



Town of Hilton Head Island
Design Review Board Meeting

Tuesday September 26, 2023 – 1:30 p.m. NEW TIME

AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. September 12, 2023

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. Unfinished Business

8. New Business

a. **Alteration/Addition – DRB-001743-2023 – Town-Wide Fence Standard**

b. **Conceptual Review – DRB-001729-2023 – Dune House Lane Redevelopment**

c. **Conceptual Review – DRB-001706-2023 – 1014 WHP Serg Brewery and Car Storage**

d. **Conceptual Review – DRB-001742-2023 – Hilton Head High School Athletics Phase 2**

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
September 12, 2023, at 2:30 p.m.
MEETING MINUTES

Present from the Board: Cathy Foss, Chair; Judd Carstens, Vice-Chair; Annette Lippert; Tom Parker; Ryan Bassett, John Moleski

Absent from the Board: Todd Theodore

Present from Town Council: Mayor Alan Perry; David Ames

Present from Town Staff: Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Karen Knox, *Board Secretary*

1. Call to Order

Chair Foss called the meeting to order at 2:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As Noted Above.

4. Approval of Agenda

Chair Foss asked if staff had any changes to the Agenda. Ms. Cook replied DRB-0001654-2024 Sea Turtle Marketplace Building F Addition is being removed from the Agenda. Chair Foss asked for a Motion to approve the Agenda as amended. Mr. Parker moved to approve. Mr. Moleski seconded. By a show of hands, the Motion passed with a vote of 6-0.

5. Approval of Minutes

a) Regular Meeting of August 22, 2023

Chair Foss asked for a Motion to approve the Minutes of August 22, 2023. Ms. Lippert moved to approve. Mr. Moleski seconded. By a show of hands, the Minutes of August 22, 2023 were unanimously approved with a vote of 5-0. Chair Foss did not attend the meeting of August 22, 2023.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. No comments were received on the Open Town Hall

Portal. Two emails were received and copies were sent to the Committee and will be made part of the official record.

7. Unfinished Business

a) Alteration/Addition – DRB-001566-2023 – New Fountain Structure, Splash Pad, Pool Lighting and Miscellaneous Landscaping at 15 Wimbledon.

Mr. Bassett recused himself and left the dais.

Ms. Cook provided staff's presentation as included in the packet and advised that the Applicant is back to address comments that we asked for at the last meeting. Staff recommends approval as submitted.

The Applicant provided an additional presentation and stated they have addressed the comments from the Board from the last meeting. The Board asked several questions, including whether the nighttime lighting meets with our sea turtle requirements for the beach after 10:00 p.m.

Chair Foss asked if there was a motion to approve the Application. Ms. Lippert moved to approve with the following conditions: 1) landscaping is part of Phase 1 2) Water Odyssey drawings have to be updated and resubmitted for staff approval 3) layout of said splash pad is per L 6.1 4) verification by staff whether the pool lighting meets all the turtle light requirements 5) need to see the overall picture exactly as it will be laid out, 6) the orientation of the play structure needs to be represented, 7) when you come back with the appropriate plans you verify that the lighting will not be overcast any place past 10:00 p.m. Mr. Parker seconded. The motion passed with a vote of 5-0.

8. New Business

a) Final Review – DRB-001649-2023 – New Overlook at Driessen Park

Ms. Cook provided staff's presentation as included in the packet and advised that staff recommends approval as submitted.

The Applicant provided an additional presentation. There were no comments from the Board.

Chair Foss asked if there was a motion to approve the Application. Mr. Carstens moved to approve. Mr. Moleski seconded. The motion passed with a vote of 6-0.

b) Final Review – DRB-001797-2023 – Chaplin Townhomes

Mr. Carstens and Mr. Parker recused themselves and left the dais.

Ms. Cook provided staff's presentation as included in the packet and advised that staff recommends approval as submitted as the Final submittal for Chaplin Townhomes.

The Applicant provided an additional presentation. There was one comment regarding a porch ceiling light fixture which was black. Black and White are not approved colors. That will need to be revised.

Chair Foss asked if there was a motion to approve the Application. Ms. Lippert moved to approve with the following conditions. 1) this approval is only for the three townhouse buildings, 2) the black porch fixture shall be revised to match the finish of the other fixtures. Mr. Moleski seconded. The motion passed with a vote of 4-0

c) **Alteration/Addition – DRB-001593-2023 – 10 Executive Park Boutique Hotel**

Ms. Cook provided staff's presentation as included in the packet and mentioned that there are some existing non-conformities.

The Applicant provided an additional presentation and advised the Board this is a repurposing of an obsolete commercial building which is almost 40 years old.

The Board recommended upsizing the Crepe Myrtle and Ligustrum, questioned what the colors of the railing and retractable awning will be, where the HVAC units for the common area will be, a pathway between the bike path and the building would be a positive addition to the requested landscape easement to Council, and to resubmit the application with further details, exhibits that include the color and material palette, and better details on connections and any changes to the building layout and stairwell design.

After discussion and based on the large scope and change in principal use, it was decided to table this Application to October 10, 2023 to allow for a Final Review, altering this review to a conceptual review instead of a alteration/addition.

d) **Alteration/Addition – DRB-001634-2023 – Dunes House Awning**

Ms. Cook provided staff's presentation as included in the packet and advised staff recommends approval with conditions. This Application was first presented in January, 2023, brought before the Board in February, 2023 with multiple conditions, including the wrapping of the columns, detail for the connections between the awning and the existing columns, have not received the Engineered stamped plans, but did make it for the February, 2023 packet. Comment for fans and lighting to match existing, replace the existing awning on the ocean side to match with the new awning which at the February meeting led to a tabling to March. At the March meeting, the comment of wrapping the columns, replacing the awning again to match the front of the building. Due to the application previously being withdrawn, the applicant returned as an alteration/addition, requesting the new awning be submitted as approved with a Cobalt Blue color.

The Applicant provided an additional presentation. After an additional presentation, the Board recommended that the architect submit a complete package at a subsequent meeting. The package that was submitted only included a profile view of the building and was missing critical connection details. It was also recommended by the Board to determine whether to scale back on the mass of the awning and keep the color, or to change the color to be more subdued based on the massing of the structure.

After discussion, it was decided to table this Application to October 24, 2023 to allow the applicant to coordinate with the architect to present an entire package on the awning.

9. Board Business

Chair Foss asked Staff if they could begin to get the packet material for review earlier in the week prior to the meeting as the Board would have more time for review.

Chair Foss thanked the Board for their hard work when she was not present at the August 22, 2023 meeting and advised the Board that they had not voted to appoint Karen Knox as the Board Secretary. Chair Foss moved to nominate Karen Knox as the Board Secretary. Mr. Moleski seconded. The motion passed with a vote of 6-0.

10. Staff Report

a) **Minor Corridor Report**

Alexis Cook provided the Minor Corridor Report to the Board.

11. Adjournment

The meeting adjourned at 4:46 p.m.

Submitted By: _____

**Karen Knox
Board Secretary**

Date:



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Taylor Ladd Company: Town of Hilton Head Island
 Mailing Address: 1 Town Center Court City: HHI State: SC Zip: 29928
 Telephone: 843-341-4607 Fax: _____ E-mail: taylorl@hiltonheadislandsc.gov
 Project Name: New Pathway Fence Style- Design Project Address: All fencing located on public pathway network
 Parcel Number [PIN]: R NA _____
 Zoning District: _____ Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

NA Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
 - Final site development plan meeting the requirements of Appendix D: D-6.F.
 - Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
 - Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
 - A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Taylor Ladd
SIGNATURE

09/12/2023
DATE



Town of Hilton Head Island

Transportation Division Memo

TO: Town of Hilton Head Island Design Review Board
FROM: Taylor Ladd, Project Manager – Bicycle and Pedestrian Pathways
VIA: Bryan McIlwee, Director of Public Projects and Facilities
CC: Alexis Cook, Principal Planner
DATE: 09/12/2023
SUBJECT: Major Corridor Review for Proposed New Pathway Fence Design

Summary

The Town Public Projects and Facilities Department desires to replace the existing split rail fence located at intervals along the public pathway network and in some park or open space areas. This request is for Design Review Board to review and approve the proposed new fence design that will incrementally replace all existing split rail fencing.

Background

A recommendation of the *Major Thoroughfares Corridor Plan* project is to use an updated and more robust fence style. This new style shall be constructed with longevity in mind and an aesthetic appeal in keeping with Island character. Staff intends to implement this new style incrementally to replace the existing split rail fence currently located at intervals along the public pathway network and in some park and open space areas.

While most of the existing split rail fence will be replaced in small sections, there is a more immediate need to replace the fencing located in the Palmetto Bay Road corridor from the base of the Cross Island bridge to and along a short section of Point Comfort Road. This includes 1,800 linear feet of fence on the southbound side and 120 linear feet long the northbound side of the corridor.

Approval of this fence design will allow for construction of a significant section of fencing and introduce a well-travelled corridor to the new design. Also, the fence replacement process for other areas can begin.

Fence Description

The fence will be constructed in 8-foot sections using 6x6 posts and two 2x8 rails. Fasteners are #10 stainless steel wood screws, countersunk. All wood is specified to be #1 pressure treated pine and all exposed edges shall be eased. A 20-degree angular cut will be at the top of each post and angled towards the pathway. The fence will be stained Historic Charleston Green, a specified Sherwin-Williams color formula.

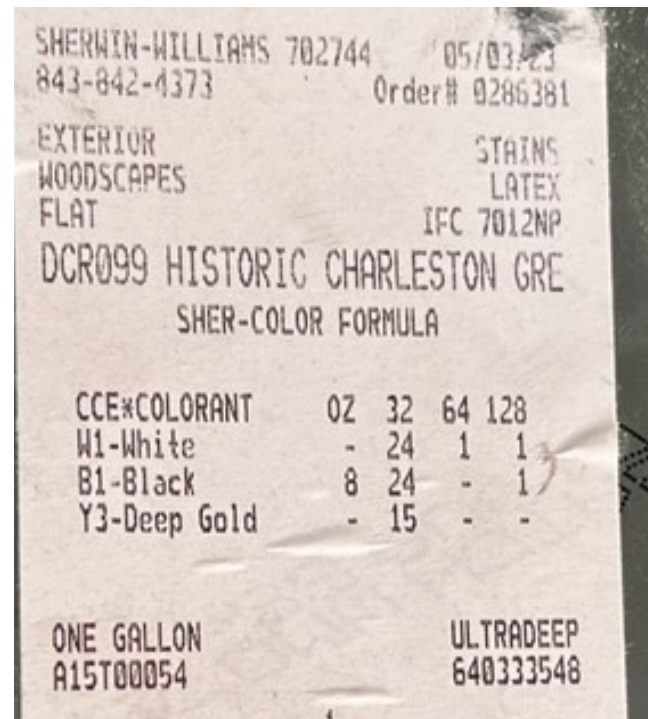
Fence Mockup

An early constructed version of the new fence design is currently located at Town Hall between the pathway on Wexford Drive and the stormwater pond on Town Hall property. Photos attached. Note that we will not be using carriage bolts on the proposed final fence design as shown in the photos.

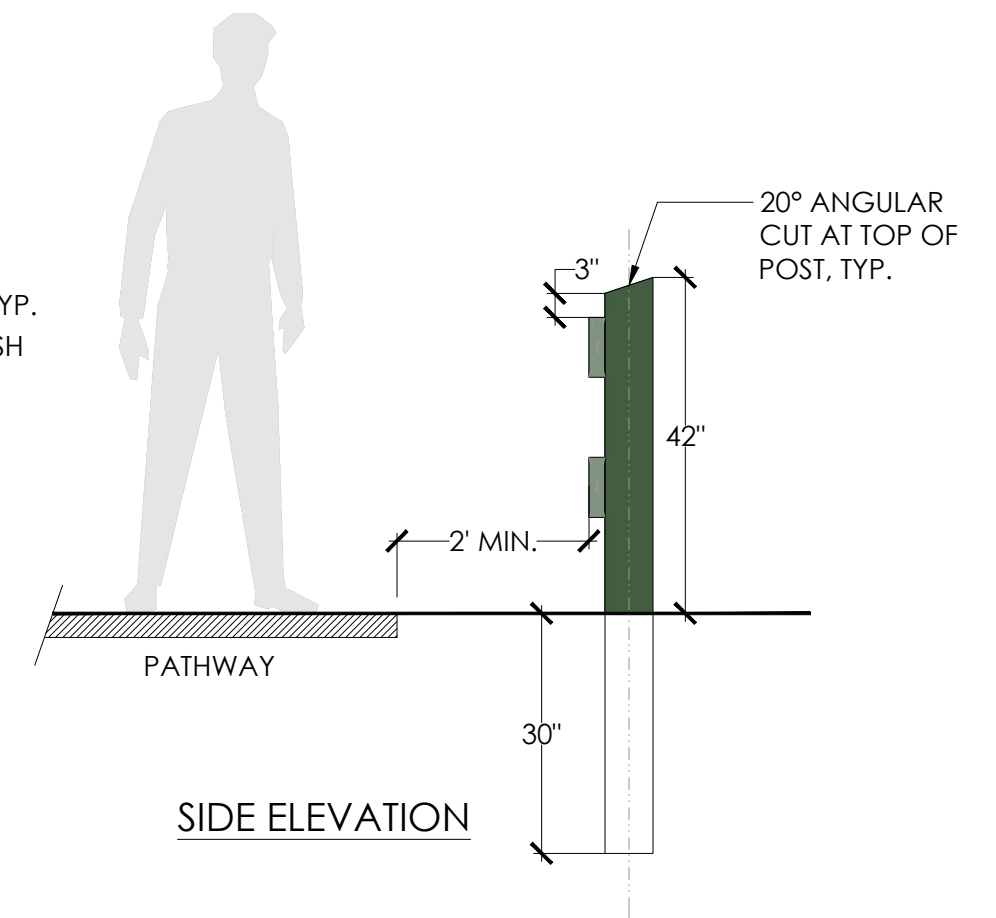
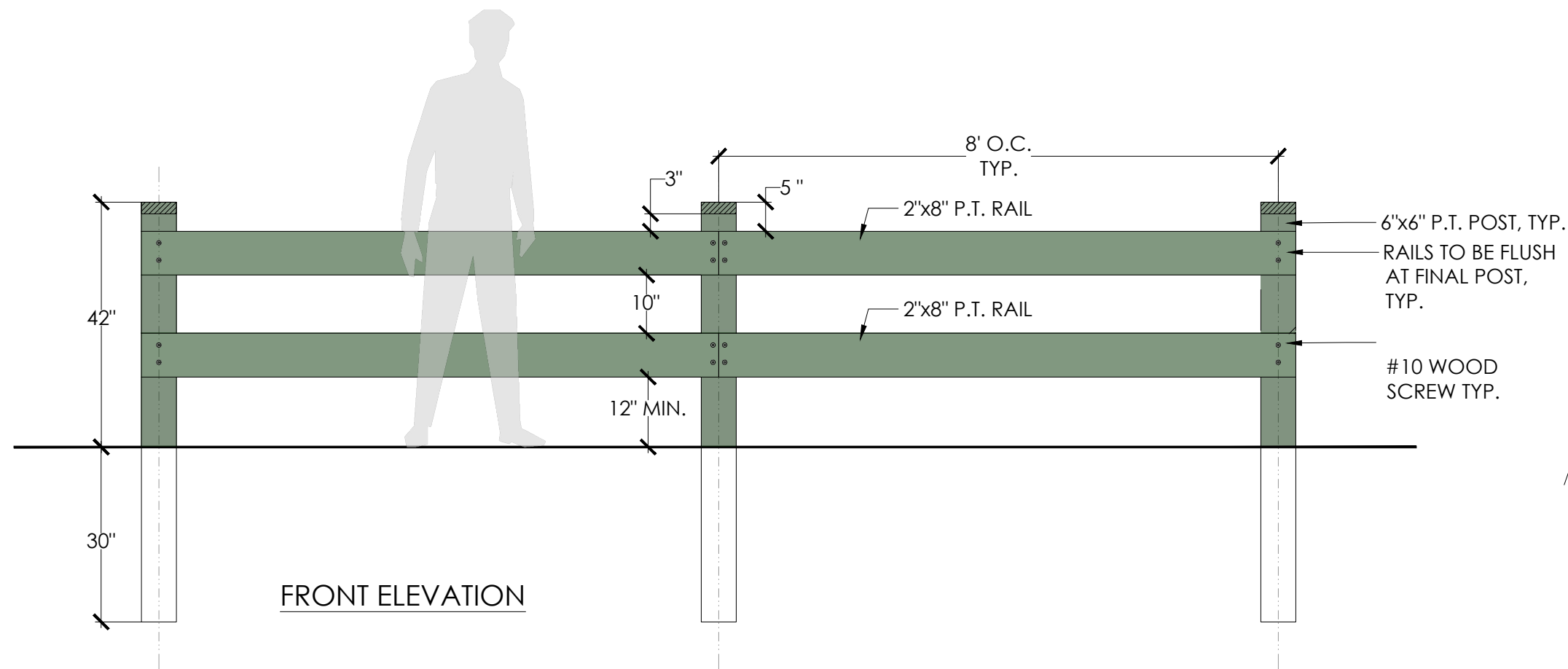
Attachments

- A) Pathway Fencing Detail
- B) Palmetto Bay Road Fence Replacement Project Site Map
- C) Existing Conditions Photos of Fence on Palmetto Bay Road
- D) Constructed New Fence Design Photos

ATTACHMENT A
PATHWAY FENCING DETAIL



- NOTE:
1. ALL VERTICAL & HORIZONTAL WOOD MEMBERS TO BE #1 PRESSURE TREATED PINE
 2. ALL EXPOSED EDGES TO BE EASED.
 3. ALL WOOD MEMBERS TO BE SHERWIN-WILLIAMS HISTORIC CHARLESTON GREEN STAIN #DCR099.
 4. ALL FASTENERS AND HARDWARE TO BE STAINLESS STEEL.
 5. FASTENERS SHALL BE 4-INCH #10 WOOD SCREWS COUNTERSUNK.



DATE: Sept. 11, 2023

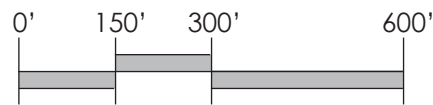
SCALE: 1/2"=1'-0"

ATTACHMENT B
PROJECT SITE MAP



PATHWAY FENCE REPLACEMENT PROJECT PALMETTO BAY ROAD

PROJECT SITE MAP
SCALE: 1" = 300'
September 11, 2023



The information on this plan has been compiled from a variety of sources and is intended to be used only as a guide. It is provided without any warranty or representation as to the accuracy or completeness of the data shown. The Town of Hilton Head Island assumes no liability for its accuracy or state of completion or for any losses arising from the use of the plan.



ATTACHMENT C
PALMETTO BAY ROAD PATHWAY FENCE EXISTING CONDITIONS





ATTACHMENT D
CONSTRUCTED NEW FENCE DESIGN





DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Town-wide New Pathway Fence Design

DRB#: DRB-001743-2023

DATE: 9/26/2023

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Existing Conditions match As-Built	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Charleston green appears dark in the shade, but green in the sun.
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All facades shall have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

CONDITIONS & COMMENTS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jeffrey Starr Company: Palmetto Dunes POA
 Mailing Address: 16 Queens Folly Rd. City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-1109 Fax: _____ E-mail: jstarr@pdpoa.org
 Project Name: Dunes House Redevelopment Project Address: Dunes House Lane
 Parcel Number [PIN]: R 520 012 000 0344 0000
 Zoning District: PD Overlay District(s): COR, TA-O, CPA-0, OCRM

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input checked="" type="checkbox"/> Concept Approval – Proposed Development	<input type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
- Photograph or drawing of the building depicting the proposed location of the sign.
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

9/11/2023

DATE

Project: **Dunes House Redevelopment**
Dunes House Lane, Hilton Head, SC
Coordinates: W 80° 42' 55" N 32° 10' 05"

Date: September 8, 2023

Applicant: **Palmetto Dunes Property Owners Association**
Primary Contact: Jeff Starr
16 Queen's Folly Rd
Hilton Head, SC 29928
E: jstarr@pdpoa.org
P: 843-785-1109

Agent: **Ward Edwards, Inc.**
Primary Contact: Willy Powell
P.O. Box 381
Bluffton, SC 29910
E: wpowell@wardedwards.com
P: 843-384-2944

Description

Palmetto Dunes POA is seeking permits to repave Dunes House Lane within Palmetto Dunes, Hilton Head Island, South Carolina. The proposed land disturbance activity will consist of re-aligning the existing roadway, adding new 54 parking spaces, and installing drainage infrastructure. 54 parking spaces are needed due to the increased demand for beach parking, safety, and fire access. The project is being built in accordance with The Town of Hilton Head's Land Management Ordinance.

Existing Conditions

The existing consists of a parking lot with 39 spaces, sidewalk, utilities, and trees. The 39 parking spaces are inadequately spaced, causing cars to block fire lanes and illegally park throughout the property. This site uses an existing stormwater system to collect drainage. Elevations on the existing site range between 5.6 to 11 ft.

Tree Removal

To support the proposed development, tree removal will be necessary. The plans show each needed tree to be removed and the landscape plan will establish required mitigation to be installed following construction activities.

Drainage

To alleviate areas of observed flooding along Dunes House Lane, a new stormwater pipe network will direct runoff to the existing lagoon system located within Palmetto Dunes. The proposed road relocation plan for each road section follows a similar grading plan to the existing road and will utilize the proposed drainage infrastructure. To reduce the slope of Dunes House Lane, two grates were filled and new grate inlets were added along the existing storm pipes.

Wetlands

There are no wetlands within the project limits of disturbance.

Access and Interaction with adjacent parcels

Access to Palmetto Dunes by vehicular traffic will be William Hilton Parkway (US 278). Dunes House lane is accessed from Mooring Buoy, which is accessed from Queen's Folly roundabout from the east. The Mooring and Beach Villas residents will have unrestricted access.

Erosion Control

Erosion control practices for the site will include silt fencing, inlet protection, temporary/permanent seeding, dust control measures, a concrete washout station, and sediment tubes.

Construction Schedule & Phasing

The project proposes to be constructed in one phase.

Maintenance Responsibility

The owner, Palmetto Dunes POA, will be responsible for all necessary maintenance.

Site Ownership

Palmetto Dunes POA currently owns the rights-of-way and will continue to own and maintain the roadways.

Project: **Dunes House Redevelopment**
Dunes House Lane, Hilton Head, SC
Coordinates: W 80° 42' 55" N 32° 10' 05"

Date: August 29, 2023

Applicant: **Palmetto Dunes Property Owners Association**
Primary Contact: Jeff Starr
16 Queen's Folly Rd
Hilton Head, SC 29928
E: jstarr@pdpoa.org
P: 843-785-1109

Agent: **Ward Edwards, Inc.**
Primary Contact: Willy Powell
P.O. Box 381
Bluffton, SC 29910
E: wpowell@wardedwards.com
P: 843-384-2944

Description

Palmetto Dunes POA is seeking Major Corridor permit to repave Dunes House Lane within Palmetto Dunes, Hilton Head Island, South Carolina. The proposed land disturbance activity will consist of re-aligning the existing roadway, adding new parking spaces, and installing drainage infrastructure. Below are pictures of the site, included on the Major Corridor Checklist.

Entrance to Dunes House



Entrance to the Mooring Villas off of Dunes House



Entrance to The Beach Villas off of Dunes House



Existing roundabout in front of Dunes House



Existing Parking Lot







Palmetto Dunes

Dunes House Redevelopment Project

Landscape Plant Images

September 2023



Live Oak Tree



Southern Magnolia



Dahoon Holly



Sabal Palmetto



Chinese Fan Palm



Ever Red Loropetalum



Dwarf Yaupon Holly



Sweet Viburnum



Sago Palm



Silver Saw Palm



Podocarpus



Philodendron



Miscanthus



African Iris



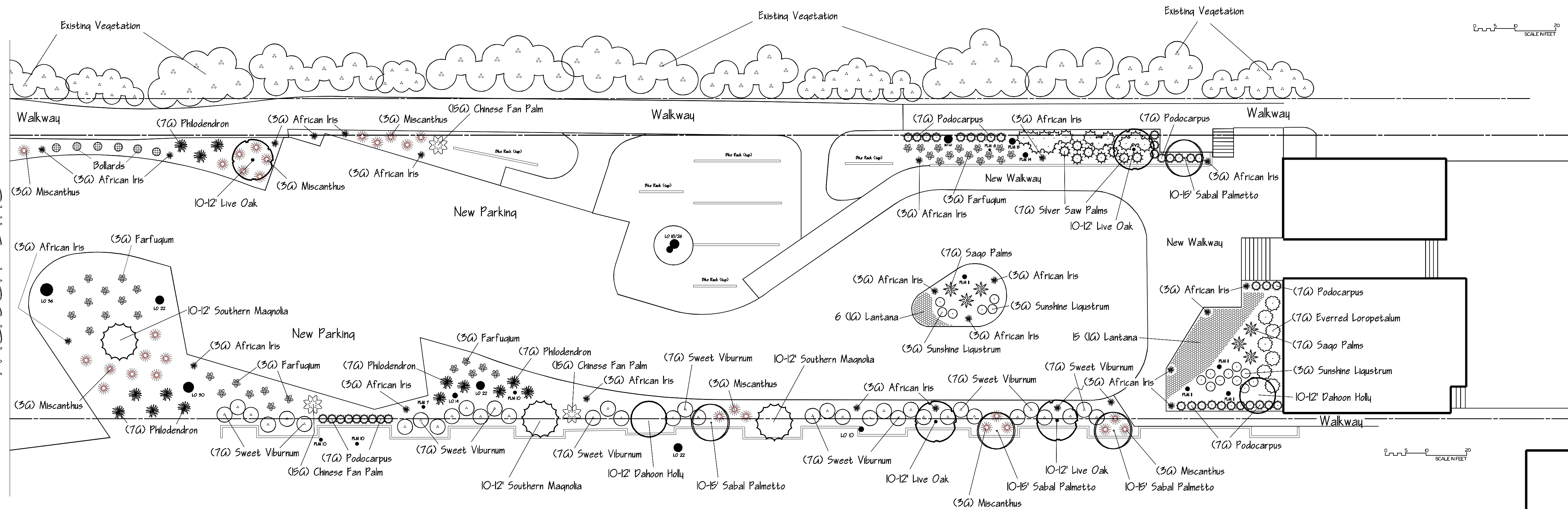
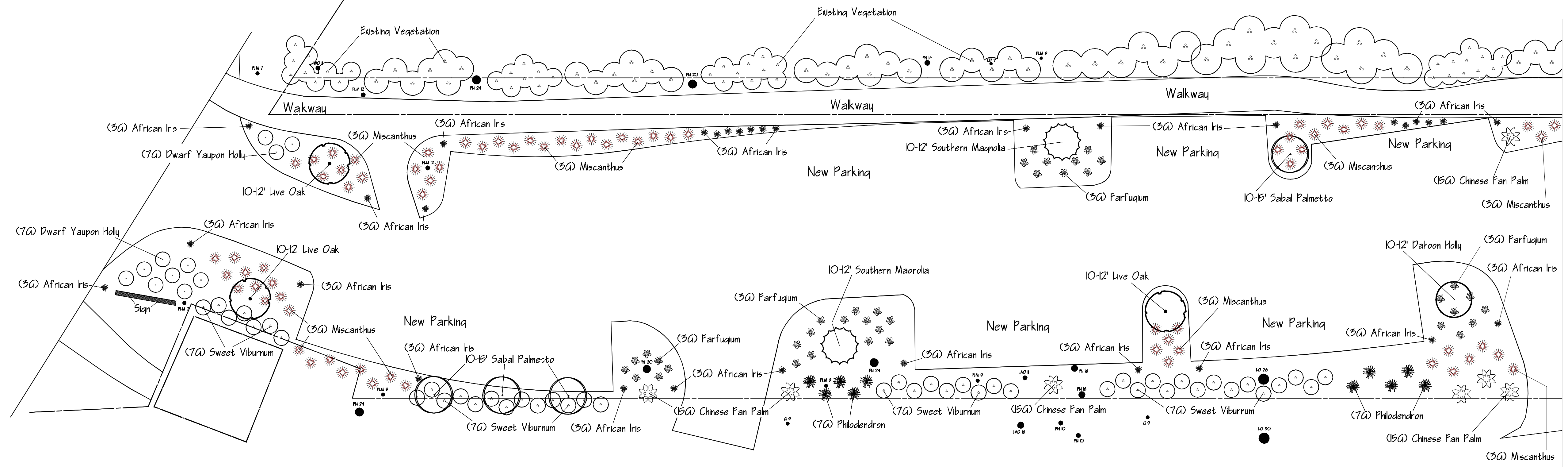
Sunshine Ligustrum



Giant Farfugium



Goldmound Lantana



Previous Tree Removals
 10" DBH Pines = 11 Trees
 56" DBH Palms = 7 Palms
 14" DBH Hickory = 2 Trees

Plant Schedule

Qty	Size	Common Name	Latin Name
10	15G	Chinese Fan Palm	Livistona chinensis
81	7G	Sweet Viburnum	Viburnum odoratissimum
1	7G	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'
7	7G	Ever Red Loropetalum	Loropetalum chinensis 'Ever Red'
6	7G	Sago Palm	Cycas revoluta
24	7G	Philodendron	Philodendron sellowii
8	7G	Silver Saw Palm	Serenoa repens 'Silver'

Qty	Size	Common Name	Latin Name
40	7G	Podocarpus	Podocarpus macrophyllus
55	3G	African Iris	Diets vegeta
102	3G	Adagio Miscanthus	Miscanthus adagio
16	3G	Sunshine Ligustrum	Ligustrum sinensis 'Sunshine'
75	3G	Giant Leaf Farfuquum	Farfuquum qigantea
21	1G	Goldmound Lantana	Lantana camara 'Goldmound'

Mitigation Trees

Qty	Size	Common Name	Latin Name
5	10-12 (2" cal)	Southern Magnolia	Magnolia grandiflora
8	12-15 (3" cal)	Cabbage Palm	Sabal Palmetto
7	10-12 (2" cal)	Live Oak	Quercus virginiana
3	8-10 (2" cal)	Dahoon Holly Standard	Ilex cassine

The Greenery Inc
 PO Box 6569
 Hilton Head Island SC

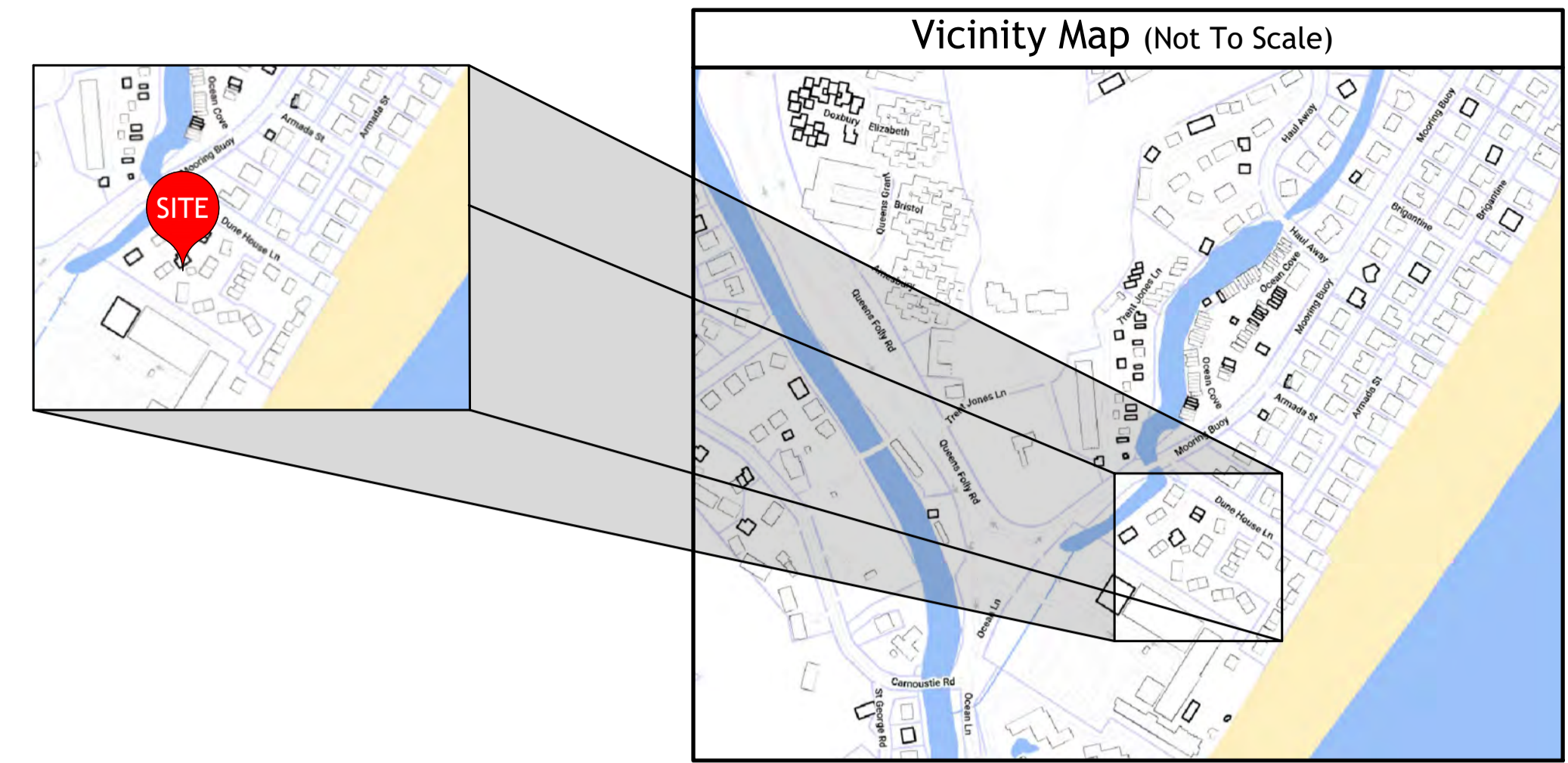


Dunes House Redevelopment Palmetto Dunes POA
 Landscape Plan Following Construction September 2023

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Site Development Plans for Dunes House Redevelopment

Hilton Head Island, South Carolina
Tax Map #: R520 012 000 0334 0000
Dunes House Lane
GIS coord: 32° 10' 05" N 80° 42' 55" W



Schedule of Drawings

Sheet No.	Description
C001	Cover Sheet
C002	Construction Notes
C101	Existing Conditions Plans
C201	Initial Erosion Control Plans and Details
C301	Clearing & Demolition Plans and Details
C401	Site Layout Plans
C501	Grading Plans and Details
C601	Drainage Plans and Details
C701	Intermediate Erosion Control Plans and Details
C801	Paving Plans and Details
C901	Sight Distance Plans
C1001	ADA Accessible Route Plans

Release Schedule

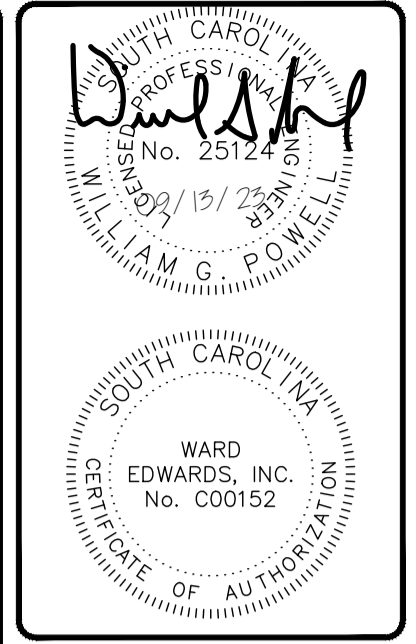
Release No.	Description	Date
A.	Released for Permitting	03-02-23
B.	Released for Client Review	05-15-23
C.	Released for Permitting	06-15-23
D.	Released to PDPOA	07-10-23
E.	Released for Review	08-01-23
F.	Released for Client	08-07-23
G.	Released for Permitting	09-12-23
H.	Released for Permitting	09-13-23

Design Team

Landscape Architect:
J.K Tiller Associates, INC
843.815.4800

Land Surveyor:
NANDINA
843.681.3248

Developer:
Palmetto Dunes Property Owners Association
16 Queen's Folly Rd, Hilton Head Island, SC
843-785-1109
jstarr@pdpoa.org



No.	Description	Date
7		
6		
5		
4		
3		
2		
1		



Dunes House Redevelopment
Town of Hilton Head Island, South Carolina
Prepared for
Palmetto Dunes Property Owners' Association
Cover Sheet

Vert. Datum: NAVD88
Horiz. Datum: SC83IF
Surveyed by: JRK
Surveyor's PLS: 29901

Project #: 220146
Date: 09/13/2023
Designed by: EBU
Checked by: WGP

Not to Scale

C001



Permitting Review Set - NOT FOR CONSTRUCTION

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General Notes:

- 1. Boundary information provided by As-Built, Tree and Topographic survey, dated 05/19/2022, by NANDINA.
2. Topographic data provided by NANDINA, dated 05/19/2022.
3. Approximate location of certain underground utility lines and structures are shown on the plans for information only additional underground lines or structures may exist that are not shown.
4. Comply with South Carolina underground facility damage prevention act (effective June 7, 2012), notification of intent to excavate may be given by calling the toll free number: 1-800-922-0983.
5. Protect bench marks and property monuments from damage during construction operations.
6. Off-street parking for the contractor's employees and authorized visitors to the site must be provided and maintained throughout construction.
7. The contractor is responsible for adhering to weight limits prescribed for all public roads when hauling equipment and materials to and from the project site.
8. At least one driving lane on public roads shall remain open to traffic at all times.
9. Contractor shall coordinate demobilization, clearing and construction of improvements to minimize interference with vehicular and pedestrian traffic and with operations of existing facilities.
Water and Sewer Line Construction:
1. All water and sewer line construction shall conform to applicable state and Broad Creek Public Service District (BCPSD) requirements, standards and specifications.
2. BCPSD will be responsible for inspection and approval of all water and sewer system construction and for acceptance for operation and maintenance.
3. All utilities shown are approximate locations.
4. Notify the project engineer, if conflicts with existing structures require that proposed utilities be relocated.
5. The contractor must notify BCPSD forty-eight (48) hours prior to any construction, inspection or testing of the water distribution system.
6. Pipe, fittings, valves and appurtenances for water and sewer lines shall all be in accordance with the requirements contained in the BCPSD technical specifications.
7. Installation of water and sewer lines and appurtenances shall be in accordance with the BCPSD standard construction details and specifications.
8. Contractor shall install mechanical restraints on all bends, plugs and tees, 2" or larger, on waterlines and sanitary sewer force mains.
9. All water mains shall be sterilized and pressure tested in accordance with BCPSD specifications.
10. Separation of water mains and sewers:
A. Parallel installation: unless otherwise specifically shown in a special detail on the plans, install water mains at least 10-ft, horizontally from any existing or proposed sanitary sewer or sanitary sewer force main, the distance being measured in a horizontal plane between the outside surfaces of the pipes.
B. Crossings: unless otherwise specifically shown in a special detail on the plans, install water lines crossing sanitary sewers or sanitary sewer force mains to provide a minimum vertical separation of 18-inches between the outside surfaces of the pipes.
11. The contractor shall cut and patch existing pavement as required for the installation of utility lines.
12. Sanitary manhole rim grades shown are approximate.
13. The contractor under this contract shall not make any connections to the existing water or sanitary sewer systems unless expressly authorized to do so by the BCPSD.
14. All water mains shall be installed with thirty-six inches (36") minimum cover (from finished grade).
Work on South Carolina Department of Transportation Right-of-Way:
1. Contractor shall review and comply with all conditions and special provisions contained in the SCDOT encroachment permit(s) issued for this project.
2. Contractor to refer to the most current edition of the SCDOT standard drawings.
3. Contractor is responsible for submitting construction notification form (48 hour minimum) and coordination of all work within SCDOT rights-of-way with the local and/or district SCDOT engineering representative.
4. Contractor is responsible for preparing and submitting a traffic control plan to SCDOT for approval minimum 48 hours prior to conducting work in the right-of-way.
5. All signage, pavement markings, and markers shall conform to current MUTCD guidelines and current SCDOT standard specifications and drawings.
6. All paving and drainage construction shall conform to current SCDOT standard specifications and drawings.
7. All pavement markings in SCDOT right-of-way shall be thermoplastic and conform to current MUTCD guidelines and current SCDOT standard specifications and drawings.
8. Removal of pavement markings shall conform to current SCDOT standard specifications for highway construction section 609.4-1.2.

Tree Protection-Hilton Head Island

- 1. Only those trees approved for removal in accordance with the town of Hilton Head Island land management ordinance and so designated on the drawings for removal are to be removed as part of the site clearing operations.
2. The contractor is responsible for marking the trees designated to be preserved and those to be removed in accordance with the requirements contained in section 16-6-104 of the town of Hilton Head Island land management ordinance.
3. Prior to commencing any clearing or construction operations on the site, the contractor shall erect tree protection barriers around each tree or group of trees designated for preservation in accordance with the details on the plans and the requirements contained in section 16-6-404 of the town of Hilton Head Island land management ordinance.
4. A tree protection zone shall be established in accordance with the provisions contained in section 16-6-404 of the town of Hilton Head Island land management ordinance for each existing tree designated for preservation.
5. The area within the tree protection zone must remain open and ungraded.
6. Where utility lines must pass thru the tree protection zone, they shall be installed by horizontal boring beneath the roots of the tree.
7. Where it is necessary for machinery and equipment to pass within the tree protection zone, approval must be obtained from the town of Hilton Head Island planning department director.
8. The contractor is responsible for coordinating a staking inspection with the town of Hilton Head Island prior to clearing.
A. All building edges, sidewalks, paved areas and utility lines staked.
B. Tree protection barriers installed.
C. Trees to be preserved marked with blue flagging and those to be removed marked with red flagging.
D. All silt fence installed per the approved plan.

Site Grading and Drainage:

- 1. All utilities shown are approximate locations.
2. Temporary control of storm water drainage shall be the responsibility of the contractor.
3. Full width of street and road rights-of-way must be cleaned and graded as shown in the details on the drawings.
4. Subgrade preparation: top soil shall be removed from paved areas to a minimum depth as recommended in the project's geotechnical report.
5. All utility pipe lines, conduits and sleeves under paved areas must be in place prior to completion of the roadway subgrade and construction.
6. Finish grading shall include the placement of topsoil over all unpaved areas not occupied by buildings or structures and fine grading around buildings, adjacent to walks, curbs, gutters and structures to assure positive drainage.
SCDHEC/OCRM Sediment and Erosion Control Standard Notes (Revised Dec-2012):
1. If necessary, slopes, which exceed eight (8) vertical feet should be stabilized with synthetic or vegetative mats, in addition to hydroseeding.
2. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than fourteen (14) days after work has ceased.
3. All sediment and erosion control devices shall be inspected every calendar week.
4. Provide silt fence and/or other control devices, as may be required, to control soil erosion during utility construction.
5. All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities.
6. The contractor must take necessary action to minimize the tracking of mud onto paved roadway(s) from construction areas.
7. Residential subdivisions require erosion control features for infrastructure as well as for individual lot construction.
8. Temporary diversion berms and/or ditches will be provided as needed during construction to protect work areas from upslope runoff.
9. All waters of the state (WOS), including wetlands, are to be flagged or otherwise clearly marked in the field.
10. Litter, construction debris, oils, fuels, and building products with significant potential for impact.
11. A copy of the SWPPP, inspections records, and rainfall data must be retained at the construction site.
12. Initiate stabilization measures on any exposed steep slope (3:1 or greater) where land-disturbing activities have permanently or temporarily ceased.
13. Minimize soil compaction and, unless infeasible, preserve topsoil.
14. Minimize the discharge of pollutants from equipment and vehicle washing.
15. Minimize the discharge of pollutants from dewatering of trenches and excavated areas.
16. The following discharges from sites are prohibited:
A. Wastewater from washout of concrete, unless managed by an appropriate control.
B. Wastewater from washout and cleanout of stucco, paint, form release oils, curing compounds and other construction materials.
C. Fuels, oils, or other pollutants used in vehicle and equipment operation and maintenance.
D. Soaps or solvents used in vehicle and equipment washing.
17. After construction activities begin, inspections must be conducted at a minimum of at least once every calendar week.
18. If existing bmps need to be modified or if additional BMPs are necessary to comply with the requirements of this permit and/or sc's water quality standards, implementation must be completed before the next storm event whenever practicable.
19. A pre-construction conference must be held for each construction site with an approved on-site SWPPP Prior to the implementation of construction activities.

Dry Utility Conduits for Electric, Telephone and Cable TV:

- 1. All dry utility conduit ends shall be capped and marked with a steel rebar stake imbedded one (1) foot below ground surface.
2. 48" Minimum bury depth for all electrical conduits.
3. Maintain minimum 12" vertical clearance when crossing water, sewer, and storm drain lines.
4. Maintain minimum 18" horizontal clearance when paralleling water, sewer and storm drain lines.
5. Extend conduit beyond pavement, curb, and sidewalks.
6. The contractor shall be responsible for coordination of the installation of all utility service connections.
7. Locations shown on the plans for proposed dry utility conduits are approximate only.
8. Transformer pads shall be located as directed by the respective utility representative.
9. Notify the engineer if conflicts with existing or proposed structures require proposed utilities be relocated.

Site Clearing and Demolition:

- 1. No clearing shall occur within designated buffer zones, tree protection zones, outside of the property lines or beyond the clearing limits unless otherwise specifically shown on the plans.
2. Only those trees designated on the drawings for removal are to be removed as part of the site clearing operations.
3. The contractor shall install a continuous line of flagging or fencing along the limits of clearing prior to commencing any clearing, demolition, or construction work on the project.
4. Exercise caution during clearing operations to avoid felling trees into designated tree protection zones.
5. No burning will be allowed within 50 feet of a tree protection zone or tree drip line.
6. Selective clearing areas shall be cleared of all brush and understorey growth.

Sequence of Construction Activities

Estimated Start Date: 09-01-2023 Estimated Completion Date: 04-01-2024

Items must occur in the order listed; items cannot occur concurrently unless specifically noted.

- Phase 1: (Initial)
1. Receive npdes coverage from dhcc.
2. Hold pre-construction meeting.
3. Notify dhcc, scc regional office or ocrm office 48 hours prior to beginning land-disturbing activities.
4. Installation of construction entrance.
5. Clearing & grubbing only as necessary for installation of perimeter controls.
6. Installation of perimeter controls (e.g. silt fence).
7. Install tree protection.
8. Install inlet protection.
9. Install sediment tubes.
10. Clearing & grubbing only in areas of basin.
Phases 2 & 3: (Intermediate & Final)
11. Installation of basin and installation of diversions to those structures (outlet structures must be completely installed as shown on the details before proceeding to next step; areas draining to these structures cannot be disturbed until the structures & diversions to these structures are completely installed).
12. Clearing & grubbing of site or demolition (sediment & erosion control measures for these areas must already be installed).
13. Rough grading.
14. Installation of storm drain system and placement of inlet protection as each inlet is installed.
15. Install all required utilities and curbing.
16. FINE GRADING, PAVING, ETC.
17. Place topsoil & establish finish grades.
18. Permeable pavers shall be laid when all heavy construction is completed.
19. Clean-out of detention basins that were used as sediment control structures and re-grading of detention pond bottoms; if necessary, modification of sediment basin riser to convert to detention basin outlet structure.
20. Install permanent seeding.
21. Flush any sediment from storm sewer pipes and inlets.
22. Removal of temporary sediment & erosion control measures (including skimmer) after entire area draining to the structure is finally stabilized (the department recommends that the project owner / operator have the swppp preparer or registration equivalent approve the removal of temporary structures).
23. Perform as-built surveys of all detention structures and submit to dhcc or ms4 for acceptance.
24. Submit notice of termination (not) to dhcc as appropriate.
NOTE: Perform weekly site inspections during land disturbing activities and make recommendations for additional BMPs or maintenance of existing BMPs.
NOTE: All pumped dewatering shall be performed using an appropriately sized pumped water filter bag.

Project information

Source of Title: Beaufort County register of deeds, deed book 126 page 136
Property Owner: Palmetto Dunes Resort
Parking Summary: Existing parking: 39 spaces
Flood Zone: AE (base flood elev:9.00')
Property Zoning: ZONING DISTRICT: PD-1
Site Area: Total: 1.3 acres (53,643 sq. ft.)
Surface Coverage: Min open space required: 16 %
Utility Contacts: Palmetto Electric, Dominion Energy, BJWSA, Hargray Communications, Century Link, Santee Cooper

Paving Hatch Legend, Clearing / Demolition Legend, Storm Sewer/Drainage Legend, Sanitary Sewer Legend, Water System Legend, Grading Legend
Includes various hatch patterns and symbols for concrete paving, aggregate, asphalt, demolition, storm sewer, sanitary sewer, water meter, and grading.

Limits of Disturbance, Erosion Prevention, Runoff Conveyance Measures, Sediment Control
Includes symbols for NPDES, erosion prevention (LG, OR, M), runoff conveyance (RIPRAP, ECB, PC, PD, DD, SS), and sediment control (Sediment Basin, Trap, Dike, Dam, Tube, Fence).

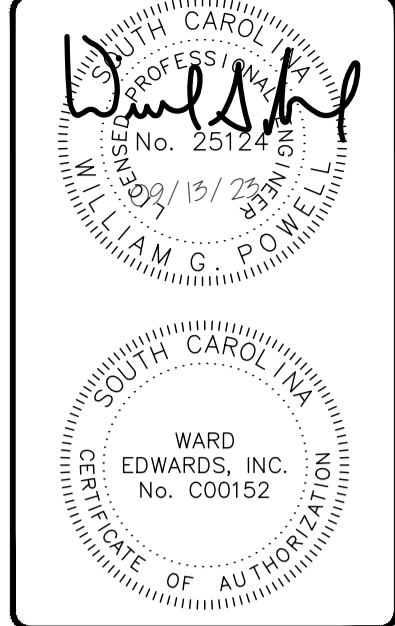


Table with 3 columns: No., Description, Date. Contains revision information.

Ward Edwards Engineering logo and contact information: 119C Palmetto Way, P.O. Box 381, Bluffton, South Carolina 29910. Phone: (843) 837-5250.

Dunes House Redevelopment, Palmetto Dunes Property Owners' Association Construction Notes. Prepared for: Town of Hilton Head Island, South Carolina.

Vert. Datum: NAVD88
Horiz. Datum: SC83IF
Surveyed by: JRK
Surveyor's PLS: 29901
Project #: 220146
Date: 09/13/2023
Designed by: EBU
Checked by: WGP

Not to Scale

C002

Permitting Review Set - NOT FOR CONSTRUCTION

Permits table with columns: Permit, Permit #, Issued, Expires. Lists permits for BJWSA, Fire Marshal, SCDHEC/MS4 Stormwater, SCDHEC Water, SCDHEC Wastewater, SCDOT Encroachment Utility, SCDOT Encroachment Driveway, Municipality Development, USACE Determination, and USACE Permit.

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CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	92.86	865.00	92.82	N70°08'28"E	67°09'04"

LINE TABLE		
LINE	LENGTH	BEARING
L1	8.78	N 52°3'06" E
L2	45.00	N 37°06'54" W
L3	27.50	S 52°3'06" W
L4	29.18	N 61°00'16" W

LOT CORNERS		OCRM BASELINE		OCRM SETBACK LINE		TRANSITION LINE	
1	N 121886.19 E 2088204.47	4	N 122020.87 E 2088200.06	9	N 122387.16 E 2088155.40	11	N 121942.36 E 2088130.93
2	N 121827.64 E 2088166.08	5	N 121936.71 E 2088145.06	10	N 121283.45 E 2087477.15	12	N 121194.75 E 2087658.62
15	N 122262.35 E 2087466.65	6	N 121908.37 E 2088129.18				
16	N 122293.88 E 2087553.95	7	N 121901.71 E 2088123.43				
		8	N 121824.21 E 2088076.88				

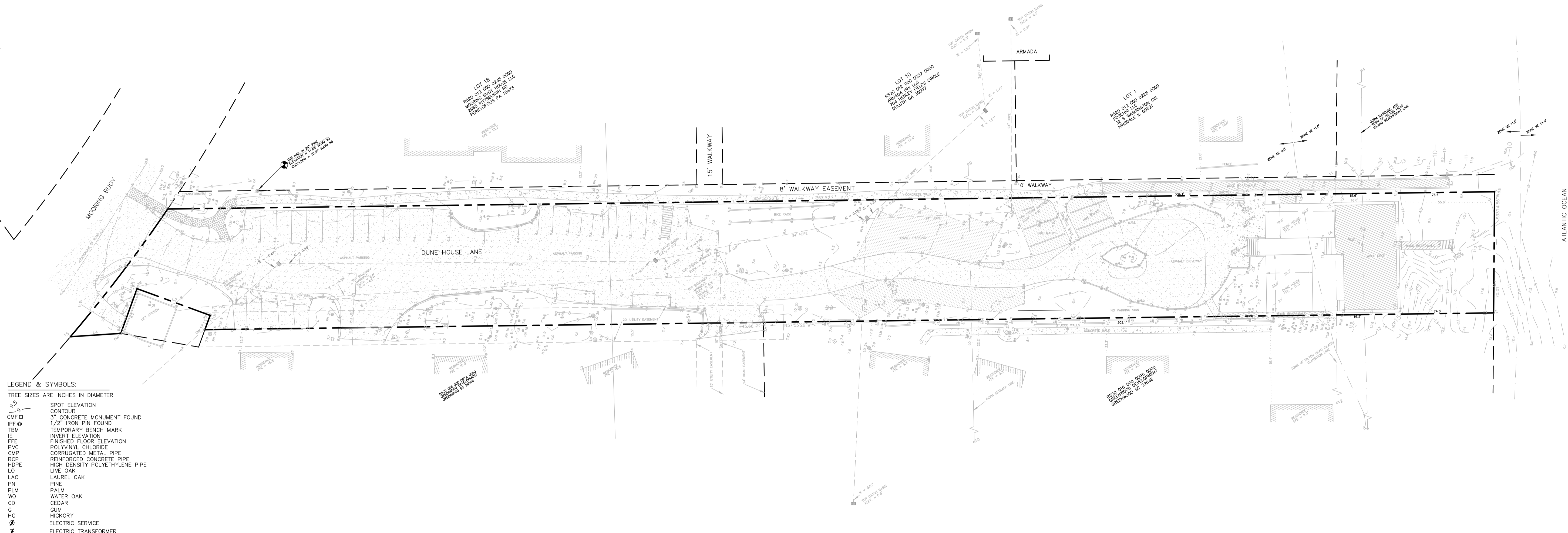
BUILDING CORNERS	
13	N 121931.05 E 2088122.91
14	N 121914.14 E 2088112.41

SCCC MONUMENTS	
1456	N 121125.77 E 2087660.47
1457A	N 122327.73 E 20588241.17

**BEACHFRONT MANAGEMENT ACT
DISCLOSURE STATEMENT**

THE SETBACK LINE IS 302.1 LANDWARD FEET TO 304.1 LANDWARD FEET, FROM THE SEAWARD PROPERTY LINE. THE BASE LINE IS 74.8 LANDWARD FEET TO 76.8 LANDWARD FEET FROM THE SEAWARD PROPERTY LINE. THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 10 SEAWARD FEET IN RELATION TO THE PROPERTY. THE SEAWARD CORNERS OF THE HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY ARE LOCATED 16.5 LANDWARD TO 16.6 LANDWARD FEET FROM THE LINE, WHICH CORNERS ARE LOCATED N 121931.05, E 2088122.91 AND N 121914.14 E 2088112.41 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF -5.45 TO -5.94 FEET PER YEAR, ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT. OCRM REFERENCE POINT 1456 ANNUAL EROSION RATE OF -5.45 AND POINT 1457A ANNUAL EROSION RATE OF -5.95 WERE USED TO ESTABLISH THE OCRM LINES.

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - VERTICAL DATUM IS NAVD 88.
 - CONTOUR INTERVAL IS 1'
 - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
 - THIS PROPERTY IS AFFECTED BY THE CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA (CSPDAA) ADOPTED BY THE TOWN COUNCIL ON 9/01/2009. THE (CSPDAA) EXTENDS FROM THE SEAWARD PROPERTY TO THE TOWN OF HILTON HEAD ISLAND BEACHFRONT LINE.



- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONTOUR
 - 3" CONCRETE MONUMENT FOUND
 - 1/2" IRON PIN FOUND
 - TEMPORARY BENCH MARK
 - INVERT ELEVATION
 - FINISHED FLOOR ELEVATION
 - POLYVINYL CHLORIDE
 - CORRUGATED METAL PIPE
 - REINFORCED CONCRETE PIPE
 - HIGH DENSITY POLYETHYLENE PIPE
 - LINE OAK
 - LAUREL OAK
 - PINE
 - WATER OAK
 - CEDAR
 - HICKORY
 - ELECTRIC SERVICE
 - ELECTRIC TRANSFORMER
 - TELEPHONE SERVICE
 - TELEVISION SERVICE
 - WATER METER
 - VALVE BOX
 - IRRIGATION CONTROL VALVE
 - SANITARY MANHOLE
 - FIRE HYDRANT
 - UTILITY POLE
 - SIGN
 - LIGHT POLE
 - FLOOD LIGHT
 - CATCH BASIN
 - LP TANK (UNDERGROUND)

REFERENCE PLAT

1) AN ASBLT SURVEY OF THE DUNE HOUSE TRACT, PALMETTO DUNES, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/07/08 RECORDED IN BOOK 126, PAGE 136, DATED 10/06/08 ROD. BEAUFORT COUNTY, SC BY: JAMES M. SIMS S.C.R.L.S. # 13169

PROPERTY AREA = 1.26 AC, 54,814 S.F.
ADDRESS: 14 DUNE HOUSE LANE
DISTRICT: 520, MAP: 12, PARCEL: 334

THIS PROPERTY LIES IN F.E.M.A. ZONE AE & VE
BASE FLOOD ELEVATION = 9.0' & 11.0'
COMMUNITY NO. 450250, PANEL 0462G, DATED: 3/23/2021

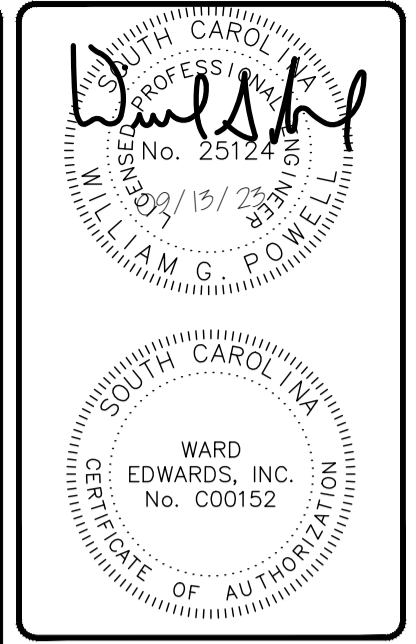
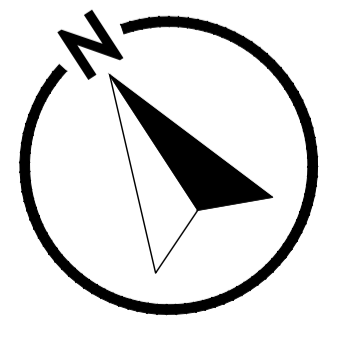
ASBLT, TREE AND TOPOGRAPHIC SURVEY OF:
THE DUNE HOUSE, PALMETTO DUNES RESORT,
HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:
PALMETTO DUNES PROPERTY OWNERS ASSOCIATION

REVISED: 5/19/2022
REVISED: 9/13/19
REVISED: 9/10/19
DATE: 8/23/19



d.b.a. Sea Island Land Survey, Inc.
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
Tel: (843) 681-3248
Fax: (843) 689-3871
E-mail: sils@sprynet.com
FILE No.: 12164.7 DWG No.: 3-2617



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119C Palmetto Way, P.O. Box 381, Bluffton, South Carolina 29910
(843) 837-5250
www.WardEdwards.com

Dunes House Redevelopment
Town of Hilton Head Island, South Carolina

Prepared for
Palmetto Dunes Property Owners' Association

Existing Conditions Plan

Vert. Datum: NAVD88
Horiz. Datum: SC83IF
Surveyed by: JRK
Surveyor's PLS: 29901

Project #: 220146
Date: 09/13/2023
Designed by: EBU
Checked by: WGP

Scale: 1" = 30' Feet

C101

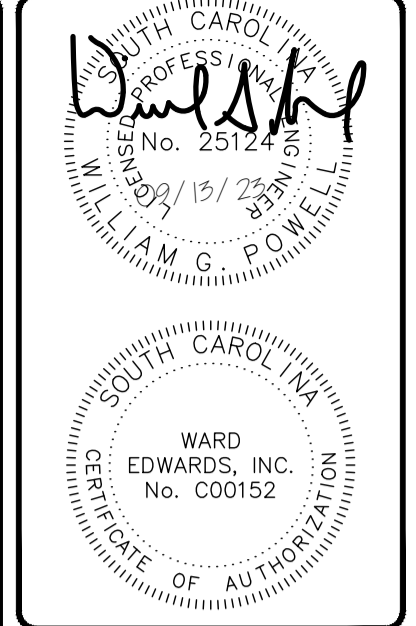
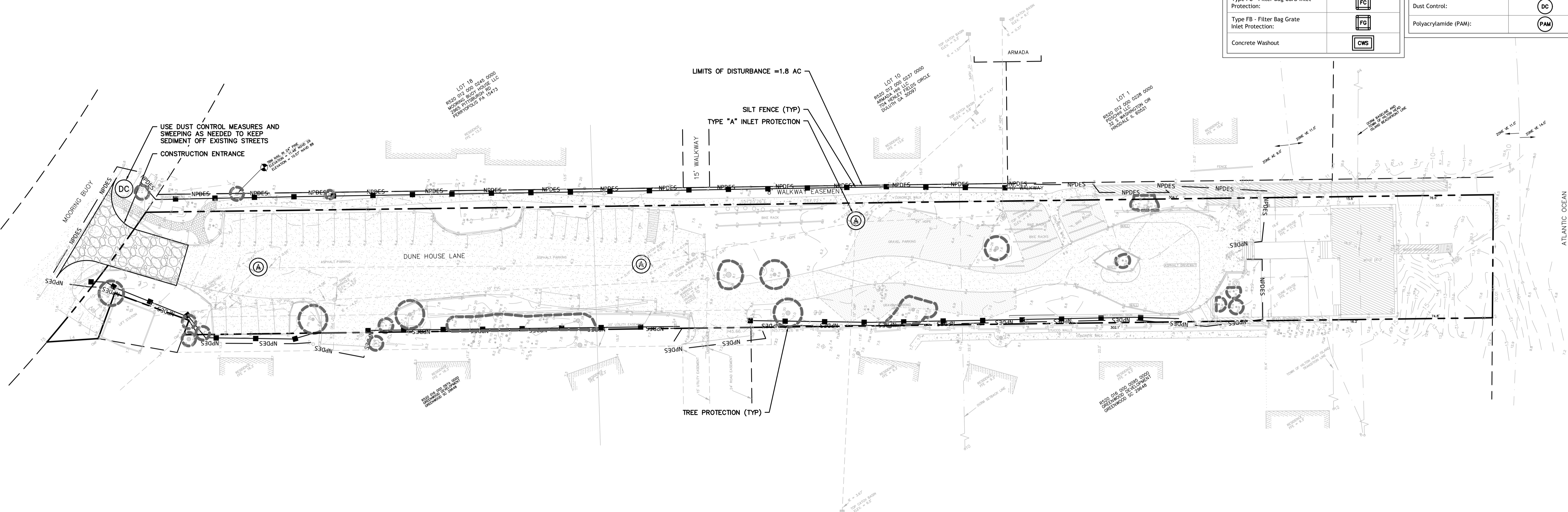
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Runoff Conveyance Measures	
Vegetated Channels:	
Riprap-Lined Channels:	
ECB OR TRM-Lined Channels:	
Paved Channels:	
Pipe Slope Drains:	
Temporary Stream Crossing:	
Temporary Diversion Ditch or Swale:	
Permanent Diversion Ditch:	
Diversion Dike or Berm:	
Level Spreader:	
Subsurface Drain:	

Sediment Control	
Sediment Basin:	
Temporary Sediment Trap:	
Rock Sediment Dike:	
Rock Check Dam:	
Sediment Tube:	
Silt Fence:	
Reinforced Silt Fence:	
Type A-Fabric Inlet Protection:	
Type A-Sediment Tube Inlet Protection:	
Type B - Wire Mesh and Stone Drop Inlet Protection:	
Type C - Block and Gravel Inlet Protection:	
Type D - Rigid Inlet Filters:	
Type E - Surface Course Curb Inlet Filter:	
Type F - Inlet Tube:	
Type FC - Filter Bag Curb Inlet Protection:	
Type FB - Filter Bag Grate Inlet Protection:	
Concrete Washout:	

Limits of Disturbance: — NPDES —	
Erosion Prevention	
Land Grading:	
Surface Roughening:	
Topsotting:	
Temporary Seeding:	
Mulching:	
ECB or TRM:	
FGM:	
BFM:	
Permanent Seeding:	
Sodding:	
Riprap:	
Outlet Protection:	
Dust Control:	
Polyacrylamide (PAM):	



No.	Description	Date
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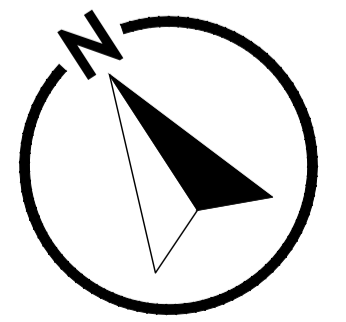
Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Initial Erosion Control Plan

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

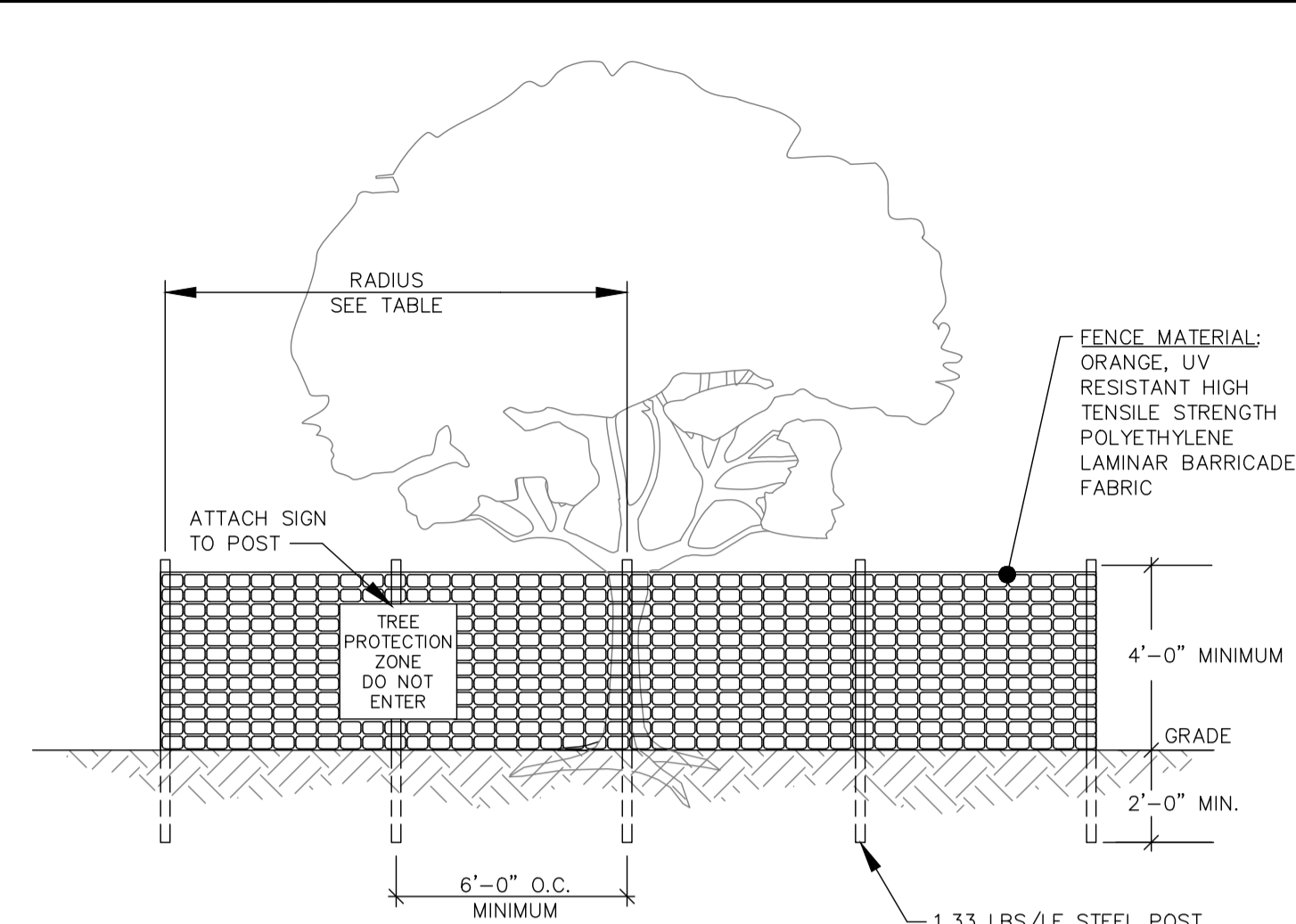
Scale: 1" = 30' Feet

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- NOTES:**
- ALL TREES DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING.
 - INSTALL TREE PROTECTION FENCE TO RADIIUS INDICATED IN TABLE UNLESS OTHERWISE INDICATED ON PLANS.
 - WARNING SIGNS TO BE MADE OF DURABLE WATERPROOF MATERIAL.
 - ALL WARNING SIGN LETTERS TO BE AT LEAST 3 INCHES HIGH, CLEARLY LEGIBLE AND SPACED A MINIMUM OF ONE EVERY 40 FT. FOR PROTECTION AREAS LESS THAN 40 FT IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER SIDE.
 - THE SIZE OF EACH WARNING SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. FENCING MUST REMAIN UPRIGHT AND SLACK FREE.

JURISDICTION	RADIUS OF CIRCULAR TPZ
BEAUFORT COUNTY BEAUFORT CO. DEV. CODE 5.11.100	1 FOOT PER INCH OF TRUNK DBH
TOWN OF BLUFFTON UDO 5.3.3	1.5 FEET PER INCH OF TRUNK DBH OR 10 FEET WHICHEVER IS GREATER
TOWN OF HILTON HEAD LMO 16-6-104, J-3A	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
CITY OF BEAUFORT BEAUFORT CODE 5.3.3	0.5 FOOT PER INCH OF TRUNK DBH
JASPER COUNTY ZONING ORD. ART. 13.5	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
TOWN OF PORT ROYAL PORT ROYAL CODE 5.7.70	1.5 FEET PER INCH OF TRUNK DBH OR 5 FEET WHICHEVER IS GREATER
CITY OF HARDEEVILLE MZ&DO 4.8, F-3	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED

DBH = TRUNK DIAMETER AT BREAST HEIGHT

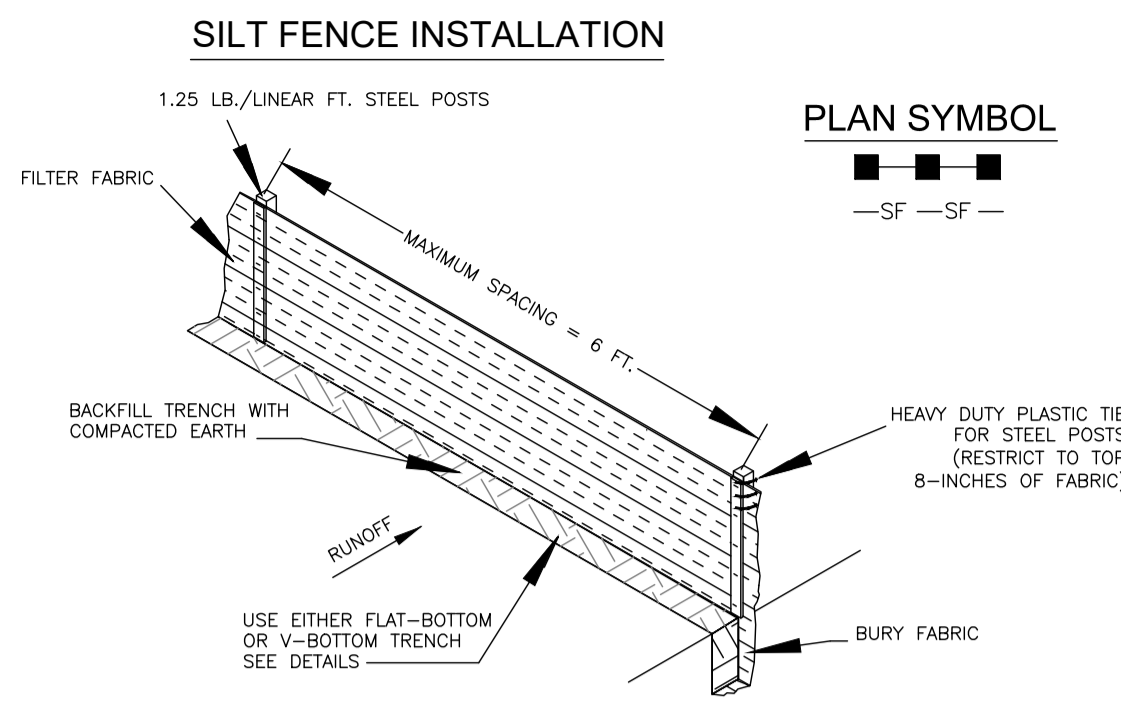
TREE PROTECTION FENCE

DETAIL #02915-008

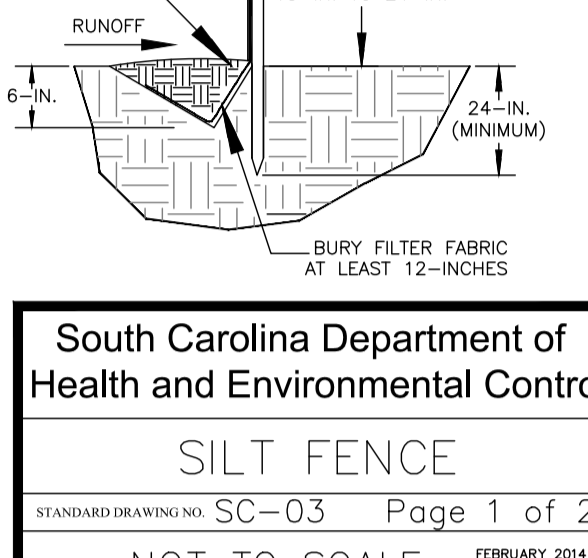
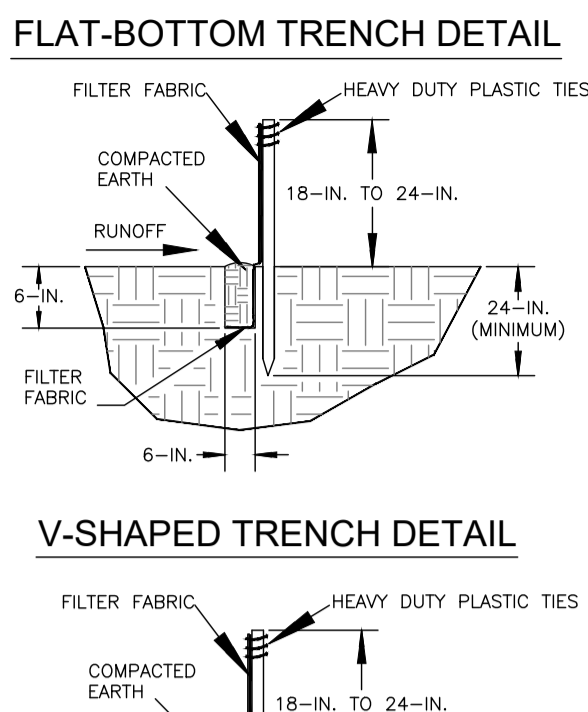
ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1*	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

- *USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE.
- MAINTENANCE:**
- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
 - SUPPLEMENT SURFACE COVERING AS NEEDED.
- INSTALLATION:**
- APPLY ACCORDING TO APPROVED PLAN.
 - MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL OR TERRATAK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
 - IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
 - COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
 - APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
 - APPL. SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS) AS DESCRIBED IN TABLE 1.

DC DUST CONTROL ON DISTURBED AREAS



- SILT FENCE — GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

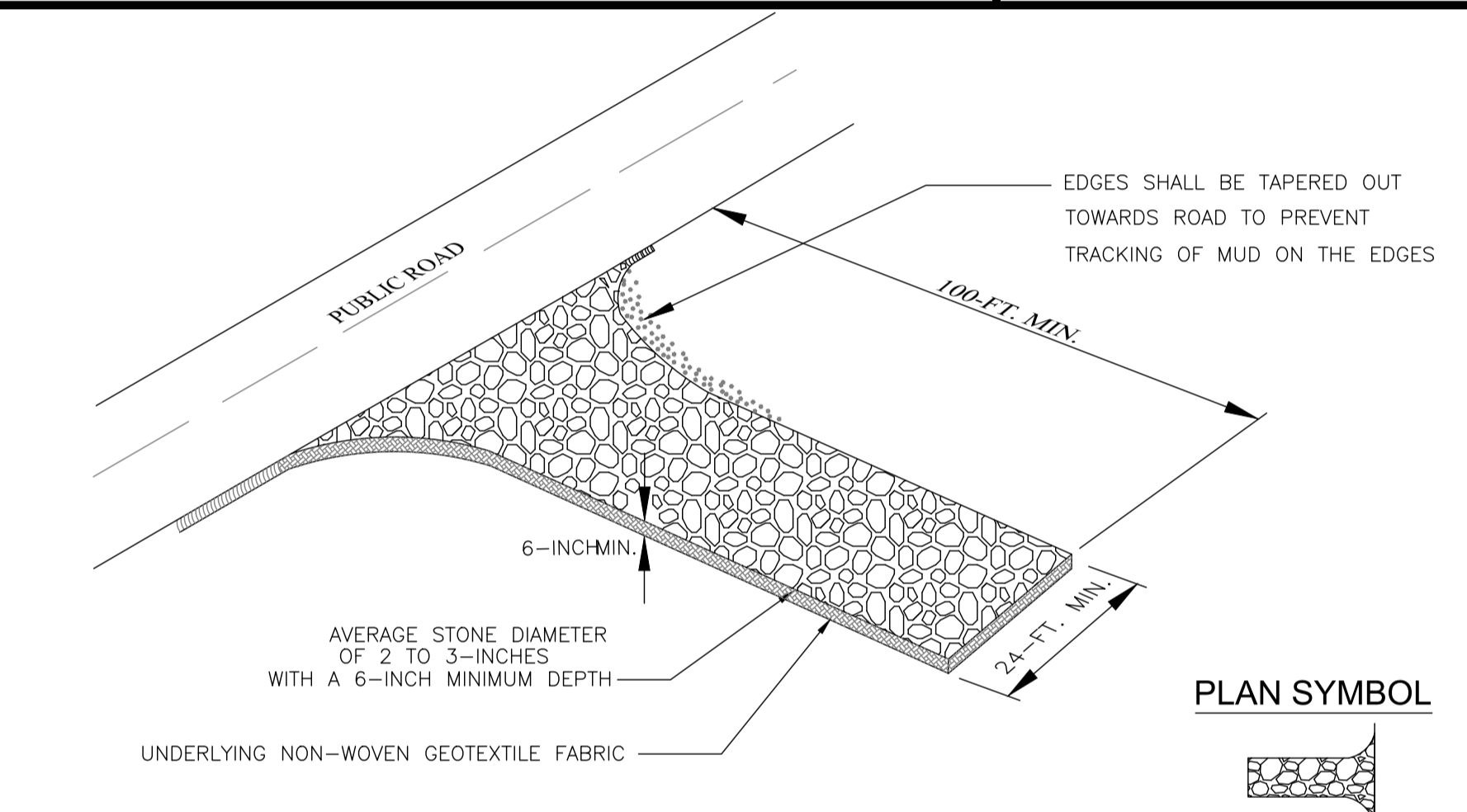


South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

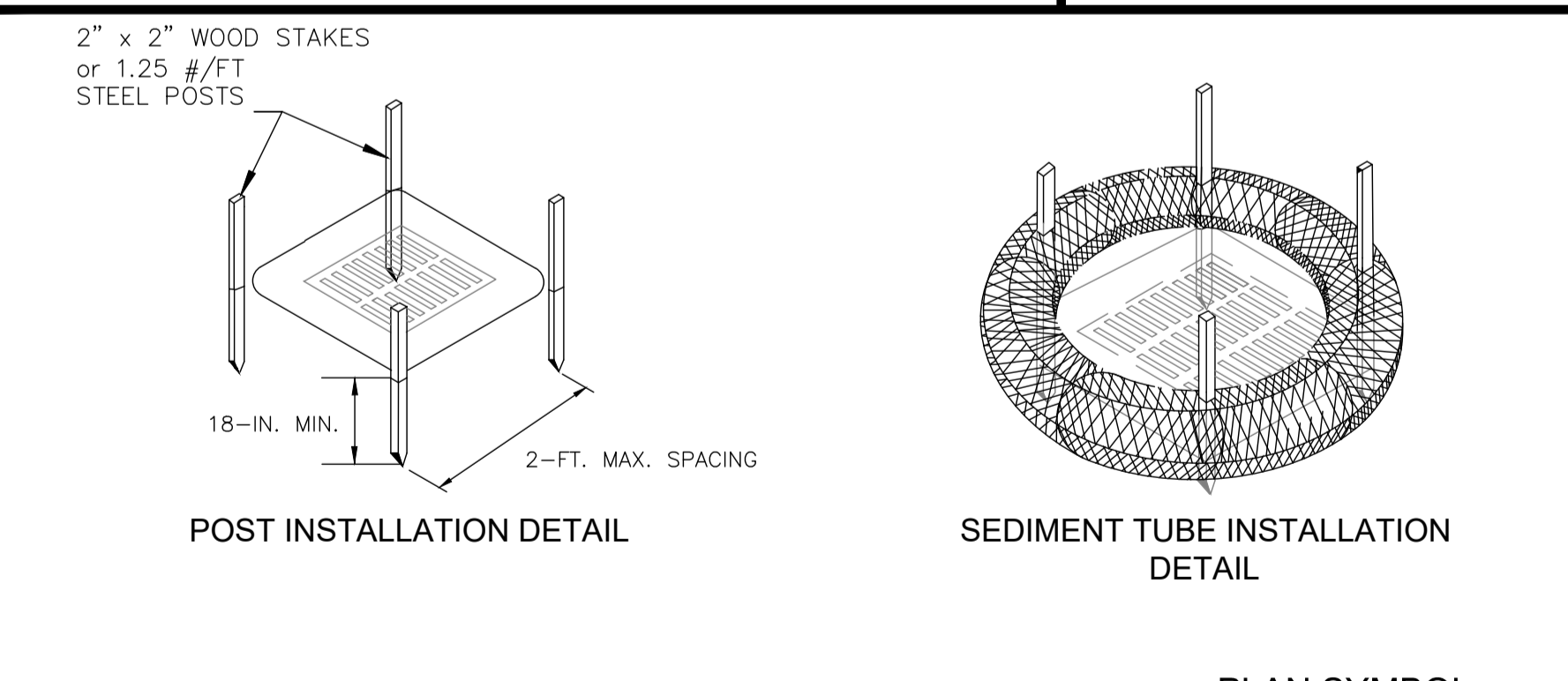


South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control

Type A

SEDIMENT TUBE INLET PROTECTION

STANDARD DRAWING NO. SC-07A PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

- SILT FENCE — POST REQUIREMENTS**
- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weigh 1.25 pounds per foot (± 8%).
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be closely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE — FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely affect its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter fabric shall be installed at a minimum of 24-inches above the ground.

- SILT FENCE — INSPECTION & MAINTENANCE**
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
 - Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
 - Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

- CONSTRUCTION ENTRANCE — GENERAL NOTES**
- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
 - Install a non-woven geotextile fabric prior to placing any stone.
 - Install a culvert pipe across the entrance when needed to provide positive drainage.
 - The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
 - Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
 - The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
 - Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
 - Limestone may not be used for the stone pad.

- CONSTR. ENTRANCE — INSPECTION & MAINTENANCE**
- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
 - Reshape the stone pad as necessary for drainage and runoff control.
 - Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
 - Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
 - During maintenance activities, any broken pavement should be repaired immediately.
 - Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 2 of 2

GENERAL NOTES FEBRUARY 2014 DATE

- TYPE A — SEDIMENT TUBE INLET PROTECTION**
- GENERAL NOTES**
- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
 - The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
 - Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
 - Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
 - Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "J" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
 - Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
 - The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
 - Sediment tubes should not be stacked on top of one another.
 - Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
 - Install stakes at a diagonal facing incoming runoff.

- INSPECTION & MAINTENANCE**
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Large debris, trash, and leaves should be removed from in front of tubes when found.
 - Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

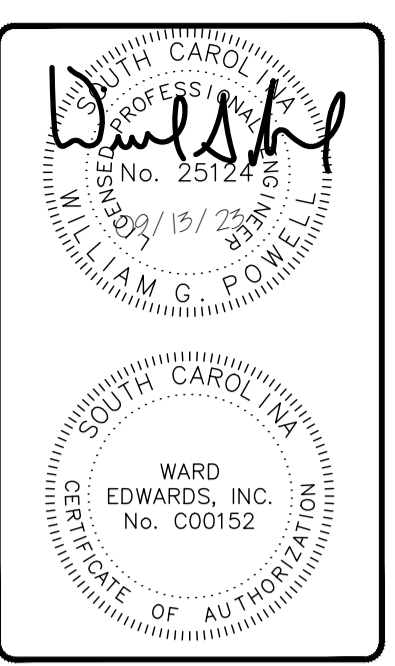
South Carolina Department of Health and Environmental Control

Type A

SEDIMENT TUBE INLET PROTECTION

STANDARD DRAWING NO. SC-07A PAGE 2 of 2

NOT TO SCALE FEBRUARY 2014 DATE



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 119C Palmetto Way
 P.O. Box 381, Bluffton, South Carolina 29910
 (843) 837-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina

Prepared for
Palmetto Dunes Property Owners' Association

Initial Erosion Control Details

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901

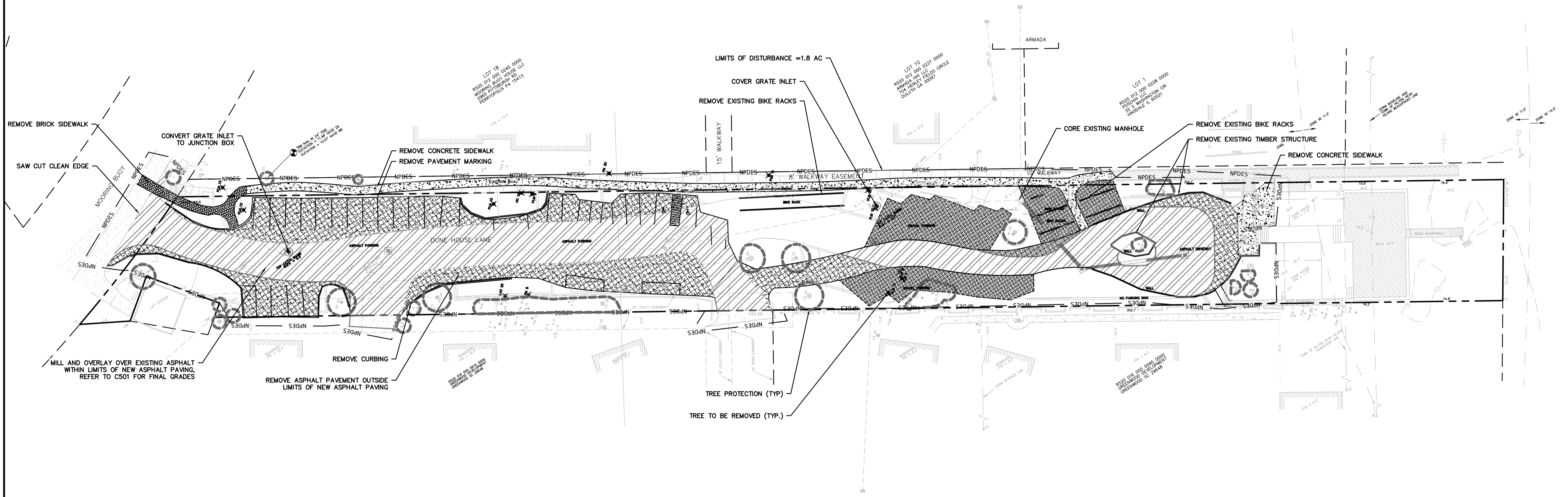
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Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Not to Scale

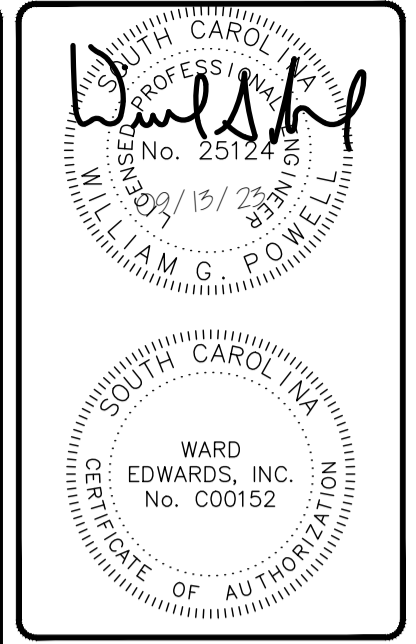
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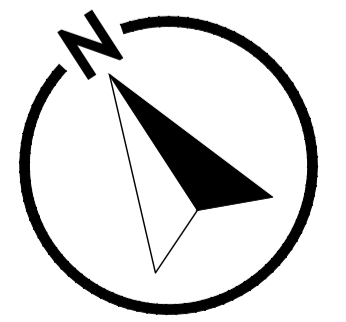
Demolition	
Milling	
Tree to be Removed	
Tree Protection	



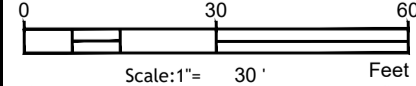
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 119C Palmetto Way
 P.O. Box 381, Bluffton, South Carolina 29910
 (843) 337-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Clearing & Demolition Plan



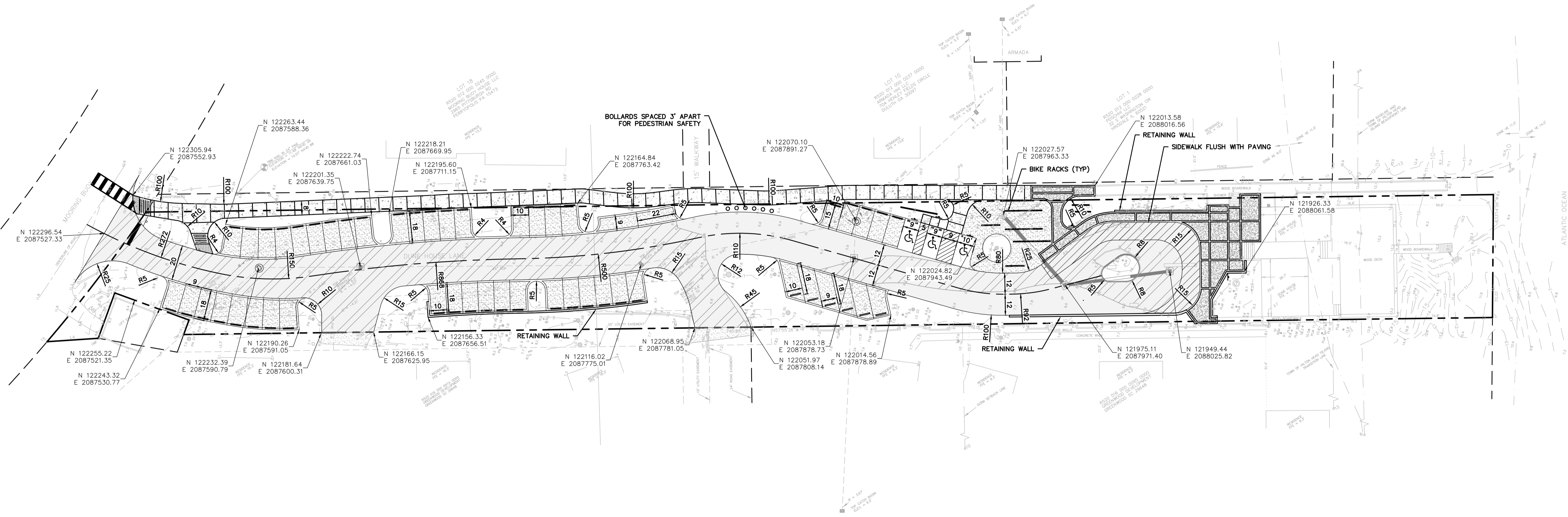
Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
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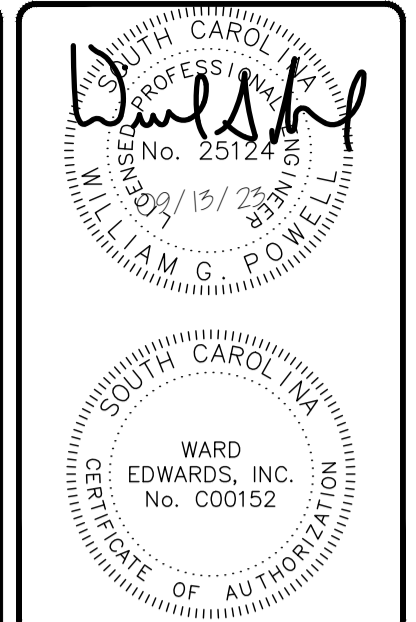
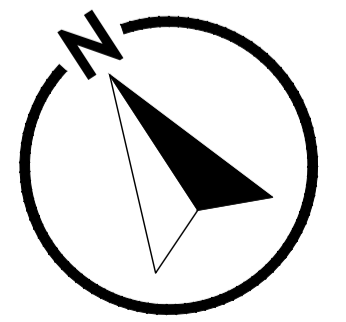
C301

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NOTE FOR CONTRACTOR: PARKING SPACES AT THE END OF PARKING BAYS SHALL BE 10' X 18'



No.	Description	Date
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South Carolina 29910
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www.WardEdwards.com

Dunes House Redevelopment
Town of Hilton Head Island, South Carolina
Prepared for
Palmetto Dunes Property Owners' Association
Site Layout Plan

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
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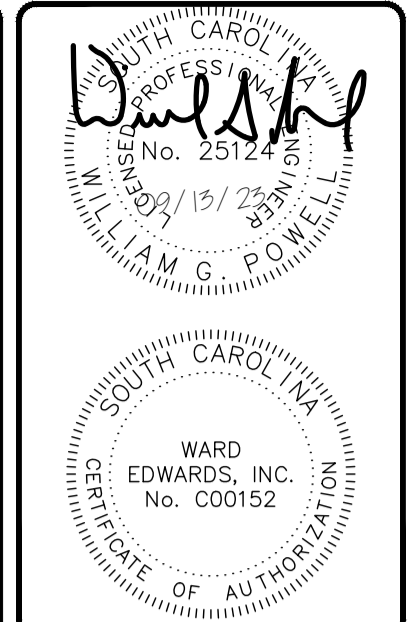
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C401

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NOTE: CONTRACTOR TO ENSURE TO ADA STANDARDS FOR LONGITUDINAL AND CROSS SLOPE OF SIDEWALKS AND ADA PARKING

Grading Legend	
	Proposed
Top of Pavement Elevation	⊗ TP: 22.50
Top of Walk Elevation	⊗ TW: 22.50
Top of Curb Elevation	⊗ TC: 22.50
Finish Grade	⊗ FG: 22.5
High Point	⊗ HP
Low Point	⊗ LP
Contour	① 19
Ditch Centerline	→→→→→
Direction of Flow	→



No.	Description	Date
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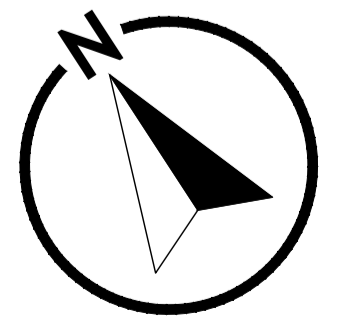
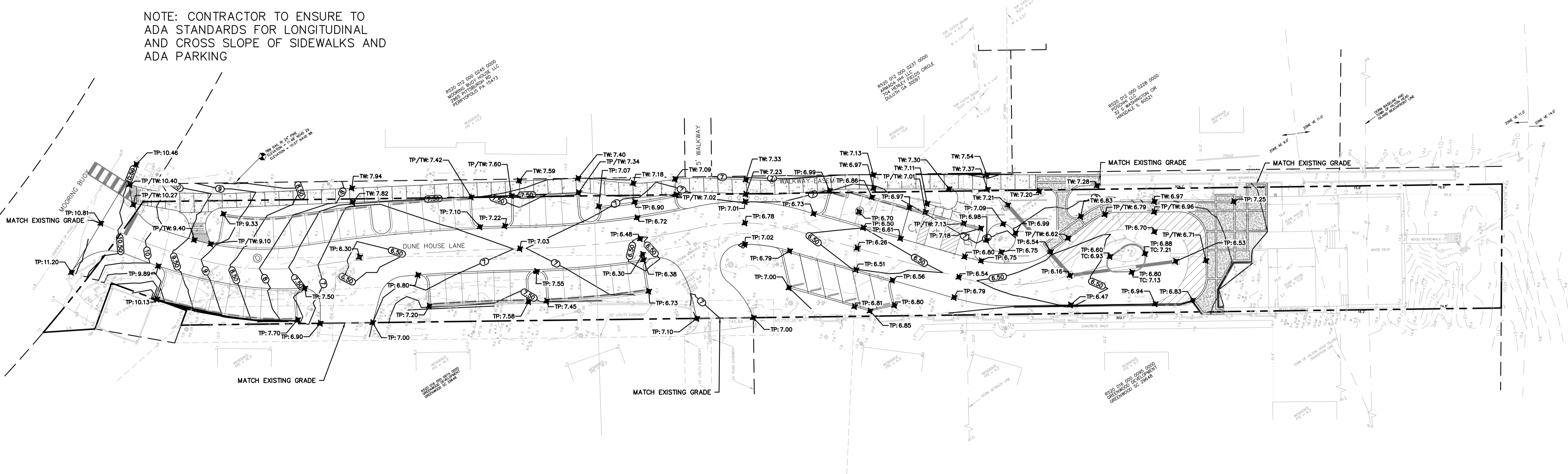
Ward Edwards ENGINEERING
 119C Palmetto Way
 P.O. Box 381, Bluffton, South Carolina 29910
 (843) 337-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Grading Plan

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Scale: 1" = 30' Feet

C501

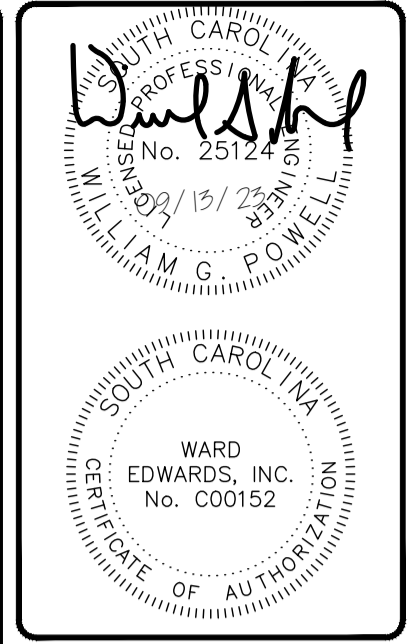


Permitting Review Set - NOT FOR CONSTRUCTION

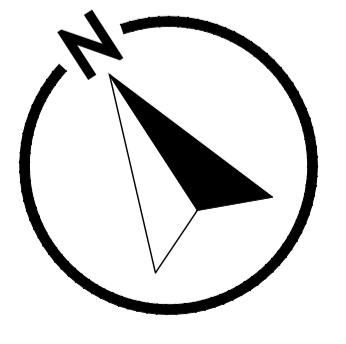
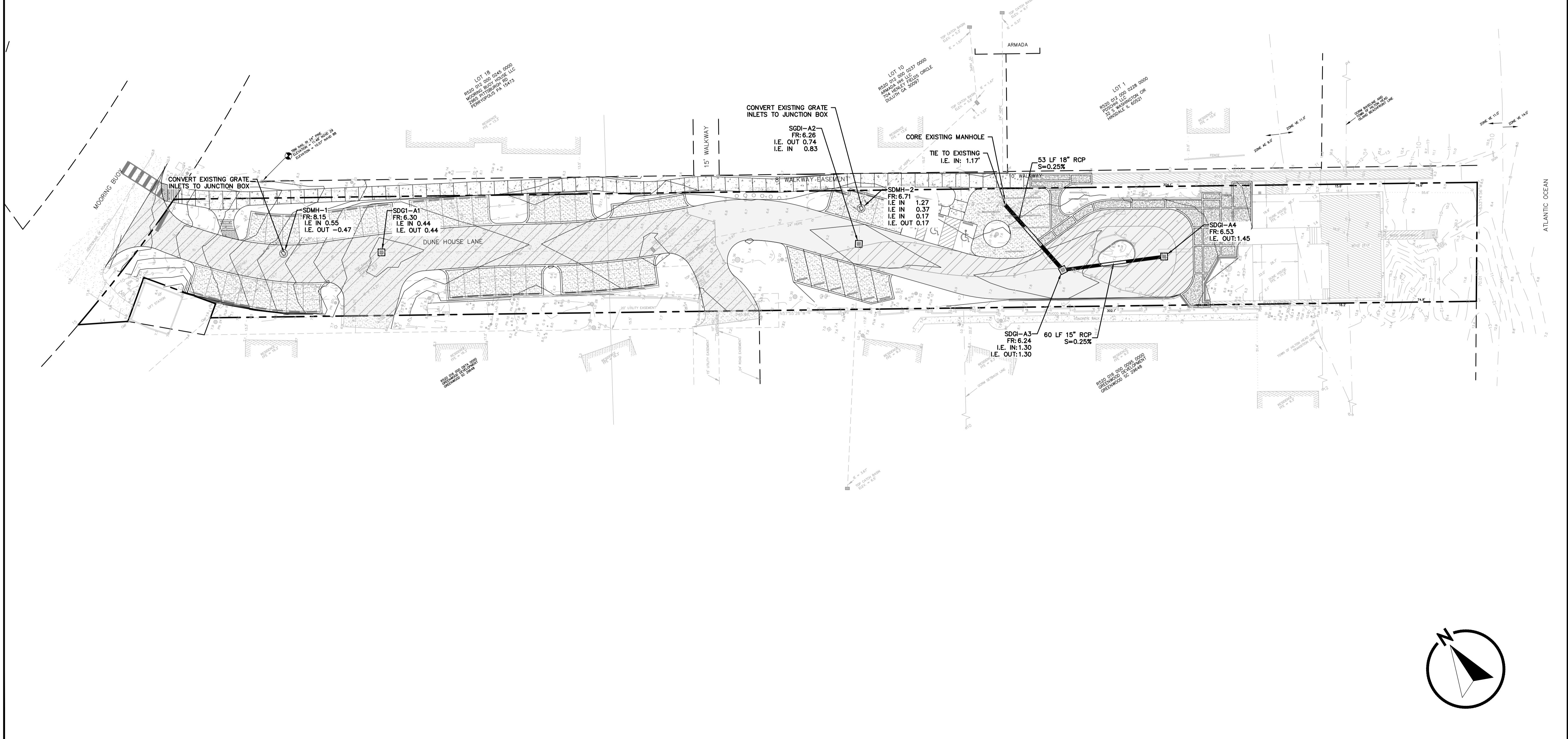
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AS-BUILT SURVEY REQUIREMENTS
 Contractor is responsible for providing an as-built topographic survey of the constructed project site. The survey shall conform to scdhc and local government as-built requirements including, but not necessarily limited to the following:
 The survey shall be prepared and signed by a south carolina licensed land surveyor.
 A signed hard copy and autocad file shall be provided to the engineer.
 Elevations shall be based upon the same vertical datum used in the engineering plans.
 The drawing shall be on the sc nad83 state plane coordinate system.
 The survey shall include the following as-built information to include location and elevations:
 a. Property lines
 b. Building(s) with finished floor elevations
 c. Paving to include elevations along edges and internal ridges and valleys (i.e. road crowns, inverted crown flow lines)
 d. ADA-accessible ramps
 e. Curb and gutter
 f. Sidewalks
 g. Signage
 h. Storm inlets with pipe diameter(s), frame, and invert
 i. Junction boxes with pipe diameter(s), frame, and invert
 j. Sanitary sewer manholes with frame and invert
 k. Pump stations to include fencing, controls, driveway, wetwell top/bottom elevations
 l. Ditches to include top of bank, bottom of bank, and centerline
 m. Ponds to include contours from top of bank to water surface and measured depth from water surface to pond bottom
 n. Weir elevations and dimensions
 o. Outlet control structures to include elevations and dimensions of all risers, gates, orifices, weirs, and outlet pipe inverts and diameters
 p. Emergency spillway dimensions and elevations
 q. Locations and inverts for all pipes discharging into the pond
 r. All other visible site features to include valves, fdc's, hydrants, transformers, light poles, clean-outs, pedestals, service yards, fencing, hvac/mechanical devices, and bollards.

Storm Sewer/Drainage Legend	
	Proposed
Drop Inlet	DI: A1
Curb Inlet (with Grate)	CI: A1
Type 16 Curb Inlet	CI: A1
Valley Gutter Inlet	VI: A1
Trench Drain	TD: A1
Weir Inlet	WI: A1
Yard Inlet	YI: A1
Junction Box	JB: A1
Cleanout	CO
Downspout	
Storm Drain	
Underdrain	
Roof Drain Collector	
Flared End Section	
Headwall	
Headwall with Wings	
Outlet Control Structure	
Ditch Centerline	
Direction of Flow	



No.	Description	Date
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Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
 Palmetto Dunes Property Owners' Association
Drainage Plan

Vert. Datum: NAVD88
 Horiz. Datum: SC83IF
 Surveyed by: JRK
 Surveyor's PLS: 29901

Project #: 220146
 Date: 09/13/2023
 Designed by: EBU
 Checked by: WGP

Scale: 1" = 30' Feet

C601

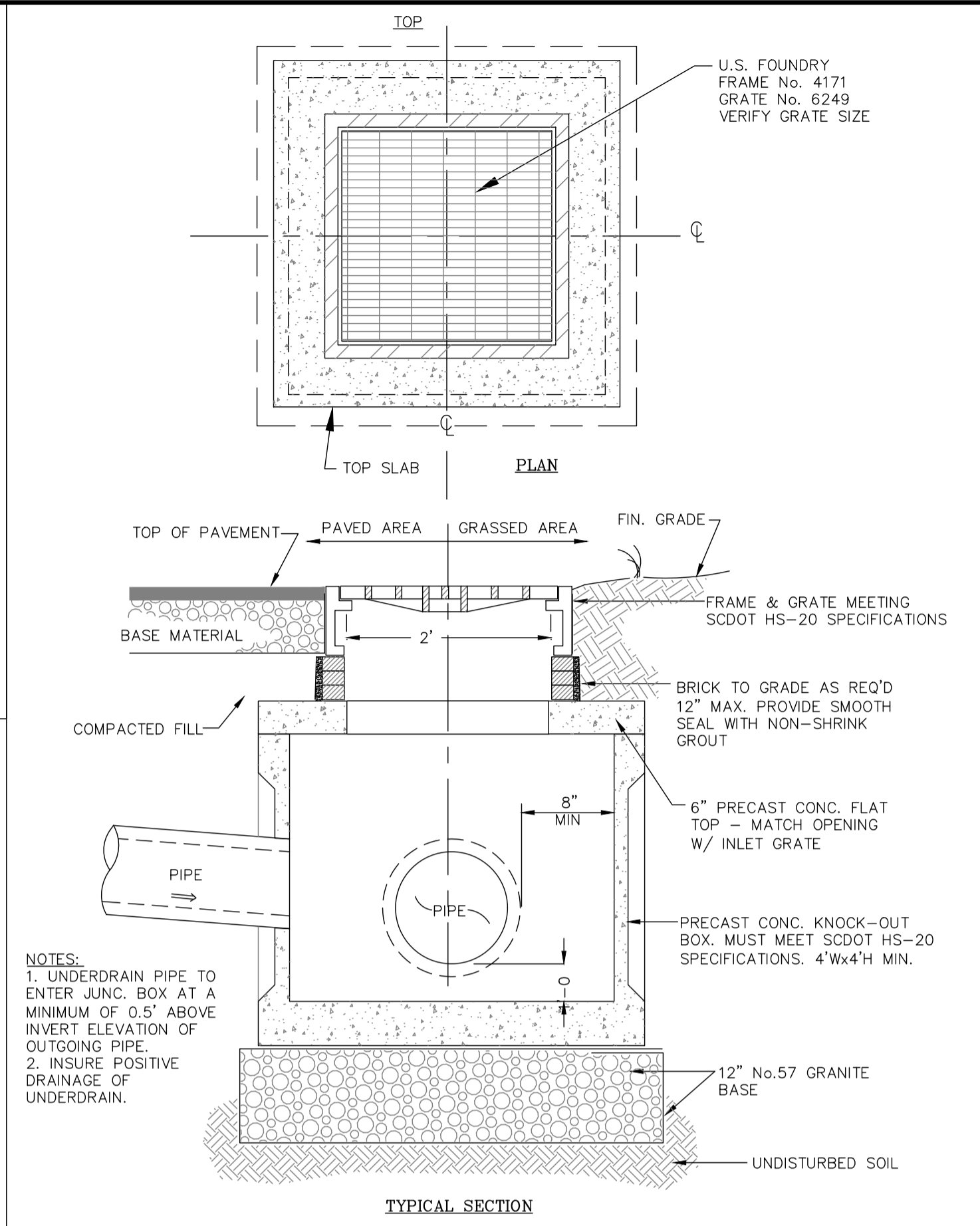
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AS-BUILT SURVEY REQUIREMENTS

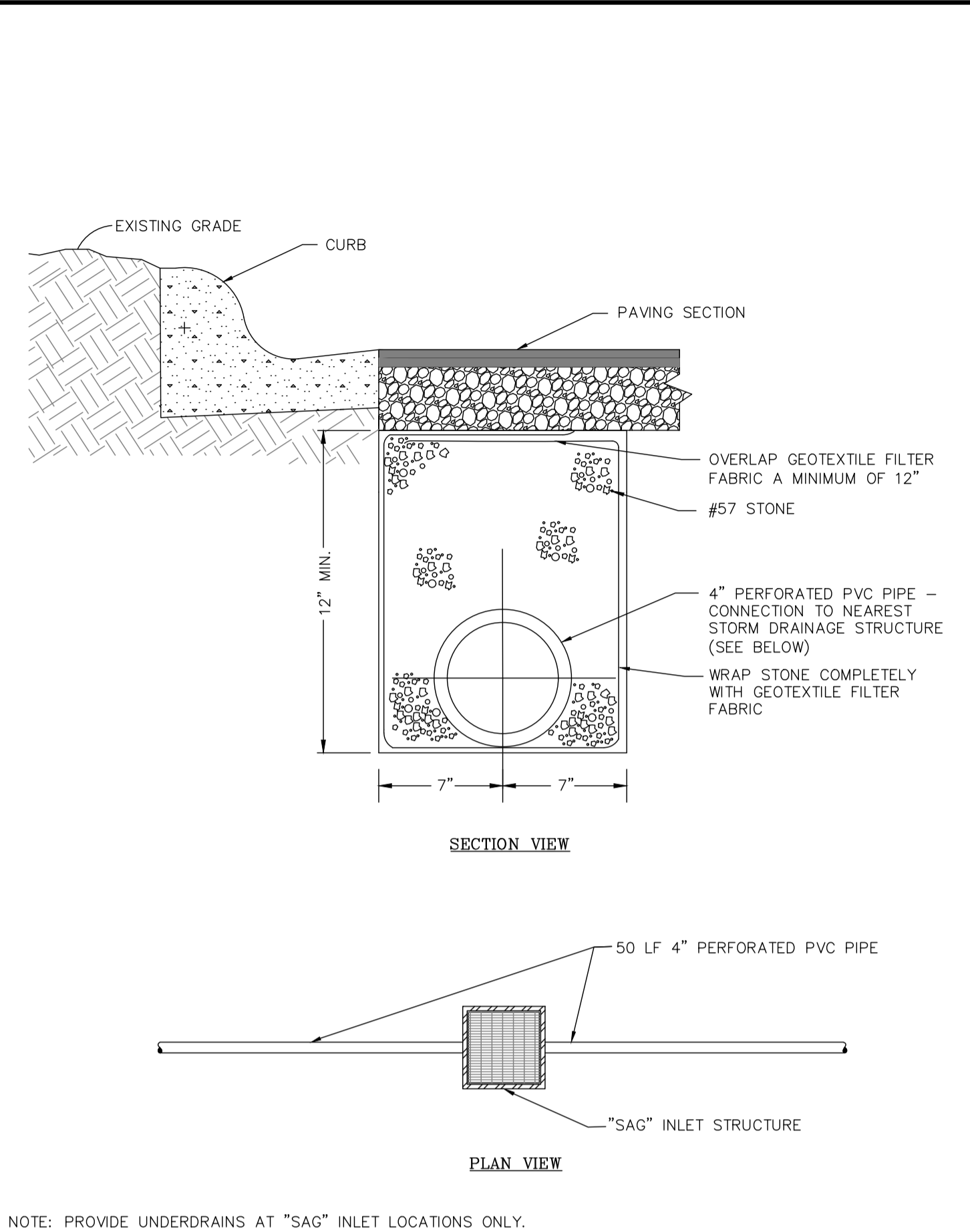
Contractor is responsible for providing an as-built topographic survey of the constructed project site. The survey shall conform to scdhec and local government as-built requirements including, but not necessarily limited to the following:

- The survey shall be prepared and signed by a south carolina licensed land surveyor.
- A signed hard copy and autocad file shall be provided to the engineer.
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- The drawing shall be on the sc nad83 state plane coordinate system.
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 - b. Building(s) with finished floor elevations
 - c. Paving to include elevations along edges and internal ridges and valleys (i.e. road crowns, inverted crown flow lines)
 - d. ADA-accessible ramps
 - e. Curb and gutter
 - f. Sidewalks
 - g. Signage
 - h. Storm inlets with pipe diameter(s), frame, and invert
 - i. Junction boxes with pipe diameter(s), frame, and invert
 - j. Sanitary sewer manholes with frame and invert
 - k. Pump stations to include fencing, controls, driveway, wetwell top/bottom elevations
 - l. Ditches to include top of bank, bottom of bank, and centerline
 - m. Ponds to include contours from top of bank to water surface and measured depth from water surface to pond bottom
 - n. Weir elevations and dimensions
 - o. Outlet control structures to include elevations and dimensions of all risers, grates, orifices, weirs, and outlet pipe inverts and diameters
 - p. Emergency spillway dimensions and elevations
 - q. Locations and inverts for all pipes discharging into the pond
 - r. All other visible site features to include valves, fdes, hydrants, transformers, light poles, clean-outs, pedestals, service yards, fencing, hvac/mechanical devices, and bollards.



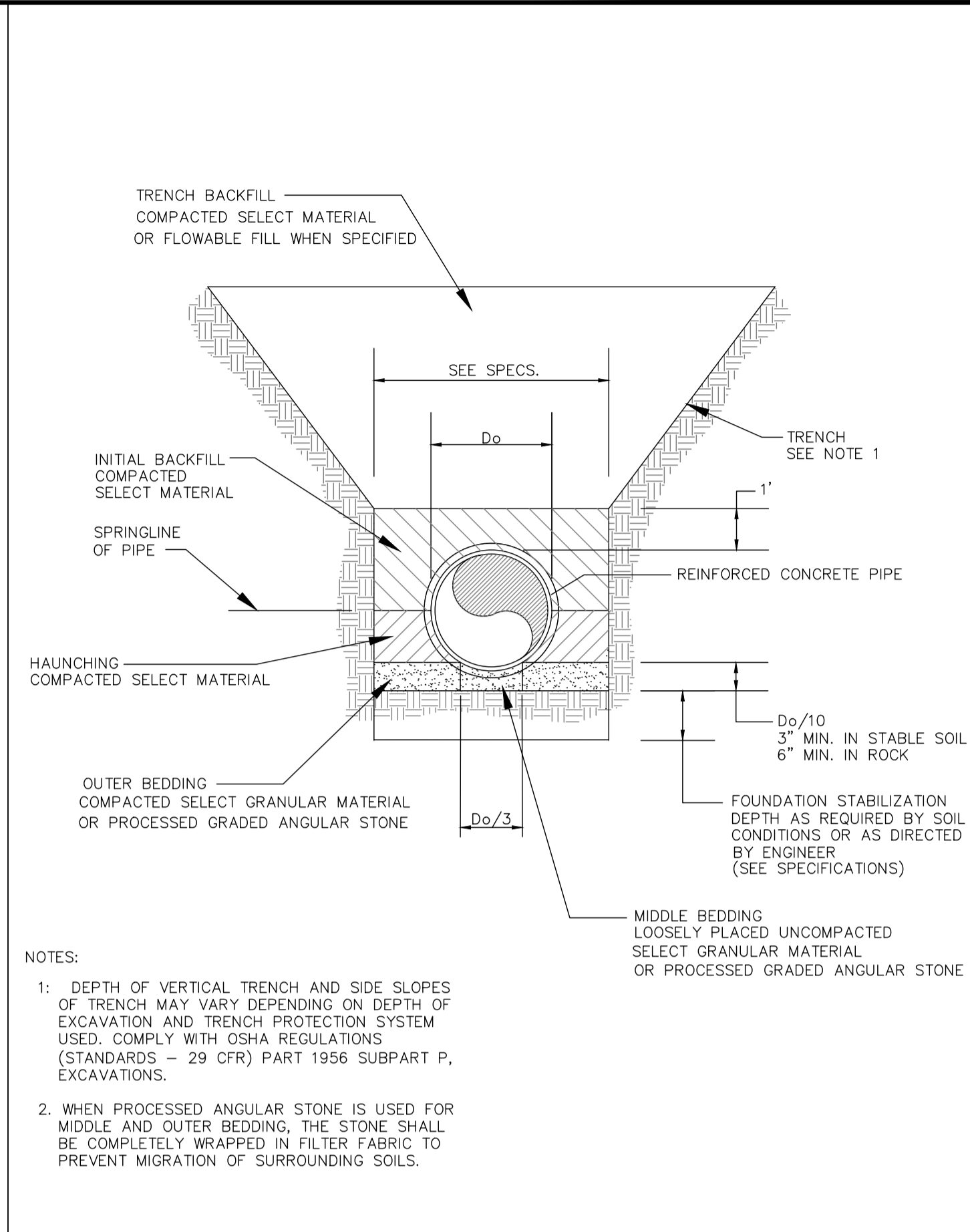
GRATE INLET

DETAIL 02630-027

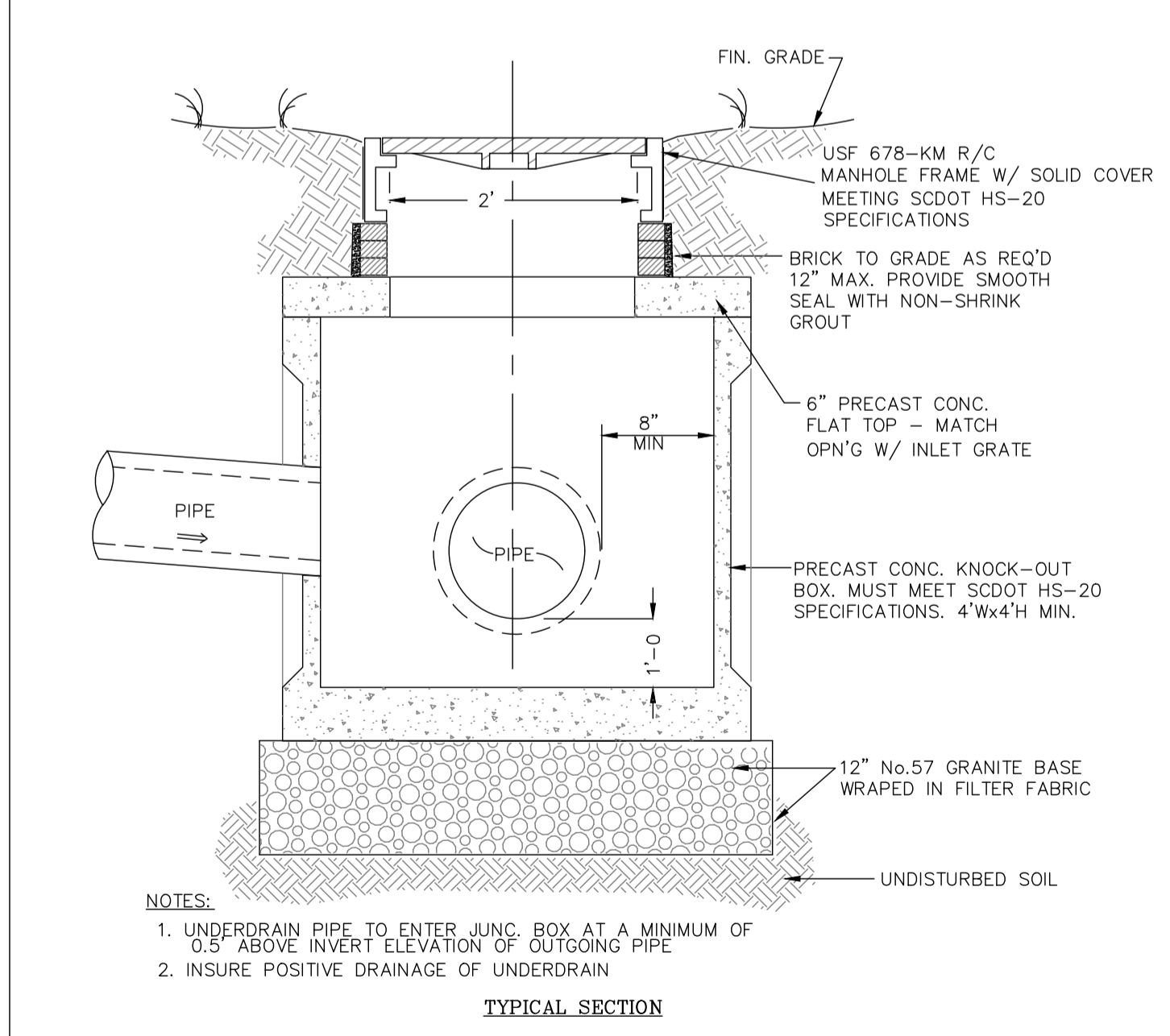


UNDERDRAIN DETAIL

DETAIL 02630-025

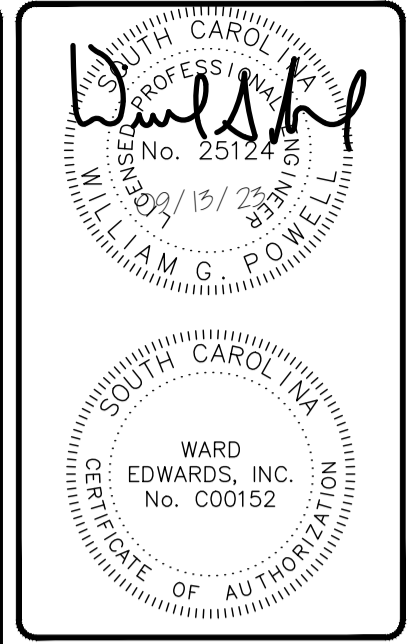


EMBEDMENT DETAIL FOR REINFORCED CONCRETE PIPE



JUNCTION BOX WITH FRAME AND COVER

DETAIL 02630-030



No.	Description	Date
7		
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Ward Edwards Engineering
 119C Palmetto Way
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 (843) 837-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Drainage Details

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901

Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Not to Scale

C602

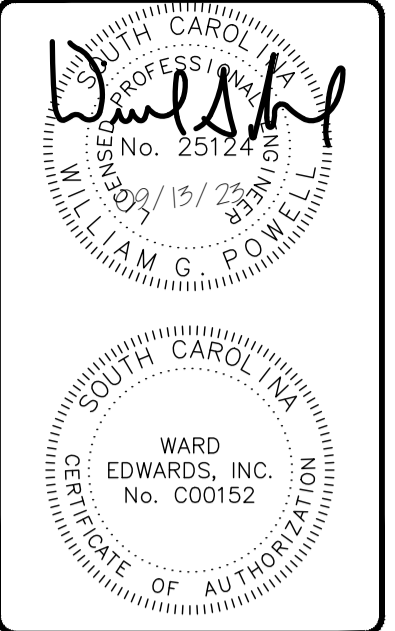
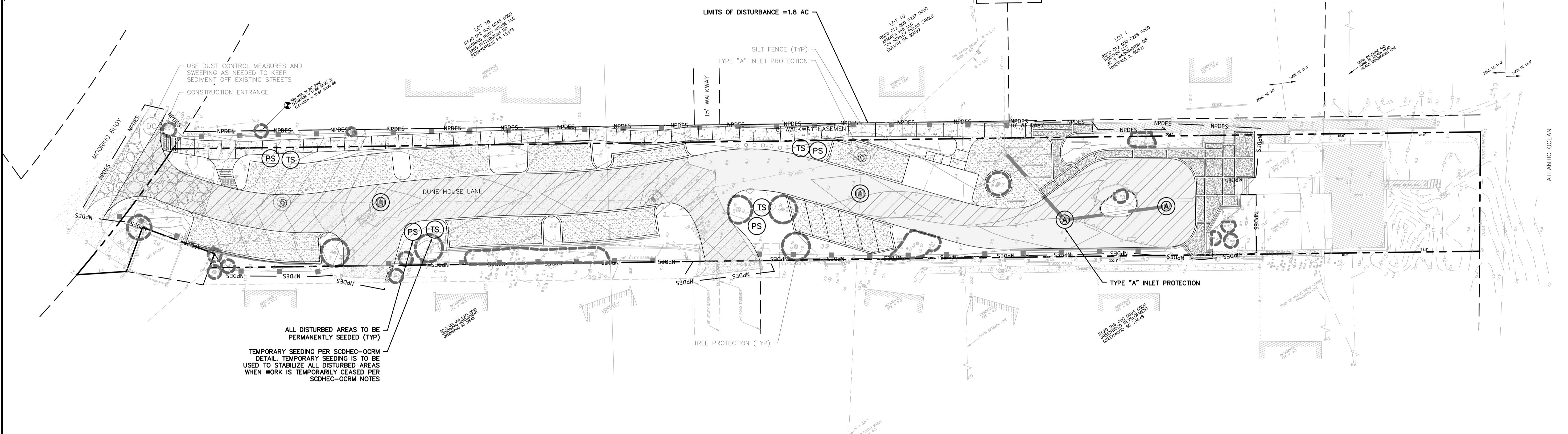
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Sediment Control	
Sediment Basin:	
Temporary Sediment Trap:	
Rock Sediment Dike:	
Rock Check Dam:	
Sediment Tube:	
Silt Fence:	
Reinforced Silt Fence:	
Type A-Fabric Inlet Protection:	
Type A-Sediment Tube Inlet Protection:	
Type B - Wire Mesh and Stone Drop Inlet Protection:	
Type C - Block and Gravel Inlet Protection:	
Type D - Rigid Inlet Filters:	
Type E - Surface Course Curb Inlet Filter:	
Type F - Inlet Tube:	
Type FC - Filter Bag Curb Inlet Protection:	
Type FB - Filter Bag Grate Inlet Protection:	
Concrete Washout	

Runoff Conveyance Measures	
Vegetated Channels:	
Riprap-Lined Channels:	
ECB OR TRM-Lined Channels:	
Paved Channels:	
Pipe Slope Drains:	
Temporary Stream Crossing:	
Temporary Diversion Ditch or Swale:	
Permanent Diversion Ditch:	
Diversion Dike or Berm:	
Level Spreader:	
Subsurface Drain:	

Limits of Disturbance: NPDES	
Erosion Prevention	
Land Grading:	
Surface Roughening:	
Topsotting:	
Temporary Seeding:	
Mulching:	
ECB or TRM:	
FGM:	
BFM:	
Permanent Seeding:	
Sodding:	
Riprap:	
Outlet Protection:	
	RIPRAP ECB or TRM
Dust Control:	
Polycrylamide (PAM):	



No.	Description	Date
7		
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Ward Edwards
ENGINEERING

119C Palmetto Way
P.O. Box 381, Bluffton,
South Carolina 29910

(843) 337-5250
www.WardEdwards.com

Dunes House Redevelopment
Town of Hilton Head Island, South Carolina

Prepared for
Palmetto Dunes Property Owners' Association

Intermediate & Final Erosion Control Plan

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Scale: 1" = 30' Feet

C701

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PERMANENT SEEDING - COASTAL

Table with columns for SPECIES, LBS/AC, and months (JAN-DEC) for permanent seeding on sandy/droughty and well-drained sites.

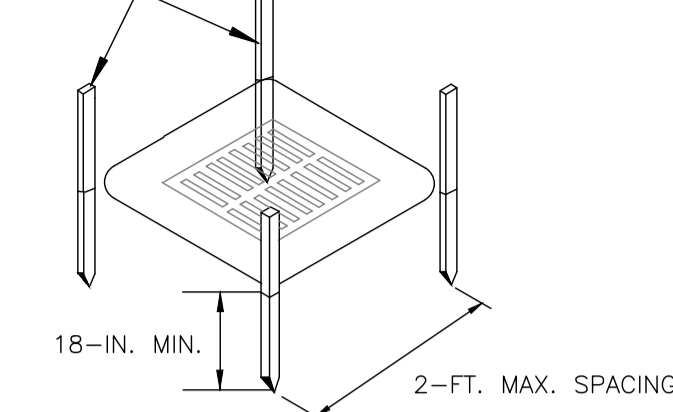
PS PERMANENT SEEDING - COASTAL DETAIL 02370-010

TEMPORARY SEEDING - COASTAL

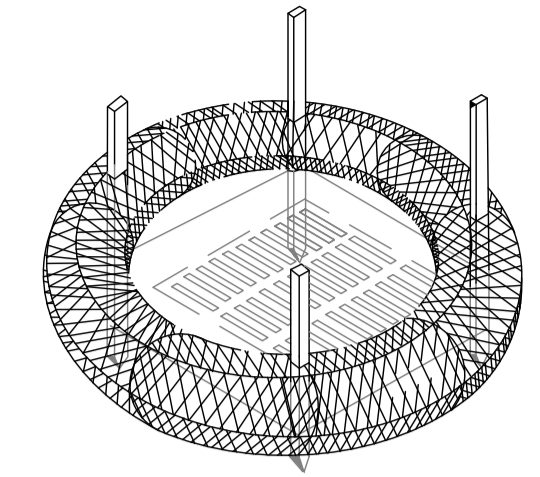
Table with columns for SPECIES, LBS/AC, and months (JAN-DEC) for temporary seeding on sandy/droughty and well-drained sites.

TS TEMPORARY SEEDING - COASTAL DETAIL 02370-011

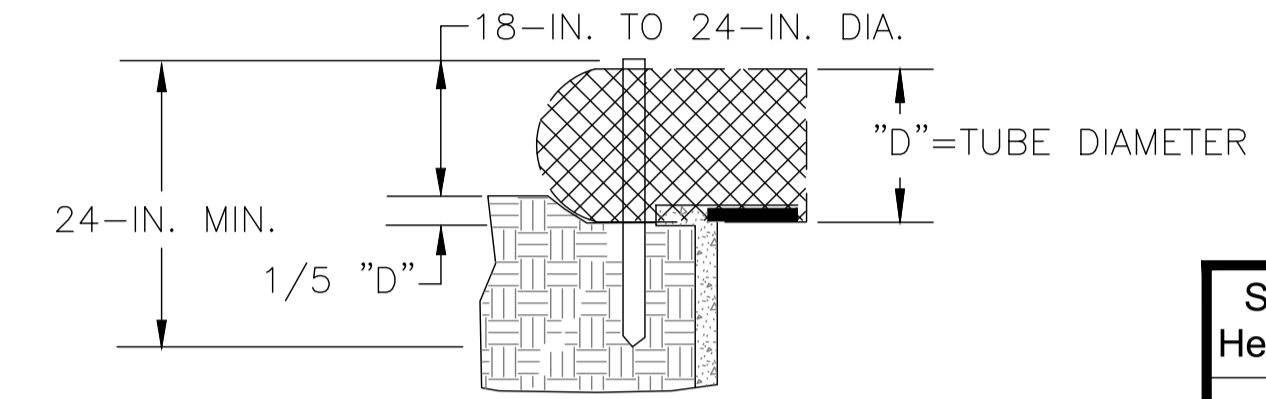
2" x 2" WOOD STAKES or 1.25 #/FT STEEL POSTS



POST INSTALLATION DETAIL

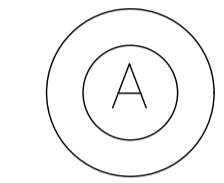


SEDIMENT TUBE INSTALLATION DETAIL



SEDIMENT TUBE BURIAL DETAIL

PLAN SYMBOL



South Carolina Department of Health and Environmental Control Type A SEDIMENT TUBE INLET PROTECTION STANDARD DRAWING NO. SC-07A PAGE 1 of 2 FEBRUARY 2014 NOT TO SCALE EXITE

TYPE A - SEDIMENT TUBE INLET PROTECTION

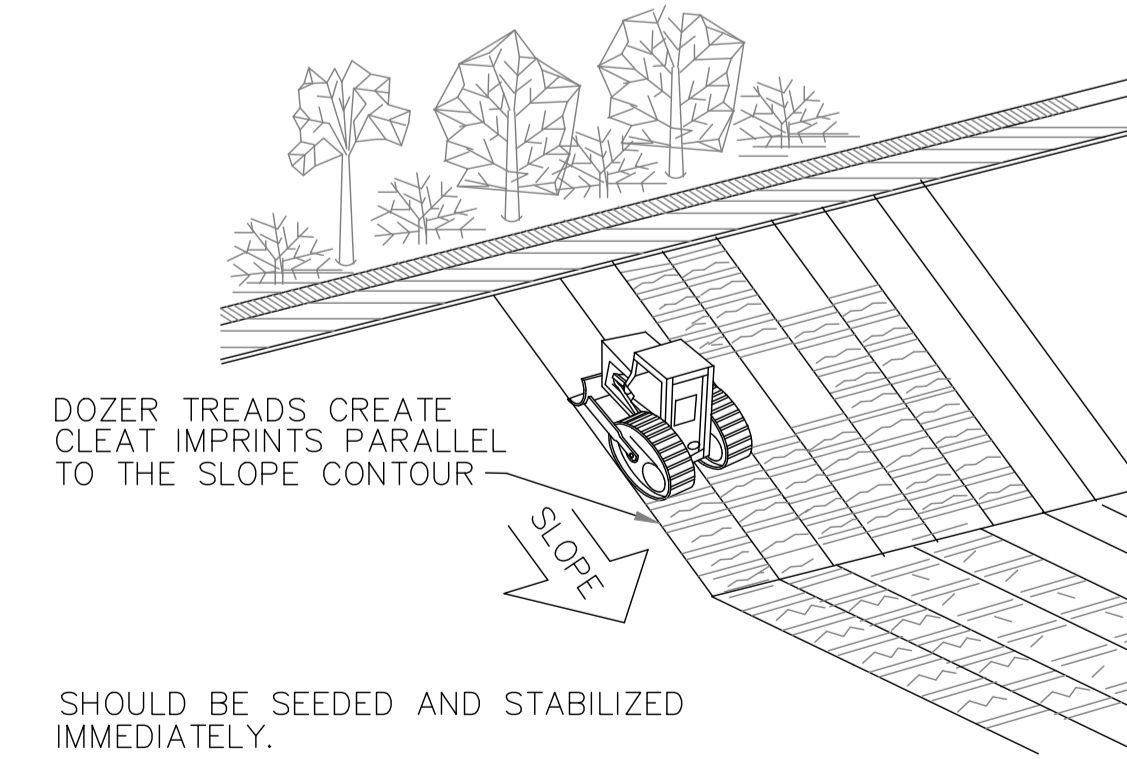
GENERAL NOTES

- 1. Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
2. The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
3. Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
4. Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
5. Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
6. Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
7. The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
8. Sediment tubes should not be stacked on top of one another.
9. Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
10. Install stakes at a diagonal facing incoming runoff.

INSPECTION & MAINTENANCE

- 1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Large debris, trash, and leaves should be removed from in front of tubes when found.
7. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control Type A SEDIMENT TUBE INLET PROTECTION STANDARD DRAWING NO. SC-07A PAGE 2 of 2 FEBRUARY 2014 NOT TO SCALE EXITE



DOZER TRENDS CREATE CLEAT IMPRINTS PARALLEL TO THE SLOPE CONTOUR

SHOULD BE SEEDED AND STABILIZED IMMEDIATELY.

TRACKING

South Carolina Department of Health and Environmental Control TRACKING STANDARD DRAWING NO. EC-01 Page 1 APPROVED BY: _____ AUGUST, 2005 DATE

Professional Engineer Seal for William G. Powell, No. 25124, State of South Carolina.

Table with columns for No., Description, Date, and Plan Revisions.

Ward Edwards Engineering logo and contact information: 119C Palmetto Way, P.O. Box 381, Bluffton, South Carolina 29910. Phone: (843) 837-5250. Website: www.WardEdwards.com

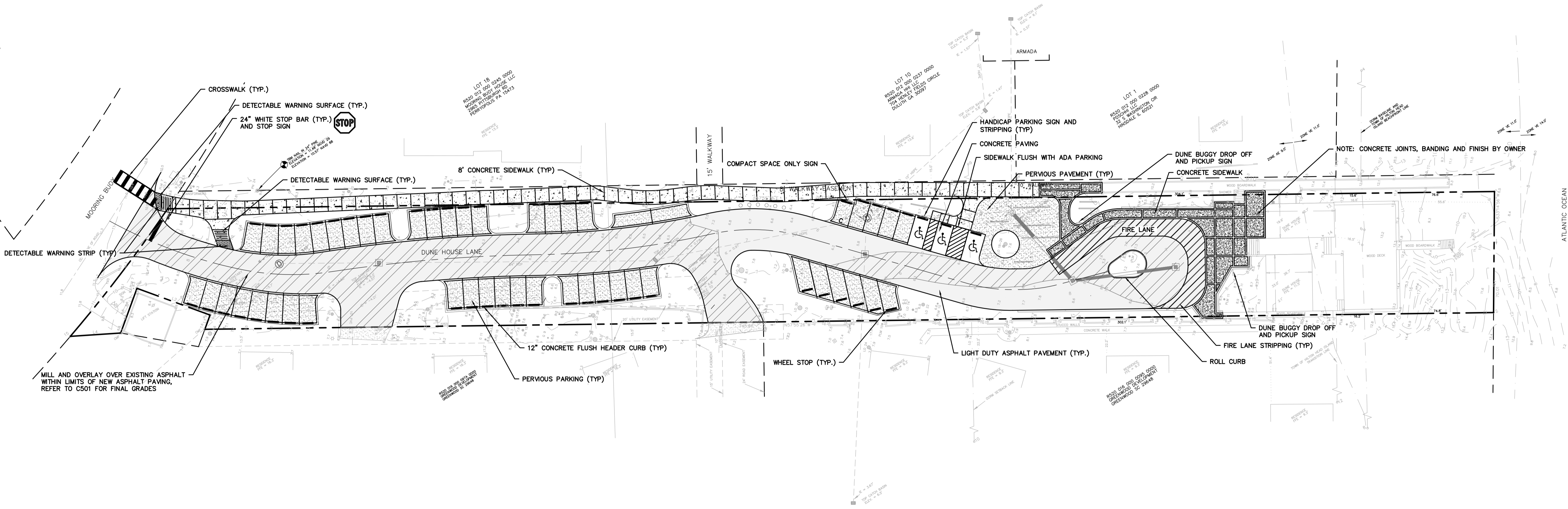
Dunes House Redevelopment, Palmetto Dunes Property Owners' Association, Intermediate Erosion Control Details. Prepared for: Town of Hilton Head Island, South Carolina.

Project information: Project #: 220146, Date: 09/13/2023, Designed by: EBU, Checked by: WGP. Vertical Datum: NAVD88, Horizontal Datum: SC83IF, Surveyed by: JRK, Surveyor's PLS: 29901. Not to Scale. C702

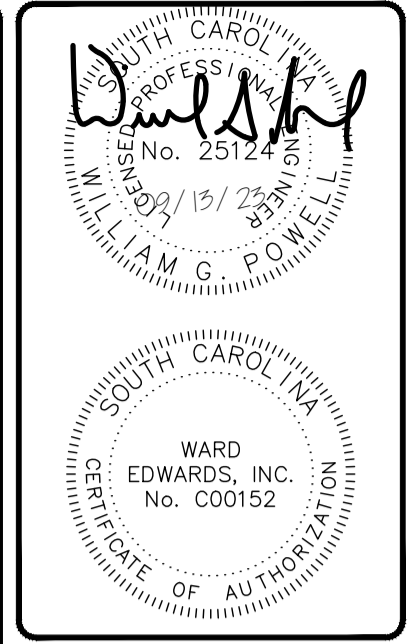
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NOTE: PER LMO SECTION 16-5-107 F.2. PARKING SPACES SHALL BE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE. PAINTED YELLOW LINES ARE FOR MARKING NO PARKING AREAS.



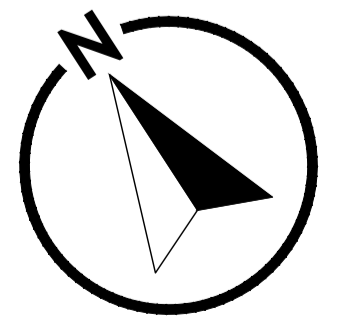
Proposed Concrete Paving	
Proposed Pervious Concrete Paving	
Proposed Sidewalk/Concrete	
Reinforced Grass Fire Lane	
Proposed Aggregate/Stones	
Proposed Asphalt (light duty)	
Proposed Asphalt (heavy duty)	
Mill & Overlay Asphalt	
Proposed Concrete Pavers	



No.	Description	Date
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Ward Edwards ENGINEERING
 119C Palmetto Way
 P.O. Box 381, Bluffton, South Carolina 29910
 (843) 837-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Paving Plan



Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

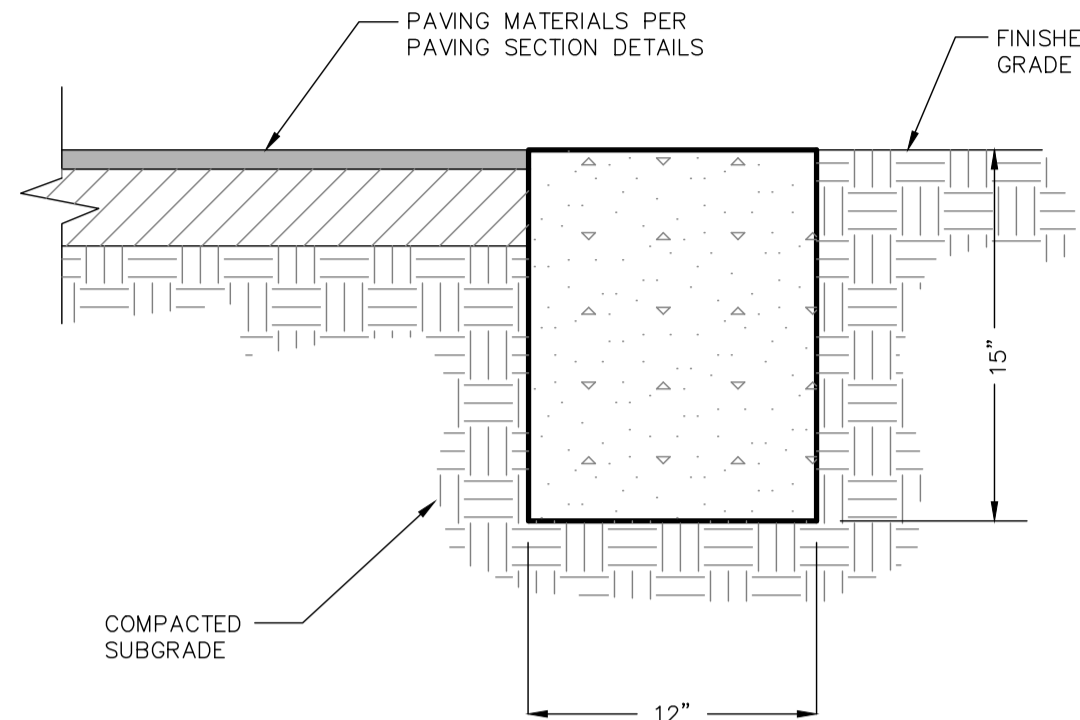
Scale: 1" = 30' Feet

C801

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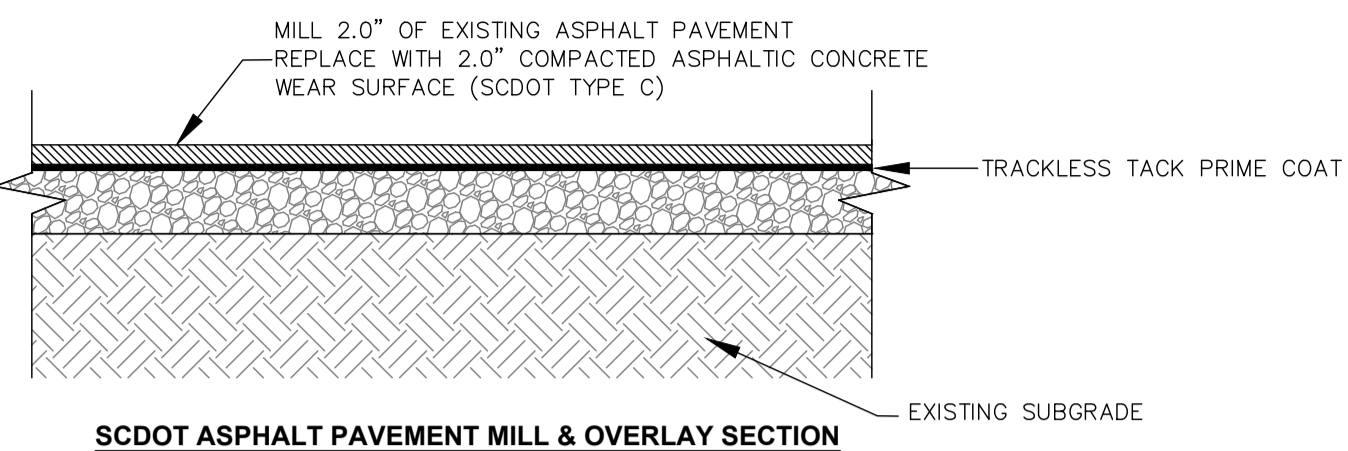
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- NOTES:**
1. ALL CONCRETE SHALL BE 3,000 PSI.
 2. PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 3. PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 4. PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 5. EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 6. TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 7. PROVIDE LIGHT BROOM FINISH.

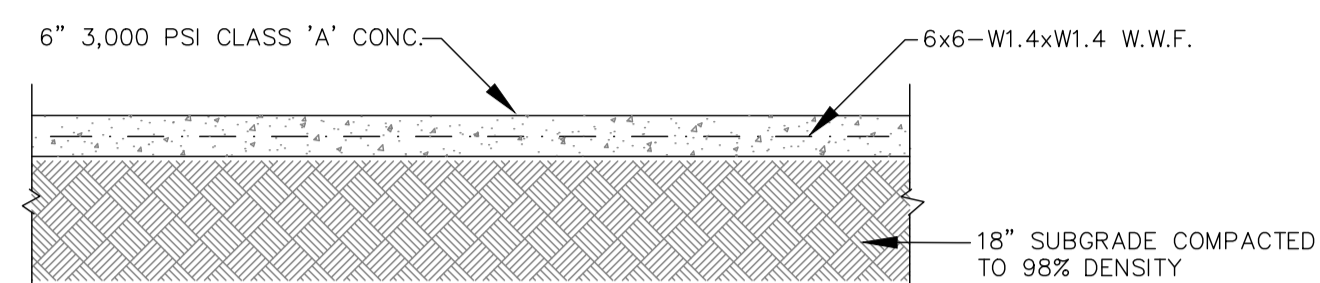


FLUSH HEADER CURB

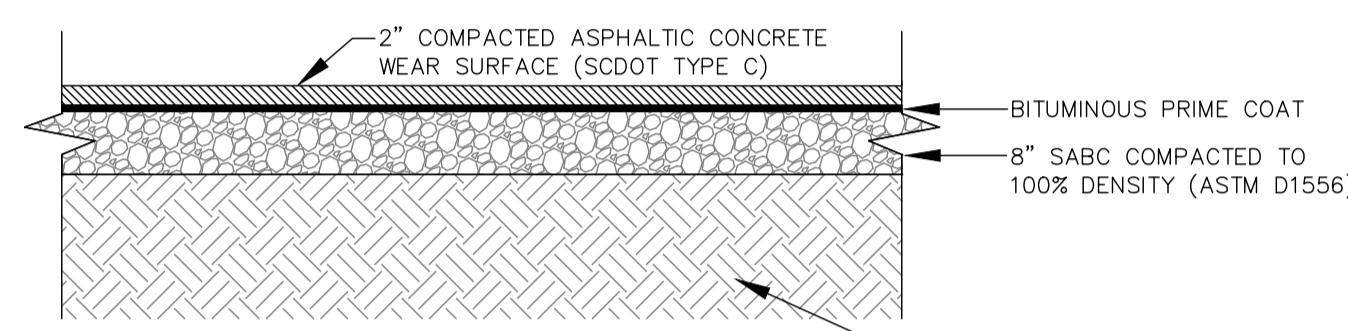
DETAIL 03300-005



SCDOT ASPHALT PAVEMENT MILL & OVERLAY SECTION



CONCRETE PAVING SECTION

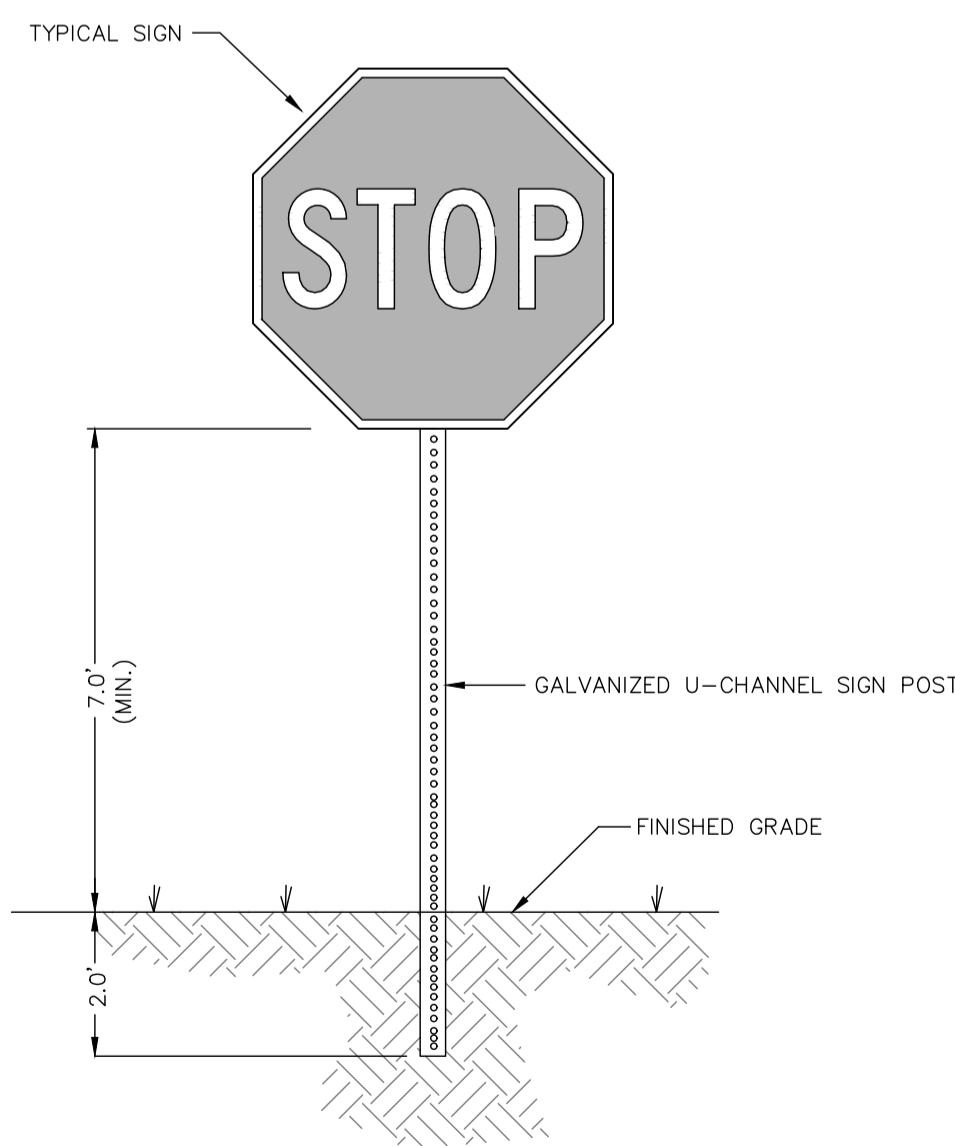


LIGHT DUTY ASPHALT PAVING SECTION

- NOTES:**
1. ASPHALTIC SURFACE SHOULD CONFORM TO THE SCDOT STANDARD SPECIFICATION SECTION 403. INTERMEDIATE COURSE SHALL CONFORM TO SCDOT SPECIFICATION 402.
 2. BASE MATERIAL SHOULD BE A GRADED AGGREGATE BASE COURSE (GABC) CONFORMING TO SCDOT SPECIFICATION SECTION 305.

PAVING SECTIONS

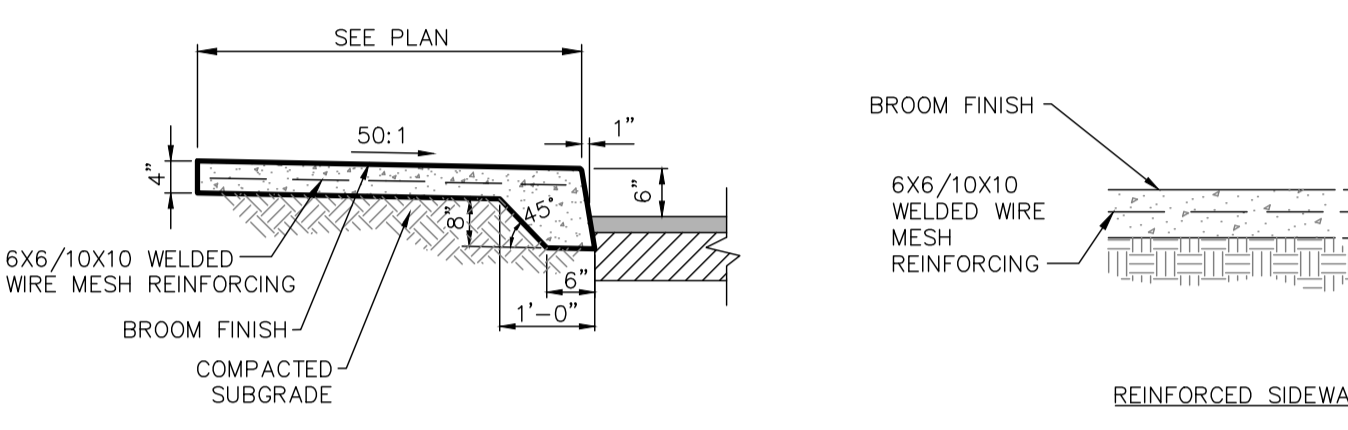
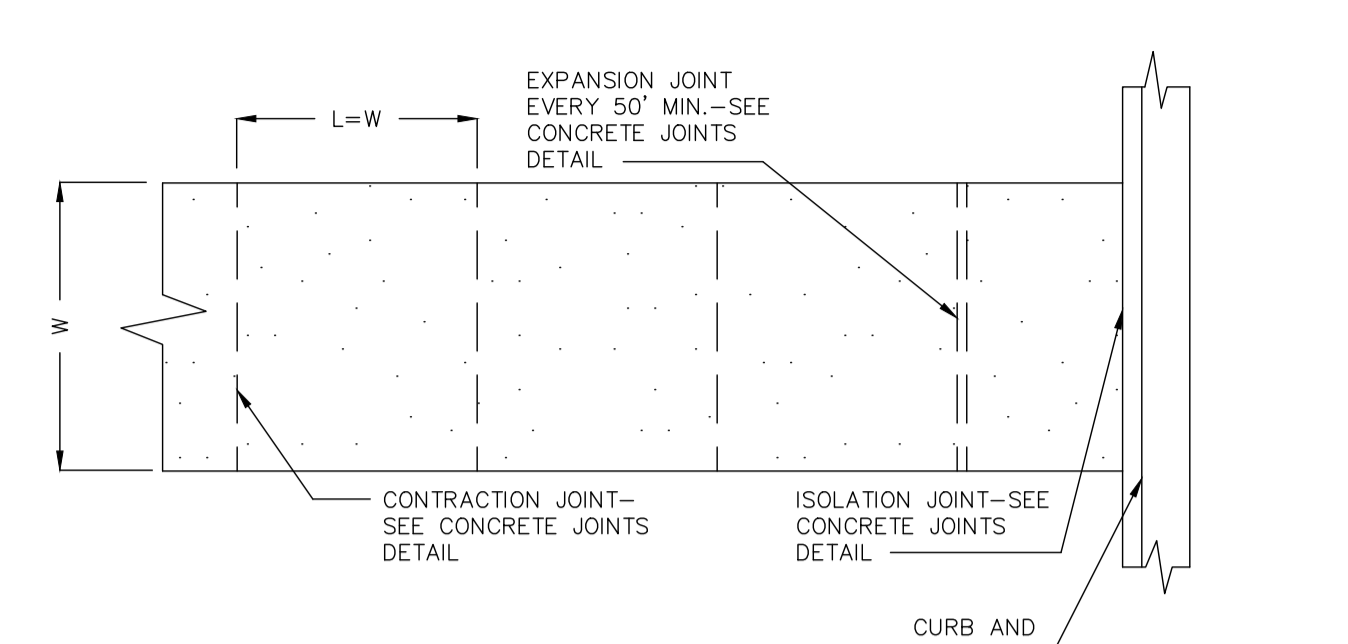
DETAIL #02740-018



- NOTE:**
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (LATEST EDITION) AND THE DEPARTMENT OF TRANSPORTATION STANDARDS AT THE LOCATIONS SHOWN ON THE PLANS.

TYPICAL SIGNAGE

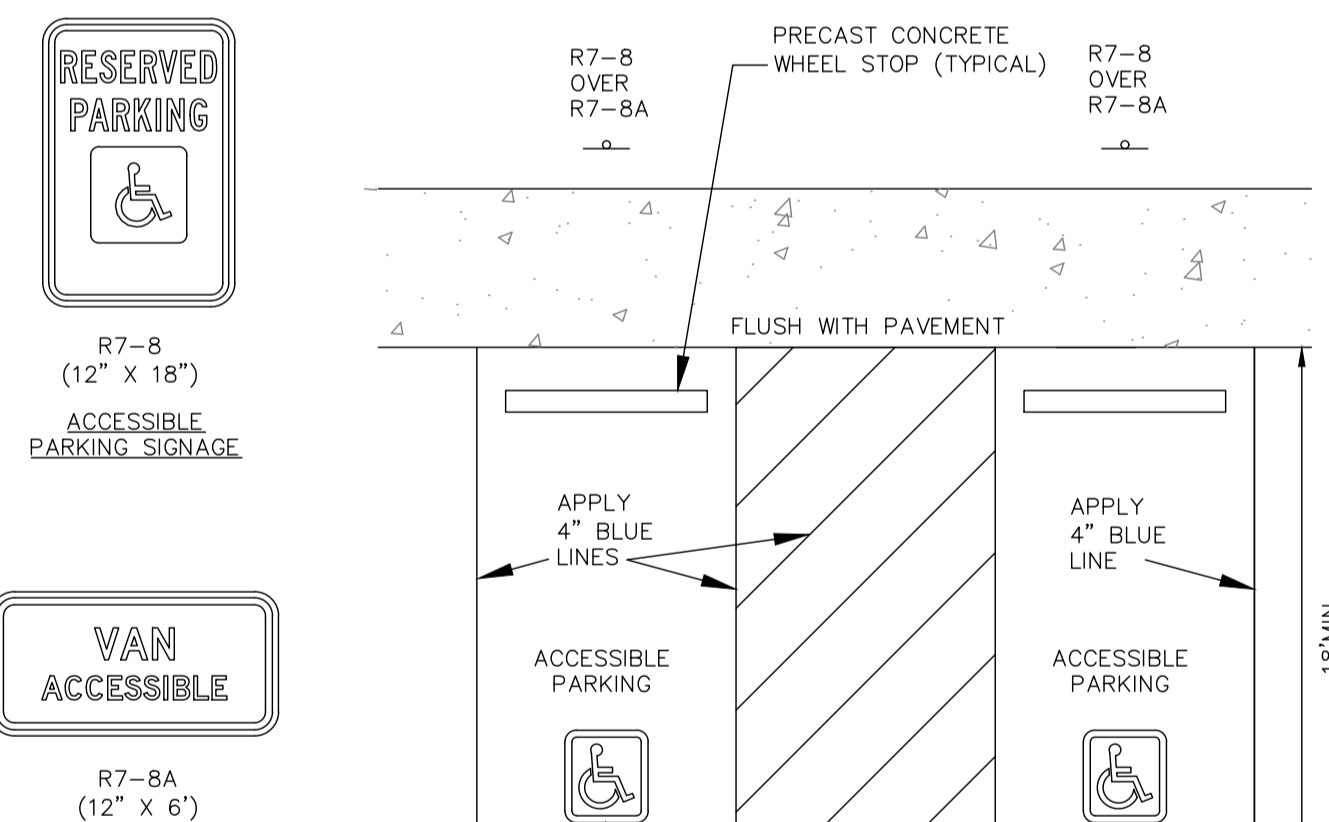
DETAIL #02890-002A



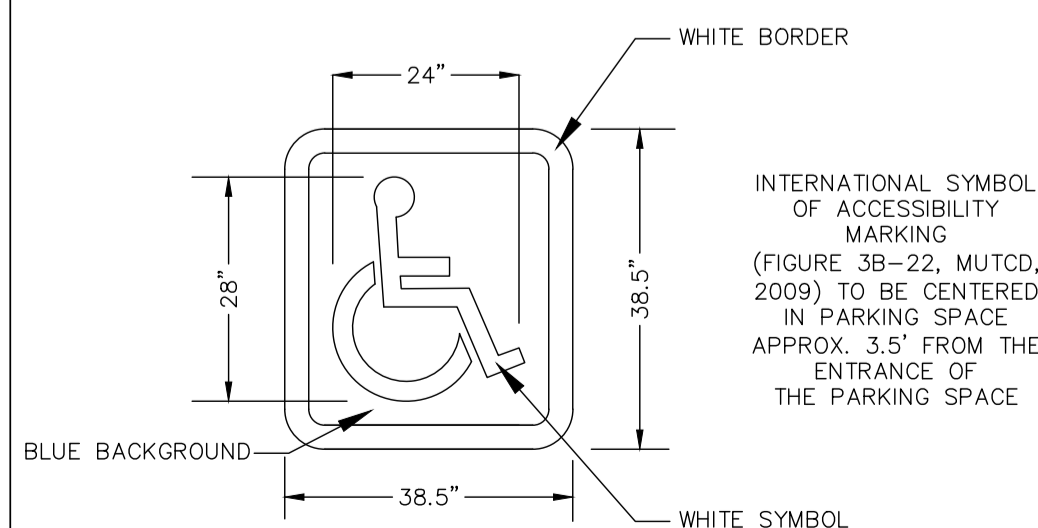
- NOTES:**
1. W = VARIES, REFER TO STAKING PLAN FILL IN BASED ON SITE PLAN
 2. L = WIDTH OF PAVING UNLESS OTHERWISE INDICATED ON PLAN.
 3. SLOPE = AS INDICATED ON GRADING PLAN, NOT TO EXCEED 2% CROSS OF 8.33% LONGITUDINAL
 4. ALL CONCRETE SHALL BE CLASS A 3000 PSI
 5. FINISH BROOM WITH HAND TOOLED JOINTS AND EDGES.

CONCRETE SIDEWALK

DETAIL 03300-006

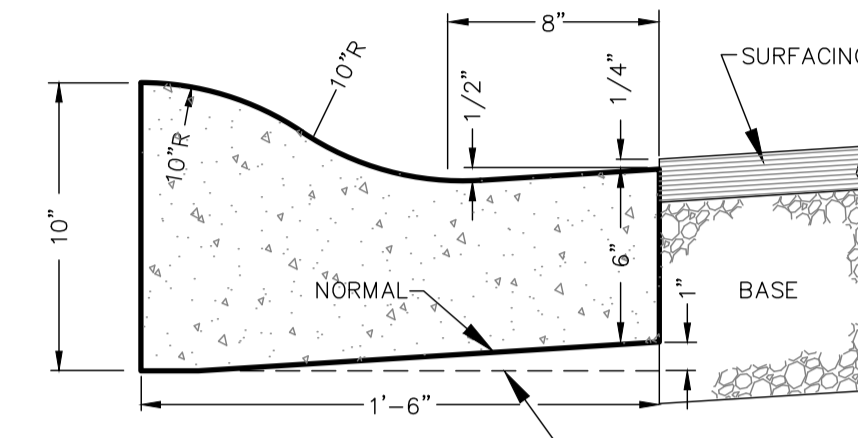


- SIGN NOTES:**
1. MOUNT SIGN TO 2-3/8" DIA. GALVANIZED ROUND SIGN POSTS (TYP) WITH POST CAP AT TOP.
 2. PROVIDE ALL MOUNTING HARDWARE AS REQUIRED FOR COMPLETE INSTALLATION.
 3. POST SHALL BE SET 3" BELOW GRADE IN 0.2 CY 4,000 PSI CONCRETE.
 4. MOUNTING HEIGHT 60" FROM GRADE TO BOTTOM EDGE OF R7-8.



ACCESSIBLE PARKING DETAIL

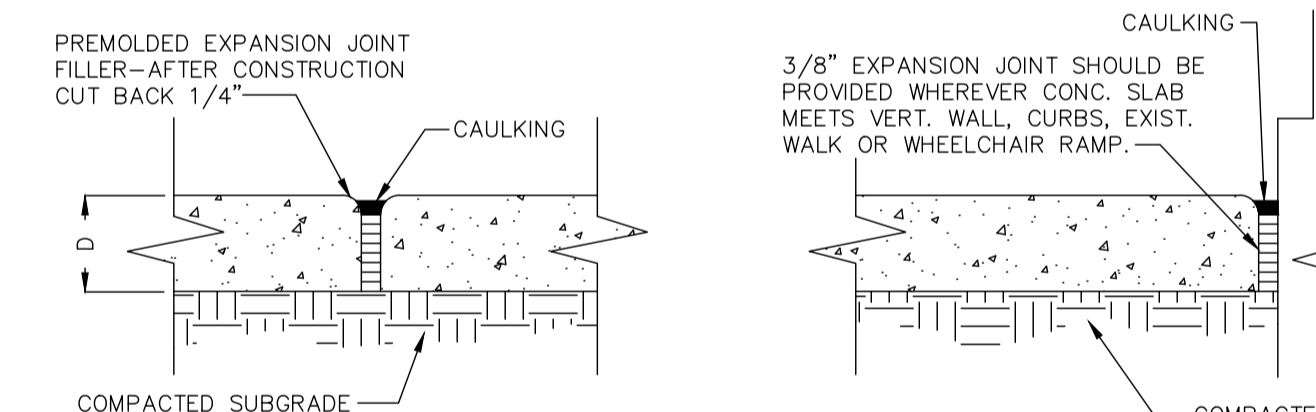
- NOTES:**
1. USE NORMAL OR PITCHED GUTTER AS REQUIRED TO MATCH PAVING SLOPE.
 2. ALL CONCRETE SHALL BE 3,000 PSI.
 3. PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 4. PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 5. PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 6. EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 7. TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 8. PROVIDE LIGHT BROOM FINISH.



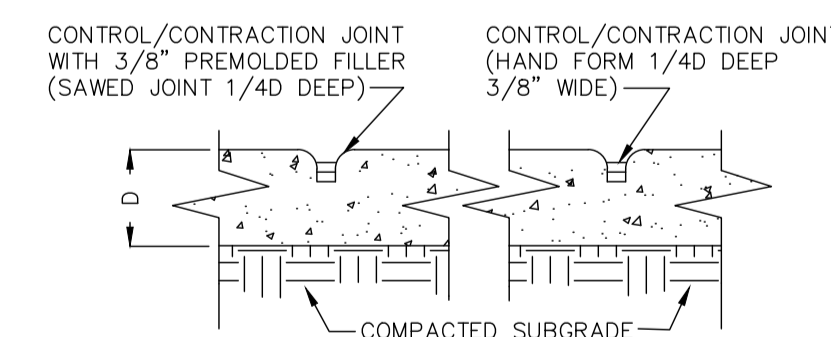
18" CONCRETE ROLL-OVER CURB AND GUTTER

DETAIL 03300-023

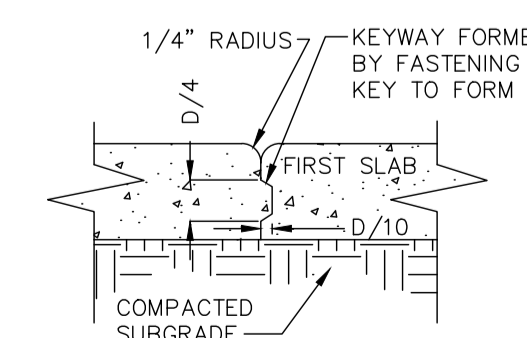
NOTE: D = 4" OR 6" (SEE PLANS)



ISOLATION EXPANSION JOINT



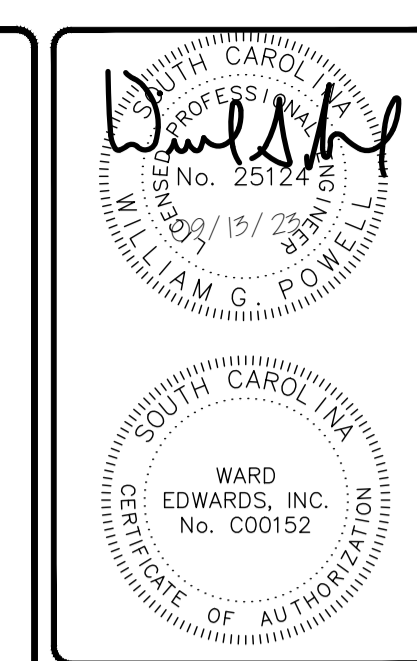
CONTROL/CONTRACTION JOINT



CONSTRUCTION JOINT

CONCRETE JOINTS

DETAIL 03300-007



No.	Description	Date
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 119C Palmetto Way
 P.O. Box 381, Bluffton, South Carolina 29910
 (843) 837-5250
 www.WardEdwards.com

Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
Paving Details

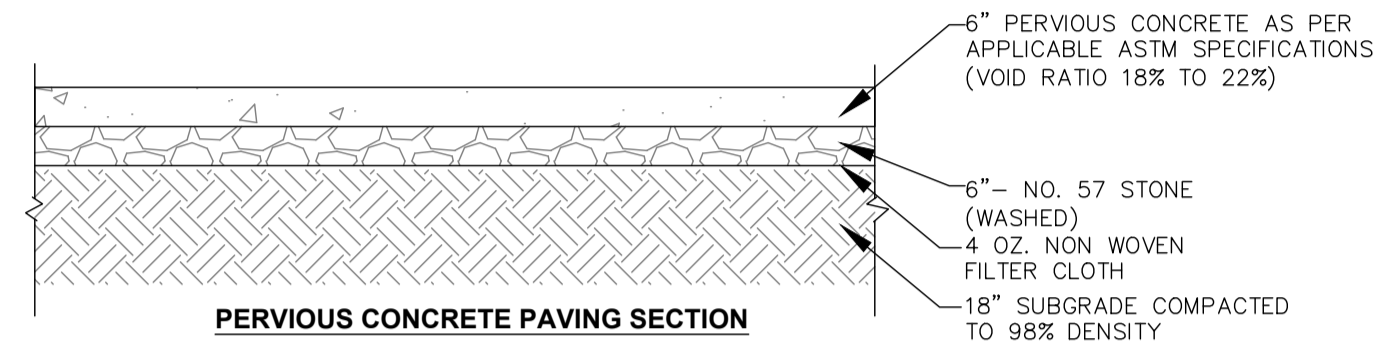
Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Not to Scale

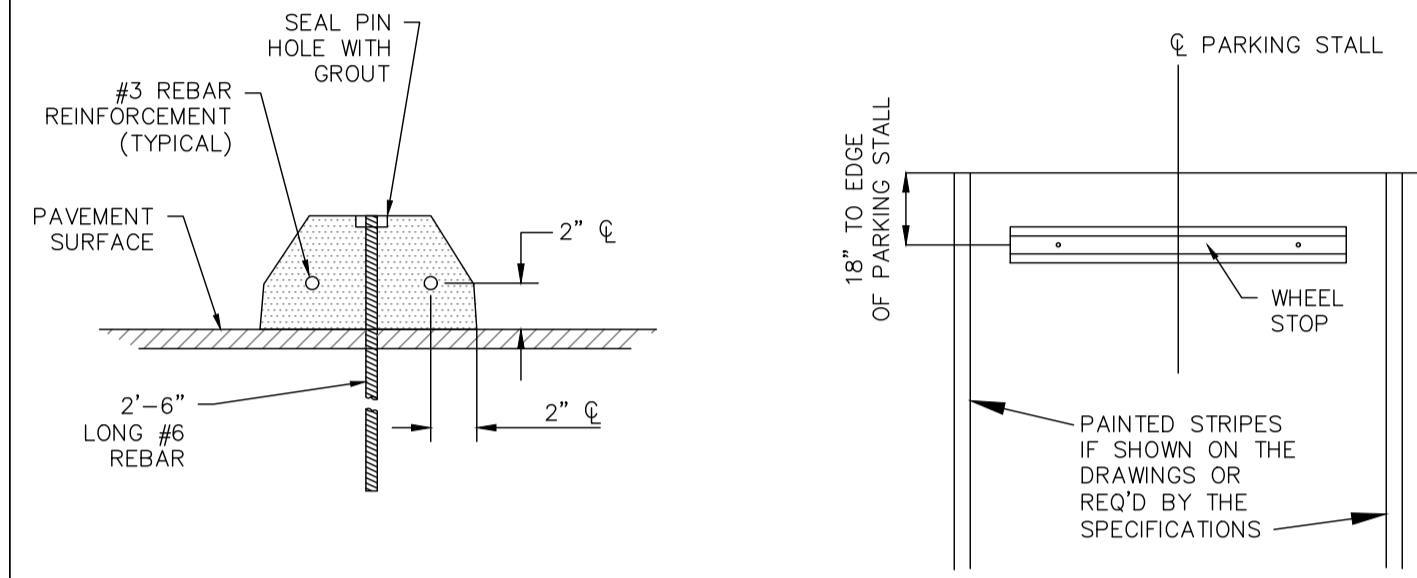
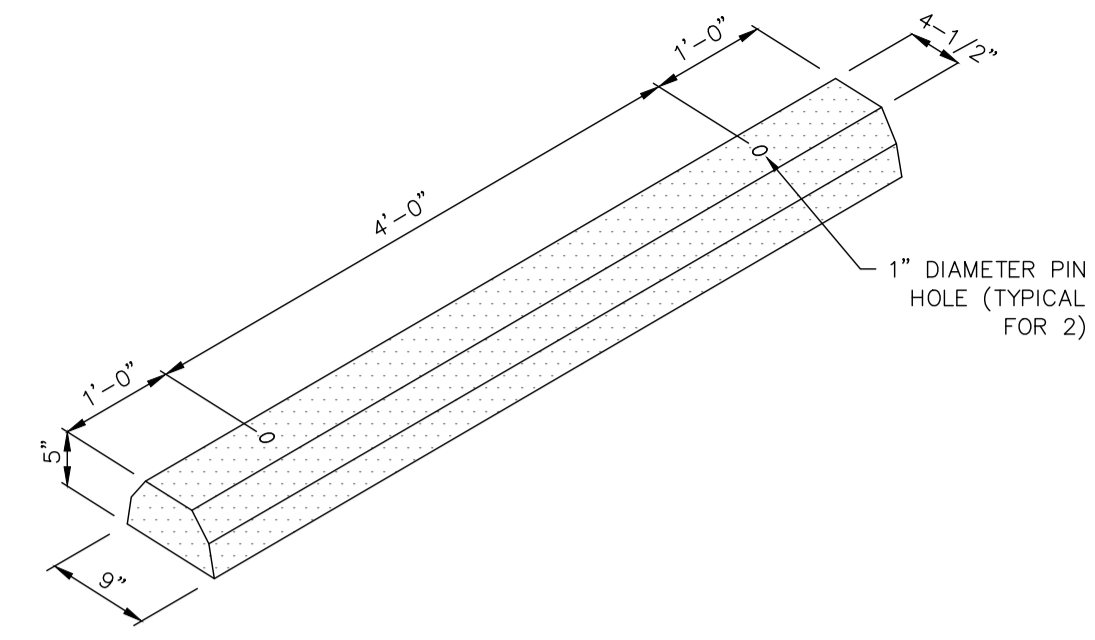
C802

Permitting Review Set - NOT FOR CONSTRUCTION

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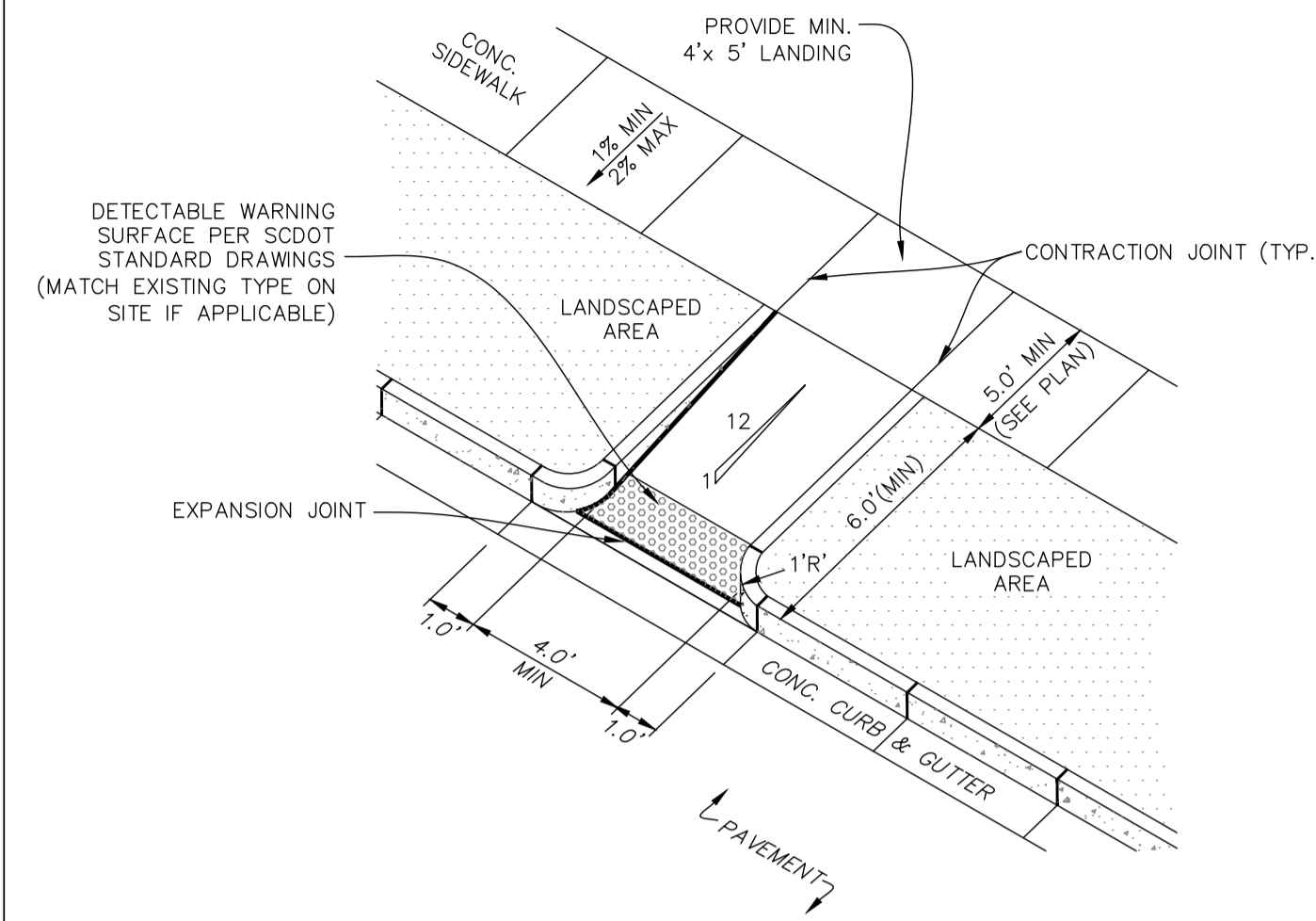


TYPICAL PERVIOUS CONCRETE PAVING



PRECAST CONCRETE WHEEL STOP

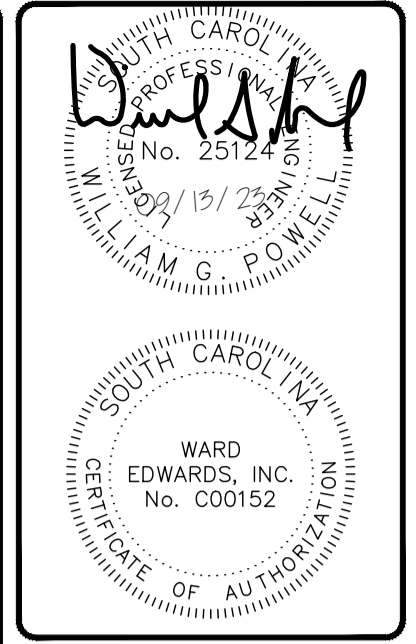
- NOTES:**
1. WHEEL STOPS SHALL BE STEEL REINFORCED PRECAST UNITS CONSISTING OF SCOT CLASS 3000 CONCRETE. MINIMUM ALTERNATE MATERIAL COMPOSITION MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 2. WHEEL STOPS SHALL BE INSTALLED PERPENDICULAR TO PARKING STALL AND SHALL BE PLACED A MINIMUM OF 18" FROM END OF PARKING STALL OR OBSTRUCTION.
 3. ANCHORING PINS SHALL BE DRIVEN FLUSH TO THE TOP OF THE WHEEL STOP AND PIN HOLES SHALL BE GROUTED UPON INSTALLATION.



- NOTES:**
1. ALL CONCRETE SHALL BE CLASS A, 3,000 PSI.
 2. REFER TO STANDARD DETAILS FOR SIDEWALKS, CURB & GUTTER, AND CONCRETE JOINTS.
 3. CURB RAMP SHALL BE BROOM-FINISHED TO PROVIDE A ROUGH, SKID-RESISTANT SURFACE. ALL JOINTS AND EDGES SHALL BE HAND TOOLED.
 4. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA. THE SURFACE OF THE RAMP SHALL BE FLUSH WITH THE FLOWLINE OF THE CURB AND GUTTER.
 5. PLACE DETECTABLE WARNING IN LINE AND FLUSH WITH BACK OF "DROPPED CURB".
 6. SIDE SLOPES OF THE RAMP ARE NOT TO EXCEED 12:1 (8.33%) AT ANY LOCATION WHERE PEDESTRIAN TRAFFIC CROSSES THE RAMP.
 7. CROSS SLOPES OF SIDEWALK, RAMP, AND LANDING TO BE BETWEEN 100:1 (1%) AND 50:1 (2%).

CONCRETE CURB RAMP- TYPE D

DETAIL 03300-033



No.	Description	Date
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Dunes House Redevelopment
Town of Hilton Head Island, South Carolina

Prepared for
Palmetto Dunes Property Owners' Association

Paving Details

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Not to Scale

C803

Permitting Review Set - NOT FOR CONSTRUCTION

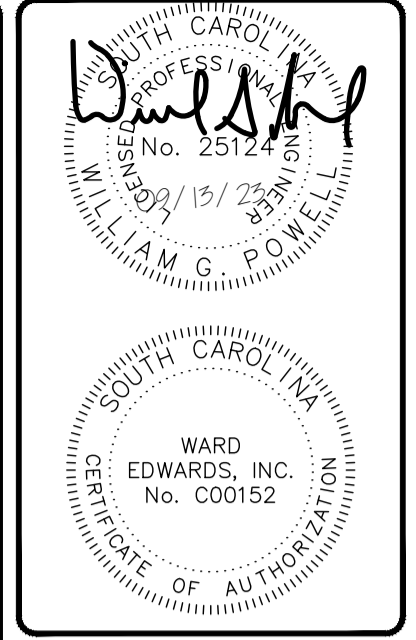
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- AS-BUILT SURVEY REQUIREMENTS**
- Contractor is responsible for providing an as-built topographic survey of the constructed project site. The survey shall conform to scdhcc and local government as-built requirements including, but not necessarily limited to the following:
- The survey shall be prepared and signed by a south carolina licensed land surveyor.
 - A signed hard copy and autocad file shall be provided to the engineer.
 - Elevations shall be based upon the same vertical datum used in the engineering plans.
 - The drawing shall be on the sc nad83 state plane coordinate system.
 - The survey shall include the following as-built information to include location and elevations:
 - a. Property lines
 - b. Building(s) with finished floor elevations
 - c. Paving to include elevations along edges and internal ridges and valleys (i.e. road crowns, inverted crown flow lines)
 - d. ADA-accessible ramps
 - e. Curb and gutter
 - f. Sidewalks
 - g. Signage
 - h. Storm inlets with pipe diameter(s), frame, and invert
 - i. Junction boxes with pipe diameter(s), frame, and invert
 - j. Sanitary sewer manholes with frame and invert
 - k. Pump stations to include fencing, controls, driveway, wetwell top/bottom elevations
 - l. Ditches to include top of bank, bottom of bank, and centerline
 - m. Ponds to include contours from top of bank to water surface and measured depth from water surface to pond bottom
 - n. Weir elevations and dimensions
 - o. Outlet control structures to include elevations and dimensions of all risers, grates, orifices, weirs, and outlet pipe inverts and diameters
 - p. Emergency spillway dimensions and elevations
 - q. Locations and inverts for all pipes discharging into the pond
 - r. All other visible site features to include valves, fdc's, hydrants, transformers, light poles, clean-outs, pedestals, service yards, fencing, hvac/mechanical devices, and bollards.

NOTE:
CONTRACTOR TO FOLLOW TRAFFIC CONTROL MEASURES
AND CONDUCT WORK WITHIN RIGHT-OF-WAY IN
CORRESPONDENCE TO SCDOT REGULATIONS.

SIGHT DISTANCE TRIANGLE
REQUIRED 335' INTERSECTION SD (FEET)
(PER TABLE 1-13 PC WITH 30 MPH DESIGN SPEED)
ACTUAL 335'

	Proposed
Drop Inlet	DI: A1
Curb Inlet (with Grate)	CI: A1
Type 16 Curb Inlet	CI: A1
Valley Gutter Inlet	VI: A1
Trench Drain	TD: A1
Weir Inlet	WI: A1
Yard Inlet	YI: A1
Junction Box	JB: A1
Cleanout	CO
Downspout	
Storm Drain	
Underdrain	
Roof Drain Collector	
Flared End Section	
Headwall	
Headwall with Wings	
Outlet Control Structure	
Ditch Centerline	
Direction of Flow	



No.	Description	Date
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(843) 837-5250
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Dunes House Redevelopment
Town of Hilton Head Island, South Carolina
Prepared for
Palmetto Dunes Property Owners' Association
Sight Exhibit Plan

Vert. Datum: NAVD88
Horiz. Datum: SC83IF
Surveyed by: JRK
Surveyor's PLS: 29901

Project #: 220146
Date: 09/13/2023
Designed by: EBU
Checked by: WGP

Scale: 1" = 30' Feet

C901


Permitting Review Set - NOT FOR CONSTRUCTION

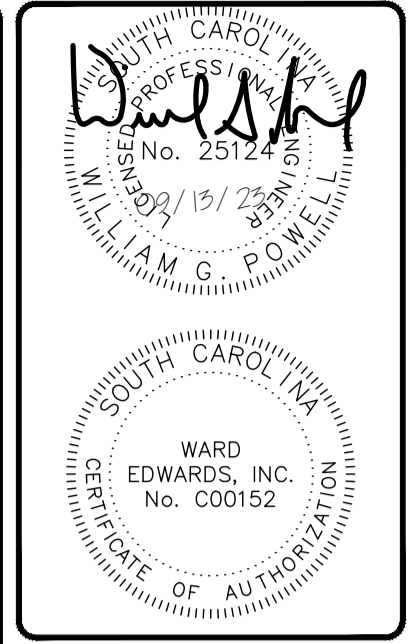
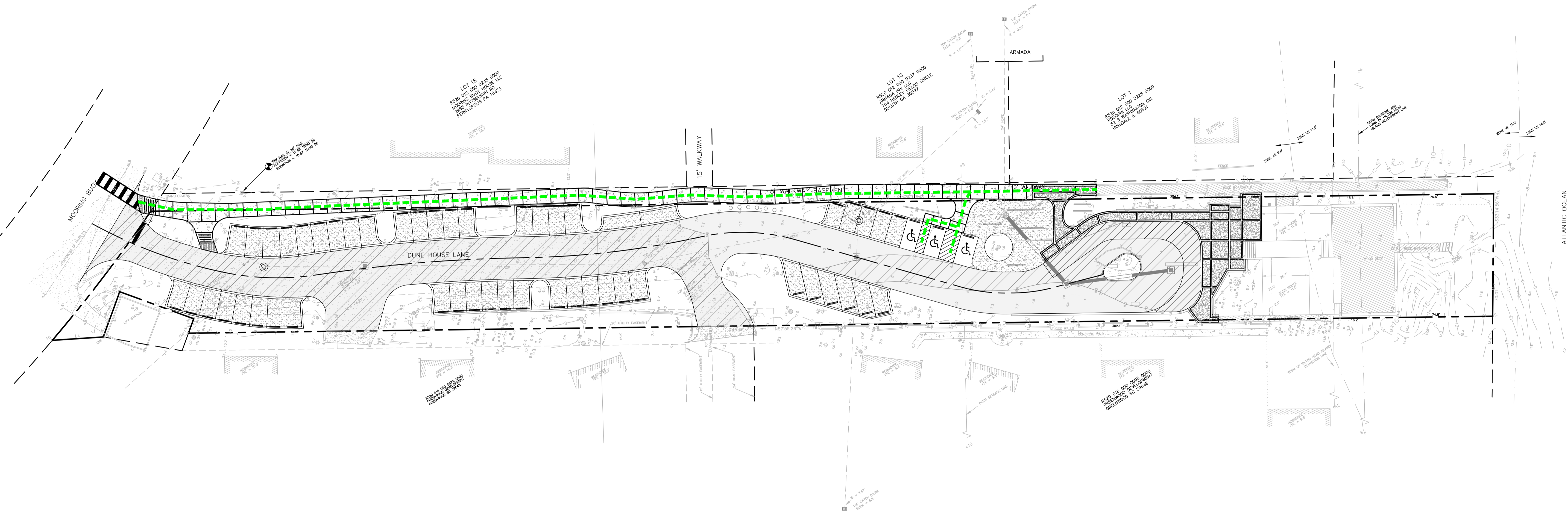


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- NOTES:**
- ACCESSIBLE ROUTE - EXTERIOR:**
 - Minimum clear width is 3'.
 - If accessible route has less than 5' clear width, then passing spaces at least 5'x5' shall be located every 200' or less (intersecting sidewalks meet this requirement).
 - Longitudinal (running) slope may not exceed 5% unless ramp is installed (ramps may not exceed 8.33%).
 - Cross slope may not exceed 2%.
 - Gaps in route may not exceed 1/2" in width.
 - FINISHED SURFACE HEIGHT REQUIREMENTS:**
 - 0 TO 1/4": No requirements
 - 1/4" TO 1/2": Bevel with 1:2 slope
 - Larger than 1/2": conform to requirements for ramp
 - RAMPS:**
 - Max slope 8.33% (1:12).
 - Ramps steeper than 8.33% are not acceptable.
 - Max rise for any ramp run is 30" (at 8.33% slope, maximum run of ramp is 30').
 - Max cross slope of ramp 2% (1:50).
 - RAMP LANDINGS:**
 - Ramps shall have level landings at bottom and top of each ramp.
 - Landing shall be at least as wide as ramp leading to it.
 - Landing length shall be minimum 5' clear.
 - If ramps change direction at landing, minimum landing size shall be 5'x5'.
 - All landings are to be no more than 2% slope in any direction.

- RAMP HANDRAILS:**
 - Handrails required on both sides (min. 36" clear between handrails) when ramp rise is greater than 6".
 - Provide minimum 12" long handrail extensions at top and bottom landings.
 - Provide minimum 2" high edge protection or rail with less than 4" clear to ramp if ramp has drop-offs.
 - Routes between buildings with only dwelling units do not have to have handrails.
 - Stairs not allowed as part of accessible route but if adjacent to route or part of tenant space must meet requirements for stair rails.
- CURB AND SIDEWALK RAMPS:**
 - Max slope of curb ramp 8.33%.
 - Max slope of side flares 10%.
 - Max slope of adjoining gutters, road surface, or accessible route 5%.
 - Min width 36" (not including side flares).
 - Detectable warning is required on curb ramps in public rights of way, and shall be 24" minimum in the direction of travel and extend the full width of the curb ramp or flush surface. Detectable warnings shall be located so the edge nearest the curb line is 6" to 8" from the curb line.
- PAVEMENT MARKINGS:**
 - As required by local Jurisdictional authority (recommended crosswalk marking to designate accessible pedestrian route)
- PARKING SPACES:**
 - Minimum 8' wide accessible parking space.
 - Minimum 5' wide access aisle at standard spaces.
 - Minimum 8' wide access aisle at van-accessible spaces.
 - Maximum 2% (1:50) slope in any direction.
- SIGNAGE:**
 - Accessible parking spaces shall be designated as reserved by a sign showing the symbol of accessibility. Van-accessible spaces shall have an additional sign "van-accessible" mounted below the symbol. Such signs shall be located so they cannot be obscured by a vehicle parked in the space (60" above grade unless other height required by local jurisdiction).
- ACCESSIBLE ROUTES:**
 - Must comply with ADA, the fair housing act, and ICC/ansi a117.1-2017.

 ADA Accessible route
NOTE:
 The accessible route shall comply with the current version of the ada standards for accessible design.



No.	Description	Date
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Dunes House Redevelopment
 Town of Hilton Head Island, South Carolina
 Prepared for
Palmetto Dunes Property Owners' Association
ADA Accessible Route Plan

Vert. Datum:	NAVD88
Horiz. Datum:	SC83IF
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220146
Date:	09/13/2023
Designed by:	EBU
Checked by:	WGP

Scale: 1" = 30' Feet
C1001

Permitting Review Set - NOT FOR CONSTRUCTION

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Dune House Lane Redevelopment

DRB#: DRB-001729-2023

DATE: 9/26/2023

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All facades shall have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Need color and material sample for final submittal.
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Will any lighting be added in project scope?
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Will the proposed Live Oak behind the retaining wall be successful in its root zone when it matures? Consider a better location.
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Provide material and color board and standard detail for proposed retaining wall near sidewalk. Provide visual for tabby sidewalk.

3. Questions for final submittal:

a. Will any lighting be included in the project scope?

b. Will the proposed Live Oak behind the retaining wall be successful in its root zone when it matures? Consider a better location.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: PDG Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Concours of HHI / Local Legend Brewery Project Address: 1014 William Hilton Parkway
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 2 5 3 0 0 0 0
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:
 _____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

8.31.23

DATE

September 12, 2023

Town of Hilton Head Island Design Review Board
One Town Center Court
Hilton Head Island, SC 29928

Project Narrative for the New Serg Brewery/Car Storage at 1014 William Hilton Parkway

The attached project consists of a renovation of the old 28,800 sq. ft. Grayco Hardware that includes a brewery/restaurant/high end car storage. The following are the changes to the site and building.

Building Architecture

The façade of the building is being changed from heavy textured stucco and gapped boards to a more modern look with a mixture of smooth stucco, linear brick, and Accoya wood siding. Curved Art Deco elements are being introduced that include the entry wall into Car Storage and the canopies for the Brewery. Living plant walls will be added to the beer garden on the Dunnagans Alley side that will shield the loading dock and a service yard from the public. Linear Kalwall panels will be added along the left side of the building to bring in natural light to the car storage portion.

Building Program

- The existing interior building footprint will remain the same.
- The building will be split into (2) different businesses. The space to the west will be a 13,200 sq. ft. high end car storage/club and the space to the east will be a 15,600 sq. ft. Brewery/Restaurant.

Site Program

- William Hilton Parkway side:
 - Parking remains mostly unchanged.
 - Landscaping has been updated.
 - The (2) entries to the building have been shifted for each space.
 - A functional spent grain silo was added in the center of building.
- Dunnagans Alley side:
 - New service curb cut has been added to Dunnagans Alley to the west side. This will service the dumpster, loading dock and rear entry to the car storage.
 - Parking lot has been pulled back around existing oaks to create a beer garden for the brewery/restaurant. More parking has been added around this beer garden.
 - Landscaping has been updated in this area.

Thank you for your time and consideration of this project.

Timothy C Probst, AIA





9 Club Boutique
Dining • Wine • Entertainment • Retail

CASTLE HILLS ALARM
PARKING



9 Car Boutique
Cleaning, Waxing, Detailing, Shine

PARKING



ne BREAD





The Yoga Center

Seasonal Skin Products Co.

CASABLANCA

UTG-942





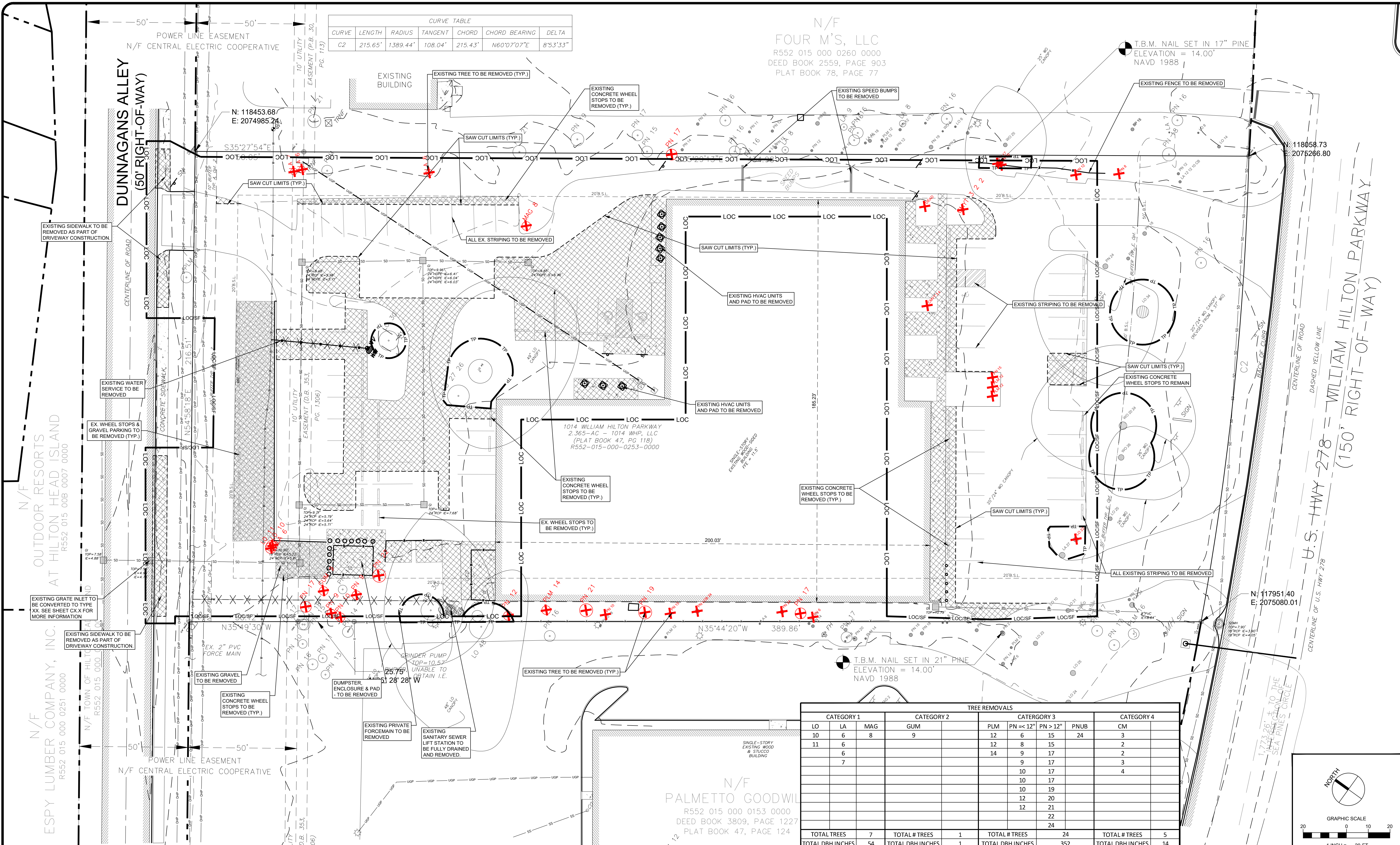
1014



SPEED
LIMIT
5







CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C2	215.65'	1389.44'	108.04'	215.43'	N60°07'07"E	8°53'33"

N/F
FOUR M'S, LLC
 R552 015 000 0260 0000
 DEED BOOK 2559, PAGE 903
 PLAT BOOK 78, PAGE 77

N/F
OUTDOOR RESORTS AT HILTON HEAD ISLAND
 R552 015 000 0007 0000

N/F
ESPY LUMBER COMPANY, INC.
 R552 015 000 0251 0000

N/F
PALMETTO GOODWILL
 R552 015 000 0153 0000
 DEED BOOK 3809, PAGE 1227
 PLAT BOOK 47, PAGE 124

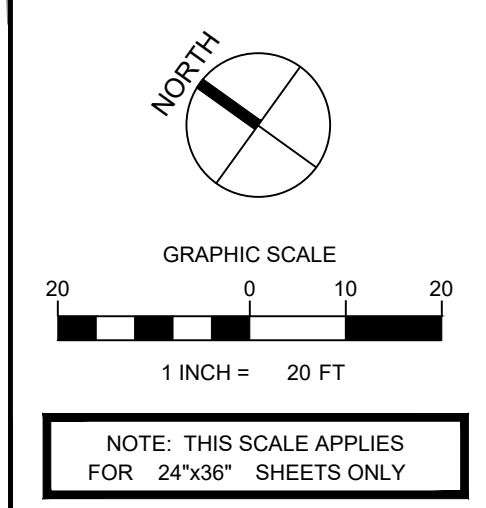
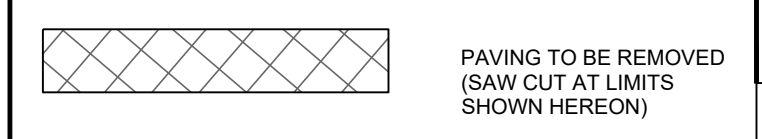
U.S. HWY 278
 (150' RIGHT-OF-WAY)
 DASHED YELLOW LINE
 CENTERLINE OF U.S. HWY 278
 N: 117951.40
 E: 2075080.01

TREE REMOVALS									
CATEGORY 1			CATEGORY 2		CATEGORY 3			CATEGORY 4	
LO	LA	MAG	GUM	PLM	PN < 12"	PN > 12"	PNUB	CM	
10	6	8	9	12	6	15	24	3	
11	6			12	8	15		2	
	6			14	9	17		2	
	7				9	17		3	
					10	17		4	
					10	17			
					10	19			
					12	20			
					12	21			
					22				
					24				
TOTAL TREES			TOTAL # TREES	TOTAL # TREES			TOTAL # TREES		
7			1	24			5		
TOTAL DBH INCHES			TOTAL DBH INCHES	TOTAL DBH INCHES			TOTAL DBH INCHES		
54			1	352			14		

DEMOLITION NOTES:

- OWNER'S REPRESENTATIVE, GOVERNING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL COORDINATE WITH GOVERNING AGENCIES AND ALL UTILITY COMPANIES TO COORDINATE TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS INCLUDING ANY REQUIRED INSPECTIONS.
- CONTRACTOR SHALL REMOVE ALL BUILDINGS, FOUNDATIONS, PAVEMENT, CURB, SIGNS, LIGHTS, FENCES, TREES, SHRUBS, UTILITIES AND ANY OTHER STRUCTURES AS INDICATED AND DISPOSE OF THAT MATERIAL IN A LEGAL MANNER.
- UTILITIES TO REMAIN IN-PLACE SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- DEMOLITION OF ASPHALT PAVING SHALL INCLUDE REMOVAL OF SURFACE AND ANY BINDER SECTIONS. AFTER ASPHALT REMOVAL, THE SITE GEOTECHNICAL ENGINEER SHALL INSPECT STONE BASE COURSE TO DETERMINE CONDITION. IF EXISTING STONE BASE COURSE IS ACCEPTABLE TO PROJECT GEOTECHNICAL ENGINEER, IT SHALL BE REUSED. UNACCEPTABLE STONE BASE COURSE SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL EXISTING PAVEMENT EDGES SHALL BE SAW CUT TO A STRAIGHT EDGE. ALL NEW PAVEMENT EDGES SHALL BE CONSTRUCTED IN A STRAIGHT AND NEAT MANNER.
- ANY HISTORICALLY SIGNIFICANT ARTICLES (CORNER STONES, ETC.) FOUND DURING CONSTRUCTION SHALL BE PRESENTED TO THE OWNER FOR CLASSIFICATION. CONTRACTOR SHALL STOP WORK IN THE AREA OF THE FIND AND IMMEDIATELY NOTIFY THE OWNER AND GOVERNING AGENCIES FOR DIRECTION. THE OWNER SHALL RETAIN ALL MATERIAL IT CONSIDERS SIGNIFICANT. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE.
- THE CONTRACTOR SHALL TURN OVER ANY REMOVED PUBLIC UTILITY ITEMS, I.E. WATER METERS, TO THE UTILITY DEPARTMENT. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DEBRIS FROM DEMOLITION OPERATIONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- TREES TO BE SAVED SHALL BE PROTECTED FROM CONSTRUCTION DISTURBANCE PRIOR TO DETAIL. TREES NOT SHOWN TO BE SAVED SHALL BE REMOVED.
- CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE LOCAL, STATE, OSHA AND FEDERAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AS NECESSARY AND AT THE DIRECTION OF THE OWNER OR GOVERNING AGENCIES FOR PUBLIC SAFETY AND JOB SITE SECURITY.
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - POTABLE WATER LINES
 - SANITARY SEWER LINES
 - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
 - GAS LINES
 - TELEPHONE LINES
 - CABLE TELEVISION LINES
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - STORMWATER CONVEYANCE LINES
 - ANY SUBCONTRACTOR BIDDING ON THIS JOB SHALL BE REQUIRED TO PERFORM A SITE VISIT PRIOR TO SUBMITTAL OF BID.
 - UNLESS SPECIFICALLY NOTED ON THE PLAN TO BE ABANDONED IN PLACE OR PROTECTED, ALL UTILITIES ON SITE (OVERHEAD OR UNDERGROUND) SHALL BE ENTIRELY REMOVED TO THE PROPERTY LINE, OR SERVICE POLE ENDS OF PIPES BEYOND PROPERTY LINE TO BE ABANDONED SHALL BE PROPERLY CAPPED OR PLUGGED AS REQUIRED BY GOVERNING UTILITY COMPANY.
 - DEMOLITION OF BUILDINGS SHALL INCLUDE ALL PORTIONS OF THE STRUCTURE, BOTH ABOVE GROUND AND SUBSURFACE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDED ANY TRAFFIC CONTROL MEASURES NECESSARY FOR DEMOLITION OPERATIONS.
- DEMOLITION OF CONCRETE CURB, CURB AND GUTTER, AND SIDEWALK SHALL BE CONSIDERED TO EXTEND TO THE NEXT CONSTRUCTION JOINT PAST THE LIMITS SHOWN ON THE DEMOLITION PLAN.

LEGEND



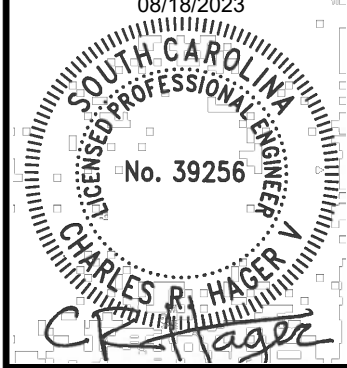
811
 Know what's below.
 Call before you dig.

HILTON HEAD BREWING
 1014 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND,
 SOUTH CAROLINA 29928

EXISTING CONDITIONS & DEMOLITION PLAN

NO.	DATE	BY	DESCRIPTION

DATE: 08/18/2023
 DESIGNED BY: RJS
 DRAWN BY: RJS
 CHECKED BY: CRH
 JOB NUMBER: A3465-6401
 FILE PATH:

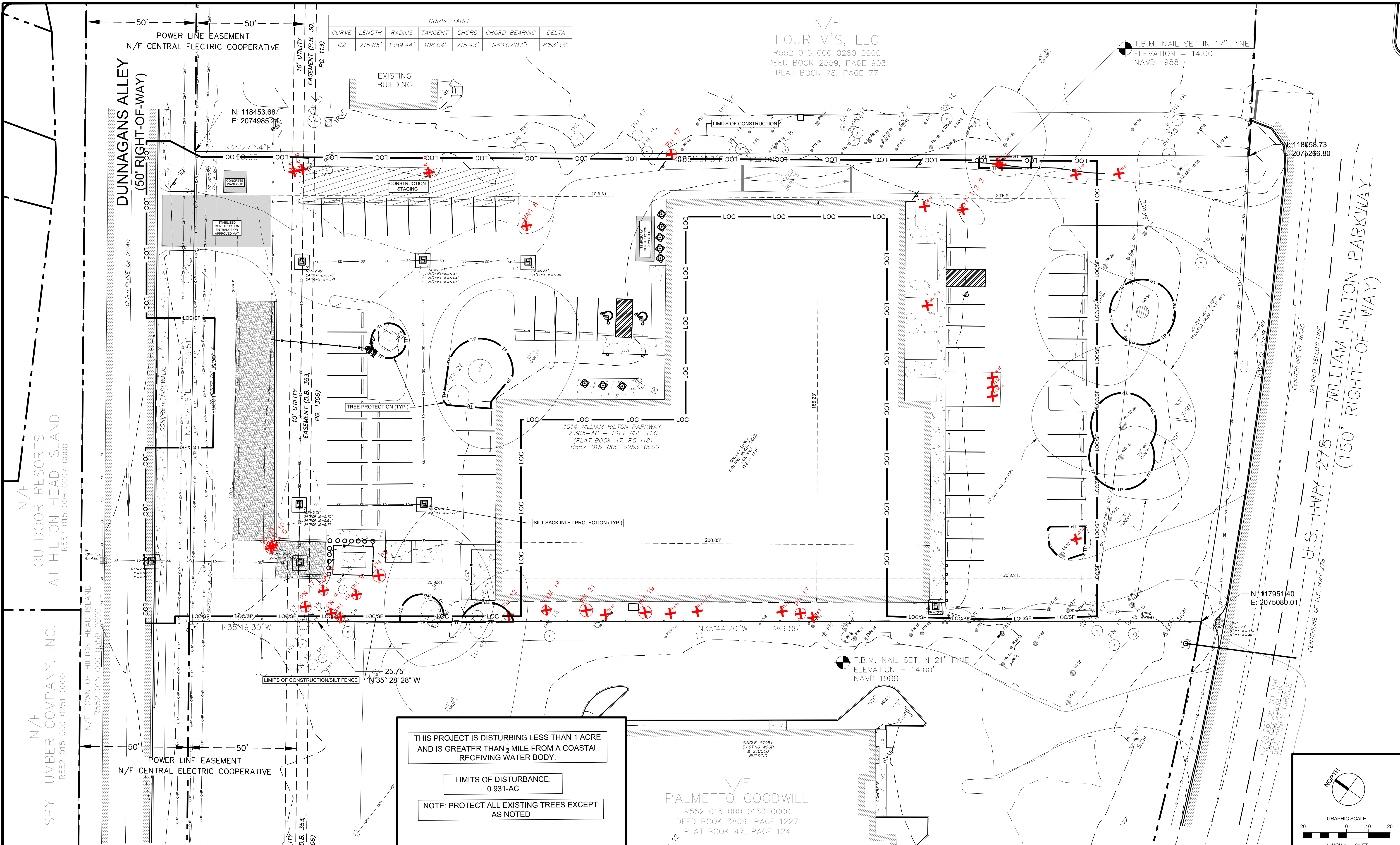


LJA Engineering, Inc.
 171 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone 843.406.5140
 www.lja.com
 FRN-C06168

LJA Engineering, Inc.
 171 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone 843.406.5140
 www.lja.com
 FRN-C06168

SHEET NO.
C1.0

EX-142450-0001-C06168-001-SHEETS-0401-EX-CONDITIONS & DEMOLITION PLAN.dwg
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CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C2	215.65'	1389.44'	108.04'	215.43'	N60°07'07"E	8°53'33"

THIS PROJECT IS DISTURBING LESS THAN 1 ACRE AND IS GREATER THAN 1/2 MILE FROM A COASTAL RECEIVING WATER BODY.

LIMITS OF DISTURBANCE: 0.931-AC

NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

SWPPP NOTES:

- REFERENCE SWPPP NOTES ON SHEET C0.1.
- REFERENCE SCDHEC STANDARD NOTES ON SHEET C0.1.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- WHEN ACCESSING SITE, PROVIDE A 100' LONG BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 6" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MASONRY INLETS SHALL BE LEFT LOW ENOUGH, DURING CONSTRUCTION, FOR WATER TO ENTER.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY ONE (21) DAYS.
- ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLLOWING: THE GROUND PREPARATION, FURNISHING AND PLANTING, SEEDING, FERTILIZING AND MULCHING OF ALL DISTURBED AREAS IN THE PROJECT AREA.
- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. MAINTAIN THROUGHOUT CONSTRUCTION.
- INSTALL TREE PROTECTION.
- INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.
- REMOVE TREES AS SHOWN PER PLAN.
- COMPLETE DEMOLITION AS PER C1.0
- BEGIN BUILDING CONSTRUCTION.
- INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
- INSTALL PARKING AREA.
- PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.
- REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

SEQUENCE OF CONSTRUCTION

PHASE I

- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. MAINTAIN THROUGHOUT CONSTRUCTION.
- INSTALL TREE PROTECTION.
- INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.
- REMOVE TREES AS SHOWN PER PLAN.
- COMPLETE DEMOLITION AS PER C1.0
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- INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
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- REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

PHASE II

- BEGIN BUILDING CONSTRUCTION.
- INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.

LEGEND

- SF SILT FENCE, SEE DETAIL
- LOD LIMITS OF DISTURBANCE
- TP TREE FENCE
- PERMANENT SEEDING AREA
- PS PERMANENT SEEDING
- DS DUST CONTROL
- INLET PROTECTION, SEE DETAIL

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928

SWPPP PLAN PHASE I

NO.	DATE	BY	DESCRIPTION

DESIGNED BY: RJS
DRAWN BY: RJS
CHECKED BY: CRH
JOB NUMBER: A3465-0401
FILE PATH:

08/18/2023
SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 39256
CHARLES B. HIGGINS
C.B. Higgins

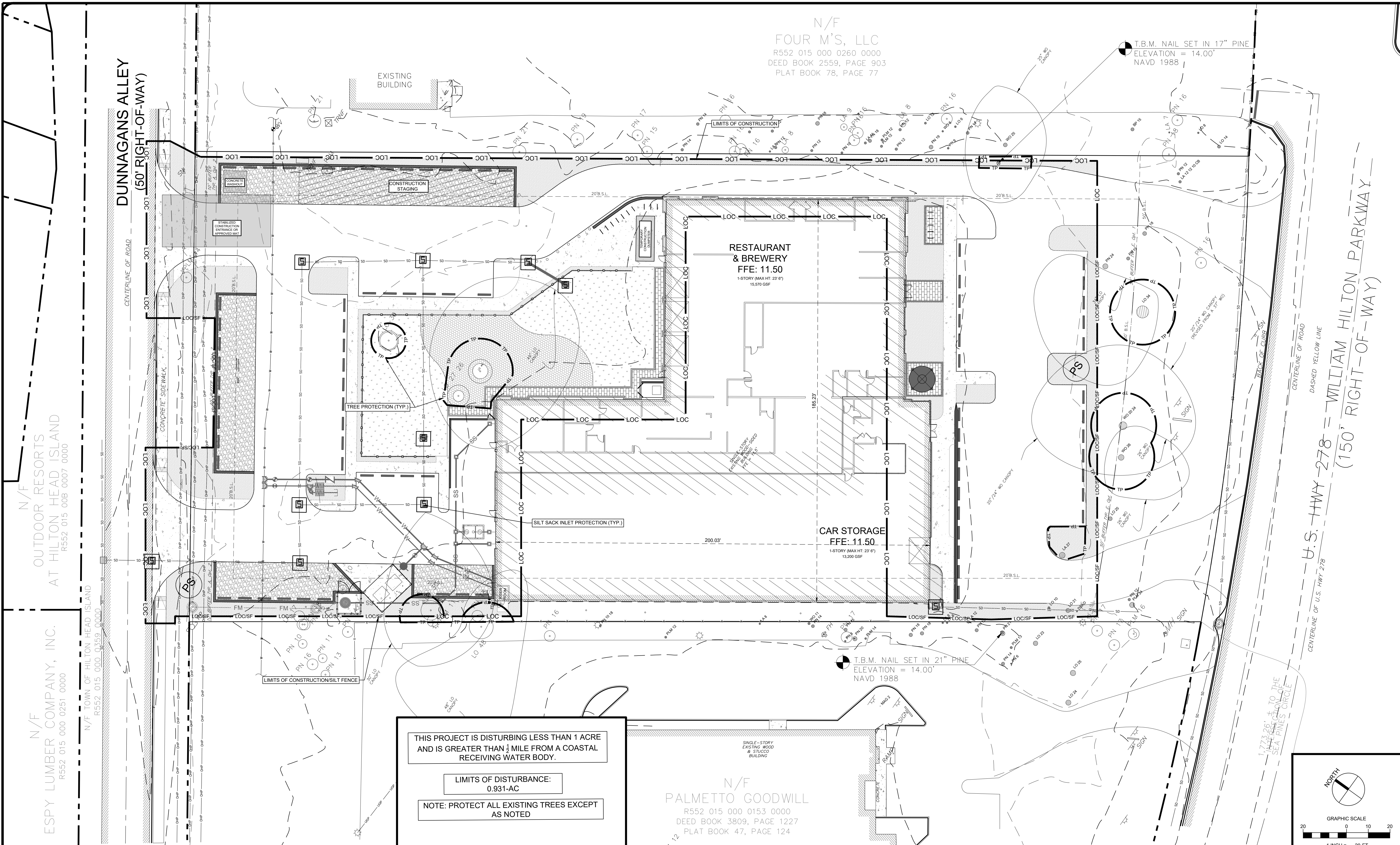
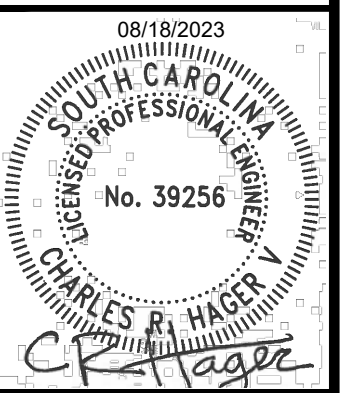
LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401
Phone 843.406.5140
www.lja.com
FRN-C06168

SHEET NO. **C1.1**

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User: rjsharper Aug 23 - 13:21
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NO.	DATE	BY	DESCRIPTION

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DESIGNED BY:	RJS
DRAWN BY:	RJS
CHECKED BY:	CRH
JOB NUMBER:	AS465-5401
FILE PATH:	



SWPPP NOTES:

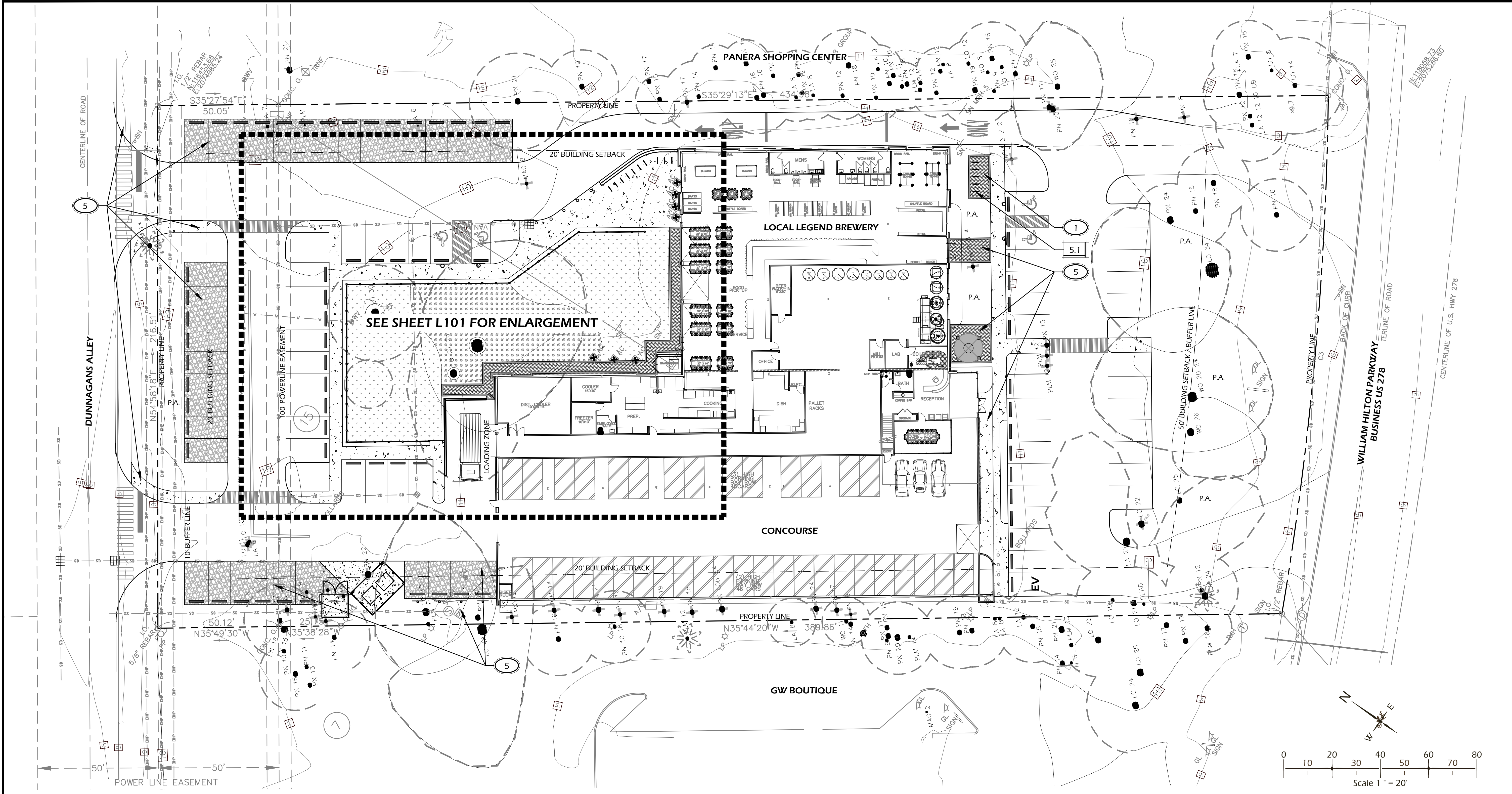
- REFERENCE SWPPP NOTES ON SHEET C0.1.
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- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

SEQUENCE OF CONSTRUCTION

LEGEND

- SF — SILT FENCE, SEE DETAIL
- LOD — LIMITS OF DISTURBANCE
- TP — TREE FENCE
- PS — PERMANENT SEEDING AREA
- DS — PERMANENT SEEDING
- DS — DUST CONTROL
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SITE DETAILS LEGEND

CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
5.2	BOLLARD	4/L600

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
- ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
- ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
- ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.

Winter Jones-Heefer Ltd.
landscape architecture
land planning
www.wjkltd.com
28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.787.7411

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"X36"

**SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA**

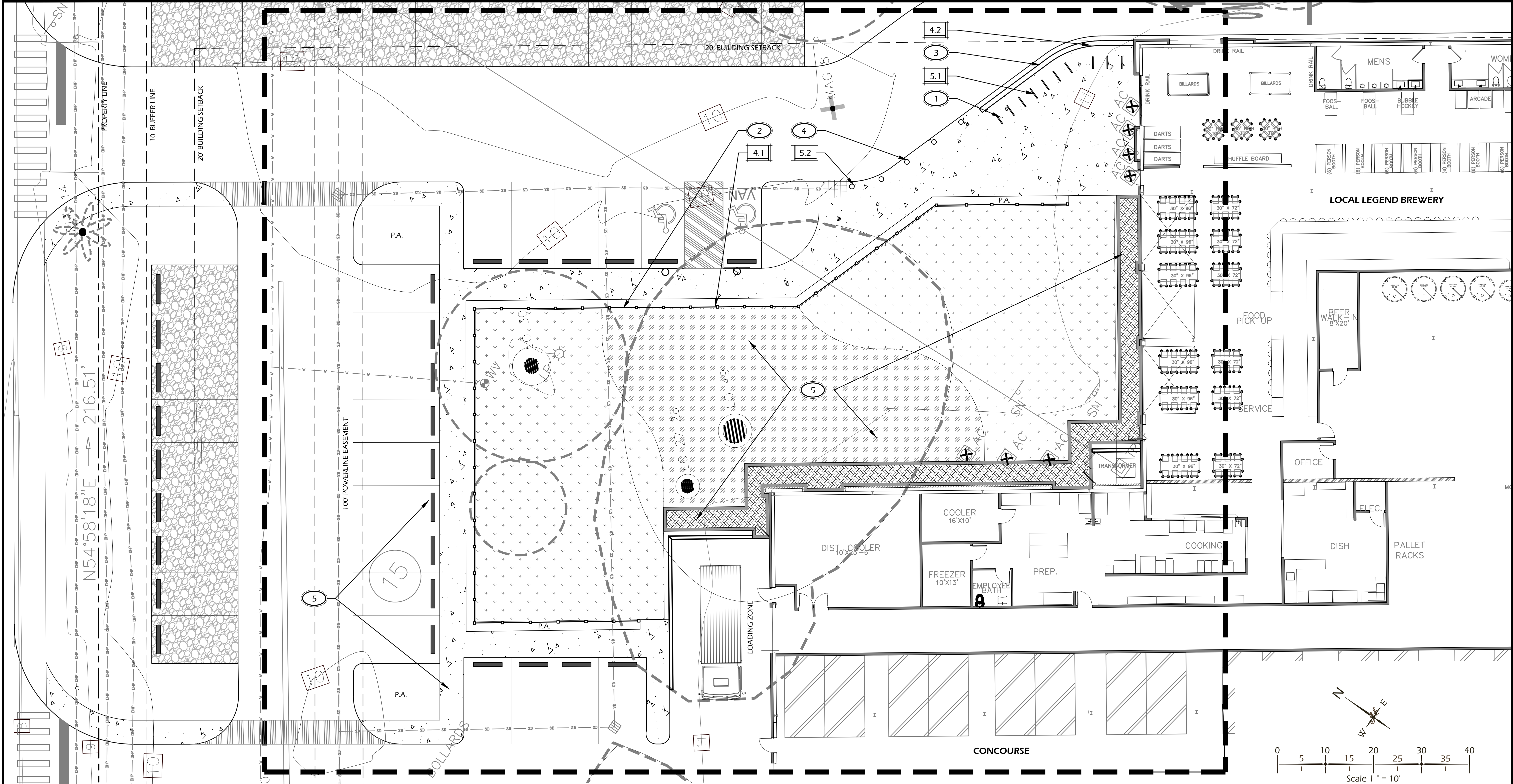
DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L100



SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
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- KEY SHEET REFERENCE NOTES:**
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 - ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
 - ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
 - ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
 - ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.


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SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

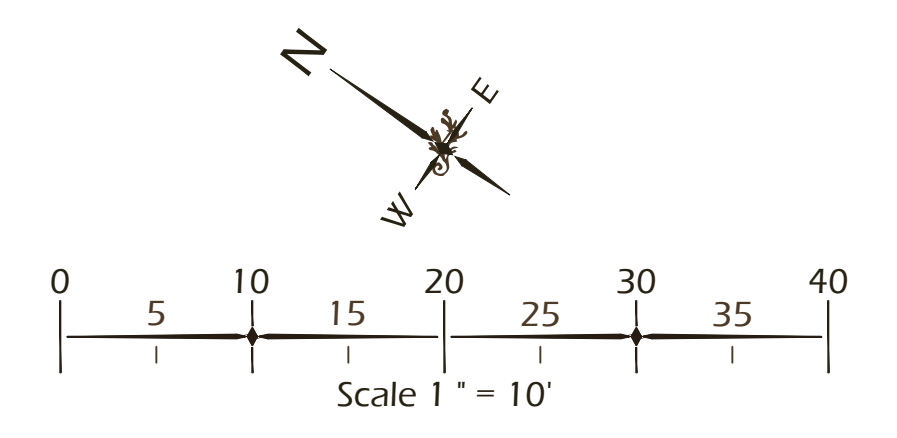
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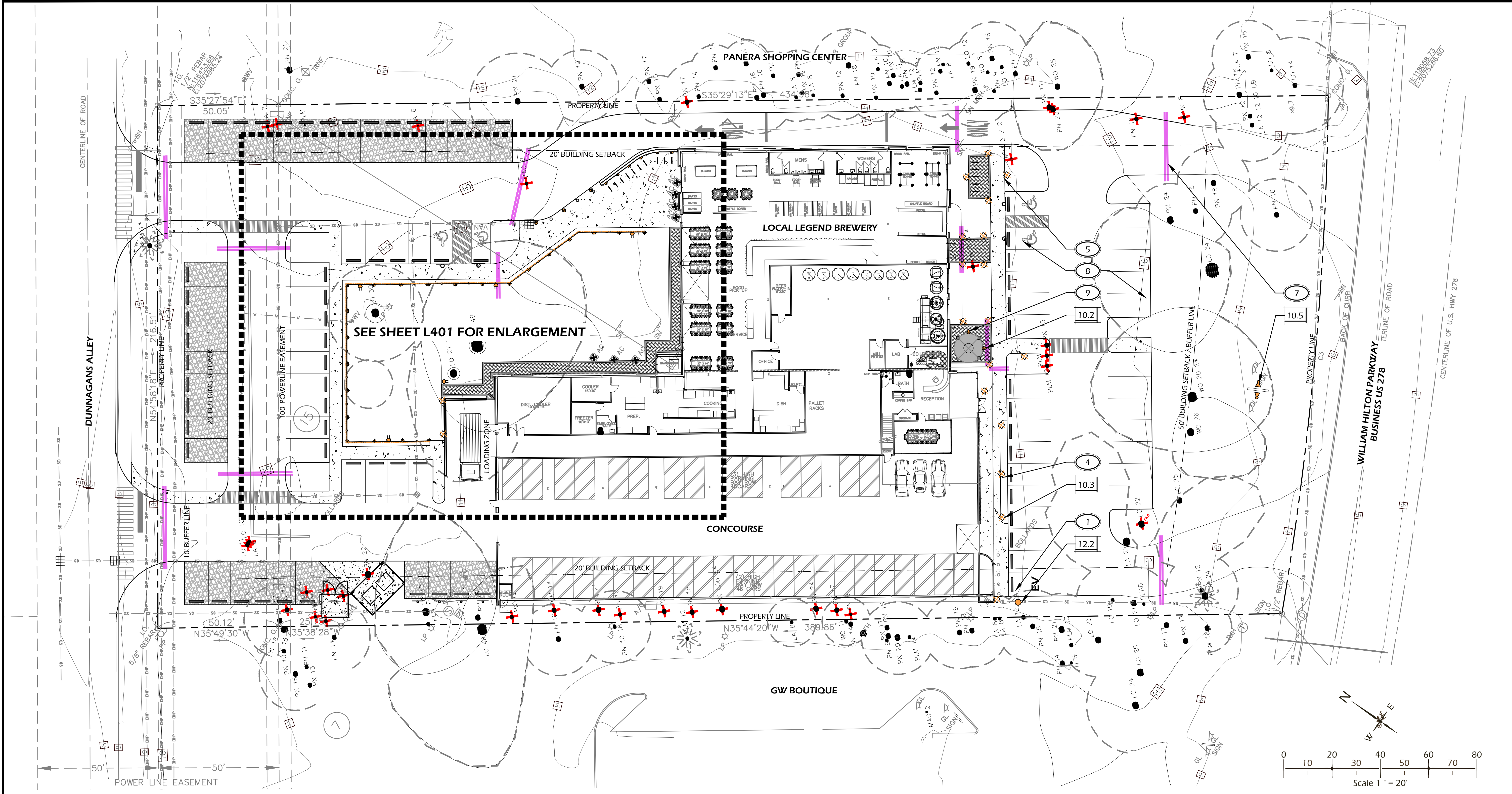
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DRAWING NUMBER
L101





SEE SHEET L401 FOR ENLARGEMENT

SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

SITE UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

1. ELECTRIC VEHICLE CHARGING STATION, POST MOUNT. TO BE SELECTED AND APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION. COORDINATE WITH CIVIL ENGINEERS UTILITY PLANS.
2. G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
3. LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
4. SPACE LIGHTS EQUALLY AS SHOWN.
5. PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
6. ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
7. 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
8. PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
9. WELL LIGHT LOCATION TO BE STAKED IN FIELD PRIOR TO PAVEMENT INSTALLATION TO ENSURE COVERAGE AND ORIENTATION ASSOCIATED WITH SPENT GRAIN SILO. LIGHTS TO BE ADJUSTED IN-FIELD FOR OPTIMAL COVERAGE AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

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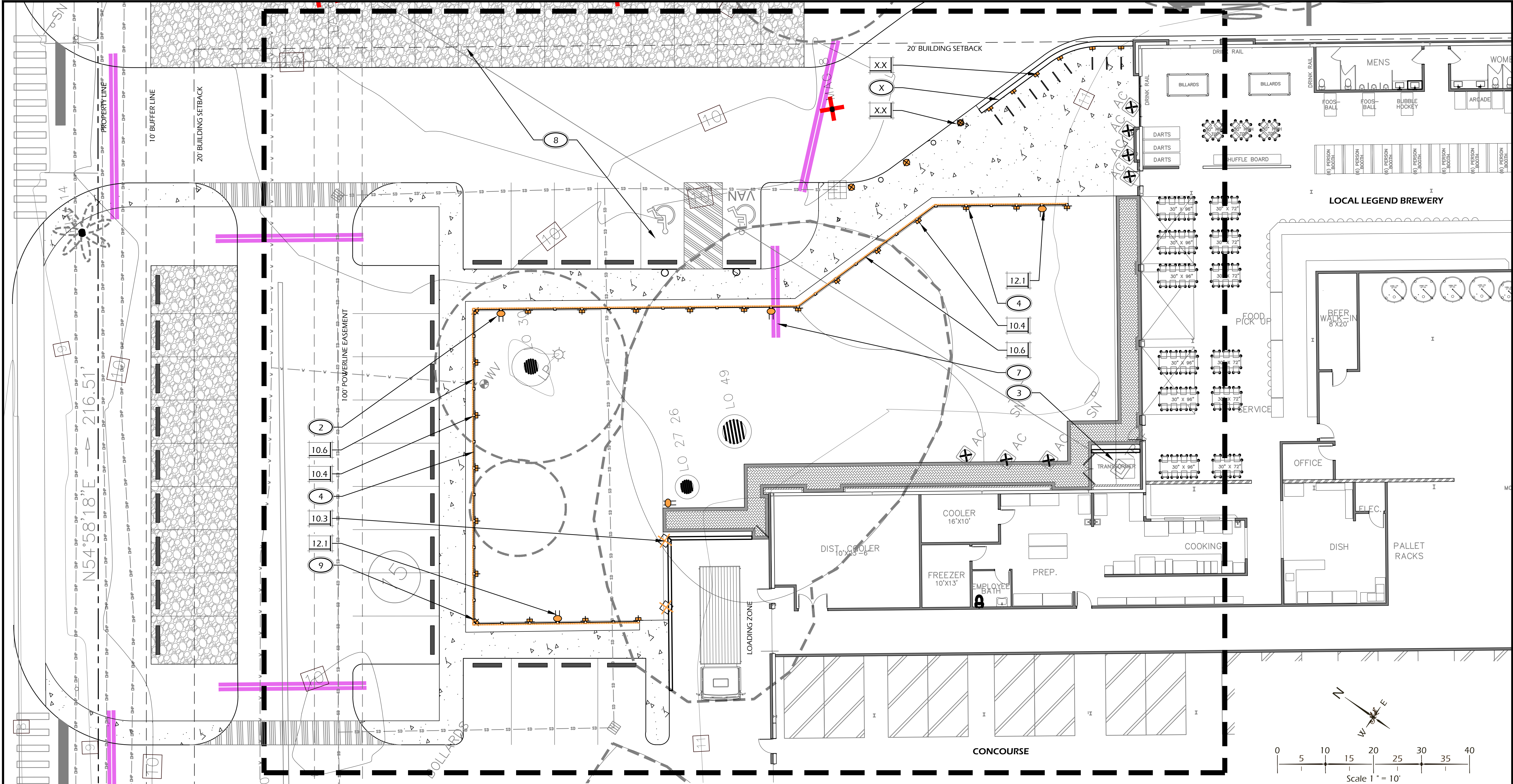
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SITE UTILITY PLAN

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SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

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12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

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LIGHTING / UTILITY REFERENCE NOTES:

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- 2 G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
- 3 LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- 4 SPACE LIGHTS EQUALLY AS SHOWN.
- 5 PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
- 6 ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
- 7 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
- 8 PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
- 9 ALL STRING LIGHT AND WALL LIGHT CONDUIT TO BE HIDDEN WITHIN WOOD POSTS.

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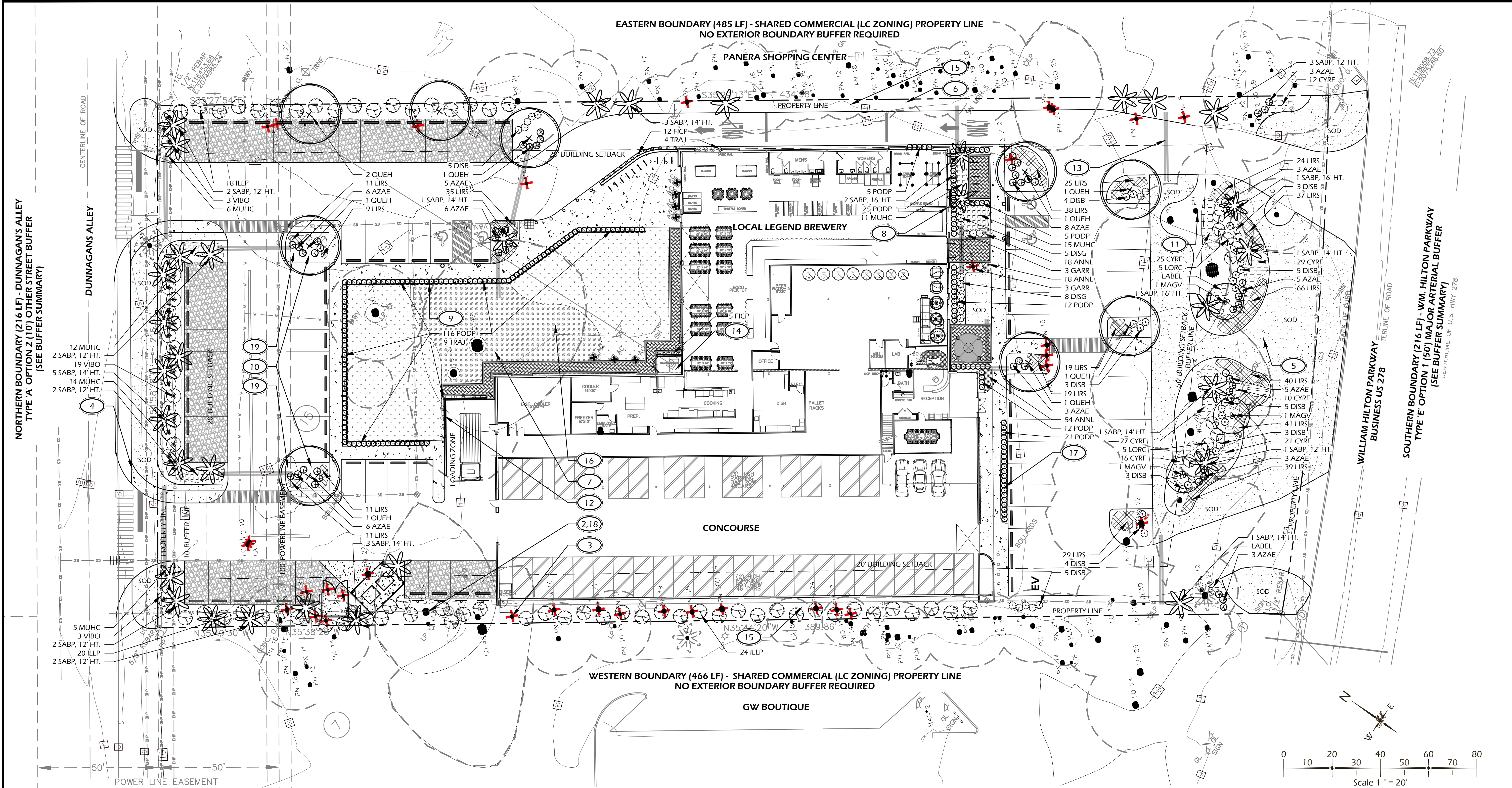
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SITE UTILITY PLAN

DRAWING NUMBER
L401



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L510
14.2	PALM TREE PLANTING	2/L510
14.3	SHRUB PLANTING	3/L510
14.4	GROUND COVER PLANTING	4/L510
14.5	ROOT BARRIER	5/L510

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
OUEH	Quercus virginiana 'QVITA' PP	High Rise Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
MAGV	Magnolia virginiana	Sweetbay Magnolia
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
DICG	Distylium 'Cinnamon Girl' (PID51V) PP27,631	Cinnamon Girl Distylium
DISB	Distylium 'Blue Cascade' (PID514) PP24409	Blue Cascade Distylium
GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia
ILLP	Illicium parviflorum	Yellow Anise
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Pingie Flower
PODP	Podocarpus macrophyllus 'Pirngles Dwarf'	Dwarf Podocarpus
VIBO	Viburnum odoratissimum	Sweet Viburnum
ORNAMENTAL GRASSES & FERNS		
CYRF	Cymbidium falcatum	Holly Fern
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
ANNL	Annuals	Annuals
FICP	Ficus pumila	Creeping Fig
LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope
TRAJ	Trachelospermum jasminoides	Confederate Jasmine
SOD & MULCH		
SODSF		Empire Zoysia Sod
MULCHSF	Pine Straw - all disturbed areas	Pine Straw

- PLANTING REFERENCE NOTES:**
- EXISTING VEGETATION TO REMAIN.
 - EXISTING TREES TO REMAIN.
 - EXISTING TREES TO BE REMOVED. SEE SHEET L501 FOR TREE MITIGATION SUMMARY.
 - EXISTING OVERHEAD UTILITY LINE TO REMAIN. DO NOT DISTURB. NO OVERSTORY TREES SHALL BE PLANTED IN EASEMENT.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL GRASS DAMAGED DURING CONSTRUCTION.
 - SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS ALONG SHARED PROPERTY LINES.
 - MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - ALIGN ALL PALM TREES, AT FRONT OF BUILDING, WITH BUILDING COLUMNS TO FRAME WINDOW.
 - ALIGN SHRUB LAYOUT GRID WITH WOOD DRINK RAIL FENCE.
 - ALL PARKING LOT MEDIAN PLANTINGS SHALL BE 12"-18" OFF EDGE OF ROAD / PARKING AREA AT TIME OF MATURITY.
 - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
 - TRAIN TRAJ TO WIRE SUPPORTS ON WALL. SUPPORT STRUCTURE PER ARCHITECT'S DRAWINGS.
 - PROVIDE TWO (2) 4" P.V.C. CONDUIT FOR IRRIGATION AND LOW VOLTAGE LIGHTING. LOCATION TO BE COORDINATED WITH CIVIL ENGINEERS DRAWINGS.
 - COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER.
 - NO BUFFER REQUIRED IN LIGHT COMMERCIAL ZONING FOR ADJACENT SIMILAR USES.
 - REFER TO CIVIL ENGINEER DRAWINGS FOR SURFACING IN COURTYARD.
 - SEE SHEET L400 AND L401 FOR LOW VOLTAGE LIGHT FIXTURE LOCATION AND SPECIFICATION.
 - REVIEW HEALTH OF EXISTING TREE WITH ARBORIST PRIOR TO REMOVAL OF EXISTING PAVEMENT WITHIN DRIP LINE. FOLLOW ARBORIST'S INSTRUCTION FOR PAVEMENT REMOVAL TO MINIMIZE DAMAGE TO TREE ROOTS. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT. PROVIDE PRE AND POST CONSTRUCTION FERTILIZATION PLAN WITH A MYCOR TREATMENT AND TO BE COMPLETED BY A CERTIFIED ARBORIST. LIMIT GRADING WITHIN TREE PROTECTION FENCE AREA TO HAND DIGGING, TAKING CARE NOT TO DISTURB ROOTS.
 - PLANTING PLAN MAY REQUIRE MODIFICATIONS DUE TO ANY POTENTIAL CONFLICTS WITH UTILITIES. ANY CHANGES TO PLANTING PLAN WILL BE COORDINATED WITH TOWN STAFF.

BUFFER SUMMARY:

**NORTHERN BOUNDARY (216 LF) - DUNNAGAN'S ALLEY
20' ADJACENT STREET SETBACK - OTHER STREET
TYPE 'A' OPTION 2 (10') OTHER STREET BUFFER:**

OVERSTORY TREES: 2 TREES PER 100 LF - 4 TREES REQUIRED (4 SABP PROVIDED DUE TO POWERLINE EASEMENT)
UNDERSTORY TREES: 5 TREES PER 100 LF - 9 TREES REQUIRED
EVERGREEN SHRUBS: 10 SHRUBS PER 100 LF - 22 SHRUBS REQUIRED

**EASTERN BOUNDARY (485 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**

**SOUTHERN BOUNDARY (216 LF) - WM. HILTON PARKWAY
50' ADJACENT STREET SETBACK - MAJOR ARTERIAL
TYPE 'E' OPTION 1 (50') MAJOR ARTERIAL BUFFER:**

OVERSTORY TREES: 4 TREES PER 100 LF - 9 TREES REQUIRED (9 EXISTING)
UNDERSTORY TREES: 5 TREES PER 100 LF - 11 TREES REQUIRED (1 EXISTING, 10 PROPOSED)
EVERGREEN SHRUBS: 20 SHRUBS PER 100 LF - 43 SHRUBS REQUIRED

**WESTERN BOUNDARY (466 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**

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CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

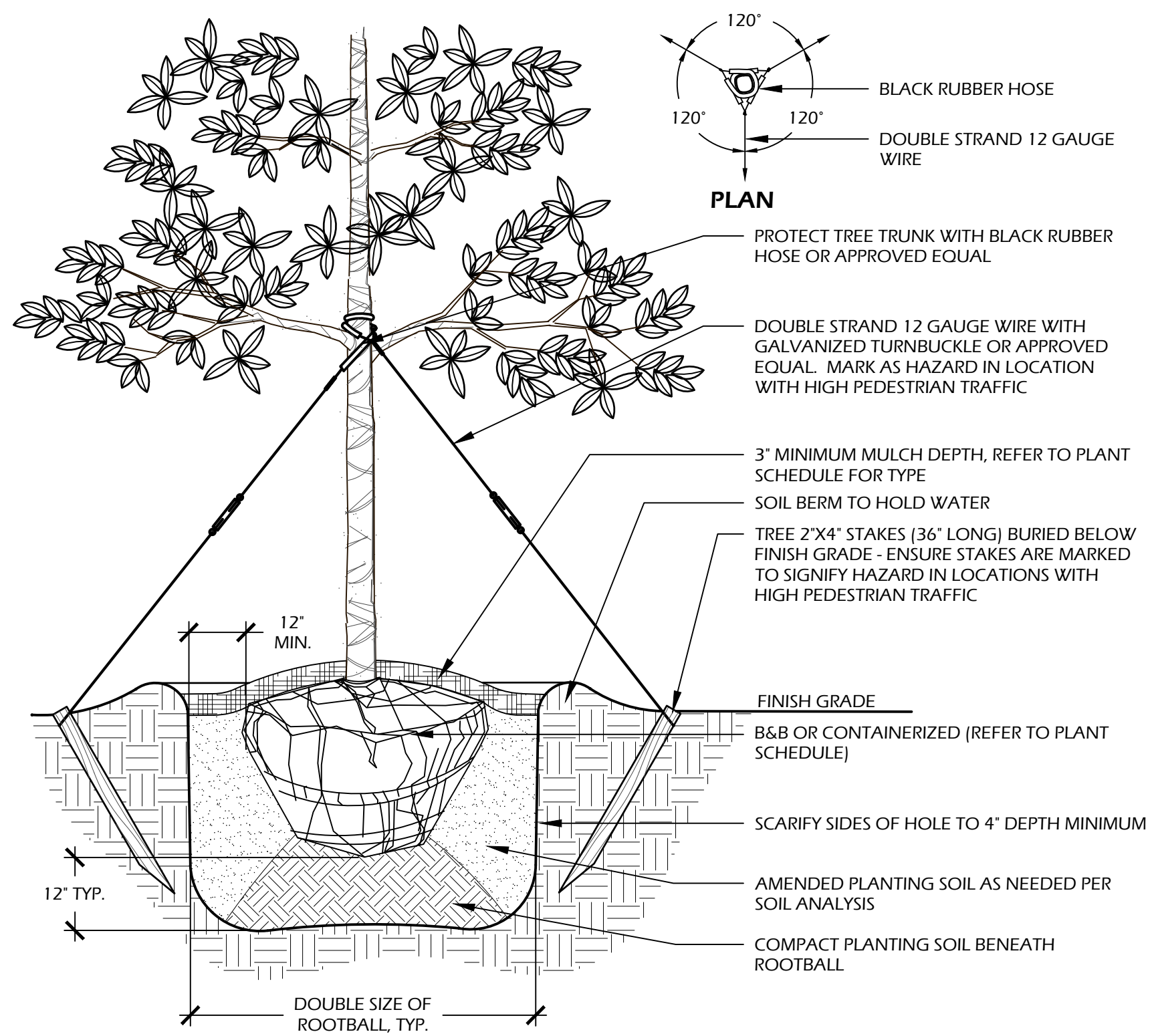
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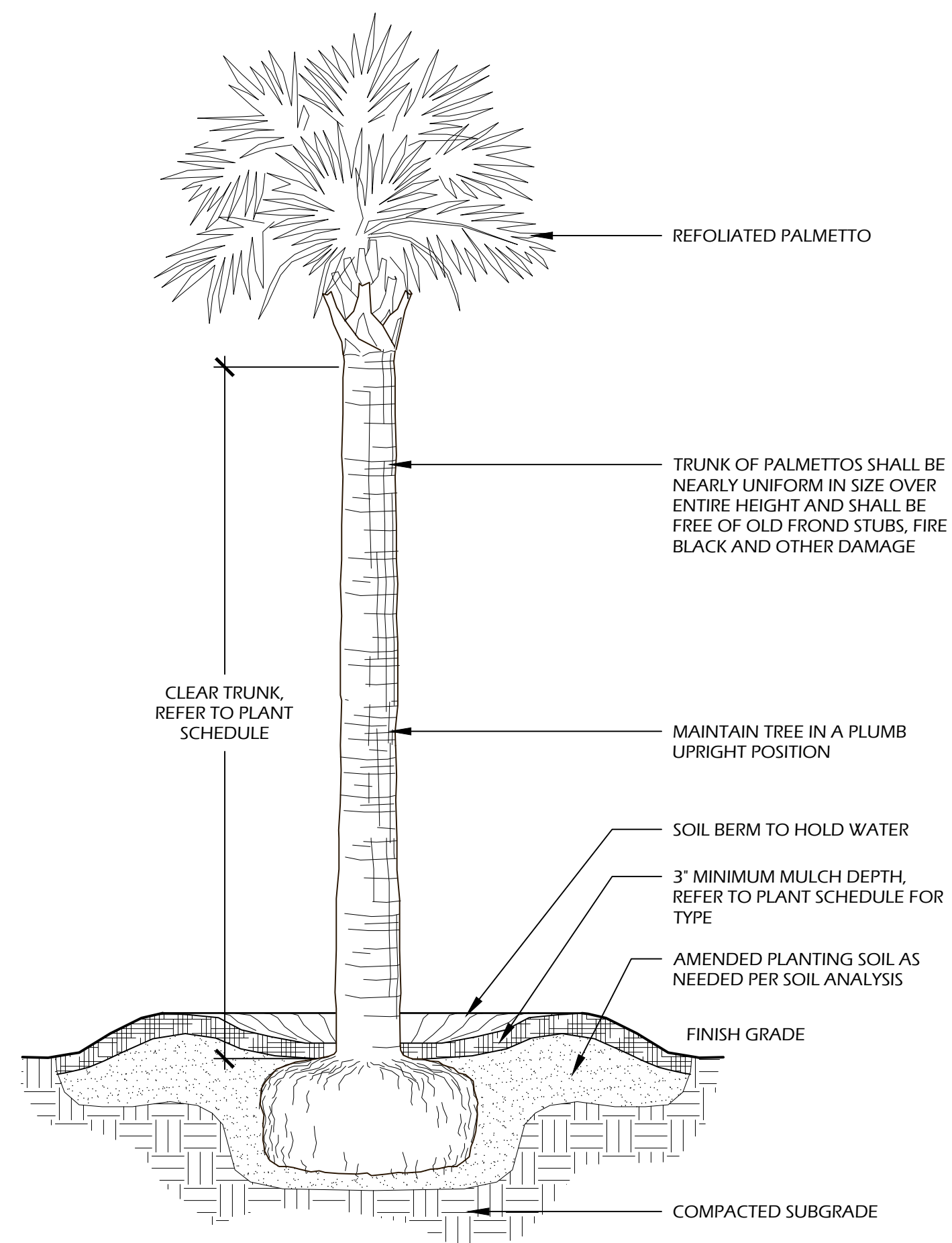
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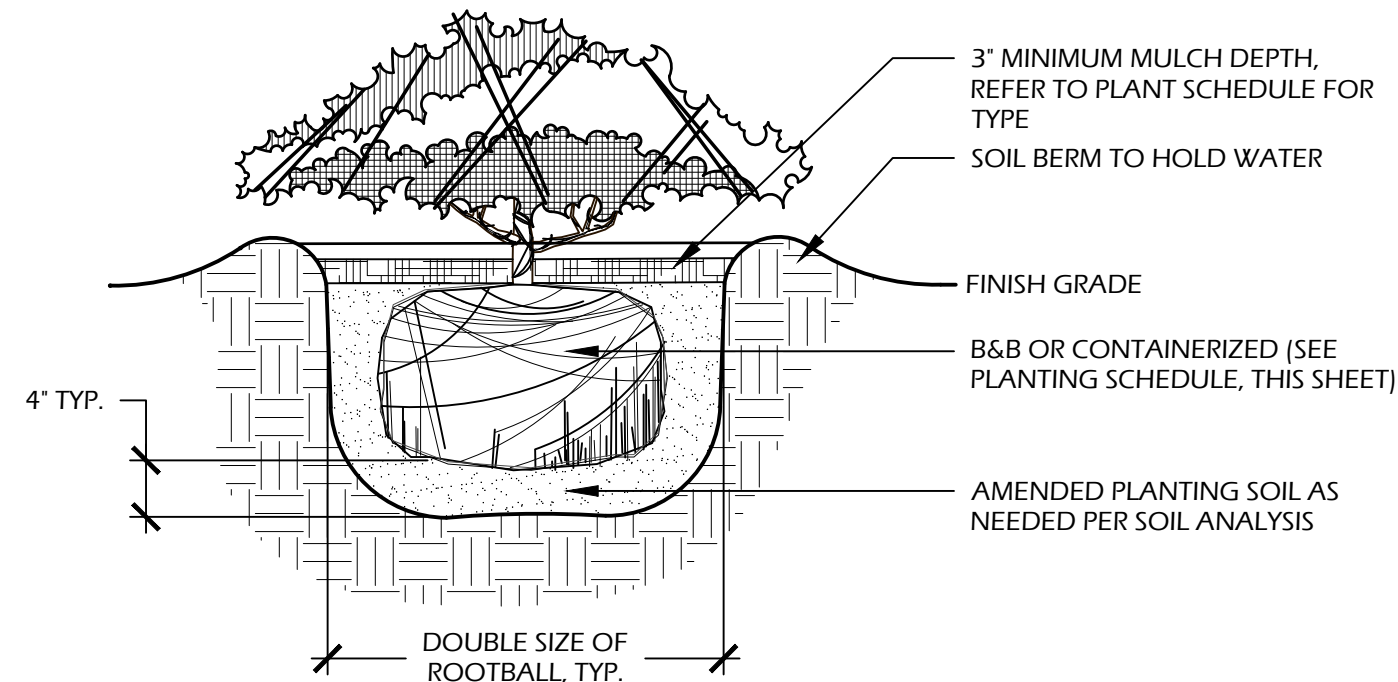
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



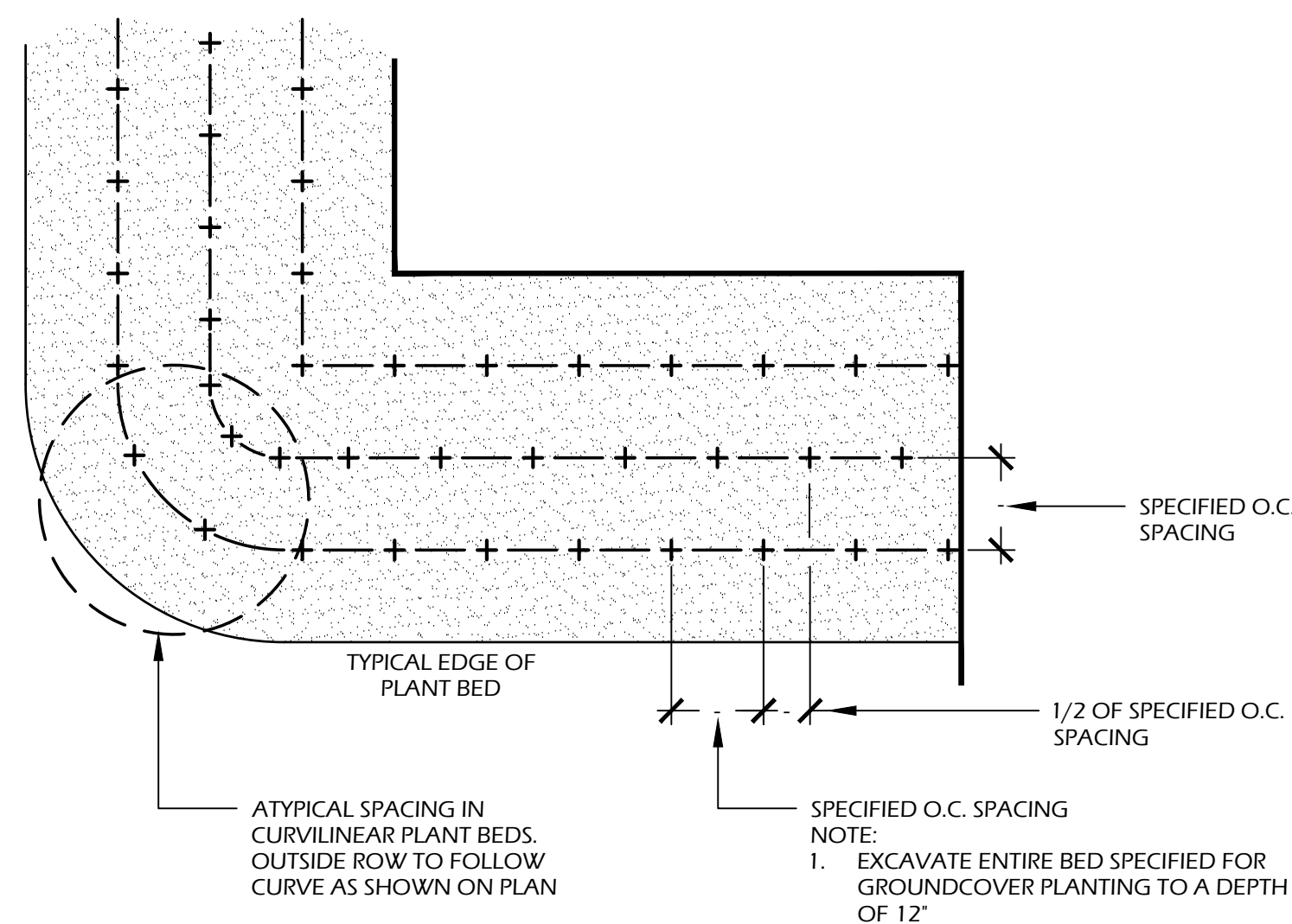
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.

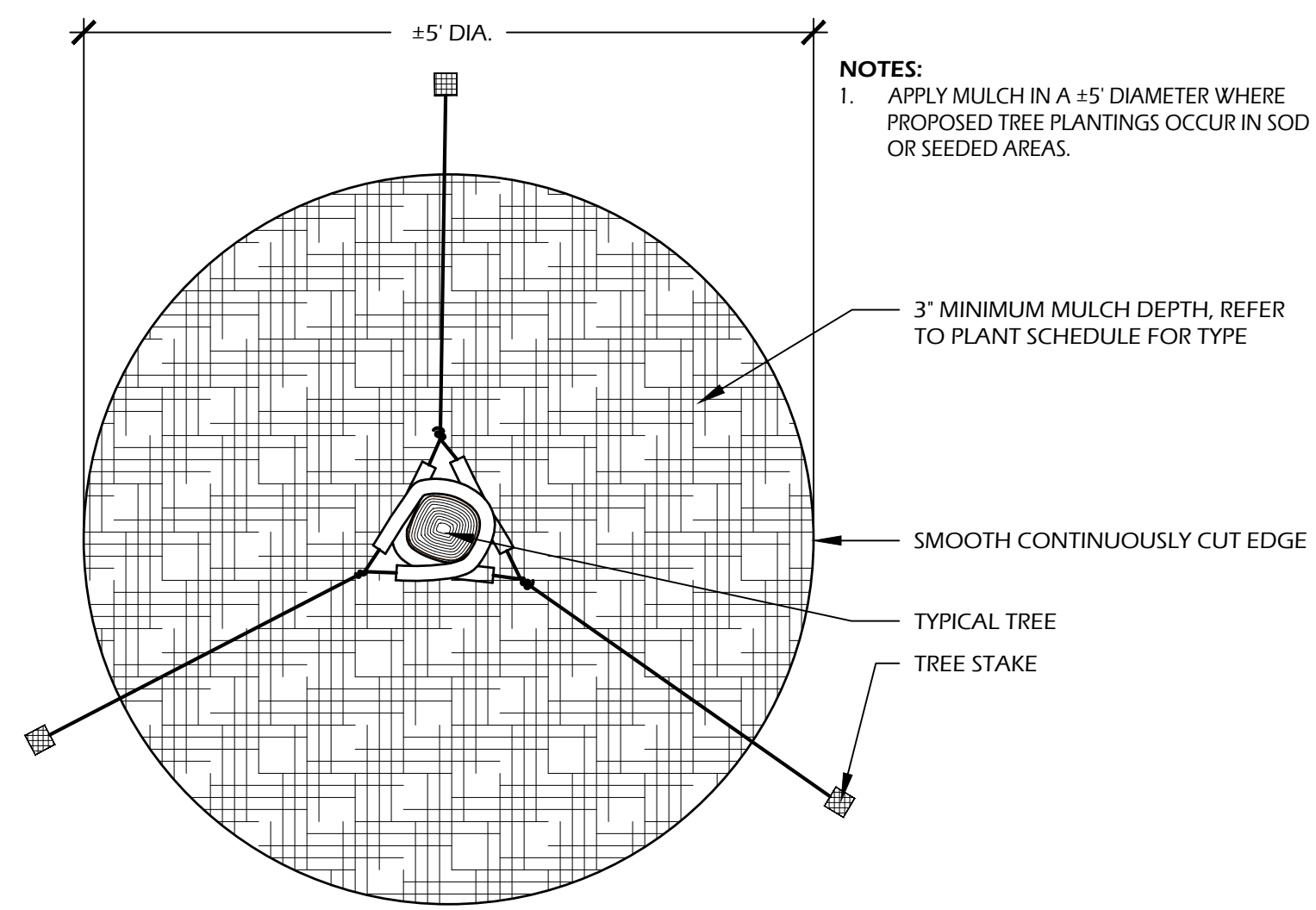


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.



5 // L501 TREE STAKING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
* 9	QUEH	Quercus virginiana 'OVITA' PP 11219 Highrise	High Rise Live Oak	14'-16'	6'-8'	Cont.	4"	Full
** 33	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated - optional, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
** 3	MAGV	Magnolia virginiana	Sweetbay Magnolia	8'-10'	4'-5'	30 gal.	1" Cal. min.	Full
SHRUBS								
56	AZAE	Azalea x encore	Encore Azalea	24'-30"	24'-30"	7 gal.	-	Full
13	DICG	Distylium 'Cinnamon Girl' (PIDIST-V PP27,631)	Cinnamon Girl Distylium	24'-30"	24'-30"	7 gal.	-	Full
37	DISB	Distylium 'Blue Cascade' (PIDIST-II PP24409)	Blue Cascade Distylium	24'-30"	24'-30"	7 gal.	-	Full
6	GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	10'-16"	10'-16"	3 gal.	-	Full
62	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
10	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
196	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24"	16'-20"	7 gal.	-	Full
25	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
138	CYRF	Cyrtomium falcatum	Holly Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
63	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
90	ANNL	Annuals	Annuals	6'-8"	6'-8"	quart	8" O.C.	Full; Seasonal Color
17	FICP	Ficus pumila	Creeping Fig	4'-6"	8'-12"	1 gal.	24" O.C.	Full
454	LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope	12'-16"	8'-12"	1 gal.	18" O.C.	Full
13	TRAJ	Trachelospermum jasminoides	Confederate Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
10,300	SODSF	-	Empire Zoysia Sod	-	-	-	-	-
15,000	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

PLANT TABLE:

Species/Abbrev	Trees Removed							
	LO	LA	MAG	GUM	PLM	PN	PN LOB	CM
Galiper Inches	10	6	8	9	12	6	24	3
	11	6	7		12	8		2
		6			14	9		2
						9		3
						10		4
						10		
						10		
						12		
						12		
						15		
						19		
						17		
						17		
						17		
						19		
						20		
						21		
						22		
						24		
Species DBH Totals	21	25	8	9	38	290	24	14
Total DBH Inches Per Cat	54			9		352		14

	Tree Mitigation Calculations			
	CAT. I	CAT. II	CAT. III	CAT. IV
# OF TREES TO BE REMOVED	7	1	24	5
TOTAL # OF DBH INCHES	54	9	352	14
CALCULATION	54 ÷ 10 = 5.4	9 ÷ 10 = 0.9	352 ÷ 10 = 35.2	14 ÷ 10 = 1.4
# OF NEW TREES REQUIRED	5	1	35	1
# OF NEW TREES PROVIDED	5	1	35	1

- NOTE:**
- CAT. I AND CAT. II TREE MITIGATION SATISFIED BY PLANTING OF 9 LIVE OAKS (QUEH). SEE PLANT SCHEDULE - *
- CAT. III AND CAT. IV MITIGATION SATISFIED BY PLANTING OF 33 SABAL PALMETTO (SABP) AND 3 SWEETBAY MAGNOLIA (MAGV). SEE PLANT SCHEDULE - **

TREE LEGEND: LO-Live Oak, LA-Laurel Oak, MAG-Magnolia, GUM-Sweet Gum, PLM-Palmetto, PN-Pine, PN LOB-Loblolly Pine, CM-Crape Myrtle



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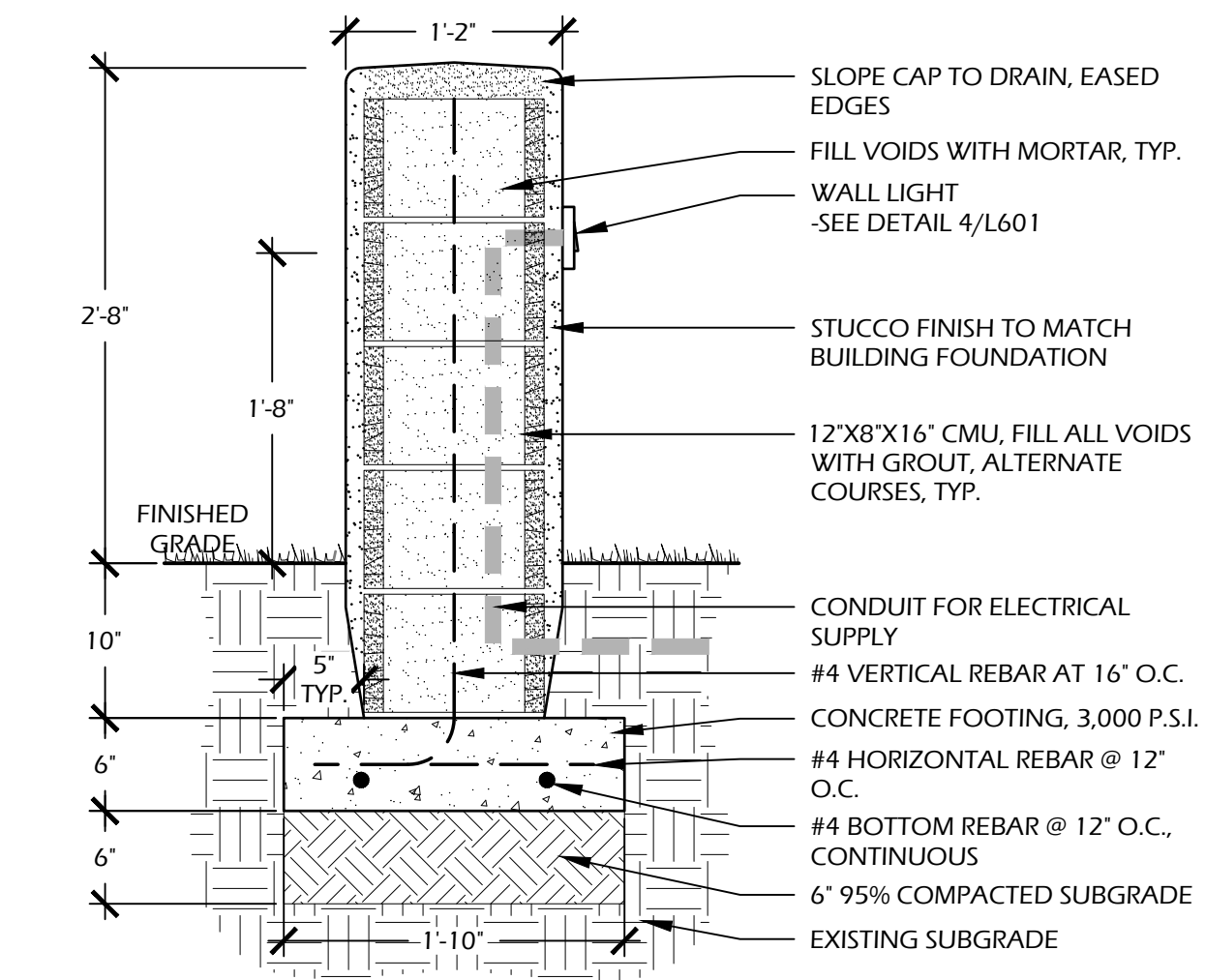
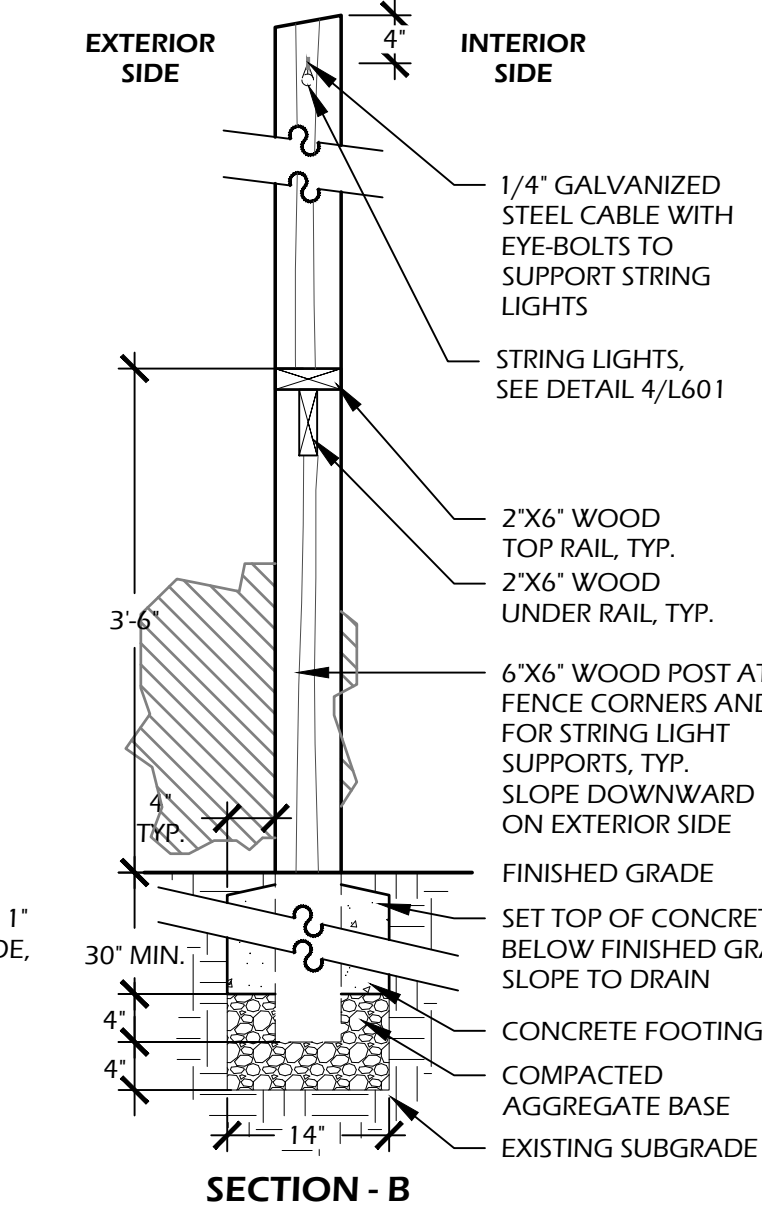
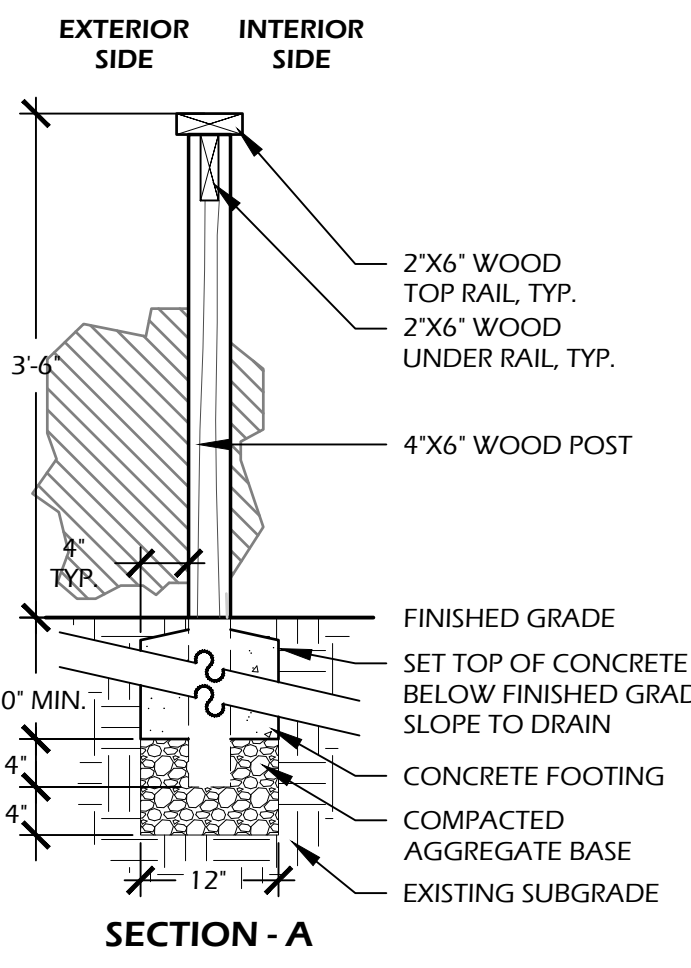
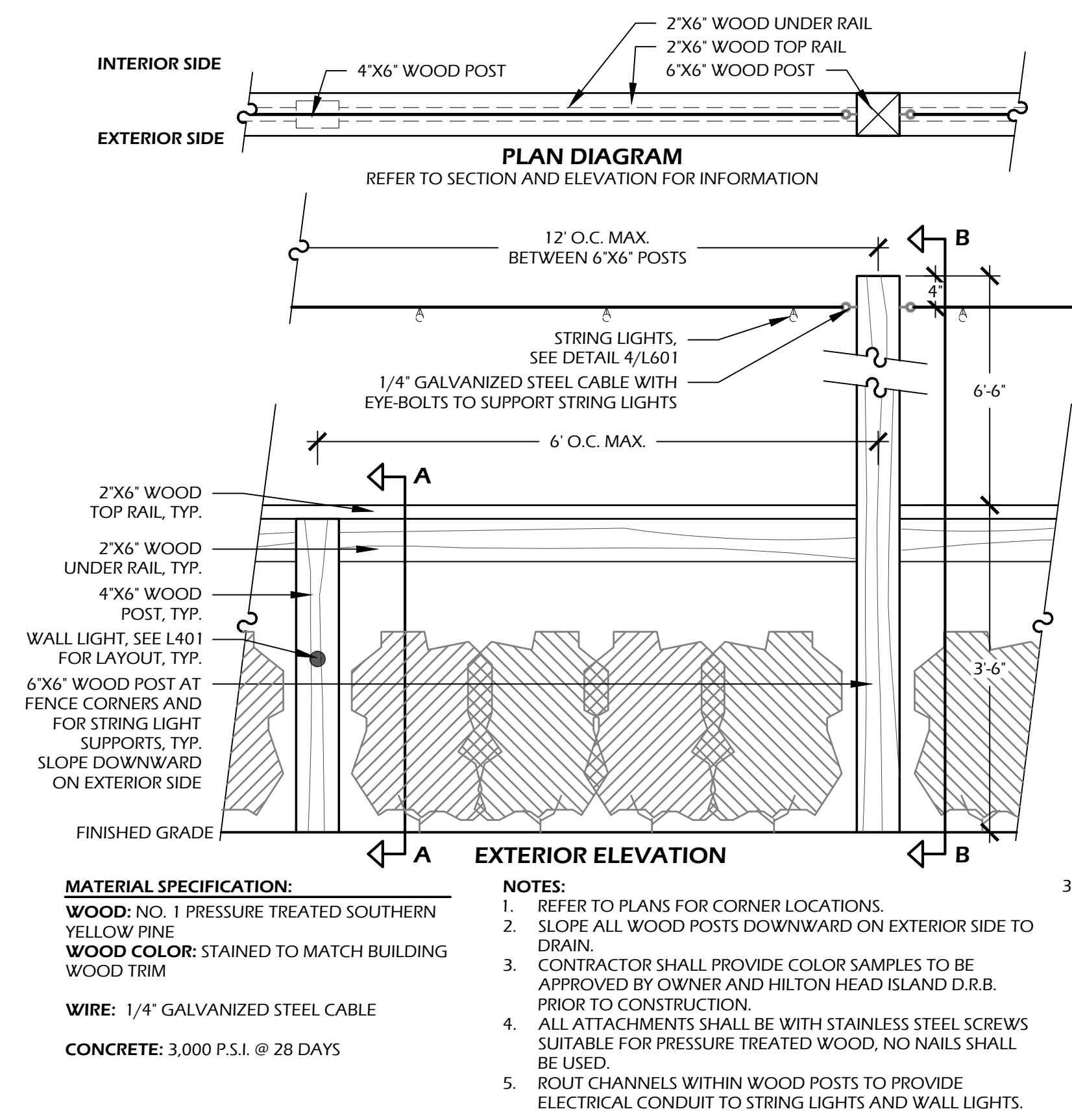
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MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED TO MATCH BUILDING WOOD TRIM
WIRE: 1/4" GALVANIZED STEEL CABLE
CONCRETE: 3,000 P.S.I. @ 28 DAYS

NOTES:
 1. REFER TO PLANS FOR CORNER LOCATIONS.
 2. SLOPE ALL WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
 3. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER AND HILTON HEAD ISLAND D.R.B. PRIOR TO CONSTRUCTION.
 4. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 5. ROUT CHANNELS WITHIN WOOD POSTS TO PROVIDE ELECTRICAL CONDUIT TO STRING LIGHTS AND WALL LIGHTS.

MATERIAL INFORMATION:
STUCCO: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE

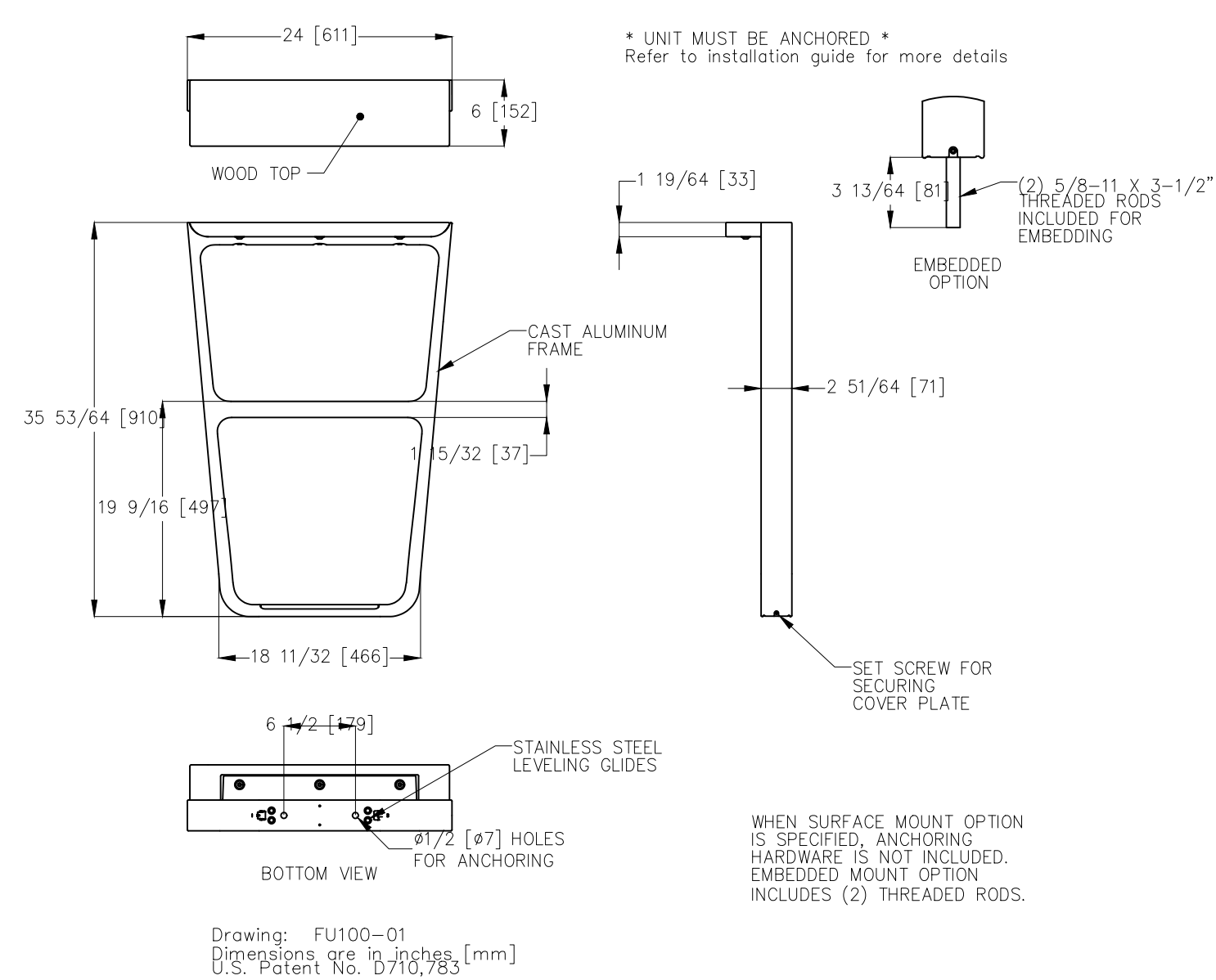
WALL LIGHT MANUFACTURER INFORMATION:
 NITE LITES
 6107 MARKET AVE.
 FRANKLIN, OH 45005
 PHONE: (513) 424,5510
 WEB: WWW.NITELITES.COM

NOTES:
 1. REFER TO LAYOUT PLAN (SHEET L100) FOR OVERALL DIMENSIONS OF SEAT WALL.

1 // L600 BEER GARDEN FENCE
 SCALE: 1" = 1'-0"

2 // L600 LOW WALL
 SCALE: 1" = 1'-0"

MultipliCITY Bike rack, surface mount
 Product Drawing Date: 5/5/2015
 www.landscapeforms.com Ph: 800.521.2546

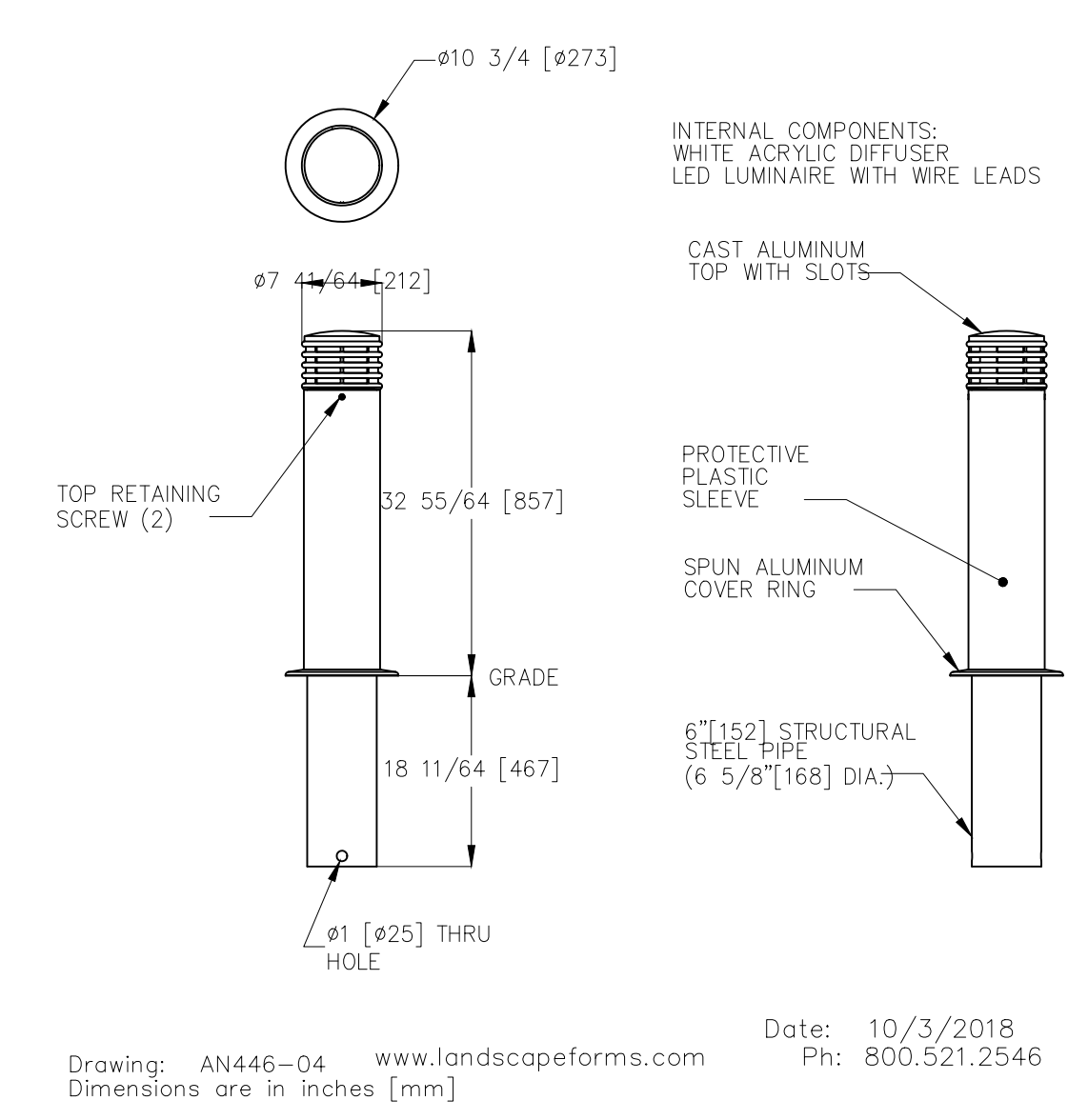


MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: MULTIPLICITY BIKE RACK
COLOR: ALUMINUM FRAME, ASH WOOD
OTHER INFO: SURFACE MOUNT
 OR APPROVED EQUAL

3 // L600 BIKE RACK
 SCALE: NTS

Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
 Product Drawing

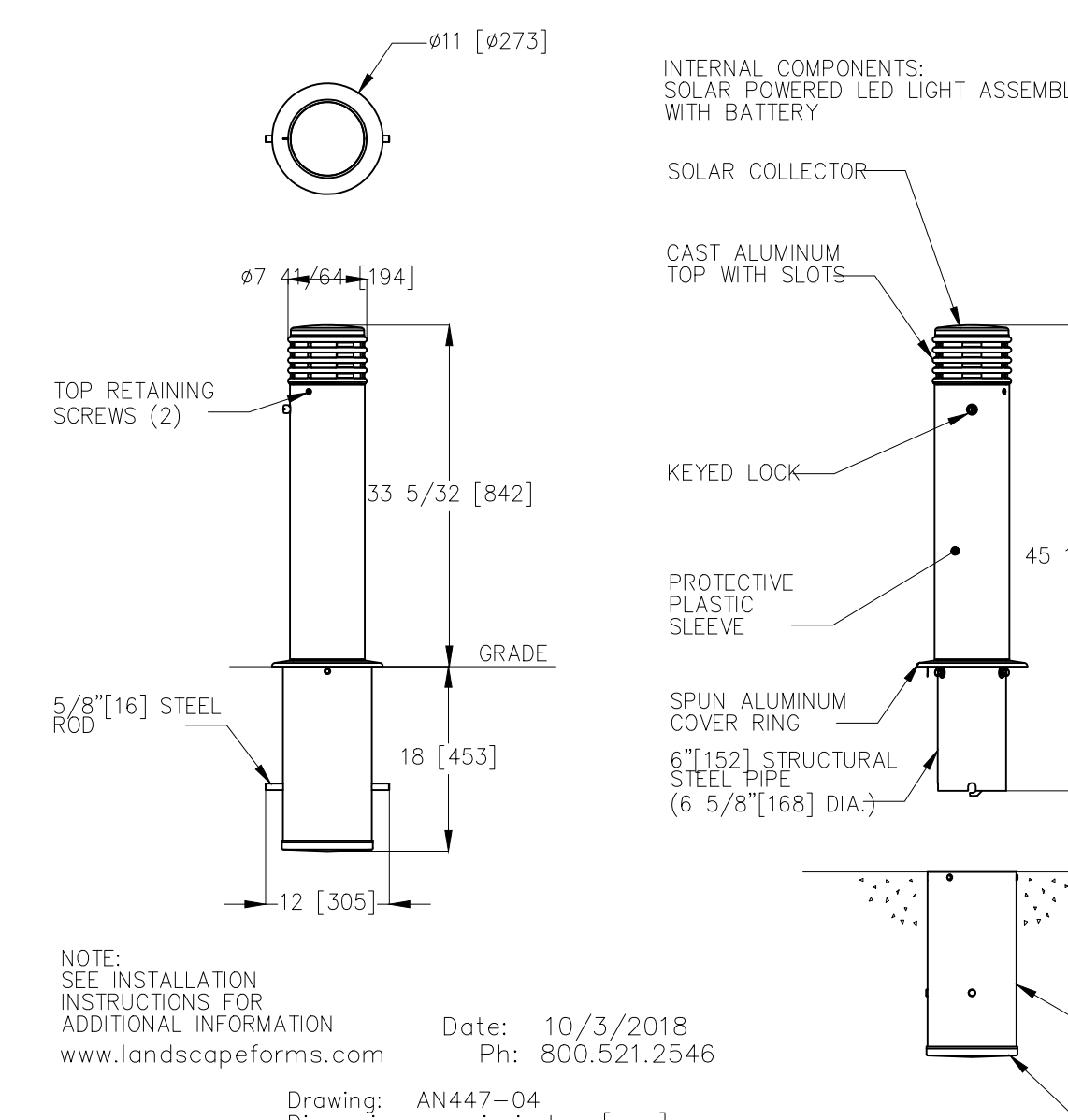


MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: BLACK
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
 OR APPROVED EQUAL

4 // L600 BOLLARD
 SCALE: NTS

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
 Product Drawing



MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: BLACK
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
 OR APPROVED EQUAL

4 // L600 BOLLARD
 SCALE: NTS

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 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

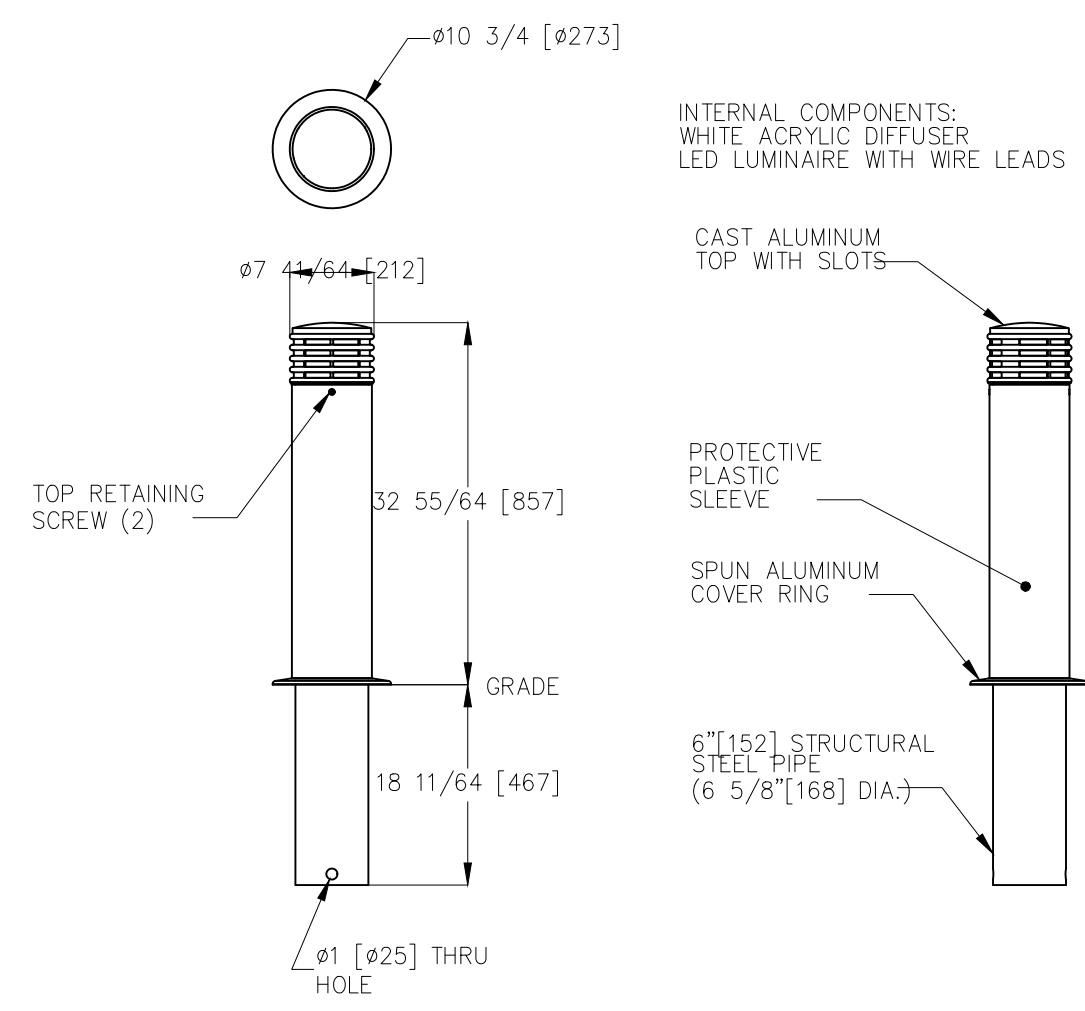
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
 SITE DETAILS

DRAWING NUMBER
L600

Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
Product Drawing



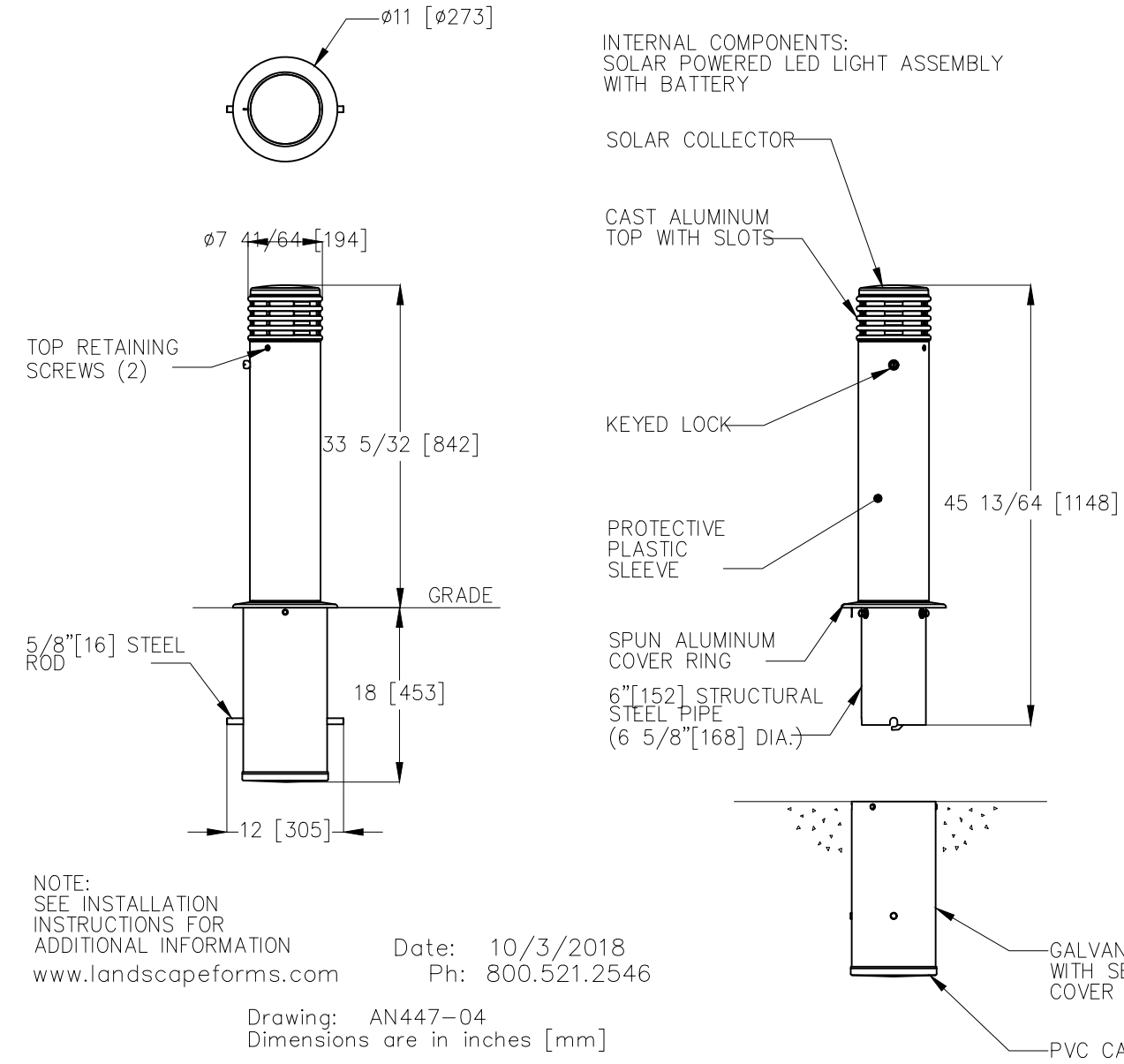
MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: STORMCLOUD
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS

OR APPROVED EQUAL

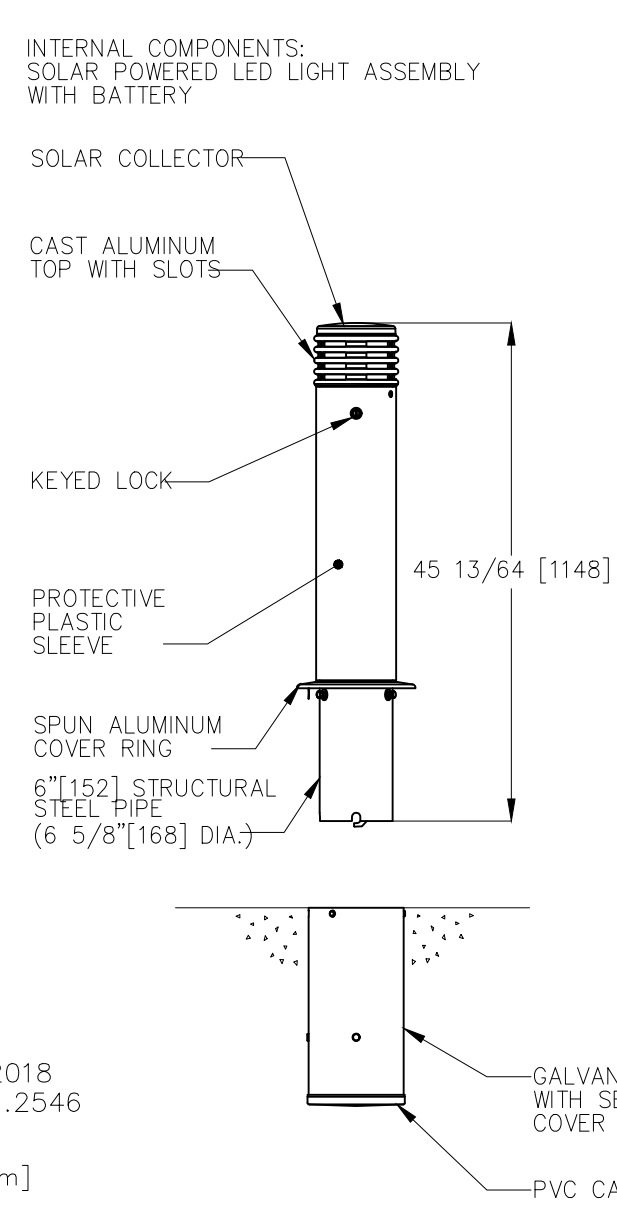
Drawing: AN446-04 www.landscapeforms.com Date: 10/3/2018
Dimensions are in inches [mm] Ph: 800.521.2546

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
Product Drawing



NOTE: SEE INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION
www.landscapeforms.com Date: 10/3/2018
Ph: 800.521.2546

Drawing: AN447-04
Dimensions are in inches [mm]



1 // L601 BOLLARD LIGHT
SCALE: NTS

MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

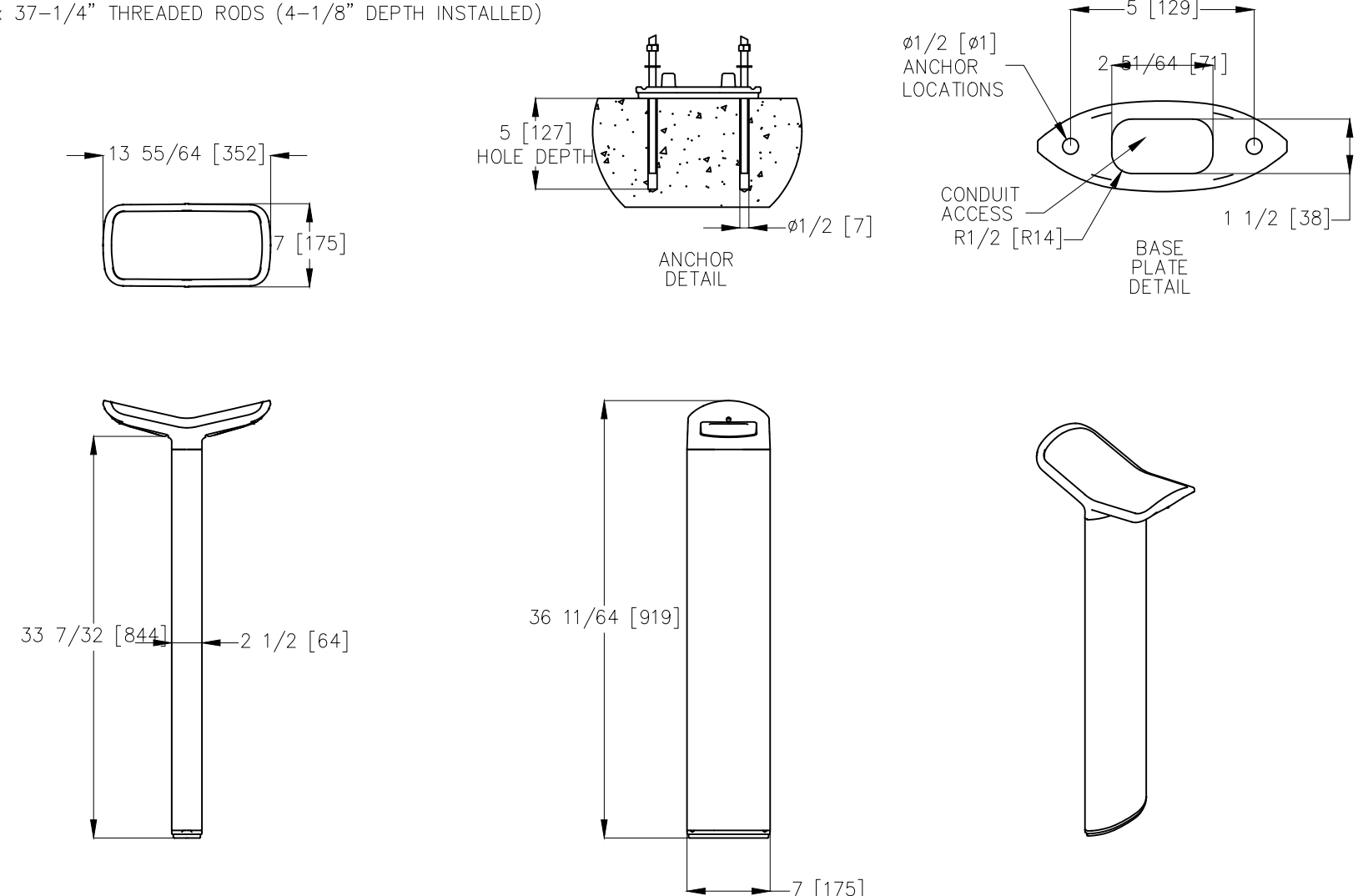
MODEL: MULTIPLICITY PATH LIGHT
COLOR: STORMCLOUD
OTHER INFO: TYPE 4 DISPERSION

OR APPROVED EQUAL



Multiplicity™ Path Light, hard-wired, embedded
Product Drawing

ANCHORING HARDWARE INCLUDED:
(2) 3/8-16 x 37-1/4" THREADED RODS (4-1/8" DEPTH INSTALLED)



Drawing: FU0003
Dimensions are in inches [mm]
U.S. Patent No. 7,700,730

3 // L601 PATH LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET NITE-083

LED
NITE-470
• Energy Savings - 2.5 Watt
• Color: Warm White
• Color Temp: 2700°K
• Lumens: 140

SPECIFICATIONS:
MODEL: NITE-083 Mini Eyebrow Deck Light
MOUNTING: Sleeve or Compression Fit with 1-5/16" Bit
FINISH: Aged Brass
ELECTRICAL: 12V - 18" wire lead
LED: 2.5W LED (NITE-470)

PRODUCT DESCRIPTION / APPLICATIONS:
The Mini Deck Light is designed primarily for commercial and residential applications. The heavy duty fixture will add distinction to your project. The long life LED virtually eliminates replacing burned out lamps.

NOTES:
For compression fit: Use a 1-5/16" diameter bit, 3/8" shank, and 3 1/2" long. Steeltex D2854 Forstner Bit, 1-5/16" recommended.

Logos: Nitelites - Sustainable Outdoor LEDs, CREE

CONTACT:
DRAWN BY: NITELITES BASE DESIGN: NITELITES DATE: 3/14/2019
6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

NOTE: Due to our continued efforts to improve our products, product specifications are subject to change without notice.

OR APPROVED EQUAL

4 // L601 WALL LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET NITE-063

LED OPTIONS

NITE-429BR3W MR-16
• Long Life - 40,000 Hrs
• Energy Savings - 3 Watts
• Color: Warm White
• Color Temp: 2700°K
• Luminous Flux: 280lm
• Beam Angle: 40°

NITE-429BR5W MR-16
• Long Life - 40,000 Hrs
• Energy Savings - 5 Watts
• Color: Warm White
• Color Temp: 2700°K
• Luminous Flux: 490lm
• Beam Angle: 40°

NITE-429BR7W MR-16
• Long Life - 40,000 Hrs
• Energy Savings - 7 Watts
• Color: Warm White
• Color Temp: 2700°K
• Luminous Flux: 650lm
• Beam Angle: 40°

NITE-5K429BR MR-16
• Long Life - 40,000 Hrs
• Energy Savings - 5 Watts
• Color: Bright White
• Color Temp: 5000°K
• Luminous Flux: 490lm
• Beam Angle: 40°

Colored LED Lamps Available:
• NITE-429BR-A - Amber
• NITE-429BR-B - Blue
• NITE-429BR-R - Red
• NITE-429BR-G - Green

SPECIFICATIONS:
MODEL: NITE-063
MOUNTING: Direct Burial
FINISH: Aged Brass
SOCKET: Bi-pin
ELECTRICAL: 12V
LED: 3W, 5W, or 7W MR-16
GRADE: Commercial

PRODUCT DESCRIPTION / APPLICATIONS:
Direct Burial Well Light is designed primarily for commercial applications. The heavy duty fixture is recessed at grade and will keep debris away from the light source.

Logos: Nitelites - Sustainable Outdoor LEDs, CREE

CONTACT:
DRAWN BY: NITELITES BASE DESIGN: NITELITES DATE: 3-3-2020
6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

NOTE: Due to our continued efforts to improve our products, product specifications are subject to change without notice.

OR APPROVED EQUAL

2 // L601 WELL LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET NITE-SL104

LED OPTIONS

NITE-SL4W E26 Base
• Energy Savings - 4 Watts
• Color: Warm White
• Color Temp: 2700°K

NITE-SL4WAMB E26 Base
• Energy Savings - 4 Watts
• Color: Amber

NITE-SL2WSM E26 Base (Mini 2W Bulb)
• Energy Savings - 2 Watts
• Color: Warm White
• Color Temp: 2700°K
• DIMMABLE

NITE-SL2WSMFR E26 Base (Mini 2W Frosted Bulb)
• Energy Savings - 2 Watts
• Color: Warm White
• Color Temp: 2700°K
• DIMMABLE

NITE-SL6W E26 Base (LOW VOLTAGE ONLY)
• Energy Savings - 6 Watts
• Color: Warm White
• Color Temp: 2700°K
• DIMMABLE

SPECIFICATIONS:
MODEL: NITE-SL104
SOCKET: Medium Base
LENGTH: 104 ft. (4ft. lead/100 ft. lit length)
SOCKET SPACING: 24" in.
WIRE COLOR: Black
ELECTRICAL: 120 V
LED: NITE- 4W, NITE-4WAMB, NITE-2WSM, NITE-2WSMFR, NITE-6W(Low Voltage)
GRADE: Commercial

PRODUCT DESCRIPTION / APPLICATIONS:
Commercial-grade patio string lights. PVC encapsulated sockets are resistant to UV lighting. Socket lips designed with a tight, weather-resistant seal around the bulbs.

Logos: Nitelites - Sustainable Outdoor LEDs, CREE

CONTACT:
DRAWN BY: NITELITES BASE DESIGN: NITELITES DATE: 9/20/2019
6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

NOTE: Due to our continued efforts to improve our products, product specifications are subject to change without notice.

OR APPROVED EQUAL

5 // L601 STRING LIGHT
SCALE: NTS



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THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

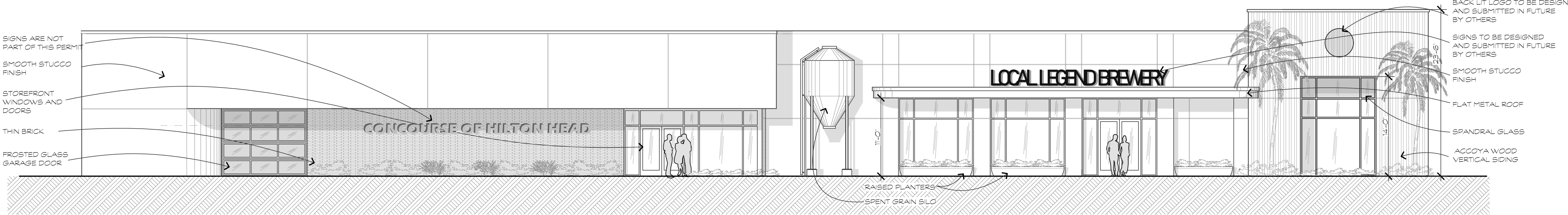
L601



EXTERIOR INSPIRATION



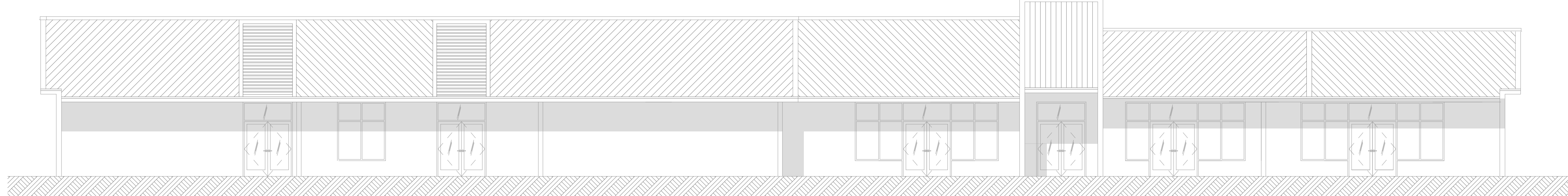
WILLIAM HILTON PARKWAY MASSING MODEL



NEW WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.1



EXISTING WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.1



EXISTING PHOTOS



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CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

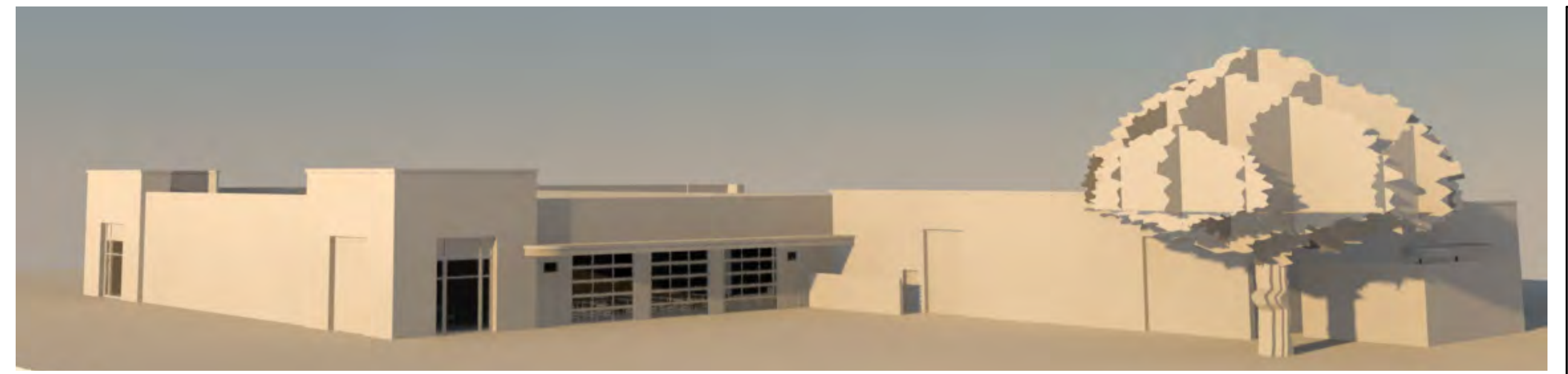
REVISIONS	

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
09/12/23
SCALE
JOB NO.
SHEET

A.2.1
OF SHEETS

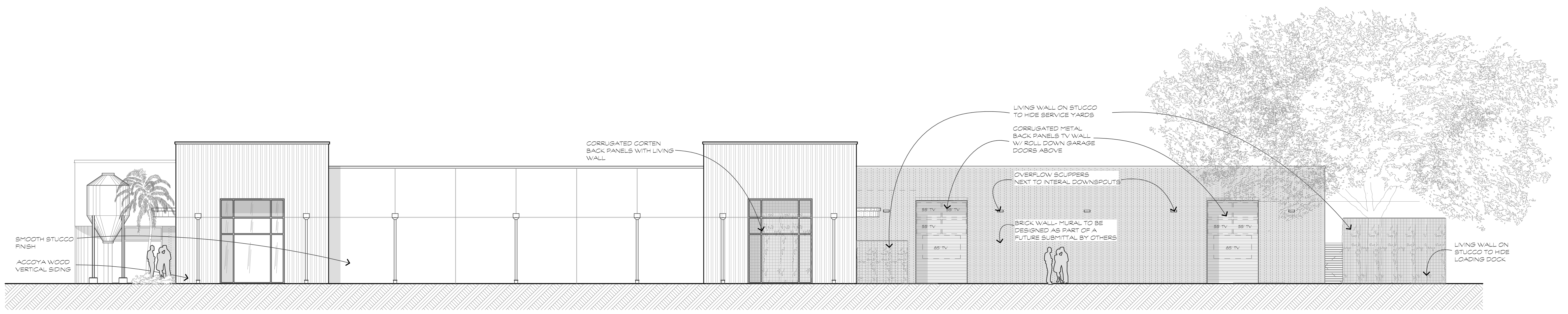


EXISTING PHOTO



RIGHT REAR MASSING MODEL

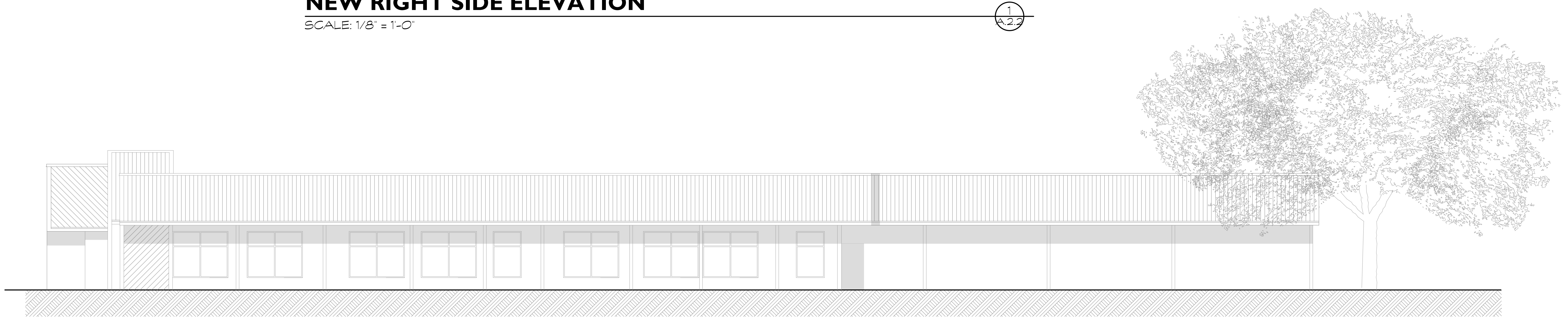
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NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.2



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.2

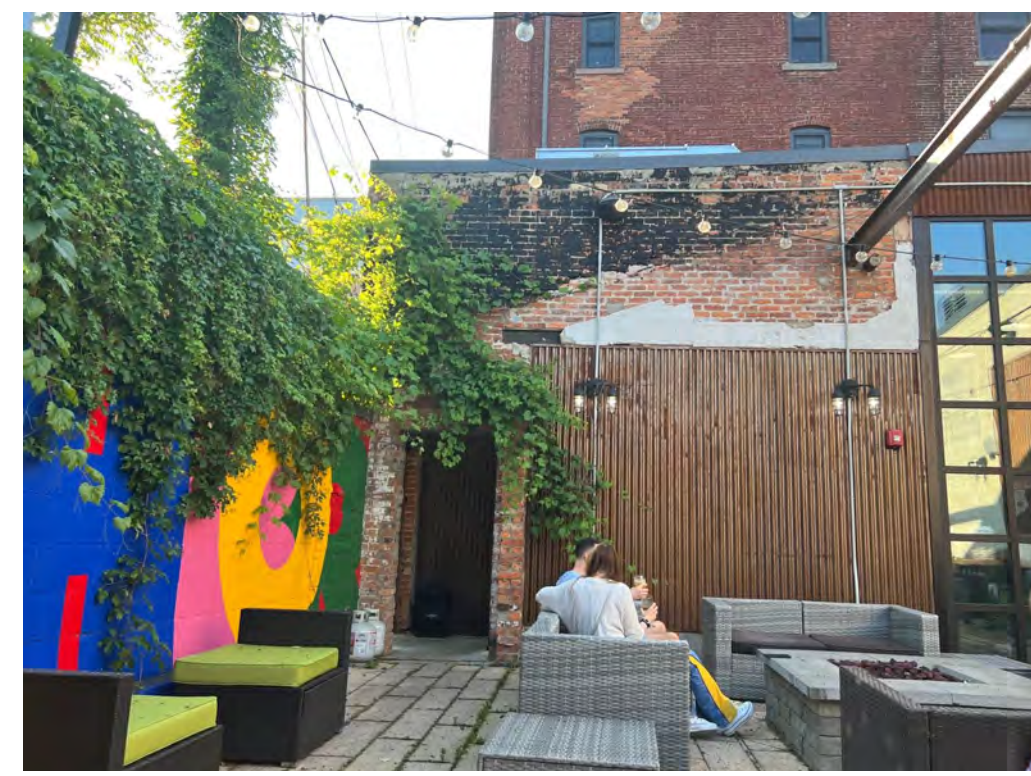
CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

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 SCALE
 JOB NO.
 SHEET



BEER GARDEN INSPIRATION

DUNNAGAN'S ALLEY MASSING MODEL

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EXISTING PHOTO



NEW DUNNAGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.3



EXISTING DUNNAGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.3

CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

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 09/12/23
 SCALE
 JOB NO.
 SHEET



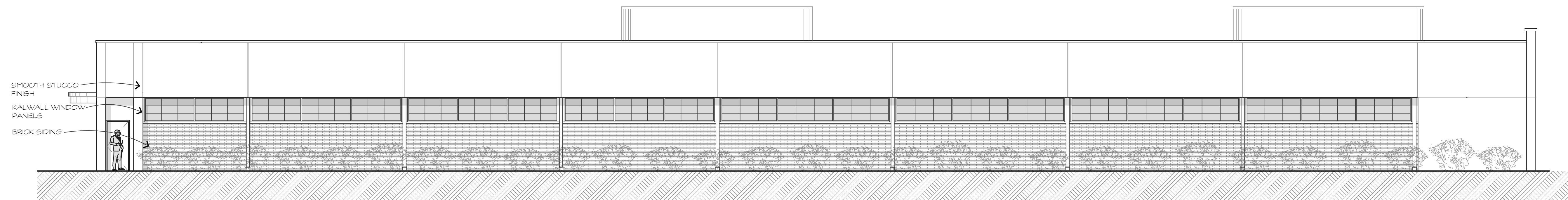
LEFT SIDE MASSING MODEL



INSPIRATIONAL PHOTOS



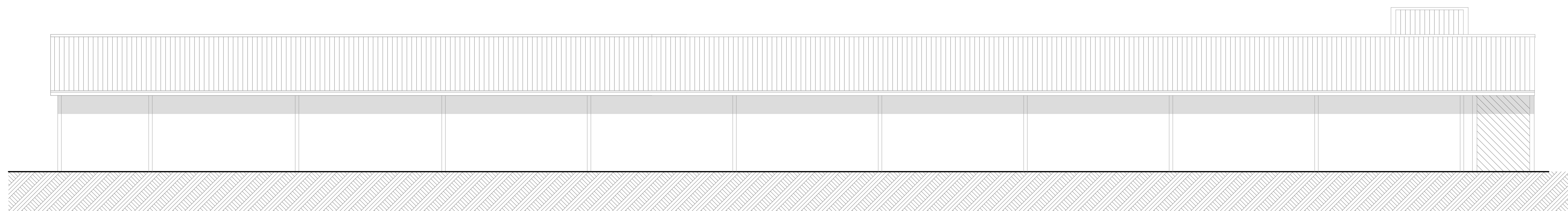
EXISTING PHOTO



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.4



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.4

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CONCEPTUAL
DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
TP

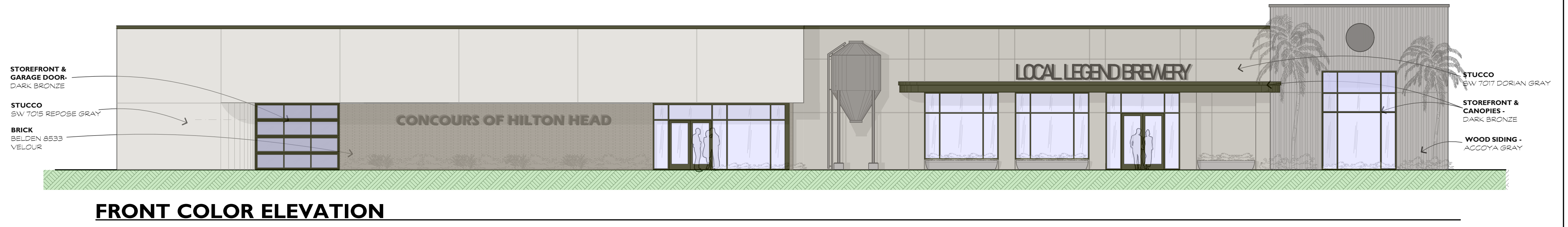
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DATE OF ISSUE:
09/12/23

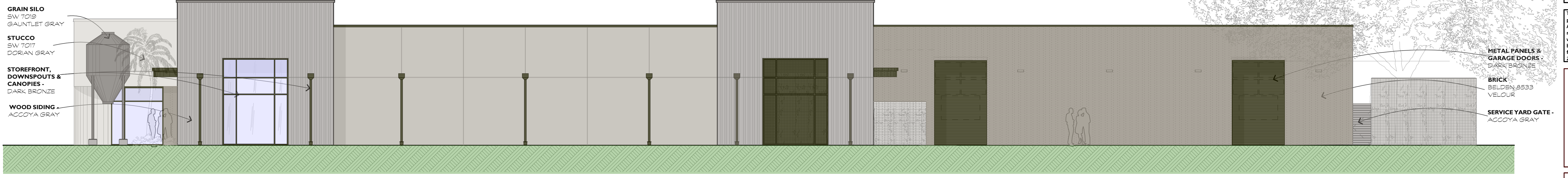
SCALE

JOB NO.

SHEET



FRONT COLOR ELEVATION



LEFT SIDE COLOR ELEVATION



DUNNAGAN'S ALLEY COLOR ELEVATION



RIGHT SIDE COLOR ELEVATION



BELDEN BRICK - 8533 VELOUR MATERIALS



WALL PANELS AND STOREFRONT - DARK BRONZE



STUCCO COLORS



ACCOYA PREFINISHED GRAY

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**A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
 1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.**

REVISIONS	

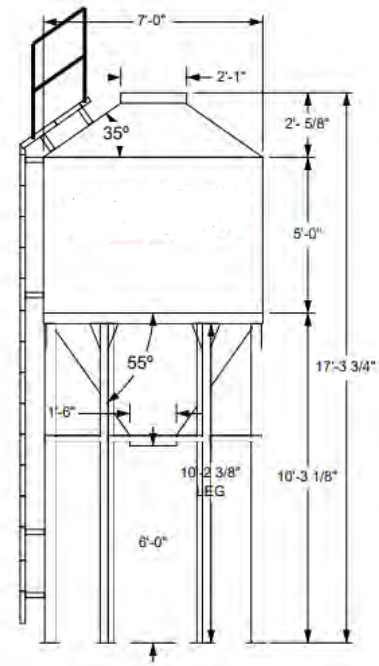
DRAWN BY TP
CHECKED BY TP
DATE OF ISSUE: 09/12/23
SCALE
JOB NO.
SHEET
OF SHEETS

ITEM 1.01 - MERIDIAN SPENT GRAIN SILO MODEL 705-55-35
Quantity: 1

- Total volume of 287 cu. ft.
- Maximum capacity 17,192 lbs. @ 60 lbs./cu. ft.
- Silo weight 2,163 lbs.
- 7' dia. x 5' sidewall, overall height: 17'-3 3/4"
- 6" GNV vent w/bird cage
- 6" Coverplate
- 22" Manhole with triple latch lid
- 50' Extended fall arrest cable safety system
- Industrial paint upgrade
- Industrial ladder and cage
- Industrial handrail package
- Bolt on transition to WAM slidegate
- Qty 4 - 1 1/4" NPT couplings with plugs for electronic max, high, mid, & low-level indicators.
 - Indicators not included
- Meridian Freight included to Hilton Head Island, SC
 - Crane will be required, and cost is customer's responsibility

Option:

- PE Eng. Stamp for structure - \$3,500


SILO AUGER DISCHARGE

- 12"Ø x 11'0" overall length, stainless steel screw feeder
- Rate: 60,000 lbs./hr.
- Drive:
 - Direct drive gear reducer for 98 RPM output.
 - 5 HP TEFC 230-460/3ph/60htz
- Infeed: 12"x12" pneumatic slide gate to close off silo to auger connection.
 - Plumbing of compressed air to be supplied by customer.

ITEM 2.01 - ABM BULK BAG UNLOADER - FORKLIFT
QTY: 4
Material: Malted Barley

Bulk density: ~32 lbs./cu. ft.

Bag specification:

- Bag width - 48.0 inches
- Bag depth - 48.0 inches
- Bag height - 48.0 inches
- Bag weight - 2000.0 pounds
- Loop length - 10.0 inches
- Spout length - 18.0 inches
- Spout diameter - 16.0 inches
- Internal liner - No

BREWERY MODEL BULK BAG UNLOADER PACKAGE
Complete with:

- Bag pickup frame - forklift model
- 3" square tubular frame - powder coated carbon steel construction
 - Powder coat color: WH492
- 24" x 24" surge hopper featuring:
 - 8" Ø inlet, 2" Ø vent connection, 4" Ø TC discharge
 - 4" pneumatic gate - 110V solenoid, 4" TC in/out, 70 PSI compressed air



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1014 William Hilton Parkway

DRB#: DRB-1706-2023

DATE: 9/26/2023

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Excellent idea to use the pathway off of Dunnagans. Would like to see bike racks closer to the sidewalks on the site to not promote bikes in the drive isle.
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Can anything be added to the new left side elevation? For example, more use of the living wall? Or additional garage doors to break up the visual of the left side of the building?
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Every side is an improvement except for the left elevation.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Annapolis 6" diameter bollard cannot be black – Sheet L600. Recommend bronze.
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only question is in relation to the two landscaping islands on the 278 side of the property. There appears

architectural complement that visually mitigates between parking lots and building(s)				to be a gap in the buffer plantings. Can this gap be closed? Sheet L500
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Black features are not permitted (proposed bollard detail).
3. Recommendations: a. Bringing bike racks closer to new pathway connection. b. Left façade of building could use more detail (repetitive in nature of design).
4. Color board required for final review/approval.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Michelle Smyth Company: Mcmillan Pazdan Smith
 Mailing Address: 850 Morrison Drive, Suite 600 City: Charleston State: SC Zip: 29403
 Telephone: 843 566 0771 Fax: _____ E-mail: Msmyth@mcmillanpazdansmith.com
 Project Name: HHHS - Phase II - Athletics Project Address: 50 Wilborn Rd.
 Parcel Number [PIN]: R 510 007 000 0030 0000
 Zoning District: MS-Main Street Overlay District(s): ROW-Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Michelle B. Smyth
SIGNATURE

9/12/2023
DATE

SITE ANALYSIS

Hilton Head Island High School – Phase 2B - Athletics (DPR-001469-2023)

Owner: Beaufort County School District
Engineer: Paul R. Moore, PE, Ward Edwards, Inc.
Architect: Andrew Horn, McMillan Pazdan Smith
Date: September 1, 2023

Project Description

Beaufort County School District is proposing to construct a new athletic fieldhouse building to support the existing nearby football and baseball facilities. The project area is the existing parking lot to the west of the football field. The majority of the parking lot pavement will be removed and replaced with the new building and associated hardscapes and landscapes. A new walkway entrance into the football stadium will be constructed from the new fieldhouse. Other miscellaneous improvements will also include new ADA parking and accessible routes, realignment of the baseball bleachers, and new softball dugouts. The project will disturb 1.9 acres.

Adjacent Properties

The site is bounded to the north by Wilborn Road, to the west by Hilton Head Island Rec. Center, to the east by Hilton Head Middle School, and to the south by Hilton Head Island Elementary School. Beaufort County School District owns the property immediately surrounding the project area. The project area is only a small part of the larger high school property.

Zoning District

MS – Main Street

Buffers & Setbacks

Given the site zoning, the educational use of the project, the fact that the adjacent uses are also educational, and the fact that the project limits are located internal to a larger parcel, there are no buffer or setbacks applicable to this project.

Trees & Wetlands

There are trees in the project area, some of which will require removal and some that can be preserved. None of the trees identified for removal are considered specimen trees, but there are two significant trees; both being 30" pines. The trees that are to be saved will be protected during construction using the Town's tree protection standards. The site design was done such that proposed landscape islands will be provided around the preserved trees.

Although there are wetlands on the overall school campus, there are no wetlands within the project area.

Vehicle Access & Parking

Construction of the new building will result in the net loss of 29 parking spaces; however, these spaces are primarily used by staff after school and during athletic events. Loss of the spaces is not expected to impact the overall parking capacity and school access during normal academic hours. An overall analysis of the parking situation will be done separately as part of the pending school rebuild project. Three of the existing remaining parking spaces will be converted to handicap parking to provide ADA accessibility to the athletic buildings and fields.

Site Topography & Drainage

The project area is generally flat and is already developed with paved surfaces. There are existing drainage structures running through the project area that will be maintained or re-routed as needed. No special topography or drainage considerations were needed to design the site, other than maintaining the existing drainage patterns and providing ADA accessible routes through the project.

Views and Orientation

The current parking lot and access to the football field have more of a “back of house” feel and orientation. The existing parking lot is generally used by coaches, maintenance, and staff prior to and during the athletic events. The perimeter fence between the parking and the athletic fields are screened to prevent public viewing of events without entry into the facilities. The existing pavements, hardscapes, and landscapes are generally in poor condition and in need of repair or replacement.

Maintenance Responsibilities

Beaufort County School District is currently responsible for maintaining the development in accordance with all Town of Hilton Head requirements and guidelines.

Dedicated Improvements

All proposed improvements will be owned and maintained as described above.

Utilities

There are only minor impacts to the existing water and sewer infrastructure in the project area. A portion of the existing water main will be relocated to allow room for construction of the new building, and a new fire hydrant will be installed nearby for fire protection of the new structure.

Hilton Head Island High School Athletics

Brief Description

September 12, 2023

The purpose of the project is to renovate the existing athletic field house and provide a new field house for the student athletes at HHIHS. This is particularly important since the female athletes currently do not have a field house nor locker rooms on this side of campus devoted to their use. Men's football and lacrosse, who currently occupy the existing field house, will be relocated to the new field house and the existing renovated field house will host female softball, soccer and lacrosse student athletes.

The new fieldhouse building is oriented with the main facade facing north which will allow all day diffused light. Windows on south façade are elevated above lockers and include a canopy to reduce glare in the summer months (although, the facility is occasionally used during summer months). The building fronts on Wilborn Road, and views are provided to the natural wetland across the street. The placement of the new field house at the street and between the existing field house and football stadium frames a secure plaza, which reinforces a cohesive identity for the athletic portion of the campus. A large athletic field turf logo will be repurposed in the center of the plaza to reinforce the athletic spirit of the area.

The proposed materials for the new fieldhouse building are exterior brick veneer bearing wall and a featured accent corner in aluminum composite metal wall panels with a flanking ACM canopy. The proposed color of the new brick is intended to speak the same vocabulary as the adjacent split face CMU field house and features banding similar to the existing brick veneer. The ACM will provide an accent color to a reserved brick veneer façade. Storefront windows are proposed to be anodized aluminum in color. Coping caps, mechanical louvers and premanufactured canopies are all intended to closely match the exterior brick veneer colors. The small sign featured at the front of the plaza is to feature the ACM as the vertical wall of the new field house. All planting on site is diagrammatically proposed but the Owner will provide what is required by Town regulations. If a landscape architect is required to provide a planting plan, please let us know.

The other miscellaneous structure in the project includes new, painted CMU softball dugouts to be painted the same dark navy blue as all of the other athletic buildings on the property. The new ticket and information booth is a pre-manufactured structure with metal panel walls and the prefinished metal panels are intended to match the existing athletic building aesthetic.



Existing Football Press box and Ticket Booth



Existing Concession and Toilet Building



Existing Baseball Press box and Dugout



Existing High School



Existing Rec. Center



Existing Field House (Renovated Phase IIA)



Existing Hilton Head Middle School



Existing Softball Pressbox and Toilets



Existing Hilton Head Elementary School

LEGEND

- CMF ■ CONC. MONUMENT FOUND
- RBF ● IRON REBAR FOUND
- OCATV AIR CONDITIONING UNIT
- CABLE OR T.V. PEDESTAL
- OCJCB CABLE JUNCTION BOX
- COMMUNICATIONS MANHOLE
- CONTROL POINT
- ELECTRIC METER
- ELECTRIC MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GRATE INLET
- GENERATOR
- HANDICAP PARKING
- IRRIGATION CONTROL VALVE

- JUNCTION BOX
- LIGHT POLE
- POST INDICATOR VALVE
- STORM DRAIN MANHOLE
- SPOT ELEVATION
- SIGN
- SPIGOT
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- SANITARY SEWER VALVE
- TELEPHONE JUNCTION BOX
- TELEPHONE PEDESTAL
- TRANSFORMER-ELECTRIC
- WATER LATERAL OR STUBOUT
- WATER METER

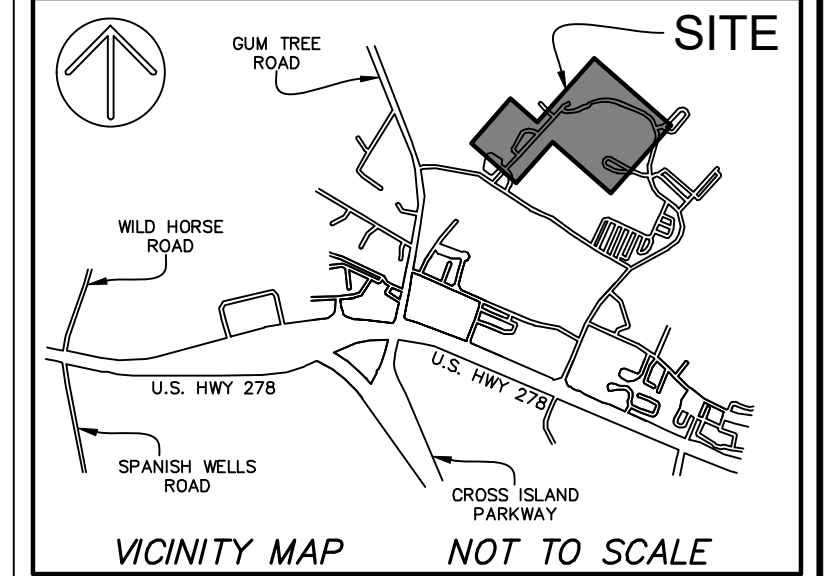
- WATER VALVE
- YARD INLET
- NUMBER OF PARKING SPACES
- CEDAR
- CHERRY
- EUCALYPTUS
- SWEET GUM
- HICKORY
- LAUREL OAK
- LIVE OAK
- RED MAPLE
- PINE
- PALMETTO
- RED OAK
- SUGAR BERRY

- WO WATER OAK
- WXM WAX MYRTLE
- BOC BACK OF CURB
- CNA COULD NOT ACCESS
- FFE FINISHED FLOOR ELEVATION
- UCDA UNDER CONSTRUCTION DURING AS-BUILT
- ID INVERT ELEVATION
- PIPE DIRECTION
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- HDPE HIGH DENSITY POLY-ETHYLENE PIPE
- TOS TOP OF SEDIMENT
- TOW TOP OF WATER
- DWS DETECTABLE WARNING STRIP
- SBA STOP BAR

- SBL SINGLE BLUE LINE
- SWL SINGLE WHITE LINE
- CONTOUR LINE
- BB BOTTOM OF BANK
- X FENCE LINE
- TB TOP OF BANK
- CPY TREE CANOPY
- TV UNDERGROUND TV LINE
- COM UNDERGROUND COMMUNICATIONS LINE
- SD UNDERGROUND DRAINAGE LINE
- EE UNDERGROUND ELECTRIC LINE
- SS UNDERGROUND SEWER LINE
- UT UNDERGROUND TELEPHONE
- W UNDERGROUND WATER LINE
- BRICK

- CONCRETE
- DETECTABLE WARNING STRIP
- EDGE OF PAVEMENT
- GRAVEL
- RIP-RAP
- WOOD

NORTH
SC GRID (NAD 83)



- NOTES
1. LEGEND IS LOCATED ON SHEET ONE (1).
 2. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X, COMMUNITY 450250, MAP NUMBER 45013004510.
 3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 4. VERTICAL DATUM IS NAVD 88.
 5. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 6. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK. PROPERTY LINES SHOWN ARE PER BEAUFORT COUNTY GIS.
 7. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACOUSTICAL EVIDENCE AS OF SEPTEMBER 28, 2021. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

- REFERENCES
- | | |
|--------------|----------|
| 1. PB: 34 | PG: 47 |
| 2. DB: 468 | PG: 1060 |
| 3. DB: 752 | PG: 1773 |
| 4. PB: 29 | PG: 126 |
| 5. DB: 570 | PG: 1784 |
| 6. PB: 34 | PG: 182 |
| 7. DB: 214 | PG: 618 |
| 8. PB: 77 | PG: 60 |
| 9. DB: 1429 | PG: 1382 |
| 10. DB: 3177 | PG: 3359 |

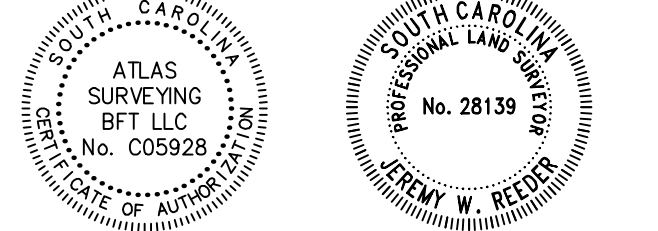


PREPARED FOR:
BEAUFORT COUNTY SCHOOL DISTRICT
A PARTIAL AS-BUILT / TREE & TOPOGRAPHIC SURVEY OF
HILTON HEAD HIGH SCHOOL
TAX PARCEL Nos:
R510 007 000 0030 0000
R510 007 000 0118 0000
R510 007 000 0227 0000
R510 007 000 0004 0000
&
R510 007 000 149E 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: CMW
FIELD CHECK: JWR
DRAWN BY: JHJ
DATE: 10-06-2021
SCALE: 1"=60'
PROJECT No.: BFT-19049
FILE: BFT-19049 MHHS ATT.DWG

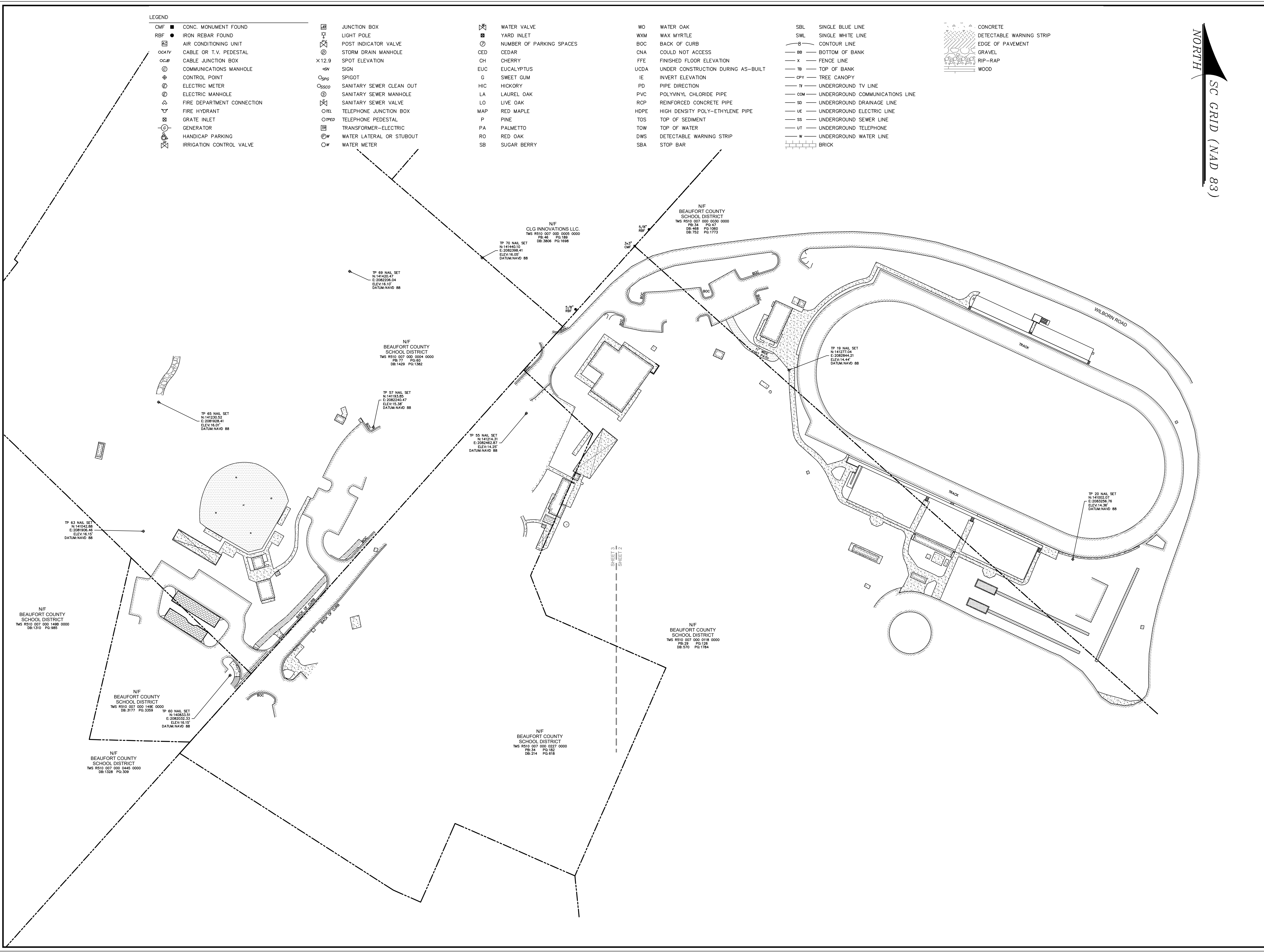
SHEET 1 OF 3

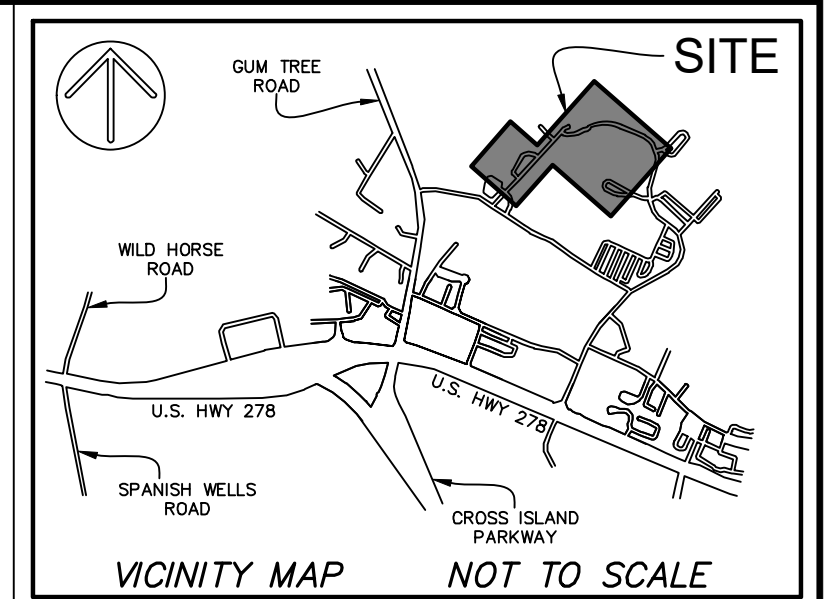
ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL





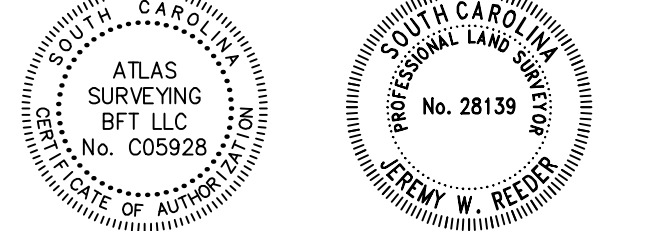
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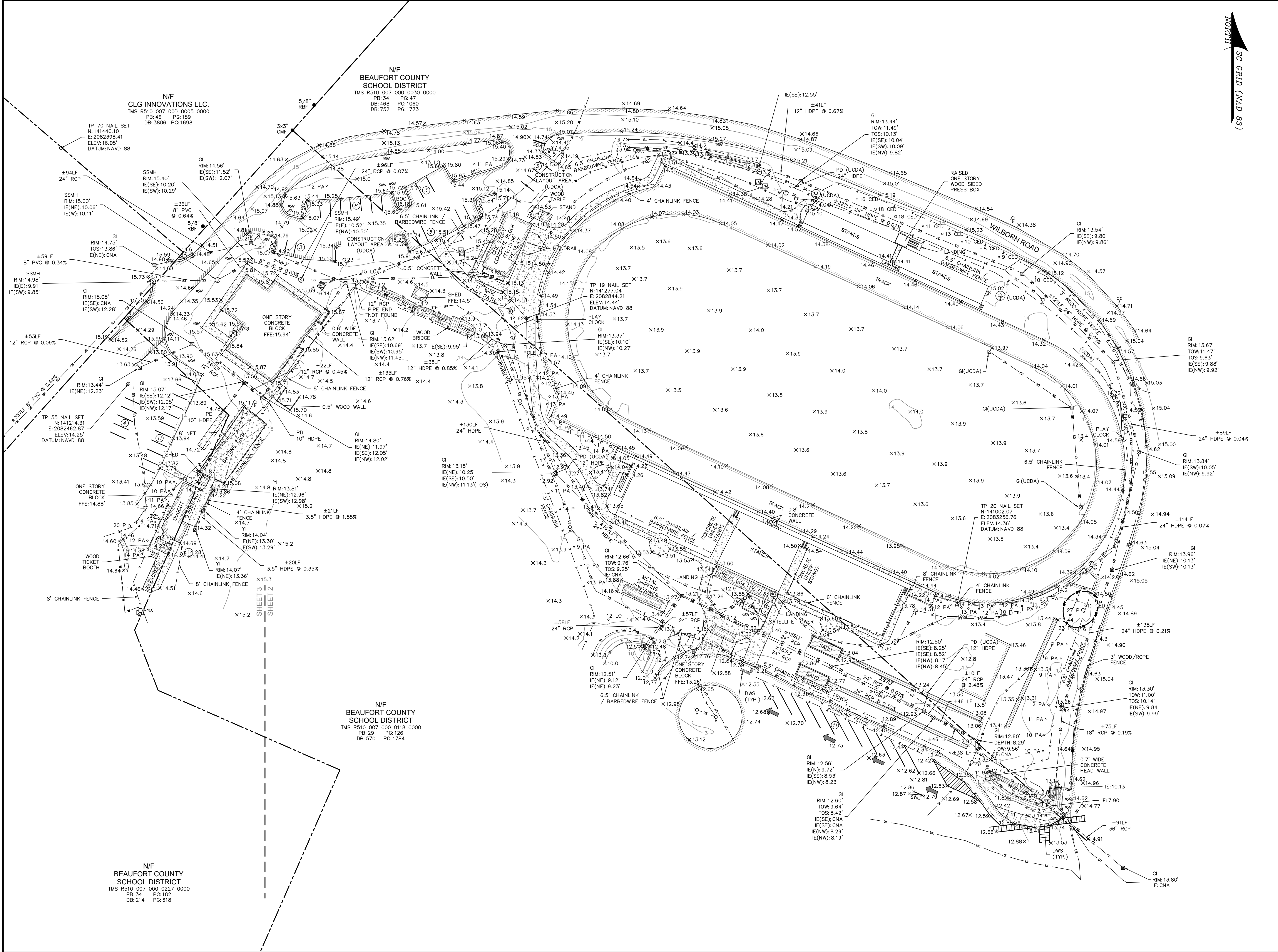
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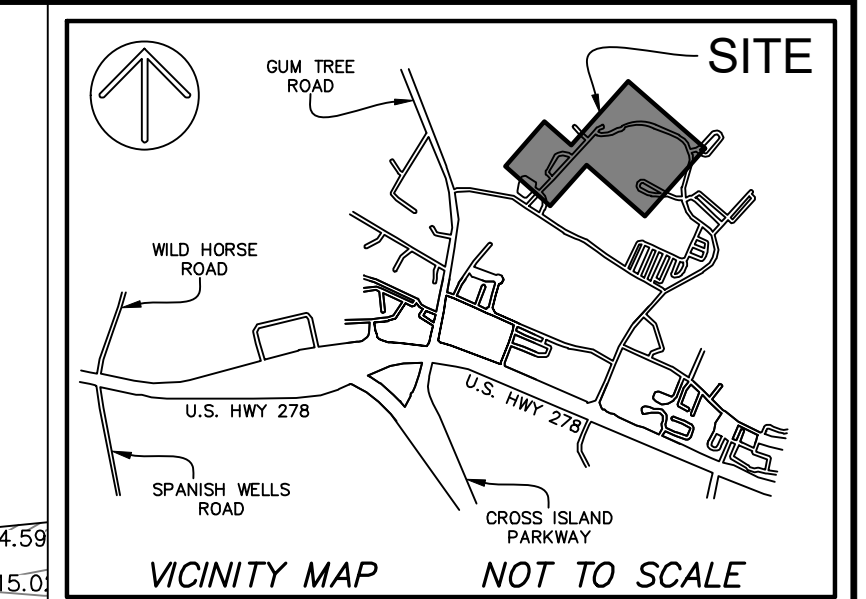
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 PB: 46 PG: 189
 DB: 3806 PG: 1698

N/F
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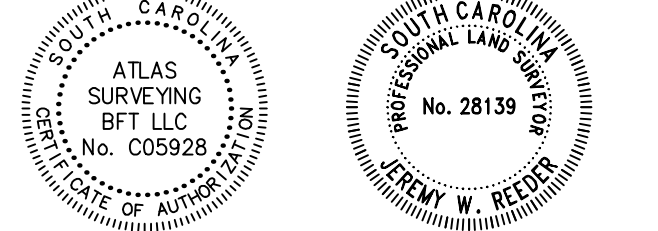


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PROJECT No.:	BFT-19049
FILE:	BFT-19049 MHMS ATT.DWG

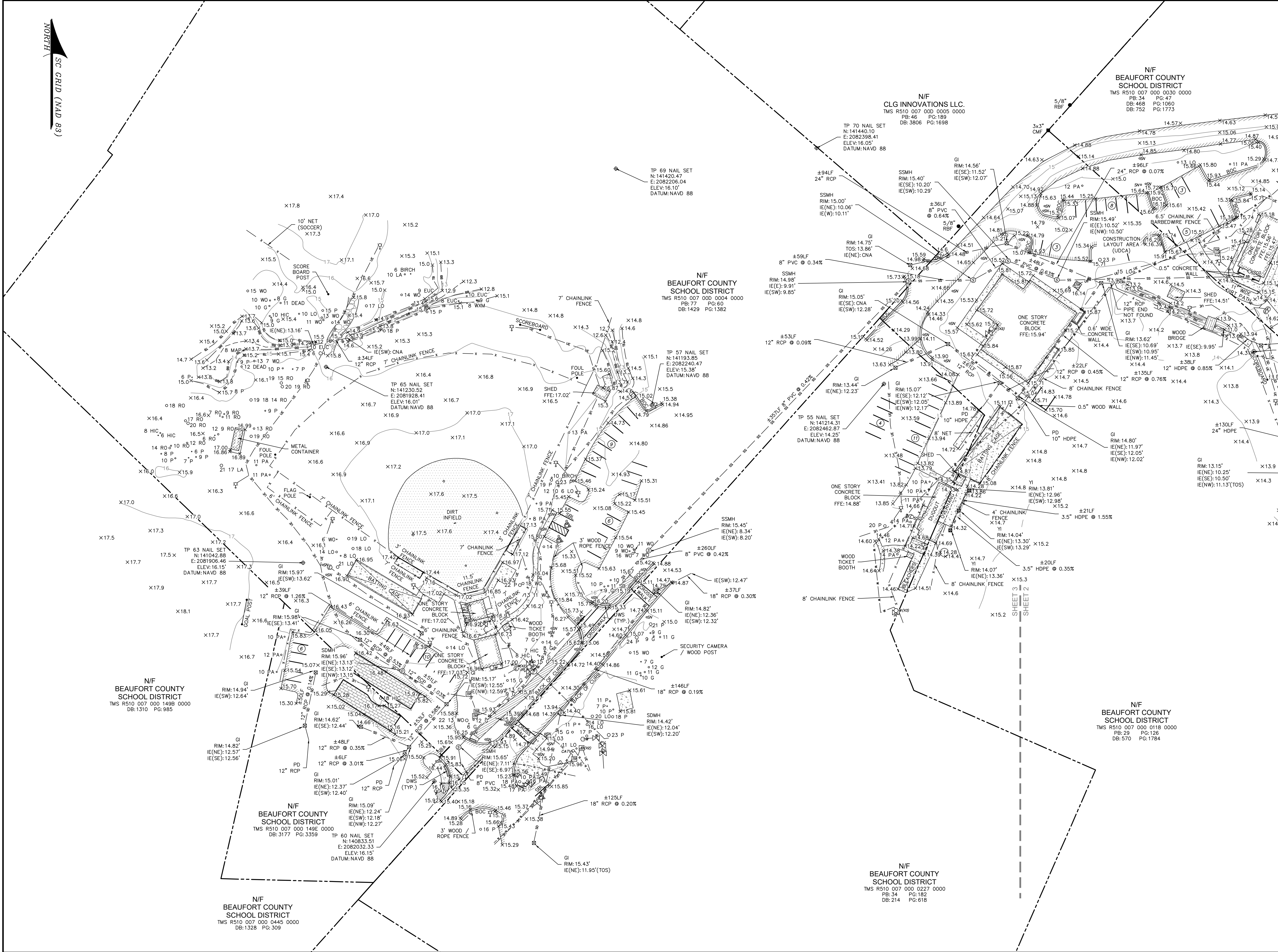
SHEET 3 OF 3

ATLAS
SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL



N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 149E 0000
DB:1310 PG:985

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 149E 0000
DB:3177 PG:3359

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 0445 0000
DB:1328 PG:309

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 0004 0000
PB:77 PG:60
DB:1429 PG:1382

N/F
CLG INNOVATIONS LLC.
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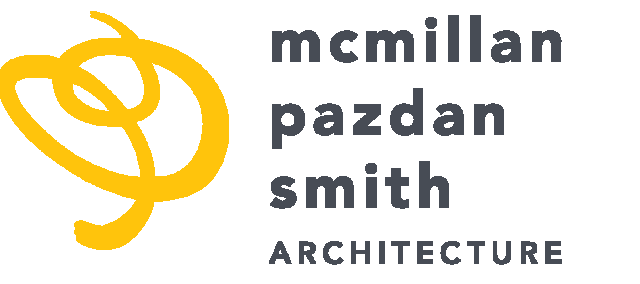
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N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 0227 0000
PB:34 PG:182
DB:214 PG:618

BEAUFORT COUNTY SCHOOL DISTRICT HHHS - PHASE II- ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

Issue Date/ Description: 7/11/2023 ASI #04
MPS Project No: 019593.03
Agency Review ID: 0701-0233 320



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CHRIS GILGER

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MECHANICAL

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MARK WATTS

ELECTRICAL

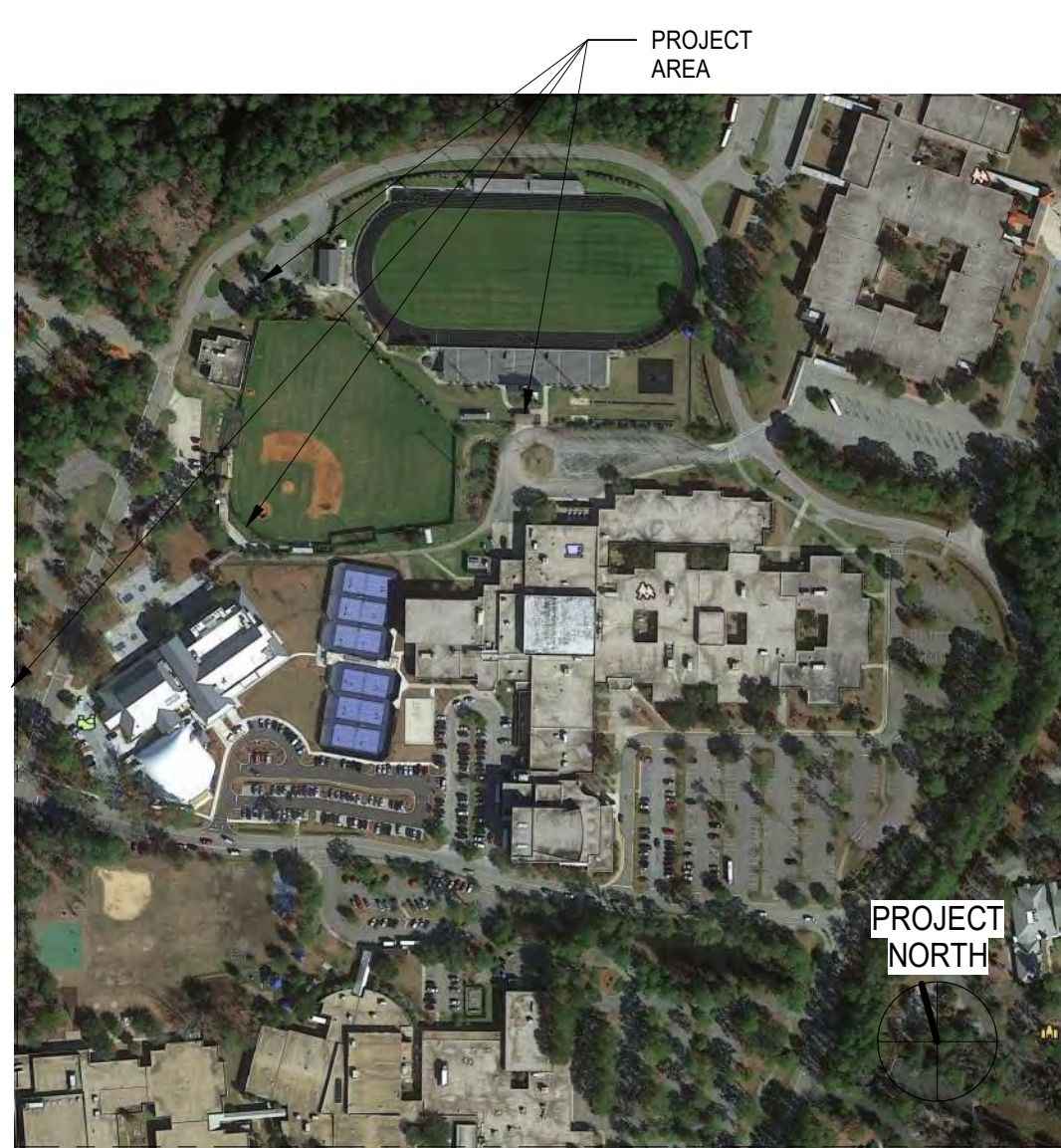
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BRIAN MELSON

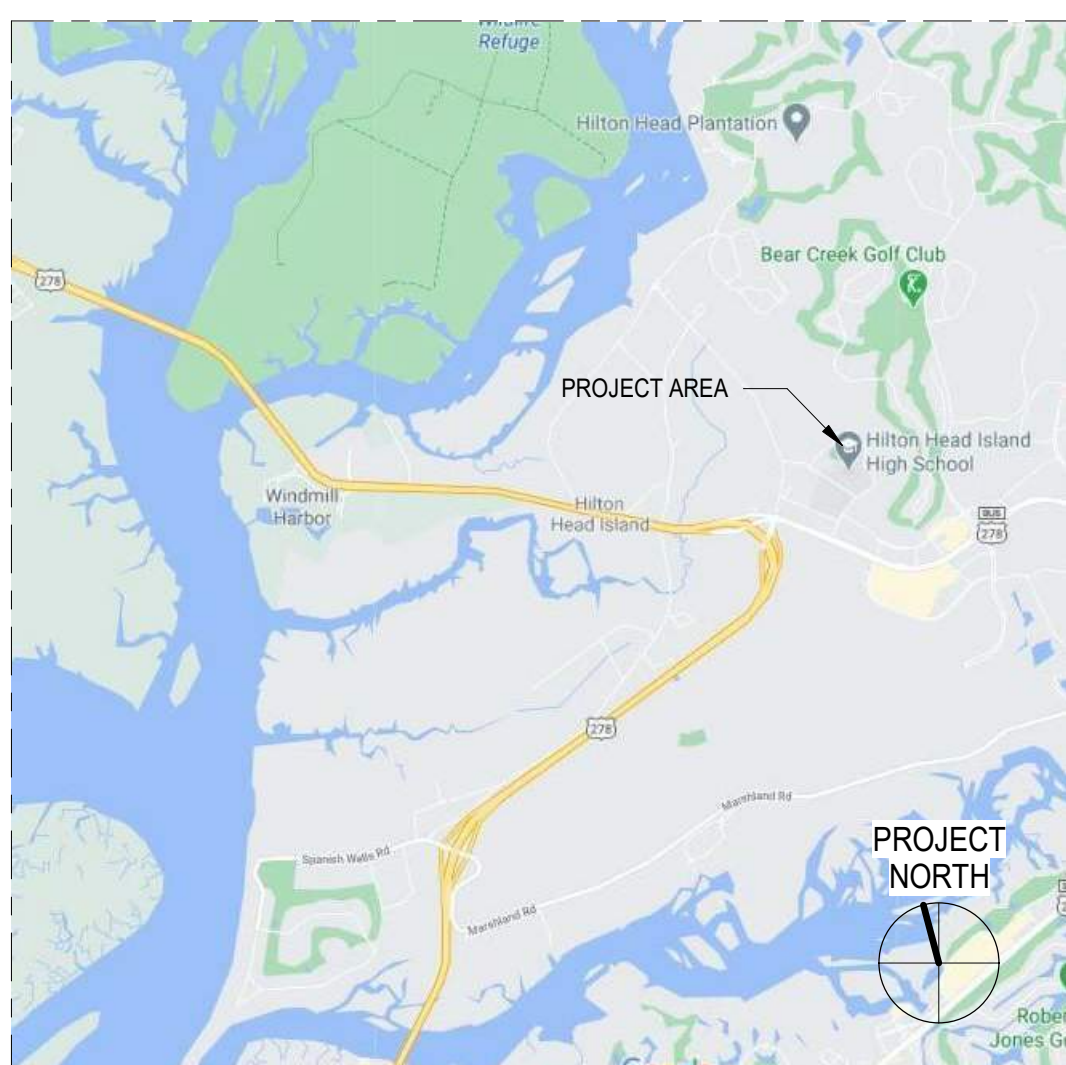
FIRE PROTECTION

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MARK WATTS



SITE MAP



VICINITY MAP

DRAWING LIST

GENERAL	
SHEET NO	SHEET NAME
G001	COVER SHEET
G010	CODE SHEET
G100	LIFE SAFETY PLAN - NEW CONSTRUCTION
G403	ADA TYPICAL ACCESSIBILITY DIAGRAMS - SIGNAGE

CIVIL	
SHEET NO	SHEET NAME
C100	SITE EXHIBIT

ARCHITECTURAL	
SHEET NO	SHEET NAME
A001	ABBREVIATION, SYMBOLS AND LEGENDS
A003	PARTITION TYPES - METAL STUD
A004	PARTITION TYPES - CMU
A010	SITE PLAN
A030	DEMOLITION PLANS
A100	RENOVATION PLANS
A300	EXTERIOR ELEVATIONS
A330	WALL SECTIONS
A401	ENLARGED FLOOR PLANS
A402	INTERIOR ELEVATIONS
A700	DETAILS
A800	DOOR SCHEDULE

STRUCTURAL	
SHEET NO	SHEET NAME
ASB14	TYP. DETAILS - CMU
ASB15	TYP. DETAILS - CMU
ASB22	TYP. DETAILS - JOIST

MECHANICAL	
SHEET NO	SHEET NAME
M001	LEGENDS, NOTES, AND ABBREVIATIONS - HVAC
M001	LEGENDS, NOTES, AND ABBREVIATIONS - HVAC
M002	SCHEDULES - HVAC
M002	SCHEDULES - HVAC
M100	AREA 2 FIELD HOUSE FLOOR PLAN DEMOLITION AND RENOVATION - HVAC
M101	AREA 2 FIELD HOUSE ROOF PLAN DEMOLITION AND RENOVATION - HVAC
M110	AREA 1 FLOOR PLAN, ROOF PLAN, AND BUILDING SECTIONS - HVAC
M301	DETAILS - HVAC
M301	DETAILS - HVAC
M302	DETAILS - HVAC
M302	DETAILS - HVAC

PLUMBING	
SHEET NO	SHEET NAME
P001	PLUMBING NOTES, LEGENDS & SCHEDULES
P002	PLUMBING DETAILS
P003	PLUMBING DETAILS
P110	FLOOR PLAN - PLUMBING - SUPPLY
P110A	FLOOR PLAN - PLUMBING - WASTE/VENT
P121	ROOF PLAN & RISER PLAN - PLUMBING
P001	PLUMBING NOTES, LEGENDS & SCHEDULES
P002	PLUMBING DETAILS
P003	PLUMBING DETAILS
PD100	FLOOR PLAN - DEMOLITION - PLUMBING - SUPPLY
PD101A	FLOOR PLAN - DEMOLITION - PLUMBING - WASTE/VENT
P100	FLOOR PLAN - RENOVATION - PLUMBING - SUPPLY
P100A	FLOOR PLAN - RENOVATION - PLUMBING - WASTE/VENT
P120	ROOF PLAN & RISER PLANS - PLUMBING

ELECTRICAL	
SHEET NO	SHEET NAME
E001	SITE PLAN - ELECTRICAL
E002	PANELBOARD SCHEDULES
E030	EXISTING FIELD HOUSE DEMOLITION PLANS
E100	ELECTRICAL SCHEDULES AND DETAILS
E101	EXISTING FIELD HOUSE PLAN - LIGHTING
E110	NEW FIELD HOUSE PLAN - LIGHTING
E201	EXISTING FIELD HOUSE PLAN - ELECTRICAL
E210	NEW FIELD HOUSE PLAN - ELECTRICAL
E211	NEW FIELD HOUSE PLAN - HVAC CONNECTIONS
E301	EXISTING FIELD HOUSE PLAN - FIRE ALARM
E310	NEW FIELD HOUSE PLAN - FIRE ALARM

TECHNOLOGY	
SHEET NO	SHEET NAME
T3S1	EXISTING FIELD HOUSE PLAN - SECURITY

ROOFING	
SHEET NO	SHEET NAME
R100	EXISTING ROOF PLAN
R101	NEW ROOF PLAN
R201	DETAILS

AGENCY APPROVALS / REQUIRED PERMITS

ENTITY	DESCRIPTION	DATE
SCDEHEC - OCRM	COASTAL ZONE CONSISTENCY	TBD
SCDEHEC	NPDEC LAND DISTURBANCE PERMIT	TBD
TOWN OF HHI	MS4 STORM WATER PERMIT	TBD
TOWN OF HHI	DEVELOPMENT PLAN REVIEW	TBD
HILTON HEAD PSD	WATER AND SEWER CONNECTIONS	TBD
HARGRAY COMMUNICATIONS	TELECOM SERVICE PLAN	TBD
PALMETTO ELECTRIC	ELECTRICAL SERVICE PLAN	TBD
OSF	DESIGN REVIEW	TBD
BCSD	DESIGN REVIEW	TBD

POSSIBLE ADDITIONAL (TBD)

ENTITY	DESCRIPTION	DATE
SCDEHEC	WATER/ WASTEWATER CONSTRUCTION PERMIT	TBD
OSFM	SPRINKLER SYSTEM	TBD
SCDOT	SCHOOL TRAFFIC CONSURENCE	TBD
TOWN OF HHI DRB	DESIGN REVIEW	TBD

ALTERNATES

ALTERNATE NO. 1: EXTERIOR FINISHES, STOREFRONT, CANOPY

Base Bid: CLEAN EXISTING EXTERIOR WALLS AND SEAL PER CONSTRUCTION DOCUMENTS.
Alternate: PROVIDE EXTERIOR METAL COMPOSITE MATERIAL WALL PANELS AND CANOPY. INCLUDE ALL ASSOCIATED WORK TO INSTALL PANELS PER CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL FRAMING, CMU BLOCK, NEW STOREFRONT WINDOWS, AND NEW FIXED LOUVERS.

ALTERNATE NO. 2: OUTDOOR WORK-OUT AREA.

Base Bid: NO OUTDOOR WORK-OUT AREA INSTALLATION.
Alternate: INSTALL OUTDOOR WORK-OUT AREA AS INDICATED ON SHEET A703.

PHASING

PHASE 2A: ALL WORK ASSOCIATED WITH THE RENOVATION OF THE EXISTING FIELD HOUSE AS DETAILED IN THE CONSTRUCTION DOCUMENTS.

PHASE 2B: ALL WORK ASSOCIATED WITH THE CONSTRUCTION OF A NEW FIELD HOUSE, INCLUDING ALL SITE WORK FOR BOTH PHASES AND ADDITIONAL ATHLETIC IMPROVEMENTS AS DETAILED IN THE CONSTRUCTION DOCUMENTS.

BEAUFORT COUNTY SCHOOL DISTRICT

HHHS - PHASE II- ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
1	02/24/2023	Addendum #1	
2	7/11/2023	ASI #04	

CONSTRUCTION DOCUMENTS 05/05/2023

PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: LJS

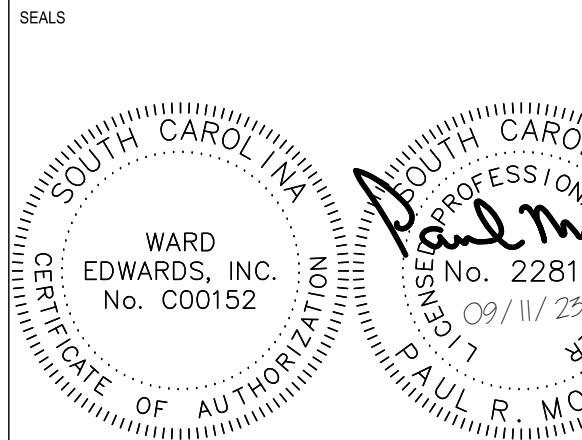
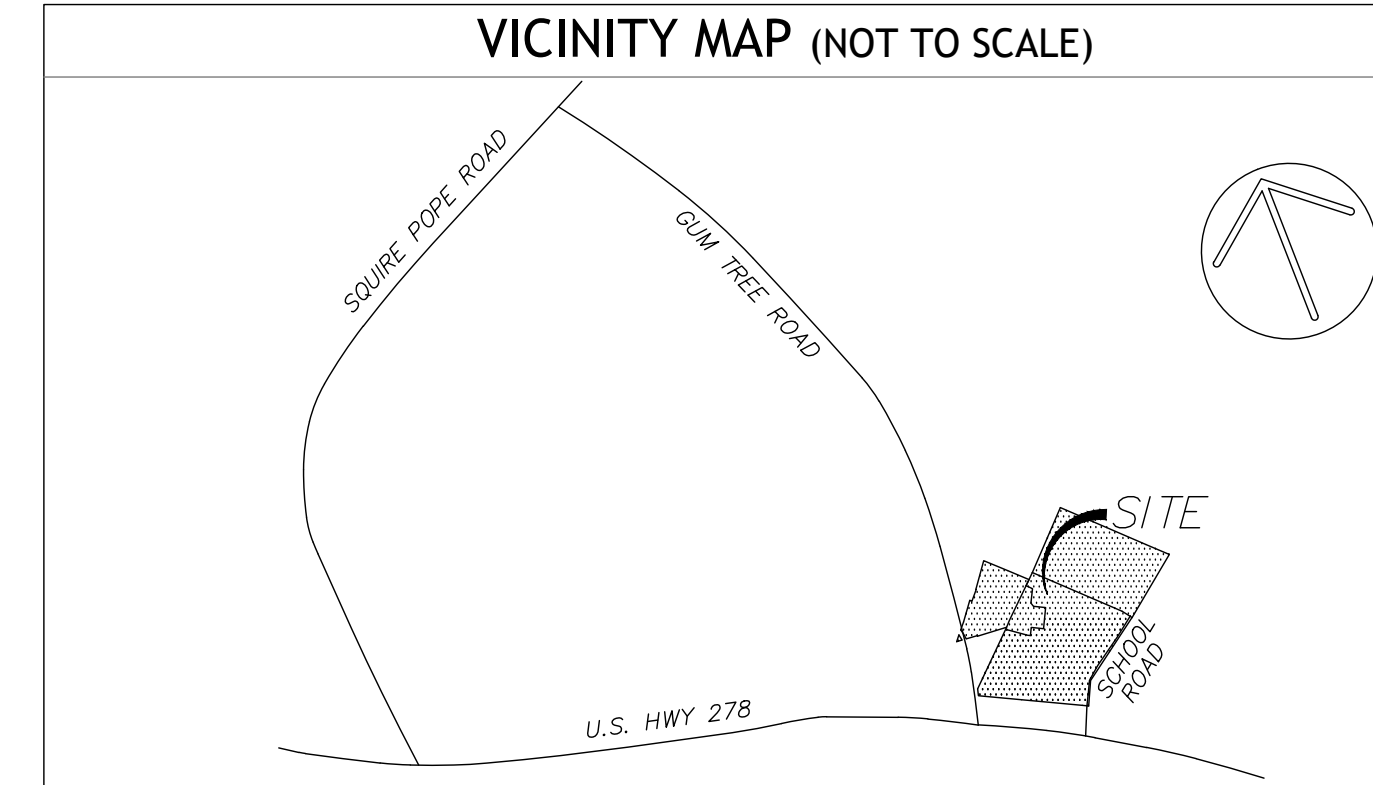
SHEET TITLE:
COVER SHEET

SHEET NO. PROJ. NO.
019593.03

G001

SITE DEVELOPMENT PLANS FOR HILTON HEAD IS. H.S. - PHASE 2B - ATHLETICS

TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA



NOT FOR CONSTRUCTION

GENERAL NOTES:

1. BOUNDARY INFORMATION PROVIDED BY A PARTIAL SURVEY OF H.H. HIGH SCHOOL, DATED 10-06-2021, BY ATLAS SURVEYING, INC.
2. TOPOGRAPHIC DATA PROVIDED BY ATLAS SURVEYING, INC. DATED 10-06-2021.
3. APPROXIMATE LOCATION OF CERTAIN EXISTING UNDERGROUND UTILITY LINES AND STRUCTURES ARE SHOWN ON THE PLANS FOR INFORMATION ONLY. ADDITIONAL UNDERGROUND LINES OR STRUCTURES MAY EXIST THAT ARE NOT SHOWN. CALL SOUTH CAROLINA 811 AT 811 OR 1-888-723-7874 BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THRU FRIDAY AT LEAST THREE WORKING DAYS BEFORE COMMENCING CONSTRUCTION. REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND NEAR THE CONSTRUCTION SITE.
4. COMPLY WITH "SOUTH CAROLINA UNDERGROUND FACILITY DAMAGE PREVENTION ACT" (EFFECTIVE JUNE 7, 2012). NOTIFICATION OF INTENT TO EXCAVATE MAY BE GIVEN BY CALLING THE TOLL FREE NUMBER: 1-800-922-0885.
5. PROTECT BENCH MARKS AND PROPERTY MONUMENTS FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPLACE ANY BENCH MARKS OR MONUMENTS DAMAGED OR DESTROYED AS A RESULT OF CONTRACTOR'S OPERATIONS, AT NO COST TO THE OWNER, BY A LICENSED SURVEYOR IN THE STATE OF SOUTH CAROLINA.
6. OFF-STREET PARKING FOR THE CONTRACTOR'S EMPLOYEES AND AUTHORIZED VISITORS TO THE SITE MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO WEIGHT LIMITS PRESCRIBED FOR ALL PUBLIC ROADS WHEN HAULING EQUIPMENT AND MATERIALS TO AND FROM THE PROJECT SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THE CONTRACTOR'S CONSTRUCTION OPERATIONS OR IMPROPER TRANSPORTATION OF MATERIALS AND EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. AT LEAST ONE DRIVING LANE ON PUBLIC ROADS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. TRAFFIC LANES WILL ONLY BE CLOSED WITH THE EXPRESS WRITTEN CONSENT OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY. NOTIFY AGENCY HAVING JURISDICTION AT LEAST 5 DAYS BEFORE CLOSING ANY DRIVING LANES TO TRAFFIC. PROVIDE TRAFFIC CONTROL DEVICES, SIGNS AND FLAGMEN AS REQUIRED TO ENSURE PUBLIC SAFETY.
9. CONTRACTOR SHALL COORDINATE DEMOLITION, CLEARING AND CONSTRUCTION OF IMPROVEMENTS TO MINIMIZE INTERFERENCE WITH VEHICULAR AND PEDESTRIAN TRAFFIC AND WITH OPERATIONS OF EXISTING FACILITIES.

WATER AND SEWER LINE CONSTRUCTION:

1. ALL WATER AND SEWER LINE CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND HILTON HEAD PUBLIC SERVICE DISTRICT (HHPD) REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
2. HHPD WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER AND SEWER SYSTEM CONSTRUCTION AND FOR ACCEPTANCE FOR OPERATION AND MAINTENANCE.
3. ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF ALL UTILITY OWNERS AND FOR FIELD VERIFICATION OF BOTH HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCING CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. NOTIFY THE PROJECT ENGINEER, IF CONFLICTS WITH EXISTING STRUCTURES REQUIRE THAT PROPOSED UTILITIES BE RELOCATED.
5. THE CONTRACTOR MUST NOTIFY HHPD FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION OR TESTING OF THE WATER DISTRIBUTION SYSTEM.
6. PIPE, FITTINGS, VALVES AND APPURTENANCES FOR WATER AND SEWER LINES SHALL ALL BE IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN THE HHPD TECHNICAL SPECIFICATIONS.
7. INSTALLATION OF WATER AND SEWER LINES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE HHPD STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
8. CONTRACTOR SHALL INSTALL MECHANICAL RESTRAINTS ON ALL BENDS, PLUGS AND TEES, 2" OR LARGER, ON WATERLINES AND SANITARY SEWER FORCE MAINS.
9. ALL WATER MAINS SHALL BE STERILIZED AND PRESSURE TESTED IN ACCORDANCE WITH HHPD SPECIFICATIONS.
10. SEPARATION OF WATER MAINS AND SEWERS:
 - A. PARALLEL INSTALLATION: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER MAINS AT LEAST 10'-FT. HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER OR SANITARY SEWER FORCE MAIN, THE DISTANCE BEING MEASURED IN A HORIZONTAL PLANE BETWEEN THE OUTSIDE SURFACES OF THE PIPES.
 - B. CROSSINGS: UNLESS OTHERWISE SPECIFICALLY SHOWN IN A SPECIAL DETAIL ON THE PLANS, INSTALL WATER LINES CROSSING SANITARY SEWERS OR SANITARY SEWER FORCE MAINS TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18-INCHES BETWEEN THE OUTSIDE SURFACES OF THE PIPES. THIS SHALL BE THE CASE WHETHER THE WATER LINE IS ABOVE OR BELOW THE SANITARY SEWER LINE. WHENEVER POSSIBLE LOCATE THE WATER LINE ABOVE THE SEWER LINE. WHERE A NEW WATER LINE CROSSES AN EXISTING SEWER LINE, PLACE A FULL LENGTH OF DUCTILE IRON PIPE FOR WATER LINE AT THE CROSSING WITH PIPE POSITIONED SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE POINT OF CROSSING. WHERE A NEW WATER LINE CROSSES AN EXISTING SEWER LINE, PLACE ONE FULL LENGTH OF DUCTILE IRON PIPE WATER LINE SO THAT THE JOINTS ARE AS FAR FROM THE POINT OF CROSSING AS POSSIBLE.
11. THE CONTRACTOR SHALL CUT AND PATCH EXISTING PAVEMENT AS NECESSARY FOR THE INSTALLATION OF UTILITY LINES.
12. SANITARY MANHOLE RIM GRADES SHOWN ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FLUSH WITH FINISHED GRADE.
13. THE CONTRACTOR UNDER THIS CONTRACT SHALL NOT MAKE ANY CONNECTIONS TO THE EXISTING WATER OR SANITARY SEWER SYSTEMS UNLESS EXPRESSLY AUTHORIZED TO DO SO BY THE HHPD. ALL WATER AND SEWER IMPROVEMENTS UNDER THIS CONTRACT MUST BE CONSTRUCTED COMPLETE, TESTED, INSPECTED AND APPROVED BY THE HHPD BEFORE ANY AUTHORIZATION TO CONNECT WILL BE GIVEN. COORDINATION OF TESTING, INSPECTION AND CONNECTIONS WITH THE HHPD IS THE RESPONSIBILITY OF THE CONTRACTOR UNDER THIS CONTRACT.
14. ALL WATER MAINS SHALL BE INSTALLED WITH THIRTY-SIX INCHES (36") MINIMUM COVER (FROM FINISHED GRADE). MINIMUM DEPTH SHALL BE FIVE FEET (5') WHERE WATER MAINS MAY CONFLICT WITH OTHER UTILITIES. THE WATER MAIN CROSSING SHALL BE CONSTRUCTED WITH DUCTILE IRON PIPE, MECHANICAL JOINT AS-DEG. BENDS AND MECHANICAL RESTRAINTS.

WORK ON SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY:

1. CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL CONDITIONS AND SPECIAL PROVISIONS CONTAINED IN THE SCOTD ENCROACHMENT PERMIT(S) ISSUED FOR THIS PROJECT.
2. CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCOTD STANDARD DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING CONSTRUCTION NOTIFICATION FORM (48 HOUR MINIMUM) AND COORDINATION OF ALL WORK WITHIN SCOTD RIGHTS-OF-WAY WITH THE LOCAL AND/OR DISTRICT SCOTD ENGINEERING REPRESENTATIVE.
4. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND SUBMITTING A TRAFFIC CONTROL PLAN TO SCOTD FOR APPROVAL. MINIMUM 48 HOURS PRIOR TO CONDUCTING WORK IN THE RIGHT-OF-WAY. ALL TRAFFIC CONTROL PLANS SHALL CONFORM TO CURRENT MUTCD AND CURRENT SCOTD GUIDELINES AND SPECIFICATIONS.
5. ALL SIGNAGE, PAVEMENT MARKINGS, AND MARKERS SHALL CONFORM TO CURRENT MUTCD GUIDELINES AND CURRENT SCOTD STANDARD SPECIFICATIONS AND DRAWINGS.
6. ALL PAVEMENT MARKINGS IN SCOTD RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD GUIDELINES AND CURRENT SCOTD STANDARD SPECIFICATIONS AND DRAWINGS.
7. REMOVAL OF PAVEMENT MARKINGS SHALL CONFORM TO CURRENT SCOTD STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION SECTION 609.1.2.

TREE PROTECTION-HILTON HEAD ISLAND

1. ONLY THOSE TREES APPROVED FOR REMOVAL IN ACCORDANCE WITH THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE AND SO DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS. ALL TREES NOT DESIGNATED ON THE PLANS FOR REMOVAL MUST BE PRESERVED.
2. THE CONTRACTOR IS RESPONSIBLE FOR MARKING THE TREES DESIGNATED TO BE PRESERVED AND THOSE TO BE REMOVED IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
3. PRIOR TO COMMENCING ANY CLEARING OR CONSTRUCTION OPERATIONS ON THE SITE, THE CONTRACTOR SHALL ERECT TREE PROTECTION BARRIERS AROUND EACH TREE OR GROUP OF TREES DESIGNATED FOR PRESERVATION IN ACCORDANCE WITH THE DETAILS ON THE PLANS AND THE REQUIREMENTS CONTAINED IN SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE.
4. A TREE PROTECTION ZONE SHALL BE ESTABLISHED IN ACCORDANCE WITH THE PROVISIONS CONTAINED IN SECTION 16-6-404 OF THE TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE FOR EACH EXISTING TREE DESIGNATED FOR PRESERVATION. THE MINIMUM TREE PROTECTION ZONE SHALL BE THE TREE DRINKING PLUS 1 FOOT. THE SIZE OR CONFIGURATION OF THE TREE PROTECTION ZONE MAY BE ADJUSTED AT THE DISCRETION OF THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR.
5. THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN OPEN AND UNPAVED. NO CHANGE OF GRADE WILL BE ALLOWED WITHIN THE TREE PROTECTION ZONE. ANY ACTIVITY WITHIN THE TREE PROTECTION ZONE IS SUBJECT TO APPROVAL BY THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE TREE PROTECTION ZONE:
 - A. PLACEMENT OR STORAGE OF ANY SOIL, DEBRIS, OILS, FUELS, PAINTS, BUILDING MATERIALS OR ANY OTHER MATERIALS.
 - B. BURNING.
 - C. VEHICLE PARKING.
 - D. PAVING.
 - E. TRENCHING FOR UTILITIES.
6. WHERE UTILITY LINES MUST PASS THRU THE TREE PROTECTION ZONE, THEY SHALL BE INSTALLED BY HORIZONTAL BORING BENEATH THE ROOTS OF THE TREE.
7. WHERE IT IS NECESSARY FOR MACHINERY AND EQUIPMENT TO PASS WITHIN THE TREE PROTECTION ZONE, APPROVAL MUST BE OBTAINED FROM THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT DIRECTOR. SPECIAL MEASURES WILL BE REQUIRED TO PROTECT THE ROOTS FROM EXCESSIVE COMPACTON.
8. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING A STAKING INSPECTION WITH THE TOWN OF HILTON HEAD ISLAND PRIOR TO CLEARING. THE FOLLOWING MUST BE COMPLETED BEFORE THE INSPECTION:
 - A. ALL BUILDING ERECS, SIGNMARKS, PAVED AREAS AND UTILITY LINES STAKED.
 - B. TREE PROTECTION BARRIERS INSTALLED.
 - C. TREES TO BE PRESERVED MARKED WITH BLUE FLAGGING AND THOSE TO BE REMOVED MARKED WITH RED FLAGGING.
 - D. ALL SILT FENCE INSTALLED PER THE APPROVED PLAN.

SITE GRADING AND DRAINAGE:

1. ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 72-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SEDIMENTING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSTRUCTION OF STORM SEWERS, FLOODING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
3. FULL WIDTH OF STREET AND ROAD RIGHTS-OF-WAY MUST BE CLEARED AND GRADED AS SHOWN IN THE DETAILS ON THE DRAWINGS.
4. SUBGRADE PREPARATION: TOP SOIL SHALL BE REMOVED FROM PAVED AREAS TO A MINIMUM DEPTH AS RECOMMENDED IN THE PROJECT'S GEOTECHNICAL REPORT. ALL EXCAVATION SHALL BE TO SUBGRADE LEVELS.
5. ALL UTILITY PIPE LINES, CONDUITS AND SLEEVES UNDER PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE ROADWAY SUBGRADE CONSTRUCTION.
6. FINISH GRADING SHALL INCLUDE THE PLACEMENT OF TOPSOIL OVER ALL UNPAVED AREAS NOT OCCUPIED BY BUILDINGS OR STRUCTURES AND FINE GRADING AROUND BUILDINGS, ADJACENT TO WALKS, CURBS, GUTTERS AND STRUCTURES TO ASSURE POSITIVE DRAINAGE.

SCDHCC/OCRM SEDIMENT AND EROSION CONTROL STANDARD NOTES (REVISED DEC-2012):

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HARDENING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMING MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
3. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
4. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
5. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
6. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FULL COVERS, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
7. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
8. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF MUD/SILT ON PAVED SURFACES. THE CONTRACTOR SHALL:
 - A. MAINTAIN DRIVEWAYS AND DRIVEWAYS CLEAR OF MUD/SILT.
 - B. MAINTAIN DRIVEWAYS AND DRIVEWAYS CLEAR OF MUD/SILT.
 - C. MAINTAIN DRIVEWAYS AND DRIVEWAYS CLEAR OF MUD/SILT.
 - D. MAINTAIN DRIVEWAYS AND DRIVEWAYS CLEAR OF MUD/SILT.
9. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. IN ADDITION TO THE ABOVE, FOLLOW THE FOLLOWING DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR10000.
10. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM DISPOURE, RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRENCH OR STABLE OUTLETS.
11. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
12. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
13. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM Dewatering of TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
14. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - A. WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - B. WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - C. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT WASHING.
15. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONE EVERY CALENDAR WEEK AND MUST BE COMPLETED UNTIL ALL DISTURBED AREAS ARE RESTORED TO ORIGINAL OR BETTER CONDITION FOR A PERIOD OF 1 CALENDAR DAY.
16. EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT IMPLEMENTATION OF CONSTRUCTION ACTIVITIES FOR NON-URBAN PRODUCTS THAT DISTURB TO ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
17. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES.
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DRY UTILITY CONDUITS FOR ELECTRIC, TELEPHONE AND CABLE TV:

1. ALL DRY UTILITY CONDUIT ENDS SHALL BE CAPPED AND MARKED WITH A STEEL REBAR STAKE EMBEDDED ONE (1) FOOT BELOW GROUND SURFACE.
2. 48" MINIMUM BURY DEPTH FOR ALL ELECTRIC CONDUITS.
3. MAINTAIN MINIMUM 12" VERTICAL CLEARANCE WHEN CROSSING WATER, SEWER, AND STORM DRAIN LINES.
4. MAINTAIN MINIMUM 18" HORIZONTAL CLEARANCE WHEN PARALLELING WATER, SEWER AND STORM DRAIN LINES.
5. EXTEND CONDUIT BEYOND PAVEMENT, CURBS AND SIDEWALKS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS. REFER TO APPROVED BUILDING PLANS FOR THE EXACT LOCATION OF ALL SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARD TO THE INSTALLATION OF UTILITIES AND CONDUIT.
7. LOCATIONS SHOWN ON THE PLANS FOR PROPOSED DRY UTILITY CONDUITS ARE APPROXIMATE ONLY. ALL DIMENSIONING AND STAKING SHOULD BE BASED ON ECONOMIC AND PRACTICAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE RESPECTIVE UTILITY REPRESENTATIVES PRIOR TO ANY CONDUIT INSTALLATION.
8. TRANSFORMER PADS SHALL BE LOCATED AS DIRECTED BY THE RESPECTIVE UTILITY REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE CODE REQUIREMENTS.
9. NOTIFY THE ENGINEER IF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES REQUIRE PROPOSED UTILITIES BE RELOCATED.

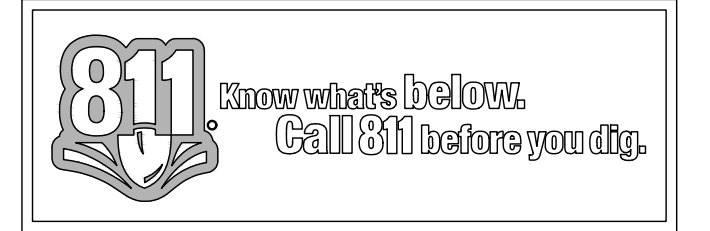
SITE CLEARING AND DEMOLITION:

1. NO CLEARING SHALL OCCUR WITHIN DESIGNATED BUFFER ZONES, TREE PROTECTION ZONES, OUTSIDE OF THE PROPERTY LINES OR BEYOND THE CLEARING LIMITS UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE PLANS.
2. ONLY THOSE TREES DESIGNATED ON THE DRAWINGS FOR REMOVAL ARE TO BE REMOVED AS PART OF THE SITE CLEARING OPERATIONS.
3. THE CONTRACTOR SHALL INSTALL A CONTINUOUS LINE OF FLAGGING OR FENCING ALONG THE LIMITS OF CLEARING PRIOR TO COMMENCING ANY CLEARING, DEMOLITION, OR CONSTRUCTION WORK ON THE PROJECT.
4. EXERCISE CAUTION DURING CLEARING OPERATIONS TO AVOID FELLING TREES INTO DESIGNATED TREE PROTECTION ZONES.
5. NO BURNING WILL BE ALLOWED WITHIN 50 FEET OF A TREE PROTECTION ZONE OR TREE DRIP LINE. CONTRACTOR SHALL COORDINATE ANY BURNING OPERATIONS WITH LOCAL JURISDICTION AND FIRE DEPARTMENTS.
6. SELECTIVE CLEARING AREAS SHALL BE CLEARED OF ALL BRUSH AND UNDERSTORY GROWTH.

UTILITY CONTACTS:

PALMETTO ELECTRIC	843-208-5512	1 COOPERATIVE WAY, HARDEEVILLE, SC 29927
DOMINION ENERGY	800-251-7234	PO BOX 100255 COLUMBIA, SC 29202
BROAD CREEK PSD	843-785-7582	PO BOX 5878, HILTON HEAD, SC 29938
SOUTH ISLAND PSD	843-785-6224	PO BOX 5148, HILTON HEAD, SC 29938
HILTON HEAD ISLAND PSD	843-681-5525	PO BOX 21264, HILTON HEAD, SC 29925
HARGRAY COMMUNICATIONS THE MARKER CABLE	843-815-1675	PO BOX 3380, BLUFFTON, SC 29910
CENTURY LINK	843-913-7940	11 OFFICE PARK ROAD, HILTON HEAD, SC 29928
SANTAE COOPER	843-525-0444	1127 BOUNDARY ST #16, BEAUFORT, SC 29902
	843-761-8000	1 RIVERWOOD DRIVE, MONCK'S CORNER, SC 29461

CONTRACTOR NOTE:
CONTRACTOR TO OBTAIN AND BECOME FAMILIAR WITH GEOTECHNICAL REPORT # _____ PREPARED BY _____
ALL WORK MUST CONFORM TO PROJECT TECHNICAL SPECIFICATIONS FOR BECD SUMMER WORK PHASE 2 - HHS PREPARED BY WARD EDWARDS ENGINEERING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE TECHNICAL SPECIFICATIONS IF NOT PROVIDED WITH THE DRAWINGS.



PROJECT INFORMATION

DEVELOPER:
BFT COUNTY SCHOOL DIST
2900 MINK POINT BLVD
BEAUFORT SC 29901

SOURCE OF TITLE:
BEAUFORT COUNTY REGISTER OF DEEDS,
DEED BOOK 570 PAGE 1784

PROJECT STREET ADDRESS:
40 WILBORN ROAD
HILTON HEAD ISLAND, 29926

PROPERTY IDENTIFICATION NO.:
County I.D. #: R510 007 000 0030 0000
R510 007 000 0118 0000

DEVELOPMENT PERMIT JURISDICTION:
TOWN OF HILTON HEAD ISLAND

PROPERTY ZONING:
MAIN STREET (MS)
ROW ART OVERLAY DISTRICT

VERTICAL CONTROL DATUM:
NAVD88

USE:
EXISTING: SCHOOL
PROPOSED: SCHOOL

REQUIRED SETBACKS:
N/A - WORKING IN EXISTING DEVELOPED AREA

SURFACE COVERAGE:
WITHIN PROJECT AREA:
EXISTING IMPERVIOUS: 20,473 SF (0.47 AC)
NEW IMPERVIOUS: 16,717 SF (0.43 AC)
PERMEABLE PAVEMENT: 6,112 SF (0.14 AC)
ADJ. IMPERVIOUS: 0 SF (0.0 AC)
NOTE: FULL SITE IMPERVIOUS ANALYSIS TO BE COMPLETED AS PART OF HIGH SCHOOL REBUILD PROJECT.

REQUIRED BUFFERS:
N/A - WORKING IN EXISTING DEVELOPED AREA

PROPERTY OWNER:
BFT COUNTY SCHOOL DIST
2900 MINK POINT BLVD
BEAUFORT SC 29901

ATTITUDE / LONGITUDE:
N 32° 13' 12"
W 80° 43' 48"

FLOOD ZONE:
A-7, B, C (BASE FLOOD ELEV 14')

SITE AREA:
GROSS SITE AREA: 106.33 ACRES
ESTIMATED WETLANDS: 13.36 ACRES
NET SITE AREA: 92.97 ACRES
TOTAL PROJECT AREA: 7.0 ACRES
DISTURBED: 1.8 ACRES

SITE AREA:
ALLOWED TOTAL DENSITY = 9,000 GFS X 92.97 AC = 836,720 SF

EXISTING BUILDING AREAS:
H.S. MAIN BUILDING: 231,768 SF
M.S. MAIN: 148,108 SF
FOOTBALL TICKETS: 425 SF
FOOTBALL CONCESSIONS: 2,000 SF
ATHLETICS FIELD HOUSE: 5,100 SF
BASEBALL PRESS BOX: 1,360 SF
TOTALS: 674,857 SF

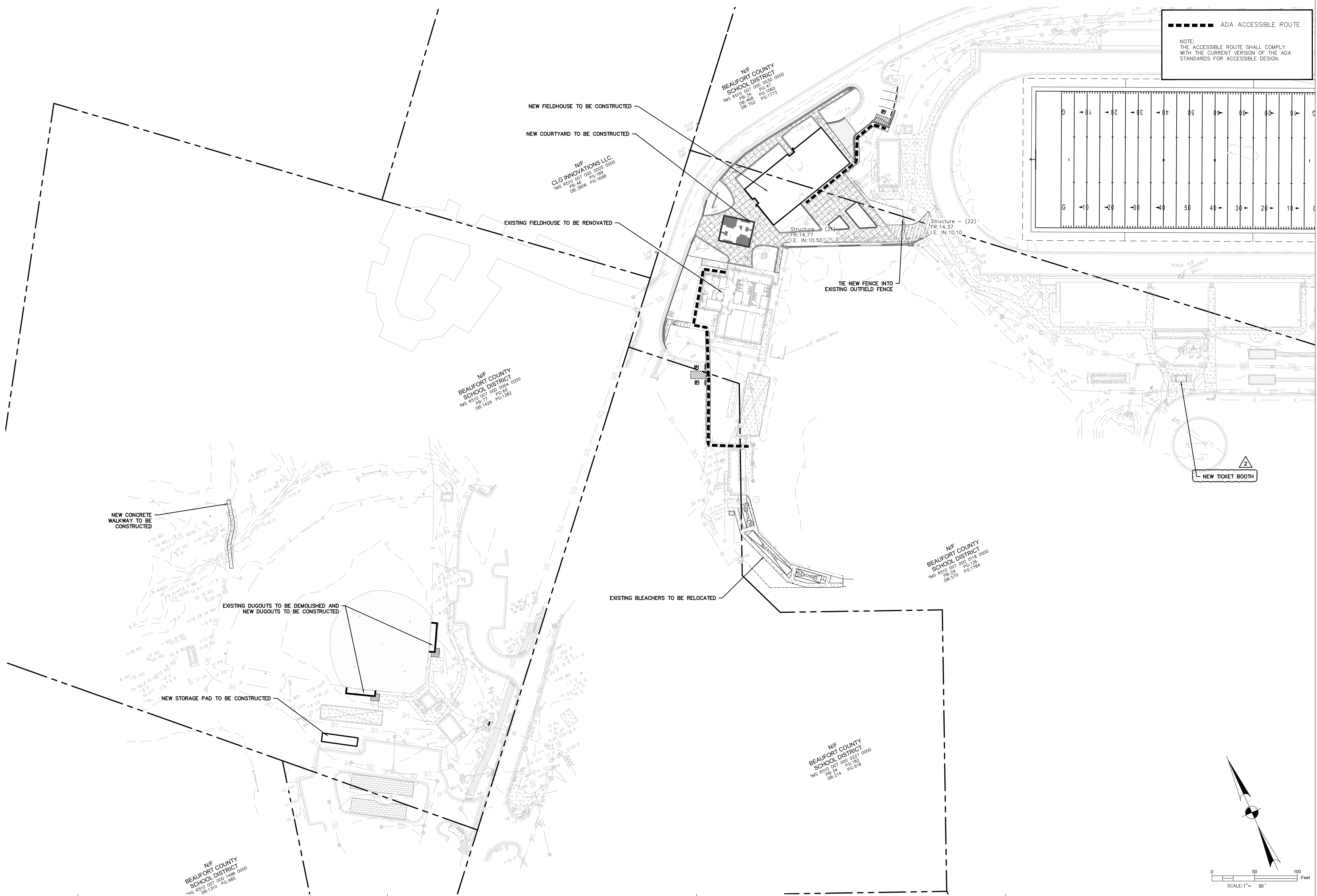
PROPOSED BUILDING AREA:
NEW FIELD HOUSE: 6,160 SF

BUILDING HEIGHT:
ALLOWED: 45'
PROPOSED: 18'-8"

RELEASE SCHEDULE

RELEASE NO.	DESCRIPTION	DATE
A.	RELEASED FOR PERMITTING	05-05-23
B.	RELEASED FOR PERMITTING	07-06-23
C.	RELEASE PFA-01	07-25-23
D.	RELEASE FOR DRB	09-11-23

CREATING ACCOUNTS OF YOUR OWN FROM THESE ARCHITECTURAL DRAWINGS IS PROHIBITED. ANY REPRODUCTION OR DISTRIBUTION OF THESE ARCHITECTURAL DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT OR ENGINEER IS STRICTLY PROHIBITED. THE PROJECT IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER PROJECTS. COMPANY'S SHALL BE RESPONSIBLE FOR ANY SUCH REPRODUCTION OR DISTRIBUTION. ALL RIGHTS RESERVED.



BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB- ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE NO.	DATE	DESCRIPTION	BY
2	07-25-23	ADD BUILDING SCOPE PRM	PRM

CONSTRUCTION DOCUMENTS	DATE
CONSTRUCTION DOCUMENTS	07/25/2023

OVERALL SITE PLAN

SHEET TITLE:	PRINCIPAL IN CHARGE:	PROJECT ARCHITECT:	DRAWN BY:
OVERALL SITE PLAN	MS	MS	Author

C002

SHEET NO. PROJ. NO. 019593.03

CREATING ACCOUNTS OF YOUR OWN KNOWLEDGE AND PROFESSIONAL JUDGMENT FOR THE PROJECT. CONSULTANTS ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER CONSULTANTS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER CONSULTANTS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER CONSULTANTS.

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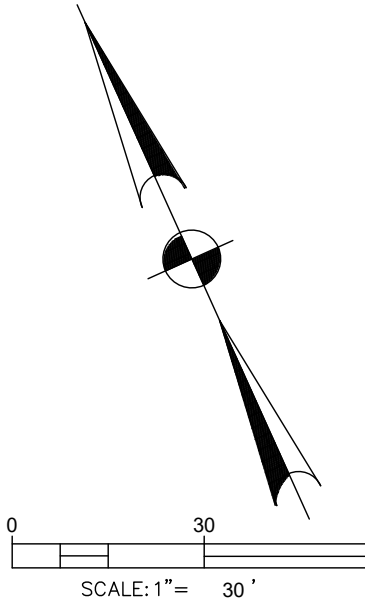
BEAUFORT COUNTY SCHOOL DISTRICT
HHIHS - PHASE IIB- ATHLETICS
70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
**EXISTING
CONDITIONS PLAN**

SHEET NO. PROJ. NO.
C101 019593.03



N/F
BEAUFORT COUNTY
SCHOOL DISTRICT

VERTICAL ALIGNMENT OF THE ROADWAY SHALL BE IN ACCORDANCE WITH THE DESIGN SPEED OF THE PROJECT. THE PROJECT IS NOT TO BE CONSIDERED A FINAL DESIGN UNLESS THE PROJECT IS NOT THE CONTRACTOR'S RESPONSIBILITY FOR THE DESIGN OF THE ROADWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROADWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ROADWAY.



BEAUFORT COUNTY SCHOOL DISTRICT
HHIHS - PHASE IIB- ATHLETICS
70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:

NO.	DATE	DESCRIPTION	BY

NIF
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 0227 0000
PG: 182
DB: 214

NIF
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 1439 0000
PG: 985
DB: 1310

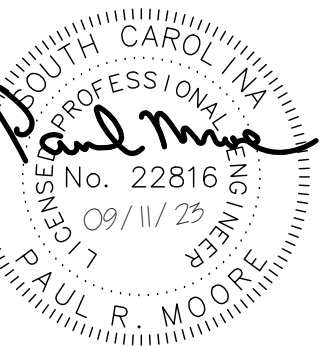
NIF
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 1359 0000
PG: 182
DB: 214

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
EXISTING
CONDITIONS PLAN

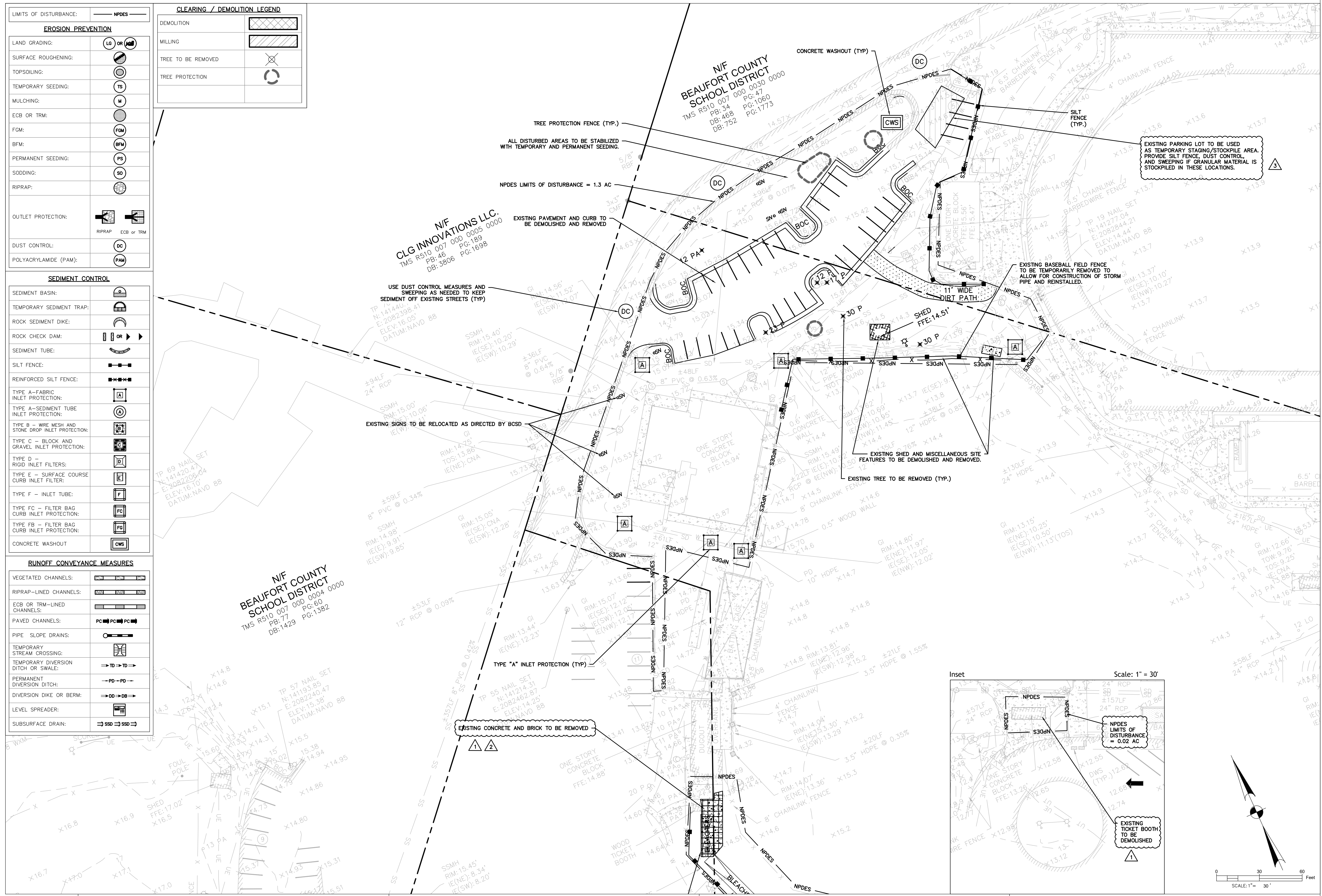
SHEET NO. PROJ. NO.
019593.03

C102



CONSULTANT LOGO

SEALS



LIMITS OF DISTURBANCE: NPDES

EROSION PREVENTION

LAND GRADING:	LG OR (M)
SURFACE ROUGHENING:	(S)
TOPSOILING:	(T)
TEMPORARY SEEDING:	TS
MULCHING:	(M)
ECB OR TRM:	(E) (M)
FGM:	(FGM)
BFM:	(BFM)
PERMANENT SEEDING:	(PS)
SODDING:	(SD)
RIPRAP:	(R)
OUTLET PROTECTION:	RIPRAP ECB or TRM
DUST CONTROL:	(DC)
POLYACRYLAMIDE (PAM):	(PAM)

CLEARING / DEMOLITION LEGEND

DEMOLITION	(Hatched Box)
MILLING	(Diagonal Lines)
TREE TO BE REMOVED	(Tree with X)
TREE PROTECTION	(Tree with Circle)

SEDIMENT CONTROL

SEDIMENT BASIN:	(S)
TEMPORARY SEDIMENT TRAP:	(ST)
ROCK SEDIMENT DIKE:	(RSD)
ROCK CHECK DAM:	(RCD)
SEDIMENT TUBE:	(S)
SILT FENCE:	(S)
REINFORCED SILT FENCE:	(RS)
TYPE A - FABRIC INLET PROTECTION:	(A)
TYPE A - SEDIMENT TUBE INLET PROTECTION:	(AT)
TYPE B - WIRE MESH AND STONE DROP INLET PROTECTION:	(B)
TYPE C - BLOCK AND GRAVEL INLET PROTECTION:	(C)
TYPE D - RIGID INLET FILTERS:	(D)
TYPE E - SURFACE COURSE CURB INLET FILTER:	(E)
TYPE F - INLET TUBE:	(F)
TYPE FC - FILTER BAG CURB INLET PROTECTION:	(FC)
TYPE FB - FILTER BAG CURB INLET PROTECTION:	(FB)
CONCRETE WASHOUT:	(CW)

RUNOFF CONVEYANCE MEASURES

VEGETATED CHANNELS:	(V)
RIPRAP-LINED CHANNELS:	(R)
ECB OR TRM-LINED CHANNELS:	(E)
PAVED CHANNELS:	(P)
PIPE SLOPE DRAINS:	(S)
TEMPORARY STREAM CROSSING:	(T)
TEMPORARY DIVERSION DITCH OR SWALE:	(D)
PERMANENT DIVERSION DITCH:	(P)
DIVERSION DIKE OR BERM:	(D)
LEVEL SPREADER:	(S)
SUBSURFACE DRAIN:	(S)

BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB - ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:

NO.	DATE	DESCRIPTION	BY
1	07-06-23	ADD DEMO	FRM
2	07-25-23	REV DEMO	FRM
3	09-11-23	REV EC	FRM

CONSTRUCTION DOCUMENTS 07/25/2023

PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
EROSION CONTROL,
CLEARING &
DEMOLITION PLAN

SHEET NO. PROJ. NO.
C201 019593.03

C201

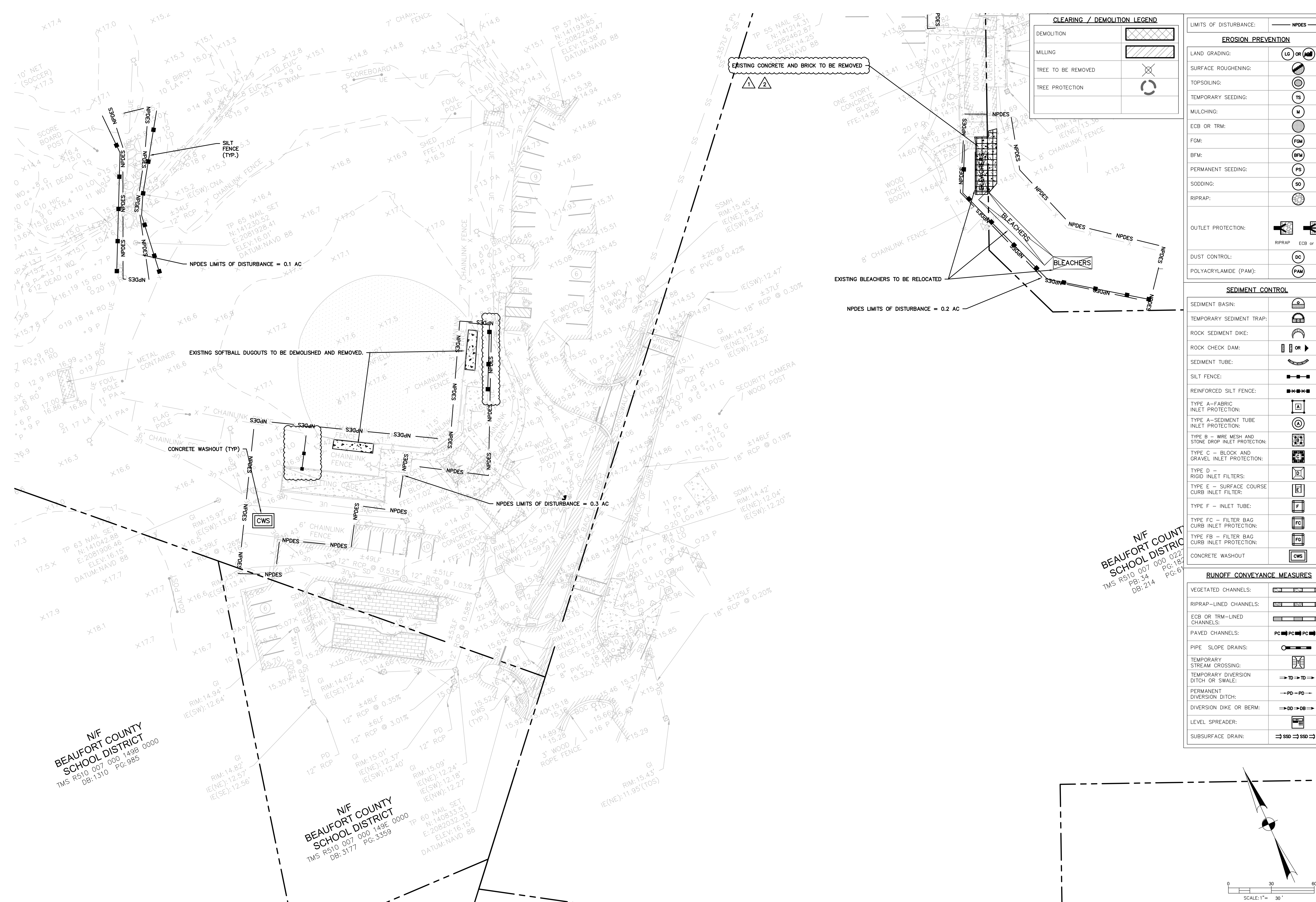
CONSTRUCTION DOCUMENTS FOR THE PROJECT SUBMITTED FOR PERMIT TO THE SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. THIS PROJECT IS NOT TO BE CONSIDERED AN INDICATIVE DESIGN OR A COMMITMENT BY THE CONSULTANT. THE PROJECT IS NOT TO BE CONSIDERED AN INDICATIVE DESIGN OR A COMMITMENT BY THE CONSULTANT. THE PROJECT IS NOT TO BE CONSIDERED AN INDICATIVE DESIGN OR A COMMITMENT BY THE CONSULTANT.

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N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 1499 0000
DB:1310 PG:985

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 1499 0000
DB:1310 PG:985

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 007 000 022
DB:214 PG:61

BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB - ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:

NO.	DATE	DESCRIPTION	BY
1	07-06-23	ADD DEMO	PRM
2	07-25-23	REV. DEMO	PRM
3	09-11-23	ADD SILT FENCE	PRM

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
EROSION CONTROL,
CLEARING &
DEMOLITION PLAN

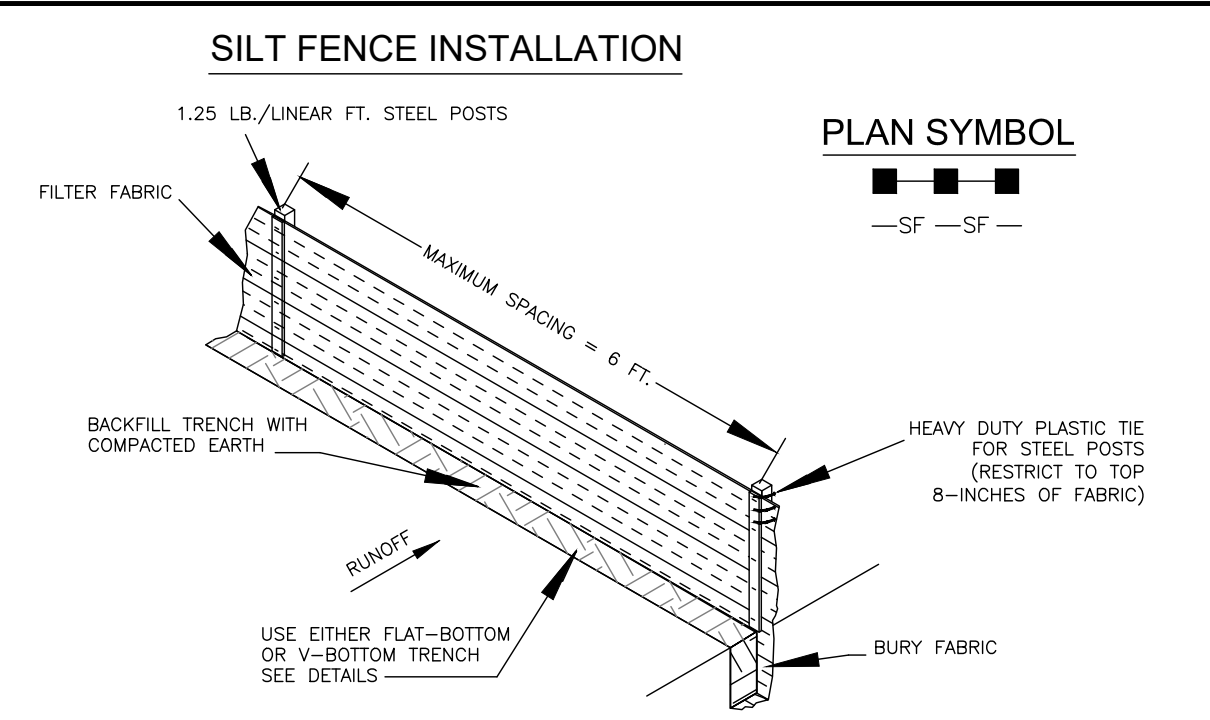
SHEET NO. PROJ. NO.
C202 019593.03

TEMPORARY SEEDING - COASTAL

SPECIES	LBS/AC	SANDY, DROUGHTY SITES																
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC					
BROWNTOP MILLET	40																	
RYE, GRAIN	56																	
RYEGRASS	50																	
		WELL DRAINED, CLAYEY/LOAMEY SITES																
BROWNTOP MILLET OR JAPANESE MILLET	40																	
RYE, GRAIN OR OATS	56																	
RYEGRASS	50																	

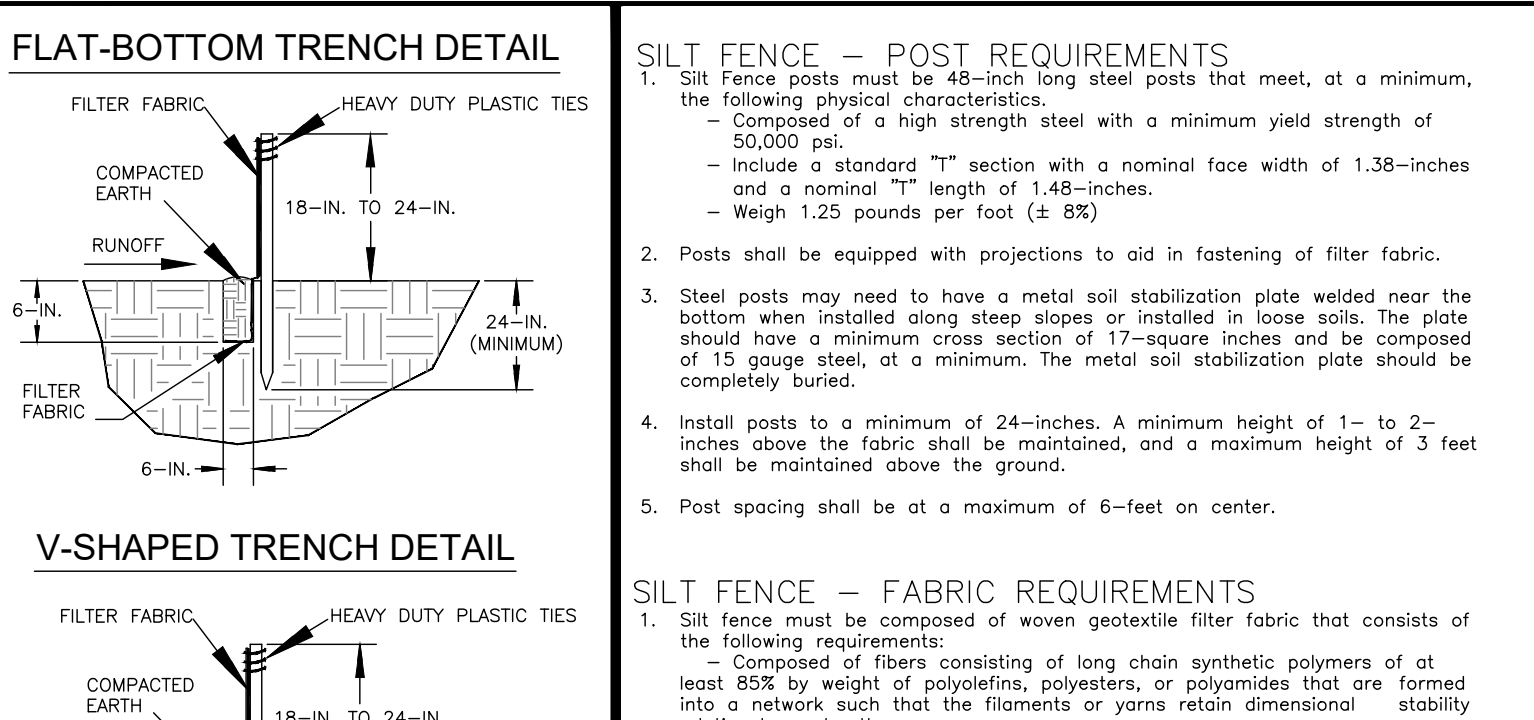
GENERAL NOTES:

- Do not place silt fence across ditches or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control (V.C.). Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Weld each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-foot gapped the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties, or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.



SILT FENCE - POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.



SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 80% by weight of polypropylene, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other.
 - Free of any treatment or coating which might adversely affect its physical properties after installation.
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties, and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

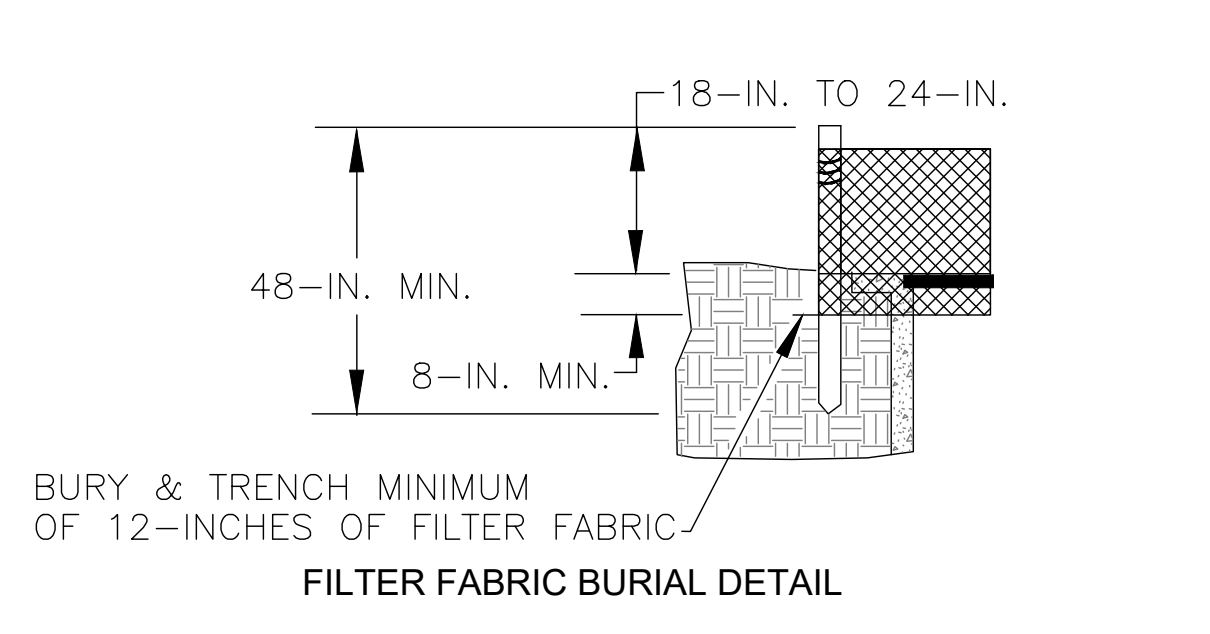
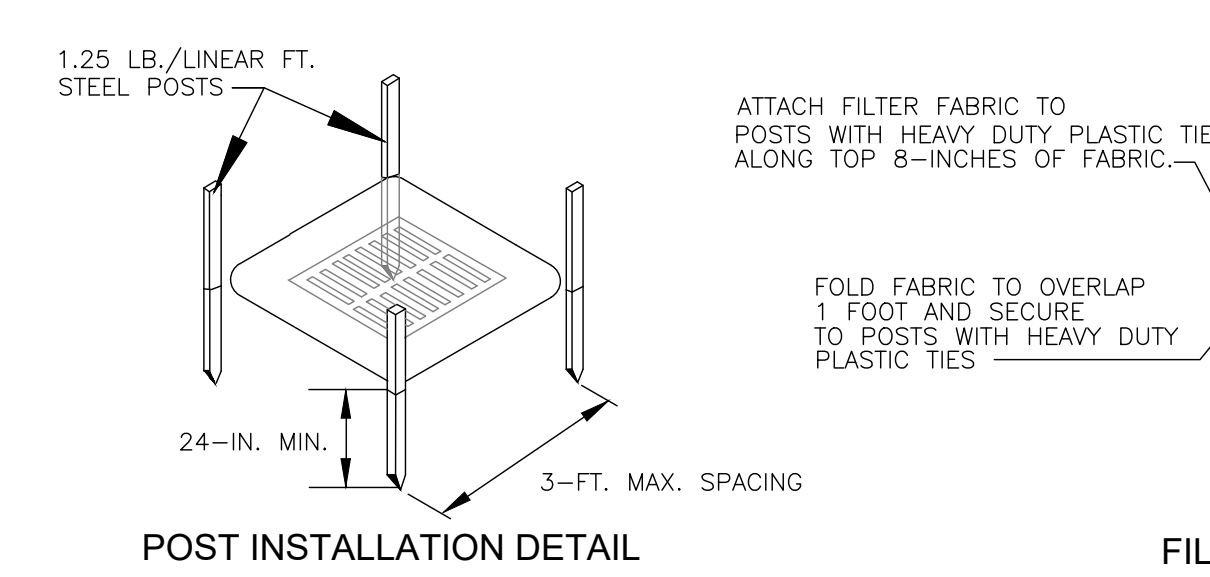
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control
SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 1 of 2
FEBRUARY 2014 DATE
NOT TO SCALE

South Carolina Department of Health and Environmental Control
SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 2 of 2
FEBRUARY 2014 DATE
GENERAL NOTES

TEMPORARY SEEDING - COASTAL

SPECIES	LBS/AC	SANDY, DROUGHTY SITES																
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC					
BROWNTOP MILLET	10																	
BAHAGRASS	40																	
BROWNTOP MILLET	10																	
BAHAGRASS	40																	
SERICA LESPEDEZA	40																	
BROWNTOP MILLET	10																	
ATLANTIC COASTAL PANICGRASS	15																	
BROWNTOP MILLET	10																	
SWITCHGRASS (ALAMO)	8																	
LITTLE BLUESTEM	4																	
SERICA LESPEDEZA	20																	
BROWNTOP MILLET	10																	
WEeping LOVEGRASS	8																	
		WELL DRAINED, CLAYEY/LOAMEY SITES																
BROWNTOP MILLET	10																	
BAHAGRASS	40																	
RYE, GRAIN	10																	
BAHAGRASS	40																	
CLOVER, CRIMSON (ANNUAL)	5																	
BROWNTOP MILLET	10																	
BAHAGRASS	30																	
SERICA LESPEDEZA	40																	
BROWNTOP MILLET	10																	
BERMUDA, COMMON	10																	
SERICA LESPEDEZA	40																	
BROWNTOP MILLET	10																	
BERMUDA, COMMON	12																	
KOBE LESPEDEZA	10																	
(ANNUAL)																		
BROWNTOP MILLET	10																	
BAHAGRASS	20																	
BERMUDA, COMMON	6																	
SERICA LESPEDEZA	40																	
BROWNTOP MILLET	10																	
SWITCHGRASS	8																	
LITTLE BLUESTEM	3																	
INDIANGRASS	3																	



South Carolina Department of Health and Environmental Control
Type A FILTER FABRIC INLET PROTECTION
STANDARD DRAWING NO. SC-07 PAGE 1 of 2
FEBRUARY 2014 DATE
NOT TO SCALE

TYPE A - FILTER FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 80% by weight of polypropylene, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other.
 - Free of any treatment or coating which might adversely affect its physical properties after installation.
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties, and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

TYPE A - INSPECTION & MAINTENANCE

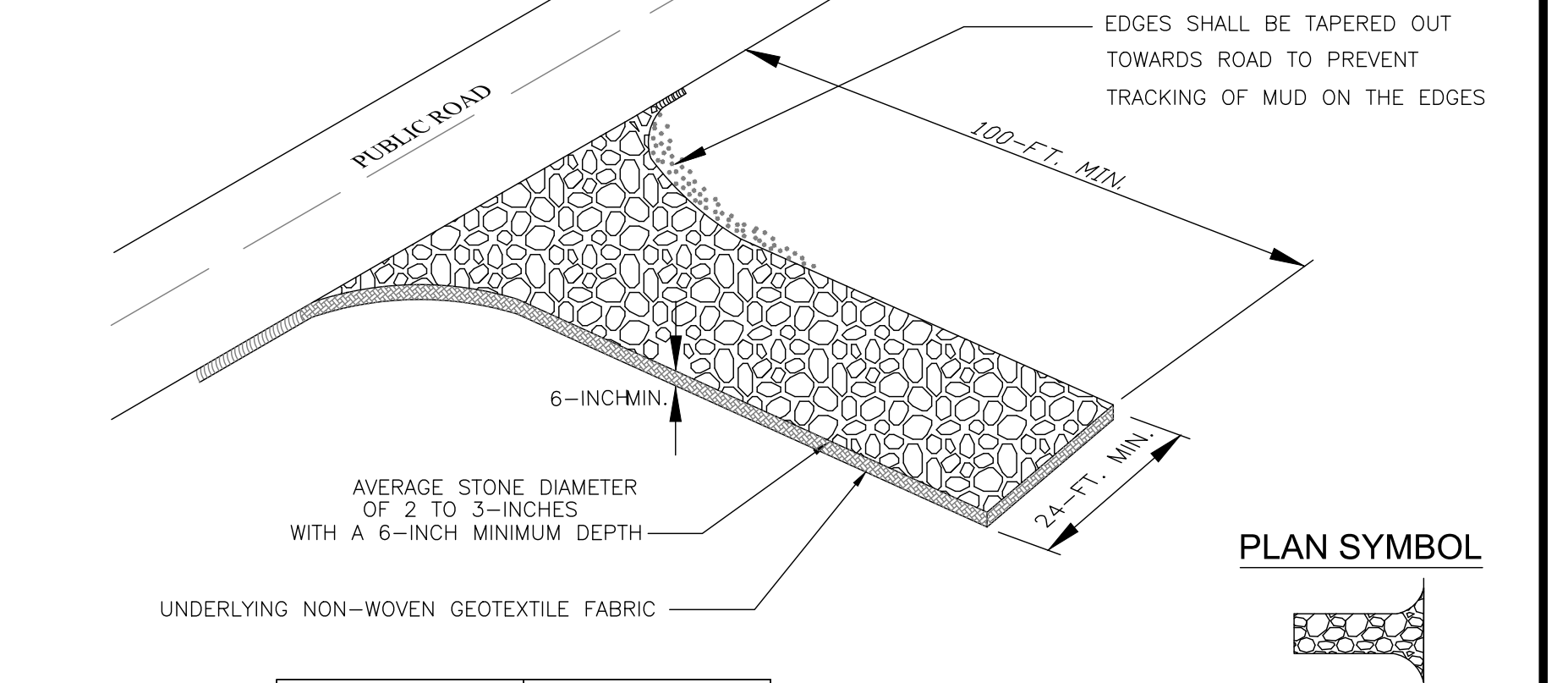
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the filter fabric is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the filter fabric. When a sump is installed in front of the fabric, sediment should be removed when it fills approximately 1/3 the depth of the sump.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the filter fabric, or where the fabric has sagged or collapsed due to runoff overlapping the inlet protection.
- Check for tears within the filter fabric, areas where fabric has begun to decompose, and for any other circumstance that may render the inlet protection ineffective. Removed damaged fabric and reinstall new filter fabric immediately.
- Inlet protection structures should be removed after all the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 1 of 2
FEBRUARY 2014 DATE
NOT TO SCALE

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
FEBRUARY 2014 DATE
GENERAL NOTES

PERMANENT SEEDING - COASTAL

SPECIES	LBS/AC	SANDY, DROUGHTY SITES																
		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC					
BROWNTOP MILLET	10																	
BAHAGRASS	40																	
BROWNTOP MILLET	10																	
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SERICA LESPEDEZA	40																	
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BROWNTOP MILLET	10																	
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CLOVER, CRIMSON (ANNUAL)	5																	
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BROWNTOP MILLET	10																	
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SERICA LESPEDEZA	40																	
BROWNTOP MILLET	10																	
BERMUDA, COMMON	12																	
KOBE LESPEDEZA	10																	
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BROWNTOP MILLET	10																	
SWITCHGRASS	8																	
LITTLE BLUESTEM	3																	
INDIANGRASS	3																	

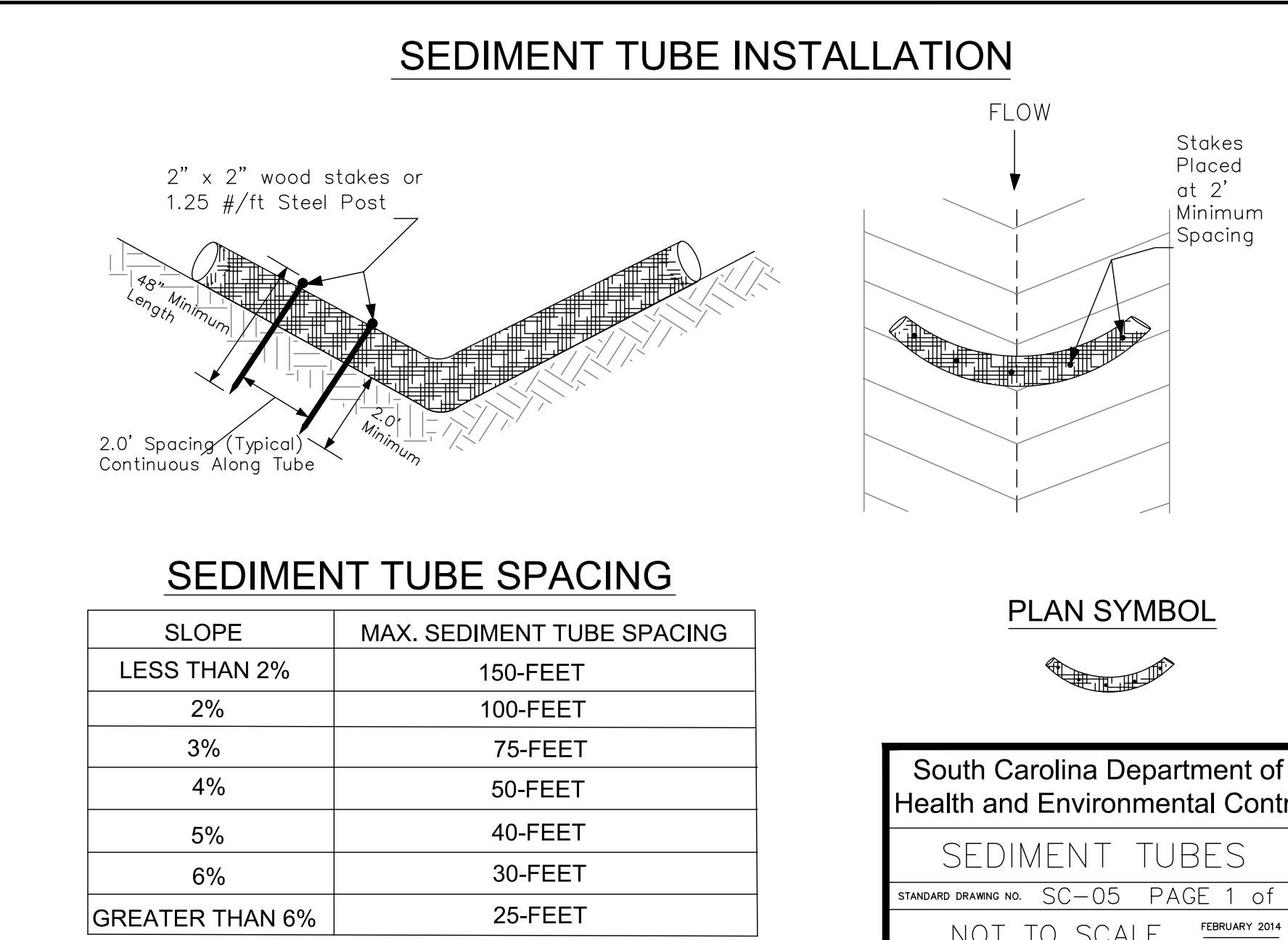
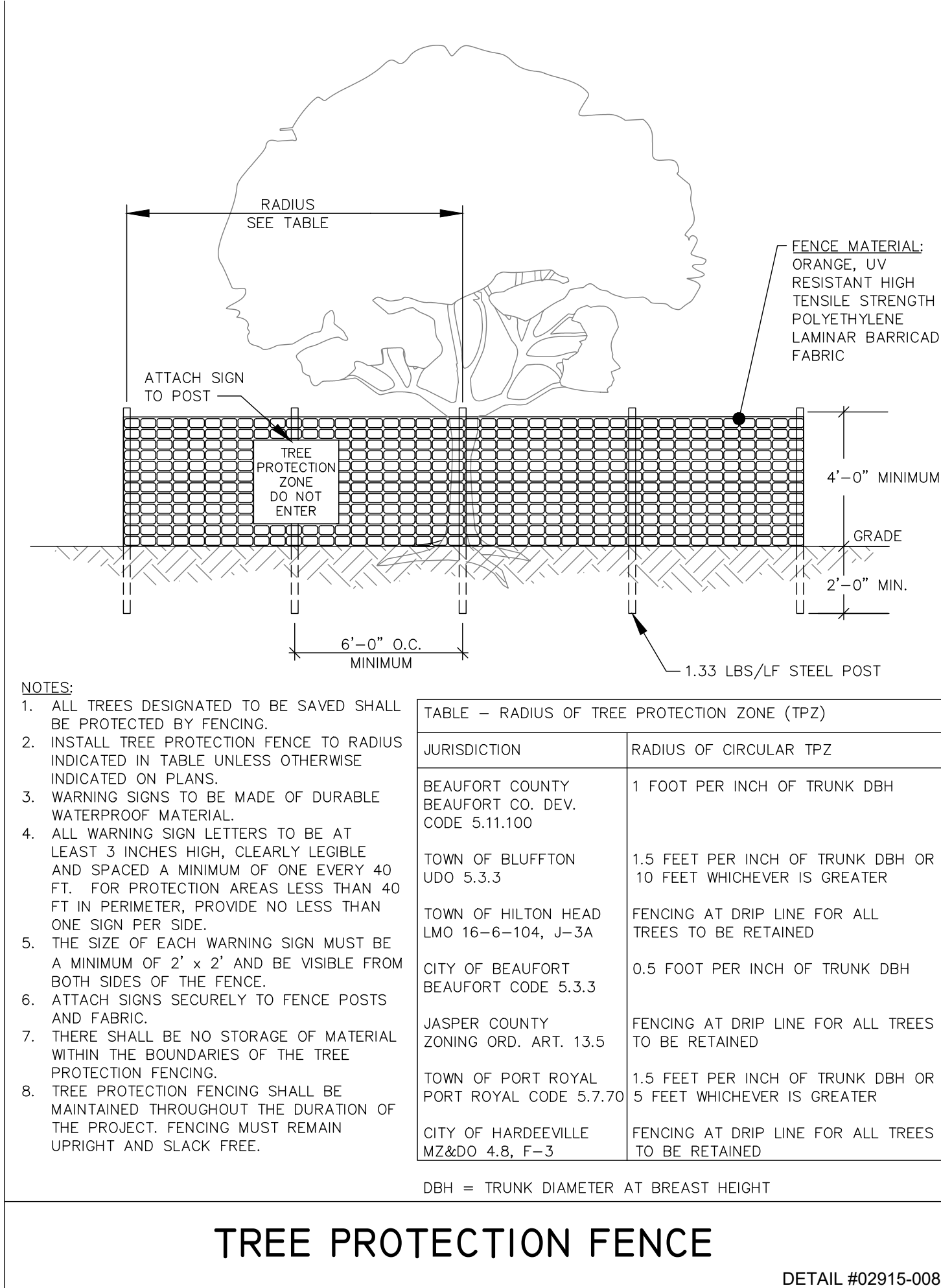


CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTRUCTION ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent

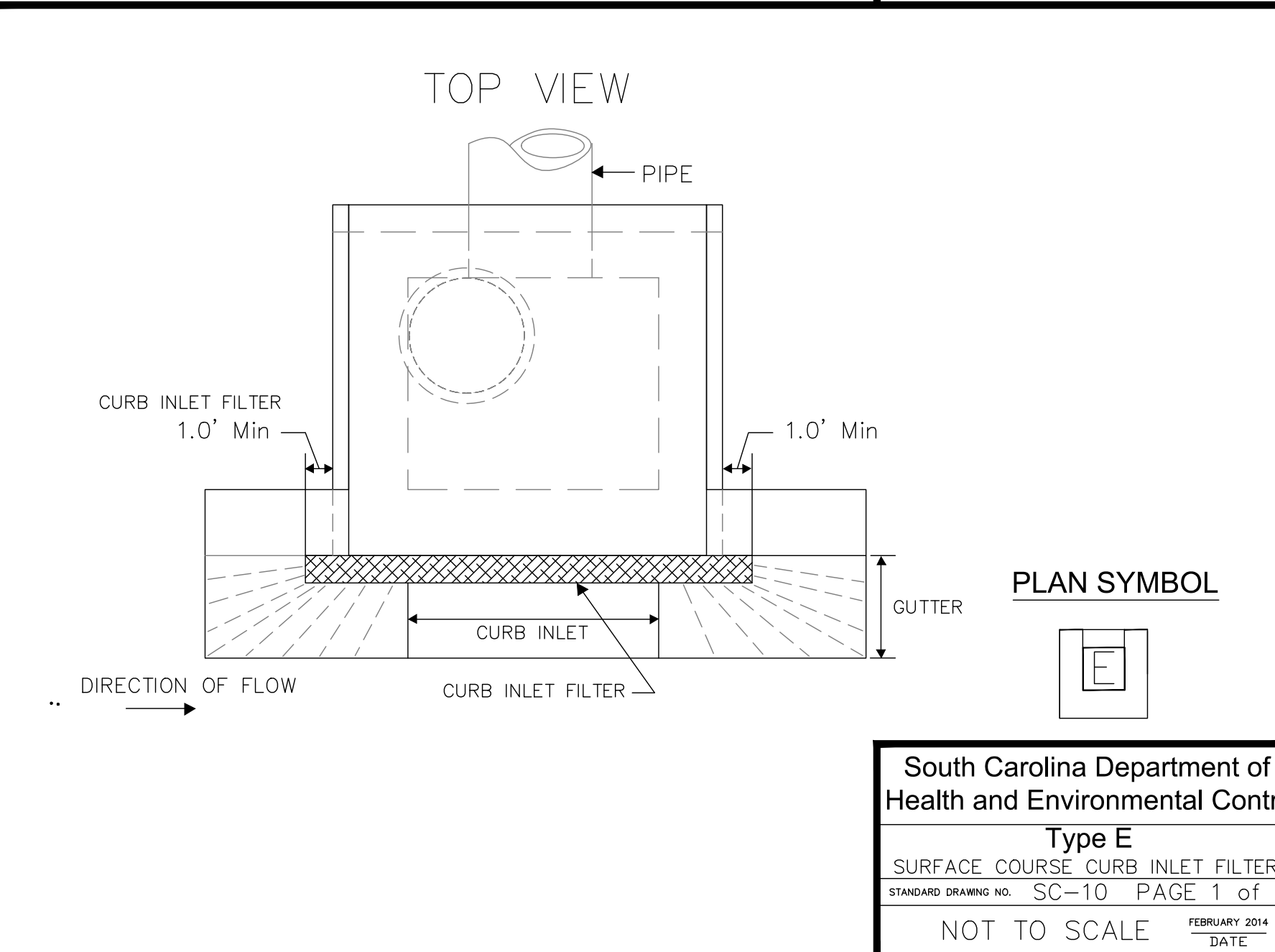


SEDIMENT TUBES - GENERAL NOTES

- Sediment tubes may be installed along contours, in drainage conveyance channels, and around inlets to help prevent off-site discharge of sediment-laden stormwater runoff.
- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needles, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tubes, when used as checks within channels, should range between 18-inches and 24-inches depending on channel dimensions. Diameters outside this range may be allowed where necessary when approved.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another, unless recommended by manufacturer.
- Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
- Sediment tubes should continue up the side slopes a minimum of 1-foot above the design flow depth of the channel.
- Install stakes at a diagonal facing incoming runoff.

SEDIMENT TUBES - INSPECTION & MAINTENANCE

- The key to functional sediment tubes is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tubes shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- If erosion causes the edges to fall to a height equal to or below the height of the sediment tube, repairs should be made immediately to prevent runoff from bypassing tube.
- Sediment tubes should be removed after the contributing drainage area has been completely stabilized. Permanent vegetation should replace areas from which sediment tubes have been removed.



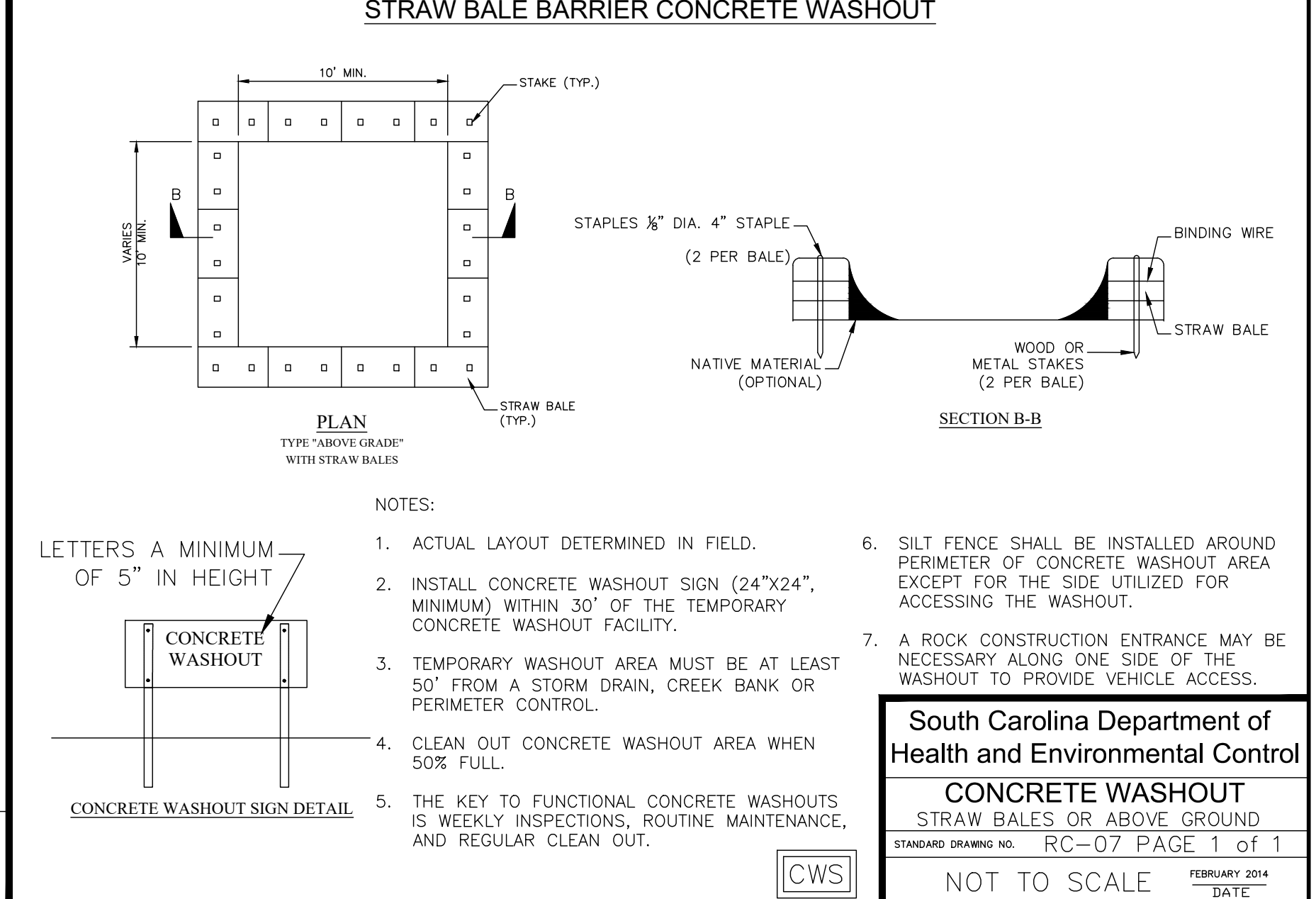
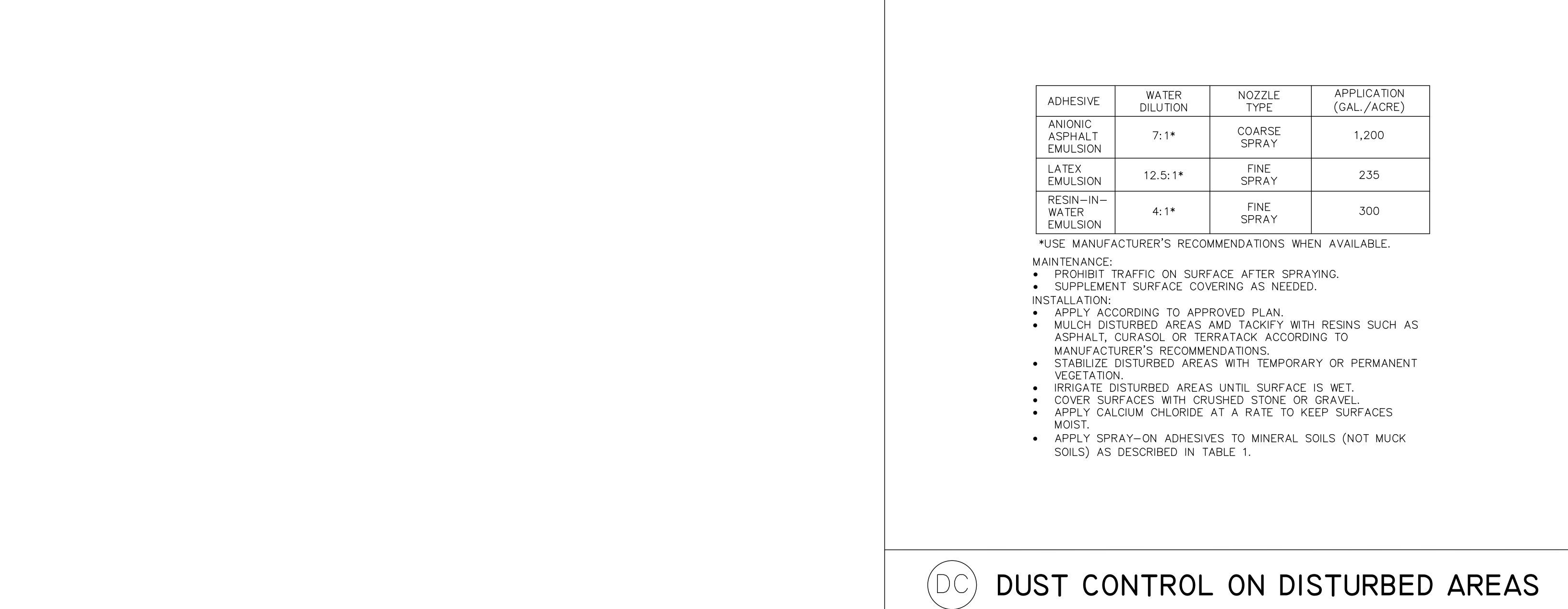
SURFACE COURSE CURB INLET PROTECTION

GENERAL NOTES

- Only use surface curb inlet filters that have a minimum height or diameter of 9-inches and have a minimum length that is 2-feet longer than the length of the curb opening.
- Surface course inlet filters that are designed to completely block the inlet opening are prohibited. Acceptable inlet filters should allow for overflows to enter the catch basin.
- Surface course inlet filters should be constructed with a synthetic material that will allow stormwater to freely flow through while trapping sediment and debris.
- Straw, straw fiber, straw bales, pine needles and leaf mulch are not permissible filter materials.
- Each filter should have aggregate compartments for stone, sand, and other weighted materials or mechanisms to hold the unit in place. Fill aggregate compartments to a level (at least 1/2 full) to hold the filter in place and create a seal between the filter and the road surface.
- Use only Type E inlet filters appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #58, or filters that meeting the most current edition of the SC DOT Standard Specifications for Highway Construction.

INSPECTION AND MAINTENANCE

- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when silt and/or debris has built up around the filter preventing stormwater to flow through the filter.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bore areas immediately.



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BEAUFORT COUNTY SCHOOL DISTRICT
HHHS - PHASE IIB-ATHLETICS
70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:

NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
EROSION CONTROL, DETAILS

SHEET NO. PROJ. NO.
019593.03

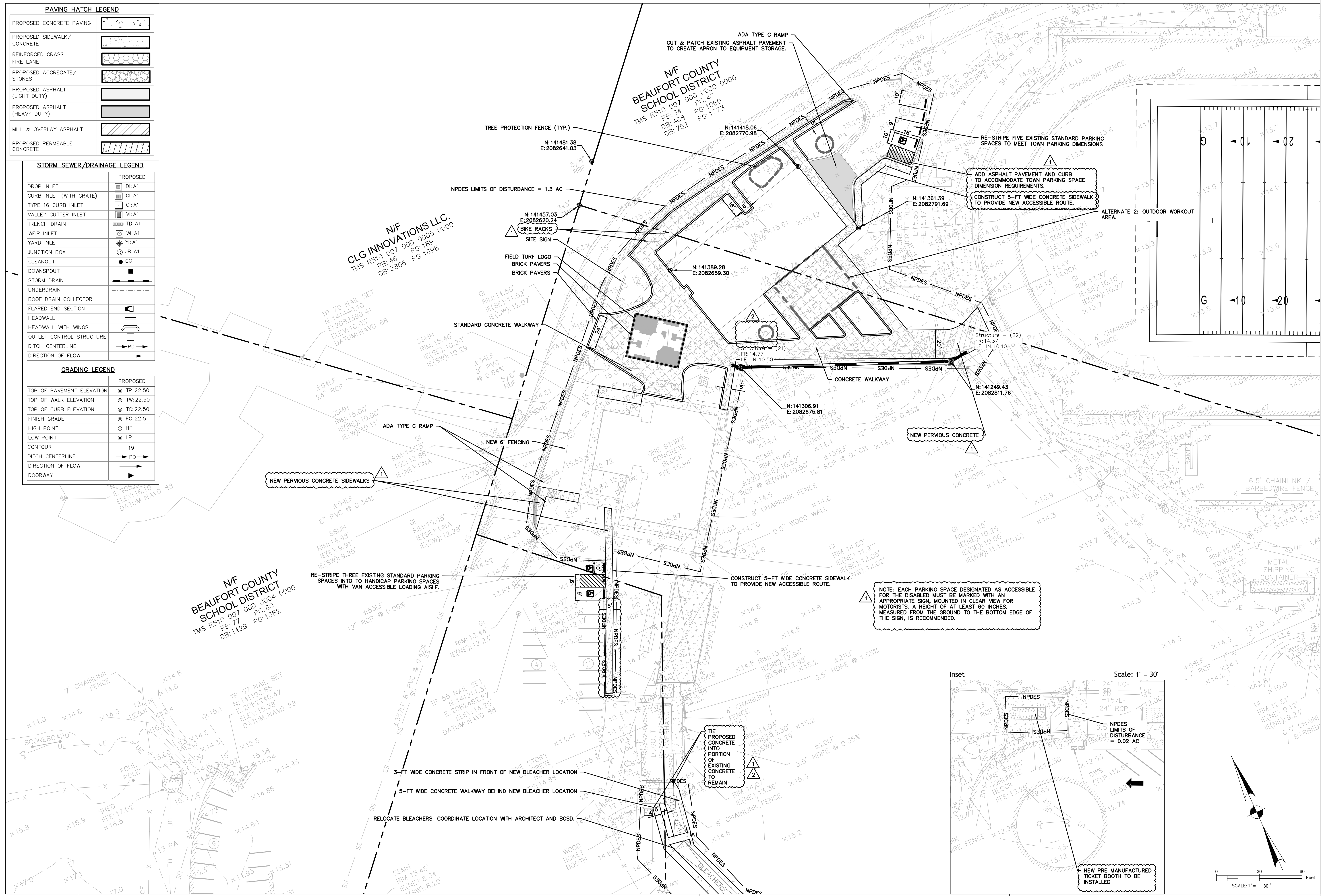
C204

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PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	[Hatch Pattern]
PROPOSED SIDEWALK/ CONCRETE	[Hatch Pattern]
REINFORCED GRASS FIRE LANE	[Hatch Pattern]
PROPOSED AGGREGATE/ STONES	[Hatch Pattern]
PROPOSED ASPHALT (LIGHT DUTY)	[Hatch Pattern]
PROPOSED ASPHALT (HEAVY DUTY)	[Hatch Pattern]
MILL & OVERLAY ASPHALT	[Hatch Pattern]
PROPOSED PERMEABLE CONCRETE	[Hatch Pattern]

STORM SEWER/DRAINAGE LEGEND	
PROPOSED DROP INLET	DI-A1
CURB INLET (WITH GRATE)	CI-A1
TYPE 16 CURB INLET	CI-A1
VALLEY GUTTER INLET	VI-A1
TRENCH DRAIN	TD-A1
WEIR INLET	WI-A1
YARD INLET	YI-A1
JUNCTION BOX	JB-A1
CLEANOUT	CO
DOWNSPOUT	[Symbol]
STORM DRAIN	[Symbol]
UNDERDRAIN	[Symbol]
ROOF DRAIN COLLECTOR	[Symbol]
FLARED END SECTION	[Symbol]
HEADWALL	[Symbol]
HEADWALL WITH WINGS	[Symbol]
OUTLET CONTROL STRUCTURE	[Symbol]
DITCH CENTERLINE	[Symbol]
DIRECTION OF FLOW	[Arrow]

GRADING LEGEND	
PROPOSED TOP OF PAVEMENT ELEVATION	TP: 22.50
TOP OF WALK ELEVATION	TW: 22.50
TOP OF CURB ELEVATION	TC: 22.50
FINISH GRADE	FG: 22.5
HIGH POINT	HP
LOW POINT	LP
CONTOUR	19
DITCH CENTERLINE	PD
DIRECTION OF FLOW	[Arrow]
DOORWAY	[Arrow]



BEAUFORT COUNTY SCHOOL DISTRICT
HHIHS - PHASE IIB- ATHLETICS
70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

NO.	DATE	DESCRIPTION	BY
1	07-06-23	REV. PAVEMENT	PRM
2	07-25-23	REV. TREE REM.	PRM

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
SITE LAYOUT & PAVING PLAN

SHEET NO. PROJ. NO.
C301 019593.03

C301

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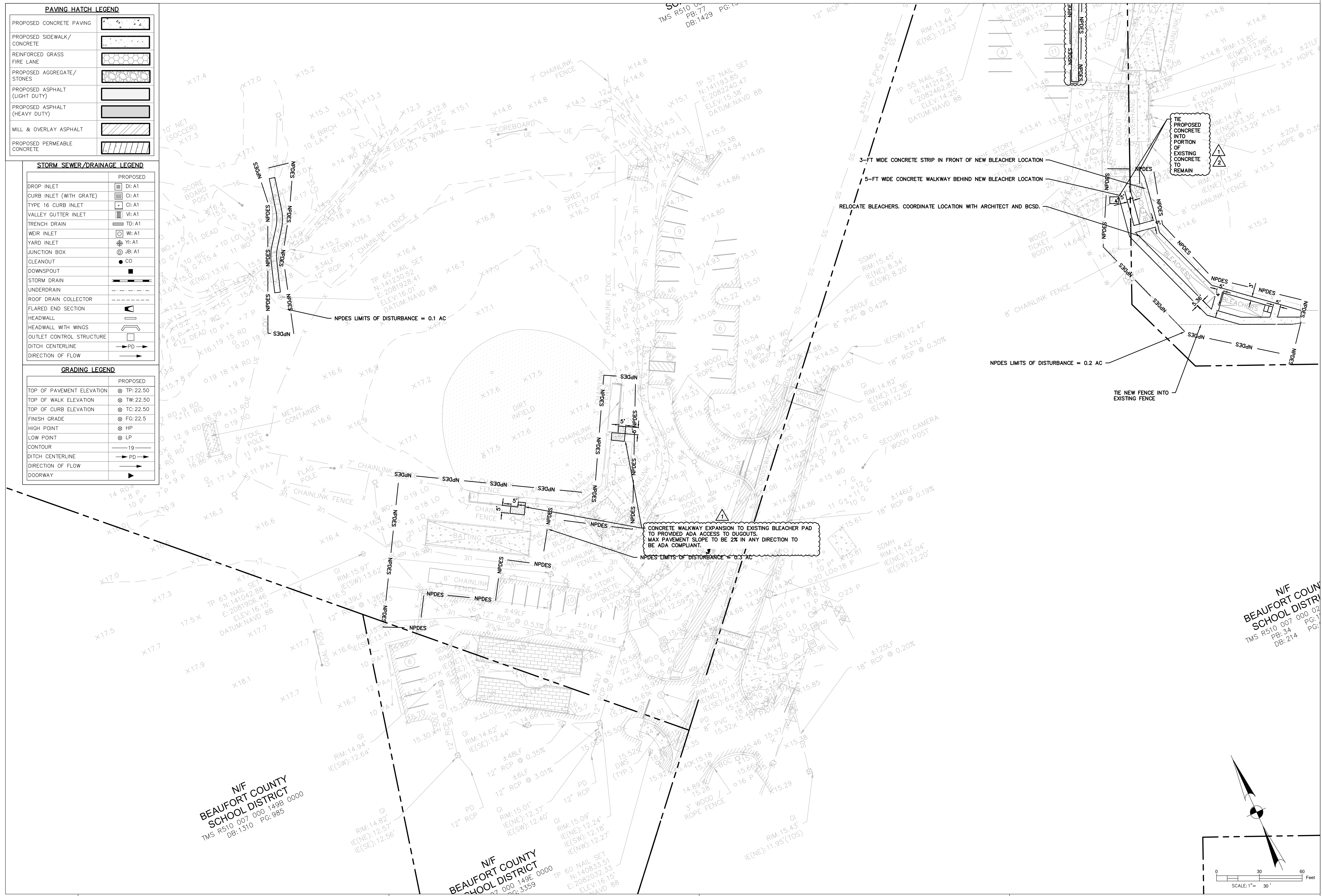
SEALS



PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/ STONES	
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UNDERDRAIN	
ROOF DRAIN COLLECTOR	
FLARED END SECTION	
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HEADWALL WITH WINGS	
OUTLET CONTROL STRUCTURE	
DITCH CENTERLINE	
DIRECTION OF FLOW	

GRADING LEGEND	
PROPOSED	
TOP OF PAVEMENT ELEVATION	TP-22.50
TOP OF WALK ELEVATION	TW-22.50
TOP OF CURB ELEVATION	TC-22.50
FINISH GRADE	FG-22.5
HIGH POINT	HP
LOW POINT	LP
CONTOUR	19
DITCH CENTERLINE	
DIRECTION OF FLOW	
DOORWAY	



BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB - ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

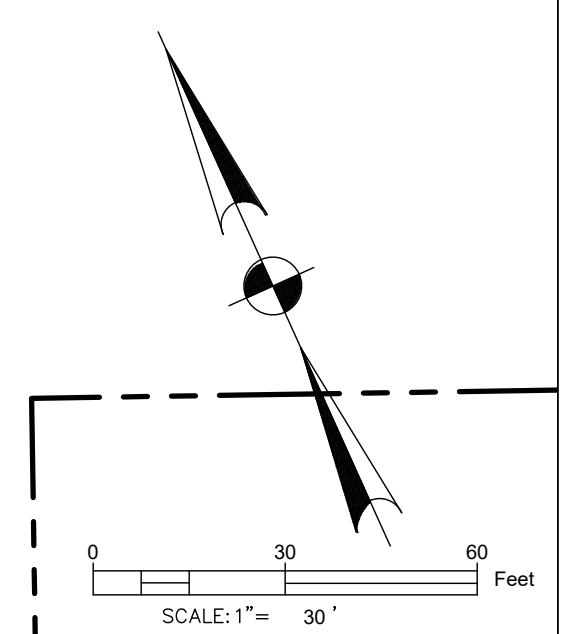
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NO.	DATE	DESCRIPTION	BY
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2	07-25-23	REV PAVEMENT	FRM

N/F
BEAUFORT COUNTY
SCHOOL DISTRICT
TMS R510 037 030 02
PB: 34
PG: 17
DB: 214

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

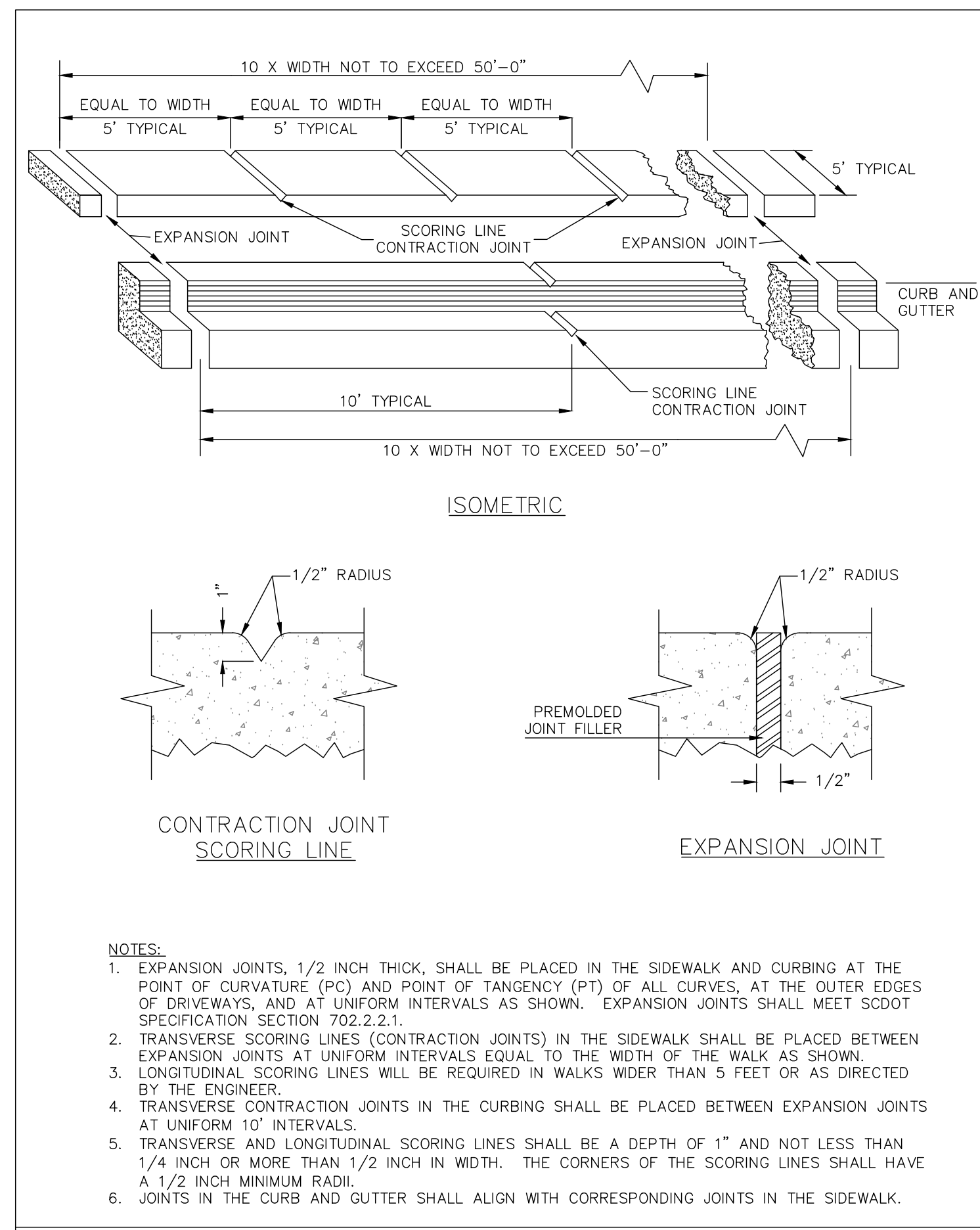
SHEET TITLE:
**SITE LAYOUT &
PAVING PLAN**

SHEET NO. PROJ. NO.
C302 019593.03

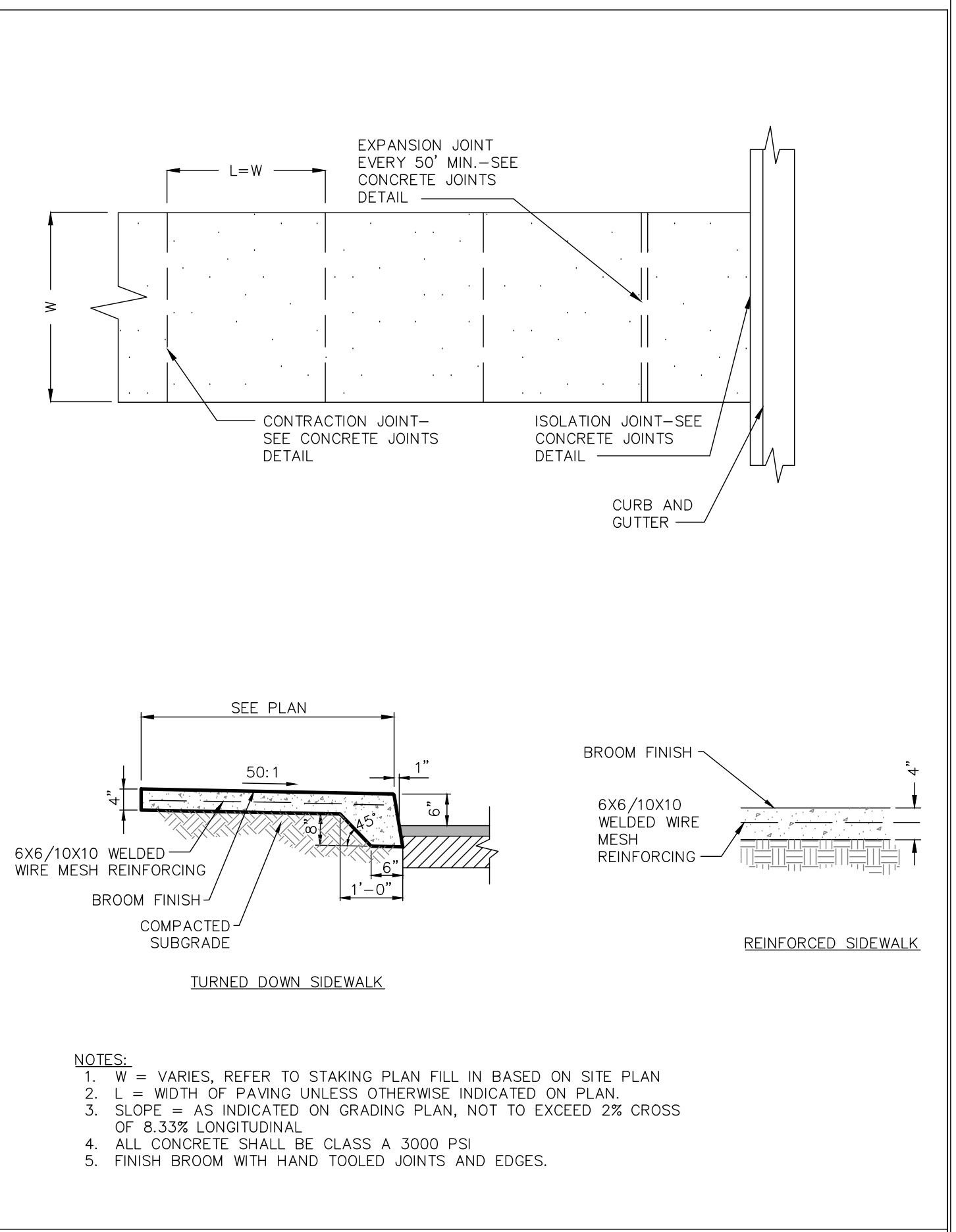


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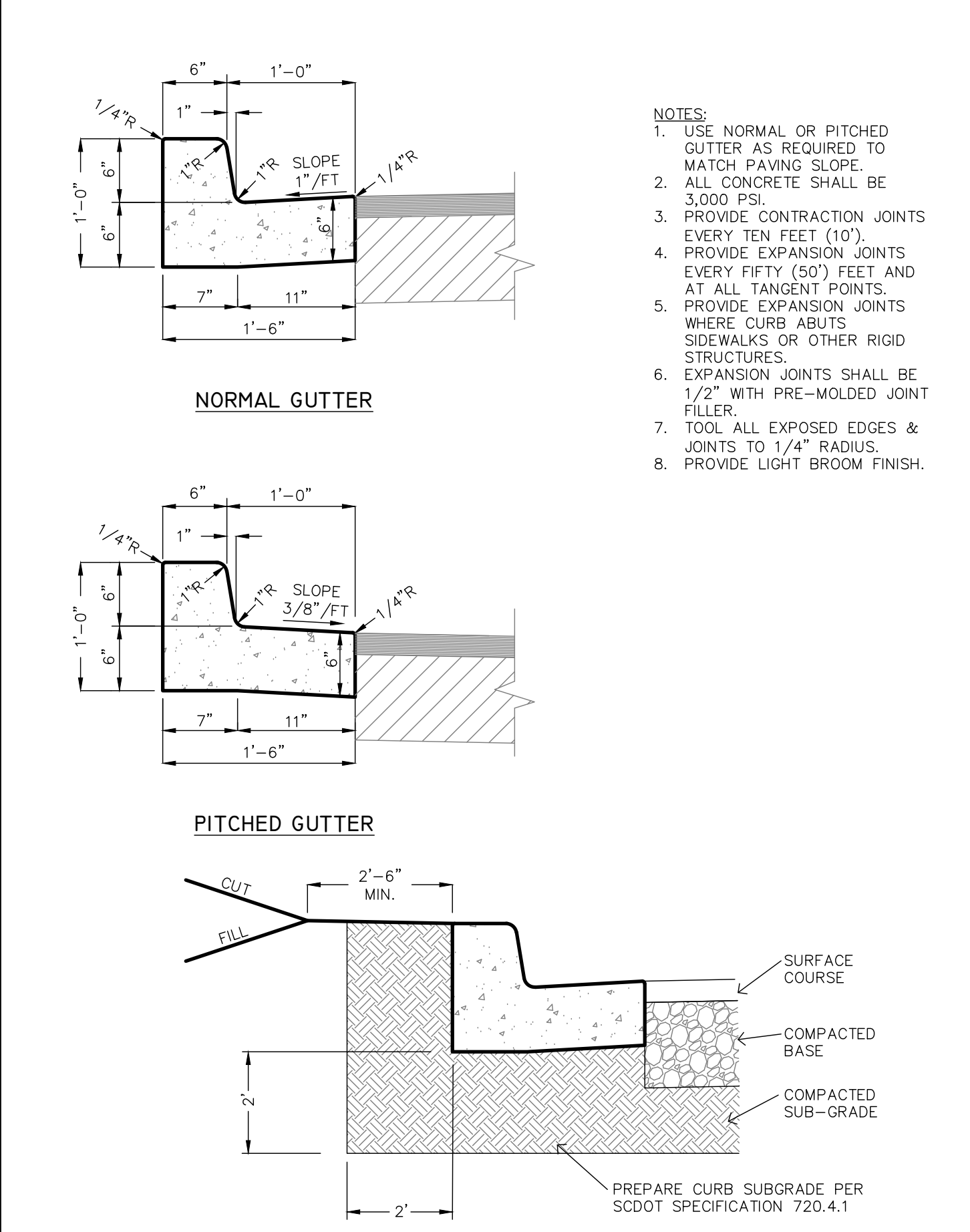
- NOTES:**
- EXPANSION JOINTS, 1/2 INCH THICK, SHALL BE PLACED IN THE SIDEWALK AND CURBING AT THE POINT OF CURVATURE (PC) AND POINT OF TANGENCY (PT) OF ALL CURVES, AT THE OUTER EDGES OF DRIVEWAYS, AND AT UNIFORM INTERVALS AS SHOWN. EXPANSION JOINTS SHALL MEET SCOT SPECIFICATION SECTION 702.2.2.1.
 - TRANSVERSE SCORING LINES (CONTRACTION JOINTS) IN THE SIDEWALK SHALL BE PLACED BETWEEN EXPANSION JOINTS AT UNIFORM INTERVALS EQUAL TO THE WIDTH OF THE WALK AS SHOWN.
 - LONGITUDINAL SCORING LINES WILL BE REQUIRED IN WALKS WIDER THAN 5 FEET OR AS DIRECTED BY THE ENGINEER.
 - TRANSVERSE CONTRACTION JOINTS IN THE CURBING SHALL BE PLACED BETWEEN EXPANSION JOINTS AT UNIFORM 10' INTERVALS.
 - TRANSVERSE AND LONGITUDINAL SCORING LINES SHALL BE A DEPTH OF 1" AND NOT LESS THAN 1/4 INCH OR MORE THAN 1/2 INCH IN WIDTH. THE CORNERS OF THE SCORING LINES SHALL HAVE A 1/2 INCH MINIMUM RADIUS.
 - JOINTS IN THE CURB AND GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN THE SIDEWALK.



- NOTES:**
- W = VARIES, REFER TO STAKING PLAN FILL IN BASED ON SITE PLAN
 - L = WIDTH OF PAVING UNLESS OTHERWISE INDICATED ON PLAN.
 - SLOPE = AS INDICATED ON GRADING PLAN, NOT TO EXCEED 2% CROSS OF 8.33% LONGITUDINAL
 - ALL CONCRETE SHALL BE CLASS A 3000 PSI
 - FINISH BROOM WITH HAND TOOLED JOINTS AND EDGES.

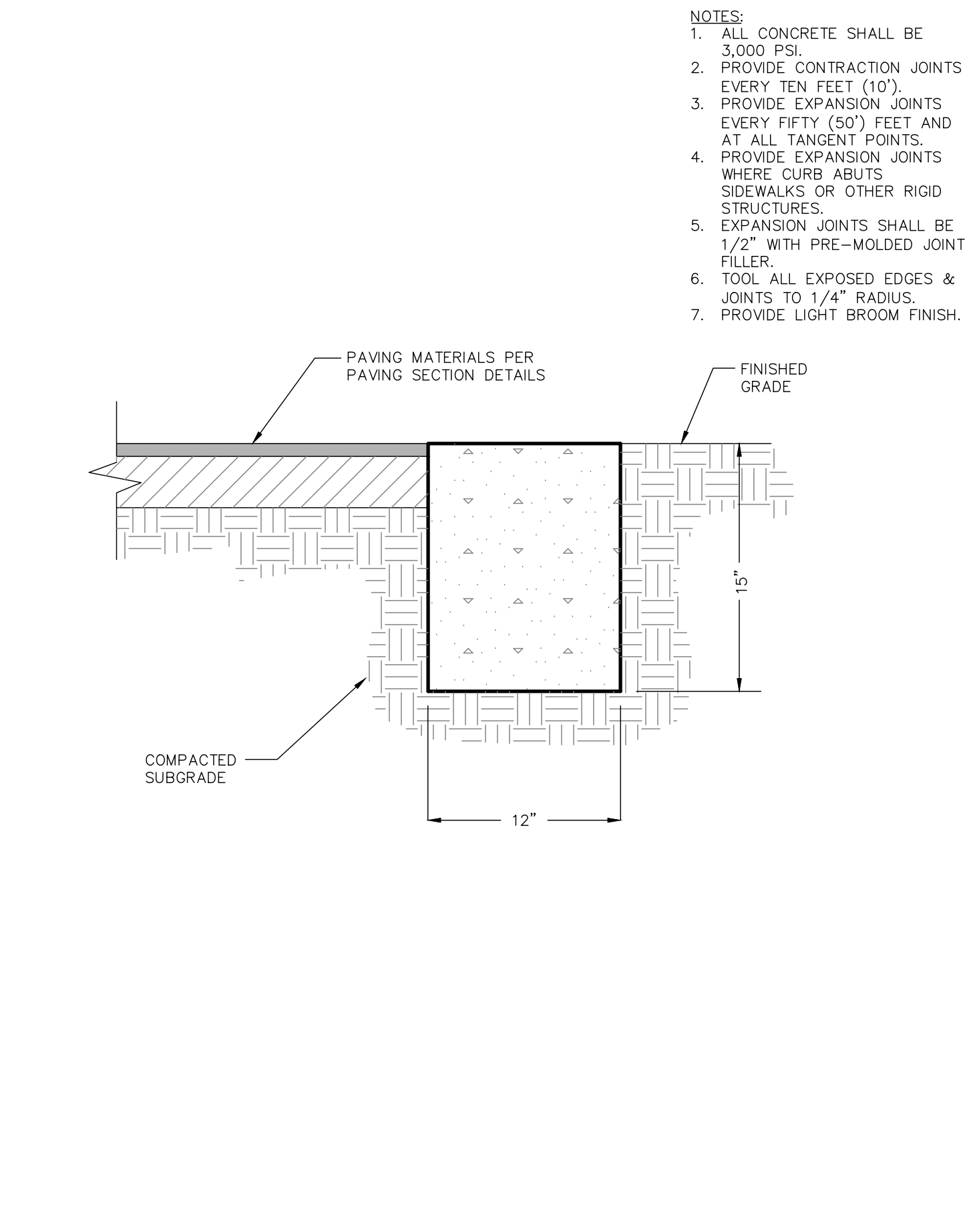
EXPANSION JOINTS AND SCORING LINES
DETAIL 03300-007A

CONCRETE SIDEWALK
DETAIL 03300-006



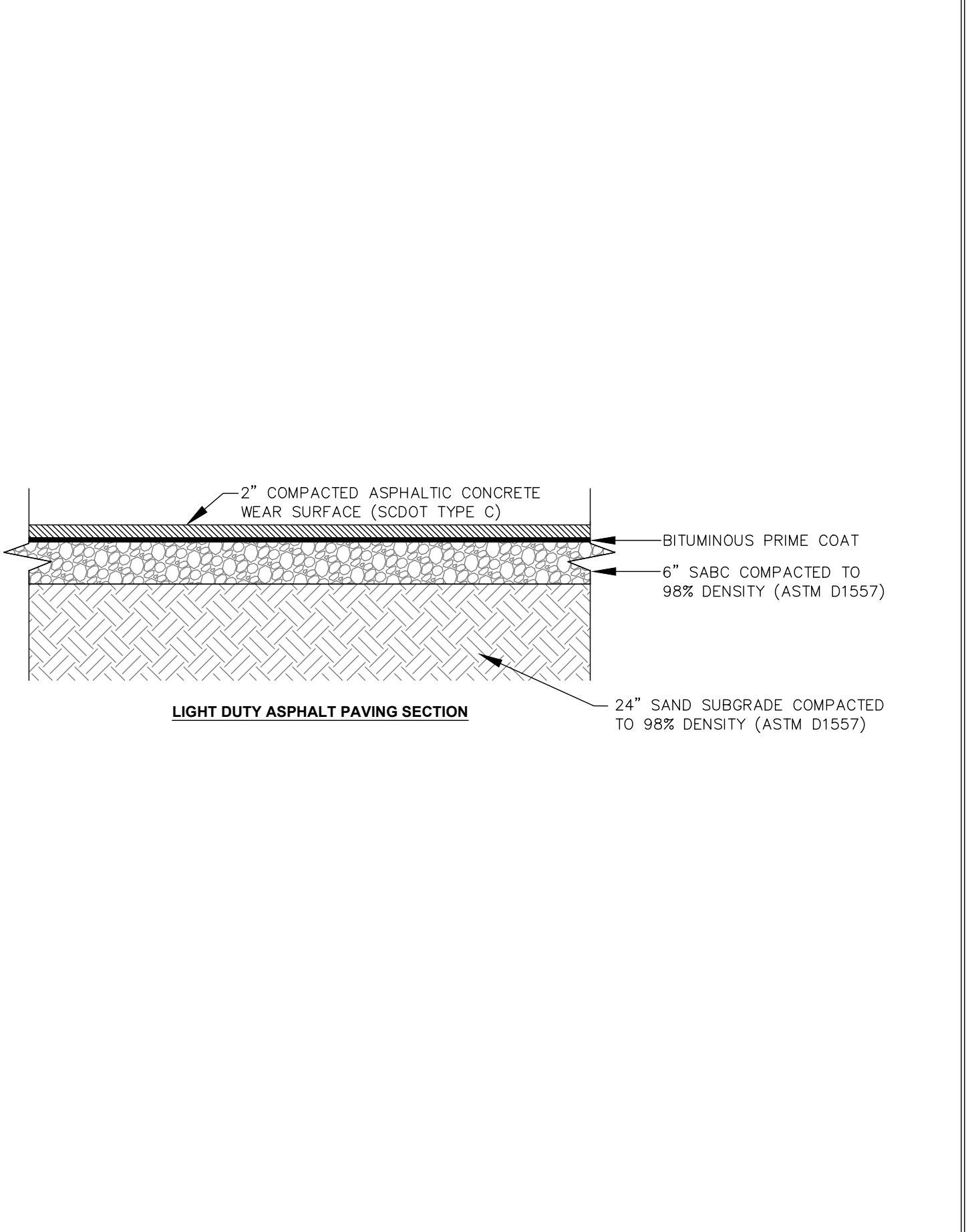
- NOTES:**
- USE NORMAL OR PITCHED GUTTER AS REQUIRED TO MATCH PAVING SLOPE.
 - ALL CONCRETE SHALL BE 3,000 PSI.
 - PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 - PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 - PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 - EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 - TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 - PROVIDE LIGHT BROOM FINISH.

18" CURB AND GUTTER
DETAIL 03300-004A



- NOTES:**
- ALL CONCRETE SHALL BE 3,000 PSI.
 - PROVIDE CONTRACTION JOINTS EVERY TEN FEET (10').
 - PROVIDE EXPANSION JOINTS EVERY FIFTY (50') FEET AND AT ALL TANGENT POINTS.
 - PROVIDE EXPANSION JOINTS WHERE CURB ABUTS SIDEWALKS OR OTHER RIGID STRUCTURES.
 - EXPANSION JOINTS SHALL BE 1/2" WITH PRE-MOLDED JOINT FILLER.
 - TOOL ALL EXPOSED EDGES & JOINTS TO 1/4" RADIUS.
 - PROVIDE LIGHT BROOM FINISH.

FLUSH HEADER CURB
DETAIL 03300-005



- NOTES:**
- 2" COMPACTED ASPHALTIC CONCRETE WEAR SURFACE (SCDOT TYPE C)
 - BITUMINOUS PRIME COAT
 - 6" SABC COMPACTED TO 98% DENSITY (ASTM D1557)
 - 24" SAND SUBGRADE COMPACTED TO 98% DENSITY (ASTM D1557)

TYPICAL PAVING SECTIONS
DETAIL 02740-016

BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB- ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

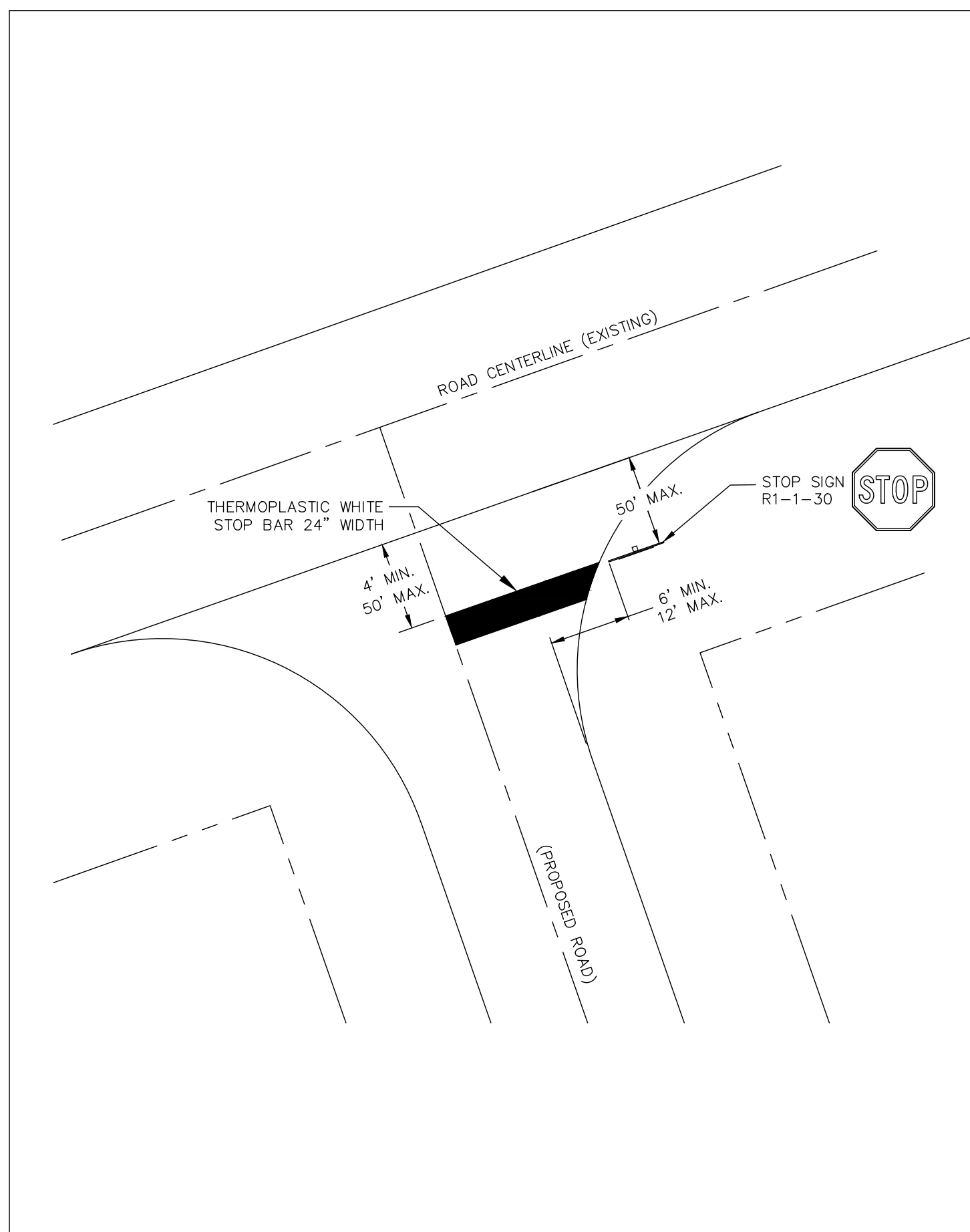
SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

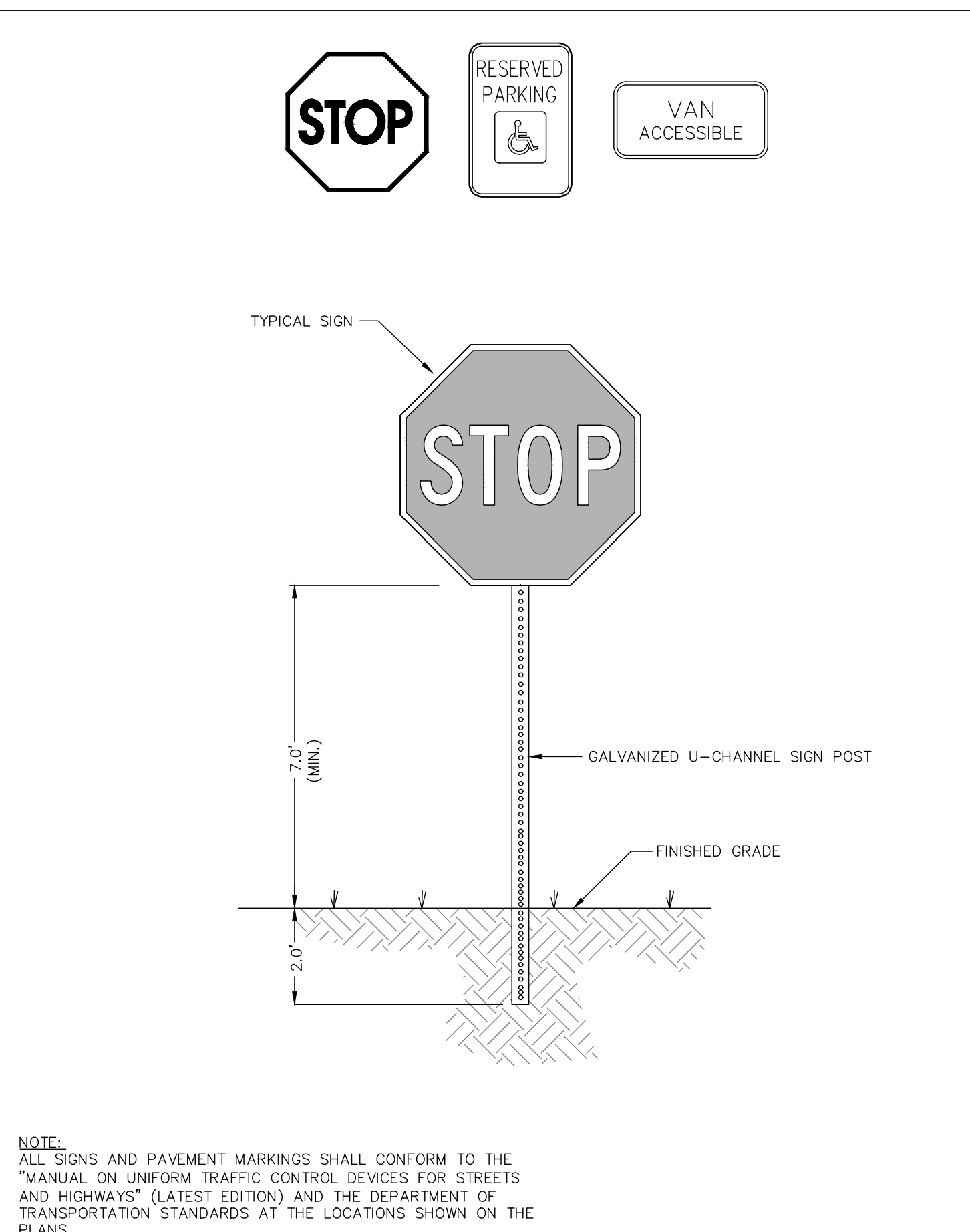
SHEET TITLE:
PAVING DETAILS

SHEET NO. PROJ. NO.
019593.03

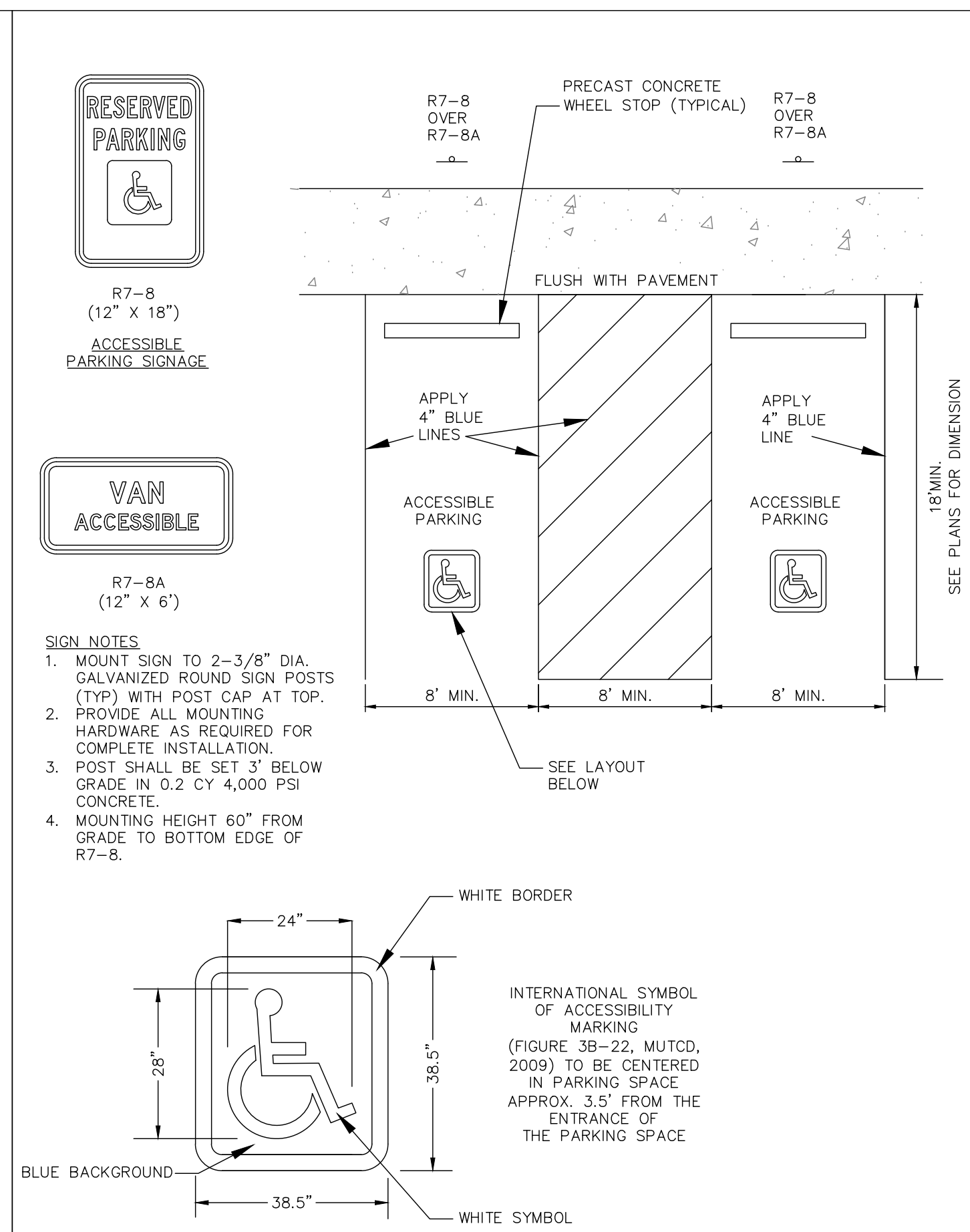
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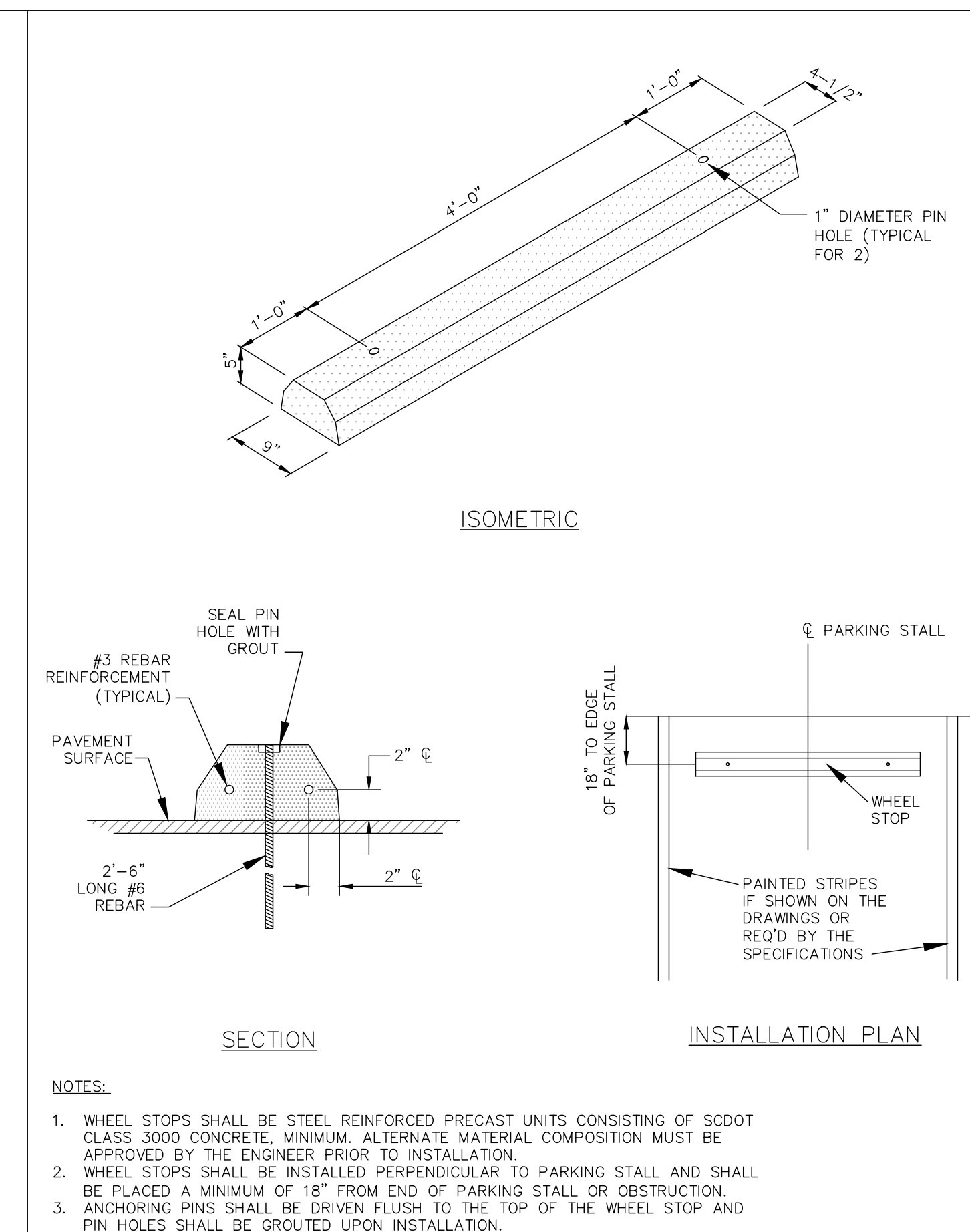
TYPICAL STOP SIGN & STOP BAR STRIPING AT INTERSECTION
DETAIL #02740-018



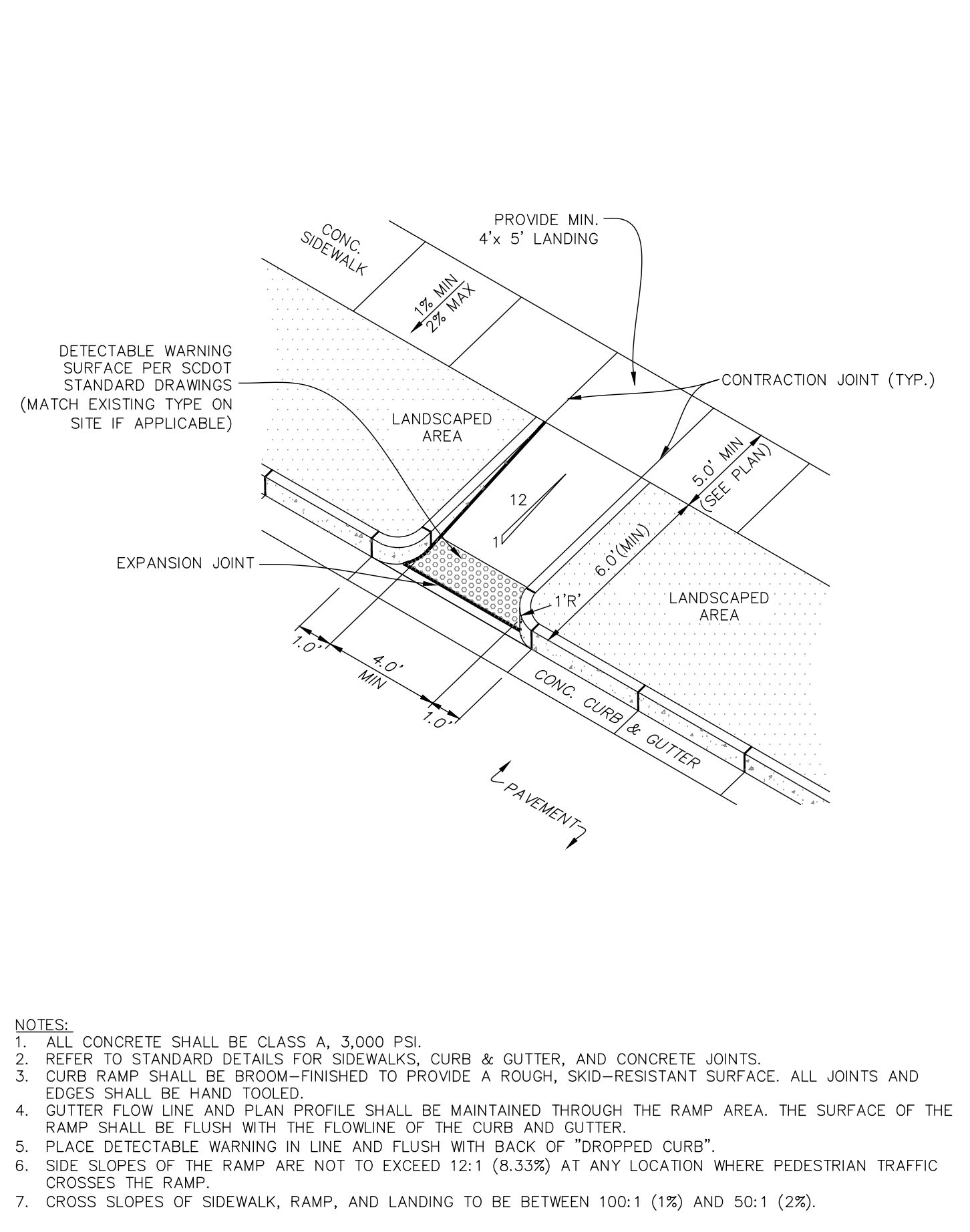
TYPICAL SIGNAGE
DETAIL #02890-002A



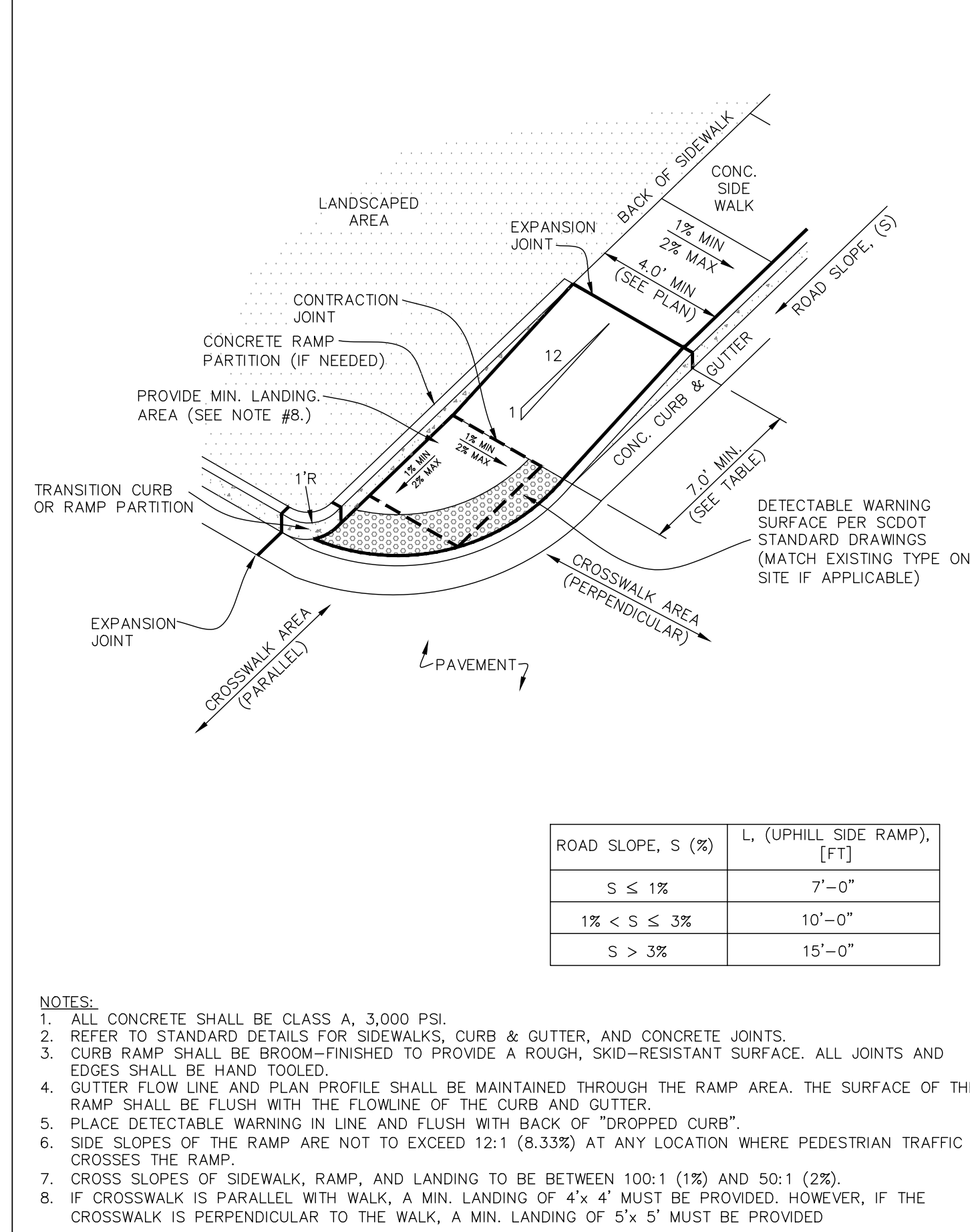
ACCESSIBLE PARKING DETAIL



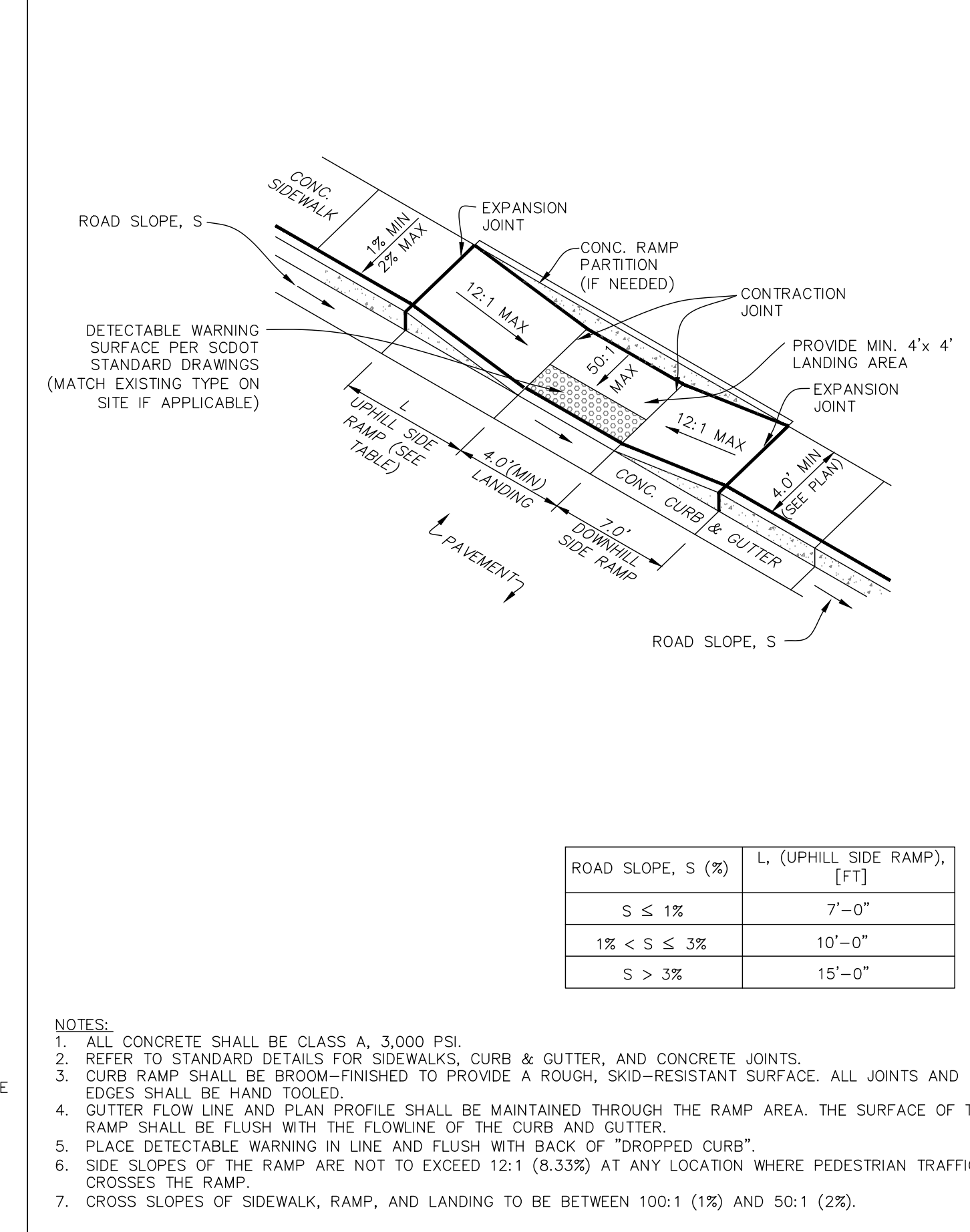
PRECAST CONCRETE WHEEL STOP



CONCRETE CURB RAMP- TYPE D
DETAIL 03300-033



CONCRETE CURB RAMP TYPE-C
DETAIL 03300-031



CONCRETE CURB RAMP TYPE-B
DETAIL 03300-029A

SITE, GRADING, DRAINAGE & PAVING DETAILS

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A

B

C

D

1

2

3

4

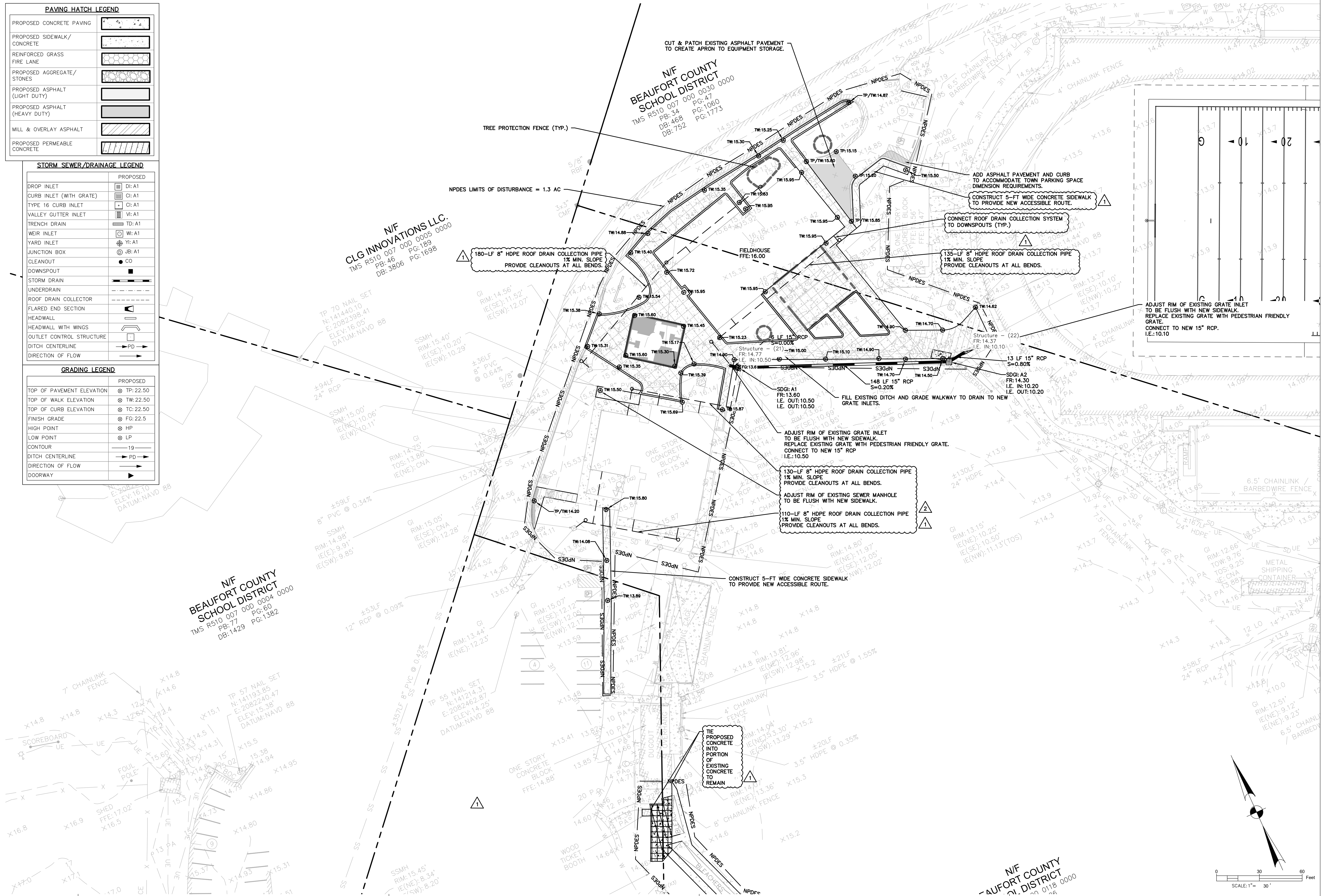
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PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	[Hatch Pattern]
PROPOSED SIDEWALK/CONCRETE	[Hatch Pattern]
REINFORCED GRASS FIRE LANE	[Hatch Pattern]
PROPOSED AGGREGATE/STONES	[Hatch Pattern]
PROPOSED ASPHALT (LIGHT DUTY)	[Hatch Pattern]
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MILL & OVERLAY ASPHALT	[Hatch Pattern]
PROPOSED PERMEABLE CONCRETE	[Hatch Pattern]

STORM SEWER/DRAINAGE LEGEND	
DROP INLET	DI-A1
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TYPE 16 CURB INLET	CI-A1
VALLEY GUTTER INLET	VI-A1
TRENCH DRAIN	TD-A1
WEIR INLET	WI-A1
YARD INLET	YI-A1
JUNCTION BOX	JB-A1
CLEANOUT	CO
DOWNSPOUT	[Symbol]
STORM DRAIN	[Symbol]
UNDERDRAIN	[Symbol]
ROOF DRAIN COLLECTOR	[Symbol]
FLARED END SECTION	[Symbol]
HEADWALL	[Symbol]
HEADWALL WITH WINGS	[Symbol]
OUTLET CONTROL STRUCTURE	[Symbol]
DITCH CENTERLINE	PD
DIRECTION OF FLOW	[Arrow]

GRADING LEGEND	
TOP OF PAVEMENT ELEVATION	TP-22.50
TOP OF WALK ELEVATION	TW-22.50
TOP OF CURB ELEVATION	TC-22.50
FINISH GRADE	FG-22.5
HIGH POINT	HP
LOW POINT	LP
CONTOUR	19
DITCH CENTERLINE	PD
DIRECTION OF FLOW	[Arrow]
DOORWAY	[Symbol]



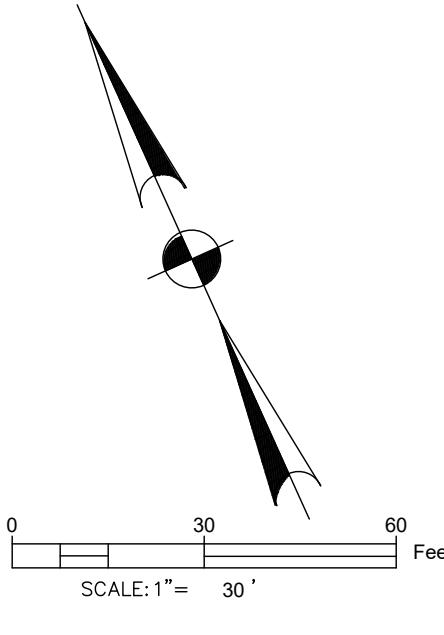
BEAUFORT COUNTY SCHOOL DISTRICT
HHIHS - PHASE IIB-ATHLETICS
70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
1	07-06-23	REV. DRAINAGE	FRM
2	07-25-23	REV. DRAINAGE	FRM

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
GRADING & DRAINAGE PLAN

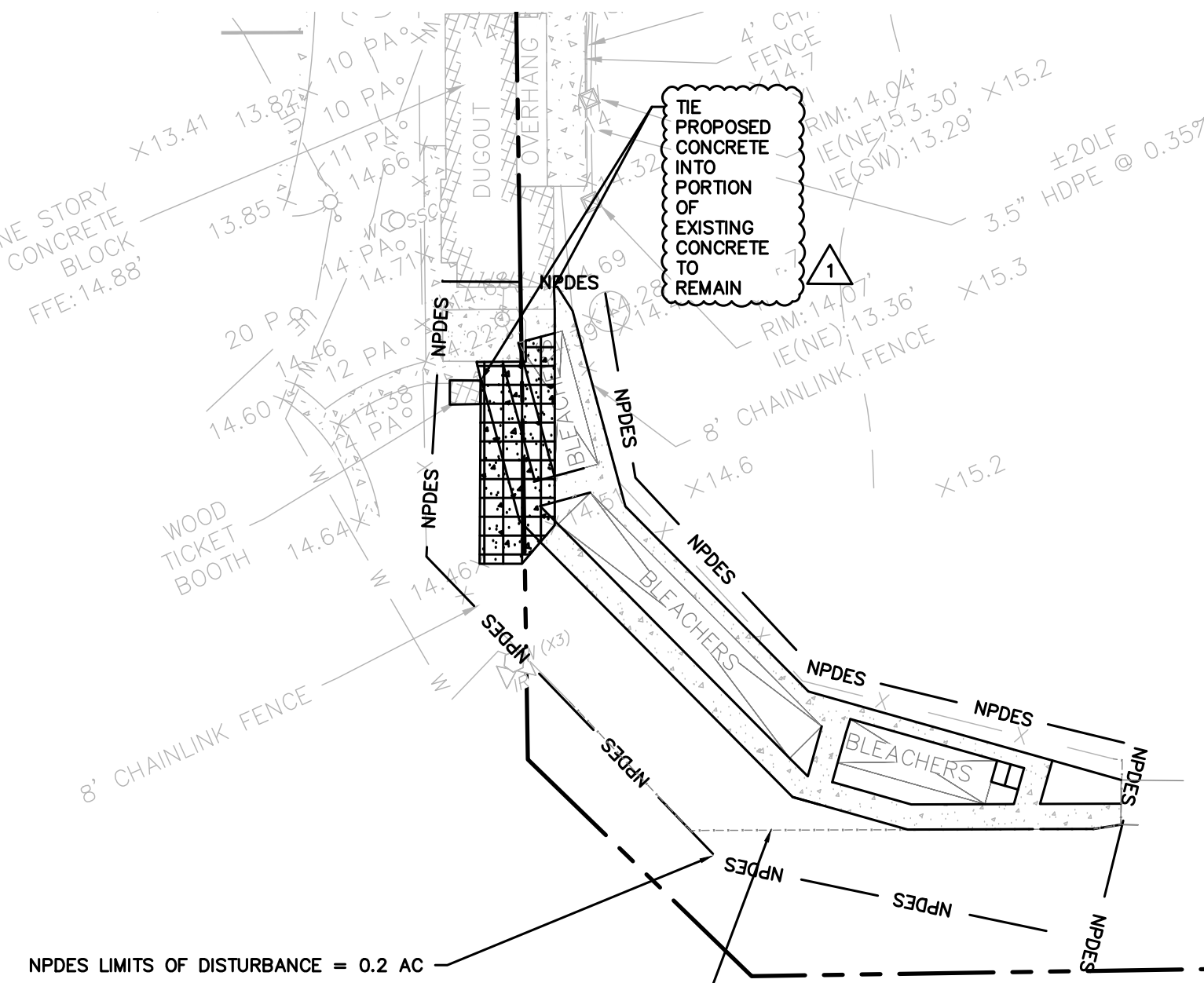
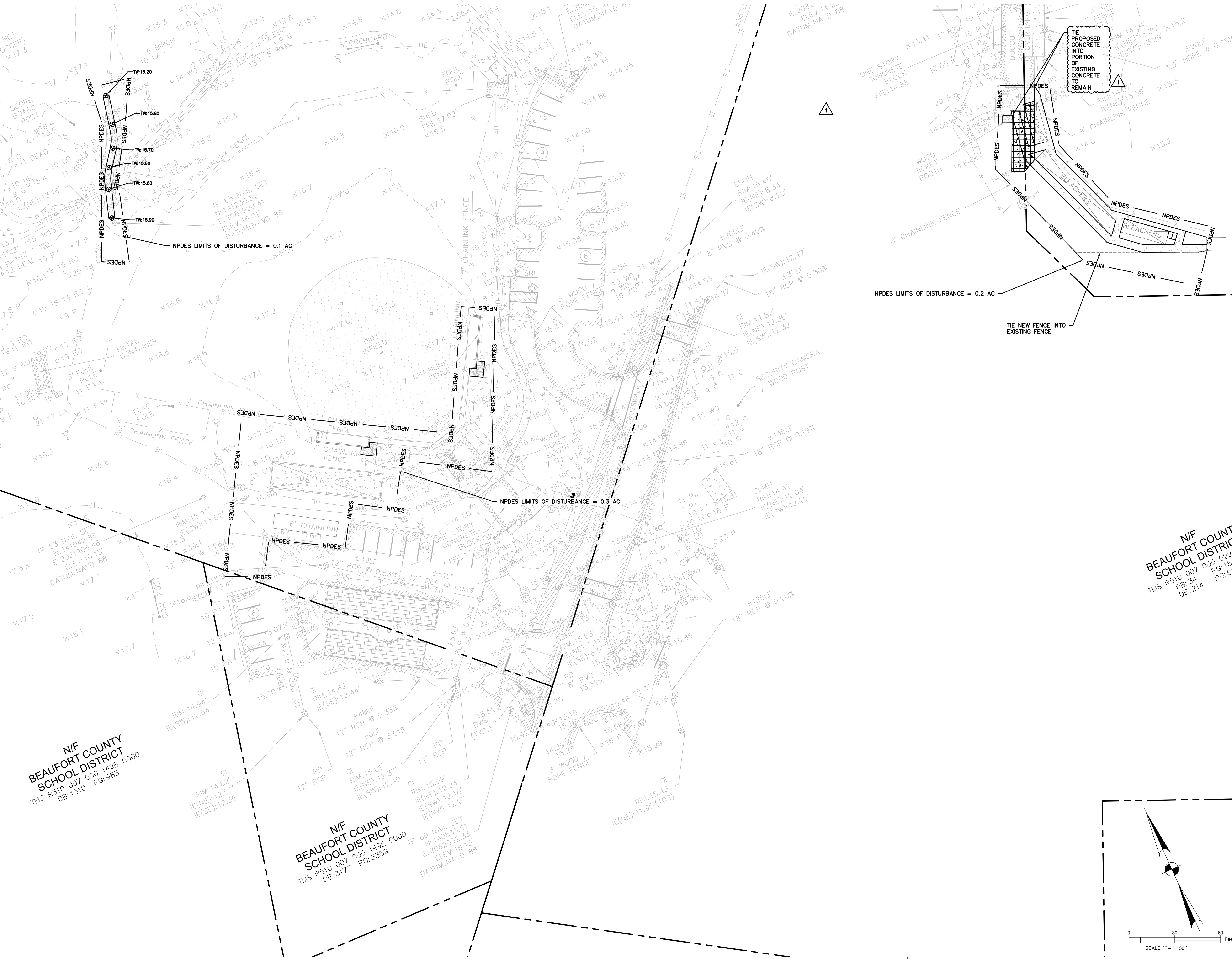
SHEET NO. PROJ. NO.
C401 019593.03



PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
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CONTOUR	-19
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DIRECTION OF FLOW	
DOORWAY	



BEAUFORT COUNTY SCHOOL DISTRICT
HHIHS - PHASE IIB-ATHLETICS
 70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

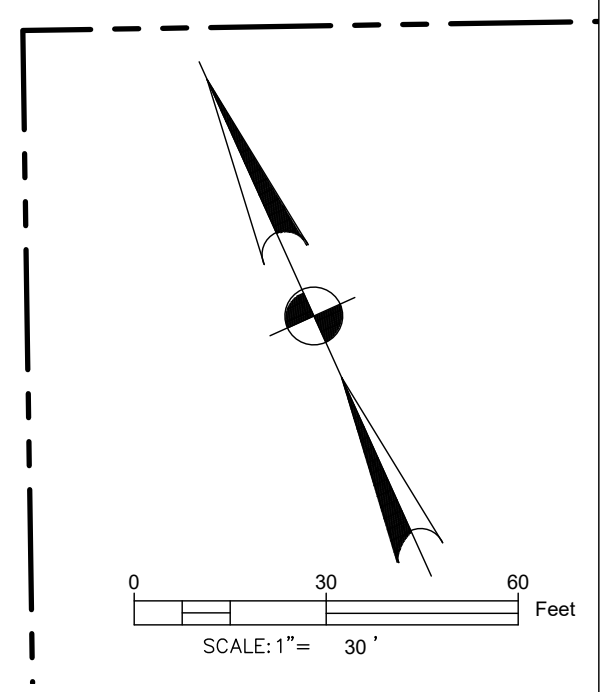
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 BEAUFORT COUNTY
 SCHOOL DISTRICT
 TMS R510 007 000 02/21
 PG: 182
 DB: 214

CONSTRUCTION DOCUMENTS 07/25/2023
 PRINCIPAL IN CHARGE: MS
 PROJECT ARCHITECT: MS
 DRAWN BY: Author

SHEET TITLE:
**GRADING &
 DRAINAGE PLAN**

SHEET NO. PROJ. NO.
 C402 019593.03



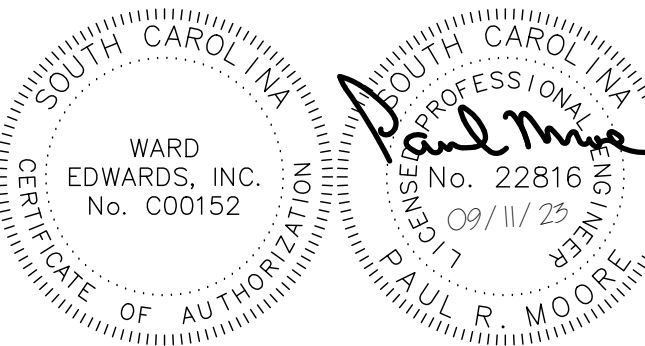
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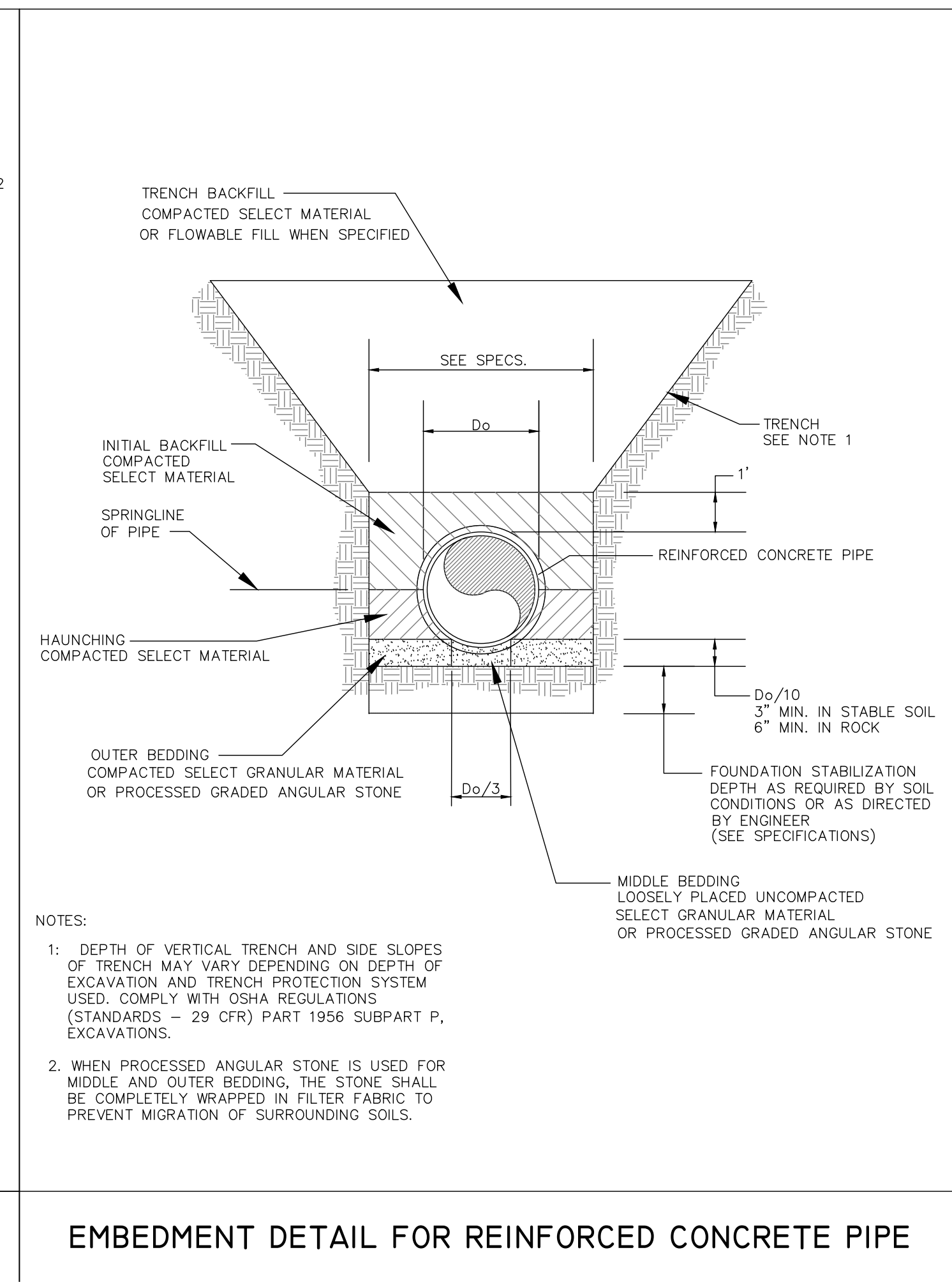
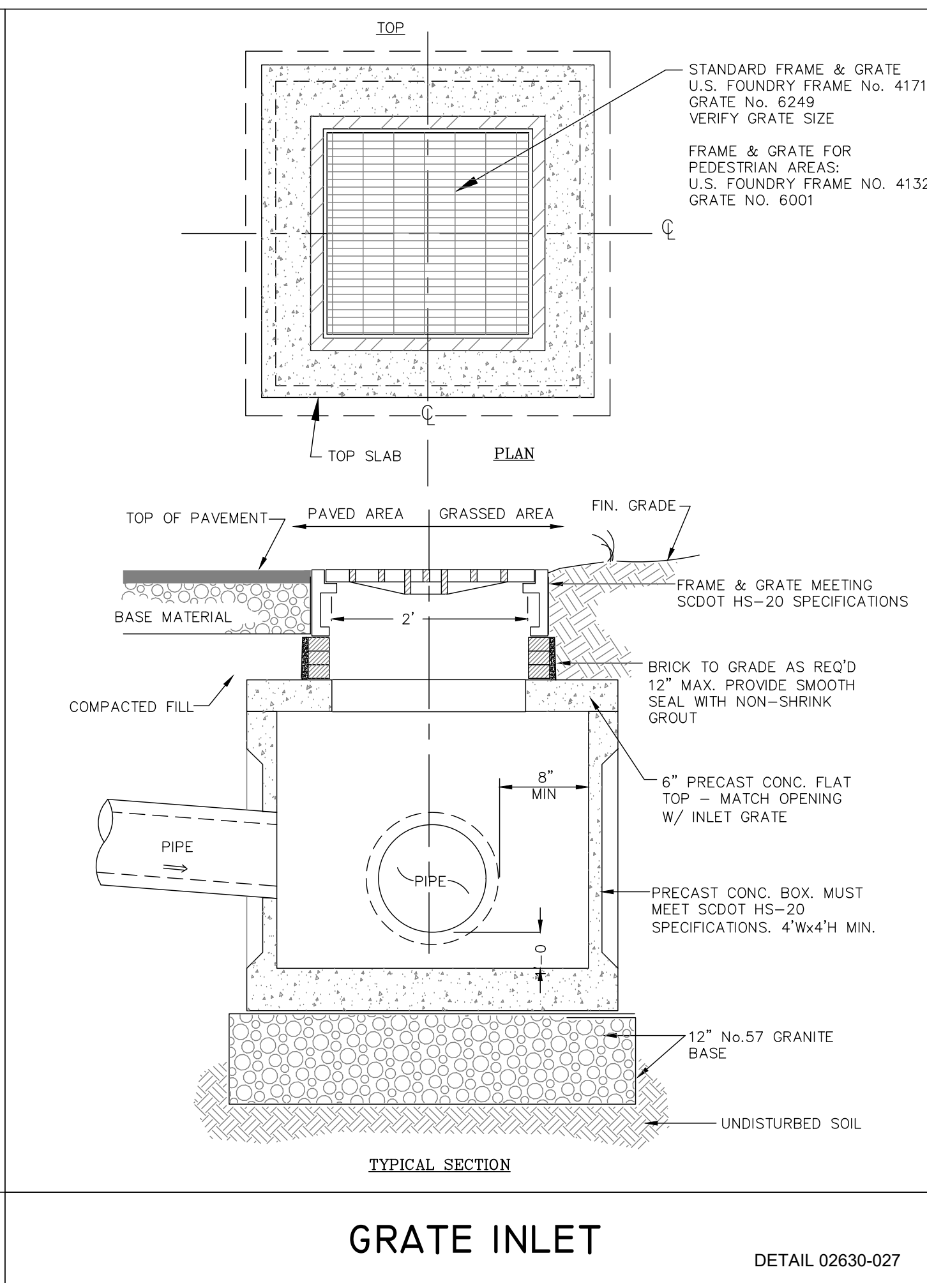
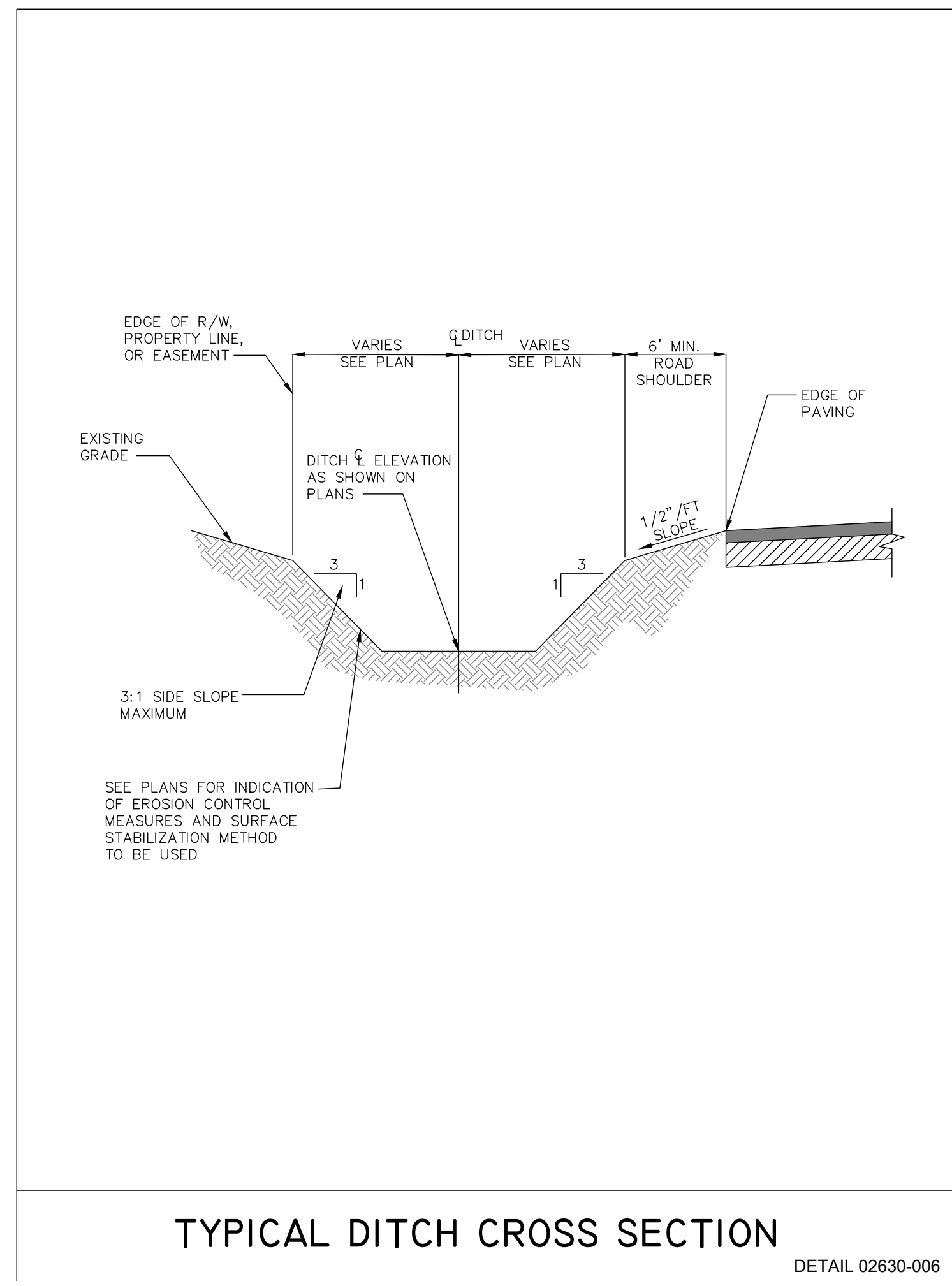


SEALS



NOT FOR CONSTRUCTION

AS-BUILT SURVEY REQUIREMENTS
 CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT TOPOGRAPHIC SURVEY OF THE CONSTRUCTED PROJECT SITE. THE SURVEY SHALL CONFORM TO SDGHC AND LOCAL GOVERNMENT AS-BUILT REQUIREMENTS INCLUDING, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:
 THE SURVEY SHALL BE PREPARED AND SIGNED BY A SOUTH CAROLINA LICENSED LAND SURVEYOR.
 A SIGNED HARD COPY AND AUTOCAD FILE SHALL BE PROVIDED TO THE ENGINEER.
 ELEVATIONS SHALL BE BASED UPON THE SAME VERTICAL DATUM USED IN THE ENGINEERING PLANS.
 THE DRAWINGS SHALL BE ON THE SC NAD83 STATE PLANE COORDINATE SYSTEM.
 THE SURVEY SHALL INCLUDE THE FOLLOWING AS-BUILT INFORMATION TO INCLUDE LOCATION AND ELEVATIONS:
 a. PROPERTY LINES
 b. BUILDING(S) WITH FINISHED FLOOR ELEVATIONS
 c. PAVING TO INCLUDE ELEVATIONS ALONG EDGES AND INTERNAL RIDGES AND VALLEYS (I.E. ROAD CROWNS, INVERTED CROWN FLOW LINES)
 d. ADA-ACCESSIBLE RAMPS
 e. CURB AND GUTTER
 f. SIDEWALKS
 g. SIGNAGE
 h. STORM INLETS WITH PIPE DIAMETER(S), FRAME, AND INVERT
 i. JUNCTION BOXES WITH PIPE DIAMETER(S), FRAME, AND INVERT
 j. SANITARY SEWER MANHOLES WITH FRAME AND INVERT
 k. PUMP STATIONS TO INCLUDE FENCING, CONTROLS, DRIVEWAY, WETWELL TOP/BOTTOM ELEVATIONS
 l. DITCHES TO INCLUDE TOP OF BANK, BOTTOM OF BANK, AND CENTERLINE
 m. WEIRS TO INCLUDE CONTOURS FROM TOP OF BANK TO WATER SURFACE AND MEASURED DEPTH FROM WATER SURFACE TO POND BOTTOM
 n. WEIR ELEVATIONS AND DIMENSIONS
 o. OUTLET CONTROL STRUCTURES TO INCLUDE ELEVATIONS AND DIMENSIONS OF ALL RISERS, GRATES, ORIFICES, WEIRS, AND OUTLET PIPE INVERTS AND DIAMETERS
 p. EMERGENCY SPILLWAY DIMENSIONS AND ELEVATIONS
 q. LOCATIONS AND INVERTS FOR ALL PIPES DISCHARGING INTO THE POND
 r. ALL OTHER VISIBLE SITE FEATURES TO INCLUDE VALVES, FDCS, HYDRANTS, TRANSFORMERS, LIGHT POLES, CLEAN-OUTS, PEDESTALS, SERVICE YARDS, FENCING, HVAC/MECHANICAL DEVICES, AND BOLLARDS.



NOTES:
 1: DEPTH OF VERTICAL TRENCH AND SIDE SLOPES OF EXCAVATION AND TRENCH PROTECTION SYSTEM USED. COMPLY WITH OSHA REGULATIONS (STANDARDS - 29 CFR) PART 1956 SUBPART P, EXCAVATIONS.
 2: WHEN PROCESSED ANGULAR STONE IS USED FOR MIDDLE AND OUTER BEDDING, THE STONE SHALL BE COMPLETELY WRAPPED IN FILTER FABRIC TO PREVENT MIGRATION OF SURROUNDING SOILS.

BEAUFORT COUNTY SCHOOL DISTRICT
 HHIHS - PHASE IIB- ATHLETICS
 70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 07/25/2023
 PRINCIPAL IN CHARGE: MS
 PROJECT ARCHITECT: MS
 DRAWN BY: Author

SHEET TITLE:
GRADING & DRAINAGE DETAILS

SHEET NO. PROJ. NO.
 019593.03

C403

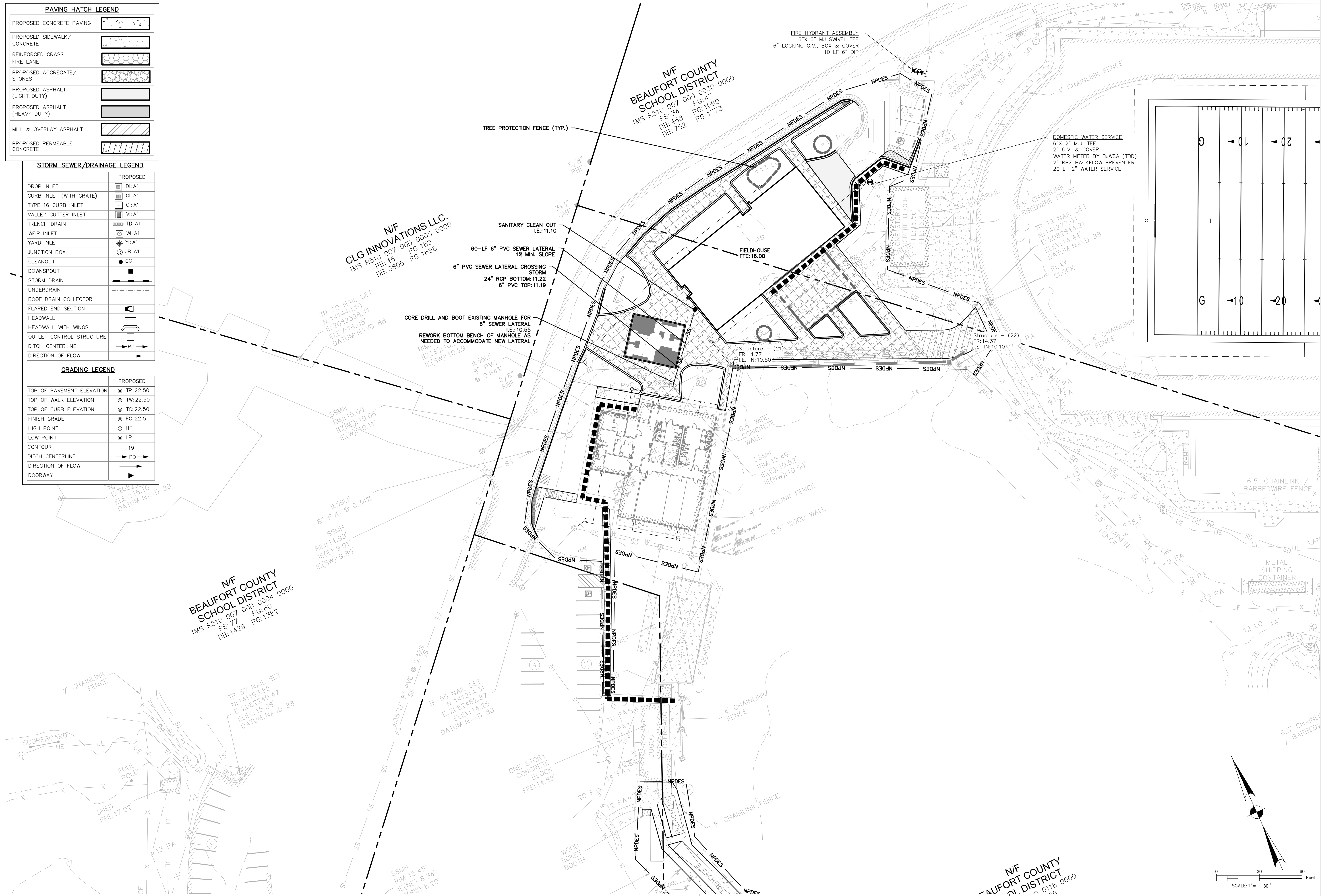
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CONSULTANT'S ACCOUNTABILITY TO THE CLIENT IS LIMITED TO THE PROJECT AND THE INFORMATION PROVIDED TO THE CLIENT. CONSULTANTS ARE NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR FOR THE ACTIONS OF OTHER PROFESSIONALS OR CONTRACTORS. CONSULTANTS ARE NOT TO BE CONSIDERED AS GUARANTEEING THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. CONSULTANTS ARE NOT TO BE CONSIDERED AS GUARANTEEING THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT. CONSULTANTS ARE NOT TO BE CONSIDERED AS GUARANTEEING THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT.

PAVING HATCH LEGEND	
PROPOSED CONCRETE PAVING	
PROPOSED SIDEWALK/ CONCRETE	
REINFORCED GRASS FIRE LANE	
PROPOSED AGGREGATE/ STONES	
PROPOSED ASPHALT (LIGHT DUTY)	
PROPOSED ASPHALT (HEAVY DUTY)	
MILL & OVERLAY ASPHALT	
PROPOSED PERMEABLE CONCRETE	

STORM SEWER/DRAINAGE LEGEND	
PROPOSED DROP INLET	DI-A1
PROPOSED CURB INLET (WITH GRATE)	CI-A1
PROPOSED TYPE 16 CURB INLET	CI-A1
PROPOSED VALLEY GUTTER INLET	VI-A1
PROPOSED TRENCH DRAIN	TD-A1
PROPOSED WEIR INLET	WI-A1
PROPOSED YARD INLET	YI-A1
PROPOSED JUNCTION BOX	JB-A1
PROPOSED CLEANOUT	CO
PROPOSED DOWNSPOUT	
PROPOSED STORM DRAIN	
PROPOSED UNDERDRAIN	
PROPOSED ROOF DRAIN COLLECTOR	
PROPOSED FLARED END SECTION	
PROPOSED HEADWALL	
PROPOSED HEADWALL WITH WINGS	
PROPOSED OUTLET CONTROL STRUCTURE	
PROPOSED DITCH CENTERLINE	
PROPOSED DIRECTION OF FLOW	

GRADING LEGEND	
PROPOSED TOP OF PAVEMENT ELEVATION	TP: 22.50
PROPOSED TOP OF WALK ELEVATION	TW: 22.50
PROPOSED TOP OF CURB ELEVATION	TC: 22.50
PROPOSED FINISH GRADE	FG: 22.5
PROPOSED HIGH POINT	HP
PROPOSED LOW POINT	LP
PROPOSED CONTOUR	19
PROPOSED DITCH CENTERLINE	PD
PROPOSED DIRECTION OF FLOW	
PROPOSED DOORWAY	



BEAUFORT COUNTY SCHOOL DISTRICT
 HHIHS - PHASE IIB-ATHLETICS
 70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

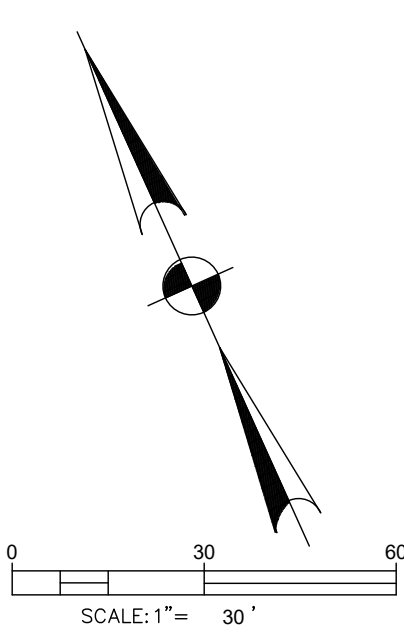
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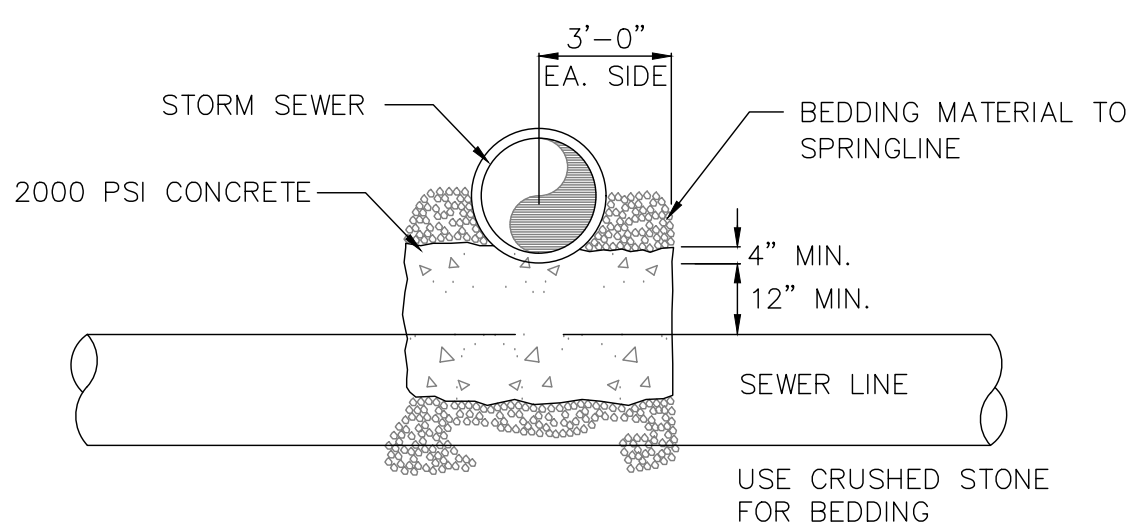
CONSTRUCTION DOCUMENTS 07/25/2023
 PRINCIPAL IN CHARGE: MS
 PROJECT ARCHITECT: MS
 DRAWN BY: Author

SHEET TITLE:
UTILITY PLAN

SHEET NO. PROJ. NO.
 019593.03

C501

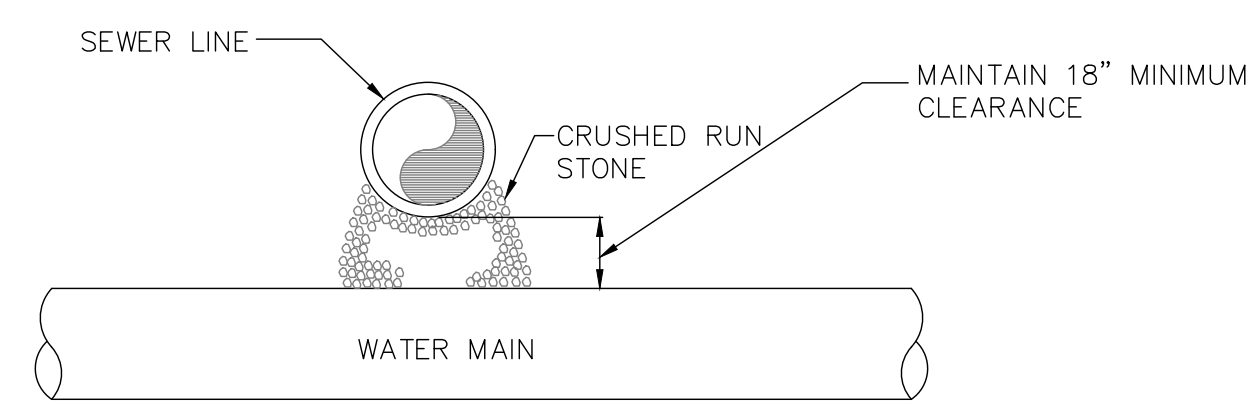




**STORM SEWER CROSSING
DETAIL**
NOT TO SCALE

NOTE:
FULL JOINT OF DUCTILE IRON PIPE, CENTERED
AT CROSSING

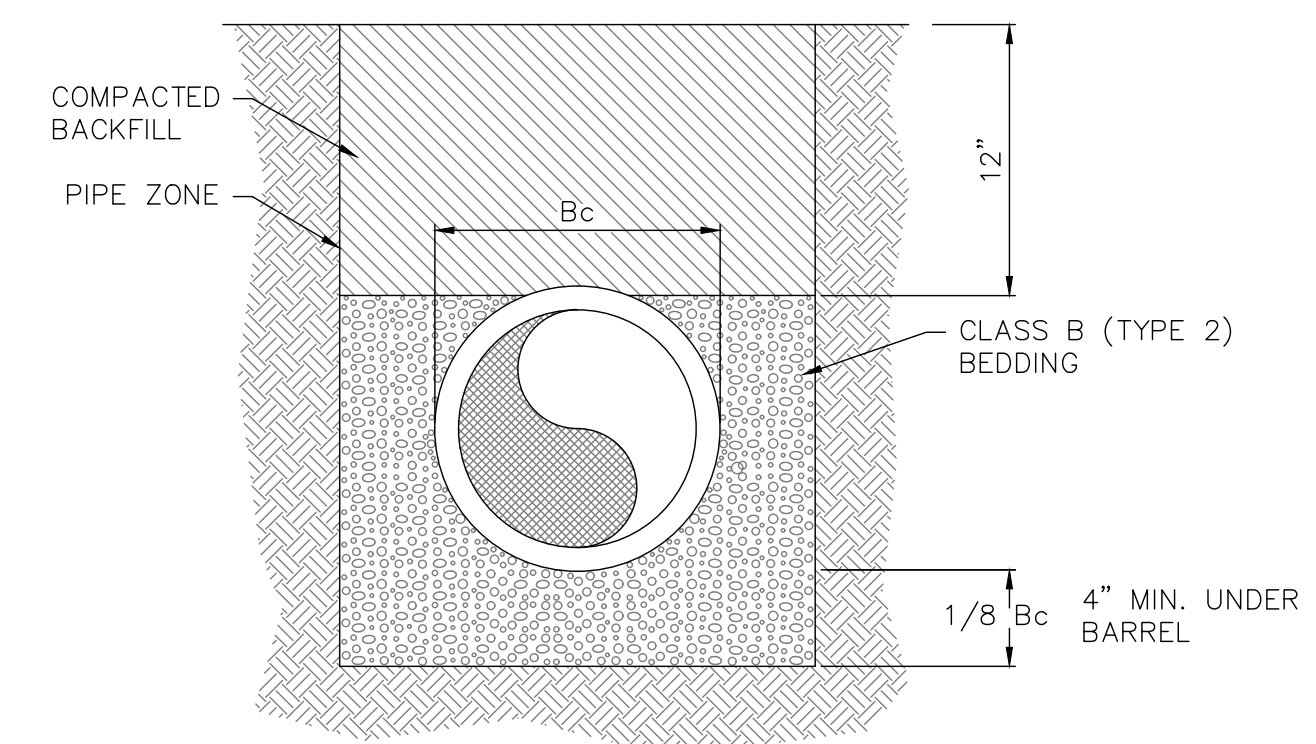
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
STORM SEWER CROSSING DETAIL			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-3	
SCALE: NTS	REVISED: XXXXXXX		



**SEWER CROSSING ABOVE WATER LINE
DETAIL**
NOT TO SCALE

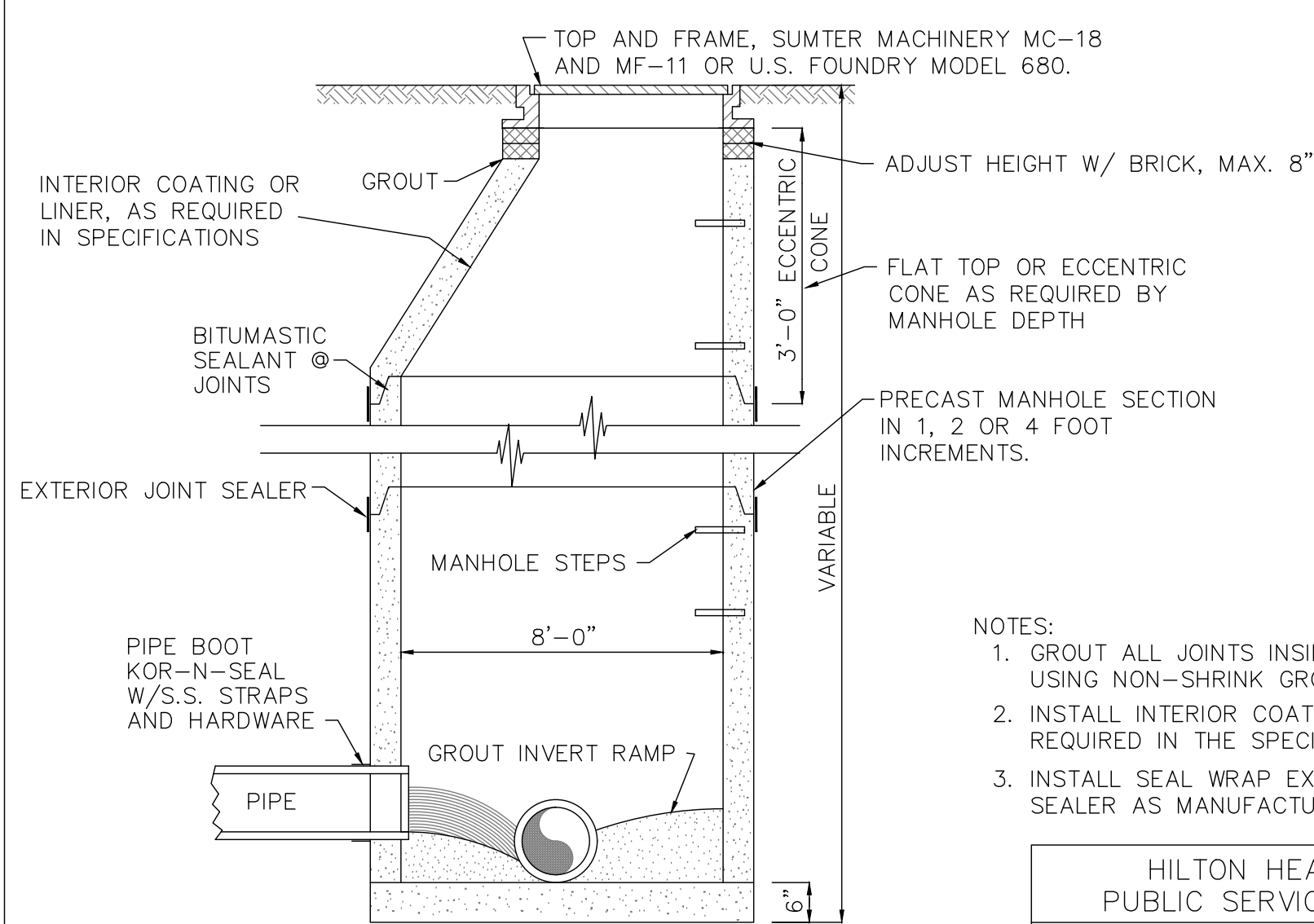
NOTE:
FULL JOINT OF DUCTILE IRON PIPE FOR BOTH WATER
AND SEWER TO BE CENTERED AT CROSSING.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
SEWER CROSSING ABOVE WATER LINE DETAIL			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-2	
SCALE: NTS	REVISED: XXXXXXX		



BEDDING FOR PVC GRAVITY SEWER PIPE
NOT TO SCALE

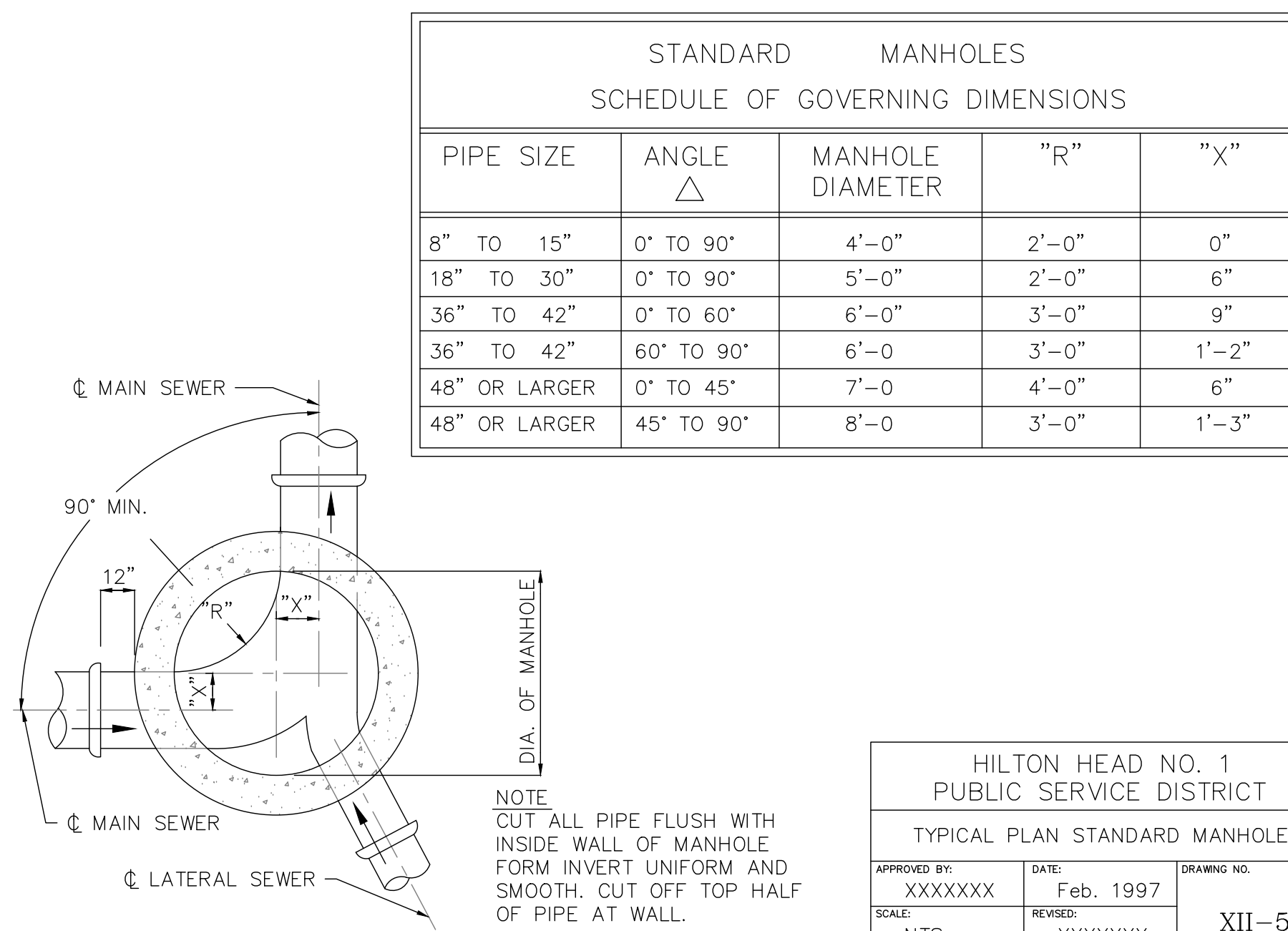
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
BEDDING FOR PVC GRAVITY SEWER PIPE			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-1	
SCALE: NTS	REVISED: XXXXXXX		



SECTION

- NOTES:
- GROUT ALL JOINTS INSIDE AND OUTSIDE USING NON-SHRINK GROUT.
 - INSTALL INTERIOR COATING OR LINER AS REQUIRED IN THE SPECIFICATIONS.
 - INSTALL SEAL WRAP EXTERIOR JOINT SEALER AS MANUFACTURED BY MAR-MAC.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
PRECAST MANHOLE			
APPROVED BY: XXXXXXX	DATE: XXXXXXX	DRAWING NO. XII-6	
SCALE: NTS	REVISED: XXXXXXX		

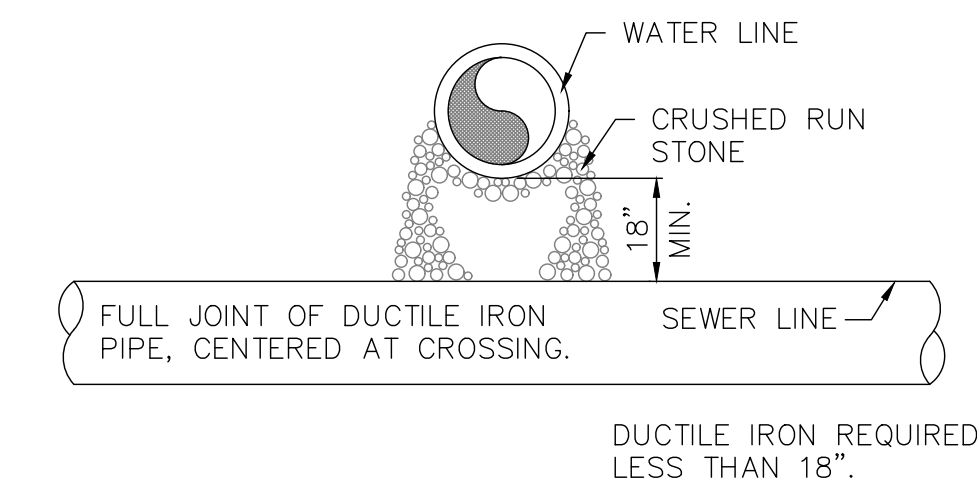


**STANDARD MANHOLES
SCHEDULE OF GOVERNING DIMENSIONS**

PIPE SIZE	ANGLE Δ	MANHOLE DIAMETER	"R"	"X"
8" TO 15"	0° TO 90°	4'-0"	2'-0"	0"
18" TO 30"	0° TO 90°	5'-0"	2'-0"	6"
36" TO 42"	0° TO 60°	6'-0"	3'-0"	9"
36" TO 42"	60° TO 90°	6'-0"	3'-0"	1'-2"
48" OR LARGER	0° TO 45°	7'-0"	4'-0"	6"
48" OR LARGER	45° TO 90°	8'-0"	3'-0"	1'-3"

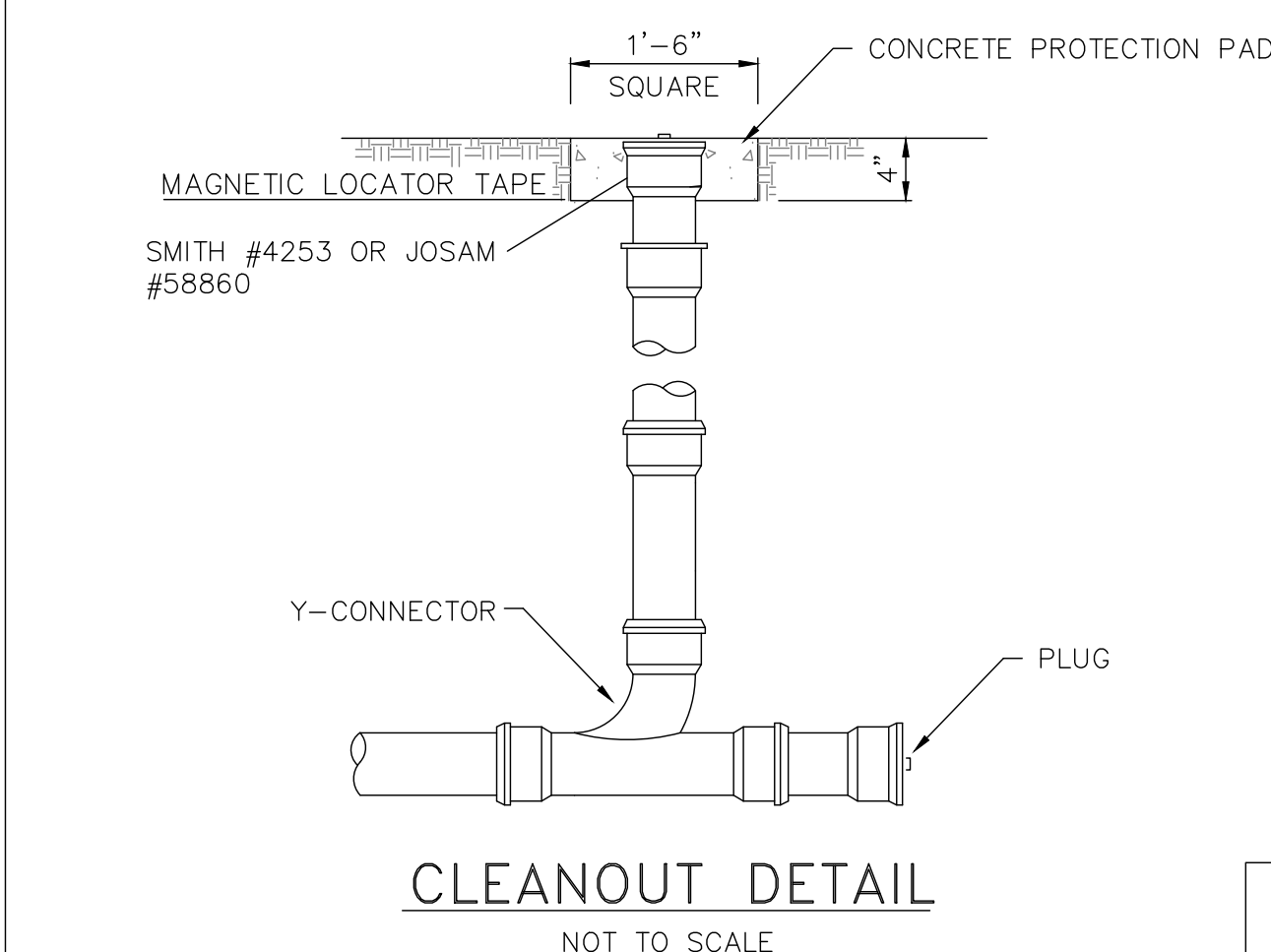
TYPICAL PLAN STANDARD MANHOLE

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
TYPICAL PLAN STANDARD MANHOLE			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-5	
SCALE: NTS	REVISED: XXXXXXX		



SEWER CROSSING BELOW WATER LINE DETAIL
NOT TO SCALE

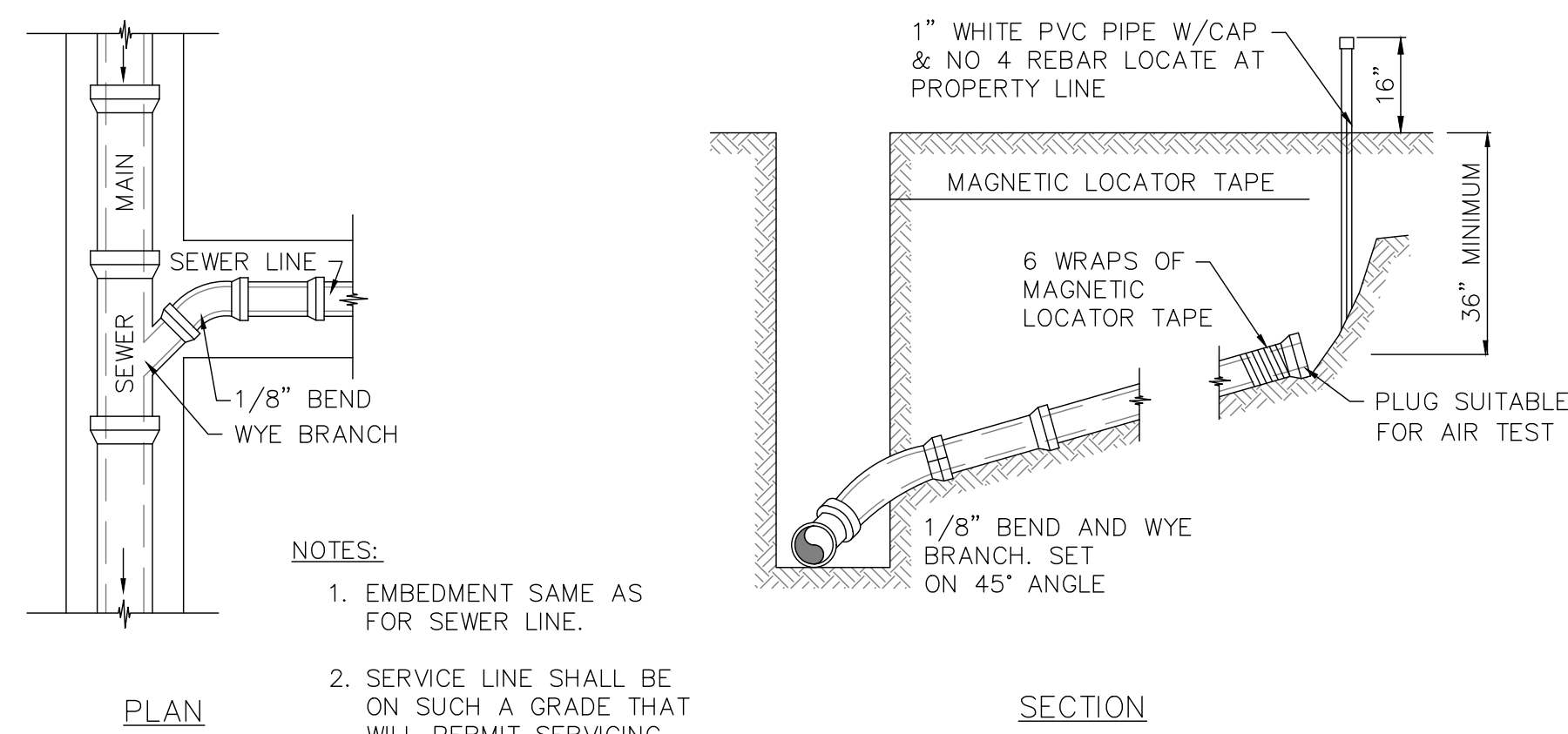
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
SEWER CROSSING BELOW WATER LINE DETAIL			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-4	
SCALE: NTS	REVISED: XXXXXXX		



CLEANOUT DETAIL
NOT TO SCALE

- NOTES:
- THE CLEANOUT SHOULD BE THE SAME SIZE DIAMETER AS THE LINE THAT IT IS INSTALLED ON.
 - CLEANOUT SHOULD CONSIST OF A PLUG SUITABLE FOR AIR TEST.

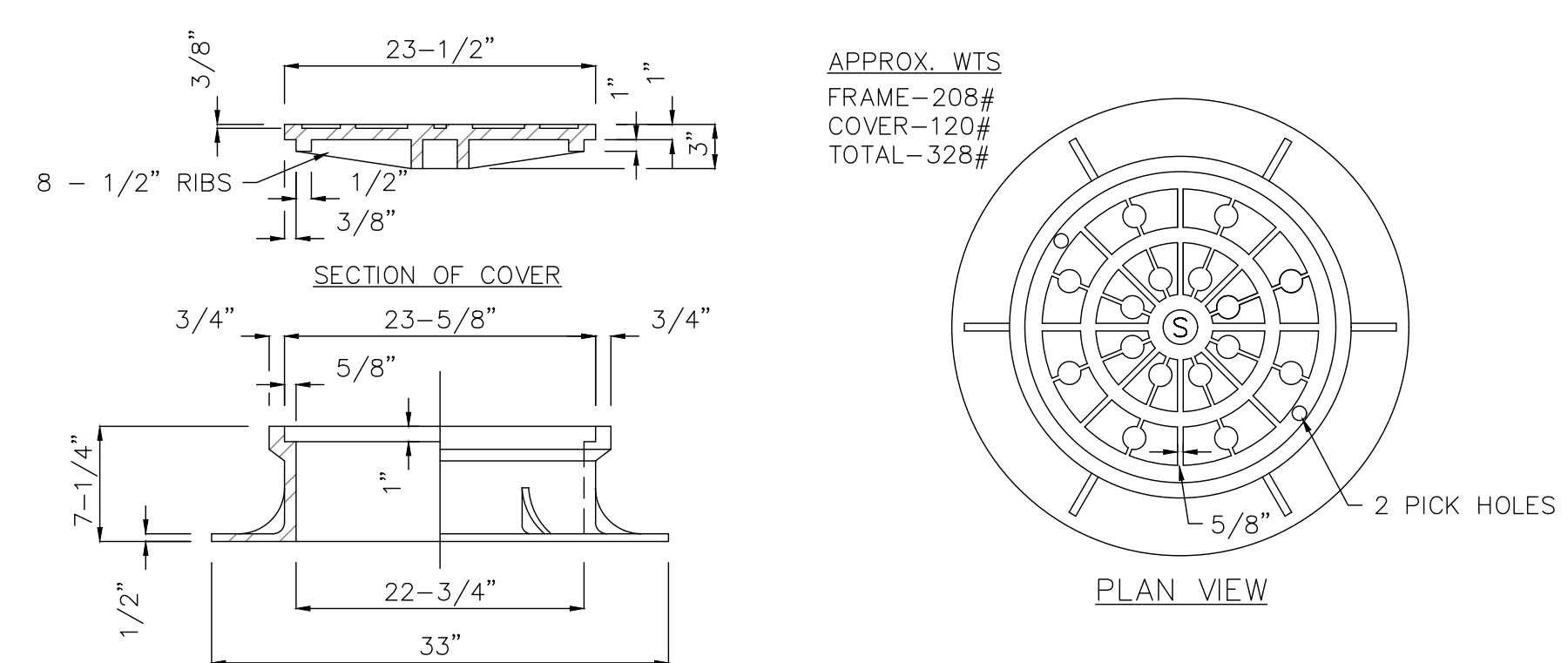
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
CLEANOUT DETAIL			
APPROVED BY: LC	DATE: JULY 2000	DRAWING NO. XII-13	
SCALE: NTS	REVISED: XXXXXXX		



SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

- NOTES:
- EMBEDMENT SAME AS FOR SEWER LINE.
 - SERVICE LINE SHALL BE ON SUCH A GRADE THAT WILL PERMIT SERVICING OF PROPERTY. MINIMUM GRADE SHALL BE 1.0% MAXIMUM GRADE SHALL BE 50%.
 - NO VERTICAL STACKING WILL BE ALLOWED.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
SEWER SERVICE CONNECTION DETAIL			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-10	
SCALE: NTS	REVISED: XXXXXXX		

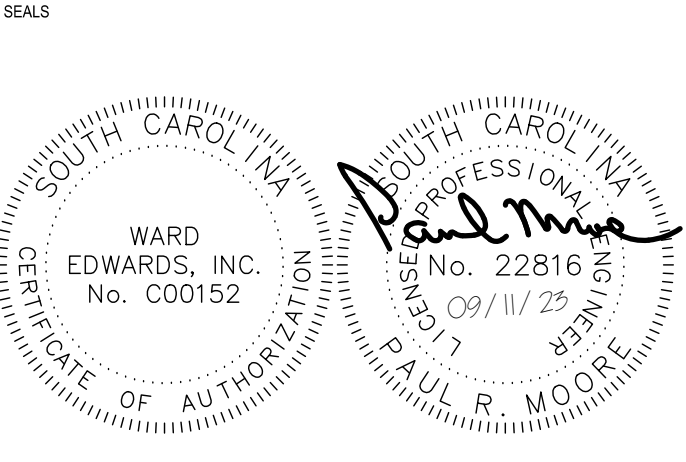


HALF SECTION FRAME HALF ELEVATION FRAME

- NOTES:
- AS MANUFACTURED BY SUMTER MACHINERY CO. NOS. TOP MC-18 & FRAME MF-11 OR U.S. FOUNDRY MODEL 680. PROVIDE WITH 2 COATS OF BITUMASTIC PAINT.
 - MACHINED BEARING SURFACES BETWEEN COVER AND FRAME.

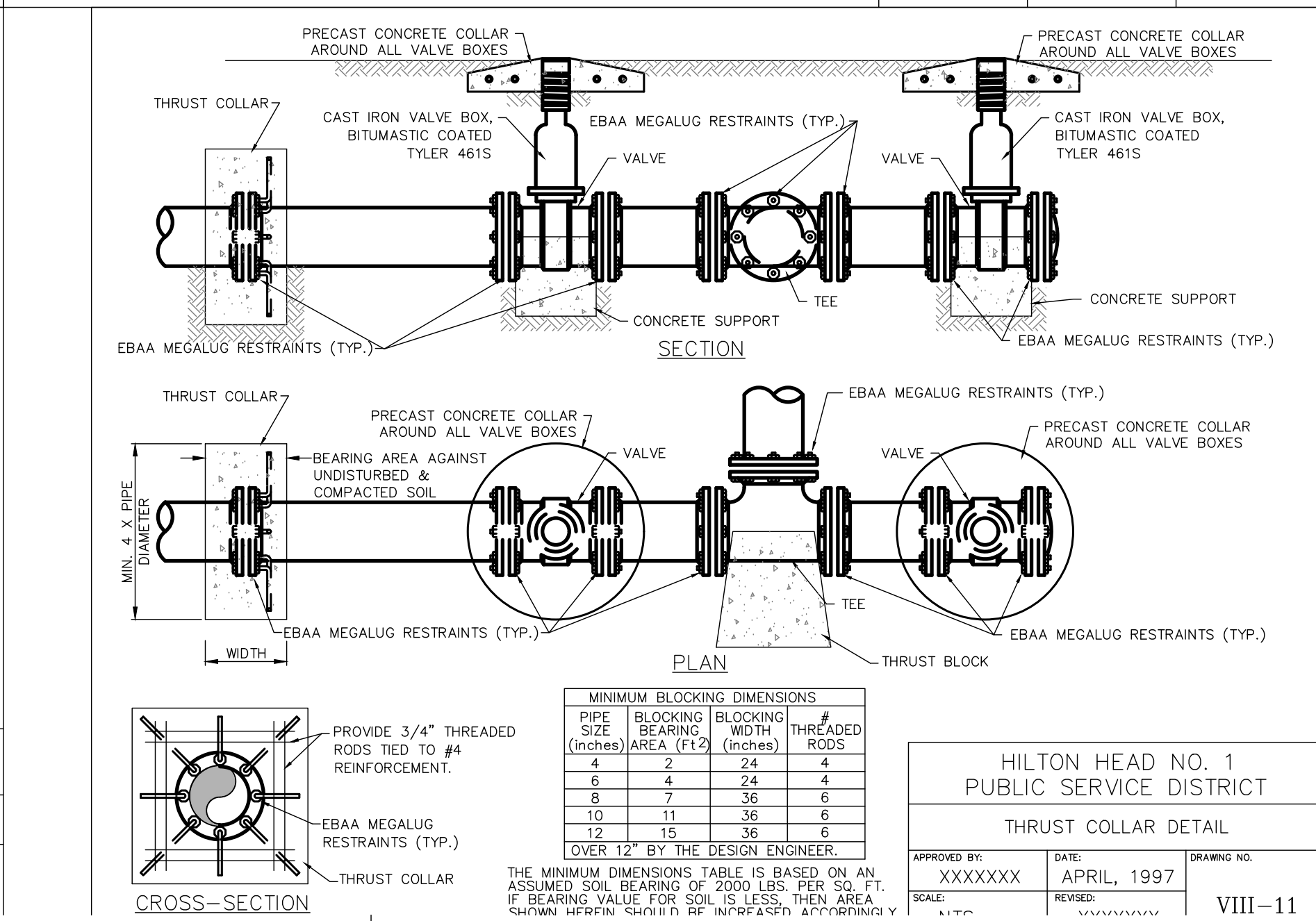
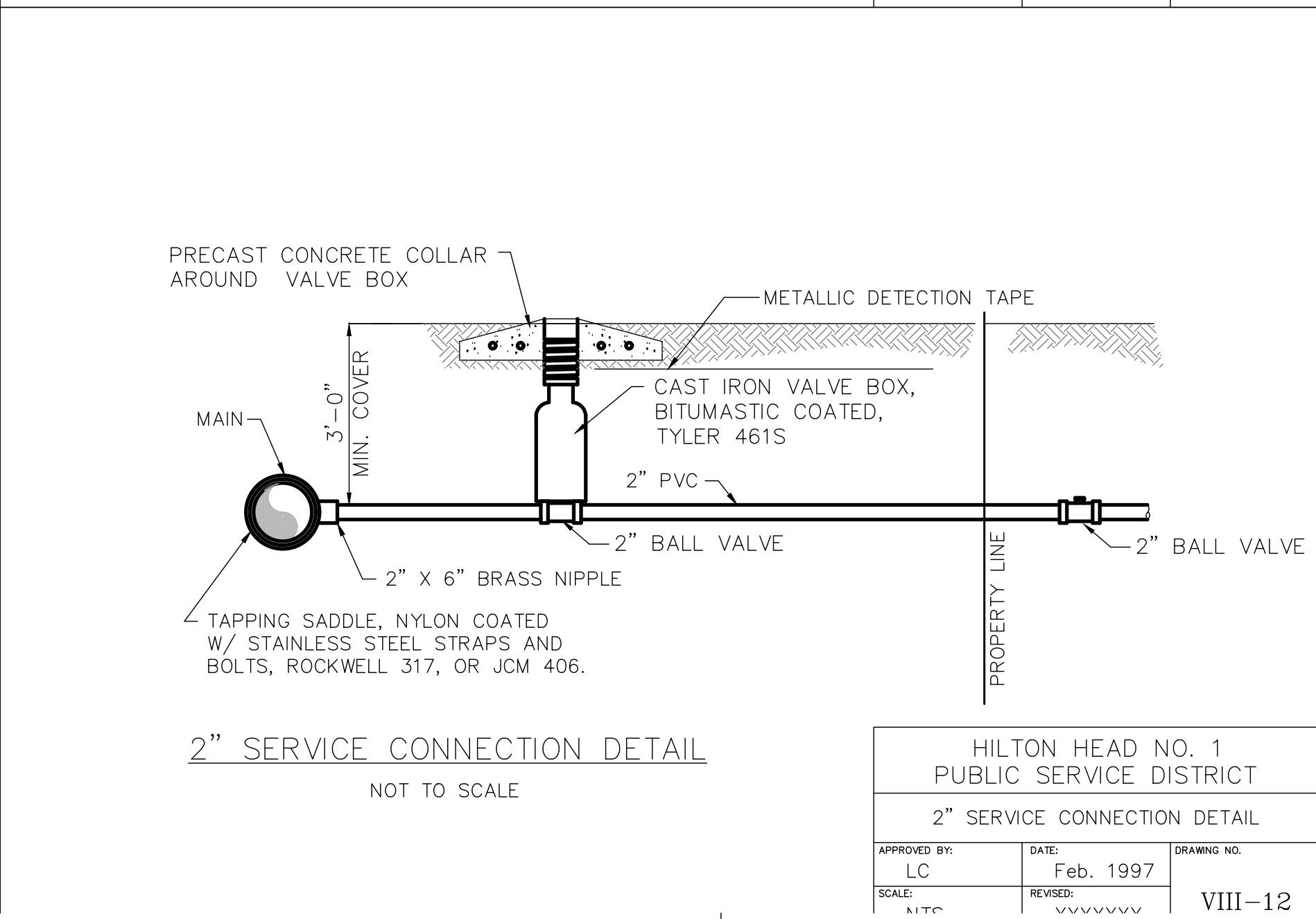
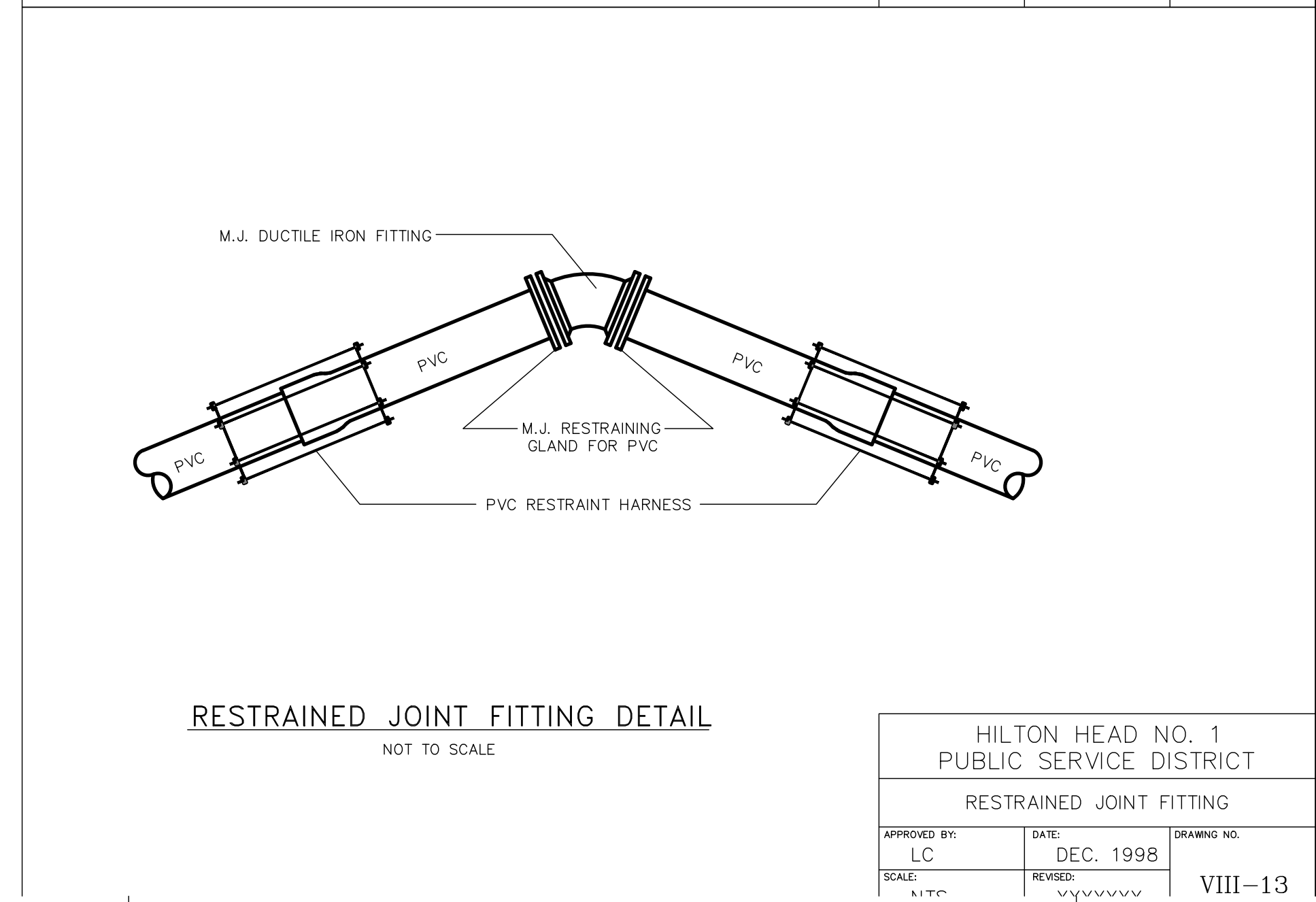
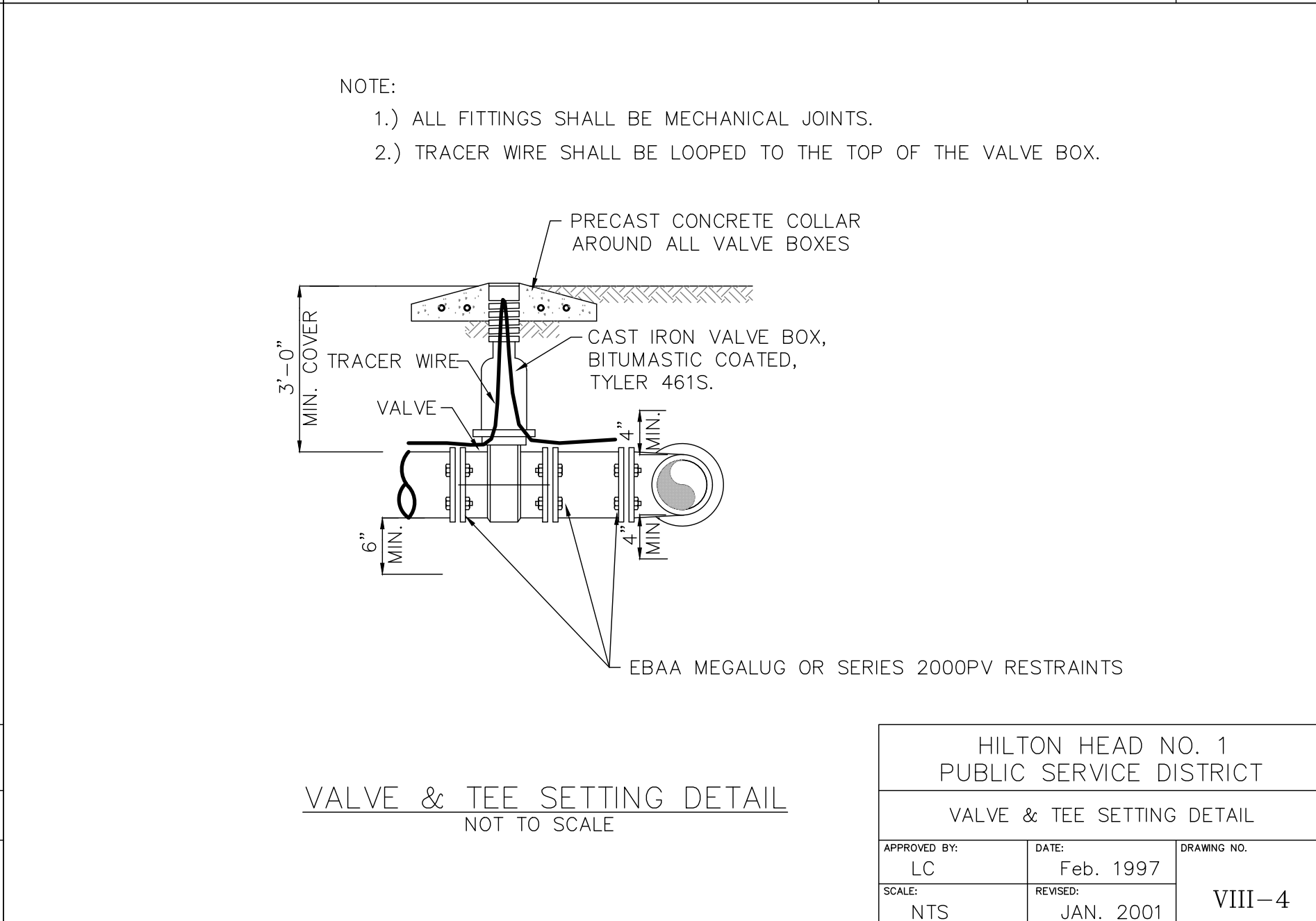
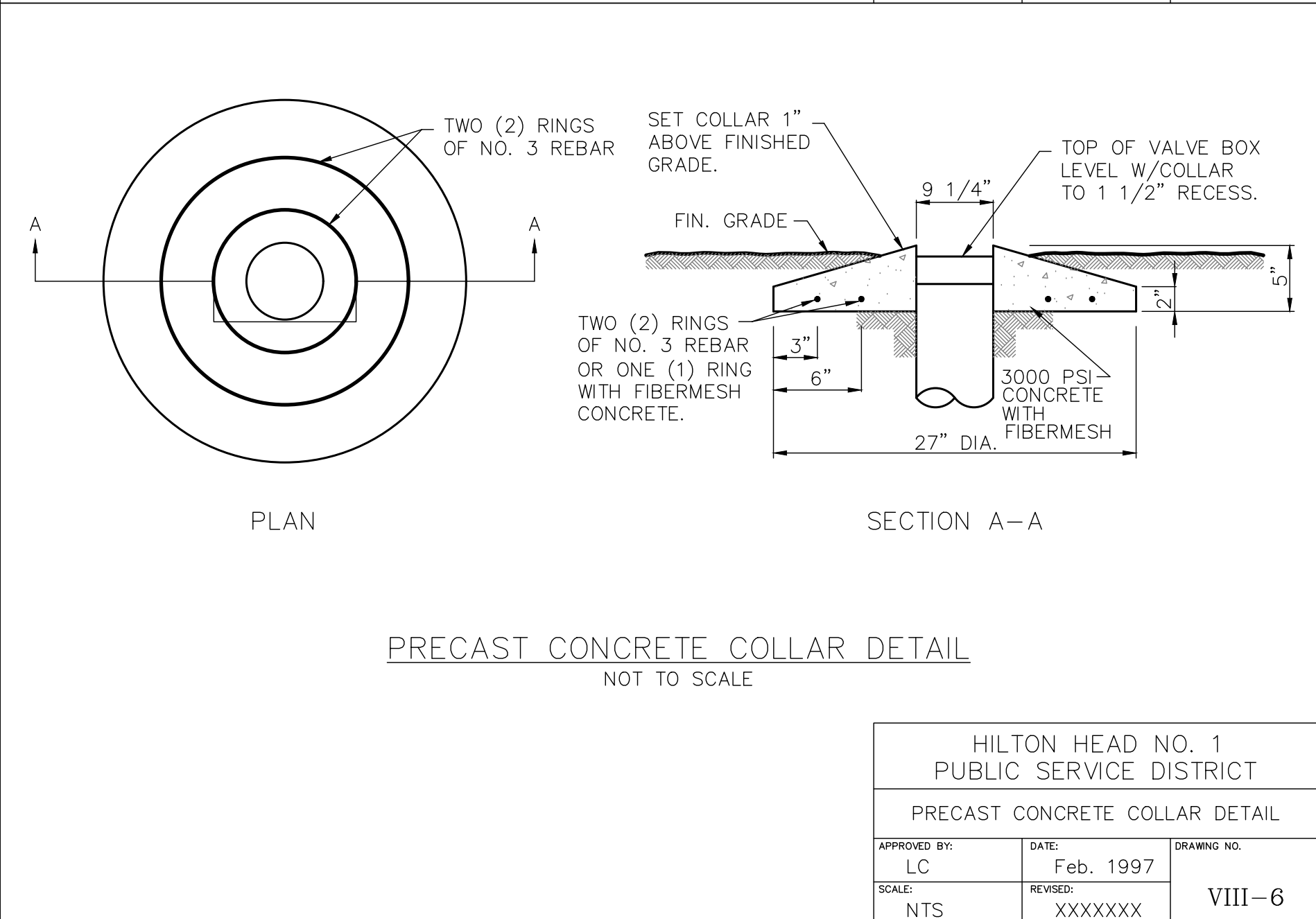
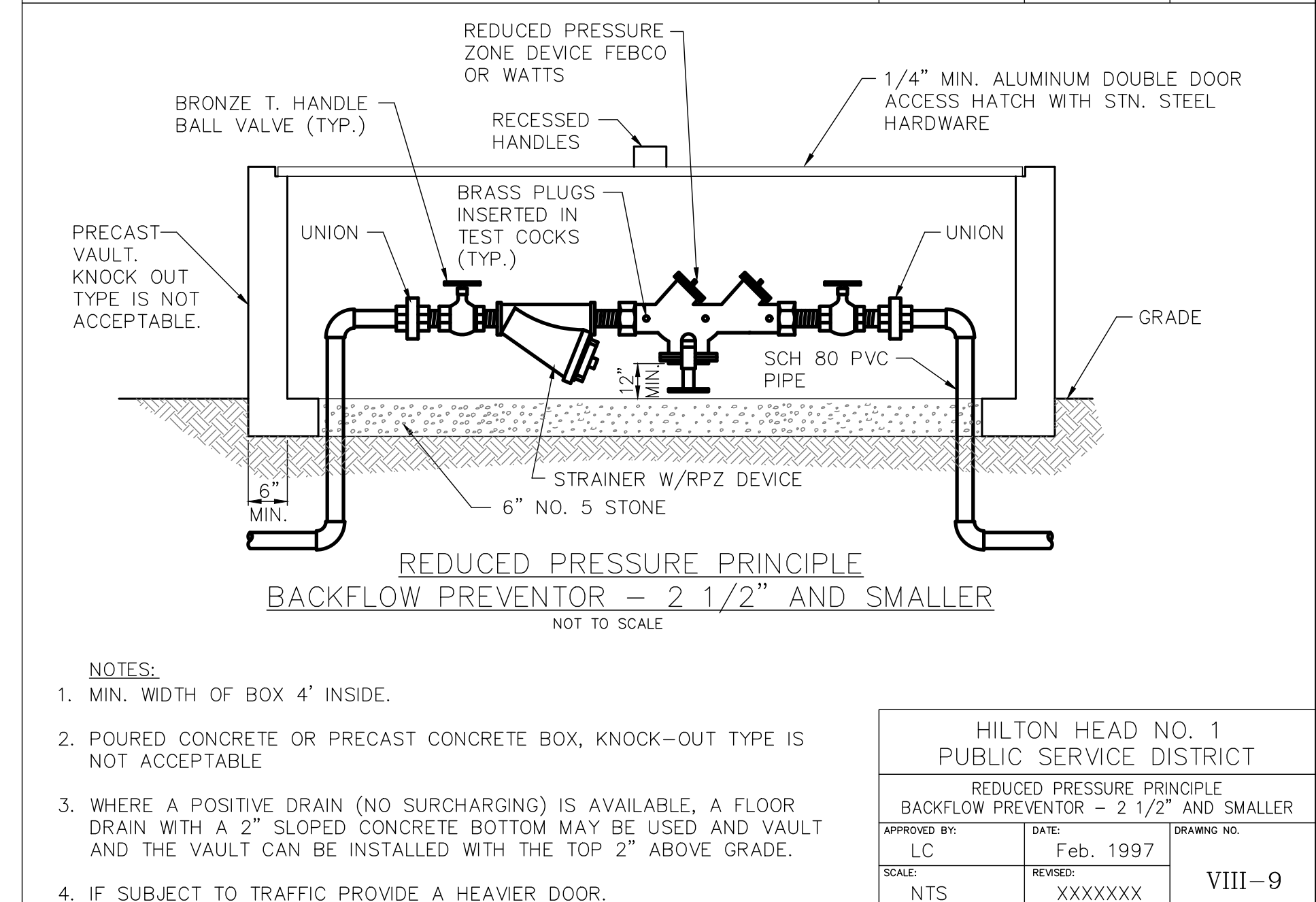
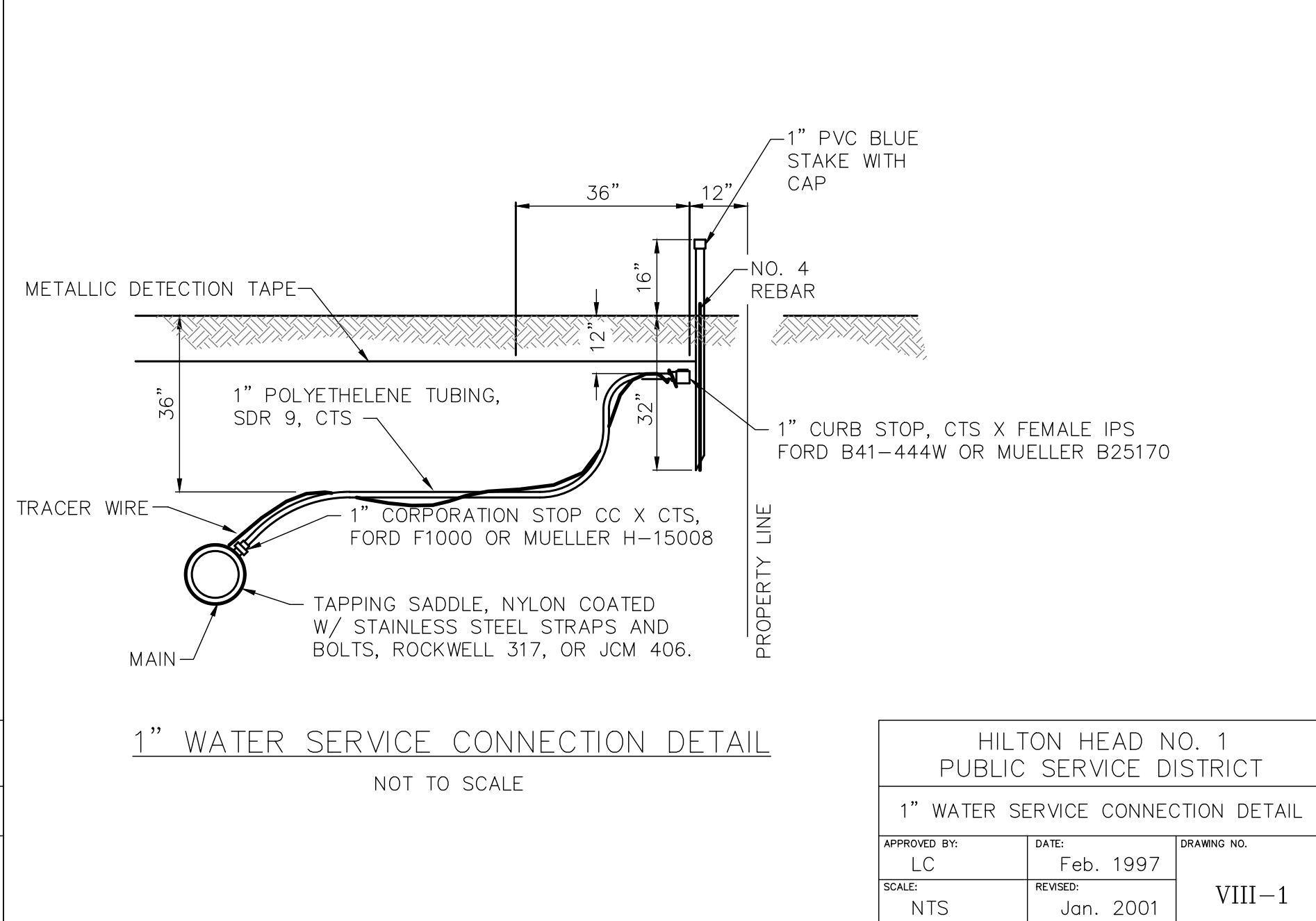
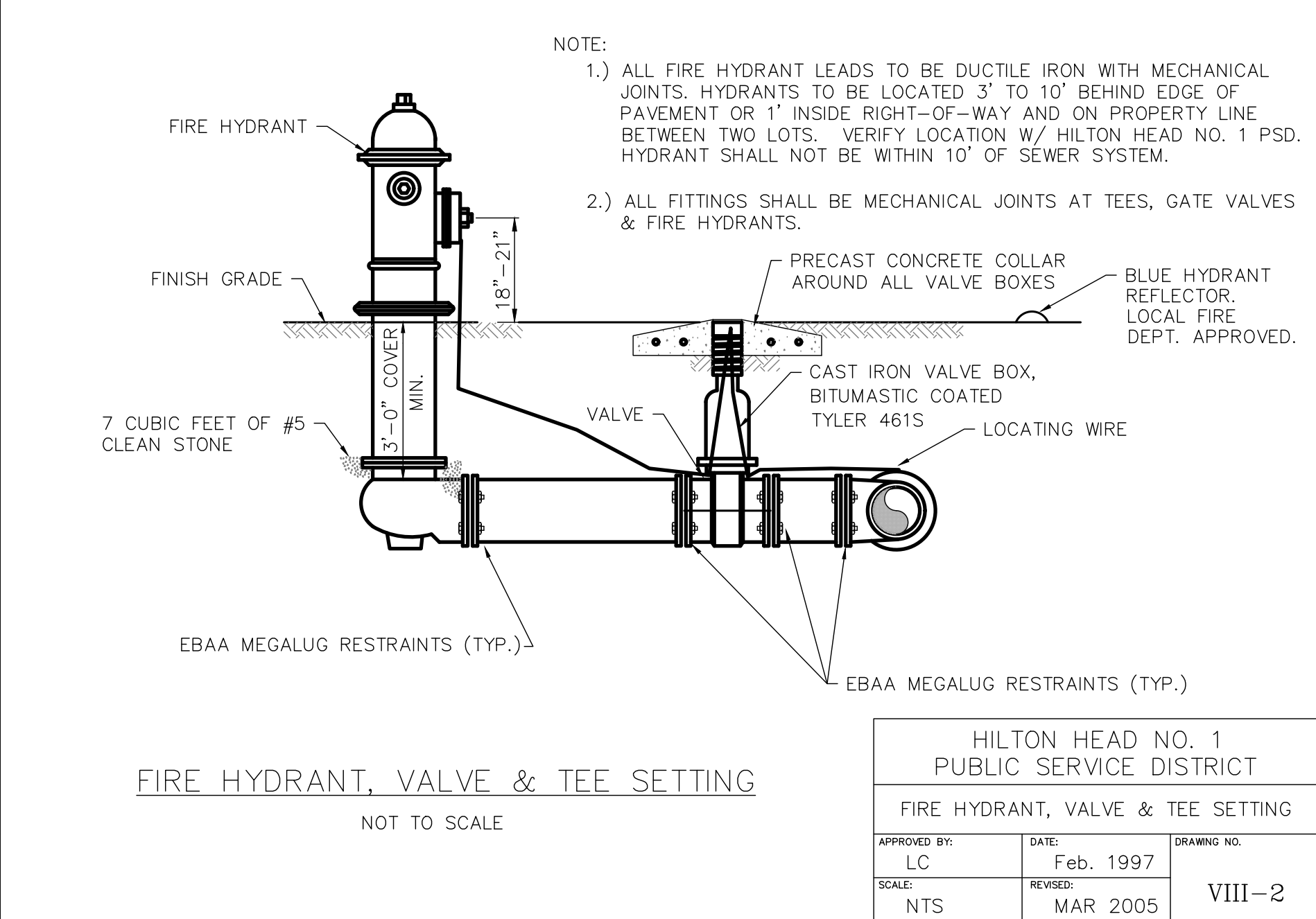
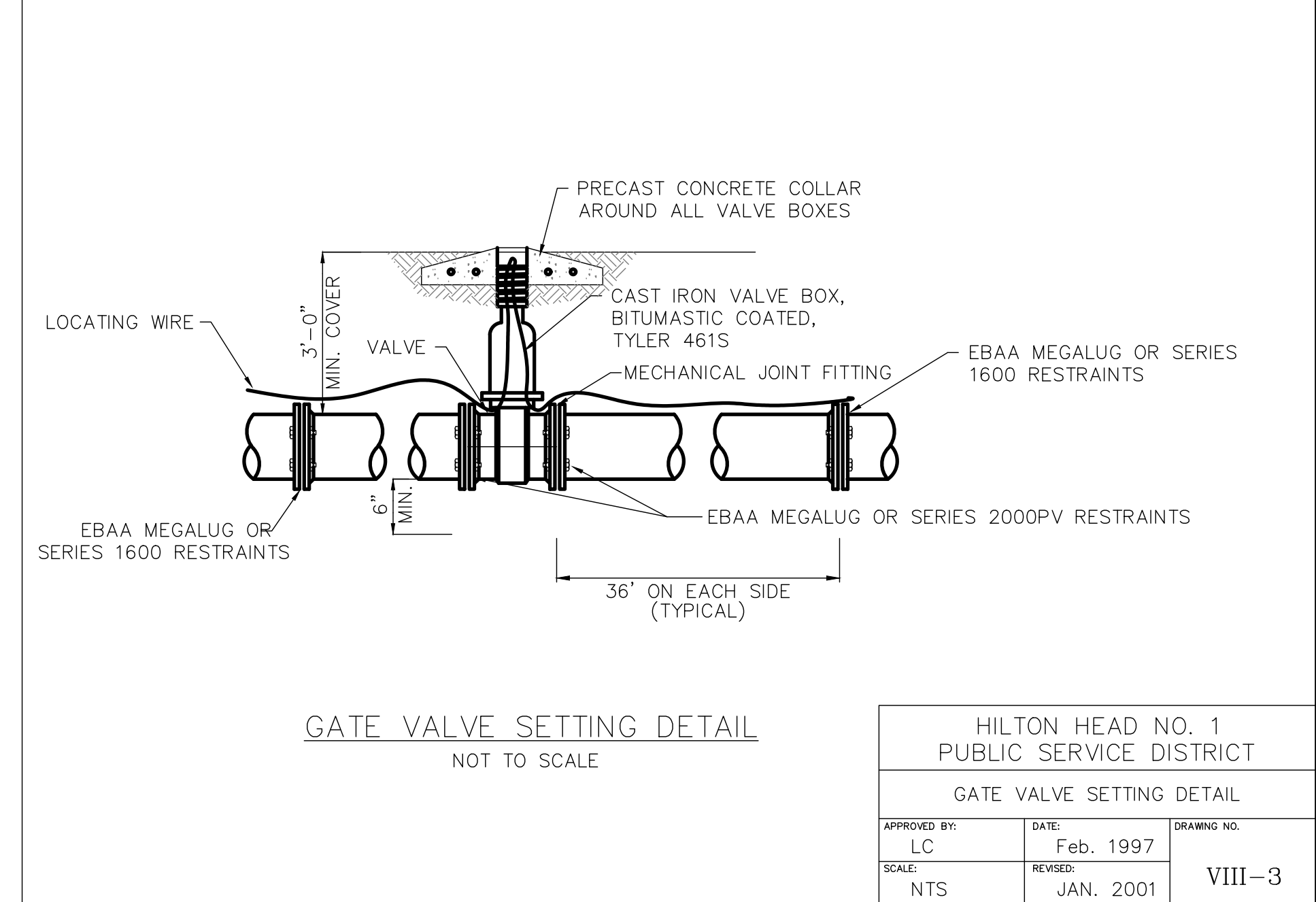
STANDARD FRAME & COVER
NOT TO SCALE

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
STANDARD FRAME AND COVER			
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-9	
SCALE: NTS	REVISED: XXXXXXX		



NOT FOR CONSTRUCTION

CONSULTANT LOGO
SHEET TITLE
SHEET NO.
DATE
DESCRIPTION
BY



BEAUFORT COUNTY SCHOOL DISTRICT

HHIHS - PHASE IIB-ATHLETICS

70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:	NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 07/25/2023
PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: Author

SHEET TITLE:
UTILITY DETAILS

SHEET NO. PROJ. NO.
C503 019593.03

GENERAL SITE PLAN NOTES

1. DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED.
2. PROVIDE TREES, SHRUBS, AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK" PROVIDE HEALTHY VIGOROUS STOCK GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
3. ORGANIC MULCH SHALL BE PINE BARK MINI-NUGGETS AND/OR SHREDDED HARDWOOD FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR GROUNDCOVER.
4. SLOPE ALL SIDEWALKS AND PADS (2% MIN) TO ALLOW FOR POSITIVE DRAINAGE.

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**A1
A011** NEW FIELD HOUSE FLOOR PLAN
1/16" = 1'-0"

THIS PLAN SUPERSEDES THE SITE PLAN ISSUED IN PHASE IIA

BEAUFORT COUNTY SCHOOL DISTRICT
 HHS - PHASE II- ATHLETICS
 70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

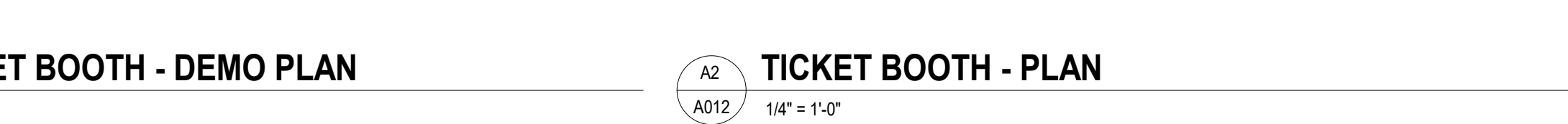
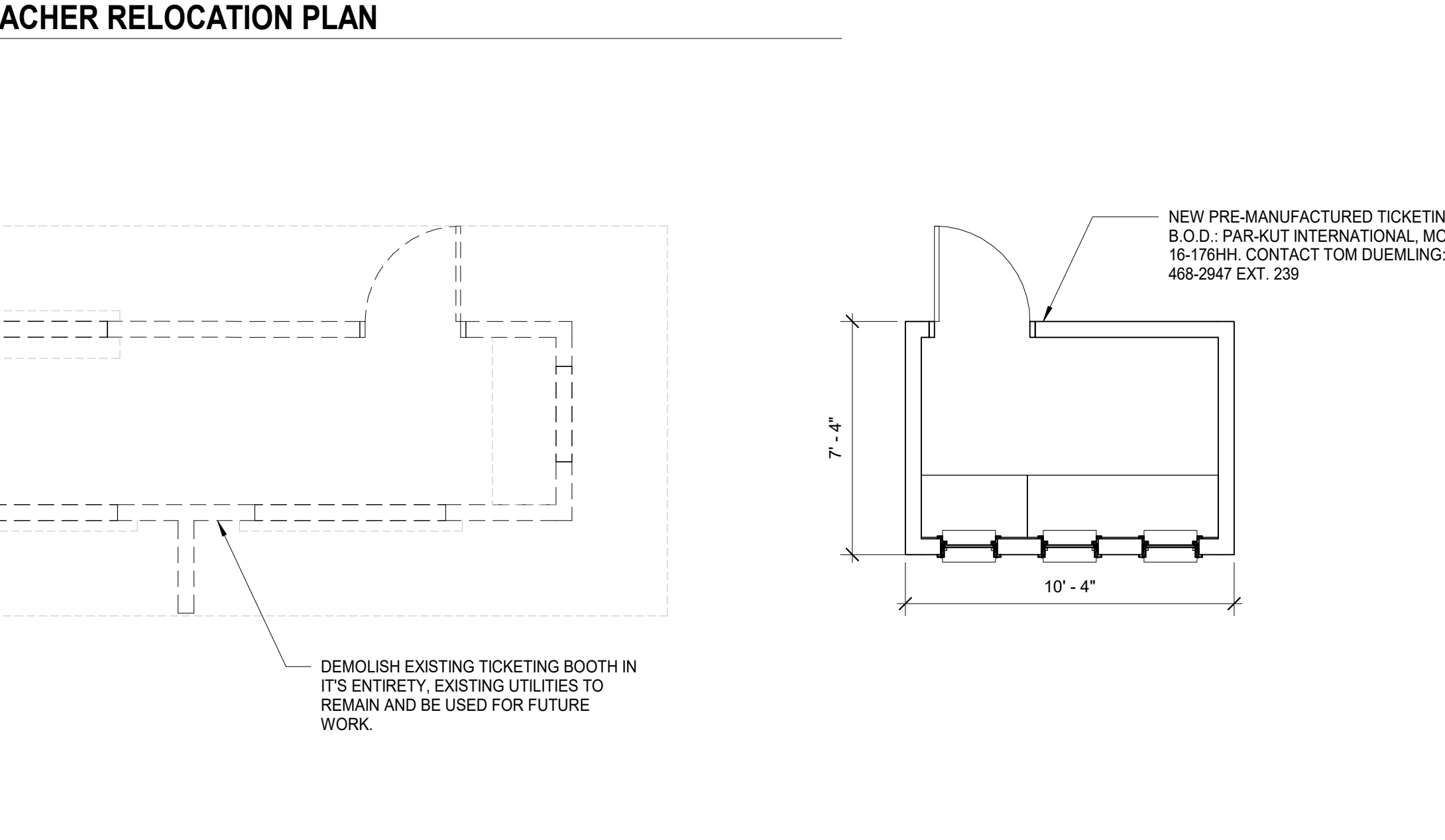
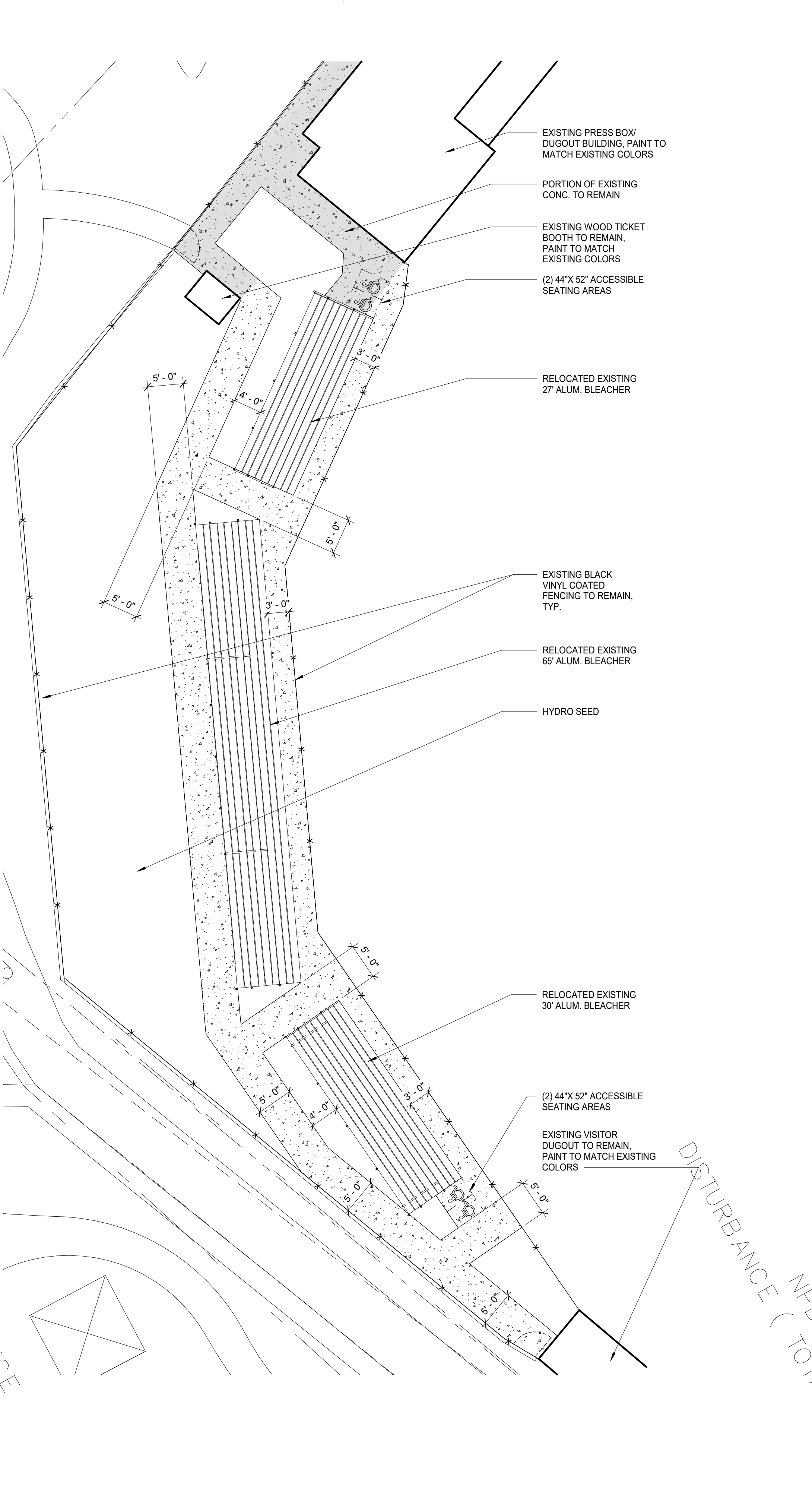
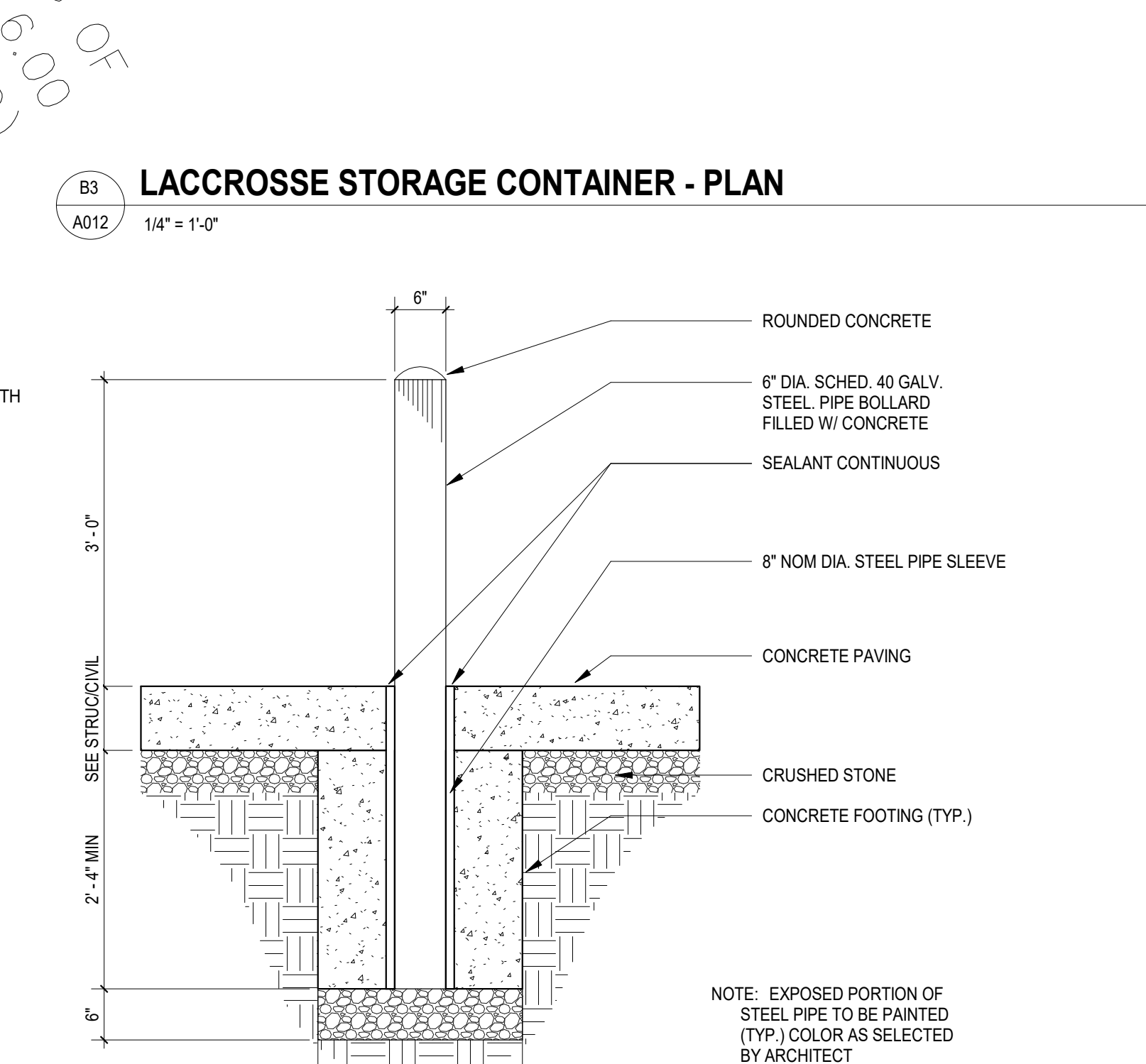
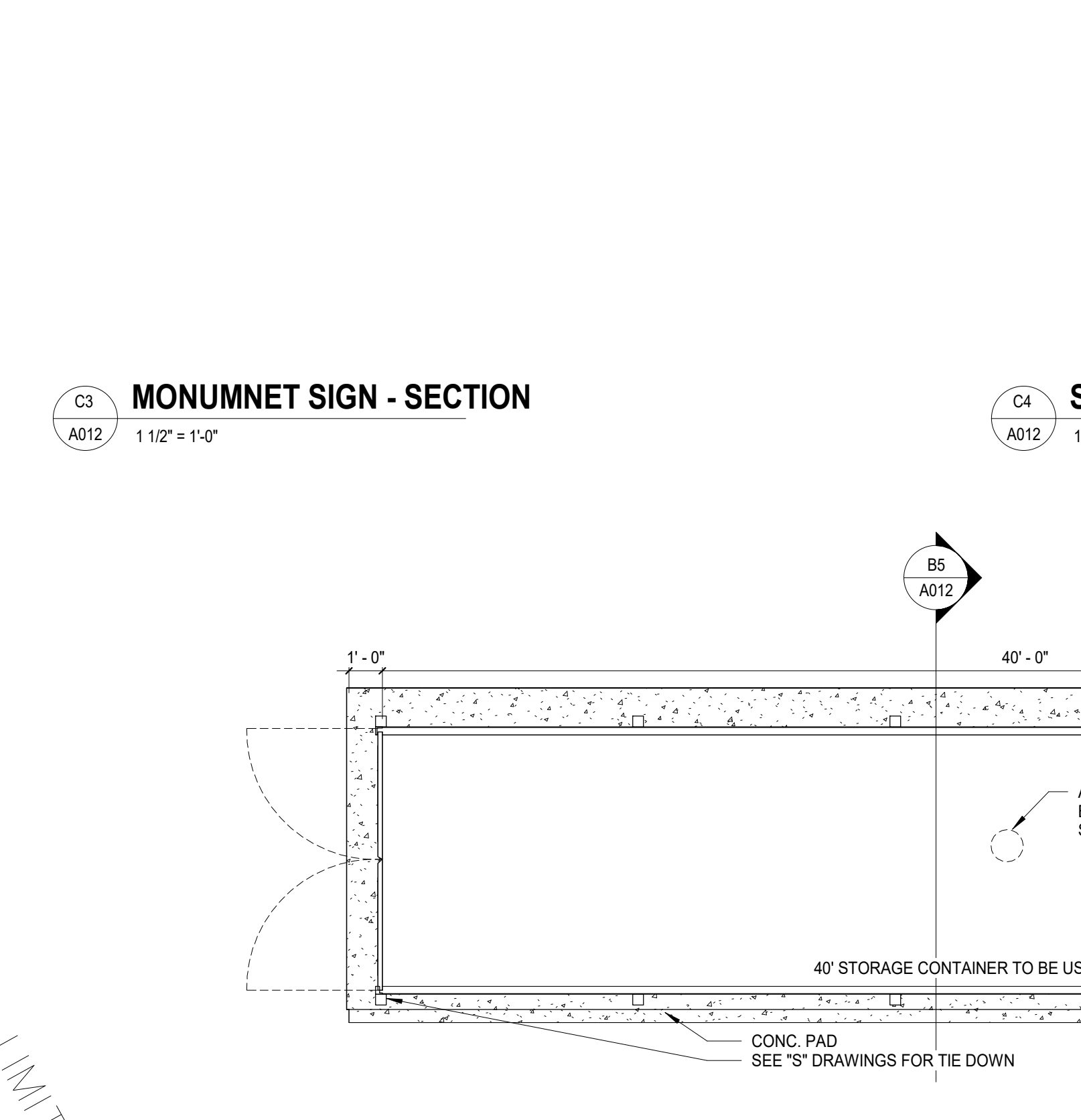
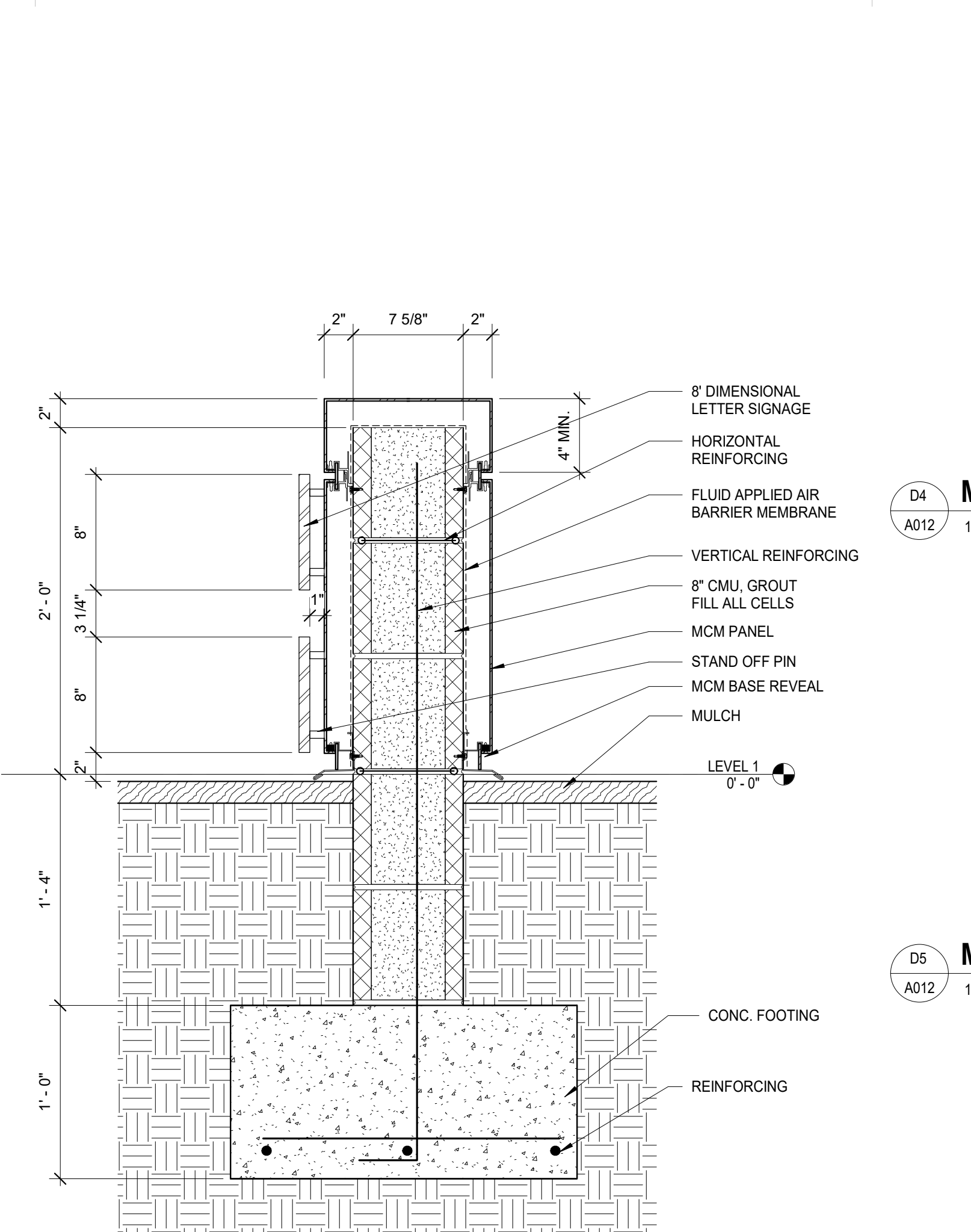
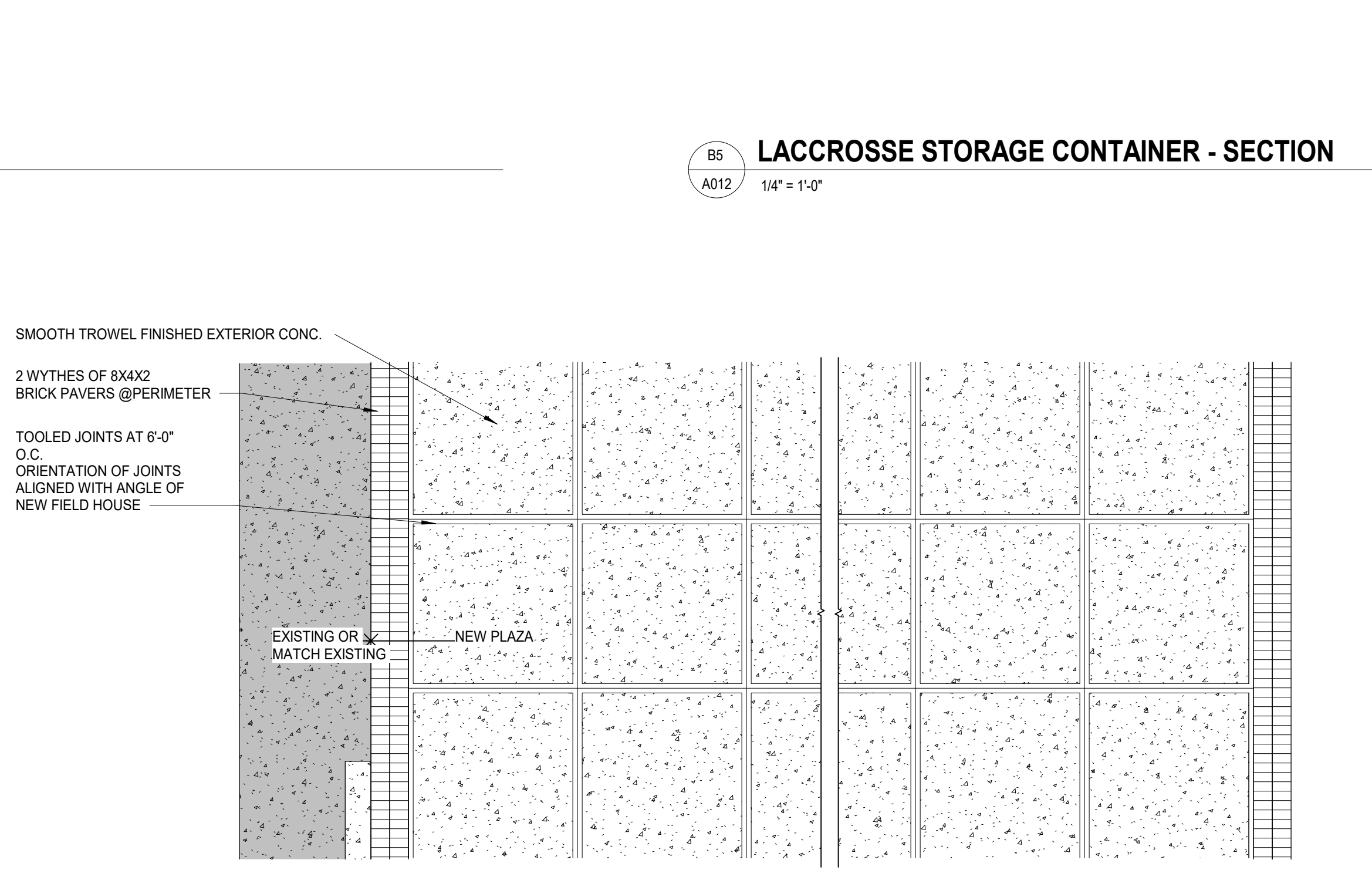
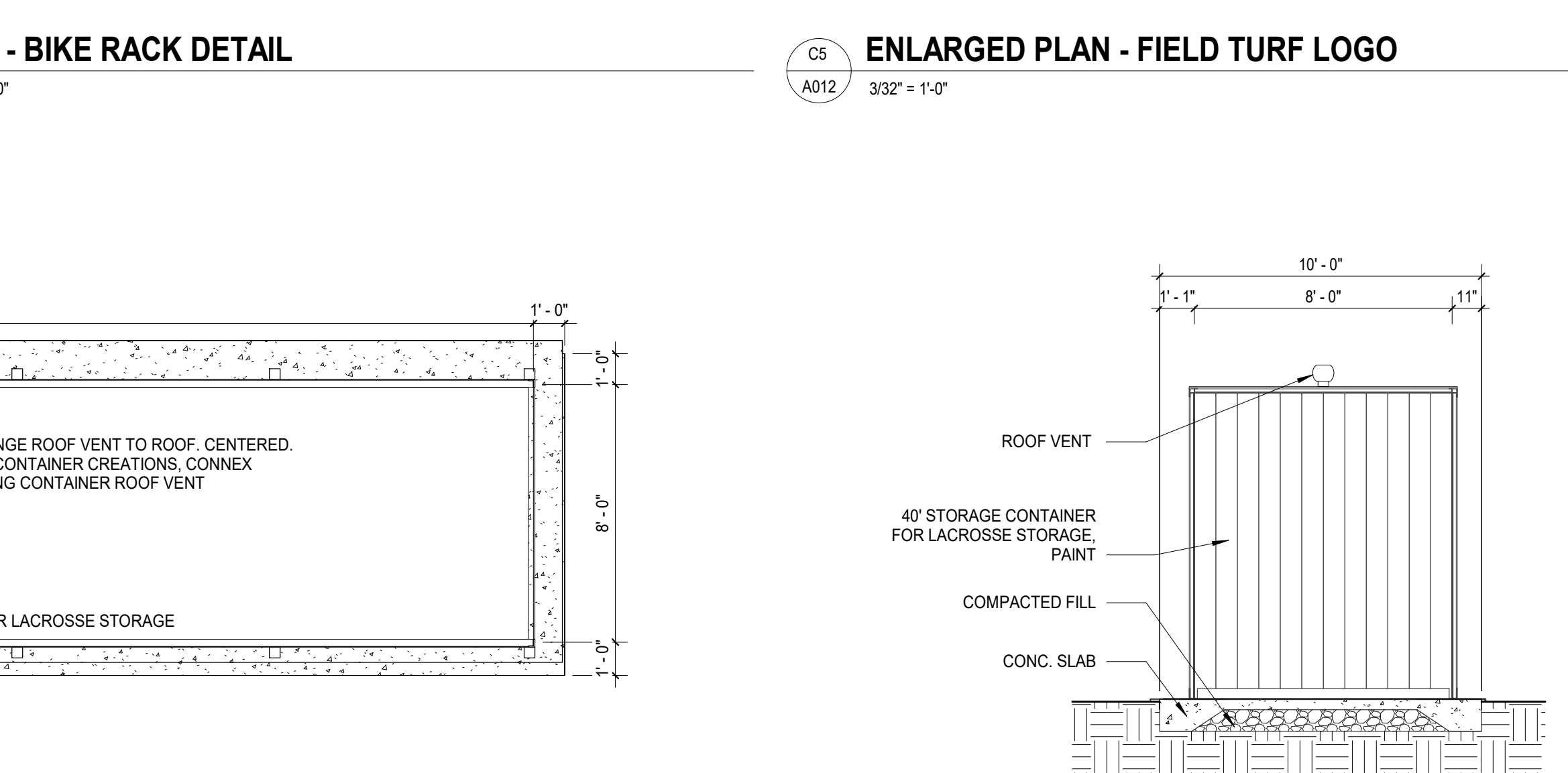
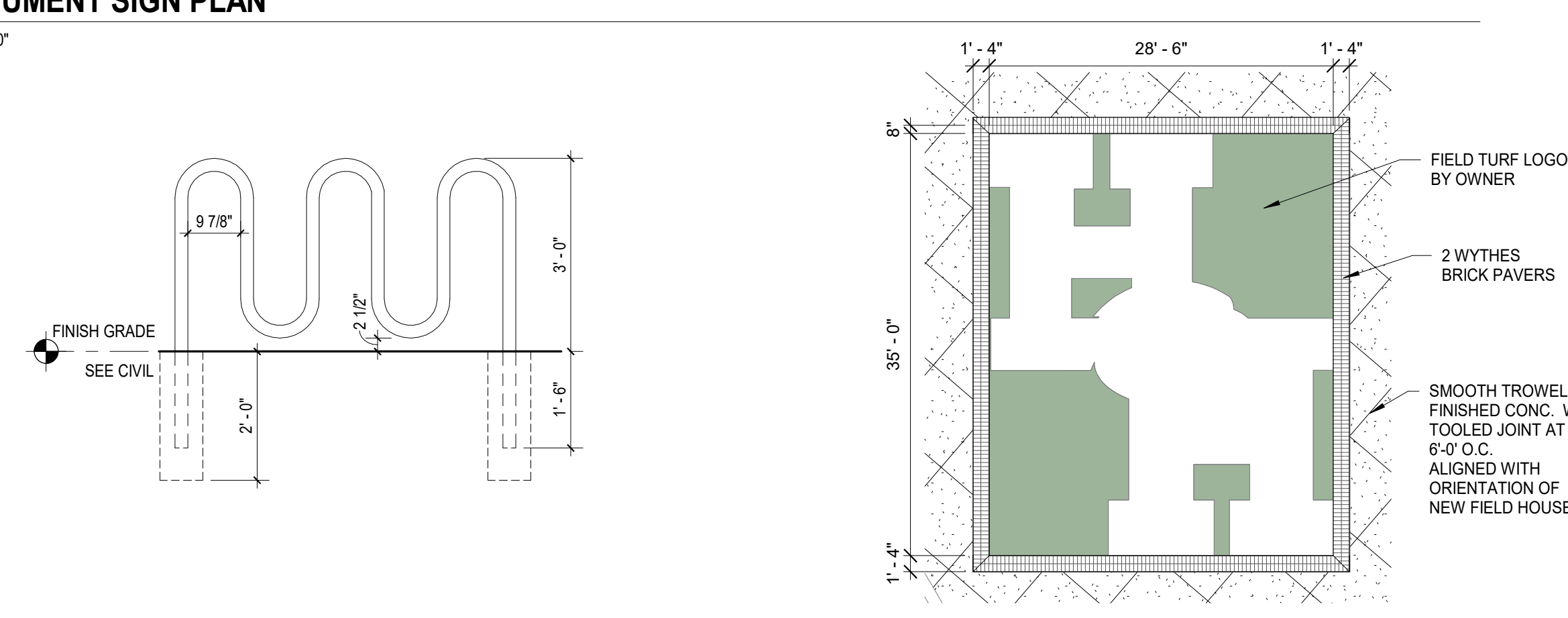
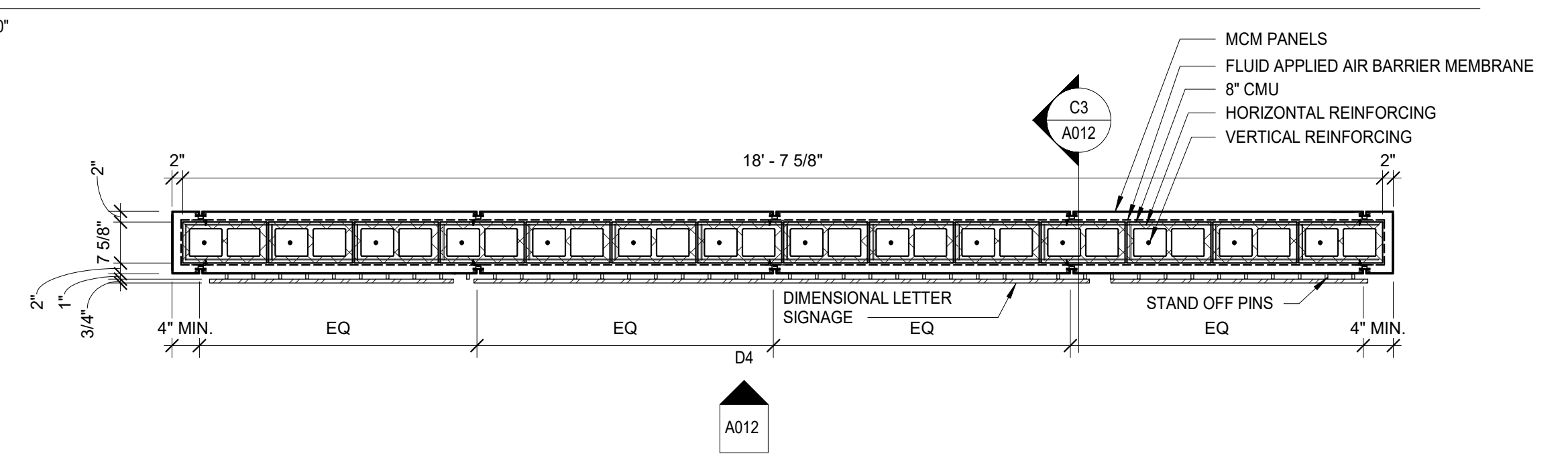
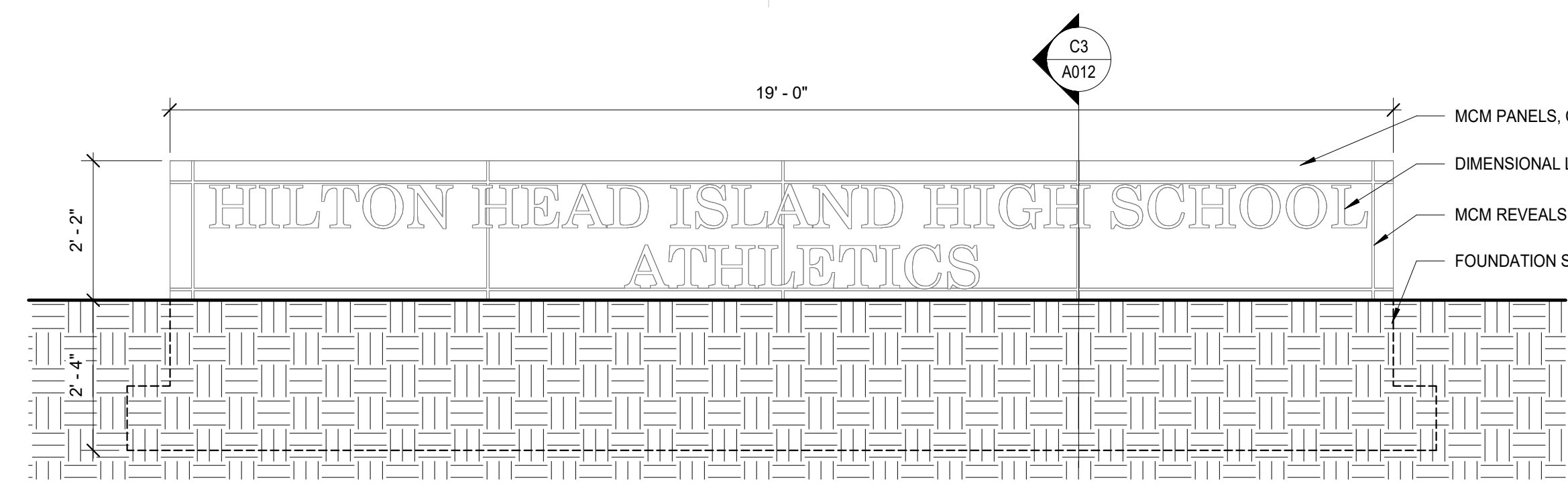
SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
1	06/16/2023	ASI #01 PHASE IIB	
2	07/25/2023	PR #01 PHASE IIB	

CONSTRUCTION DOCUMENTS 05/05/2023
 PRINCIPAL IN CHARGE: MS
 PROJECT ARCHITECT: MS
 DRAWN BY: AH

SHEET TITLE:
SITE PLAN - PHASE IIB

SHEET NO. PROJ. NO.
 019993.03

A011



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DISTURBANCE (TOTAL = 6.00 AC)
 NPDES LIMITS OF (AC)

1

2

3

4

5

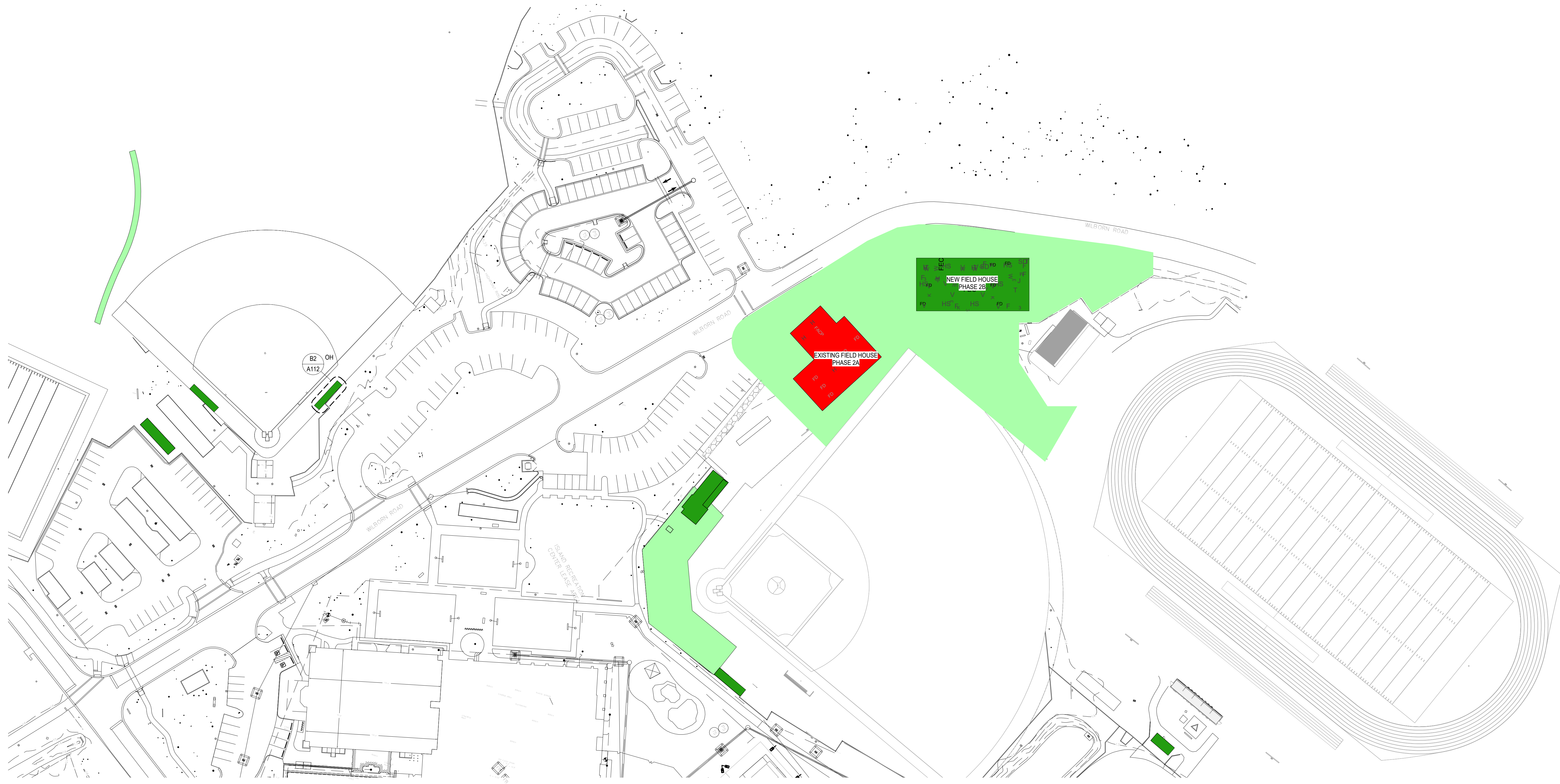
CONSULTANT LOGO

SEALS

PHASING LEGEND

- PHASE 2A
- PHASE 2B - ARCHITECTURAL
- PHASE 2B - CIVIL

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A1 OVERALL PHASING PLAN
1" = 50'-0"

BEAUFORT COUNTY SCHOOL DISTRICT

HHS - PHASE II- ATHLETICS

 70 WILBORN ROAD HILTON HEAD ISLAND, SC 29926

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

CONSTRUCTION DOCUMENTS 02/15/2023
 PRINCIPAL IN CHARGE: MS
 PROJECT ARCHITECT: MS
 DRAWN BY: AH

SHEET TITLE:
PHASING PLAN

SHEET NO. PROJ. NO.
 A020 019593.03

A020

1

2

3

4

5

NO.	DATE	DESCRIPTION	BY
1	06/16/2023	ASI #01 PHASE IIB	
2	07/25/2023	PR #01 PHASE IIB	

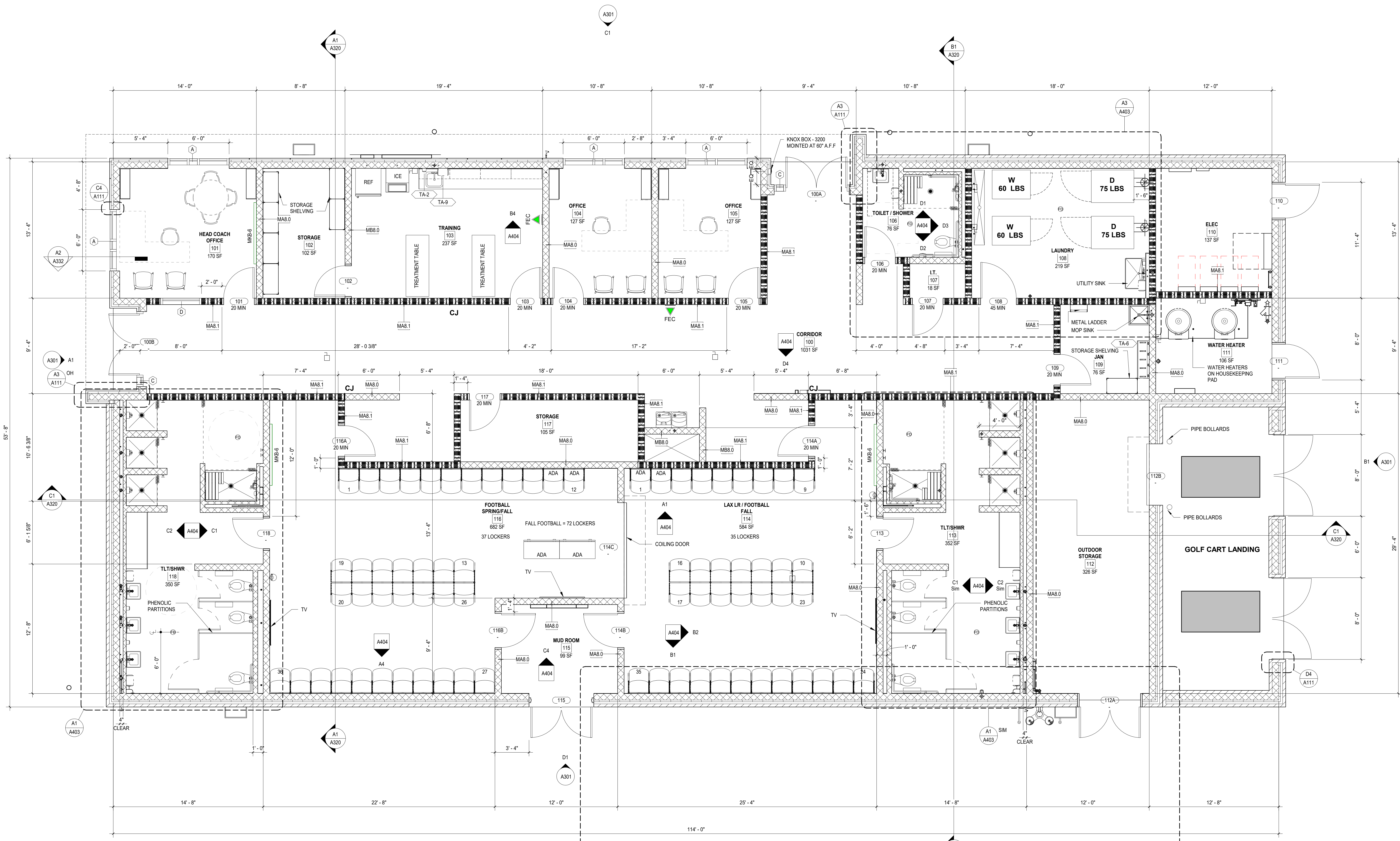
CONSTRUCTION DOCUMENTS 05/05/2023

PRINCIPAL IN CHARGE: MS
PROJECT ARCHITECT: MS
DRAWN BY: AH

SHEET TITLE:
NEW FLOOR PLAN

SHEET NO. PROJ. NO.
019593.03

PROJECT NORTH
A110



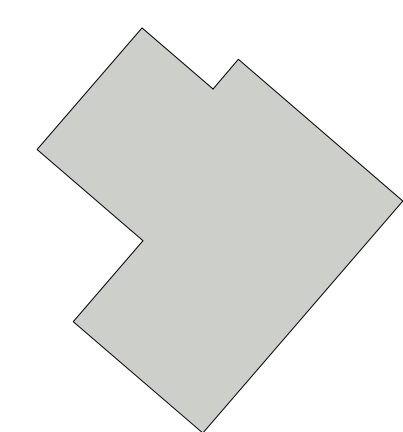
FLOOR PLAN NOTES

- A. PLAN DIMENSIONS ARE TO FACE OF STUD, CMU OR FINISH FACE OF EXISTING WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
- B. DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AS A MINIMUM, AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES.
- C. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED TO THE EXACT DIMENSION, ACCOUNTING FOR THICKNESSES OF ALL WALL FINISHES.
- D. FURNITURE SHOWN IS FOR REFERENCE PURPOSES ONLY, UNO.
- E. SEE THE OTHER DISCIPLINE'S DRAWINGS FOR THE LIMITS OF THE NEW CONSTRUCTION AND RENOVATION FOR THEIR DISCIPLINE.
- F. THE AREA OF WORKSHOWN ON THE ARCHITECT'S NEW CONSTRUCTION FLOOR PLANS APPLY ONLY TO THE LIMITS OF THE ARCHITECTURAL NEW CONSTRUCTION AND RENOVATION. REFER TO OTHER DISCIPLINE'S DRAWINGS FOR ANY AREAS OF WORK NOT SHOWN ON ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL PERFORM NEW WORK IN THESE AREAS AS SHOWN AND RETURN FINISHES TO MATCH EXISTING CONSTRUCTION.

OUTDOOR WORKOUT AREA
EQUIPMENT BY OWNER
ALTERNATE #2

KEY PLAN

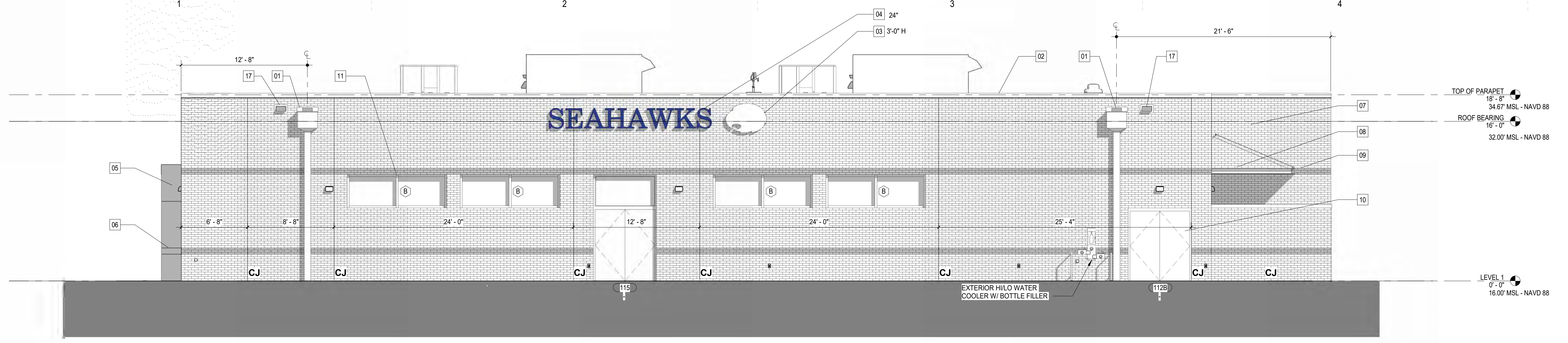
AREA 1
PHASE 2B



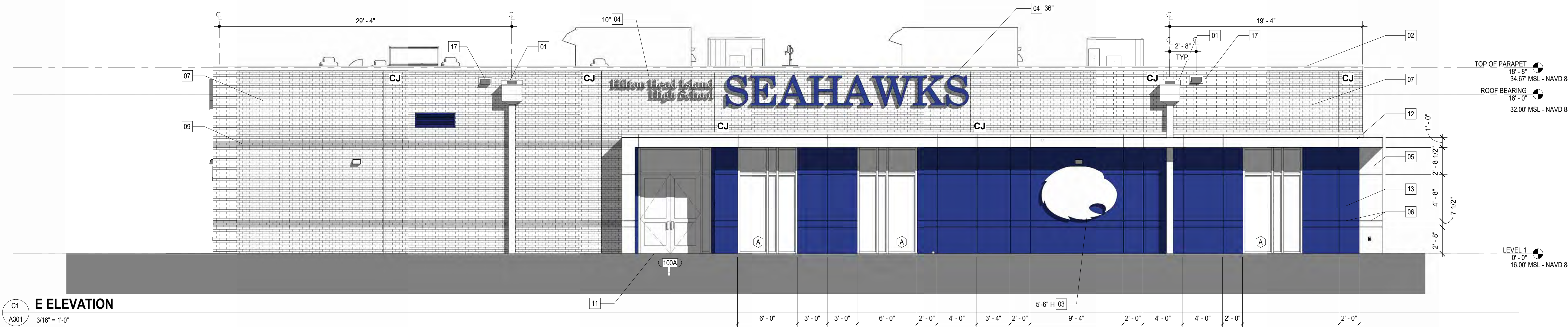
SHEET KEYNOTES

A200 NOTE BLOCK	
Sheet Note Number	Description
01	SCUPPER AND DOWN SPOUT WITH CONDUCTOR HEAD
02	COPING CAP
03	SIGNAGE
04	DIMENSIONAL LETTER SIGNAGE
05	MCM PANELS (COLOR 1) LIGHT BROWN SANDED
06	MCM REVEALS
07	BRICK VENEER (COLOR 1)
08	PREMANUFACTURED METAL CANOPY
09	BRICK VENEER REVEAL (COLOR 2) LIGHT BROWN WIRECUT
10	COLING DOOR
11	STOREFRONT
12	MCM CANOPY
13	MCM PANELS (COLOR 2)
14	CHAIN LINK GATE WITH PRIVACY SLATS
15	CAST STONE
16	FIXED LOUVER
17	ROOF OVERFLOW

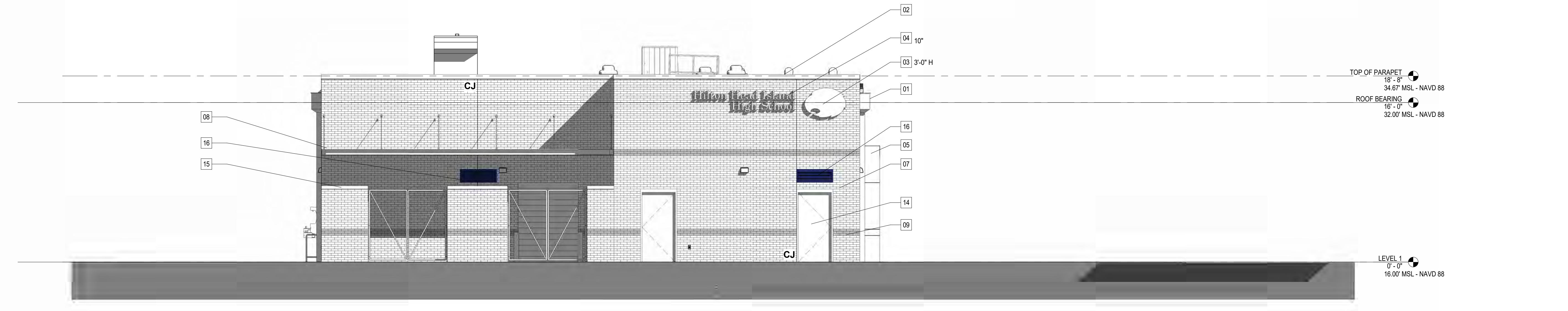
1. ALL DIMENSIONAL LETTER SIGNAGE, LANGUAGE, FONT AND COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.



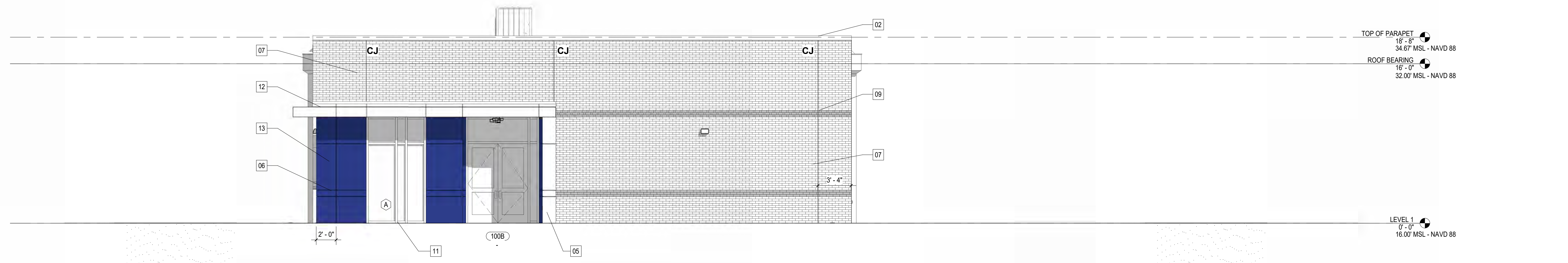
W ELEVATION
D1
A301 3/16" = 1'-0"



E ELEVATION
C1
A301 3/16" = 1'-0"

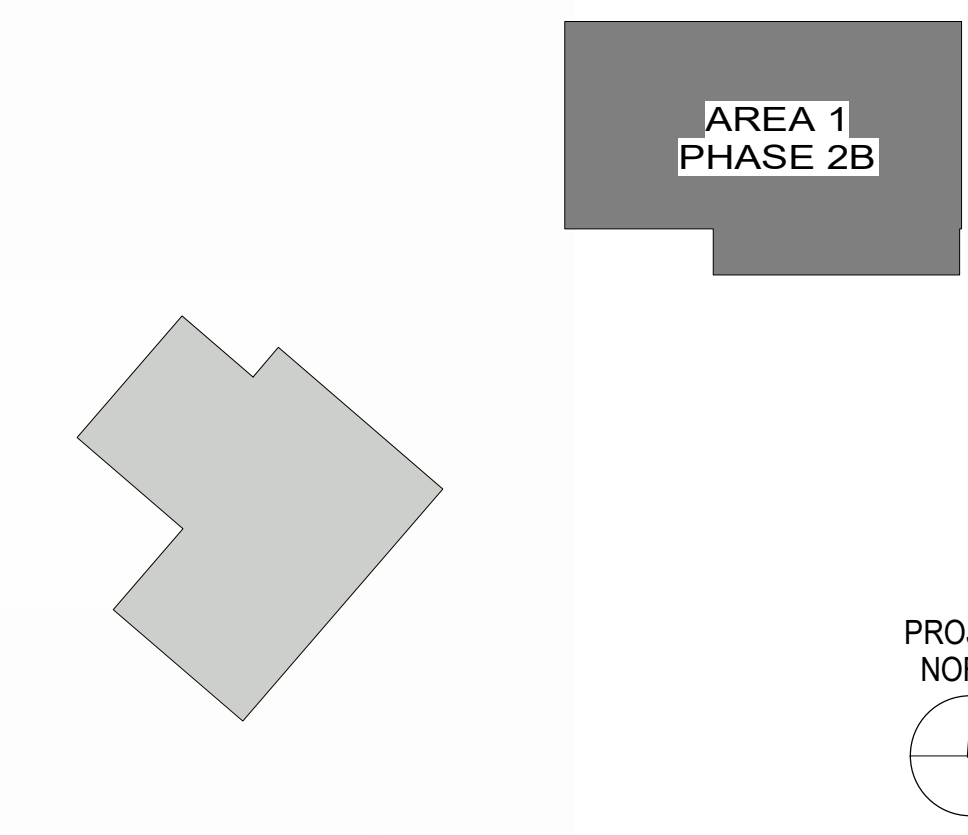


S ELEVATION
B1
A301 3/16" = 1'-0"



N ELEVATION
A1
A301 3/16" = 1'-0"

KEY PLAN



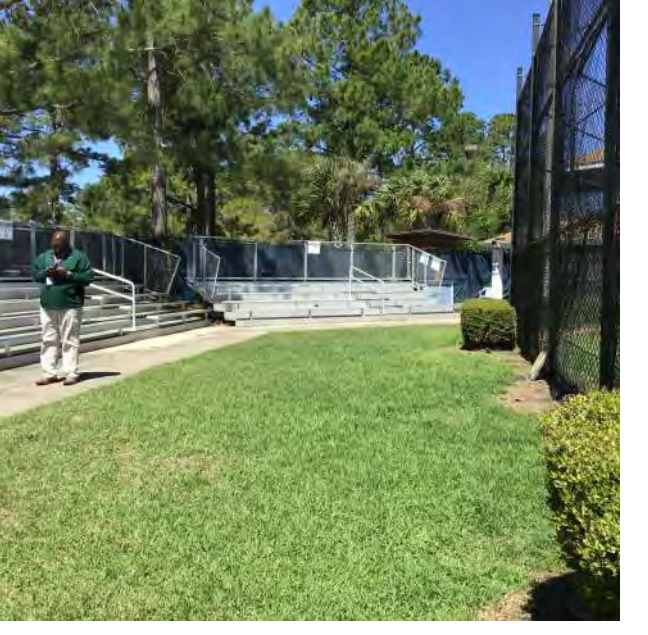
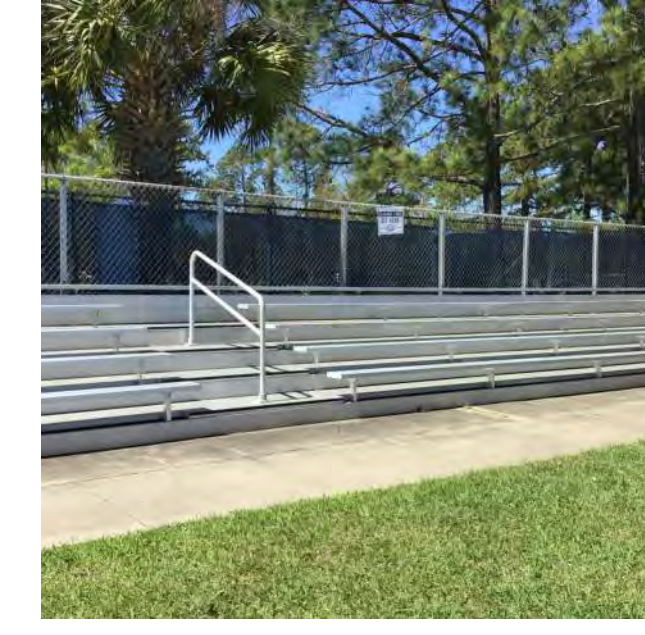
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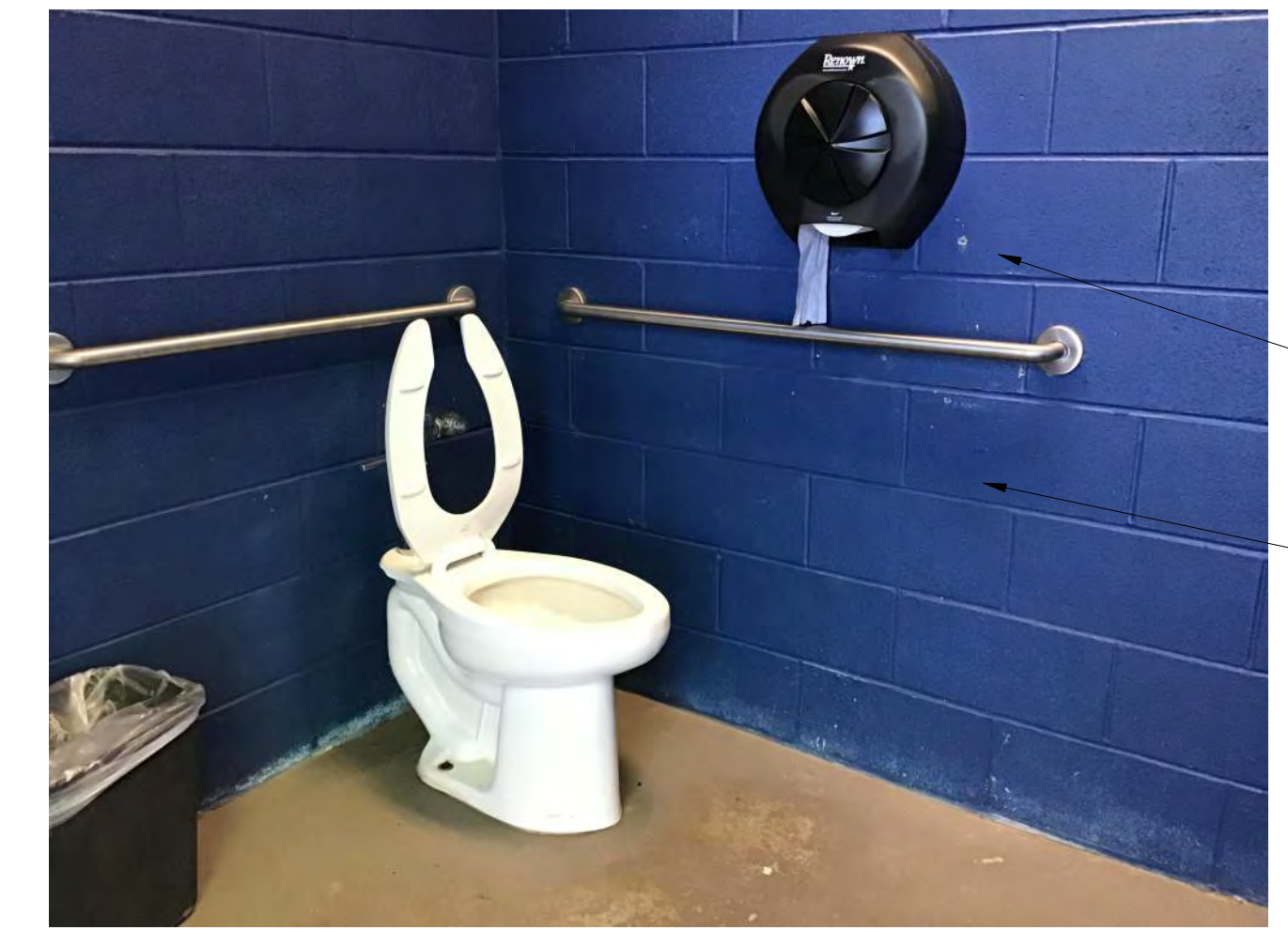


Adjust existing baseball bleachers closer to the baseball field and maintain 3' concrete path affort of the bleacher

Move existing fence behind bleachers to accommodate 5' path between adjusted bleacher location and fence



Baseball Field Stands



Add vertical grab bar for both men and women's restrooms

Adjust toilet paper dispenser to below grab bar to meet ADA requirements

Baseball Press Box Restrooms



provide new electrical, communications, & sound system for softball facility

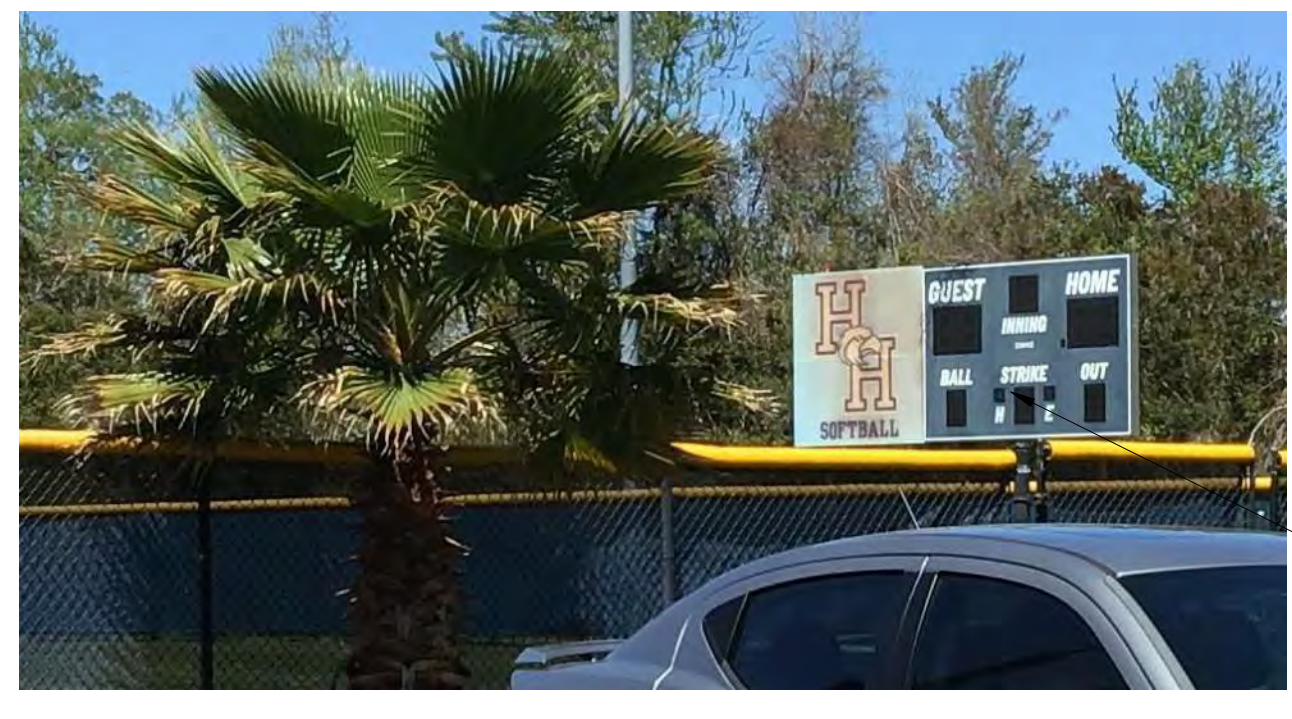
Install 4' wide path between soccer and lacrosse field

Install 42'x 10' concrete pad with new 40' storage container. Paint, color to be determined by Owner and Architect.

Install 4' tall black vinyl coated fence enclosure

New softball dugouts, reference A112

Lacrosse Field



Replace existing scoreboard
Match existing size and color,
remove rust from existing structural steel
supports, paint, and trim brush back from
location to allow room to perform work.

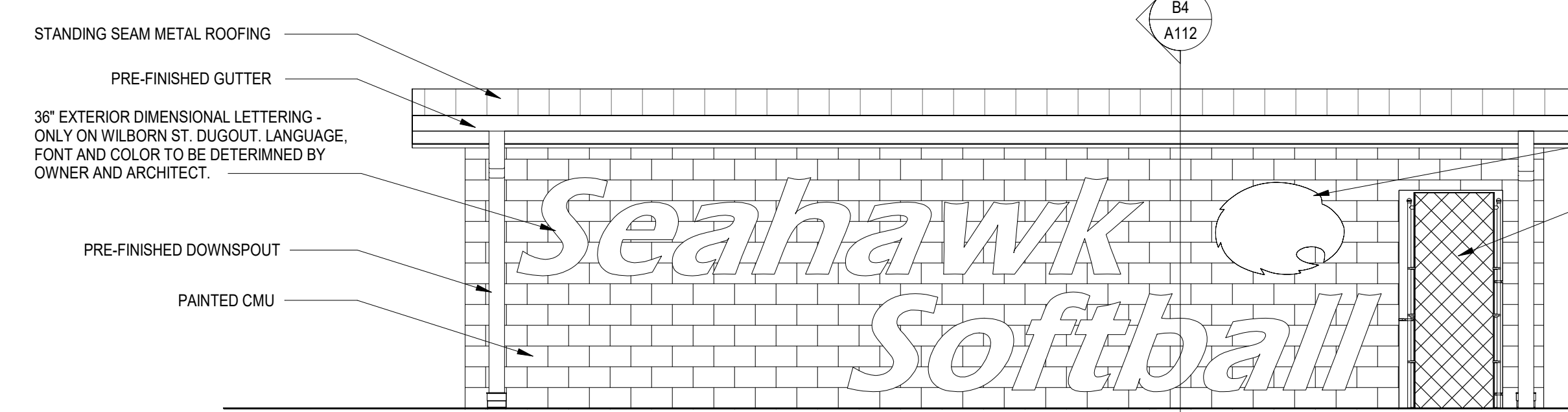
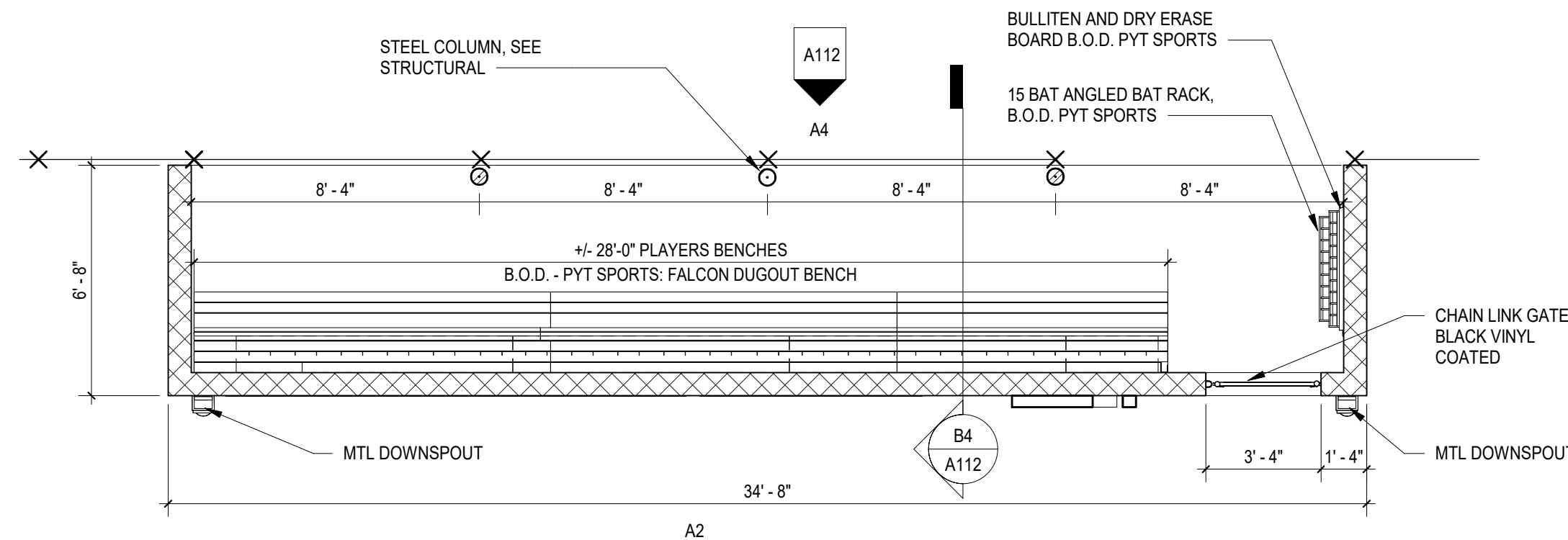
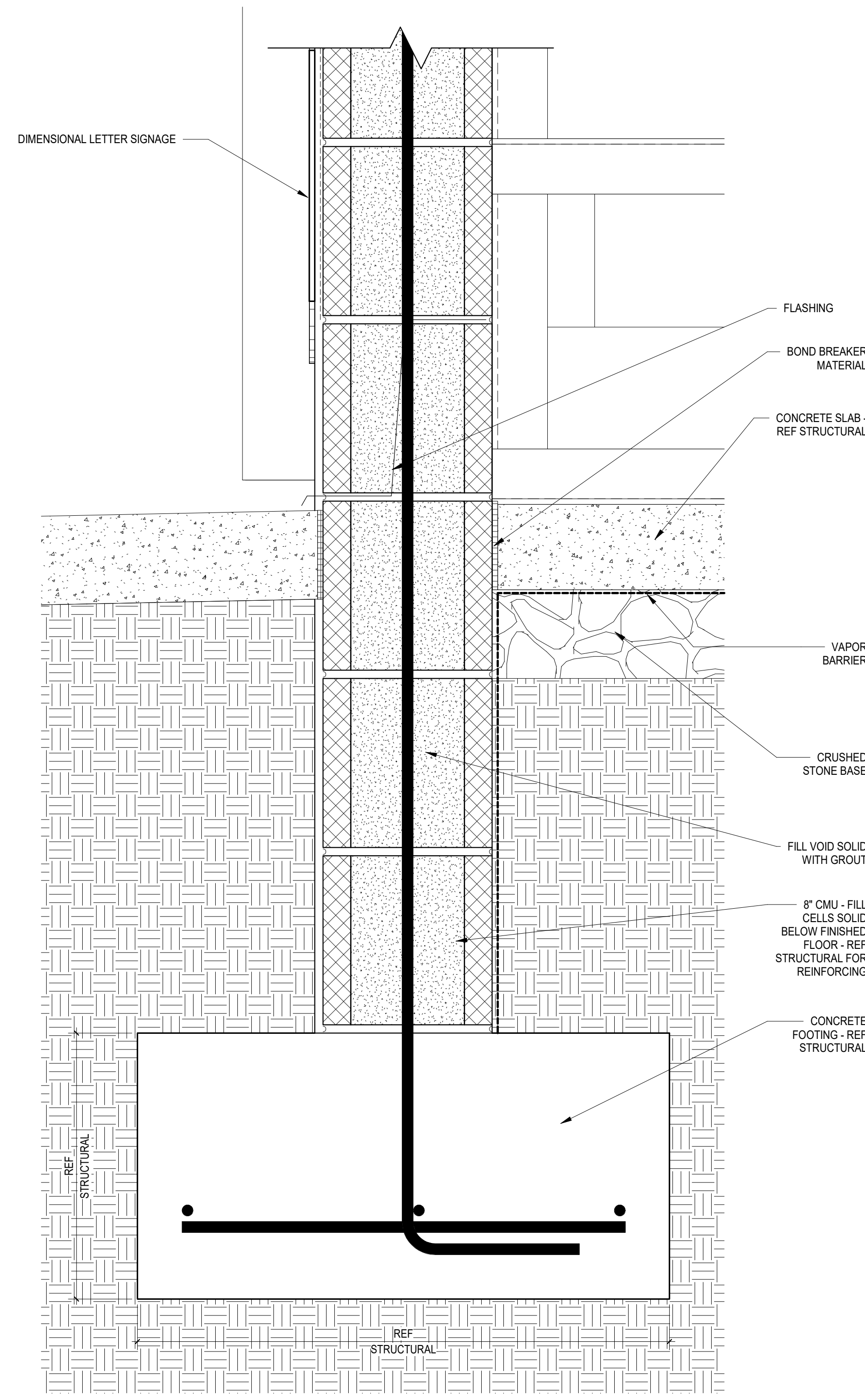
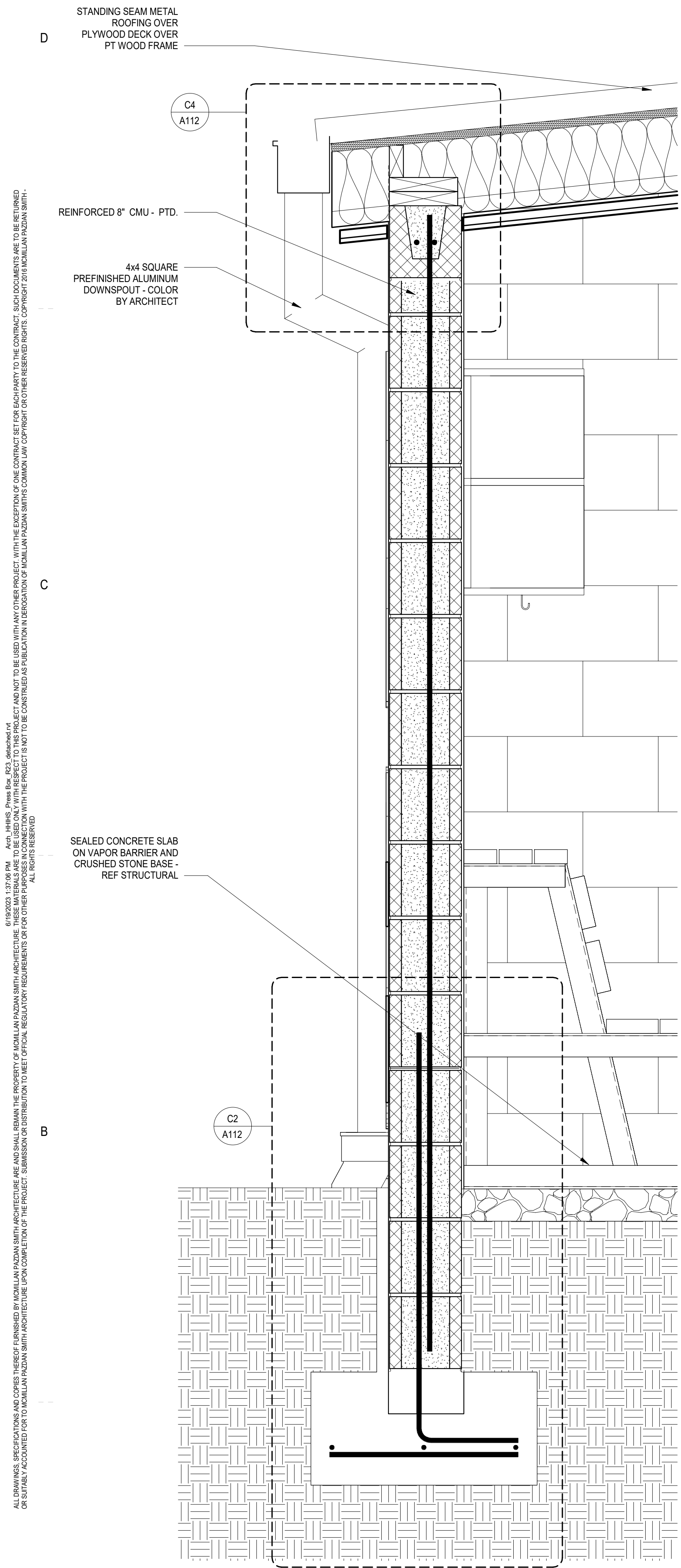
Softball Scoreboard

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY

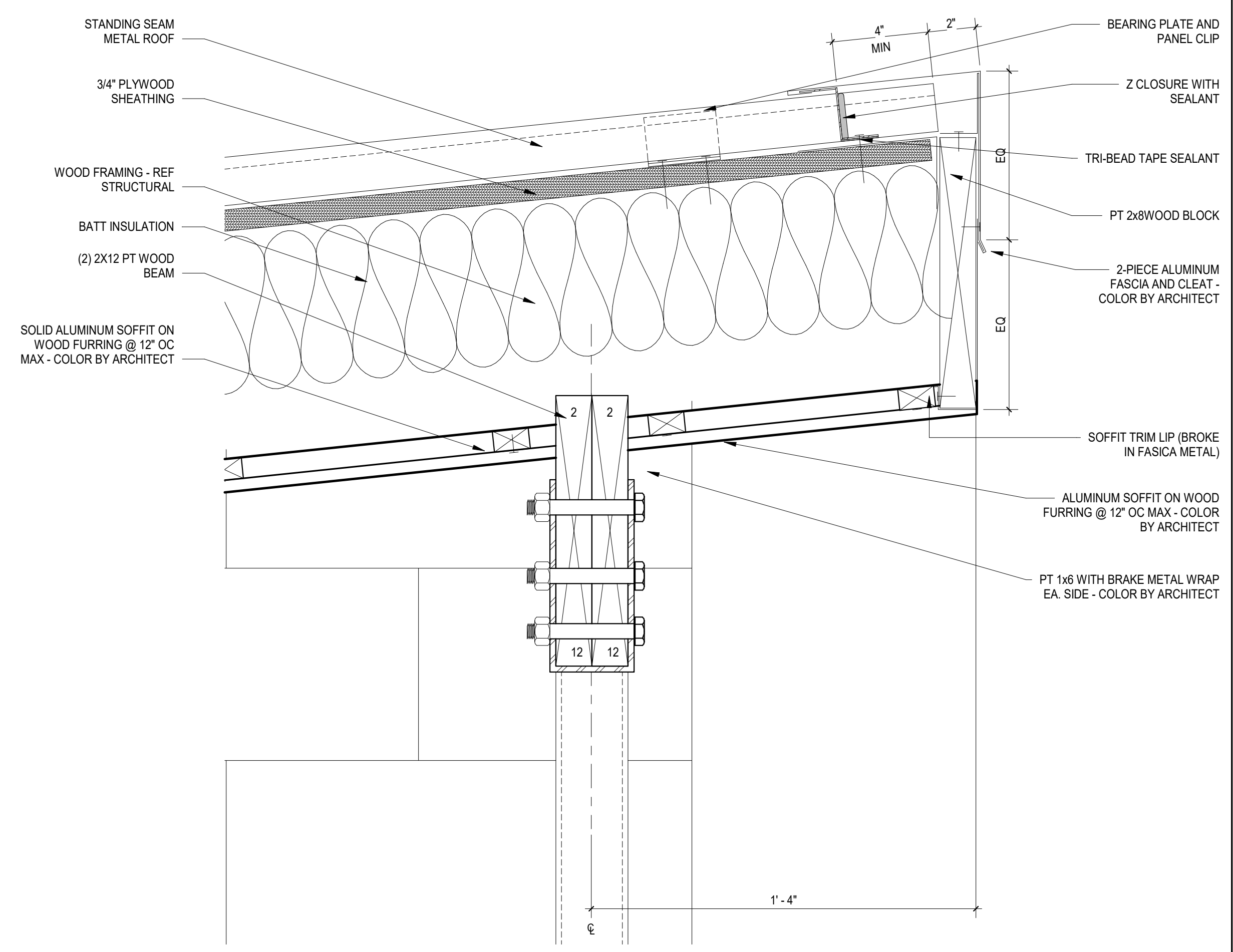
PRINCIPAL IN CHARGE: PM
PROJECT ARCHITECT: MS
DRAWN BY: LO

SHEET TITLE:
REFERENCE PHOTOS

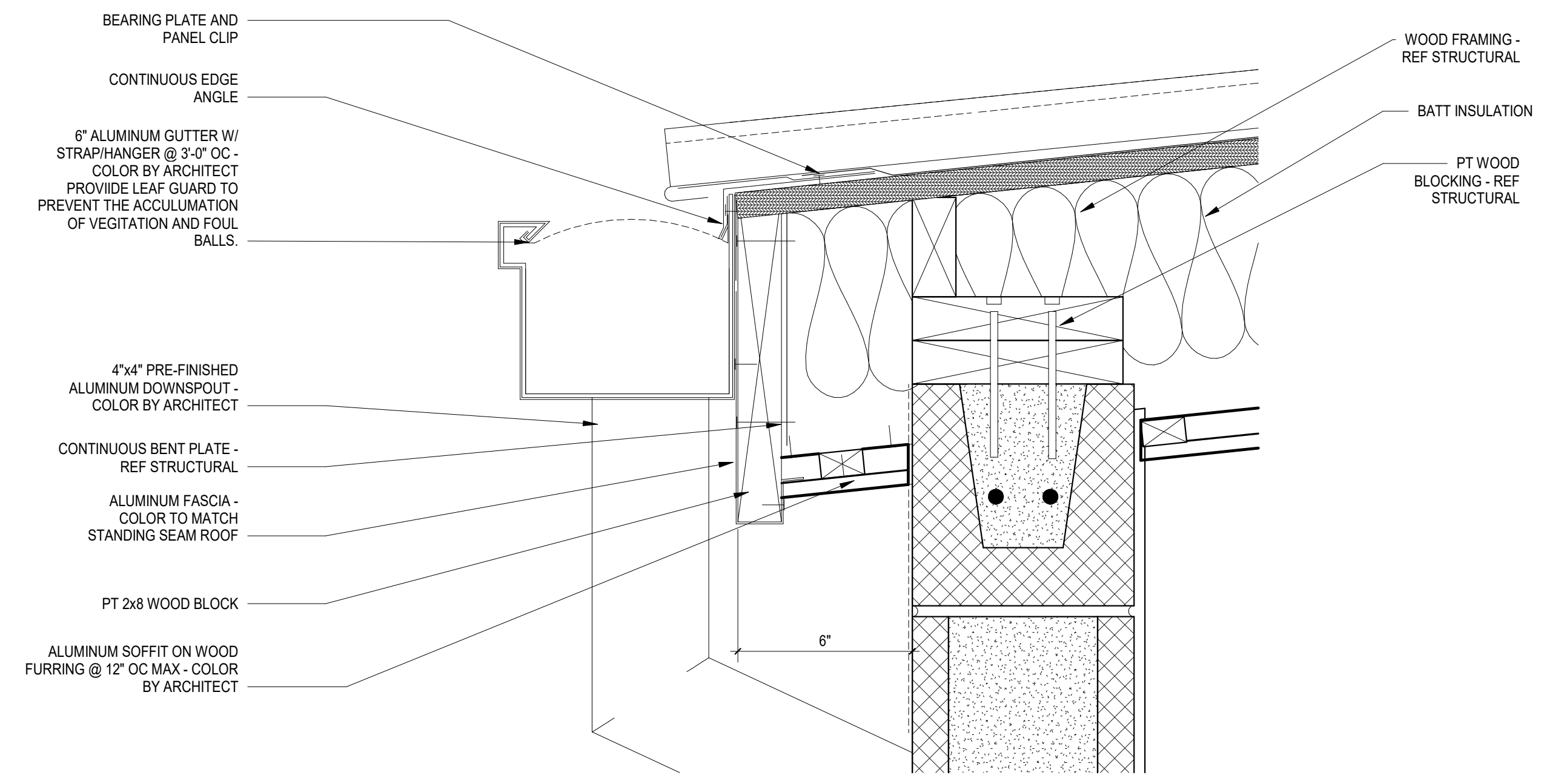
SHEET NO. PROJ. NO.
019993.03



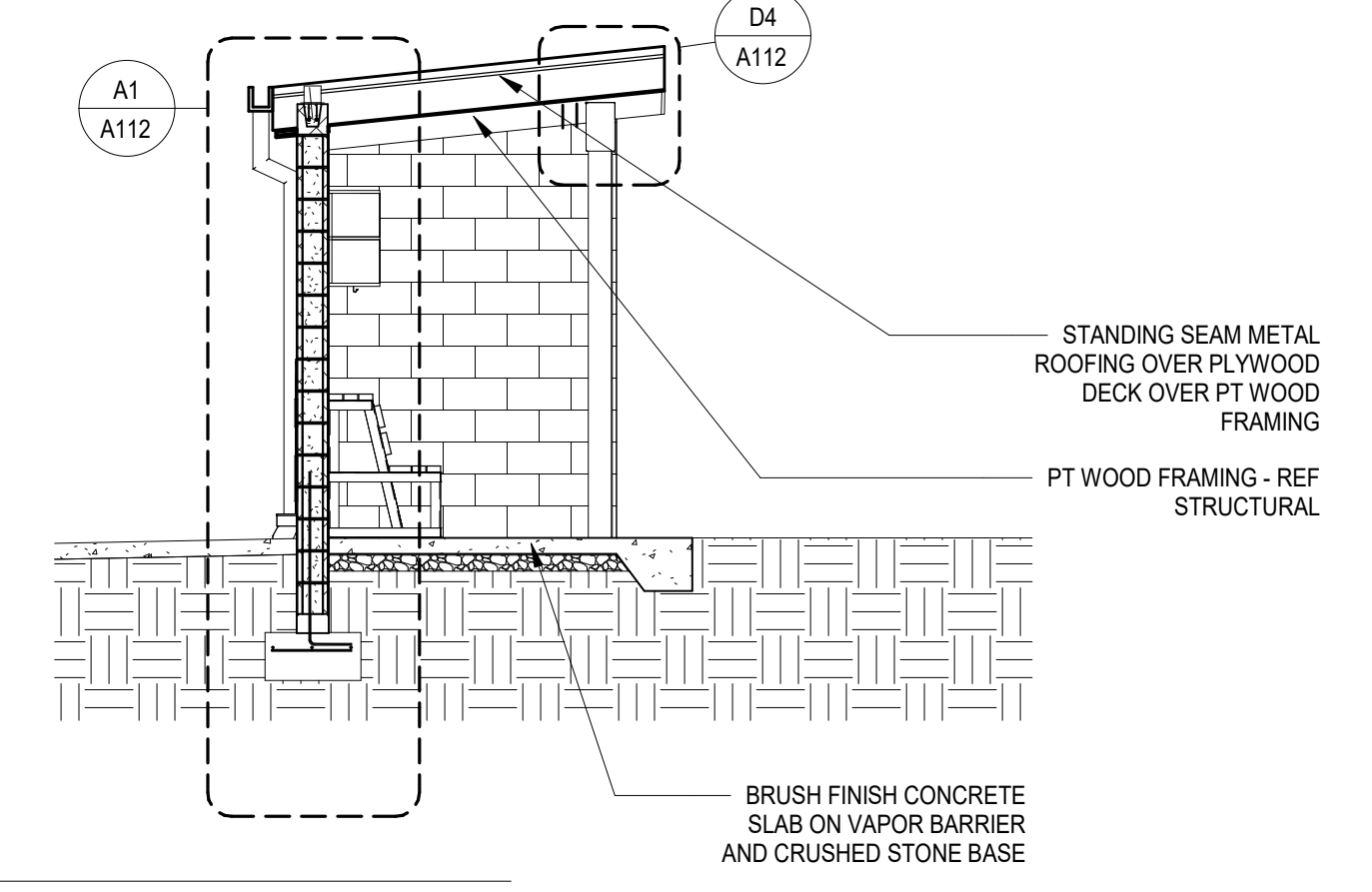
A2 DUGOUT - ELEVATION REAR
1/4" = 1'-0"



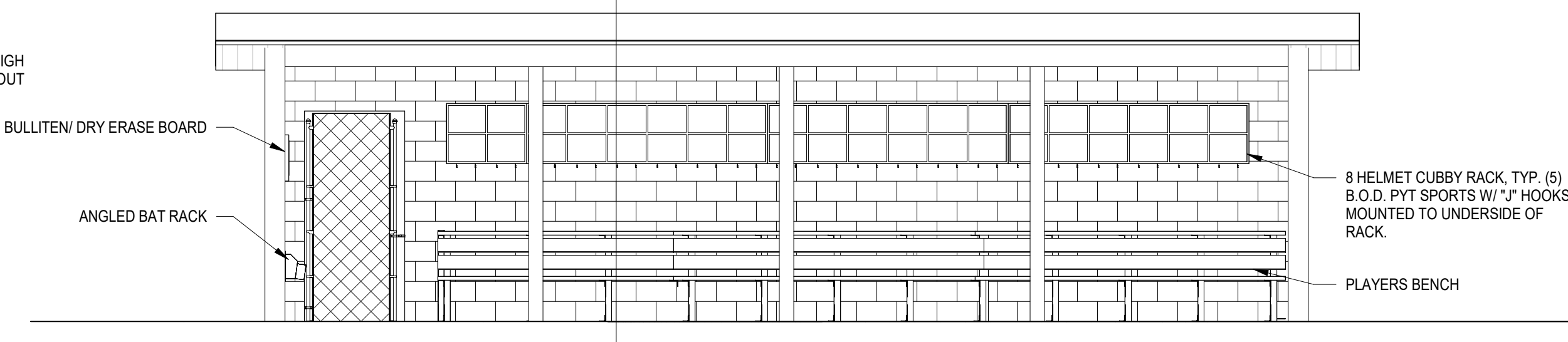
D4 DUGOUT HIGH EAVE DETAIL
3" = 1'-0"



C4 DUGOUT LOW EAVE DETAIL
3" = 1'-0"



B4 DUGOUT SECTION
1/4" = 1'-0"



A4 DUGOUT - ELEVATION FRONT
1/4" = 1'-0"

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hilton Head Island Athletics Phase II

DRB#: DRB-001742-2023

DATE: 9/23/2023

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Recommend matching brick of proposed building to the brick of the existing building structure.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

elements of the project				
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Recommend matching brick of proposed building to the brick of the existing building structure.