



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, May 28, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes** – Meeting of May 14, 2019
- 6. New Business**
 - A. *Alteration/Addition*
 - i. Heffner Pergola, DRB-001107-2019
 - ii. Nunzio's, DRB-001085-2019
- 7. Appearance by Citizens**
- 8. Board Business**
- 9. Staff Report**
 - A. Minor Corridor Report
- 10. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
May 14, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Dale Strecker, Debbie Remke, Brian Witmer, Kyle Theodore, Cathy Foss

Board Members Excused: Vice Chairman Michael Gentemann

Town Council Present: Bill Harkins, Glenn Stanford

Town Staff Present: Anne Cyran, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. Freedom of Information Act Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call – See as noted above.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of April 23, 2019

Ms. Theodore moved to approve the minutes of the April 23, 2019 regular meeting as submitted. Ms. Foss seconded. The motion passed unanimously.

6. New Business

A. New Development – Conceptual

i. Bayshore Phase 2, DRB-000994-2019

(Ms. Theodore recused herself from review of DRB-000994-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following condition:

1. The white trim shall be toned down to an off white color.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant answered the Board's questions.

Chairman Strecker asked for public comments and none were received.

The Board complimented the conceptual project. The Board agreed with the Staff comment that the white color for the trim needs to be toned to an off white color. The Board commented the roof appears to be black in color and the applicant indicated they are brown asphalt shingle. Some of the board members expressed false shutters are not favorable. However, some element needs to be implemented to help break up the façade. The Board provided additional comments for the final submittal: the shutters should be sized to match the window; metal shutters may appear unnatural, consider more natural looking material; identify all materials including brackets

and windows; and provide all details including dumpsters and screening, and wall sections for each building type.

Mr. Witmer made a motion to approve DRB-000994-2019 with the following condition:

1. The white trim shall be toned down to an off white color.

Ms. Foss seconded. The motion passed with a vote of 4-0-0.

B. Sign

i. Airport Sign, DRB-000995-2019

(Ms. Theodore recused herself from review of DRB-000995-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval per the revised May 3, 2019 planting plan.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant answered the Board's questions.

The Board complimented the project and thanked the applicant for addressing their previous comments. The Board asked the applicant to clarify the light fixture finish for the art sculpture and the applicant indicated bronze. The Board suggested an LED bulb be considered for maintenance purposes. The rock mow edge is 3-4" diameter and generally large enough to avoid maintenance issues.

Ms. Remke made a motion to approve DRB-000995-2019 as submitted. Ms. Foss seconded. The motion passed with a vote of 4-0-0.

ii. St. Francis Sign, DRB-000616-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following condition:

1. Provide a landscape plan that illustrates existing landscaping to remain and proposed plantings to be installed for Staff review and approval.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant answered the Board's questions.

The Board and the applicant discussed: there is no plan to change all the existing smaller signs on site; the existing lighting will remain; the existing railroad ties will be removed and to fill in the existing landscaping voids; the sign color is off white; and the sign material is stucco and the color will match the existing church building.

Ms. Theodore made a motion to approve DRB-000616-2019 with the following condition:

1. Provide a landscape plan that illustrates existing landscaping to remain and proposed plantings to be installed for Staff review and approval.

Ms. Foss seconded. The motion passed with a vote of 5-0-0.

7. Appearance by Citizens – None

8. Board Business – None

9. Staff Report

A. Discussion of Small Wireless Facility (SWF) Designs

Ms. Cyran presented background information on the item. The purpose of today's discussion is for the DRB to provide input on the designs. Staff recommends that the Board pre-approve several SWF designs that meet the Town's Design Guide standards.

Mr. Jack Mitchell with AT&T presented statements regarding the technology and answered the Board's questions.

The Board discussed the examples as provided in the agenda package of SWFs approved by other municipalities. The Board provided the following comments and preferences: the infrastructure shall be mounted on existing poles first, the second choice is for it to be its own pole; pole shape, size, and color shall match the existing poles; the designs should be simple; there should be no change in size going vertically; the color should be brown or bronze to match existing; the housing of equipment shall be minimal and fully concealed; set a maximum diameter to the base size; the base of the pole should not be fluted like the existing mast poles; and investigate whether equipment can be located underground.

Based on the Board's discussion, Staff will present proposed designs at a future meeting for DRB review.

B. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the last Board meeting.

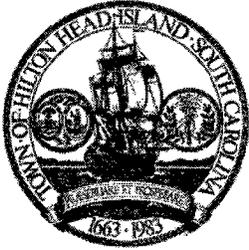
10. Adjournment

The meeting was adjourned at 2:26 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Dale Strecker, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JOSEPH E. NIX JR. Company: NIX CONSTRUCTION Co. Inc.
 Mailing Address: P.O. BOX 7667 City: HHT State: SC Zip: 29938
 Telephone: 843-683-3344 Fax: 843-341-2320 E-mail: JOENIX@NIXCONSTRUCTION.COM
 Project Name: T.J. HEFFNER PERGOLA Project Address: #202B 90 HELMSMAN WAY HHT, SC
 Parcel Number [PIN]: R55201000003140202 29928
 Zoning District: WATER-MIXED USE Overlay District(s): ROW

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- ✓ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ✓ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

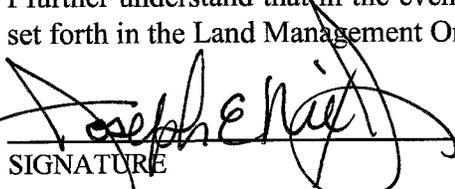
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that, in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE
 Last Revised 01/21/15

 MAY 07, 2019

 DATE

Harbourside III 
AT SHELTER COVE HARBOUR

TJ Heffner Villa – 202B Dockmaster

90 HELMSMAN WAY, PALMETTO BAY MARINA VILLAS, HILTON HEAD ISLAND, SC 29928
R55201000003140202
Nix Project # TJH-202B

DRB APPLICANT

NIX CONSTRUCTION COMPANY INC.
JOSEPH E. NIX JR. – PRESIDENT
843-683-3344
joenix@nixconstruction.com

Project Narrative

Mr. TJ Heffner III purchased unit # 202B Dockmaster in 2013. The previous Owner constructed a Rooftop Pergola which Mr. Heffner inherited as part of the villa purchase. The structure was never permitted with the HOA or the Town of Hilton Head Island. The current Property Board has agreed to let Mr. Heffner leave the structure as / is provided He obtains the appropriate approvals from the Town of Hilton Head planning and building departments. Mr. Heffner hired a structural engineer to review the construction of the pergola in order to obtain a building inspection from Mr. Chris Yates in the building department. Mr. Yates has agreed to perform the inspection only after Mr. Heffner obtains approval for the structure from the Town Planning Department. Mr. Heffner's unit is the only unit with a pergola structure. If Mr. Heffner does not obtain the required approvals within a reasonable timeframe the HOA will require Mr. Heffner to remove the existing structure.

Existing Conditions

The existing structure does not block the view of any other residents and is constricted to the Rooftop of unit # 202B. The existing color scheme and roofing have been approved by the HOA. The structure will not contain any exterior lighting outside of the already approved building lights. The structure is visible from both the Marina parking lot and from the top of the Cross Island bridge.

C
SERVICES, INC.

P.O. Box 6476
Hilton Head Island,
South Carolina, 29938
Phone: (843) 686-4052
Fax: (843) 686-4055
Email Address:
www.gwserviceshhi.com

February 11, 2019

Re: 202B Palmetto Bay Marina Villas (Dockmaster Building)
90 Helmsman Way
Rooftop Pergola

To Whom it May Concern:

The Palmetto Bay Marina Village Board of Directors does grant approval for the rooftop pergola at unit 202B to remain, provided that it meets all Town building code and safety requirements, and is approved by the Design Review Board.

Sincerely,



Stacy Kaeding
Property Manager & Authorized Agent



Unit 202B

90 Helmsman Way

Helmsman Way

278

Palmetto Bay Rd

Paddleboat Ln

© 2018 Google

Google Earth

1994

32°10'36.09" N 80°46'18.87" W elev 0 ft eye alt 1044 ft

DOCKMASTER
202B







Stephen E. Mitchell, P.E.

406 Remora Drive
St. Helena Isl. South Carolina
29920
bscusa@gmail.com
(706) 421-5029

April 4, 2018

T.J. Heffner III
Joe Nix

Re: Outside Canopy at Residence at Palmetto Bay Marina **UNIT 202B DOCKMASTER.**

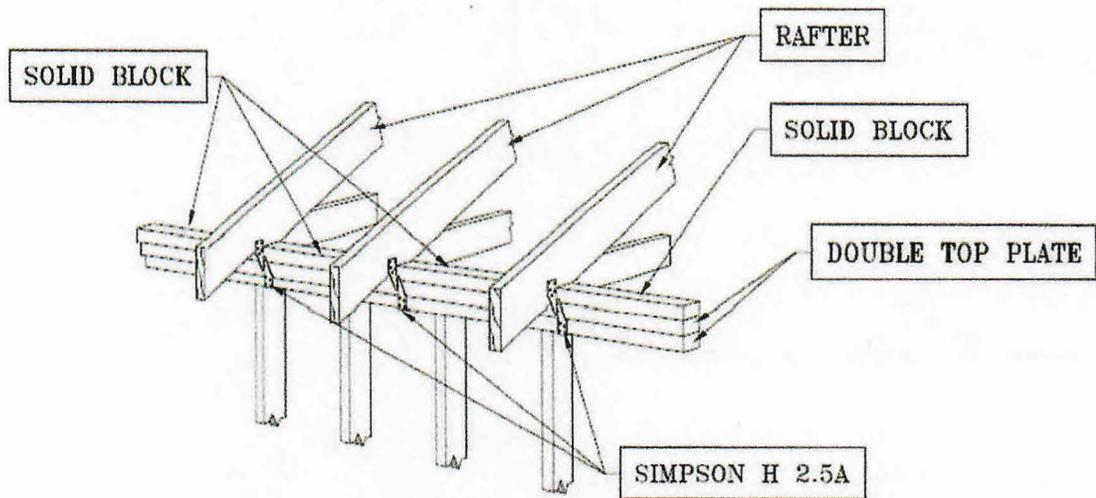
I visited this site on Friday, March 30, 2018 and inspected the existing outside canopy on the roof at this unit. The canopy was built between two existing walls. There is no concern for the sideways shear from wind loads. The canopy will experience uplift, rotation and shear perpendicular to the unit as it faces the water.

The picture below is of the canopy. The post to the left in the picture is in the middle of the canopy on the southeastern wall. This post needs to be bolted to the concrete block wall with $\frac{1}{2}$ " red head bolts with a minimum penetration into the block wall of 5". The red head is to be epoxied into place with Simpson 2-part epoxy or equal. Place 3 bolts @ 18" o.c. in the wood post.



The post to the right in the picture above is closest to the exterior of the deck and it too, needs to be bolted to the concrete block wall with $\frac{1}{2}$ " red head bolts with a minimum penetration into the block wall of 5". The red head is to be epoxied into place with Simpson 2-part epoxy or equal. Place 3 bolts @ 18" o.c. in the wood post.

Blocks are to be placed between the ceiling rafters, on top of the beams at every space between the rafters and nailed as shown in the following detail. This is to be done with all ceiling rafters.



RAFTER CLIPS AND BLOCKS DETAIL

NOT TO SCALE



This is typical of the westerly outside post and beam connection. On both ends of this beam, the beam must be tied to the post with 16-gauge coil strapping, that is 12 inches long on each member (post and beam). The post is to be anchored to the wall with HDG $\frac{1}{2}$ " carriage bolts. A block is to be placed on the sheetrock wall on the inside to span between not less than 2 existing wall studs. 1" HDG washers are to be used on the bolt. Place 3 bolts @ 18" o.c. in the wooden post.



This is the side of the canopy facing Palmetto Bay. Blocks are to be placed between the ceiling rafters, on top of the beam at every space between the rafters and nailed as shown in the previous detail. This is to be done with all ceiling rafters.

The wooden pots are to be anchored to the concrete block wall with $\frac{1}{2}$ " red head bolts with a minimum penetration into the block wall of 5". The red head is to be epoxied into place with Simpson 2-part epoxy or equal. Place 3 bolts @ 18" o.c. in the wood post.

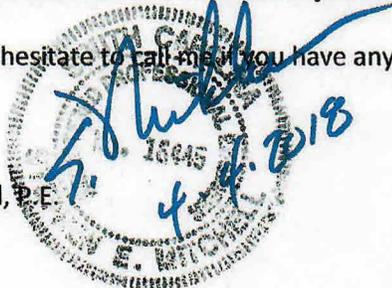
The post adjacent to the stairwell is to be anchored to the wall with HDG $\frac{1}{2}$ " carriage bolts. A block is to be placed on the sheetrock wall on the inside to span between not less than 2 existing wall studs. 1" HDG washers are to be used on the bolt. Place 3 bolts @ 18" o.c. in the wooden post.

The roof decking is to be nailed at 3" o.c. on the edges and 6" o.c. in the field. These 8d pneumatically driven nails are to be hot dipped galvanized and shot into the existing ceiling joists.

Galvanized drip edge and roll roofing are to be placed on the roof. I would suggest gutters to channel the rainwater off of the deck and onto the adjacent roof.

Please do not hesitate to call me if you have any questions.

Steve Mitchell, P.E.



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Heffner Pergola

DRB#: DRB-001107-2019

DATE: 05/17/2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

The pergola shall be painted to match the existing color of the building trim.

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Dimensioned Details and of Sections	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Addition is existing, request is for approval of construction without DRB approval.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The addition should be painted to match the trim on the existing building.

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Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: MICHAEL KRONMUS Company: KPA, INC.
 Mailing Address: PO BOX 2047 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-815-2021 Fax: N/A E-mail: MWK@KPA-SC.COM
 Project Name: NUNZIO ITALIAN RESTAURANT Project Address: 18 NEW ORLEANS ROAD
 Parcel Number [PIN]: R55201500C 0075 0000 + (0076)
 Zoning District: LIGHT COMMERCIAL Overlay District(s): SHIPYARD PLANTATION

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

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Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

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Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

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- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

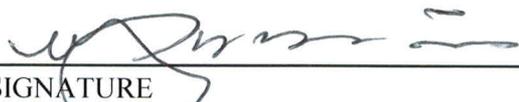
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

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Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

05/14/19

DATE

May 14, 2019

Town of Hilton Head
Design Review Board
Atten: Chris Darnell

RE: Lot 18 & 20 New Orleans Road - Concept Pre-Application

Chris,

This serves as a narrative to the proposed work that was performed. Our client wishes to make minor modifications to the exterior of the building. Enclosed is the required documents for the alteration.

Summary:

The project will be developed over two lots which total approx 1.4 acres. The building was previously "Rebok CrossFit". It has been renovated, to house a new Italian Restaurant. We are proposing alteration / additions to the previously approved plans as noted:

Front Door Assemble

The project was previously approved showing (3) sets of existing front entry doors off of the main entry patio while also adding an additional (3) sets of new doors to match to the left. This is what was shown on the original drawings obtained from the original architect. After the DRB approval it came to our attention that in fact there were only (2) pairs of doors, not (3) pairs of existing doors. To keep symmetry, we decided to keep the original (2) sets of doors and add only (2) more new sets of doors. We feel the building looks in character and there we see no design faults.

Front Canopy Removal

The project was previously approved showing (2) sets of new metal canopies over the front entry doors and over the new front window system. We have installed the system over the doors, but have not installed the system over the windows. After developing the revised elevation in the field we felt it not necessary to add the extra long canopy over the windows. We also field that we are adding more horizontal elements than are needed visually. The new canopies contained the lighting system that was needed for proper illumination of the handicap ramp. Since the canopy is removed we proposed to install wall sconces to illuminate the front of the building and also the handicap ramp. There is a photo showing the lighting if the sconces are to be installed, along with the lighting cut sheet.

This concludes our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael W. Kronimus', written in a cursive style.

Michael W Kronimus
KRA architecture + design

dweLED

Sodor

Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens	Title 24
○ WS-W15708 8"	3000K 90	○ BK Black	12W	1000	314	Yes
	3000K 90	○ BZ Bronze	9W	750	315	No
	3000K 90	○ GH Graphite	9W	750	315	No
○ WS-W15710 10"	3000K 90	○ BK Black	15W	1200	484	Yes
	3000K 90	○ BZ Bronze	11.5W	1200	560	No
	3000K 90	○ GH Graphite	11.5W	1200	560	No

Example: **WS-W15708-BK**

DESCRIPTION

A Steam work inspired approach to a traditional lantern design. Sodor is constructed with a solid die-cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Weather resistant powder coated finishes
- Light engine is factory sealed for maximum protection from the elements
- Heavy aluminum shade provides great glare cutoff
- Title 24 may not be available for all finishes, check for availability
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

Color Temp:	3000K
Input:	120 VAC, 50/60Hz
CRI:	90
Dimming:	ELV: 100 - 10%
Rated Life:	54000 Hours
Standards:	ETL, cETL, IP65, Title 24: 2016, Dark Sky Friendly Wet Location Listed
Construction:	Aluminum hardware with glass diffuser

Fixture Type: _____

Catalog Number: _____

Project: _____

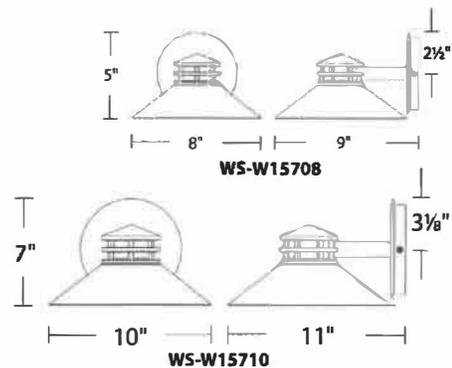
Location: _____



FINISHES



LINE DRAWING





18







RESERVED
PARKING
IN ACCORDANCE
WITH
ADA



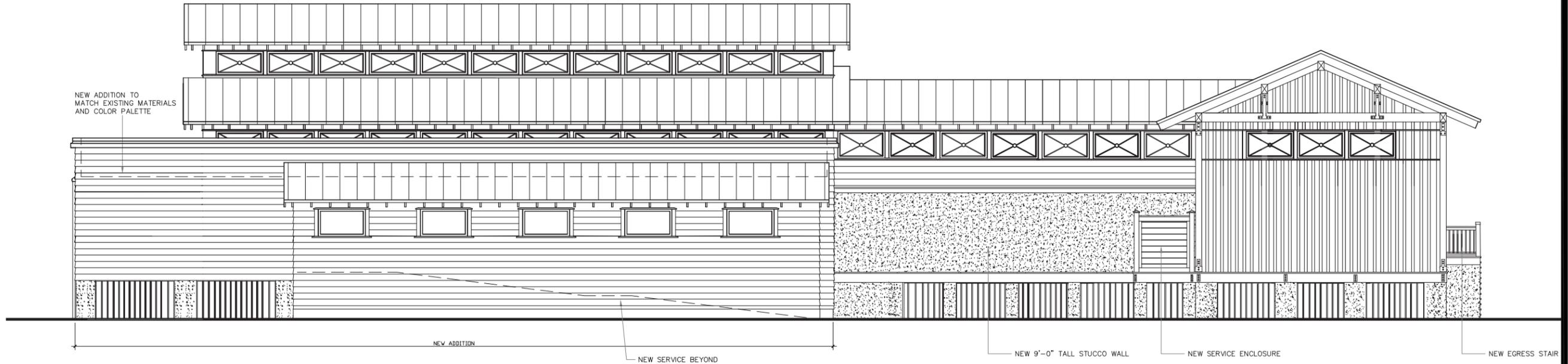
Nunzio's Italian
Restaurant
Remodel

18/20 New Orleans Rd.
Hilton Head, SC

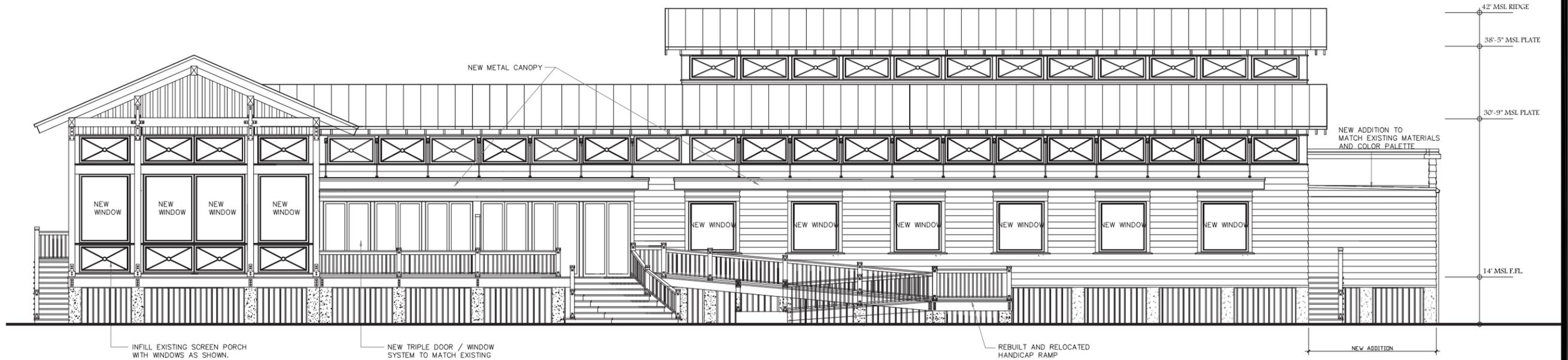


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2 Verdier Plantation Road
Bluffton, SC 29910



1 HWY 278 ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



2 NEW ORLEANS ELEVATION
A2.0 SCALE: 3/16" = 1'-0"



Stamped By: _____
 Drawn By: MWK
 Checked By: KRG
 Date: 10.25.17

Revisions

No.	Description

Project No. 17136
 File Name: _____
 Drawing Title: _____

PROPOSED
ELEVATIONS

Sheet No. **A2.0**

Scale: AS NOTED

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Nunzio Restaurant

DRB#: DRB 001085-2019

DATE: 05/17/2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

Reduce the foot-candle or brightness of the light source at the top of the front gable and change the light color or temperature to match the balance of the building.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The light on the front gable end is too bright, creates a hotspot and spears to be a different color. Reduce the foot-candles and change the light source to match the balance of the exterior lighting.

MISC COMMENTS/QUESTIONS

1. The project received Approval from the DRB at the Nov. 14, 2017.
2. Incandescent or similar color / temperature light sources are preferred in the Design Guide.