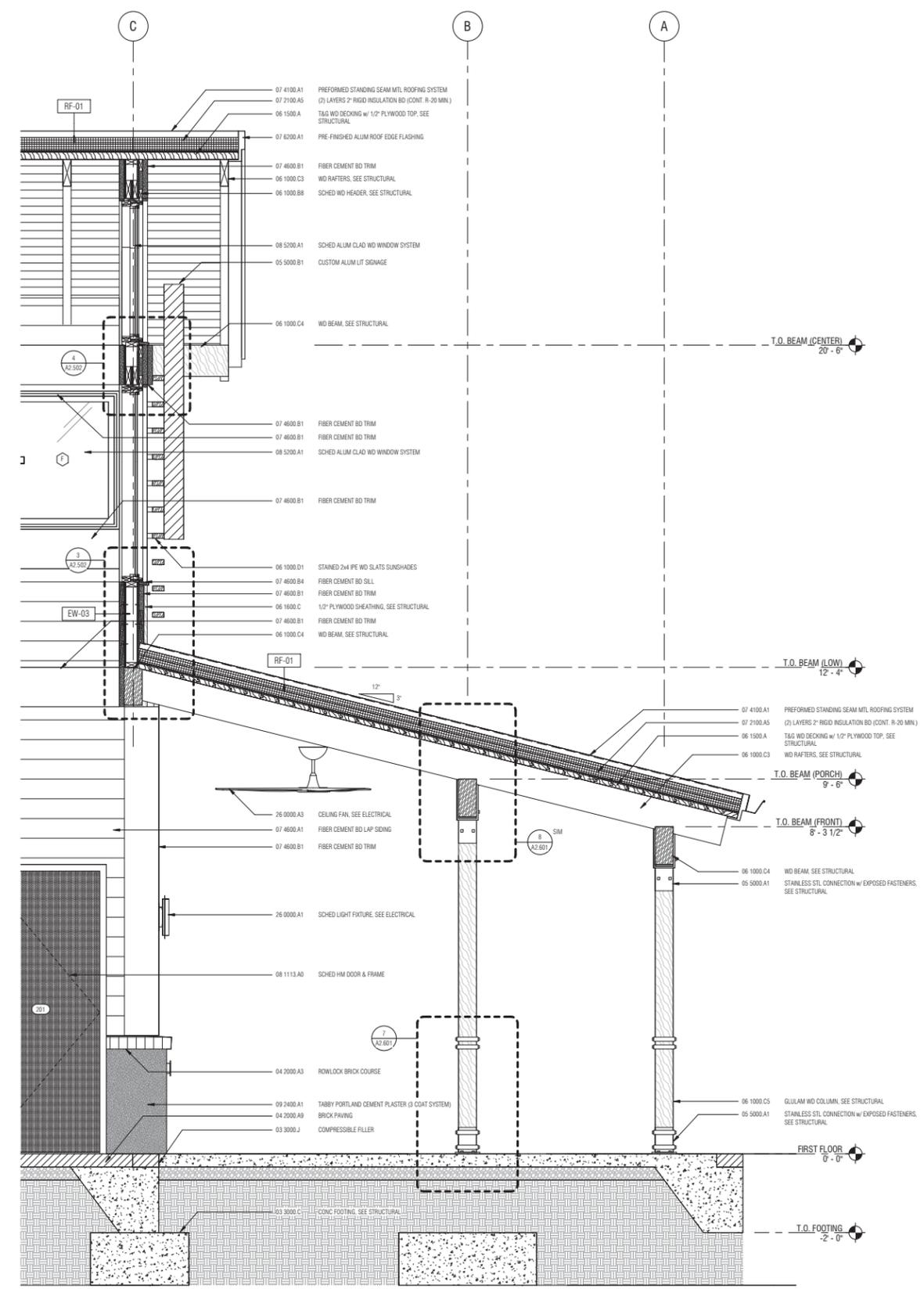
DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
ENLARGED
ELEVATION &
WALL SECTION

SHEET
NUMBER
A2.402



2
A2.402

ENLARGED ELEVATION
3/4" = 1'-0"



1
A2.402

WALL SECTION
3/4" = 1'-0"

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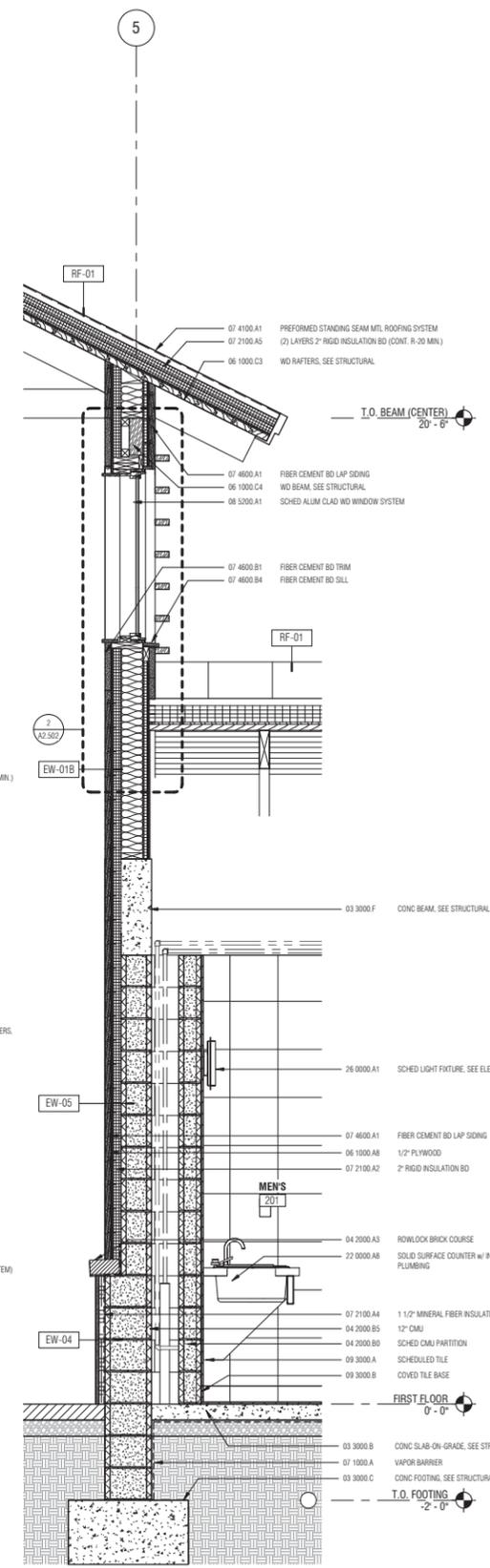
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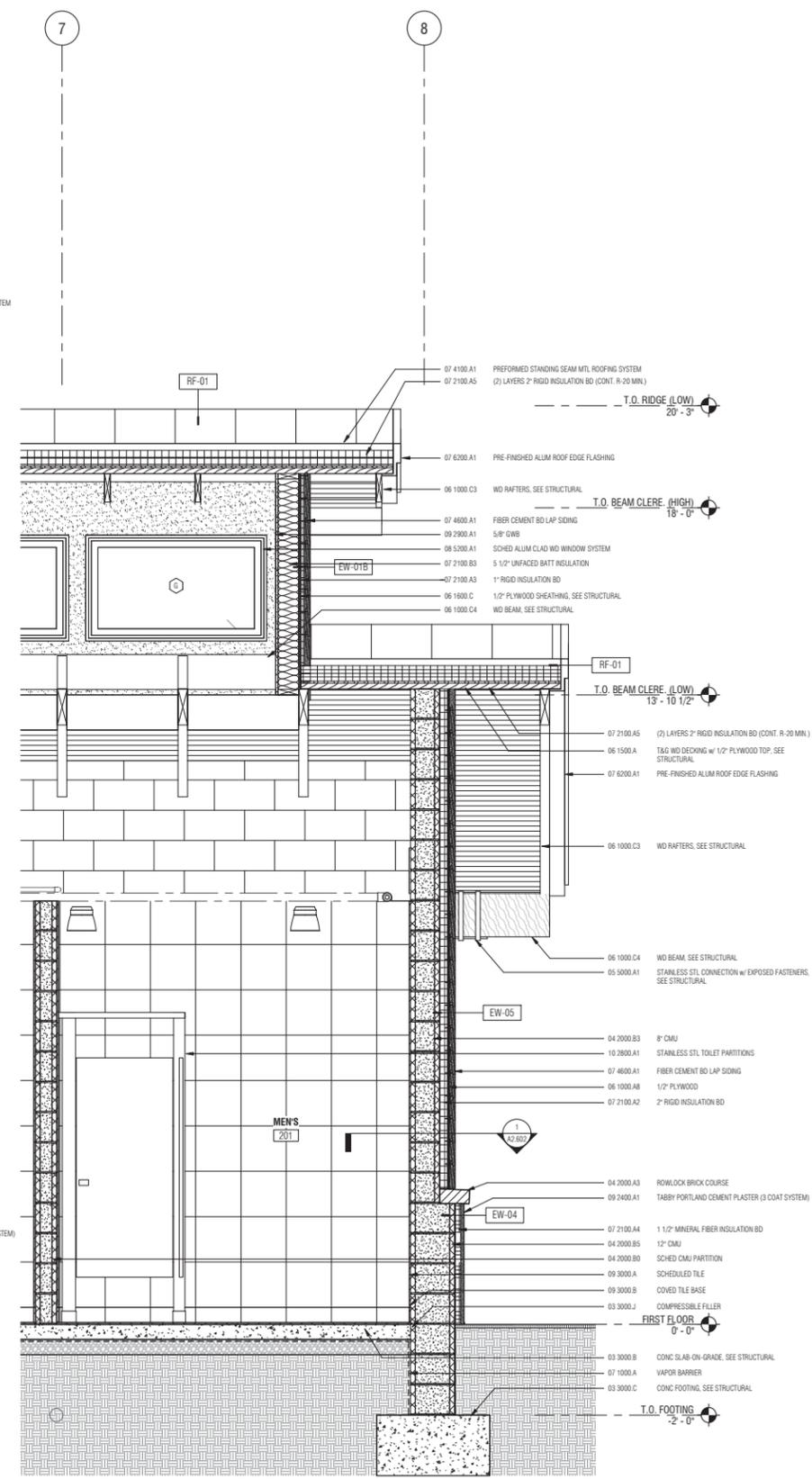
#	REVISION	DATE	BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
ENLARGED ELEVATION & WALL SECTIONS

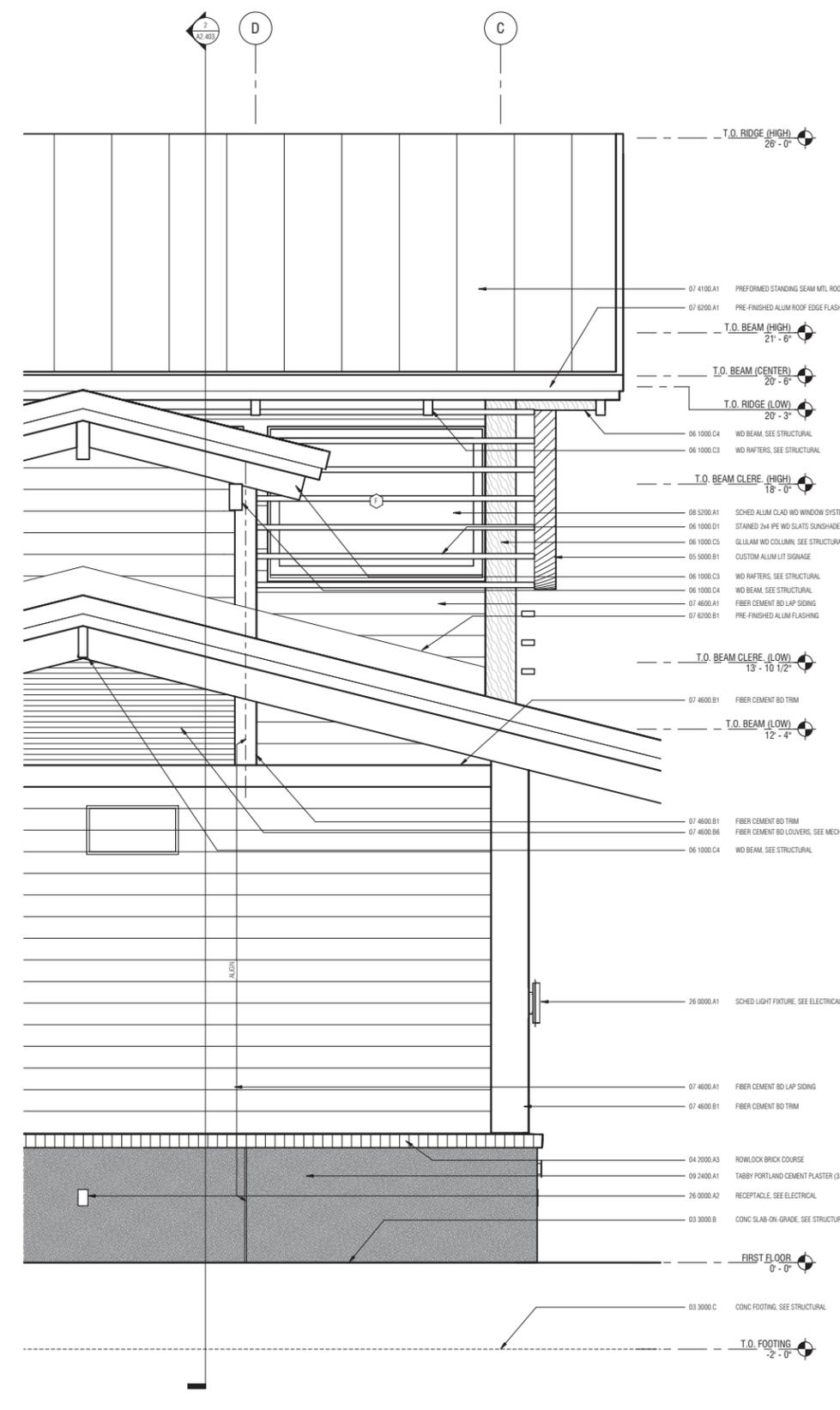
SHEET NUMBER
A2.403



5 WALL SECTION
3/4" = 1'-0"



8 WALL SECTION
3/4" = 1'-0"



3 ENLARGED ELEVATION
3/4" = 1'-0"

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DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
WINDOW
DETAILS

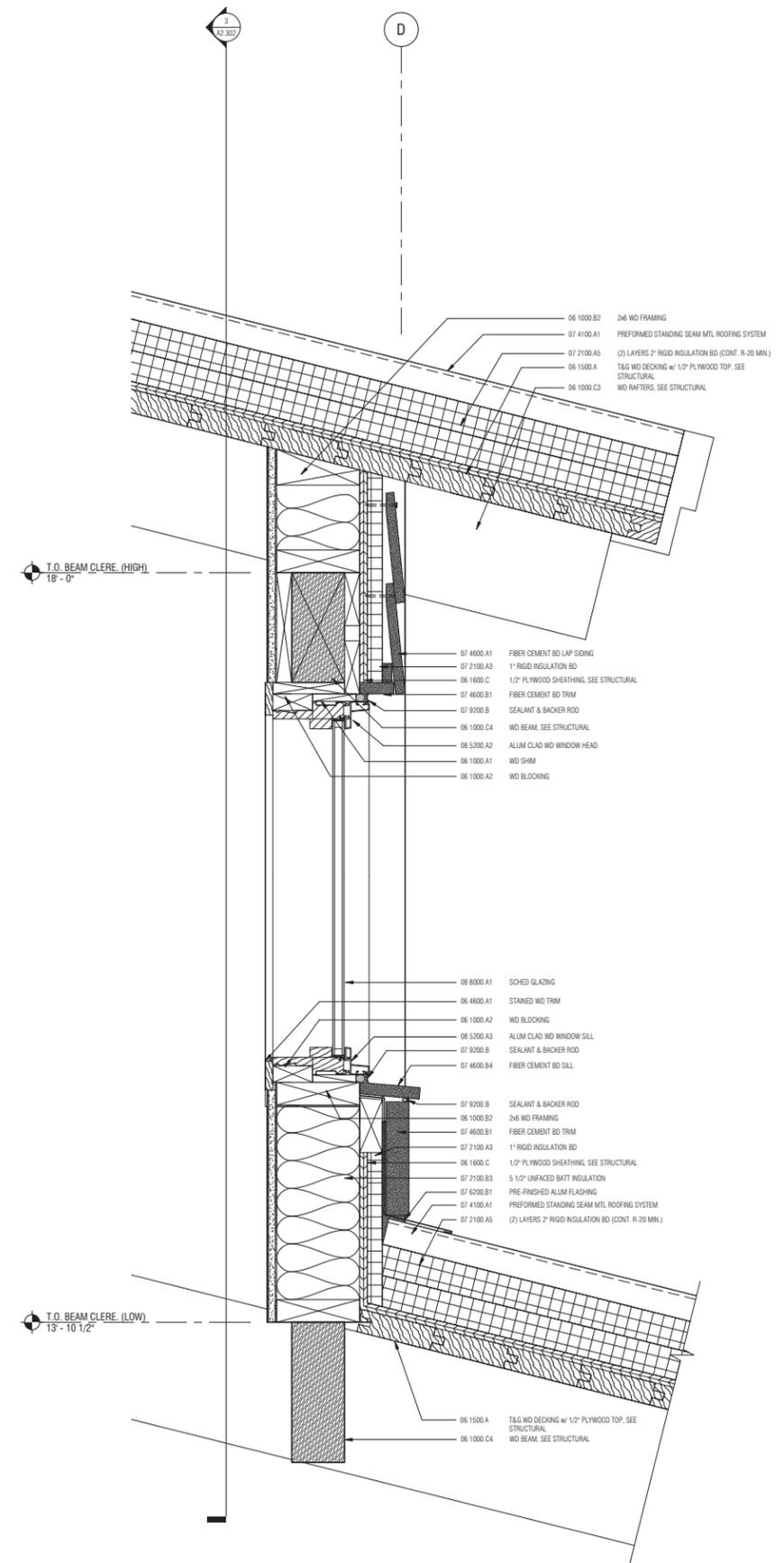
SHEET
NUMBER
A2.502



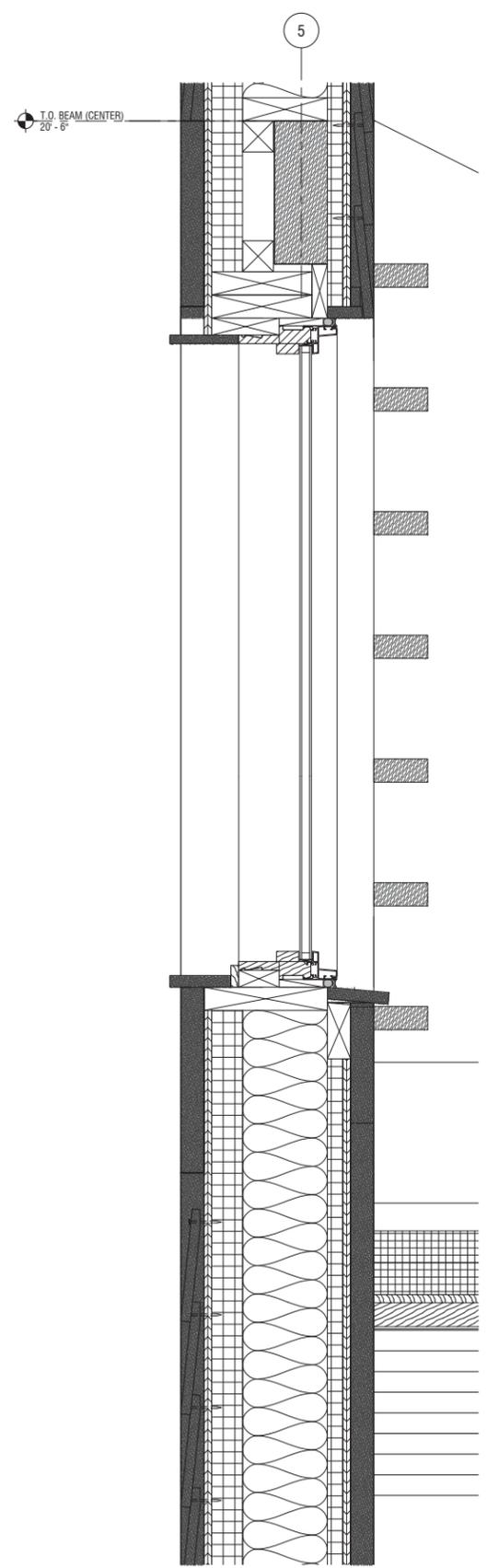
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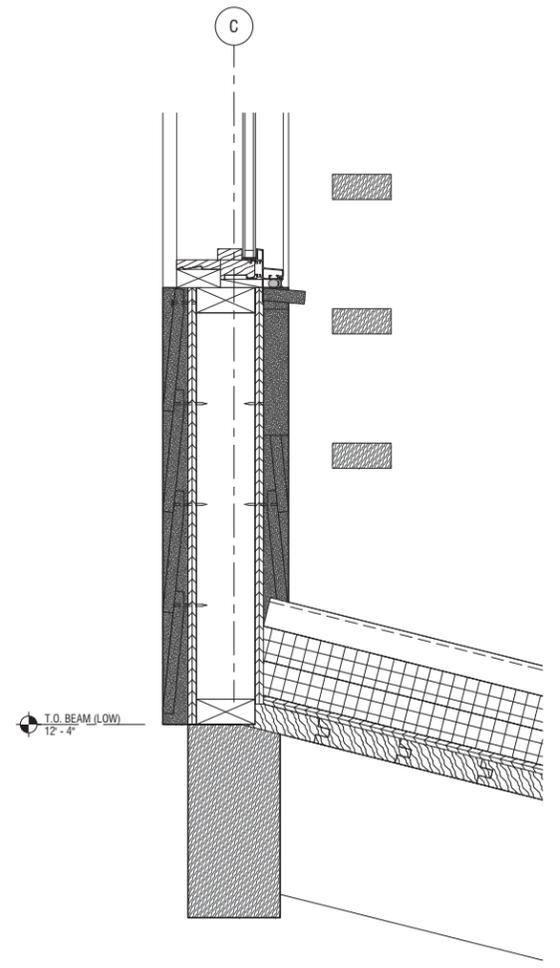
1 WINDOW DETAIL -
A2.502 3" = 1'-0"



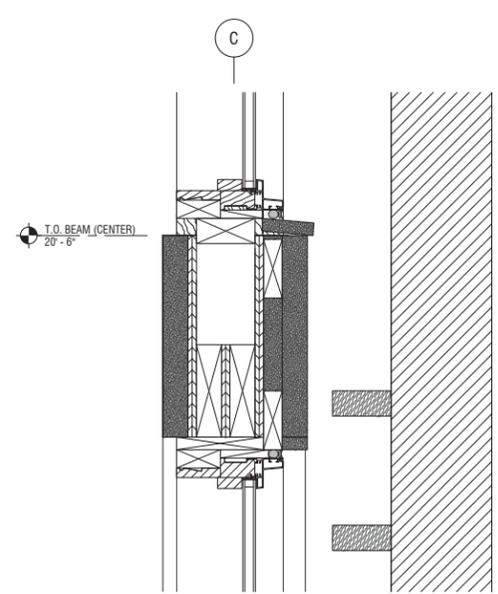
2 WINDOW DETAIL -
A2.502 3" = 1'-0"

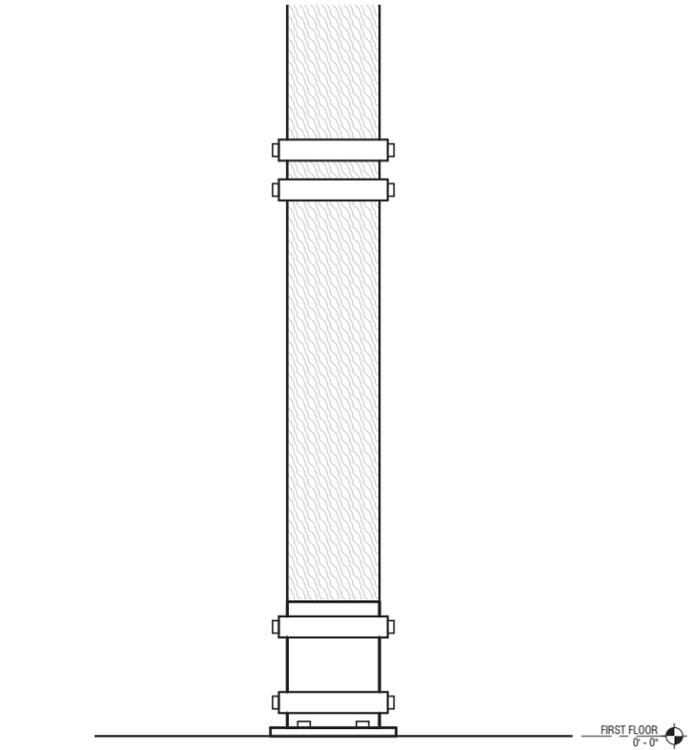
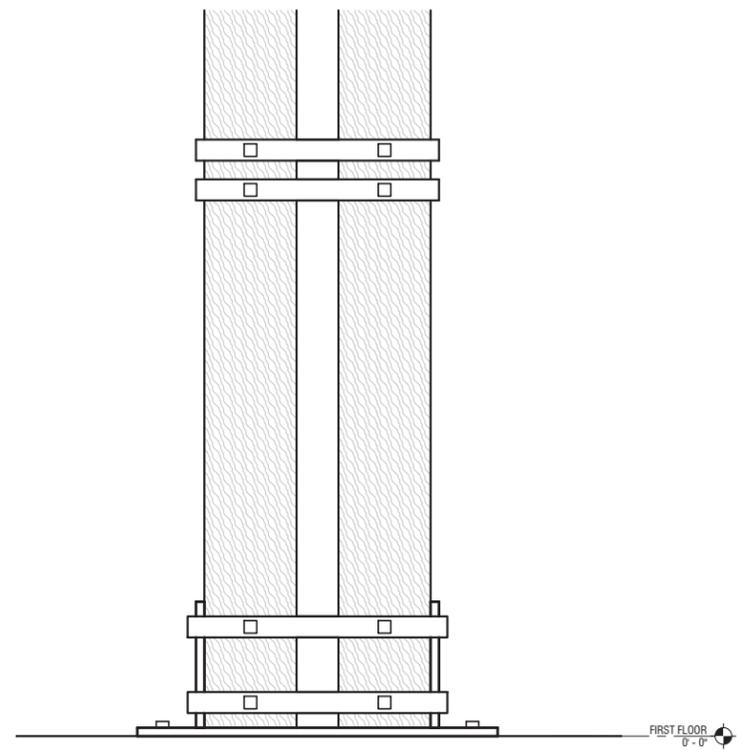
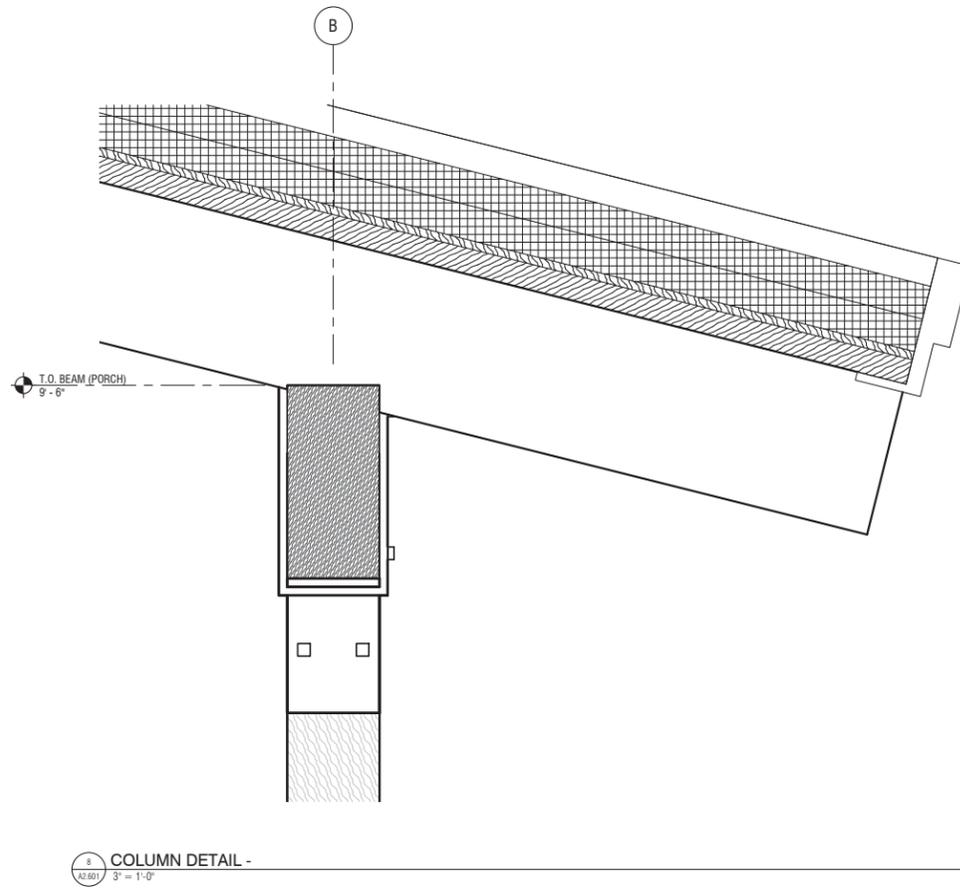
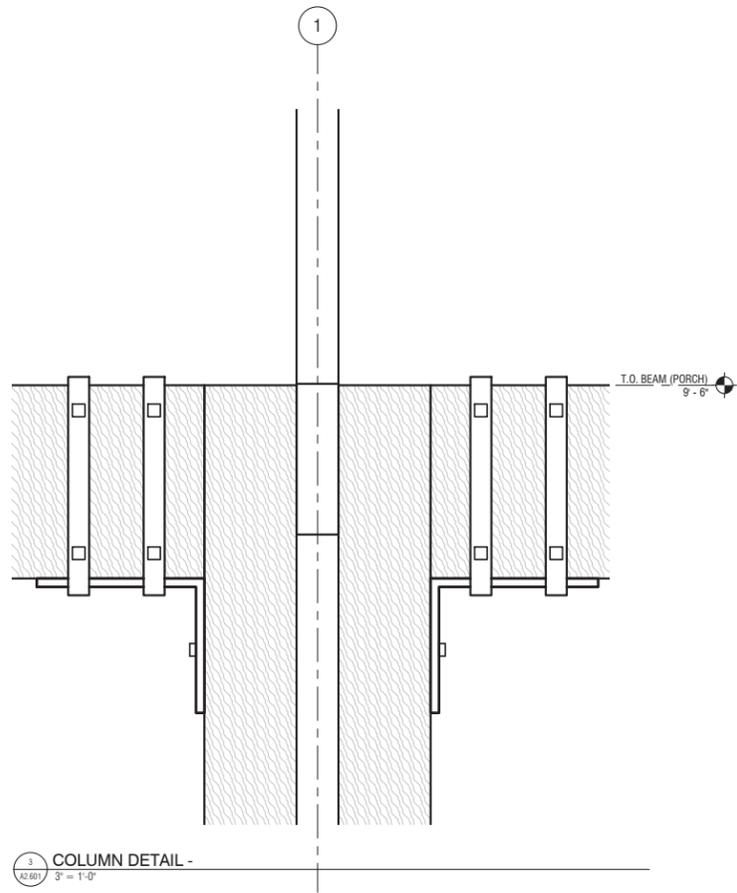


3 WINDOW DETAIL -
A2.502 3" = 1'-0"



4 WINDOW DETAIL -
A2.502 3" = 1'-0"





NOTE:
FOR TYPICAL NOTES, SEE SHEET A1.601

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4 COLUMN DETAIL -
3" = 1'-0"

7 COLUMN DETAIL -
3" = 1'-0"

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FOR
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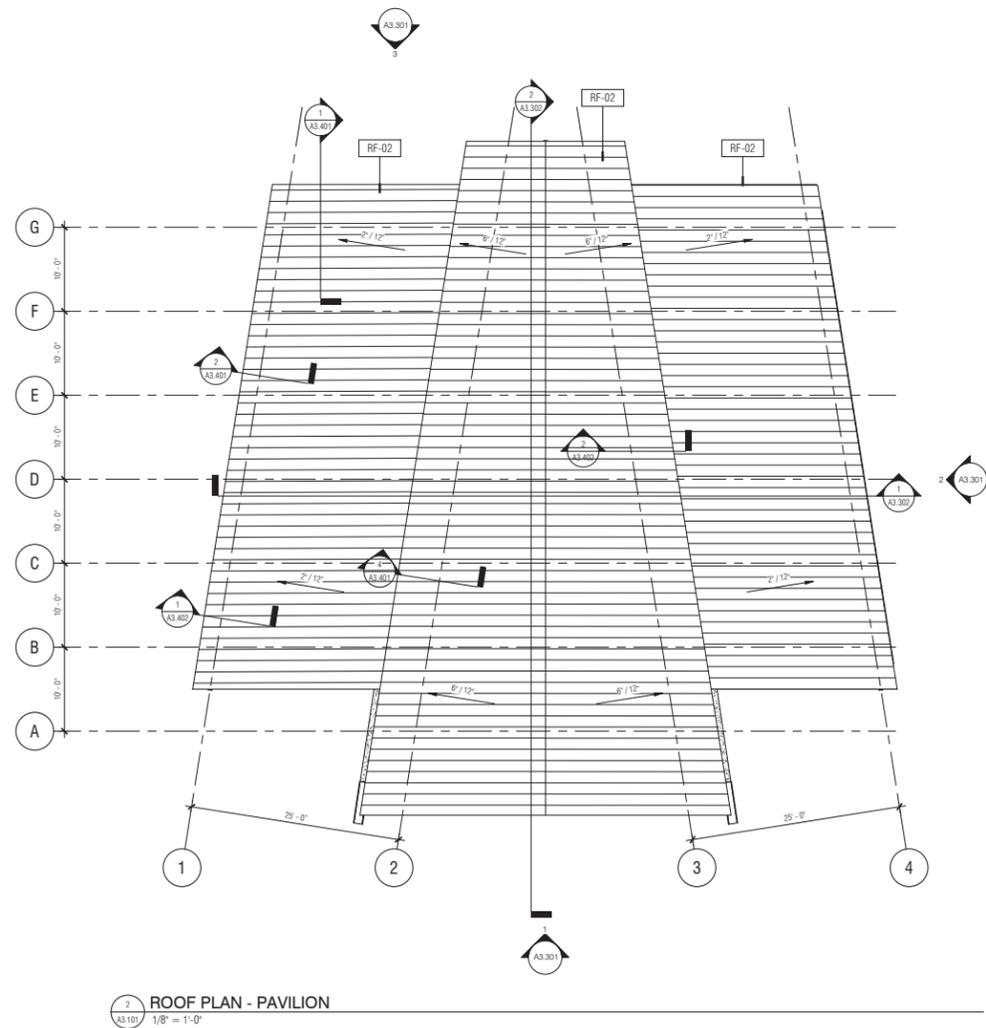
#	REVISION	DATE	BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
EXTERIOR
DETAILS

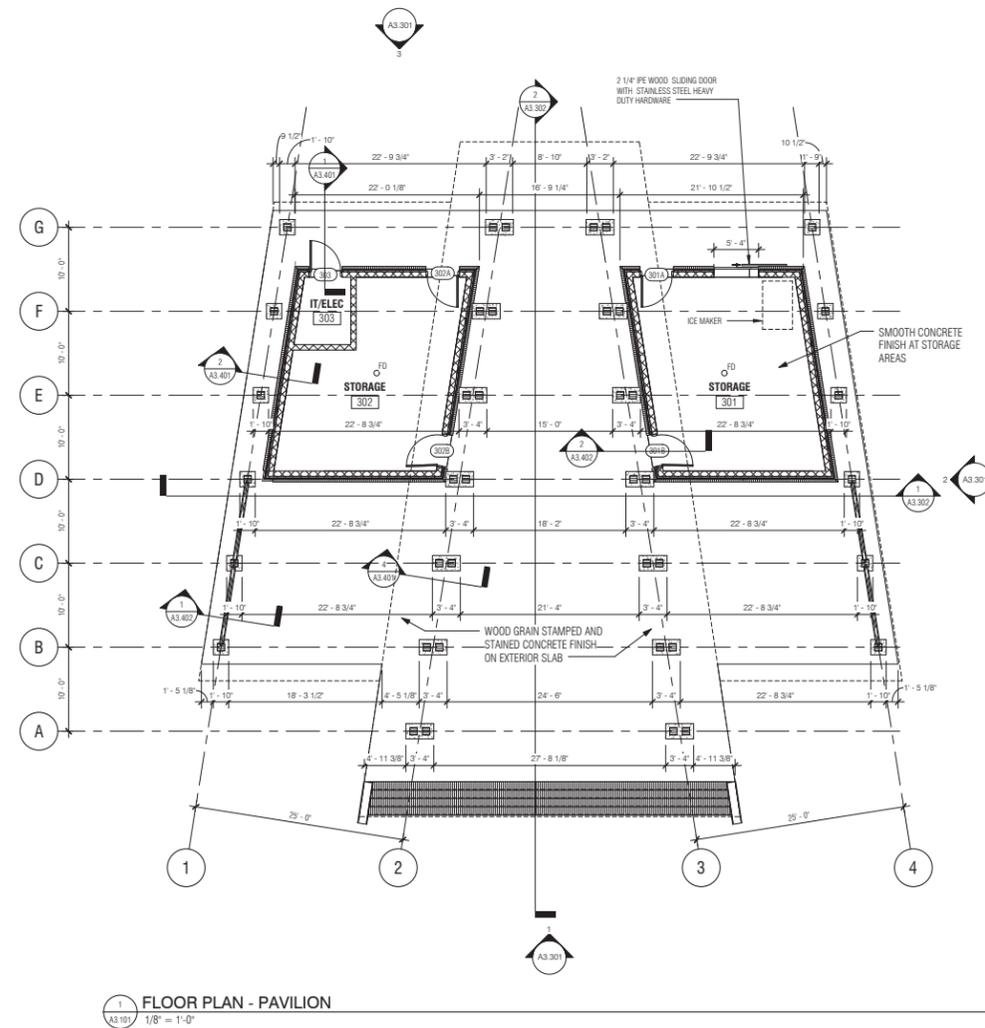
SHEET
NUMBER
A2.601



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2
A3.101 ROOF PLAN - PAVILION
1/8" = 1'-0"



1
A3.101 FLOOR PLAN - PAVILION
1/8" = 1'-0"

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PROJECT NUMBER:
01-16002
SHEET TITLE:
FLOOR PLAN

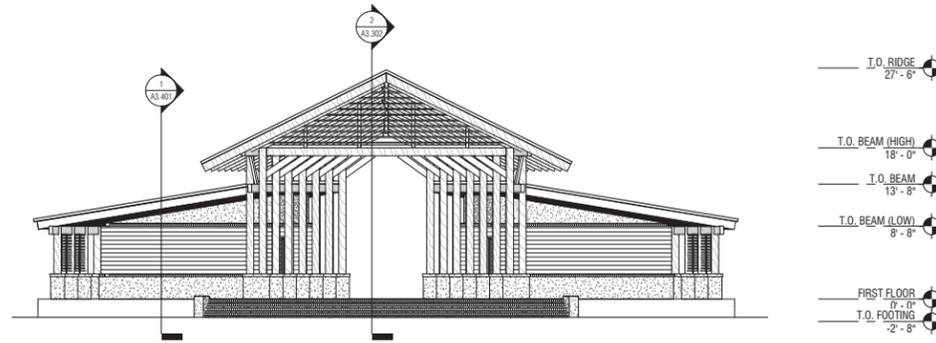
SHEET
NUMBER
A3.101



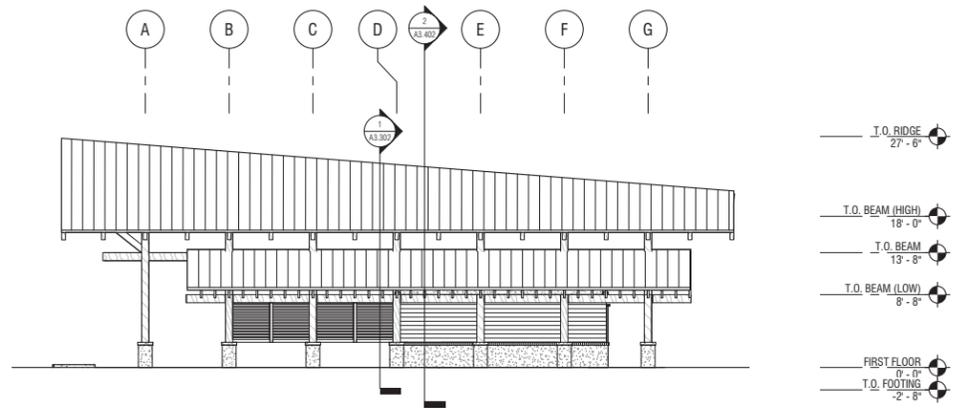
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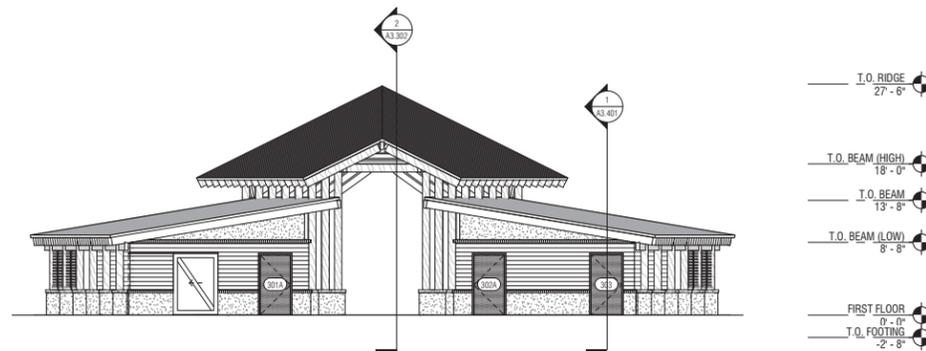
WTS Project No. 1406



1 SOUTH ELEVATION - PAVILION
A3.301 1/8" = 1'-0"



2 EAST ELEVATION - PAVILION (WEST SIM.)
A3.301 1/8" = 1'-0"



3 NORTH ELEVATION - PAVILION
A3.301 1/8" = 1'-0"

- T.O. RIDGE 27'-6"
- T.O. BEAM (HIGH) 18'-0"
- T.O. BEAM 13'-8"
- T.O. BEAM (LOW) 8'-8"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-8"

- T.O. RIDGE 27'-6"
- T.O. BEAM (HIGH) 18'-0"
- T.O. BEAM 13'-8"
- T.O. BEAM (LOW) 8'-8"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-8"

- T.O. RIDGE 27'-6"
- T.O. BEAM (HIGH) 18'-0"
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- T.O. BEAM (LOW) 8'-8"
- FIRST FLOOR 0'-0"
- T.O. FOOTING -2'-8"

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FOR
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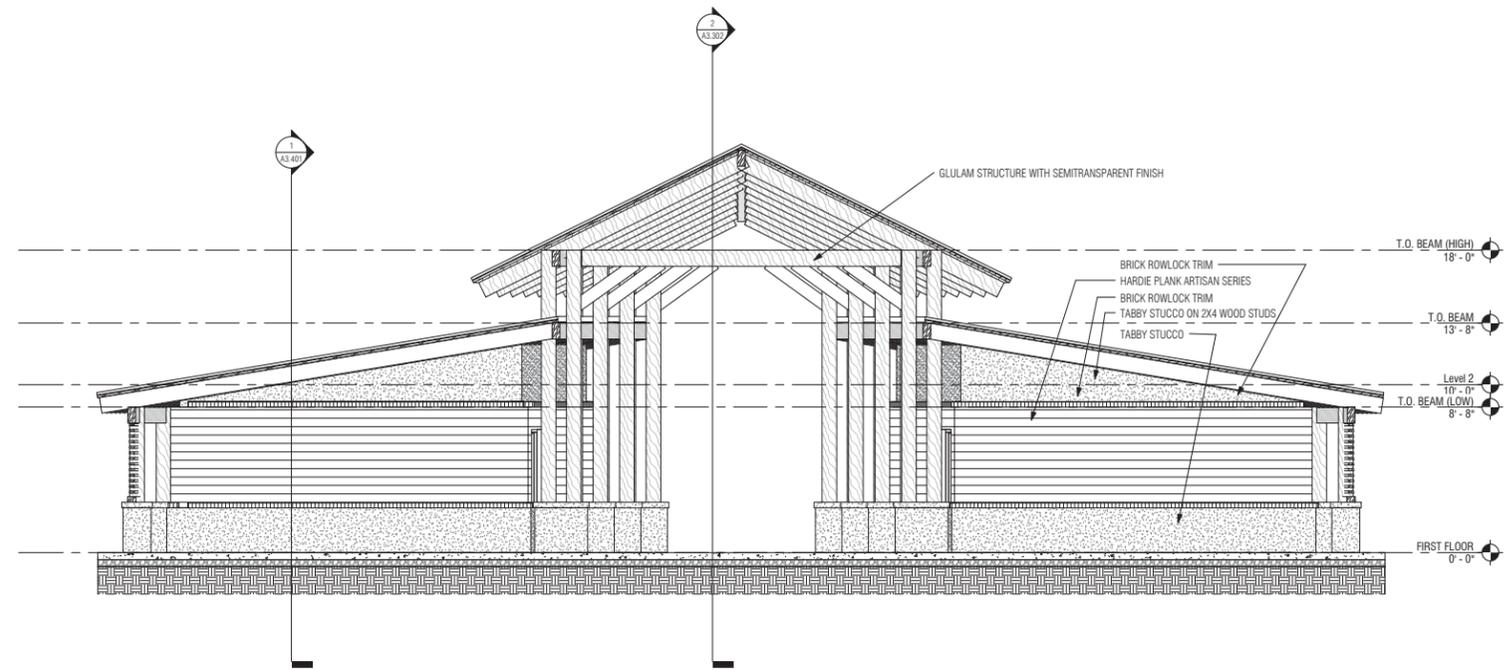
#	REVISION	DATE	BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
BUILDING
ELEVATIONS

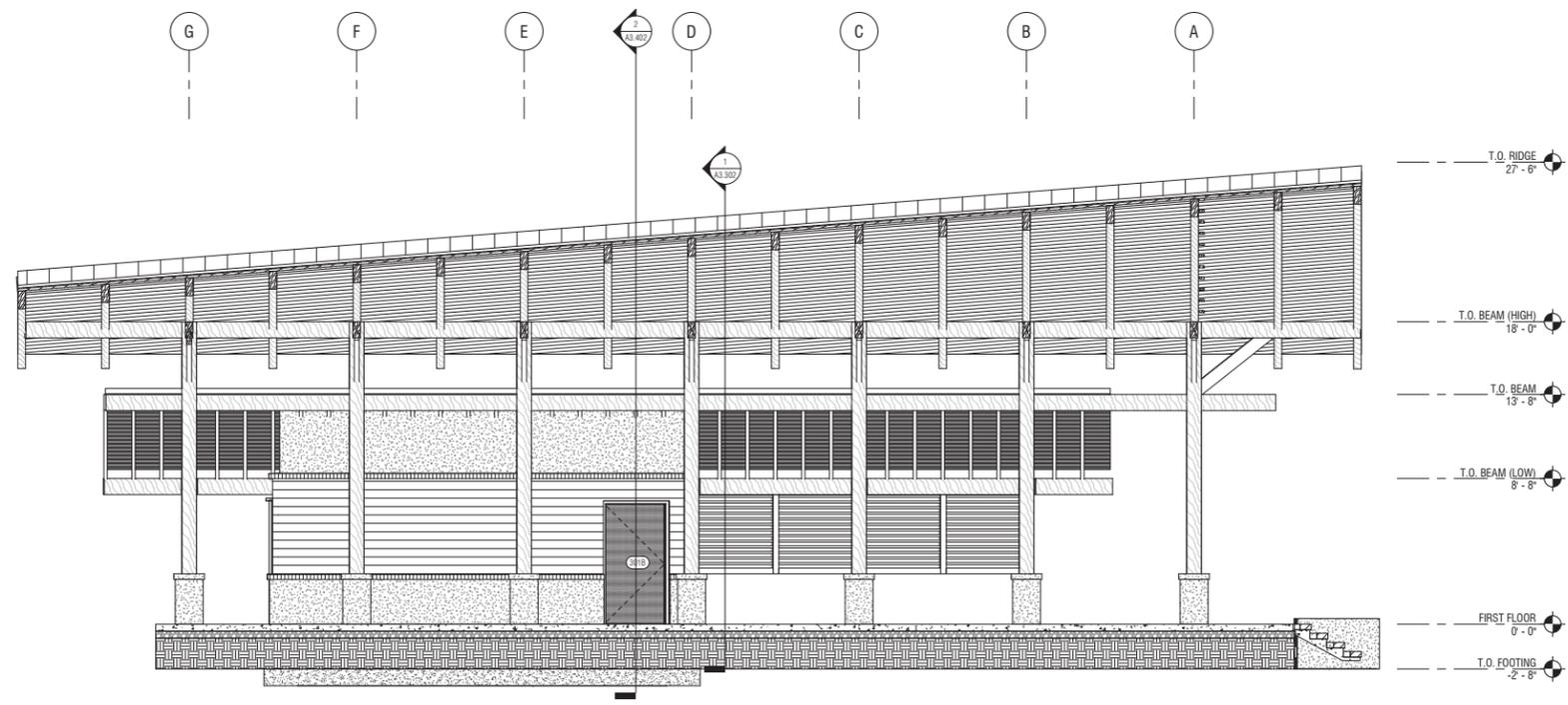
SHEET
NUMBER
A3.301



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1 Building Section
 AS.302 1/4" = 1'-0"



2 BUILDING SECTION
 AS.302 1/4" = 1'-0"

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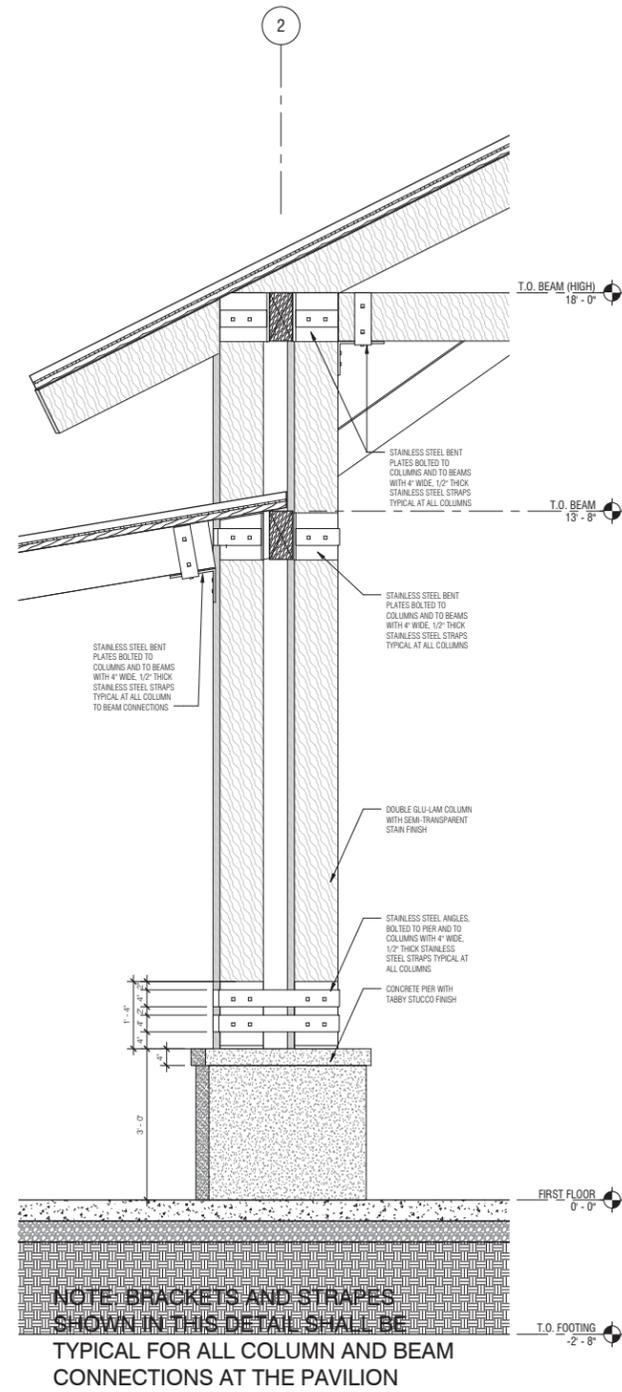
PROFESSIONAL STAMPS:

PRELIMINARY:
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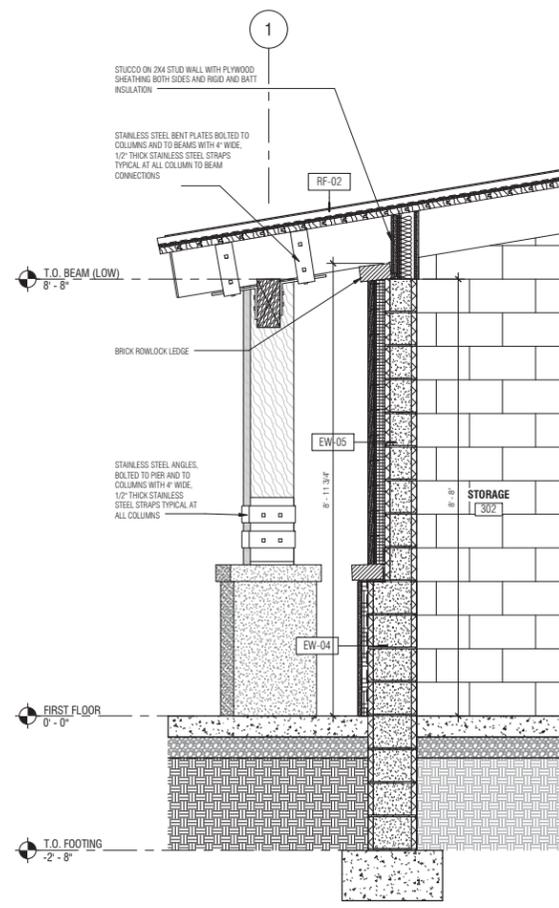
#	REVISION	DATE	BY

DATE:
 3-15-2016
 PROJECT NUMBER:
 01-16002
 SHEET TITLE:
 BUILDING SECTIONS

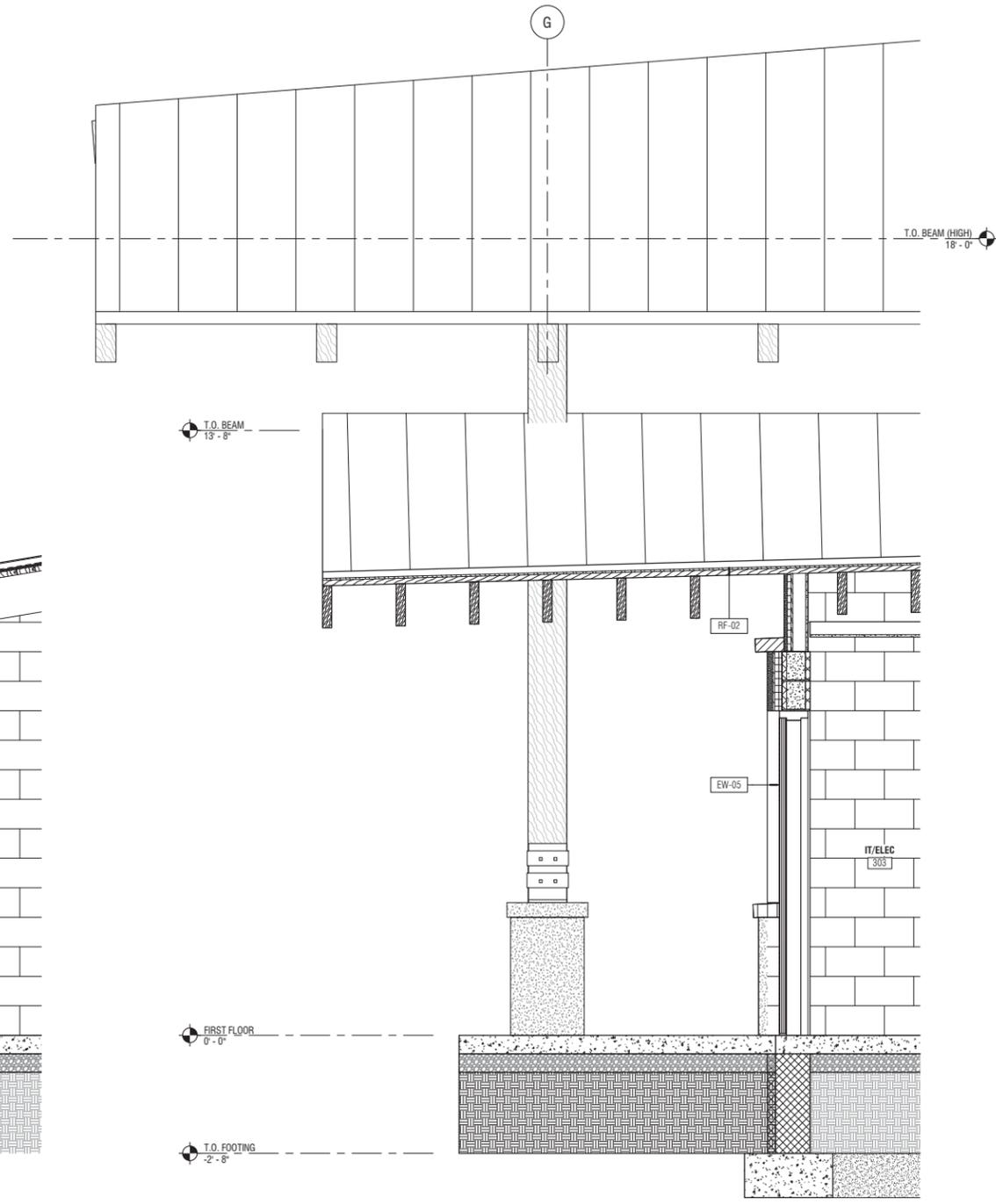
DESIGN DEVELOPMENT DOCUMENTS
 FOR
COLIGNY PARK
 Hilton Head Island, South Carolina



4 WALL SECTION
 A3.401 3/4" = 1'-0"



2 WALL SECTION
 A3.401 3/4" = 1'-0"



1 WALL SECTION
 A3.401 3/4" = 1'-0"

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DATE:
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 PROJECT NUMBER:
 01-16002
 SHEET TITLE:
 WALL SECTIONS

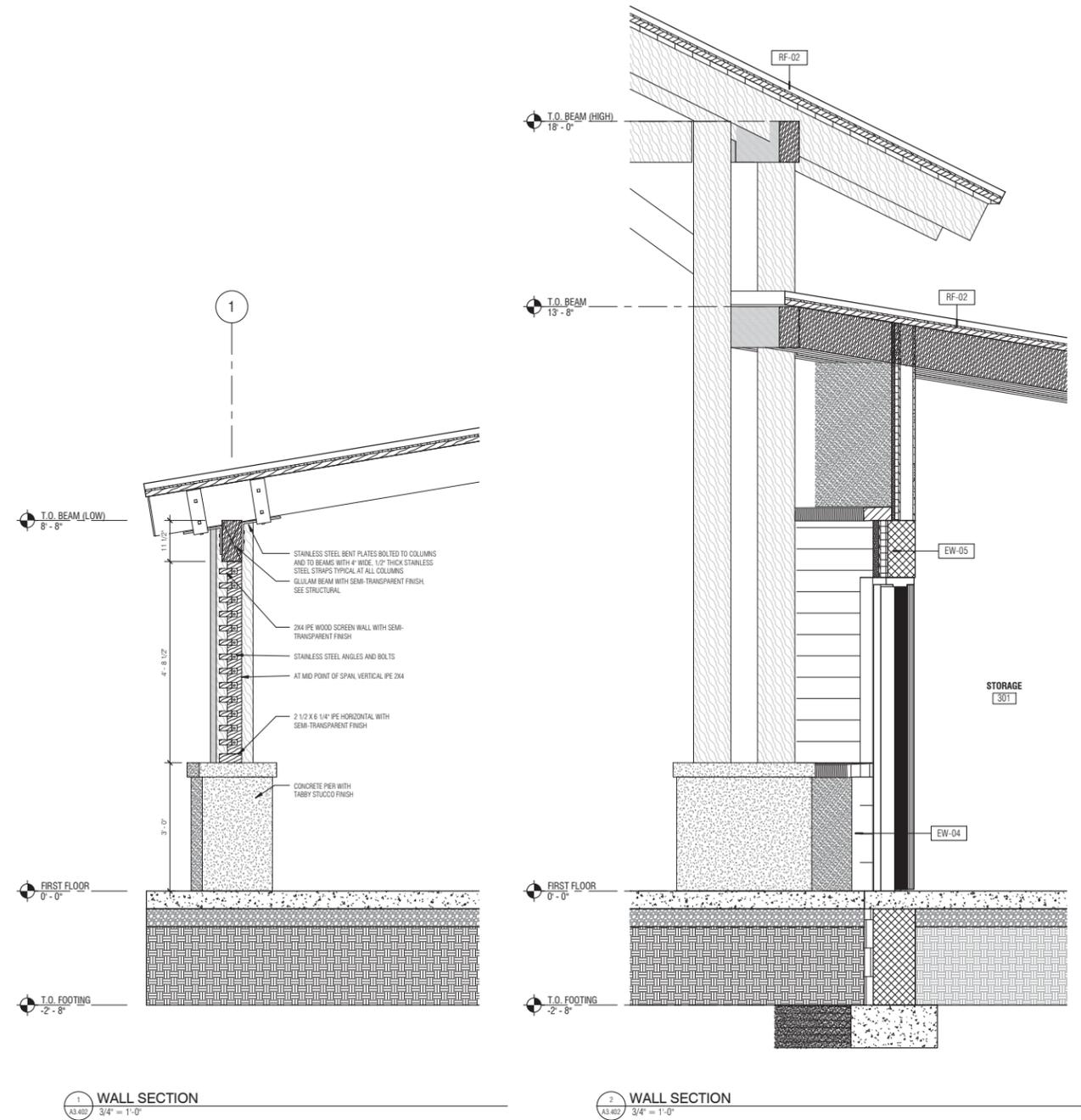
SHEET NUMBER
A3.401



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DATE: 3-15-2016
 PROJECT NUMBER: 01-16002
 SHEET TITLE: WALL SECTIONS

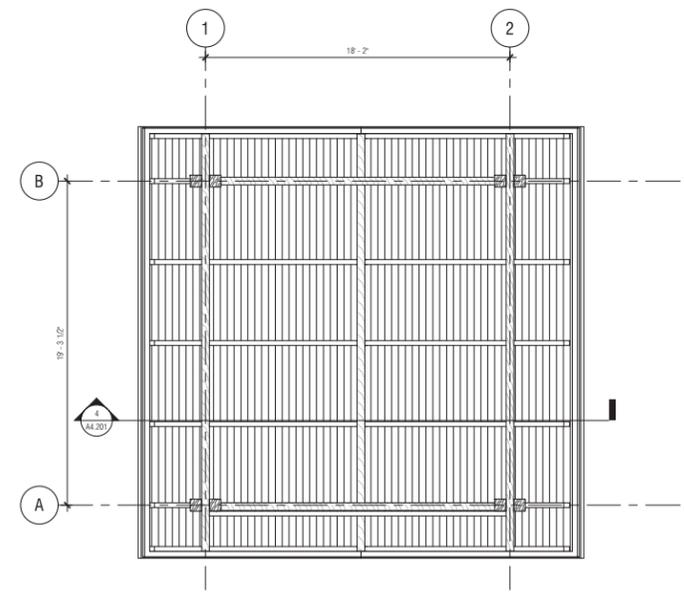
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A3.402



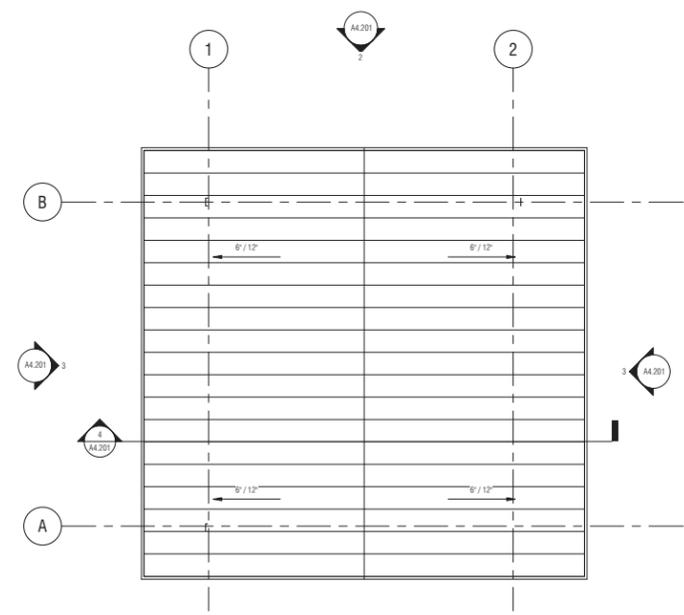
Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners

PO Box 25949 Hilton Head Island, SC 29925
 843.681.6611 Fax 843.681.7088 www.woodpartners.com

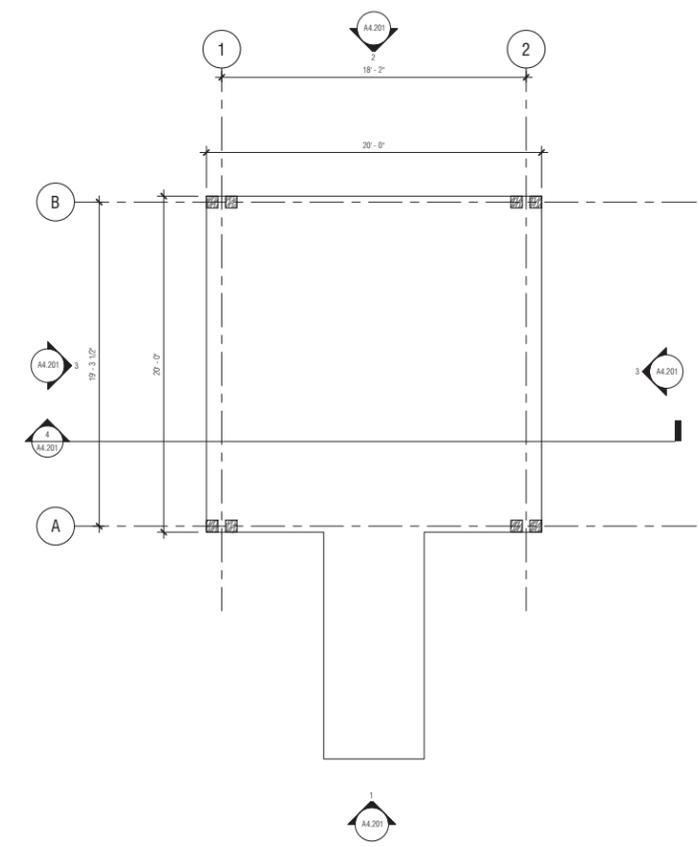
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2 REFLECTED CEILING PLAN
1/4" = 1'-0"



3 ROOF PLAN - LAKE PAVILION
1/4" = 1'-0"



1 FLOOR PLAN - LAKE PAVILION
1/4" = 1'-0"

DRAWN BY:
Author
CHECKED BY:
Checker
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PROFESSIONAL STAMPS:

PRELIMINARY:
NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE
3-15-2016
PROJECT NUMBER
01-16002
SHEET TITLE
FLOOR PLANS &
REFLECTED
CEILING PLAN

SHEET
NUMBER
A4.101

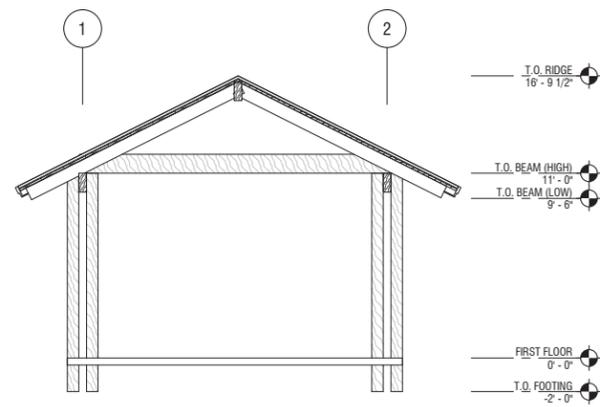
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, SC 29928

DESIGN DEVELOPMENT DOCUMENTS
FOR
COLIGNY PARK
Hilton Head Island, South Carolina

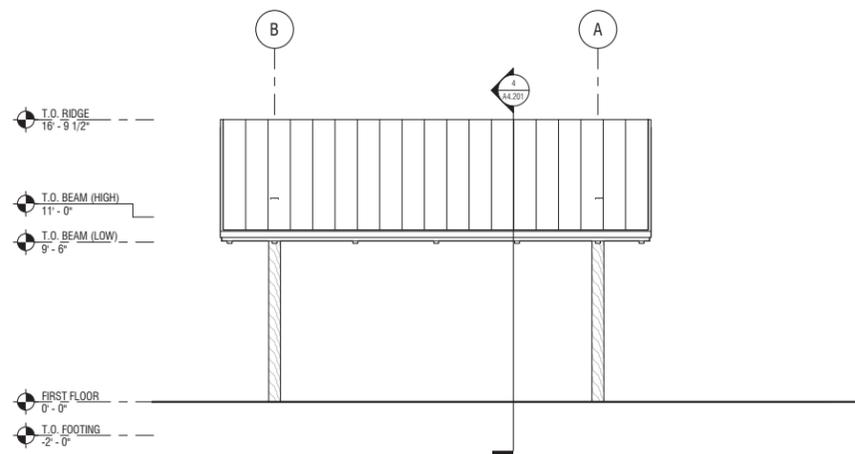


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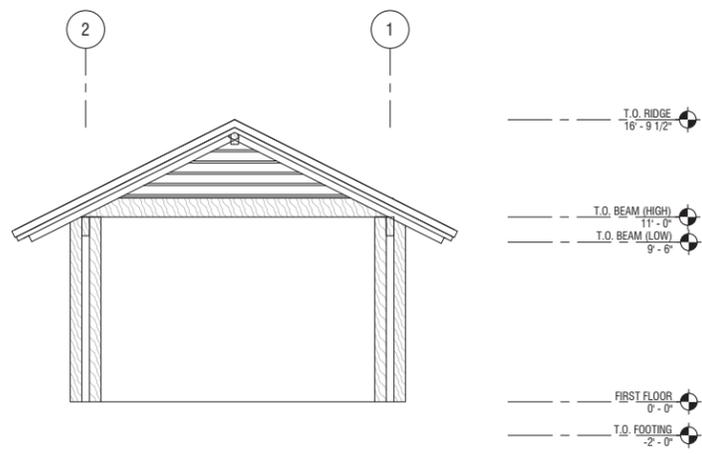
DESIGN DEVELOPMENT DOCUMENTS
 FOR
COLIGNY PARK
 Hilton Head Island, South Carolina



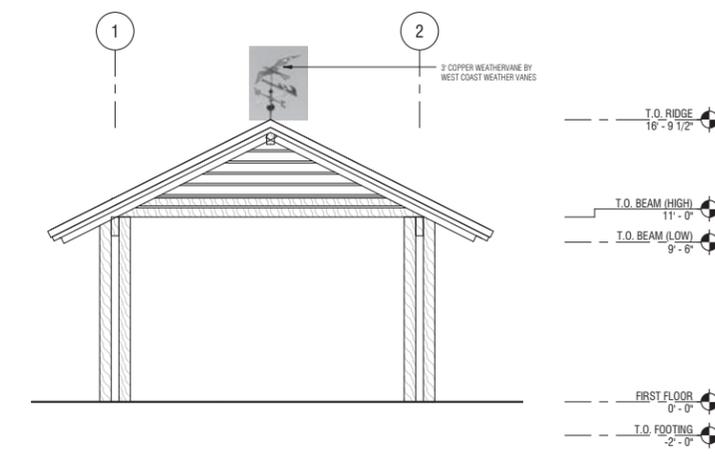
4 BUILDING SECTION
 1/4" = 1'-0"



3 WEST ELEVATION (EAST SIM) - LAKE PAVILION
 1/4" = 1'-0"



2 NORTH ELEVATION - LAKE PAVILION
 1/4" = 1'-0"



1 SOUTH ELEVATION - LAKE PAVILION
 1/4" = 1'-0"

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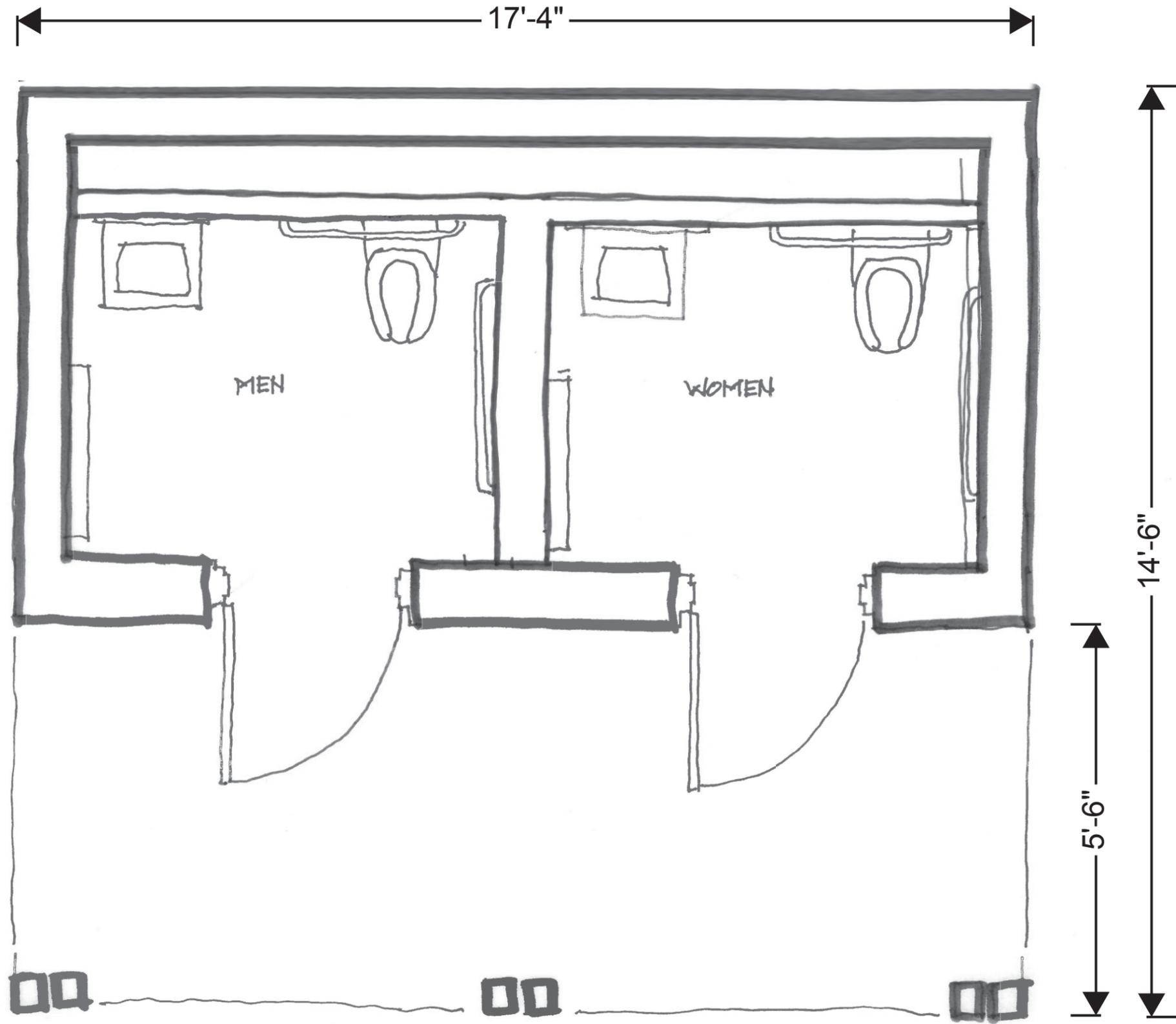
PROFESSIONAL STAMPS:

PRELIMINARY:
 NOT FOR CONSTRUCTION

#	REVISION	DATE	BY

DATE:
 3-15-2016
 PROJECT NUMBER:
 01-16002
 SHEET TITLE:
 BUILDING ELEVATIONS & SECTIONS

SHEET NUMBER
A4.201



POOL RESTROOM
COLIGNY PARK
5/4/2016





POOL RESTROOM
COLIGNY PARK
5/4/2016



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Coligny District Redevelopment (NW Quadrant) -
NEW DEVELOPMENT FINAL

DRB#: DRB-000877-2016

DATE: May 24, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Roof pitch varies
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood, glass, metal, tabby
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Primary function of park is large grassed open space.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Small isolated wetlands are proposed to be filled/mitigated.
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS
