



Town of Hilton Head Island Regular Design Review Board Meeting

Tuesday, July 28, 2015

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of July 14, 2015
6. **Staff Report**
7. **Board Business**
8. **Old Business**
9. **Unfinished Business**
10. **New Business**
 - A. Alteration/Addition
 - 1) DRB-001271-2015 – Zaxby's at Village at Wexford
 - 2) DRB-001288-2015 – Harborside 3 Re-roof
 - 3) DRB-001333-2015 – Shelter Cove Towne Centre Building 180
 - 4) DRB-001341-2015 – Hilton Head Holiday Inn Conversion
11. **Appearance by Citizens**
12. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of Town Council members attend this meeting.

**Town of Hilton Head Island
Design Review Board
Minutes of the Tuesday, July 14, 2015 Meeting
1:15p.m. – Benjamin M. Racusin Council Chambers**

DRAFT

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker,
Ron Hoffman, Debbie Remke, Brian Witmer and Kevin Quat

Board Members Absent: Kyle Theodore

Town Council Present: None

Town Staff Present: Jennifer Ray, Urban Designer
Richard Spruce, Plans Examiner
Teri Lewis, LMO Official
Kathleen Carlin, Administrative Assistant

1. Call to Order

2. Roll Call

3. Freedom of Information Act Compliance

Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.

4. Swearing in Ceremony for Mr. Jake Gartner, Ms. Debbie Remke and Mr. Kevin Quat*

Brian Hulbert, Staff Attorney, performed the swearing in ceremony for re-appointed DRB member, Mr. Jake Gartner, and new DRB members, Ms. Debbie Remke and Mr. Kevin Quat.

5. Approval of Agenda

The Board **approved** the agenda as submitted by general consent.

6. Approval of Minutes

The Board **approved** the minutes of the June 23, 2015 meeting as submitted by general consent.

7. Staff Report

a. Ms. Ray stated that former Chairman Scott Sodemann will present the DRB's Semi-Annual Activity Report to Town Council on July 21, 2015 at 4:00p.m.

b. Ms. Ray stated that staff will present the updated Design Guide to the Public Planning Committee on July 23, 2015 at 3:00p.m. Staff recommends that the Public Planning Committee forward the updated Design Guide to Town Council with a recommendation of approval.

8. Board Business

A. Election of Officers for term July 1, 2015 – June 30, 2016

Vice Chairman Gartner requested that a motion be made to elect a Chairman for the new term. Mr. Strecker made a **motion** to nominate Mr. Jake Gartner to serve as Chairman for the new

term. Mr. Witmer **seconded** the motion. There were no additional nominations for the office of Chairman. Mr. Gartner accepted the nomination and the motion **passed** unanimously.

Chairman Gartner then made a **motion** to nominate Mr. Dale Strecker to serve as Vice Chairman for the new term. Mr. Hoffman **seconded** the motion. There were no additional nominations for the office of Vice Chairman. Mr. Strecker accepted the nomination and the motion **passed** unanimously.

Chairman Gartner then made a **motion** to nominate Ms. Kathleen Carlin to serve as Secretary for the new term. Mr. Hoffman **seconded** the motion. There were no additional nominations for the office of Secretary and the motion to elect Ms. Carlin as Secretary **passed** unanimously.

9. Old Business

A. Hilton Head Ice Cream – DRB-000983-2015

Ms. Ray stated that this is an Alteration/Addition located at 55 New Orleans Road in Fountain Center. On May 26, 2015 the DRB approved a deck addition at Hilton Head Ice Cream. Ms. Ray presented an overhead review of the approved plan which shows the proposed extension of a brick paver sidewalk between a large oak tree and the new deck. The new deck includes a 4-ft. planter at the base of the deck. Discussion at the time included the type of plant material used for screening of the deck. Elevations show the proposed deck and handrail, which is similar to existing handrails at Fountain Center but has been updated to meet current Code requirements. The area under the deck is shown as being open.

The deck was installed and the staff along with one-two Board members noticed that lattice was added below the deck. The brick sidewalk has not been installed. The staff brought this issue to the applicant's attention and the applicant stated that the owner requested that the lattice screen be added for several reasons. First, Fountain Center has a feral cat issue and they do not want the cats to take residence up under the deck. It is a health issue as well as a smell issue. Second, they want to prevent children from crawling under the deck on the south side adjacent to the live oak tree. The North side cannot have plantings because either the sidewalk or the service area is on the other side. The third reason is that they believe lattice can be found elsewhere on the site. The owner states that its use allows the owner to see under the deck to check for debris and will allow vines to grow over the lattice to create a greener space. The lattice initially went in with an untreated color and since bringing it to their attention, the owner has painted it in a dark Charleston green or black and they have added larger landscaping that hides a majority of the lattice. Ms. Ray presented a couple of site photographs for the Board's review. The area adjacent to the service area is visible and cannot be screened.

What has been installed is not consistent with what was approved and staff directed the applicant to return to the Board today to discuss this issue. The majority of Fountain Center includes stucco walls and blue/gray painted wood louvers as seen in a recent application. The Board should decide whether the lattice can remain, or if the Board would require an alternate treatment for below the deck. Staff stated that they do not know why the brick walkway was not installed. The staff also stated that they have seen blue/gray wood horizontal louvers used at Fountain Center, but they have not seen lattice used at the Center as indicated by the applicant.

The applicant was not present at the meeting for comments or questions from the Board. A couple of Board members stated that they agree with the staff that they have not seen lattice used at Fountain Center. The Board stated that consistency is important and that the wood horizontal louvers are preferred over the lattice for aesthetic reasons. The Board stated that they do like the dark Charleston green color over the blue/gray color.

The Board also stated that since the brick pathway was previously submitted by the applicant and then approved by the Board, it should be installed as agreed upon at the meeting. Chairman Gartner and several Board members stated that the lattice should be removed. The Board stated that they hope the applicant will install horizontal louvers in a Charleston Green color. This would be preferable to leaving the deck area open. Following final comments, Chairman Gartner requested that a motion be made.

Mr. Witmer made a **motion** to approve DRB-000983-2015 with the following two conditions: (1) the lattice is to be replaced with wood horizontal louvers painted in Charleston Green; (2) the brick pathway is to be installed as previously submitted by the applicant and agreed to by the Board. Mr. Hoffman **seconded** the motion and the motion **passed** with a vote of 6-0-0.

10. Unfinished Business

None

11. New Business

A. New Development - Final

1. Golf Academy - DRB-001268-2015

Ms. Ray stated that the project is located at 128 Beach City Road. The applicant proposes to construct three principal buildings for the JPGA Campus. This project received approval of its Conceptual submittal in February 2015 with the following conditions: (1) some attention and diligence shall be paid to engineering the drive coming in off of Beach City Road; (2) the site plan should be examined to shift the Fitness Building in order to get uniform soffit overhang; (3) consideration shall be given to adding some applied moldings and possibly some applied water table banding on the Academy Building to give it more detail; and (4) that the clerestory windows on the Academy Building should be more in scale to the Fitness Building.

Ms. Ray stated that the site plan has been revised per the Board's previous comments. The entrance and the drive for the campus have been relocated off of Finch Street. Parking for 24 cars including two handicap spaces are arranged along the perimeter of the property. Sixteen spaces are located along Finch Street and additional spaces are located along Beach City Road. All of the required parking, according to the applicant, has been carefully planned and designed to minimize vehicular traffic on the site and to encourage pedestrian circulation on campus. At a recent pre-application conference, it was identified that adequate backing distance was not provided for the parking along Beach City Road, which will require that the drive aisle be shifted. Since it cannot be shifted into the buffer it will impact the site plan and the site will need to be revised to meet those requirements.

The three principal buildings for the JPGA Campus include the Office Building, a Fitness & Training Center Building, and a Classroom Building. The three buildings total 10,970 square

feet. The buildings are arranged and organized in a 'U' shape configuration around a central outdoor courtyard. The buildings are physically linked by a central porch with a continuous shed roof. Wood posts and beam define the perimeter edge of the porch and the courtyard.

The engineered site plan shows the site plan relative to the survey. A fence is proposed along Beach City Road as well as along Finch Street. The site plan needs to be updated for review and approval by the DRB to clarify and identify all proposed site elements including the courtyard. It is unclear on the site plan, but in looking at the section it appears that the courtyard is sunken via steps that lead from the sidewalk down into the courtyard. Ms. Ray stated that these items need to be identified and made clearer in order for the Board to review this application.

A landscape plan was provided and includes some native plants and a lot of non-native plants. Along Beach City Road, the applicant is proposing five red bud trees with Formosa and azaleas proposed behind the fence. The location and the spacing of these trees and shrubs should be reconsidered and take into account the existing trees in that area. Along Finch Street the applicant is proposing 'Cathedral' live oaks with ligustrum between the parking and the fence. The parking lot islands include anywhere between two and three crape myrtles or little gem magnolias with five hydrangeas under them and appear to be over planted and should be scaled back.

The staff believes that landscaping should be added to screen the dumpster enclosure. Additionally, the buffer area along the adjacent property lines should be planted. The staff recommends wax myrtles or saw palms under the existing trees in a staggered appearance to provide additional buffer. Landscaping should also be provided between the parking and the sidewalks and the buildings. The goal should be to retain some of the existing trees as much as possible and then to supplement with large-scale landscaping to provide some natural environment and to reduce the impact and mass of the three buildings with parking.

Ms. Ray stated that a separate landscape plan was submitted by the applicant just prior to today's meeting. Unfortunately, it did not provide the staff enough time to review and comment on it. It appears that extra landscaping was added on the sides and possibly along Beach City Road. Existing trees were taken into account because it seems that some of the shrubs that were proposed have been removed. It also appears that some landscaping is being added between the sidewalk and the buildings.

Ms. Ray described the fence that is shown along Beach City Road and Finch Street. It is a 4ft. high wood fence and is intended to be the same as the fence at JPGA at Mitchelville Golf Cottages. The vehicular gates are anticipated to remain in the open position. The staff stated a detail for the fence and gates should be provided for review and approval by the DRB.

The design of the floor plans for the three buildings is based on a lowcountry vernacular and regional architectural of the traditional dog trot house. Each building is organized around a central passage way that includes the building's entrance, a lobby, and enclosed glass room beyond all of which provide natural light and views through the building front to back.

The roof pitch is 5 and 12 on the asphalt shingle roof. The porch roofs, shown in gray metal standing seam, are 3 and 12 pitch. All of the dormer roofs are 1.5 and 12 pitch.

The North elevation is the Beach City Road elevation and shows the rear of the Office Building and the end of the Fitness & Training Center Building. The East elevation shows the view at the entrance from Finch Street. The South elevation is the view from the adjacent property. All of the facades include similar design characteristics and include a variety of details that appear to be consistent with the Design Guide. Some images were provided that show that show the inspiration for the porch design. The building section shows the height at the top of the ridge at 24' - 9¾". The courtyard is shown sunken one foot below the sidewalk.

The applicant forwarded a roof slope study that indicates with dash lines a 6 and 12 slope, which is recommended per the Design Guide. It is, however, problematic for several reasons according to the applicant. It adds unnecessary height and volume inside the building, increasing that slope makes the transition from building to porch roof slope more difficult. The shed dormer configurations were difficult to work out with the interior lobby spaces. A 5 and 12 roof slope is proposed and, in their opinion, it works best getting the necessary minimum height for the clerestory windows. It increases the roof height 2' on the Office and Classroom Buildings and 2' - 5" on the Fitness Building.

Ms. Ray reviewed the dumpster detail which is intended to match the buildings. Details for the gates need to be provided by the applicant and the site plan needs to be updated to be consistent (one shows two gates and one shows one gate.) It is not entirely clear what is being reviewed.

Exterior building materials include various James hardi products including horizontal lap siding, vertical board and batten, and base trim boards. Large French door type windows and the use of glass and transom windows at each of the buildings entrance and lobby help provide natural light, openness, and a sense of welcome. The variety of materials and details are consistent with the Design Guide. However, the proposed building colors (SW # 6385 Dover White for the siding and SW # 7006 Extra White for the trim) are not nature blending, especially on a site that lacks a good number of canopy trees. In the context of Beach City Road, these colors are a little too bright. Staff recommends that the colors be toned down to be more nature blending. The applicant has brought a color board for the Board's review.

The applicant is proposing artificial turf in areas including the courtyard as well as the adjacent Fitness Center Building on either side. The applicant has brought a sample of the artificial turf for the Board's review.

The building elevations show lantern-style lighting at some of the entrances along the corridor in front of the Fitness Building. A cut sheet for a flood light has been provided. All proposed lighting needs to be located on a lighting plan and cut sheets for all fixtures need to include wattage and lamp type for the DRB to review and approve. The LED shown on the flood light is not permitted, per the LMO. An alternate lamp source will need to be selected.

The Beach City Road Commercial ARB has approved this project. This project appears to meet the intent of the Design Guide and is headed in the right direction; however, the staff believes that there are many items that have not been provided or are not at a point of detail for a Final approval. The staff recommends that no action be taken by the DRB today until such time that the items that staff has identified either in the meeting today or through the staff comments, as well as any Board comments today, be addressed and brought back to the Board for a true Final

review. Following the staff's presentation, Chairman Gartner requested that the applicant make his presentation.

Mr. Christopher Bach, Peninsula Architects, presented statements in support of the application. The applicant presented statements regarding the landscape plan as well as samples of the artificial turf and proposed color for the asphalt cottage red shingle roof. The proposed flood light is deleted from the project. The porch roof and shed dormer roofs will be standing seam metal roof. The applicant agrees with the staff's comments regarding the building and trim colors. The applicant proposes maintaining SW # 6385 Dover White for the trim work and a darker beige SW # 6119 Antique White for the buildings.

The lighting cut sheet for the Georgian Colonial Lantern was distributed for the Board's review (a total of 24 lantern lights). Parking spaces for 10 bikes have been provided. The applicant reviewed the selected artificial turf sample. The applicant discussed the three separate buildings linked by an outdoor porch. The applicant also discussed the courtyard. A brick sample for the riser was presented for the Board's review. The applicant also discussed the steps down to the courtyard.

Mr. Richard Spruce, Plans Examiner, stated that a handrail will be needed for these steps. The staff will need to know the color for the handrail. Following the applicant's presentation, Chairman Gartner invited the Board to present comments.

The Board stated that they like the project overall. The submission is an improvement over the first submission and is heading in the right direction. The Board stated that they like the elevations and the details are good. The landscape plan needs to have similar attention to details and needs to show the existing trees along with the proposed trees. The Board reviewed the materials for the Courtyard. The Board stated their concern with the changes that need to be made to the parking (and its impact to the buildings.)

Ms. Ray presented additional statements regarding the parking issue and potential impact to the location of the building. The Board agreed that landscaping is needed between the parking area and the buildings. The Board agreed with the staff that plantings are too close in the islands. The Board stated that they will need additional details regarding the rafter tails. The plan and elevations do not seem to agree. The Board will need to see cut sheets for all of the fixtures. The Board also stated their concern with the proposed colors for the buildings. A darker color will probably be a better solution. The 5 and 12 roof pitch is okay. The Board is concerned with the white fence.

The applicant thanked the Board for their input. The applicant will work with staff on next steps. No action was taken by the Board on this application today.

12. Appearance by Citizens

None

13. Adjournment

The meeting was adjourned at 3:00p.m.

Submitted By:

Approved By:

Kathleen Carlin
Secretary

Jake Gartner
Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: VICTOR TALLEY Company: HILL FOLEY ROSSI & ASSOC.
 Mailing Address: 3460 PLEASANT HILL RD City: DULUTH State: GA Zip: 30096
 Telephone: 770.622.9858 Fax: _____ E-mail: V.TALLEY@HFRASS.COM
 Project Name: ZAKBYE@VILLAGE@WEXFORD Project Address: VILLAGE@WEXFORD SHOPPING
 Parcel Number [PIN]: R 552 015000 322B 0000 CENTER
 Zoning District: _____ Overlay District(s): COR
1000 WILLIAM HILTON PKWY UNIT A HILTON HEAD, S.C.

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175. Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

100 \$ CHECK

- X _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- X _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

VICTOR A. JALBY ASSOC. INC.
HILLY FOLEY ROSSI ASSOC.

6/29/2015

Zaxby's at Village at Wexford
Project Narrative

Renovation of an existing Wendy's restaurant at the village at Wexford shopping center including interior and exterior renovations.

Scope consists of remodeling of an existing restaurant of 3426 Approximate square footage

Exterior updates include re painting exterior, in a neutral and earth toned color scheme consistent with the context of the existing shopping center. New wood design for awnings which will replace the existing standing seam metal awnings. Wood will be stained or clear sealed cedar in a decorative Architectural pattern. Existing landscaping will be pruned, and augmented by a new landscape plan compliant with the requirements of the town of Hilton Head, and the Village at Wexford Shopping Center. New signage will be permitted under separate cover.

Interior updates include renovation of existing kitchen space with new equipment in concordance with Zaxby's prototypical requirements, and modification of the existing prepay window which includes removing the window and repairing the façade where the window was originally placed. Scope also includes renovation of existing interior dining space with new materials and finishes.









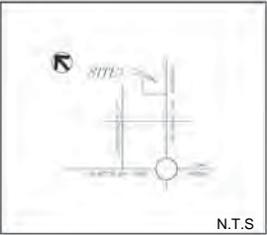
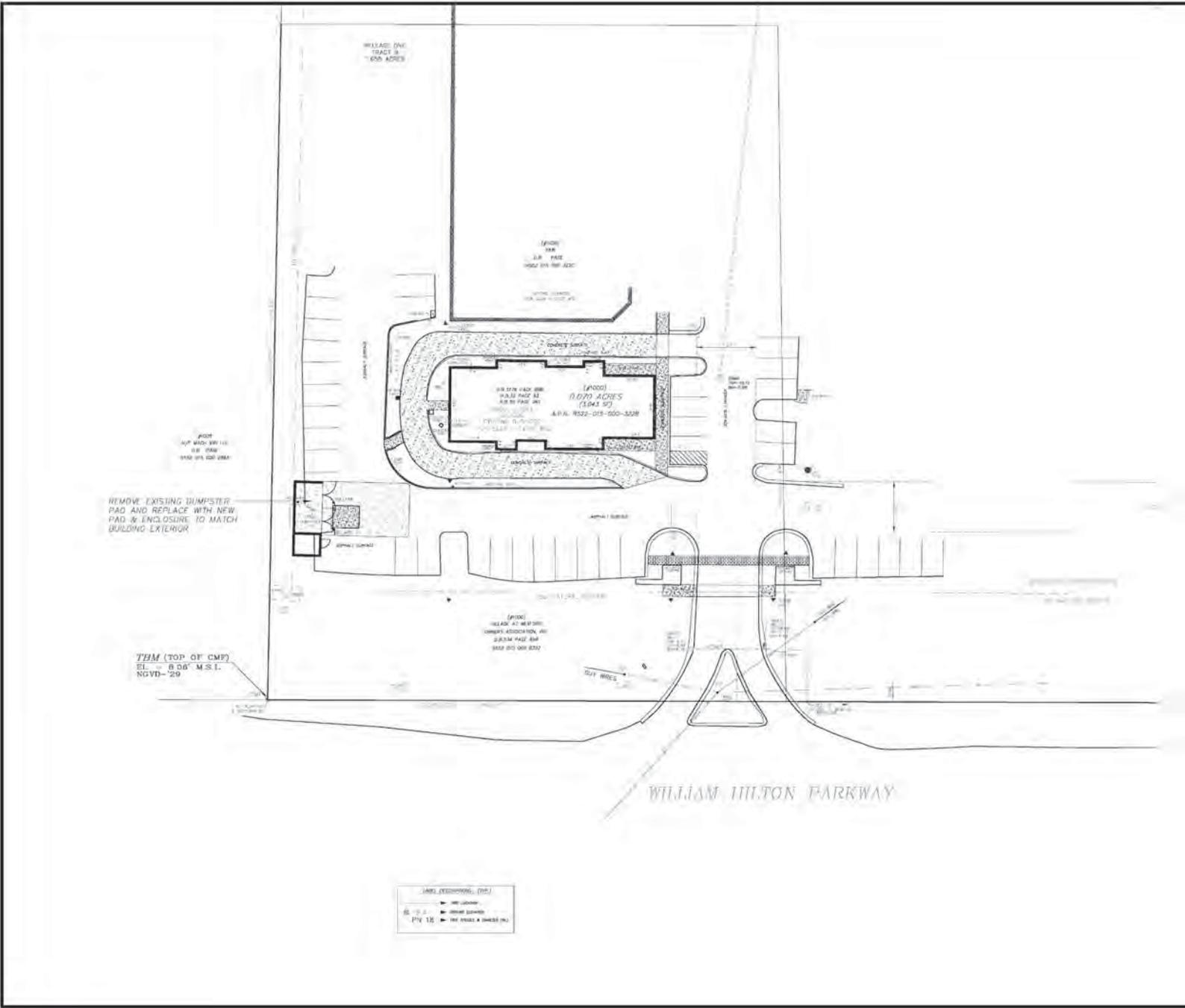
HELDY'S

FACES Lash Studio

Handicapped parking space markings







LOCATION MAP

REVISION BLOCK	DATE	DESCRIPTION



Carter Engineering Consultants, Inc.
3011 Main Hill Road
Suite 200
Walden, GA 30187
P 770.753.0361
www.carterengineering.com

SITE DEVELOPMENT PLANS
for
ZAXBY'S
THE VILLAGE OF REDFORD, HILTON HEAD ISLAND, SC



SHEET TITLE:
SITE PLAN

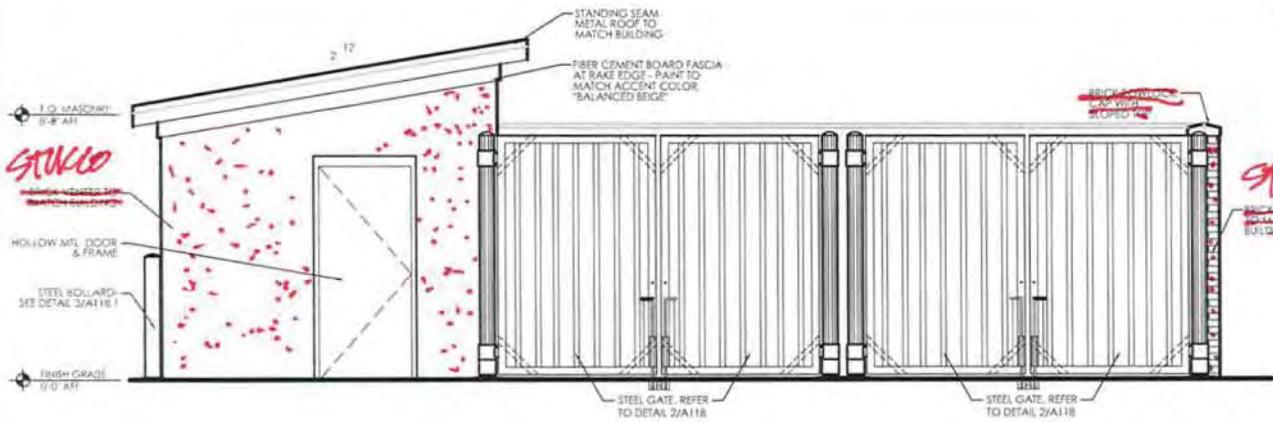
SHEET NUMBER:
1

PROJECT NUMBER:
15117ZAX

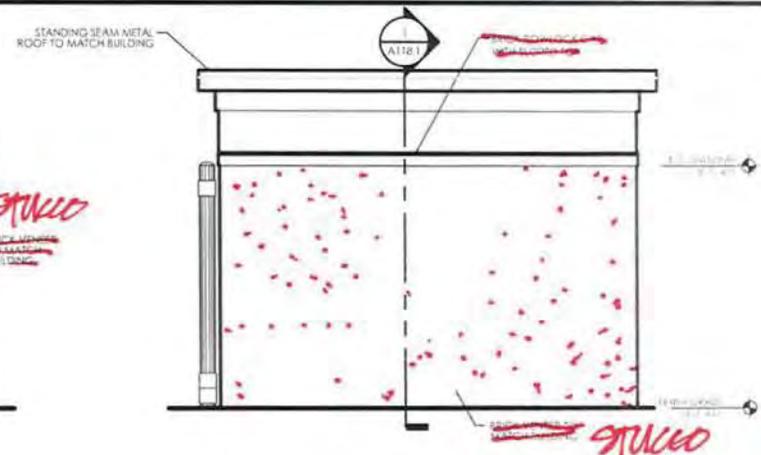
DATE:
7/09/15

UTILITY LINE IDENTIFICATION (FUT)	
	WATER LINE
	SEWER LINE
	GAS LINE
	ELECTRIC LINE

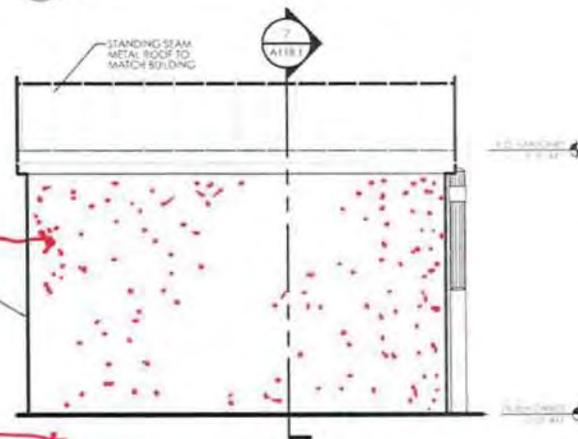
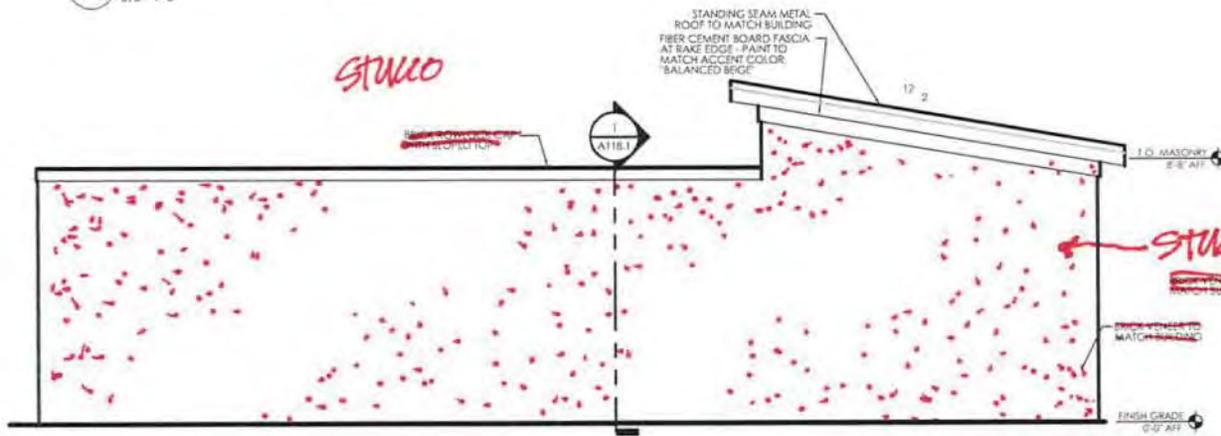




7 FRONT ELEVATION - DUMPSTER
A118 3/8"=1'-0"

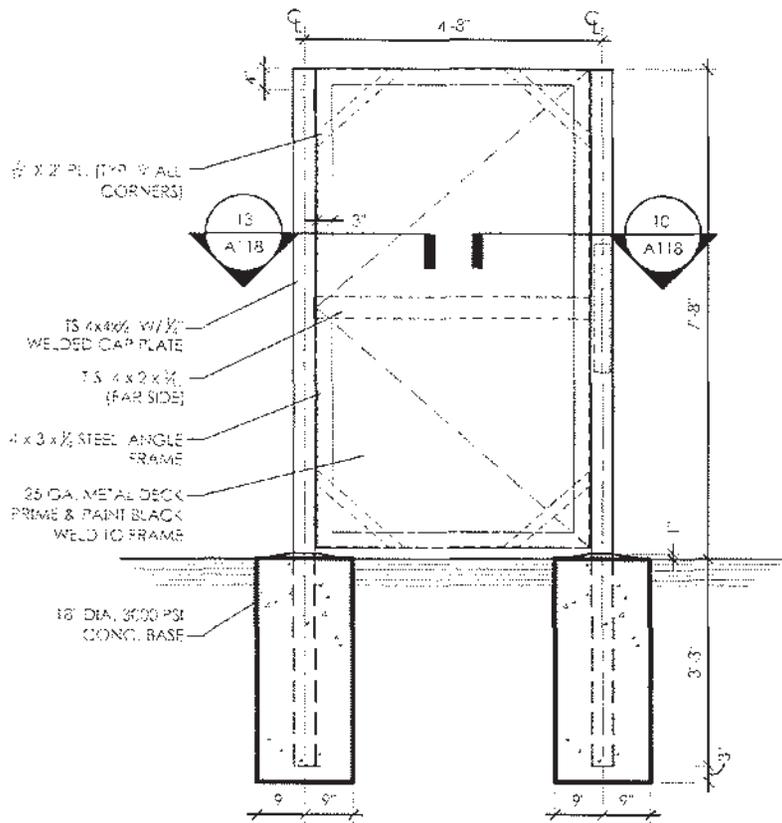


6 RIGHT ELEVATION - DUMPSTER
A118 3/8"=1'-0"

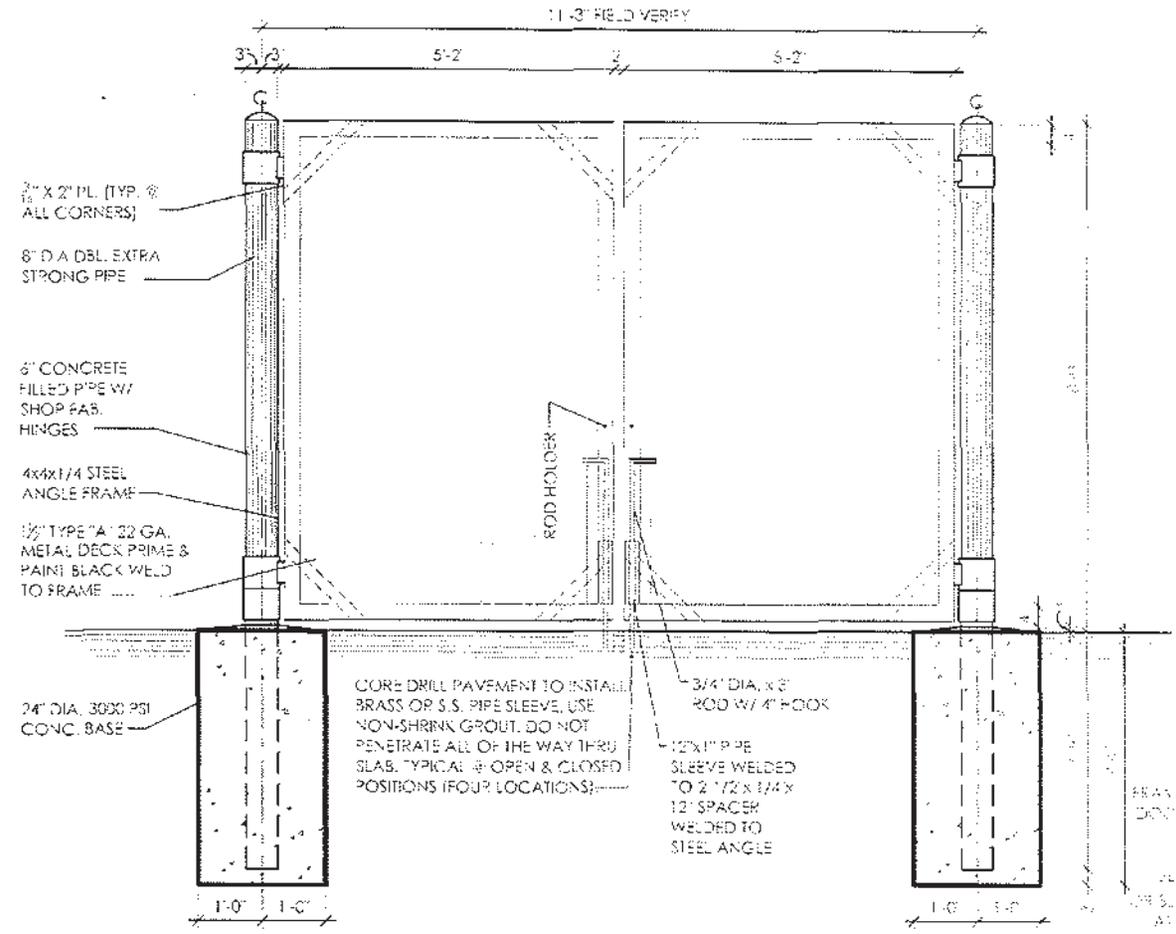


NOTE: STUCCO AND TRIM FINISH AND COLOR SHALL MATCH ~~EXIST~~ BUILDING FINISH AND COLOR.

DUMPSTER ELEVATIONS



3 STEEL GATE DETAIL
A118 1/2"=1'-0"



2 DUMPSTER ENCLOSURE GATE DETAIL
A118 1/2"=1'-0"

(PTM. 2)
TRIPLE 2x10 CEDAR
RAFTERS

NOTE: ALL WOOD TO BE
STAINED AND SEALED

4x8 CEDAR
LOUVERS,
SPACE AT 8" O.C.
SECURE TO
RAFTERS W/
SIMPSON
A34
ANGLES

TRIPLE 2x10
CEDAR FRAME,
SECURE TO WALL
W/ LAG BOLTS

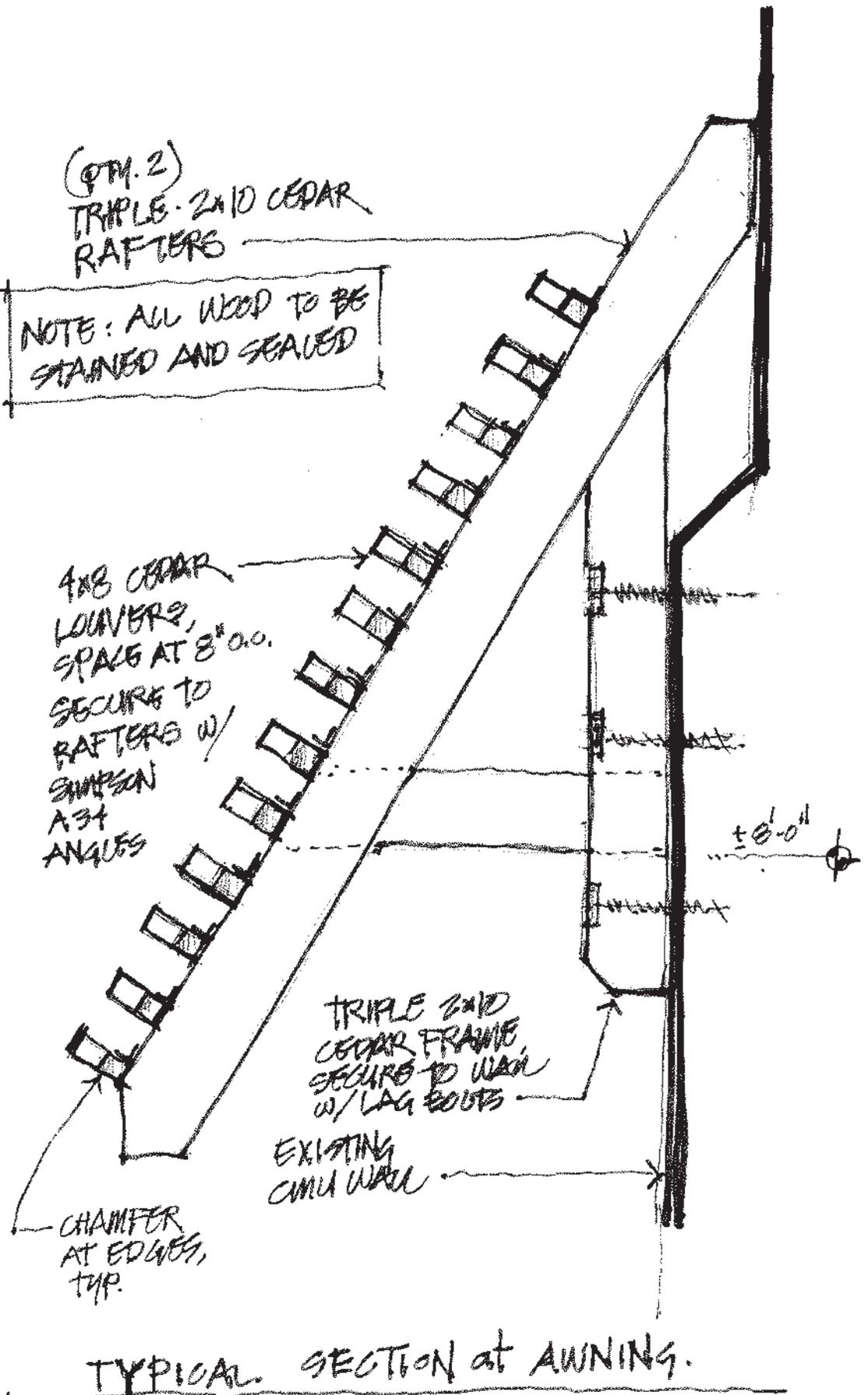
EXISTING
CONC WALL

CHAMFER
AT EDGES,
TYP.

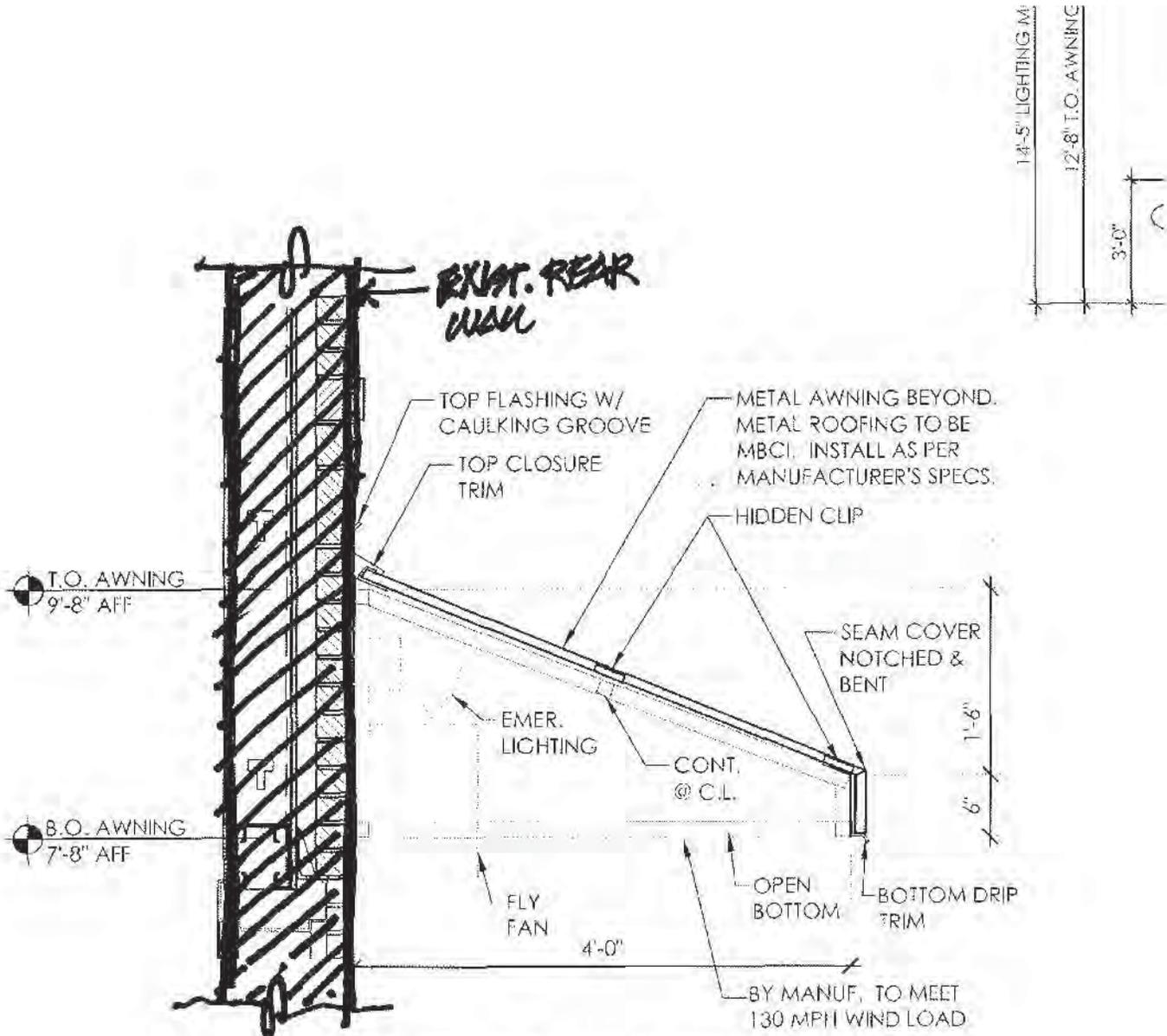
± 0'-0" 

TYPICAL SECTION AT AWNING.

SCALE: 3/4" = 1'-0"



WALLS
(IN.)



REAR AWNING DETAIL
3/4" = 1'-0"

SLALANT
8" CMU

4

PREFINISHED, METAL COPING ~~OR GRAVEL STOP~~ & ROOFING

* COLOR: COPINGS: MATCH SURROUNDING CORNICE COLOR *AT ADJACENT PROPERTIES*
ROOFING @ REAR AWNING: GALVANIZED / GALVALUME
MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR
0.032" THICK ALUM. FINISH SHALL BE KYNAR 500 FLUOROCARBON COATING.
ACCEPTABLE MANUFACTURES ARE AS FOLLOWS:

- A. BERRIDGE MANUF. CO., HOUSTON, TX.
- B. PAC-CLAD
- C. MBCI
- D. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS,
DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S
RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DISCOLORATION & WEATHER-TIGHTNESS
WILL BE REQUIRED.

~~ALL ROOFING MATERIALS WILL BE THE RESPONSIBILITY OF THE S.C. CONTRACTOR AS INDICATED THEREIN.~~

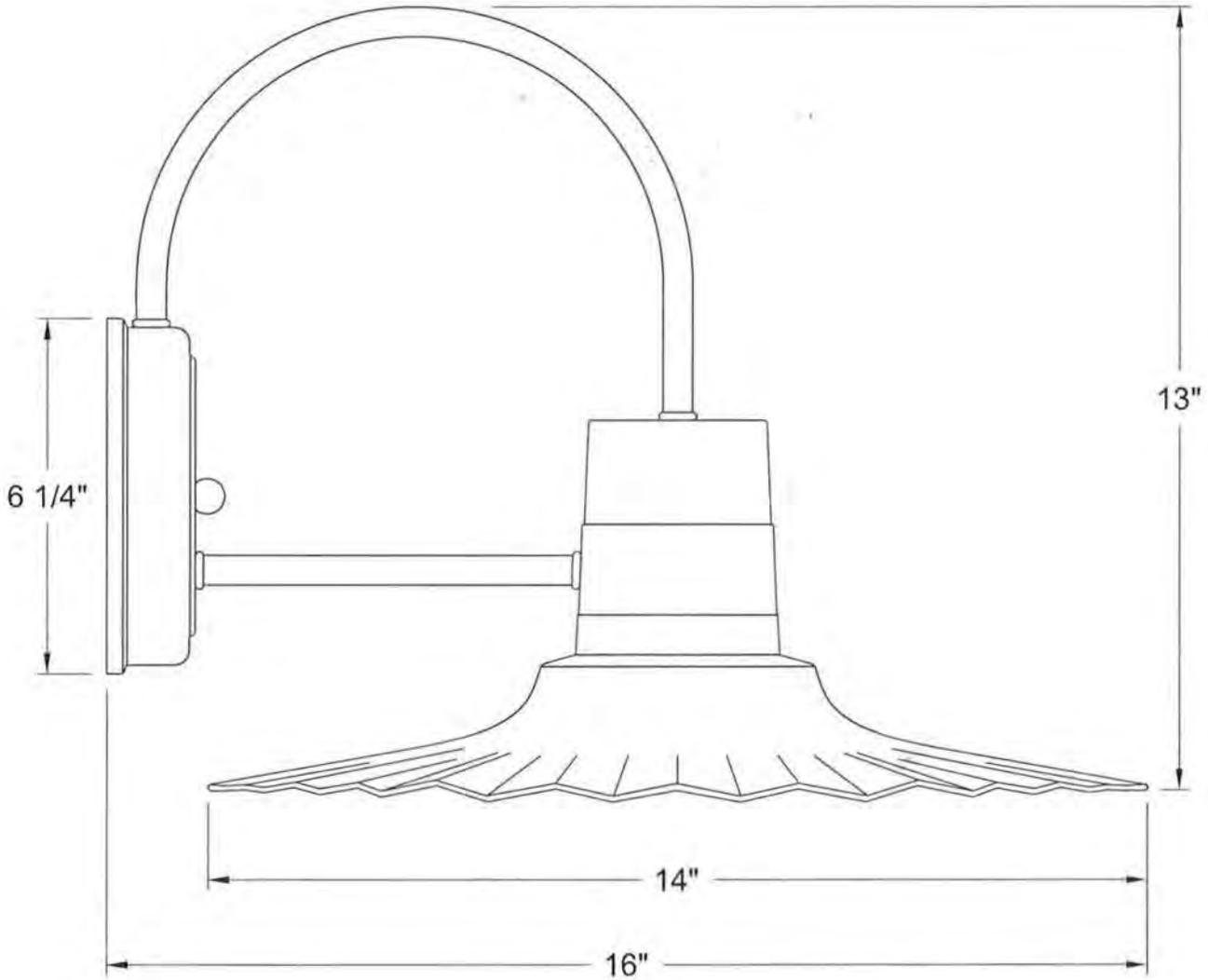
* NOTE: ALL FLASHING, COPING AND METAL ROOF AWNING COLORS
SHALL MATCH COLORS ACCENT COLORS (FLASHING, AWNING
COLORS) USED AT ADJACENT BUILDINGS WITHIN THE
VILLAGE at NEXFORD COMMUNITY.



HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
 www.hilitemfg.com

JOB NAME:		
SCALE: N.T.S.	DATE: 07/09/2013	TYPE:
DRAWN BY: S.M.	DTY:	
SHEET:		REV:



Item Number	Wattage	Voltage
H-19414-B-96/25WLBL	10W	120V

Finish 96-Galvanized	Mounting Wall Mount	Lamp/Socket 1-MED Base 25W max INC (Incandescent)
--------------------------------	-------------------------------	-------------------------------------------------------------

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PERIMALITER® LED WALLPACKS

PGM3/PVL3

Cat.#	
Job	Type



HUBBELL
Outdoor Lighting

Approvals

SPECIFICATIONS

Intended Use:

Perimeter lighting for safety, security and identity - LED units provide 60-70% energy savings over typical pulse start wallpacks. Uses include office buildings, shopping centers, restaurants, schools, warehouses, parking garages and other commercial applications

Construction:

- The die-cast aluminum housing provides firm mounting over recessed junction boxes 1/2" side hubs included for surface conduit wiring. Housing includes a top hub for use with button photo controls for dusk-to-dawn control. The construction not only provides a rigid mount but an excellent heat sink for the LED system, allowing proper operating temperature for optimum performance and long life
- Two door options are available: A cast aluminum and prismatic borosilicate glass assembly for typical commercial applications and an all polycarbonate, one-piece, vandal resistant door for use in non-supervised locations
- Standard finish is dark bronze textured powder paint. The PGM3 version is available in alternate finishes of black, white, gray and platinum silver
- LEDs with CCT of 5100K, 4200K and 3000K are available

Optics/Electrical LED:

- Drivers are 120-277V universal voltage 50/60Hz and have dimming capability standard. Drivers and light engine are easily accessible for future servicing
- A thirty LED light 5100K engine produces over 5600 lumens (82 LPW) out of the PGM3 (4800 lumens (69 LPW) for PVL3) with asymmetric distribution for typical mounting heights of 12-15 feet. The lateral spread allows typical spacing of three to four times the mounting height with excellent uniformity.
- 34w versions also available, see chart below for lumen outputs

Listings:

Listed to UL 1598 for use in wet locations

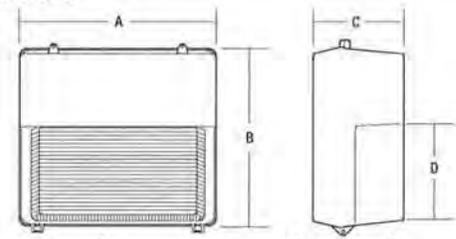
Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

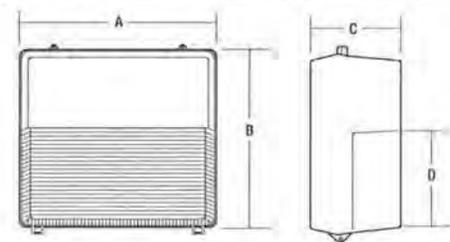
PRODUCT IMAGE(S)



DIMENSIONS



	A	B	C	D
PGM3	147/8"	15"	8"	6 13/16"
LED	378 mm	381 mm	203 mm	173 mm



	A	B	C	D
PVL3	147/8"	15"	8"	7 7/16"
LED	378 mm	381 mm	203 mm	189 mm

CERTIFICATIONS/LISTINGS



ORDERING INFORMATION ORDERING EXAMPLE: PGM3-30LU-5K-BZ

Catalog Number	Construction	Wattage	Drive Current	Voltage	Color Temperature	Lumens	LPW	Weight lbs. (kg)
PGM3 LED								
PGM3-30LU-5K-BZ	BL Glass Refractor	69	700ma	120-277v	5100K	5678	82	16
PGM3-30LU-5K-035-BZ	Glass Refractor	34	350ma	120-277v	5100K	3209	96	15
PGM3-30LU-4K-BZ	Glass Refractor	69	700ma	120-277v	4200K	5157	69	16
PGM3-30LU-4K-035-BZ	Glass Refractor	34	350ma	120-277v	4200K	2955	88	15
PGM3-30LU-3K-BZ	Glass Refractor	71	700ma	120-277v	3000K	3932	56	16
PGM3-30LU-3K-035-BZ	Glass Refractor	34	350ma	120-277v	3000K	2338	69	15
PVL3 LED								
PVL3-30LU-5K-BZ	Polycarbonate Refractor	69	700ma	120-277v	5100K	4873	69	11
PVL3-30LU-5K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	5100K	2757	81	10
PVL3-30LU-4K-BZ	Polycarbonate Refractor	69	700ma	120-277v	4200K	4505	66	11
PVL3-30LU-4K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	4200K	2614	78	10
PVL3-30LU-3K-BZ	Polycarbonate Refractor	71	700ma	120-277v	3000K	3490	49	11
PVL3-30LU-3K-035-BZ	Polycarbonate Refractor	34	350ma	120-277v	3000K	2089	62	10

Notes: *Units are universal voltage 50/ 60 hz. Change "U" to 347v or 480v for those voltage options. On PGM3, for alternate finishes, change BZ to BL-Black, WH-White, GR-Gray, PS-Platinum Silver



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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PGM/PVLED 7/13

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Zaxby's at Village at Wexford -
ALTERATION/ADDITION

DRB#: DRB-001271-2015

DATE: July 28, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Paint dumpster enclosure doors and gates a color consistent with Village at Wexford (i.e. dark green) versus black. Consider asphalt shingle roof on dumpster enclosure to match building roof or metal roof to match metal awning (same color/materials). Bollards at dumpster should be painted consistent with Village at Wexford.
2. Consider bronze versus galvanized for decorative light fixture.
3. Consider painting existing orange handrail bronze.

Applicant proposes to make minor alterations to the former Wendy's restaurant to convert it to a Zaxby's restaurant including removing existing metal awnings and replacing them with wood awning system, repainting the building to match other buildings within the Village at Wexford, replacing the existing dumpster enclosure with a large pad and enclosure to match the building, and adding decorative lighting.

Project requires written Notice of Action from Village at Wexford Board of Directors.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	6-2-11
Accepted by:	KJ
DRB #:	1228-15
Meeting Date:	

Applicant/Agent Name: JOE NIX Company: NIX CONSTRUCTION CO.
 Mailing Address: P.O. BOX 7667 City: H.H.I. State: SC Zip: 29938
 Telephone: 843-341-2330 Fax: 843-341-2320 E-mail: JOENIX@NIXCONSTRUCTION.COM
 Project Name: HARBORSIDE 3 RE-ROOF Project Address: 9 HARBORSIDE LANE
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

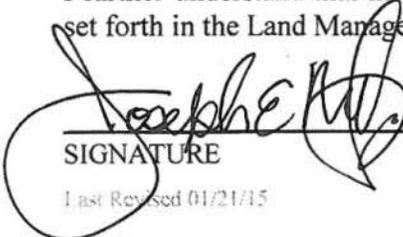
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE
 Last Revised 01/21/15

July 02, 2015

 DATE

Harbourside III 
AT SHELTER COVE HARBOUR

ROOF REPLACEMENT

9 HARBOURSIDE LANE, HILTON HEAD ISLAND, S.C.

PROJECT NO. A1143-2015

OWNER

HARBOURSIDE - III HPR
JACK MASTERS – BOARD PRESIDENT

GENERAL CONTRACTOR / CONSULTANT

NIX CONSTRUCTION COMPANY INC.
JOSEPH E. NIX JR. – PRESIDENT
HILTON HEAD ISLAND, S.C.
S.C. LICENSE NO. G109130

ROOFING CONTRACTOR

ROOF CRAFTERS INC.
DAVID OWEN – PRESIDENT
S.C. LICENSE NO. G119360

DATE: MAY 18, 2015

I. PROJECT NARRATIVE

- A. **Flat Roofs** - The objective of this project is to remove approximately 13,500 square feet of existing modified bitumen built up roof system and underlying perlite insulation board and replace with a new 60 mill TPO membrane roof with new tapered R20 Poly ISO closed cell insulation.
- B. **Sloped Roofs** – The objective is to remove approximately 10,600 square feet of spanish concrete roof tiles and underlying plywood substrate and replace with new standing seam metal roof over new fire treated plywood.
- C. **Skylights** – Remove the existing skylights and replace with new roofing systems to prevent future risk of leaks.
- D. **Lightning Protection** – Remove the existing lightning protection system (aerials and cable) to allow for the installation of new roof systems. Install new cable and rods after new roof system is completed.
- E. **Roof Top Hvac Units** – Disconnect and remove existing roof top heat pumps as required to install new roofing system. Install new aluminum stands to provide support and anchorage for heat pumps. Change out old heat pumps with new as required.
- F. **Chimney caps** – Remove existing chimney caps and windscreens and replace with new metal to match standing seam roof.
- G. **Flashing** – Remove existing parapet wall flashing and replace with new .032 pre-finished flashing as required to complete all details per manufacturer's specifications.
- H. **Electrical** – Remove and replace all of the existing power cable and disconnects to all of the roof top hvac units. Also secure and or replace all loose wiring and conduits on flat roofs.
- I. **Gutters** – Remove and replace all gutters and downspouts with new pre-finished commercial grade products.
- J. **Awnings** – Remove and replace all fabric covers.



SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

June 19, 2015

Joe Nix
Nix Construction

Delivered via email

RE: Harbourside 3 Roofing Project

Dear Joe,

The Shelter Cove Company's ARB is in receipt of the proposal package for the re-roofing project for Harbourside 3.

The ARB has reviewed and approved the plan package as submitted with the following conditions:

1. The standing seam metal roofing material used on the building shall be the "terra cotta" color.
2. The construction staging and lay down area outside of the gated parking lot shall be at the location on the site plan that was submitted and the area shall have a temporary security fence and shall be screened with either black or dark green screening material. All construction activity outside of the private parking shall be confined to the area. Said activity shall include, but not limited to, contractor and subcontractor parking, temporary office and storage structures, material and equipment storage etc. At no time shall any staging or lay down activity relating to this project be outside of the 2 areas proposed. The outside area shall be reviewed in the field and approved prior to the start of the project.
3. All exterior first floor walkways shall remain open and free of any obstacles during the entire project at all times.
4. Construction fencing shall be used around all construction activity and equipment taking place around the perimeter of the building.
5. All common surface areas where equipment will be placed or traversed shall utilize weight protection methods in order to eliminate damage to said areas.
6. All Shelter Cove property that will have construction activity occurring on it shall be videotaped prior to the start of the project.
7. Finally, at \$15,000 compliance deposit will be required before the project may commence.

Please notify the SCC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCCARB Committee

PROJECT NAME: ROOF REPLACEMENT
PROJECT LOCATION: 9 HARBOURSIDE LANE
PROJECT NO: A1143-2015
DATE: MAY 18, 2015

II. PROJECT LOCATION – SITE MAP

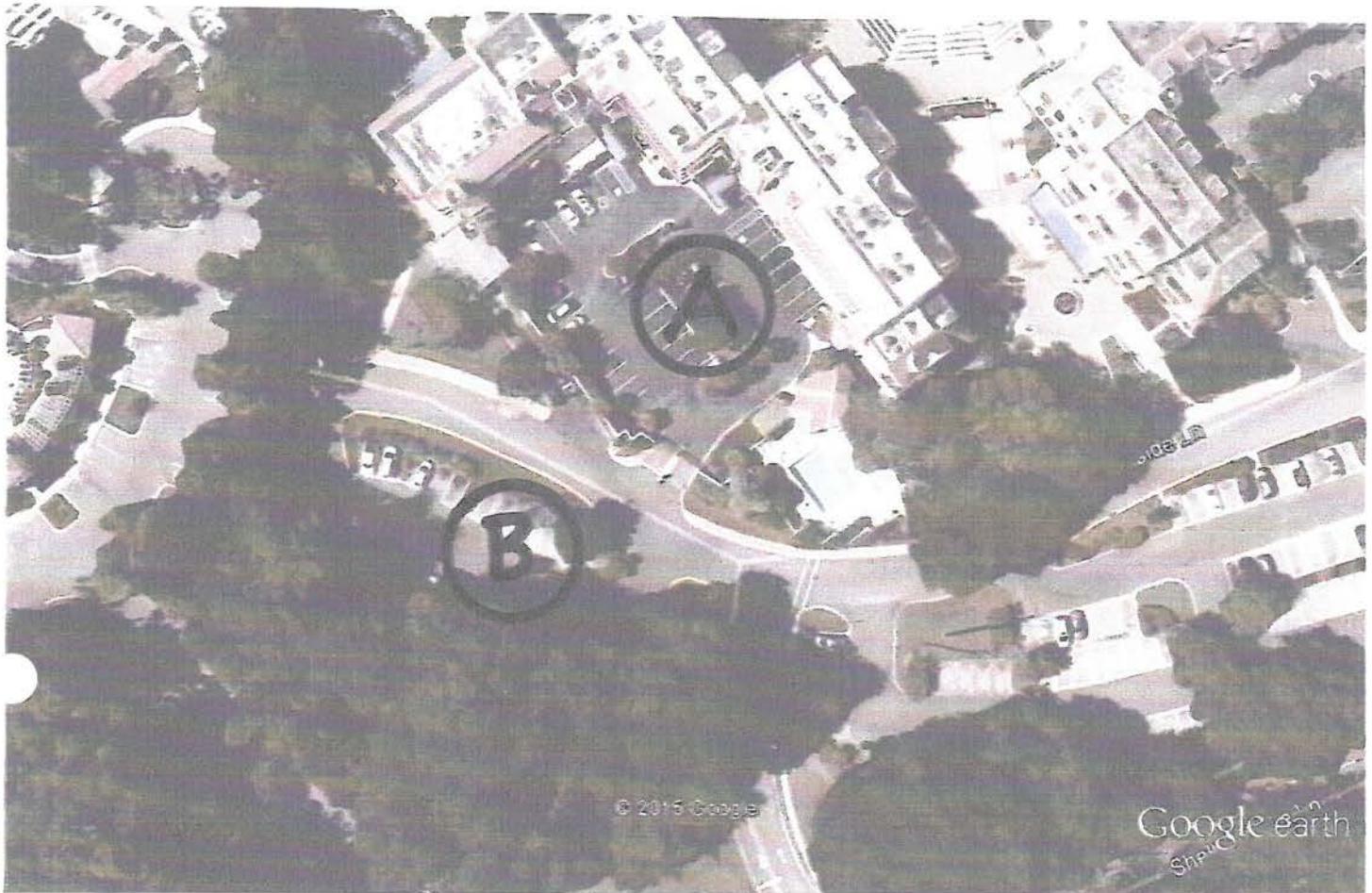


Google earth

feet 1000
meters 500



IV. PROJECT STAGING AND PARKING SITE MAP



Google earth

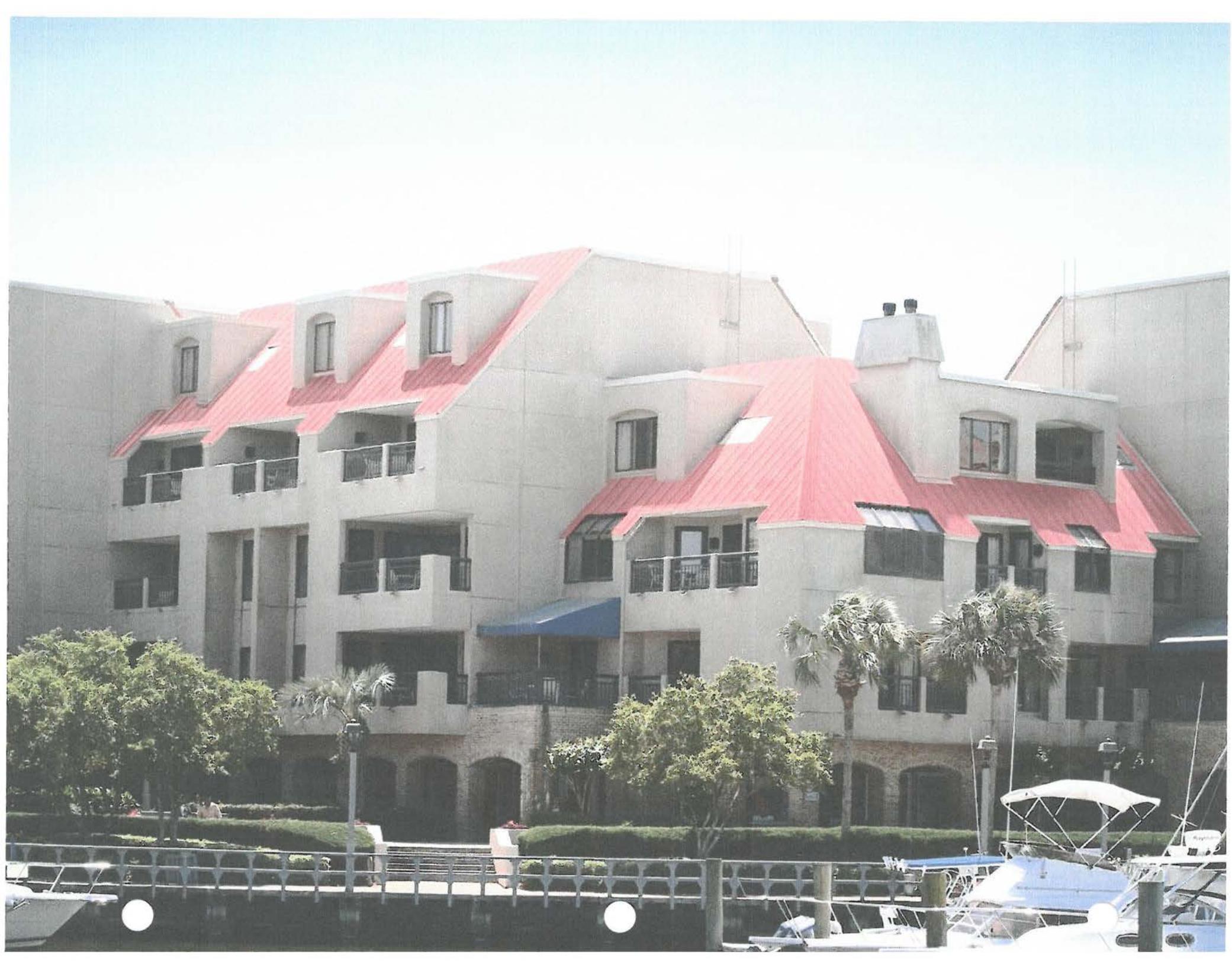


PARKING AREAS

A = 14 SPACES

B = 14 SPACES

HARBORSIDE 3
ROOFING PROJECT



ENVIRONMENTALLY SMART COLORS - DESIGNED ENERGY EFFICIENT



TERRA COTTA



AGED COPPER



SOLAR WHITE



SANDSTONE



SURREY BEIGE



COLONIAL RED



PATINA GREEN



REGAL WHITE



ASH GRAY



SIERRA TAN



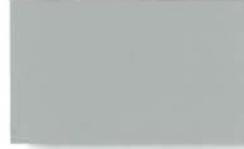
*REGAL RED



*HEMLOCK GREEN



STONE WHITE



DOVE GRAY



MEDIUM BRONZE



*BURGUNDY



*HARTFORD GREEN



SLATE BLUE



SLATE GRAY



MANSARD BROWN



MATTE BLACK



EVERGREEN



*REGAL BLUE



CHARCOAL GRAY



DARK BRONZE

METALLIC COLORS



*SILVER



*COPPER



*CHAMPAGNE



*PRE-WEATHERED GALVALUME[®]



ACRYLIC COATED GALVALUME[®]

NON-PAINTED

WEATHERED METAL COLORS



*GALV-TEN[™] RAW



*COPPER-TEN[™] RAW



*COR-TEN AZP[®] RAW

*Available at a slight price premium.
Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar 500[®] or Hylar 5000[®] resins, which provide superior color retention, and allow us to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Silver, Champagne, and Pre-Weathered Galvalume. Metallics are warranted for chip, crack, and peel only. Please contact your representative for more information.

*Also available in Robust.





TERRA COTTA
CoolR®





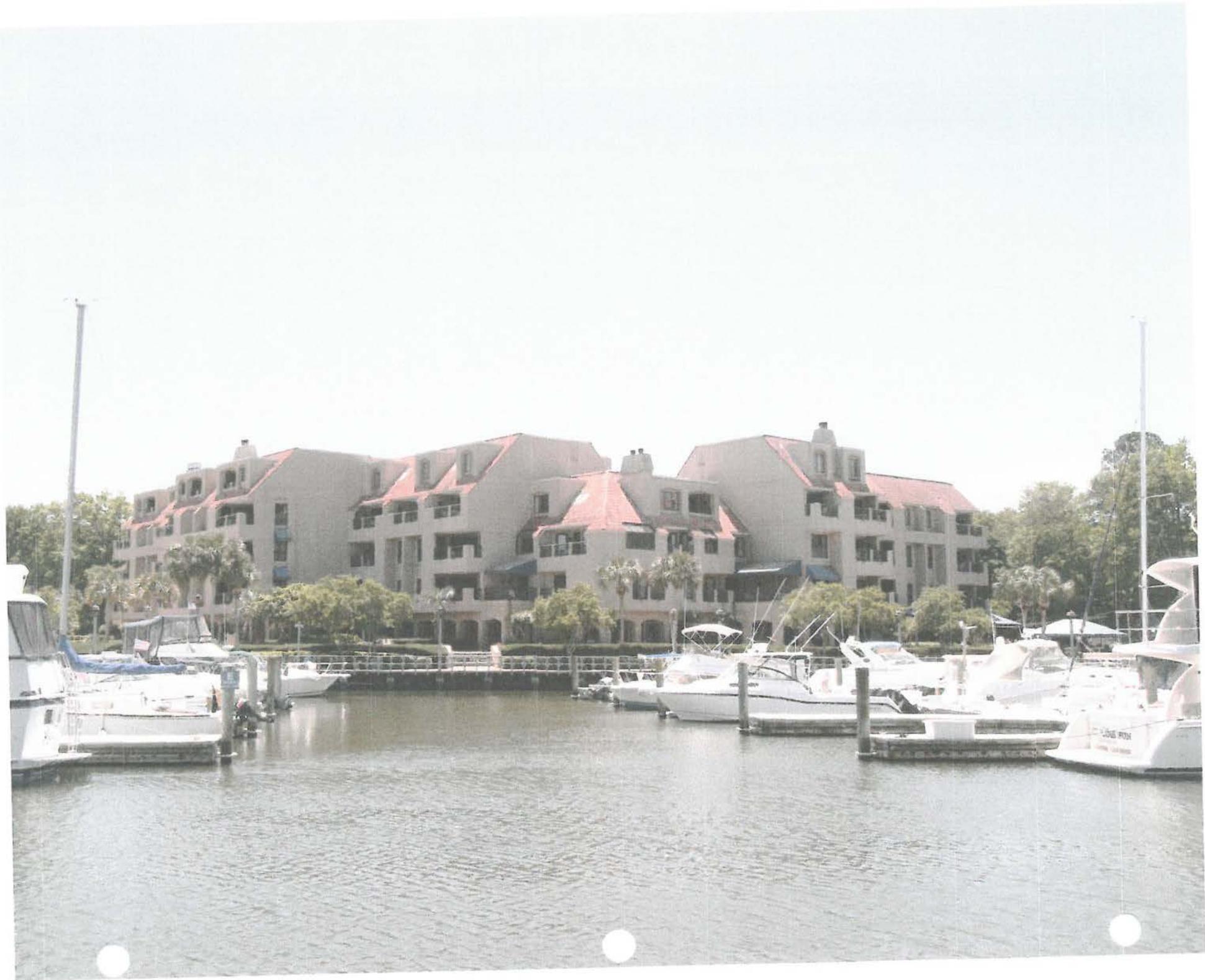
NOTICE
RESIDENTS MUST HAVE A
VALID IDENTIFICATION CARD
TO ENTER THE GATE AT ALL
TIMES. NO VISITORS ARE
ALLOWED WITHOUT A
RESIDENT'S PERMISSION.

HARBORSIDE III



A B

C San Mignels



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Harborside 3 Re-roof - ALTERATION/ADDITION

DRB#: DRB-001288-2015

DATE: July 28, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

Applicant proposes to re-roof Harborside 3 to replace the existing Spanish concrete roof tiles with standing seam metal roof in a terra cotta color. Existing fabric awnings will be removed and replaced to match existing.

Project has received written Notice of Action from Shelter Cove Company's ARB.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Roni Allbritton Company: Shelter Cove Towne Centre
 Mailing Address: 40 Shelter Cove Lane City: Hilton Head State: SC Zip: 29928
 Telephone: 686-3090 Fax: 686-5581 E-mail: allbritton@sheltercoveTowneCentre.com
 Project Name: Shelter Cove Towne Centre Project Address: 40 Shelter Cove Lane
 Parcel Number [PIN]: R 520 012 00B 0026 000
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
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- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

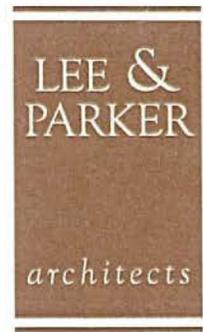
I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

7-13-15

DATE



JAKIE H. LEE, AIA
W. THOMAS PARKER, JR., AIA

Building #180

The attached project is located on William Hilton parkway in Shelter Cove Towne Center behind the Kroger Store. The 5,000 sq. ft. building will consist of (2) 500 sq. ft. storage units for the Town Center and the Island Rec Center and 4,000 sq. ft. of retail space.

The front consists of large storefront windows with tabby stucco and cement board entrances. The storage units will be cladded in cement board siding that mimics stained horizontal wood siding that will provide low maintenance over the life of the building. The colors and materials are consistent with the other buildings at the Towne Center.

Thank-you for your time and consideration of this project.

A handwritten signature in blue ink, appearing to read "Timothy C. Probst", is written over a horizontal line.

Timothy C. Probst. AIA



SHELTER COVE COMPANY

PO Box 6004
Hilton Head Island, SC 29938

July 10, 2015

RoniAllbritton
Shelter Cove Towne Centre
40 Shelter Cove Lane, Suite 180
Hilton Head Island, SC 29928

RE: Unit 180

Dear Roni,

The Shelter Cove Harbour Company's ARB is in receipt of the plans from Lee and Parker for SCTC's unit 180.

The ARB has reviewed and approved the plans as submitted.

Please notify the SCHC office at (843) 310-0431 or by email at jbetts@sheltercovehc.org should you have any questions.

With Kindest Regards,

John P. Betts
Manager

Cc: Mr. Scott Foster, Chairman
SCHCARB Committee

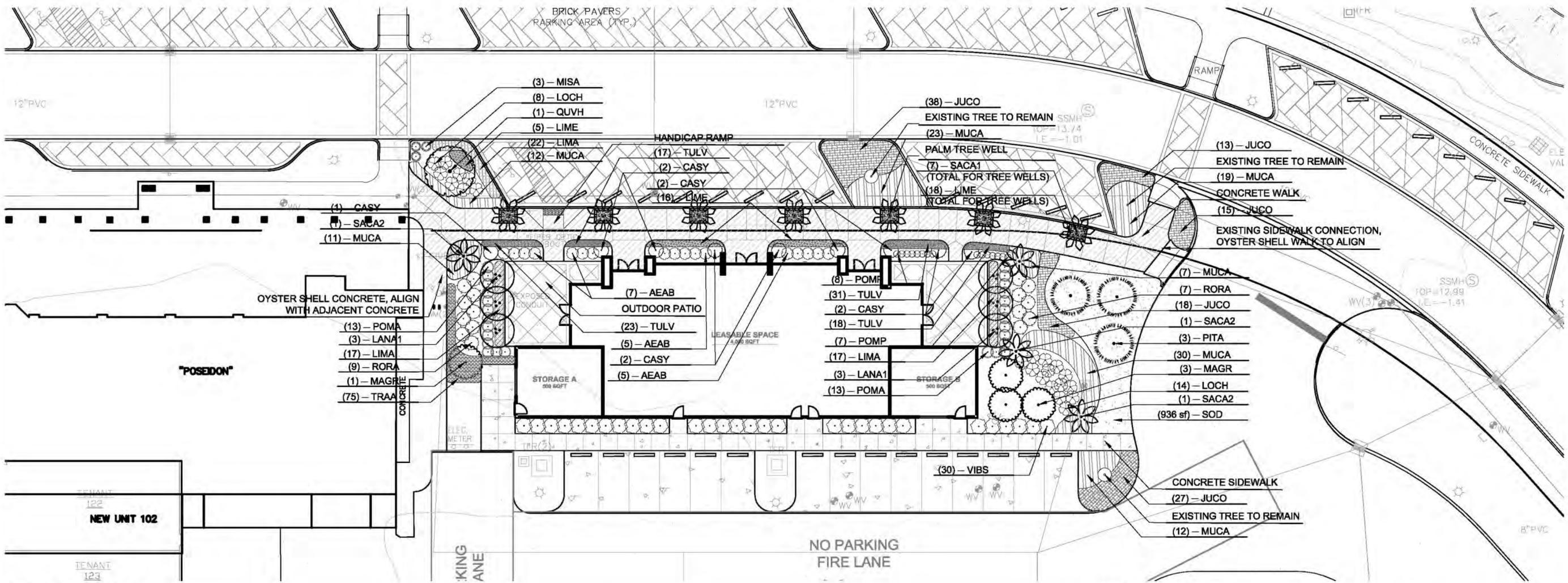
BUILDING 180
TOWNE CENTER @ SHELTER COVE
HILTON HEAD ISLAND, S.C.

CEMENT BOARD SIDING-
NICHHA VINTAGE WOOD-
CEDAR

STOREFRONT/ CURTAIN WALL/
CANTILEVERED FASCIA-
KAWNEER ANODIZED CLEAR

STANDING SEAMED ROOF-
PAC CLAD- SILVER





PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	HEIGHT	SPREAD	REMARKS
LANAI	6	Lagerstroemia x 'Natchez'	Natchez Crepe Myrtle	B 4 B or Cont.	1" Cal		8'-10'	3'-4'	Multi-stem (min. 3 canes), 1" caliper minimum for each cane
MAGR	4	Magnolia grandiflora 'TMGH' - Alta	Alta Southern Magnolia	B 4 B or Cont.	2" Cal		8'-10'	3'-4'	2" caliper minimum, strong central leader, full
PITA	3	Pinus taeda	Loblolly Pine	B 4 B or Cont.	2.5" Cal		10'-12'	3'-4'	Strong central leader
QUVH	1	Quercus virginiana 'High Rise'	High Rise Live Oak	B 4 B or Cont.	3" Cal		12'-14'	6'-8'	3" caliper minimum, strong central leader, matched specimens
SACA2	4	Sabal palmetto	Cabbage Palm	B 4 B or Cont.			12'-14'	16'	Varies, hurricane cut, smooth trunk
SACAI	7	Sabal palmetto	Cabbage Palm	B 4 B			16'		Matched, hurricane cut, smooth trunk
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD	REMARKS		
AEAB	17	Azalea Encore 'Autumn Belle'	Autumn Belle Encore Azalea	3 gal	18"-24"	18"-24"	Full		
CASY	9	Camellia sasanqua 'Yuletide'	Yuletide Camellia	1 gal	36"-48"	24"-36"	Matched		
LOCH	22	Loropetalum chinensis	Loropetalum	1 gal	24"-36"	18"-24"			
MISA	3	Miscanthus sinensis 'Adagio'	Adagio Dwarf Miscanthus	1 gal	12"-18"	12"-18"	Full pot		
POMA	26	Podocarpus macrophyllus makii	Shrubby Yew	1 gal			Full		
POMP	15	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	3 gal			Full		
RORA	16	Rosa x 'Radtko'	Double Knockout Rose	1 gal	24"-36"	18"-24"	Full		
VIBS	30	Viburnum suspensum	Sandankwa Viburnum	1 gal	38"-48"	38"-48"	Full		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING	REMARKS	
JUCO	111	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	1 gal	6"-10"	10"-12"	30" o.c.	Full pot	
LIMA	56	Liriope muscari 'Aztec Grass'	Aztec Grass	1 gal	6"-10"	8"-12"	24" o.c.	Full pot	
LIME	39	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	1 gal	12"-18"	8"-12"	30" o.c.		
MUCA	114	Muhlenbergia capillaris	Muhly Grass	1 gal	12"-18"	8"-12"	36" o.c.		
SOD	936 sf		Zeon Zoysia	sod			18" o.c.		
TRAA	75	Tracheloerpernum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal			15" o.c.		
TULV	89	Tulbaghia violacea	Society Garlic	1 gal					

LEGEND/PAVING KEY

- OYSTER SHELL CONCRETE (#3 SHELL OR SIZE MIX TO MATCH EXISTING OYSTER SHELL WALKS ON SITE)
- CONCRETE FIELD - ROCK SALT FINISH, DIAGONAL SAW CUT SCORE JOINTS (5' GRID) AND 12" BORDER WITH COURSE BRUSH BROOM FINISH
- CONCRETE - COARSE BRUSHED BROOM FINISH OR MATCH EXISTING CONCRETE ON SITE
- PALM TREE WELL W/ BRICK PAVEMENT BANDING - PROVIDE SINGLE HEADER PAVEMENT BORDER (PAVEMENT TO MATCH EXISTING PAVEMENTS ON SITE. PROVIDE CORNER DETAIL.
- TRUNCATED DOME ADA DETECTABLE WARNING PAVEMENT - FINE HALL ADA TRUNCATED DOME PAVEMENTS (OR EQUIVALENT) COLOR: RED

PLANTING SCHEDULE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR DOING HIS/HER OWN QUANTITY TAKE OFFS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES.
- IF QUANTITY DISCREPANCIES OCCUR BETWEEN THE PLANS AND THE PLANTING SCHEDULE, THE CONTRACTOR SHALL USE THE GREATER QUANTITY FOR BIDDING PURPOSES. IF DISCREPANCIES OCCUR BETWEEN PLANT SPECIFICATIONS AS NOTED ON THE PLANT SCHEDULE AND WHAT IS SHOWN IN THE PLANS, THE SPECIFICATIONS ON THE PLANTING SCHEDULE SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON THE PLANS.

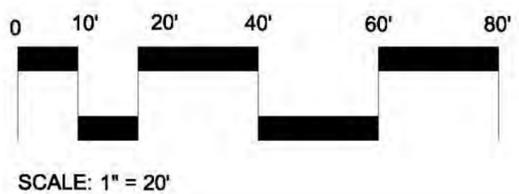
GENERAL PLANTING DETAIL NOTES:

- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC, OR WIRE MESH. WIRE BASKETS MUST BE COMPLETELY REMOVED PRIOR TO INSTALLATION.
- ROOTBALLS SHALL BE SET 1"-2" ABOVE FINISHED GRADE AND SET PLUMB TO THE HORIZON UNLESS OTHERWISE NOTED.
- CONTRACTOR TO ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. SOILS WITHIN LANDSCAPE PLANTER ISLANDS, PARKING ISLANDS AND PLANTING BEDS SHALL BE WELL AERATED AND SHALL CONTAIN AT LEAST 5% ORGANIC MATTER. SOIL PH SHALL BE WITHIN A RANGE OF 5.5 TO 12. CONTRACTOR SHALL PROVIDE SOIL TESTING FOR ALL AREAS WITH RECOMMENDED IMPROVEMENTS PRIOR TO INSTALLATION.
- SOIL BERM'S SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE PLANTING PIT WITH A HEIGHT AND WIDTH OF 6".
- MULCH SHALL BE A 3" DEEP LAYER PLACED TO THE EDGE OF THE TRUNK FLARE, AROUND THE BASE OF SHRUBS, OR SOLIDLY AROUND GROUNDCOVER. MULCH SHALL BE AT A MINIMUM 2" CLEARANCE FROM TREE TRUNKS AND SHRUB STEMS. CONTRACTOR TO CALCULATE MULCH.
- STRAPPING SHALL BE MINIMUM 1" WIDE BLACK NYLON OR POLYPROPYLENE. GUTTING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, AND FLEXIBLE PLASTIC OR RUBBER, SECURELY FASTENED TO WOODEN STAKES. ALL WOODEN STAKES OR EARTH ANCHORS SHALL BE LOCATED BEYOND THE EDGE OF SOIL RING.
- IF BURLAP OR WIRE BASKET ARE PRESENT, REMOVE TO A MINIMUM DEPTH OF 12" OR GREATER.

LANDSCAPE DEMOLITION NOTES:

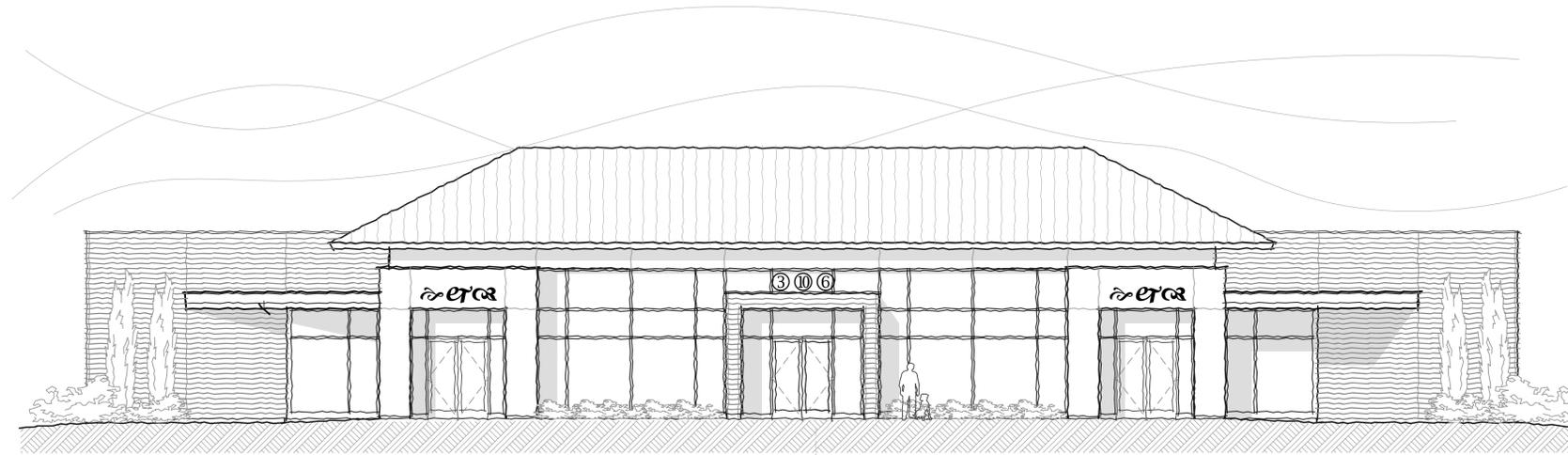
- CONTRACTOR RESPONSIBLE FOR REMOVING ALL EXISTING LANDSCAPING WITHIN DISTURBANCE AREA UNLESS SPECIFICALLY NOTED TO REMAIN.

PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE



CONCEPTUAL SITE & LANDSCAPE PLAN
BUILDING 180 AT SHELTER COVE MALL
 JULY 2, 2015

Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners



ARTISTIC RENDERING- NOT FOR REFERENCE

A NEW SHELL FOR BUILDING #180

INDEX OF DRAWINGS:

ARCHITECTURAL:

- C-0 TITLE SHEET
- A-1 FLOOR PLAN/ ROOF PLAN
- A-2 SCHEDULES/ BUILDING SECTIONS
- A-3 ELEVATIONS
- A-4 WALL SECTIONS
- A-5 WALL SECTIONS

CIVIL:

- SITE AND LANDSCAPE PLAN

DESIGN CRITERIA

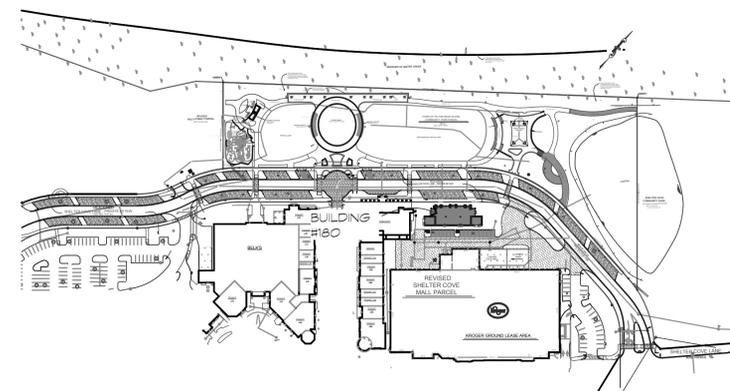
DESCRIPTION:

1 STORY RED STEEL FRAME ON SPREAD FOOTINGS. EXTERIOR WALLS ARE METAL STUD & GYPSUM SHEATHING. CEMENT BOARD SIDING, STUCCO, AND METAL PANELS. CONCRETE SLAB. METAL TRUSS ROOF W/ TPO AND STANDING SEAM METAL ROOFING

Design Criteria for Code Compliance as of: 2012 IBC

Type of Construction:	2	
Sprinkler:	YES	Protected/Unprotected
Occupancy:	MERCANTILE	
ALLOWABLE BUILDING AREAS (Table 503):		
Building Floor Areas	Actual	Allowed
Mercantile	5,000 sqft	12,500 sqft
Allowable Areas Increase:	NOT NEEDED	
ALLOWABLE HEIGHTS (Table 503):		
Building Height Above Grade:	Actual	Allowed
	27'-2"	40.0'
Building Height in Stories:	1	2

VICINITY PLAN:



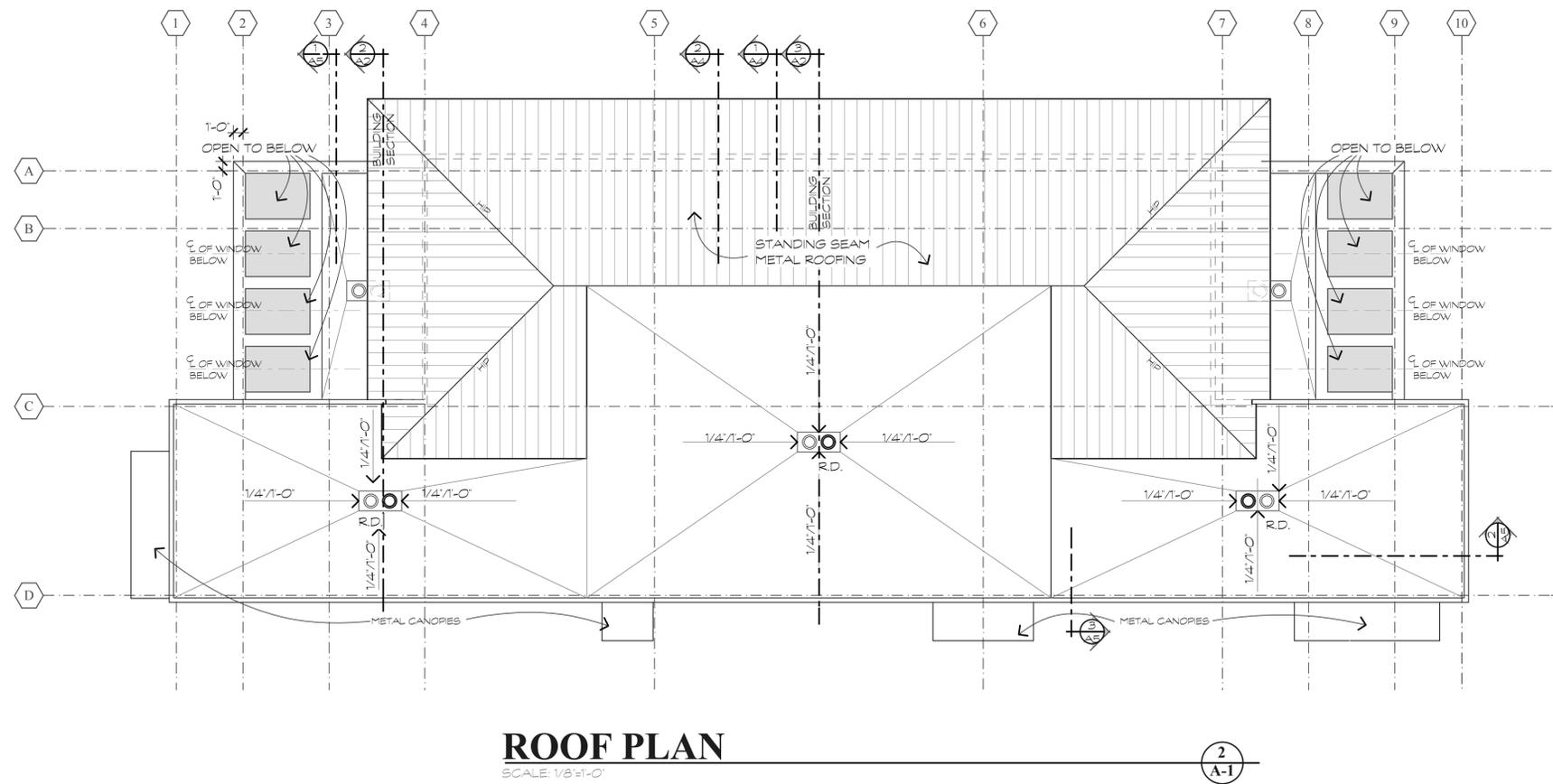
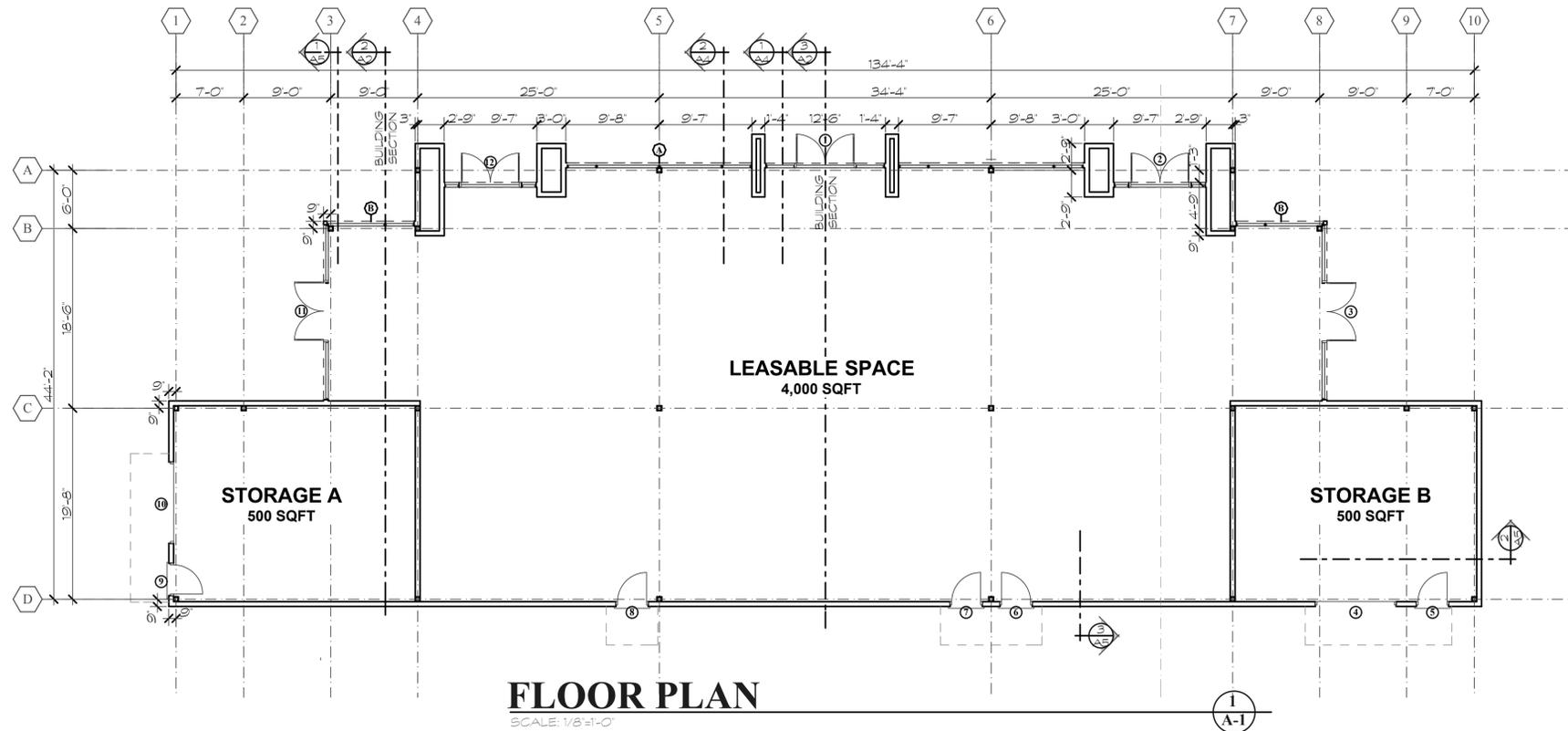
COLOR KEY:



A NEW BUILDING SHELL:
BUILDING #180
 Towne Center @ Shelter Cove
 Hilton Head Island, S.C.

REVISIONS	DATE

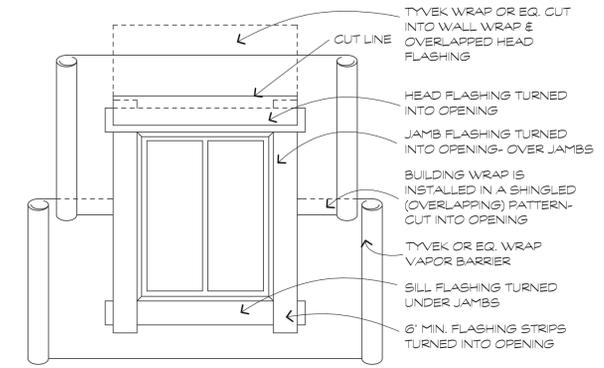
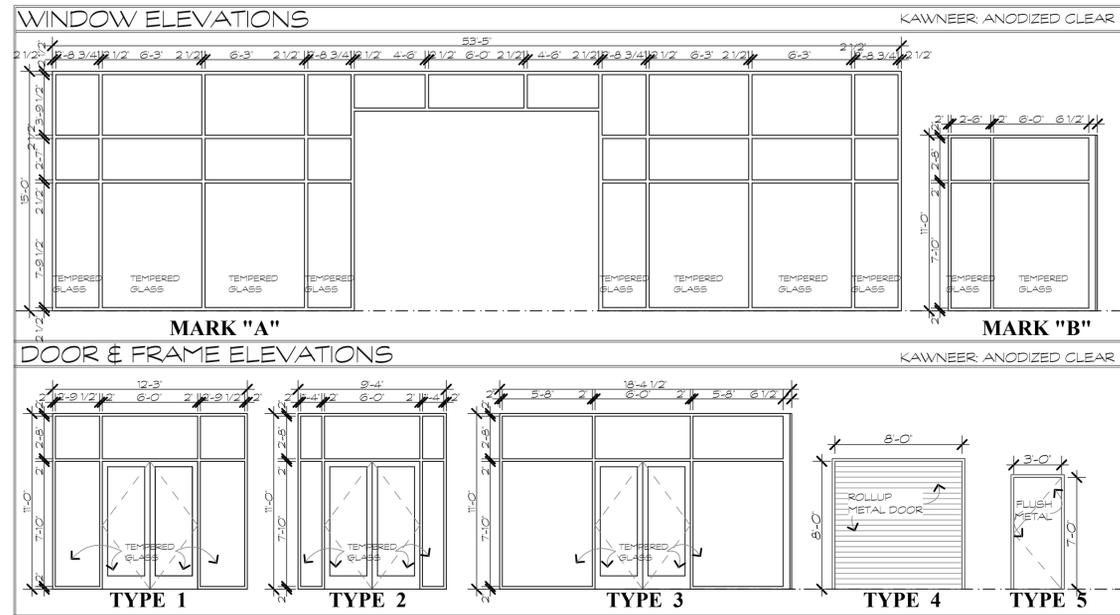
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DATE OF ISSUE: 07/01/15
SCALE
JOB NO. 1431
SHEET C.0
OF SHEETS



A NEW BUILDING SHELL:
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Towne Center @ Shelter Cove
Hilton Head Island, S.C.

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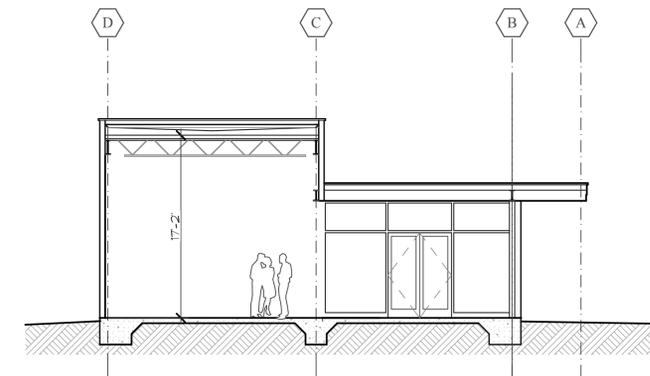
FLASHING DETAIL

SCALE: N.T.S.

1
A-2

WINDOW SCHEDULE				
1. ALL GLAZING TO BE IG-1 CLEAR LOW E				
2. ALL STOREFRONT OPENINGS SHALL RECEIVE A CORRUGATED GALV. STEEL STORE PANEL SYSTEM W/ PERMANENT EXTRUDED ALUM. TRACK SYSTEM BY EASTERN METAL SUPPLY OR EQ. HURRICANE PANEL.				
MARK	TYPE	MFG. NUMBER	SIZE	REMARKS
A	CURTAIN WALL	KAWNEER 451	53'-5"X15'-0"	
B	STOREFRONT	KAWNEER 451	6'-0"X11'-0"	

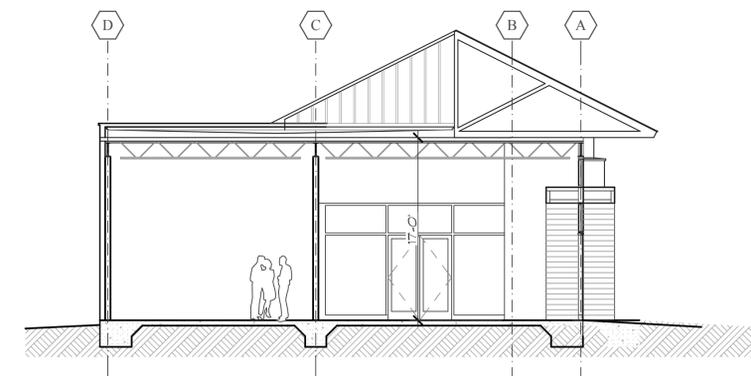
DOOR & FRAME SCHEDULE										
1. PROVIDE TEMPERED GLASS NOTED BELOW										
2. PROVIDE CLOSERS AT ALL EXTERIOR DOORS										
3. HEAVY DUTY										
MARK	DOOR			Material / Finish	Type	Manuf.	FRAME		FIRE RATING	REMARKS
	Size	W	H				T	Mat.		
1	6'-0"	8'-0"		ALUM.	1	KAWNEER	ALUM.		NA	
2	6'-0"	8'-0"		ALUM.	2	KAWNEER	ALUM.		NA	SEE GRAPHIC FOR TRANSOM & SIDELIGHTS
3	6'-0"	8'-0"		ALUM.	3	KAWNEER	ALUM.		NA	
4	8'-0"	8'-0"		METAL	4		METAL		NA	
5	3'-0"	7'-0"		METAL	5		METAL		NA	
6	3'-0"	7'-0"		METAL	5		METAL		NA	
7	3'-0"	7'-0"		METAL	5		METAL		NA	
8	3'-0"	7'-0"		METAL	5		METAL		NA	
9	3'-0"	7'-0"		METAL	5		METAL		NA	
10	8'-0"	8'-0"		METAL	4		METAL		NA	
11	6'-0"	8'-0"		ALUM.	3					SEE GRAPHIC FOR TRANSOM & SIDELIGHTS
12	6'-0"	8'-0"		ALUM.	2					



BUILDING SECTION

SCALE: 1/8"=1'-0"

2
A-2



BUILDING SECTION

SCALE: 1/8"=1'-0"

3
A-2

LEE & PARKER

architects

Post Office Box 5010
Hilton Head Island
South Carolina 29938
843.785. 5171

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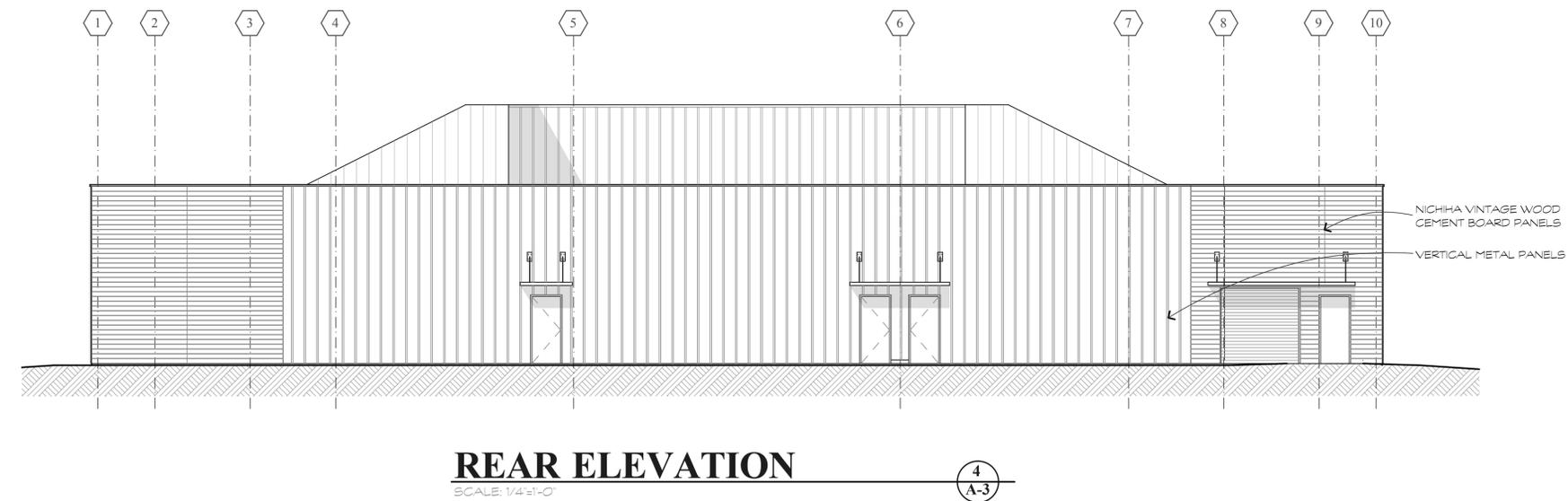
A NEW BUILDING SHELL:
BUILDING #180
Towne Center @ Shelter Cove
Hilton Head Island, S.C.

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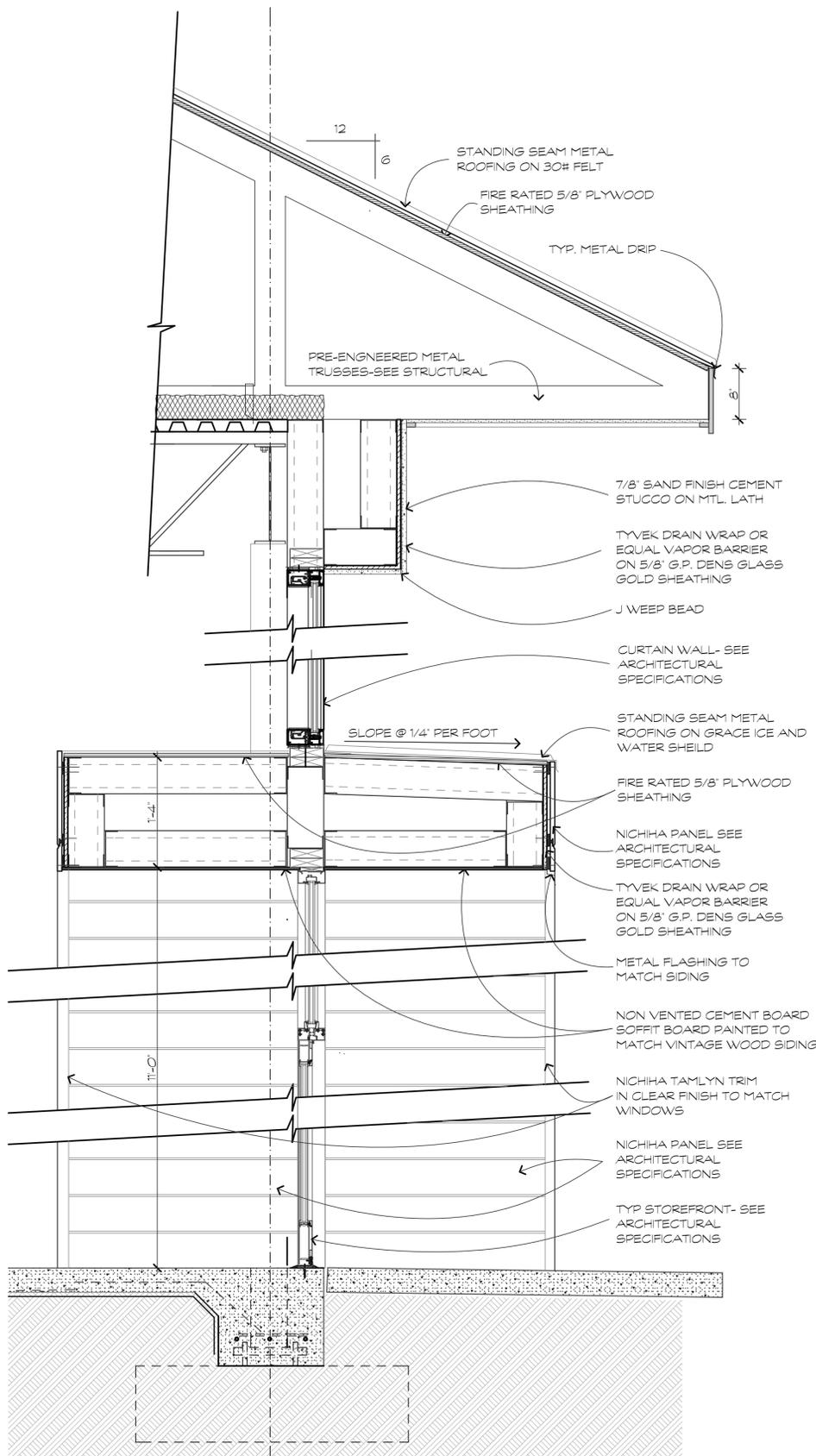
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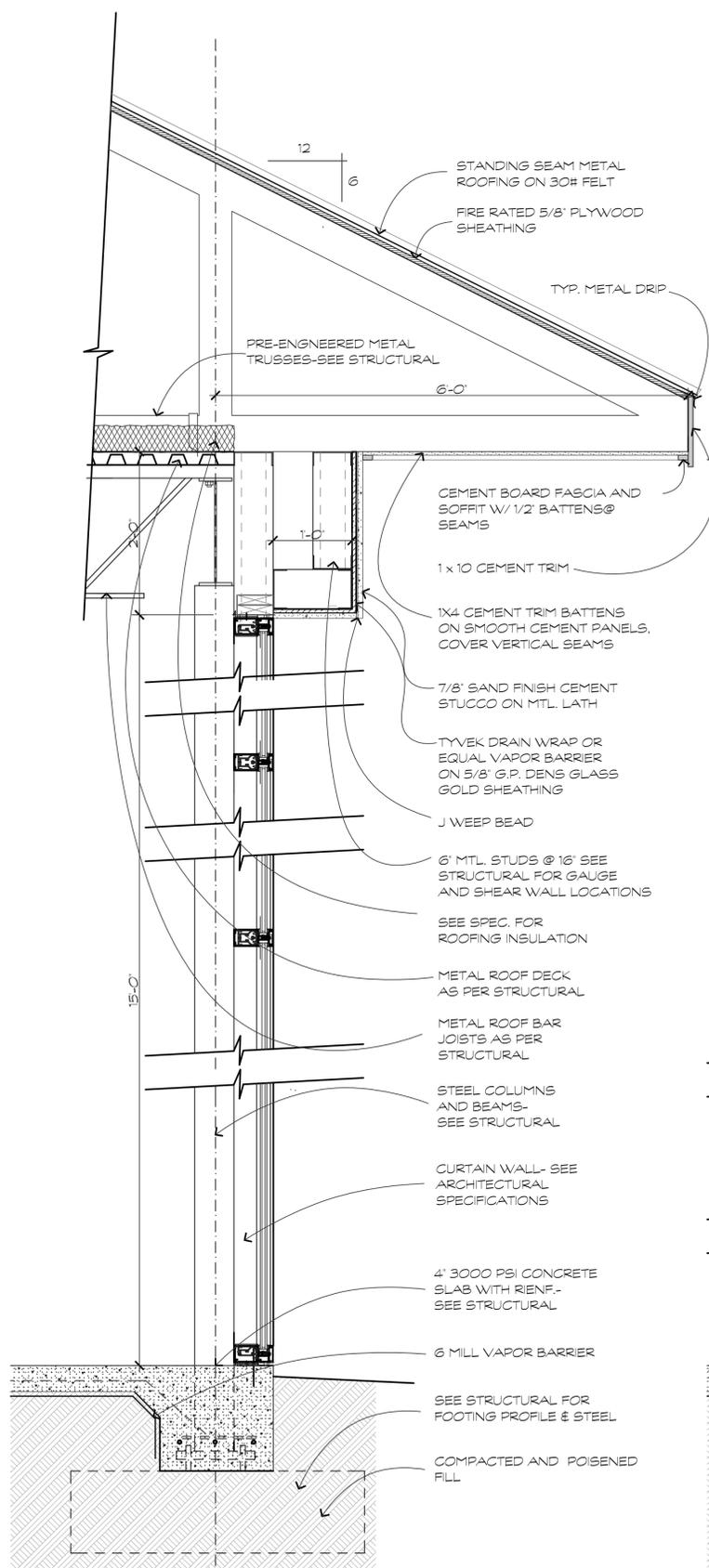
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MAIN ENTRY SECTION

SCALE: 1/4"=1'-0"

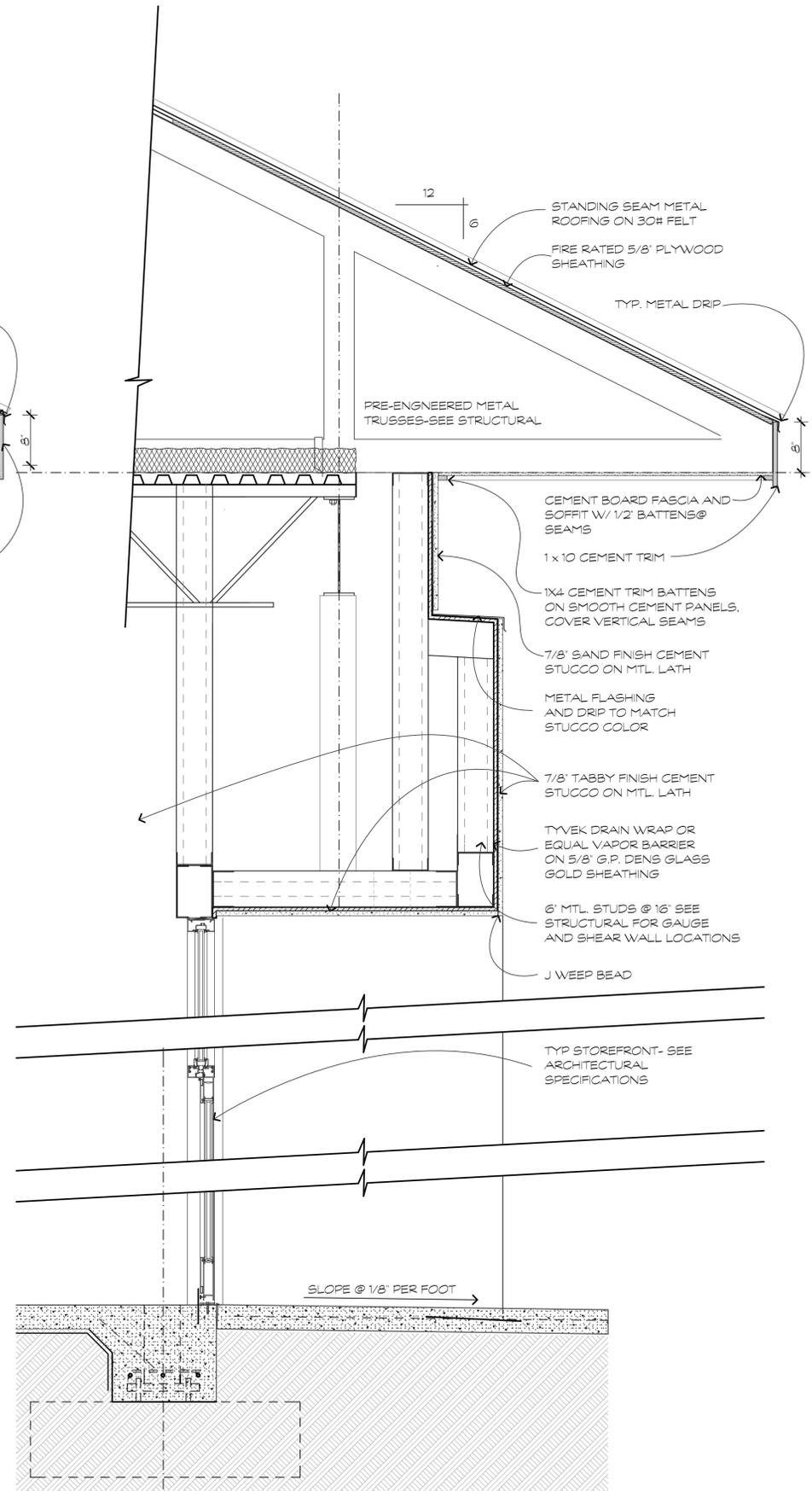
1
A-4



CURTAIN WALL SECTION

SCALE: 1/4"=1'-0"

2
A-4



SECONDARY ENTRY SECTION

SCALE: 1/4"=1'-0"

3
A-4

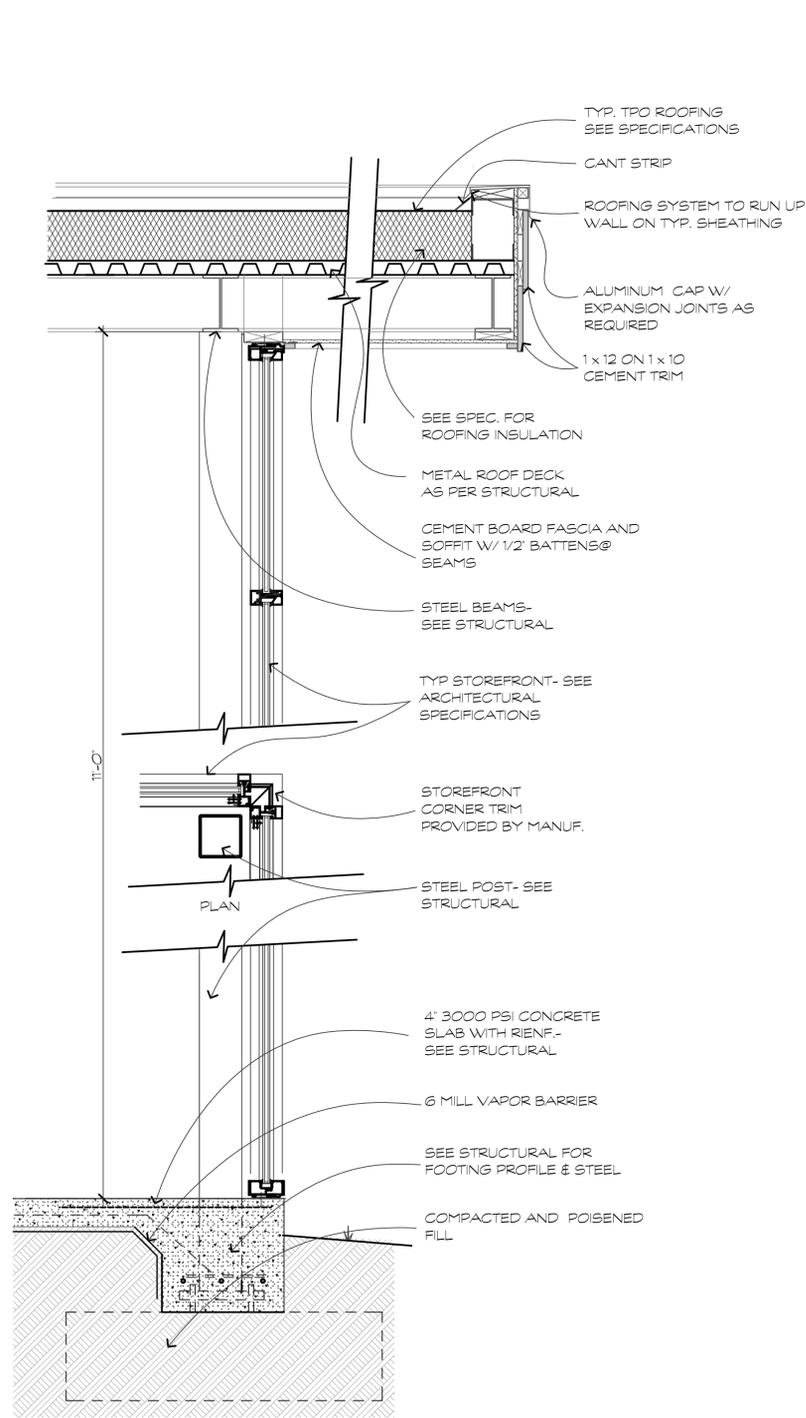
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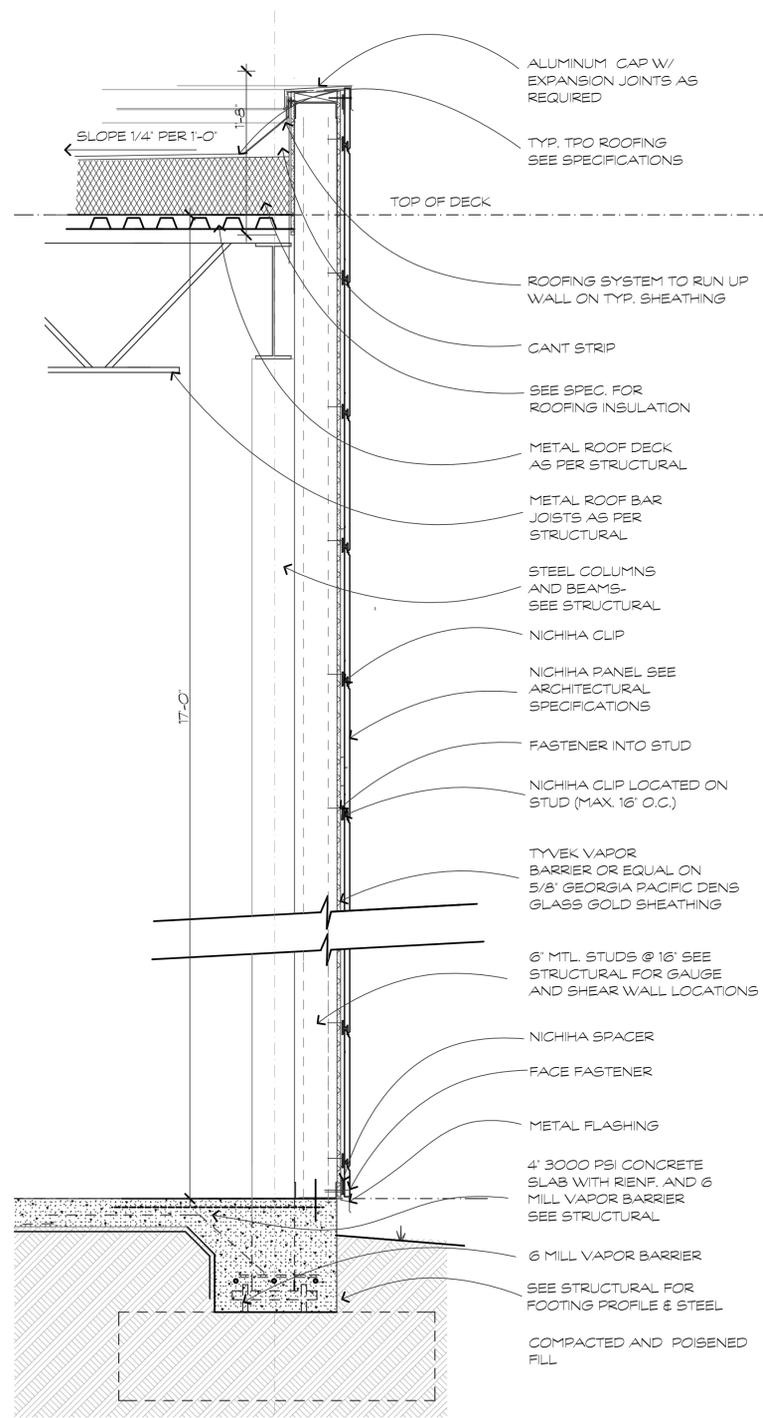
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CANT. ROOF SECTION

SCALE: 1/4"=1'-0"

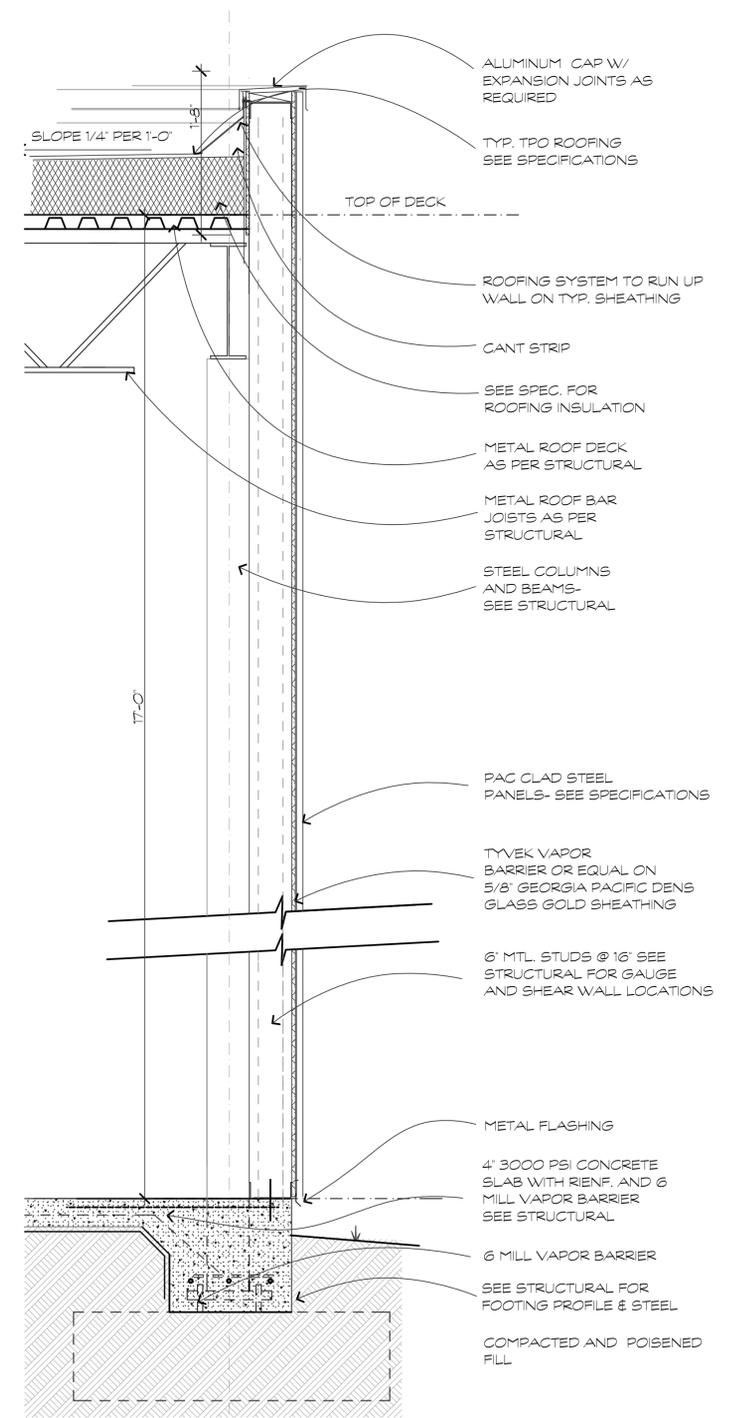
1
A-5



CEMENT BOARD SIDING SECTION

SCALE: 1/4"=1'-0"

2
A-5



METAL SIDING SECTION

SCALE: 1/4"=1'-0"

3
A-5

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Towne Centre Building 180 -
ALTERATION/ADDITION

DRB#: DRB-001333-2015

DATE: July 28, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider ways to reduce long, flat mass of building.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Wood textured cement board siding, tabby stucco, glass.
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades are have equal design characteristics	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Rear elevation (facing Kroger rear elevation) does not have eq. design characteristics.
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Appears mostly flat, especially against flat backdrop of Kroger rear elevation.

Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pitched sections (6/12) with two flat sections.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use of variety of materials breaks the building up into smaller sections however building as a whole reads as long and flat.
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utilities and equipment are not shown on site plan. Provide location including details for any exterior utilities and equipment if applicable.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	None shown. Provide manufacturer's cut sheets for any proposed lighting.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

Shelter Cove Harbour Company ARB has reviewed and approved the project as submitted.
 Provide detectable warning devices where accesses are made to cross the roadway, new crosswalk at the east end of the building.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

July 14th, 2015
DATE

HILTON HEAD HOLIDAY INN EXPRESS CONVERSION - 2 TANGLEWOOD DRIVE - HILTON HEAD, SOUTH CAROLINA 29928
PARCEL PIN: R553 018 000 0230 0000 Zoning District: RD Overlay District: COD
PROPOSED BY JOSHUA DeFIELD WRIGHT, ARCHITECT
111 NORTH CENTRAL STREET SUITE 100 – KNOXVILLE, TENNESSEE 37902 – 901-786-8946



NARRATIVE:

The Hilton Head Holiday Inn Express Conversion at 2 Tanglewood Drive requires little modification to its exterior. The exterior lighting fixtures will be upgraded, the balcony railings will be replaced and painted with a new color in conformance with the design guidelines of Hilton Head Island, and the roofs will be repainted or recovered as well in conformance with the design guidelines of Hilton Head Island.

The landscape will be minimally modified with the addition of plantings.

THE FOLLOWING PAGES CONTAIN THE SITE SURVEY AND LANDSCAPE DRAWINGS (WHICH RETAIN THE EXISTING SITE PLAN):

HILTON HEAD HOLIDAY INN EXPRESS CONVERSION - 2 TANGLEWOOD DRIVE - HILTON HEAD, SOUTH CAROLINA 29928
PARCEL PIN: R553 018 000 0230 0000 Zoning District: RD Overlay District: COD
PROPOSED BY JOSHUA DeFIELD WRIGHT, ARCHITECT
111 NORTH CENTRAL STREET SUITE 100 – KNOXVILLE, TENNESSEE 37902 – 901-786-8946



EXISTING CONDITIONS

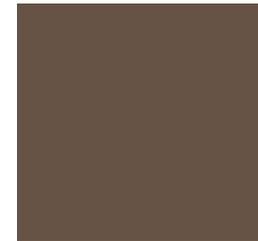


PROPOSED PAINT AND ROOF CHANGES

The proposed paint scheme retains the main colors of the building and only affects the new railings, metal roof and fabric awnings, and the wood insets found on the first floor.

The fabric awning covers will be upgraded to Sunbrella fire resistant fabric awnings with Ivory (color #82015-0000). The existing awning structure will remain.

The railings and wood insets will be stained with Sherwin Williams Lodge Brown – SW 3007 (see right).

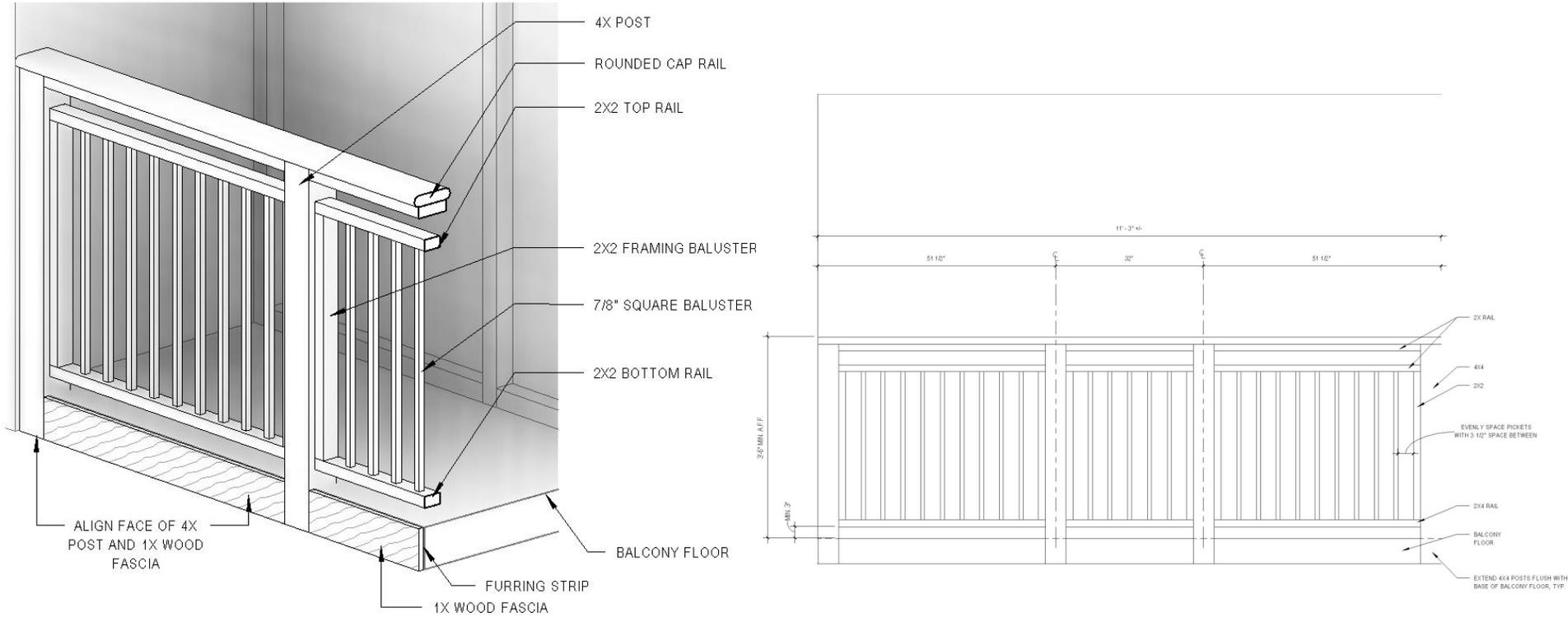


The lower roofs will be painted with a roof epoxy – GAF 2-400 Chocolate (to match SW 3007 Lodge Brown, see left).

The main metal roof will be painted with a roof epoxy paint– GAF 3-100 Shell Gray (to match SW 7531 Canvas Tan, see right).

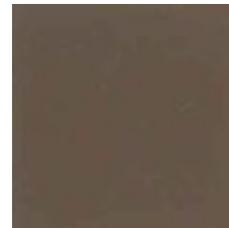


HILTON HEAD HOLIDAY INN EXPRESS CONVERSION - 2 TANGLEWOOD DRIVE - HILTON HEAD, SOUTH CAROLINA 29928
 PARCEL PIN: R553 018 000 0230 0000 Zoning District: RD Overlay District: COD
 PROPOSED BY JOSHUA DeFIELD WRIGHT, ARCHITECT
 111 NORTH CENTRAL STREET SUITE 100 – KNOXVILLE, TENNESSEE 37902 – 901-786-8946
 RAILINGS:



The existing railings will be replaced with new (axon and section shown above left, elevation shown above right) that will meet code standards. These new railings will be placed in the balconies, at the end of the hallways and in the elevator lobbies.

All railings will be stained with Sherwin Williams Lodge Brown - SW 3007 – see right.















MAXIMUM CLEARANCE
6 FT. 5 IN.









MAXIMUM CLEARANCE
6 FT. 5 IN.

MAXIMUM CLEARANCE
6 FT. 5 IN.



MAXIMUM CLEARANCE
6 FT. 5 IN.

MAXIMUM CLEARANCE
6 FT. 5 IN.



**NO LIFEGUARD
ON DUTY
SWIM AT YOUR
OWN RISK**



**NO LIFEGUARD
ON DUTY
SWIM AT YOUR
OWN RISK**















MAXIMUM CLEARANCE
6 FT. 5 IN.

FLORIDA
12PK 300



ALLOW WATER
DIVING
ALLOWED

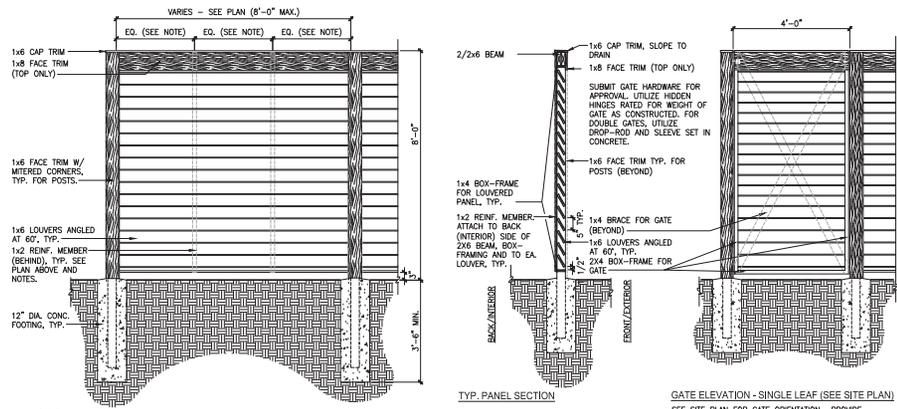




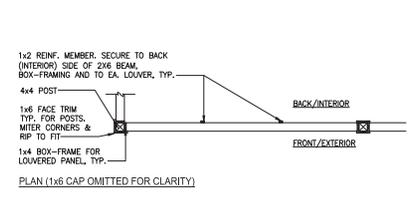
SHALLOW WATER
NO DIVING
ALLOWED

NO PETS



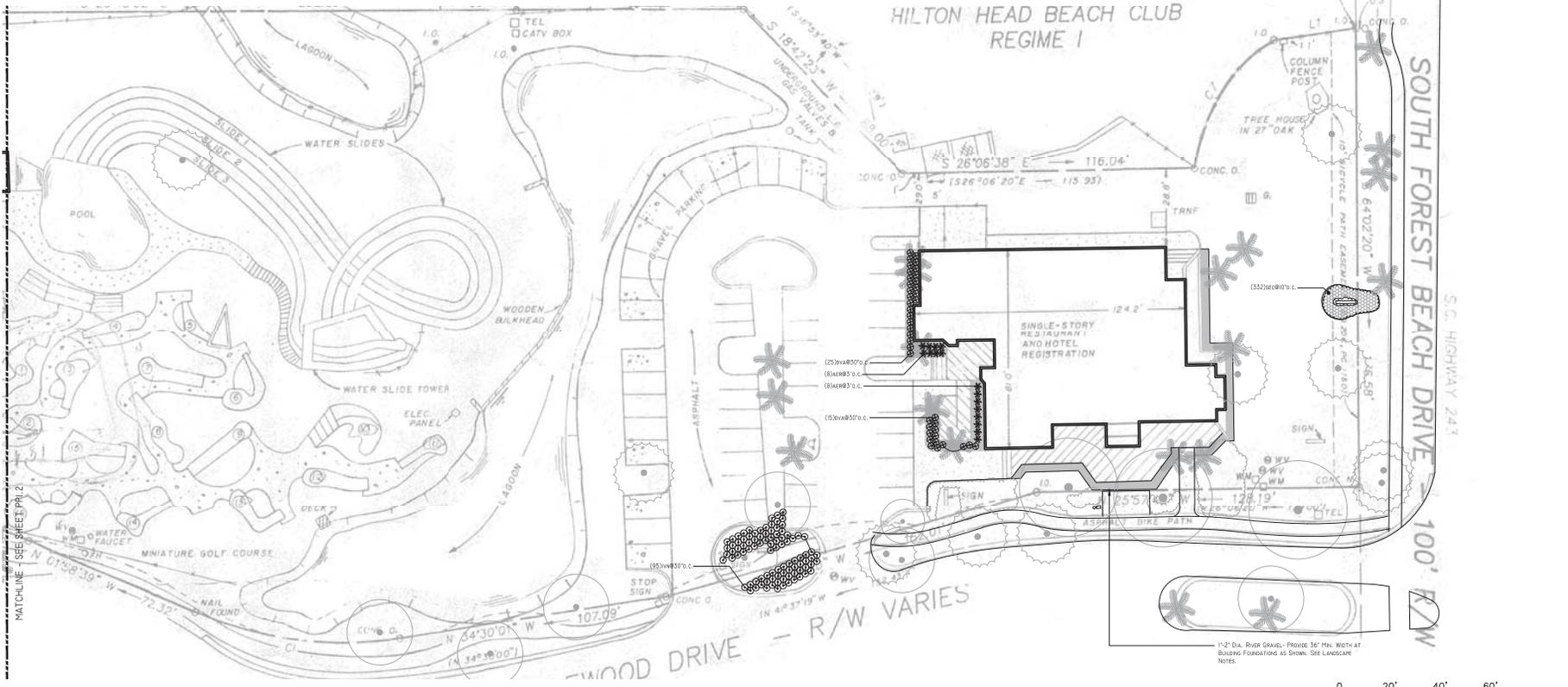


EXTERIOR ELEVATION
 2 WOOD SCREEN / UTILITY ENCLOSURE
 (PP1) SCALE: 1/2"=1'-0"



PLAN (1x6 CAP OMITTED FOR CLARITY)
 NOTES:
 1. ALL WOOD SHALL BE PRESSURE-TREATED TO BE NATURALLY RESISTANT TO DECAY.
 2. FASTENERS AND HARDWARE SHALL BE NON-CORROSIVE METAL.
 3. 1/2" REINFORCEMENT MEMBERS SHALL BE SPACED EQUALLY, 2'-0" MIN. 3'-0" MAX.
 4. FINISH SHALL BE PAINTED. PAINT ALL EXPOSED WOOD. COLOR: "LODGE BROWN" (SW 3007).
 5. ALL FASTENERS SHALL BE WOOD SCREWS. (NAILS ARE NOT ACCEPTABLE.)

- PLANTING NOTES:
1. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BEFORE GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
 2. A CURRENT SURVEY OF THE PROPERTY IS NOT AVAILABLE. THE EXISTING CONDITIONS ILLUSTRATED ON THE LANDSCAPE PLAN WERE DERIVED FROM A HISTORICAL SURVEY AND FIELD OBSERVATIONS. EXISTING LANDSCAPING ILLUSTRATED DOES NOT REFLECT ALL PLANTINGS. EXISTING TREE LOCATIONS ARE APPROXIMATE.
 3. THE DESIGN INTENT IS TO SUPPLEMENT SHRUBS AND GROUNDCOVERS IN SPECIFIC AREAS THROUGHOUT THE SITE. NO EXISTING TREES WILL BE REMOVED. USE EXTREME CAUTION WHEN WORKING WITHIN ROOT ZONES OF EXISTING TREES. DO NOT DAMAGE OR REMOVE EXISTING SHRUBS OR GROUNDCOVERS UNLESS SPECIFICALLY NOTED OTHERWISE IN THE CONSTRUCTION DOCUMENTS. PRIOR TO CONSTRUCTION, NOTIFY LANDSCAPE ARCHITECT IF ANY PROPOSED LANDSCAPE IMPROVEMENTS CONFLICT WITH EXISTING CONDITIONS.
 4. AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS OR WEEDS TO BE KILLED. COMPLETELY ERADICATE ALL GRASS AND WEEDS IN AREAS SHOWN TO BE WITHIN A MULCHED BED.
 5. ALL PLANTS SHALL MEET ANSI Z71 AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 6. ESTABLISH SMOOTH CURVILINEAR MOWING/RED LINES WHERE GRASSES MEET MULCHED SHRUB OR GROUND COVER MASS. RED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.
 7. HALF-TONE IMAGES ARE EXISTING CONDITIONS INCLUDED FOR REFERENCE. PROTECT FROM DAMAGE.
 8. TOP DRESS ALL AREAS TO RECEIVE PLANTINGS WITH 2" FINISHED MUSHROOM COMPOST PRIOR TO PLANTING.
 9. FINISHED MUSHROOM COMPOST TO BE APPROVED IN ACCORDANCE WITH SECTION 02950 OF THE SPECIFICATIONS.
 10. MULCH ALL AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH PINE STRAW MULCH AS SPECIFIED.
 11. FLURISH AND INSTALL METAL BED EDGING AT ALL BEDLINES SHOWN ON THE DRAWINGS WHERE MASS PLANTING AREAS LAINS.
 12. WARRANT PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. SEE SPECIFICATION SECTION 02950.
 13. INSTALL A 36" MIN. WIDTH BAND OF NON-COMBUSTIBLE MULCH AROUND BUILDINGS AND WOOD DECKS ATTACHED TO BUILDINGS AS SHOWN ON THE DRAWINGS.
 - 13.1. UTILIZE 1/2" DIA. RIVER GRAVEL, TAN-BROWN IN COLOR, FOR NON-COMBUSTIBLE MULCH.
 - 13.2. DO NOT DAMAGE OR REMOVE EXISTING PLANTS DURING INSTALLATION OF NON-COMBUSTIBLE MULCH.
 - 13.3. INSTALL METAL BED EDGING WHERE NON-COMBUSTIBLE MULCH ABUTS LAWN.
 - 13.4. ADDITIONAL NON-COMBUSTIBLE MULCH (BEYOND THE 36" PERIMETER) IS REQUIRED AT SELECT AREAS. SEE PLAN.
 - 13.5. NON-COMBUSTIBLE SHRUBS AND GROUNDCOVERS MAY BE INSTALLED WITHIN AREAS OF NON-COMBUSTIBLE MULCH. REMOVE / AVOID PERENNIAL GRASSES AND/OR "DRY"/COMBUSTIBLE PLANT SPECIES WITHIN 36" OF BUILDING/DECK PERIMETER.
 14. NEW, FREESTANDING PLANTERS ARE ILLUSTRATED ON THE ARCHITECTURAL PLANS AT SELECT LOCATIONS ALONG HOTEL CORRIDORS. PROVIDE APPROVED FILLING MIX FOR EA. PLANTER. PROVIDE AND INSTALL NORTHERN SEA OATS, CHASMANTHUM LATIFOLIUM, @ 14" O.C., TYPICAL FOR RECTILINEAR PLANTERS.
 15. EXISTING IRRIGATION SYSTEM SHALL BE ADJUSTED BY OTHERS TO PROVIDE SUPPLEMENTAL WATER FOR NEW PLANTINGS NOT IN CONTRACT.



1 LANDSCAPE PERMITTING PLAN
 (PP1) SCALE: 1"=20'-0"

1 1/2" DIA. RIVER GRAVEL - PROVIDE 36" MIN. WIDTH AT BUILDING FOOTINGS AS SHOWN. SEE LANDSCAPE NOTES.



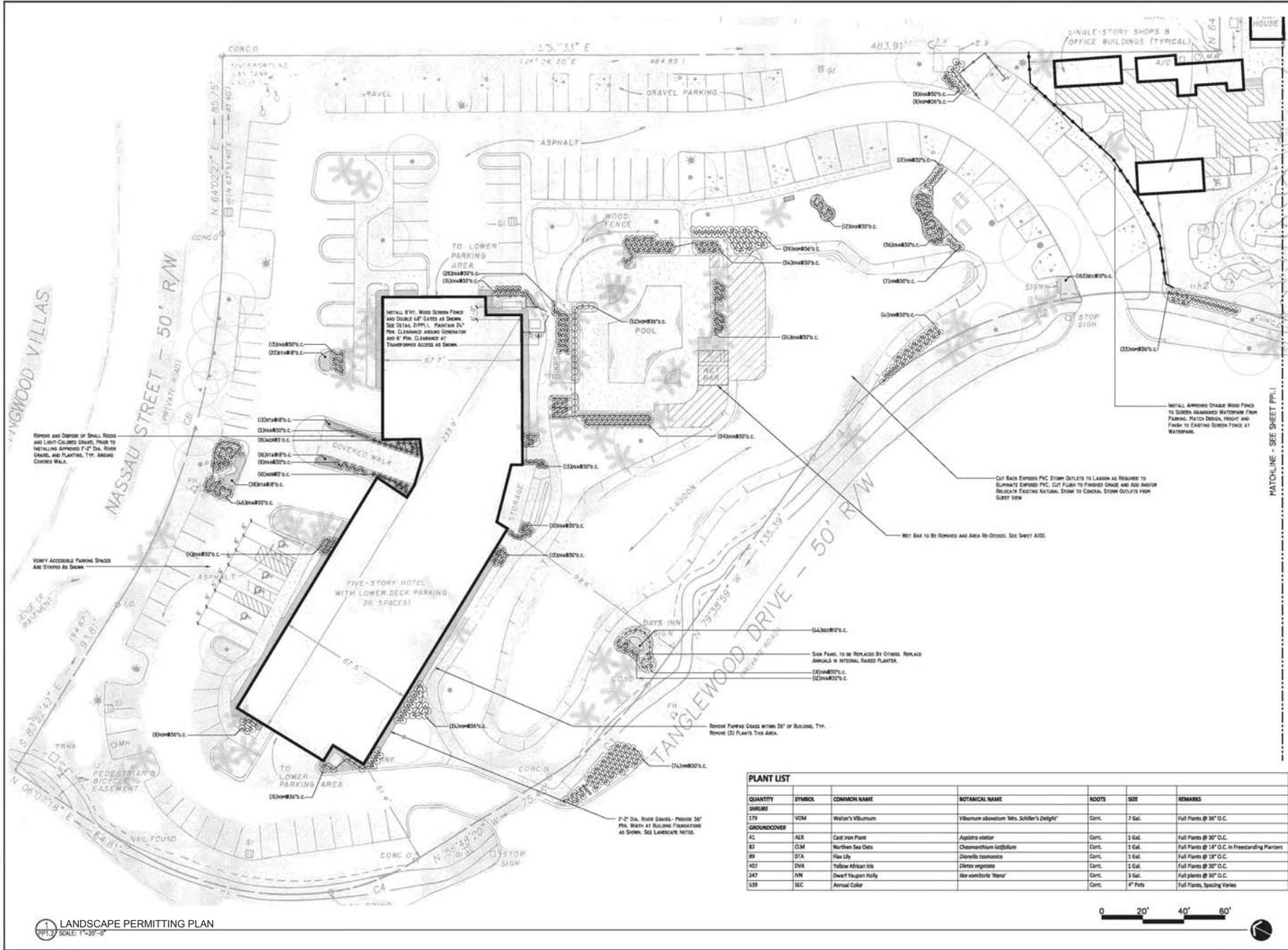
Holiday Inn Express
 2 TANGLEWOOD DRIVE
 HILTON HEAD ISLAND, S.C. 29928

NOT FOR CONSTRUCTION

THE PENLAND STUDIO
 LANDSCAPE ARCHITECTURE
 1111 N. CENTRAL STREET, SUITE 100
 KNOXVILLE, TENNESSEE 37902
 TEL: 865.230.9955 FAX: 865.966.2302

Date: July 16, 2015
 PLANTING PLAN

PP1.1



Holiday Inn Express

2 TANGLEWOOD DRIVE
HILTON HEAD ISLAND, S.C. 29928

NOT FOR CONSTRUCTION

THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE

111 N. CENTRAL STREET, SUITE 100
KNOXVILLE, TENNESSEE 37902
TEL: 865.230.9955 FAX: 865.944.2002

DATE: JULY 16, 2015

PLANTING PLAN

PP1.2

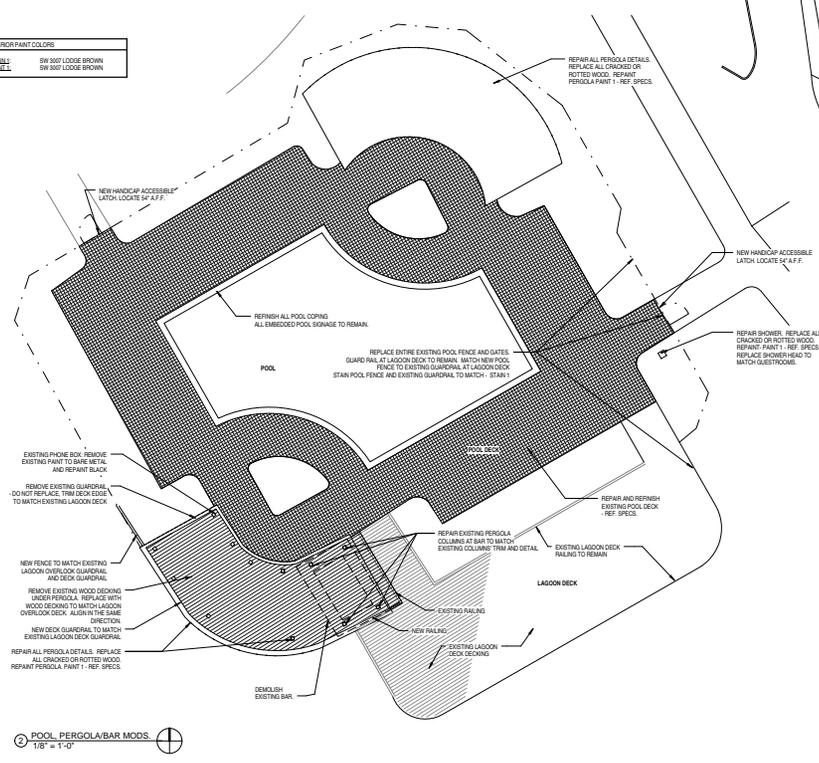
QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	ROOTS	SIZE	REMARKS
179	VCM	Walter's Viburnum	Viburnum aceratum 'Mrs. Schiller's Delight'	Cont.	7 Gal.	Full Plants @ 30" O.C.
41	AEI	Cast Iron Plant	Aquilegia vulgaris	Cont.	1 Gal.	Full Plants @ 30" O.C.
42	CSM	Northern Sea Oats	Chenopodium leptophyllum	Cont.	1 Gal.	Full Plants @ 12" O.C. in Freestanding Planters
48	DIA	Flax Lily	Diarrhea torresiana	Cont.	1 Gal.	Full Plants @ 18" O.C.
427	DVA	Yellow African Vile	Diuris virginica	Cont.	1 Gal.	Full plants @ 30" O.C.
247	IVN	Dwarf Yew Holly	Ilex vomitoria 'Nana'	Cont.	1 Gal.	Full Plants @ 30" O.C.
139	SEC	Annual Color		Cont.	4" Pots	Full Plants, Spacing Varies

LANDSCAPE PERMITTING PLAN
PP1.2 SCALE: 1"=20'-0"

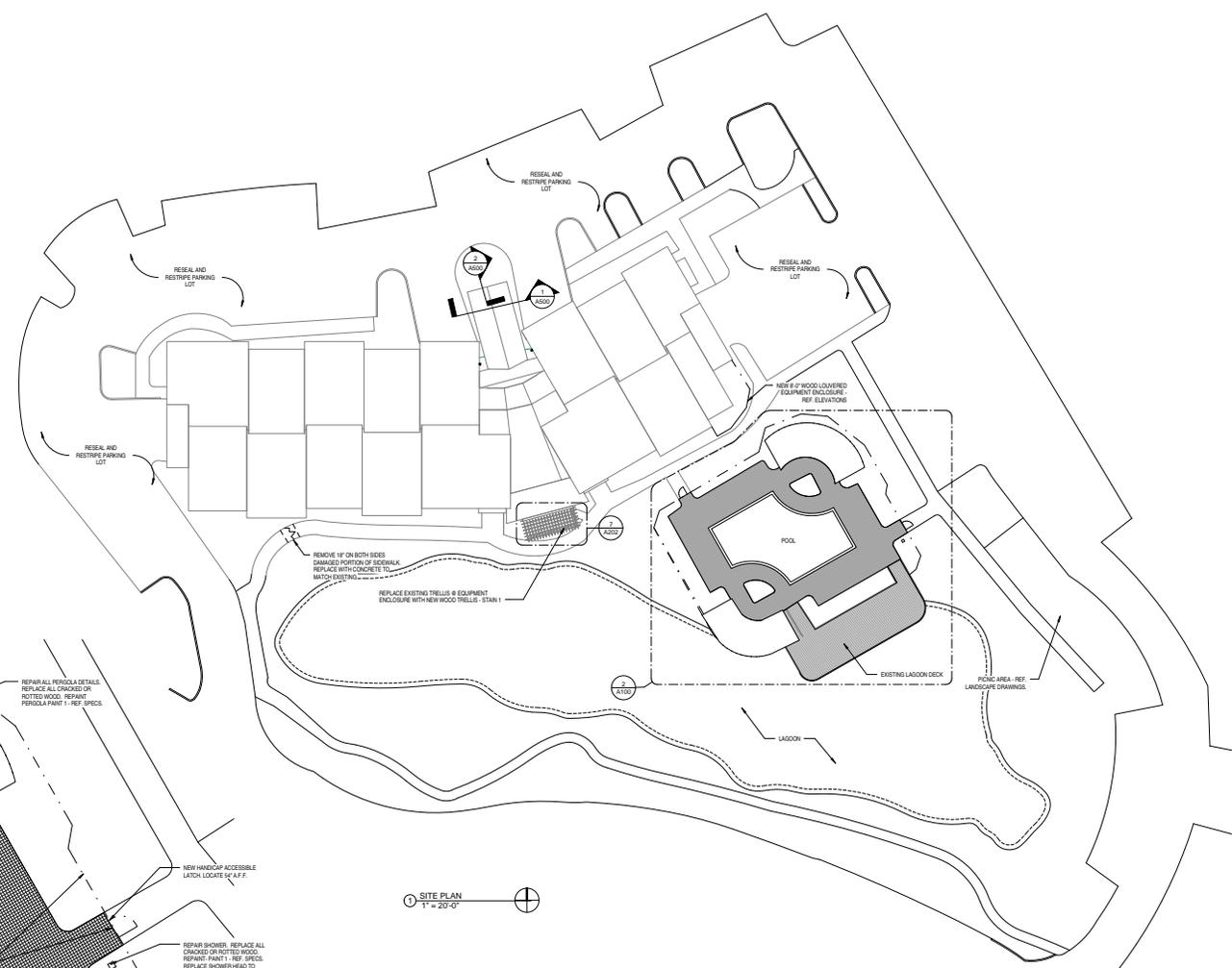


GENERAL NOTES:
 REPLACE ALL SITE SIGNAGE WITH HOLIDAY INN EXPRESS STANDARD. SIGNAGE MUST CONFORM TO NATION HEAD SIGN SERVICES DRAWINGS. THE ARCHITECT MUST APPROVE SHOP DRAWINGS BEFORE CONSTRUCTION.
 REPLACE ALL EXISTING PRIVATE SITE LIGHTING LAMPS TO MATCH EXISTING.
 REF. LANDSCAPE DRAWINGS FOR NEW PLANTINGS.
 RESEAL AND RESTRIPE EXISTING ASPHALT PARKING. H.C. SPACES TO BE RESTRIPE. REF. LANDSCAPE ARCHITECT

EXTERIOR PAINT COLORS	
STAIN 1	SW 9007 LODGE BROWN
STAIN 2	SW 9007 LODGE BROWN



② POOL PERGOLA BAR MODS. 1/8" = 1'-0"



① SITE PLAN
 1" = 20'-0"

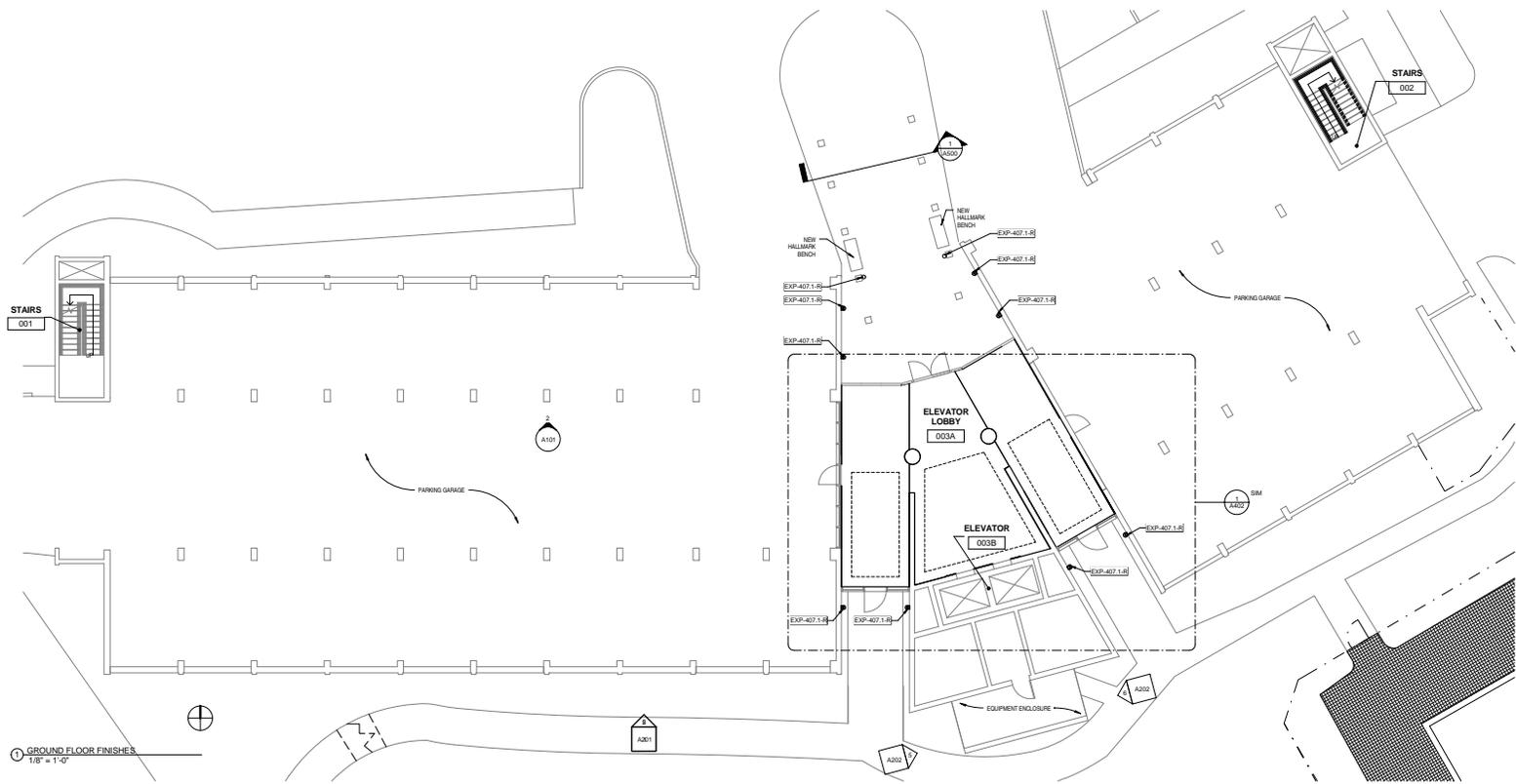
AA
 Joshua D. Wright
 Architect
 111 North Center St.
 Suite 100
 KNOXVILLE, TN 37917
 865.622.2400

Hilton Head Holiday Inn Express Conversion
 111 STANLEY AVE
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928

NO.	DATE	REVISIONS / DESCRIPTION

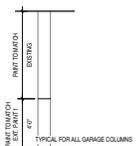
FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 AUG 13, 2025

PROJECT # 1001
A100
 SITE PLAN
 10/2024
 COPYRIGHT © 2024 A. WRIGHT ARCHITECTS



GENERAL NOTES:
 1. PREPARE ALL FLOORS, CEILING, COLUMNS, AND WALLS FOR NEW FINISHES.
 2. ALL DOOR THRESHLS TO CONFORM TO NEW FLOOR-BUILD PACKAGE.
 3. REPLACE ALL EXTERIOR ENTRY SCOVES WITH EXP-407 1-R. ENSURE THAT THE BOTTOM OF ALL SCOVES ARE GREATER THAN 1/4" A.F.F.

1. GROUND FLOOR FINISHES
 1/8" = 1'-0"



2. TYP. GARAGE COLUMN FINISH
 1/4" = 1'-0"



Joshua D. Wright
 Architects
 111 North Central St.
 Suite 100
 Knoxville, TN 37917
 865.622.2440

Hilton Head Holiday Inn Express Conversion
 1111 North Central Street
 Hilton Head Island, South Carolina 29928

REVISION	DESCRIPTION
1	DATE



PROJECT # 1001

A101
 GARAGE FLOOR - PLAN

10/15/2014
 COPYRIGHT © JOSHUA D. WRIGHT ARCHITECTS
 2014

GENERAL NOTES
 REFINISH ALL EXISTING PTAC GRILLS WITH PAINT 1

EXTERIOR PAINT COLORS

STAIN 1: SW 907 LODGE BROWN
 STAIN 2: SW 907 LODGE BROWN
 ROOF COLOR 1: GAF 5-148 BELL GRAY
 ROOF COLOR 2: GAF 5-140 CHOCOLATE



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 Suite 100
 Knoxville, TN 37917
 615.622.2400

Hilton Head Holiday Inn Express Conversion
 1000 WOODBRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA 29928

REVISION
 DATE
 DESCRIPTION

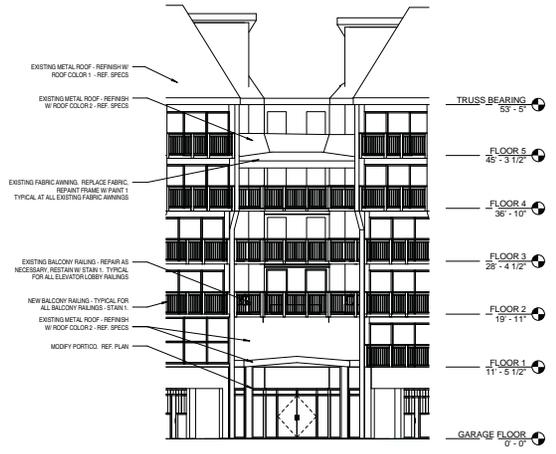
FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

DATE: 07/11/2018

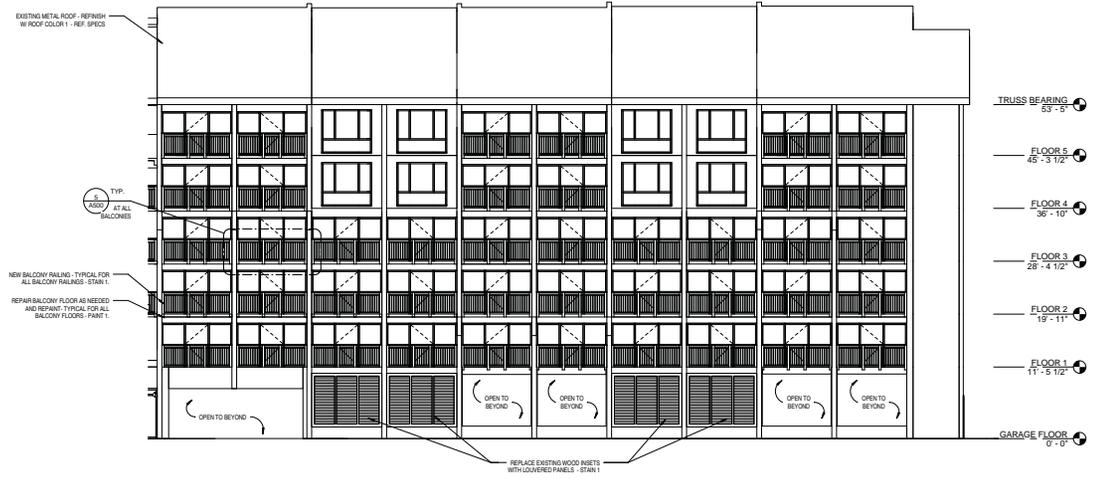
PROJECT #: 1001

A201
 EXTERIOR ELEVATIONS

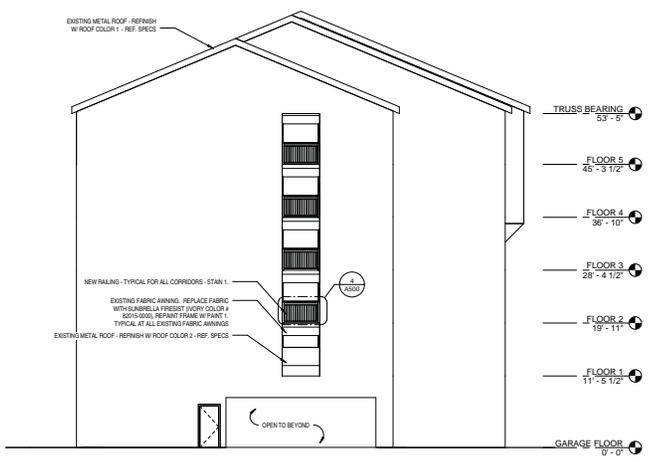
BY: JAW
 CHECKED: JAW & JAW
 DATE: 07/11/2018



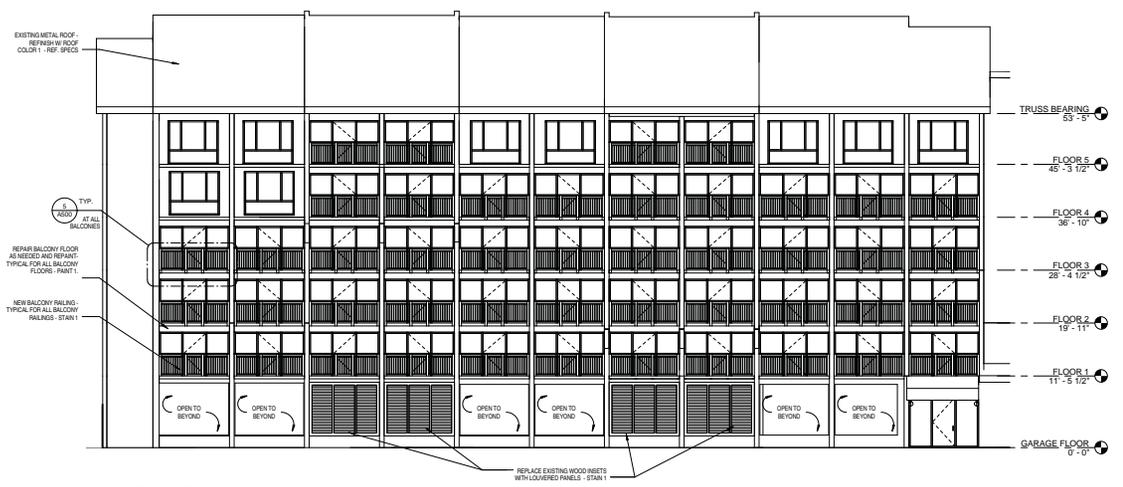
2 NORTH ENTRANCE TO TOWER
 1/8" = 1'-0"



3 WEST WING - NORTH
 1/8" = 1'-0"



4 WEST WING - WEST
 1/8" = 1'-0"



5 WEST WING - SOUTH
 1/8" = 1'-0"



EXISTING EXTERIOR CONDITIONS AND COLOR



NEW EXTERIOR COLOR SCHEME. COLOR RENOVATIONS ARE TO SHOW OVERALL IDEA. PLEASE REFER TO MATERIAL SWATCHES FOR ACCURATE DEFINITIONS.

GENERAL NOTES	
REFRESH ALL EXISTING PTAC GRILLS WITH PAINT 1	
EXTERIOR PAINT COLORS	
STAIN 1:	SW 901 LODGE BROWN
STAIN 2:	SW 901 LODGE BROWN
ROOF COLOR 1:	RAF 118 SHELL GRAY
ROOF COLOR 2:	RAF 140 CHOCOLATE



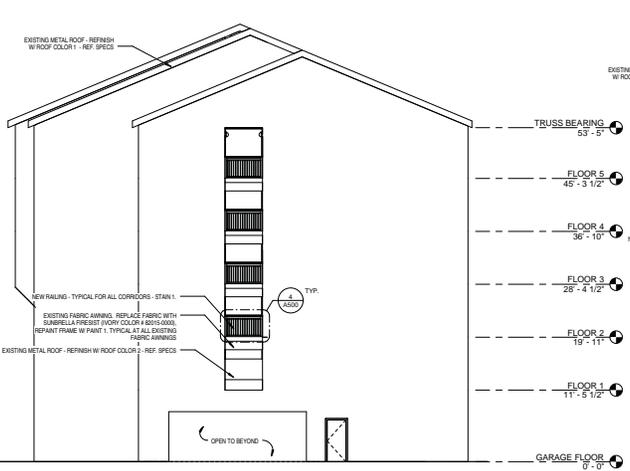
Joshua D. Wright
Architects
111 North Central St.
Suite 100
KNOXVILLE, TN 37917
866.622.2440



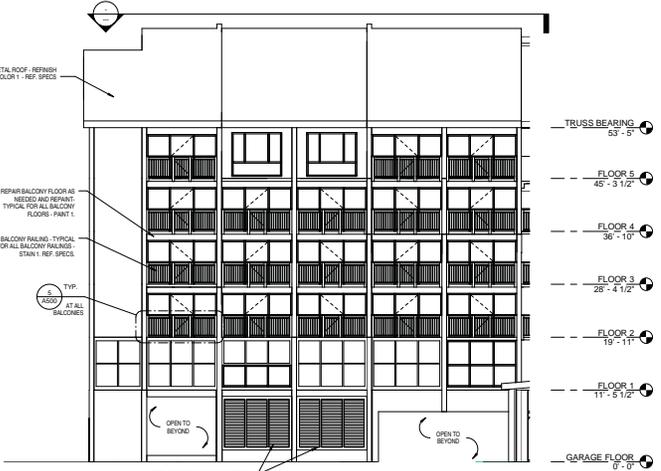
1 SOUTH ENTRANCE TO TOWER
1/8" = 1'-0"



2 EAST WING - SOUTH
1/8" = 1'-0"



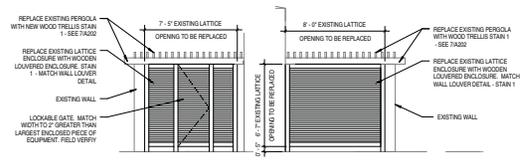
3 EAST WING - EAST
1/8" = 1'-0"



4 EAST WING - NORTH
1/8" = 1'-0"

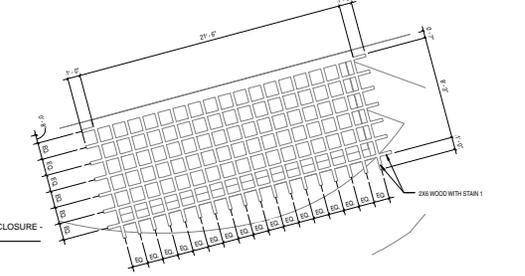


EQUIPMENT ENCLOSURE LOWERED RETICULATION EXAMPLE



5 EQUIPMENT ENCLOSURE - WEST
1/4" = 1'-0"

6 EQUIPMENT ENCLOSURE - EAST
1/4" = 1'-0"



7 EQUIPMENT ENCLOSURE - TRELLIS DETAIL
1/4" = 1'-0"

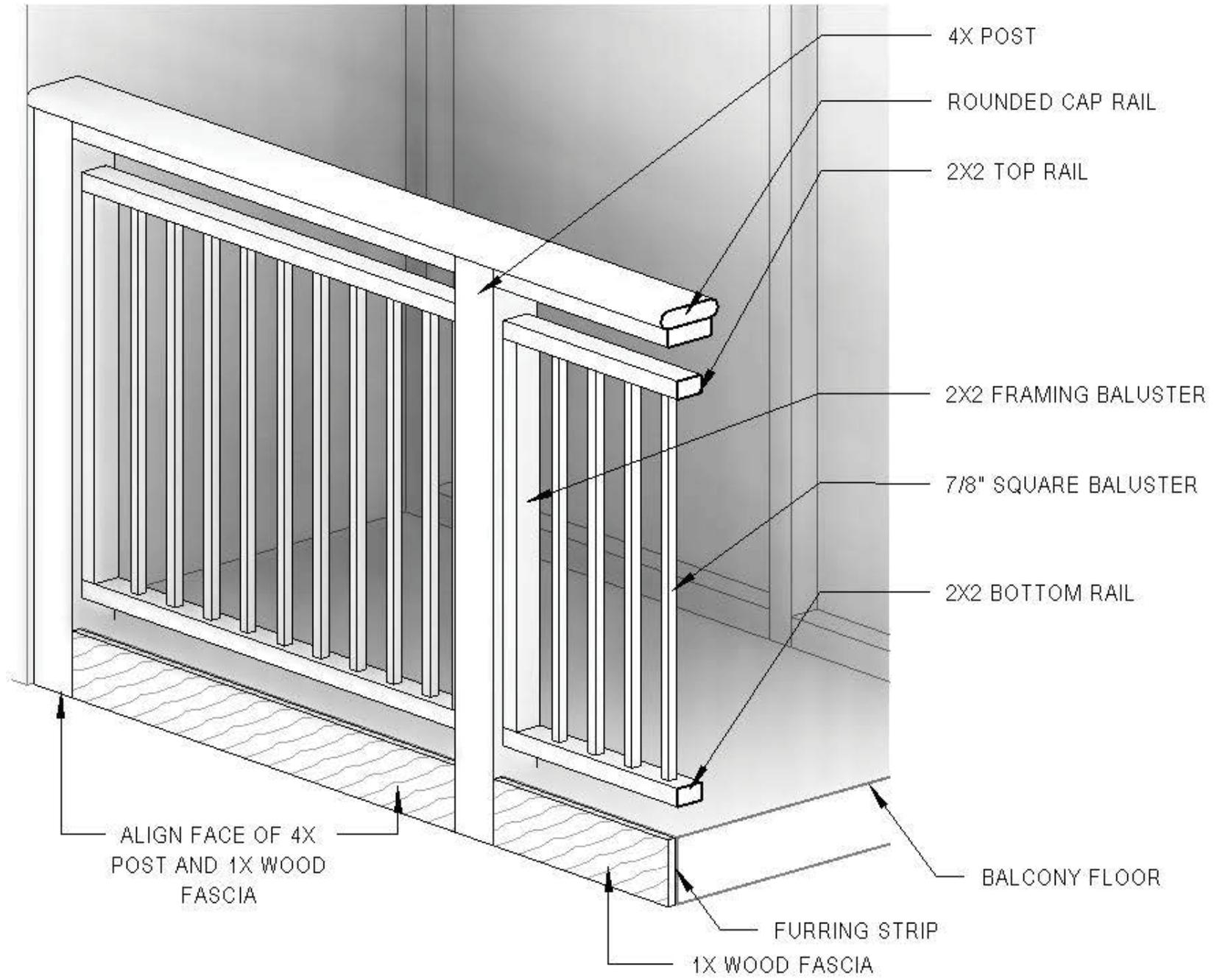
Hilton Head Holiday Inn Express Conversion

111 NORTH CENTRAL ST.
SUITE 100
KNOXVILLE, TN 37917
866.622.2440

REVISION	DESCRIPTION
1	DATE



PROJECT # 1001
A202
EXTERIOR ELEVATIONS
10/2024
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NOTED AS EXP-407.1-R ON
DRAWINGS

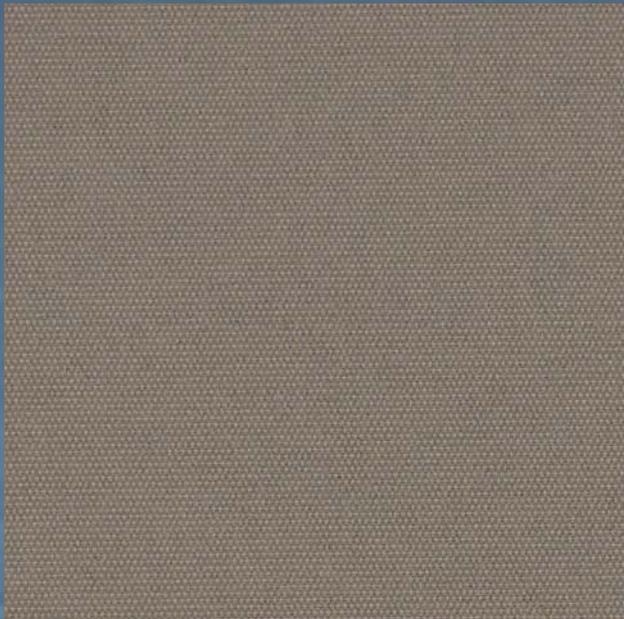
RILEY 2010OZ

OIL RUBBED BRONZE

WIDTH:	9.0"
HEIGHT:	17.5"
WEIGHT:	4.5 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	6.5"
SOCKET:	1-100W MED
DARK SKY:	WITH DSLM-40
EXTENSION:	10.8"
TTO:	7.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665202069

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

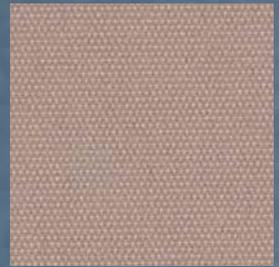
*life*AGLOW®



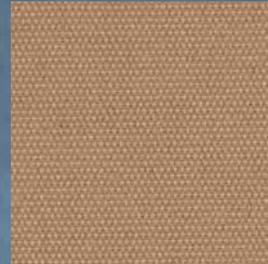
82030-0000 (NEW FOR 2013)
GREY



82015-0000
IVORY



82006-0000
SAND



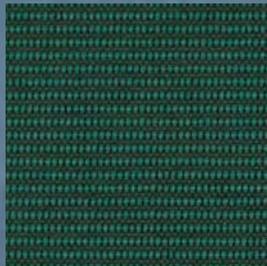
82012-0000
TOASTY BEIGE



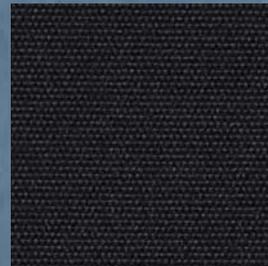
82013-0000
SUNBURST YELLOW



82003-0000
FOREST GREEN



82002-0000
FOREST GREEN TWEED



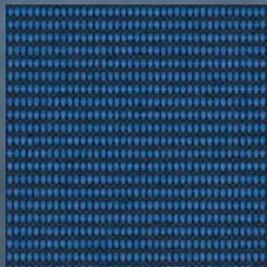
82008-0000
BLACK



82010-0000
ADMIRAL NAVY



82000-0000
REGATTA



82005-0000
REGATTA TWEED



82016-0000
BURGUNDY



82017-0000
CRIMSON RED



82014-0000
TERRACOTTA

Specify FIRESIST for an up-to-code fire-resistant awning fabric that looks as good as it performs. Improved strength, colorfastness, and weather-resistance make fabrication with FIRESIST easier than ever.



FIRE RETARDANT

FIRESIST® delivers a state-of-the-art combination of flame retardant performance and UV resistance that exceeds industry standards.

WEATHER RESISTANCE

With over 100 years of outdoor awning experience, Glen Raven has engineered new coatings and finishes to maximize water repellency, sunlight resistance, and ease of cleaning.

COLOR RETENTION & STRENGTH

The deep, rich colors and robust durability of FIRESIST deliver long lasting good looks to any application. Plus, workability improvements make cutting, sewing and welding easier than ever.

STYLING

The new FIRESIST color palette focuses on popular solids, tweeds and stripes.

TECHNICAL DATA	
Weight	8.75 oz. per square yard
Width	60"/ 152.4 cm
Color	Solution dyed to resist color loss from UV exposure and weathering. Resistant to most chemicals, including bleach.
WARRANTY	5 years against loss of color or strength.
SURFACE	Plain weave - Highly water repellent and soil/stain release finish.
UNDERSIDE	Urethane/acrylic coating
TRANSPARENCY LEVEL	Lighter shades translucent for back-lighting applications.
ABRASION RESISTANCE	Excellent
FLEXIBILITY	Excellent in both hot and very cold conditions.
FLAME RESISTANCE (PASSES ALL, BUT NOT LIMITED TO)	California State Fire Marshal Title 19 NFPA 701-99, test method II CPAI-84; Tent walls and roof FMVSS 302 FAA 25.853 (Aviation) UFAC Upholstered Furniture, Class 1
MILDEW RESISTANCE	Excellent (with proper maintenance and cleaning)
CHEMICAL RESISTANCE	Excellent
WATER REPELLENCY	Excellent
OIL RESISTANCE	Very good
SEWABILITY	Excellent
HEAT SEALING	Can be heat sealed using sealing tape and heat source such as wedge, hot air, radio frequency welding, etc.



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Holiday Inn Conversion -
ALTERATION/ADDITION

DRB#: DRB-001341-2015

DATE: July 28, 2015

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Consider shaped ends on trellis members to match or complement existing trellis details.
2. Consider darker fabric awnings (i.e. Sand or Toasty Beige versus Ivory) to provide less contrast.
3. Consider more variety of shrubs in landscape beds.

Applicant proposes to provide alterations to existing Quality Inn to facilitate conversion to Holiday Inn. Alterations include new railings, new equipment screens, and landscaping. Majority of colors and materials are nature blending and in keeping with the Design Guide.

Forest Beach Owners Association ARB has issued a Notice of Action approving the project.