



# Town of Hilton Head Island Regular Design Review Board Meeting

March 26, 2019 – 1:15 p.m.  
Benjamin M. Racusin Council Chambers

## AGENDA

---

*As a courtesy to others please turn off/silence all electronic devices during the meeting.*

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of March 12, 2019
6. **New Business**
  - A. *Alteration/Addition*
    - TJ Maxx, DRB-000628-2019
7. **Appearance by Citizens**
8. **Staff Report**
9. **Adjournment**

*Please note that a quorum of Town Council may result if four or more of their members attend this meeting.*

***Town of Hilton Head Island***  
***Minutes of the Design Review Board Meeting***  
**March 12, 2019 at 1:15 p.m.**  
**Benjamin M. Racusin Council Chambers**

**Board Members Present:** Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, Kyle Theodore

**Board Members Absent:** Debbie Remke (unexcused), Brian Witmer (excused)

**Town Council Present:** Glenn Stanford

**Town Staff Present:** Taylor Ladd, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

---

**1. Call to Order**

Chairman Strecker called the meeting to order at 1:37 p.m.

**2. Roll Call – See as noted above.**

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board approved the agenda by general consent.

**5. Approval of Minutes – Meeting of February 26, 2019**

Chairman Strecker asked for a motion to approve the minutes of the February 26, 2019 regular meeting. Vice Chairman Gentemann moved to approve. Ms. Theodore seconded. The motion passed with a vote of 4-0-0.

**6. New Business**

*A. Alteration/Addition*

- Sunset Pavilion, DRB-000509-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Add 40' average wetland buffer to the site plan.
2. Add canopy dripline and height of the lowest branches on the pavilion side to the live oak clusters adjacent to the pavilion.
3. The roofing material shall be a standing seam metal in a bronze color.
4. Reduce the pavilion roof overhang on the parking lot side to accommodate planting.
5. Provide a planting plan to be approved by Staff for the area between the parking lot and the pavilion to screen the parking lot instead of portable planters.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered the Board's questions.

Chairman Strecker asked the Board for comments. The Board discussed the tree survey may be out of date and an updated tree survey may show the cluster of Live Oaks as specimen size. The LMO has specimen tree protection requirements. The proposed roof is within close proximity to the trees and will need to be reduced and/or shifted to not interfere with the cluster of Live Oaks. If the structure is shifted left then a landscape opportunity will be taken away. The proposed decking is of concern as no paving or soil compaction is allowed within 15 feet of a specimen tree trunk and no more than 20 percent of the total area within the dripline of any specimen tree shall be subject to paving or soil compaction.

Some Board members indicated the galvalume roof material as adequate because it will match the existing building. One Board member expressed concern for the galvalume appearing white in color and recommended the bronze color roof in standing seam metal.

The Board complimented the architecture of the structure. The Board emphasized revising the site plan to reduce the size of the structure and the roof overhang.

Some Board members expressed concerns with portable planters and were not in favor of them and preferred a permanent planting bed with irrigation. The Board expressed wanting to see a 5' buffer between the parking and the building roof.

The Board discussed the light levels and light fixtures will need to be identified and meet the LMO standards. The Board expressed concerns with seating at the backside of the fireplace as items may be placed in that buffer area.

The application was withdrawn at the applicant's request.

- Slapfish, DRB-000510-2019

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Remove the pavement on the southwest side of the dumpster enclosure to make space for additional planting for review and approval by Staff.
2. Remove the exterior fluorescent light fixtures on the plan.
3. Any hood or roof mechanical elements that are added should be painted to match the roof color.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered the Board's questions.

Chairman Strecker asked the Board for comments. The Board complimented the project. The addition of any roof mechanical elements was discussed. Some board members agreed with Staff that any additional elements should be painted to match the roof color. Some board

members expressed the mechanical equipment should remain the manufacturer stainless steel color. The Board agreed that such mechanical equipment should be located at the back corner of the roof farthest away from William Hilton Parkway and Arrow Road.

The Board discussed the condition of the existing pavement. The grease trap installation will address some of the existing pavement in that area. Some other areas of pavement will be replaced. The Board expressed concern for patchwork style of the pavement. The Board agreed the pavement near the dumpster enclosure should be removed to make space for additional planting. The parking lot will be restriped. The outdoor seating area will be concrete pavers. The decking will be stained. The posts will be silver aluminum powder coated.

The Board discussed the new aggregate sidewalk should be replaced with new sidewalk. The Board discussed replacing the concrete sidewalk on the East side near the building with landscaping. There was discussion on the landscaping between the outside seating area and the parking lot. The Board encouraged the photo carpus be 3 feet as indicated. The Board discussed keeping some of the deciduous plant material for variety and adding some evergreen material.

There was brief discussion on the stucco work. The existing stucco is to remain and replacements will be made as needed. The Board indicated the existing rough texture should match and the façade on all four sides should be repainted to match.

Vice Chairman Gentemann made a motion to approve DRB-000510-2019 with the following conditions:

1. Remove the pavement on the southwest side of the dumpster enclosure to make space for additional planting for review and approval by Staff.
2. Remove the exterior fluorescent light fixtures on the plan, or at a minimum note it on the drawing.
3. Any new roof mechanical equipment shall be either (i) painted to match the roof color or (ii) remain the manufacturer stainless steel color. The location of such equipment shall be at the back corner of the roof farthest away from William Hilton Parkway and Arrow Road.
4. Address the existing areas of the concrete pavement that are damaged.
5. Remove exposed aggregate walk and replace with new walk.
6. Submit paver sample for review and approval by Staff.
7. Replace deciduous material with evergreen material for review and approval by Staff.

Ms. Theodore seconded. The motion passed with a vote of 4-0-0.

**7. Appearance by Citizens – None**

**8. Staff Report**

Mr. Darnell shared an update on the overhead lighting at crosswalks on William Hilton Parkway. Mr. Darnell reported the Minor Corridor approvals since the last Board meeting.

**9. Adjournment**

The meeting was adjourned at 2:58 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

---

Dale Strecker, Chairman

DRAFT



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Chris Nardone Company: CNNA Architects  
 Mailing Address: 119 Luckie St. NW, Suite 100 City: Atlanta State: GA Zip: 30303  
 Telephone: 404-522-0077 Fax: 404-522-0080 E-mail: CNardone@cna.com  
 Project Name: Shelter Cove Plaza Exterior Facade Renovation Project Address: 50 Shelter Cove Lane, Hilton Head Island, SC 29928  
 Parcel Number [PIN]: R5 2 0 0 1 2 0 0 B 0 0 2 3 0 0 0 0  
 Zoning District: Light Commercial Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**  
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- X  A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- X  Final site development plan meeting the requirements of Appendix D: D-6.F.
- X  Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- X  Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- X  A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- X  Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- X  All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- X  A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- X  Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

Proposed landscaping plan.

For wall signs:

Photograph or drawing of the building depicting the proposed location of the sign.

Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

2019.03.12

\_\_\_\_\_  
DATE

## **Description of Project:**

This Application is for The Plaza at Shelter Cove shopping center, and is the renovation of the existing "Post Modern" TJ Maxx entry feature to be more consistent with the recently renovated Whole Foods, bringing natural wood and a lower profile to the center's 2<sup>nd</sup> anchor tenant.

The renovation involves the proposed TJ Maxx entry feature and typical retail canopy dormer renovations. The existing TJ Maxx Entry feature is a relic of a previous style of architecture that the owners would like to modernize. The goal is to remove the large gable stucco feature and replace with a more modern, low profile, natural wood entry feature; similar in concept to the Whole Foods Anchor at the project's north end. The footprint of the existing entry feature vestibule will remain in place, as will the brick piers and brick bulkhead under the storefront (to be replaced). No increase of square footage associated with this renovation.



A photograph of a Whole Foods Market storefront. The building has a dark brown wood-paneled upper section with the store's name in white. Below is a glass entrance and a service area with a red-tiled roof. A large tree is on the left, and a silver car is parked in the foreground.

WHOLE FOODS MARKET.



lons

# OUTSIDE OUTDOOR OUTFITTERS

50 11





T.J. Maxx

50-D

NO PARKING  
FINE LANE







GIUSEPPI'S PIZZERIA

NO PARKING  
FIRE LANE

PIZZA PLUS

PASTA HOAGES SLICES

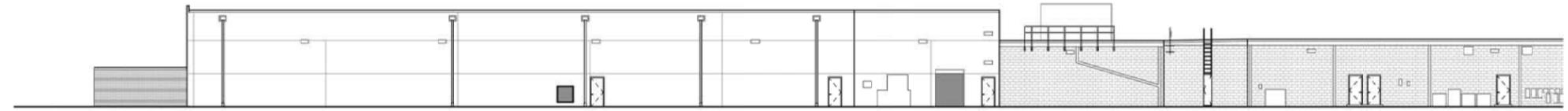


Life is good

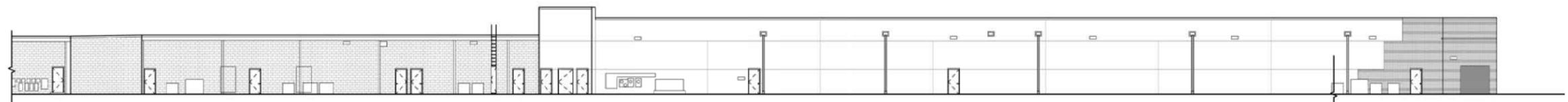
WINDY

Life is good

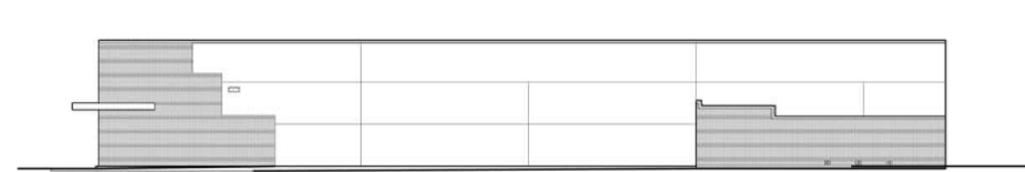
WINDY



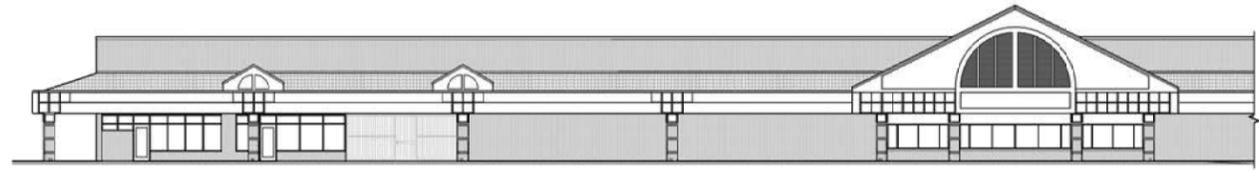
6 NORTH ELEVATION @ WHOLE FOODS  
1/16" = 1'-0"



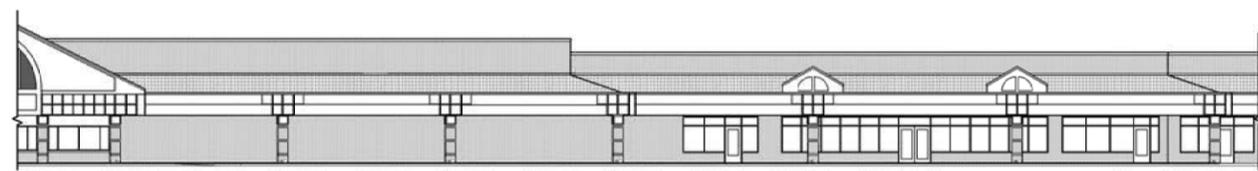
5 NORTH ELEVATION @ GUISEPPI'S, TJ MAXX, OUTSIDE OUTDOOR OUTFITTERS  
1/16" = 1'-0"



4 EAST ELEVATION  
1/16" = 1'-0"



3 SOUTH ELEVATION @ TJ MAXX  
1/16" = 1'-0"



2 SOUTH ELEVATION BETWEEN TJ MAXX AND WHOLE FOODS  
1/16" = 1'-0"



1 SOUTH ELEVATION @ WHOLE FOODS  
1/16" = 1'-0"

EXTERIOR FACADE RENOVATION  
SHELTER COVE PLAZA  
50 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC 29928  
CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

THIS DRAWING IS THE PROPERTY OF CNNA, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF CNNA ARCHITECTS, INC.

Print Record

No.	Description	Date

Revisions

No.	Description	Date

Project No.: 17115.00  
Project Date: May 15, 2018  
Cadd File No:

Drawn By: JMG  
Checked By:  
Scale: AS NOTED

Sheet Title:  
EXISTING BUILDING ELEVATIONS

Sheet No.

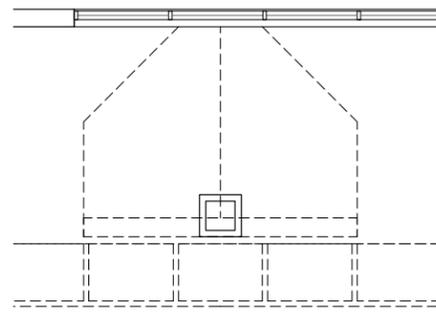
A3.0

119 LOCKIE STREET NW | ATLANTA, GEORGIA 30303-2146 | 404-522-0077 | 404-522-0880 FAX  
ARCHITECTURE | PLANNING | PROGRAMMING | INTERIOR DESIGN | PROJECT MANAGEMENT | GRAPHIC DESIGN

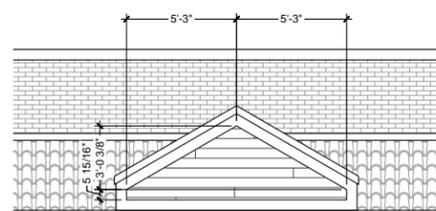
Not Released for Construction

Released for Construction

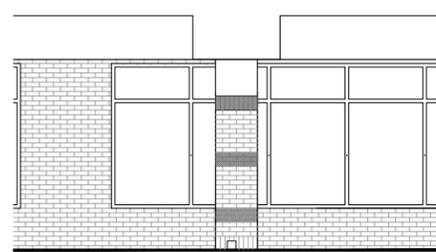




2 ENLARGED PLAN @ TYPICAL PEDIMENT  
1/4" = 1'-0"



1 ENLARGED ELEVATION @ TYPICAL PEDIMENT  
1/4" = 1'-0"



EXTERIOR FACADE RENOVATION  
SHELTER COVE PLAZA  
50 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC 29928  
CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

THIS DRAWING, ITS CONTENTS & ALL RIGHTS OF IT ARE PROPERTY OF CNNA, INC. OR CNNA ARCHITECTS, INC. & SHALL REMAIN THE PROPERTY OF CNNA ARCHITECTS, INC. & SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF CNNA ARCHITECTS, INC. & CNNA ARCHITECTS, INC. 2018

Print Record


Revisions


Project No.: 17115.00  
Project Date: May 15, 2018  
Cadd File No:

Drawn By: JMG  
Checked By:

Scale: AS NOTED

Sheet Title:

PEDIMENT DETAILS

Sheet No.

A5.2

119 LOCKE STREET, NW ATLANTA, GEORGIA 30303.2146 404.522.0277 404.522.0280 FAX  
ARCHITECTURE | PLANNING | PROGRAMMING | INTERIOR DESIGN | PROJECT MANAGEMENT | GRAPHIC DESIGN

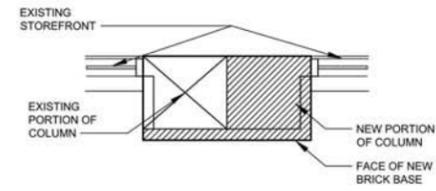
Not Released for Construction

Released for Construction

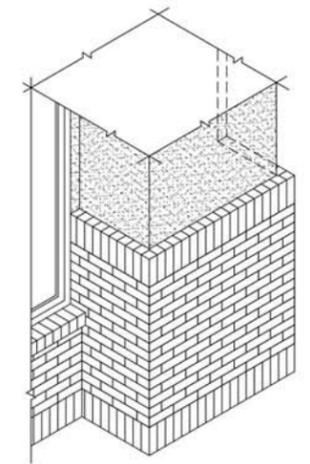




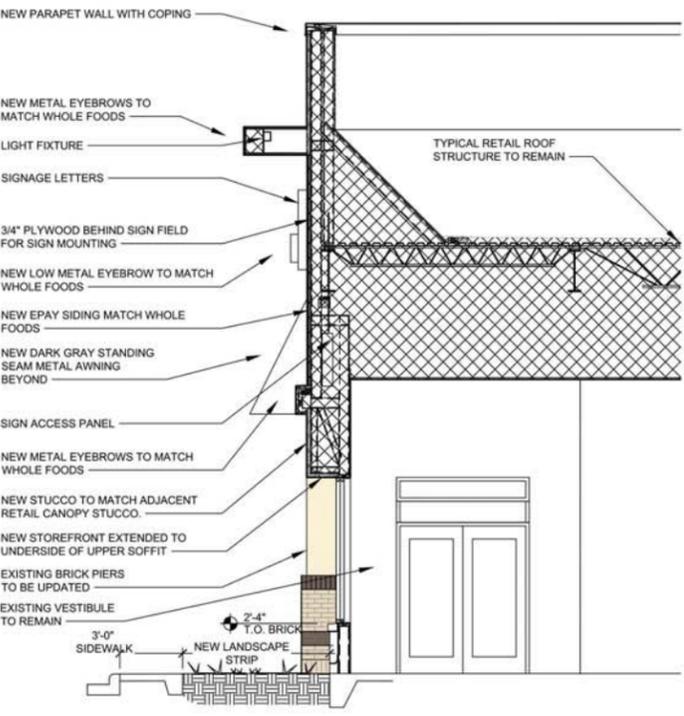
1 ENLARGED ELEVATION @ TJMAXX STOREFRONT  
1/4" = 1'-0"



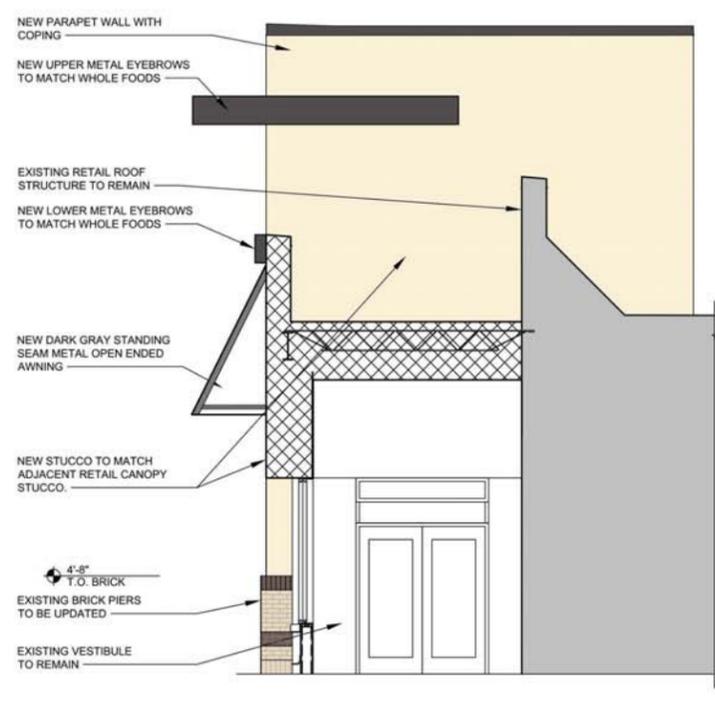
6 PILASTER PLAN  
NO SCALE



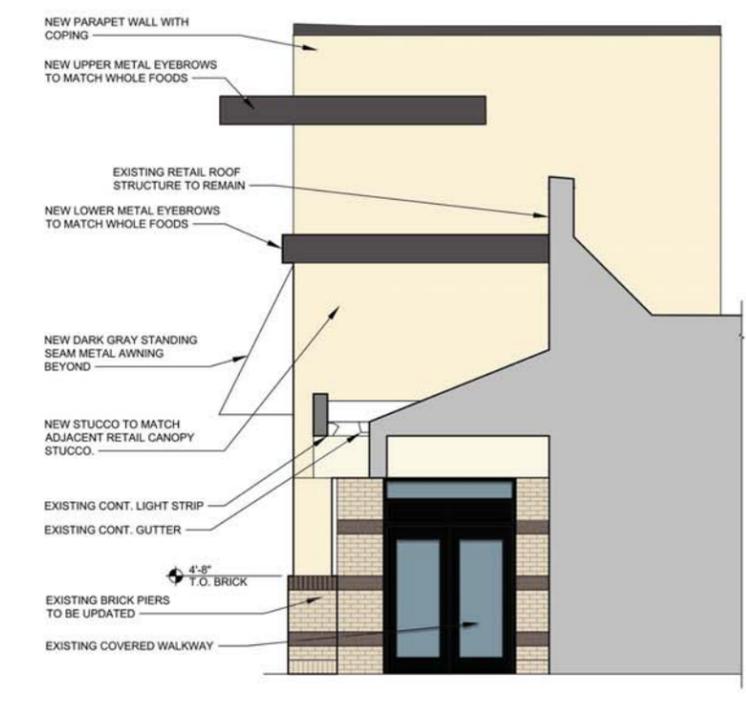
5 PILASTER ISOMETRIC  
NO SCALE



2 SECTION @ TJMAXX STOREFRONT  
1/4" = 1'-0"



3 SECTION @ TJMAXX STOREFRONT  
1/4" = 1'-0"



4 SECTION @ TJMAXX STOREFRONT  
1/4" = 1'-0"

EXTERIOR FACADE RENOVATION  
SHELTER COVE PLAZA  
50 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC 29928  
CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

THE DRAWING IS COPYRIGHT © ALL RIGHTS RESERVED BY CNNA ARCHITECTS, INC. IT IS THE PROPERTY OF CNNA ARCHITECTS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CNNA ARCHITECTS, INC.

Print Record

NO.	DESCRIPTION	DATE

Revisions

NO.	DESCRIPTION	DATE

Project No.: 17115.00  
Project Date: March 7, 2019  
Cadd File No.:  
Drawn By: JMG  
Checked By:  
Scale: AS NOTED

Sheet Title: TJ MAXX DETAILS

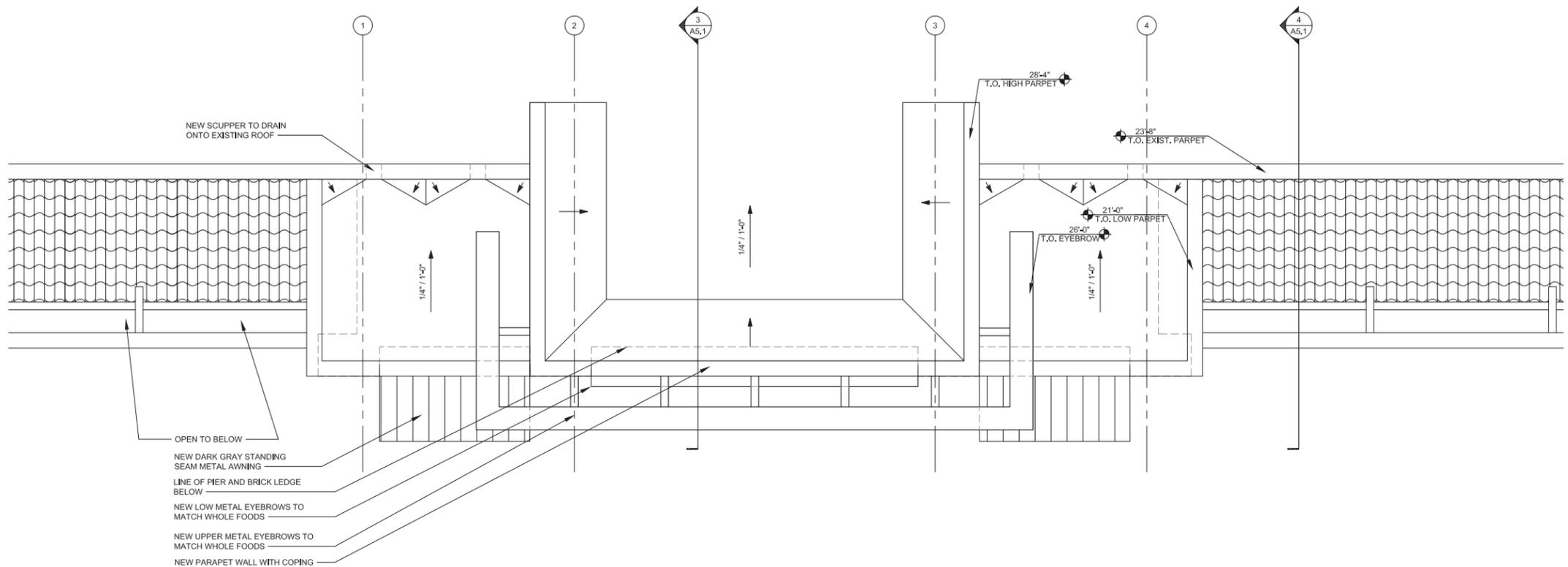
Sheet No.

A5.1

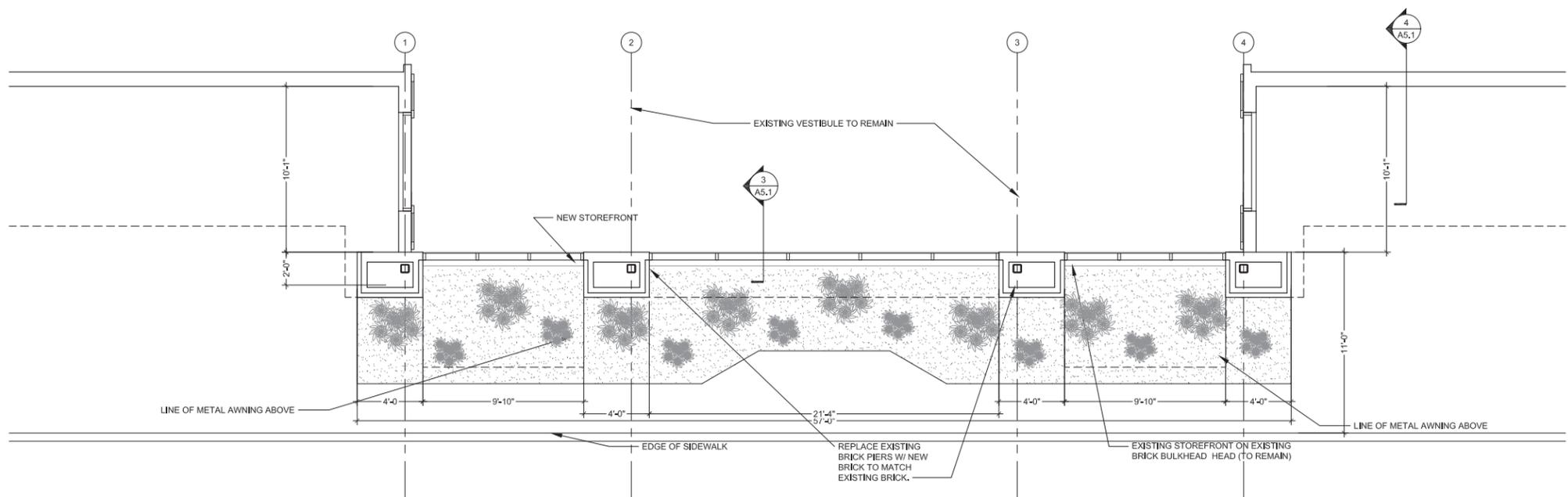
119 LOCKE STREET, NW, ATLANTA, GEORGIA 30303.2146 | 404.522.0077 | 404.522.0080 FAX  
ARCHITECTURE | PLANNING | PROGRAMMING | INTERIOR DESIGN | PROJECT MANAGEMENT | GRAPHIC DESIGN

Not Released for Construction

Released for Construction



2 ENLARGED ROOF PLAN @ TJMAXX STOREFRONT  
1/4" = 1'-0"



1 ENLARGED PLAN @ TJMAXX STOREFRONT  
1/4" = 1'-0"

EXTERIOR FACADE RENOVATION  
SHELTER COVE PLAZA  
50 SHELTER COVE LANE  
HILTON HEAD ISLAND, SC 29928  
CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

THE DRAWING IS THE PROPERTY OF CNNA ARCHITECTS, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF CNNA ARCHITECTS, INC.

Print Record


Revisions


Project No.: 17115.00  
Project Date: March 7, 2019  
Cadd File No:

Drawn By: JMG  
Checked By:  
Scale: AS NOTED

Sheet Title: TJ MAXX DETAILS

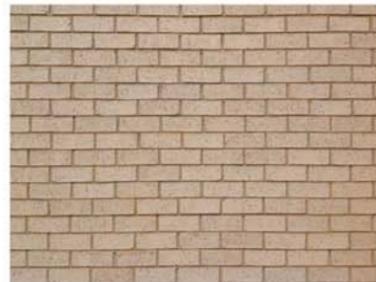
Sheet No.

A5.2

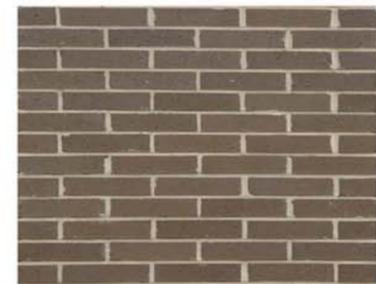
115 LUCAS STREET NW | ATLANTA, GEORGIA 30303-2148 | 404.522.0577 | 404.522.0580 FAX  
ARCHITECTURE | PLANNING | PROGRAMMING | INTERIOR DESIGN | PROJECT MANAGEMENT | GRAPHIC DESIGN

Not Released for Construction

Released for Construction



1) To match existing Cherokee Brick - Velour Oatmeal



2) To match existing Cherokee Brick - Velour Dark Gray



3) To match existing Dryvit - Pearl 455a



4) To match existing Dryvit - Steph's Mood 463a



5) Dryvit - Toast 461



6) American Products Inc. - Charcoal Gray Metal Awning & Eyebrows



7) American Products Inc. - Black Storefront



8) American Products Inc. - Dark Bronze Coping



9) Clear Glass

EXTERIOR FACADE RENOVATION | EXISTING AND PROPOSED T J MAXX ENTRANCE ELEVATION

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Exterior Façade Renovation – TJ Maxx      DRB#: DRB-000628-2019

DATE: 03/15/2019

RECOMMENDATION:    Approval         Approval with Conditions         Denial     
RECOMMENDED CONDITIONS:

<b><i>APPLICATION MATERIAL</i></b>				
<b>DRB REQUIREMENTS</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide plan / elevation of what is being demolished.
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<b><i>ARCHITECTURAL DESIGN</i></b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<b><i>LANDSCAPE DESIGN</i></b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify the species and size of plants for the new landscape area.