



Town of Hilton Head Island Regular Design Review Board Meeting

February 23, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Approval of Agenda

5. Approval of Minutes – Meeting of February 9, 2016

6. Staff Report

7. Board Business – Election of Board Secretary

8. Old Business

9. Unfinished Business

A. Alteration/Addition

- Hilton Head Beach and Tennis Remodel, DRB-001990-2015

10. New Business

A. Alteration/Addition

- Tiki Hut Thatched Roof Extension, DRB-000244-2016
- Harbourside 3 – Canopy, DRB-000249-2016
- Storage Unit (Southern Services), DRB-000248-2016

B. New Development Final

- Premier Roofing, DRB-000250-2016

11. Appearance by Citizens

12. Adjournment

Town of Hilton Head Island
Minutes of the Design Review Board

Benjamin M. Racusin Council Chambers

February 9, 2016

1:15p.m.

Board Members Present: Vice Chairman Dale Strecker, Ron Hoffman, Debbie Remke, Kyle Theodore, Chairman Jake Gartner

Board Members Absent: Michael Gentenmann, Brian Witmer

Town Council Present: none

Town Staff Present: Jennifer Ray, Urban Designer
Richard Spruce, Plans Examiner
Eileen Wilson, Sr. Admin Assistant

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm**

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

Ms. Ray stated that item 10.B should read: *New Development Conceptual*. The Board approved the **amended** agenda by general consent.

5. Approval of Minutes

The Board reviewed the minutes of the **January 12 and January 26, 2016** meetings and approved the minutes by general consent.

6. Staff Report – Ms. Ray announced that a new Administrative Assistant has been hired and will be at the next DRB meeting on February 23, 2016.

7. Board Business - None

8. Old Business - None

9. Unfinished Business - None

10. New Business

A. *New Development Final*

- **Sea Pines Trolley Stop, DRB-000146-2016**

Ms. Ray introduced the project and stated its location: 224 South Sea Pines Drive. Ms. Ray stated that the location of the trolley stop has been moved; the new location will be on South Sea Pines Drive at the site of an existing trolley stop with no shelter. The applicant submitted a conceptual application for a prototype shelter at two locations and received approval for the shelter as well as the frame in September 2015.

Ms. Ray presented an in-depth review of the project including photographs showing existing conditions, detailed architectural drawings and a new site plan. A brass plaque will be applied to the back of the bench seat and a Compass Rose will be in the gable end. The Sea Pines Plantation ARB has reviewed and approved the plans. Staff recommends approval with the condition that consideration be given to connecting the proposed shelter to existing pedestrian pathway.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Mr. Mack Fraser, Southern Draw design + build, stated that the existing landscaping will be utilized, no new landscaping will be added.

Following the presentation, Chairman Gartner requested comments from the Board. Responding to questions from the Board, Mr. Fraser stated that the Compass Rose at the gable end is suspended in that space so it is open end on both sides of the iron framework. The Sconces are mounted and pointed toward each gable end. The electrical conduit is housed inside the post so the wires are not visible. The Board stated that the two existing trees with equal spacing are too close to the roof and the limbs are very low. It was suggested that in lieu of limbing the trees, it would be preferable to relocate one of the trees. The Board was in favor of using permanent pavers to connect the shelter to the existing pathway.

A motion was made by Ms. Theodore to **approve** the Sea Pines Trolley Stop, DRB-000146-2016 with the following conditions: 1) The trolley stop be connected to the existing pathway utilizing a hard surface material. 2) The trolley stop be staked in the field prior to construction starting or limbing up of the trees to be reviewed and approved by staff. Ms. Remke **seconded** the motion. The motion passed with a vote of 5-0-0.

B. *New Development Conceptual*

- **Westin Hotel – Pavilion Redevelopment, DRB-000163-2016**

Ms. Ray introduced the project and stated its location: 2 Grasslawn at the Westin Resort. The applicant proposes to renovate an existing event pavilion adjacent to the beach.

Ms. Ray presented an in-depth review of the project's conceptual plan as included in the Board's packet. The intended use for the building is for a four-season gathering space. It will be designed to be maintained as open for 80% of the time. The renovated pavilion will increase the functionality of the event space. The new pavilion will be designed with a raised pier foundation to bring the floor area above flood and match the level of the hotel. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Mr. Judd Carstens with Witmer, Jones, Keefer, and David Sklar, Sklar Design Ecotechture, stated that this proposed pavilion will complement the existing structure of the Westin. The existing structure does not function well; anytime there is any wind or storm, debris gets pushed into the beach and dunes area. A Nanawall system or similar system will be used. The glass panels will remain open the majority of the time and will be pocket doors so that they will not be visible. The same footprint will be used and brought into compliance.

Following the presentation, Chairman Gartner requested comments from the Board. The Board agreed that this pavilion will be an improvement and look forward to seeing more detail as the process moves forward. The Board discussed the roof slope and questioned whether it meets the Hilton Head Design Guidelines. Ms. Ray read from the Design Guide and assured the Board that this roof slope at 4/12 was not in conflict with the Design Guide. The Board agreed with staff's recommendation that the trellis is too thin in elevation and needs to be in proportion with the structure.

A **motion** was made by Ms. Remke to **approve** the application for the Westin Hotel - Pavilion Redevelopment, **DRB-000163-2016**, with the condition that the trellis be revisited and be beefed up (consider larger wood members that are in proportion with the structure). Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

- **Park Lane Office Building, DRB-000150-2016**

Ms. Ray introduced the project and stated its location: 10 Park Lane. Applicant proposes to develop the property for a personal office location. Applicant would like to design the property into a compound style layout.

Ms. Ray presented an in-depth review of the project's conceptual plan including a survey, proposed site plan, site analysis, color renderings, elevations and floor plan. This project was reviewed at the January 12, 2016 DRB meeting. At that meeting, the Board complimented the general concept, the entry way, the courtyard, and the buttressed walls. The Board was concerned with the institutionalized look, the flat roof not having enough pitch and character, a missing roof overhang, and the deepness of the pit in courtyard. The project does not meet the intent of the Design Guide or requirements of the LMO. The Board requested that this project come back for a second conceptual review before final.

Ms. Ray stated that the applicant has submitted a revised site plan and building elevation. The applicant did listen to the Board's comments and addressed the Board's concerns. Staff recommends approval with the following conditions: 1) Significant landscaping (large scale materials) should be planted to balance mass of building over parking. 2) Specimen trees at entrance appear to be heavily under-planted. Refer to LMO requirements regarding impact under canopy of specimen trees. 3) Reconsider use of ferns under building with little to no sunlight.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Mr. Michael Kronimus, KRA, Inc. and Mr. Judd Carstens, Witmer, Jones, Keefer stated that the back of the building that faces the woods will have metal panels. The big ramps have been eliminated and an elevator and pervious parking has been added in the front.

The project will be elevated 10' above grade to allow for parking under the building. This will reduce the parking footprint in the front of the building keeping more natural vegetation and allow for the planting of more foliage. The applicant is working with DHEC on stormwater filtration through the rear of the property to the golf course. The applicant has also provided an area for underground retention in the parking area if the option with DHEC does not work out. All sloped roofs will be in compliance with the Hilton Head Island Design Guidelines.

Following the presentation, Chairman Gartner requested comments from the Board. All Board members expressed appreciation to the applicant and owner for making the changes based on Board comments. The Board agreed that the east and west side elevations and south seems monotonous; need to break it up so it is not so repetitive, add variety. Make some openings bigger openings and remove some louvers. Compromise between lattice and openings.

A motion was made by Vice Chairman Strecker to **approve** Park Lane Office Building, **DRB-000150-2016** with the following conditions: 1) significant landscaping should be planted to balance mass of building over parking. 2) Specimen trees at entrances appear to be heavily under-planted. Refer to LMO requirements regarding impact under canopy of specimen trees. 3) Reconsider use of ferns under building or open the foundation wall to allow ferns sunlight to grow. 4) Consider the proximity of trees near building that are to remain. 5) Break up the massing of the side and back elevation at the foundation wall. Ms. Theodore **seconded** the motion. The motion passed with a vote of 5-0-0.

11. Appearances by Citizens - None

12. Adjournment

Chairman Gartner adjourned the meeting at 2:25 p.m.

Submitted by:

Approved by:

Eileen Wilson, Sr. Administrative Assistant

Jake Gartner, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 11.26.15
 Accepted by: AMH W
 DRB #: 001990-2015
 Meeting Date: _____

Applicant/Agent Name: Rick Bohrer Company: R. Bohrer General Contractors
 Mailing Address: 10 Sentry Oak Lane City: Hilton Head State: SC Zip: 29926
 Telephone: 843-681-5464 Fax: 843-681-5909 E-mail: rbohrer318@aol.com
 Project Name: Hilton Head Beach and Tennis Parade Project Address: 40 Folly Field Rd.
 Parcel Number [PIN]: R
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
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- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

DATE

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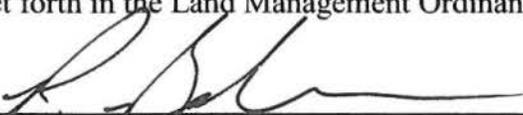
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SIGNATURE

10/22/15

DATE



THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION



PROJECT NAME: Hilton Head Beach & Tennis **PROJECT #:** DRB-001990-2015

PROJECT ADDRESS: 40 Folly Field Road

CATEGORY: Alteration/Addition

ACTION DATE: November 10, 2015 **NOTICE DATE:** November 13, 2015

APPLICANT/AGENT:

Mr. Rick Bohrer
R. Bohrer General Contractors
10 Sentry Oak Lane
Hilton Head Island, SC 29926
E-mail: rbohrer318@aol.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. "Navajo White" shall be changed to SW 6056 "Polite White".
2. Roof color shall be changed to "Evergreen".
3. The roof shall be raised at entry portion over the steps in a symmetrical manner 2-ft. above the rest of the roof. Remainder of roof shall be raised 1-ft. above as currently shown on section.
4. A landscape plan shall be submitted for review and approval by the DRB.
5. A lighting plan, including manufacturer's cut sheets, shall be submitted for review and approval by DRB.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY: *Juan B. Ray*, Urban Designer



15
MINUTE
PARKING







FD



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Beach & Tennis Remodel –
ALTERATION/ADDITION

DRB#: DRB-001990-2015

DATE: February 23, 2016

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

Per DRB Notice of Action “a landscape plan shall be submitted for review and approval by the DRB.” The applicant proposes to add sago palms with seasonal color (to be changed our every month) in the four corners of the new entrance as well as lirioppe to match the existing foundation plantings not impacted by the ramp/stair reconstruction. The landscaping was installed due to a scheduled annual meeting but will be changed if necessary based on additional DRB comments.



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 Community Development Department
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 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jeff Elseser Company: Beach House Resort
 Mailing Address: 1 South Forest Beach Dr City: Hilton Head State: SC Zip: 29928
 Telephone: 843-415-2004 Fax: _____ E-mail: jeff.elseser@thebeachhousehhi.com
 Project Name: Tiki Hut Thatched Roof Extension Project Address: 1 South Forest Beach Dr
 Parcel Number [PIN]: R 5 5 3 0 1 8 0 0 0 0 0 0 3 A 0 0 0 0
 Zoning District: RD Overlay District(s): _____

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SIGNATURE

February 8, 2016

DATE

Project Name: Beach House Resort – Addition to the Tiki Hut Thatched Roof

Project Location: 1 South Forest Beach Drive, Hilton Head, SC 29928

Applicant: Jeff Elseser, General Manager

Date: February 4, 2016

Northview Hotel Group (NVHG) purchased the Beach House (Holiday Inn Resort) in March of 2013 and immediately began to execute a strategic capital improvement plan to improve the property. Since NVHG's ownership, we have completed \$4mm in improvements to the property that includes the addition of The Porch restaurant, landscaping enhancements, pool resurfacing and heaters, the addition of fire pits in public spaces, lobby and meeting rooms renovations, all new Brown Jordan outdoor furniture and umbrellas, and several aesthetic enhancements at Tiki Hut.

The Resort is currently undergoing a \$7mm renovation that will transform the Beach House to a 4 Diamond Boutique Resort. The current phase of renovation includes full renovation of 202 guest rooms, a new roof rated to 110 mph winds, a new roof mounted HVAC system for the guest rooms, and resurfacing of the parking lot.

NVHG would like to elevate the Tiki Hut area and guest experience to match the 4 Diamond quality of the newly renovated guest rooms. We would like to replace the over-sized semi-permanent umbrellas that currently cover the Tiki Hut deck with a thatched roof to match the existing thatch roof. The new thatched roof is engineered to integrate into the existing structure and will provide a much higher quality appearance to the Tiki Hut. The new roof will protect guests from the rain and allow guests to enjoy the Tiki Hut year-round, as the Resort will enclose and heat the covered area during the cooler months. The Tiki Hut will provide locals and visitors with a beach front location to enjoy live music twelve months of the year.

NVHG will contract with a local General Contractor to work with Big Cypress Tiki to construct the roof addition over the period of approximately seven days. NVHG has used Big Cypress to construct Tiki Hut style buildings at several of our other resorts and has been very satisfied with the high quality workmanship and results from Big Cypress.

From: [Forest Beach Owners Association](#)
To: jeff.elseser@hiltonhead.com
Cc: [Cyrán Anne](#)
Subject: Tiki Hut Roof Addition - ARB Approval
Date: Sunday, February 07, 2016 8:18:00 PM

Jeff - Thank you for your submission for the proposed renovation/addition of a thatched roof for the Tiki Hut amenity located on your property. The Association has reviewed your submission dated February 6, 2016 along with the narrative dated February 4, 2016 and accompanying drawing.

The Association has approved this submission as presented, subject to any applicable Town of Hilton Head Island approvals.

As with any project, we will required written notice upon completion so that we may perform a final inspection and close our records on this project. If any changes need to be made from the submitted and approved plans, you will need to submit them to us for review before adopting them in to your project.

If you have any questions or concerns regarding this project or our review and approval, please contact me.

I have copied Anne Cyran at the Town for their records.

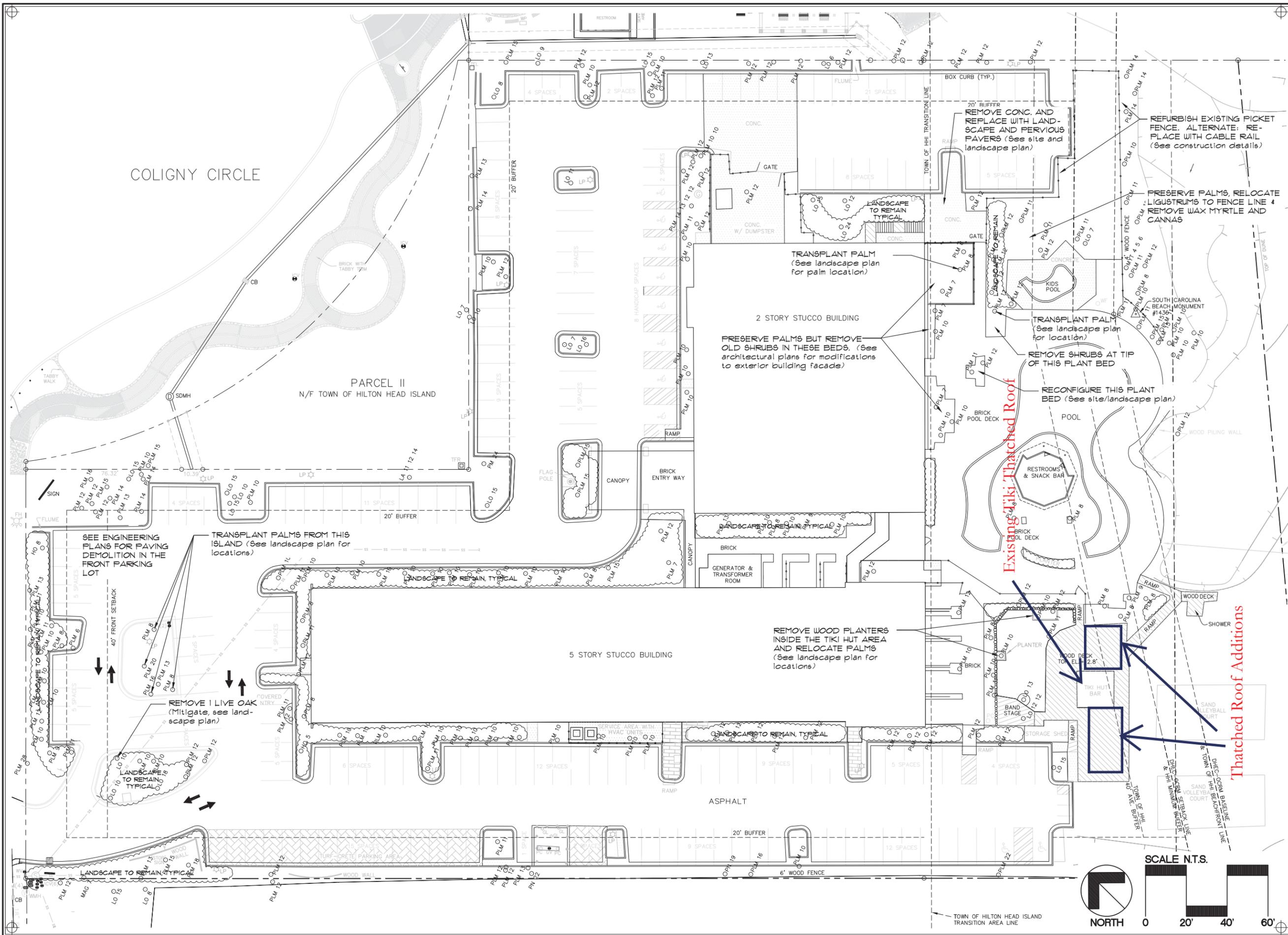
John D. Snodgrass

John D. Snodgrass
Executive Director,
Forest Beach Owners' Association, Inc.









THE BEACH HOUSE
 FORMERLY HOLIDAY INN OCEANFRONT
 HILTON HEAD ISLAND, SC
 AGRE NV HH PROPERTY OWNER LLC

Patrick Rooney Associates, Inc.
 Land Planning • Landscape Architecture
 843-681-4009
 FAX 843-681-4029
 P.O. Box 21297
 Hilton Head Island, SC 29925

REVISIONS:	NO:	DESCRIPTION:
DATE:	1	Label Beachfront line
10/29/13	2	Revise fence note per DRB comment
11/14/13		

PROJECT NO:
10455-00

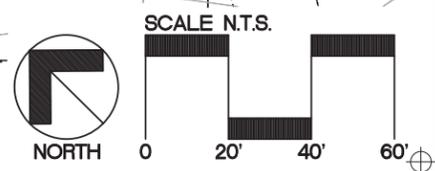
ISSUE DATE:
9/27/2013

DRAWN:
pmr

APPROVED:

Landscape Demolition Plan

Sheet
1
 Of 4



BEACH HOUSE PLANT SCHEDULE

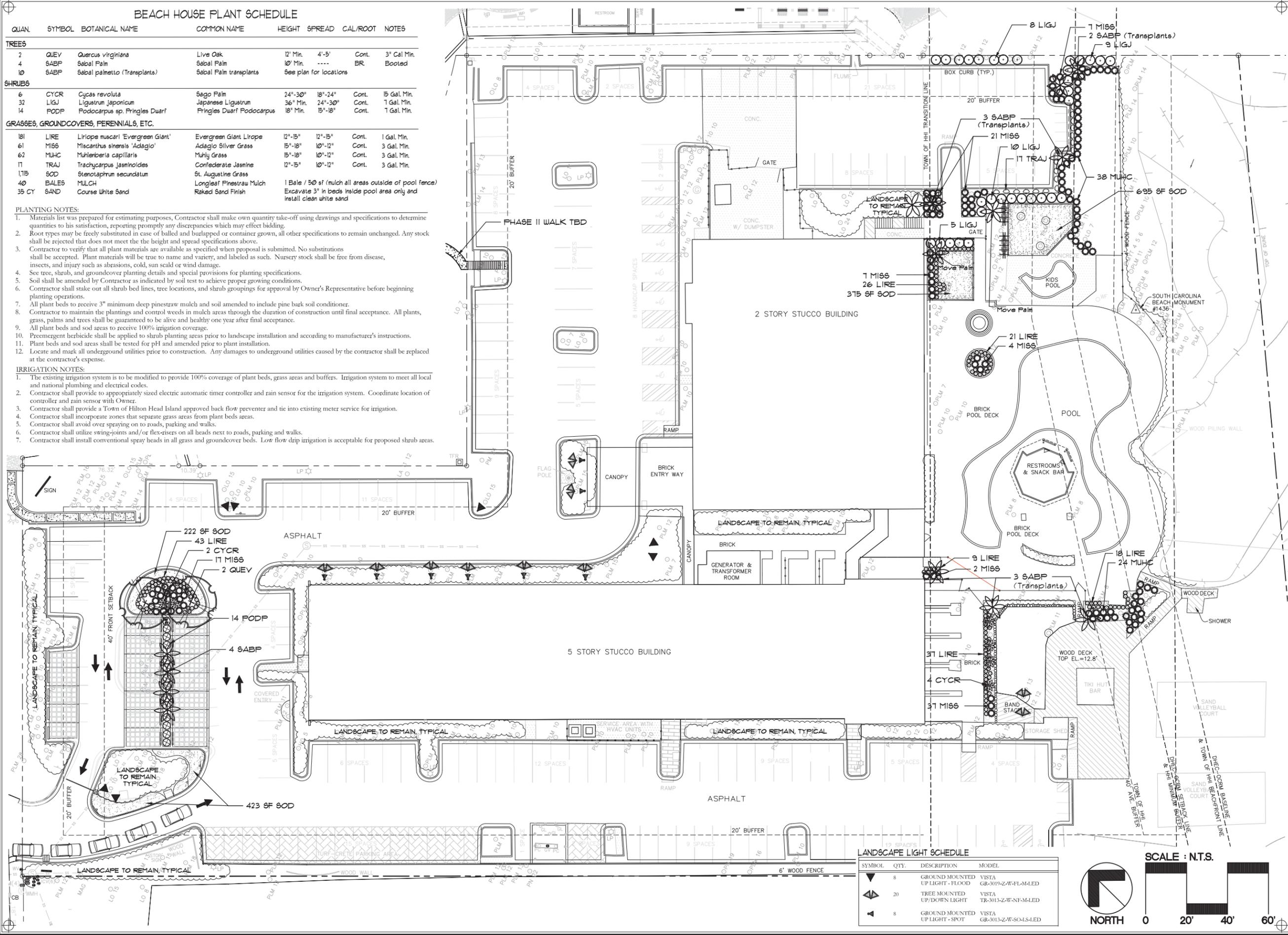
QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL./ROOT	NOTES
TREES							
2	QUEV	Quercus virginiana	Live Oak	12' Min.	4'-5'	Cont.	3" Cal Min.
4	SABP	Sabal Palm	Sabal Palm	10' Min.	----	BR	Booted
10	SABP	Sabal palmetto (Transplants)	Sabal Palm transplants	See plan for locations			
SHRUBS							
6	CYCR	Cycas revoluta	Sago Palm	24"-30"	10"-12"	Cont.	15 Gal. Min.
32	LIGJ	Ligustrum japonicum	Japanese Ligustrum	36" Min.	24"-30"	Cont.	1 Gal. Min.
14	PODP	Podocarpus sp. Fringles Dwarf	Fringles Dwarf Podocarpus	18" Min.	15"-18"	Cont.	1 Gal. Min.
GRASSES, GROUNDCOVERS, PERENNIALS, ETC.							
181	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-15"	12"-15"	Cont.	1 Gal. Min.
61	MIS6	Miscanthus sinensis 'Adagio'	Adagio Silver Grass	15"-18"	10"-12"	Cont.	3 Gal. Min.
62	MUHC	Muhlenbergia capillaris	Muhly Grass	15"-18"	10"-12"	Cont.	3 Gal. Min.
11	TRAJ	Trachycarpus jasminoides	Confederate Jasmine	12"-15"	10"-12"	Cont.	3 Gal. Min.
1715	SOD	Stenotaphrum secundatum	St. Augustine Grass	1 Bale / 50 sf (mulch all areas outside of pool fence)			
40	BALES	MULCH	Longleaf Pine straw Mulch	Excavate 3" in beds inside pool area only and install clean white sand			
35 CY	SAND	Course White Sand	Raked Sand Finish				

PLANTING NOTES:

- Materials list was prepared for estimating purposes, Contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged. Any stock shall be rejected that does not meet the the height and spread specifications above.
- Contractor to verify that all plant materials are available as specified when proposal is submitted. No substitutions shall be accepted. Plant materials will be true to name and variety, and labeled as such. Nursery stock shall be free from disease, insects, and injury such as abrasions, cold, sun scald or wind damage.
- See tree, shrub, and groundcover planting details and special provisions for planting specifications.
- Soil shall be amended by Contractor as indicated by soil test to achieve proper growing conditions.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Owner's Representative before beginning planting operations.
- All plant beds to receive 3" minimum deep pine straw mulch and soil amended to include pine bark soil conditioner.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance. All plants, grass, palms and trees shall be guaranteed to be alive and healthy one year after final acceptance.
- All plant beds and sod areas to receive 100% irrigation coverage.
- Preemergent herbicide shall be applied to shrub planting areas prior to landscape installation and according to manufacturer's instructions.
- Plant beds and sod areas shall be tested for pH and amended prior to plant installation.
- Locate and mark all underground utilities prior to construction. Any damages to underground utilities caused by the contractor shall be replaced at the contractor's expense.

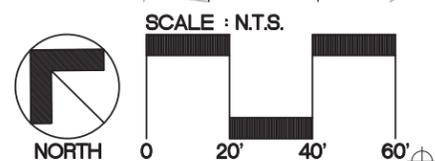
IRRIGATION NOTES:

- The existing irrigation system is to be modified to provide 100% coverage of plant beds, grass areas and buffers. Irrigation system to meet all local and national plumbing and electrical codes.
- Contractor shall provide to appropriately sized electric automatic timer controller and rain sensor for the irrigation system. Coordinate location of controller and rain sensor with Owner.
- Contractor shall provide a Town of Hilton Head Island approved back flow preventer and tie into existing meter service for irrigation.
- Contractor shall incorporate zones that separate grass areas from plant beds areas.
- Contractor shall avoid over spraying on to roads, parking and walks.
- Contractor shall utilize swing-joints and/or flex-risers on all heads next to roads, parking and walks.
- Contractor shall install conventional spray heads in all grass and groundcover beds. Low flow drip irrigation is acceptable for proposed shrub areas.



LANDSCAPE LIGHT SCHEDULE

SYMBOL	QTY.	DESCRIPTION	MODEL
▲	8	GROUND MOUNTED UP LIGHT - FLOOD	VISTA GR-3019-ZW-FL-M-LED
◀▶	20	TREE MOUNTED UP/DOWN LIGHT	VISTA TR-3013-ZW-NF-M-LED
▲	8	GROUND MOUNTED UP LIGHT - SPOT	VISTA GR-3013-ZW-SO-LS-LED



THE BEACH HOUSE
FORMERLY HOLIDAY INN OCEANFRONT
HILTON HEAD ISLAND, SC
AGRE NV HH PROPERTY OWNER LLC

Patrick Rooney Associates, Inc.
Land Planning • Landscape Architecture
843-681-4009
FAX 843-681-4029

REVISIONS:

NO.	DATE	DESCRIPTION:
1	10/29/2013	Label Beachfront Line
2	11/14/13	Add landscape to NE corner of Bldg; Add phase note.

PROJECT NO:
10459-00

ISSUE DATE:
9/27/2013

DRAWN:
pmr

APPROVED:

LANDSCAPE PLAN

REVISIONS:	NO.	DESCRIPTION:
DATE:		

PROJECT NO:
10453-00

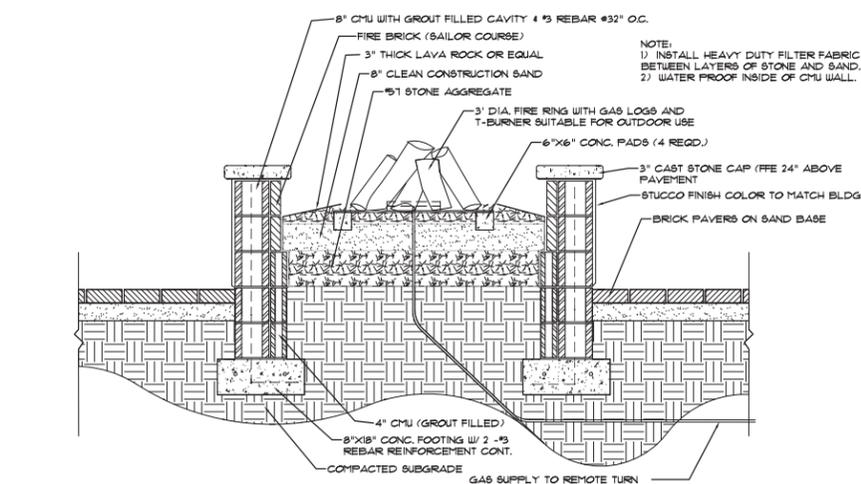
ISSUE DATE:
3/21/2012

DRAWN:
pmr

APPROVED:

Construction
Details

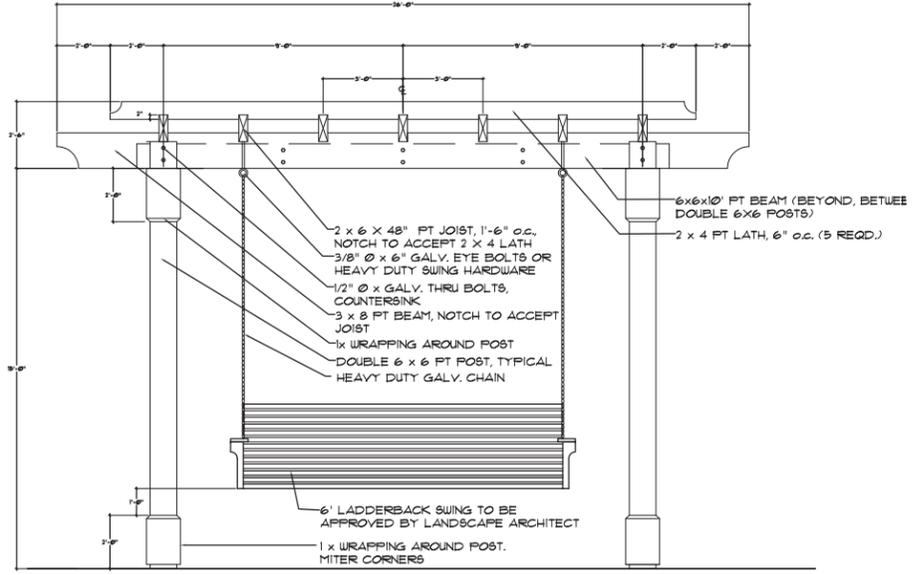
Sheet



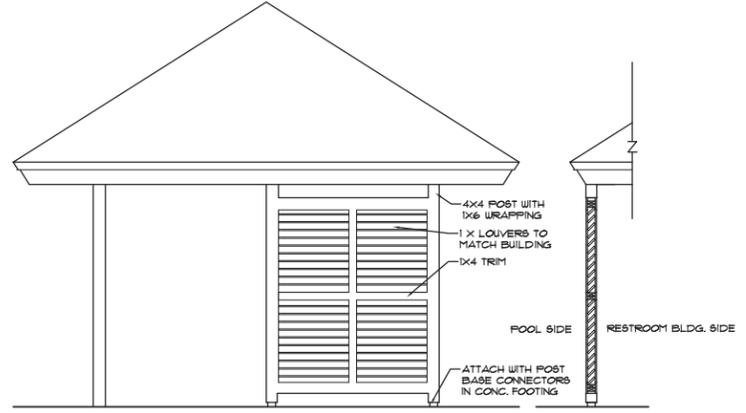
1 FIRE PIT
4 SCALE = NTS



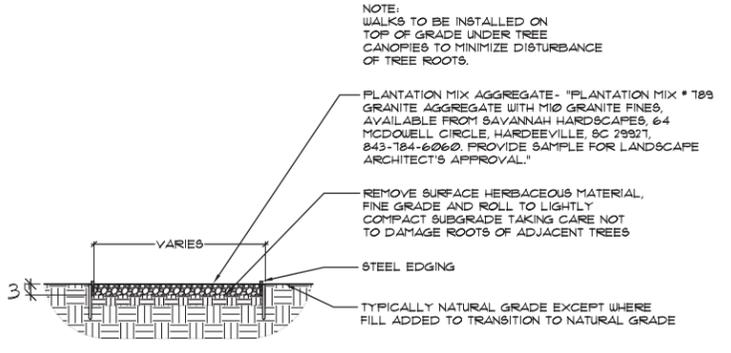
PROPOSED LANDSCAPE LIGHT



2 ARBOR/SWING
4 SCALE = NTS



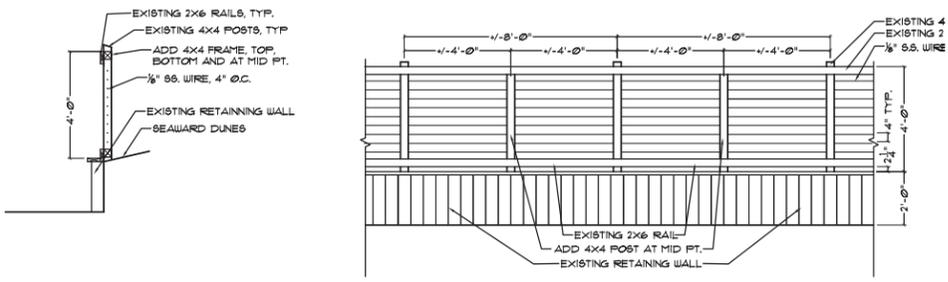
4 LOUVER PARTITION TO SCREEN RESTROOM OPENING
4 SCALE = NTS



3 PERVIOUS CRUSHED GRANITE PAVING
4 SCALE = NTS



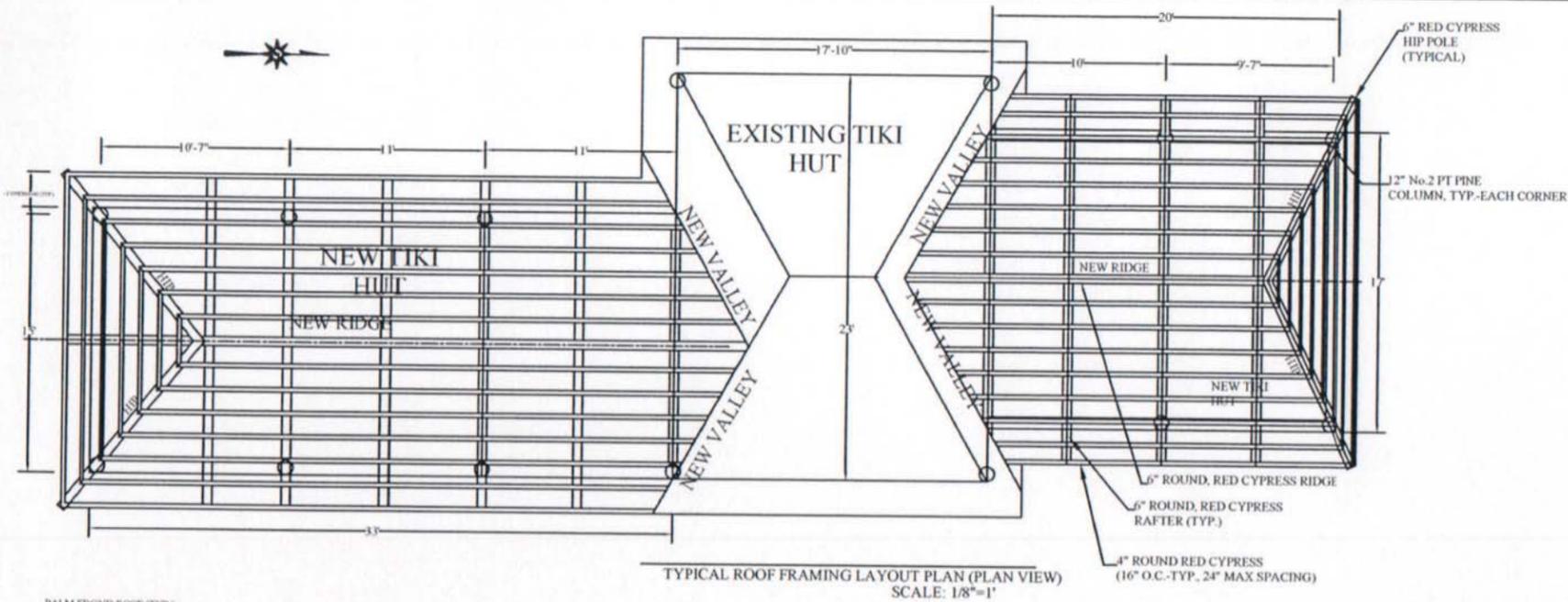
EXISTING POOL HOUSE/RESTROOM BUILDING



5 CABLE RAIL FENCE ALTERNATE
4 SCALE = NTS



EXISTING FENCE/RETAINING WALL



DESIGN NOTES:

STRUCTURAL
 STRUCTURAL DESIGN BASED ON ASCE 7-10, NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND THE SOUTHERN PINE MARKETING COUNCIL-SOUTHERN PINE MAXIMUM SPANS FOR JOISTS & RAFTERS, 2003 EDITION, AND SOUTHERN PINE COUNCIL-RATED FLOOR SYSTEMS, 2004 EDITION, AND SOUTHERN PINE COUNCIL-SOUTHERN PINE HEADERS AND BEAMS, 2005 EDITION.

SPECIFICALLY:
 SOUTH CAROLINA COAST 3 SECOND WIND GUSTS OF 120 MPH (RISK CATEGORY I EXPOSURE CATEGORY IV), NOMINAL WIND VELOCITY PRESSURE, $q_s=10 = 0.00256 \cdot K_z \cdot K_{zt} \cdot K_d \cdot V^2$ (PSF)
 THE STRUCTURE IS ACCESSORY AND OPEN
 $C_e = 1.0$ (TABLE 7-3-1), $K_z = 1.0$ (ASCE 7-10, 26.8.2), $K_d = 0.85$ (ASCE 7-10, SECTION 26.6), $V = 120$ MPH (ASCE 7-10, SECTION 26.5-1C FOR CATEGORY I BUILDINGS)

THERMOPILE
 $q = 0.00256 \cdot (80) \cdot (0.85) \cdot (1.20) \cdot (2) = 32.3 \text{ psf}$

TOTAL WIND PRESSURE, $P = (q_p \cdot C_{pe}) / (C_{pi})$ (ASCE 7-10-OPEN STRUCTURE, SECTION 7)
 GUST EFFECT FACTOR (G_e) = 0.85
 NET PRESSURE COEFFICIENT-WINDWARD (C_{pe}) = -1.1 (LOAD CASE A, 22.5° ROOF ANGLE)
 NET PRESSURE COEFFICIENT-LEEWARD (C_{pl}) = 0.1 (LOAD CASE A, 22.5° ROOF ANGLE)
 INTERNAL PRESSURE COEFFICIENT (C_{pi}) = 0.0 (CHAPTER 27-OPEN STRUCTURE)

MAIN WIND FORCE RESISTING SYSTEM
 Downward roof = $(32.3 \text{ psf}) \cdot (0.85) \cdot (1) = 27.4 \text{ psf}$ (DOWNWARD) (LOAD CASE A)
 Upward roof = $(32.3 \text{ psf}) \cdot (0.85) \cdot (0.3) = 8.2 \text{ psf}$ (UPWARD) (LOAD CASE A)

WIND LOADING FRAME STABILITY CALCULATIONS
 TOTAL WINDWARD ROOF AREA = 380 SQ. FT. (GABLEST ROOF AREA OF LEFT SIDE)
 PURSUANT TO FLORIDA BUILDING CODE
 ALLOWABLE LATERAL PRESSURE FOR SAND IS 200 psf/ft EMBEDMENT.
 ALLOWABLE FOUNDATION PRESSURE FOR SAND IS 2,000 psf.

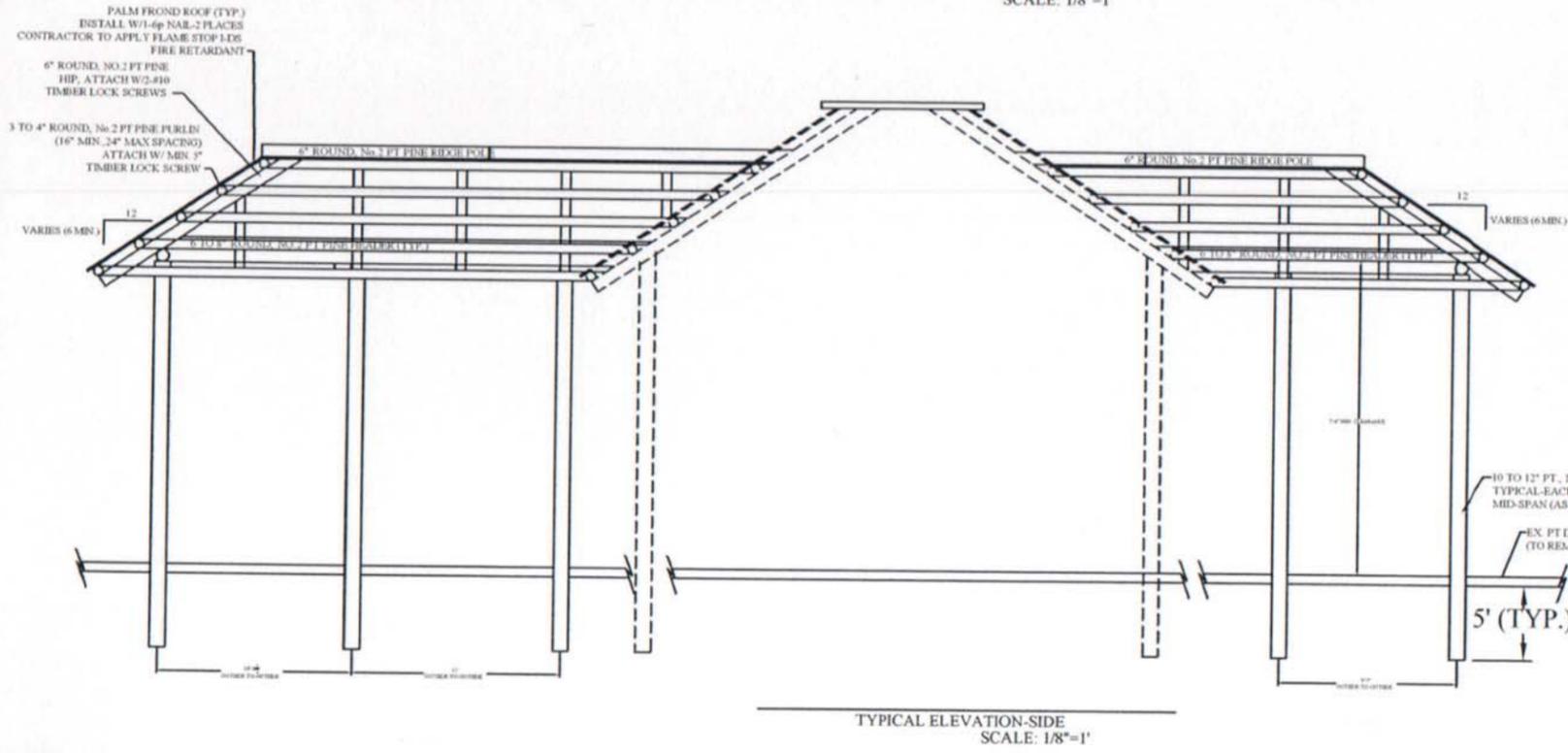
TOTAL WINDWARD WIND PRESSURE = $(32.3 \text{ psf}) \cdot (0.85) \cdot (1) = 27.4 \text{ psf}$ (DOWNWARD) (LOAD CASE A)
 TOTAL ALLOWABLE REACTION PER COLUMN = $(12' \cdot 600 \text{ psf}) \cdot (2) = 14,400 \text{ lbs}$ (TYPICAL COLUMN)

SUMMATION OF MOMENTS: GROUND CONTACT POINT
 WIND INDUCED MOMENT (HORIZONTAL COMPONENT) = $(4,354 \text{ lb-ft}) \cdot (0.75) = 3,265 \text{ lb-ft}$
 ALLOWABLE SOIL REACTION COUNTER MOMENT = $(2.7) \cdot (1,000 \text{ lb-ft/kip}) \cdot (1) \cdot (1) = 2,700 \text{ lb-ft}$
 NET RESISTANCE = $40,000 - 30,000 = 10,000 \text{ lb-ft}$ > OVERTURNING WIND INDUCED MOMENT (STABLE)
 SAFETY FACTOR = $40,000 / 30,000 = 1.33$ (STABLE)

PLUMBING
 THERE ARE NOT ANY PLUMBING IMPROVEMENTS PROPOSED AS PART OF THIS PLAN.

ELECTRICAL
 THERE ARE NOT ANY ELECTRICAL IMPROVEMENTS LISTED AS PART OF THIS PLAN.

ROOFING
 * ROOFING MATERIAL SHALL BE INSTALLED PER PLAN. CONTRACTOR MODIFICATIONS ARE ALLOWED WITH WRITTEN APPROVAL.



GENERAL NOTES:

- 1) THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED IN ACCORDANCE WITH, AND MEET OR EXCEED, THE 2010 EDITION OF ASCE 7-10.
- 2) ALL DESIGN NOTES/SPECIFICATIONS SHALL BE FOLLOWED IN STRICT ACCORDANCE WITH THIS PLANSET, WHERE ADVERSE SOIL CONDITIONS AND/OR SITE CONSTRAINTS REQUIRE MODIFICATION OF THESE PLANS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY PRIOR TO MODIFICATION. NO MODIFICATIONS ARE ALLOWED WITHOUT WRITTEN AUTHORIZATION BY THE DESIGN ENGINEER.
- 3) CONTRACTOR CAN SUBSTITUTE RED-CYPRESS FOR ABOVE GROUND PRESSURE TREATED LUMBER AS LONG AS SIZE CONSTRAINTS ARE MATCHED.

PROJECT/JOB NAME & ADDRESS:
 THE BEACH HOUSE
 HILTON HEAD, S.C.

REVISIONS
6
5
4
3
2
1

Morrison Engineering, Inc.
 1662 N.State Road 29 · Labelle, FL 33935 TEL: 863.675.8668, FAX: 863.675.3224

SCOT ALAN MORRISON P.E. #58711	
DRAWN BY: S.MORRISON	DATE 11/12/14
CHECKED BY: S. MORRISON	DATE 11/12/14
CERTIFICATE OF AUTHORIZATION #	C.A.# 26856

TIKI HUT REMODEL/ADDITION SECTIONS, AND CALCULATIONS	
PROJECT NAME: 600 CYPRESS TIKI HUTS S.C. BEACH HOUSE PROJECT	
SCALE: 1/8"=1'	SHEET 1 OF 1

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Tiki Hut Thatched Roof Extension – ALTERATON/ADDITION DRB#: DRB-000244-2016

DATE: February 23, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Applicant proposes to remove semi-permanent umbrellas adjacent to existing tiki hut and replace them with and expanded tiki hut. A more uniform/appropriately sized enclosure system should be considered for new structure.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JOSEPH E. NIX JR. Company: NIX CONSTRUCTION CO. INC.
 Mailing Address: P.O. BOX 7667 City: HILTON HEAD State: SC Zip: 29938
 Telephone: 843-683-3344 Fax: 843-341-2320 E-mail: JENIX@NIXCONSTRUCTION.COM
 Project Name: HARBOURSIDE 3-CANOPY'S Project Address: 9 HARBOURSIDE LANE, A-1
 Parcel Number [PIN]: R52001200800080000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval -- Proposed Development
 Final Approval -- Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval -- Proposed Development \$175, Alterations/Additions \$100 Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval -- Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Joe Nix
SIGNATURE

2-08-16
DATE

Harbourside III 
AT SHELTER COVE HARBOUR

CANOPY REPLACEMENT

9 HARBOURSIDE LANE, HILTON HEAD ISLAND, S.C.
PROJECT NO. A1143-2015

OWNER

HARBOURSIDE - 3 HPR
JACK MASTERS – BOARD PRESIDENT

GENERAL CONTRACTOR / DESIGNER

NIX CONSTRUCTION COMPANY INC.
JOSEPH E. NIX JR. – PRESIDENT
843-683-3344
joenix@nixconstruction.com

Project Narrative

The Harbourside 3 property is currently undergoing a total roof replacement. The old concrete roof tiles are being replaced by a new standing seam metal roof. The color of the new metal roof is Terra Cotta. To compliment these renovations the Owner would like to replace the current canvas awnings with a more permanent structure.

Existing Conditions

The overall dimensions of the new permanent canopy structures will not exceed the size of the current awnings and metal pipe supports.

Architecture

The building materials for the permanent canopy structures, stucco, wood, metal roof, will be match the existing building.

Fire Protection & Emergency Access

The new canopies will be constructed of non-combustible materials therefore fire sprinkler protection should not be required. The roof eaves of the new canopy structures will not project out beyond the building in excess of the existing awning canopies.

Landscaping and Utilities

The existing landscaping and site utilities will not be effected by this alteration.

Egress and Access

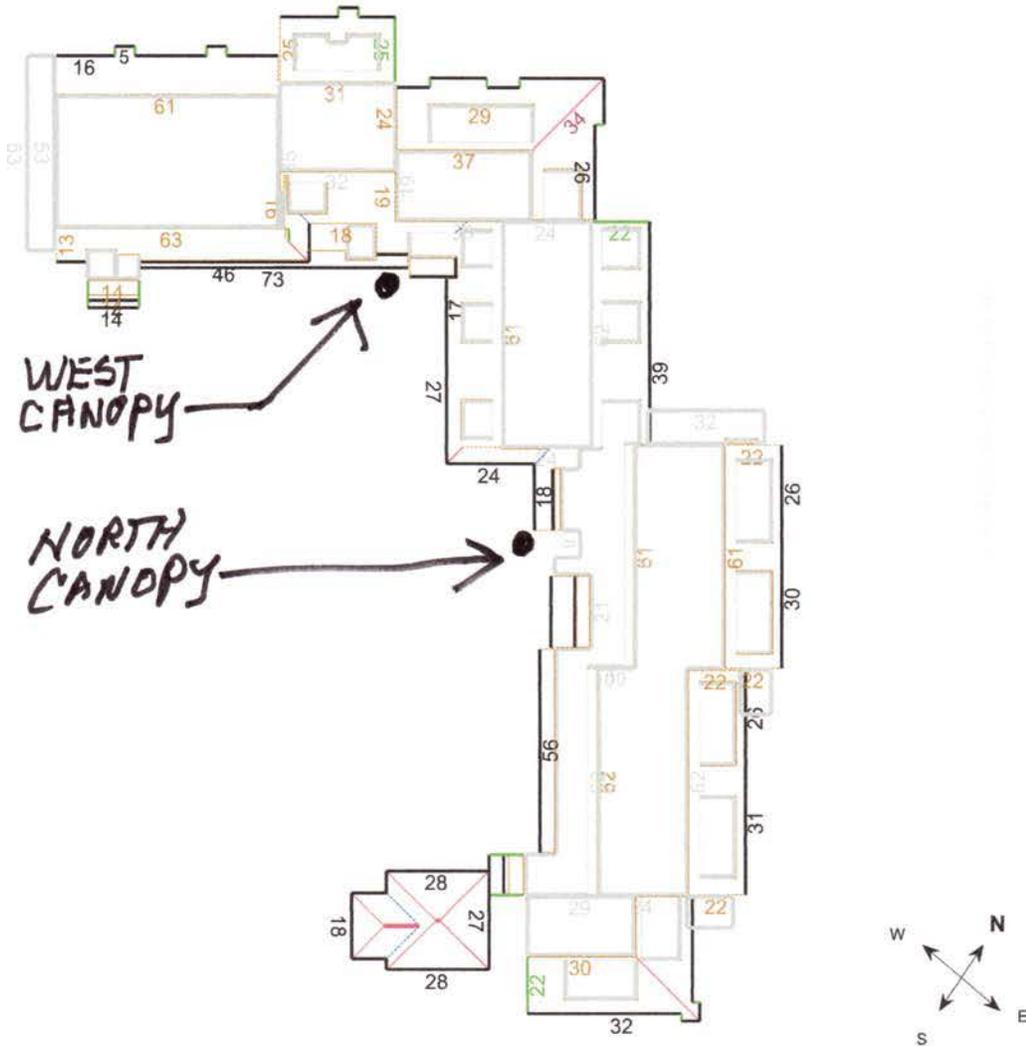
Access to and from the building via the parking lot will not be effected by this alteration.

Length Diagram

Total Line Lengths:
Ridges = 11 ft
Hips = 189 ft

Valleys = 45 ft
 Rakes = 159 ft
 Eaves = 1,023 ft

Flashing = 1,360 ft
 Step flashing = 826 ft
 Parapets = 2,144 ft



Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5 feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).



Report: 9400742

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East Side



West Side





SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

February 9, 2016

Joe Nix
Nix Construction

Delivered via email

RE: Harbourside 3 Portico Replacement

Dear Joe,

The Shelter Cove Company's ARB is in receipt of the proposal package for the 2 portico replacements for Harbourside 3.

The ARB has reviewed and approved the plan package as submitted per your plans received on 2/4/2016.

Please notify the SCC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCCARB Committee



WEST

NORTH

HARBOURSIDE-3
9 HARBOURSIDE LANE

"STREET VIEW"



*HARBOURSIDE-3
9 HARBOURSIDE LANE*

"WEST CANOPY"



*HARBOURSIDE 3
9 HARBOURSIDE LANE*

"NORTH Canopy"







A large, blue, cylindrical inflatable structure is the central focus of the image. It has a textured, ribbed surface and the words "North Canopy" are printed in white, sans-serif font across its middle. The structure is positioned in a paved parking lot. To the left, a building with a red-tiled roof is visible. In the background, a dark red car is parked in a space marked with blue diagonal lines. The foreground shows some greenery and a red container. The overall scene suggests an outdoor event or installation.

North Canopy

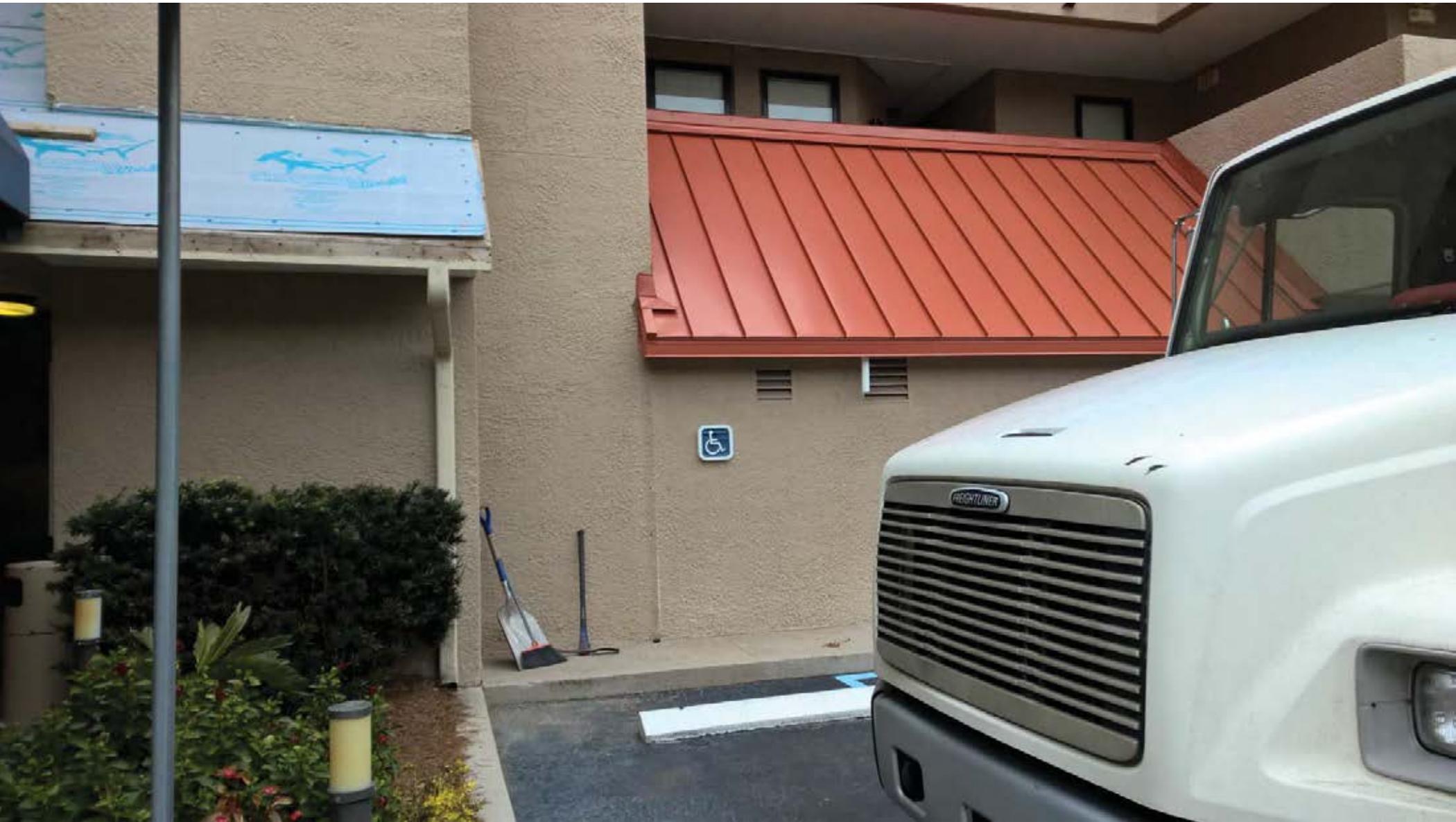


WEST

CHECK IN











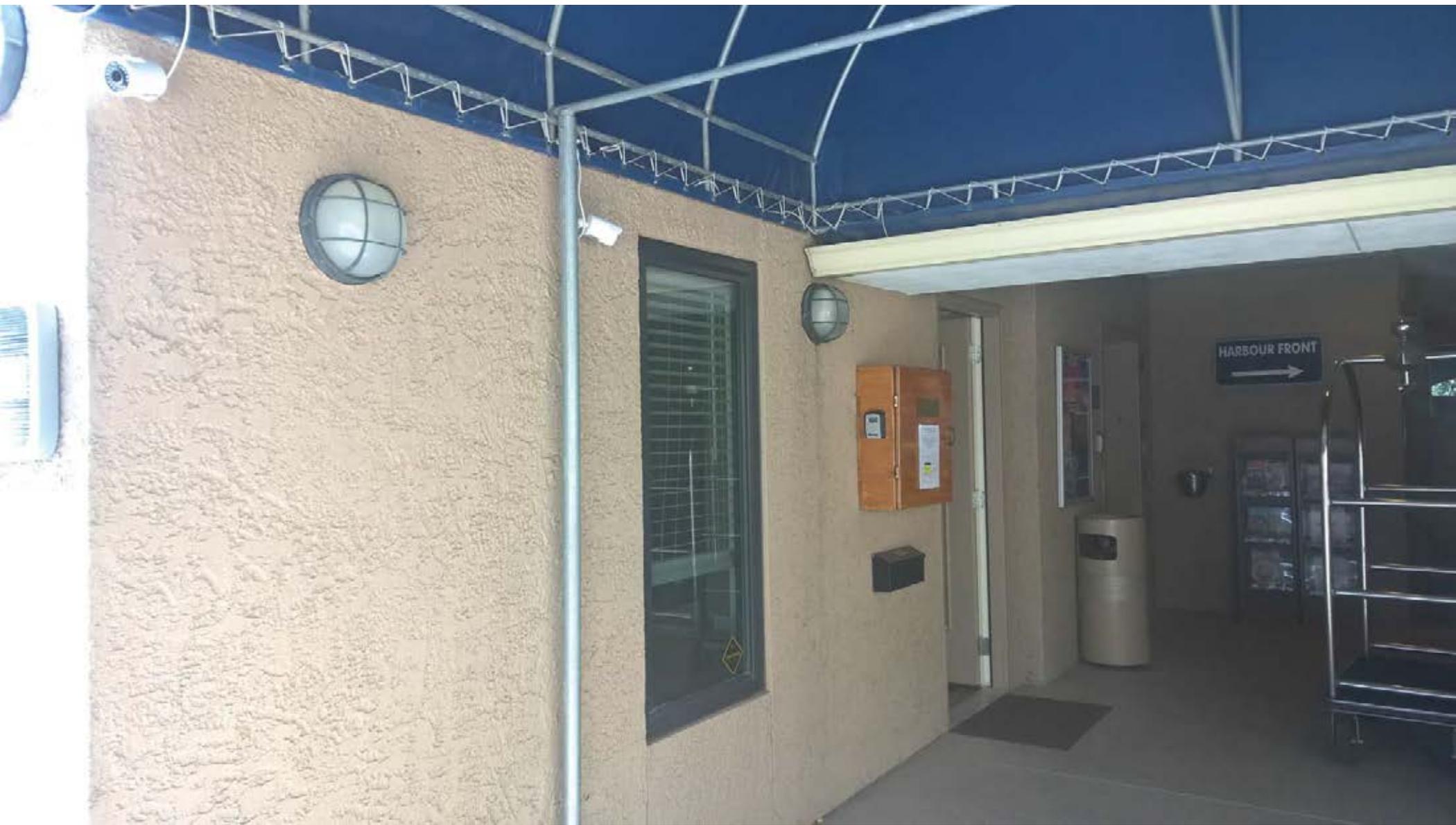
Fire Pump



NORTH

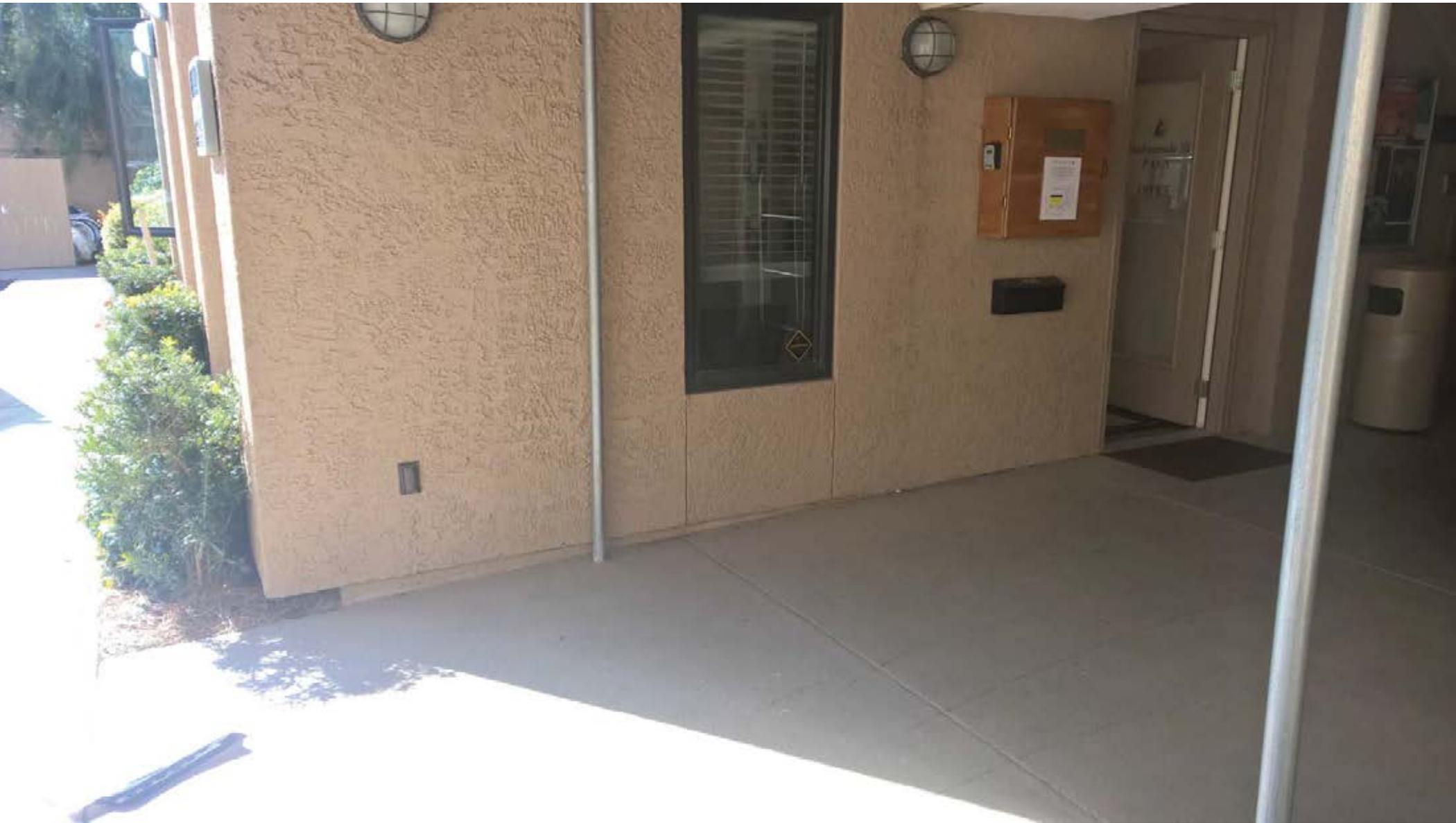














Stairwell

5





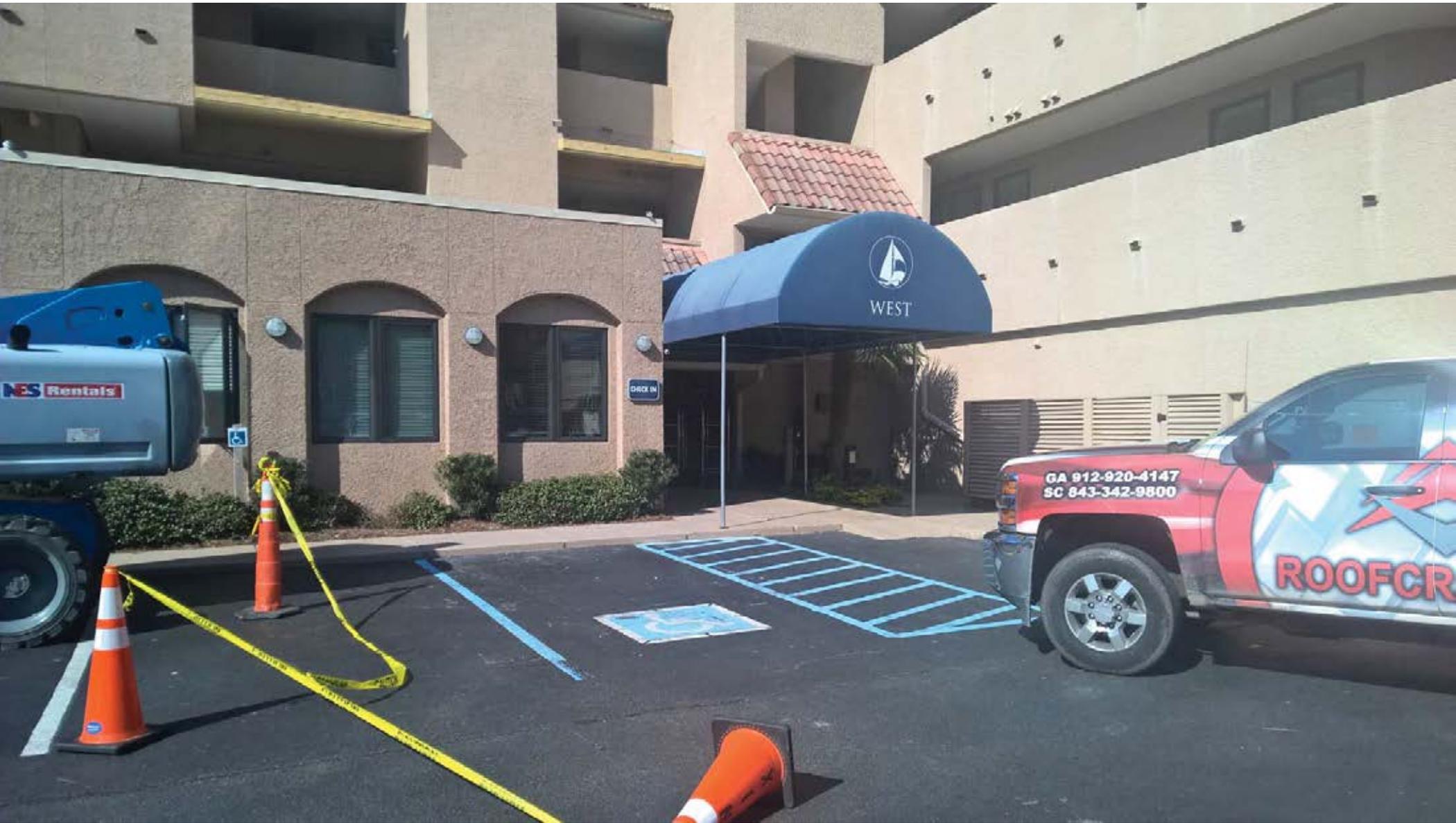






NORTH

FDC



WEST

DRIVE IN

GA 912-920-4147
SC 843-342-9800

ROOFCR

















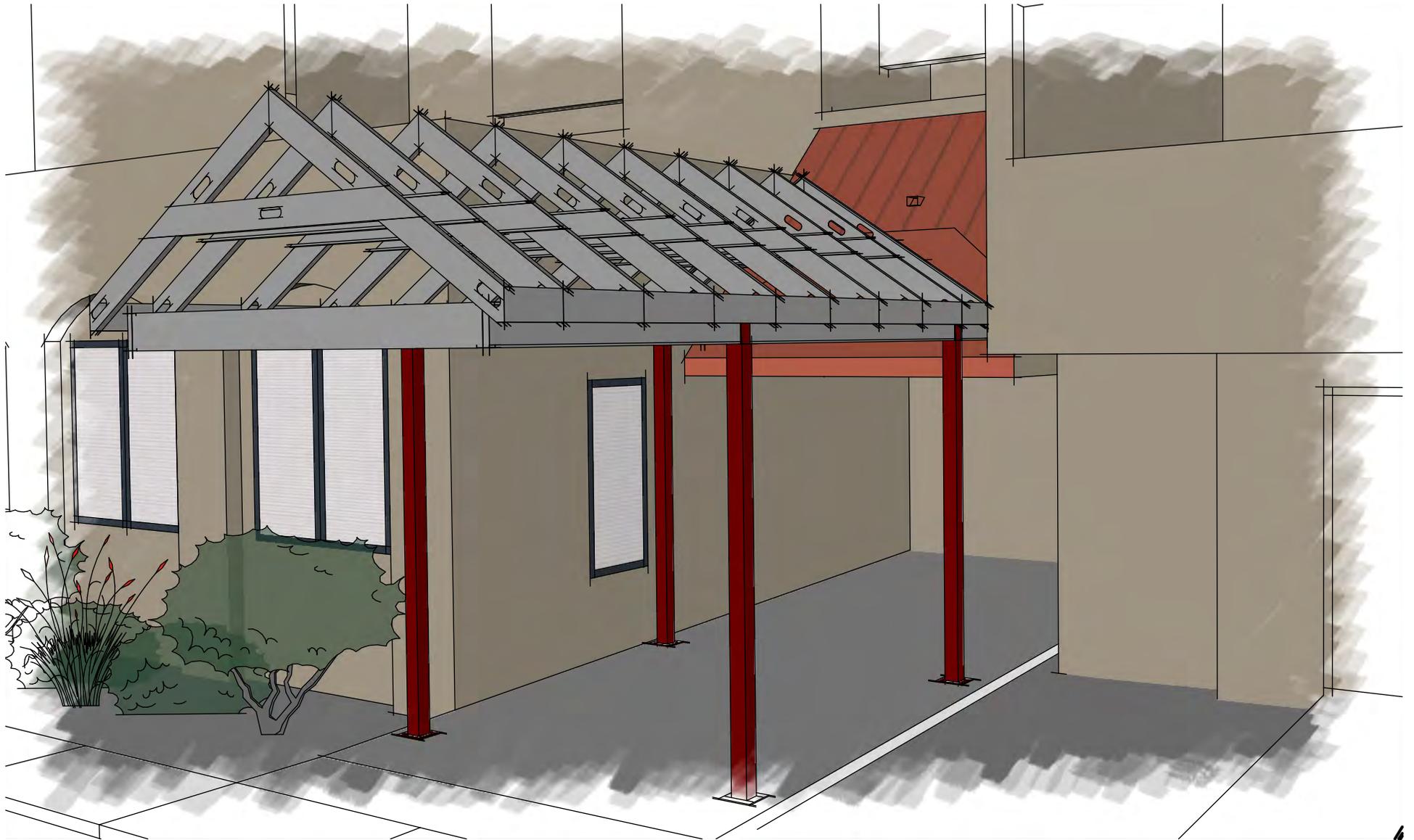




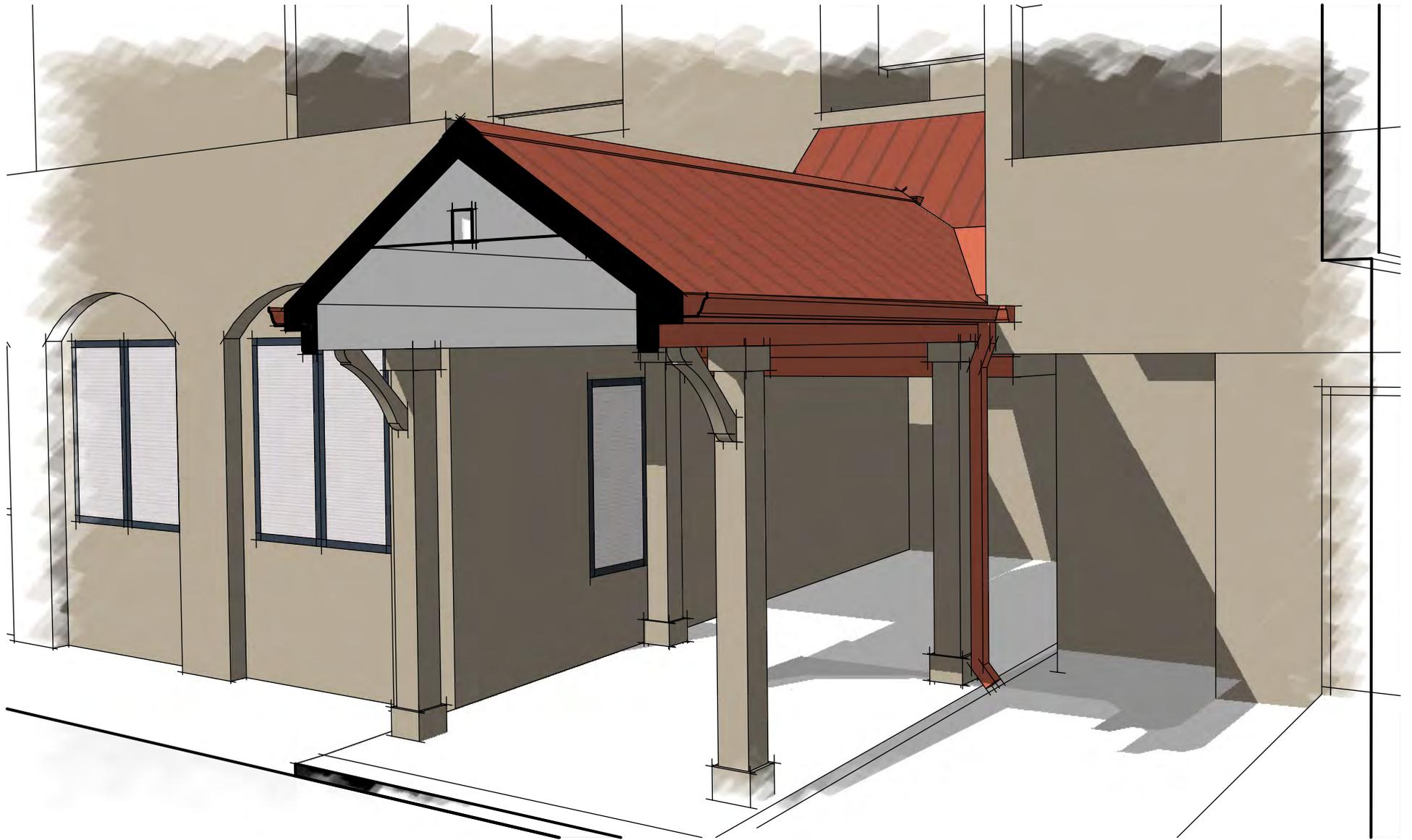




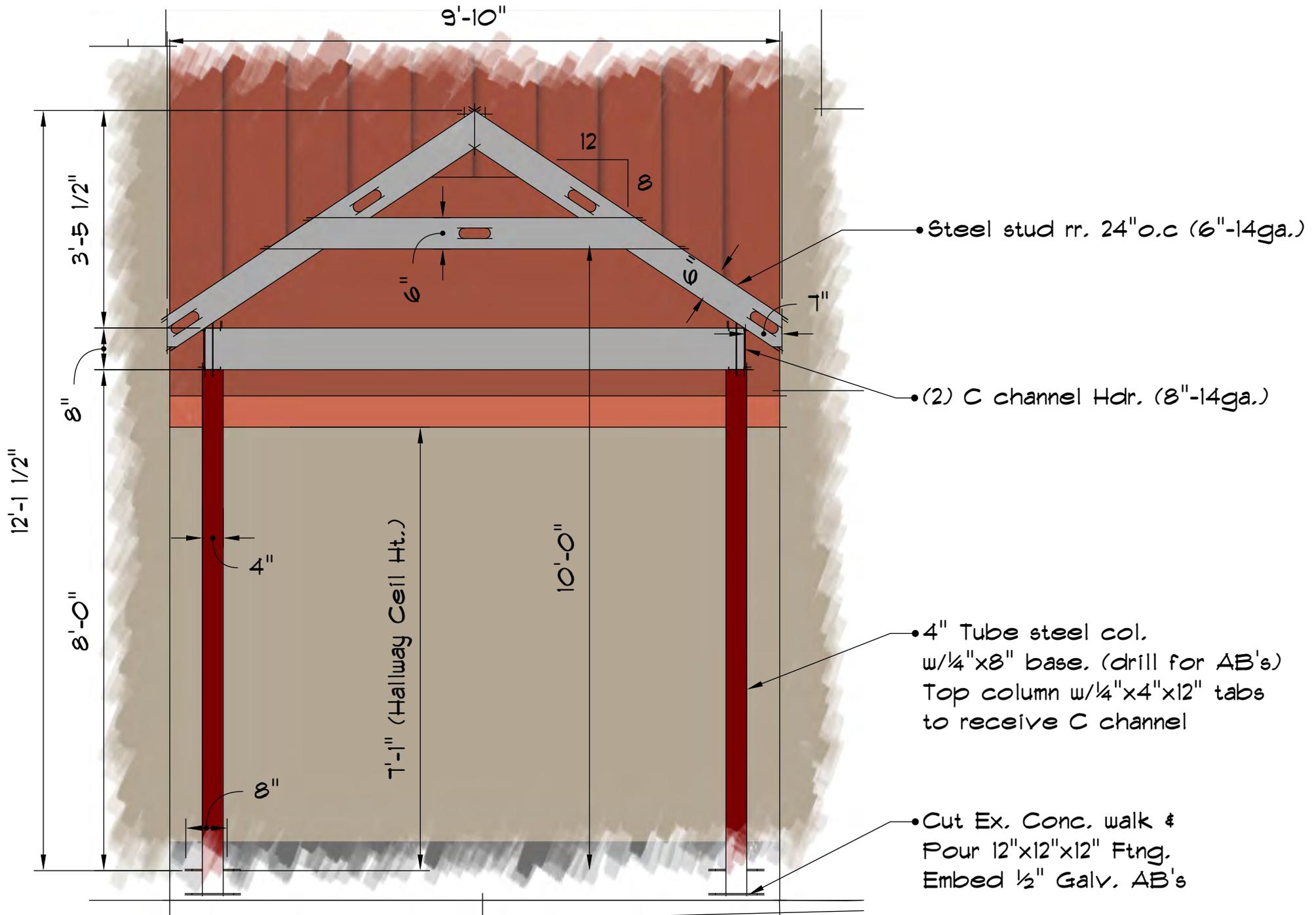
HARBOURSIDE: PROPOSED WEST ENTRY
(match ex. colors/textures)



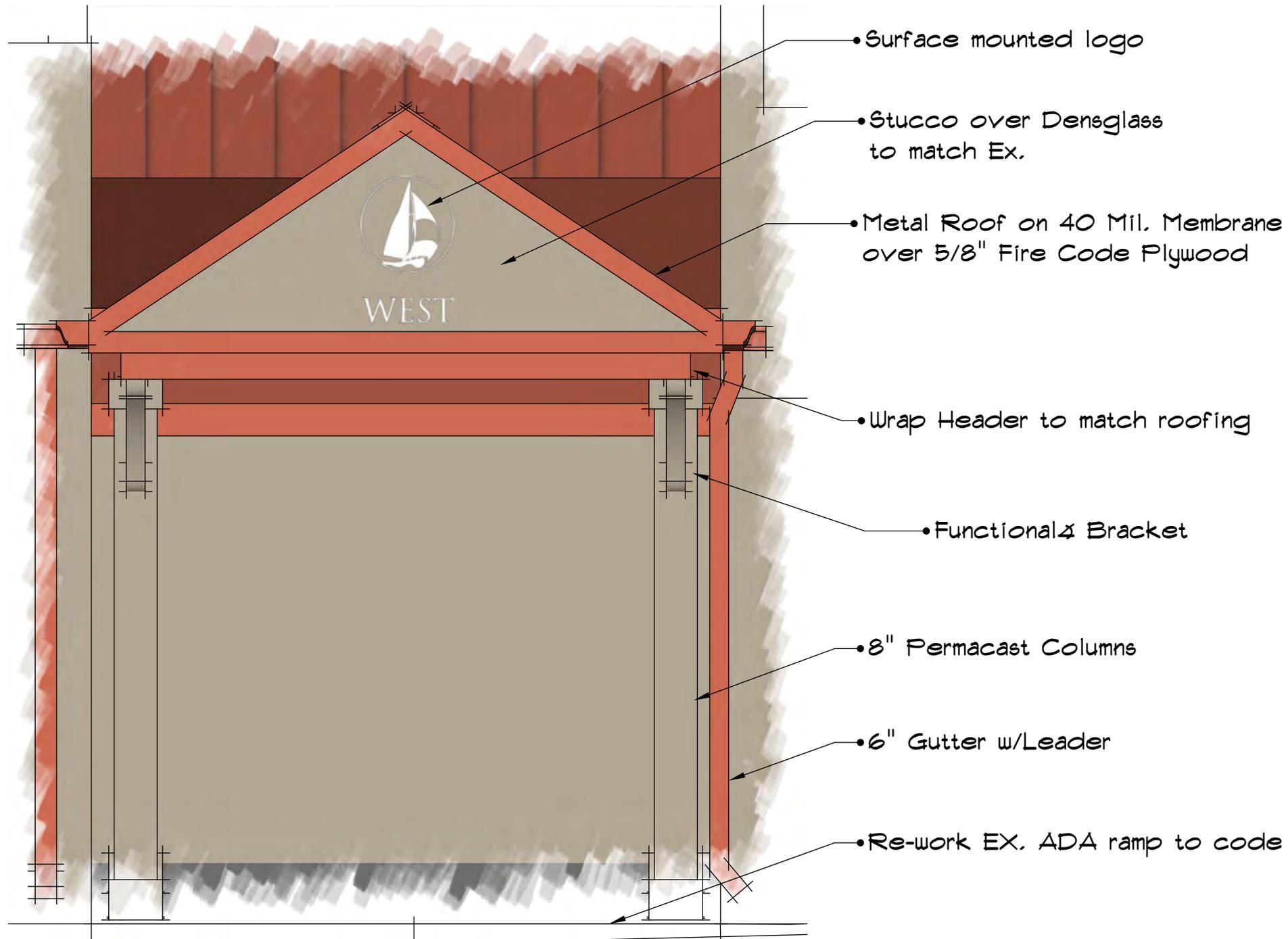
HARBOURSIDE: PROPOSED WEST ENTRY
(all metal sub-structure)



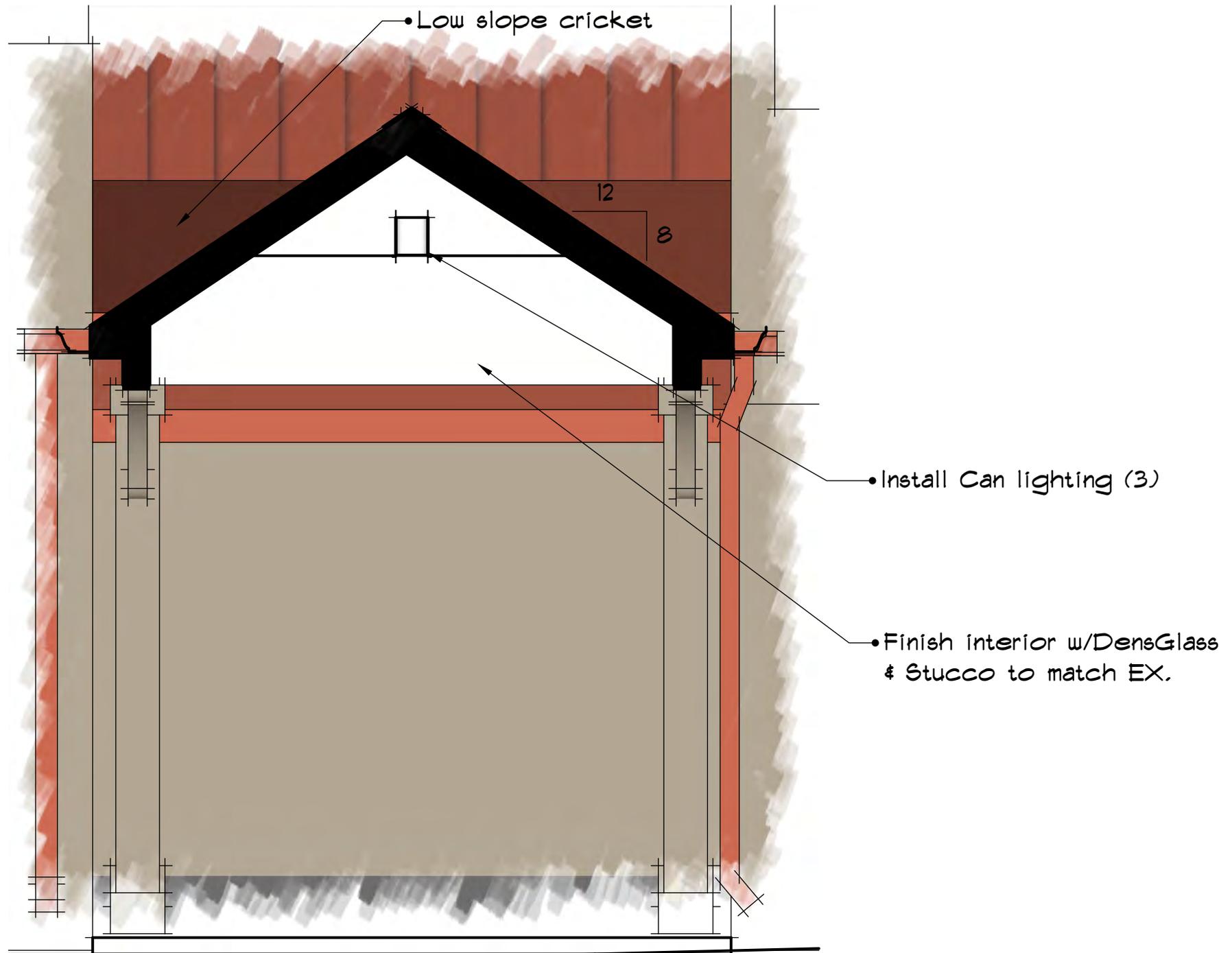
HARBOURSIDE: PROPOSED WEST ENTRY
(vault interior & install can lighting)



HARBOURSIDE: ELEV. FRAME (WEST) SCALE 1/2"=1'-0"

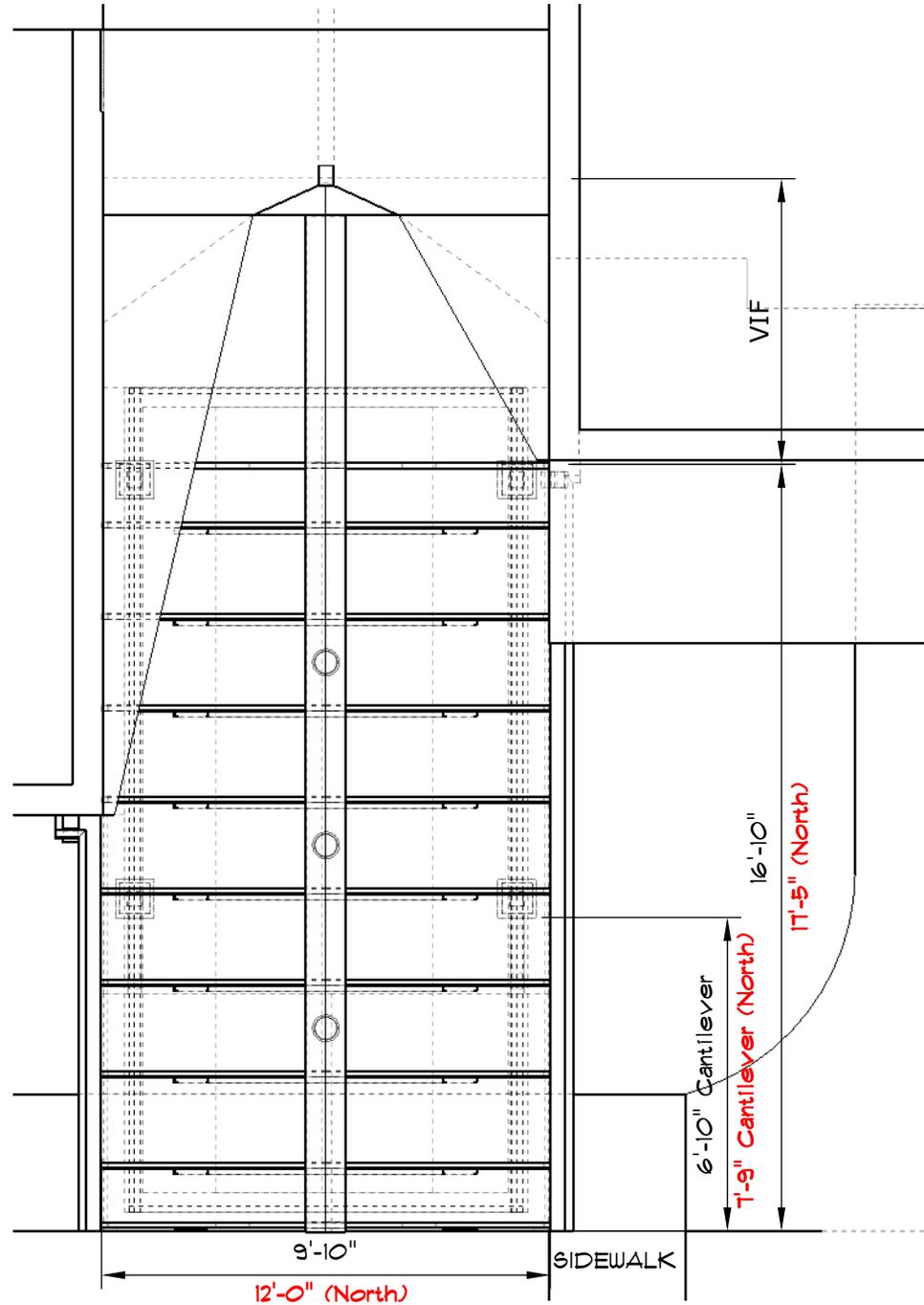
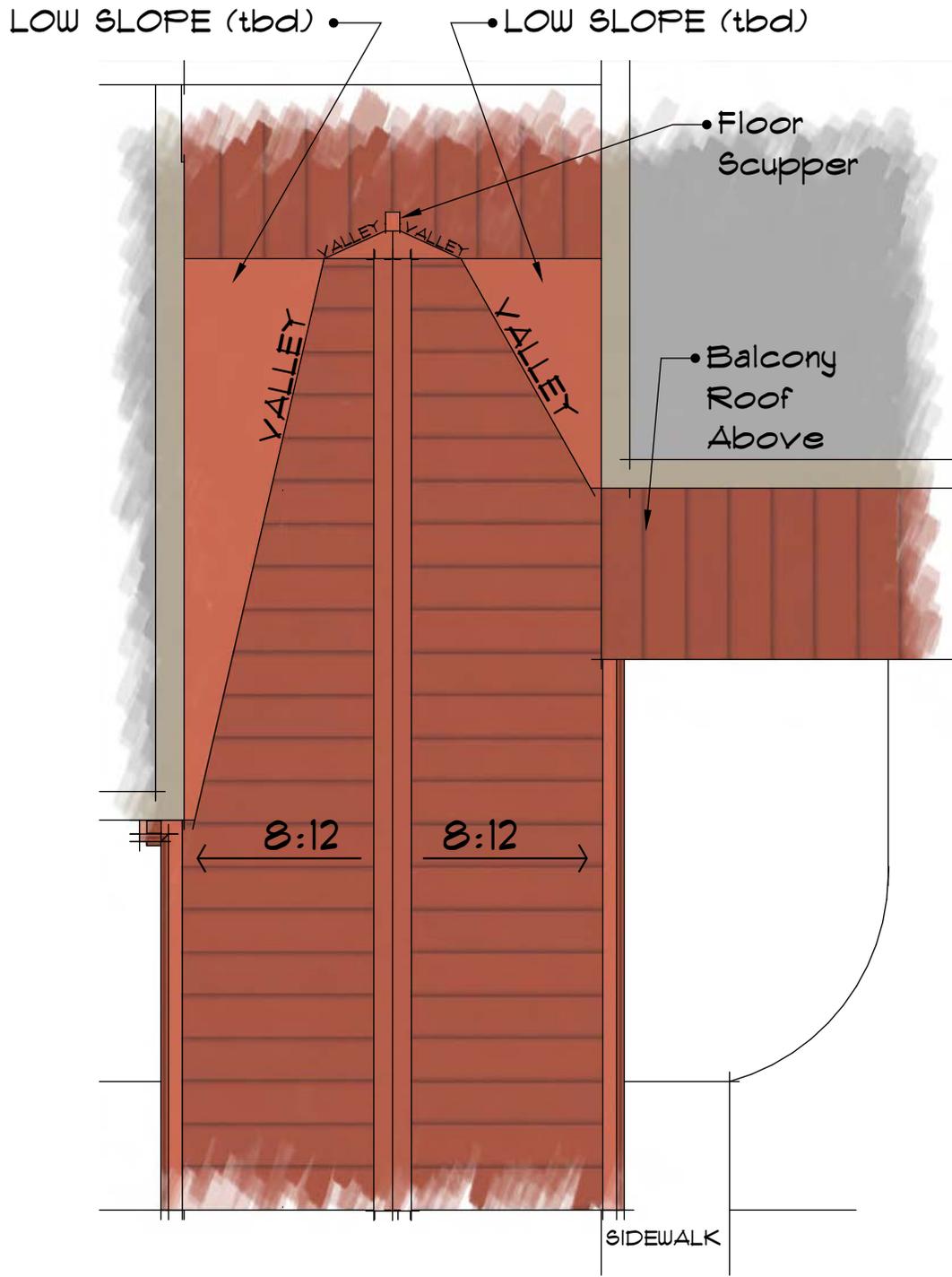


HARBOURSIDE: ELEV. FINISH (WEST) SCALE 1/2"=1'-0"



HARBOURSIDE: XS

(WEST) SCALE 1/2"=1'-0"



HARBOURSIDE: BIRD EYE

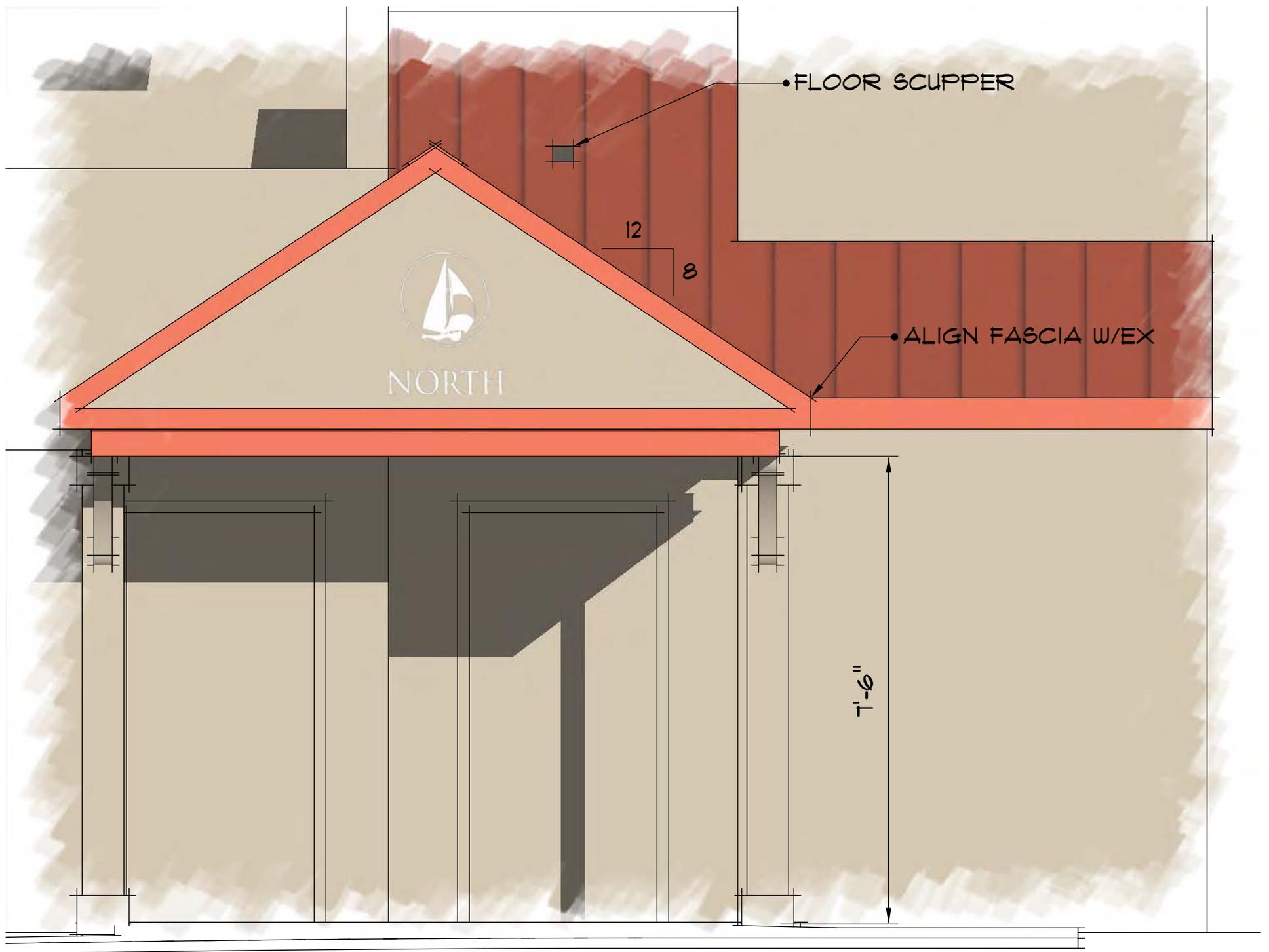
(WEST) SCALE 1/4"=1'-0"



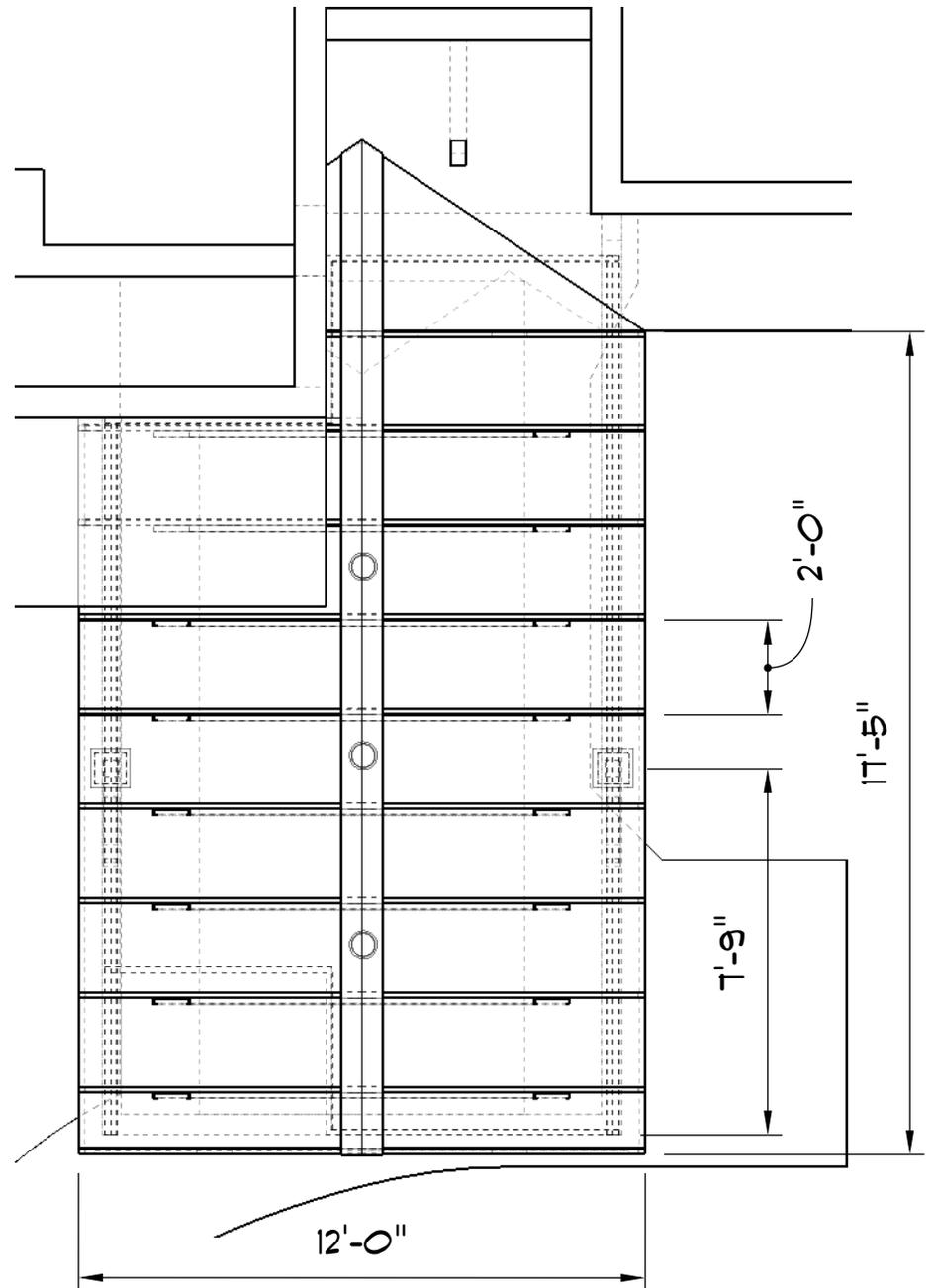
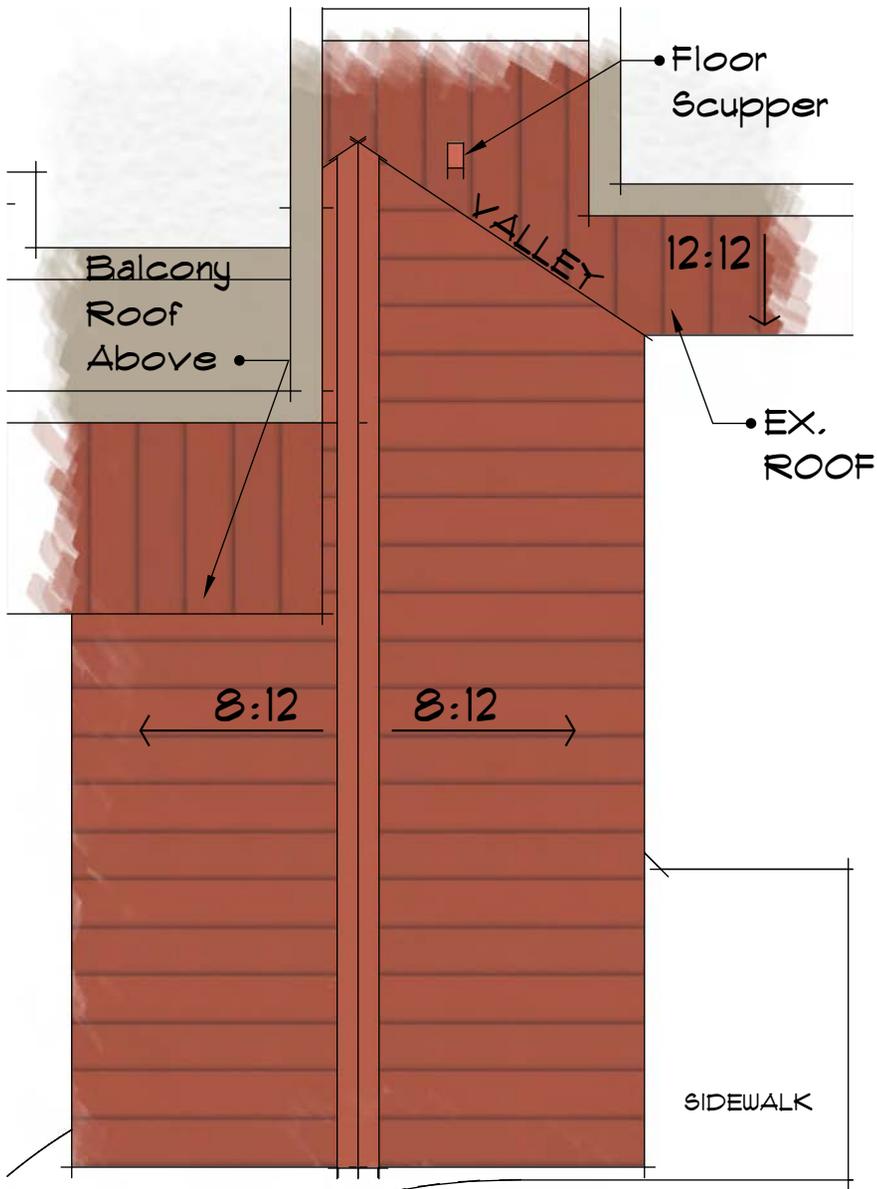
HARBOURSIDE: PROPOSED WEST & NORTH ENTRY



HARBOURSIDE: PROPOSED NORTH ENTRY
(match ex. colors/textures)



HARBOURSIDE: ELEV. FINISH (NORTH) SCALE 1/2"=1'-0"



HARBOURSIDE: BIRD EYE

(NORTH) SCALE 1/4"=1'-0"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HarbourSide 3-Canopies – ALTERATION/ADDITION

DRB#: DRB-000249-2016

DATE: February 23, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider matching gutter to adjacent surface.

Applicant proposes to replace existing canvas awnings to match roof replacement. Colors (terra cotta) and materials (stucco, wood, metal roof) are consistent with existing.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 2-9-16
 Accepted by: SARAH W.
 DRB #: 248-2016
 Meeting Date: _____

Applicant/Agent Name: Susan K Nicks Company: Southern Maintenance Services
 Mailing Address: 10 Capital Drive City: Hilton Head State: SC Zip: 29926 LC
 Telephone: 843-689-9604 Fax: 843-681-9168 E-mail: susan@southernserviceshi.com
 Project Name: Storage Unit Project Address: 10 Capital Drive
 Parcel Number [PIN]: R 511 008 000 0688 0000
 Zoning District: LC Light Industrial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

n/a Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

248-2016

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

2/5/2016
DATE

Southern Maintenance Services, LLC

10 Capital Drive
Hilton Head Island, SC 29926

Phone: 843-689-9604

Fax: 843-689-9168

Storage Unit for 10 Capital Drive

Written narrative:

1. Remove trees: 3 gums and 1 genko
2. Add approximately 2.5' of clean fill
3. Pour continuous concrete footing
4. Compact fill and pour 4" slab
5. Erect 26' (wide) by 60'(long); 12' (height) metal building
6. Building will be one story only and have tree barrier between it and Marshland Road
7. Erect 1.5" steel pipe railing stair handrails (stairs shall be 32"-36" above leading edge of tread)
8. Install 10' wide by 8' tall overhead door
9. Construct 12' by 6 ½' loading door in front of overhead door
10. No wet lands or marsh lands are involved in this project
11. No ocean front or near ocean property is involved in this project

No additional lighting is needed

Landscape plan will be in accordance with the Town's requirements – picture enclosed of area where new trees will go (in front quarter of property – visible from the front door)

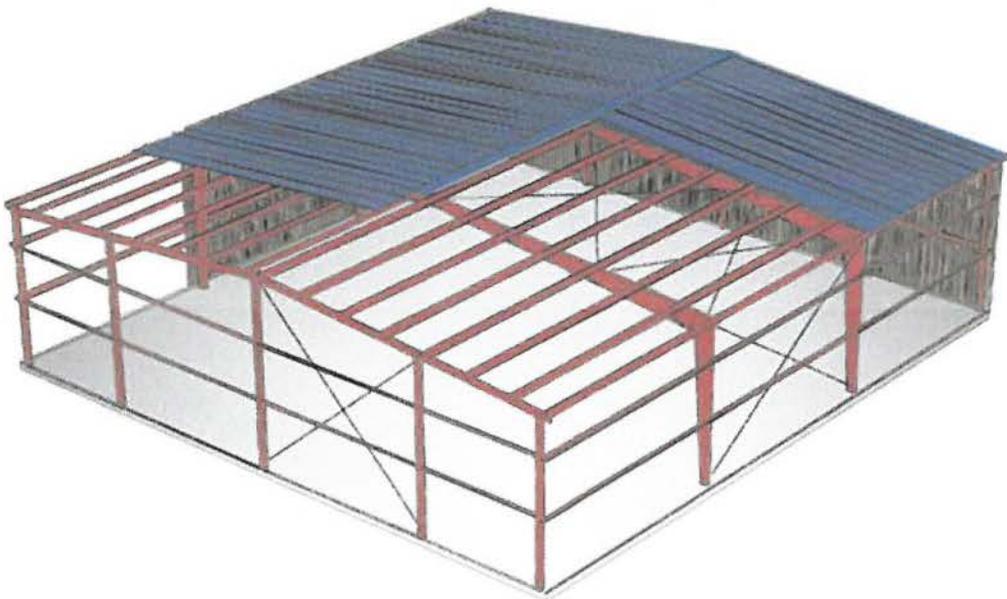
248-2016

PRIMARY FRAMING



- Gable Symmetrical
- Gable Unsymmetrical
- Single Slope
- Long Bay® System
- Lean-to
- Hybrid Structures
- Crane Buildings
- Aviation Facilities

Gable Symmetrical



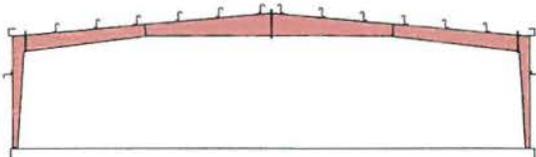
PRODUCT DESCRIPTION

- Gable Symmetrical:** A ridged (double slope) building in which the ridge is in the center of the building.
- Gable:** The triangular portion of the endwall from the level of the eave to the ridge of the roof.
- Gauge:** NA
- Finish:** Red primer, gray primer or galvanized
- Usage:** Low rise construction
- Limitations:** Support widths from 10' to 600' or more
Support height from 10' to 100'
Support clear spans up to 250' or more
Support roof slopes of ¼ : 12 up to 12 : 12

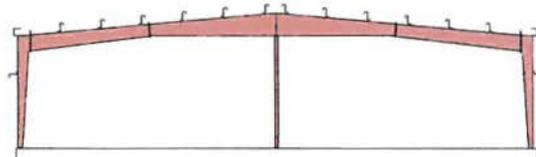
Frame Types Available

profile of unit storage for 10 Capital Drive

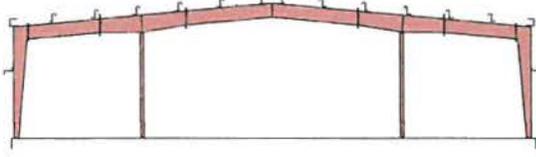
Clear Span Main Frame



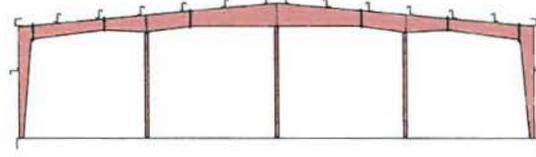
Modular Span One Interior Column



Modular Span Two Interior Columns



Modular Span Three Interior Columns



Commercial/Industrial Panel Profiles

What is Solar Reflectivity (SR)?

Solar reflectivity or reflectance (SR) is the ability of a material to reflect solar energy from its surface back into the atmosphere. The SR value is a number from 0 to 1.0. A value of 0 indicates that the material absorbs all solar energy and a value of 1.0 indicates it is all reflected. Energy Star requires SR testing of both new and aged roof products. New products must have an SR value of 0.25 or higher for steep slope (above 2:12) roofing and an SR value of 0.65 or higher for low slope (2:12 or less) roofing. Aged testing takes 3 years to complete, so not all products that meet the initial requirements are qualified. For more information, please go to www.energystar.gov.

What is Solar Reflectivity Index (SRI)?

The SRI is used to determine compliance with LEED requirements and is calculated according to ASTM E 1980 using values for reflectance and emissivity. Emissivity is a material's ability to release absorbed energy. To meet LEED requirements, a roofing material must have an SRI of 29 or higher for steep slope (above 2:12) roofing and an SRI value of 78 or higher for low slope (2:12 or less) roofing. For more information, please go to www.usgbc.org.



SIGNATURE® 200 - SILICONIZED POLYESTER		
	SR #	SRI #
HAWAIIAN BLUE	.32	35
CRIMSON RED	.33	36
FERN GREEN	.27	27
BURNISHED SLATE	.28	29
ASH GRAY	.47	55
SADDLE TAN	.48	55
DESERT SAND	.42	48
KOKO BROWN	.28	29
CHARCOAL GRAY	.27	27
POLAR WHITE	.58	69
RUSTIC RED	.36	39
LIGHT STONE	.50	58
COBALT BLUE	.28	27
SOLAR WHITE	.74	91

SIGNATURE® 300 - 70% PVDF RESIN		
	SR #	SRI #
MEDIUM BRONZE	.33	36
SNOW WHITE	.65	78
SLATE GRAY	.37	41
ALMOND	.63	75
CLASSIC GREEN	.27	27
BROWNSTONE	.47	54
BRITE RED	.49	56
HARBOR BLUE	.28	27
BONE WHITE	.70	85

profile of building

Profile	Panel	29 GAUGE			26 GAUGE			24 GAUGE			22 GAUGE		
		Galvalume Plus®	Sig® 200 (Liner Only)		Galvalume Plus®	Sig® 200	Sig® 300	Galvalume Plus®	Sig® 200	Sig® 300	Galvalume Plus®	Sig® 200	Sig® 300
 "PBR" PANEL	PBR	●	■	●	●	■	●	■	■	■	■	■	
 "PBU" PANEL	PBU	●	■	●	●	■	●	■	■	■	■	■	
 "PBC" PANEL	PBC	●	■	●	●	■	●	■		■	■		
 "PBD" PANEL	PBD	●	■	●	●	■	●	■		■	■		
 "AVP" PANEL	AVP	●	■	●	●	■	●	■	■	■	■	■	

● Available in any quantity, no minimum required.

■ May require minimum quantity

Commercial/Industrial COLOR CHART



SIGNATURE® 200 Standard Colors SILICONIZED POLYESTER



metallic.com

 HAWAIIAN BLUE* SR.32 SRI 35	 CRIMSON RED* SR.33 SRI 36	 FERN GREEN* SR.27 SRI 27	 BURNISHED SLATE* SR.28 SRI 29
 ASH GRAY* SR.47 SRI 55	 SADDLE TAN* SR.48 SRI 55	 DESERT SAND* SR.42 SRI 48	 KOKO BROWN* SR.28 SRI 29
 CHARCOAL GRAY* SR.27 SRI 27	 POLAR WHITE**† SR.58 SRI 69	 RUSTIC RED* SR.36 SRI 39	 LIGHT STONE* SR.50 SRI 58
 COBALT BLUE* SR.28 SRI 27	 SOLAR WHITE** SR.74 SRI 91		

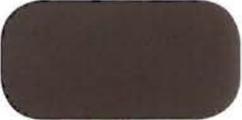
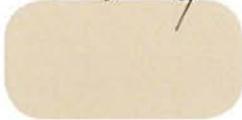
Crucial body of storage unit will be the same color

Color for storage unit at 10 Capital (match existing building as close as possible)

- Final color selection should be made from actual color chips.
- See product selection chart for gauge and color availability.
- All products available in smooth or embossed finish.
- Trim available in all colors.
- All Signature® 300 are low gloss colors.
- A 25-year limited paint warranty available for all colors upon written request. (Outside the continental United States, please inquire.)
- Signature® is a registered trademark of NCI Group, Inc.
- ★ ENERGY STAR Qualified Color through our Energy Star partners MBCI.
- * Availability in certain areas may be restricted or require a surcharge.
- † Polar White is a Straight Polyester.

SIGNATURE® 300 Premium Colors 70% PVDF RESIN

Additional costs apply for Signature® 300 finishes.

 MEDIUM BRONZE* SR.33 SRI 36	 SNOW WHITE* SR.65 SRI 78	 SLATE GRAY* SR.37 SRI 41	 ALMOND* SR.63 SRI 75
 CLASSIC GREEN* SR.27 SRI 27	 BROWNSTONE* SR.47 SRI 54	 BRITRE RED* SR.49 SRI 56	 HARBOR BLUE* SR.28 SRI 27
 BONE WHITE** SR.70 SRI 85			

This chart is a digital reproduction and coloration may show slight variations from actual color. Final color selection should be made from actual color chips. For complete performance, specifications, product limitations and disclaimers, please consult our Paint and Galvalume Plus® warranties. Upon receipt of payment in full, these warranties are available upon request for all painted or Galvalume Plus®, prime products. Contact your local Sales Representative for actual paint samples.

front



front

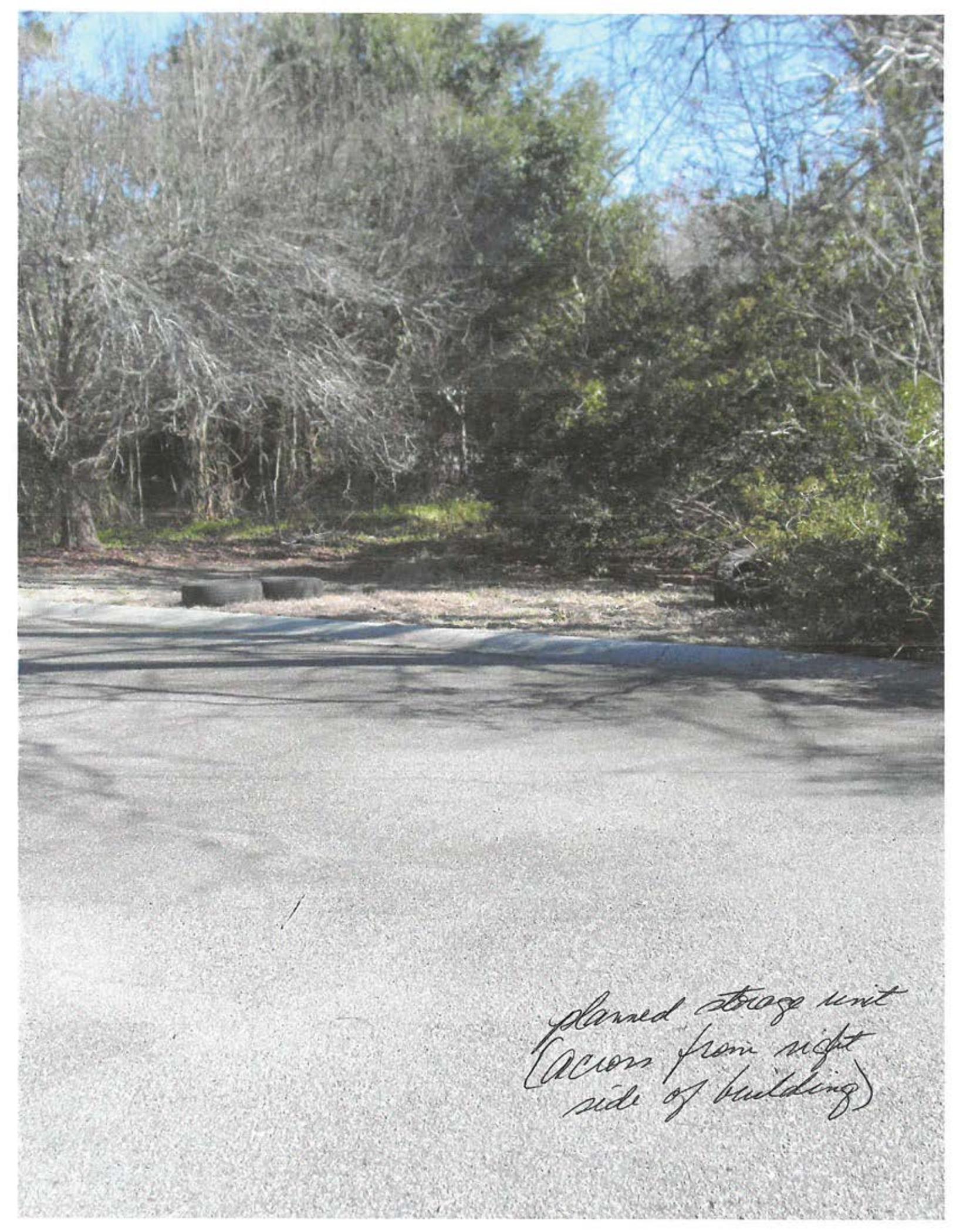


right side



right side



A photograph showing a paved area, possibly a driveway or parking lot, leading to a wooded area. The trees are mostly bare, suggesting a late autumn or winter setting. In the background, there are some dark, rectangular objects that look like tires or blocks. The sky is blue with some light clouds. In the bottom right corner, there is handwritten text in cursive script.

planned storage unit
(across from right
side of building)



area in front section
of 10 Capital Drive
when any new trees
required will be
planted



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	75.00'	82.61'	78.50'	N53°23'00"W	63°06'34"
C2	738.09'	105.96'	105.86'	N18°20'39"W	08°13'30"

BIKE PATH CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C3	230.44	51.84'	26.03	51.73'	N60°23'02"E	12°53'21"
C4	15.77	9.33'	4.80	9.19'	N50°07'42"E	33°52'51"
C5	60.49	44.28'	23.19	43.30'	N51°07'43"E	41°56'38"
C6	75.00	22.60'	11.38	22.51'	N76°18'29"W	17°15'42"

BIKE PATH LINE TABLE		
LINE	BEARING	LENGTH
L1	N69°47'32"E	81.91
L2	N70°30'28"E	24.19
L3	S11°40'01"E	33.35
L4	S68°19'48"W	183.24
L5	S11°40'01"E	7.11

N/F
HILTON HEAD REGIONAL
HABITAT FOR HUMANITY
D.B.3089 PAGE 90
A.P.N. R510-008-000-008J

N/F
DELORES BRINSON
D.B.2611 PAGE 2225
D.B.1286 PAGE 1927
A.P.N. R510-008-000-0009

N/F
HENRY C. DRIESSEN, JR.
D.B.3087 PAGE 1373
A.P.N. R511-008-000-008E

LOT 2
N/F
K/O DILLON ENTERPRISES, LLC
D.B.1126 PAGE 1385
P.B.58 PAGE 153
A.P.N. R511-008-000-0432

LEGEND

B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
IPF	OLD IRON PIN FOUND
IPS	NEW IRON PIN SET
TEL PED	TELEPHONE PEDESTAL
XFMR	TRANSFORMER
SY	SERVICE YARD
-X-	FENCE

Some or all areas on this plat are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain flood hazard protection measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Official. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.

- NOTES:**
- THIS PROPERTY LIES IN FLOOD ZONE: A-7, B.F.E. = 14.0' PER FIRM PANEL: 450250, 0008-D, DATED: 9/29/86.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. SAID PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE AND/OR ANY OTHER FACTS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - THIS PLAT DOES NOT CERTIFY THE ABSENCE OR PRESENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
 - LOCATIONS OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS AND ARE NOT CERTIFIABLE.
 - THIS SURVEY IS INTENDED ONLY FOR WHOM IT WAS PREPARED AND IS NOT TRANSFERABLE TO ANYONE, INCLUDING WITHOUT LIMITATION TO SUBSEQUENT OWNERS OF THIS PROPERTY.
 - THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - THE BUILDING SETBACKS SHOWN HEREON ARE NOT CERTIFIABLE. BUILDING SETBACKS ARE GOVERNED BY MULTIPLE AUTHORITIES AND ARE SUBJECT TO CHANGE AND/OR VARIANCES. ALL BUILDING CODES AND RESTRICTIONS APPLICABLE TO THIS SITE SHALL BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - THE PRESENCE AND/OR EXISTENCE OF FRESH WATER WETLANDS IS NOT ESTABLISHED WITH THIS PLAT.

- REFERENCE PLATS:**
- LOT ONE
A SECTION OF THE A.J. TRUST SITE
By: COASTAL SURVEYING COMPANY, INC.
DATED: 10/20/95
RECORDED AT: P.B.55 PAGE 63
 - A SUBDIVISION PLAT OF 19 LOTS
AT THE A.J. TRUST SITE
By: COASTAL SURVEYING COMPANY, INC.
DATED: 10-14-96
JOB No. 26,971-8
RECORDED AT: P.B.58 PAGE 153
 - A BIKE PATH EASEMENT OVER:
LOT 1, CAPITAL BUSINESS PARK
By: SEA ISLAND LAND SURVEYING, L.L.C.
DATED: 02/13/04
JOB No. 302095/2 DWG #: 3-789-9
RECORDED AT: P.B.102 PAGE 113
 - A R/W ACQUISITION PLAT OF MARSHLAND ROAD
A SECTION OF THE MARSHLAND ROAD AREA
By: COASTAL SURVEYING CO., INC.
DATED: 05/31/97
JOB No. 27,714-1
RECORDED AT: P.B.61 PAGE 7

PREPARED FOR: **BONNIE C. LOWREY**

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS 'A' SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

Michael R. Dunigan
MICHAEL R. DUNIGAN
S.C.P.L.S. #11,905

AN AS-BUILT, BOUNDARY AND SUBDIVISION
LAND SURVEY OF
LOT 1 CAPITAL DRIVE
(R511 008 000 0416 0000)

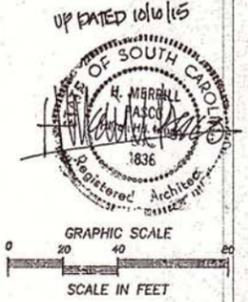
A SECTION OF
CAPITAL BUSINESS PARK
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 40'
DATE: 5/20/2013
JOB No.: 49,731A

SURVEYED BY: AC/MS
DRAWN BY: RLM
CHECKED BY: MRD

NEW LOT #1A 1.282 Ac.
NEW LOT #1B 1.114 Ac.
ORIGINAL LOT #1 2.396 Ac.

ORIGINAL LOT 1
2.396 Ac.
(104,358 SF)
R511-008-000-0416



COASTAL SURVEYING CO., INC.
49 RIVERWALK BLVD., BLD. 8
RIDGELAND, S.C. 29938
(843) 848-4445



COMMERCIAL

Storage Building
 Southern Services
 10 Capital Drive
 MARSHLAND ROAD

CONTRACTOR:
 SOUTHERN SERVICES
 SURVEYOR:
 JOB #
 BLUFFTON, SC



Site Plan
 over survey
 w/ area summaries

PROJECT FILE: CAPITAL DRIVE/ABC

SUBMITTALS:
 ARB
 ARB
 ARB

BLDG PERMIT _____

REVISIONS:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 6. _____

ISSUE: 7/27/2015

PRICING _____
 BIDDING _____
 CONSTRUCTION _____

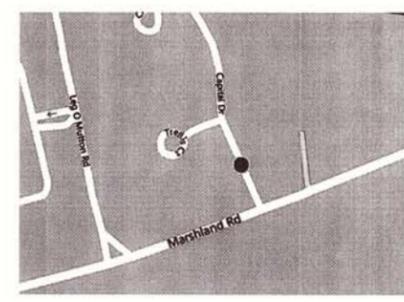
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION. THEY MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND ASSOCIATION.



SCOPE OF PROJECT

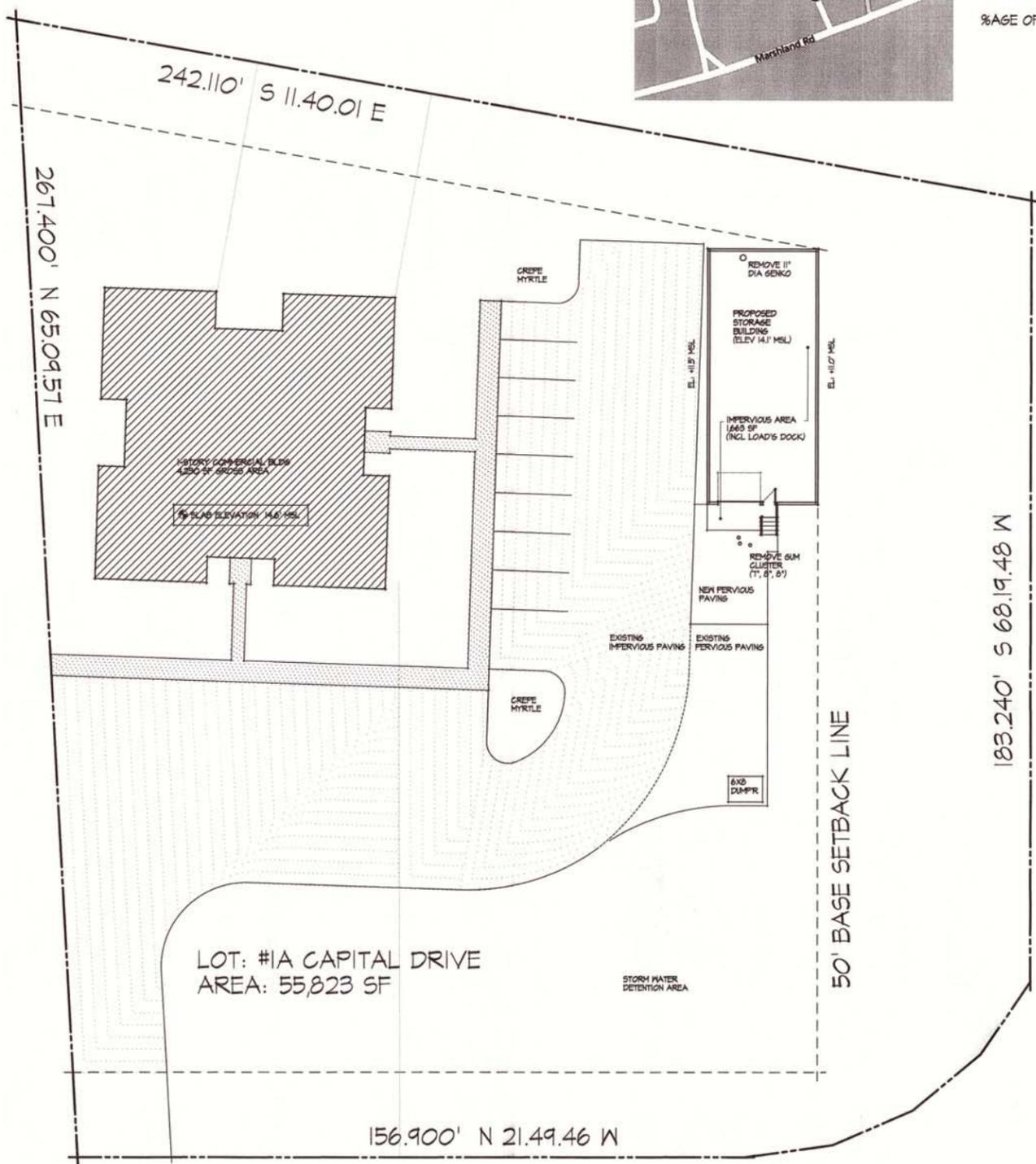
REMOVE TREES: 3 GUMS AND 1 GENKO
 ADD APPROX 2.5' OF CLEAN FILL
 POUR CONTINUOUS CONC FOOTING
 CONSTRUCT 8" BLOCK FOUNDATION
 COMPACT FILL & POUR 4" SLAB
 ERECT METAL BUILDING
 ERECT STAIR HANDRAILS
 CLEAN SITE, ADD BUFFER LANDSCAPING

LOCATION MAP (NTS)



SITE CALCULATIONS

SITE AREA	55,823
EXIST'G IMPERVIOUS PARKING	11,845
PATHS	1,119
BUILDING	4,230
PROPOSED ADDITION	1,663
TOTAL IMPERVIOUS	18,857
%AGE OF SITE	33.8%





COMMERCIAL
Storage Building
Southern Services
 10 Capital Drive
 MARSHLAND ROAD
 CONTRACTOR:
 SOUTHERN SERVICES
 SURVEYOR:
 JOB #
 BLUFFTON, SC



Floor Plan
 Foundation Plan
 Elevations

PROJECT FILE: CAPITAL DRIVE.A2

SUBMITTALS:
 ARE
 ARE
 ARE

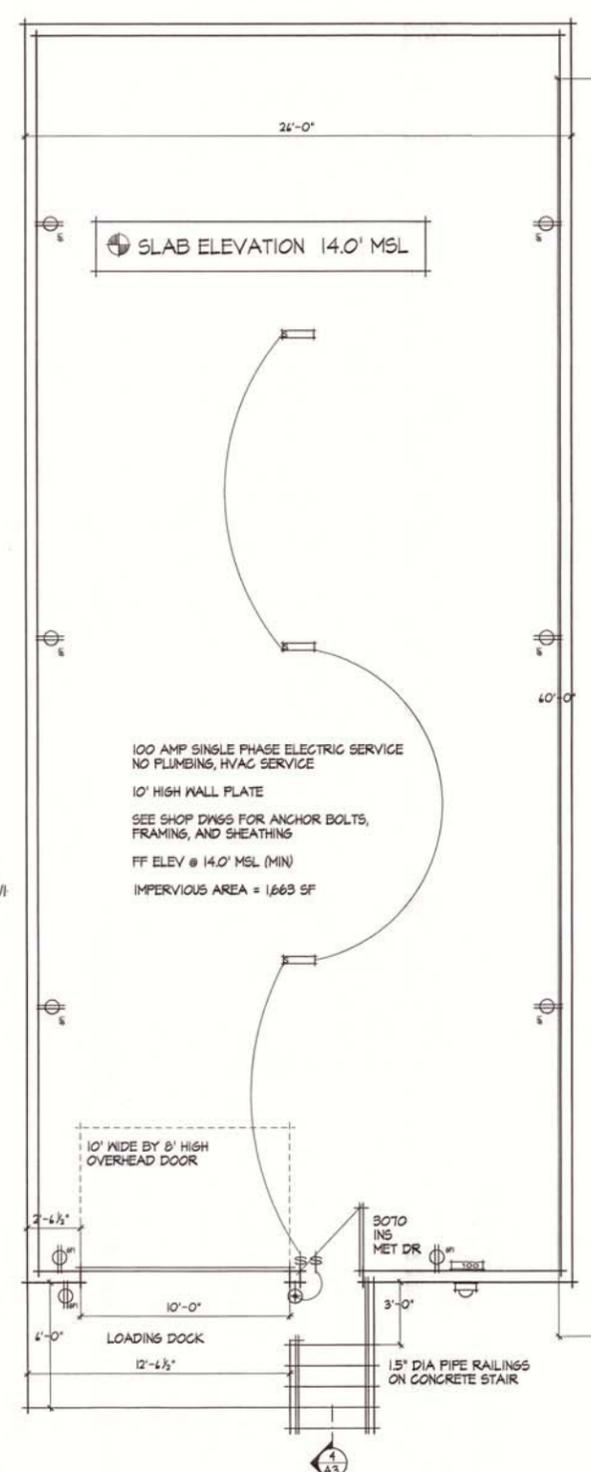
BLDG PERMIT: _____

REVISIONS:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 6. _____

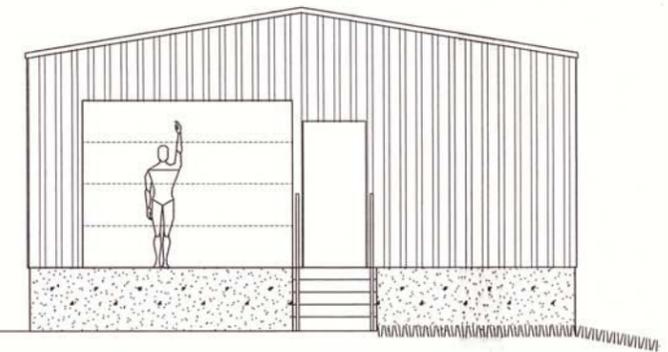
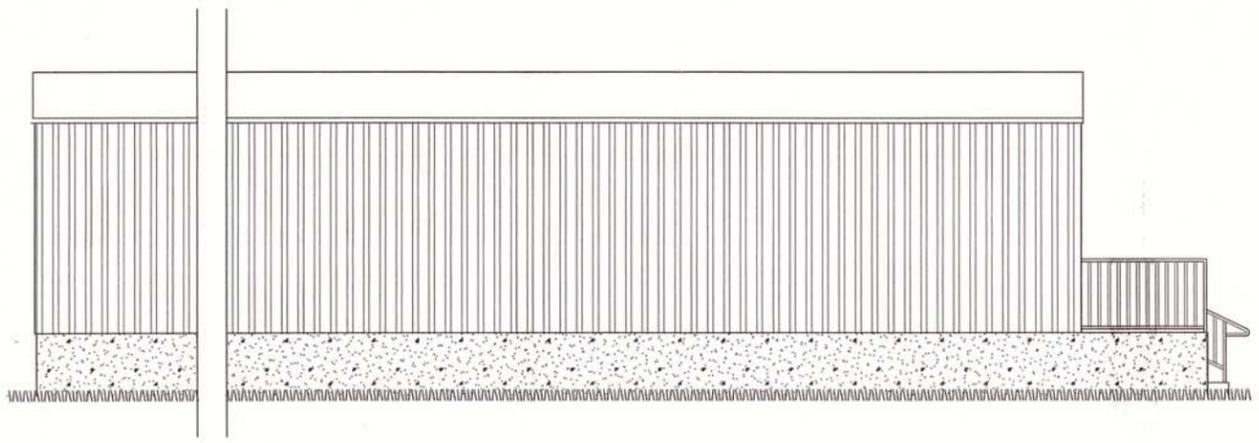
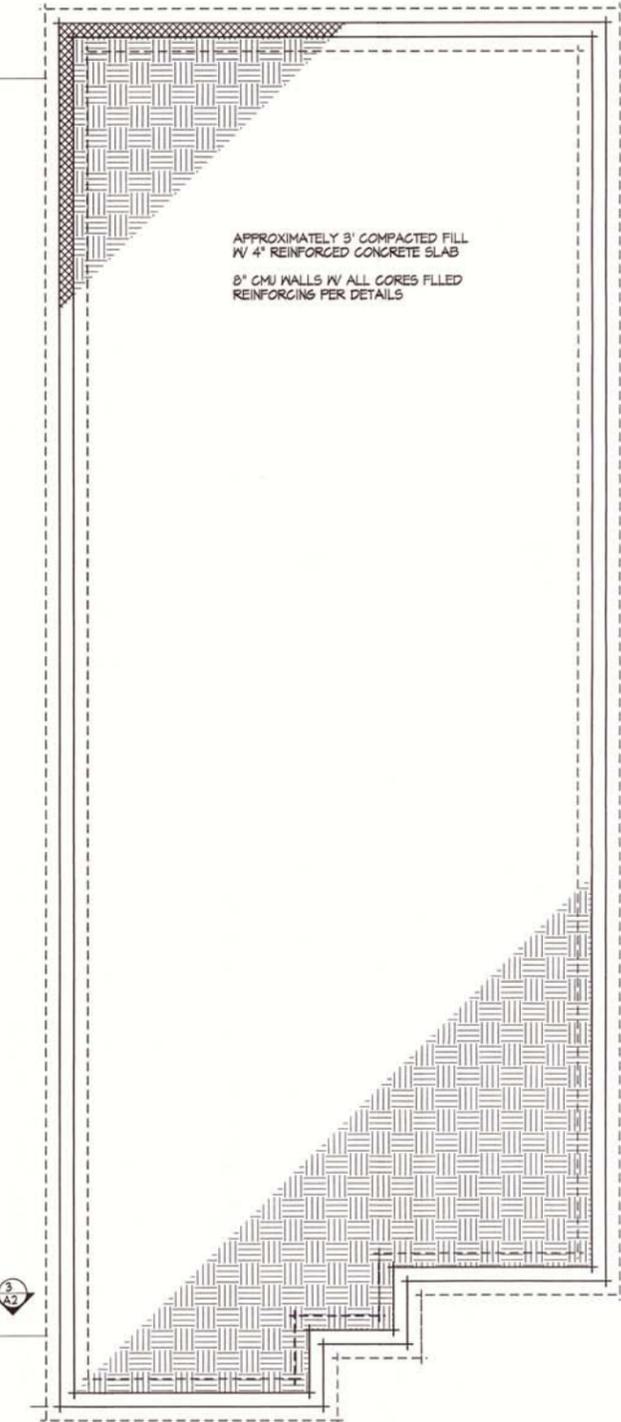
ISSUE: 7/26/2015

PRICING: _____
 BIDDING: _____
 CONSTRUCTION: _____

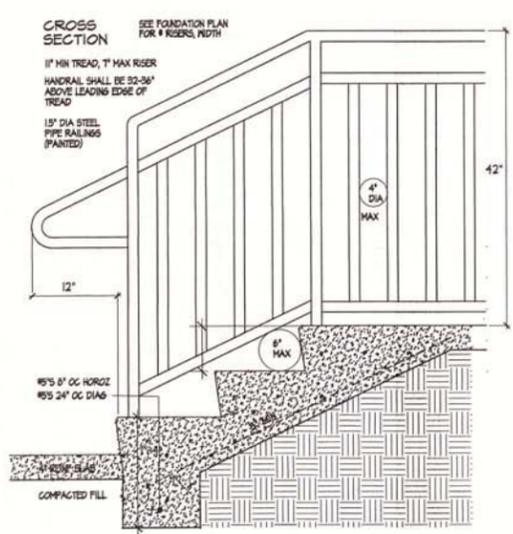
A2.1 FLOOR PLAN W/ ELECTRIC 1/4"



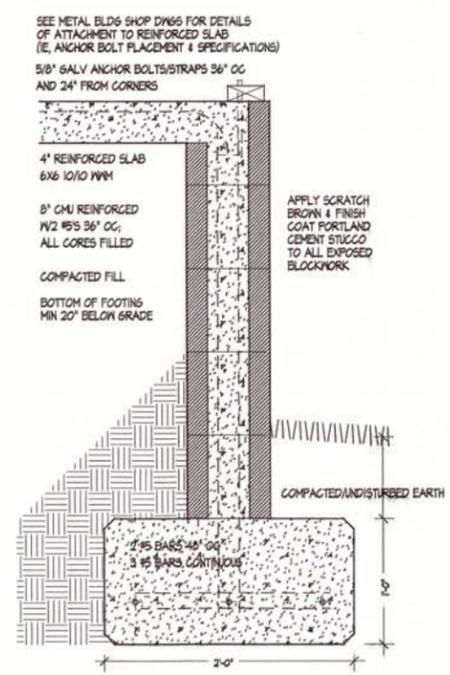
A2.2 FOUNDATION PLAN 1/4"



A2.5 TYP EXTERIOR ELEVATIONS 1/4"



A2.4 CONCRETE STEPS 1"



A2.3 FOUNDATION 1.5"

SYMBOL LEGEND

- DUPLEX RECEPTACLE 12' AFF
- 6PI DUPLEX RECEPTACLE
- 220 VOLT RECEPTACLE
- DUPLEX FLOOR RECEPTACLE
- SURFACE INCANDESCENT
- RECESSED INCANDESCENT
- JUNCTION BOX
- RECESSED CAN TYPE A, B

CMU MASONRY: GENERAL NOTES

- SURFACE FLOURESCENT
 - WALL SWITCH 48' AFF
 - 3-WAY SWITCH
 - WEATHERPROOF SWITCH
 - ELECTRIC PANEL BOX
- NOTES: CONFORM WITH CURRENT NEC
- 80FT LOCATION SUBJECT TO ROUGH-IN WALK-THRU POWER
- RESERVE TWO CIRCUITS FOR EXTERIOR ILLUMINATION

FILL ALL CELLS BELOW SLAB LEVEL WITH CONCRETE. REINFORCED FILL SHALL BE INSTALLED IN MAX LIFTS OF 8'-0". FILL SHALL BE MECHANICALLY MIXED GROUT OR REGULAR WT CONCRETE (ASTM C94) MAX 1/2" COARSE AGGREGATE WITH MIN 2500 PSI 28-DAY STRENGTH.

REINFORCING SHALL BE TIED IN @ CELLS @ SPLICES, 4 # HORIZ JOINT REINFORCING - VERTICAL REINFORCING TO BE LAPPED 30 DIAMETERS @ DOVELS AND SPLICES. HORIZ JT REINP TO BE CONTINUOUS THRU CELLS CELLS TO BE RODDED & FLUSHED CLEAN PRIOR TO INSTALLATION OF FILL, 4" SO CLEARANCE @ BASE OF EACH CELL SEALED DURING POUR. ALL CMU WALLS TO BE REINFORCED 1 #5 48" OC BAR UNLESS OTHERWISE NOTED.

WHERE CMU WALL HEIGHT EXCEEDS 10', PROVIDE CONTINUOUS 2" DEEP BOND BEAM @ MAX 8'-0" VERT; REINFORCE 2 #5S LAPPED 24" @ SPLICES, INTERRUPT @ VERTICAL CONTROL JOINTS. OTHERWISE, PROVIDE BOND B' BEAM @ TOP OF CMU WALL AT CORNERS. PROVIDE 2 24" X24" #5 BEAMS AT INTERRUPTIONS; HOOK HORIZ REINFORCING 12" INTO REINFORCED JAMB.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Storage Unit (Southern Services) – ALTERATION/ADDITION DRB#: DRB-000248-2016

DATE: February 23, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide landscape plan. Refer to LMO Appendix D: D-6.I for additional information.
 - a. Add landscaping, i.e. evergreen shrubs, in Marshland Road buffer and between parking lot and storage building.
 - b. Shift storage building toward Marshland Road (without impacting 40' setback) and add landscaping between edge of parking and storage building.
2. Restudy building façade and address requirements of overhangs and unrelieved repetition.

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Other sites within Capital Business Park include metal buildings.
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Storage building will be visible from Marshland Road and entrance to site.
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stucco base
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not specified.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	None.
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials: metal siding, stucco base; Colors: "Light Stone" to match the building
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown.
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN – A landscape plan meeting LMO requirements is required.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 2-9-16
 Accepted by: SARAH W
 DRB #: 250-2016
 Meeting Date: _____

Applicant/Agent Name: Mack Fraser Company: Southern Draw
 Mailing Address: 31 Mathews Dr - Ste B City: Hilton Head State: SC Zip: 29926
 Telephone: 866 930 9660 Fax: _____ E-mail: Mack@sddblle.com
 Project Name: Premier Roofing Project Address: 85 Arrow Rd
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

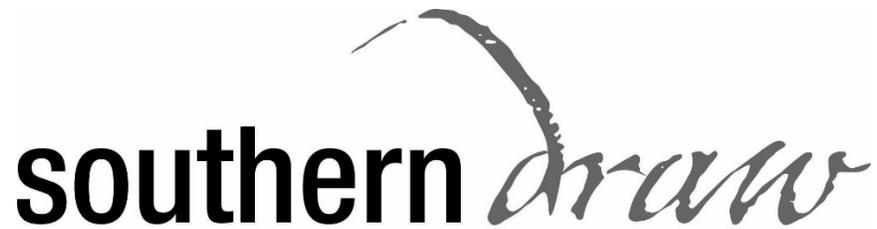
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

5-9-16
DATE



Project Name: Premier Roofing

Project #: DRB-002018-2015

Date: February 9, 2016

To Whom It May Concern:

On November 10, 2015 this application was approved with conditions by the Town of Hilton Head Island Design Review Board. The following items noted in the conditions have been addressed below. When necessary, further details have been attached to this packet:

1. Ramp landing adjusted to be code compliant (detail added)
2. Landscape plan: existing landscape will remain as is. No changes to current landscape will occur.
3. No trees will be removed
4. Service yard screening has been added
5. Lighting plan is attached
6. Guard rails have been added
7. Horizontal siding was removed and has been replaced with hardy shake. All other finishes and colors to remain the same.

Please also note that the plan has been updated to include a new entry sign/roof detail with recessed lighting. See attached lighting specs. We are requesting final approval. Thank you for your consideration.

Regards,

A handwritten signature in black ink, appearing to read "Mack Fraser". The signature is fluid and cursive, with a prominent initial "M".

Mack Fraser

Southern Draw, PLLC



Grey TimberTech Reliaboard Decking and Skirt Material



Weathered Wood Shingles
Main Roof



Medium Bronze Metal Roofing
Accents



Brown TimberTech Radiance Cable Rail System on Entry
Stair and Ramp



CLICK IMAGE TO ZOOM



Need Assistance?

2700K - 6 INCH - 10.55 WATT - 65 WATT REPLACEMENT - DIMMABLE LED DOWNLIGHT RETROFIT MODULE - BAFFLE TRIM - E26 MEDIUM BASE - WET LOCATION - NORA LIGHTING



\$49.90 - \$58.90

Item #: NLEDC-622927

Rating: ★★★★★
1 Review(s)

SELECT FINISH:

BRONZE	WHITE

\$58.90 ~~\$49.90~~

Availability: **IN STOCK**
Made To Order - Usually ships in 1-2 weeks

QUANTITY:

ADD TO CART
safe. secure.

ADD TO FAVORITES



45 DAY SATISFACTION GUARANTEE
[Our Return Policy](#)



FREE SHIPPING ON ORDERS OVER \$25
[Learn More](#)

Product Overview

- Diamond II 90+ CRI Series
- ENERGY STAR®
- Dimmable
- Very long life
- Wet location approved
- DOE Lighting Facts label
- 7-Year warranty

PRODUCT DETAILS

SPECIFICATIONS

ACCESSORIES

REVIEWS ★★★★★

Q&A



CLICK IMAGE TO ZOOM



2700K - 6 INCH - 10.55 WATT - 65 WATT REPLACEMENT - DIMMABLE LED DOWNLIGHT RETROFIT MODULE - BAFFLE TRIM - E26 MEDIUM BASE - WET LOCATION - NORA LIGHTING



\$58.90

Item #: NLEDC-622927BZ

Rating: 1 Review(s)

SELECT FINISH:



\$58.90 \$49.90

Availability: **IN STOCK**
Made To Order - Usually ships in 1-2 weeks

QUANTITY:

ADD TO CART
safe. secure.

ADD TO FAVORITES



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[LEARN MORE](#)

[PRODUCT DETAILS](#)

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[Q&A](#)

Need Assistance?

[Live Chat](#) M-F 9am-5pm ET

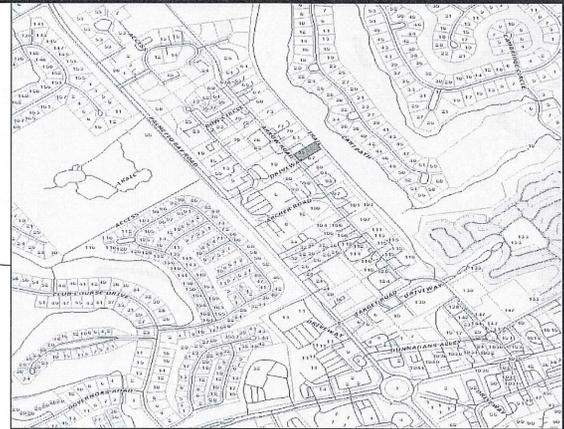


Existing Imagery

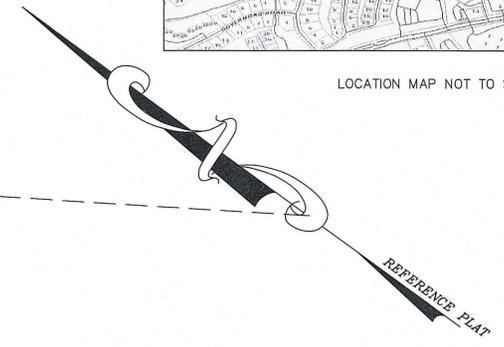
WEXFORD PLANTATION
GOLF COURSE

LINE	BEARING	LENGTH
L1	S86°48'11"W	39.90
L2	S81°13'04"W	59.09
L3	S52°30'59"W	38.31
L4	S77°44'28"W	31.59
L5	S55°22'54"W	31.78
L6	N37°32'48"W	40.85
L7	S20°23'40"E	22.79
L8	S81°15'28"W	51.66
L9	N49°44'37"W	18.78
L10	S84°22'20"W	44.60
L11	S72°49'18"W	24.60
L12	S85°07'07"W	41.75

S34°37'58"E 100.02
S34°37'58"E 110.03
S34°37'58"E 18.51
S32°27'58"E 71.62



LOCATION MAP NOT TO SCALE



REFERENCE PLAT

LOT 38
27,696 sq. ft.
0.64 acres

LOT 37
#85
22,372 sq. ft.
0.51 acres

NOTE: NO ELEVATION DATA IS SHOWN NORTH OF THIS LINE.

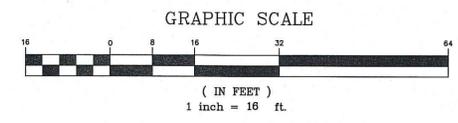
WETLAND
5,701 sq. ft.
0.131 acres

LOT 39
TOTAL AREA
25,399 sq. ft.
0.583 acres

LOT 40

LOT 36

- LEGEND**
- - CONCRETE MONUMENT SET
 - - CONCRETE MONUMENT FOUND
 - - IRON PIN SET
 - - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - - TEMPORARY BENCH MARK
 - - BUILDING SETBACK LINE
 - - TELEPHONE FEEDER/CONDUIT
 - - SANITARY LATERAL
 - - SANITARY SEWER MANHOLE
 - - ELECTRIC BOX
 - - SPOT ELEVATION SHOTS
 - - CONTOUR LINES
 - - UTILITY - TRANSFORMER
 - - WATER LATERAL
 - - WATER METER
 - - IRRIGATION CONTROL VALVE
 - - FIRE HYDRANT
 - - GRATE INLET
 - - POWER POLE
 - - OVER HEAD POWER LINE
 - - GUY LINE
 - - LIGHT POLE
 - - STORM DRAIN MANHOLE
 - - FIBEROPTIC MANHOLE
 - - HEAT PUMP
- TREE LEGEND**
- WOK - WHITE OAK
 - LAK - LAUREL OAK
 - LOK - LINE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - REB - RED BUD
 - SAS - SASSAPARRA
 - DOO - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@charleston.com
Phone 843-757-2650 Fax 843-757-5758

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STATE OF SOUTH CAROLINA
REGISTERED SURVEYOR
No. 26960
WILLIAM J. SMITH, PLS # 26960

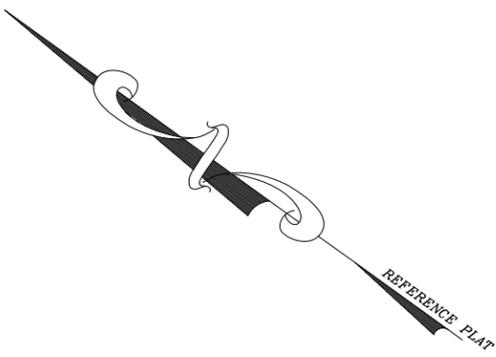
I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

STATE OF SOUTH CAROLINA
REGISTERED SURVEYOR
No. 4595
PREMIER PROFESSIONAL INVESTMENTS, LLC
WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
PREMIER PROFESSIONAL INVESTMENTS, LLC
AN AS-BUILT & PARTIAL TREE SURVEY ON LOTS 37 & 38 & A TREE & TOPOGRAPHIC SURVEY ON LOT 39 ARROW ROAD, A PORTION OF PHASE I, PALMETTO BAY CENTER, TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 552, MAP 14, PARCELS 838, 839 & 840

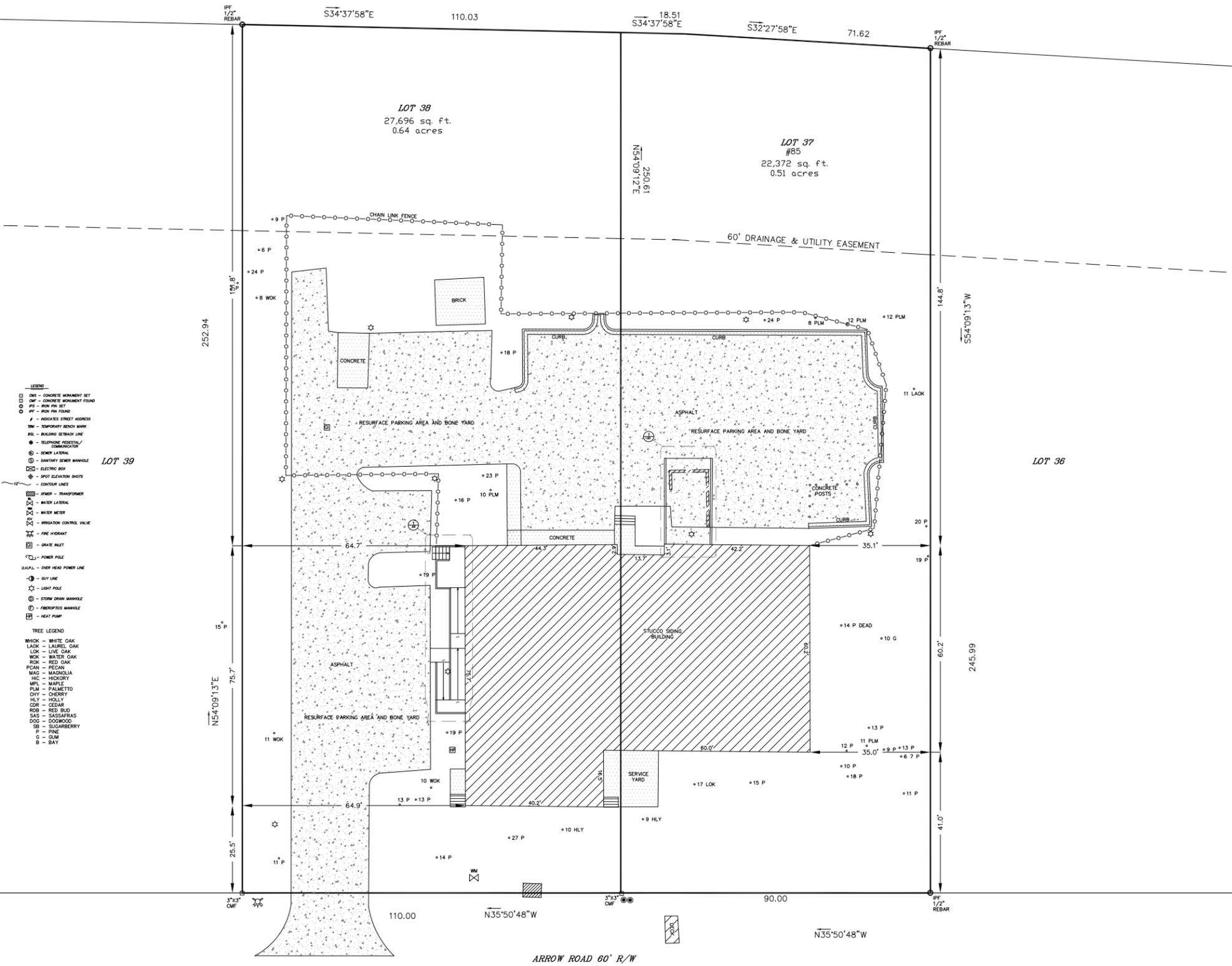
Notes:
1. According to FEMA Flood Insurance Rate Map # 450250 0013 D This Lot Appears To Lie In A Federal Flood Plain Zone A7, Minimum Required Elevation 14 Ft. NGVD29
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plat(s)
PLAT BOOK 28 AT PAGE 190

DRAWN BY: B.M.S.
APPROVED BY: W.J.S.
PARTY CHIEF: W.J.S.
DATE: OCTOBER 15, 2015

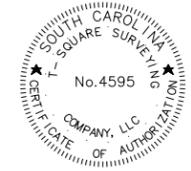
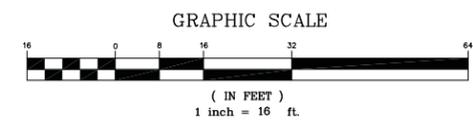


LOCATION MAP NOT TO SCALE

WEXFORD PLANTATION
GOLF COURSE



- LEGEND**
- - CONCRETE MONUMENT SET
 - - CONCRETE MONUMENT FOUND
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 - HLY - HOLLY
 - COB - CEDAR
 - RDB - RED BUD
 - SAC - SASSAPARILLA
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - BAY - BAY



DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 14, 2015

T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

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WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PREMIER PROFESSIONAL INVESTMENTS, LLC

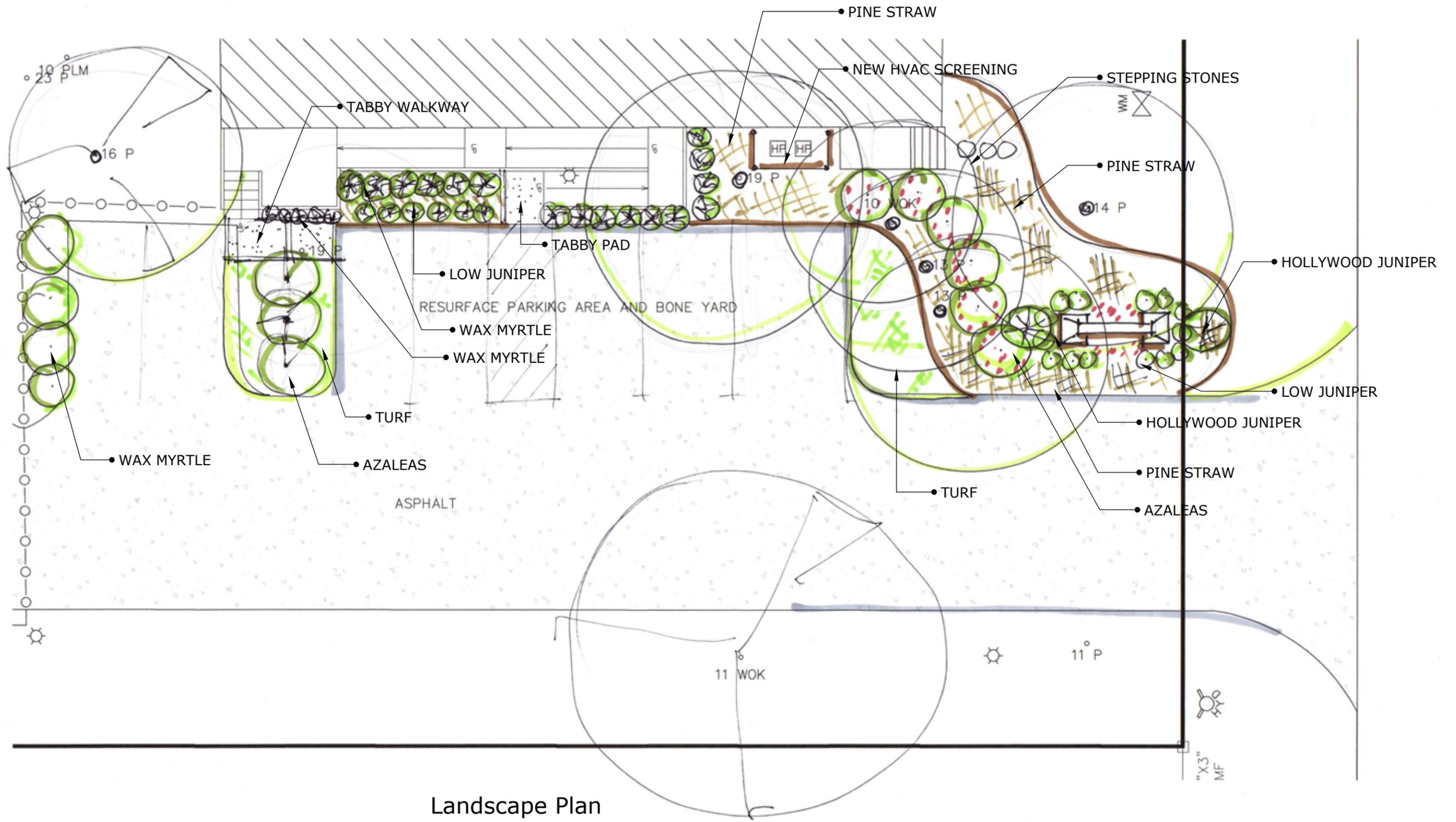
AN AS-BUILT & PARTIAL TREE SURVEY ON LOTS 37 & 38 ARROW ROAD, A PORTION OF PHASE I, PALMETTO BAY CENTER, TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 552, MAP 14, PARCELS 838 & 839

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Reference Plats:
PLAT BOOK 28 AT PAGE 190



Landscape Plan



724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

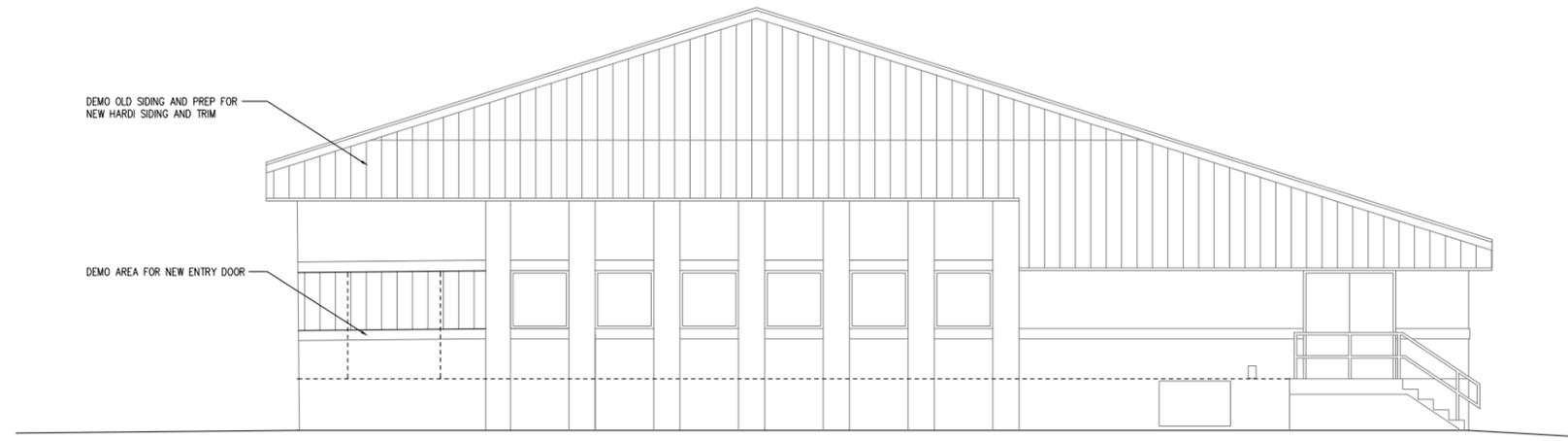
Owner
Mr. Derek Holland

MAIN FLOOR PLAN

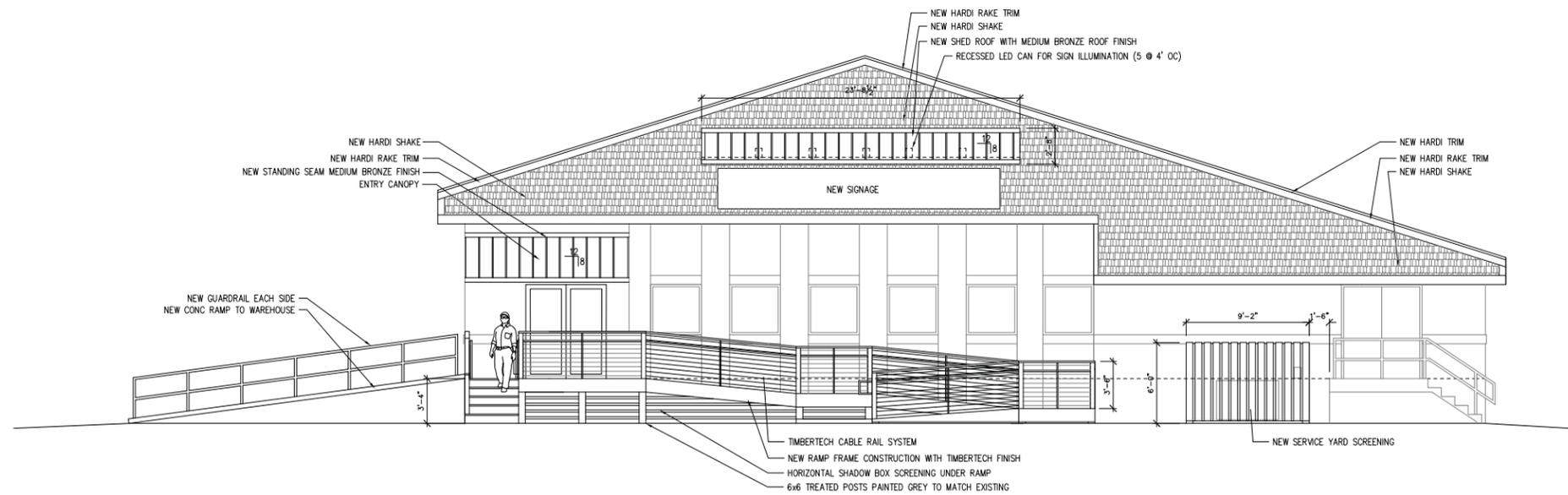
Project number
Date 02/09/16
Drawn by RMF
Checked by RLJ

A1

Scale



1 EXISTING BUILDING FRONT ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW FRONT ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

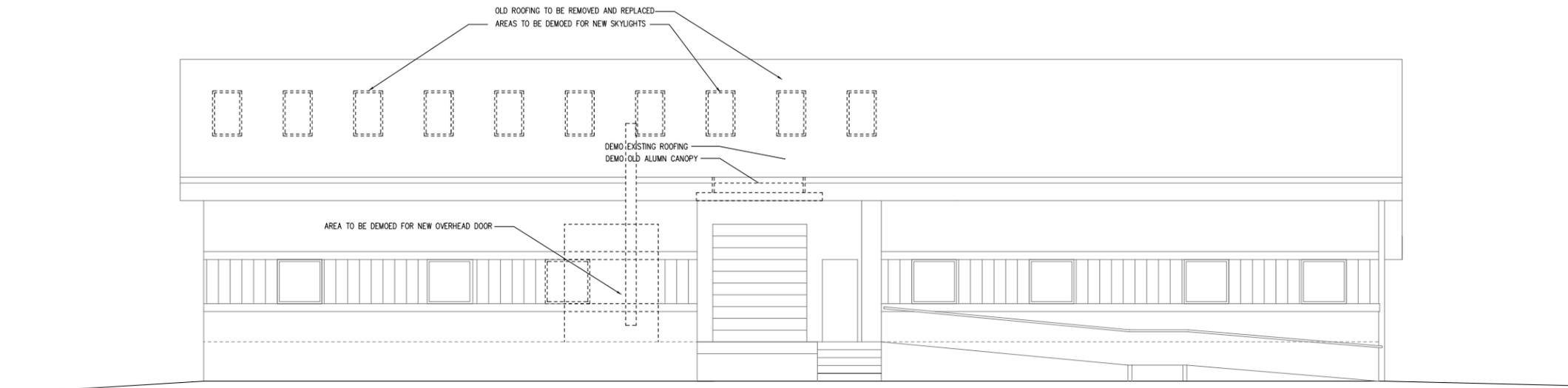
Owner
Mr. Derek Holland

Elevation Renovation
Plans

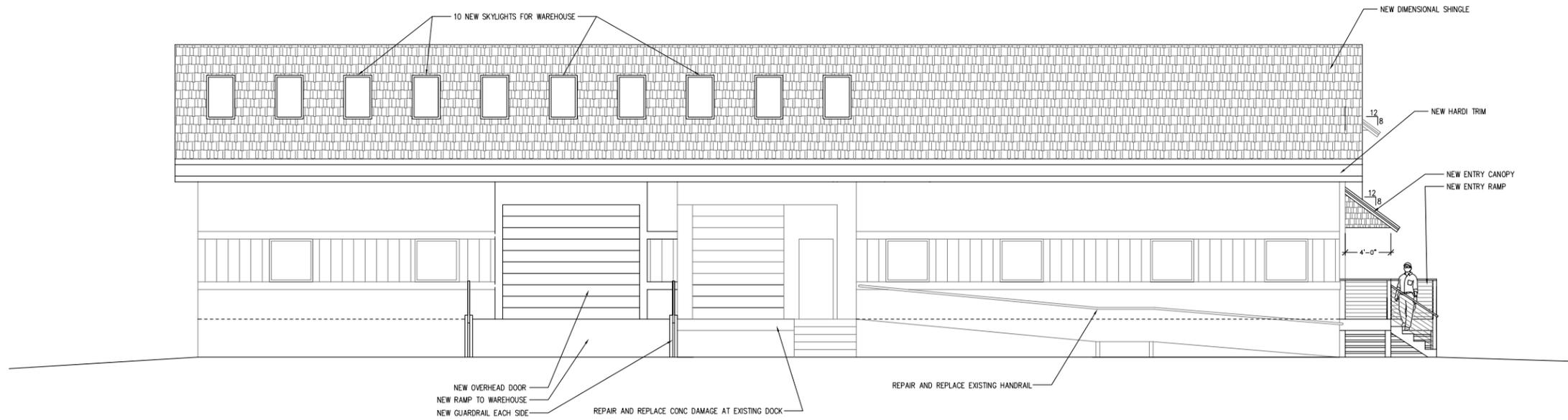
Project number
Date 02/09/16
Drawn by RMF
Checked by RLJ

A2

Scale



1 EXISTING BUILDING LEFT SIDE ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW LEFT SIDE ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

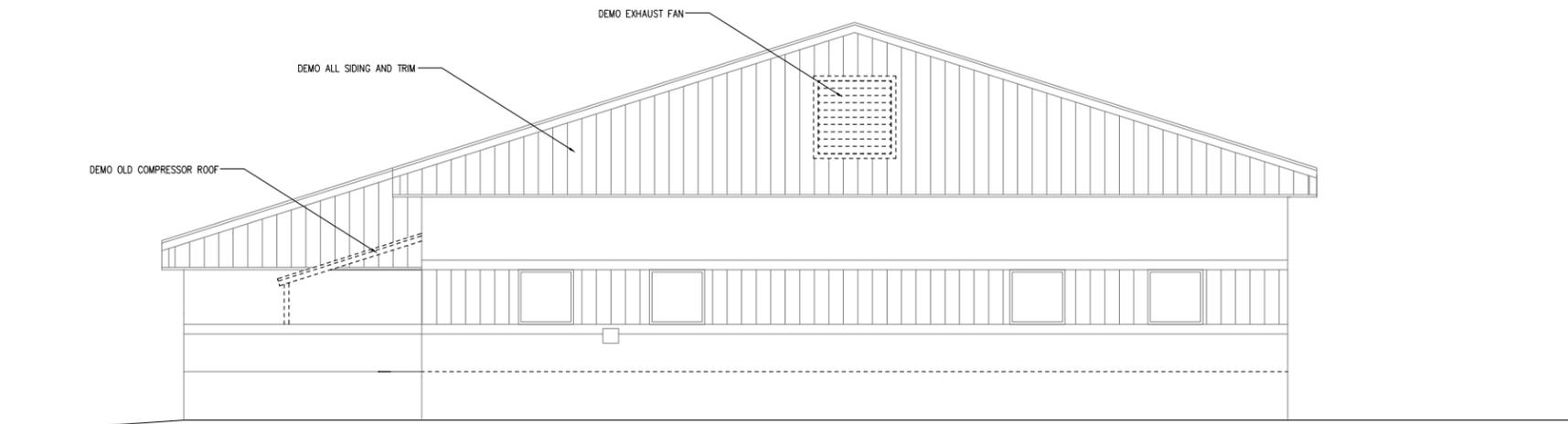
Owner
Mr. Derek Holland

Elevation Renovation
Plans

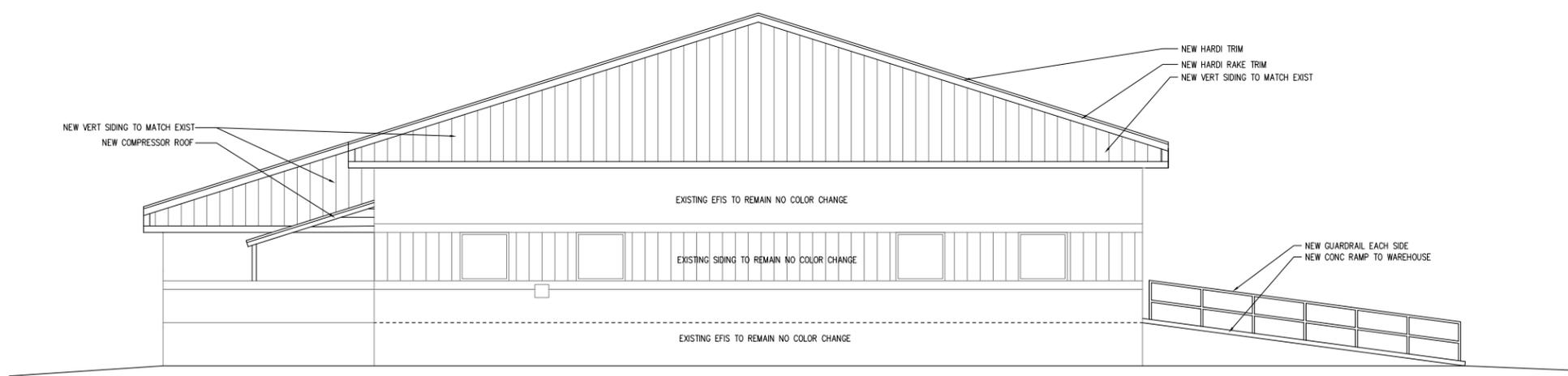
Project number
Date 02/09/16
Drawn by RMF
Checked by RLJ

A3

Scale



1 EXISTING BUILDING REAR ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW REAR ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD WINDVILLE TENNESSEE 37211 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

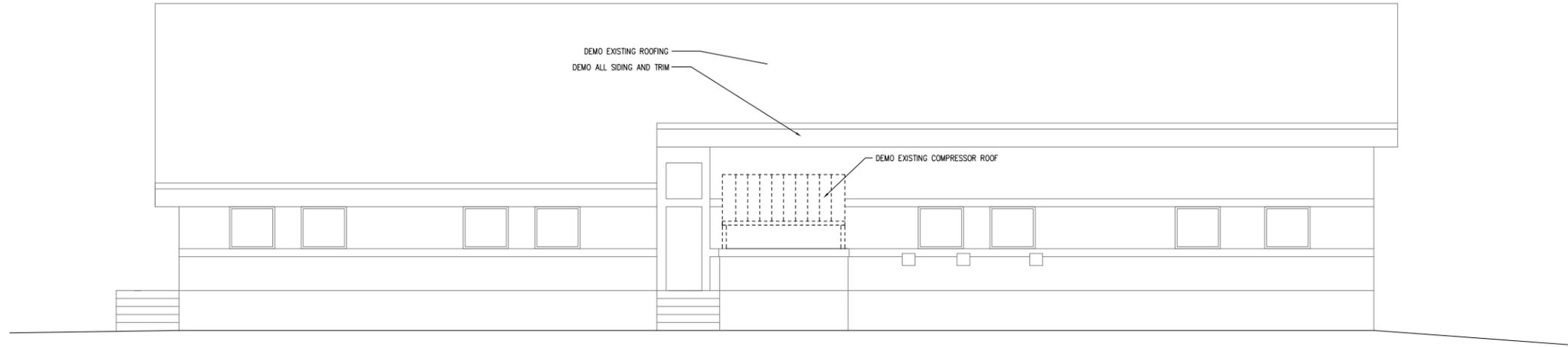
Owner
Mr. Derek Holland

Elevation Renovation
Plans

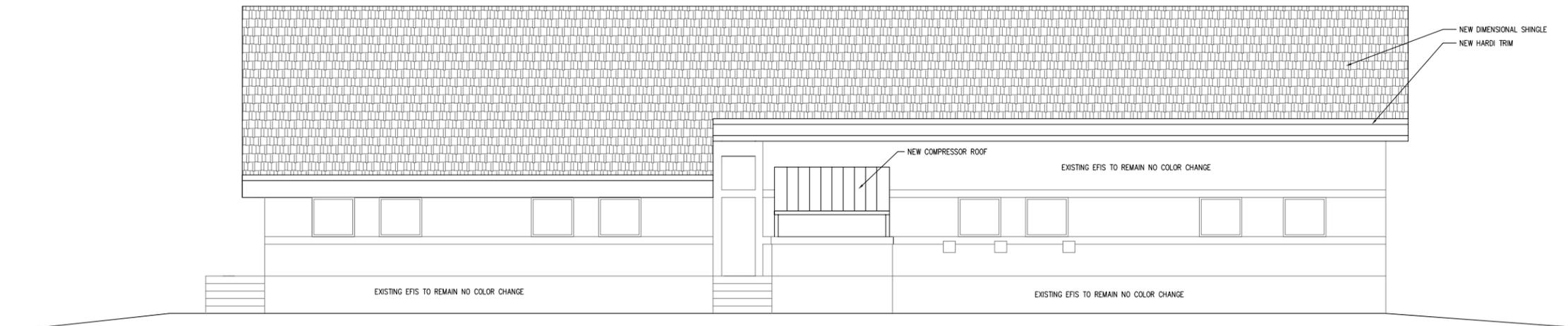
Project number
Date 02/09/16
Drawn by RMF
Checked by RLJ

A4

Scale



1 EXISTING RIGHT SIDE ELEVATION WITH DEMO
3/16" = 1'-0"



2 NEW RIGHT SIDE ELEVATION
3/16" = 1'-0"

southern draw

724 TAYLOR RD WOODVILLE TENNESSEE 3721 865.573.1148

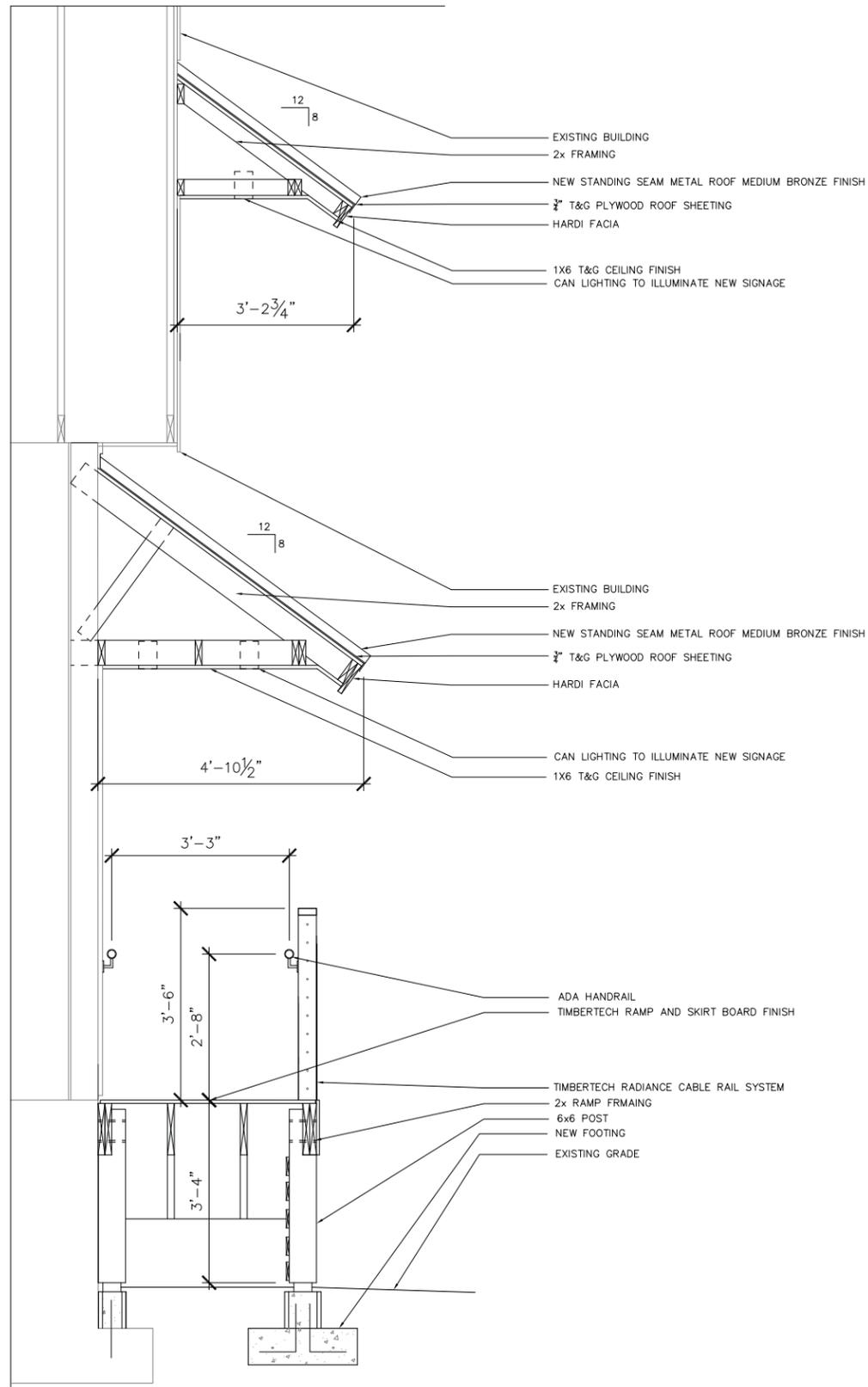
31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

Owner
Mr. Derek Holland
Elevation Renovation
Plans

Project number
Date 02/09/16
Drawn by RMF
Checked by RLJ

A5
Scale



1 WALL SECTION
3/4" = 1'-0"



724 TAYLOR RD KNOXVILLE TENNESSEE 37921 865.573.1148

31 MATHEWS DRIVE HILTON HEAD S.C. 29928 865.388.9324

**PREMIER ROOFING
WAREHOUSE
&
SHOWROOM**
85 Arrow Road
Hilton Head SC 29928

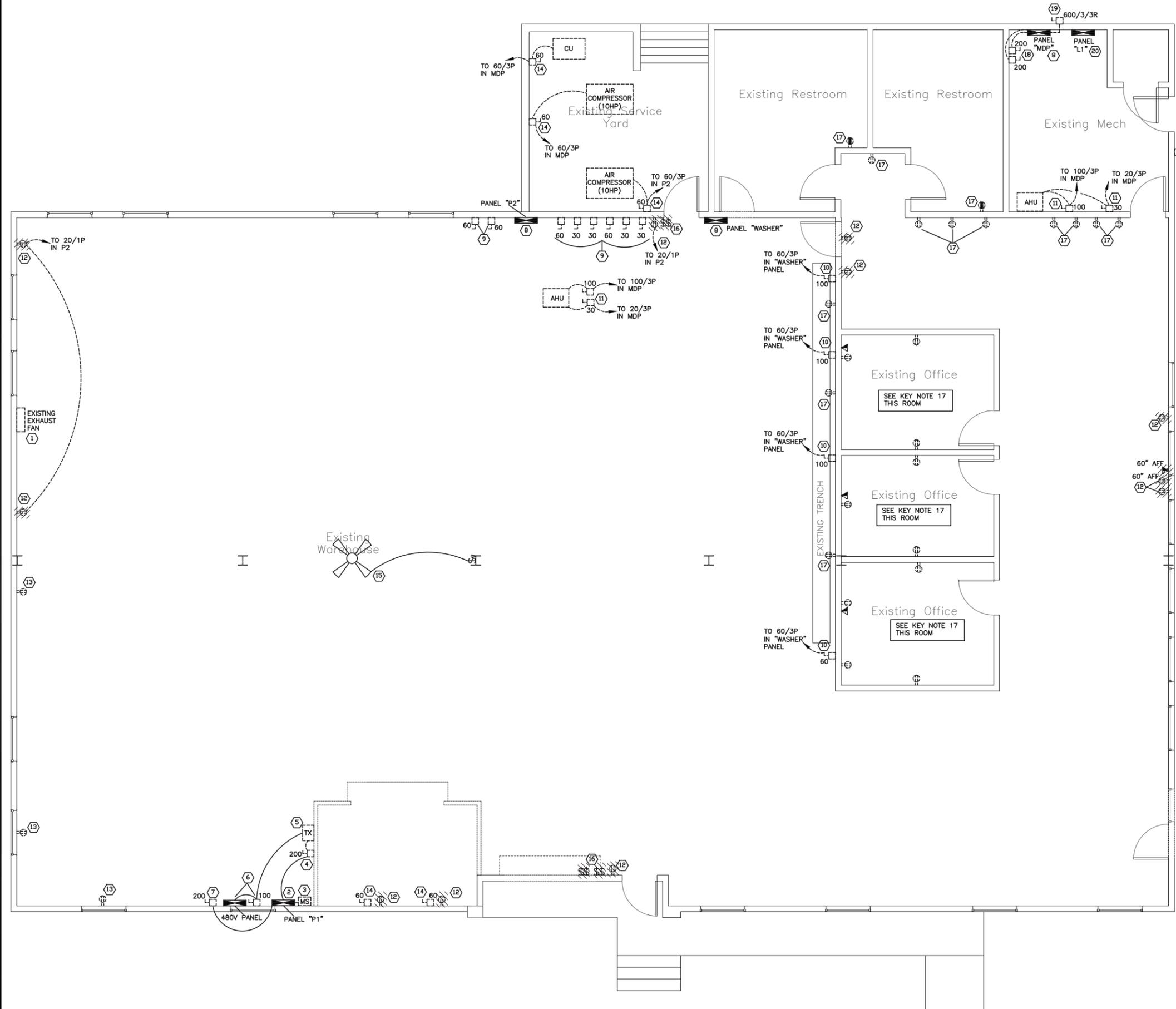
Owner
Mr. Derek Holland

TYPICAL WALL SECTION

Project number
Date 01,21,16
Drawn by
Checked by

A6

Scale



- GENERAL NOTES THIS SHEET:**
1. ALL PANELS AND DISCONNECTS SHOWN ARE 208/120V 3-PHASE UNLESS NOTED OTHERWISE; "NUMBER" ADJACENT TO DISCONNECT REPRESENTS FRAME SIZE.
 2. WHEREVER DISCONNECTS, TRANSFORMERS, PANELS, ETC. ARE INDICATED TO BE DEMOLISHED THE EQUIPMENT INDICATED AND ALL ASSOCIATED CONDUIT, WIRING, BREAKERS, ETC. SHALL BE COMPLETELY DEMOLISHED AND REMOVED FROM THE BUILDING UNLESS NOTED AS TO REMAIN OR BE RE-USED. TRACE CIRCUITING AS DEEMED NECESSARY.
 3. ALL EXISTING LIGHTING AND ASSOCIATED SWITCHING THROUGHOUT THE BUILDING SHALL BE DEMOLISHED AND REMOVED. LIGHTING IS 1X4 SUSPENDED STRIP FLUORESCENTS IN THE WAREHOUSE (APPROXIMATELY 30) AND 2X4 LAY-IN TROFFERS IN THE EXISTING OFFICE AREA (APPROXIMATELY 20).

- KEYED NOTES THIS SHEET:**
- ALL KEYED NOTES ARE REPRESENTED BY A 'X' SYMBOL.
1. EXISTING EXHAUST FAN TO REMAIN "AS IS". FAN CONTROLLED FROM MOTOR STARTER ADJACENT TO PANEL "P1".
 2. EXISTING PANEL "P1" FED FROM DISCONNECT ADJACENT TO PANEL "MDP". PANEL AND ASSOCIATED FEEDER CONDUIT AND WIRE TO REMAIN AND BE RE-FED FROM NEW PANEL "MDP". SEE RISER DIAGRAM. ABANDON BRANCH CIRCUITS IN PANEL TO DEMOLISHED AND REMOVED.
 3. EXISTING MOTOR STARTER SERVING EXHAUST FAN TO REMAIN.
 4. EXISTING 200A DISCONNECT FEEDING TRANSFORMER SHALL BE DEMOLISHED.
 5. EXISTING 75KVA 208:480V 3-PHASE DRY TYPE TRANSFORMER SHALL BE DEMOLISHED AND REMOVED.
 6. EXISTING 480V 3-PHASE 125A MLO PANEL AND ALL ASSOCIATED CIRCUITS IN PANEL TO BE DEMOLISHED; PANEL CONTAINS (4) 3-POLE CIRCUITS. EXISTING 100A DISCONNECT SERVING PANEL SHALL BE DEMOLISHED.
 7. EXISTING 200A DISCONNECT AND ASSOCIATED 1.5" EMT CONDUIT LEAVING DISCONNECT SHALL BE DEMOLISHED; CONDUIT IS EMPTY.
 8. EXISTING PANEL, PANEL FEEDER AND ALL BRANCH CIRCUITS SHALL BE DEMOLISHED AND REMOVED.
 9. EXISTING DISCONNECT SHALL BE DEMOLISHED AND REMOVED; DISCONNECT APPEARS TO BE FED FROM PANEL "P2"
 10. EXISTING DISCONNECT SHALL BE DEMOLISHED AND REMOVED; DISCONNECT APPEARS TO BE FED FROM PANEL "WASHER"
 11. EXISTING DISCONNECTS SERVING HVAC EQUIPMENT SHALL BE DEMOLISHED AND REMOVED.
 12. EXISTING RECEPTACLE(S) AND ASSOCIATED BRANCH CIRCUIT SHALL BE DEMOLISHED.
 13. EXISTING RECEPTACLES TO REMAIN "AS IS" AND CONTINUE TO OPERATE.
 14. EXISTING DISCONNECT AND ASSOCIATED CIRCUITING SHALL BE DEMOLISHED.
 15. EXISTING BIG ASS FAN AND ASSOCIATED SPEED CONTROL SHALL REMAIN "AS IS" AND BE RE-FED. SEE LIGHTING INSTALLATION PLAN.
 16. EXISTING SWITCHING CONTROLLING WAREHOUSE LIGHTING AND ALL ASSOCIATED LIGHT FIXTURES SHALL BE DEMOLISHED AND REMOVED.
 17. EXISTING DEVICE(S) TO REMAIN AND BE RE-CIRCUITED AS SHOWN; SEE POWER INSTALLATION PLAN.
 18. EXISTING 200A DISCONNECTS SERVE PANELS "P1" AND "P2". DISCONNECTS AND ASSOCIATED LINE SIDE WIRING SHALL BE DEMOLISHED AND REMOVED. PANEL FEEDER SERVING PANEL "P1" SHALL REMAIN AND BE RE-CONNECTED TO NEW PANEL "MDP". PANEL FEEDER SERVING PANEL "P2" SHALL BE DEMOLISHED AND REMOVED COMPLETE. FEEDER CIRCUITS APPEAR TO "TAP" THE BUS WITHIN THE 600A PANELBOARD, RUN TO THE DISCONNECT AND THEN THE LOAD SIDE RUN OUT TO THE RESPECTIVE PANELS AFTER BEING RUN BACK THROUGH PANEL "MDP" (PANEL "MDP" IS USED AS A WIREWAY).
 19. EXISTING 600A FUSED SERVICE DISCONNECT AND ASSOCIATED FEEDER SHALL REMAIN AND BE RE-USED TO SERVE NEW PANEL "MDP".
 20. EXISTING PANEL "L1" SHALL REMAIN AND BE RE-USED. DEMOLISH AND REMOVE ALL BRANCH CIRCUITS CURRENTLY FED FROM PANEL. BREAKERS SHALL REMAIN AND BE RE-USED TO SERVE NEW BRANCH CIRCUITS. PANEL CONTAINS (30) 1-POLE 20A CIRCUITS.

1 EXISTING ELECTRICAL & DEMOLITION PLAN
E100 SCALE: 1/4" = 1'-0"

CDDC
CONSULT
DESIGN
DRAFT
CONSTRUCT

P.O. BOX 2869 HILFTON, S.C. 29910
ph. 843-384-4731 fx. 843-837-3577

CDDC LLC
No. 3906

Professional Engineer
No. 26988
South Carolina
Professional Engineer
John J. Jones
ELECTRICAL ENGINEER

PREMIER ROOFING

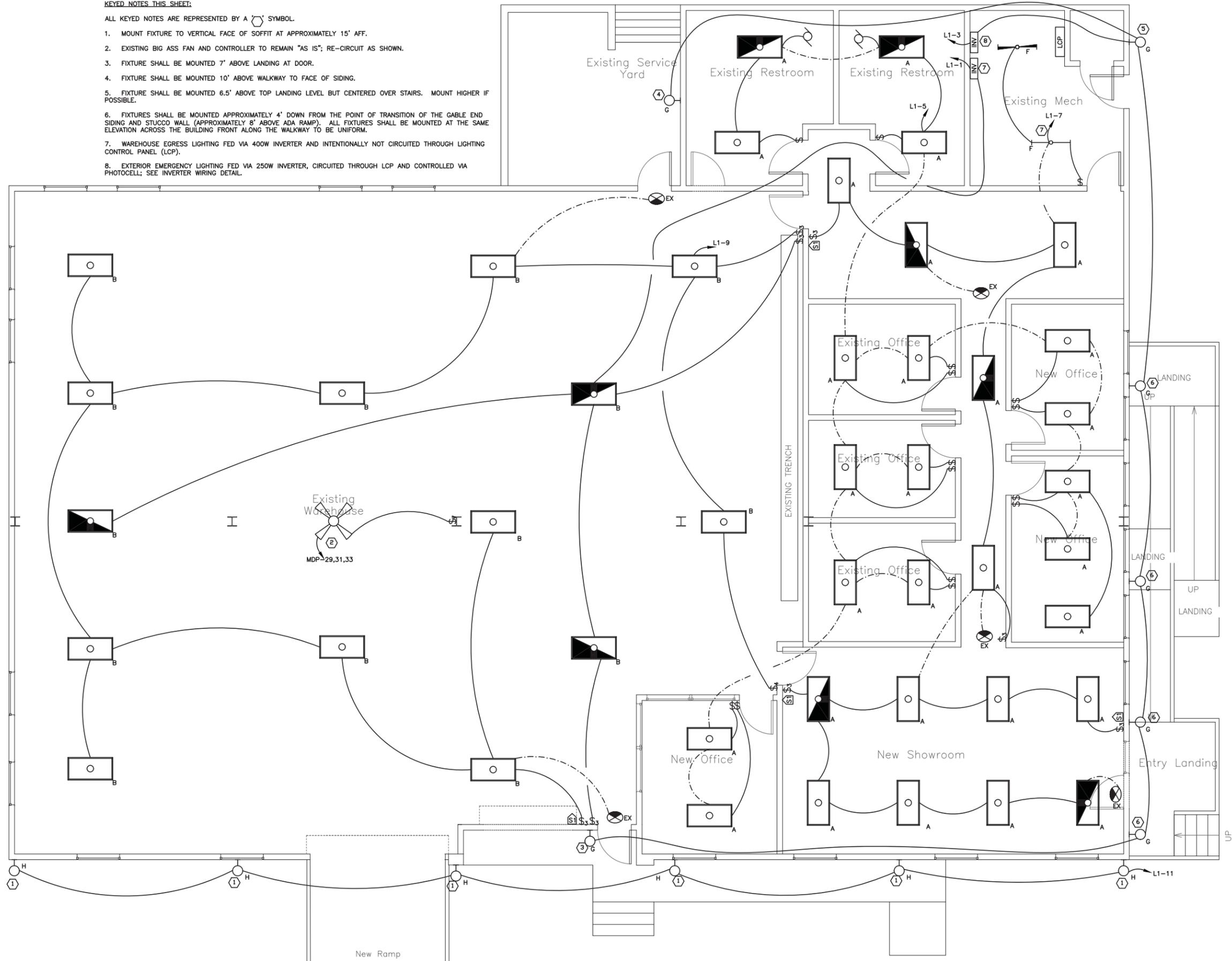
BEARROW ROAD
HILTON HEAD, SOUTH CAROLINA 29928

Revisions	
XXX	
Submital	
PERMIT	
Drawn By	Checked By
RMV	RMV
Date	02/02/2016
Scale	AS SHOWN
Project Number	1608-MS-E-1
Sheet	E100

KEYED NOTES THIS SHEET:

ALL KEYED NOTES ARE REPRESENTED BY A  SYMBOL.

1. MOUNT FIXTURE TO VERTICAL FACE OF SOFFIT AT APPROXIMATELY 15' AFF.
2. EXISTING BIG ASS FAN AND CONTROLLER TO REMAIN "AS IS"; RE-CIRCUIT AS SHOWN.
3. FIXTURE SHALL BE MOUNTED 7' ABOVE LANDING AT DOOR.
4. FIXTURE SHALL BE MOUNTED 10' ABOVE WALKWAY TO FACE OF SIDING.
5. FIXTURE SHALL BE MOUNTED 6.5' ABOVE TOP LANDING LEVEL BUT CENTERED OVER STAIRS. MOUNT HIGHER IF POSSIBLE.
6. FIXTURES SHALL BE MOUNTED APPROXIMATELY 4' DOWN FROM THE POINT OF TRANSITION OF THE GABLE END SIDING AND STUCCO WALL (APPROXIMATELY 8' ABOVE ADA RAMP). ALL FIXTURES SHALL BE MOUNTED AT THE SAME ELEVATION ACROSS THE BUILDING FRONT ALONG THE WALKWAY TO BE UNIFORM.
7. WAREHOUSE EGRESS LIGHTING FED VIA 400W INVERTER AND INTENTIONALLY NOT CIRCUITED THROUGH LIGHTING CONTROL PANEL (LCP).
8. EXTERIOR EMERGENCY LIGHTING FED VIA 250W INVERTER, CIRCUITED THROUGH LCP AND CONTROLLED VIA PHOTOCELL; SEE INVERTER WIRING DETAIL.



1 LIGHTING INSTALLATION PLAN
E200 SCALE: 1/4" = 1'-0"

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DESIGN
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CONSTRUCT

P.O. BOX 2869 BLUFFTON, S.C. 29910
ph. 843-384-4731 fx. 843-837-3577

STATE OF SOUTH CAROLINA
CDDC
LLC
No. 3906

STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL
No. 26988
Electrical
John J. ...

**PREMIER
ROOFING**

85 ARROW ROAD
HILTON HEAD, SOUTH CAROLINA 29928

Revisions	
XXX	
Submitted	PERMIT
Drawn By	Checked By
RMY	RMY
Date	02/02/2016
Scale	AS SHOWN
Project Number	1608-MS-E-1
Sheet	E200

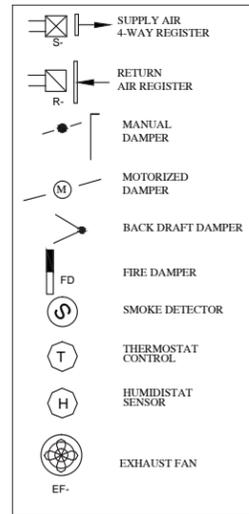
TAG	DESCRIPTION	BASIS OF DESIGN *	DESIGN BASIS MODEL	COOL (BTUH)	HEAT (KW)	SEER /EER	STATIC (inH2O)	SUPPLY (CFM)	O.S.A. (CFM)	VOLTS	NOTES
AH-1	AIR HANDLER	CARRIER	FB4CNP048L00	45,470	-	-	0.5	1,600	130	208/230/1/60	B
CU-1	CONDENSER UNIT	CARRIER	Z5HCE448A003	45,470	-	14.0	-	N/A	N/A	208/230/1/60	A
AH-2	AIR HANDLER	CARRIER	FB4CNP048L00	45,470	-	-	0.5	1,600	130	208/230/1/60	B
CU-2	CONDENSER UNIT	CARRIER	Z5HCE448A003	45,470	-	14.0	-	N/A	N/A	208/230/1/60	A
AH-3	AIR HANDLER	CARRIER	FB4CNP061L00	57,100	-	-	0.5	1,885	460	208/230/1/60	B
CU-3	CONDENSER UNIT	CARRIER	Z5HCE460A003	57,100	-	14.0	-	N/A	N/A	208/230/1/60	A

A. TP-PHP01 PERFORMANCE SERIES, PROGRAMMABLE THERMOSTAT FOR OUTDOOR UNIT
 B. KFCEH0501N05 5 KW, ELECTRIC HEATER, NON-FUSED, 1 PHASE, WITH RELAYS FOR INDOOR UNIT

TAG	DESCRIPTION	BASIS OF DESIGN	DESIGN BASIS MODEL #	DUCT SIZE	CFM
S-1	4-WAY MODULAR CORE DIRECTIONAL DIFFUSER	TITUS	TMS-AA-4-12x12-1-26	4"	0-65
S-2	4-WAY MODULAR CORE DIRECTIONAL DIFFUSER	TITUS	TMS-AA-7-24x24-1-26	6"	65-150
S-3	4-WAY MODULAR CORE DIRECTIONAL DIFFUSER	TITUS	TMS-AA-7-24x24-1-26	7"	150-210
S-4	SINGLE DEFLECTION HORIZONTAL SUPPLY GRILLE	TITUS	301-R-L-12x8-1-26-AG-15	12x8	200-250
R-1	LOUVERED FACE FILTER RETURN	TITUS	350FLF1-24x24-1-26	7"	150-200
R-2	LOUVERED FACE FILTER RETURN	TITUS	350FLF1-24x24-1-26	10"	300 - 400
R-3	LOUVERED FACE FILTER RETURN	TITUS	350FLF1-24x24-1-26	12"x12"	650 - 750
OA-1	OUTSIDE AIR INTAKE GRAVITY VENTILATOR	GREENHECK	GRSI-12	12-1/4"	1,512 MAX
PR-1	RELIEF AIR GRAVITY HOOD	GREENHECK	GRSR-12	12-1/4"	1,512 MAX

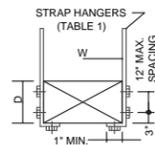
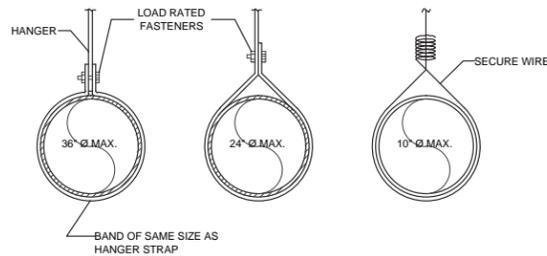
TAG	DESCRIPTION	BASIS OF DESIGN *	MODEL	CFM	POWER
EF-1	CEILING MOUNTED EXHAUST VENTILATOR	GREENHECK	SP-B90	89 @ 0.125 inH2O	120/1/60, 0.18 AMP
EF-2	CEILING MOUNTED EXHAUST VENTILATOR	GREENHECK	SP-B90	89 @ 0.125 inH2O	120/1/60, 0.18 AMP

BATHROOM EXHAUST FANS SHALL BE CONTROLLED USING THE BATHROOM LIGHT SWITCH.



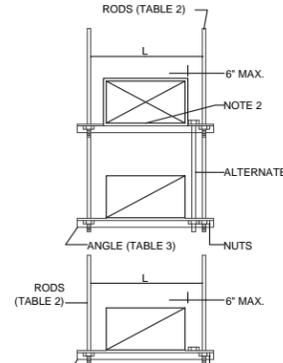
MECHANICAL HVAC NOTES:

- ALL MATERIALS, EQUIPMENT, AND WORK SHALL BE IN ACCORDANCE (IAW) THE REQUIREMENTS OF ALL GOVERNING REGULATORY AGENCIES AND CODES INCLUDING THE 2012 INTERNATIONAL MECHANICAL CODE (IMC), THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), ALL CURRENT STATE OF SOUTH CAROLINA AMENDMENTS TO THE CODES, AND LOCAL REQUIREMENTS.
- FURNISH AND INSTALL ALL AIR CONDITIONING UNITS, DUCT WORK, REFRIGERANT TUBING, DUCT & REFRIGERANT TUBING INSULATION, DIFFUSERS, TEMPERATURE & HUMIDITY CONTROLS, SMOKE DETECTORS, EXHAUST FANS, AND MANUAL VOLUME CONTROL DAMPERS. INSTALL FIRE DAMPERS AT ALL FIRE RATED BOUNDARY DUCT PENETRATIONS.
- PROVIDE CONDENSATE DRAIN PIPES, CONDENSATE DRIP PANS, AUTOMATIC PAN OVERFLOW, AIR HANDLER SHUTOFF SWITCH AND AN EMERGENCY PAN DRAIN. THE CONDENSATE DRAINS MUST BE ROUTED TO AN ACCESSIBLE HUB DRAIN CONNECTED TO THE SANITARY SEWER OR SHALL BE ROUTED OUT OF THE BUILDING TO A DISCHARGE POINT AWAY FROM NORMAL USER & PEDESTRIAN TRAFFIC. THE EMERGENCY PAN DRAIN SHALL BE ROUTED OUT OF THE BUILDING AND DISCHARGE AT A LOCATION LIKELY TO BE NOTICED BY THE BUILDING OCCUPANTS.
- ALL FLEX DUCT SHALL BE UL LISTED, CLASSIFIED AS A CLASS 1 AIR DUCT AND MEET ALL CODE REQUIREMENTS.
- ALL DUCTWORK IS TO BE INDEPENDENTLY SUPPORTED FROM STRUCTURAL MEMBERS IN AN APPROVED MANNER.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IAW THE 2012 IMC, 2009 IECC, ALL CURRENT STATE OF SOUTH CAROLINA AMENDMENTS TO THE CODES, AND LOCAL REQUIREMENTS.
- FURNISH A WRITTEN GUARANTEE COVERING A ONE YEAR PERIOD FOR ALL NEW EQUIPMENT AND AN ADDITIONAL FOUR YEAR PERIOD FOR THE COMPRESSORS IN THE AIR CONDITIONING UNITS.
- ALL INTERIOR DUCT SHALL BE GALV SHEET METAL WITH EXTERIOR INSULATION. FLEX DUCT MAY BE USED FOR THE LAST 5' OF RUNOUT TO SUPPLY REGISTERS IN CONCEALED LOCATIONS ONLY.
- INSULATE ALL DUCTING; USE A MINIMUM OF R8 INSULATION ON DUCTS EXPOSED TO THE OUTSIDE AIR OR IN AN UNCONDITIONED SPACE. USE R6 DUCT INSULATION ON ALL OTHER DUCTING.
- INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50.
- ALL DUCTING MATERIAL SHALL BE INSTALLED IN LEVEL SQUARE MANNER TO SUIT THE INTERIOR. FLEX DUCT IS NOT PERMITTED ON ANY EXPOSED DUCTING.
- PROVIDE METAL COLLARS FOR DUCT TAKEOFFS FROM THE TRUNK DUCT. THE SUPPLY TAKEOFFS SHALL BE FITTED WITH MANUAL AIR VOLUME DAMPERS WITH LOCKING QUADRANTS AND AIR SCOPES. SEAL TRANSVERSE DUCT JOINTS WITH DUCT FABRIC TAPE AND MASTIC TYPE DUCT SEALER.
- ANY CHANGE IN THE SPECIFIED EQUIPMENT MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE HVAC CONTRACTOR IS PERMITTED TO MAKE ADJUSTMENTS TO THE DUCT LAYOUT TO IMPROVE AIR DISTRIBUTION. DUCT MATERIAL OF DIFFERENT SHAPES THAN INDICATED ON THE PLANS MAY BE USED PROVIDED THAT THE CROSS-SECTIONAL AREA OF THE DUCT IS MAINTAINED.
- THERMOSTATS ARE TO BE DIGITAL, 2-STAGE HEAT, 1-STAGE COOL, WITH 4 EVENT PER DAY, 7 DAY FULL FEATURE PROGRAMMING, UNLESS OTHERWISE DETERMINED BY THE OWNER'S REPRESENTATIVE. THE THERMOSTATS SHALL BE CAPABLE OF OPERATION USING A REMOTE RETURN AIR DUCT MOUNTED HUMIDITY & TEMPERATURE SENSOR.
- THE WAREHOUSE SPLIT SYSTEM SHALL BE FITTED WITH AN ECONOMIZER. THE ECONOMIZER SHALL OPERATE WHEN THE OUTDOOR TEMPERATURE AND HUMIDITY ARE SUITABLE TO PROVIDE INDOOR CONDITIONING AND THERE IS A CALL FOR COOLING. WHEN THE CONDITIONS ARE SUITABLE, MOTORIZED DAMPERS IN THE RETURN AIR DUCTS SHALL CLOSE SO THAT ONLY THE ECONOMIZER DUCT IS ROUTED TO THE AIR HANDLER. THE AIR HANDLER FAN SHALL CYCLE ON AND THE ECONOMIZER DAMPER SHALL OPEN FULLY TO ALLOW OUTSIDE AIR CONDITION OF THE INDOOR ENVIRONMENT. PROVIDE BUILDING RELIEF TO COUPLE WITH THE ECONOMIZER OPERATION.
- FILTERS ARE TO BE INSTALLED IN ALL RETURN AIR GRILLES. ASSURE THAT THE RETURNS ARE IN ACCESSIBLE LOCATION MAKE PROVISIONS SO THAT THE FILTER GRILLE SWINGS FREE OF THE FITTING FRAME TO ALLOW FOR REMOVAL & REPLACEMENT OF THE FILTERS.
- THE MECHANICAL EQUIPMENT SHALL BE INSTALLED SO THAT IT IS EASILY ACCESSIBLE FOR MAINTENANCE AND REPAIRS.
- FIELD COORDINATE LOCATION OF INDOOR UNITS TO AVOID STRUCTURAL ELEMENTS AND PIPING.
- CONDENSATE PIPING SHALL BE TRAPPED PER MANUFACTURER'S INSTRUCTIONS. CONDENSATE DRAIN PIPING MAY BE PVC OR COPPER.
- PROVIDE A COMPLETE SET OF OPERATIONS AND MAINTENANCE MANUALS FOR ALL HVAC EQUIPMENT TO THE OWNERS' REPRESENTATIVE.
- COORDINATE THE EQUIPMENT LOCATIONS WITH THE ELECTRICAL PROVISIONS FOR THE GEAR.
- T-STATS & HUMIDISTATS, SHALL BE LOCATED IN THE SPACE BEING CONDITIONED NEAR A RETURN AIR GRILLE FOR THE SYSTEM BEING CONTROLLED BY THE DEVICE.
- ALL INDOOR AND OUTDOOR EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER SPECIFIED MINIMUM SERVICE AND OPERATING CLEARANCES.
- DESIGN BASIS GEAR MAY BE REPLACED WITH GEAR OF A DIFFERENT MANUFACTURER PROVIDED THAT THE PERFORMANCE PARAMETERS OF THE ALTERNATIVE GEAR MEETS OR EXCEEDS THE DESIGN BASIS GEAR PERFORMANCE PARAMETERS AND THE OWNER APPROVES OF THE ALTERNATIVE SELECTION.
- WHERE NO INFORMATION IS AVAILABLE FOR CONSIDERATION, HEAT LOSS & HEAT GAIN CALCULATION ESTIMATES OF THE BUILDING ASSUME MINIMUM CODE COMPLIANT PERFORMANCE FROM ALL ENVELOPE COMPONENTS INCLUDING GLAZING AND INSULATION.
- UPON COMPLETION OF THE HVAC SYSTEM INSTALLATION, AND PRIOR TO RELEASING THE SYSTEM TO THE USER, PROVIDE A COMPLETE TEST, ADJUST, & BALANCE OF ALL EQUIPMENT AND DUCT SYSTEMS. THE TAB SHALL BE PERFORMED BY A QUALIFIED INDEPENDENT, 3RD PARTY TAB CONTRACTOR. FURNISH THE OWNER WITH A WRITTEN REPORT INDICATING THE TAB CONTRACTOR'S QUALIFICATIONS, THE WRITTEN TAB PROCEDURE TO BE FOLLOWED, AND THE CERTIFIED TAB RESULTS.
- AN AIR INTAKE SHALL BE INSTALLED ON THE RETURN AIR PLENUM OF THE OFFICE AIR HANDLERS AS INDICATED ON THE PLANS. THE INTAKES SHALL BE FITTED WITH MANUAL VOLUME DAMPERS. BALANCE THE OUTSIDE AIR AND RETURN AIR TO MEET THE REQUIREMENTS OF THE HVAC EQUIPMENT SCHEDULE.
- EACH OUTSIDE AIR INTAKE & EXHAUST AIR DISCHARGE LOUVER SHALL BE FITTED WITH A BIRD SCREEN. EXHAUST AND INTAKE PORTS SHALL BE A MINIMUM OF 10' APART.
- PROVIDE COMPLETE HVAC SYSTEMS. ALL HVAC SYSTEMS SHALL INCLUDE ALL AIR FLOW, CONTROL, AND OPERATIONAL ELEMENTS AND SHALL BE CONSTRUCTED, AND INSTALLED IN A CODE COMPLIANT MANNER. ELEMENTS OF THE SYSTEM NOT IDENTIFIED IN THIS PLAN BUT REQUIRED BY CODE SHALL BE INCLUDED IN THE SCOPE OF SUPPLY.
- ALL EQUIPMENT AND DUCTING SHALL BE SECURED IN ACCORDANCE WITH THE WIND ZONE AND SEISMIC REQUIREMENTS OF THE AREA WHERE INSTALLED.



W+D MAX.	10'-0" MAX.	8'-0" MAX.	5'-0" OR LESS
72"	1" x 22 GA	1" x 22 GA	1" x 22 GA
96"		1" x 20 GA	1" x 22 GA
120"		1" x 18 GA	1" x 22 GA
168"			1" x 18 GA
192"			1" x 16 GA
192"+	SPECIAL ANALYSIS REQUIRED		

STRAPS	LBS.	RODS	LBS.
(2)-1"x22 GA	520	2-1/4" DIA.	540
(2)-1"x20 GA	640	2-3/8" DIA.	1360
(2)-1"x18 GA	840	2-1/2" DIA.	2500
(2)-1"x16 GA	1400	2-5/8" DIA.	4000
(2)-1"x14 GA	1600	2-3/4" DIA.	6000

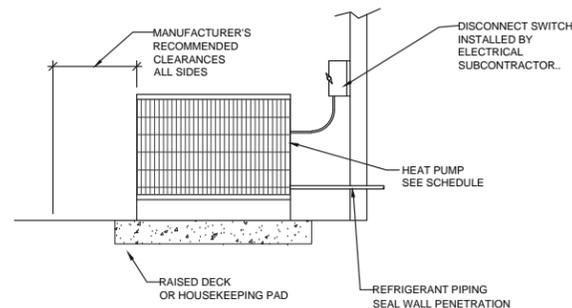


L	2' x 2" x 1/4"	2-1/2" x 2-1/2" x 1/4"
36"	1200 LBS	1940 LBS
48"	1160 LBS	1900 LBS
60"	1060 LBS	1800 LBS
72"	900 LBS	1640 LBS
84"	660 LBS	1400 LBS
96"	320 LBS	1060 LBS

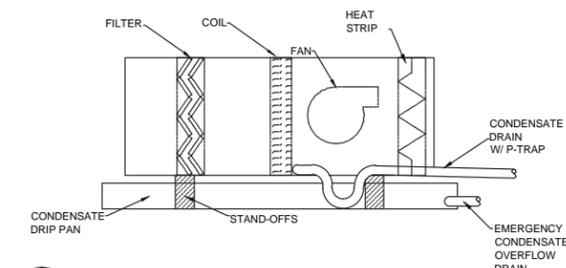
NOTES:
 1. TABULATED DATA FROM SMACNA ALLOWS FOR DUCT REINFORCING AND INSULATION, BUT NO EXTERNAL LOAD.
 2. PROVIDE HIGH DENSITY INSERT AT TRAPEZE FOR INSULATED DUCTS.

ROUND DUCT HANGERS
 SCALE: NOT TO SCALE

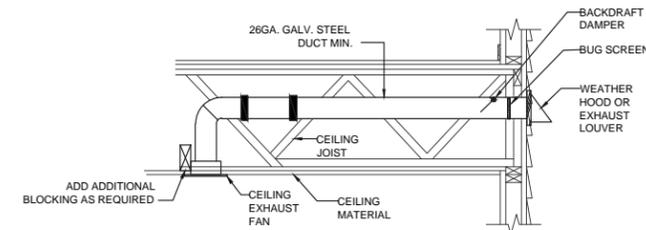
RECTANGULAR DUCT HANGERS
 SCALE: NOT TO SCALE



CONDENSOR UNIT DETAIL
 SCALE: NOT TO SCALE



DETAIL: AIR HANDLER
 SCALE: NOT TO SCALE



TYPICAL CEILING MOUNTED EXHAUST FAN
 SCALE: NOT TO SCALE

CDDC
 CONSULT DESIGN DRAFT CONSTRUCT
 P.O. BOX 2859 BLUFFTON, S.C. 29910
 ph. 843-384-4731 fax. 843-837-3577

ISLANDS ENGINEERING, P.C.
 NO. 4010
 PROFESSIONAL ENGINEER
 SOUTH CAROLINA
 NO. 27271
 PROFESSIONAL ENGINEER
 SOUTH CAROLINA
 EXPIRES 12/31/2016

ISLANDS ENGINEERING, PC
 110 HOLCOMB STREET
 SAVANNAH, GA 31406
 PHN: (912) 356-9035
 email: saveng@bellsouth.net

PREMIER ROOFING
 85 ARROW ROAD ADDRESS

DATE	ISSUE
XXX	
Submitted	IB/BQ
Checked By	BQ
Date	02-02-2016
Scale	AS INDICATED
Project Number	2-25-16
Sheet	M1.0

Report Prepared By: **Islands Engineering**

For: Premier Roofing Offices & Showroom
85 Arrow Rd
Bluffton, SC

Design Conditions: Savannah; Latitude: 32; Time 4:00 PM

Indoor:		Outdoor:	
Summer temperature:	75	Summer temperature:	95
Winter temperature:	68	Winter temperature:	27
Relative humidity:	55	Summer grains of moisture:	116
		Daily temperature range:	20

Building Component	Sensible Gain (BTUH)	Latent Gain (BTUH)	Total Heat Gain (BTUH)	Total Heat Loss (BTUH)
Miscellaneous	33,370	230	33,600	0
Windows	15,055	0	15,055	2,771
Ventilation	5,500	7,650	13,150	11,275
Lights	10,496	0	10,496	0
Ceilings	8,473	0	8,473	4,289
People	4,500	3,600	8,100	0
Partitions	5,000	0	5,000	3,334
Walls	1,497	0	1,497	3,509
Door Leakage	572	796	1,368	2,185
Doors	1,232	0	1,232	508
Infiltration	0	0	0	7,076
Duct	0	0	0	0
Skylights	0	0	0	0
Floors	0	0	0	5,978
Whole Building - All Components	85,695	12,276	97,971	40,905
			(8 tons)	

OUTSIDE AIR CALCULATIONS

VENTILATION CALCULATIONS ARE IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL CODE.

FROM IMC EQN 4-1: $VBZ = RP * PZ + RA * AZ$ WHERE:

VBZ - AIR FLOW RATE

AZ - BREATHING ZONE AREA

PZ - QUANTITY OF OCCUPANTS, DERIVED TABLE 403.3

RP - PEOPLE FLOW RATE FROM IMB TABLE 403.3

RA - AREA AIR FLOW FACTOR FROM IMB TABLE 403.3

AZ = 2,615 FT2 (TOTAL) OFFICE OCCUPANCY

PZ - PEOPLE FROM IMC TABLE 403.3 PZ= 20 X (AZ / 1000)

RP = 14 PEOPLE

RP = 5 CFM/PERSON

RA = 0.06 CFM/FT2

THEN VBZ = RP (CFM/PERSON) X PZ (PEOPLE) + RA (CFM/FT2) X AZ (FT2)

VBZ = 227 CFM O.A.

TOTAL OUTSIDE AIR PROVIDED FOR OFFICE AREAS: $Q_{OA} = 260$ CFM

Report Prepared By: **Islands Engineering**

For: Premier Roofing Warehouse
85 Arrow Rd
Bluffton, SC

Design Conditions: Savannah; Latitude: 32; Time 4:00 PM

Indoor:		Outdoor:	
Summer temperature:	80	Summer temperature:	95
Winter temperature:	50	Winter temperature:	27
Relative humidity:	55	Summer grains of moisture:	116
		Daily temperature range:	20

Building Component	Sensible Gain (BTUH)	Latent Gain (BTUH)	Total Heat Gain (BTUH)	Total Heat Loss (BTUH)
Ventilation	7,590	10,310	17,600	11,638
Ceilings	11,658	0	11,658	3,528
Windows	9,609	0	9,609	1,413
Lights	8,397	0	8,397	0
Door Leakage	2,574	3,395	5,969	6,780
Doors	3,436	0	3,436	570
Miscellaneous	1,500	0	1,500	0
Walls	1,346	0	1,346	3,222
People	450	210	660	0
Infiltration	0	0	0	0
Duct	0	0	0	0
Skylights	0	0	0	0
Partitions	0	0	0	0
Floors	0	0	0	2,850
Whole Building - All Components	46,560	13,615	60,175	30,001
			(5 tons)	

AZ = 3,835 FT2 (TOTAL) WAREHOUSE OCCUPANCY

PZ - PEOPLE FROM IMC TABLE 403.3 PZ= 20 X (AZ / 1000)

PZ = N/A PEOPLE

RP = N/A CFM/PERSON

RA = 0.12 CFM/FT2

THEN VBZ = RP (CFM/PERSON) X PZ (PEOPLE) + RA (CFM/FT2) X AZ (FT2)

VBZ = 460 CFM O.A.

TOTAL OUTSIDE AIR PROVIDED 460 CFM

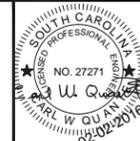


CDDC
CONSULT
DESIGN
DRAFT
CONSTRUCT

P.O. BOX 2809 BLUFFTON, S.C. 29910
ph. 843-384-4731 fx. 843-637-3577



ISLANDS ENGINEERING, P.C.
NO. 4010
STATE OF AUTHORIZATION



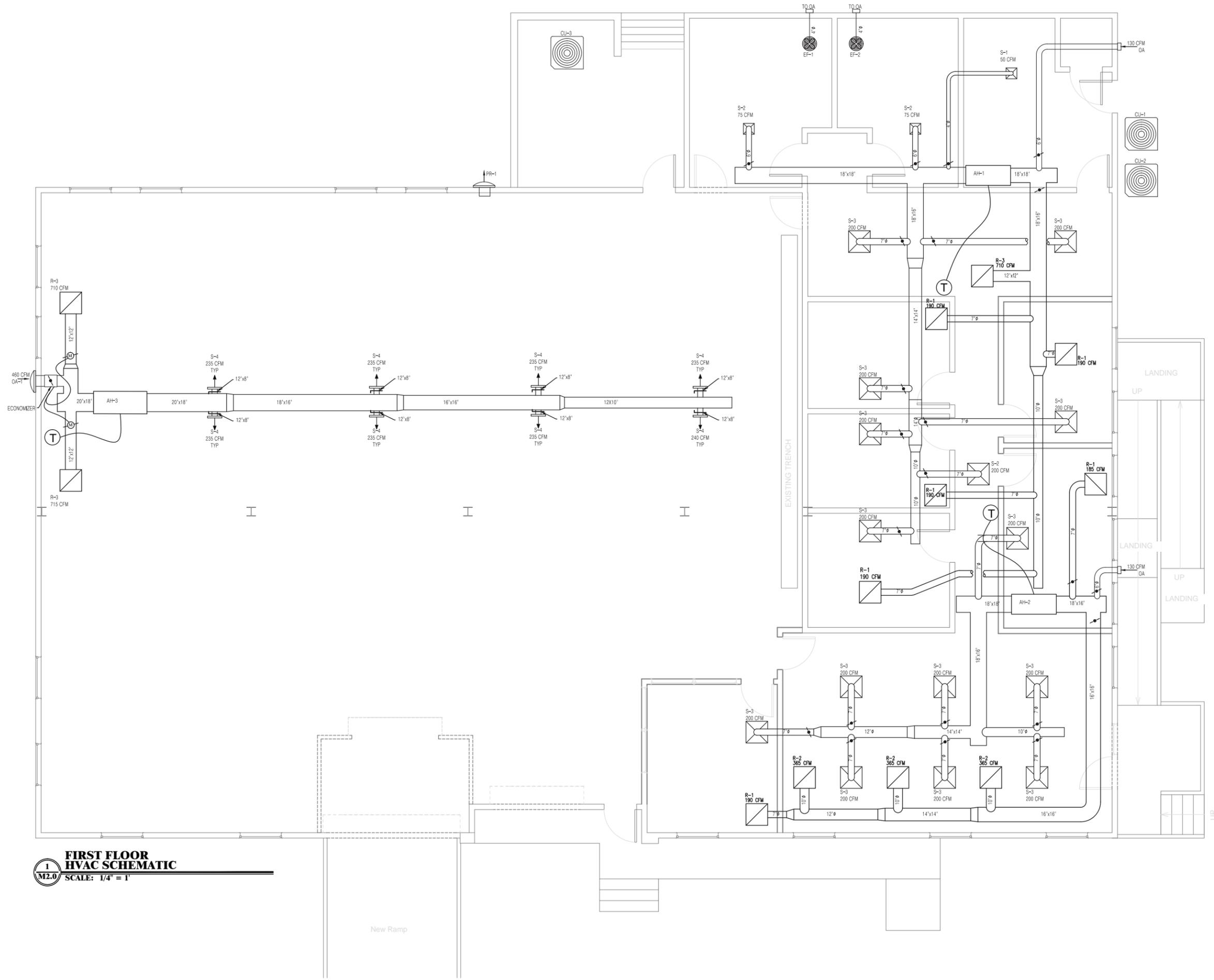
NO. 27271
W. QUAN
02-02-2016

ISLANDS ENGINEERING, PC
110 HOLCOMB STREET
SAVANNAH, GA 31406
PHN: (912) 356-9035
email: saveng@bellsouth.net

PREMIER ROOFING

85 ARROW ROAD
ADDRESS

Revisions	
DATE	
XXX	
Submital	ISSUE
Drawn By	Checked By
IB/BQ	BQ
Date	02-02-2016
Scale	AS INDICATED
Project Number	2-25-16
Sheet	M1.1



1
M2.0
FIRST FLOOR HVAC SCHEMATIC
SCALE: 1/4" = 1'

CDDC
 CONSULT DESIGN CONSTRUCT
 P.O. BOX 2869 BLUFFTON, S.C. 29910
 ph. 843-384-4731 fx. 843-537-3577

ISLANDS ENGINEERING, P.C.
 NO. 4010

PROFESSIONAL ENGINEER
 NO. 27271
 CAROL W. QUAN
 02-02-2016

ISLANDS ENGINEERING, PC
 110 HOLCOMB STREET
 SAVANNAH, GA 31406
 PHN: (912) 356-9035
 email: saveng@bellsouth.net

PREMIER ROOFING

85 ARROW ROAD
 ADDRESS

Revisions	
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Date	02-02-2016
Scale	AS INDICATED
Project Number	2-25-16
Sheet	M2.0

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Premier Roofing – ALTERATION/ADDITION

DRB#: DRB-000250-2015

DATE: February 23, 2016

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Provide details for service yard and shadow box screening.
2. Specify color of new guardrail at ramp to warehouse.
3. Clarify light fixtures (discrepancy between lighting plan, elevations, and cut sheet).

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Forms an details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hardie shake, asphalt shingle roof, metal roof, cable rail
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide detail for service yard screen.
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Clarify fixture types.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

appearance for visual interest and a sense of depth				
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Signage will require separate review and approval under a Sign Permit Application.