



# Town of Hilton Head Island Regular Design Review Board Meeting

January 12, 2016

1:15 p.m. – Benjamin M. Racusin Council Chambers

## AGENDA

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As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

**1. Call to Order**

**2. Roll Call**

**3. Freedom of Information Act Compliance**

Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

**4. Approval of Agenda**

**5. Approval of Minutes – Meeting of December 8, 2015**

**6. Staff Report**

**7. Board Business**

**8. Old Business**

*A. Sign*

- Shipyard Plantation, DRB-002380-2015

**9. Unfinished Business**

**A. New Development – Final**

- Sea Turtle Market Place, DRB-002364-2015

**10. New Business**

*A. New Development - Conceptual*

- Park Lane Office Building, DRB-002368-2015
- HHI-IRC Additions and Renovations, DRB-002377-2015

*B. Alteration/Addition*

- Up the Creek Bar & Grill, DRB-002381-2015

**11. Appearance by Citizens**

**12. Adjournment**

*Town of Hilton Head Island*  
*Minutes of the Design Review Board*

**Benjamin M. Racusin Council Chambers**

**December 8, 2015**

**1:15p.m.**

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Michael Gentemann, Kyle Theodore, Brian Witmer, and Ron Hoffman.

Board Members Absent: Debbie Remke

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer  
Richard Spruce, Plans Examiner  
Teri Lewis, LMO Official  
Jill Foster, Deputy Director of Community Development  
Chris Darnell, Landscape Associate  
Heather Colin, DRZ Administrator

**As a Courtesy to Others Please Turn Off All Cell Phones and Pagers  
during the Meeting**

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**1. Call to Order**

Chairman Gartner called to order the regular meeting of the Design Review Board at **1:15pm**.

**2. Roll Call**

See as noted above.

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board **approved** the agenda as **amended** by general consent.

**5. Approval of Minutes**

The Board **approved** the minutes of the **November 10, 2015** meeting by general consent.

**6. Staff Report**

None.

**7. Board Business**

### ***A. Purple Fountain***

Mr. Chris Darnell presented a request on behalf of the Pancreatic Cancer Network. The request is to allow public and private fountains to have colored water for awareness to certain causes such as pancreatic or breast cancer, and celebrations such as St. Patrick's Day and Valentine's Day. He suggested the events should be tied to Town Proclamations and holidays only. Issues for the board to consider are requests that would be made by other groups with similar awareness needs, and requests by private fountain owners for various reasons. He indicated that Facilities Management staff would not support the Town fountains as participating due to possible damage from the dye or cleaning agents. Staff clarified that the board was being asked to determine if fountains within the Corridor could contain colored water if it is in conformance with the Design Guide.

Mr. Richard Boccabella, representing the Pancreatic Cancer Network, spoke in favor of the request and indicated that an MSDS Data Sheet on some dyes indicates no hazardous materials in the dyes.

The Board discussed the possibility of private fountain owners being allowed to do this even if the Town chooses not to participate with public fountains. Most board members indicated they were generally in favor of such a request for special occasions and holidays only, and questioned how to limit the occasions. They also expressed concern that colored water does not meet the Design Guide unless it would be done in a special manner. The Board requested staff to return at the next meeting with more information as to how this could be done procedurally.

## **8. Old Business**

### ***A. Alteration/Addition***

- **Dairy Queen Renovation, DRB-002037-2015**

Ms. Ray introduced the project and stated its location: 1018 William Hilton Parkway. The applicant proposes to paint the EFIS frame around the windows in a lighter building color to match the main body color of the building and add a bronze metal strip to cover the existing wood frame.

Ms. Ray presented an in-depth review of the project. The Board had previously approved this project. However, during construction, changes were made that were not consistent to the approved plans. Ms. Ray outlined those changes as described in the packet. Staff recommends approval of the project as submitted.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Kaylynn Kim presented statements regarding the small size of the installed awning, the dark color of the EFIS, and possibly adding a bronze metal strip to cover the existing window frame.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board's discussions centered on the unapproved color of tile that had been installed (too bright of red), and those issues mentioned by the applicant.

A **motion** was made by Chairman Gartner to **approve** application DRB-002037-2015 with the following conditions: 1) window frames and stucco trim to remain as constructed; 2) awnings to be widened to extend 4 to 6 inches past the edge of the stucco trim; 3) red tile under the drive thru window be replaced or covered over with new tile more in keeping with the color scheme originally approved, and new tile product and detail to be reviewed and approved by staff.

Ms. Theodore **seconded** the motion and the **motion passed** with a vote of 6-0-0.

## 9. Unfinished Business

### A. *New Development - Final*

- **Home 2 Home Suites by Hilton, DRB-002016-2015**

Ms. Ray introduced the project and stated its location: 1 Marina Side Drive. The project consists of construction of a new multi-story hotel. This project was previously discussed at the November 10<sup>th</sup>, 2015 meeting where no official action was taken.

Ms. Ray presented an in-depth review of the project, including changes to the submission since its last review and as described in the packet. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Tom Morgan and Mark Tate presented statements regarding a few issues including proposed changes to landscaping in islands, the lighting design, and the roof design.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the applicant on changes to the project since their last presentation. The Board presented comments regarding the proposed location of dormers and gables on the front elevation; design of two types of brackets in relation to each other; consideration of strengthening the ornamental fence for better durability; location and functionality of sidewalks; narrowness of the landscape bed between the driving lane and the smoking area; density and height of landscaping in relation to the scale of the building; brightness of the can lights in the canopy; the commercial look of the pool area lights; and those conditions raised by Ms. Ray.

A **motion** was made by Chairman Gartner to **approve** application DRB-002016-2015 with the following conditions: 1) any exposed utility equipment be screened or painted dark green; 2) larger landscaping be placed in the front of the building; 3) shade trees under specimen trees be removed and pervious pavers be put around them; 4) lighting be toned down under the entrance

canopy and around the pool to bring it into compliance with LMO guidelines and be resubmitted to the Board for final review/approval; 5) crosswalk is going to be continuous; 6) brackets be consistent, not identical.

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 6-0-0.

## 10. New Business

### A. *New Development - Final*

- **Shelter Cove Apartments 1, DRB-002149-2015**

*(Ms. Theodore recused herself from review of application DRB-002149-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 40 Shelter Cove Lane. This project received Conceptual approval on December 9, 2014 with conditions. The project is a 4 story, multi-family building. The Shelter Cove ARB has approved the project.

Ms. Ray presented an in-depth review of the project including changes made since the Board's last review. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet. Ms. Ray pointed out that she received details on the bird watching pavilion since the packet was distributed to the Board, and that it may require Town Council approval if it is on Town-owned land.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Trey Griffin of Wood+Partners and John Lee of Blanchard Calhoun Commercial complimented Ms. Ray on her presentation and had nothing to add.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the applicant on changes since their last review, and presented comments regarding the proposed landscaping and the need to be mindful of installing trees that do not require heavy pruning due to the power easement; the large amount of gray on the building; the door color; small width of bath house elevations; and those conditions raised by Ms. Ray.

A **motion** was made by Chairman Gartner to **approve** application DRB-002149-2015 with the following conditions: 1) more of the 'Edamame' (SW 7729) color be incorporated into the building siding to the extent possible; 2) final color locations be reviewed and approved by staff, reducing the amount of 'Anew Gray' (SW 7030) used on the building; 3) more trees and landscaping added between the building and Shelter Cove Lane; 4) landscaping be added around the power pole at the intersection with Shelter Cove Lane; 5) almond vinyl windows be changed

to wood or aluminum; 6) vinyl railing be changed to wood or aluminum; 7) all doors be 'Edamame' (SW 7729) in color; 8) cupolas at the toilets and the pool buildings be increased in size such that the narrow dimension is more approximately the same as what is shown on the wider dimension; 9) add 6" caliper live oaks in predominant locations.

Chairman Gartner **seconded** the motion and the motion **passed** with a vote of 5-0-0.

- **Sea Turtle Marketplace, DRB-002201-2015**

*(Ms. Theodore recused herself from review of application DRB-002201-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 430 William Hilton Parkway. This project received Conceptual approval from the DRB on October 13, 2015 with conditions. The project consists of redevelopment of a shopping center.

Ms. Ray presented an in-depth review of the project, including changes since the Board's last review, and as included in the packet. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Eric Walsnovich of Wood+Partners and James Atkins of Court Atkins Architects presented statements regarding some issues that were changed as requested by the Board; and emphasized they went through an extensive planning process to save as many worthwhile trees as possible.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board presented comments regarding Ms. Ray's recommendations, and certain items they felt necessary to return for further review. They acknowledged that they wish to minimize delay to the scheduling of the project with additional reviews. In addition, they discussed concerns with the lack of enough variation with slopes of the anchor and retail store roofs; the height of some of the store roofs in relation to each other; the small width of the brick element at the center of building F and its lack of prominence in proportion to the adjacent columns. They also requested the need for shielding of HVAC units in service yards. The Board also suggested that the applicant bring all details to the January meeting, including hardscape; lighting; roof line from junior anchor 1 to 2; façade on buildings F & G; additional detail on rear façade of the buildings; and overall colors.

#### ***B. Alteration/Addition***

- **Improvements at Simmons Fishing Camp, DRB-002184-2015**

*(Mr. Witmer recused himself from review of application DRB-002184-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 11 Simmons Road. The applicant proposes to repaint and expand the existing building and add a new fireplace and pavilion.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Don Baker of Square Feet Island Architects, Judd Carstens of Witmer Jones Keefer, and Brendan Riley, restaurant owner, presented statements regarding challenges with an 11.7 foot MSL; the 50% substantial improvement rule which entails keeping the building unchanged as much as possible; dealing with an existing roof color and proposed building colors; and the wish to keep the massive live oak trees.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board indicated their understanding in regard to the challenges mentioned by the applicants, and complimented the proposed improvements. They presented comments regarding the entry elevation, and the recommendations mentioned by staff. They emphasized that the color of the building will be important, and expressed concerns with the 'Grand Canal' (SW 6488) color as needing to be an accent color only and not as the building color. The Board expressed concern that it does not meet the Design Guide—the color must be more nature blending.

A **motion** was made by Chairman Gartner to **approve** application DRB-002184-2015 with the following conditions: 1) project will be resubmitted to the Board with specifying colors for shutters, service yard, building body, trim color, and column color; 2) submit a lighting plan, if any, for DRB approval; 3) submit a detail for the service yard which should be board and batten; 4) submit details for louvers, windows, doors, fireplace, columns; 5) consider additional natural looking landscape at the end of the fireplace and at service yard; 6) if the parking changes in DPR, that will be resubmitted to DRB for approval.

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

- **Hilton Head Ward Addition – LDS Church, DRB-002188-2015**

*(Mr. Witmer left the meeting at this point.)*

Ms. Ray introduced the project and stated its location: 2800 Meeting Street. The applicant proposes a 3906 square foot addition in the same style as the existing building.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Mike McCloud of Michael R. McLeod Architects presented statements regarding the color of the storefront doors and windows. He indicated that the church prefers the proposed white color to the storefront doors and windows, as opposed to staff's recommendation of remaining bronze.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board agreed with Staff's recommendations regarding the color of existing and proposed windows and doors and expressed concern to impacts of parking on an existing tree.

A **motion** was made by Mr. Strecker to **approve** application DRB-002188-2015 with the following conditions: 1) the 18" oak tree at the parking area at the west side of building addition be retained and parking revised to accommodate it, and pervious pavers added if necessary for the life of the oak; 2) add trees in parking lot medians and other areas adjacent to parking lot; 3) upsize plant material to larger container size; 4) replace some proposed plant material with native species and more variety in sizes; 5) all revised planting to be reviewed and approved by staff; 6) existing bronze storefront doors and windows should remain bronze; 7) new aluminum storefront and windows should be bronze to match existing; 8) provide cut sheets for any exterior building lighting to be reviewed and approved by staff .

Ms. Theodore **seconded** the motion and the motion **passed** with a vote of 5-0-0.

### ***C. New Development - Conceptual***

- **Coligny District Redevelopment (Northwest Quadrant), DRB-002170-2015**

*(Ms. Theodore recused herself from review of application DRB-002170-2015 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)*

Ms. Ray introduced the project and stated its location: 90 Pope Avenue. The applicant proposes construction of a new public park.

Ms. Ray presented an in-depth review of the project. Staff recommends approval of the project with conditions as outlined in the Design Team/DRB Comment Sheet.

Following staff's presentation, Chairman Gartner requested that the applicant make a presentation. Trey Griffin of Wood+Partners and Gene Bell with Watson Tate Savory did not have anything to add and complimented Ms. Ray's presentation.

Following the applicant's presentation, Chairman Gartner requested comments from the Board. The Board complimented the proposed park design and elements and presented comments regarding the proposed gutters and downspouts in relation to where the water would go; the central monitor is out of scale at the restroom building; pedestrians and bikers must be accounted

for; and suggested oceanside Coligny Beach Park elements could be incorporated into this design.

A **motion** was made by Chairman Gartner to **approve** application DRB-002170-2015 with the following conditions: 1) restudy location of tree wells at restroom building drop-off to provide maintenance vehicle access to park; 2) change playground sails to non-white color; 3) restudy battered columns at restroom building and site elements to utilize Coligny Beach Park details; 4) restudy restroom building roof monitor central element; 5) restudy museum 1 ½/12 roof pitch.

Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 4-0-0.

**11. Appearances by Citizens**

None.

**12. Adjournment**

Chairman Gartner adjourned the meeting at 5:50pm.

Submitted by:

Approved by:

\_\_\_\_\_  
Eileen Wilson  
Administrative Assistant

\_\_\_\_\_  
Jake Gartner  
Chairman

**Note: A digital recording of this meeting is available at Town Hall for more information.**



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY  
 Date Received: 12-28-15  
 Accepted by: \_\_\_\_\_  
 DRB #: 2380-15  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Jack Winarchick Company: Hilton Head Signs  
 Mailing Address: PO Box 21410 City: Hilton Head State: SC Zip: 29925  
 Telephone: 843 681 3513 Fax: 843 681 5521 E-mail: Jack@hiltonheadsigns.com  
 Project Name: Shipyard Plantation Project Address: 10 Shipyard Dr.  
 Parcel Number [PIN]: R550 015 000 0343 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

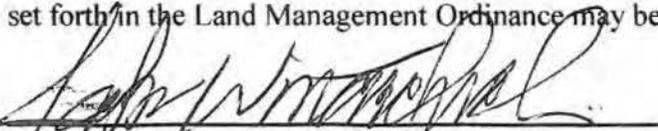
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

12/28/15  
DATE

# SHIPYARD PLANTATION

## SHIPYARD PLANTATION MEMORANDUM

**To: Jennifer Ray, Design Review Board**

**From: Sally Warren, General Manager**



**cc: Jack Winarchick, Hilton Head Sign**

**Re: Shipyard Monument Submission**

**Date: December 28, 2015**

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Although the original submission was approved at the previous meeting, we took to heart some of the Board comments and have tried to keep some original elements from the current monuments.

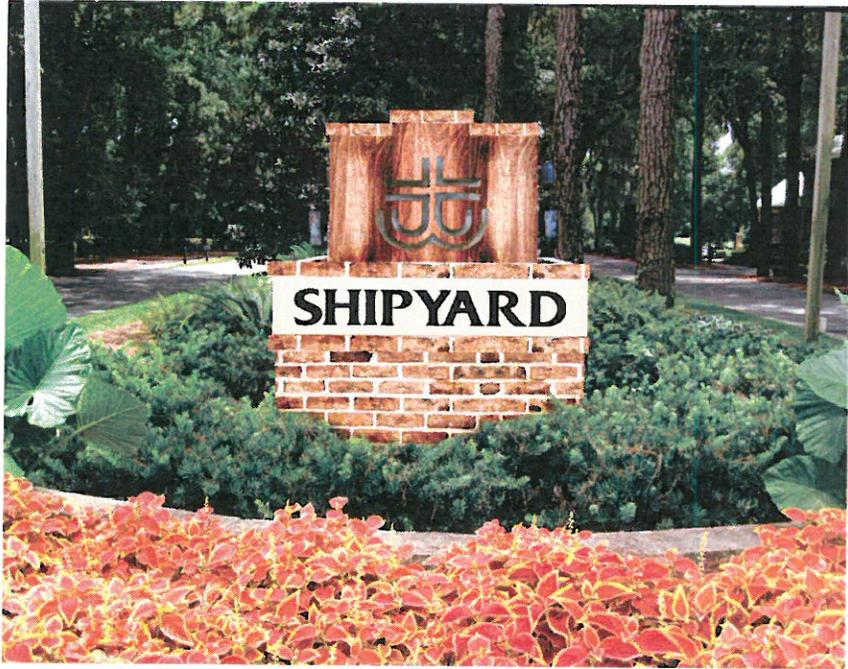
The halo lighting has been eliminated and the current lighting will remain.

The band with Shipyard will be in stucco as it is currently.

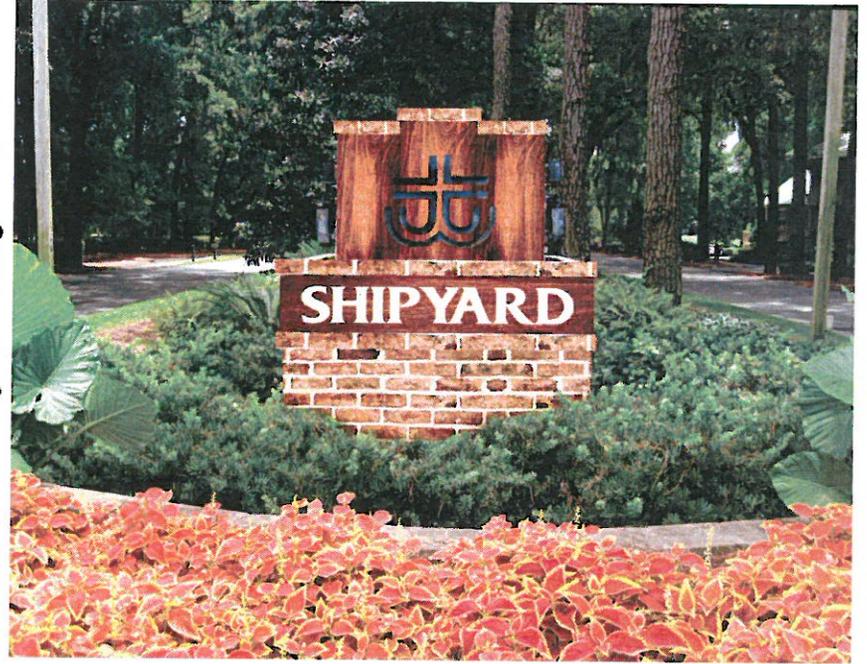
The teak has been lightened and the anchor will be patina, similar to the current monument.

We appreciate your review of this lighter version and please feel free to contact me or Jack Winarchick at Hilton Head Sign.

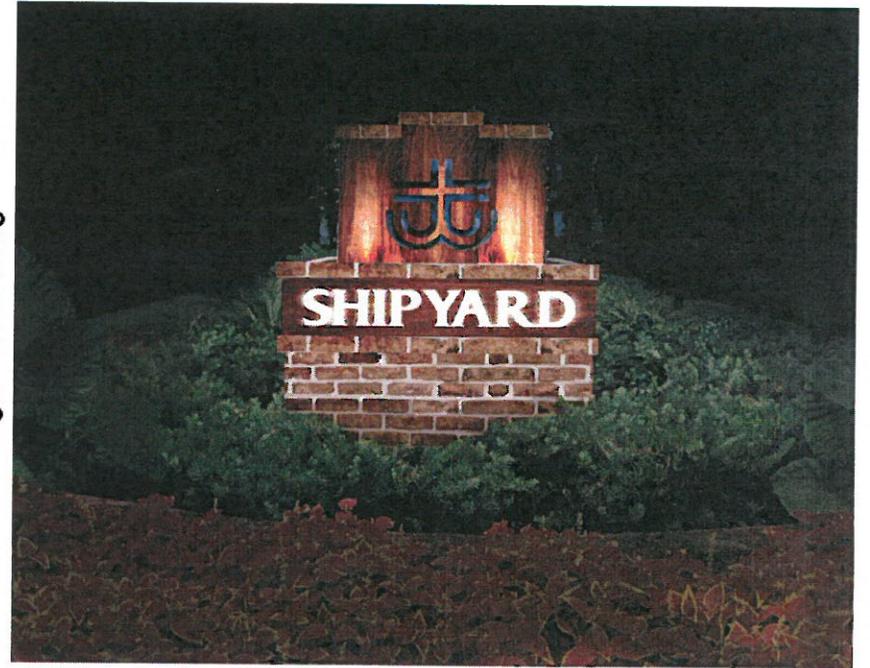




Day Rendering



Night Rendering



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shipyard Plantation - SIGN

DRB#: DRB-002380-2015

DATE: January 12, 2016

RECOMMENDATION:    Approval             Approval with Conditions             Denial

The DRB approved modifications to the existing Shipyard Plantation monument signs on November 10, 2015. The applicant has modified the design based on some comments by the Board during their previous review including eliminating the halo lighting, retaining the existing band with "Shipyard", lightening the teak, and keeping the anchor patina.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

12-23-15

DATE

## **Sea Turtle Marketplace**

#430 William Hilton Parkway  
Hilton Head Island, SC

### **DRB Final Project Narrative**

December 23, 2015

Wheeler Development is proposing to renovate the existing Pineland Station Shopping Center, upgrading the dark and dated commercial space whose layout is no longer practical with a high-end shopping experience that is more functional and contemporary in nature. While much of the shopping center would be rebuilt, the intent is to retain Starbucks and Stein Mart. Stein Mart serves as an important anchor and with planned exterior improvements, would complement the proposed architectural aesthetic of the center.

The proposed shopping center renovation includes 5 existing parcels (12.82 acres) and recently purchased Town owned land (10.5 acres), increasing the total property to 23.32 acres (includes 3.197 acres wetlands). The new development proposes to re-subdivide the property into 7 parcels; and to increase the current  $\pm 123,978$  SF (per County Tax Records) of leasable space to  $\pm 146,585$  SF; and add new parking to support the increased square footage. Additional leasable space comes in the form of a future Anchor store (to be parceled separately), Junior Anchors, as well as additional retail tenant spaces. See Architectural Project Description below.

The site plan provides additional buffer space on 278 and Mathews Drive, bringing it more into compliance with LMO standards. Additional buffer plantings were added between Stein Mart and the neighboring residential property, to replace the existing paving in this area. Driveway access along 278 has been reduced, eliminating right turn access onto Hwy 278 nearest the intersection of Mathews Drive. The plan also provides a more prominent and accessible connection to Mathews Drive and provides multiple pedestrian/bicycle connections to nearby public pathways.

The 278 and Mathews Drive entrances are connected by a pedestrian friendly roadway with streetscape features, such as decorative light poles and planters; and nature themed landscape with native plant materials mixed with ornamentals fronting the buildings. Areas of the roadway, crosswalks and parking spaces along the buildings will be constructed using vehicular grade, ADA compliant, permeable pavers.

The parking lot in front of Stein Mart and throughout the new development have been configured to allow added vegetated islands and strips between aisle ways and parking spaces.

It should also be noted that we've painstakingly design and arranged the access drives, parking spaces and aisle ways to maximize the number of existing trees to be saved. Tree mitigation is not required for this project, however we've added a number of new trees to be planted on the site. New trees were also added in the buffer areas and parking areas per LMO requirements.

Storm water management will consist of the use of permeable pavers, bio retention areas, vegetative swales, and a detention pond to reduce runoff and enhance water quality.

Pineland Station Shopping Center is in need of revitalization and bringing elements such as civic art/sculpture, nature theming, interpretive signage, walks, terraces and plazas, bike racks,

decorative hardscape material, landscape and accent lighting throughout the center elevates the shopping experience. The new design brings business front and center, creating a visible, accessible, and vibrant space.

Wheeler Development intends to renovate the exterior of Stein Mart (Parcel B) as a first phase; build remaining buildings in Parcel's C, E, F, and G as a second phase; and the outparcel Anchor (Parcel D) would be built in a future phase.

In response to DRB comments from the December 8, 2015 meeting, we've added more plant material in the 278 buffer behind parcels G and F, added plant material along the naturalized stormwater basin, and increased all proposed live oaks in the parking lot to 4" caliper trees.

**Architectural Project Description (Provided for Under Separate Cover)**

Applicant:

Eric Walsnovich, ASLA

Wood + Partners Inc.

[ewalsnovich@woodandpartners.com](mailto:ewalsnovich@woodandpartners.com)

843-681-6618 ext. 243

December 23, 2015

Town of Hilton Head Island  
Attn: Ms. Jennifer Ray  
One Town Center Court  
Hilton Head Island, SC 29928

Ms. Ray,

In addition to the Final DRB Submittal for Sea Turtle Marketplace we offer the following responses to the comments from the December 8, 2015 DRB Meeting.

**-Comment #1:** Provide more detail on the rear of the Junior Anchor Buildings.

The following detail features were added to the rear elevations:

- a. Added stucco trim detailing around all door openings.
- b. Added metal canopies above all service doors.
- c. Added horizontal stucco trim band at top and bottom of rear façade.
- d. Added vertical stucco trim at downspout locations.
- e. Added stucco trim around security wall mounted light fixtures.
- f. Added vertical and horizontal score lines between gutter locations.

**-Comment #2:** Adjust proportions of brick entry feature and address kitchen exhaust hoods.

- a. The base of the brick entry feature was made wider and height of the feature lowered.
- b. A tabby stucco chimney like feature was added to the roof to house the kitchen exhaust hood and make up air.

**-Comment #3:** Readdress / mix-up color scheme.

- a. Please see submitted color boards for mixture of two color palettes amongst buildings.

**-Comment #4:** More sloped roof at left side of Jr. Anchor #1 and remove "Award Blue" color on entry feature.

- a. The main entry feature was mirrored which works better with the way the site is laid out and opens up the storefront entry to where the patrons will be gathering / approaching from. Additionally the "Award Blue" accent color was replaced with a darker brown color.
- b. A hipped tower roof was added to the front corner of the building and changed the material below the tower to tabby stucco. This tower accent is engaged in the walls to accent the corner storefront windows and is similar to the Steinmart tower feature.
- c. Metal louvers and cornice detailing were added to provide additional Lowcountry vernacular.

**-Comment #5:** Re-study roof line at Retail Shop between Junior Anchor #1 and #2.

- a. The retail shop was pulled forward in plan to align with Jr. Jr. Anchor #2. This allows for the sloped roof line of the covered entry for the Retail Shop to continue along the front façade of Jr. Anchor #2 and transition to trellis which also occurs on the Steinmart front façade.

Regards,

James Atkins, Architect

**DESIGN REVIEW BOARD CORRIDOR**  
**PROJECT NARRATIVE**  
**FINAL ARCHITECTURAL DRB SUBMITTAL**  
JUNIOR ANCHORS, RETAIL SHOP, BUILDINGS G & F

**Project Information:**

Project Name: Sea Turtle Marketplace (Pineland Station) Redevelopment

Location: 430 William Hilton Parkway

Pre-Application Number: PAPP-002083-2014

**Project Contacts:**

***Developer:***

Wheeler Development  
Virginia Beach, VA 23452  
757-627-9088

***Architect:***

Court Atkins Architects, Inc.  
P.O. Box 3978  
Bluffton, SC 29910  
843-815-2557

***Civil Engineer:***

Ward Edwards Engineering  
P.O. Box 381  
Bluffton, SC 29910  
843-837-5250

***Landscape:***

Wood+Partners, Inc.  
P.O. Box 23949  
Hilton Head Island, SC 29925  
843-681-6618

**Architectural Project Description:**

The Pineland Station Shopping Center has been in the state of decline and is in need of a revitalization. As part of the redevelopment, the architectural design and character will provide an updated beach and Lowcountry inspired aesthetic to the center. The Final Re-submittal for the project is being provided based off the comments at the Final DRB Review Meeting on December 8, 2015. The existing Starbucks (Parcel A) and Stein Mart (Parcel B) buildings will remain in their current locations while the remainder of the site will be demolished and redeveloped with new junior anchor buildings, retail tenant spaces, restaurants, parking, pedestrian circulation, and landscaping. The Stein Mart Façade Renovation received Final DRB approval on February 27, 2015 and construction for this project is currently in progress. Demolition of existing buildings on site is also underway. The architectural design still includes a Jr. Anchor #1 Store located adjacent (east) to Stein Mart followed by a 3,200 sqft. retail shop and (2) additional Jr. Anchor stores of +/- 18,000 sqft. each. Situated along Highway 278, Parcels G & F will include a 4,800 sqft. and 9,800 sqft. out-buildings featuring additional retail shops and restaurants. The architectural elements and colors used for the new buildings will be consistent in design and approach and color with the architectural features on the Stein Mart façade along with entry, shutter, and louver color accents. These elements include; tabby stucco veneer, horizontal cementitious lap siding, trellis and covered walkways, Bermuda shutters, standing seam metal roofing, aluminum storefront doors and windows and brick accents. Additionally, an 11,200 sqft. building (Parcel E) will be located at the corner of Highway 278 and Mathews Drive which will be submitted as a separate submittal.

The three acre Parcel D has been separated from the overall development as an Anchor Tenant which will be designed and submitted by a separate Architect. Court Atkins Architects has begun discussions with the Architect representing the Anchor Tenant to provide a coordinated design effort between the exterior features of the marketplace buildings and the Anchor Tenant to provide an overall cohesive design aesthetic to Sea Turtle Marketplace.

**Other Review Board Approvals:**

None.

Sea Turtle Marketplace  
Materials & Site Furnishings

December 23, 2015

## HARDSCAPE

### WALKS

- INTEGRAL COLORED CONCRETE
- OYSTER SHELL CONCRETE
- BOARDWALK FINISHED CONCRETE
- CONCRETE ANIMAL IMPRESSIONS

### PAVERS

- PERMEABLE VEHICULAR PAVERS

### FURNISHINGS

- BENCHES
- TRASH RECEPTICLES
- PLANTERS
- BIKE REPAIR STATION
- TRAFFIC BOLLARDS
- BIKE RACKS
- PLANTERS
- SCULPTURE
- STREET SIGNAGE

### LIGHTING

- DECORATIVE STREET LIGHTS
- PATH LIGHTS
- TREE UPLIGHTS
- WELL LIGHTS



MESA BEIGE



WINTER BEIGE

- Integral Colored Concrete with Rock Salt Finish
- & Finish: Coarse Broom Swept with Animal Impressions & Rock Salt Finish
- & Color: Scofield Chromix Admixture Mesa Beige C-12

CONCRETE WALK WITH SMALL SHELL FINISH



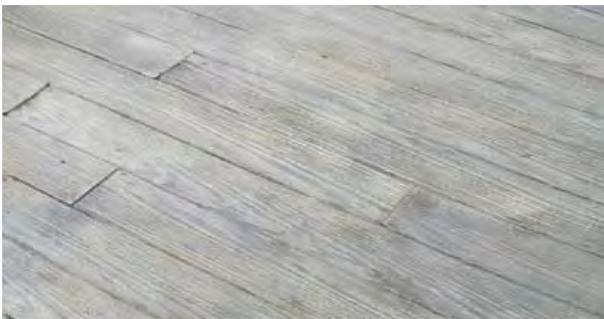
ROCK SALT FINISH EXAMPLE

- Integral Colored Concrete with Rock Salt Finish
- & Finish: Coarse Broom Swept with Animal Impressions & Rock Salt Finish
- & Color: Scofield Chromix Admixture Winter Beige 6063



OYSTER SHELL FINISH

- Oyster Shell Concrete Walks
- & 50:50 Mix of #2 & #3 Oyster Shell



CONCRETE WALK WITH BOARDWALK FINISH

- Concrete Walk with Stained Boardwalk Finish
- & Finish: Boardwalk Impression
- & Color: Boardwalk Stained



CONCRETE IMPRESSIONS



- Concrete Impressions
- & Turtle Impressions
- & Starfish
- & Sand Dollar



PERMEABLE VEHICULAR PAVERS

Permeable Vehicular Pavers

- & Lowcountry Pavers - Hydrashed Permeable Pavers
- & Color: Daufuskie Blend
- & Pattern: 45 degree Herringbone with Single Header Border



PERMEABLE VEHICULAR PAVERS

Permeable Vehicular Pavers

- & Lowcountry Pavers - Hydrashed Permeable Pavers
- & Color: Battery Gray Blend
- & Pattern: End to End (Parking Space Divider)



BENCH

Site Benches

- Landscape Forms - Melville Bench
- Material: Aluminum Frame w/ IPE Slats
- Color: Bronze & IPE
- Finish: Metallic



TRASH RECEPTACLE

Trash Receptacles

- Landscape Forms - Poe Trash Receptacles
- Material: Aluminum
- Color: Bronze
- Finish: Metallic



BOLLARD

Metallic



bronze

Traffic Bollards

- Landscape Forms - Annapolis 6" Embedded
- Material: Steel pole with aluminum cap
- Color: Bronze
- Finish: Metallic



BIKE RACKS

Bike Racks

- Landscape Forms - Bola Bike Racks
- Material: Stainless Steel
- Color: Bronze
- Finish: Metallic



CUSTOM BIKE RACK EXAMPLES

Custom Bike Rack

- & Designed & Crafted by Local Artist
- & Material: Brushed Aluminum
- & (2) Custom Bike Racks Total



SITE PLANTERS

Site Planters

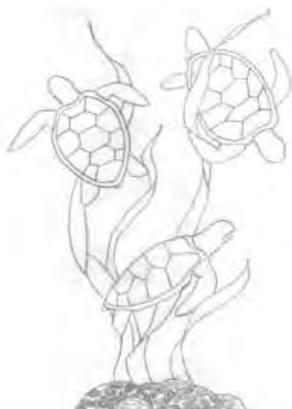
- & Southern Stonecasting - Tabby Finish Planters
- & Size: 31" Tall x 36" Top Diameter
- & Material: Concrete
- & Finish: Tabby



REPAIR STATION

Bike Repair Station

- & Dero Fixit
- & Material: Aluminum
- & Color: Dark Brown
- & Finish: Powdercoat



CUSTOM TURTLE SCULPTURE

Sea Turtle Sculpture

- & Custom Sea Turtle Sculpture
- & Material: Cast Bronze with Smooth Rubbed Finish
- & Size: 8' Tall x 6' Diameter



"LEGEND" POST BASE



4" FLUTED POST

Street Signage

- & Signature Streetscapes - Custom Signage Poles
- & Material: Aluminum with Powdercoat Finish
- & Color: Bronze
- & Base: BS-04H - Legend
- & Pole: FL-0408 - 4" Fluted
- & Finial: FN-0104 - 4" Acorn
- & Sign Halo: Aluminum frame
- & Locations: Along main access drive and store fronts



"ACORN" FINIAL



SIGN HALO EXAMPLE



DRINKING FOUNTAIN



BROWN COLOR

Drinking Fountain

- & Most Dependable Fountains
- & Model: 440 SMFA with Pet Fountain
- & Material: Stainless Steel
- & Color: Brown



HAGERSTOWN DECORATIVE STREET LIGHTING

Decorative Lighting

- & Hagerstown Decorative Street Lights
- & Material: Aluminum with Powdercoat Finish
- & Color: Bronze
- & See lighting plan for locations



PATHWAY LIGHTS

#### Pathway Lights

- & Landscape Forms - Hawthorne
- & Material: Cast aluminum led cartridge, housing and cabinet with stainless steel base plate
- & Color: Bronze
- & Finish: Metallic
- & Lamp: 6 Cree XP-E2 LEDs
- & Power: 100V-277V, 50/60 Hz



**BBR**

TREE UPLIGHTS

#### Tree Uplight

- & Kichler Lighting 16008-BBR30
- & Material: Cast bronzed brass
- & Color: Bronze
- & Lamp: 3,000K
- & Power: 6.5W



BB

WELL LIGHTS

#### Well Light

- & Kichler Lighting 16038 BBR30
- & Material: Cast bronzed brass
- & Color: Bronze
- & Lamp: 3,000K
- & Power: 14W

# Concord

Designed by Robert A.M. Stern Architects

**Greater energy efficiency:**  
LEDs use less energy,  
consume fewer resources

**Better color:**  
Warm white light supports  
ecology and human health

**Better Light Control:**  
Engineered Awen™ optics  
eliminate wasted light  
and light pollution

**Longer Life:**  
Exceptional thermal  
management extends  
useful life

landscapeforms®



Hawthorne  
LED Path Light



## Hawthorne

Structure: Cast aluminum LED cartridge, housing and cabinet with stainless steel base plate.

Lamp: 6 Cree XP-E2 LEDs

L90 = 60,000 hrs; L70 = 150,000 hrs

Drive Current: 350mA

Optic: 6 Khatod Collimators

Lens: Diffused Acrylite®

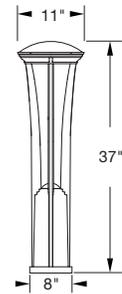
Power Supply: 100V-277V

LED Driver: Thomas Research LED-12W

BUG Rating: B0U1G1

IP Rating: IP66 for sealed LED cartridge

Weight: 50 lbs



### General Description

Pathway light for outdoor walkways. Light is highly designed using state-of-the-art LED lamp technology. Replaceable sealed LED cartridge is made of durable cast aluminum and works with housing and integrated pole to provide outstanding heat management. Cartridge uses the latest LED technology and improves lamp life by using more LEDs driven with less energy. A warm white lamp color was chosen for its warm aesthetic and ecological benefits.

### Electrical

100V-277V 50/60 Hz, Class 2 LED driver is standard and mounted within integrated cast aluminum base cabinet. Hawthorne ships prewired and fully assembled.

### Finish

Pangard II®, offered exclusively by Landscape Forms, is a 19 step program of cleaning, priming, and powder-coating that produces the finest metal finish available for site furniture. In addition, Pangard II® contains no heavy metals and is free of Hazardous Air Pollutants.

### Warranty

Six years (50,000hr) on LED cartridge and three years on finish and manufacturing defects.

### To Order

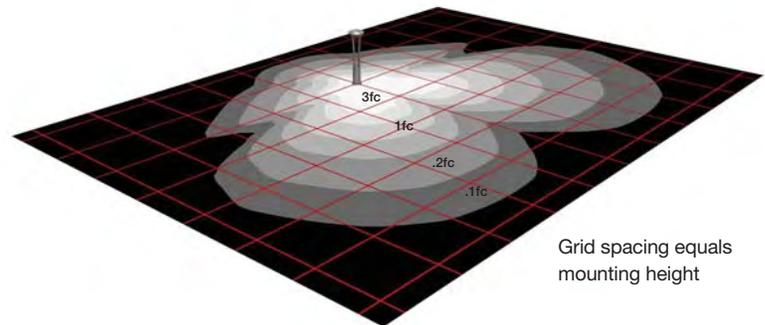
Specify Hawthorne and powdercoat color for frame. Surface mount only.

### Other

UL Listed, RoHS,

Patent #: US Pat D652,976

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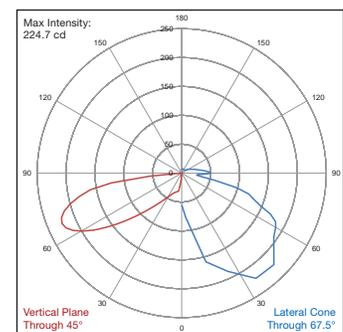


Grid spacing equals mounting height

### Hawthorne Light Distribution and Spacing

Hawthorne has an IES Type 4 distribution and meets or exceeds IESNA DG-5 for Park walkways, Class I bikeways, Residential sidewalks and Intermediate sidewalks at 25' pole spacing, and Commercial sidewalks at 15' pole spacing. Path lights can also be spaced 15' apart on both sides of a 10' path for Public-Way Emergency Egress. Outside of North America, Hawthorne meets CIE-136-2000 for Residential Parks at 25' pole spacing.

LED lighting facts®	
A Program of the U.S. DOE	
Light Output (Lumens)	351
Watts	7.8
Lumens per Watt (Efficacy)	45
Color Accuracy Color Rendering Index (CRI)	81
Light Color Correlated Color Temperature (CCT)	3500 (Bright White)
LED Lumen Maintenance Projection at 25,000 Hours at 25°C Ambient*	95.93%
Warranty**	Yes
<small>All results, except LED Lumen Maintenance, are according to IESNA LM-79-2008: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.</small>	
<small>* Based on TM-21 projections for the light source. ** See <a href="http://www.lightingfacts.com/products">www.lightingfacts.com/products</a> for details.</small>	
<small>Registration Number: 1YY7-TXRE25 (5/8/2015) Model Number: Hawthorne Type 4 Type: Luminaire - Bollard</small>	



LM-79 Photometry

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Kalamazoo, MI 49048

[www.landscapeforms.com](http://www.landscapeforms.com)

[specify@landscapeforms.com](mailto:specify@landscapeforms.com)



Surface Mount

Included hardware



1x – Lightpole assembly



4x – Cabinet cover



1x – LED driver



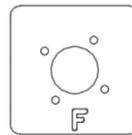
1x – Cabinet dome cover



1x – Cabinet dome retainer bar



4x – Cabinet cover screw



1x – anchor template

Tools Required

- Safety glasses
- Screwdrivers
- Wiring tools and connectors
- Anchoring hardware – (4)  $\varnothing 3/8$  (maximum) x 3-1/2" length stainless steel anchors. Landscape Forms recommends Power bolts or drop-in wedge anchors
- Hammer drill
- 3/16" hex key

**LIGHTING LAYOUT RECOMMENDATIONS:**

Although light pole spacing is the responsibility of others, the following can be used to help determine appropriate spacing:

Hawthorne distribution is an IES Type 4 pattern and meets or exceeds IESNA DG-5 for Park walkways, Class 1 bikeways, Residential sidewalks and Intermediate sidewalks at 25' pole spacing, and Commercial sidewalks at 15' pole spacing. Poles can also be spaced 15' apart on both sides of a 10' path for Public-Way Emergency Egress. Outside of North America, Hawthorne meets CIE-136-2000 for Residential Parks at 25' pole spacing.

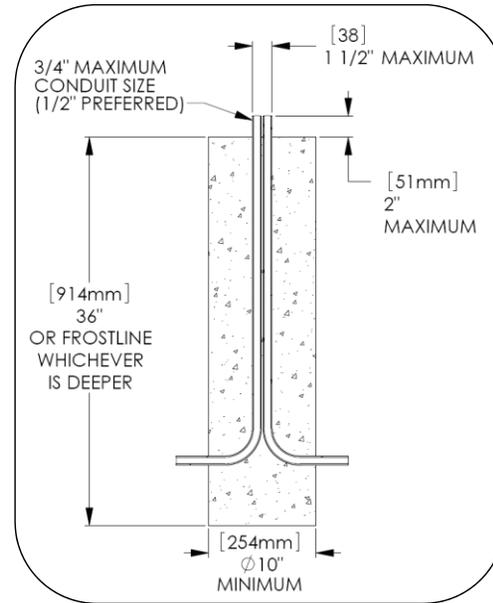


Fig. 1 – Minimum footing recommendation

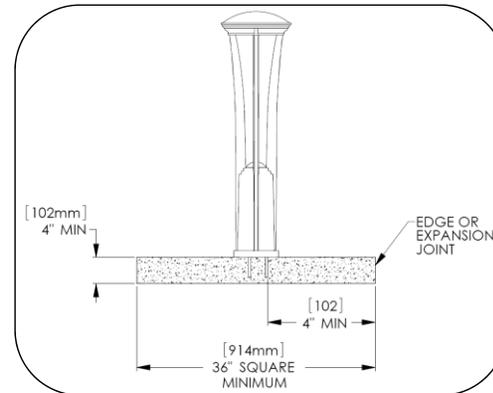


Fig. 2 – Minimum concrete slab size

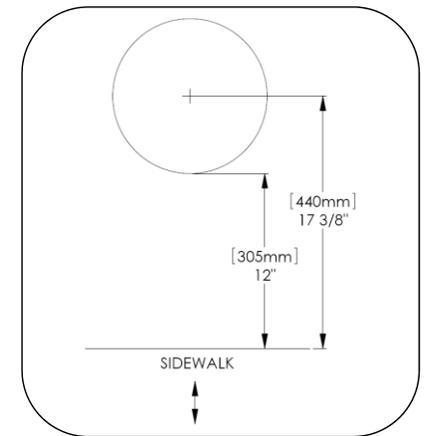
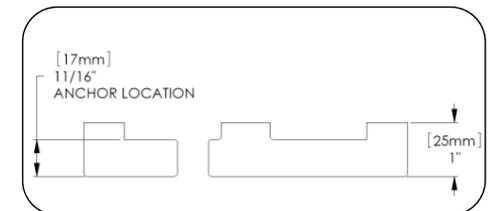
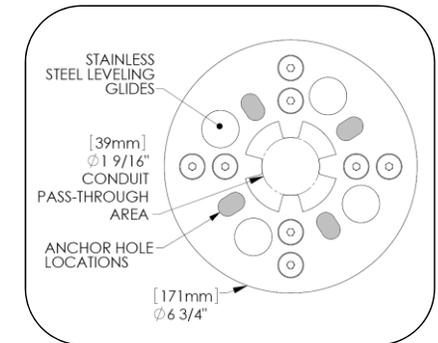


Fig. 3 –



**ASSEMBLE WITH CARE!** Pangard II® Polyester Powdercoat is this finish during assembly, place unwrapped powdercoated marring surface. Do not place or slide powdercoated parts on surface – this will damage the finish causing rust to occur. Use finish caused by assembly tools.

Landscape Forms is not responsible for site preparation and footings. Footing recommendations are included in these instructions.

### INSTALLATION PROCEDURE FOR LIGHT POLE:

1. Prepare footing as required by local codes, see Fig. 1, Fig. 2 and Fig. 3 for recommendations.
2. Set wooden anchor template in position over conduit. 'F' on the template indicates the Front of the unit.
3. Mark four anchor hole locations and remove the template.
4. Drill holes according to anchor size and depth. Clear holes of debris.
5. Set unit in place, ensuring that base sits flat on concrete, and install anchors according to anchor manufacturer's recommendations.
6. Using 3/16" hex key, adjust leveling glides until unit is plumb.

### PROCEDURE FOR INSTALLING CABINET COVERS:

1. Set retainer bar in the casting pocket.
2. Install cabinet covers as shown, ensuring bottom tab of cover rests in the groove in base casting. Repeat for remaining three covers.
3. Install cabinet dome cover by threading into the retainer bar until tight.

### PROCEDURE FOR WIRING HAWTHORNE:

The Hawthorne pathway light is assembled at the factory. mounted into the head of the pole and will not need installation. The LED cartridge is wired to the driver factory.

The following schematic is to be used to connect the unit responsibility of the installer to make sure that all connections with the NEC and local building codes. Connection

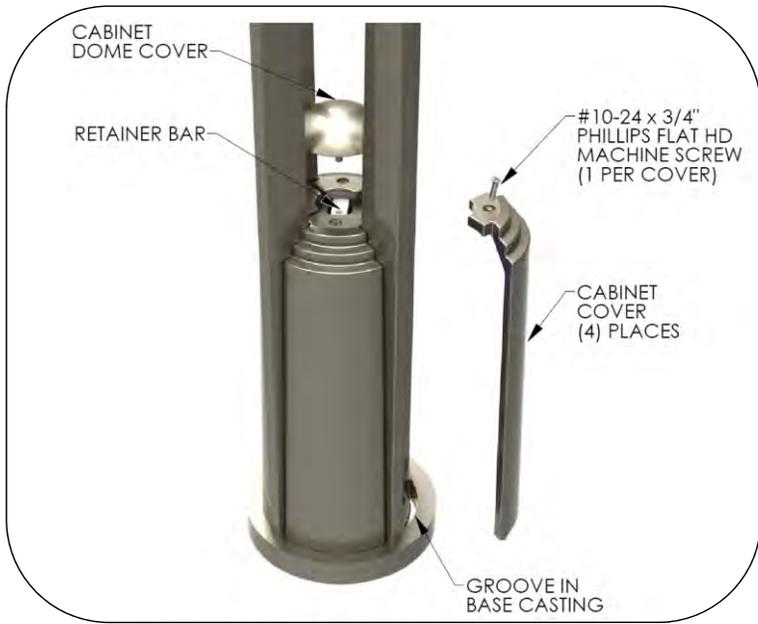


Fig. 6 – Remove access panel

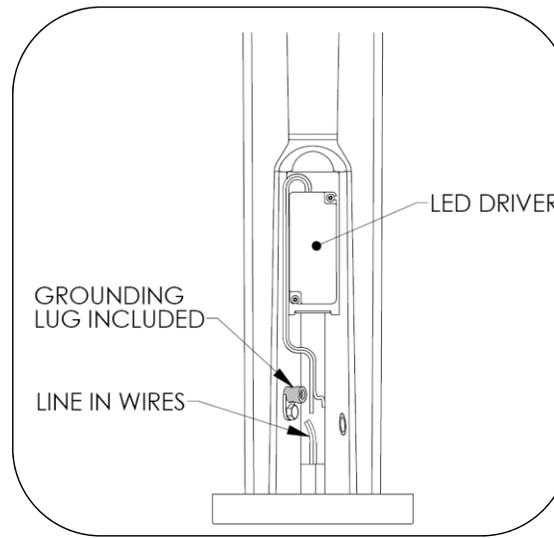


Fig. 7 – Access panel removed

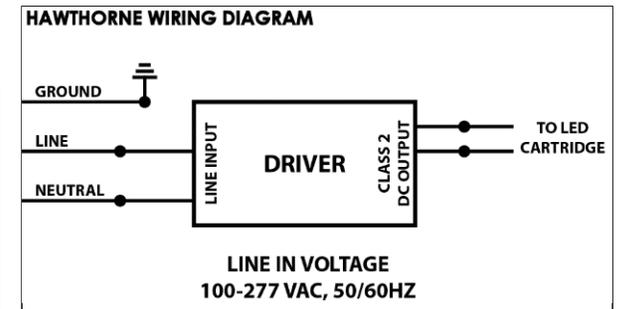


Fig. 8 – Hawthorne

# KICHLER®

ARCHITECTURAL OUTDOOR

PROJECT:
TYPE:
ORDERING # :
COMMENTS:

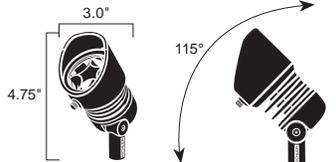
## Design Pro LED Accent 6.5W



16006 (6.5W 10° Spot) 16007 (6.5W 35° Flood) 16008 (6.5W 60° Wide Flood)

## FEATURES

- Three beam spread options put light where you want it.
- A range of Kelvin color temperature choices from warm white 2,700K to pure white 3,000K.
- Radiax™ Optics deliver the greatest lumens per watt in the industry.
- Tight LED binning tolerances mean greater color consistency.
- Built-in adjustable cowl provides better glare control.
- 9V-15V operating range virtually eliminates voltage drop.



can be used in up or down position

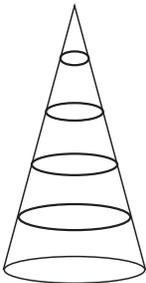
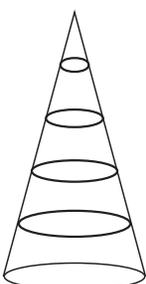
## ORDERING INFORMATION

EXAMPLE: 16006 AZT27, 16060 AZT, 16064 AMB  
 Product ordered is a 6.5W, 2700K, 10 degree spot accent light in Textured Architectural Bronze with a long cowl and an amber lens accessory.

PRODUCT	WATTAGE/STYLE	LIGHT SOURCE	FINISH	OPTIONS / ACCESSORIES
<b>2700K WARM WHITE</b> 10 Degree 16006 AZT27 16006 BBR27 16006 BKT27 16006 BE27  35 Degree 16007 AZT27 16007 BBR27 16007 BKT27 16007 BE27 16007 WHT27  60 Degree 16008 AZT27 16008 BBR27 16008 BKT27 16008 BE27  <b>3000K PURE WHITE</b> 10 Degree 16006 AZT30 16006 BBR30 16006 BKT30 16006 BE30  35 Degree 16007 AZT30 16007 BBR30 16007 BKT30 16007 BE30 16007 WHT30  60 Degree 16008 AZT30 16008 BBR30 16008 BKT30 16008 BE30	*6.5W / 10VA - 10 Degree Spot Beam Spread  *6.5W / 10VA - 35 Degree Floodlight Beam Spread  *6.5W / 10VA - 60 Degree Wide Floodlight Beam Spread	<b>LED Specs</b> - Integrated LEDs & Driver - LEDs: High Output CREE® LEDs tightly binned for color uniformity - Color Temp. (CCT): 2,700K (-50/+100) Warm White 3,000K (-45/+130) Pure White - CRI: 80s - 9V-15V AC/DC - 40,000 Hours Lamp Life To L70 Specifications ** - Efficacy: 2,700K = 47Lm/W 3,000K = 54Lm/W  <b>Wiring</b> - 24" of Usable #18-2 Wire - SPT-1-W Leads  <b>Included Mounting Accessories</b> - 8" In-Ground Stake - Pro Series Wire Connector  <b>Note:</b> Fixture is Not For Use w/ Electronic Transformers	<b>Marine Grade Powdercoats</b> <b>Cast Aluminum</b> AZT - Textured Architectural Bronze  BKT - Textured Black  BE - Beach  WHT - White (Textured White only available in 35° beam)  <b>Cast Brass</b> BBR - Bronzed Brass	<b>Mounting Options</b> <b>Flange For Surface Mounting</b> 15601AZT - Textured Bronze Finish 15601BKT - Textured Black Finish 15601BBR - Bronzed Brass Finish  <b>Flange For Tree / Surface Mounting</b> 15607AZT - Textured Bronze Finish 15607BKT - Textured Black Finish 15607BBR - Bronzed Brass Finish 15607WHT - Textured White Finish  <b>90° Elbow</b> 15647AZT - Textured Bronze Finish 15647BKT - Textured Black Finish 15647BBR - Bronzed Brass Finish  <b>Junction Box Mounting Bracket</b> 15609AZT - Textured Bronze Finish 15609BKT - Textured Black Finish  1/2" NPSM thd.  <b>Lens Options</b>  16065AMB - Amber Lens For a Warmer Hue  16065FRO - Frosted Lens For Diffusing Light Where Needed  16065GRN - Green Lens For Intensifying Foliage Colors  <b>Cowl Options</b> <b>Long Cowl</b> 16060AZT - Textured Bronze Finish 16060BBR - Bronzed Brass Finish 16060BKT - Textured Black Finish 16060WHT - Textured White Finish  <b>360° Cowl</b> 16061AZT - Textured Bronze Finish 16061BBT - Bronzed Brass Finish 16061BKT - Textured Black Finish 16061WHT - Textured White Finish    Shown Installed    Shown Installed

PROJECT:
TYPE:
ORDERING # :
COMMENTS:

## PHOTOMETRIC INFORMATION

PRODUCT	DISTANCE	FOOTCANDLES	BEAM WIDTH	
10 Degree Spot 16006	8 Feet	106.3	1.6 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Narrow Spot</div>  <div style="margin-left: 20px;">10 Degree Spread</div> </div>
	12 Feet	48.4	2.4 Feet	
	24 Feet	12.2	4.8 Feet	
	36 Feet	5.4	7.2 Feet	
	48 Feet	3.1	9.6 Feet	
	60 Feet	2	12 Feet	
35 Degree Floodlight 16007	4 Feet	66.1	2.3 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Flood</div>  <div style="margin-left: 20px;">35 Degree Spread</div> </div>
	8 Feet	16.5	4.5 Feet	
	16 Feet	4.1	9.1 Feet	
	24 Feet	1.8	13.6 Feet	
	32 Feet	1	18.1 Feet	
	40 Feet	0.7	22.6 Feet	
60 Degree Wide Floodlight 16008	4 Feet	15	4.2 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Wide Flood</div>  <div style="margin-left: 20px;">60 Degree Spread</div> </div>
	8 Feet	3.7	8.5 Feet	
	16 Feet	0.9	17 Feet	
	24 Feet	0.4	25.5 Feet	
	32 Feet	0.2	34 Feet	
	40 Feet	0.2	42.4 Feet	

## NOTES

**FCC  
Compliant**

\*\*Definition of 40,000 hours: Voluntarily following the accepted industry standard of L70, Kichler rates the entire lighting fixture system at 40,000 hours; with engineered electronics that will last at least 40,000 hours, superior optical engineering, and finally utilizing a design that operates at the optimal temperature thresholds for the LED chips. The end result is a complete light fixture that does not require replacement parts and will provide 70% or more of its original light output for at least 40,000 hours. It has been proven that the human eye can hardly detect any difference in light output when light output is at 70% or above of its original output.



\* 6.5W is The Halogen Equivalent of a 35W MR16 Lamp  
 - Fixtures Must be Used With a Kichler ANSI/UL Power Supply  
 IES Files & LM-79 Data is available at [www.landscapelighting.com](http://www.landscapelighting.com).  
 LM-79 data is not available on our site.

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any ANSI/UL Standards products previously manufactured, and without notice.

# KICHLER®

ARCHITECTURAL OUTDOOR

## Design Pro LED In-Ground 14W



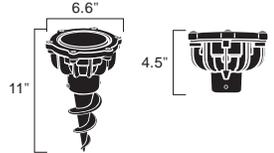
BB

16036 (14W 10° Spot) 16037 (14W 35° Flood) 16039 (14W 60° Wide Flood)

PROJECT:
TYPE:
ORDERING # :
COMMENTS:

## FEATURES

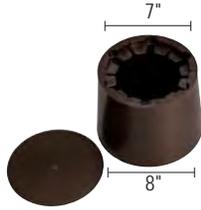
- Three beam spread options put light where you want it.
- A range of Kelvin color temperature choices from warm white 2,700K to pure white 3,000K.
- Radiax™ Optics deliver the greatest lumens per watt in the industry for comparable fixtures.
- All brass construction is corrosion-free and stronger than aluminum or composite built designs.
- 15° adjustable aiming.
- Auger stake, with anti-heaving feature included.
- Durable 9V-15V operating range.
- Drive-over and walk-over rated.



## ORDERING INFORMATION

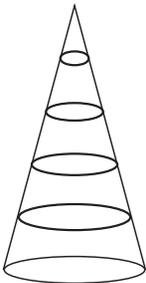
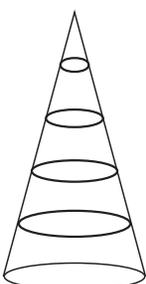
EXAMPLE: 16036 BBR27, 16050 BBR

Product ordered is a 14W, 2700K, 10 degree spot in-ground light in Bronzed Brass with a cast brass cowl accessory.

PRODUCT	WATTAGE/STYLE	LIGHT SOURCE	FINISH	OPTIONS / ACCESSORIES
2700K WARM WHITE	*14W / 18.5VA - 10 Degree Spot Beam Spread	<b>LED Specs</b> - Integrated LEDs & Driver - LEDs: High Output CREE® LEDs tightly binned for color uniformity - Color Temp. (CCT): 2,700K (-50/+100) Warm White 3,000K (-45/+130) Pure White	Cast Brass  BBR - Bronzed Brass	<b>Mounting Options</b>  Concrete Kit 16501BBRP - Bronzed Brass Finish  Drive-over and walk-cover rated for a 4500 lb car or truck  Throw-away debris lid
10 Degree 16036 BBR27				
35 Degree 16037 BBR27	*14W / 18.5VA - 35 Degree Floodlight Beam Spread	- CRI: 80s - 9V-15V AC/DC - 40,000 Hours Lamp Life To L70 Specifications ** - Efficacy: 2,700K = 37Lm/W 3,000K = 42Lm/W		
60 Degree 16038 BBR27		<b>Wiring</b> - 24" of Usable #18-2 Wire - SPT-1-W Leads		
3000K PURE WHITE	*14W / 18.5VA - 60 Degree Wide Floodlight Beam Spread	<b>Included Mounting Accessories</b> - Anti-heaving, Auger- style In-Ground Stake - Pro Series Wire Connector		
10 Degree 16036 BBR30		<b>Note:</b> Fixture is Not For Use w/ Electronic Transformers		
35 Degree 16037 BBR30				
60 Degree 16038 BBR30				

PROJECT:
TYPE:
ORDERING # :
COMMENTS:

## PHOTOMETRIC INFORMATION

PRODUCT	DISTANCE	FOOTCANDLES	BEAM WIDTH	
10 Degree Spot 16036	8 Feet	214.7	1.4 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Narrow Spot</div>  <div style="margin-left: 20px;">10 Degree Spread</div> </div>
	12 Feet	95.4	2.1 Feet	
	24 Feet	23.8	4.3 Feet	
	36 Feet	10.6	6.4 Feet	
	48 Feet	6	8.6 Feet	
	60 Feet	3.8	10.7 Feet	
35 Degree Floodlight 16037	4 Feet	98.5	2.3 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Flood</div>  <div style="margin-left: 20px;">35 Degree Spread</div> </div>
	8 Feet	24.6	4.5 Feet	
	16 Feet	6.1	9.1 Feet	
	24 Feet	2.7	13.6 Feet	
	32 Feet	1.5	18.1 Feet	
	40 Feet	1	22.6 Feet	
60 Degree Wide Floodlight 16038	4 Feet	25.1	4.4 Feet	<div style="display: flex; align-items: center; justify-content: center;"> <div style="margin-right: 20px;">Wide Flood</div>  <div style="margin-left: 20px;">60 Degree Spread</div> </div>
	8 Feet	6.3	8.8 Feet	
	16 Feet	1.6	17.7 Feet	
	24 Feet	0.7	26.5 Feet	
	32 Feet	0.4	35.3 Feet	
	40 Feet	0.3	44.2 Feet	

## NOTES

**FCC Compliant**

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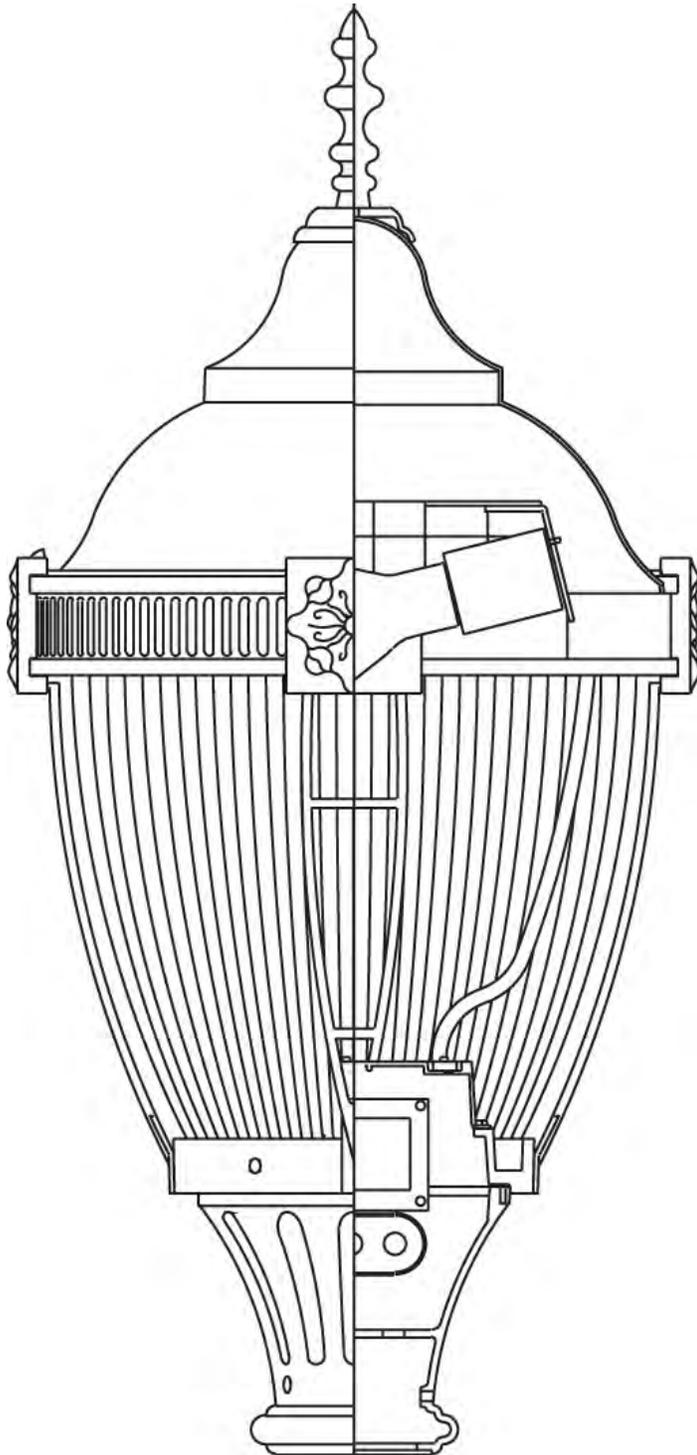


\* 14W is The Halogen Equivalent of a 50W MR16 Lamp  
 - Fixtures Must be Used With a Kichler ANSI/UL Power Supply  
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# Hagerstown (T03) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:



## Ordering Guide

Example: T03 A C B A 1 A 3 N D 70S E

Product Code	T03	Hagerstown
<b>Fitter/Pod</b>	A	Octagonal Style
	B	Round fitter w/ scalloped petals
	C	Fluted tapered hourglass
	D	Smooth tapered hourglass
	E	Tapered fluted w/ scalloped petals
	F	Short round fluted
	G	Tall round fluted
	H	Round contemporary
	J	Tapered Fluted w/ round stepped fitter
	L	Round fluted long
	T	Decorative Leaf w/ scalloped petals
<b>Roof</b>	C	Tall
<b>Cage / Band</b>	B	Cage for Narrow Body Globe
<b>Finial</b>	A	A Finial
	B	B Finial
	C	C Finial
	D	D Finial
	E	E Finial
	F	F Finial
	G	G Finial
	H	H Finial
	N	None
<b>Fasteners</b>	1	Hex Head
	2	Allen Head *1
<b>Finish</b>	A	Black
	B	White
	G	Verde
	H	Bronze
	J	Green
<b>Reflector</b>	3	Type III Cutoff
	5	Type V Cutoff *2
<b>Photo Control</b>	N	None
	B	Button Eye Photo Control
	R	Twist-lock Receptacle *1,3
<b>Socket</b>	D	Medium
	G	Mogul
<b>Wattage</b>	70S	70W HPS *4
	100S	100W HPS *4
	150S	150W HPS
	200S	200W HPS *5
	250S	250W HPS *5
	70H	70W MH
	100H	100W MH
	150H	150W PMH
	250H	250W PMH *5
<b>Voltage</b>	E	120V
	F	208V
	G	240V
	H	277V
	K	347V *6

\*1 Not available with (C), (D), (F), or pods.

\*2 Available with Medium base (D) socket only.

\*3 Twistlock photocell receptacle (R) in (A), (B), (G), (H), (J), and (T) pods available up to 150W HPS and 200W MH. (L) pod available in all wattages. Not available in other pods.

\*4 Not available in Mogul base (G) socket.

\*5 Available only in (A), (B), (E), (G), (H), (L), and (T) pods and with Mogul base (G) socket only.

\*6 347V (K) not available for (200H) or (200S).

# Hagerstown (T03) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

## Specifications

### HOUSING:

#### OPTIONAL PODS:

A: Octagonal style fitter is constructed of die-cast 360 aluminum alloy with bottom-hinged door providing 135o entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10-3/4" and width is 10-1/4". Finish is polyester thermoset powdercoat.

B: Round fitter with scalloped petals is constructed of die-cast 360 aluminum alloy with side-hinged door providing 180o entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 12-1/4" and width is 11-1/2". Finish is polyester thermoset powdercoat.

C: Fluted tapered hourglass fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 8" and width is 8-3/4". Finish is polyester thermoset powdercoat.

D: Smooth tapered hourglass fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 8" and width is 9-1/4". Finish is polyester thermoset powdercoat.

E: Tapered fluted fitter with scalloped flower petals is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10" and width is 11-1/2". Finish is polyester thermoset powdercoat.

F: Short Round fluted fitter is constructed of die-cast 360 aluminum alloy. Accepts standard HADCO Twistlock ballast assemblies up to 150W HPS or 200W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 7-1/2" and width is 9-1/4". Finish is polyester thermoset powdercoat.

G: Tall Round fluted fitter is constructed of die-cast 360 aluminum alloy with removable door providing entry into the fitter assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 9" and width is 9". Finish is polyester thermoset powdercoat.

H: Round contemporary fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional internal button eye photocell. Easy access to photocell through tool-less door on pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 10" and width is 10". Finish is polyester thermoset powdercoat.

J: Tapered fluted fitter with round stepped fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle. Tool-less access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes six 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 14" and width is 10". Finish is polyester thermoset powdercoat.

L: Round fluted long fitter is constructed of 356 HM High-Strength, Low-Copper cast aluminum with a side-hinged door providing entry into the fitter assembly for easy access to the electrical components. Accepts standard Hadco Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle or button eye photocell. Tool-less access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes three 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering the ballast compartment. Globe is attached using four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). Pod height is 12-1/2" and width is 10-3/4". Finish is polyester thermoset powdercoat.

T: Decorative Leaf fitter with scalloped petals is constructed of 356 HM High-Strength, Low-Copper cast aluminum with side-hinged door providing 180o entry into the fitter

# Hagerstown (T03) Specification Sheet

Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

assembly for easy access to the electrical components. Accepts standard HADCO Twistlock ballast assemblies up to 250W HPS or 250W MH. Wiring block to accept three #8 solid or stranded wires. Optional internal twist-lock photo eye receptacle (available for 200W MH max or 150W HPS max) or optional button eye photocell. Easy access to photo eye through the door on the pod. Heavy cast aluminum post fitter utilizes four 5/16-18 black cadmium stainless steel set screws (Hex head or Allen head as specified) for mounting to 3" O.D. post tenon. Globe holder has an internal water trap to prevent water from entering ballast compartment. Globe is held by utilizing four 5/16-18 black cadmium stainless steel fasteners (Hex head or Allen head as specified). All hardware to be stainless steel and captive. Pod height is 15-1/4" and width is 11-1/2". Finish is polyester thermoset powdercoat.

#### ROOF:

C: Roof is 0.090" thick spun aluminum. 9-5/8" height and 15-3/4" width. The roof and bottom globe sections are secured in a slip-fit, 1/2" overlap design and use four #10-24 stainless steel pan head screws with four aluminum nutserts providing a mechanical lock and enabling easy future replacement of either the roof or bottom globe section if required. Finish is polyester thermoset powdercoat.

#### CAGE:

B: Cage for narrow body globes (15" dia.) is constructed of die-cast 360 aluminum alloy. Cage has 4 legs each with square decorative flower block. Solid rectangular band around top of cage. Height of cage is 17" and width of cage is 15". Finish is polyester thermoset powdercoat.

#### FINIALS:

All finials are cast aluminum mounted with 1/4-20 stainless steel threaded studs. Standard finial finish will match fixture finish as specified. Finish is thermoset powdercoat.

FASTENERS: Used to secure post fitter to post tenon and globe to globe holder.

1: Hex Head Bolts: Black cadmium stainless steel.

2: Allen Head Bolts: Black cadmium stainless steel.

#### FINISH:

Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting. Laboratory tested for superior weatherability and fade resistance in accordance with ASTM B117 specifications. For larger projects where a custom color is required, contact the factory for more information.

#### OPTICAL ASSEMBLY:

##### GLOBE AND OPTICAL ASSEMBLY:

Type III (3) and Type V (5) Cutoff: Narrow body globe is constructed of clear injection-molded vertically ribbed U.V. stabilized acrylic. A two-piece (Globe and Roof) hinged roof design secures with a stainless steel thumb screw and allows easy access for relamping. The bottom section of the globe has a neck opening of 7-3/8" and an outside neck diameter of 8". Globe (less the roof) has a 15-1/2" height and a 14-3/4" width. Precision formed, segmented, specular aluminum internal cutoff reflector with horizontal lamp mounting. Meets IES Type III and Type V cutoff criteria. (NOTE: Type V Cutoff optics available in Medium base (D) socket only.)

#### ELECTRICAL ASSEMBLY:

Twistlock Ballast Assembly with Quick Disconnects for easy maintenance. Ballasts are HPF core and coil. 4kv rated mogul base porcelain socket. Nickel-plated screw shell with center contact. 4kv rated porcelain mini-can base. Nickel-plated screw shell with center contact.

#### BALLAST:

All HID ballasts are core and coil and regulated with power factors better than 90% (HPF). Ballast provides +/- 5% lamp power regulation with +/- 10% input voltage regulation. Ballasts are factory pre-wired and tested. Metal halide ballasts are capable of starting at -20° F or -30° C and HPS at -40°F or -40°C. NOTE: All ballasts are EISA / Title 20 / Title 24 compliant where applicable.

#### CERTIFICATIONS:

ETL Listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations. Manufactured to ISO 9001:2008 Standards.

#### WARRANTY:

Three-year limited warranty.

#### Max. EPA:

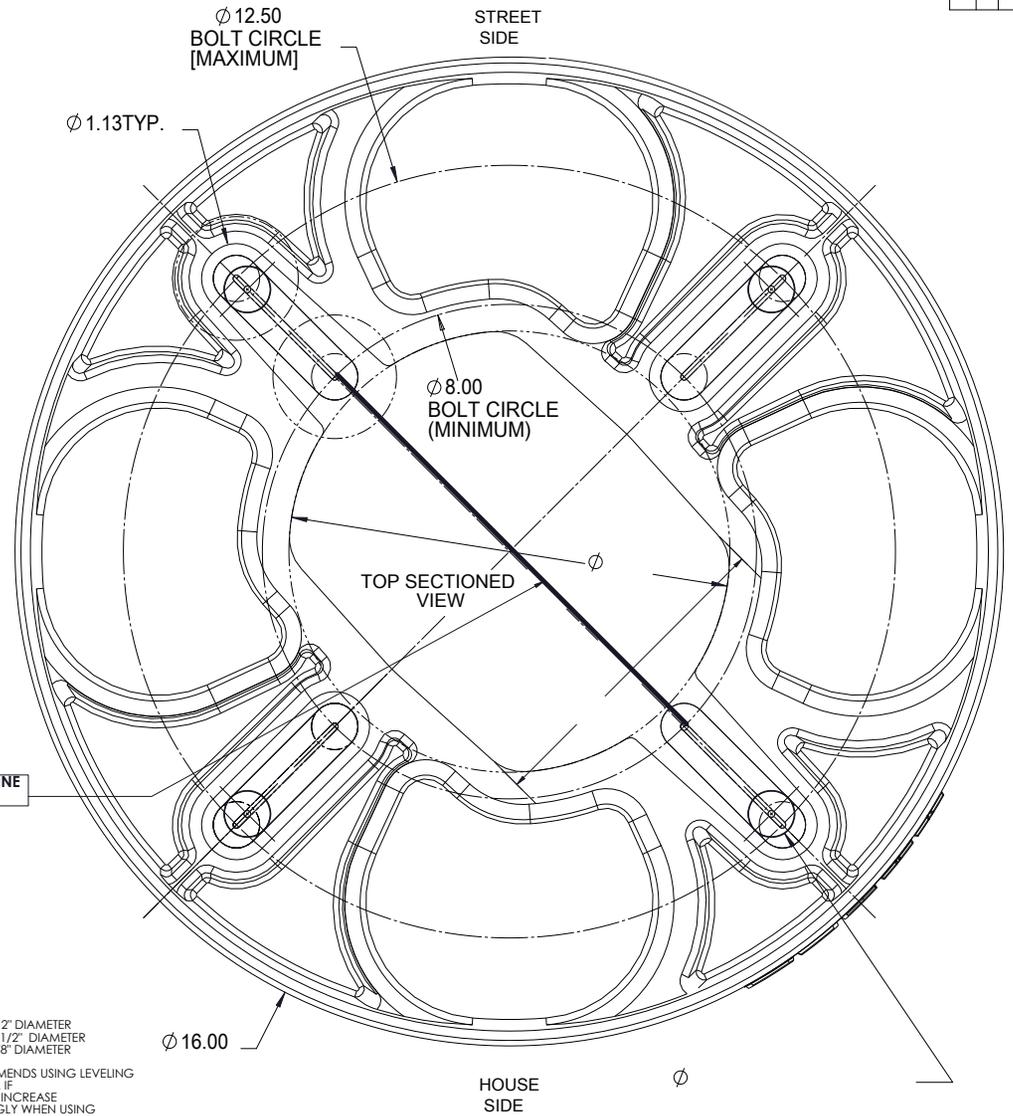
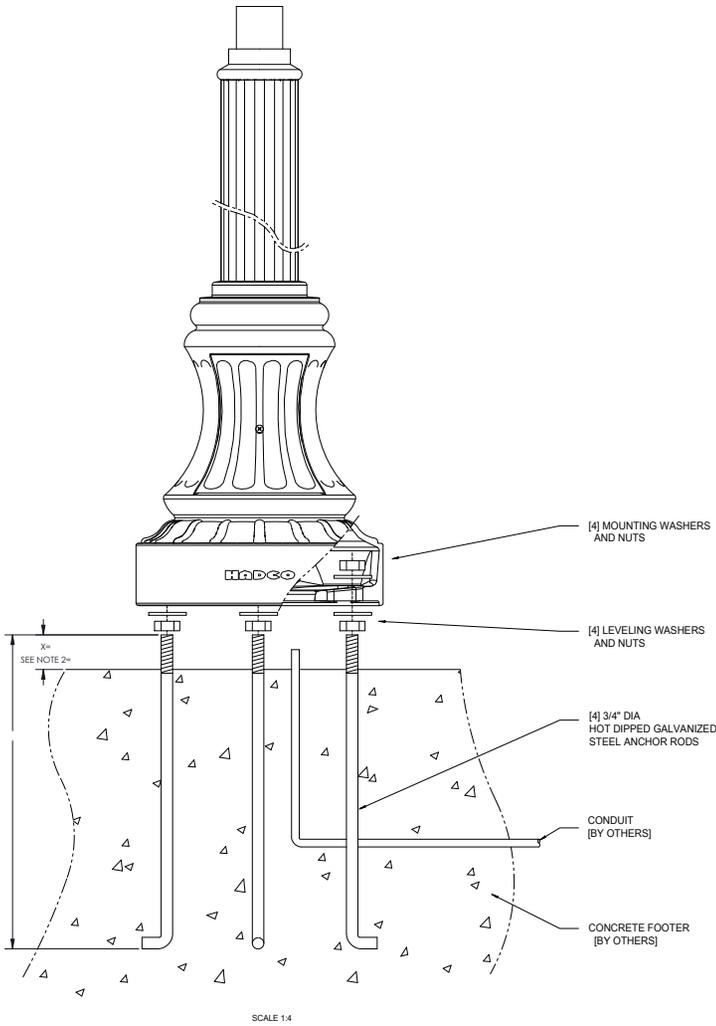
1.70 sq. ft.

#### Max. Weight:

45 lbs

#### IESNA Classifications:

Cutoff: Cutoff Optics

**\*WARNING\***  
**NOT TO SCALE**  
**CONSULT FACTORY FOR**  
**FULL SIZE TEMPLATE.**

- NOTES:  
 1. SUGGESTED BOLT CIRCLE: 12" DIAMETER  
 MAXIMUM BOLT CIRCLE: 12 1/2" DIAMETER  
 MINIMUM BOLT CIRCLE: 9 5/8" DIAMETER  
 =  
 2. PHILIPS STRONGLY RECOMMENDS USING LEVELING NUTS TO MOUNT POST BASE. IF FOUNDATION IS NOT LEVEL, INCREASE "X" DIMENSION ACCORDINGLY WHEN USING LEVELING NUTS WITH WASHERS.  
 =  
 X = 3" MINIMUM WITH LEVELING NUTS  
 X = 2 3/8" MINIMUM WITHOUT LEVELING NUTS  
 =  
 3. IF USING GROUTING TO CONCEAL GAP BETWEEN BASE AND FOUNDATION, ALLOW FOR WATER DRAINAGE. =

<b>PHILIPS</b>			



# Melville

May 2012

With our roots in the landscape and a stated purpose to “Enrich Outdoor Spaces,” Landscape Forms has a special relationship to the natural environment. We have always been mindful that as we design and manufacture products that are acted upon by the environment, we act upon it in turn. Environmental sustainability is completely consistent with our purpose, our goals, our values and our principles. We make stewardship of the environment a vital part of our business.

To learn more about our sustainability initiatives, refer to our [Environmental Statement](#).

**MELVILLE BENCH IS MANUFACTURED USING THE FOLLOWING MATERIALS:**

<b>Material</b>	<b>Parts</b>	<b>Recyclable</b>
cast aluminum	frame, support, seat	100%
wood	seat	100%

**Finishing**

All metal is finished with Pangard II® polyester powdercoat, which is lead-free, hazardous air pollutants-(HAPS) free, does not generate hazardous waste, and contains less than 1% VOCs. Once processed, these trace VOCs are fully inert therefore the finish does not release airborne contaminants.

Landscape Forms wood furniture for outdoor use is manufactured from wood species that weather naturally in outdoor settings to a beautiful pewter gray. We do not apply paints or finishes to these products and do not recommend the use of finishes which would require ongoing maintenance programs as the wood weathers. Our wood furniture for indoor use is finished with LF 80, a clear, catalyzed low-VOC acrylic finish.

<b>Packaging Materials</b>	<b>Parts</b>	<b>Recyclable</b>
biodegradable plastic	product bagged to protect finish	100%
recycled skid		100%
cardboard with 35% recycled content		100%

To find local recyclers visit: for steel: [www.recycle-steel.org](http://www.recycle-steel.org); for cardboard: [www.corrugated.org](http://www.corrugated.org).

**LEED®**

This product may help achieve the following points under the LEED 2009 Rating System. For specifics regarding rules for the inclusion of furniture, please consult the rating system and reference guide that applies to your project.

**IEQ Prerequisite 2: Environmental Tobacco Smoke (ETS) Control**

**Intent**

To prevent or minimize exposure of building occupants, indoor surfaces and ventilation air distribution systems to environmental tobacco smoke (ETS).

Benches, tables, chairs and ash urns help create a designated smoking area 25 feet or more from entries, outdoor air intakes and operable windows to support the intent of this prerequisite.

## Materials and Resources

### MR Credit 4, Recycled Content

#### Intent

To increase demand for building products that incorporate recycled content materials, thereby reducing impacts resulting from extraction and processing of virgin materials.9

#### Recycled Content

Style	Total	Post Consumer	Pre Consumer
backless wood bench	20	10	10
backless aluminum bench	30	15	15
backed wood bench 9	26 9	13 9	13 9
backed aluminum bench 9	32 9	16 9	16 9

### MR Credit 5, Regional Materials

#### Intent

To increase demand for building materials and products that are extracted and manufactured within the region, thereby supporting 9 the use of indigenous resources and reducing the environmental impacts resulting from transportation.

This product is categorized as Furniture and Furnishings, Division 12. MR Credit 5 is to include only products in Division 2 – 10 of the 9 (CSI) MasterFormat. At the option of the project, Division 12 may be included, but then must also be included consistently 9 in MR Credits 3 through 7. 9

This product is manufactured in our Kalamazoo, MI facility, zip code 49048. Many of our suppliers are located within a 500 mile 9 radius of this facility, but they may source raw materials from multiple sources. If the project is within 500 miles of Kalamazoo and 9 you wish to consider this product for MR Credit 5, please contact Landscape Forms prior to order placement to explore the 9 possibility of specifying regionally sourced raw materials.

### MR Credit 7, Certified Wood

#### Intent

To encourage environmentally responsible forest management.

Landscape Forms is certified for Forest Stewardship Council Chain of Custody. Certification registration number SW-COC-001261. 9 This product is offered with FSC certified wood as an option. Contact Landscape Forms for pricing and lead times. 9

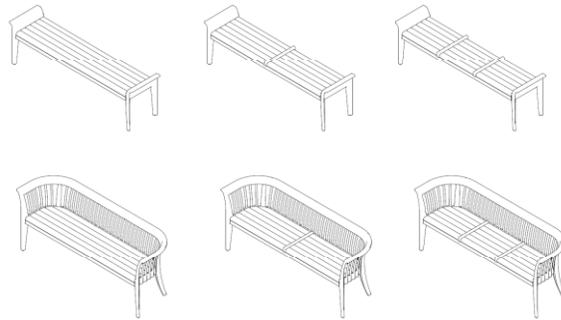
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## CARE AND MAINTENANCE

Melville is designed and engineered to live a long, useful life in outdoor spaces without the use of chemical cleaners to maintain the finish. It is tested to ANSI/BIFMA durability standards. The durability, longevity and low maintenance of our products contribute to 9 responsible stewardship of the earth's resources.

All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists 9 rusting, chipping, peeling and fading and requires no cleaning solvents once installed. Clean surface as needed using a soft cloth or 9 brush with a mild detergent. Avoid steam cleaning, abrasive cleansers, carbon steel brushes/wools and cleaners containing chlorine. 9 Outdoor use will require periodic finish inspection and maintenance. Inspect periodically for scratches, nicks and gouges. Touch-up 9 paint is included with every order and can be used to repair minor nicks and scratches.

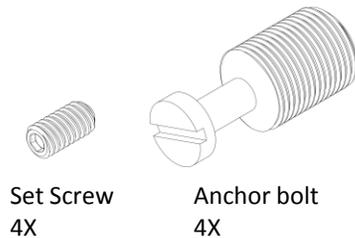
Wood: Exterior woods require no maintenance. If desired, the surface may be scrubbed with warm soapy water and soft bristle 9 brush. Pressure washing, steel wool/wire brushes are not recommended. Heavily ingrained stains may be sanded away with fine 9 grade sandpaper worked in the direction of the grain. Sanded wood will weather to a gray patina. Interior woods require only dusting 9 or occasional cleaning with a good-quality furniture polish.



Bench options

**Included components:**

- Anchoring hardware is included when bench is specified as Surface Mount or Embedded



Set Screw  
4X

Anchor bolt  
4X

**Tools Required, for Surface Mount or Embedded mounting option**

- Safety glasses
- Bench ships fully assembled, optional dividers are factory installed.
- Slotted screwdriver
- Chemical anchoring adhesive (Hilti HIT RE 500 or equivalent)
- Hammer drill with masonry bits
- Blanket or other padded material, for protecting powdercoat finish

**For Surface Mount Option:**

- 1/8" hex key
- (4) Stainless steel drop-in screw anchors for 5/8-11 thread, minimum 7/8" thread length, and setting tool

**ASSEMBLE WITH CARE!** Pangard II® Polyester Powdercoat is a strong, long-lasting finish. To protect this finish during assembly, place unwrapped powdercoated parts on packaging foam or other non-marring surface. Do not place or slide powdercoated parts on concrete or other hard or textured surface – this will damage the finish causing rust to occur. Use touch-up paint on any gouges in the finish caused by assembly tools.

**PROCEDURE FOR INSTALLATION:**

1. Prepare proper concrete slab as required.
2. Freestanding bench ships with glides installed. Bench

**Note:** DO NOT DRAG bench across concrete or other the powdercoat finish.

**For SURFACE MOUNT or EMBEDDED bench:**

1. For surface mount or embedded option, tip bench remove glides using a slotted screwdriver.
2. Thread surface mount bolt into casting leg (4) places,
3. Set bench in place and mark hole locations.
4. Move bench and drill holes according to diameter adhesive manufacturer or drop-in screw anchor

**For EMBEDDED bench:**

1. Fill holes with chemical anchoring adhesive. Set

**For SURFACE MOUNT bench:**

1. Remove surface mount bolts from castings. If using install in holes as shown in Fig. 1.5. If using drop manufacturer's recommendations and thread in
2. After proper curing time, set bench over surface shown in Fig. 1.6.

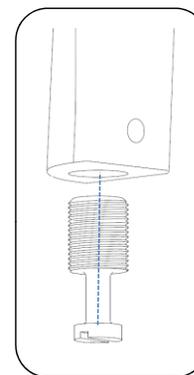


Fig. 1.2

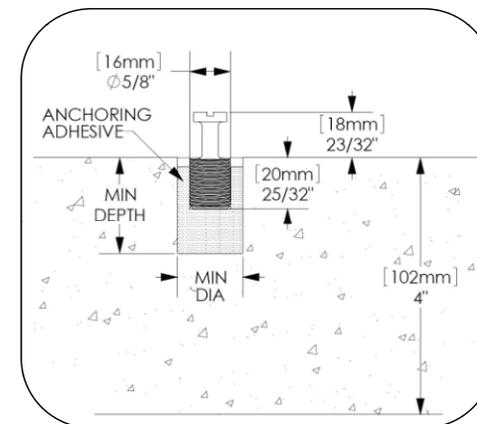
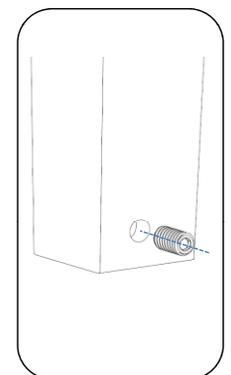


Fig. 1.5



# MELVILLE

Materials / Colors

## Powdercoated Metal

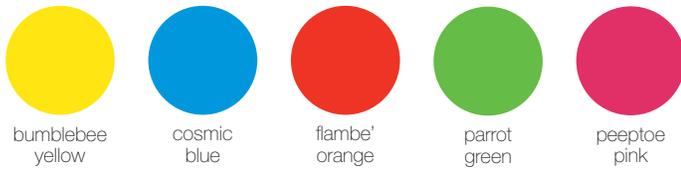
In addition to colors shown below, a wide selection of optional and custom colors may be specified for an upcharge.



## Metallic



## 2013 Color Series\*



## Wood

Exterior woods weather to a warm, pewter gray; no finish is applied so no maintenance is required. Options: ipe, purpleheart, oak and maple may be specified as FSC® Certified (may extend lead times). Special stain may be specified for interior woods. Pricing for standard woods and options varies, see Price Book. (P) = Premium Woods

**exterior** no finish



**interior** LF-80 finish





# Poe

May 2012

With our roots in the landscape and a stated purpose to “Enrich Outdoor Spaces,” Landscape Forms has a special relationship to the natural environment. We have always been mindful that as we design and manufacture products that are acted upon by the environment, we act upon it in turn. Environmental sustainability is completely consistent with our purpose, our goals, our values and our principles. We make stewardship of the environment a vital part of our business.

To learn more about our sustainability initiatives, refer to our [Environmental Statement](#).

**POE LITTER RECEPTACLE IS MANUFACTURED USING THE FOLLOWING MATERIALS:**

<b>Material</b>	<b>Parts</b>	<b>Recyclable</b>
cast aluminum	top/diverter/supports	100%
extruded aluminum	vertical slats	100%
cast iron	base	100%
rotationally molded linear low density polyethylene	liner	100%

**Finishing**

All metal is finished with Pangard II ® polyester powdercoat, which is lead-free, hazardous air pollutants-(HAPS) free, does not generate hazardous waste, and contains less than 1% VOCs. Once processed, these trace VOCs are fully inert therefore the finish does not release airborne contaminants.

<b>Packaging Materials</b>	<b>Parts</b>	<b>Recyclable</b>
biodegradeable plastic 9	product bagged to protect finish 9	100%9
recycled skid		100%
cardboard with 35% recycled content		100%

To find local recyclers visit: for steel: [www.recycle-steel.org](http://www.recycle-steel.org); for cardboard: [www.corrugated.org](http://www.corrugated.org).

**LEED®**

This product may help achieve the following points under the LEED 2009 Rating System. For specifics regarding rules for the inclusion of furniture, please consult the rating system and reference guide that applies to your project.

**IEQ Prerequisite 2: Environmental Tobacco Smoke (ETS) Control**

**Intent**

To prevent or minimize exposure of building occupants, indoor surfaces and ventilation air distribution systems to environmental tobacco smoke (ETS).

Benches, tables, chairs and ash urns help create a designated smoking area 25 feet or more from entries, outdoor air intakes and operable windows to support the intent of this prerequisite.

## Materials and Resources

### MR Credit 4, Recycled Content

#### Intent

To increase demand for building products that incorporate recycled content materials, thereby reducing impacts resulting from extraction and processing of virgin materials.

#### Recycled Content

Style	Total	Post Consumer	Pre Consumer
all styles	56	31	25

### MR Credit 5, Regional Materials

#### Intent

To increase demand for building materials and products that are extracted and manufactured within the region, thereby supporting the use of indigenous resources and reducing the environmental impacts resulting from transportation.

This product is categorized as Furniture and Furnishings, Division 12. MR Credit 5 is to include only products in Division 2 – 10 of the 9 (CSI) MasterFormat. At the option of the project, Division 12 may be included, but then must also be included consistently 9 in MR Credits 3 through 7. 9

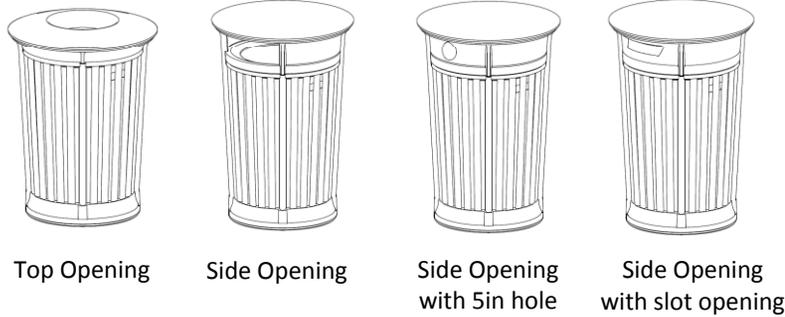
This product is manufactured in our Kalamazoo, MI facility, zip code 49048. Many of our suppliers are located within a 500 mile 9 radius of this facility, but they may source raw materials from multiple sources. If the project is within 500 miles of Kalamazoo and 9 you wish to consider this product for MR Credit 5, please contact Landscape Forms prior to order placement to explore the 9 possibility of specifying regionally sourced raw materials.

---

## CARE AND MAINTENANCE

Poe is designed and engineered to live a long, useful life in outdoor spaces without the use of chemical cleaners to maintain the 9 finish. The durability, longevity and low maintenance of our products contribute to responsible stewardship of the earth's resources. 9

All metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists 9 rusting, chipping, peeling and fading and requires no cleaning solvents once installed. Clean surface as needed using a soft cloth or 9 brush with a mild detergent. Avoid steam cleaning, abrasive cleansers, carbon steel brushes/wools and cleaners containing chlorine. Outdoor use will require periodic finish inspection and maintenance. Inspect periodically for scratches, nicks and gouges. Touch-up 9 paint is included with every order and can be used to repair minor nicks and scratches.



Tools Required

- Safety glasses
- **CAUTION!** This litter receptacle is heavy. To avoid injury or damage to the finish, we recommend using a two-wheeled hand truck to move this item.
- Litter receptacle ships fully assembled with freestanding glides.
- Anchoring hardware for surface mount option. Two anchors, 3/8" diameter or less, are required per unit. The base casting adds 1-1/2" to the anchor length. The installer is responsible for anchoring hardware suitable for site conditions. Corrosion resistant anchors are recommended.



PROCEDURE FOR INSTALLATION:

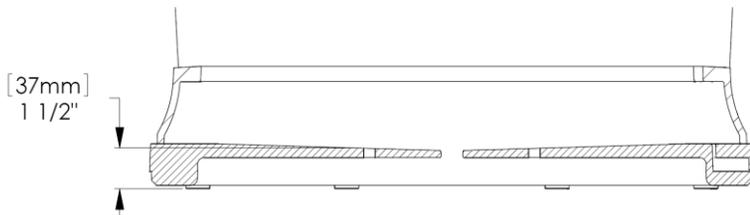
FOR SURFACE MOUNTED LITTER RECEPTACLE:

**Note:** Unit can be surface mounted with freestanding

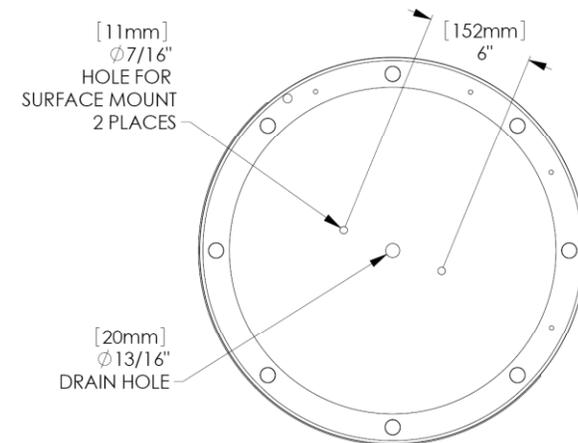
1. Place the unit in the desired position. Open the
2. Remove the liner and mark anchor locations through
3. Move the unit to allow access for drilling holes.
4. Drill holes at marked locations according to anchor
5. Complete the anchor installation according to the instructions.

FOR LOCK OPTION:

- Litter receptacle locks are keyed alike. Each receptacle key can be removed in both the locked and unlocked



Base casting section view



Base casting bottom

**ASSEMBLE WITH CARE!** Pangard II® Polyester Powdercoat is a strong, long-lasting finish. To protect this finish during assembly, place unwrapped powdercoated parts on packaging foam or other non-marring surface. Do not place or slide powdercoated parts on concrete or other hard or textured surface – this will damage the finish causing rust to occur. Use touch-up paint on any gouges in the finish caused by assembly tools.

# POE

Materials / Colors

## Powdercoated Metal

In addition to colors shown below, a wide selection of optional and custom colors may be specified for an upcharge.



## Metallic

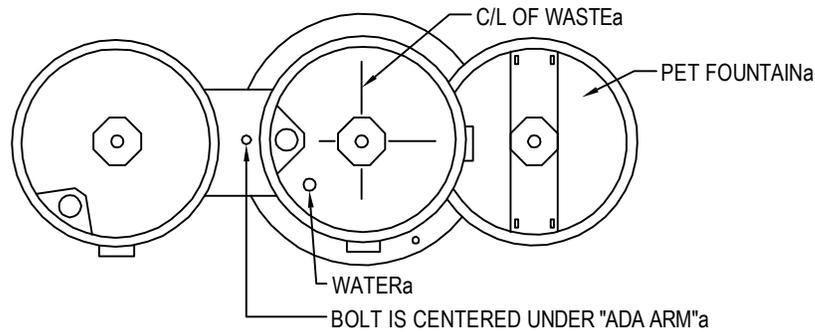
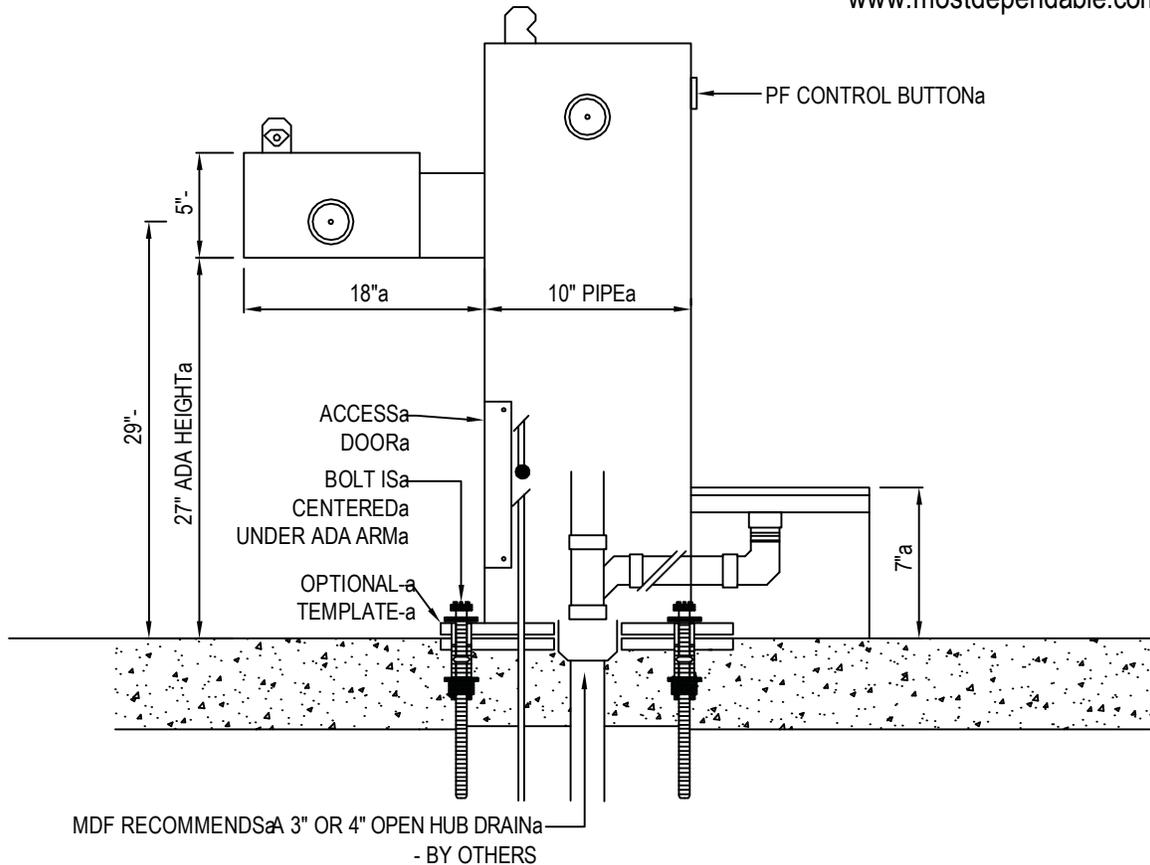


## 2013 Color Series\*



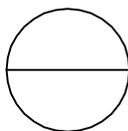


MOST DEPENDABLE FOUNTAINS, INC.<sup>a</sup>  
 5705 COMMANDER DR. P.O. BOX 587a  
 ARLINGTON, TN 38002-0587a  
 TOLL FREE: 1-800-552-6331a  
 PHONE: (901) 867-0039a  
 FAX: (901) 867-0159a  
 www.mostdependable.coma



**NOTES:**<sup>a</sup>

1. MEETS ADA REGULATIONS.<sup>a</sup>
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION<sup>a</sup>.
3. DO NOT SCALE DRAWING.<sup>a</sup>
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.<sup>a</sup>
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.<sup>a</sup>
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 3354-1.91.<sup>a</sup>



**MODEL 440 SM-1A-a**

SHOWN W/ OPTIONAL 10 SS SURFACE CARRIER, PET FOUNTAIN<sup>a</sup>





# 400 SERIES DRINKING FOUNTAIN SPECIFICATIONS

## WATER QUALITY (LEAD FREE)

Section 9, California Proposition 6 and the Federal Safe Drinking Water Act. One piece weld construction with MDF standard 3/16" wall thickness.

## ■ STANDARD PEDESTAL

OR

## ■ STAINLESS STEEL PEDESTAL

One piece weld construction with MDF standard 304 schedule 10 stainless steel.

## RECEPTOR BOWL

18 gauge electro-polished stainless steel bowl. Bowl overlaps pedestal, preventing build-up of residue in visual drinking area. Optional stainless steel Bowl Strainer recommended for areas with sand.

## BUBBLER HEAD

Stainless steel anti-squirt head (weighing a pound and a half) mounted with a lock nut and washer to prevent tampering. Lock nut pin holds bubbler in locked position to prevent twisting or turning. The MDF bubbler head has a unique design that features a steady stream trajectory and a built in natural shield from contamination.

## PUSH BAR

304 stainless steel with circumference exceeding 8.6". Mushroom style push bar overlaps and prevents sand and other objects from sticking push bar in the ON position. Stainless steel bubbler housing standard.

## CONTROL VALVE

Requires less than 5 lbs to operate. Non-cartridge O-ring valve delivers steady stream of water through an adjustable valve. This valve design is to operate and function at 30 to 80 PSI. Ideal operating pressure is 60 PSI.

## WATER SUPPLY (LEAD FREE)

Maintenance free reinforced nylobraid tubing that is NSF-61 certified. **This tubing is not plastic.** It is supplied with a 1/2" MIP threaded inlet with stainless steel strainer. Union fittings at every connection. Supply line stops above grade.

## DRAIN

1 1/2" schedule 40 PVC pipe. Drain line stops above grade.

## FINISH

Oven baked powder coat. Choice of colors are: □green, □blue, □black, □red, □yellow, □orange, □white and □chrome. Textured color choices: □emerald, □sapphire, □pyrite, □text-black, □burgundy, □gold vein, □copper and □sandstone. Stainless steel models are powder coated for added protection. The color □chrome is available for stainless steel models only.

## ACCESS

Working parts accessible through bowl of fountain for easy service. Supply and waste connections are through the above grade access door. All access plates, brackets, vandal resistant bolts and screws are stainless steel.

## INSTALLATION

**Surface Mount** installation, is designed to be anchored on top of an existing surface (concrete, etc.) with anchor bolts through a mounting plate that is welded to the fountain. Surface Mount Fountains provide an access door with vandal resistant stainless steel screws. Surface mount carrier recommended for all surface mount installations. Access door standard on all pedestal fountains.

## WINTERIZATION

Shut off water and drain down.

## WARRANTY

One year warranty, labor not included.

## SHIPPING WEIGHT

Model 400 SM.....	115 lbs	Model 400 SMSS.....	115 lbs	*Meets ADA for High and Low
Model 410 SM.....	110 lbs	Model 410 SMSS.....	110 lbs	
Model 440 SM*.....	130 lbs	Model 440 SMSS*....	130 lbs	
Model 493 SMSS*..	170 lbs	Model 493 SMSS*....	170 lbs	

**MOST DEPENDABLE FOUNTAINS, INC.™**  
 (800) 552-6331 • (901) 867-0039 • Fax (901) 867-4008  
 5705 COMMANDER DR. • ARLINGTON, TN 38002-0587  
[www.mostdependable.com](http://www.mostdependable.com)



# Component Specification Sheet



Toll Free: 1-800-705-1446 we can help you with your order

**Part Name: Acorn Finial**

**Identification Number: FN-0104**

**Height: 8¼”**

**Width: 5½”**

**Application: Fits 4” diameter post**

**Finish: Powder coat finish (standard gloss black)**

**Hardware Requirements: 3) 1/4-20 x 1/4” stainless set screws**



# Component Specification Sheet



Toll Free: 1-800-705-1446 we can help you with your order

**Part Name: Legend Base**

**Identification Number: BS-04H**

**Height: 18"**

**Width/Footprint: 13"**

**Application: Fits 4" diameter post**

**Weight: - lb.**

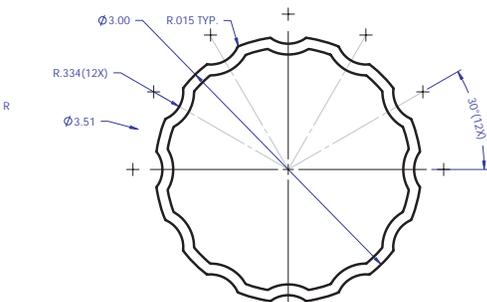
**Finish: Powder coat finish (standard gloss black)**

**Hardware Requirements: 3) 1/4-20 x 1/4" stainless set screws**

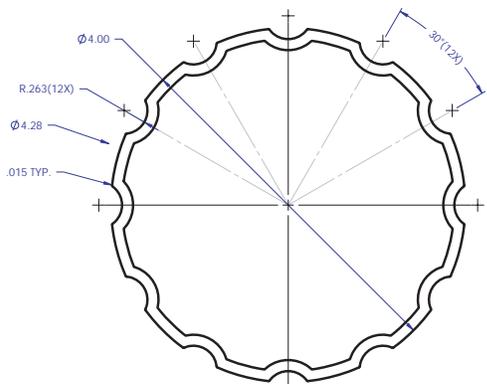


### Ordering Guide

Item Number	Description
FL-0308	3" DIAMETER X 8' FLUTED SIGN POLE
FL-0310	3" DIAMETER X 10' FLUTED SIGN POLE
FL-0312	3" DIAMETER X 12' FLUTED SIGN POLE
FL-0314	3" DIAMETER X 14' FLUTED SIGN POLE
FL-0408	4" DIAMETER X 8' FLUTED SIGN POLE
FL-0410	4" DIAMETER X 10' FLUTED SIGN POLE
FL-0412	4" DIAMETER X 12' FLUTED SIGN POLE
FL-0414	4" DIAMETER X 14' FLUTED SIGN POLE



3" DIAMETER FLUTED



4" DIAMETER FLUTED

### Specifications

**Material:**  
Extruded Aluminum

**Alloy:**  
6063

**Tolerance:**  
+/-0.020"

**Wall Thickness:**  
0.125" +/-0.010"

**Symmetry:**  
Shape is symmetrical about center lines

**Estimated Weight:**  
3" Diameter: 1.34 lbs/ft  
4" Diameter: 1.91 lbs/ft

**Finish:**  
Black Powder Coat (Custom and Mill Finish Available)

**Warranty:**  
1 Year Limited Manufacturer Warranty From Date of Purchase



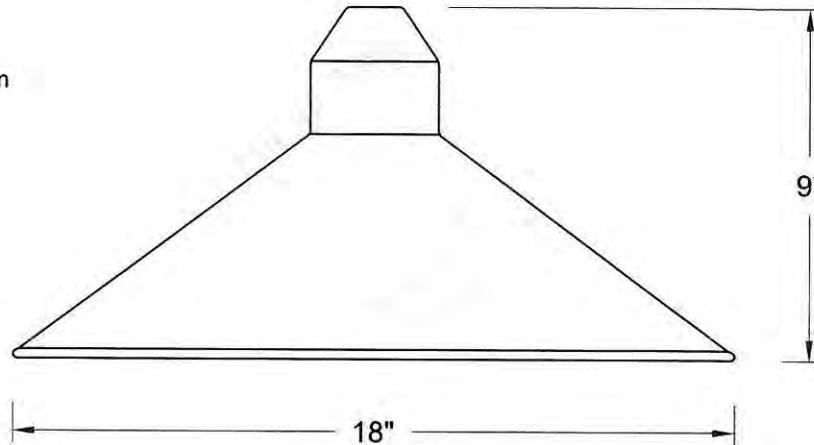
# H-94718 Umbrella Collection

Job Name:
Type:
Quantity:

**HI-LITE MFG.  
CO., INC**

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: www.hilitemfg.com  
e-mail: sales@hilitemfg.com

**Retail Shop Covered  
Walkway Light Fixture**



**FINISH** -Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49.

For interior finish of fixture see pages 344-348.

**Finish to match  
building roof color**

**MOUNTING** - Cord, Stem, Arm, Post and Flush mounting available.

**ACCESSORIES** - CGU(Cast Guard and Glass), LCGU(Large Cast Guard and Glass), WGU(Wire Guard and Glass), LWGU(Large Wire Guard and Glass), ARN(Acorn Globe), LARN(Large Acorn Globe), WGR(Wire Guard), SK(Swivel Knuckle), FX(Flexible tubing for cord mounted fixture only) and 3PTLCGU available.

**REFLECTOR** - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

**SOCKETS/LAMPS** - Available in:

Incandescent

- rated 200 watt max/120 volt, medium base.

→ Compact Fluorescent(CFL)

- rated 13/18/26/32/42/57 watt max/120/277 volt, GX24Q base.

Metal Halide(MH)

- rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.

High Pressure Sodium(HPS)

- rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitted Diode(LED)

-See LED specification sheet.

**MADE IN THE U.S.A.**

Suitable for wet location.  
(Except when cord mounted)



# R Series

## 17" Warehouse Shades

UL LISTED FOR WET LOCATIONS

**RWHS17-ABR**  
Shade Only.  
Shown with optional  
RSCK-ABR Canopy Kit,  
RS1-ABR Stem and  
RWG17-ABR Wire Guard



**RWHS17-SB**  
Shade Only.  
Shown with optional  
RSCK-SB Canopy Kit  
and RS1-SB Stem



Sign Light  
Fixture - Bldg. F

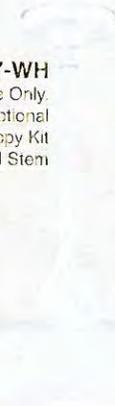
Finish to match  
building roof  
color

**RWHS17-GA**  
Shade Only.  
Shown with optional  
RSCK-GA Canopy Kit,  
RS1-GA Stem and  
RWG17-GA Wire Guard



Galvanized  
finishes may be  
inconsistent

**RWHS17-WH**  
Shade Only.  
Shown with optional  
RSCK-WH Canopy Kit  
and RS1-WH Stem



### EASY TO ORDER:

1. Choose a Shade
2. Choose a Goose Neck for Wall Mount **OR** Choose a Stem & Canopy Kit for Ceiling Mount
3. Wire Guard Optional

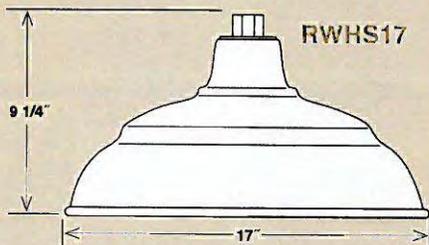
**RWHS17-SR**  
Shade Only.  
Shown with optional  
RSCK-SR Canopy Kit  
and RS1-SR Stem



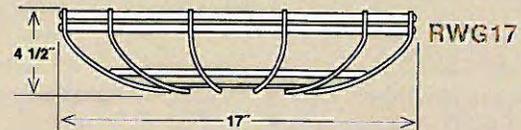
**RWHS17-SG**  
Shade Only.  
Shown with optional  
RSCK-SG Canopy Kit  
and RS1-SG Stem



### Warehouse Shades



### Wire Guards

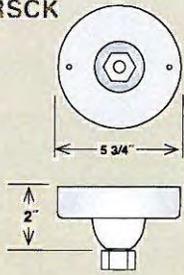


ITEM #	WIDTH	LAMPS	WIRE	FINISH
RWHS17-ABR	17"	Med. 200W A21	100"	Architectural Bronze
RWHS17-GA	17"	Med. 200W A21	100"	Galvanized
RWHS17-SB	17"	Med. 200W A21	100"	Satin Black
RWHS17-SG	17"	Med. 200W A21	100"	Satin Green
RWHS17-SR	17"	Med. 200W A21	100"	Satin Red
RWHS17-WH	17"	Med. 200W A21	100"	White

ITEM #	WIDTH	FINISH
RWG17-ABR	17"	Architectural Bronze
RWG17-GA	17"	Galvanized
RWG17-SB	17"	Satin Black
RWG17-SG	17"	Satin Green
RWG17-SR	17"	Satin Red
RWG17-WH	17"	White

## Canopy Kits (for Ceiling Applications)

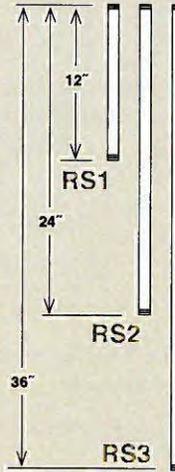
RSCK



ITEM #	WIDTH	FINISH
RSCK-ABR	5 3/4"	Architectural Bronze
RSCK-GA	5 3/4"	Galvanized
RSCK-SB	5 3/4"	Satin Black
RSCK-SG	5 3/4"	Satin Green
RSCK-SR	5 3/4"	Satin Red
RSCK-WH	5 3/4"	White

Canopy Kits will Swivel up to 25°

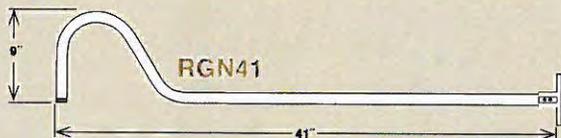
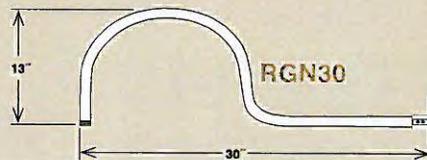
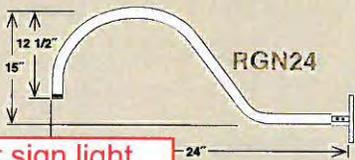
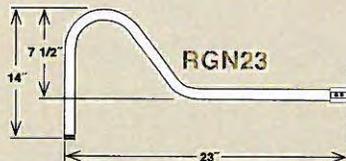
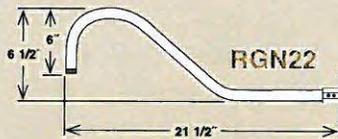
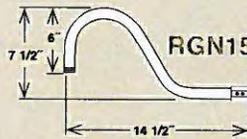
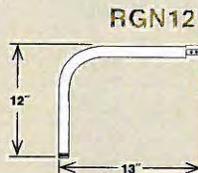
## Stems



ITEM #	ID	LENGTH	FINISH
RS1-ABR	3/4"	12"	Architectural Bronze
RS1-GA	3/4"	12"	Galvanized
RS1-SB	3/4"	12"	Satin Black
RS1-SG	3/4"	12"	Satin Green
RS1-SR	3/4"	12"	Satin Red
RS1-WH	3/4"	12"	White
RS2-ABR	3/4"	24"	Architectural Bronze
RS2-GA	3/4"	24"	Galvanized
RS2-SB	3/4"	24"	Satin Black
RS2-SG	3/4"	24"	Satin Green
RS2-SR	3/4"	24"	Satin Red
RS2-WH	3/4"	24"	White
RS3-ABR	3/4"	36"	Architectural Bronze
RS3-GA	3/4"	36"	Galvanized
RS3-SB	3/4"	36"	Satin Black
RS3-SG	3/4"	36"	Satin Green
RS3-SR	3/4"	36"	Satin Red
RS3-WH	3/4"	36"	White

## Goose Necks (Actual Photos Shown on Page 56)

Back Plate included with goose neck



Arm for sign light fixture - Bldg. F

Finish to match building roof color

ITEM #	ID	LENGTH	FINISH
RGN12-ABR	3/4"	13"	Architectural Bronze
RGN12-GA	3/4"	13"	Galvanized
RGN12-SB	3/4"	13"	Satin Black
RGN12-SG	3/4"	13"	Satin Green
RGN12-SR	3/4"	13"	Satin Red
RGN12-WH	3/4"	13"	White
RGN15-ABR	3/4"	14 1/2"	Architectural Bronze
RGN15-GA	3/4"	14 1/2"	Galvanized
RGN15-SB	3/4"	14 1/2"	Satin Black
RGN15-SG	3/4"	14 1/2"	Satin Green
RGN15-SR	3/4"	14 1/2"	Satin Red
RGN15-WH	3/4"	14 1/2"	White
RGN22-ABR	3/4"	21 1/2"	Architectural Bronze
RGN22-GA	3/4"	21 1/2"	Galvanized
RGN22-SB	3/4"	21 1/2"	Satin Black
RGN22-SG	3/4"	21 1/2"	Satin Green
RGN22-SR	3/4"	21 1/2"	Satin Red
RGN22-WH	3/4"	21 1/2"	White
RGN23-ABR	3/4"	23"	Architectural Bronze
RGN23-GA	3/4"	23"	Galvanized
RGN23-SB	3/4"	23"	Satin Black
RGN23-SG	3/4"	23"	Satin Green
RGN23-SR	3/4"	23"	Satin Red
RGN23-WH	3/4"	23"	White
RGN24-ABR	3/4"	24"	Architectural Bronze
RGN24-GA	3/4"	24"	Galvanized
RGN24-SB	3/4"	24"	Satin Black
RGN24-SG	3/4"	24"	Satin Green
RGN24-SR	3/4"	24"	Satin Red
RGN24-WH	3/4"	24"	White
RGN30-ABR	3/4"	30"	Architectural Bronze
RGN30-GA	3/4"	30"	Galvanized
RGN30-SB	3/4"	30"	Satin Black
RGN30-SG	3/4"	30"	Satin Green
RGN30-SR	3/4"	30"	Satin Red
RGN30-WH	3/4"	30"	White
RGN41-ABR	3/4"	41"	Architectural Bronze
RGN41-GA	3/4"	41"	Galvanized
RGN41-SB	3/4"	41"	Satin Black
RGN41-SG	3/4"	41"	Satin Green
RGN41-SR	3/4"	41"	Satin Red
RGN41-WH	3/4"	41"	White



**LENSED 6" ROUND DIRECT / INDIRECT**

**Entry Feature  
Light Fixture**

1 x 32 / 42 WATT MAX CF



**SPC0618UDCF - WET LOCATION OPTION**

**APPLICATION**

6" Cylinder series provides direct and indirect lighting.

**FEATURES**

Spectrum Surface Solutions series provides traditional architectural style with high performance energy efficient illumination. Rugged design with flexible mounting, finish and lamping options make these extremely versatile fixtures.

**FINISH**

Multi-stage polyester powder-coat process applied on our dedicated paint lines. A wide variety of standard and custom finishes are available. All exposed materials are chromate pretreated to resist corrosion.

**CONSTRUCTION**

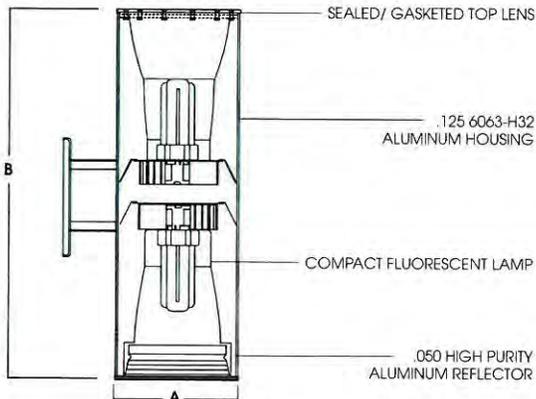
Extruded and machined 6063 seamless aluminum fixture housing. Silicone gasket seals optical chamber. Specular primary optical reflectors provide high efficiency illumination. Impact resistant tempered glass lenses. Stainless steel hardware with galvanized steel brackets to resist corrosion. One piece finish trim spun from .063 thick high purity aluminum and finished to specification.

**ELECTRONIC**

Electronic 120v/277v compact fluorescent ballast.

**LABELS**

UL/ETL listed for damp locations. Wet location option. Manufactured and tested to UL standard No. 1598.



<b>A</b>	<b>B</b>
6.0 152.4 mm	18.0 457.2 mm

**Finish to match  
building roof  
color**

SERIES	UPLIGHT	DOWNLIGHT	BALLAST <sup>2</sup>	OPTIONS <sup>3</sup>	TRIM/SPLAY	LENS	MOUNTING	FINISH <sup>6</sup>
SPC0618UDCF	18W 26W 32W 42W	18W 26W 32W	E1 Electronic, 120v E2 Electronic, 277v	FS Fuse Holder and Fuse EMRM <sup>4</sup> Emergency Remote Ballast EMENC Remote Ballast Enclosure	5325-SG Soft Glow Alzak Splay/ Flange Regressed RB Baffle Splay CC Custom Color	PG Prismatic Glass Lens FG Frosted Glass Lens GL Glass Lens FL Fresnel Glass Lens WL Wet Location	WM <sup>5</sup> Wall Mount	GW Gloss White GB Gloss Black BZ Bronze OB Oil Rubbed Bronze PT Platinum SI Silver GA Galvanized CH Charcoal GH Graphite AM Anodic Malachite SN Sun Gold EG Evergreen VE Verde Green BL Blue Streak RD Red Baron OR Orange CO Copper Metallic

**EXAMPLE:** SPC0618UDCF32W32WEX/FS/5325SG/PG/WM/GW

**NOTES:**  
 1 Triple Tube Only    2 Contact Factory for Additional Dimming or Control Options    3 See Product Options Page Details    4 36" MAX Distance to Ballast    5 Ballast Mounted in Arm    6 Consult Factory for Custom or Metal Finishes



<b>PROJECT:</b>	<b>TYPE:</b>
<b>CAT. NO.:</b>	



WWW.SPECLIGHT.COM • 994 JEFFERSON STREET, FALL RIVER, MA 02721 • 508.678.2303 FAX 508.678.2260

## FEATURES & SPECIFICATIONS

**INTENDED USE** — For building- and wall-mounted applications.

**CONSTRUCTION** — Rugged, die-cast, single-piece aluminum housing. Die-cast doorframe has a 1/8" thick tempered glass lens. Doorframe is fully gasketed with one-piece solid silicone.

**OPTICS** — Segmented reflectors for superior uniformity and control. Medium throw (MD) full cutoff distribution available.

**ELECTRICAL** — Ballast: Class P, multi-volt electronic, high power factor, <10%THD, with starting temperature of 0°F (-18°C).

Socket: High temperature thermoplastic with an integral lamp retention clip.

Finish: Standard finish is textured dark bronze (DDBT) corrosion-resistant polyester powder finish. Additional architectural colors are available. Striping is also available.

**INSTALLATION** — Universal mounting mechanism with integral mounting support allows fixture to hinge down.

**LISTINGS** — UL Listed (standard). CSA Certified (see Options). Suitable for wet locations (damp location listed in lens-up orientation). WLU option offers wet location listing in up orientation (see Options). IP65 Rated. 25°C ambient. ELED: U.S. Patent No. 7,737,640.

**WARRANTY** — 1-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

NOTE: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

Catalog Number
Notes
Type

### Decorative Wall-Mounted Lighting

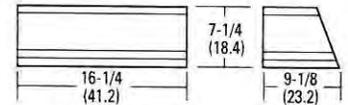
# WST



Security Light Fixture (rear & side elevation)

COMPACT FLUORESCENT:  
26W DTT  
26W-42W TRT

**Specifications**  
Length: 16-1/4 (41.2)  
Depth: 9-1/8 (23.2)  
Overall Height: 7-1/4 (18.4)  
\*Weight: 30 lbs (13.6 kg)



All dimensions are inches (centimeters) unless otherwise indicated.  
\*Weight as configured in example below.



### ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

**Example:** WST 42TRT MD 120 LPI

WST	MD					
Series	Wattage	Distribution	Voltage	Ballast	Mounting	Options
WST	26DTT 2/26DTT 26TRT 2/26TRT 32TRT 2/32TRT 42TRT 2/42TRT	MD Medium throw	120 277 347 MVOLT*	(blank) Electronic 0° F	(blank) Surface mount Shipped separately <sup>2</sup> BBW Surface mount back box UT5 Uptilt 5 degrees	Shipped installed in fixture DC12 Emergency circuit 12-volt (35W lamp included) <sup>3</sup> 2DC12 Emergency circuit 12-volt (two 35W lamps included) <sup>3</sup> DC2012 Emergency circuit 12-volt (20W lamp included) <sup>3</sup> 2DC2012 Emergency circuit 12-volt (two 20W lamps included) <sup>3</sup> DFL Diffusing lens

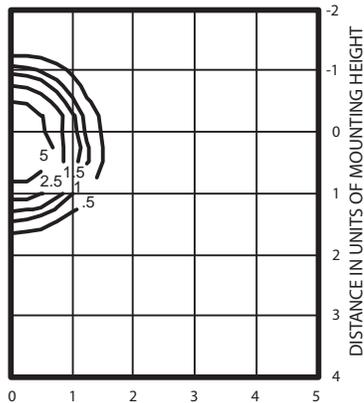
Options (continued)				Finish <sup>7</sup>	Lamp <sup>19</sup>
EC	Emergency circuit <sup>4</sup>	GMF	Internal slow-blow fusing <sup>8,9</sup> Shipped separately <sup>16</sup>	(blank) Dark bronze, textured	LPI Lamp included
ELDW	Emergency battery pack (32° min. operating temp) <sup>5,6,7,8</sup>	PE	Photoelectric cell-button type <sup>8,16</sup> WG Wire guard	DSST Sandstone, textured	L/LP Less lamp
ELDWC	Emergency battery pack (0° min. operating temp) <sup>5,6,7,8,9,10,11</sup>	WLU	Wet location door for up orientation	DNAT Natural aluminum, textured	
ELDWRPS	Fixture wired ready for PS1400 or PSDL remote battery pack (battery pack not included; 32° min. operating temp) <sup>9,12,13</sup>	CSA	CSA certified	DWHG White, textured	
ELED	Emergency LED secondary source battery pack with time delay (-4°F min. operating temperature) <sup>14,15</sup>	NOM	NOM certified	DBLB Black, textured	
2ELED	Emergency LED secondary source (two modules) battery pack with time delay (-4°F min. operating temperature) <sup>14,15</sup>			CRT Non-stick protective coating <sup>18</sup>	
				Super Durable Finishes	
				DDBXD Dark bronze	
				DBLXD Black	
				DNAXD Natural aluminum	
				DWHXD White	
				DDBTXD Textured dark bronze	
				DBLBXD Textured black	
				DNATXD Textured natural aluminum	
				DWHGXD Textured white	

Finish to match building roof color

# WST Fluorescent Wall Mounted

## WST 2/42TRT MD

ISOILLUMINANCE PLOT (Footcandle) TEST NO: LTL11108



2/42TRT lamp, horizontal lamp orientation  
Footcandle values based on 12' mounting height,  
3200 rated lumens (per lamp).  
Luminaire Efficiency: 49.6%

Lamp	Initial Lumens	Mounting Height			
		10'	12'	14'	16'
Compact Fluorescent					
42W TRT	3,200	0.72	0.5	0.37	0.28
(2) 42W TRT	6,400	1.44	1.0	0.73	0.56

### Emergency Option Lamp Compatibility

Lamp options # of lamps/wattage	DC12	2DC12	DC2012	2DC2012	EC	ELED	2ELED	ELDWC	ELDW	ELDWRC	ELDWWRPS
26DTT (1 lamp)	■	■	■	■	■	■	■	■	■	■	■
2/26DTT	■	■	■	■	■	■	■	■	■	■	■
26TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■	■
2/26TRT	■	■	■	■	■	■	■	■	■	■	■
32TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■	■
2/32TRT	■	■	■	■	■	■	■	■	■	■	■
42TRT (1 lamp)	■	■	■	■	■	■	■	■	■	■	■
2/42TRT	■	■	■	■	■	■	■	■	■	■	■

### Notes

- Multi-volt electronic ballast capable of operating on any line voltage from 120-277V.
- May be ordered as an accessory. Prefix with "WS". Must specify finish.
- Not available with GMF, EC, ELDWs.
- Maximum allowable wattage lamp included.
- One lamp operates during emergency mode. For more information, see the [Reference Guide](#).
- ELDW and ELDWRC with compact fluorescent do not satisfy North Carolina code criteria for state owned buildings per 2012 NC Building Code: 1006.3 and 1006.4.
- Not available with 2/32TRT or 2/42TRT
- Not available with DCs or EC.
- Not available with MVOLT; must specify voltage.
- Not available with 2/26DTT or 2/26TRT.
- For MD only.
- With ELDWWRPS (remote) battery packs, light output is evenly divided between the lamps in emergency mode.
- Not available with 2/42TRT.
- Not available with EC, DCs or ELDWs.
- Must specify 120V or 277V.
- Must be ordered with fixture; cannot be field installed.
- See [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) for additional color options.
- Black finish only.
- Must be specified (35K lamp with LPI).

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CHECKED BY: TT

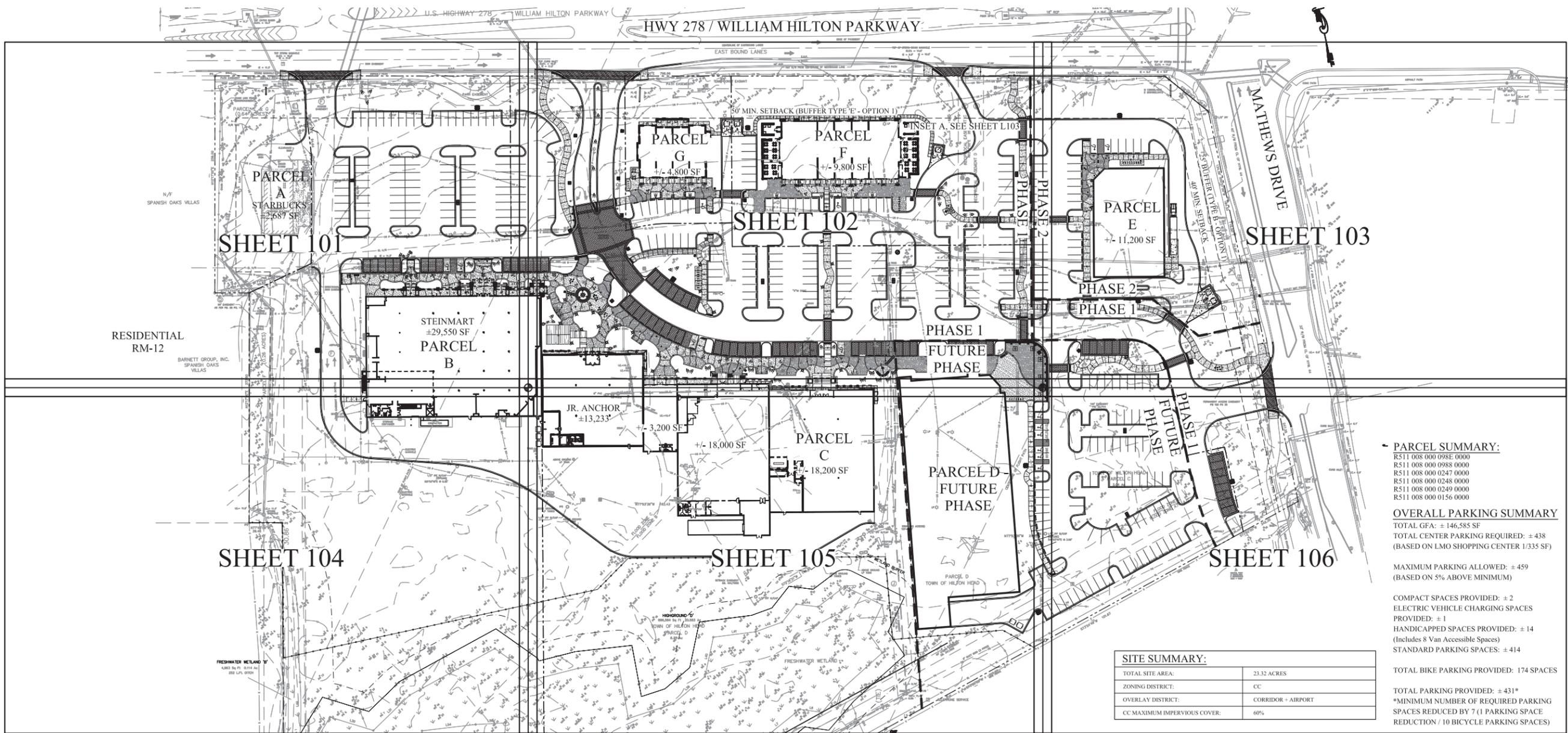
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#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
OVERALL SITE PLAN

SHEET NUMBER

**L100**



**PARCEL SUMMARY:**  
R511 008 000 098E 0000  
R511 008 000 098S 0000  
R511 008 000 0247 0000  
R511 008 000 0248 0000  
R511 008 000 0249 0000  
R511 008 000 0156 0000

**OVERALL PARKING SUMMARY**  
TOTAL GFA: ± 146,585 SF  
TOTAL CENTER PARKING REQUIRED: ± 438  
(BASED ON LMO SHOPPING CENTER 1/335 SF)

MAXIMUM PARKING ALLOWED: ± 459  
(BASED ON 5% ABOVE MINIMUM)

COMPACT SPACES PROVIDED: ± 2  
ELECTRIC VEHICLE CHARGING SPACES PROVIDED: ± 1  
HANDICAPPED SPACES PROVIDED: ± 14  
(Includes 8 Van Accessible Spaces)  
STANDARD PARKING SPACES: ± 414

TOTAL BIKE PARKING PROVIDED: 174 SPACES

TOTAL PARKING PROVIDED: ± 431\*  
\*MINIMUM NUMBER OF REQUIRED PARKING SPACES REDUCED BY 7 (1 PARKING SPACE REDUCTION / 10 BICYCLE PARKING SPACES)

**SITE SUMMARY:**

TOTAL SITE AREA:	23.32 ACRES
ZONING DISTRICT:	CC
OVERLAY DISTRICT:	CORRIDOR + AIRPORT
CC MAXIMUM IMPERVIOUS COVER:	60%

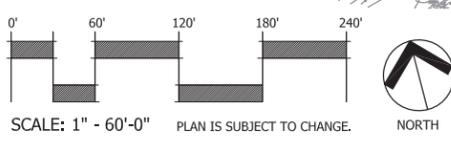
**GENERAL SITE PLAN NOTES:**

- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
- DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
- CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
- ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
- SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
- SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- SEE IRRIGATION AND ELECTRICAL PLANS FOR LOCATION OF ELECTRICAL AND IRRIGATION CONDUIT SIZES AND LOCATIONS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
- ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
- CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAWINGS PRIOR TO CONCRETE INSTALLATION.

**DEVELOPMENT SUMMARY**

PARCEL	TOTAL GFA	REQUIRED PARKING	MAX. PARKING	PROVIDED PARKING	PARCEL ACREAGE
A	± 2,687 SF	± 8	± 8	± 10	± .64 AC.
B	± 29,550 SF	± 88	± 93	± 92	± 7.61 AC.
C	± 52,633 SF	± 157	± 165	± 138	± 8.62 AC.
D	± 36,000 SF	± 107	± 113	± 113	± 2.81 AC.
E	± 11,115 SF	± 33	± 35	± 35	± 1.48 AC.
F	± 9,800 SF	± 29	± 31	± 30	± 1.65 AC.
G	± 4,800 SF	± 14	± 15	± 15	± .51 AC.

- NOTES:**
- ALL PARKING COUNTS ARE BASED ON LMO SHOPPING CENTER (1 SPACE PER 335 BUILDING SF).
  - MAXIMUM PARKING ALLOW IS BASED ON 5% ABOVE MINIMUM REQUIRED PARKING.



**SITE KEY LEGEND:**

**SITE WORK:**

- S1 CONCRETE W/ BROOM FINISH  
DETAIL 1/L300
- S2 INTEGRAL COLOR CONCRETE W/ ROCK SALT FINISH  
DETAIL 2/L300
- S3 CONCRETE WALK W/ BOARDWALK FINISH  
DETAIL 3/L300
- S4 OYSTER SHELL CONCRETE  
DETAIL 4/L300
- S5 TRELIS SWING  
DETAIL 1/L301
- S6 1" WIDE FLUSH CONCRETE RIBBON CURB  
DETAIL 6/L300
- S7 TREE GRATE  
(NOT IN CONTRACT)
- S8 PERMEABLE VEHICULAR PAVERS  
DETAIL 7/L300
- S9 ADA RAMP  
DETAIL 8/L300
- S10 TURTLE SCULPTURE  
(BY OWNER)
- S11 DUMPSTER ENCLOSURE  
DETAIL 1/L302
- S12 SITE BOLLARD  
DETAIL 9/L300

**PAVING SCHEDULE:**

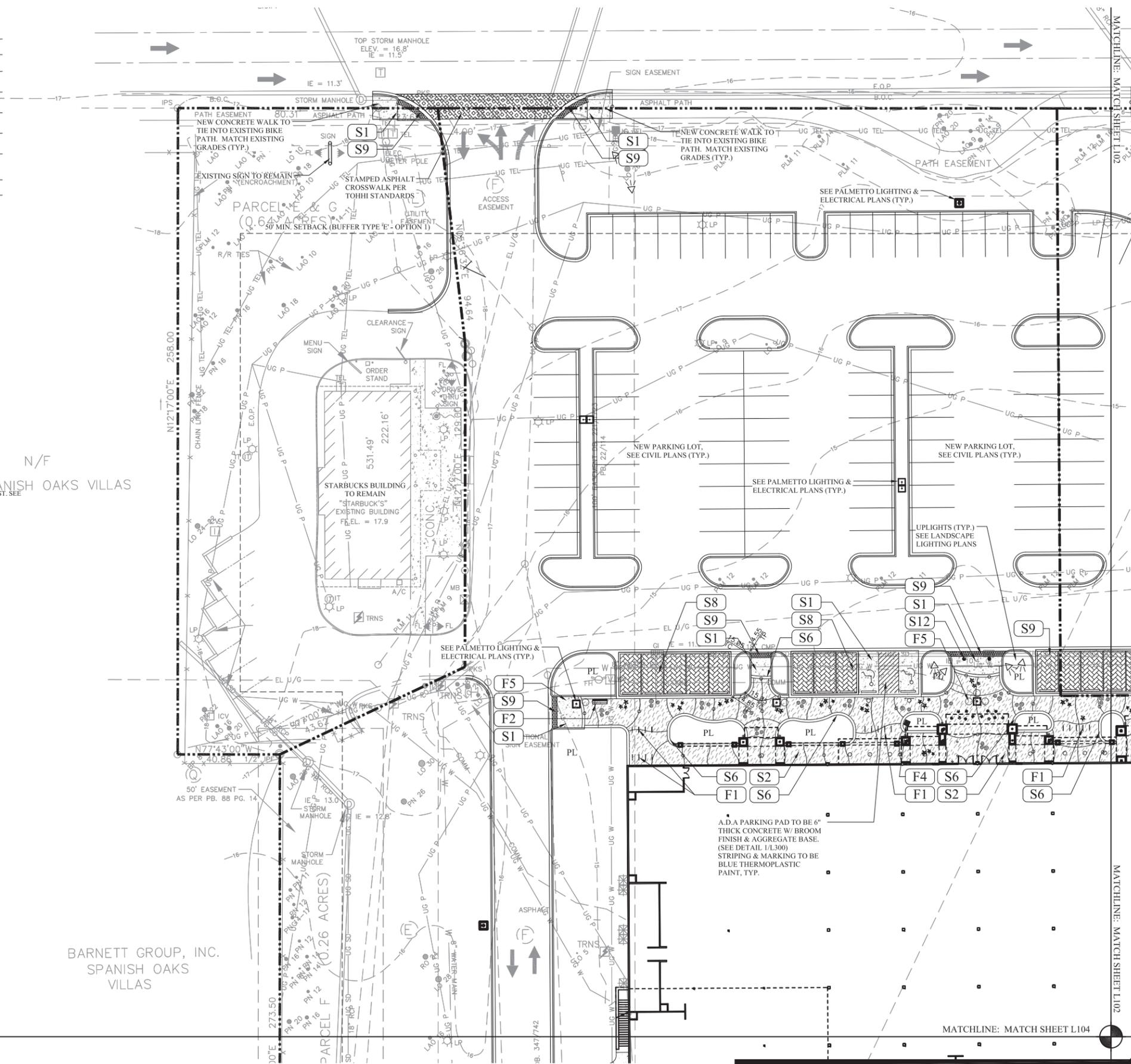
- CONCRETE WITH COARSE BROOM FINISH
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMXTURE MESA BEIGE C-12
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMXTURE WINTER BEIGE 6063
- OYSTER SHELL CONCRETE  
50:50 MIX OF #2 & #3 SHELL
- STAINED CONCRETE WALK WITH BOARDWALK FINISH
- FLUSH CONCRETE RIBBON CURB WITH COARSE BROOM FINISH
- PERMEABLE VEHICULAR PAVERS:  
LOWCOUNTRY PAVERS - HYDRASHED  
PERMEABLE PAVERS  
COLOR: DAUFUSKIE BLEND  
(HATCH PATTERN DENOTES HERRINGBONE PATTERN DESIGN INTENT, TYP.)
- CONTROL JOINT:  
SEE DETAIL 5/L300
- EXPANSION JOINT:  
SEE DETAIL 5/L300
- ADA DETECTABLE WARNING:  
SEE DETAIL 7/L300
- PL PLANTING AREA

**SITE FURNISHING:**

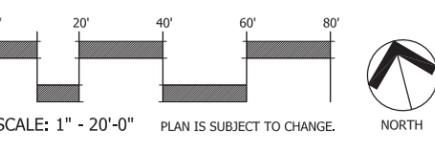
- F1 BIKE RACK  
SEE FURNISHING SCHEDULE
- F2 BENCH  
SEE FURNISHING SCHEDULE
- F3 TRASH CANS  
SEE FURNISHING SCHEDULE
- F4 EDUCATIONAL DISPLAYS  
SEE SIGNAGE PACKAGE
- F5 PLANTERS  
SEE FURNISHING SCHEDULE
- SN1 PRIMARY MONUMENT SIGNS  
SEE SIGNAGE PACKAGE

**SITE FURNISHINGS SCHEDULE:**

- CAFE TABLE:  
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- 6" BENCH (11 TOTAL):  
LANDSCAPE FORMS - MELVILLE BENCH  
MATERIAL: ALUMINUM W/ IPE SLATS  
FINISH: METALLIC  
COLOR: IPE & BRONZE
- TRASH CAN (10 TOTAL):  
LANDSCAPE FORMS - POE TRASH RECEPTACLE  
FINISH: METALLIC  
COLOR: BRONZE
- BIKE RACKS (174 BIKE PARKING SPACES):  
LANDSCAPE FORMS - BOLA  
COLOR: BRONZE  
MATERIAL: STAINLESS STEEL  
(2) CUSTOM BIKE RACKS PROVIDED BY LOCAL ARTIST. SEE SITE PLAN FOR CUSTOM BIKE RACK LOCATIONS
- EDUCATIONAL DISPLAYS (5 TOTAL):  
SEE SITE PLAN FOR LOCATIONS
- SITE BOLLARD (22 TOTAL):  
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED  
COLOR: BRONZE  
FINISH: METALLIC
- CUSTOM TURTLE SCULPTURE:  
(BY OWNER, SEE SKETCH)
- BIKE REPAIR STATION (1 TOTAL):  
DERO FIXIT  
FINISH: POWDER COAT  
COLOR: DARK BROWN  
SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
- PLANTERS (32 TOTAL):  
SOUTHERN STONECASTING TABBY  
FINISH PLANTER (31" TALL x 36" TOP DIAMETER)  
MATERIAL: CONCRETE W/ TABBY FINISH
- DRINKING FOUNTAIN (1 TOTAL):  
MOST DEPENDABLE FOUNTAINS  
MODEL: 440 SMFA W/ PET  
FOUNTAIN  
COLOR: BROWN



MATCHLINE: MATCH SHEET L104



**Wheeler Development**  
 Virginia Beach, Virginia

**SEA TURTLE MARKETPLACE**  
 Hilton Head Island, South Carolina

NOT FOR CONSTRUCTION

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 CHECKED BY: TT

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#	REVISION	DATE	BY

DATE: 12-23-2015  
 PROJECT NUMBER: 01-13007  
 SHEET TITLE: SITE PLAN

**Wood+Partners Inc. WPI**  
 Landscape Architects  
 Land Planners

PO Box 23949 Hilton Head Island, SC 29925  
 843.881.2818 • Fax 843.881.7088 • www.woodpartners.com

SHEET NUMBER  
**L101**

**SITE KEY LEGEND:**

- SITE WORK:**
- S1 CONCRETE W/ BROOM FINISH  
DETAIL 1/L300
  - S2 INTEGRAL COLOR CONCRETE W/ ROCK SALT FINISH  
DETAIL 2/L300
  - S3 CONCRETE WALK W/ BOARDWALK FINISH  
DETAIL 3/L300

- S4 OYSTER SHELL CONCRETE  
DETAIL 4/L300
- S5 TRELLIS SWING  
DETAIL 1/L301
- S6 1' WIDE FLUSH CONCRETE RIBBON CURB  
DETAIL 6/L300
- S7 TREE GRATE  
(NOT IN CONTRACT)

- S8 PERMEABLE VEHICULAR PAVERS  
DETAIL 7/L300
- S9 ADA RAMP  
DETAIL 8/L300
- S10 TURTLE SCULPTURE  
(BY OWNER)
- S11 DUMPSTER ENCLOSURE  
DETAIL 1/L302
- S12 SITE BOLLARD  
DETAIL 9/L300

- SIGNAGE:**
- SN1 PRIMARY MONUMENT SIGNS  
SEE SIGNAGE PACKAGE
- SITE FURNISHING:**
- F1 BIKE RACK  
SEE FURNISHING SCHEDULE
  - F2 BENCH  
SEE FURNISHING SCHEDULE
  - F3 TRASH CANS  
SEE FURNISHING SCHEDULE

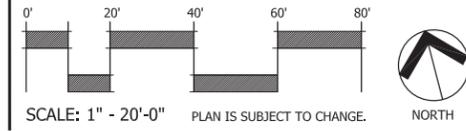
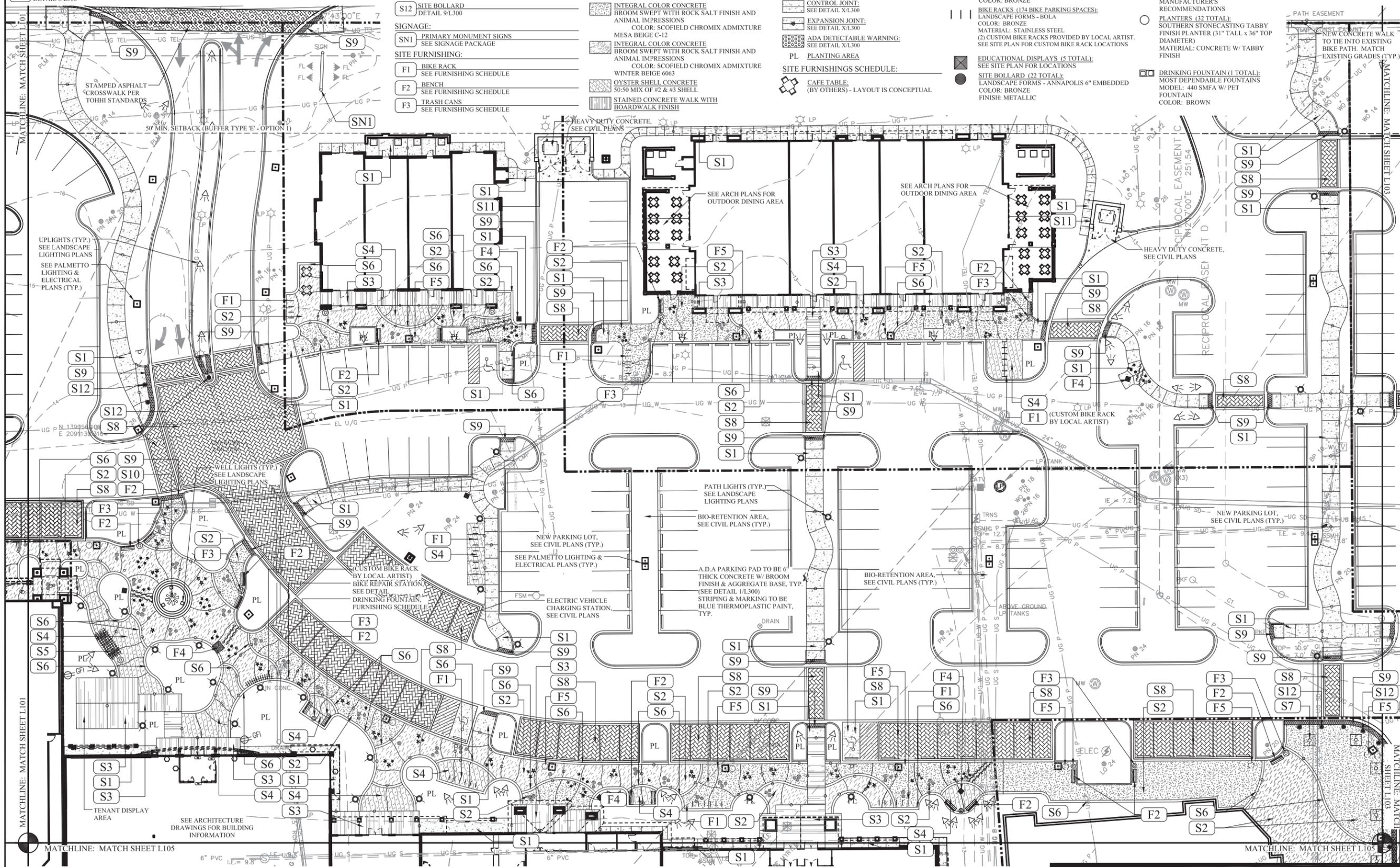
- F4 EDUCATIONAL DISPLAYS  
SEE SIGNAGE PACKAGE
- F5 PLANTERS  
SEE FURNISHING SCHEDULE

- PAVING SCHEDULE:**
- CONCRETE WITH COARSE BROOM FINISH
  - INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE MESA BEIGE C-12
  - INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE WINTER BEIGE 6063
  - OYSTER SHELL CONCRETE  
50:50 MIX OF #2 & #3 SHELL
  - STAINED CONCRETE WALK WITH BOARDWALK FINISH

- FLUSH CONCRETE RIBBON CURB WITH COARSE BROOM FINISH
  - PERMEABLE VEHICULAR PAVERS:  
LOWCOUNTRY PAVERS - HYDRASHED PERMEABLE PAVERS  
COLOR: DAUFUSKIE BLEND  
(HATCH PATTERN DENOTES HERRINGBONE PATTERN DESIGN INTENT, TYP.)
  - CONTROL JOINT:  
SEE DETAIL X/L300
  - EXPANSION JOINT:  
SEE DETAIL X/L300
  - ADA DETECTABLE WARNING:  
SEE DETAIL X/L300
  - PL PLANTING AREA
- SITE FURNISHINGS SCHEDULE:**
- CAFE TABLE:  
(BY OTHERS) - LAYOUT IS CONCEPTUAL

- 6" BENCH (11 TOTAL):  
LANDSCAPE FORMS - MELVILLE BENCH  
MATERIAL: ALUMINUM W/ IPE SLATS  
COLOR: IPE & BRONZE  
FINISH: METALLIC
- TRASH CAN (10 TOTAL):  
LANDSCAPE FORMS - POE TRASH RECEPTACLE  
FINISH: METALLIC  
COLOR: BRONZE
- BIKE RACKS (174 BIKE PARKING SPACES):  
LANDSCAPE FORMS - BOLA  
COLOR: BRONZE  
MATERIAL: STAINLESS STEEL  
(2) CUSTOM BIKE RACKS PROVIDED BY LOCAL ARTIST.  
SEE SITE PLAN FOR CUSTOM BIKE RACK LOCATIONS
- EDUCATIONAL DISPLAYS (5 TOTAL):  
SEE SITE PLAN FOR LOCATIONS
- SITE BOLLARD (22 TOTAL):  
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED  
COLOR: BRONZE  
FINISH: METALLIC

- CUSTOM TURTLE SCULPTURE:  
(BY OWNER, SEE SKETCH)
- BIKE REPAIR STATION (1 TOTAL):  
DERO FIXIT  
FINISH: POWDER COAT  
COLOR: DARK BROWN  
SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
- PLANTERS (32 TOTAL):  
SOUTHERN STONECASTING TABBY  
FINISH: PLANTER (31" TALL x 36" TOP DIAMETER)  
MATERIAL: CONCRETE W/ TABBY FINISH
- DRINKING FOUNTAIN (1 TOTAL):  
MOST DEPENDABLE FOUNTAINS  
MODEL: 440 SMFA W/ PET  
FOUNTAIN  
COLOR: BROWN



**Wheeler Development**  
 Virginia Beach, Virginia

**PERMIT DOCUMENTS**  
**SEA TURTLE MARKETPLACE**  
 Hilton Head Island, South Carolina

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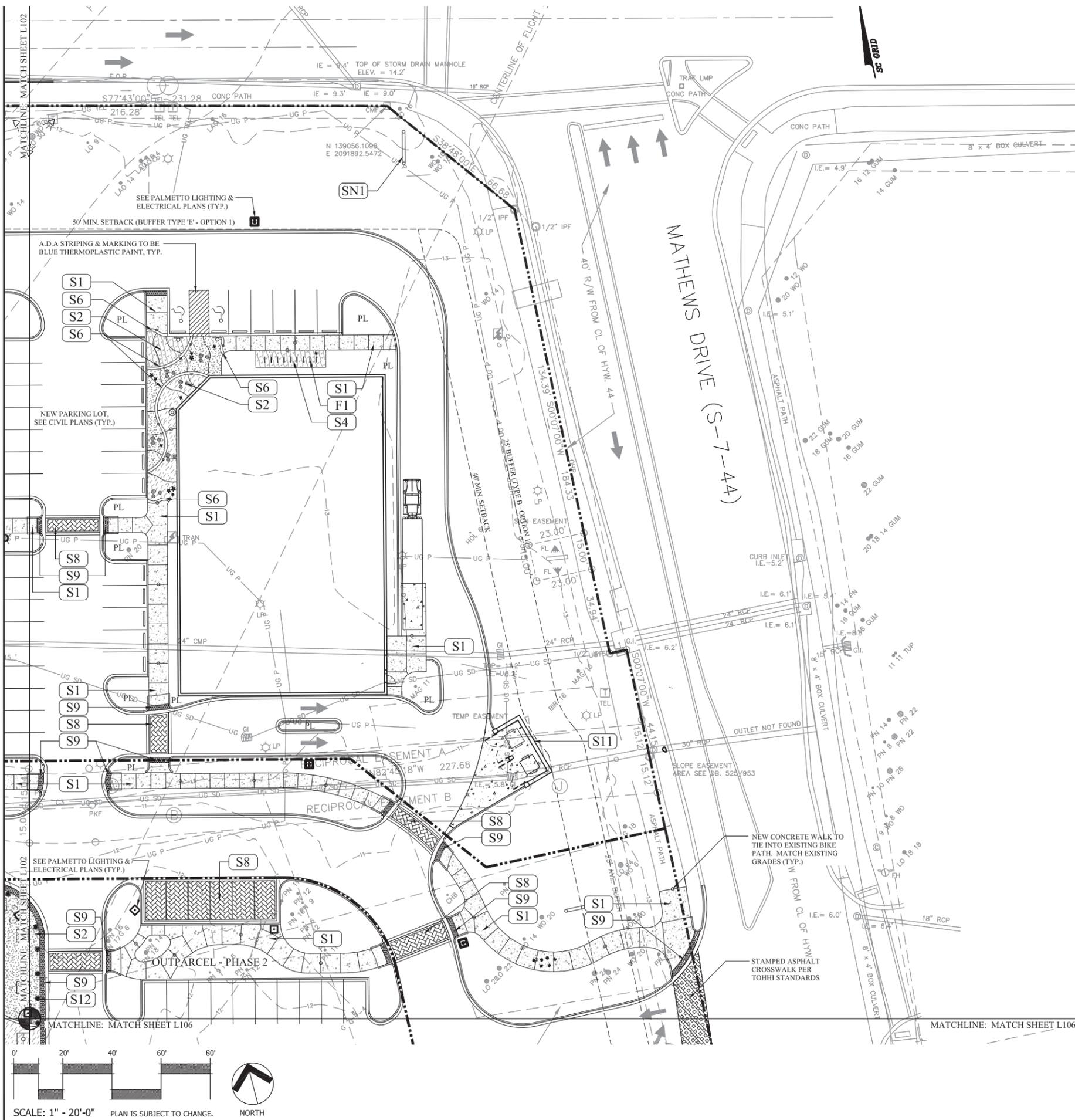
#	REVISION	DATE	BY

DATE: 12-23-2015  
 PROJECT NUMBER: 01-13007  
 SHEET TITLE: SITE PLAN

**Wood+Partners Inc. WPI**  
 Landscape Architects  
 Land Planners

PO Box 23949 Hilton Head Island, SC 29925  
 843.861.2616 • Fax 843.861.7088 • www.woodpartners.com

SHEET NUMBER  
**L102**



**SITE KEY LEGEND:**

**SITE WORK:**

- S1 CONCRETE W/ BROOM FINISH  
DETAIL 1/L300
- S2 INTEGRAL COLOR CONCRETE W/ ROCK SALT FINISH  
DETAIL 2/L300
- S3 CONCRETE WALK W/ BOARDWALK FINISH  
DETAIL 3/L300
- S4 OYSTER SHELL CONCRETE  
DETAIL 4/L300
- S5 TRELIS SWING  
DETAIL 1/L301
- S6 1' WIDE FLUSH CONCRETE RIBBON CURB  
DETAIL 6/L300
- S7 TREE GRATE  
(NOT IN CONTRACT)
- S8 PERMEABLE VEHICULAR PAVERS  
DETAIL 7/L300
- S9 ADA RAMP  
DETAIL 8/L300
- S10 TURTLE SCULPTURE  
(BY OWNER)
- S11 DUMPSTER ENCLOSURE  
DETAIL 1/L302
- S12 SITE BOLLARD  
DETAIL 9/L300

**SITE FURNISHING:**

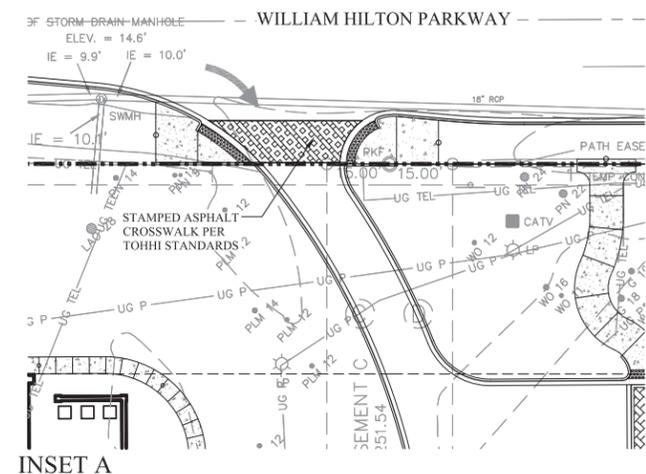
- F1 BIKE RACK  
SEE FURNISHING SCHEDULE
  - F2 BENCH  
SEE FURNISHING SCHEDULE
  - F3 TRASH CANS  
SEE FURNISHING SCHEDULE
  - F4 EDUCATIONAL DISPLAYS  
SEE SIGNAGE PACKAGE
  - F5 PLANTERS  
SEE FURNISHING SCHEDULE
- SIGNAGE:**
- SN1 PRIMARY MONUMENT SIGNS  
SEE SIGNAGE PACKAGE

**PAVING SCHEDULE:**

- CONCRETE WITH COARSE BROOM FINISH
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE  
MESA BEIGE C-12
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE  
WINTER BEIGE 6063
- OYSTER SHELL CONCRETE  
50:50 MIX OF #2 & #3 SHELL
- STAINED CONCRETE WALK WITH BOARDWALK FINISH
- FLUSH CONCRETE RIBBON CURB WITH COARSE BROOM FINISH
- PERMEABLE VEHICULAR PAVERS:  
LOW COUNTRY PAVERS - HYDRASHED  
PERMEABLE PAVERS  
COLOR: DAUFUSKIE BLEND  
(HATCH PATTERN DENOTES HERRINGBONE PATTERN DESIGN INTENT, TYP.)
- CONTROL JOINT:  
SEE DETAIL 5/L300
- EXPANSION JOINT:  
SEE DETAIL 5/L300
- ADA DETECTABLE WARNING:  
SEE DETAIL XL300
- PL PLANTING AREA

**SITE FURNISHINGS SCHEDULE:**

- CAFE TABLE:  
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- 6' BENCH (11 TOTAL):  
LANDSCAPE FORMS - MELVILLE BENCH  
MATERIAL: ALUMINUM W/ IPE SLATS  
FINISH: METALLIC  
COLOR: IPE & BRONZE
- TRASH CAN (10 TOTAL):  
LANDSCAPE FORMS - POE TRASH RECEPTACLE  
FINISH: METALLIC  
COLOR: BRONZE
- BIKE RACKS (174 BIKE PARKING SPACES):  
LANDSCAPE FORMS - BOLA  
COLOR: BRONZE  
MATERIAL: STAINLESS STEEL  
(2) CUSTOM BIKE RACKS PROVIDED BY LOCAL ARTIST. SEE SITE PLAN FOR CUSTOM BIKE RACK LOCATIONS
- EDUCATIONAL DISPLAYS (5 TOTAL):  
SEE SITE PLAN FOR LOCATIONS
- SITE BOLLARD (22 TOTAL):  
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED  
COLOR: BRONZE  
FINISH: METALLIC
- CUSTOM TURTLE SCULPTURE:  
(BY OWNER, SEE SKETCH)
- BIKE REPAIR STATION (1 TOTAL):  
DERO FIXT  
FINISH: POWDER COAT  
COLOR: DARK BROWN  
SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
- PLANTERS (32 TOTAL):  
SOUTHERN STONECASTING TABBY  
FINISH PLANTER (31" TALL x 36" TOP DIAMETER)  
MATERIAL: CONCRETE W/ TABBY FINISH
- DRINKING FOUNTAIN (1 TOTAL):  
MOST DEPENDABLE FOUNTAINS  
MODEL: 440 SMFA W/ PET FOUNTAIN  
COLOR: BROWN



**INSET A**

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#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
SITE PLAN

SHEET  
NUMBER

**L103**





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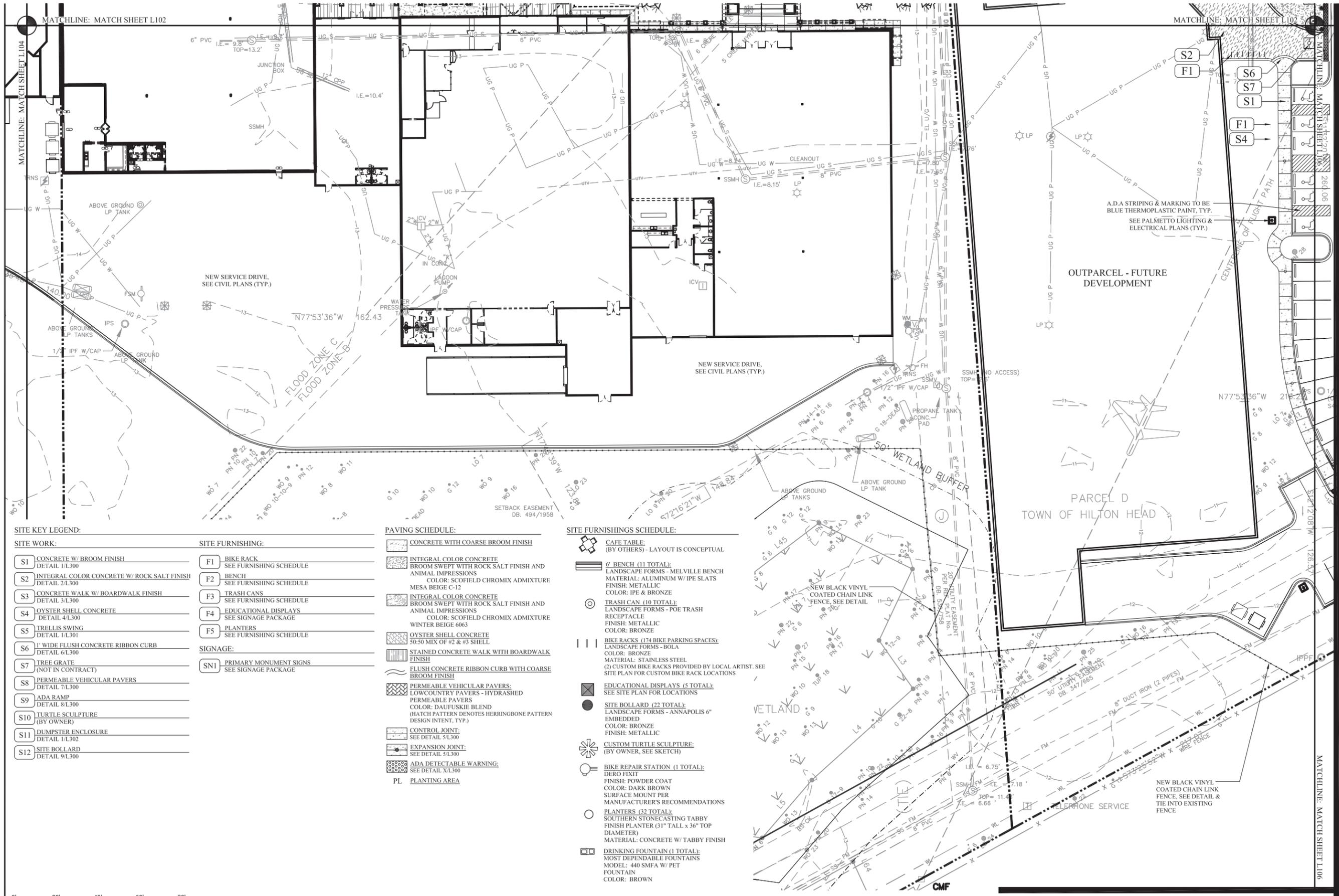
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#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: SITE PLAN

SHEET NUMBER

**L105**



**SITE KEY LEGEND:**

**SITE WORK:**

- S1 CONCRETE W/ BROOM FINISH  
DETAIL 1/L300
- S2 INTEGRAL COLOR CONCRETE W/ ROCK SALT FINISH  
DETAIL 2/L300
- S3 CONCRETE WALK W/ BOARDWALK FINISH  
DETAIL 3/L300
- S4 OYSTER SHELL CONCRETE  
DETAIL 4/L300
- S5 TRELLIS SWING  
DETAIL 1/L301
- S6 1' WIDE FLUSH CONCRETE RIBBON CURB  
DETAIL 6/L300
- S7 TREE GRATE  
(NOT IN CONTRACT)
- S8 PERMEABLE VEHICULAR PAVERS  
DETAIL 7/L300
- S9 ADA RAMP  
DETAIL 8/L300
- S10 TURTLE SCULPTURE  
(BY OWNER)
- S11 DUMPSTER ENCLOSURE  
DETAIL 1/L302
- S12 SITE BOLLARD  
DETAIL 9/L300

**SITE FURNISHING:**

- F1 BIKE RACK  
SEE FURNISHING SCHEDULE
- F2 BENCH  
SEE FURNISHING SCHEDULE
- F3 TRASH CANS  
SEE FURNISHING SCHEDULE
- F4 EDUCATIONAL DISPLAYS  
SEE SIGNAGE PACKAGE
- F5 PLANTERS  
SEE FURNISHING SCHEDULE

**SIGNAGE:**

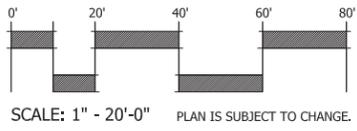
- SN1 PRIMARY MONUMENT SIGNS  
SEE SIGNAGE PACKAGE

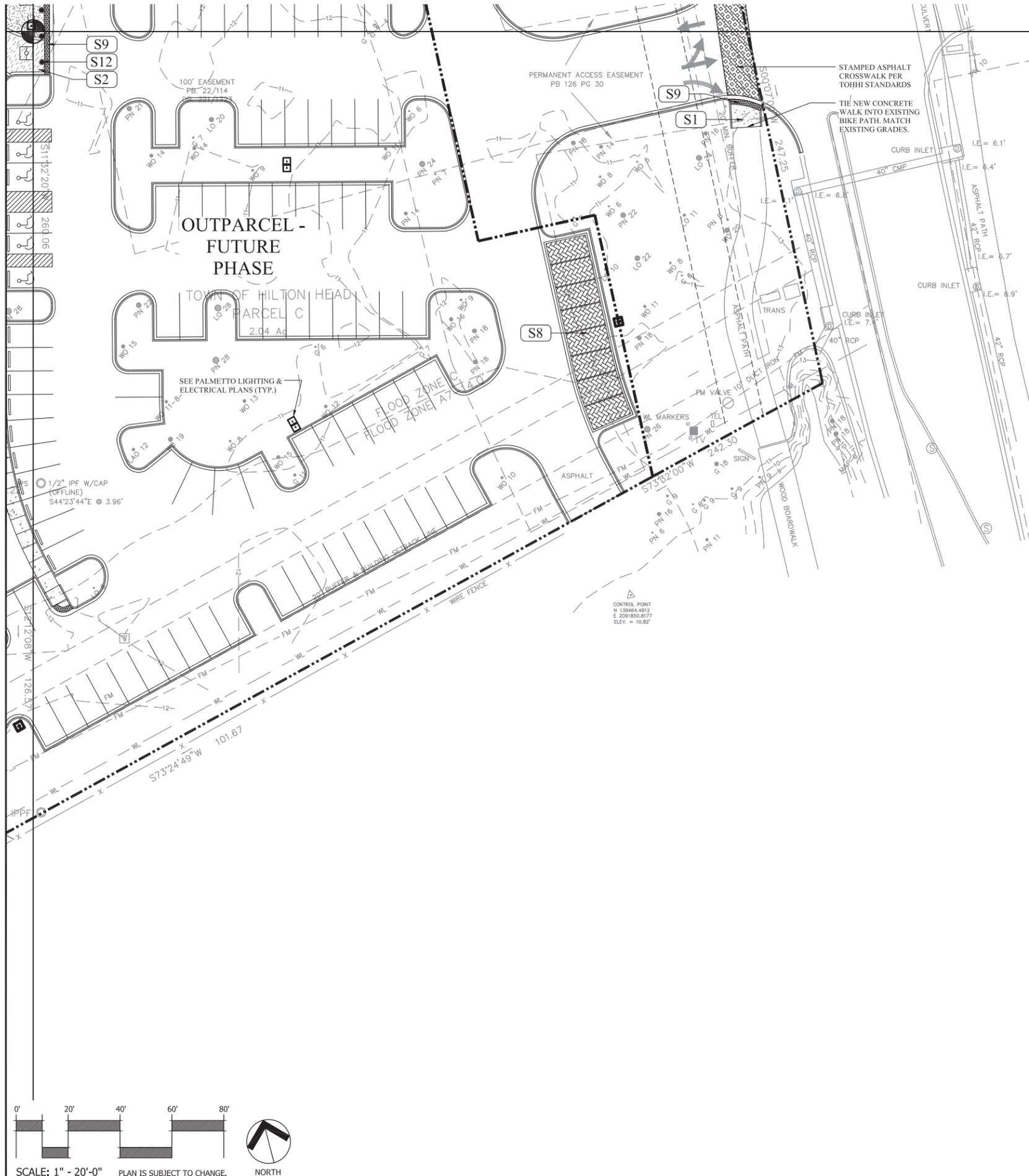
**PAVING SCHEDULE:**

- CONCRETE WITH COARSE BROOM FINISH
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE MESA BEIGE C-12
- INTEGRAL COLOR CONCRETE  
BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS  
COLOR: SCOFIELD CHROMIX ADMIXTURE WINTER BEIGE 6063
- OYSTER SHELL CONCRETE  
50:50 MIX OF #2 & #3 SHELL
- STAINED CONCRETE WALK WITH BOARDWALK FINISH
- FLUSH CONCRETE RIBBON CURB WITH COARSE BROOM FINISH
- PERMEABLE VEHICULAR PAVERS:  
LOW COUNTRY PAVERS - HYDRASHED PERMEABLE PAVERS  
COLOR: DAUFUSKIE BLEND (HATCH PATTERN DENOTES HERRINGBONE PATTERN DESIGN INTENT, TYP.)
- CONTROL JOINT:  
SEE DETAIL 5/L300
- EXPANSION JOINT:  
SEE DETAIL 5/L300
- ADA DETECTABLE WARNING:  
SEE DETAIL XL300
- PL PLANTING AREA

**SITE FURNISHINGS SCHEDULE:**

- CAFE TABLE:  
(BY OTHERS) - LAYOUT IS CONCEPTUAL
- 6' BENCH (11 TOTAL):  
LANDSCAPE FORMS - MELVILLE BENCH  
MATERIAL: ALUMINUM W/ IPE SLATS  
FINISH: METALLIC  
COLOR: IPE & BRONZE
- TRASH CAN (10 TOTAL):  
LANDSCAPE FORMS - POE TRASH RECEPTACLE  
FINISH: METALLIC  
COLOR: BRONZE
- BIKE RACKS (174 BIKE PARKING SPACES):  
LANDSCAPE FORMS - BOLA  
COLOR: BRONZE  
MATERIAL: STAINLESS STEEL  
(2) CUSTOM BIKE RACKS PROVIDED BY LOCAL ARTIST. SEE SITE PLAN FOR CUSTOM BIKE RACK LOCATIONS
- EDUCATIONAL DISPLAYS (5 TOTAL):  
SEE SITE PLAN FOR LOCATIONS
- SITE BOLLARD (22 TOTAL):  
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED  
COLOR: BRONZE  
FINISH: METALLIC
- CUSTOM TURTLE SCULPTURE:  
(BY OWNER, SEE SKETCH)
- BIKE REPAIR STATION (1 TOTAL):  
DERO FIXIT  
FINISH: POWDER COAT  
COLOR: DARK BROWN  
SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
- PLANTERS (32 TOTAL):  
SOUTHERN STONECASTING TABBY FINISH PLANTER (31" TALL x 36" TOP DIAMETER)  
MATERIAL: CONCRETE W/ TABBY FINISH
- DRINKING FOUNTAIN (1 TOTAL):  
MOST DEPENDABLE FOUNTAINS  
MODEL: 440 SMFA W/ PET FOUNTAIN  
COLOR: BROWN





**SITE KEY LEGEND:**

<b>SITE WORK:</b>	<b>SITE FURNISHING:</b>
S1 CONCRETE W/ BROOM FINISH DETAIL 1/L300	F1 BIKE RACK SEE FURNISHING SCHEDULE
S2 INTEGRAL COLOR CONCRETE W/ ROCK SALT FINISH DETAIL 2/L300	F2 BENCH SEE FURNISHING SCHEDULE
S3 CONCRETE WALK W/ BOARDWALK FINISH DETAIL 3/L300	F3 TRASH CANS SEE FURNISHING SCHEDULE
S4 OYSTER SHELL CONCRETE DETAIL 4/L300	F4 EDUCATIONAL DISPLAYS SEE SIGNAGE PACKAGE
S5 TRELIS SWING DETAIL 1/L301	F5 PLANTERS SEE FURNISHING SCHEDULE
S6 1' WIDE FLUSH CONCRETE RIBBON CURB DETAIL 6/L300	<b>SIGNAGE:</b>
S7 TREE GRATE (NOT IN CONTRACT)	SN1 PRIMARY MONUMENT SIGNS SEE SIGNAGE PACKAGE
S8 PERMEABLE VEHICULAR PAVERS DETAIL 7/L300	
S9 ADA RAMP DETAIL 8/L300	
S10 TURTLE SCULPTURE (BY OWNER)	
S11 DUMPSTER ENCLOSURE DETAIL 1/L302	
S12 SITE BOLLARD DETAIL 9/L300	

**PAVING SCHEDULE:**

	CONCRETE WITH COARSE BROOM FINISH
	INTEGRAL COLOR CONCRETE BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS COLOR: SCOFIELD CHROMIX ADMIXTURE MESA BEIGE C-12
	INTEGRAL COLOR CONCRETE BROOM SWEEP WITH ROCK SALT FINISH AND ANIMAL IMPRESSIONS COLOR: SCOFIELD CHROMIX ADMIXTURE WINTER BEIGE 6063
	OYSTER SHELL CONCRETE 50:50 MIX OF #2 & #3 SHELL
	STAINED CONCRETE WALK WITH BOARDWALK FINISH
	FLUSH CONCRETE RIBBON CURB WITH COARSE BROOM FINISH
	PERMEABLE VEHICULAR PAVERS: LOWCOUNTRY PAVERS - HYDRASHED PERMEABLE PAVERS COLOR: DAUFUSKIE BLEND (HATCH PATTERN DENOTES HERRINGBONE PATTERN DESIGN INTENT, TYP.)
	CONTROL JOINT: SEE DETAIL 5/L300
	EXPANSION JOINT: SEE DETAIL 5/L300
	ADA DETECTABLE WARNING: SEE DETAIL X/L300
	PL PLANTING AREA

**SITE FURNISHINGS SCHEDULE:**

	CAFE TABLE - (BY OTHERS) - LAYOUT IS CONCEPTUAL
	6' BENCH (11 TOTAL): LANDSCAPE FORMS - MELVILLE BENCH MATERIAL: ALUMINUM W/ IPE SLATS FINISH: METALLIC COLOR: IPE & BRONZE
	TRASH CAN (10 TOTAL): LANDSCAPE FORMS - POE TRASH RECEPTACLE FINISH: METALLIC COLOR: BRONZE
	BIKE RACKS (174 BIKE PARKING SPACES): LANDSCAPE FORMS - BOLA COLOR: BRONZE MATERIAL: STAINLESS STEEL (2) CUSTOM BIKE RACKS PROVIDED BY LOCAL ARTIST. SEE SITE PLAN FOR CUSTOM BIKE RACK LOCATIONS
	EDUCATIONAL DISPLAYS (5 TOTAL): SEE SITE PLAN FOR LOCATIONS
	SITE BOLLARD (22 TOTAL): LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED COLOR: BRONZE FINISH: METALLIC
	CUSTOM TURTLE SCULPTURE: (BY OWNER, SEE SKETCH)
	BIKE REPAIR STATION (1 TOTAL): DERO FIXIT FINISH: POWDER COAT COLOR: DARK BROWN SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS
	PLANTERS (32 TOTAL): SOUTHERN STONECASTING TABBY FINISH PLANTER (31" TALL x 36" TOP DIAMETER) MATERIAL: CONCRETE W/ TABBY FINISH
	DRINKING FOUNTAIN (1 TOTAL): MOST DEPENDABLE FOUNTAINS MODEL: 440 SMFA W/ PET FOUNTAIN COLOR: BROWN

**GENERAL CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
2. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASS BY SEEDING, FERTIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE ON THE PLAN.
3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE AND LOCAL CODES.
4. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
5. DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL PIPE, STRUCTURES OR DEBRIS WITHIN THE AREA OF CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.

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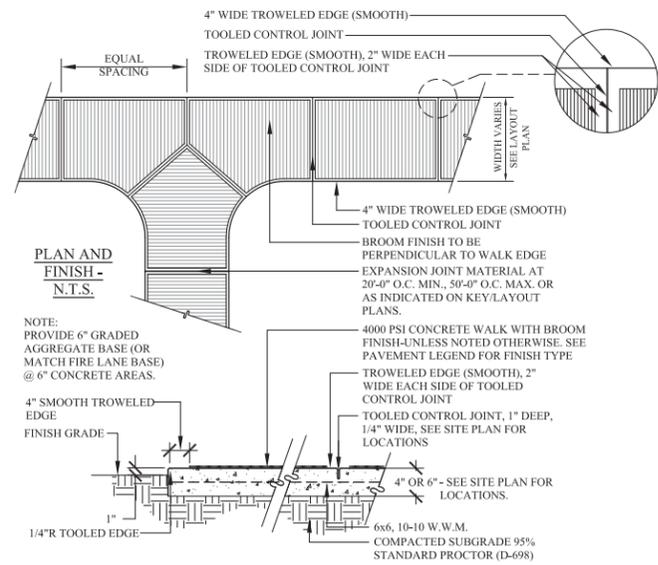
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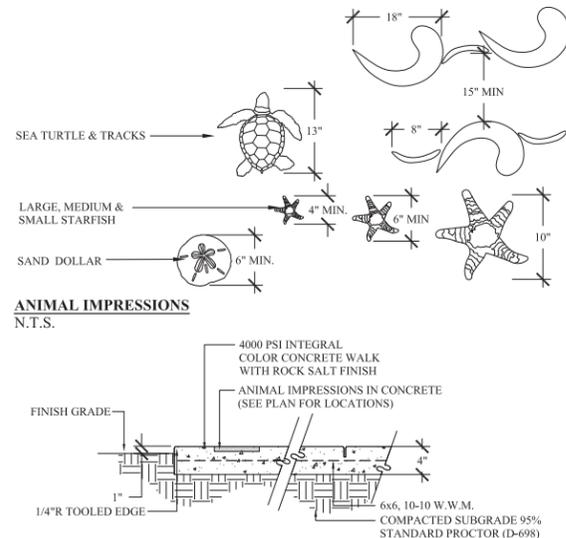
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PROJECT NUMBER: 01-13007  
SHEET TITLE: SITE PLAN

SHEET NUMBER

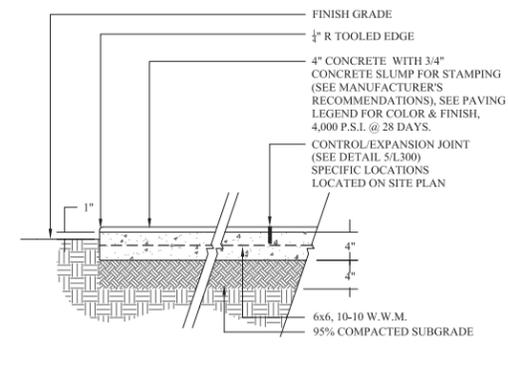
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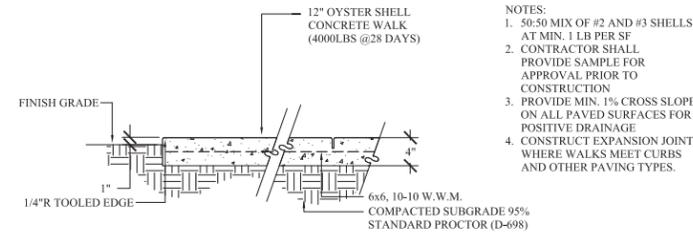
**1 CONCRETE W/ BROOM FINISH**  
L300 SCALE: 1" = 1'-00"



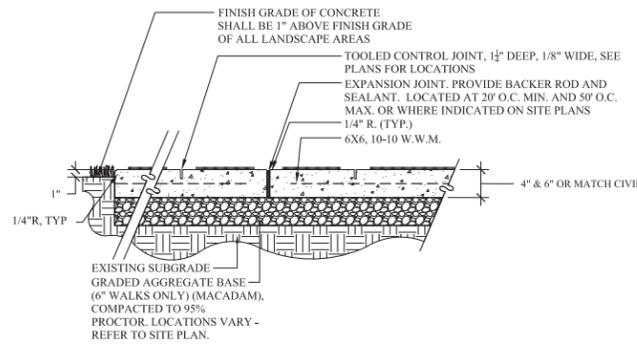
**2 INTEGRAL COLOR CONCRETE**  
L300 SCALE: 1" = 1'-00"



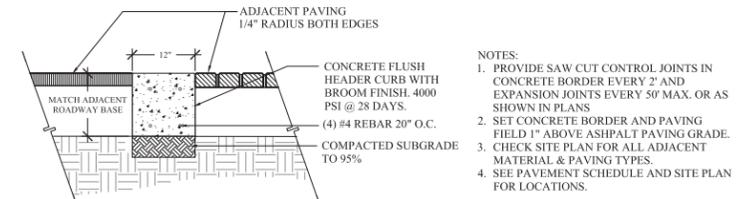
**3 CONCRETE W/ BOARDWALK FINISH**  
L300 SCALE: 1" = 1'-00"



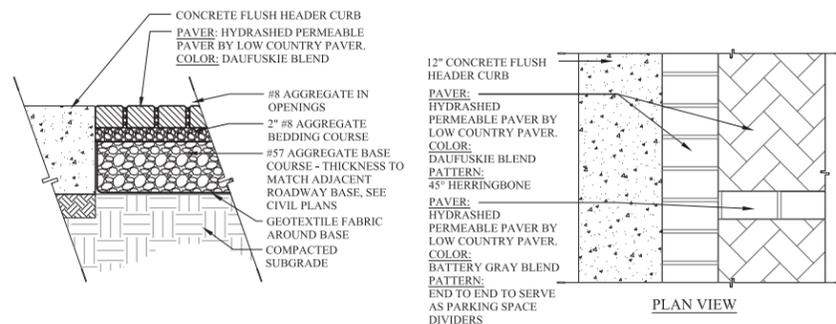
**4 OYSTER SHELL CONCRETE**  
L300 SCALE: 1" = 1'-00"



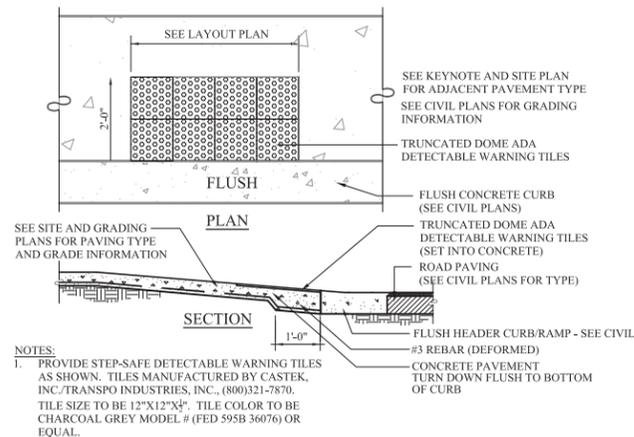
**5 CONC. CONTROL & EXPANSION JOINT**  
L300 SCALE: 1" = 1'-00"



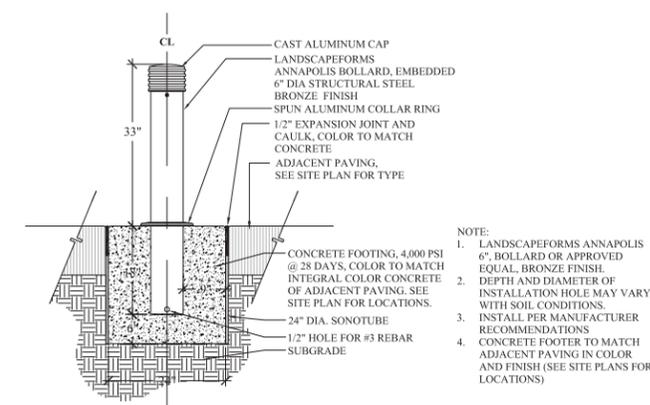
**6 CONCRETE RIBBON CURB**  
L300 SCALE: 1" = 1'-00"



**7 PERMEABLE VEHICULAR PAVERS**  
L300 SCALE: 3/4" = 1'-00"

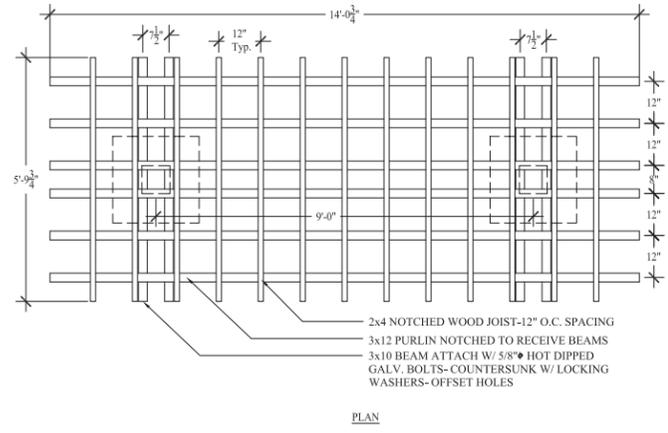
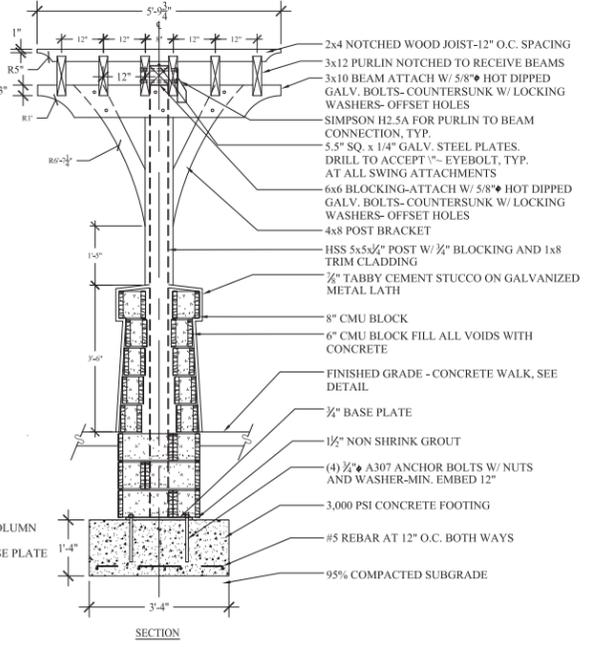
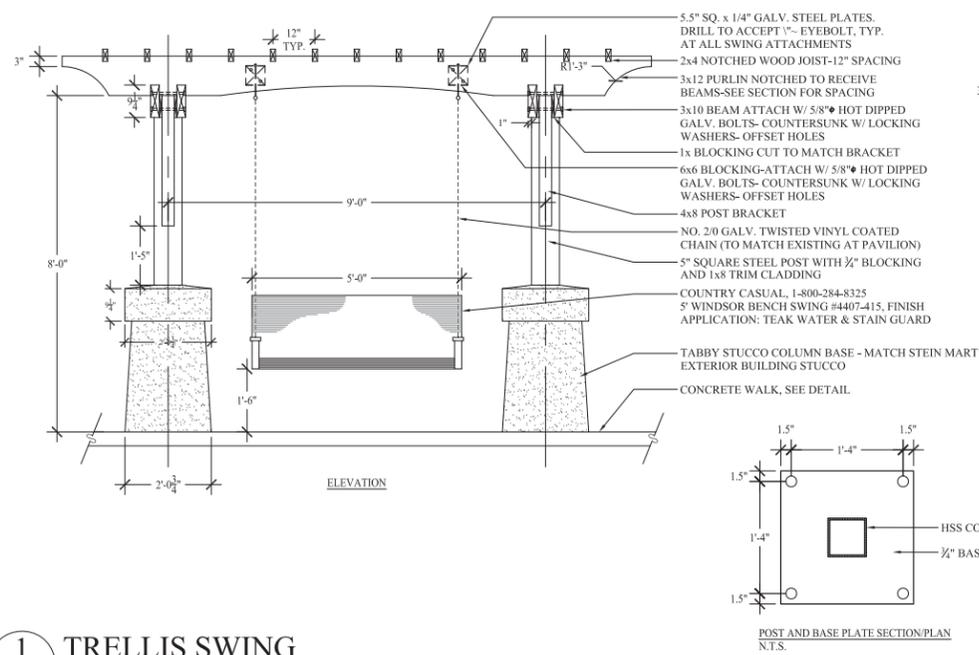


**8 ADA RAMP - COORD. W/ CIVIL DETAILS**  
L300 SCALE: 1/2" = 1'-00"

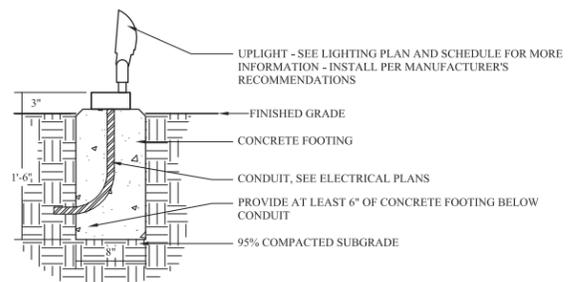
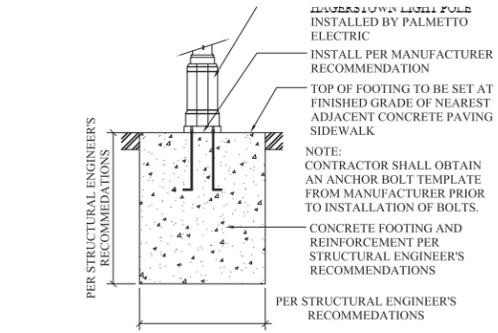
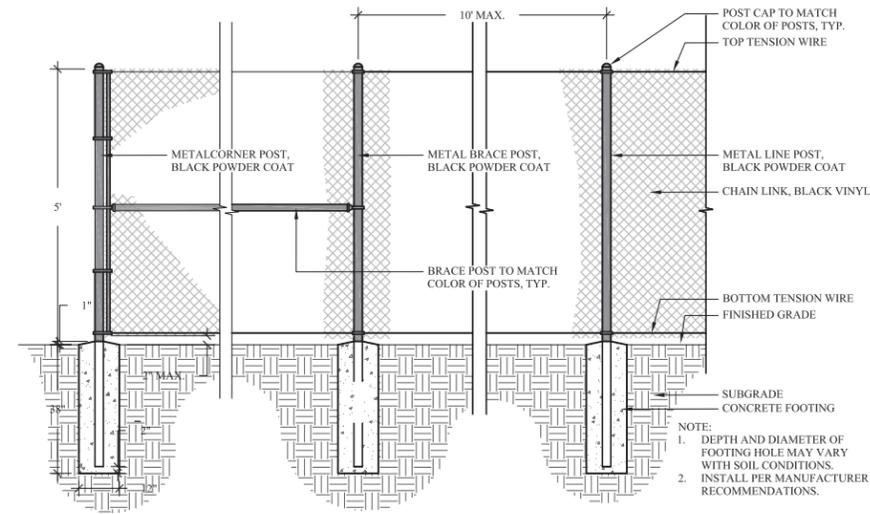


**9 BOLLARD**  
L300 SCALE: N.T.S.

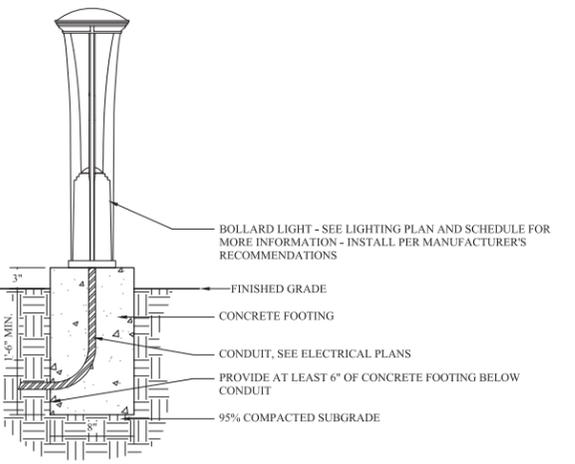
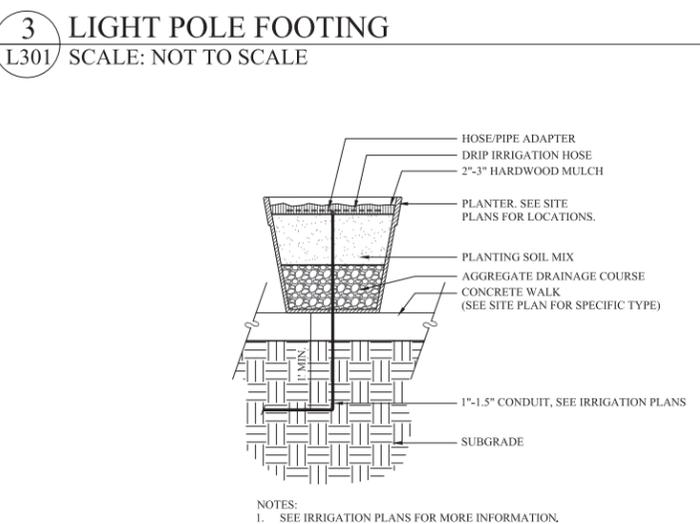
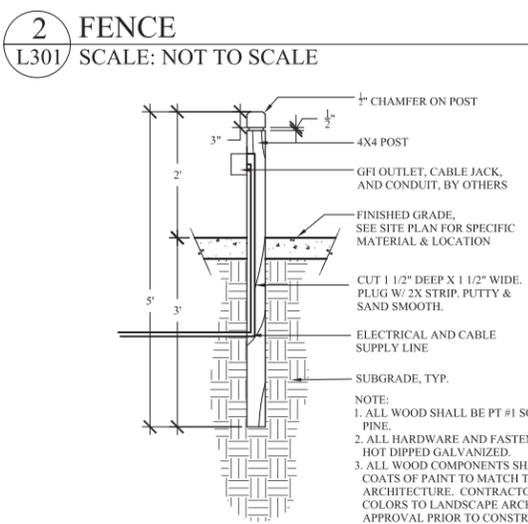
#	REVISION	DATE	BY



- NOTE:
- ALL WOOD SHALL BE PT #1 SOUTHERN YELLOW PINE.
  - ALL HARDWARE AND FASTENERS SHALL BE HOT DIPPED GALVANIZED.
  - ALL WOOD COMPONENTS SHALL RECEIVE:
    - 2 COATS OF SHERWIN WILLIAMS DECKSCAPES EXTERIOR ACRYLIC SOLID COLOR DECK STAIN W/ STAY CLEAN EE MIDWIDE PAINT ADDITIVE AT 9 GRAMS PER GALLON OF STAIN. COLOR TO BE AMAZING GRAY. CONTRACTOR TO SUBMIT COLOR SAMPLE AND CUT SHEETS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
    - 2 COATS OF SHERWIN WILLIAMS DECKSCAPES EXTERIOR WATERBORNE CLEAR SEALER.



- NOTE:
- SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - LAYOUT BOLLARDS IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.



- NOTE:
- SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - LAYOUT BOLLARDS IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.

**5 RECEPTACLE & CHARGING STATION POSTS**  
SCALE: NOT TO SCALE

**6 PLANTER**  
SCALE: N.T.S.

**7 BOLLARD LIGHT FOOTING**  
SCALE: N.T.S.

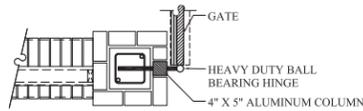
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DRAWN BY: DM/EL/EW  
CHECKED BY: TT

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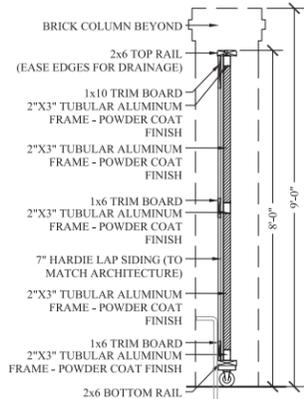
#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: DETAILS



**SCHEMATIC COLUMN SECTION**

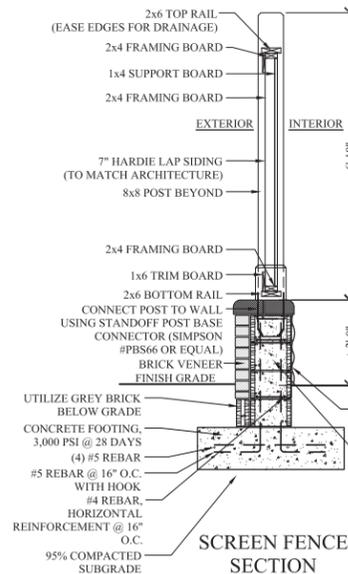
NOTE: MOUNTING POSITION AND HINGE TO ALLOW FOR GATE TO OPEN BEYOND 90°. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF HINGE MECHANISM FOR APPROVAL PRIOR TO CONSTRUCTION.



**GATE SECTION**



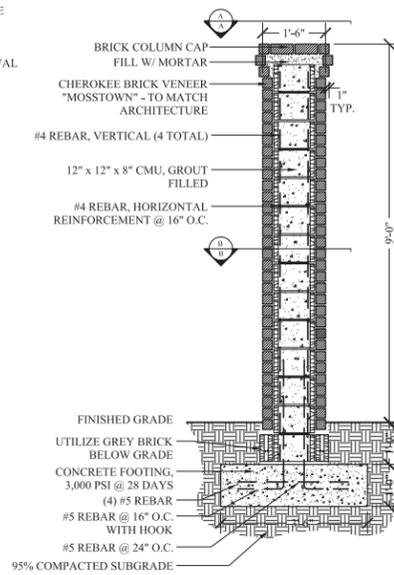
**90° CORNER SECTION**



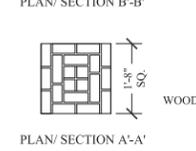
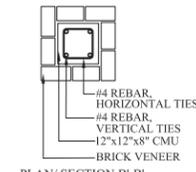
**SCREEN FENCE SECTION**

**NOTES:**

1. ALL WOOD UNLESS OTHERWISE SPECIFIED, SHALL BE SOUTHERN YELLOW PINE, SIB GRADE NO. 1 OR BETTER S4S PRESSURE TREATED.
2. ALL WOOD COMPONENTS SHALL RECEIVE:
  - 2.1. 2 COATS OF SHERWIN WILLIAMS DECKSCAPES EXTERIOR ACRYLIC SOLID COLOR DECK STAIN W/ STAY CLEAN 1/E MIDEWIDE PAINT ADDITIVE AT 9 GRAMS PER GALLON OF STAIN. COLOR TO BE AMAZING GRAY. CONTRACTOR TO SUBMIT COLOR SAMPLE AND CUT SHEETS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
  - 2.2. 2 COATS OF SHERWIN WILLIAMS DECKSCAPES EXTERIOR WATERBORNE CLEAR SEALER.
3. ALL HARDWARE SHALL BE STAINLESS STEEL.
4. PROVIDE 2"x3" TUBULAR ALUMINUM FRAME SYSTEM FOR VEHICULAR GATE. POWDER COAT AND PAINT FRAME TO MATCH WOOD COLOR.
5. PROVIDE HEAVY DUTY HINGES AT GATE. SUBMIT SHOP DRAWINGS AND SAMPLES OF HINGE AND LATCH SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.

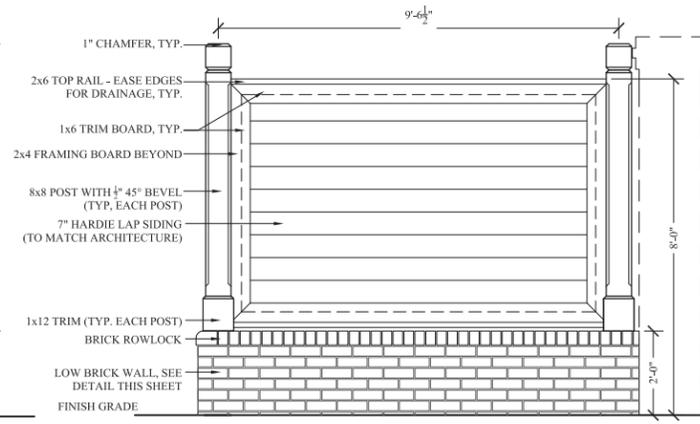


**COLUMN SECTION**

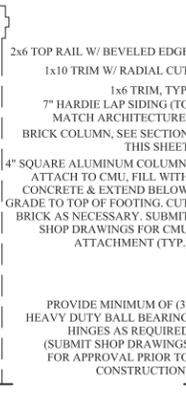


**COLUMN NOTES:**

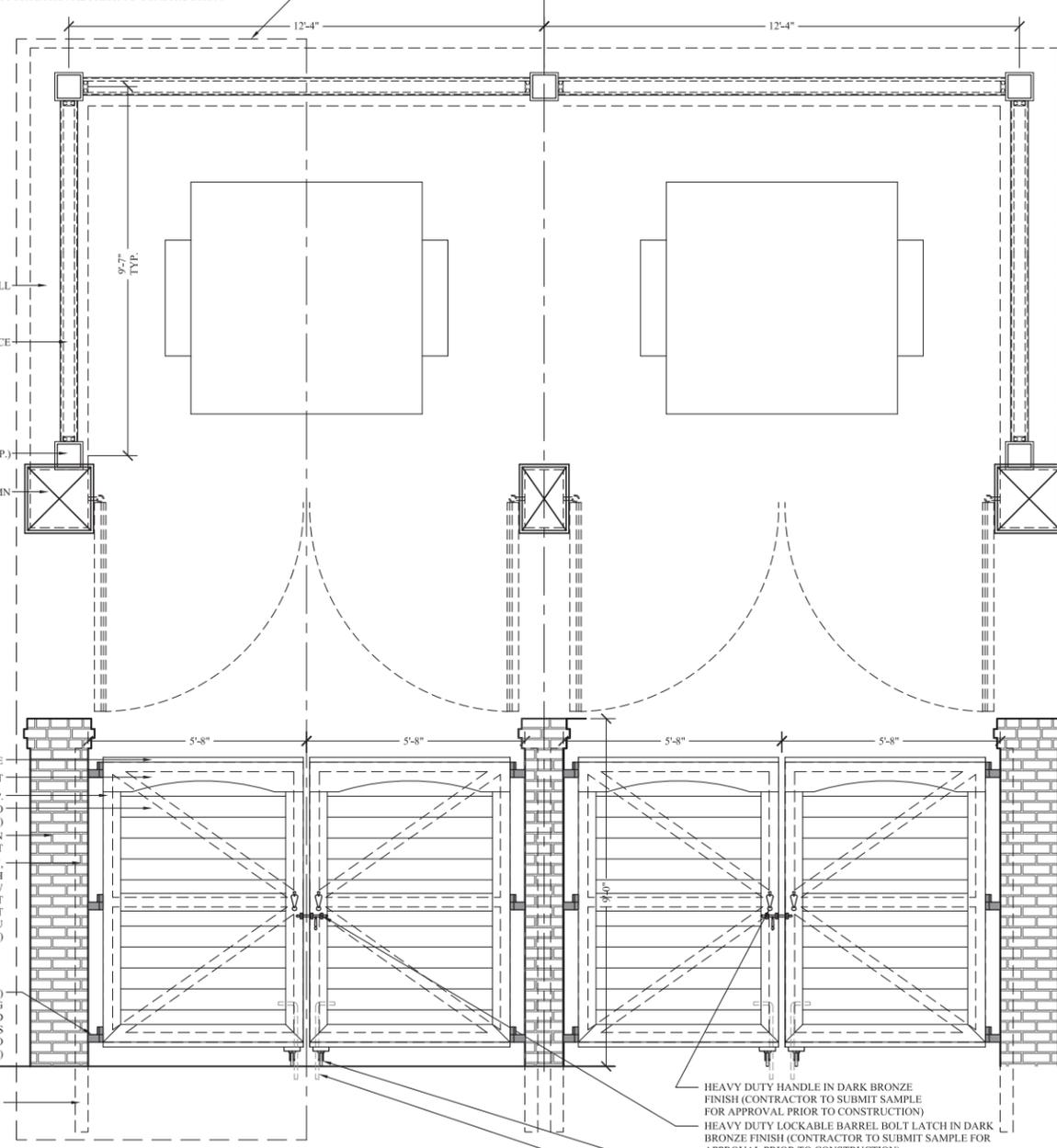
1. ALL BRICK TO BE CHEROKEE BRICK, MOSSTOWN (TO MATCH ARCHITECTURE).
2. MORTAR JOINTS TO MATCH ARCHITECTURE COLOR & STYLE.
3. BRICK COURSING TO MATCH ELEVATION AS SHOWN.
4. ADJUST COLUMN SIZE FOR CENTER COLUMN UNIT.



**SIDE ELEVATION**



**FRONT ELEVATION**



**1 DUMPSTER ENCLOSURE**  
L302 SCALE: 1/2" = 1'-0"

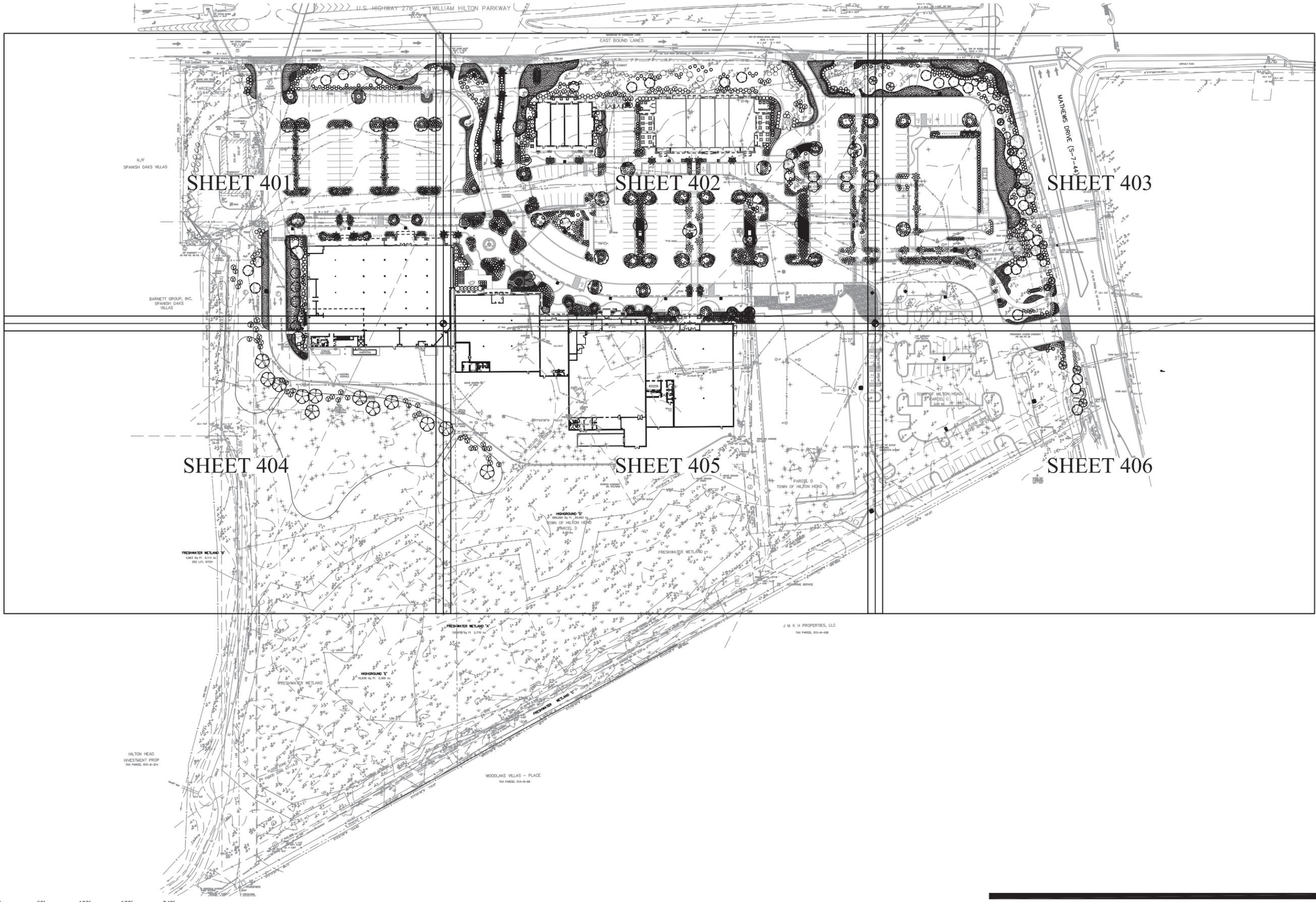
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#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: DETAILS



Wheeler Development  
Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE  
MARKETPLACE**  
Hilton Head Island, South Carolina

NOT FOR  
CONSTRUCTION

DRAWN BY: DM/EL/EW  
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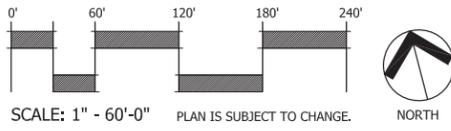
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#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
OVERALL  
PLANTING PLAN

SHEET  
NUMBER

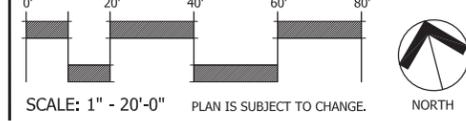
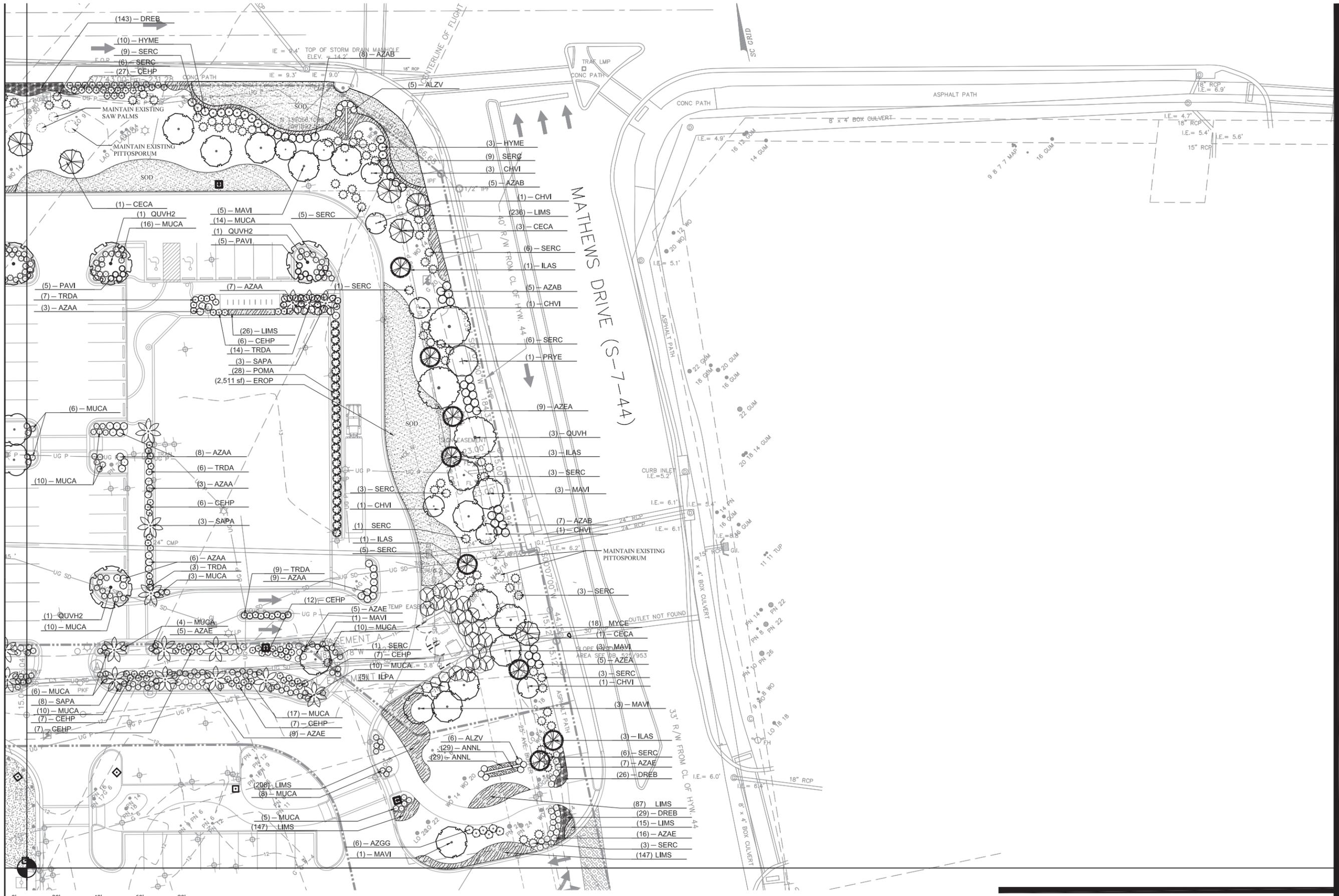
**L400**



**Wood+Partners Inc. WPI**  
Landscape Architects  
Land Planners  
PO Box 23949 Hilton Head Island, SC 29925  
843.881.2218 • Fax 843.881.7388 • www.woodpartners.com







Wheeler Development  
Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE  
MARKETPLACE**  
Hilton Head Island, South Carolina

NOT FOR  
CONSTRUCTION

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#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: PLANTING PLAN

Wood+Partners Inc. **WPI**  
Landscape Architects  
Land Planners

PO Box 23949 Hilton Head Island, SC 29925  
843.881.2216 Fax 843.881.7088 www.woodpartners.com

SHEET NUMBER  
**L403**

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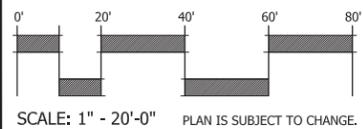
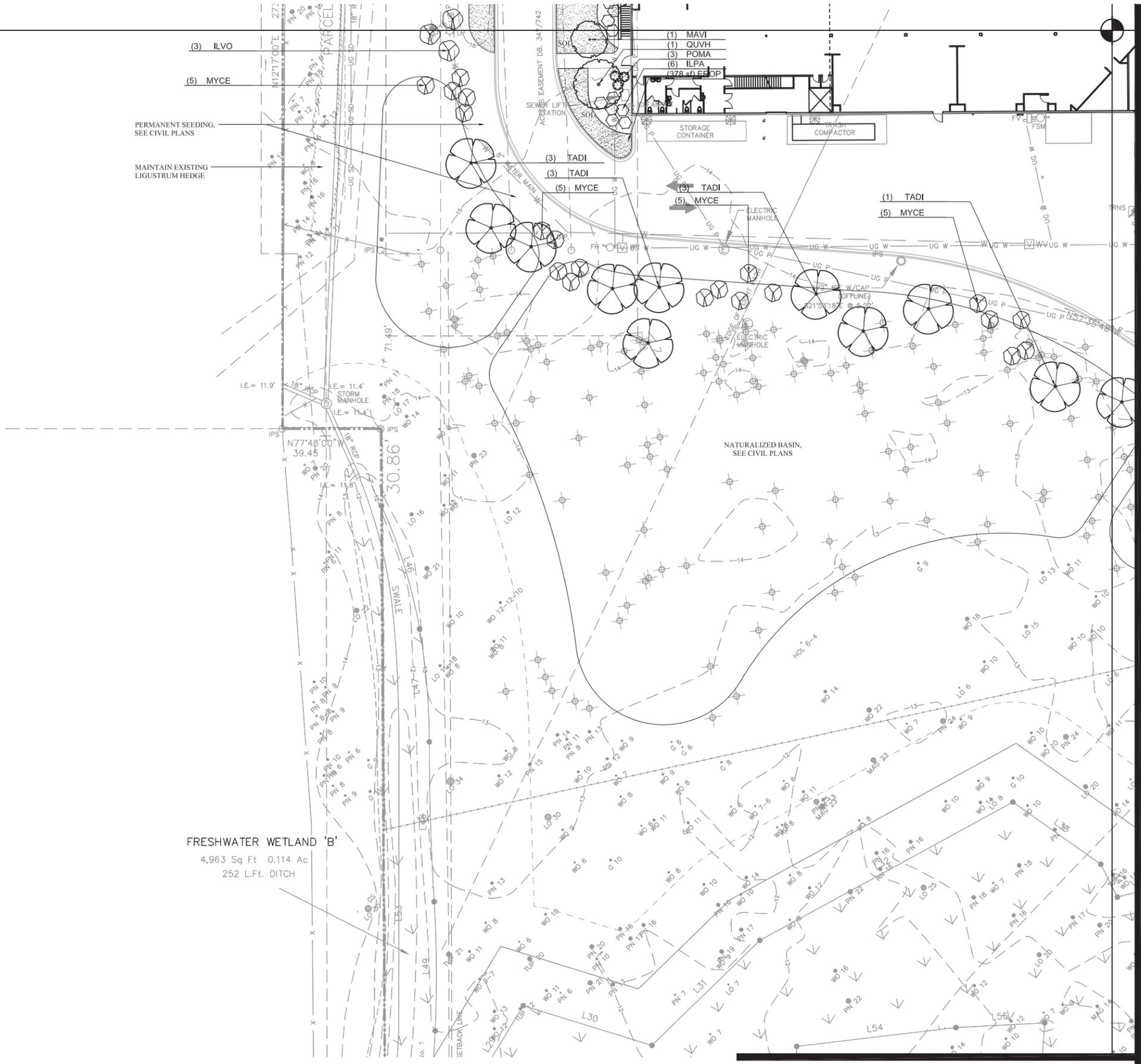
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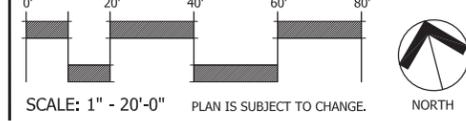
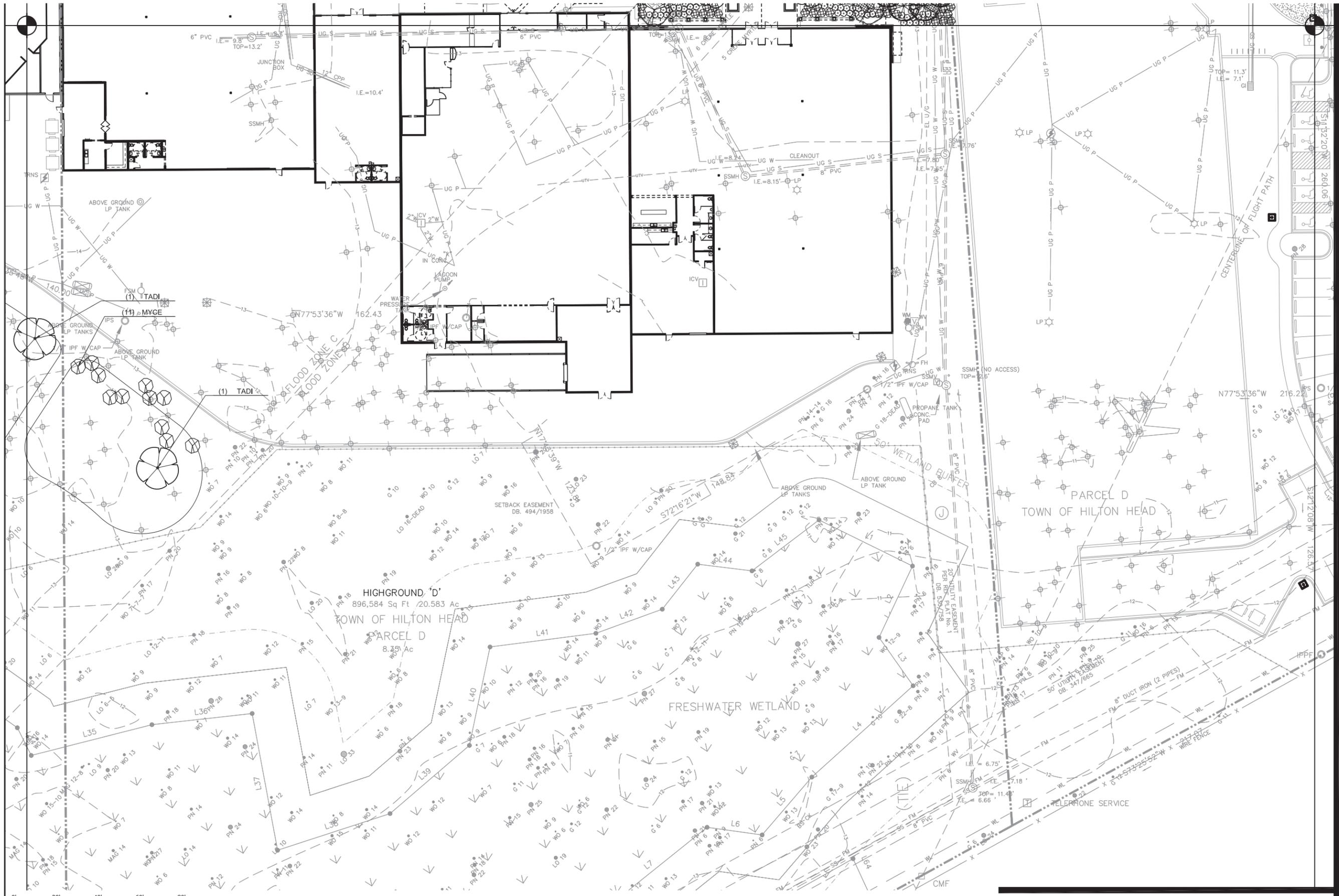
#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
PLANTING PLAN

SHEET  
NUMBER

**L404**





Wheeler Development  
Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE  
MARKETPLACE**  
Hilton Head Island, South Carolina

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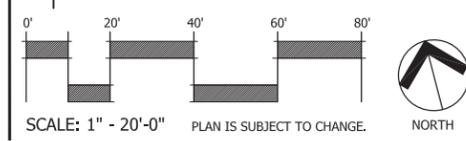
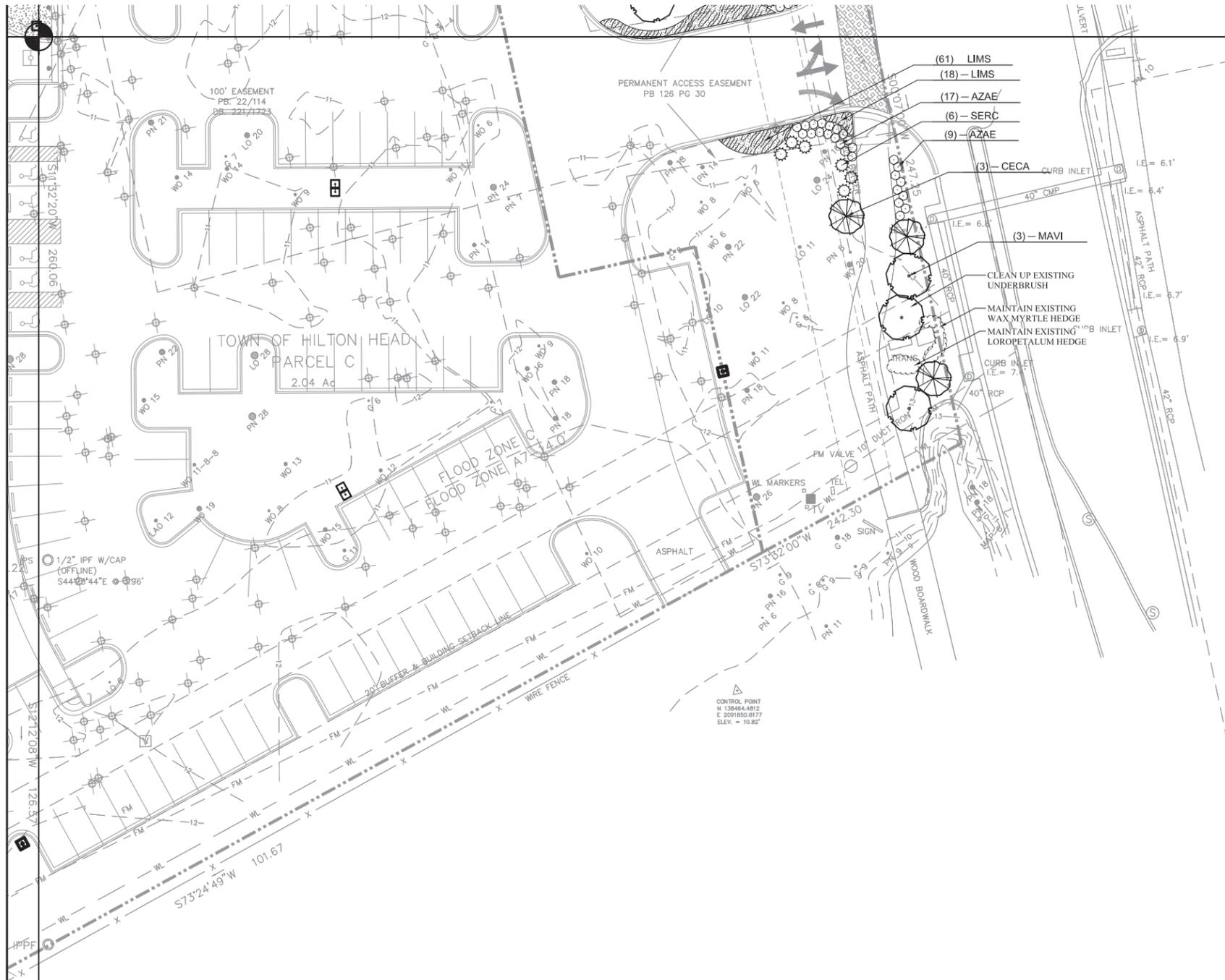
#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: PLANTING PLAN

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SHEET NUMBER  
**L405**



NORTH

- (61) LIMS
- (18) LIMS
- (17) AZAE
- (6) SERC
- (9) AZAE

- (3) CECA
- (3) MAVI
- CLEAN UP EXISTING UNDERBRUSH
- MAINTAIN EXISTING WAX MYRTLE HEDGE
- MAINTAIN EXISTING LOROPETALUM HEDGE

CONTROL POINT  
N 138464.4812  
E 2091850.8177  
ELEV. = 10.82'

NOT FOR  
CONSTRUCTION

DRAWN BY: DM/EL/EW  
CHECKED BY: TT

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#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
PLANTING PLAN

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CECA	10	Cercis canadensis 'Forest Pansy' TM	Forest Pansy Redbud	B & B or Cont.	2" Cal		8'-10'	5'-6"	
CHVI	9	Chionanthus virginicus	White Fringetree	B & B or Cont.	3" Cal. (Total)		6'-8"	5'-6"	Multi-stem (3-5)
ERJA	5	Eriobotrya japonica	Loquat	B & B or Cont.	2" Cal				
ILAS	9	Ilex x attenuata 'Savannah'	Savannah Holly	65 gal	2" Cal		10'-12'	6'-8"	Full Tree Form, Strong Central Leader
LAIS	4	Lagerstroemia indica Standard	Single Trunk Crape Myrtle	B & B or Cont.	3" Cal. (Total)		8'-10'	6'-8"	Multi-stem (3-5)
LATU	24	Lagerstroemia x 'Tuscarora'	Crape Myrtle	B & B or Cont.	3" Cal. (Total)		8'-10'	6'-8"	Multi-stem (min. 3 canes) 1" cal. Min. for each cane
MAGD	3	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	B & B or Cont.	2" Cal		10'		Full to Ground
MAVI	34	Magnolia virginiana	Sweet Bay	B & B or Cont.	2" Cal		10'		
PRYE	1	Prunus x yedoensis	Yoshino Cherry	B & B or Cont.	2" Cal		6'-8"	5'-6"	
QUVH	9	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B or Cont.	2" Cal		10'-12'	6'-8"	Strong central leader; Specimen
QUVH2	33	Quercus virginiana 'High Rise'	High Rise Live Oak	B & B	4" Cal		12'-14'	6'-8"	Strong central leader; Specimen
SAPA	77	Sabal palmetto	Cabbage Palmetto	B & B			14'-18'		Smooth Clear Trunk, Hurricane Cut, Vary Height
SAPA-2	5	Sabal palmetto	Cabbage Palmetto	B & B			14'		Matched, Smooth Clear Trunk, Hurricane Cut
SAPA-3	7	Sabal palmetto	Cabbage Palmetto	B & B			8'		Matched, Smooth, Hooked Trunks, See notes for direction.
TADI	18	Taxodium distichum	Bald Cypress	B & B or Cont.	2" Cal		10'	4'-5"	Full, specimen
TRFO	1	Trachycarpus fortunei	Windmill Palm	B & B or Cont.			6' Min.		

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS
ALZV	32	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	15" - 18"	12" - 15"	Full
AZAA	98	Azalea Encore 'Autumn Angel' TM	Autumn Angel Azalea	3 gal	15" - 18"	12" - 15"	
AZAB	42	Azalea Encore 'Autumn Bravo' TM	Autumn Bravo Azalea	3 gal	15" - 18"	12" - 15"	
AZEN	25	Azalea Encore 'Autumn Chiffon'	Autumn Chiffon Encore Azalea	3 gal	15" - 18"	12" - 15"	Bicolor White/Pink flowers
AZAE	271	Azalea Encore 'Autumn Embers' TM	Autumn Embers Azalea	3 gal	15" - 18"	12" - 15"	
AZAM	53	Azalea Encore 'Autumn Monarch' TM	Encore Azalea	3 gal	15" - 18"	12" - 15"	Full pot
AZEA	17	Azalea Encore 'Autumn Moonlight' TM	Encore Azalea	3 gal	15" - 18"	12" - 15"	
AZGG	21	Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Azalea	3 gal	24"-30"	24"-30"	
CARC	5	Callistemon rigidus 'Clemson Hardy'	Clemson Hardy Bottle Brush	7 gal	30"-36"	24"-36"	Full
CEHP	190	Cephalotaxus harringtonia prostrata	Prostrate Plum Yew	3 gal	8"-12"	12" - 15"	
GAJF	21	Gardenia jasminoides 'Frostproof'	Frostproof Gardenia	3 gal	18" - 24"	18"-24"	
GAJR	67	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	3 gal	8"-12"	18"-24"	
HYME	16	Hydrangea macrophylla 'Endless Summer' TM	Bailmer Hydrangea	3 gal	24"-30"	24"-30"	Full
ILCC	44	Ilex cornuta 'Carissa'	Carissa Holly	3 gal	15" - 18"	12" - 15"	
ILVO	3	Ilex vomitoria	Upright Yaupon Holly	15 gal	4'-6"	36"-42"	Full
ILSD	45	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal	12"-18"	12"-18"	
ILPA	102	Illicium parviflorum	Anise Tree	7 gal	36"-42"	24"-36"	Full pot
LJJA	2	Ligustrum japonicum	Japanese Privet	15 gal			
LOCR	31	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 gal	15" - 18"	15" - 18"	
MISI	18	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	3 gal	18"-24"	18"-24"	Full pot
MUCA	1,445	Muhlenbergia capillaris	Gulf Muhly Grass	3 gal	12"-18"	12"-18"	Full pot
MYCE	94	Myrica cerifera	Wax Myrtle	7 gal	36"-48"	24"-36"	Full pot
OSFR	6	Osmanthus fragrans	Sweet Olive	7 gal	36"-48"	24"-36"	Full pot
PAVI	424	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	3 gal	12"-18"	12"-18"	
PHSE	36	Philodendron selloum	Split Leaf Philodendron	7 gal	24"-36"	24"-36"	Full
POMA	82	Podocarpus macrophyllus	Japanese Yew	15 gal	30"-36"	24"-30"	Full
PODP	74	Podocarpus macrophyllus 'Dwarf Pringles'	Dwarf Podocarpus	7 gal			
SERC	193	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	15" - 18"	12"-18"	Full pot
TRDA	432	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	3 gal	12"-18"	12"-18"	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
LIMB	189	Liriope muscari 'Big Blue'	Big Blue Liriope	1 gal	12"-14"	10"-12"	18" o.c.	Full pot
LIMS	1,787	Liriope muscari 'Super Blue'	Super Blue Liriope	1 Gal.	10"-12"	10"-12"	18" o.c.	
SPBA	226	Spartina bakeri	Sand Cord Grass	3 Gal.	24"-30"	18"-24"	36" o.c.	Full pot
TRAA	775	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal			15" o.c.	

ANNUALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
ANNL	595	Annual	Annual	flat			12" o.c.	Selection to be approved by landscape architect

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
DIVE	47	Dietes vegeta	African Iris	1 gal	18"-24"	12"-18"	30" o.c.	Full pot
DREB	198	Dryopteris erythrosora 'Brilliance'	Autumn Fern	3 gal	12"-18"	10"-12"	18" o.c.	Full Pot
PLAI	24	Plumbago auriculata 'Imperial Blue'	Plumbago	3 gal	12"-18"	12"-18"	36" o.c.	Full pot

SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
EROP	17,249 sf	Eremochloa ophiuroides	Centipede Sod	sod				

**GENERAL PLANTING & IRRIGATION NOTES:**

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, HYDRO-SEED AND PLANTING BEDS. SEE IRRIGATION PLAN FOR DETAILS.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH. SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S CHOICE FOR SEASON OF INSTALLATION.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR EQUAL.

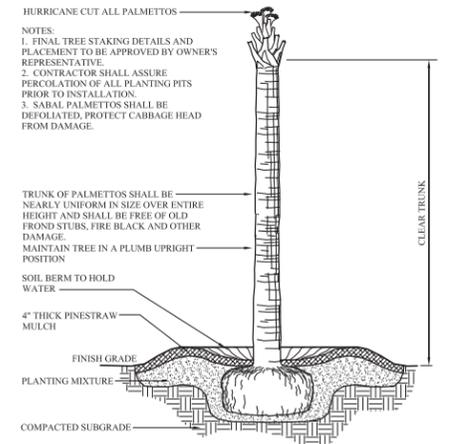
**TREE MITIGATION:**

- TREE MITIGATION WILL UTILIZE THE ADJUSTED CALIPER INCH CALCULATION TO MITIGATE THE REMOVAL OF TREES ON SITE. A COMPLETE TREE MITIGATION SUMMARY WILL BE PROVIDED UPON DPR SUBMITTAL.

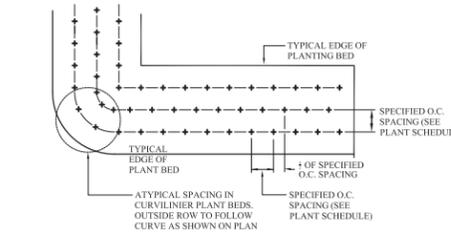
TOTAL ACRES: 23.26  
 MAXIMUM IMPERVIOUS SURFACE ALLOWED (CC ZONE): 60%  
 ADJUSTED CALIPER INCHES TO BE MET POST DEVELOPMENT: 8,373.6

POST DEVELOPMENT TREE COUNTS:  
 CATEGORY 1: 2,355 (1) = 2,355  
 CATEGORY 2: 5,429 (75) = 4,071.25  
 CATEGORY 3: 7,288 (5) = 3,644  
 CATEGORY 4: 39 (25) = 9.75

TOTAL POST DEVELOPMENT ADJUSTED CALIPER INCHES: 10,080.5

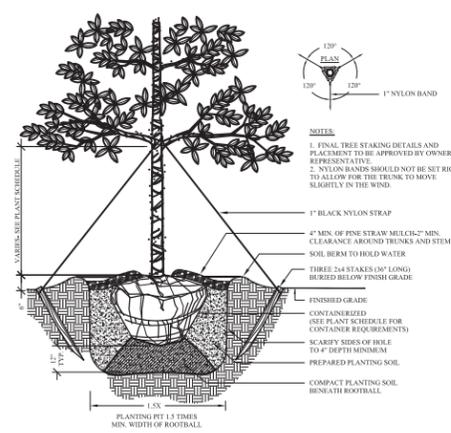


**1 PALM TREE**  
 L407 SCALE: N.T.S.

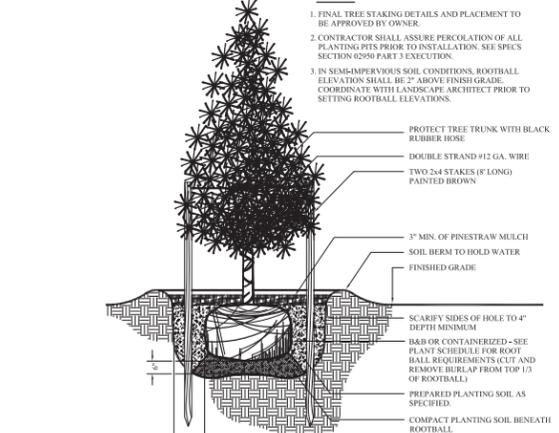


**2 SHRUB PLANTING**  
 L407 SCALE: N.T.S.

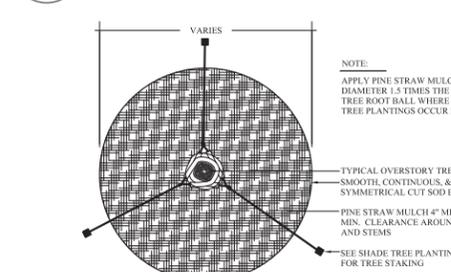
**3 GROUNDCOVER SPACING**  
 L407 SCALE: N.T.S.



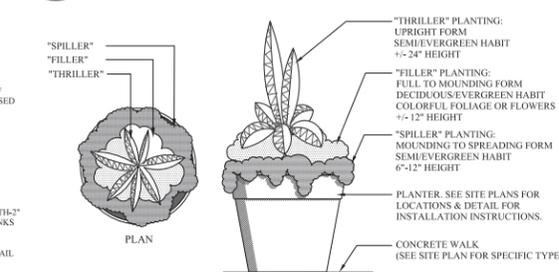
**4 LANDSCAPE EDGE**  
 L407 SCALE: N.T.S.



**5 SHADE TREE**  
 L407 SCALE: N.T.S.



**6 PINE TREE**  
 L407 SCALE: N.T.S.



**7 SOIL AMENDMENTS**  
 L407 SCALE: N.T.S.

**8 MULCH TREE RING**  
 L407 SCALE: N.T.S.

**9 TYPICAL PLANTER PLANTING**  
 L407 SCALE: N.T.S.

**Wheeler Development**  
 Virginia Beach, Virginia

**SEA TURTLE MARKETPLACE**  
 Hilton Head Island, South Carolina

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DRAWN BY: DM/EL/EW  
 CHECKED BY: TT

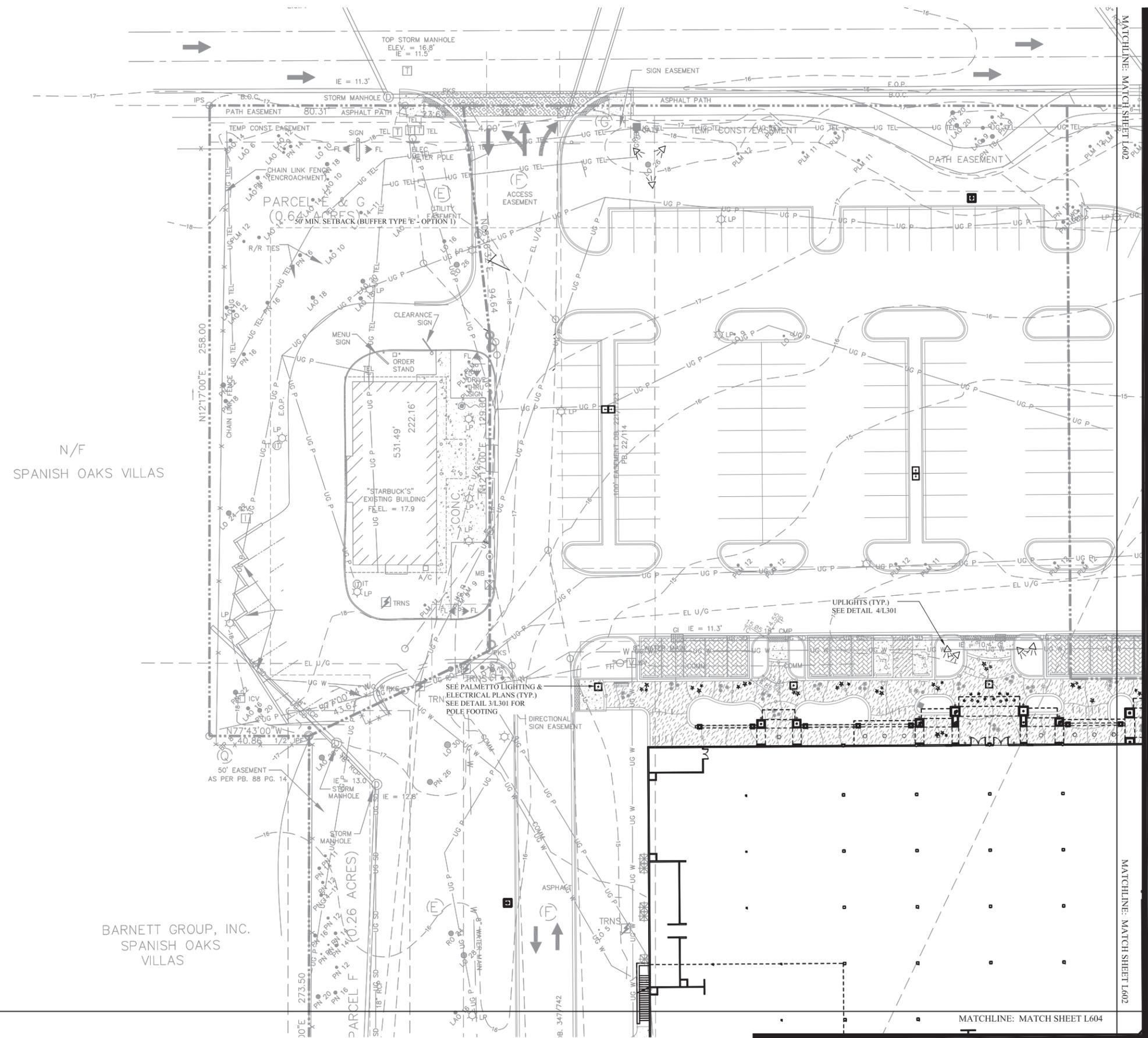
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#	REVISION	DATE	BY

DATE: 12-23-2015  
 PROJECT NUMBER: 01-13007  
 SHEET TITLE: PLANT DETAILS  
 SHEET NUMBER: L407

LIGHTING SCHEDULE					
NO. REQ'D	SYMBOL	FIXTURE-MANUFACT. CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
58		ACCENT UPLIGHT KICHER LIGHTING 12V 6.5W 40 DEG WIDE FLOOD - 1608 BBR30 - 1000K - 15609 JUNCTION BOX MOUNTING BRACKET	6.5W, LED	MOUNT JUNCTION BOX BRACKET TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
30		BOLLARD LIGHT LANDSCAPE FORMS HAWTHORNE PATH LIGHT - 120V FINISH - METALLIC COLOR - BRONZE	12W, LED	MOUNT TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
3		WELL LIGHT KICHER LIGHTING 12V 14W 40 DEG WIDE FLOOD LED IN-GROUND - 1603 BBR30 - 300K - 1450 BBRP - CONCRETE KIT	14W, LED	CONCRETE INSTALLATION KIT FOR MANUFACTURER'S RECOMMENDATIONS - AIM LAMP TOWARDS SCULPTURE 15 DEG FROM VERTICAL	TIMER

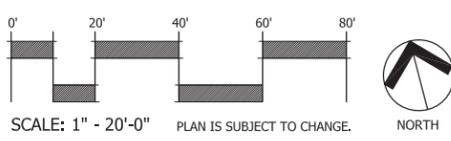
NOTES:  
 1. SEE PALMETTO ELECTRICAL PLANS FOR WIRING & CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.  
 2. ALL LIGHTS TO BE LOCATED IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.  
 3. CONTRACTOR TO LOCATE ALL TRANSFORMERS.  
 4. SEE PALMETTO TO ELECTRIC PLAN FOR POLE LIGHT INFORMATION & LOCATIONS.  
 5. SEE DETAILS 3.4 & 7 SHEET L301 FOR LIGHT FIXTURE FOOTINGS.



N/F  
SPANISH OAKS VILLAS

BARNETT GROUP, INC.  
SPANISH OAKS VILLAS

MATCHLINE: MATCH SHEET L604



Wheeler Development  
Virginia Beach, Virginia

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 Hilton Head Island, South Carolina

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DRAWN BY: DM/EL/EW  
 CHECKED BY: TT

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#	REVISION	DATE	BY

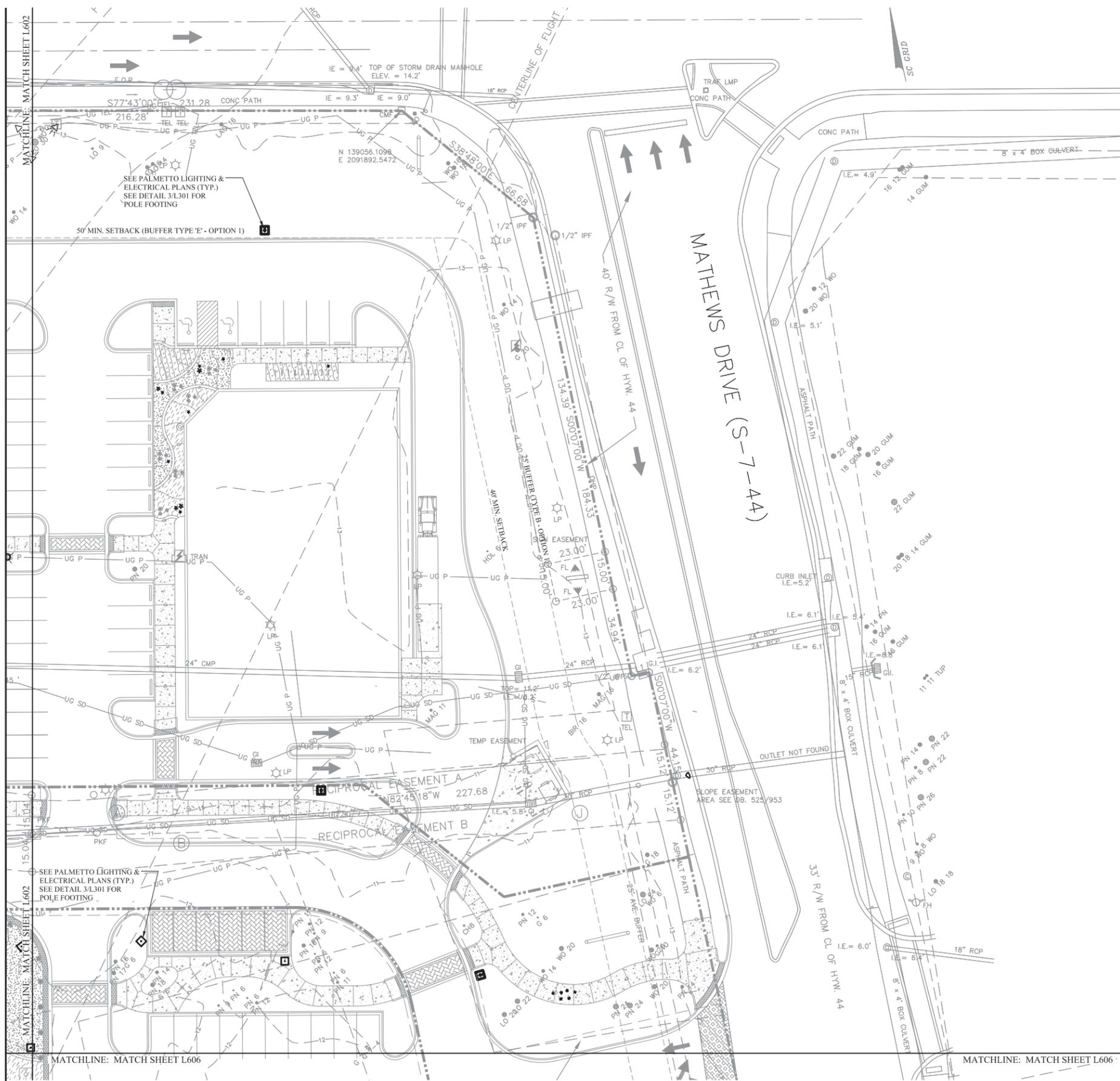
DATE: 12-23-2015  
 PROJECT NUMBER: 01-13007  
 SHEET TITLE: LANDSCAPE LIGHTING PLAN

Wood+Partners Inc. **WPI**  
 Landscape Architects  
 Land Planners

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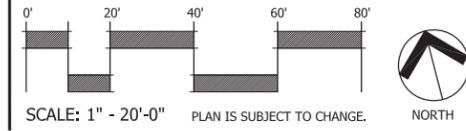
SHEET NUMBER  
**L601**





LIGHTING SCHEDULE					
NO. REQ'D.	SYMBOL	FIXTURE MANUFACT. CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
58	▲	ACCENT LIGHT KICHLER LIGHTING 12V 6.5W 60 DEG WIDE FLOOD-1600 BBR30-300K-1-15609 FUNCTION BOX MOUNTING BRACKET	6.5W, LED	MOUNT JUNCTION BOX BRACKET TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
30	⊗	BOLLARD LIGHT LANDSCAPE FORMS HAWTHORNE PATH LIGHT-120V FINISH-METALLIC COLOR-BRONZE	12W, LED	MOUNT TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
3	⊙	WALL LIGHT KICHLER LIGHTING 12V 14W 60 DEG WIDE FLOOD LED IN-GROUND-1600 BBR30- 300K-1-6501BRP-CONCRETE KIT	14W, LED	CONCRETE INSTALLATION KIT PER MANUFACTURER'S RECOMMENDATIONS-ARM LAMP TOWARDS SCULPTURE 15 DEG FROM VERTICAL	TIMER

- NOTES:
- SEE PALMETTO ELECTRICAL PLANS FOR WIRING & CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.
  - ALL LIGHTS TO BE LOCATED IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.
  - CONTRACTOR TO LOCATE ALL TRANSFORMERS.
  - SEE PALMETTO ELECTRIC PLAN FOR POLE LIGHT INFORMATION & LOCATIONS.
  - SEE DETAILS 3.4 & 7 SHEET L301 FOR LIGHT FIXTURE FOOTINGS.



Wheeler Development  
Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE  
MARKETPLACE**  
Hilton Head Island, South Carolina

NOT FOR  
CONSTRUCTION

DRAWN BY: DM/EL/EW  
CHECKED BY: TT

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#	REVISION	DATE	BY

DATE  
12-23-2015  
PROJECT NUMBER  
01-13007  
SHEET TITLE  
LANDSCAPE  
LIGHTING PLAN

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Landscape Architects  
Land Planners

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843.881.2216 Fax 843.881.7088 www.woodpartners.com

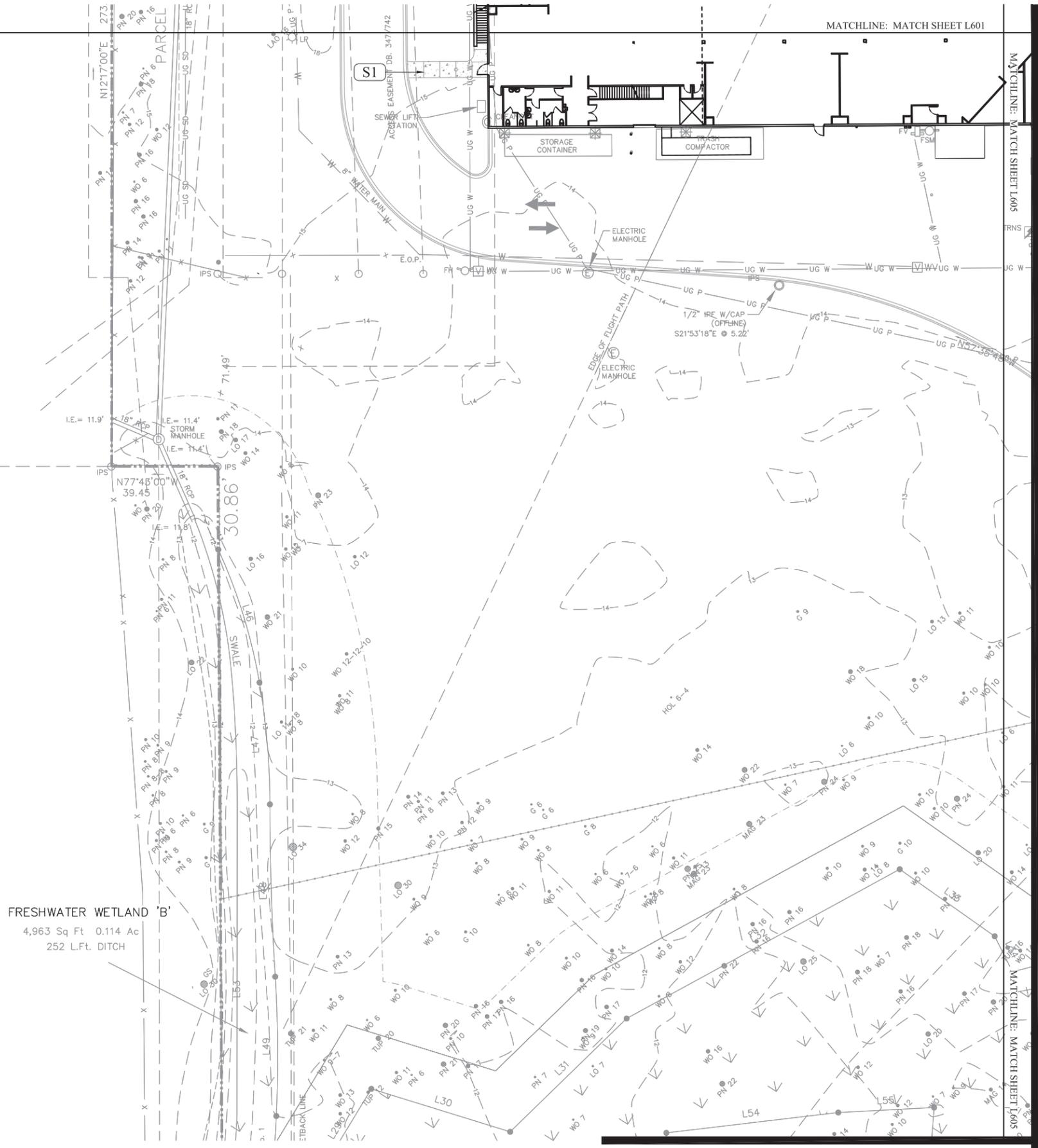
SHEET  
NUMBER  
**L603**

MATCHLINE: MATCH SHEET L601

MATCHLINE: MATCH SHEET L601

LIGHTING SCHEDULE					
NO. REQ'D	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
58		ACCENT UPLIGHT KICHLER LIGHTING 12V 6.5W 60 DEG WIDE FLOOD - 1608 HBR3P - 3000K - 1500P JUNCTION BOX MOUNTING BRACKET	6.5W, LED	MOUNT JUNCTION BOX BRACKET TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
30		BOLLARD LIGHT LANDSCAPE FORMAS HAWTHORNE PATH LIGHT - 120V FINISH - METALLIC COLOR - BRONZE	12W, LED	MOUNT TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
3		WELL LIGHT KICHLER LIGHTING 12V 14W 60 DEG WIDE FLOOD LED IN-GROUND - 1608 HBR3P - 3000K - 1650 HBRP - CONCRETE KIT	14W, LED	CONCRETE INSTALLATION KIT PER MANUFACTURER'S RECOMMENDATIONS - AM LAMP TOP AIDS SCULPTURE IS DEG FROM VERTICAL	TIMER

NOTES:  
 1. SEE PALMETTO ELECTRICAL PLANS FOR WIRING & CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.  
 2. ALL LIGHTS TO BE LOCATED IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.  
 3. CONTRACTOR TO LOCATE ALL TRANSFORMERS.  
 4. SEE PALMETTO ELECTRIC PLAN FOR POLE LIGHT INFORMATION & LOCATIONS.  
 5. SEE DETAILS 3, 4 & 7-SHEET L301 FOR LIGHT FIXTURE FOOTINGS.



Wheeler Development  
 Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE MARKETPLACE**  
 Hilton Head Island, South Carolina

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DRAWN BY: DM/EL/EW  
 CHECKED BY: TT

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#	REVISION	DATE	BY

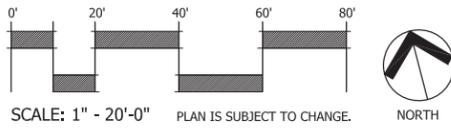
DATE: 12-23-2015  
 PROJECT NUMBER: 01-13007  
 SHEET TITLE: LANDSCAPE LIGHTING PLAN

SHEET NUMBER

**L604**

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 Land Planners

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DRAWN BY: DM/EL/EW  
CHECKED BY: TT

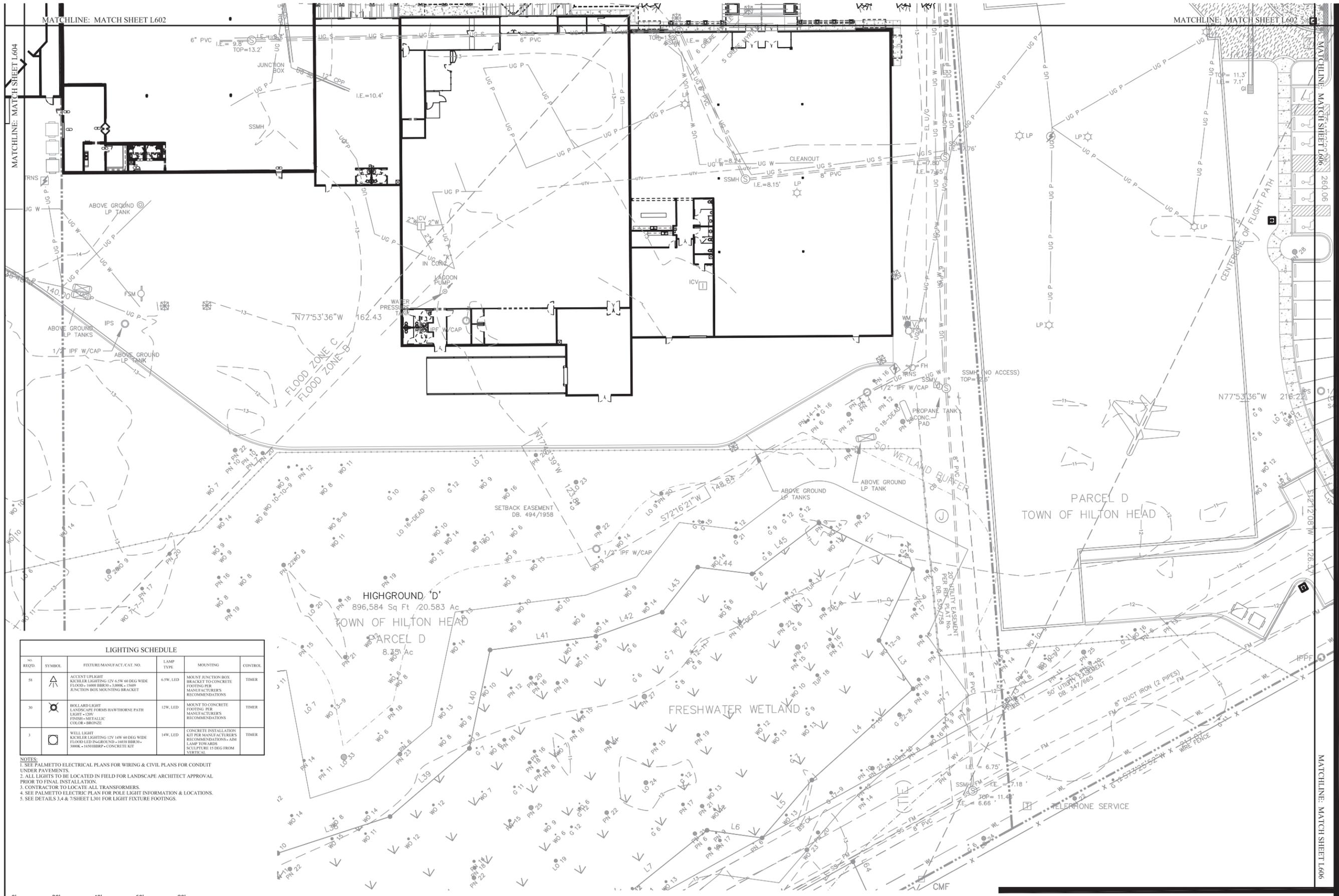
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#	REVISION	DATE	BY

DATE: 12-23-2015  
PROJECT NUMBER: 01-13007  
SHEET TITLE: LANDSCAPE LIGHTING PLAN

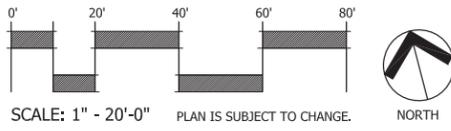
SHEET NUMBER

**L605**



REV	SYMBOL	FIXTURE/MANUFACT. CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
58	▲	ACCENT UPLIGHT KIEHLER LIGHTING 12V 6.5W 60 DEG WIDE FLOOD - 1000 BBR30 - 1000K - 1500 4 INCH BOX MOUNTING BRACKET	6.5W LED	MOUNT TO CONCRETE BRACKET TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
30	⊙	BOLLARD LIGHT LANDSCAPE FORMS HAWTHORNE PATH LIGHT - DW FINISH - METALLIC COLOR - BRONZE	12W LED	MOUNT TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
3	⊙	WELL LIGHT KIEHLER LIGHTING 12V 14W 60 DEG WIDE FLOOD LED IN-GROUND - 1000 BBR30 - 300K - 1050 BHRP - CONCRETE KIT	14W LED	CONCRETE INSTALLATION KIT PER MANUFACTURER'S RECOMMENDATIONS - AIM LAMP TOWARDS SCULPTURE 15 DEG FROM VERTICAL	TIMER

- NOTES:  
1. SEE PALMETTO ELECTRICAL PLANS FOR WIRING & CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.  
2. ALL LIGHTS TO BE LOCATED IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.  
3. CONTRACTOR TO LOCATE ALL TRANSFORMERS.  
4. SEE PALMETTO ELECTRIC PLAN FOR POLE LIGHT INFORMATION & LOCATIONS.  
5. SEE DETAILS 3-4 & 7/SHEET L301 FOR LIGHT FIXTURE FOOTINGS.



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LIGHTING SCHEDULE					
NO. REQ'D.	SYMBOL	FIXTURE/MANUFACT./CAT. NO.	LAMP TYPE	MOUNTING	CONTROL
28		ACCENT LIGHT KICHLER LIGHTING 12V 6.5W 60 DEG WIDE FLOOD - 1608 BBRW - 1500K - 1500 FUNCTION BOX MOUNTING BRACKET	6.5W LED	MOUNT FUNCTION BOX BRACKET TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
30		BOLLARD LIGHT LANDSCAPE FORMS HAWTHORNE PATH LIGHT - 120V FINISH - METALLIC COLOR - BRONZE	12W LED	MOUNT TO CONCRETE FOOTING PER MANUFACTURER'S RECOMMENDATIONS	TIMER
3		WELL LIGHT KICHLER LIGHTING 12V 14W 60 DEG WIDE FLOOD LED 154 BRKND - 1608 BBRW - 3000K - 1650 BBRF - CONCRETE KIT	14W LED	CONCRETE INSTALLATION KIT PER MANUFACTURER'S RECOMMENDATIONS - AIM LAMP TOWARDS SCULPTURE 15 DEG FROM VERTICAL	TIMER

NOTES:  
 1. SEE PALMETTO ELECTRICAL PLANS FOR WIRING & CIVIL PLANS FOR CONDUIT UNDER PAVEMENTS.  
 2. ALL LIGHTS TO BE LOCATED IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.  
 3. CONTRACTOR TO LOCATE ALL TRANSFORMERS.  
 4. SEE PALMETTO ELECTRIC PLAN FOR POLE LIGHT INFORMATION & LOCATIONS.  
 5. SEE DETAILS 3.4 & 7/SHEET L301 FOR LIGHT FIXTURE FOOTINGS.

Wheeler Development  
 Virginia Beach, Virginia

PERMIT DOCUMENTS  
**SEA TURTLE MARKETPLACE**  
 Hilton Head Island, South Carolina

NOT FOR CONSTRUCTION

DRAWN BY: DM/EL/EW  
 CHECKED BY: TT

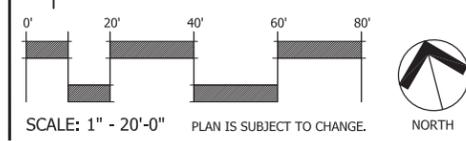
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#	REVISION	DATE	BY

DATE  
 12-23-2015  
 PROJECT NUMBER  
 01-13007  
 SHEET TITLE  
 LANDSCAPE LIGHTING PLAN

SHEET NUMBER

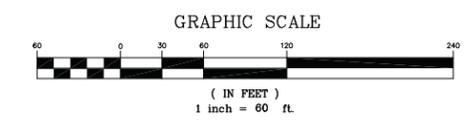
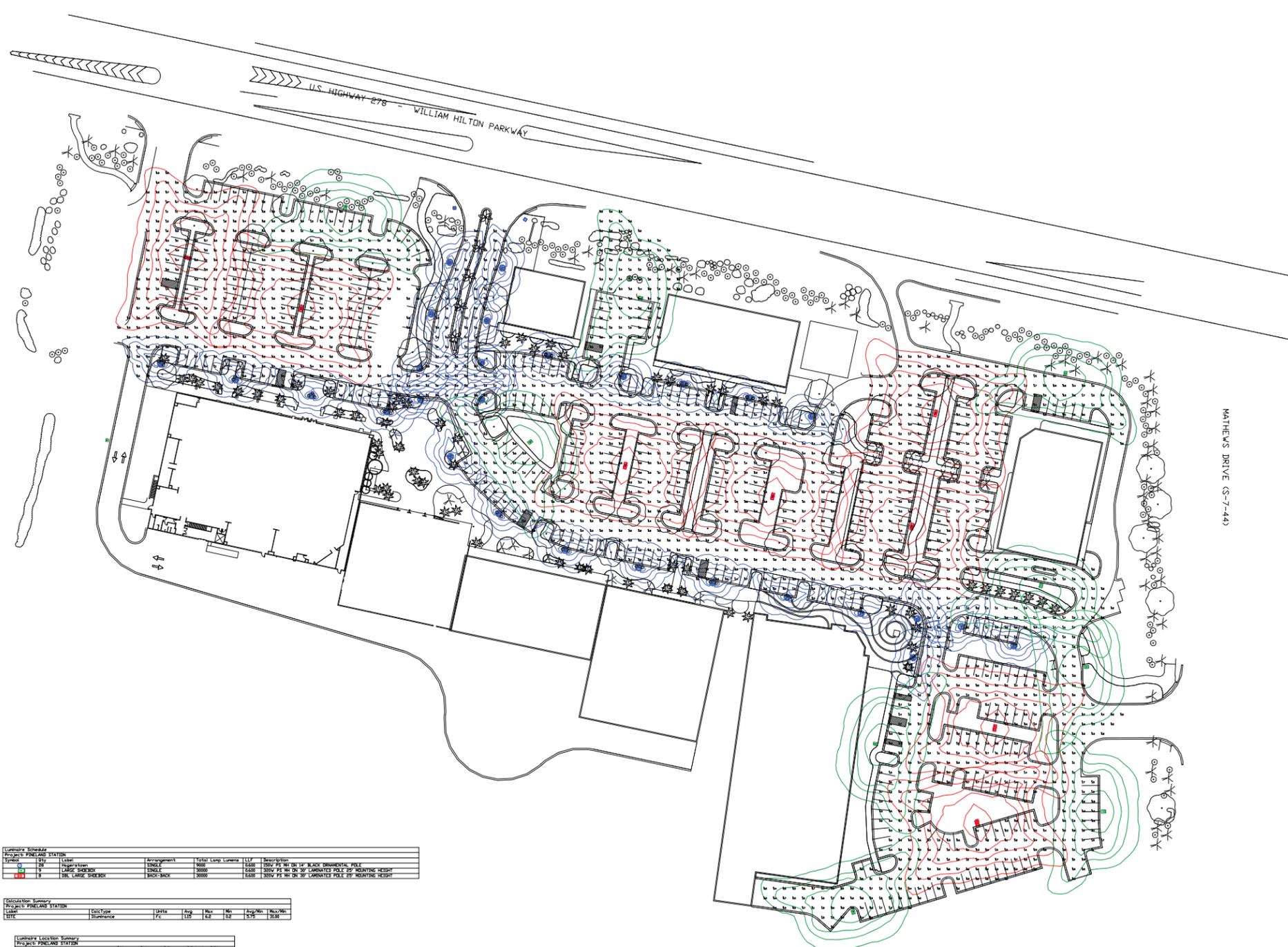
L606



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PO Box 23949 Hilton Head Island, SC 29925  
 843.881.2218 Fax 843.881.7388 www.woodpartners.com

SCALE: 1" = 20'-0"  
 PLAN IS SUBJECT TO CHANGE.



**NOTES**  
 1. ALL ONLY PROVIDES LIGHTING DESIGN AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.  
 2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATION, LIGHT TYPE, POLE TYPE AND HEIGHT MEET ALL REQUIREMENTS WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.  
 3. ANY OBSTRUCTIONS OR THE INTRODUCTION OF WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.  
 THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. SECURITY LIGHTS ONLY. ALL RIGHTS RESERVED. THESE PLANS ARE PROTECTED BY UNITED STATES AND INTERNATIONAL LAWS. UNAUTHORIZED COPYING, REPRODUCTION, ALTERATION OR USE BY ANY MEANS IS STRICTLY PROHIBITED.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LUF	Description
10	28	HAGERSTOWN	120x12	9600	2400	120x12 9600 2400 30° WET ON 10' BLACK TROUSER POLE
11	19	LARGE SHERBROX	120x12	9600	2400	120x12 9600 2400 30° WET ON 10' CAROLINA POLE 30° MOUNTING DESIGN
12	19	LARGE SHERBROX	BACK-TO-BACK	9600	2400	120x12 9600 2400 30° WET ON 10' CAROLINA POLE 30° MOUNTING DESIGN

**Calculation Summary**

Label	Symbol	Qty	Label	Area	Avg	Min	Max	Avg/Min	Min/Max
10	10	28	HAGERSTOWN	120x12	120	120	120	1.0	1.0
11	11	19	LARGE SHERBROX	120x12	120	120	120	1.0	1.0
12	12	19	LARGE SHERBROX	BACK-TO-BACK	120	120	120	1.0	1.0

**Luminaire Location Summary**

Symbol	Label	X	Y	Z	Area	100'	150'
10	LARGE SHERBROX	25074200	1241000	20	2400	10	10
11	LARGE SHERBROX	25074200	1241000	20	2400	10	10
12	LARGE SHERBROX	25074200	1241000	20	2400	10	10
13	LARGE SHERBROX	25074200	1241000	20	2400	10	10
14	LARGE SHERBROX	25074200	1241000	20	2400	10	10
15	LARGE SHERBROX	25074200	1241000	20	2400	10	10
16	LARGE SHERBROX	25074200	1241000	20	2400	10	10
17	LARGE SHERBROX	25074200	1241000	20	2400	10	10
18	LARGE SHERBROX	25074200	1241000	20	2400	10	10
19	LARGE SHERBROX	25074200	1241000	20	2400	10	10
20	LARGE SHERBROX	25074200	1241000	20	2400	10	10
21	LARGE SHERBROX	25074200	1241000	20	2400	10	10
22	LARGE SHERBROX	25074200	1241000	20	2400	10	10
23	LARGE SHERBROX	25074200	1241000	20	2400	10	10
24	LARGE SHERBROX	25074200	1241000	20	2400	10	10
25	LARGE SHERBROX	25074200	1241000	20	2400	10	10
26	LARGE SHERBROX	25074200	1241000	20	2400	10	10
27	LARGE SHERBROX	25074200	1241000	20	2400	10	10
28	LARGE SHERBROX	25074200	1241000	20	2400	10	10
29	LARGE SHERBROX	25074200	1241000	20	2400	10	10
30	LARGE SHERBROX	25074200	1241000	20	2400	10	10
31	LARGE SHERBROX	25074200	1241000	20	2400	10	10
32	LARGE SHERBROX	25074200	1241000	20	2400	10	10
33	LARGE SHERBROX	25074200	1241000	20	2400	10	10
34	LARGE SHERBROX	25074200	1241000	20	2400	10	10
35	LARGE SHERBROX	25074200	1241000	20	2400	10	10
36	LARGE SHERBROX	25074200	1241000	20	2400	10	10
37	LARGE SHERBROX	25074200	1241000	20	2400	10	10
38	LARGE SHERBROX	25074200	1241000	20	2400	10	10
39	LARGE SHERBROX	25074200	1241000	20	2400	10	10
40	LARGE SHERBROX	25074200	1241000	20	2400	10	10
41	LARGE SHERBROX	25074200	1241000	20	2400	10	10
42	LARGE SHERBROX	25074200	1241000	20	2400	10	10
43	LARGE SHERBROX	25074200	1241000	20	2400	10	10
44	LARGE SHERBROX	25074200	1241000	20	2400	10	10
45	LARGE SHERBROX	25074200	1241000	20	2400	10	10

**PALMETTO ELECTRIC COOPERATIVE, INC.**  
 1 COOPERATIVE WAY  
 HARDEEVILLE, SOUTH CAROLINA 29927  
 (843) 208-5551 / FAX (843) 208-5532



**REMARKS:**

DESIGNED BY: T.J.H.  
 CHECKED BY: ENG  
 DRAWN BY: RBT  
 DATE: 11/18/15  
 SCALE: 1" = 60'  
 PROJECT NO.: 1510002L-1  
 MAP NO.: 00000000

SHEET NO.  
 1  
 OF  
 1

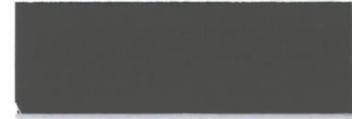
**LIGHTING PROPOSAL FOR**  
**PINELAND STATION**  
 U.S. HIGHWAY 278 - WILLIAM HILTON PARKWAY  
 HILTON HEAD  
 BEAUFORT COUNTY, SOUTH CAROLINA

**BUILDING COLORS USED  
ON INFORMATION KIOSK**

**STANDING SEAM METAL ROOF**  
MCELROY METAL (CHARCOAL)



**METAL LOUVERS & COPING**  
COLOR TO MATCH MCELROY METAL (CHARCOAL)



**TABBY STUCCO PARAPET WALL**  
TABBY STUCCO



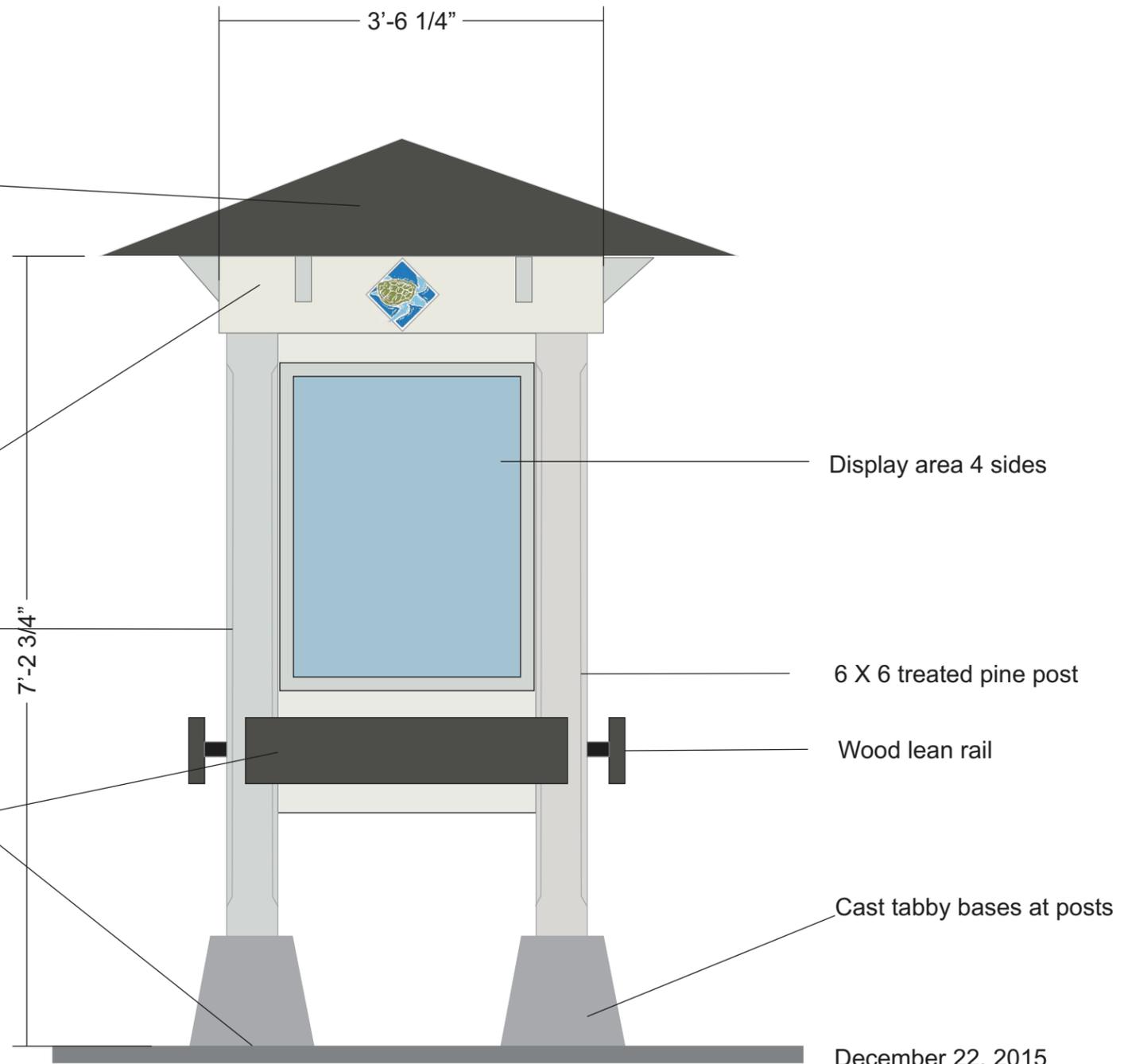
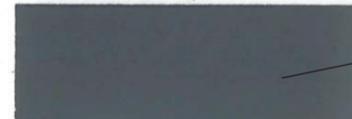
**HARDIE 7" LAP SIDING**  
SHERWIN WILLIAMS SW7057 (SILVER STRAND)



**HARDIE PANEL & TRIM**  
SHERWIN WILLIAMS SW7056 (RESERVED WHITE)

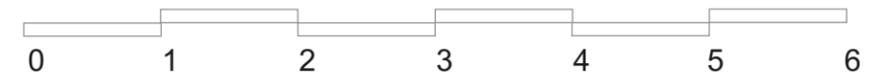


**STUCCO PARAPET CAP**  
DRYVIT 616 (KING'S GRAY)



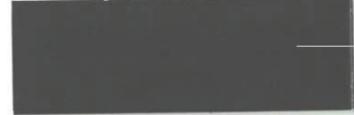
TYPICAL ELEVATION- 4 SIDED

**INFORMATION KIOSK  
SEA TURTLE MARKETPLACE**



# BUILDING COLORS USED ON EDUCATION STATIONS

**STANDING SEAM METAL ROOF**  
MCELROY METAL (CHARCOAL)



**METAL LOUVERS & COPING**  
COLOR TO MATCH MCELROY METAL (CHARCOAL)



**TABBY STUCCO PARAPET WALL**  
TABBY STUCCO



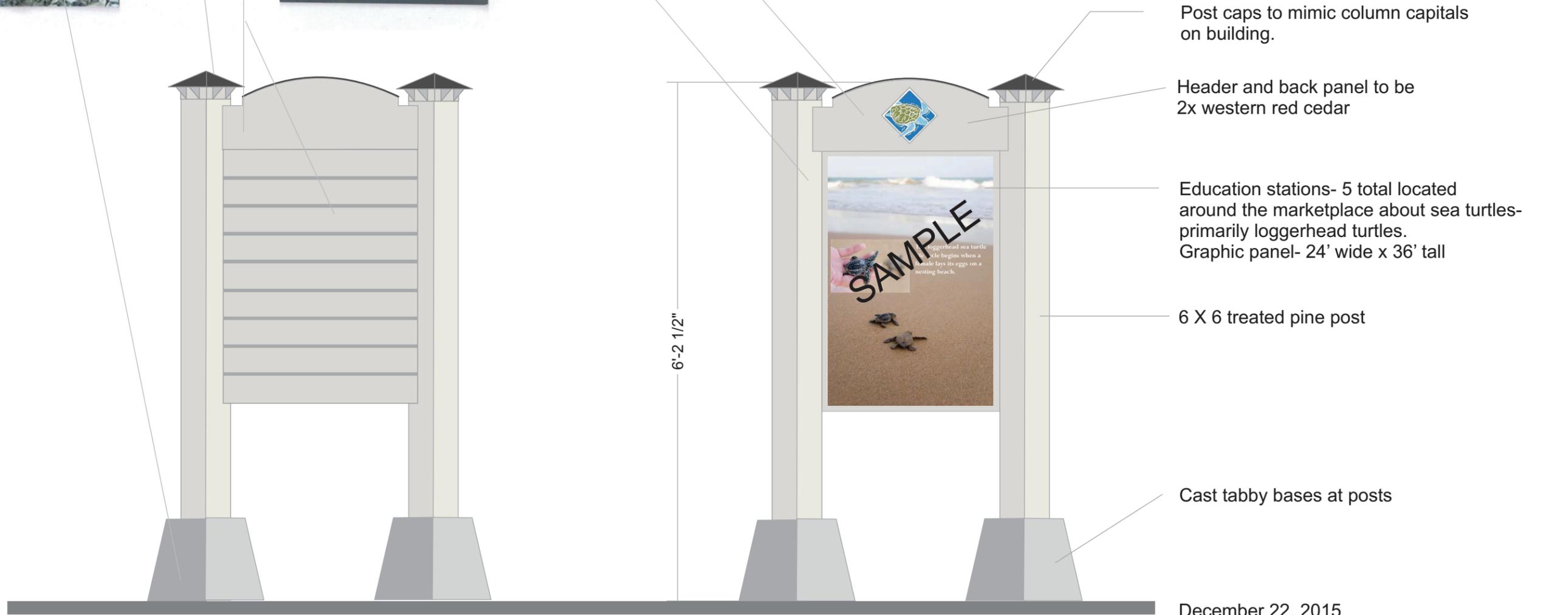
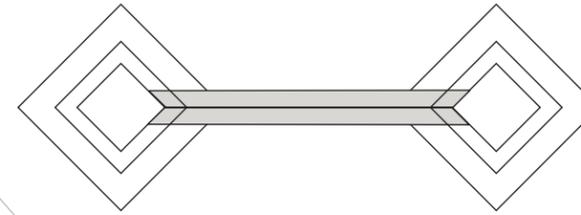
**HARDIE 7" LAP SIDING**  
SHERWIN WILLIAMS SW7057 (SILVER STRAND)



**HARDIE PANEL & TRIM**  
SHERWIN WILLIAMS SW7056 (RESERVED WHITE)

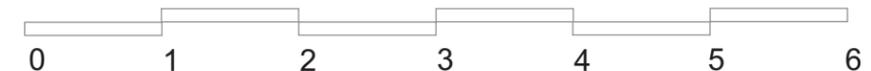


**STUCCO PARAPET CAP**  
DRYVIT 616 (KING'S GRAY)



REAR VIEW

FRONT ELEVATION



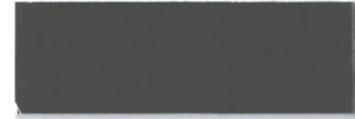
# EDUCATION STATIONS- 5 TOTAL SEA TURTLE MARKETPLACE

**BUILDING COLORS USED ON MONUMENT SIGNS**

**STANDING SEAM METAL ROOF**  
MCELROY METAL (CHARCOAL)



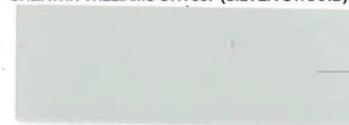
**METAL LOUVERS & COPING**  
COLOR TO MATCH MCELROY METAL (CHARCOAL)



**TABBY STUCCO PARAPET WALL**  
TABBY STUCCO



**HARDIE 7" LAP SIDING**  
SHERWIN WILLIAMS SW7057 (SILVER STRAND)



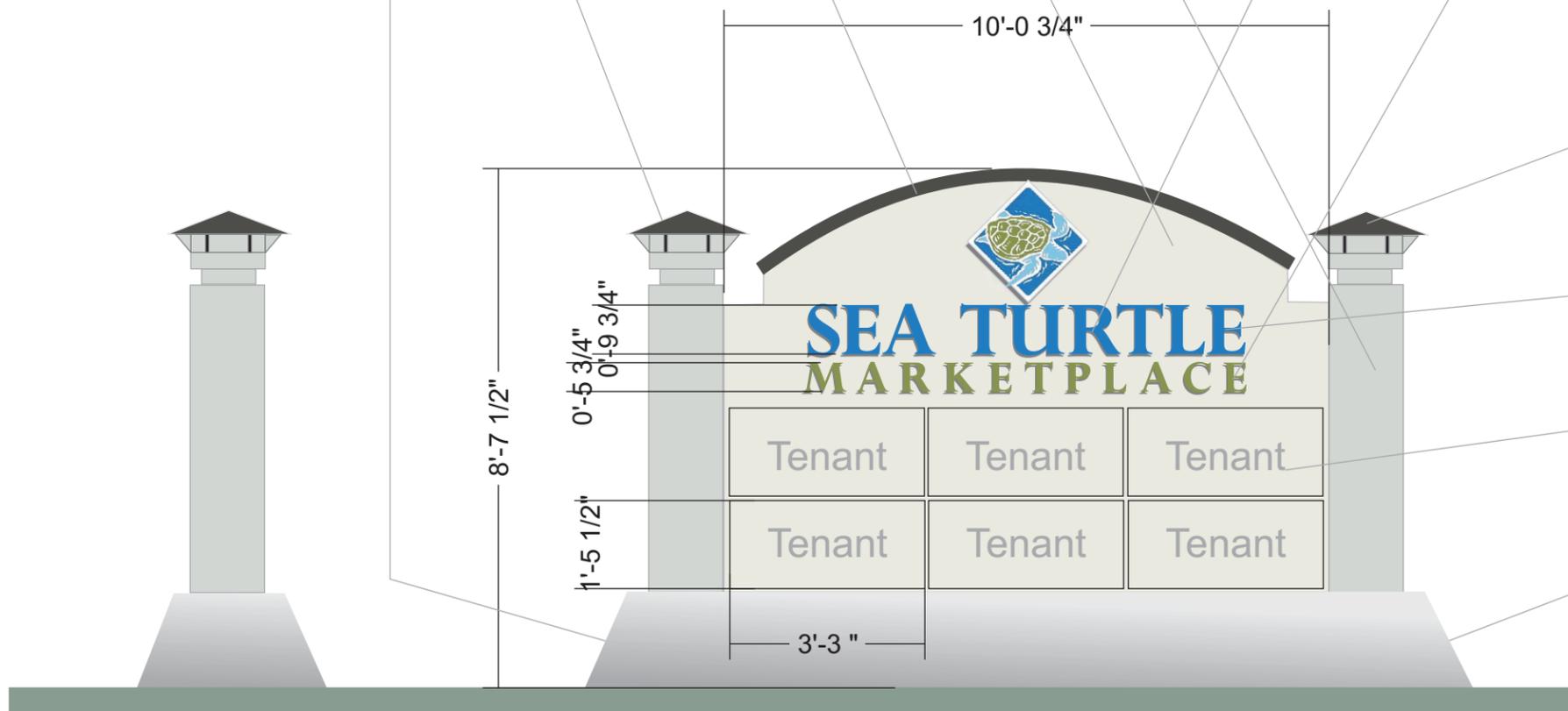
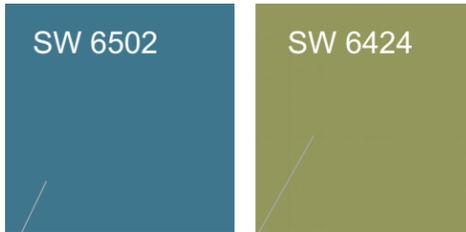
**HARDIE PANEL & TRIM**  
SHERWIN WILLIAMS SW7056 (RESERVED WHITE)



**STUCCO PARAPET CAP**  
DRYVIT 616 (KING'S GRAY)

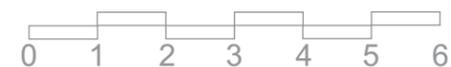


Refer to landscape site and lighting plans for locations, landscaping and light fixtures.



- Column caps to mimic building detail with brackets
- Dimensional copy 1" thick stud mounted flush with stucco.
- Tenant panels to be sandblasted western red cedar
- Tabby base to match building finish.

December 22, 2015



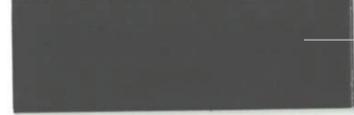
END VIEW

ELEVATION/ TYPICAL/ DOUBLE-FACED

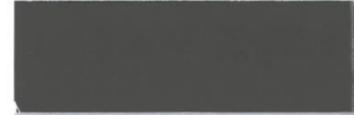
**PROPOSED SECONDARY IDENTIFICATION MONUMENT/ MATTHEWS DRIVE FRONTAGE**

**SEA TURTLE MARKETPLACE**

STANDING SEAM METAL ROOF  
MCELROY METAL (CHARCOAL)



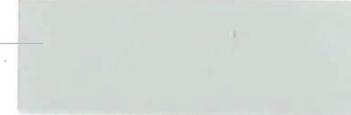
METAL LOUVERS & COPING  
COLOR TO MATCH MCELROY METAL (CHARCOAL)



TABBY STUCCO PARAPET WALL  
TABBY STUCCO



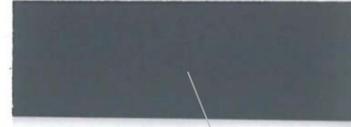
HARDIE 7" LAP SIDING  
SHERWIN WILLIAMS SW7057 (SILVER STRAND)



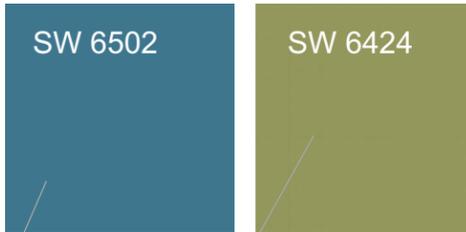
HARDIE PANEL & TRIM  
SHERWIN WILLIAMS SW7056 (RESERVED WHITE)



STUCCO PARAPET CAP  
DRYVIT 616 (KING'S GRAY)



Refer to landscape site and lighting plans for locations, landscaping and light fixtures.



Existing monument to be modified as drawn- additional primary identification monument constructed to match. A smaller secondary identification monument is proposed for Matthews Drive frontage.



Column caps to mimic building detail with brackets

Dimensional copy 1" thick stud mounted flush with stucco.

Tenant panels to be sandblasted western red cedar

Tabby base to match building finish.

December 22, 2015

END VIEW

ELEVATION/ TYPICAL/ DOUBLE-FACED

PROPOSED PRIMARY IDENTIFICATION MONUMENT/ 278 FRONTAGE- 2 TOTAL

# SEA TURTLE MARKETPLACE



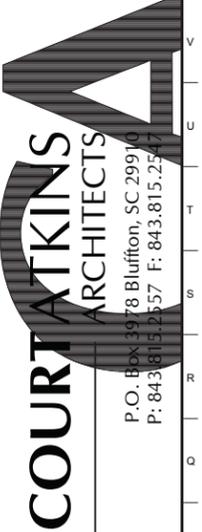
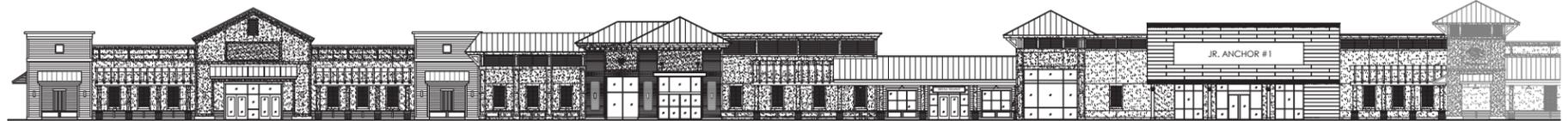
**DESIGNEATH** Alex Sineath, Design Consultant  
14 Sparrow Hawk Court Hilton Head Island, SC 29926 843.384.8200  
designearth@roadrunner.com

# SEA TURTLE MARKETPLACE

SEA TURTLE MARKETPLACE, 430 WILLIAM HILTON PARKWAY (FORMERLY KNOWN AS PINELAND STATION), HILTON HEAD ISLAND, SOUTH CAROLINA 29926

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- A2.2b EXTERIOR ELEVATIONS - JR. ANCHOR #1
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- A2.3a ROOF PLAN - JR. ANCHOR #2 & RETAIL
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- A2.4 FLOOR PLAN - JR. ANCHOR #3
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- A2.5a EXTERIOR ELEVATIONS - BUILDING G
- A2.6 FLOOR PLAN - BUILDING F
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- A5.0 DETAILS
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- A5.6 DETAILS
- A5.7 DETAILS
- A5.8 DETAILS



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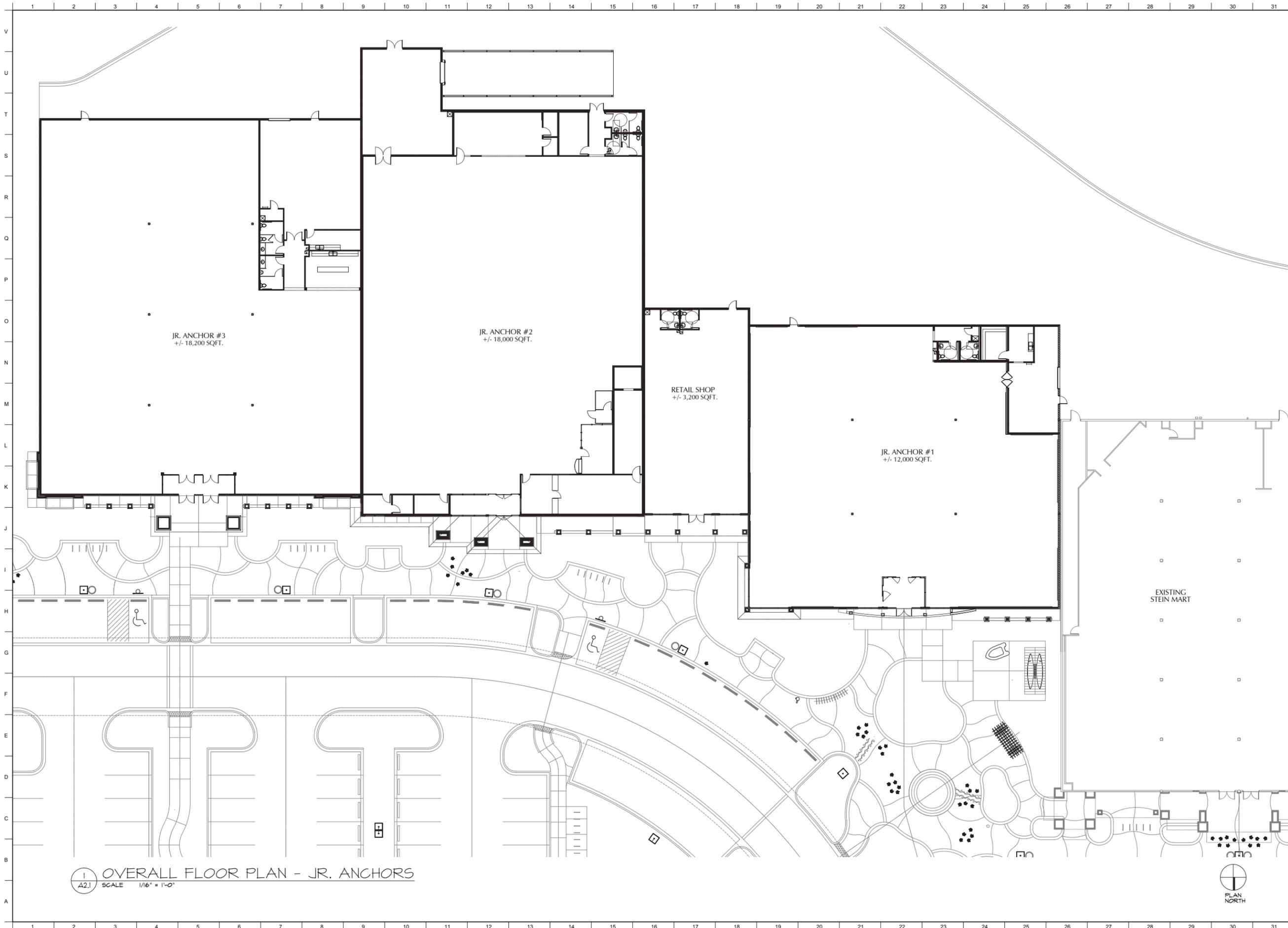
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# A0.0

COVER PAGE



1 OVERALL FLOOR PLAN - JR. ANCHORS  
 A2.1 SCALE 1/16" = 1'-0"

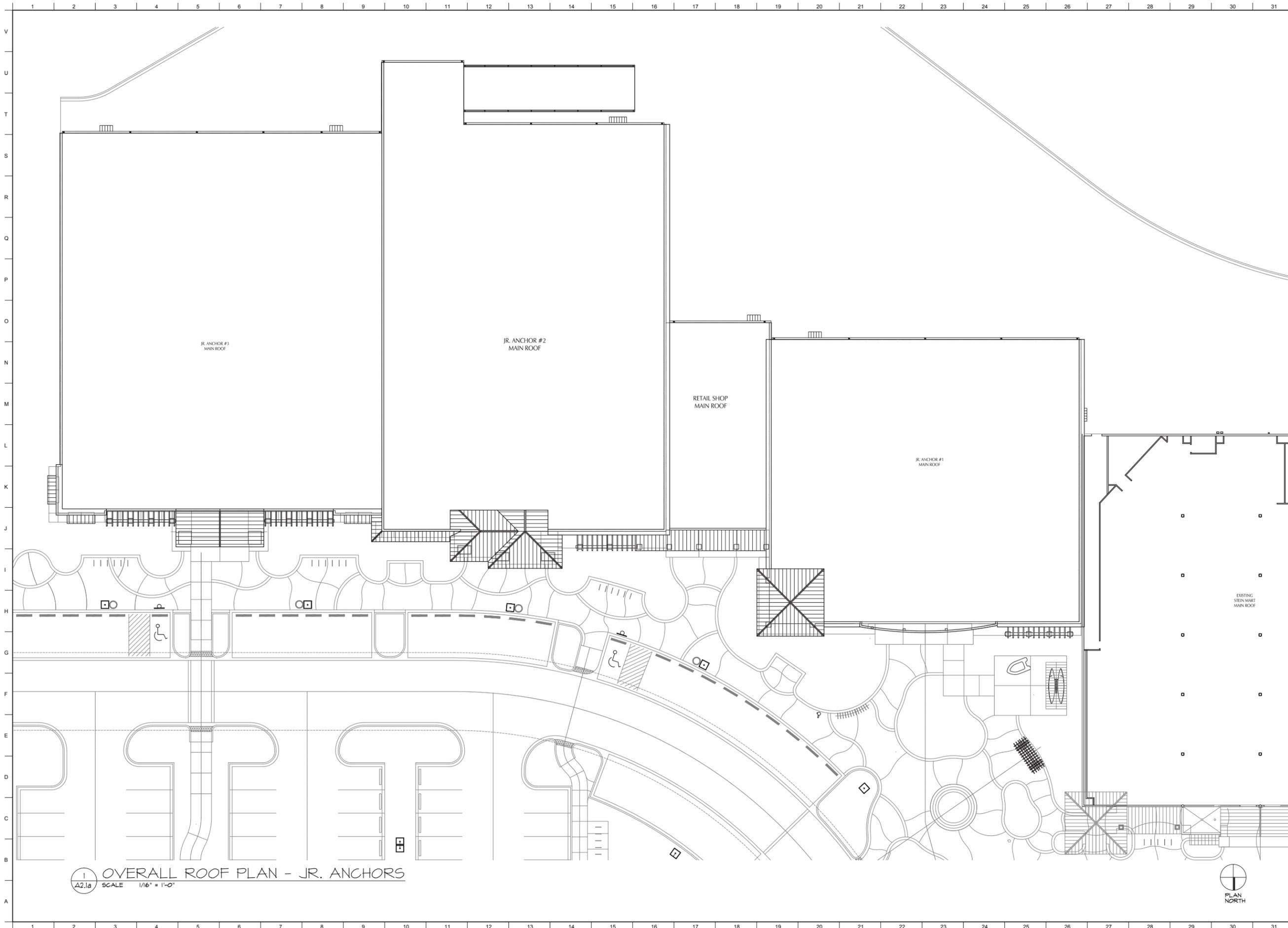


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OVERALL FLOOR PLAN JR. ANCHORS



**OVERALL ROOF PLAN - JR. ANCHORS**  
 SCALE 1/16" = 1'-0"



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**SEA TURTLE MARKETPLACE**  
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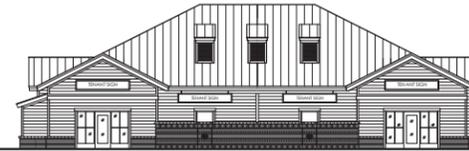
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OVERALL ROOF PLAN  
 JR. ANCHORS



BUILDING F



BUILDING G

1 REAR ELEVATION (NORTH) - BUILDINGS G & F  
SCALE 1/16" = 1'-0"



BUILDING G



BUILDING F

2 FRONT ELEVATION (SOUTH) - BUILDINGS G & F  
SCALE 1/16" = 1'-0"



JR. ANCHOR #3

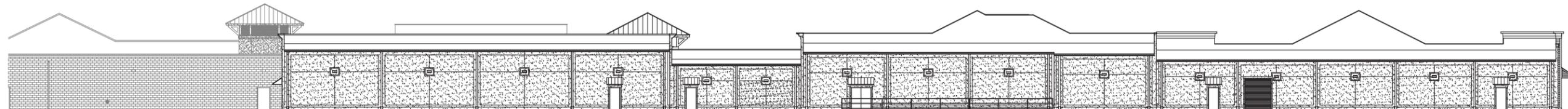
JR. ANCHOR #2

RETAIL

JR. ANCHOR #1

EXISTING STEIN MART

3 FRONT ELEVATION (NORTH) - JR. ANCHORS  
SCALE 1/16" = 1'-0"



EXISTING STEIN MART

JR. ANCHOR #1

RETAIL

JR. ANCHOR #2

JR. ANCHOR #3

4 REAR ELEVATION (SOUTH) - JR. ANCHORS  
SCALE 1/16" = 1'-0"



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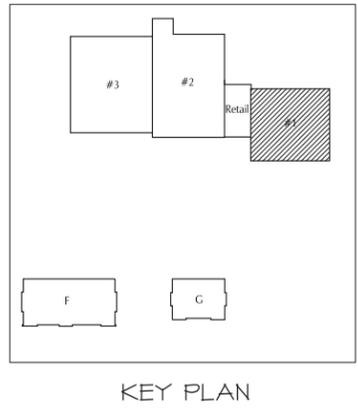
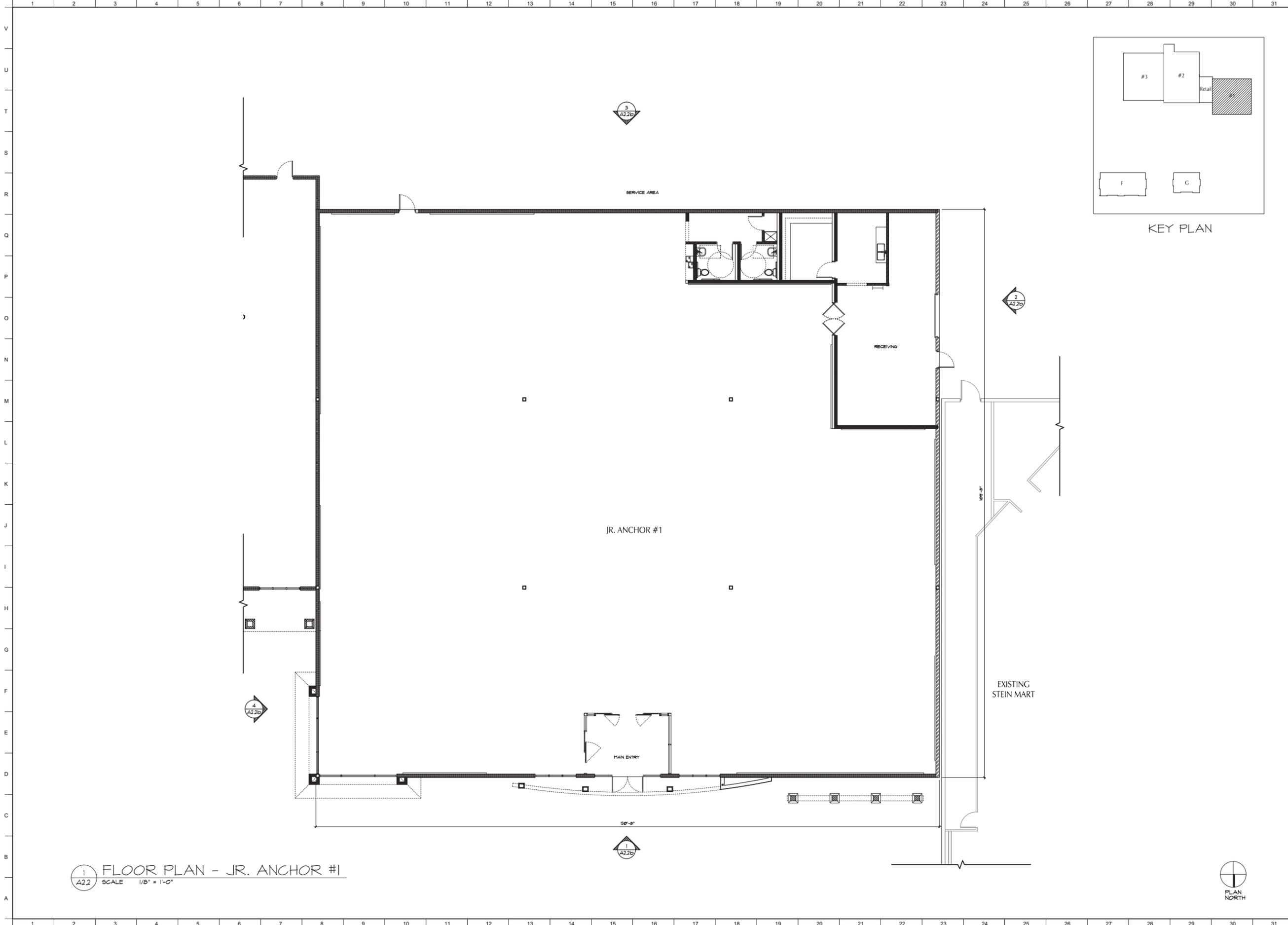
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A2.1b

OVERALL EXTERIOR  
ELEVATIONS



1 FLOOR PLAN - JR. ANCHOR #1  
 A2.2 SCALE 1/8" = 1'-0"



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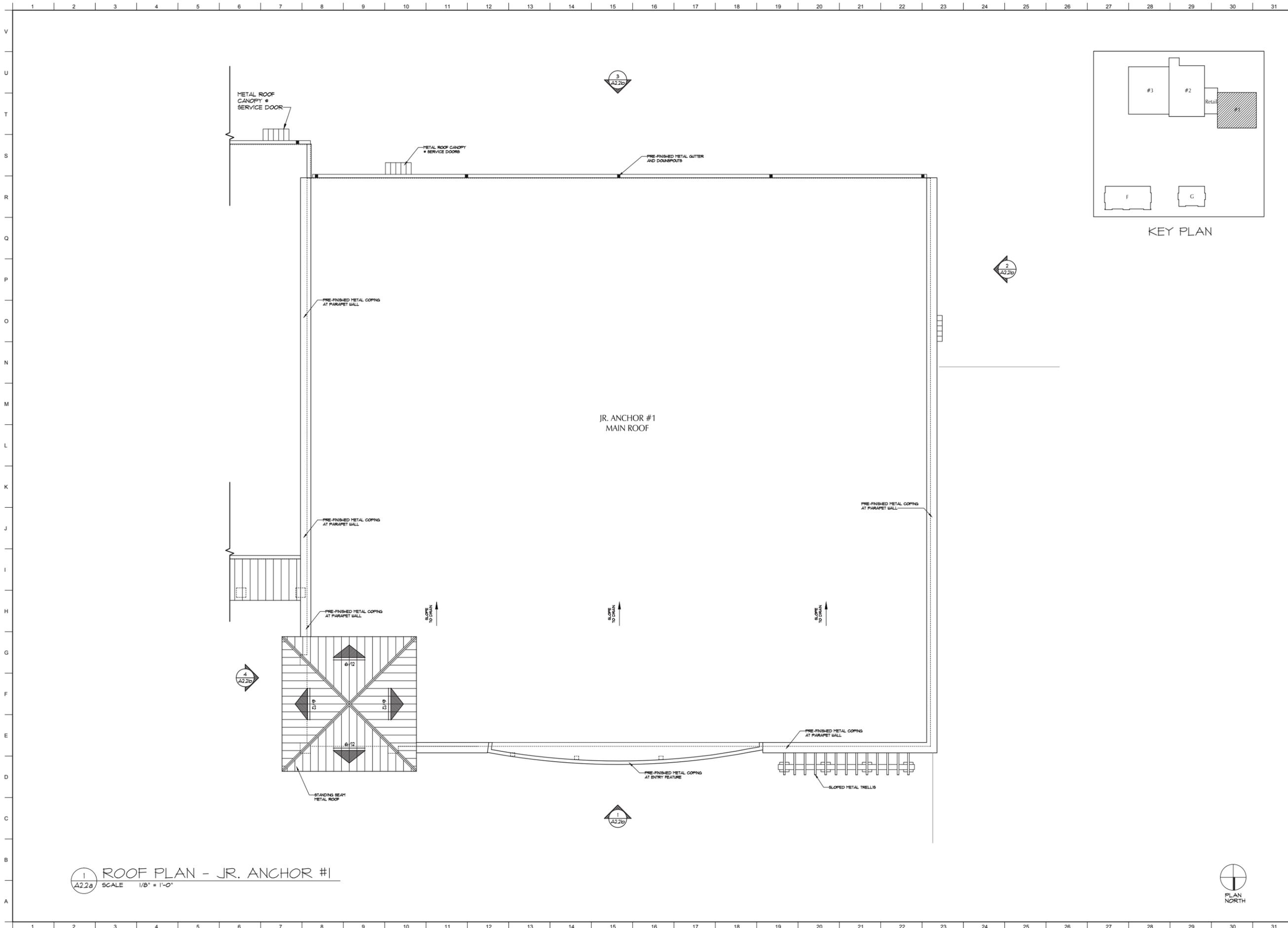
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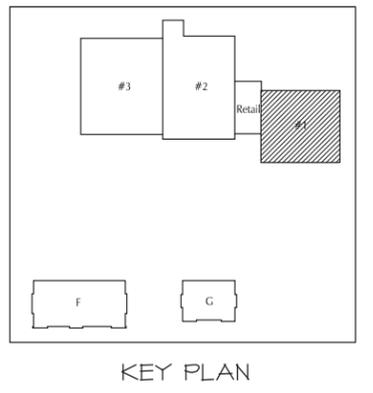
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 FLOOR PLAN JR. ANCHOR #1



1 ROOF PLAN - JR. ANCHOR #1  
 A2.2a SCALE 1/8" = 1'-0"



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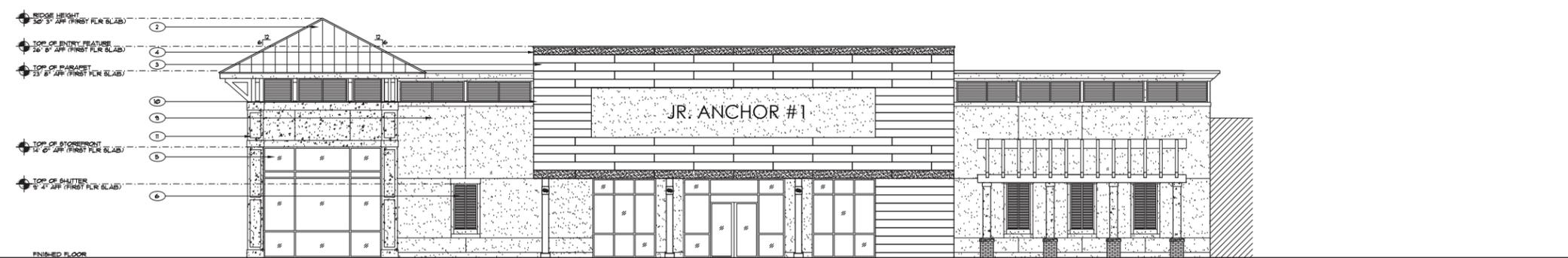
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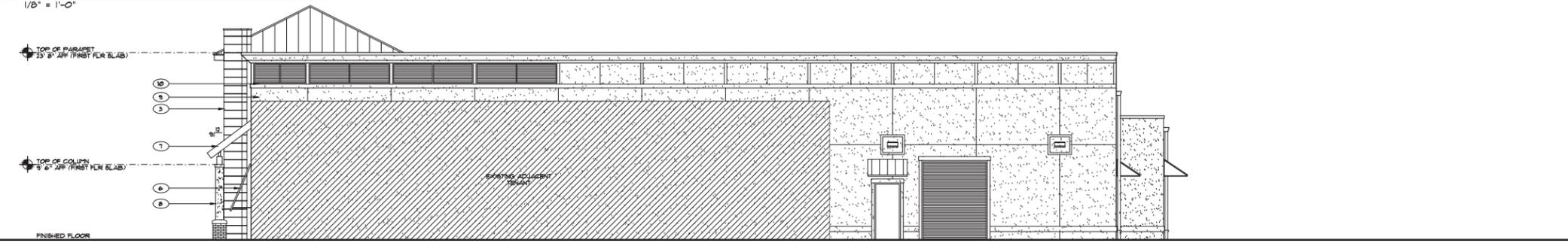
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A2.2a

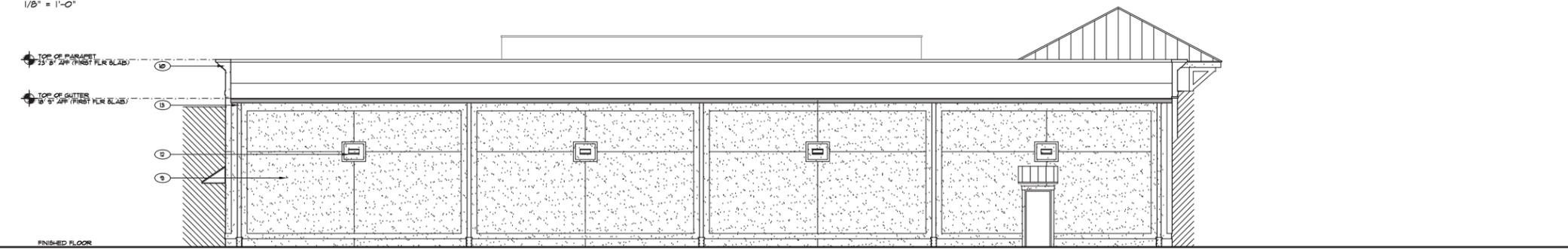
ROOF PLAN  
 JR. ANCHOR #1



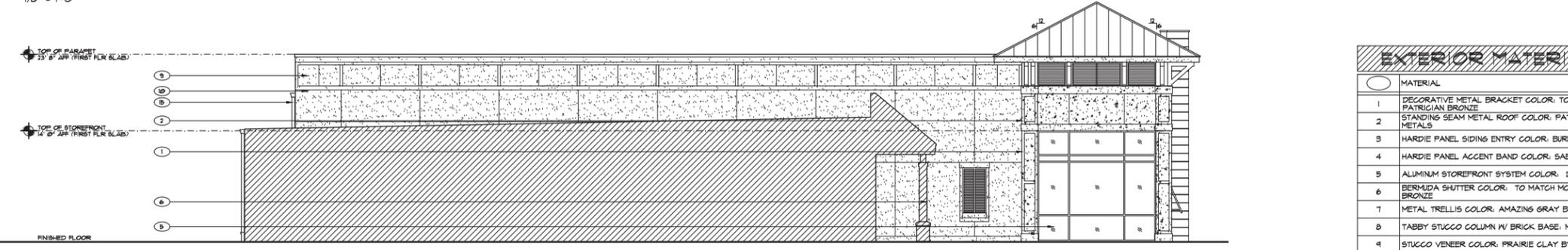
1 FRONT ELEVATION (NORTH)  
SCALE 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION (WEST)  
SCALE 1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"



4 LEFT SIDE ELEVATION (EAST)  
SCALE 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	DECORATIVE METAL BRACKET COLOR: TO MATCH MCELROY METALS PATRICIAN BRONZE
2	STANDING SEAM METAL ROOF COLOR: PATRICIAN BRONZE BY MCELROY METALS
3	HARDIE PANEL SIDING ENTRY COLOR: BURNISHED BRANDY BY SHERWIN WILLIAMS
4	HARDIE PANEL ACCENT BAND COLOR: SABLE BY SHERWIN WILLIAMS
5	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE BY YKK
6	BERMUDA SHUTTER COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE
7	METAL TRELLIS COLOR: AMAZING GRAY BY SHERWIN WILLIAMS
8	TABBY STUCCO COLUMN W/ BRICK BASE: HOSSTOWN BY CHEROKEE
9	STUCCO VENEER COLOR: PRAIRIE CLAY BY DRYVIT
10	STUCCO TRIM COLOR: SPECTRUM BROWN BY DRYVIT
11	TABBY STUCCO VENEER
12	WALL PACK LIGHT FIXTURE BY LITHONIA W/ DARK BRONZE FINISH
13	PRE-FINISHED METAL GUTTER & DOWNSPOUT COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE



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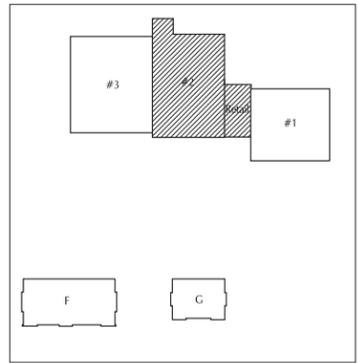
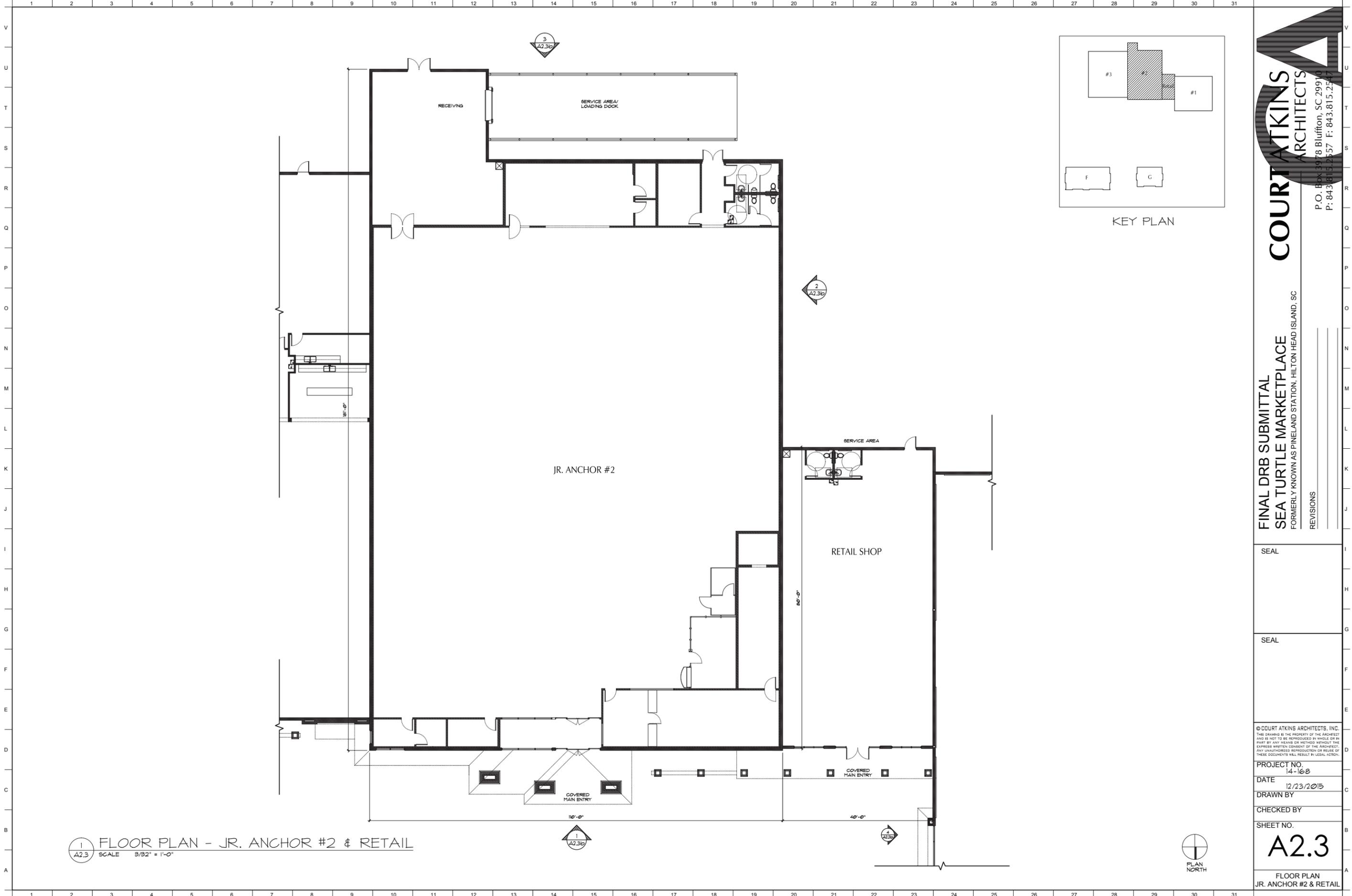
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A2.2b

EXTERIOR ELEVATIONS  
JR. ANCHOR #1



KEY PLAN

1 FLOOR PLAN - JR. ANCHOR #2 & RETAIL  
SCALE 3/32" = 1'-0"



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DATE  
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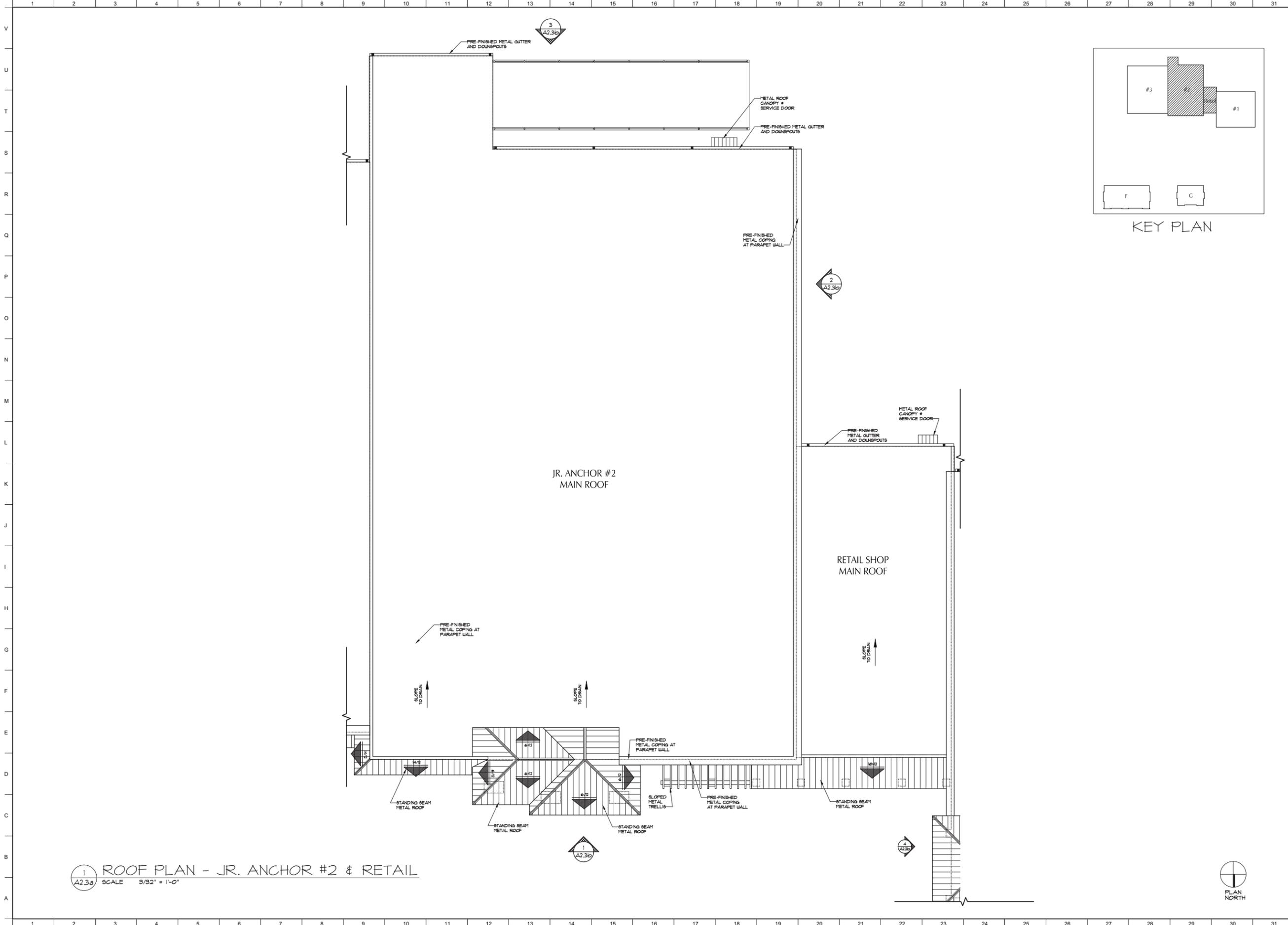
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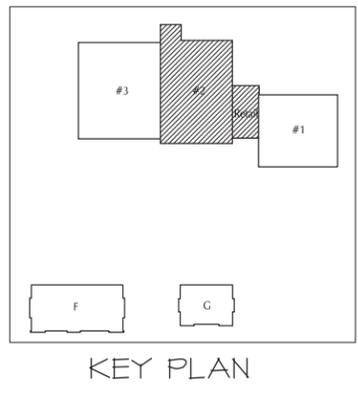
SHEET NO.

A2.3

FLOOR PLAN  
JR. ANCHOR #2 & RETAIL



1 A2.3a ROOF PLAN - JR. ANCHOR #2 & RETAIL  
SCALE 3/32" = 1'-0"



FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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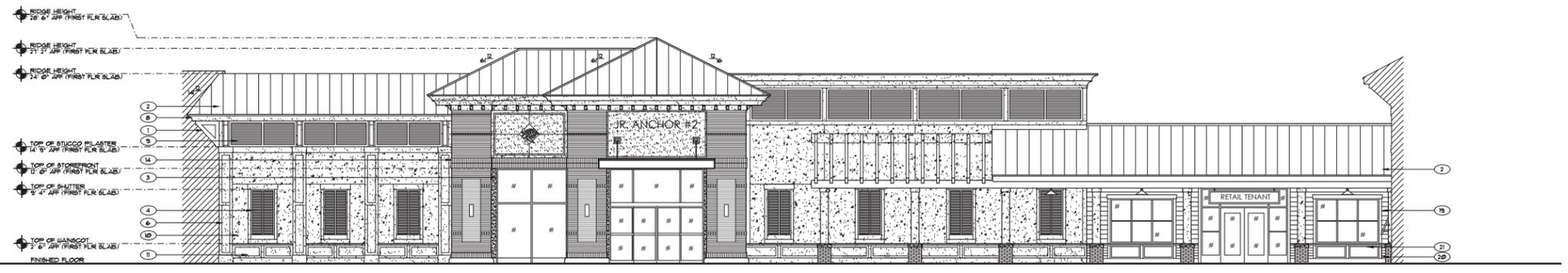
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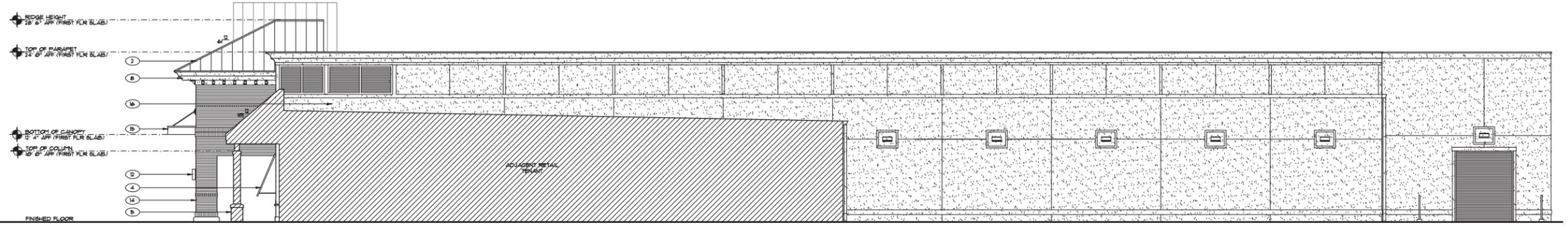
A2.3a

ROOF PLAN  
JR. ANCHOR #2 & RETAIL

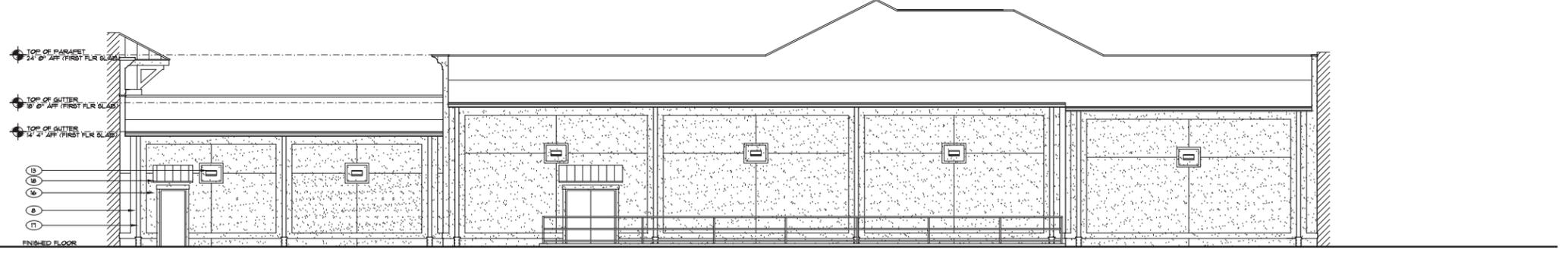




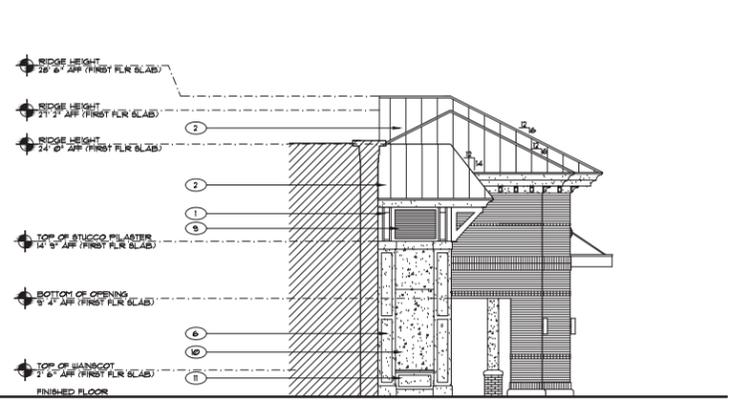
1 FRONT ELEVATION (NORTH)  
 A2.3b SCALE 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION (WEST)  
 A2.3b SCALE 1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)  
 A2.3b SCALE 1/8" = 1'-0"



4 LEFT SIDE ELEVATION (EAST)  
 A2.3b SCALE 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	DECORATIVE METAL BRACKET COLOR: TO MATCH MCELROY METALS CHARCOAL
2	STANDING SEAM METAL ROOF COLOR: CHARCOAL BY MCELROY METALS
3	ALUMINUM STOREFRONT SYSTEM COLOR: CHARCOAL BY YKK
4	BERMUDA SHUTTER COLOR: TO MATCH MCELROY METAL CHARCOAL
5	TABBY STUCCO COLUMN IV BRICK BASE: MOSSTOWN BY CHEROKEE
6	STUCCO PILASTER COLOR: GULL GRAY BY DRYVIT
7	METAL TRELIS COLOR: TO MATCH DRYVIT SMOKE SIGNAL
8	STUCCO TRIM COLOR: GULL GRAY BY DRYVIT
9	PRE-FINISHED METAL LOUVER COLOR: TO MATCH DRYVIT SMOKE SIGNAL
10	TABBY STUCCO VENEER WITH SHELLS
11	TABBY STUCCO TRIM WITHOUT SHELLS
12	CYLINDER LIGHT FIXTURE BY SPECTRUM LIGHTING IV CHARCOAL FINISH
13	WALL PACK LIGHT FIXTURE BY LITHONIA IV DARK BRONZE FINISH
14	BRICK VENEER MOSSTOWN BY CHEROKEE
15	SUSPENSION CANOPY COLOR TO MATCH MCELROY METALS PATRIGIAN BRONZE
16	STUCCO VENEER BASE COLOR: SMOKE SIGNAL BY DRYVIT
17	PRE-FINISHED METAL GUTTER & DOWNSPOUT COLOR: TO MATCH MCELROY METAL CHARCOAL
18	METAL ROOF SERVICE CANOPY COLOR: TO MATCH MCELROY METAL CHARCOAL
19	HARDIE LAP SIDING (1" EXPOSURE) COLOR: SILVER STRAND BY SHERWIN WILLIAMS
20	HARDIE LAP SIDING (4" EXPOSURE) COLOR: MAGNETIC GRAY BY SHERWIN WILLIAMS
21	HARDIE PANEL & TRIM COLOR: RESERVED WHITE BY SHERWIN WILLIAMS

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**FINAL DRB SUBMITTAL**  
**SEA TURTLE MARKETPLACE**  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

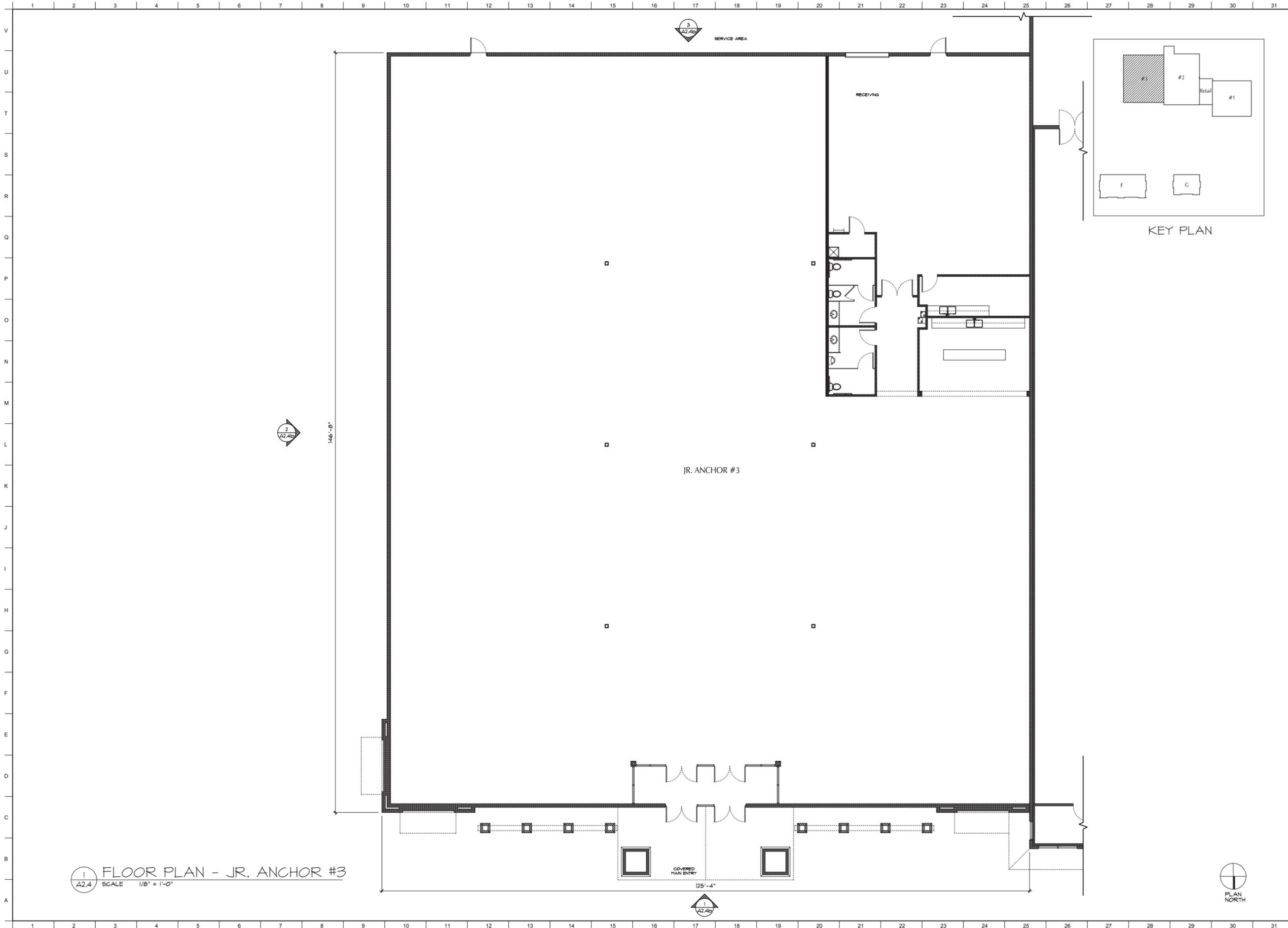
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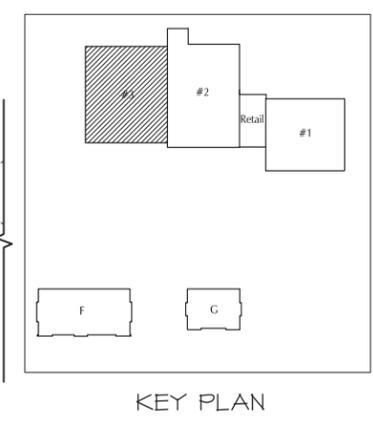
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 EXTERIOR ELEVATIONS JR. ANCHOR #2 & RETAIL



1 FLOOR PLAN - JR. ANCHOR #3  
 SCALE 1/8" = 1'-0"



KEY PLAN



**COURT ATKINS ARCHITECTS**  
 FINAL DRB SUBMITTAL  
 SEA TURTLE MARKETPLACE  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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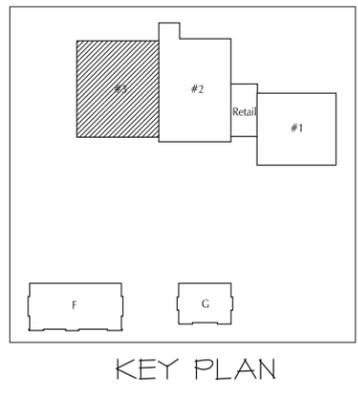
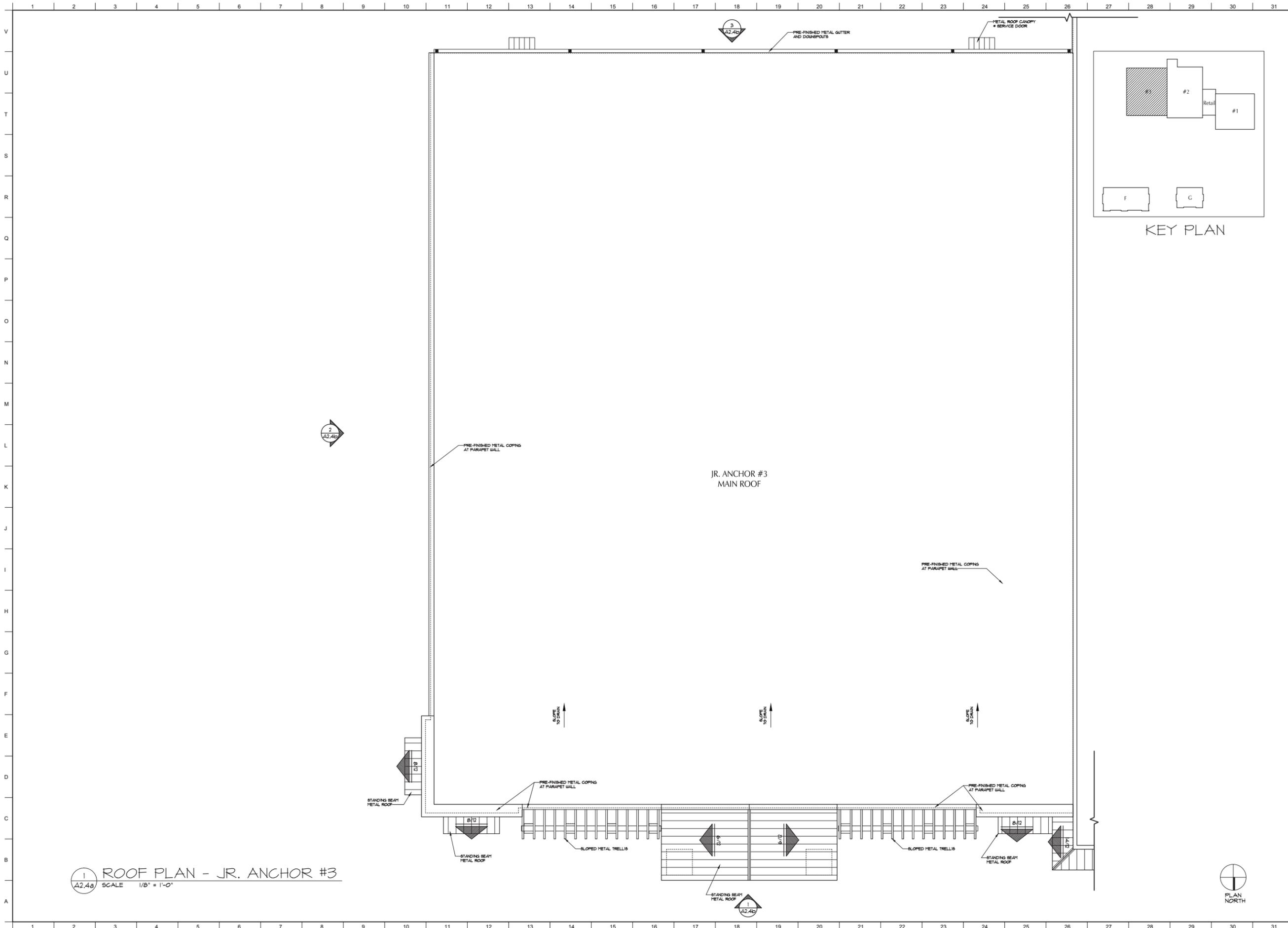
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PROJECT NO.	14-168
DATE	12/23/2015
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**A2.4**

FLOOR PLAN  
 JR. ANCHOR #3





1  
A2.4a  
ROOF PLAN - JR. ANCHOR #3  
SCALE 1/8" = 1'-0"



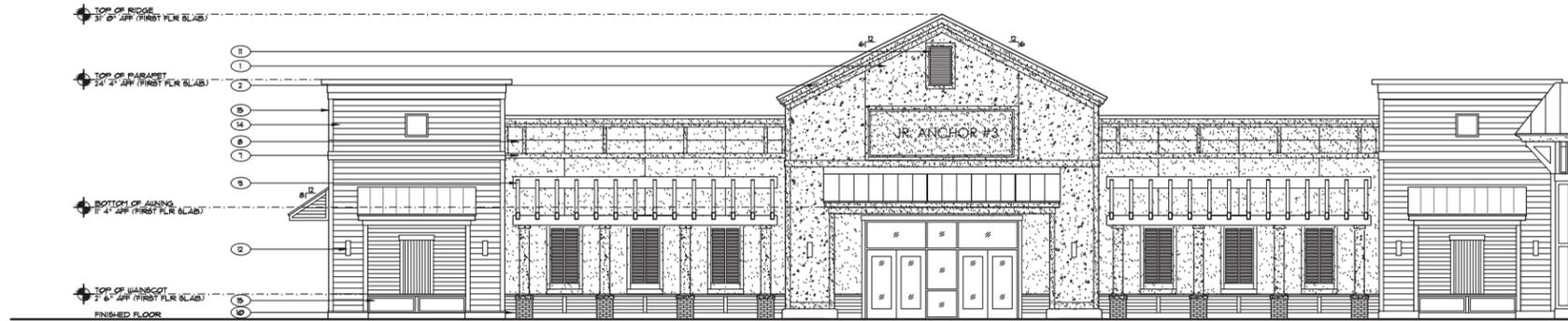
FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC



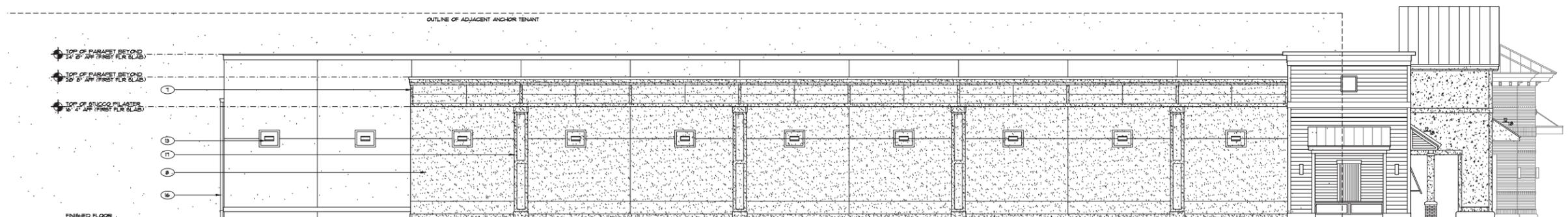
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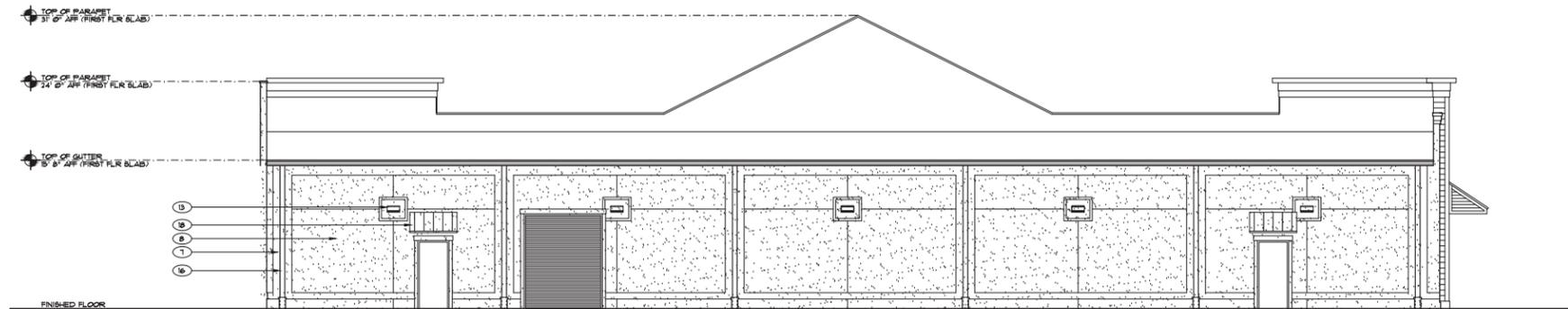
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PROJECT NO. 14-16B
DATE 12/23/2015
DRAWN BY
CHECKED BY
SHEET NO. <b>A2.4a</b>
ROOF PLAN JR. ANCHOR #3



1 FRONT ELEVATION (NORTH)  
A2.4b SCALE 1/8" = 1'-0"



2 LEFT SIDE ELEVATION (EAST)  
A2.4b SCALE 1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)  
A2.4b SCALE 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	TABBY STUCCO VENEER WITH SHELLS
2	TABBY STUCCO TRIM WITHOUT SHELLS
3	STANDING SEAM METAL ROOF COLOR: PATRICIAN BRONZE BY MCELROY METALS
4	ALUMINUM STOREFRONT SYSTEM COLOR: DARK BRONZE BY YKK
5	BERMUDA SHUTTER COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE
6	TABBY STUCCO COLUMN W/ BRICK BASE: MOSSTOWN BY CHEROKEE
7	STUCCO TRIM COLOR: SMOKE SIGNAL BY DRYVIT
8	STUCCO VENEER BASE COLOR: OVERCAST BY DRYVIT
9	METAL TRELLIS COLOR: TO MATCH DRYVIT SMOKE SIGNAL
10	HARDIE LAP SIDING (4" EXPOSURE) COLOR: SMOKEHOUSE BY SHERWIN WILLIAMS
11	PRE-FINISHED METAL LOUVER COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE
12	CYLINDER LIGHT FIXTURE BY SPECTRUM LIGHTING W/ BRONZE FINISH
13	WALL PACK LIGHT FIXTURE BY LITHONIA W/ DARK BRONZE FINISH
14	HARDIE LAP SIDING (1" EXPOSURE) COLOR: SMOKEHOUSE BY SHERWIN WILLIAMS
15	HARDIE TRIM AND PANEL COLOR: AMAZING GRAY BY SHERWIN WILLIAMS
16	PRE-FINISHED METAL GUTTER & DOWNSPOUT COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE
17	STUCCO PILLASTER COLOR: SMOKE SIGNAL BY DRYVIT
18	METAL ROOF SERVICE CANOPY COLOR: TO MATCH MCELROY METAL PATRICIAN BRONZE



FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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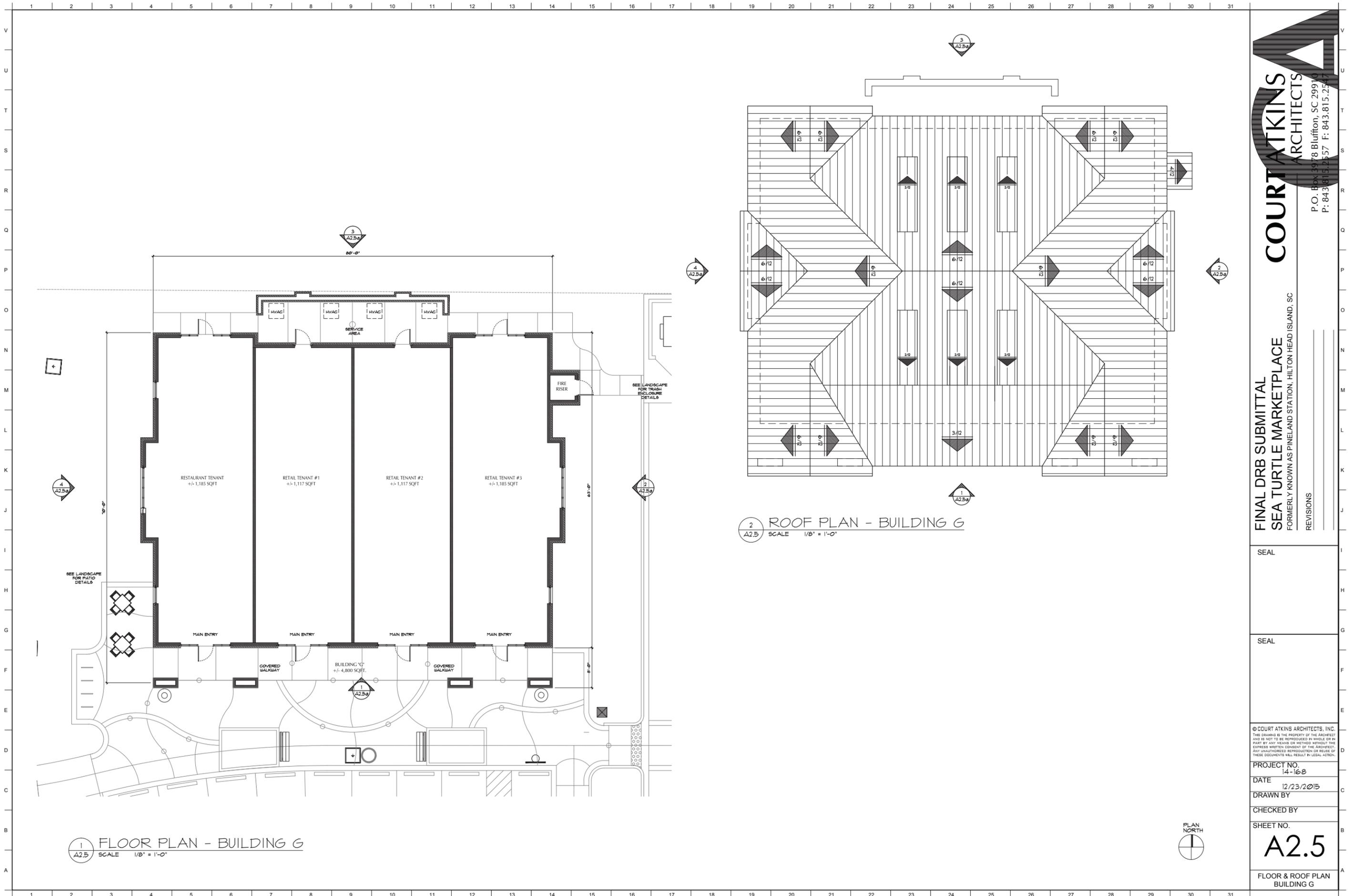
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PROJECT NO. 14-16B  
DATE 12/23/2015  
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SHEET NO. A2.4b  
EXTERIOR ELEVATIONS  
JR. ANCHOR #3

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1 FLOOR PLAN - BUILDING G  
SCALE 1/8" = 1'-0"

2 ROOF PLAN - BUILDING G  
SCALE 1/8" = 1'-0"



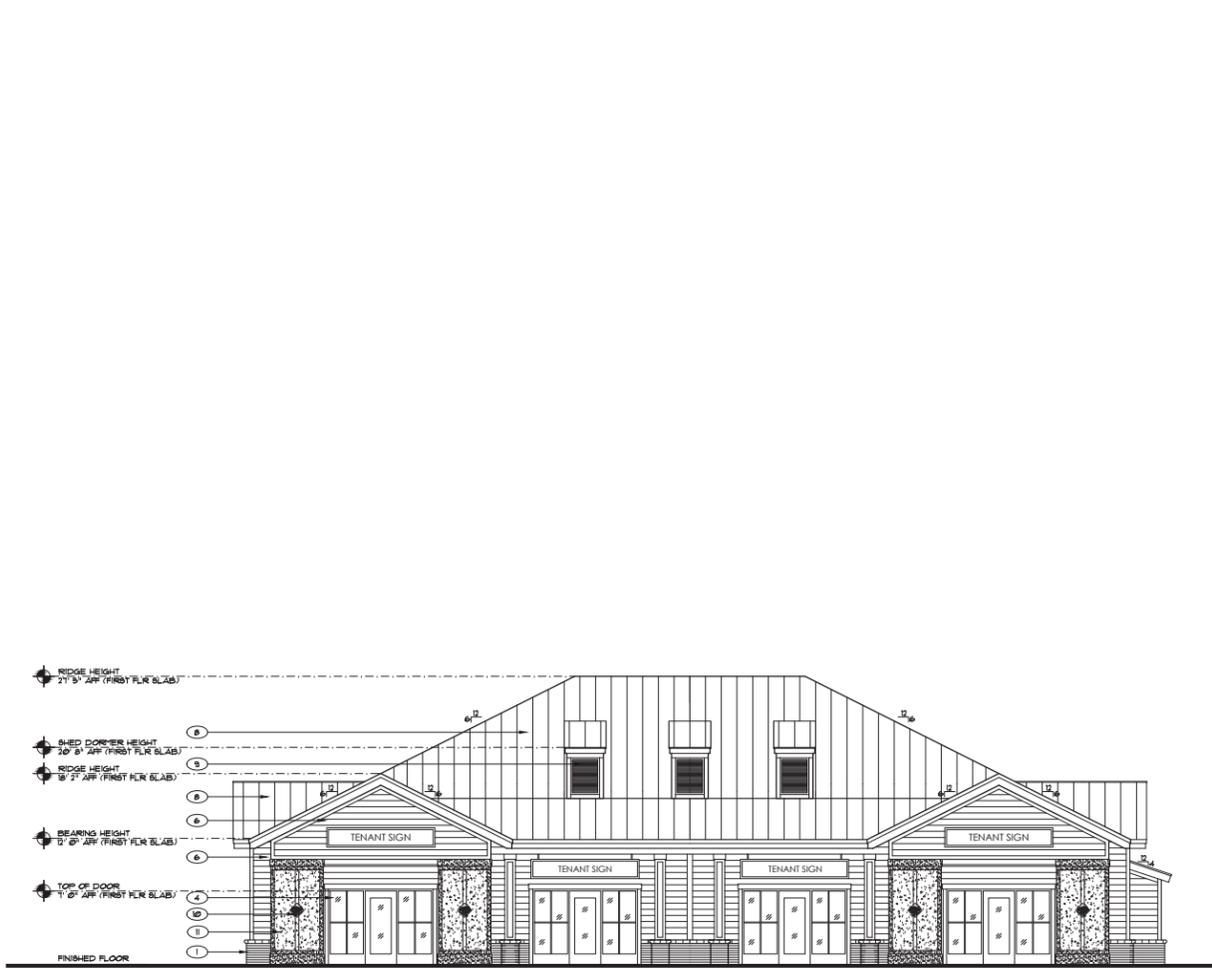
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 FINAL DRB SUBMITTAL  
 SEA TURTLE MARKETPLACE  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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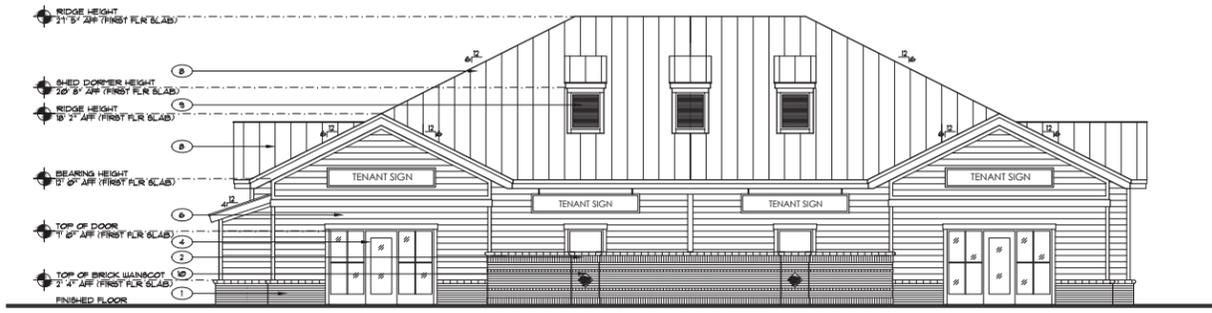
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PROJECT NO. 14-16B
DATE 12/23/2015
DRAWN BY
CHECKED BY
SHEET NO. <b>A2.5</b>
FLOOR & ROOF PLAN BUILDING G

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31



1 FRONT ELEVATION (SOUTH)  
A2.5a SCALE 1/8" = 1'-0"



3 REAR ELEVATION (NORTH)  
A2.5a SCALE 1/8" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

EXTERIOR MATERIALS LEGEND	
MATERIAL	
1	BRICK WAINSCOT : MOSSTOWN BY CHEROKEE
2	BRICK SCREEN WALL : MOSSTOWN BY CHEROKEE
3	HARDIE LAP SIDING (4" EXPOSURE) COLOR: SILVER STRAND BY SHERWIN WILLIAMS
4	ALUMINUM STOREFRONT SYSTEM COLOR: CHARCOAL BY YKK
5	COMPOSITE WINDOW SHUTTER COLOR: TO MATCH MCELROY METALS CHARCOAL
6	HARDIE LAP SIDING (7" EXPOSURE) COLOR: SILVER STRAND BY SHERWIN WILLIAMS
7	HARDIE PANEL AND TRIM COLOR: RESERVED WHITE BY SHERWIN WILLIAMS
8	STANDING SEAM METAL ROOF COLOR: MCELROY METALS CHARCOAL
9	PRE-FINISHED METAL LOUVER COLOR: TO MATCH MCELROY METALS CHARCOAL
10	CUSTOM SEA TURTLE MARKET PLACE LOGO
11	TABBY STUCCO VENEER



2 RIGHT ELEVATION (EAST)  
A2.5a SCALE 1/8" = 1'-0"



4 LEFT ELEVATION (WEST)  
A2.5a SCALE 1/8" = 1'-0"



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FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

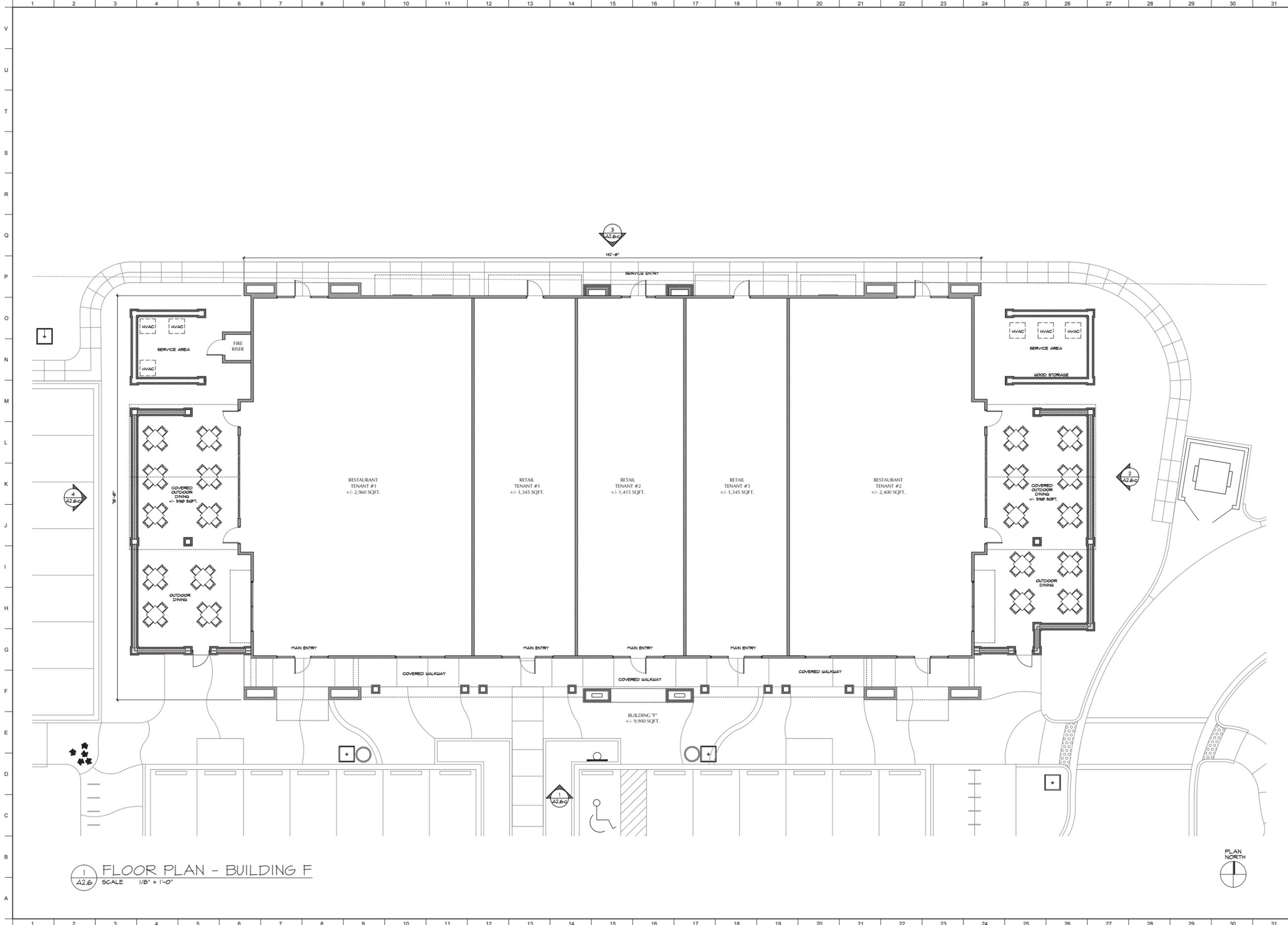
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PROJECT NO. 14-16B  
DATE 12/23/2015  
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SHEET NO. A2.5a  
EXTERIOR ELEVATIONS BUILDING G

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1 FLOOR PLAN - BUILDING F  
 A2.6 SCALE 1/8" = 1'-0"



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DATE 12/23/2015

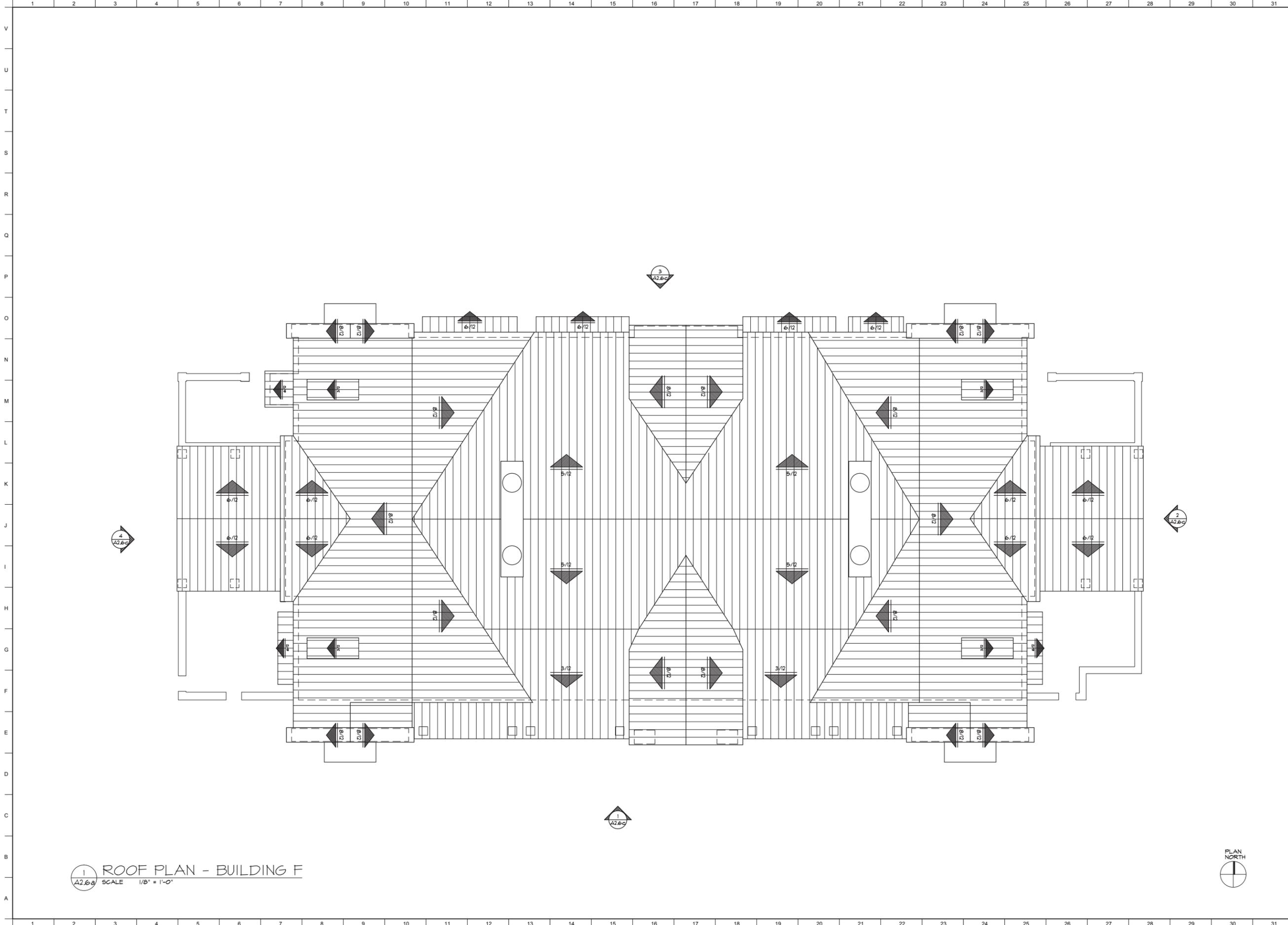
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CHECKED BY

SHEET NO.

**A2.6**

FLOOR PLAN  
 BUILDING F



1 ROOF PLAN - BUILDING F  
 A2.6a SCALE 1/8" = 1'-0"



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 SEA TURTLE MARKETPLACE  
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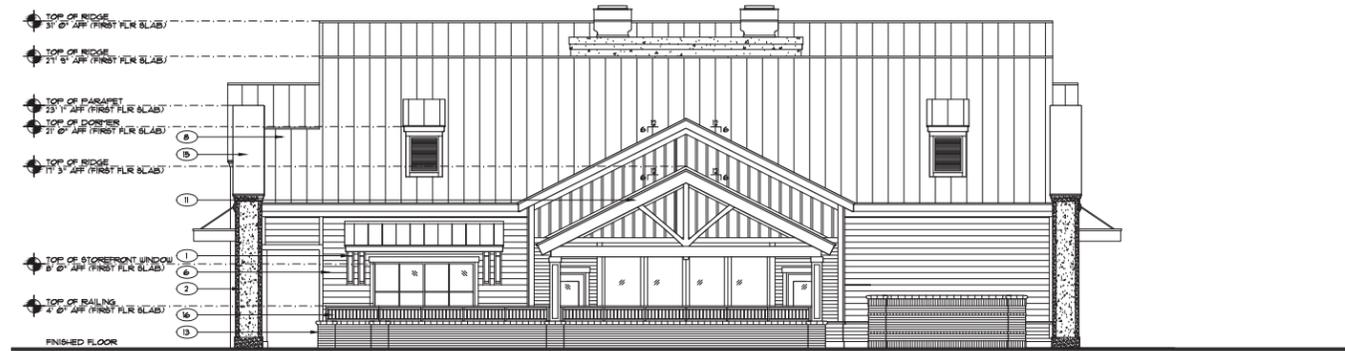
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ROOF PLAN BUILDING F



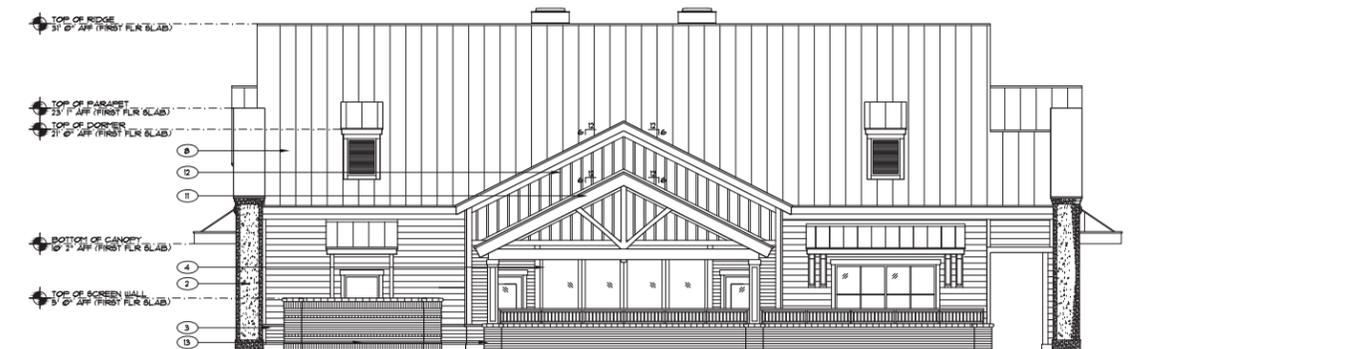
1 FRONT ELEVATION (SOUTH)  
A2.6b SCALE 1/8" = 1'-0"



2 RIGHT ELEVATION (EAST)  
A2.6b SCALE 1/8" = 1'-0"



3 REAR ELEVATION (NORTH)  
A2.6b SCALE 1/8" = 1'-0"



4 LEFT ELEVATION (WEST)  
A2.6b SCALE 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND	
○ MATERIAL	
1	DECORATIVE METAL BRACKET COLOR: MAGNETIC GRAY BY SHERWIN WILLIAMS
2	TABBY STUCCO VENEER
3	HARDIE LAP SIDING (4" EXPOSURE) COLOR: MAGNETIC GRAY BY SHERWIN WILLIAMS
4	ALUMINUM STOREFRONT SYSTEM COLOR: CHARCOAL BY YKK
5	CLOSED SHUTTER COLOR: MAGNETIC GRAY BY SHERWIN WILLIAMS
6	HARDIE LAP SIDING (1" EXPOSURE) COLOR: SILVER STRAND BY SHERWIN WILLIAMS
7	HARDIE PANEL AND TRIM COLOR: RESERVED WHITE BY SHERWIN WILLIAMS
8	STANDING SEAM METAL ROOF COLOR: CHARCOAL BY MCELROY METALS
9	PRE-FINISHED METAL LOUVER COLOR: TO MATCH MCELROY METALS CHARCOAL
10	CUSTOM SEA TURTLE MARKET PLACE LOGO
11	EXPOSED ROOF TRUSS COLOR: MAGNETIC GRAY BY SHERWIN WILLIAMS
12	BOARD AND BATTEN SIDING COLOR: SILVER STRAND BY SHERWIN WILLIAMS
13	BRICK SCREEN WALL: MOSSTOWN BY CHEROKEE
14	SUSPENDED METAL CANOPY SYSTEM COLOR: TO MATCH MCELROY METALS CHARCOAL
15	PRE-FINISHED METAL COPING COLOR: TO MATCH MCELROY METALS CHARCOAL
16	PAINTED METAL RAILING COLOR: TO MATCH MCELROY METALS CHARCOAL
17	CLOSED SHUTTER COLOR: TO MATCH MCELROY METALS CHARCOAL
18	TABBY STUCCO CHIMNEY WITH KITCHEN EXHAUST HOOD: HOOD COLOR PAINTED TO MATCH MCELROY METAL CHARCOAL

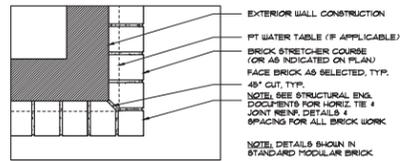
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FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

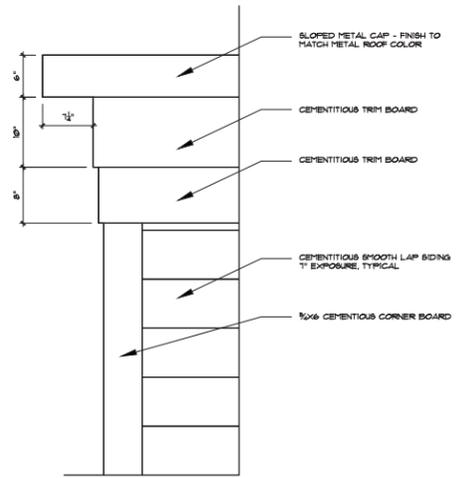
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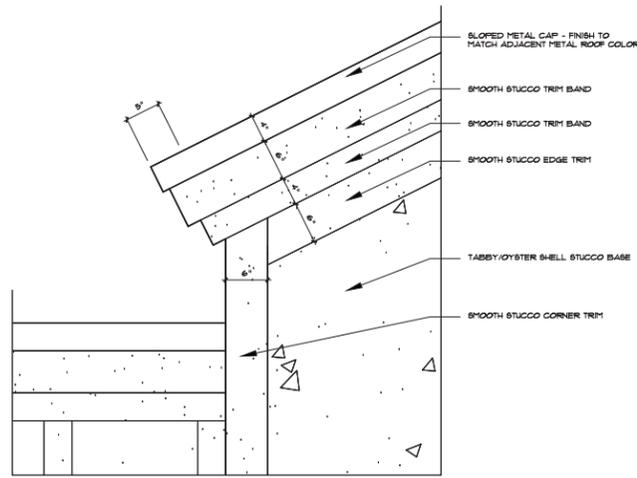
PROJECT NO. 14-16B  
DATE 12/23/2015  
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SHEET NO. **A2.6b**  
EXTERIOR ELEVATIONS BUILDING F



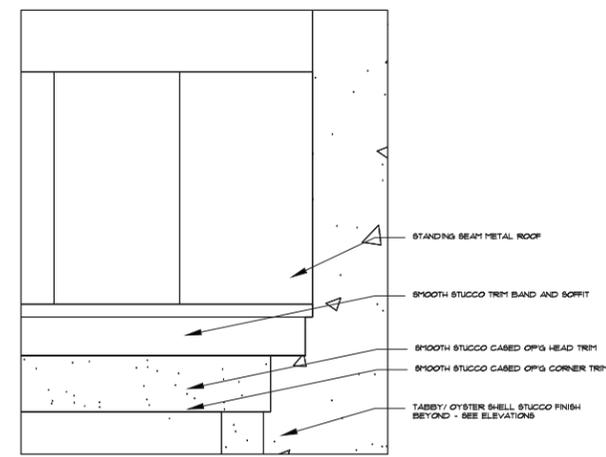
**1** BRICK WATER TABLE CORNER DETAIL  
SCALE 1" = 1'-0"



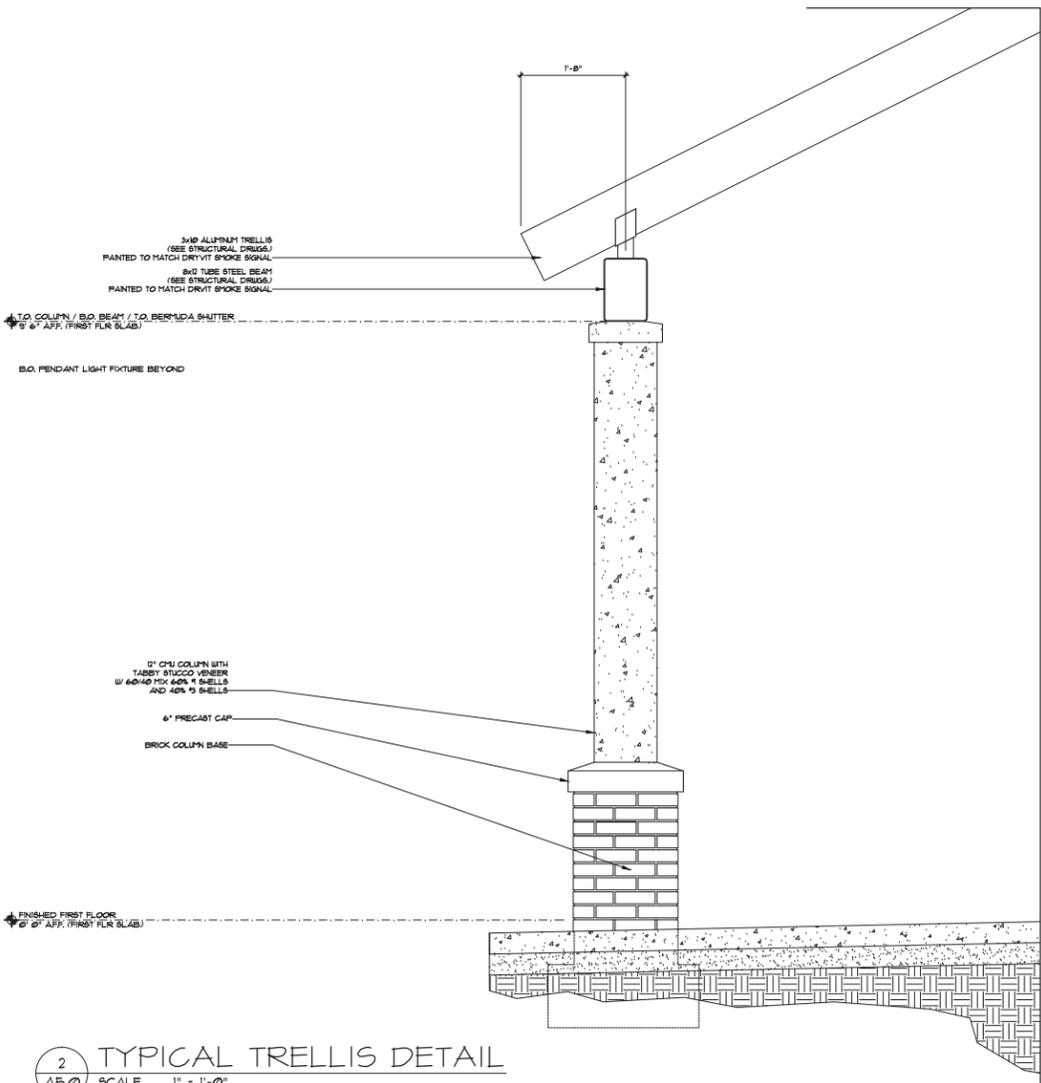
**3** TYPICAL SIDING PARAPET  
SCALE 1" = 1'-0"



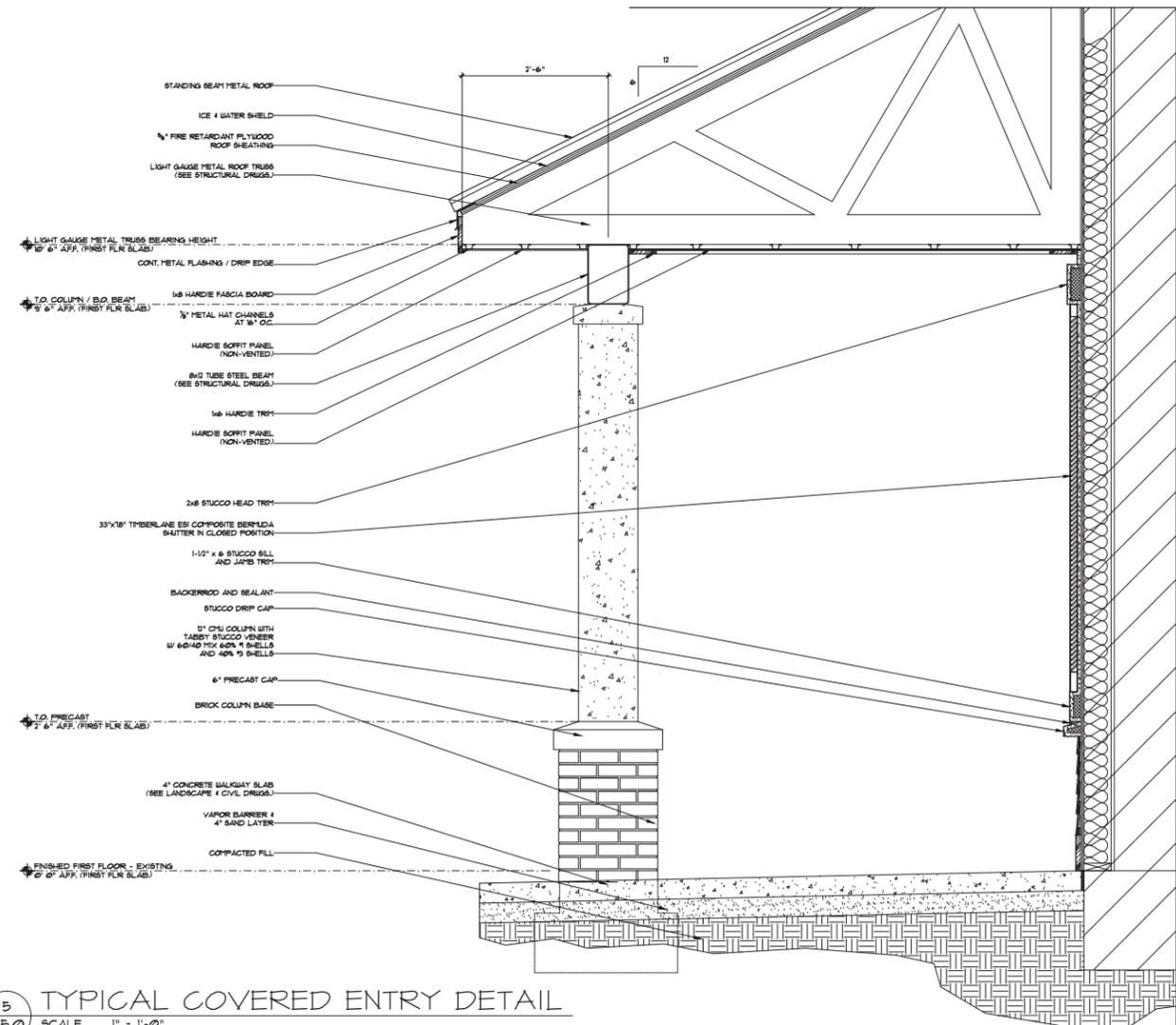
**4** TYPICAL TABBY GABLE END  
SCALE 1" = 1'-0"



**6** TYPICAL SLOPED ROOF ACCENT  
SCALE 1" = 1'-0"



**2** TYPICAL TRELLIS DETAIL  
SCALE 1" = 1'-0"



**5** TYPICAL COVERED ENTRY DETAIL  
SCALE 1" = 1'-0"



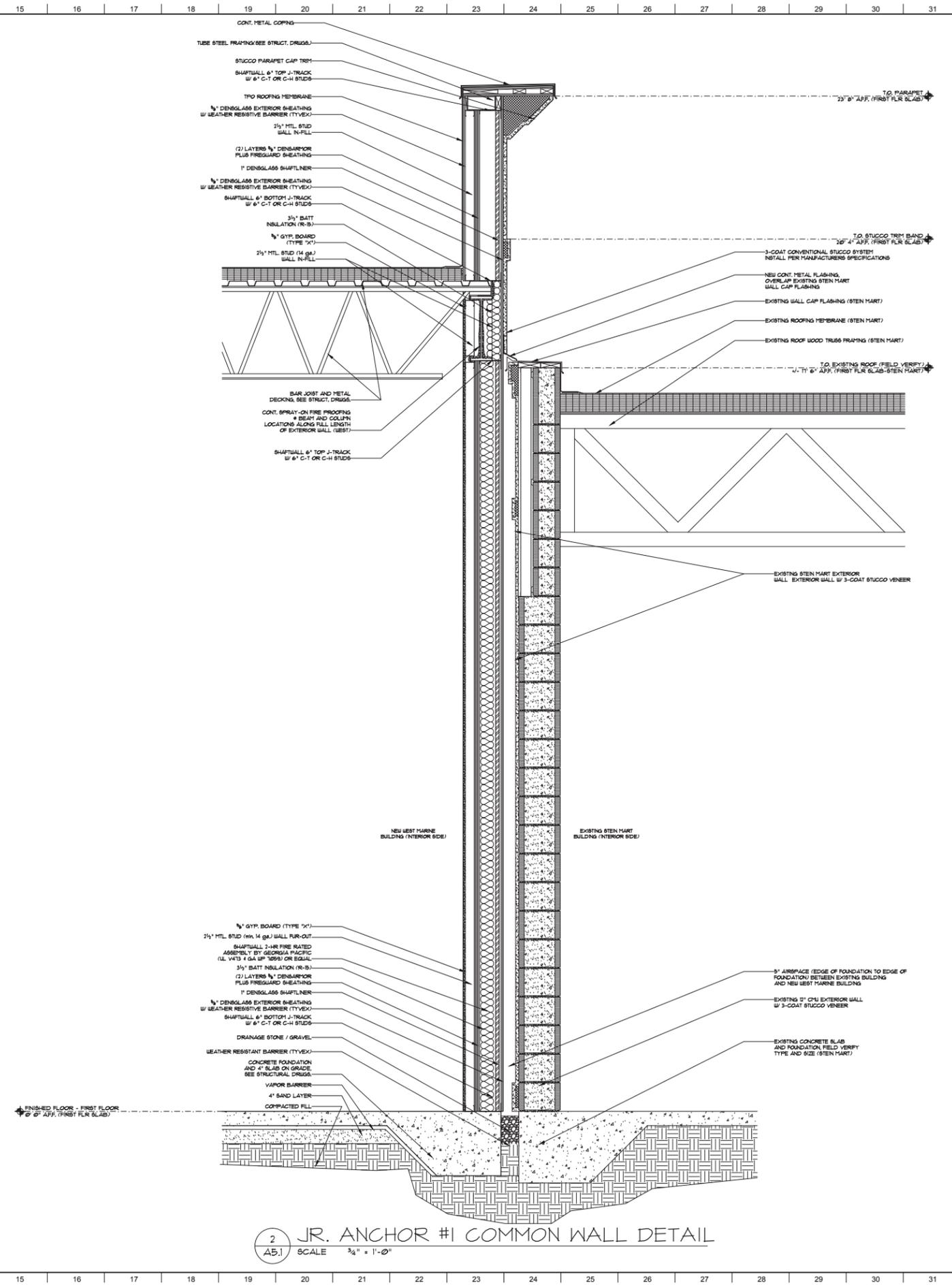
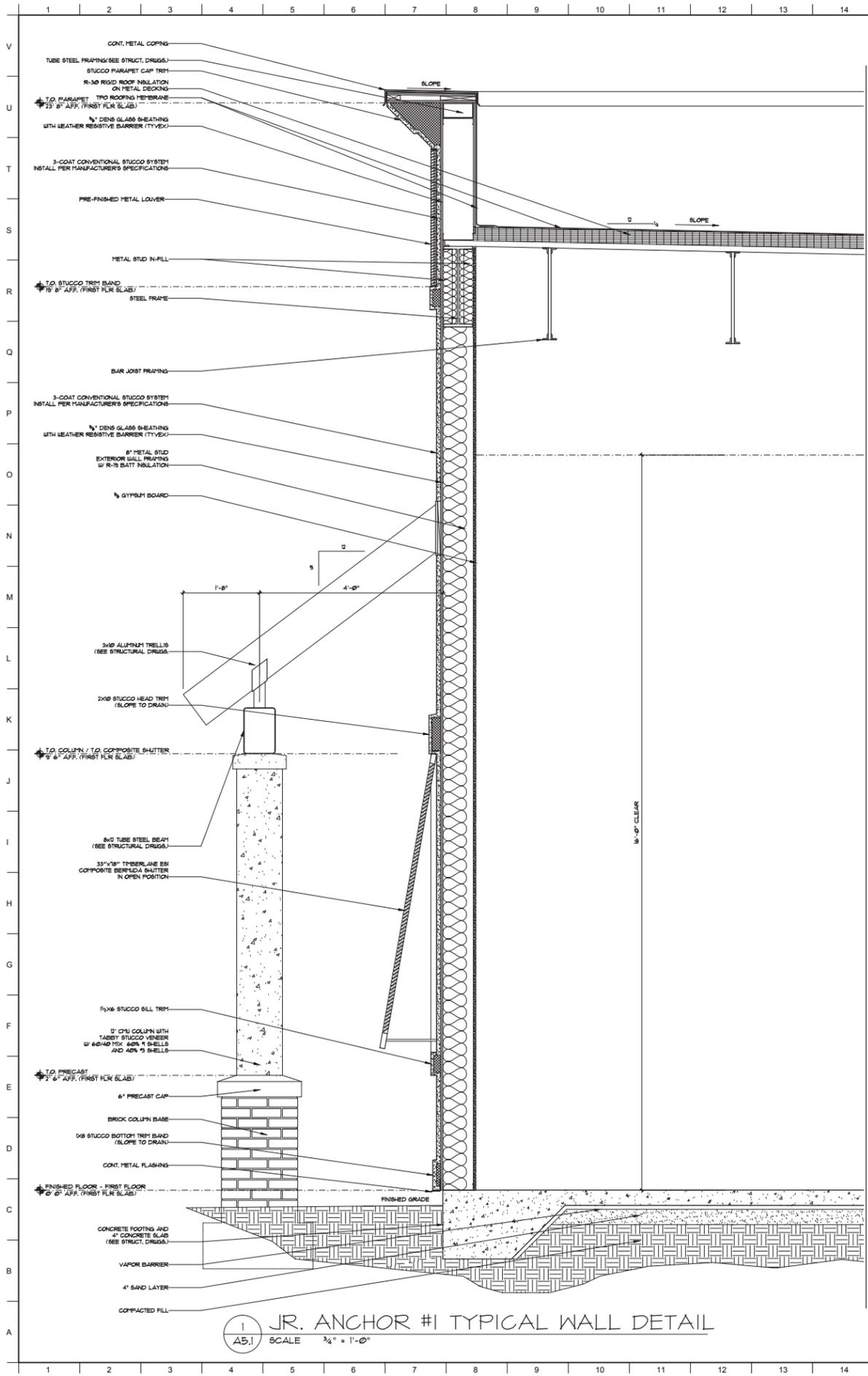
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FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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DATE 12/23/2015
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**FINAL DRB SUBMITTAL**  
**SEA TURTLE MARKETPLACE**  
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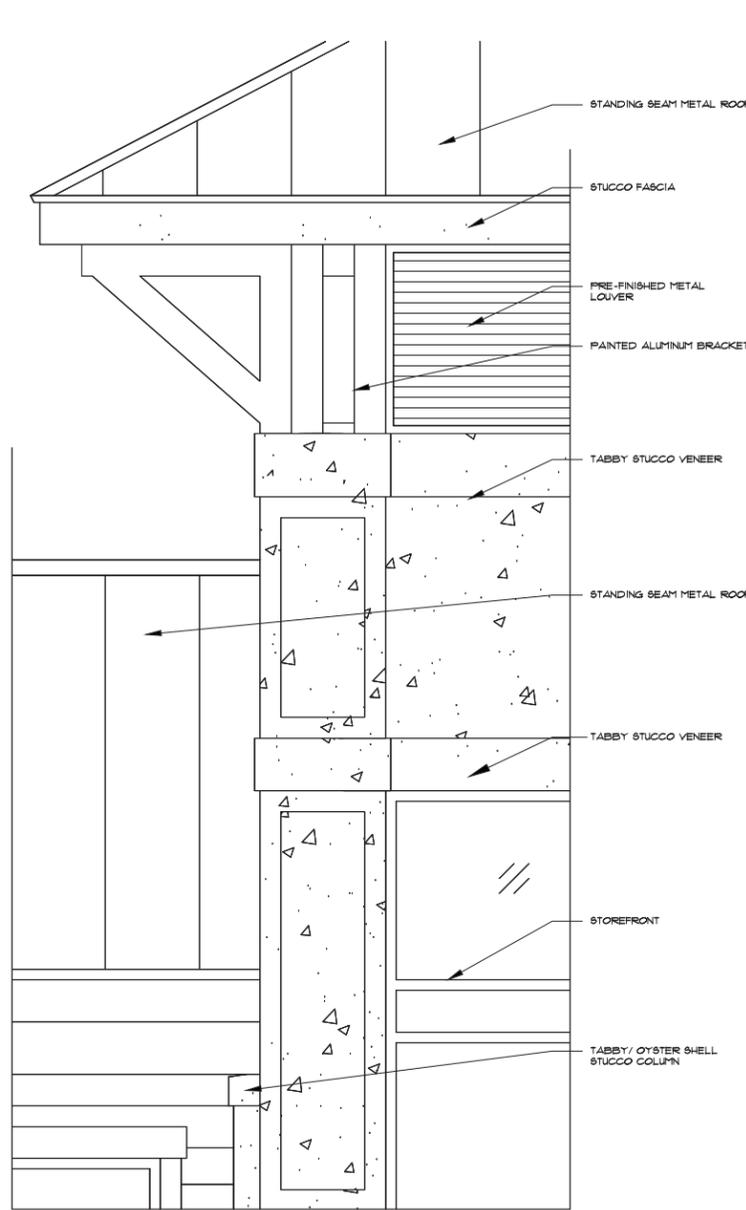
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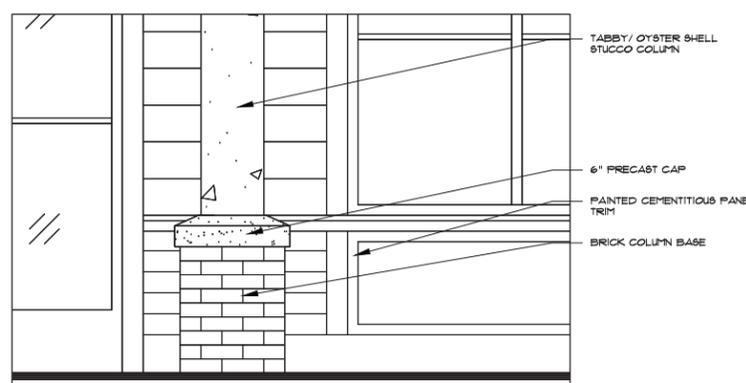
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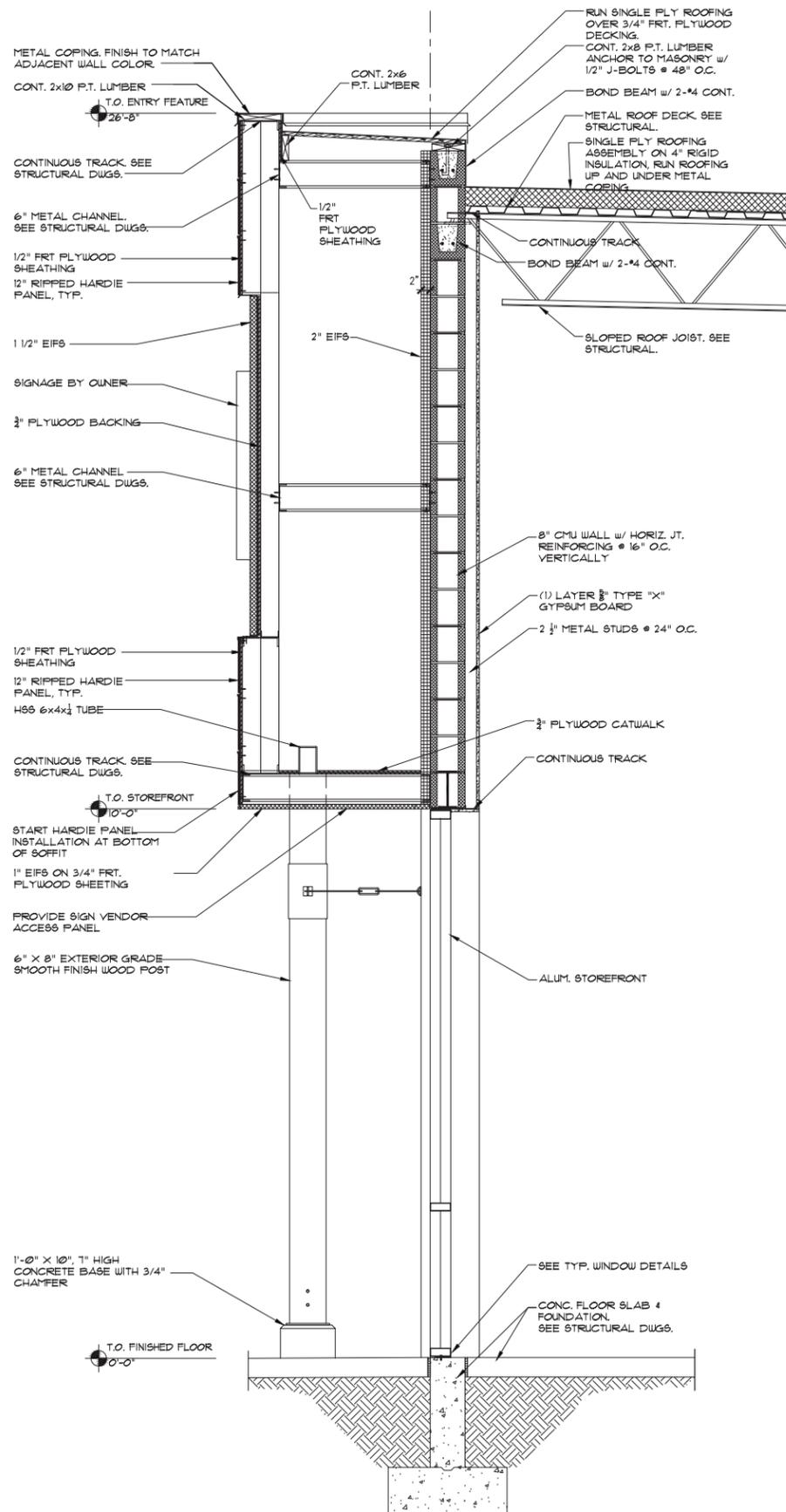
DETAILS



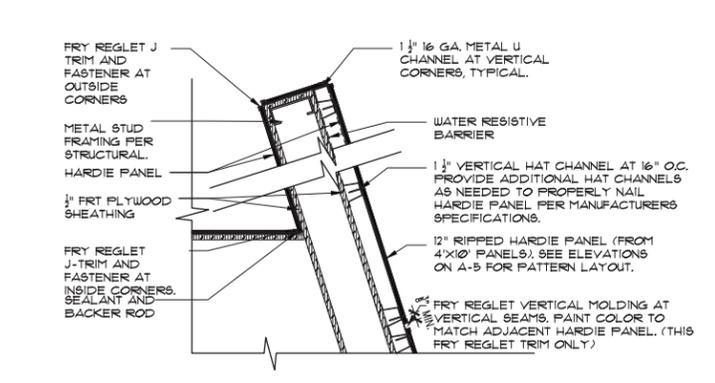
1 JR. ANCHOR #1 CORNER DETAIL  
SCALE 3/4" = 1'-0"



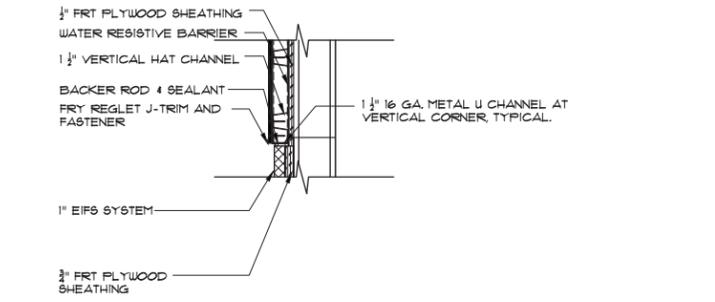
2 RETAIL SHOP BASE DETAIL  
SCALE 3/4" = 1'-0"



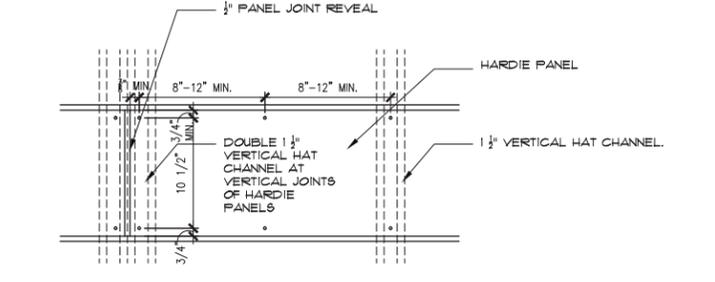
3 JR. ANCHOR #1 ENTRY DETAIL  
SCALE 3/4" = 1'-0"



4 JR. ANCHOR #1 ENTRY END PLAN DETAIL  
SCALE 3/4" = 1'-0"



5 JR. ANCHOR #1 ENTRY PANEL DETAIL  
SCALE 3/4" = 1'-0"



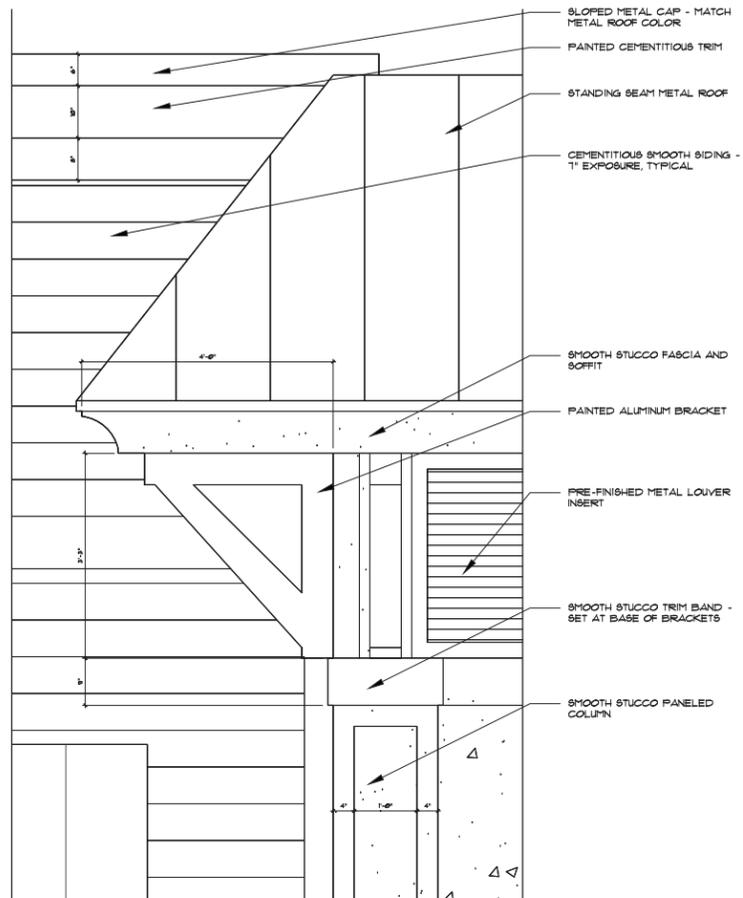
6 JR. ANCHOR #1 ENTRY PANEL SPACING  
SCALE 3/4" = 1'-0"

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PROJECT NO. 14-16B
DATE 12/23/2015
DRAWN BY
CHECKED BY
SHEET NO. <b>A5.2</b>
DETAILS

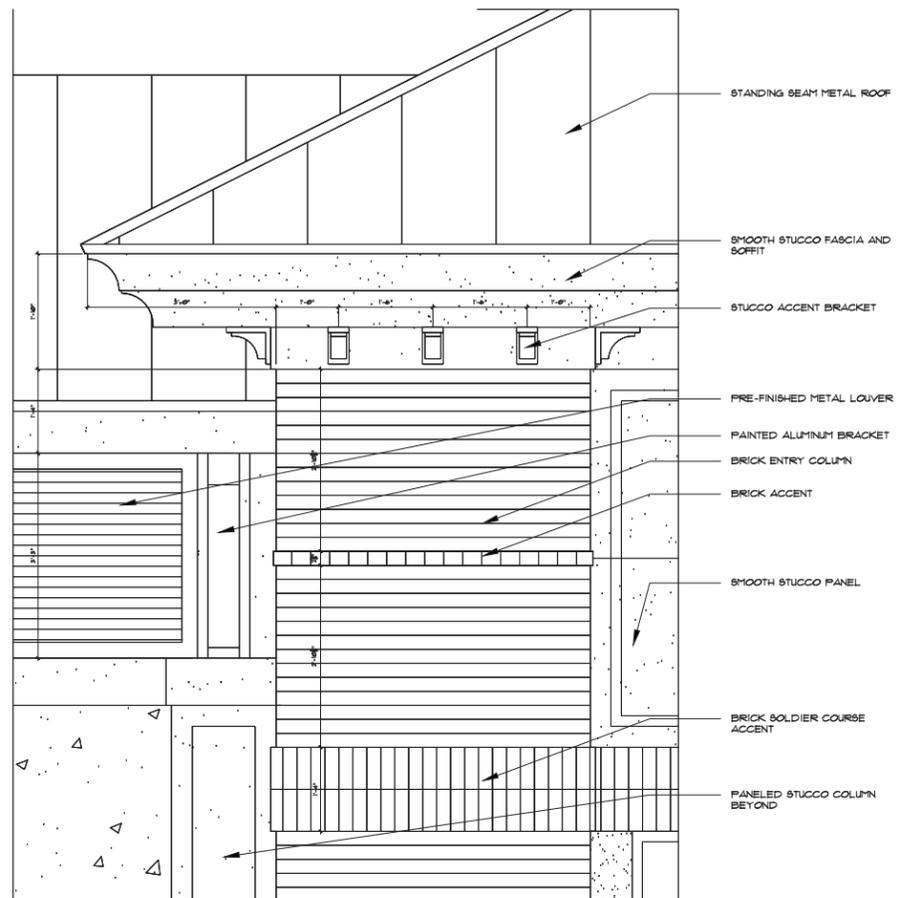
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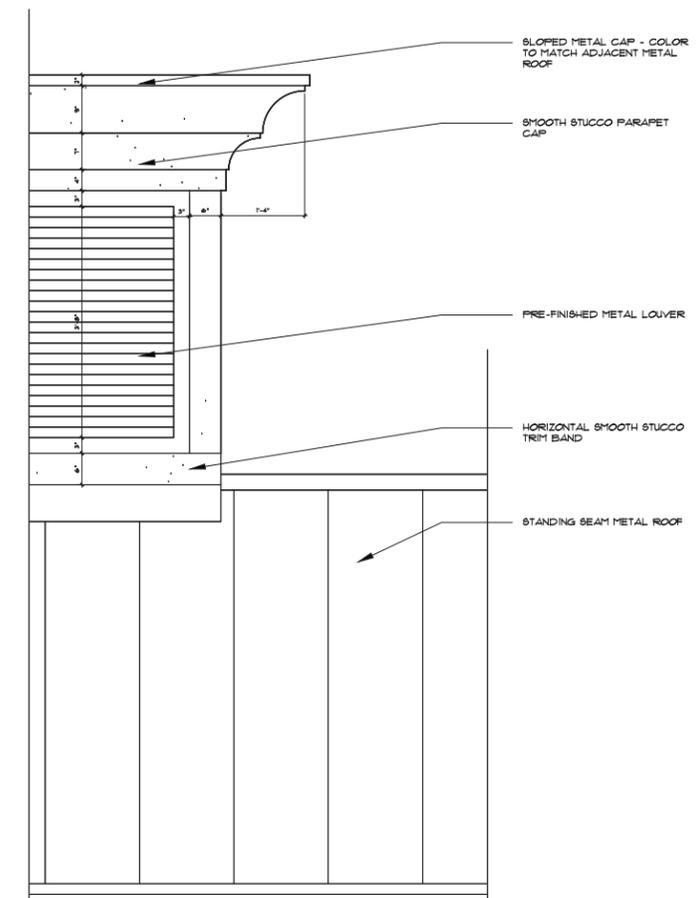
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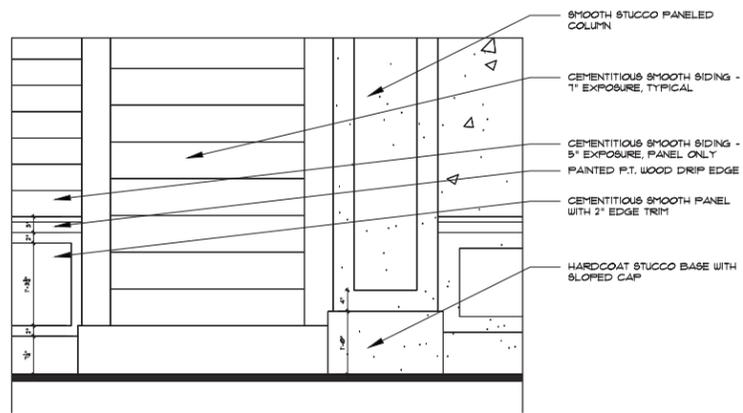
1 JR. ANCHOR #2 ROOF ELEVATION DETAIL  
 A5.3 SCALE 3/4" = 1'-0"



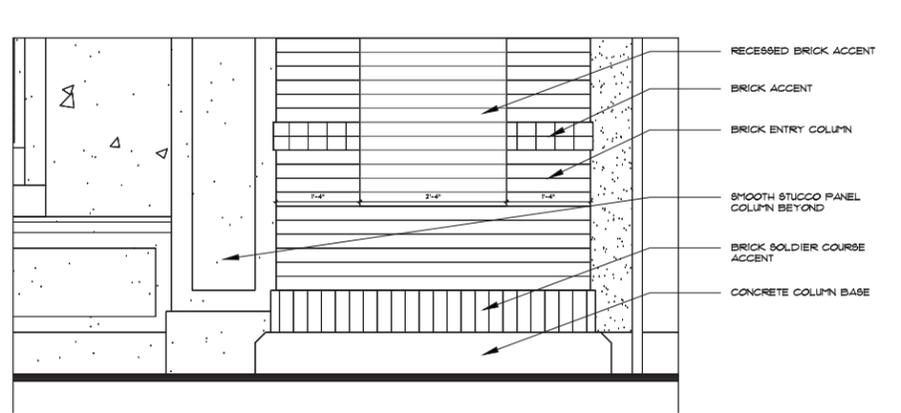
3 JR. ANCHOR #2 BRICK ENTRY ROOF  
 A5.3 SCALE 3/4" = 1'-0"



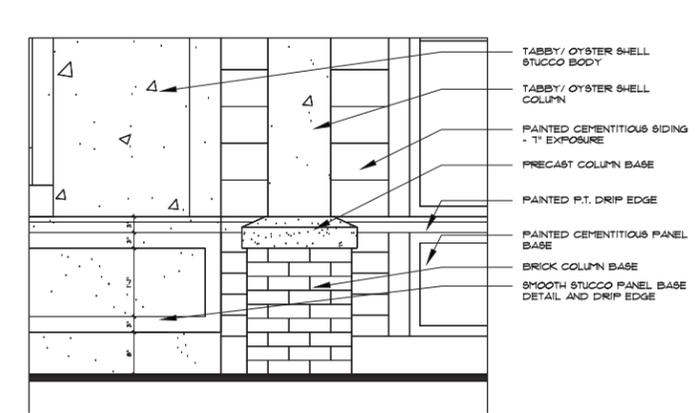
5 JR. ANCHOR #2 PARAPET RETURN  
 A5.3 SCALE 3/4" = 1'-0"



2 COLUMN BASE  
 A5.3 SCALE 3/4" = 1'-0"



4 BRICK BASE  
 A5.3 SCALE 3/4" = 1'-0"



6 RETAIL COLUMN BASE  
 A5.3 SCALE 3/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

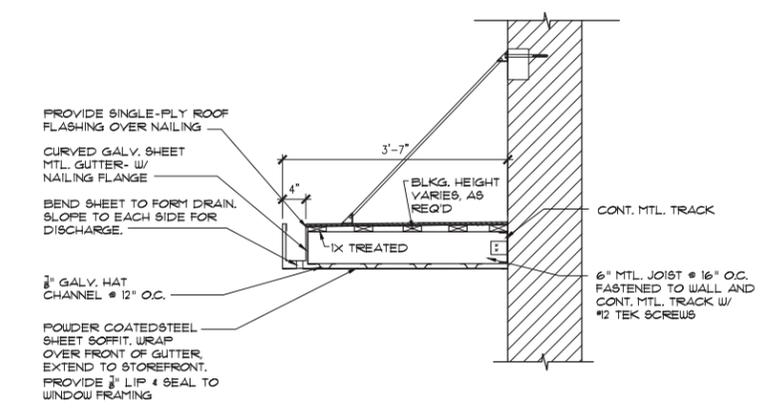


FINAL DRB SUBMITTAL  
 SEA TURTLE MARKETPLACE  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

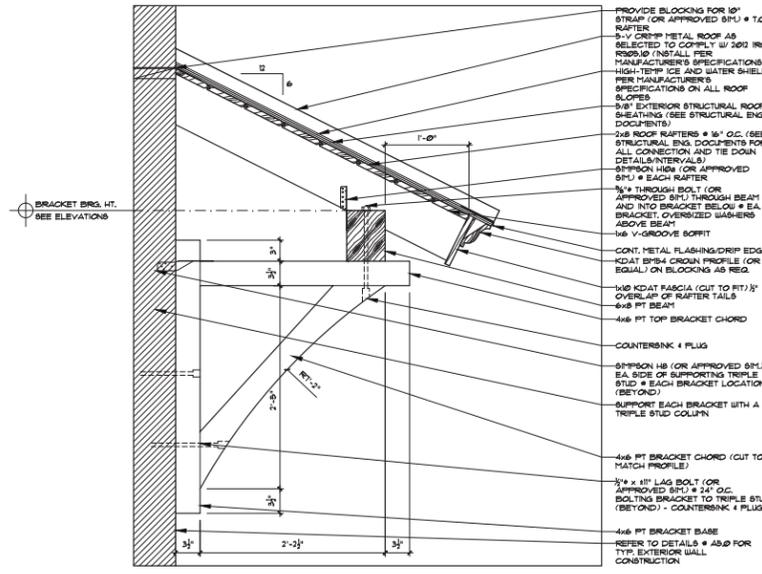
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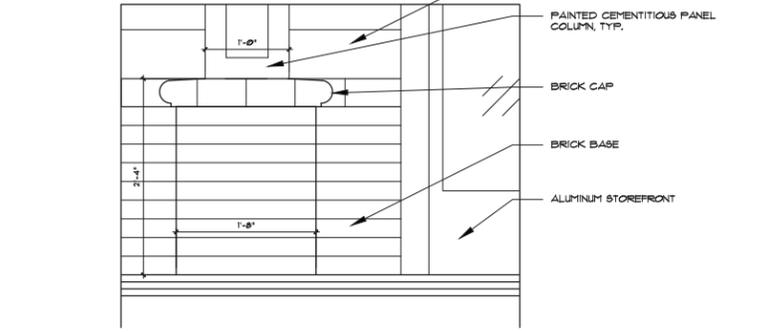
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DETAILS



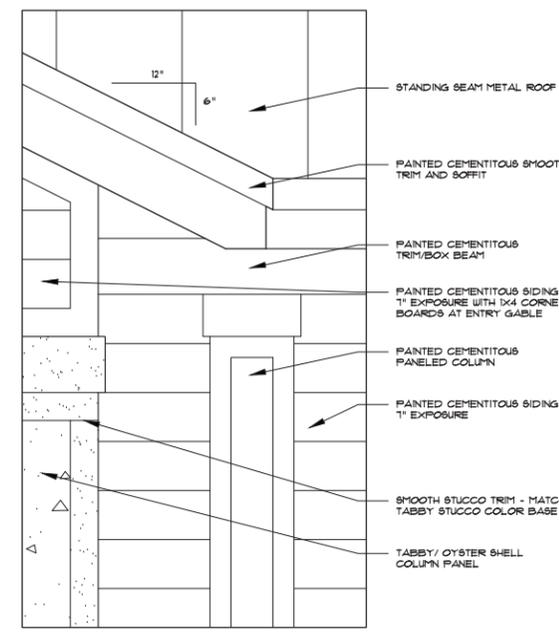
1 SUSPENDED METAL CANOPY  
A5.4 SCALE 3/4" = 1'-0"



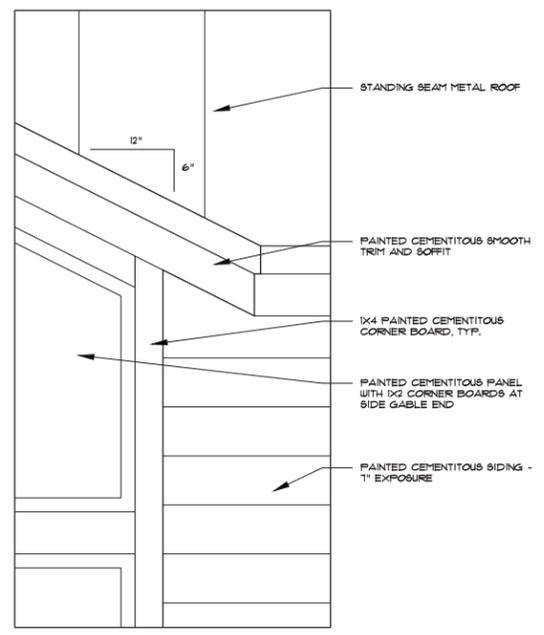
2 ROOF ACCENT DETAIL AND BRACKET  
A5.4 SCALE 1" = 1'-0"



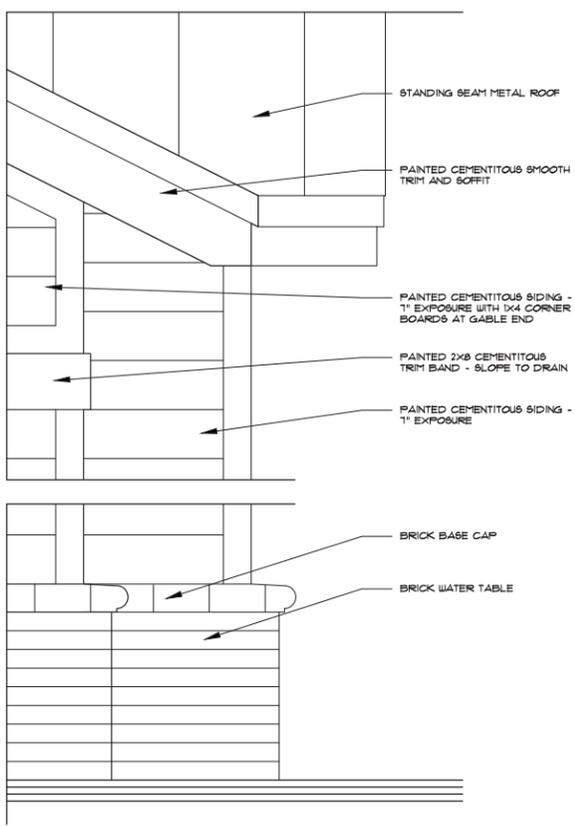
3 BLDG. G BRICK BASE  
A5.4 SCALE 1" = 1'-0"



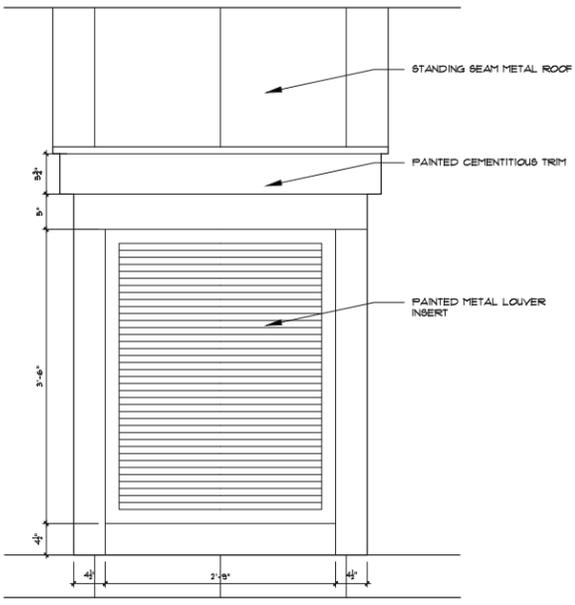
4 BLDG. G ENTRY GABLE ELEVATION  
A5.4 SCALE 1" = 1'-0"



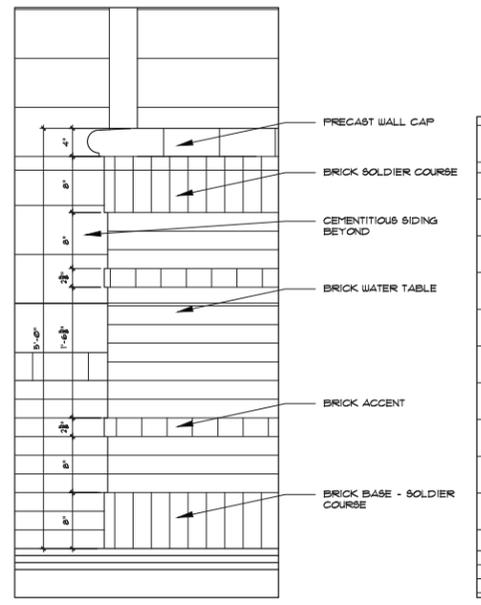
6 BLDG. G PANEL SIDING GABLE END ELEVATION  
A5.4 SCALE 1" = 1'-0"



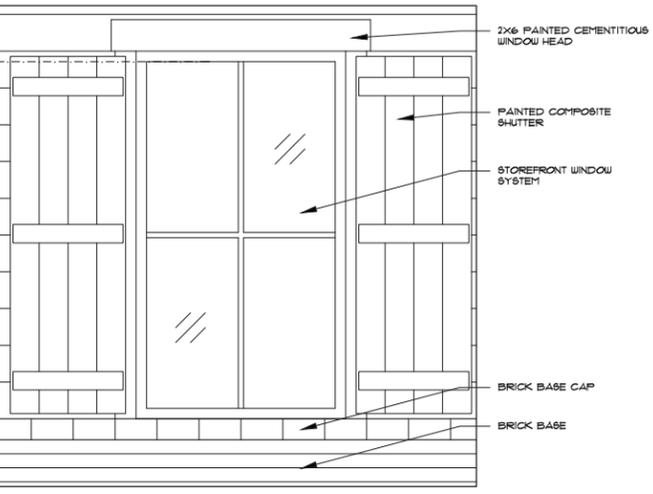
8 BLDG. G GABLE END  
A5.4 SCALE 1" = 1'-0"



5 BLDG. G DORMER ELEVATION  
A5.4 SCALE 1" = 1'-0"



7 SERVICE YARD  
A5.4 SCALE 1" = 1'-0"



9 BLDG. G WINDOW ELEVATION  
A5.4 SCALE 3/4" = 1'-0"



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P: 843.815.2557 F: 843.815.2547

FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

REVISIONS  
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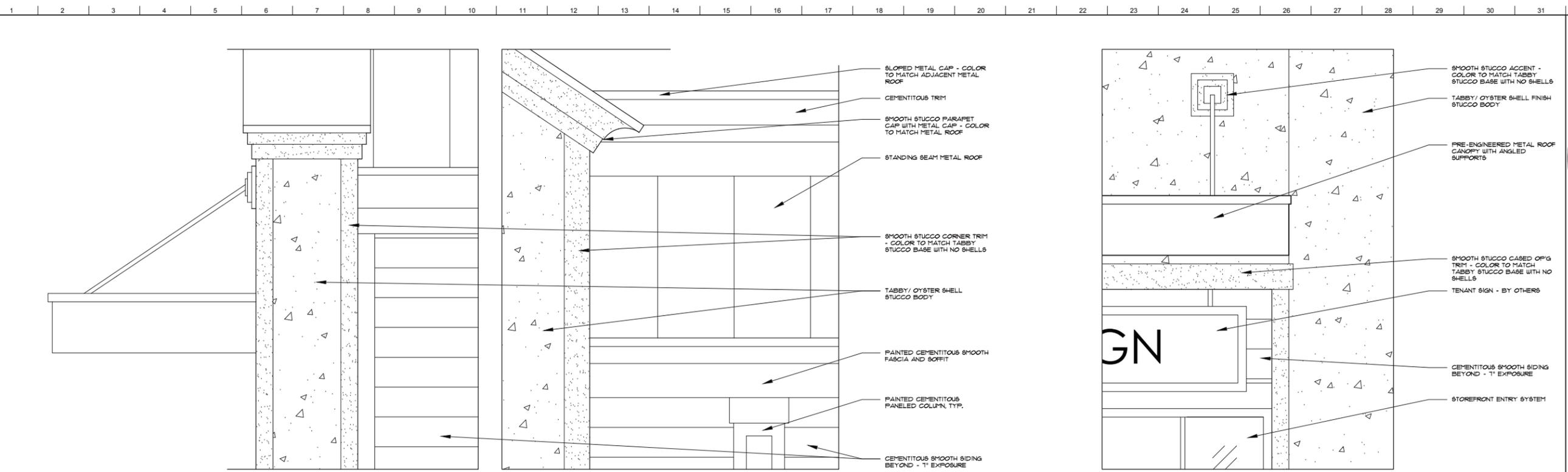
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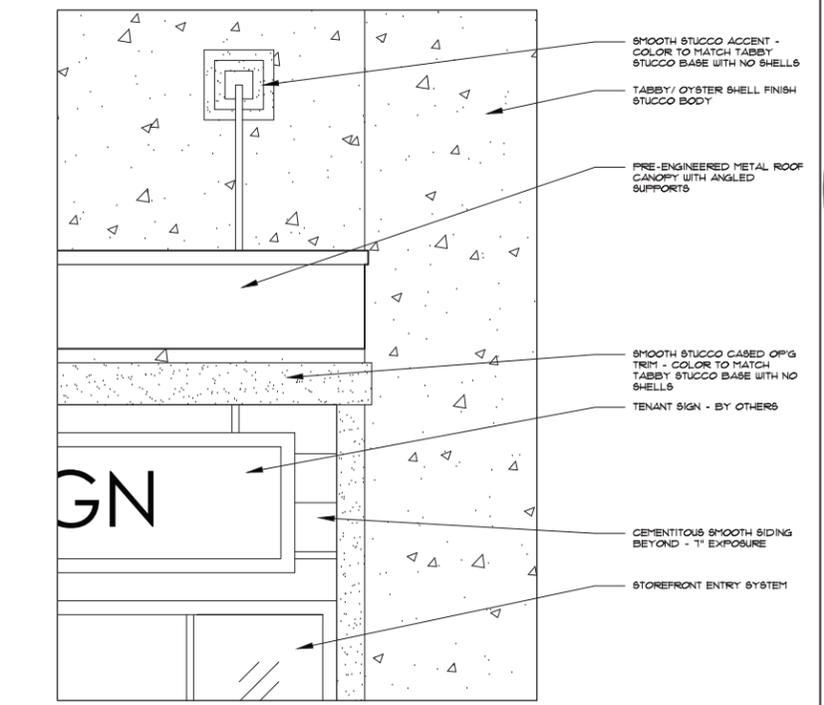
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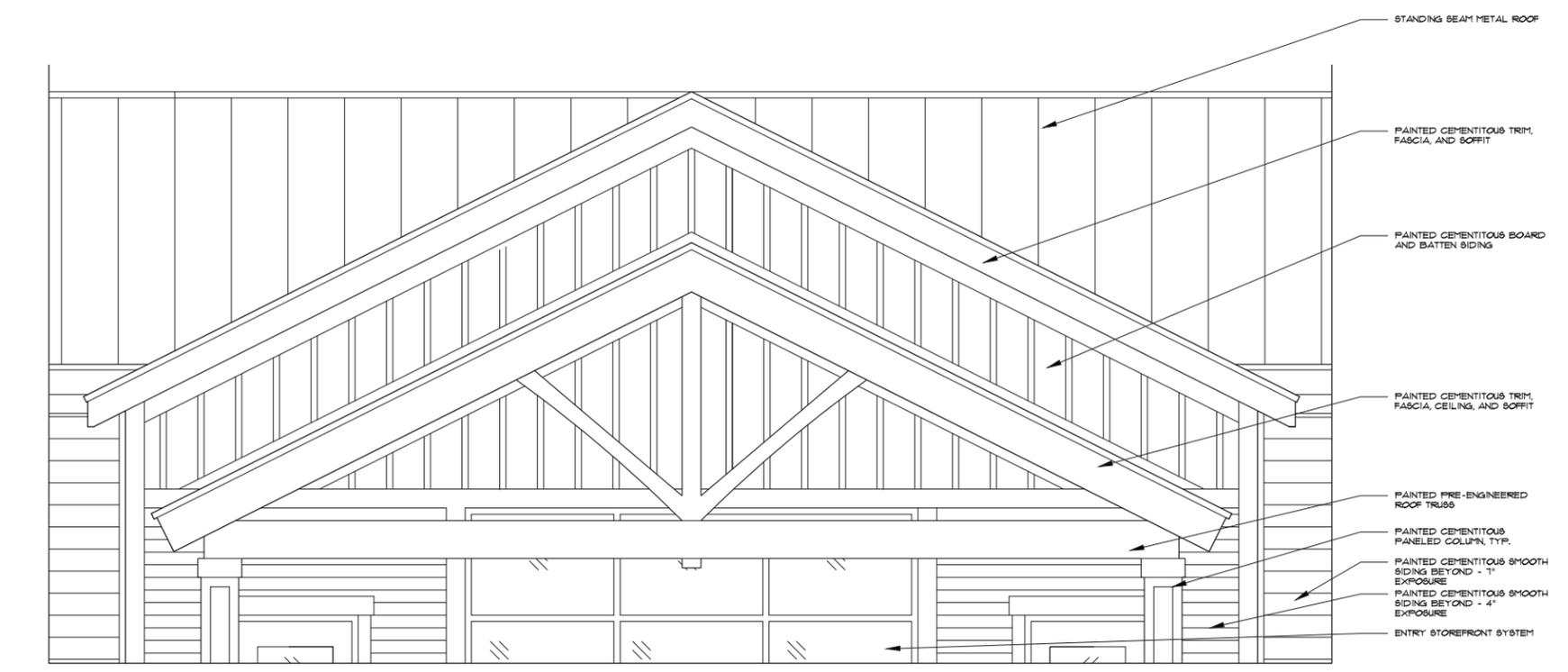
DETAILS



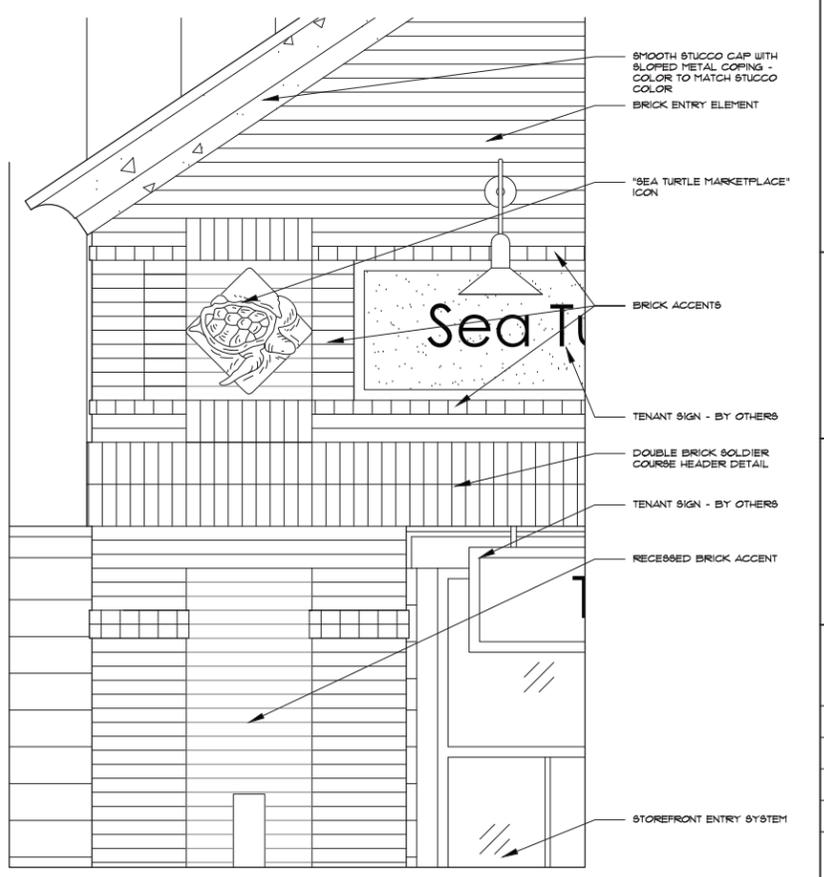
1 BLDG. F STUCCO PARAPET WALL  
 A5.5 SCALE 1/2" = 1'-0"



3 BLDG. F ENTRY ELEMENT  
 A5.5 SCALE 3/4" = 1'-0"



2 BLDG. F COVERED DINING PORCH  
 A5.5 SCALE 1/2" = 1'-0"



4 BLDG. F BRICK ENTRY ELEMENT  
 A5.5 SCALE 3/4" = 1'-0"



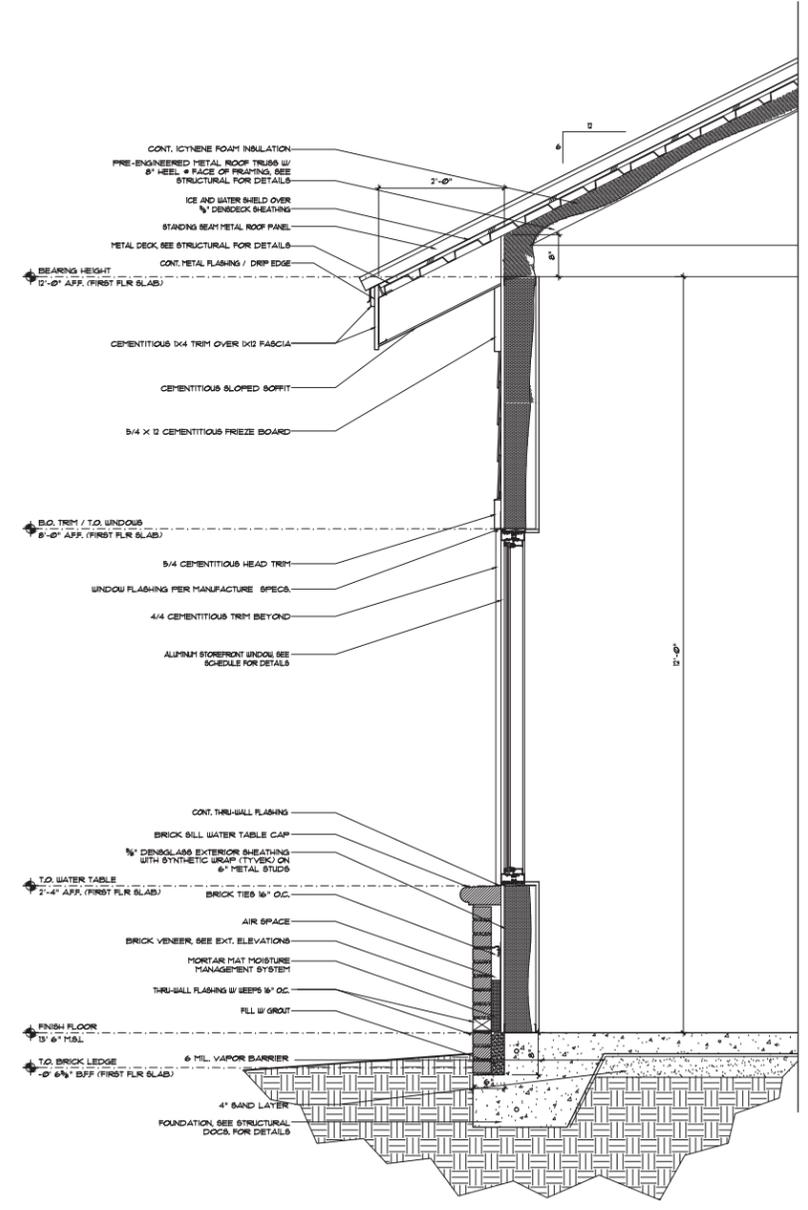
FINAL DRB SUBMITTAL  
 SEA TURTLE MARKETPLACE  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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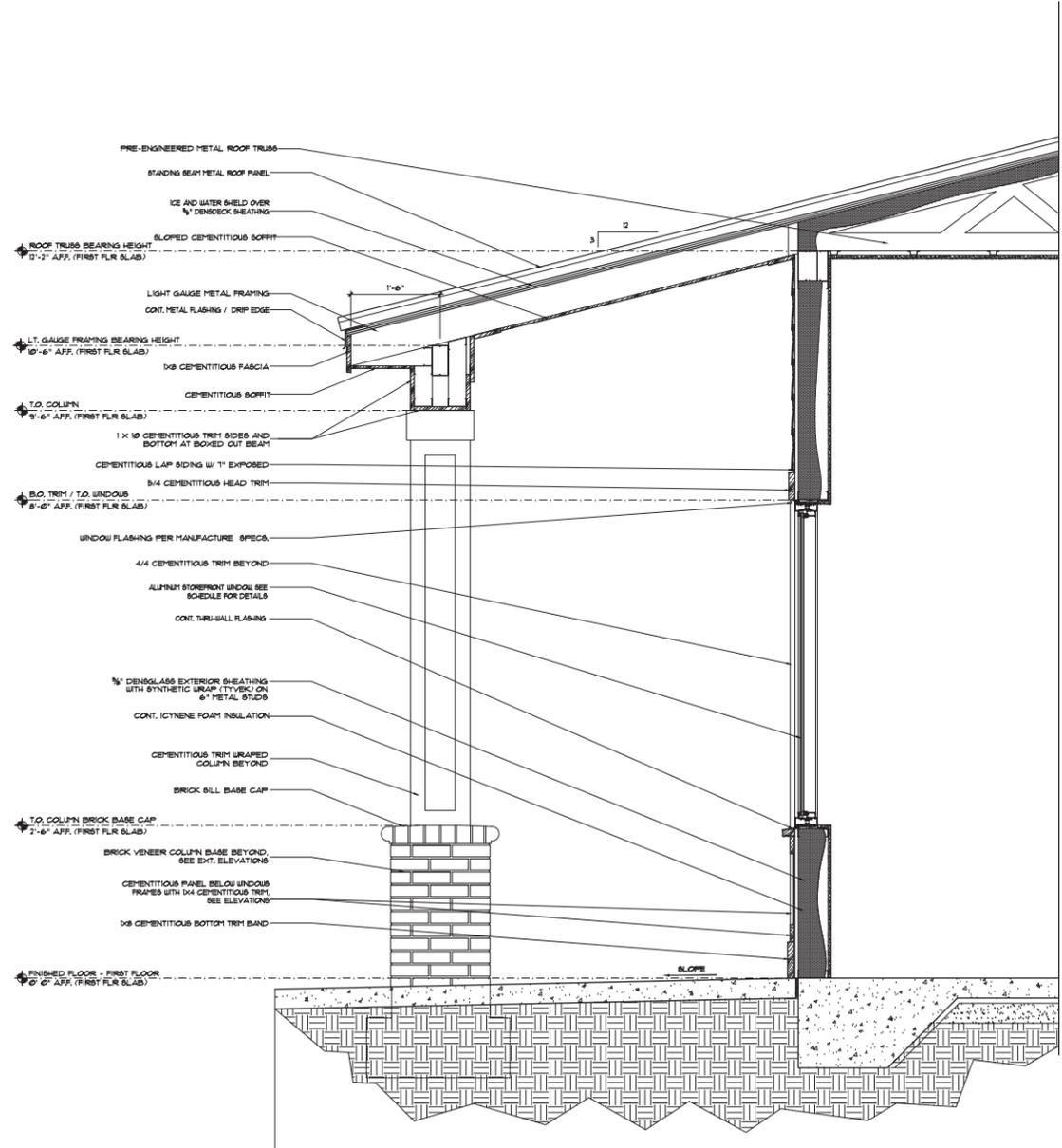
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PROJECT NO. 14-16B
DATE 12/23/2015
DRAWN BY
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SHEET NO. <b>A5.5</b>
DETAILS

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1 BLDG. G TYPICAL WALL DETAIL  
A5.6 SCALE 3/4" = 1'-0"



2 BLDG. F TYPICAL WALL @ COVERED ENTRY  
A5.6 SCALE 3/4" = 1'-0"



**COURT ATKINS ARCHITECTS**  
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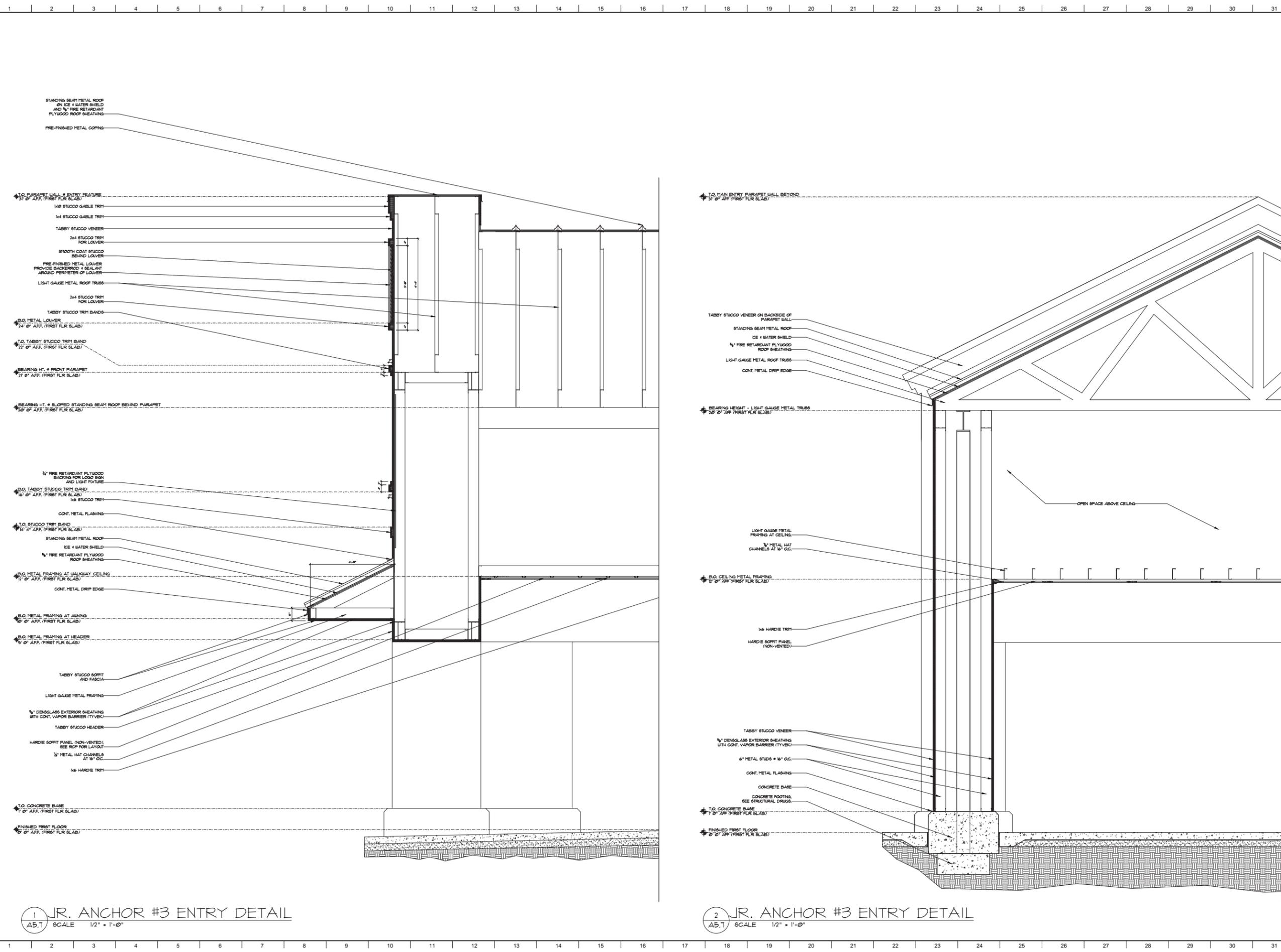
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SHEET NO. A5.6

DETAILS

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FINAL DRB SUBMITTAL  
 SEA TURTLE MARKETPLACE  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC



1 JR. ANCHOR #3 ENTRY DETAIL  
SCALE 1/2" = 1'-0"

2 JR. ANCHOR #3 ENTRY DETAIL  
SCALE 1/2" = 1'-0"

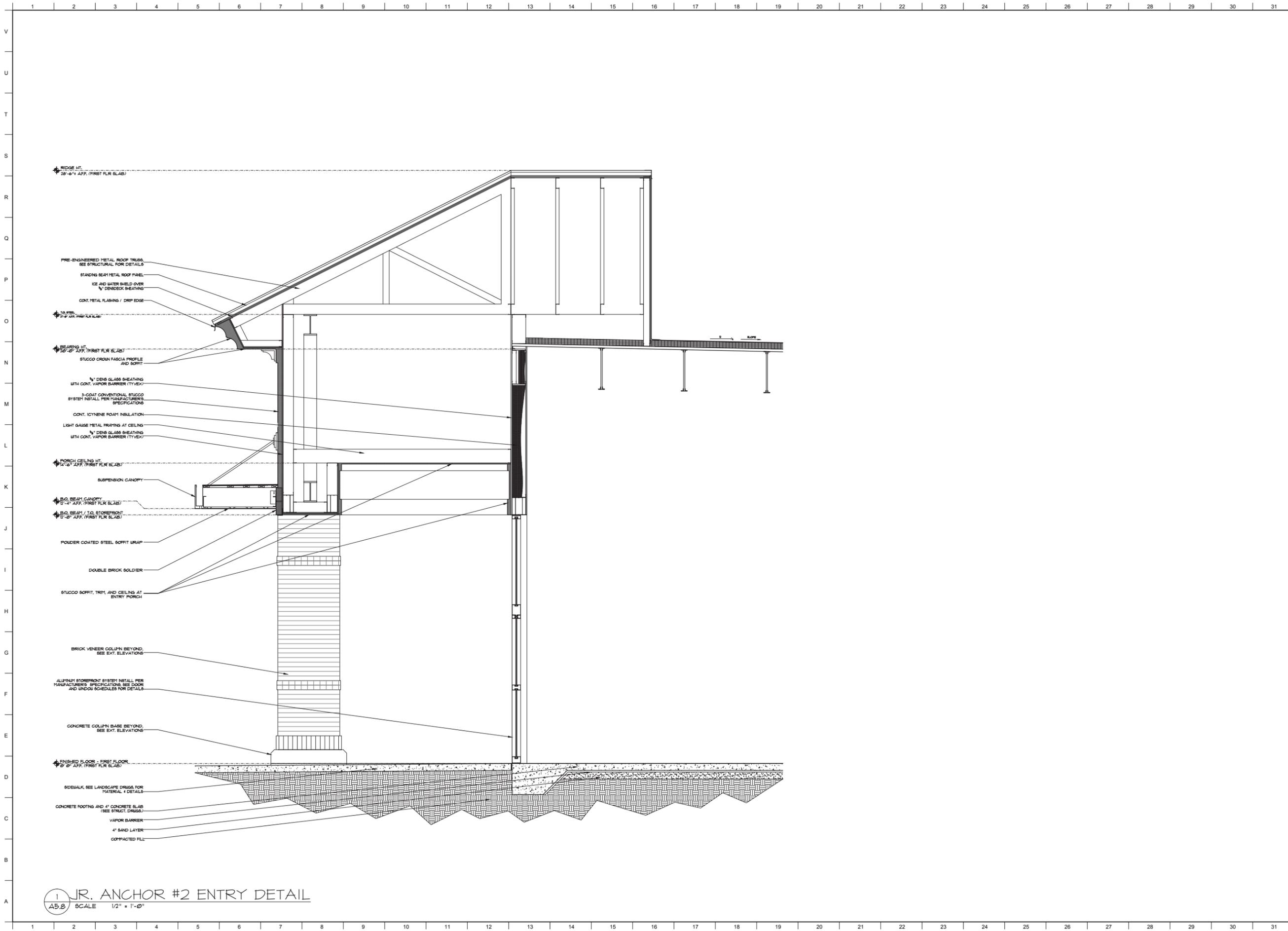


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 SEA TURTLE MARKETPLACE  
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PROJECT NO. 14-168
DATE 12/23/2015
DRAWN BY
CHECKED BY
SHEET NO. <b>A5.7</b>
DETAILS



1 JR. ANCHOR #2 ENTRY DETAIL  
 A5.8 SCALE 1/2" = 1'-0"

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**FINAL DRB SUBMITTAL**  
**SEA TURTLE MARKETPLACE**  
 FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC

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PROJECT NO. 14-168  
 DATE 12/23/2015  
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 CHECKED BY  
 SHEET NO. **A5.8**

DETAILS

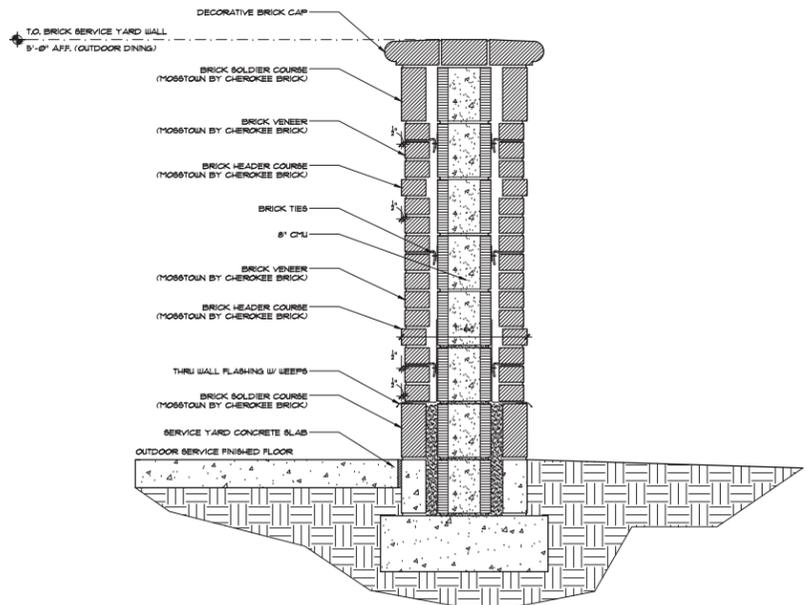




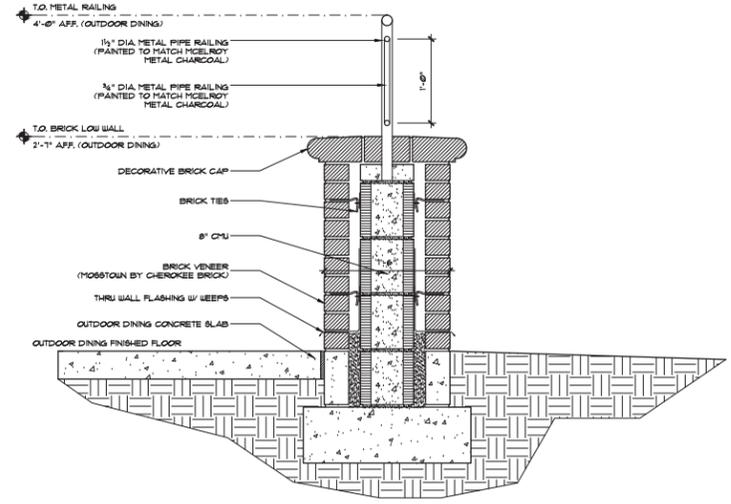








1 BUILDING G & F - SERVICE YARD WALL SECTION  
SCALE 1" = 1'-0"



2 BUILDING F - OUTDOOR DINING WALL SECTION  
SCALE 1" = 1'-0"

FINAL DRB SUBMITTAL  
SEA TURTLE MARKETPLACE  
FORMERLY KNOWN AS PINELAND STATION, HILTON HEAD ISLAND, SC



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PROJECT NO.  
14-16B

DATE  
12/23/2015

DRAWN BY

CHECKED BY

SHEET NO.

A5.9

DETAILS

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sea Turtle Market Place – NEW DEVELOPMENT FINAL

DRB#: DRB-002364-2015

DATE: January 12, 2016

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

1. Provide details for Building F outdoor seating area and service yard.
2. Re-study lighting for more cohesive package with less variety in style of fixture.
3. Submit signage under separate package including Sign System.

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Redevelopment of existing shopping center. Extensive landscaping is proposed in parking lot islands.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Natural materials include tabby and brick.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detail features were added to rear elevations of Junior Anchor buildings per previous comments.
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	More copped roof was added at the left side of Junior Anchor #1. The roofline between Junior Anchor #1

				and #2 was revised to allow the sloped roof line of the covered entry of the retail shop to continue along the front façade of Junior Anchor #2.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The base of the brick entry feature at Building F was made wider and the height of the structure lowered.
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials include tabby stucco veneer, horizontal cementitious lap siding, standing seam metal roofing, aluminum storefront, and brick accents.
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A tabby stucco chimney-like feature was added to the roof to house the kitchen exhaust hood and make up air. Brick screen walls were added to enclose service area.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Decorative lighting includes variety of fixture types and styles. Consider revising lighting and street signs for more cohesive appearance.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dumpster enclosures utilize similar details and same materials as building construction. Information kiosk, education stations, and monument signs complement each other but don't have strong tie to building design/details.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	More shade trees were added to parking lot islands. Live Oaks in parking lot were upsized to 4" cal. Trees.
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Additional plantings were added in existing buffer between William Hilton Parkway and buildings F & G.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Native plants include southern magnolia, live oak, cabbage palmetto, bald cypress, yaupon holly, wax myrtle, saw palmetto, sand cordgrass, and muhly grass.
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D.

requirements for size, species and number				
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<b><i>MISC COMMENTS/QUESTIONS</i></b>
<p>The proposed signs should be considered separately from the New Development - Final application. Per LMO Section 16-5-114.E.e.a.ii, since the sign system includes a freestanding sign larger than 40 square feet, the sign system must be reviewed by the Design Review Board as a Sign. Once DRB approval is obtained, a Sign Permit Application must be submitted to staff for review. Note that the sign permit application materials must include wind load calculations for all NEW freestanding signs over 40 square feet in size.</p>
<p>Per the LMO, the Sea Turtle Marketplace logo is used on building facades throughout the center is a sign. The use of the logo on building facades counts toward the total number of facade signs allowed for each tenant space. Since only one facade sign is allowed on each side of a tenant space in a shopping center, if one Sea Turtle Marketplace logo is displayed on the facade of a tenant space, that will be the only sign allowed on that facade.</p>



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MICHAEL KRONMUS Company: KRA, INC.  
 Mailing Address: 2 VERDIER PLANTATION RD. City: BLUFFTON State: SC Zip: 29910  
 Telephone: 815-2021 Fax: N/A E-mail: MWK@KRA-SC.COM  
 Project Name: PARK LANE OFFICE BLDG. Project Address: 10 PARK LANE  
 Parcel Number [PIN]: R55001500C0242000  
 Zoning District: LIGHT COMMERCIAL Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

\_\_\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_\_\_ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

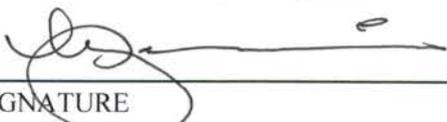
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

12/24/15  
\_\_\_\_\_  
DATE



December 24, 2015

Town of Hilton Head  
Design Review Board  
Atten: Jennifer Ray

**RE: 10 Park Lane – DRB Concept Application**

Jennifer,

This serves as a narrative to the proposed work to be performed. Our client wishes to develop the property for his personal office location. The client has multiple business' and would like to design the property into a compound style layout. Enclosed is the survey, proposed site plan, site analysis, color renderings, elevations and floor plan.

**Site:**

Currently the site is completely wooded with an abundance of trees. The property neighbors a hotel on one side and a church on the other. The Park Lane neighborhood consists of commercial businesses with a simple older lowcountry hilton head design appearance. We would like to place the buldings in a rectangle with a natural congagation center in the middle which would consist of reflection pools and a natural courtyard. All business' interact with each other, so the courtyard would act as a natural gathering place and also the main for of circulation. The idea is to remove as little natural vegetaiton and trees as possible keeping the property wooded. There are multiple stairs accessing the project, and there is also a handicap ramp for ADA access.

**Building:**

The buildings will be placed as previously noted in a rectangle configuration focusing on the central courtyard feature. The main entry building will host reception, restrooms and all public meeting and conference rooms. This will enable all business to utilize one common meeting space. Another building will host a café, gym, locker rooms, showers, restrooms and storage areas. This will enable all employees to gather in one location for recreation and dining. There is an expansive deck for dining and relaxing with great views of the lagoon and golf course beyond. The two remaining buildings will house the multitude of business' that work with each other on a daily basis. There views focus on the courtyard and also the natural exterior vegetation.

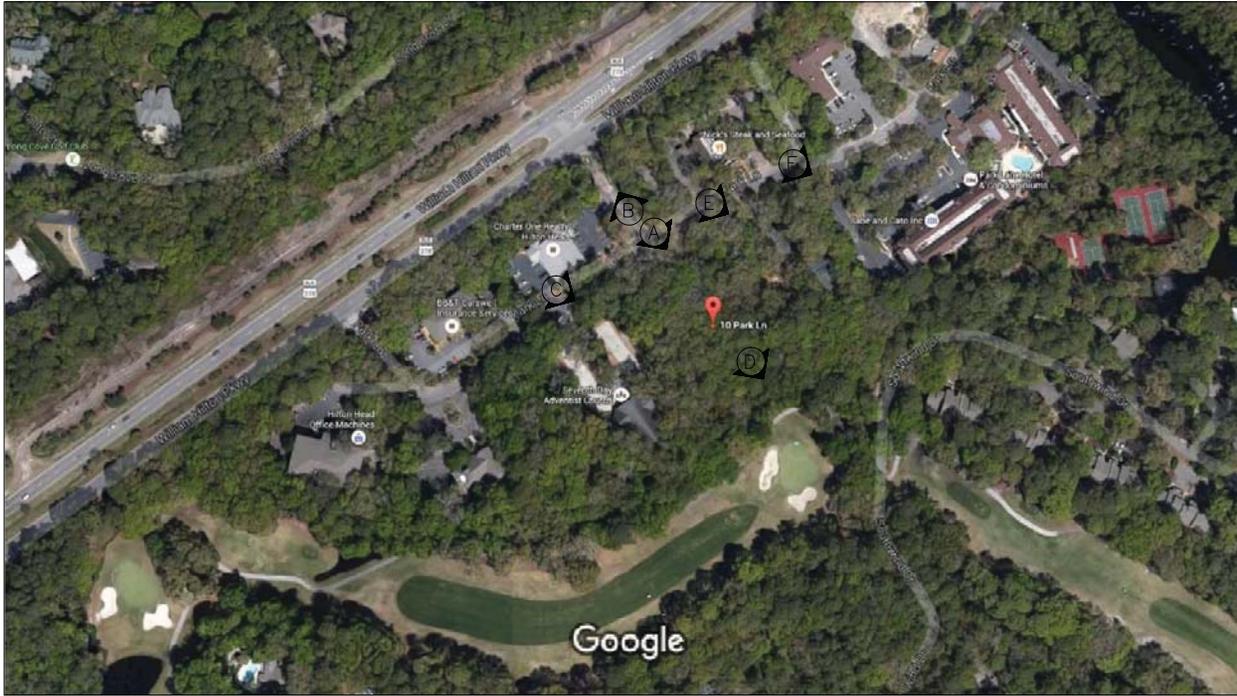
Simple materials are to be used: Tabby, Cypress Siding, Decking, Metal Roofs and Vertical Panels. The colors proposed will be natural and "earthy" to blend into the surroundings.

This concludes our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael W. Kronimus', written over a light blue circular stamp.

Michael W Kronimus  
KRA architecture + design



**F** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



**E** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



**D** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



**C** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



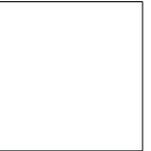
**B** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION



**A** SITE PHOTO  
 EXT SCALE: NO SCALE REFER TO SURVEY FOR LOCATION

# Park Lane Office Building

10 Park Lane  
 Hilton Head, SC



KSA architecture + design

1 843 515 2021  
 P 843 748 8460  
 www.ksa.com  
 KSA architecture + design  
 2 Venture Parkway North  
 Surfside, SC 29576



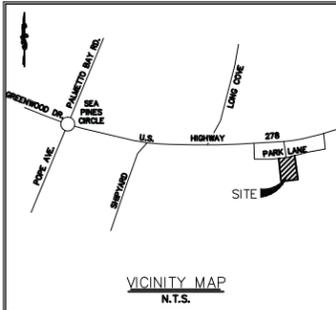
Stamped By: \_\_\_\_\_  
 Drawn By: MKK  
 Checked By: KRG  
 Date: 10.14.15

Revisions	By	Date

Project No: 15146  
 File Name: \_\_\_\_\_  
 Drawing Title: \_\_\_\_\_

## EXISTING SITE PHOTOS

Sheet No. **EX1**  
 Scale: \_\_\_\_\_



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	48.81'	718.00'	24.42'	48.80'	S 56°14'28" W	35°34'42"

LINE TABLE		
LINE	LENGTH	BEARING
L1	3.82'	S 54°18'37" W
L2	24.43'	S 29°37'20" W

**LEGEND:**

CONC.O.	CONCRETE MONUMENT OLD (FOUND)
I.O.	IRON REBAR, OLD (FOUND)
WLAT	WATER LATERAL
WV	WATER VALVE
PH	FIRE HYDRANT
ICV	IRRIGATION CONTROL VALVE
WM	WATER METER
IE	INVERT ELEVATION
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
NTS	NOT TO SCALE
BS	BLACK GUM
C MYT	CRAPPE MYRTLE
G	GUM
LA	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALMETTO
PH	PINE
SAGO	SAGO PALM
WAX	WAX MYRTLE
WD	WATER OAK
LOB	LOBLOLLY PINE
SS	UNDERGROUND POWERLINE
SD	UNDERGROUND TELEPHONE LINE
SW	SANITARY SEWER LINE
ST	STORM DRAIN LINE
W	WATERLINE

N/F HERITAGE GOLF SHIPYARD, LLC (GALLEON GOLF COURSE)  
R550-015-000-2448-0000

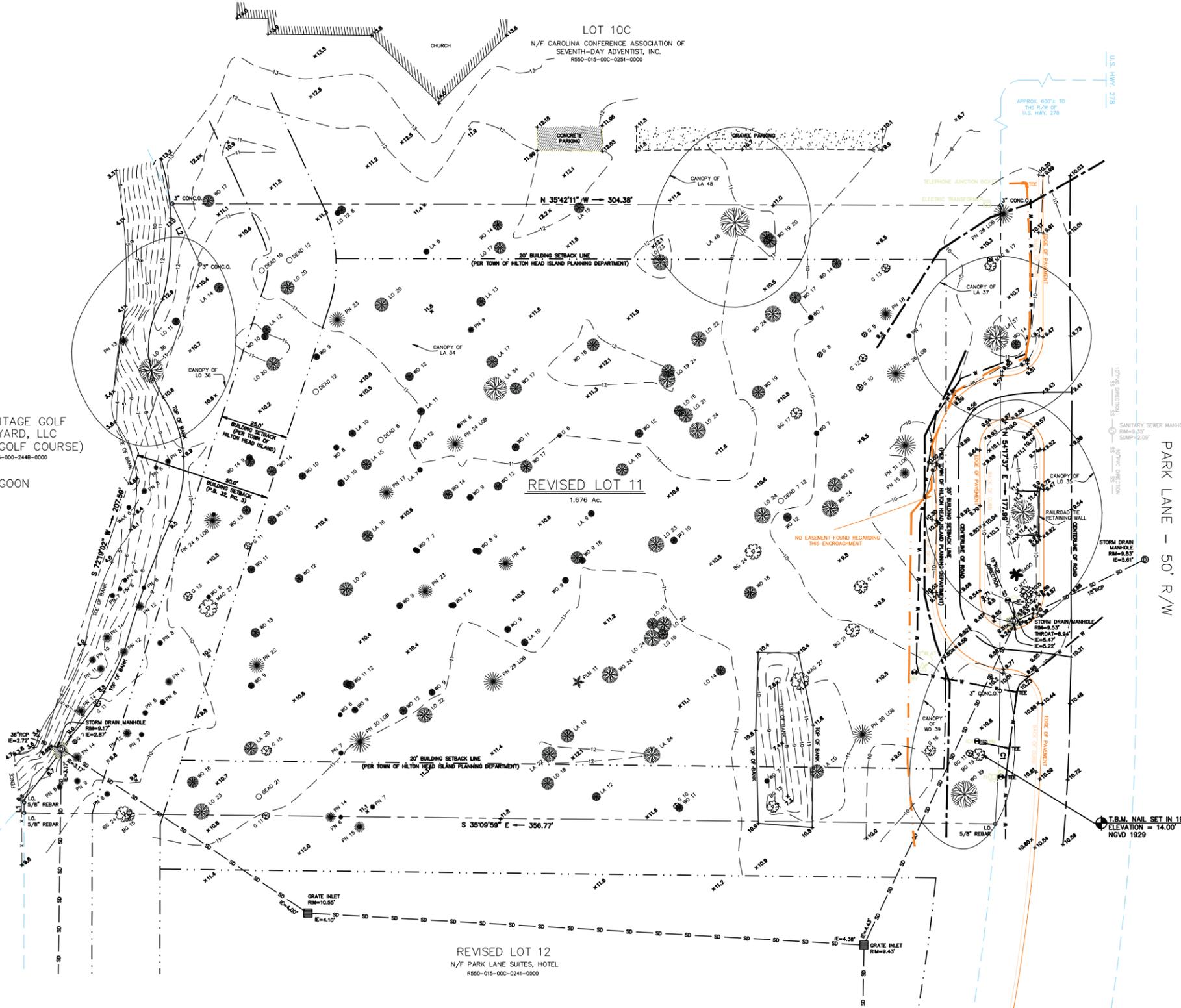
LAGOON

REVISED LOT 11  
1.676 Ac.

REVISED LOT 12  
N/F PARK LANE SUITES, HOTEL  
R550-015-000-0241-0000

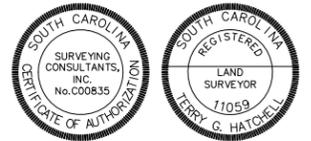
- REFERENCE PLAT:**
- 1) ASSULT PLAT OF VHH PARK LANE, HPR CENTRAL PARK COMMERCIAL CENTER, SHIPYARD PLANTATION, DATED: 7/16/2001; REVISED: 5/28/2003, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 95, PG. 69, 9/11/2003.
  - 2) ALTA/ACSM SURVEY OF THE RADISSON INN, PARK LANE, CENTRAL PARK COMMERCIAL CENTER, SHIPYARD PLANTATION, DATED: 8/16/1998; REVISED: 10/5/1998, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.
  - 3) CENTRAL PARK COMMERCIAL CENTER SUBDIVISION, SHIPYARD PLANTATION, DATED: 8/13/81; REVISED: 9/30/83, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784.
  - 4) LOT 11, CENTRAL PARK COMMERCIAL SUBDIVISION, SHIPYARD PLANTATION, DATED: 3/11/85, BY: ANTOINE VINEL, S.C.R.L.S. NO. 9064.
  - 5) LOT 12, CENTRAL PARK THE RADISSON INN, SHIPYARD PLANTATION, DATED: 2/23/88; REVISED: 3/10/88, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.
  - 6) ALTA/ACSM LAND TITLE SURVEY OF MARRIOTT RESIDENCE INN, VHH PARK LANE HORIZONTAL PROPERTY REGIME, A SECTION OF CENTRAL PARK COMMERCIAL CENTER, SHIPYARD PLANTATION, DATED: 05/30/2008, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059

- NOTES**
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
  - 2) AS PER THE REFERENCE PLAT THIS PROPERTY IS LOCATED IN ZONE A-7, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 13-1, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0'. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
  - 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
  - 4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 5) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASSULT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
  - 6) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.



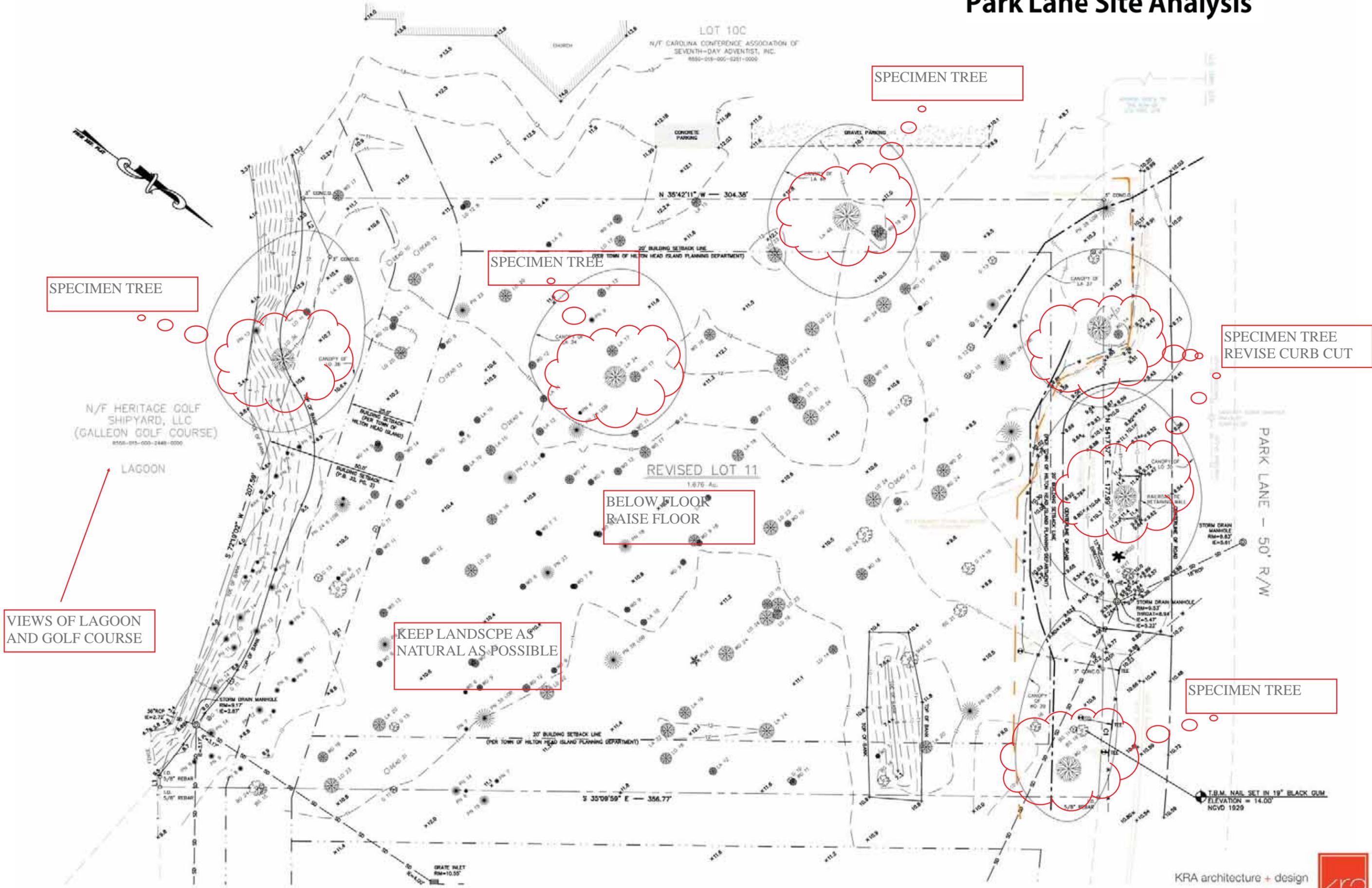
BOUNDARY  
TREE & TOPOGRAPHIC  
SURVEY OF  
**REVISED LOT 11, PARK LANE**  
A SECTION OF  
**CENTRAL PARK COMMERCIAL CENTER**  
**SHIPYARD PLANTATION**  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
SCALE: 1" = 20'    DATE: 12/01/2015    JOB NO: SC85059H

PREPARED FOR: PETER STRAUSS  
ADDRESS: #10 PARK LANE  
TAX PARCEL I.D. NO. R550-015-000-0242-0000



**SC** SURVEYING CONSULTANTS  
17 Sberington Drive, Suite C, Bluffton, SC 29910  
SC Telephone: (843) 816-3304 FAX: (843) 816-3305  
GA Telephone: (912) 896-2776  
www.scsurveyingconsultants.com  
Email: SC@surveyingconsultants.com  
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# Park Lane Site Analysis



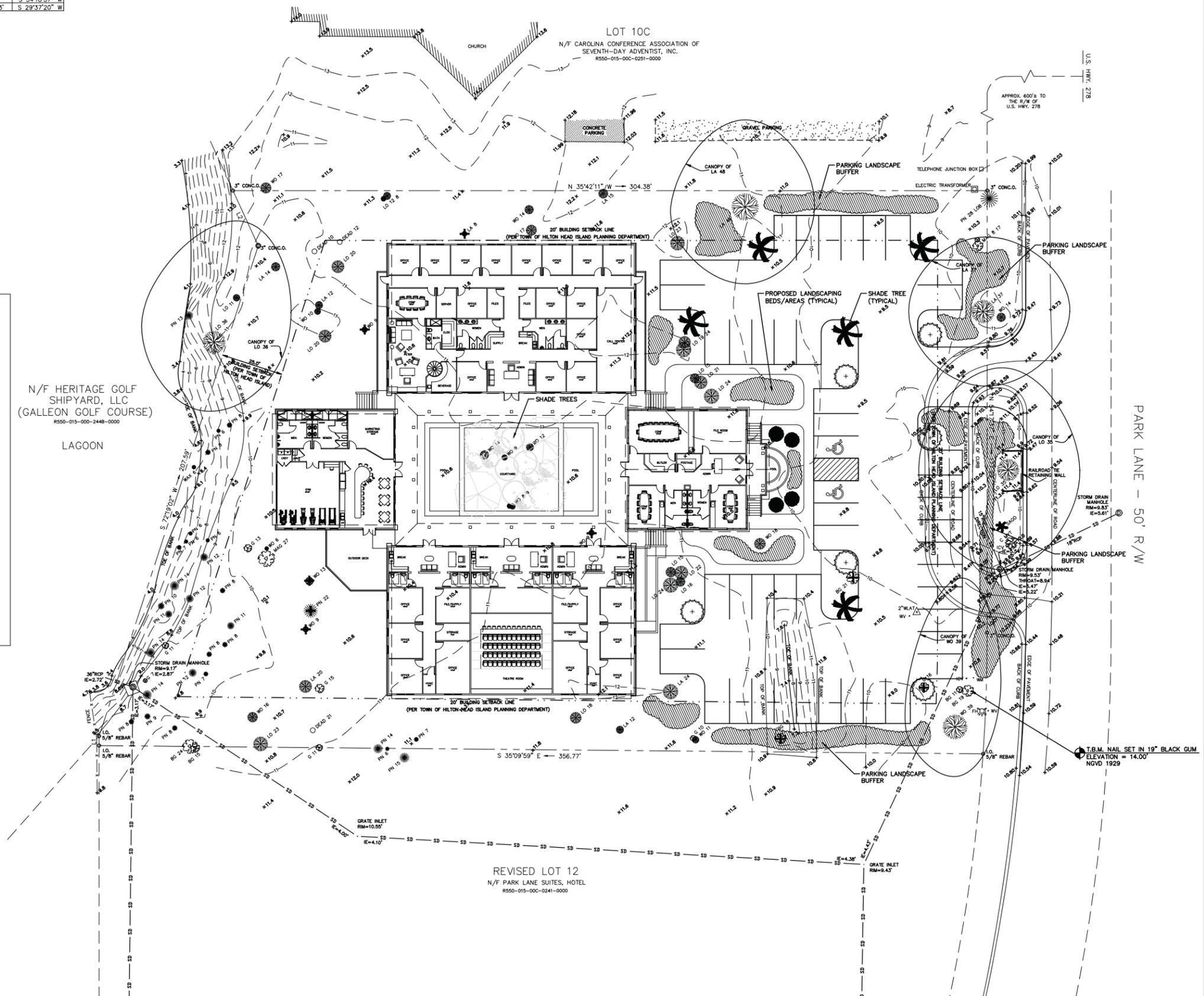
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	48.81'	718.00'	24.42'	48.80'	S 56°14'28" W	3°53'42"

LINE TABLE	
LINE	BEARING
L1	S 54°18'37" W
L2	S 29°37'20" W

**Site Information:**

**Maximum Density:** 10,000 sf / acre  
**Property Acreage:** 1.67  
**Allowable Density:** 16,700 sf  
**Proposed Density:** 16,600 sf  
  
**Height Limit:** 45'-0"  
**Proposed Height:** 32'-0"  
  
**Max. Imp. Coverage:** 60%  
**Proposed Coverage:** 52%  
  
**Zoning District:** LC (Light Commercial)  
**Parking Office:** 1/350 GFA  
**Stalls Required:** 47  
**Stalls Provided:** 47  
  
**Building Setback:** 20'-0"  
**Buffer Setback:** 10'-0"



**Park Lane  
Office Building**

10 Park Lane  
Hilton Head, SC



KRA architecture + design

t 843.815.2021  
f 843.706.9480  
www.krac.com

KRA architecture + design  
2 Verdier Plantation Road  
Bluffton, SC 29910

Stamped By:

Drawn By: MWK

Checked By: KRG

Date: 10.14.15

Revisions

No.	Description

Project No. 15146

File Name:

Drawing Title:

**SITE PLAN**

Sheet No. **AS1.0**

Scale: 1"=20'

# Park Lane Office Building

10 Park Lane  
Hilton Head, SC



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Bluffton, SC 29910

Stamped By:

Drawn By: *mmk*

Checked By: *krc*

Date: 10.14.15

Revisions

NO.	DESCRIPTION	DATE

Project No. 15146

File Name:

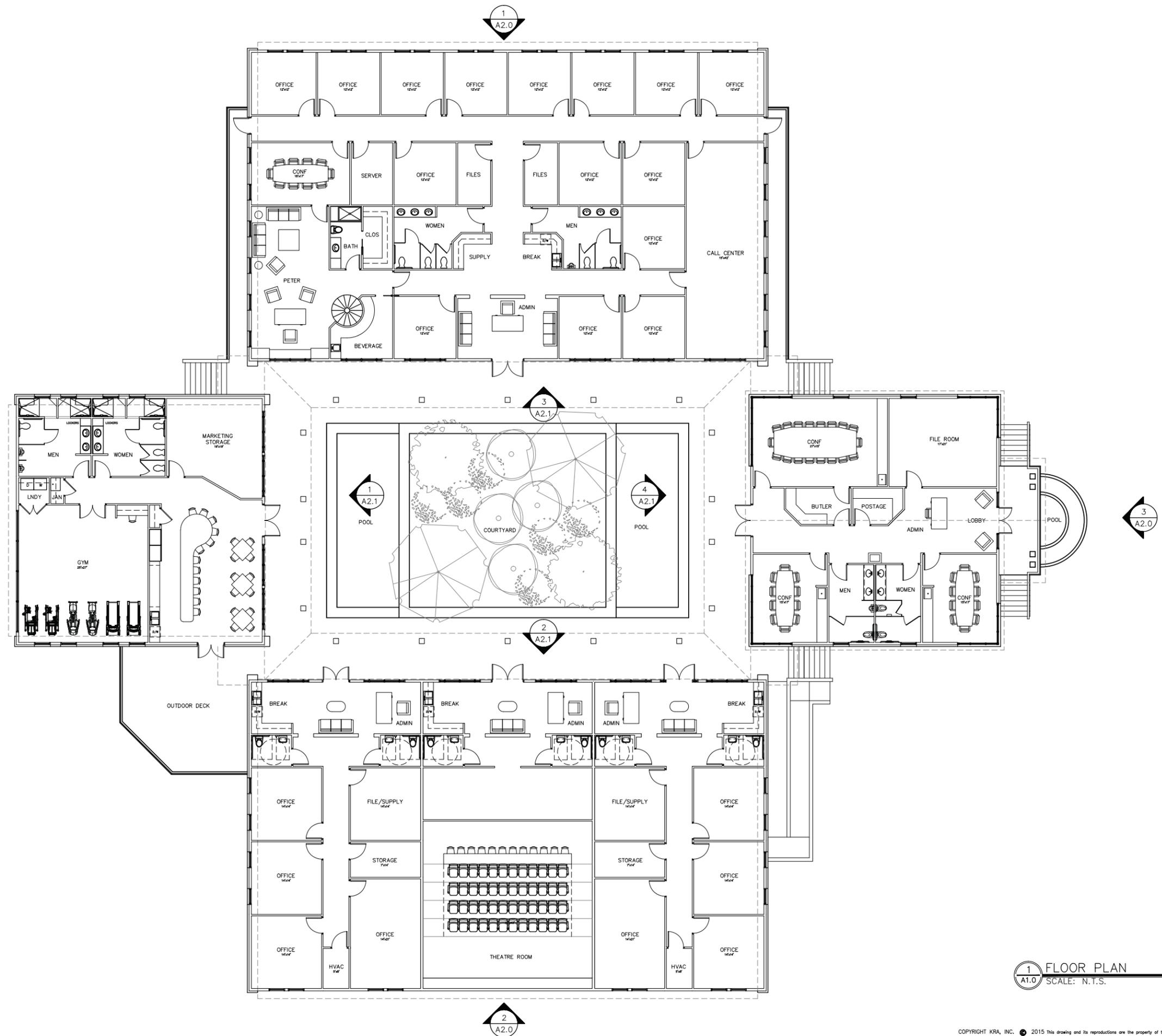
Drawing Title:

**FLOOR PLAN**

Sheet No.

**A1.0**

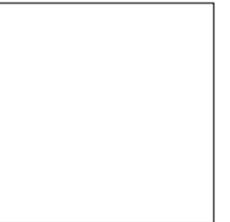
Scale:



**1** FLOOR PLAN  
A1.0 SCALE: N.T.S.

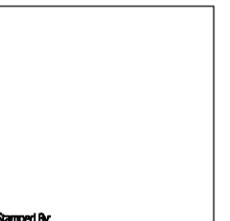
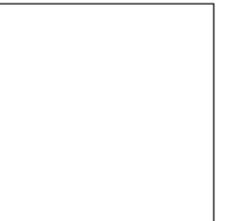
Park Lane  
Office Building

10 Park Lane  
Hilton Head, SC



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Stamped By:

Drawn By: *wmk*

Checked By: *krc*

Date: 10.14.15

Revisions

NO.	DESCRIPTION	DATE

Project No. 15146

File Name:

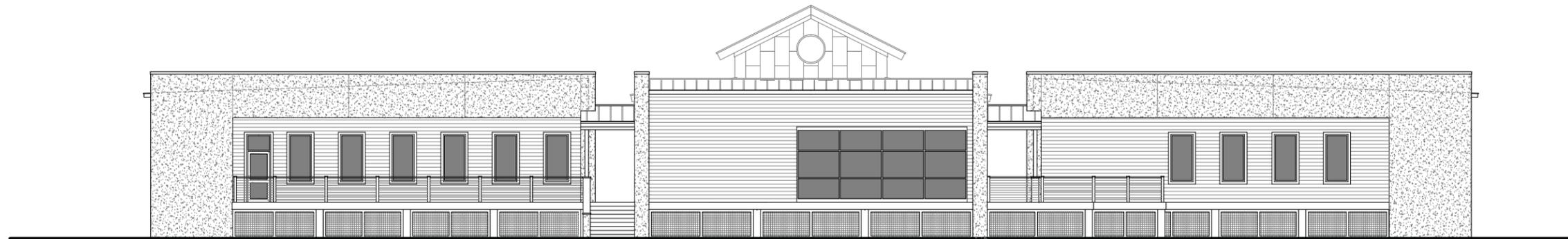
Drawing Title:

ELEVATIONS

Sheet No.

A2.0

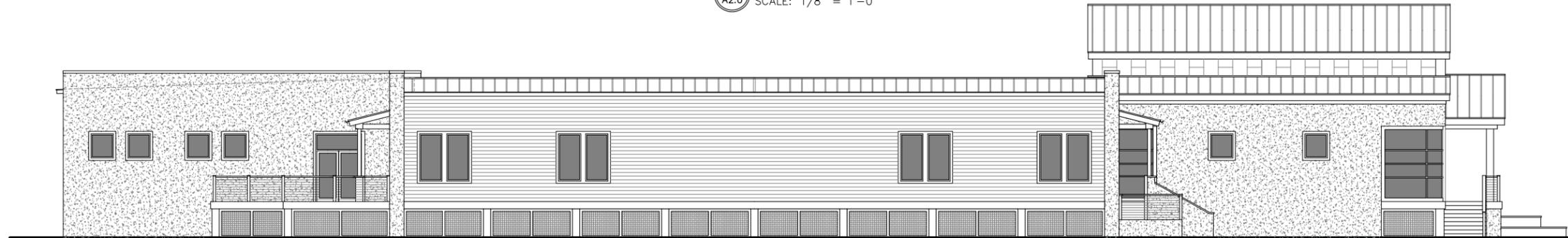
Scale:



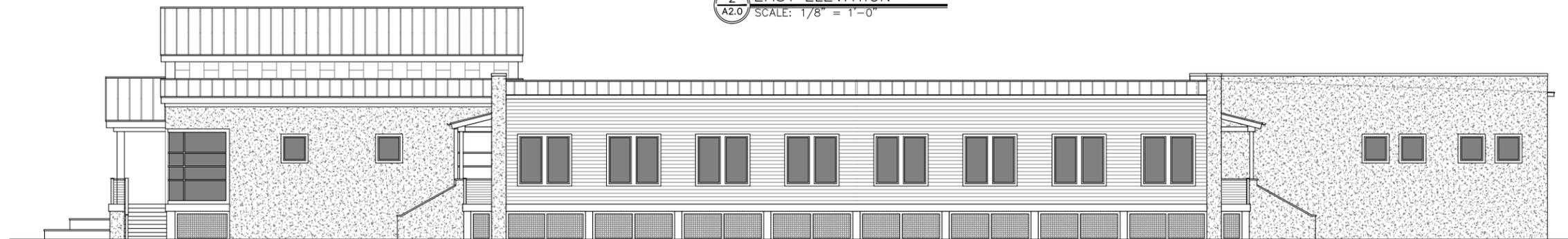
4 SOUTH ELEVATION  
A2.0 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION  
A2.0 SCALE: 1/8" = 1'-0"



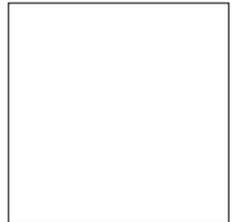
2 EAST ELEVATION  
A2.0 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
A2.0 SCALE: 1/8" = 1'-0"

**Park Lane  
Office Building**

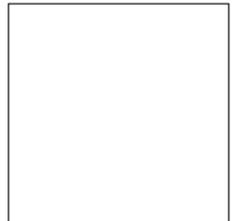
10 Park Lane  
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Bluffton, SC 29910



Stamped By:

Drawn By: *mmk*

Checked By: *krc*

Date: 10.14.15

Revisions

Rev	Description

Project No. 15146

File Name:

Drawing Title:

**ELEVATIONS  
RENDERINGS**

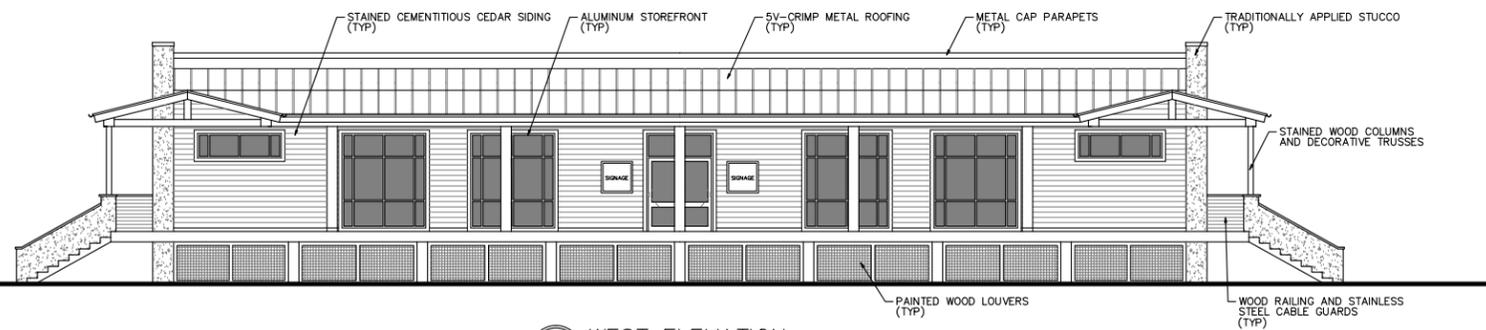
Sheet No.

**A2.1**

Scale:



**4 NORTH ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
A2.1 SCALE: 1/8" = 1'-0"



**B DESIGN INSPIRATION**  
A2.1 SCALE: NO SCALE



**A DESIGN INSPIRATION**  
A2.1 SCALE: NO SCALE

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Park Lane Office Building – NEW DEVELOPMENT  
CONCEPTUAL

DRB#: DRB-002368-2015

DATE: January 12, 2016

RECOMMENDATION: Approval  Approval with Conditions

RECOMMENDED CONDITIONS:

1. Project does not meet the intent of the Design Guide (removal of large amount of existing trees, form, roof pitch, context, detail, etc.) or requirements of the LMO (parking space layout/backing, stormwater retention, specimen tree canopy impacts, etc.) and therefore should return to the Board for another Conceptual review before advancing to Final.

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Multiple pedestrian access points and gathering spaces and wide porches around courtyard
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Majority of trees will be removed for buildings and parking.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	“Earthy colors”; tabby, cypress siding, decking, metal roofs, and vertical panels
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Mostly flat roof.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No specified.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Generous overhang at courtyard elevations.
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Within courtyard
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	“Earthy colors”; tabby, cypress siding, decking, metal roofs, and vertical panels
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Very simple, almost plain
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown for conceptual submittal.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown for conceptual submittal. Lighting plan and cut sheets will be required for final submittal.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***LANDSCAPE DESIGN***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping should be of size & scale to balance the mass of the building and the extent of paved surfaces.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Will be hard to get in required mitigation plantings with mass of building and trees to remain
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site’s structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Trees on rear and sides of buildings are proposed to remain. Majority of trees on site are proposed to be removed due to building and parking lot construction.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T.B.D. It appears that it will be difficult to provide mitigation for tree removal.
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

60% of building entrances are required to be accessible per IBC section 1105. A second ramp is required to meet this section, or another approved accessible entrance.
The theater room is an assembly occupancy and is required to have a minimum of two exits located remote from each other. This could affect the exterior

appearance of this building depending on how they make the correction on this item.
No stormwater retention/detention is shown on site. If required per LMO this will affect site plan.
This project requires a Development Plan Review Application.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Barry H. Taylor, AIA Company: FWA Group  
 Mailing Address: P.O. Box 5910 City: HHI State: SC Zip: 29938  
 Telephone: 843-785-2199 Fax: 843-785-6801 E-mail: b.taylor@fwagroup.com  
 Project Name: HHI-IRC Additions and Renovations Project Address: 20 Wilborn Road  
 Parcel Number [PIN]: R 510 007 000 0227 0000  
 Zoning District: RM-8 Moderate Density Overlay District(s): Corridor Overlay District (COR)

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:  
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

- Additional Submittal Requirements:  
**Concept Approval – Proposed Development**  
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design. (Site Plan)  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Barry Taylor /mj.  
SIGNATURE

December 28, 2015  
DATE

**Hilton Head Island – Island Recreation Center Additions and Renovations  
Design Review Board Narrative  
Meeting Date: January 12, 2016**

The Island Recreation Center, located at 20 Wilborn Road on the Hilton Head Island School campus, is currently housed in a building constructed in 1988. The land the Center is located on is leased from the Beaufort County School District on a long term basis and is zoned RM-8 Moderate Density. The existing facility includes a gymnasium with bleachers, two classrooms, miscellaneous offices, an indoor/outdoor pool, three outdoor basketball courts, a playground and play fields. The center runs a pre-school day program and afterschool and summer programs for school age children along with sports programs for all ages, adults and children alike.

The center also operates the only public pool facility on the island. It provides swimming and water exercise opportunities for all ages as well as a place for local private swim teams and the HHI High School swim teams to practice and hold competitions. The pool operates year round by incorporating the use of an air supported dome structure to enclose the pool area during the winter season.

The FWA Group is currently working with the Center staff under the direction of the Town of Hilton Head Island to upgrade their current outdated facilities. The project includes upgrades to the existing gymnasium, office areas, classrooms, and toilets. The existing building will also feature new HVAC systems and new windows and doors.

New Building construction will include:

1. Full size gymnasium with retractable bleachers;
2. registration/office areas;
3. vending/snack area;
4. community and fitness rooms;
5. a second floor running track and exercise areas;
6. pool office/storage buildings; and
7. pool toilet building.

In addition, site features will include approximately (88) additional parking spaces on School Road (at the existing tennis court location); approximately (44) additional parking spaces off Wilborn Road; (6) relocated tennis courts; a relocated ROTC drill pad; new fenced playground equipment; new pool deck and pool dome; and additional field lighting for an existing field on the school property.

The proposed new building construction will be approximately 31,000 square feet within two stories with 15,000 in renovated existing space. Exterior support areas make up an additional 2,500 square feet.

The facility's front entry, located on the south side of the building facing School Road and new parking, will feature a gathering space and pedestrian friendly features including bike racks, seating areas and a combination of planting areas and green spaces.

Construction is proposed to be a combination of CMU wall construction and steel framing. Roof is a metal truss system with areas of flat and pitched roofs. Exterior brick and stucco finishes will generally match the existing building in color and texture. A standing seam metal roof on the pitched roofs will match the existing in color. The second floor will be open to the first floor and translucent wall panels at clerestory elevations will allow light to penetrate all areas of the building. Because a significant number of windows are located on the south building elevations, use of louvered panels to reduce glare and heat build-up will be incorporated.

Most new construction, both building and site features, will be located on existing open fields and existing courts which minimizes the number of trees to be removed. No significant trees are noted to be removed.

This project is aiming to be certified as a LEED (Leadership in Energy & Environmental Design) Silver Building making significant efforts to focus on sustainability and "green" building techniques.

# Hilton Head Island - Island Recreation Center Additions and Renovations

Project Area and Existing Building Photographs  
Design Review Board (DRB) Conceptual Submittal  
January 12, 2016 Meeting Date



Existing Island Recreation Center (IRC) main entry.



North side of IRC building and property at existing basketball courts (to remain). New addition is to be located just east of the existing building (center of photo) beyond the courts.

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



View of south and east side of existing IRC building with play fields in the foreground.



Existing tennis courts to be relocated and location of new parking along School Road. Existing pool dome is seen beyond (right side of photo).

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



School play fields and associated outbuildings located across Wilborn Road (northwest) from the existing IRC.



School play fields and elementary school building located across School Road (southwest) of IRC.

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



Elementary School main entrance south of the IRC.



High School gymnasium and existing ROTC drill pad located southeast of the IRC. Existing drill pad is to be relocated.

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



High School Cultural Center main entrance located southeast of the IRC.



High School main entrance located southeast of the IRC.

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



Middle School main entrance located on the school campus northeast of the High School building.



Elementary School main entrance located on the school campus south of the High School building.

Hilton Head Island – Island Recreation Center Additions and Renovations  
Project Area and Existing Building Photographs  
DRB Conceptual Submittal  
January 12, 2016 Meeting Date



Elementary School main entrance located on the school campus southeast of the IRC.



Church located along Hwy. 278 and Bus Drive southwest of the school campus.





**LEGEND & SYMBOLS:**

TREE SIZES ARE INCHES IN DIAMETER	SPOT ELEVATION	ELECTRIC SERVICE
3" CONCRETE MONUMENT FOUND	CONTOUR	ELECTRIC TRANSFORMER
TEMPORARY BENCH MARK	INVERT ELEVATION	TELEPHONE SERVICE
FINISHED FLOOR ELEVATION	CORRUGATED PLASTIC PIPE	TELEVISION SERVICE
POLYVINYL CHLORIDE	REINFORCED CONCRETE PIPE	WATER METER
HIGH DENSITY POLYETHYLENE PIPE	LIVE OAK	VALVE BOX
LAUREL OAK	MAGNOLIA	IRRIGATION CONTROL VALVE
RED OAK	PINE	SANITARY MANHOLE
WATER OAK	CYPRESS	STORM MANHOLE
WAX MYRTLE	CEDAR	FIRE HYDRANT
CELESTINE	TURKEY OAK	UTILITY POLE
GUM	TUPelo	GUY
BIRCH	BIRCH	SIGN
HOLLY	HOLLY	LIGHT POLE
COTTON WOOD	COTTON WOOD	FLOOD LIGHT
		CATCH BASIN
		LP TANK (UNDERGROUND)

R510 007 000 0118 0000  
BEAUFORT COUNTY SCHOOL DIST  
PO DRAWER 309  
BEAUFORT SC 29901-0309

R510 007 000 0227 0000  
BEAUFORT COUNTY SCHOOL DIST  
PO DRAWER 309  
BEAUFORT SC 29901-0309

**ISLAND RECREATION CENTER  
LEASE AREA**

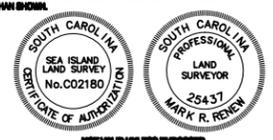
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R510 007 000 0118 0000  
BEAUFORT COUNTY SCHOOL DIST  
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BEAUFORT SC 29901-0309

**NOTES:**

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
- 5) VERTICAL DATUM IS NAVD88.
- 6) CONTOUR INTERVAL IS 1'.
- 7) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 8) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
- 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

I HEREBY STATE THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY DATA HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL STATUTES APPLICABLE FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND I RESERVE OR EXCESS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.



**SHEET 2 OF 5 SHEETS**  
**ASBLUIT, TREE AND TOPOGRAPHIC SURVEY OF:**  
**THE ISLAND RECREATION CENTER AREA,**  
**HILTON HEAD ISLAND,**  
**BEAUFORT COUNTY, SOUTH CAROLINA**  
**PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND**

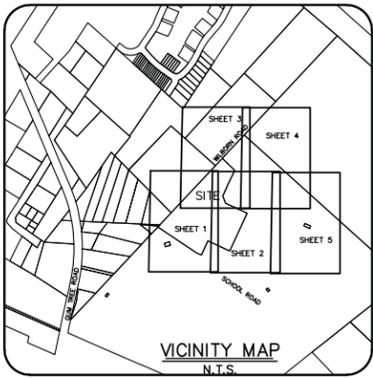
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UPDATED: 2/17/15  
SCALE: 1" = 20'



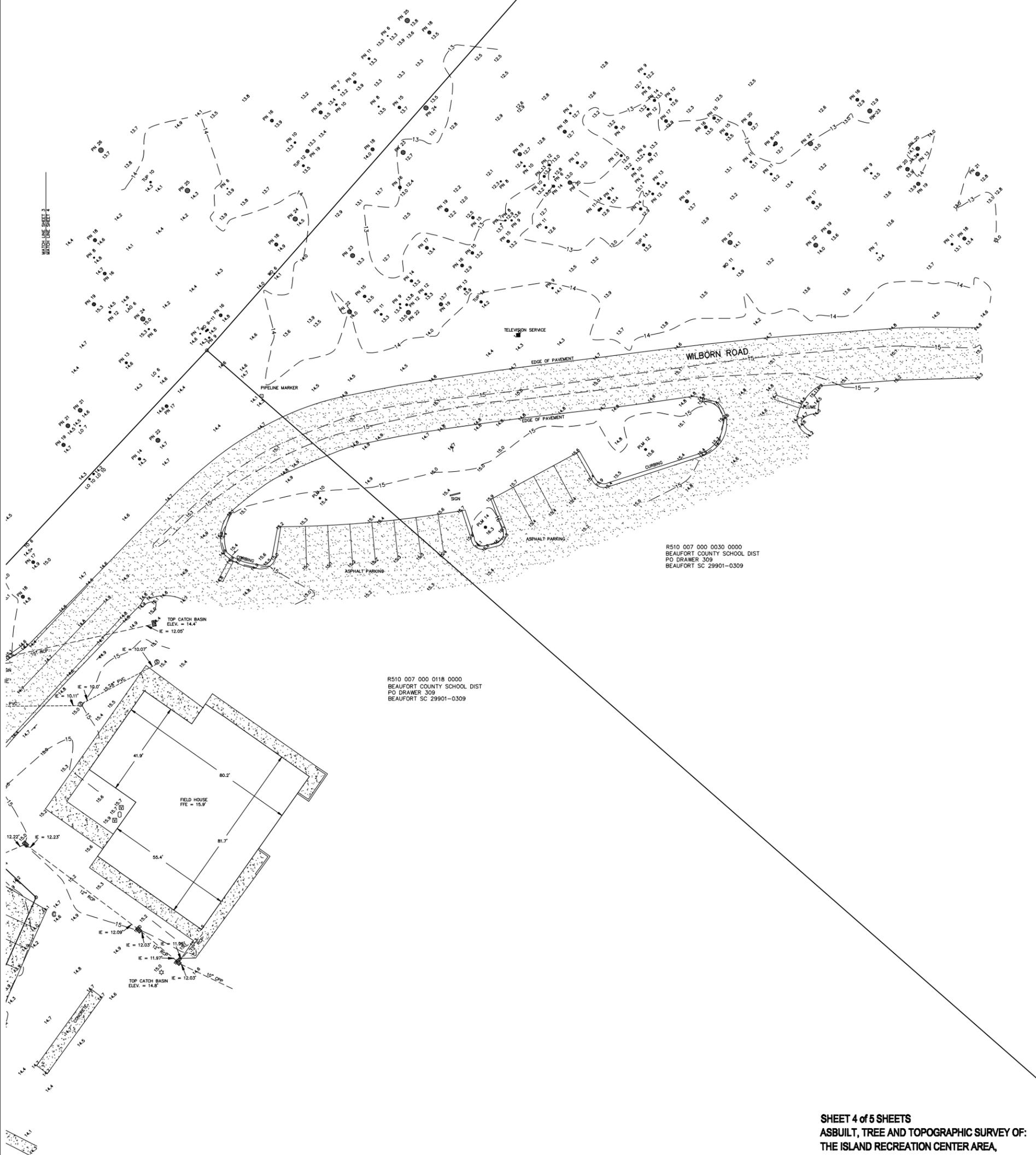
**SILS** Sea Island Land Survey, LLC.  
4D Mathews Court,  
Hilton Head Island,  
SC 29928  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: sils@sprynet.com  
FILE No: 14188/2  
JOB ORDER NO. 105A  
DWG No.: 6-1038  
COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. CAD: BA, FLR: WRD

ADDRESS: 18 WILBORN ROAD  
DISTRICT: 510, MAP: 7 & 7D, PARCEL: VARIOUS  
THIS PROPERTY LIES IN F.E.M.A. ZONE C  
BASE FLOOD ELEVATION = NO MINIMUM ELEVATION  
COMMUNITY NO. 450250, PANEL 0008D, DATED: 9/29/88





R510 007 000 0005 0000  
 SEAHAWK HOLDINGS LLC  
 19 BAYLEY POINT LANE  
 HILTON HEAD ISLAND SC 29926



R510 007 000 0030 0000  
 BEAUFORT COUNTY SCHOOL DIST  
 PO DRAWER 309  
 BEAUFORT SC 29901-0309

R510 007 000 0118 0000  
 BEAUFORT COUNTY SCHOOL DIST  
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 BEAUFORT SC 29901-0309

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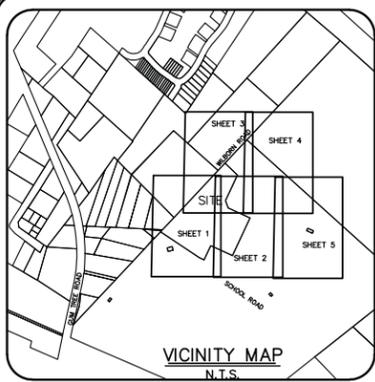
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 DISTRICT: 510, MAP: 7 & 7D, PARCEL: VARIOUS  
 THIS PROPERTY LIES IN F.E.M.A. ZONE C  
 BASE FLOOD ELEVATION = NO MINIMUM ELEVATION  
 COMMUNITY NO. 480250, PANEL 00080, DATED: 8/28/88

SHEET 4 of 5 SHEETS  
 ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
 THE ISLAND RECREATION CENTER AREA,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: THE TOWN OF HILTON HEAD ISLAND

DATE: 12/03/14  
 UPDATED: 2/17/15  
 SCALE: 1" = 20'



**SILS** Sea Island Land Survey, LLC.  
 4D Mathews Court, Hilton Head Island, SC 29926  
 Tel: (843) 681-3248  
 Fax: (843) 688-3871  
 E-mail: sils@sprynet.com  
 FILE No: 14188/2  
 JOB ORDER NO. 105A  
 DWG No.: 6-1038  
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MATCH LINE SHEET 2  
MATCH LINE SHEET 5



LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER	⊗ ELECTRIC SERVICE
SPOT ELEVATION	⊕ ELECTRIC TRANSFORMER
CONTOUR	☎ TELEPHONE SERVICE
CMFB 3" CONCRETE MONUMENT FOUND	☎ TELEVISION SERVICE
TBM TEMPORARY BENCH MARK	⊠ WATER METER
IE INVERT ELEVATION	⊠ VALVE BOX
PVC POLYVINYL CHLORIDE	⊠ IRRIGATION CONTROL VALVE
CPP CORRUGATED PLASTIC PIPE	⊠ SANITARY MANHOLE
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LAO LAUREL OAK	⊠ GUY
MAG MAGNOLIA	⊠ SIGN
RO RED OAK	⊠ LIGHT POLE
PN PINE	⊠ FLOOD LIGHT
PLM PALM	⊠ CATCH BASIN
WO WATER OAK	⊠ LP TANK (UNDERGROUND)
CYP CYPRESS	
WAX WAX MYRTLE	
CED CEDAR	
TO TURKEY OAK	
G GUM	
TUP TUPelo	
BIR BIRCH	
HOL HOLLY	
HIC HICKORY	
CW COTTON WOOD	

- NOTES:
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 BASE FLOOD ELEVATION = NO MINIMUM ELEVATION  
 COMMUNITY NO. 450250, PANEL 0008D, DATED: 9/29/88

SHEET 5 of 5 SHEETS  
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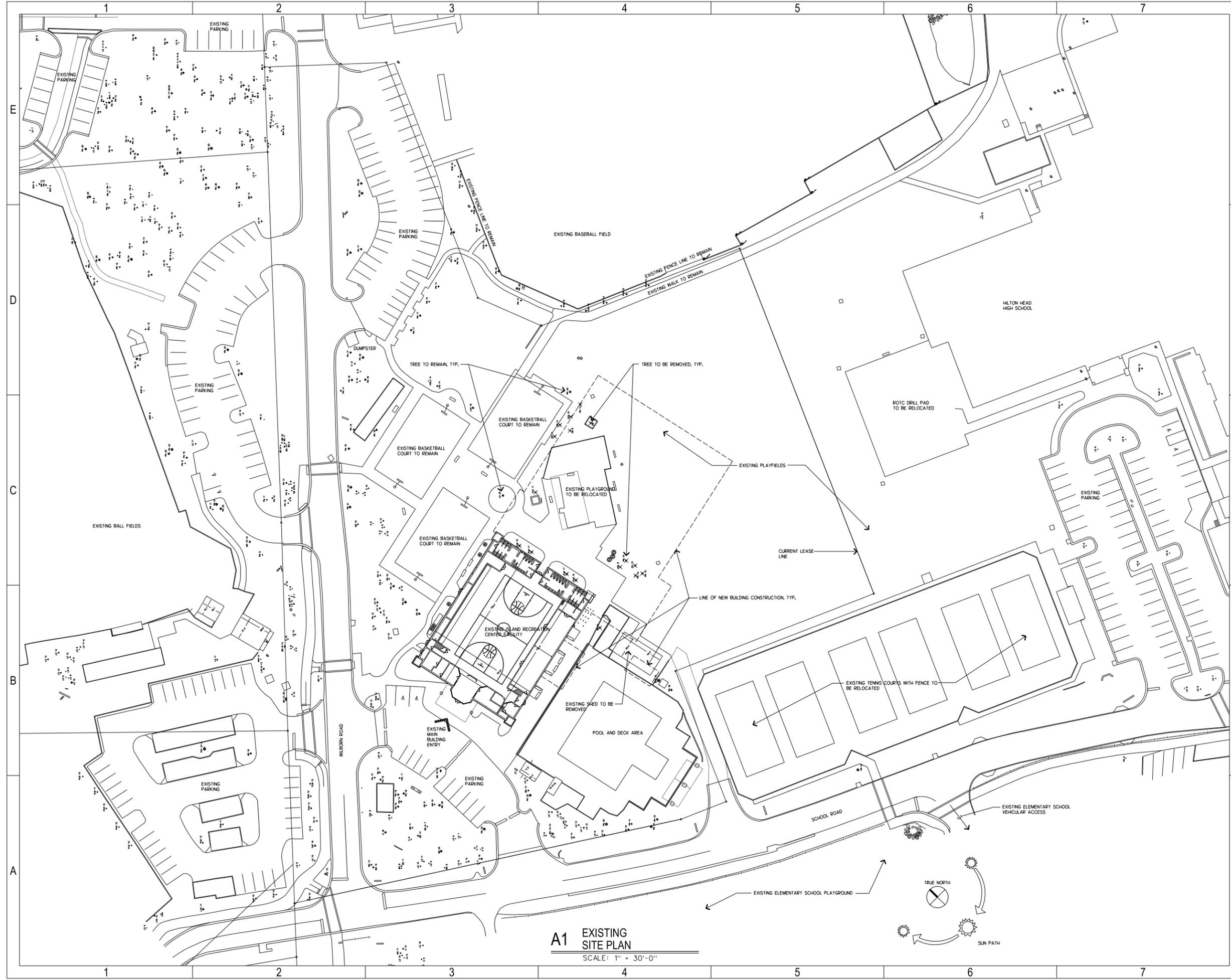
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## ISLAND RECREATION ASSOCIATION EXPANSION

Town of Hilton Head Island  
Hilton Head Island, South Carolina

MARK	DATE	DESCRIPTION
	12/29/15	CONCEPTUAL DRB SUBMITTAL

PROJECT NO: FWA 2456.01

DRAWN BY: MJR  
APPROVED BY: BHT

THESE DRAWINGS AND THE PROJECT MANUAL ARE INSTRUMENTS OF SERVICE AND REMAIN THE PROPERTY OF THE FWA GROUP ARCHITECTS. UNAUTHORIZED DUPLICATION OR REUSE WITHOUT WRITTEN CONSENT IS PROHIBITED.

SHEET TITLE

EXISTING SITE PLAN / SITE ANALYSIS

SHEET NUMBER

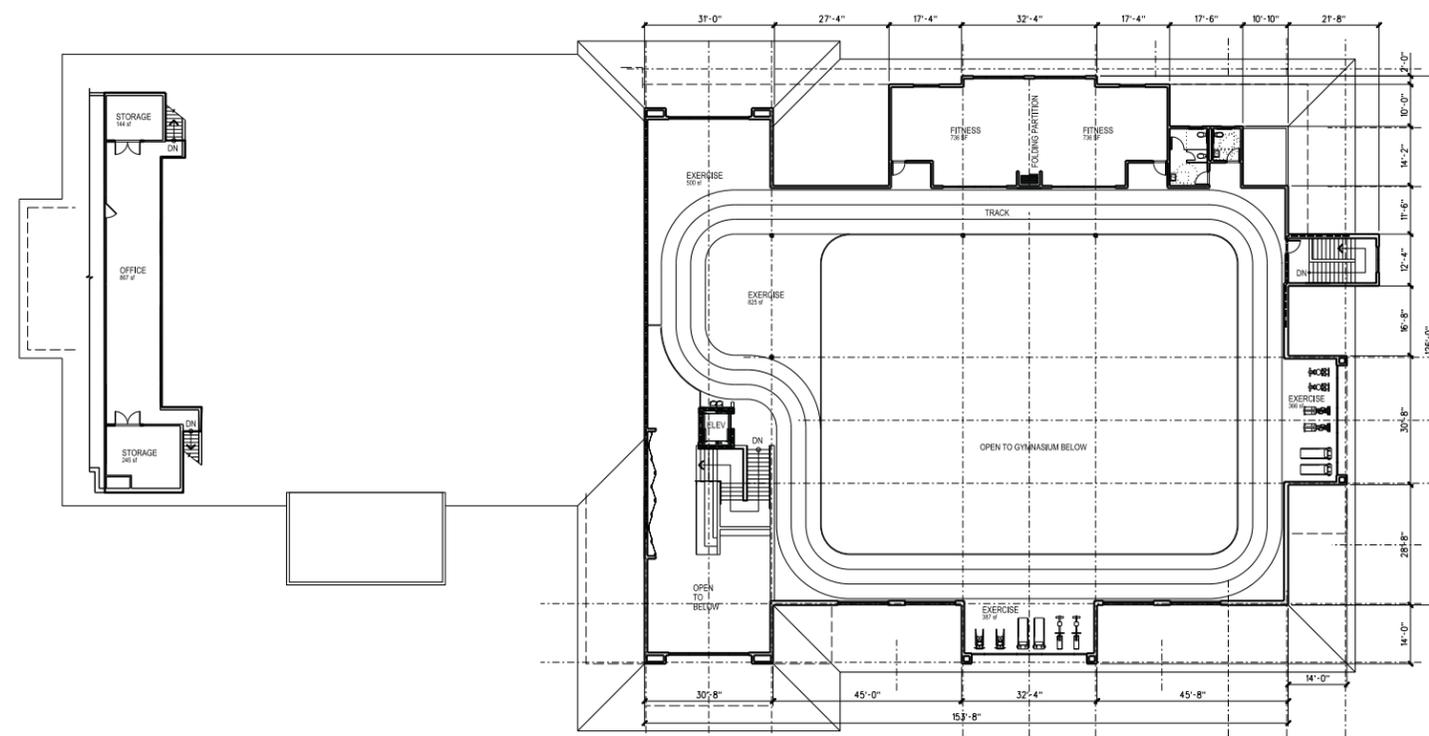
# AS-100

**A1** EXISTING SITE PLAN  
SCALE: 1" = 30'-0"

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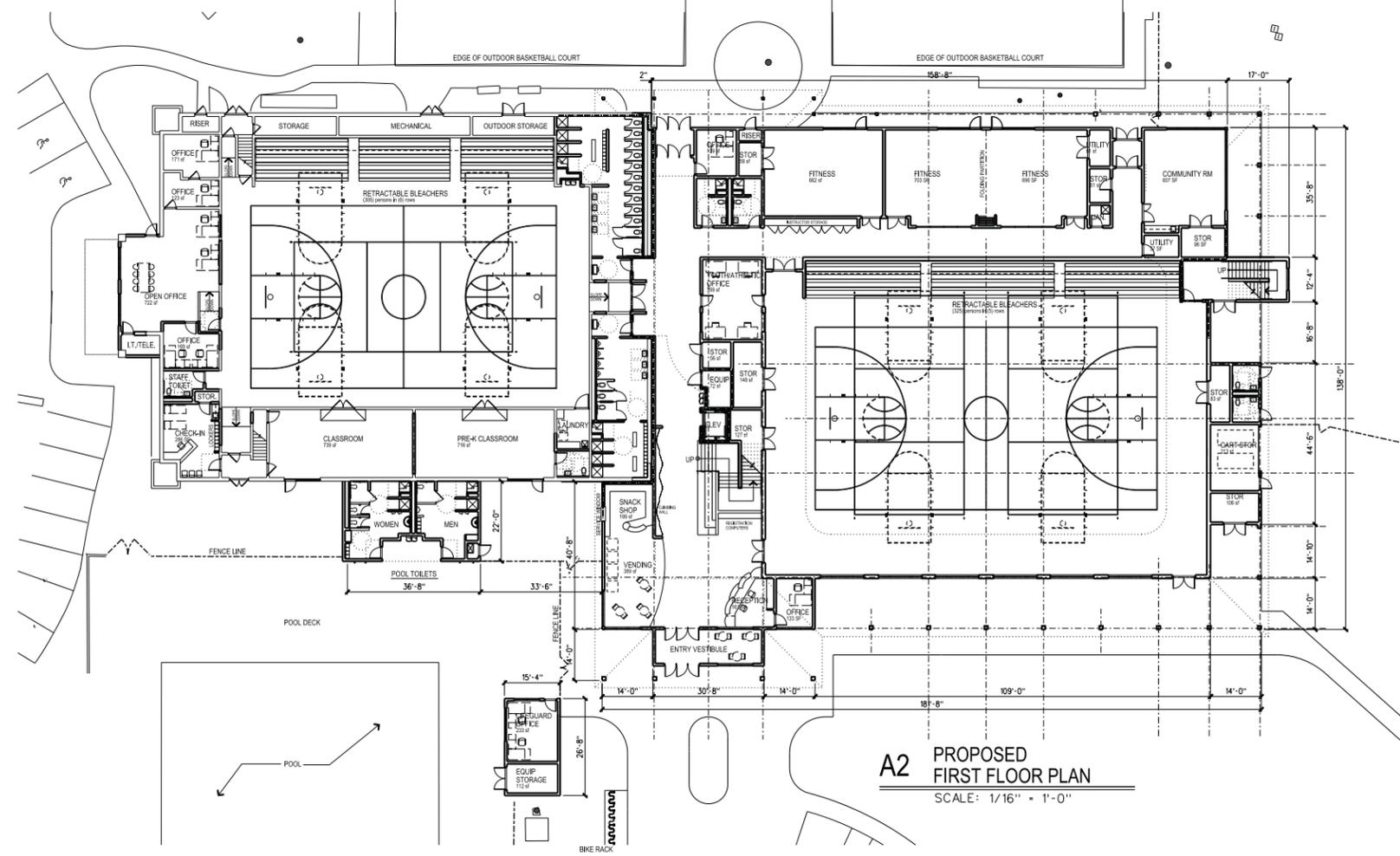




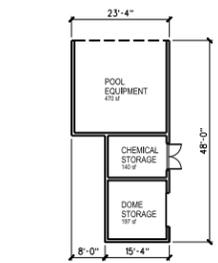


**D2 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

EXISTING HEATED SQUARE FEET		NEW HEATED SQUARE FEET		EXTERIOR SUPPORT	
FIRST FLOOR	13,888 SF	FIRST FLOOR	21,218 SF	POOL TOILETS	737 SF
SECOND FLOOR	1,456 SF	SECOND FLOOR	9,620 SF	LIFEGUARD BUILDING	408 SF
TOTAL EXIST.	15,344 SF	TOTAL NEW	30,838 SF	POOL EQUIPMENT	917 SF
				OUTDOOR STORAGE/PLAYGRND TLTS	521 SF
				TOTAL EXTERIOR SUPPORT	2,583 SF



**A2 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**A7 PROPOSED POOL EQUIPMENT**  
SCALE: 1/16" = 1'-0"

## ISLAND RECREATION ASSOCIATION EXPANSION

Town of Hilton Head Island  
Hilton Head Island, South Carolina

MARK	DATE	DESCRIPTION
	12/29/15	CONCEPTUAL DRB SUBMITTAL

PROJECT NO: FWA 2456.01

DRAWN BY: MJR  
APPROVED BY: BHT

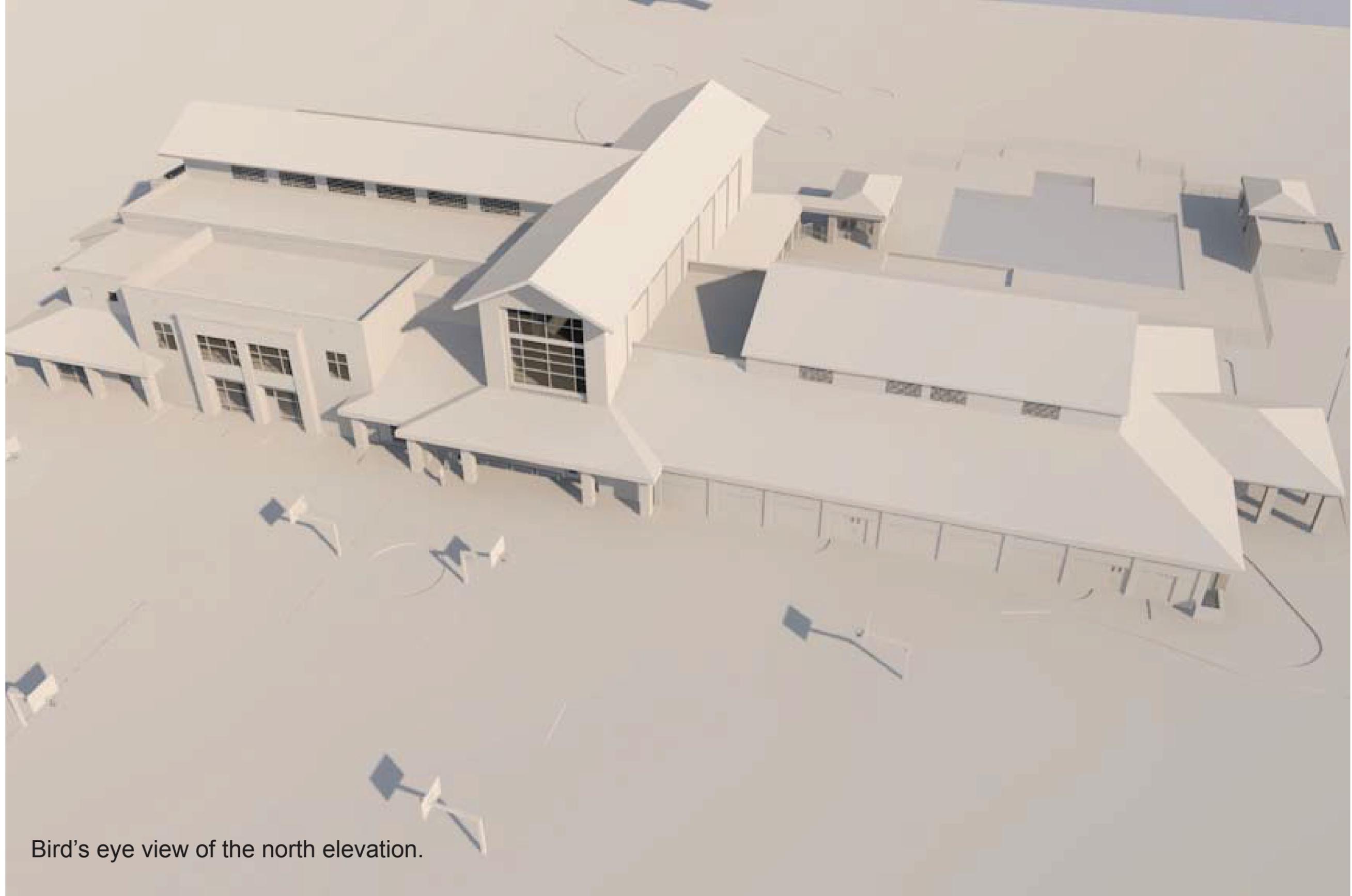
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SHEET TITLE  
**OVERALL FLOOR PLANS**

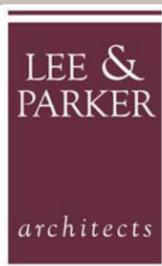
SHEET NUMBER

# AE-101

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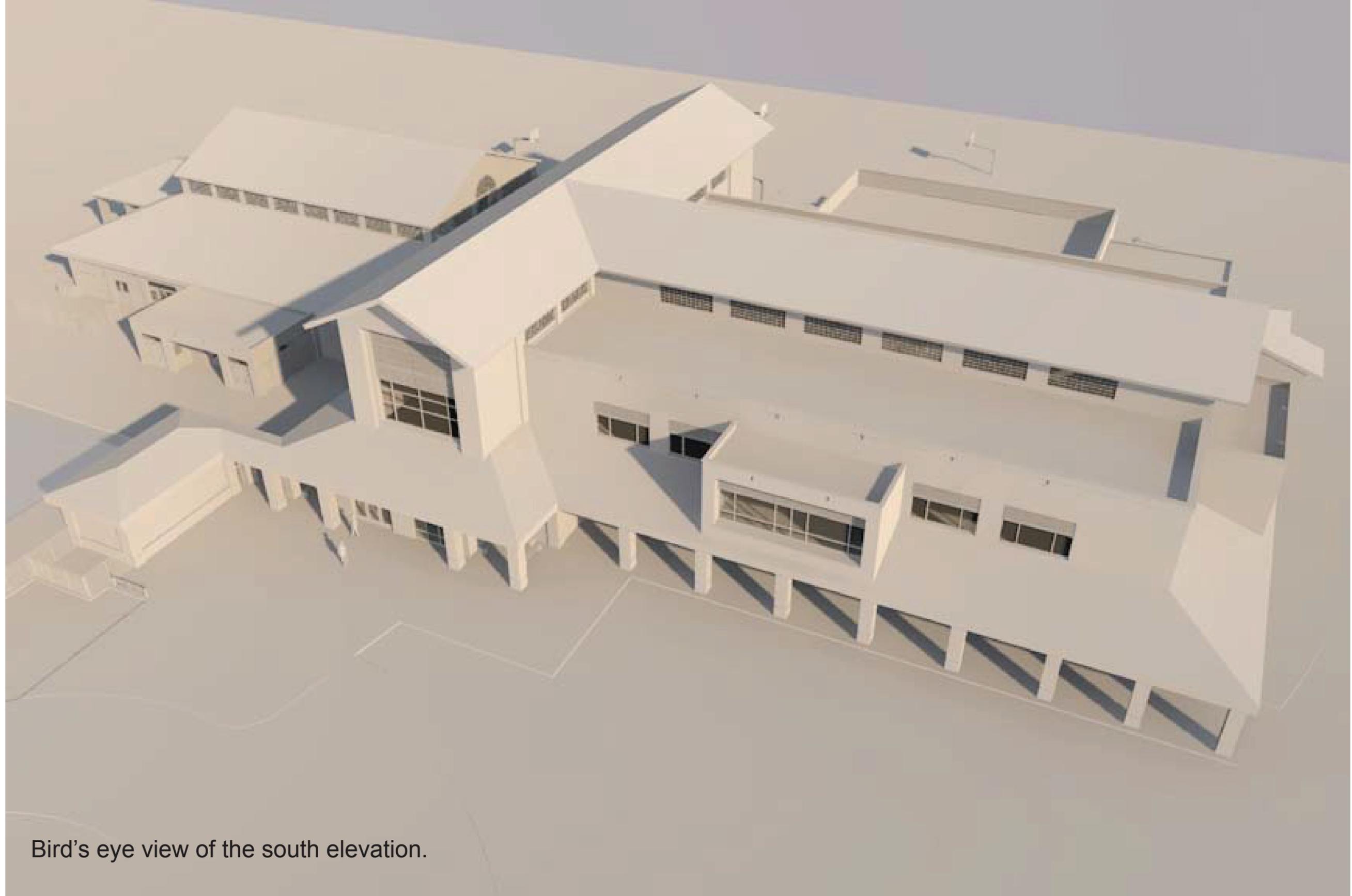


Bird's eye view of the north elevation.



## HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date



Bird's eye view of the south elevation.



## HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date



View from the northwest towards the existing basketball courts and secondary building entrance.

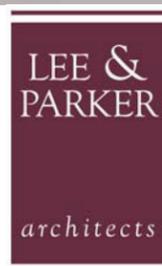


## HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date



View from the pool looking at the new pool toilets and pool office with the new building construction towards the back. The existing gymnasium and classrooms are behind the pool toilet addition.



## HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date



View of the south elevation towards the facility's new main entrance.



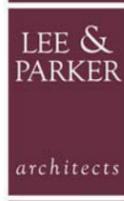
## HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date

SEE ENLARGED ELEVATION

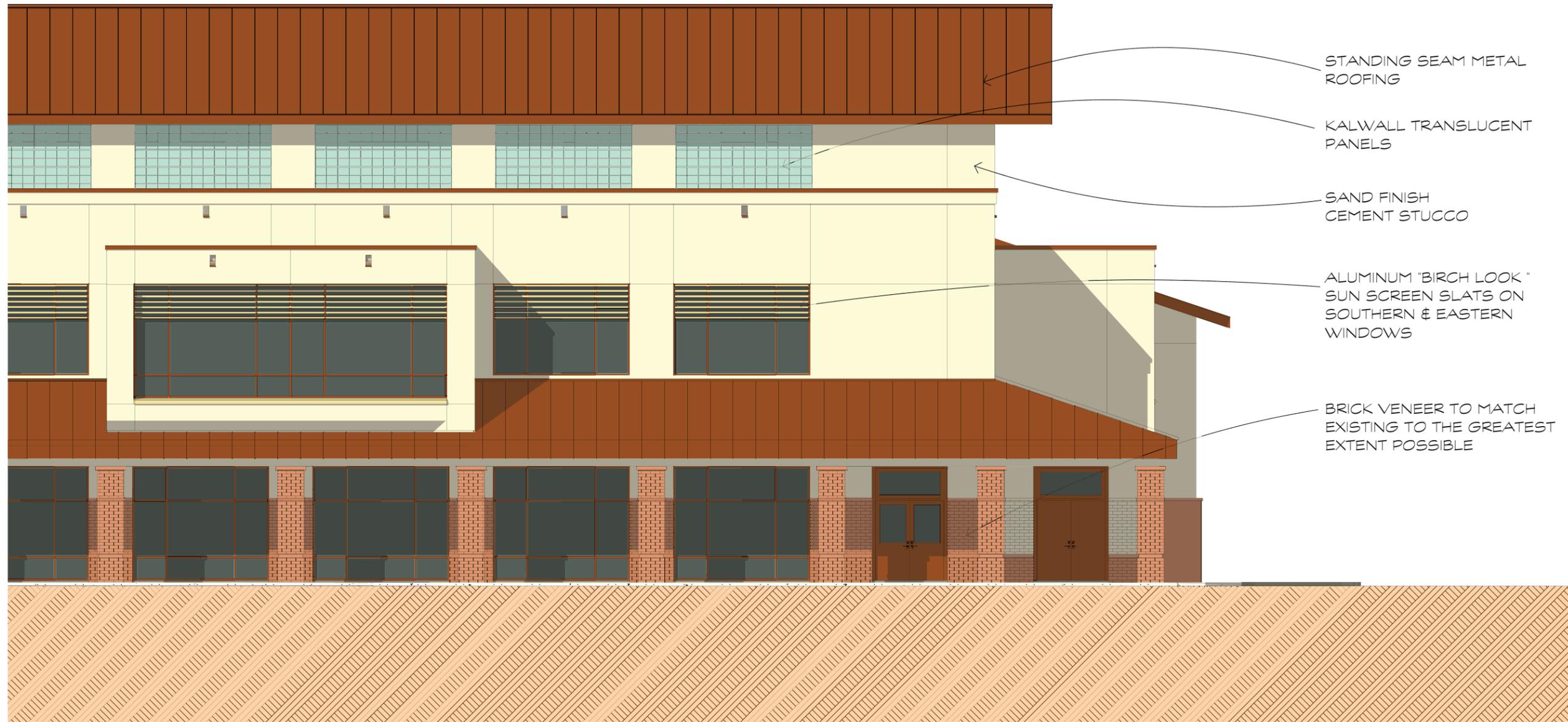


South Building Elevation - Materials

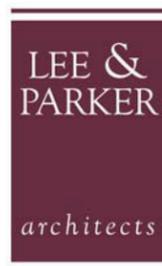


# HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date



South Enlarged Building Elevation



# HILTON HEAD ISLAND - ISLAND RECREATION CENTER ADDITIONS AND RENOVATIONS

Town of HHI DRB Concept Approval - January 12, 2016 Meeting Date

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: HHI-IRC Additions and Renovations – NEW DEVELOPMENT  
CONCEPTUAL

DRB#: DRB-002377-2015

DATE: January 12, 2016

RECOMMENDATION:    Approval                Approval with Conditions                Denial      
RECOMMENDED CONDITIONS:

<b><i>ARCHITECTURAL DESIGN</i></b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Forms, details, & materials complement the existing building.
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian pathways/connections and adjacency to fences, buildings, etc. should be studied as plans progress.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping will be an important component of final submittal.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No specified but appears appropriate for use/structure.

Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Brick veneer to match existing, sand finish cement stucco, standing seam metal roof
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown for conceptual submittal.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown for conceptual submittal. Lighting plan and cut sheets will be required for final submittal.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscaping should be of size & scale to balance the mass of the building and the extent of paved/flat surfaces including the pool, parking, and courts (basketball & tennis) and fencing (tennis court, playground, pool).
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	T.B.D
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

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Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

\_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



\_\_\_\_\_  
SIGNATURE

12-29-15  
\_\_\_\_\_  
DATE

# Up the Creek Bar & Grill

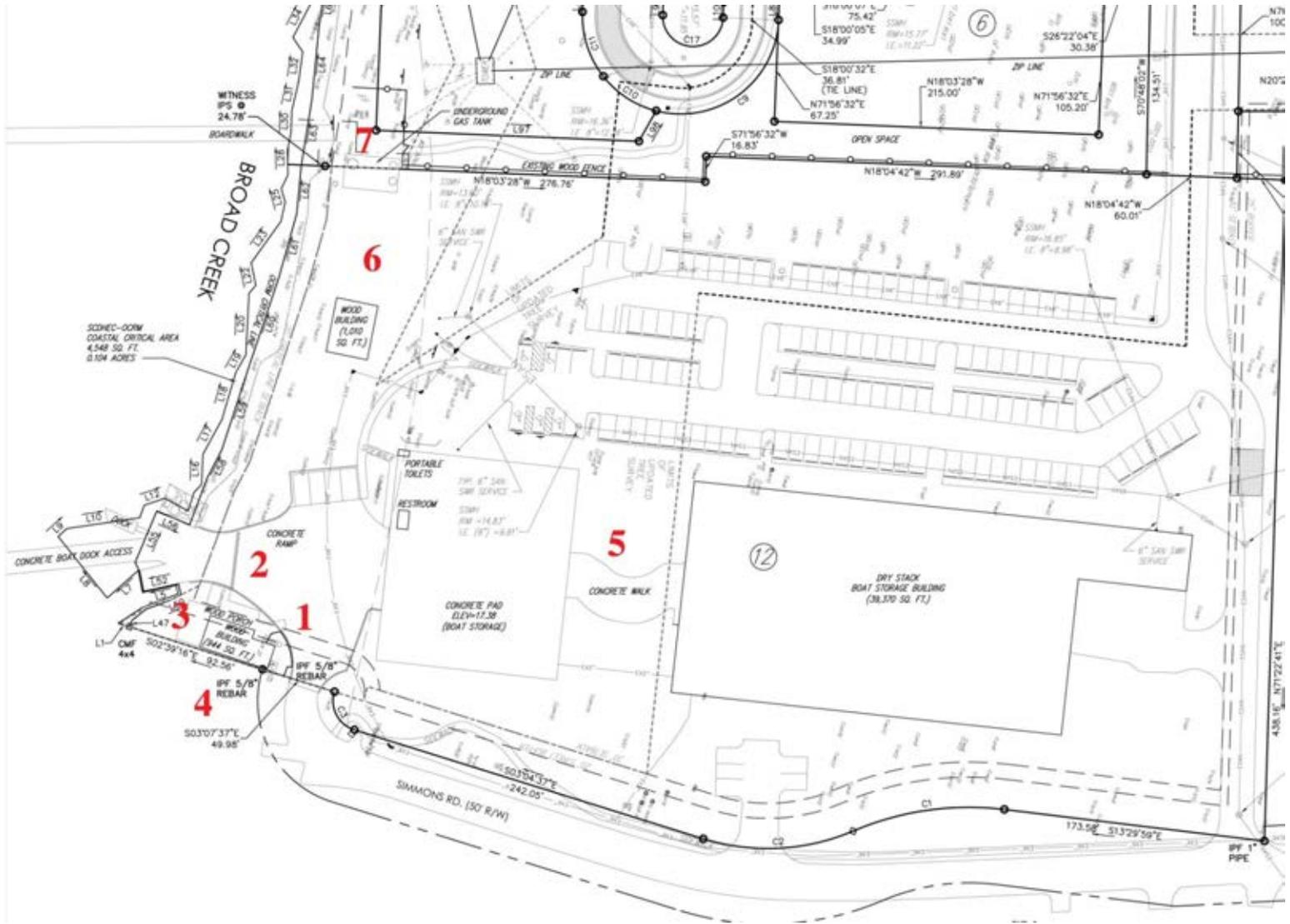


## Project Narrative

Up the Creek bar & Grill would like to cover (roof) and screen in a portion of their existing porch. The structural framing will consist of aluminum beams (color bronze) and the existing wood columns. The screen frames will be aluminum, color bronze. The roofing material will metal to match existing. The existing site is not being modified in any way.

# Up the Creek Bar & Grill

## Photo Location Map



# Up the Creek Bar & Grill

*Architecture*  
Tom Crews Architects

## Photo 1: North Elevation – Project Building



# Up the Creek Bar & Grill

*Architecture*  
Tom Crews Architects

**Photo 2:  
West Elevation – Project Building**



# Up the Creek Bar & Grill

*Architecture*  
Tom Crews Architects

**Photo 3:  
South Elevation – Project Building**



# Up the Creek Bar & Grill

*Architecture*  
Tom Crews Architects

## Photo 4: Adjacent Structure



# Up the Creek Bar & Grill

*Architecture*  
Tom Crews Architects

## Photo 5: Adjacent Structure



# Up the Creek Bar & Grill

*Architecture*

Tom Crews Architects

## Photo 6: Adjacent Structure



# Up the Creek Bar & Grill

**Photo 7:  
Adjacent Structure**



# A Renovation For: Up The Creek Bar & Grill

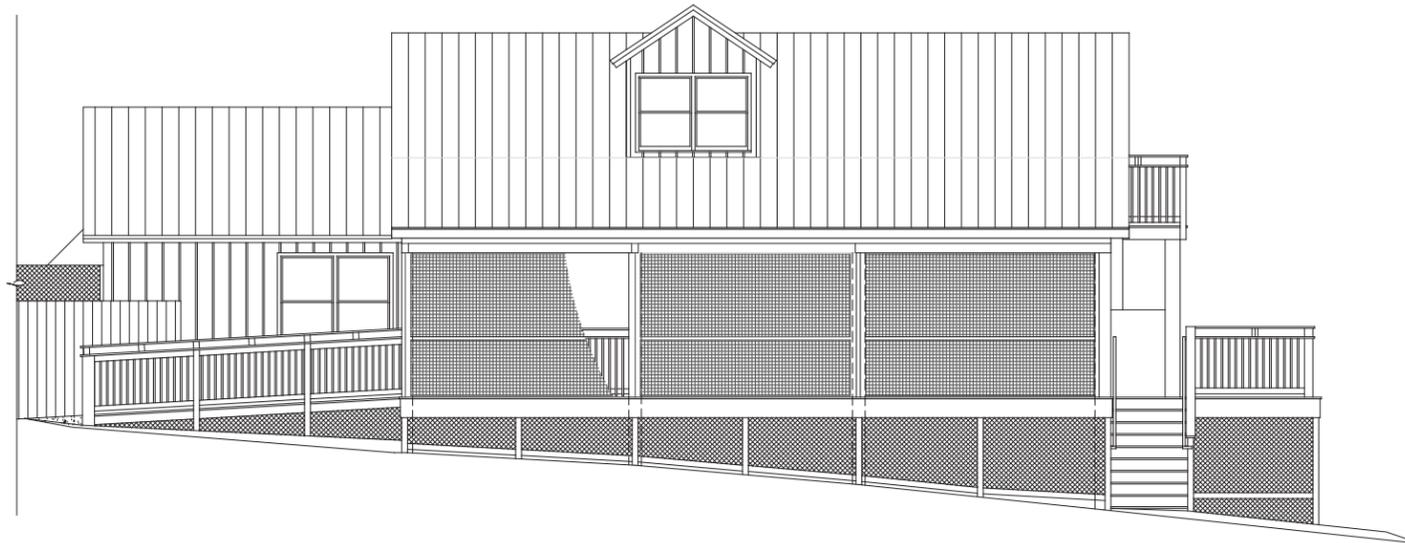
18 Simmons Road

Hilton Head Island

South Carolina



**Tom Crews Architects**  
2 Corpus Christi, Suite 101 Hilton Head Island, SC 29928  
843-842-6009 843-842-3561 (fax)



## Site Map



## Abbreviations

@	At	PERP.	Perpendicular
A.F.F.	Above Finished Floor	PLYWD	Plywood
A.M.S.L.	Above Means Sea Level	PLUMB.	Plumbing
BD.	Board	PR.	Pair
BLDG.	Building	P.S.I.	Pounds Per Square Inch
C.J.	Control Joint	BLDG.	Building
C.M.U.	Concrete Masonry Unit	P.T.	Preservative Treated
COMP.	Composite	R & S	Rod & Shelf
CONC.	Concrete	RAD.	Radius
CONT.	Continuous	REINF.	Reinforcing
DIA.	Diameter	REQ.	Required
DN.	Down	SIM.	Similar
ELEC.	Electrical	SL.	Slope
ELEV.	Elevation	SPEC.	Specifications
E.I.F.S.	Exterior Insulated Finish System	SPEC.	Above Finished Floor
E.J.	Expansion Joint	SQ.	Square
E.Q.	Equal	STRUCT.	Structural
EXT.	Exterior	T & G	Tongue & Groove
F.O.W.	Face of Wall	T.B.D.	To Be Determined
FTG.	Footing	T.G.E.P.	To the Greatest Extent Possible
GALV.	Galvanized	T.O.C.	Top of Concrete
GYP.	Gypsum	T.O.P.	Top of Plate
H.	Height	T.O.S.	Top of Slab
HORZ.	Horizontal	T.O.W.	Top of Wall
INT.	Interior	TRTD	Treated
MAX.	Maximum	TYP.	Typical
MECH.	Mechanical	U.N.O.	Unless Noted Otherwise
MIN.	Minimum	VERT.	Vertical
MTL.	Metal	W.	Width
O.C.	On Center	WD.	Wood

## Project Notes

- These Construction Drawings (CD's) and related documents, as a whole, work with and reference themselves and therefore shall not be separated. Each Trade shall be issued full sets of CD's and Specifications.
- Due to inconsistencies in the printing process these Construction Drawings are not to be scaled.
- In the case that Tom Crews Architects (TCA) has not been rewarded "Administration of the Contract" for this project under the form of agreement between Owner and Architect as described under AIA Document A201-1997, Article 4: "Administration of the Contract" or similar document it will be the Owners responsibility, with the General Contractors approval, to provide an "Agents Representative" to take on the responsibilities as described under AIA Document A201-1997, Article 4: "Administration of the Contract". Therefore, the Owner waives TCA of any responsibilities for providing services as described under AIA Document A201-1997, Article 4: "Administration of the Contract" or problems and/or claims and disputes that arise for not having said responsibility.
- TCA waives any and all responsibility and liability for problems which arise from the failure to follow the drawings, related documents, the use of specified products, materials and methods of construction and the design intent they convey, or from any other failures to obtain and/or follow TCA's guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.
- TCA has received information that has aided in the design of this project. TCA cannot and does not guarantee the accuracy of any such information and therefore waives any and all responsibility and liability pertaining to such information. These documents where done in good faith and every attempt has been made to provide a complete and accurate representation of such conditions as it pertains under the Instruments of Service as well as shown in accordance with all local, state and federal regulations.
- It is understood that the Contractor for this project shall comply with, and require all Subcontractors to comply with State and Town Contractors License Law, and be duly registered and licensed there under.
- It is understood that the General Contractor and all Subcontractors have read and understands all conditions pertaining to these Contract Documents, has read and understands all prevailing codes and regulations under which this project is to be constructed and implicitly agrees to all conditions stated. Further more, the information contained within these Contract Documents in no way releases the General Contractor and all Subcontractors from the responsibility of visiting the site and verifying completely all conditions relating to and effecting the scope of work as described.
- It is the responsibility of the General Contractor, prior to providing a bid or price, to review the existing conditions along with these Contract Documents to confirm that all the information provided is complete and accurate and that all work can be built as documented. If there are any discrepancies and if additional information is required to provide an accurate bid it is the General Contractors obligation and responsibility to report to TCA and to obtain clarification or be responsible for the same.
- Unless stated otherwise, it is the responsibility of the General Contractor for this project to assume full responsibility for providing all costs associated with this project including but not limited to labor and overtime costs, project fees, materials, equipment as well as assuring that all materials, fixtures, equipment and other items be installed in accordance with manufacturer's recommended specifications. All work will be done in a safe and quality workmanship like manner and meet all local, state and federal requirements.
- The General Contractor for this project is responsible for scheduling and coordinating the different trades and phases of the construction process in a systematic manner to insure safety and maximize economy of construction. Beginning of work by any trade shall constitute the acceptance and the responsibility for the work being done.
- The General Contractor for this project is responsible for scheduling and coordinating with property and/or building management and adjacent tenants and/or neighbors in order to minimize the disruption of ongoing operations. The General Contractor is to provide and maintain safety barriers to ensure the safety of employees and public as well as to provide protection, as required, to prevent any type of damage or contamination to any adjacent properties and furthermore, will be obligated to fix any damage due to negligence in the process of construction.
- The General Contractor and Subcontractors shall take all precautions not to interfere with the structural integrity of the building. Work effecting or changing any of the buildings structural components shall proceed only at the Structural Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering structural components.
- The General Contractor and Subcontractors shall take all precautions not to interfere with existing or new work done by a different trade. Any work that is required that would effect or change work, either existing or new, to plumbing, mechanical or electrical (PMAE) shall proceed only at the PMAE Engineer's discretion in writing and stamped as required. TCA specifically will not give direction of any kind in regards to altering plumbing, mechanical or electrical components to commercial buildings.
- Life safety systems may not be included with these Construction Documents. The General Contractor is responsible for identifying and locating all existing life safety systems including but, not limited to, fire sprinkler system, emergency lighting system, fire, smoke and CO2 detection systems and the location of fire extinguishers and/or coordinate for new life safety systems as described and, if applicable, connecting to existing systems. Provide shop drawings as required. The General Contractor is responsible that these systems meet any and all requirements as dictated by local, state and federal codes.
- Any discrepancies, conflicts or need for clarification that arise during the construction process shall be brought to TCA's attention by the General Contractor immediately by phone and in writing with their evaluations and recommendations with any necessary photos or field sketches sufficient to clearly describe said discrepancies or conflicts affecting construction of this project. This information shall be provided to TCA at no additional cost to the Client.
- The General Contractor shall provide for the legal removal and disposal of all rubbish and debris from the building and the site associated with the construction of this project. Completing the scope of work requires removing all construction debris from the project job site and any adjacent properties.
- The General Contractor shall maintain at the job site an up to date copy of all information pertaining to this project including but, not limited to, construction drawings, specifications, Architects Supplemental Instructions (ASI), change orders, field reports, and approved shop drawings.
- At the end of the project the General Contractor shall provide the Owner with a copy of the construction documents labeled "AS BUILT". This set of documents will show and include all significant changes made during the construction process that are not referenced in the original construction documents. This information shall include but, not be limited to, utilities located underground or concealed within the structure or utilities not referenced within the construction documents.

## Project Narrative

To roof and screen a portion of the existing porchdeck at Up the Creek bar & Grill.

## Development Team

Architect:  
Tom Crews Architects  
2 Corpus Christi, Ste. 101  
Hilton Head Island, SC 29928

SC License # 3640  
Town of HHI License # 3028  
Bus: 843-842-6009  
Fax: 843-842-3561

## Code Summary

2012 EDITION - INTERNATIONAL BUILDING CODE  
2003 EDITION - ICC/ANSI A117.1

OCCUPANCY CLASSIFICATION: A-2 Restaurant (IBC - Section 303)  
TYPE OF CONSTRUCTION: Type V-B, Unprotected (IBC - Section 602.3)  
FIRE RATINGS: Type V-B, (IBC - Table 601)  
"10" x Building < 30' No rating Required (IBC - Section 602)  
Surface Roughness B, Exposure B (IBC - Section 1609)

SWIND LOADS:  
SEISMIC DESIGN CATEGORY: Type C (IBC - Section 1613)

## Area Calculations

## Drawing Index

### SHT. SHEET CONTENTS

- T1.1 TITLE SHEET
- 1 BOUNDARY, TREE & AS-BUILT SURVEY
- A0.1 PARTIAL SITE PLAN EXISTING
- A1.1 PROPOSED FLOOR PLAN & ELEVATIONS

*Architecture*  
Tom Crews Architects  
2 Corpus Christi Pl., Ste. 101  
Hilton Head Island, SC 29928  
843-842-6009

ARCHITECTURAL FIRM

ARCHITECT'S SEAL

COMPANY SEAL

A roof and screen system for the existing porch at  
**Up The Creek Bar & Grill**  
Porch/Deck  
18 Simmons Road  
Hilton Head Island, South Carolina

PROJECT NAME & LOCATION

**D.R.B. REVIEW**  
DATE: 12/08/2015

DATE	SUBMITTED TO:
10/27/2015	CLIENT REVIEW #1
11/10/2015	CONTRACTOR REVIEW
12/08/2015	HHI Design Review Board

ISSUE DATE OF PROGRESS PRINTS

**NOT FOR CONSTRUCTION**

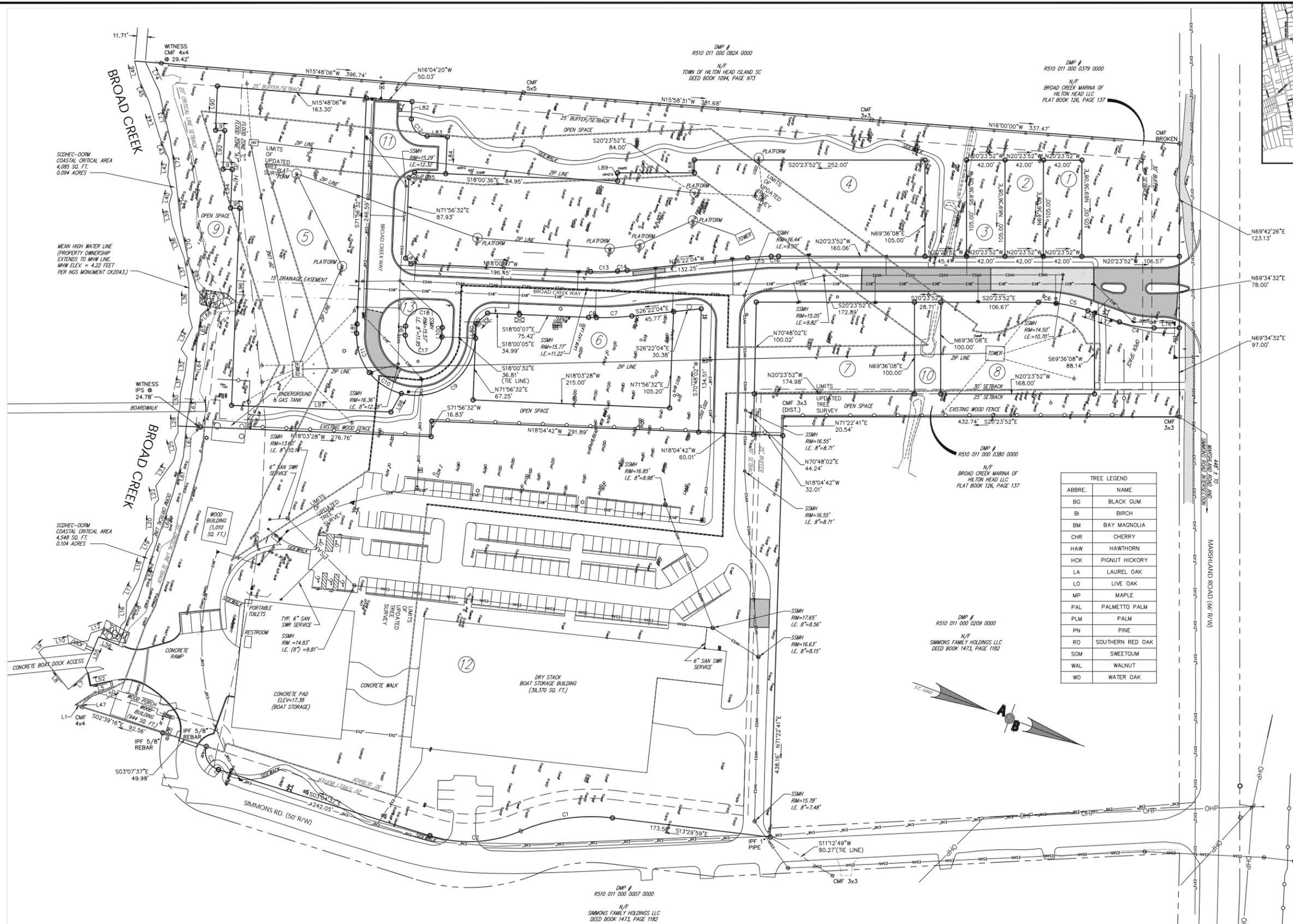
DRAWN BY: CHECKED BY:

**T1.1**

COVER SHEET  
ROOF & FRAMING PLANS

Tom Crews Architects ©

TCA PROJECT NUMBER:  
1528.01



LOCATION MAP N.T.S.

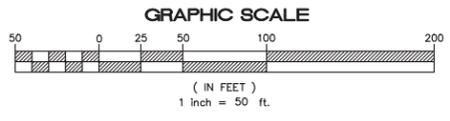
1	LOT # 1 BROAD CREEK MARINA VILLAGE S/D DMP # R510 011 000 0382 0000 N/F WALLACE J. AND DONNA SETTER PARR DEED BOOK 2778, PAGE 1896 4,410 SQ. FT. / 0.101 ACRES
2	LOT # 2 BROAD CREEK MARINA VILLAGE S/D DMP # R510 011 000 0383 0000 N/F WALLACE J. AND DONNA SETTER PARR DEED BOOK 2778, PAGE 1896 4,410 SQ. FT. / 0.101 ACRES
3	LOT # 3 BROAD CREEK MARINA VILLAGE S/D DMP # R510 011 000 0384 0000 N/F QUINN H. AND MARGARET C. MCCALL DEED BOOK 2778, PAGE 1916 4,410 SQ. FT. / 0.101 ACRES
4	DMP # R510 011 000 0006 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2623, PAGE 795 PLAT BOOK 126, PAGE 137 58,359 SQ. FT. / 1.334 ACRES
5	DMP # R510 011 000 0006 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2623, PAGE 795 PLAT BOOK 126, PAGE 137 50,252 SQ. FT. / 1.154 ACRES
6	DMP # R510 011 000 0006 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2623, PAGE 795 PLAT BOOK 126, PAGE 137 20,754 SQ. FT. / 0.476 ACRES
7	DMP # R510 011 000 0006 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2623, PAGE 795 PLAT BOOK 126, PAGE 137 17,383 SQ. FT. / 0.399 ACRES
8	DMP # R510 011 000 0006 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2623, PAGE 795 PLAT BOOK 126, PAGE 137 16,558 SQ. FT. / 0.380 ACRES
9	DMP # R510 011 000 0379 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC PLAT BOOK 126, PAGE 137 104,818 SQ. FT. / 2.406 ACRES
10	DMP # R510 011 000 0380 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC PLAT BOOK 126, PAGE 137 22,191 SQ. FT. / 0.509 ACRES
11	DMP # R510 011 000 0183 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2526, PAGE 499 PLAT BOOK 126, PAGE 137 74,943 SQ. FT. / 1.720 ACRES
12	DMP # R510 011 000 0077 0000 N/F BROAD CREEK MARINA OF HILTON HEAD LLC DEED BOOK 2772, PAGE 1546 PLAT BOOK 118, PAGE 109 287,834 SQ. FT. / 6.608 ACRES

TREE LEGEND

ABBRE.	NAME
BG	BLACK GUM
BI	BIRCH
BM	BAY MAGNOLIA
CHR	CHERRY
HAW	HAWTHORN
HCK	PIGNOT HICKORY
LA	LAUREL OAK
LO	LIVE OAK
MP	MAPLE
PAL	PALMETTO PALM
PLM	PALM
PN	PINE
RO	SOUTHERN RED OAK
SGM	SWEETGUM
WAL	WALNUT
WO	WATER OAK

ACREAGE TABLE

AREA	SQUARE FEET	ACRES
UPLANDS	667,995	15.335
CRITICAL	8,633	0.198
TOTAL	676,628	15.533



LEGEND:

CMF	CONCRETE MONUMENT FOUND
IPF	IRON PIN FOUND
IPS	IRON PIN SET
☆	FIRE HYDRANT
☆	LIGHT POLE
○	POWER POLE
—OHP—	OVERHEAD POWER LINE
6	GUY WIRE

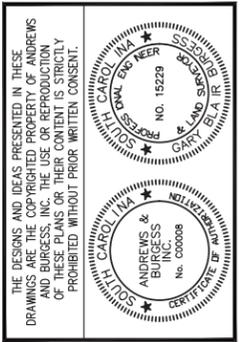
NOTES:  
 1. BEARINGS ARE BASED ON SC STATE PLANE COORDINATE SYSTEM.  
 2. FIELD WORK COMPLETED OCTOBER 02, 2010.  
 3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 450250 0007 D DATED DECEMBER 18, 1996, SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "C" (AREA OF MINIMAL FLOODING) AND FLOODZONE "A7" (ELEV. = 14').  
 4. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS BASED ON ABOVE GROUND FEATURES AND DESIGN PLANS.  
 5. ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.  
 6. CRITICAL LINE TAKEN FROM PLAT BOOK 118, PAGE 109 AND PLAT BOOK 126, PAGE 137.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOTE:  
 TREE SURVEY WAS UPDATED WITHIN THE LIMITS—WORK ON 04/02/12.

PLAN REVISIONS

NO.	DESCRIPTION	DATE	BY
1	INCREASED TREE SURVEY AREA	05/02/11	AK
2			
3			
4			
5			
6			
7			
8			



40A Shanklin Road  
 Hilton Head Island, SC 29926  
 803.465.0369  
 Fax 843.466.9766

**Andrews & Burgess Inc.**  
 Engineering & Surveying

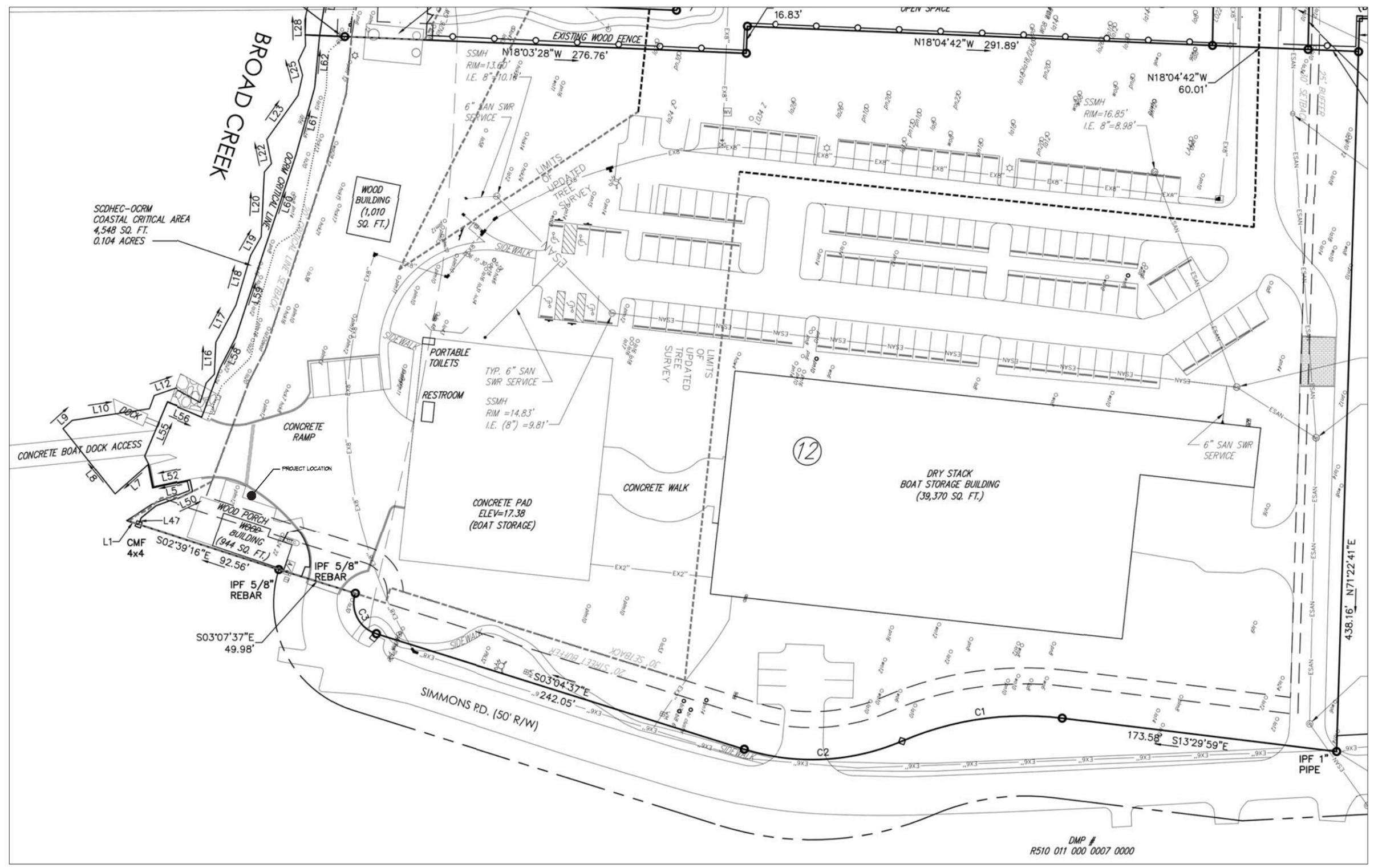
BOUNDARY,  
 TREE AND  
 ASBUILT SURVEY  
 Prepared For  
 BROAD CREEK MARINA  
 of HILTON HEAD, LLC

BROAD CREEK  
 MARINA VILLAGE  
 TOWN OF  
 HILTON HEAD ISLAND  
 BEAUFORT COUNTY, SC

Date Drawn: 02/11/11  
 Last Revised: 04/05/12  
 Drawn By: N. Ridley  
 Engineer: G. Burgess

SHEET #:  
**1**  
 of 2  
 JOB: 110002

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1 PARTIAL SITE PLAN - EXISTING  
 PARTIAL PLAN FROM BOUNDARY, TREE & AS-BUILT SURVEY BY  
 ANDREWS & BURGESS DATED 04/26/12 (ATTACHED SHEET #1)

SCALE: 1" = 30'-0"

DMP #  
 R510 011 000 0007 0000

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**Tom Crews Architects**  
 2 Corpus Christi Pl. Ste. 101  
 Hilton Head Island, SC 29928  
 843-942-5009  
 843-942-5051 Fax  
 ARCHITECTURAL FIRM

ARCHITECT'S SEAL  
 COMPANY SEAL

A roof and screen system for the existing porch at  
**Up The Creek Bar & Grill**  
**Porch/Deck**  
 18 Simmons Road  
 Hilton Head Island, South Carolina

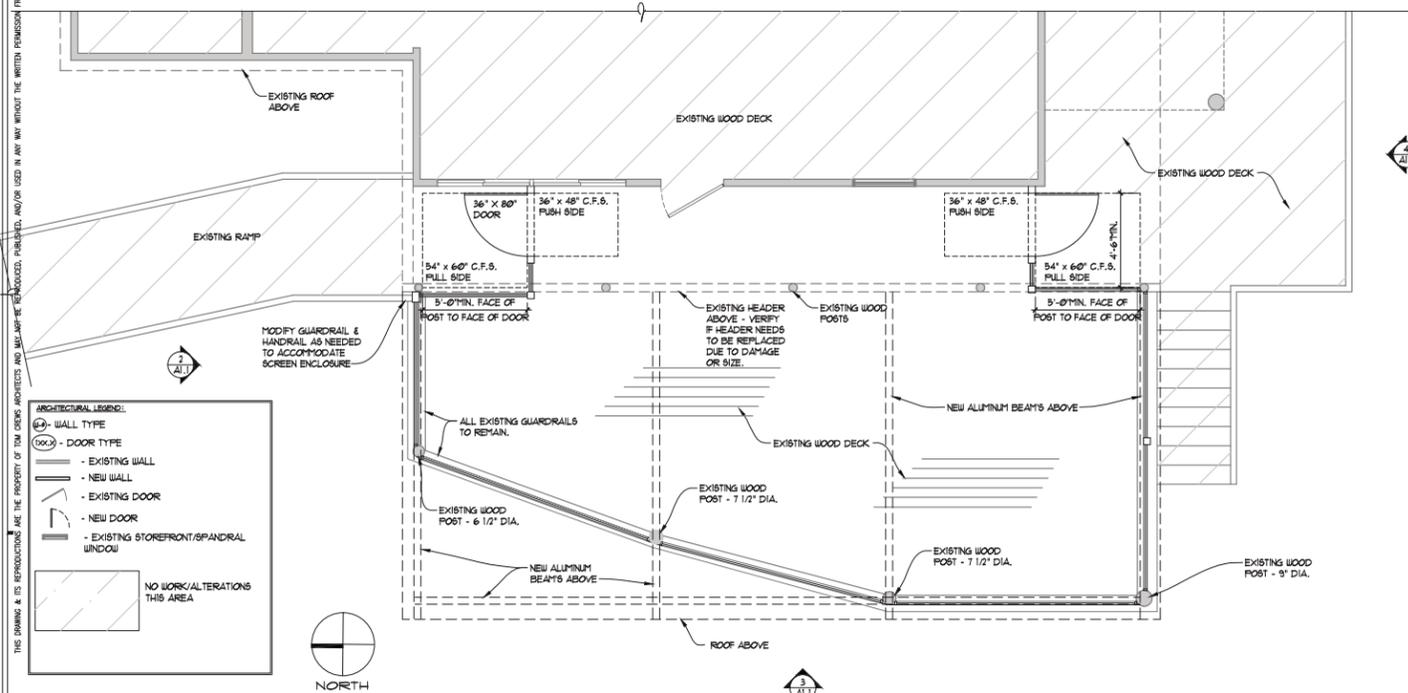
D.R.B. REVIEW  
 DATE: 12/08/2015  
 DATE SUBMITTED TO:  
 10/27/2015 CLIENT REVIEW #1  
 11/10/2015 CONTRACTOR REVIEW  
 12/08/2015 HHI Design Review Board

ISSUE DATE OF PROGRESS PRINTS  
**NOT FOR CONSTRUCTION**

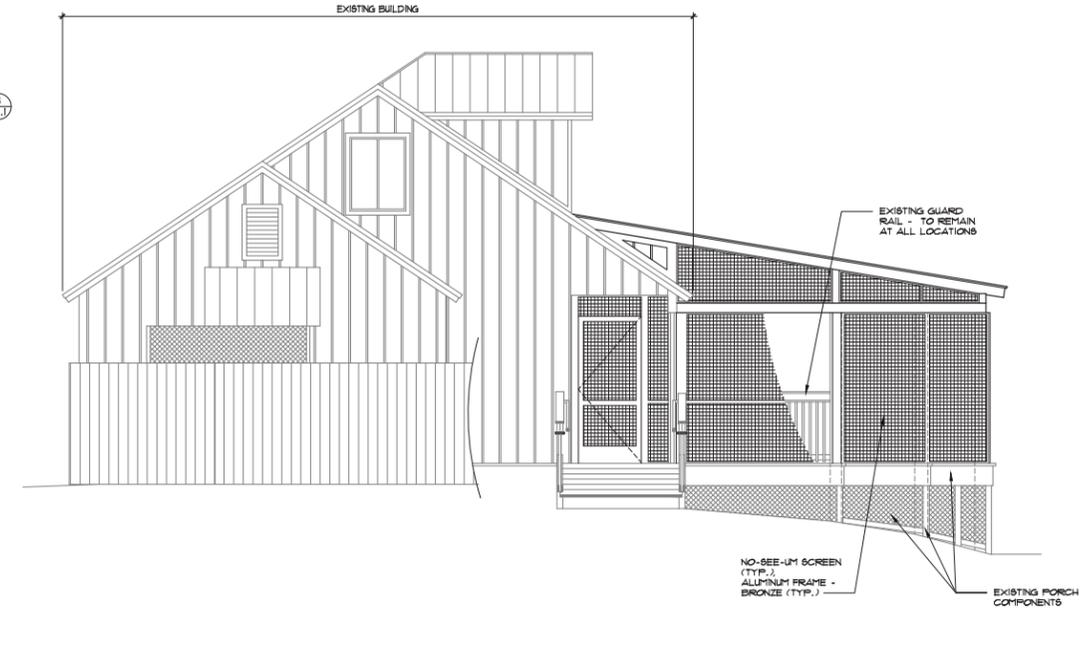
DRAWN BY: CHECKED BY:  
**A0.1**  
 PARTIAL SITE PLAN - EXISTING  
 Tom Crews Architects ©  
 TCA PROJECT NUMBER:  
 1528.01

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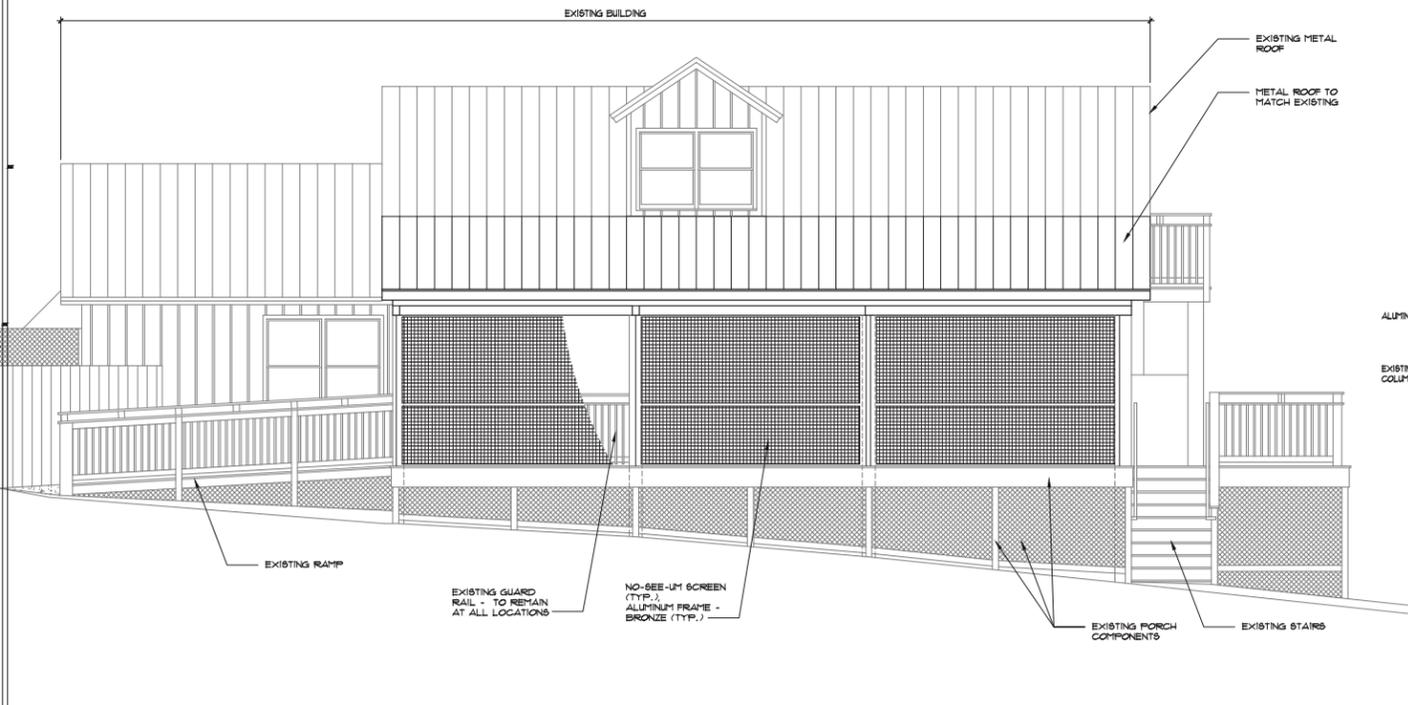
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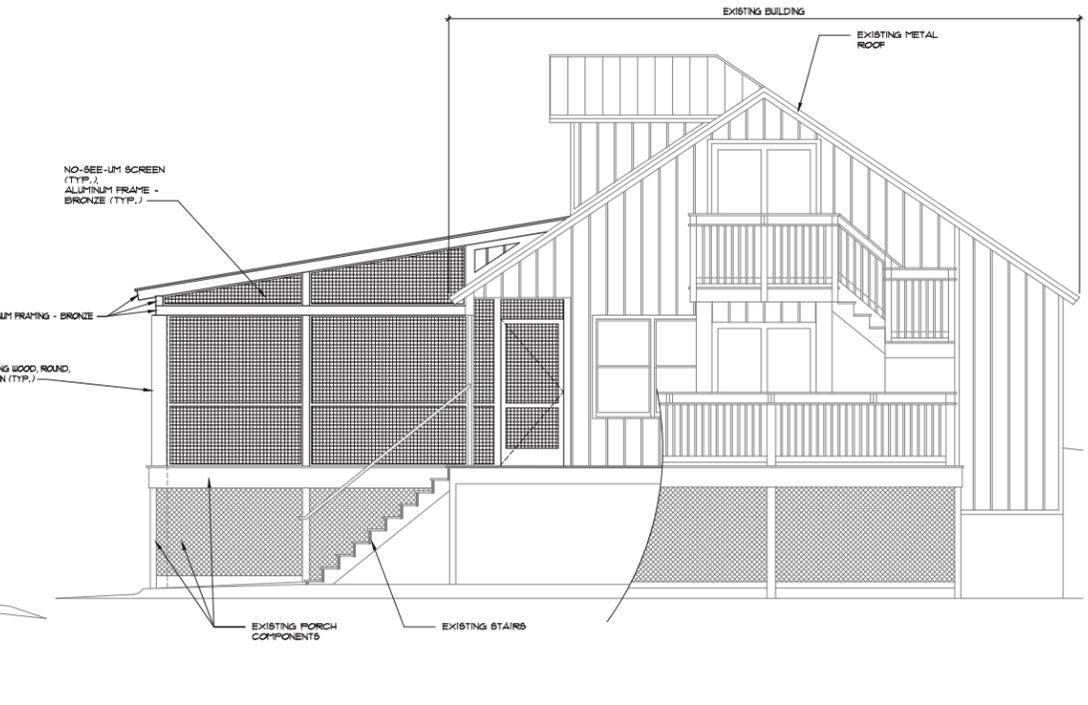
**1 PROPOSED FLOOR PLAN**  
 SCOPE OF WORK DESCRIPTION:  
 EXISTING PORCH TO BE COVERED AND SCREENED IN WITH AN ALUMINUM FRAMING SYSTEM. NEW ROOFING MATERIAL TO BE METAL TO MATCH EXISTING.  
 SCALE: 1/4" = 1'-0"



**2 NORTH ELEVATION**  
 TEXT  
 SCALE: 1/4" = 1'-0"



**3 WEST ELEVATION**  
 TEXT  
 SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION**  
 TEXT  
 SCALE: 1/4" = 1'-0"

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ARCHITECT'S SEAL  
 COMPANY SEAL

A roof and screen system for the existing porch at:  
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 Porch/Deck**  
 18 Simmons Road  
 Hilton Head Island, South Carolina

**D.R.B. REVIEW**  
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**NOT FOR CONSTRUCTION**

DRAWN BY: CHECKED BY:  
**A1.1**  
 DEMO, FOUNDATION, FLOOR, ROOF & FRAMING PLANS  
 Tom Crews Architects ©  
 TCA PROJECT NUMBER:  
 1528.01

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Up the Creek Bar & Grill – ALTERATION/ADDITION

DRB#: DRB-002381-2015

DATE: January 12, 2016

RECOMMENDATION:    Approval             Approval with Conditions             Denial   
RECOMMENDED CONDITIONS:

Applicant proposes to cover and screen in a portion of the existing porch. Materials include bronze aluminum beams for structural framing, bronze aluminum screen frames, and red metal roof to match existing.

This project requires a Development Plan Review Application. Submit the application and all required attachments and information either in person or email to [cdic@hiltonheadislandsc.gov](mailto:cdic@hiltonheadislandsc.gov). LMO Appendix D-6, this is based on the changes by adding a roof over a pervious surface creating it impervious and the addition of a screen porch which is included as density.