



Town of Hilton Head Island
Design Review Board Meeting
Tuesday September 12, 2023 – 2:30 p.m.
AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

a. August 22, 2023

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. Unfinished Business

a. **Alteration/Addition - DRB-001566-2023 – New fountain structure, splash pad, pool lighting and miscellaneous landscaping at 15 Wimbledon**

8. New Business

a. **Final Review - DRB-001649-2023 – New Overlook at Driessen Park**

b. **Final Review – DRB-001797-2023 – Chaplin Townhomes**

c. **Alteration/Addition – DRB-001654-2023 – Sea Turtle Marketplace Building F Addition**

d. **Alteration/Addition – DRB-001593-2023 – 10 Executive Park Boutique Hotel**

e. **Alteration/Addition – DRB-001634-2023 – Dunes House Awning**

9. Board Business

10. Staff Report

a. Minor Corridor Report

11. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
August 22, 2023, at 2:30 p.m.
MEETING MINUTES

Present from the Board: Judd Carstens, Vice-Chair; Annette Lippert; Todd Theodore; Tom Parker; Ryan Bassett, John Moleski

Absent from the Commission: Cathy Foss, Chair

Present from Town Council: Glenn Stanford; Tamara Becker

Present from Town Staff: Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Karen Knox, *Board Secretary*

1. Call to Order

Vice Chair Carstens called the meeting to order at 2:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As Noted Above.

4. Approval of Agenda

Vice Chair Carstens asked if staff had any changes to the Agenda. Ms. Cook replied no. Vice Chair Carstens asked for a Motion to approve the Agenda. Ms. Lippert moved to approve. Mr. Parker seconded. By a show of hands, the Motion passed with a vote of 6-0.

5. Approval of Minutes

- a) Regular Meeting of June 13, 2023
- b) Regular Meeting of August 8, 2023

Vice Chair Carstens asked for a Motion to approve the Minutes of June 13, 2023 and August 8, 2023. Mr. Theodore moved to approve. Ms. Lippert seconded. By a show of hands, the Minutes of June 13, 2023 and August 8, 2023 were unanimously approved.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. Several comments were received on the Open Town Hall Portal. Copies of the comments were sent to the Committee and will be made part of the official record. No citizens spoke at the meeting.

7. Unfinished Business - None

8. New Business

a) Sign – DRB-001566-2023 – New Entrance Sign at 15 Wimbledon

Mr. Basset recused himself from the dais due to a Conflict of Interest.

Ms. Cook provided staff's presentation as included in the packet and advised that staff recommends approval with the following condition. The only condition would be the conditions that existed from the final approval in 2021, none of which related to the entrance sign. The Applicant provided an additional presentation. The Board asked several questions of the Applicant, majority of the questions were centered around the material of the back panel, and how the brackets will attach the panel to the proposed trellis. A question was asked for clarification between the sign and the community title on the fountain. Staff clarified that the entrance sign is being reviewed separately to ask the Board to vote on the sign separately from the remainder of the submittal. This separate vote is to allow the sign to proceed to the sign permitting process. After clarification, other Board members continued to ask a few questions regarding the sign. Vice Chair Carstens requested a reduction in the column size, and to consider the location of the fencing columns to be offset slightly from the entrance driveway. There was some discussion regarding the sign location and the offset from the road. The applicant commented that the sign is where the SCDOT required the sign to be. Lastly, the applicant clarified the nature of the planting plan around the sign.

Vice Chair Carstens asked for a Motion to approve. Mr. Parker moved to approve with the comment that the columns be reduced in dimension in the neighborhood of 2'8". Ms. Lippert asked Mr. Parker to amend his Motion to state that if an address is needed, they come back for staff review. Mr. Parker amended his Motion to include if an address is needed, they come back for staff review. Ms. Lippert seconded. The Motion passed by a vote of 5-0.

b) Alteration/Addition – DRB-001566-2023 – New Fountain Structure and Internal Sign at 15 Wimbledon.

Mr. Bassett recused himself from the dais due to a Conflict of Interest.

Ms. Cook provided staff's presentation as included in the packet and advised staff recommends approval with conditions concerning a live oak and lighting changes. The Applicant provided an additional presentation. The Board asked several questions of the Applicant, majority of the questions were centered around the size of the splash pad area, the redundancy of the name Maidencane

within the fountain and on the entrance sign. There was an overall theme from the comments to suggest a better buffer around the splash pad, to reduce the sign of the size and aesthetic of the splash pad, as well as the inclusion in another submittal of the landscape plan and the lighting plan that shows the changes from the original plan.

After discussion with the Applicant, it was decided to table this submittal to the September 12, 2023 meeting. Vice Chair Carstens asked for a Motion to table the item to the September 12, 2023 meeting. Mr. Parker seconded. The Motion passed with a vote of 5-0.

c) New Development – Final – DRB-001563-2023 – Final for both Phase 1 and Phase 2 at 1 South Forest Beach.

Ms. Cook provided staff's presentation as included in the packet and advised to approve with conditions. The Applicant provided an additional presentation to expand on the responses to the Boards comments from the previous meeting.

The Board provided comments regarding the M1 lighting as part of the plan. It was suggested by the Board that Staff review the light and determine whether it meets the lighting requirements of the design guide. There was also a comment by a Board member to be aware of no exposed conduit and to note in the plans that all conduit must be concealed during construction to meet our design guidelines. Overall, the Board had consensus and approval of the submitted materials and the updated drawing details. A suggestion from the Board was to possibly install some understory plantings on the northeast side of the pavilion. The Applicant's Owners Rep mentioned that the plantings were there in a previous plan and were removed to meet emergency access requirements to the beach.

After discussion, Vice Chairman Carstens asked for a Motion. Ms. Lippert moved to approve with the following conditions: all of staff's comments, in addition to that staff review whether the M1 DMX fixture on the stage structure meets lighting guidelines and that the detail four (Trellis Detail) on A-3.35 be updated to have a tabby stucco base and limestone cap and that if possible some low story planting be added to the northeast corner outside of the new Pavillion. Mr. Bassett seconded. The Motion passed with a vote of 6-0.

9. Board Business

a. Election of Officers for Term July 1, 2023 – June 30, 2024

Vice Chair Carstens asked if anyone would like to make a Motion to nominate a Board Member to serve as Chairman for the new term. Ms. Lippert moved to nominate Cathy Foss as Chairman. Mr. Bassett seconded. The Motion passed with a vote of 6-0.

Vice Chair Carstens asked if anyone would like to make a Motion to nominate a Board Member to serve as Vice Chairman for the new term. Ms. Lippert moved to nominate

Judd Carstens as Vice Chair. Mr. Theodore seconded. The Motion passed with a vote of 6-0.

10. Staff Report

a) Minor Corridor Report

Alexis Cook provided the Minor Corridor Report to the Board.

11. Adjournment

The meeting adjourned at 4:14 p.m.

Submitted By: _____

**Karen Knox
Board Secretary**

Date:

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Owner - HH Island Acquisition Partners, LLC
Agent - Brett Callaghan Company: HH Island Acquisition Partners, LLC
 Mailing Address: 9654 North Kings Hwy, Unit 101 City: Myrtle Beach State: SC Zip: 29572
 Telephone: 843-458-3348 Fax: _____ E-mail: bcallaghan@progressbuildersllc.com
 Project Name: Madiencane Hilton Head Port Royal Project Address: 77 Folly Field Road
 Parcel Number [PIN]: R 5 1 0 0 0 9 0 0 0 1 2 0 5 0 0 0 0
 Zoning District: RD Overlay District(s): CR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input checked="" type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input checked="" type="checkbox"/> Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Hilton Head Port Royal Resort

Hilton Head Island, SC

Final DRB Project Narrative

August 8, 2023

On October 18, 2021, HH Island Acquisition Partners was approved with specific conditions for the redevelopment of the property formerly known as The Port Royal Racquet Club Tract (parcel 4 – Wimbledon Court) along Folly Field Road into a signature destination resort in keeping with Hilton Head Island vernacular. No changes are being proposed to those approved plans.

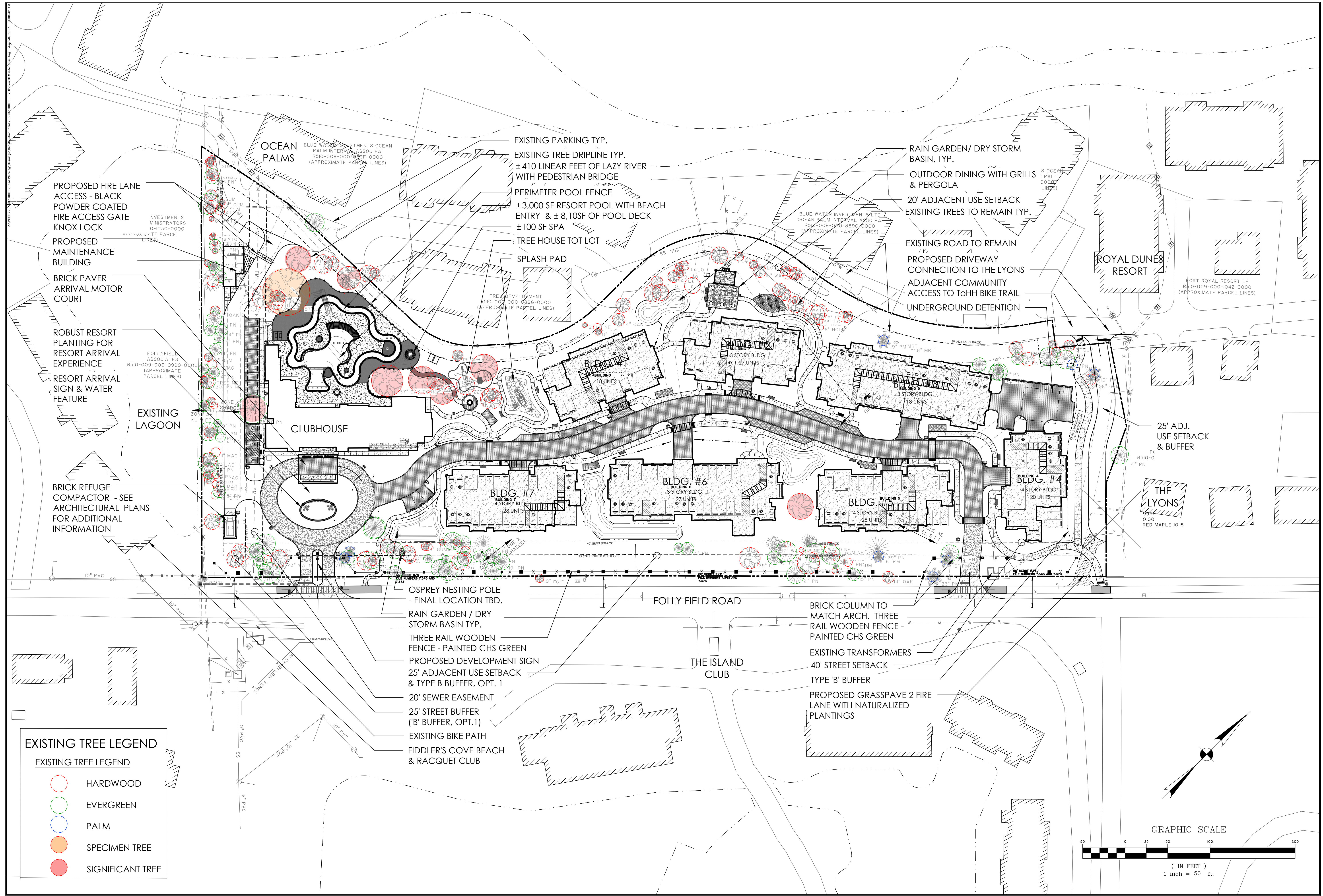
The property is being named (as previously approved) and branded “The Maidencane”, and as a result more detailed design has been proposed for the main entry including signage and a water feature directly in front of the clubhouse’s porte-cochere in order to provide a strong sense of arrival for guests.

The main sign is being proposed within the median and is aligned with the fence and columns proposed along Folly Field Road. The sign is a two-post design with a simple trellis structure on top. The double-sided wood sign panel will hang from the trellis and will have dark bronze detailing and matching off-set lettering. Each 10x10 post will have a battered tabby base with brick cap. The low water feature directly behind the sign will have the same tabby finish and brick cap as the sign and feature stand-up bronze lettering to denote guests’ arrival at The Maidencane. The design was inspired by Town of Hilton Head’s Coligny Beach Park signage and features natural colors and materials.

Supplementary nightscape lighting has been added for maximum guest safety within the outdoor amenity area surrounding the pool/lazy river, so they can safely be utilized during less than favorable light conditions. These fixtures will match previous approved fixture assemblies, 3,000k, pole and dark bronze color.

Updated splash pad location to allow for additional clear space away from existing live oaks and specific a program. All color finished to align with the island character.





PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

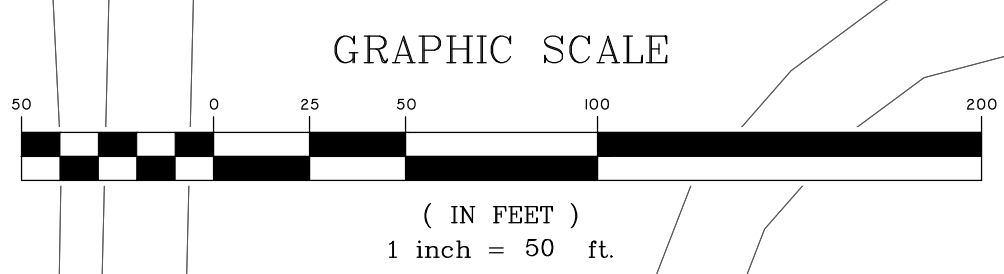
HH ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 THE MAIDENCANE
OVERALL MASTER PLAN

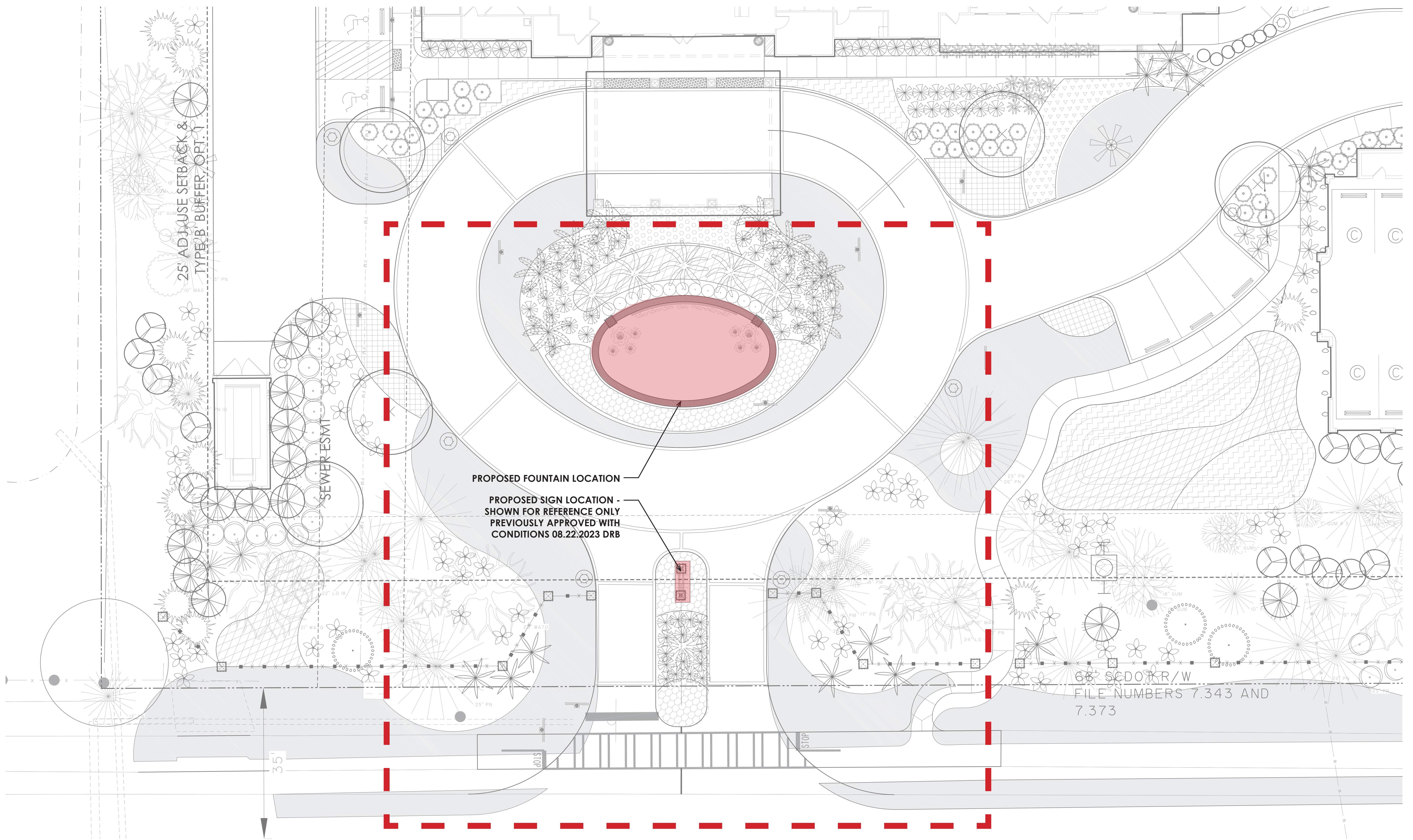
JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1"=40'

EX0.1

EXISTING TREE LEGEND

	HARDWOOD
	EVERGREEN
	PALM
	SPECIMEN TREE
	SIGNIFICANT TREE





Z:\26807\26807_0000\Land Planning\Illustrative Files\INDD\The Maidencane Fountain And Sign_Submittal



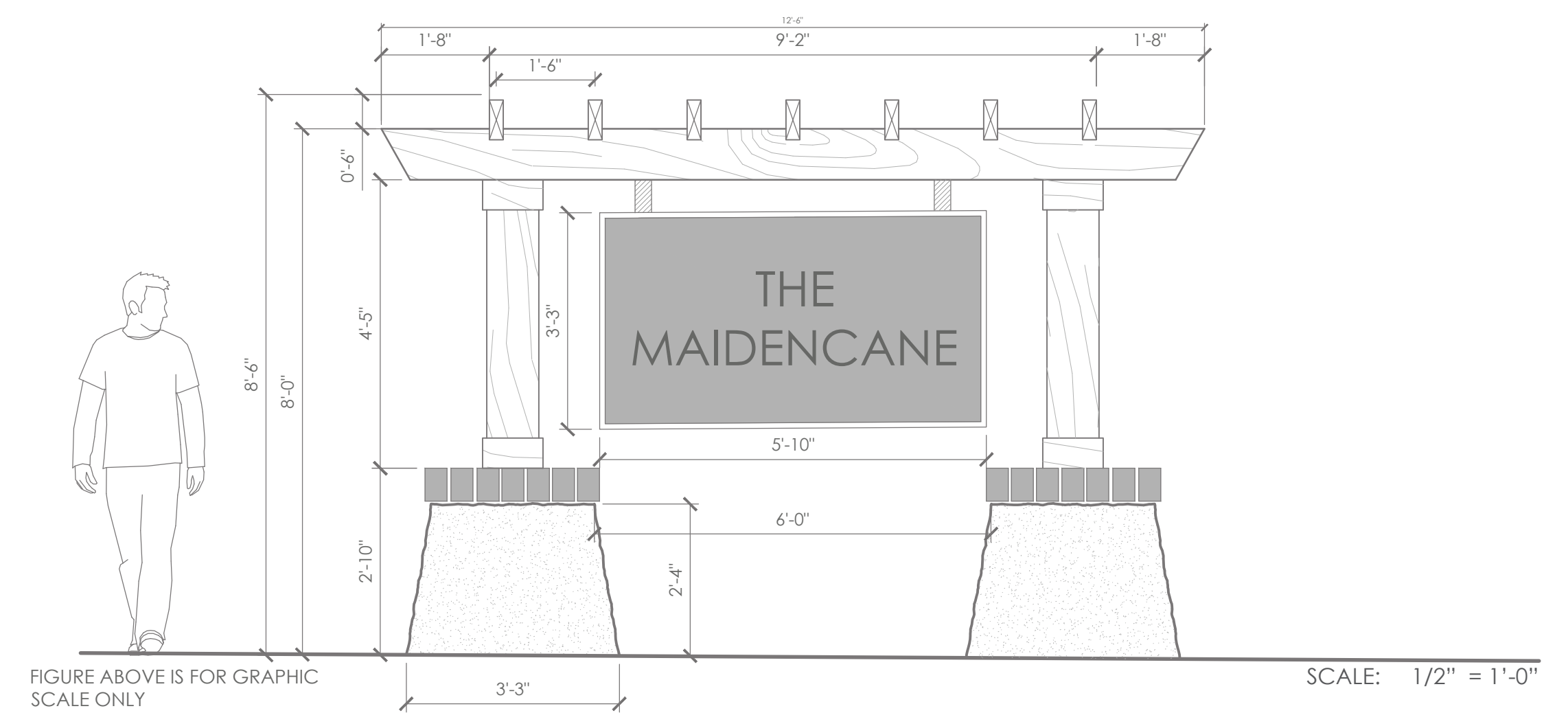
PERSPECTIVES NOT TO SCALE

LEGEND

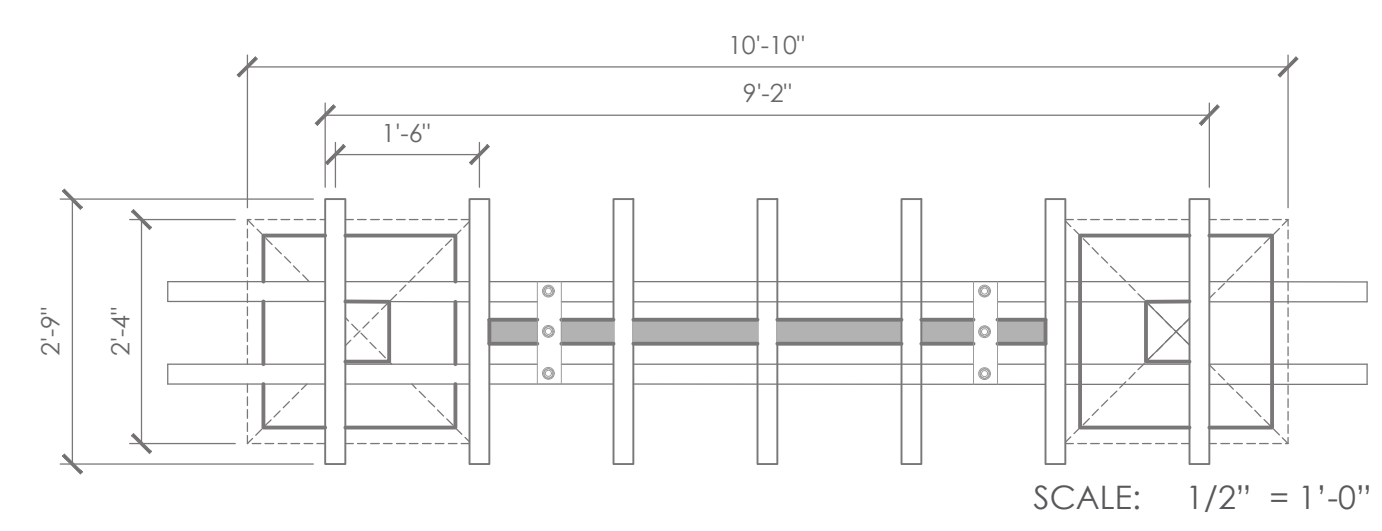
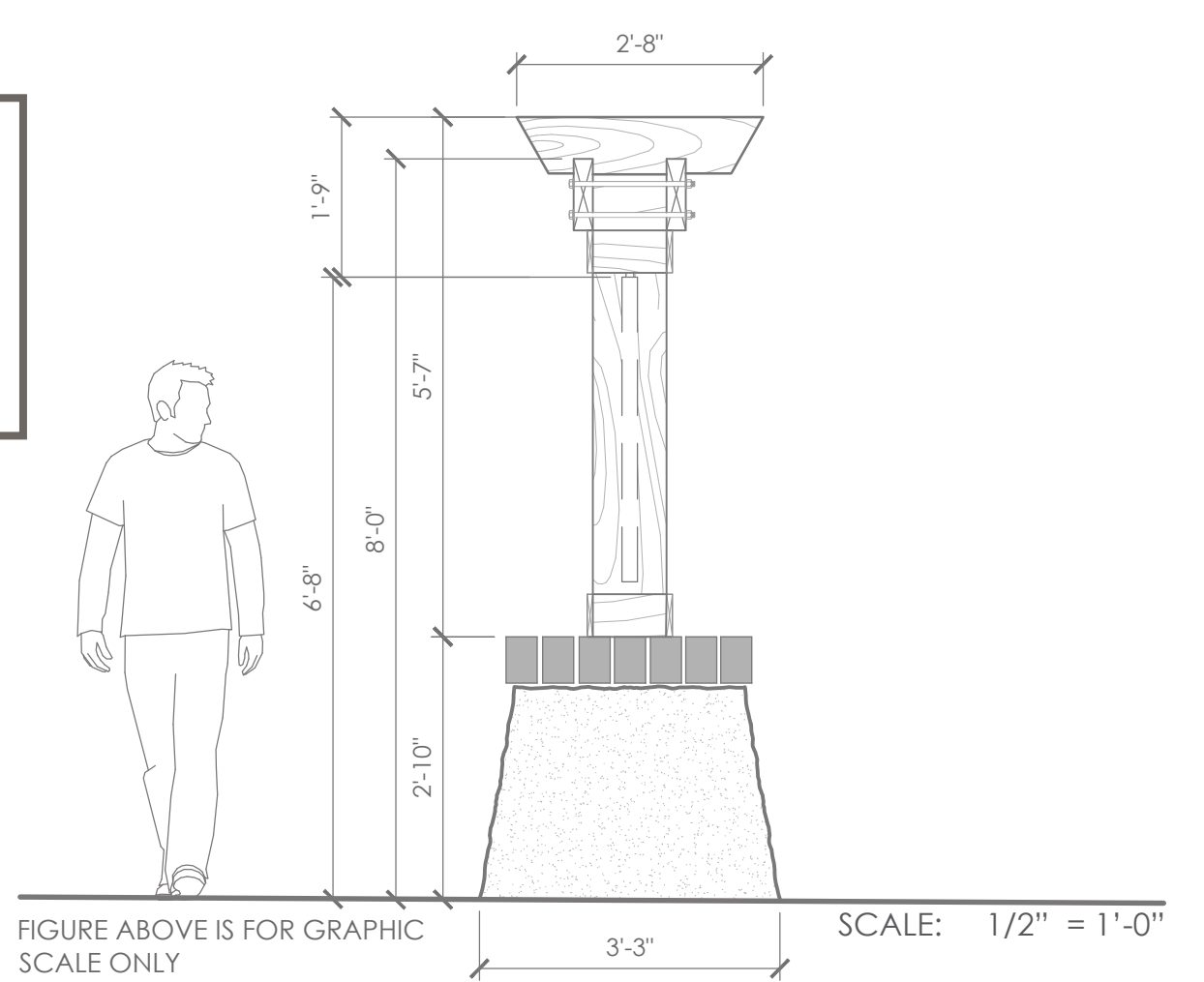
- A** ± 16" Low Fountain Wall with Brick Cap and Tabby Stucco Veneer
- B** Brick Paver Motor Court
- C** ± 36" Brick Column
- D** ± 32" Fountain Wall with Brick Cap & Stucco
- E** Concealed Water Wall Spillway
- F** Cedar Arbor Slat to be Fastened to Each 3"x8" Joist
- G** Cedar 3"x10" Beam Notched to Recieve Joist (Notch Not Exceed 2")
- H** ± 18' SF. Double Sided Sign Panel
- I** 10x10" Cedar Post
- J** Batter Tabby Column with Brick Cap
- K** ± 1' Brass / Bronze Sans Serif Lettering to be Attached to Sign Panel

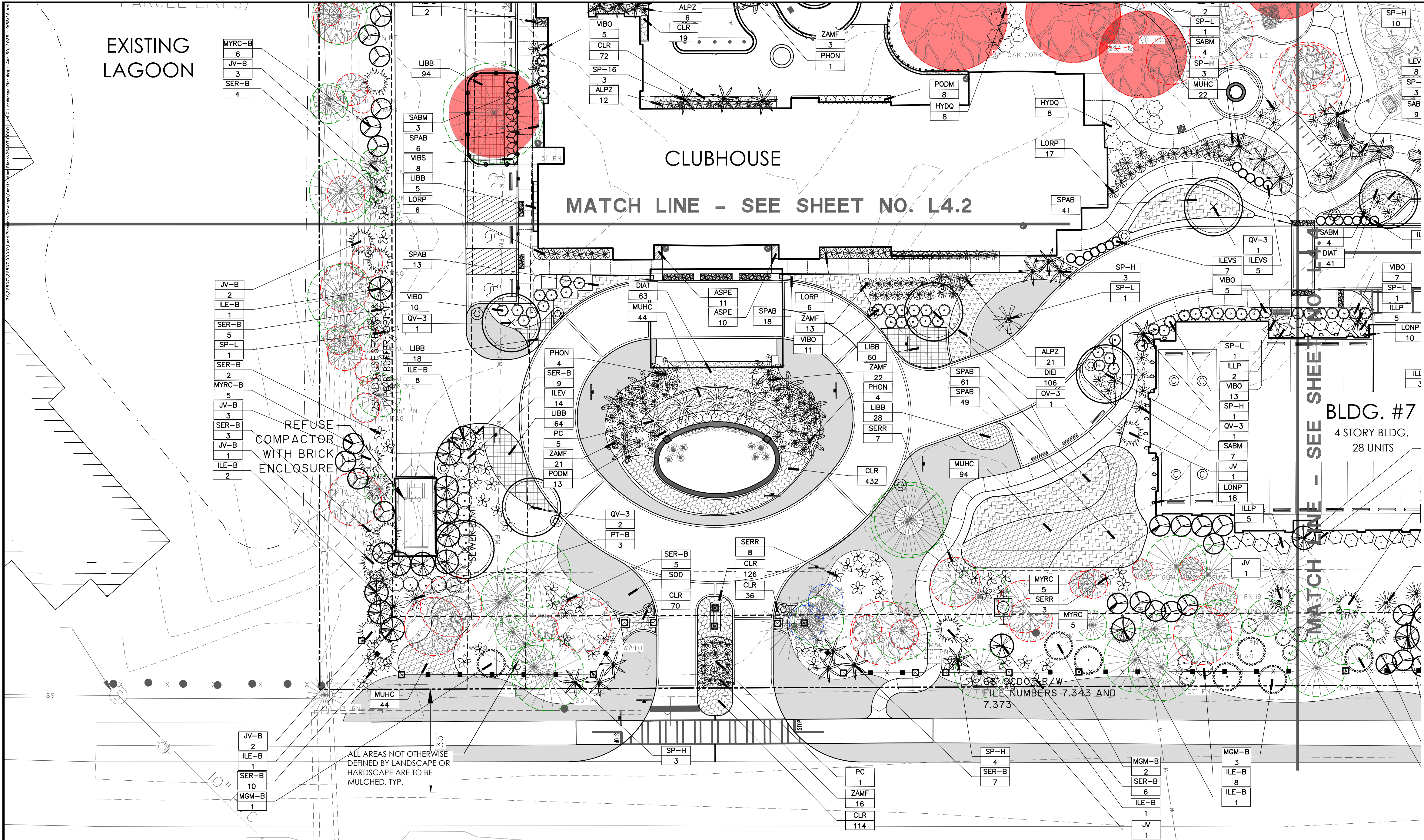
MATERIALS

-  Cedar Wood
-  Tabby Stucco
-  Brick
-  Brass / Bronze



SIGN DETAILS SHOWN FOR REFERENCE ONLY. PREVIOUSLY APPROVED WITH CONDITIONS AT 08.22.2023 DRB





EXISTING TREE LEGEND

- HARDWOOD
- EVERGREEN
- PALM
- SPECIMEN TREES
- SIGNIFICANT TREES

SEE L5.1 FOR PLANT SCHEDULE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO.	REVISIONS	BY	DATE

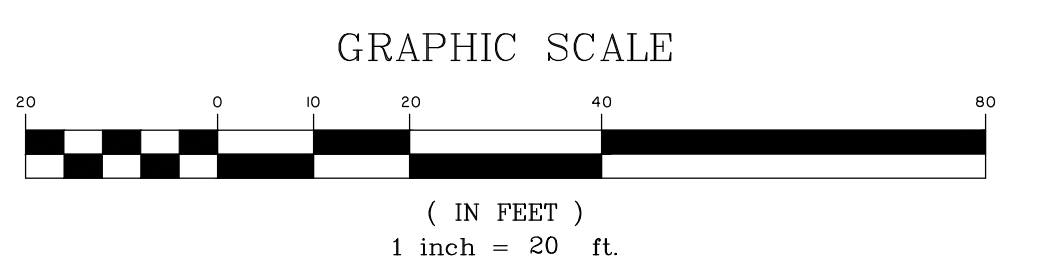
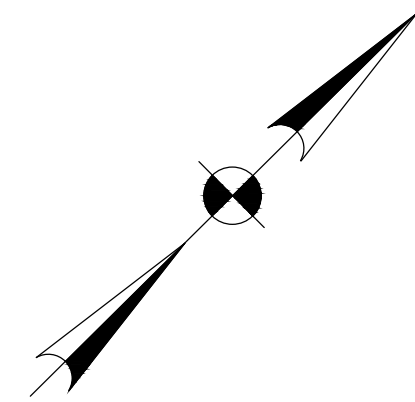
THOMAS & HUTTON

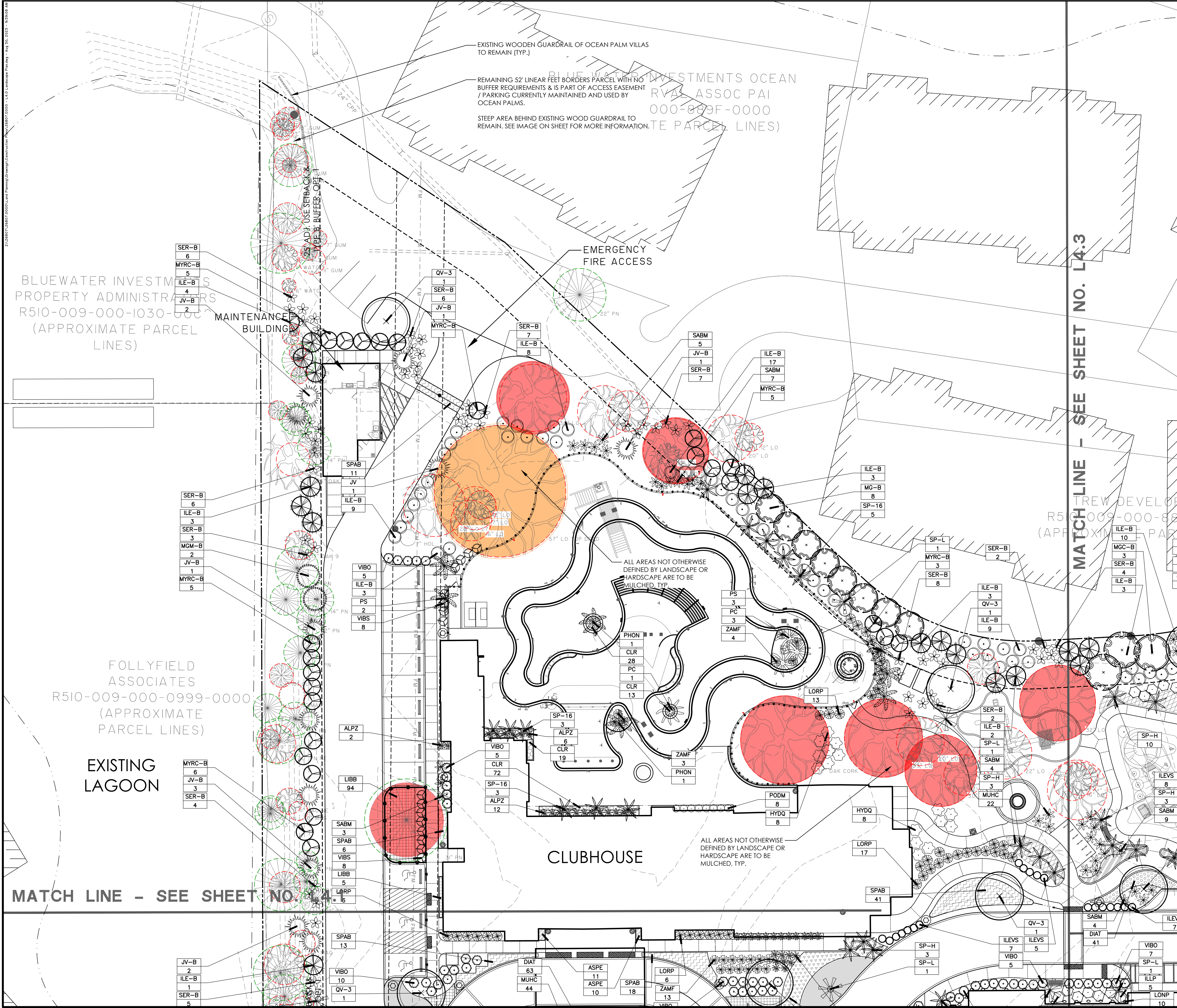
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HH ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
THE MAIDENCANE
PLANTING PLAN

JOB NO:	J-26807.0000
DATE:	7/20/2023
DRAWN:	CGC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 20'

L4.1





EXISTING TREE LEGEND

- HARDWOOD
- EVERGREEN
- PALM
- SPECIMEN TREES
- SIGNIFICANT TREES

SEE L5.1 FOR PLANT SCHEDULE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

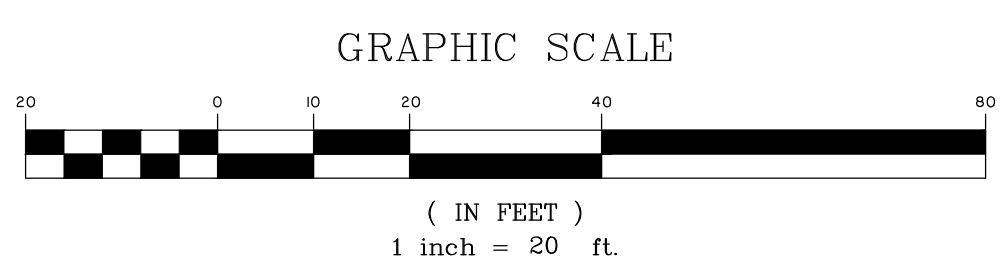
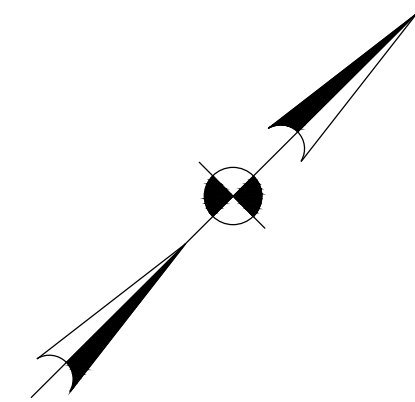
No.	REVISIONS	BY	DATE

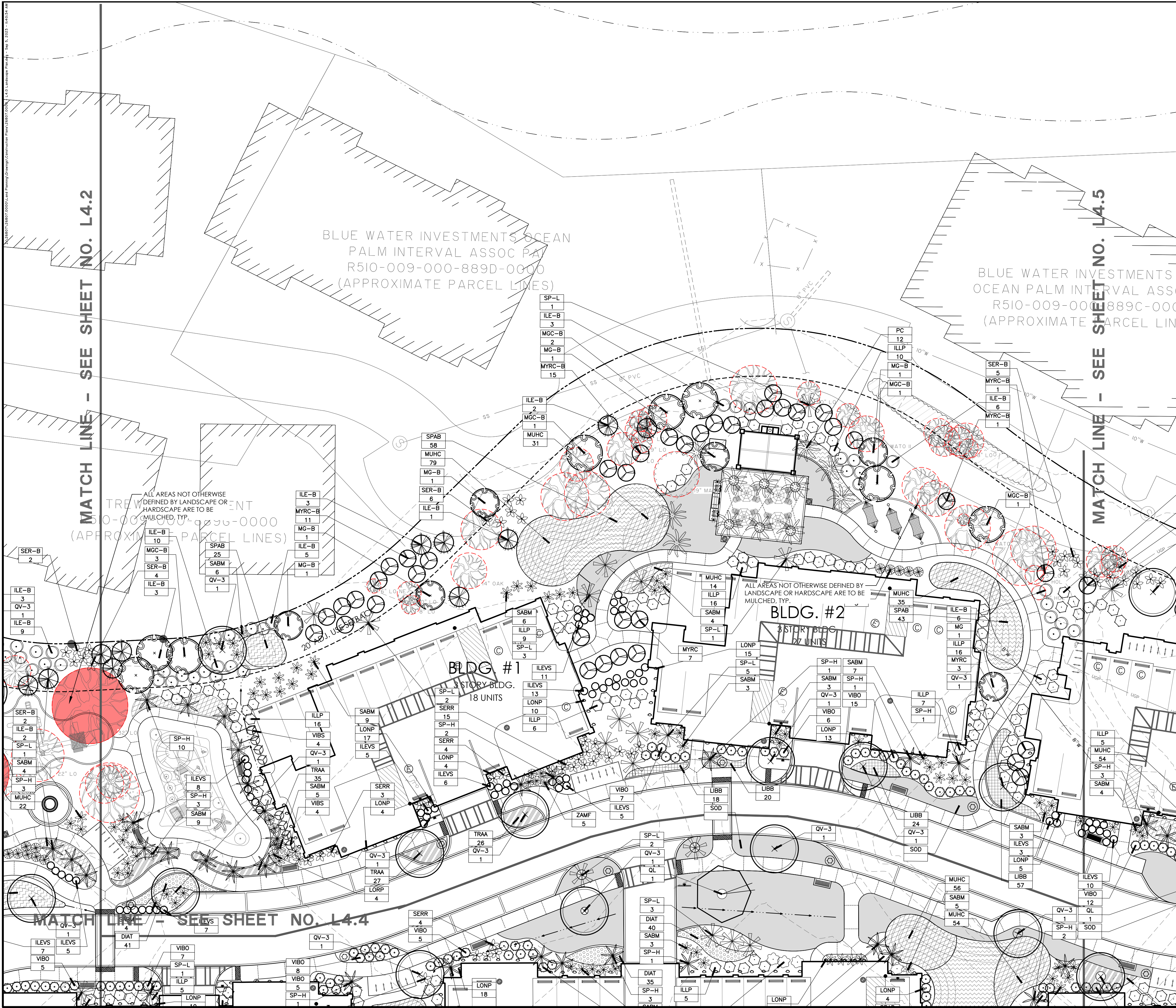
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 HILTON HEAD ISLAND, SOUTH CAROLINA
 THE MAIDENCANE
 PLANTING PLAN

JOB NO: J-26807.0000
 DATE: 7/20/2023
 DRAWN: CGC
 DESIGNED: ETW
 REVIEWED: JRW
 APPROVED: NBL
 SCALE: 1" = 20'

L4.2





EXISTING TREE LEGEND

- HARDWOOD
- EVERGREEN
- PALM
- SPECIMEN TREES
- SIGNIFICANT TREES

SEE L5.1 FOR PLANT SCHEDULE

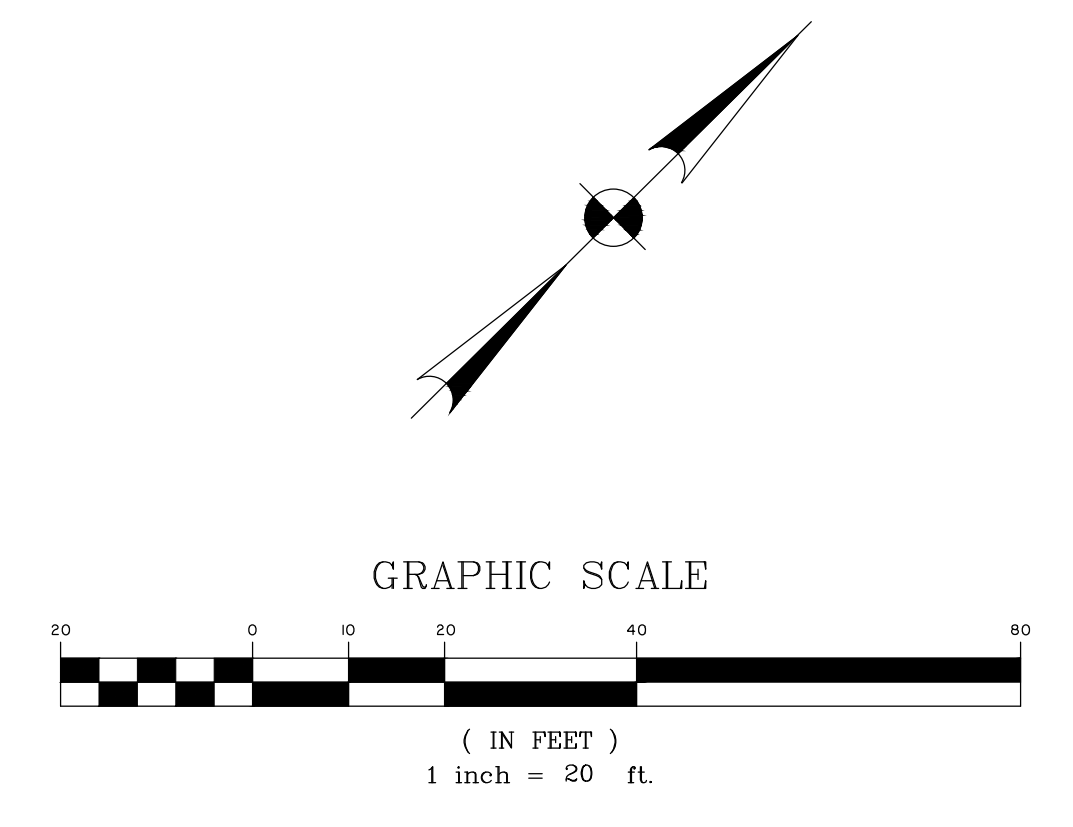
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HH ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
THE MAIDENCANE
PLANTING PLAN

JOB NO:	J-26807.0000
DATE:	7/20/2023
DRAWN:	CGC
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APPROVED:	NBL
SCALE:	1" = 20'

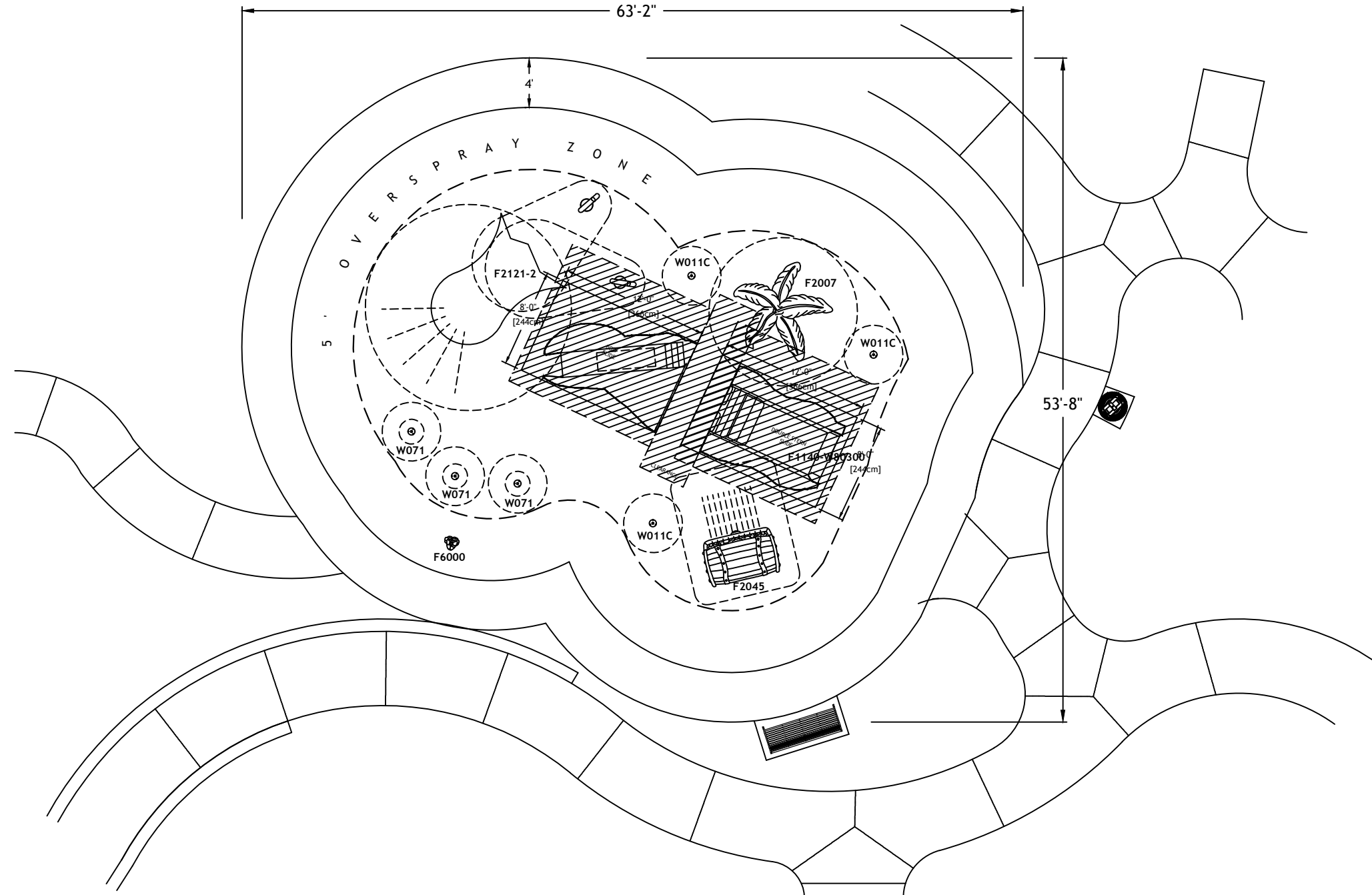
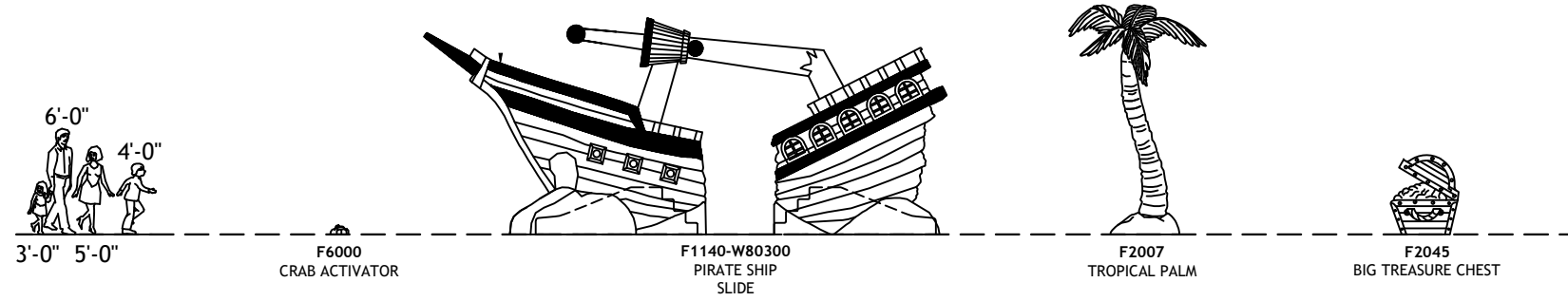


L4.3

ITEM	FEATURE DESCRIPTION	QTY
F1140-W80300	PIRATE SHIP AQUA SLIDE - LARGE- TRIPLE CHUTE - GPM @ - PSI EFFECTS -	1
F2007	TROPICAL PALM AQUA SPRAYER 20 GPM @ 15 PSI	1
F2045	BIG TREASURE CHEST AQUA SPRAYER 75 GPM @ 5 PSI	1
F2121-3	KRAKEN AQUA SPRAYER (4 PIECES) 1 HEAD - 20 GPM @ 5 PSI 2 TENTACLES - 15 GPM (30) @ 5 PSI	1
W011C	JET WAY 4' HIGH 3 (9) GPM @ 2 PSI	3
W071	WATER FLOWER 1' HIGH - 2' SPREAD 10 (30) GPM @ 1 PSI	3
F6000	CRAB AQUA ACTIVATOR WIRELESS	1

TOTAL GPM TBD

ABOVE GRADE FEATURES ELEVATIONS



NOTES:
 1. THIS DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS RECOMMENDED FOR PLAY COMPONENTS AND DRAINS ARE APPROXIMATE. PIPING AND CONDUIT RUNS ARE SCHEMATIC. JOB CONDITIONS AND LOCAL CODES MUST DETERMINE FINAL ROUTING.
 2. WET DECK AREA MUST BE POURED AND FORMED SO THAT WATER SHED AREA SLOPES TOWARD DRAINS.

2510 SQ FT

0 2 4 8
 SCALE - 3/32"=1'
 @ 11" x 17"

WIMBLEDON HILTON HEAD
PLAN VIEW
 W80300
 GA 1
 1 of 1
 08 - 31 - 23
 DATE
 SHEET
 REV.
 TYPE
 OPT.
 VER.
 PLAN
 PIPE
 SALES
 DWG
 NO

Water Odyssey™ by Fountain People, Inc. - PO Box 807 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com



Specifications

Model Number: F1140-W80300
 Age Group:
 Construction:
 Anchors:
 Mounting Hardware:
 Space Washers:

- F1140 -
 Supply Line:
 Hydraulic Requirements:
 Stub Detail:

Optional Additional Effects Water

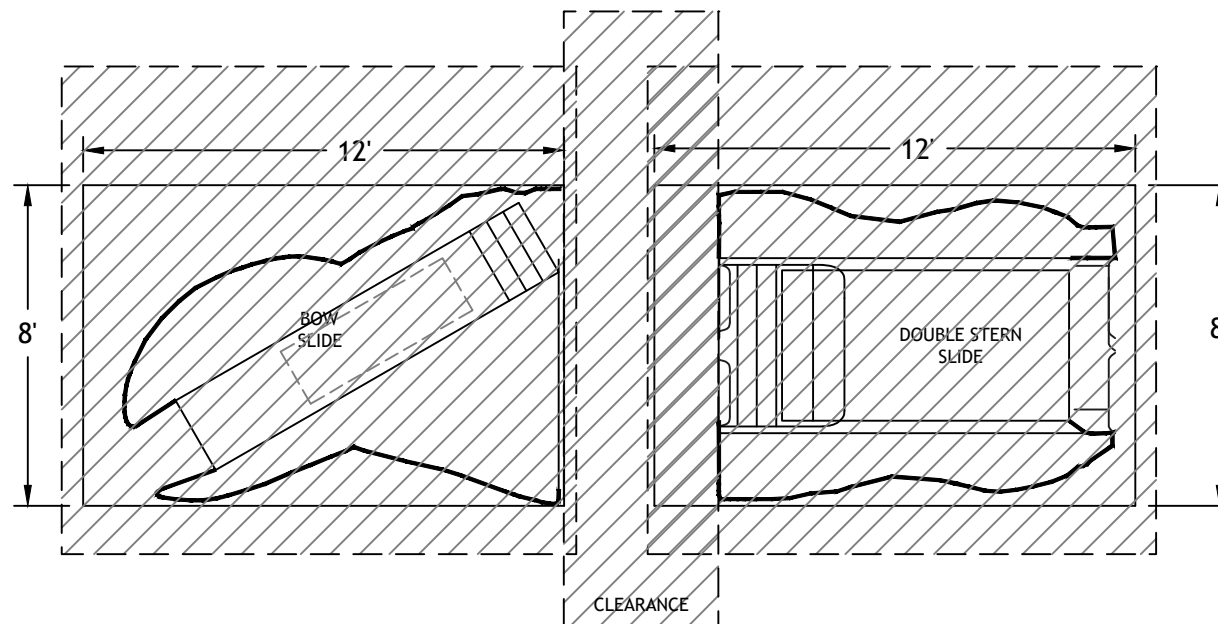
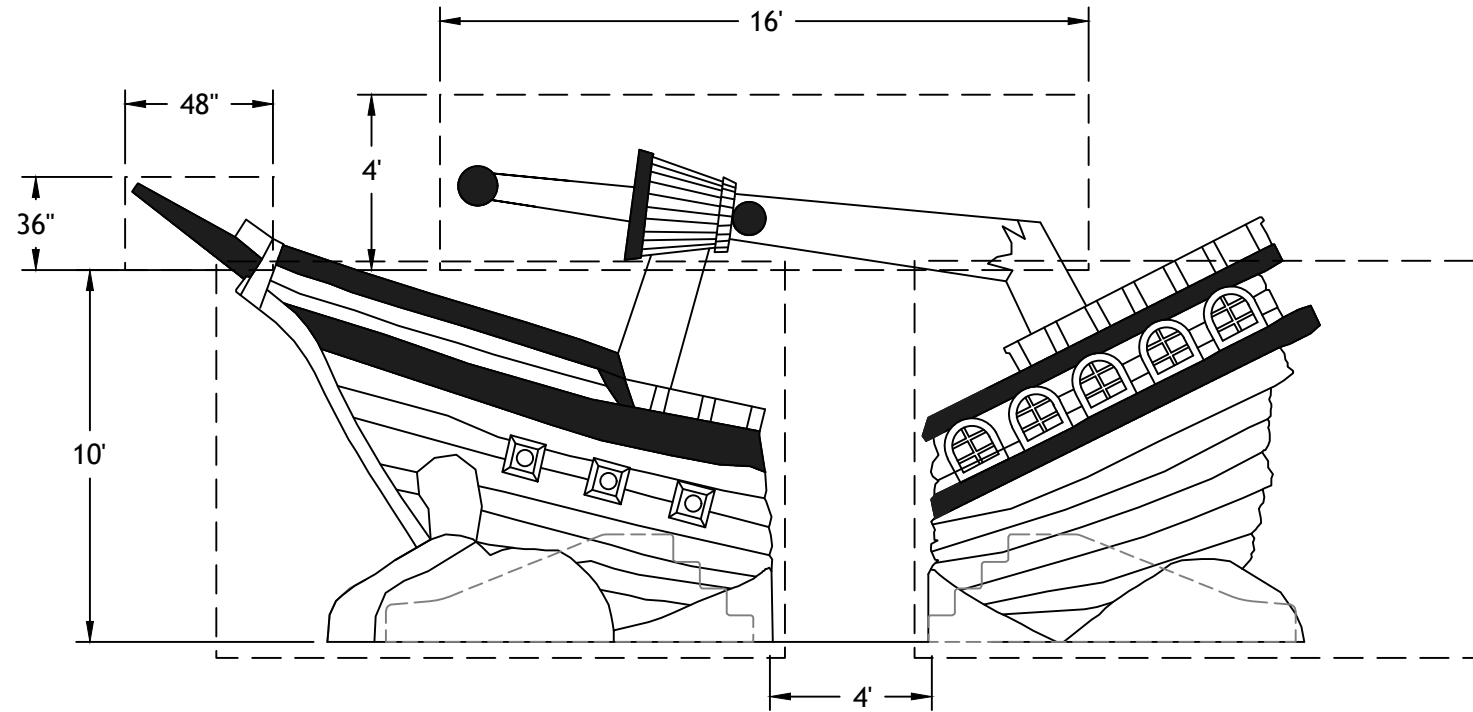
- F1140-EC
 Supply Line 1: **TBD**
 Supply Line 2: **TBD**
 Hydraulic Requirements:
 Stub Detail:

- F1140-E
 Supply Line 1:
 Supply Lines:
 Hydraulic Requirements:
 Stub Detail: A, B, C, D, E, F

Note: Supply lines based on 100' run.

Color Selection

Ship is wooden theme on sand theme mounds.
 Select ONE standard ship accent color from the
 Colors & Theming Guide.

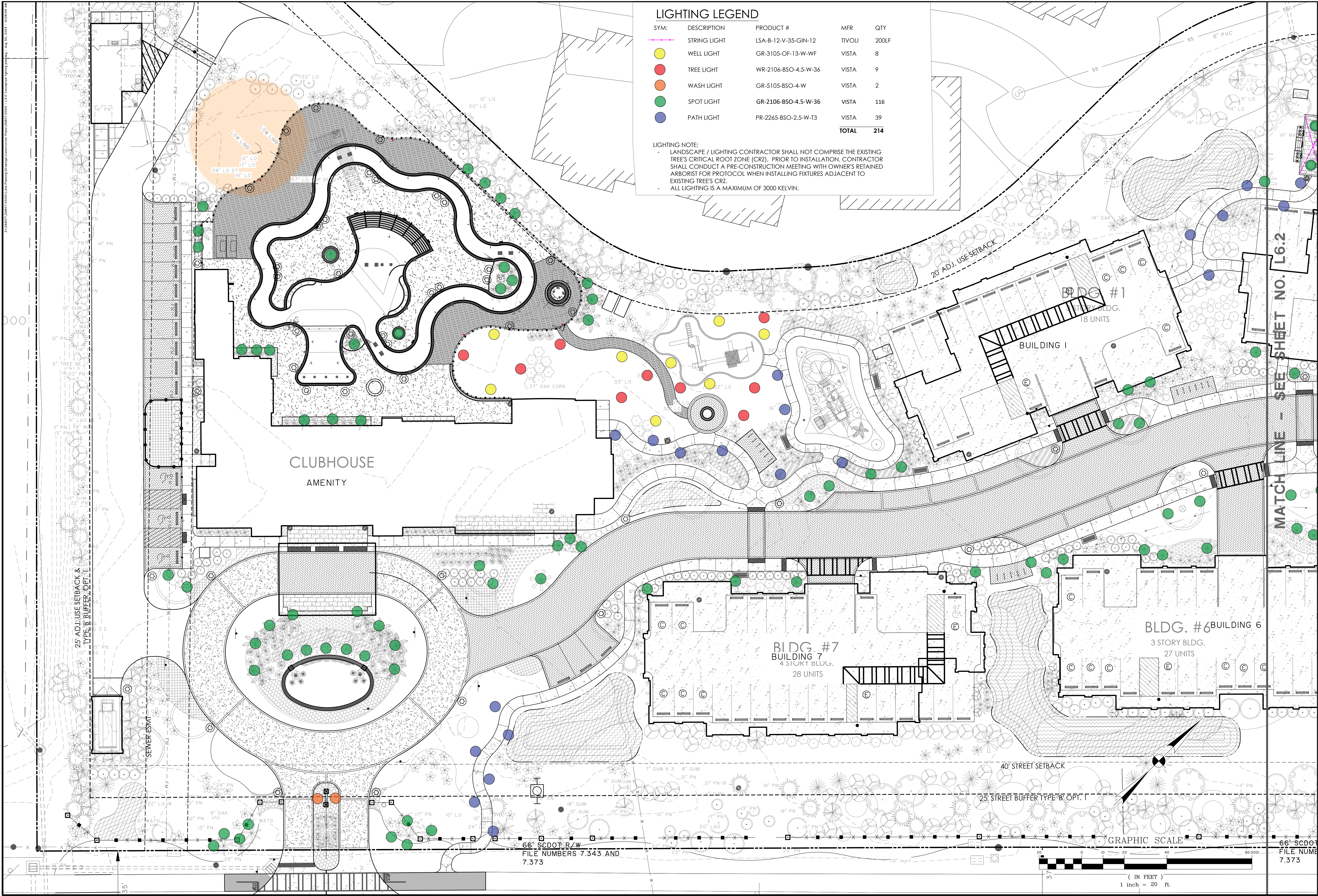


**F1140-W80300 PIRATE SHIP
 CUSTOM FUN FORM**

JND	F1140-W80300.PDF	VER.	1	OPT.	A	TYPE	FF	SHEET	1 of 1	DATE	08 - 31 - 23
DM											
		DWG NO									

Water Odyssey™ by Fountain People, Inc. - PO Box 807 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com





LIGHTING LEGEND

SYM:	DESCRIPTION	PRODUCT #	MFR	QTY
—	STRING LIGHT	LSA-B-12-V-35-GIN-12	TIVOLI	200LF
●	WELL LIGHT	GR-3105-OF-13-W-WF	VISTA	8
●	TREE LIGHT	WR-2106-BSO-4.5-W-36	VISTA	9
●	WASH LIGHT	GR-5105-BSO-4-W	VISTA	2
●	SPOT LIGHT	GR-2106-BSO-4.5-W-36	VISTA	116
●	PATH LIGHT	PR-2265-BSO-2.5-W-T3	VISTA	39
			TOTAL	214

LIGHTING NOTE:
 - LANDSCAPE / LIGHTING CONTRACTOR SHALL NOT COMPROMISE THE EXISTING TREE'S CRITICAL ROOT ZONE (CRZ). PRIOR TO INSTALLATION, CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH OWNER'S RETAINED ARBORIST FOR PROTOCOL WHEN INSTALLING FIXTURES ADJACENT TO EXISTING TREE'S CRZ.
 - ALL LIGHTING IS A MAXIMUM OF 3000 KELVIN.

**PRELIMINARY
NOT
FOR CONSTRUCTION**

NO.	REVISIONS	BY	DATE

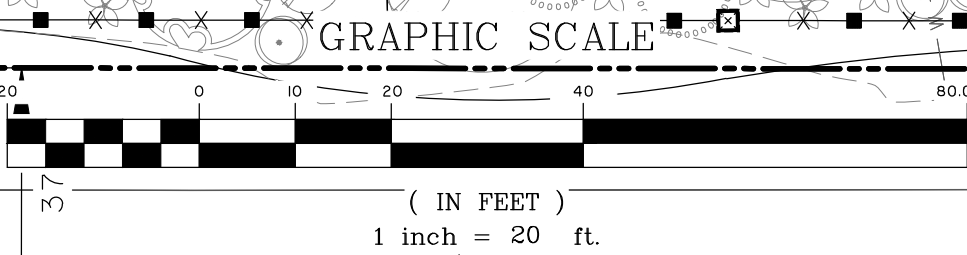
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 www.thomasandhutton.com

HH ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 THE MAIDENCANE
 CONCEPTUAL LIGHTING PLAN

JOB NO: J-26807.0000
 DATE: 7/20/2023
 DRAWN: CGC
 DESIGNED: ETW
 REVIEWED: JRW / JLG
 APPROVED: NBL / JLG
 SCALE: 1" = 20'

L6.1

MATCH LINE - SEE SHEET NO. L6.2



66' SCDOT R/W
 FILE NUMBERS 7.343 AND 7.373

66' SCDOT
 FILE NUMBER 7.373



SPECIFICATION SHEET

MODEL 3105 Landscape Series • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-3105-B-4.5-W-SP

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR - ABS ground stake WR - Wall-mount canopy TR - Tree-mount J-box	3105	Standard B - Black Z - Architectural Bronze DZ - Dark Bronze GT - Granite W - White Premium BR - Architectural Brick LZ - Light Bronze SB - Special Bronze GG - Glossy Gray R - Rust HG - Hunter Green WB - Weathered Bronze WI - Weathered Iron GM - Graphite Metallic Hand Finished G - Verde P - Pewter M - Mocha OF - Olde Finish	4.5 9.5 13	27 - 2700K W - Warm 35 - 3500K N - Neutral C - Cool	VNS - Very Narrow Spot SP - Spot MF - Medium Flood WF - Wide Flood	BD - Barn Doors FS - Full Light Shield HS - Half Light Shield HL - Honeycomb Louver 5 - 5' Wire Lead NOTE: * If fixture to be used with Extended Arm Mount (EAM) - <u>must order</u> with extended wire length

Fixtures shipped with standard lamp, unless otherwise specified.
 Fixtures shipped with specified mounting hardware.

LUMEN OUTPUT PACKAGES



Beam Spread	4.5	9.5	13
VNS	4.5 Watts 135 Lumens	9.5 Watts 214 Lumens	13 Watts 269 Lumens
SP	4.5 Watts 364 Lumens	9.5 Watts 566 Lumens	13 Watts 738 Lumens
MF	4.5 Watts 321 Lumens	9.5 Watts 487 Lumens	13 Watts 711 Lumens
WF	4.5 Watts 332 Lumens	9.5 Watts 542 Lumens	13 Watts 686 Lumens

Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



PROFESSIONAL
OUTDOOR LIGHTING

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 2265-BSO Landscape Series • Brass & Copper • Path & Spread Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, brass.

STEM:

1/2" brass pipe with 1/2" NPT.

FINISH:

Olde Brass

LENS:

Clear, high-impact, polycarbonate lens.

LAMP TYPE:

Vista T3 LED lamp only, 2.5 watt standard.

ELECTRICAL:

Input voltage range 9-15V AC, regulated to achieve uniform illumination throughout the cable run of fixtures.

MOUNTING:

Bottom of stem threaded with 1/2" NPT. Fixture may be mounted into threaded hubs in junction boxes, ground stakes, or floor-mounting canopies. Please see fixture ordering information for mounting selection.

FASTENERS:

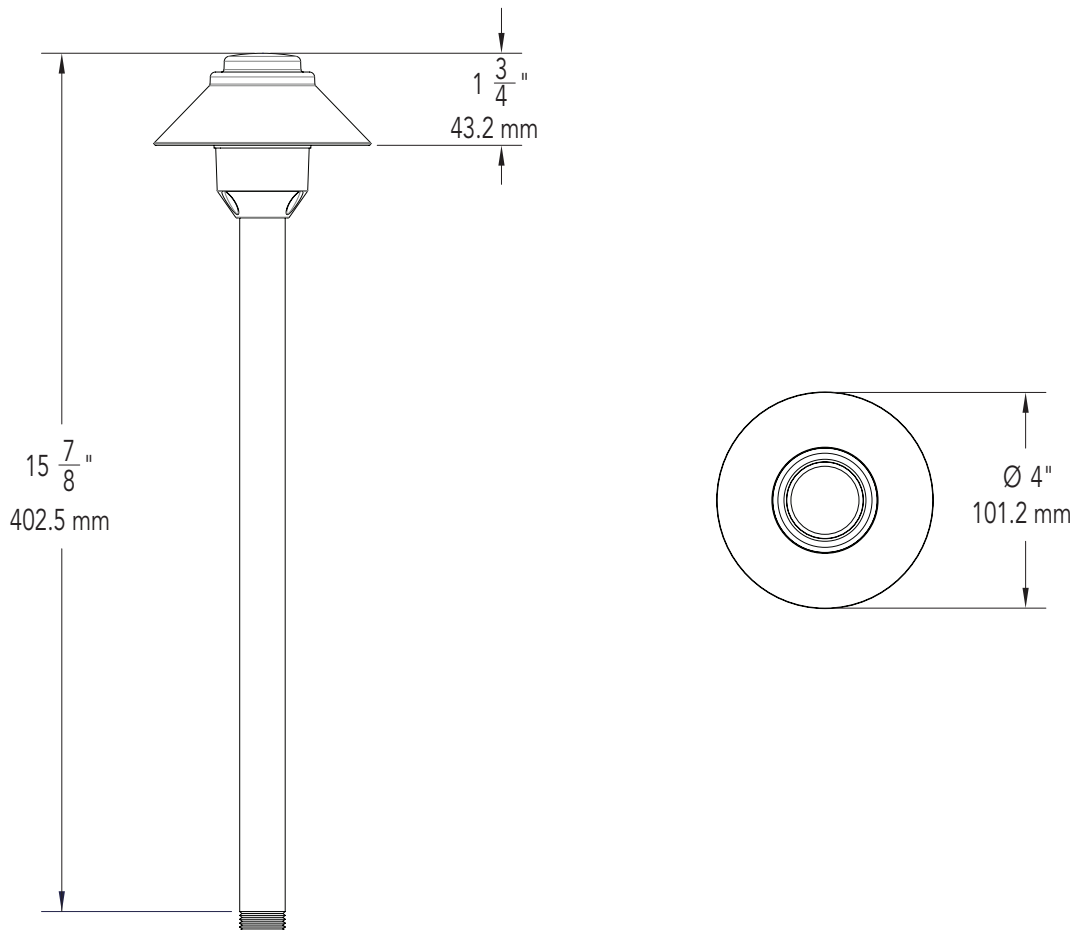
All fasteners are stainless steel.

WIRING:

Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

Designed and Assembled **IN THE U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2265-BSO Landscape Series • Brass & Copper • Path & Spread Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: PR-2265-BSO-2.5-W-T3

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	LAMP
PR - ABS ground stake	2265	BSO - Olde Brass	2.5	W - Warm	T3

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING/SHROUD:

Heavy-gauge, extruded, solid brass housing fitted to a precision CNC-machined, solid brass base. A solid brass lens-retaining flange and high temperature, clear silicone seal – provides a superior weather-tight seal.

FINISH:

Olde Brass.

SOCKET/LAMP HOLDER:

Top grade ceramic socket with nickel contacts, stainless steel springs, and Teflon-jacketed wire leads.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens. Optical effect lenses are available; see accessories column on fixture ordering information chart.

LAMP TYPE:

MR-16 LED Lamp Only - 36° Flood, 4.5W is standard.

Optics:

Available in 15° Narrow Spot, 25° Spot, 36° Flood, or 60° Wide Flood distributions.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

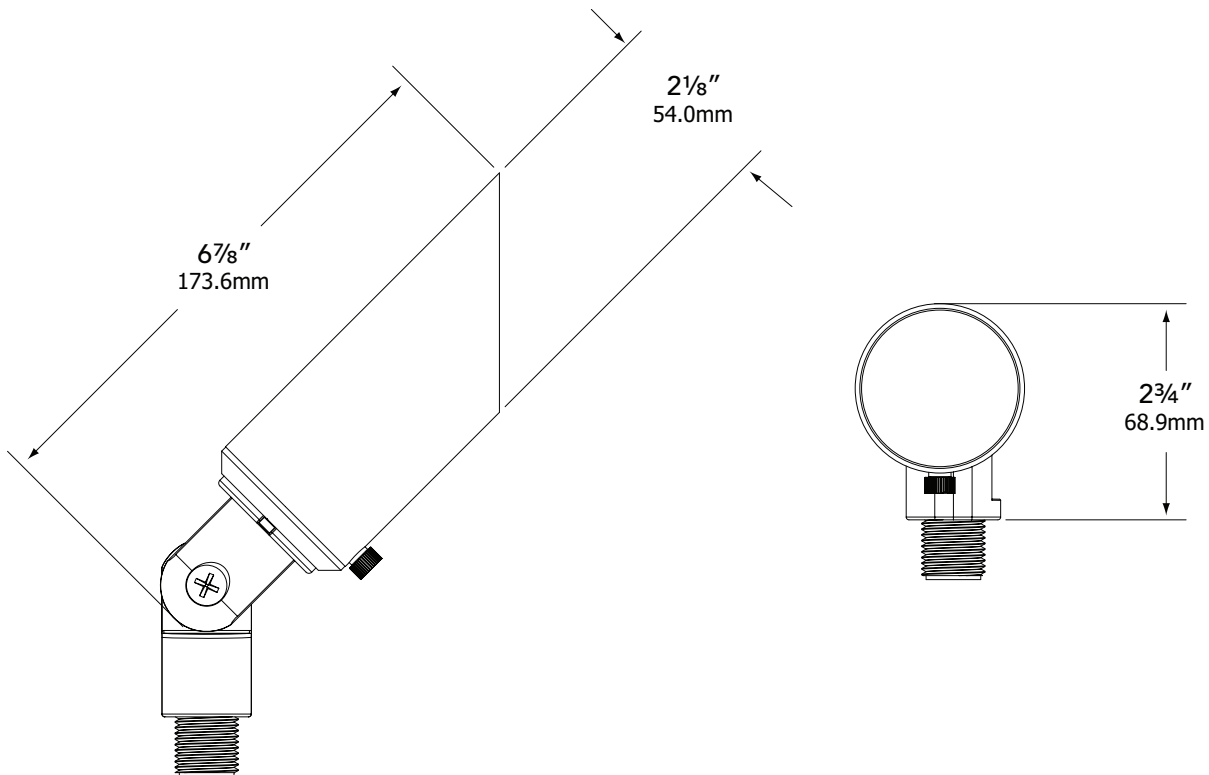
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-2106-BSO-4.5-W-25-SL

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR- ABS ground stake WR- Wall-mount canopy TR- Tree-mount junction box	2106	BSO - Olde Brass	4.5 5.5	W - Warm	15 - 15° Narrow Spot 25 - 25° Spot 36 - 36° Flood 60 - 60° Wide Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Spread Lens DBL - Flat Dark Blue Lens GL - Flat Dark Green Lens RL - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Louver

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING/SHROUD:

Heavy-gauge, extruded, solid brass housing fitted to a precision CNC-machined, solid brass base. A solid brass lens-retaining flange and high temperature, clear silicone seal – provides a superior weather-tight seal.

FINISH:

Olde Brass.

SOCKET/LAMP HOLDER:

Top grade ceramic socket with nickel contacts, stainless steel springs, and Teflon-jacketed wire leads.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens. Optical effect lenses are available; see accessories column on fixture ordering information chart.

LAMP TYPE:

MR-16 LED Lamp Only - 36° Flood, 4.5W is standard.

Optics:

Available in 15° Narrow Spot, 25° Spot, 36° Flood, or 60° Wide Flood distributions.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

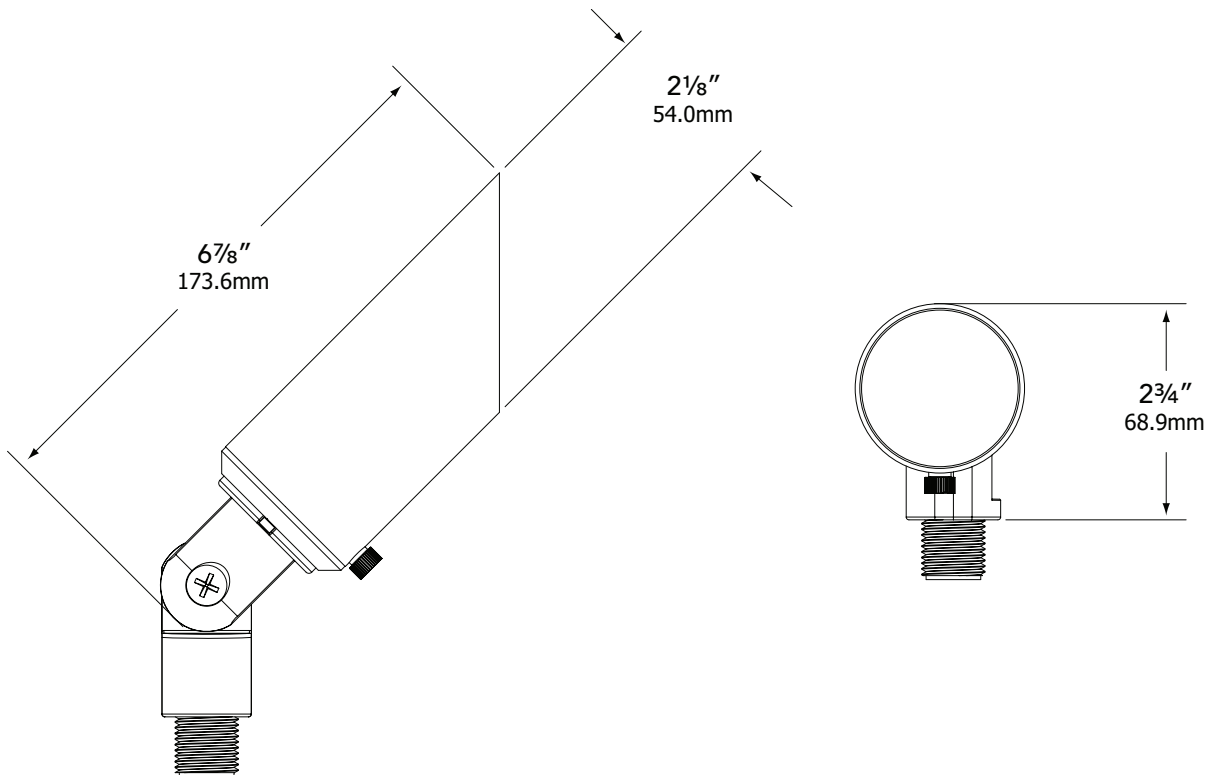
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2106 Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-2106-BSO-4.5-W-25-SL

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	DISTRIBUTION	ACCESSORIES
GR- ABS ground stake WR- Wall-mount canopy TR- Tree-mount junction box	2106	BSO - Olde Brass	4.5 5.5	W - Warm	15 - 15° Narrow Spot 25 - 25° Spot 36 - 36° Flood 60 - 60° Wide Flood	FR - Frosted Lens BL - Flat Cool Blue Lens SL - Flat Spread Lens DBL - Flat Dark Blue Lens GL - Flat Dark Green Lens RL - Flat Red Lens YL - Flat Amber Lens HL - Honeycomb Louver

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 5105-BSO Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, brass.

FINISH:

Olde Brass.

LENS:

Tempered, shock and heat resistant, soda-lime glass lens.

LAMP TYPE:

LED Lamp Only - 2W, 3W & 4W (3W is standard). Color temperature available in W-Warm (3000K), N-Neutral (4000K), C-Cool (5000K).

ELECTRICAL:

Input voltage range 9 - 15V AC regulated to achieve uniform illumination throughout the cable run of fixtures.

MOUNTING:

Die-cast brass adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

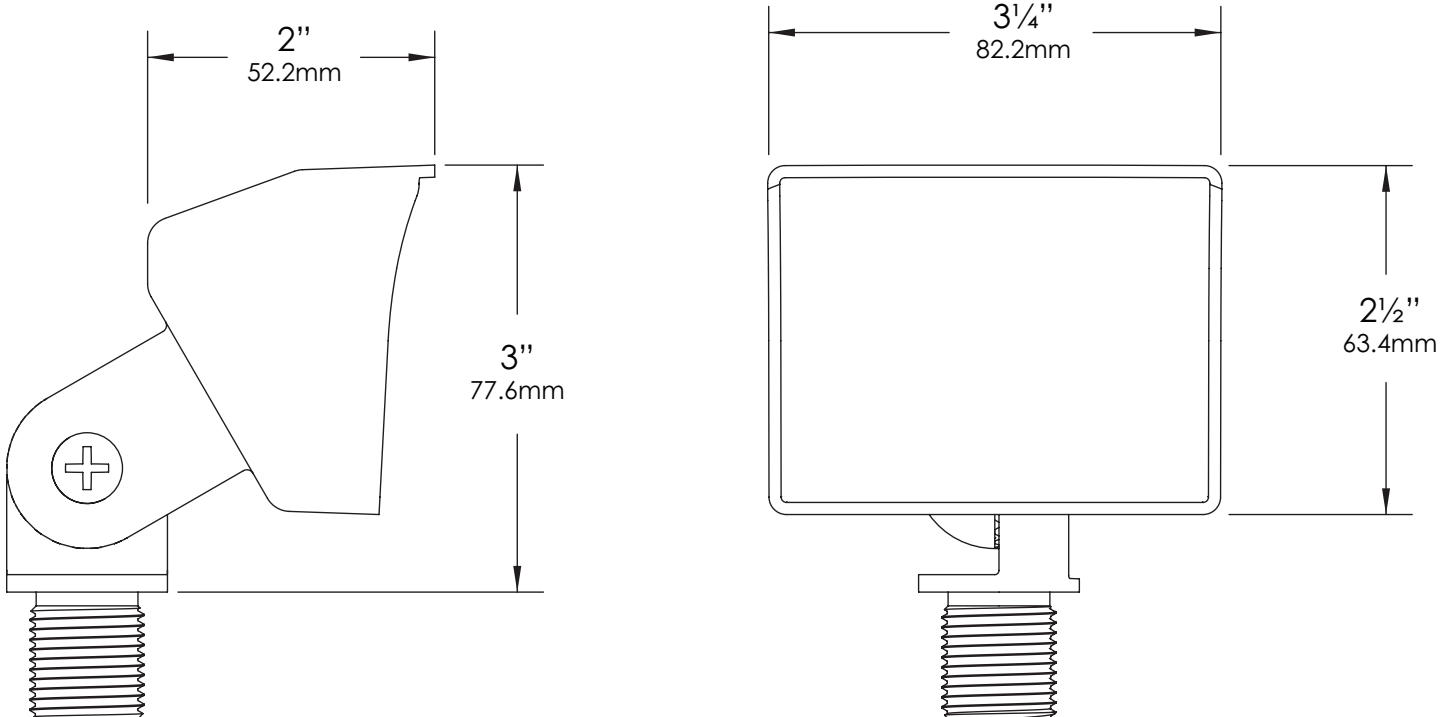
All fasteners are stainless steel.

WIRING:

Prewired with a three-foot pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

Designed and Assembled **IN THE U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 5105-BSO Landscape Series • Brass & Copper • Up & Accent Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: GR-5105-BSO-2-W-FR

MOUNTING	MODEL	FINISH	WATTAGE	COLOR TEMP	ACCESSORIES
GR- ABS ground stake TR - Tree mount J-box WR- Wall mount canopy	5105	BSO - Olde Brass	2 3 4	W - Warm N - Neutral C- Cool	FR - Frosted Lens

Fixtures shipped with specified mounting hardware.



**PROFESSIONAL
OUTDOOR LIGHTING**

Type:

Model:

Project:

SPECIFICATION SHEET

MODEL 3105 Landscape Series • Up & Accent Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Die-cast, copper-free aluminum.

SHROUD:

Die-cast, copper-free aluminum fitted to housing with a closed-cell molded silicone gasket – providing a superior weather-tight seal. Door is designed to shed water from the lens surface.

FINISH:

Durable powder coat finish available in Black, Architectural Bronze, Dark Bronze, Granite, White, Architectural Brick, Light Bronze, Special Bronze, Glossy Gray, Rust, Hunter Green, Weathered Bronze, Weathered Iron, Graphite Metallic, Verde, Pewter, Mocha and Olde Finish. Custom Powder coat finishes available on request.

LENS:

Clear, tempered, shock and heat-resistant, soda-lime glass lens.

LAMP TYPE:

LED Lamp Only - Cree® MT-G2 High Density Array (HDA) driven at 4.5-watts, 9.5-watts, or 13-watts. Color temperature available in 27 - (2700K), W - Warm (3000K), 35 - (3500K), N - Neutral (4000K), C - Cool (5000K).

ELECTRICAL:

Input voltage range 9 - 15V AC.

OPTICS:

Available in VNS - Very Narrow Spot, SP - Spot, MF - Medium Flood, or WF - Wide Flood.

MOUNTING:

Injection-molded composite adjustable knuckle with 1/2" NPS thread. Fixture may be mounted into threaded hubs in junction boxes, ground stakes (GR), tree mount boxes (TR), or mounting canopies (WR).

FASTENERS:

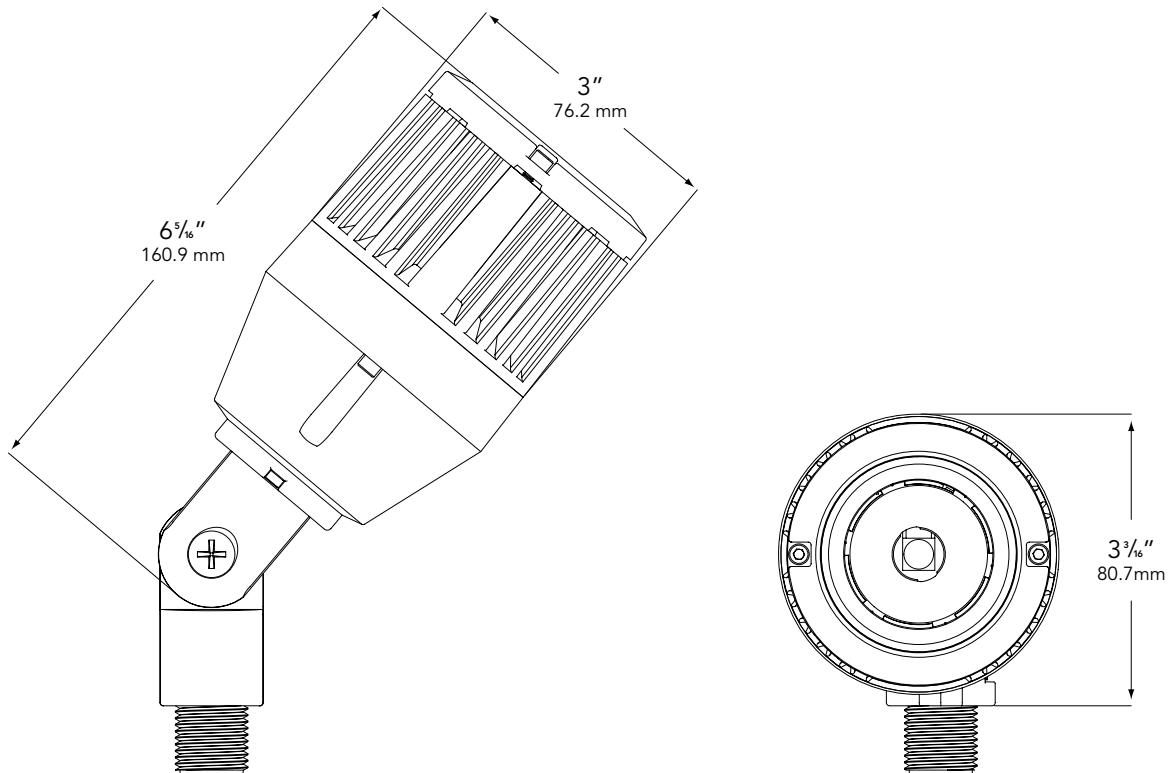
All fasteners are stainless steel.

WIRING:

Prewired with a 36" pigtail of 18-2 direct-burial cable and underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.

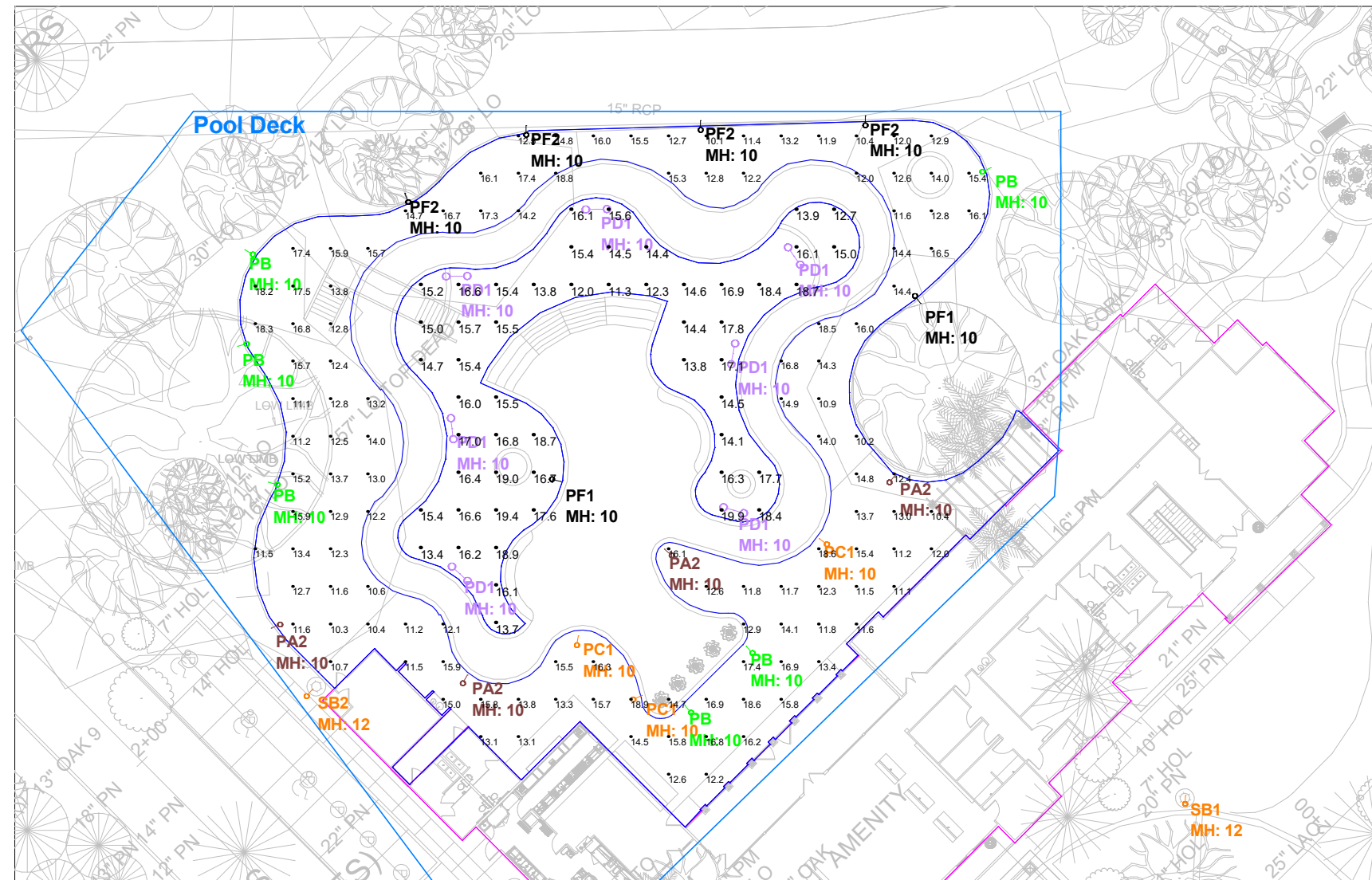
Amenity Center Height: 15'-0"
 Mounting Height: noted at luminaire location, to bottom of luminaire

Reflectance: Building: 50%, Pool Deck: 20%
 Calculation Height: 0'-0"

Luminaire Schedule								
Symbol	Qty	Label	Tag	Arrangement	LLF	Lum Lumens	Description	Total Watts
—○	4	EMM-E03-SL3	PA2	SINGLE	0.920	7929	EMM-E03-LED-E1-SL3-7030	300.8
—○	6	EMM-E04-T4	PB	SINGLE	0.920	10506	EMM-E04-LED-E1-T4-7030	583.2
—○	3	EMM-E03-SL4	PC1	SINGLE	0.920	7736	EMM-E03-LED-E1-SL4-7030	225.6
—○	7	EMM-E04-5WQ-2	PD1	Back-Back	0.920	10914	EMM-E04-LED-E1-5WQ-7030-b2b	1360.8
—○	2	EMM-E03-SL2	PF1	SINGLE	0.920	7886	EMM-E03-LED-E1-SL2-7030	150.4
—○	4	EMM-E02-SL2	PF2	SINGLE	0.920	5257	EMM-E02-LED-E1-SL2-7030	208.4
—○	1	EMM-E03-T2	SA	SINGLE	0.920	8078	EMM-E03-LED-E1-T2-7030	75.2
—○	1	EMM-E03-T3	SB	SINGLE	0.920	8046	EMM-E03-LED-E1-T3-7030	75.2
—○	21	EMM-E02-T3	SB1	SINGLE	0.920	5364	EMM-E02-LED-E1-T3-7030	1094.1
—○	3	EMM-E03-SL4	SB2	SINGLE	0.920	7736	EMM-E03-LED-E1-SL4-7030	225.6

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
Drive_Grade	Illuminance	Fc	1.6	4.9	0.2	8.15	24.50	10	10
Spill Light_Grade	Illuminance	Fc	0.0	2.1	0.0	N.A.	N.A.	10	10
Surface Parking Lot	Illuminance	Fc	1.4	2.6	0.2	7.00	13.00	10	10
Pool Deck	Illuminance	Fc	14.5	19.9	10.1	1.44	1.97		

- Notes:
- Calculations based on all pool deck and parking luminaires on.
 - Calculations do not include landscape lighting.



The calculations provided in this report are predicted lighting levels based on the above described input data and characteristics. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Ardd & Winter, Inc. assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures will physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

Where backgrounds are shown, these are typically used for reference purposes only, unless noted otherwise. Additional details available upon request.



Calculations By: WES
 Revised By:
 Date: 9/2/2022
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive- Pool Deck
 Revision: P6

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the Epic luminaire). **MIDSECTION:** Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel assembly. **SHADES:** Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form. **DOORFRAME:** Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics

Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from

injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard

with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ECM/EMM EPIC MEDIUM LED

1 - 4 LightBARs
Solid State LED

DECORATIVE AREA LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
DesignLights Consortium® Qualified*
IP66 LightBARs
LM79 / LM80 Compliant
2G Vibration Tested
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

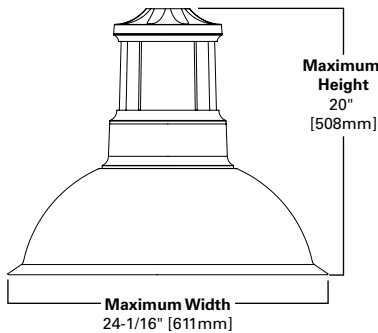
Effective Projected Area: (Sq. Ft.) 0.94

SHIPPING DATA

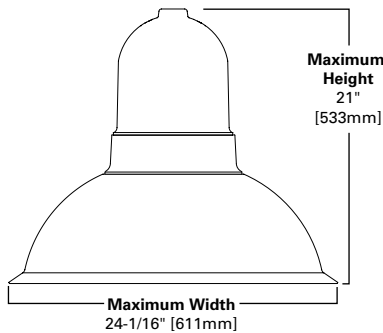
Approximate Net Weight:
45 lbs. [20 kgs.]

DIMENSIONS

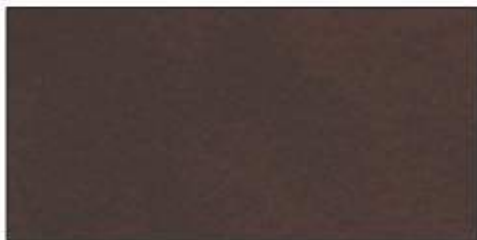
ECM Classical



EMM Modern

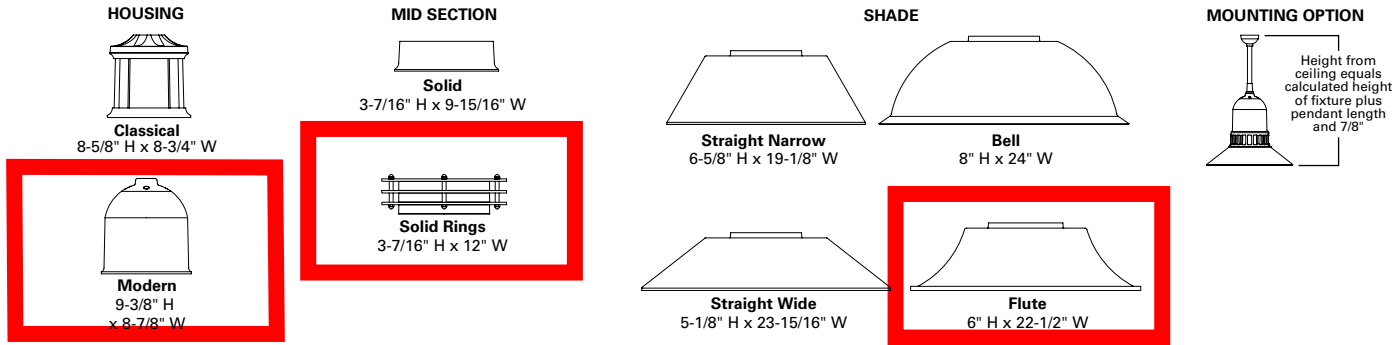


See configurations for more detailed information.



Bronze (BZ)

CONFIGURATIONS



POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)

Number of LightBARs	E01	E02	E03	E04	
Drive Current	350mA Drive Current				
Power (Watts)	25W	52W	75W	97W	
Current @ 120V (A)	0.22	0.44	0.63	0.82	
Current @ 277V (A)	0.10	0.20	0.28	0.36	
Power (Watts)	31W	58W	82W	99W	
Current @ 347V (A)	0.11	0.19	0.28	0.29	
Current @ 480V (A)	0.09	0.15	0.20	0.21	
T2	Lumens	2,948	5,896	8,844	11,792
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T3	Lumens	2,936	5,873	8,809	11,745
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T4	Lumens	2,876	5,752	8,627	11,503
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3
5MQ	Lumens	3,054	6,108	9,161	12,215
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5WQ	Lumens	2,987	5,975	8,962	11,949
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,982	5,963	8,945	11,926
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3
SL2	Lumens	2,878	5,756	8,634	11,512
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,894	5,788	8,682	11,576
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL4	Lumens	2,823	5,647	8,470	11,294
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
RW	Lumens	2,957	5,915	8,872	11,829
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,616	5,231	7,847	10,462
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3

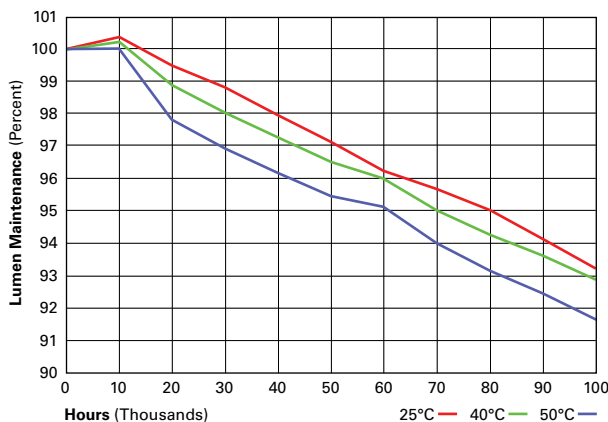
POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBARS)

Number of LightBARs	F01	F02	F03	F04	
Drive Current	1A Drive Current				
Power (Watts)	26W	55W	78W	102W	
Current @ 120V (A)	0.22	0.46	0.66	0.86	
Current @ 277V (A)	0.10	0.21	0.29	0.37	
Power (Watts)	32W	60W	85W	105W	
Current @ 347V (A)	0.11	0.19	0.28	0.30	
Current @ 480V (A)	0.09	0.15	0.21	0.22	
T2	Lumens	2,434	4,867	7,301	9,735
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T3	Lumens	2,424	4,848	7,272	9,696
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T4	Lumens	2,374	4,748	7,122	9,496
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
5MQ	Lumens	2,521	5,042	7,563	10,084
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
5WQ	Lumens	2,466	4,932	7,398	9,864
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,461	4,923	7,384	9,845
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G3
SL2	Lumens	2,376	4,752	7,127	9,503
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,389	4,778	7,167	9,556
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2
SL4	Lumens	2,331	4,662	6,993	9,323
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
RW	Lumens	2,441	4,883	7,324	9,765
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,159	4,318	6,478	8,637
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99
50°C	0.96

CONTROL OPTIONS

0-10V (DIM)

The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PC, PER and PER7)

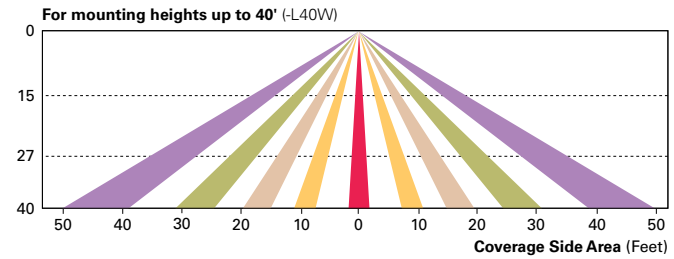
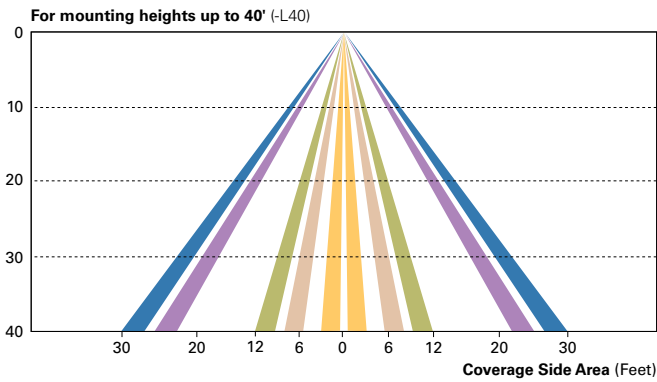
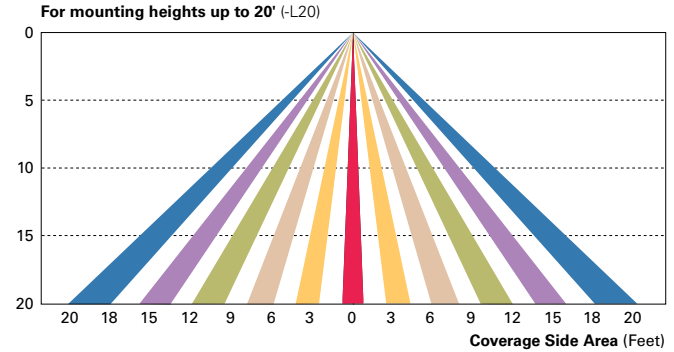
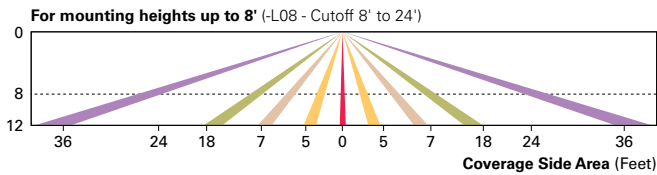
Optional button-type photocontrol (PC) and photocontrol receptacles (PER and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

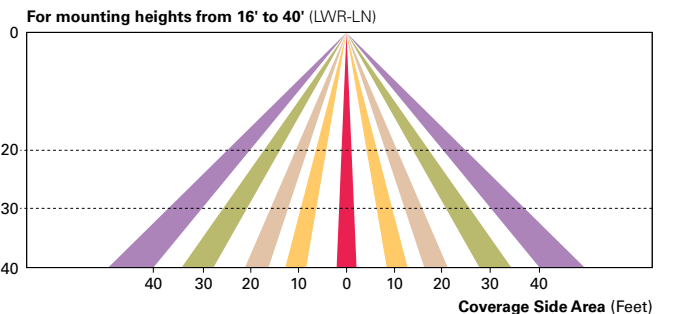
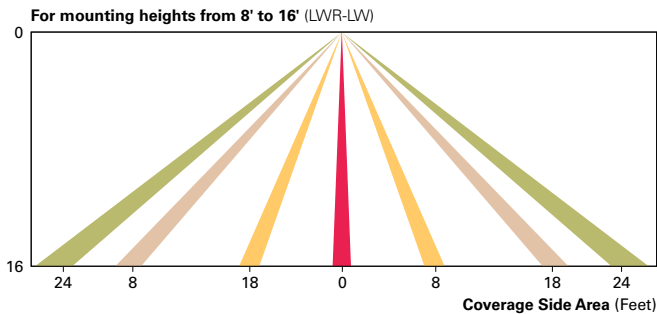
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8’-40’.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)


The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

Sample Number: ECM-E04-LED-E1-T2-FL-GM

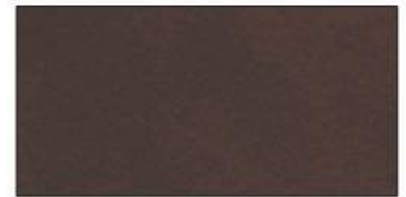
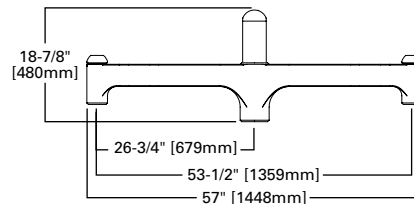
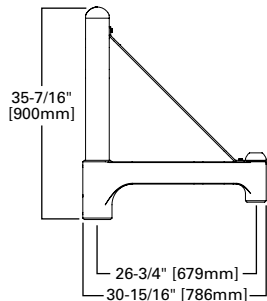
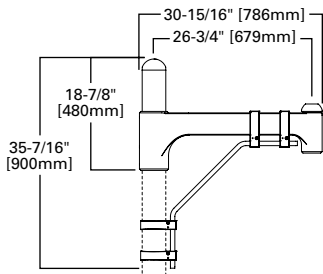
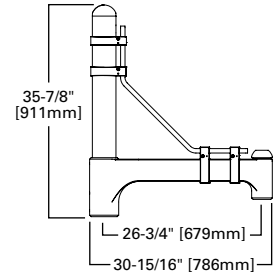
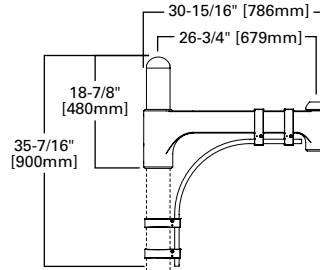
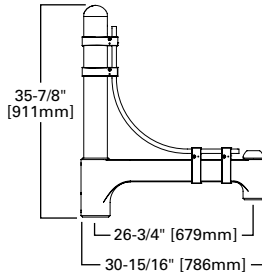
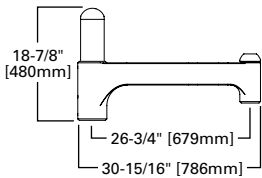
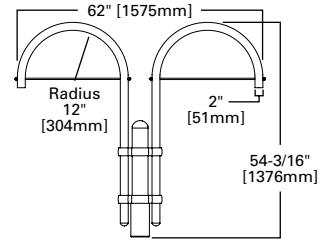
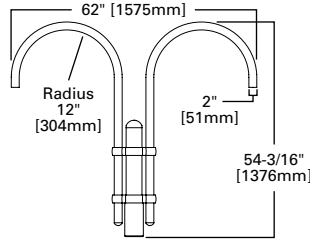
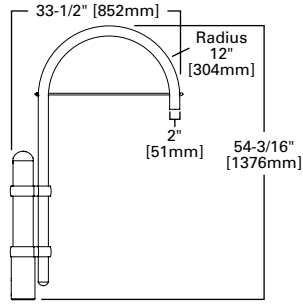
Product Family ¹	Number of LightBARs ^{2,3}	Lamp Type	Voltage	Distribution	Mid Section Type	Shade Type	Color ⁵
ECM=Epic Classical Medium EMM=Epic Modern Medium	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs E03=(3) 21 LED LightBARs E04=(4) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs F03=(3) 7 LED LightBARs F04=(4) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ⁴	T2=Type II T3=Type III T4=Type IV SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control 5MQ=Type V Square Medium 5WQ=Type V Square Wide 5XQ=Type V Square Extra Wide RW=Rectangular Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	SQ=Solid SR=Solid Rings	SN=Straight Narrow SW=Straight Wide BL=Bell FL=Flute	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)		Accessories (Order Separately) ¹³					
2L=Two Circuits ⁶ 7030=70 CRI / 3000K CCT ⁷ 7050=70 CRI / 5000K CCT ⁷ 8030=80 CRI / 3000K CCT ⁷ LCF=LightBAR Cover Plate Matches Housing Finish MS-LXX=Motion Sensor for ON/OFF Operation ⁸ MS/X-LXX=Motion Sensor for Bi-Level Switching ⁹ PMXX=Pendant Mount (XX=Pendant Length in Inches, 9.5" min - 48.0" max) ¹⁰ HSS=Factory Installed House Side Shield ¹¹ DIM=0-10V Dimming Driver ¹²		OA/RA1016=NEMA Twistlock Photocontrol - Multi-Tap OA/RA1027=NEMA Twistlock Photocontrol - 480V OA/RA1201=NEMA Twistlock Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap LB/HSS-21=Field Installed House Side Shield for "E" LightBARs ^{11,15} LB/HSS-07=Field Installed House Side Shield for "F" LightBARs ^{11,15} Mounting Accessories (Order Separately) Classical VA6150-XX=Bishop Wall Mount Arm VA6151-XX=Bishop Wall Mount Arm with Cross Rod VA6152-XX=Traditional Wall Mount Arm VA6153-XX=Traditional Wall Mount Arm with 45° Strap VA6154-XX=Bishop Single Pole Mount Arm VA6155-XX=Bishop Single Pole Mount Arm with Cross Rod VA6156-XX=Bishop Twin Pole Mount Arm VA6157-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6158-XX=Traditional Single Pole Mount Arm VA6159-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6160-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6161-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6162-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6163-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6165-XX=Traditional Twin Pole Mount Arm VA6166-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6167-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6168-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6169-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6170-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6171-XX=Mast Arm Adapter Modern VA6101-XX=Bishop Wall Mount Arm VA6102-XX=Bishop Wall Mount Arm with Cross Rod VA6103-XX=Traditional Wall Mount Arm VA6104-XX=Traditional Wall Mount Arm with 45° Strap VA6105-XX=Bishop Single Pole Mount Arm VA6106-XX=Bishop Single Pole Mount Arm with Cross Rod VA6107-XX=Bishop Twin Pole Mount Arm VA6108-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6109-XX=Traditional Single Pole Mount Arm VA6110-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6111-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6112-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6113-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6114-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6116-XX=Traditional Twin Pole Mount Arm VA6117-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6118-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6119-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6120-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6121-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6122-XX=Mast Arm Adapter				Accessory Options ¹⁶ V=Victorian Finial ¹⁷ M=Modern Finial ¹⁷ A=Architectural Finial ¹⁷ N=Nostalgic Finial ¹⁷ R=NEMA Twistlock Photocontrol Receptacle ¹⁸	
						 <p>Bronze (BZ)</p>	

- NOTES:**
1. Arm not included. Order separately. See accessories.
 2. Standard 4000K CCT and greater than 70 RL.
 3. 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 5. Custom and RAL color matching available upon request. Consult your lighting representative at Cooper Lighting Solutions for more information.
 6. Low-level output varies by bar count. Consult factory. Requires quantity of two or more LightBARs.
 7. Consult customer service for lead times and multiplier.
 8. Sensor mounted to the luminaire. Available in E01-E04 and F01-F04 configurations. Replace "XX" with mounting height in feet for proper lens selection, (e.g., MS-L25). Consult factory for additional information.
 9. Sensor mounted to the luminaire. Available in E02-E04 and F02-F04 configurations. Replace "X" with number of LightBARs operating in low output mode and replace XX with mounting height in feet for proper lens selection, (e.g., MS/3-L25). Maximum four bars in low output mode. Consult factory for additional information.
 10. Pendant mount option "PMXX" must be used with Invue Pendant mount kit only. Includes pendant pipe, swivel hangar and canopy cover. Other pendant lengths can be specified in inches (XX). Minimum pendant length is 9-1/2". For lengths above 48", consult your lighting representative at Cooper Lighting Solutions for more information.
 11. Only for use with SL2, SL3 and SL4 distributions.
 12. Dimming leads provide for external 0-10V control system (by others).
 13. Replace XX with color suffix.
 14. Only available with traditional arms.
 15. One required for each LightBAR.
 16. Add as suffix to mounting accessory. Example: VA6106-BK-R.
 17. Not available with finials, pendant mount "PM48" or bishop wall mounts.
 18. Requires use of 4" O.D. round straight pole.

MOUNTING ACCESSORIES

Pole mount arms are designed to fit both medium ECM/EMM housings. (Only these arms are compatible with the Epic luminaire). Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners. Wall mount arms compliment pole mount luminaires and attractively transition fixture scale in lower mounting height pedestrian environments. Wall mount arms are designed to fit both medium ECM/EMM housings. Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners.

BISHOP SINGLE POLE MOUNT ARM
 VA6105 (Modern), VA6154 (Classical)
 Slipfits over 4" round straight pole, or 4" O.D. by 6" tall round tenon.
 Weight: 24 lbs. E.P.A: 0.92



Bronze (BZ)



Catalog #		Type
Project		
Comments		Date
Prepared by		

DECORATIVE ALUMINUM POLES

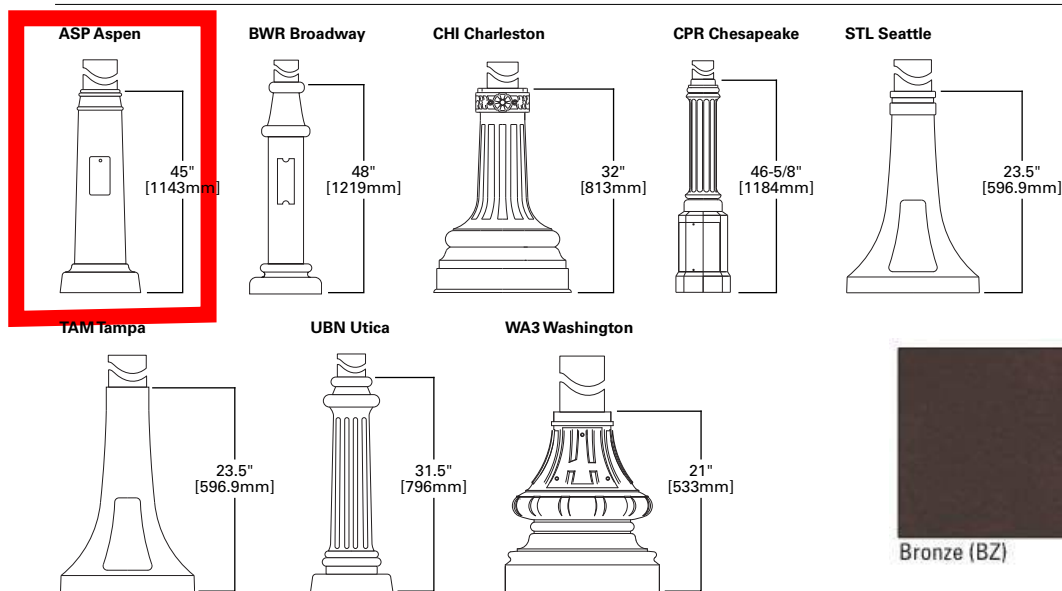
DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

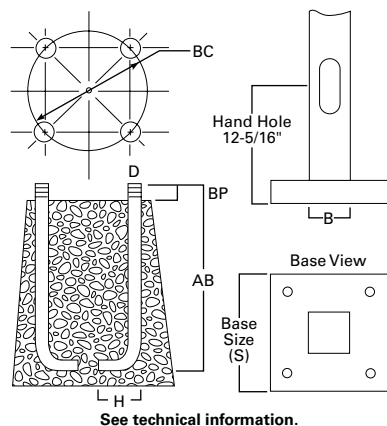
NOTE: The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

BASE HEIGHT DIMENSIONS



ANCHORAGE DATA



Pole	Anchor Bolt and Template Package	Shaft Diameter (inches)	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)	Template Only
Aspen (ASP)	317AVE40S	10 x 4	14.19 + - 0.81	4	3/4 x 17	406541D
Broadway (BWR) ¹	317RB408	8 x 4	12	4	3/4 x 17	405592D
Broadway (BWR) ²	436RB408	8 x 4	12	4	1 x 36	227878D
Charleston (CHI)	317RB4HN	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227095D
Chesapeake (CPR)	317RB4WI	4, 5	13.25	4	3/4 x 17	227116D
Seattle (STL)	317AVE10	4	9	4	3/4 x 17	407040D
Tampa (TAM)	317AVE30	5 x 4	16	4	3/4 x 17	407040D
Utica (UBN)	317RB4SC	4, 5	12.5	4	3/4 x 17	227314D
Washington (WA3)	317RB4WA	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227077D

NOTES: 1. Anchor bolt set should be for up to 16' mounting height. 2. Anchor bolt set should be for up to 17' and over mounting height.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 15 Wimbledon

DRB#: DRB-001566-2023

DATE: 9/12/2023

CATEGORY: Concept Final **Alteration/Addition**

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

CONDITIONS & COMMENTS

The full project received Conceptual approval on July 27, 2021.

The full project received Final approval with conditions on October 12, 2021

This alteration to the full project received Final approval for the updated entrance sign on August 22, 2023 and requested to return at this meeting, on September 12th for final approval of the fountain, the play structure, the updating planting schedule and the updated pool lighting for night accessibility.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Dale N. Strecker, AIA Company: Hord Coplan Macht
 Mailing Address: P.O. Box 5910 City: Hilton Head Island State: SC Zip: 29938
 Telephone: 843-785-2199 Fax: N/A E-mail: dstrecker@HCM2.com
 Project Name: New Overlook at Driessen Beach Park Project Address: 64 Bradley Beach Road
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 3 5 8 0 0 0 0
 Zoning District: PR - Parks and Recreation Overlay District(s): COD - Corridor Overlay District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 ** Filing fee to be paid by Town of Hilton Head Island
 ** Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

As discussed with Town Staff, in lieu of a color board, photos of existing facility that new is to match are provided.

Additional Submittal Requirements:

Final Approval – Proposed Development

- ✓ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ✓ Final site development plan meeting the requirements of Appendix D: D-6.F.
- N/A Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ✓ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ↖ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- N/A Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

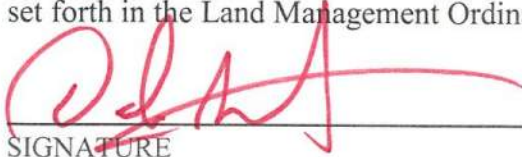
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

August 28, 2023
DATE

August 28, 2023

To: Town of Hilton Head Island Design Review Board (DRB)
Re: New Overlook at Driessen Beach Park
Design Review Board Narrative

Hord Coplan Macht, formerly The FWA Group, is working with the Town of Hilton Head Island to develop plans for a new overlook at Driessen Beach Park.

Accommodating those residents and visitors who are physically limited in their ability to traverse the sand at Driessen Beach Park has been a continued need. This overlook gives those individuals the opportunity to enjoy the beach and ocean views by providing a foot-stable, covered environment.

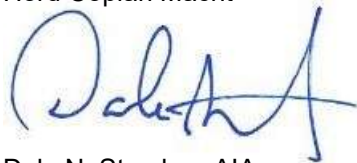
The overlook is intended to keep the same building materials and elements as existing construction at the park and other Town parks. The design of the overlook will match that at Islander's Beach Park including finishes and colors. The consistency of the materials, colors, and other elements will allow the overlook to fit seamlessly into the park's theme.

Site lighting and any required landscaping is by the Town of Hilton Head Island.

A building section detailing the overlook, guardrail and bench are included in this submission.

Kind regards,

Hord Coplan Macht



Dale N. Strecker, AIA
Project Architect

cc: Aaron Black, Facilities Manager, Town of Hilton Head Island

New Overlook at Driessen Beach Park 64 Bradley Beach Road

Project Area and Existing Facility Photographs
Design Review Board (DRB) Context Photographs

New overlook
will be located
just beyond
this heavy
landscaping



Boardwalk approach to the beach. Proposed overlook will be located to the left just beyond the heavy shrubbery.

New overlook
will be located
just beyond
this palmetto
tree



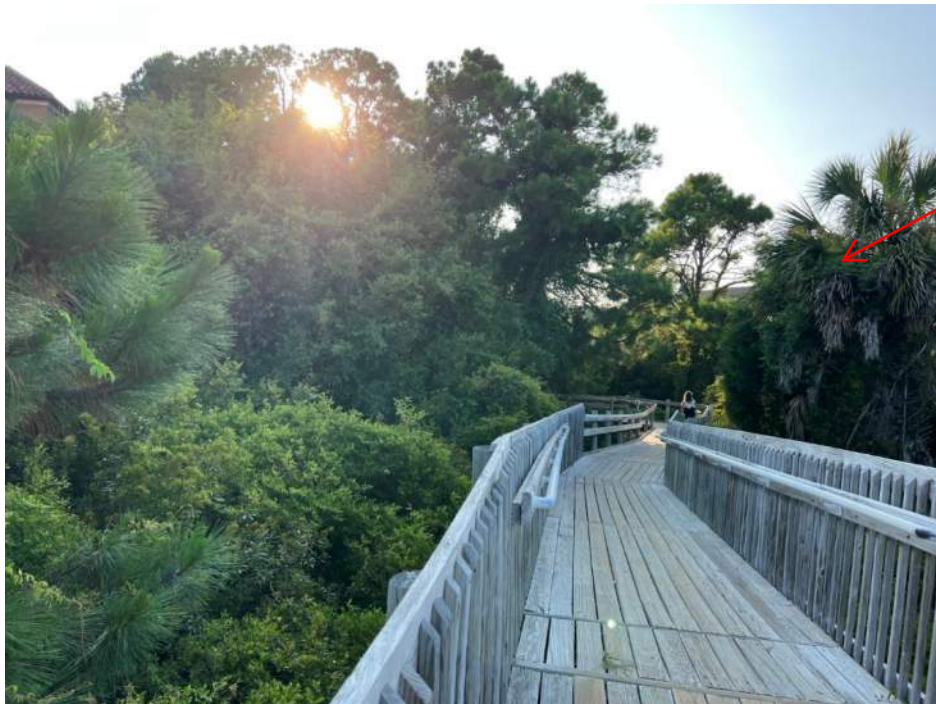
Boardwalk approach to the beach. Proposed overlook will be located to the left just beyond the heavy shrubbery.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Context Photographs



New overlook will be located in approximate location of this pine tree

Boardwalk approach to the beach. Proposed overlook will be located to the left in approximate location of pine tree.



New overlook will be located to the right, just out of view.

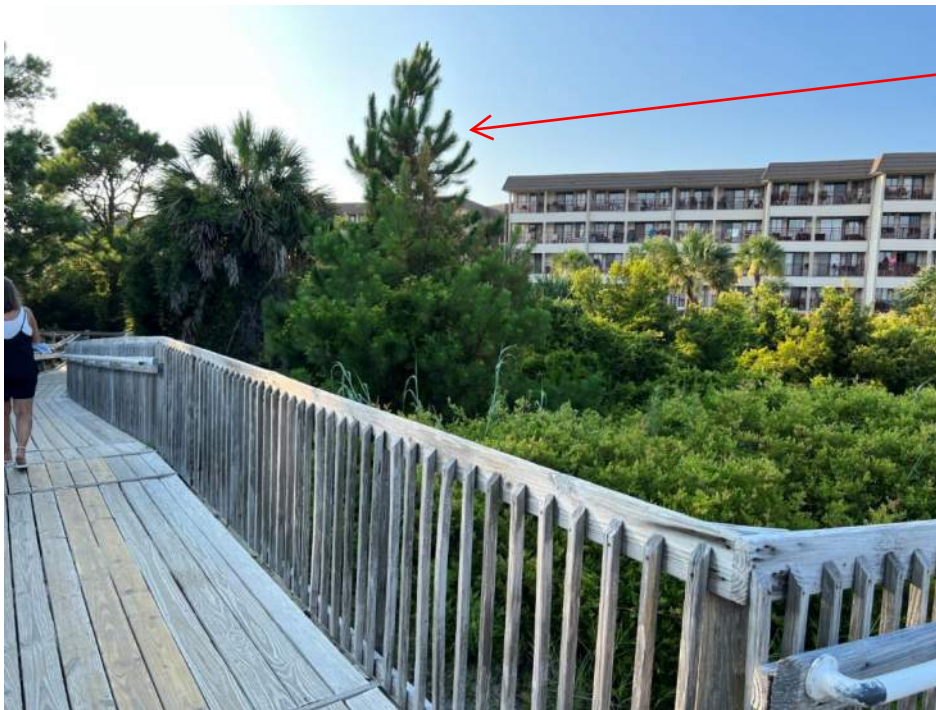
Board return to parking area. Proposed overlook will be located to the right.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Context Photographs



New overlook
will be located
in approximate
location of this
pine tree

View of home to the south of the boardwalk approach to the beach, taken from vantage point of final ramp approach to the beach. Overlook will be located in approximate location of pine tree.



New overlook
will be located
in approximate
location of this
pine tree

Boardwalk return to parking area. Proposed overlook will be located to the right in approximate location of the pine tree.
Existing multi-family complex to the north.

New Overlook at Driessen Beach Park 64 Bradley Beach Road

Islanders Beach Pavilion Photos
Driessen Beach Pavilion Finishes & Colors to Match

Asphalt Shingles

- Manufacturer: Certainteed
- Product Line: Landmark
- Color: Weathered Wood

Columns, railing, bench

- Manufacturer: Sherwin Williams
- Product Line: Woodscapes
- Color: Exterior Acrylic Solid Color Stain – A15

Beams

- Painted
- Manufacturer: Sherwin Williams
- Color: SW 7039 Virtual Taupe

Ceiling & Fascia

- Painted
- Manufacturer: Sherwin Williams
- Color: SW 7036 Accessible Beige

New Overlook at Driessen Beach Park
Design Review Board (DRB) Islanders Beach Pavilion Photos
Driessen Beach Pavilion Finishes & Colors to Match



Approach to the pavilion from the parking area.



Approach to the pavilion from the beach.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Islanders Beach Pavilion Photos
Driessen Beach Pavilion Finishes & Colors to Match



Stained bench, railing, columns.



Painted beams and ceiling.

New Overlook at Driessen Beach Park
Design Review Board (DRB) Islanders Beach Pavilion Photos
Driessen Beach Pavilion Finishes & Colors to Match



Stained columns, painted beams and ceiling.



Stained columns, painted beams and ceiling.

N/F
TOWN OF HILTON HEAD ISLAND
TMS R510 009 000 538A 0000

N/F
TOWN OF HILTON HEAD ISLAND SC
TMS R510 008 000 0358 0000

N/F
RESORT INVESTMENT CORP
TMS R510 009 000 0538 0000

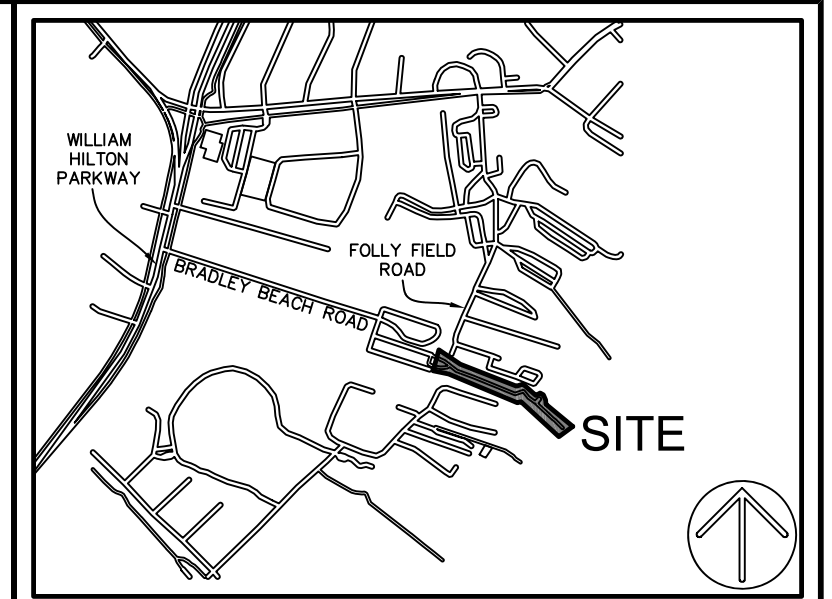
N/F
TOWN OF HILTON HEAD ISLAND SC
TMS R510 008 000 0358 0000

N/F
PRIVATE PROPERTIES REALTY
TMS R510 009 000 1096 0000

N/F
PRIVATE PROPERTIES REALTY
TMS R510 009 000 1095 0000

N/F
TOWN OF HILTON HEAD ISLAND SC
TMS R510 009 000 011A 0000

N/F
THERESA LYNN RIGGS REVOCABLE TRUST
TMS R510 009 000 011B 0000



- LEGEND
- x12.9 SPOT ELEVATION
 - ⊙ SHOWER
 - ⊙ SPIGOT
 - - - CONTOUR LINE
 - ▨ BOARDWALK
 - ▨ CARPETED WALKWAY

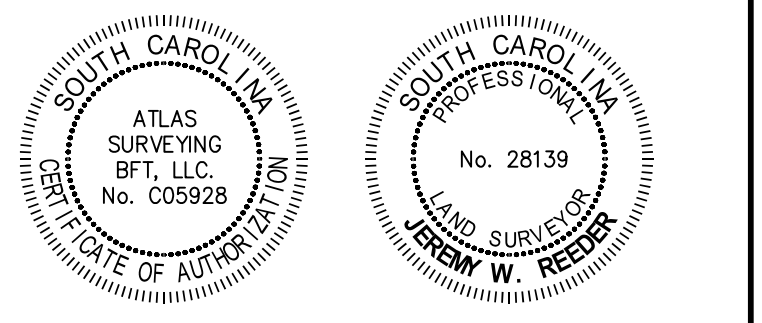
- NOTES
- THIS SECTION OF BOARDWALK APPEARS TO LIE IN MULTIPLE FLOOD ZONES, ZONE AE (ELEV. 10'), ZONE AE (ELEV. 9'), ZONE VE (ELEV. 11'), COMMUNITY 450250, MAP NUMBER 45013C0454G.
 - BUILDING SETBACKS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES, AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
 - CONTOURS ARE IN ONE FOOT INTERVALS.
 - VERTICAL DATUM IS NAVD 88.
 - HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 - BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK.

PREPARED FOR:
CRANSTON ENGINEERING GROUP
AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF
DRIESSEN BEACH BOARDWALK

TAX PARCEL No.
R510 008 000 0358 0000
R510 009 000 011A 0000
&
R510 009 000 538A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: S4C
FIELD CHECK: JWR
DRAWN BY: SLG
FIELD DATE: 02-03-2023
PLAT DATE: 02-16-2023
SCALE: 1"=20'
PROJECT No.: BFT-22501
FILE: BFT-22501-ATL.DWG

ATLAS SURVEYING, INC.
168 BOARDWALK DRIVE, SUITE A.
RIDGELAND, SC 29936.
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM

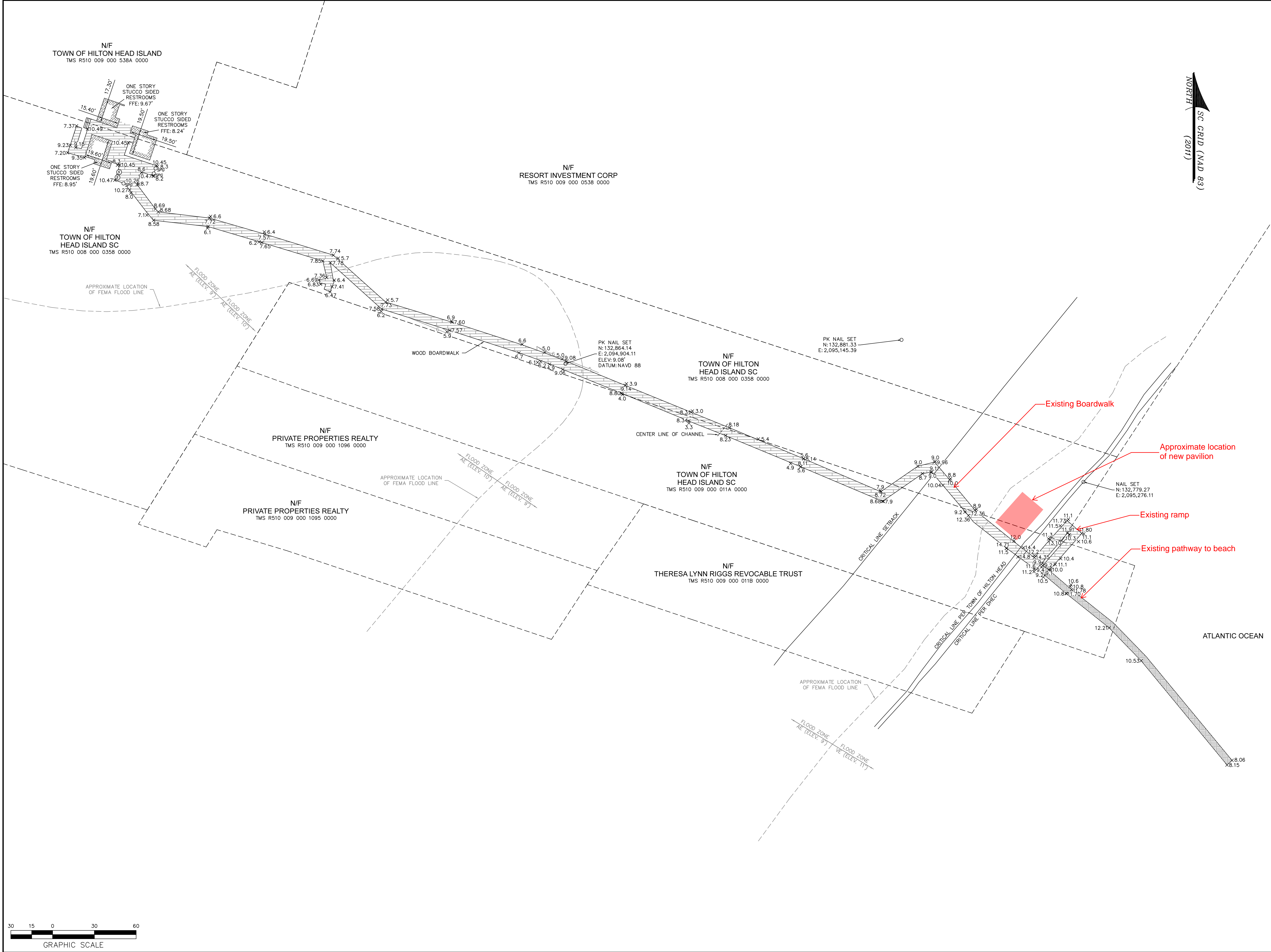


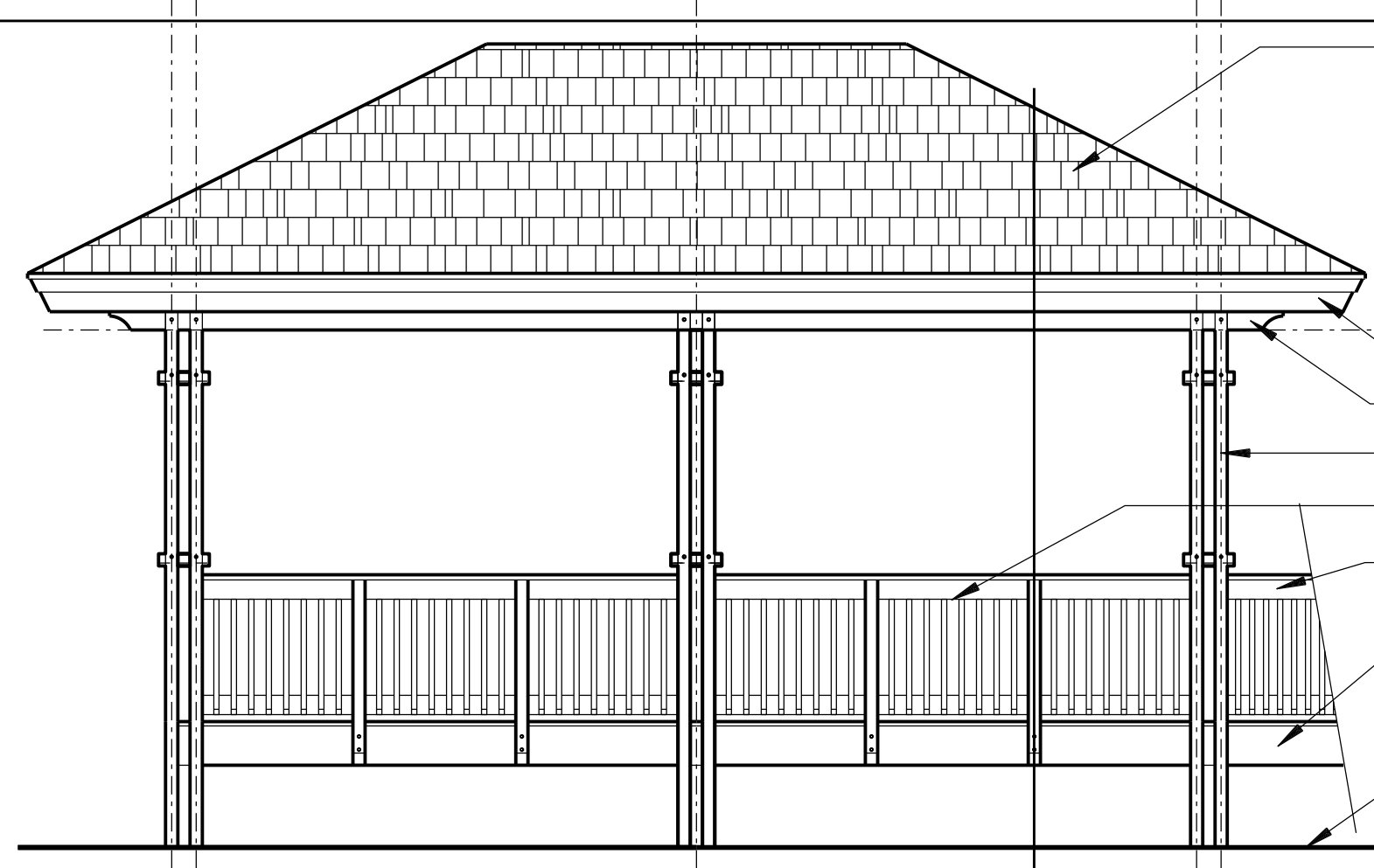
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL

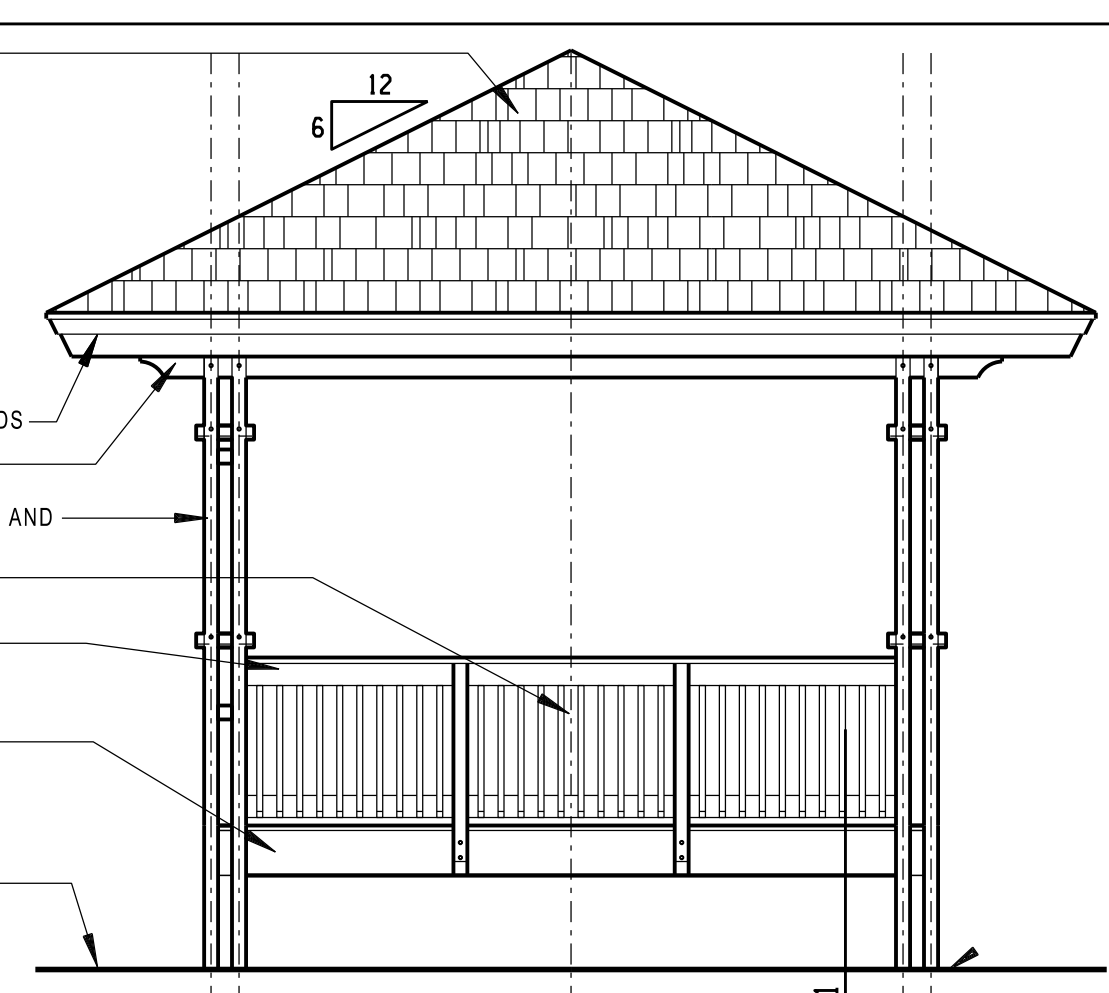


NORTH
SC GRID (NAD 83)
(2011)

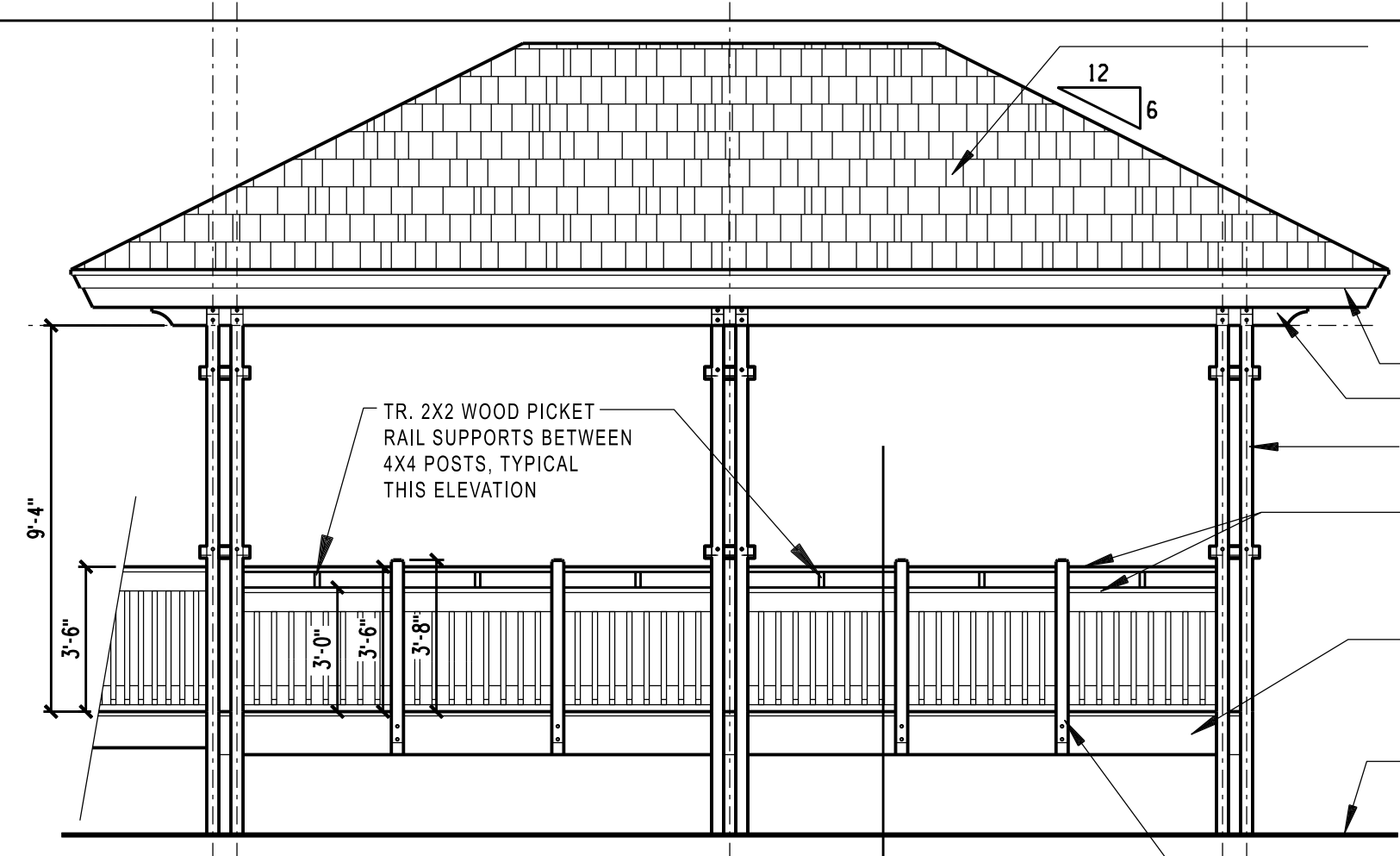




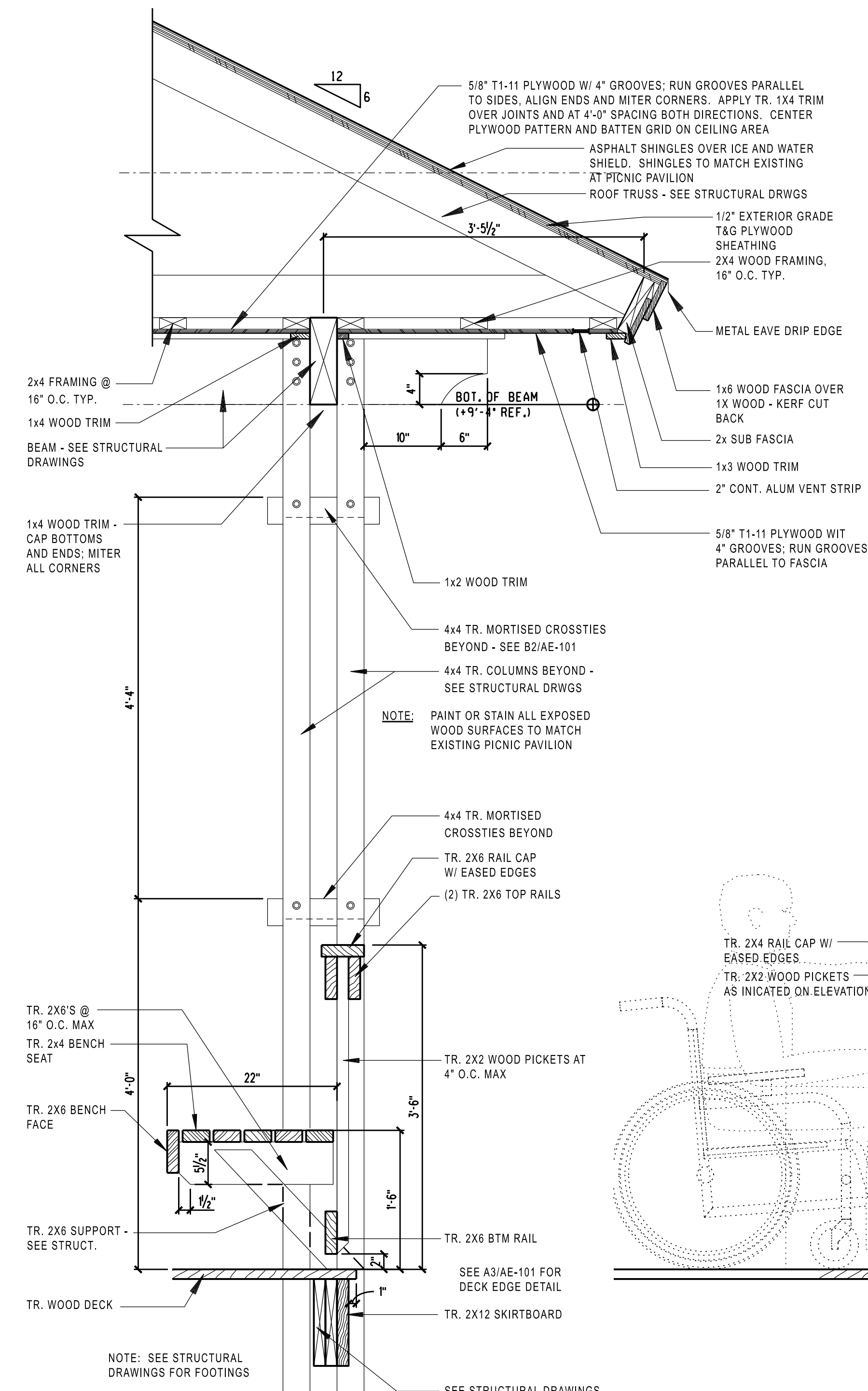
C1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



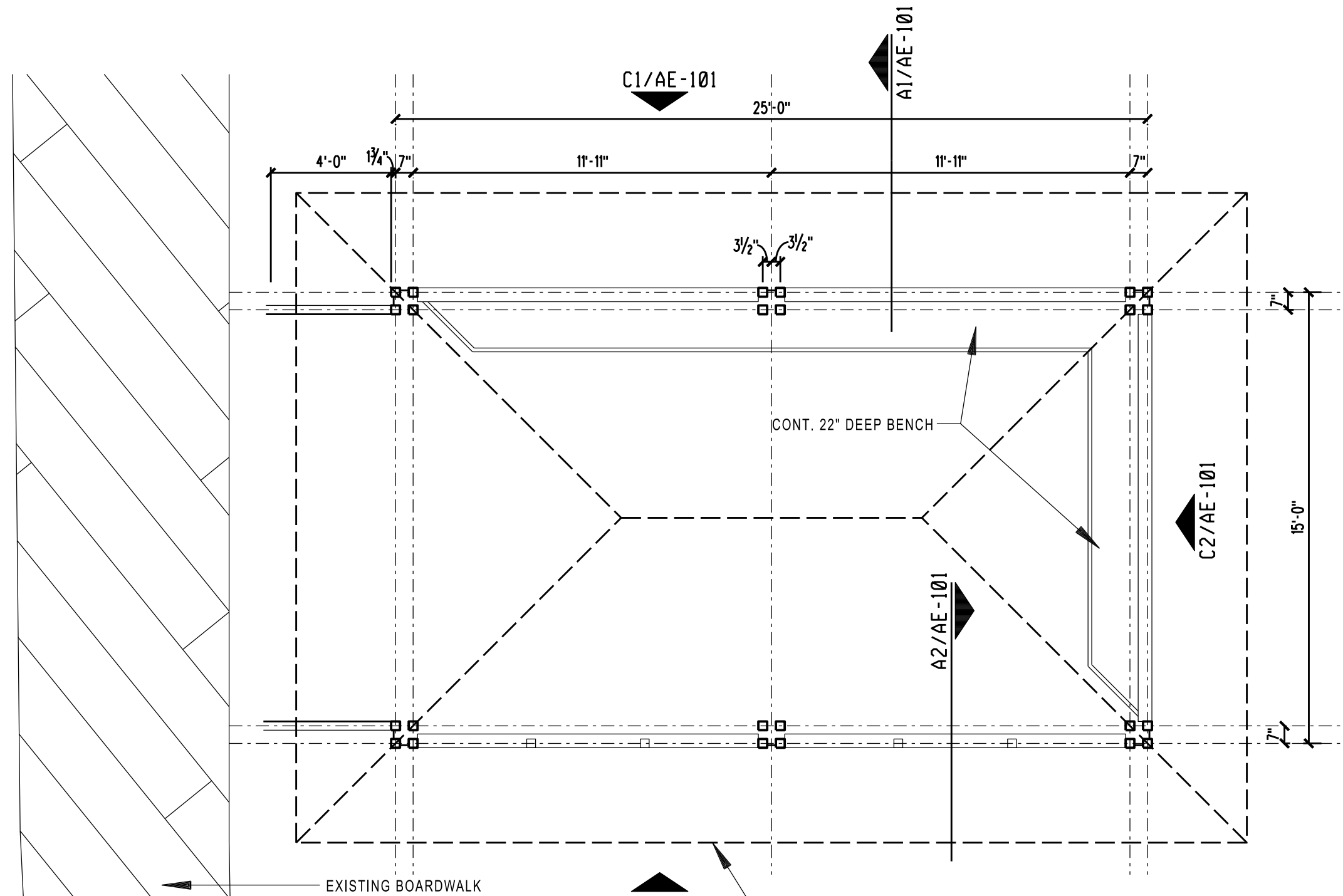
C2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



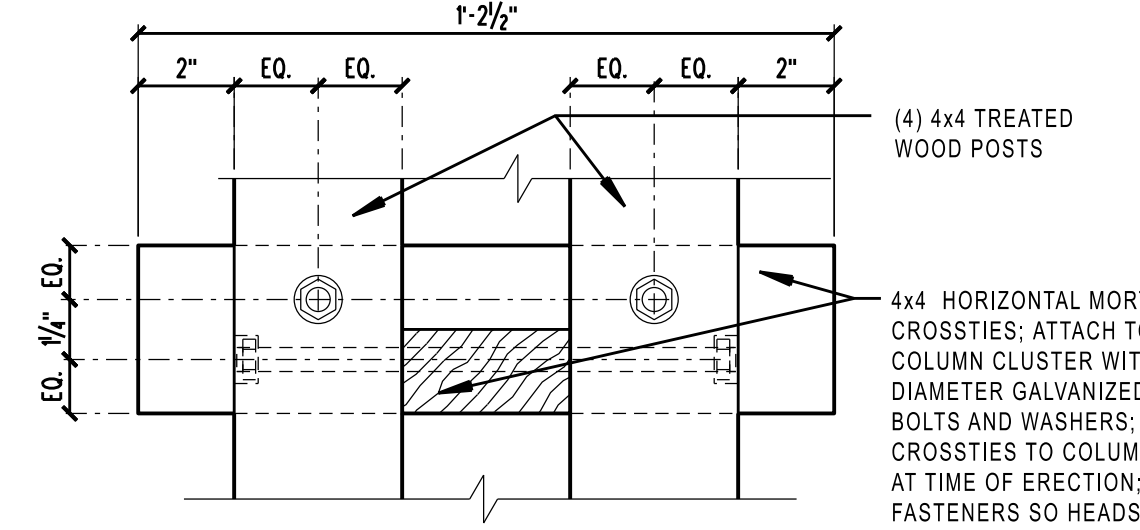
C3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



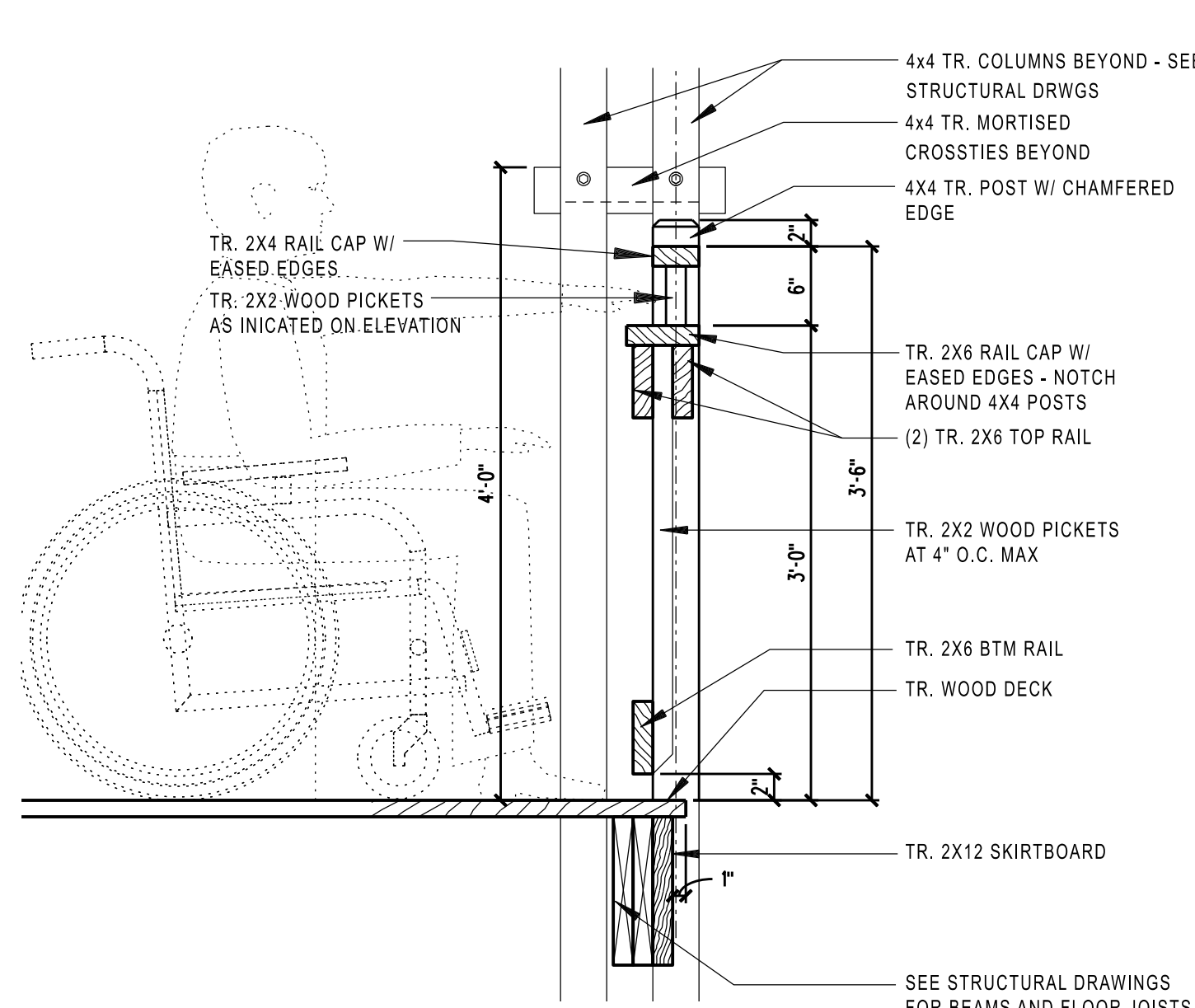
A1 WALL SECTION
SCALE: 1" = 1'-0"



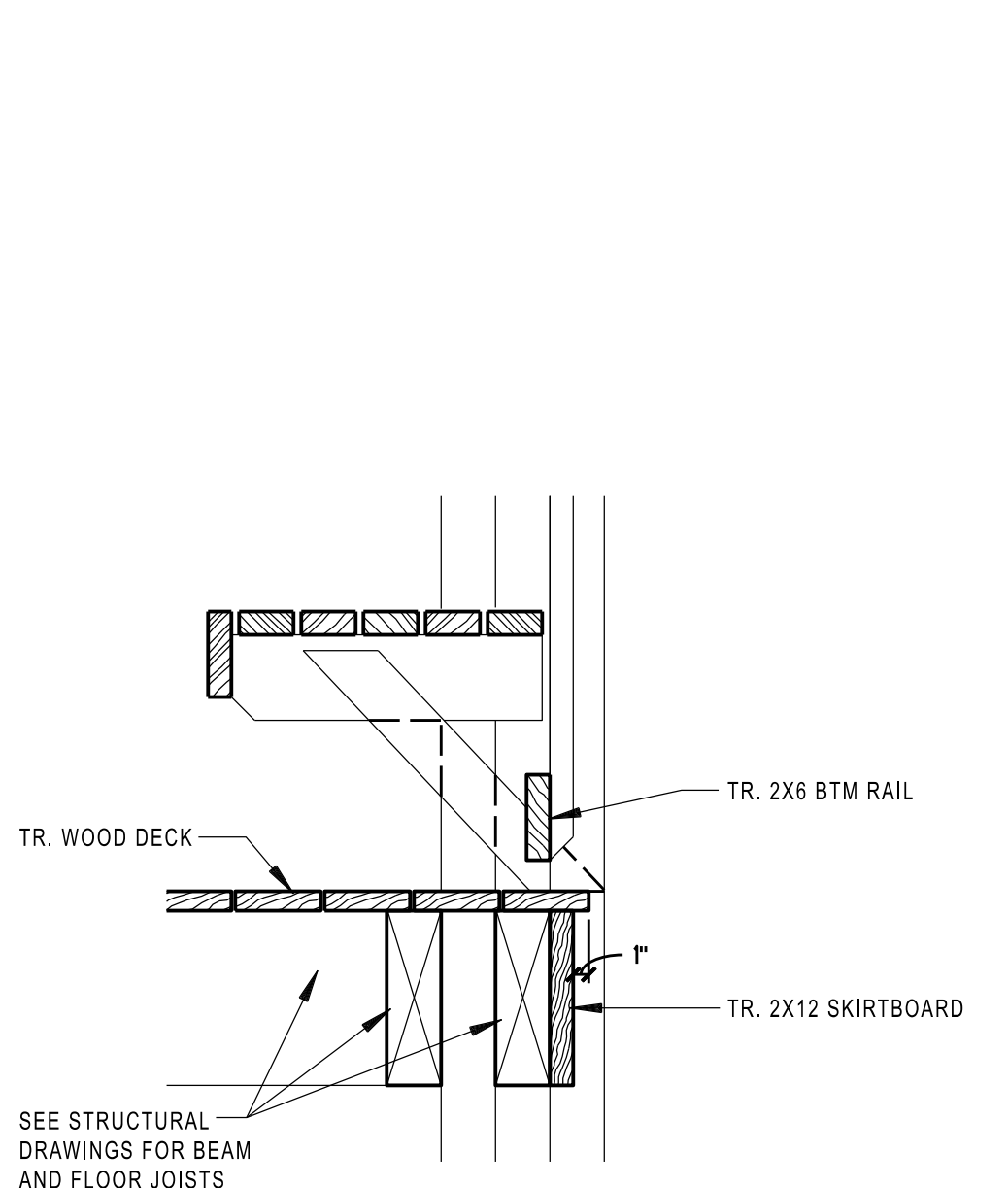
B1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



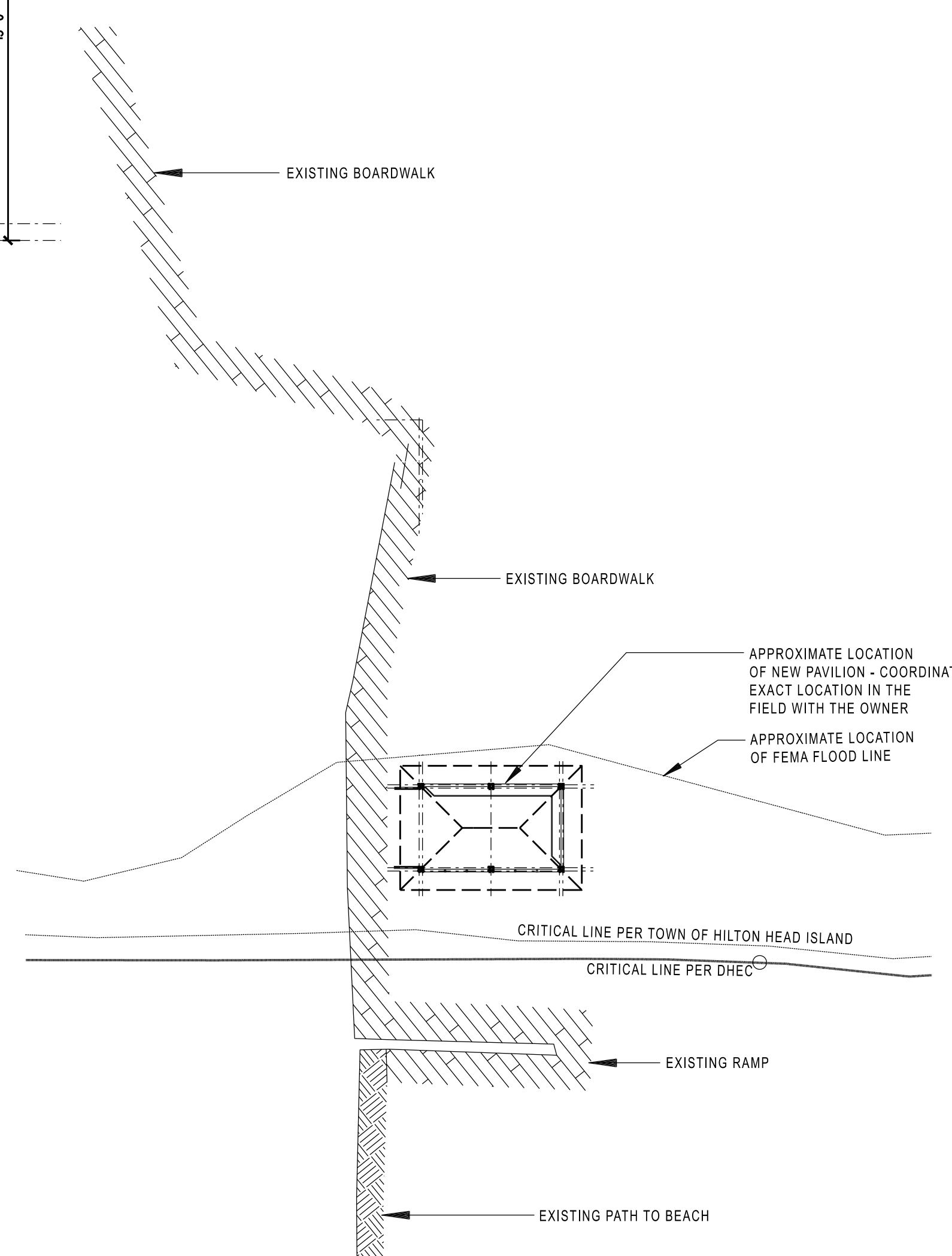
B2 MORTISED CROSS TIES DETAIL
SCALE: 3" = 1'-0"



A2 RAIL SECTION
SCALE: 1" = 1'-0"



A3 DECK EDGE DETAIL
SCALE: 1" = 1'-0"



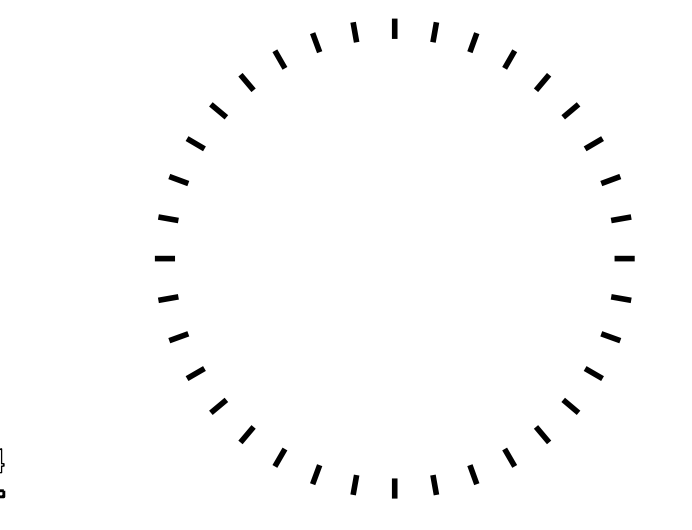
A4 SITE PLAN
SCALE: 1" = 20'-0"

ARCHITECT
Hord Coplan Macht, Inc.
10 Palmetto Business Park
Road, Suite 202
p. 843.785.2159
Hilton Head Island,
South Carolina 29938

STRUCTURAL ENGINEER
Cranston Engineering
14 Westbury Park Way, Ste. 202 Bluffton,
p. 843.815.3191 South Carolina 29910

Town of Hilton Head Island
Hilton Head Island, South Carolina

hord | coplan | macht



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF SOUTH CAROLINA.

05/11/21	DRB SUBMITTAL
05/11/21	DRB SUBMITTAL REV.

no.	date	revision
Project Number	223007.00	
Project	Driessen Beach Park New Overlook	

Driessen Beach Park
New Overlook
Hilton Head Island, SC 29926

Phase
DRB Final Review Submittal

Date
August 28, 2023

Drawing
Plans / Elevations /
Section / Details

No
AE-101

© Hord Coplan Macht, Inc.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: New Overlook at Driessen

DRB#: DRB-001649-2023

DATE: 09/12/2023

CATEGORY: **Final**

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>They are disturbed as minimally as possible for new overlook to be installed.</i>

CONDITIONS & COMMENTS

Conceptual plan was approved on August 8, 2023 (DPR-001482-2023)
This project requires a Minor Development Plan Review application for the site work. Please contact Alexis Cook at alexisc@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.

This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: PDG Architects
 Mailing Address: PO Box 5010 City: Hilton Head Island State: SC Zip: 29938
 Telephone: 843-785-5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: Chaplin Townhomes Project Address: 592 William Hilton Parkway
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 6 2 1 0 0 0 0
 Zoning District: MF - Marshfront Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



8.28.23

SIGNATURE

DATE

August 28, 2023

Town of Hilton Head Island
c/o Chris Darnell, PLA
Community Development Department
One Town Center Court
Hilton Head Island SC 29928



re: Chaplin Townhomes
592 William Hilton Parkway
R511 008 000 0621 0000

Dear Alexis,

Please find the attached documents which comprise our Final DRB Review submission of the Chaplin Townhomes. Please note that the color and materials board will be the same as the one we submitted for conceptual review. We are providing the following comments on the conditions given with that approval:

1. Provide a survey with the Final submission.
 - a. An updated survey updated to the current FIRMs and with tree driplines has been included in the drawing set.
2. Verify actual tree canopy driplines.
 - a. The canopy driplines have been surveyed and included in the drawings.
3. The left façade shall get equal detailing to the other building facades.
 - a. We have added shutters to the left elevation to add further interest to this façade. This provides a consistent application of shutters on individual windows around the structure to comply with the Town Design Guide's requirement that "Details should be consistent with the design concept for the entire structure" and "Clean, simple, appropriate details are desirable while excessive ornamentation is to be avoided".
4. Study pedestrian circulation.
 - a. We have studied pedestrian circulation in conjunction with the drip lines and revised the plans accordingly.

These are the additional comments from the Permit Corrections Report (BLDMF- 002999-2023)

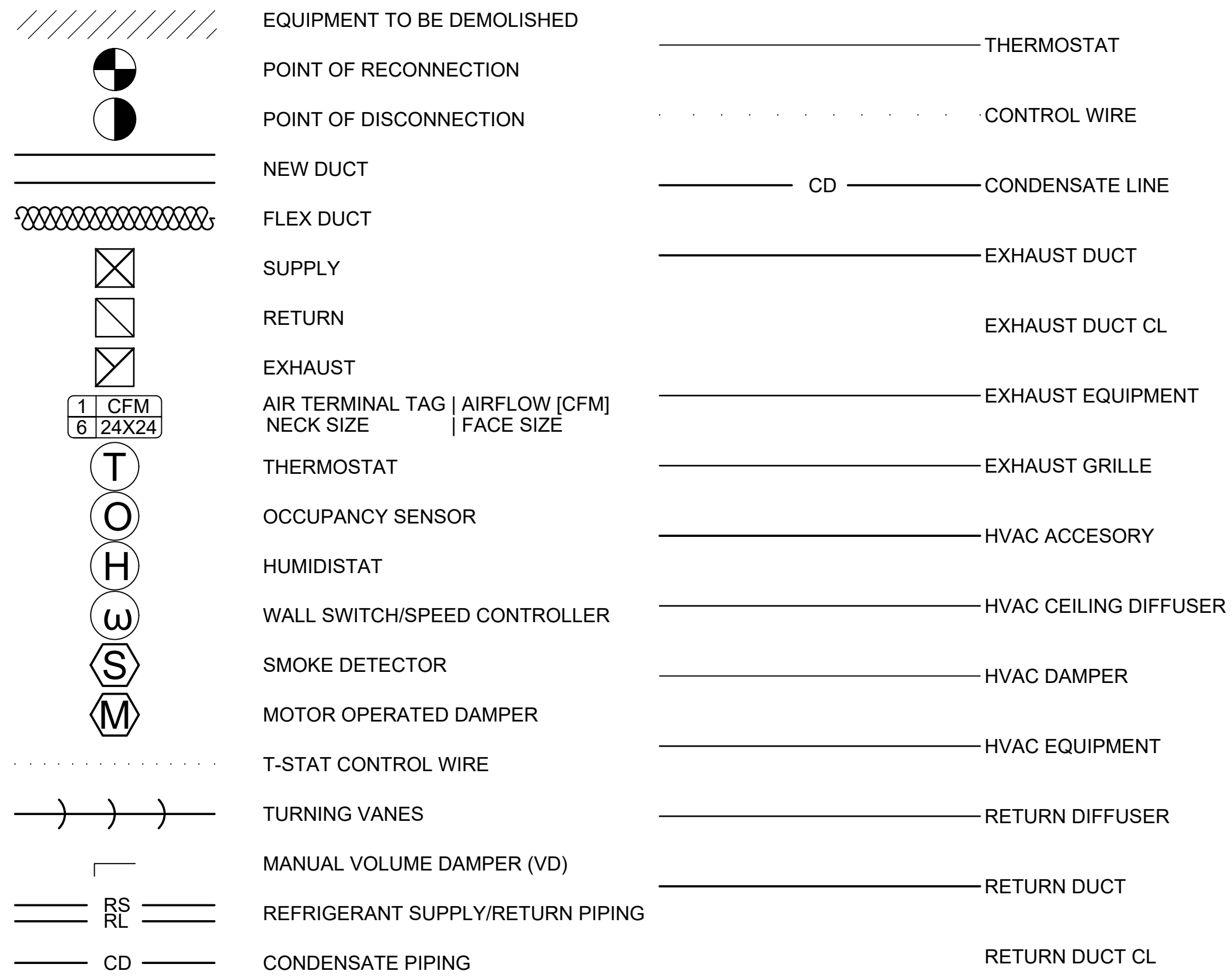
1. The proposed development will exceed the ADT's allowed for the existing access easement off William Hilton Parkway. You will need to acquire property/coordinate with the adjacent property owner, to plat out a right-of-way, at least up until the drive aisle turns into the development. It can remain an access easement beyond that point.
 - a. This comment does not apply, the commercial building is not part of this submittal.
2. BZA approval is required for remove of any significant or specimen trees. You should visually inspect all significant and specimen trees to confirm their health. If a tree is a "hazard", Staff may be able to approve its removal without BZA review.

- a. A Significant tree was approved for removal at DPR based on the arborist report.
3. There can be not construction within 15' of the trunk of a specimen tree. It appears the pool deck and sidewalk are too close to the specimen Live Oak. Consider rotating the pool 90 degrees.
 - a. The pool, deck, and sidewalk are not within 15' of specimen tree. The survey has a canopy shown on the WOK 14,12,12,12. This is not a specimen or significant tree per LMO section 16-6-104.F.1. (Only Live Oaks add up to multi trunk trees) This was discussed at DPR.
4. Provide an updated Tree and Topo Survey in the correct datum.
 - a. See the updated tree and topo survey with the correct datum.
5. Please provide an accurate dripline for Specimen and Significant trees.
 - a. See the updated site plan for an accurate dripline for Specimen and Significant trees.
6. It appears the front left corner of the building is over the setback line.
 - a. The front left corner of the building is within the setback line.
7. It appears you will need to provide 2' of fill to meet flood zone requirements.
 - a. The building and driveways have been designed to meet the flood zone requirements.
8. Please make sure all roads are 24' wide at buildings to allow for Fire Truck setup.
 - a. The road plan was approved during DPR process. Driveways were lengthened near structures to accommodate 24' width requirements
9. It appears you will need a fire hydrant.
 - a. A new fire hydrant has been added near the entrance to serve the existing home, new triplex, any future expansion and adjacent existing properties. The location was approved during the DPR process.
10. The location of the utility yard with the HVAC units impedes firefighter access around to the back of the building. No part of the building can be more than 150' from fire truck access. If this cannot be achieved, the building will need to have sprinklers.
 - a. The building is sprinkled.
11. The townhouse form seems out of place in this neighborhood. Consider a triplex form or single family detached that would be more in keeping with the architecture of the neighborhood and the development.
 - a. This has been looked at after conceptual approval and determined that it does fit within the neighborhood.
12. The location of the site for the commercial building is far from the vehicular access to the site. Staff recommends flipping the commercial building and parking so the commercial building is close to the access off William Hilton Parkway.
 - a. The commercial building is not part of this submittal.

Project Narrative

We are proposing the development of a multi-family triplex on a mixed-use development. The land is a generational property and is being developed for the future generations. The project includes construction of a pool area to be shared by tenants. The design was developed using a repeating pattern of 3-story main masses separated by 2-story intermediate separating elements to avoid a long unbroken facade. Primary materials are stucco, lap siding and asphalt shingles accented with shutters and trim elements. Colors have been selected to accentuate these elements and to be nature blending.

MECHANICAL LEGEND:



ABBREVIATIONS:

- DPS - DUCT PRESSURE SENSOR
- HP - HEAT PUMP
- AHU - AIR HANDLER
- PAC - PACKAGED ROOFTOP UNIT
- UH - UNIT HEATER
- EUH - ELECTRIC UNIT HEATER
- REF - ROOF EXHAUST FAN
- AFF - ABOVE FINISHED FLOOR
- EF - EXHAUST FAN
- E/A - EXHAUST AIR
- S/A - SUPPLY AIR
- R/A - RETURN AIR
- T/A - TRANSFER AIR
- MU/A - MAKE-UP AIR
- Ø - ROUND
- BFF - BELOW FINISHED FLOOR
- (E) - EXISTING
- T - THERMOSTAT
- FD - FIRE DAMPER
- SD - SMOKE DAMPER
- NTS - NOT TO SCALE
- NO - NORMALLY OPEN
- NC - NORMALLY CLOSED

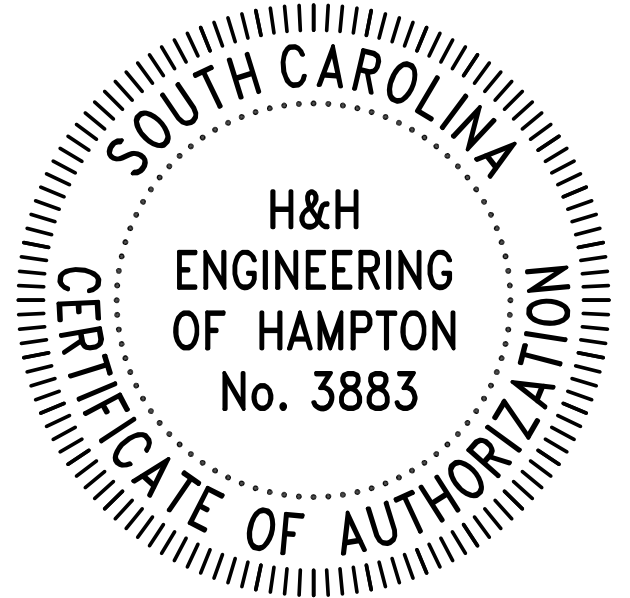
GENERAL NOTES:

- PROVIDE ALL MATERIALS AND LABOR FOR COMPLETE AND PROPERLY FUNCTIONING MECHANICAL SYSTEMS. WARRANTY ALL WORK AND ALL MATERIALS, EQUIPMENT AND DEVICES FOR A PERIOD OF ONE YEAR AFTER OWNER'S ACCEPTANCE.
- WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
 - A: INTERNATIONAL MECHANICAL CODE
 - B: INTERNATIONAL RESIDENTIAL CODE
 - C: SMACNA
 - D: ASHRAE
 - E: ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO BE SCALED FOR DIMENSIONS
- ALL MATERIALS, EQUIPMENT AND DEVICES SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
- COORDINATE LOCATION OF MECHANICAL WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- INSTALL ALL EQUIPMENT AND MATERIAL IN ACCORDANCE WITH MANUFACTURE'S WRITTEN, PRINTED INSTRUCTIONS AND RECOMMENDATIONS.
- PROVIDE OWNER WITH CERTIFICATES OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
- MAKE CONNECTIONS FROM MECHANICAL EQUIPMENT TO DUCTWORK USING FLEXIBLE DUCT CONNECTIONS.
- ALL EQUIPMENT, PIPE AND DUCTWORK ABOVE CEILING SHALL BE SUPPORTED FROM BUILDING STRUCTURE ABOVE.
- DUCT SIZES INDICATED ARE NET FREE INSIDE DIMENSIONS OF RECTANGULAR METAL DUCT. AT CONTRACTOR'S OPTION, EQUIVALENT SIZE ROUND DUCT MAY BE USED.
- PROVIDE FLOAT SWITCH IN ALL SECONDARY PANS TO SHUT OFF UNITS WHEN DRAINS BECOME OBSTRUCTED.
- FURNISH AND INSTALL ALL MANUAL DAMPERS INDICATED ON DRAWINGS. ALL DAMPERS SHALL BE OFFSET, LOCKING, QUADRANT TYPE DAMPERS.
- WHERE PIPES PENETRATE FIRE RATED WALLS, FLOORS OR CEILING, SEAL OPENING AROUND PIPES WITH U.L. LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE FIRE RATING OF THE WALL, FLOOR OR CEILING IN ACCORDANCE WITH U.L. LISTED DESIGN FOR 1 HOUR PENETRATIONS. SUBMIT U.L. DESIGN FOR FIRE RATED PENETRATIONS SEALS TO ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO START OF WORK.
- MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL AN AIR FILTER PER MANUFACTURER'S INSTRUCTIONS PRIOR TO SYSTEM OPERATION.
- ALL DUCTWORK, EXCEPT EXPOSED SUPPLY DUCTWORK, SHALL BE SINGLE WALL GALVANIZED STEEL. ALL JOINTS AND SEAMS SHALL BE CLEANED, COATED AND SEALED WITH MASTIC OR MASTIC TAPE PRIOR TO APPLYING THE EXTERNAL INSULATION.
- UNLESS INDICATED AS A RADIUS ELBOW, ALL DUCT ELBOWS AND TEES SHALL HAVE TURNING VANES.
- ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH ROOFING CONTRACTOR TO ENSURE ROOF BOND WILL BE MAINTAINED.
- ALL CONDENSATE AND REFRIGERANT PIPING SHALL BE INSULATED WITH 3/4" AEROCEL INSULATION. ALL CONDENSATE AND REFRIGERANT PIPING EXPOSED TO OUTDOORS SHALL BE INSULATED WITH 1" K-FLEX AL CLAD WITH K-FLEX AL TAPE FOR ALL JOINTS.
- PROVIDE ALL OPERATION AND MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT TO BUILDING OWNER.
- ALL DUCTWORK SHALL BE INSULATED TO A MINIMUM OF R-8.
- CONDENSATE PIPING SHALL BE SCHEDULE 40 CPVC INSIDE MECHANICAL ROOM AND SCHEDULE 40 PVC IN OTHER LOCATIONS.

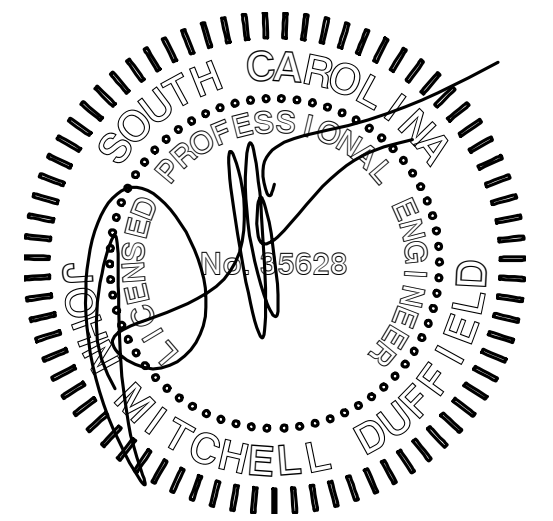
SHEET INDEX			
SHEET NUMBER	SHEET TITLE	REV. NUMBER	DATE
M0-01	MECHANICAL TITLE SHEET	0	06/26/2023
M1-01	FIRST FLOOR MECHANICAL PLAN	0	06/26/2023
M1-02	SECOND FLOOR MECHANICAL PLAN	0	06/26/2023
M1-03	THIRD FLOOR MECHANICAL PLAN	0	06/26/2023
M5-01	MECHANICAL DETAILS	0	06/26/2023
M6-01	MECHANICAL SCHEDULES	0	06/26/2023



COA:



SEAL:



DRAWN BY:

APPROVED BY:

DATE: 06/20/2023

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PROJECT

BURKE TOWNHOMES

JOB NUMBER

23-010

SHEET TITLE

MECHANICAL TITLE SHEET

SHEET NUMBER

M0-01

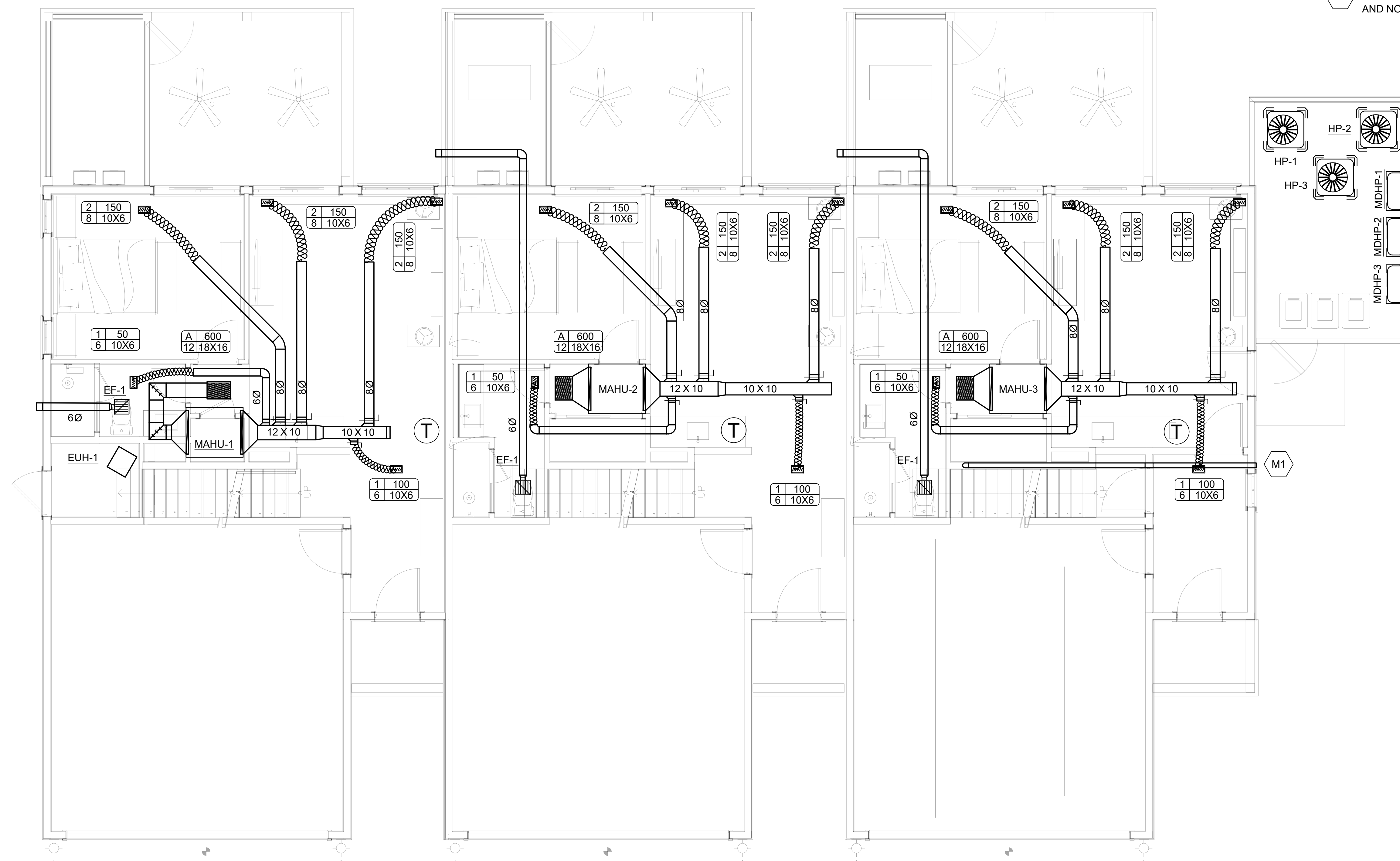


MECHANICAL NEW WORK NOTES:

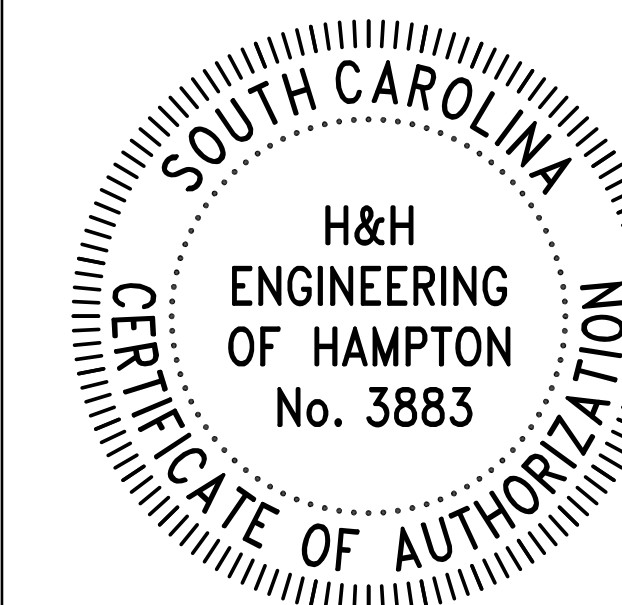
- DUCTWORK TO ROUTE BETWEEN TRUSSES AS HIGH AS POSSIBLE.

MECHANICAL NEW WORK KEYNOTES:

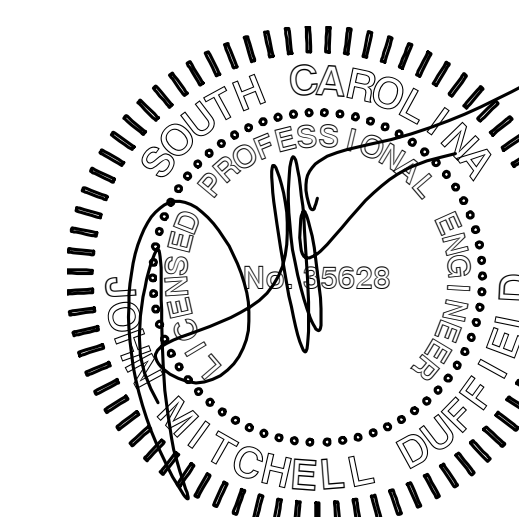
- M1 INSTALL 4"Ø DRYER DUCT WITH DB-350 IN WALL. ROUTE TO EXTERIOR AND FINISH WITH WALL CAP, BACKDRAFT DAMPER, AND NO BIRD SCREEN.



COA:



SEAL:



DRAWN BY: MR

APPROVED BY: JD

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JOB NUMBER
23-010

SHEET TITLE
FIRST FLOOR MECHANICAL PLAN

SHEET NUMBER
M1-01

1
M1-01 **FIRST FLOOR MECHANICAL PLAN**
SCALE: 1/4" = 1'-0"



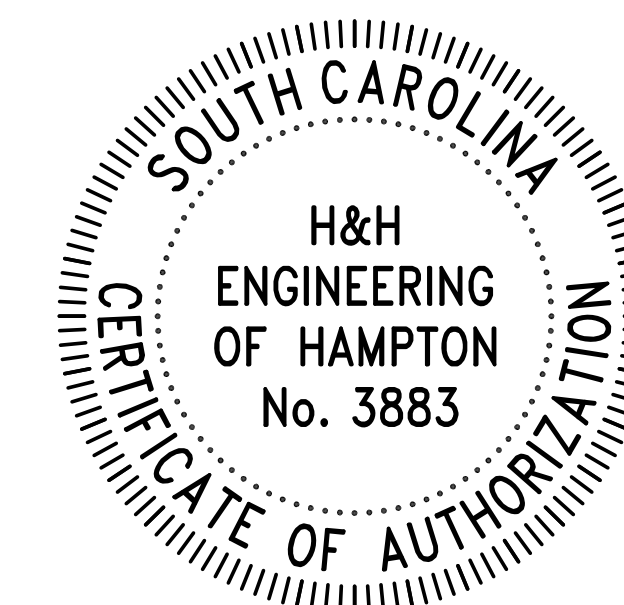
MECHANICAL NEW WORK NOTES:

- 1. DUCTWORK TO ROUTE BETWEEN TRUSSES AS HIGH AS POSSIBLE.

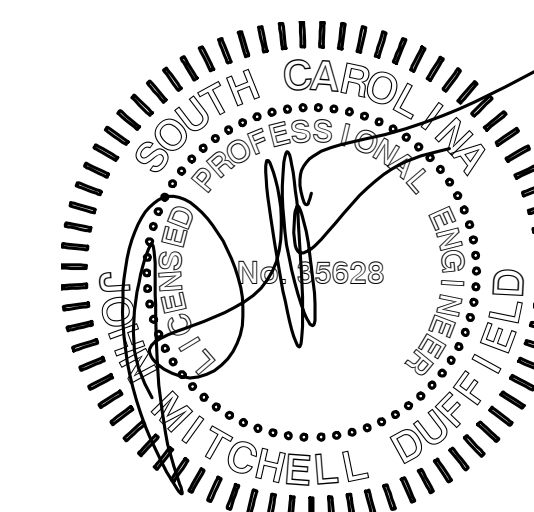
MECHANICAL NEW WORK KEYNOTES:

- M1 INSTALL 4"Ø DRYER DUCT WITH DB-350 IN WALL. ROUTE TO EXTERIOR AND FINISH WITH WALL CAP, BACKDRAFT DAMPER, AND NO BIRD SCREEN.

COA:



SEAL:



DRAWN BY: MR

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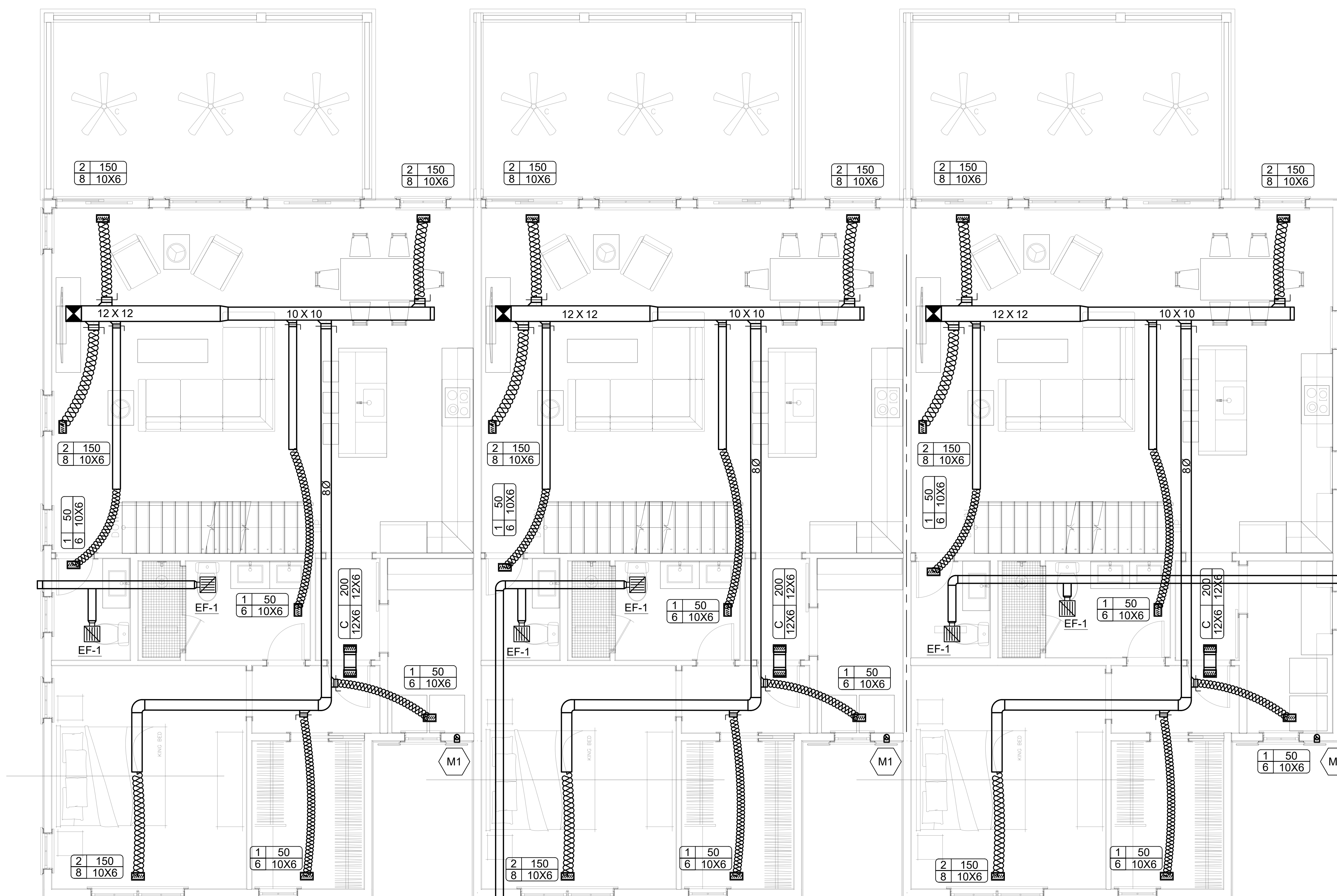
23-010

SHEET TITLE

SECOND FLOOR MECHANICAL PLAN

SHEET NUMBER

M1-02



1
M1-02 **SECOND FLOOR MECHANICAL PLAN**
 SCALE: 1/4" = 1'-0"

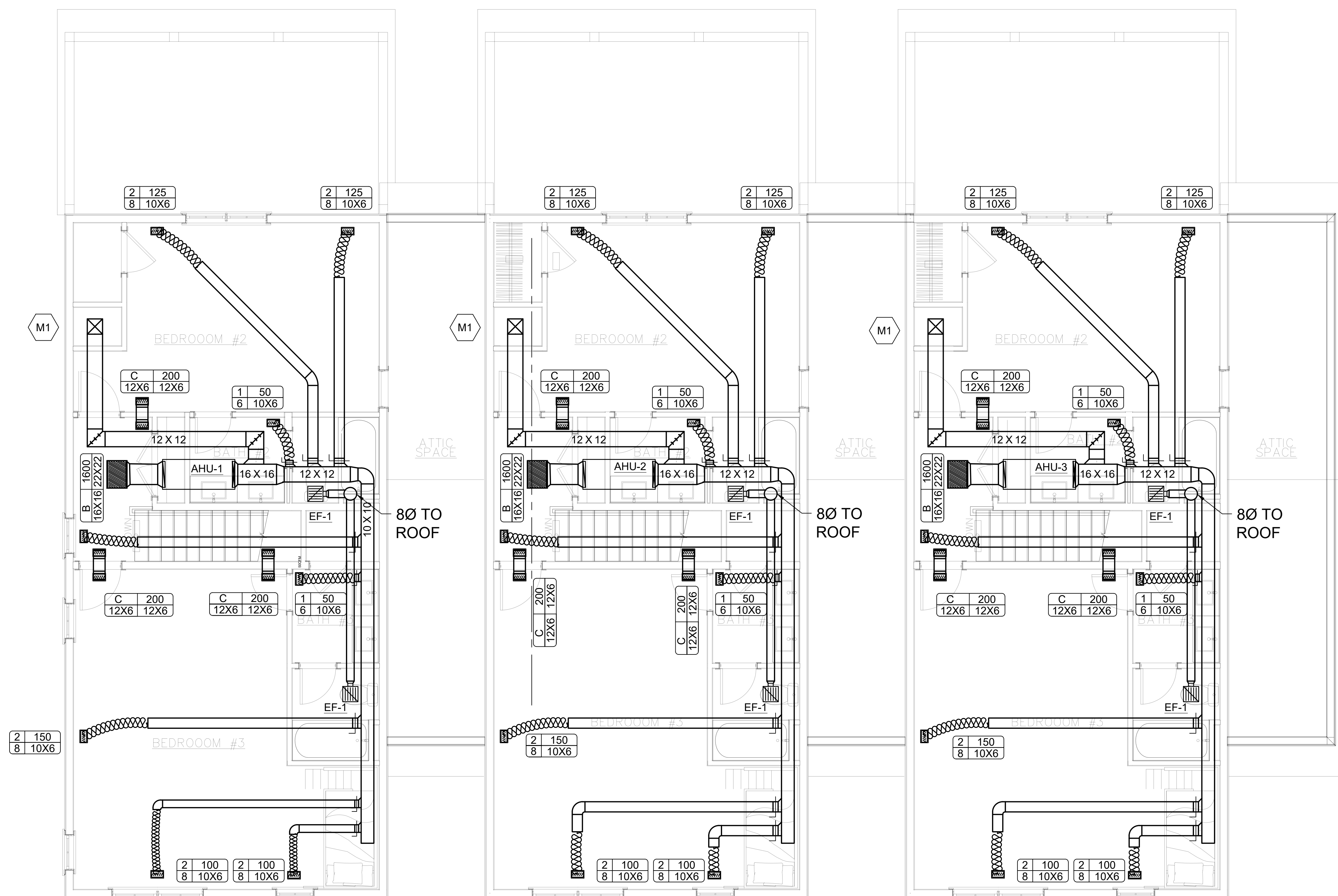


MECHANICAL NEW WORK NOTES:

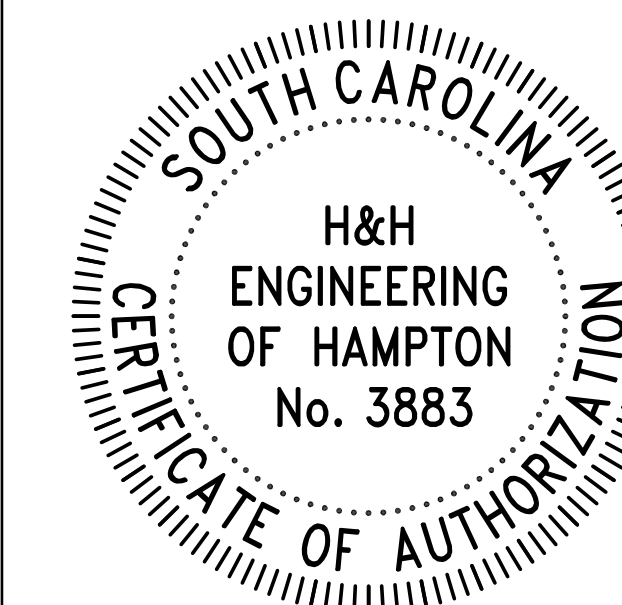
- DUCTWORK TO ROUTE BETWEEN TRUSSES AS HIGH AS POSSIBLE.

MECHANICAL NEW WORK KEYNOTES:

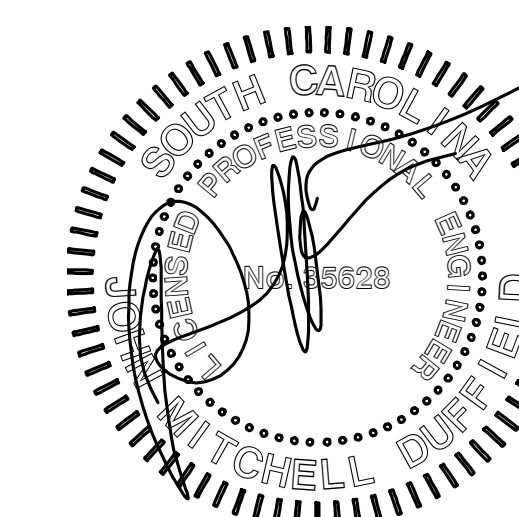
- M1 ROUTE SUPPLY DUCT DOWN CHASE TO 2ND FLOOR. SEE M1-02 FOR CONTINUATION.



COA:



SEAL:



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SHEET TITLE

**THIRD FLOOR
MECHANICAL PLAN**

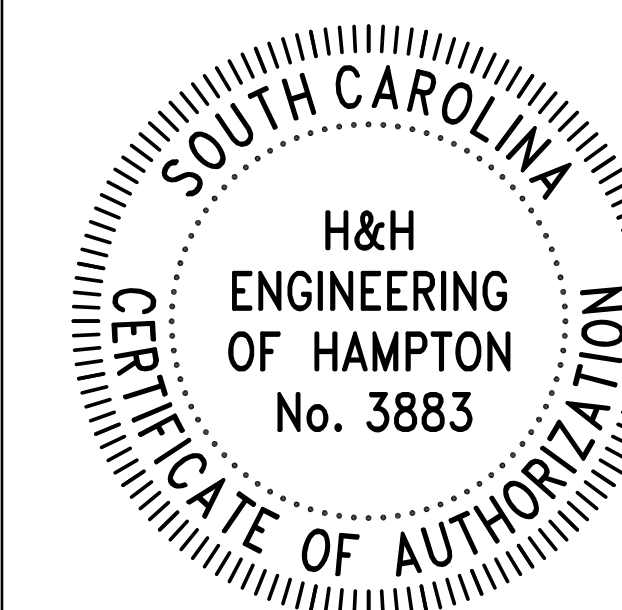
SHEET NUMBER

M1-03

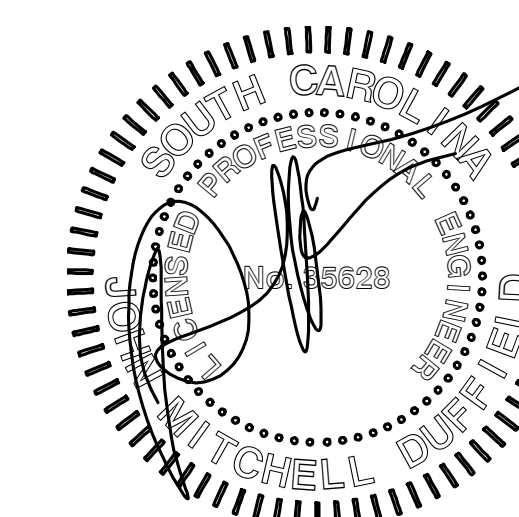
1 THIRD FLOOR MECHANICAL PLAN
M1-03 SCALE: 1/4" = 1'-0"



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SEAL:



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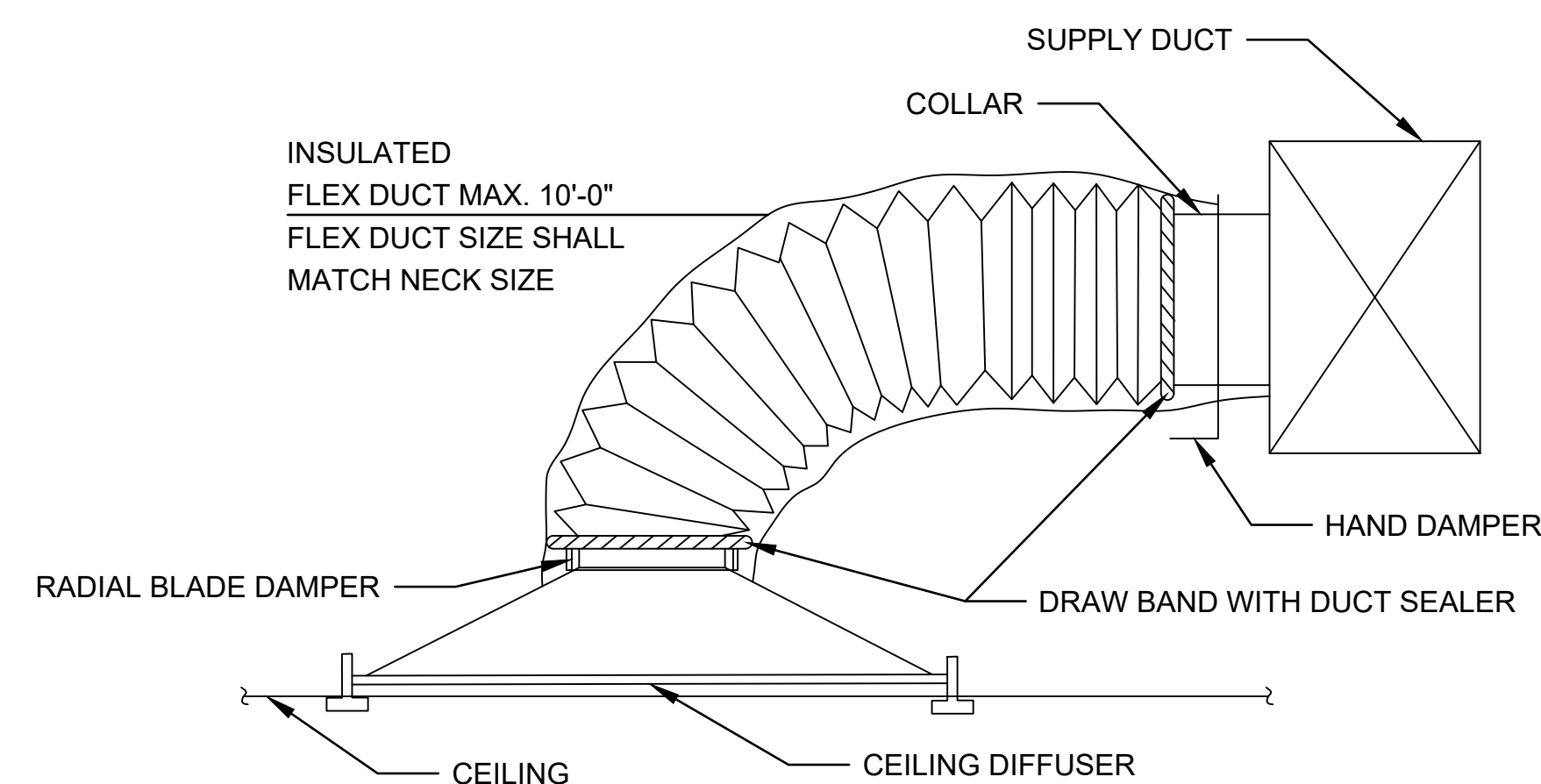
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SHEET TITLE

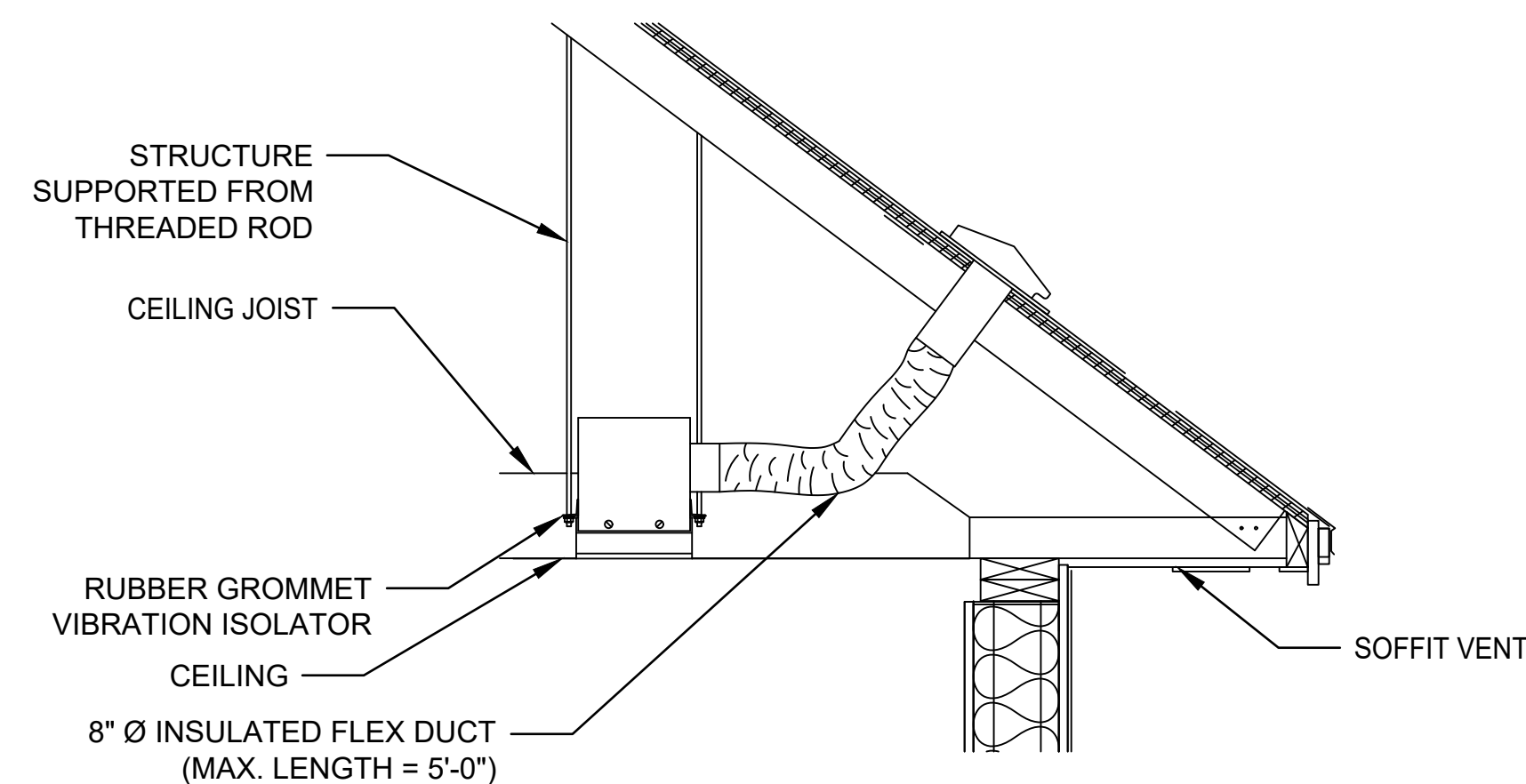
MECHANICAL DETAILS

SHEET NUMBER

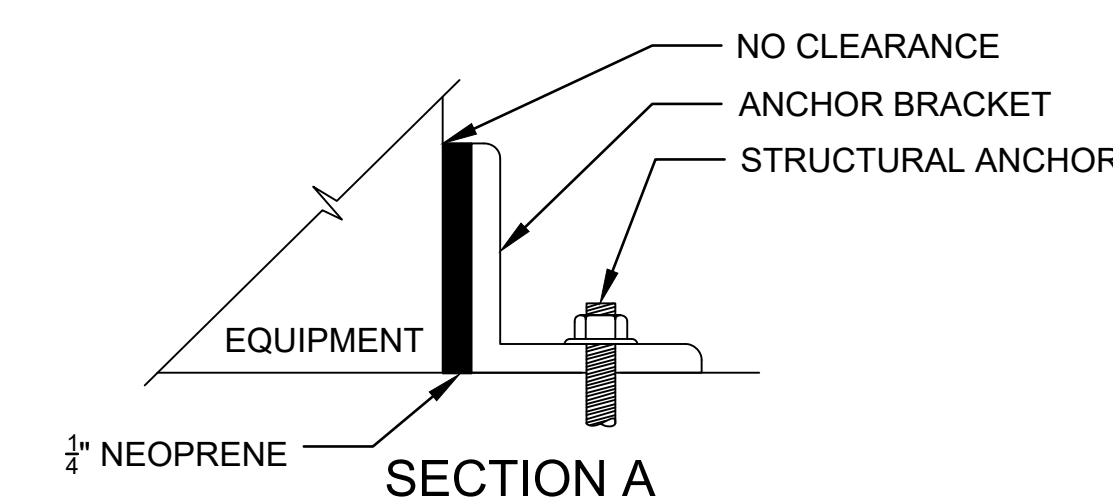
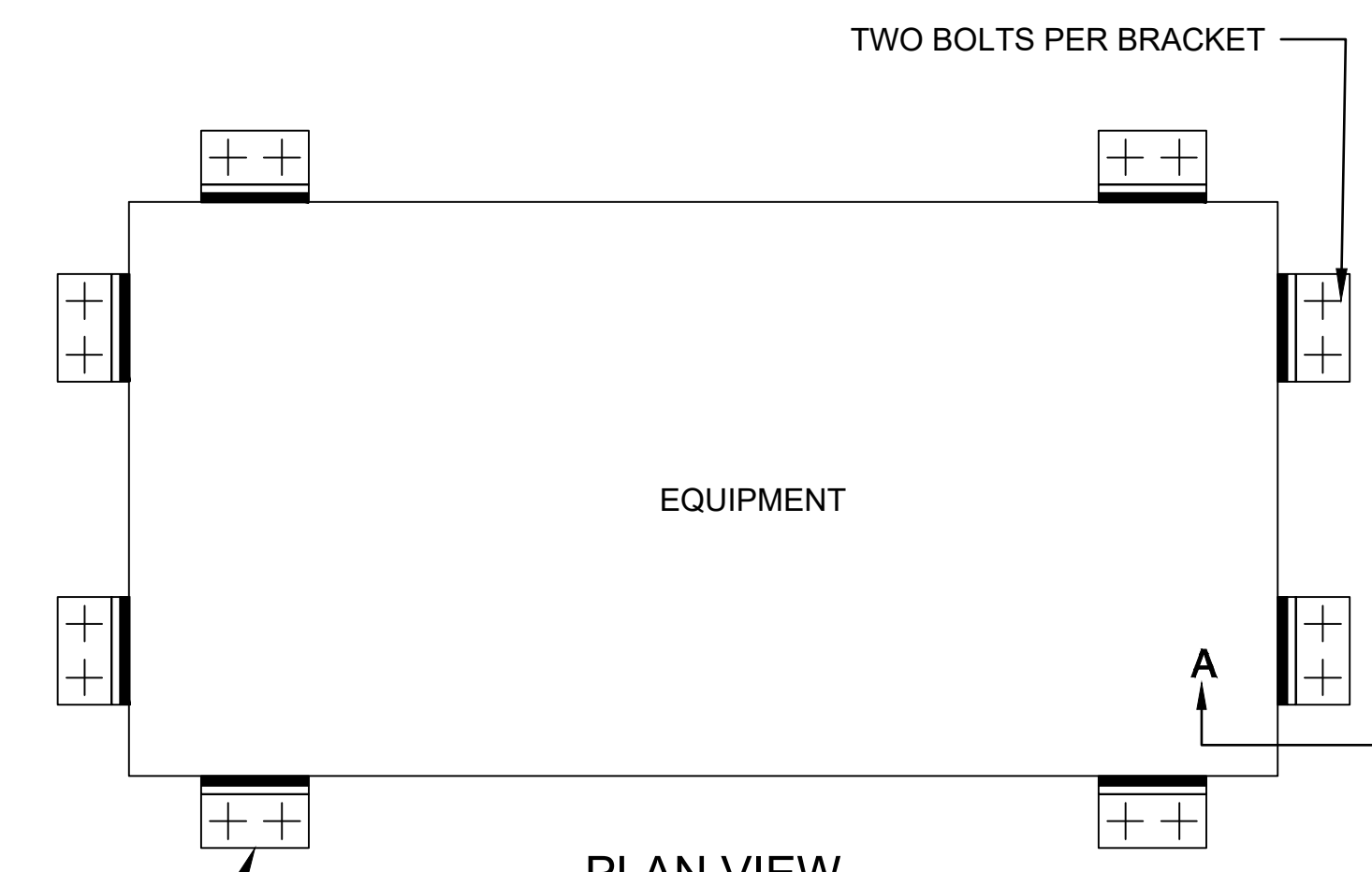
M5-01



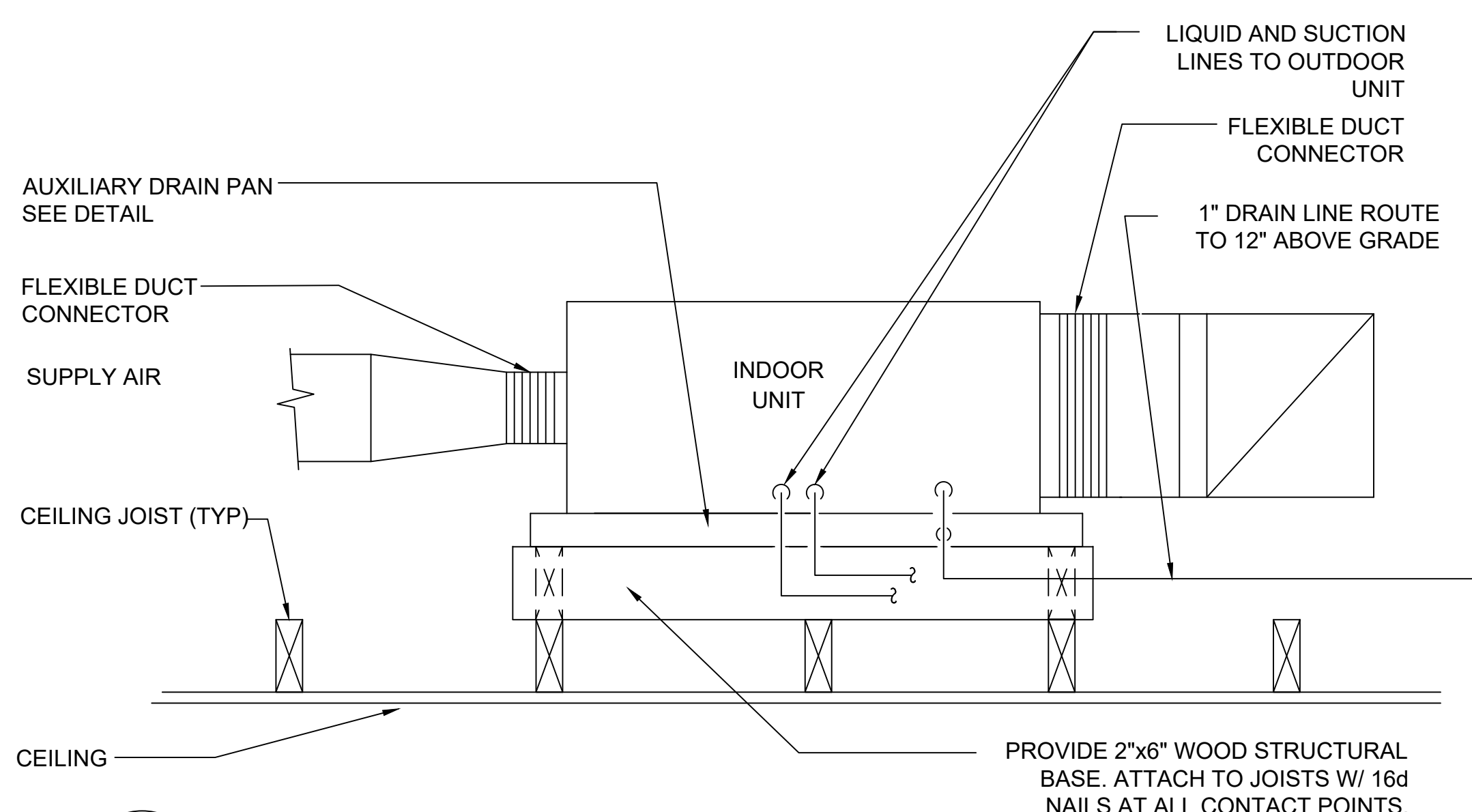
1 TYPICAL DIFFUSER CONNECTION DETAIL
M5-01 NOT TO SCALE



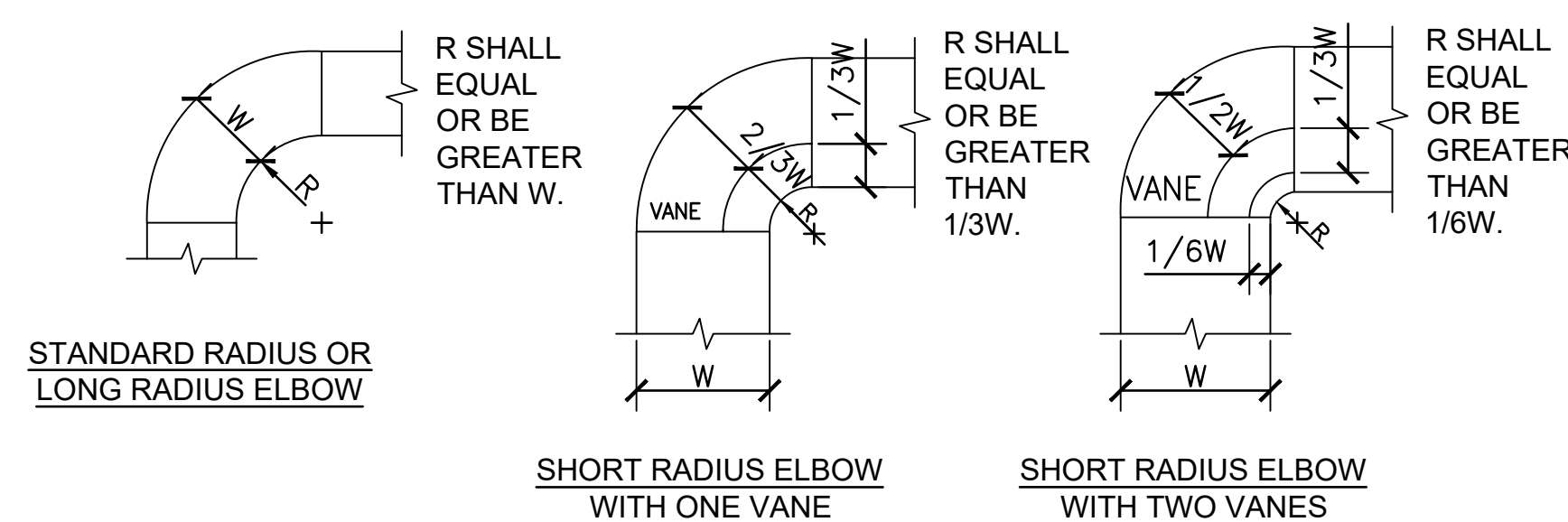
2 TYPICAL EXHAUST FAN DETAIL
M5-01 NOT TO SCALE



3 GROUND MOUNTED EQUIPMENT BRACING DETAIL
M5-01 NOT TO SCALE



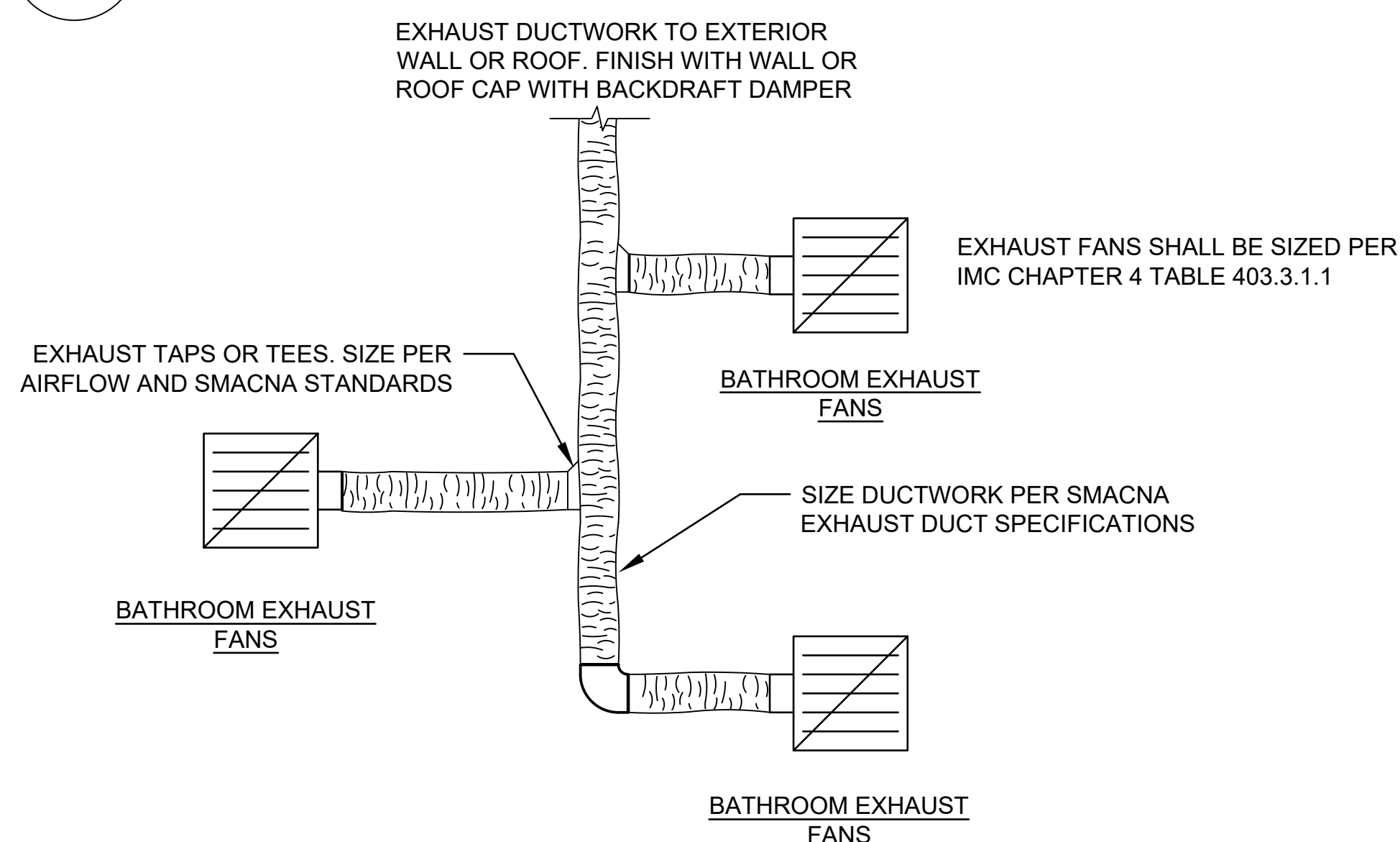
4 ATTIC MOUNTED SPLIT SYSTEM DETAIL
M5-01 NOT TO SCALE



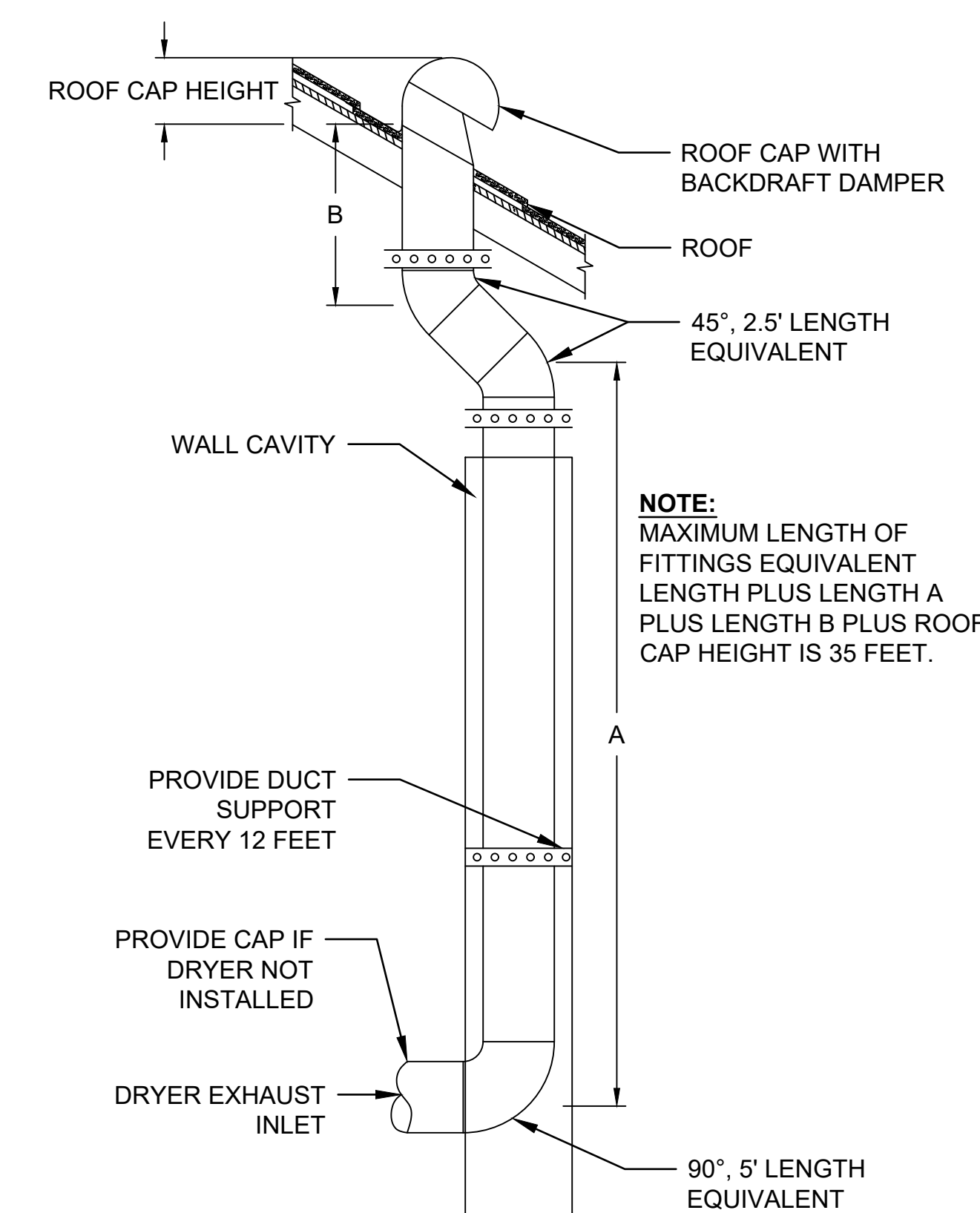
NOTES:

1. THE INTERIOR SURFACE OF ALL RADIUS ELBOWS SHALL BE MADE ROUND.
2. ALL STANDARD RADIUS ELBOWS CAN BE SUBSTITUTED WITH SHORT RADIUS ELBOWS. ALL SHORT RADIUS ELBOWS SHALL HAVE VANES. VANES SHALL BE CONSTRUCTED, SUPPORTED AND FASTENED AS RECOMMENDED BY SMACNA.

5 DUCTWORK RADIUS ELBOWS DETAIL
M5-01 NOT TO SCALE



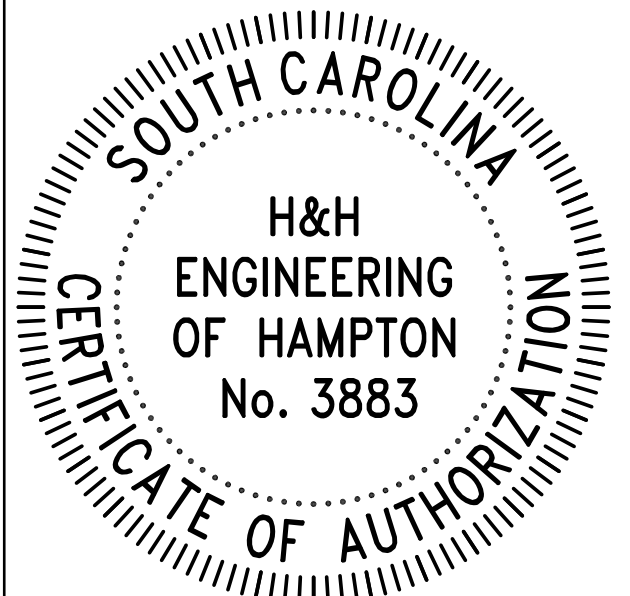
6 EXHAUST SYSTEM DETAIL
M5-01 NOT TO SCALE



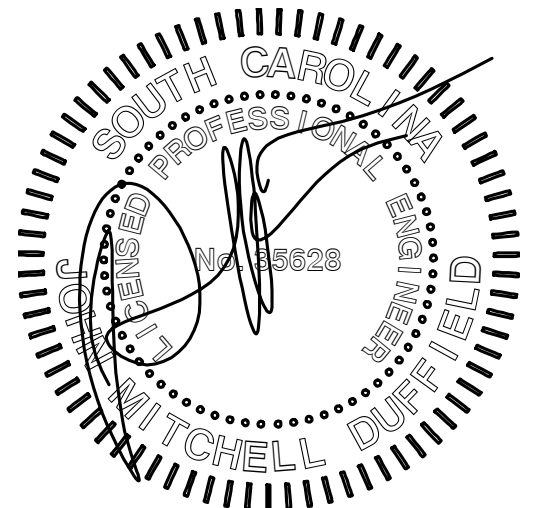
6 4" DRYER EXHAUST DETAIL
M5-01 NOT TO SCALE



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23-010

SHEET TITLE

MECHANICAL SCHEDULES

SHEET NUMBER

M6-01

SPLIT SYSTEM HEAT PUMP SCHEDULE

INDOOR UNIT		AHU-1	AHU-2	AHU-3
FAN	MARK			
	SUPPLY AIR - CFM	1,610	1,610	1,610
	EXT. S.P. - IN. W.G.	0.5	0.5	0.5
	BLOWER MOTOR - HP (MINIMUM)	0.75	0.75	0.75
	APPROXIMATE WEIGHT - LB.	162	162	162
COOLING	TOTAL CAPACITY - BTUH	48,500	48,500	48,500
	SENSIBLE CAPACITY - BTUH	42,177	42,177	42,177
	ENT. AIR TEMP. - °F DB/WB	80 / 67	80 / 67	80 / 67
	HIGH TEMP. HEATING - BTUH AT ARI	52,000	52,000	52,000
	AUXILIARY HEATER-KW/STEPS	9.6 / 1	9.6 / 1	9.6 / 1
HEAT	ELECTRICAL - V/Ø/Hz	240/1/60	240/1/60	240/1/60
	UNIT MCA - AMPS	58	58	58
	UNIT MOC P - AMPS	60	60	60
HEAT PUMP UNIT	MARK	HP-1	HP-2	HP-3
	AMBIENT AIR TEMP. - °F db	70	70	70
	COMPRESSORS - NO.	1	1	1
	ELECTRICAL - V/Ø/Hz	240/1/60	240/1/60	240/1/60
	APPROXIMATE WEIGHT - LB.	236	236	236
	COMPR. RLA/FAN MOTOR FLA	21.2 / 104.0	21.2 / 104.0	21.2 / 104.0
	MINIMUM CIRCUIT AMPACITY	28	28	28
	PROT. RTG. RECMD. (AMPS)	45	45	45
	SYSTEM EER/SEER @ ARI	11.5 / 14.8	11.5 / 14.8	11.5 / 14.8
	SYSTEM HPSF - HIGH TEMP. HEATING AT ARI	7.5	7.5	7.5
	MANUFACTURER (SEE NOTE 5)	TRANE	TRANE	TRANE
INDOOR UNIT MODEL NO.	TAM9A0C48V41	TAM9A0C48V41	TAM9A0C48V41	
HEAT PUMP MODEL NO.	4TWR6048N1	4TWR6048N1	4TWR6048N1	
NOTES	1,2,3,4,5	1,2,3,4,5	1,2,3,4,5	
NOTES: 1. PROVIDE TRANE OR EQUAL BY CARRIER, RUUD, AMERICAN STANDARD OR YORK. 2. EXTERNAL STATIC PRESSURE IS FOR DUCTWORK SYSTEM ONLY. FILTERS, COILS AND CASING LOSSES ARE INTERNAL. 3. PROVIDE WITH VARIABLE SPEED BLOWER AND BALANCE THE SYSTEM WITH ACTUAL FIELD CONDITIONS. PROVIDE WITH SOFT START - GRADUAL INCREASE OF FAN SPEED. 4. PROVIDE A SINGLE POINT ELECTRICAL CONNECTION, AND A 7-DAY PROGRAMMABLE THERMOSTAT. 5. THE OUTDOOR HEAT PUMP UNIT SHALL BE PROVIDED WITH LOCKING-TYPE, TAMPER-RESISTANT CAPS TO PREVENT UNWANTED ACCESS TO THE REFRIGERANT CIRCUIT ACCESS PORTS.				

FAN SCHEDULE

MARK	EF-1
FAN TYPE	CEILING CABINET EXHAUST
AIR VOLUME	50
EXT. S.P. - IN. W.G.	.125
DRIVE	DIRECT
SONES (MAXIMUM)	<.03
MOTOR - HP (WATTS)	(12)
ELECTRICAL - V/Ø/Hz	115/1/60
MANUFACTURER	GREENHECK
MODEL NO.	SP-A50-90-VG
NOTES	1,2,3
NOTES: 1. PROVIDE A UNIT MOUNTED DISCONNECT SWITCH, BACKDRAFT DAMPER, AND ARCHITECTURAL WALL LOUVER OR WALL CAP. 2. CONTROL WITH LOCAL SWITCH. 3. PROVIDE GREENHECK OR APPROVED EQUAL BY COOK, ACME, CARNES, BRIEDERT, OR TWIN CITY FANS.	

ELECTRIC UNIT HEATER SCHEDULE

MARK	EUH-1
TYPE	SUSPENDED
AIR VOLUME	200
HEATING CAPACITY - KW	1.5
HEATING CAPACITY - BTU	5,000
MANUFACTURER	REZNOR
MODEL NO.	EGHB
ELECTRICAL - V/Ø/Hz	120/1/60
NOTES	1,2
NOTES: 1. PROVIDE UNIT SELECTED OR EOR APPROVED EQUAL. 2. PROVIDE THERMOSTAT IN SPACE SET TO 55 DEG. ADJ.	

DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE

INDOOR UNIT		MAHU-1	MAHU-2	MAHU-3
FAN	MARK			
	SUPPLY AIR - CFM	600	600	600
	ELECTRICAL - V/Ø/Hz	240/1/60	240/1/60	240/1/60
	APPROXIMATE WEIGHT - LB	46	46	46
	TOTAL CAPACITY - MBTU/H	18.0	18.0	18.0
COOLING	ENT. AIR TEMP. - °F dB/WB	90 / 72	90 / 72	90 / 72
	TOTAL CAPACITY - MBTU/H	18.0	18.0	18.0
HEATING	ENT. AIR TEMP. - °F dB/WB	65 / 62	65 / 62	65 / 62
	TOTAL CAPACITY - MBTU/H	18.0	18.0	18.0
MARK		MDHP-1	MDHP-2	MDHP-3
AMBIENT AIR TEMP. - °F db		95	95	95
COMPRESSORS - NO.		1	1	1
ELECTRICAL - V/Ø/Hz		240/1/60	240/1/60	240/1/60
APPROXIMATE WEIGHT - LB		211	211	211
COMPR. RLA / FAN MOTOR FLA		8.0 / 13.0	8.0 / 13.0	8.0 / 13.0
MIN CIRCUIT AMPACITY		11	11	11
PROT. RTG. RECMD. (AMPS)		25	25	25
SYSTEM EER / SEER AT ARI		10.8 / 18.8	10.8 / 18.8	10.8 / 18.8
SYSTEM HPSF - HGH TEMP HEATING AT ARI		0.7	0.7	0.7
MANUFACTURER		TRANE	TRANE	TRANE
INDOOR UNIT MODEL NO.		TPEADA0181AA80A	TPEADA0181AA80A	TPEADA0181AA80A
HEAT PUMP MODEL NO.		TRUZA0181KA70NA	TRUZA0181KA70NA	TRUZA0181KA70NA
NOTES		1,2,3	1,2,3	1,2,3
NOTES: 1. PROVIDE TRANE OR EQUAL BY CARRIER, RUUD, AMERICAN STANDARD OR YORK. 2. PROVIDE A SINGLE POINT ELECTRICAL CONNECTION, AND A 7-DAY PROGRAMMABLE THERMOSTAT. 3. THE OUTDOOR HEAT PUMP UNIT SHALL BE PROVIDED WITH LOCKING-TYPE, TAMPER-RESISTANT CAPS TO PREVENT UNWANTED ACCESS TO THE REFRIGERANT CIRCUIT ACCESS PORTS.				

AIR DEVICE SCHEDULE

MARK	TYPE	NECK SIZE	FACE SIZE	AIR - PATTERN	MAX. NC	NOTES	MANUFACTURER AND MODEL NO.
1	LOUVERED SUPPLY GRILLE	6Ø	10X6	SINGLE DEFLECTION	25	1,2,3	TITUS 300
2	LOUVERED SUPPLY GRILLE	8Ø	10X6	SINGLE DEFLECTION	25	1,2,3	TITUS 300
A	CEILING FILTER RETURN GRILLE	12Ø	18X16	DOUBLE DEFLECTION	25	1,2,3	TITUS 350FL
B	CEILING FILTER RETURN GRILLE	16X16	22X22	DOUBLE DEFLECTION	25	1,2,3	TITUS 350FL
C	CEILING TRANSFER GRILLE	12X6	12X6	DOUBLE DEFLECTION	25	1,2,3	TITUS 350

NOTES:
 1. PROVIDE MODEL SPECIFIED OR APPROVED EQUAL BY PRICE, NAILOR, KRUEGER, METALAIRE, TUTTLE & BAILEY, OR TITUS.
 2. PROVIDE WITH ALUMINUM CONSTRUCTION AND STANDARD FINISH.
 3. COLOR BY ARCHITECT. PROVIDE SELECTION OPTIONS.
 4. PROVIDE WITH OPPOSED BLADE DAMPER.

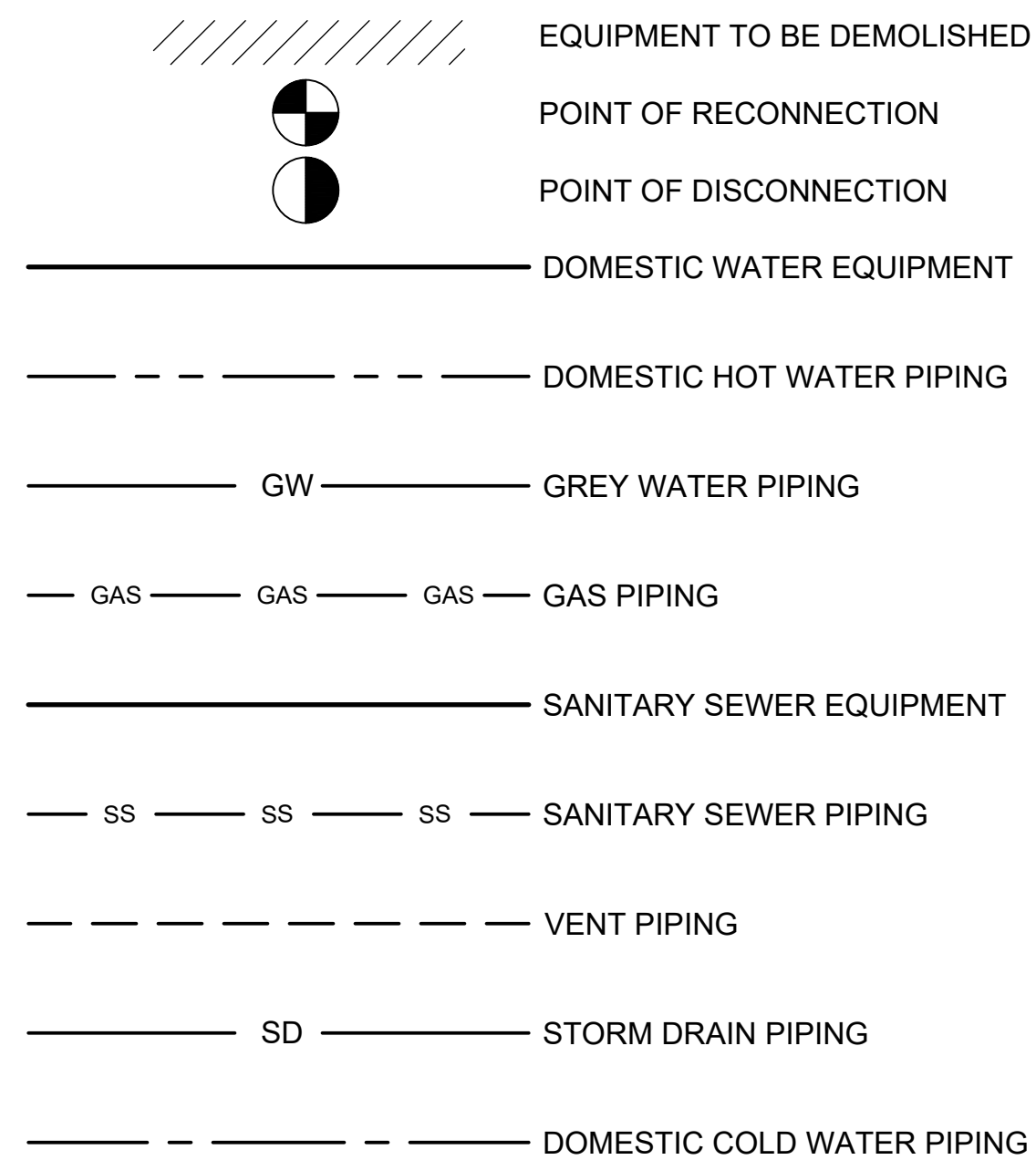
PLUMBING GENERAL NOTES:

- PROVIDE ALL MATERIALS AND LABOR NECESSARY FOR COMPLETE AND PROPERLY FUNCTIONING PLUMBING SYSTEMS.
- WORK SHALL CONFORM TO OR MEET THE REQUIREMENTS OF THE MOST CURRENT EDITION OF:
 - INTERNATIONAL PLUMBING CODE
 - INTERNATIONAL BUILDING CODE
 - INTERNATIONAL RESIDENTIAL CODE
 - INTERNATIONAL FUEL AND GAS CODE
 - NATIONAL FIRE PROTECTION ASSOCIATION CODE 54
 - ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES WHICH APPLY TO THIS WORK.
- DRAWING IS DIAGRAMMATIC IN NATURE AND IS NOT INTENDED TO BE SCALED FOR DIMENSIONS.
- ALL MATERIALS SHALL MEET THE REQUIREMENTS OF UL WHERE UL STANDARDS ARE ESTABLISHED FOR THOSE ITEMS. ALL ITEMS SHALL BE CLASSIFIED BY UL AS SUITABLE FOR THE PURPOSE USED.
- ALL ITEMS SHALL BE NEW AND ALL MATERIAL, EQUIPMENT AND DEVICES SHALL BE CURRENT PRODUCTS BY MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF SUCH PRODUCTS.
- COORDINATE LOCATION OF PLUMBING WORK WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- COORDINATE AND OBTAIN PERMITS AND INSPECTIONS FROM AUTHORITY HAVING JURISDICTION. PROVIDE OWNER WITH CERTIFICATE OF FINAL INSPECTION AND ACCEPTANCE FROM AUTHORITY HAVING JURISDICTION.
- CLEANOUTS SHALL BE LINE SIZE UNLESS NOTED OTHERWISE. FLOOR DRAINS SHALL BE LINE SIZE UNLESS NOTED OTHERWISE. THE FLOOR DRAIN SHALL BE FLUSH MOUNTED WITH FINISHED FLOOR AND THE FLOOR SHALL SLOPE TO THE DRAINS AT A MINIMUM OF 1/16" PER FOOT.
- VALVES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE.
- COLD AND HOT WATER VALVES 2" AND SMALLER SHALL BE RATED FOR POTABLE, BALL, MSS SP-110, BALL VALVE SHALL BE FULL PORT THREE PIECE OR TWO PIECE WITH A UNION DESIGN WITH ADJUSTABLE STEM PACKAGE. THREADED STEM 150 PSIG AND A CWP RATING OF 600 PSIG. THE BODY MATERIAL SHALL BE BRONZE ASTM B584, ALLOY C844. THE ENDS SHALL NE NON-LEAD SOLDER.
- ALL WASTE, DRAIN, AND VENT PIPING SHALL BE STANDARD WEIGHT, TYPE 1, PVC INSTALLED IN ACCORDANCE WITH ASTM D2321.
- COLD WATER PIPING SHALL BE INSULATED WITH 1" THICK GLASS FIBER (K OF 0.24 AT 75F) WITH VAPOR BARRIER. HOT WATER PIPING SHALL BE INSULATED WITH 1-1/2" THICK GLASS FIBER (K OF 0.24 AT 75F) WITHOUT VAPOR BARRIER.
- HANGERS FOR PIPE 1/2" TO 1-1/2" SHALL BE CARBON STEEL ADJUSTABLE SWIVEL, SPLIT RING TYPE, WITH A MAXIMUM SPACING OF 8'-0" ON CENTERS. HANGERS FOR 2" AND LARGER SHALL BE CARBON STEEL ADJUSTABLE CLEVIS TYPE. HANGER SPACING FOR PIPES 2-1/2" AND SMALLER SHALL NOT EXCEED 10'-0" ON CENTERS. PROVIDE CLEARANCE IN AN HANGERS FROM STRUCTURES AND OTHER EQUIPMENT FOR INSTALLATION OF INSULATION AND ACCESS TO VALVES AND FITTINGS. INSTALL HANGERS WITHIN 5'-0" OF ALL CHANGES INDIRECTION OF PIPING.
- ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH ROOFING CONTRACTOR TO ENSURE ROOF BOND WILL BE MAINTAINED.

16. OPERATION AND MAINTENANCE MANUALS FOR PLUMBING EQUIPMENT TO BUILDING OWNER. ABBREVIATIONS:

- AAV - AIR ADMITTANCE VALVE
- ABV - ABOVE
- AFF - ABOVE FINISHED FLOOR
- BFF - BELOW FINISHED FLOOR
- CB - CATCH BASIN
- CO - CLEAN OUT
- CW - COLD WATER
- DIA - DIAMETER
- DN - DOWN
- DHW - DOMESTIC HOT WATER
- DCW - DOMESTIC COLD WATER
- EWC - ELECTRIC WATER COOLER
- FCO - FLOOR CLEAN OUT
- FD - FLOOR DRAIN
- FS - FLOOR SINK
- GCO - GRADE CLEAN OUT
- GW - GREASE WASTE
- HTR - HEATER
- HB - HOSE BIB
- PRV - PRESSURE REDUCING VALVE
- SS - SANITARY SEWER
- V - VENT
- WCO - WALL CLEAN OUT
- WH - WALL HYDRANT

PLUMBING LEGEND:



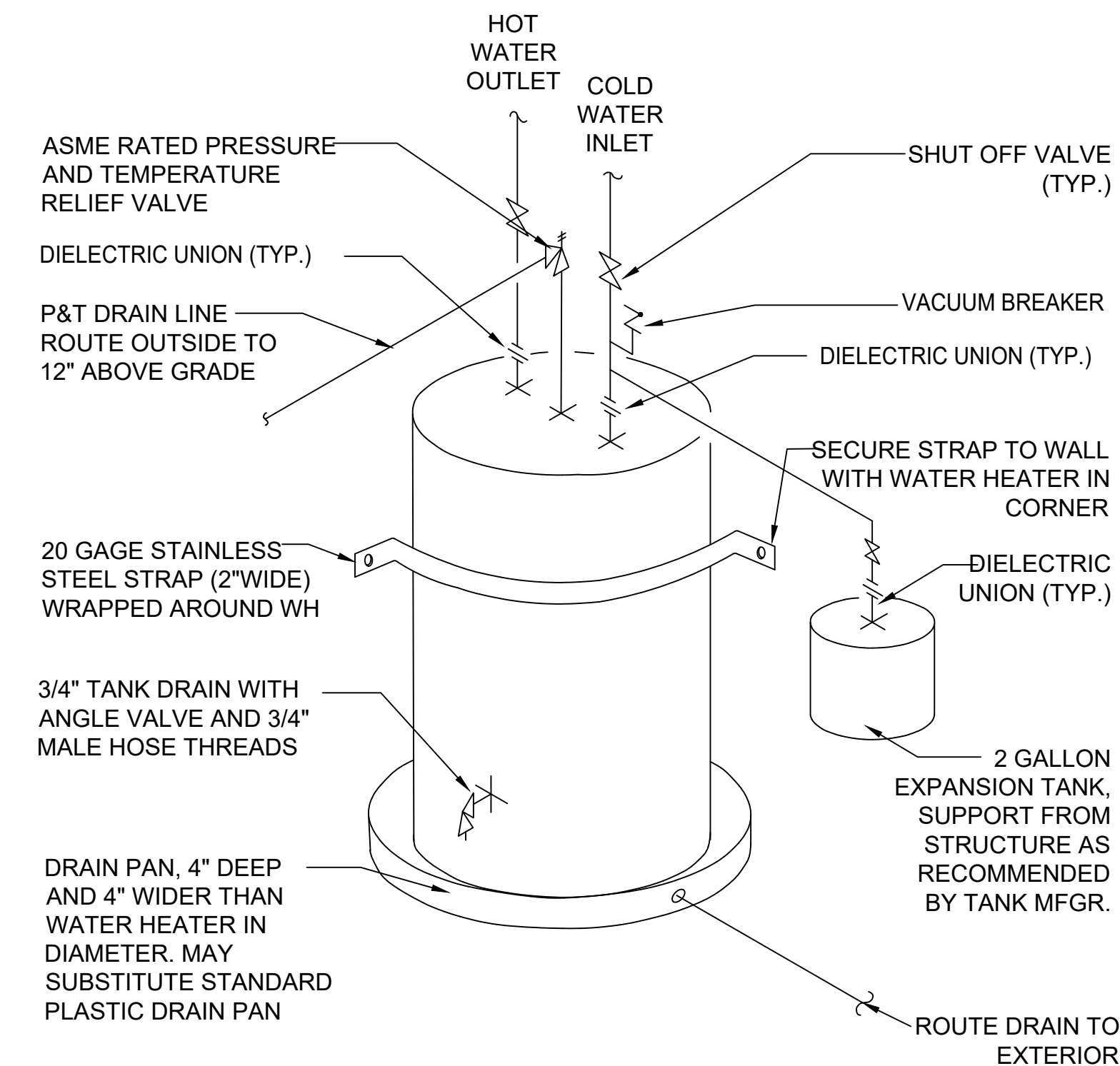
PIPING: NATURAL GAS
 BLACK STEEL : ASTM A 53/A 53M BLACK STEEL, SCHEDULE 40, TYPE E OR S, GRADE B.
 JOINTS: JOINT COMPOUND AND TAPE SUITABLE FOR NATURAL GAS.
 WELDING FILLER METALS: AWS D10.12/D10.12M
 FITTINGS: ASME B16.3, CLASS 150; ASTM A 234/A 234M; ASME B16.39 CLASS 150 WITH BRASS TO IRON SEAT, GROUND JOINT, AND THREADED ENDS

PIPING: WATER
 CPVC PIPING: ASTM F441/F441M-15 CHLORINATED POLY PLASTIC SCHEDULE 40 AND BO HOT AND COLD-WATER DISTRIBUTION PIPING.
 PEX PIPING: ASTM FB77-18 CROSSLINKED POLYETHYLENE HOT AND COLD-WATER DISTRIBUTION PIPING.

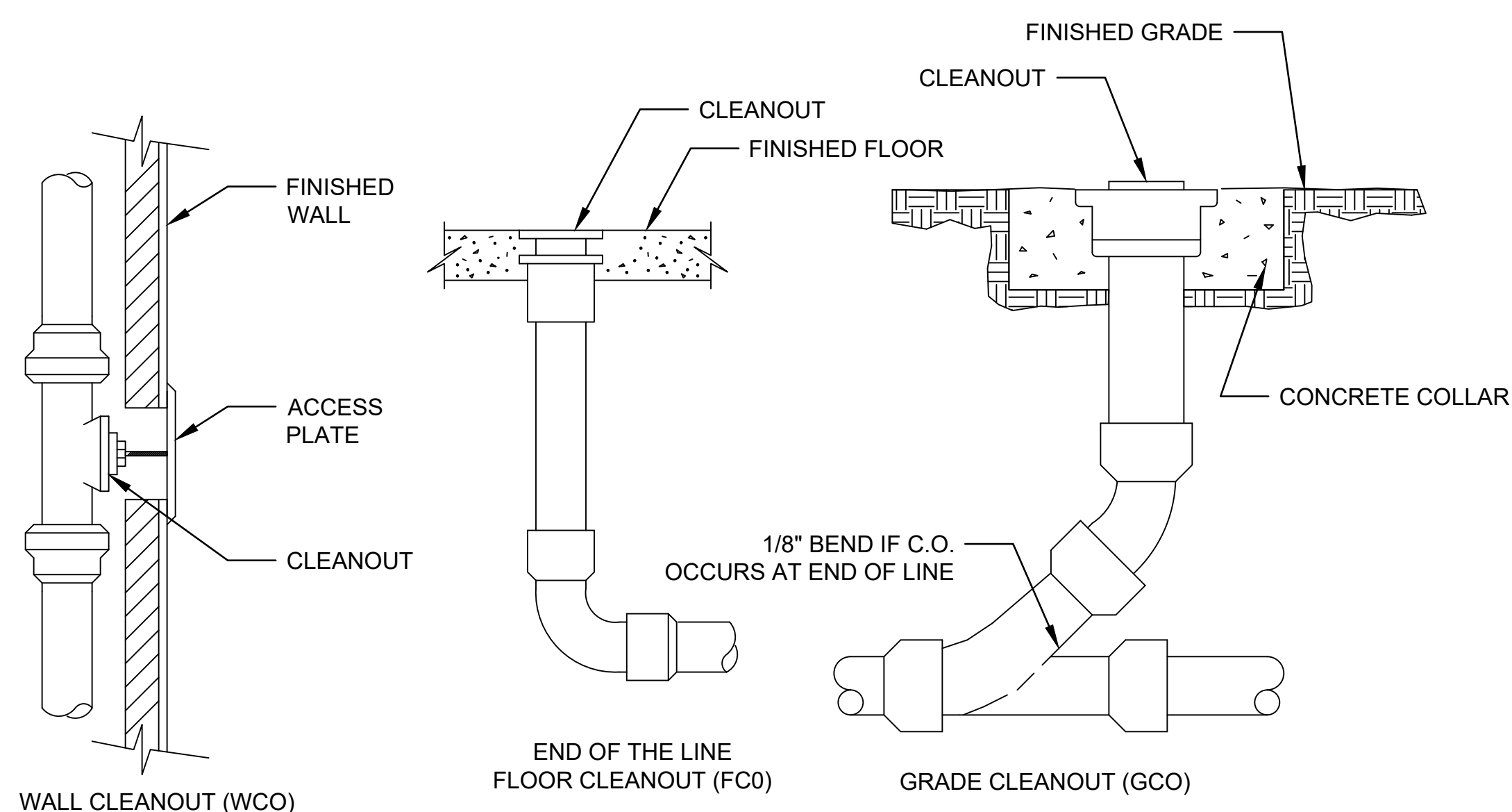
PIPING: DRAIN, WASTE & VENT
 PVC: ASHJ D2665 SCHEDULE 40 PVC SOLID WALL PIPING
 JOINTS: ASTM D2564 SOLVENT CEMENT. JOINTS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2855.
 FITTINGS: ASTM D2665 SCHEDULE 40 PVC DWV FITTINGS.

FOAM CORE SCHEDULE 40 DWV PIPE IN NOT AN ACCEPTABLE ALTERNATE TO STANDARD SCHEDULE 40 PVC.

WATER HEATER SCHEDULE	
MARK	EWH-1
TYPE	ELECTRIC WATER HEATER
ELEMENT WATTAGE OPERATION	NON-SIMULTANEOUS
HEATING WATTS - KW	4.5
TEMPERATURE RISE - F	60
STORAGE - GALLONS	80
RECOVERY RATE - GALLONS/HR	30
EWT - DEG F.	60
LWT - DEG F.	120
V/Ø/HZ	240/1/60
MANUFACTURER	AO SMITH
MODEL NO.	LTE 80D
NOTES: 1. PROVIDE UNIT OR OWNER APPROVED EQUAL.	



1 P0-01 ELECTRIC WATER HEATER DETAIL
 NOT TO SCALE



2 P0-01 WALL, FLOOR, & GRADE CLEANOUT DETAIL
 NOT TO SCALE

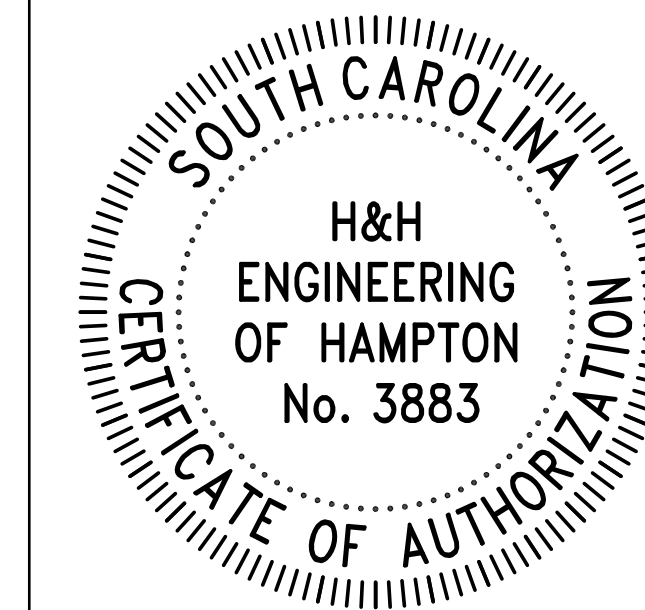
SHEET INDEX			
SHEET NUMBER	SHEET TITLE	REV. NUMBER	DATE
P0-01	PLUMBING TITLE SHEET, DETAILS, AND SCHEDULES	0	05/25/2023
P1-01	FIRST FLOOR PLUMBING PLAN	0	05/25/2023
P1-02	SECOND FLOOR PLUMBING PLAN	0	05/25/2023
P1-03	THIRD FLOOR PLUMBING PLAN	0	05/25/2023

WATER HEATER SCHEDULE			IDENTITY DATA				PIPING CONNECTIONS				NOTES	
MARK	FIXTURE TYPE	FIXTURE SPECIFICATION	DCW	DHW	WASTE	VENT	DCW	DHW	WASTE	VENT		
P-1	SHOWER	STERLINE MEDLEY 60X30 BATH KIT: DELTA FOUNDATIONS CHROME 1 HANDLE	1/2"	1/2"	4"	3"	1					
P-2	FLOOR MOUNTED TOILET	AMERICAN STANDARD CADET 215AA.004	1/2"	-	4"	3"	1					
P-3	COUNTER LAVATORY	AMERICAN STANDARD TOWNSEND: UNDER COUNTER 0330.000 : WHITE: TOWNSEND SUITE FAUCET	1/2"	1/2"	3"	2"	1					
P-4	KITCHEN SINK	AMERICAN STANDARD EDGEWATER: 25X22 STAINLESS: 18SB6252211.075: AMERICAN STANDARD DELANCEY FAUCET	1/2"	1/2"	2"	2"	1					
IMB	ICE MAKER BOX	OATEY QUARTER TURN ICE MAKER BOX	1/2"	-	-	-	1					
WMB	WASHER MACHINE BOX	SHARKBITE: QUARTER TURN BALL VALVE	1/2"	1/2"	2"	-	1					
WCO	WALL CLEAN OUT	ZURN MODEL Z1446 WITH ACCESS COVER	-	-	4"	-	1					
FCO	FLOOR CLEANOUT	ZURN MODEL Z1402 WITH COVER	-	-	4"	-	1					

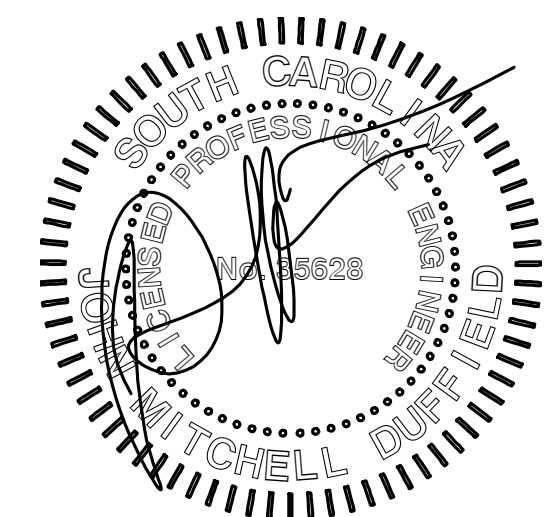
NOTES:
 1. FIXTURES SPECIFIED ARE BOD. PLUMBING CONTRACTOR TO COORDINATE WITH OWNER ON FINAL FIXTURES. NOTIFY EOR OF ANY DISCREPANCIES.



COA:



SEAL:



DRAWN BY:

APPROVED BY:

DATE: 06/20/2023

- APPROVED FOR CONSTRUCTION
- PRELIMINARY - NOT FOR CONSTRUCTION

CHANGES / REVISIONS

#	Date	Description
A	06/20/2023	ISSUE FOR REVIEW
0	06/26/2023	ISSUE FOR CONSTRUCTION

PROJECT

BURKE TOWNHOMES

JOB NUMBER

23-010

SHEET TITLE

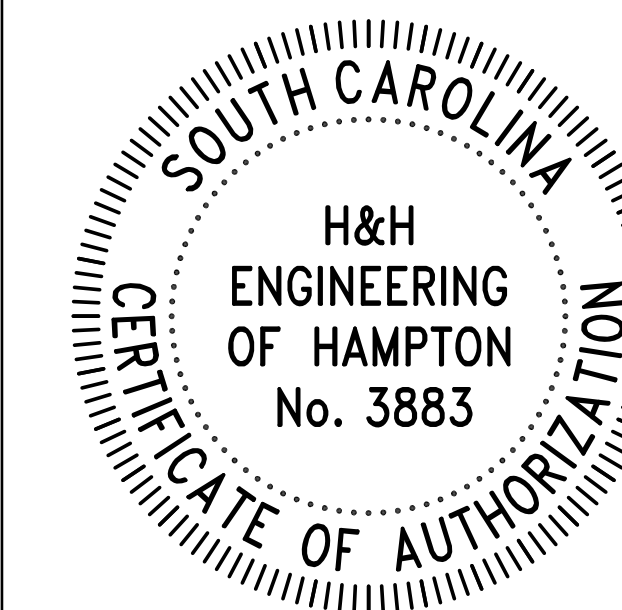
PLUMBING TITLE SHEET, DETAILS, AND SCHEDULES

SHEET NUMBER

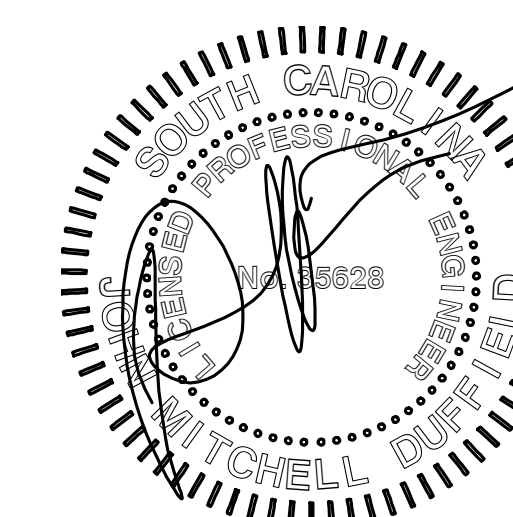
P0-01



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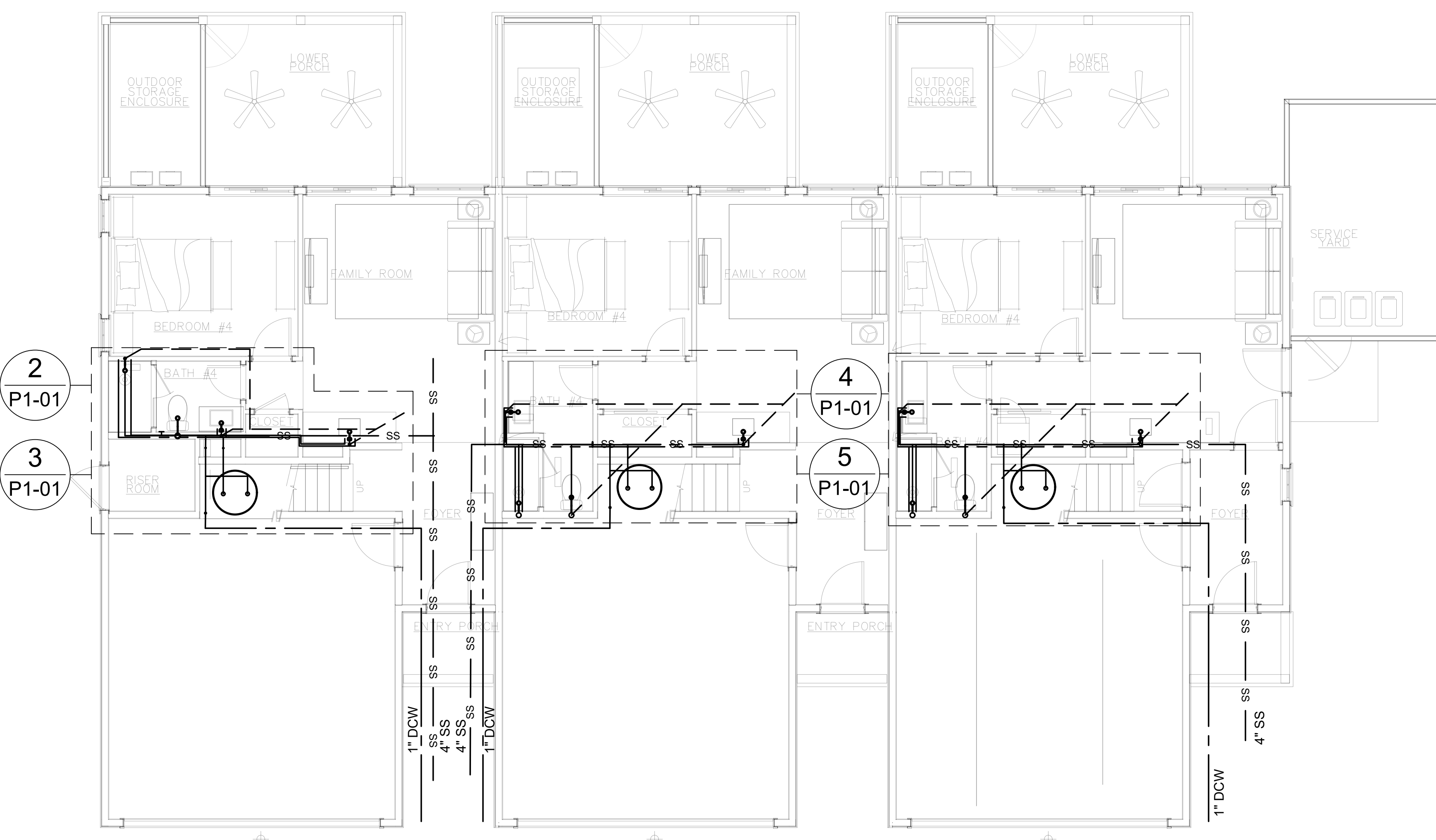
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SHEET TITLE

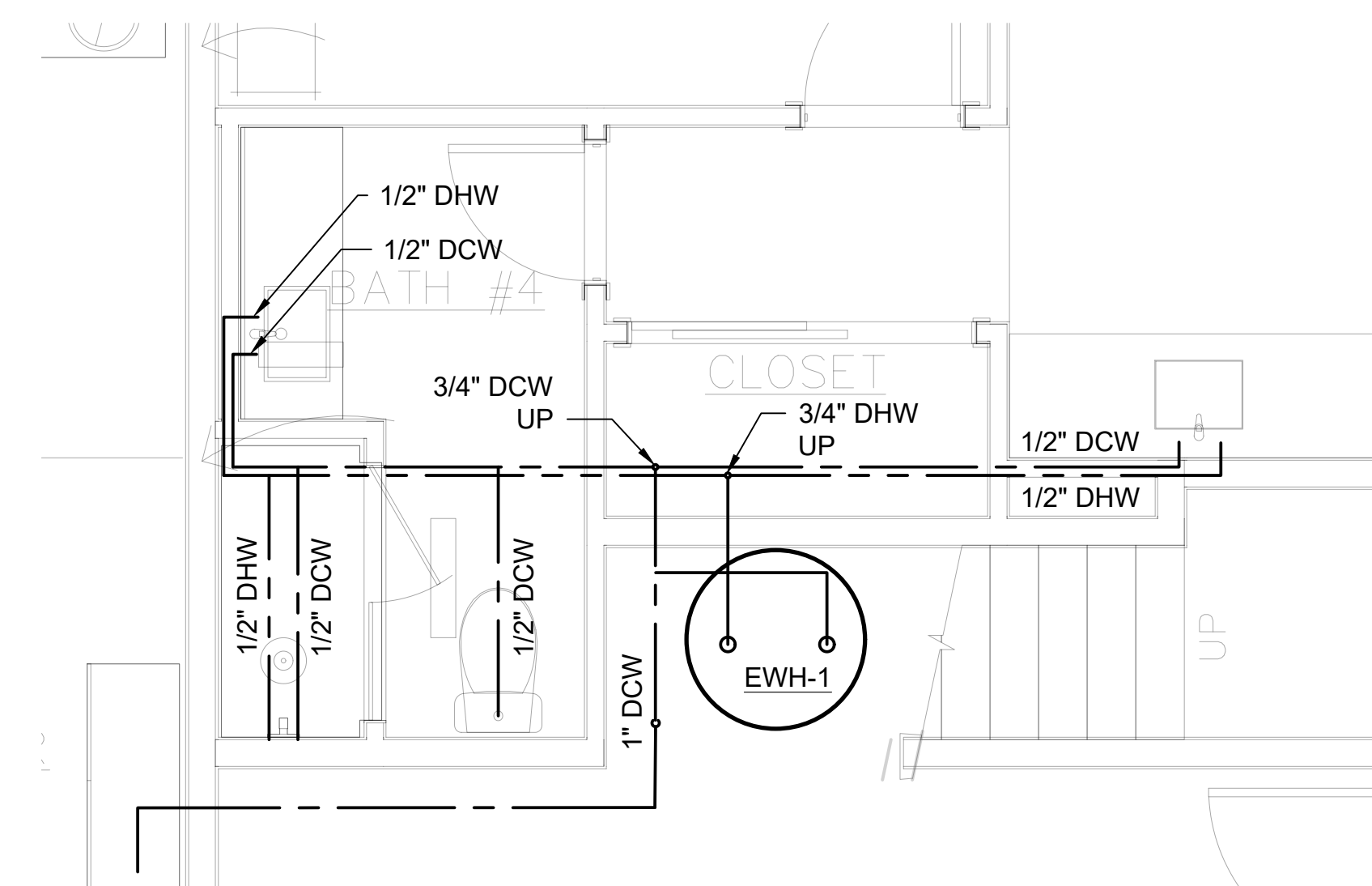
FIRST FLOOR PLUMBING PLAN

SHEET NUMBER

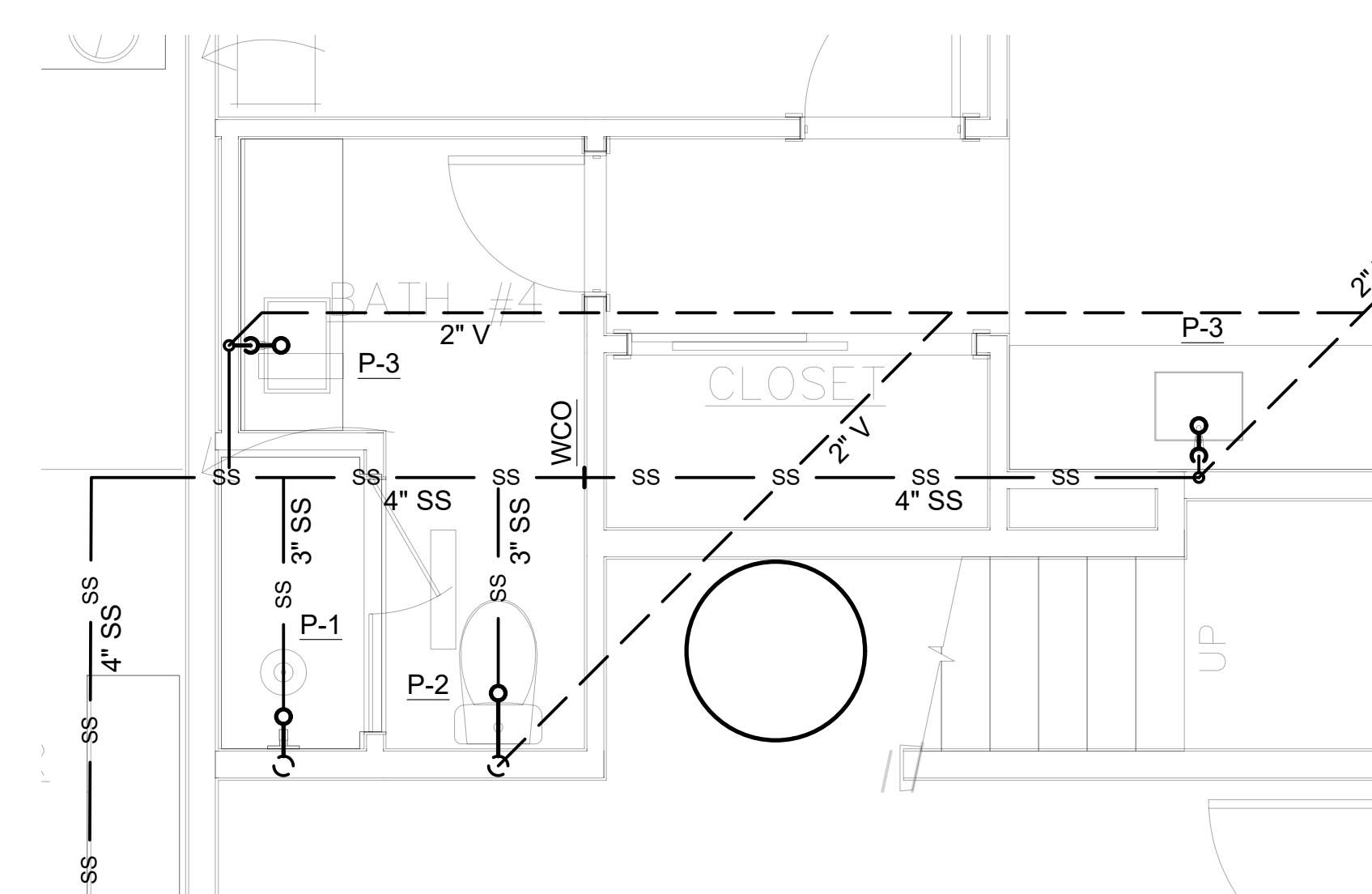
P1-01



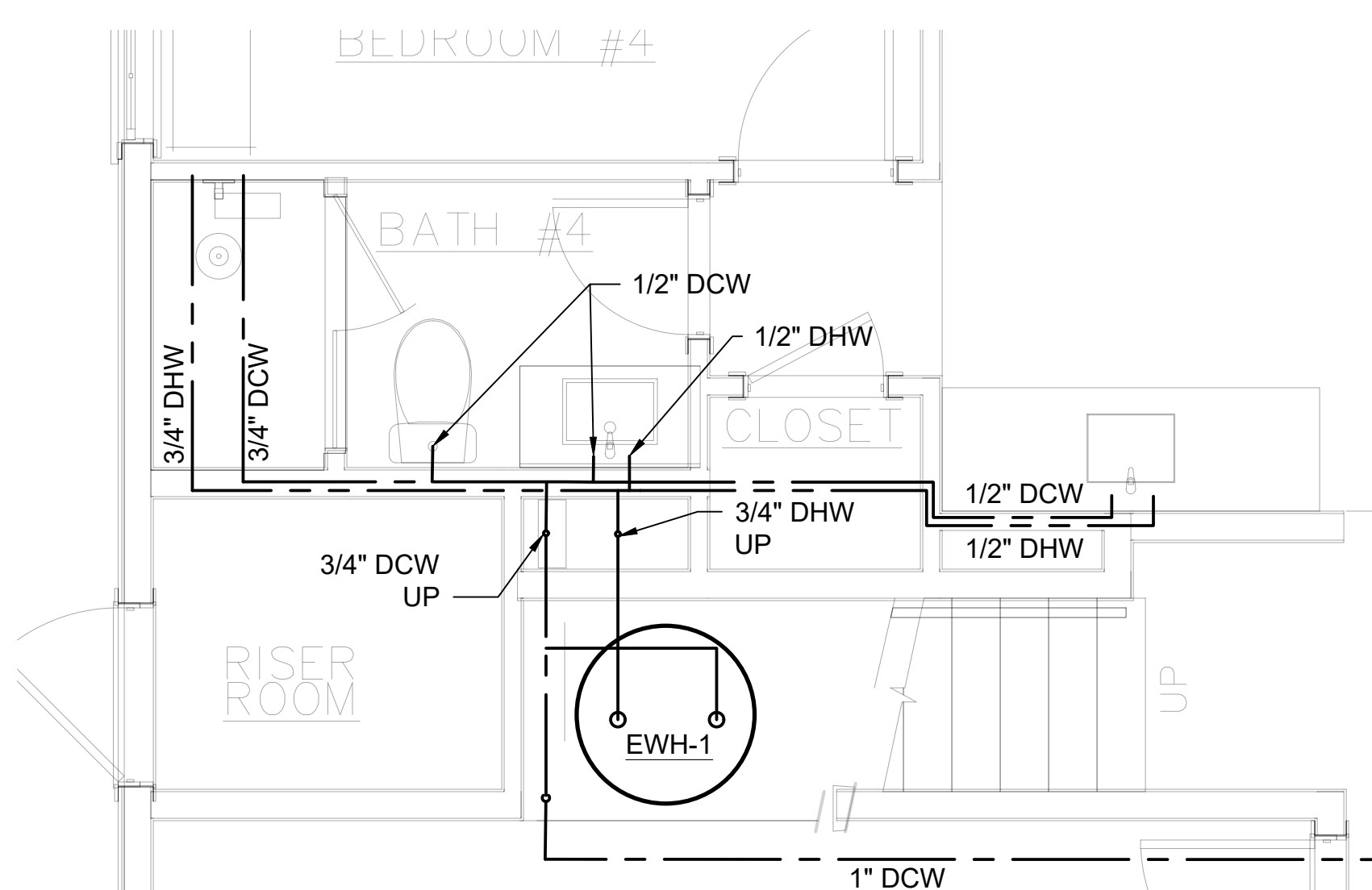
1 FIRST FLOOR PLUMBING PLAN
P1-01 SCALE: 1/2" = 1'-0"



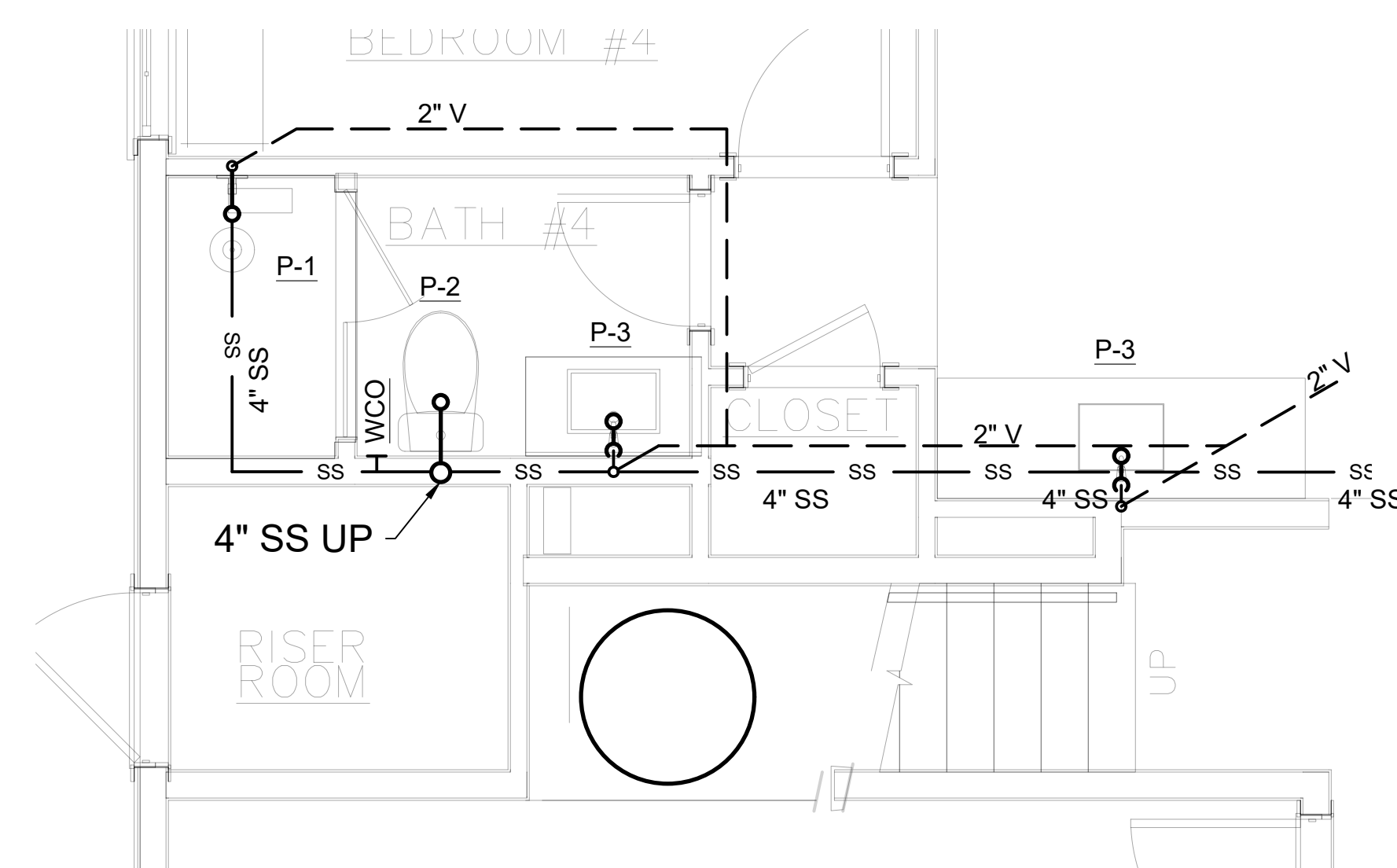
4 ENLARGED DOMESTIC WATER PLAN
P1-01 SCALE: 1/2" = 1'-0"



5 ENLARGED SANITARY WASTE AND VENT PLAN
P1-01 SCALE: 1/2" = 1'-0"



2 ENLARGED DOMESTIC WATER PLAN
P1-01 SCALE: 1/2" = 1'-0"



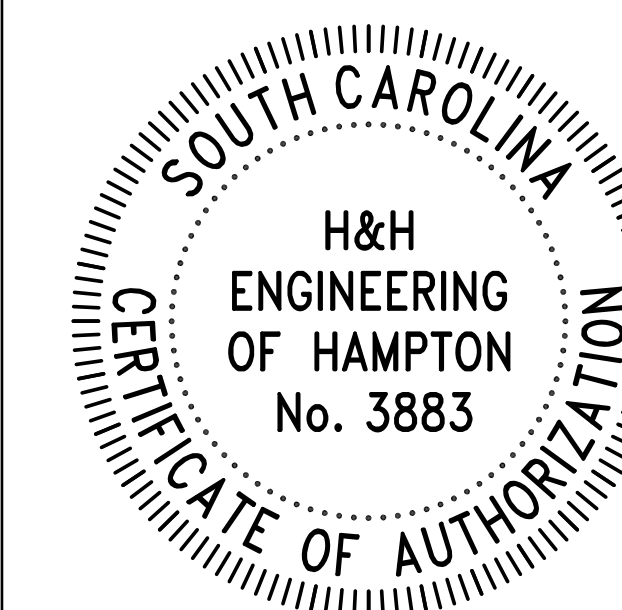
3 ENLARGED SANITARY WASTE AND VENT PLAN
P1-01 SCALE: 1/2" = 1'-0"

PLUMBING NEW WORK NOTES:

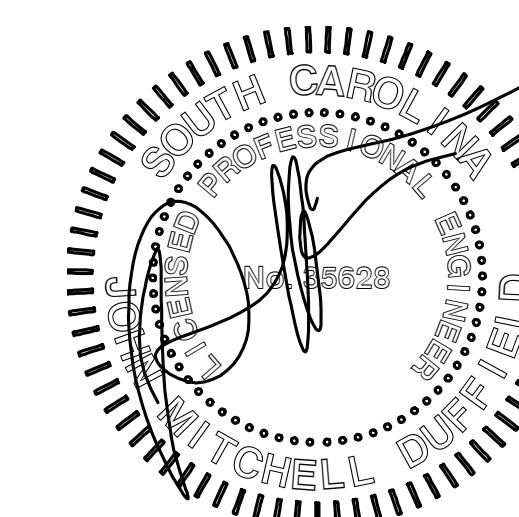
- DRAWINGS IS DIAGRAMMATIC IN NATURE. CONTRACTOR REASONABLE FOR A COMPLETE AND OPERATIONAL SYSTEM.



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PROJECT

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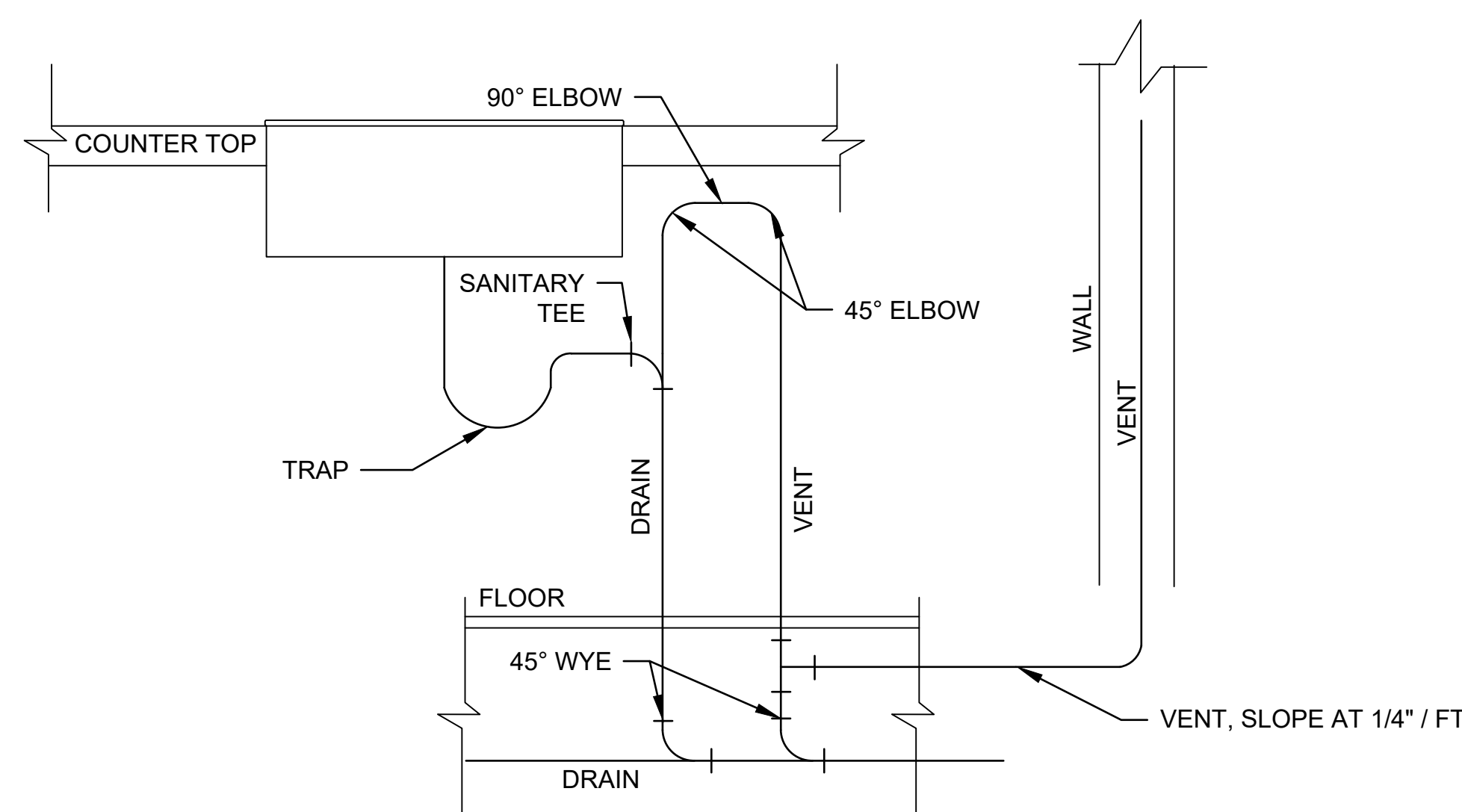
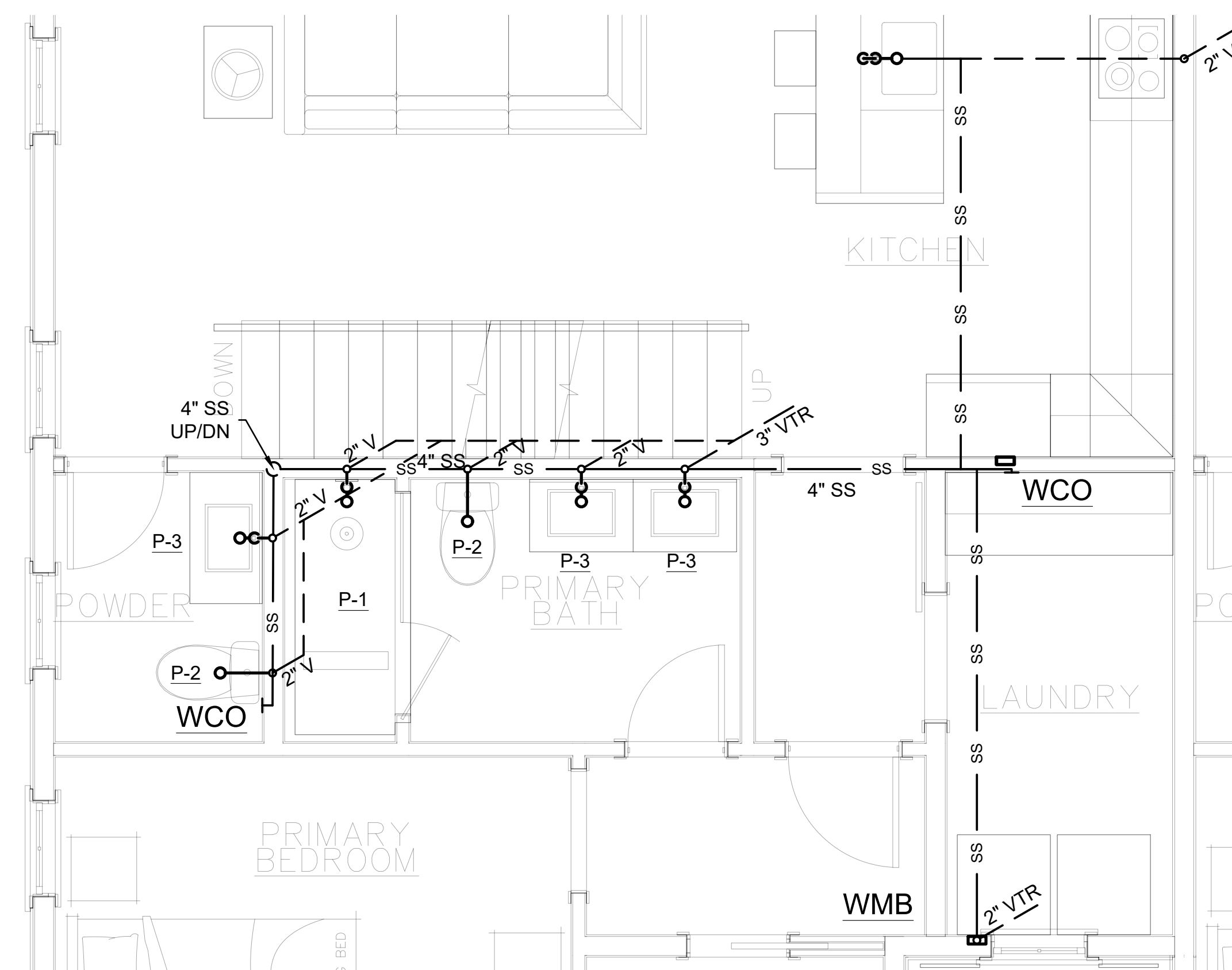
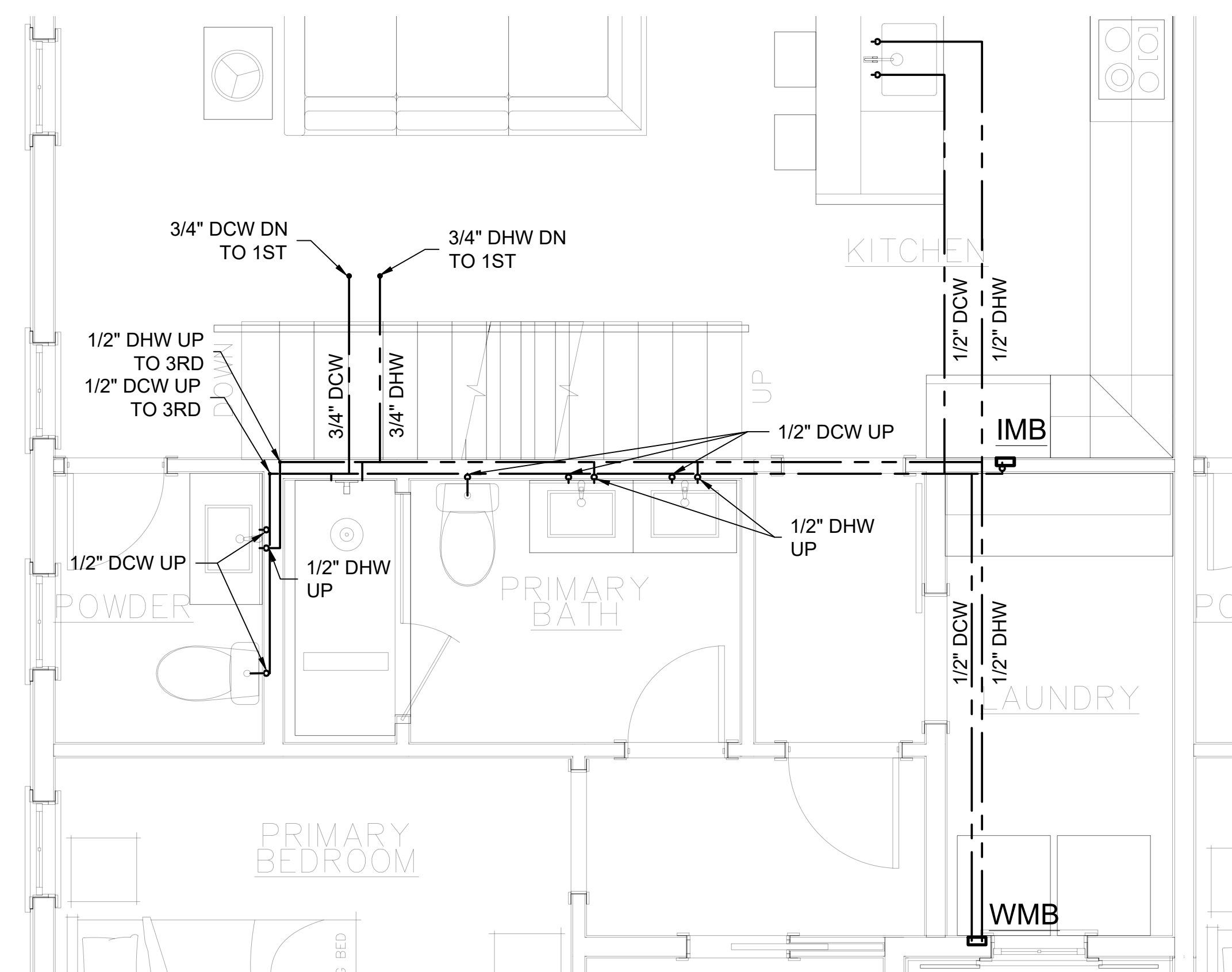
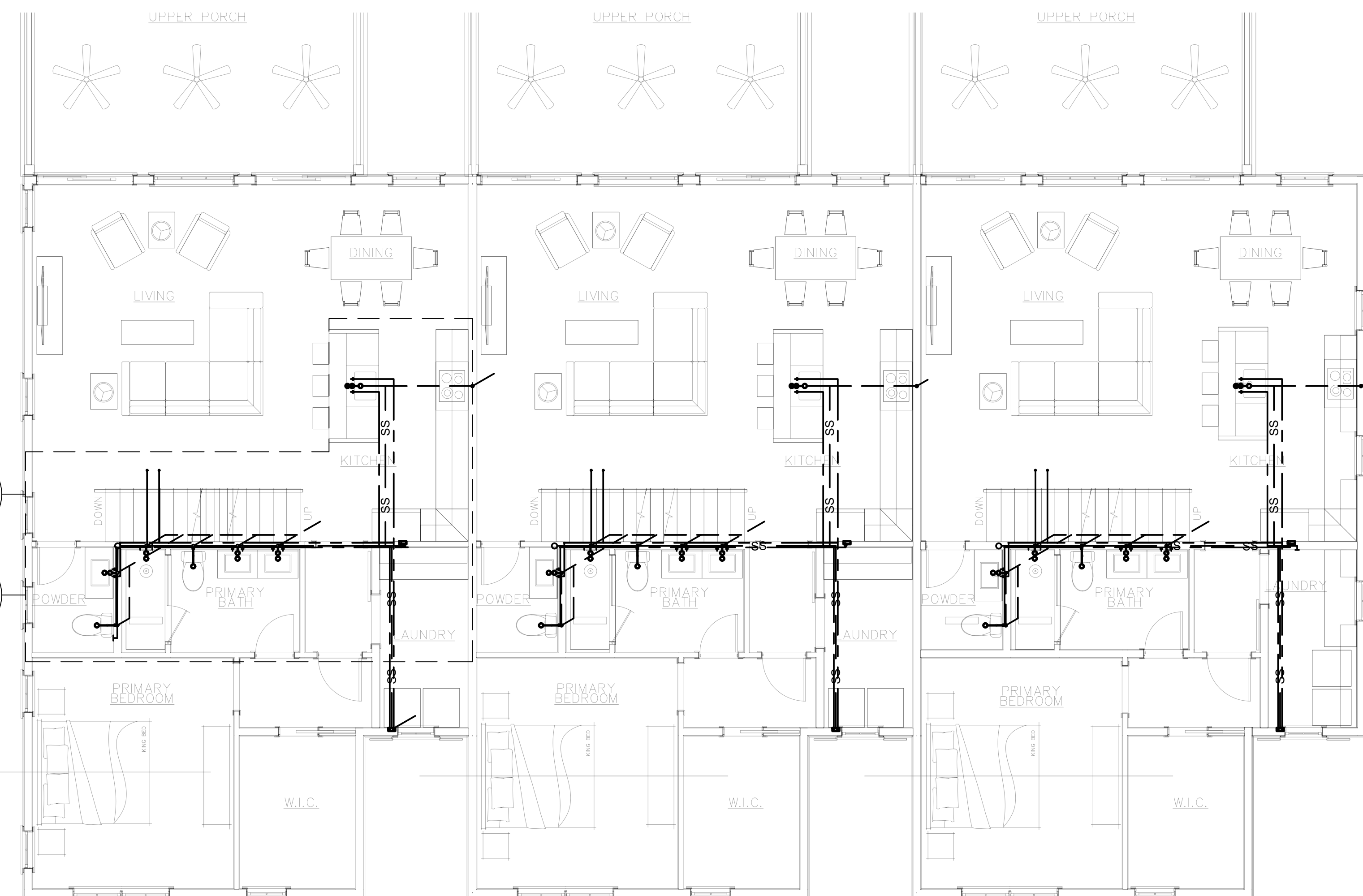
23-010

SHEET TITLE

SECOND FLOOR PLUMBING PLAN

SHEET NUMBER

P1-02

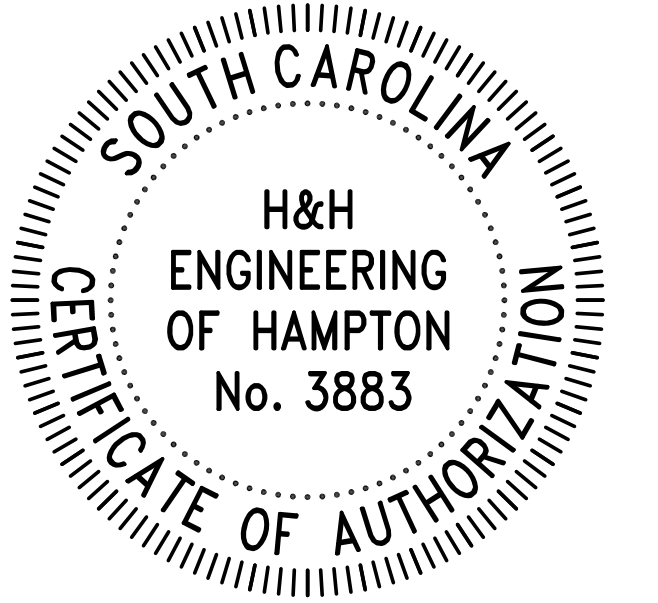


PLUMBING NEW WORK NOTES:

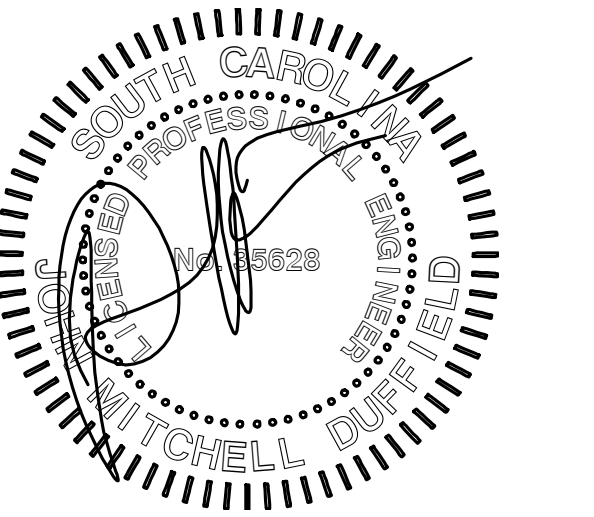
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PROJECT

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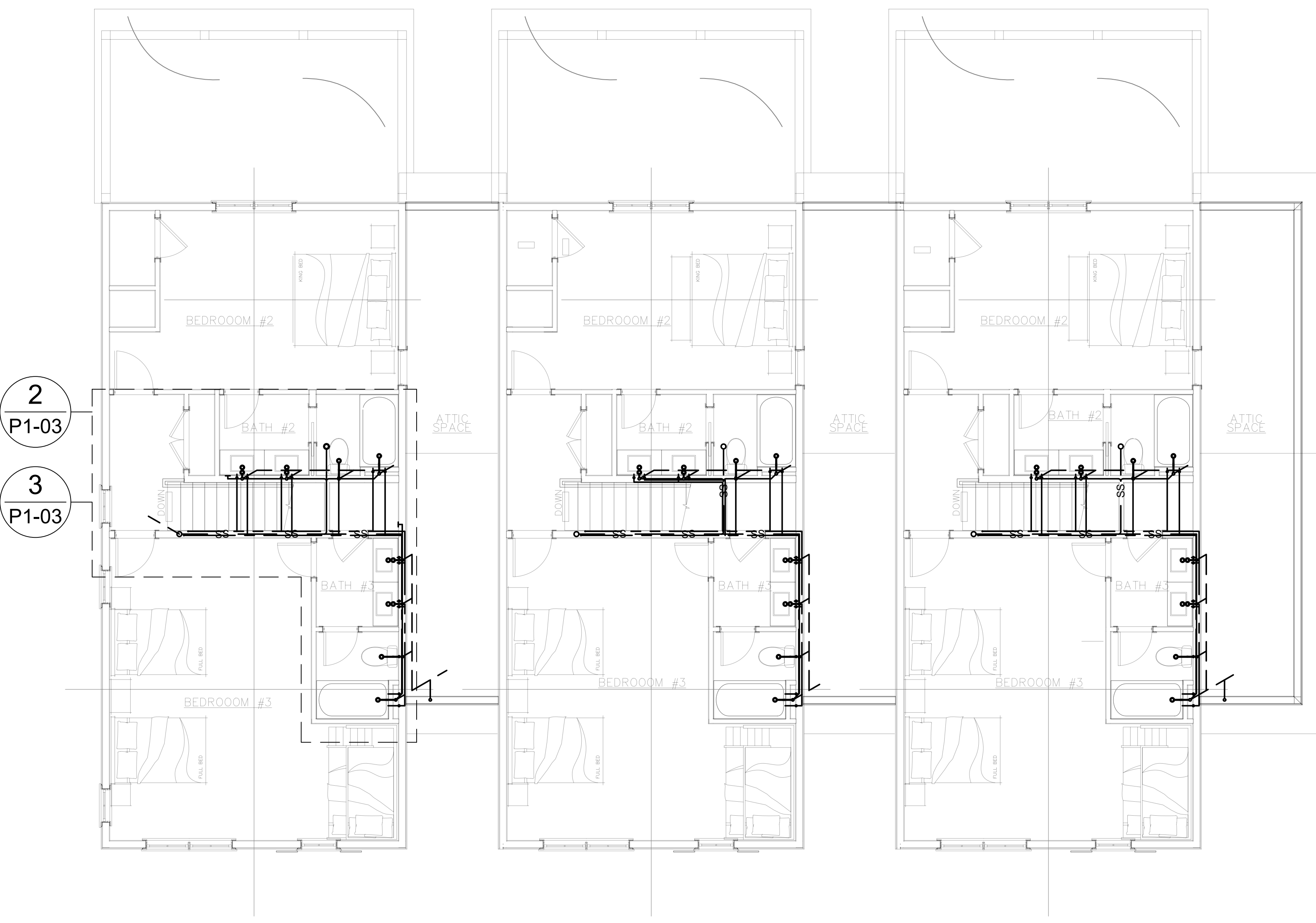
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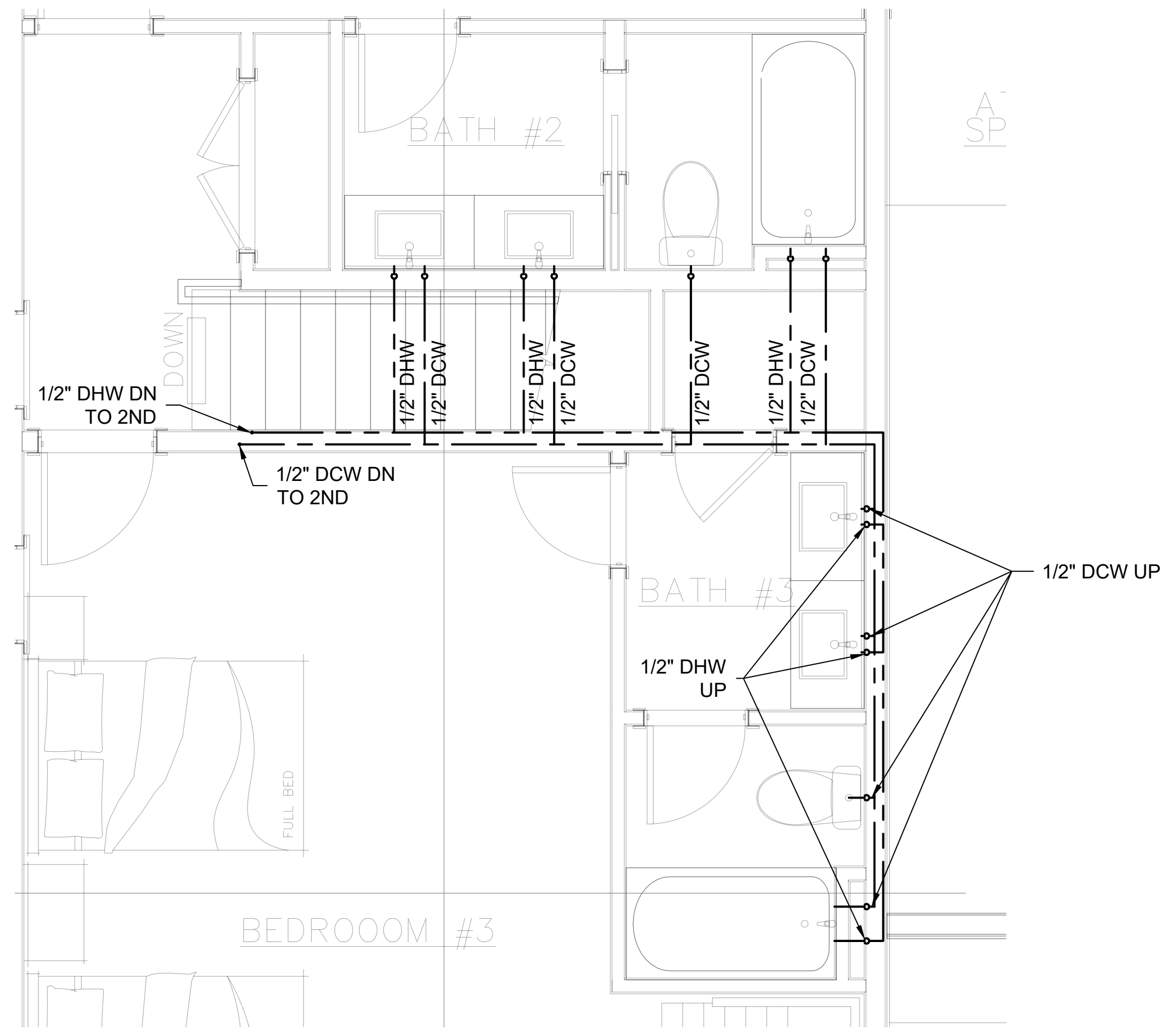
THIRD FLOOR PLUMBING PLAN

SHEET NUMBER

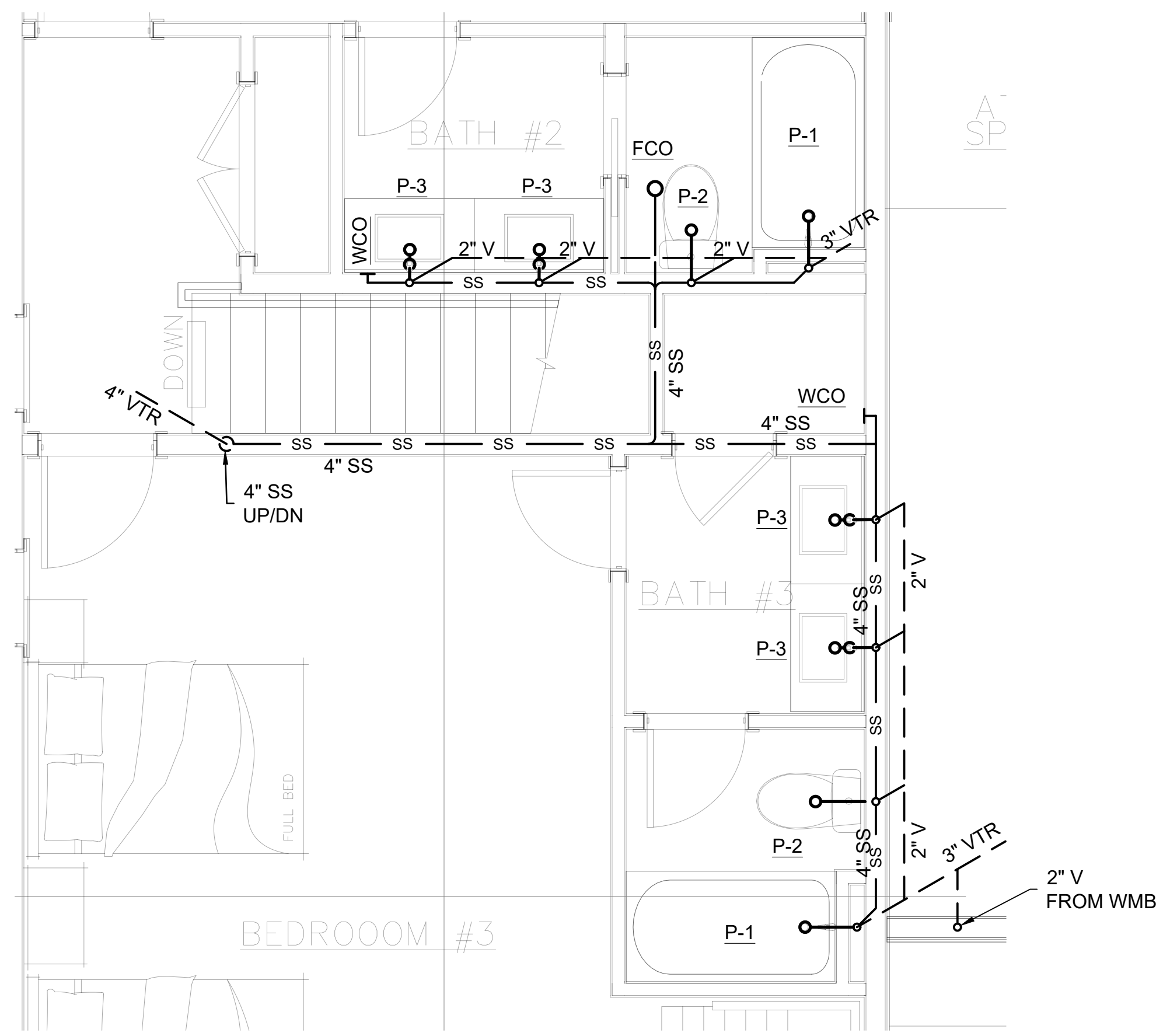
P1-03



1 THIRD FLOOR PLUMBING PLAN
P1-03 SCALE: 1/2" = 1'-0"



2 ENLARGED DOMESTIC WATER PLAN
P1-03 SCALE: 1/2" = 1'-0"



3 ENLARGED SANITARY WASTE AND VENT PLAN
P1-03 SCALE: 1/2" = 1'-0"

PLUMBING NEW WORK NOTES:
1. DRAWINGS IS DIAGRAMMATIC IN NATURE. CONTRACTOR REASONABLE FOR A COMPLETE AND OPERATIONAL SYSTEM.

GENERAL NOTES:

1. ALL SILT BARRIERS AND OTHER EROSION CONTROL MEASURES MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
2. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), TOWN OF HILTON HEAD SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
5. THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
6. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.
7. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
10. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
11. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
12. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
13. THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THEIR WORK.
14. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE LIMITS OF THE PROPERTY BOUNDARY, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
15. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFF-SITE.
16. CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
17. ANY DAMAGE TO THE SIDE STREETS OR SIDEWALK DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE.

SCDHEC STANDARD NOTES:

1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL ALL EXPOSED DURING UTILITY CONSTRUCTION. DISTURBED AREAS SHALL BE CLEANED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED:
 - A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES SHALL BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 & SCR100000.
6. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STUCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
7. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
8. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES CEASED AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
9. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
10. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.)
12. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL
 - WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE
 - SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING
13. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
14. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
15. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
16. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
17. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
18. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREAS.
19. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.

TOWN OF HILTON HEAD DATA

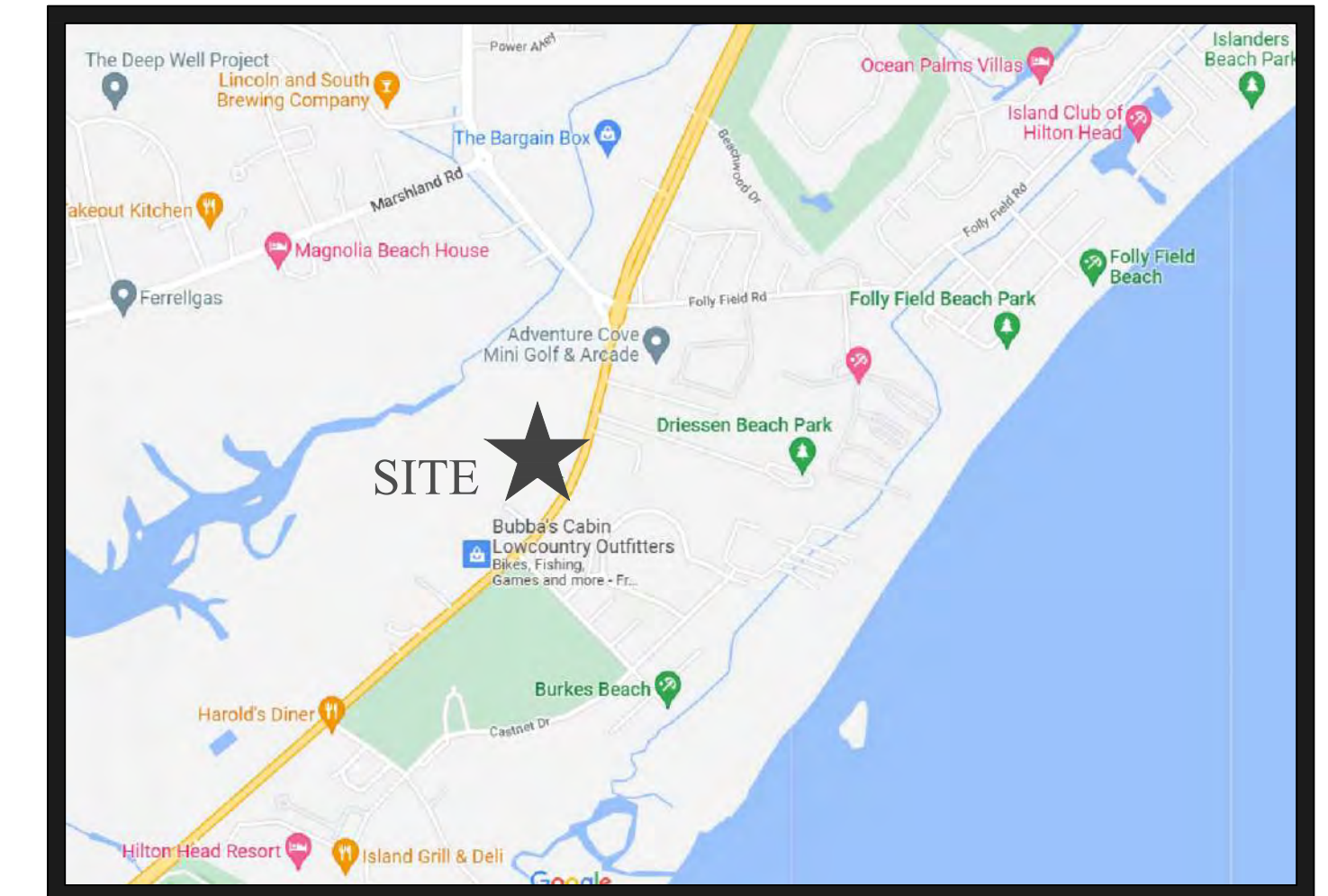
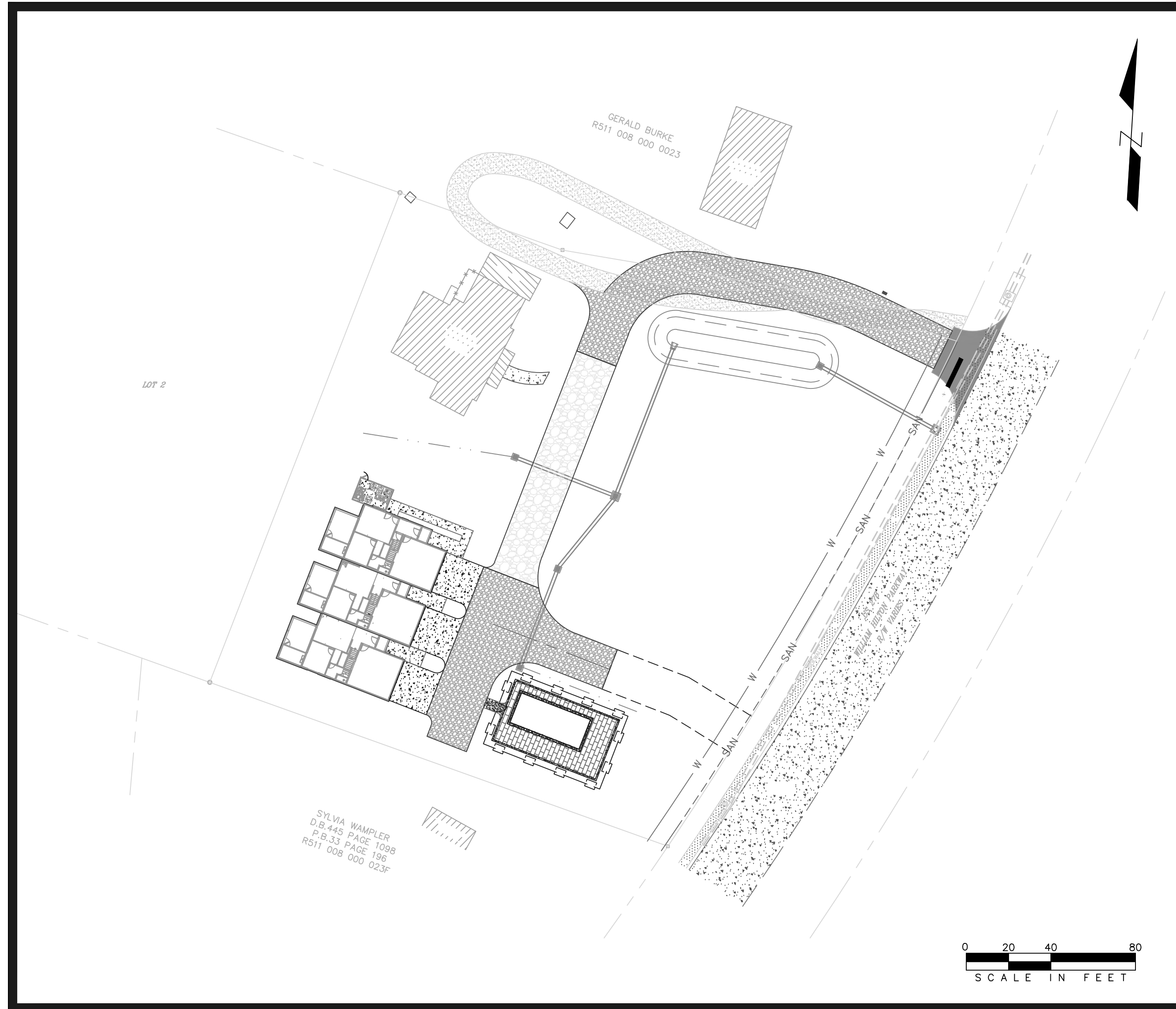
1. PARCEL NO = R511 008 000 0621 0000
2. SITE ADDRESS = 592 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC
3. PROPERTY OWNER = BURKE DAWN S BURKE GERALD G
4. ZONING DISTRICT = MF - MARSHFRONT MIXED USE
5. OVERLAY DISTRICT = COR
6. FEMA FLOOD ZONE = X, 0.2 PERCENT CHANCE ANNUAL FLOOD HAZARD
7. EXISTING USE OF PROPERTY = SINGLE FAMILY RESIDENTIAL
8. PROPOSED USE OF PROPERTY = MULTI-FAMILY
9. GROSS SITE ACRES = 1.51 AC
10. NET SITE ACRES = 1.51 AC
11. ALLOWED TOTAL DENSITY = RESIDENTIAL - 4 DU PER NET ACRE X 1.51 AC = 6 DU
12. MAXIMUM BUILDING HEIGHT ALLOWED = 45 FT
13. PROPOSED BUILDING HEIGHT = 36± FT
14. MAXIMUM ALLOWED IMPERVIOUS AREA = 60%
15. EXISTING IMPERVIOUS AREA = 4%
16. PROPOSED IMPERVIOUS AREA = 33%
17. MINIMUM NUMBER OF PARKING SPACES REQUIRED = 2 SPACES PER DU X 3 DU = 6 SPACES
18. PROPOSED PARKING SPACES = 16 SPACES = 3 DU X 2 CAR GARAGES = 6 SPACES
19. REQUIRED WATER QUALITY VOLUME = 14,341 SF PROPOSED IMPERVIOUS AREA X 1.5 IN/IMP SF X 1 FT/12 IN = 1,793 CF (DOES NOT INCLUDE PRE-DEVELOPMENT IMPERVIOUS AREA TO REMAIN, BMP'S OR PERVIOUS DRIVE AISLE)
20. PROPOSED WATER QUALITY VOLUME = INFILTRATION BASIN = 1,793 CF

PERMIT PLANS FOR CHAPLIN TOWNHOMES

592 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC 29926

PREPARED FOR
GERALD BURKE

PO BOX 3020
BLUFFTON, SC 29910



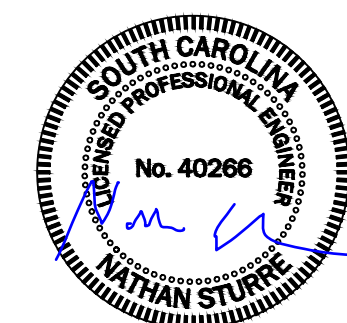
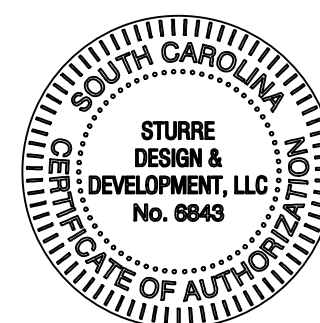
VICINITY MAP
N.T.S.

Sheet List Table	
Sheet No.	Sheet Title
1	TITLE SHEET
2	TREE AND TOPOGRAPHIC SURVEY (BY OTHERS)
3	DEMO & INITIAL SWPP PLAN
4	INTERMEDIATE SWPP PLAN
5	SWPPP DETAILS
6	SWPPP DETAILS
7	SITE IMPROVEMENT PLAN
8	GRADING PLAN
9	GRADING PROFILES & CIVIL DETAILS
10	UTILITY PLAN
11	UTILITY DETAILS
12	TRAFFIC CONTROL PLAN

PREPARED BY



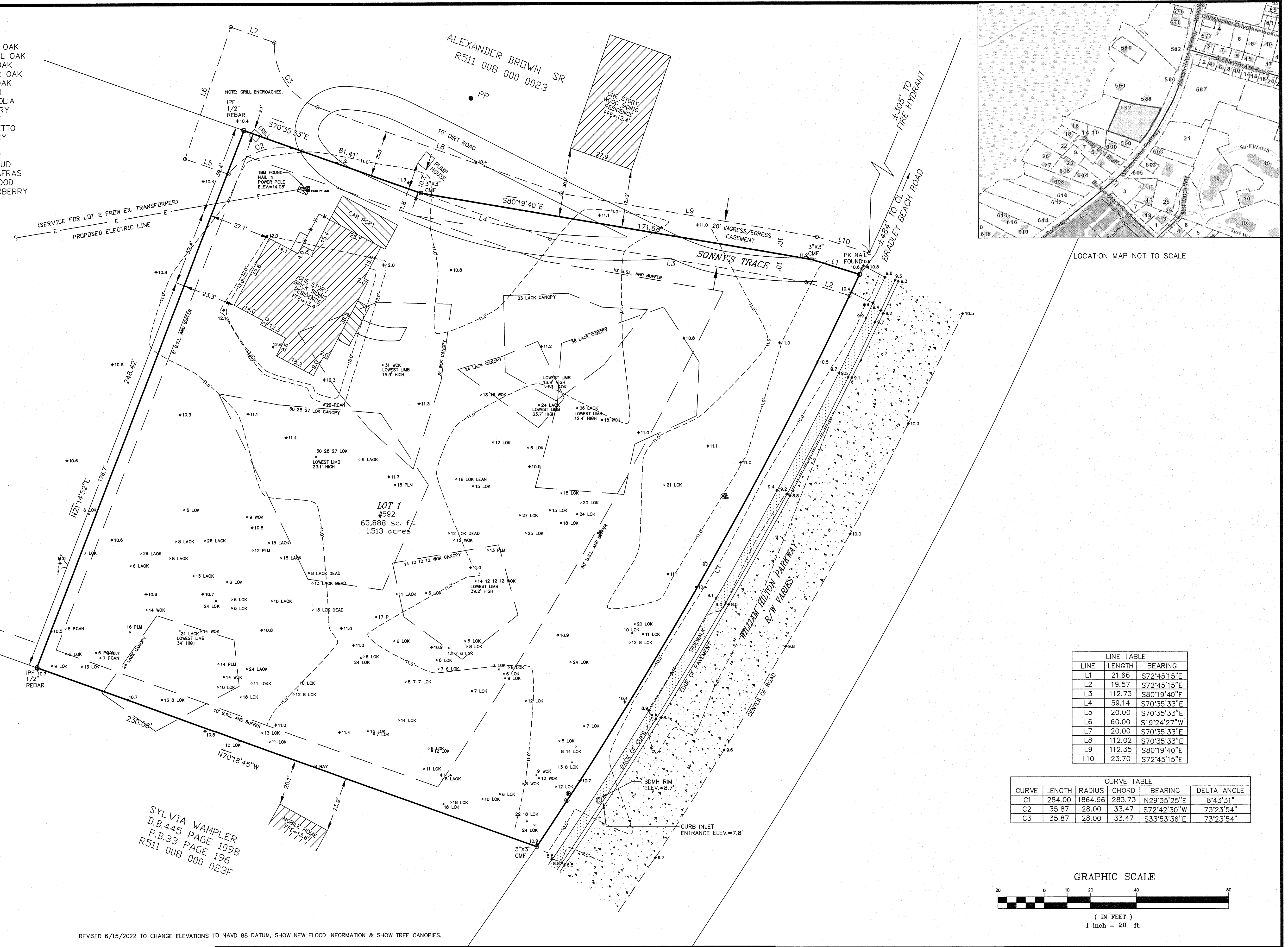
06/01/2023



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- LEGEND**
- ◻ CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - ⊙ IPS - IRON PIN SET
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 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊙ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⊙ - XFMR - TRANSFORMER
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 - ⊙ - IRRIGATION CONTROL VALVE
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 - ⊙ - STORM DRAIN MANHOLE
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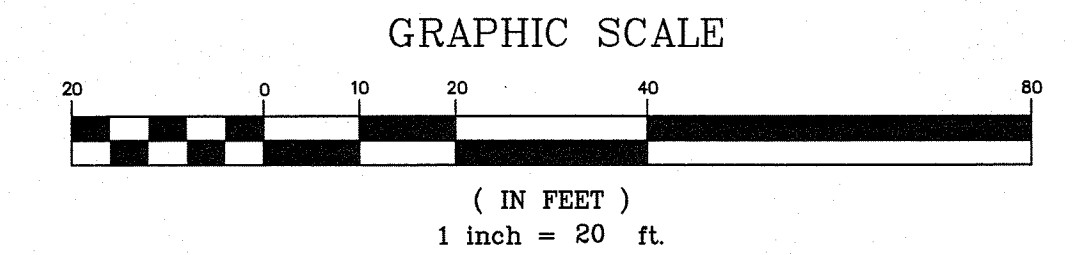
- TREE LEGEND**
- W/OAK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
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 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



LOCATION MAP NOT TO SCALE

LINE	LENGTH	BEARING
L1	21.66	S72°45'15"E
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CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	284.00	1864.96	283.73	N29°35'25"E	8°43'31"
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T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330
139 Burnt Church Road
Bluffton, SC. 29910
tsquare@charleston.com

Phone 843-757-2650 Fax 843-757-5758

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I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

William J. Smith
WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

GERALD BURKE

AN AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF LOT 1 THE LAND OF NANCY LOADHOLT SUBDIVISION, OLD CHAPLIN PLANTATION AREA, TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 510, MAP 8, PARCEL 621

NOTES:

- According to FEMA Flood Insurance Rate Map # 45013C0454G This Lot Appears To Lie In A Federal Flood Plain Zone X SHADED, Minimum Required Elevation N/A Ft. NAVD88
- This Property May Be Subject To Easements, Protective Covenants and Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s)
PLAT BOOK 126 AT PAGE 181

DRAWN BY: B.M.S

APPROVED BY: W.J.S

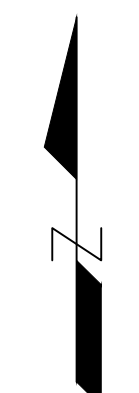
PARTY CHIEF: W.J.S

DATE: AUGUST 5, 2020

JOB No. 20-422SDR

PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



PLAN
HORIZONTAL SCALE 1"=20'



REV #	DATE	DESCRIPTION

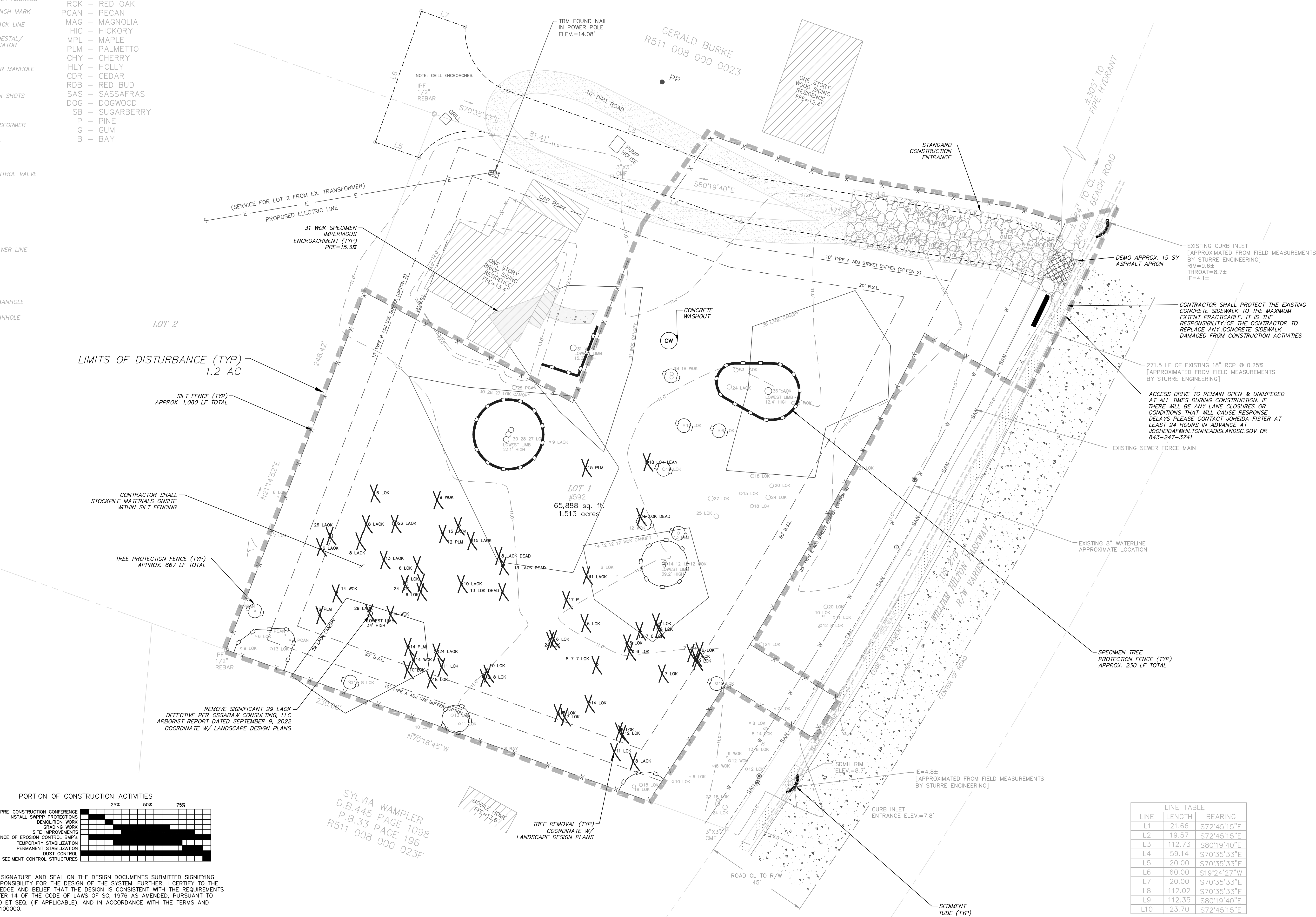
SHEET NAME	DATE
DEMOLITION & INITIAL SWPP PLAN	06/01/2023
SHEET NO.	3

LEGEND

□	CMS - CONCRETE MONUMENT SET
□	CMF - CONCRETE MONUMENT FOUND
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○	IPF - IRON PIN FOUND
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---	GUY LINE
---	LIGHT POLE
⊞	STORM DRAIN MANHOLE
⊞	FIBEROPTICS MANHOLE

TREE LEGEND

WHIOK	WHITE OAK
LAOK	LAUREL OAK
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WOK	WATER OAK
ROK	RED OAK
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HIC	HICKORY
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HLV	HOLLY
CDR	CEDAR
RDB	RED BUD
SAS	SASSAFRAS
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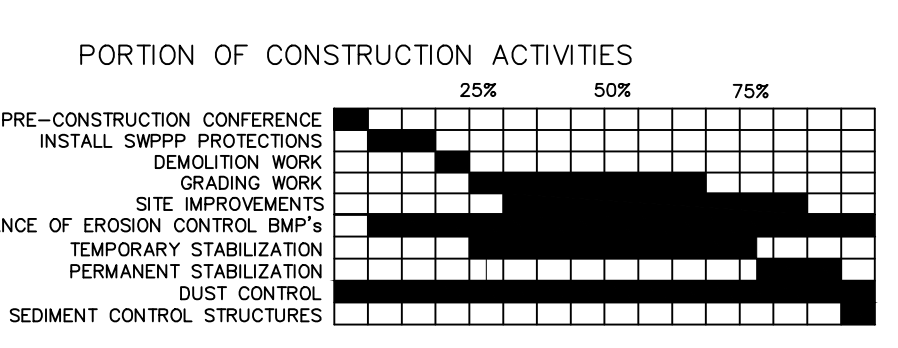


LINE TABLE

LINE	LENGTH	BEARING
L1	21.66	S72°45'15"E
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CURVE TABLE

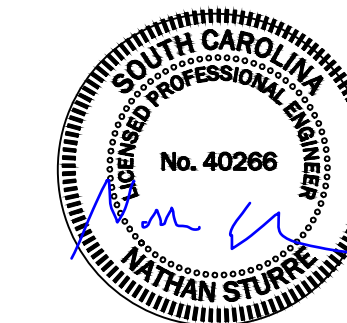
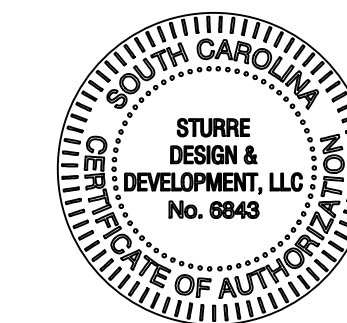
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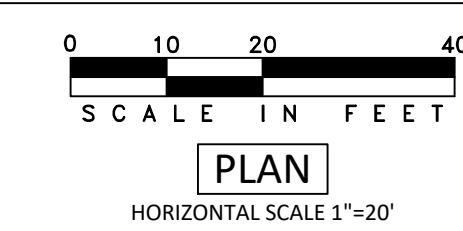
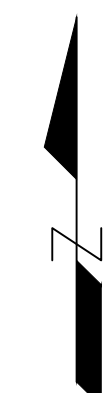
NOTE:
ALL DISTURBED AREAS SHALL UTILIZE DUST CONTROL, TEMPORARY SEEDING, AND PERMANENT SEEDING PRACTICES THROUGH THE LIFE OF CONSTRUCTION PER THE SCDHEC BMP HANDBOOK, LATEST EDITION (TYP).
ALL STANDARD DETAILS, NOTES AND INFORMATION CAN BE FOUND AT:
<https://sdcdec.gov/bow/stormwater/best-management-practices-bmps/bmp-handbook>

SYLVIA WAMPLER
D.B.445 PAGE 1098
P.B.33 PAGE 196
R511 008 000 023F



PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



REV #	DATE	DESCRIPTION

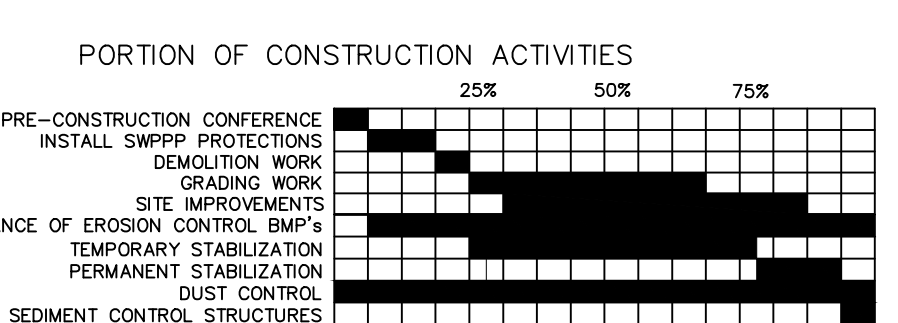
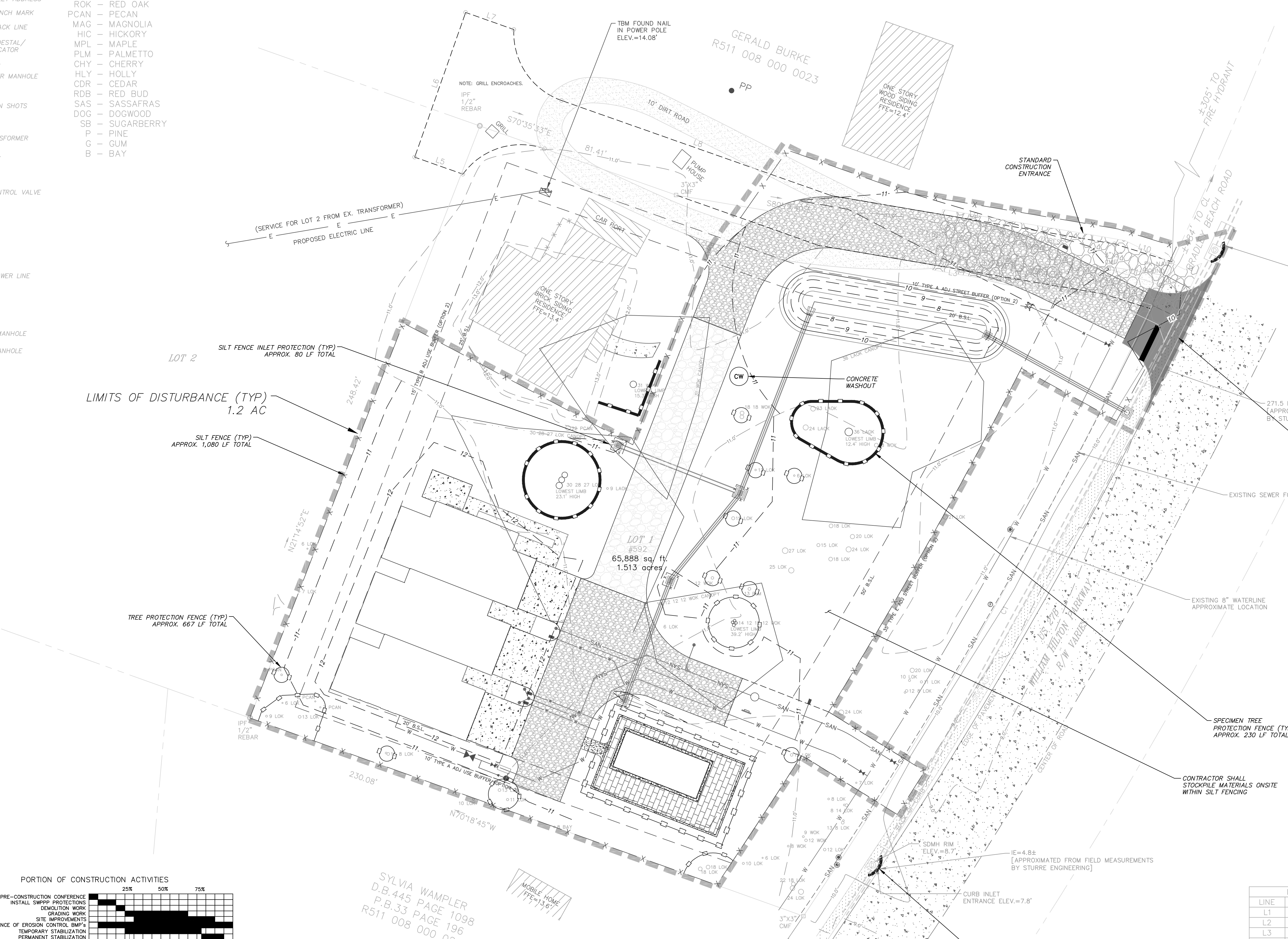
DATE: 06/01/2023

SHEET NAME:

INTERMEDIATE SWPP PLAN

SHEET NO. 4

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SYLVIA WAMPLER
D.B. 445 PAGE 1098
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R511 008 000 023F

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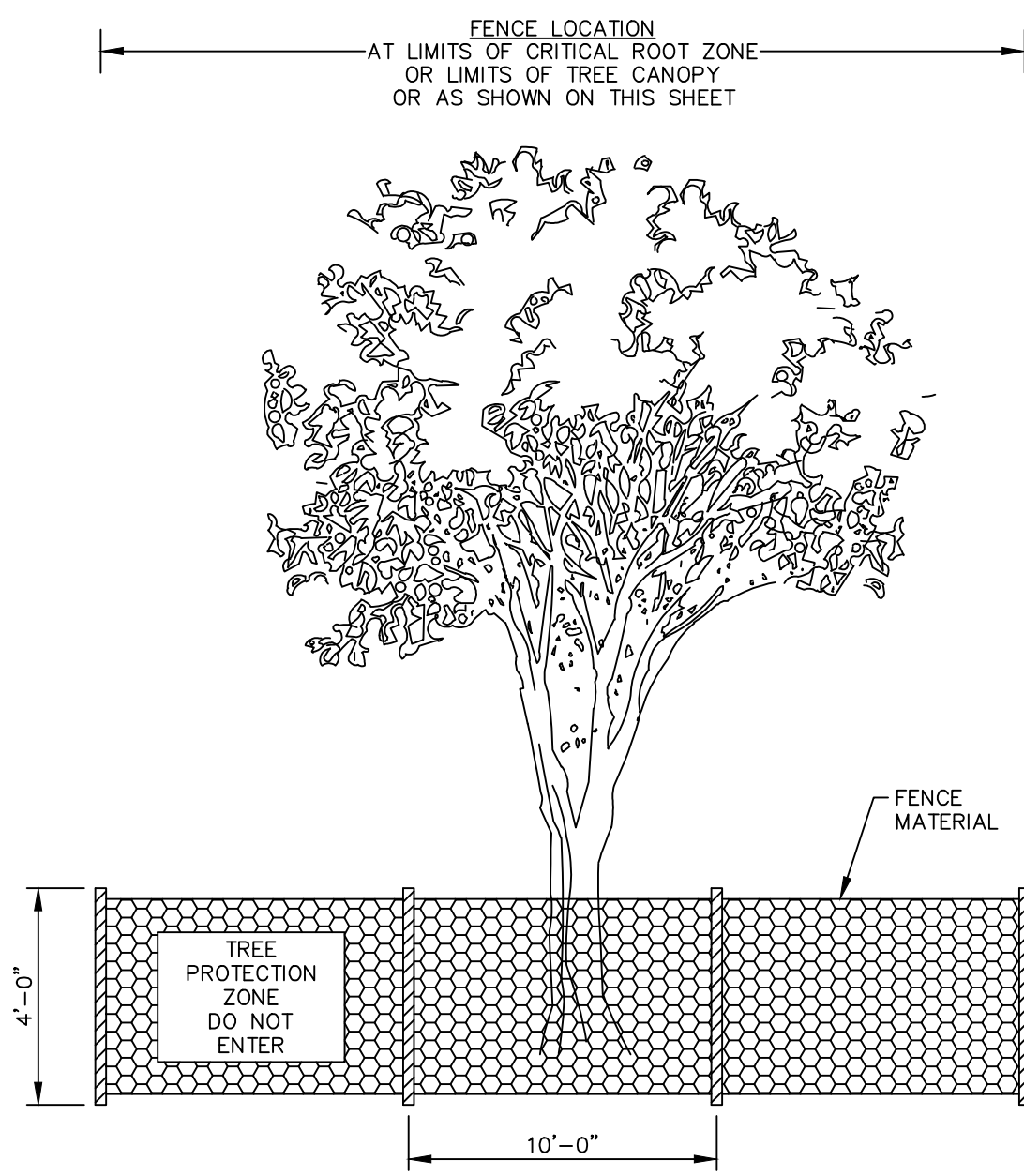
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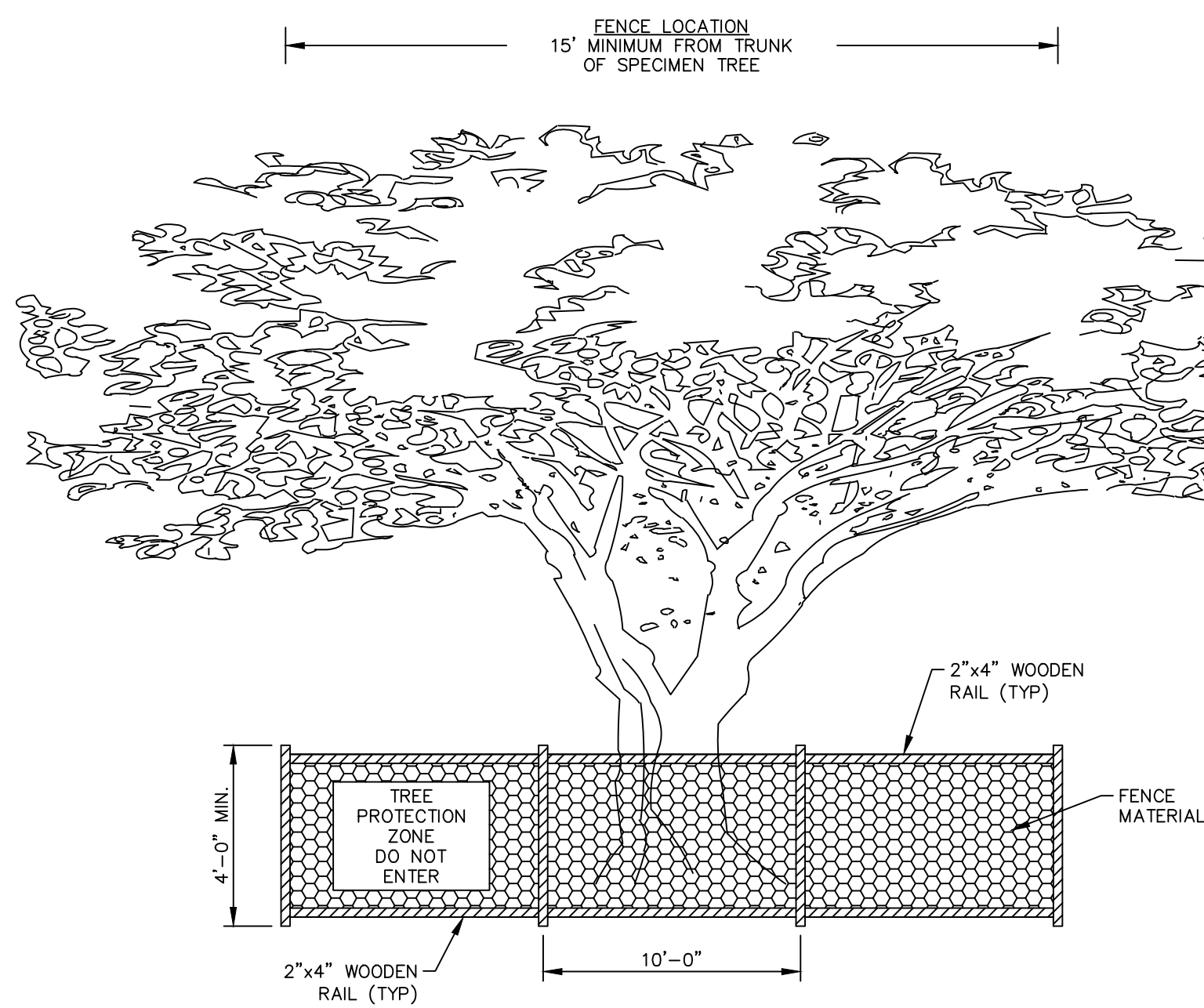
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TREE PROTECTION FENCE DETAIL

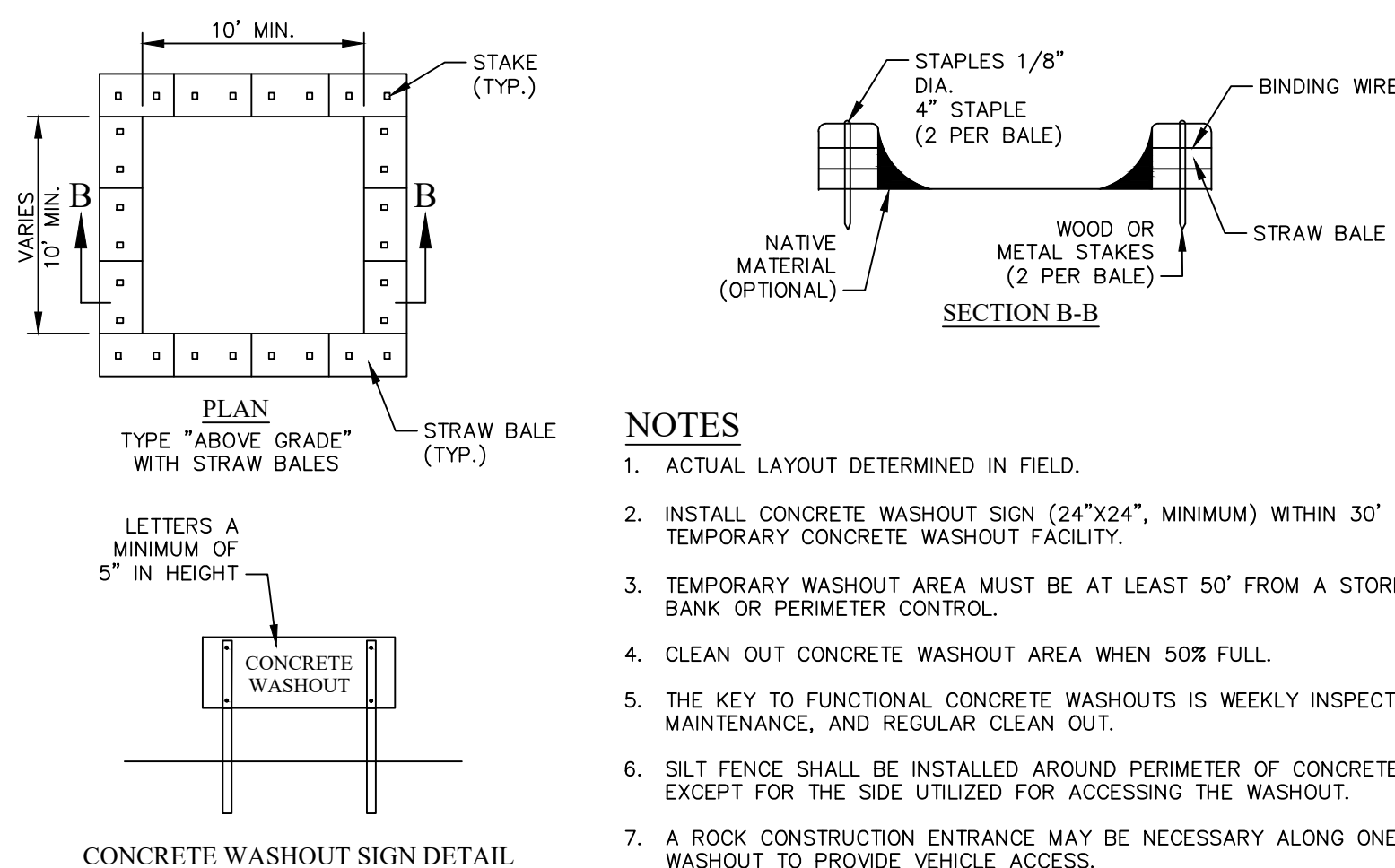
N.T.S.
TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING PURSUANT WITH TOWN OF HILTON HEAD LMO SEC. 16-6-104.J.3.b. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."



SPECIMEN TREE PROTECTION FENCE DETAIL

- N.T.S.
- USE ON APPLICABLE SPECIMEN TREES IDENTIFIED ON TOWN OF HILTON HEAD LMO TABLE 16-6-104.F.1.
 - TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING PURSUANT WITH TOWN OF HILTON HEAD LMO SEC. 16-6-104.J.3.b. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."

STRAW BALE BARRIER CONCRETE WASHOUT



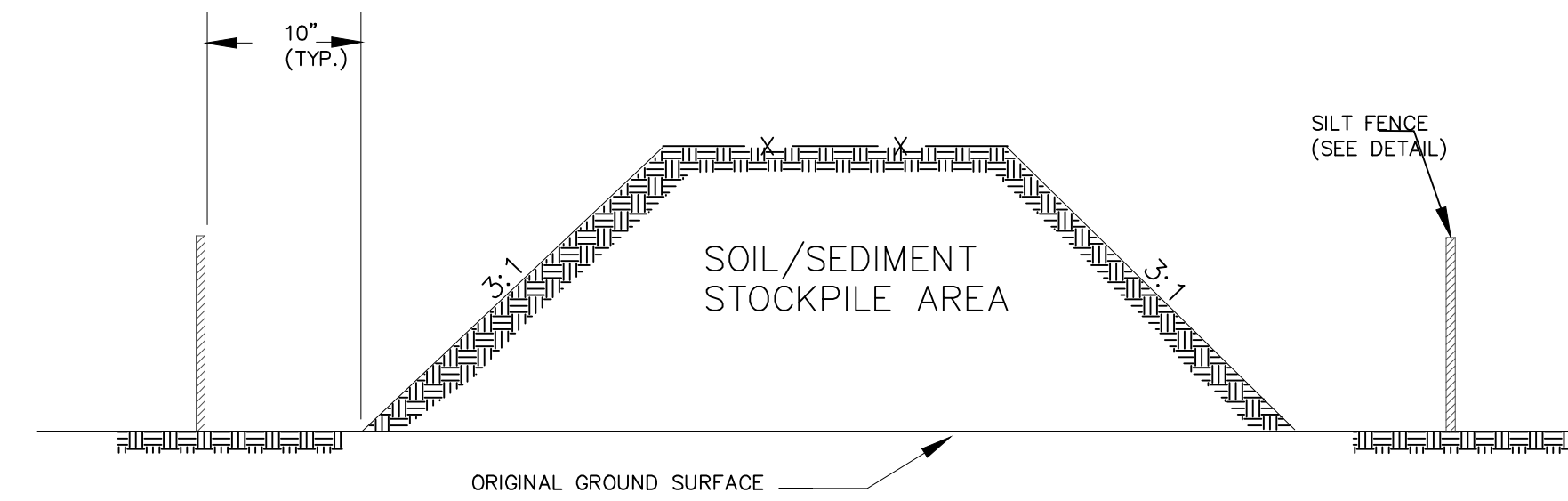
NOTES

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
- SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
- A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

CONCRETE WASHOUT SIGN DETAIL

CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH
STANDARD DRAWING NO. RC-07 [PAGE 1]
N.T.S.

TEMPORARY STOCKPILE AREA



NOTES:

- SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOP. THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRAIDENT AREA.
- IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
- SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
- THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

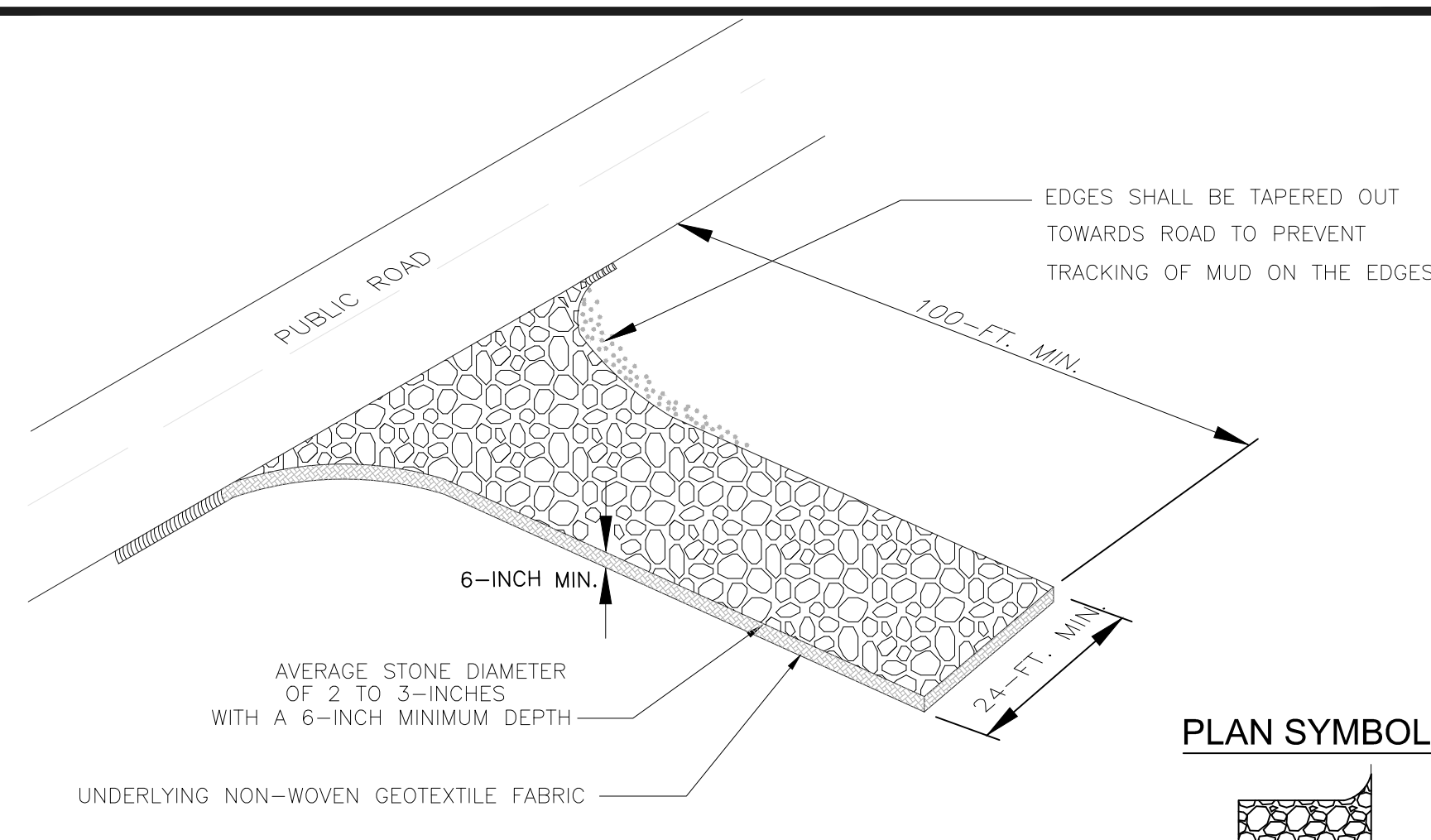
South Carolina Department of Health and Environmental Control
TEMPORARY STOCKPILE
STANDARD DRAWING NO. SC-15 PAGE 1 of 1
FEBRUARY 2014
DATE
NOT TO SCALE

CONSTRUCTION ENTRANCE - GENERAL NOTES

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered outwards towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

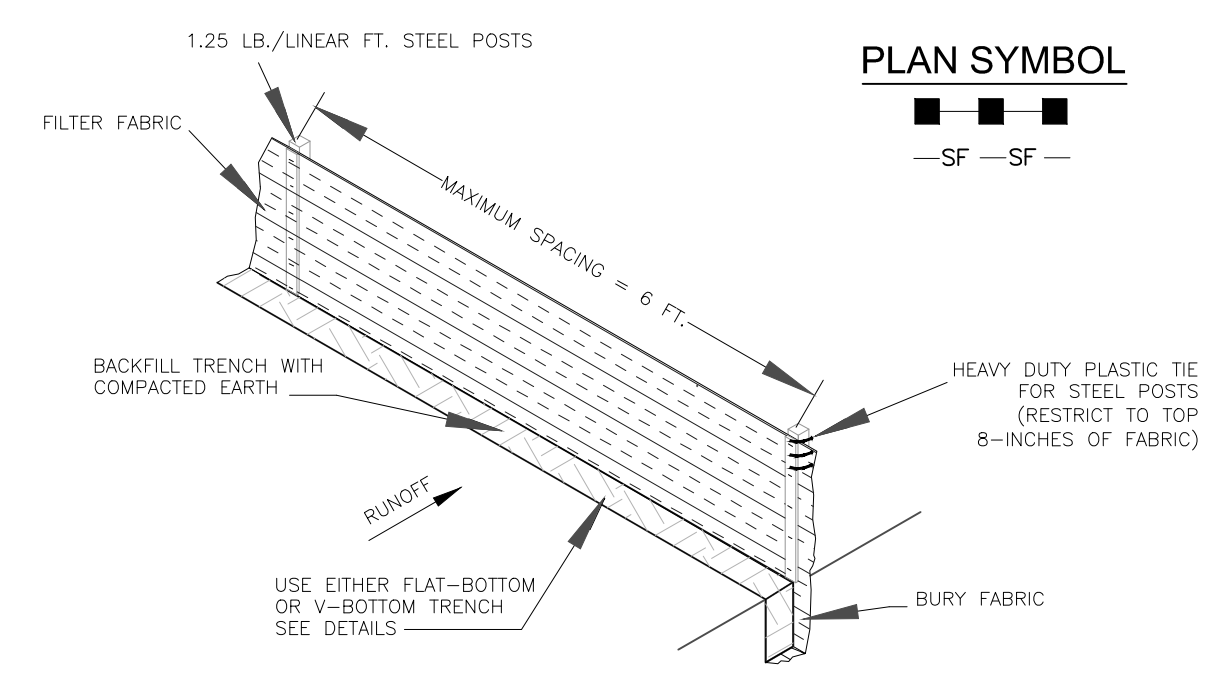


SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 1 of 2
FEBRUARY 2014
DATE
NOT TO SCALE

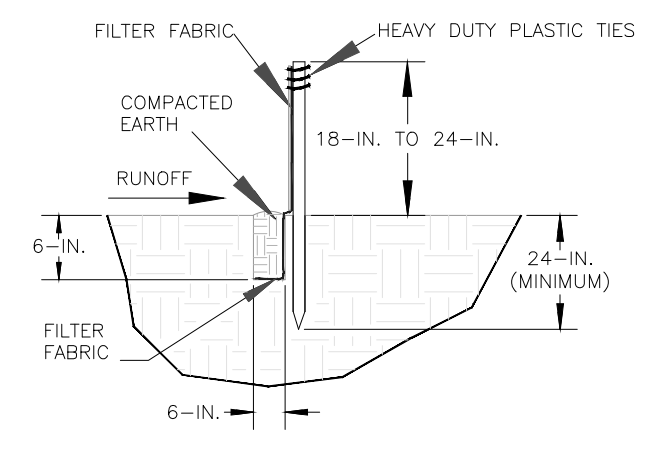
South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
STANDARD DRAWING NO. SC-06 PAGE 2 of 2
FEBRUARY 2014
DATE
GENERAL NOTES

SILT FENCE INSTALLATION

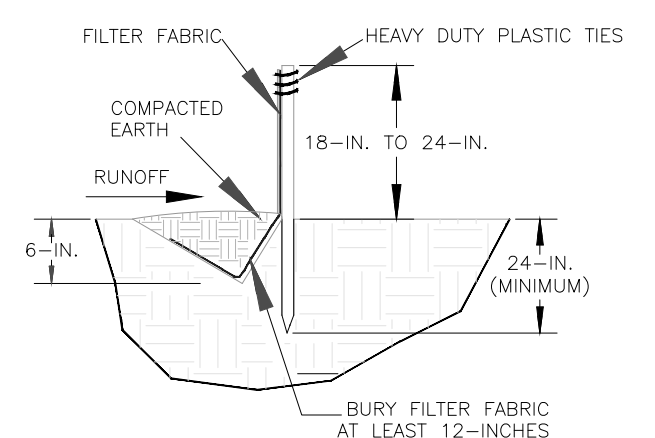


- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

FLAT-BOTTOM TRENCH DETAIL



V-SHAPED TRENCH DETAIL



South Carolina Department of Health and Environmental Control
SILT FENCE
STANDARD DRAWING NO. SC-03 Page 1 of 2
FEBRUARY 2014
DATE
NOT TO SCALE

SILT FENCE - POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2- inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

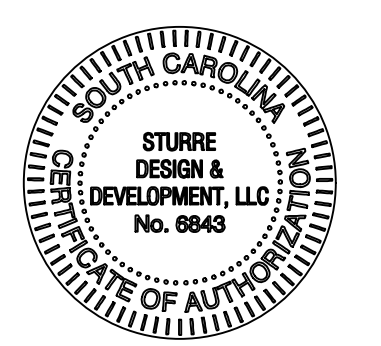
SILT FENCE - FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter Fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control
SILT FENCE
STANDARD DRAWING NO. SC-03 PAGE 2 of 2
FEBRUARY 2014
DATE
GENERAL NOTES



PREPARED FOR:
GERALD BURKE

PROJECT:
**CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY**



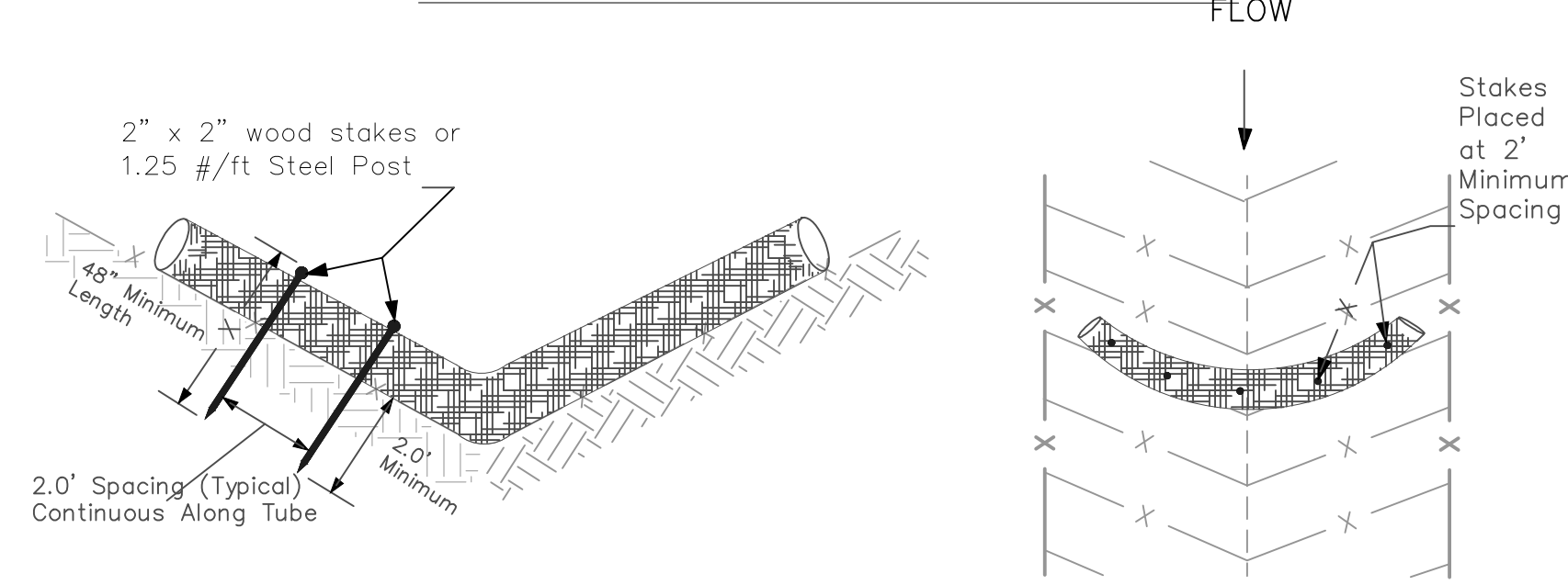
REV #	DATE	DESCRIPTION

DATE: 06/01/2023

SHEET NAME: SWPPP DETAILS

SHEET NO.: 5

SEDIMENT TUBE INSTALLATION



SEDIMENT TUBE SPACING

LESS THAN 2%	2%	3%	4%	5%	6%	GREATER THAN 6%
150- FEET	100- FEET	75- FEET	50- FEET	40- FEET	30- FEET	25- FEET

MAX. SEDIMENT TUBE SPACING

PLAN SYMBOL

South Carolina Department of Health and Environmental Control

SEDIMENT TUBES

STANDARD DRAWING NO. SC-05 PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

- SEDIMENT TUBES – GENERAL NOTES**
- Sediment tubes may be installed along contours, in drainage conveyance channels, and around inlets to help prevent off-site discharge of sediment-laden stormwater runoff.
 - Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
 - The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
 - Sediment tubes, when used as checks within channels, should range between 18-inches and 24-inches depending on channel dimensions. Diameters outside this range may be allowed where necessary when approved.
 - Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
 - Sediment tubes should be staked using wooden stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
 - Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
 - The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
 - Sediment tubes should not be stacked on top of one another, unless recommended by manufacturer.
 - Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
 - Sediment tubes should continue up the side slopes a minimum of 1-foot above the design flow depth of the channel.
 - Install stakes at a diagonal facing incoming runoff.

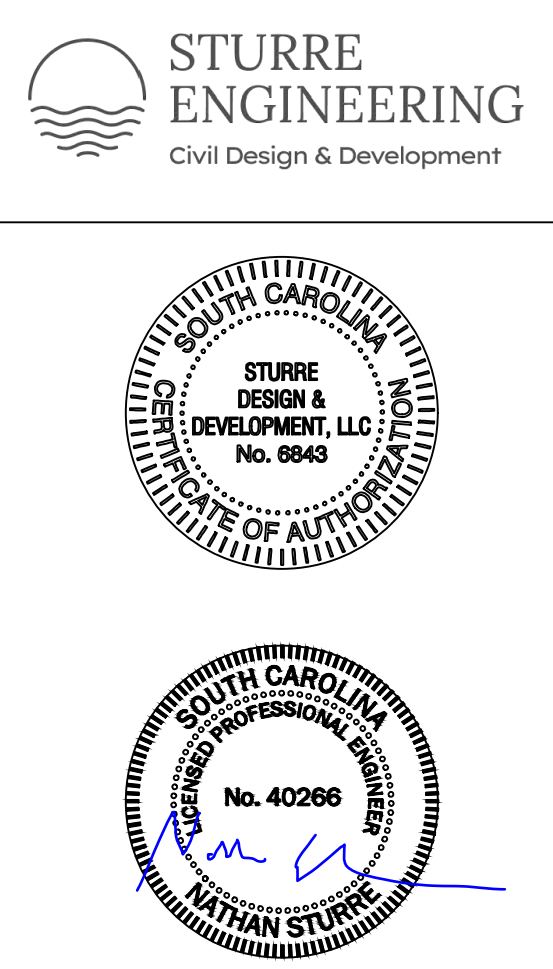
- SEDIMENT TUBES – INSPECTION & MAINTENANCE**
- The key to functional sediment tubes is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of sediment tubes shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the sediment tube.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Large debris, trash, and leaves should be removed from in front of tubes when found.
 - If erosion causes the edges to fall to a height equal to or below the height of the sediment tube, repairs should be made immediately to prevent runoff from bypassing tube.
 - Sediment tubes should be removed after the contributing drainage area has been completely stabilized. Permanent vegetation should replace areas from which sediment tubes have been removed.

South Carolina Department of Health and Environmental Control

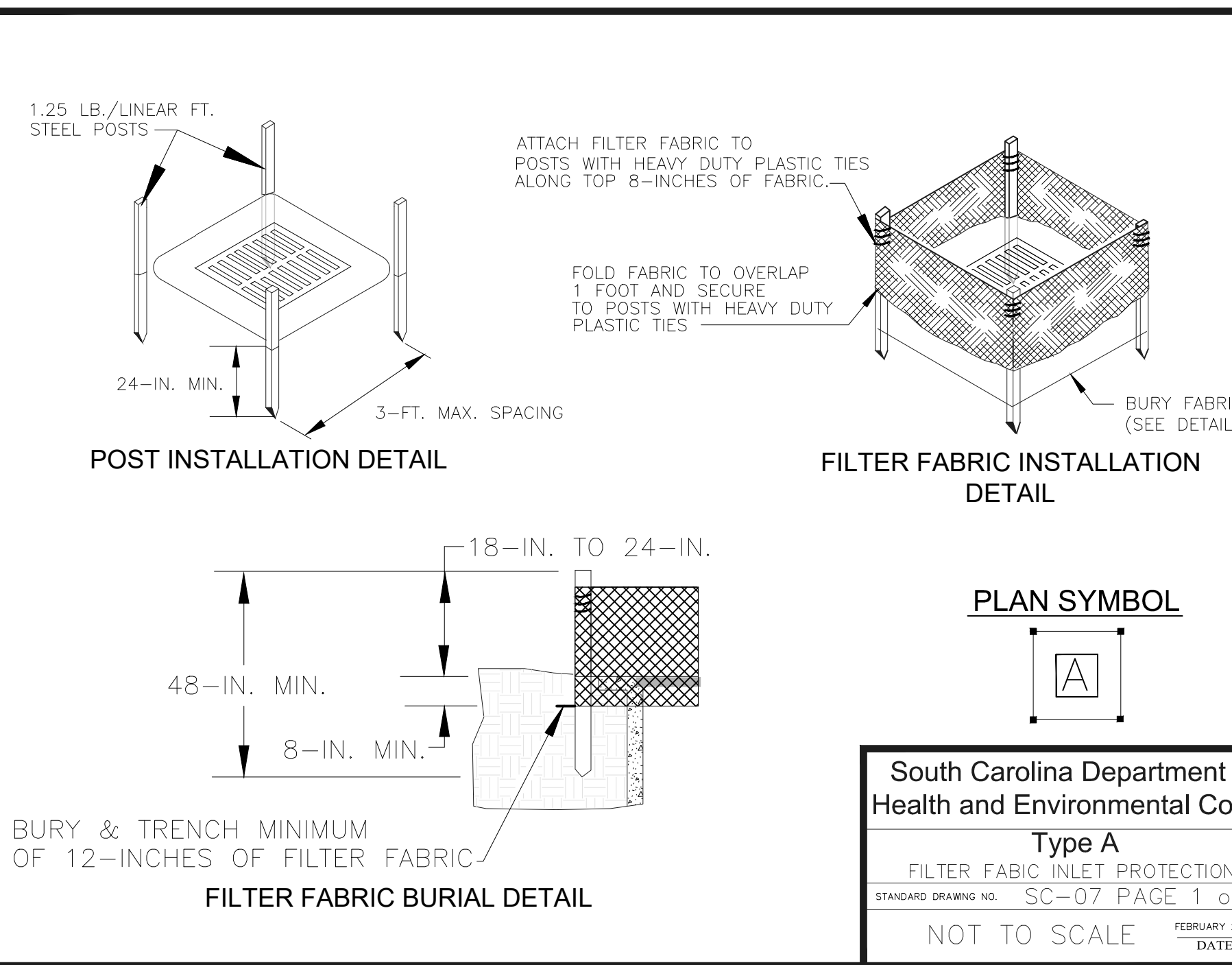
SEDIMENT TUBES

STANDARD DRAWING NO. SC-05 PAGE 2 of 2

GENERAL NOTES FEBRUARY 2014 DATE



PREPARED FOR:
GERALD BURKE



PLAN SYMBOL

South Carolina Department of Health and Environmental Control

Type A

FILTER FABRIC INLET PROTECTION

STANDARD DRAWING NO. SC-07 PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

- TYPE A – FILTER FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and loam in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.
- TYPE A – POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics.
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%)
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2- inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 3-feet on center.

- TYPE A – INSPECTION & MAINTENANCE**
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the filter fabric is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the filter fabric. When a sump is installed in front of the fabric, sediment should be removed when it fills approximately 1/3 the depth of the sump.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the filter fabric, or where the fabric has sagged or collapsed due to runoff overtopping the inlet protection.
 - Check for tears within the filter fabric, areas where fabric has begun to decompose, and for any other circumstance that may render the inlet protection ineffective. Removed damaged fabric and reinstall new filter fabric immediately.
 - Inlet protection structures should be removed after all the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control

Type A

FILTER FABRIC INLET PROTECTION

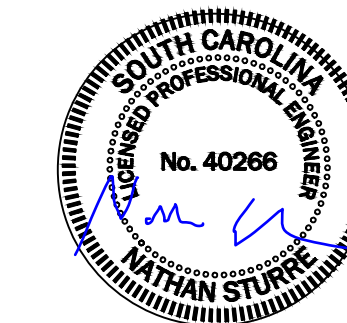
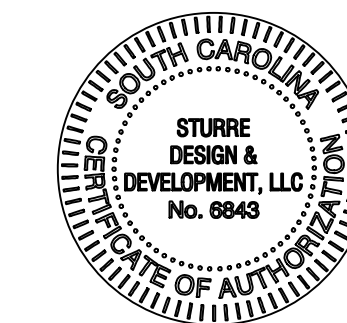
STANDARD DRAWING NO. SC-07 PAGE 2 of 2

GENERAL NOTES FEBRUARY 2014 DATE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY

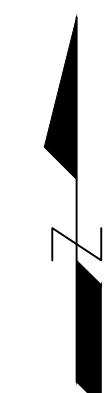


REV #	DATE	DESCRIPTION



PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



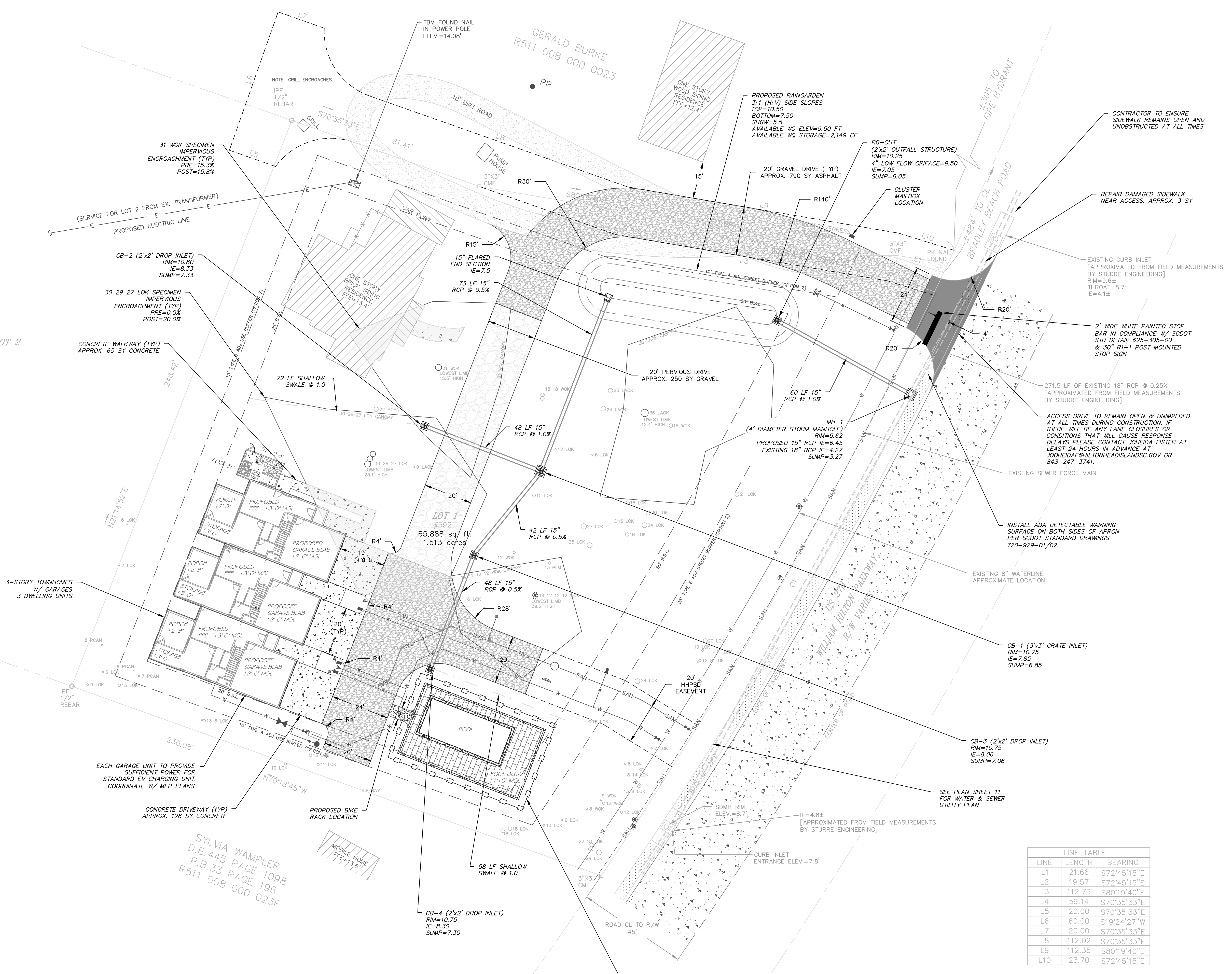
PLAN
HORIZONTAL SCALE 1"=20'



REV #	DATE	DESCRIPTION

DATE: 06/01/2023
SHEET NAME: SITE IMPROVEMENT PLAN
SHEET NO. 7

- LEGEND**
- ◻ CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊙ - SPOT ELEVATION SHOTS
 - ⊙ - CONTOUR LINES
 - ⊙ - XFMR - TRANSFORMER
 - ⊙ - WATER LATERAL
 - ⊙ - WATER METER
 - ⊙ - IRRIGATION CONTROL VALVE
 - ⊙ - FIRE HYDRANT
 - ⊙ - GRATE INLET
 - ⊙ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⊙ - GUY LINE
 - ⊙ - LIGHT POLE
 - ⊙ - STORM DRAIN MANHOLE
 - ⊙ - FIBEROPTICS MANHOLE
- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

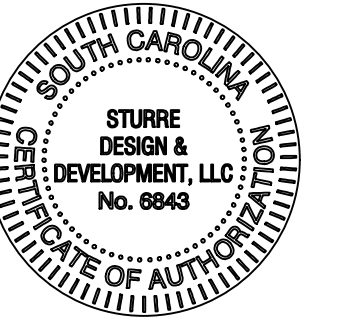


LINE TABLE

LINE	LENGTH	BEARING
L1	21.66	S72°45'15"E
L2	19.57	S72°45'15"E
L3	112.73	S80°19'40"E
L4	59.14	S70°35'33"E
L5	20.00	S70°35'33"E
L6	60.00	S19°24'27"W
L7	20.00	S70°35'33"E
L8	112.02	S70°35'33"E
L9	112.35	S80°19'40"E
L10	23.70	S72°45'15"E

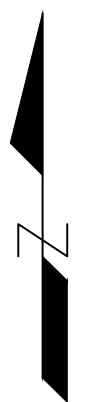
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	284.00	1864.96	283.73	N29°35'25"E	8°43'31"
C2	35.87	28.00	33.47	S72°42'30"W	73°23'54"
C3	35.87	28.00	33.47	S33°53'36"E	73°23'54"



PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



0 10 20 40
SCALE IN FEET

PLAN

HORIZONTAL SCALE 1"=20'



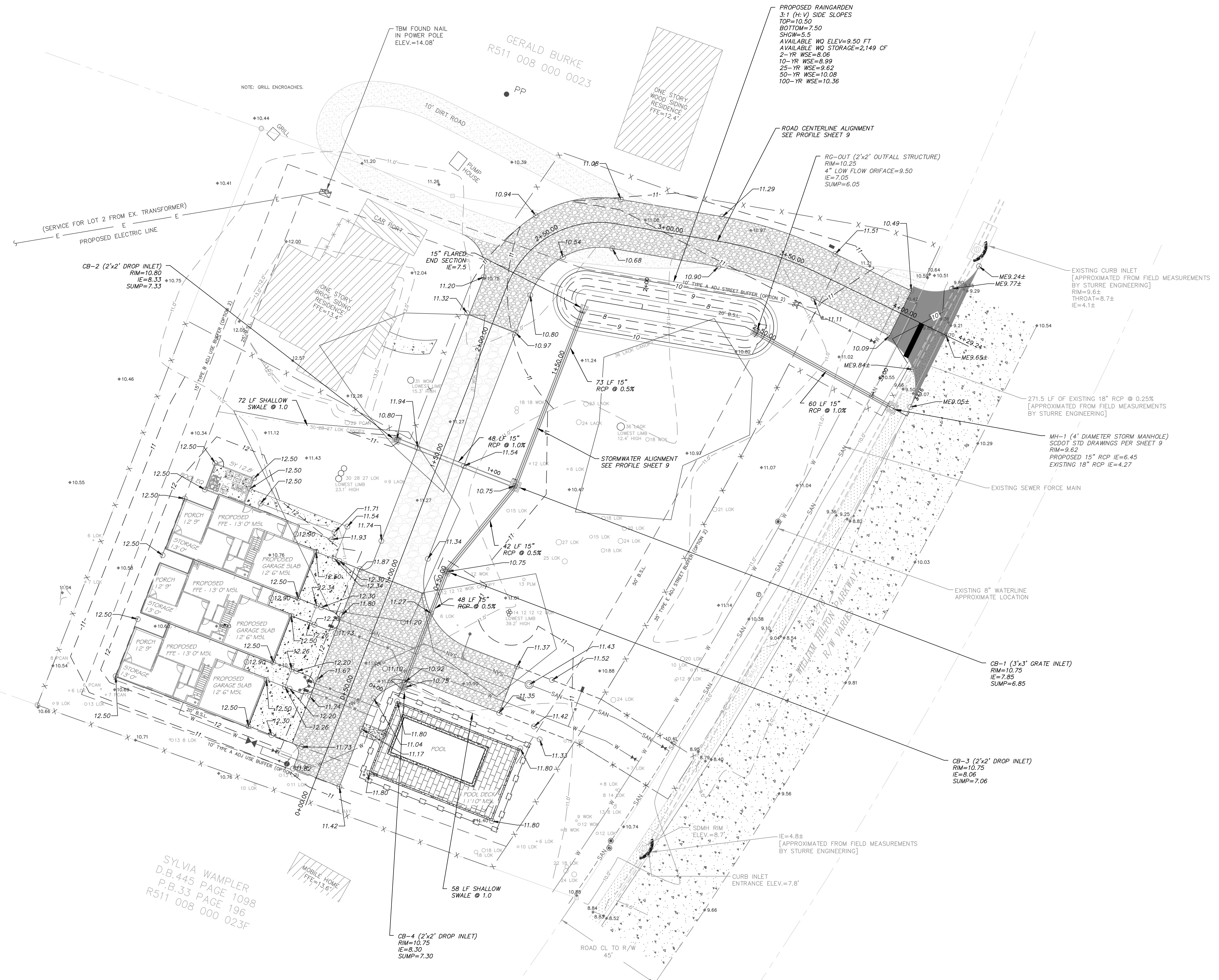
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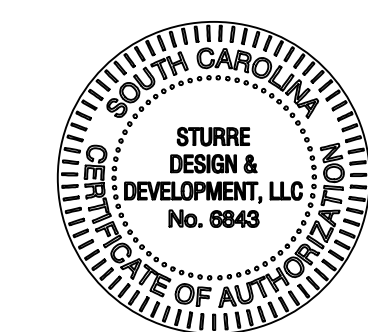
DATE 06/01/2023

SHEET NAME

GRADING PLAN

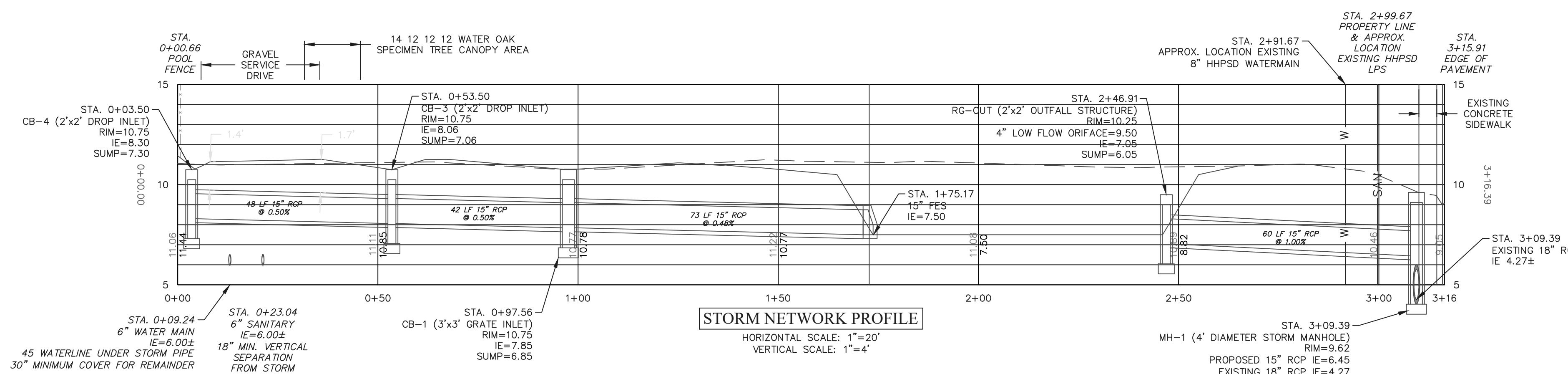
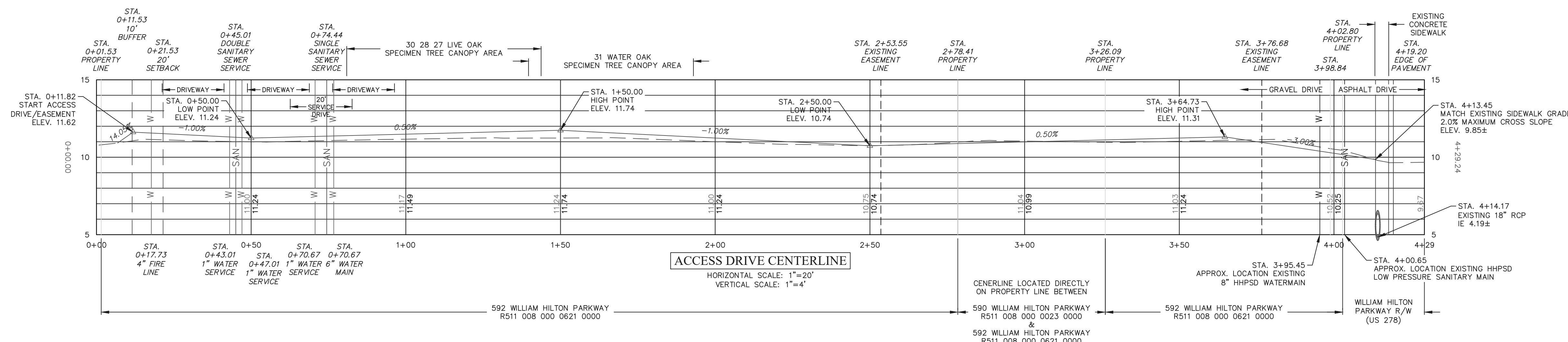
SHEET NO.





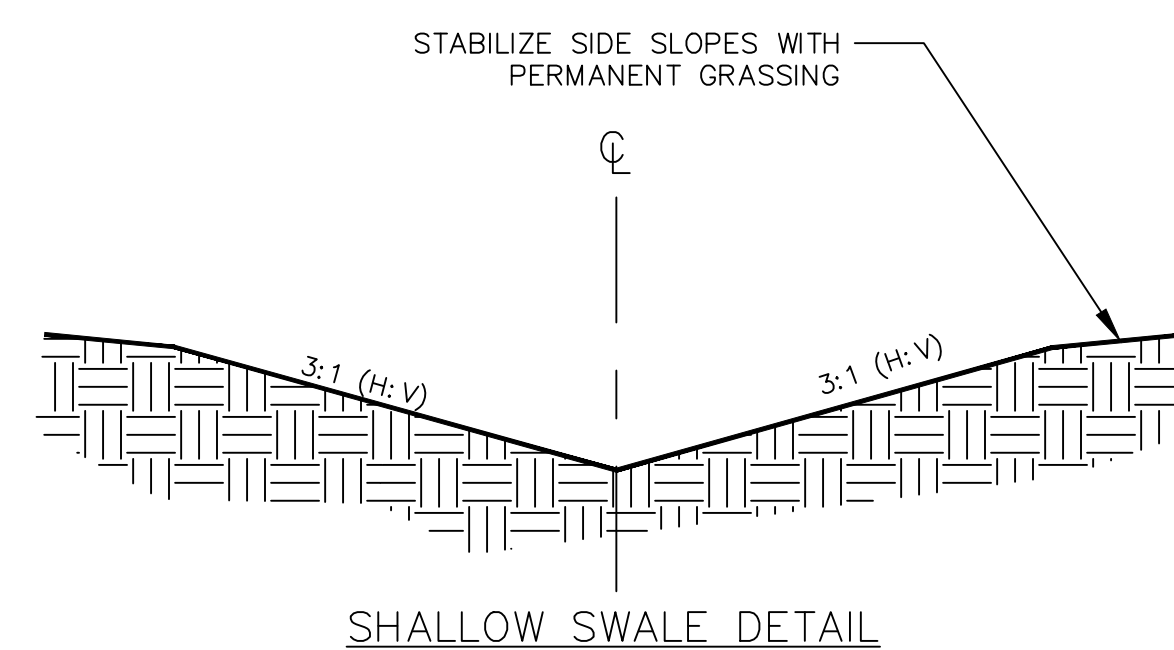
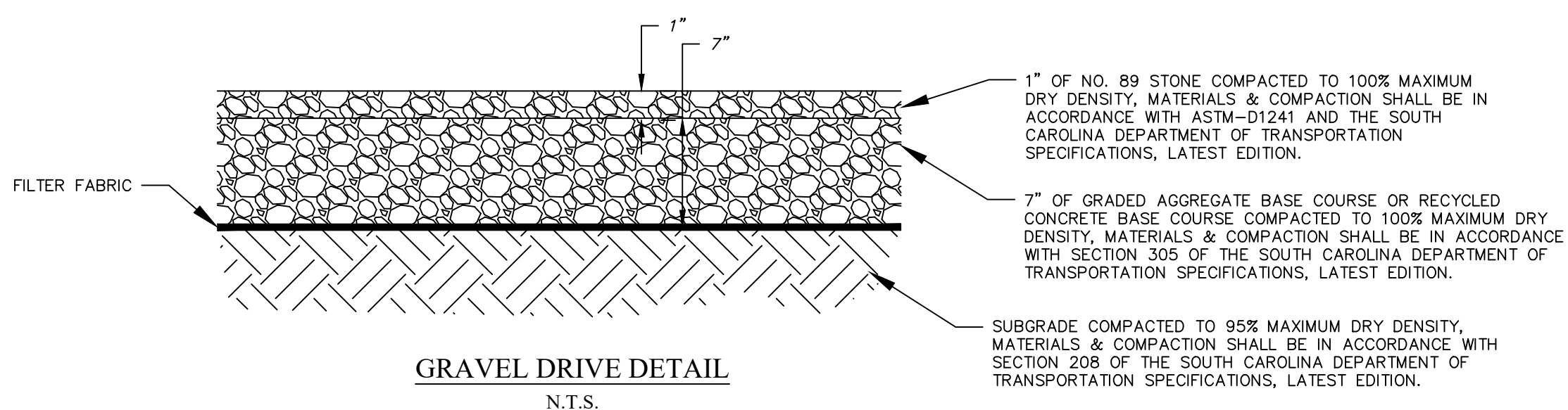
PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY

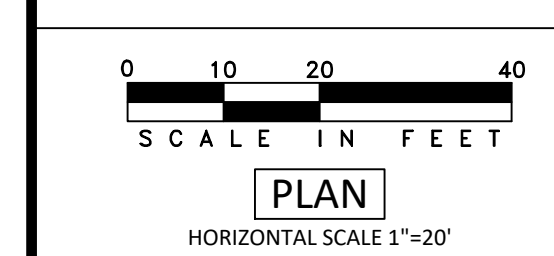
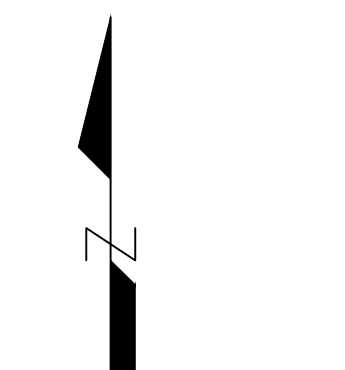
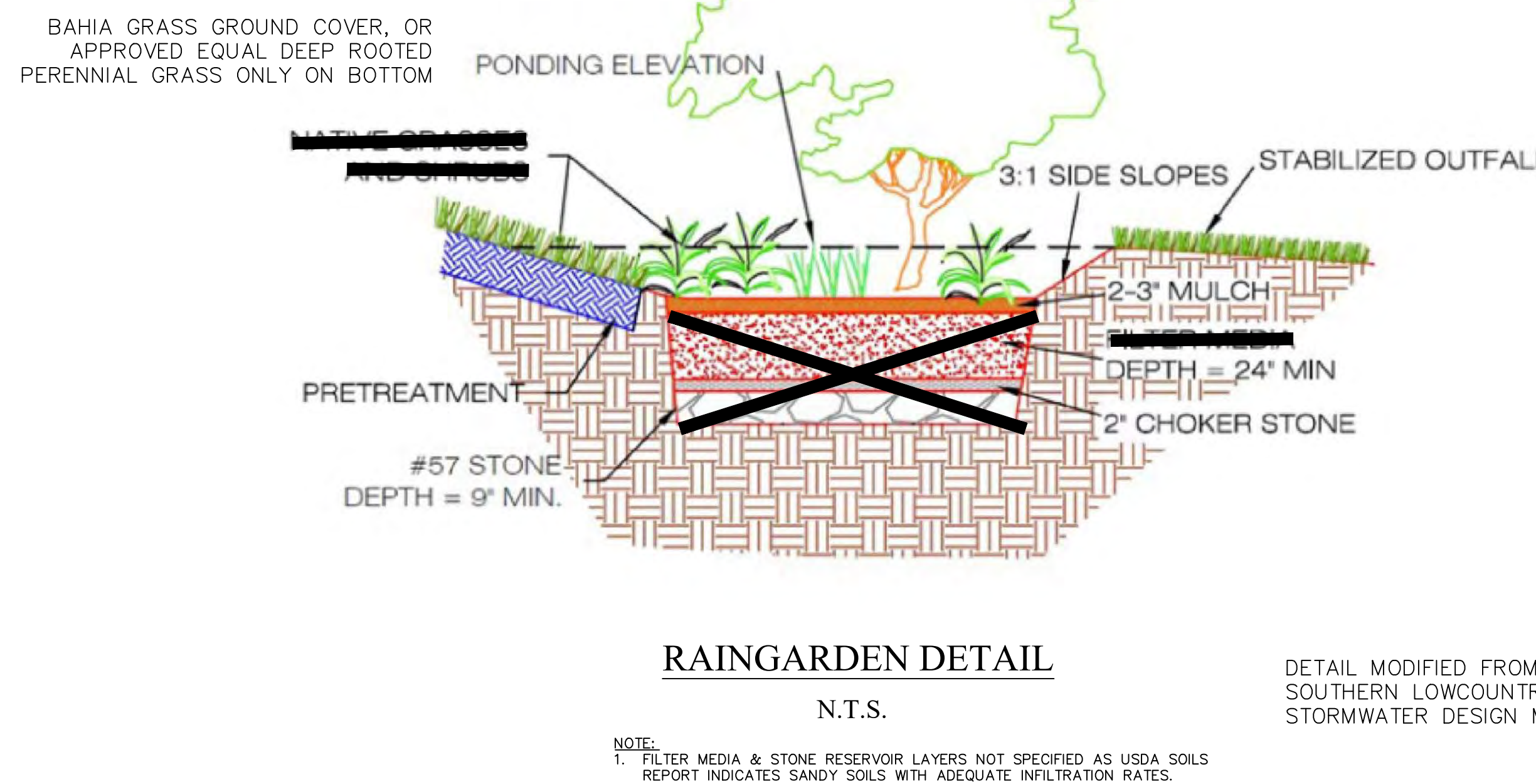
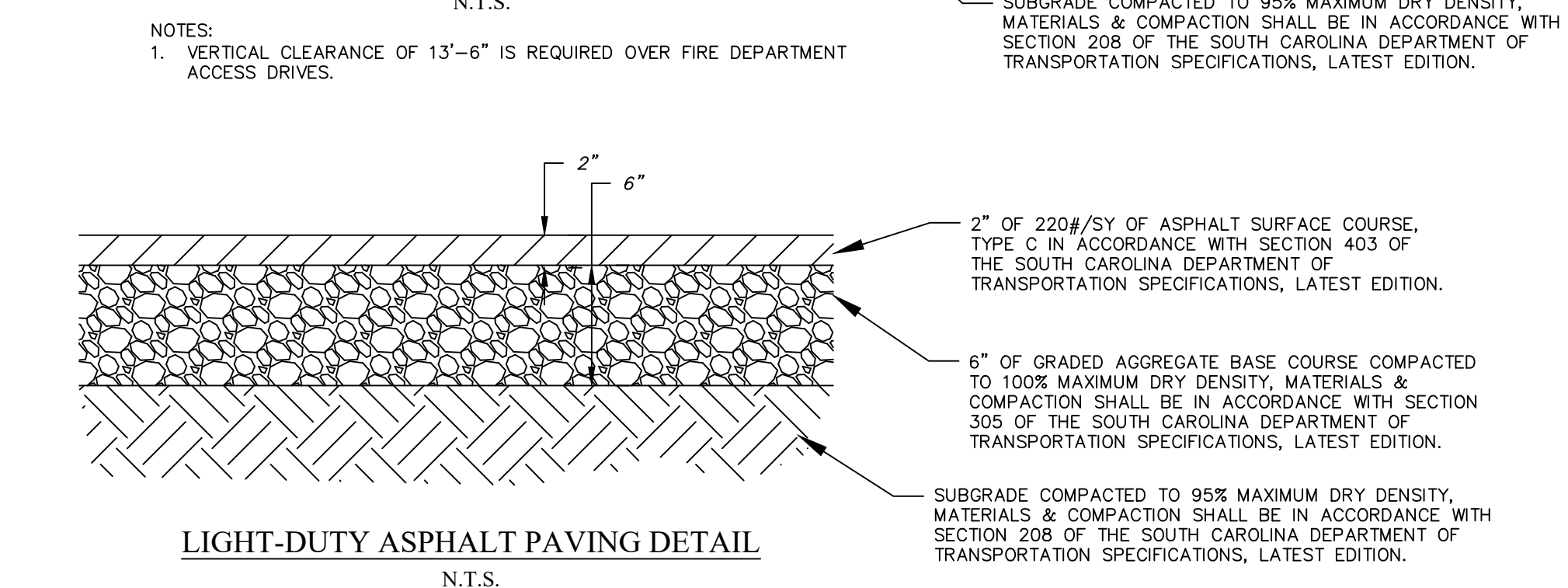
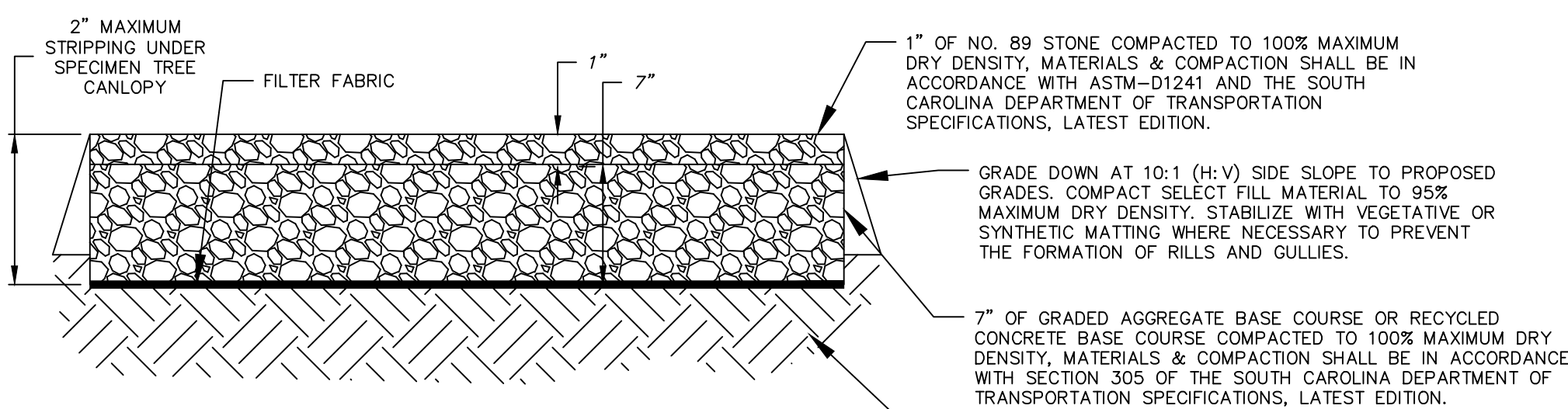


SCDOT STANDARD DRAWINGS

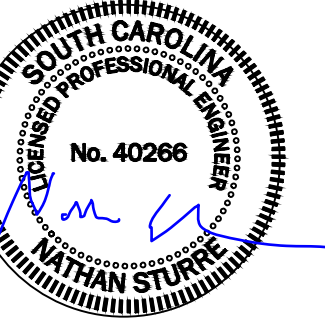
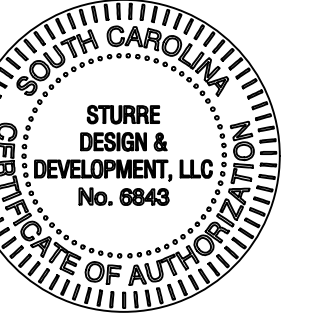
- 1. 625-305-00 - STANDARD MARKINGS FOR INTERSECTIONS
- 2. 714-005-00 - DRAINAGE PIPE CULVERTS (PIPE TRENCH TYPICAL PREPARATION)
- 3. 714-105-00 - DRAINAGE PIPE CULVERTS (RIGID-COMPLETE TRENCH)
- 4. 714-205-00 - DRAINAGE PIPE CULVERTS SMOOTH WALL (RIGID RCP CONCRETE DETAIL & FILL HEIGHT)
- 5. 719-105-01 - DRAINAGE DROP INLET (24" X 24") DETAIL D124X24
- 6. 719-305-00 - DRAINAGE SUBSTRUCTURE RECTANGULAR (PRECAST SOLID WALL BOX)
- 7. 719-315-00 - DRAINAGE SUBSTRUCTURE RECTANGULAR (PRECAST RISER)
- 8. 719-330-01 - DRAINAGE SUBSTRUCTURE RECTANGULAR JUNCTION BOX TOPS
- 9. 719-510-01 - DRAINAGE ACCESS MANHOLE LIGHT DUTY LID CASTING (FOR USE OUTSIDE OF TRAFFIC)
- 10. 719-510-02 - DRAINAGE ACCESS MANHOLE LIGHT DUTY RING CASTING (FOR USE OUTSIDE OF TRAFFIC)
- 11. 720-929-01 - PEDESTRIAN RAMP STANDARD VARIANTS
- 12. 720-929-02 - PEDESTRIAN RAMP STANDARD VARIANTS



- NOTES:
- 1. MINIMUM LONGITUDINAL SLOPE 1.0%
 - 2. STABILIZE SWALE WITH VEGETATIVE OR SYNTHETIC MATTING WHERE NECESSARY TO PREVENT THE FORMATION OF RILLS AND GULLIES.

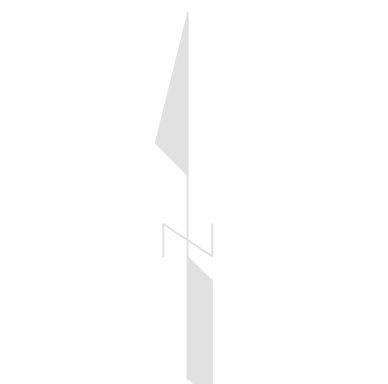


REV #	DATE	DESCRIPTION
	06/01/2023	
SHEET NAME: GRADING PROFILES & CIVIL DETAILS		
SHEET NO. 9		



PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



PLAN

HORIZONTAL SCALE 1"=20'



REV #	DATE	DESCRIPTION

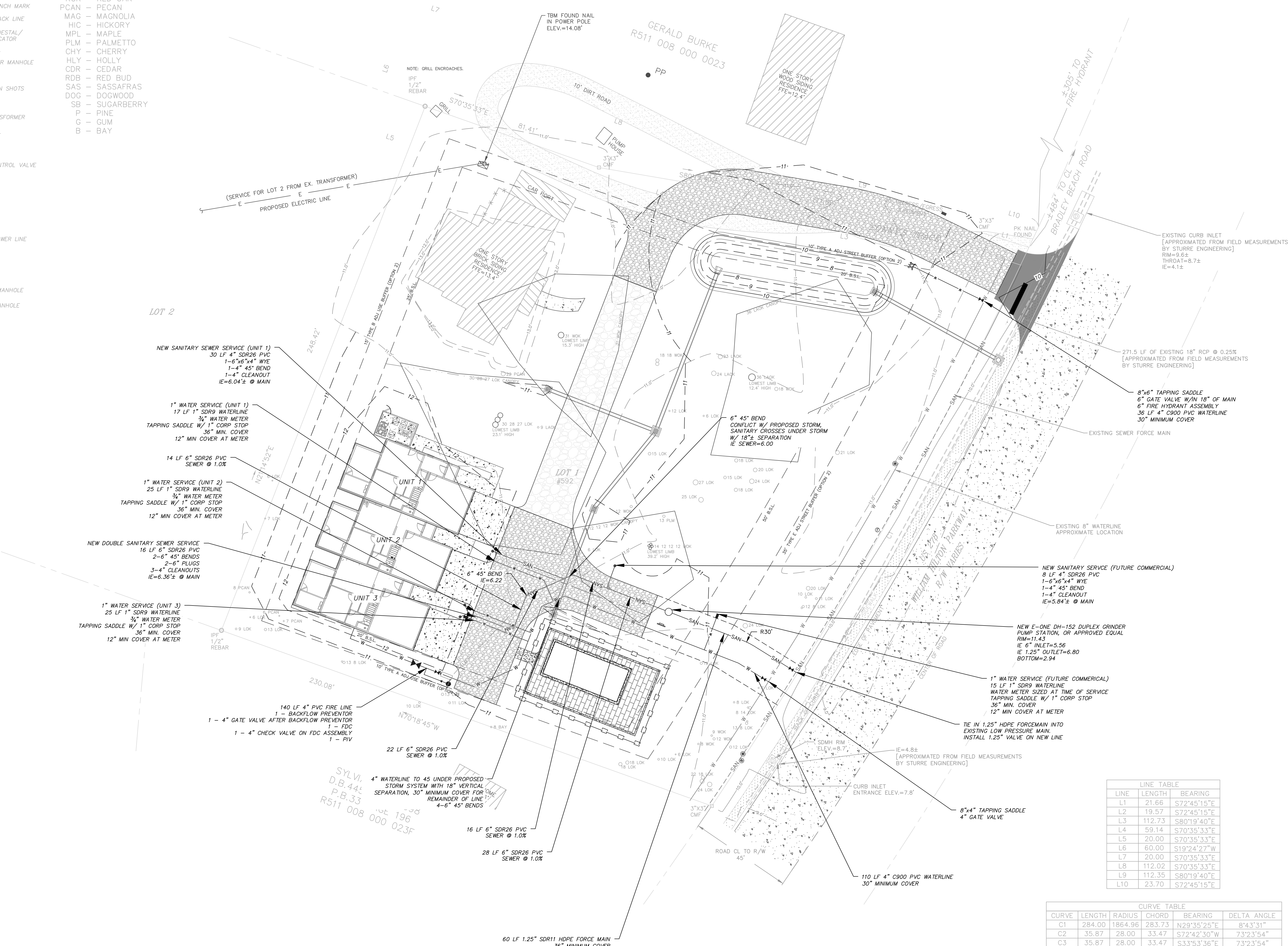
DATE 06/01/2023

SHEET NAME

UTILITY PLAN

SHEET NO.

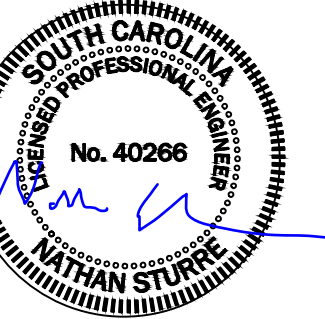
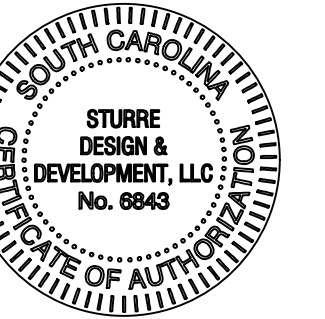
- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊖ - SEWER LATERAL
 - ⊖ - SANITARY SEWER MANHOLE
 - ⊖ - ELECTRIC BOX
 - ⊖ - SPOT ELEVATION SHOTS
 - ⊖ - CONTOUR LINES
 - ⊖ - XFMR - TRANSFORMER
 - ⊖ - WATER LATERAL
 - ⊖ - WATER METER
 - ⊖ - IRRIGATION CONTROL VALVE
 - ⊖ - FIRE HYDRANT
 - ⊖ - GRATE INLET
 - ⊖ - POWER POLE
 - ⊖ - GUY LINE
 - ⊖ - LIGHT POLE
 - ⊖ - STORM DRAIN MANHOLE
 - ⊖ - FIBEROPTICS MANHOLE
- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



- NEW SANITARY SEWER SERVICE (UNIT 1)
30 LF 4" SDR26 PVC
1-6"x6" 45° WYE
1-4" 45° BEND
1-4" CLEANOUT
IE=6.04' ± @ MAIN
- 1" WATER SERVICE (UNIT 1)
17 LF 1" SDR9 WATERLINE
3/4" WATER METER
TAPPING SADDLE W/ 1" CORP STOP
36" MIN. COVER
12" MIN COVER AT METER
- 14 LF 6" SDR26 PVC
SEWER @ 1.0%
- 1" WATER SERVICE (UNIT 2)
25 LF 1" SDR9 WATERLINE
3/4" WATER METER
TAPPING SADDLE W/ 1" CORP STOP
36" MIN. COVER
12" MIN COVER AT METER
- NEW DOUBLE SANITARY SEWER SERVICE
16 LF 6" SDR26 PVC
2-6" 45° BENDS
2-6" PLUGS
3-4" CLEANOUTS
IE=6.36' ± @ MAIN
- 1" WATER SERVICE (UNIT 3)
25 LF 1" SDR9 WATERLINE
3/4" WATER METER
TAPPING SADDLE W/ 1" CORP STOP
36" MIN. COVER
12" MIN COVER AT METER
- 140 LF 4" PVC FIRE LINE
1 - BACKFLOW PREVENTOR
1 - 4" GATE VALVE AFTER BACKFLOW PREVENTOR
1 - FDC
1 - 4" CHECK VALVE ON FDC ASSEMBLY
1 - PIV
- 22 LF 6" SDR26 PVC
SEWER @ 1.0%
- 4" WATERLINE TO 45 UNDER PROPOSED
STORM SYSTEM WITH 18" VERTICAL
SEPARATION, 30" MINIMUM COVER FOR
REMAINDER OF LINE
4-6" 45° BENDS
- 16 LF 6" SDR26 PVC
SEWER @ 1.0%
- 28 LF 6" SDR26 PVC
SEWER @ 1.0%
- 110 LF 4" C900 PVC WATERLINE
30" MINIMUM COVER

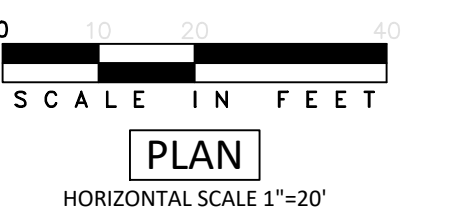
LINE	LENGTH	BEARING
L1	21.66	S72°45'15"E
L2	19.57	S72°45'15"E
L3	112.73	S80°19'40"E
L4	59.14	S70°35'33"E
L5	20.00	S70°35'33"E
L6	60.00	S19°24'27"W
L7	20.00	S70°35'33"E
L8	112.02	S70°35'33"E
L9	112.35	S80°19'40"E
L10	23.70	S72°45'15"E

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	284.00	1864.96	283.73	N29°35'25"E	8°43'31"
C2	35.87	28.00	33.47	S72°42'30"W	73°23'54"
C3	35.87	28.00	33.47	S33°53'36"E	73°23'54"



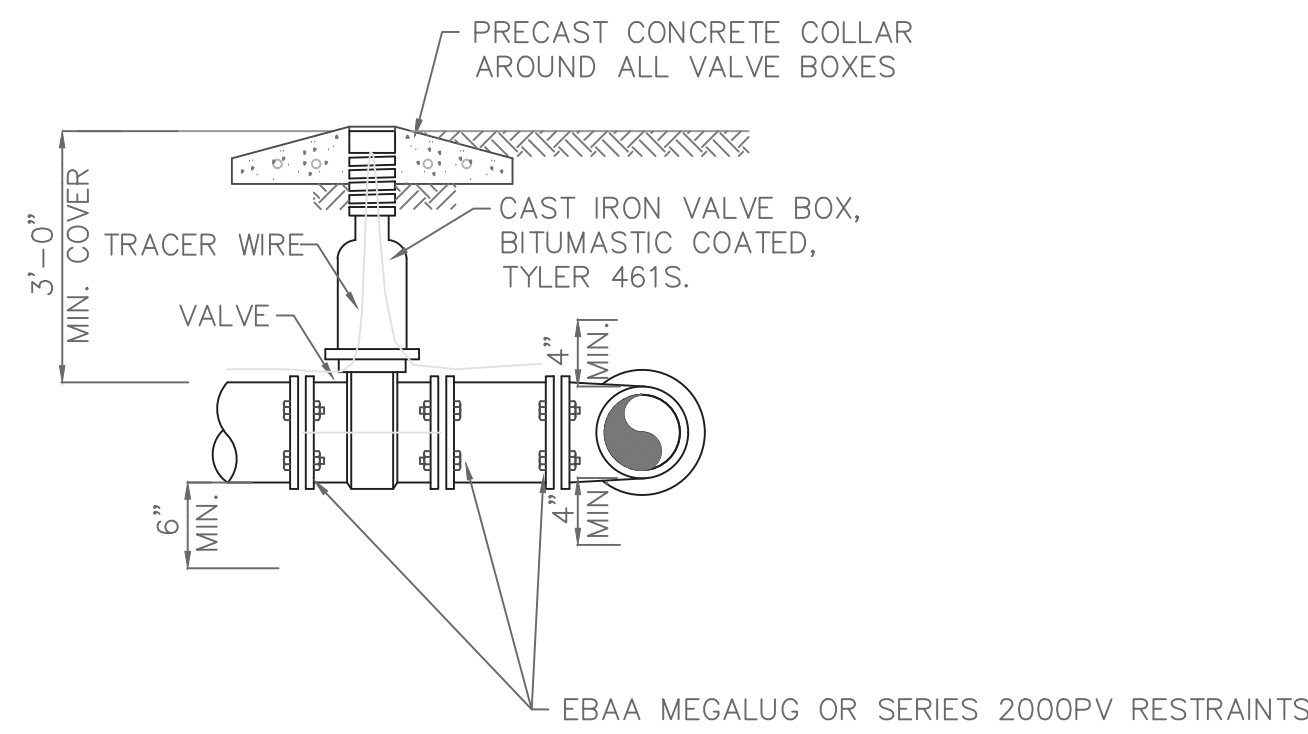
PREPARED FOR:
GERALD BURKE

PROJECT:
CHAPLIN TOWNHOMES
592 WILLIAM HILTON
PARKWAY



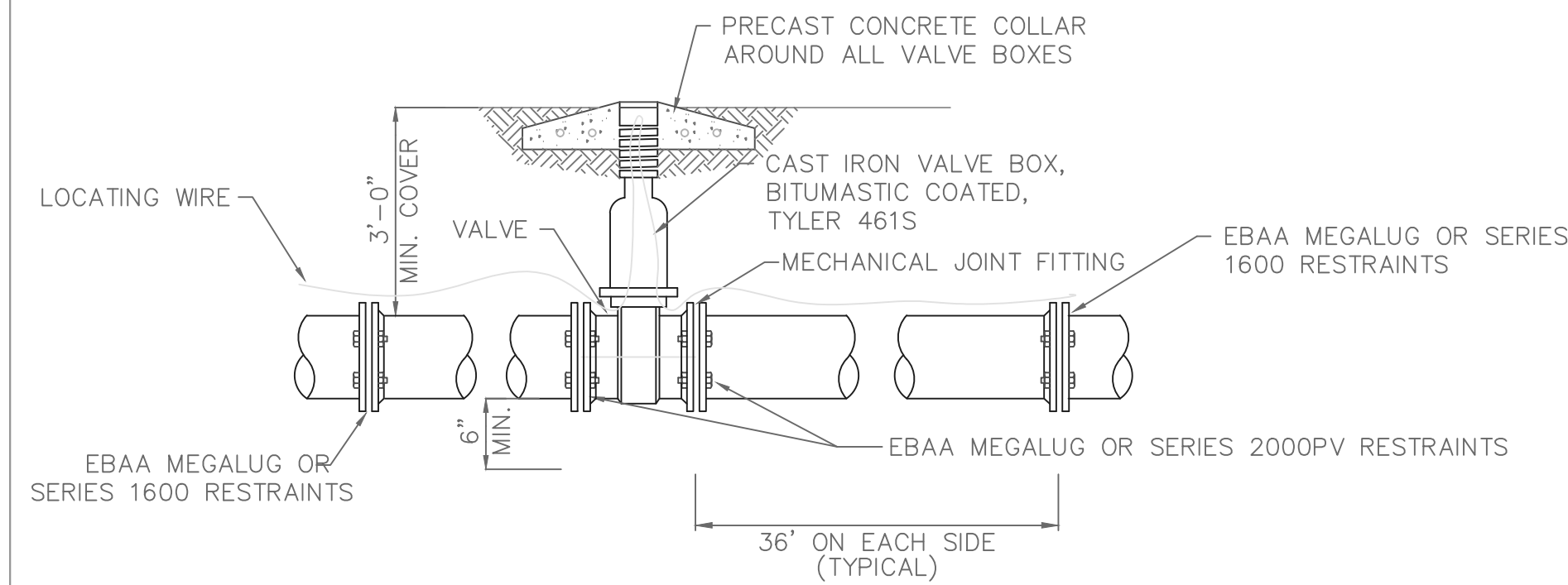
REV #	DATE	DESCRIPTION
	06/01/2023	
SHEET NAME		
UTILITY DETAILS		
SHEET NO.		

- NOTE:
1.) ALL FITTINGS SHALL BE MECHANICAL JOINTS.
2.) TRACER WIRE SHALL BE LOOPED TO THE TOP OF THE VALVE BOX.



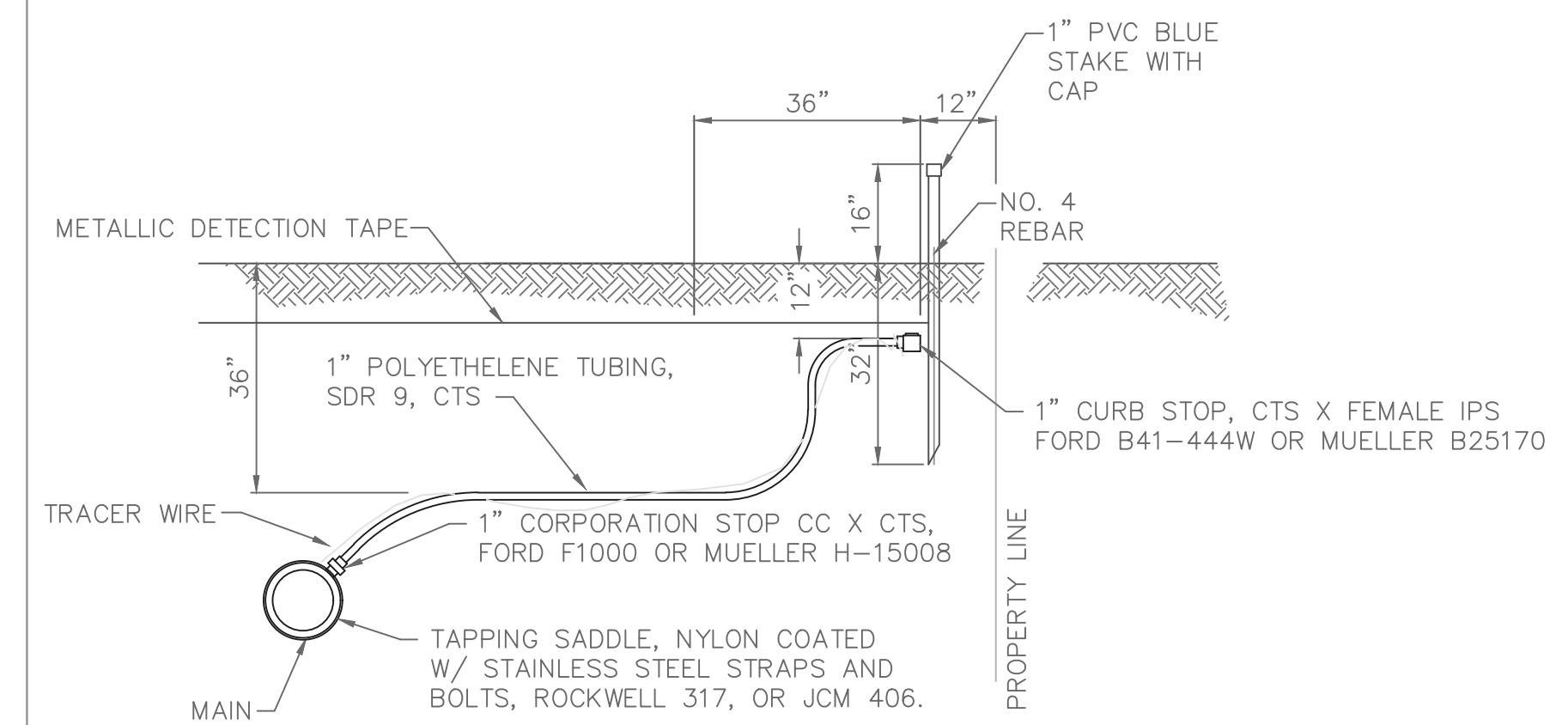
VALVE & TEE SETTING DETAIL
NOT TO SCALE

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
VALVE & TEE SETTING DETAIL		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-4
SCALE: NTS	REVISED: JAN. 2001	



GATE VALVE SETTING DETAIL
NOT TO SCALE

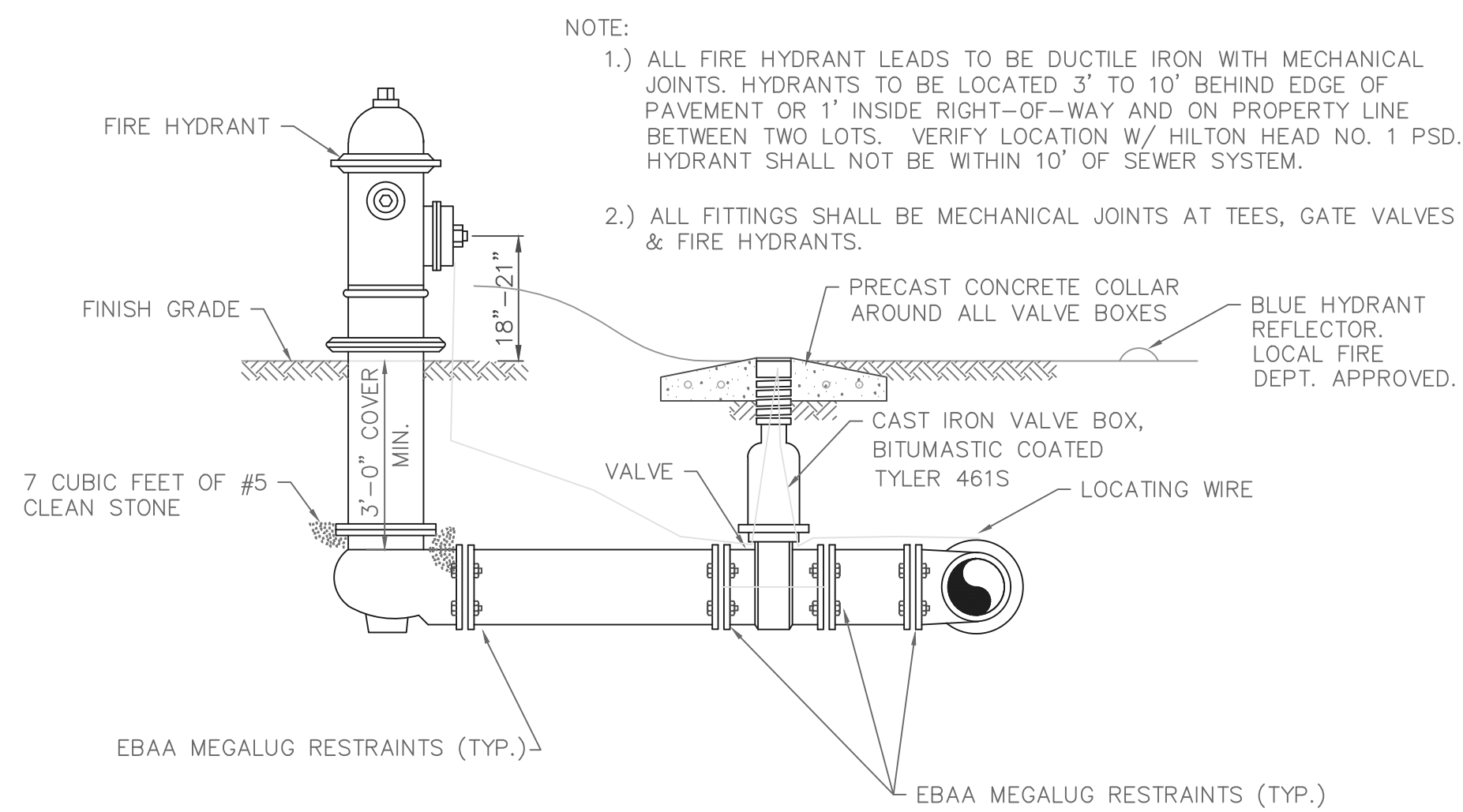
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
GATE VALVE SETTING DETAIL		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-3
SCALE: NTS	REVISED: JAN. 2001	



1" WATER SERVICE CONNECTION DETAIL
NOT TO SCALE

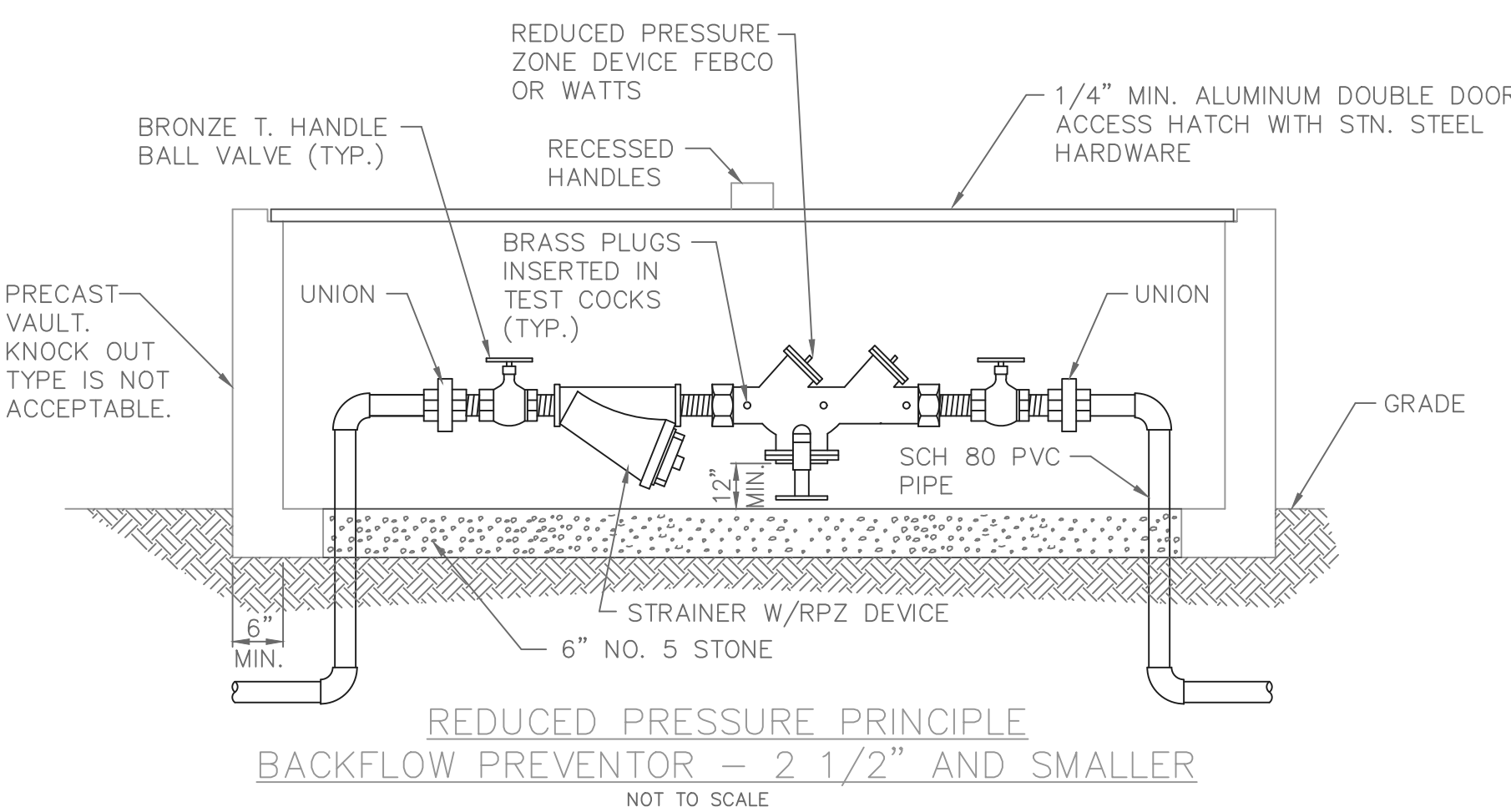
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
1" WATER SERVICE CONNECTION DETAIL		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-1
SCALE: NTS	REVISED: Jan. 2001	

- NOTE:
1.) ALL FIRE HYDRANT LEADS TO BE DUCTILE IRON WITH MECHANICAL JOINTS. HYDRANTS TO BE LOCATED 3' TO 10' BEHIND EDGE OF PAVEMENT OR 1' INSIDE RIGHT-OF-WAY AND ON PROPERTY LINE BETWEEN TWO LOTS. VERIFY LOCATION W/ HILTON HEAD NO. 1 PSD. HYDRANT SHALL NOT BE WITHIN 10' OF SEWER SYSTEM.
2.) ALL FITTINGS SHALL BE MECHANICAL JOINTS AT TEES, GATE VALVES & FIRE HYDRANTS.



FIRE HYDRANT, VALVE & TEE SETTING
NOT TO SCALE

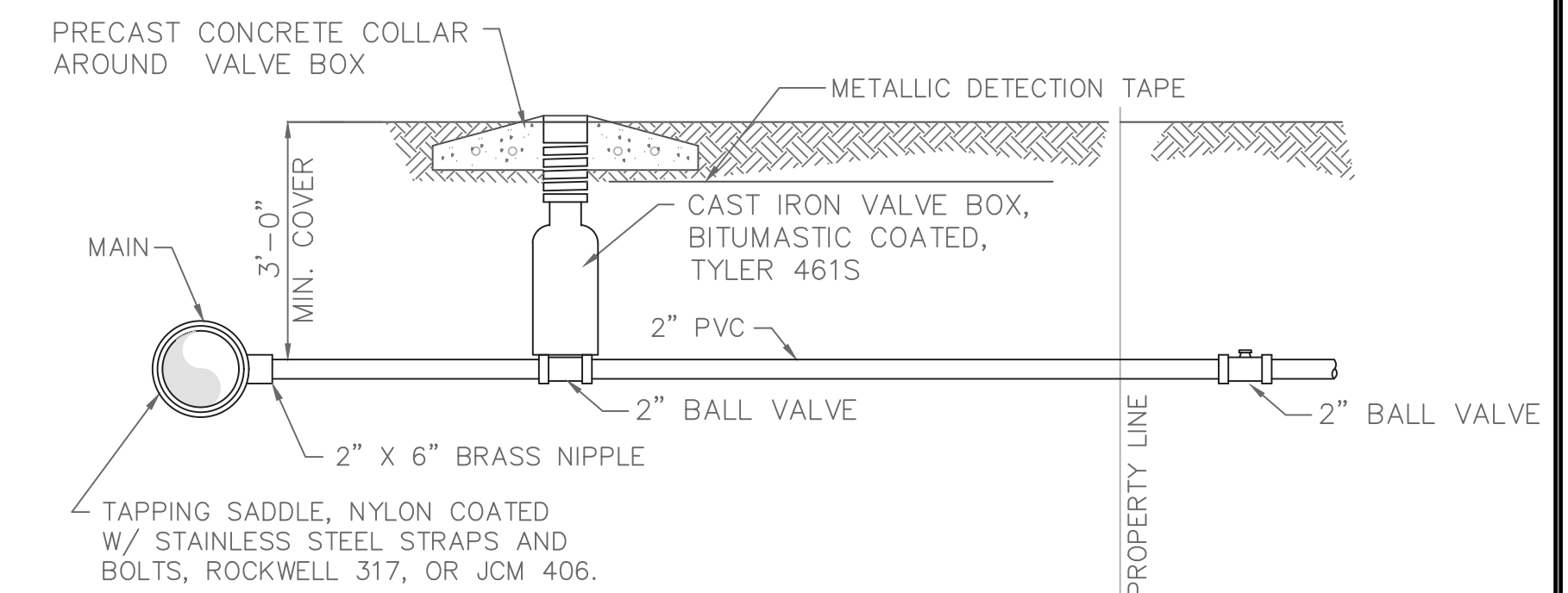
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
FIRE HYDRANT, VALVE & TEE SETTING		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-2
SCALE: NTS	REVISED: MAR 2005	



REDUCED PRESSURE PRINCIPLE
BACKFLOW PREVENTOR - 2 1/2" AND SMALLER
NOT TO SCALE

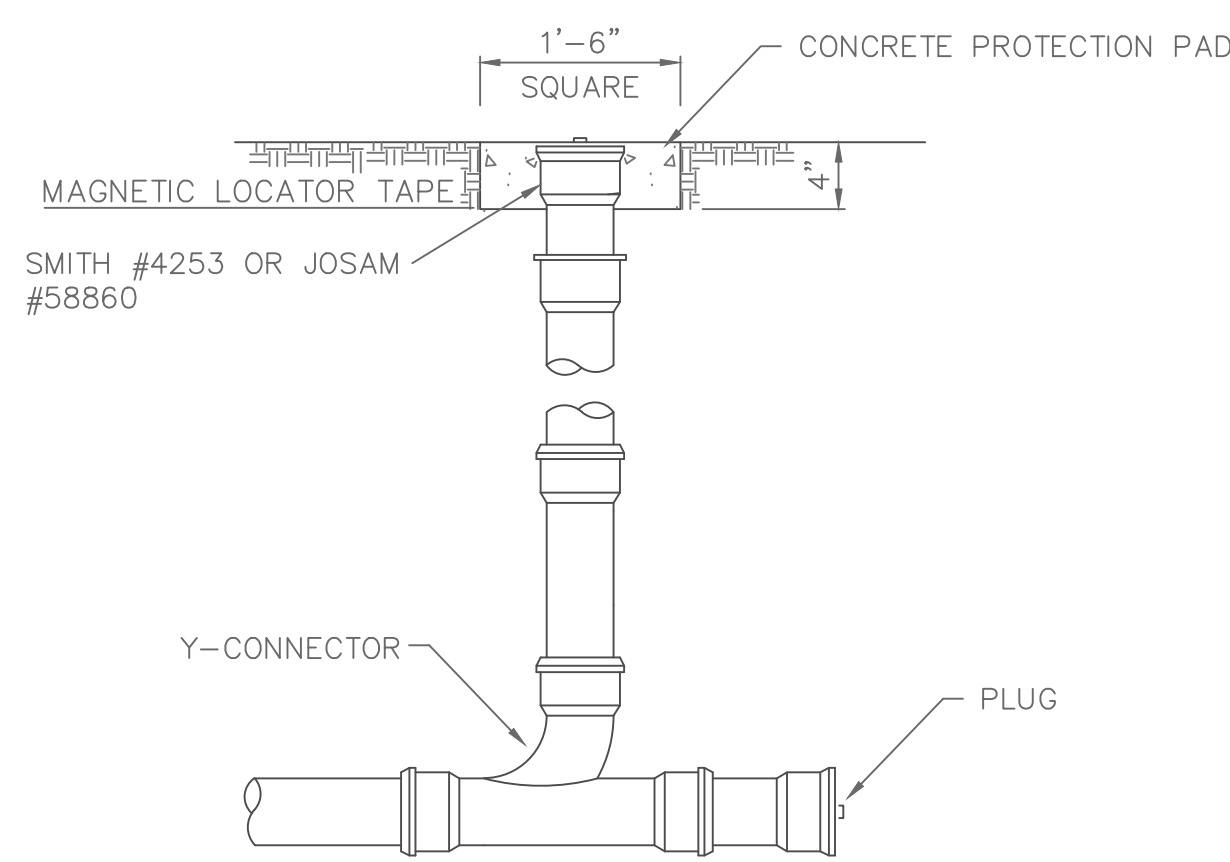
- NOTES:
1. MIN. WIDTH OF BOX 4' INSIDE.
2. POURED CONCRETE OR PRECAST CONCRETE BOX, KNOCK-OUT TYPE IS NOT ACCEPTABLE.
3. WHERE A POSITIVE DRAIN (NO SURCHARGING) IS AVAILABLE, A FLOOR DRAIN WITH A 2" SLOPED CONCRETE BOTTOM MAY BE USED AND VAULT AND THE VAULT CAN BE INSTALLED WITH THE TOP 2" ABOVE GRADE.
4. IF SUBJECT TO TRAFFIC PROVIDE A HEAVIER DOOR.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR - 2 1/2" AND SMALLER		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-9
SCALE: NTS	REVISED: XXXXXXX	



2" SERVICE CONNECTION DETAIL
NOT TO SCALE

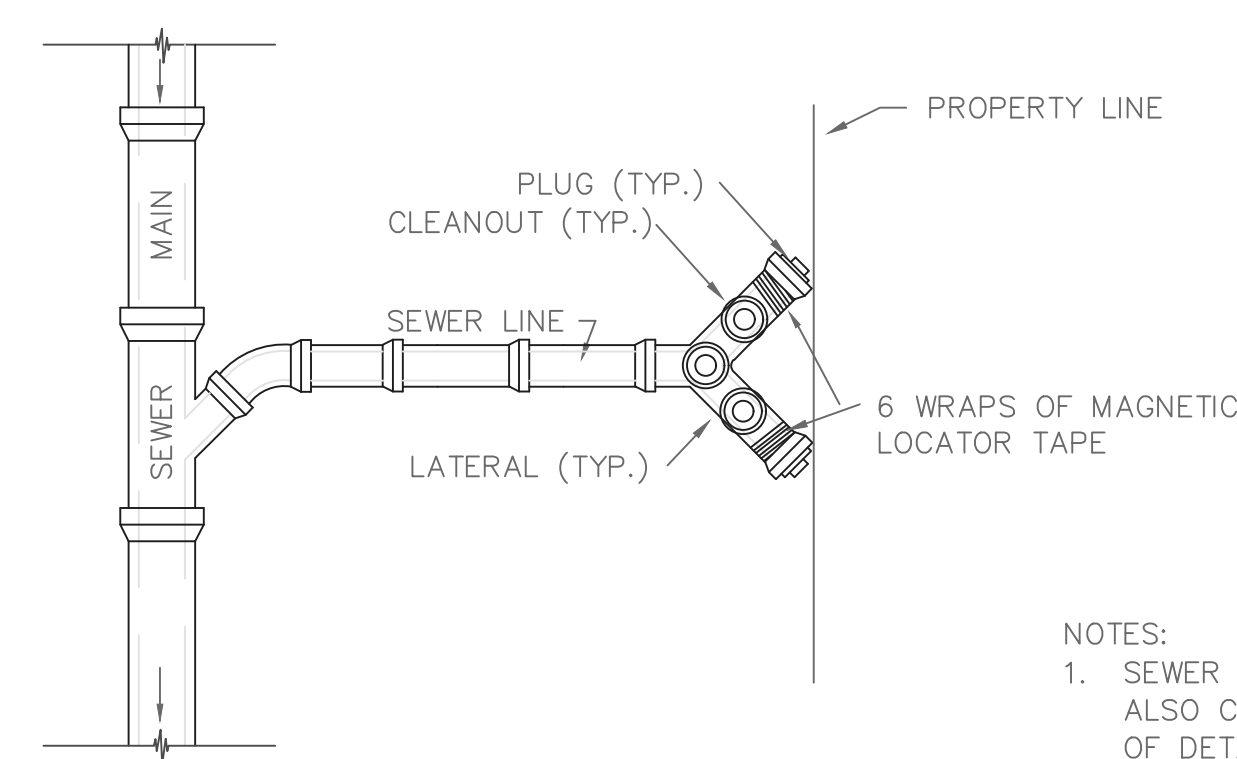
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
2" SERVICE CONNECTION DETAIL		
APPROVED BY: LC	DATE: Feb. 1997	DRAWING NO. VIII-12
SCALE: NTS	REVISED: XXXXXXX	



CLEANOUT DETAIL
NOT TO SCALE

- NOTES:
1. THE CLEANOUT SHOULD BE THE SAME SIZE DIAMETER AS THE LINE THAT IT IS INSTALLED ON.
2. CLEANOUT SHOULD CONSIST OF A PLUG SUITABLE FOR AIR TEST.

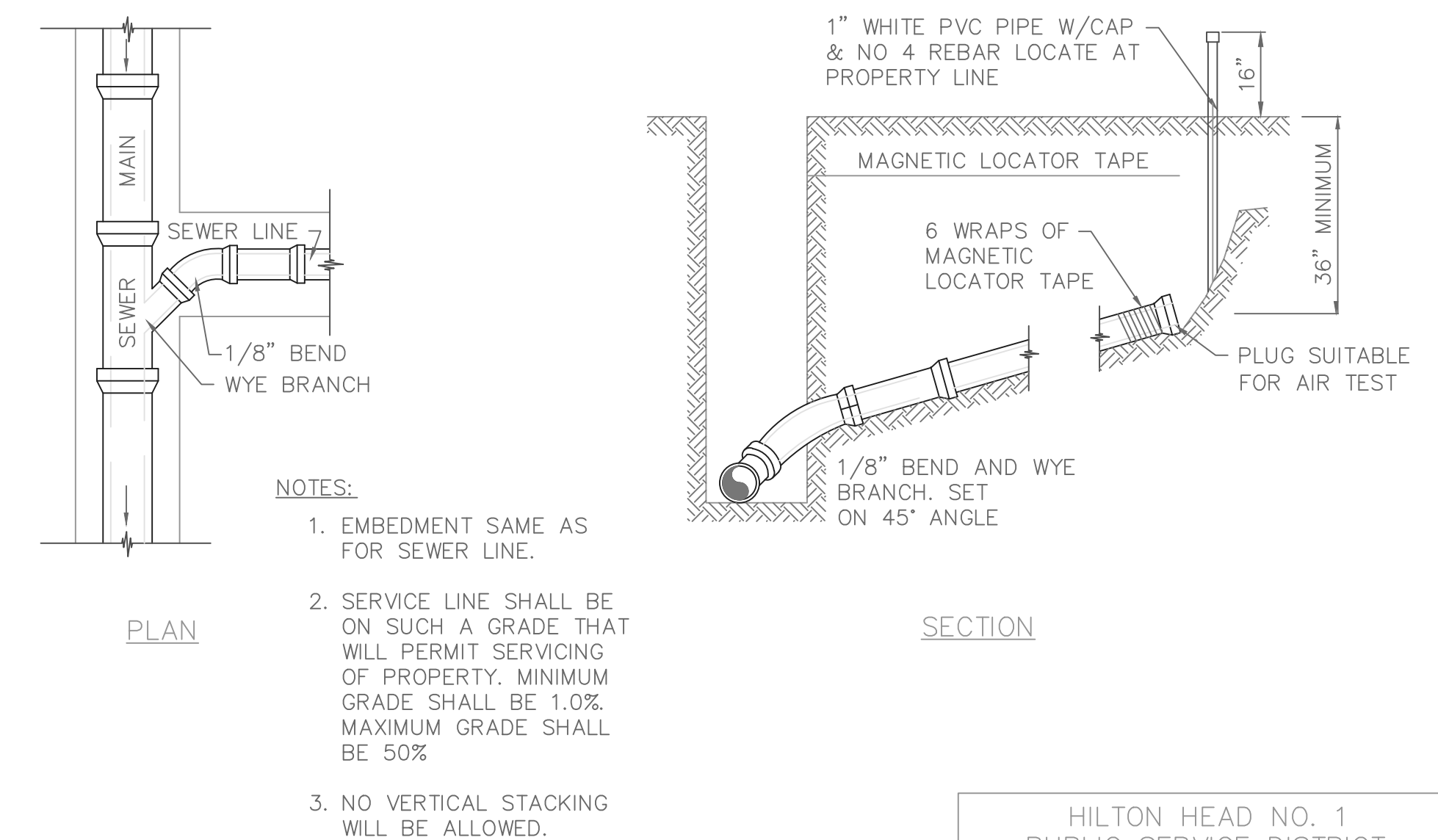
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
CLEANOUT DETAIL		
APPROVED BY: LC	DATE: JULY 2000	DRAWING NO. XII-13
SCALE: NTS	REVISED: XXXXXXX	



DOUBLE SEWER SERVICE
NOT TO SCALE

- NOTES:
1. SEWER SERVICE CONNECTION SHOULD ALSO COMPLY WITH REQUIREMENTS OF DETAIL XII-10.
2. CLEANOUTS ON INDIVIDUAL LATERALS SHALL BE PLACED AT PROPERTY LINE.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
DOUBLE SEWER SERVICE		
APPROVED BY: XXXXXXX	DATE: DEC. 1998	DRAWING NO. XII-14
SCALE: NTS	REVISED: XXXXXXX	



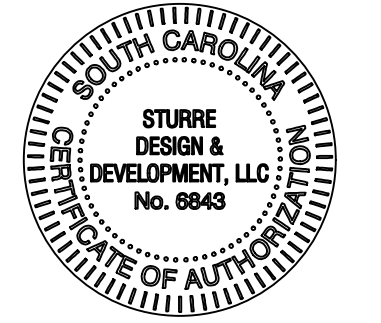
SEWER SERVICE CONNECTION DETAIL
NOT TO SCALE

- NOTES:
1. EMBEDMENT SAME AS FOR SEWER LINE.
2. SERVICE LINE SHALL BE ON SUCH A GRADE THAT WILL PERMIT SERVICING OF PROPERTY. MINIMUM GRADE SHALL BE 1.0%. MAXIMUM GRADE SHALL BE 50%.
3. NO VERTICAL STACKING WILL BE ALLOWED.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT		
SEWER SERVICE CONNECTION DETAIL		
APPROVED BY: XXXXXXX	DATE: Feb. 1997	DRAWING NO. XII-10
SCALE: NTS	REVISED: XXXXXXX	

- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊙ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⊞ - XFMR - TRANSFORMER
 - ⊞ - WATER LATERAL
 - ⊞ - WATER METER
 - ⊞ - IRRIGATION CONTROL VALVE
 - ⊞ - FIRE HYDRANT
 - ⊞ - GRATE INLET
 - ⊞ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⊞ - GUY LINE
 - ⊞ - LIGHT POLE
 - ⊞ - STORM DRAIN MANHOLE
 - ⊞ - FIBEROPTICS MANHOLE
- TREE LEGEND**
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
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 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

NOTES:
 1. CONTRACTOR SHALL FOLLOW SCDOT STANDARD TRAFFIC CONTROL PLAN 601-205-01 FOR WORK IN R/W.
 2. EXISTING SIDEWALKS AND RAMPS TO BE REPLACED IF NOT IN COMPLIANCE WITH ADA CURRENT STANDARDS.



PREPARED FOR:
GERALD BURKE

PROJECT:
**CHAPLIN TOWNHOMES
 592 WILLIAM HILTON
 PARKWAY**



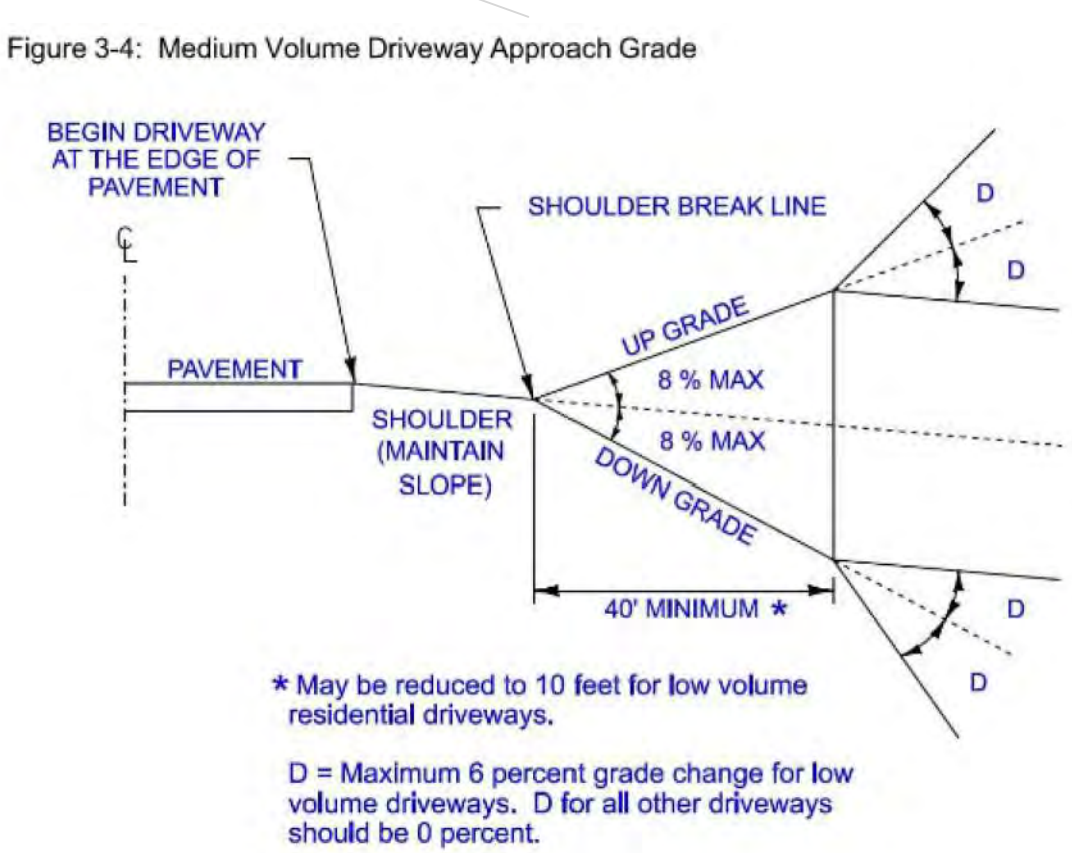
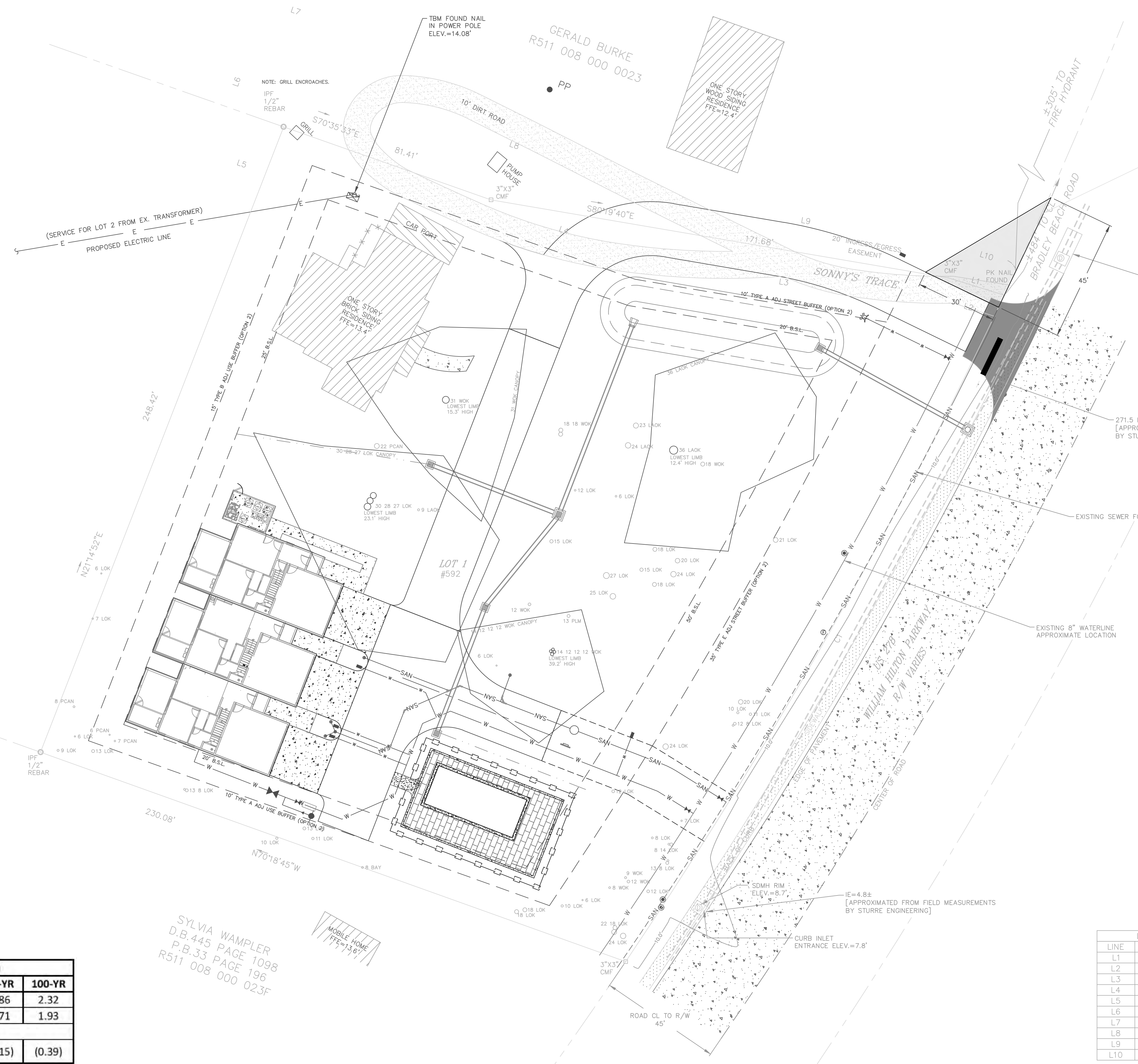
SCALE IN FEET
 HORIZONTAL SCALE 1"=20'



REV #	DATE	DESCRIPTION

SHEET NAME: **TRAFFIC CONTROL PLAN**

SHEET NO. **12**



SCDOT (US 278)		Peak Outflow (CFS)				
		2-YR	10-YR	25-YR	50-YR	100-YR
Total Outflow	PRE-CA_N	0.31	0.95	1.42	1.86	2.32
	POST-CA_N	0.01	0.14	0.28	0.71	1.93
Difference in Flow - Post		(0.30)	(0.81)	(1.14)	(1.15)	(0.39)

LINE TABLE

LINE	LENGTH	BEARING
L1	21.66	S72°45'15"E
L2	19.57	S72°45'15"E
L3	112.73	S80°19'40"E
L4	59.14	S70°35'33"E
L5	20.00	S70°35'33"E
L6	60.00	S19°24'27"W
L7	20.00	S70°35'33"E
L8	112.02	S70°35'33"E
L9	112.35	S80°19'40"E
L10	23.70	S72°45'15"E

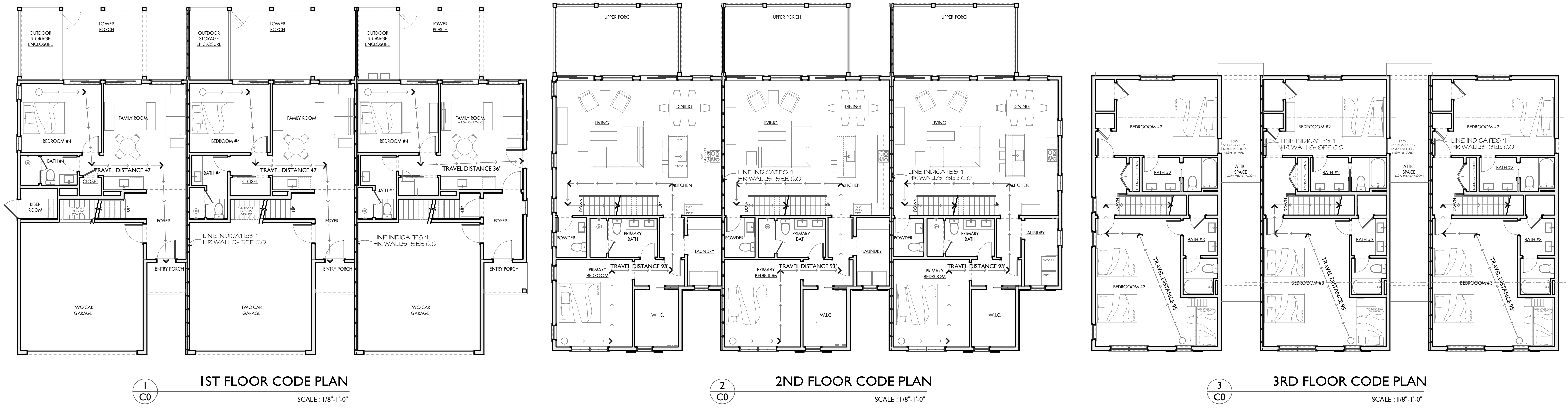
CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	284.00	1864.96	283.73	N29°35'25"E	8°43'31"
C2	35.87	28.00	33.47	S72°42'30"W	73°23'54"
C3	35.87	28.00	33.47	S33°53'36"E	73°23'54"

ALL ITEMS IN SECTION 10D OF THE CURRENT ARMS MANUAL FOR BOTH CONSTRUCTION AND POST CONSTRUCTION DESIGN HAVE BEEN STUDIED AND ADDRESSED. ALL NECESSARY BMPs HAVE BEEN IMPLEMENTED FOR BOTH PHASES (CONSTRUCTION AND POST-CONSTRUCTION) TO AVOID NEGATIVELY IMPACTING IMPAIRED WATERS OF THE SCDOT SYSTEM AND/OR ITS DISCHARGES. ALL REQUIREMENTS IN SECTION 10B OF THE CURRENT ARMS MANUAL FOR POST DEVELOPMENT RELEASE RATES HAVE BEEN MET. THERE WILL BE ZERO INCREASE IN RUNOFF TO SCDOT RIGHT OF WAY.

SYLVIA WAMPLER
 D.B.445 PAGE 1098
 P.B.33 PAGE 196
 R511 008 000 023F

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CHAPLIN TOWNHOMES

592 William Hilton Parkway, Hilton Head Island, SC 29928

CHAPLIN TOWNHOMES
 592 William Hilton Parkway
 Hilton Head Island, SC 29928

INDEX OF DRAWINGS:		DESIGN	REVISION
TITLE & CODE SUMMARY	COVER SHEET	●	●
ARCHITECTURE			
A1.01	FIRST FLOOR PLAN	●	●
A1.02	SECOND FLOOR PLAN	●	●
A1.03	THIRD FLOOR PLAN	●	●
A1.04	ROOF PLAN	●	●
A2.01	ELEVATIONS	●	●
A2.02	ELEVATIONS	●	●
A3.01	BUILDING SECTIONS	●	●
A4.01	WALL SECTIONS	●	●
STRUCTURAL			
S1.00	STRUCTURAL NOTES	●	●
S2.00	FOUNDATION PLAN	●	●
S2.01	1ST LEVEL FRAMING PLAN	●	●
S2.02	2ND LEVEL FRAMING PLAN	●	●
S2.03	3RD LEVEL FRAMING PLAN	●	●
S2.04	ROOF FRAMING PLAN	●	●
S2.10	1ST LEVEL SHEARWALL PLAN	●	●
S2.11	2ND LEVEL SHEARWALL PLAN	●	●
S2.12	3RD LEVEL SHEARWALL PLAN	●	●
S3.00	FOUNDATION DETAILS	●	●
S4.00	STRUCTURAL DETAILS	●	●
S4.01	STRUCTURAL DETAILS	●	●
S4.02	STRUCTURAL DETAILS	●	●
ELECTRICAL			
E0.01	ELECTRICAL NOTES	●	●
E0.02	ELECTRICAL DIAGRAMS	●	●
E1.00	1ST FL POWER PLAN	●	●
E1.01	1ST FL LIGHTING PLAN	●	●
E2.00	2ND FL POWER & LIGHTING PLANS	●	●
E3.00	3RD FL POWER & LIGHTING PLANS	●	●
MECHANICAL			
M0-01	MECHANICAL TITLE SHEET	●	●
M1-01	1ST FL MECHANICAL PLAN	●	●
M1-02	2ND FL MECHANICAL PLAN	●	●
M1-03	3RD FL MECHANICAL PLAN	●	●
M5-01	MECHANICAL DETAILS	●	●
M6-01	MECHANICAL SCHEDULES	●	●
PLUMBING			
P0-01	PLUMBING TITLE, DETAILS, & SCHEDULES	●	●
P1-01	1ST FL PLUMBING PLAN	●	●
P1-02	2ND FL PLUMBING PLAN	●	●
P1-03	3RD FL PLUMBING PLAN	●	●
FIRE			
FP.01	LEGEND & GENERAL NOTES	●	●
FP.02	SPECIFICATIONS	●	●
FP.1.1	FLOOR PLANS	●	●

PROJECT TEAM:

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 BLUFFTON, SC 29910
 (843) 797-7411
 BW@WJKLTD.COM

VICINITY MAP:

CODE SUMMARY:

BUILDING CODES
 INTERNATIONAL BUILDING CODE: 2021
 INTERNATIONAL FIRE CODE: 2021
 INTERNATIONAL FUEL GAS CODE: 2021
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009

(ALL CODES WITH SC MODIFICATIONS)

DESCRIPTION OF WORK:
 CONSTRUCTION OF A TRI-PLEX TOWNHOME BUILDING.

CONSTRUCTION:
 CONSTRUCTION IS A CONCRETE SLAB-ON-GRADE WITH WOOD BEARING WALL CONSTRUCTION, WOOD-FRAMED FLOOR SYSTEM & ROOF, STUCCO AND CEMENT BOARD SIDING WITH ASPHALT SHINGLES.

OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-2)
 CONSTRUCTION: TYPE V-B
 TYPE V-B
 AUTO. SPRINKLER SYSTEM PROVIDED
 IBC 9903.3.1.1 (NFPA 13)

FIRE PARTITIONS BETWEEN DWELLING UNITS:
 PER IBC 708.3, EXCEPTION 2: DWELLING UNIT SEPARATIONS IN BUILDINGS OF TYPE V-B CONSTRUCTION SHALL HAVE FIRE-RESISTANCE RATINGS OF NOT LESS THAN 1/2 HOUR IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

BUILDING AREA:
 CONDITIONED UNIT: 690 SQ. FT.
 FIRST FLOOR: 1,130 SQ. FT.
 SECOND FLOOR: 800 SQ. FT.
 THIRD FLOOR: 2,720 SQ. FT.
 TOTAL UNIT: 4,340 SQ. FT.
 UN-CONDITIONED UNIT: 700 SQ. FT.
 FIRST FLOOR: 250 SQ. FT.
 SECOND FLOOR: 950 SQ. FT.
 TOTAL UNIT: 1,650 SQ. FT.

ENTIRE STRUCTURE (3 UNITS):
 CONDITIONED AREA: 8,160 SQ. FT.
 UN-CONDITIONED AREA: 2,850 SQ. FT.
 TOTAL FLOOR AREA: 11,010 SQ. FT.

TRAVEL DISTANCE
 EXIT ACCESS DESIGN REQUIREMENTS PER RESIDENTIAL (R-2), SPRINKLERED

ALLOWABLE ACTUAL
 EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2): 250'-0" 20'
 MAX. OCC. LOAD OF SPACE W/ SINGLE EXIT (IBC 1006.2.1): 20' 125'-0"
 MAX. COMMON PATH OF EGRESS (IBC 1006.2.1): 125'-0" 50'-0"
 DEAD END CORRIDOR (IBC 1020.4): 50'-0" 20'

ALLOWABLE HEIGHT & AREA
 (PER IBC TABLES 504.3, 504.4, & 506.2)

ALLOWABLE	ACTUAL
HEIGHT: 60 FT.	3 STORIES
STORIES: 3 STORIES	11,010 SQ. FT.
AREA: 21,000 SQ. FT.	

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

IBC TABLE 601	TYPE V-B
PRIMARY STRUCTURAL FRAME	0
BEARING WALLS	0
EXTERIOR	0
INTERIOR	0
NON-BEARING WALL & PARTITIONS	0
EXTERIOR	0
INTERIOR	0
FLOOR CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	0
ROOF CONSTRUCTION & ASSOCIATED SECONDARY MEMBERS	0

C. IN ALL OCCUPANCIES, HEAVY TIMBER
 COMPLYING WITH SECTION 2304.1.1 SHALL BE ALLOWED WHERE A 1-HOUR OR LESS FIRE-RESISTANCE RATING IS REQUIRED

INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY

IBC TABLE 903.1.3	SPRINKLERED		
GROUP	C	G	C
R-2	INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS	CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP AND RAMP	ROOMS AND ENCLOSED SPACES

CLASS A = FLAME SPREAD INDEX 0-25; SMOKE DEVELOPED INDEX 0-450
 CLASS B = FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450
 CLASS C = FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450

GA. FILE NO.	GENERIC	1 HOUR	35 TO 39 STC SOUND
WP 3520			

GYPSON WALLBOARD, WOOD STUDS
 ONE LAYER 5/8" TYPE X PLAN OR PREDECORATED GYPSUM WALLBOARD, WATER-RESISTANT GYPSUM BACKING BOARD, OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x4 WOOD STUDS 16" O.C. WITH 6d COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C. JOINTS OF SQUARE EDGE, BEVEL EDGE OR PREDECORATED WALLBOARD MAY BE LEFT EXPOSED.

JOINTS STAGGERED 16" ON OPPOSITE SIDES. (LOAD BEARING)

THICKNESS: 4 7/8"
 APPROX. WEIGHT: 7 PSF
 FIRE TEST: UL R1319-4, -6, 6-7-52
 UL R2717-39, 1-20-66
 UL R350-52, 3-15-66
 UL DESIGN U305
 ULC DESIGN W301
 SOUND TEST: CR 64-8, 2-4-64

INTERIOR WALL 1 HR WALL DETAIL

GA. FILE NO.	GENERIC	1 HOUR	35 TO 39 STC SOUND
WP 8130			

GYPSON WALLBOARD, WOOD STUDS
 EXTERIOR SIDE: ONE LAYER OF 5/8" PROPRIETARY TYPE X GLASS MAT GYPSUM SUBSTRATE (SHEATHING) APPLIED PARALLEL TO 2x4 WOOD STUDS 16" O.C. W/ GALVANIZED ROOFING NAILS, 1 3/4" LONG, J28 SHANK, 7/16" HEAD, 8" O.C. EXTERIOR SURFACE COVERED WITH WEATHER EXPOSED CLADDING OR FINISH SYSTEM.
 INTERIOR SIDE: ONE LAYER OF 5/8" PROPRIETARY TYPE X GLASS MAT GYPSUM SUBSTRATE, GLASS MAT WATER-RESISTANT GYPSUM BACKING BOARD, GYP WALLBOARD, OR GYP VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS W/ 6d COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

JOINTS STAGGERED 16" ON OPPOSITE SIDES. (LOAD BEARING)

PROPRIETARY GYPSUM BOARD 5/8" DENS-GLASS FIREGUARD
 THICKNESS: 4 3/4"
 APPROX. WEIGHT: 7 1/2 PSF
 FIRE TEST: WHI-485-0702, 8-7-85
 WHI-485-0703, 8-8-85
 UL R2717, 89N3419
 8-29-89
 UL DESIGN U337

EXTERIOR WALL 1 HR WALL DETAIL

REVISIONS

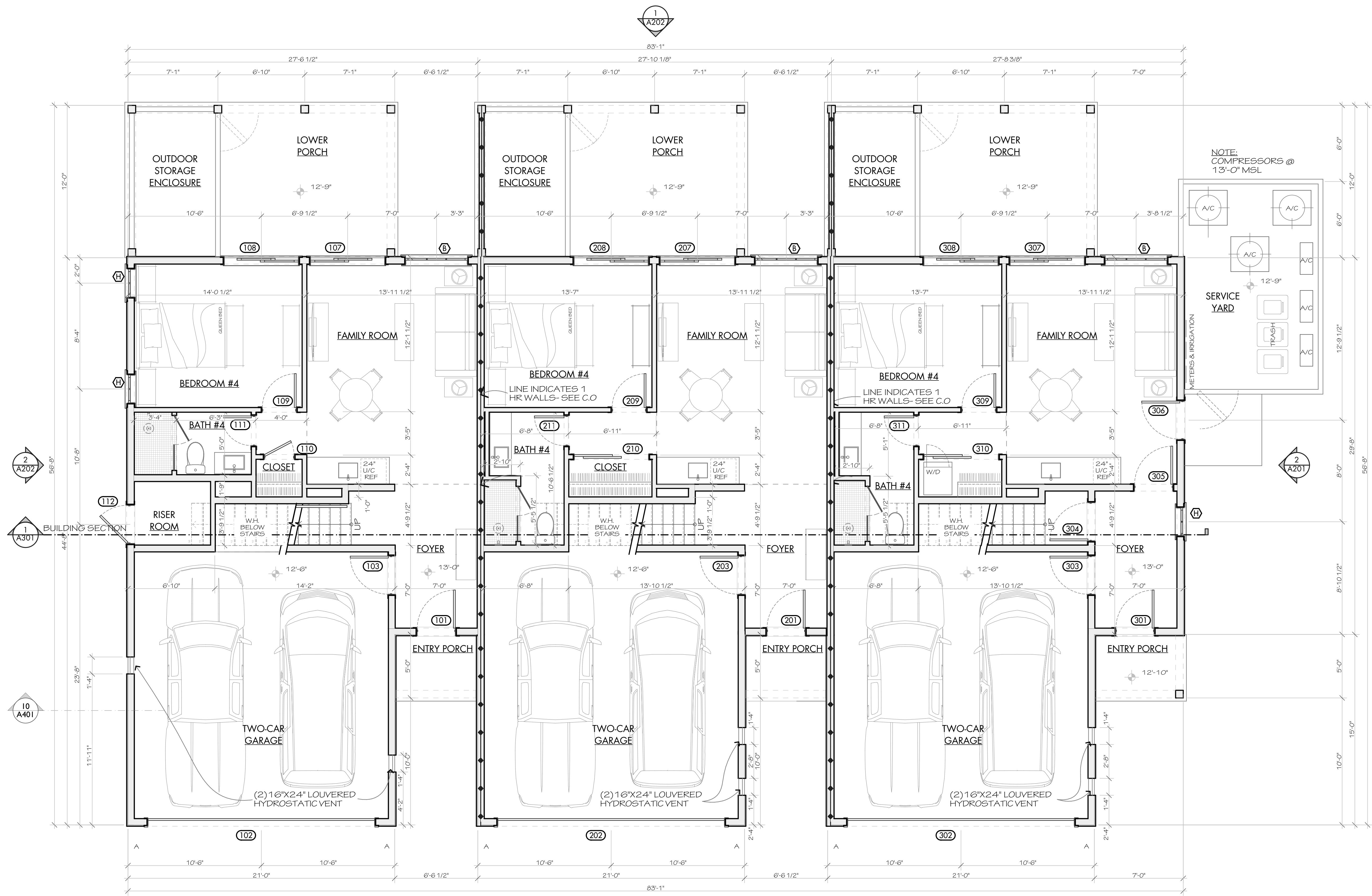
1	CHANGED NOTE	8/28/23
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 TCP

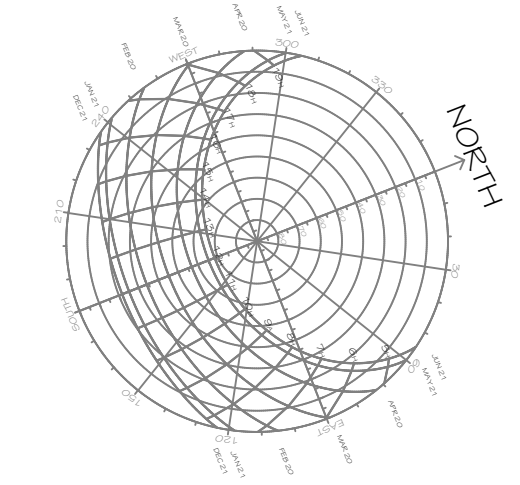
DATE OF ISSUE
 8/28/2023

JOB NO.
 2210

SHEET
 COVER SHEET



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

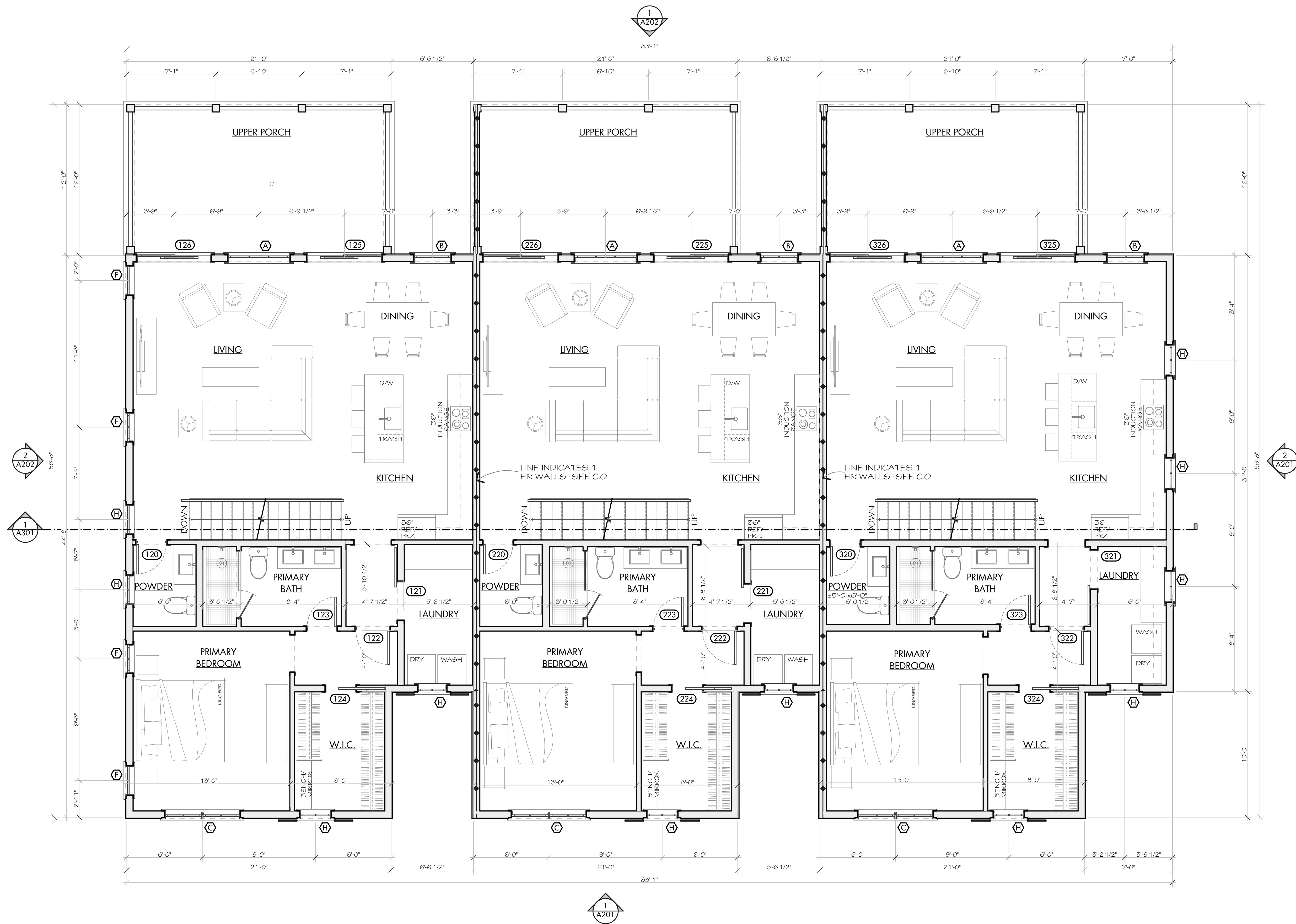


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CHAPLIN TOWNHOMES
 592 William Hilton Parkway
 Hilton Head Island, SC 29928

NO.	DATE	DESCRIPTION

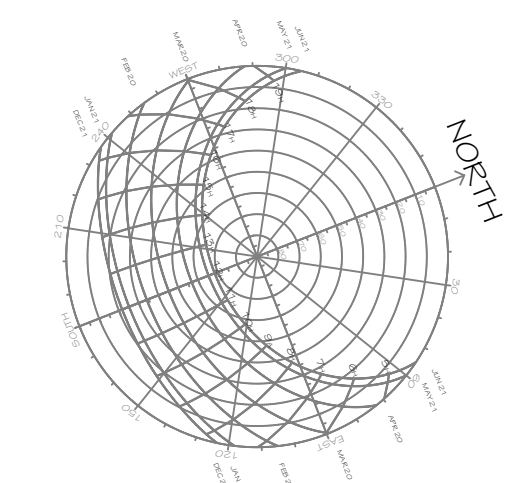
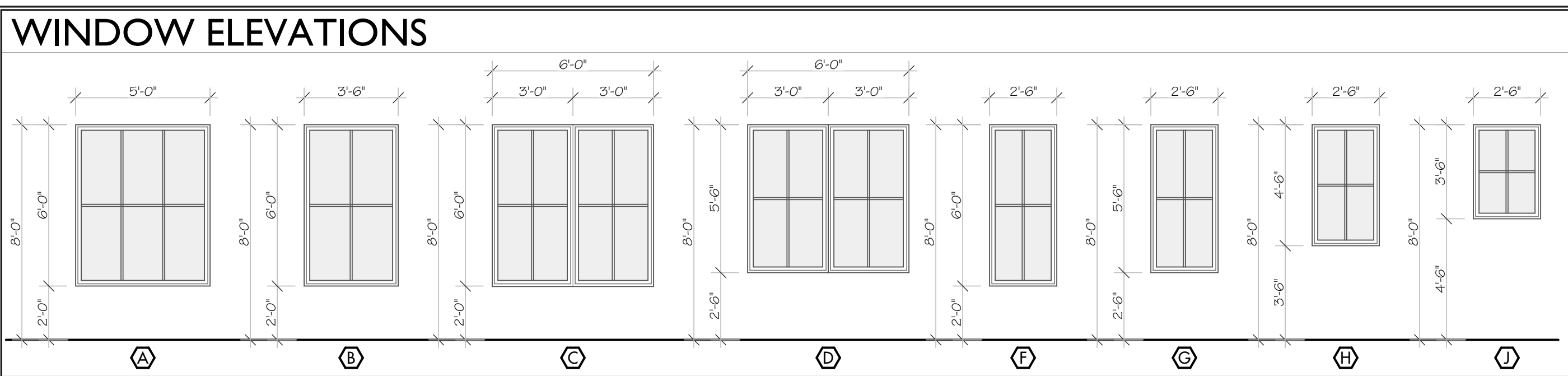
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 2210
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1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

MARK	TYPE	MANUF. & LINE	SIZE	REMARKS
A	PICTURE WINDOW	SIERRA PACIFIC 8000	5'-0" x 8'-0"	
B	PICTURE WINDOW	SIERRA PACIFIC 8000	3'-6" x 6'-0"	
C	CASEMENT PAIR	SIERRA PACIFIC 8000	(2) 3'-0" x 6'-0"	
D	CASEMENT PAIR	SIERRA PACIFIC 8000	(2) 3'-0" x 5'-6"	
F	CASEMENT	SIERRA PACIFIC 8000	2'-6" x 6'-0"	
G	CASEMENT	SIERRA PACIFIC 8000	2'-6" x 5'-6"	
H	CASEMENT	SIERRA PACIFIC 8000	2'-6" x 4'-6"	
J	CASEMENT	SIERRA PACIFIC 8000	2'-6" x 3'-6"	

NOTES:
 1. SIERRA PACIFIC 8000, LOW-E GLASS W/ ARGON, 7/8" PUTTY S/D, MOUNTING W/ SPACER BAR.
 2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.



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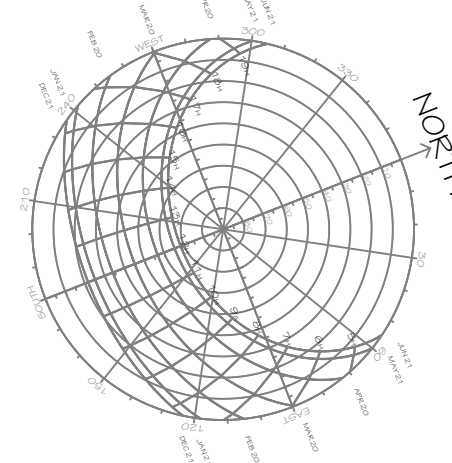
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1 THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"



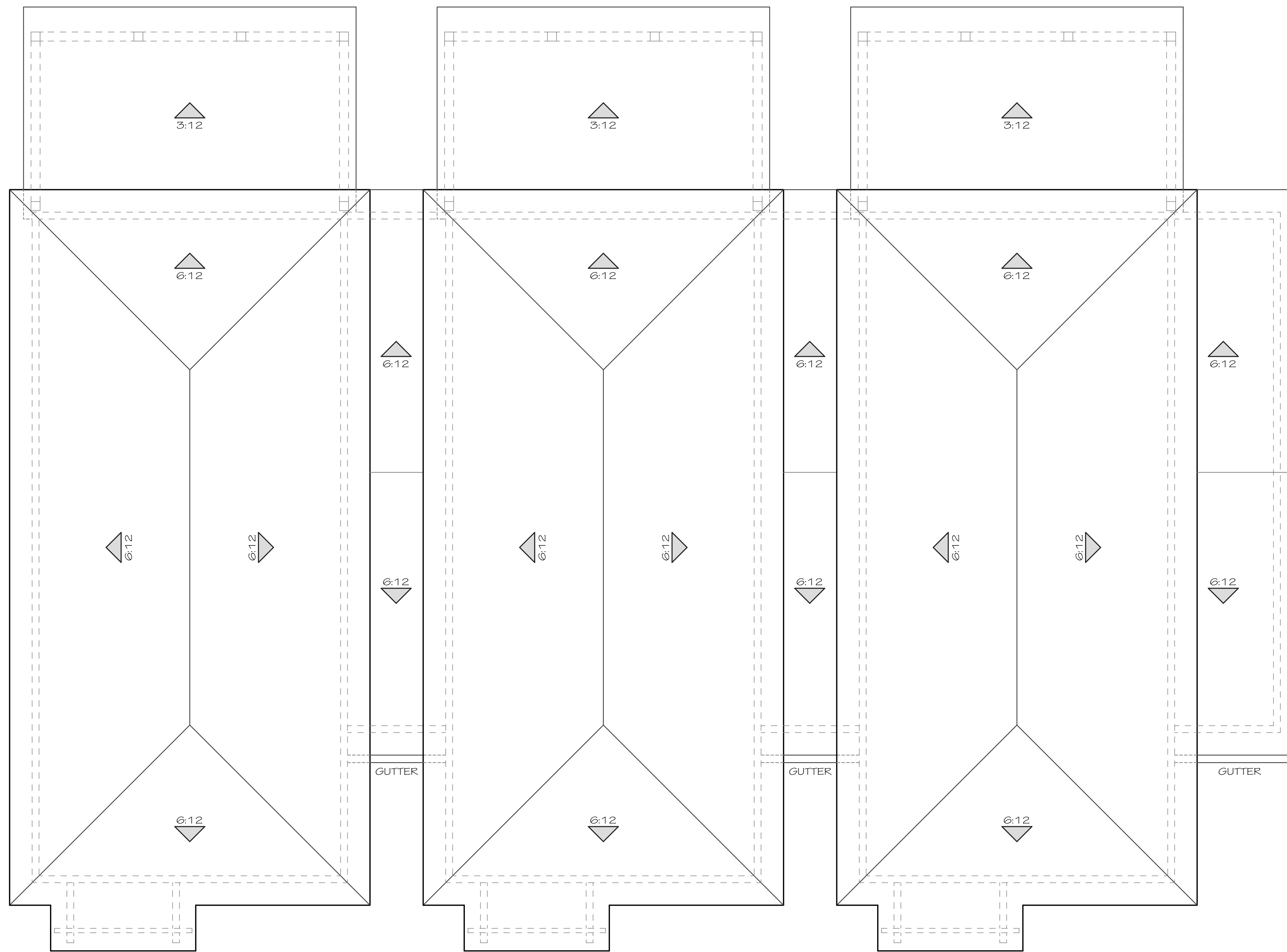
DOOR & FRAME SCHEDULE

DOOR & FRAME SCHEDULE																					
MARK	DOOR			SIZE			MAT'L/ FINISH			ELEV/ HD/WE			FRAME								
	DESCRIPTION	W	H	T	FINISH	ELEV TYPE	HDWE MARK	MAT'L	FIRE RATING	REMARKS	MARK	DESCRIPTION	W	H	T	FINISH	ELEV TYPE	HDWE MARK	MAT'L	FIRE RATING	REMARKS
101	THERMATRU S82103-SDL	3'-0"	8'-0"		FIBERGLASS			FIBERGLASS			201	THERMATRU S82103-SDL	3'-0"	8'-0"		FIBERGLASS			FIBERGLASS		
102	OVERHEAD GARAGE DOOR	18'-0"	8'-0"		STEEL/COMPOSITE			ALUM.		CLOPAY COACHMAN DESIGN 12/REC-14	202	OVERHEAD GARAGE DOOR	18'-0"	8'-0"		STEEL/COMPOSITE			ALUM.		CLOPAY COACHMAN DESIGN 12/REC-14
103	THERMATRU S8F220	3'-0"	6'-8"		FIBERGLASS			FIBERGLASS	20 MIN.		203	THERMATRU S8F220	3'-0"	6'-8"		FIBERGLASS			FIBERGLASS	20 MIN.	
104	NOT USED										204	NOT USED									
105	NOT USED										205	NOT USED									
106	NOT USED										206	NOT USED									
107	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000	207	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000
108	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000	208	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000
109	PANEL	2'-8"	6'-8"		MDF			WOOD			209	PANEL	2'-8"	6'-8"		MDF			WOOD		
110	PANEL	2'-4"	6'-8"		MDF			WOOD			210	PANEL SLIDING PAIR	(2) 2'-0"	6'-8"		MDF			WOOD		
111	PANEL	2'-4"	6'-8"		MDF			WOOD			211	PANEL	2'-4"	6'-8"		MDF			WOOD		
112	THERMATRU S8200	3'-0"	8'-0"		FIBERGLASS			FIBERGLASS			220	PANEL	2'-4"	6'-8"		MDF			WOOD		
120	PANEL	2'-4"	6'-8"		MDF			WOOD			221	SURFACE MOUNTED	3'-0"	6'-8"		WOOD			WOOD		
121	SURFACE MOUNTED	3'-0"	6'-8"		WOOD			WOOD			222	PANEL	2'-8"	6'-8"		MDF			WOOD		
122	PANEL	2'-8"	6'-8"		MDF			WOOD			223	PANEL	2'-4"	6'-8"		MDF			WOOD		
123	PANEL	2'-4"	6'-8"		MDF			WOOD			224	POCKETING PANEL	2'-4"	6'-8"		MDF			WOOD		
124	POCKETING PANEL	2'-4"	6'-8"		MDF			WOOD			225	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000
125	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000	226	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000
126	SLIDING DOOR	6'-0"	8'-0"		VINYL			VINYL		SIERRA PACIFIC 8000	230	PANEL	2'-8"	6'-8"		MDF			WOOD		
130	PANEL	2'-8"	6'-8"		MDF			WOOD			231	PANEL	2'-4"	6'-8"		MDF			WOOD		
131	PANEL	2'-4"	6'-8"		MDF			WOOD			232	PANEL	2'-4"	6'-8"		MDF			WOOD		
132	PANEL	2'-4"	6'-8"		MDF			WOOD			233	PANEL	2'-4"	6'-8"		MDF			WOOD		
133	PANEL	2'-4"	6'-8"		MDF			WOOD			234	PANEL PAIR	(2) 2'-0"	6'-8"		MDF			WOOD		
134	PANEL PAIR	(2) 2'-0"	6'-8"		MDF			WOOD			235	PANEL	2'-8"	6'-8"		MDF			WOOD		
135	PANEL	2'-8"	6'-8"		MDF			WOOD			236	NOT USED									
136	NOT USED										237	PANEL	2'-8"	6'-8"		MDF			WOOD		
137	PANEL	2'-8"	6'-8"		MDF			WOOD			238	PANEL	2'-4"	6'-8"		MDF			WOOD		
138	PANEL	2'-4"	6'-8"		MDF			WOOD			2	POCKETING PANEL	2'-4"	6'-8"		MDF			WOOD		
139	POCKETING PANEL	2'-4"	6'-8"		MDF			WOOD			39										

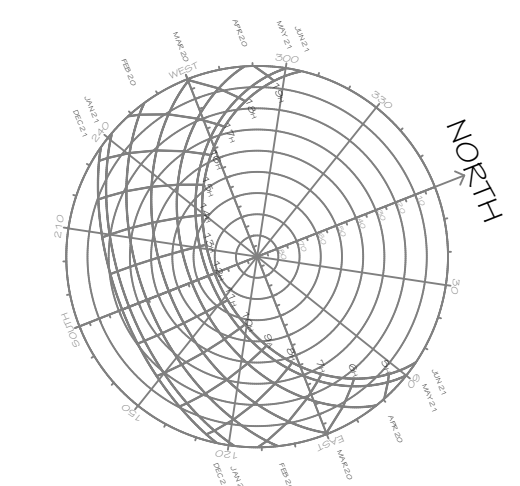
NOTES: 1. PANEL DOORS TO BE MASONITE LOGAN SOLID TWO PANEL MDF DOOR.
2. PROVIDE TEMPERED GLASS.
3. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S3.0

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2210
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1
A104 ROOF PLAN
SCALE 1/4" = 1'-0"



FINISH SCHEDULE

ROOM NAME	FLOOR MATERIAL	BASE	WALL MATERIAL	FINISH	CEILING MATERIAL	FINISH	HT. (AFF)	REMARKS
ENTRY PORCH	ROCK-SALT FINISH CONCRETE	N/A	SEE EXT. ELEVS.		CYP. 1x6 V-GROOVE	PAINT	9'-0"	
FOYER	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
TWO-CAR GARAGE	SEALED CONC.	N/A	GWB - 5/8" TYPE 'X'	PAINT	GWB	PAINT	9'-7"	
FAMILY ROOM	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
BEDROOM #4	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
BATH #4	TILE	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
LOWER PORCH	ROCK-SALT FINISH CONCRETE	N/A	SEE EXT. ELEVS.		TR. 2x6 DECKING	PAINT	9'-0"	
OUTDOOR STORAGE	ROCK-SALT FINISH CONCRETE	N/A	SEE EXT. ELEVS.		TR. 2x6 DECKING	PAINT	9'-0"	
LIVING	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
KITCHEN	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
DINING	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
UPPER PORCH	TR. 2x6 DECKING		SEE EXT. ELEVS.		CYP. 1x6 V-GROOVE	PAINT	9'-0"	
POWDER	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
LAUNDRY	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
PRIMARY BEDROOM	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
PRIMARY BATH	TILE	1x4	GWB/TILE SHOWER	PAINT	GWB	PAINT	9'-0"	
PRIMARY W.I.C.	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
THIRD FLOOR HALL	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
BEDROOM #2	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
BATH #2	LVP	1x4	GWB/TILE SHOWER	PAINT	GWB	PAINT	9'-0"	
BEDROOM #3	LVP	1x4	GWB	PAINT	GWB	PAINT	9'-0"	
BATH #3	LVP	1x4	GWB/TILE SHOWER	PAINT	GWB	PAINT	9'-0"	

NOTES:
 1. ALL PAINT FINISHES ARE LATEX W/ EGGSHELL FINISH UNO. TRIM & CASING TO HAVE SEMI-GLOSS FINISH
 2. OTSA = OPEN TO STRUCTURE ABOVE
 3. BASE NOT REQUIRED @ CONCRETE CURBS

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CHAPLIN TOWNHOMES
 592 William Hilton Parkway
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REVISIONS

NO.	DESCRIPTION

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1 FRONT ELEVATION
A201 SCALE 1/4" = 1'-0"



2 RIGHT ELEVATION
A201 SCALE 1/4" = 1'-0"

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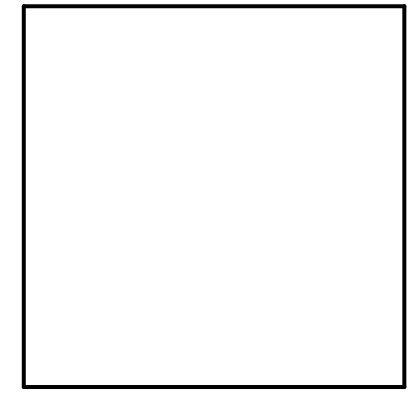
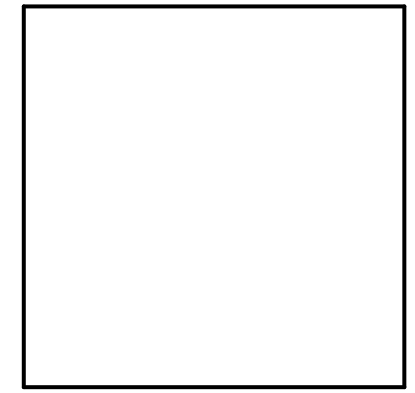


1 REAR ELEVATION
 A202 SCALE 1/4" = 1'-0"



2 LEFT ELEVATION
 A202 SCALE 1/4" = 1'-0"

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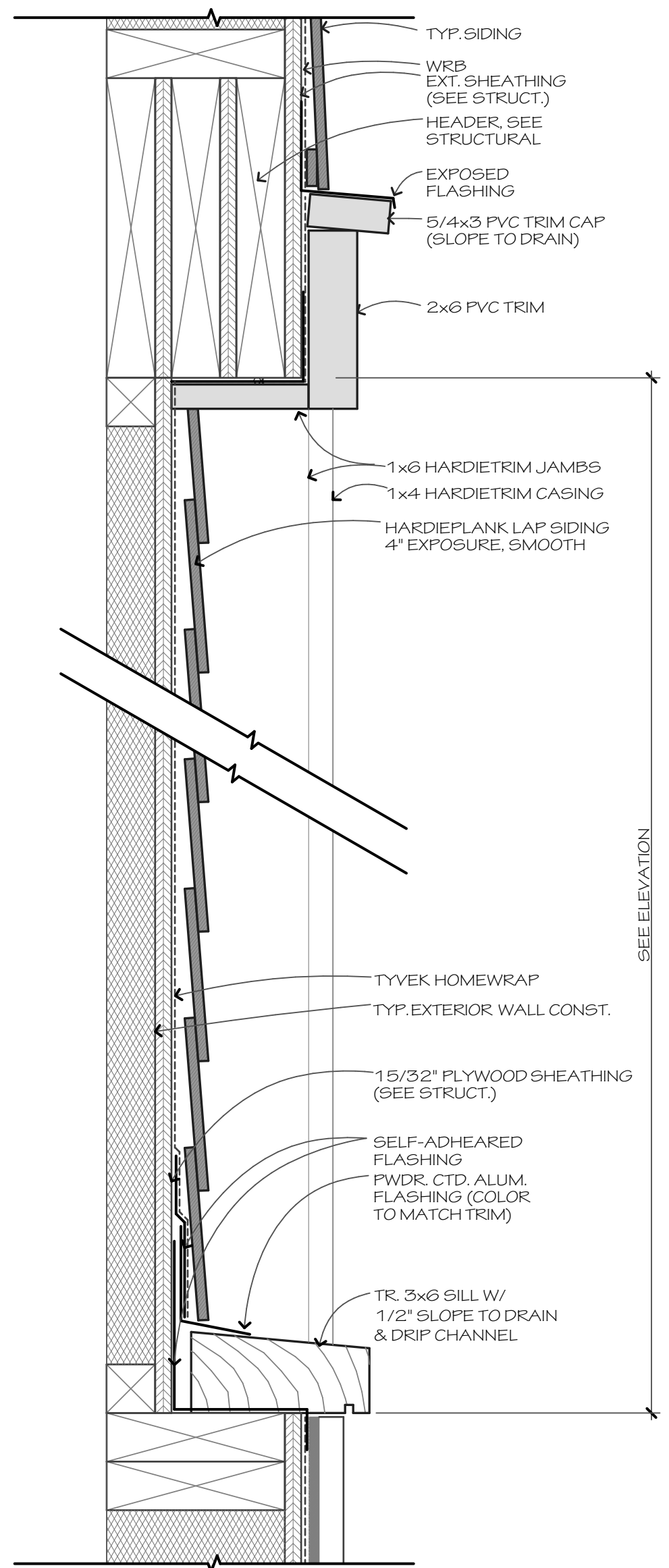
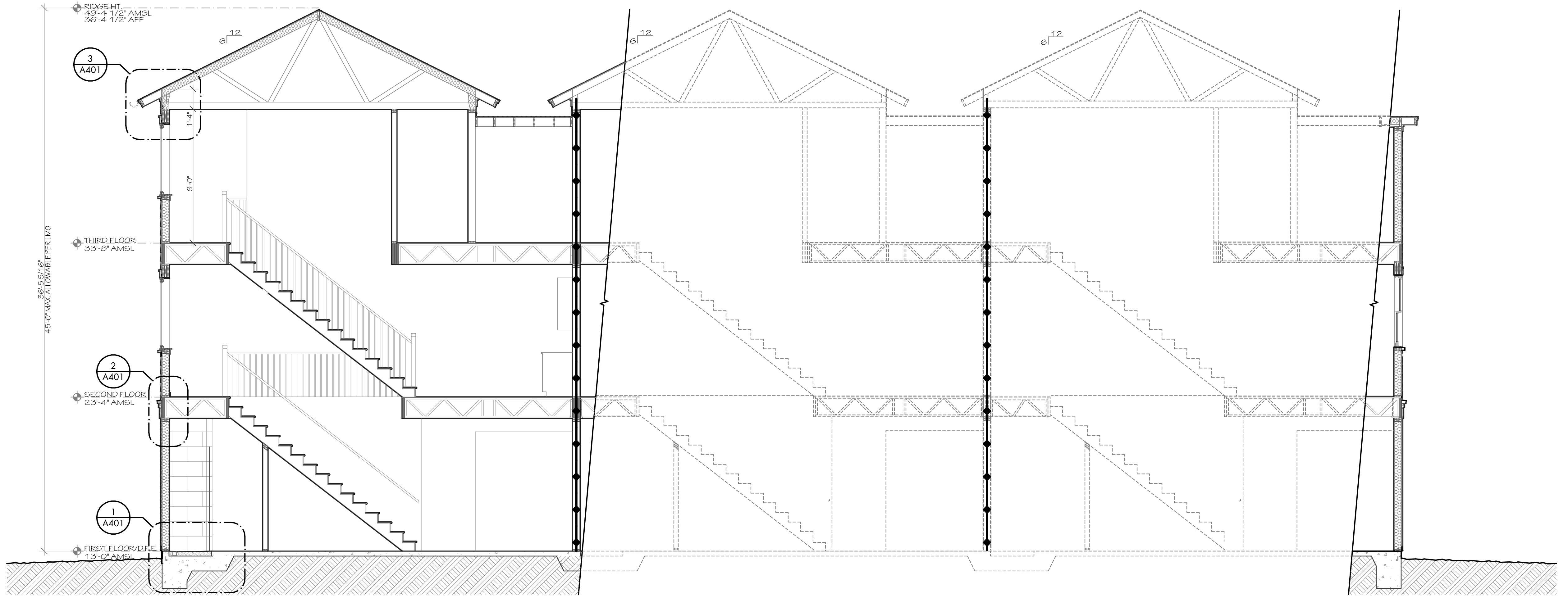


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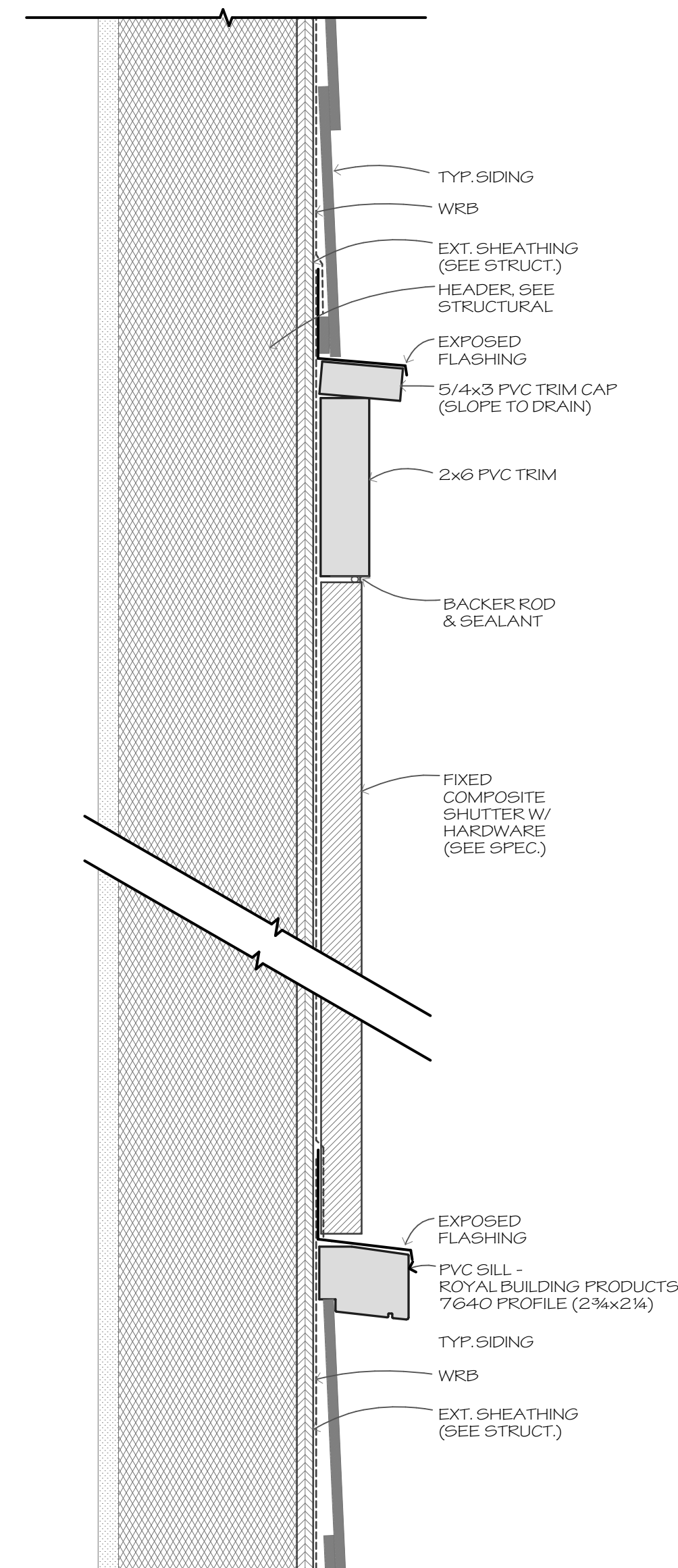
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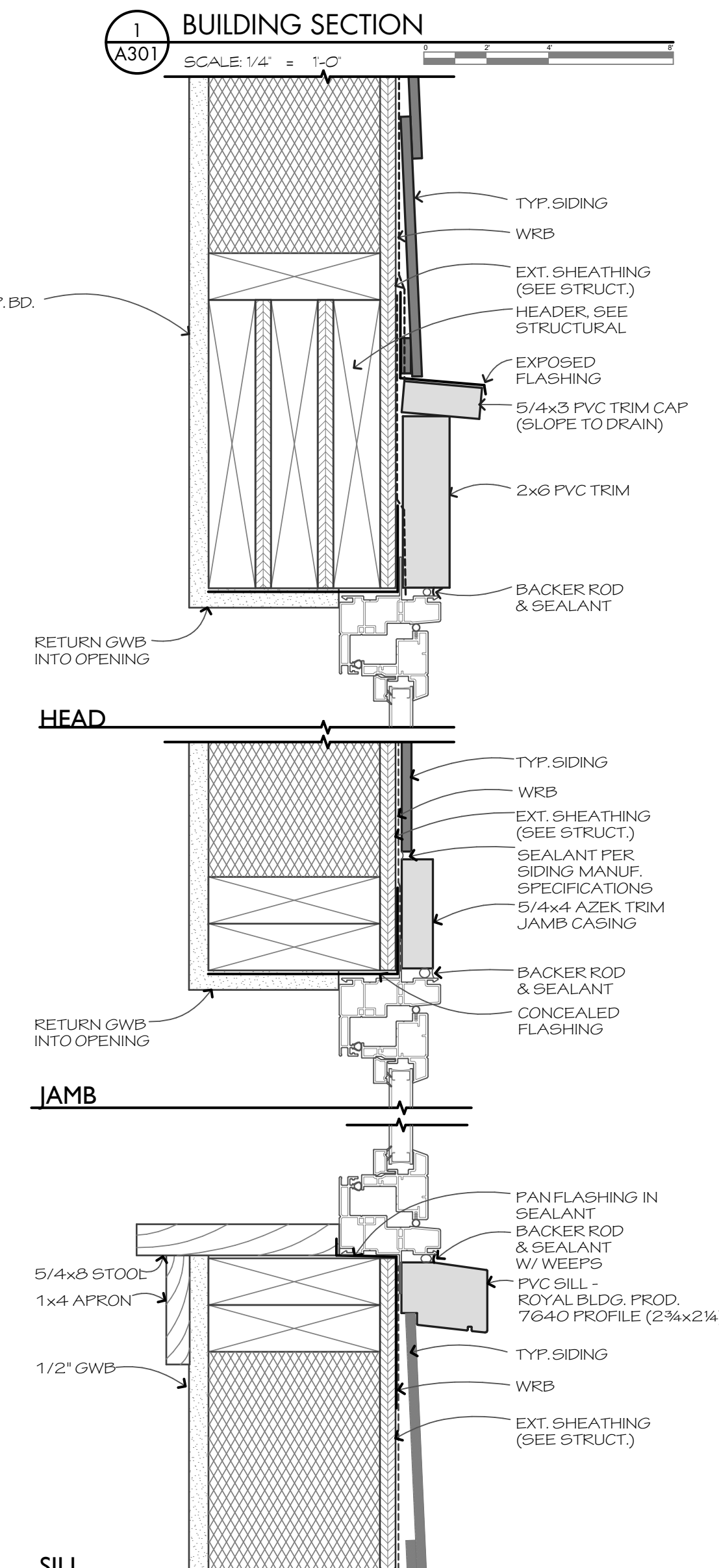
ELEVATIONS
A202



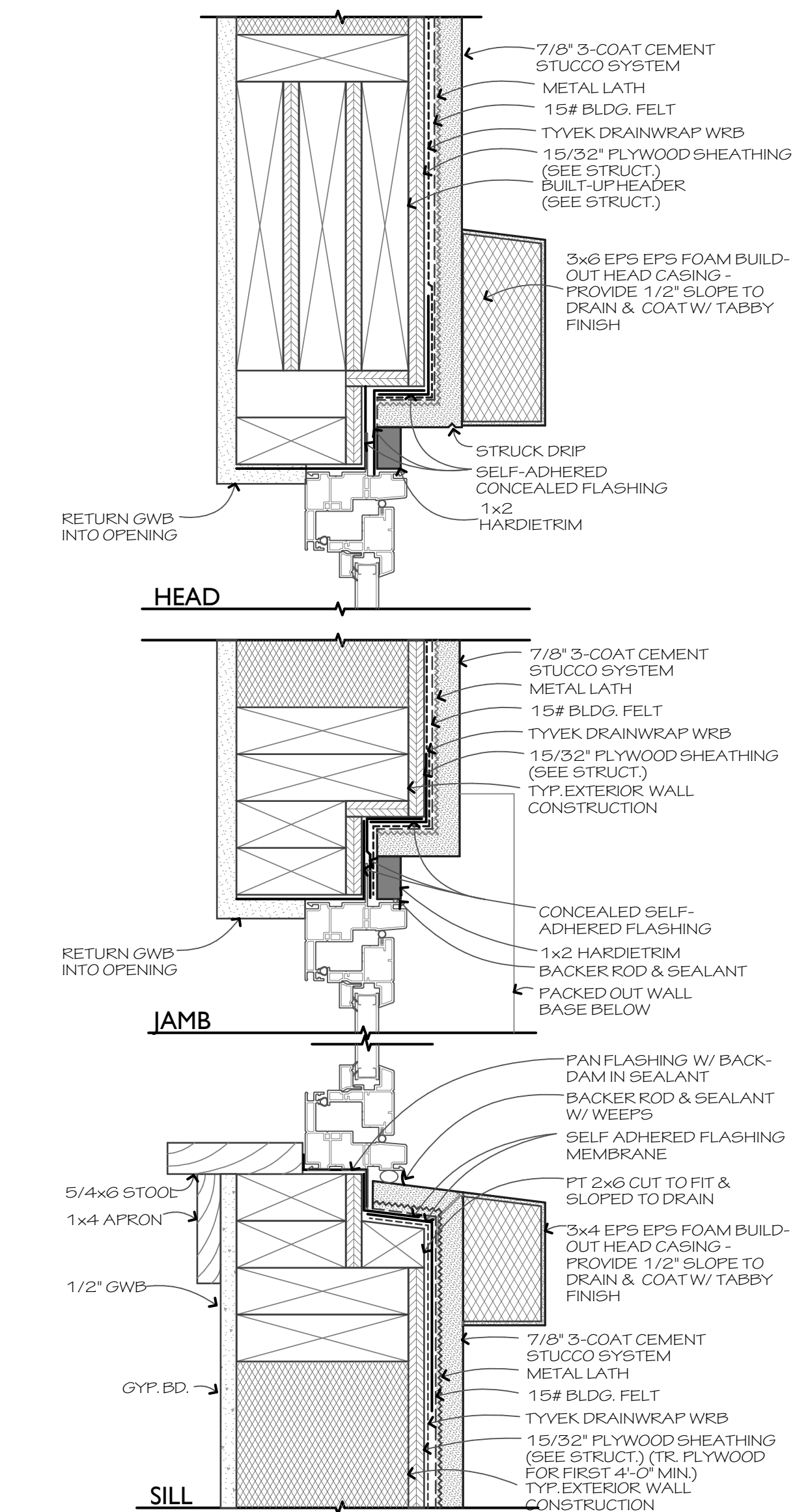
6 FAUX GABLE VENT
A301 SCALE: 3" = 1'-0"



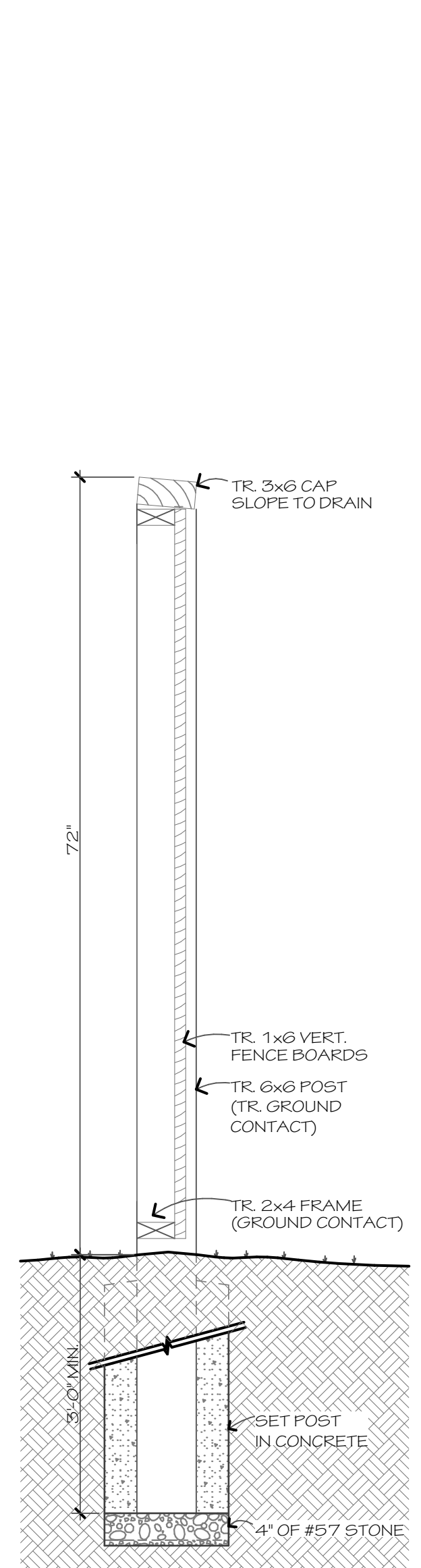
5 FIXED SHUTTER
A301 SCALE: 3" = 1'-0"



4 WINDOW @ LAP SIDING
A301 SCALE: 3" = 1'-0"



3 WINDOW @ STUCCO
A301 SCALE: 3" = 1'-0"



2 ENCLOSURE FENCE
A301 SCALE: 1" = 1'-0"

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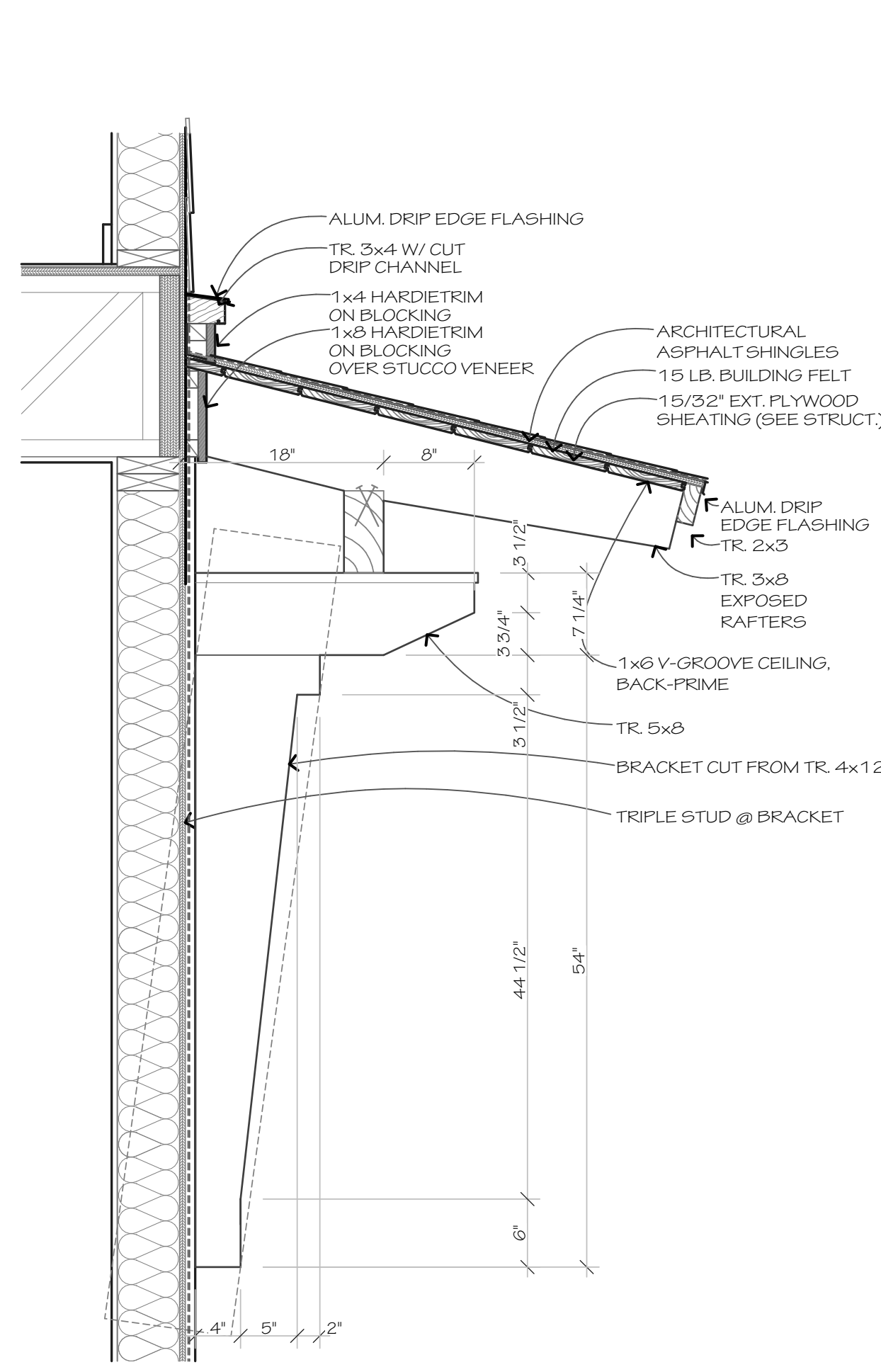
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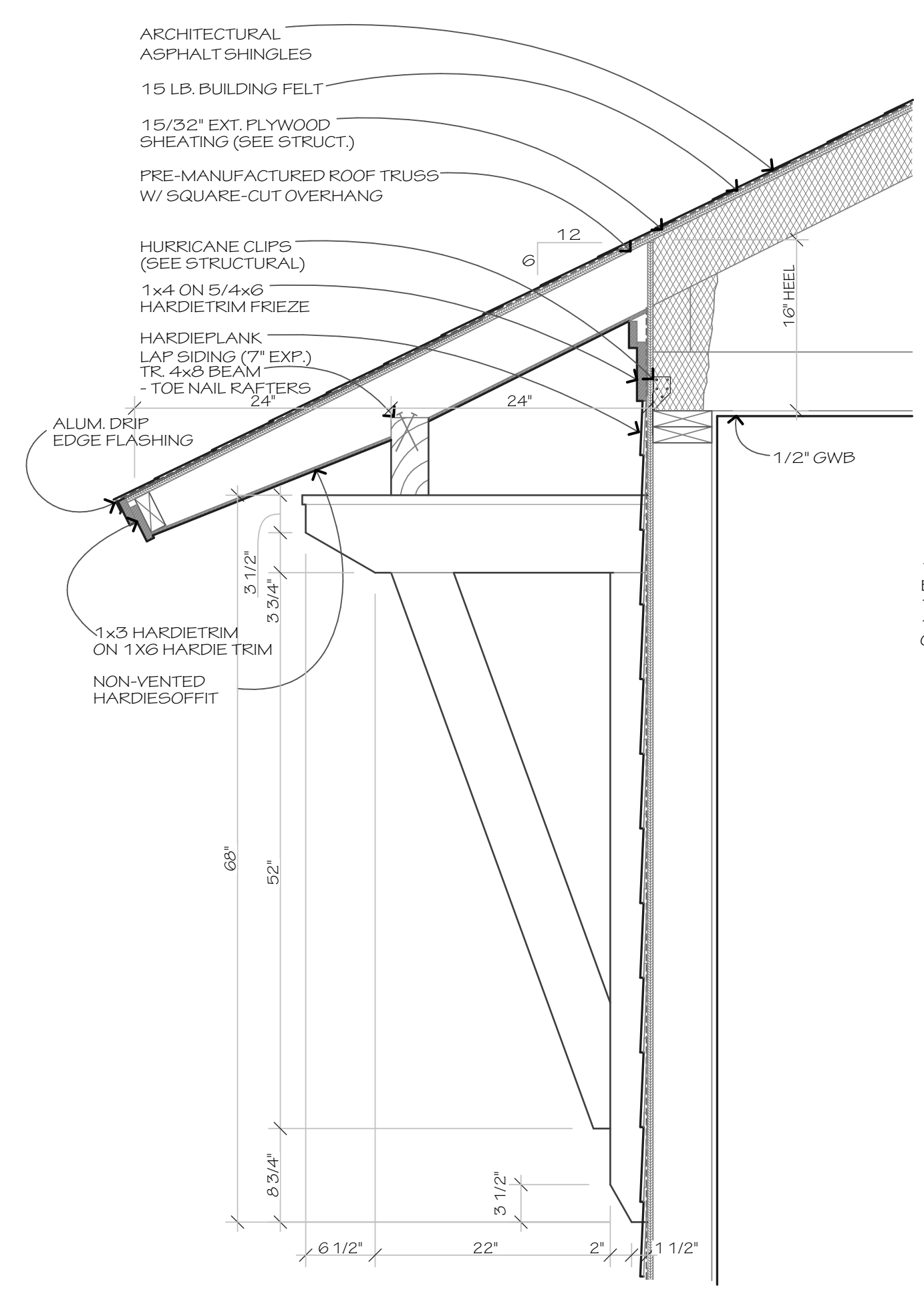
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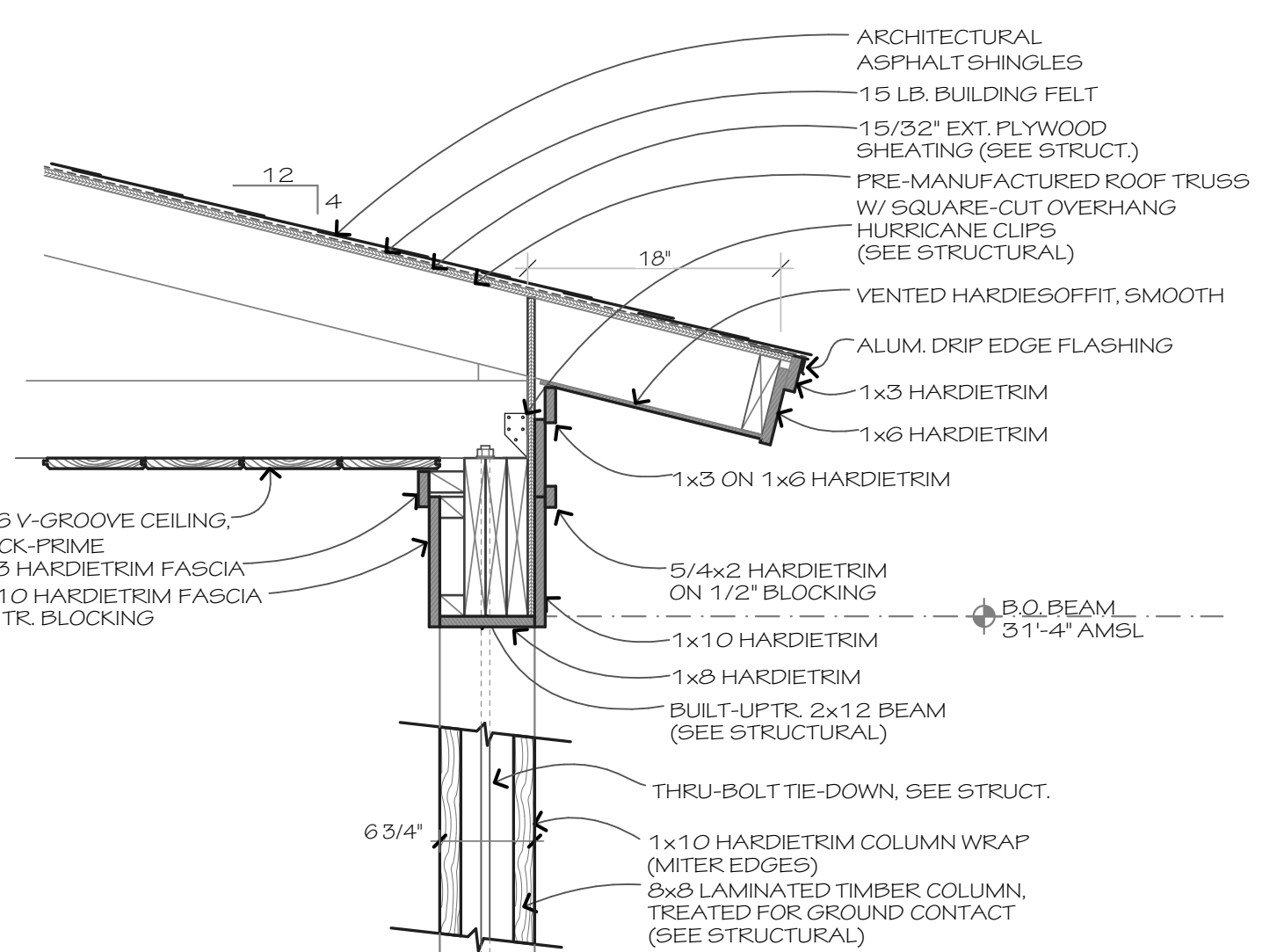
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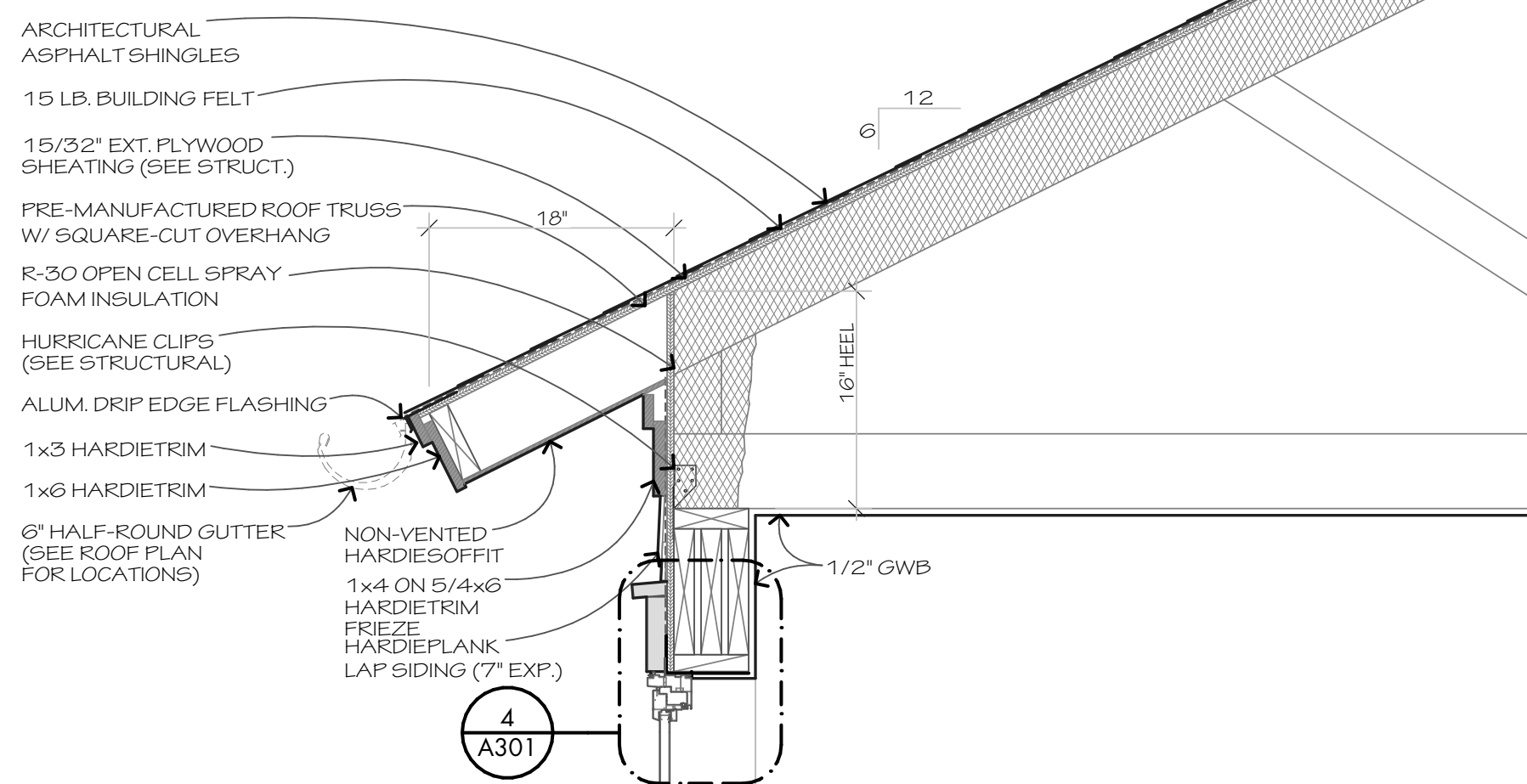
9 ENTRY BRACKET ROOF
SCALE: 1" = 1'-0"



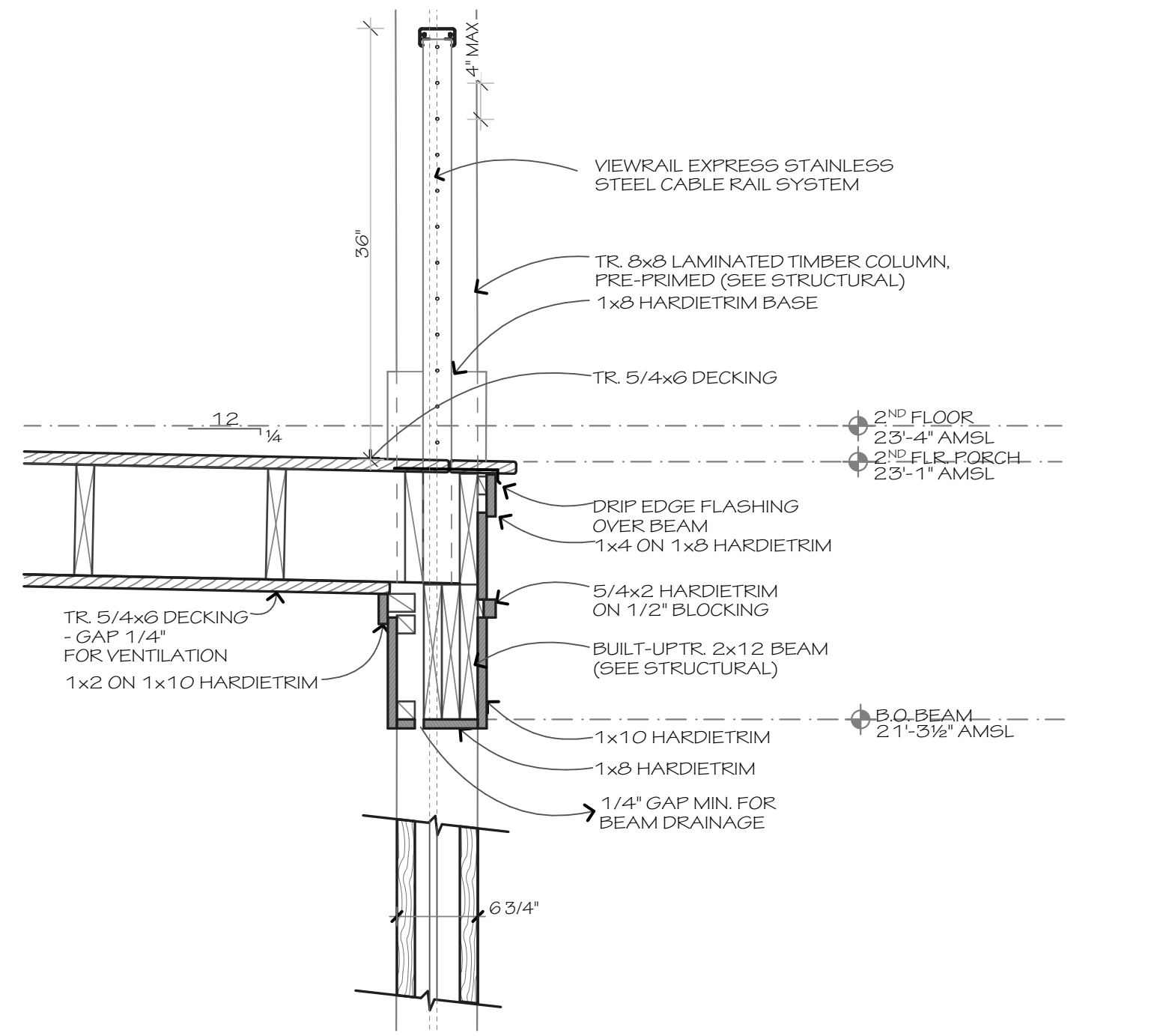
8 UPPER BRACKETED ROOF
SCALE: 1" = 1'-0"



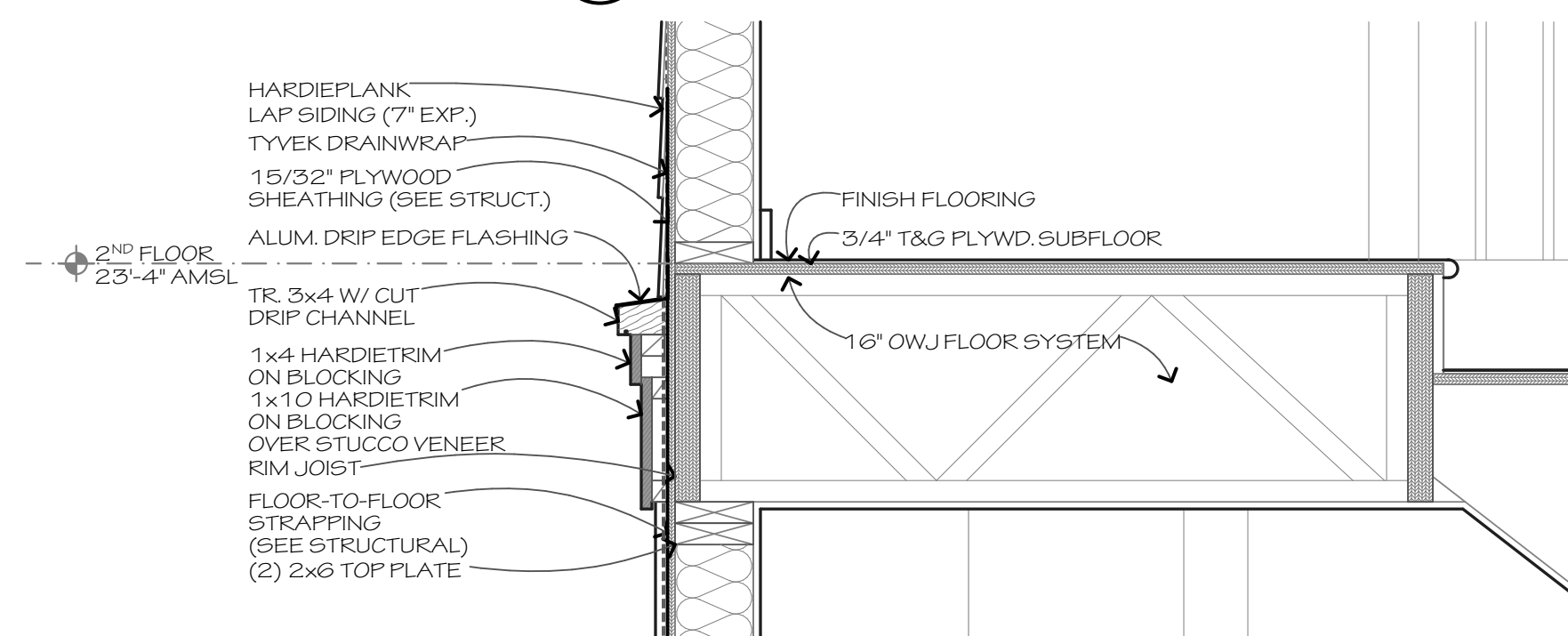
6 PORCH EAVE
SCALE: 1" = 1'-0"



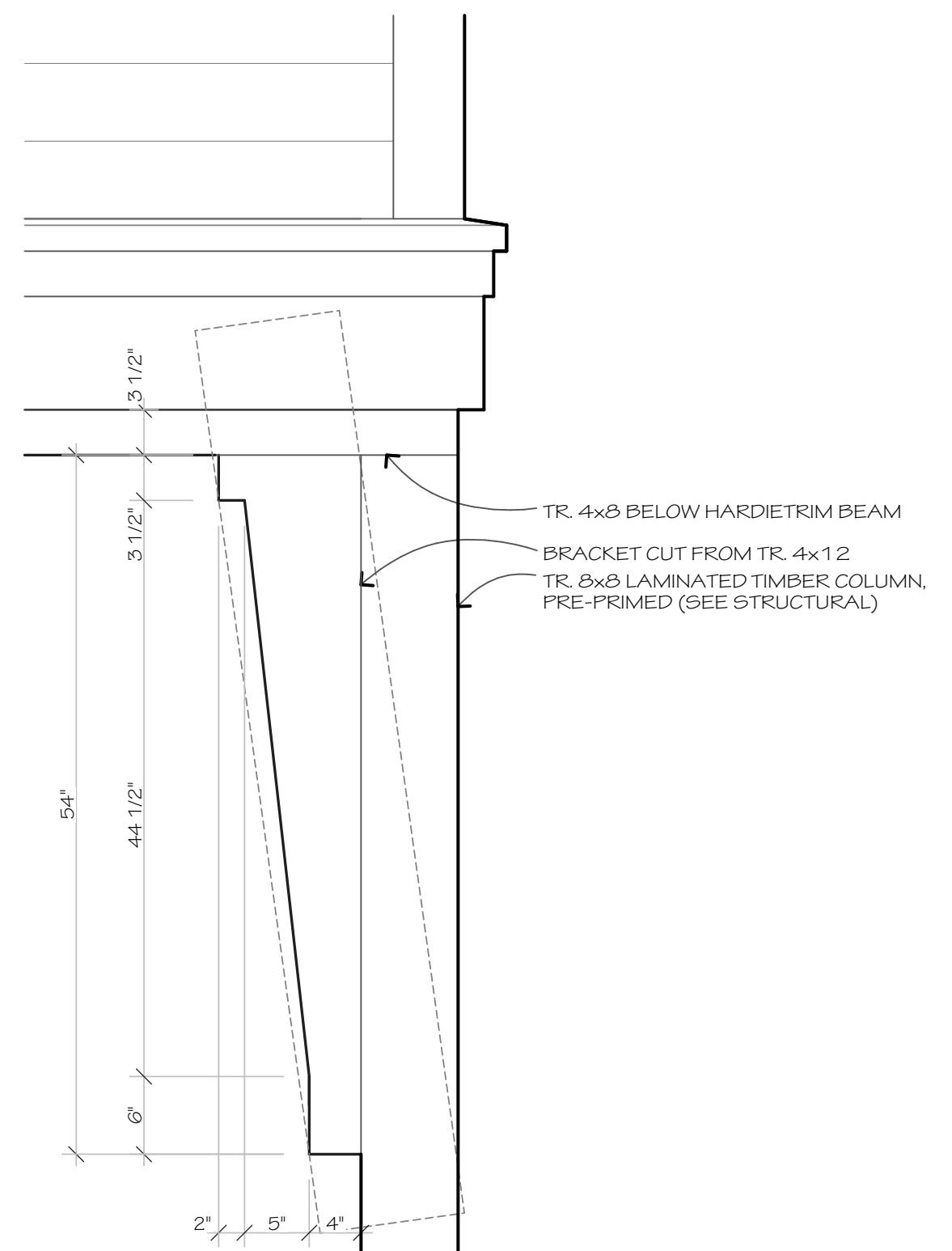
3 TYPICAL EAVE
SCALE: 1" = 1'-0"



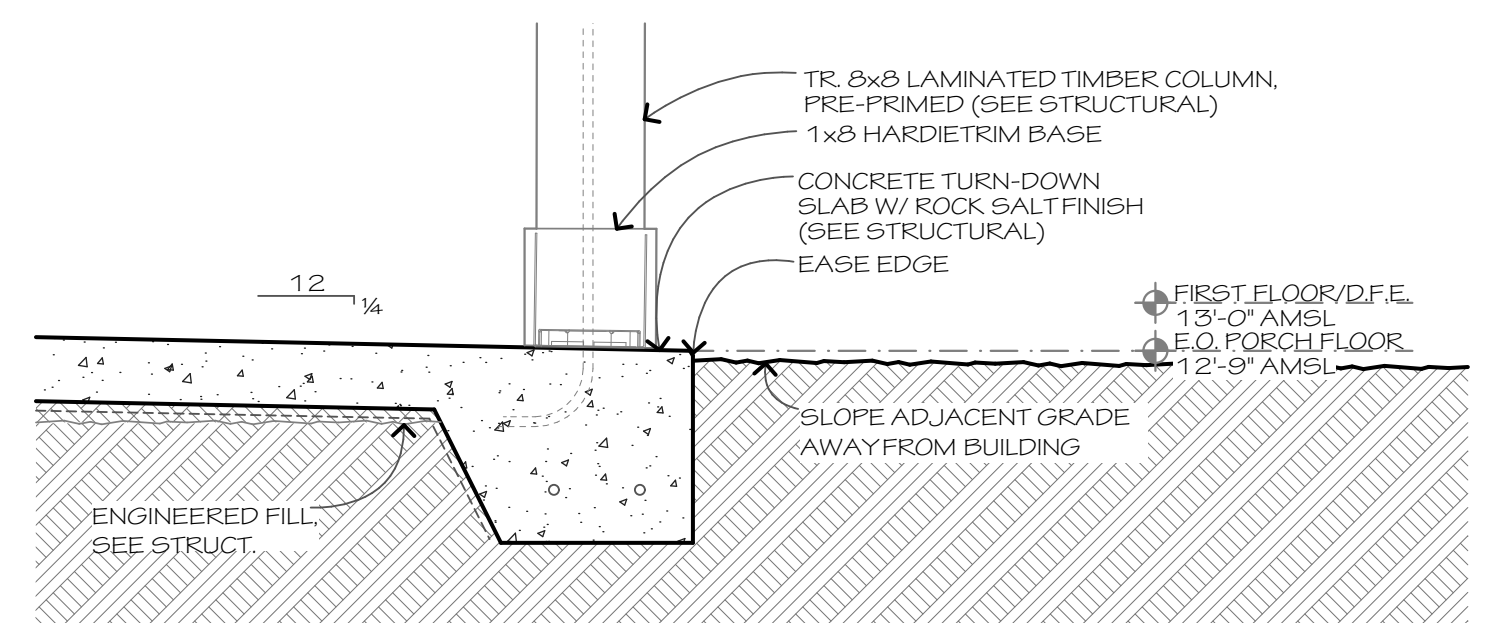
5 PORCH FLOOR
SCALE: 1" = 1'-0"



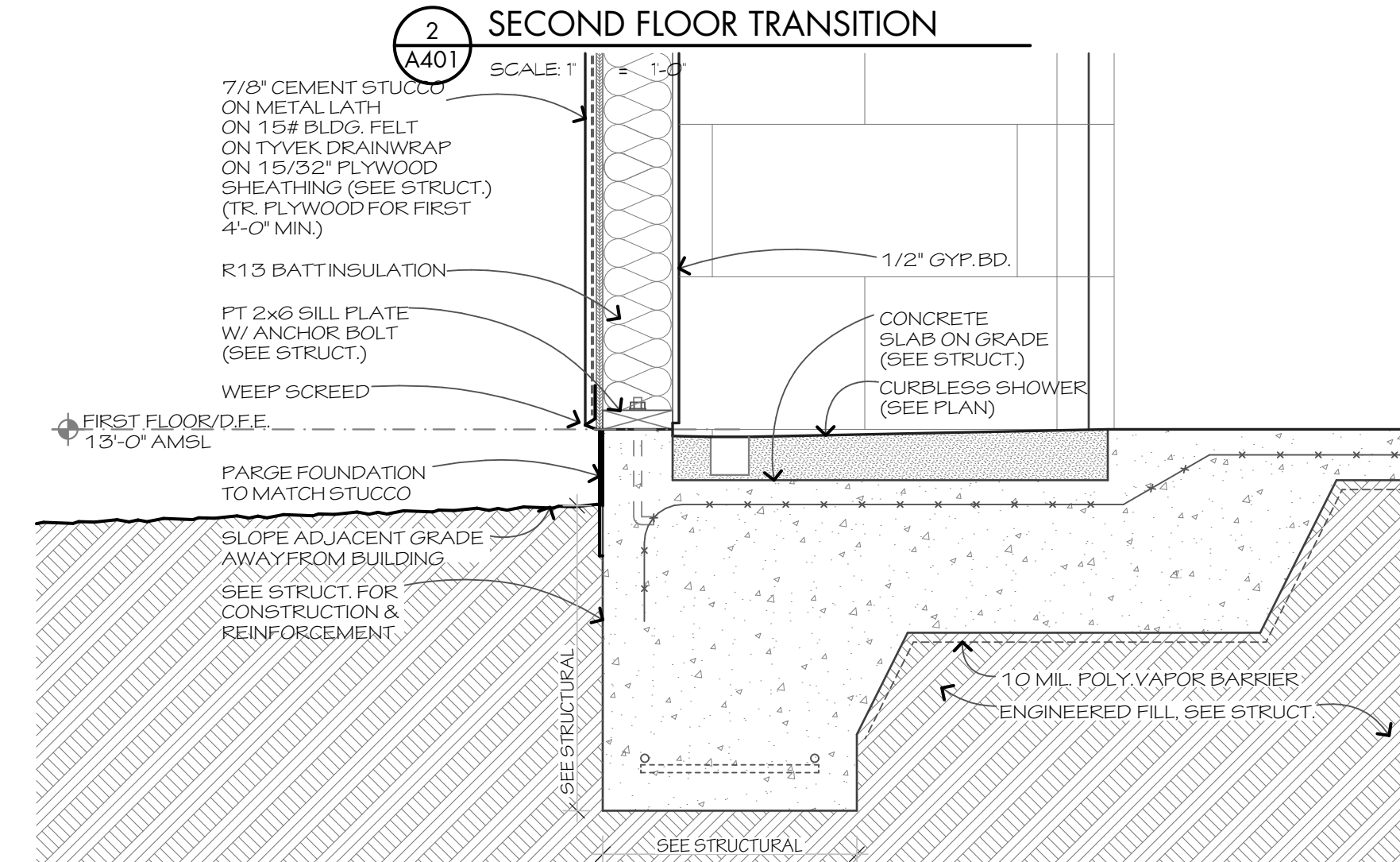
2 SECOND FLOOR TRANSITION
SCALE: 1" = 1'-0"



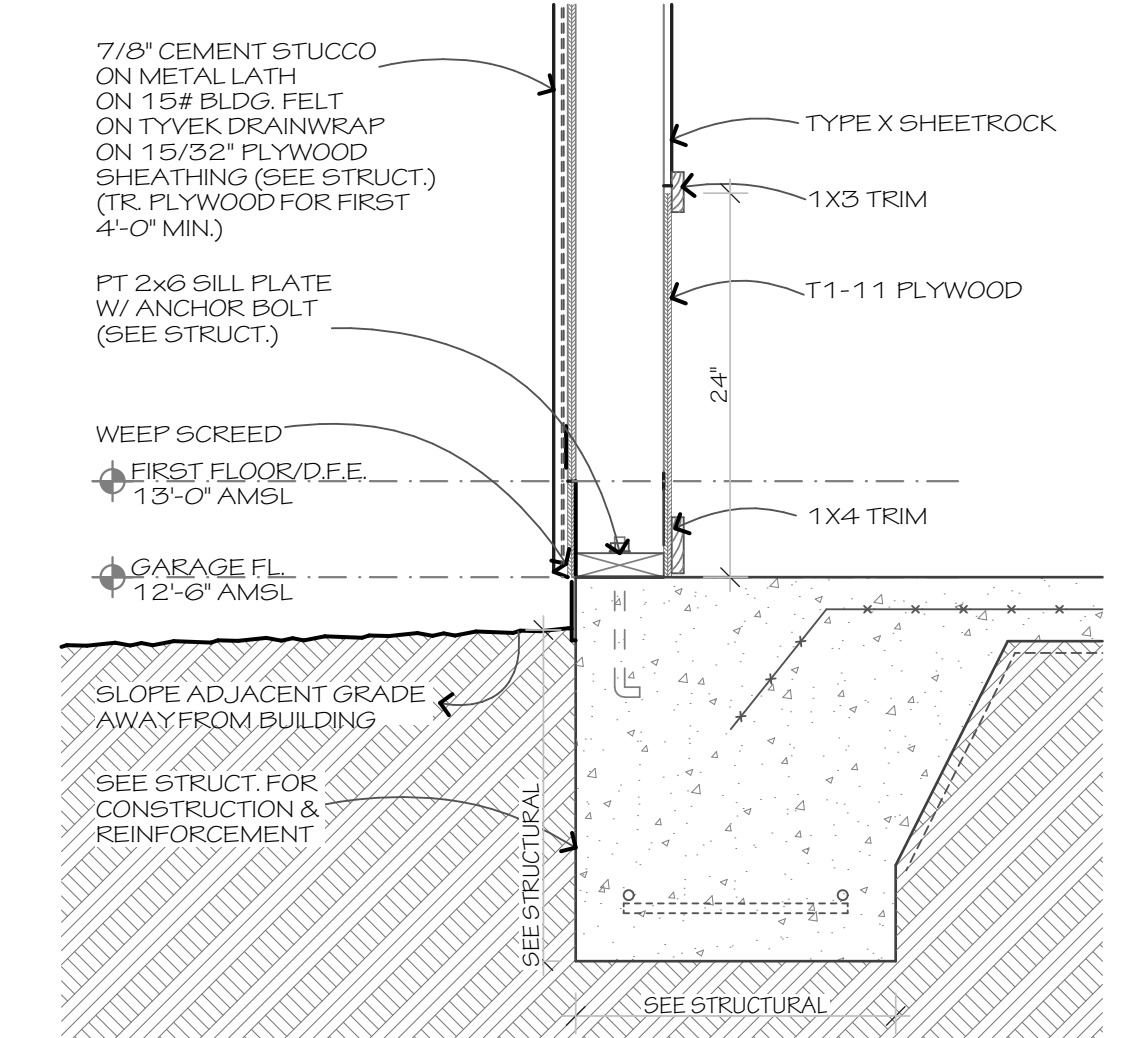
7 COLUMN BRACKET
SCALE: 1" = 1'-0"



4 PORCH FOUNDATION
SCALE: 1" = 1'-0"



1 TYPICAL FOUNDATION
SCALE: 1" = 1'-0"



10 GARAGE SLAB DETAIL
SCALE: 1" = 1'-0"

SHINGLE ROOF

WEATHERED WOOD
GAF TIMBERLINE HDZ



TRIM

SW 6202 CAST IRON
SHERWIN WILLIAMS



WINDOWS

BRONZE
SIERRA PACIFIC



LAP SIDING

SW 9131 CORNWALL SLATE
SHERWIN WILLIAMS



SW 9131
Cornwall Slate

SHUTTERS

SW 7048 URBANE BRONZE
SHERWIN WILLIAMS



STUCCO VENEER

PWETER 10403
PAREX



Proposed Exterior Materials & Colors

CHAPLIN TOWNHOMES

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6/8/2022



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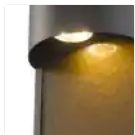
Internet #304242210 Model #44227 Store SKU #1002957842

141

Globe Electric

Sutherland 1-Light Bronze Outdoor Integrated LED Wall Lantern Sconce

★★★★★ (12) Questions & Answers (3)



Hover Image to Zoom

\$34⁷¹

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Ship to Store



Ship to Home



Scheduled Delivery

Live Chat

Feedback

FIXTURE TYPE "A"

Details

Actual Color Temperature (K)	2700
Color Rendering Index (CRI)	80
Color Temperature	Warm White
Compatible Bulb Type	Incandescent,LED
Exterior Lighting Product Type	Outdoor Sconces
Fixture Color/Finish	Bronze
Fixture Material	Metal
Glass/Lens Type	Water Glass
Included	Hardware Included
Light Bulb Type Included	Integrated LED
Light Direction	Down
Lumens	720
Number of Lights	1 Light
Outdoor Lighting Features	Water Resistant
Package Quantity	1
Power Type	Hardwired
Product Size	Medium
Product Weight (lb.)	3.9 lb
Returnable	90-Day
Sconce Type	Wall Lantern
Voltage Type	Line Voltage
Watt Equivalence	8.5

Warranty / Certifications

Certifications and Listings	No Certifications or Listings
Manufacturer Warranty	No Warranty

[How can we improve our product information? Provide feedback.](#)

Product Overview

Bring a subtle sophistication to your outside space with Globe Electric's Sutherland Integrated LED Outdoor Wall Sconce. The integrated LED will last for 50,000-hour, when used for 3-hour a day and will save you money and work. No need to replace your fixtures for years to come. The 2700K temperature provides a

Additional Resources

From the Manufacturer

You will need Adobe® Acrobat® Reader to view PDF documents. [Download](#) a free copy from the Adobe Web

 Live Chat

 Feedback

FIXTURE TYPE "A"



You're shopping
Hilton Head
● OPEN until 10 pm

Delivering to
29910

Search



Cart | 0 items

Home Decor Furniture Wall Decor Small Kitchen Appliances Kitchenware & Tableware Bedding & Bath **Lighting** Window Treatments Shop By Room

Home / Lighting / Outdoor Lighting / Outdoor Ceiling Lights / Outdoor Flush Mount Lights

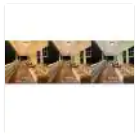
Internet #303469832 Model #54471201 Store SKU #1002857333 Store SO SKU #1002716743

1.4k

Hampton Bay

11 in. 1-Light Round Black LED Indoor Outdoor Flush Mount
Porch Ceiling Light 830 Lumens 3 Color Temp Changes Wet Rated

★★★★★ (269) Questions & Answers (22)



830 Lumens
12.5 Watt
120-277V



Weather Resistant

WARM WHITE (2700K)
SOFT WHITE (3000K)
BRIGHT WHITE (4000K)



Hover Image to Zoom

\$54⁹⁷

Hilton Head Store

✓ 5 in stock Aisle 30, Bay 015 [Text to Me](#)

Feedback

FIXTURE TYPE "B"

Product Depth (in.)	10.4 in
Product Height (in.)	3.7 in
Product Width (in.)	10.4 in

Details

Actual Color Temperature (K)	3000
Color Rendering Index (CRI)	80
Color Temperature	Soft White
Compatible Bulb Type	Integrated LED
Exterior Lighting Product Type	Flush Mounted
Fixture Color/Finish	Black
Fixture Material	Aluminum
Glass/Lens Type	Frosted
Included	Hardware Included
Light Bulb Type Included	Integrated LED
Lumens	830
Mount Type	Flushmount
Number of Lights	1 Light
Outdoor Lighting Features	Color Changing, Weather Resistant
Power Type	Hardwired
Product Size	Medium
Product Weight (lb.)	1.76 lb
Returnable	90-Day
Style	Transitional
Voltage Type	Line Voltage
Watt Equivalence	60

Warranty / Certifications

Manufacturer Warranty	5 years
-----------------------	---------

How can we improve our product information? [Provide feedback.](#)

Product Overview

HAMPTON BAY®

 Feedback

FIXTURE TYPE "B"



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29910 ▾

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Cart | 0 items

Home Decor Furniture Wall Decor Small Kitchen Appliances Kitchenware & Tableware Bedding & Bath **Lighting** Window Treatments Shop By Room

Home / Lighting / Ceiling Fans / Ceiling Fans With Lights

Internet #307638781 Model #59214 Store SKU #1003939583

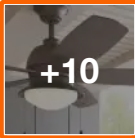
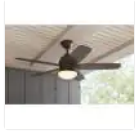
Top Rated

2.2k

Home Decorators Collection

Ackerly 52 in. Integrated LED Indoor/Outdoor Bronze Ceiling Fan with Light Kit

★★★★★ (708) ▾ Questions & Answers (254)



Hover Image to Zoom

\$138⁰⁰

Buy a Ceiling Fan and get 5% off an accessory to complete your project



Save up to \$100 on your qualifying purchase.
Apply for a Home Depot Consumer Card

Live Chat

Feedback

FIXTURE TYPE "C"



5%

Buy One,



Control Type Included

Ceiling Fan Only

[See Similar Items](#)

Mounting Type

Angled Mount

Downrod Mount

Dimensions

Assembled Depth (in.)	52 in
Assembled Height (in.)	18.2 in
Assembled Width (in.)	52 in
Ceiling Fan Width (in.)	52
Downrod Length (in.)	6
Fan Blade Length (In.)	23.62
Fan Blade Span (in.)	52
Fan Blade Width (In.)	6.14

Details

Airflow (CFM)	4638
Blade Color	Weathered wood;Espresso
Blade Color Family	Dark Brown,Medium Brown
Ceiling Fan Size	Medium
Ceiling Fan Type	Basic
Color Family	Bronze
Color Temperature	Soft White
Commercial/Residential	Residential
Compatible Bulb Type	Integrated LED
Control Type	Ceiling Fan Only
Damp/Wet Rating	Damp Rated
Fan Blade Material	Plywood
Features	AC Motor,Easy Install,Reversible Blades,Reversible Motor
Fixture Color Family	Bronze
Fixture Color/Finish	Bronze
Included	Angle Mount Hardware,Downrod Included,Hardware

 Live Chat

 Feedback

FIXTURE TYPE "C"

	Included,Light Kit Included,Mounting Hardware Included
Indoor/Outdoor	Indoor,Outdoor
Light Bulb Type Included	Integrated LED
Light Type	Integrated
Motor Speed (RPM)	155
Mounting Type	Angled Mount,Downrod Mount
Number of Blades	5 Blades
Number of Lights	1 Light
Number of Speeds	3
Product Weight (lb.)	18.74
Recommended Room Size	Large Room
Returnable	90-Day
Style	Classic
Watt Equivalence	120

Warranty / Certifications

Certifications and Listings	EPA Approved,EPA Approved
Manufacturer Warranty	Limited Lifetime Warranty

How can we improve our product information? Provide feedback.

 Live Chat

 Feedback

FIXTURE TYPE "C"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Chaplin Townhomes – 592 WHP

DRB#: DRB-001797-2023

DATE: 9/12/2023

CATEGORY: Concept **Final** Alteration/Addition

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Followed up with applicant on future use of development and considerations for pedestrian circulation on-site.
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Specimen trees were granted approval from the ADPR submittal.</i>
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

MISC COMMENTS/QUESTIONS

The project received Conceptual approval on June 28th, 2022 with the following conditions:

1. Provide a survey with the final submission.(COMPLETE)
2. Verify actual tree canopy driplines.
3. The left façade shall have equal detailing to the other building facades.
4. Study and adjust the pedestrian circulation.

Project was submitted originally in 2023 as a Major DPR, and was later changed in review to a Small Residential Review (ADPR). This change in review caused some changes to the overall requirements for the site (particularly in regards to planting requirements).



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: JASON BROENE Company: COURT ATKINS GROUP
 Mailing Address: P.O. BOX 3978 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-815-2557 Fax: _____ E-mail: jason.broene@courtatkins.com
 Project Name: STMP-BUILDING F ADDITION Project Address: 430 WILLIAM HILTON PARKWAY
 Parcel Number [PIN]: R 511 008 000 098 E 0000
 Zoning District: COMMUNITY COMMERCIAL Overlay District(s): CORRIDOR + AIRPORT

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

08/20/23

DATE



COURT ATKINS
GROUP

August 29, 2023

Town of Hilton Head Island
Attn: Ms. Alexis Cook, Principal Planner
1 Town Center Court
Hilton Head Island, SC 29928

RE: Major Corridor Review Submittal – Sea Turtle Marketplace Building F Addition

Ms. Cook,

I am writing this letter on behalf of Court Atkins Architects and Greenburg Gibbons as a request to be placed on the September 12, 2023, DRB meeting agenda to review the proposed addition to Building F at Sea Turtle Marketplace. The enclosed application includes:

- Corridor Review Application Form
- Review Board Submittal Fee (to be paid by credit card via phone)
- Project Narrative
- Existing Site Photos
- Landscape / Site Drawing
- Architectural Drawings and Details
- As-Built Survey

If you need any additional information or have any questions, please let me know.

Sincerely,

Jason Broene
Principal, Studio Manager
Court Atkins Group

PERMIT DRAWINGS - NOT FOR CONSTRUCTION
**LANDSCAPE DEVELOPMENT
 PLANS**
 FOR

**SEA TURTLE MARKETPLACE
 Building F Alterations**

Hilton Head Island, South Carolina
 Permit Set - August 25, 2023

PROJECT TEAM:



WOOD+PARTNERS
 LANDSCAPE ARCHITECTURE
 LAND PLANNING

LANDSCAPE ARCHITECT

Wood + Partners Inc.
 7 Lafayette Place
 Hilton Head Island, SC 29925
 843-681-6618
 Contact: Eric Walsnovich



**COURT ATKINS
 GROUP**

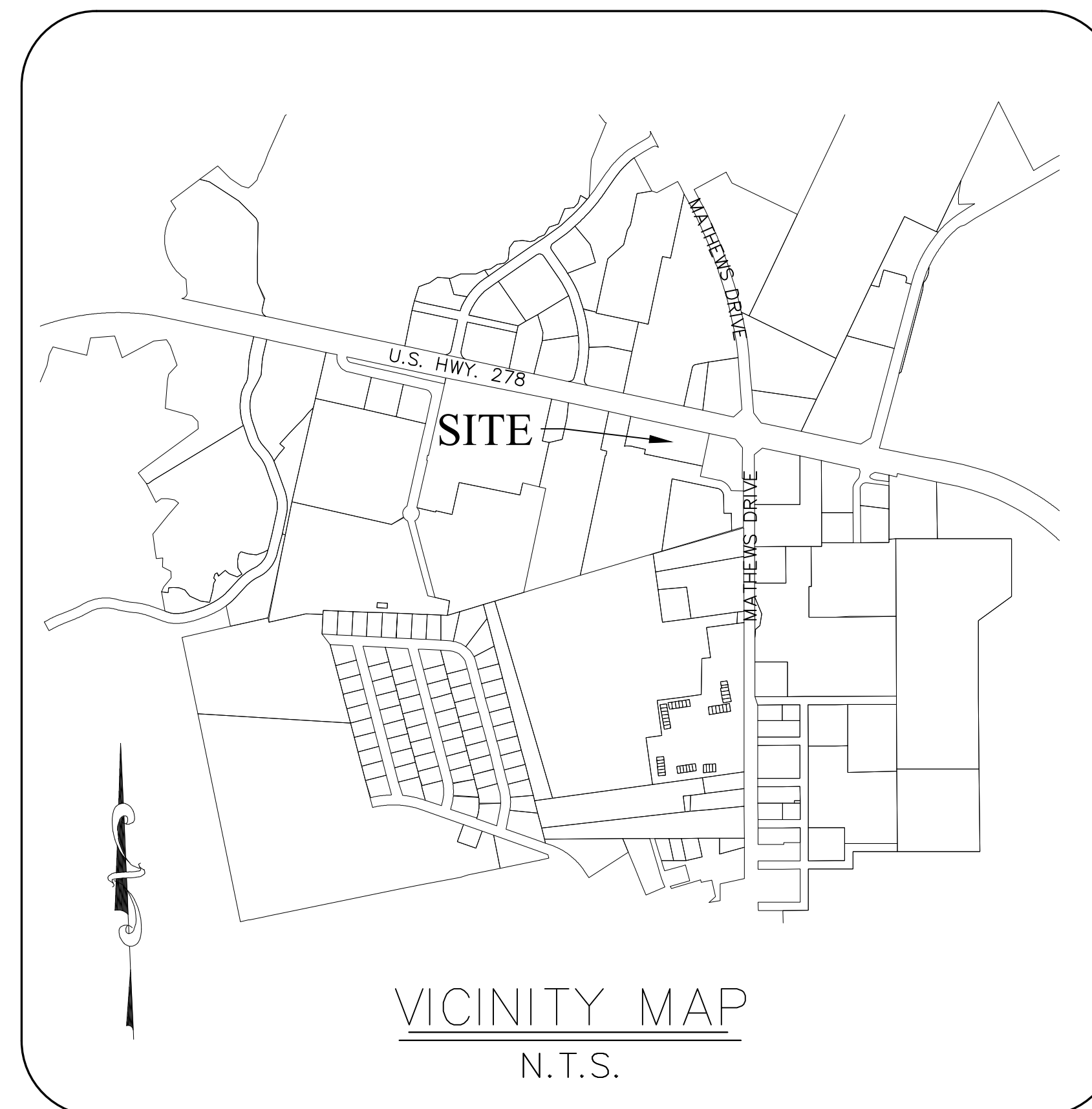
ARCHITECT

Court Atkins Group
 32 Bruin Road
 Bluffton, SC 29910
 843-815-2557
 Contact: Jason Broene

INDEX TO DRAWINGS:

LANDSCAPE ARCHITECTURE

SHEET	TITLE
CVR	COVER SHEET
L-100	EXISTING CONDITIONS
L-200	DEMOLITION, EC & TREE PROTECTION PLAN
L-300	SITE KEY PLAN
L-400	PLANTING PLAN
L-401	PLANT SCHEDULE, NOTES & DETAILS
L-500	DETAILS

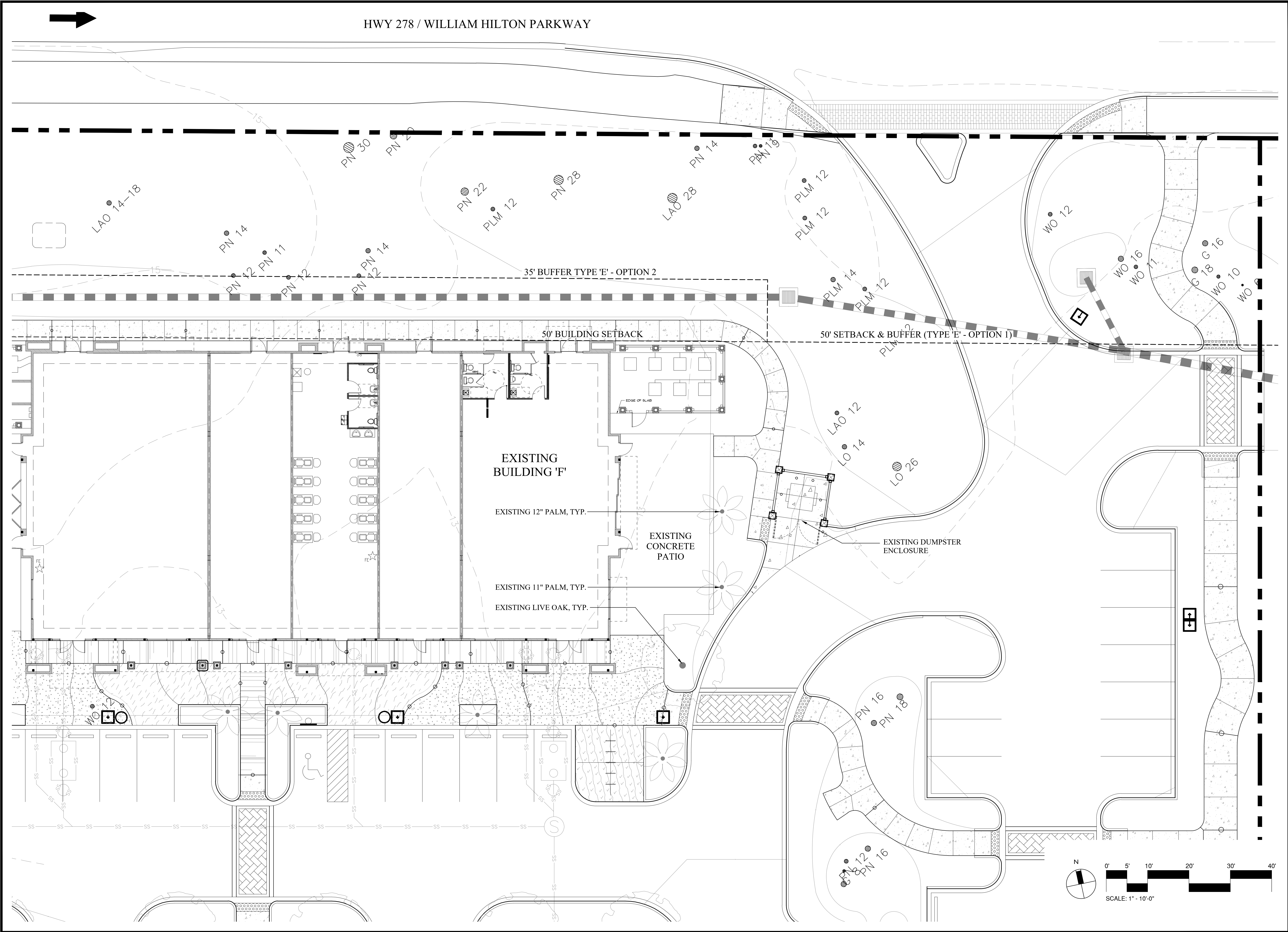


#:	REVISION:	DATE:

PROJECT / PROPERTY INFORMATION:
 PROJECT NAME: SEA TURTLE MARKETPLACE BUILDING F ALTERATIONS
 ZONING DISTRICT: COMMUNITY COMMERCIAL
 OVERLAY DISTRICT: CORRIDOR
 PARCEL NUMBER: R511 008 000 0676 0000
 ADDRESS: 430 WILLIAM HILTON PARKWAY
NO NET CHANGE IN IMPERVIOUS COVER
 LIMITS OF DISTURBANCE: ± 4,220 S.F. / ± 0.096 AC.

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HWY 278 / WILLIAM HILTON PARKWAY

**SEA TURTLE MARKETPLACE
 BUILDING F ALTERATIONS**
 430 William Hilton Parkway
 Hilton Head Island, SC 29926

PROFESSIONAL SEAL:

DRAWN BY:
 DM
 CHECKED BY:
 EW / DM

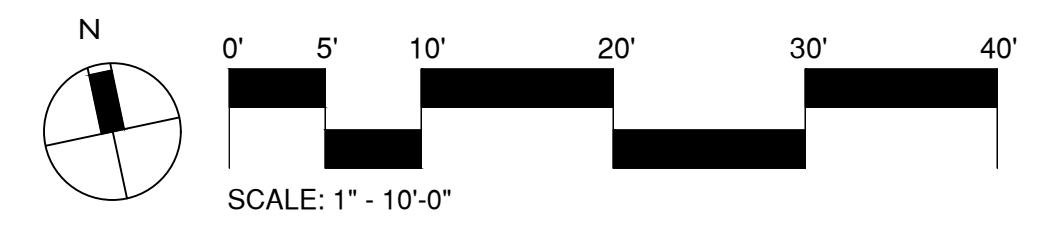
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#	REVISION	DATE	BY

DATE
 08-25-2023
 PROJECT NUMBER
 01-23034
 SHEET TITLE

**Existing
 Conditions**

SHEET
 NUMBER
L-100

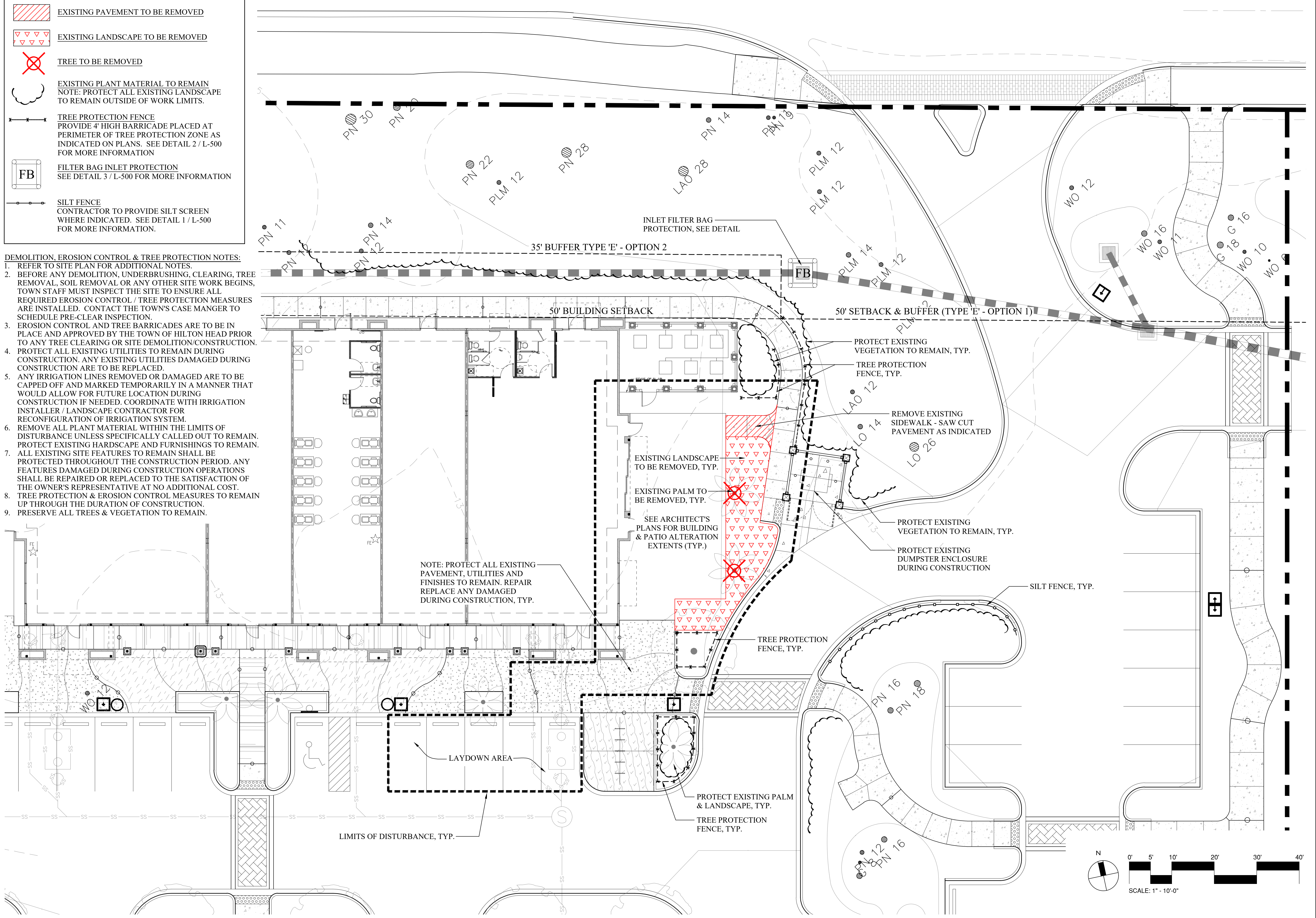


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SYMBOL	DESCRIPTION
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING LANDSCAPE TO BE REMOVED
	TREE TO BE REMOVED
	EXISTING PLANT MATERIAL TO REMAIN NOTE: PROTECT ALL EXISTING LANDSCAPE TO REMAIN OUTSIDE OF WORK LIMITS.
	TREE PROTECTION FENCE PROVIDE 4' HIGH BARRICADE PLACED AT PERIMETER OF TREE PROTECTION ZONE AS INDICATED ON PLANS. SEE DETAIL 2 / L-500 FOR MORE INFORMATION
	FILTER BAG INLET PROTECTION SEE DETAIL 3 / L-500 FOR MORE INFORMATION
	SILT FENCE CONTRACTOR TO PROVIDE SILT SCREEN WHERE INDICATED. SEE DETAIL 1 / L-500 FOR MORE INFORMATION.

- DEMOLITION, EROSION CONTROL & TREE PROTECTION NOTES:**
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
 - BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ALL REQUIRED EROSION CONTROL / TREE PROTECTION MEASURES ARE INSTALLED. CONTACT THE TOWN'S CASE MANGER TO SCHEDULE PRE-CLEAR INSPECTION.
 - EROSION CONTROL AND TREE BARRICADES ARE TO BE IN PLACE AND APPROVED BY THE TOWN OF HILTON HEAD PRIOR TO ANY TREE CLEARING OR SITE DEMOLITION/CONSTRUCTION.
 - PROTECT ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION ARE TO BE REPLACED.
 - ANY IRRIGATION LINES REMOVED OR DAMAGED ARE TO BE CAPPED OFF AND MARKED TEMPORARILY IN A MANNER THAT WOULD ALLOW FOR FUTURE LOCATION DURING CONSTRUCTION IF NEEDED. COORDINATE WITH IRRIGATION INSTALLER / LANDSCAPE CONTRACTOR FOR RECONFIGURATION OF IRRIGATION SYSTEM.
 - REMOVE ALL PLANT MATERIAL WITHIN THE LIMITS OF DISTURBANCE UNLESS SPECIFICALLY CALLED OUT TO REMAIN. PROTECT EXISTING HARDSCAPE AND FURNISHINGS TO REMAIN.
 - ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
 - TREE PROTECTION & EROSION CONTROL MEASURES TO REMAIN UP THROUGH THE DURATION OF CONSTRUCTION.
 - PRESERVE ALL TREES & VEGETATION TO REMAIN.

HWY 278 / WILLIAM HILTON PARKWAY



**SEA TURTLE MARKETPLACE
 BUILDING ALTERATIONS**
 430 William Hilton Parkway
 Hilton Head Island, SC 29926

PROFESSIONAL SEAL:

DRAWN BY:
DM

CHECKED BY:
EW / DM

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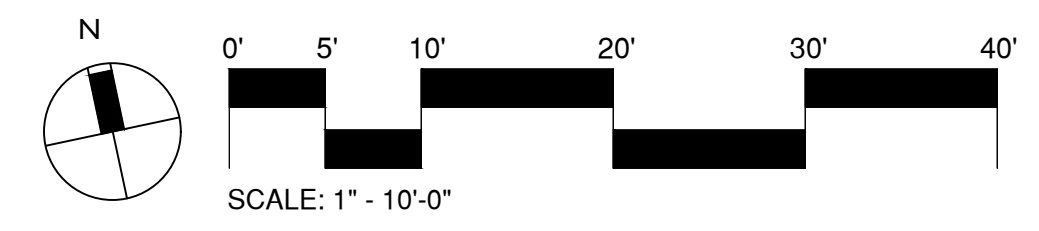
#	REVISION	DATE	BY

DATE
08-25-2023

PROJECT NUMBER
01-23034

SHEET TITLE
Demo, EC & Tree Protection Plan

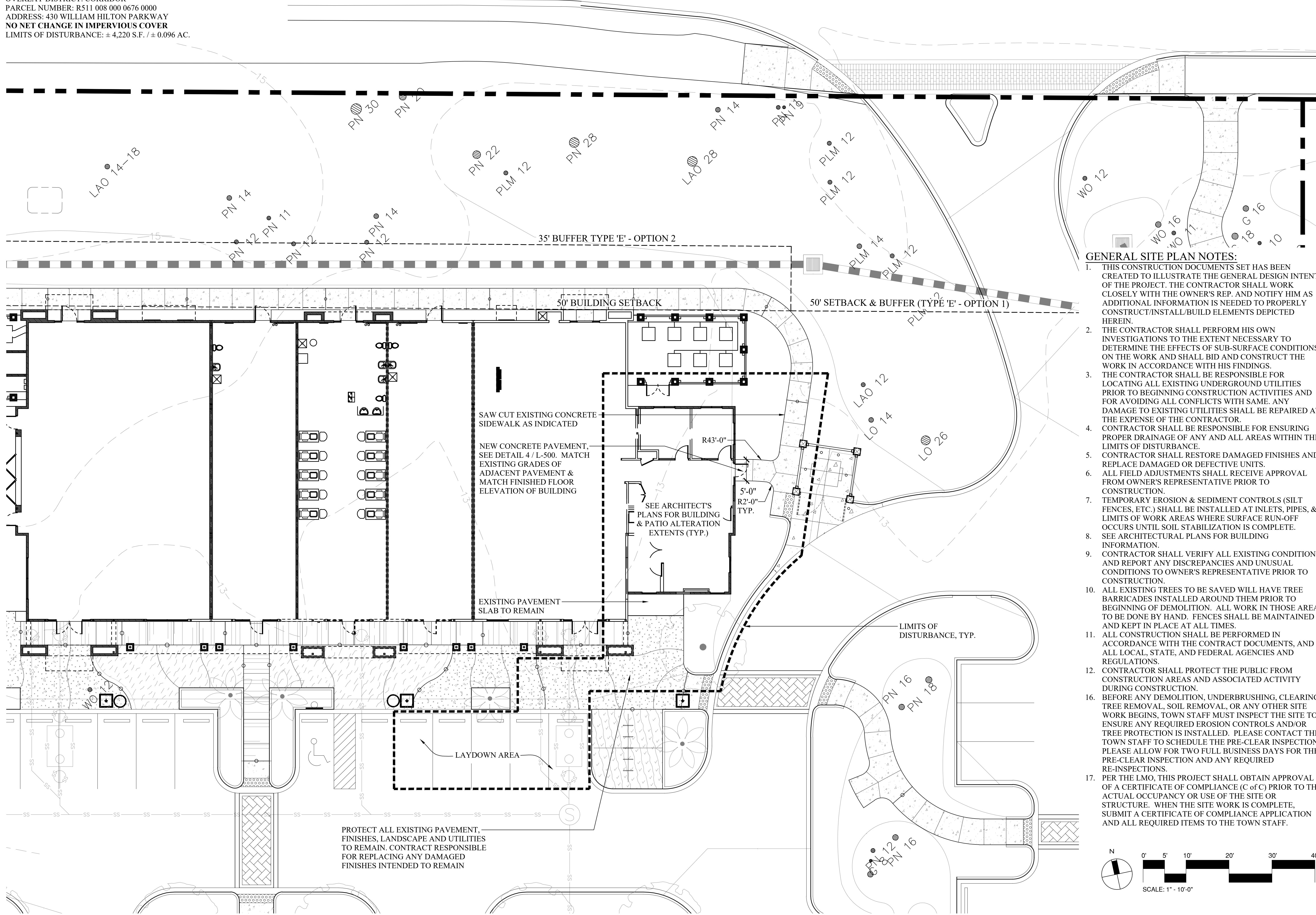
SHEET NUMBER
L-200



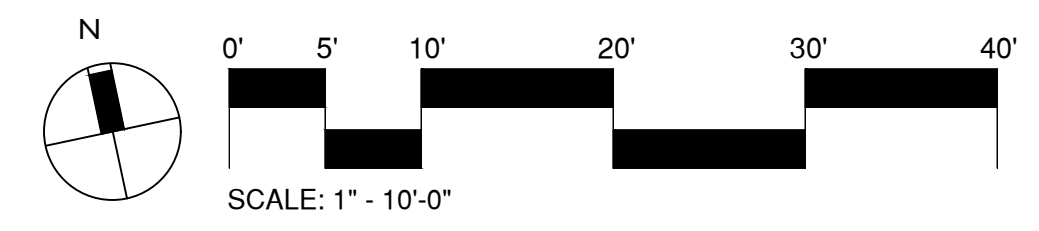
PROJECT / PROPERTY INFORMATION:
 PROJECT NAME: SEA TURTLE MARKETPLACE BUILDING F ALTERATIONS
 ZONING DISTRICT: COMMUNITY COMMERCIAL
 OVERLAY DISTRICT: CORRIDOR
 PARCEL NUMBER: R511 008 000 0676 0000
 ADDRESS: 430 WILLIAM HILTON PARKWAY
NO NET CHANGE IN IMPERVIOUS COVER
 LIMITS OF DISTURBANCE: ± 4,220 S.F. / ± 0.096 AC.

HWY 278 / WILLIAM HILTON PARKWAY

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- GENERAL SITE PLAN NOTES:**
1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
 2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WITHIN THE LIMITS OF DISTURBANCE.
 5. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
 6. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 7. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
 8. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 9. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 10. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
 11. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
 12. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
 16. BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT THE TOWN STAFF TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.
 17. PER THE LMO, THIS PROJECT SHALL OBTAIN APPROVAL OF A CERTIFICATE OF COMPLIANCE (C of C) PRIOR TO THE ACTUAL OCCUPANCY OR USE OF THE SITE OR STRUCTURE. WHEN THE SITE WORK IS COMPLETE, SUBMIT A CERTIFICATE OF COMPLIANCE APPLICATION AND ALL REQUIRED ITEMS TO THE TOWN STAFF.



**SEA TURTLE MARKETPLACE
 BUILDING F ALTERATIONS**
 430 William Hilton Parkway
 Hilton Head Island, SC 29926

PROFESSIONAL SEAL:

DRAWN BY:
DM
 CHECKED BY:
EW / DM

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#	REVISION	DATE	BY

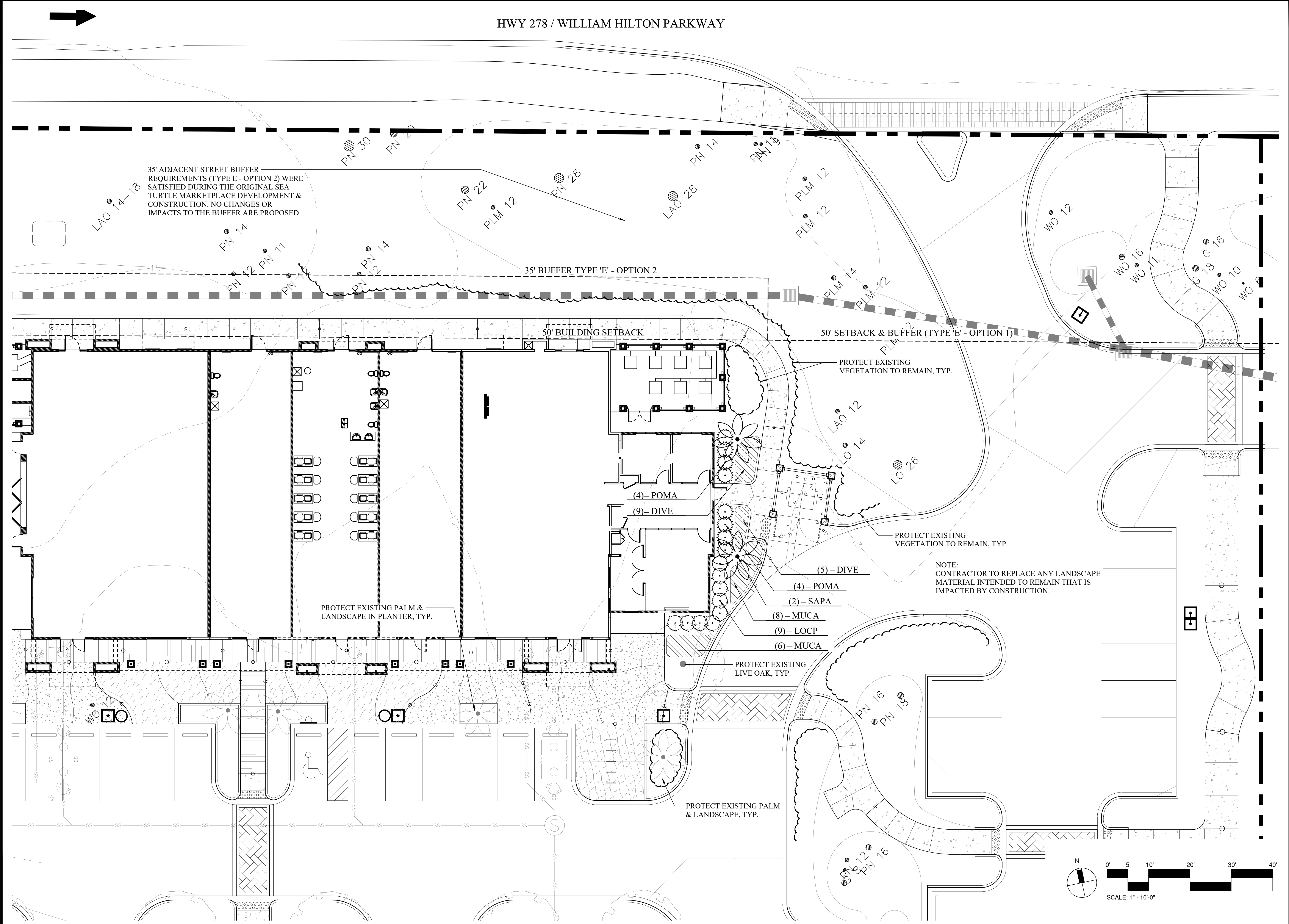
DATE
08-25-2023
 PROJECT NUMBER
01-23034
 SHEET TITLE

**Site Key
 Plan**

SHEET
 NUMBER
L-300



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35' ADJACENT STREET BUFFER REQUIREMENTS (TYPE E - OPTION 2) WERE SATISFIED DURING THE ORIGINAL SEA TURTLE MARKETPLACE DEVELOPMENT & CONSTRUCTION. NO CHANGES OR IMPACTS TO THE BUFFER ARE PROPOSED

35' BUFFER TYPE 'E' - OPTION 2

50' BUILDING SETBACK

50' SETBACK & BUFFER (TYPE 'E' - OPTION 1)

PROTECT EXISTING VEGETATION TO REMAIN, TYP.

PROTECT EXISTING VEGETATION TO REMAIN, TYP.

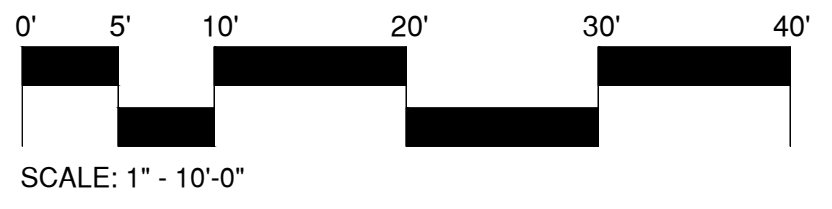
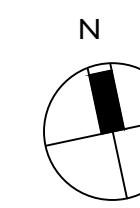
NOTE: CONTRACTOR TO REPLACE ANY LANDSCAPE MATERIAL INTENDED TO REMAIN THAT IS IMPACTED BY CONSTRUCTION.

PROTECT EXISTING PALM & LANDSCAPE IN PLANTER, TYP.

PROTECT EXISTING LIVE OAK, TYP.

PROTECT EXISTING PALM & LANDSCAPE, TYP.

- (4) - POMA
- (9) - DIVE
- (5) - DIVE
- (4) - POMA
- (2) - SAPA
- (8) - MUCA
- (9) - LOCP
- (6) - MUCA



**SEA TURTLE MARKETPLACE
BUILDING F ALTERATIONS**

430 William Hilton Parkway
Hilton Head Island, SC 29926

PROFESSIONAL SEAL:

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#	REVISION	DATE	BY

DATE
08-25-2023
PROJECT NUMBER
01-23034
SHEET TITLE

**Planting
Plan**

SHEET
NUMBER
L-400

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HEIGHT	REMARKS	
SAPA	2	Sabal palmetto	Cabbage Palmetto	B & B		12' - 14' CT	Smooth Clear Trunk, Hurricane Cut, Match Ht.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS	
LOCP	9	Loropetalum chinense 'Purple Diamond'	Purple Diamond Loropetalum	7 gal	30"-36"	24"-30"	Full in pot	
POMA	8	Podocarpus macrophyllum	Japanese Yew	7 gal	30"-36"	24"-30"	Full in pot	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS
DIVE	14	Dietes vegeta	African Iris	3 gal	18"-24"	18"-24"	30" o.c.	Full in pot
MUCA	14	Muhlenbergia capillaris	Pink Muhly Grass	3 gal	18"-24"	12"-18"	36" o.c.	Full in pot

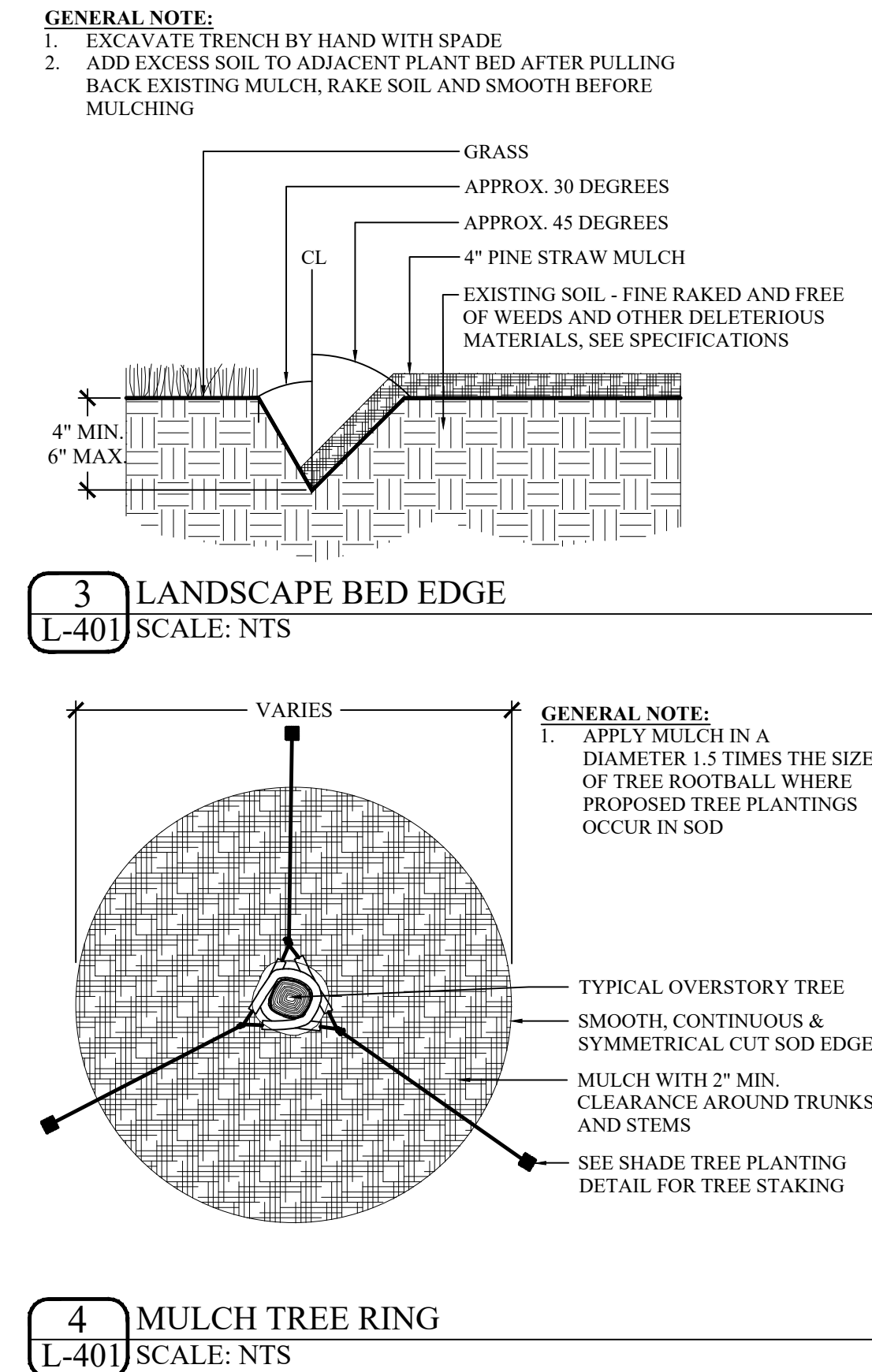
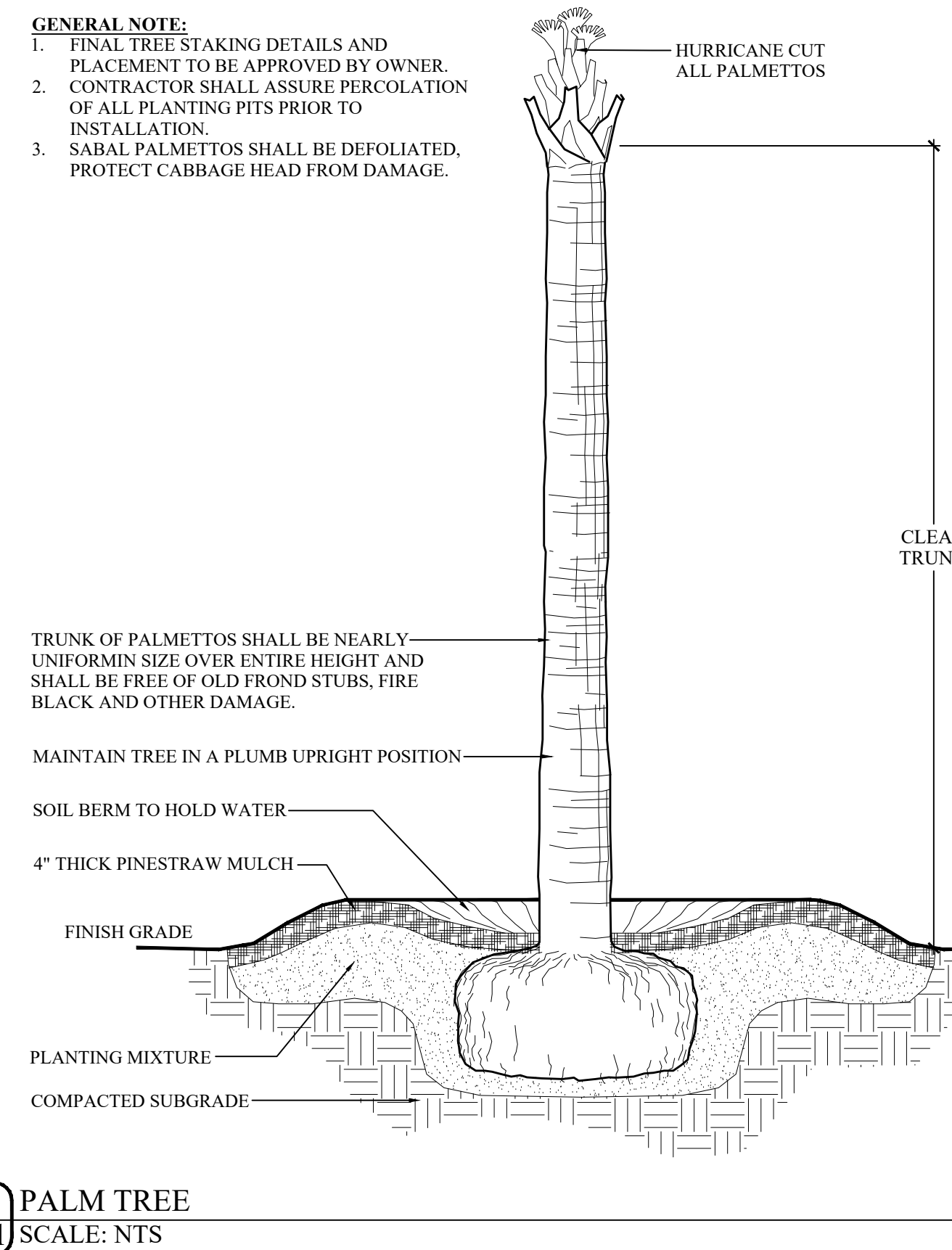
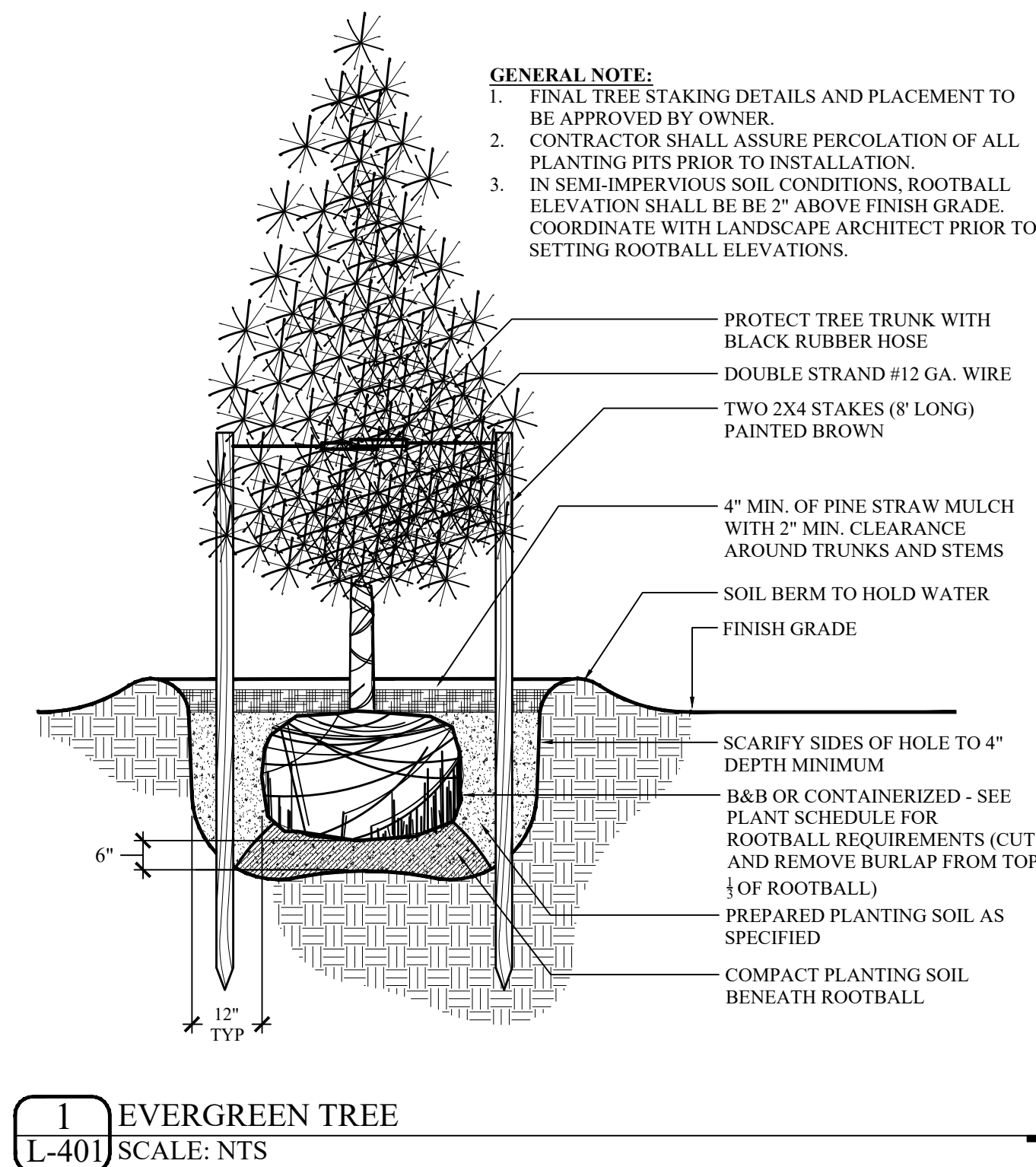
TREES TO BE REMOVED

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY III TREES REMOVED	PALM	12"	23"
	PALM	11"	

TREE REPLACEMENT SUMMARY

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
III	23" PALM	2 (1" CAL. MIN.)	(2) PALMS



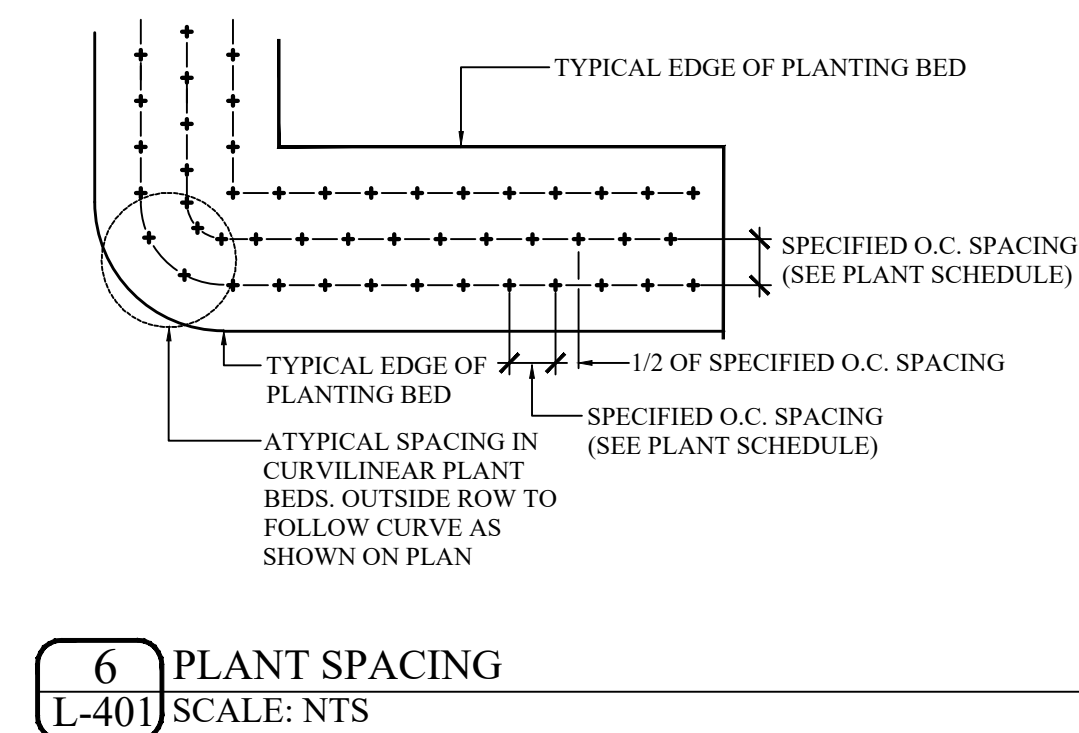
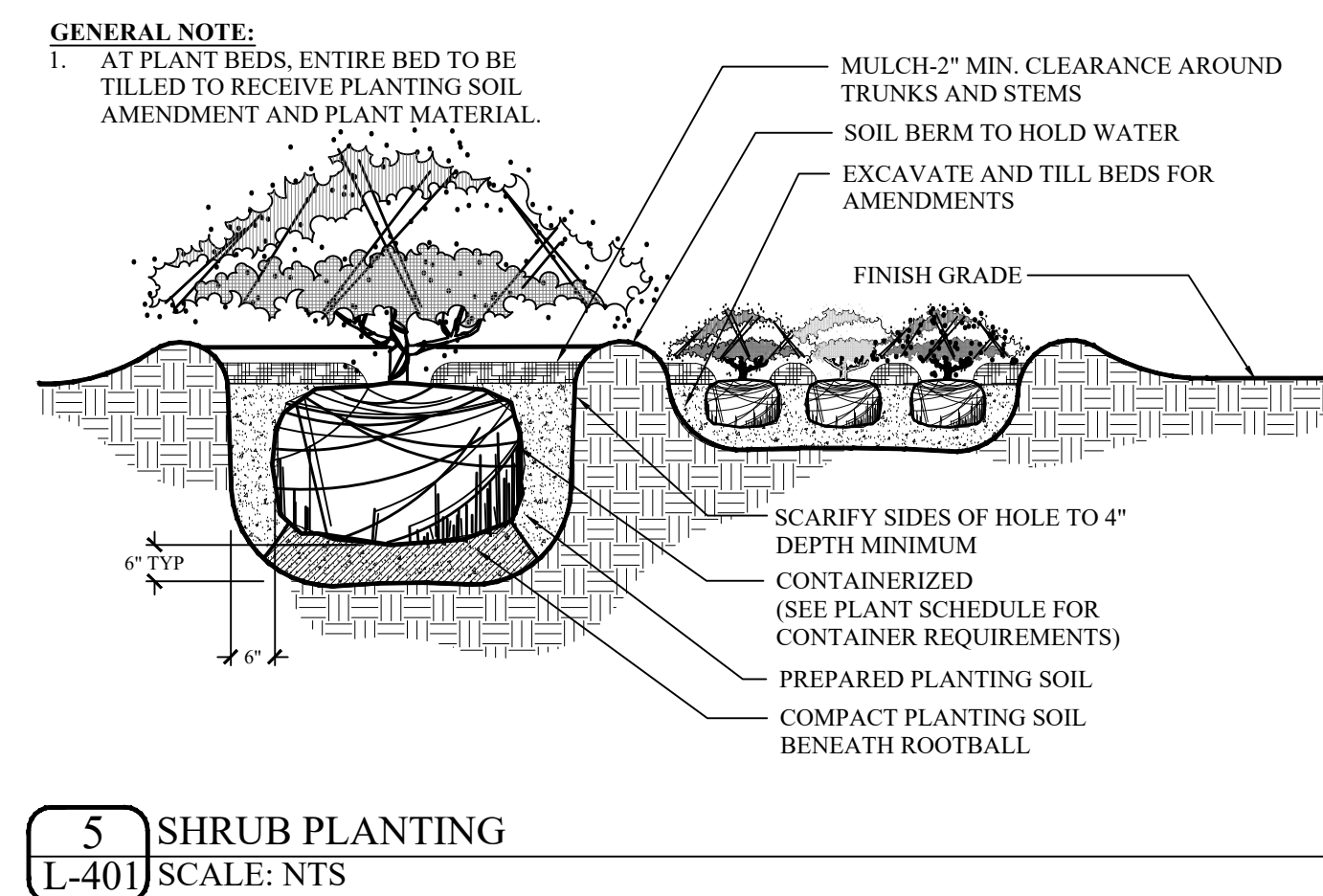
GENERAL PLANTING & IRRIGATION NOTES:

LANDSCAPE NOTES:

- THE OWNER'S REP. SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL HAVE A WELL FORMED HEAD WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO APPROVED INDUSTRY STANDARDS.
- PLANTS BED TO BE FINE GRADED, CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- ALL PLANT BEDS SHALL BE MULCHED WITH PINESTRAW MULCH TO A DEPTH OF 4" UNLESS NOTED OTHERWISE.
- ALL PLANT BEDS TO RECEIVE PRE-EMERGENT TREATMENT PRIOR TO MULCHING (PREEN OR APPROVED EQUAL).
- NOTIFY OWNER'S REP. OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. OWNER'S REP. SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- REPLACE ANY PLANT MATERIAL INTENDED TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION.
- MAINTAIN PLANT BEDS FREE OF WEEDS & DEBRIS DURING THE CONSTRUCTION PERIOD.

IRRIGATION NOTES:

- CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE FOR THE IMPROVEMENT AREA. CONTRACTOR TO TIE INTO THE EXISTING IRRIGATION SYSTEM. COORDINATE WITH OWNER'S REPRESENTATIVE FOR TYING INTO & LOCATING EXISTING IRRIGATION SYSTEM.
- CONTRACTOR TO REPLACE ANY DAMAGES THAT MAY OCCUR TO EXISTING IRRIGATION SYSTEM DURING CONSTRUCTION.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY OWNER'S REPRESENTATIVE.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING WITH PAVING CONTRACTOR FOR CONDUIT SLEEVING UNDER PAVEMENT (IF REQUIRED).



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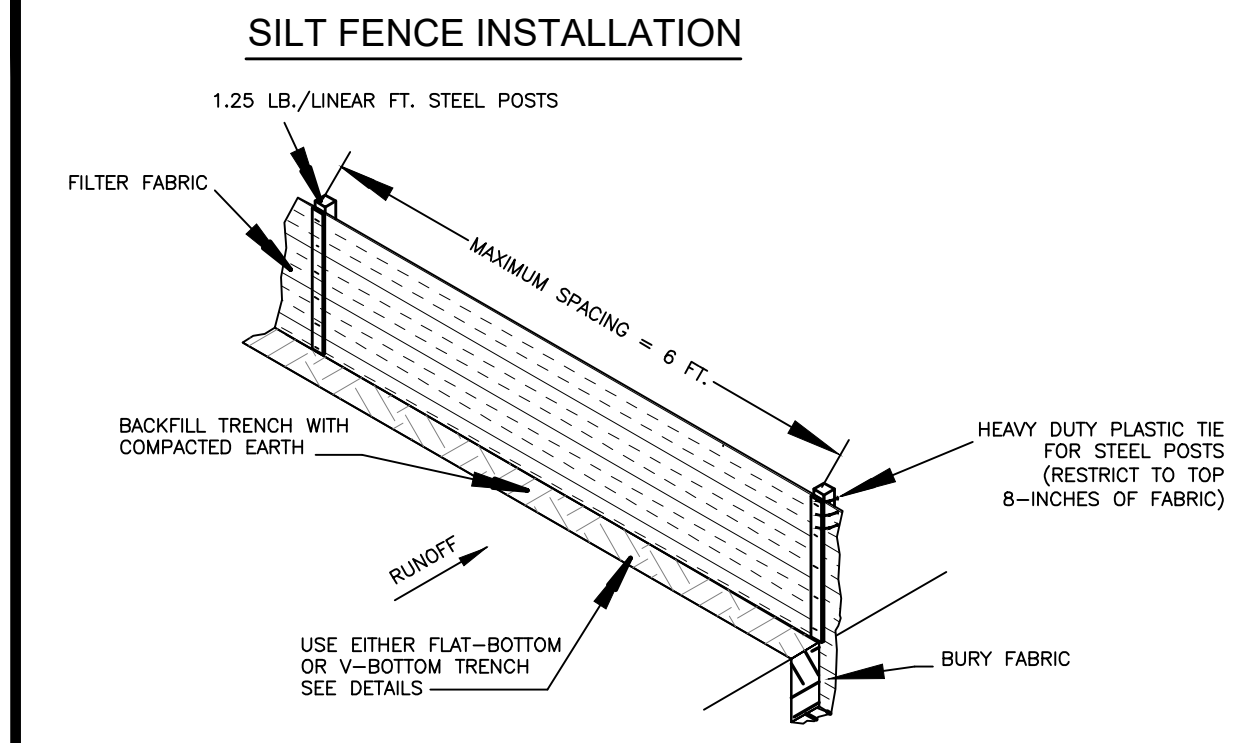
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DATE
 08-25-2023
 PROJECT NUMBER
 01-23034
 SHEET TITLE

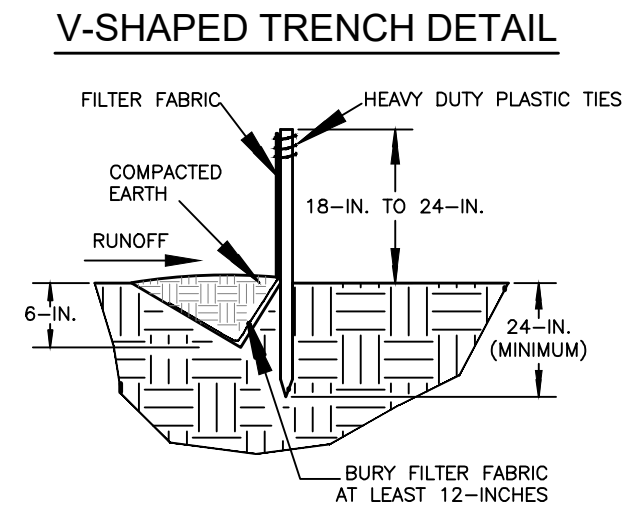
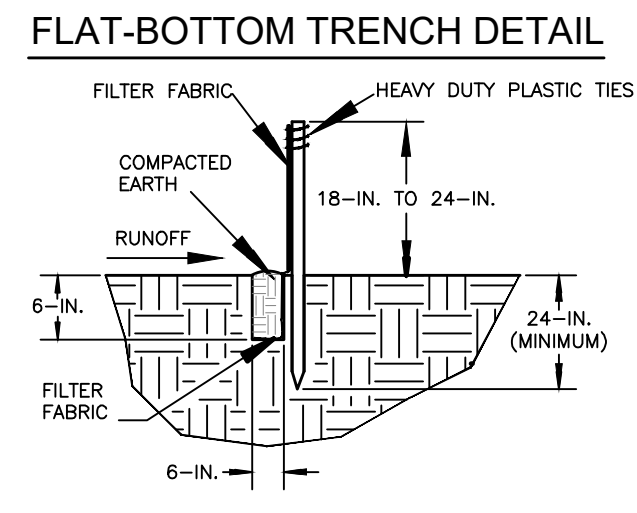
Plant Schedule,
 Notes & Details

SHEET
 NUMBER
 L-401

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- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.



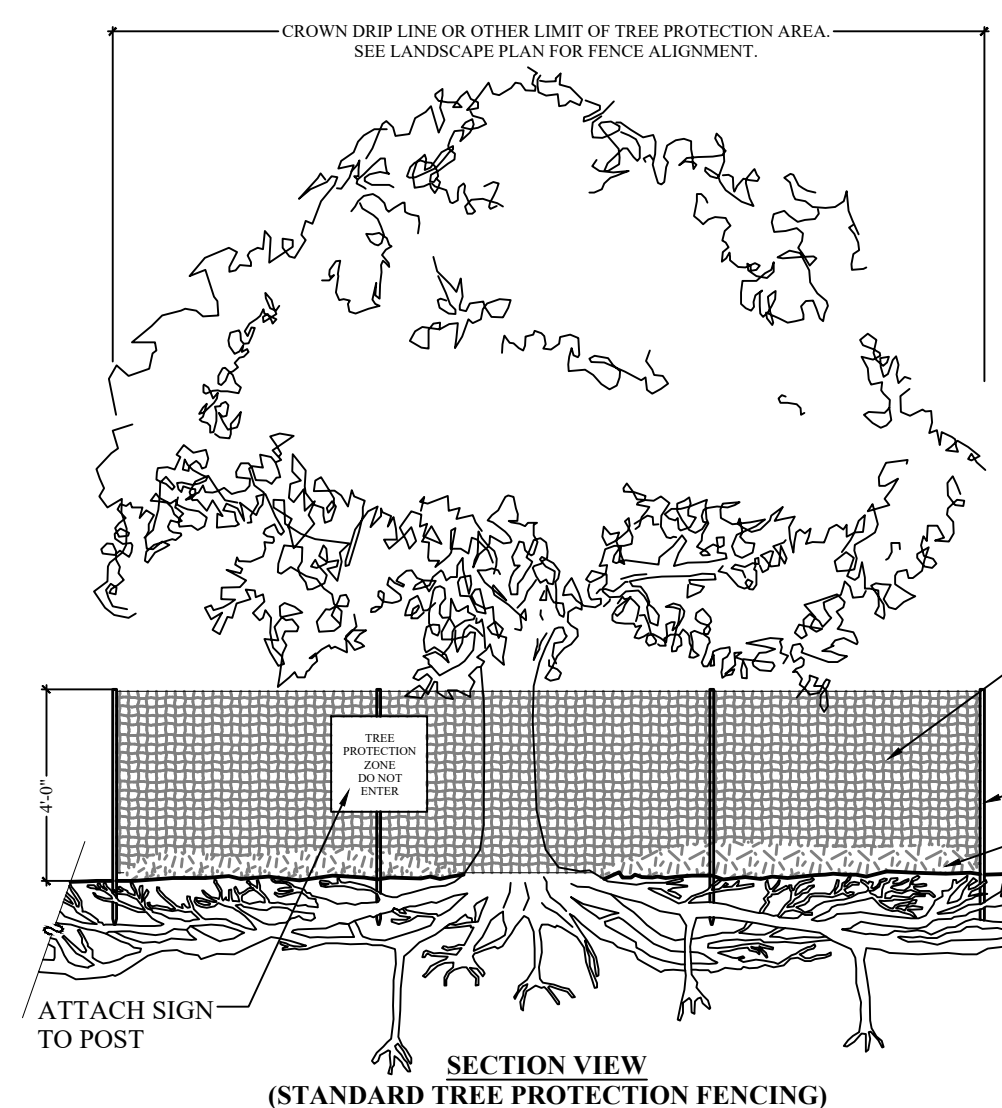
South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 Page 1 of 2
 NOT TO SCALE
 FEBRUARY 2014 DATE

- SILT FENCE - POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 8%)
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE - FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter fabric shall be installed at a minimum of 24-inches above the ground.

- SILT FENCE - INSPECTION & MAINTENANCE**
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
 - Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
 - Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

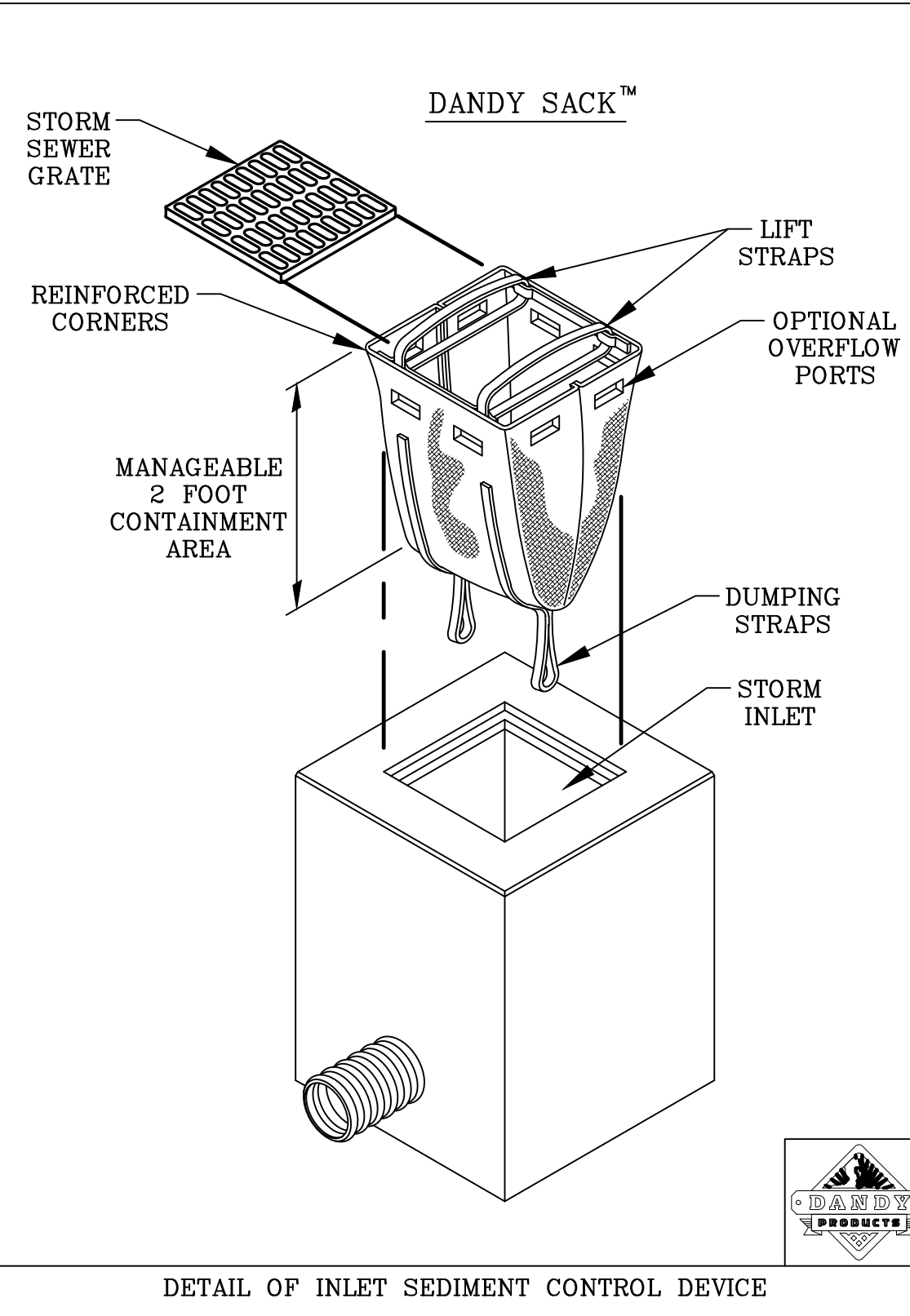
South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 PAGE 2 of 2
 GENERAL NOTES
 FEBRUARY 2014 DATE



- NOTES:**
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - NO MATERIAL TO BE STORED WITHIN THE TREE PROTECTION FENCE.
 - SEE LANDSCAPE PLAN FOR LOCATIONS.
 - TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. FENCE MUST REMAIN UPRIGHT AND SLACK FREE.
 - TREE PROTECTION WARNING SIGNS SHALL BE INSTALLED ALONG REQUIRED TREE PROTECTIVE FENCING AT POINTS NO MORE THAN 150 FEET APART.
 - THE SIGNS SHALL BE CLEARLY VISIBLE FROM ALL SIDES OF THE OUTSIDE OF THE FENCED IN AREA.
 - WARNING SIGNS TO BE MADE OF DURABLE WATERPROOF MATERIAL. MINIMUM SIZE OF WARNING SIGN MUST BE 2' x 2' AND VISIBLE FROM BOTH SIDES OF THE FENCE.

1 SILT FENCE
 L-500 NOT TO SCALE

2 TREE PROTECTION FENCE
 L-500 SCALE: 1/4" = 1'-00"



DANDY SACK™ * OR APPROVED SCDHEC EQUAL.

NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kN (lbs)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5506 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	2852 (70)
Permittivity	ASTM D 4491	sec⁻¹	0.90

REGULAR FLOW DANDY SACK™ (BLACK)

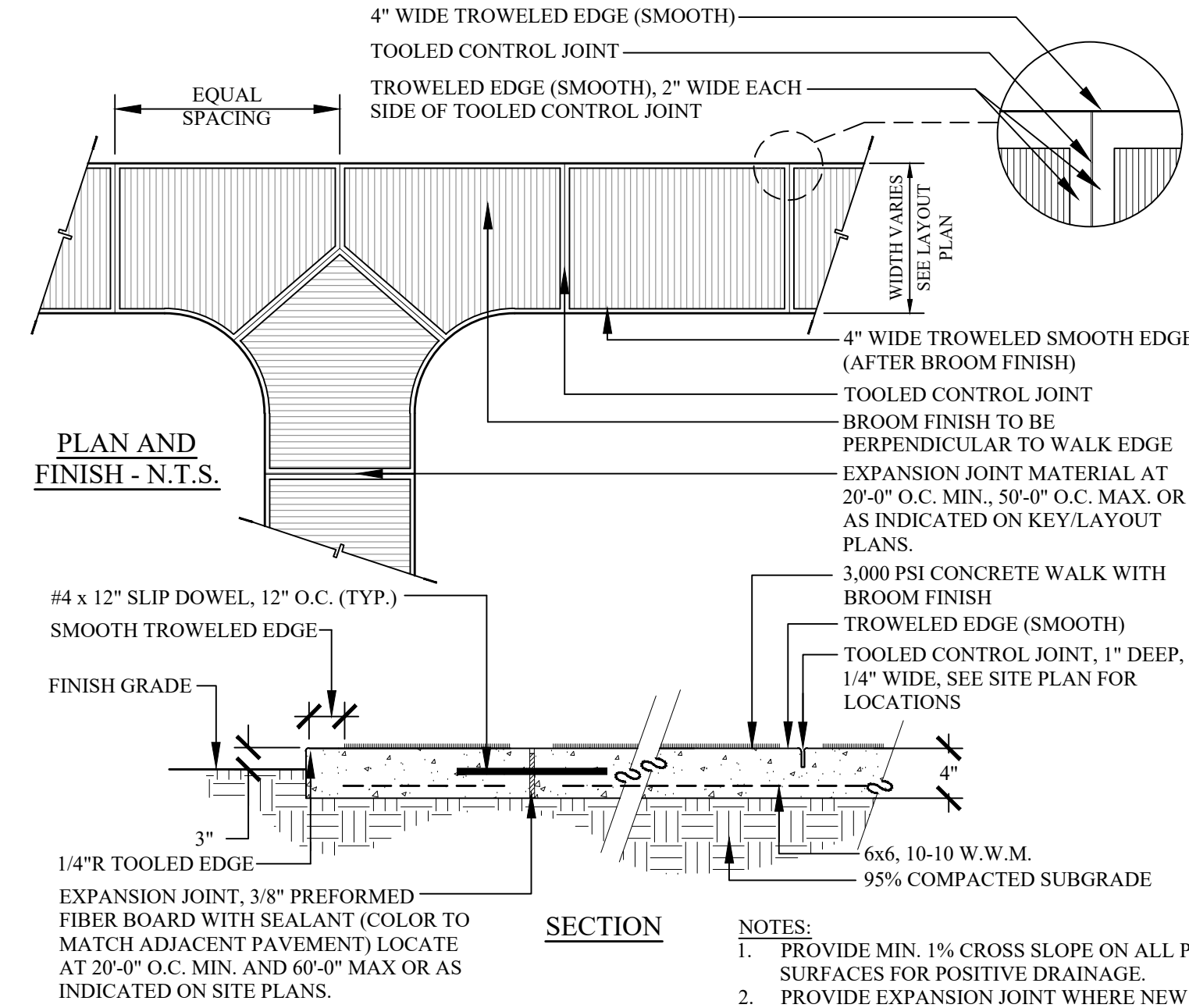
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 x 10
Puncture Strength	ASTM D 4833	kN (lbs)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbs)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	5907 (145)
Permittivity	ASTM D 4491	sec⁻¹	2.1

HI-FLOW DANDY SACK™ (SAFETY ORANGE)

*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

PLAN VIEW SYMBOL.

CONTRACTOR TO CLEAN OUT AS NECESSARY & KEEP INSTALLED UNTIL CONSTRUCTION IS COMPLETE PER MANUFACTURER'S RECOMMENDATIONS.



4 CONCRETE SIDEWALK
 L-500 SCALE: 1" = 1'-00"

3 FILTER BAG INLET PROTECTION
 L-500 N.T.S.

PROJECT: SEA TURTLE MARKETPLACE BLD F
 CITY/STATE: HHI, SOUTH CAROLINA

WOOD+PARTNERS
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 7 Lafayette Place | Hilton Head Island, SC 29926
 www.woodandpartners.com | 843.661.6618

SEA TURTLE MARKETPLACE
 BUILDING ALTERATIONS
 430 William Hilton Parkway
 Hilton Head Island, SC 29926

PROFESSIONAL SEAL:

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#	REVISION	DATE	BY

DATE
 08-25-2023
 PROJECT NUMBER
 01-23034
 SHEET TITLE
Details

SHEET
 NUMBER
L-500



DESIGN REVIEW BOARD SUBMITTAL

SEA TURTLE MARKET PLACE BUILDING F ADDITION

430 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SOUTH CAROLINA 29928

SHEET INDEX

Table with columns: SHEET #, SHEET DESCRIPTION, and a grid of checkboxes for sheet inclusion. Includes sheets A0.0 through A6.0.

8/29/2023 DRB SUBMITTAL

PROJECT INFORMATION

NAME OF PROJECT: SEA TURTLE MARKETPLACE BUILDING F ADDITION
ADDRESS: 430 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC 29928
PROPOSED USE: BUSINESS GROUP (B)
OWNER CONTACT: ERIC ALLEN, DIRECTOR OF CONSTRUCTION
CODE ENFORCEMENT JURISDICTION: TOWN OF HILTON HEAD ISLAND

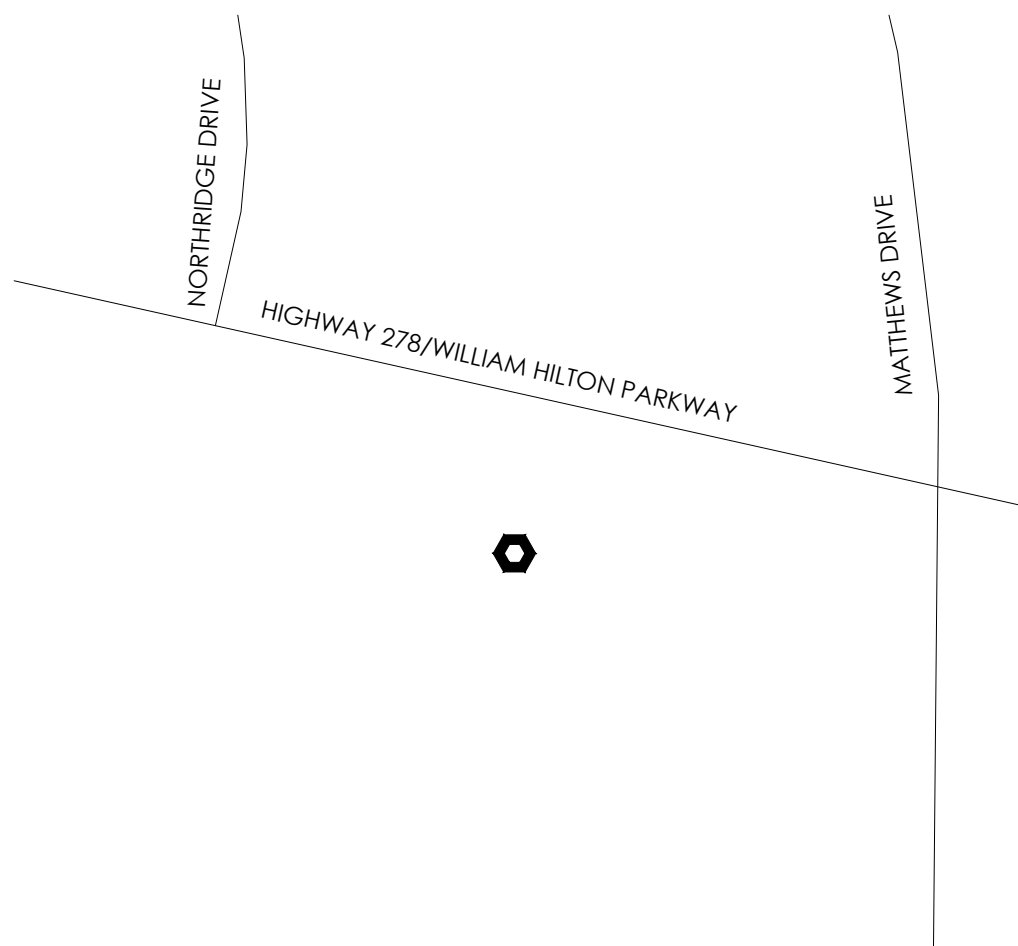
DESIGNER OF RECORD:

Table listing design disciplines: Architectural, Electrical, Plumbing, Mechanical, Structural, Civil, and Land Planning/Landscape, with names and contact info for James C. Atkins.

PROJECT TEAM

OWNER CONTACT: GREENBURG GIBBONS
STRUCTURAL ENGINEER: T.B.D.
MECHANICAL, PLUMBING & FIRE PROTECTION: T.B.D.
ELECTRICAL ENGINEER: T.B.D.

VICINITY MAP - N.T.S.



GENERAL NOTES

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT...
THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES...
SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED...
SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED...
THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN...

CONSTRUCTION ADMINISTRATION

BUILDING CODE SUMMARY

BUILDING DATA

PROJECT DESCRIPTION: A 1,003 SQFT ADDITION TO AN EXISTING BUILDING TO PROVIDE ADDITIONAL SQUARE FOOTAGE FOR A FUTURE BUSINESS OCCUPANCY TENANT UP-FIT IN SUITE 305.
CONSTRUCTION: METAL STUD EXTERIOR WALLS WITH DENSGLASS SHEATHING AND WOOD ROOF TRUSSES.
GROSS BUILDING AREA: 1,003 SQ. FT. ADDITION (9,983 SQFT EXISTING BUILDING)
OCCUPANCY CLASSIFICATION: BUSINESS (B)
MIXED OCCUPANCY: Yes No X Separation N/A Hr.
CONSTRUCTION TYPE: I-A I-B II-A II-B III-A III-B IV V-A V-B X V-B
MIXED CONSTRUCTION: Yes No X Type
SPRINKLED: Yes X No
FIRE DISTRICT: Yes No X
BUILDING HEIGHT (FEET): ±31'-2" AFF Number of Stories: 1
MEZZANINE: Yes No X
HIGH RISE: Yes No X

ALLOWABLE HEIGHT & AREA (PER IBC TABLE 504.3, 504.4 & 506.2 AND IBC EQUATION 5-1): BUSINESS (B)

Table comparing allowable vs actual height and area. Actual height is 31'-2" and area is 10,986 SQ. FT.

OCCUPANT LOAD (IBC TABLE 1004.1.2): USE GROUP (ABBREV.)

Table showing occupant load for Area 1 and Area 2, totaling 300 persons.

EXITS (IBC TABLE 1006.3.2):

Table showing required vs provided number of exits, both at 2.

TRAVEL DISTANCE:

Table showing exit access design requirements, common path of travel, and dead end corridor limits.

FIRE SEPARATION

Table detailing fire separation requirements for party/firewalls, exterior bearing walls, interior walls, and floor construction.

ALL INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH IBC TABLE 803.13

Table detailing interior wall and ceiling finishes for sprinklered and non-sprinklered areas, including corridors and rooms.

MINIMUM REQUIRED PLUMBING FIXTURES: PER IBC TABLE 2902.1

TOTAL OCCUPANCY FOR OVERALL AREA = # PERSONS
USE GROUP OCCUPANCY, 50% MALE / 50% FEMALE
MALE OCCUPANTS & # FEMALE OCCUPANTS

Table showing required vs provided plumbing fixtures for men and women in various areas like water closets, lavatories, and drinking fountains.

ADDITIONAL PLAN INFORMATION

INTERIOR FINISH: 1/2" TYPE 'X' DRYWALL, U.O.N.
HARDWARE ID: BATHROOM-ADA ACCESSIBLE HARDWARE
EGRESS ID: LIGHTED EMERGENCY EXIT SIGNS

MECHANICAL SECTION

SEE ENGINEER'S DRAWINGS

PLUMBING SECTION

SEE ENGINEER'S DRAWINGS

ELECTRICAL SECTION

SEE ENGINEER'S DRAWINGS

TENANT USAGE SECTION

SEA TURTLE MARKETPLACE BUILDING F ADDITION
430 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SC 29928

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PROJECT INFO

Project No. 23-039
Date 08/29/2023

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE



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PROJECT INFO

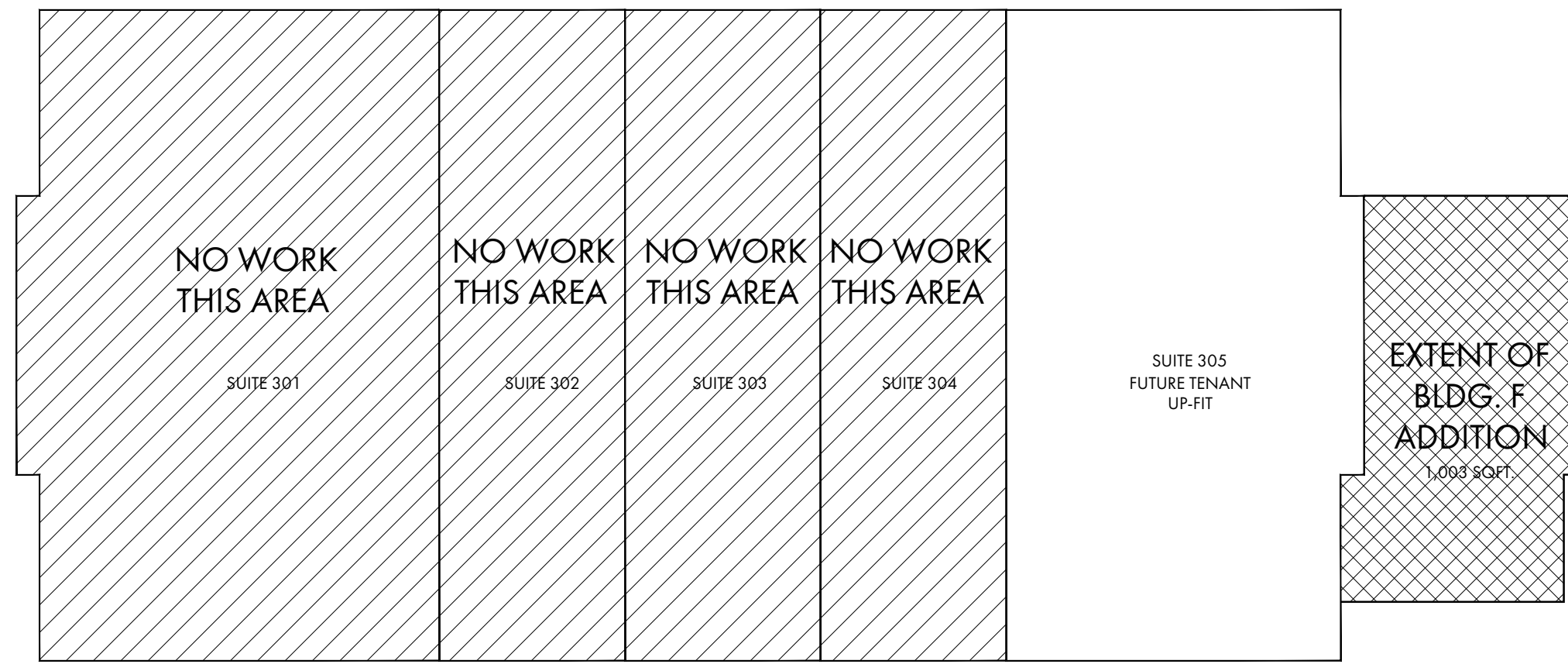
Project No. 23-039
Date 08/29/2023

ISSUE

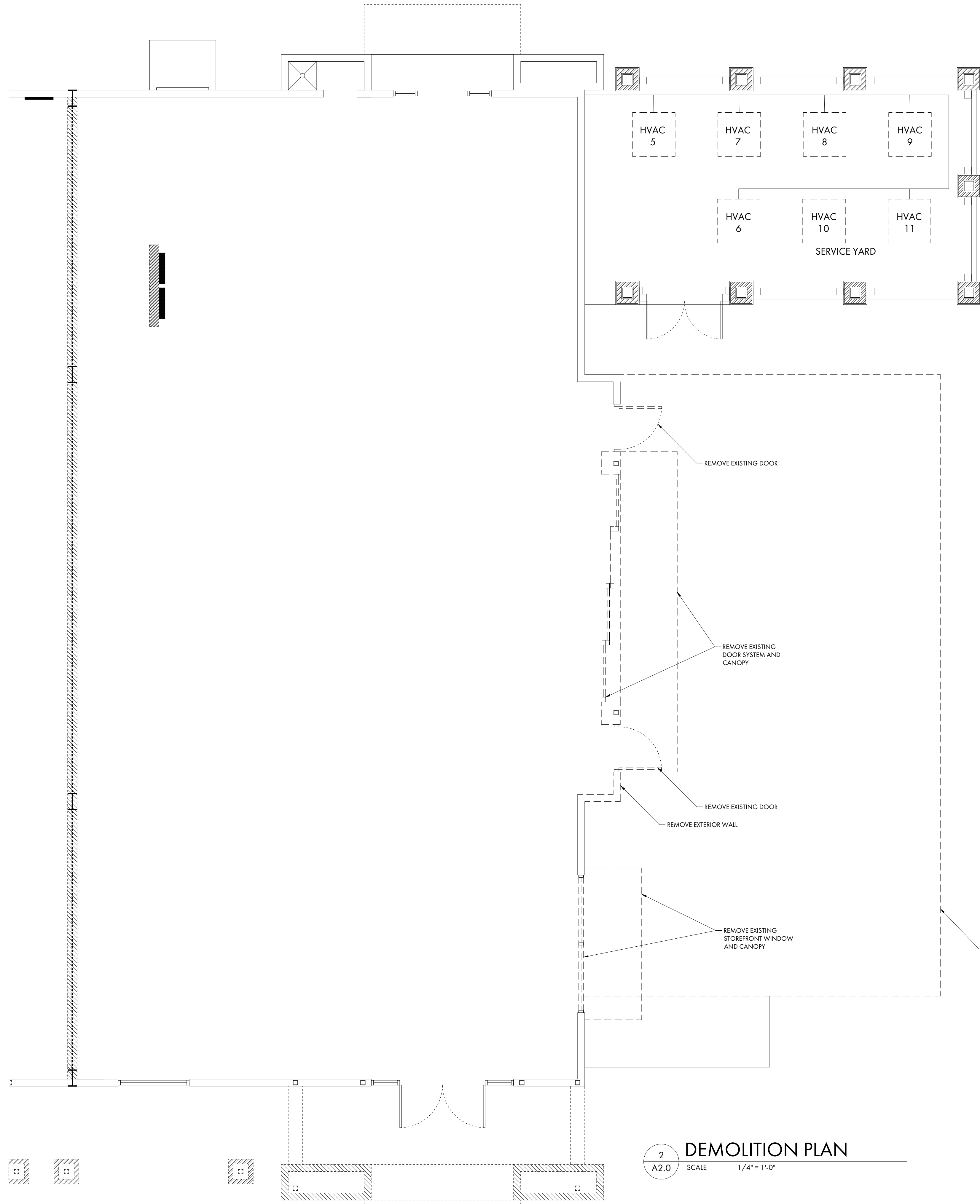
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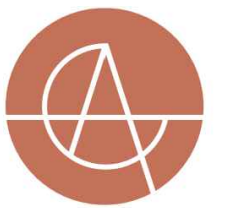
DEMOLITION
PLAN
A2.0



1 BUILDING KEY PLAN
SCALE 1/16" = 1'-0"



2 DEMOLITION PLAN
SCALE 1/4" = 1'-0"



COURT ATKINS GROUP

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

SEA TURTLE MARKETPLACE BUILDING F ADDITION

430 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SC 29928

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PROJECT INFO

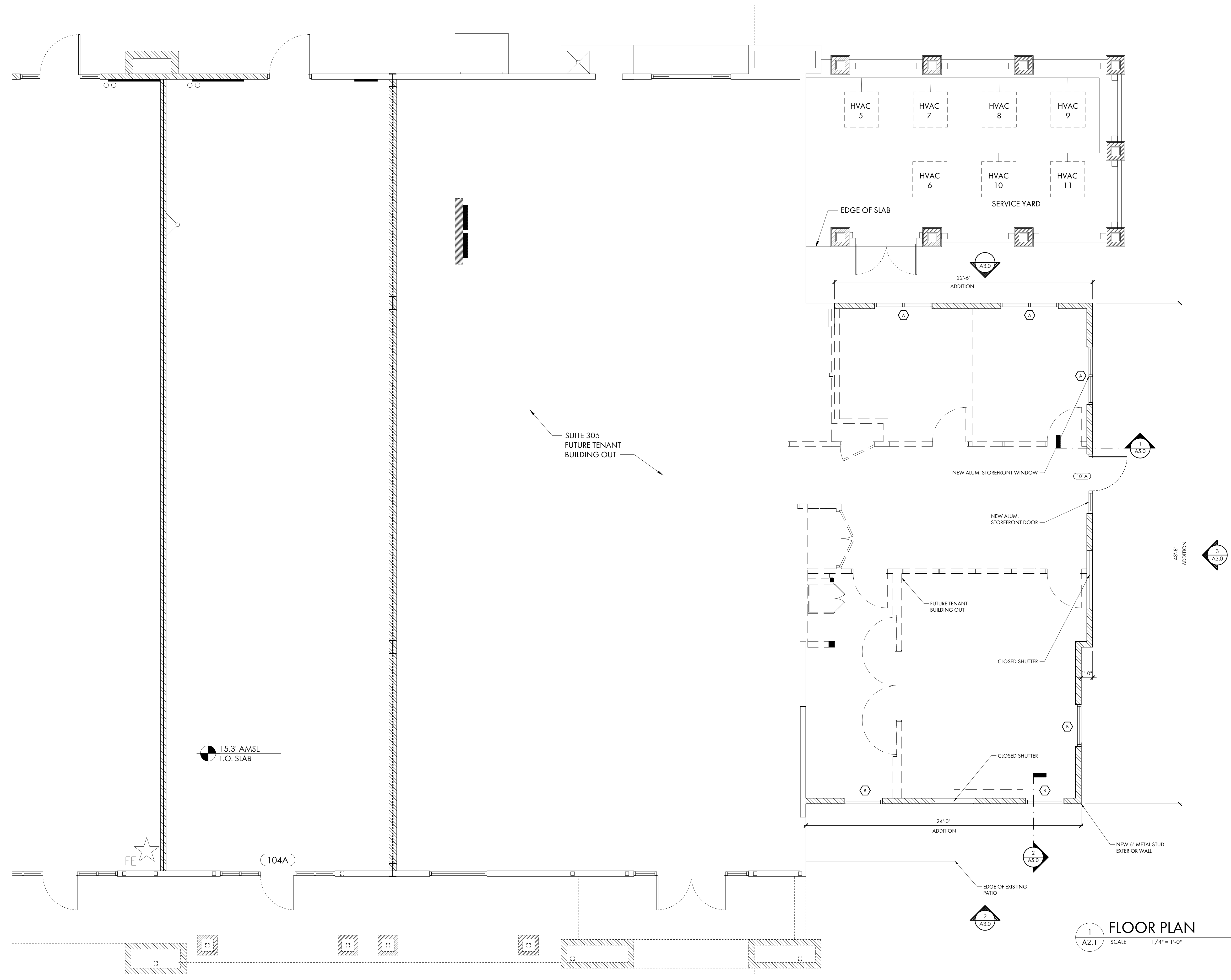
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Date 08/29/2023

ISSUE

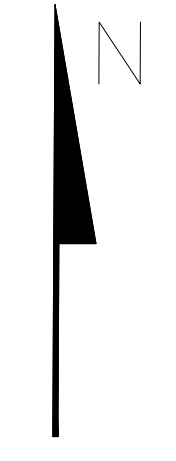
NO. REV. DATE DESCRIPTION

SHEET TITLE

FLOOR PLAN
A2.1



1 FLOOR PLAN
A2.1 SCALE 1/4" = 1'-0"





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SEA TURTLE MARKETPLACE BUILDING F ADDITION

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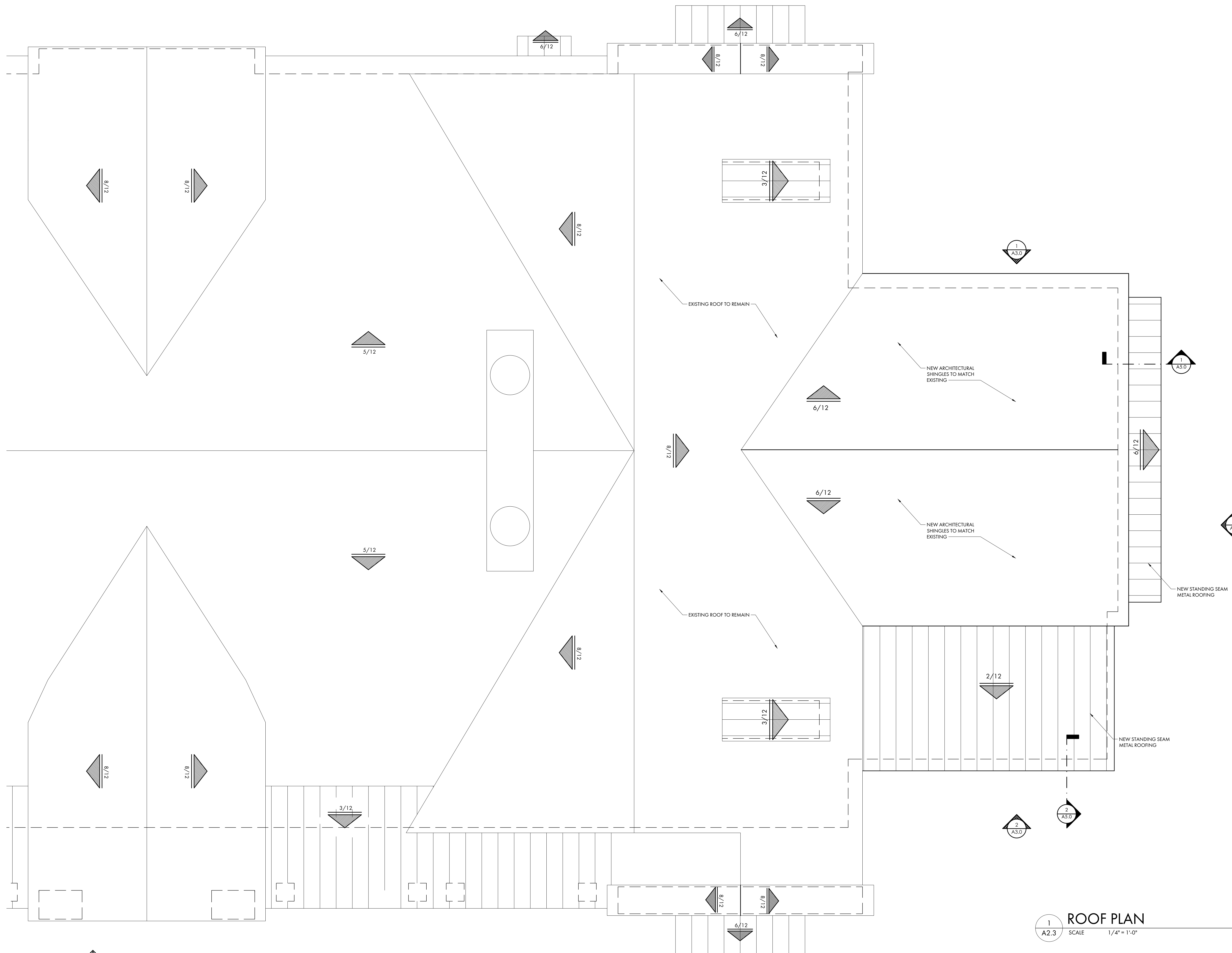
Project No. 23-039
Date 08/29/2023

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

ROOF
PLAN
A2.3



1 ROOF PLAN
A2.3 SCALE 1/4" = 1'-0"



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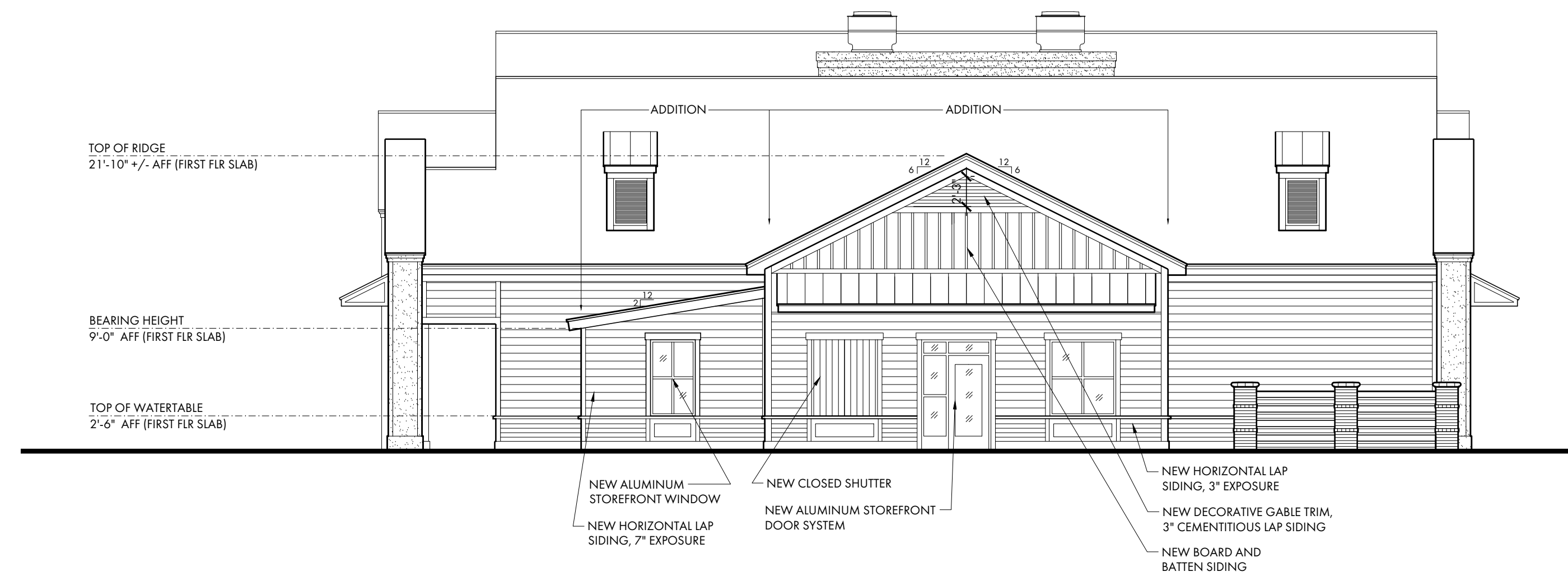
NO. REV. DATE DESCRIPTION

SHEET TITLE

EXTERIOR
ELEVATIONS
A3.0

ALL EXTERIOR MATERIALS AND COLORS TO MATCH EXISTING:

- | | |
|---------------------------------|-------------------------|
| MATERIAL: | COLOR: |
| ARCHITECTURAL SHINGLES: | GAF CHARCOAL |
| STOREFRONT DOORS AND WINDOWS: | YKK CHARCOAL |
| STANDING SEAM METAL ROOFING: | MCELROY METALS CHARCOAL |
| 7" CEMENTITIOUS LAP SIDING: | SW 7057 SILVER STRAND |
| 3" CEMENTITIOUS LAP SIDING: | SW 7058 MAGNETIC GRAY |
| BOARD AND BATTEN SIDING: | SW 7057 SILVER STRAND |
| FASCIA, PANEL, SOFFIT AND TRIM: | SW 7056 RESERVED WHITE |
| CLOSED SHUTTER: | SW 7058 MAGNETIC GRAY |



3 EXTERIOR ELEVATION- SIDE ENTRANCE
SCALE 1/8" = 1'-0"



2 EXTERIOR ELEVATION- PARKING LOT
SCALE 1/8" = 1'-0"



1 EXTERIOR ELEVATION- HWY 278
SCALE 1/8" = 1'-0"



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PROJECT INFO

Project No.
23-039

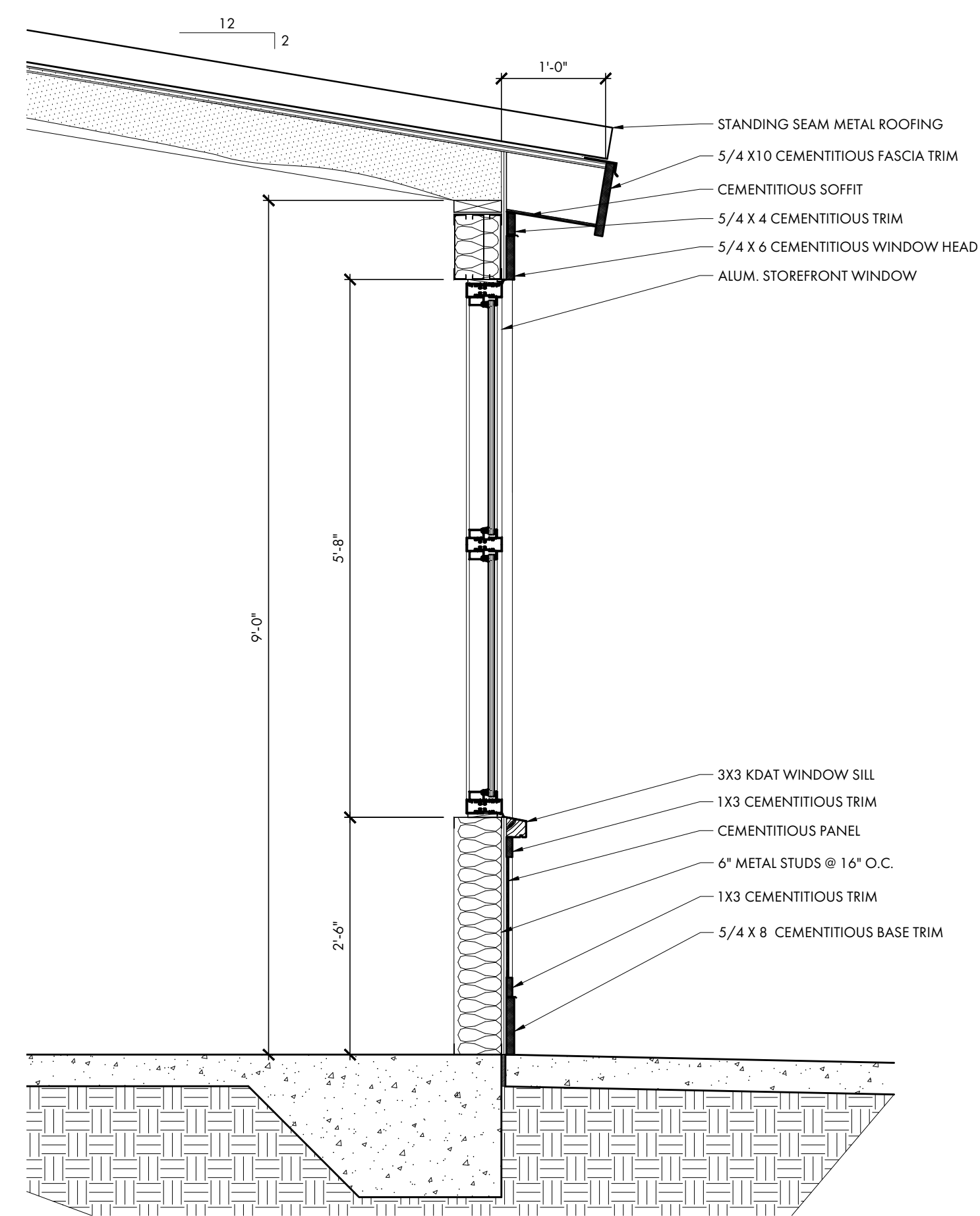
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08/29/2023

ISSUE

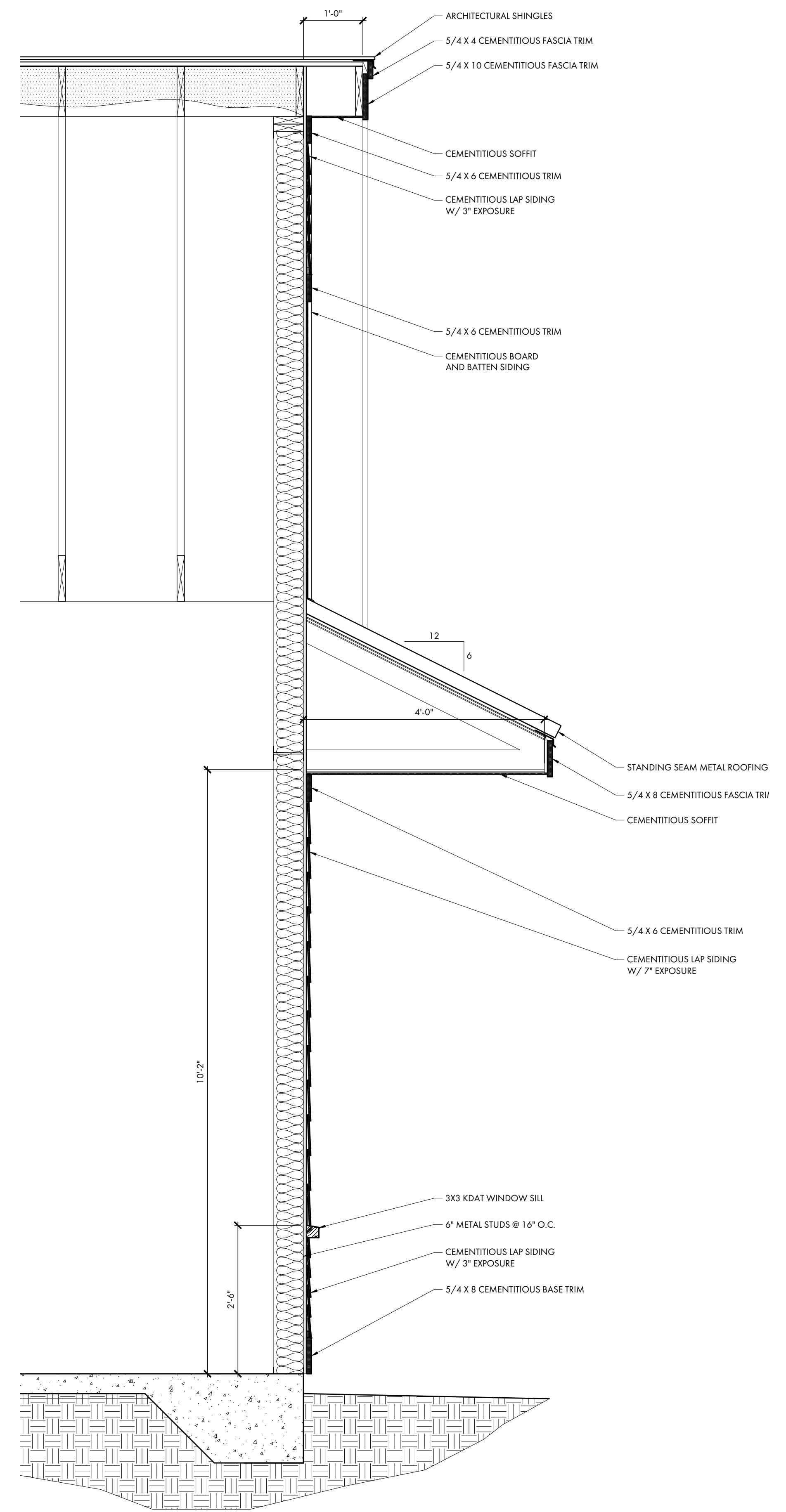
NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

WALL
SECTIONS
A5.0



2
A5.0
WALL SECTION
SCALE 3/4" = 1'-0"



1
A5.0
WALL SECTION
SCALE 3/4" = 1'-0"



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PROJECT INFO

Project No. 23-039
Date 08/29/2023

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

**DOOR & WINDOW
SCHEDULE
A6.0**

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

IG = IMPACT GLAZING
T = TEMPERED GLAZING

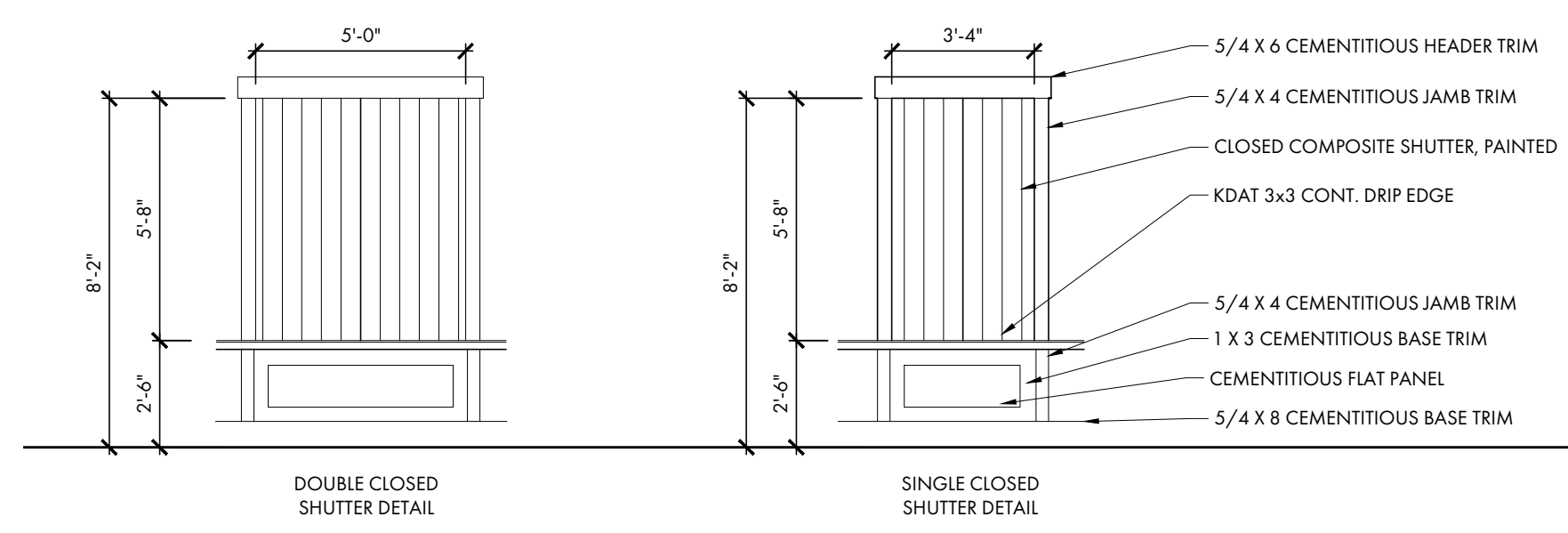
WINDOW SCHEDULE											
MARK	SIZE		TYPE	MATERIAL	DETAILS			SHGC	U-FACTOR		REMARKS
	W	H			HEAD	JAMB	SILL		WINTER NIGHT	SUMMER DAY	
A	5'-0"	5'-8"	ALUMINUM STOREFRONT	ALUM.	--	--	--	0.30	0.60	0.60	IMPACT AND INSULATED GLAZING
B	3'-4"	5'-8"	ALUMINUM STOREFRONT	ALUM.	--	--	--	0.30	0.60	0.60	IMPACT AND INSULATED GLAZING

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

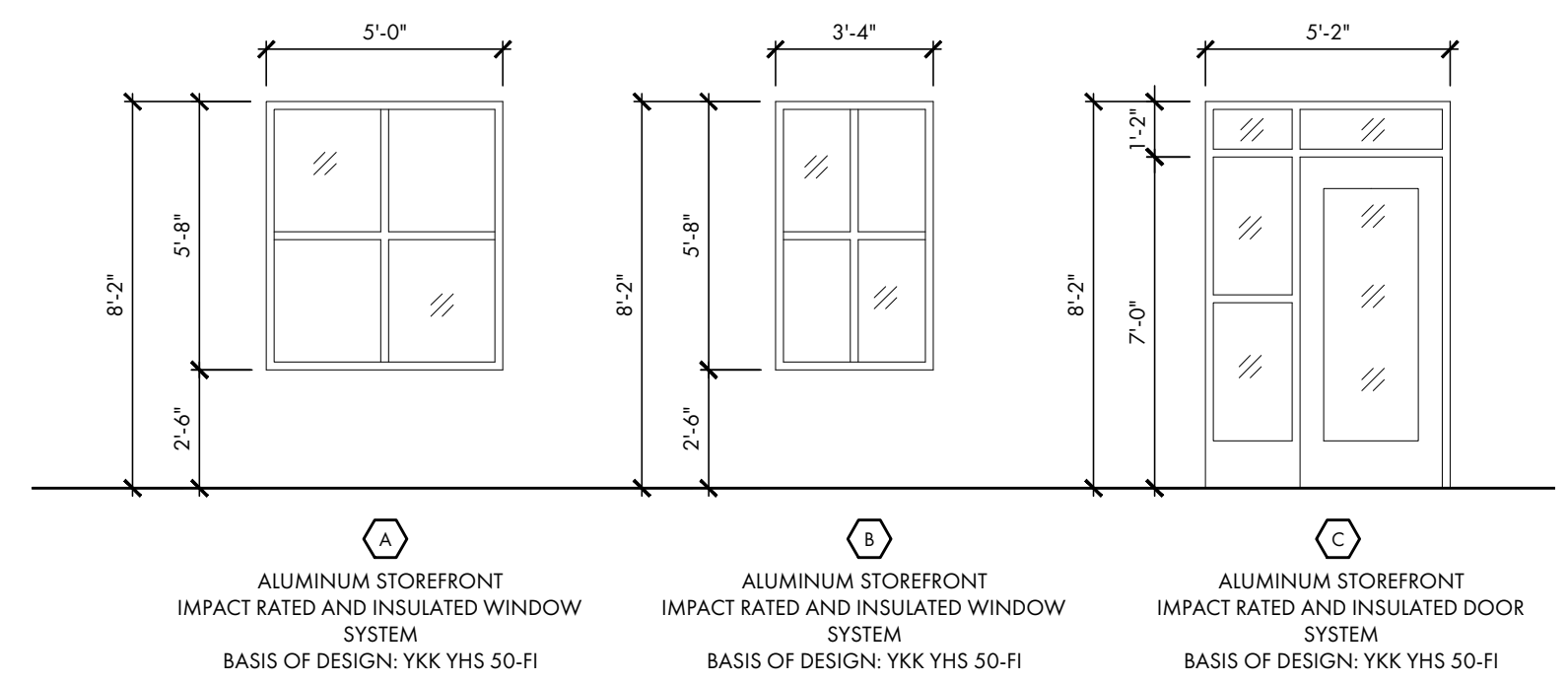
IG = IMPACT GLAZING
T = TEMPERED GLAZING

DOOR SCHEDULE											HARDWARE													
DOOR NUMBER	SIZE			DOOR		FRAME		DETAILS			HARDWARE SETTING	OFFICE SET	STORE RM. SET	PASSAGE SET	PRIVACY SET	PUSH / PULL	PANIC SET	CLOSER	STOP	THRESHOLD	KICK PLATES	WEATHER STRIPPING	MAGNETIC HOLD OPEN	REMARKS
	W	H	T	ELEVATION	MATERIAL	ELEVATION	MATERIAL	HEAD	JAMB	SILL/THRESH.														
101A	5'-2"	8'-2"	1 3/4"	C	ALUM	C	ALUM	---	---	---							X	X		X				IMPACT AND INSULATED GLAZING. STOREFRONT DOOR SIZE 3'-0" X 7'-0"

- GENERAL NOTES**
1. THE EGRESS DOORS AND HARDWARE SHALL COMPLY WITH 2021 IBC, SECTION 1010.1.9 WHEN BUILDING IS OCCUPIED.
 2. DOOR HARDWARE TO BE ADA COMPLIANT PER 2021 IBC & ANSI 117.1 2017.
 3. G.C. TO SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL

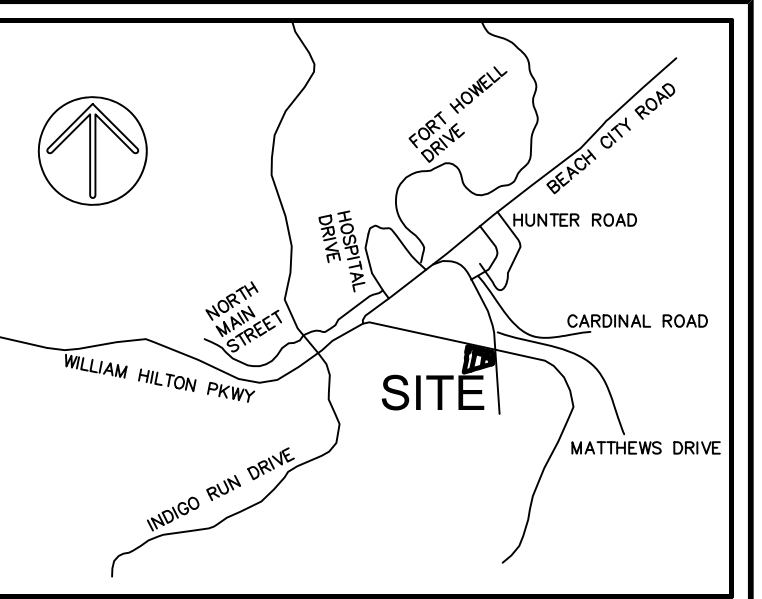


2
A6.0 **SHUTTER DETAIL**
SCALE 1/4" = 1'-0"



1
A6.0 **ALUM. STOREFRONT DOOR & WINDOW ELEVATIONS**
SCALE 1/4" = 1'-0"

U.S. HIGHWAY 278 - WILLIAM HILTON PARKWAY - R/W VARIES



VICINITY MAP NOT TO SCALE

- LEGEND
IPF IRON PIPE FOUND
NF NAIL FOUND
RBF IRON REBAR FOUND
ROOF DRAIN
CLEAN OUT
BOLLARD
CURB INLET
FIRE HYDRANT
GRATE INLET
FIRE DEPARTMENT CONNECTION
IRRIGATION CONTROL VALVE
LIGHT POLE
MONITORING WELL
STORM DRAIN MANHOLE
SIGN
SANITARY SEWER CLEAN OUT
STORM DRAIN CLEAN OUT
SANITARY SEWER MANHOLE
TELEPHONE JUNCTION BOX
TELEPHONE MANHOLE
TELEPHONE PEDESTAL
TRANSFORMER-ELECTRIC JUNCTION BOX
WATER METER
WATER VALVE
YARD INLET
SANITARY SEWER LATERAL OR STUBOUT
SANITARY SEWER VALVE MARKER
WATER LATERAL OR STUBOUT
MONITORING WELL
INVERT ELEVATION
OF PARKING SPACES
RCP REINFORCED CONCRETE PIPE
CONTOUR LINE
DPH OVERHEAD POWER LINE
SD UNDERGROUND DRAINAGE LINE
EDGE OF PAVEMENT
CONCRETE
EDGE OF BRICK

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONES C, B, AND A7 (14.0'). FIRM PANELS 0008-D AND 0009-D COMMUNITY 450250. FLOOD LINES SHOWN WERE TRACED FROM FIRM PANELS AND ARE APPROXIMATE.
2. VERTICAL DATUM IS NAVD 88.
3. SETBACKS, BUFFERS, AND WETLANDS ARE PER REFERENCE #3 AND ARE SHOWN FOR REFERENCE ONLY.
4. ADDED PHASE 2 AS-BUILT ON 9-27-17.
5. ADDED PHASE 3 AS-BUILT ON 3-19-18.
REFERENCE
1. PLAT BOOK 145 PAGE 30
2. DEED BOOK 3519 PAGE 1473
3. A SET OF PLANS PROVIDED BY WARD EDWARDS, PROJECT NUMBER 130227, DATED 03-14-16.

PREPARED FOR: SANDCASTLE CONSTRUCTORS INC
AN AS-BUILT SURVEY OF
SEA TURTLE MARKETPLACE
#430 WILLIAM HILTON PARKWAY
SHEET 1 OF 2

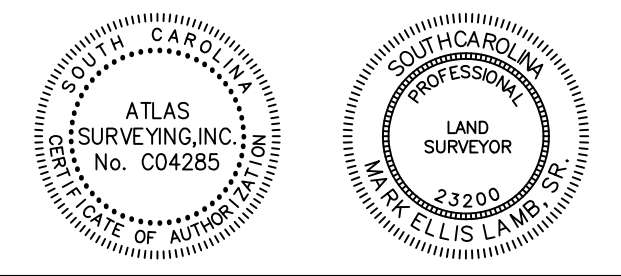
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R511 008 000 0247 0000
R511 008 000 098E 0000
R511 008 000 098B 0000
R511 008 000 0875 0000
R511 008 000 0876 0000
R511 008 000 0156 0000
R511 008 000 0248 0000

HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: DAB
FIELD CHECK: MEL
DRAWN BY:
DATE: 03-19-18
SCALE: 1"=40'
PROJECT NO.: BFT-16099
FILE: BFT-16099 ADWG

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA.
MARK ELLIS LAMB, SR.
S.C.P.L.S. No. 23200
NOT VALID UNLESS CRIMPED WITH SEAL

ATLAS SURVEYING, INC.

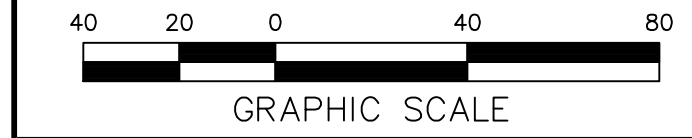
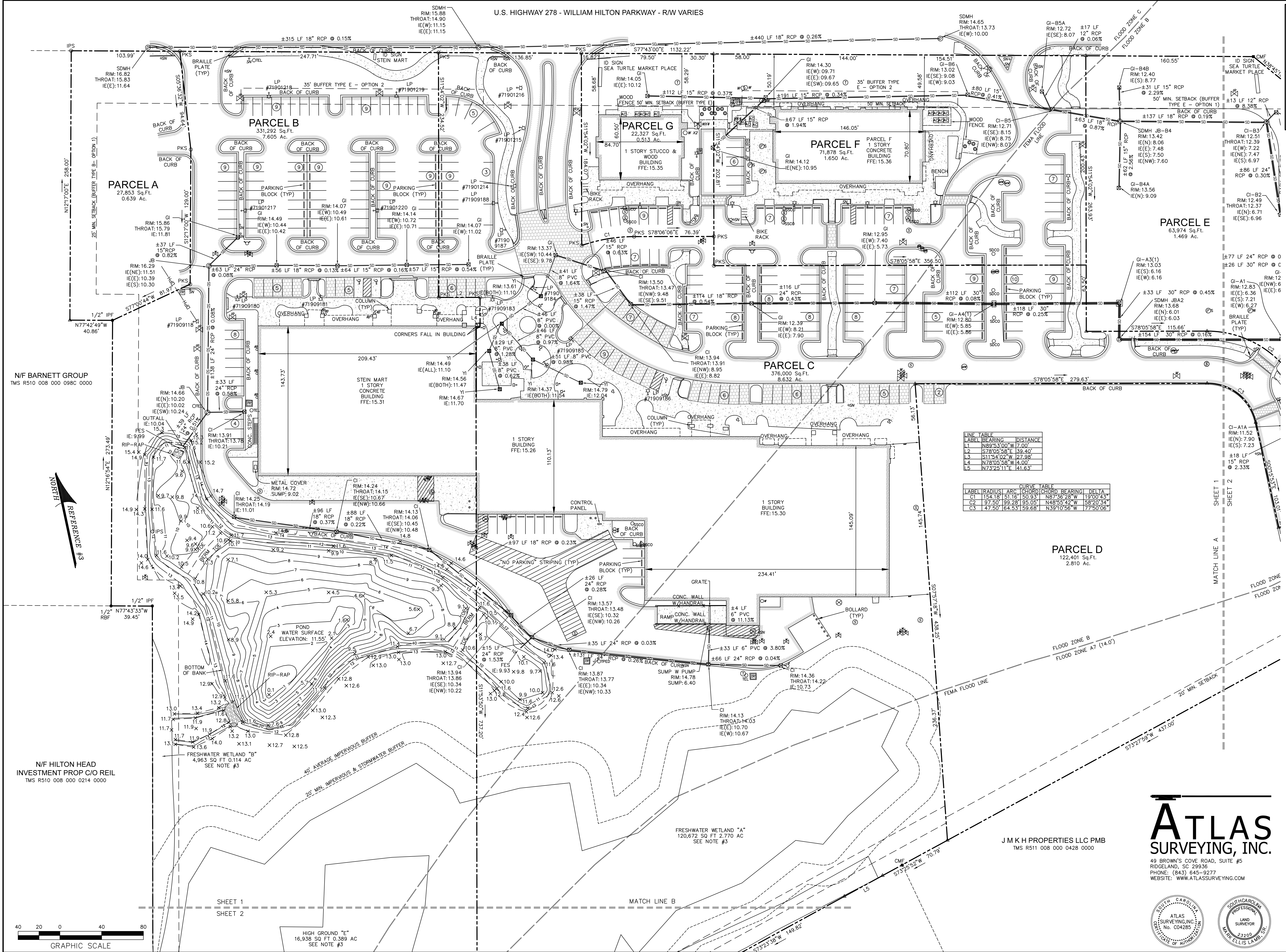
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



LINE TABLE
LABEL BEARING DISTANCE
L1 N89°53'00"W 17.00'
L2 S78°05'58"E 18.40'
L3 S11°40'2"W 27.98'
L4 N78°05'58"W 4.00'
L5 N73°25'11"E 141.63'

CURVE TABLE
LABEL RADIUS ARC CHORD CHORD BEARING DELTA
C1 154.18 51.16 150.93 N87°36'28"W 19°00'43"
C2 97.50 99.28 95.05 N48°55'42"W 58°20'34"
C3 47.50 64.53 59.68 N39°10'56"W 77°50'06"

TABLE with 4 columns: LABEL, RADIUS, ARC CHORD, CHORD BEARING, DELTA. Contains curve data for the site.



SHEET 1 SHEET 2

N/F HILTON HEAD INVESTMENT PROP C/O REIL TMS R510 008 000 0214 0000

N/F BARNETT GROUP TMS R510 008 000 098C 0000

REFERENCE #3

HIGH GROUND "E" 16,938 SQ FT 0.389 AC SEE NOTE #3

FRESHWATER WETLAND "A" 4,963 SQ FT 0.114 AC SEE NOTE #3

FRESHWATER WETLAND "B" 4,963 SQ FT 0.114 AC SEE NOTE #3

40' AVERAGE IMPERVIOUS BUFFER

20' MIN. IMPERVIOUS & STORMWATER BUFFER

1/2" IPF

1/2" IPF

1/2" IPF

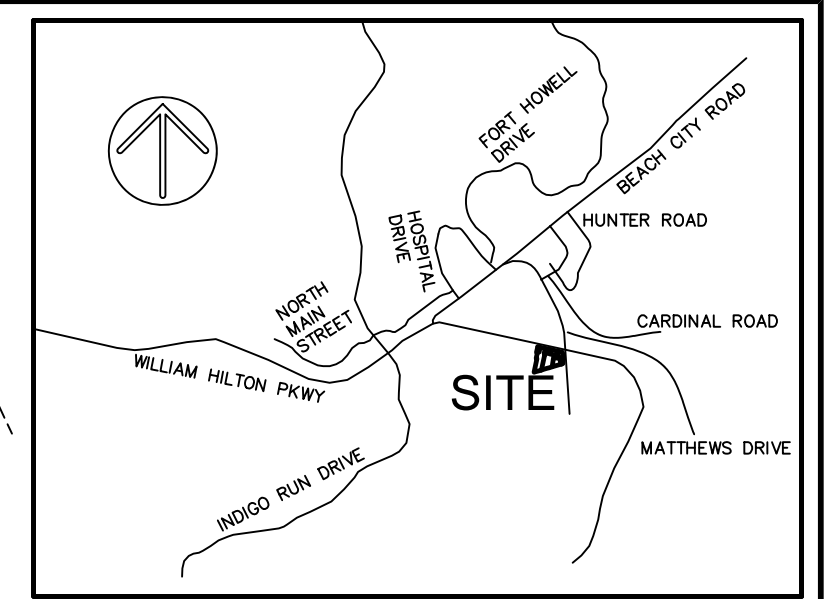
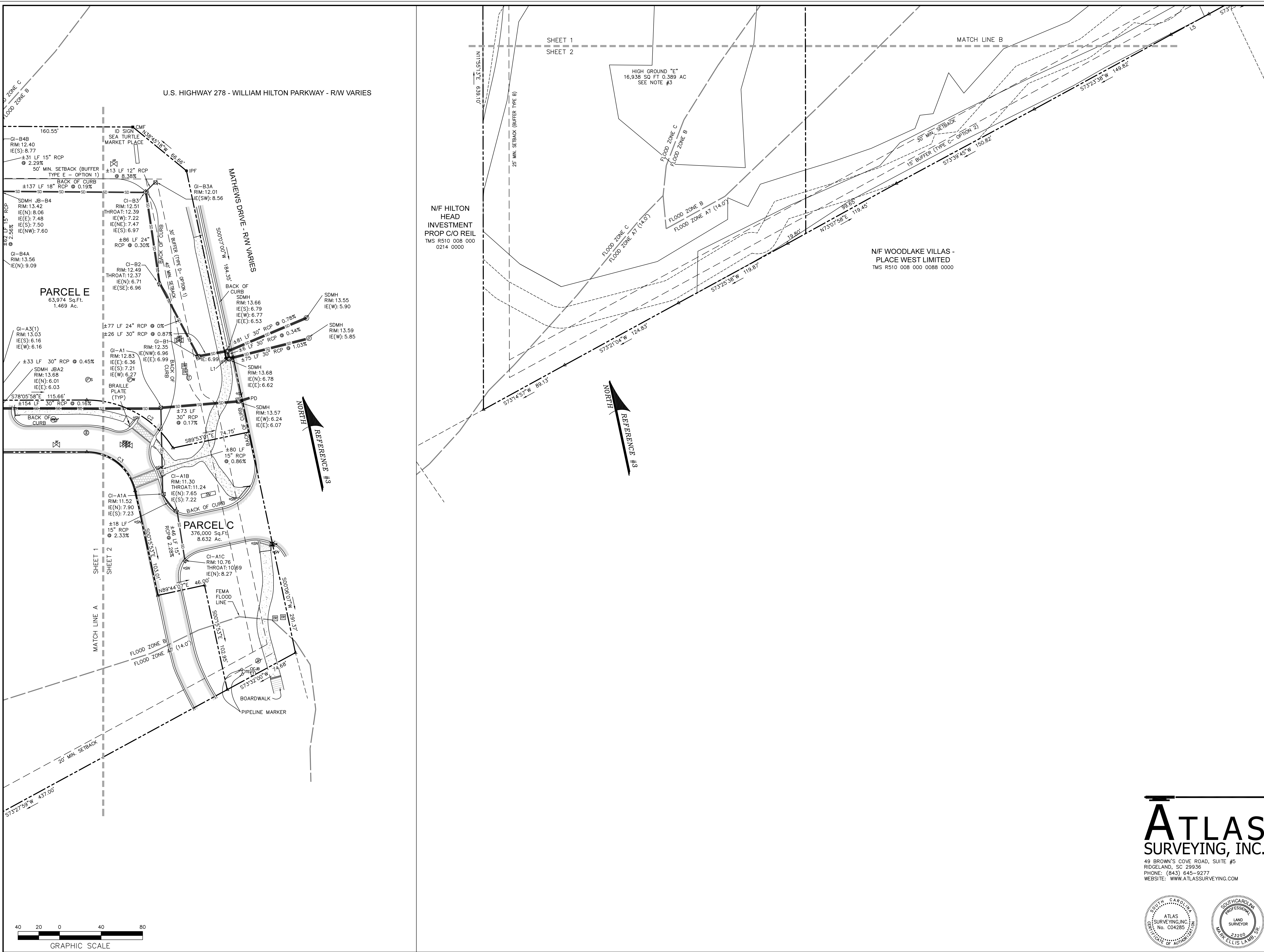
1/2" IPF

1/2" IPF

1/2" IPF

1/2" IPF

1/2" IPF



VICINITY MAP NOT TO SCALE

LEGEND

IPF	IRON PIPE FOUND
NF	NAIL FOUND
RBF	IRON REBAR FOUND
RD	ROOF DRAIN
CL	CLEAN OUT
BOLL	BOLLARD
CI	CURB INLET
FHY	FIRE HYDRANT
GI	GRATE INLET
FDC	FIRE DEPARTMENT CONNECTION
ICV	IRRIGATION CONTROL VALVE
LP	LIGHT POLE
MW	MONITORING WELL
SDM	STORM DRAIN MANHOLE
SN	SIGN
SSCO	SANITARY SEWER CLEAN OUT
SDCO	STORM DRAIN CLEAN OUT
SSM	SANITARY SEWER MANHOLE
OTL	TELEPHONE JUNCTION BOX
TM	TELEPHONE MANHOLE
OTPD	TELEPHONE PEDESTAL
TE	TRANSFORMER-ELECTRIC
J	JUNCTION BOX
WM	WATER METER
WV	WATER VALVE
YI	YARD INLET
SSL	SANITARY SEWER LATERAL OR STUBOUT
SSVM	SANITARY SEWER VALVE MARKER
WSSL	WATER LATERAL OR STUBOUT
MW	MONITORING WELL
IE	INVERT ELEVATION
#	# OF PARKING SPACES
RCP	REINFORCED CONCRETE PIPE
C	CONTOUR LINE
DPH	OVERHEAD POWER LINE
UDL	UNDERGROUND DRAINAGE LINE
E	EDGE OF PAVEMENT
C	CONCRETE
B	EDGE OF BRICK

- NOTES
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 - ADDED PHASE 2 AS-BUILT ON 9-27-17.
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- REFERENCE
- PLAT BOOK 145 PAGE 30
 - DEED BOOK 3519 PAGE 1473
 - A SET OF PLANS PROVIDED BY WARD EDWARDS, PROJECT NUMBER 130227, DATED 03-14-16.

PREPARED FOR:
SANDCASTLE CONSTRUCTORS INC
 AN AS-BUILT SURVEY OF
SEA TURTLE MARKETPLACE
#430 WILLIAM HILTON PARKWAY
 SHEET 2 OF 2

TAX PARCEL NOS.

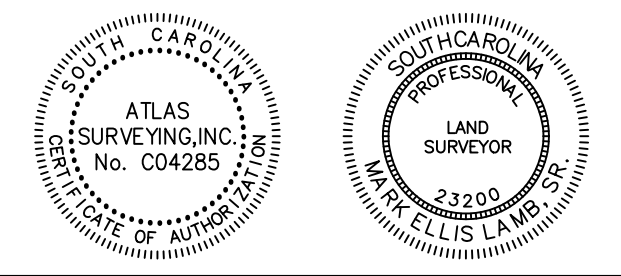
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RS11 008 000 098E 0000
RS11 008 000 098B 0000
RS11 008 000 0875 0000
RS11 008 000 0876 0000
RS11 008 000 0156 0000
RS11 008 000 0248 0000

HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: DAB
 FIELD CHECK: MEL
 DRAWN BY: ETJ
 DATE: 03-19-18
 SCALE: 1"=40'
 PROJECT No.: BFT-16099
 FILE: BFT-16099 A2.DWG

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA.

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BLAZE BEAUTY STUDIO







DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sea Turtle Marketplace

DRB#: DRB-001654-2023

DATE: 9/12/2023

CATEGORY: Concept Final **Alteration/Addition**

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed awning at the entrance is a pitch of 2/12 and the entrance height is 9'. Consider a steeper pitch for this entrance.
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting,	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

provide visual interest and screen less desirable elements of the project				
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

CONDITIONS & COMMENTS

Recommendation: Consider increasing the proposed pitch of the awning at the entrance to a 3/12 to match other entrances (currently 2/12).



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	8/16/27
Accepted by:	TW - #10
DRB #:	1593-23
Meeting Date:	

8/16/27

Applicant/Agent Name: <u>Merrill Pasco, Architect</u>	Company: <u>ROSTOV ENTERPRISES, LLC</u>
Mailing Address: <u>35 Sterling Point</u>	City: <u>Hilton Head Island</u> State: <u>SC</u> Zip: <u>29926</u>
Telephone: <u>843 301-2416</u> Fax: _____	E-mail: <u>merrill.pasco@gmail.com</u>
Project Name: <u>AURA - a boutique hotel</u>	Project Address: <u>10 Executive Park Road</u>
Parcel Number [PIN]: <u>R 552 000 0092</u>	
Zoning District: <u>LC</u>	Overlay District(s): <u>none</u>

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|-----------------------------------------------------------------------------|---------------------------------------------------------|
| <input checked="" type="checkbox"/> Concept Approval – Proposed Development | <input checked="" type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for *All* projects:

- N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- \$100 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- Y A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Y A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- Y A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- N/A Context photographs of neighboring uses and architectural styles.
- Y Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Y Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:
Final Approval – Proposed Development
 _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
 _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
 _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
 _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
 _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
 _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:
Alterations/Additions
 Y _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
 Y _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 Y _____ Photographs of existing structure.

Additional Submittal Requirements:
Signs
 _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

 For freestanding signs:
 _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 _____ Proposed landscaping plan.

 For wall signs:
 _____ Photograph or drawing of the building depicting the proposed location of the sign.
 _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

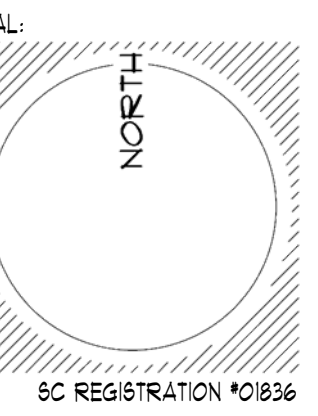
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO here

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

 SIGNATURE

 DATE



LOT 12-A

Trs LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
751 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
NAME
ADDRESS
PHONE
EMAIL

EXISTING/NEW
ELEVATIONS

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:
1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

ISSUE: September 4, 2023

PRICING
BIDDING
CONSTRUCTION

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SHEET: OF:

A.4



A4: 5 EX. RT. ELEVATION

SCALE: 1/8" = 1'-0"



A4: 1 EX. FRONT ELEVATION

SCALE: 1/8" = 1'-0"



A4: 6 NEW RT. ELEVATION

SCALE: 1/8" = 1'-0"



A4: 2 NEW FRONT ELEVATION

SCALE: 1/8" = 1'-0"



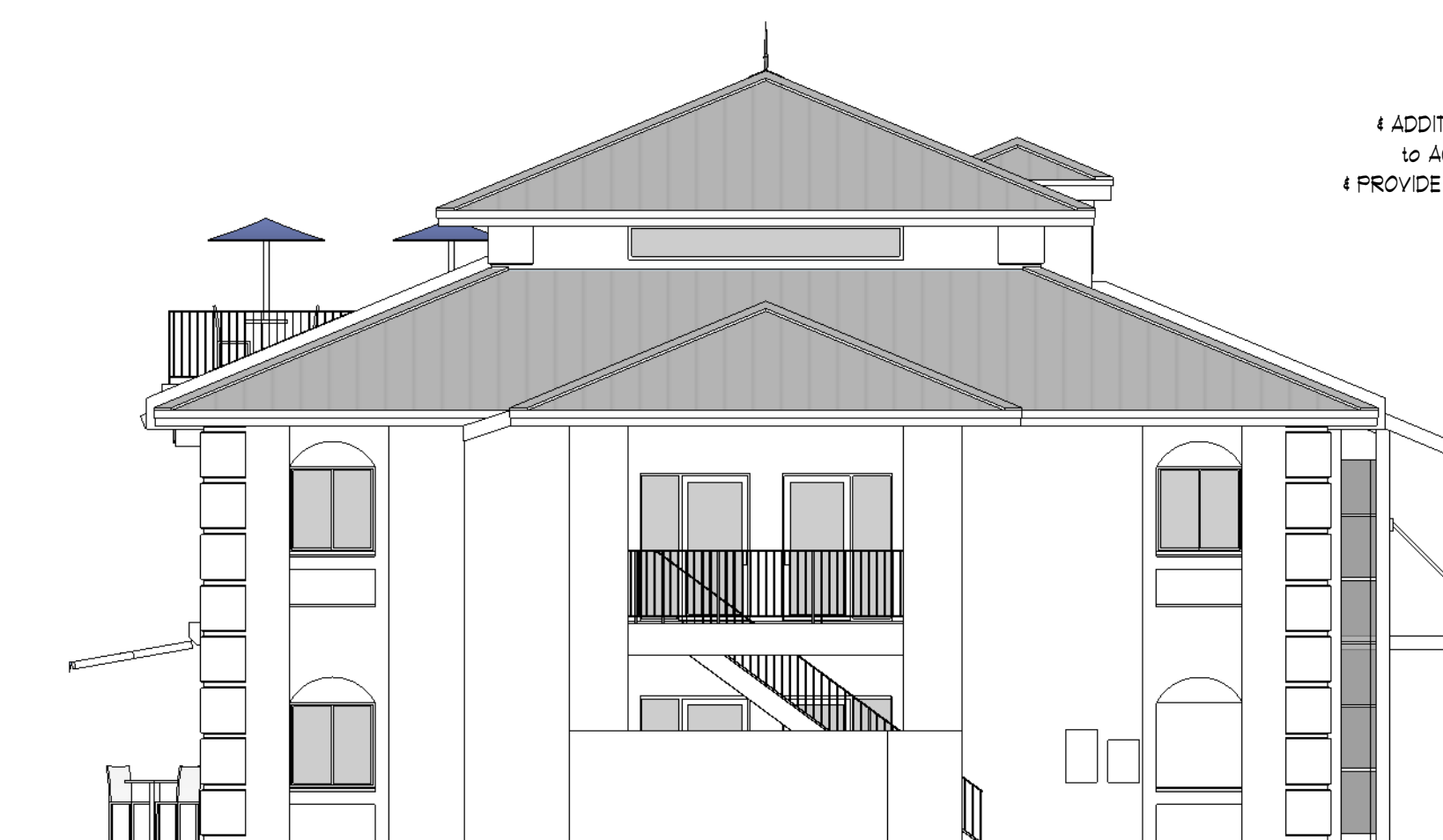
A4: 7 EX. LEFT ELEVATION

SCALE: 1/8" = 1'-0"



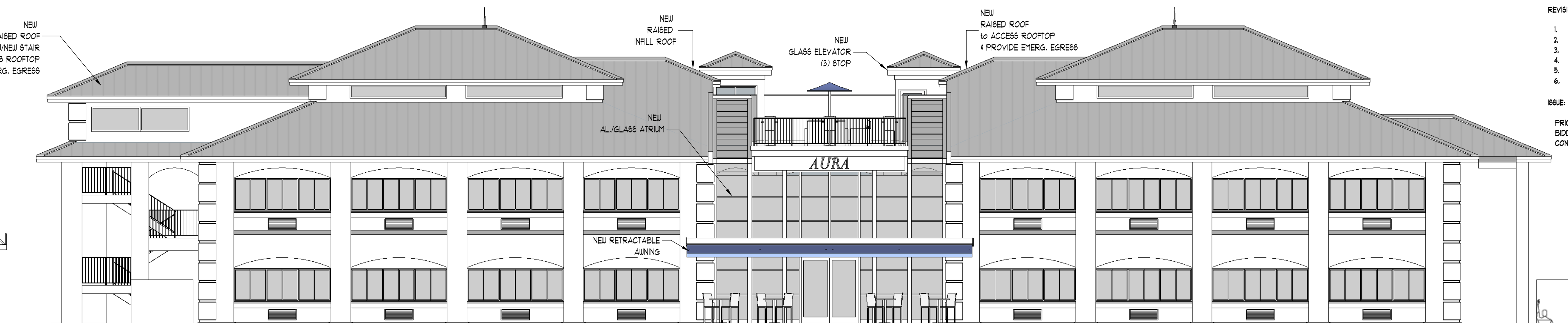
A4: 3 EX. REAR ELEVATION

SCALE: 1/8" = 1'-0"



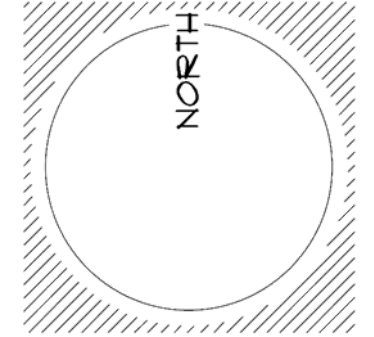
A4: 8 NEW LEFT ELEVATION

SCALE: 1/8" = 1'-0"



A4: 4 NEW REAR ELEVATION

SCALE: 1/8" = 1'-0"



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

#10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCE.ROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
NAME
ADDRESS
PHONE
EMAIL

EXISTING/NEW
ELEVATIONS
&
PERSPECTIVES

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

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- 3. _____
- 4. _____
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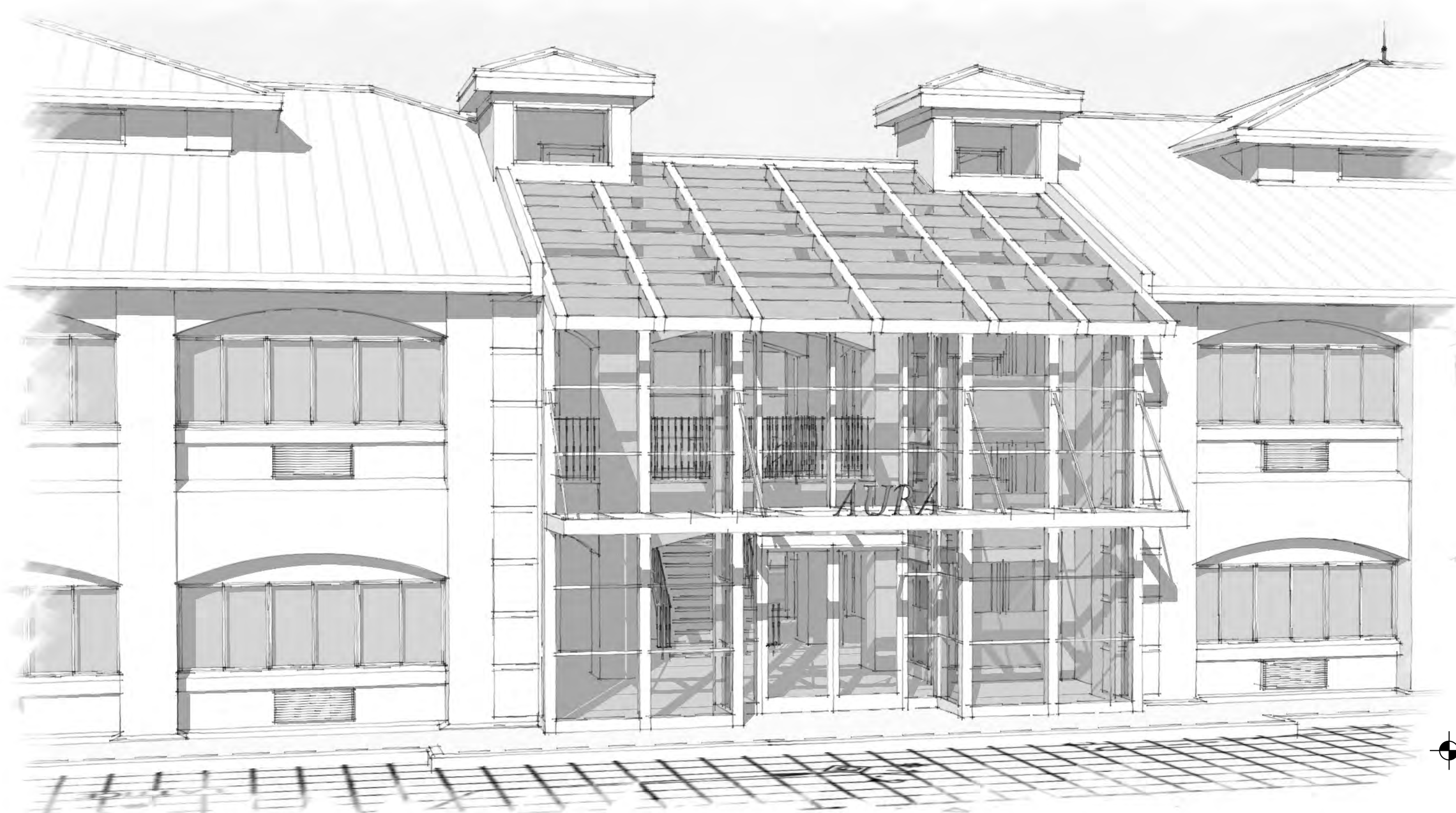
A5: 1 EX. ENTRY PERSPCT'V.

EX. SLAB ELEV. + 12.50' MSL



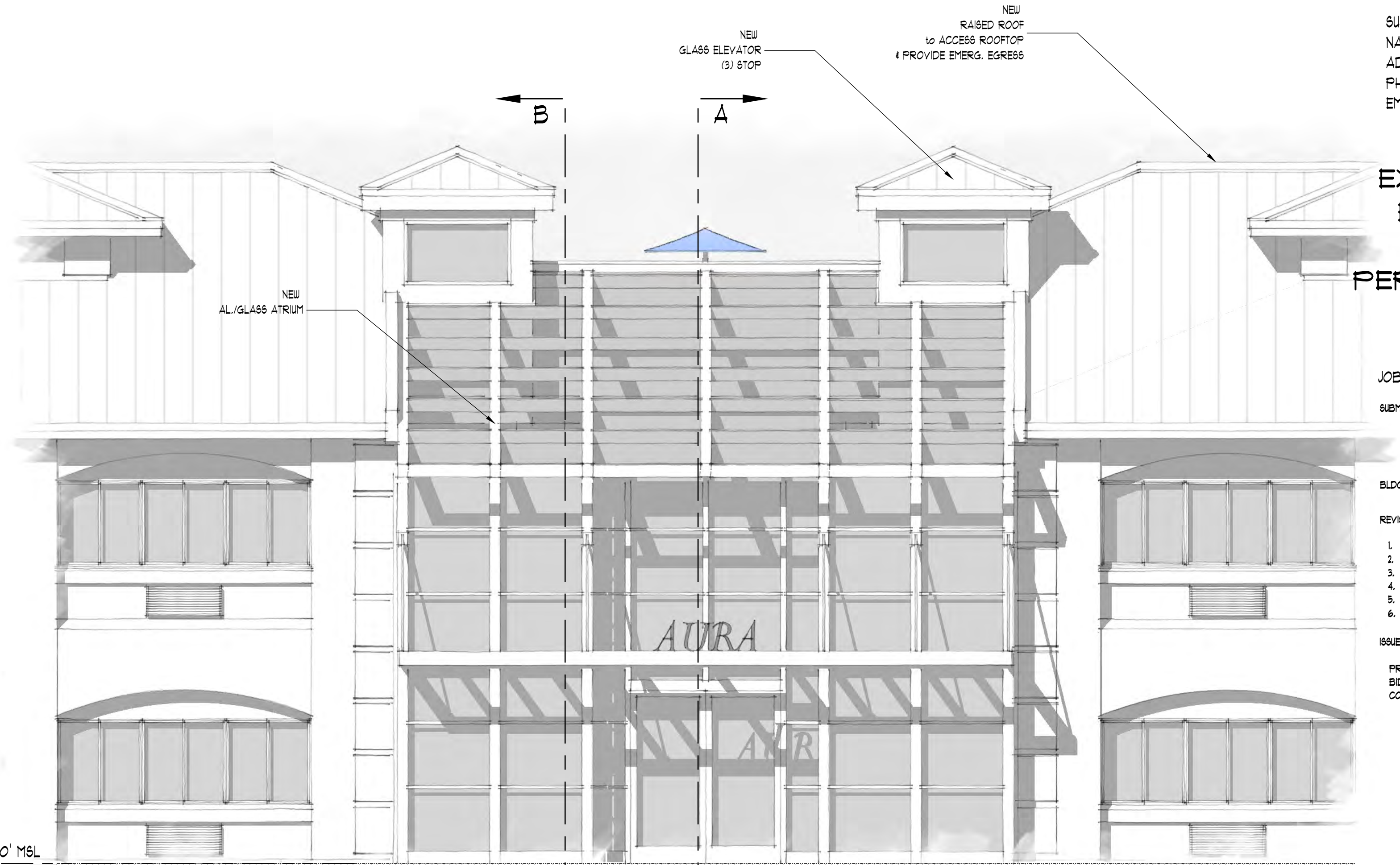
A5: 2 EX. ENTRY ELEV.

SCALE: 1/4" = 1'-0"



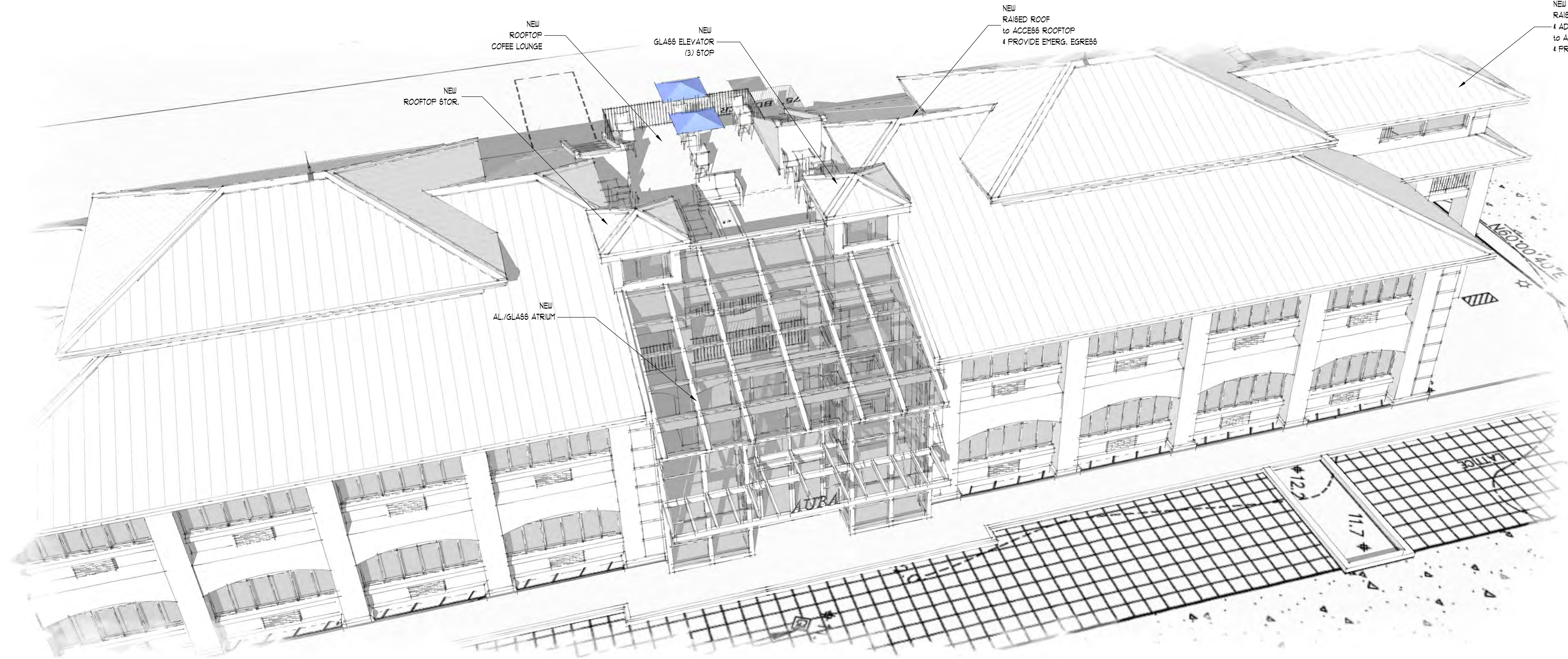
A5: 3 NEW ENTRY PERSPCT'V.

NEW SLAB ELEV. + 13.00' MSL

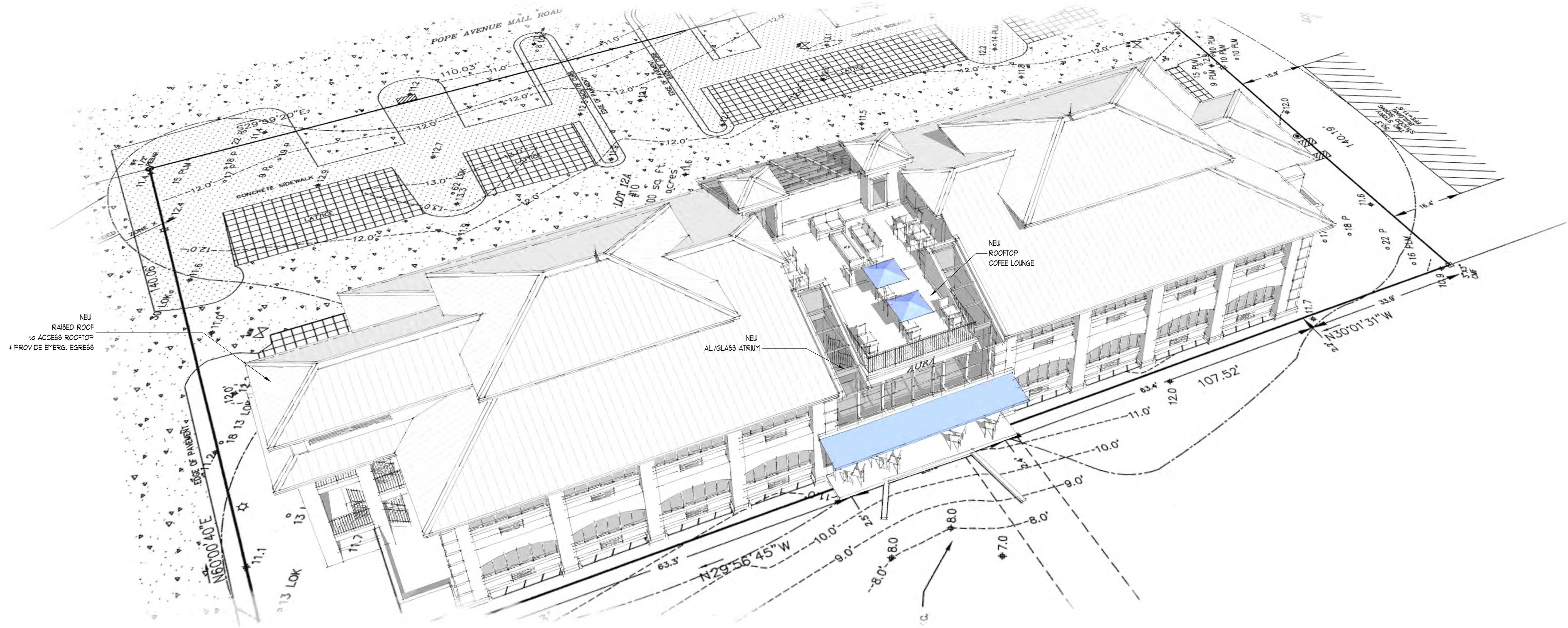


A5: 4 NEW ENTRY ELEV.

SCALE: 1/4" = 1'-0"

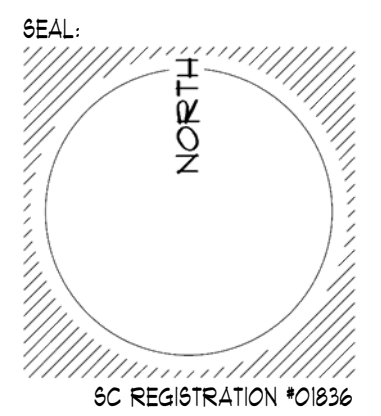


A6: 1 ENTRY AERIAL



A6: 2 REAR AERIAL

PASCO / VIENNE
ARCHITECTURE
 H MERRILL PASCO
 1.843.301.2416
 MERRILL.PASCO@GMAIL.COM
 CHARLES E VIENNE
 1.843.384.1540
 CEVIENNE@ROADRUNNER.COM



LOT 12-A
 F&A LOTS 12 & 13
 POPE AVENUE EXECUTIVE PARK
 *10 EXECUTIVE PARK ROAD
 HILTON HEAD ISLAND, SC 29928
 PIN R552 015 000 0092 0000

OWNER:
 VINCE ROSTOV
 % ROSTOV ENTERPRISES LLC
 151 NW 5TH ST. #2
 FORT LAUDERDALE FL 33309
 1.954.560.3601
 VINCEROSTOV@GMAIL.COM

CONTRACTOR:
 NAME
 ADDRESS
 PHONE
 EMAIL

SURVEYOR:
 NAME
 ADDRESS
 PHONE
 EMAIL

AERIAL'S

JOB# _____

SUBMITTALS:

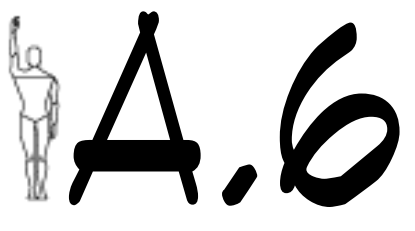
BLDG PERMIT _____

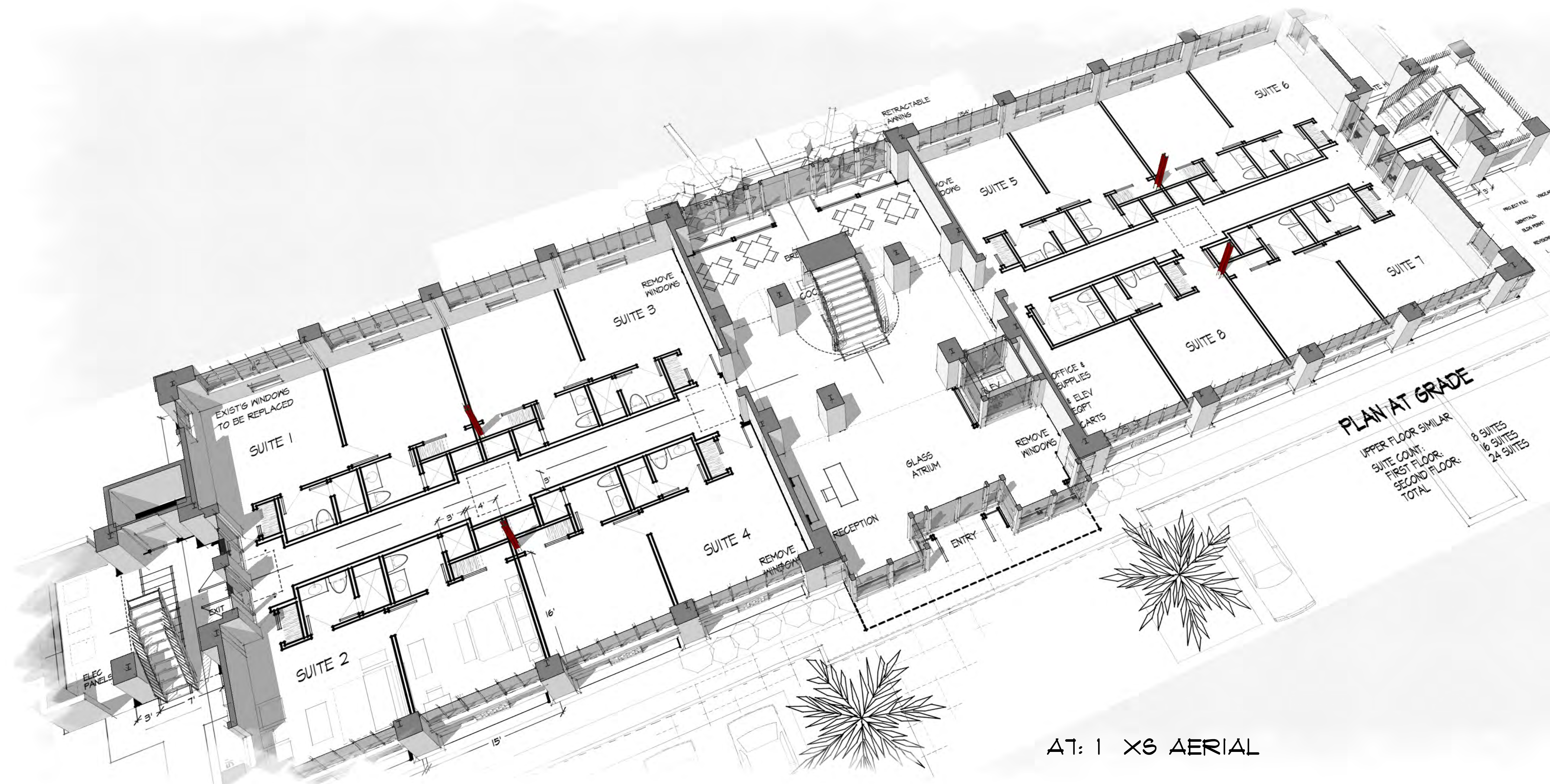
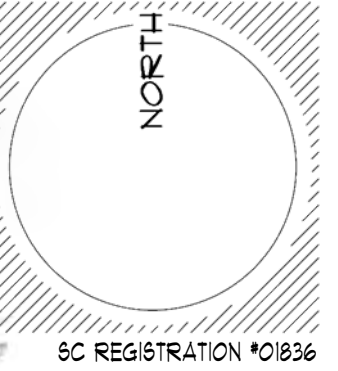
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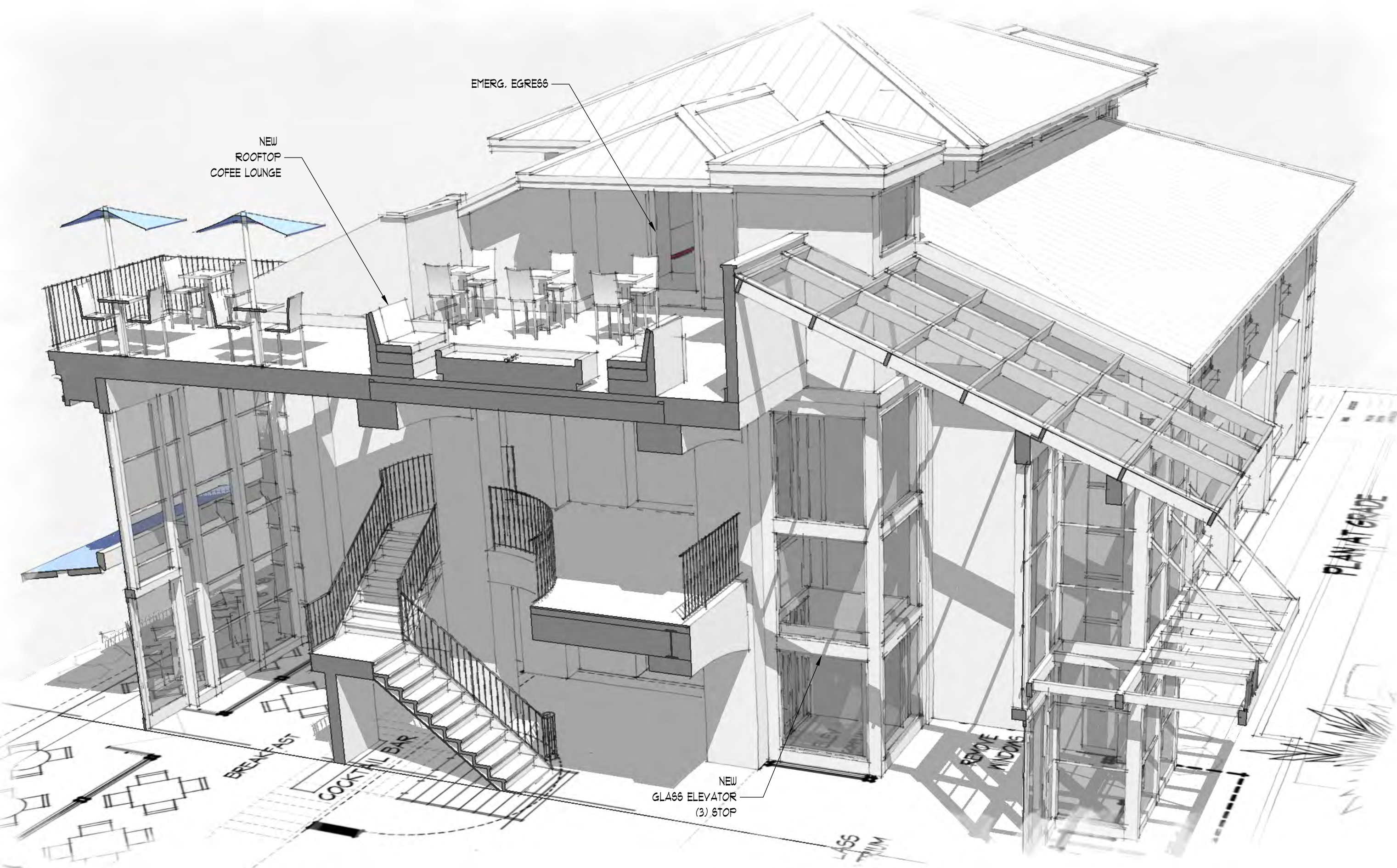
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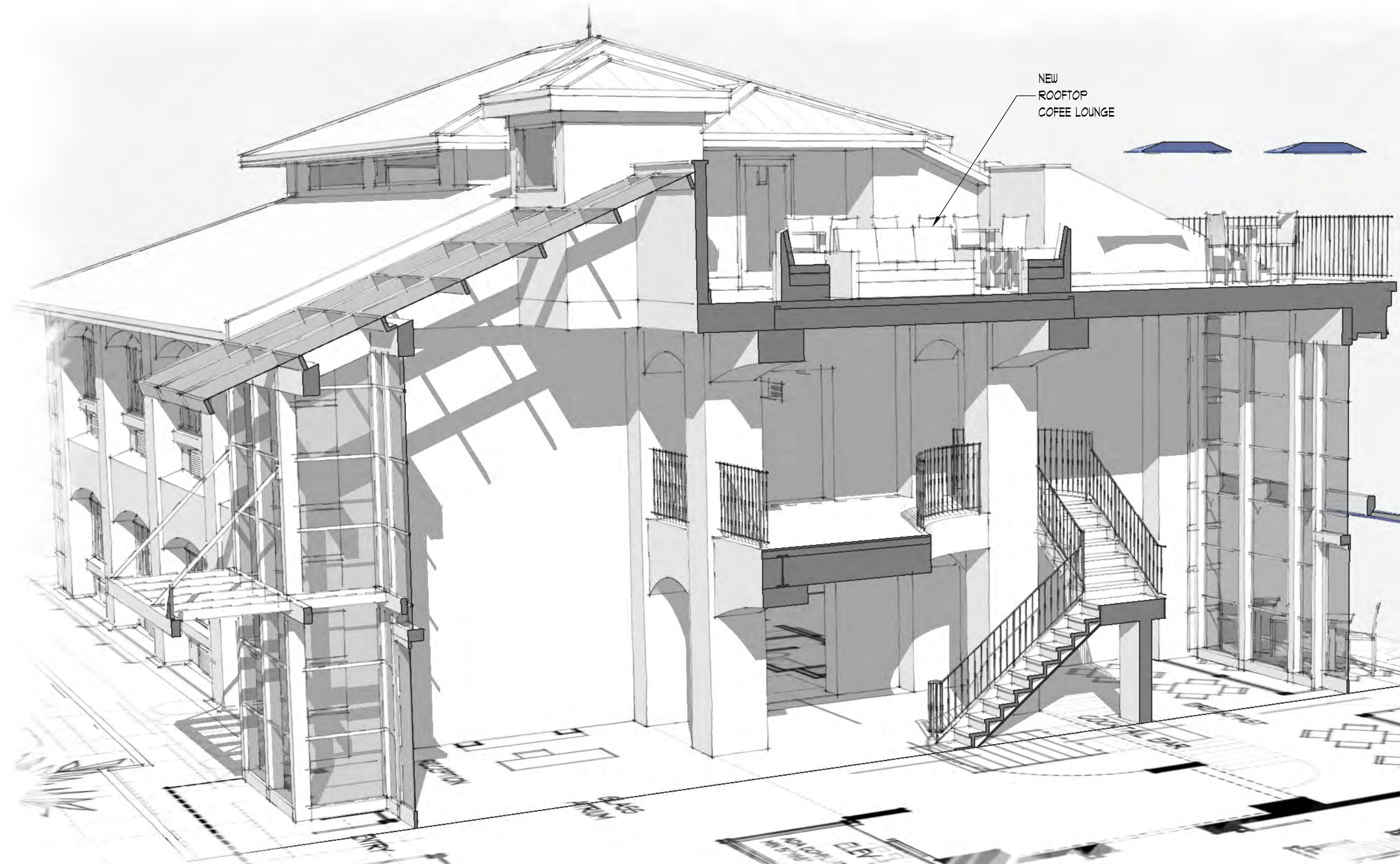


PLAN AT GRADE
UPPER FLOOR SIMILAR
SUITE COUNT:
FIRST FLOOR: 8 SUITES
SECOND FLOOR: 16 SUITES
TOTAL: 24 SUITES

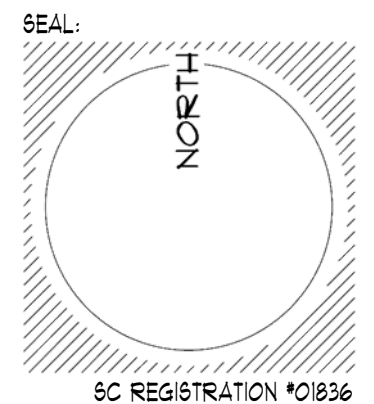
AT: 1 X5 AERIAL



AT: 2 MODEL X5 "A"



AT: 3 MODEL X5 "B"



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
NAME
ADDRESS
PHONE
EMAIL

ROOF-TOP
EMERG.
STAIR ADD.

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

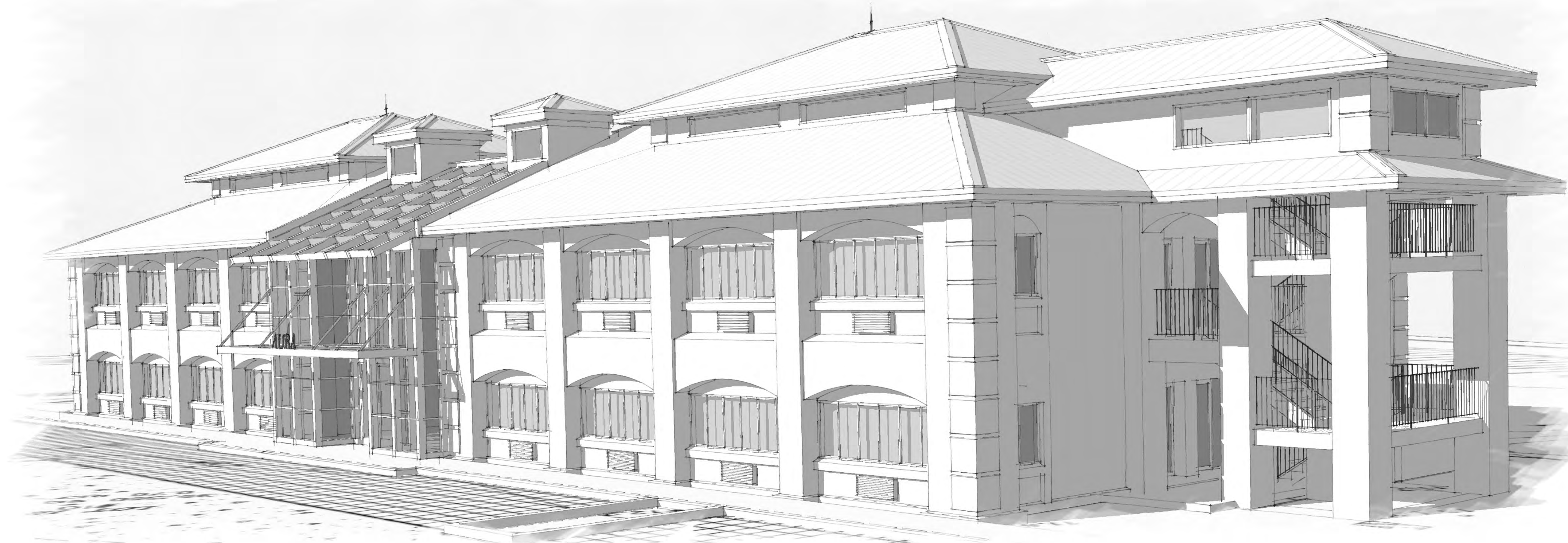
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ISSUE: September 4, 2023

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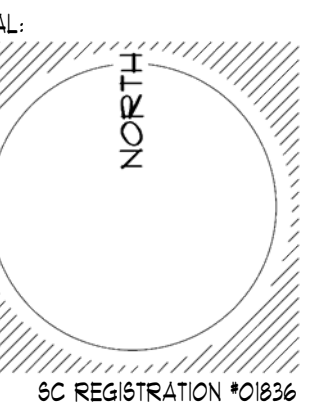
SHEET: OF:



A8: 1 ROOF-TOP EMERG. STAIR ADDITION



A8: 2 ROOF-TOP EMERG. STAIR ADDITION



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

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HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

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151 NW 5TH ST. #2
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1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
NAME
ADDRESS
PHONE
EMAIL

MODEL X6's

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

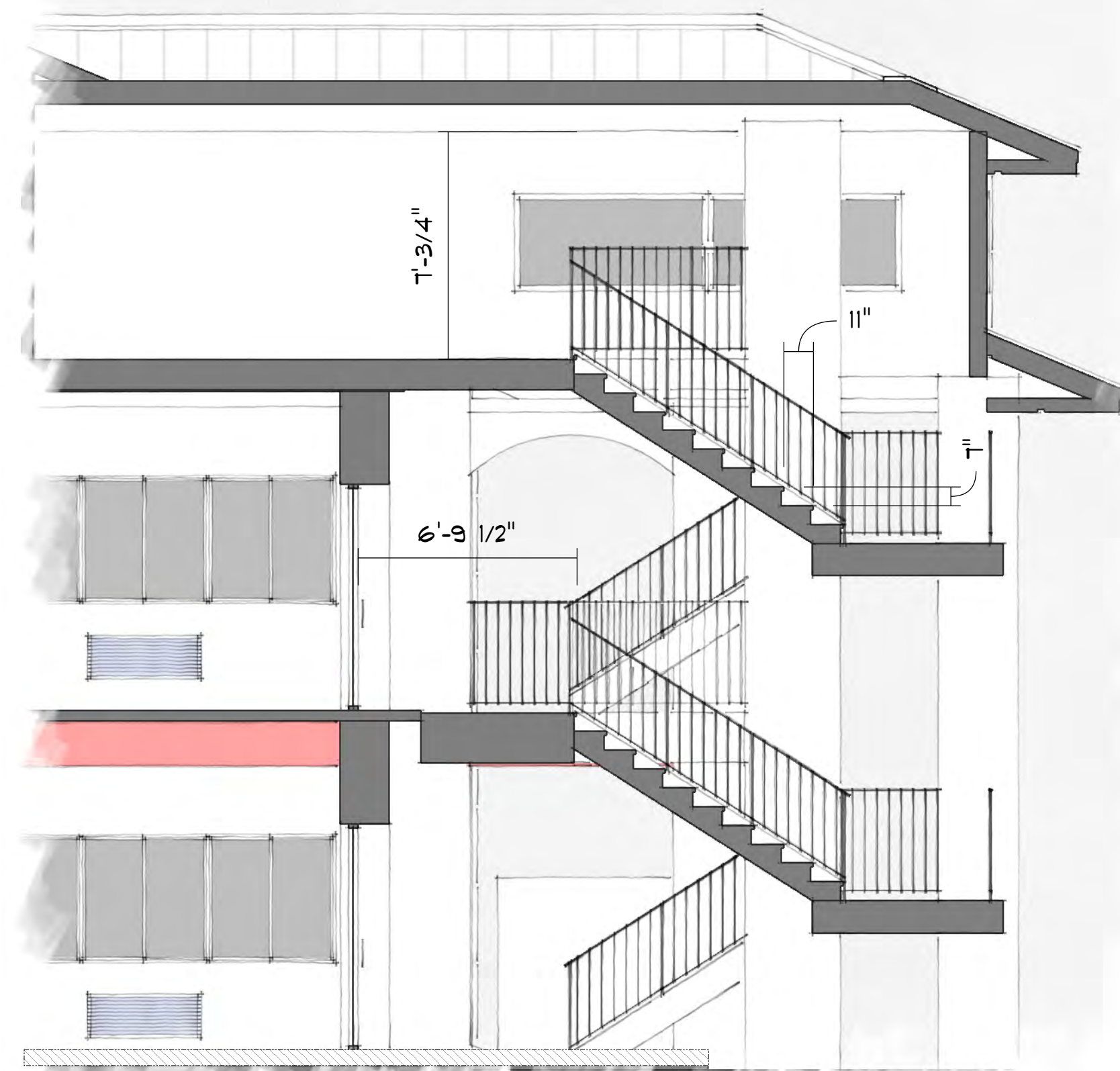
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ISSUE: September 4, 2023

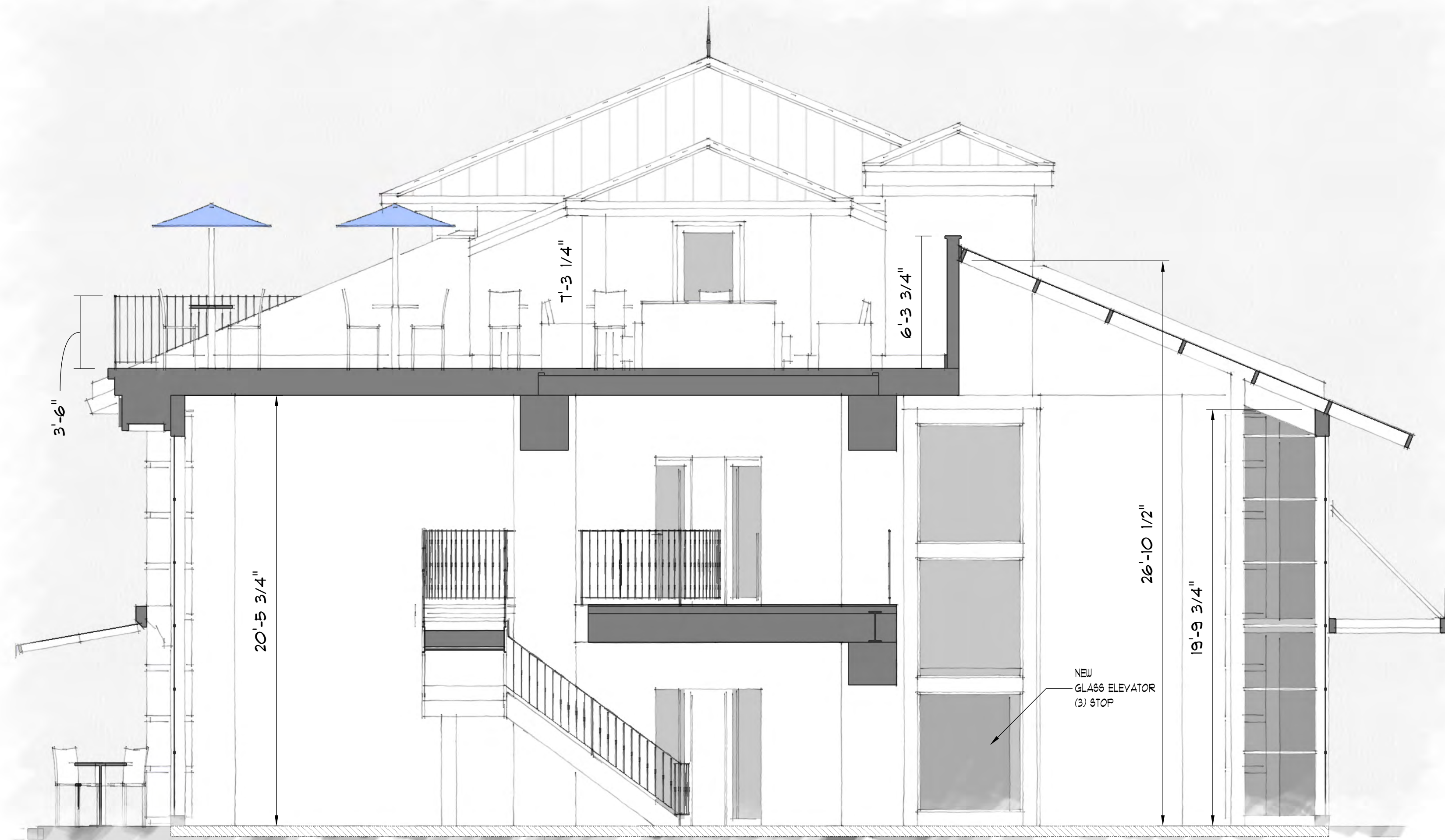
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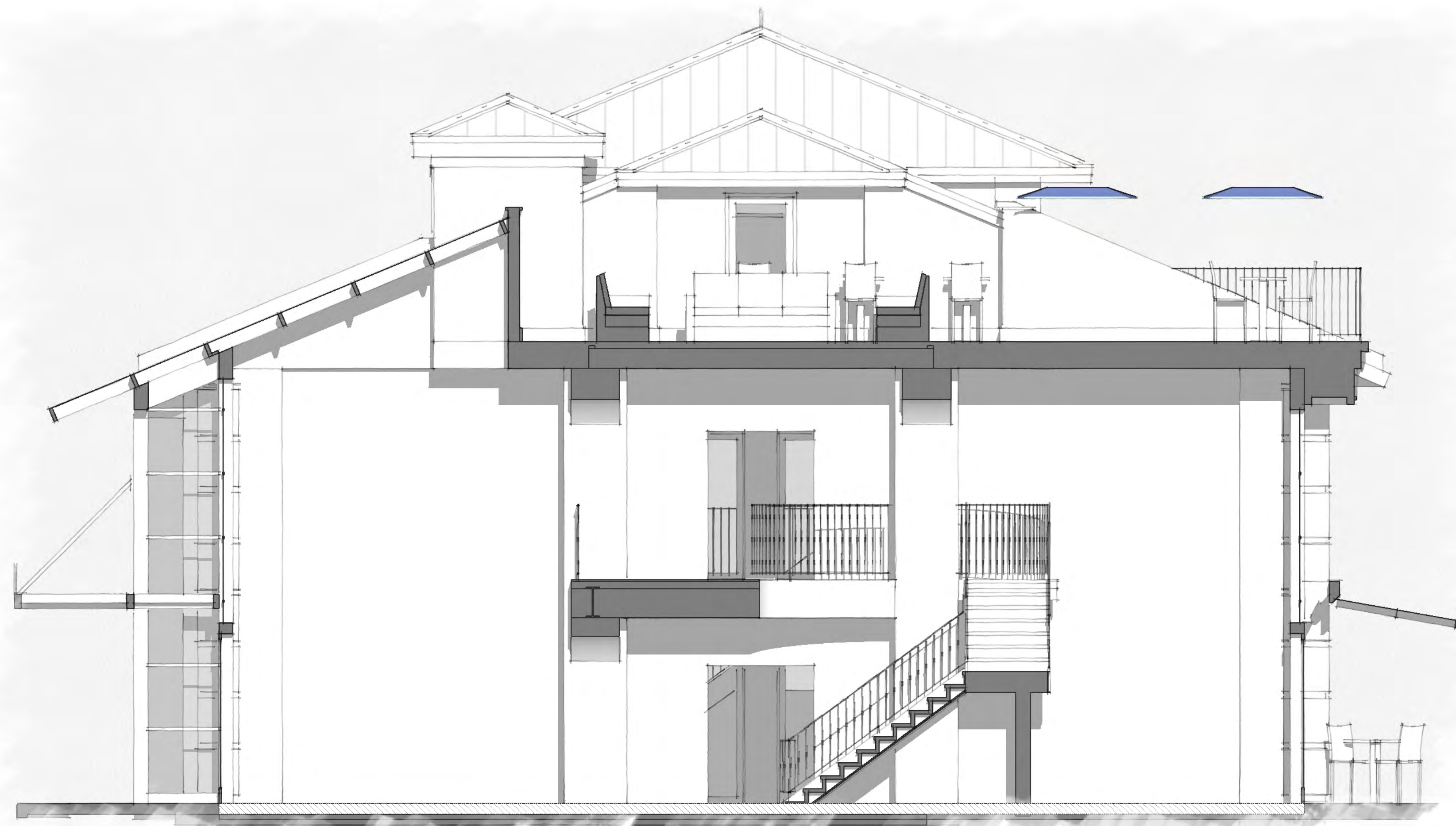
A9: 3 MODEL X6 "C" @ N. STAIR SCALE: 1/4" = 1'-0"



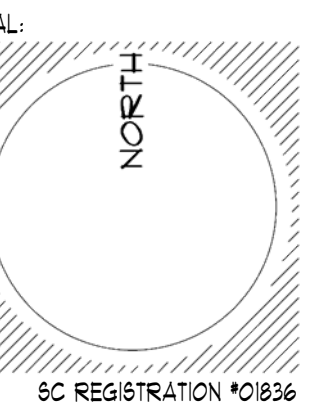
A9: 1 MODEL X6 "A" SCALE: 1/4" = 1'-0"



A9: 3 MODEL X6 "C" @ LOUNGE SCALE: 1/4" = 1'-0"



A9: 2 MODEL X6 "B" SCALE: 1/4" = 1'-0"



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
NAME
ADDRESS
PHONE
EMAIL

3D MODEL
over
SURVEY

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

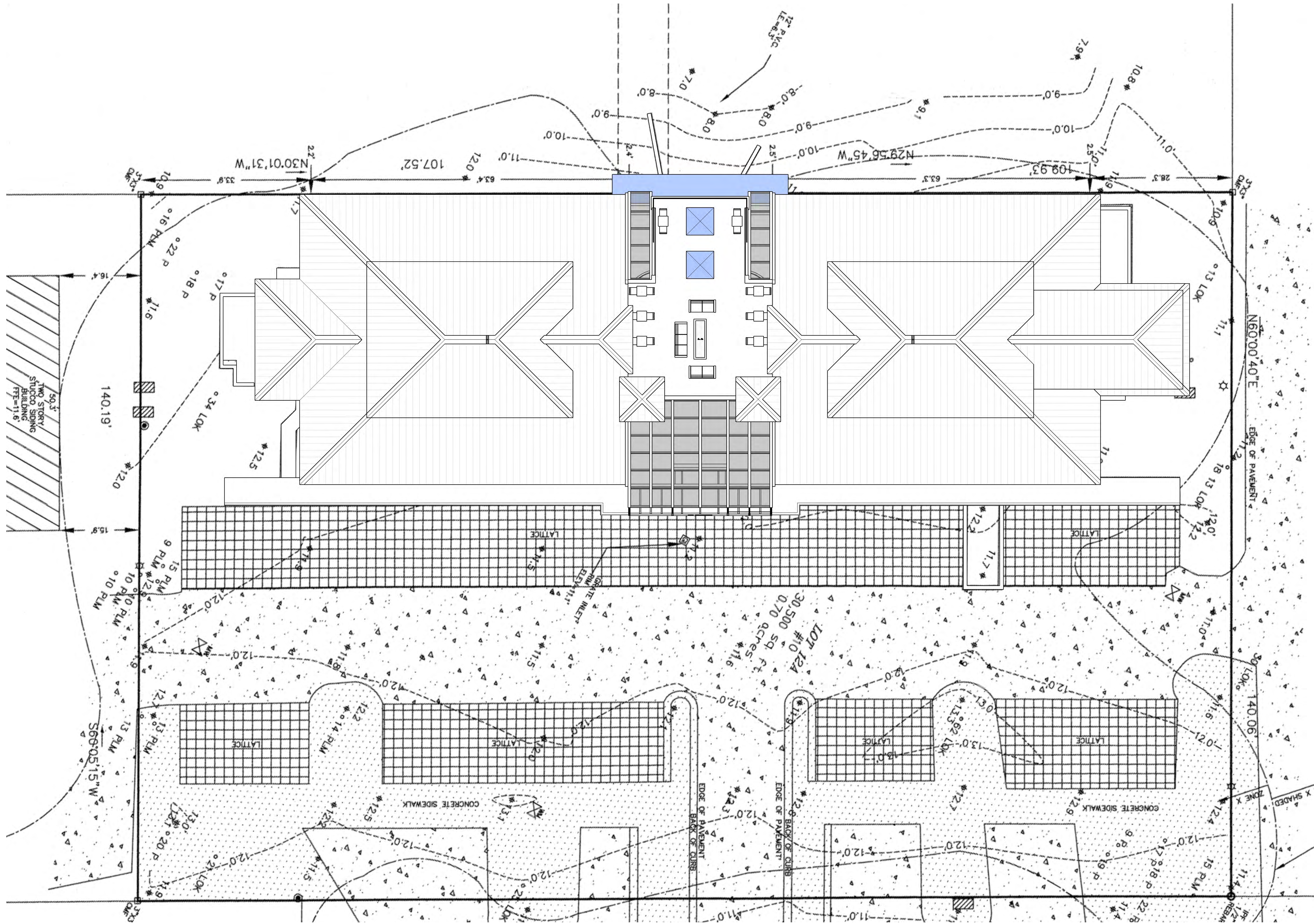
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- 6. _____

ISSUE: September 4, 2023

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BIDDING
CONSTRUCTION

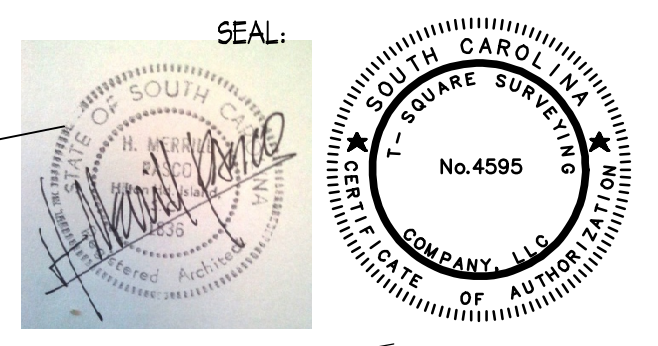
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SHEET: OF:



A10: 1 3D MODEL over SURVEY

SCALE: 1/8" = 1'-0"

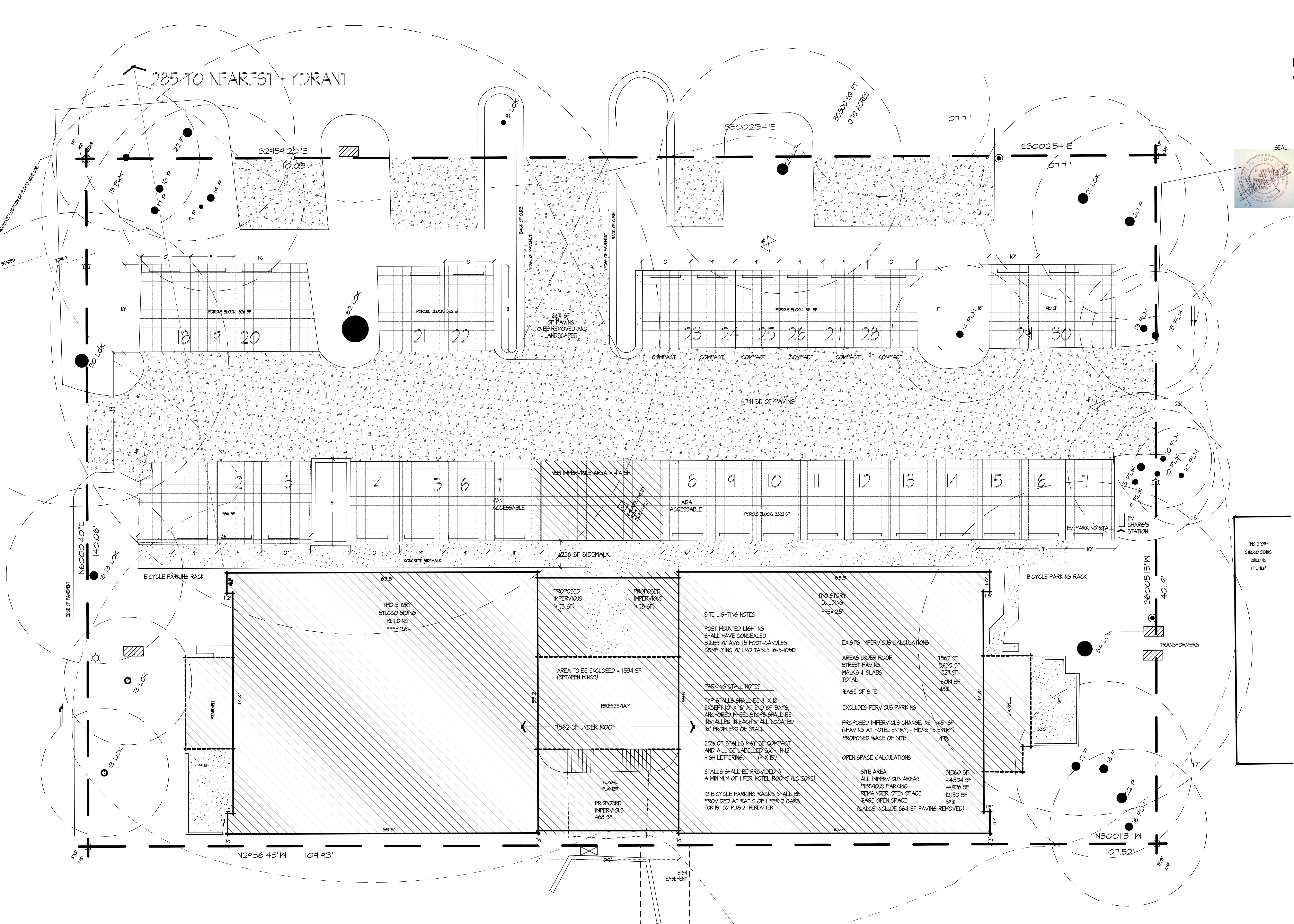


#10 EXECUTIVE PARK RD
 HILTON HEAD ISLAND
 R52 015 000 0042

OWNER: VINCE ROSTOV & ROSTOV ENTERPRISES LLC
 781 NW 5TH ST #2
 FORT LAUDERDALE FL 33304
 CONTACT: 954 560-3601
 VINCE.ROSTOV@GMAIL.COM

SURVEY & SITE PLAN

THE AURA



SITE LIGHTING NOTES
 POST MOUNTED LIGHTING SHALL HAVE CONCEALED BULBS W/ AVG 15 FOOT CANDLES COMPLYING W/ LMO TABLE 16-5-108D

PARKING STALL NOTES
 TYP STALLS SHALL BE 9' X 18' EXCEPT 10' X 18' AT END OF BAYS, ANCHORED WHEEL STOPS SHALL BE INSTALLED IN EACH STALL LOCATED 18" FROM END OF STALL
 20% OF STALLS MAY BE COMPACT AND WILL BE LABELLED SUCH IN 12" HIGH LETTERING (9' X 15')
 STALLS SHALL BE PROVIDED AT A MINIMUM OF 1 PER HOTEL ROOMS (LC ZONE)
 12 BICYCLE PARKING RACKS SHALL BE PROVIDED AT RATIO OF 1 PER 2 CARS FOR 1ST 20 PLUS 2 THEREAFTER

EXISTING IMPERVIOUS CALCULATIONS

AREAS UNDER ROOF	7362 SF
STREET PAVING	5430 SF
WALKS & SLABS	1527 SF
TOTAL	15,019 SF
%AGE OF SITE	48%

EXCLUDES PERVIOUS PARKING

PROPOSED IMPERVIOUS CHANGE: NET 445 SF (PAVING AT HOTEL ENTRY, - MID-SITE ENTRY)
 PROPOSED %AGE OF SITE 47%

OPEN SPACE CALCULATIONS

SITE AREA	31360 SF
ALL IMPERVIOUS AREAS	-14304 SF
PERVIOUS PARKING	-4926 SF
REMAINDER OPEN SPACE	12130 SF
%AGE OPEN SPACE	39%

(CALCS INCLUDE 864 SF PAVING REMOVED)

AREA TO BE ENCLOSED = 1534 SF (BETWEEN WINGS)

BREEZEWAY
 7362 SF UNDER ROOF

REMOVE PLANTER
 PROPOSED IMPERVIOUS 468 SF

PROJECT FILE: VINCEABC

SUBMITTALS:
 BLDG PERMIT _____

REVISIONS:

1.	_____
2.	_____
3.	_____
4.	_____
5.	_____
6.	_____

DATE: 8/2/2023

PRICING _____
 SCOPING _____
 CONSTRUCTION _____

SEAL:

#10
EXECUTIVE
PARK RD

HILTON HEAD ISLAND
RSB2 015 000 0042

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
781 NW 57TH ST #2
FORT LAUDERDALE FL 33304

CONTACT:
954 560-2601
VINCEROSTOV@GMAIL.COM

LANDSCAPE
PLANTING
PLAN

PLANT MATERIAL:

- | | | | |
|----|-------------------------|-----|--------------------|
| 3 | LAGERSTROMIA NATCHEZ | 156 | WHITE GREPE MYRTLE |
| 28 | MUHLENBERGIA CAPILLARIS | 36 | MUHLY GRASS |
| 16 | VIBURNUM ODORISSIMUM | 36 | SWEET VIBURNUM |
| 22 | LUGUSTRUM JAPONICA | 36 | LAGUSTRUM |
| 7 | OSMANTHUS FRAGRANS | 36 | TEA OLIVE |
| 16 | PITTIOSPORUM TOBIRA | 36 | DWARF MOCK ORANGE |

THIS SCHEDULE EXCLUDES OFF-SITE BUFFER PLANTING
(SEE S.5)

PROJECT FILE: VINCEAEC

SUBMITTALS:
BLDG PERMIT _____

REVISIONS:
1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

ISSUE: 9/1/2023

PRELIM _____
BIDDING _____
CONSTRUCTION _____

DATE: 9/1/2023

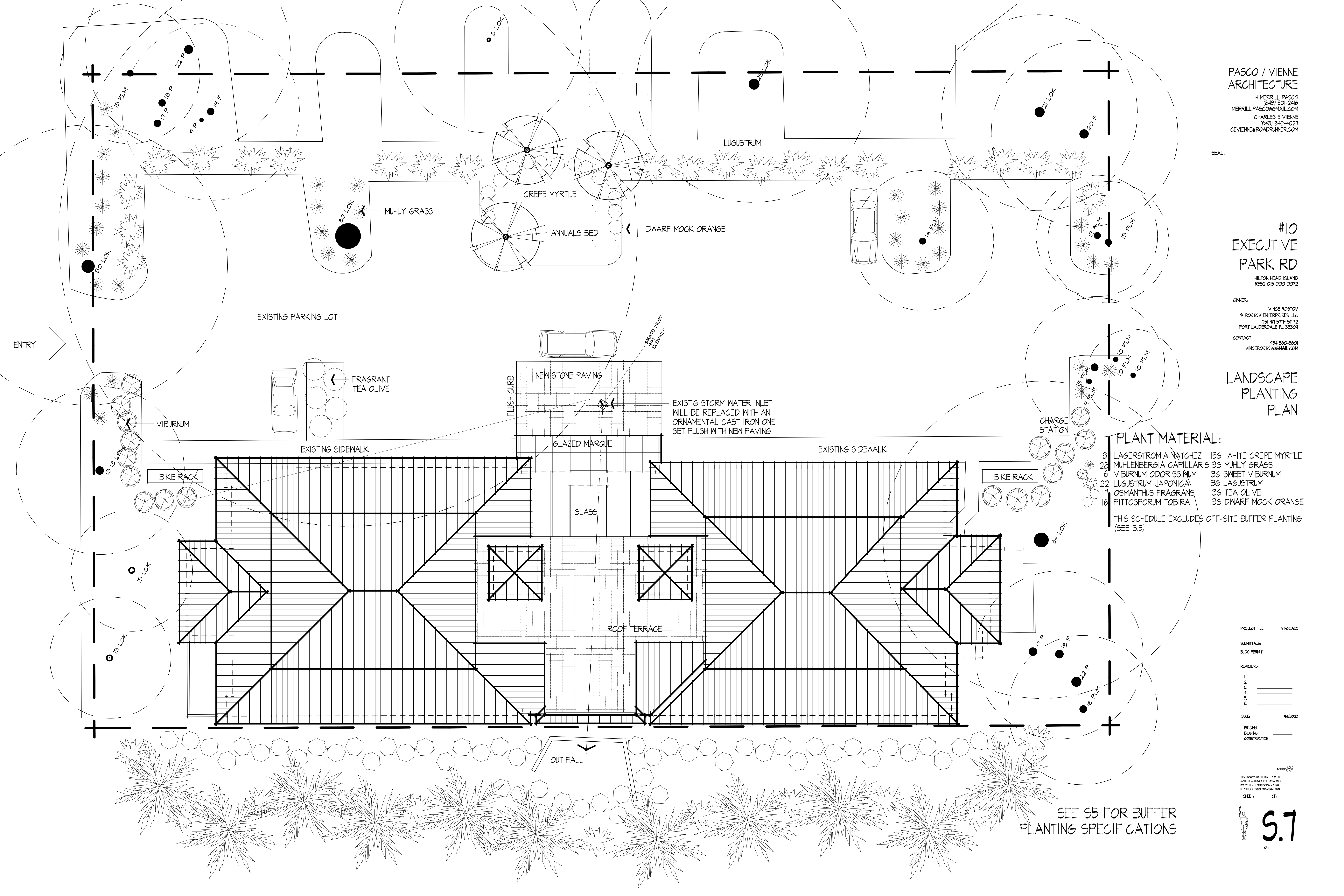
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNLESS OTHERWISE NOTED, THEY ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND SIGNATURE OF THE ARCHITECT.

SHEET: 01

SEE S5 FOR BUFFER
PLANTING SPECIFICATIONS

01

01



EXISTING PARKING LOT

ENTRY

FRAGRANT
TEA OLIVE

FLUSH CURB

NEW STONE PAVING

EXIST'G STORM WATER INLET
WILL BE REPLACED WITH AN
ORNAMENTAL CAST IRON ONE
SET FLUSH WITH NEW PAVING

GLAZED MARQUE

EXISTING SIDEWALK

BIKE RACK

BIKE RACK

GLASS

ROOF TERRACE

OUT FALL

CHARGE
STATION

GREPE MYRTLE

ANNUALS BED

DWARF MOCK ORANGE

MUHLY GRASS

LUGUSTRUM

15 PLY

22 P

17 P

18 P

19 P

9 P

8 LOK

23 LOK

21 LOK

20 P

14 PLY

15 PLY

15 PLY

10 PLY

10 PLY

10 PLY

10 PLY

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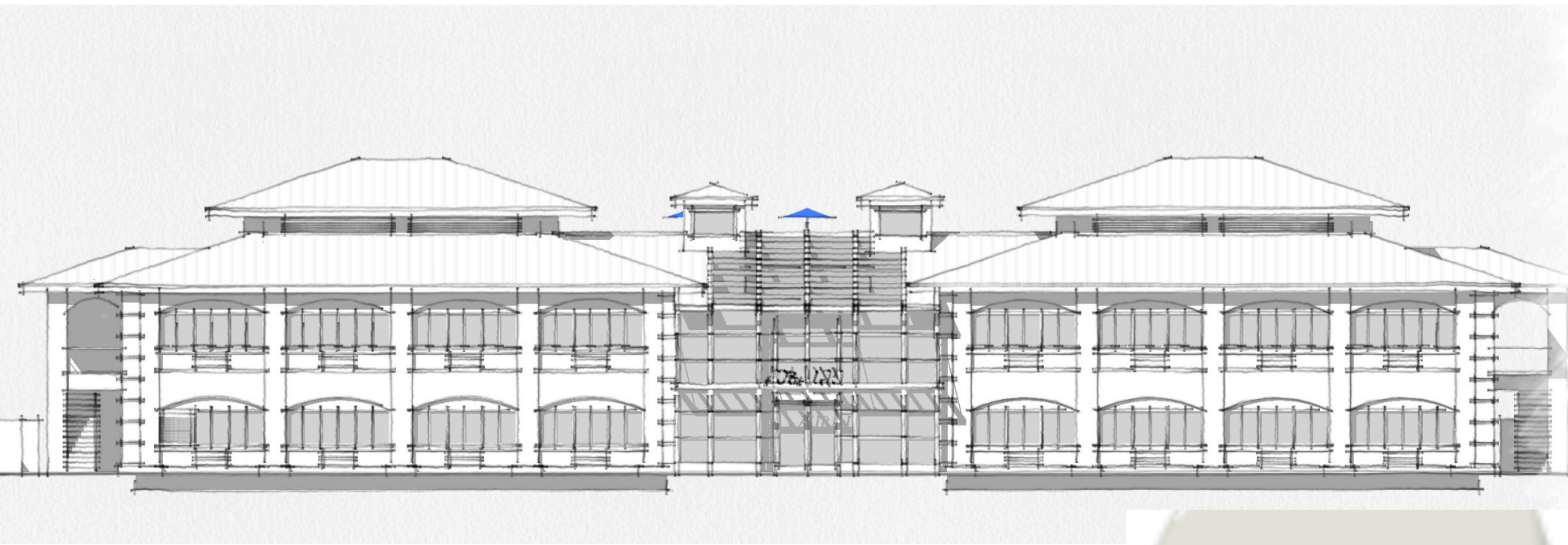
10 PLY

10 PLY

10 PLY

10 PLY

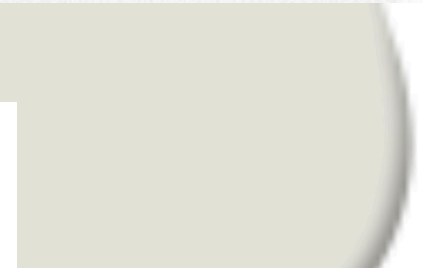
10 PLY



ENTRY ELEVATION

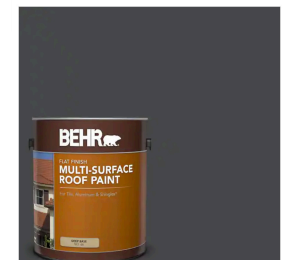
- RE-PANDED STUCCO: BM "Silver Satin" OC-26 aka #856 (elastomeric stucco paint)
- ALL NEW WINDOWS: mulled fixed, by Muhler Glass Co: "Anthracite"
- NEW AC UNITS : painted to match stucco in "Silver Satin"
- METAL ROOF re-painted Beyer Roof Paint: "Slate" RP-32
- GLAZED ATRIUM: impact glass in grey tint, low-E
- ATRIUM FRAMING aluminum tubular members in "Silver Satin" finish
- WOOD LOUVERS attic ventilation: to match window color

PANTONE 19-4007 TCX
Anthracite



silver satin

1 gal. #RP-32 Black Slate Flat Multi-Surface Exterior Roof Paint
★★★★★ (632) ▼



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 10 Executive Park – Aura Hotel

DRB#: DRB-001593-2023

DATE: 9/12/2023

CATEGORY: Concept Final **Alteration/Addition**

RECOMMENDATION: Approval Approval with Conditions Denial

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Only change to building is proposed first floor elevation.</i>

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Currently functions under larger parking agreement. Proposed lot will close off one of three entrances to provide a more realistic flow of traffic.
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not in current design, could be something to ask?
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No changes in exterior lighting
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

CONDITIONS & COMMENTS

1. This project requires a Major Development Plan Review application, and a New Development Name Application (for the Aura Hotel) prior to the site work. Please contact Alexis Cook at alexisc@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.

2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
3. This project requires a landscape easement signed by the Town of Hilton Head Town Council.
4. A letter is required from Executive Park to confirm approval of this type of use in the area.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: LAURIE SELL Company: Greenwood Communities
 Mailing Address: 4 Queens Folly Rd City: HH State: SC Zip: 29928
 Telephone: 843-422-6344 Fax: N/A E-mail: lsell@palmettodunes.com
 Project Name: Dunes house awning Project Address: 14 Dunes House Lane
 Parcel Number [PIN]: R520 012 000 0334 0002
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

N/A A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

N/A A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

N/A Context photographs of neighboring uses and architectural styles.

N/A Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

N/A Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- N/A Final site development plan meeting the requirements of Appendix D: D-6.F.
- N/A Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

N/A Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

N/A Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

N/A Proposed landscaping plan.

For wall signs:

N/A Photograph or drawing of the building depicting the proposed location of the sign.

N/A Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

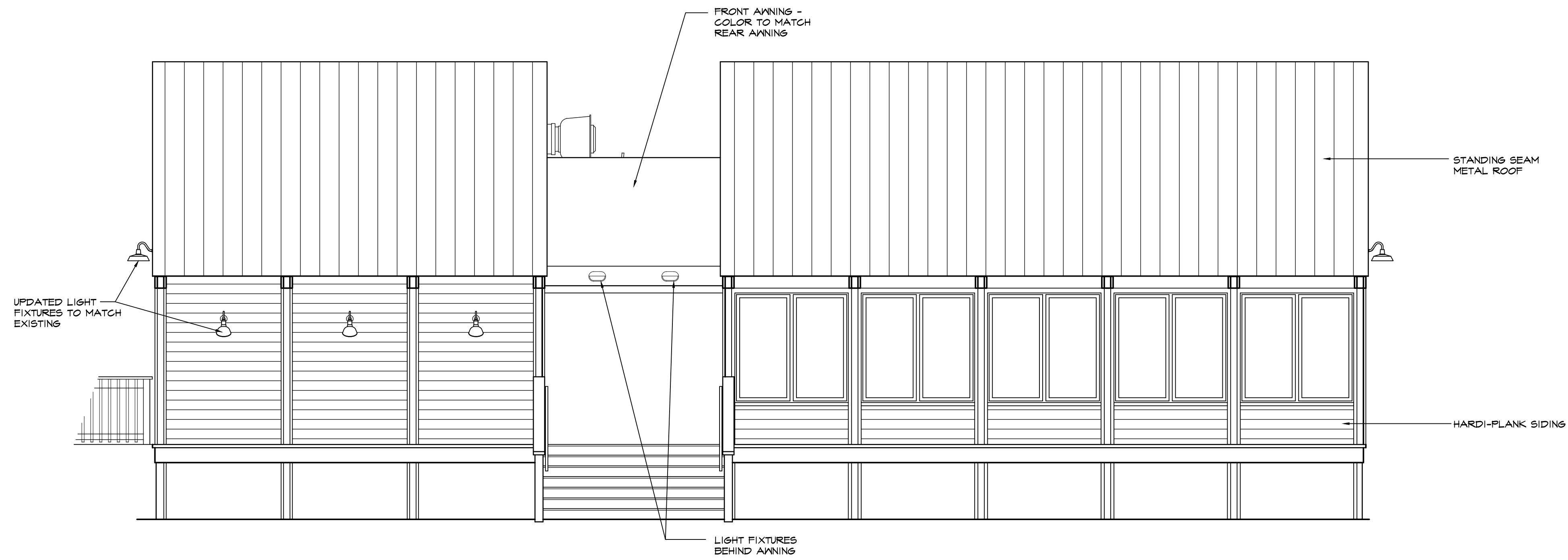
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

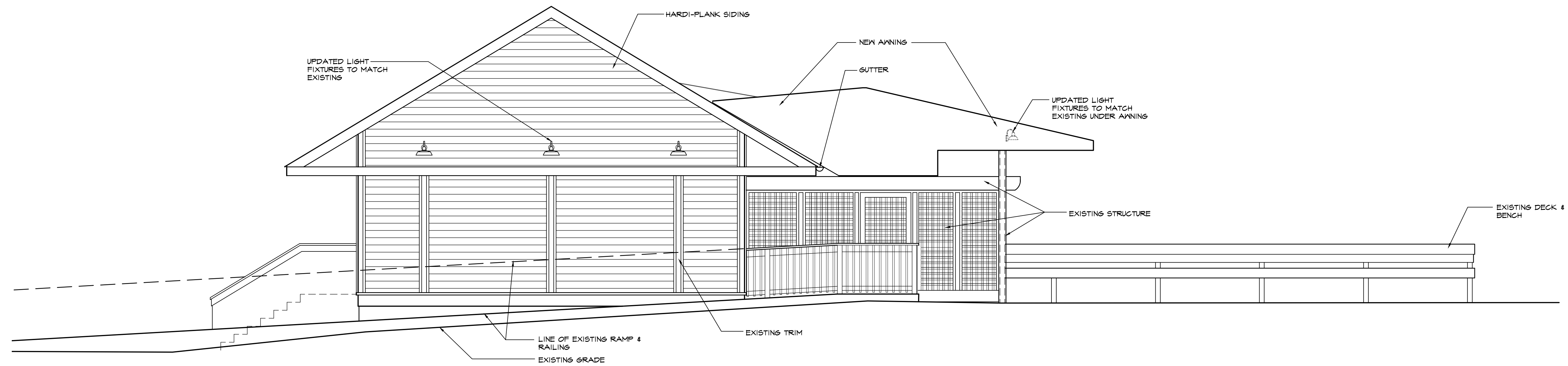
Laurie Dell
SIGNATURE Project Mgr.

8/14/23
DATE



FRONT (STREET) ELEVATION

SCALE: 1/4" = 1'-0"



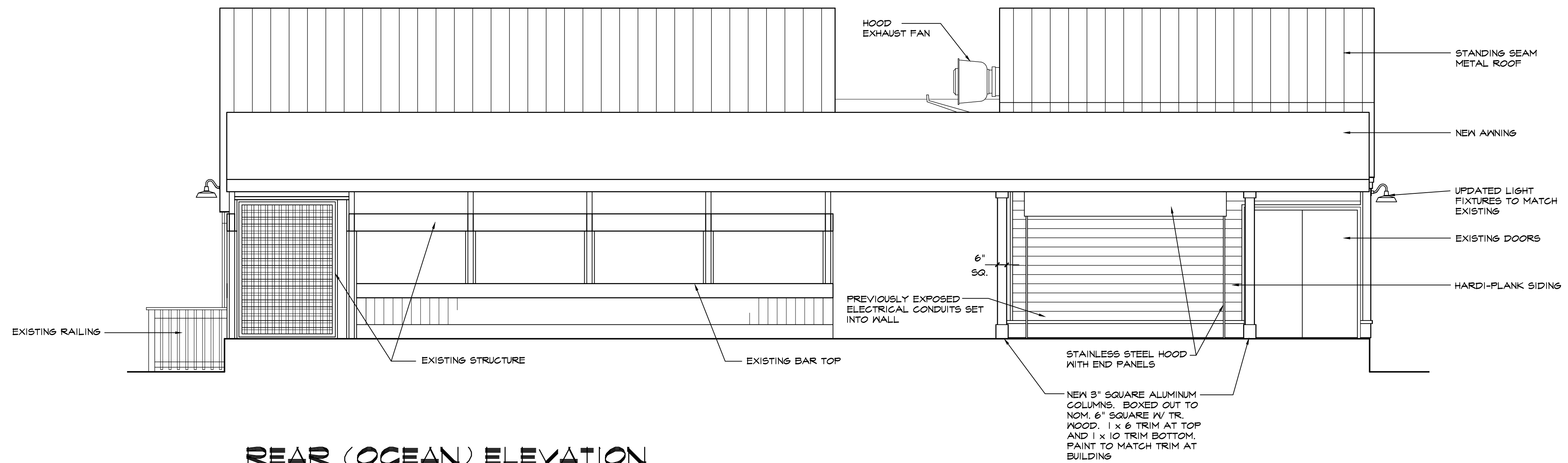
RIGHT (SOUTHWEST) ELEVATION

SCALE: 1/4" = 1'-0"

Awning Addition to the:
Dunes House
 14 Dunes House Lane
 Palmetto Dunes Plantation
 Hilton Head Island, South Carolina

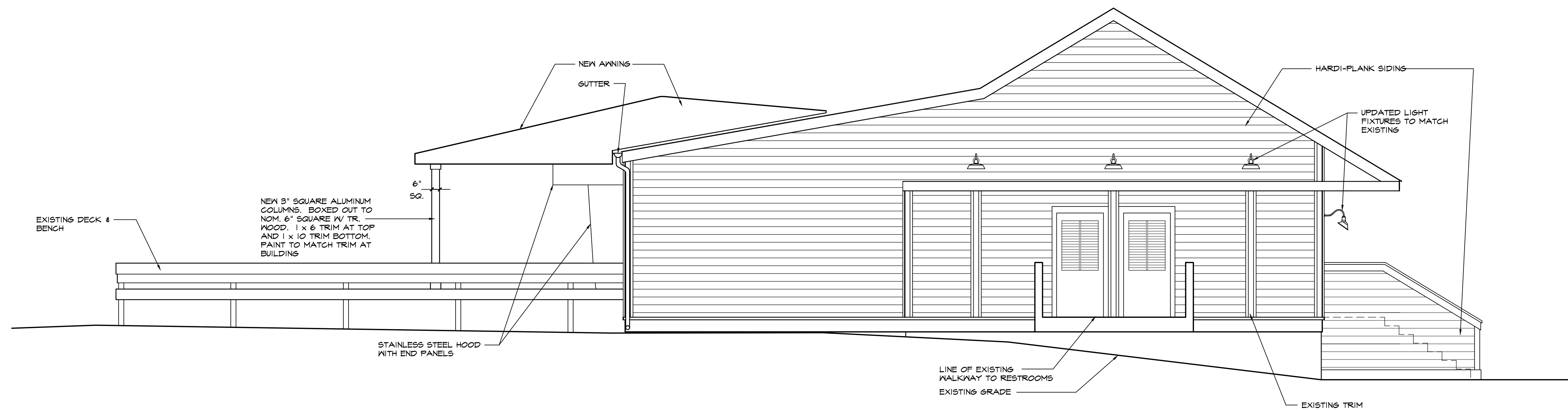
REVISIONS
 04-12-23 REVIEW

A.2.0



REAR (OCEAN) ELEVATION

SCALE: 1/4" = 1'-0"



LEFT (NORTHEAST) ELEVATION

SCALE: 1/4" = 1'-0"

Awning Addition to the:
Dunes House
 14 Dunes House Lane
 Palmetto Dunes Plantation
 Hilton Head Island, South Carolina

REVISIONS
 04-12-23 REVIEW

Patio 500®

Cobalt Blue

Item	Width	Style
858536	61"	536

REPEAT:
SELVEDGE:

Vinyl Laminated Polyester

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Law Offices of
Brandon A. Smith, LLC

August 14, 2023

Shea Farrar
Senior Planner - Community Planning
1 Town Center Court
Hilton Head Island, SC 29928

RE: The Dunes House renovation project- awning design

Dear Shea,

We hope this finds you doing well. As you know, the undersigned represents Palmetto Dunes Resort LLC and Greenwood Communities and Resorts, Inc. ("Greenwood"). We appreciate your time recently to meet regarding the above-referenced project. Please allow this to serve as Greenwood's application for alteration/addition to the Town of Hilton Head Island's Design Review Board for approval of all aspects of the awning design as proposed.

As Project Manager for Greenwood, Laurie Sell had been tasked in 2022 with replacing the ripped and torn awnings at The Dunes House in Palmetto Dunes. Seemingly an easy project, Laurie's team reached out to an awning company to request assistance in measuring and quoting this project. As the details of the project solidified, Greenwood decided to consolidate the existing separate awnings into one continuous awning.

Considering the cobalt blue umbrellas lining the beach in front of The Dunes House and the existing cobalt blue awning at Alexander's Restaurant (another Greenwood restaurant within Palmetto Dunes), Greenwood placed an order on October 27, 2022 for the awning to be installed during the slower "offseason," with 50% (\$26,733.50) deposited to cover the material cost. Greenwood simply pleads ignorance of the requirement for DRB color approval when changing the total awning footprint.

In December of 2022, Greenwood also retained a contractor for replacement of the roof and exterior of the building, which obviously required a permit. At the preliminary meeting with Laurie, the Town's Urban Designer, Chris Darnell, verbally confirmed that the cobalt blue color should be approved internally by Town staff. However, it would appear that some miscommunication may have existed at that time regarding the change in the footprint of the awning. When presented with the full plans, Mr. Darnell referred the consideration of the project to the DRB. Upon notice of the requirement for DRB's approval of the use of cobalt blue, Greenwood attempted to halt the awning material order. Unfortunately, since the material had already been custom cut, cancellation of the order was not possible.

Additionally, the Fire Marshal indicated that the outdoor cooking space would require a hood system to be installed for the awning design. As such, Greenwood has added these specifications to the architectural drawings attached hereto.

In light of these facts, Greenwood respectfully requests the DRB's approval of all aspects of the awning design as proposed. Please let us know if you require any additional information in that regard.

We greatly appreciate the DRB's consideration and remain available to answer any further questions or concerns.

With kindest regards, I am

A handwritten signature in blue ink, reading "Brandon A. Smith". The signature is written in a cursive style with a large initial "B" and "S".

Brandon A. Smith

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Dunes House Awning

DRB#: DRB-001634-2023

DATE: 9/12/2023

CATEGORY: Concept Final **Alteration/Addition**

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Need details of column connection with awning.</i>
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Need better details of awning connection.</i>
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed lights need to match existing lights in lamination and color.
Accessory elements are design to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

A variety of species is selected for texture and color	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

CONDITIONS & COMMENTS

This project requires a Minor Development Plan Review application for the site work. Please contact Alexis Cook at alexisc@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process.

This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.

The applicant must add a note to the plans stating that two new columns will be wrapped to match existing colors and materials of existing columns. A detail also

needs to be added showing the connection of the awning and existing building/columns as necessary. The plans also are required to be stamped by a professional engineer/architect.

HISTORY

February 28, 2023 staff comments for DRB-000039-2023:

- Wrap the columns in front of the building to match the existing columns on the opposite side.
- Include a detail for the connections between the awning and the existing columns.
- Insure fans and lighting match existing items on the building.
- Include engineer stamped and sealed plans.
- Replace the existing awning on the ocean side to match the new awning.

The plan was tabled until March 28th.

March 28, 2023 staff comments:

- Add a note to the plans for the contractor to wrap the two new columns to match the materials, color, and dimensions of the existing columns.
- Replace the awning on the front of the building to match.

The applicant withdrew their application at this meeting.