



Town of Hilton Head Island
Design Review Board Meeting
Tuesday August 22, 2023 – 2:30 p.m.
AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

- a. Meeting of June 13, 2023, Regular Meeting
- b. Meeting of August 8, 2023, Regular Meeting

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. Unfinished Business

None

8. New Business

- a. **Sign - DRB-001566-2023 – New entrance sign at 15 Wimbledon**
- b. **Alteration/Addition - DRB-001566-2023 – New fountain structure and internal sign at 15 Wimbledon**
- c. **New Development – Final - DRB-001563-2023 – Final review for both Phase 1 and Phase 2 at 1 South Forest Beach**

9. Board Business

- a. Election of Officers for Term July 1, 2023 – June 30, 2024

10. Staff Report

- a. Minor Corridor Report

11. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
June 13, 2023, at 2:30 p.m.
MEETING MINUTES

Present from the Board: Cathy Foss, Chair; Annette Lippert; John Moleski; Ryan Bassett; Todd Theodore; Tom Parker

Absent from the Commission: Judd Carstens

Present from Town Council: David Ames

Present from Town Staff: Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Shea Farrar, *Senior Planner*; Michael Connolly, *Senior Planner*; Karen Knox, *Board Secretary*; Brian Glover, *Administrative Assistant*

1. Call to Order

Chair Foss called the meeting to order at 2:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As noted above.

4. Approval of Agenda

Chair Foss asked if the staff had any changes to the agenda. Ms. Lippert moved to approve the Agenda. Mr. Parker seconded. By a show of hands, the Motion passed with a vote of 6-0-0.

5. Approval of Minutes

a) Regular Meeting of May 10, 2023

Chair Foss asked for a Motion to approve the Minutes of May 10, 2023. Mr. Theodore moved to approve. Mr. Moleski seconded. By a show of hands, the Motion passed with a vote of 6-0-0.

6. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. No comments were received on the Open Town Hall Portal. No citizens spoke at the meeting.

7. Unfinished Business

a) Sign – DRB-000917-2023 – Modifications to an existing Walmart sign.

Ms. Farrar provided the staff's presentation as included in the packet. The applicant provided an additional presentation. The board asked several questions about the colors, their specific numbers, the flex-based color, the foam core material, and the requirements to conform to sign size regulations, and addressing requirements.

The Board had a short discussion about the project.

Ms. Lippert moved to approve with the following conditions:

- Background color to be the medium grey.
- Existing sign background to be light grey.
- The off-white for the lettering.
- The darker yellow for the spark.
- The material of the signage should be matching an HDU.
- Plans to include a landscaping plan.
- Permitting will determine if an address needs to be added to the monument sign.

Mr. Parker seconded the motion. The motion was carried with a vote of 6-0.

b) Alteration/Addition – DRB-000920-2023 – External color changes to Walmart Building.

Ms. Farrar provided the staff's presentation as included in the packet. The applicant provided an additional presentation. The board asked several questions, including questions about the new doorway, the colors matching the sign color, and the existing shingles.

Ms. Lippert moved to approve with the following conditions:

- Everything that is listed as Walmart blue will be revised to P135E medium grey.
- Yellow spark will be the darker yellow.
- The lettering will be off-white.
- PMS colors will be provided for all colors.

Mr. Parker seconded the motion. The motion carried with a vote of 6-0.

8. New Business

None

9. Board Business

The Board discussed two signs and if the signs followed the design guidelines.

The board held a discussion on the use of awnings, their definition in the LMO and design guidelines, and possible changes in the future.

10. Staff Report

a) **Minor Corridor Report**

11. Adjournment

The meeting adjourned at 3:40 p.m.

Submitted By: _____

**Brian Glover
Administrative Assistant**

Date:

DRAFT



Town of Hilton Head Island
Design Review Board Meeting
August 8, 2023, at 2:30 p.m.
MEETING MINUTES

Present from the Board: Judd Carstens, Vice-Chair; Annette Lippert; Todd Theodore; Tom Parker; Ryan Bassett

Absent from the Commission: Cathy Foss and John Moleski

Present from Town Staff: Shawn Colin, *Assistant Town Manager*; Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Shea Farrar, *Principal Planner*; Michael Connolly, *Senior Planner*; Karen Knox, *Board Secretary*

1. Call to Order

Vice Chair Carstens called the meeting to order at 2:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Swearing in Ceremony of Reappointed Board Members: Judd Carstens, Annette Lippert, Todd Theodore

Shawn Colin, Assistant Town Manager, reappointed Board Members Judd Carstens, Annette Lippert and Todd Theodore and thanked them for their service to the Board and the Community.

4. Roll Call

As Noted Above.

5. Approval of Agenda

Vice Chair Carstens asked if Staff had any changes to the Agenda. Ms. Cook said there were no changes. Vice Chair Carstens asked the Board for a Motion to reverse the order of presentation for the items under New Business so that DRB 001482-2023 New Overlook at Driessen Beach Park is reviewed first, followed by DRB-001497-2023 New Pavilion at 1 South Forest Beach (Beach House.) Ms. Lippert moved to approve. Mr. Bassett seconded. The Motion passed with a vote of 5-0.

Vice Chair Carstens also asked for a Motion to move the Election of Officers for the Term July 1, 2023 to June 30, 2024 to the next meeting so that Chair Foss will be able to participate. Mr. Theodore moved to approve. Mr. Parker seconded. The Motion passed with a vote of 5-0.

6. Approval of Minutes

a) Regular Meeting of June 13, 2023

The meeting Minutes of June 13, 2003 will be presented for approval at the next meeting.

7. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. No comments were received on the Open Town Hall Portal. No citizens spoke at the meeting.

8. Unfinished Business - None

9. New Business

a) Alteration/Addition – DRB-001482-2023 – New Overlook at Driessen Beach Park

Ms. Cook provided staff's presentation as included in the packet. The staff recommended approval with no conditions as submitted. This is the concept approval which is the initial review. You will see this again at final approval for this design. Following staff's presentation, the Applicant gave a brief overview and answered questions from the Board.

Mr. Parker moved to approve as submitted. Mr. Theodore seconded. The Motion passed with a vote of 5-0.

b) Alteration/Addition – DRB-001497-2023 – New Pavilion at 1 South Forest Beach (Beach House)

Ms. Cook provided the staff's presentation as included in the packet and provided background on previous reviews and approvals. In 2022, the 1st Phase of this Project had preliminary courtesy reviews. There were three reviews done by the Board – April, 2022, June, 2022 and November 2022. The Phase 1 review was completed on December 16, 2022. It had three conditions. Two of which were: get a Building Permit and the other was to apply for a Major DPR. The Major DPR has been applied for. The third was to apply for a Second Phase which is what you are seeing today and to request a Variance for the locations with the OCRM line. They went for the Variance in June, 2023 and it was approved on June 14, 2023 by the Board of Zoning Appeals. Ms. Cook also mentioned that there are 3-4 slides that were not included in the Packet and wanted to give the Board the option of just reviewing what was submitted. Vice-Chair Carstens said they could review it at this meeting and just call out the additional slides.

The Applicant was then asked by Ms. Cook to present their slide package to the Board. The Architect, Gregory Villegas, with WATG and Lance Kalani, the Landscape Architect for the project provided background on the project stating that they used Celebration Park as their inspiration for the project. They began their

presentation by reviewing the site plan with the proposed minor modifications as well as the Phase 2 review for the pavilion submission. The minor modifications included the relocation of the shower, the connection of the kitchen facility to the restroom which was required as part of the flood mitigation for the project. Some visuals that were not included in the packet were the addition of Tiki Hut visuals, as well as a bathroom entrance staircase visual. It was also explained that the fences are planned to be updated but the look will be updated to match the overall architectural theme. It was also mentioned that some components of the conceptual approval for Phase 1 had been modified. That included the removal of a trellis and the introduction of a portal covered access at the parking lot to improve cover from the parking lot into the hotel. Greg explained the staircase to the restrooms was also improved and included on the plan set submitted to the Development Plan group. Lance provided a summary of materials that are to be used around the pool, and that included pervious pavers, some wood decking around the Tiki and Event Pavilions, brick was later considered as a lighter color material. Greg then discussed the architecture of the concrete base columns will be consistent throughout the Tiki and the Event Pavilion. He also summarized the shingles, the pavilion wood staining, the fencing, the decking to further elaborate on materials.

At the conclusion of the presentation, Ms. Lippert mentioned that she would have a number of questions. Vice Chair thanked the applicants for the submittal and then moved to Ms. Lippert to provide feedback and questions. She began her discussion by thanking the applicant and then began to discuss how the application appeared incomplete and had too many inconsistencies to provide a vote.

Ms. Lippert's Comments were the following:

- The light fixtures on A3.02 need to be referenced on the plan set and the color appears to be black. Black is not a color approved by the DRB and should be resubmitted as a different color.
- A number of trim was called out to be white, and white is color not approved by the DRB and should be resubmitted.
- Section A Detail 3 on A3.04 needs more detail and clarity on the purpose of the dashed line.
- She would like to see Tabby Stucco on the base column as the proposed concrete provides too industrial of a look.
- The restroom structure that was discussed during the conceptual Phase 1 review overhang has not been updated.
- More overall clarity on materials used and call outs to clarify.
- Removal of "Painted wood" note on A3.04

Vice Chair then thanked Annette for her comments and asked Mr. Parker if he had any comments, his summary was the following:

- Stainless steel on A3.04 is not the most aesthetically pleasing material, and the knife plate at Celebration Park may be better option on the column.
- Break up the louvre on the pavilion to better match Lowcountry style.

- Agreement with previous comments to recommend tabby material at the column base, to increase the overhang of all buildings, and to not include white trim.

Vice Chair then thanked Mr. Parker for his comments and asked Mr. Theodore if had any comments, his summary was the following:

- Requested full landscape plan with quantities.
- Concerns with palm lighting and the overall height and quantity of lights.
- The updated fence material needs callouts for the what types of materials, what standard details are needed, etc.

Vice Chair then thanked Mr. Theodore for his comments and asked Mr. Bassett if had any comments, his summary was the following:

- Mr. Bassett agreed with previous comments regarding no white trim, updating the material on the column base to a tabby or shell material.
- Requested a call-out or response on the plan to how the drainage from the roof will be handled, if gutters will be used or if the drainage will flow from the roof to the pavers. If the latter, to consider if the drip line may have impact on the paver or materials below.

Vice Chair then thanked Mr. Bassett for his comments and asked Ms. Cook if the Board would see the Applicants again for the Beach House, or if this was the final review. Ms. Cook then discussed that there are three options that the Board could continue with if they so choose. Vice Chair elaborated that the packet did not feel complete and that it felt like there were missing details in the package. Ms. Cook began to explain that there was a miscommunication with the applicant. There was previously a Notice of Action submitted to the applicant that was only for the conceptual review, which let the Applicant to believe that the Phase 1 submittal was approved from the Board. Based on this miscommunication, the Vice Chair and Ms. Cook concluded that both Phase 1 and Phase 2 would need to come back for one final approval so that comments could be addressed for both Phases.

Vice Chair then provided his comments as follows:

- Request a full landscape plan.
- Improvements to the Northern access public boundary were discussed in Phase 1 and still needs improvements.
- Agreed with previous comments that the concrete would be better with textured tabby or shell.
- String lights need to be clarified on the plan, as they are included in the visuals.
- Details need to be provided for the changes to the fences, gates and steps.
- Provide callouts if fans are to be provided in the pavilion. Ensure that conduits are concealed.
- Cabanas need a cut need.

After the Vice Chair concluded his comments, Mr. Theodore asked the clarifying question if the applicant still needs to come for final on the Phase 1 application. Vice Chair agreed with the question. It was agreed upon by the Board that the Final review would still be needed by the applicant for the entire project including both phases. The Applicant asked if they could discuss the next steps in the hallway. After the lengthy discussion, Ms. Cook advised the Board that the Applicant will withdraw today and reapply today to meet the deadline to be on the August 22, 2023 Meeting Agenda. The entire package (Phase 1 and Phase 2) will be reviewed and considered as the Final Review for both Phase 1 and Phase 2. Vice Chair Carstens asked the Applicant to formally withdraw for the record. The Applicant withdrew.

10. Board Business

11. Staff Report

a) **Minor Corridor Report**

Alexis Cook provided the Minor Corridor Report to the Board.

12. Adjournment

The meeting adjourned at 4:14 p.m.

Submitted By: _____

**Karen Knox
Board Secretary**

Date:



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Owner - HH Island Acquisition Partners, LLC
Agent - Brett Callaghan Company: HH Island Acquisition Partners, LLC
 Mailing Address: 9654 North Kings Hwy, Unit 101 City: Myrtle Beach State: SC Zip: 29572
 Telephone: 843-458-3348 Fax: _____ E-mail: bcallaghan@progressbuildersllc.com
 Project Name: Madiencane Hilton Head Port Royal Project Address: 77 Folly Field Road
 Parcel Number [PIN]: R 5 1 0 0 0 9 0 0 0 1 2 0 5 0 0 0 0
 Zoning District: RD Overlay District(s): CR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input checked="" type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input checked="" type="checkbox"/> Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

August 4, 2023

DATE

Hilton Head Port Royal Resort

Hilton Head Island, SC

Final DRB Project Narrative

August 8, 2023

On October 18, 2021, HH Island Acquisition Partners was approved with specific conditions for the redevelopment of the property formerly known as The Port Royal Racquet Club Tract (parcel 4 – Wimbledon Court) along Folly Field Road into a signature destination resort in keeping with Hilton Head Island vernacular. No changes are being proposed to those approved plans.

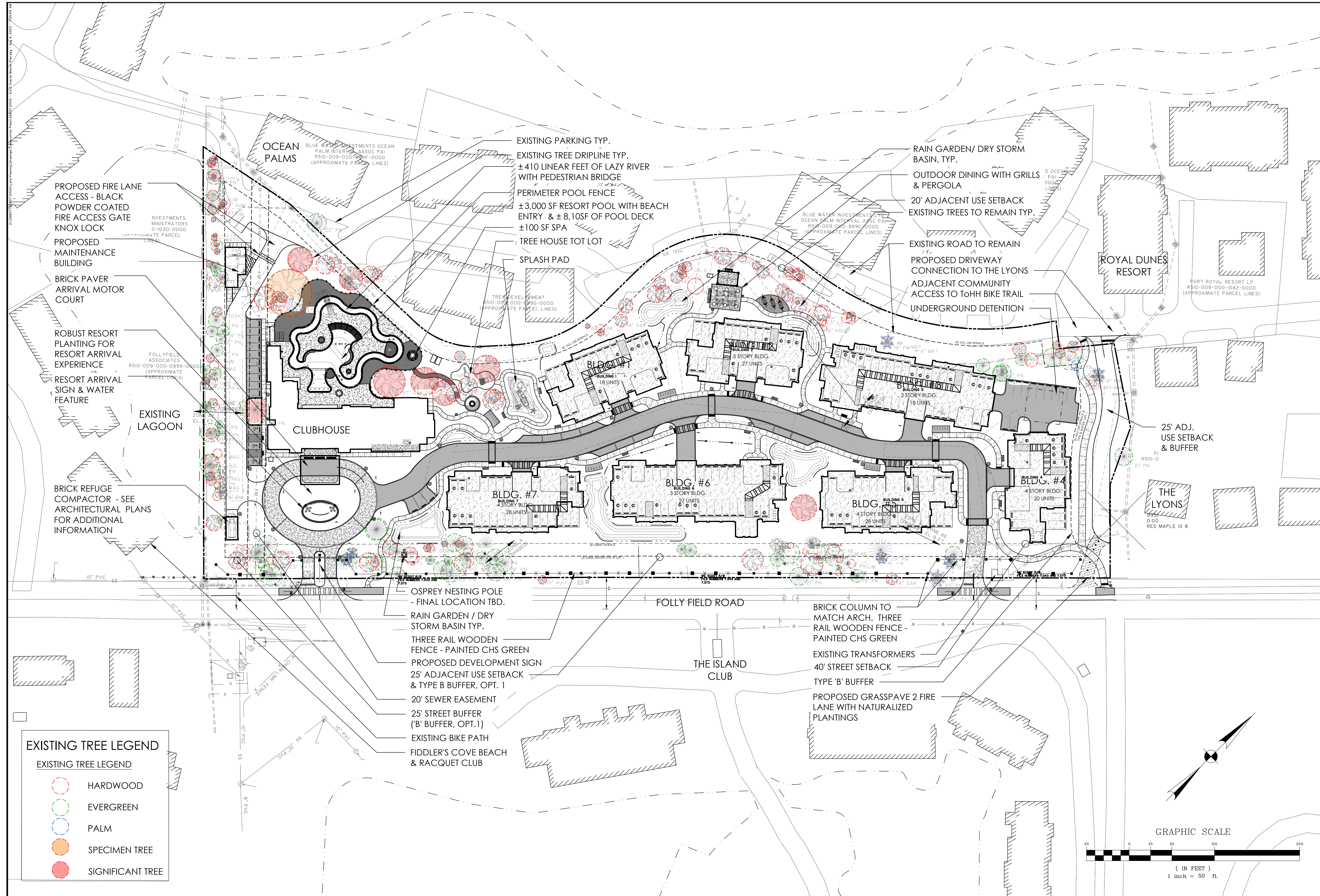
The property is being named (as previously approved) and branded “The Maidencane”, and as a result more detailed design has been proposed for the main entry including signage and a water feature directly in front of the clubhouse’s porte-cochere in order to provide a strong sense of arrival for guests.

The main sign is being proposed within the median and is aligned with the fence and columns proposed along Folly Field Road. The sign is a two-post design with a simple trellis structure on top. The double-sided wood sign panel will hang from the trellis and will have dark bronze detailing and matching off-set lettering. Each 10x10 post will have a battered tabby base with brick cap. The low water feature directly behind the sign will have the same tabby finish and brick cap as the sign and feature stand-up bronze lettering to denote guests’ arrival at The Maidencane. The design was inspired by Town of Hilton Head’s Coligny Beach Park signage and features natural colors and materials.

Supplementary nightscape lighting has been added for maximum guest safety within the outdoor amenity area surrounding the pool/lazy river, so they can safely be utilized during less than favorable light conditions. These fixtures will match previous approved fixture assemblies, 3,000k, pole and dark bronze color.

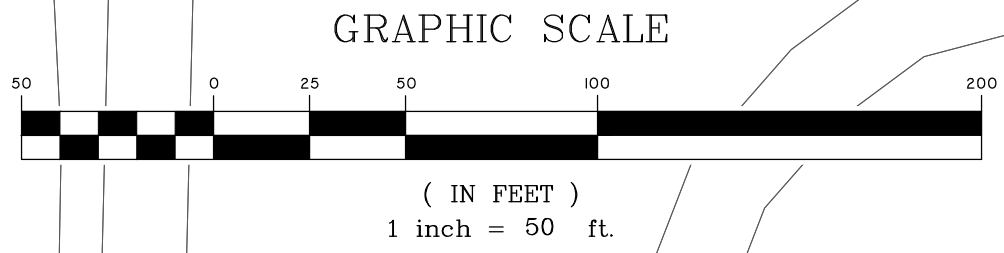
Updated splash pad location to allow for additional clear space away from existing live oaks and specific a program. All color finished to align with the island character.





EXISTING TREE LEGEND

Symbol	Tree Type
Red dashed circle	HARDWOOD
Green dashed circle	EVERGREEN
Blue dashed circle	PALM
Orange solid circle	SPECIMEN TREE
Red solid circle	SIGNIFICANT TREE



**PRELIMINARY
NOT FOR
CONSTRUCTION**

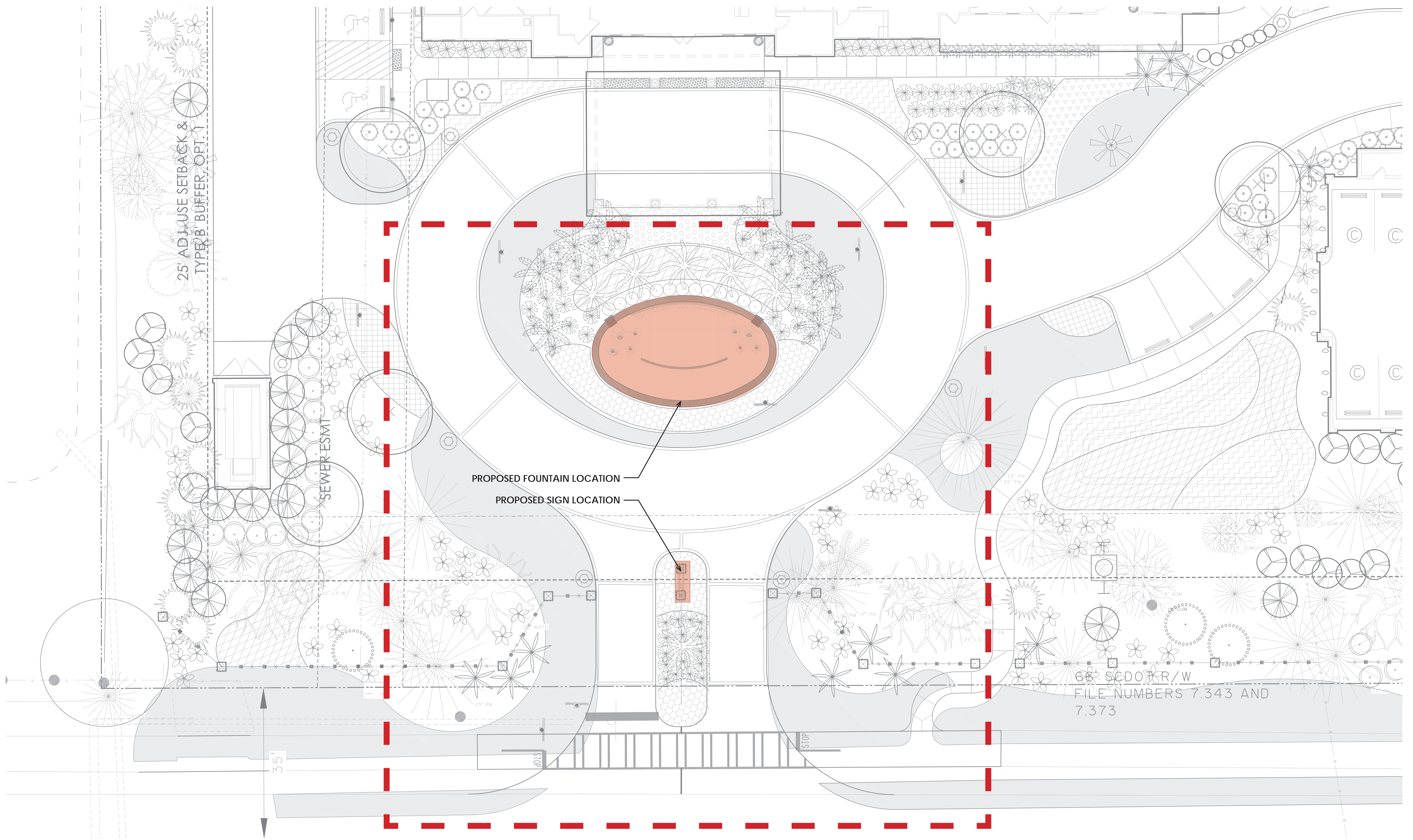
NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

HH ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 THE MAIDENCANE
OVERALL MASTER PLAN

JOB NO:	J-26807.0000
DATE:	7/15/2021
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1"=40'

EX0.1



Z:\26807\26807_0000\Land Planning\Illustrative Files\NDD\The Maidencane Fountain And Sign_Submittal



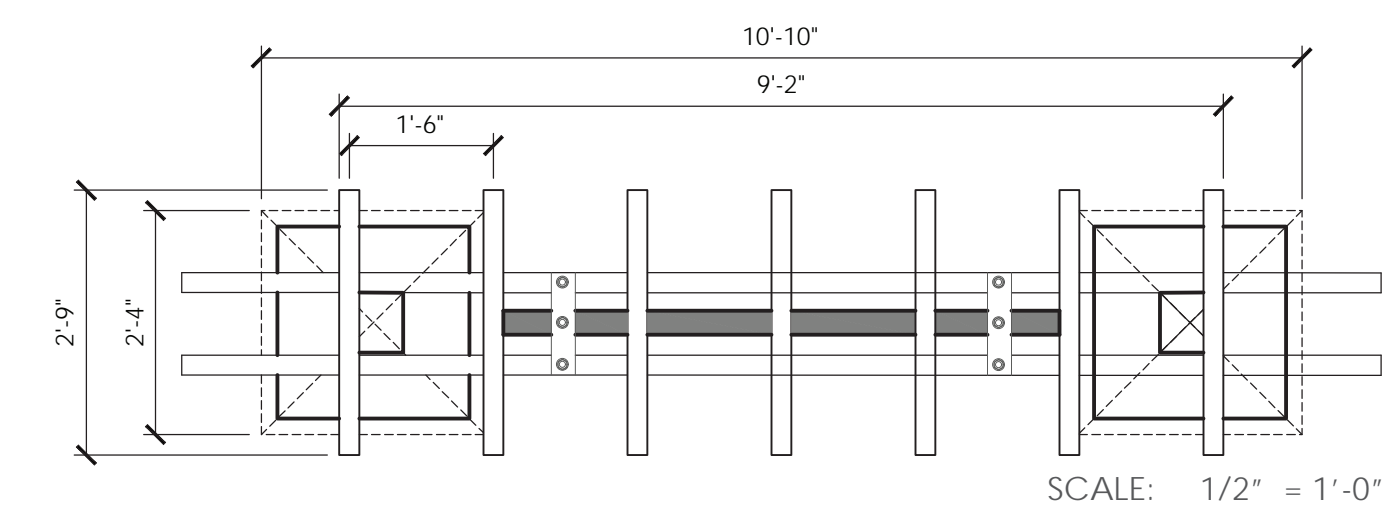
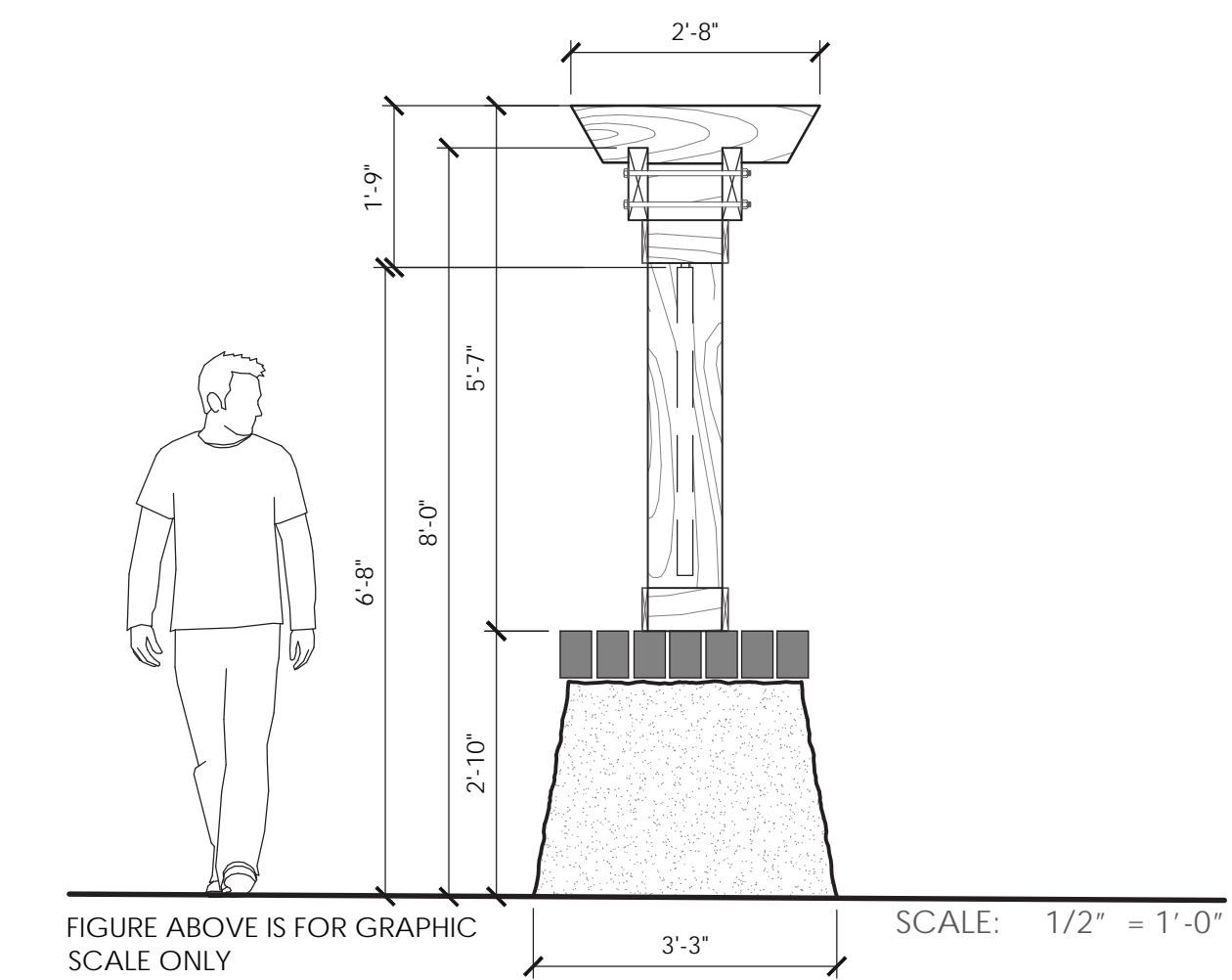
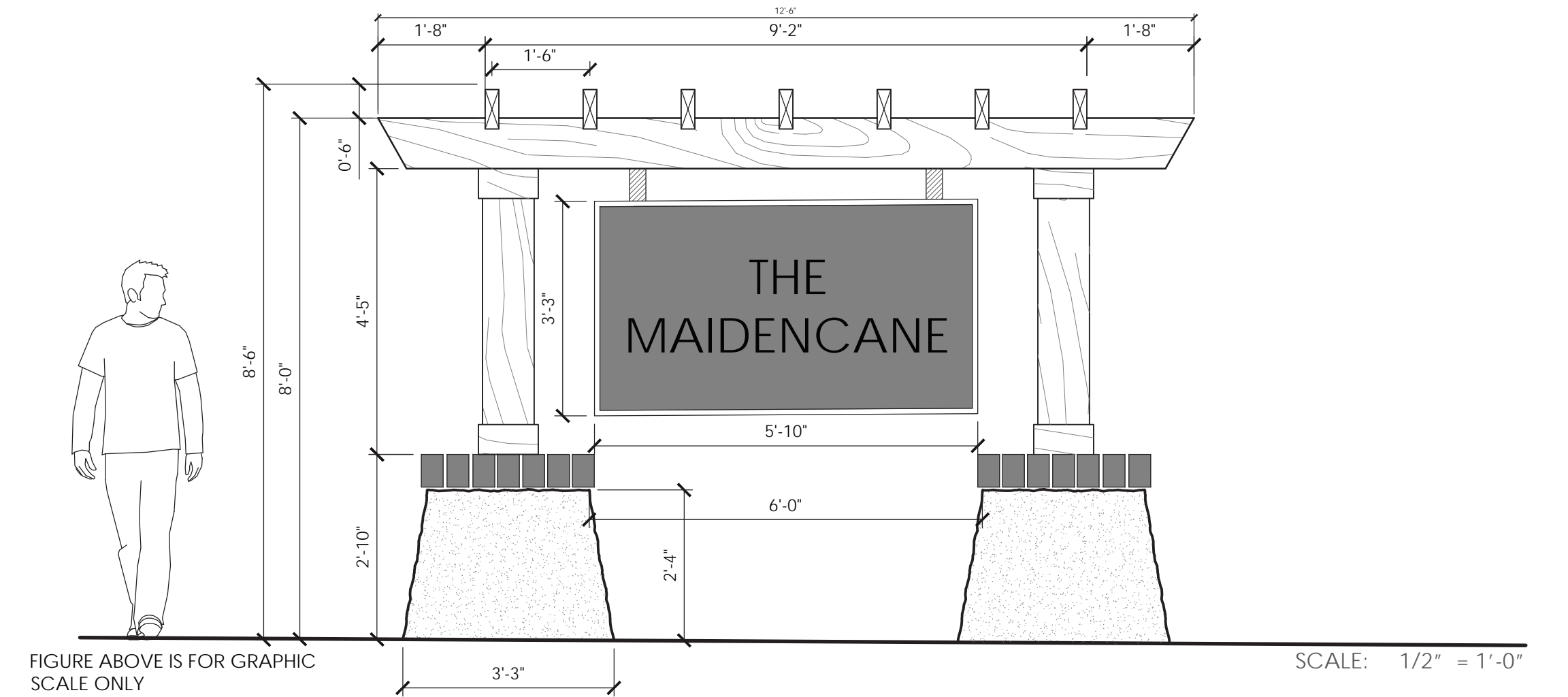
PERSPECTIVES NOT TO SCALE

LEGEND

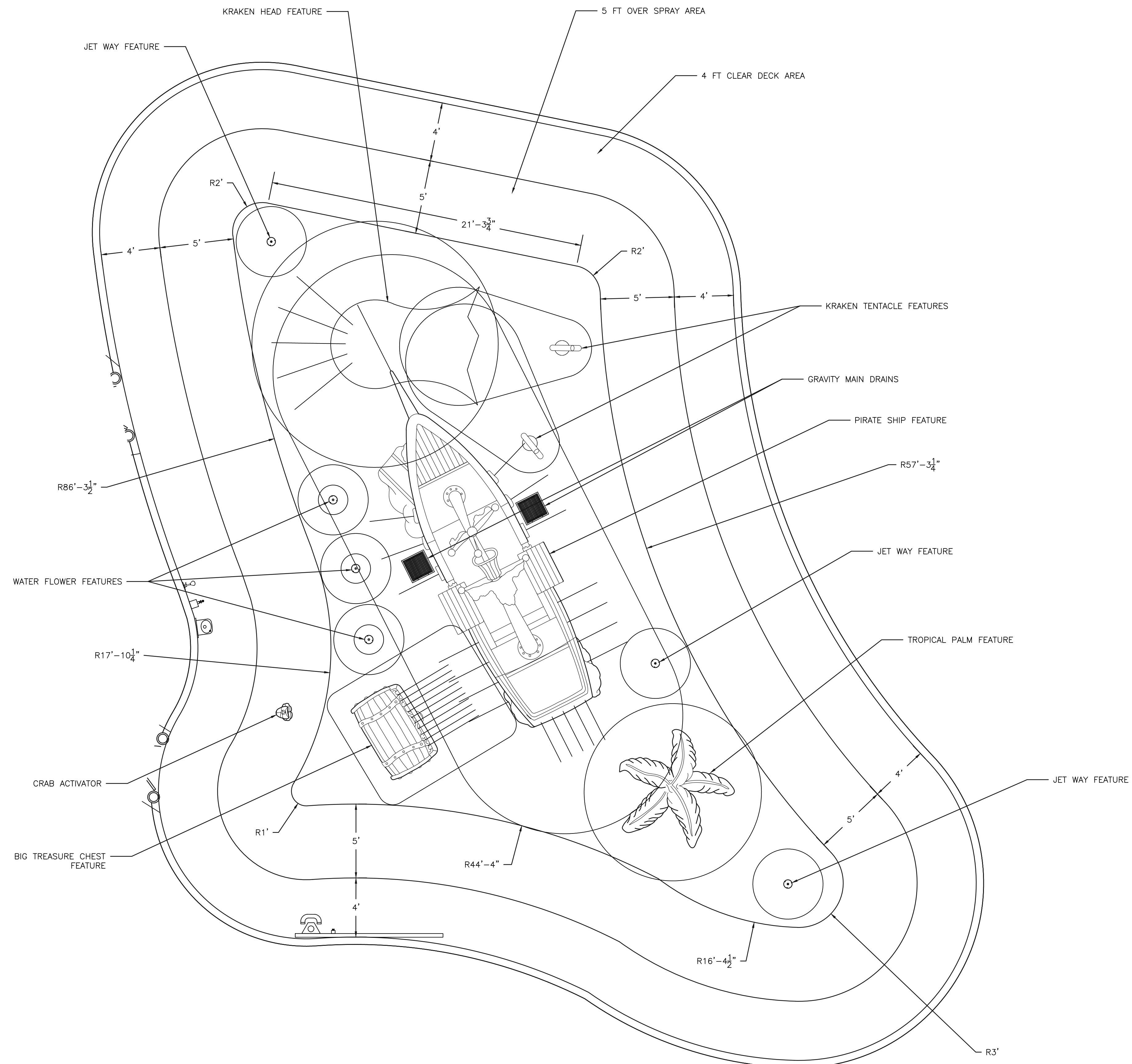
- A ± 2 1/2' Brass / Bronze Sans Serif Lettering
- B ± 16" Low Fountain Wall with Brick Cap and Tabby Stucco Veneer
- C Brick Paver Motor Court
- D ± 36" Brick Column
- E ± 32" Fountain Wall with Brick Cap & Stucco
- F Concealed Water Wall Spillway
- G Cedar Arbor Slat to be Fastened to Each 3"x8" Joist
- H Cedar 3"x10" Beam Notched to Recieve Joist (Notch Not Exceed 2")
- I ± 18' SF. Double Sided Sign Panel
- J 10x10" Cedar Post
- K Batter Tabby Column with Brick Cap
- L ± 1' Brass / Bronze Sans Serif Lettering to be Attached to Sign Panel

MATERIALS

-  Cedar Wood
-  Tabby Stucco
-  Brick
-  Brass / Bronze



NOTICE
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NO.	REVISION	DATE	BY
1	HEALTH COMMENTS	05.26.23	TDE
0	ISSUE FOR PERMIT	12.21.22	TDE

15 WIMBLEDON
HILTON HEAD, SC

SPLASH PAD
DIMENSIONS &
LAYOUT

DATE: 03.25.22
DRAWN BY: TJL CHECKED BY: TDE
PROJECT NO: 0857

SP-2

1 SPLASH PAD DIMENSIONS & LAYOUT
SP-2 SCALE: 1/4" = 1'-0"



Specifications

Model Number: F1140
Age Group: 5-12 years.
Construction: Hard foam core with Aqua Armor™ (structural elastomeric polymer outer shell).
Anchors: Epoxy Anchors, 1/2"-13, 316 SS. (Supplied).
Mounting Hardware: 1/2"-13 Tamper-resistant 18/8 stainless steel. (Supplied).
Space Washers: As required; must be non-ferrous. (By Installer).

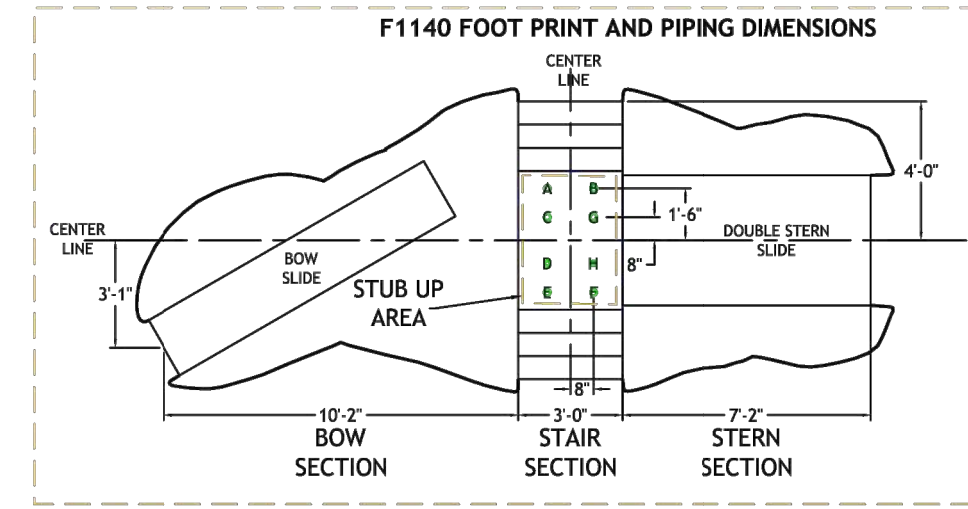
Optional Additional Effects Water

- F1140-EC Slide with Conserving Effects Water
Supply Line 1: 1 1/2" with Sch 80 PVC or Brass female NPT connection. (By Installer)
Supply Line 2: 2" with Sch 80 PVC or Brass female NPT connection. (By Installer)
Hydraulic Requirements: Up to 76 GPM (288 LPM) at 13 psi (-90 bar).
Stub Detail: F1140 Stub Schedule
- F1140-E Slide with Effects Water
Supply Line 1: 1 1/2" with Sch 80 PVC or Brass female NPT connection. (By Installer)
Supply Lines: FIVE 2" with Sch 80 PVC or Brass female NPT connection. (By Installer)
Hydraulic Requirements: Up to 290 GPM (1100 LPM) at 13 psi (-90 bar).
Five individual supply lines allow for custom sequencing. See plumbing diagram.
Stub Detail: F1140-E Stub Schedule

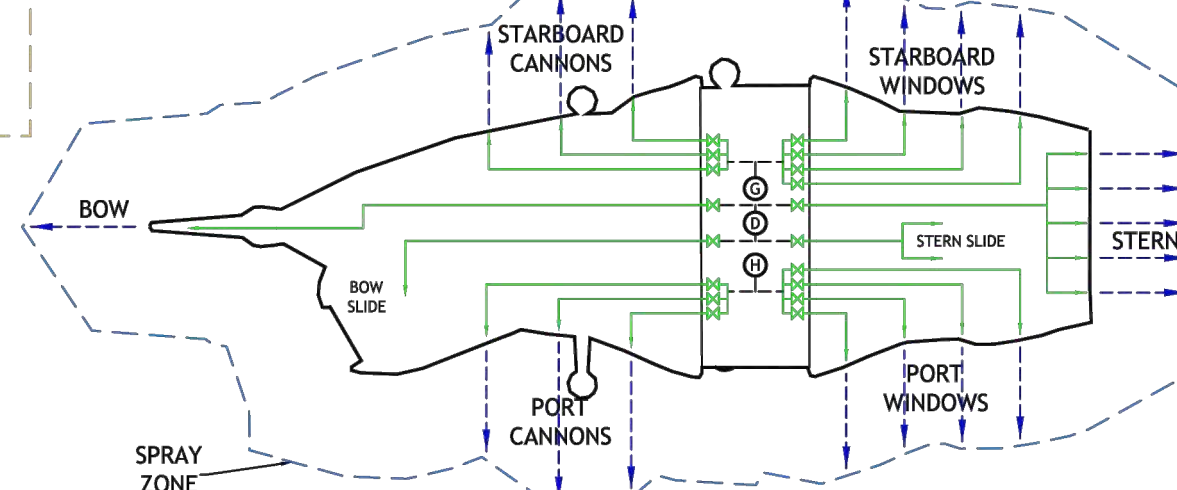
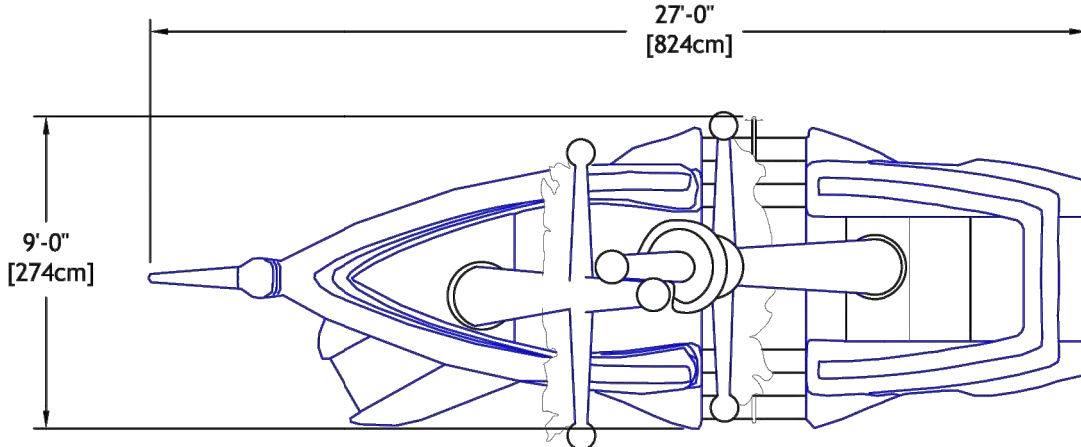
Note: Supply lines based on 100' run.

Color Selection

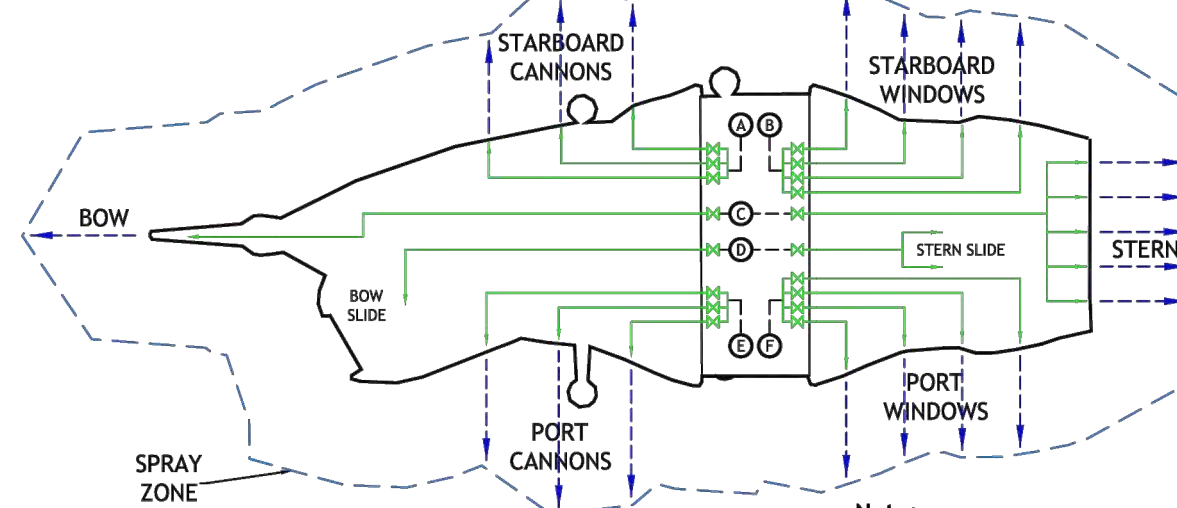
Ship is wooden theme on sand theme mounds.
 Select ONE standard ship accent color from the Colors & Theming Guide.



F1140-EC Stub Schedule		
G	2"	Starboard Effects
D	1 1/2"	Bow and Stem Sprays & Slides
H	2"	Starboard Effects



F1140-E Stub Schedule		
A	2"	Starboard Cannons
B	2"	Starboard Windows
C	2"	Bow and Stem Slides
D	1 1/2"	Bow and Stem Slides
E	2"	Port Windows
F	2"	Port Cannons



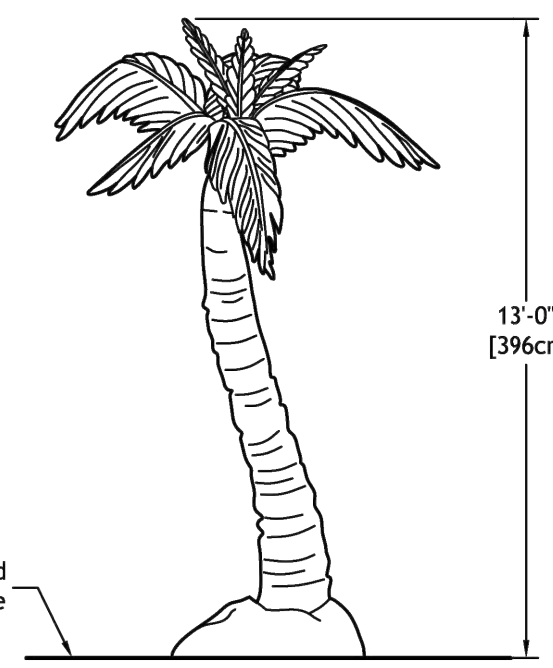
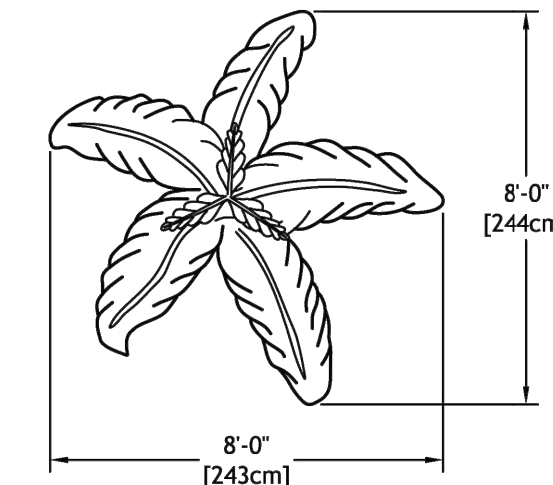
Note: Refer to "Installation Detail" for additional installation procedure.

F1140 Pirate Ship
 Fun Forms™ Large Aqua Slide

Fountain People, Inc. - PO Box 807 - 4600 Highway 123 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com

F1140

5/21/21



Specifications

Model Number: F2007
Construction: Hard foam core with Aqua Armor™ (structural elastomeric polymer outer shell).
Anchors: Epoxy Anchors, 1/2"-13, 316 SS. (Supplied).
Fasteners: 1/2"-13 Tamper-resistant 18/8 stainless steel. (Supplied).
Space Washers: As required; must be non-ferrous. (By Installer).
Supply Line: 1.5" with Sch 80 PVC or Brass coupling connection. (By Installer).
Hydraulic Requirements: 20 GPM (76 LPM) at 15 psi (1.03 bar).

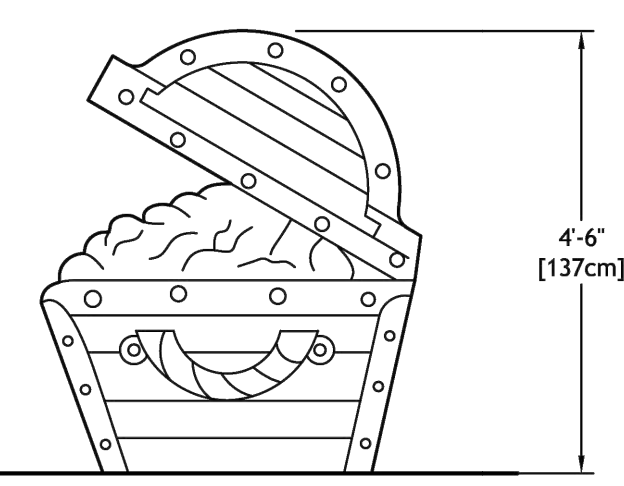
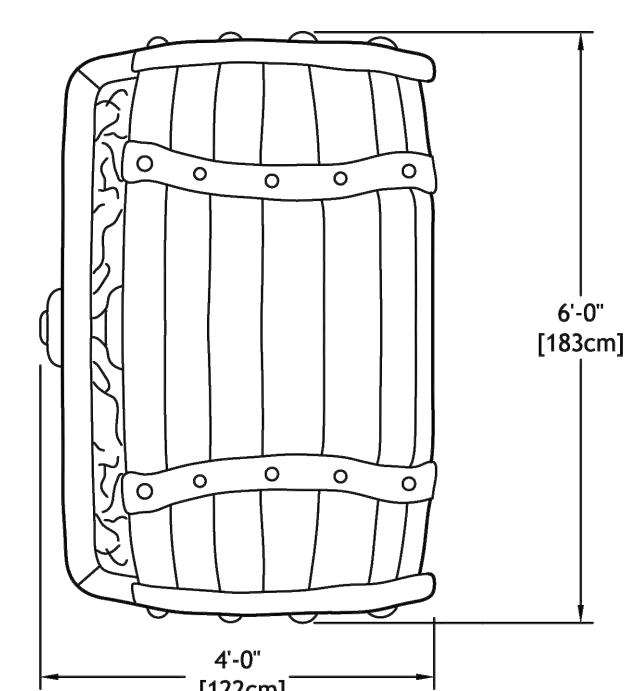
Note: Refer to "Installation Detail" for additional installation procedure.

Tropical Palm
 Fun Forms™ Aqua Sprayer

Fountain People, Inc. - PO Box 807 - 4600 Highway 123 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com

F2007

11-21-18



Specifications

Model Number: F2045
Construction: Hard foam core with Aqua Armor™ (structural elastomeric polymer outer shell).
Anchors: Epoxy Anchors, 1/2"-13, 316 SS. (Supplied).
Fasteners: 1/2"-13 Tamper-resistant 18/8 stainless steel. (Supplied).
Space Washers: As required; must be non-ferrous. (By Installer).
Supply Line: 1.5" with Sch 80 PVC or Brass coupling connection. (By Installer).
Hydraulic Requirements: 75 GPM (284 LPM) at 5 psi (.34 bar).

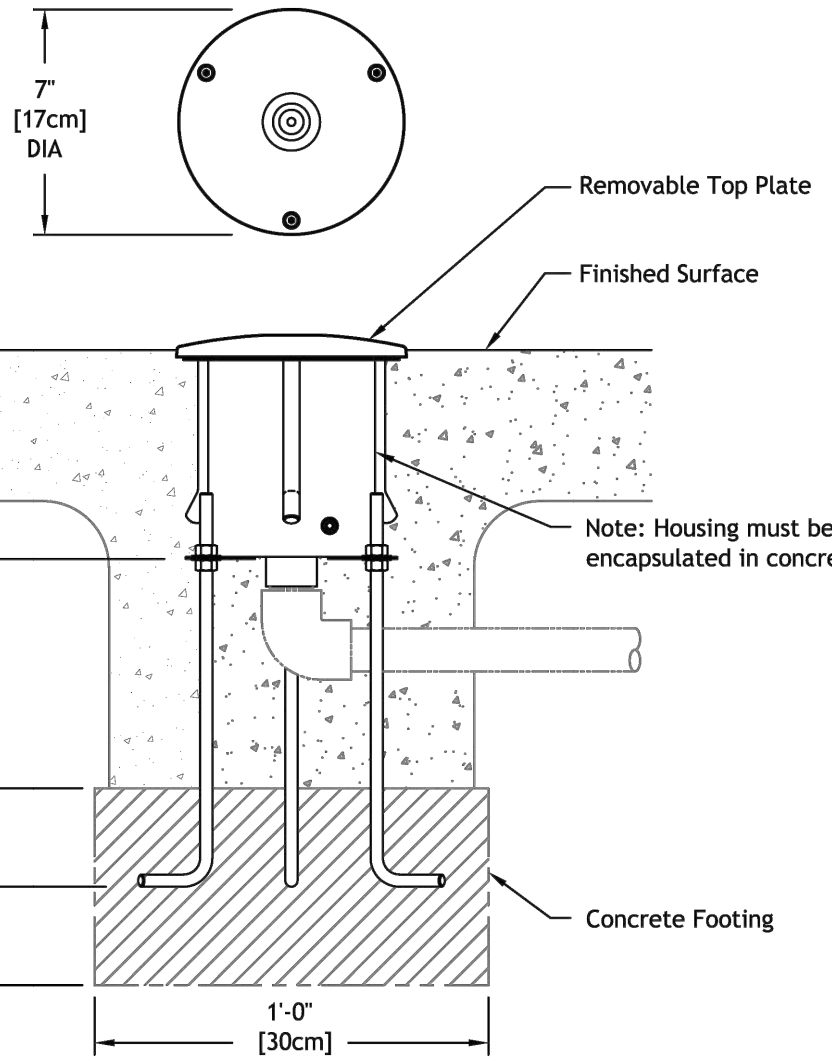
Note: Refer to "Installation Detail" for additional installation procedure.

Big Treasure Chest
 Fun Forms™ Aqua Sprayer

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 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com

F2045

11-26-18



Specifications

Model Number: W011
Interactive Water Effect: Shall be a vertical aerated stream of water.
Housing: 20 gauge deep-drawn type 304 stainless steel with grounding connection and 1" FPT inlet. Supplied with 4, 3/8" x 12" x 2" anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Construction Cover: Reusable 7" diameter HDPE (high density polyethylene).
Top Plate: 7" diameter slightly domed cast bronze with interchangeable nozzle assembly and UV stabilized, textured elastomeric urethane coating with a UV and chlorine resistant sealer coat.
Top Plate Anchors: Three 1/2" x 5" machined brass with 30° hook bend.
Fasteners: Tamper-resistant 18/8 stainless steel.
Nozzle: Precision machined brass.

Hydraulic Requirements

Height	GPM	psi
2'	6	2
4'	9	4
6'	12	6

□ W011C-Water Conserving Version

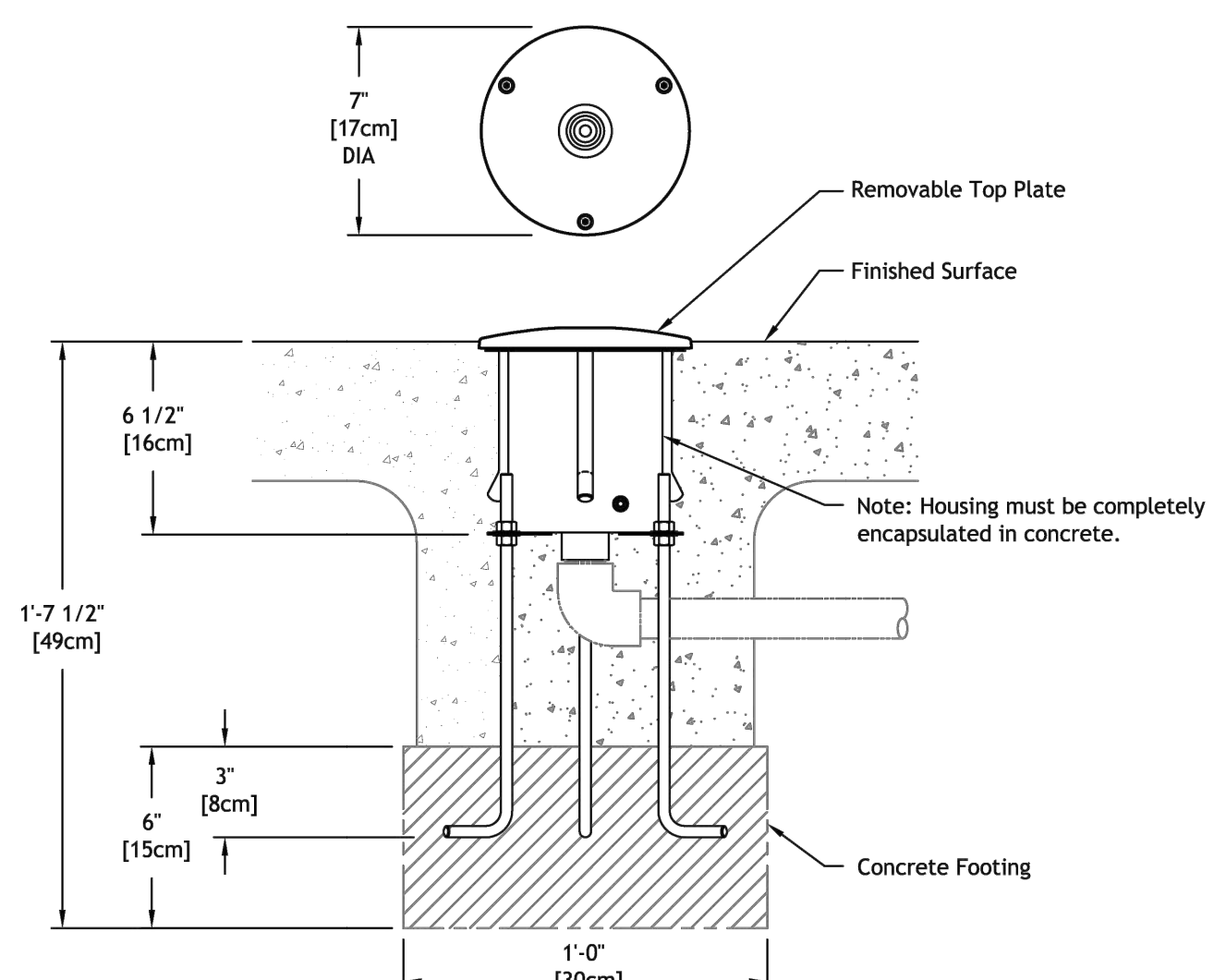
Height	*CGPM	*Cpsi
2'	2	1
4'	3	2
6'	4	4
10'	5	8

Jet Way™

Fountain People, Inc. - PO Box 807 - 4600 Highway 123 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com

W011

03-07-18



Specifications

Model Number: W071
Interactive Water Effect: Shall be a sheet effect in the shape of a morning glory.
Housing: 20 gauge deep-drawn type 304 stainless steel with grounding connection and 1" FPT inlet. Supplied with 4, 3/8" x 12" x 2" anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Construction Cover: Reusable 7" diameter HDPE (high density polyethylene).
Top Plate: 7" diameter slightly domed cast bronze with interchangeable nozzle assembly and UV stabilized, textured elastomeric urethane coating with a UV and chlorine resistant sealer coat.
Top Plate Anchors: Three 1/2" x 5" machined brass with 30° hook bend.
Fasteners: Tamper-resistant 18/8 stainless steel.
Nozzle: Precision machined brass.

Hydraulic Requirements

Height	Spread	GPM	psi
1'	2'	10	1

Water Flower™

Fountain People, Inc. - PO Box 807 - 4600 Highway 123 - San Marcos, Texas 78667-0807
 Phone (512) 392-1155 - Fax (512) 392-1154 - www.waterodyssey.com

W071

03-07-18



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NO.	REVISION	DATE	BY
1	HEALTH COMMENTS	05.26.23	TDE
0	ISSUE FOR PERMIT	12.21.22	TDE

15 WIMBLEDON
HILTON HEAD, SC

SPLASH PAD DETAILS

DATE: 03.25.22
 DRAWN BY: TJL CHECKED BY: TDE
 PROJECT NO: 0857

SP-3.1



Wimbledon Hilton Head Splash Pad

Hilton Head Island, SC

W80300-1AR1-T2 | 284 GPM | 2510 SQ FT | Park View | RK

Creating Compelling
Aquatic Play Experiences





Wimbledon Hilton Head Splash Pad

Hilton Head Island, SC

W80300-1AR1-T2 | 284 GPM | 2510 SQ FT | Park View | RK

Creating Compelling
Aquatic Play Experiences





Wimbledon Hilton Head Splash Pad

Hilton Head Island, SC

W80300-1AR1-T2 | 284 GPM | 2510 SQ FT | Park View | RK

Creating Compelling
Aquatic Play Experiences



Amenity Center Height: 15'-0"
 Mounting Height: noted at luminaire location, to bottom of luminaire

Reflectance: Building: 50%, Pool Deck: 20%
 Calculation Height: 0'-0"

Luminaire Schedule								
Symbol	Qty	Label	Tag	Arrangement	LLF	Lum Lumens	Description	Total Watts
—○	4	EMM-E03-SL3	PA2	SINGLE	0.920	7929	EMM-E03-LED-E1-SL3-7030	300.8
—○	6	EMM-E04-T4	PB	SINGLE	0.920	10506	EMM-E04-LED-E1-T4-7030	583.2
—○	3	EMM-E03-SL4	PC1	SINGLE	0.920	7736	EMM-E03-LED-E1-SL4-7030	225.6
—○	7	EMM-E04-5WQ-2	PD1	Back-Back	0.920	10914	EMM-E04-LED-E1-5WQ-7030-b2b	1360.8
—○	2	EMM-E03-SL2	PF1	SINGLE	0.920	7886	EMM-E03-LED-E1-SL2-7030	150.4
—○	4	EMM-E02-SL2	PF2	SINGLE	0.920	5257	EMM-E02-LED-E1-SL2-7030	208.4
—○	1	EMM-E03-T2	SA	SINGLE	0.920	8078	EMM-E03-LED-E1-T2-7030	75.2
—○	1	EMM-E03-T3	SB	SINGLE	0.920	8046	EMM-E03-LED-E1-T3-7030	75.2
—○	21	EMM-E02-T3	SB1	SINGLE	0.920	5364	EMM-E02-LED-E1-T3-7030	1094.1
—○	3	EMM-E03-SL4	SB2	SINGLE	0.920	7736	EMM-E03-LED-E1-SL4-7030	225.6

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
Drive_Grade	Illuminance	Fc	1.6	4.9	0.2	8.15	24.50	10	10
Spill Light_Grade	Illuminance	Fc	0.0	2.1	0.0	N.A.	N.A.	10	10
Surface Parking Lot	Illuminance	Fc	1.4	2.6	0.2	7.00	13.00	10	10
Pool Deck	Illuminance	Fc	14.5	19.9	10.1	1.44	1.97		

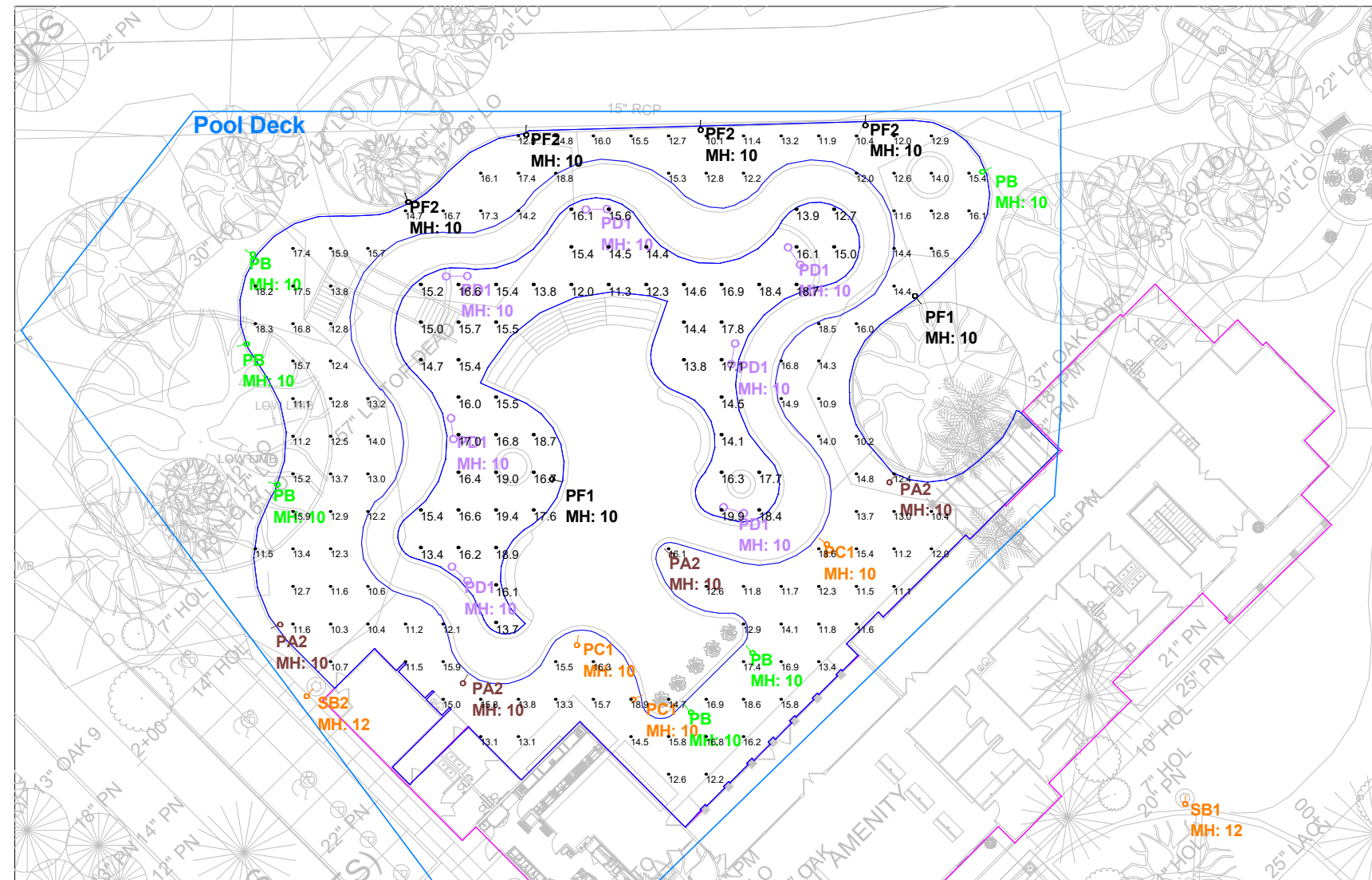
- Notes:
- Calculations based on all pool deck and parking luminaires on.
 - Calculations do not include landscape lighting.

The calculations provided in this report are predicted lighting levels based on the above described input data and characteristics. All information should be reviewed for accuracy, understanding and agreement with all information. Any discrepancies should be noted and the preparer of this report immediately advised to clarify or change as required.

Actual lighting levels may vary from this report due to a variety of circumstances, such as: reflectances, voltage variations, objects blocking or redirecting light, different mounting heights, installation, lamp and ballast tolerances, etc. Room is considered completely empty unless noted otherwise above. Unless specifically stated otherwise, predicted foot candles are not a recommendation of lighting levels.

Ardd & Winter, Inc. assumes no responsibility for any such variances and will not be held responsible for lighting levels different from predicted levels in this report. Recipient of this report, or someone designated by recipient, must verify that lighting fixtures will physically fit within the specified location(s). Catalog numbers of lighting fixtures may not be complete as all conditions may not be known.

Where backgrounds are shown, these are typically used for reference purposes only, unless noted otherwise. Additional details available upon request.



Calculations By: WES
 Revised By:
 Date: 9/2/2022
 Scale: Not to Scale

Project Name: 26807.000_15 Wimbledon Drive- Pool Deck
 Revision: P6

DESCRIPTION

The EPIC Collection delivers custom luminaire flexibility with high quality, yet availability expectations of standard specification grade product. The EPIC Collection can be dressed to suit any application. Recognizing evolving environmental and legislative trends, the EPIC Collection delivers world class LED optical and performance solutions to the decorative luminaire marketplace.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

TOP: Cast aluminum top housing attaches to cast aluminum mounting arm hub with four stainless steel fasteners. One-piece silicone gasket between mounting hub and top casting seals out moisture and contaminants. (See the mounting accessories section for a full selection of mounting arms. (Only these arms are compatible with the Epic luminaire). **MIDSECTION:** Continuous silicone gaskets seal lens to top casting and shade. The mid section features cast aluminum construction and stainless steel assembly. **SHADES:** Heavy gauge precision spun aluminum shades offer superior surface finish and consistency in form. **DOORFRAME:** Die-cast aluminum 1/8" thick door and doorframe seal to underside of shade with a thick wall continuous silicone gasket. Mounting hub ships attached to mounting arm.

Optics

Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from

injection-molded acrylic. Optics are precisely designed to shape the optics, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 3000K CCT and 5000K CC. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard

with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Occupancy sensor and dimming options available.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ECM/EMM EPIC MEDIUM LED

1 - 4 LightBARs
Solid State LED

DECORATIVE AREA LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
DesignLights Consortium® Qualified*
IP66 LightBARs
LM79 / LM80 Compliant
2G Vibration Tested
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA

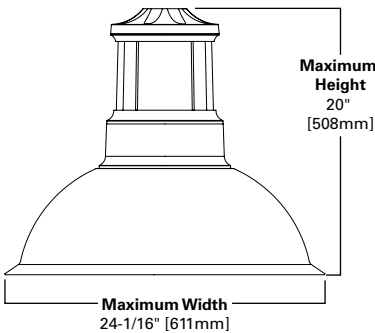
Effective Projected Area: (Sq. Ft.) 0.94

SHIPPING DATA

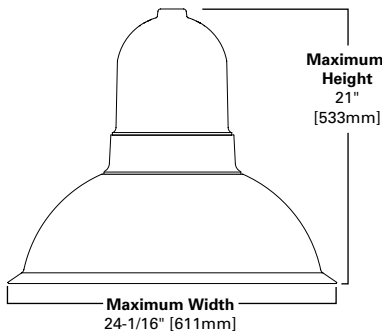
Approximate Net Weight:
45 lbs. [20 kgs.]

DIMENSIONS

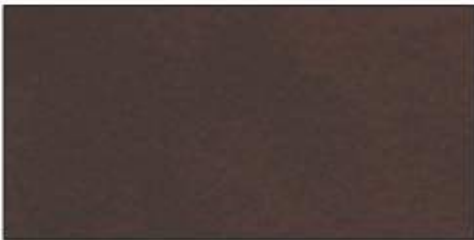
ECM Classical



EMM Modern

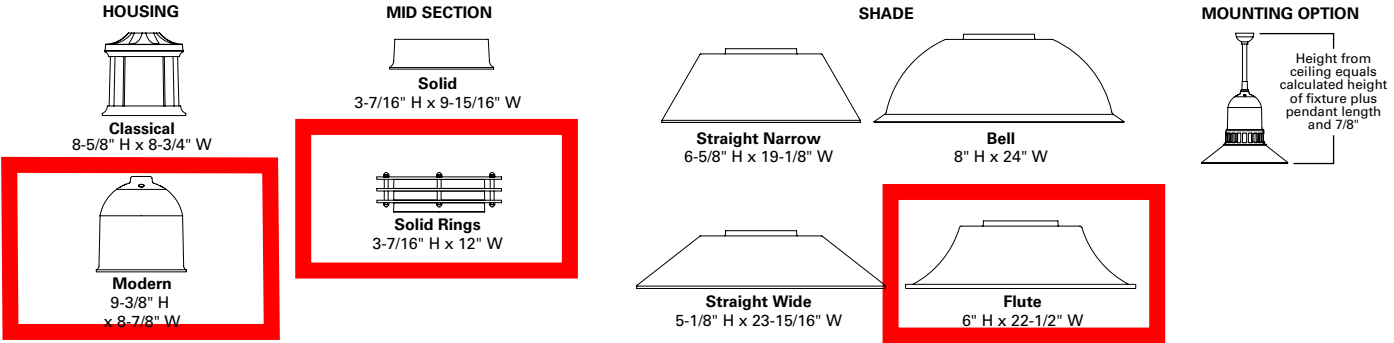


See configurations for more detailed information.



Bronze (BZ)

CONFIGURATIONS



POWER AND LUMENS BY BAR COUNT (21 LED LIGHTBARS)

Number of LightBARs	E01	E02	E03	E04	
Drive Current	350mA Drive Current				
Power (Watts)	25W	52W	75W	97W	
Current @ 120V (A)	0.22	0.44	0.63	0.82	
Current @ 277V (A)	0.10	0.20	0.28	0.36	
Power (Watts)	31W	58W	82W	99W	
Current @ 347V (A)	0.11	0.19	0.28	0.29	
Current @ 480V (A)	0.09	0.15	0.20	0.21	
T2	Lumens	2,948	5,896	8,844	11,792
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T3	Lumens	2,936	5,873	8,809	11,745
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
T4	Lumens	2,876	5,752	8,627	11,503
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3
5MQ	Lumens	3,054	6,108	9,161	12,215
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5WQ	Lumens	2,987	5,975	8,962	11,949
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,982	5,963	8,945	11,926
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B4-U0-G3
SL2	Lumens	2,878	5,756	8,634	11,512
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,894	5,788	8,682	11,576
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
SL4	Lumens	2,823	5,647	8,470	11,294
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
RW	Lumens	2,957	5,915	8,872	11,829
	BUG Rating	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,616	5,231	7,847	10,462
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3

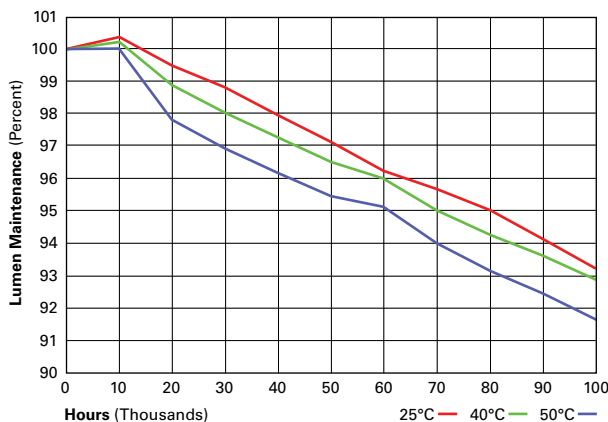
POWER AND LUMENS BY BAR COUNT (7 LED LIGHTBARS)

Number of LightBARs	F01	F02	F03	F04	
Drive Current	1A Drive Current				
Power (Watts)	26W	55W	78W	102W	
Current @ 120V (A)	0.22	0.46	0.66	0.86	
Current @ 277V (A)	0.10	0.21	0.29	0.37	
Power (Watts)	32W	60W	85W	105W	
Current @ 347V (A)	0.11	0.19	0.28	0.30	
Current @ 480V (A)	0.09	0.15	0.21	0.22	
T2	Lumens	2,434	4,867	7,301	9,735
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T3	Lumens	2,424	4,848	7,272	9,696
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
T4	Lumens	2,374	4,748	7,122	9,496
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
5MQ	Lumens	2,521	5,042	7,563	10,084
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2
5WQ	Lumens	2,466	4,932	7,398	9,864
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2
5XQ	Lumens	2,461	4,923	7,384	9,845
	BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G3
SL2	Lumens	2,376	4,752	7,127	9,503
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2
SL3	Lumens	2,389	4,778	7,167	9,556
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2
SL4	Lumens	2,331	4,662	6,993	9,323
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2
RW	Lumens	2,441	4,883	7,324	9,765
	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3
SLL/SLR	Lumens	2,159	4,318	6,478	8,637
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3

LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99
50°C	0.96

CONTROL OPTIONS

0-10V (DIM)

The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PC, PER and PER7)

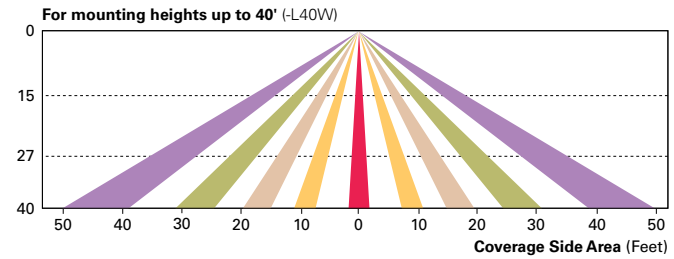
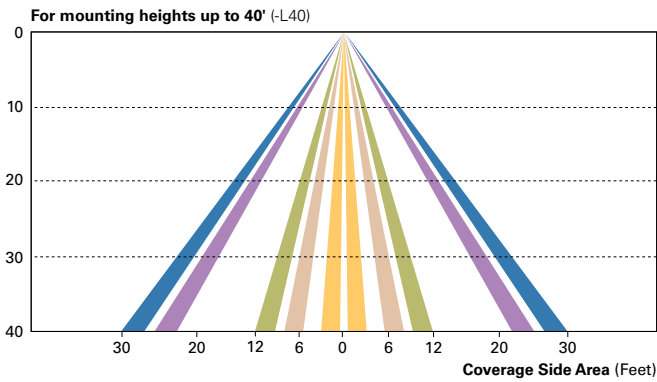
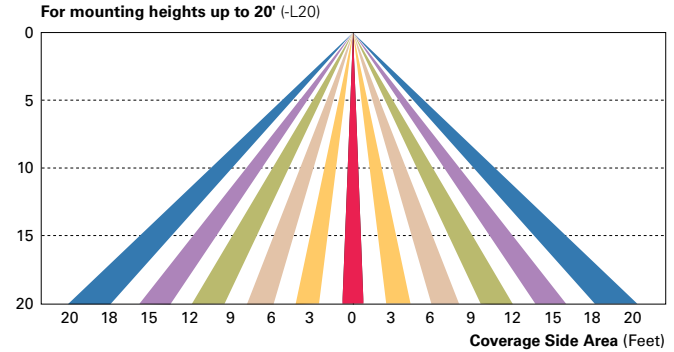
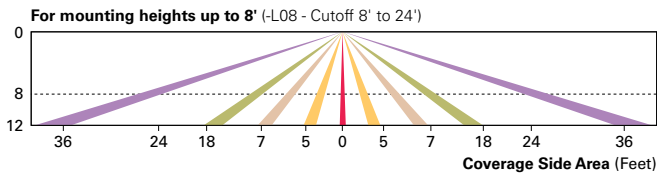
Optional button-type photocontrol (PC) and photocontrol receptacles (PER and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

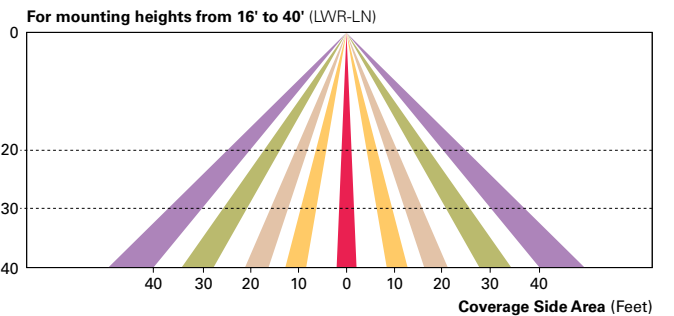
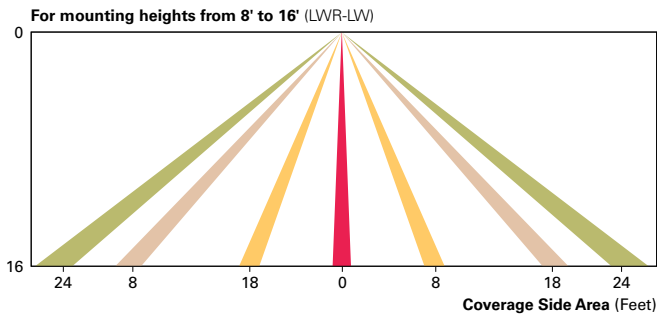
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)


The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



ORDERING INFORMATION

Sample Number: ECM-E04-LED-E1-T2-FL-GM

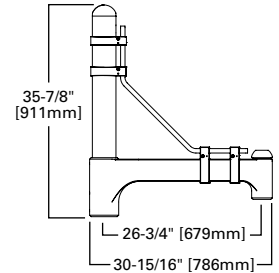
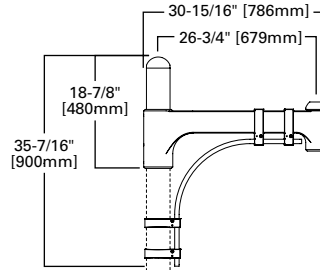
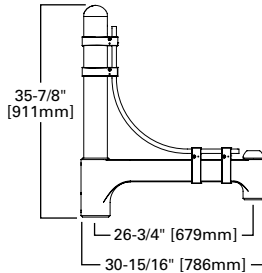
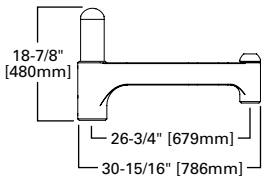
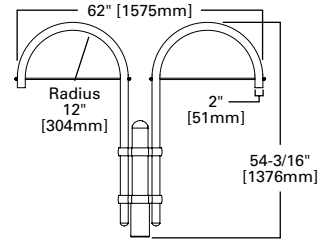
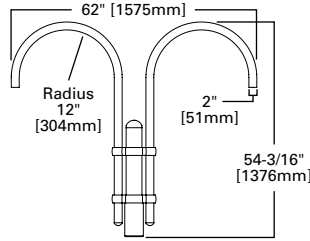
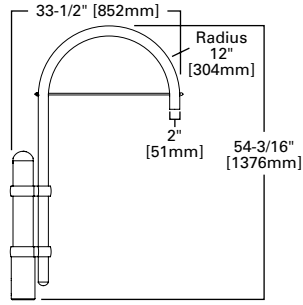
Product Family ¹	Number of LightBARs ^{2,3}	Lamp Type	Voltage	Distribution	Mid Section Type	Shade Type	Color ⁵
ECM=Epic Classical Medium EMM=Epic Modern Medium	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs E03=(3) 21 LED LightBARs E04=(4) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs F03=(3) 7 LED LightBARs F04=(4) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ⁴	T2=Type II T3=Type III T4=Type IV SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control 5MQ=Type V Square Medium 5WQ=Type V Square Wide 5XQ=Type V Square Extra Wide RW=Rectangular Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	SQ=Solid SR=Solid Rings	SN=Straight Narrow SW=Straight Wide BL=Bell FL=Flute	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)		Accessories (Order Separately) ¹³					
2L=Two Circuits ⁶ 7030=70 CRI / 3000K CCT ⁷ 7050=70 CRI / 5000K CCT ⁷ 8030=80 CRI / 3000K CCT ⁷ LCF=LightBAR Cover Plate Matches Housing Finish MS-LXX=Motion Sensor for ON/OFF Operation ⁸ MS/X-LXX=Motion Sensor for Bi-Level Switching ⁹ PMXX=Pendant Mount (XX=Pendant Length in Inches, 9.5" min - 48.0" max) ¹⁰ HSS=Factory Installed House Side Shield ¹¹ DIM=0-10V Dimming Driver ¹²		OA/RA1016=NEMA Twistlock Photocontrol - Multi-Tap OA/RA1027=NEMA Twistlock Photocontrol - 480V OA/RA1201=NEMA Twistlock Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap LB/HSS-21=Field Installed House Side Shield for "E" LightBARs ^{11,15} LB/HSS-07=Field Installed House Side Shield for "F" LightBARs ^{11,15} Mounting Accessories (Order Separately) Classical VA6150-XX=Bishop Wall Mount Arm VA6151-XX=Bishop Wall Mount Arm with Cross Rod VA6152-XX=Traditional Wall Mount Arm VA6153-XX=Traditional Wall Mount Arm with 45° Strap VA6154-XX=Bishop Single Pole Mount Arm VA6155-XX=Bishop Single Pole Mount Arm with Cross Rod VA6156-XX=Bishop Twin Pole Mount Arm VA6157-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6158-XX=Traditional Single Pole Mount Arm VA6159-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6160-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6161-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6162-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6163-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6165-XX=Traditional Twin Pole Mount Arm VA6166-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6167-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6168-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6169-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6170-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6171-XX=Mast Arm Adapter Modern VA6101-XX=Bishop Wall Mount Arm VA6102-XX=Bishop Wall Mount Arm with Cross Rod VA6103-XX=Traditional Wall Mount Arm VA6104-XX=Traditional Wall Mount Arm with 45° Strap VA6105-XX=Bishop Single Pole Mount Arm VA6106-XX=Bishop Single Pole Mount Arm with Cross Rod VA6107-XX=Bishop Twin Pole Mount Arm VA6108-XX=Bishop Twin Pole Mount Arm with Cross Rods VA6109-XX=Traditional Single Pole Mount Arm VA6110-XX=Traditional Single Pole Mount Arm with Rounded Upper Bar VA6111-XX=Traditional Single Pole Mount Arm with Rounded Lower Bar ¹⁴ VA6112-XX=Traditional Single Pole Mount Arm with 45° Upper Bar VA6113-XX=Traditional Single Pole Mount Arm with 45° Lower Bar ¹⁴ VA6114-XX=Traditional Single Pole Mount Arm with 45° Upper Strap VA6116-XX=Traditional Twin Pole Mount Arm VA6117-XX=Traditional Twin Pole Mount Arm with Rounded Upper Bars VA6118-XX=Traditional Twin Pole Mount Arm with Rounded Lower Bars ¹⁴ VA6119-XX=Traditional Twin Pole Mount Arm with 45° Upper Bars VA6120-XX=Traditional Twin Pole Mount Arm with 45° Lower Bars ¹⁴ VA6121-XX=Traditional Twin Pole Mount Arm with 45° Upper Straps VA6122-XX=Mast Arm Adapter				Accessory Options ¹⁶ V=Victorian Finial ¹⁷ M=Modern Finial ¹⁷ A=Architectural Finial ¹⁷ N=Nostalgic Finial ¹⁷ R=NEMA Twistlock Photocontrol Receptacle ¹⁸	
						 Bronze (BZ)	

- NOTES:**
1. Arm not included. Order separately. See accessories.
 2. Standard 4000K CCT and greater than 70 RL.
 3. 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
 4. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
 5. Custom and RAL color matching available upon request. Consult your lighting representative at Cooper Lighting Solutions for more information.
 6. Low-level output varies by bar count. Consult factory. Requires quantity of two or more LightBARs.
 7. Consult customer service for lead times and multiplier.
 8. Sensor mounted to the luminaire. Available in E01-E04 and F01-F04 configurations. Replace "XX" with mounting height in feet for proper lens selection, (e.g., MS-L25). Consult factory for additional information.
 9. Sensor mounted to the luminaire. Available in E02-E04 and F02-F04 configurations. Replace "X" with number of LightBARs operating in low output mode and replace XX with mounting height in feet for proper lens selection, (e.g., MS/3-L25). Maximum four bars in low output mode. Consult factory for additional information.
 10. Pendant mount option "PMXX" must be used with Invue Pendant mount kit only. Includes pendant pipe, swivel hangar and canopy cover. Other pendant lengths can be specified in inches (XX). Minimum pendant length is 9-1/2". For lengths above 48", consult your lighting representative at Cooper Lighting Solutions for more information.
 11. Only for use with SL2, SL3 and SL4 distributions.
 12. Dimming leads provide for external 0-10V control system (by others).
 13. Replace XX with color suffix.
 14. Only available with traditional arms.
 15. One required for each LightBAR.
 16. Add as suffix to mounting accessory. Example: VA6106-BK-R.
 17. Not available with finials, pendant mount "PM48" or bishop wall mounts.
 18. Requires use of 4" O.D. round straight pole.

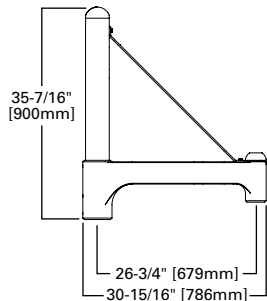
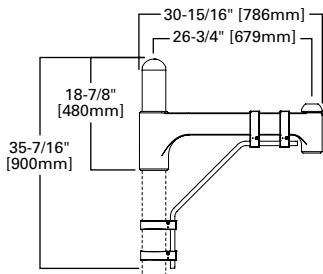
MOUNTING ACCESSORIES

Pole mount arms are designed to fit both medium ECM/EMM housings. (Only these arms are compatible with the Epic luminaire). Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners. Wall mount arms compliment pole mount luminaires and attractively transition fixture scale in lower mounting height pedestrian environments. Wall mount arms are designed to fit both medium ECM/EMM housings. Arms feature a precision welded cast aluminum mounting hub for attachment of fixture head to arm with four stainless steel fasteners.

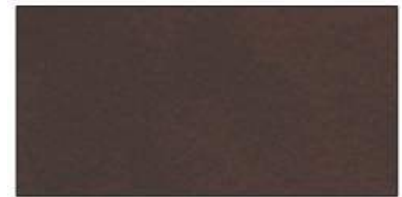
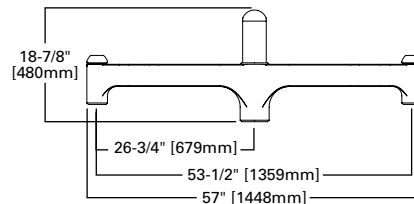
BISHOP SINGLE POLE MOUNT ARM
 VA6105 (Modern), VA6154 (Classical)
 Slipfits over 4" round straight pole, or 4" O.D. by 6" tall round tenon.
 Weight: 24 lbs. E.P.A: 0.92



TRADITIONAL SINGLE POLE MOUNT ARM WITH 45° LOWER BAR
 VA6113 (Modern), VA6162 (Classical)
 Slipfits over 4" round straight pole, or 4" O.D. by 6" tall round tenon.
 Weight: 24 lbs. E.P.A: 1.17



TRADITIONAL TWIN POLE MOUNT ARM
 VA6116 (Modern), VA6165 (Classical)
 Slipfits over 4" round straight pole, or 4" O.D. by 6" tall round tenon.
 Weight: 30 lbs. E.P.A: 1.44



Bronze (BZ)



Catalog #		Type
Project		
Comments		Date
Prepared by		

DECORATIVE ALUMINUM POLES

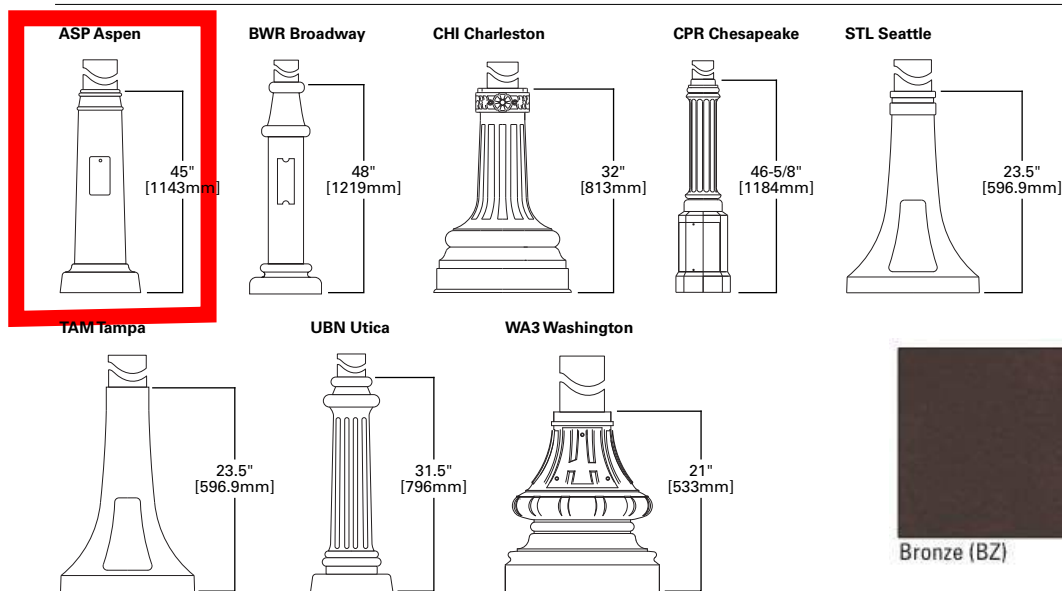
DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

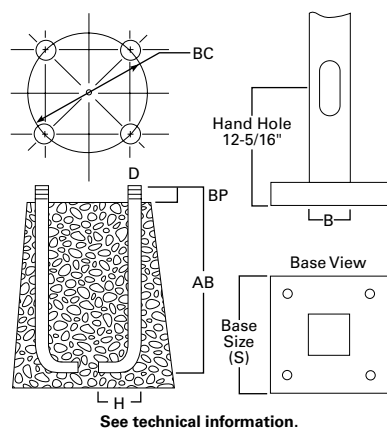
NOTE: The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit www.cooperlighting.com for available options, accessories and ordering information.

BASE HEIGHT DIMENSIONS



ANCHORAGE DATA



Pole	Anchor Bolt and Template Package	Shaft Diameter (inches)	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)	Template Only
Aspen (ASP)	317AVE40S	10 x 4	14.19 + - 0.81	4	3/4 x 17	406541D
Broadway (BWR) ¹	317RB408	8 x 4	12	4	3/4 x 17	405592D
Broadway (BWR) ²	436RB408	8 x 4	12	4	1 x 36	227878D
Charleston (CHI)	317RB4HN	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227095D
Chesapeake (CPR)	317RB4WI	4, 5	13.25	4	3/4 x 17	227116D
Seattle (STL)	317AVE10	4	9	4	3/4 x 17	407040D
Tampa (TAM)	317AVE30	5 x 4	16	4	3/4 x 17	407040D
Utica (UBN)	317RB4SC	4, 5	12.5	4	3/4 x 17	227314D
Washington (WA3)	317RB4WA	4, 5, 6	11.5 + - 1.50	4	3/4 x 17	227077D

NOTES: 1. Anchor bolt set should be for up to 16' mounting height. 2. Anchor bolt set should be for up to 17' and over mounting height.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Fifteen Wimbledon

DRB#: DRB-002231-2021

DATE: 8/22/2023

RECOMMENDATION: Approval Approval with Conditions Denial

MISC COMMENTS & CONDITIONS

1. The project received Conceptual approval on July 27, 2021.
2. The project received Final approval with conditions on October 12, 2021
3. Confirm that all conditions from Final approval have been addressed on current plan.

Final NOA (October 12, 2021) Conditional Comments:

- Add path lights to eastern pedestrian access on sheet L6.2. 2.
- Add 3" Live Oak at the entrance on sheet L4.1. 3.
- Revise the trellis detail on sheet L3.3 to specify concealed electrical conduit.
- Revise the lighting plan to be compliant with the LMO requirements. 5
- Provide an installation detail or plan for the tree and well lights that will not impact tree roots
- An Osprey nest has been confirmed on site. Construction will need to be scheduled around nest activity per DHEC requirements.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

1563-2023

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Beach House Owner LLC Company: _____
 Mailing Address: _____ City: _____ State: _____ Zip: _____
 Telephone: _____ Fax: _____ E-mail: _____
 Project Name: Beach House Renovations Phase 1 & 2 Project Address: 1 S. Forest Beach
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development (ALL PHASES) Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

_____ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

- Additional Submittal Requirements:
Concept Approval – Proposed Development
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 - _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 - _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 - _____ Context photographs of neighboring uses and architectural styles.
 - _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 - _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Sarah Kelly
SIGNATURE

8/8/23
DATE

Date: 15 August 2023

To: **Town of Hilton Head Island**
Community Development Department
One Town Center Court
Hilton Head, Island, SC 29928

From: **WATG**
1730 Flight Way
Suite 150
Tustin, CA 92782

Re: **Beach House | Hilton Head Island**
1 South Forest Beach Drive
Hilton Head, SC 29928

PROJECT NARRATIVE

THE HILTON HEAD BEACH HOUSE property is planning a renovation of the existing pool area, Tiki bar and addition of the event pavilion. The limit of work for the renovation is indicated on the Overall Site Plan and is generally from the facade of the existing hotel and extends to the current DHEC-ORCM setback and baseline as well as the Town of Hilton Head setback and baseline. In addition, the relocation of the restroom, pool equipment room and grill to a location within the Town of HHI setback and baseline to a location no closer to the ocean and is structurally connected to the existing hotel building. The stage will be relocated to the beach side of the Tiki Bar. Improvements include a refresh and update to the spaces, FFE, materials and finishes, and overall quality.

SCOPE OF WORK:

- New Stage Structure Pavilion
- Expanded Tiki Bar/Structure + Wood Deck
- Gas Tables/Rings
- New Swimming Pool, Spa and Deck
- Pool Cabana Structures (FFE), Service Stations + Pool Furnishings
- New Kitchen + Restroom Building (Structurally connected to the hotel)
- New Restroom Building + Pool Equipment Room + Mech. Space
- New Resort Hardscape & Planting + Irrigation
- Dune Walkover Path
- New Exterior Lighting (Sea Turtle Protection + Code Compliant)
- Additional (3) ADA Compliant Rooms to bring up to current code (Interior Renovation ONLY)
- New Event Pavilion with new fencing + maintaining existing fencing
- Demolition as required

SPECIFIC RESPONSES TO DRB REVIEW COMMENTS FROM 8-8-23 MEETING:

For Architectural sheets see PDF pages 38 thru 61.

For Landscape sheets see PDF pages 5 thru 37

1. Comment: No white trims for lighting.
Response: The proposed project light trims and fixture finishes are specified to be 'bronze'. No white or black trims or fixture colors will be used or specified.
2. Comment: Extend all overhangs on all buildings to a minimum of 2'.
Response: The existing hotel overhangs extend 30" and consist of a flat plaster soffit and angled wood painted fascia.
 - a. The proposed kitchen/restroom building has been revised to have 30" overhangs matching the existing building configuration with wood fascia, but using a stained wood soffit material.
 - b. The proposed restroom/pool equipment building has been revised to have 30" overhangs matching the existing building configuration with wood fascia and plaster soffit matching the existing conditions it connects to.
 - c. For the Event Pavilion, the upper roof overhang has been increased to 32", and the lower roof eaves have been increased to 45".
 - d. For the Tiki bar addition and Tiki Stage, the design and overhangs will match the existing structure.
3. Comment: Consider tabby or shell instead of concrete at base of pavilion columns and any other concrete features along buildings.
Response: The base for the Pavilion columns has been studied and the previous detail concept adjusted in width...see revised elevations and details. A tan/earth toned Tabby-Shell finish has been specified for the base, with a natural matching Limestone cap.
4. Comment: Provide detailed landscape plans.
Response: See updated Landscape Plans indicating hardscape, irrigation, and planting layouts.
5. Comment: Provide hardscape details, materials, and colors for new fences, gates, cabanas, etc.
Response: See updated details in the Landscape Plans for built landscape structures. Please refer to the material schedule for selections and hardscape color and finish reference sheet. The black fence has been replaced with a matt bronze finish. See sheet A9.05 for typical stair detail.
6. Comment: Elaborate on palm lighting, quantity, lumens, etc. Elaborate on height of lights. Lights should not be higher than 15' above ground.
Response: All landscape lighting is specified at 12' above grade and below 15'. See revised lighting plans provided and comments/notes shown in the landscape plans. We have reduced the tree rings as requested but have kept them in locations where we need downlights in lieu of pole mounted fixtures. The specified palm tree ring is one that we have used on many projects in commercial resort environments with success.
7. Comment: Update detail on pavilions gables and louvers. Recommended to have a more Low country feel.
Response: The gable ends of the pavilion were studied. To further the low-country aesthetic identified as inspiration, additional vertical trim was added to break up the horizontal louvers to achieve a more traditional style. See revised elevations.

8. Comment: Update column plates to either match Celebration Park or to not allow for trash/debris in center of columns.
Response: We studied the base detail. The S.S. base detail was refined to be “lighter” in feel with more finesse on the strapping and mounting. Additionally, a block added to the center of the (4) posts at the base to advert any trash build-up.
9. Comment: Consider gutters or provide notes for drip line and drainage in pavilion area.
Response: We have detailed a gutter along the pedestrian path (south side) of the pavilion. The gutter profile is shown on the detail section with notes.
10. Comment: Add call outs in pavilion for lighting, fans, string lights, etc. and ensure close discrete conduits.
Response: See the submitted RCP’s for each project component for clear references to the proposed lighting. Each fixture is identified with a symbol and reference number and called out as “typical”. An image of the fixture has been added to the sheets accordingly for reference (full lighting plans are provided as well, but for ease, see the architects RCP’s for each component). We have selected up to (4) internal columns to “box” out the center to bring up necessary conduits from below grade. Refer to the enlarged base details for reference. This will allow conduits to be concealed up to the lower roof. Once to the lower roof, most conduits can run on top of the beams. Where not possible, they will be located in the inside corners of beams to ceiling material and painted to match the wood color. The sconces will back up to round shallow depth ‘j’ boxes, which are painted to match the fixture, and set to blocking. The conduits are nearly all concealed.


Conduits will be concealed as much a feasible, and where exposed, painted to match the adjacent material.

ADDITIONAL RESPONSES AND CLARIFICATIONS FOR THE DRB:

1. Note: All exposed wood for the Event Pavilion is specified to be Southern Yellow Pine-S4S-select grade with a penetrating sealer/stain. Cedar will not be utilized in any component of the structure.
2. Note: All exposed wood for the Tiki Bar Structure (except the structural round columns) are specified to be Southern Yellow Pine-rough sawn-select grade with a penetrating clear sealer. These are not pressure treated.
The round structural columns receive a penetrating wood sealer/preservative.
3. Note: The pavilion roof details have been cleaned up to clearly indicate ½” ext. grade plywood over exposed 2x6 T&G ceiling material. The fasteners of the standing seam roof will not penetrate through and will not be exposed.
4. Note: The architectural plans/elevations include detailed keynotes. The keynotes reference the finish materials and colors.
5. Note: A materials board will be brought to the DRB meeting for review.

Respectfully,

Lance Kalani Walker, ASLA



Vice President + Director of Landscape
Architecture

Wimberly Allison Tong + Goo NA Inc.

Respectfully,

Gregory Villegas, AIA



Vice President + Director of Construction & Full
Services

Wimberly Allison Tong + Goo NA Inc.

Beach House

HILTON HEAD ISLAND

HILTON HEAD BEACH HOUSE RENOVATION

1 SOUTH FOREST BEACH DRIVE, SC 29928
ADA GUESTROOMS, POOL, POOL BAR & AMENITY DECK TENANT IMPROVEMENT

DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



WATG

strategy planning architecture landscape interiors

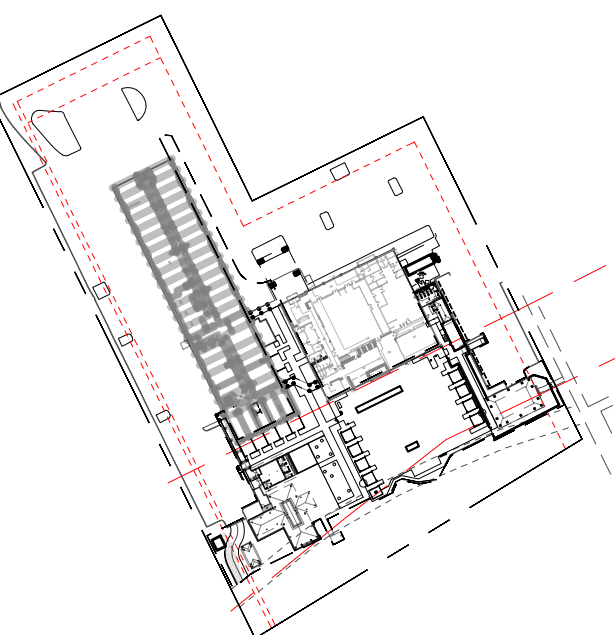
watg.com



client

consultant

stamp | approval



key plan

no. date issue
issues | revisions

Beach House

HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928
project logo

COVER SHEET
sheet title

project no. 212041 date 08/15/23

checked by: LKW / JHC
drawn by: FCVA

component

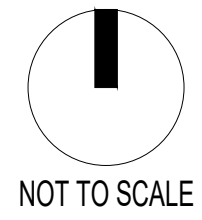
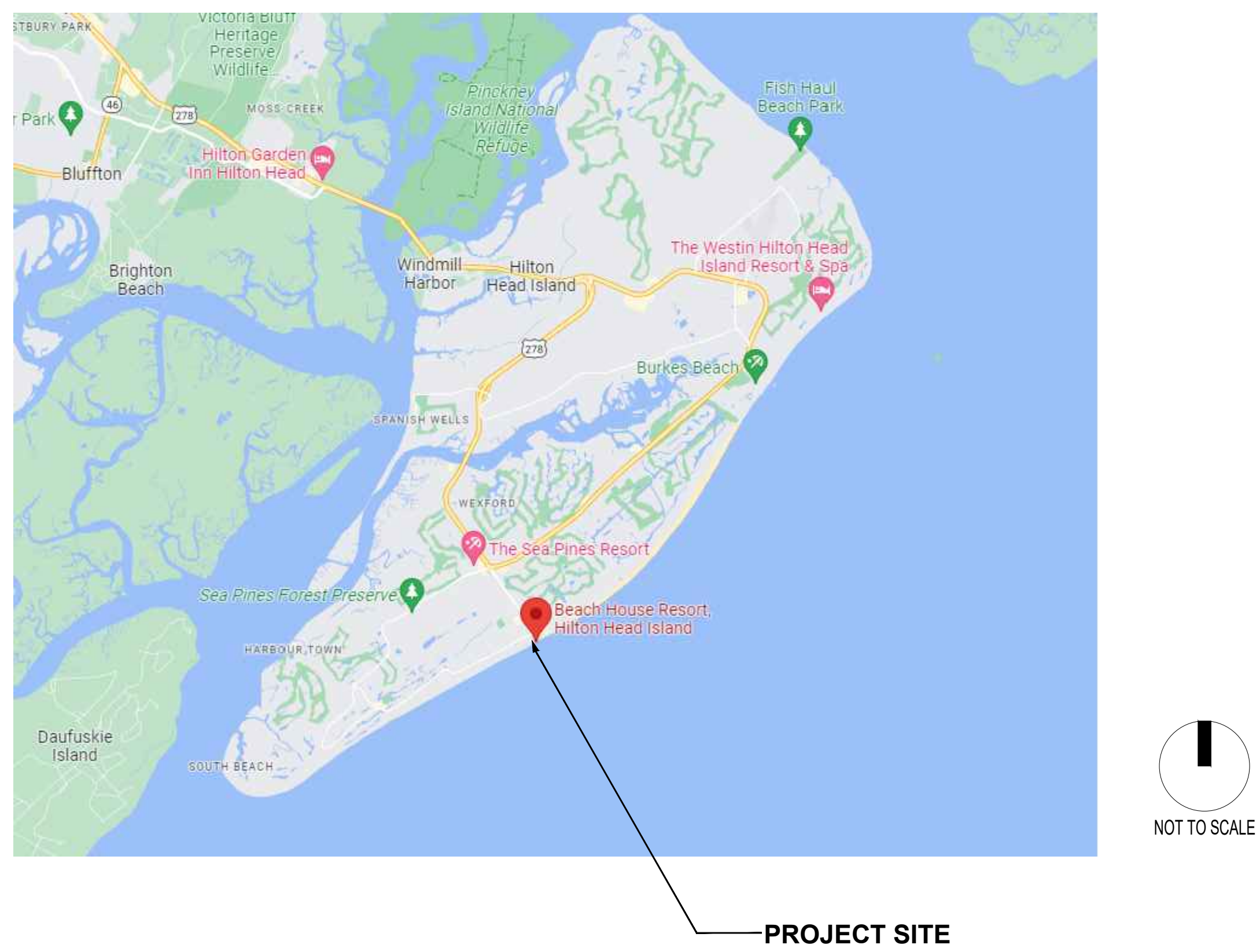
sheet no. L0-000

DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

ABBREVIATIONS

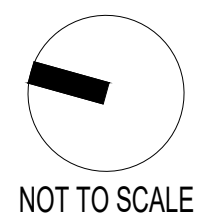
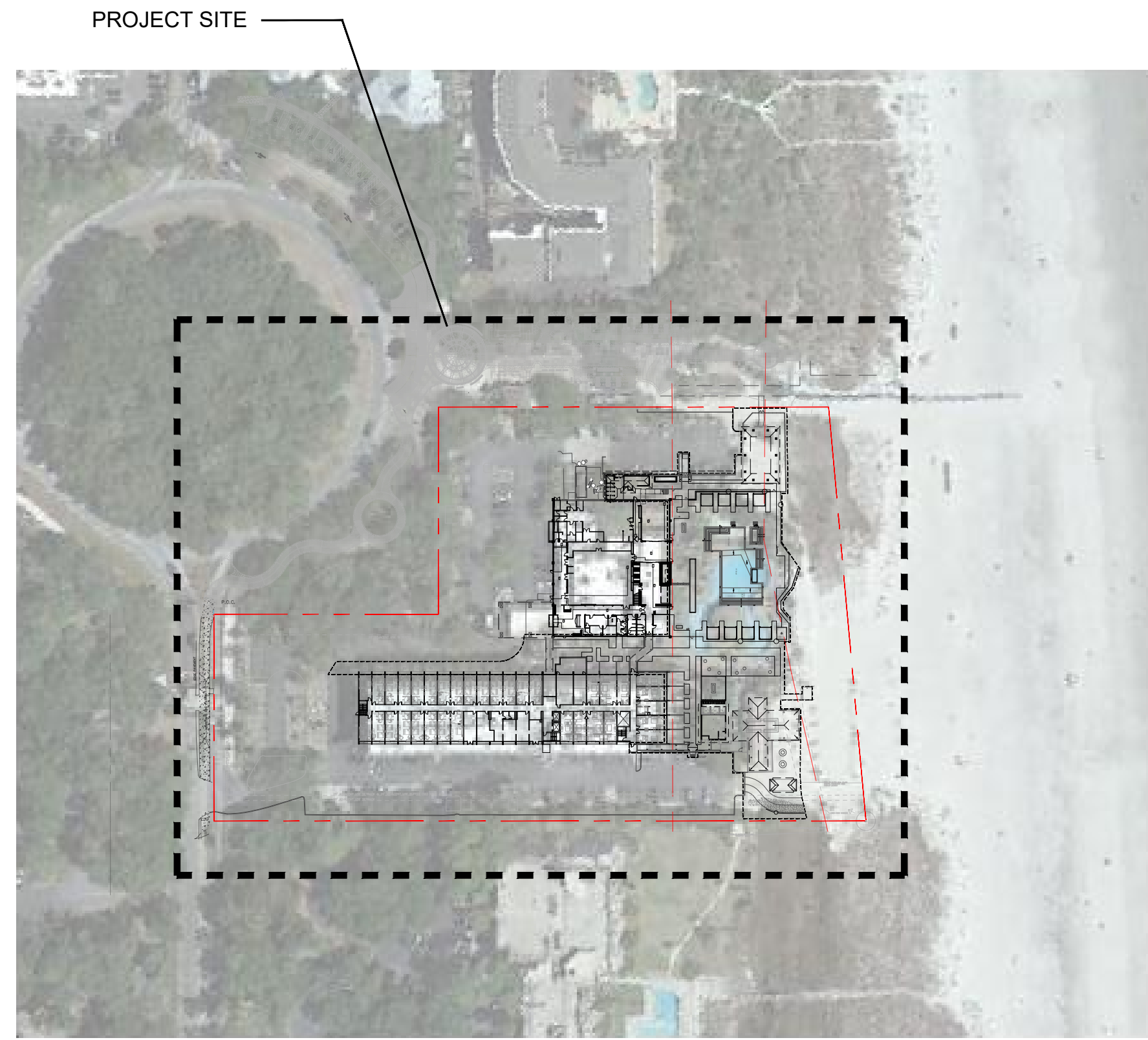
&	AND
@	AT
BLDG.	BUILDING
B.T.H.	BROWN TRUNK HEIGHT
CL	CENTER LINE
CLR.	CLEAR
CM	CENTIMETER
DIA.	DIAMETER
D.G.	DECOMPOSED GRANITE
EQ.	EQUAL
EQUIP.	EQUIPMENT
FT.	FEET
GAL.	GALLON
HT.	HEIGHT
IN.	INCHES
L.O.W.	LIMIT OF WORK
MAX.	MAXIMUM
MIN.	MINIMUM
N.A.P.	NOT A PART
N.C.N.	NO COMMON NAME
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PA	PLANTING AREA
PED.	PEDESTRIAN
PGS.	PAGES
P.L.	PROPERTY LINE
R.O.W.	RIGHT OF WAY
T.B.D.	TO BE DETERMINED
THK.	THICK
T.O.W.	TOP OF WALL
TYP.	TYPICAL
VEH.	VEHICULAR
V.I.F.	VERIFY IN FIELD

VICINITY MAP



PROJECT SITE

KEY MAP



PROJECT DIRECTORY

CLIENT

RED HOSPITALITY
NEW YORK, NY 32801
JILL LEKSTUTIS
516.459.4694
JLEKSTUTIS@REDHOSPITALITY.COM
WWW.REDHOSPITALITY.COM

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ARCHITECT

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IRRIGATION

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VISTA, CA 92084
SCOTT LINDER
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SCOTT@ACI-IRRIGATION.COM

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MARK@WATERARCHITECTURE.COM
RICHARD@WATERARCHITECTURE.COM

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241 NORTH BROADWAY, SUITE 203
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TYLER.MALZAHN@EXP.COM

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JOHN A. MARTIN & ASSOCIATES, INC.
960 SOUTH GRAND AV, SUITE 400
LOS ANGELES, CA 90015
GREG GOROZCO
213.786.3187
GOROZCO@JOHNAMARTIN.COM

ARBORIST

JONES BROTHERS TREE SURGEONS
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HILTON HEAD ISLAND, SC 29926
JAMES ELLIS, ISA CERTIFIED ARBORIST
843.842.4686

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36 E 51ST STREET, 6TH FLOOR
NEW YORK, NY, 10016
JERRY KOUVERAS
917.642.9378
JKOUVERAS@SAMTELL.COM

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HILTON HEAD ISLAND, SC 29926
JOE NIX, PRESIDENT
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JOENIX@NIXCONSTRUCTION.COM

GEOTECHNICAL ENGINEER POOL CONTRACTOR

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379 BROWN COVE ROAD, SUITE C
RIDGELAND, SC 29936
KYLE NICHOLSON, E.I.T.
843.258.7070
KYLE.NICHOLSON@TERRACON.COM

YEAR ROUND POOL
29 MATHEWS DRIVE
HILTON HEAD ISLAND, SC 29926
FRANK X. FOTIA III
843.837.7665 ext. 104
FRANK.FOTIA@YEARROUNDPOOL.COM

ADDITIONAL ABBREVIATIONS

AC	ASPHALT CONCRETE	CMU	CONCRETE MASONRY UNIT	FL	FLOW LINE	MFG	MANUFACTURER	S	SEWER
A/C	AIR CONDENSER	CO	CLEANOUT	FOB	FACE OF BUILDING	MH	MANHOLE	SCH	SCHEDULE
AD	AREA DRAIN	CONC	CONCRETE	FOC	FACE OF CURB	MISC	MISCELLANEOUS	SCO	SEWER CLEAN OUT
ADA	AMERICAN WITH DISABILITIES ACT	CONT	CONTINUOUS	FOF	FACE OF FINISH	N	NORTH	SF	SQUARE FEET
AGG	AGGREGATE	DBL	DOUBLE	FOS	FACE OF STEP	NC	NOT IN CONTRACT	SHT	SHEET
ALIGN	ALIGNMENT	DET	DETAIL	FOW	FACE OF WALL	NO	NUMBER	SH	SIMILAR
APPROX	APPROXIMATE	DWG	DRAWING	FS	FINISH SURFACE	NO	NOMINAL	SPEC	SPECIFICATION
ARCH	ARCHITECTURAL	DI	DIAGONAL	FTG	FOOTING	OP	OPENING	SQ	SQUARE
BC	BOTTOM OF CURB	DIAG	DIAGONAL	G	GAS	OPG	OPPOSITE	STA	STATION
BCR	BEGINNING CURVE RADIUS	DET	DETAIL	GA	GAUGE	OD	OUTSIDE DIAMETER	STD	STANDARD
BD	BOARD	DIM	DIMENSION	GALV	GALVANIZED	OE	OR EQUAL	STRUC	STRUCTURAL
BF	BOTTOM OF FENCE	DWG	DRAWING	GB	GRADE BRAKE	OPG	OPPOSITE	SS	STAINLESS STEEL
BL	BASE LINE	E	EAST	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	TC	TOP OF CURB
BM	BENCHMARK	(E)	EXISTING	GO	GRID ORIGIN	PI	POINT OF INTERSECTION	TOB	TOP OF BEAM
BOC	BACK OF CURB	EA	EACH	GR	GRADE	PIP	PROTECT IN PLACE	TOC	TOP OF CAP
BOP	BOTTOM OF PIPE	ECR	END CURVE RADIUS	GV	GATE VALVE	POC	POINT OF CONNECTION	TOS	TOP OF SLOPE
BOR	BOTTOM OF RAMP	EFS	EXTERIOR INSULATION AND FINISH SYSTEM	HC	HANDICAP	PREP	PREPARATION	TD	TOP OF DRAIN
BOS	BOTTOM OF SLOPE	EL	ELEVATION	HDR	HEADER	PVC	POLY VINYL CHLORIDE	TF	TOP OF FENCE
BOT	BOTTOM	ELEC	ELECTRICAL	HDR	HEADER	PVMT	PAVEMENT	TOR	TOP OF RAMP
BS	BOTTOM OF STEP	ENCL	ENCLOSURE	HP	HIGH POINT	R	RADIUS	TS	TOP OF STEP
BVC	BEGINNING OF VERTICAL CURVE	EVC	END VERTICAL CURVE	ID	INSIDE DIAMETER	RC	REINFORCED CONCRETE PIPE	UNO	UNLESS NOTED OTHERWISE
BW	BOTTOM OF WALL	EW	EACH WAY	INV	ISOLATION JOINT	RD	ROOF DRAIN	V	VERTICAL
CAB	CRUSHED AGGREGATE BASE	EWWM	ELECTRICALLY WELDED WIRE MESH	ISV	ISOLATION JOINT	RE	RIM ELEVATION	VERT	VERTICAL
CB	CATCH BASIN	EX	EXISTING	INV	ISOLATION JOINT	RECP	RECEPTACLE	W	WEST
CBS	CATCH BASIN	FD	FLOOR DRAIN	JT	JOINT	REF	REFERENCE	W	WEST
CFS	CUBIC FEET PER SECOND	FDN	FOUNDATION	LF	LINEAR FEET	REF	REFERENCE	WO	WITHOUT
CI	CAST IRON	FF	FINISH FLOOR	LP	LOW POINT	REQ	REQUIRED	WP	WATERPROOF
CIP	CAST-IN-PLACE	FFE	FINISH FLOOR ELEVATION	MEC	MECHANICAL	REV	REVISION	WS	WATER SURFACE
CJ	CONTRACTION JOINT	FG	FINISH GRADE	MED	MEDIUM	RP	RADIUS POINT		
CL	CLEARANCE	FH	FIRE HYDRANT	MET	METAL				
CMB	CRUSHED MISCELLANEOUS BASE								
CMP	CORRUGATED METAL PIPE								

SYMBOL LEGEND

	CENTER LINE		INDICATES SECTION LETTER
	PROPERTY LINE		INDICATES SECTION SHEET NUMBER
	PLANTING AREA		INDICATES ELEVATION LETTER
	ISOLATION JOINT		INDICATES ELEVATION SHEET NUMBER
	CONTRACTION JOINT		INDICATES ENLARGEMENT NUMBER
	LIMIT OF WORK LINE		INDICATES ENLARGEMENT NAME/DESCRIPTION
	MATCHLINE		INDICATES ENLARGEMENT SHEET NUMBER
	ALIGN		
	POINT OF BEGINNING/ORIGIN POINT OF LAYOUT		

SHEET LEGEND

	DISCIPLINE PREFIX
	SECOND CHARACTER GROUP
	0 - GENERAL
	1 - DEMOLITION
	2 - GRADING
	3 - HARDSCAPE
	4 - IRRIGATION
	5 - PLANTING
	6 - SITE LIGHTING
	7 - SITE FURNISHINGS
	SHEET SEQUENCE NUMBER
	THIRD CHARACTER GROUP
	0 - GENERAL
	1 - PLANS
	2 - ENLARGEMENTS
	3 - PAVING ENLARGEMENTS
	4 - DETAILS
	5 - DIAGRAMS
	6 - 3D REPRESENTATIONS

WATG

strategy planning architecture landscape interiors

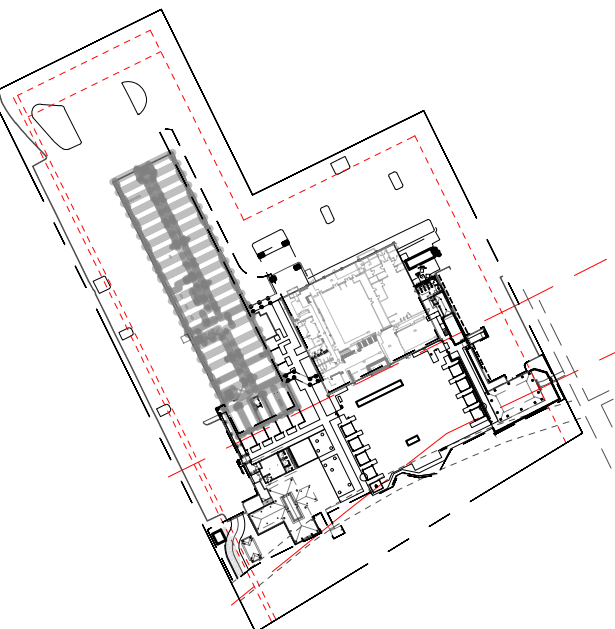
watg.com



client

consultant

stamp | approval



key plan

no. date issue
issues | revisions

Beach House

HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928

project logo

PROJECT INFORMATION
& SHEET INDEX

sheet title

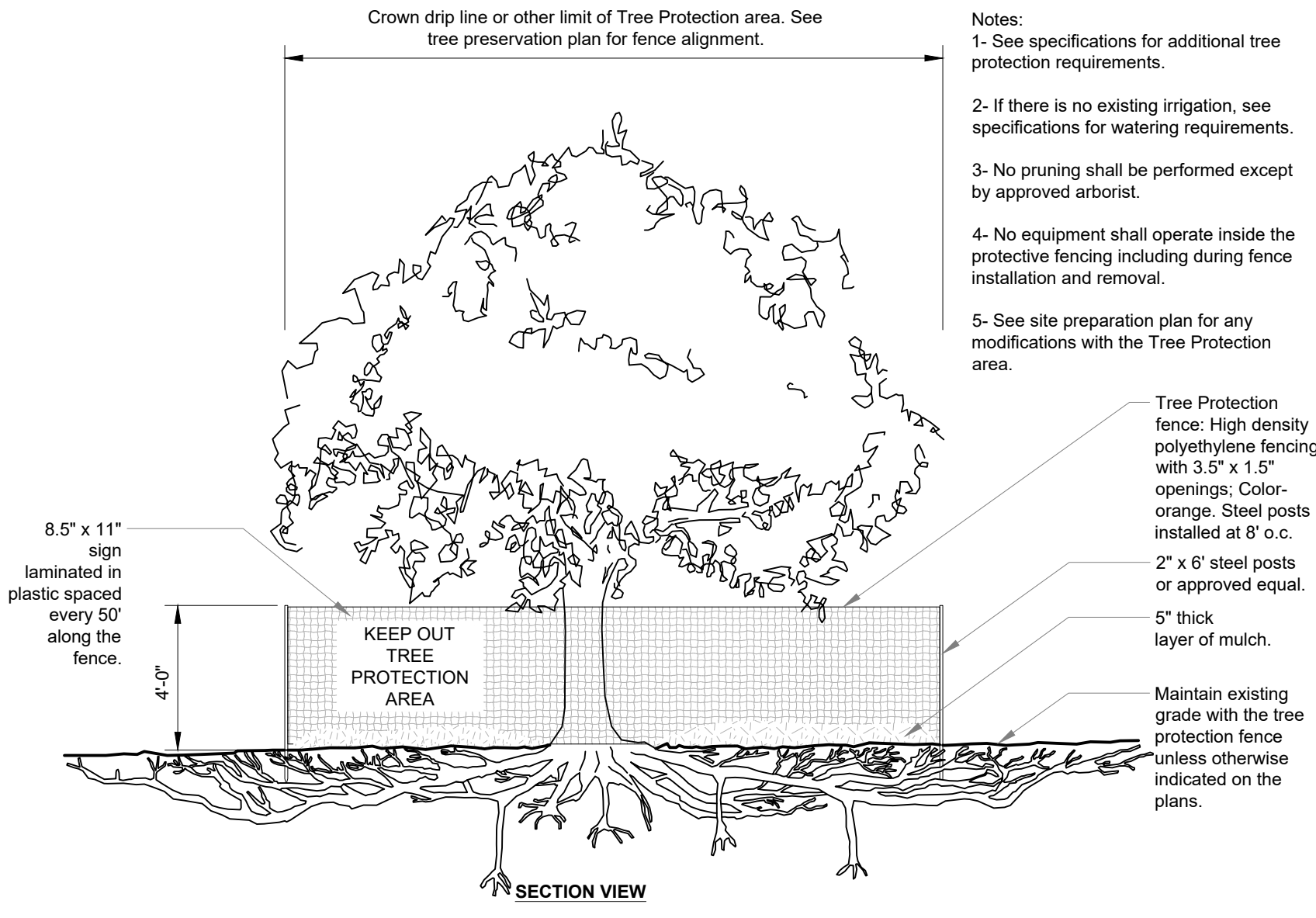
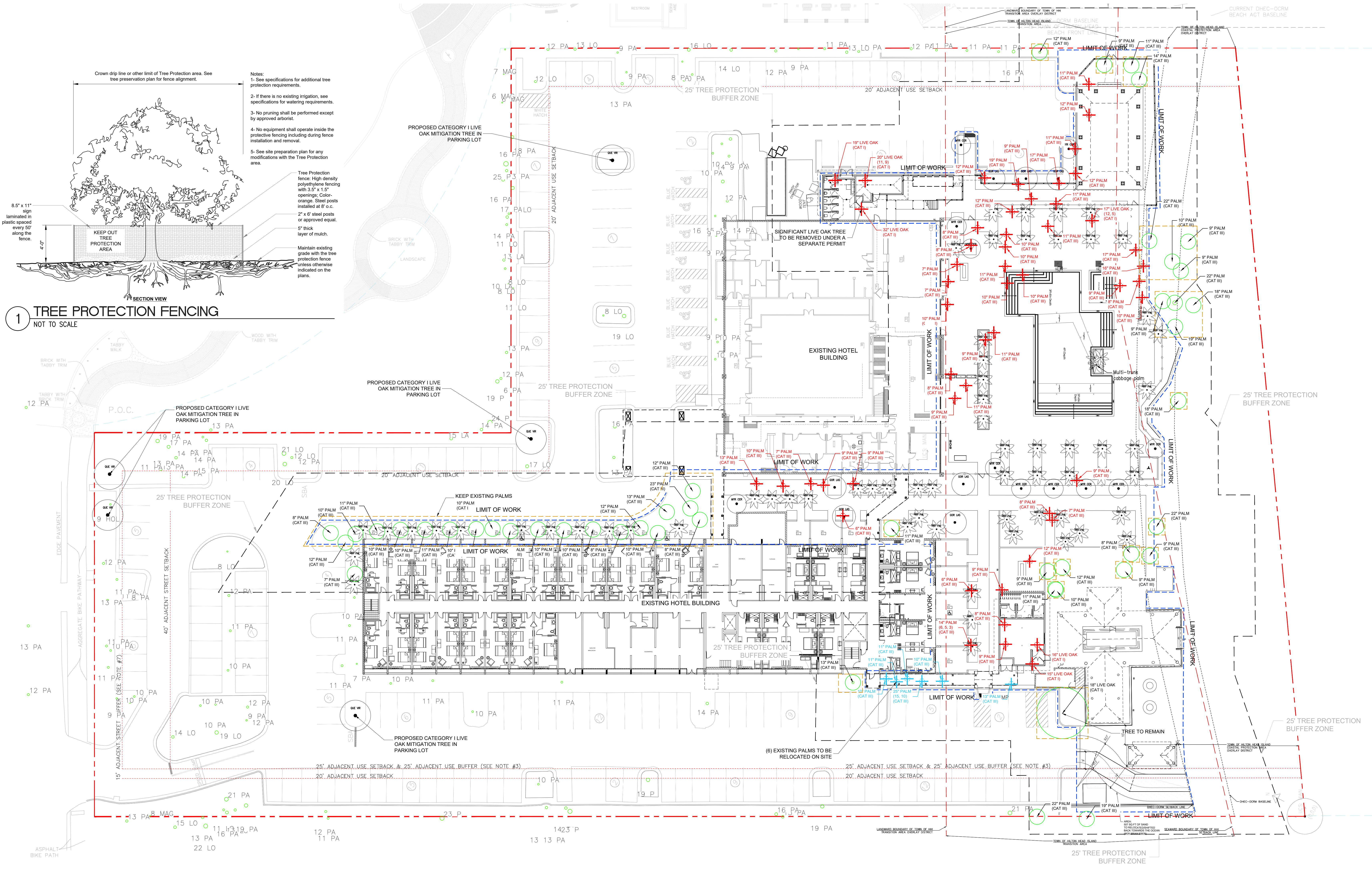
project no. 212041 date 08/15/23

checked by:
drawn by: FCVA

component

sheet no. **L0-001**

DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



1 TREE PROTECTION FENCING
NOT TO SCALE

- Notes:
- 1- See specifications for additional tree protection requirements.
 - 2- If there is no existing irrigation, see specifications for watering requirements.
 - 3- No pruning shall be performed except by approved arborist.
 - 4- No equipment shall operate inside the protective fencing including during fence installation and removal.
 - 5- See site preparation plan for any modifications with the Tree Protection area.
- Tree Protection fence: High density polyethylene fencing with 3.5' x 1.5' openings. Color: orange. Steel posts installed at 8' o.c. 2" x 6" steel posts or approved equal. 5" thick layer of mulch.
- Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

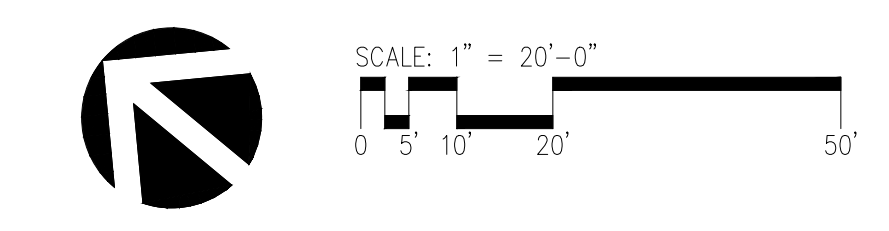
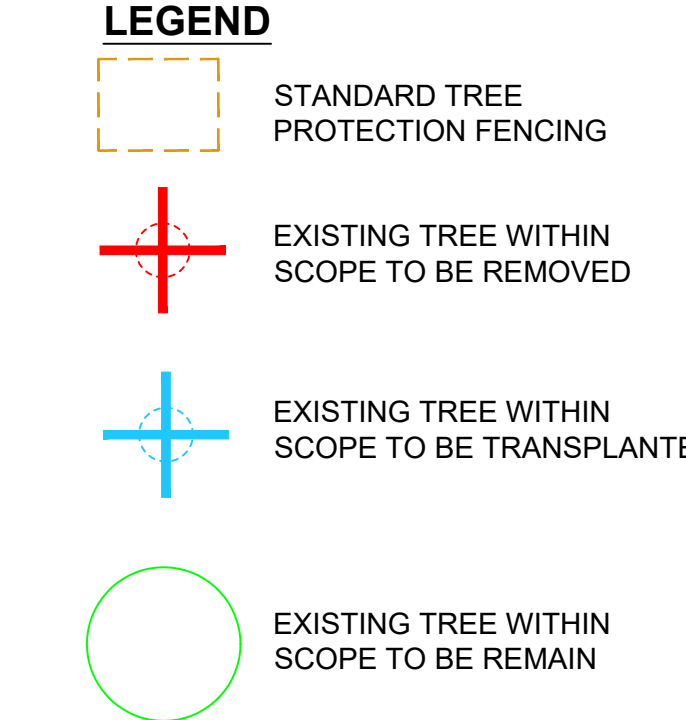
TREE REMOVAL SUMMARY				
CATEGORY	TREE SPECIES	QUANTITY	TOTAL DBH (IN)	# OF REPLACEMENT TREE REQUIRED
I	LIVE OAK	6	119	12
III	PALM	45	472	46

DETAILED TREE REMOVAL TALLY			
LIVE OAK TREES TO BE REMOVED:		PALM TREES TO BE REMOVED:	
DBH OF TREE	COUNT	DBH OF TREE	COUNT
15" LIVE OAK	1	6" PALM:	2
16" LIVE OAK	1	7" PALM:	4
17" LIVE OAK	1	8" PALM:	6
19" LIVE OAK	1	9" PALM:	8
20" LIVE OAK	1	10" PALM:	7
32" LIVE OAK	1	11" PALM:	7
		12" PALM:	5
		13" PALM:	1
		14" PALM:	1
		16" PALM:	1
		17" PALM:	2
		19" PALM:	1
TOTAL:	6	TOTAL:	45

PROPOSED TREE COUNT FOR MITIGATION		
CATEGORY	TREE SPECIES	# OF TREE PROPOSED
I	LIVE OAK	5
I	LOBLOLLY BAY	7
TOTAL NUMBER OF CATEGORY I REPLACEMENT TREE:		12
III	PALM	66
TOTAL NUMBER OF CATEGORY III REPLACEMENT TREE:		66

- TREE MITIGATION NOTES**
1. TREES THAT ARE REMOVED SHALL BE REPLACED AT THE RATE OF ONE TREE FOR EVERY TEN TREE INCHES REMOVED PER TREE CATEGORY.
 2. SUPPLEMENTAL AND REPLACEMENT TREES SHALL BE WITHIN THE SAME OR LOWER-NUMBERED TREE CATEGORY AS THE TREES BEING REPLACED.
 3. CATEGORY I REPLACEMENT TREE SHOULD HAVE A MINIMUM TRUNK DIAMETER OF 2 INCHES AND A MINIMUM HEIGHT OF 10 FT. CATEGORY III REPLACEMENT TREE SHOULD HAVE A MINIMUM TRUNK DIAMETER OF 1 INCH AND A MINIMUM HEIGHT OF 6 FT.
 4. REFER TO PLANTING SCHEDULE AND TREE PLAN FOR COMPREHENSIVE PROPOSED TREE PLANTING.

- TREE PROTECTION NOTES**
1. TREE PROTECTION FENCING & EROSION CONTROL MEASURES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
 2. REFER TO CIVIL PLANS FOR EROSION CONTROL MEASURES.
 3. EROSION CONTROL AND TREE FENCING ARE TO BE IN PLACE AND APPROVED BY THE TOWN OF HILTON HEAD PRIOR TO ANY TREE CLEARING OR SITE DEMOLITION / CONSTRUCTION.
 4. BEFORE ANY DEMOLITION, UNDERBURSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ALL REQUIRED EROSION CONTROL / TREE PROTECTION MEASURES ARE INSTALLED.
 5. CONTACT THE TOWN'S MANAGER TO SCHEDULE PRE-CLEAR INSPECTION.
 6. WARNING SIGNS SHALL BE INSTALLED ALONG ANY REQUIRED TREE PROTECTIVE FENCING AT POINTS NO MORE THAN 150 FEET APART. THE SIGNS SHALL BE CLEARLY VISIBLE FROM ALL SIDES OF THE OUTSIDE OF THE FENCED-IN AREA. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET. THE SIGN MESSAGE SHALL IDENTIFY THE FENCED OR MARKED AREA AS A TREE PROTECTION ZONE AND DIRECT CONSTRUCTION WORKERS NOT TO ENCRoACH INTO THE AREA (E.G., "TREE PROTECTION ZONE: DO NOT ENTER"). SEE FIGURE 16-6-104.J.2: TREE PROTECTIVE FENCING AND SIGNAGE.



The original site of this drawing is 30"x42" Copyright © 2015 WATG. All rights reserved.

GENERAL HARDSCAPE NOTES

- Conform work to requirements of latest adopted edition of uniform building code and applicable local and state codes, plans, specifications, ordinances and regulations.
- Prior to beginning work, become familiar with existing site conditions, including underground utilities, and above grade features such as grading, walls, fences, structures, etc. Contractor will be held responsible for his own damage.
- Upon being awarded contract, make necessary arrangements to insure that materials, supplies, and manpower will be available when needed to construct this project in an orderly and timely fashion.
- Do not begin work until contractor's "construction set" drawings are current and have required public agency approvals.
- Verify property lines, easements, flood zone lines, coastal setbacks and baselines, buffer zones, and limits of work prior to commencing work.
- Refer to project specifications for additional information.
- Obtain necessary permits and pay for related inspection fees required to install work.
- Written dimensions take precedence over scaling of drawings.
- Where conflicts occur between drawings and actual field conditions, notify owner's authorized representative immediately for clarification. Failure to provide notification may hold contractor liable for costs incurred to rectify problem, if required.
- Prior to installing paving, refer to the project's geotechnical report. Provide notification of any discrepancies between the geotechnical report's recommendations and information noted in the hardscape schedules.
- Do not willfully proceed with construction operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during the design process. Immediately bring these conditions to the attention of owner's authorized representative for resolution. Assume full responsibility for costs incurred and required modifications due to lack of providing such notification.
- Be responsible for coordinating work with owner, owner's authorized representative, general contractor and his sub-contractors, public agencies, and project design consultants.
- Ensure that rough grade has been accepted by owner prior to beginning work.
- Ensure that fine grades have been established correctly and approved by owner's authorized representative prior to beginning hardscape work.
- Provide the following grade drops from paving finish surface: turf areas - 1 inch, ground cover and shrub areas - 2 inches.
- Ensure that contractor-installed underground elements such as drain lines, irrigation main lines and laterals, electrical conduit, sleeves, etc. are in place, operational, and approved by public agency inspection prior to installation of hardscape work.
- Paving mock-ups are required on this project - refer to paving schedule and specifications for additional information.
- Ensure that curved edges such as walkways, headerboard, and mowstrips have smooth and continuous curves.
- Notify owner's authorized representative with proper lead time, as indicated in specifications prior to a contractor-requested site meeting. Failure to provide appropriate lead time may result in contractor being backcharged for owner's authorized representative's time and expenses.
- Refer to Civil Engineer's drawings for precise grading, step quantities, and drainage information.
- Dimensions are to the face of walls and other finish surfaces, unless otherwise indicated.
- Provide isolation joints where paving abuts vertical edges such as walls, steps, curbs, and columns.

PAVING SCHEDULE

KEY	DESCRIPTION	DETAIL	COLOR	FINISH	PATTERN	MANUF.	REMARKS
P-1	NOT USED	-	-	-	-	-	-
P-2	PERMEABLE CONCRETE PAVER	L3-401 DET.1	M1914	-	PER PLAN	HANOVER CONTACT: TYLER HAGARMAN 1-717-524-6440	STRUCTURAL REINFORCEMENT AND SUBBASE PER REQUIREMENT OF GEOTECHNICAL SOILS REPORT AND STRUCTURAL ENGINEER. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
P-3	WOOD DECK AT POOL DECK (SHOWER & FOOTWASH)	L3-405 DET.2	CLEAR COAT NATURAL	CUMARU WOOD	PER PLAN	ADVANTAGE LUMBER CONTACT: CRAIG MCCALL 1-877-333-3913	5/4 X 6 TO MATCH ARCHITECTURAL WOOD DECK MATERIALS & FINISHES. SEE STRUCTURAL ENGINEERING DRAWINGS. WATER SEALANT TO
P-4	STABILIZED OYSTER SHELLS	L3-401 DET.3	-	-	PER PLAN	SHELL-SCAPES CONTACT: MARK SIBBOL 1-253-470-9940	CRIBBED OYSTER SHELLS SIZE: 3/4" MINUS. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
P-5	DETECTABLE WARNING PAVER	L3-401 DET.6	CHARCOAL	-	PER PLAN	HANOVER CONTACT: TYLER HAGARMAN 1-717-524-6440	STRUCTURAL REINFORCEMENT AND SUBBASE PER REQUIREMENT OF GEOTECHNICAL SOILS REPORT AND STRUCTURAL ENGINEER. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
P-6	PIP CONCRETE HEADER WITH INTEGRATED TABBY	L3-401 DET.2	NATURAL	TOPCAST #3	PER PLAN	-	STRUCTURAL REINFORCEMENT AND SUBBASE PER REQUIREMENT OF GEOTECHNICAL SOILS REPORT AND STRUCTURAL ENGINEER.
P-7	PRE-CAST CONCRETE CURB	L3-401 DET.5	M1914	-	PER PLAN	HANOVER CONTACT: TYLER HAGARMAN 1-717-524-6440	STRUCTURAL REINFORCEMENT AND SUBBASE PER REQUIREMENT OF GEOTECHNICAL SOILS REPORT AND STRUCTURAL ENGINEER. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
P-8	STEEL EDGING	L3-401 DET.7	BROWN	-	-	JD RUSSELL COMPANY CONTACT: +1 202.828.7008 WWW.JDRUSSELL.COM	1/2" THICK X 8" DEPTH. INSTALL PER DETAIL AND MANUFACTURER RECOMMENDATIONS.
P-9	SYNTHETIC TURF	PER MANUF.	FIELD GREEN	-	SHAPE: OMEGA	SYNLAWN CONTACT: +1 866.796.5296 WWW.SYNLAWN.COM	MODEL: SYNLAWN PLAT PLATINUM ADA COMPLIANT SYNTHETIC TURF. INSTALLATION PER MANUFACTURER.

FENCE/GATE/RAIL SCHEDULE

KEY	DESCRIPTION	DETAIL	COLOR	FINISH	MANUF.	REMARKS
F-1	ALUMINUM POOL ENCLOSURE FENCE	L3-403 DET.2	MATTE BRONZE	POWDER COAT PAINT FINISH AAMA-2608 COMPLIANT	FENCE USA CONTACT: MITCH +1-517-803-1375	FENCE USA "SAN MARINO MODEL" COMMERCIAL-1 PREMIER GRADE. INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
F-2	CABLE RAIL FENCE	L3-402 DET.1	CLEAR COAT NATURAL ALTERNATIVE: STAINLESS STEEL	CUMARU WOOD ALTERNATIVE: STAINED CLEAR COAT	-	MATCH ARCHITECTURAL WOOD RAILING MATERIALS & FINISHES.
F-3	GUESTROOM PATIO FENCE	L3-402 DET.3	TO MATCH ARCHITECTURE	TO MATCH ARCHITECTURE	-	COLOR TO MATCH ARCHITECTURAL SIDINGS AT TIKI BAR.
G-1	ALUMINUM POOL GATE	L3-403 DET.1	MATTE BRONZE	POWDER COAT PAINT FINISH AAMA-2608 COMPLIANT	FENCE USA CONTACT: MITCH +1-517-803-1375	FENCE USA "SAN MARINO MODEL" COMMERCIAL-1 PREMIER GRADE. INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
G-2	WOOD FENCE GATE	L3-402 DET.2	CLEAR COAT NATURAL ALTERNATIVE: SOUTHERN YELLOW PINE	CUMARU WOOD ALTERNATIVE: STAINED	ADVANTAGE LUMBER CONTACT: CRAIG MCCALL 1-877-333-3913	COLOR TO MATCH ARCHITECTURAL SIDINGS AT EVENT PAVILION.
G-3	NOT USED	-	-	-	-	-
R-1	NOT USED	-	-	-	-	-
R-2	TUBULAR STAINLESS STEEL POOL HANDRAILS	PER MANUF.	NATURAL	MATTE FINISH	ART-1105 ARTISAN SERIES RAIL	INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
R-3	DUNE WALL CLADDING	L3-405 DET.4	SOUTHERN YELLOW PINE	TO MATCH EXISTING	-	-

SITE ELEMENT SCHEDULE

KEY	DESCRIPTION	DETAIL	COLOR	FINISH	MANUF.	MODEL #	REMARKS
S-1	RECTANGULAR CONCRETE FIRE PIT	L3-404 DET. 1	ALABASTER	STANDARD	ERNSDORF SETH ERNSDORF +1 818-950-3625	-	SEE DETAIL. PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
S-2	CIRCULAR CONCRETE BOWL FIRE PIT	L3-404 DET. 2	ALABASTER	STANDARD	ERNSDORF SETH ERNSDORF +1 818-950-3625	-	SEE DETAIL. PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
S-5	OUTDOOR SHOWER	L3-404 DET.3	STAINLESS STEEL CHROME PLATED BRASS	BRUSHED	OUTDOOR SHOWER CO. EMILY DAVISON +1 978-363-3939	PS-3300 -3X-ADA	MARINE GRADE STAINLESS STEEL 316 WITH TEAK HANDLE. INSTALL PER MANUFACTURER'S DETAIL. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-6	PLANTER BOX	PER MANUF.	DUNE	SANDBLAST	KORNEGAY DESIGN	SS-15	PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. PLEASE PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL.
S-7	POOL CABANA	L3-402 DET. 5	PAVILION L FRAME SAND DUNE	STANDARD	KETTEL ILLIANA PONTE +1 786-552-9022	PAVILION L	ALUMINUM CANOPY WITH MINIDOTS - REF KS9701100 ALUMINUM HORIZONTAL SIDE PANELS - REF KS9702000 SWEET CURTAIN SET - REF KS9703000 TV MOUNT - PER INTERIOR DESIGNER. PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL. SUBMIT FINAL SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. ALLOW FOR 14-16 WEEKS LEAD TIME.
S-8	TOWEL DISPLAY STATION	PER MANUF.	-	STAINED	CUSTOM BEACH MARIA ESCOBAR +1 786-219-6038	SS97215 APPROX. 58"X 74"X 30"X 36" (88")	INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-9	UMBRELLAS WITH IN-GROUND SLEEVES	L3-401 DET.4	STAINLESS STEEL	BRUSHED	TUCCIAGENCY 967 LEWIS EGLE +1 310-228-7031	-	INSTALL PER DETAIL. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-10	FOOT WASH	L3-404 DET.4	STAINLESS STEEL CHROME PLATED BRASS	BRUSHED	OUTDOOR SHOWER CO. EMILY DAVISON +1 978-363-3939	FSF98B-300-ADA	MARINE GRADE STAINLESS STEEL 316 WITH TEAK HANDLE. INSTALL PER MANUFACTURER'S DETAIL. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-11	MOBI MAT	PER MANUF.	YELLOW SAND TAN	-	MOBI MAT OREG SCOLL +1 973-928-3040	ADA PARKING (BIODEGRADABLE RIGID PANEL)	INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-12	DRINKING FOUNTAIN	PER MANUF.	STAINLESS STEEL WITH MATTE SILVER	POWDER COAT	HAWES CO.	MODEL 3612F	INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.
S-13	FIREPIT SHUT-OFF VALVE PEDESTAL	L3-405 DET.3	DARK BRONZE	POWDER COAT	-	-	-
S-14	LITTER RECEPTACLE	-	-	STAINED	CUSTOM BEACH MARIA ESCOBAR +1 786-219-6038	RECYCLE WASTE BIN 2002 (19)	INSTALL PER DETAIL & MANUFACTURER SPECIFICATIONS. PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL.

WATER FEATURE AND POOL SCHEDULE

KEY	DESCRIPTION	DETAIL	COLOR	FINISH	PATTERN	MANUFACTURER	REMARKS
WF-1	MAIN POOL						
	PRECAST CONCRETE COPING	L3-405 DET.1	M1914	-	PER PLAN	HANOVER CONTACT: TYLER HAGARMAN 1-717-524-6440	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. SEALER AQUALOK (ZFISER 14633)
	WATERLINE TILES	SOLID, NO PATTERN	EVERGLADE	GLAZED	2"x2" MOSAIC TILE	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.
	STEP TRIM	PER MANUF.	EVERGLADE	UNGLAZED	1"x1" MOSAIC TILE	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.
	DEPTH MARKER WATERLINE TILES	PER MANUF.	BLACK LETTERS ON WHITE MOSAIC TILES (IMPERIAL, MARKINGS)	GLAZED	6" x 6"	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.
WF-2	SPA POOL						
	PRECAST CONCRETE COPING	L3-405 DET.1	M1914	-	PER PLAN	HANOVER CONTACT: TYLER HAGARMAN 1-717-524-6440	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS. SAMPLE TO BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. SEALER AQUALOK (ZFISER 14633)
	WATERLINE TILES	SOLID, NO PATTERN	EVERGLADE	GLAZED	2"x2" MOSAIC TILE	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.
	STEP TRIM	PER MANUF.	EVERGLADE	UNGLAZED	1"x1" MOSAIC TILE	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.
	DEPTH MARKER WATERLINE TILES	PER MANUF.	BLACK LETTERS ON WHITE MOSAIC TILES (IMPERIAL, MARKINGS)	GLAZED	6" x 6"	DALTILE MIRA, CLUTTER 714.213.9500	REFER TO POOL CONTRACTOR'S DRAWINGS FOR DETAILED LAYOUT, REINFORCEMENT AND OTHER STRUCTURAL REQUIREMENTS.

KEYNOTES

- EVENT PAVILION BY ARCHITECT
- RESTROOM BY ARCHITECT
- LOUNGE SEATING BY INTERIOR DESIGNER.
- POOL DEPTH MARKER BY POOL CONSULTANT.
- ADA POOL LIFT CHAIR BY POOL CONSULTANT.
- OVERHEAD STRUCTURE BY ARCHITECT
- TIKI BAR/DECK RAILING BY ARCHITECT.
 - STRUCTURE, DECK, STAIR, AND RAILINGS BY ARCHITECT
- EXISTING SHOWER TO REMAIN & ROTATE TO FIT WOOD DECK CONFIGURATION BY ARCHITECT.
- STAGE BY ARCHITECT.
- POOL EQUIPMENT ROOM BY ARCHITECT.
- EXISTING SIDEWALK & CURB PROTECT IN PLACE.
- NEW POOL RESTROOM BY ARCHITECT.
- NEW KITCHEN AT TIKI BAR BY ARCHITECT.
- NEW DUNE WALKOVER BY ARCHITECT.
- FF&E BY INTERIOR DESIGNER.
- EXISTING UTILITY ROOM.
- PUMP EQUIPMENT BY POOL CONSULTANT.
- UMBRELLA BY INTERIOR DESIGNER.
- WHEEL STOPS TO BE SELECTED.
- RESORT CONCESSION STAND.

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strategy planning architecture landscape interiors

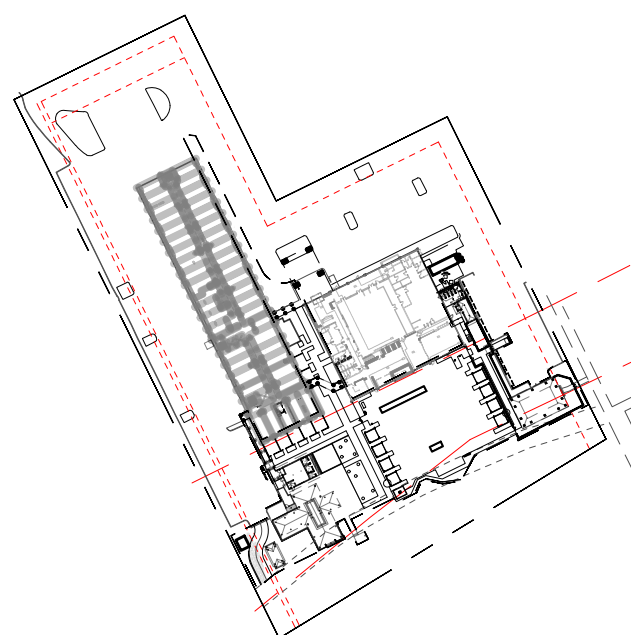
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client

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stamp | approval



key plan

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928
project logo

HARDSCAPE SCHEDULE
AND NOTES
sheet title

project no. 212041 date 08/15/23

checked by:
drawn by: FCVA / CL

component

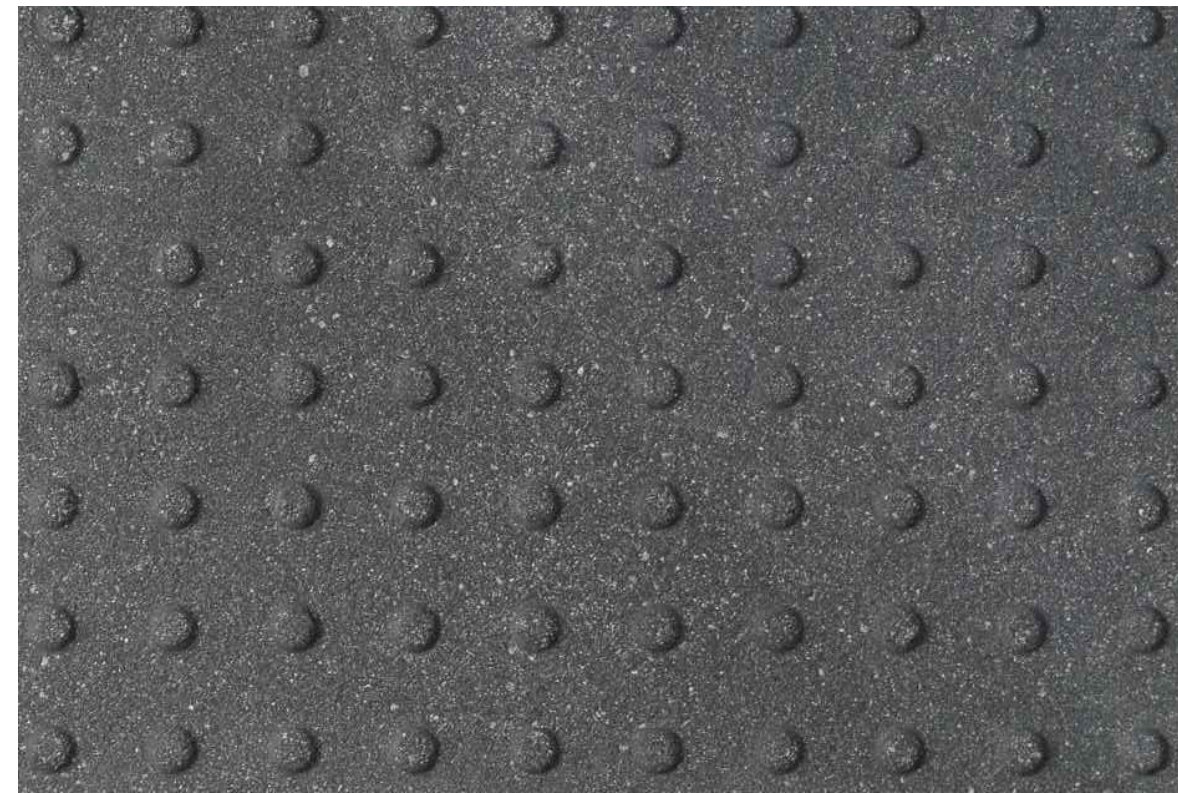
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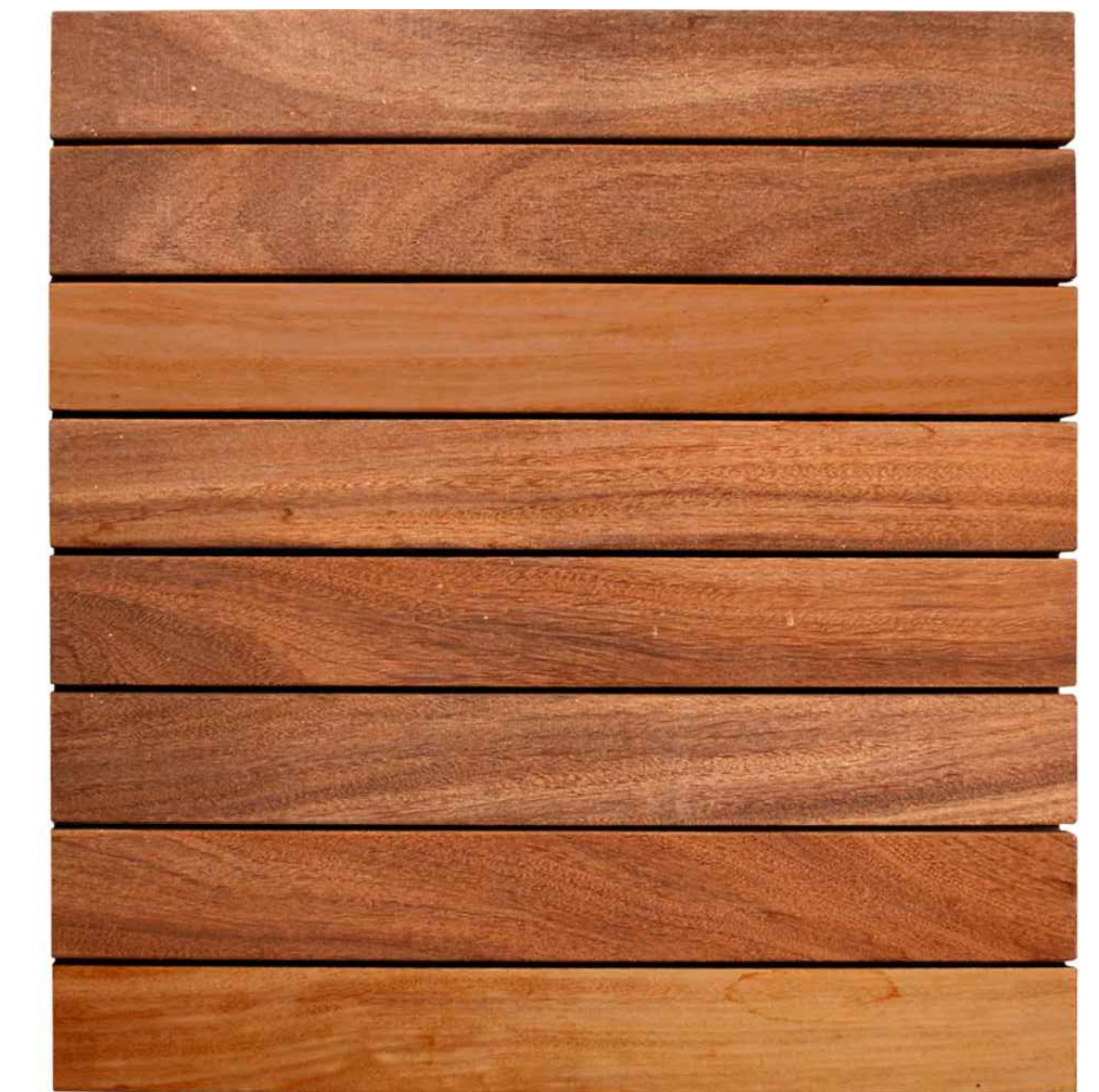
PAVING SCHEDULE



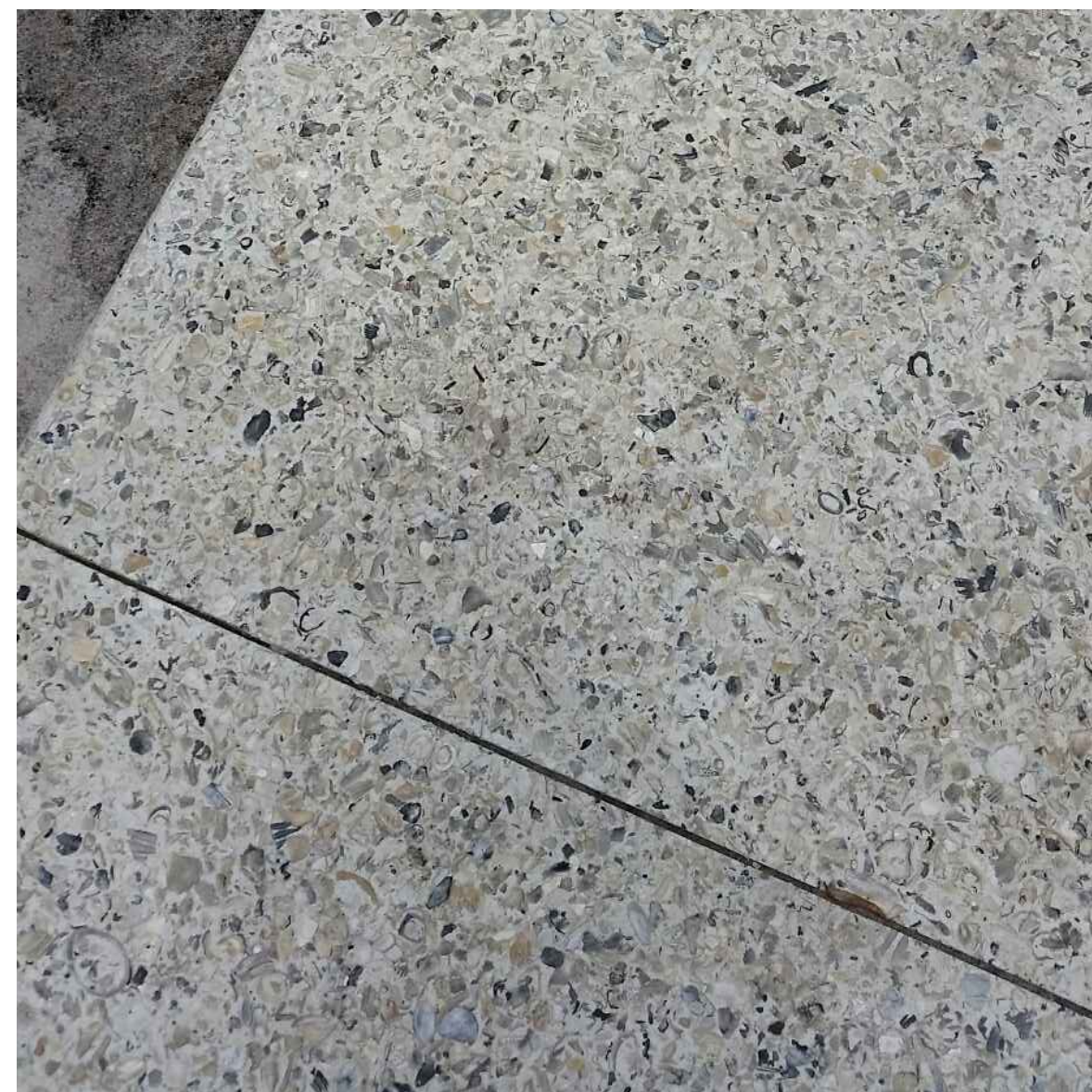
P-2 PERMEABLE CONCRETE PAVER
COLOR: M1914



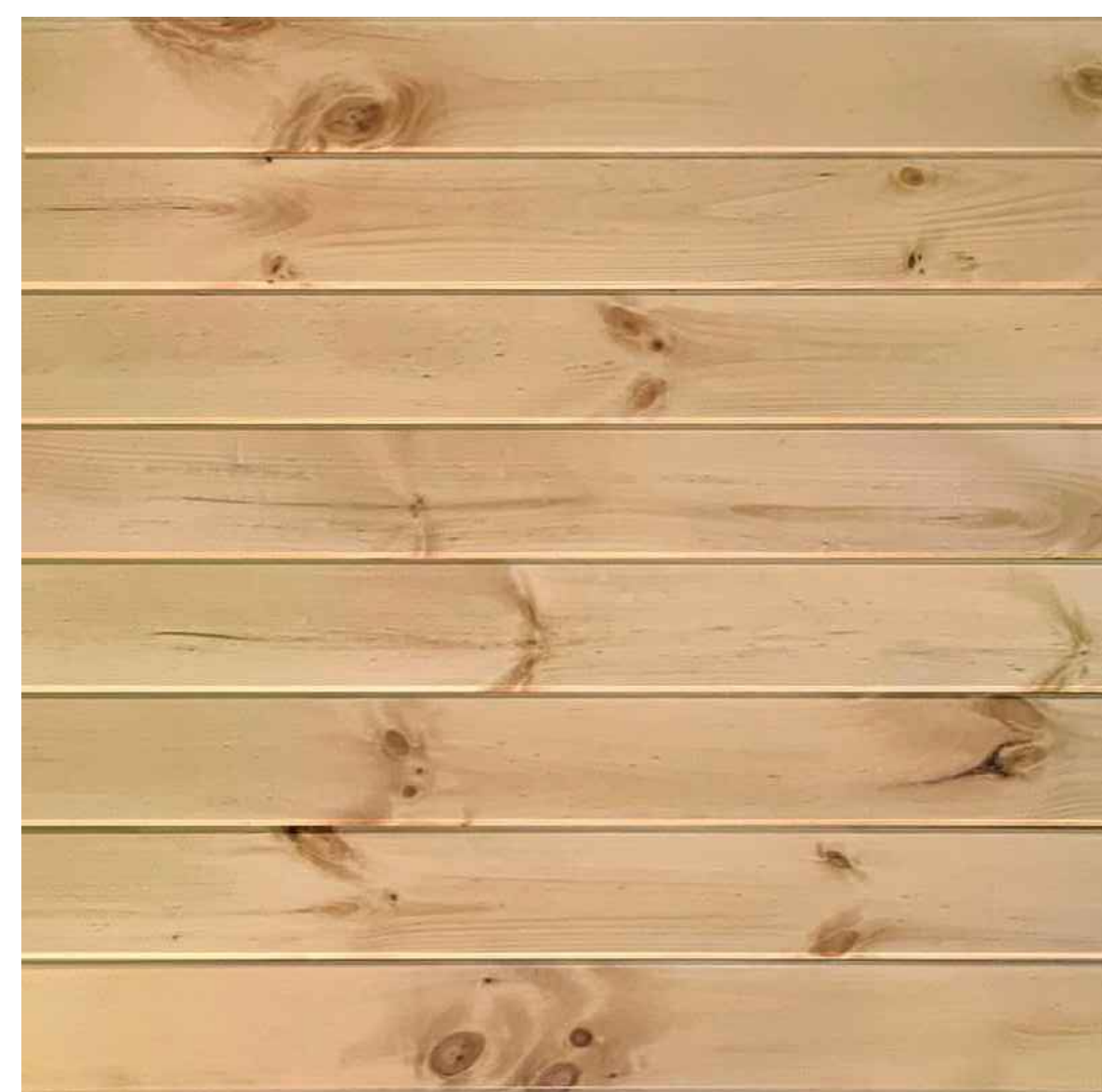
P-5 DETECTABLE WARNING PAVER
COLOR: CHARCOAL



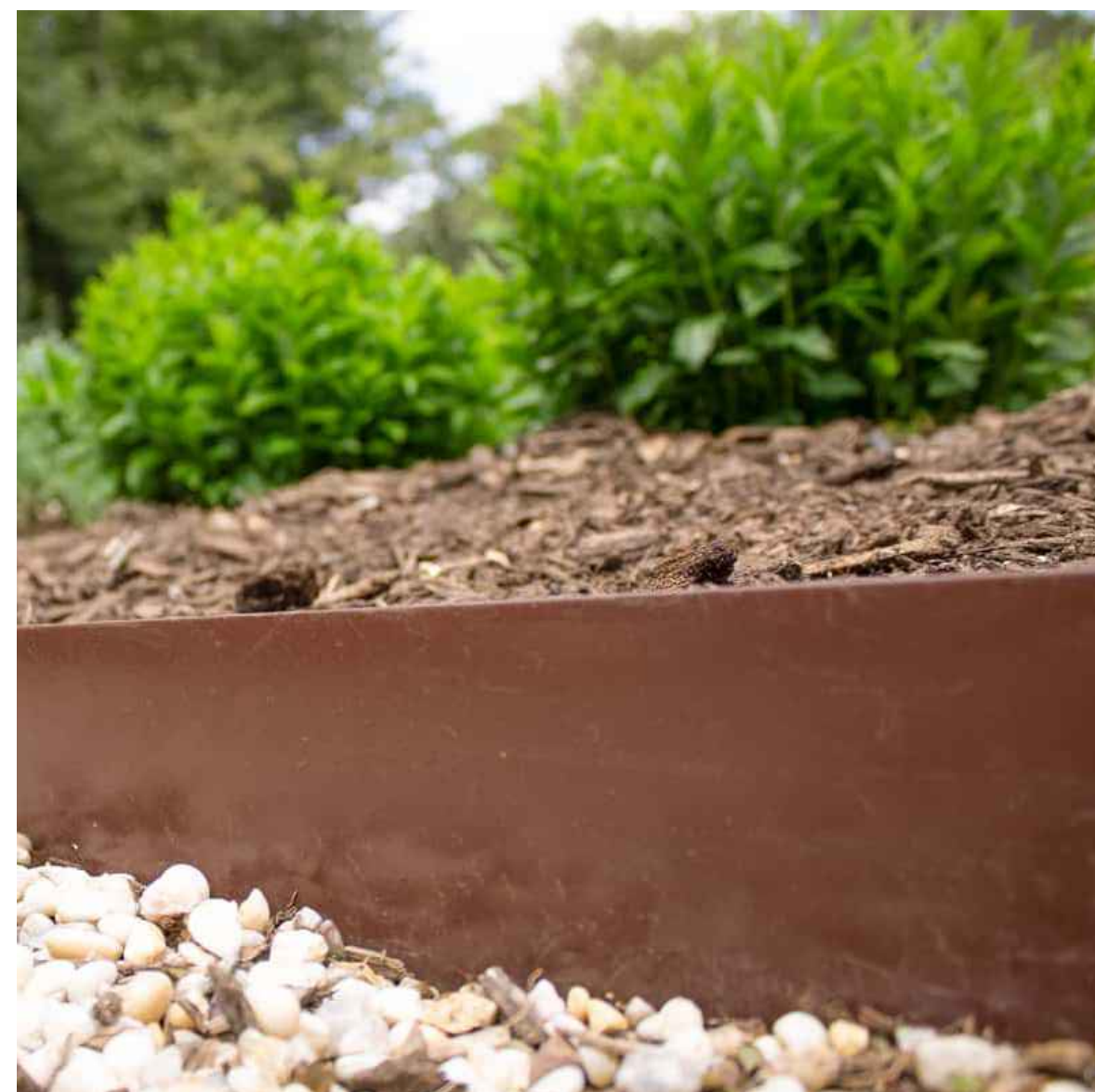
P-3 WOOD DECK
COLOR: CUMARU BRAZILIAN TEAK



P-6 PIP CONCRETE WITH INTEGRATED TABBY
COLOR: TAN WITH TABBY



P-3 WOOD DECK
ALT: SOUTHERN YELLOW PINE



P-8 STEEL EDGING
COLOR: BROWN



P-4 STABILIZED OYSTER SHELLS
COLOR: NATURAL



P-9 SYNTHETIC TURF
COLOR: FIELD GREEN

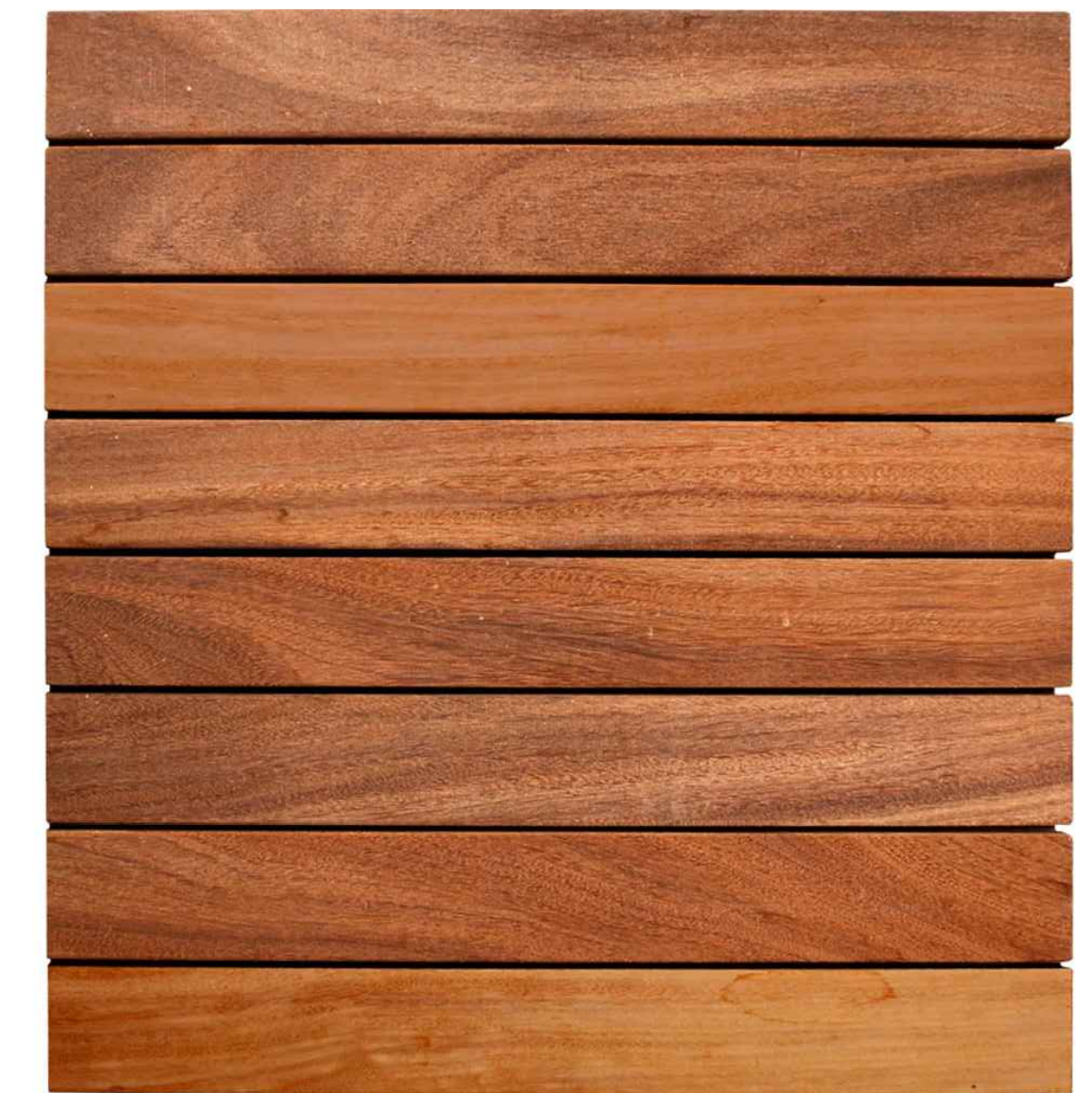
FENCE/GATE/RAIL SCHEDULE



F-1 ALUMINUM POOL ENCLOSURE FENCE
COLOR: MATTE BRONZE



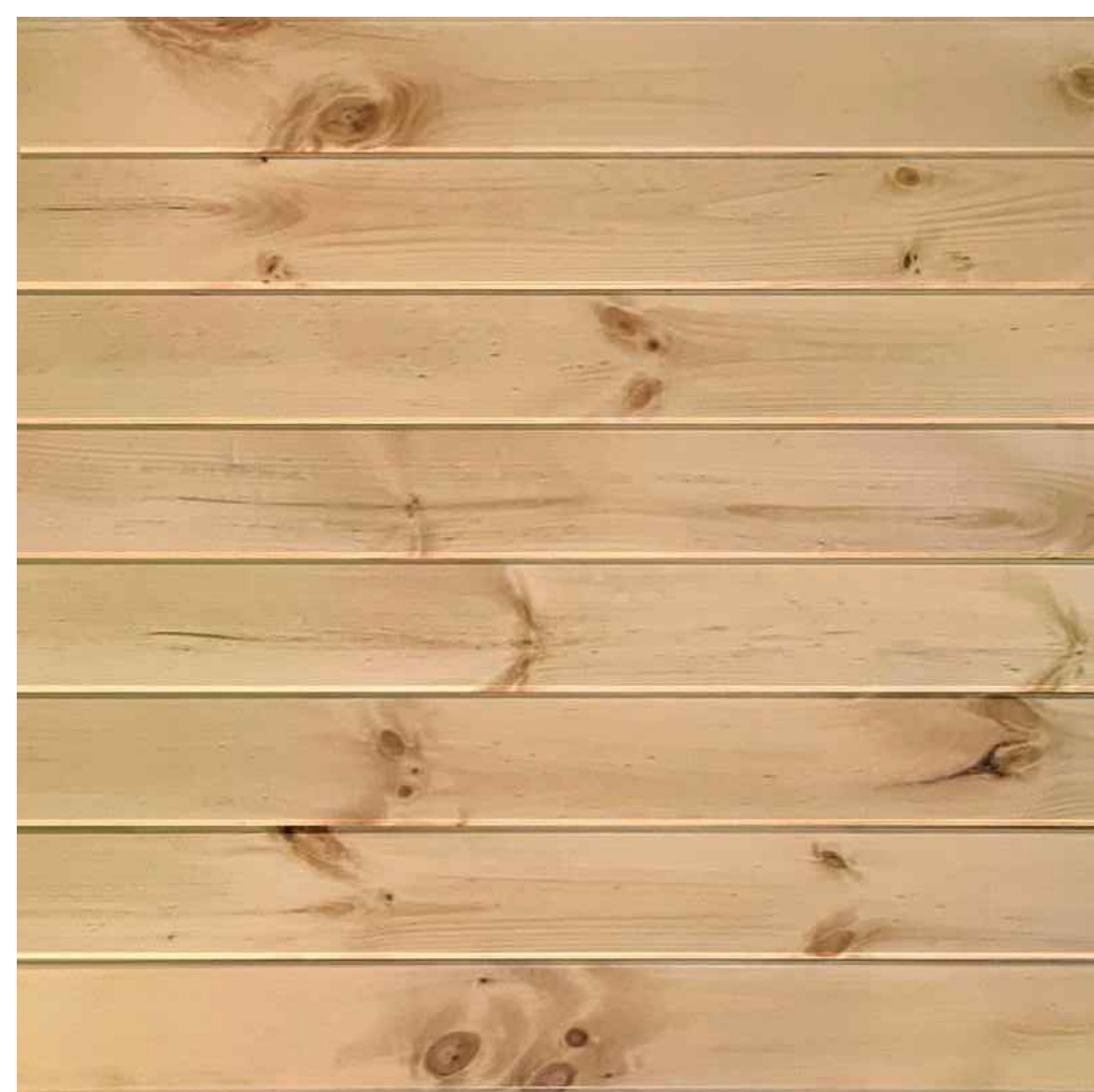
F-2 CABLE RAIL FENCE
COLOR: DARK BRONZE



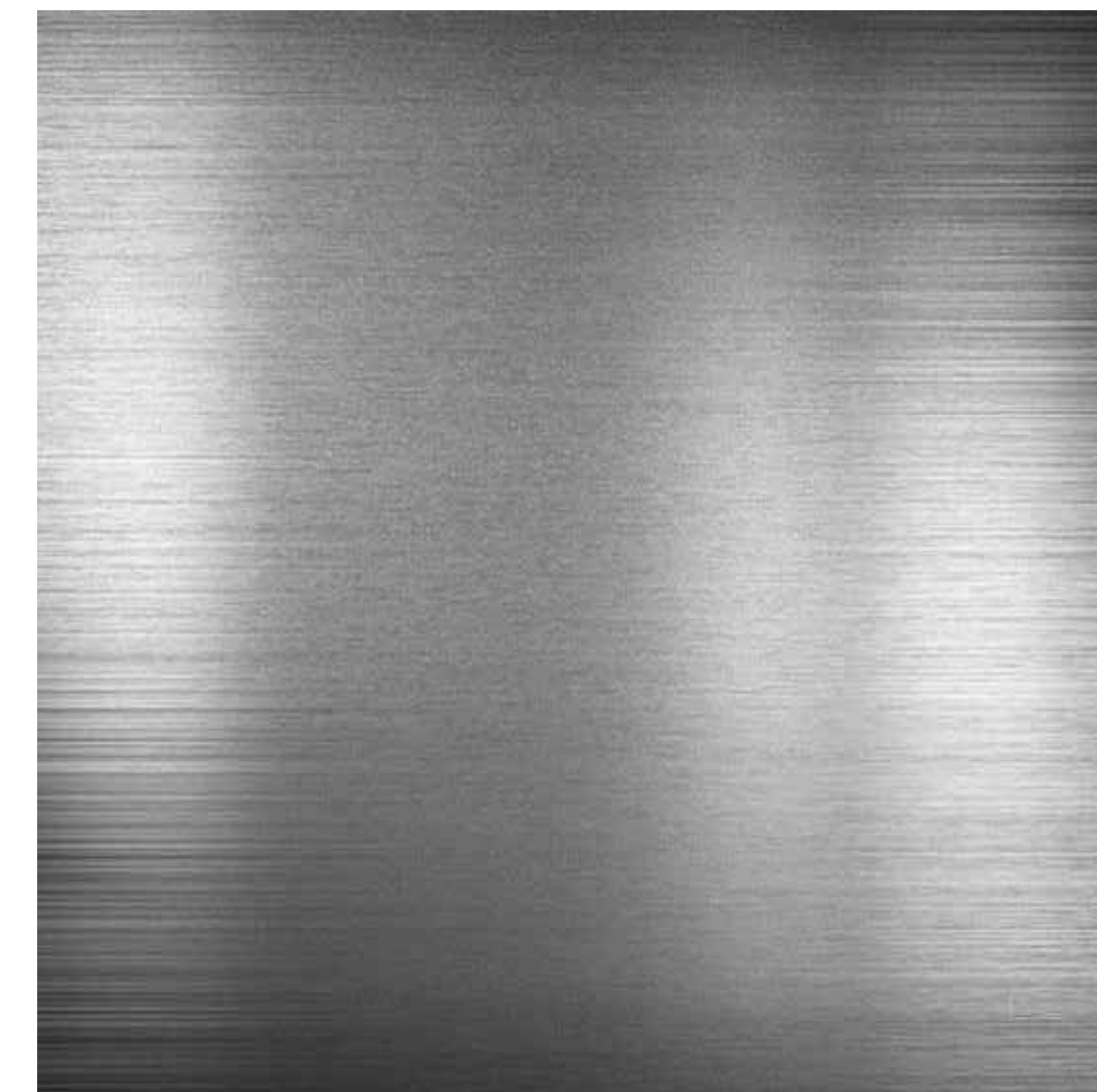
F-3 WOOD DECK
COLOR: CUMARU BRAZILIAN TEAK



G-1 ALUMINUM POOL ENCLOSURE GATE
COLOR: MATTE BRONZE



F-3 WOOD DECK
ALT: SOUTHERN YELLOW PINE



R-2 TUBULAR STAINLESS STEEL POOL HANDRAILS
COLOR: STAINLESS STEEL | MATTE



R-3 DUNE WALL CLADDING
COLOR: SOUTHERN YELLOW PINE

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strategy planning architecture landscape interiors

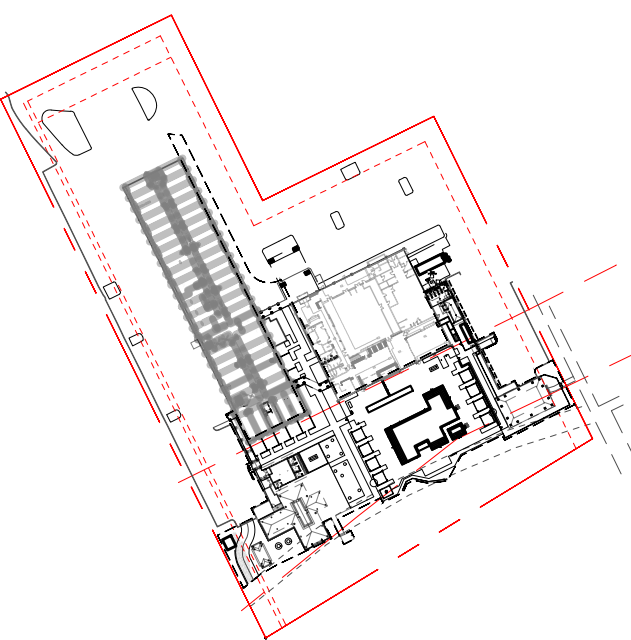
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key plan

no. date issue
issues | revisions

Beach House

HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928
project logo

HARDSCAPE IMAGERY
MATERIALS & FINISHES
sheet title

project no. 212041 date 08/15/23

checked by:
drawn by: FCVA / CL

component

sheet no. L3-002

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SITE ELEMENT SCHEDULE



S-1 RECTANGULAR CONCRETE FIRE PIT
COLOR: ALABASTER



S-9 UMBRELLA WITH IN-GROUND SLEEVES
COLOR: STAINLESS STEEL



S-12 DRINKING FOUNTAIN
COLOR: STAINLESS STEEL



WF-1 PRECAST CONCRETE COPING
WF-2 COLOR: M1914



S-2 CIRCULAR CONCRETE BOWL FIRE PIT
COLOR: ALABASTER



S-10 FOOT WASH
COLOR: STAINLESS STEEL



S-14 LITTER RECEPTACLE
COLOR: DARK BRONZE ALUMINUM
COLOR: STAINED WOOD



WF-1 WATERLINE TILES & STEP TRIM
WF-2 COLOR: EVERGLADE



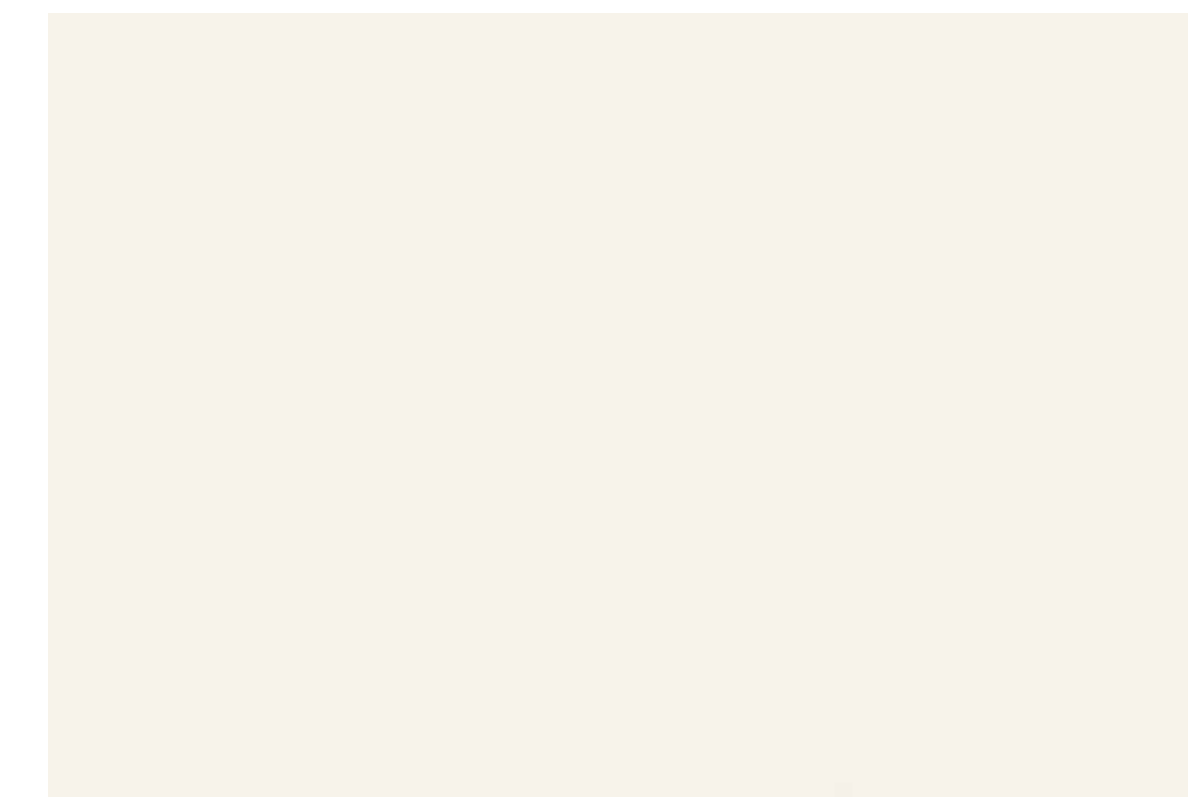
S-5 OUTDOOR SHOWER
COLOR: STAINLESS STEEL



S-6 PLANTER BOX
COLOR: DUNE/SANDSTONE



S-11 MOBI MAT
COLOR: YELLOW SAND/TAN



WF-1 DEPTH MARKER WATERLINE TILES
WF-2 COLOR: BLACK LETTERS ON WHITE TILES



S-7 POOL CABANA
COLOR: SAND DUNE



S-8 TOWEL DISPLAY STATION
COLOR: DARK BRONZE ALUMINUM
COLOR: STAINED WOOD

SITE ELEMENT SCHEDULE

WATG

strategy planning architecture landscape interiors

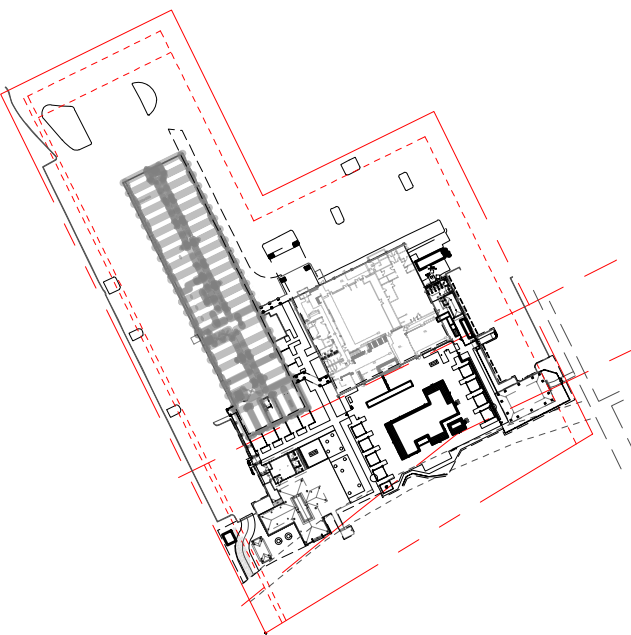
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EOS INVESTORS
REDHOSPITALITY
CONSULTING

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consultant

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key plan

no. date issue
issues | revisions

Beach House

HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928
project logo

HARDSCAPE IMAGERY
MATERIALS & FINISHES
sheet title

project no. 212041 date 08/15/23

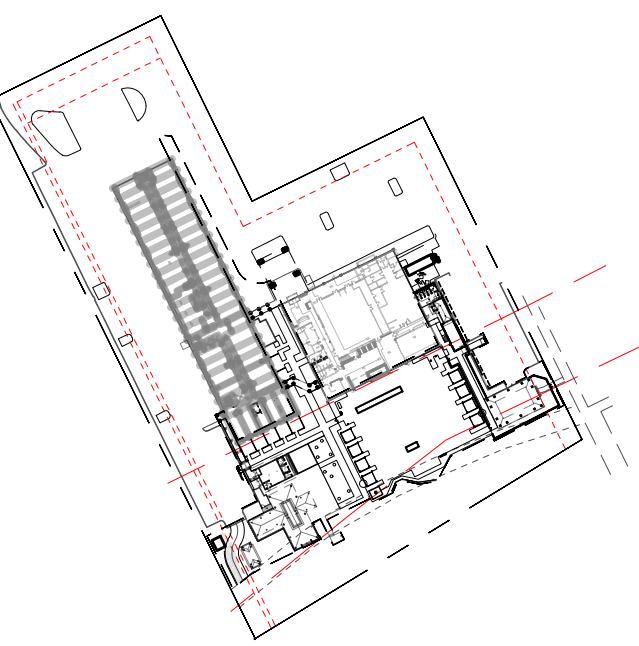
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L3-003

sheet no.

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Beach House

HILTON HEAD ISLAND

1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928

project logo

OVERALL
HARDSCAPE PLAN

sheet title

project no. 212041 date 08/15/23

checked by:

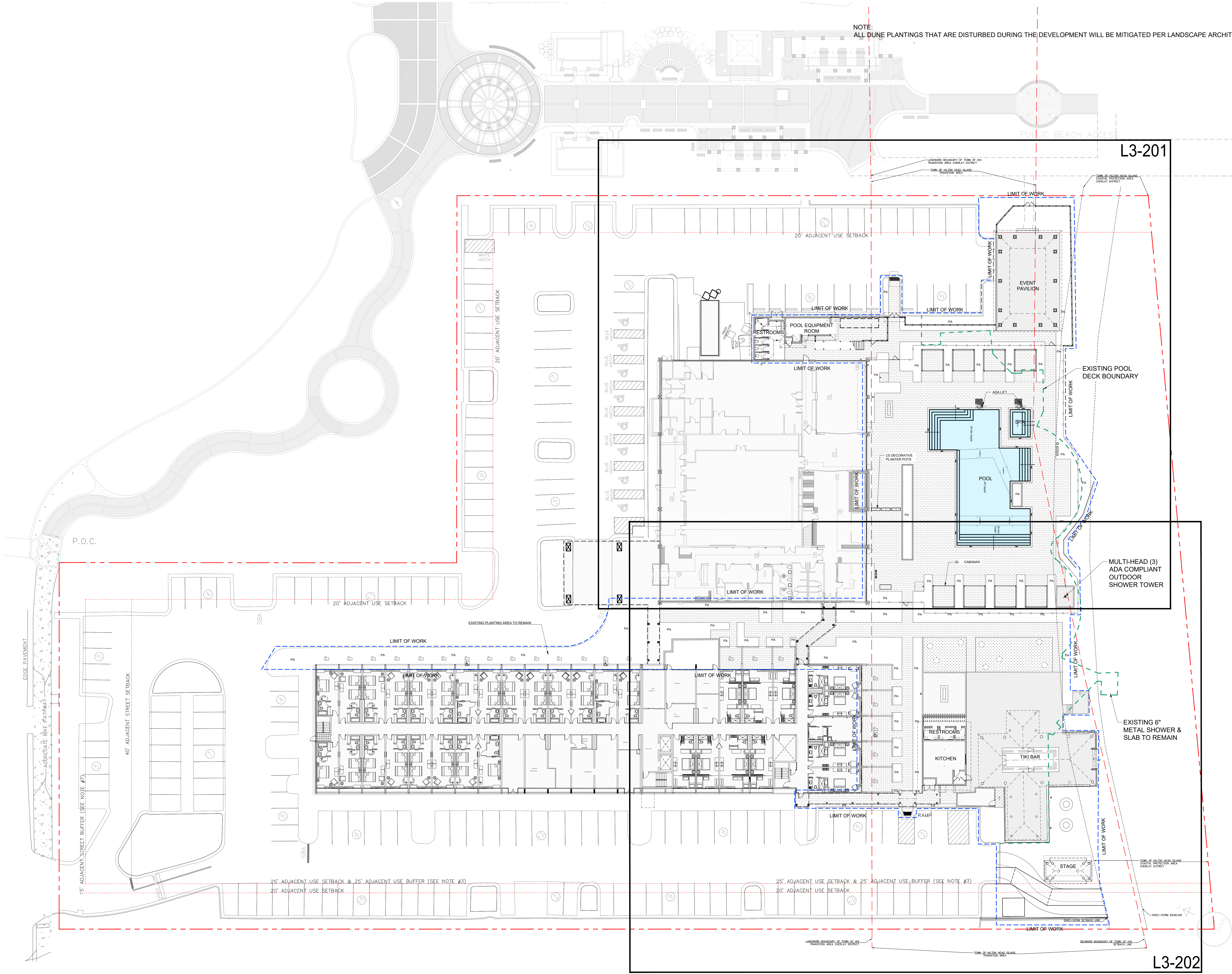
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L3-101

sheet no.

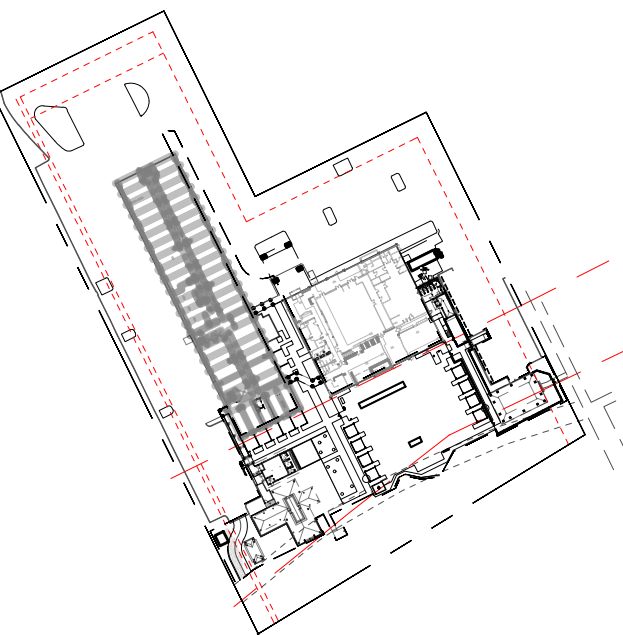
NOTE:
ALL DUNE PLANTINGS THAT ARE DISTURBED DURING THE DEVELOPMENT WILL BE MITIGATED PER LANDSCAPE ARCHITECT.



1 OVERALL HARDSCAPE PLAN
1" = 20'-0"

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WATER FEATURE & POOL SCHEDULE

KEY	DESCRIPTION
WF-1	MAIN POOL
	PRECAST CONCRETE COPING
	WATERLINE TILES
	STEP TRIM
	DEPTH MARKER WATERLINE TILES
WF-2	SPA POOL
	PRECAST CONCRETE COPING
	WATERLINE TILES
	STEP TRIM
	DEPTH MARKER WATERLINE TILES

PAVING SCHEDULE

KEY	DESCRIPTION
P-1	NOT USED
P-2	PERMEABLE CONCRETE PAVER
P-3	WOOD DECK
P-4	STABILIZED OYSTER SHELLS
P-5	DETECTABLE WARNING PAVER
P-6	PIP CONCRETE HEADER (TABBY)
P-7	NOT USED
P-8	STEEL EDGING
P-9	SYNTHETIC TURF

FENCE/GATE/RAIL SCHEDULE

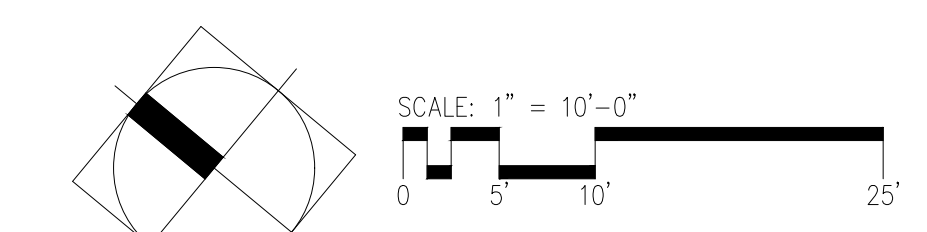
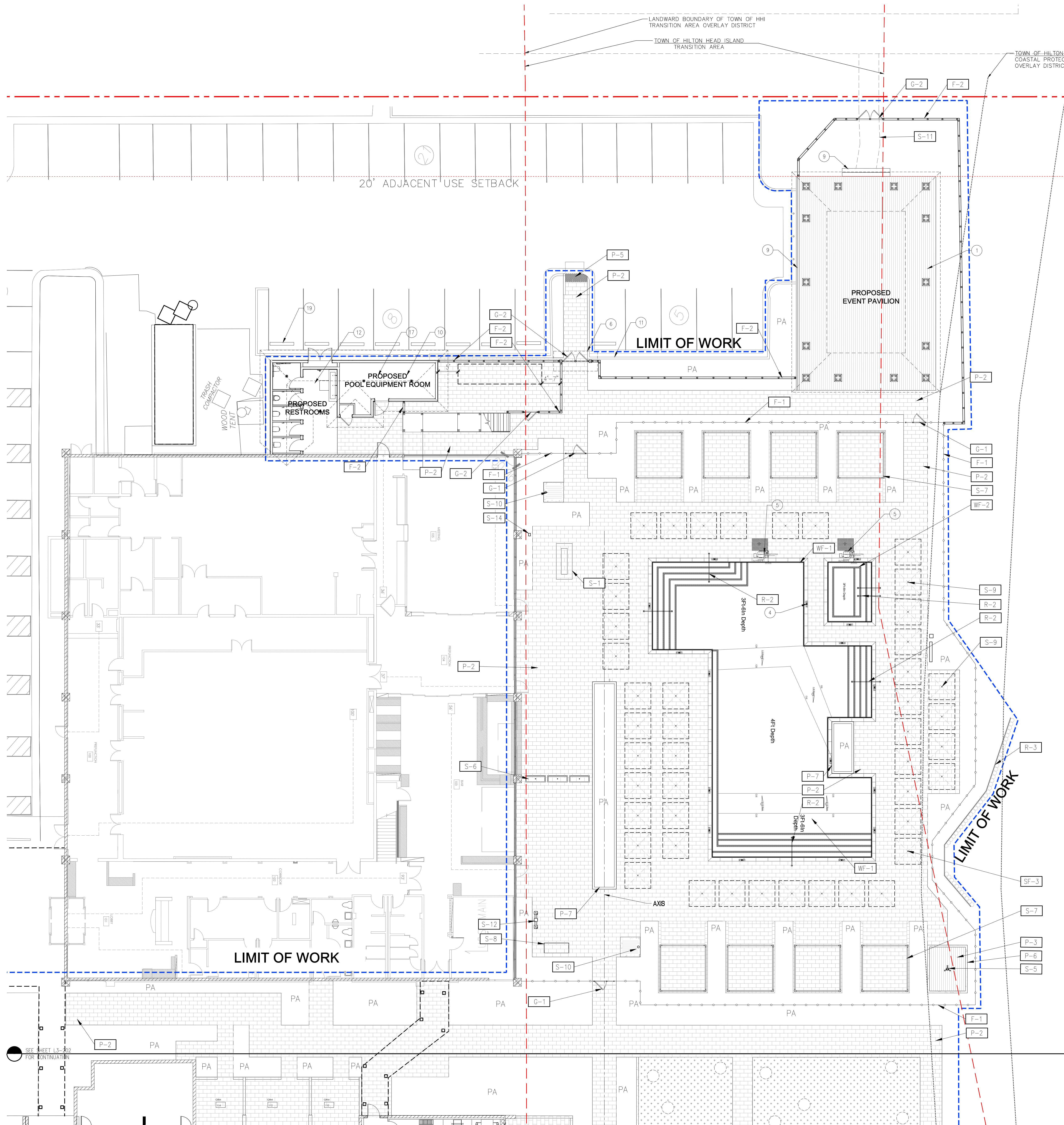
KEY	DESCRIPTION
F-1	ALUMINUM POOL ENCLOSURE FENCE
F-2	CABLE RAIL FENCE
F-3	GUESTROOM PATIO FENCE
G-1	ALUMINUM POOL GATE
G-2	WOOD FENCE GATE
G-3	NOT USED
R-1	NOT USED
R-2	TUBULAR STAINLESS STEEL POOL HANDRAILS
R-3	WOOD PILES WITH WOOD PANELS

SITE ELEMENT SCHEDULE

KEY	DESCRIPTION
S-1	RECTANGULAR CONCRETE FIRE PIT
S-2	CIRCULAR CONCRETE BOWL FIRE PIT
S-5	OUTDOOR SHOWER
S-6	PLANTER BOX
S-7	POOL CABANA
S-8	TOWEL DISPLAY STATION
S-9	UMBRELLAS WITH IN-GROUND SLEEVES
S-10	FOOT WASH
S-11	MOBI MAT
S-12	DRINKING FOUNTAIN
S-13	FIREPIT SHUT-OFF VALVE PEDESTAL
S-14	LITTER RECEPTACLE

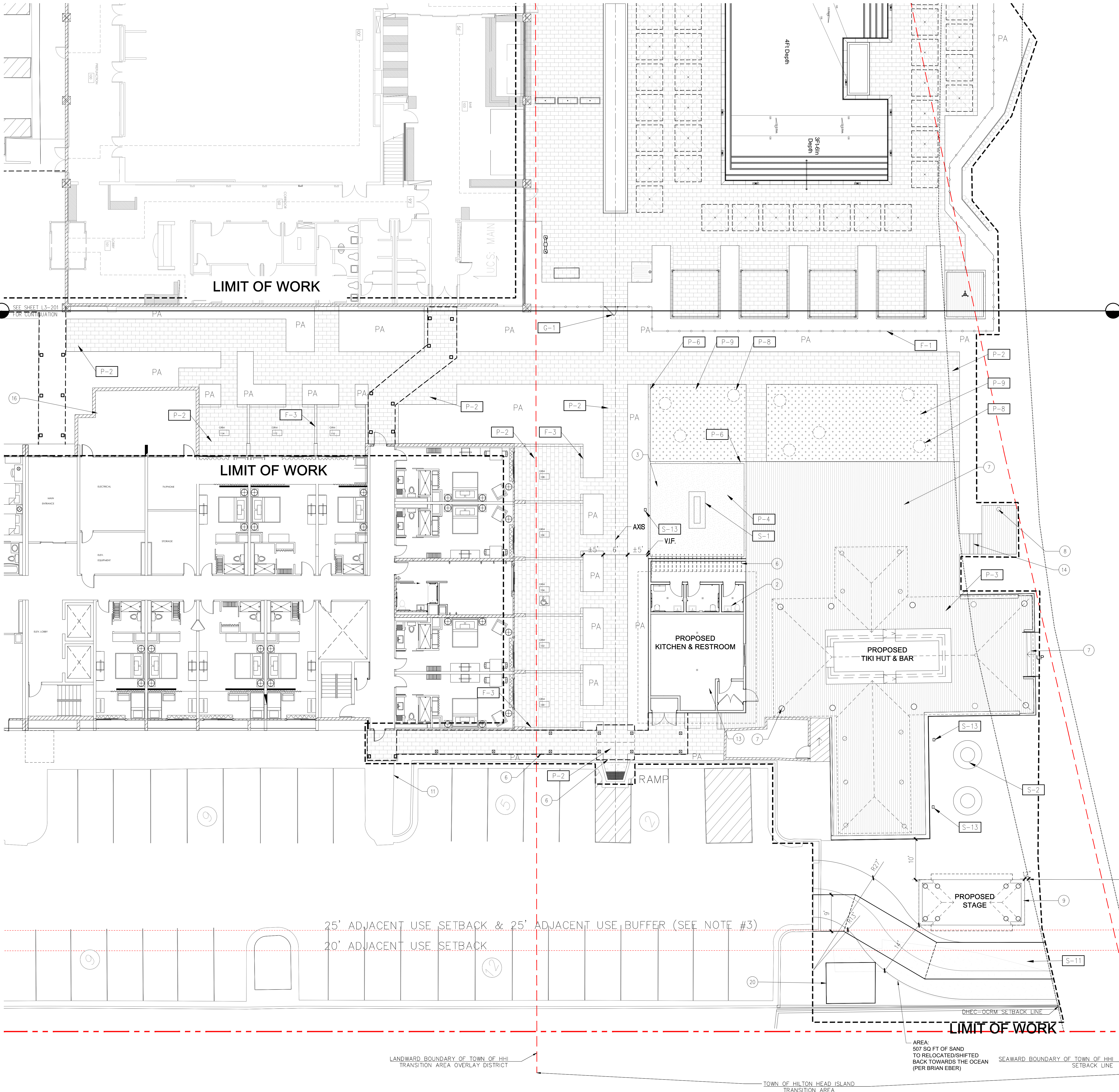
KEYNOTES

- EVENT PAVILION BY ARCHITECT
- RESTROOM BY ARCHITECT
- LOUNGE SEATING BY INTERIOR DESIGNER.
- POOL DEPTH MARKER BY POOL CONSULTANT.
- ADA POOL LIFT CHAIR BY POOL CONSULTANT.
- OVERHEAD STRUCTURE BY ARCHITECT
- TIKI BAR/DECK RAILING BY ARCHITECT. STRUCTURE, DECK, STAIR, AND RAILINGS BY ARCHITECT
- EXISTING SHOWER TO REMAIN & ROTATE TO FIT WOOD DECK CONFIGURATION BY ARCHITECT.
- STAGE BY ARCHITECT.
- POOL EQUIPMENT ROOM BY ARCHITECT.
- EXISTING SIDEWALK & CURB PROTECT IN PLACE.
- NEW POOL RESTROOM BY ARCHITECT.
- NEW KITCHEN AT TIKI BAR BY ARCHITECT.
- NEW DUNE WALKOVER BY ARCHITECT.
- FF&E BY INTERIOR DESIGNER.
- EXISTING UTILITY ROOM.
- PUMP EQUIPMENT BY POOL CONSULTANT.
- UMBRELLA BY INTERIOR DESIGNER.
- WHEEL STOPS TO BE SELECTED.
- RESORT CONCESSION STAND.



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PAVING SCHEDULE

KEY	DESCRIPTION
P-1	NOT USED
P-2	PERMEABLE CONCRETE PAVER
P-3	WOOD DECK
P-4	STABILIZED OYSTER SHELLS
P-5	DETECTABLE WARNING PAVER
P-6	PIP CONCRETE HEADER (TABBY)
P-7	NOT USED
P-8	STEEL EDGING
P-9	SYNTHETIC TURF

WATER FEATURE & POOL SCHEDULE

KEY	DESCRIPTION
WF-1	MAIN POOL
	PRECAST CONCRETE COPING
	WATERLINE TILES
	STEP TRIM
	DEPTH MARKER WATERLINE TILES
WF-2	SPA POOL
	PRECAST CONCRETE COPING
	WATERLINE TILES
	STEP TRIM
	DEPTH MARKER WATERLINE TILES

FENCE/GATE/RAIL SCHEDULE

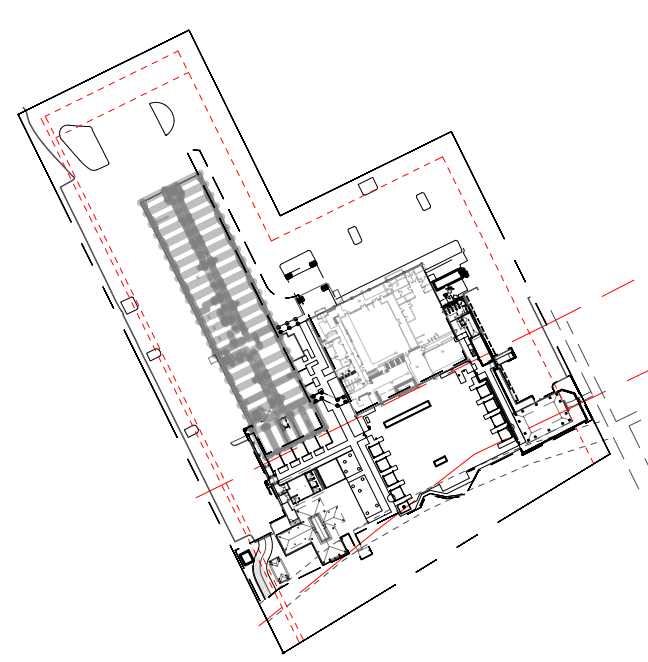
KEY	DESCRIPTION
F-1	ALUMINUM POOL ENCLOSURE FENCE
F-2	CABLE RAIL FENCE
F-3	GUESTROOM PATIO FENCE
G-1	ALUMINUM POOL GATE
G-2	WOOD FENCE GATE
G-3	NOT USED
R-1	NOT USED
R-2	TUBULAR STAINLESS STEEL POOL HANDRAILS
R-3	WOOD PILES WITH WOOD PANELS

SITE ELEMENT SCHEDULE

KEY	DESCRIPTION
S-1	RECTANGULAR CONCRETE FIRE PIT
S-2	CIRCULAR CONCRETE BOWL FIRE PIT
S-5	OUTDOOR SHOWER
S-6	PLANTER BOX
S-7	POOL CABANA
S-8	TOWEL DISPLAY STATION
S-9	UMBRELLAS WITH IN-GROUND SLEEVES
S-10	FOOT WASH
S-11	MOBI MAT
S-12	DRINKING FOUNTAIN
S-13	FIREPIT SHUT-OFF VALVE PEDESTAL
S-14	LITTER RECEPTACLE

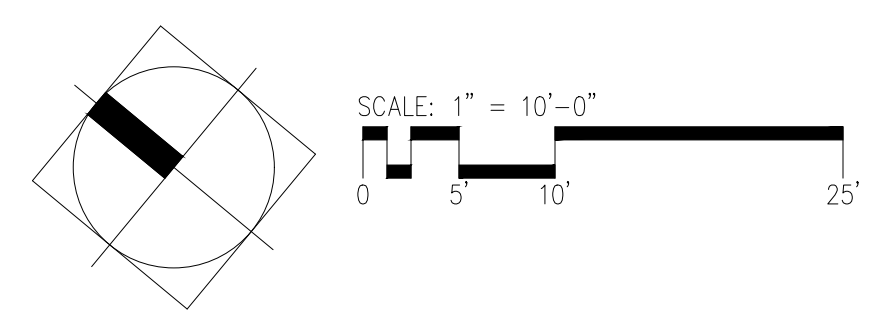
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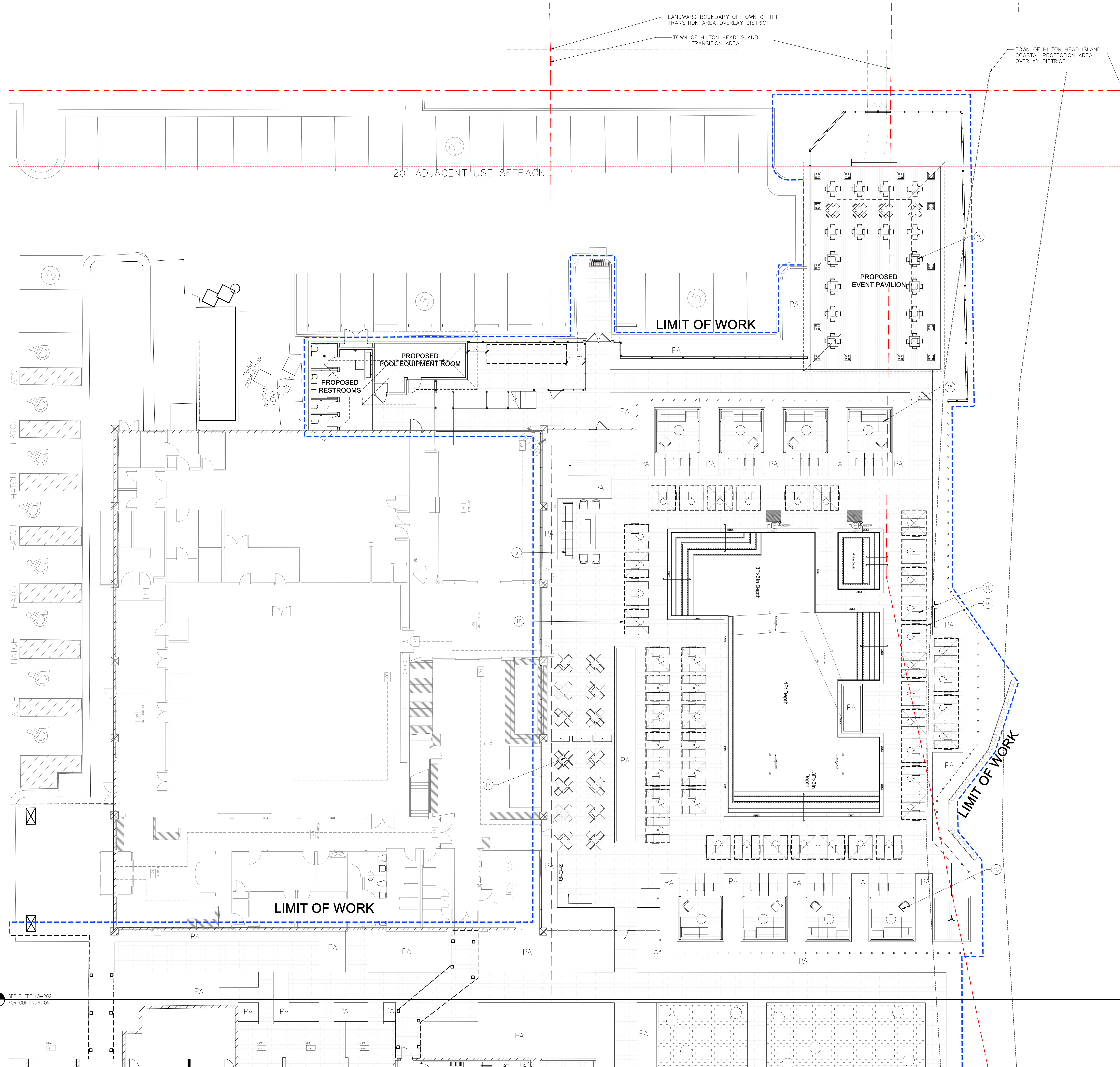
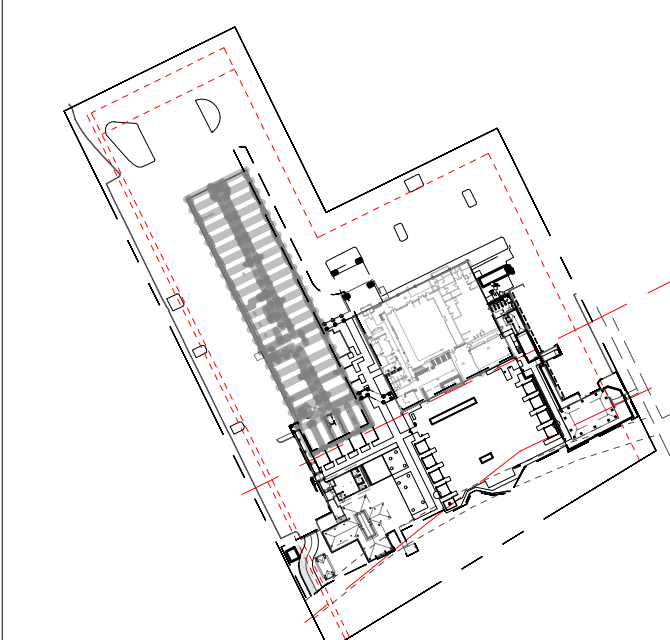
- EVENT PAVILION BY ARCHITECT
- RESTROOM BY ARCHITECT
- LOUNGE SEATING BY INTERIOR DESIGNER.
- POOL DEPTH MARKER BY POOL CONSULTANT.
- ADA POOL LIFT CHAIR BY POOL CONSULTANT.
- OVERHEAD STRUCTURE BY ARCHITECT
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- WHEEL STOPS TO BE SELECTED.
- RESORT CONCESSION STAND.



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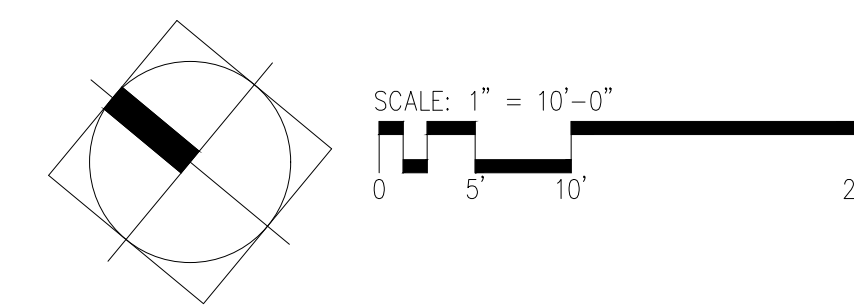
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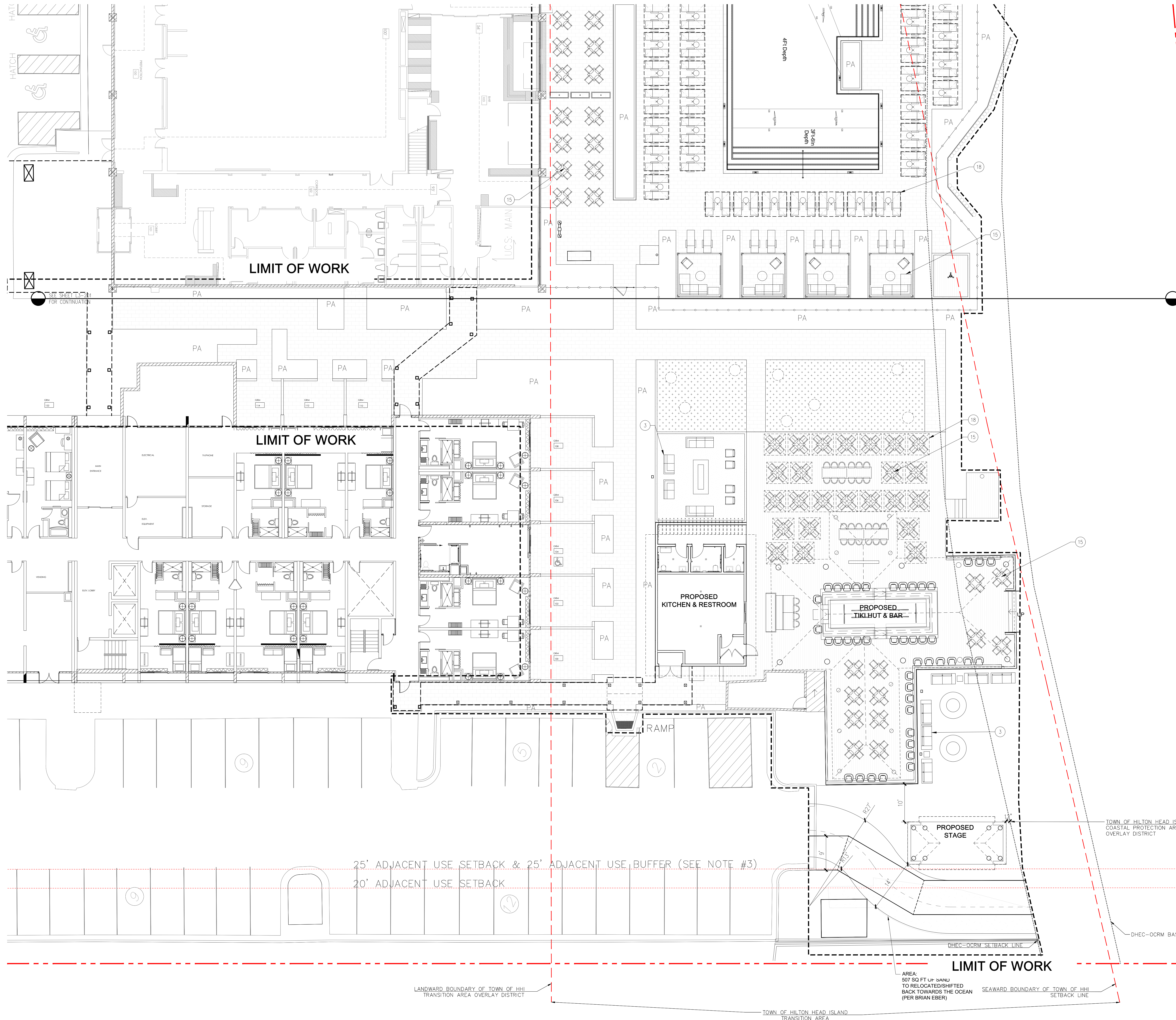


KEYNOTES

- 1 EVENT PAVILION BY ARCHITECT
- 2 RESTROOM BY ARCHITECT
- 3 LOUNGE SEATING BY INTERIOR DESIGNER.
- 4 POOL DEPTH MARKER BY POOL CONSULTANT.
- 5 ADA POOL LIFT CHAIR BY POOL CONSULTANT.
- 6 OVERHEAD STRUCTURE BY ARCHITECT
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- 8 EXISTING SHOWER TO REMAIN & ROTATE TO FIT WOOD DECK CONFIGURATION BY ARCHITECT.
- 9 STAGE BY ARCHITECT.
- 10 POOL EQUIPMENT ROOM BY ARCHITECT.
- 11 EXISTING SIDEWALK & CURB PROTECT IN PLACE.
- 12 NEW POOL RESTROOM BY ARCHITECT.
- 13 NEW KITCHEN AT TIKI BAR BY ARCHITECT.
- 14 NEW DUNE WALKOVER BY ARCHITECT.
- 15 FF&E BY INTERIOR DESIGNER.
- 16 EXISTING UTILITY ROOM.
- 17 PUMP EQUIPMENT BY POOL CONSULTANT.
- 18 UMBRELLA BY INTERIOR DESIGNER.
- 19 WHEEL STOPS TO BE SELECTED.
- 20 RESORT CONCESSION STAND.



DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



KEYNOTES

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- 17 PUMP EQUIPMENT BY POOL CONSULTANT.
- 18 UMBRELLA BY INTERIOR DESIGNER.
- 19 WHEEL STOPS TO BE SELECTED.
- 20 RESORT CONCESSION STAND.

TOWN OF HILTON HEAD ISLAND
COASTAL PROTECTION AREA
OVERLAY DISTRICT

DHEC-OCRM BASELINE

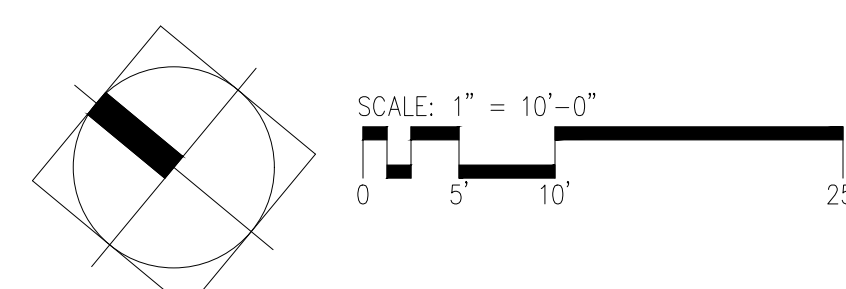
LIMIT OF WORK

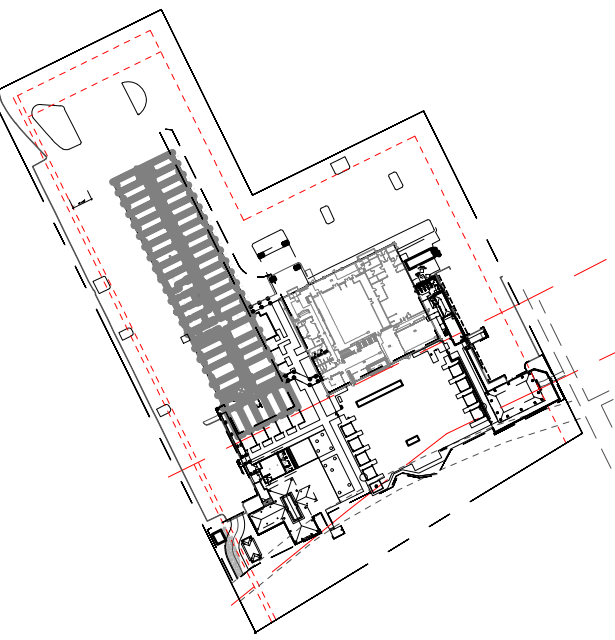
AREA:
507 SQ FT OF SAND
TO RELOCATED/SHIFTED
BACK TOWARDS THE OCEAN
(PER BRIAN EBER)

SEAWARD BOUNDARY OF TOWN OF HHI
SETBACK LINE

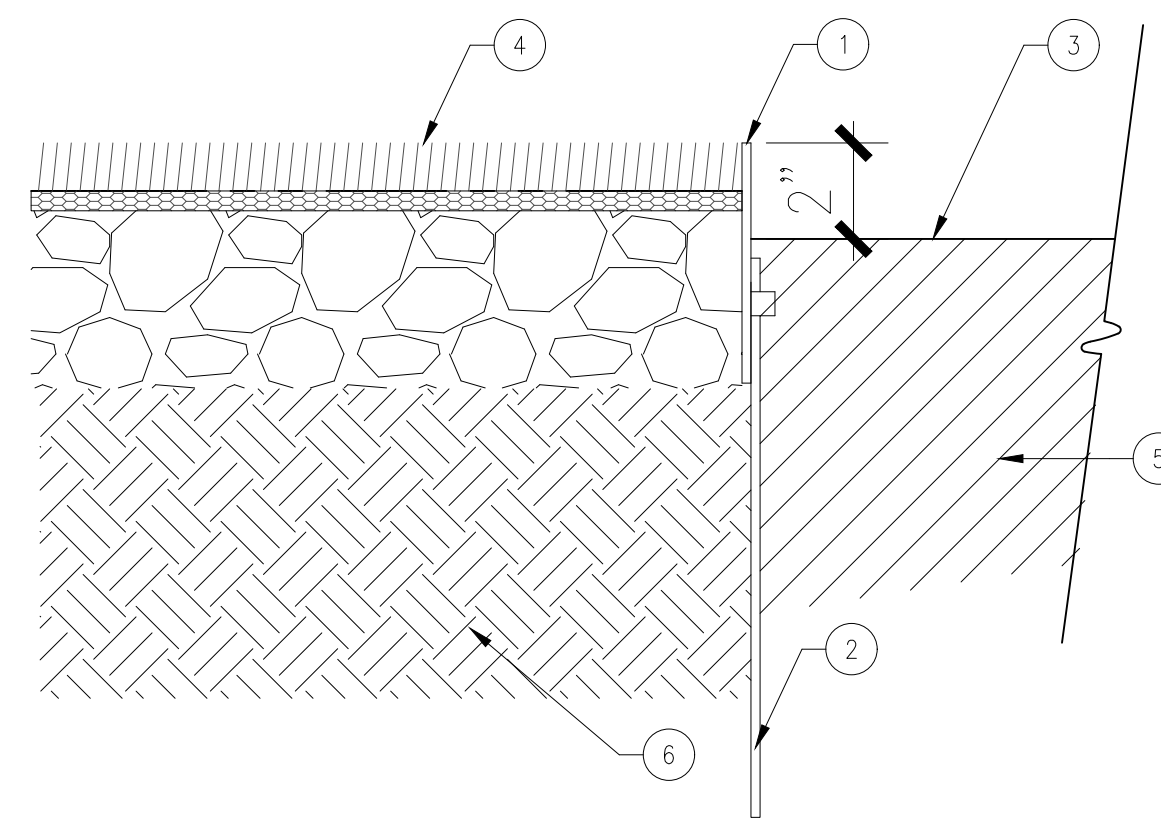
LANDWARD BOUNDARY OF TOWN OF HHI
TRANSITION AREA OVERLAY DISTRICT

25' ADJACENT USE SETBACK & 25' ADJACENT USE BUFFER (SEE NOTE #3)
20' ADJACENT USE SETBACK



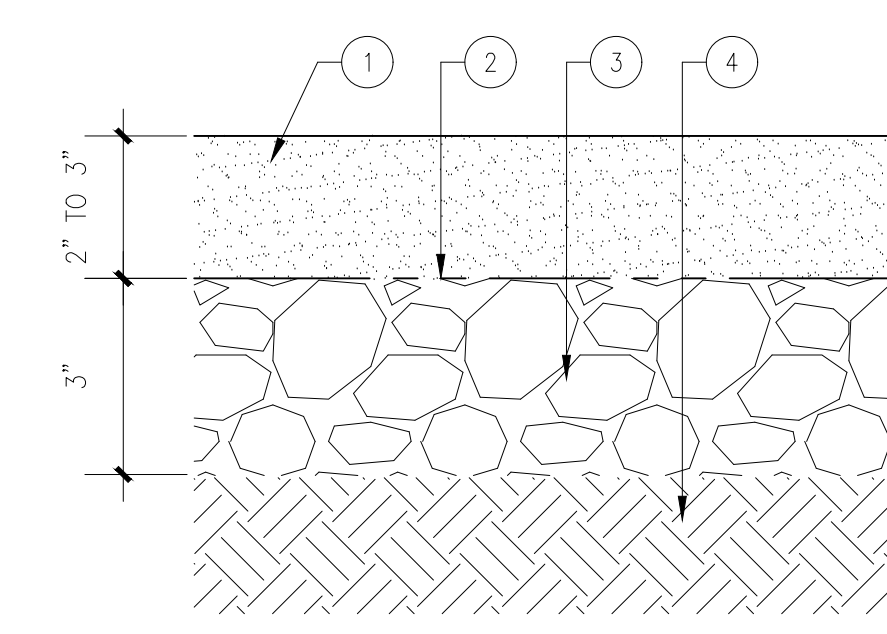


DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



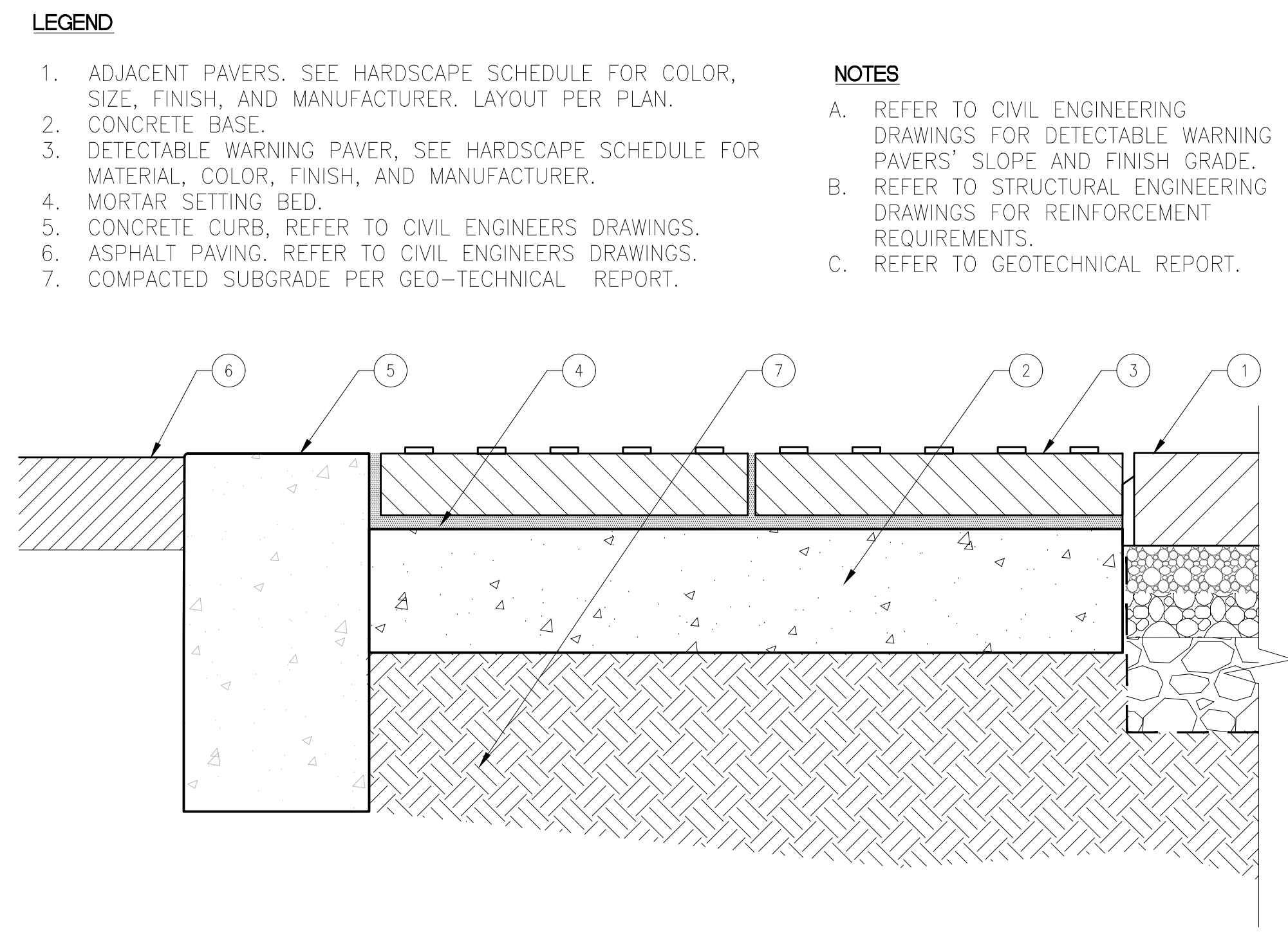
- LEGEND**
1. STEEL EDGING, REFER TO HARDSCAPE SCHEDULE FOR COLOR, FINISH, AND MANUFACTURER.
 2. STEEL EDGING STAKE. REFER TO MANUFACTURER'S RECOMMENDATION.
 3. FINISH GRADE AT PLANTING AREA.
 4. SYNTHETIC TURF PER MANUFACTURERS' SPECIFICATIONS.
 5. AMENDED BACKFILL IN PLANTING AREA PER AGRICULTURAL SOILS TEST AND RECOMMENDATIONS.
 6. COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT AND RECOMMENDATIONS.

7 STEEL EDGING
3" = 1'-0"



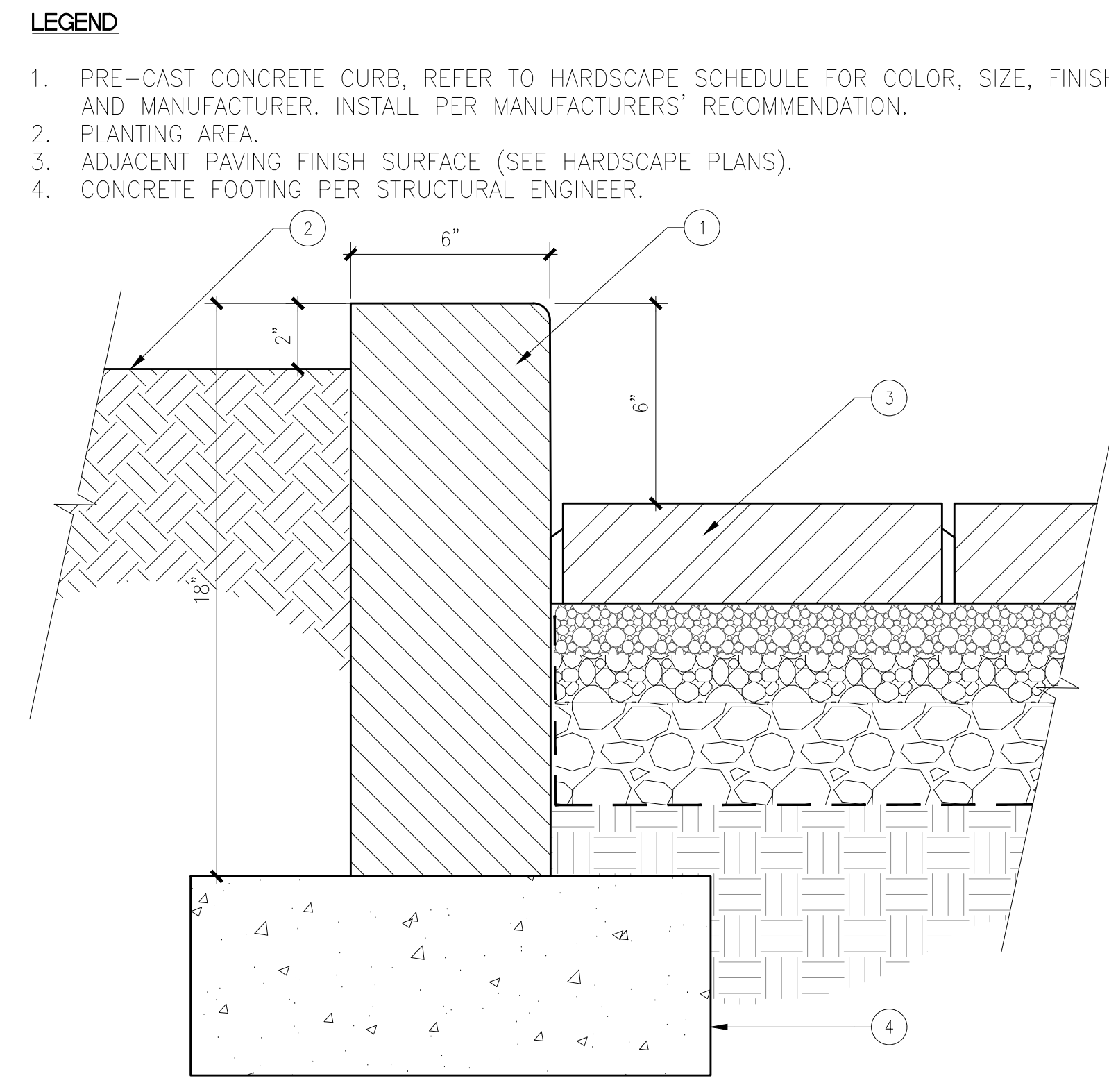
- LEGEND**
1. CRUSHED OYSTER SHELL AND CRUSHED GRANITE MIX.
 2. GEOTEXTILE FILTER FABRIC, MIRAFI 140N.
 3. COMPACTED 3/4" MINUS CRUSHED GRAVEL PER MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS.
 4. COMPACTED SUBGRADE PER GEOTECHNICAL SOILS REPORT AND MANUFACTURERS' RECOMMENDATIONS AND SPECIFICATIONS.

3 STABILIZED OYSTER SHELL
3" = 1'-0"



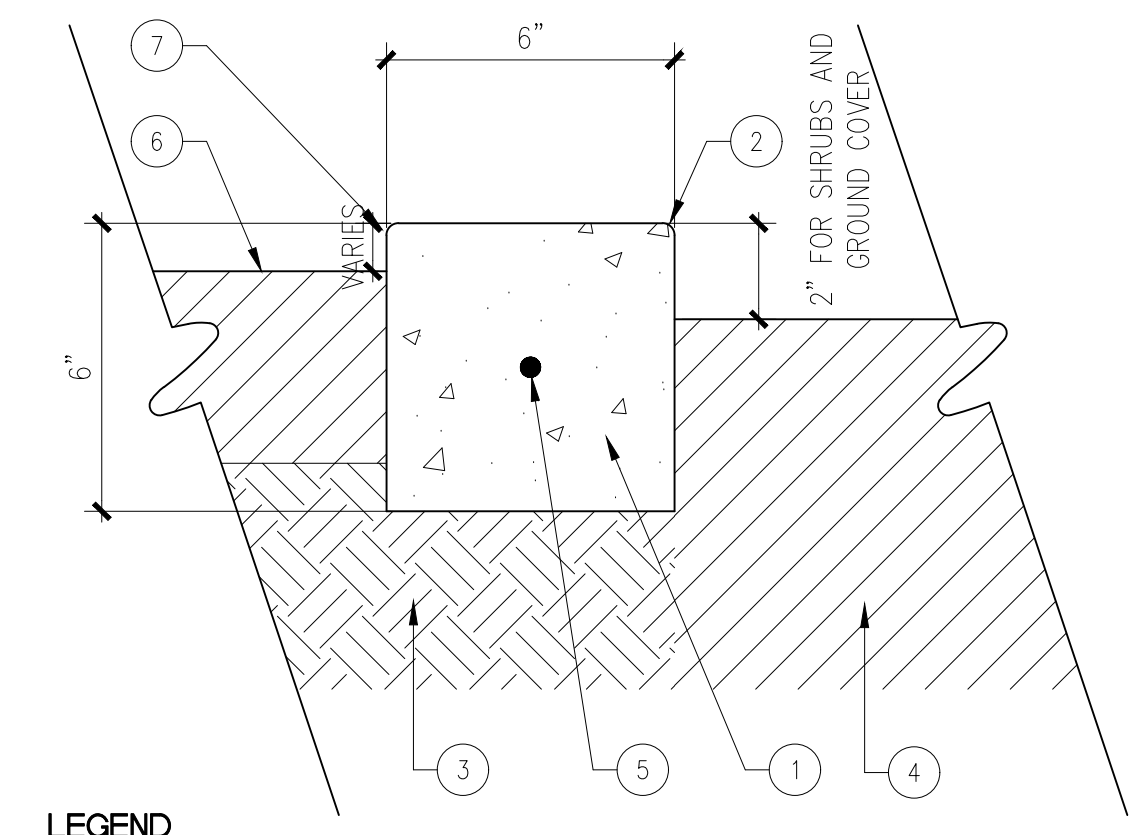
- LEGEND**
1. ADJACENT PAVERS. SEE HARDSCAPE SCHEDULE FOR COLOR, SIZE, FINISH, AND MANUFACTURER. LAYOUT PER PLAN.
 2. CONCRETE BASE.
 3. DETECTABLE WARNING PAVER, SEE HARDSCAPE SCHEDULE FOR MATERIAL, COLOR, FINISH, AND MANUFACTURER.
 4. MORTAR SETTING BED.
 5. CONCRETE CURB, REFER TO CIVIL ENGINEERS DRAWINGS.
 6. ASPHALT PAVING, REFER TO CIVIL ENGINEERS DRAWINGS.
 7. COMPACTED SUBGRADE PER GEO-TECHNICAL REPORT.
- NOTES**
- REFER TO CIVIL ENGINEERING DRAWINGS FOR DETECTABLE WARNING PAVERS' SLOPE AND FINISH GRADE.
 - REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR REINFORCEMENT REQUIREMENTS.
 - REFER TO GEOTECHNICAL REPORT.

6 DETECTABLE WARNING PAVER
3" = 1'-0"



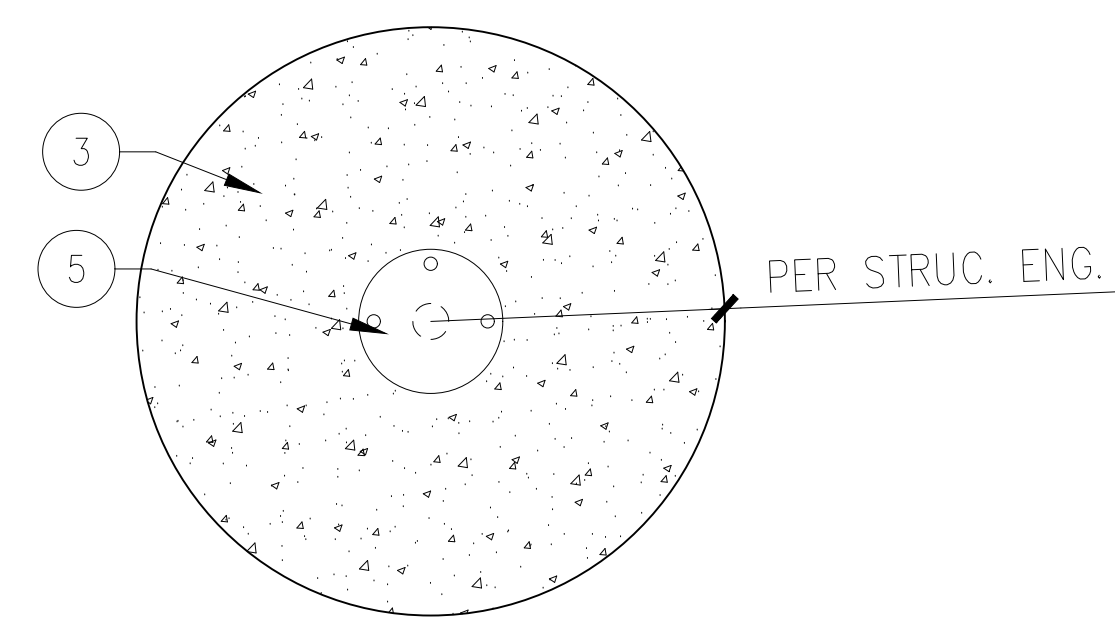
- LEGEND**
1. PRE-CAST CONCRETE CURB, REFER TO HARDSCAPE SCHEDULE FOR COLOR, SIZE, FINISH, AND MANUFACTURER. INSTALL PER MANUFACTURERS' RECOMMENDATION.
 2. PLANTING AREA.
 3. ADJACENT PAVING FINISH SURFACE (SEE HARDSCAPE PLANS).
 4. CONCRETE FOOTING PER STRUCTURAL ENGINEER.

5 PRE-CAST CONCRETE CURB
3" = 1'-0"



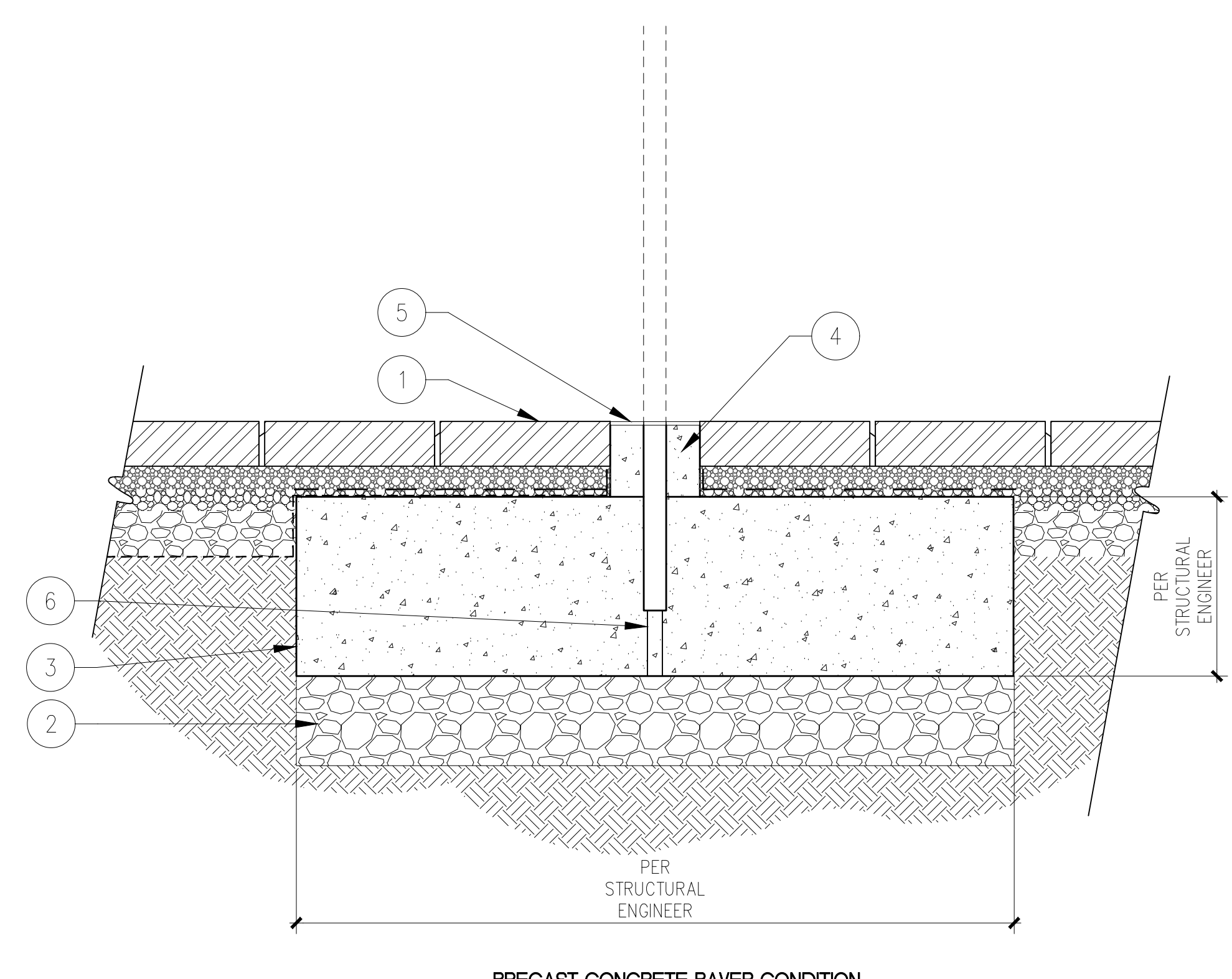
- LEGEND**
1. CONCRETE HEADER, REFER TO HARDSCAPE SCHEDULE, SHEET L3-001, FOR COLOR AND FINISH.
 - 1/8" RADIUS.
 3. COMPACTED BASE AND SUBGRADE PER GEOTECHNICAL SOILS REPORT.
 4. AMENDED BACKFILL IN PLANTING AREAS PER AGRICULTURAL SOILS SUITABILITY REPORT AND RECOMMENDATIONS.
 5. #3 REBAR CONTINUOUS - CENTER IN HEADER.
 6. ADJACENT FINISH SURFACE.
 7. 1" DROP FOR SYNTHETIC TURF, 3/8" DROP FOR STABILIZED OYSTER SHELLS.

2 CONCRETE HEADER
3" = 1'-0"



- PLAN VIEW**
- PER STRUC. ENG.
- LEGEND**
1. CONCRETE PAVER, SEE HARDSCAPE PLAN.
 2. COMPACTED SUBGRADE PER GEO-TECHNICAL REPORT.
 3. CONCRETE FOOTING PER STRUCTURAL ENGINEER.
 4. MODIFIED CONCRETE FOOTING EXTENSION.
 5. IN-GROUND MOUNT, FLUSH WITH PAVING SURFACE.
 6. PVC PIPE.

4 UMBRELLA SLEEVE
1 1/2" = 1'-0"

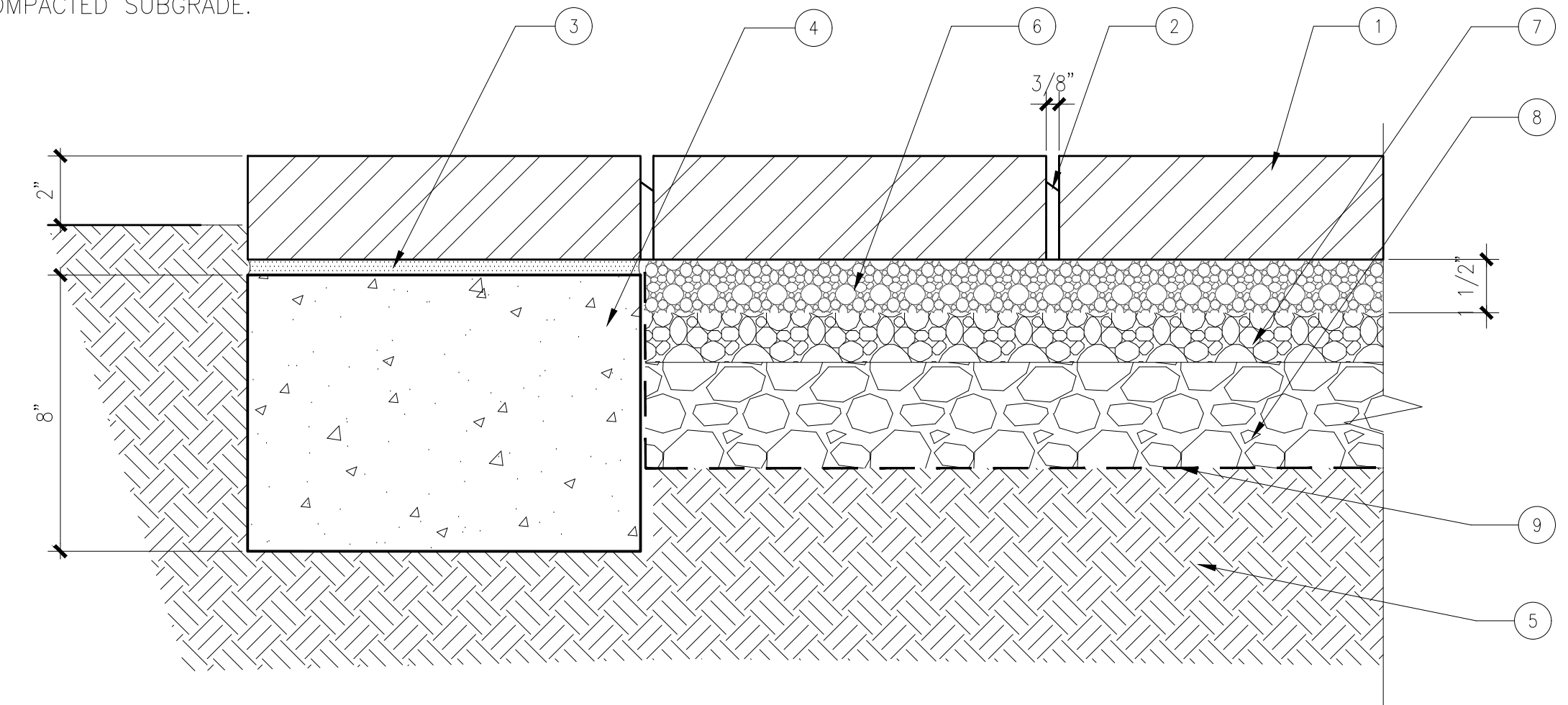


- LEGEND**
1. CONCRETE PAVER, SEE HARDSCAPE PLAN.
 2. COMPACTED SUBGRADE PER GEO-TECHNICAL REPORT.
 3. CONCRETE FOOTING PER STRUCTURAL ENGINEER.
 4. MODIFIED CONCRETE FOOTING EXTENSION.
 5. IN-GROUND MOUNT, FLUSH WITH PAVING SURFACE.
 6. PVC PIPE.
- PER STRUCTURAL ENGINEER

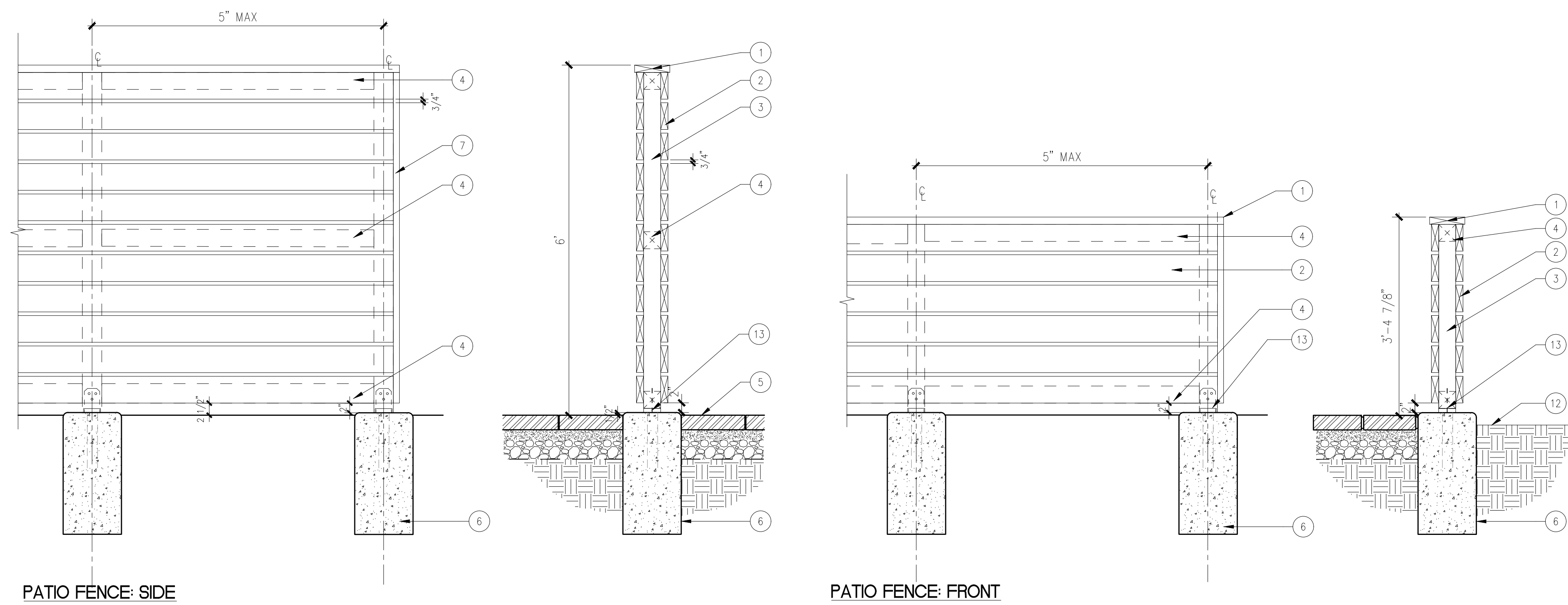
PRECAST CONCRETE PAVER CONDITION

- LEGEND**
1. CONCRETE PAVER, SEE HARDSCAPE SCHEDULE FOR COLOR, SIZE, FINISH, AND MANUFACTURER. LAYOUT PER PLAN.
 - BUILT-IN SPACERS TO PROVIDE A 3/8" JOINT SPACE, FILLED WITH 1/4" OPEN GRADED STONE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 3. MORTAR SETTING BED.
 4. PIP CONCRETE EDGE.
 5. COMPACTED SUBGRADE.
 6. OPEN GRADED STONE AASHTO#8 SETTING BED.
 7. OPEN GRADED STONE AASHTO#57, OR EQUIVALENT, DEPTH PER STRUCTURAL ENGINEER.
 8. OPEN GRADED STONE AASHTO#2 BASE COURSE, DEPTH PER STRUCTURAL ENGINEER.
 9. MIRAFI 140N FILTER FABRIC TO SEPARATE COMPACTED BASE COURSE AND COMPACTED SUBGRADE.

- NOTES**
- REFER TO CONSTRUCTION PLAN FOR ALL COLORS, TYPES FINISHES AND MANUFACTURES REQUIREMENTS



1 PERMEABLE CONCRETE PAVER
3" = 1'-0"



PATIO FENCE: SIDE

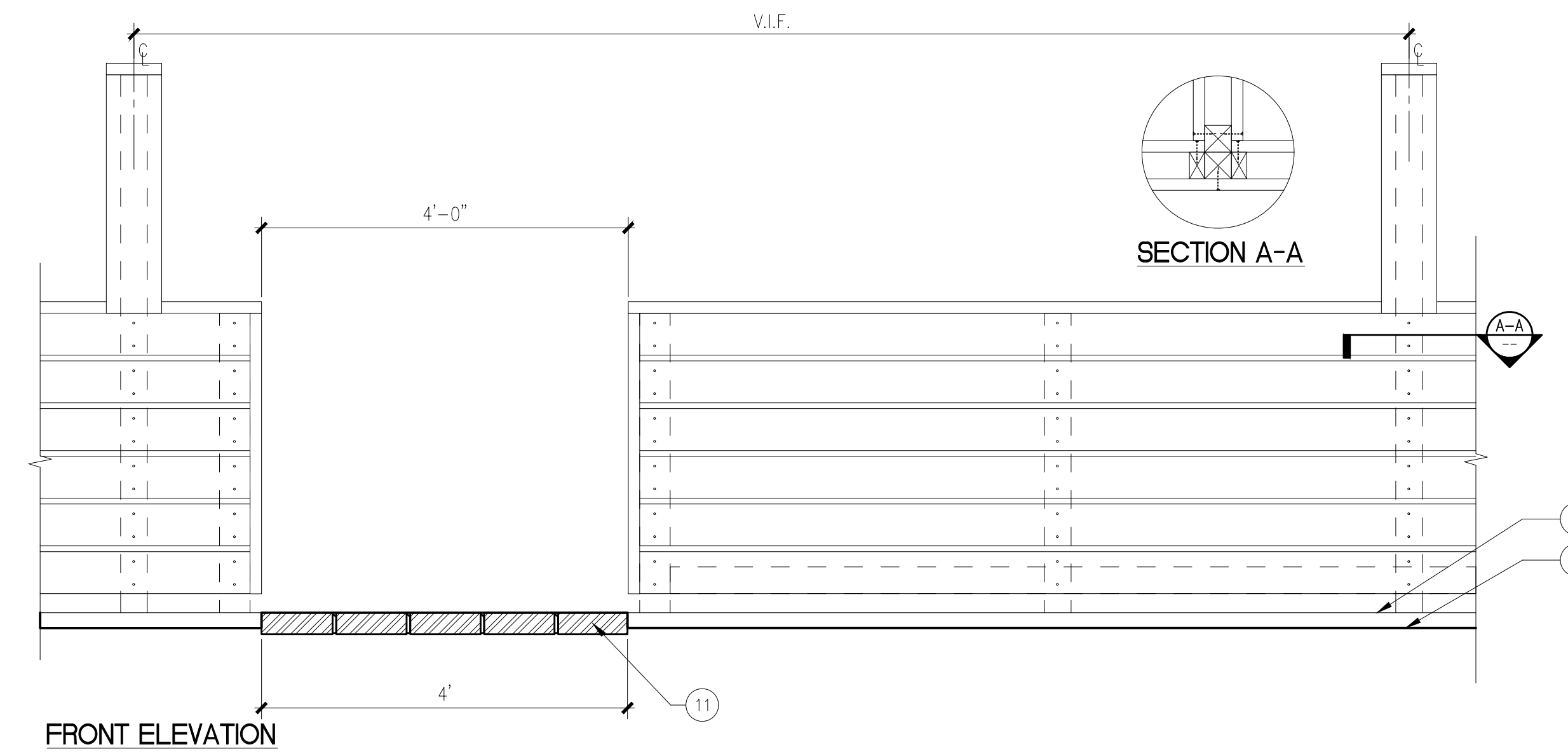
PATIO FENCE: FRONT

LEGEND

1. 2x8 WOOD CAP, NAIL TO POSTS W/ HALF LAP SPLICES ATOP POSTS, CUT WIDTH TO ALIGN WITH FACE OF FENCE.
2. 2x6 WOOD HORIZONTAL SIDING, 3/4" SPACING. ATTACH TO EACH POST WITH 2 GALVANIZED FASTENERS PER HORIZONTAL MEMBER.
3. 4x4 WOOD POST.
4. 4x4 WOOD HORIZONTAL MEMBER.
5. ADJACENT CONCRETE PAVERS, SEE L3-202 HARDSCAPE PLAN.
6. CONCRETE FOOTING PER STRUCTURAL ENGINEER, TABBY FINISH.
7. 2x8 WOOD SIDING, VERTICAL END PIECE, NAIL TO POSTS. CUT WIDTH TO ALIGN WITH FACE OF FENCE.
8. 4x4 WOOD GATE FRAME.
9. (2) SELF CLOSING BARREL HINGES. REFER TO FENCE MANUFACTURER'S DETAILS AND SPECIFICATION.
10. NOT USE
11. 4' ENTRY WALK, REFER TO HARDSCAPE PLAN #2.
12. PLANTING IN THE FRONT OF FENCE.
13. SIMPSON STRONG TIE CONCEALED POST TIE MODEL CPT44Z.

NOTES

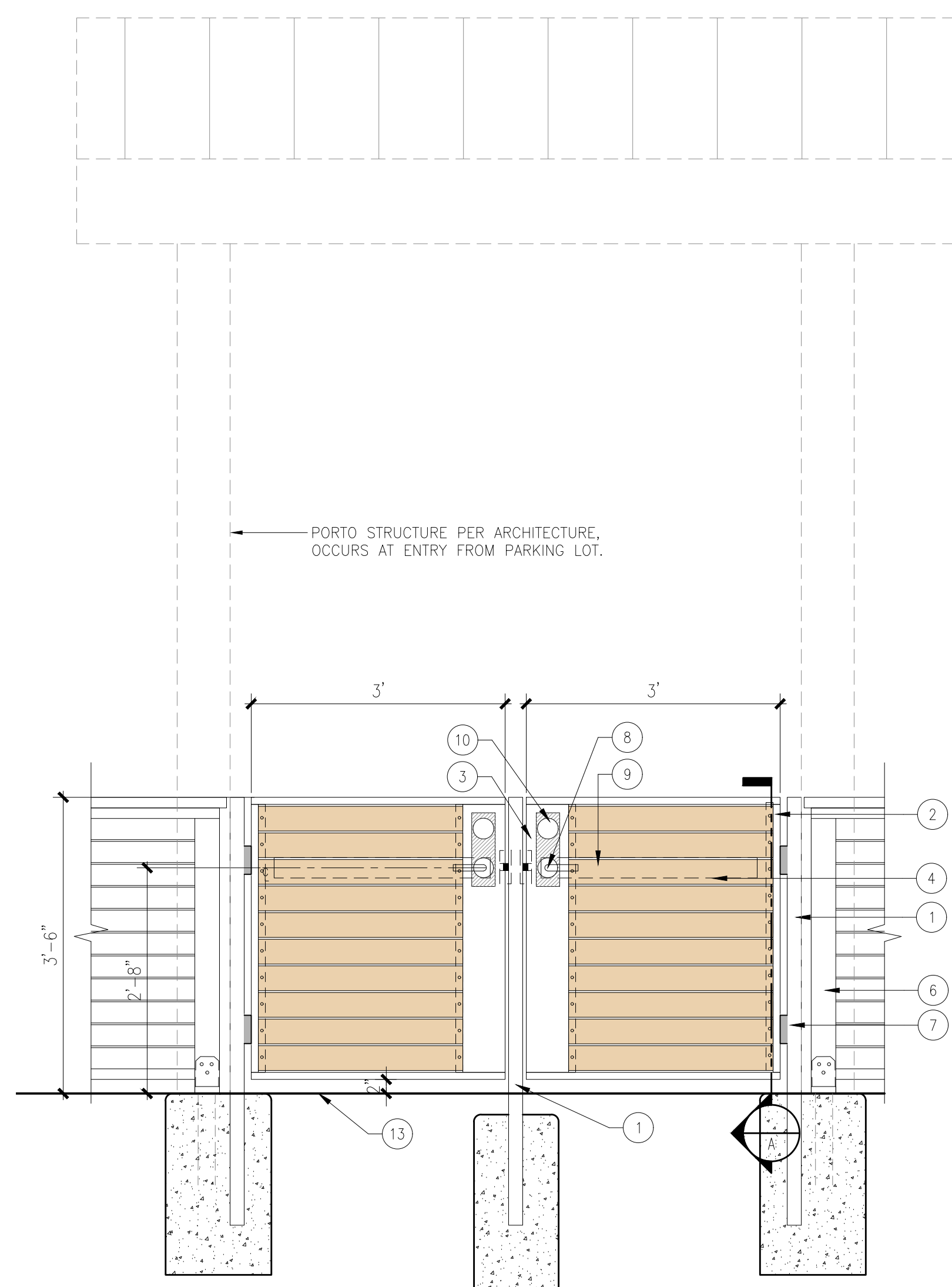
- A. PATIO FENCE LOCATION & LENGTH V.I.F.
- B. REFER TO L3-202 HARDSCAPE PLAN FOR WHERE FRONT PATIO FENCE AND GATE OCCUR.
- C. TALL FENCE WALL TO ALIGN AND CENTER WITH EXISTING BUILDING FIN WALL.



FRONT ELEVATION

SECTION A-A

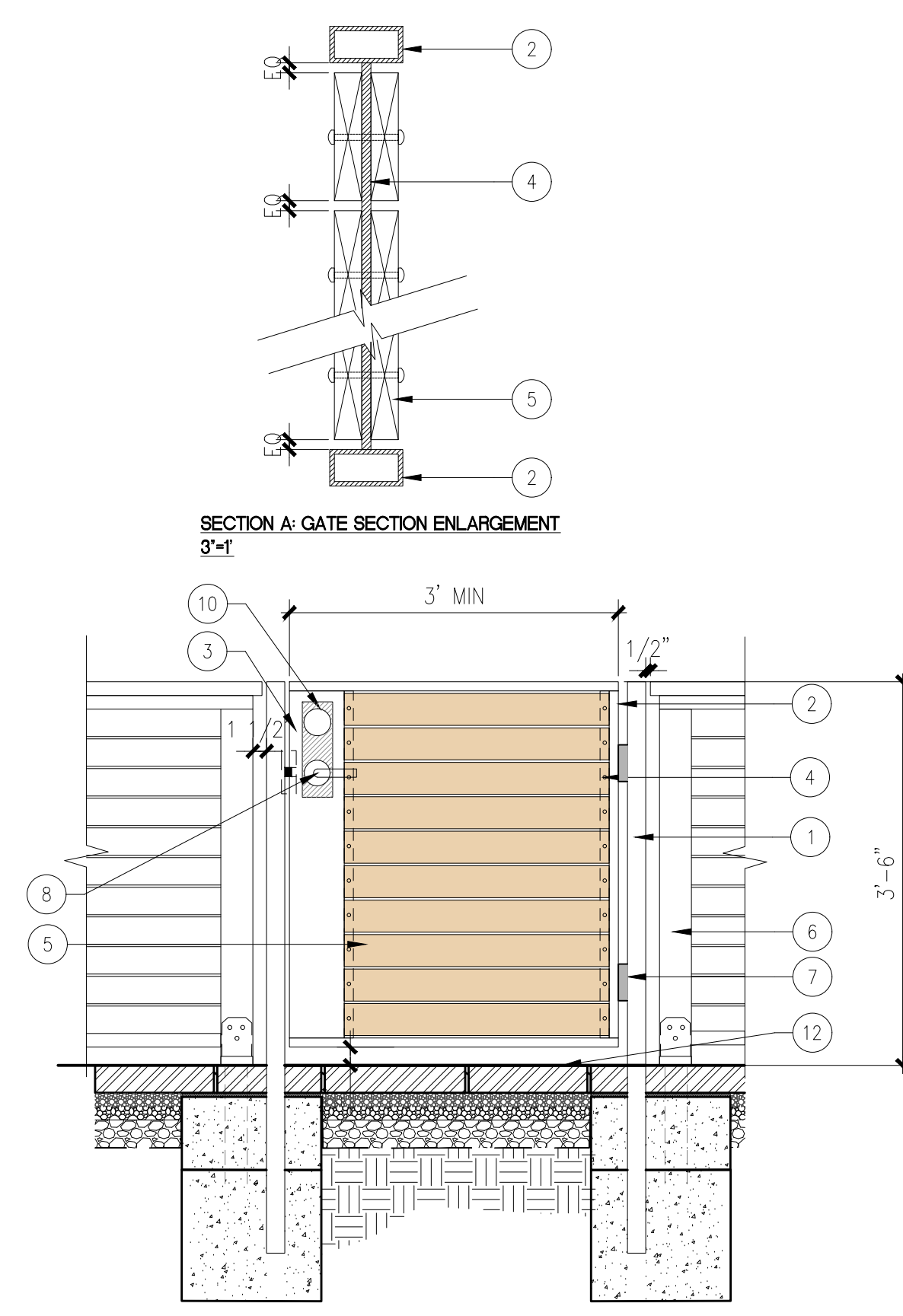
3 GUESTROOM PATIO FENCE
3/4" = 1'-0"



6 DOUBLE WOOD GATE

DOUBLE GATE OCCURS AT ENTRY FROM PARKING LOT & EVENT PAVILION.

2 WOOD FENCE GATE
3/4" = 1'-0"



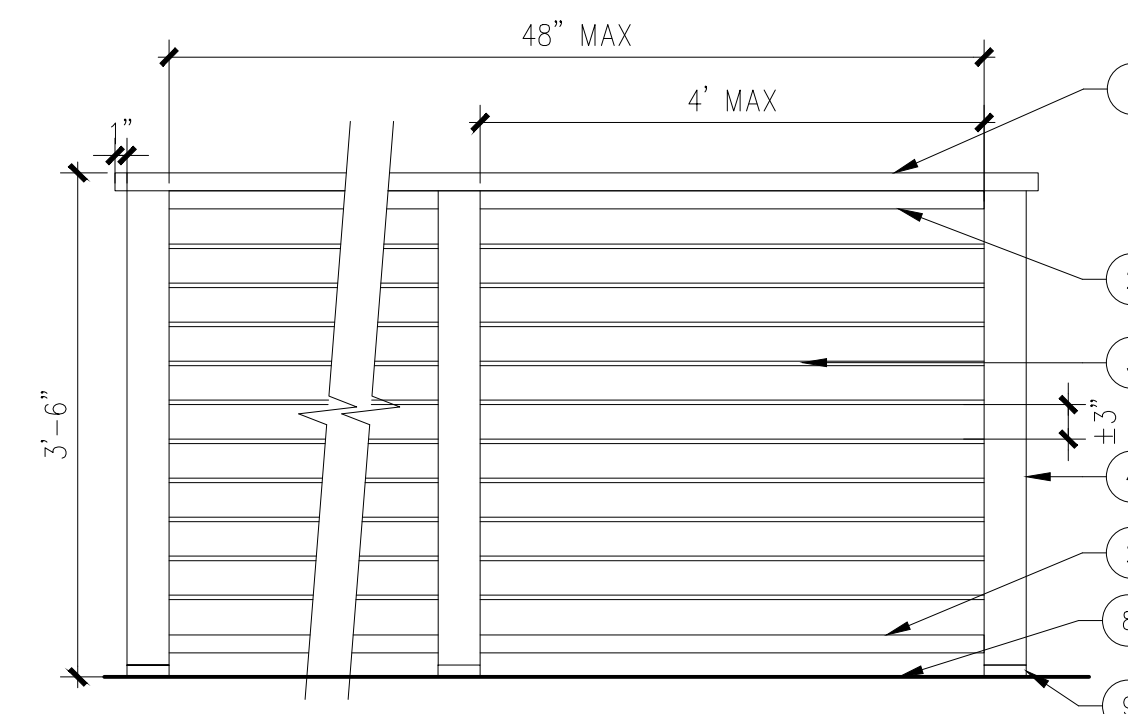
WOOD GATE AT SMOKER

NOTE

- A. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR REINFORCEMENT, FOOTING SIZES AND OTHER STRUCTURAL REQUIREMENTS.
- B. GATE SHALL COMPLY WITH BUILDING CODE.
- C. GATE SHALL BE EQUIPPED WITH A PNEUMATIC ARM GATE CLOSER AND SELF-LATCHING DEVICES.
- D. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION.
- E. 6' DOUBLE GATE SHALL HAVE A MINIMUM 68" CLARENCE AT OPEN POSITION.

LEGEND

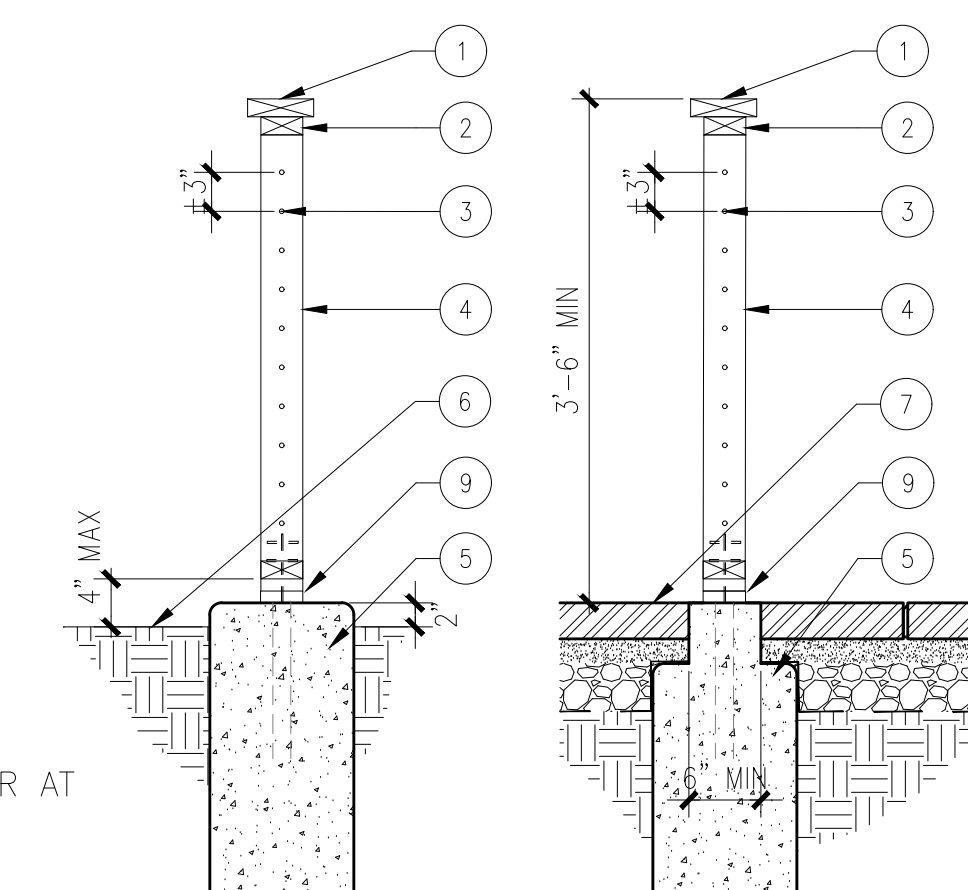
1. 2X2 TUBULAR STEEL.
2. 1x2 TUBULAR STEEL.
3. 2X6 TUBULAR STEEL.
4. (2) 1/4" THICK, 1" WIDE CORNER STEEL BAR, WELDED ON THE GATE FRAME.
5. 4X1 WOOD BOARD, BOLT ON TO THE STEEL BAR, EQUAL SPACING, CLEAR COAT NATURAL FINISH.
6. ADJACENT WOOD FENCE POST.
7. (2) SELF CLOSING BARREL HINGES. REFER TO FENCE MANUFACTURER'S DETAILS AND SPECIFICATION.
8. METAL GATE HANDLE (LOCKABLE).
9. PANIC BAR ON PAVILION SIDE OF GATE.
10. LOCKSET PER HOTEL OWNER.
11. CONCRETE FOOTING PER STRUCTURAL ENGINEER.
12. PAVER FINISH SURFACE.
13. FINISH SURFACE, REFER TO HARDSCAPE PLAN.



ELEVATION

LEGEND

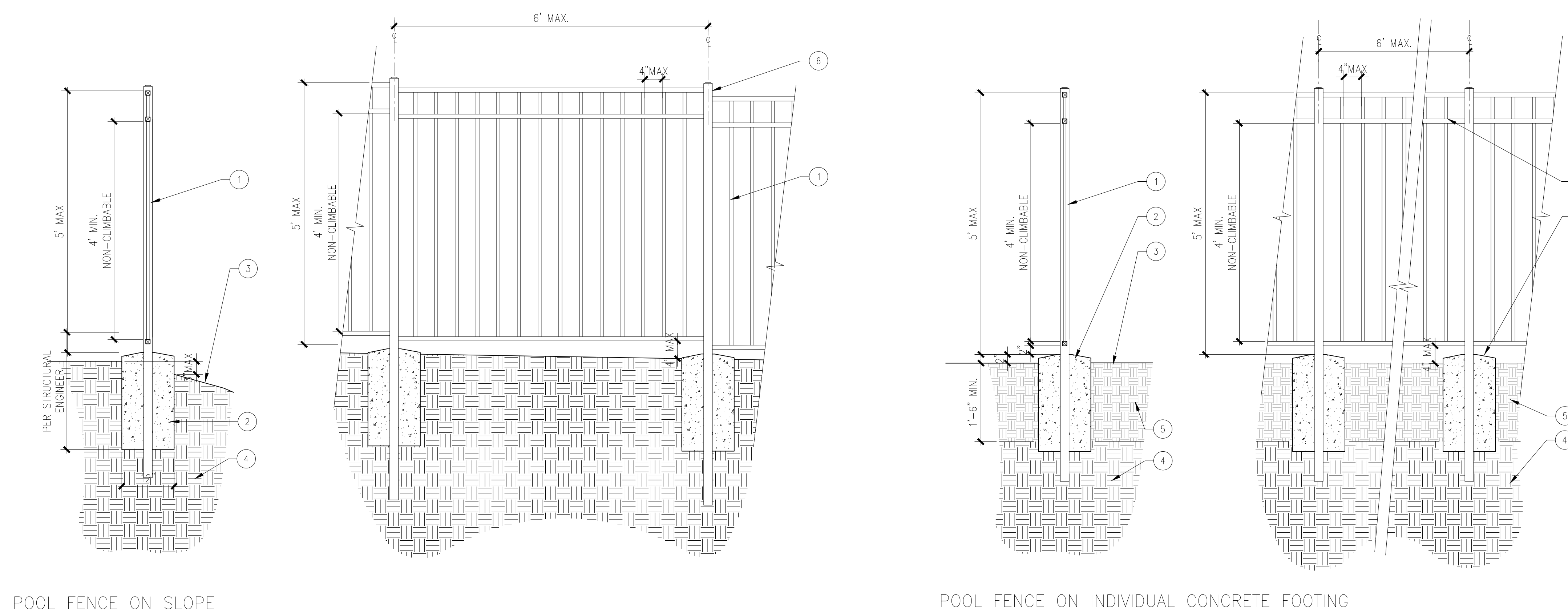
1. CONTINUOUS 2X6 WOOD RAIL CAP, NAIL TO POSTS AND MITER AT ALL CORNERS.
2. 2X4 WOOD RAIL.
3. 3/8 DIA STAINLESS STEEL 1X19 WIRE ROPE PER MANUFACTURER SPECIFICATION & RECOMMENDATIONS. ±3" SPACING, EQUAL SPACING. REJECT 4" SPHERE.
4. 4X4 WOOD POST.
5. CONCRETE FOOTING, PER STRUCTURAL ENGINEER.
6. ADJACENT SAND/PLANTING FINISH GRADE.
7. ADJACENT CONCRETE PAVERS FINISH GRADE.
8. FINISH SURFACE, REFER TO HARDSCAPE PLAN.
9. SIMPSON STRONG TIE CONCEALED POST TIE MODEL CPT44Z.



SECTION: IN PLANTER/SAND

SECTION: ON CONCRETE PAVER

1 LANDSCAPE WOOD FENCE
3/4" = 1'-0"



POOL FENCE ON SLOPE

POOL FENCE ON INDIVIDUAL CONCRETE FOOTING

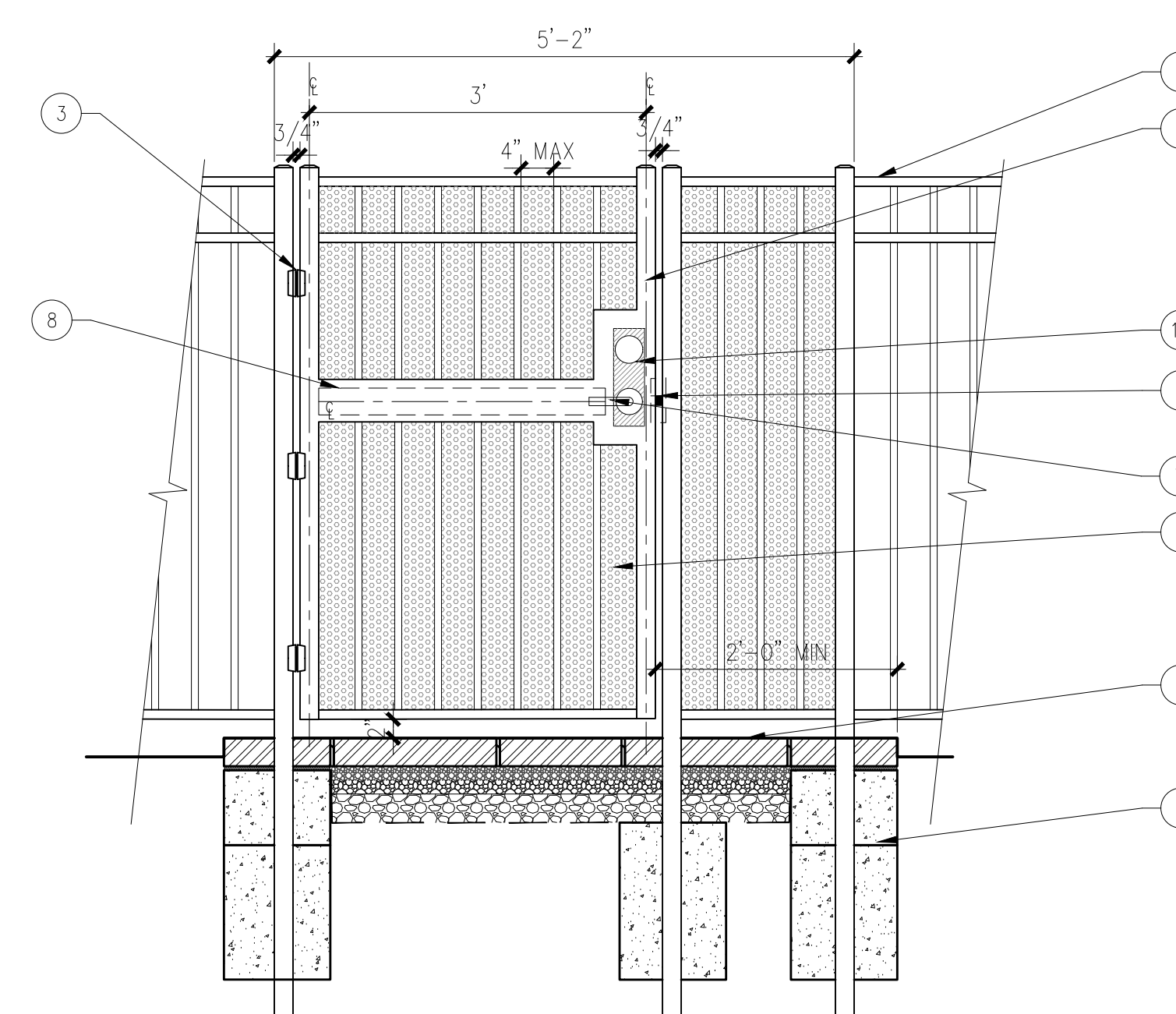
LEGEND

1. ALUMINUM FENCE, REFER TO FENCE SCHEDULE, SHEET L3-001, FOR MANUFACTURER MATERIAL, COLOR, AND FINISH.
2. INDIVIDUAL CONCRETE FOOTING PER STRUCTURAL ENGINEER, TABBY FINISH.
3. ADJACENT PLANTING AREA FINISH GRADE.
4. COMPACTED SOIL PER GEOTECHNICAL SOILS REPORT.
5. AMENDED SOIL PER AGRICULTURAL SOILS REPORTS.
6. STEPPED FENCING WHEN ELEVATION CHANGE OCCURS.

NOTE

- A. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR REINFORCEMENT, FOOTING SIZES AND OTHER STRUCTURAL REQUIREMENTS.
- B. POUR CONCRETE FOOTINGS AND CURB AGAINST COMPACTED SOIL PER GEOTECHNICAL SOILS REPORT.

2 POOL FENCE
3/4" = 1'-0"



3 POOL GATE IN WALL ELEVATION - VIEW FROM OUTSIDE

LEGEND

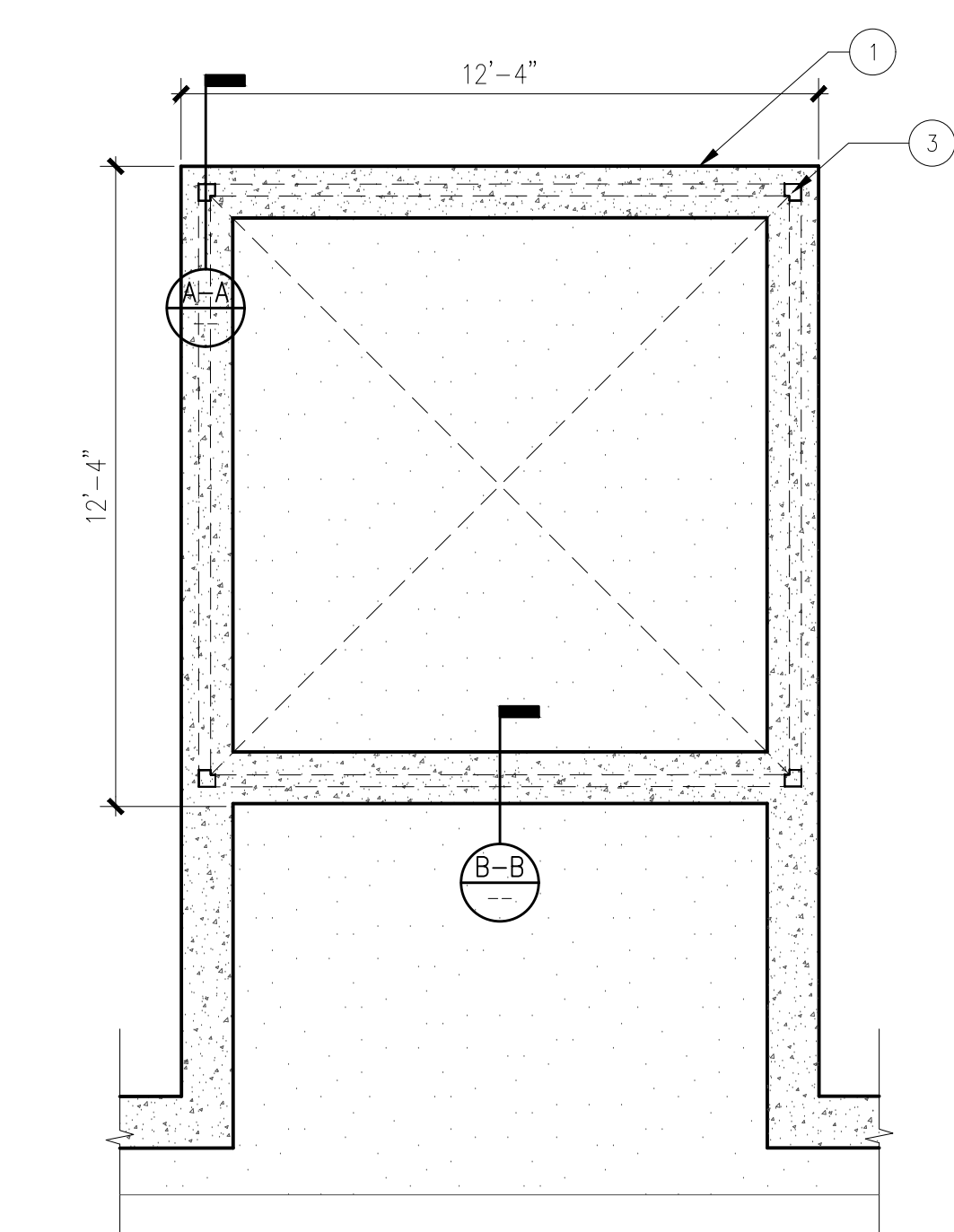
1. ALUMINUM POOL FENCE. REFER TO FENCE SCHEDULE, SHEET L3-001 FOR MANUFACTURER, MATERIAL, COLOR AND FINISH.
2. ALUMINUM GATE. REFER TO HARDSCAPE SCHEDULE, SHEET L3-001 FOR MANUFACTURER, MATERIAL, COLOR AND FINISH.
3. "TRU-CLOSE" HINGE. REFER TO FENCE MANUFACTURER'S DETAILS AND SPECIFICATION.
4. MCNICHOLS PERFORATED METAL, ITEM 1418312041, 1/8" ROUND ON 3/16" STAGGERED CENTERS, 40% OPEN AREA.
5. PERMEABLE CONCRETE PAVER. REFER TO HARDSCAPE PLAN, SHEET L3-201.
6. CONCRETE FOOTING PER STRUCTURAL ENGINEER.
7. METAL GATE HANDLE (LOCKABLE).
8. PANIC BAR ON POOL SIDE OF GATE.
9. LOCKSET PER OWNER, CARD KEY SYSTEM.
10. ALUMINUM GATE BOX FOR DOOR HARDWARE HOUSING (CARD READER, PANIC HARDWARE, ETC).
11. 4x4 ALUMINUM POST WITH 4x4 CAP WELDED TO TOP OF POST, GROUND SMOOTH TO ALIGN WITH ALL SIDES OF POST.

NOTE

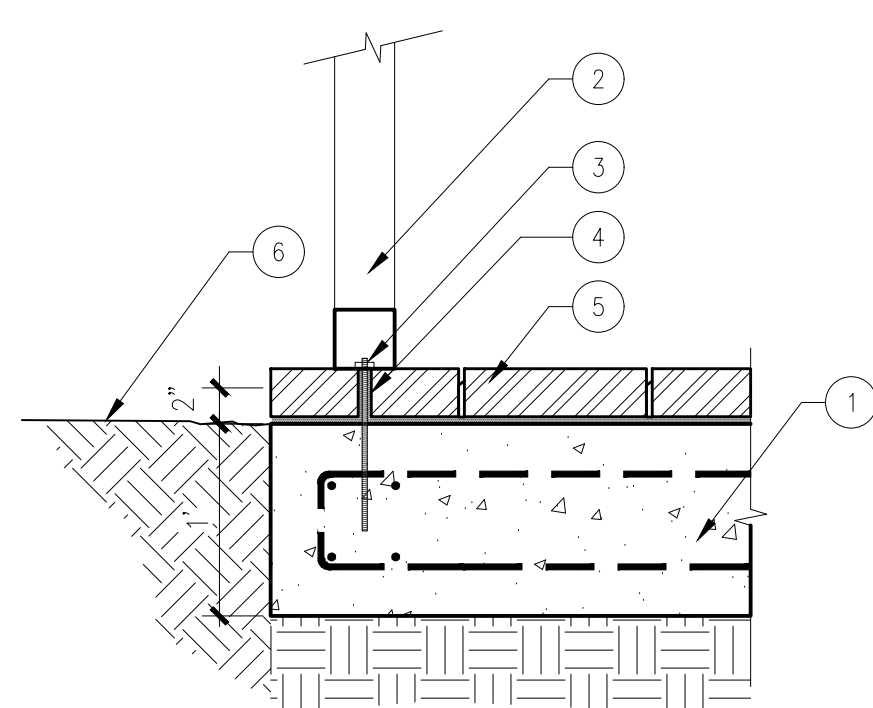
- A. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR REINFORCEMENT, FOOTING SIZES AND OTHER STRUCTURAL REQUIREMENTS.
- B. GATE SHALL COMPLY WITH BUILDING CODE.
- C. GATE SHALL BE EQUIPPED WITH A PNEUMATIC ARM GATE CLOSER AND SELF-LATCHING DEVICES.
- D. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND PRODUCT SAMPLES TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION.
- E. 6" DOUBLE GATE SHALL HAVE A MINIMUM 68" CLARENCE AT OPEN POSITION.
- F. ALL WELDS SHALL BE CONTINUOUS AND GROUND SMOOTH. FOR EACH DOUBLE GATE, BOTH GATES ARE IDENTICAL AND OPERATE UNDEPENDABLY.

1 POOL GATE
3/4" = 1'-0"

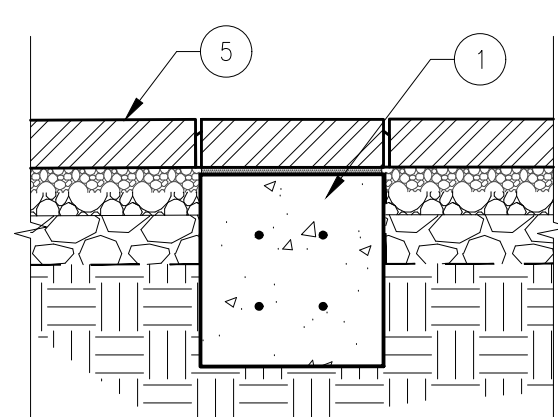
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CABANA BASE LAYOUT
NTS



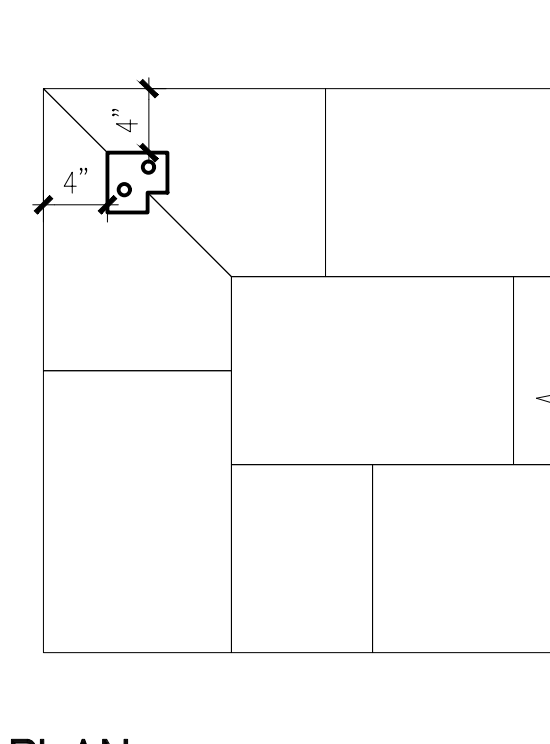
SECTION A-A



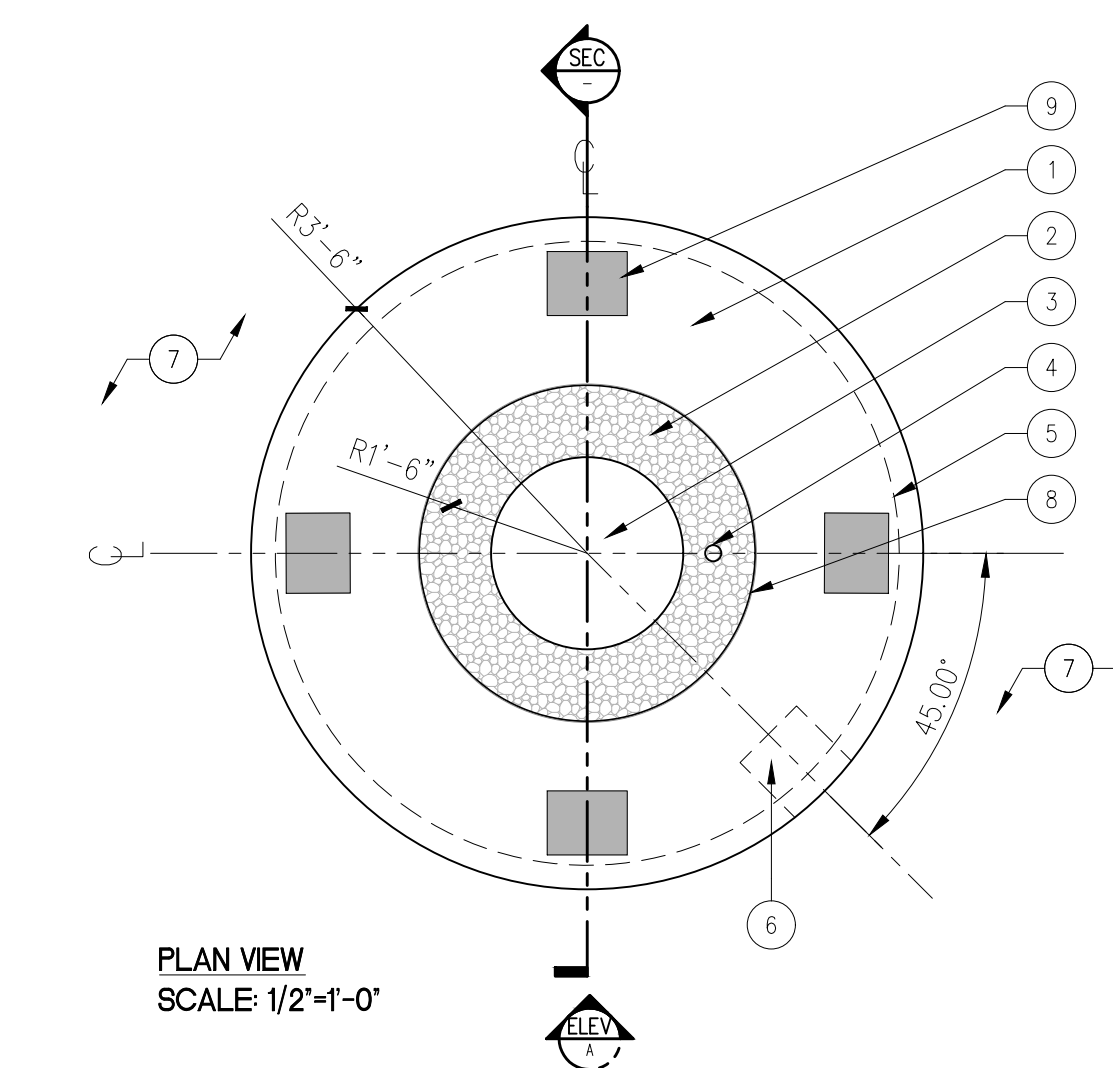
SECTION B-B

LEGEND

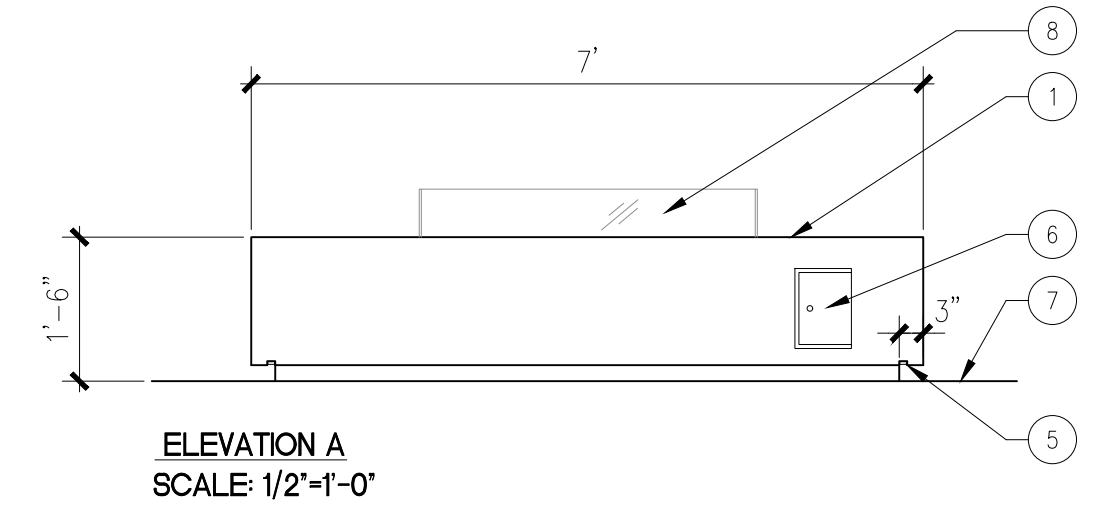
1. REINFORCED CONCRETE BASE PER STRUCTURAL ENGINEERING DRAWINGS.
2. CABANA COLUMN.
3. CABANA FLANGE PER MANUFACTURER'S SPECIFICATION.
4. CORE GRILL AND FILLED WITH GROUT.
5. CONCRETE PAVER, REFER TO HARDSCAPE SCHEDULE FOR COLOR, FINISH.
6. ADJACENT PLANTING AREA.



PLAN



PLAN VIEW
SCALE 1/2"-1'-0"



ELEVATION A
SCALE 1/2"-1'-0"

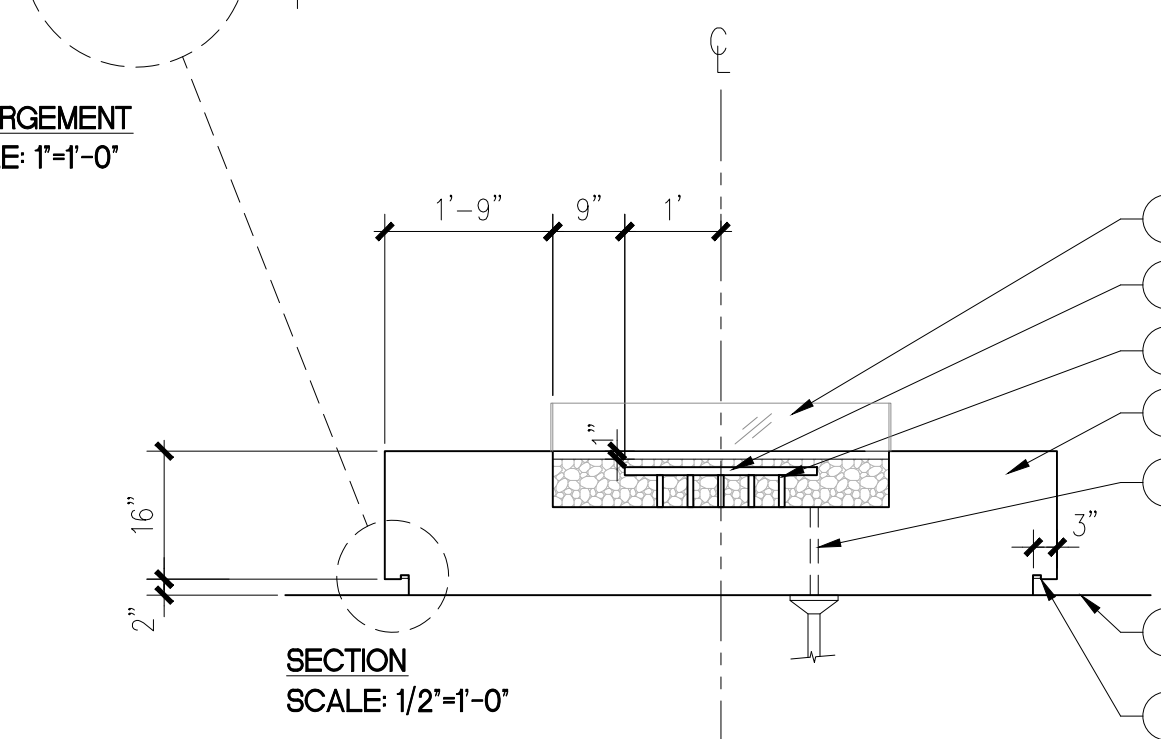
LEGEND

1. PRECAST CONCRETE FIREPIT.
2. 1"-2" DIAMETER VOLCANIC STONE BED.
3. GAS BURNER.
4. NUISANCE WATER DRAIN. PROVIDE AREA DRAIN BENEATH EACH FIREPIT.
5. LED LIGHT STRIP PER LIGHTING DESIGNER. CONCEAL LIGHT FIXTURE WITHIN COVES WITHIN PRECAST CONCRETE FIREPIT.
6. GAS VALVE AND IGNITION SWITCH BEHIND A LOCKABLE DOOR PANEL.
7. ADJACENT PAVEMENT.
8. TEMPERED SAFETY GLASS.
9. NOTICE PLAQUE WITH TEXT: "DO NOT LEAVE CHILDREN UNATTENDED".

NOTES

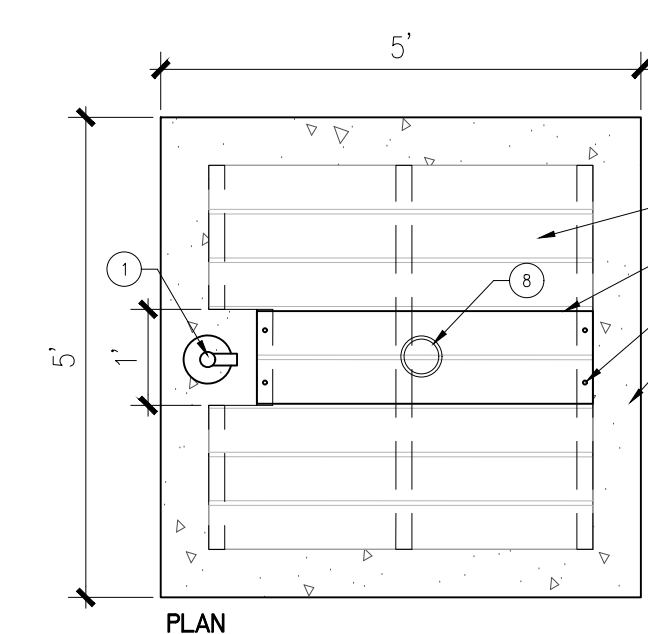
1. PROVIDE REMOTE EMERGENCY SHUT-OFF VALVE WITHIN SIX FEET OF THE FIREPIT.

ENLARGEMENT
SCALE 1'-1'-0"



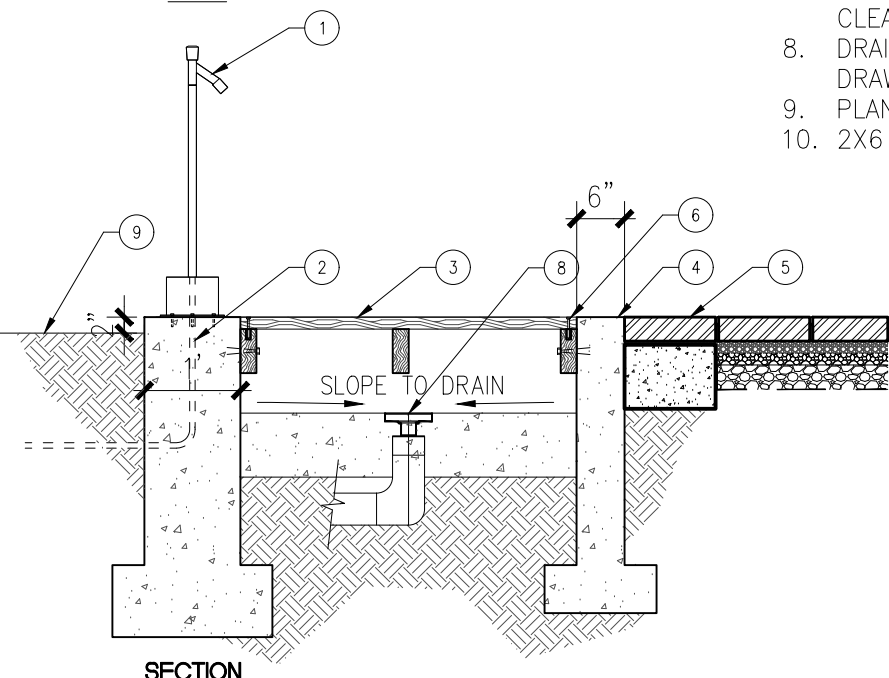
SECTION
SCALE 1/2"-1'-0"

5 POOL CABANA PAVING AND FOUNDATION
1" = 1'-0"

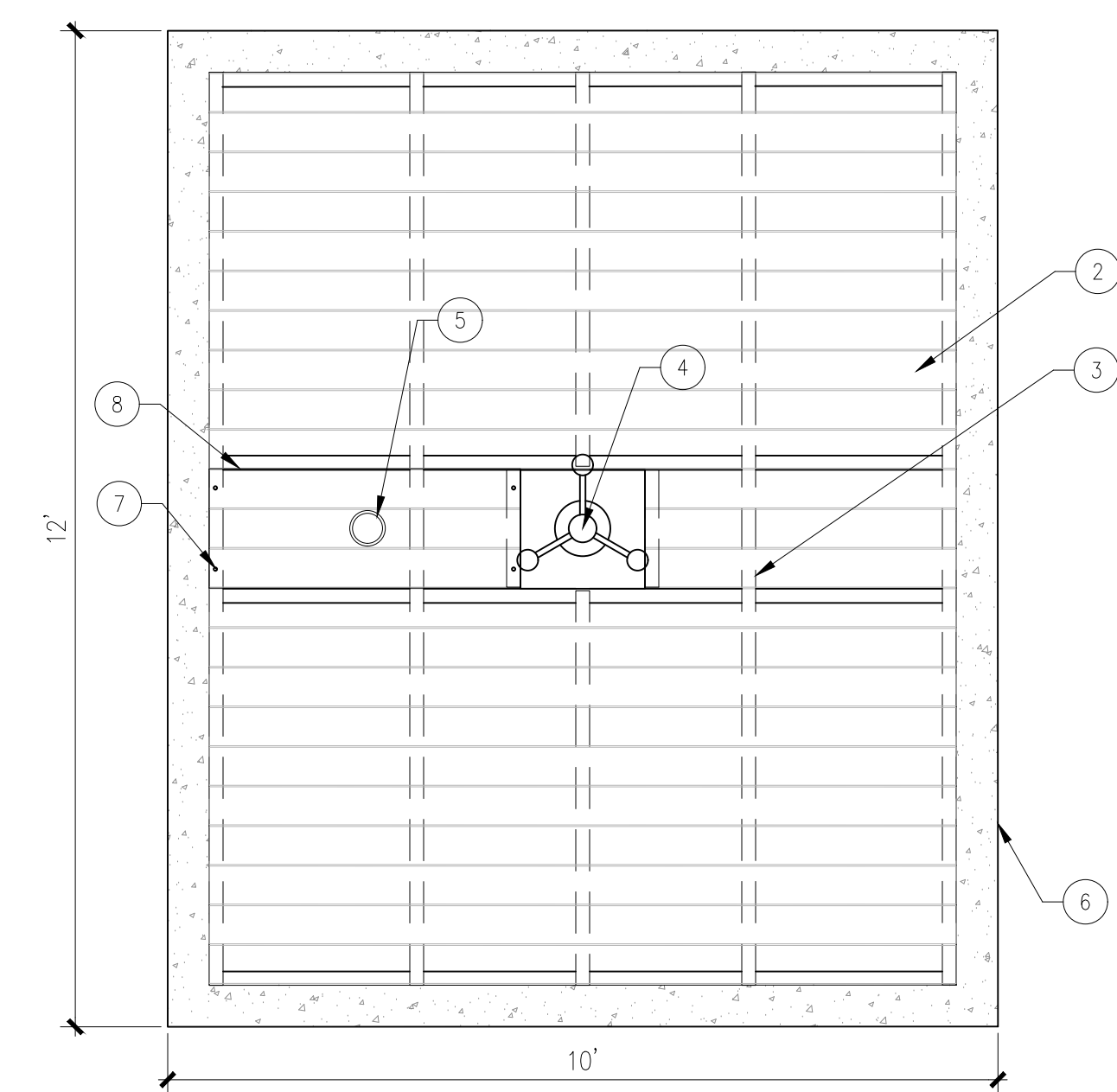


LEGEND

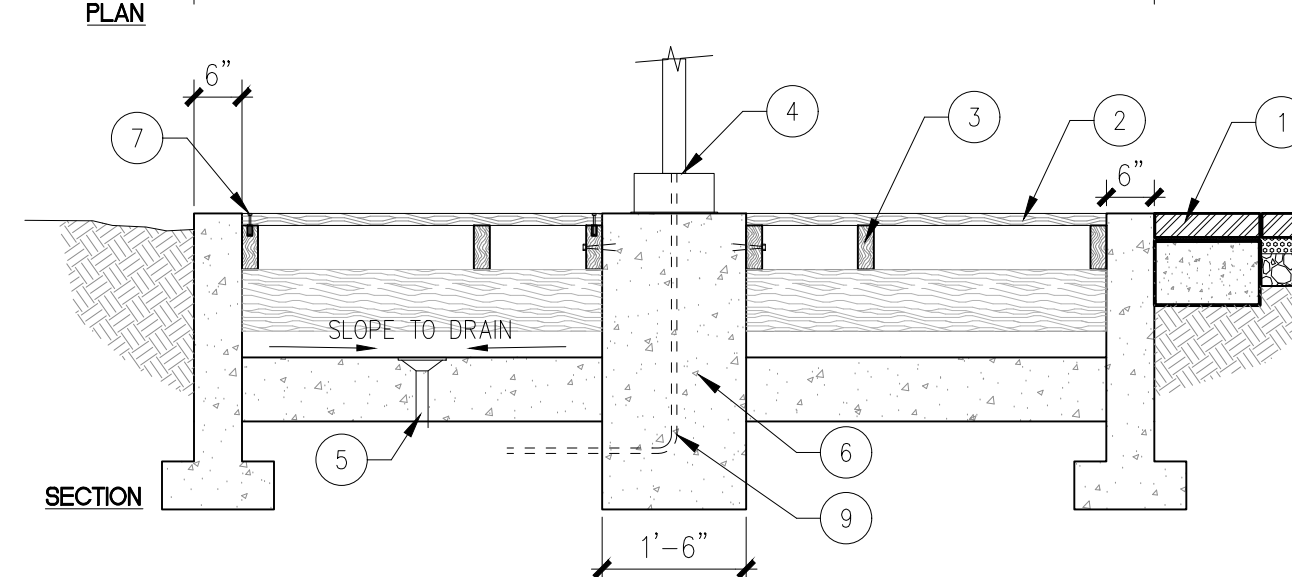
1. FOOT WASH, REFER TO HARDSCAPE SCHEDULE FOR COLOR, FINISH, AND MANUFACTURER. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES.
2. WATER PIPE, REFER TO MEP DRAWINGS AND SPECIFICATIONS.
3. 5/4 X 6 WOOD DECK BOARD.
4. CONCRETE BASIN, STRUCTURAL ENGINEER TO DETERMINE DEPTH AND REQUIRED FOOTING. TABBY FINISH.
5. ADJACENT PAVING, REFER TO HARDSCAPE PLANS.
6. 4 DOWEL HOLES.
7. REMOVABLE DECK BOARDS AS DRAIN CLEAN OUT.
8. DRAIN PER CIVIL ENGINEERING DRAWINGS.
9. PLANTING AREA.
10. 2X6 PRESSURE TREATED JOIST.



SECTION



PLAN

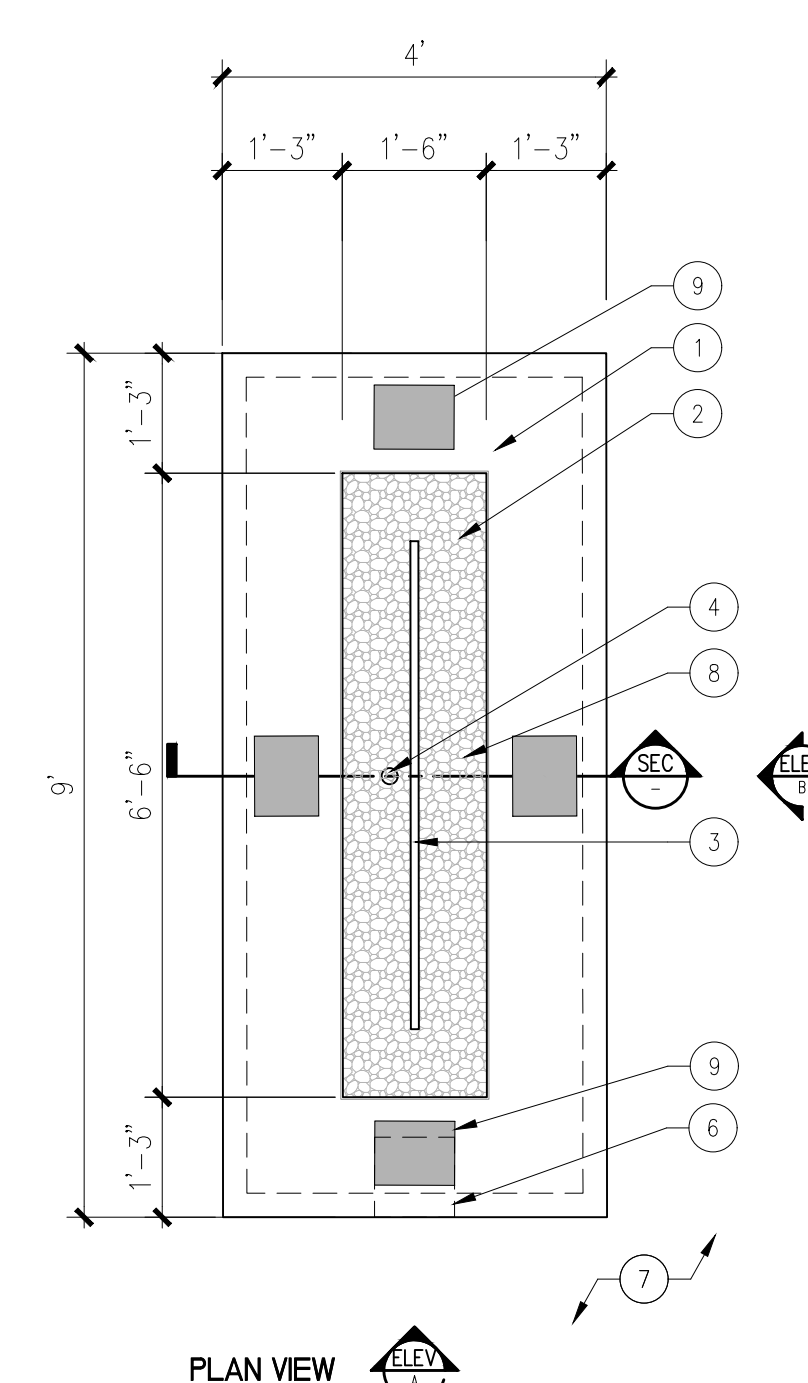


SECTION

LEGEND

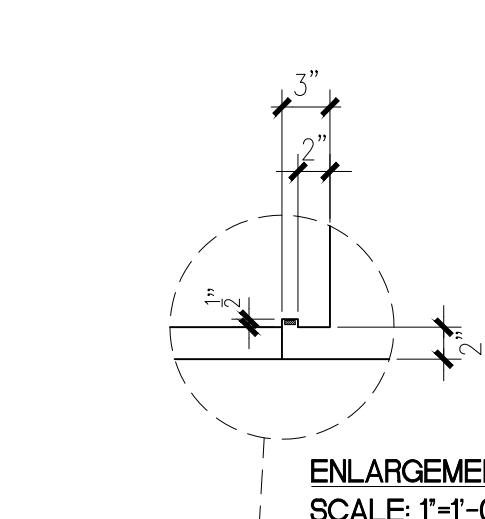
1. ADJACENT PAVING, REFER TO HARDSCAPE PLAN.
2. 5/4 X 6 WOOD DECK BOARD.
3. 2X6 PRESSURE TREATED JOIST.
4. OUTDOOR SHOWER, PER MANUFACTURER'S INSTALLATION GUIDE.
5. AREA DRAIN, REFER TO CIVIL ENGINEERING DRAWINGS.
6. CONCRETE BASE, STRUCTURAL TO DETERMINE DEPTH AND REQUIRED FOOTING. TABBY FINISH.
7. 4 DOWEL HOLES.
8. REMOVABLE DECK BOARDS AS DRAIN CLEAN OUT.
9. WATER PIPE, REFER TO MEP DRAWINGS AND SPECIFICATIONS.

2 CIRCULAR FIRE PIT
1/2" = 1'-0"

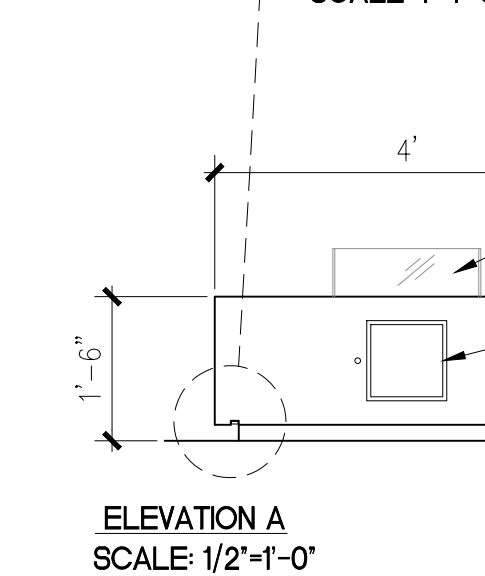


PLAN VIEW
SCALE 1/2"-1'-0"

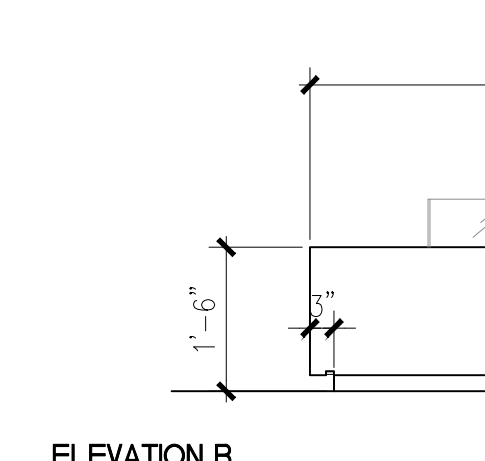
S-2
RECTANGULAR FIRE PIT - LARGE



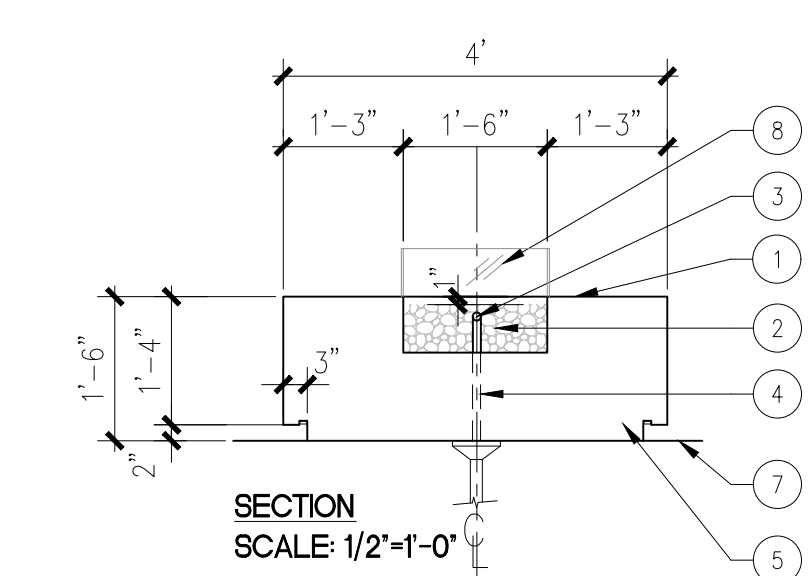
ENLARGEMENT
SCALE 1'-1'-0"



ELEVATION A
SCALE 1/2"-1'-0"



ELEVATION B
SCALE 1/2"-1'-0"



SECTION
SCALE 1/2"-1'-0"

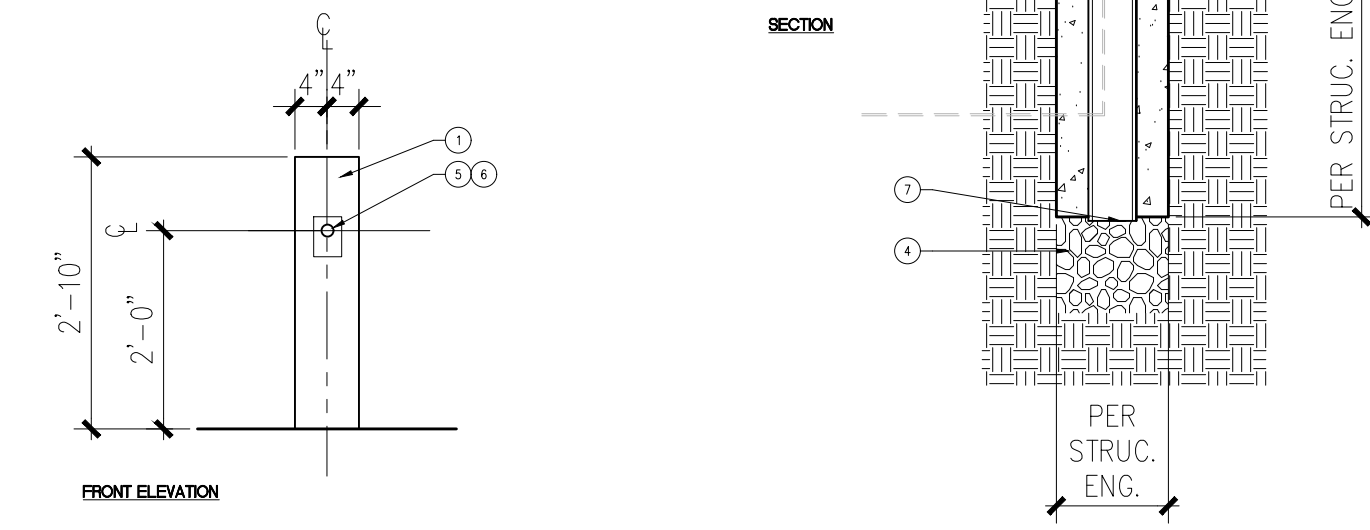
4 FOOT WASH STATION
1/2" = 1'-0"

3 OUTDOOR SHOWER
1/2" = 1'-0"

1 RECTANGULAR FIRE PIT
1/2" = 1'-0"

- LEGEND**
- 8"x6" TUBULAR STEEL POST. STEEL CAP WELDED TO TOP OF POST.
 - ADJACENT PAVING, REFER TO HARDSCAPE PLAN AND SCHEDULE, FOR MATERIAL AND FINISH.
 - NOT USE.
 - COMPACTED AGGREGATE TO ALLOW DRAINAGE.
 - EMERGENCY SHUT OFF SWITCH, REFER TO POOL AND SPA DRAWINGS.
 - SPA TIMER SWITCH, REFER TO POOL AND SPA DRAWINGS.
 - OPEN FOR DRAINAGE.
 - ADJACENT PLANTING.

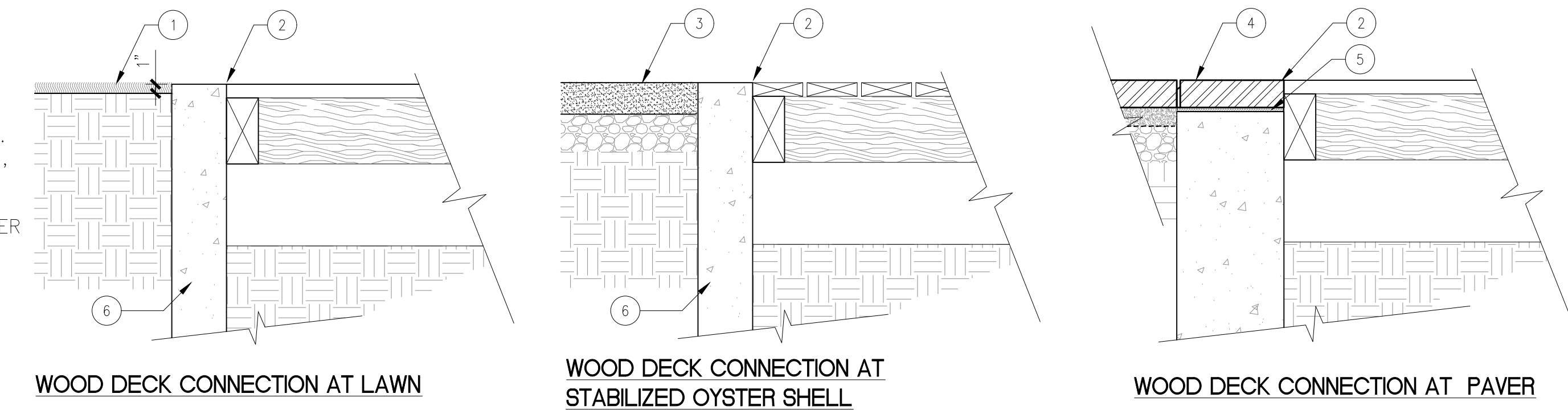
- NOTES**
- A. ALL STEEL PIECES TO BE PRE-GALVANIZED, TREAT FIELD WELDS TO PREVENT RUST. ALL WELDS ARE TO BE GROUND FLAT AND SMOOTH.



3 SHUT-OFF PEDESTAL
1/2" = 1'-0"

- LEGEND**
- ADJACENT LAWN, 1" DROP.
 - FLUSH.
 - P-4 STABILIZED OYSTER SHELL.
 - CONCRETE PAVER, SEE L3-401, DET. 2.
 - MORTAR BED.
 - CONCRETE HEADER, FOOTING PER STRUCTURAL ENGINEERS.

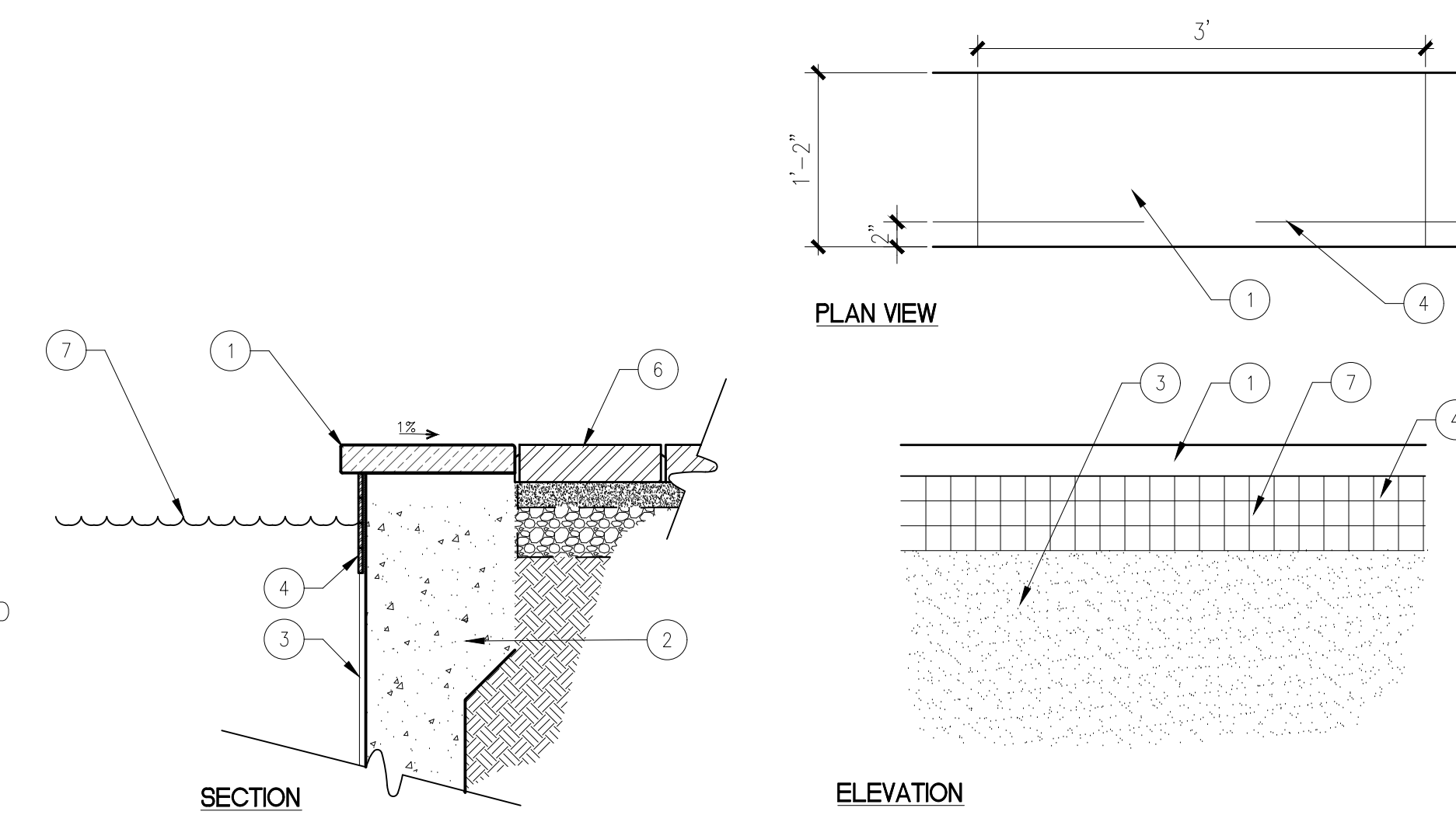
- NOTES**
- A. REFER TO ARCHITECTURAL DRAWINGS FOR DECKING DETAIL AT TIKI BAR OR PAVILION.



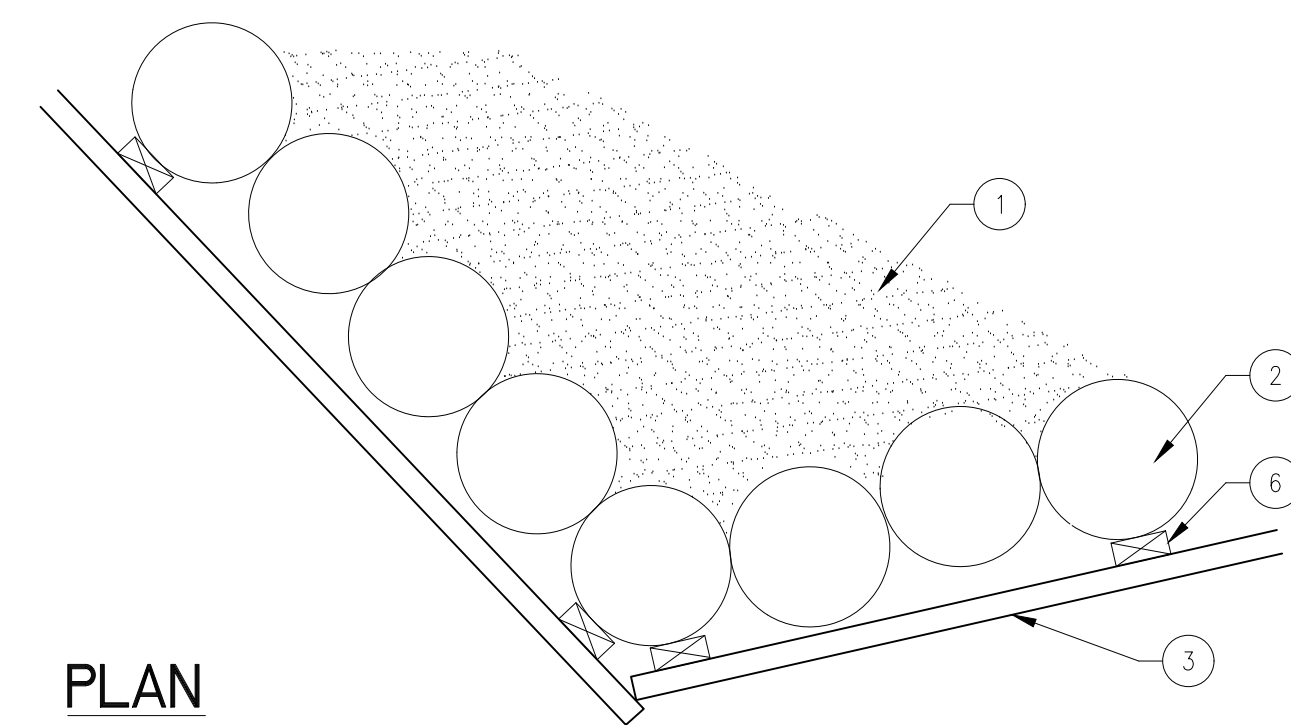
2 WOOD DECK EDGE CONDITIONS
1" = 1'-0"

- LEGEND**
- CANTILEVERED CONCRETE POOL COPING W/ 1/8" RADIUS.
 - REFER TO SWIMMING POOL CONSULTANT'S DRAWINGS AND SPECIFICATION, REFER TO POOL SCHEDULE FOR MANUFACTURER, MODEL NUMBER, AND COLOR.
 - POOL PLASTER.
 - POOL TILE, REFER TO POOL SCHEDULE FOR MANUFACTURER, COLOR, AND FINISH.
 - NOT USE.
 - ADJACENT PAVER, REFER TO DETAIL 2, SHEET L3-401.
 - WATER LEVEL.

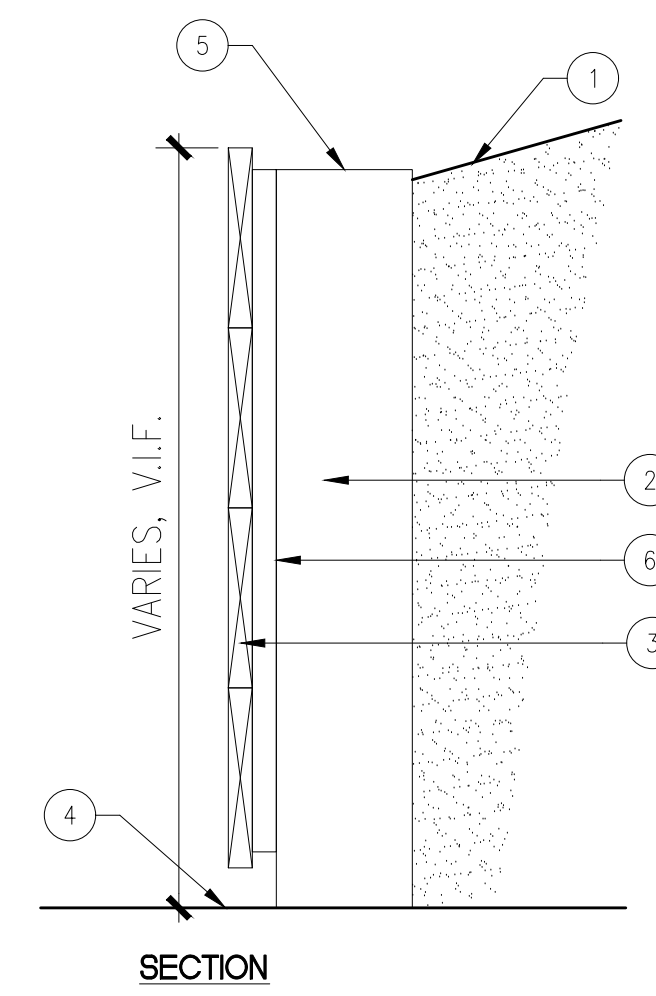
- NOTES**
- A. REFER TO POOL SCHEDULE FOR ALL COLORS, TYPES, FINISHES, AND MANUFACTURER REQUIREMENTS.
C. ALL DIMENSIONS ARE FROM FACE OF TILE, UNLESS NOTED OTHERWISE.



1 PRE-CAST POOL COPING
1" = 1'-0"



PLAN



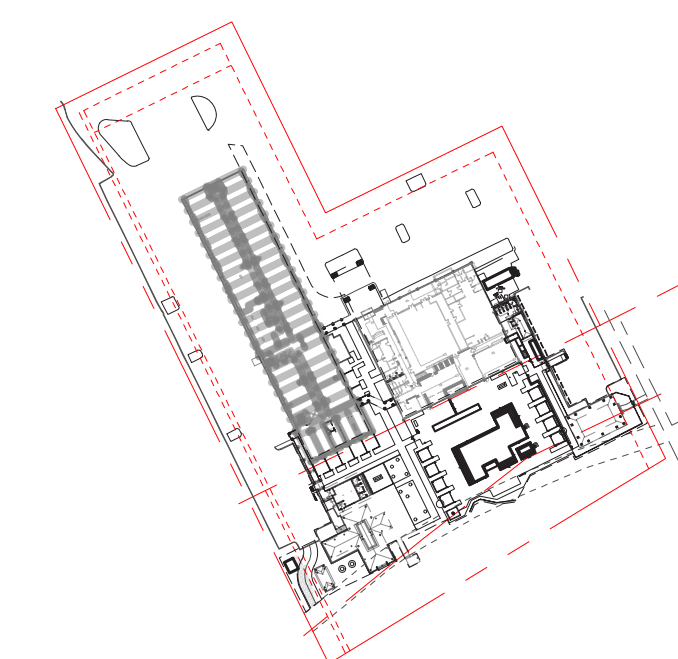
SECTION

- LEGEND**
- EXISTING DUNE.
 - EXISTING WOOD LOG, SIZE AND LOCATION V.I.F.
 - 2X12 WOOD COVER BOARD WITH ±1/4" GAP. LAG BOLT NEW BOARDS TO LAG THROUGH SHIM.
 - PLANTING AREA FINISH GRADE.
 - CUT EXISTING WOOD LOG 2" BELOW THE TOP OF CLADDINGS.
 - 2X4 SHIM, LAG BOLT SHIM TO LOG.

- NOTES**
- A. EXISTING WOOD POST LOCATION, SIZE, AND HEIGHT TO BE VERIFIED IN FIELD.

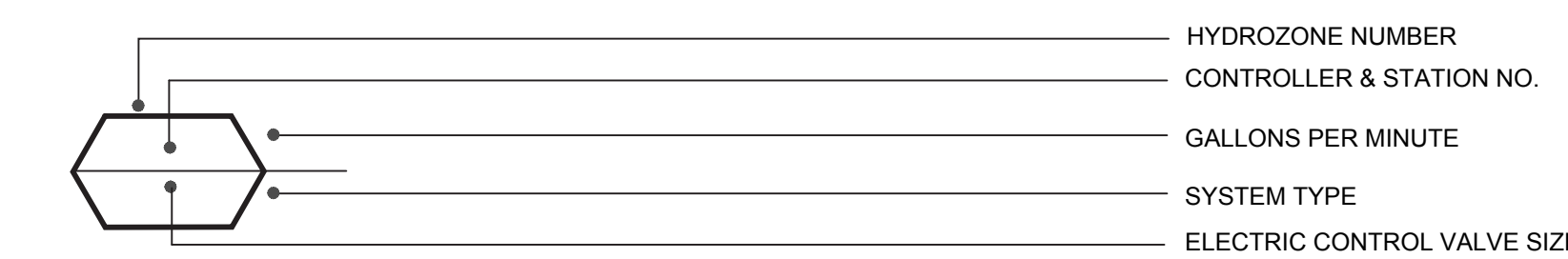
4 DUNE WALL CLADDING
1" = 1'-0"

1 PRE-CAST POOL COPING
1" = 1'-0"



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NUMBER	DESCRIPTION	DETAIL No.	PSI	GPM	RADIUS
	RAINBIRD	RD-12-S-P30-10 VAN QTR AND HALF	12" POP-UP PRS REG. SPRINK BODY W/ 10 SERIES MPR NOZZLE	11 L4-4.01	30	0.39, 0.79	10' per spacing
	RAINBIRD	RD-12-S-P30-8 VAN QTR AND HALF	12" POP-UP PRS REG. SPRINK BODY W/ 8 SERIES MPR NOZZLE	11 L4-4.01	30	0.26, 0.47	8' per spacing
	RAINBIRD	RD-06-S-P30-10-SERIES MPR NOZZLES QTR, HALF AND FULL	6" POP-UP PRS REG. SPRINK BODY W/ 10 SERIES MPR NOZZLE	10 L4-4.01	45	0.39, 0.79, 1.57	10' per spacing
	HUNTER	RZWS-18-25-CV (TWO PER TREE)	ROOT ZONE WATERING KITS (2) 18" DEEP	12 L4-4.01	30	0.25 EACH	0' (50 PER SYMBOL)
	RAINBIRD	XFS-06-12-XX	IN LINE EMITTER TUBING 18" O.C. EMITTERS 12" O.C. ROW SPACING	6, 7 AND 8 L4-4.01	30	0.6 GPH	0'
	RAINBIRD	XFF-TEE, XFF-ELBOW	SURFACE MOUNTED ELL, TEE OR CROSS CONNECTION	6, 7 AND 8 L4-4.01			
	AS DETAILED	AS DETAILED	PVC INTAKE/EXHAUST HEADER W/ XFF-MC-050 ADAPTER FITTINGS	6, 7 AND 8 L4-4.01			
	PER DETAIL		DRIP LINE INDICATOR AND SYSTEM FLUSH POINT	8 L4-4.01			
	RAINBIRD	AVR050	AIR/VACUUM RELIEF VALVE INSTALL AT HIGHEST POINT	9 LI-4.01			
	RAINBIRD	XCZ-100-PRBR	DRIP VALVE KIT ASSEMBLY	3 L4-4.01			
	RAINBIRD	XXX-PED-PRS-D (SIZE PER PLAN)	ELECTRIC CONTROL VALVE	4 L4-4.01			
	NIBCO	T-113	GATE VALVE (LINE SIZE)	2 L4-4.01			
	RAINBIRD	44LRC	QUICK COUPLING VALVE	5 L4-4.01			
	HUNTER	PHC-2400i	INTERIOR WALL MOUNTED WIFI ENABLED CONTROLLER WITH RAIN GAUGE	13 L4-4.02			CONTROLLER TO BE POWERED FROM 120V UTILITY BUILDING SOURCE
	APPROVED	SCH 40 BE (BELL END)	PVC PRESSURE SUPPLY LINE BURIED 18" DEEP	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END)	3/4" PVC LATERAL LINE BURIED 12" DEEP	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END) ALL 3/4" SIZE UNLESS OTHERWISE NOTED	PVC LATERAL LINE TREE SYSTEM PIPING	1 L4-4.01			
	APPROVED	SCH 40 BE (BELL END)	PVC IRRIGATION SLEEVE (SEE NOTE #4)				



NOTES

- ALL BASE INFORMATION HAS BEEN TAKEN FROM DRAWINGS PROVIDED BY WATG LANDSCAPE ARCHITECTS.
- SYSTEM HAS BEEN DESIGNED BASED ON A MINIMUM STATIC WATER PRESSURE OF 56 PSI.
- CONTRACTOR SHALL FIELD VERIFY ON THE UPSTREAM SIDE OF THE BACKFLOW PREVENTER PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULTANT OF ANY DIFFERENCE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS AS DIRECTED BY THE CONSULTANT.
- INSTALL IRRIGATION SLEEVES UNDER ALL PAVED SURFACES PER THE FOLLOWING SCHEDULE:

PIPE SIZE OR WIRE QUANTITY	REQUIRED SLEEVES
DRIP TUBING	1-2" SCH 40 PVC
3/4" LATERAL	1-2" SCH 40 PVC
1" PRESSURE SUPPLY LINE	1-2" SCH 40 PVC
1 1/4" PRESSURE SUPPLY LINE	1-3" SCH 40 PVC
1 1/2" PRESSURE SUPPLY LINE	1-3" SCH 40 PVC
2 1/2" PRESSURE SUPPLY LINE	1-6" SCH 40 PVC
1-20 CONTROL WIRES	1-2" SDR 35 PVC
1-40 CONTROL WIRES	1-3" SDR 35 PVC
- INSTALL DRIP EMITTER TUBING AS SHOWN ON PLANS AND AS DESCRIBED BY CONSTRUCTION DETAILS.
- SECURE DRIP TUBING AT A CONSISTENT ROW SPACING WITH NETAFIM #TL56 SOIL STAPLES OR 6" JUTTE MATTE STAPLES NO GREATER THAN 36" ALONG LENGTH OF TUBING. USE TWO STAPLES IN AN 'X' PATTERN OVER ANY CHANGES IN DIRECTION OF TUBING.
- DRIP TUBING TO BE LAID DOWN SO THAT EMITTER OUTLETS ARE STAGGERED ON A TRIANGULAR SPACING PATTERN.
- DRIP TUBING SHALL BE INSTALLED 1" BELOW MULCH LAYER AS DETAILED. SUPPLY AND EXHAUST HEADERS SHALL BE INSTALLED BELOW GRADE AT DEPTHS SHOWN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

NOTES:

- Refer to Sheet L4-001 for Irrigation Schedule and Notes.
- Refer to Sheet L4-101 for Irrigation Plan
- Refer to Sheets L4-401 & L4-402 for Irrigation Details.
- Refer to Book Specifications for Irrigation Specifications.

NOTE: IRRIGATION LAYOUT TO BE UPDATED PER FIELD CONDITIONS & FINAL DESIGN.

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CONNECTION TO EXISTING PRESSURE SUPPLY PIPING

CONTRACTOR SHALL MAKE CONNECTIONS TO THE EXISTING PRESSURE SUPPLY PIPING AT THE TWO POINTS OF CONNECTION INDICATED. THE EXACT LOCATION OF THE EXISTING PRESSURE SUPPLY LINE ROUTING IS UNKNOWN, HOWEVER, EXISTING IRRIGATION VALVES (WHICH WILL BE ABANDONED) ARE LOCATED IN THE POOL DECK AREA AND ARE SHOWN. THE CONTRACTOR SHALL LOCATE THOSE VALVES AND TRACE BACK THE PRESSURE SUPPLY PIPING UNTIL IT IS WITHIN A NEW PLANTING AREA. FROM THOSE POINTS, CONNECT TO THE EXISTING PRESSURE SUPPLY PIPING AND EXTEND TO THE NEW PRESSURE SUPPLY PIPING.

CONTRACTOR SHALL ALSO REPAIR ANY EXISTING IRRIGATION PRESSURE SUPPLY PIPING DAMAGED DURING CONSTRUCTION OPERATIONS WITHIN THE LIMIT OF WORK TO THE SATISFACTION OF THE OWNER.

CONTROLLER "A"

INSTALL A WALL MOUNTED IRRIGATION CONTROLLER WITHIN THIS UTILITY CLOSET. CONTROLLER SHALL BE A HUNTER PHC-2400 24 STATION CONTROLLER MOUNTED WITHIN THE UTILITY ROOM AT THE SAME LOCATION OF THE ORIGINAL RAINBIRD SITE CONTROLLER. INSTALL WITH A WIRELESS MINI-CLICK RAIN SENSOR IN A LOCATION RAINFALL ON THE BUILDING EAVE. COORDINATE AND CONNECT TO 120 VOLT ELECTRICAL SERVICE AVAILABLE FROM POWER SOURCE WITHIN UTILITY ROOM.

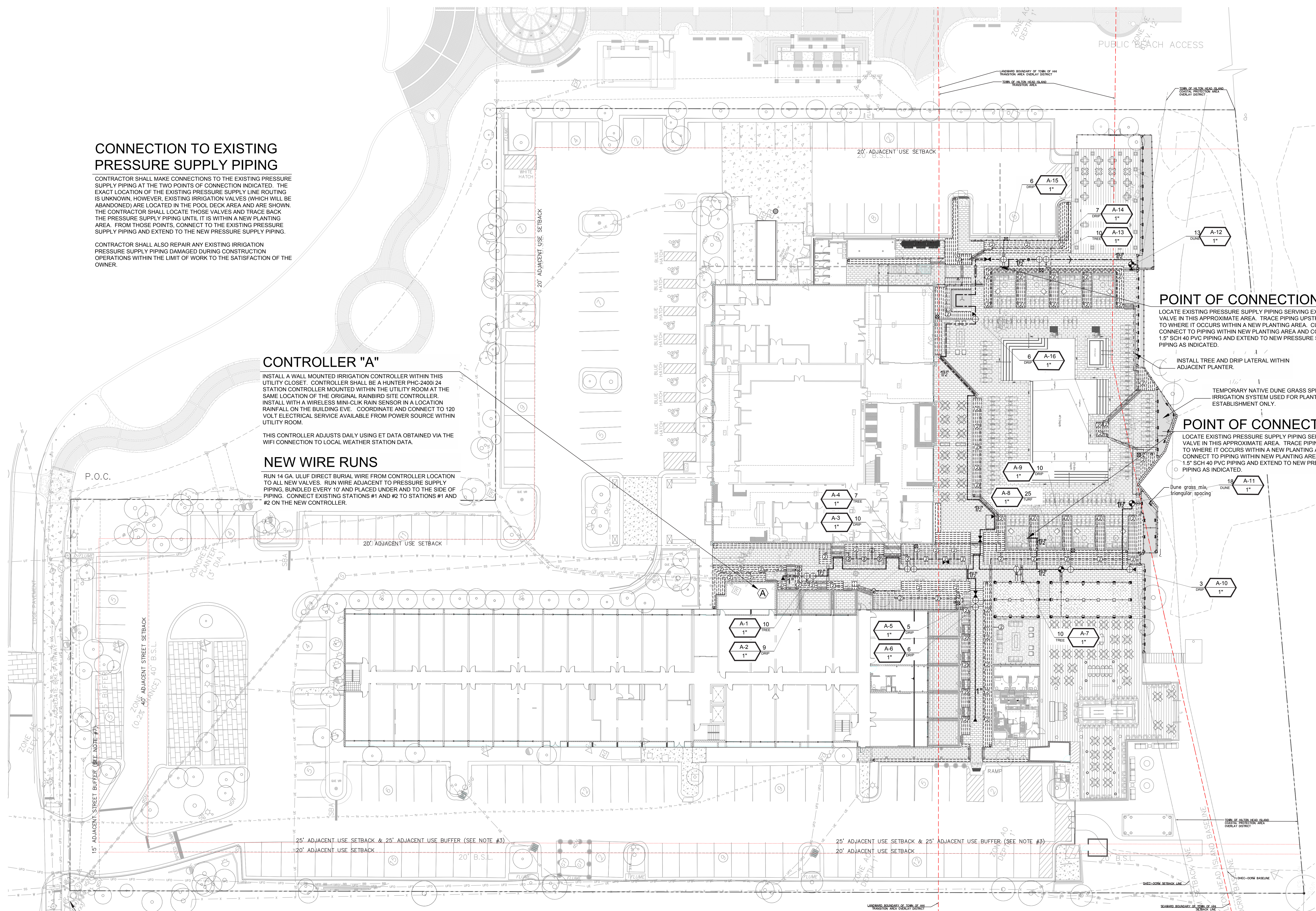
THIS CONTROLLER ADJUSTS DAILY USING ET DATA OBTAINED VIA THE WIFI CONNECTION TO LOCAL WEATHER STATION DATA.

NEW WIRE RUNS

RUN 14 GA. ULUF DIRECT BURIAL WIRE FROM CONTROLLER LOCATION TO ALL NEW VALVES. RUN WIRE ADJACENT TO PRESSURE SUPPLY PIPING, BUNDLED EVERY 10' AND PLACED UNDER AND TO THE SIDE OF PIPING. CONNECT EXISTING STATIONS #1 AND #2 TO STATIONS #1 AND #2 ON THE NEW CONTROLLER.

SITE WIDE IRRIGATION POINT OF CONNECTION

EXISTING IRRIGATION METER AND RPPA BACKFLOW PREVENTER



POINT OF CONNECTION #2

LOCATE EXISTING PRESSURE SUPPLY PIPING SERVING EXISTING VALVE IN THIS APPROXIMATE AREA. TRACE PIPING UPSTREAM TO WHERE IT OCCURS WITHIN A NEW PLANTING AREA. CUT AND CONNECT TO PIPING WITHIN NEW PLANTING AREA AND CONNECT 1.5" SCH 40 PVC PIPING AND EXTEND TO NEW PRESSURE SUPPLY PIPING AS INDICATED.

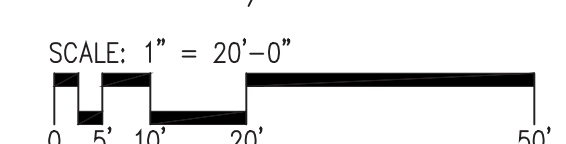
INSTALL TREE AND DRIP LATERAL WITHIN ADJACENT PLANTER.

TEMPORARY NATIVE DUNE GRASS SPRAY IRRIGATION SYSTEM USED FOR PLANT ESTABLISHMENT ONLY.

POINT OF CONNECTION #1

LOCATE EXISTING PRESSURE SUPPLY PIPING SERVING EXISTING VALVE IN THIS APPROXIMATE AREA. TRACE PIPING UPSTREAM TO WHERE IT OCCURS WITHIN A NEW PLANTING AREA. CUT AND CONNECT TO PIPING WITHIN NEW PLANTING AREA AND CONNECT 1.5" SCH 40 PVC PIPING AND EXTEND TO NEW PRESSURE SUPPLY PIPING AS INDICATED.

1 IRRIGATION PLAN
1" = 20'-0"



ALL IRRIGATION CONTROL VALVES PRESSURE SUPPLY PIPING SHALL BE LOCATED IN SHRUB AREAS. SETBACK FROM FRONT EDGE OF EACH VALVE BOX IS TO BE A MINIMUM OF 1'-0" FROM THE EDGE OF PAVING OR TURF AREAS WHERE SPACE ALLOWS. PRESSURE SUPPLY PIPING SHALL BE LOCATED WITHIN PLANTER AREAS AND SHALL BE SETBACK FROM PLANTER EDGE A MINIMUM OF 6".

LATERAL PIPE SIZING IS INDICATED BY THE FOLLOWING SYMBOLS:

3/4" —	1" —	1-1/4" —	1-1/2" — x	2" — v	2-1/2" — v
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ALL BUBBLER SYSTEM PIPING SHALL BE 3/4" UNLESS OTHERWISE NOTED AS 1".

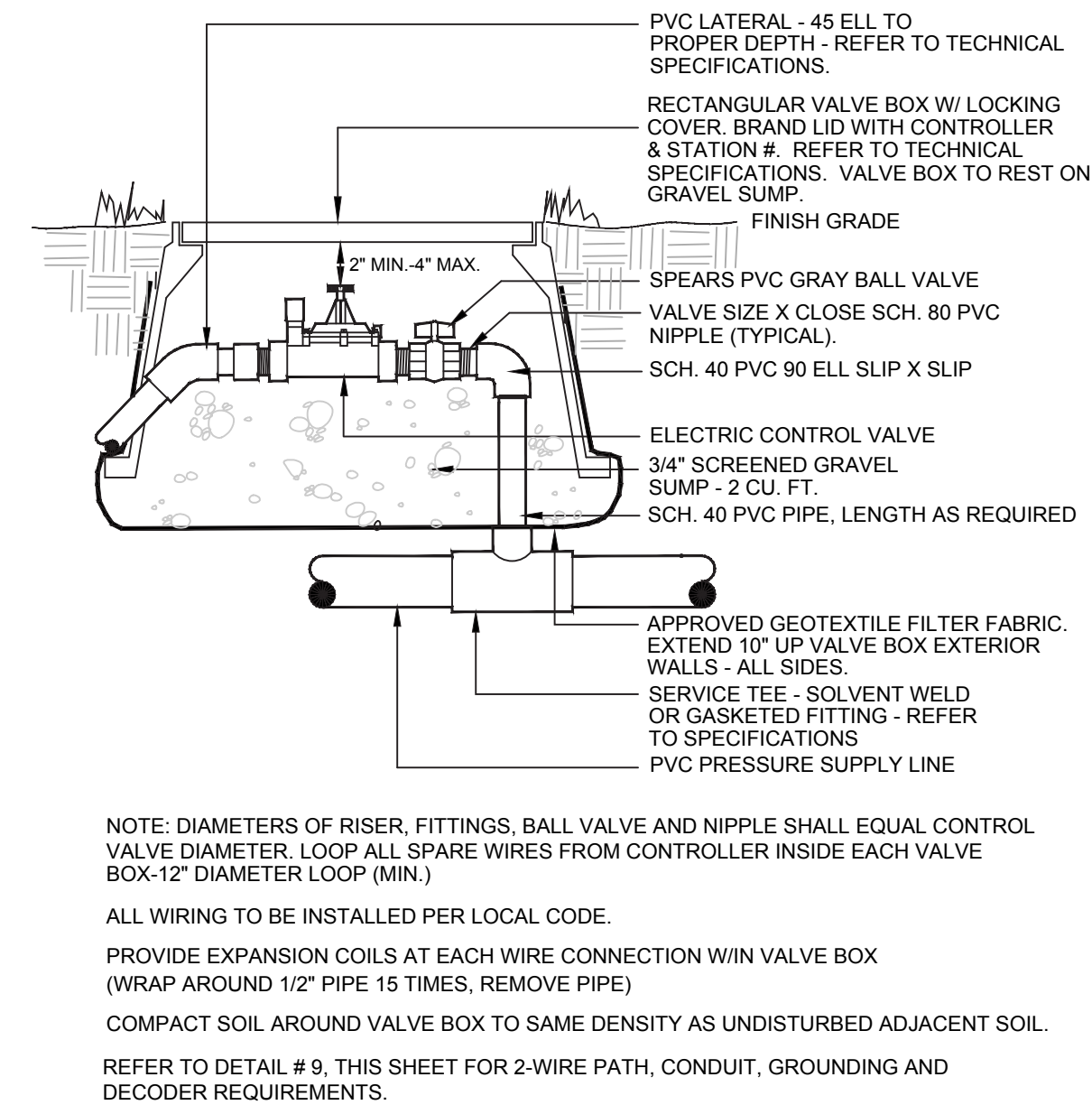
- NOTES:**
1. Refer to Sheet L4-001 for Irrigation Schedule and Notes.
 2. Refer to Sheet L4-101 for Irrigation Plan
 3. Refer to Sheets L4-401 & L4-402 for Irrigation Details.
 4. Refer to Book Specifications for Irrigation Specifications.

NOTE: IRRIGATION LAYOUT TO BE UPDATED PER FIELD CONDITIONS & FINAL DESIGN.

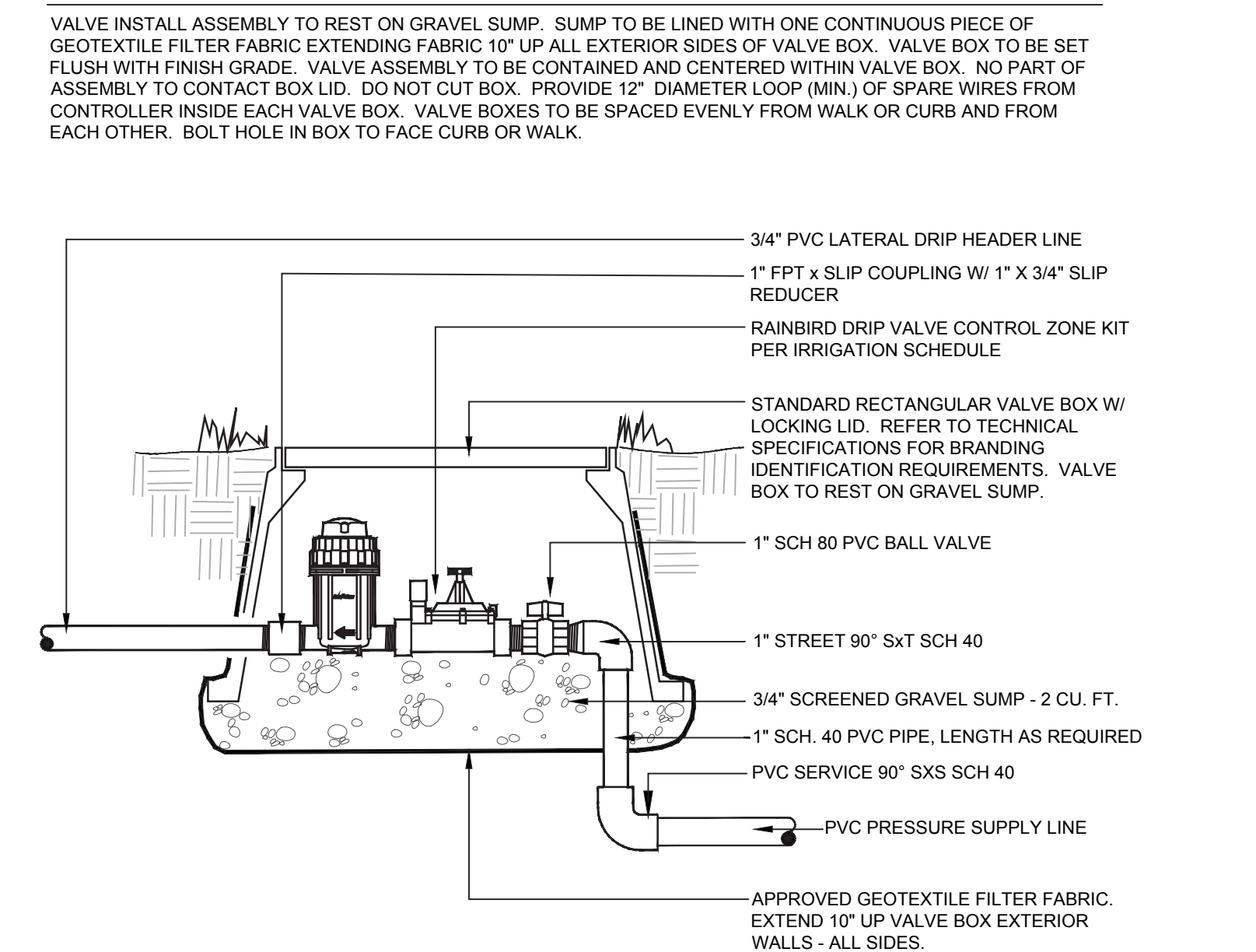
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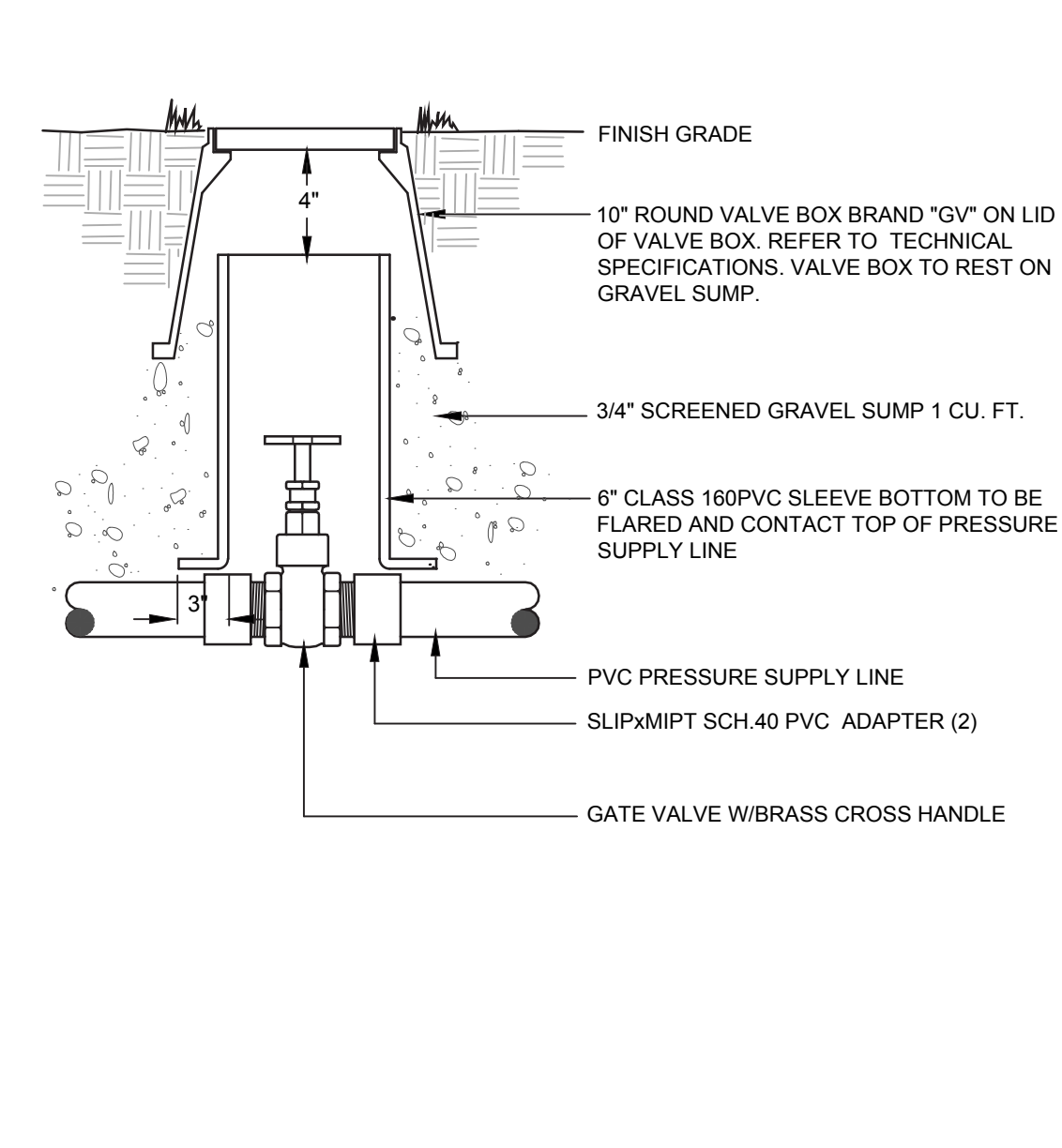
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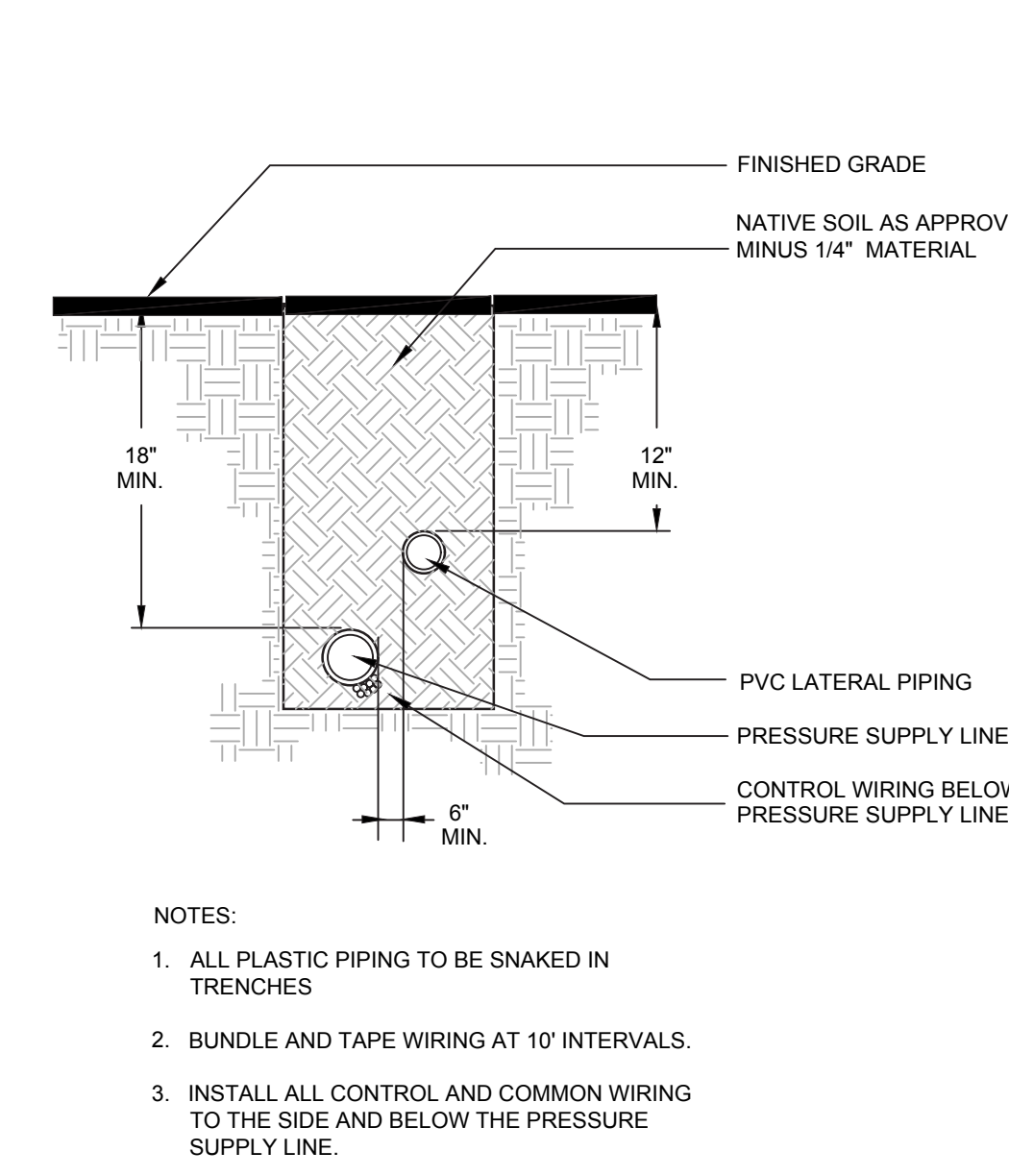
4 CONTROL VALVE ASSEMBLY N.T.S.



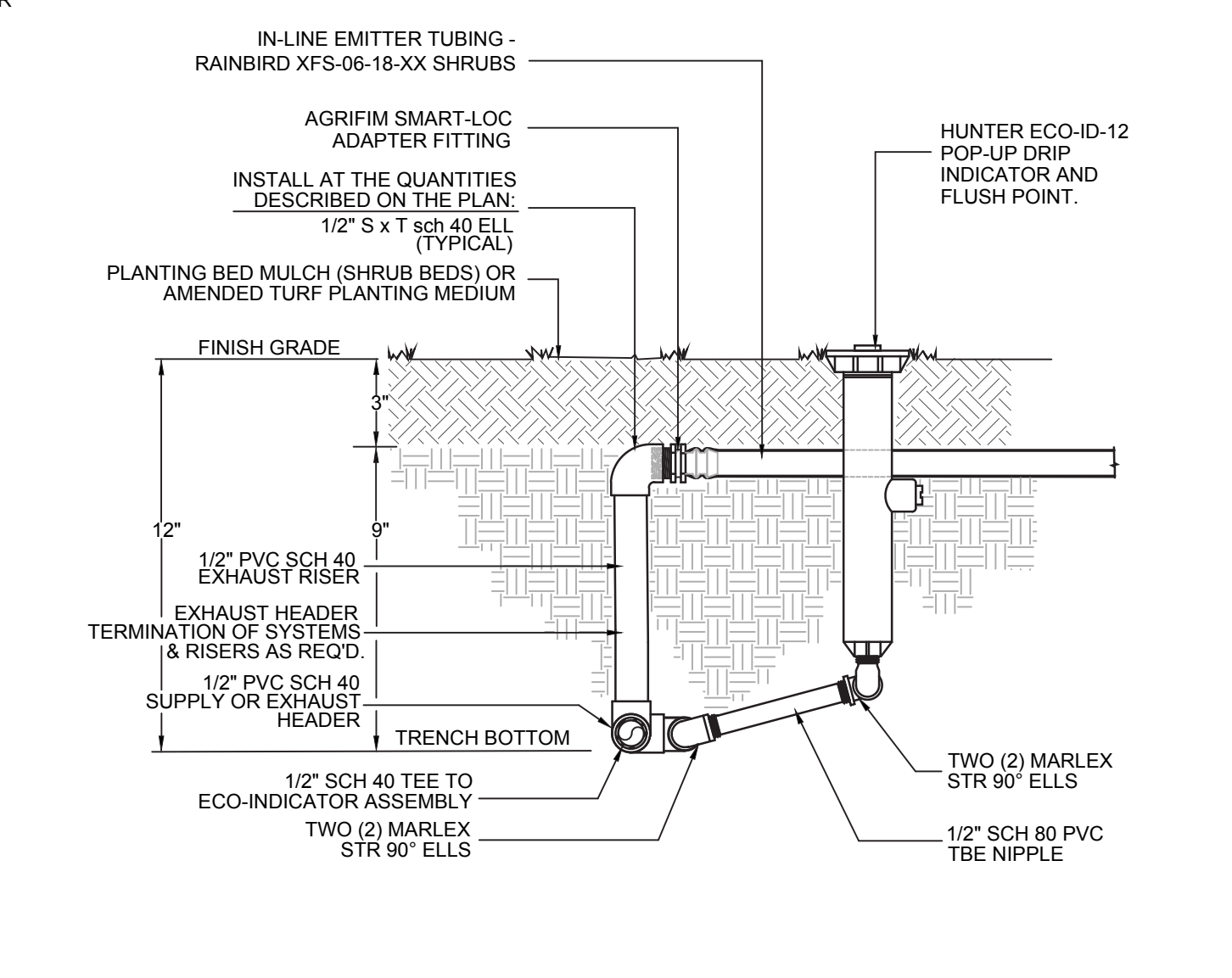
3 DRIP VALVE ASSEMBLY N.T.S.



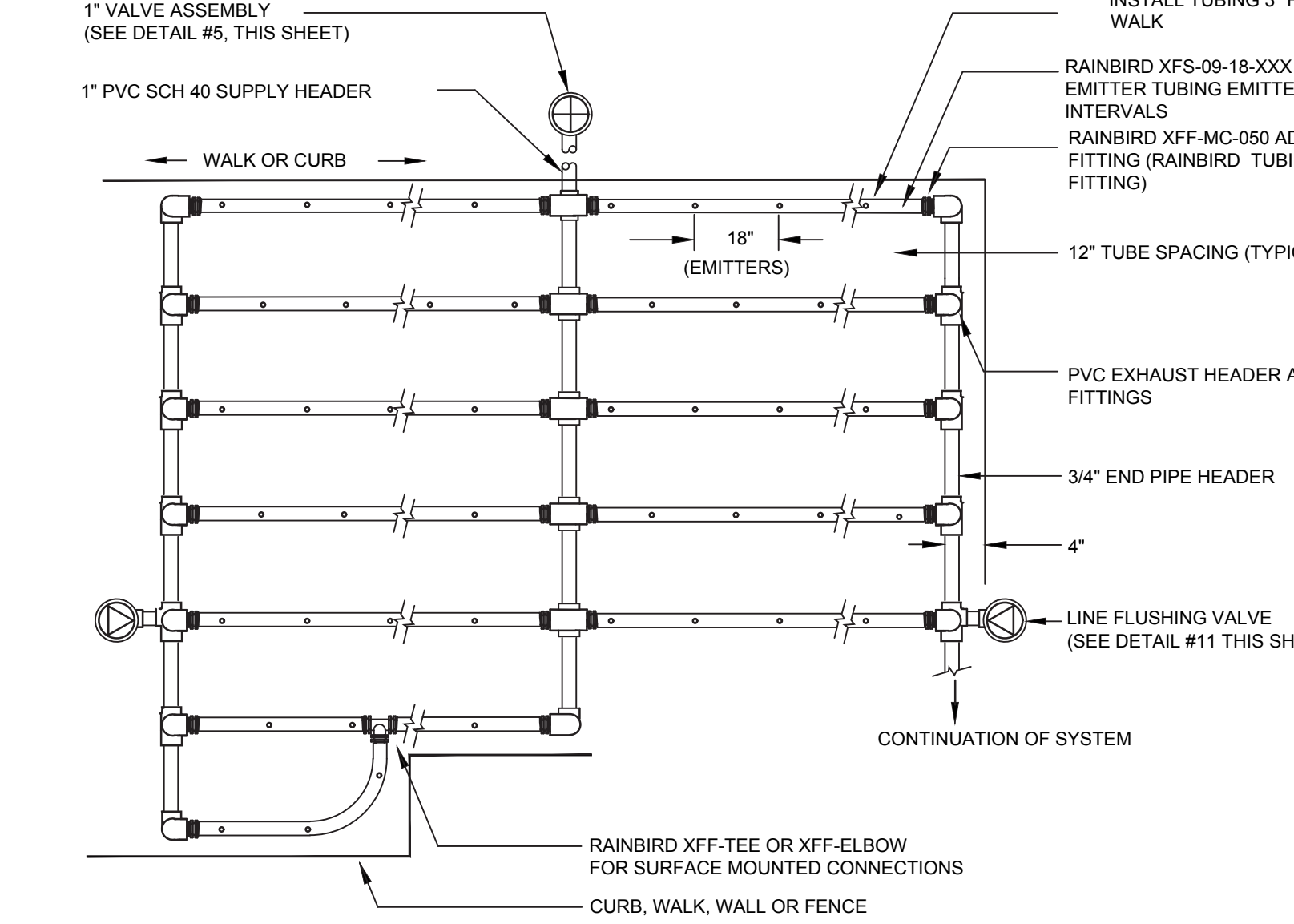
2 GATE VALVE N.T.S.



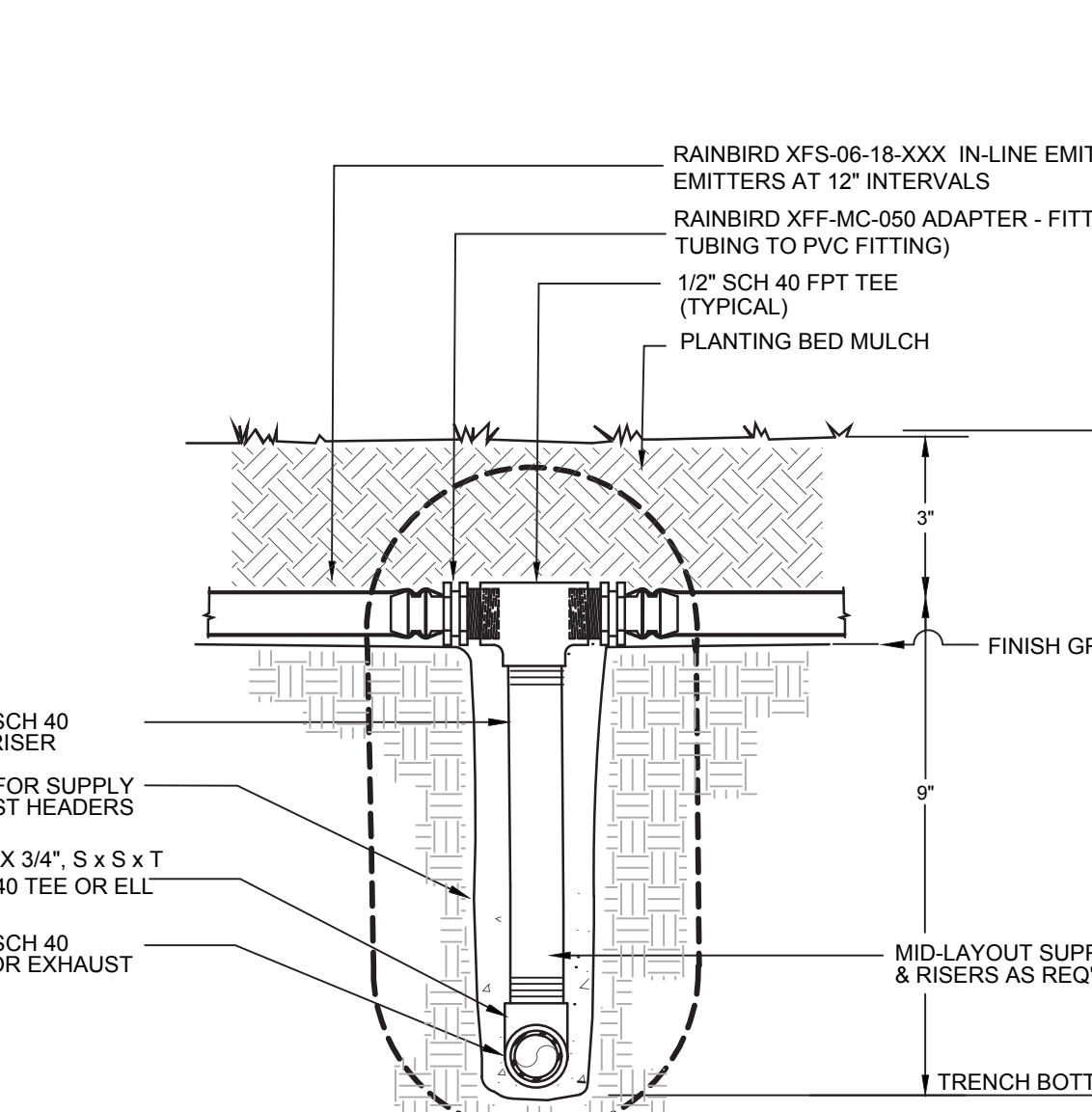
1 TRENCHING N.T.S.



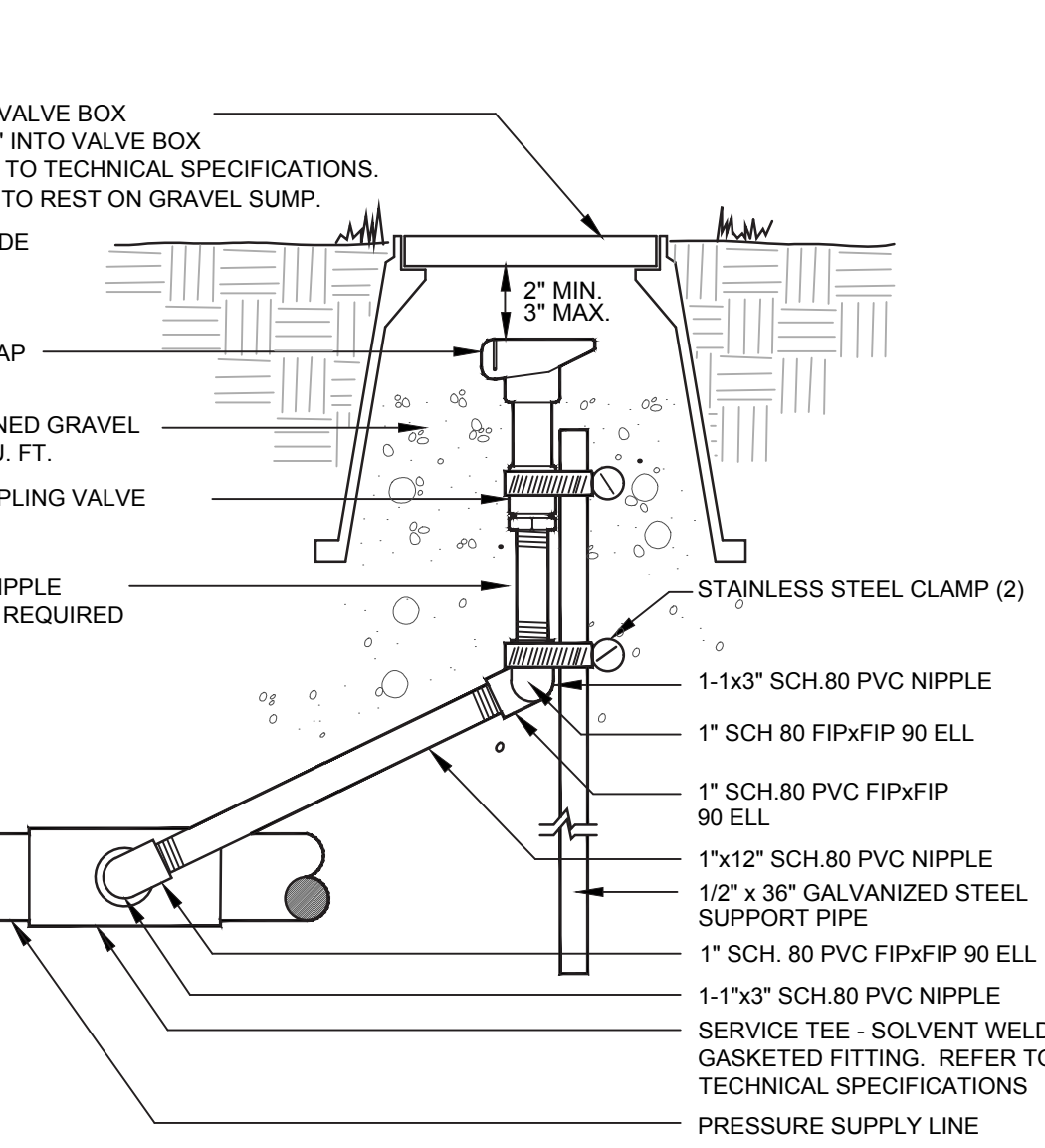
8 EMITTER TUBING EXHAUST AND FLUSH POINT N.T.S.



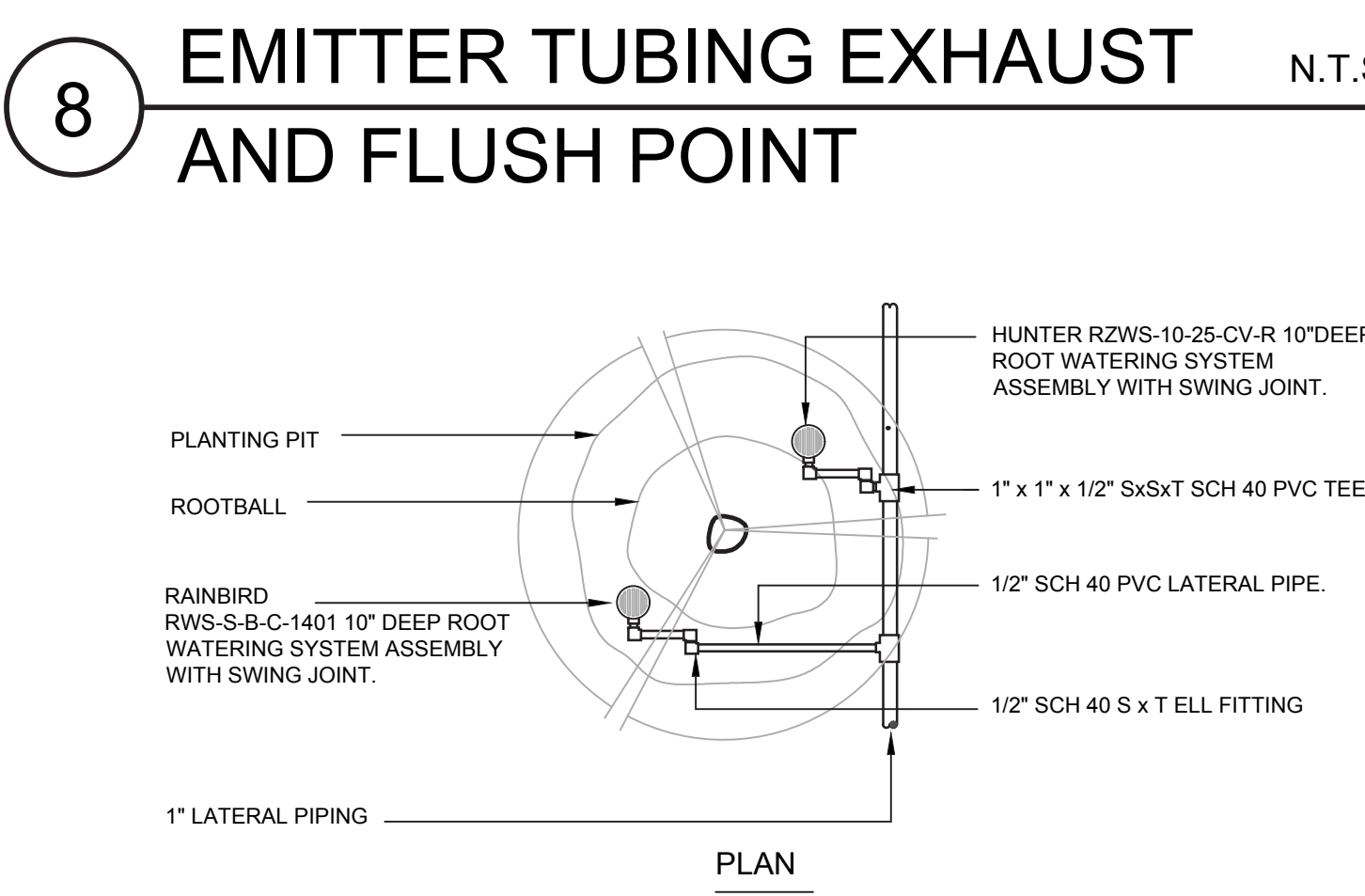
7 IN-LINE EMITTER TUBING LAYOUT N.T.S.



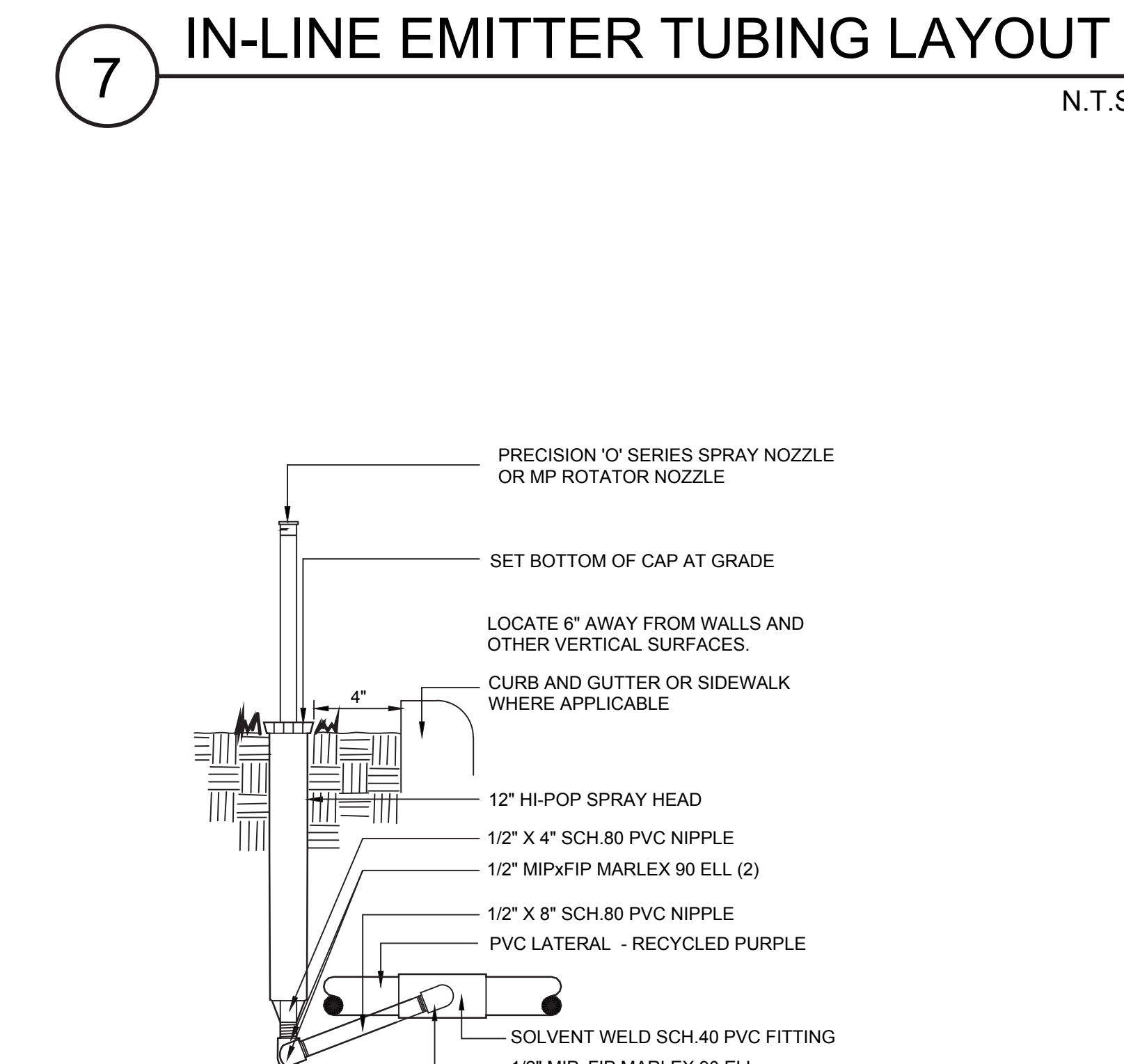
6 EMITTER TUBING INTAKE HEADER MANIFOLD N.T.S.



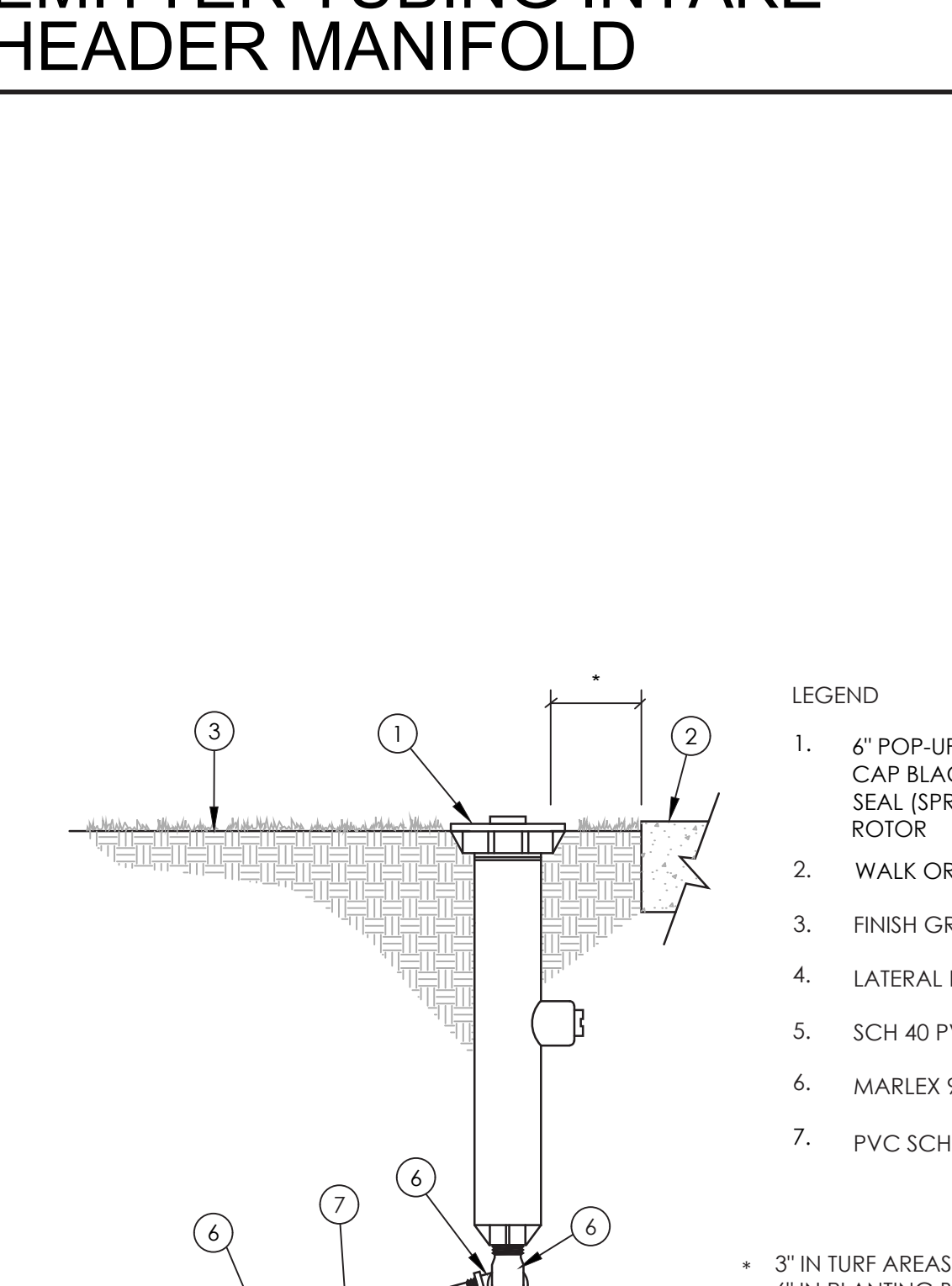
5 QUICK COUPLING VALVE N.T.S.



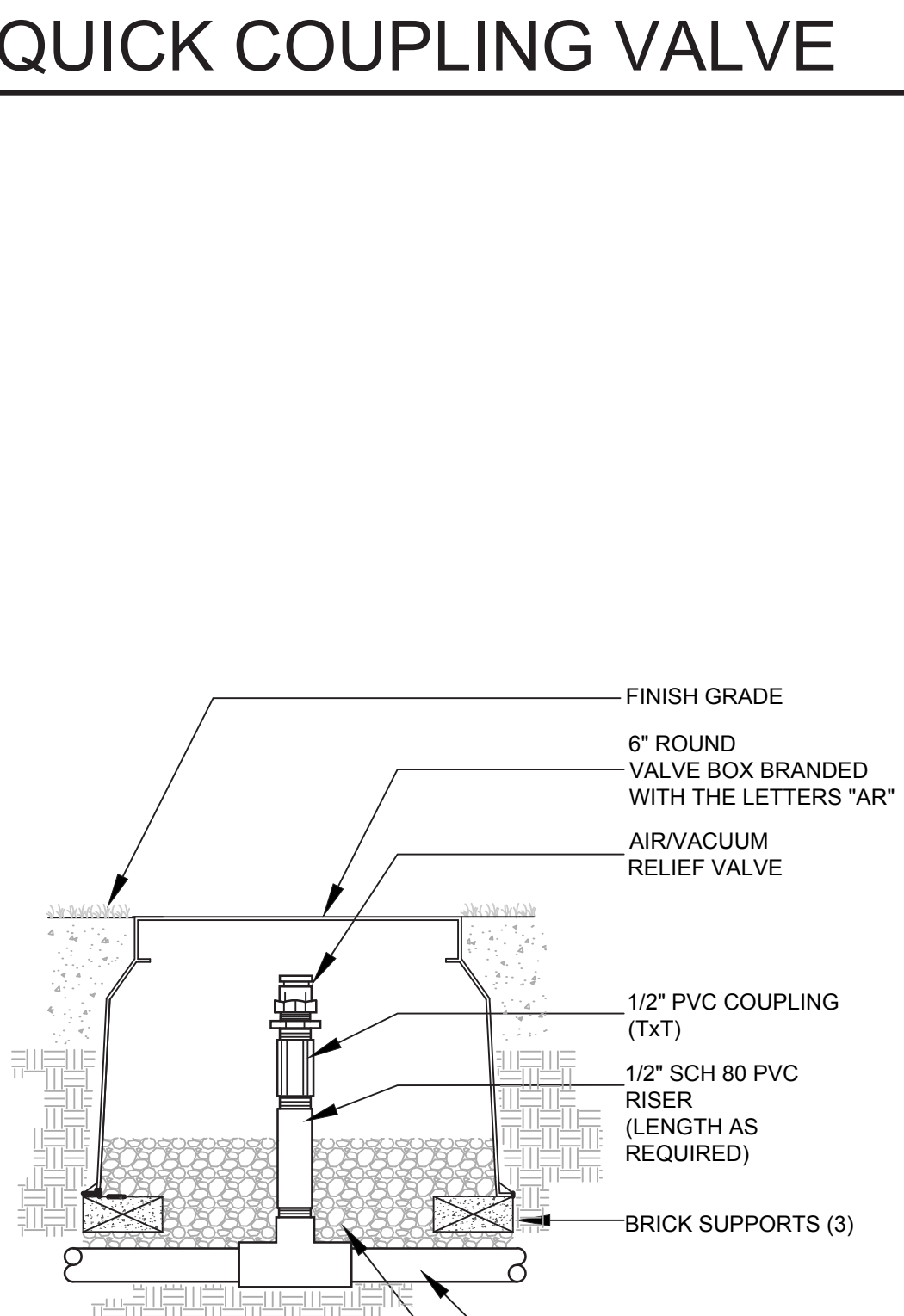
9 AIR RELIEF VALVE N.T.S.



12 12\"/>



10 6\"/>



9 AIR RELIEF VALVE N.T.S.

NOTE: IRRIGATION LAYOUT TO BE UPDATED PER FIELD CONDITIONS & FINAL DESIGN.

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GENERAL PLANTING NOTES

- Refer to Planting Details and Specifications for additional planting information.
- Consult with site superintendent, appropriate agencies, and Drawings to verify existing locations of underground utilities, pipes and structures. Take sole responsibility for costs incurred due to damage of these utilities, pipes, or structures if proper verification by Contractor was not performed.
- Do not willfully proceed with planting operations when it is obvious that unknown obstructions and grade differences exist that may not have been known during the design process. Bring these conditions immediately to the attention of the Owner's Authorized Representative for resolution. Assume full responsibility for costs incurred due to lack of providing such notification.
- Coordinate with other contractors whose work is related to proper execution of Contractor's work.
- Prior to beginning planting operations obtain approval of final grade certification from Owner that certifies that rough grades are within 1/10th of an inch from specified grades. Ensure that finish grade elevations of planting areas are set to the proper elevations relative to the finish surfaces of paving, utility covers, and curbs.
- Existing site soil may be used in planting areas, however, it may need to be amended as indicated in the Horticultural Soils Report. Should import soil be necessary to bring site to specified finish grades, indicate source location. Ensure that import soil is of a sandy loam nature, containing no toxic chemicals or elements that might inhibit or retard normal plant growth. Submit soil test results of import soil to Owner's Authorized Representative for approval prior to delivering import soil to site.
- Submit representative photos of each tree species to Owner's Authorized Representative for approval. Trees of a single species and variety are to have matching form.
- Plant material must be approved by Owner's Authorized Representative prior to installation. Plant material installed without approval of Owner's Authorized Representative may be subject to removal and replacement with related costs borne by Contractor.
- Final locations of plant materials are subject to approval of the Owner's Authorized Representative prior to installation. Perform the following before beginning planting pit excavation:
 - Shrubs – place in containers on-site in "final" locations.
 - Trees – stake or flag centerpoint of tree.
 - Container Pots – locate pots prior to planting.
- Notify Owner's Authorized Representative in sufficient time to perform a required site observation visit. Refer to Specifications for specific site visit notification tasks and times. Insufficient notification time given Owner's Authorized Representative may require the site visit to be canceled, or possibly, make Contractor responsible to compensate Owner's Authorized Representative for overtime.
- Furnish plant material free of pests, poor condition, or disease, including pre-selected or "tagged" plant material that has been selected by Owner's Authorized Representative.
- After fine grading operations have been completed and prior to beginning soil preparation, take a minimum of (3) horticultural soil samples where soil conditions or plant types vary, i.e. turf, shrub, slopes, etc. Soil samples are to be collected and tested by a qualified soil testing laboratory (as defined by the regulations and standards of the State of South Carolina or professional arborist association) and a written report prepared which includes recommendations for soil amendments, fertilization, planting backfill mixes and maintenance. Submit a copy of the report to the Owner's Authorized Representative. Planting specifications may be revised to conform to recommendations noted in Soil Report, however, only upon receipt of written change order from Owner.
- If conflicts arise between actual size of planting areas on-site and those areas indicated on Drawings, contact Owner's Authorized Representative for resolution. Failure to make such conflicts known to Owner's Authorized Representative in a timely fashion may result in Contractor's own liability to relocate plant materials.
- Ensure that turf areas are separated from ground covers and shrub areas with specified edging – refer to Drawings.
- Triangular space ground covers and shrubs, unless indicated otherwise on Drawings – refer to Planting Details.
- Provide a representative example of a typical tree staking and guying (if any) installation for review by Owner's Authorized Representative before performing tree staking and guying (if any) operations – refer to Planting Details.
- Excavate plant pits to specified dimensions per Planting Details and soils report.
- Do not plant trees closer than 4 feet to fixed edge such as sidewalks and walls unless otherwise indicated on Drawings.
- Ensure that tops of tree root balls are set 2" above finish grade and shrub root balls are set 1" above finish grade.
- Install plant material with its best side facing predominate public view.
- Provide the required setbacks between trees and elements such as utilities, i.e. gas, electric, sewer, water and related vaults, streetlights, fire hydrants and signage.
- Replace or repair existing materials that are damaged by Contractor during planting operations.
- Verify property lines prior to commencing planting operations.
- Refer to City and County standards for standard landscape plans and specifications, where applicable.

PALM SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QTY.	STAKE/GUY	REMARKS
SAB PAL	Sabal palmetto	Cabbage Palm	14' & 16' Tall		Per Plan	70	N/A	Including one multi-trunk palm for the planter by the pool as indicated in the plan.

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING	QTY.	STAKE/GUY	REMARKS
GOR LAS	Gordonia lasiathus	Loblolly Bay	10' Tall	STD	Per Plan	8	N/A	
MYR CER	Myrica cerifera	Southern Wax Myrtle	8' Tall	STD	Per Plan	2	N/A	
QUE VIR	Quercus virginiana	Southern Live Oak	12' & 16' Tall	STD	Per Plan	6	N/A	














TREE ROOT BARRIER SCHEDULE

- Provide root control barriers for trees planted within 5-feet of a hardscape edge such as paving, walls, curbs, steps, etc.
- Type: UB18-2.
- Mfg: Deep Root (800) 458-7668
- Length: 10' long.
- Comments:
 - Set top of barrier a minimum of 1/2" above finish grade and below surface of wood mulch or turf.
 - Refer to the Landscape Planting Specifications for additional root barrier information.
 - Alternatives may be submitted for review.

WOOD MULCH SCHEDULE














- Mulch these planter areas with a 3-inch deep layer of wood mulch:
 - Shrub areas.
 - Ground cover areas.
- Mulch Type: Wood Chips (2" minus).
- Comments: Provide Owner's Authorized Representative with (1) baggie of mulch for review and approval prior to placement of mulch.
- Refer to the Landscape Planting Specifications for additional mulch information.

SYMBOL LEGEND


 Quantity of Plants in Planting Area	 Center Line	 Indicates Vine
 Indicates Tree Type	 Property Line	 Indicates Espalier
 Indicates Tree Size	 Limit of Work Area	 Indicates Tree BOX Size
 Indicates Vine Type	 Machine Indicates Palm Brown Trunk Height	
 Indicates Vine Size	 Align	

Note: Plant quantities shown on plans are for contractors convenience and reference only. Contractor is responsible to provide all plant material required to conform to specified plant spacing.

SHRUB & GROUND COVER

	BOTANICAL NAME	COMMON NAME	SIZE	FORM	INSTALL HT & WIDTH	NATURE HT & WIDTH	SPACING	AREA/QTY	WATER USE	REMARKS
	Calamagrostis X acutiflora 'Karl Foerster'	Karl Foerster Grass	5 gal.	Ground Cover	Ht: 18" Wd: 12"	Ht: 3-5' Wd: 2-3'	O.C. 18"		Low	Triangular Spacing
	Dietes iridioides	Fortnight Iris	5 gal.	Shrub	Ht: -" Wd: -"	Ht: 2-4' Wd: 2-3'	Per Plan		Low	Per Plan
	Fatsia japonica	Japanese Aralia	15 gal.	Shrub	Ht: -" Wd: -"	Ht: 6-10' Wd: 6-10'	Per Plan		Moderate/Medium	Per Plan
	Helianthus debilis	Dune Sunflower	1 gal.	Shrub	Ht: -" Wd: -"	Ht: 6-8' Wd: 2-4'	Per Plan		Moderate/Medium	Per Plan
	Hibiscus coccineus	Scarlett Mallow	15 gal.	Shrub	Ht: -" Wd: -"	Ht: 6-8' Wd: 2-3'	Per Plan		Moderate/Medium	Standard Trunk Shrub Form
	Liriope muscari	Bug Blue Lilyturf	5 gal.	Shrub	Ht: -" Wd: -"	Ht: 1-1.5' Wd: 9"-12"	Per Plan		Low	Per Plan
	Oenothera drummondii	Beach Evening Primrose	1 gal.	Shrub	Ht: -" Wd: -"	Ht: 1' Wd: 3'	Per Plan		Low	Per Plan
	Philodendron xanadu	Xanadu Philodendron	5 gal.	Shrub	Ht: -" Wd: -"	Ht: 2-4' Wd: 3-5'	Per Plan		Moderate/Medium	Per Plan
	Raphiolepis indica 'clara'	White India Hawthorn	5 gal.	Shrub	Ht: 2' Wd: 1'	Ht: 3-4' Wd: 5'	24" O.C.		Moderate/Medium	Per Plan
	Rosa banksiae 'Lutea'	Lady Banks' Rose	1 gal.	Vine	Ht: 18" Wd: 12"	Ht: 1-3' Wd: 2'	Per Plan		Moderate/Medium	Staked
	Ruellia brittoniana	Mexican Petunia	1 gal.	Ground Cover	Ht: 18" Wd: 12"	Ht: 1-3' Wd: 2'	18" O.C.		Low	Per Plan
	Serenoa repens	Saw Palmetto								
	Viburnum suspensum	Sandankwa Viburnum	5 gal.	Shrub	Ht: 4' Wd: 2'	Ht: 4' Wd: 5'	Per Plan		Moderate/Medium	Per Plan

GRASSES SCHEDULE

	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	SPACING	DETAIL NO.	QTY.	WATER USE	REMARKS
	Panicum amarum	Seaside Panicum	15 gal.	Gross			-		Triangular Spacing

NOTE:

- PLANTING SQUARE FEET AREA INFORMATION TO BE VERIFIED BY CONTRACTOR.
- REPORT OF EXISTING PALMS HEIGHTS TO BE SUBMITTED TO LANDSCAPE ARCHITECT PRIOR TRANSPLANTS.
- LOCATION OF BUILDING WALLS, WINDOWS AND DOORS NEED TO BE SITE VERIFIED BY LANDSCAPE CONTRACTOR AND SUBMITTED TO LANDSCAPE ARCHITECT PRIOR PLANTING.

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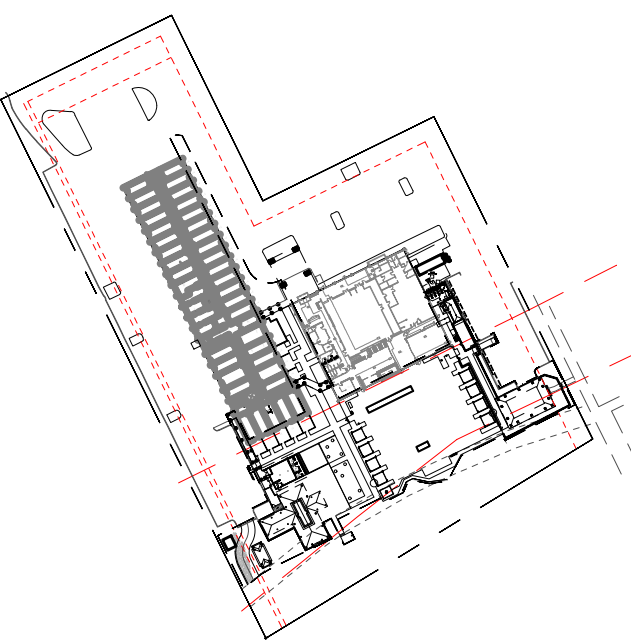
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Beach House
HILTON HEAD ISLAND
1 SOUTH FOREST BEACH DRIVE
HILTON HEAD, SC 29928
project logo

PLANTING SCHEDULE
& NOTES
sheet title

project no. 212041 date 08/15/23

checked by:
drawn by: FCVA / GG / CLT component

sheet no. **L5-001**

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PALM SCHEDULE



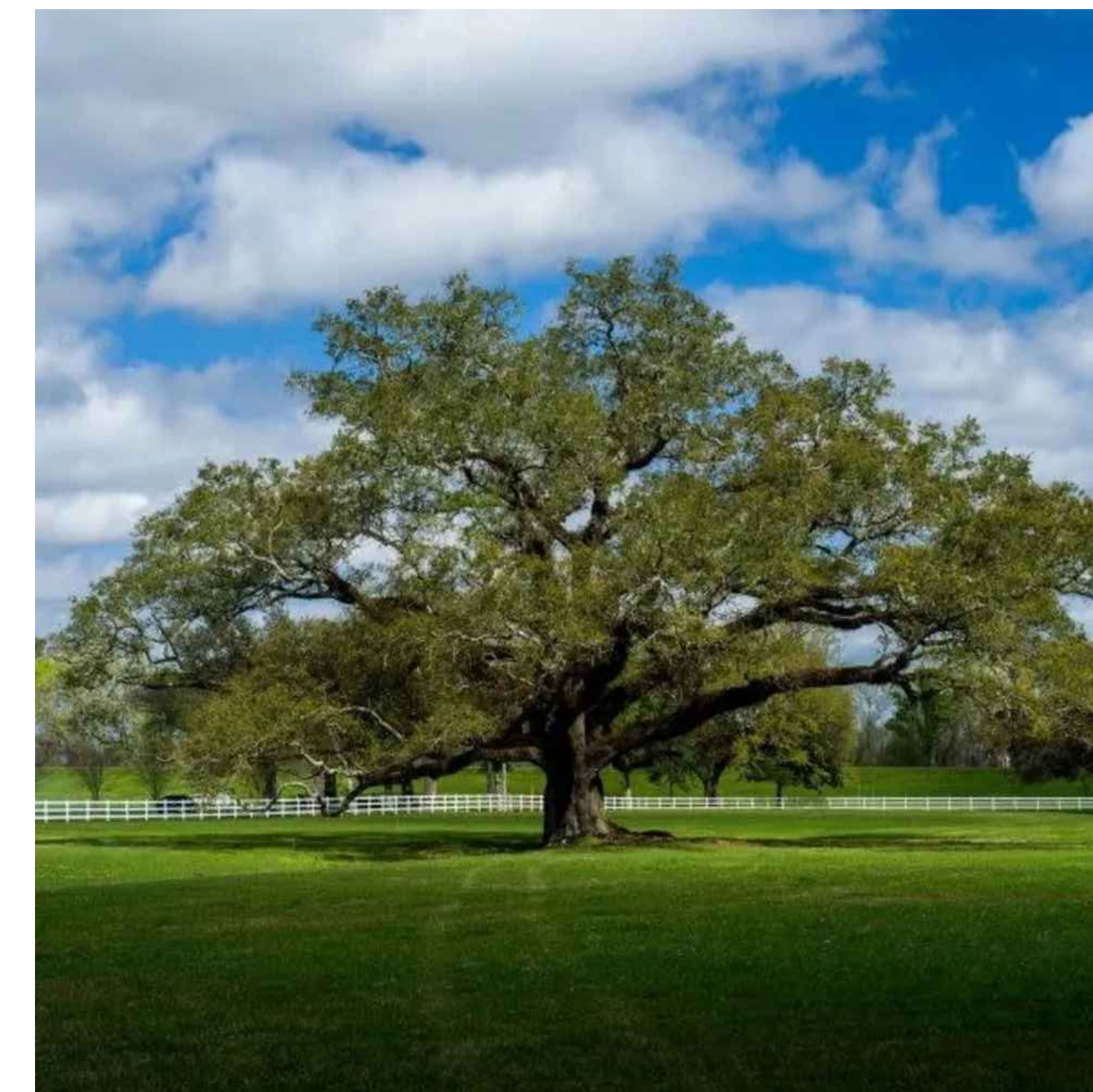
SABAL PALMETTO
CABBAGE PALM



GORDONIA LASIATHUS
LOBLOLLY BAY



MYRICA CERIFERA
SOUTHERN WAX MYRTLE

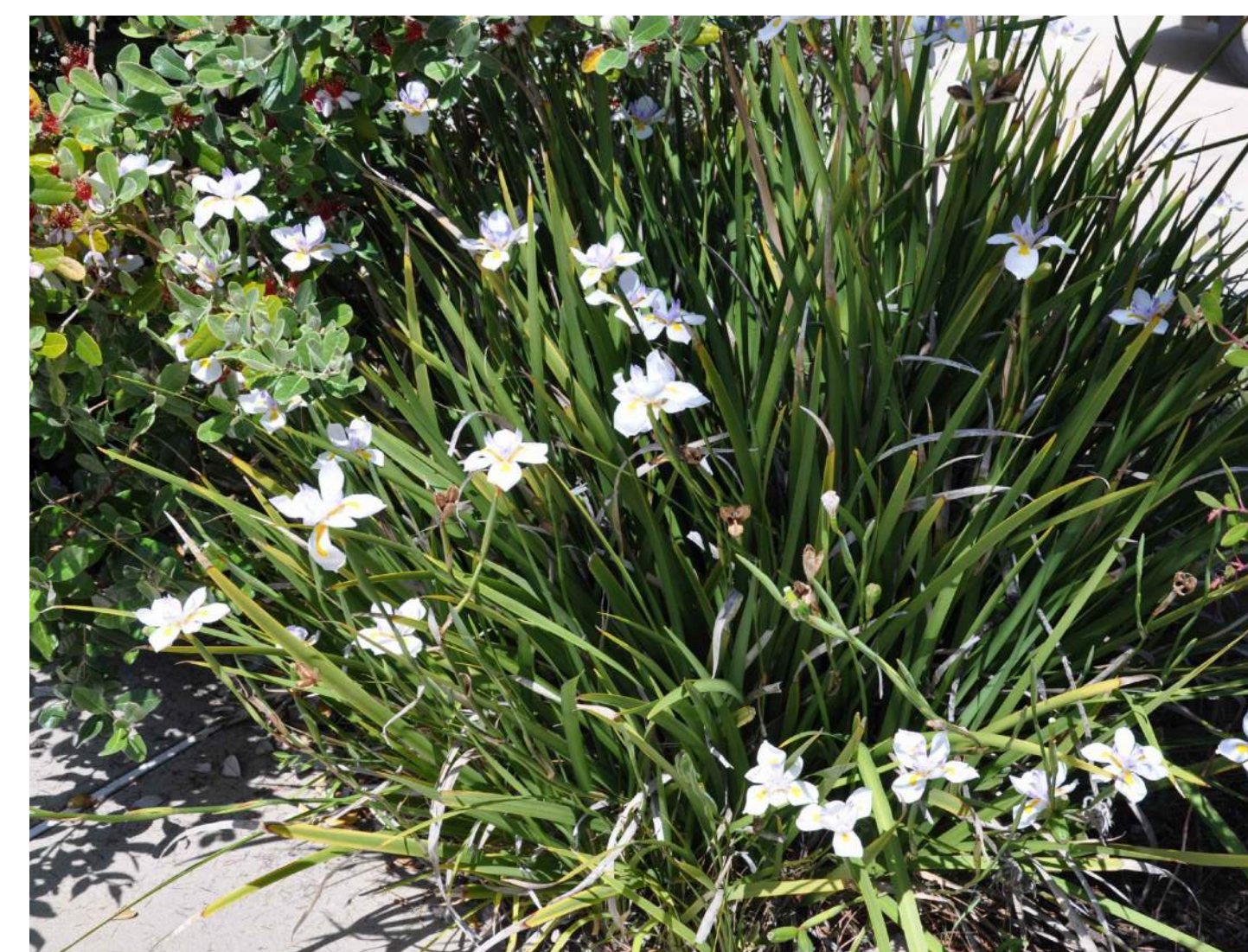


QUERCUS VIRGINIANA
SOUTHERN LIVE OAK

SHRUB & GROUNDCOVER SCHEDULE



CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
KARL FOERSTER GRASS



DIETES IRIDIODES
FORTNIGHT IRIS



FATSIA JAPONICA
JAPANESE ARALIA



HELIANTHUS DEBILIS
DUNE SUNFLOWER



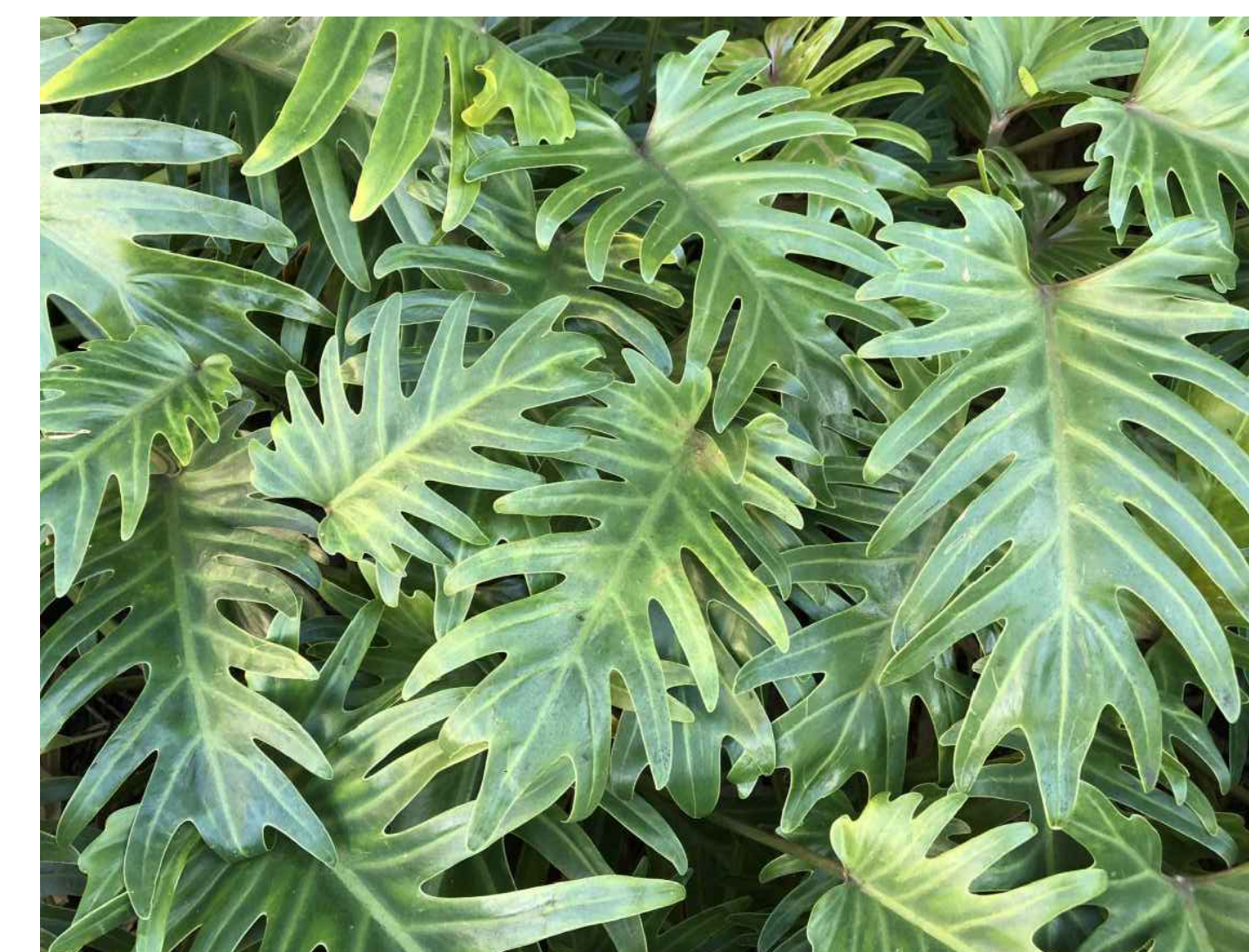
HIBISCUS COCCINEUS
SCARLETT MALLOW



LIRIOPE MUSCARI
BUG BLUE LILYTURF



OENOTHERA DRUMMONDII
BEACH EVENING PRIMROSE



PHILODENDRON XANADU
XANADU PHILODENDRON

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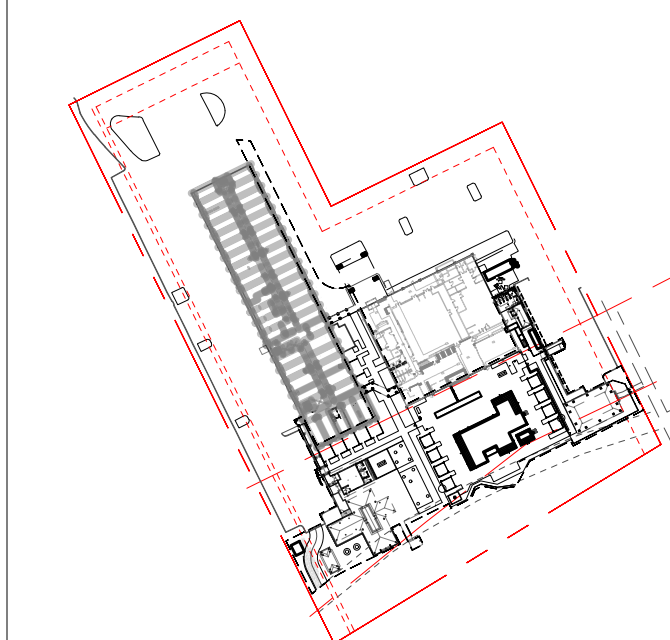
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PLANTING IMAGERY
sheet title

project no. 212041 date 08/15/23

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component

sheet no. L5-002

SHRUB & GROUNDCOVER SCHEDULE



RHAPHIOLEPIS INDICA 'CLARA'
WHITE INDIA HAWTHORN



ROSA BANKSIAE 'LUTEA'
LADY BANKS' ROSE



RUELLIA BRITTONIANA
MEXICAN PETUNIA



SERENOA REPENS
SAW PALMETTO



VIBURNUM SUSPENSUM
SANDANKWA VIBURNUM

GRASSES SCHEDULE



PANICUM AMARUM
SEASIDE PANICUM

NOTE:
1. PLANTING SQUARE FEET AREA INFORMATION TO BE VERIFIED BY CONTRACTOR.
2. REPORT OF EXISTING PALMS HEIGHTS TO BE SUBMITTED TO LANDSCAPE ARCHITECT PRIOR TRANSPLANTS.
3. LOCATION OF BUILDING WALLS, WINDOWS AND DOORS NEED TO BE SITE VERIFIED BY LANDSCAPE CONTRACTOR AND SUBMITTED TO LANDSCAPE ARCHITECT PRIOR PLANTING.

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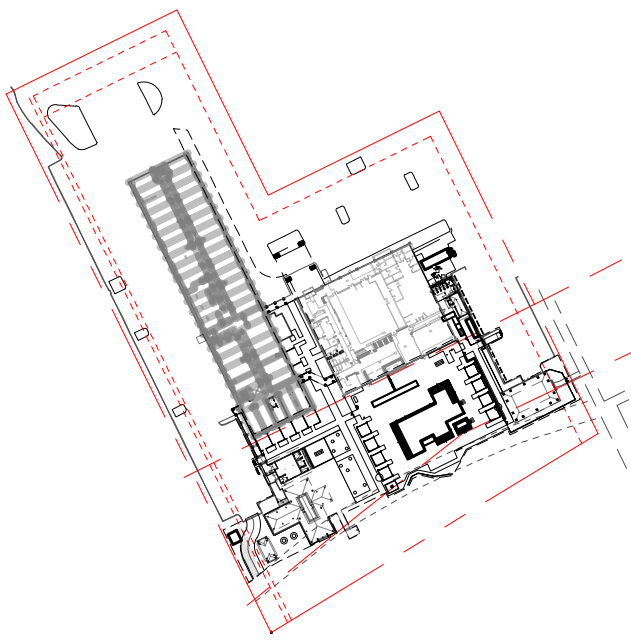
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key plan

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issues | revisions

Beach House
HILTON HEAD ISLAND
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HILTON HEAD, SC 29928
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PLANTING IMAGERY
sheet title

project no. 212041 date 08/15/23

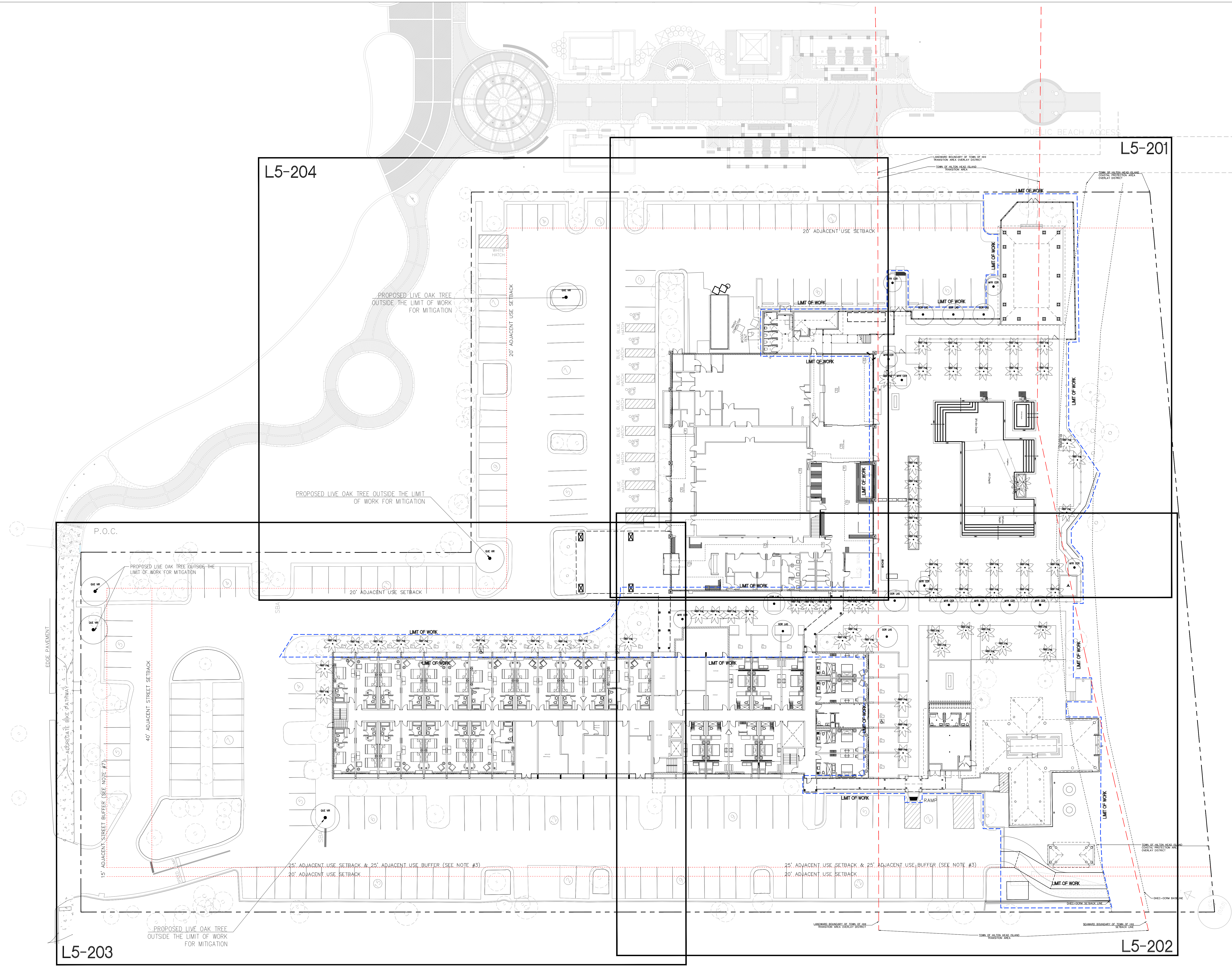
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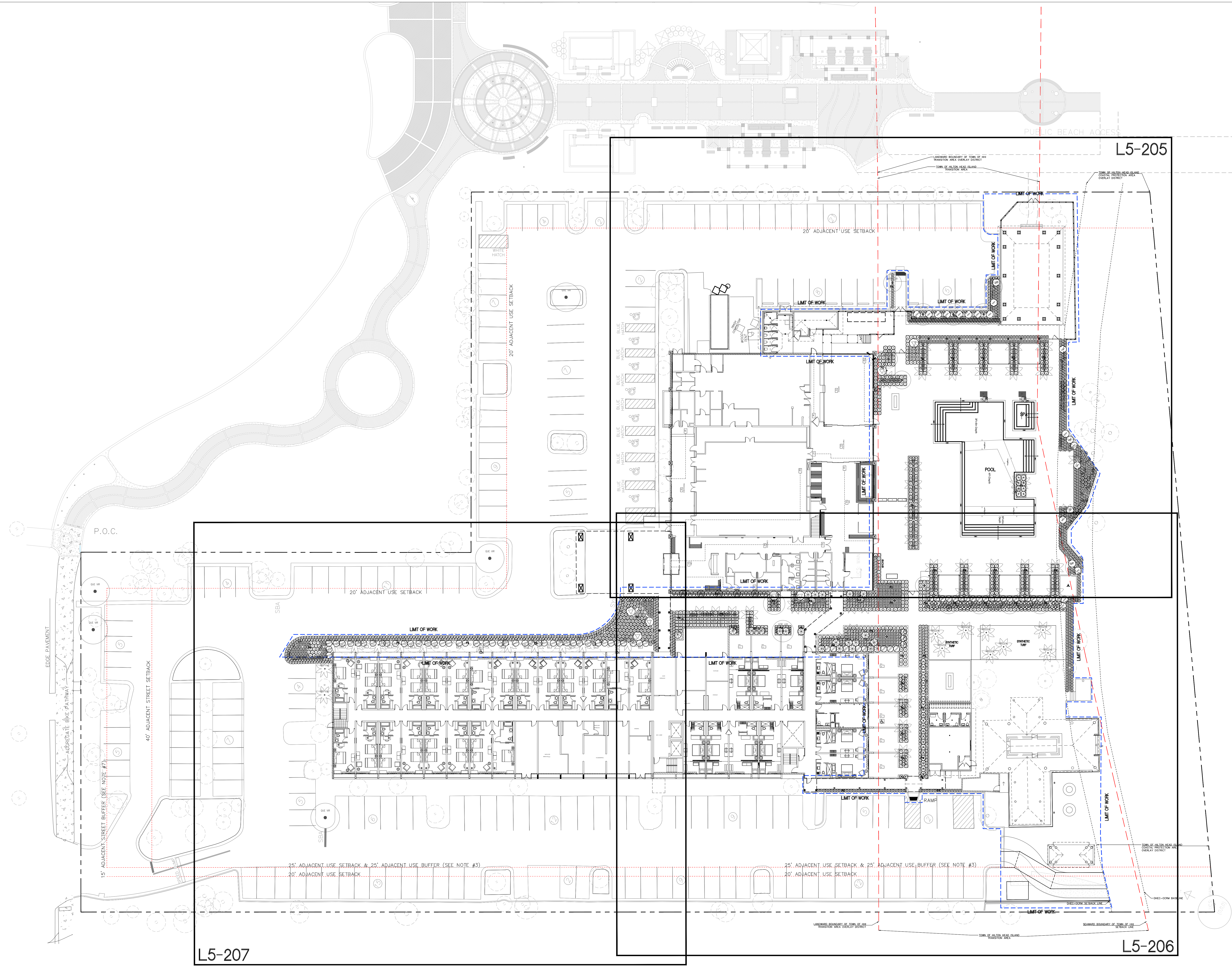
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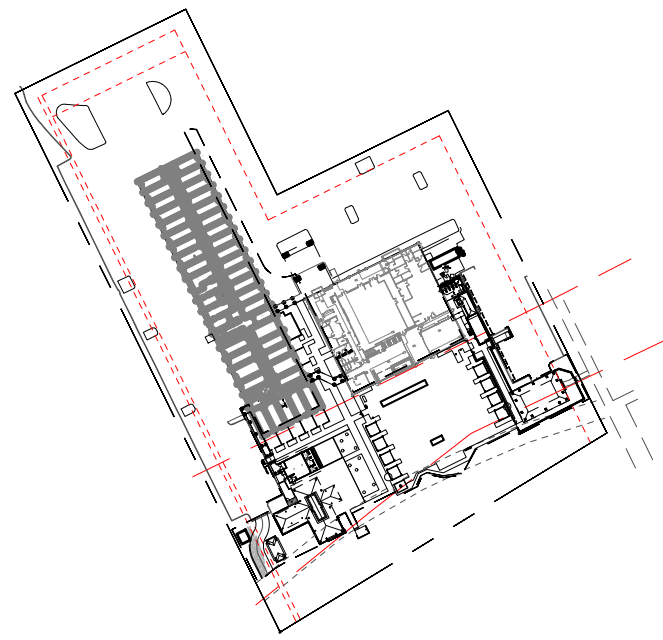


L5-205

L5-207

L5-206

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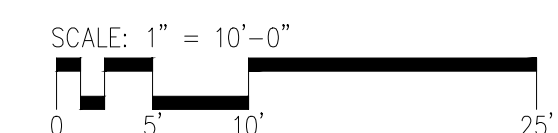
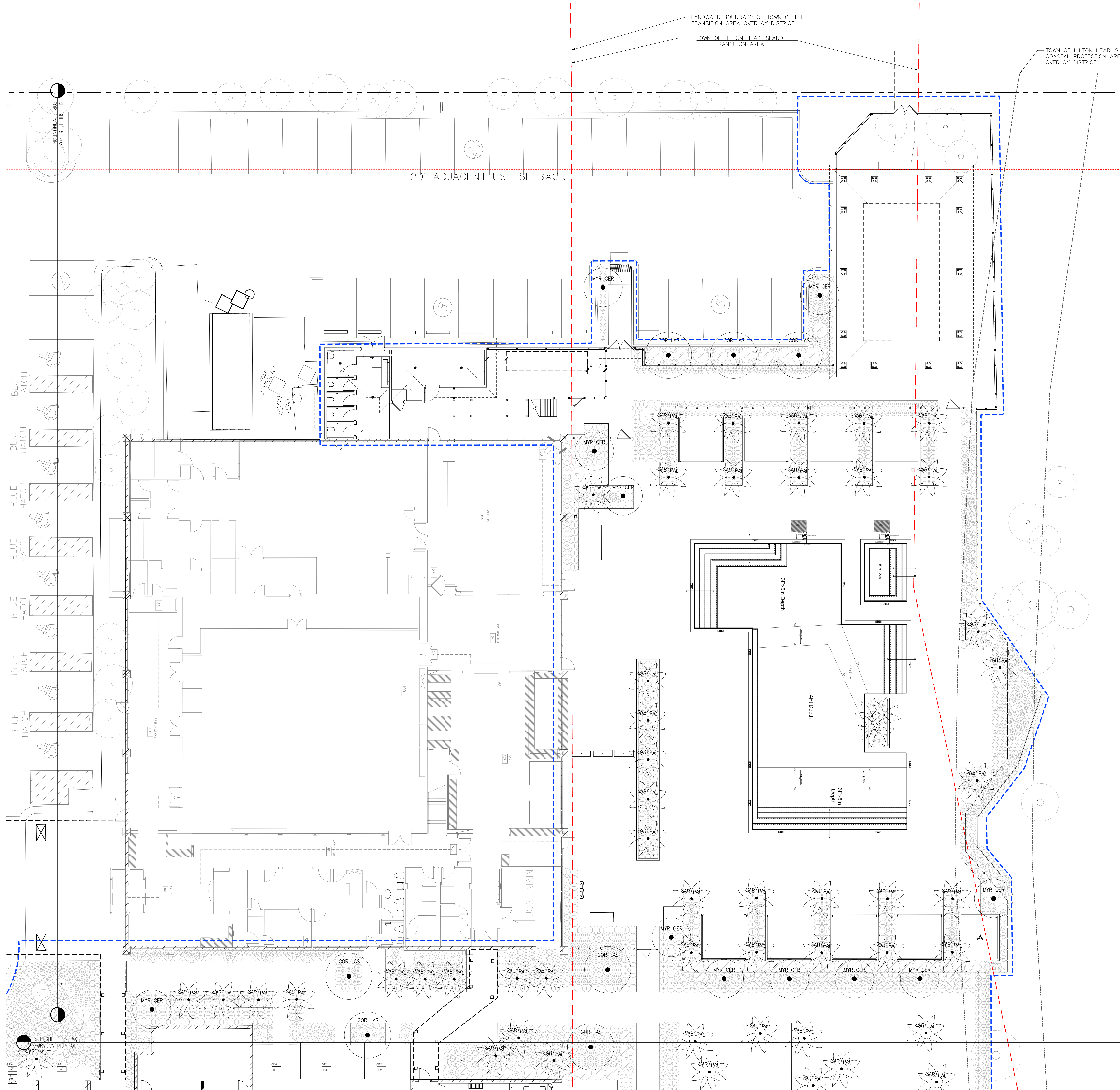


PALM SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
SAB PAL	Sabal palmetto	Cabbage Palm

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
GOR LAS	Gordonia lasiathus	Loblolly Bay
MYR CER	Myrica cerifera	Southern Wax Myrtle
QUE VIR	Quercus virginiana	Southern Live Oak

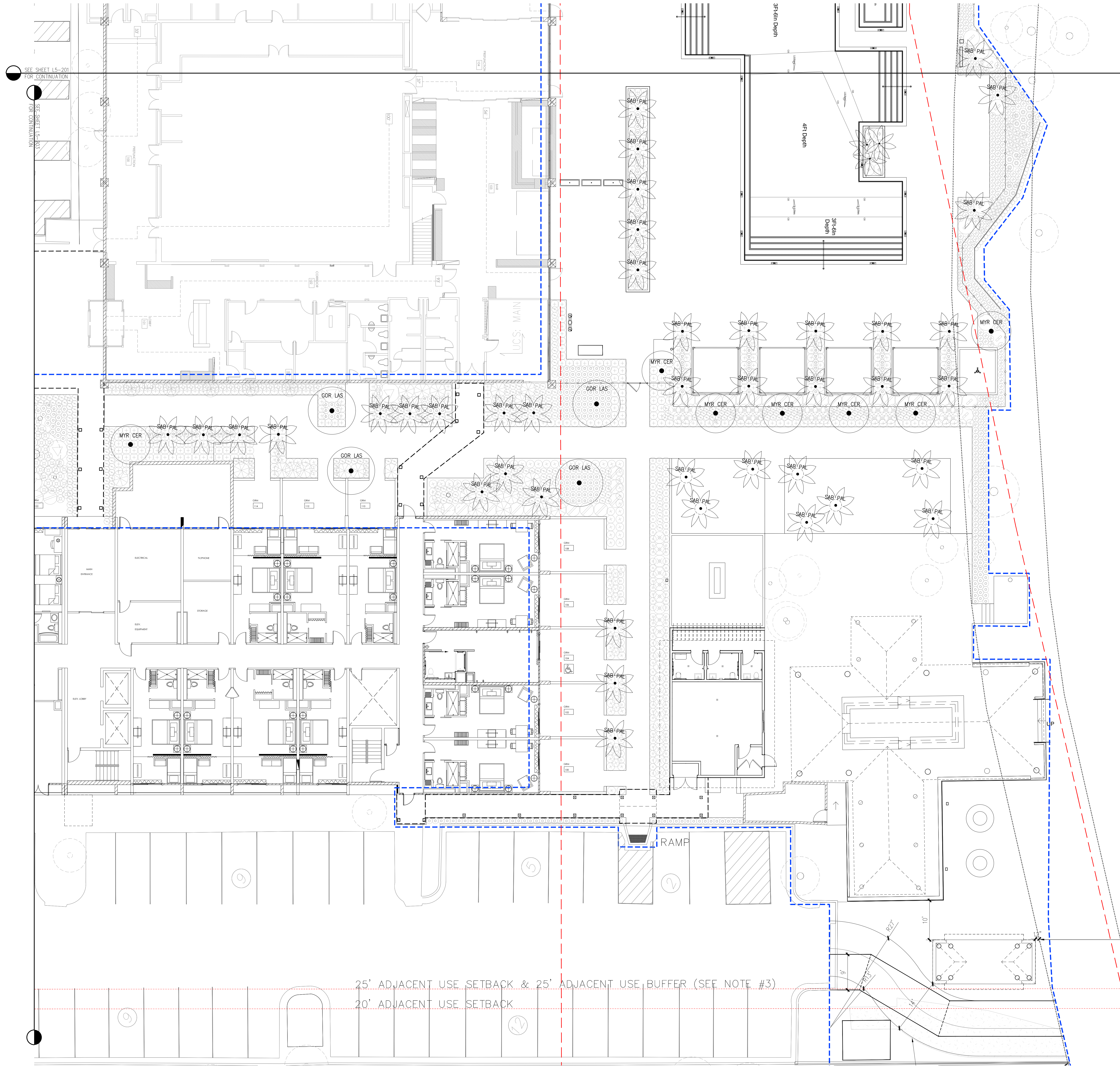


PALM SCHEDULE

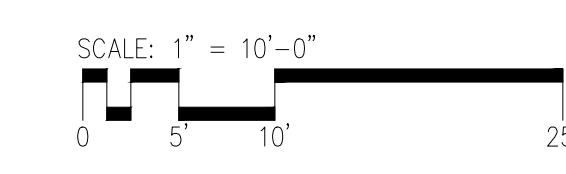
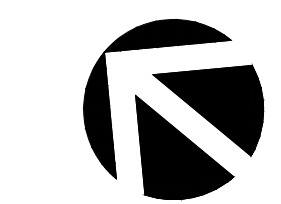
KEY	BOTANICAL NAME	COMMON NAME
SAB PAL	Sabal palmetto	Cabbage Palm

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
GOR LAS	Gordonia lasiatus	Loblolly Bay
MYR CER	Myrica cerifera	Southern Wax Myrtle
QUE VIR	Quercus virginiana	Southern Live Oak



25' ADJACENT USE SETBACK & 25' ADJACENT USE BUFFER (SEE NOTE #3)
20' ADJACENT USE SETBACK

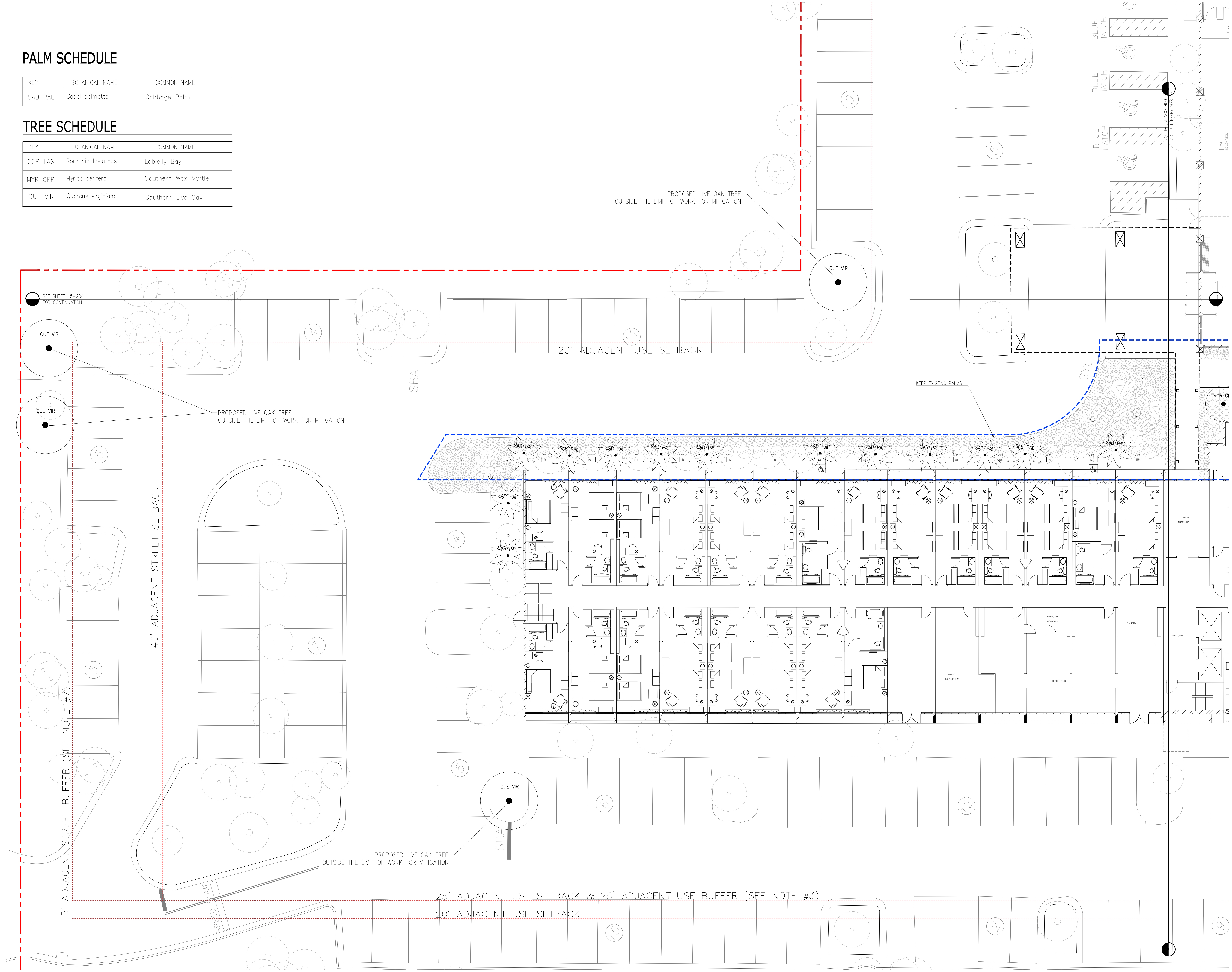


PALM SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
SAB PAL	Sabal palmetto	Cabbage Palm

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
GOR LAS	Gordonia lasiathus	Loblolly Bay
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issues	revisions	

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HILTON HEAD, SC 29928
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TREE ENLARGEMENT
PLANTING PLAN-PARKING
AREA
sheet title

project no. 212041 date 08/15/23

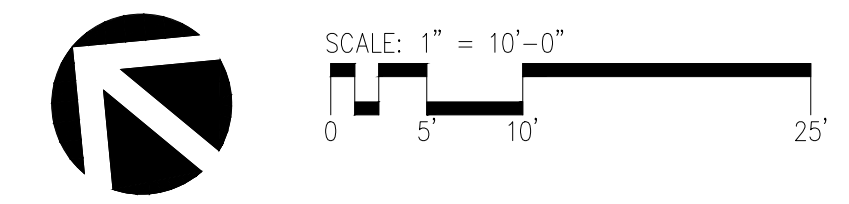
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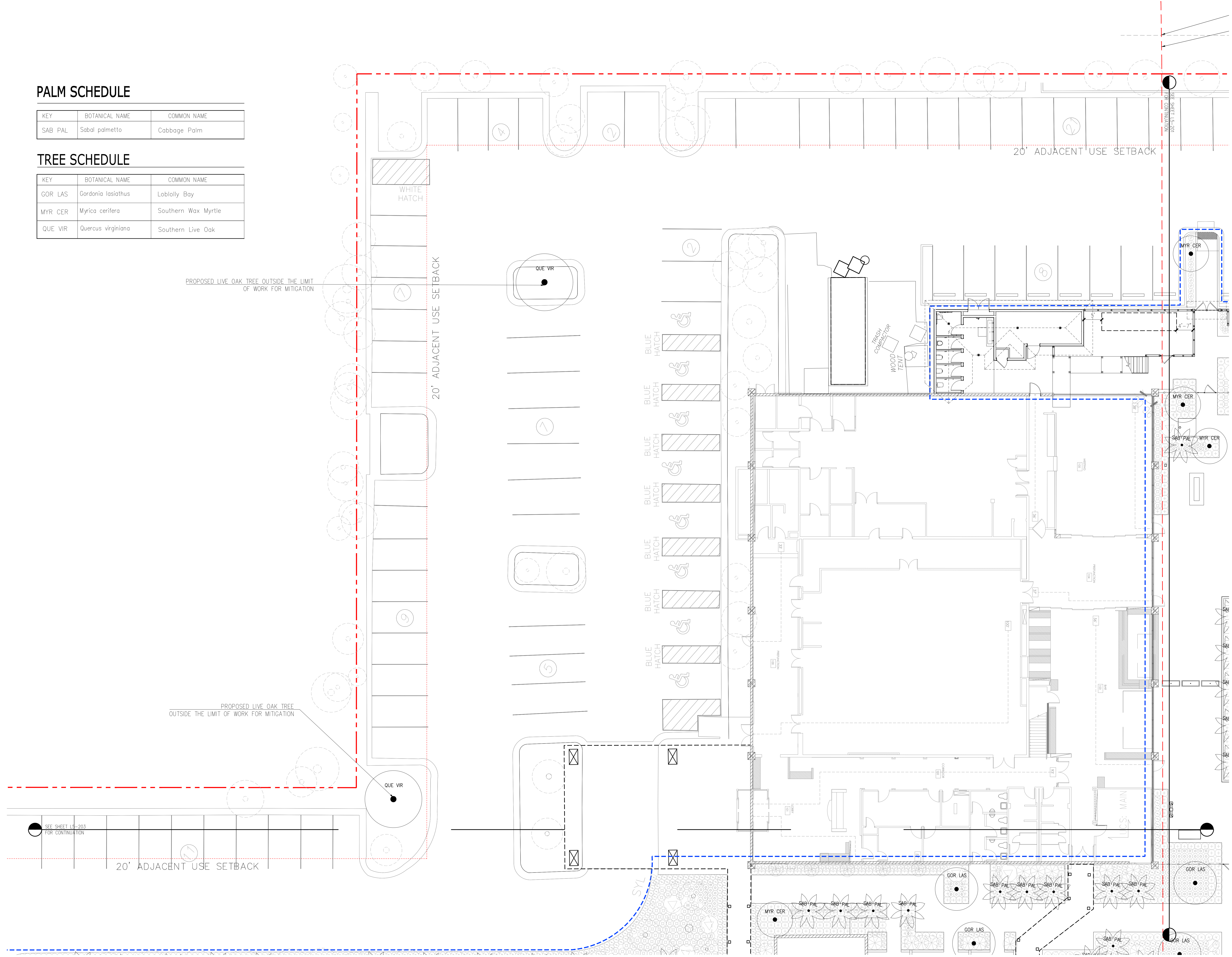


PALM SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
SAB PAL	Sabal palmetto	Cabbage Palm

TREE SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME
GOR LAS	Gordonia lasiatus	Loblolly Bay
MYR CER	Myrica cerifera	Southern Wax Myrtle
QUE VIR	Quercus virginiana	Southern Live Oak



PROPOSED LIVE OAK TREE OUTSIDE THE LIMIT OF WORK FOR MITIGATION

PROPOSED LIVE OAK TREE OUTSIDE THE LIMIT OF WORK FOR MITIGATION

SEE SHEET L5-203 FOR CONTINUATION

20' ADJACENT USE SETBACK

20' ADJACENT USE SETBACK

SEE SHEET L5-201 FOR CONTINUATION

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issues	revisions	

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TREE ENLARGEMENT
PLANTING PLAN-PORTE
COCHERE

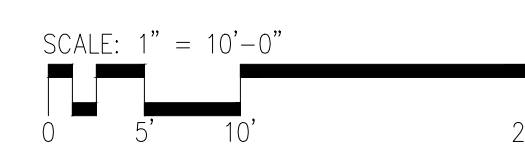
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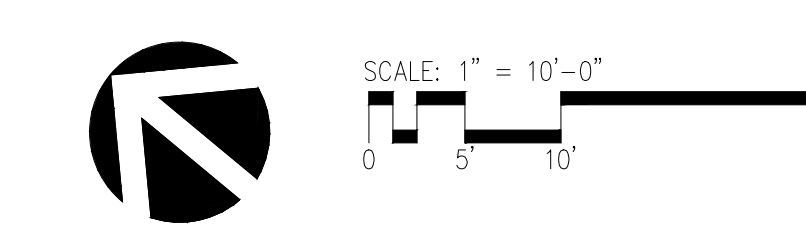
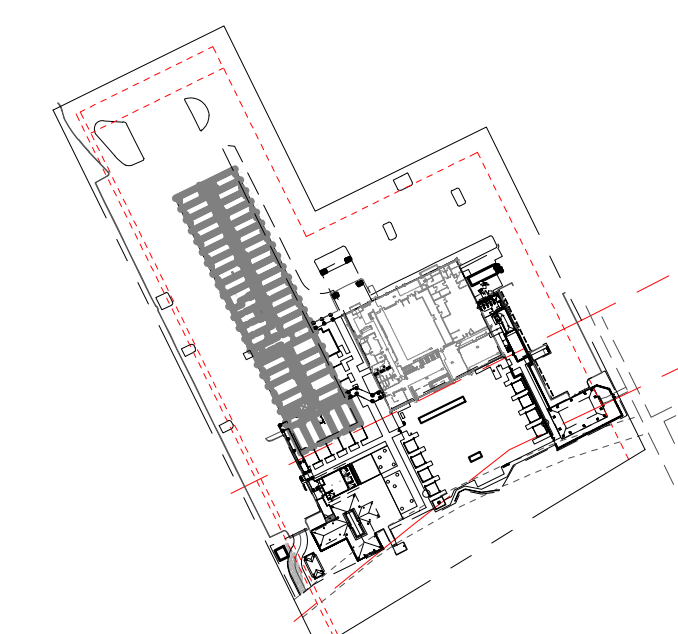
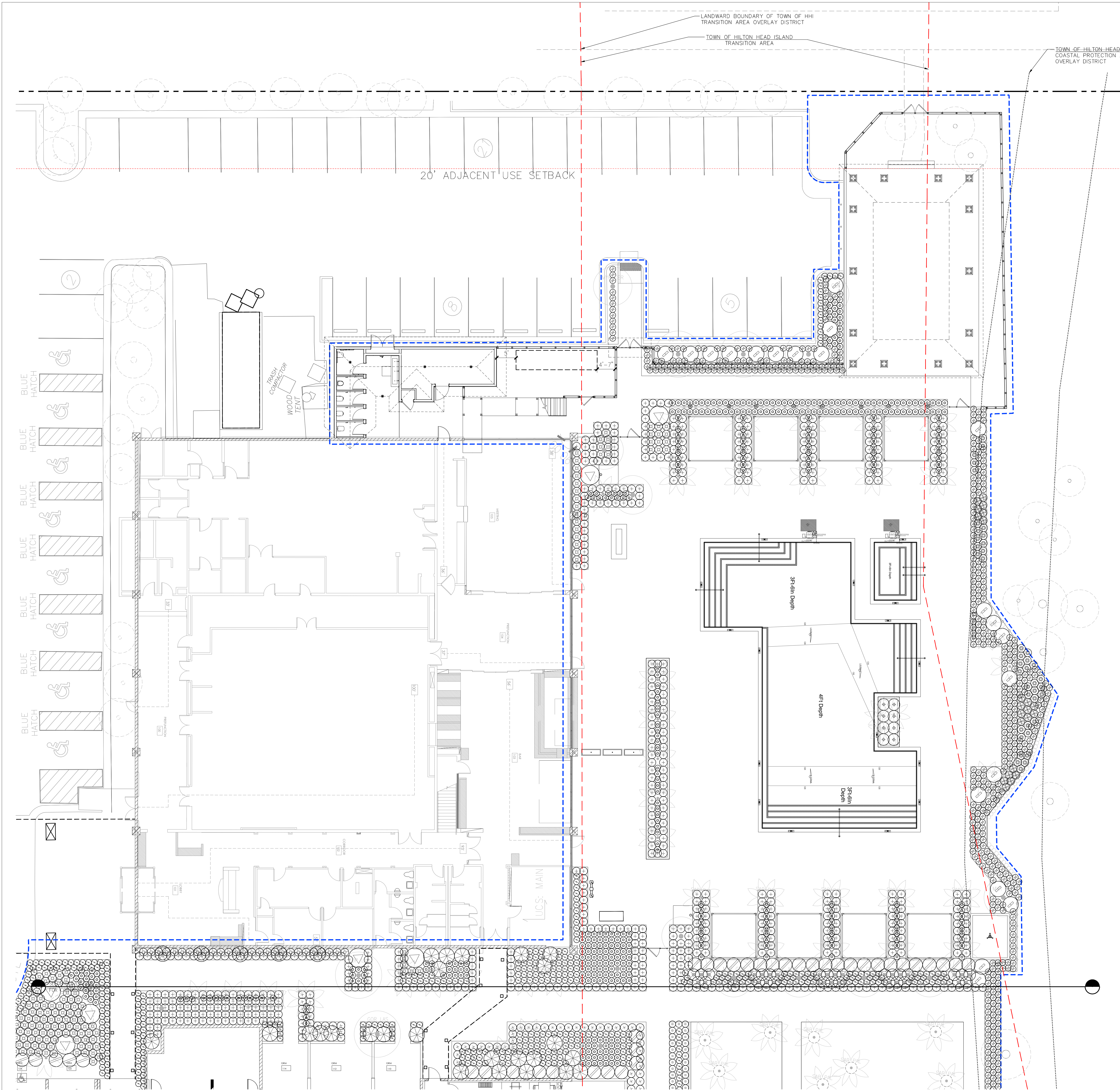


SHRUB & GROUND COVER

BOTANICAL NAME	COMMON NAME
Calamagrostis X acutiflora 'Karl Foerster'	Karl Foerster Grass
Diets iridioides	Fortnight Iris
Fatsia japonica	Japanese Arolia
Helianthus debilis	Dune Sunflower
Hibiscus coccineus	Scarlett Mallow
Liriope muscari	Bug Blue Lilyturf
Oenothera drummondii	Beach Evening Primrose
Philodendron xanadu	Xanadu Philodendron
Rhaphiolepis indica 'clara'	White India Hawthorn
Rosa banksiae 'Lutea'	Lady Banks' Rose
Ruellia brittoniana	Mexican Petunia
Serenoa repens	Saw Palmetto
Viburnum suspensum	Sandankwa Viburnum

GRASSES SCHEDULE

BOTANICAL NAME	COMMON NAME
Panicum amarum	Seaside Panicum




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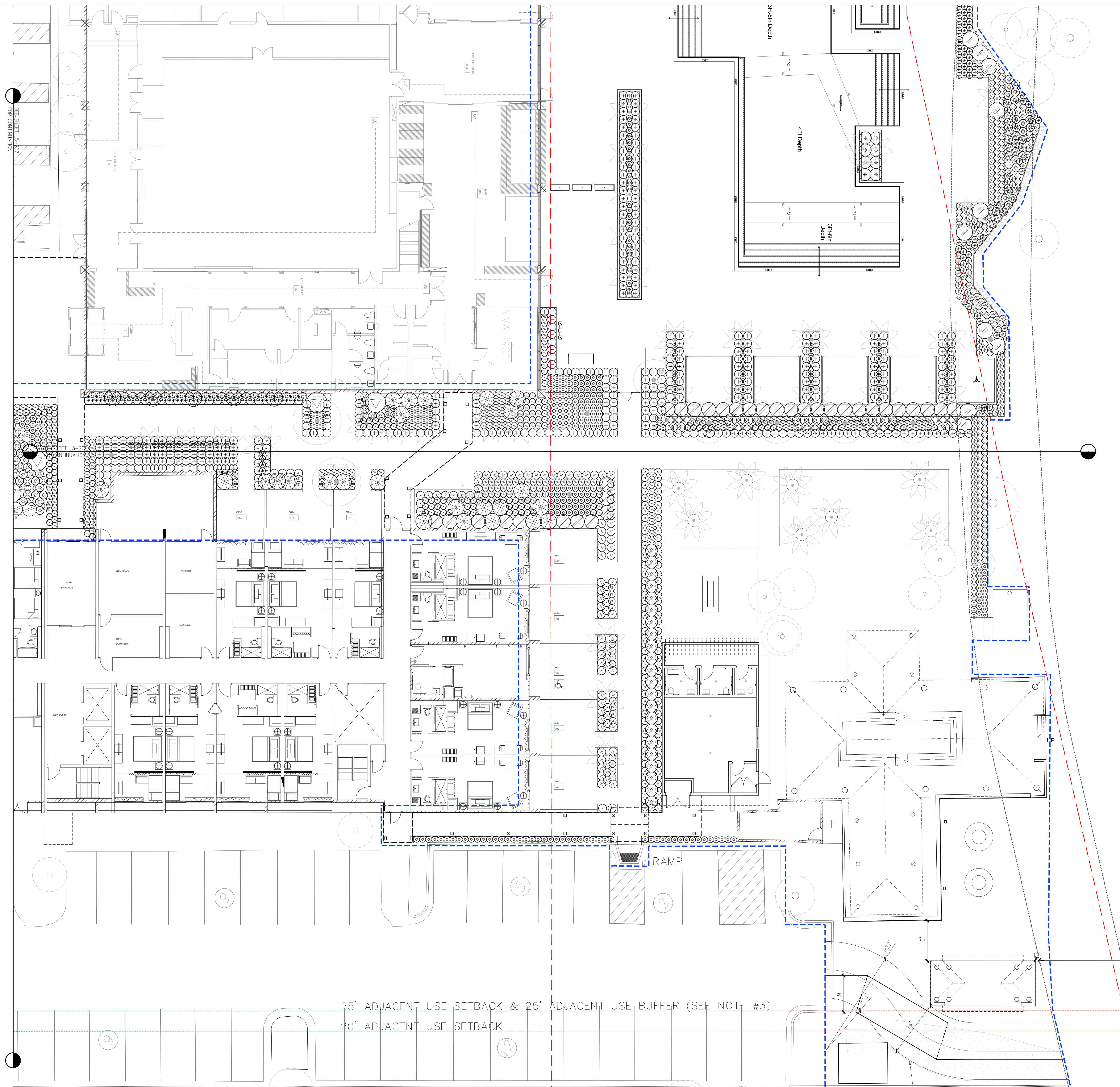
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SHRUB & GROUND COVER

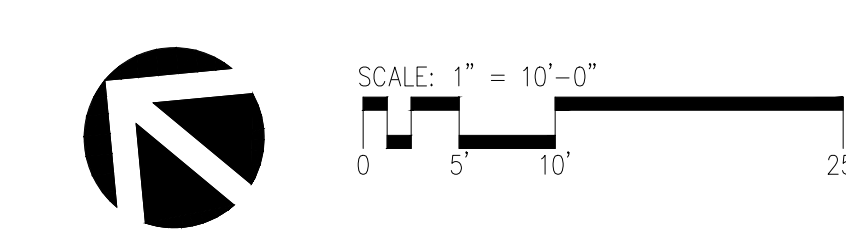
BOTANICAL NAME	COMMON NAME
 Calamagrostis X acutiflora 'Karl Foerster'	Karl Foerster Grass
 Dietes iridioides	Fortnight Iris
 Fatsia japonica	Japanese Aralia
 Helianthus debilis	Dune Sunflower
 Hibiscus coccineus	Scarlett Mallow
 Liriope muscari	Bug Blue Lilyturf
 Oenothera drummondii	Beach Evening Primrose
 Philodendron xanadu	Xanadu Philodendron
 Rhamphilepis indica 'clara'	White India Hawthorn
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 Serenoa repens	Saw Palmetto
 Viburnum suspensum	Sandankwa Viburnum

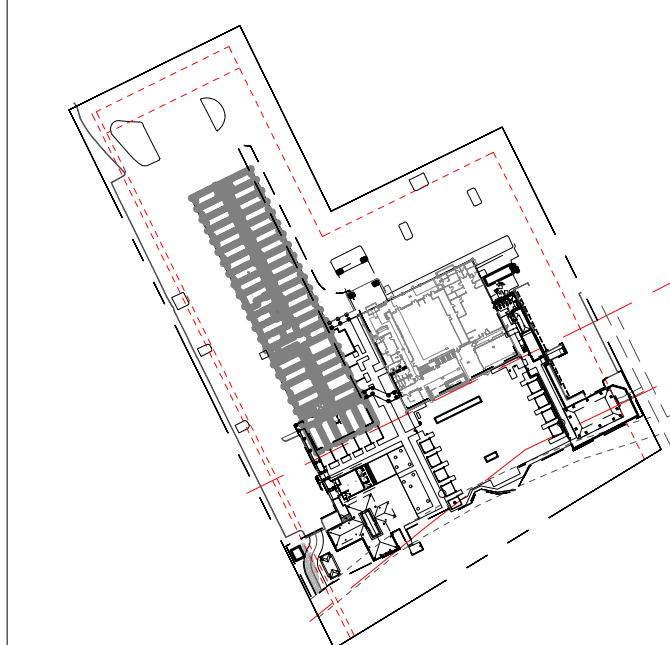
GRASSES SCHEDULE

BOTANICAL NAME	COMMON NAME
 Panicum amarum	Seaside Panicum



25' ADJACENT USE SETBACK & 25' ADJACENT USE BUFFER (SEE NOTE #3)
20' ADJACENT USE SETBACK



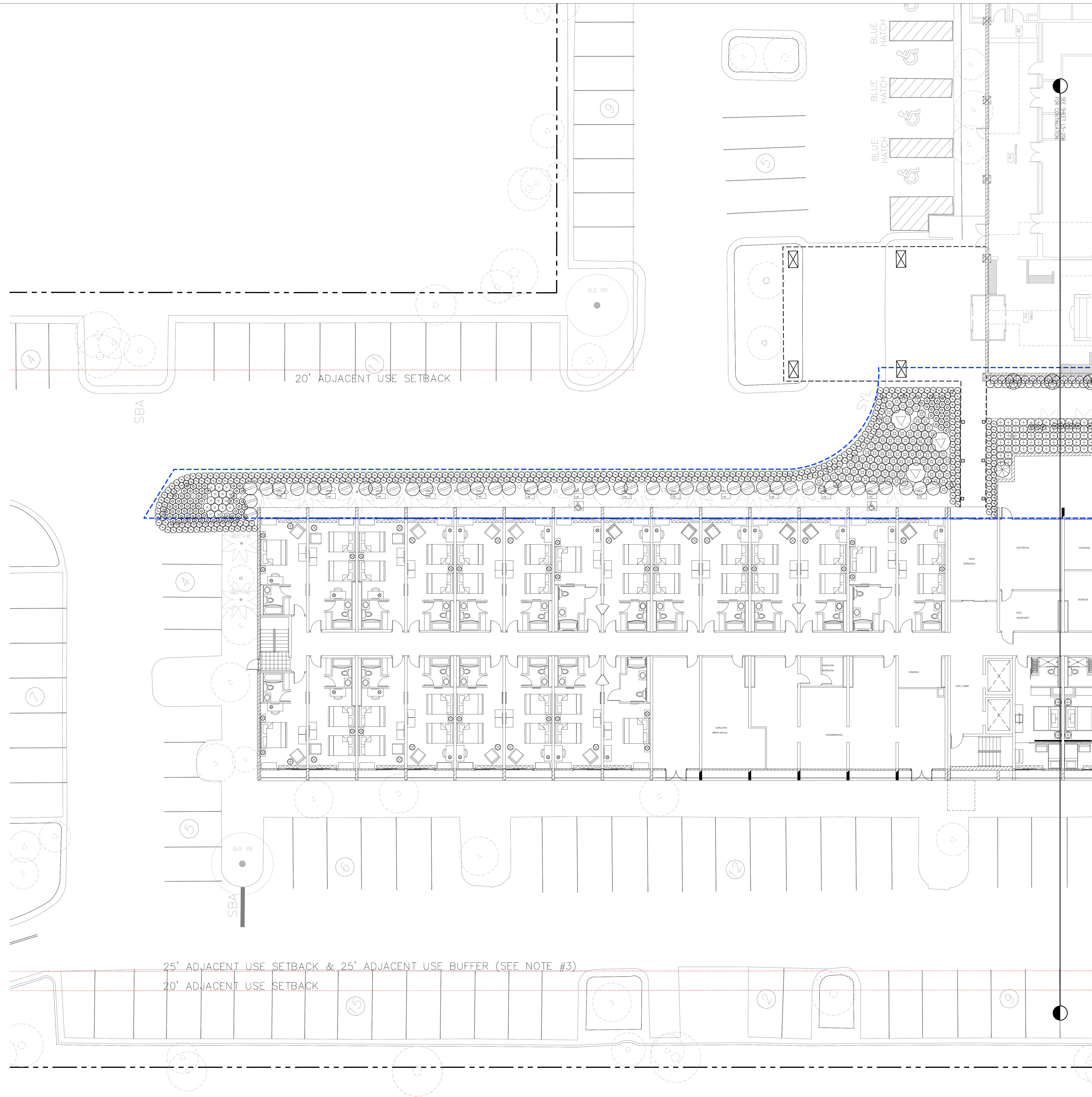


SHRUB & GROUND COVER

BOTANICAL NAME	COMMON NAME
Calamagrostis X acutiflora 'Karl Foerster'	Karl Foerster Grass
Dietses iridioides	Fortnight Iris
Fatsia japonica	Japanese Arolia
Helianthus debilis	Dune Sunflower
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Ruellia brittaniana	Mexican Petunia
Serenoa repens	Saw Palmetto
Viburnum suspensum	Sandankwa Viburnum

GRASSES SCHEDULE

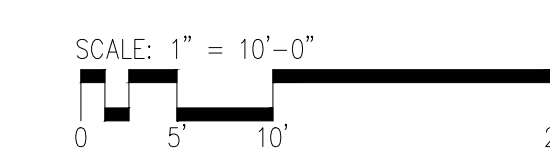
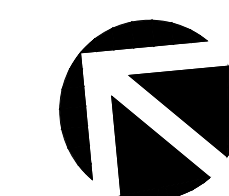
BOTANICAL NAME	COMMON NAME
Panicum amarum	Seaside Panicum



20' ADJACENT USE SETBACK

25' ADJACENT USE SETBACK & 25' ADJACENT USE BUFFER (SEE NOTE #3)

20' ADJACENT USE SETBACK



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LEGEND

- EDGE OF PAVING, SIDEWALK, WALL OR CURB.
- SHRUB OR GROUND COVER PLANT.
- LOCATE PLANT EQUAL DISTANCE FROM EACH OTHER. SPACING PER PLANT LEGEND.
- 1/2 OF PLANT SPACING DISTANCE-18"MIN.

TRIANGULAR SPACING

SHRUB/GROUND COVER SPACING	PL-03 N.T.S.	3
----------------------------	-----------------	----------

LEGEND

- SHRUB - CENTER IN PIT.
- 2" DEEP WATER BASIN.
- FINISH GRADE.
- AMENDED BACKFILL PER HORTICULTURAL SOILS REPORT AND RECOMMENDATIONS.
- PLANT TABLETS - QUANTITY PER HORTICULTURAL SOILS REPORT AND MANUFACTURER'S RECOMMENDATIONS.
- 3" HEIGHT UNAMENDED SITE SOIL PEDESTAL FOR 15 GAL SHRUBS.
- UNAMENDED SITE SOIL.

NOTES

- REFER TO PLANTING NOTES ON THIS SHEET FOR ADDITIONAL INFORMATION.
- SET ROOT BALL 1" ABOVE FINISH GRADE.

SHRUB PLANTING	PL-02 N.T.S.	4
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LEGEND

- TRIM PALM TREE FRONDS AND TIE WITH ORGANIC STRING PRIOR TO DELIVERY TO SITE. REMOVE TIES ONLY WHEN APPROVED BY PALM TREE SUPPLIER AND LANDSCAPE ARCHITECT.
- PINEAPPLE - CLEAN AND UNDAMAGED.
- FINISH GRADE OF PALM ROOTBALL - CENTER IN PIT. DO NOT BURY ROOTBALL OR TRUNK.
- WATERING BASIN - 3" MIN. DEPTH.
- PALM TRUNK - STRAIGHT, CLEAN, AND UNDAMAGED.
- BACKFILL MIX - 100% WASHED SILICA SAND #16.
- 12" LAYER OF 3/4" CRUSHED GRAVEL.
- 4" PLASTIC ATRIUM DRAIN COVER (TURF - GREEN, SHRUB AREAS - BLACK).
- 12" DIA. X 5' DEEP AUGERED HOLE BELOW PALM PIT.
- BOTTOM OF PIT TO SUMP. 4" DIA. PERFORATED PVC SUMP STANDPIPE W/ SOIL SOCK.
- CONNECT PVC STANDPIPE TO ADJACENT DRAINLINE SYSTEM. REFER TO CIVIL ENGINEERING DRAWINGS.
- 4" PVC TEE.
- 3/4" CRUSHED DRAIN ROCK AROUND STANDPIPE.
- UNDISTURBED NATIVE SOIL.
- SCARIFY SIDES OF PALM PIT.

NOTES

- REFER TO PALM TREE SPECIFICATION FOR ADDITIONAL INFORMATION.
- AUGERED HOLE AND CONNECTION TO STORM DRAIN SYSTEM IS REQUIRED FOR PHOENIX DACTYLIFERA ("DATE PALM") AND ARCONTOPHOENIX ALEXANDRAE ("KING PALM"). REFER TO SHEET L5-101, PLANTING PLAN FOR LOCATIONS. WASHINGTONIA ROBUSTA ("MEXICAN FAN PALM") REQUIRES AUGERED HOLE ONLY.

PALM PLANTING	PL-02 N.T.S.	4
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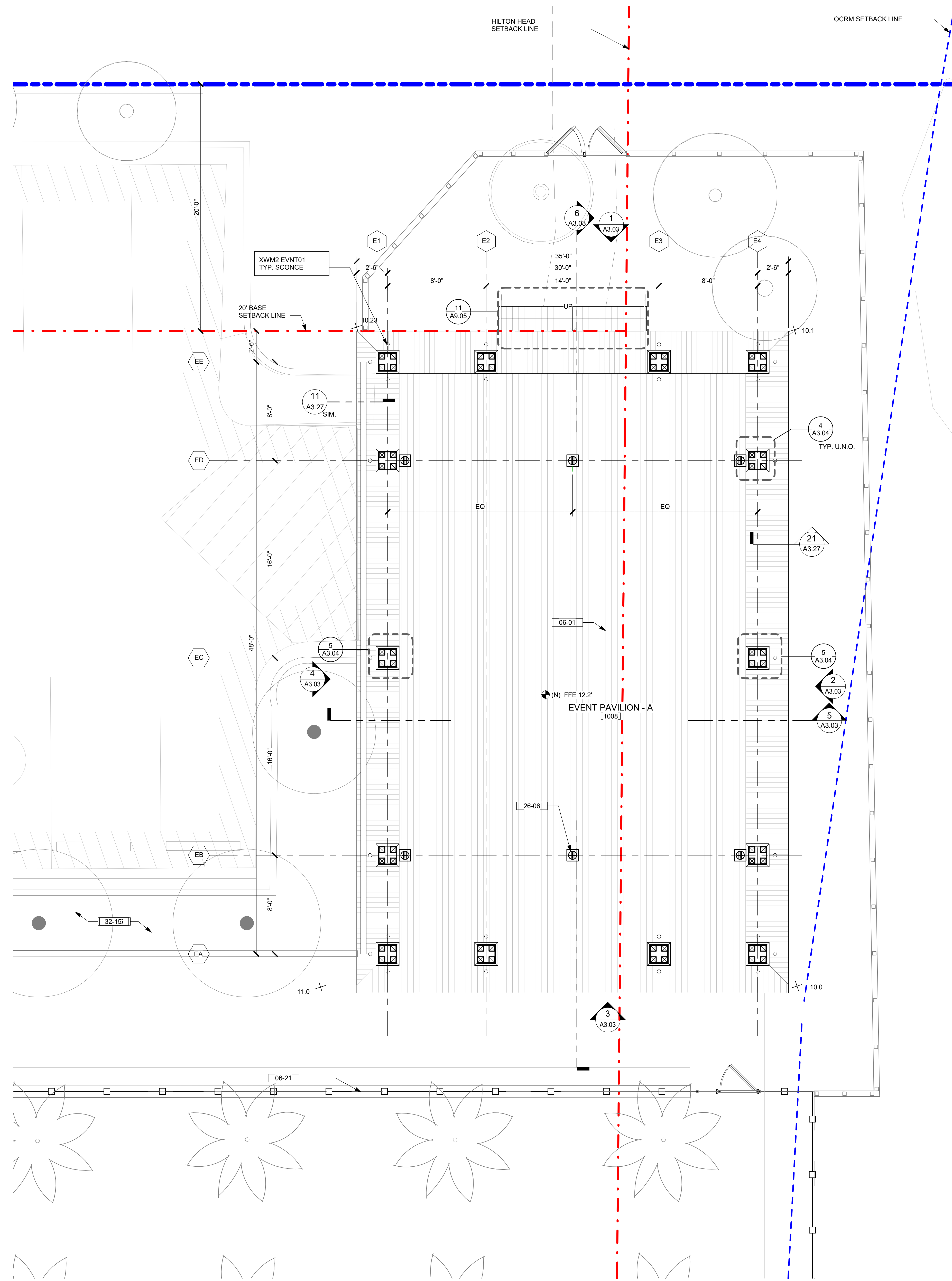
LEGEND

- TREE - CENTER IN PIT.
- TREE TIES.
- 2" DIAMETER X 10' LODGEPOLE PINE STAKE - KEEP CLEAR OF ROOTBALL.
- 3" DEEP WATER BASIN.
- FINISH GRADE.
- PLANT TABLETS - QUANTITY PER HORTICULTURAL SOILS REPORT AND MANUFACTURER'S RECOMMENDATIONS.
- SITE SOIL.
- ROOTBALL - SET TOP 2" ABOVE FINISH GRADE.
- AMENDED BACKFILL SOIL PER HORTICULTURAL SOILS REPORT AND RECOMMENDATIONS.
- 3" HIGH UNAMENDED SITE SOIL PEDESTAL.

NOTES

- REFER TO PLANTING NOTES FOR ADDITIONAL INFORMATION.
- KEEP MULCH 3" CLEAR OF TRUNK.
- REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION.

TREE PLANTING	PL-01 N.T.S.	2
---------------	-----------------	----------



1 EVENT PAVILION - FLOOR PLAN
1/4" = 1'-0"

KEYNOTES / LEGENDS

- PROPERTY LINE (EXISTING)
 - SETBACK (EXISTING)
 - ✕ SPOT ELEVATION PER SURVEY
 - OCRM SETBACK LINE
 - + SURFACE MOUNTED SCONCE LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
- 06-01 WOOD DECK - WD - 03
06-21 PROPOSED FENCE - SEE LANDSCAPE DWGS
26-06 FLOOR OUTLET - W.P. BRONZE COLOR - SEE ELEC
32-15 PLANTING. REFER TO LANDSCAPE DWGS.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

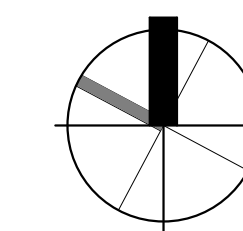
MATERIAL LEGEND



WD-03
WOOD DECK
WOOD SPECIE:
KUMARU HARDWOOD
COLOR:
CLEAR COAT NATURAL



**XWM2
EVENT01**
TYP. SURFACE
MOUNTED SCONCE
EVENT FINNLOCK
FINISH:
BRONZE LIVING PATINA
COUNT:
26



0 1 2 4 8 FT
SCALE 1/4" = 1'-0" U.N.O.



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Beach House
HILTON HEAD ISLAND

project logo

EVENT PAVILION - FLOOR PLAN

sheet title

project no. 212041 date 08/15/2023

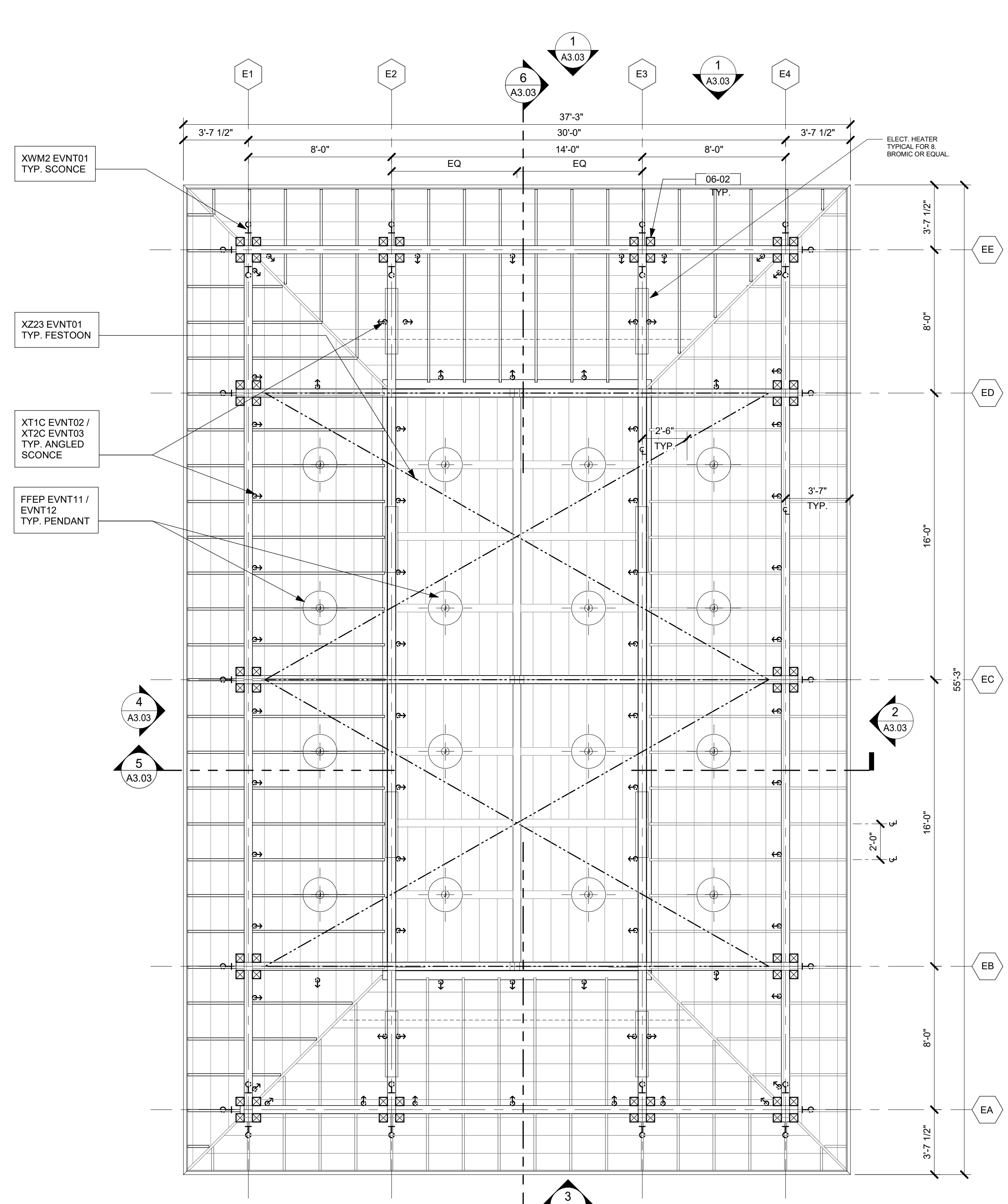
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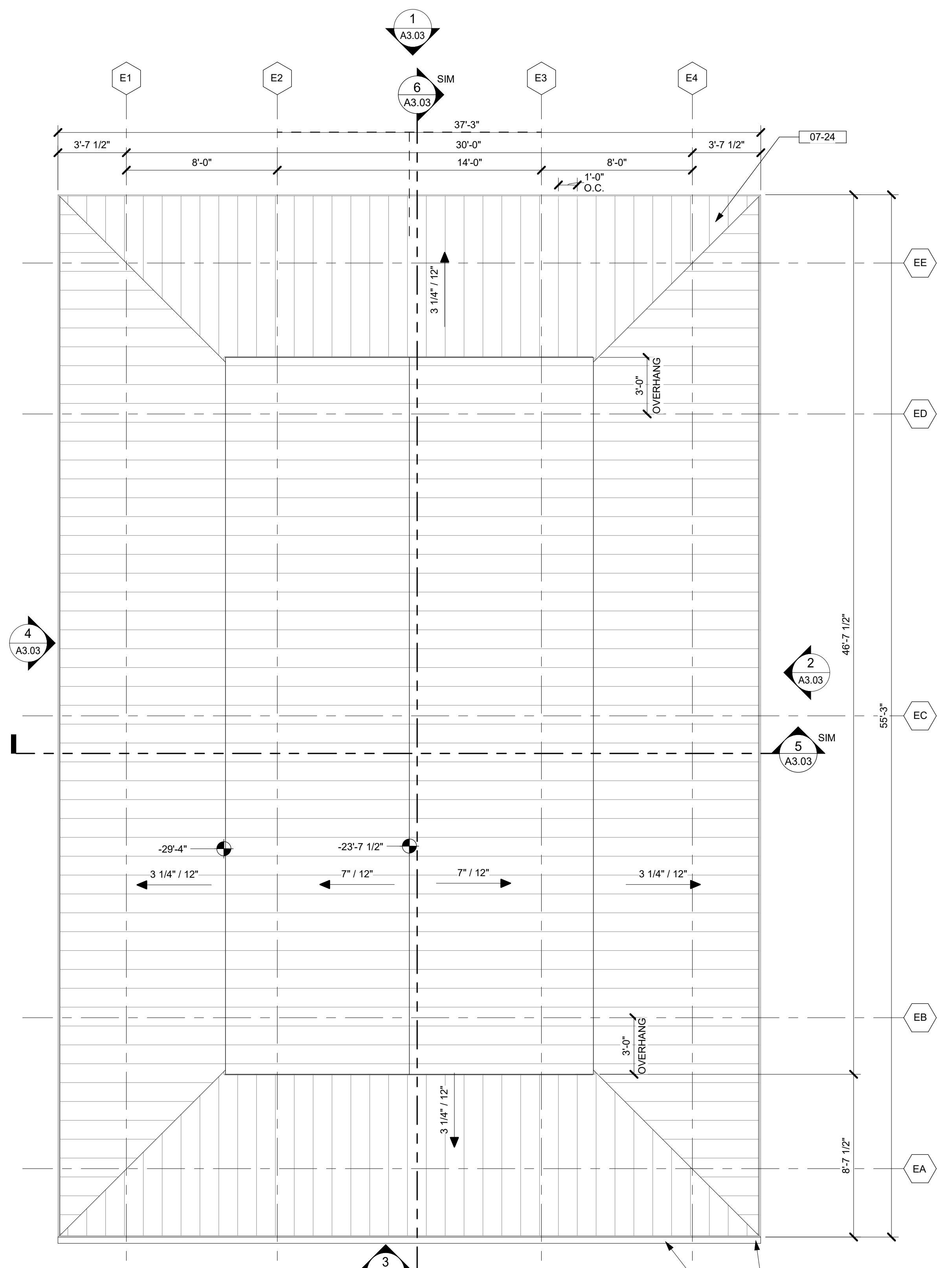
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sheet no.

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



2 EVENT PAVILION - RCP
1/4" = 1'-0"



1 EVENT PAVILION - ROOF PLAN
1/4" = 1'-0"

- KEYNOTES / LEGENDS**
- + SURFACE MOUNTED SCENCE LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - ⊕ PENDANT / CEILING MOUNTED REFER TO INTERIOR, ELECTRICAL, & LIGHTING DESIGN DWGS
 - STRING LIGHT PER LIGHTING CONSULTANT.
 - + SURFACE MOUNTED UPLIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - + SURFACE MOUNTED UPLIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - J SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
 - GRID LINES
 - SLOPE ARROW

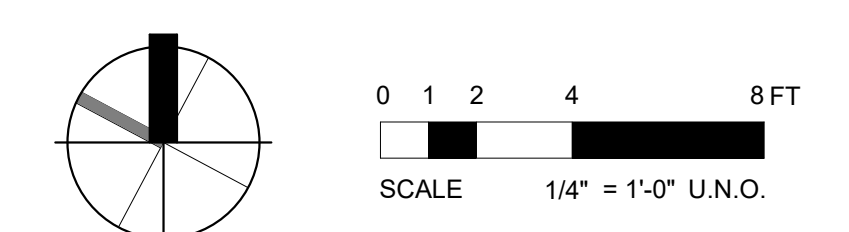
06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND

- WD-01**
NEW WOOD COLUMN / BEAMS, FASCIAS AND DOWNSPUT TAG CEILING
WOOD SPECIE: SOUTHERN YELLOW PINE - SMOOTH FINISH
PENETRATING SEMI-TRANSPARENT STAIN & SEALER
SAMPLE COLOR: VALSPEAR - MONTECELLO TAN
- RF-02**
STANDING SEAM METAL ROOFING
MANUFACTURER: PROCLAD
COLOR: CITY SCAPE
- XWM2 EVNT01**
TYP. SURFACE MOUNTED SCENCE EVENT PAVILION
FINISH: BRONZE LIVING PATINA
COUNT: 26
- XT1C EVNT03 / XT2C EVNT02**
TYP. SURFACE MOUNTED ANGLED SCENCE
FINISH: BRONZE LIVING PATINA
COUNT: 18 + 53 = 71
- XZ23 EVNT01**
TYP. FESTOON SYSTEM
- FFEP EVNT11 / EVNT12**
TYP. CUSTOM MADE PENDANT
FINISH: MATTE BRONZE FINISH AND BRASS METAL POWDER COATED INSIDE
COUNT: 8 + 8 = 16

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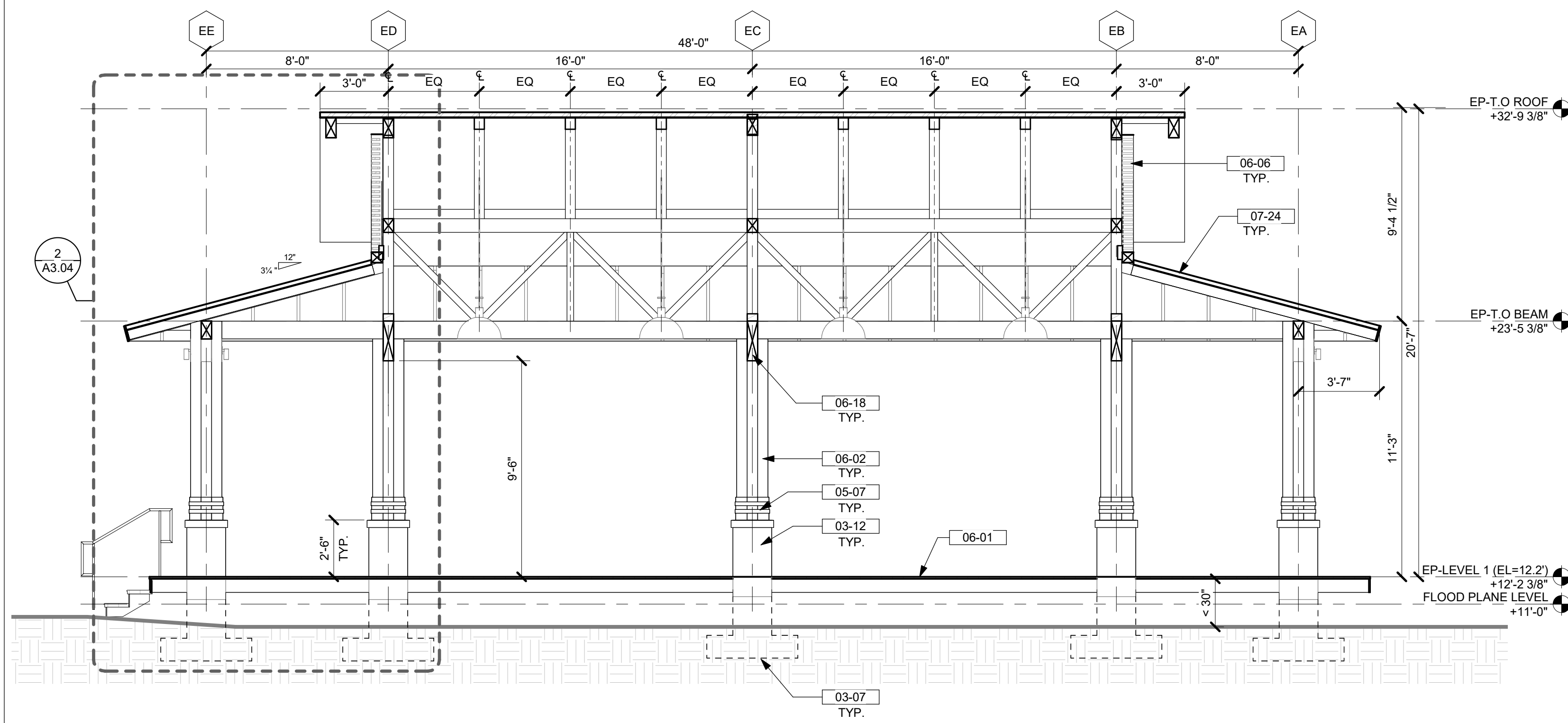
consultant

stamp | approval

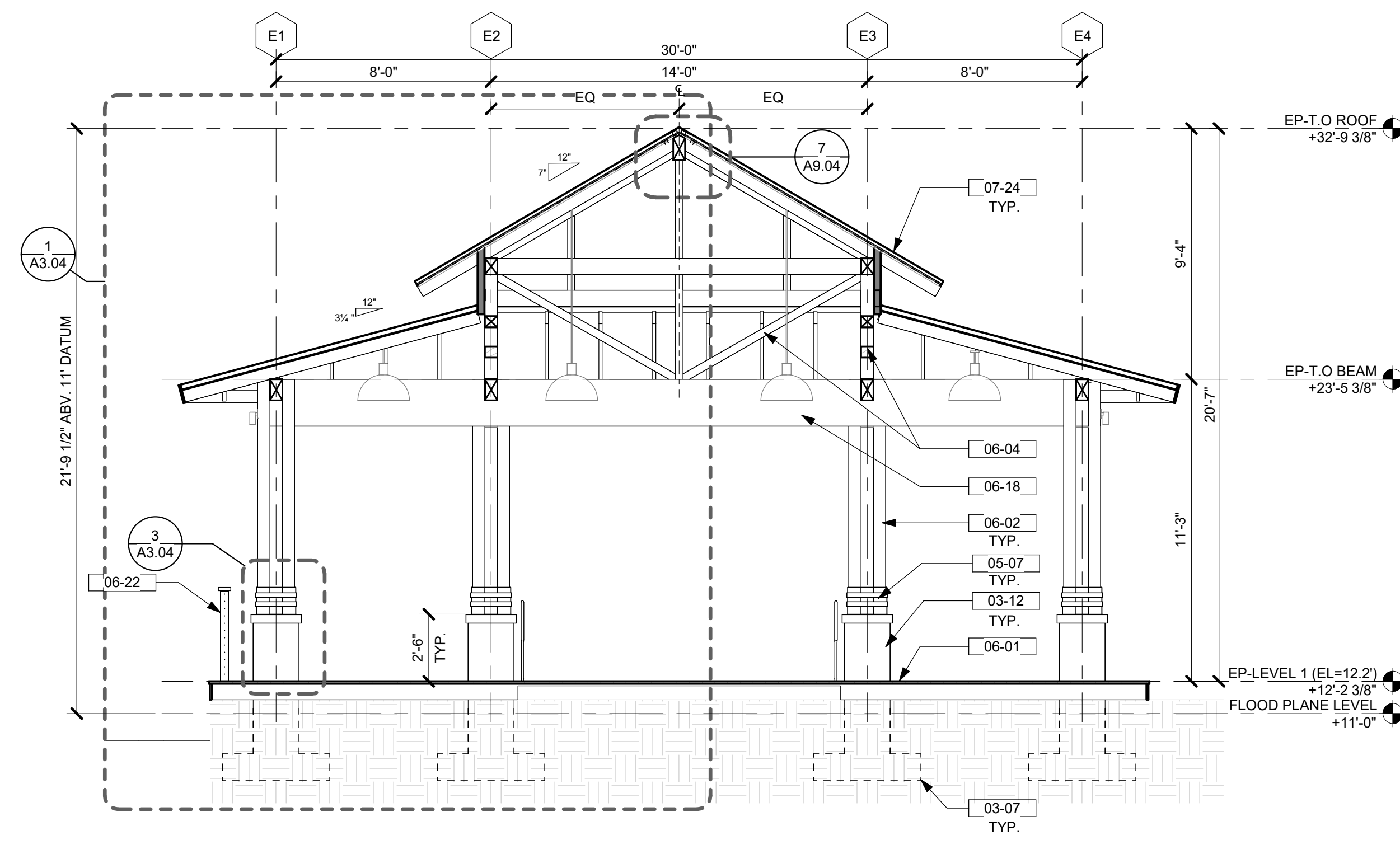
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DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

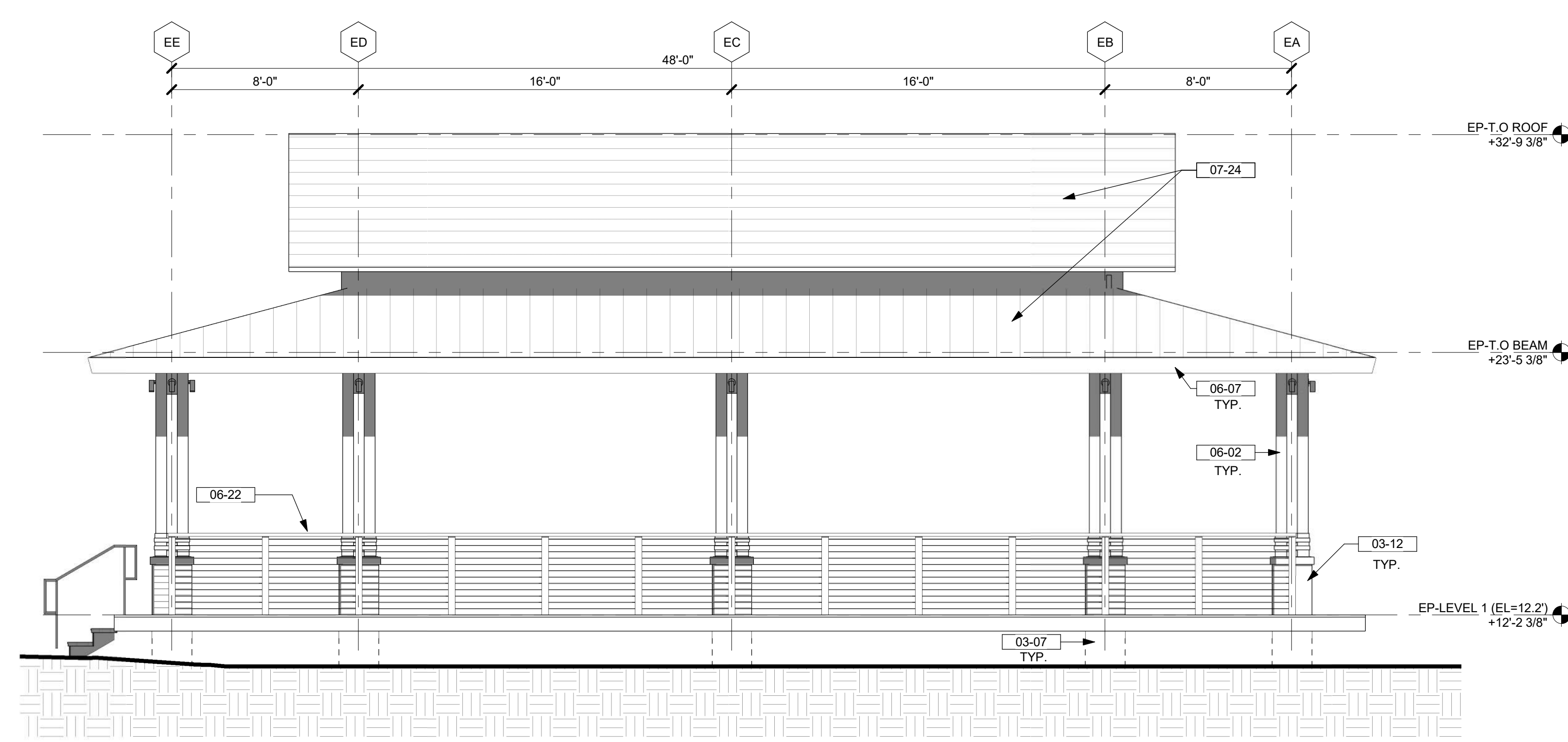
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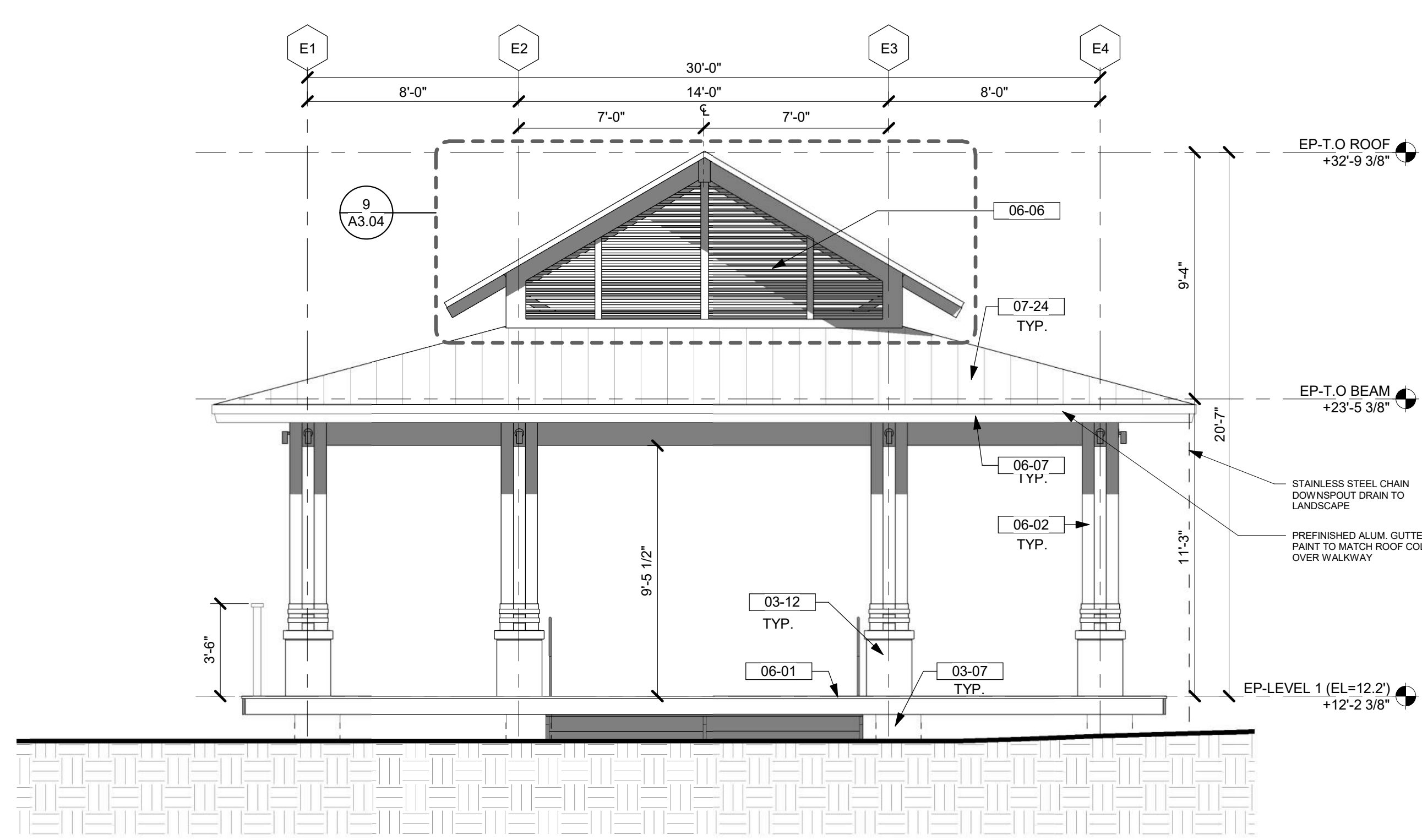
6 EVENT PAVILION - SECTION B
1/4" = 1'-0"



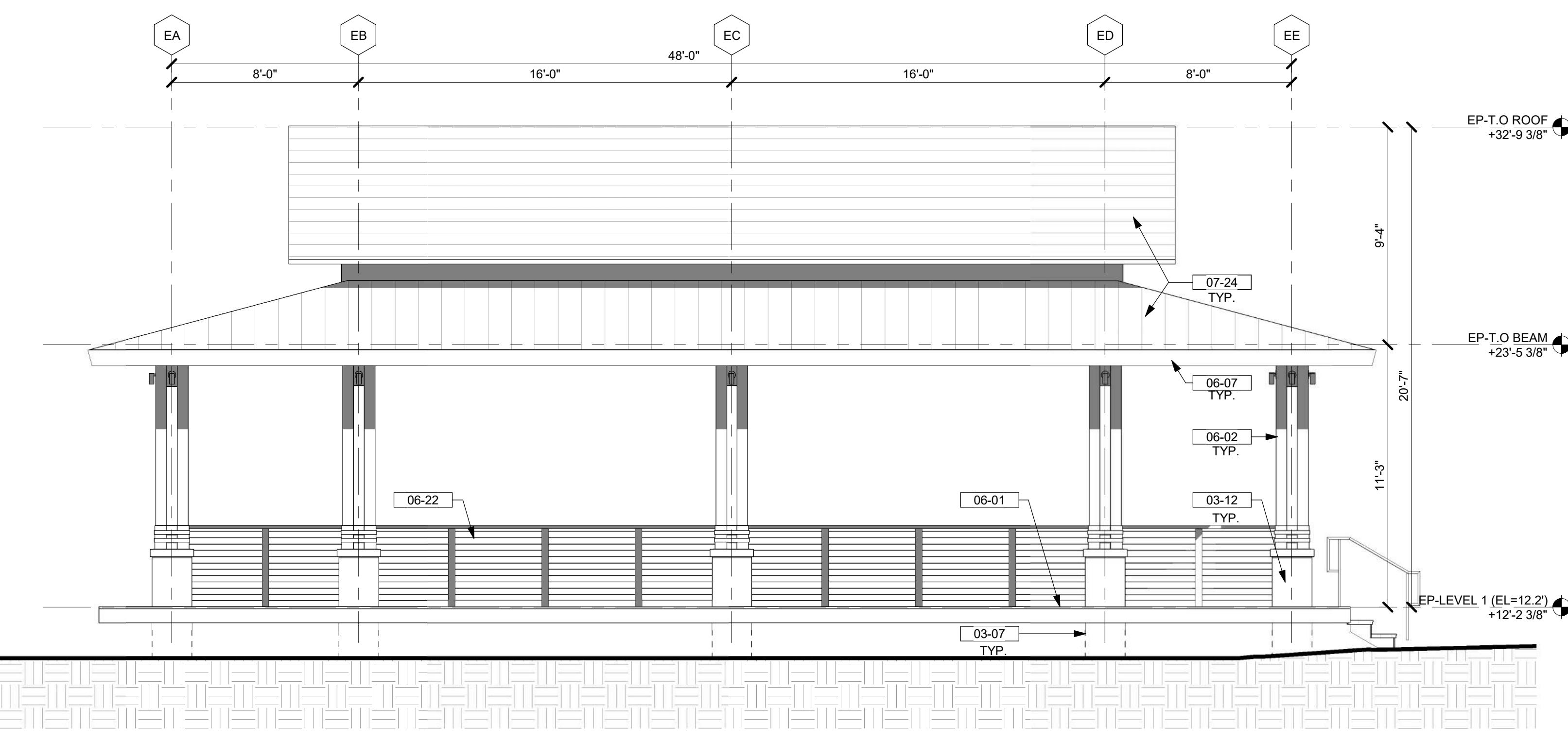
5 EVENT PAVILION - SECTION A
1/4" = 1'-0"



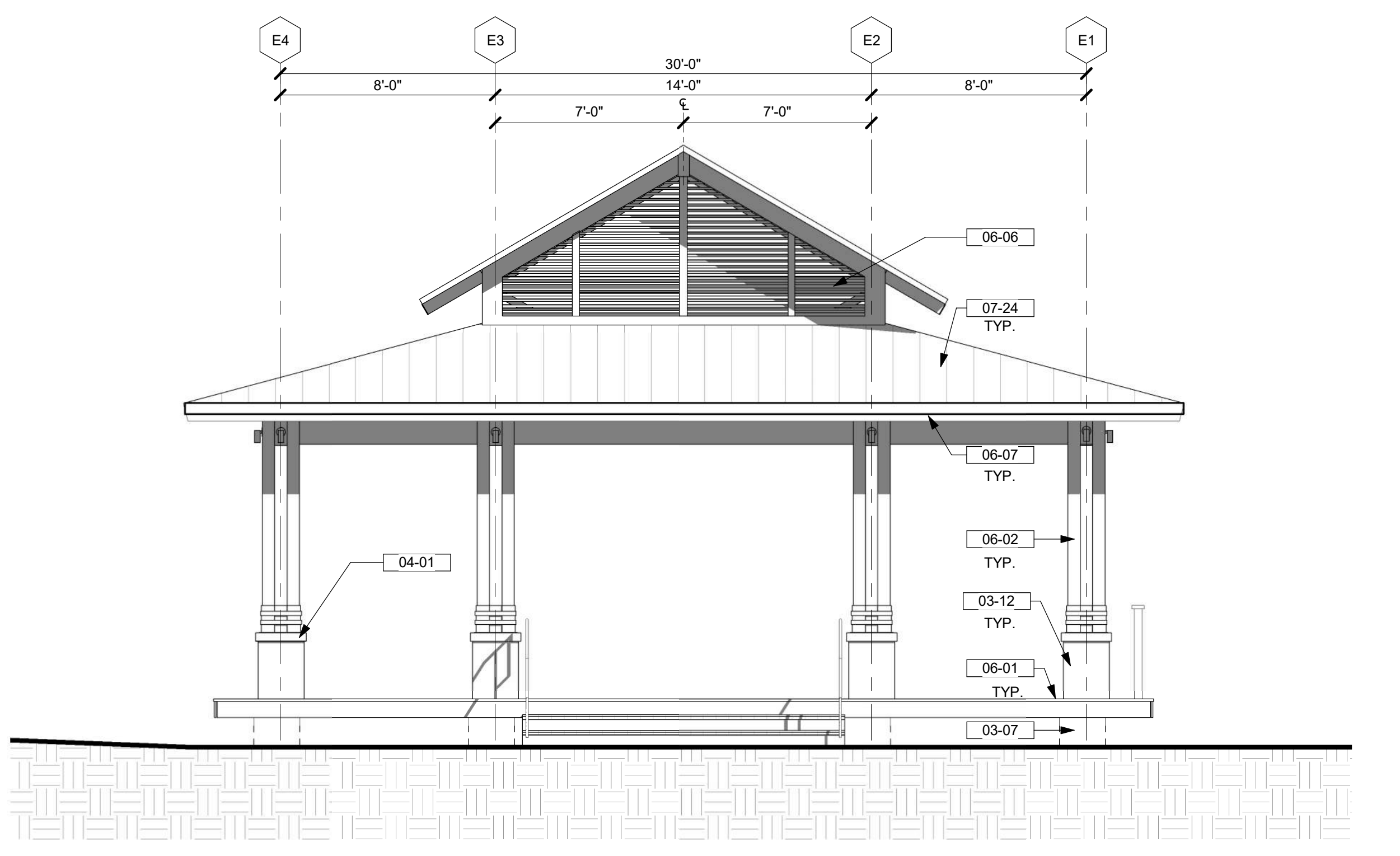
4 EVENT PAVILION - REAR ELEVATION
1/4" = 1'-0"



3 EVENT PAVILION - SIDE 1 ELEVATION
1/4" = 1'-0"



2 EVENT PAVILION - FRONT ELEVATION
1/4" = 1'-0"



1 EVENT PAVILION - SIDE 2 ELEVATION
1/4" = 1'-0"

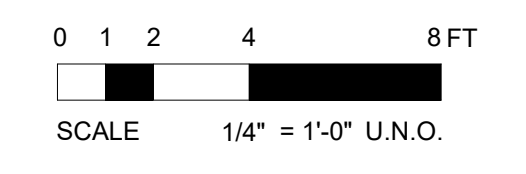
KEYNOTES / LEGENDS

- 03-07 CONCRETE FOOTING - SEE STRUCT. DWGS.
- 04-01 TABBY PLASTER FINISH PLASTER - STU - 01
- 04-01 PLASTER FINISH - STN - 01
- 05-07 STEEL CONNECTIONS TO WOOD MEMBERS - SEE STRUCT. - MTL-01
- 06-01 WOOD DECK - WD - 03
- 06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01
- 06-03 WOOD BEAM - SEE STRUCT. DWGS - WD - 01
- 06-04 WOOD ROOF TRUSS - SEE STRUCT. DWGS - WD - 01
- 06-06 WOOD LOUVER - WD - 05
- 06-07 WOOD FASCIA - WD - 01
- 06-18 GLUED LAMINATED WOOD BEAM - SEE STRUCT. DWGS - WD-01
- 06-22 HANDRAIL AND GUARDRAIL - WD - 02
- 07-24 METAL STANDING SEAM ROOF - RF - 02

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01
NOTE: 11'-0" DATUM IS BASED ON SURVEY 11.7' ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL MANDOR

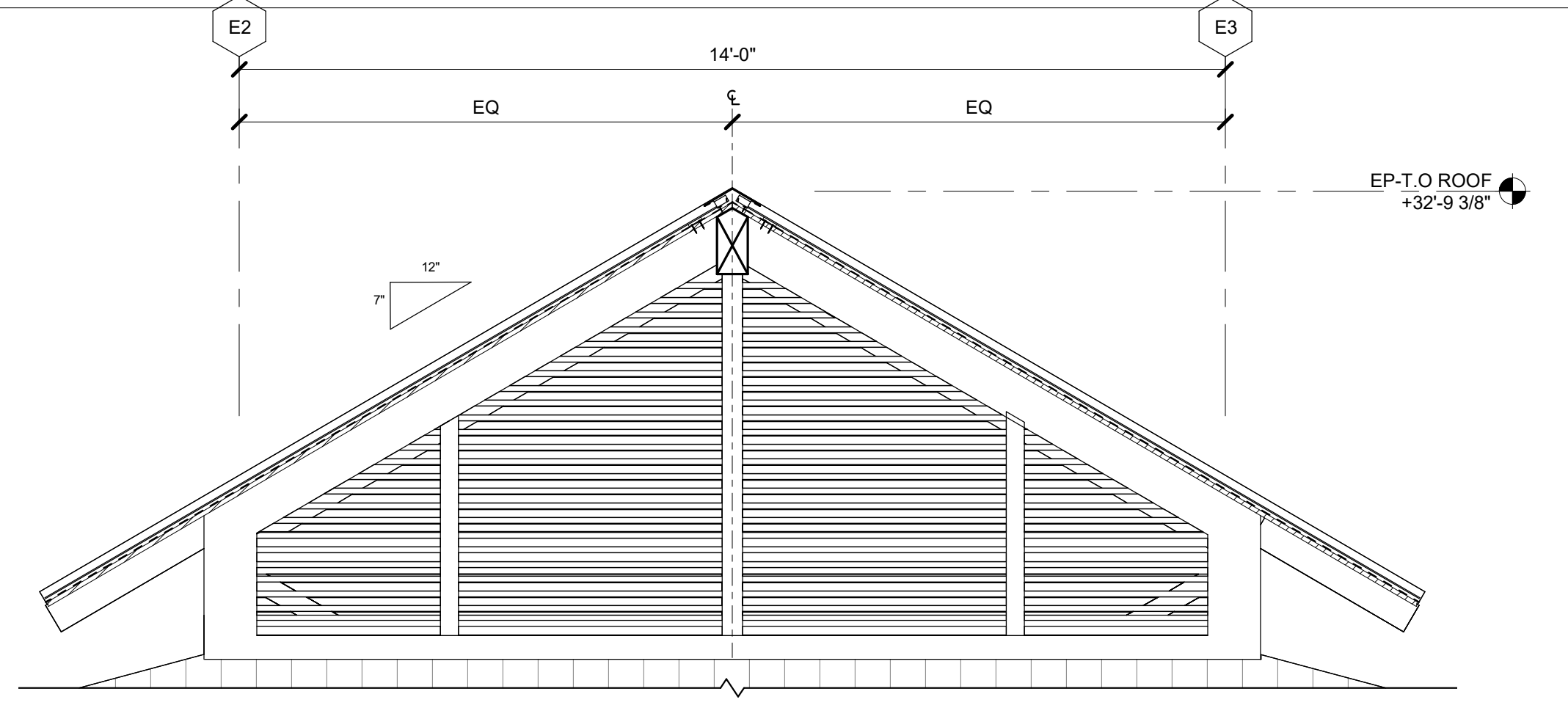
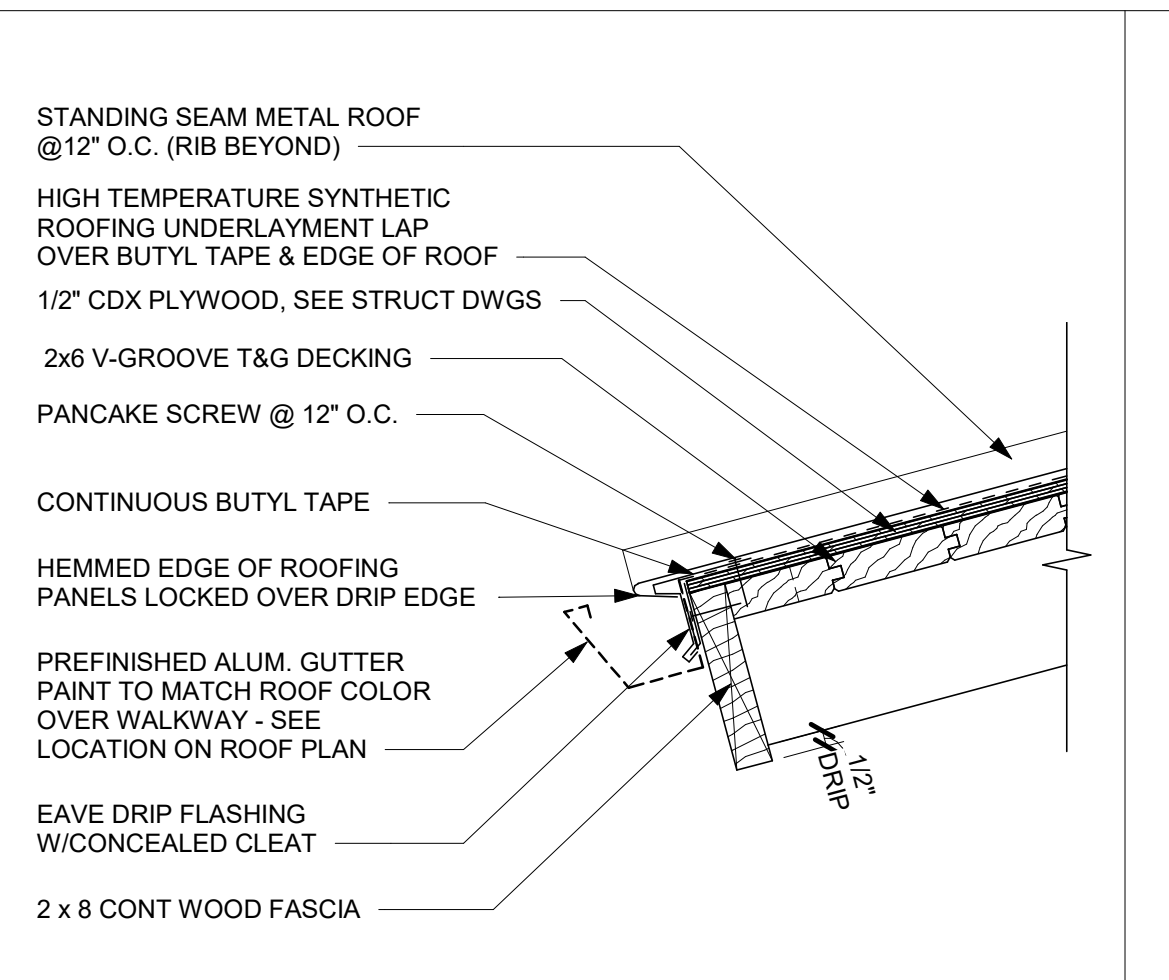
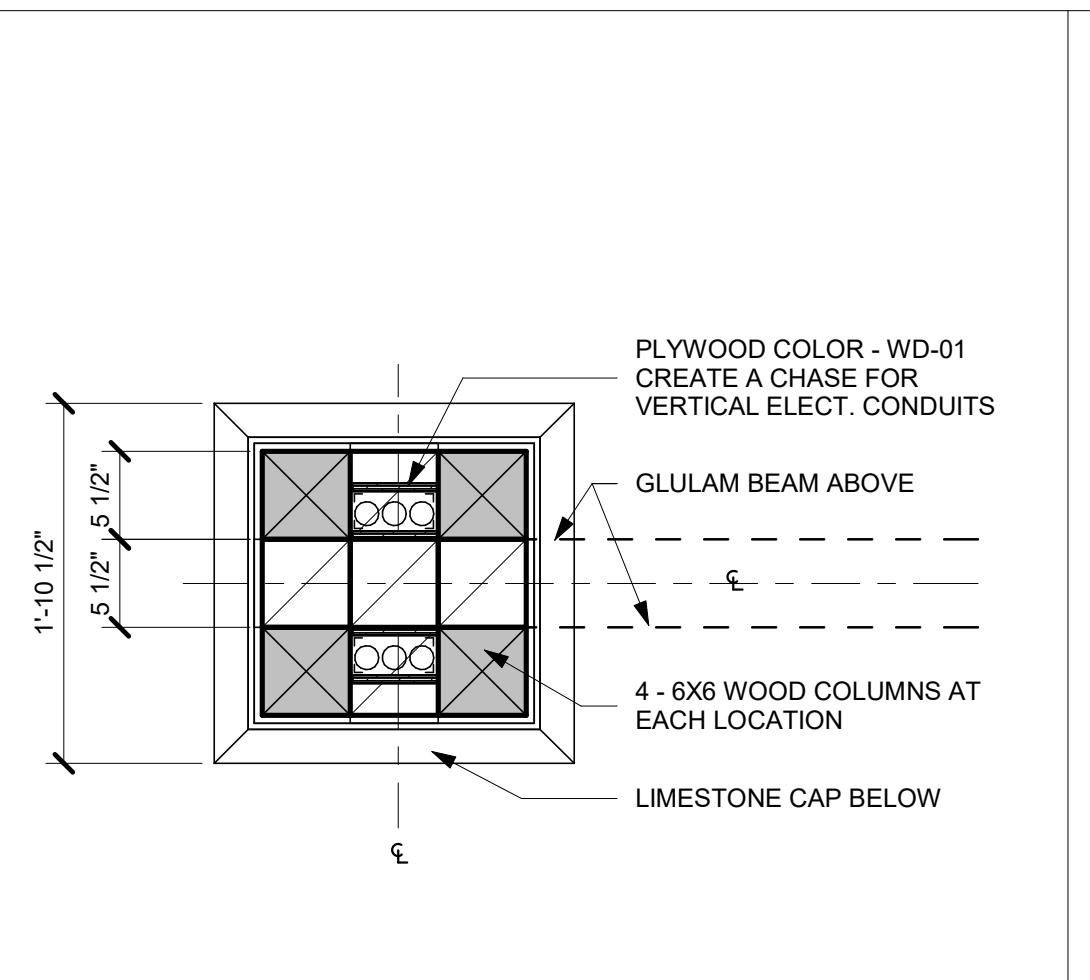
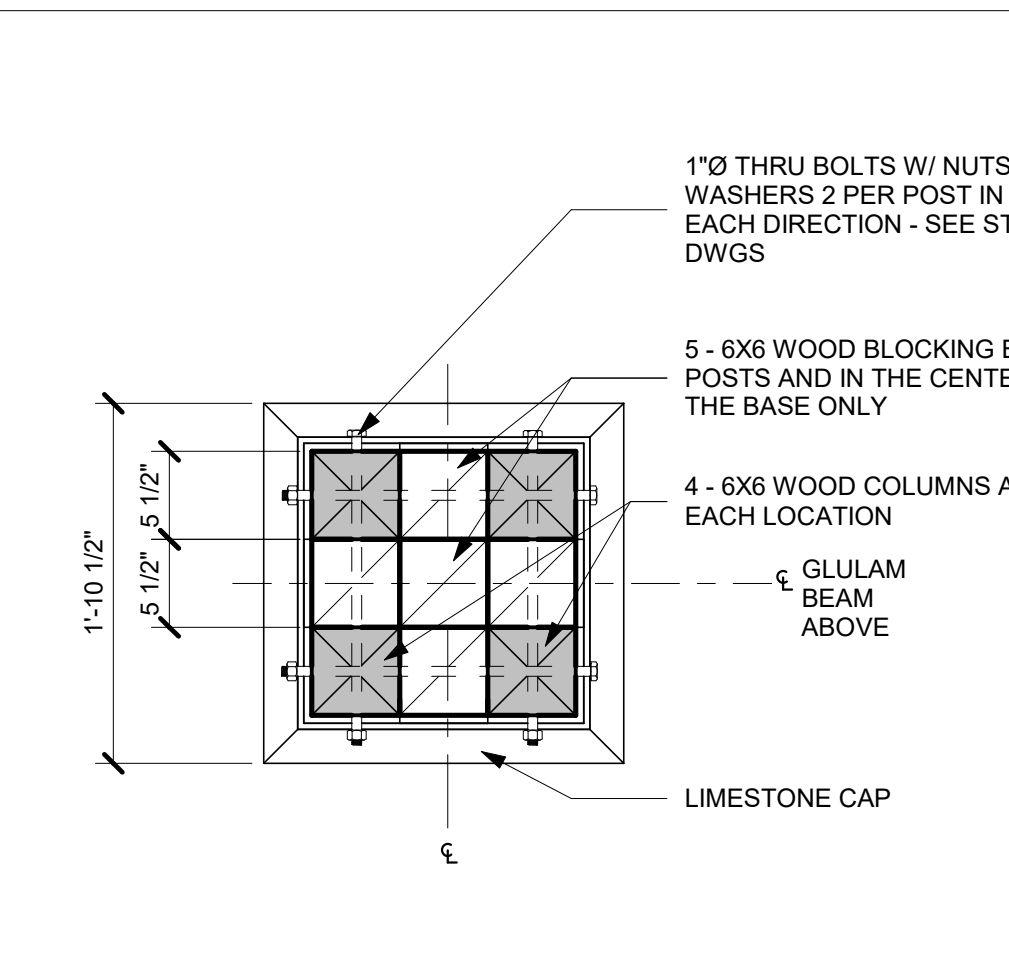
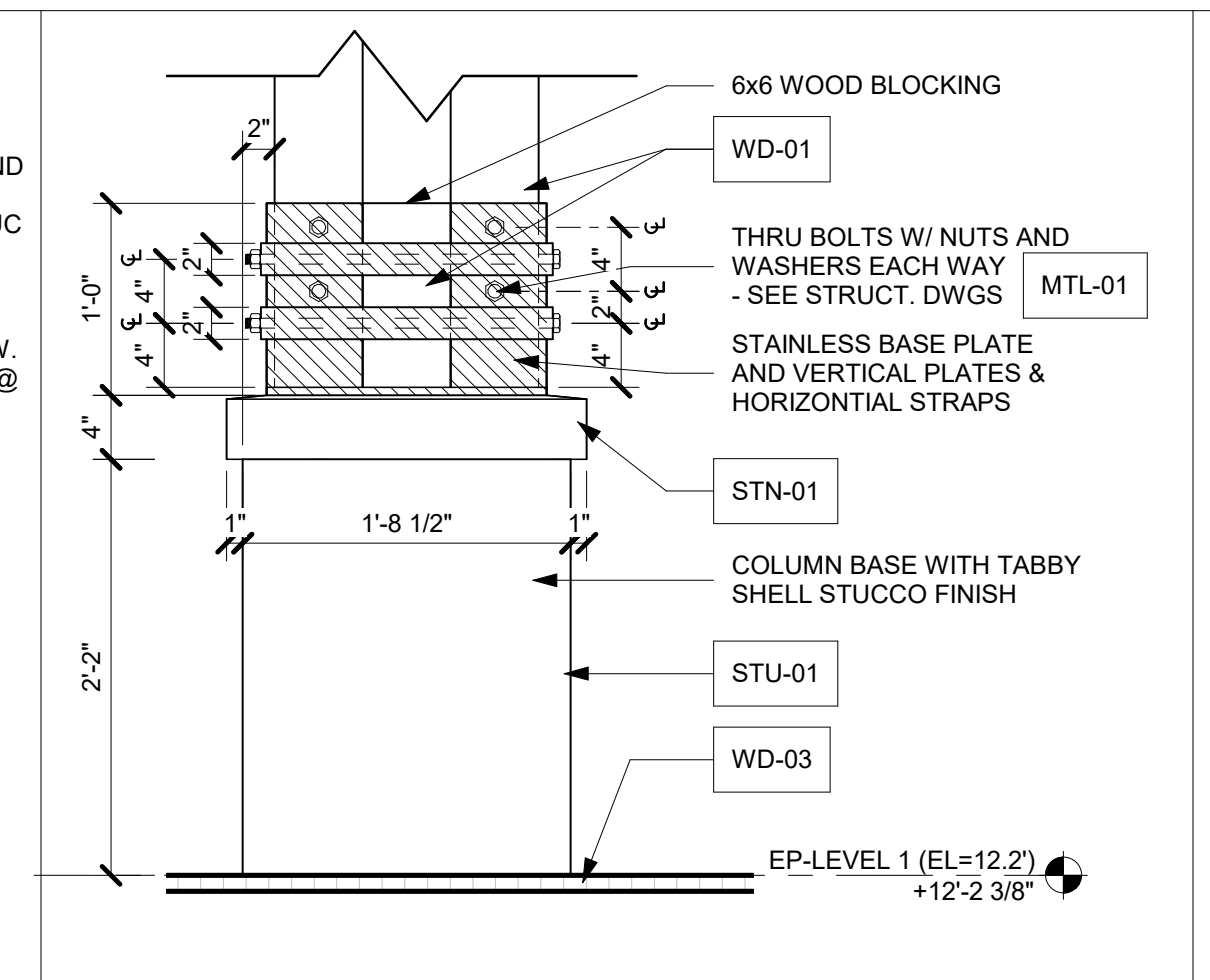
MATERIAL LEGEND

- STU-01**
TABBY SHELL STUCCO
LIGHT TAN EARTH TONE
- WD-01**
NEW WOOD COLUMN / BEAMS, FASCIA AND LOUVERS / TAG CEILING
WOOD SPECIE: SOUTHERN YELLOW PINE - SMOOTH FINISH
PENETRATING SEMI-TRANSPARENT STAIN & SEALER
SAMPLE COLOR: VALSPER - MONTICELLO TAN
- WD-02**
WOOD RAILING
WOOD MATERIAL/COLOR: MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL
- WD-03**
WOOD DECK
WOOD SPECIE: CLEAR HARDWOOD
COLOR: CLEAR COAT NATURAL
- WD-05**
WOOD LOUVER
WOOD & COLOR: MATCH WD-01
- MTL-01**
WOOD STRUCTURAL STEEL CONNECTIONS
FINISH: STAINLESS STEEL
- STN-01**
STONE CAP
SPECIE: NATURAL LIMESTONE
COLOR: NATURAL HONED FINISH TO MATCH TABBY PLASTER
- RF-02**
STANDING BEAM METAL ROOFING
MANUFACTURER: PACCLAD
COLOR: CITY SCAPE

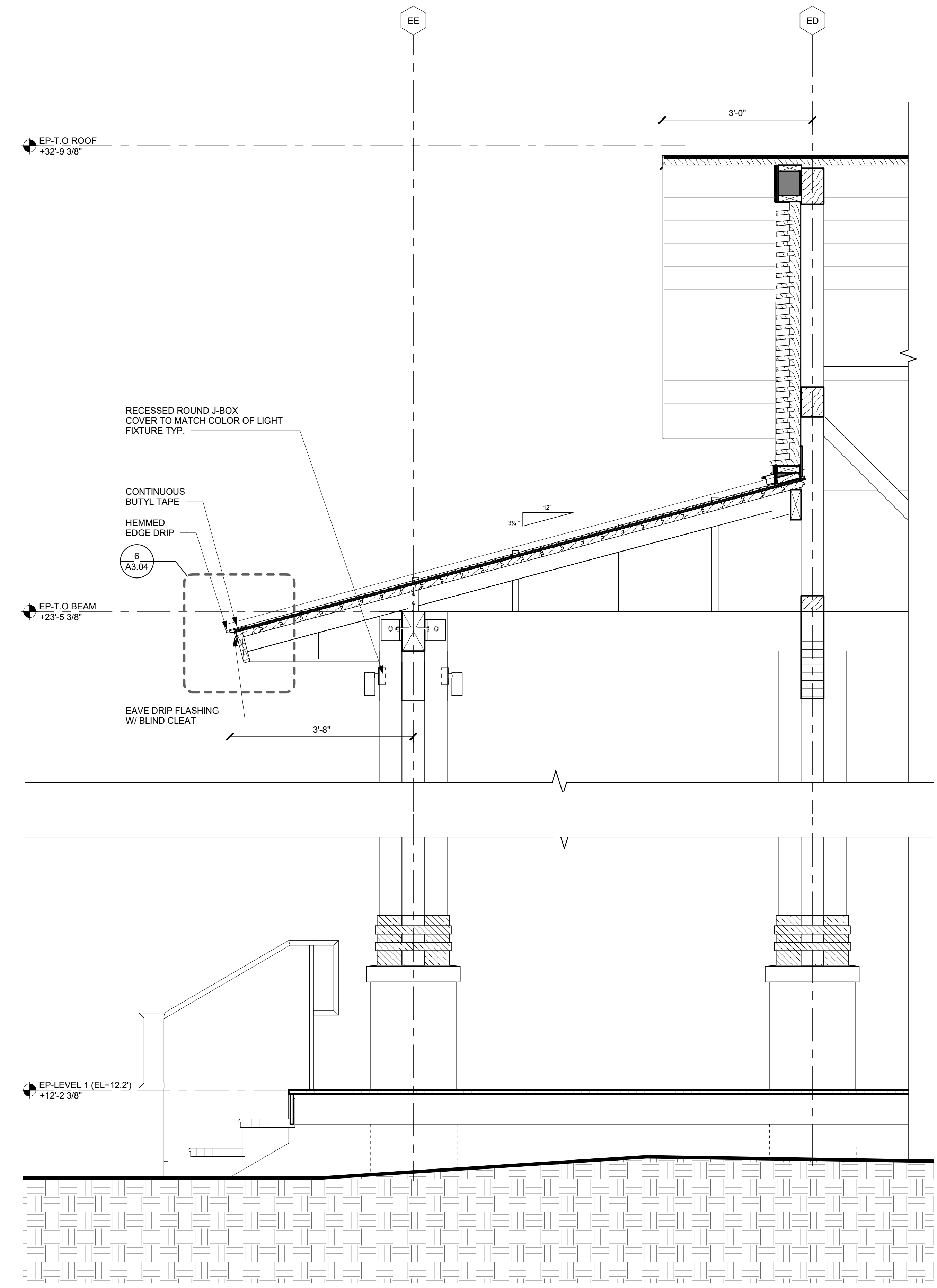
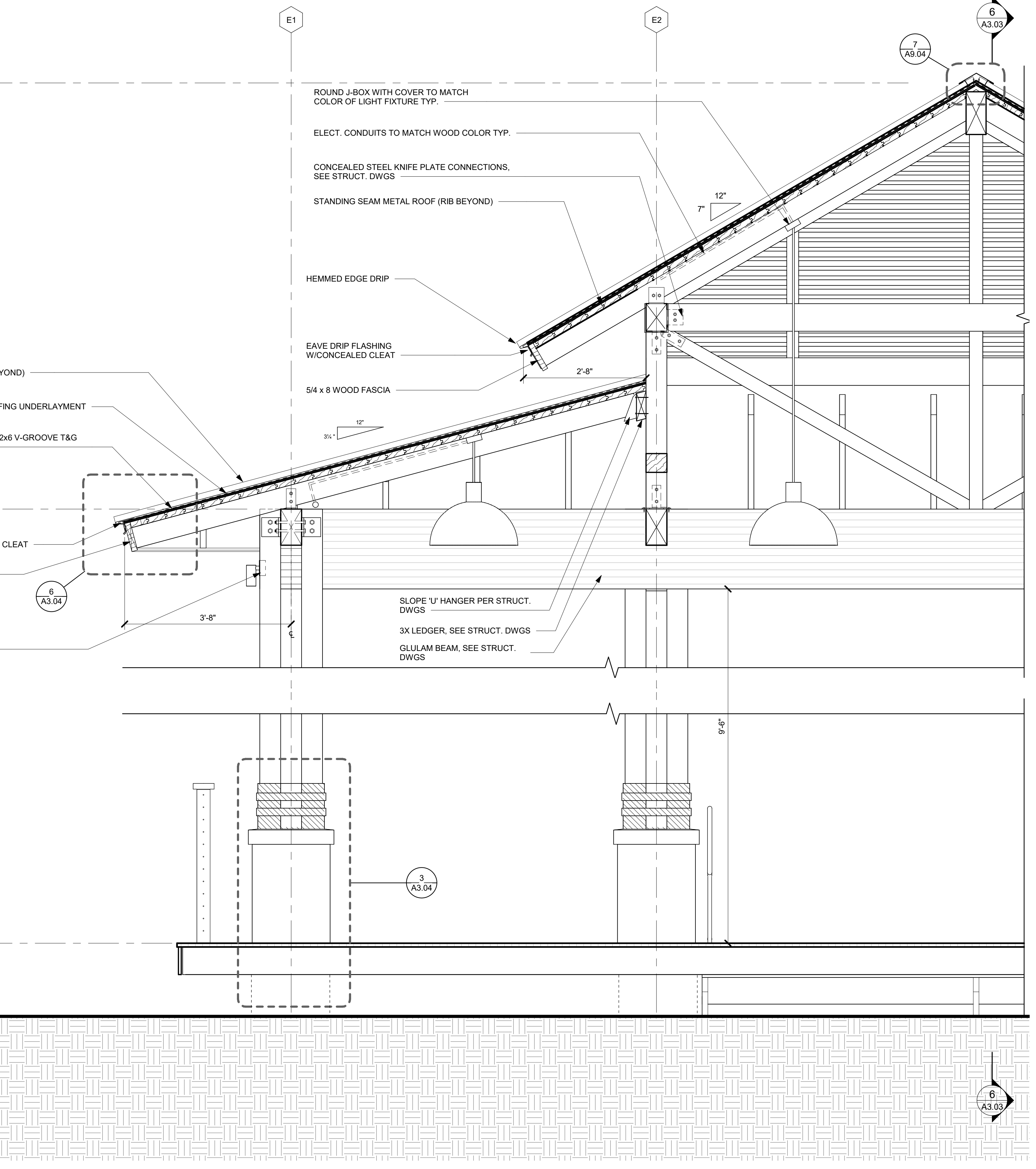


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EVENT PAVILION - SIDE 1 ELEVATION - Callout 1 1/2" = 1'-0" 9 PAVILION ROOF EDGE DETAIL 1 1/2" = 1'-0" 6 COLUMN-EVENT PAVILION 1" = 1'-0" 5 COLUMN-EVENT PAVILION 1" = 1'-0" 4 TYP. BASE COLUMN ELEV. DETAIL 1" = 1'-0" 3



PAVILION GABLE END WALL SECTION 3/4" = 1'-0" 2 PAVILION LONGITUDINAL WALL SECTION 3/4" = 1'-0" 1



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EVENT PAVILION - 3D
VIEWS

sheet title

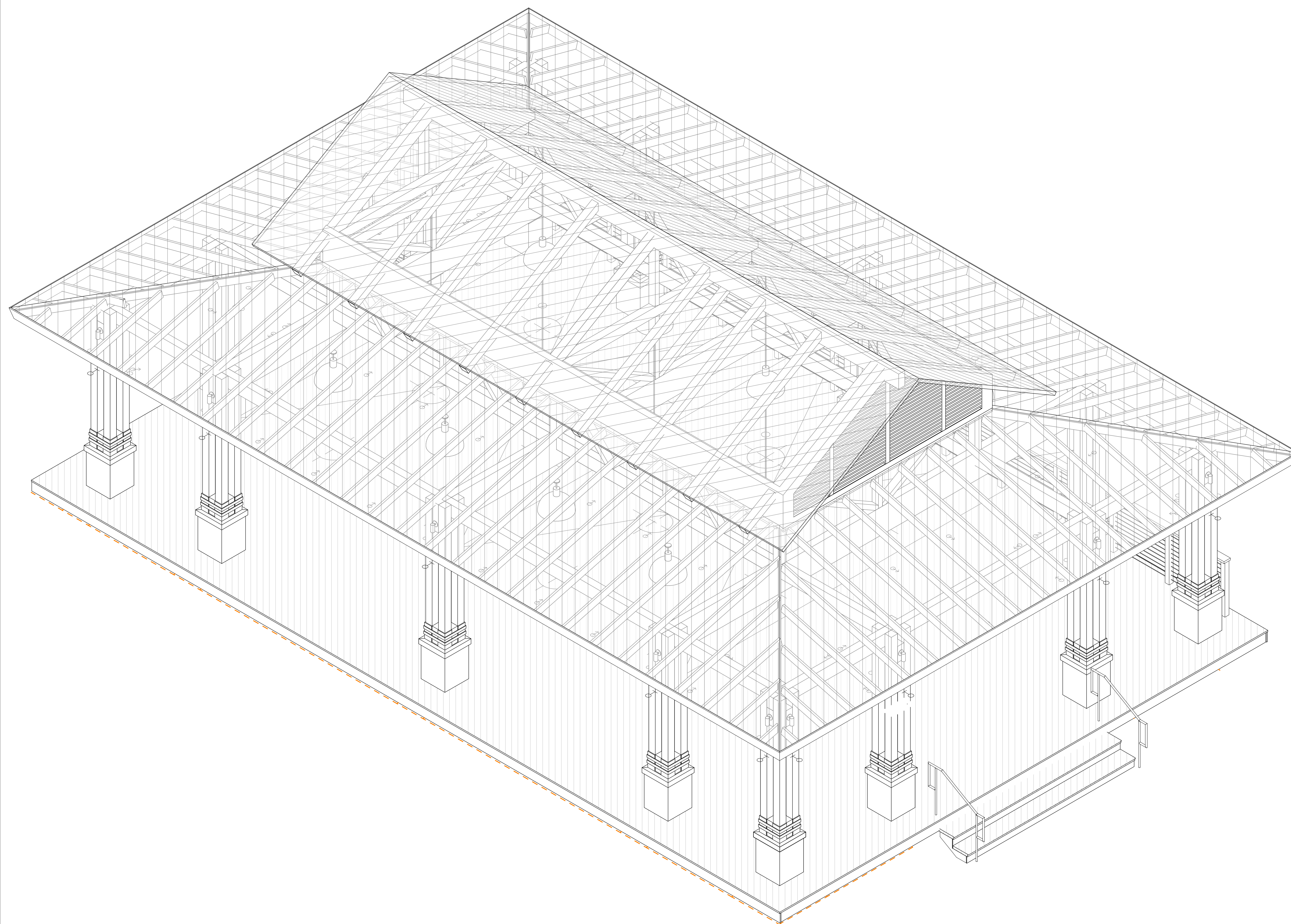
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checked by: AA
drawn by: IZ/NP/HM

component

A3.05

sheet no.



PREFERRED DESIGN

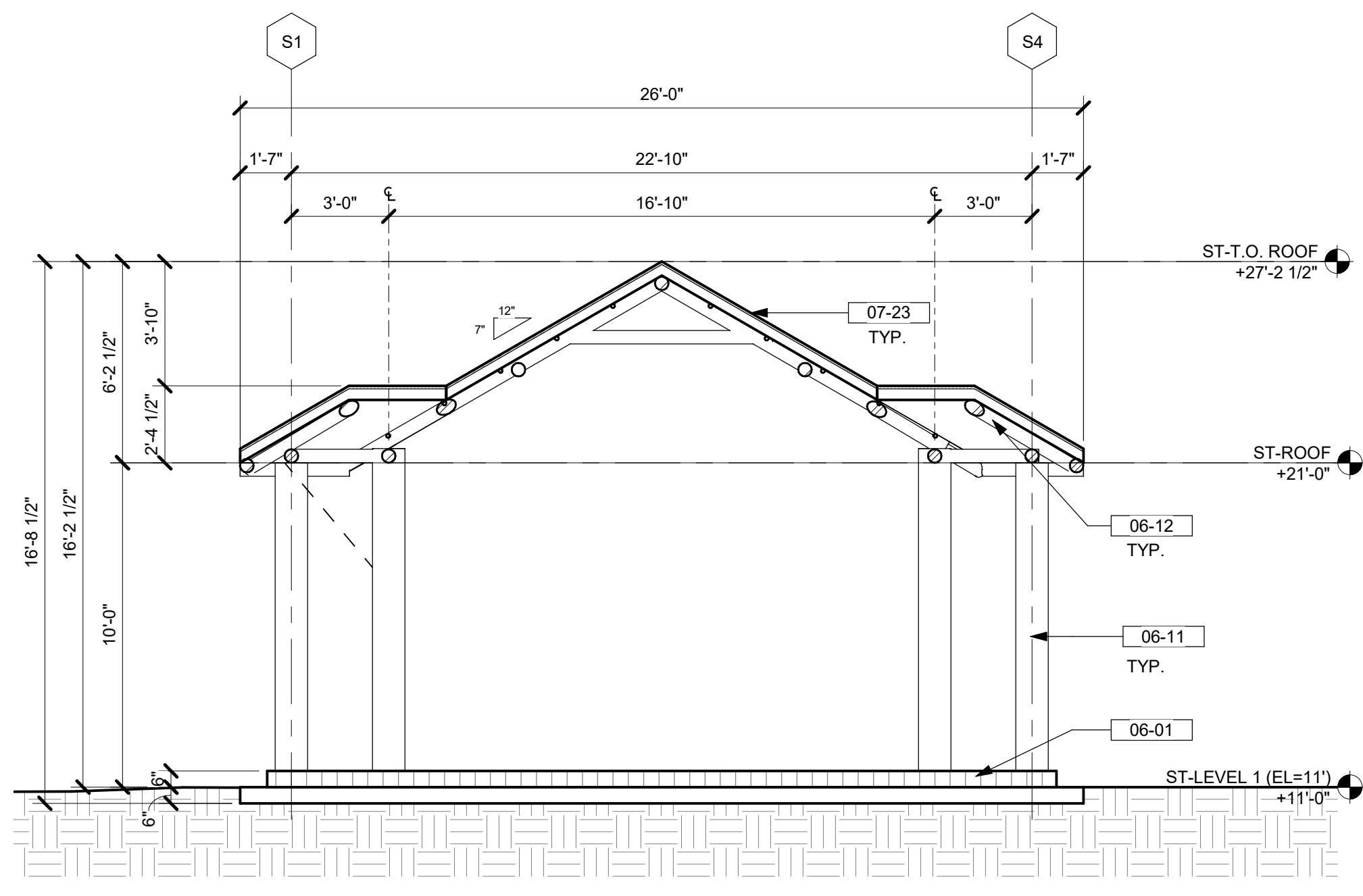
ALTERNATE STUDY
(NOT PREFERRED)

COLUMN BASE STUDY OPTION

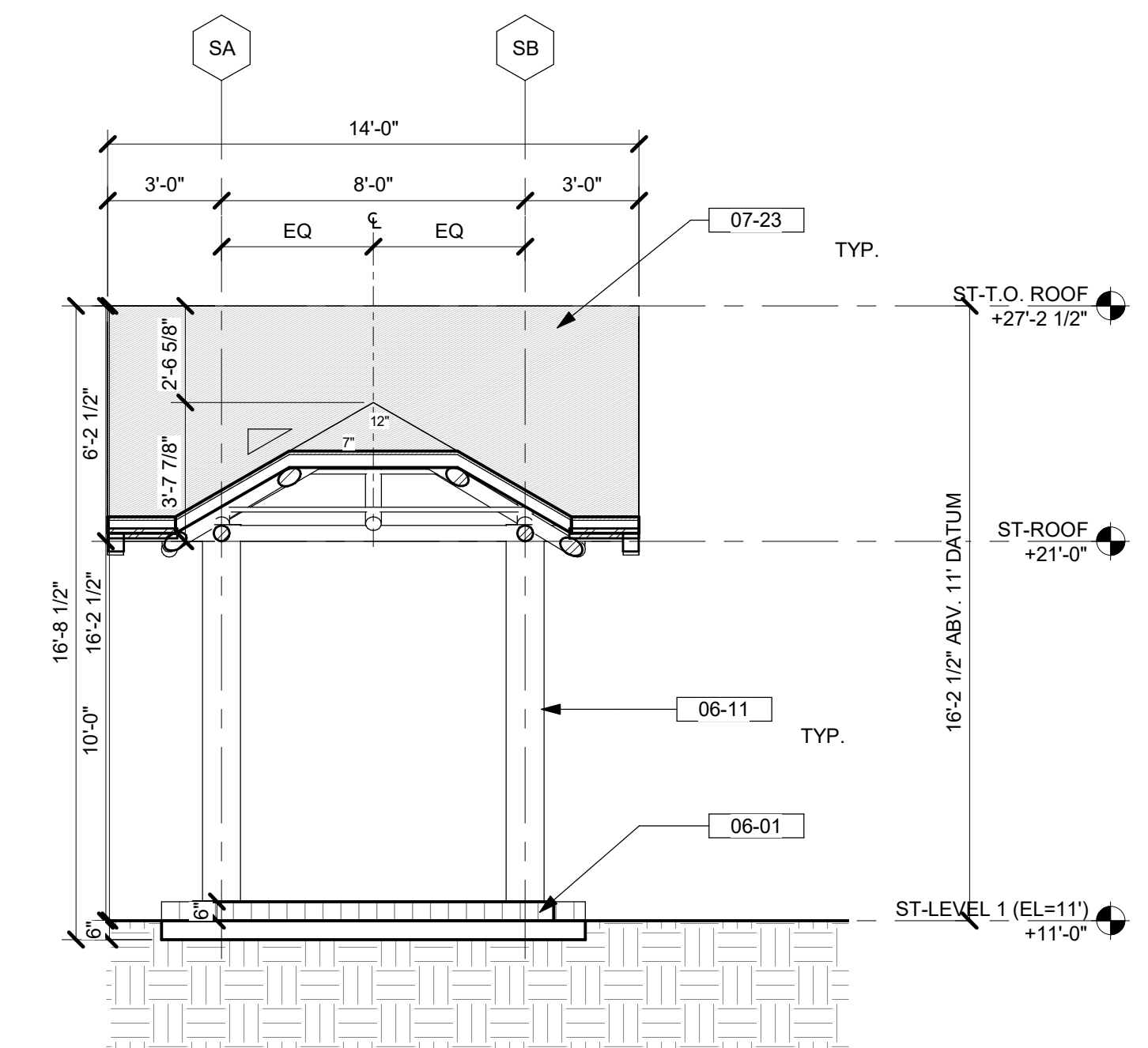
EVENT PAVILION 3D

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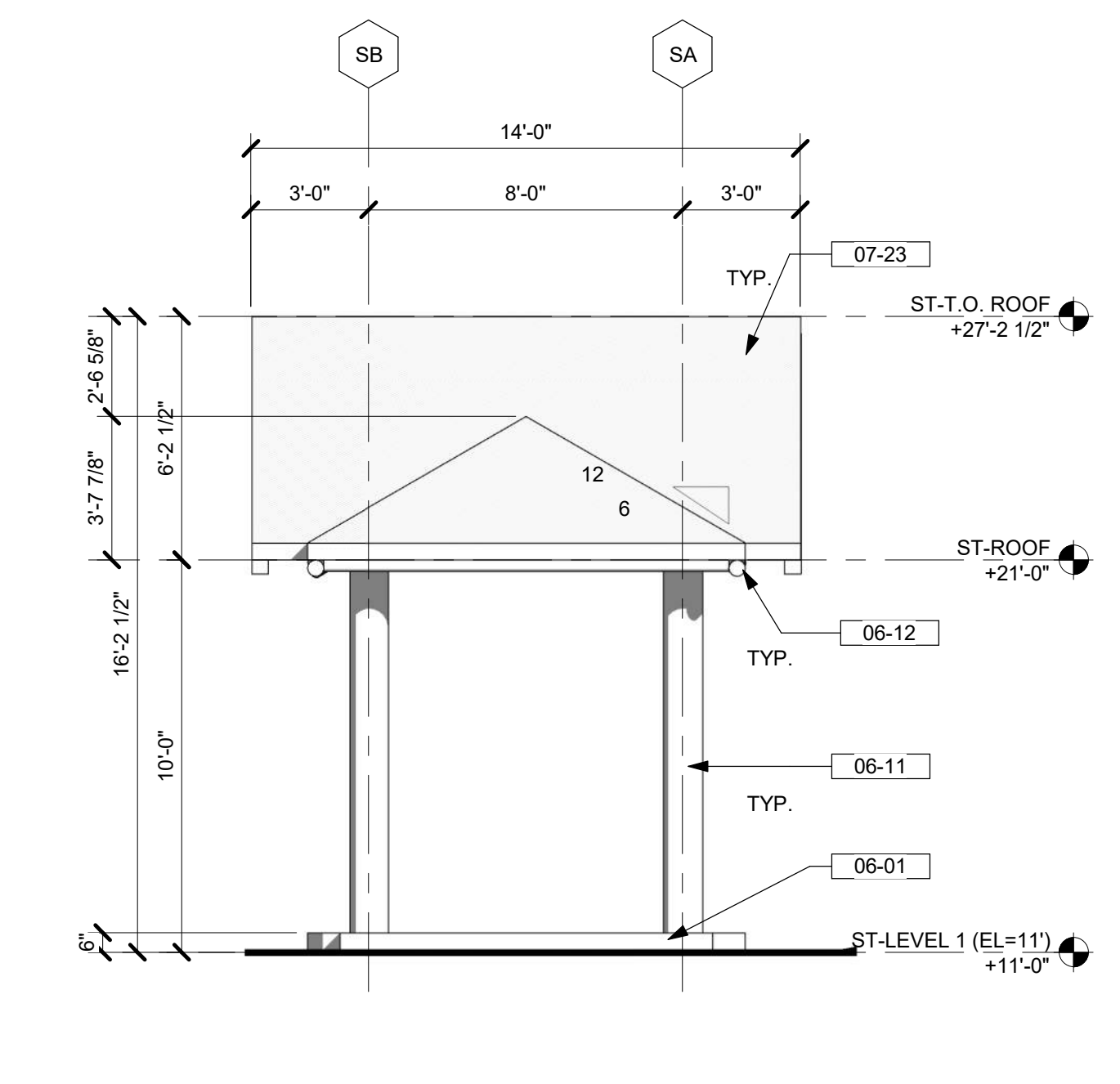
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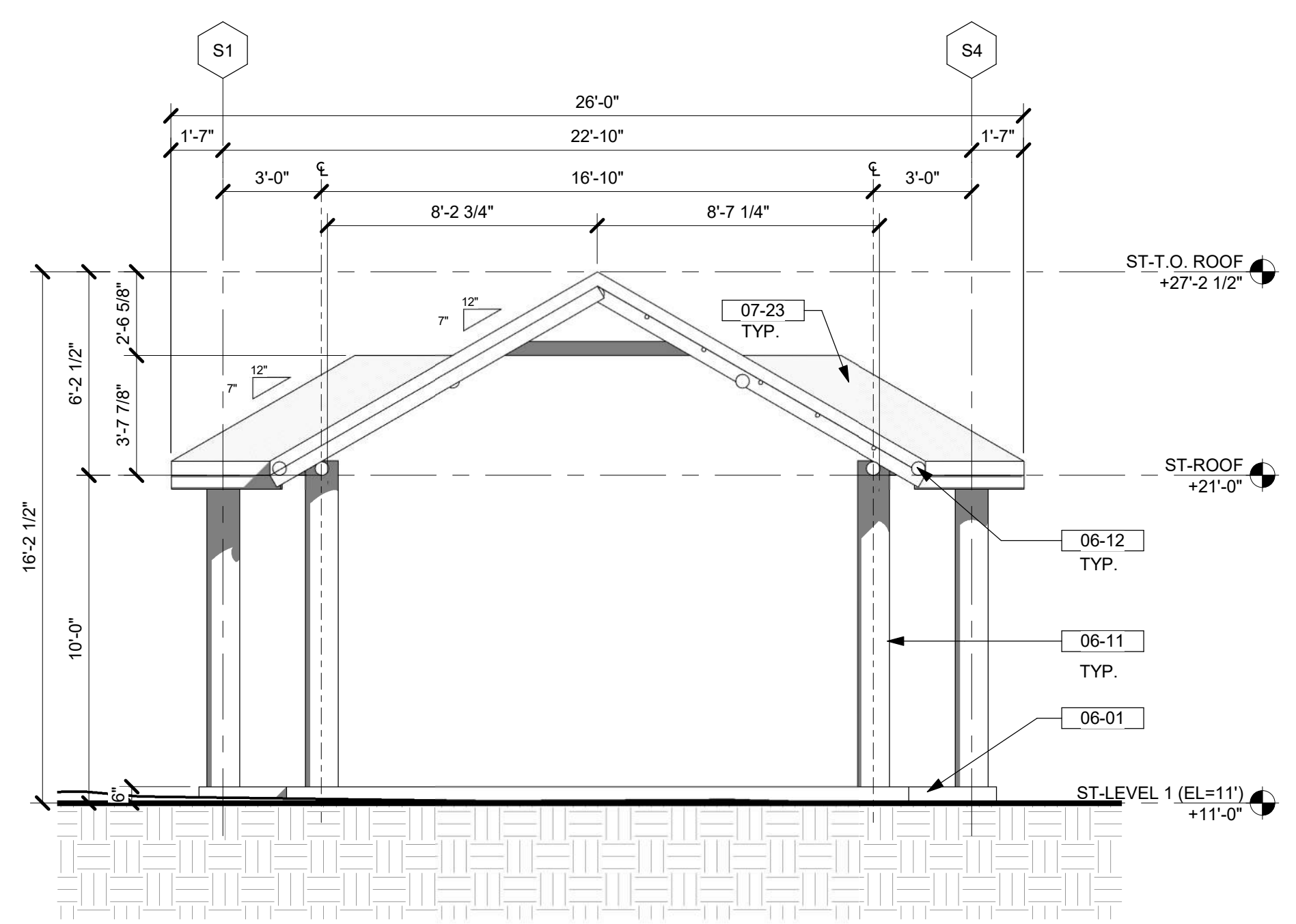
9 STAGE - SECTION B
1/4" = 1'-0"



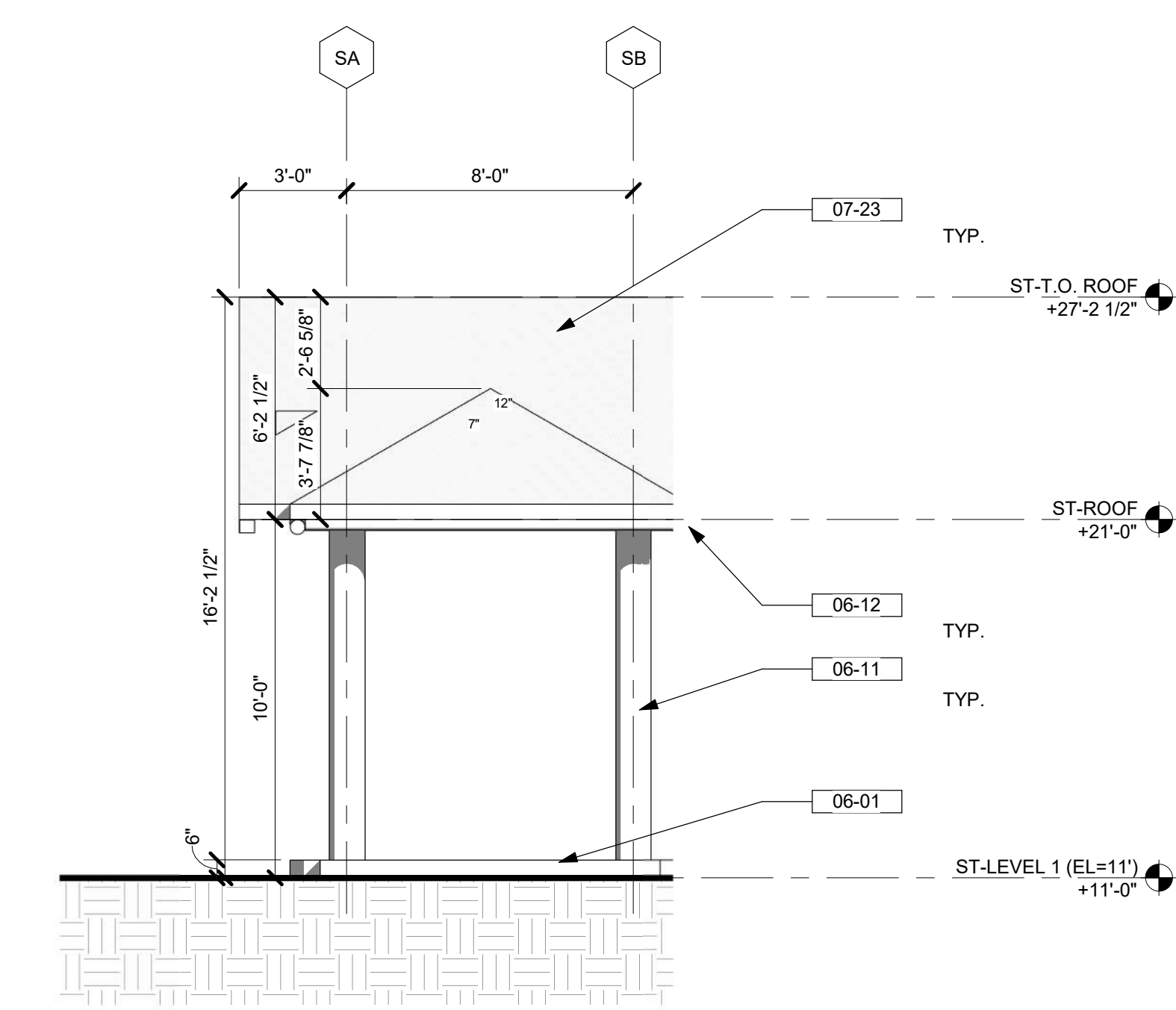
8 STAGE - SECTION A
1/4" = 1'-0"



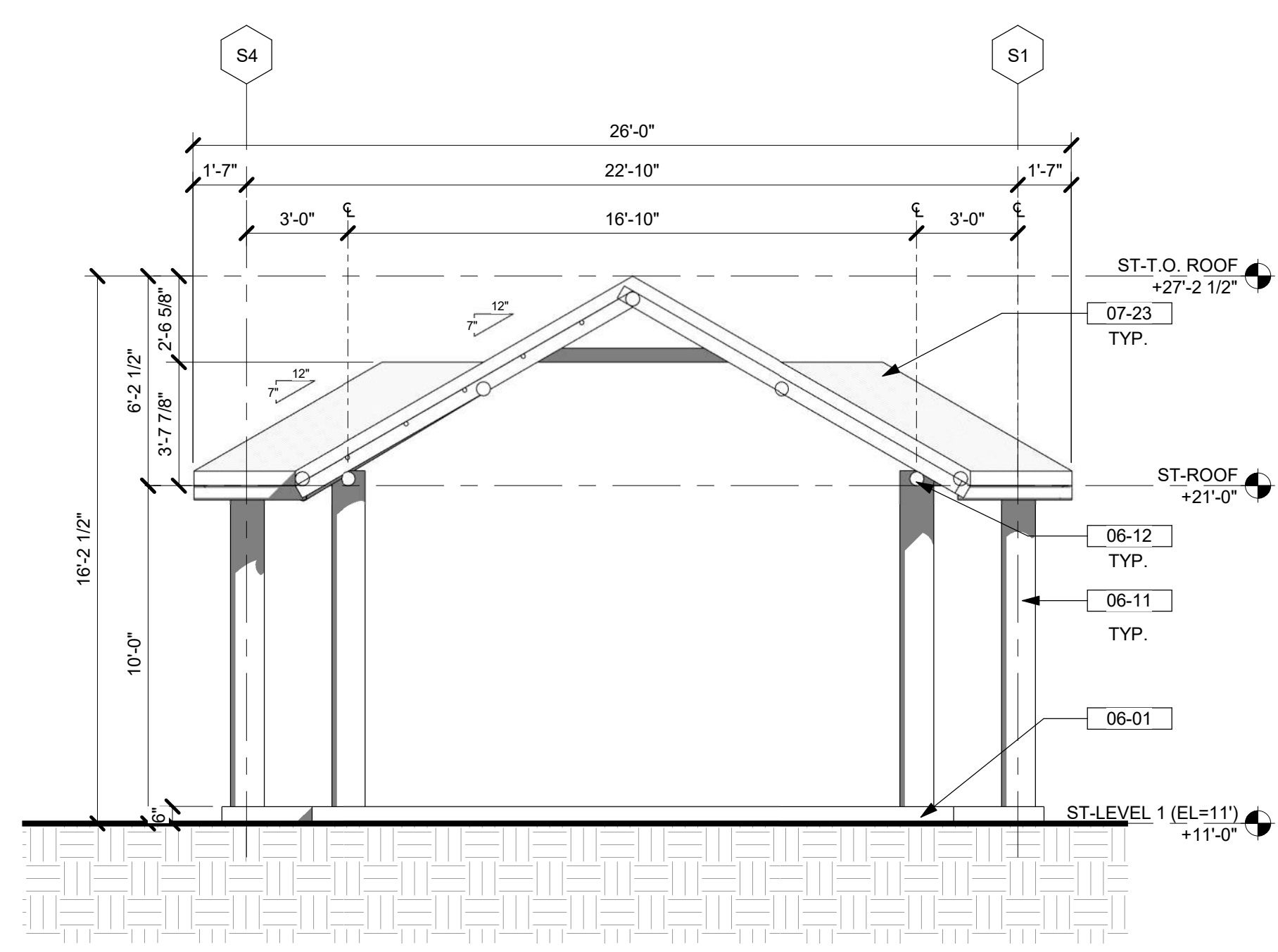
7 STAGE - REAR ELEVATION
1/4" = 1'-0"



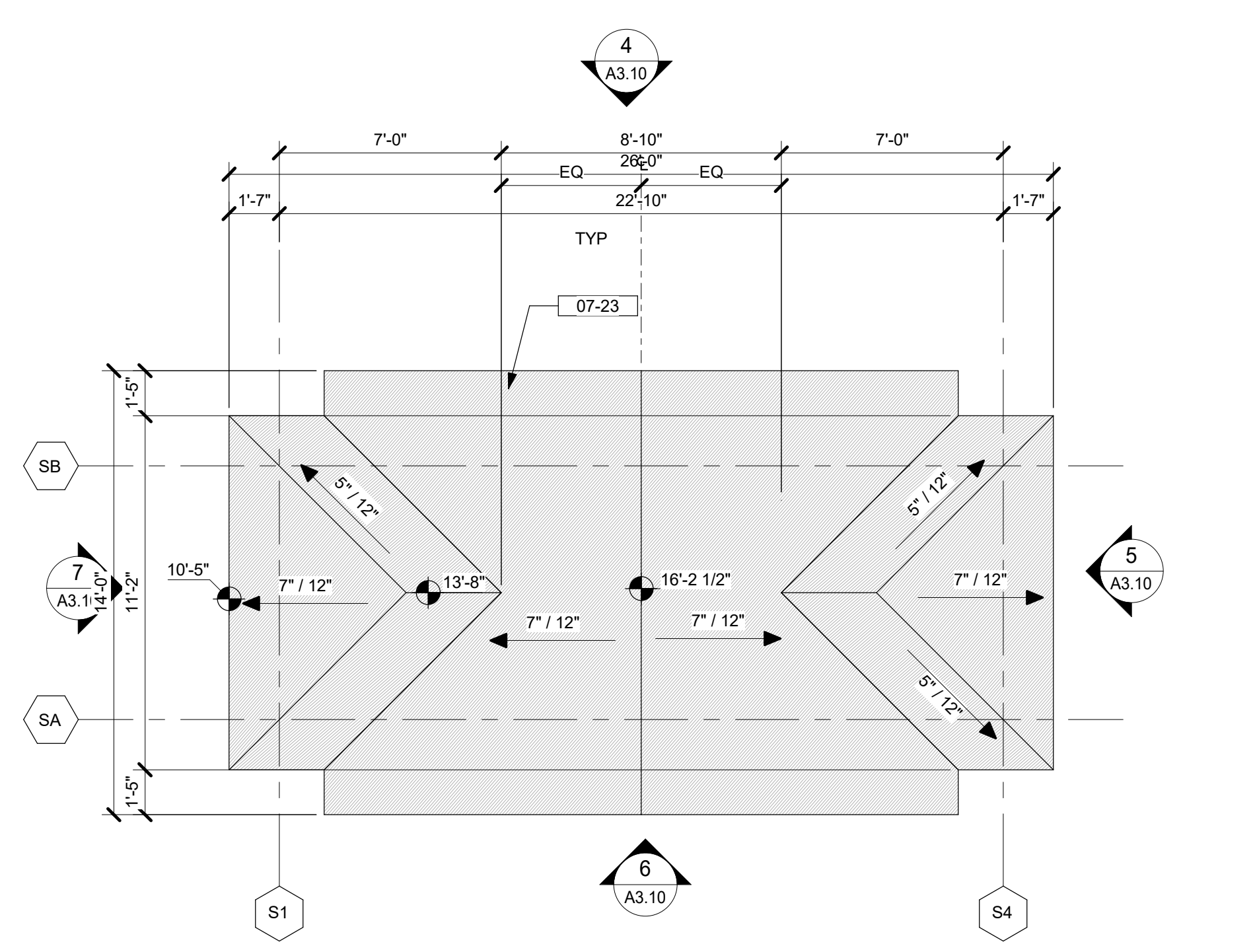
6 STAGE - SIDE 1 ELEVATION
1/4" = 1'-0"



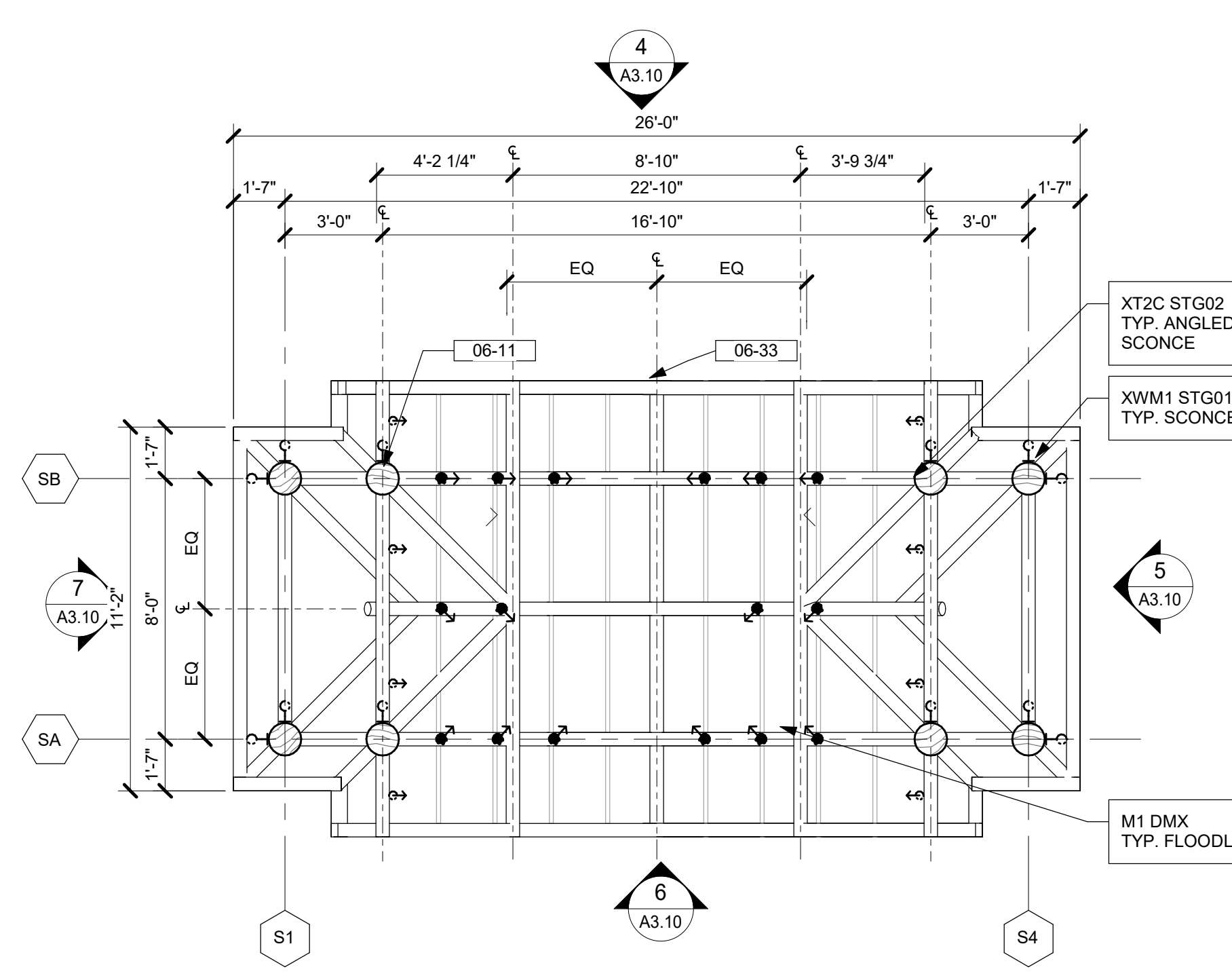
5 STAGE - FRONT ELEVATION
1/4" = 1'-0"



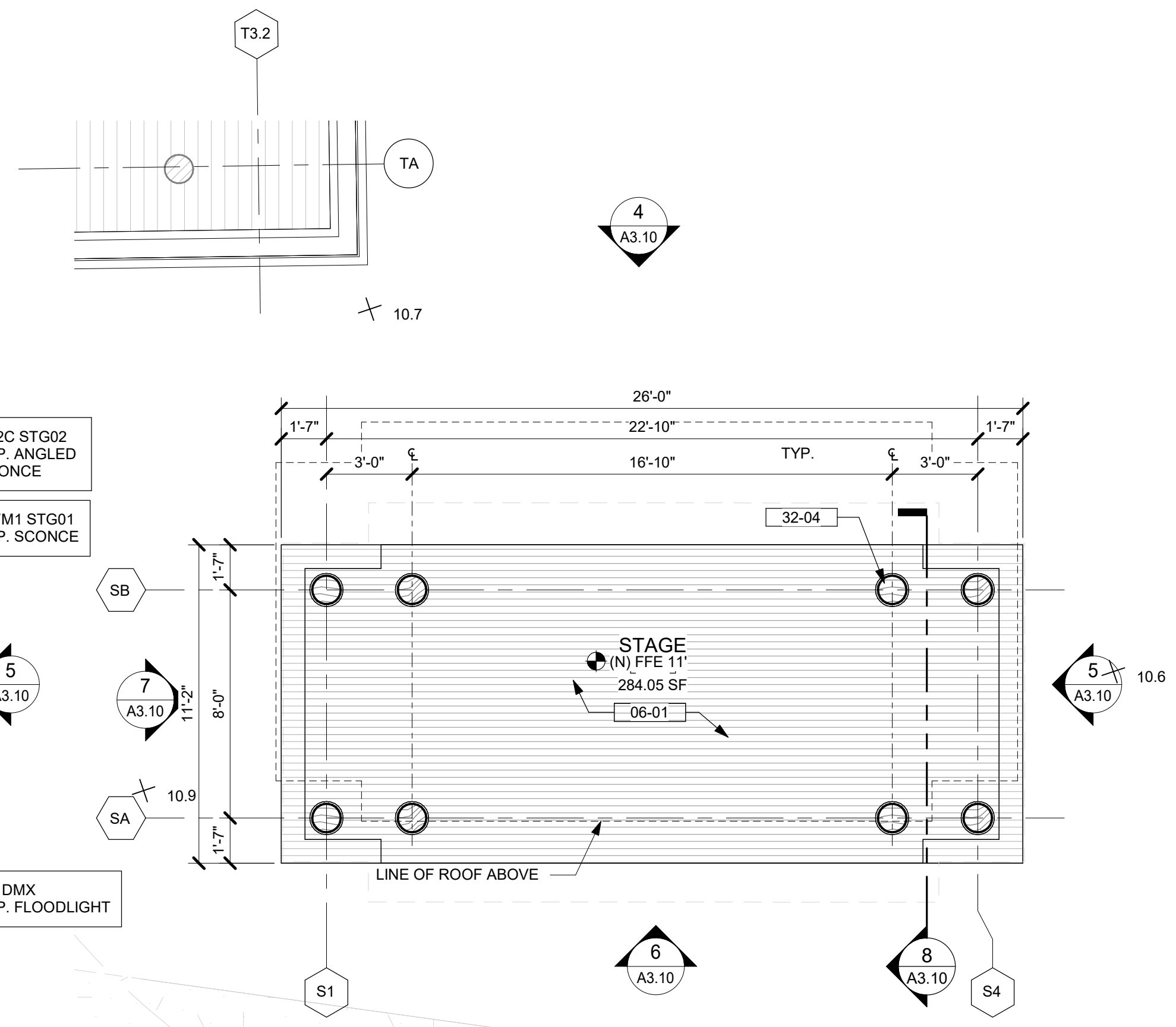
4 STAGE - SIDE 2 ELEVATION
1/4" = 1'-0"



3 STAGE - ROOF PLAN
1/4" = 1'-0"



2 STAGE - RCP
1/4" = 1'-0"



1 STAGE - FLOOR PLAN
1/4" = 1'-0"

- KEYNOTES / LEGENDS**
- GRID LINES
 - EXISTING TO REMAIN
 - NEW WALLS AND PARTITIONS - REFER TO WALL TYPES
 - SLOPE ARROW, SLOPE 1/8" PER FOOT @ INTERIOR AREAS & 1/4" PER FOOT @ EXTERIOR AREAS U.N.O.
 - SPOT ELEVATION PER SURVEY
 - PENDANT / CEILING MOUNTED REFER TO INTERIOR, ELECTRICAL, & LIGHTING DESIGN DWGS
 - SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL, & LIGHTING DWGS.
 - SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL, & LIGHTING DWGS.

- 06-01 WOOD DECK - WD - 03
- 06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
- 06-12 WOOD BEAM - SEE STRUCT. DWGS - WD - 07
- 06-33 WOOD ROOF TRUSS - SEE STRUCT. DWGS - WD - 06
- 07-23 THATCH ROOF - RF - 01
- 32-04 1/2" ROUND OFFSET FOR OPENINGS AROUND COLUMN

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



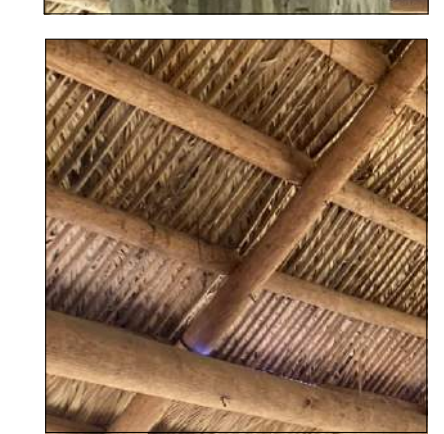
RF-01
NEW THATCH ROOF TO MATCH EXISTING



WD-03
WOOD DECK
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR COAT NATURAL



WD-06
NEW WOOD COLUMN (8" DIA. MAX)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING



WD-07
NEW WOOD BEAM AND RAFTERS
WOOD SPECIE: SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR: CLEAR COAT NATURAL



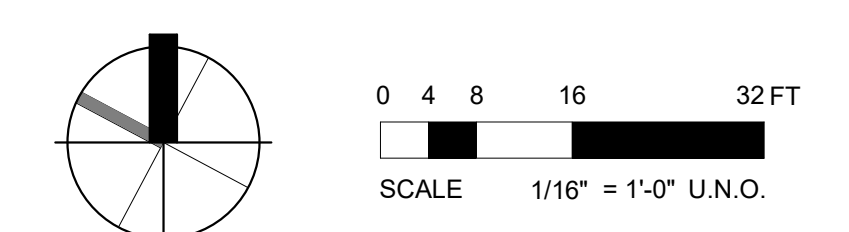
XWM1 STG01
TYP. SURFACE MOUNTED SCIONCE
FINISH: BRONZE LIVING PATINA
COUNT: 12



XT2C STG02
TYP. SURFACE MOUNTED ANGLED SCIONCE
FINISH: BRONZE LIVING PATINA
COUNT: 6



M1 DMX
TYP. SURFACE MOUNTED RGBW COLOR LED FLOODLIGHT
FINISH: BRONZE
COUNT: 16



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STAGE - ENLARGED FLOOR/RCP/ROOF/ELV/SEC

sheet title

project no. 212041 date 08/15/2023

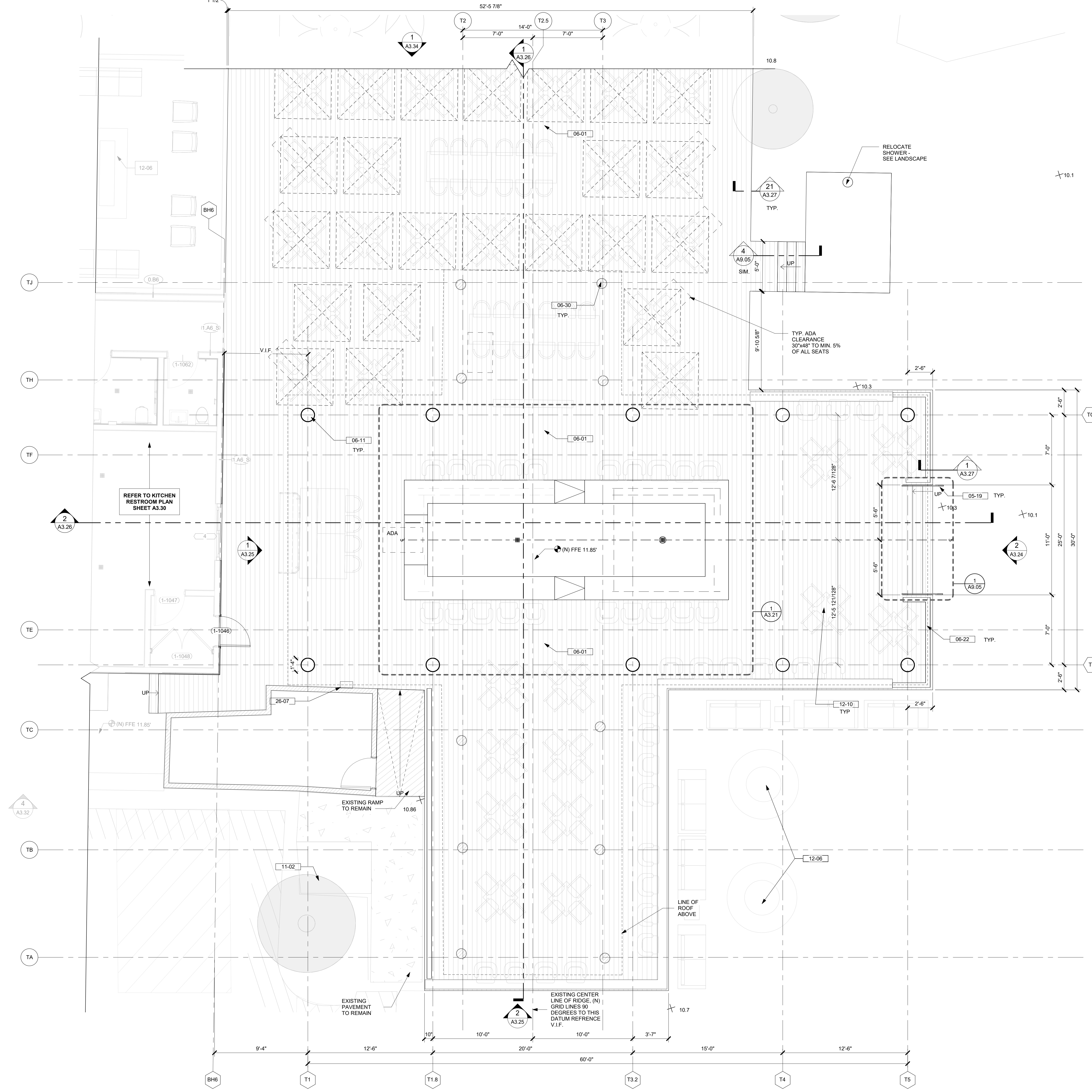
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sheet no.

A3.10

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KEYNOTES / LEGENDS

	EXISTING TO REMAIN
	NEW
	N.I.S.
	FLOOR DRAIN
	SLOPE ARROW. SLOPE 1/8" PER FOOT @ INTERIOR AREAS & 1/4" PER FOOT @ EXTERIOR AREAS U.N.O.
	SPOT ELEVATION PER SURVEY

- 05-19 HANDRAIL - STAINLESS STEEL
 06-01 WOOD DECK - WD - 03
 06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
 06-22 HANDRAIL AND GUARDRAIL - WD - 02
 06-30 EXISTING WOOD COLUMNS TO REMAIN. TYP.
 11-02 KITCHEN EQUIPMENT - SEE KITCHEN DWGS.
 12-06 FIREPIT. REFER TO LANDSCAPE DESIGN DWGS.
 12-10 DINING TABLE - SEE ID DWGS
 26-07 ELECTRICAL PANEL - SEE ELECT.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



- WD-02**
WOOD RAILING
WOOD MATERIAL/COLOR: MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL
- WD-03**
WOOD DECK
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR ODAT NATURAL
- WD-06**
NEW WOOD COLUMN @ TIKI BAR
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING



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issues revisions		

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TIKI BAR - ENLARGED FLOOR PLAN

sheet title
project no. 212041 date 08/15/2023

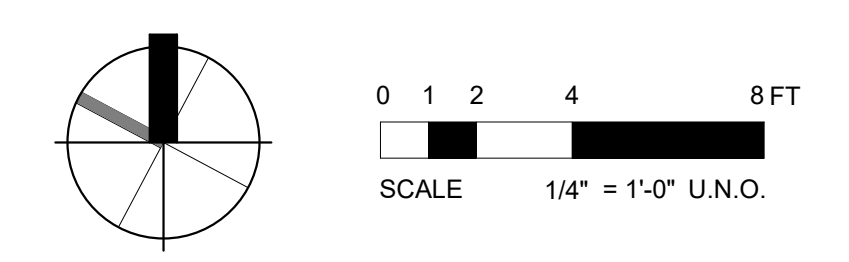
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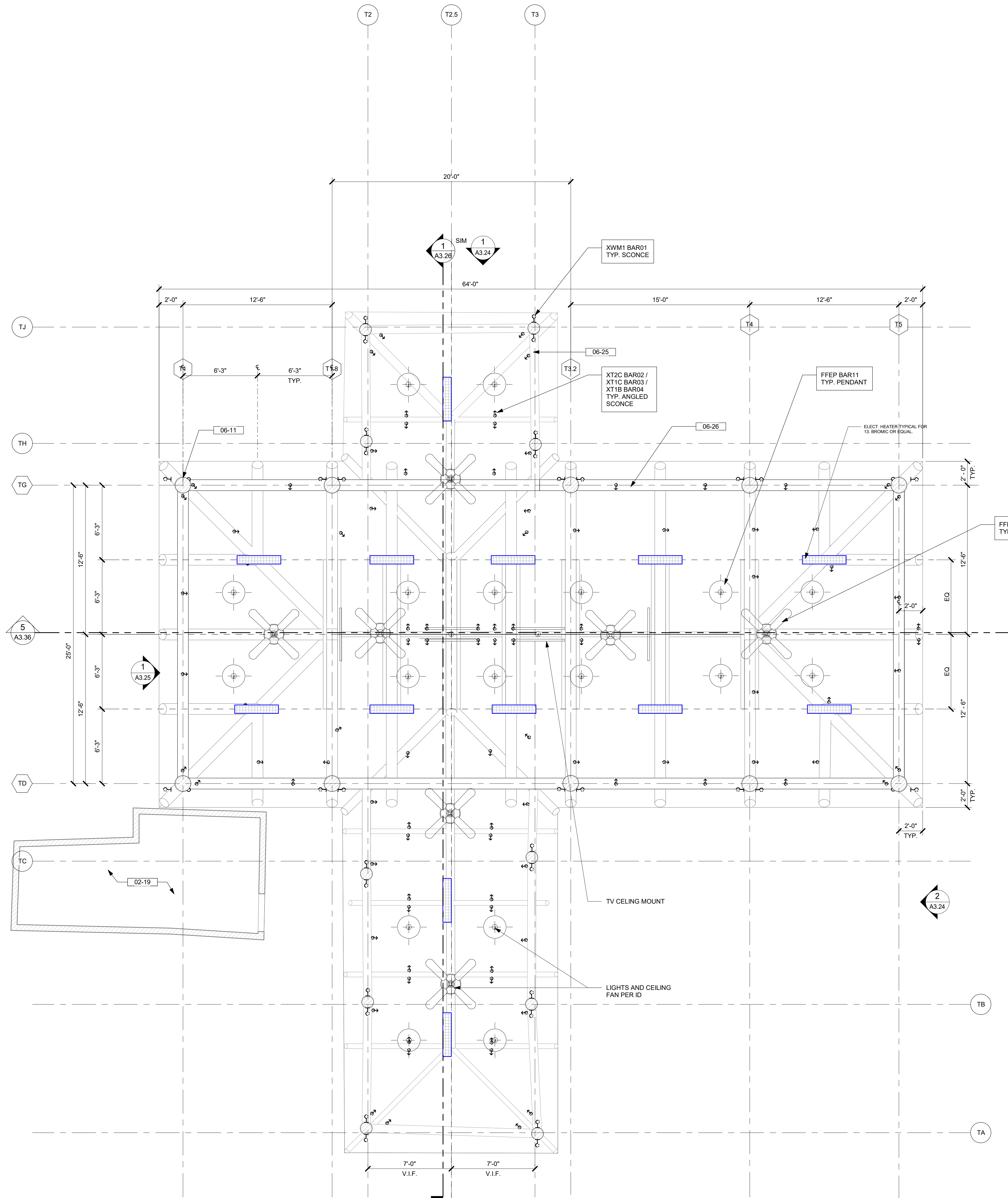
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A3.20

1 TIKI BAR - ENLARGED FLOOR PLAN
1/4" = 1'-0"

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1 TIKI BAR SECTOR REFLECTED CEILING PLAN
1/4" = 1'-0"

KEYNOTES / LEGENDS

- GRID LINES
- EXISTING TO REMAIN
- NEW WALLS AND PARTITIONS - REFER TO WALL TYPES
- PENDANT / CEILING MOUNTED REFER TO INTERIOR, ELECTRICAL, & LIGHTING DESIGN DWGS.
- SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
- SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
- SURFACE MOUNTED LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.
- SURFACE MOUNTED SCENCE LIGHT REFER TO INTERIOR, ELECTRICAL & LIGHTING DWGS.

02-19 EXISTING STORAGE SHED.
06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
06-25 EXISTING TIKI BAR STRUCTURAL MEMBERS TO REMAIN. PROTECT IN PLACE, U.N.O.
06-26 WOOD STRUCTURE - SEE STRUCT. DWGS - WD - 06

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND

WD-06
NEW WOOD COLUMN (8" TIKI BAR)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING

XWM1 BAR01
TYP. SURFACE MOUNTED SCENCE
FINISH: BRONZE LIVING PATINA
COUNT: 45

XT2C BAR02 / XT1C BAR03 / XT1B BAR04
TYP. SURFACE MOUNTED ANGLED SCENCE
FINISH: BRONZE LIVING PATINA
COUNT: 44 + 41 + 10 = 95

FFEF BAR12
TYP. CEILING FAN
FINISH: BRONZE
COUNT: 7

FFEF BAR11
TYP. CUSTOM MADE PENDANT
FINISH: MATTE BRONZE FINISH AND BRASS METAL POWDER COATED INSIDE
COUNT: 16

0 1 2 4 8 FT
SCALE 1/4" = 1'-0" U.N.O.

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TIKI BAR - ENLARGED REFLECTED CEILING PLAN
sheet title

project no. 212041 date 08/15/2023

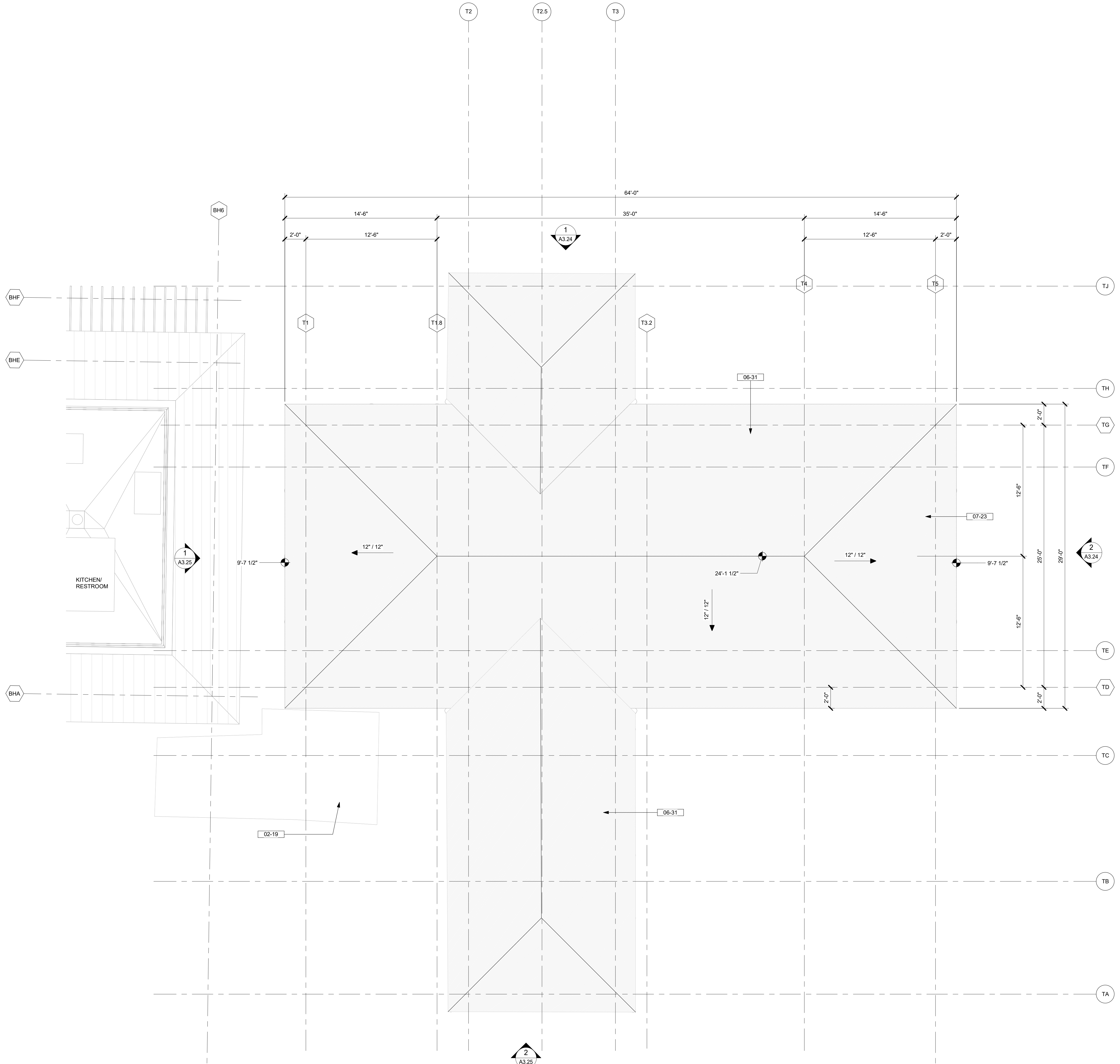
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A3.22

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1 TIKI BAR - ROOF PLAN
1/4" = 1'-0"

KEYNOTES / LEGENDS

- GRID LINES
- SLOPE ARROW

02-19 EXISTING STORAGE SHED.
06-31 EXISTING TIKI BAR STRUCTURE TO REMAIN.
07-23 THATCH ROOF - RF - 01

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



RF-01
NEW THATCH ROOF TO MATCH EXISTING

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TIKI BAR - ROOF PLAN

sheet title

project no. 212041 date 08/15/2023

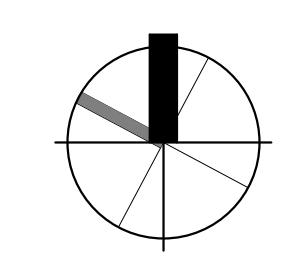
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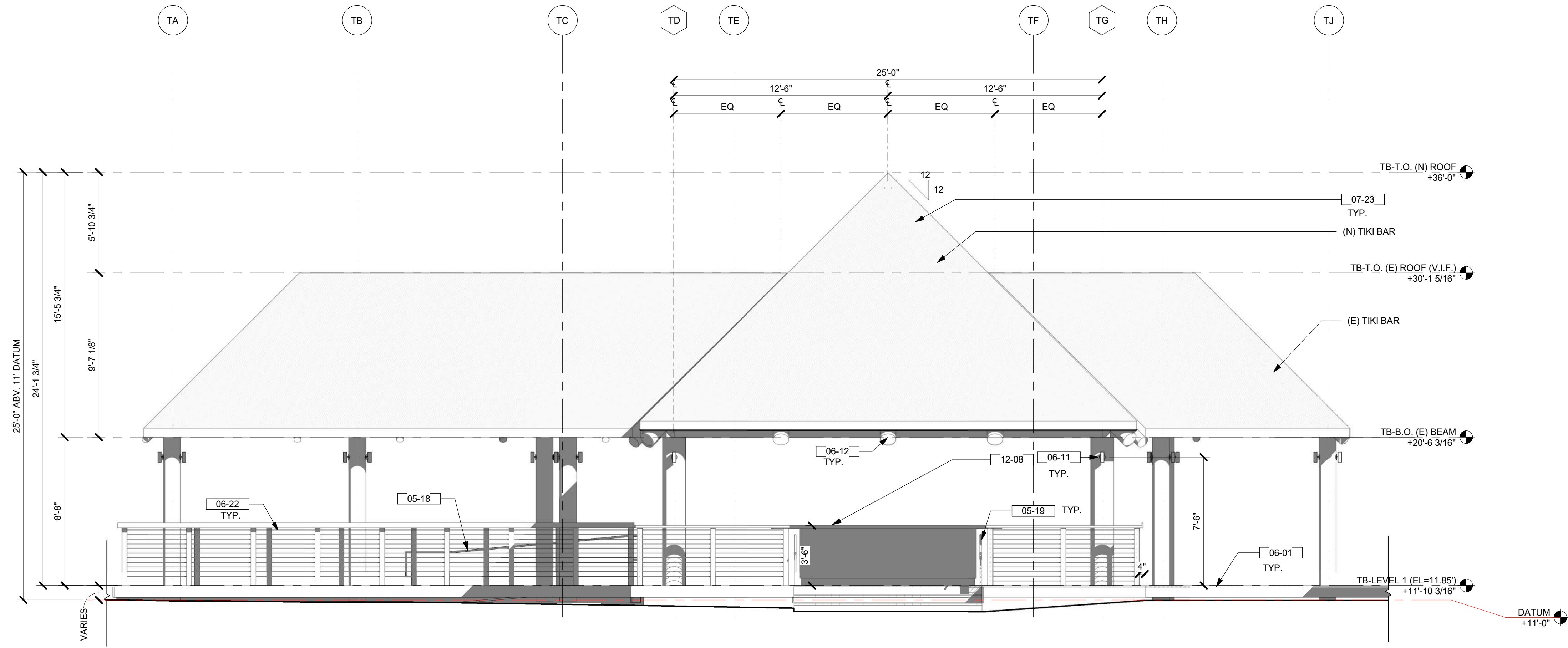
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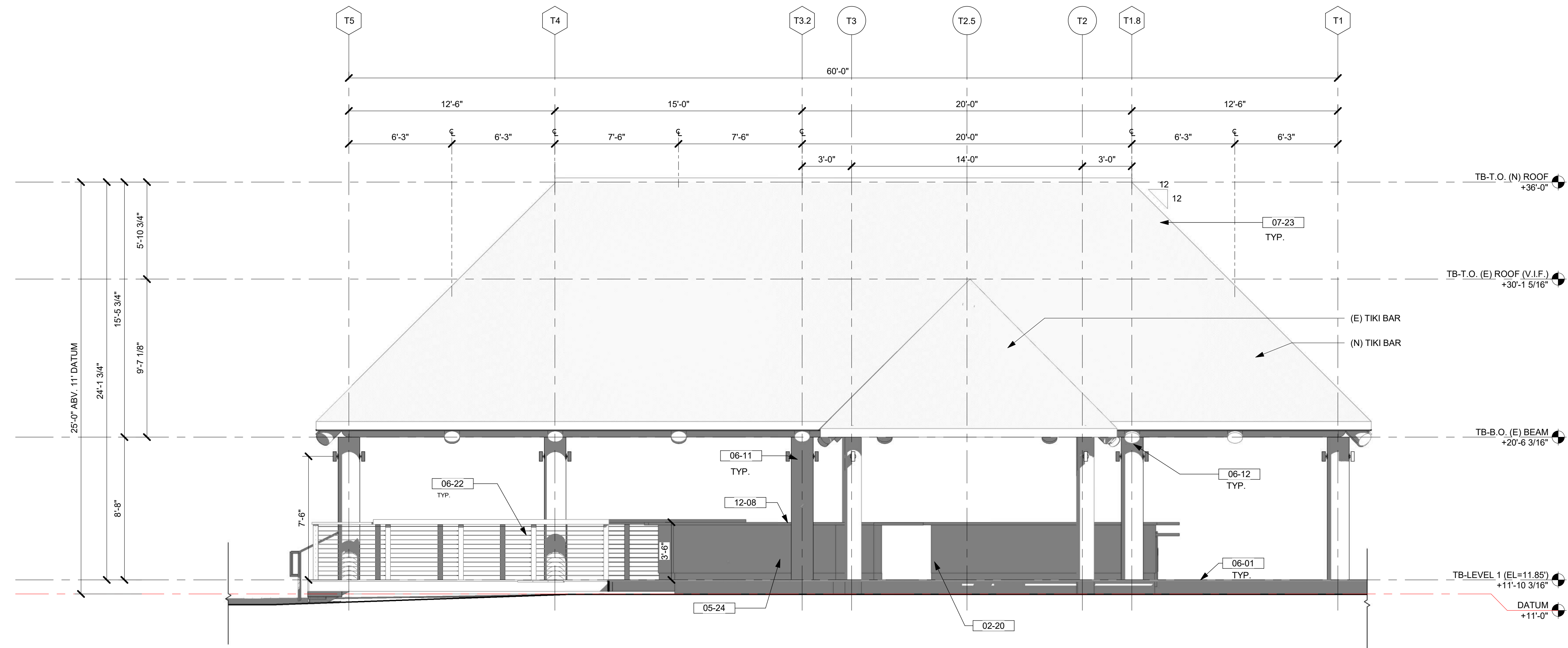
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0 0.5 1 2 4 FT
SCALE 1/2" = 1'-0" U.N.O.



2 TIKI BAR - FRONT ELEVATION
1/4" = 1'-0"



1 TIKI BAR - SIDE 1 ELEVATION
1/4" = 1'-0"

KEYNOTES / LEGENDS

NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'0" ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83

- (E): EXISTING
- (N): NEW

- 02-20 EXISTING BAR DIE WALL. REFURBISH AS NEEDED TO MATCH NEW FINISHES.
- 05-18 RAMP HANDRAIL - STAINLESS STEEL
- 05-19 HANDRAIL - STAINLESS STEEL
- 05-24 DIE WALL. VERIFY EXISTING WALL CONSTRUCTION / ASSEMBLY TO MATCH EXISTING.
- 06-01 WOOD DECK - WD - 03
- 06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
- 06-12 WOOD BEAM - SEE STRUCT. DWGS - WD - 07
- 06-22 HANDRAIL AND GUARDRAIL - WD - 02
- 07-23 THATCH ROOF - RF - 01
- 12-08 BAR COUNTER. REFER TO INTERIOR DESIGN DWGS.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10-01

MATERIAL LEGEND



RF-01
NEW THATCH ROOF TO MATCH EXISTING



WD-02
WOOD RAILING
WOOD MATERIAL/COLOR MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL



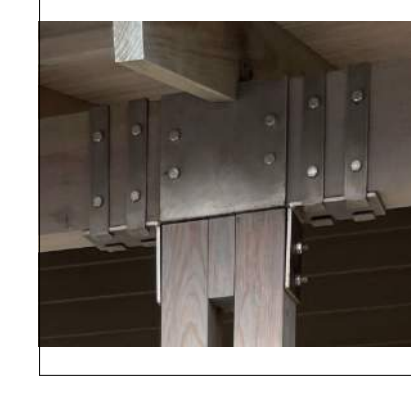
WD-03
WOOD DECK
WOOD SPECIE: CUMULI HARDWOOD
COLOR: CLEAR COAT NATURAL



WD-06
NEW WOOD COLUMN (8 TIKI BAR)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING

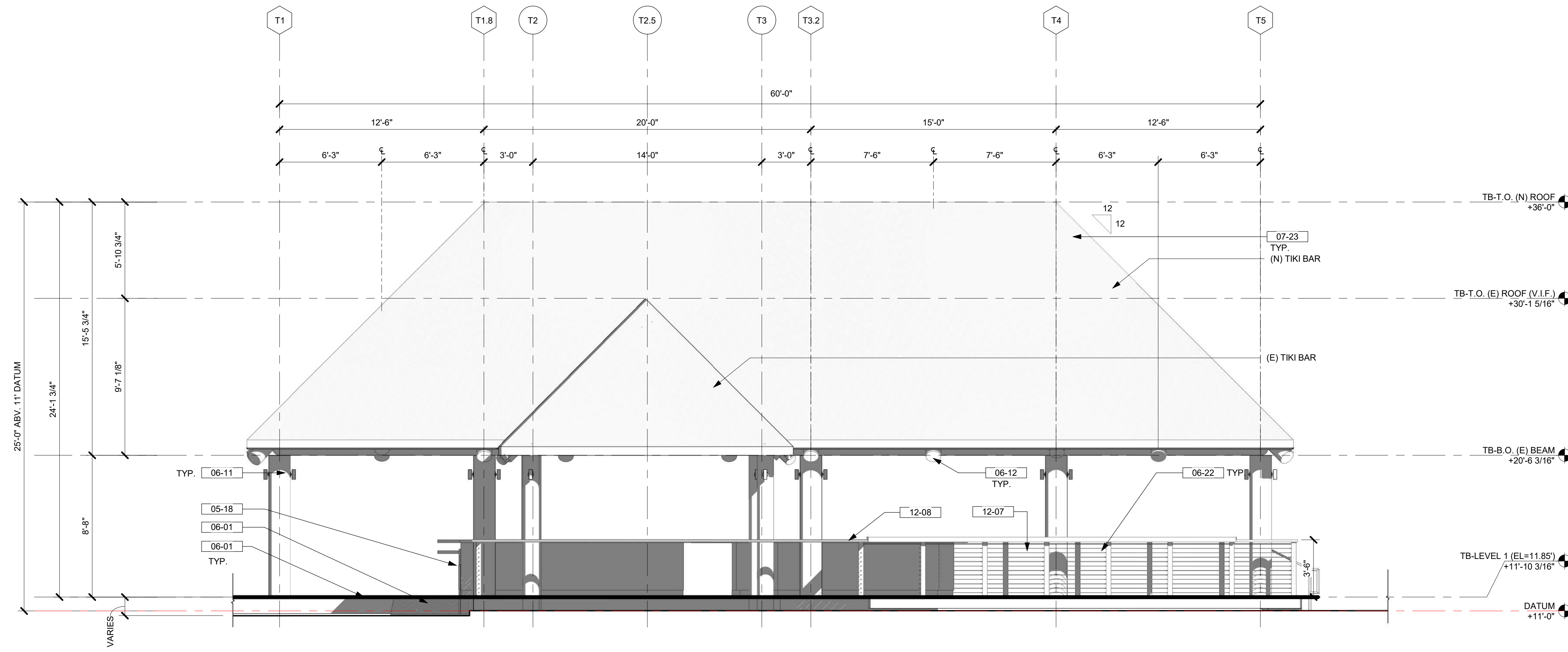


WD-07
NEW WOOD BEAM AND RAFTERS
WOOD SPECIE: SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR: CLEAR COAT NATURAL

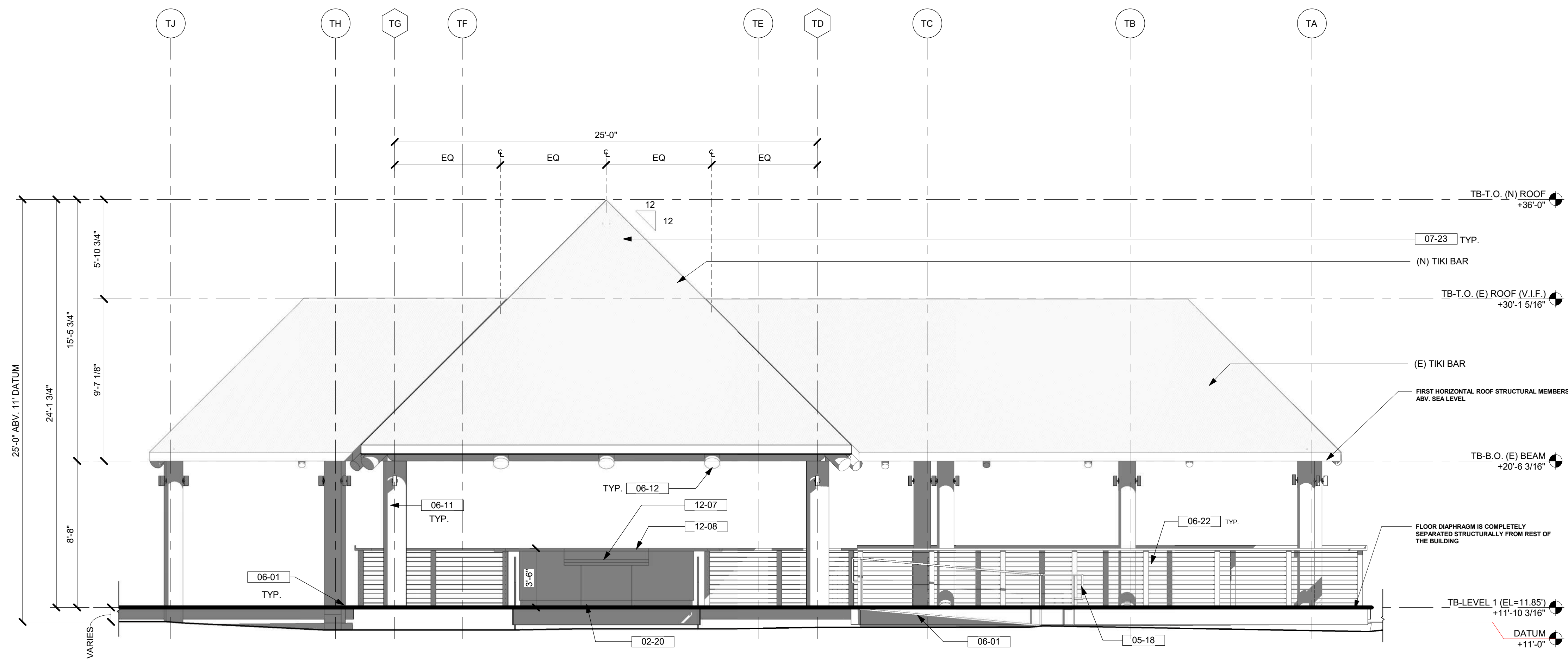


MTL-01
WOOD STRUCTURAL STEEL CONNECTIONS
FINISH: STAINLESS STEEL

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



2 TIKI BAR - SIDE 2 ELEVATION
1/4" = 1'-0"



1 TIKI BAR - REAR ELEVATION
1/4" = 1'-0"

KEYNOTES / LEGENDS

- NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'-0" ELEVATION ABOVE SEA LEVEL, USING MEAN SEA LEVEL NAVD83
- 02-20 EXISTING BAR DIE WALL. REFURBISH AS NEEDED TO MATCH NEW FINISHES.
 - 05-18 RAMP HANDRAIL - STAINLESS STEEL
 - 06-01 WOOD DECK - WD - 03
 - 06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
 - 06-12 WOOD BEAM - SEE STRUCT. DWGS - WD - 07
 - 06-22 HANDRAIL AND GUARDRAIL - WD - 02
 - 07-23 THATCH ROOF - RF - 01
 - 12-07 CODE ACCESSIBLE BAR COUNTER. REFER TO INTERIOR DESIGN DWGS.
 - 12-08 BAR COUNTER. REFER TO INTERIOR DESIGN DWGS.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



RF-01
NEW THATCH ROOF TO MATCH EXISTING



WD-02
WOOD RAILING
WOOD MATERIAL/COLOR MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL



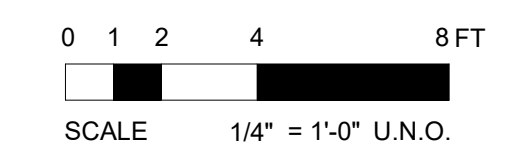
WD-03
WOOD DECK
WOOD SPECIE: CLIMAX HARDWOOD
COLOR: CLEAR COAT NATURAL



WD-06
NEW WOOD COLUMN (8 TIKI BAR)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING



WD-07
NEW WOOD BEAM AND RAFTERS
WOOD SPECIE: SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR: CLEAR COAT NATURAL



DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

KEYNOTES / LEGENDS

(E): EXISTING
(N): NEW

- 02-20 EXISTING BAR DIE WALL. REFURBISH AS NEEDED TO MATCH NEW FINISHES.
- 03-07 CONCRETE FOOTING - SEE STRUCT. DWGS.
- 05-19 HANDRAIL - STAINLESS STEEL
- 06-01 WOOD DECK - WD - 03
- 06-11 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
- 06-12 WOOD BEAM - SEE STRUCT. DWGS - WD - 07
- 06-22 HANDRAIL AND GUARDRAIL - WD - 02
- 06-23 PRESSURE TREATED WOOD FLOOR JOISTS - SEE STRUCT. DWGS.
- 07-23 THATCH ROOF - RF - 01

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



RF-01
NEW THATCH ROOF TO MATCH EXISTING



WD-02
WOOD RAILING
WOOD MATERIAL/COLOR MATCH DECKING WD-03
CABLE COLOR: STAINLESS STEEL



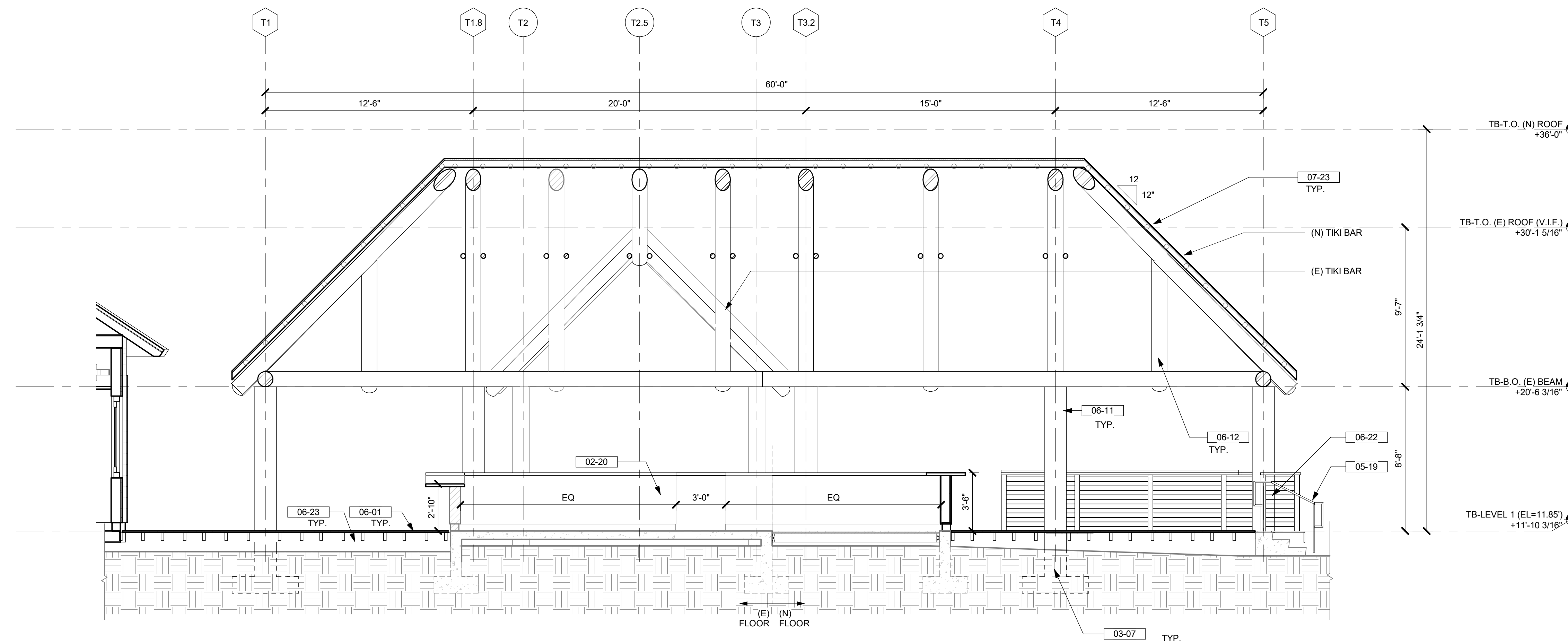
WD-03
WOOD DECK
WOOD SPECIE: CLEAR HARDWOOD
COLOR: CLEAR COAT NATURAL



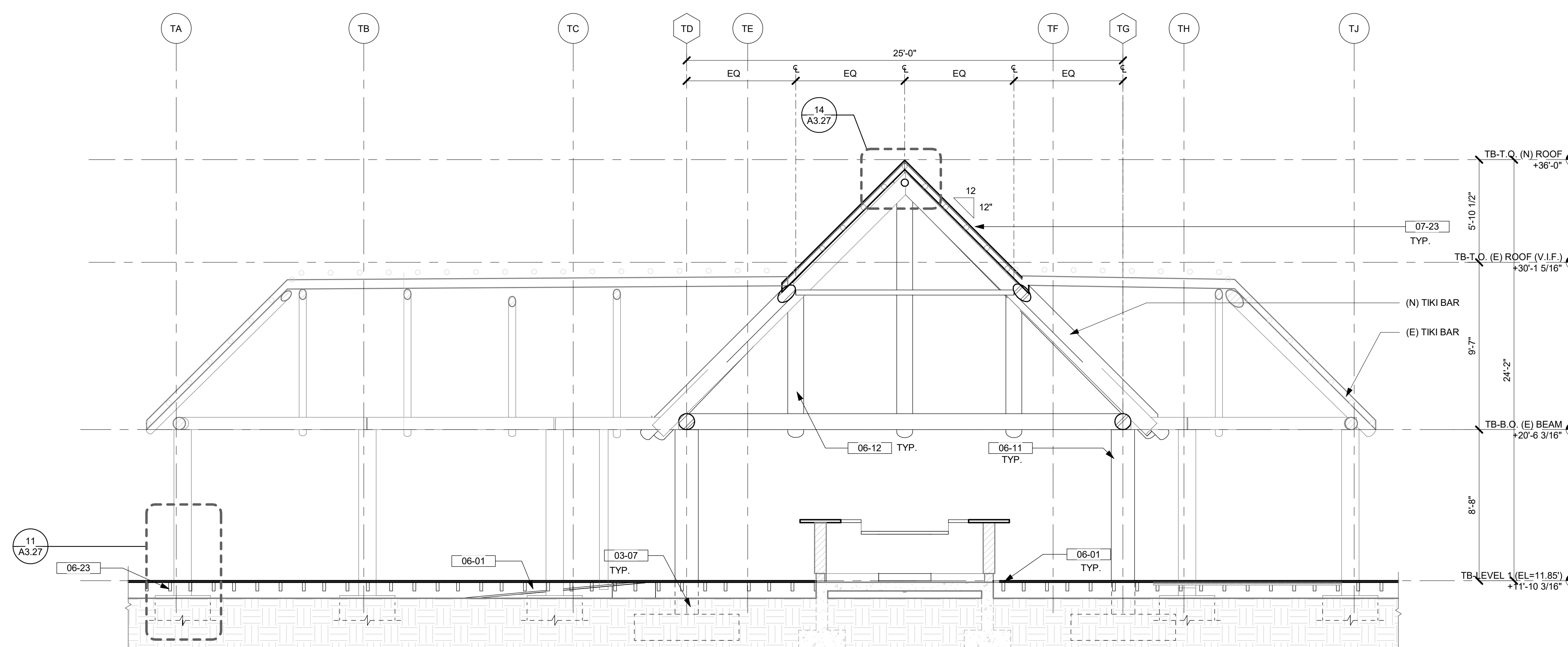
WD-06
NEW WOOD COLUMN (8 TIKI BAR)
WOOD SPECIE: PRESSURE TREATED SOUTHERN YELLOW PINE
MATCH EXISTING



WD-07
NEW WOOD BEAM AND PARTIS
WOOD SPECIE: SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR: CLEAR COAT NATURAL

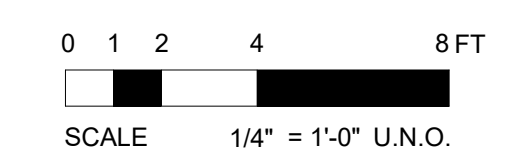


2 TIKI BAR - SECTION B
1/4" = 1'-0"



1 TIKI BAR - SECTION A
1/4" = 1'-0"

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



NOTE: 11'-0" DATUM IS BASED ON SURVEY 11.0' ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83

05-06 WOOD COLUMN - SEE STRUCT. DWGS - WD - 06
06-11 WOOD BEAM - SEE STRUCT. DWGS - WD - 07
06-12

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-16.01

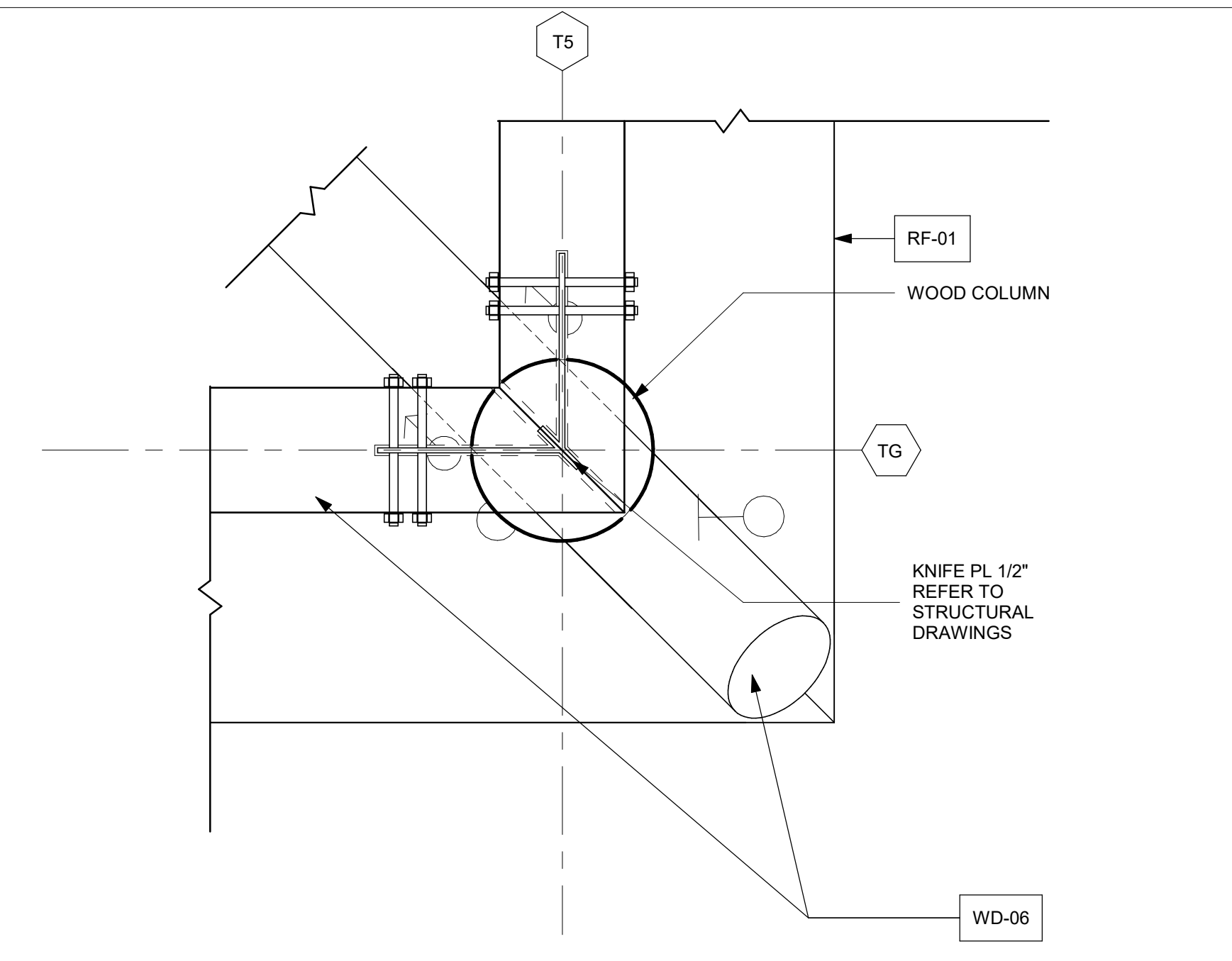
MATERIAL LEGEND



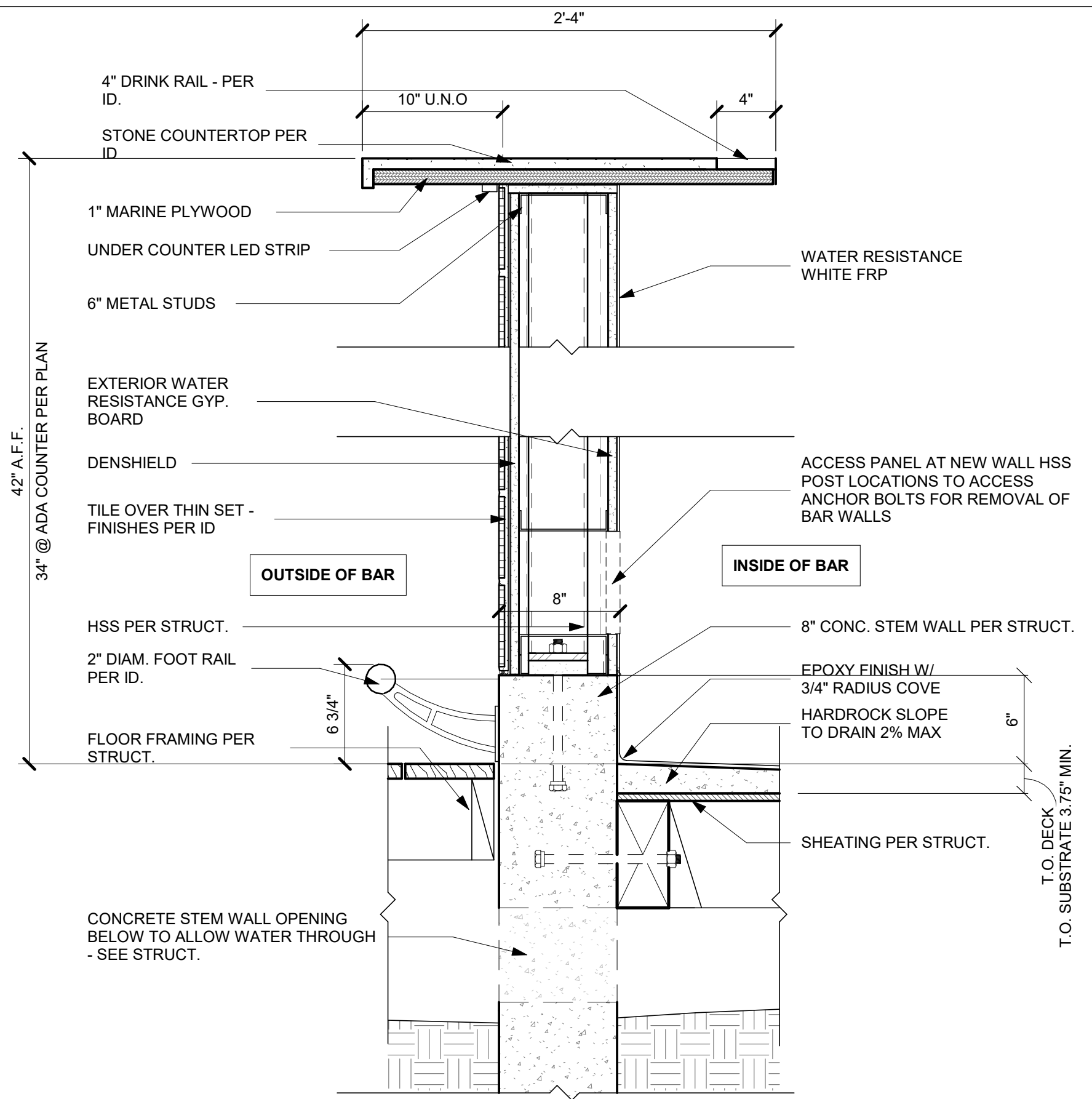
WD-06
NEW WOOD COLUMN
(@ TIKI BAR)
WOOD SPECIE:
PRESSURE TREATED
SOUTHERN YELLOW
PINE
MATCH EXISTING



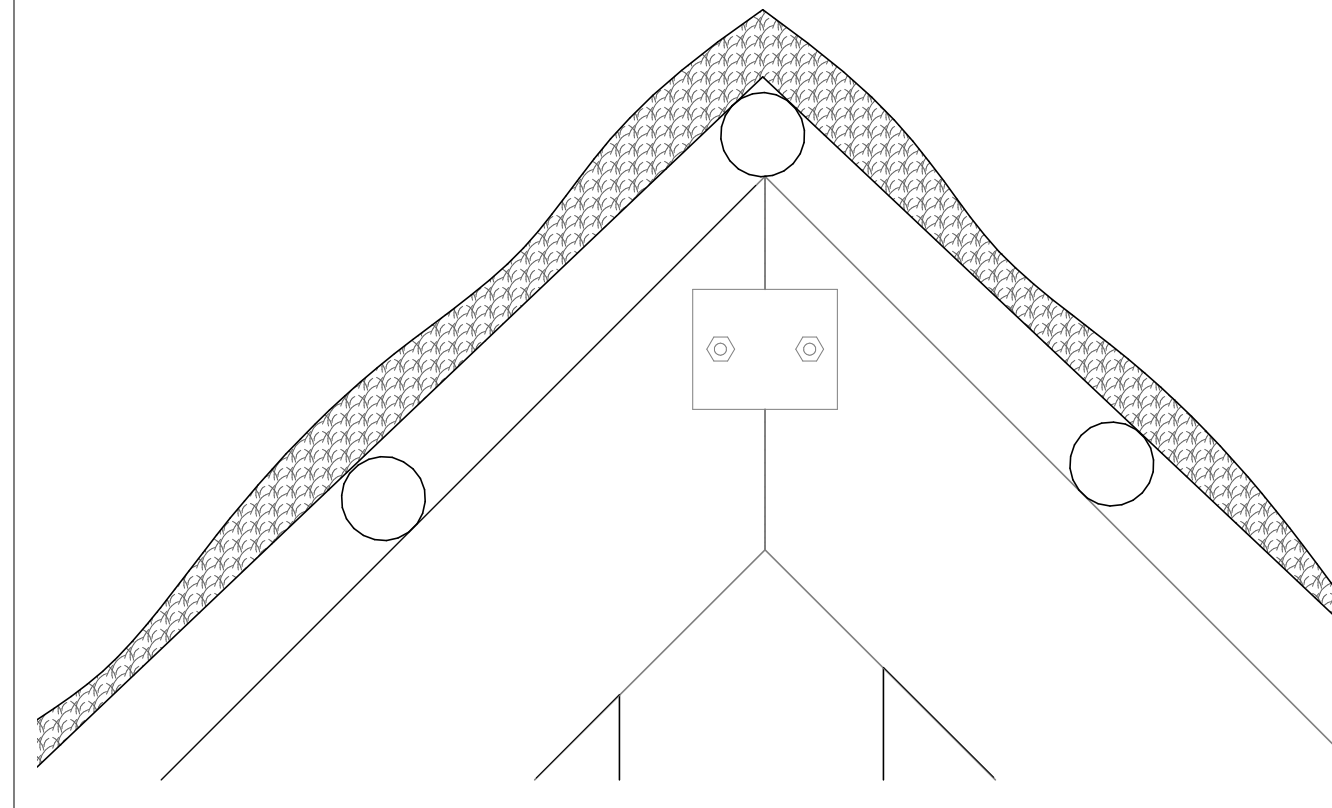
WD-07
NEW WOOD BEAM AND
RAFTERS
WOOD SPECIE:
SOUTHERN YELLOW PINE
MATCH EXISTING
COLOR:
CLEAR COAT NATURAL



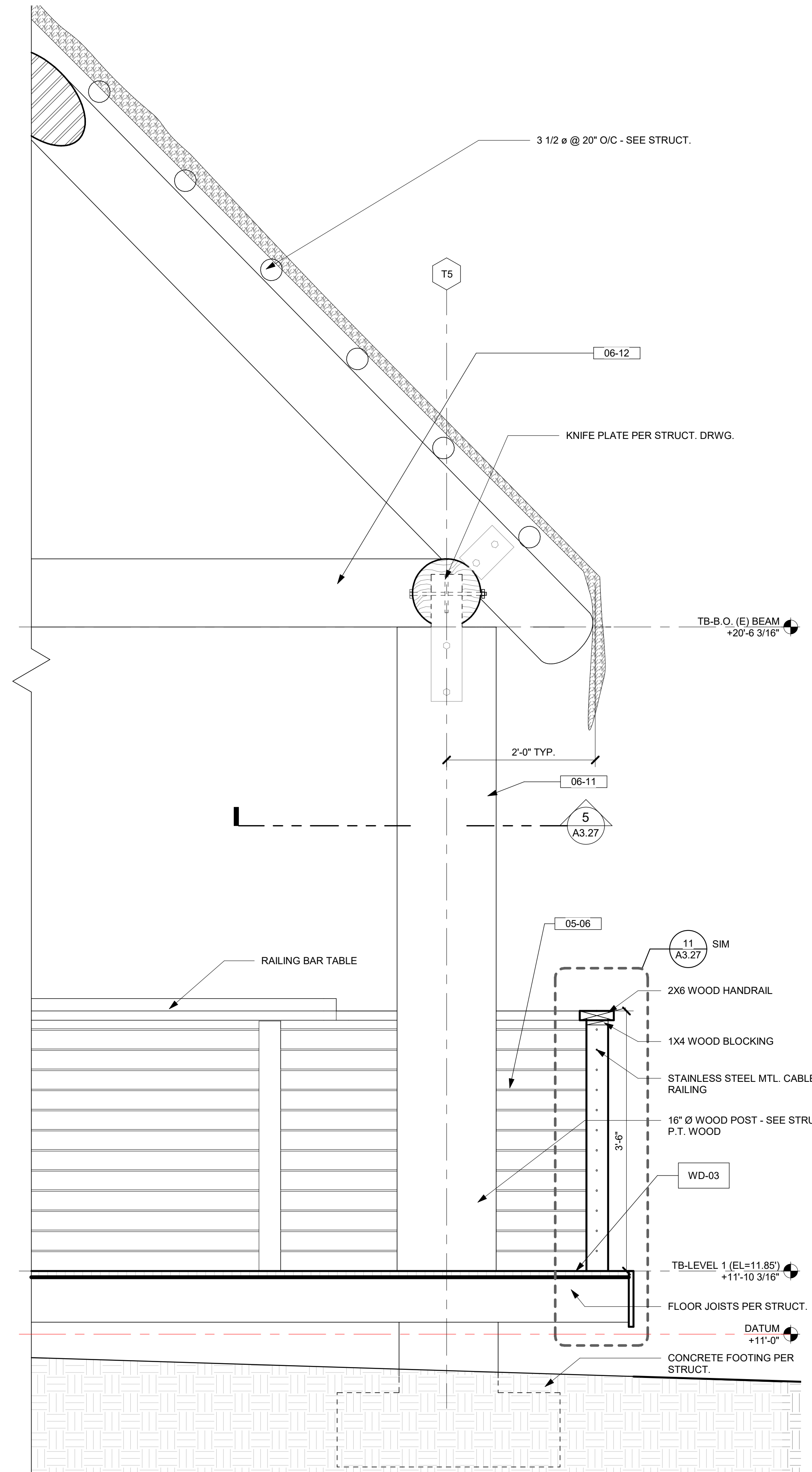
WOOD BEAM CONNECTION 1" = 1'-0" **5**



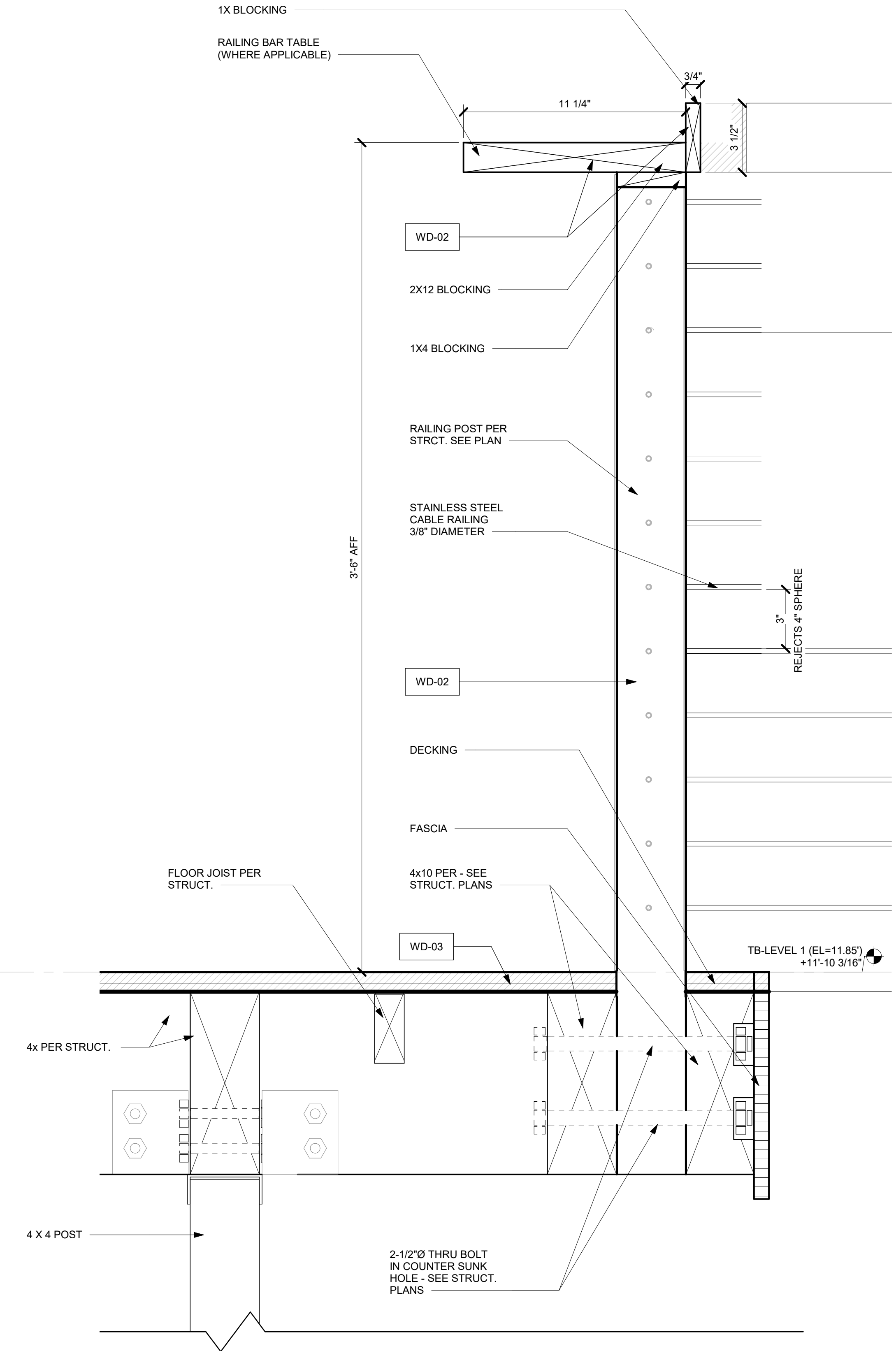
TIKI BAR DIEWALL 1 1/2" = 1'-0" **19**



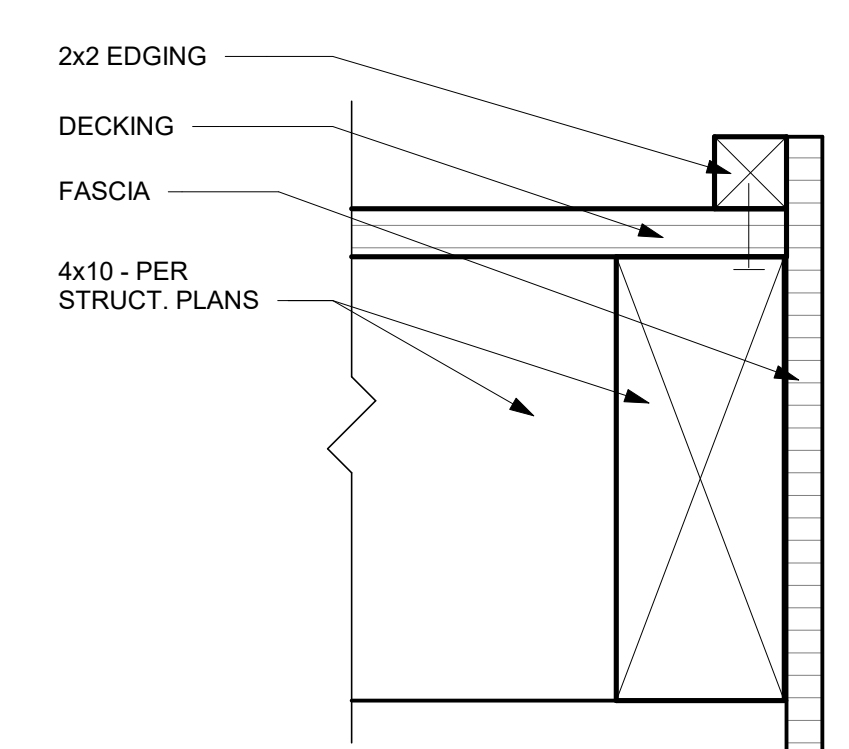
TIKI BAR - SECTION A - DETAIL 1 1/2" = 1'-0" **14**



TIKI BAR SECTION DETAIL 1" = 1'-0" **1**




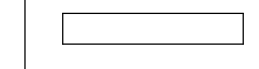
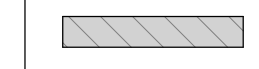
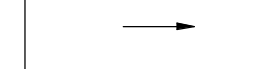
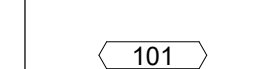
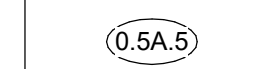
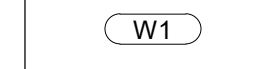


TIKI BAR - HANDRAIL 3" = 1'-0" **11**



TIKI BAR DECK EDGE DETAIL 3" = 1'-0" **21**

01/15/2023 5:46:06 PM The original site of this drawing is 30"x42" Copyright © 2023 WATG. All rights reserved.

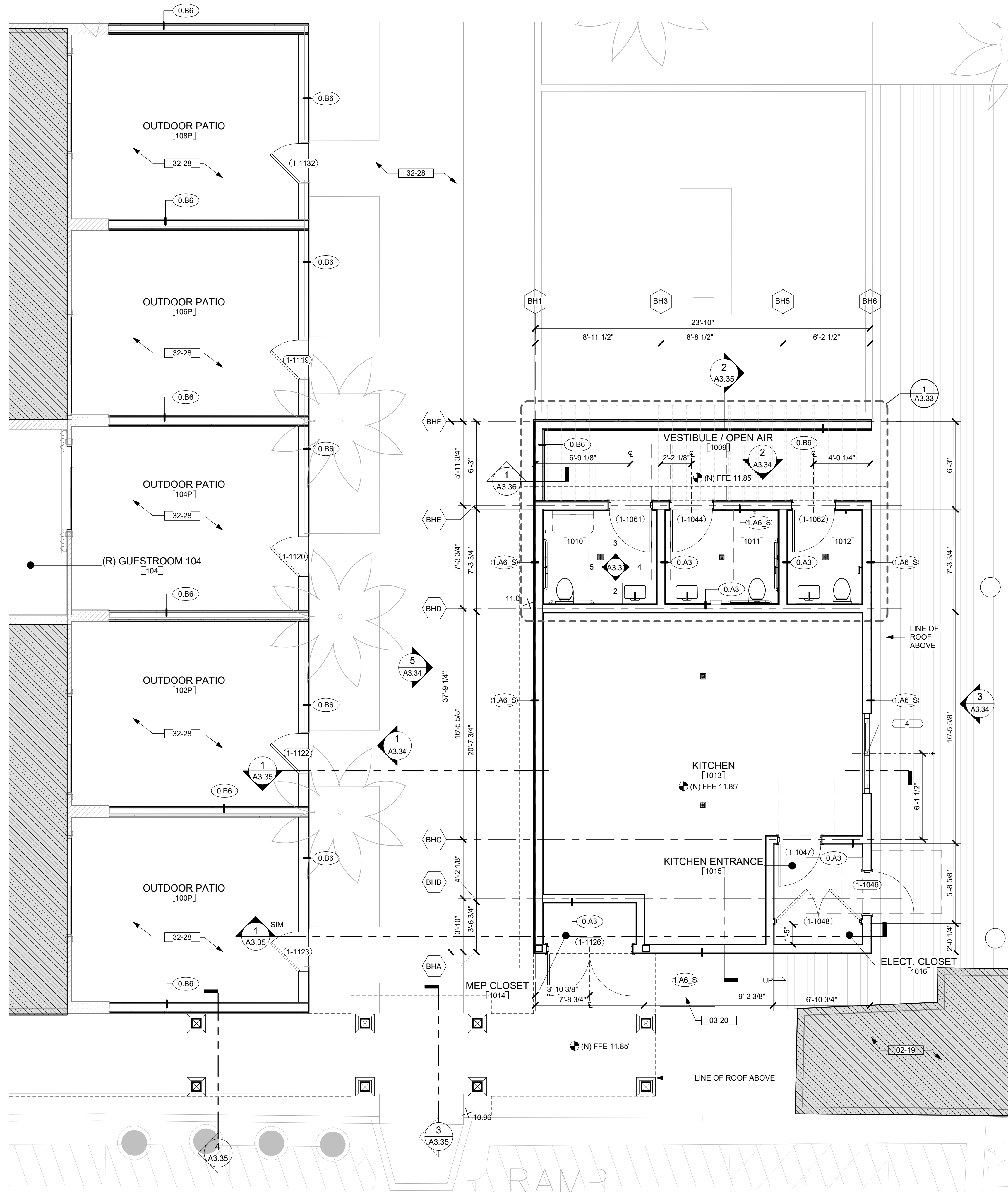
DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

-  EXISTING TO REMAIN
-  NEW WALLS AND PARTITIONS - REFER TO WALL TYPES
-  N.I.S.
-  SLOPE ARROW, SLOPE 1/8" PER FOOT @ INTERIOR AREAS & 1/4" PER FOOT @ EXTERIOR AREAS U.N.O.
-  DOOR TAG - REFER TO DOOR SCHEDULES
-  WALL TYPE TAG - REFER TO WALL TYPES
-  WINDOW / GLAZING TAG - REFER TO WINDOW / GLAZING SCHEDULE
-  FLOOR DRAIN
-  SPOT ELEVATION PER SURVEY

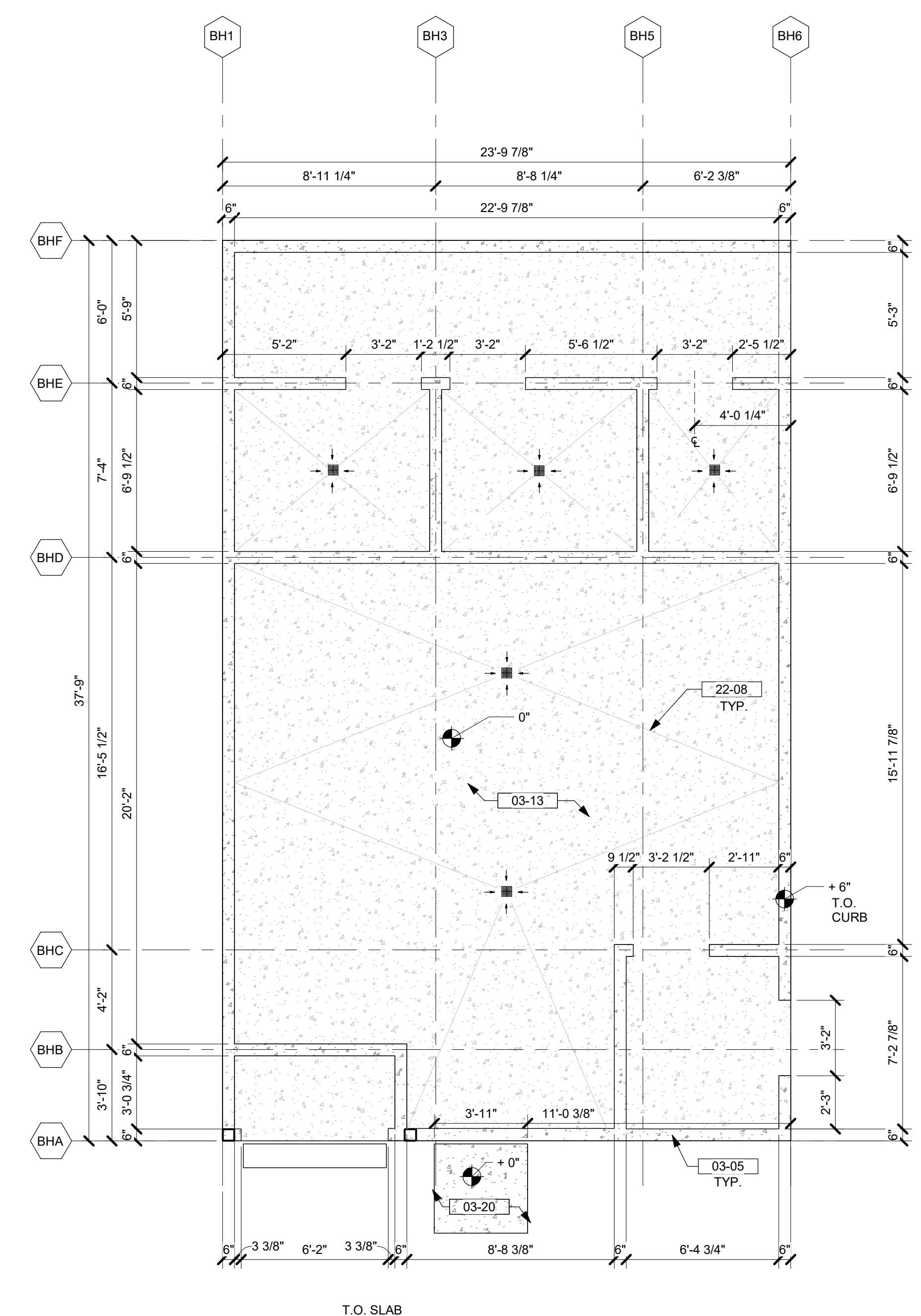
- 02-19 EXISTING STORAGE SHED.
- 03-05 CONCRETE CURB - SEE STRUCT. DWGS.
- 03-13 CONCRETE SLAB - SEE STRUCT. DWG
- 03-20 CONCRETE PAD FOR ELECT. EQUIP. PER MEP.
- 22-08 FLOOR DRAIN SEE PLUMB. DWG.
- 32-28 HARDSCAPE PER LANDSCAPE.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

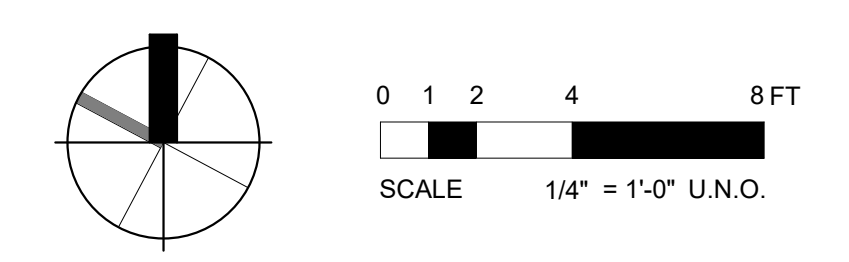
DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



2 KITCHEN/RESTROOM BLDG - FLOOR PLAN
1/4" = 1'-0"



1 KITCHEN/RESTROOM BLDG - SLAB PLAN
1/4" = 1'-0"



KEYNOTES / LEGENDS

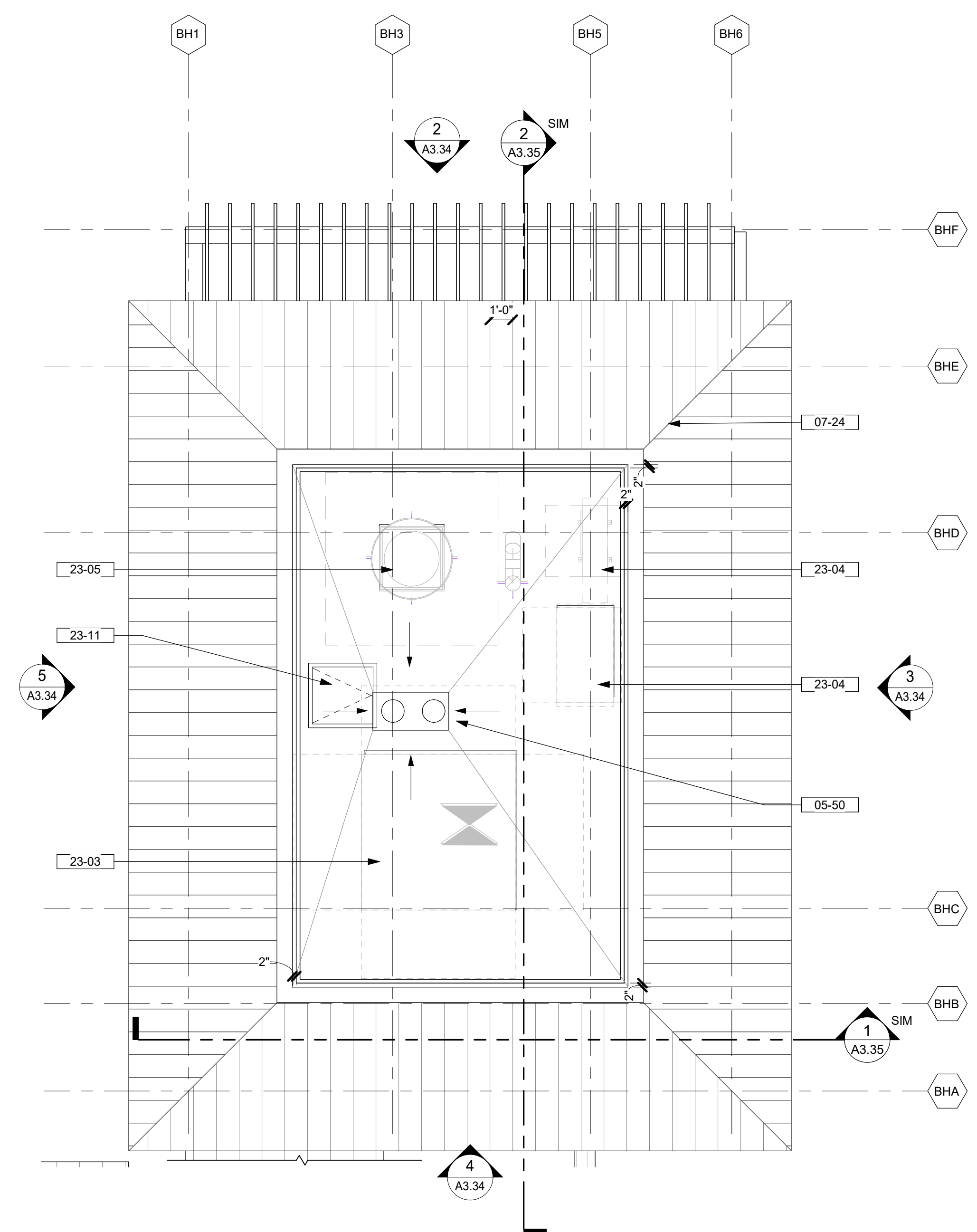
- GRID LINES
- EXISTING TO REMAIN
- NEW
- SLOPE ARROW, SLOPE 1/8" PER FOOT @ INTERIOR AREAS & 1/4" PER FOOT @ EXTERIOR AREAS U.N.O.
- SUPPLY DIFFUSER / RETURN GRILLE REFER TO MECHANICAL DWGS
- EXHAUST FAN REFER TO MECHANICAL DWGS
- ACCESS PANEL REFER TO MECHANICAL DWGS
- HEAT PUMP REFER TO MECHANICAL DWGS
- RECESSED MOUNTED LIGHT, REFER TO LIGHTING DRAWINGS

- 05-50 ROOF DRAIN
- 06-10 WOOD TRELLIS - WD - 04
- 07-24 METAL STANDING SEAM ROOF - RF - 02
- 09-03 SUSPENDED CEILING
- 09-04 GYPSUM CEILING
- 23-03 MECHANICAL AIR UNITS - SEE MECH DWGS
- 23-04 MECHANICAL HEAT PUMP - SEE MECH DWGS
- 23-05 KITCHEN EXHAUST FAN - SEE MECH DWGS
- 23-11 MECHANICAL ACCESS PANEL - FINISHES SHALL MATCH ADJACENT FINISH AND COLOR - SEE MECH DWGS

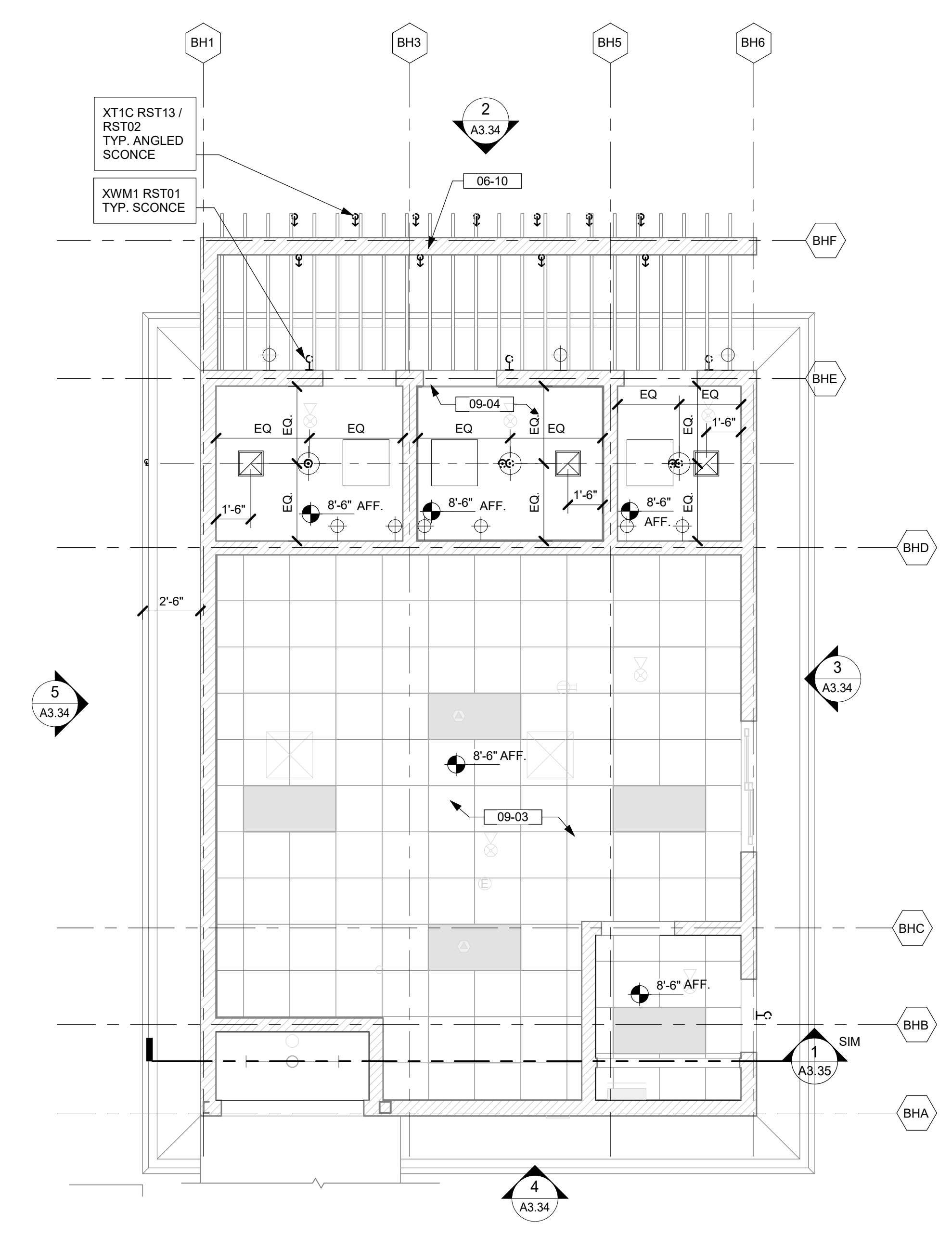
NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND

- RF-02**
STANDING SEAM METAL ROOFING
MANUFACTURER: PAC-CLAD
COLOR: CITY SCAPE
- WD-04**
WOOD BEING AND TRELLIS
WOOD SPECIE: CLAMARU HARDWOOD
COLOR: CLEAR COAT NATURAL STAIN & SEALER
- XWM1 RST01**
TYP. SURFACE MOUNTED SCIONCE
FINISH: BRONZE LIVING PATINA
COUNT: 4
- XT1C RST13 / RST02**
TYP. SURFACE MOUNTED ANGLED SCIONCE
FINISH: BRONZE LIVING PATINA
COUNT: 6 + 4 + 10



2 KITCHEN/RESTROOM BLDG - ENLARGED ROOF PLAN
1/4" = 1'-0"



1 KITCHEN/RESTROOM BLDG - ENLARGED RCP
1/4" = 1'-0"



DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

Beach House
HILTON HEAD ISLAND
project logo

KITCHEN/RESTROOM BLDG
- ENLARGED ROOF PLAN
AND RCP

sheet title

project no. 212041 date 08/15/2023

checked by: AA
drawn by: IZ/NP/HM

component

sheet no. **A3.31**

CEILING PLAN LEGEND

- | | | | |
|--|--|--|--|
| | GYPSUM BOARD FALSE CEILING U.N.O.
REFER TO INTERIOR DESIGN DRAWINGS | | SUPPLY DIFFUSER
REFER TO MECHANICAL DRAWINGS |
| | SUSPENDED CEILING
REFER TO INTERIOR DESIGN DRAWINGS | | EXHAUST FAN
REFER TO MECHANICAL DRAWINGS |
| | EXTERIOR STUCCO CEILING | | RETURN GRILLE
REFER TO MECHANICAL DRAWINGS |
| | RECESSED MOUNTED LIGHT
REFER TO LIGHTING DRAWINGS | | FLUORESCENT LIGHTING
REFER TO ELECTRICAL DRAWINGS |
| | ACCESS PANEL
REFER TO MECHANICAL DRAWINGS | | J BOX, REFER TO LIGHTING DRAWINGS |

KEYNOTES / LEGENDS

- | | |
|--|---|
| | GRID LINES |
| | NEW |
| | N.I.S. |
| | SLOPE ARROW, SLOPE 1/8" PER FOOT @
INTERIOR AREAS & 1/4" PER FOOT @
EXTERIOR AREAS U.N.O. |

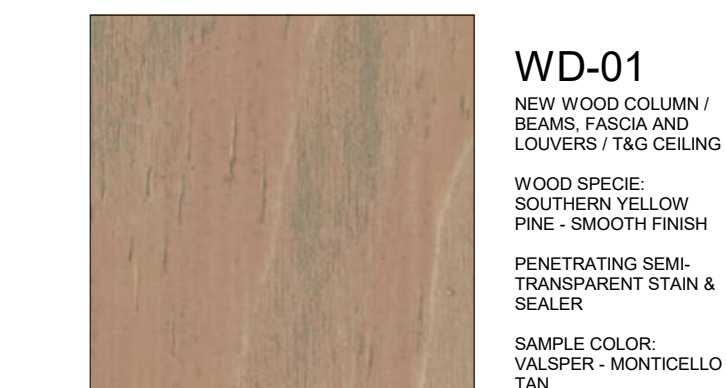
- 02-30 EXISTING COLUMN TO REMAIN.
- 03-12 TABBY PLASTER FINISH PILASTER - STU - 01
- 04-01 NATURAL LIMESTONE CAP TO MATCH TABBY PLASTER FINISH - STN - 01
- 05-07 STEEL CONNECTIONS TO WOOD MEMBERS - SEE STRUCT. - MTL-01
- 06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01
- 06-05 WOOD SIDING - WD - 04
- 06-06 WOOD LOUVER - WD - 05
- 06-08 WOOD FASCIA - PT - 01
- 06-13 WOOD FASCIA - PT - 02
- 07-24 METAL STANDING SEAM ROOF - RF - 02
- 08-07 DOOR - SEE PLAN & SCHEDULE - PT - 01
- 09-06 EXTERIOR STUCCO C.L.G. - PAINT - PT - 02
- 32-28 HARDSCAPE PER LANDSCAPE.

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

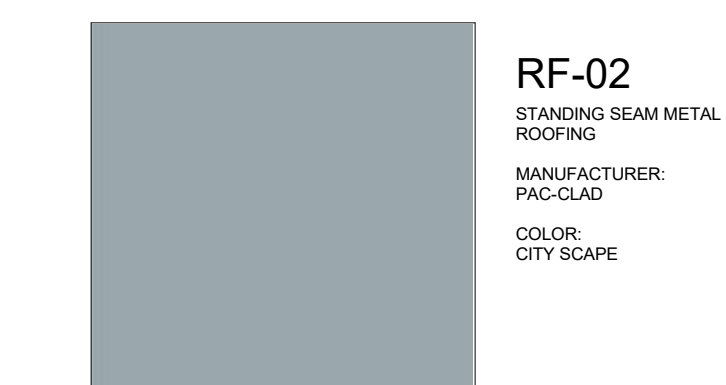
MATERIAL LEGEND



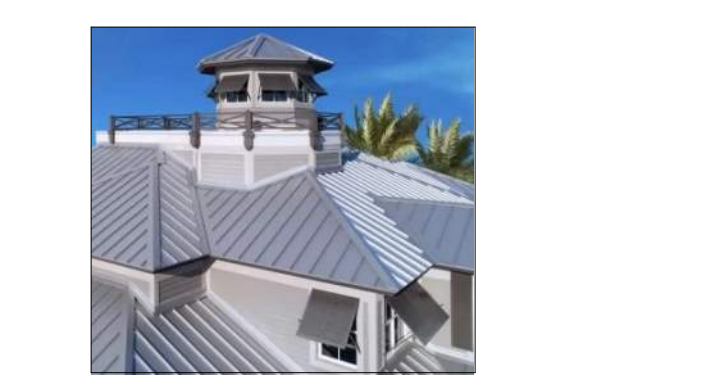
STU-01
TABBY SHELL STUCCO
LIGHT TAN EARTH
TONE



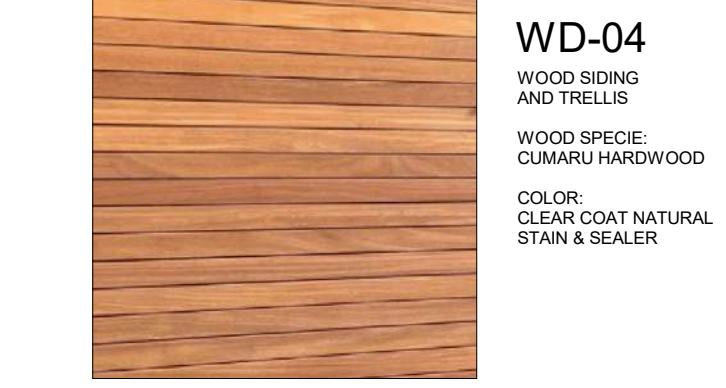
WD-01
NEW WOOD COLUMN/
BEAMS, FASCIA AND
LOUVERS, 1x6 CEILING
WOOD SPECIE:
SOUTHERN YELLOW
PINE - SMOOTH FINISH
PENETRATING SEMI-
TRANSPARENT STAIN &
SEALER
SAMPLE COLOR:
VALSPER - MONTICELLO
TAN



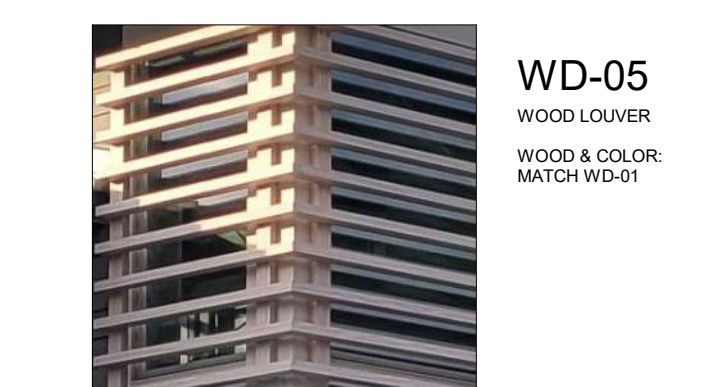
RF-02
STANDING SEAM METAL
ROOFING
MANUFACTURER:
PAC-GLAD
COLOR:
CITY SCAPE



WD-04
WOOD SIDING
AND TRELLIS
WOOD SPECIE:
CUMARU HARDWOOD
COLOR:
CLEAR COAT NATURAL
STAIN & SEALER



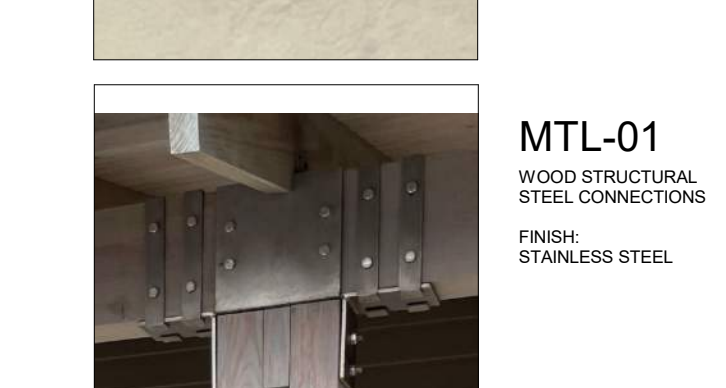
WD-05
WOOD LOUVER
WOOD & COLOR
MATCH WD-01



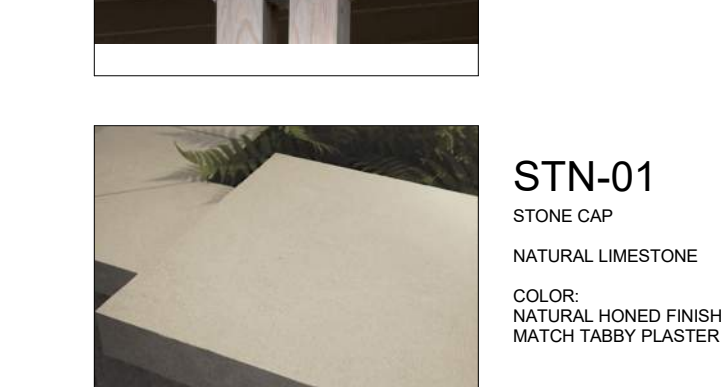
PT-02
EXTERIOR STUCCO C.L.G.
& FASCIA
COLOR
MATCH (E) BLDG.
STUCCO SOFFIT COLOR



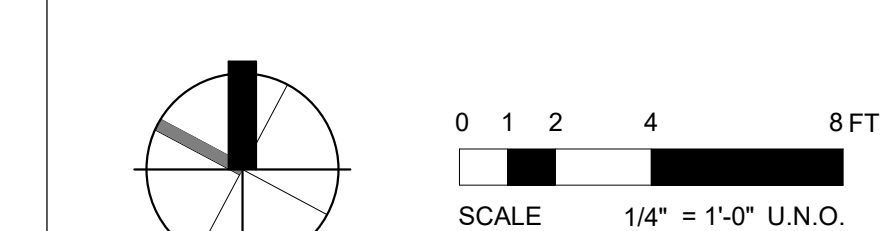
MTL-01
WOOD STRUCTURAL
STEEL CONNECTIONS
FINISH:
STAINLESS STEEL



STN-01
STONE CAP
COLOR:
NATURAL LIMESTONE
COLOR:
NATURAL HONEY FINISH TO
MATCH TABBY PLASTER



STU-01
NATURAL LIMESTONE
COLOR:
NATURAL HONEY FINISH TO
MATCH TABBY PLASTER



DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



CANOPY - ENLARGED ROOF PLAN & RCP

sheet title

project no. 212041 date 08/15/2023

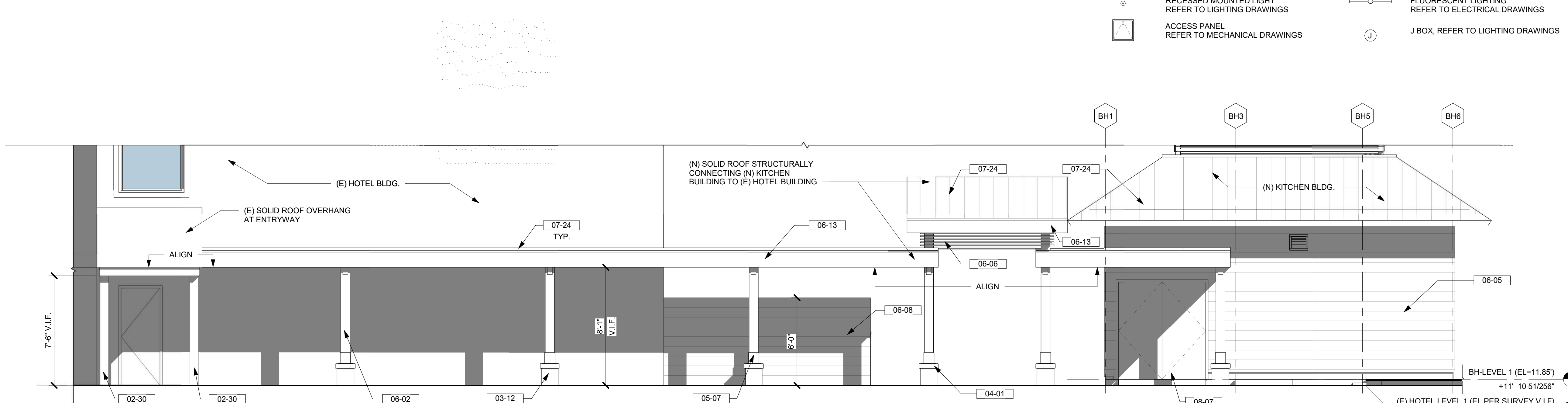
checked by: AA drawn by: IZ/NP/JHM component

sheet no.

A3.32

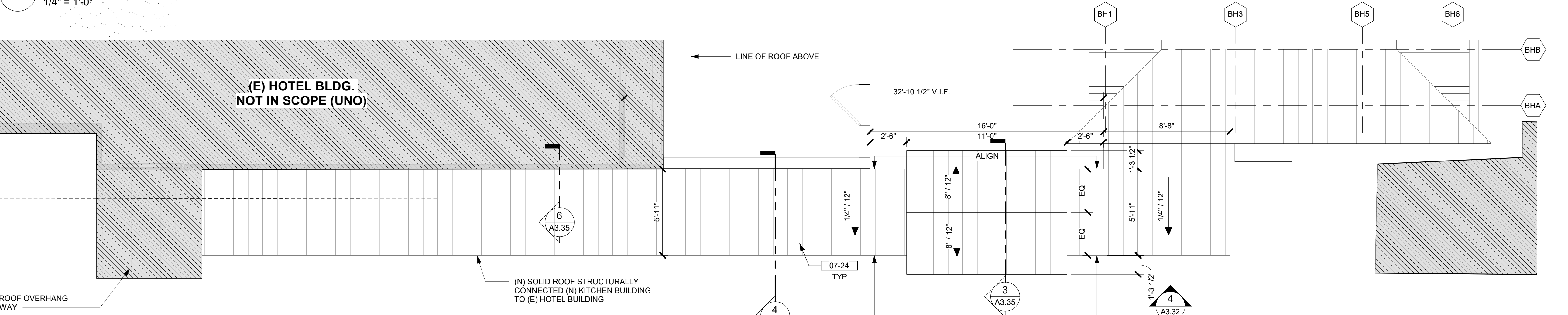
4 CANOPY - ELEVATION

1/4" = 1'-0"



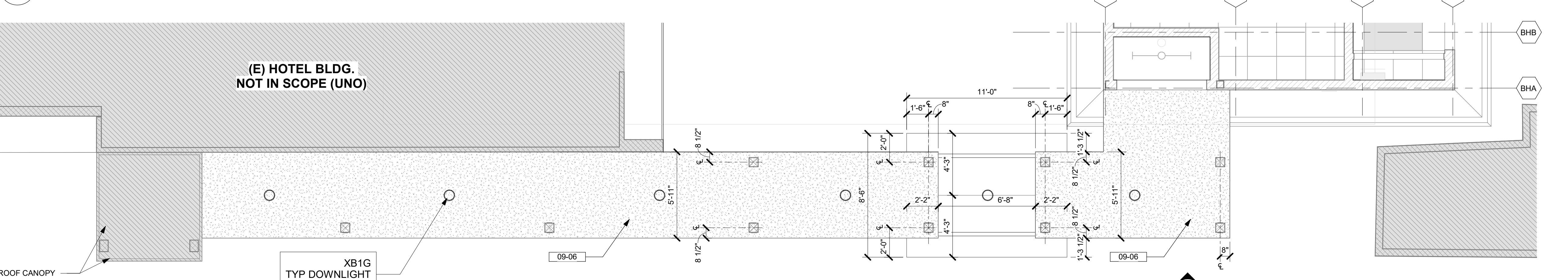
3 CANOPY - ROOF PLAN

1/4" = 1'-0"



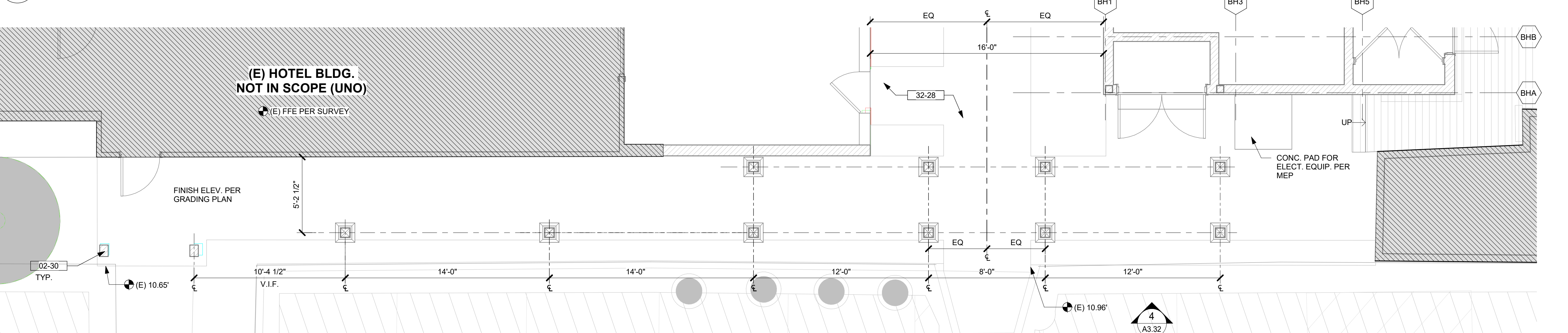
2 CANOPY - RCP

1/4" = 1'-0"



1 CANOPY - ENLARGED PLAN

1/4" = 1'-0"





client

consultant

stamp | approval

key plan

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND
project logo

KITCHEN/RESTROOM BLDG
- ELEVATIONS

sheet title

project no. 212041 date 08/15/2023

checked by: AA
drawn by: IZ/NP/JHM

component

sheet no.

A3.34

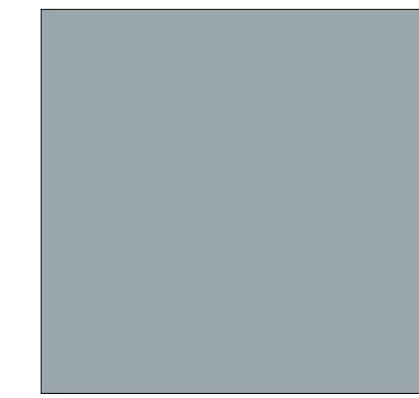
KEYNOTES / LEGENDS

- 06-05 WOOD SIDING - WD - 04
- 06-06 WOOD LOUVER - WD - 05
- 06-08 WOOD FASCIA - PT - 01
- 06-09 WOOD SIDING GATE - WD - 04
- 06-10 WOOD TRELLIS - WD - 04
- 06-13 WOOD FASCIA - PT - 02
- 07-24 METAL STANDING SEAM ROOF - RF - 02
- 08-07 DOOR - SEE PLAN & SCHEDULE - PT - 01
- 08-15 ADA DOOR - SEE PLAN & SCHEDULE, MATCH (E)
- 08-30 WINDOW - SEE PLAN & SCHEDULE
- 10-06 HORIZONTAL EQUIPMENT SCREEN - MTL - 03

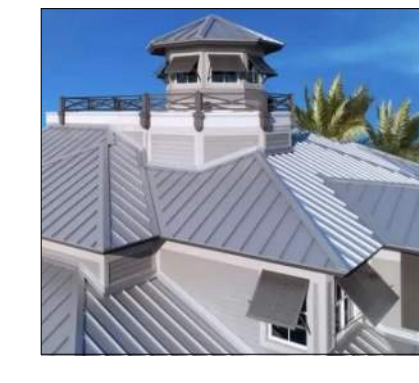
NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'-0" ELEVATION ABOVE SEA LEVEL. USING MEAN SEA LEVEL NAVD83

MATERIAL LEGEND



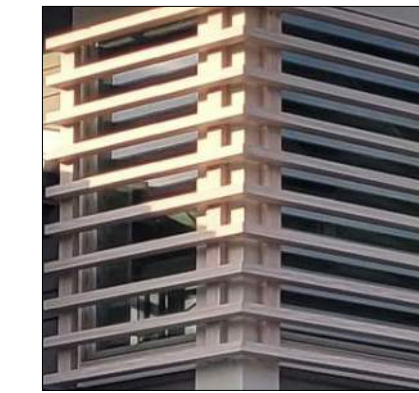
RF-02
STANDING SEAM METAL ROOFING
MANUFACTURER:
PAC/CLAD
COLOR:
CITY SCAPE



WD-04
WOOD SIDING AND TRELLIS
WOOD SPECIE:
CUMRU HAWKWOOD
COLOR:
CLEAR COAT NATURAL STAIN & SEALER



WD-05
WOOD LOUVER
WOOD & COLOR MATCH WD-01



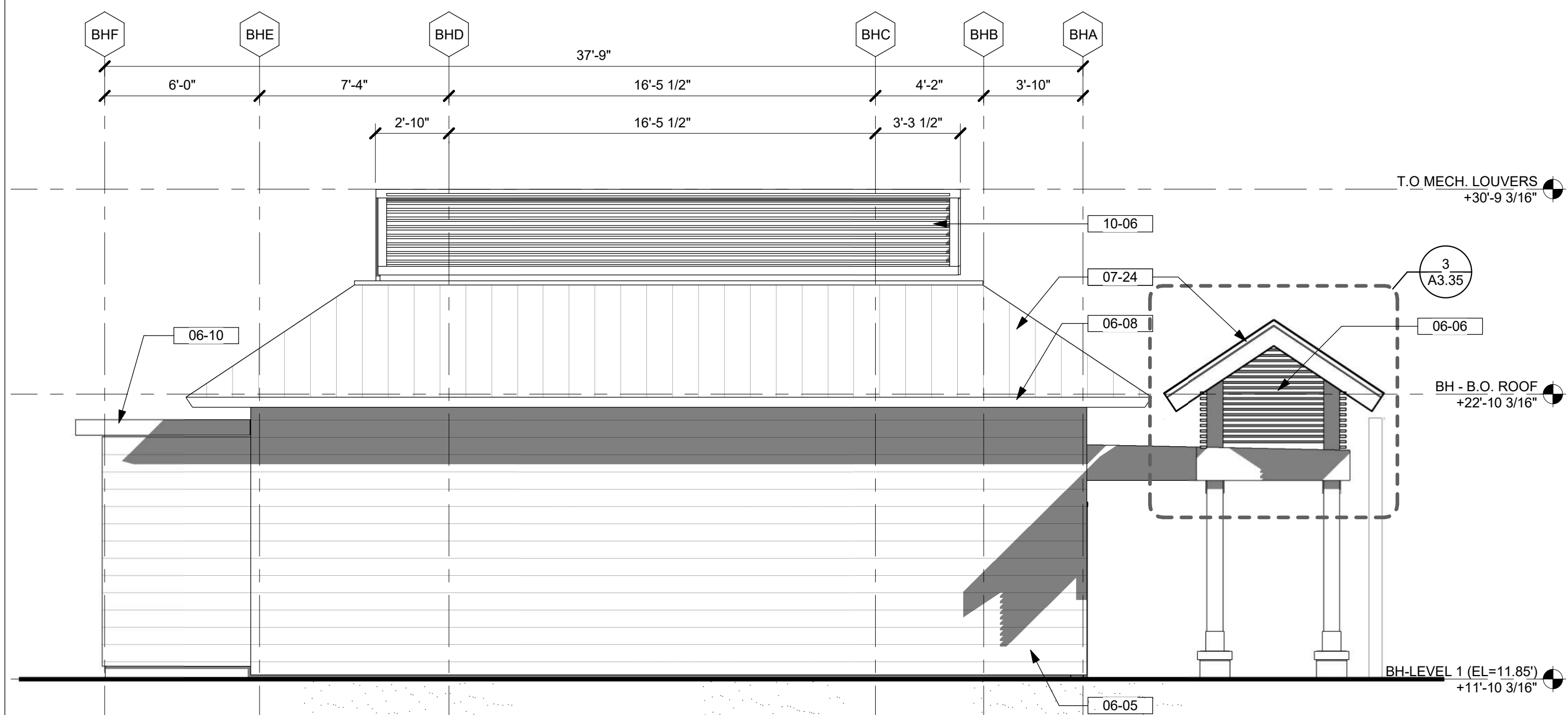
PT-01
NEW WOOD ROOF FASCIA & FIBERGLASS DOORS
PENETRATING STAIN & SEALER
SAMPLE COLOR: VALSPAR SOLID COLOR PINEBARK



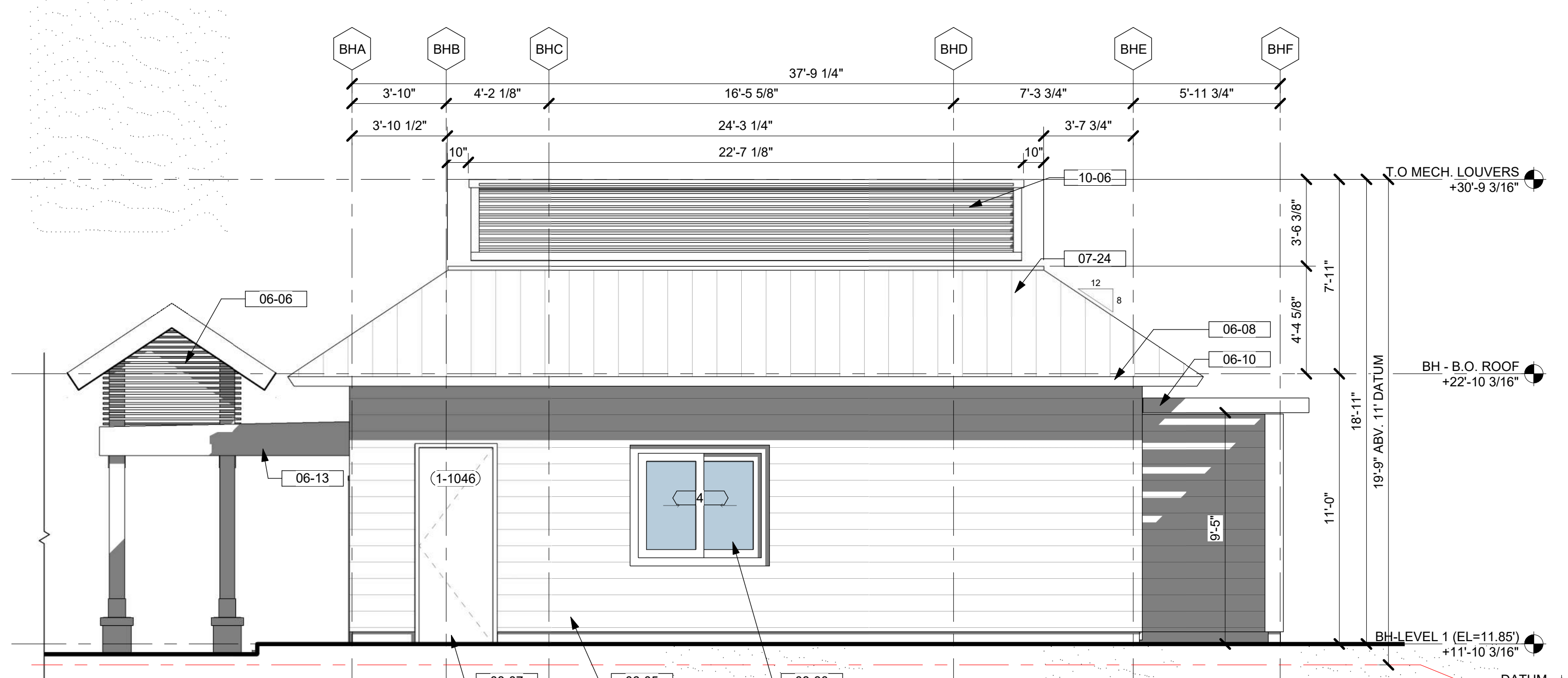
MTL-03
HORIZONTAL EQUIPMENT SCREEN
COLOR:
MATCH COLOR OF METAL ROOF RF-02



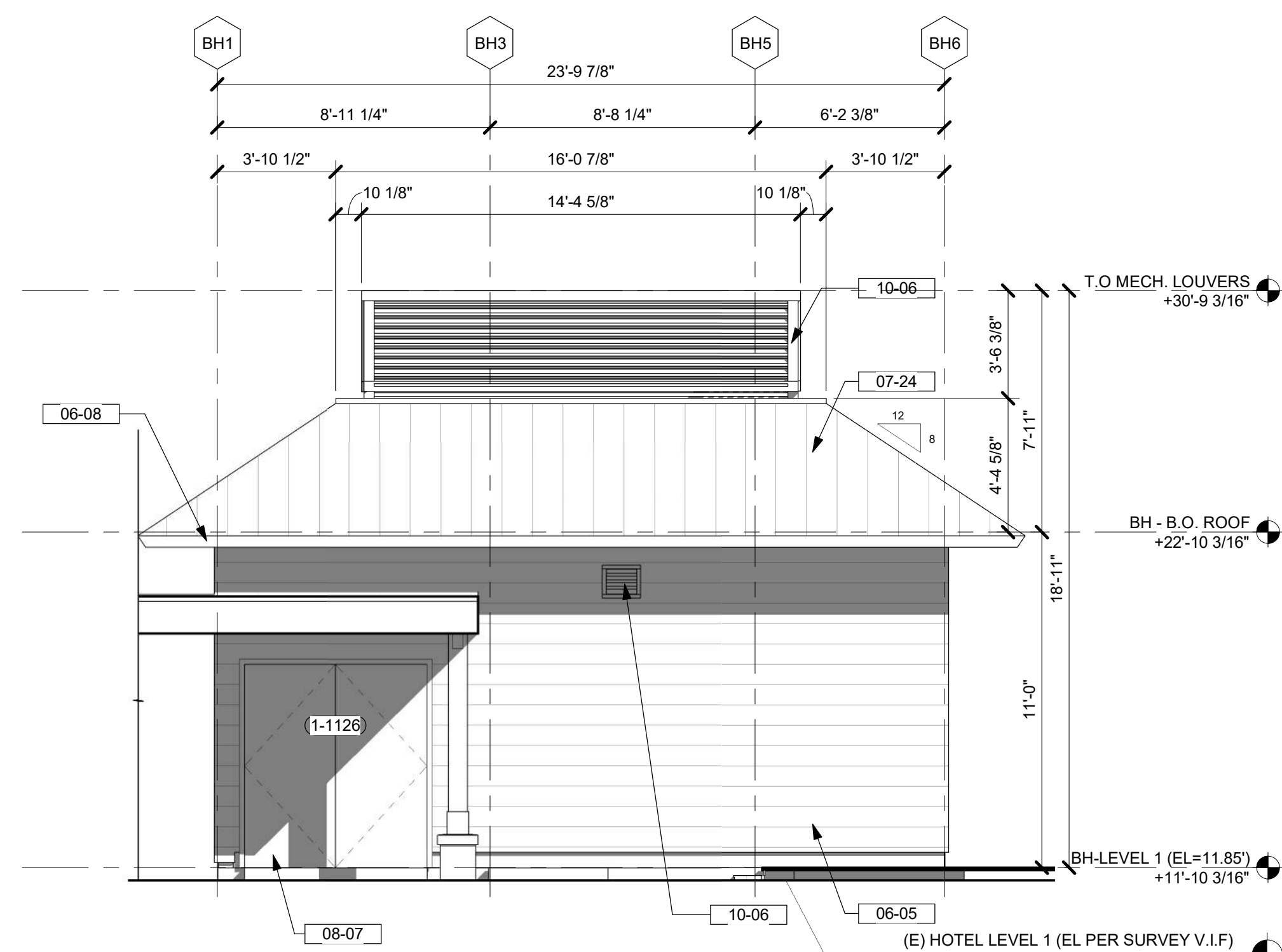
PT-02
EXTERIOR STUCCO CLG. & FASCIA
COLOR:
MATCH (E) BLEND STUCCO SPFFT COLOR



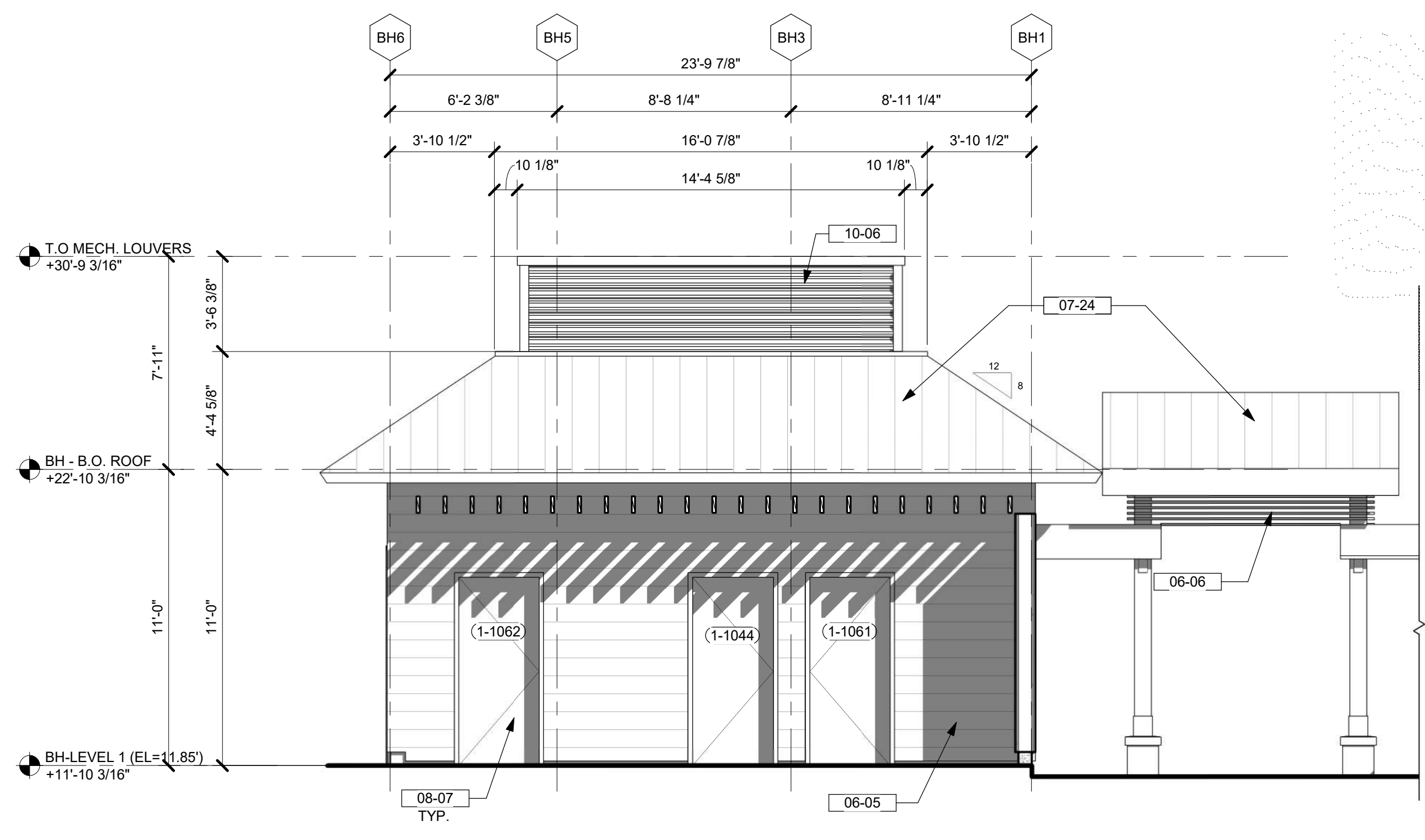
5 KITCHEN/RESTROOM - BACK ELEVATION
1/4" = 1'-0"



3 KITCHEN/RESTROOM - FRONT ELEVATION
1/4" = 1'-0"



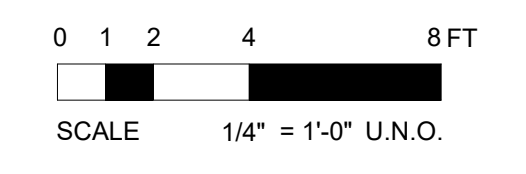
4 KITCHEN/RESTROOM - SIDE 2 ELEVATION
1/4" = 1'-0"



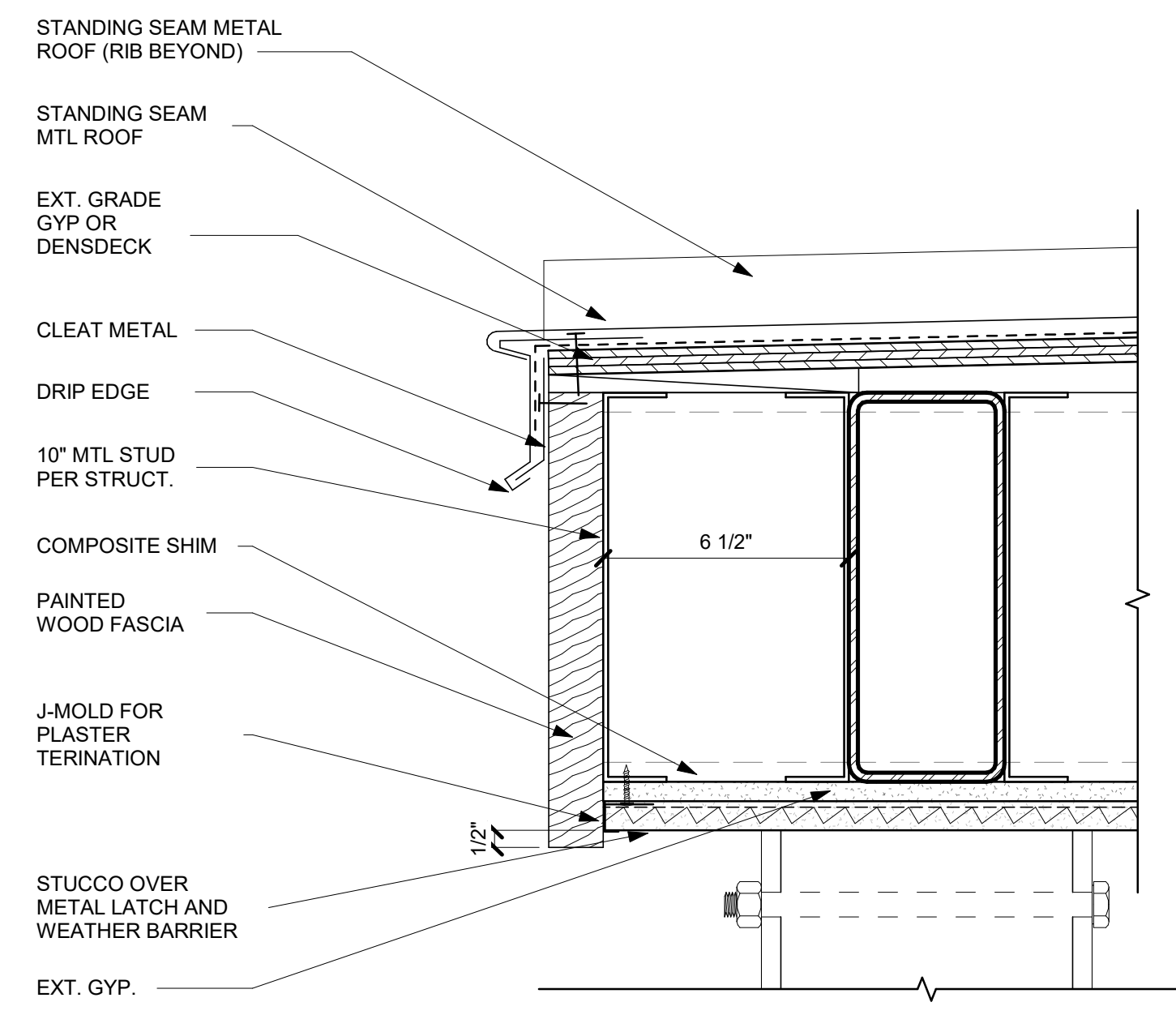
2 KITCHEN/RESTROOM - SIDE 1 ELEVATION
1/4" = 1'-0"



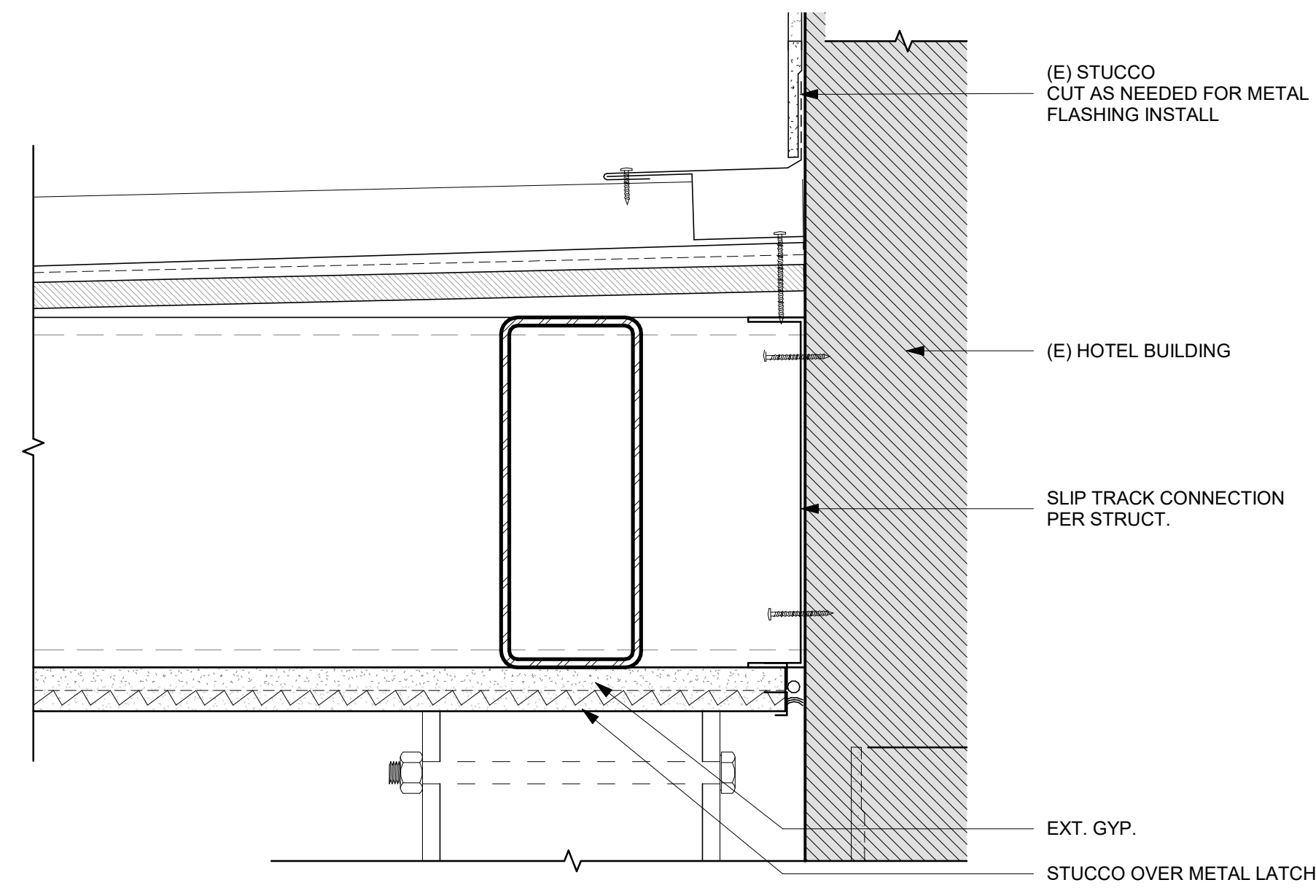
1 PATIO ELEVATION
1/4" = 1'-0"



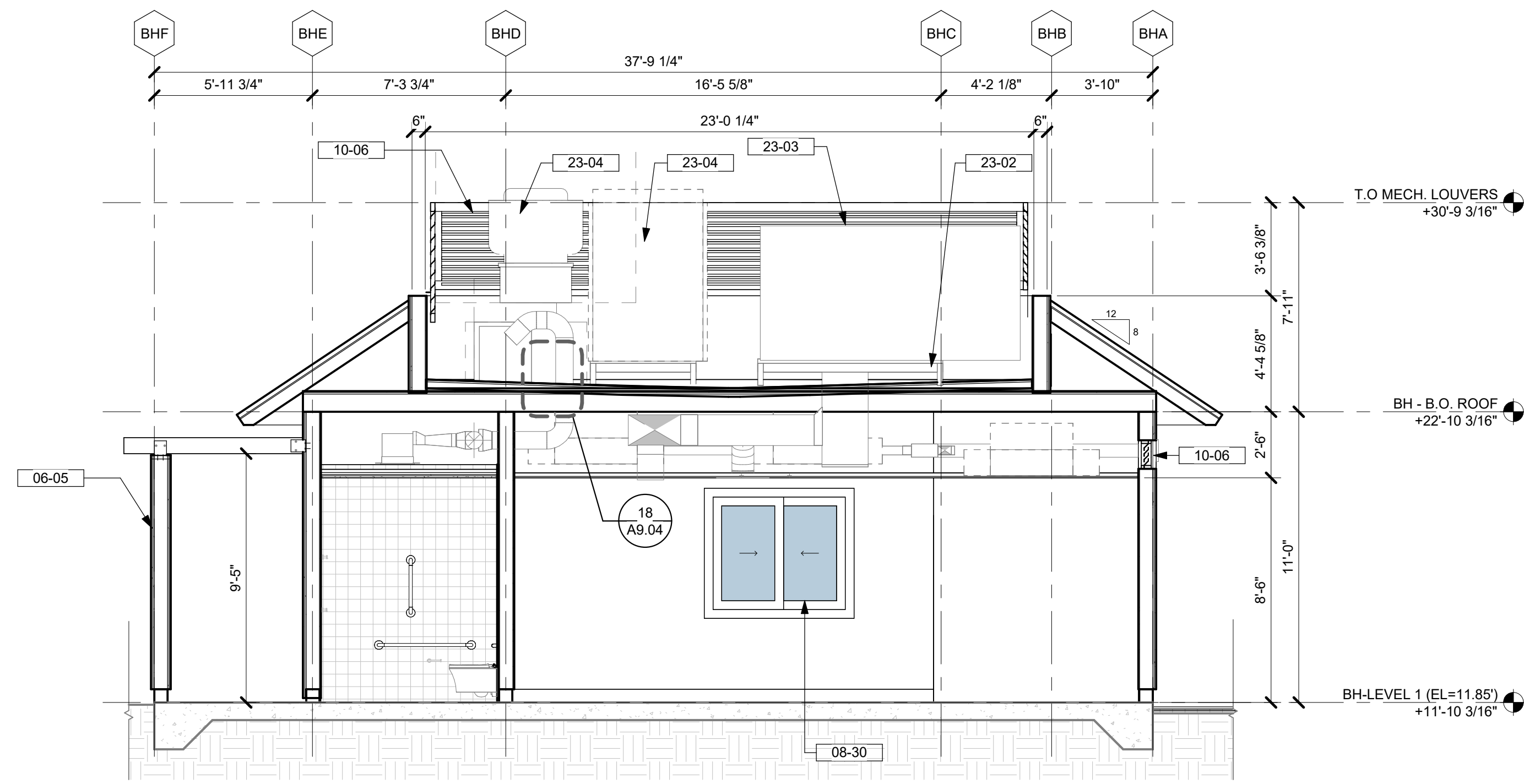
DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION



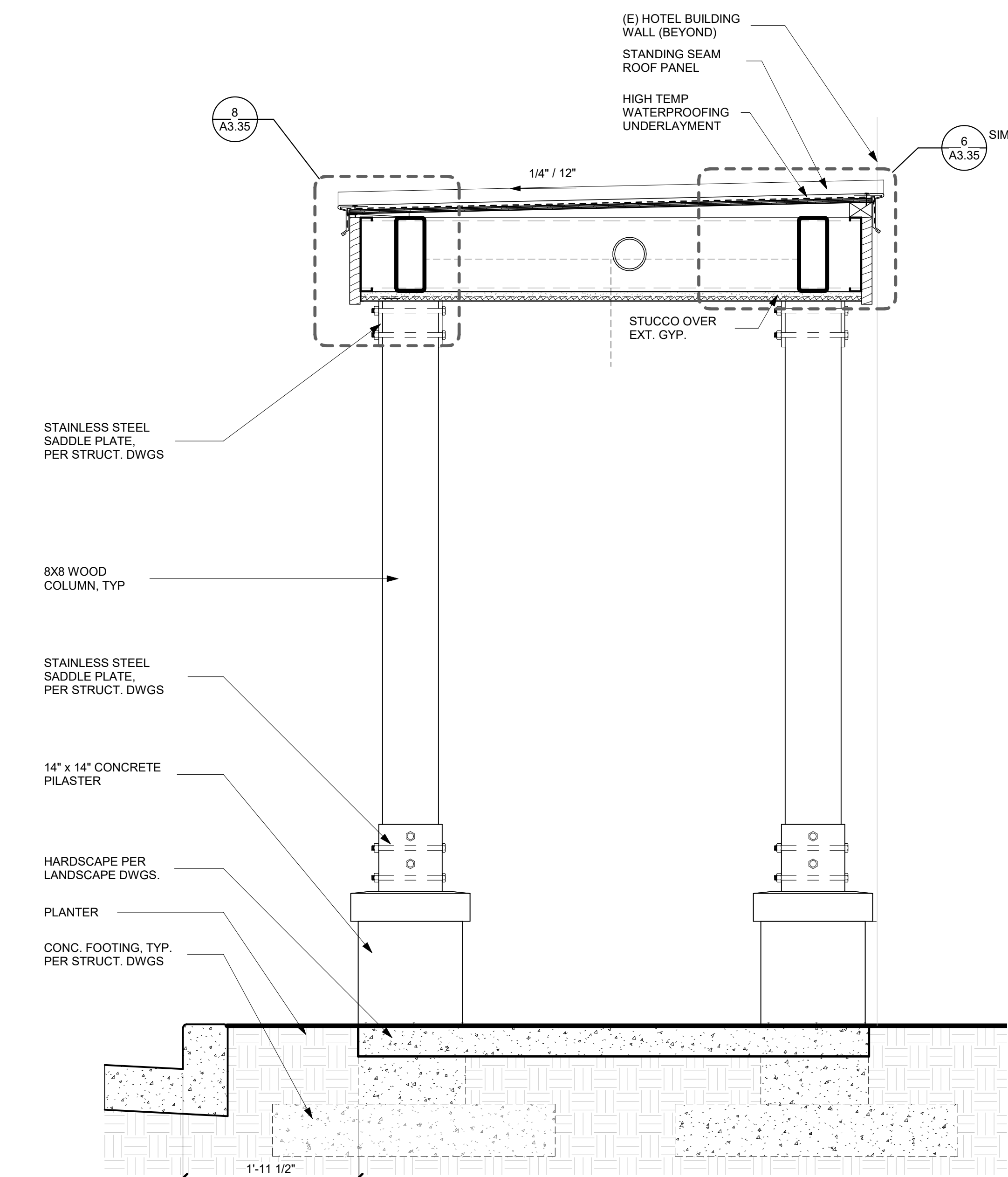
8 ROOF DETAIL 1
3" = 1'-0"



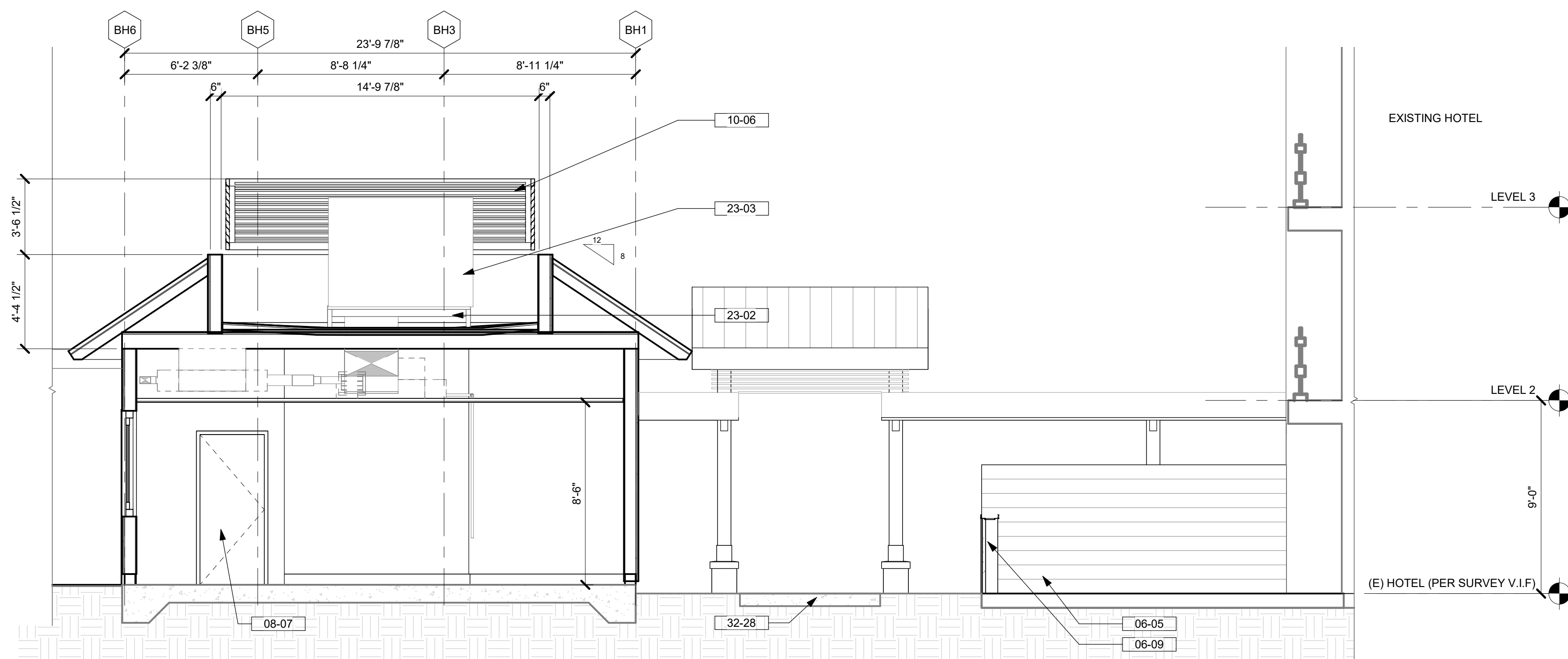
6 ROOF DETAIL AT (E) HOTEL WALL
3" = 1'-0"



2 KITCHEN/RESTROOM BLDG - SECTION B
1/4" = 1'-0"



4 TRELLIS DETAIL
1" = 1'-0"



1 KITCHEN/RESTROOM BLDG - TIKI BAR - SECTION A
1/4" = 1'-0"

KEYNOTES / LEGENDS

- NOTE: 11'-0" DATUM IS BASED ON SURVEY 11'0" ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83
- 06-05 WOOD SIDING - WD - 04
 - 06-09 WOOD SIDING GATE - WD - 04
 - 08-07 DOOR - SEE PLAN & SCHEDULE - PT - 01
 - 08-30 WINDOW - SEE PLAN & SCHEDULE
 - 10-06 HORIZONTAL EQUIPMENT SCREEN - MTL - 03
 - 23-02 MECHANICAL PLATFORM
 - 23-03 MECHANICAL AIR UNITS - SEE MECH. DWGS
 - 23-04 MECHANICAL HEAT PUMP - SEE MECH. DWGS
 - 32-28 HARDSCAPE PER LANDSCAPE

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10.01

MATERIAL LEGEND



WD-04
WOOD SIDING AND TRILLIES
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR COAT NATURAL STAIN & SEALER

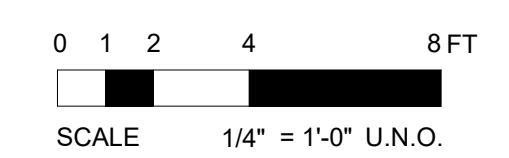


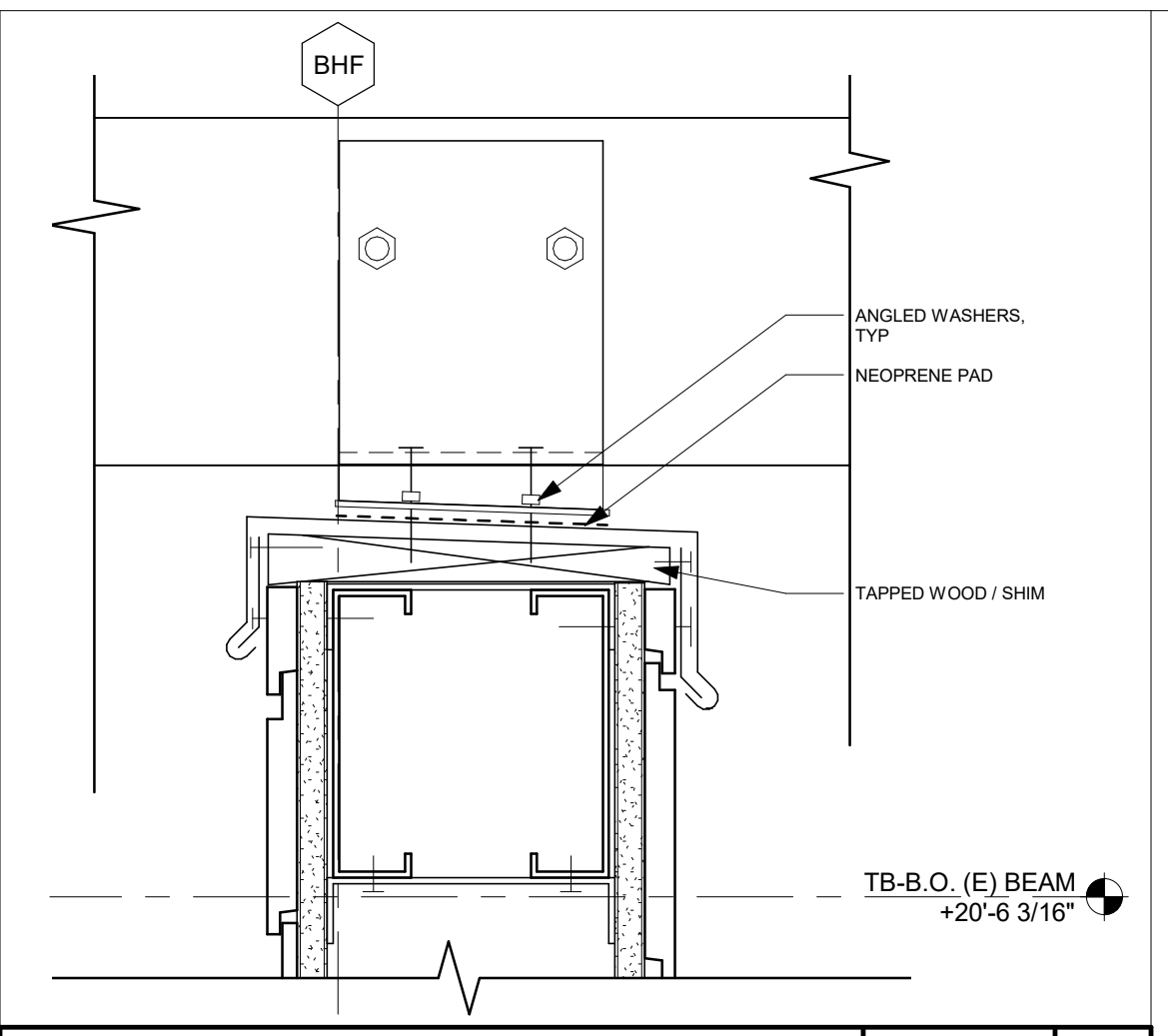
MTL-03
HORIZONTAL EQUIPMENT SCREEN
COLOR: MATCH COLOR OF METAL ROOF RF-02



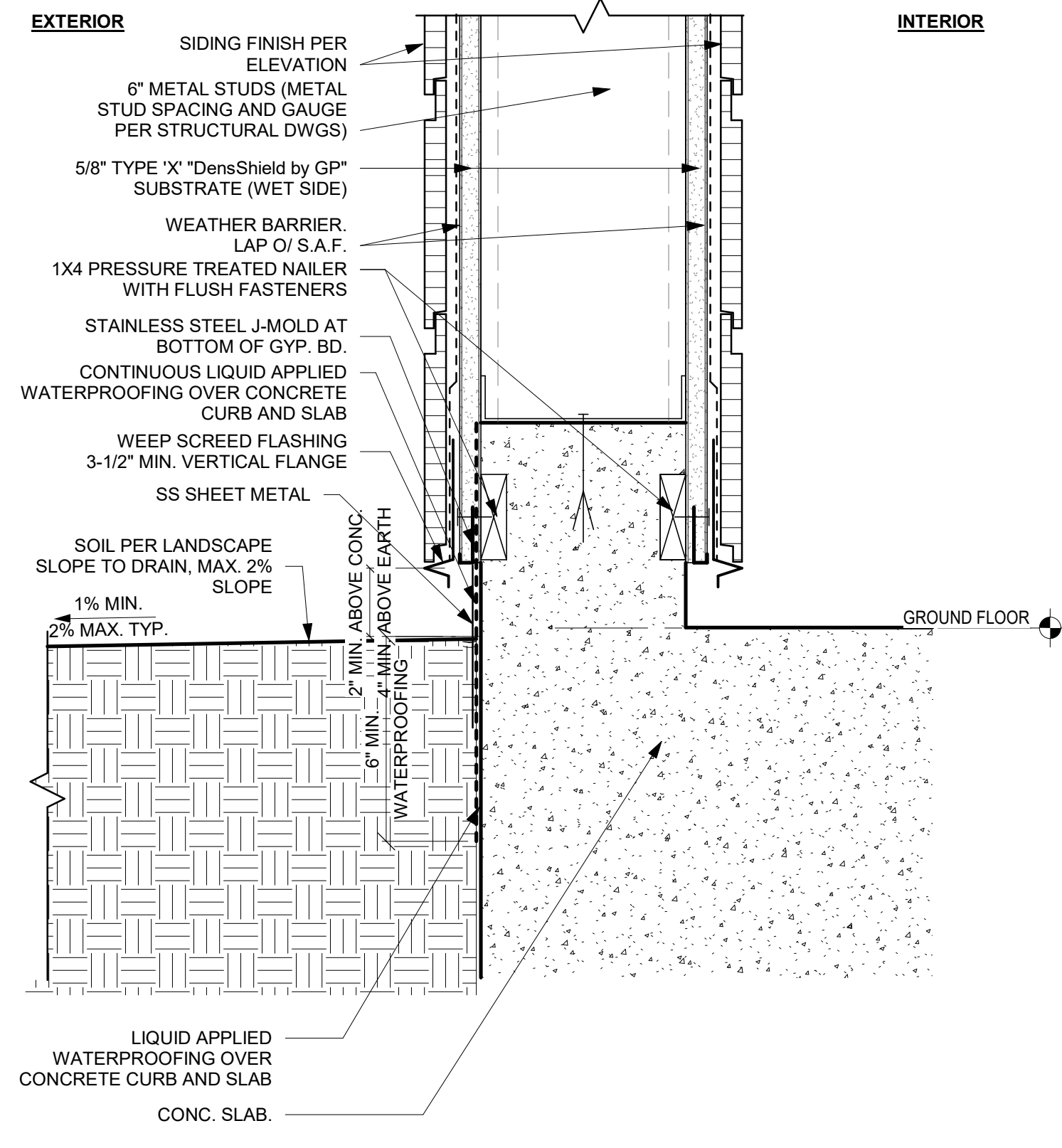
PT-01
NEW WOOD ROOF FASCIA & FIBERGLASS DOORS
PENETRATING STAIN & SEALER
SAMPLE COLOR: VALIRAK GOLD COLOR PINEBARK

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

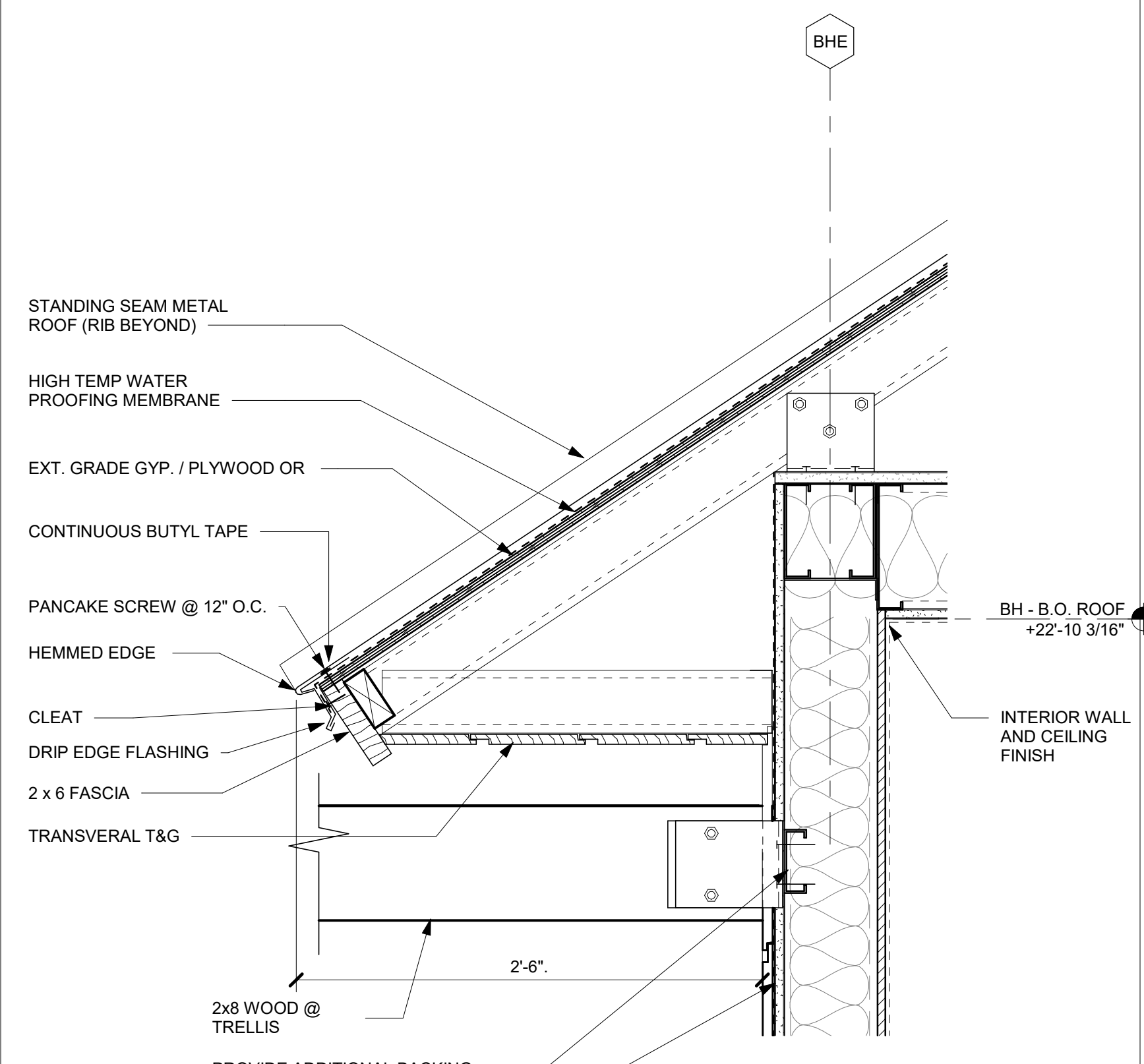




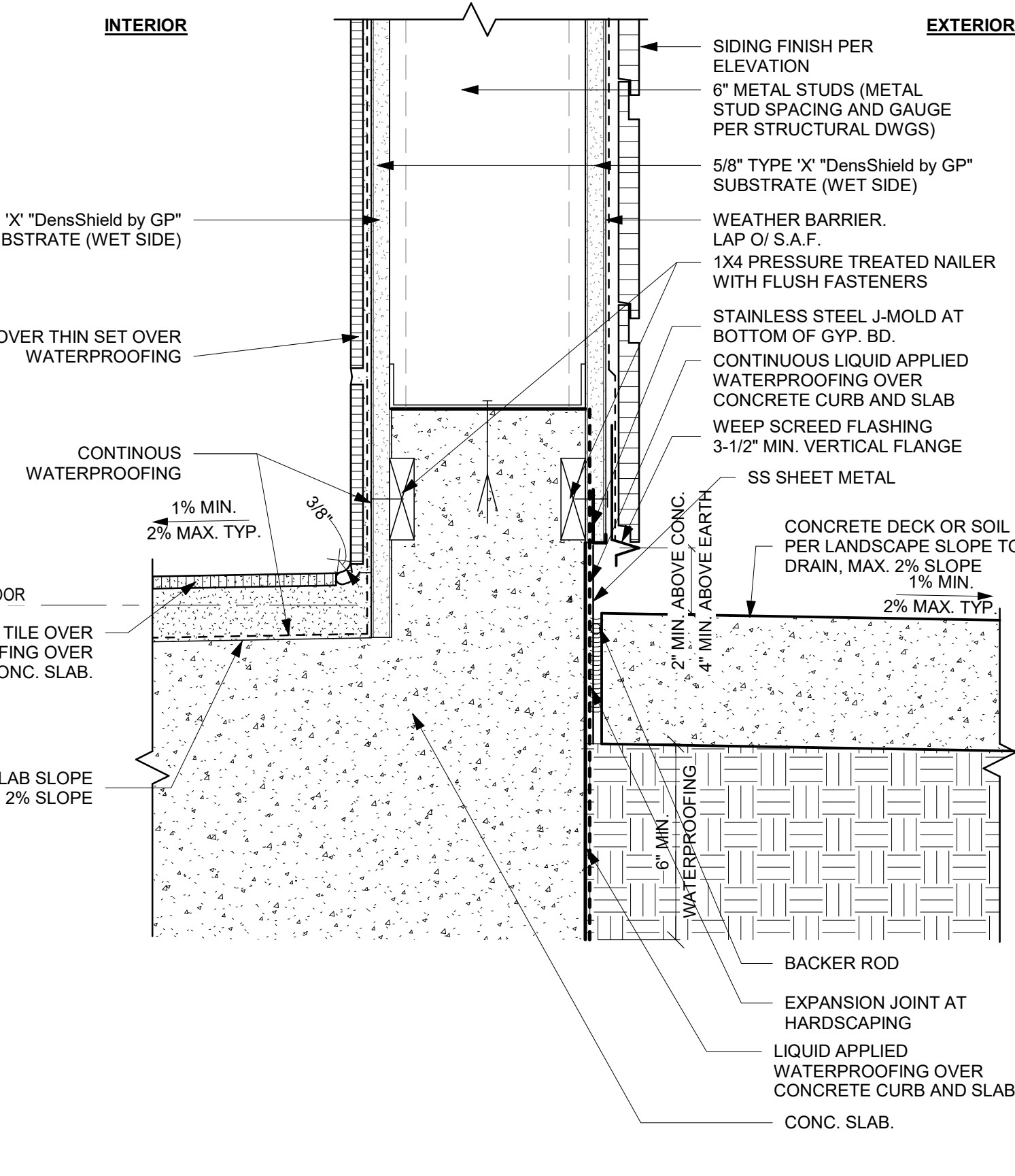
TRELLIS TO COL. CONNECTION 3" = 1'-0" 5



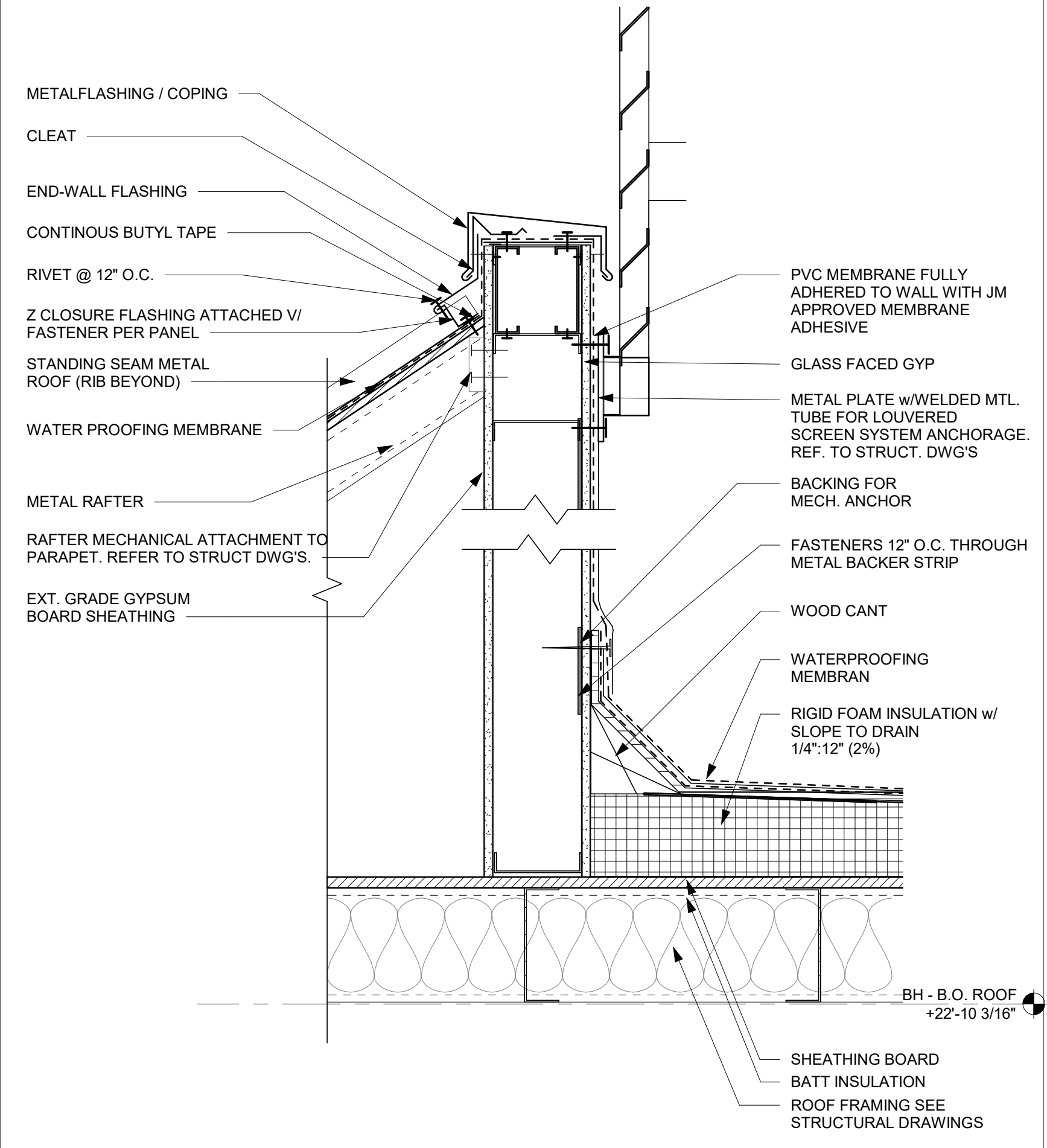
WALL BASE DETAIL 3" = 1'-0" 22



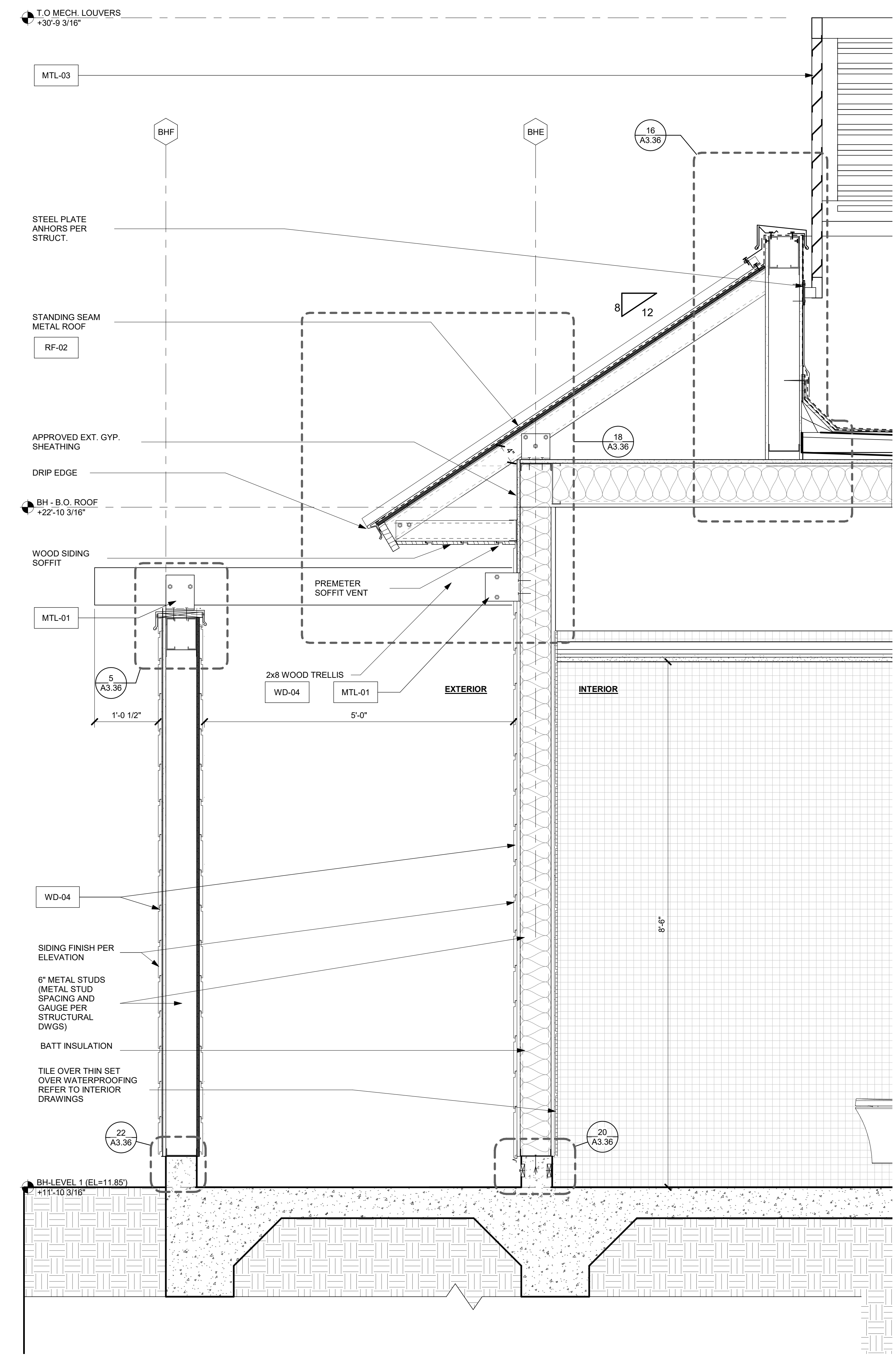
SOFFIT 1 1/2" = 1'-0" 18



WALL BASE DETAIL 3" = 1'-0" 20



PARAPET DETAIL. 1 1/2" = 1'-0" 16



KITCHEN/RESTROOM BLDG - WALL SECTION 1 1" = 1'-0" 1

9/15/2023 5:48:25 PM The original size of this drawing is 30"x42" Copyright © 2023 WATG. All rights reserved.

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KEYNOTES / LEGENDS

- GRID LINES
- EXISTING TO REMAIN
- NEW
- N.I.S.
- SLOPE ARROW, SLOPE 1/8" PER FOOT @ INTERIOR AREAS & 1/4" PER FOOT @ EXTERIOR AREAS U.N.O.
- SPOT ELEVATION PER SURVEY

CEILING PLAN LEGEND

- GYPSUM BOARD FALSE CEILING U.N.O. REFER TO INTERIOR DESIGN DRAWINGS
- SUSPENDED CEILING REFER TO INTERIOR DESIGN DRAWINGS
- EXTERIOR STUCCO CEILING
- RECESSED MOUNTED LIGHT REFER TO LIGHTING DRAWINGS
- ACCESS PANEL REFER TO MECHANICAL DRAWINGS
- SUPPLY DIFFUSER REFER TO MECHANICAL DRAWINGS
- EXHAUST FAN REFER TO MECHANICAL DRAWINGS
- RETURN GRILLE REFER TO MECHANICAL DRAWINGS
- FLUORESCENT LIGHTING REFER TO ELECTRICAL DRAWINGS
- J BOX, REFER TO LIGHTING DRAWINGS

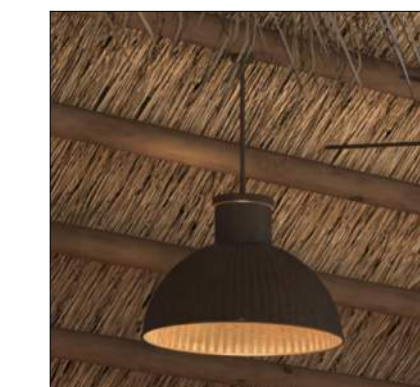
MATERIAL LEGEND



RF-03
NEW SHINGLE ROOF TO MATCH EXISTING
MANUFACTURER: GAF TIMBERLINE HD
COLOR: WEATHERED WOOD ARCHITECTURAL SHINGLES



XWM1 PRST01
TYP. SURFACE MOUNTED SCONCE
FINISH: BRONZE LIVING PATINA
COUNT: 6



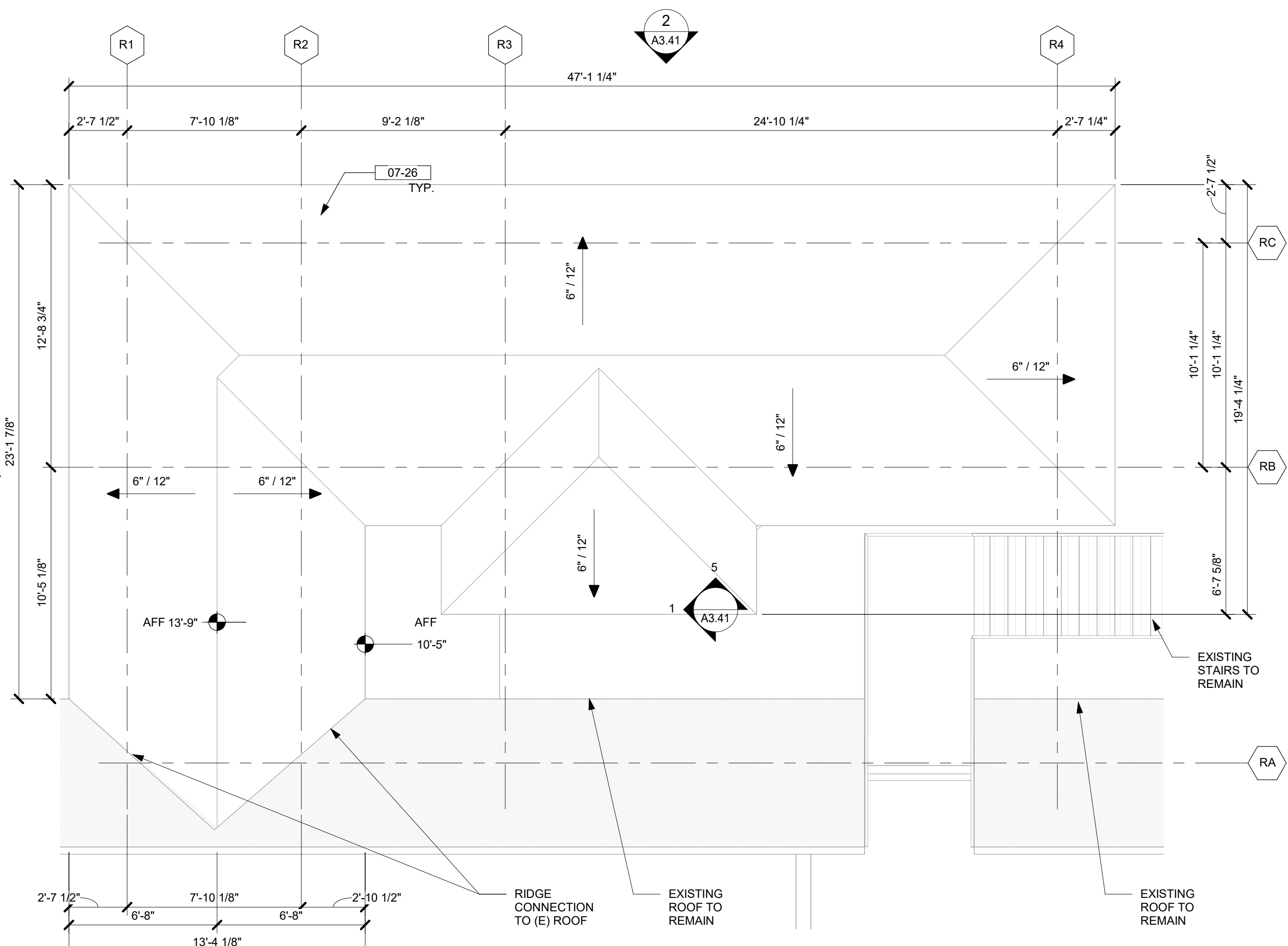
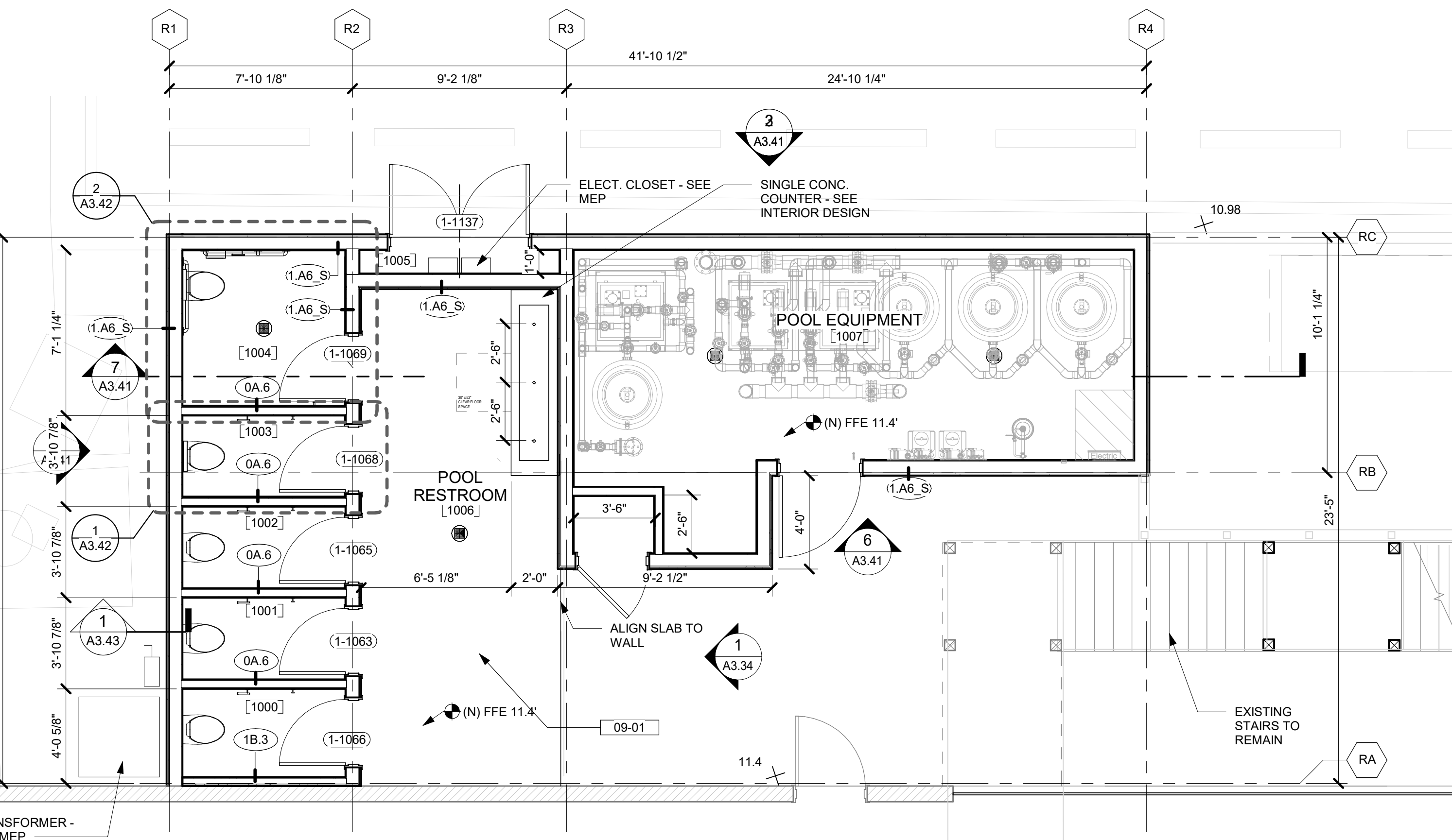
FFEP PRST11
TYP. CUSTOM MADE PENDANT
FINISH: MATTE BRONZE FINISH AND BRASS METAL POWDER COATED INSIDE
COUNT: 1



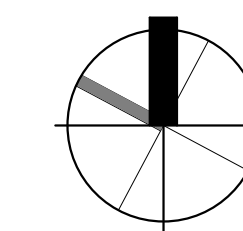
PT-02
EXTERIOR STUCCO CLG. & WOOD FASCIA
COLOR: MATCH (E) ALSO STUCCO SOFFIT COLOR

3 POOL RESTROOM BLDG - RCP
1/4" = 1'-0"

2 POOL RESTROOM - ROOF PLAN
1/4" = 1'-0"



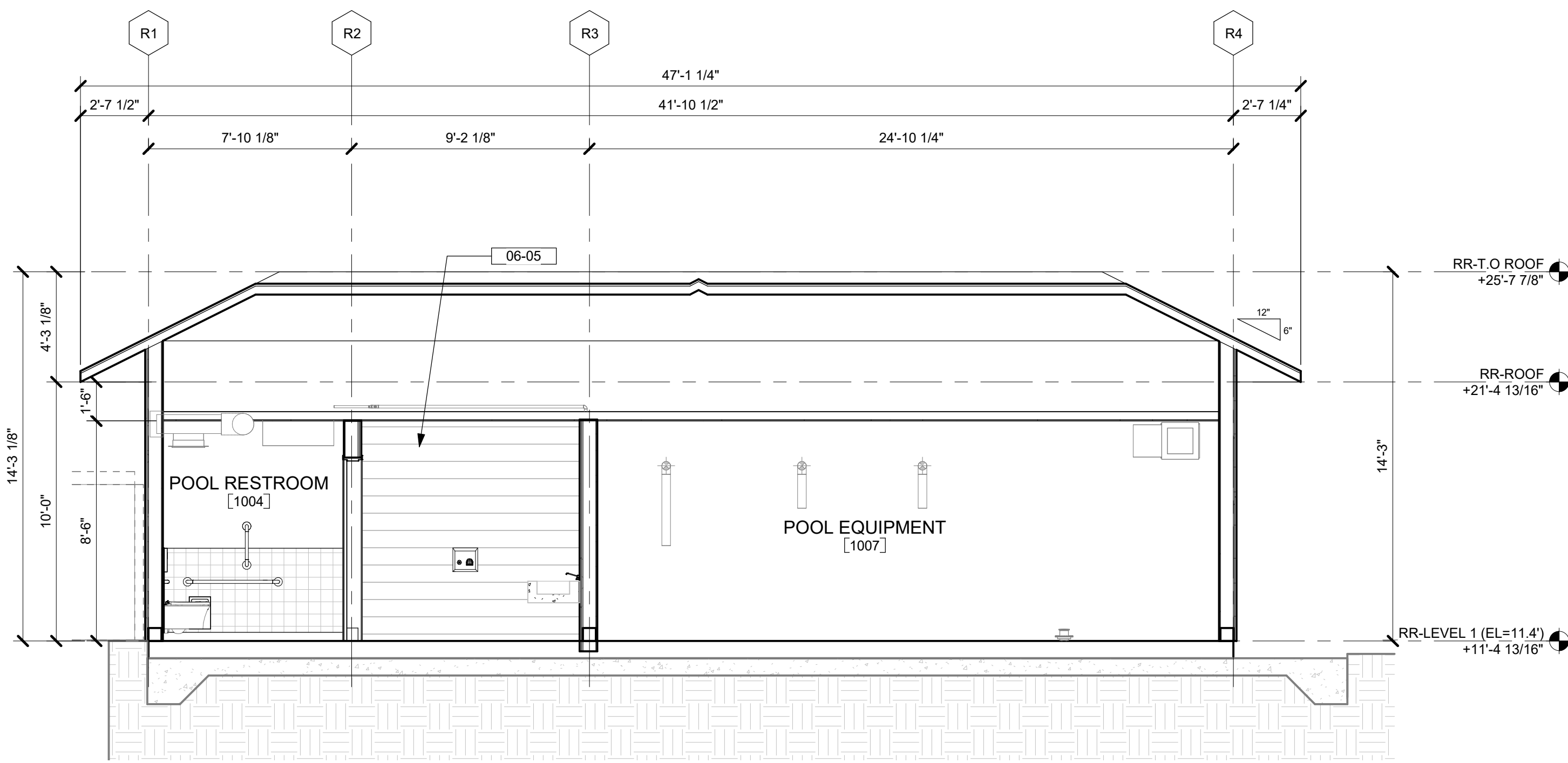
1 POOL RESTROOM BLDG - FLOOR PLAN
1/4" = 1'-0"



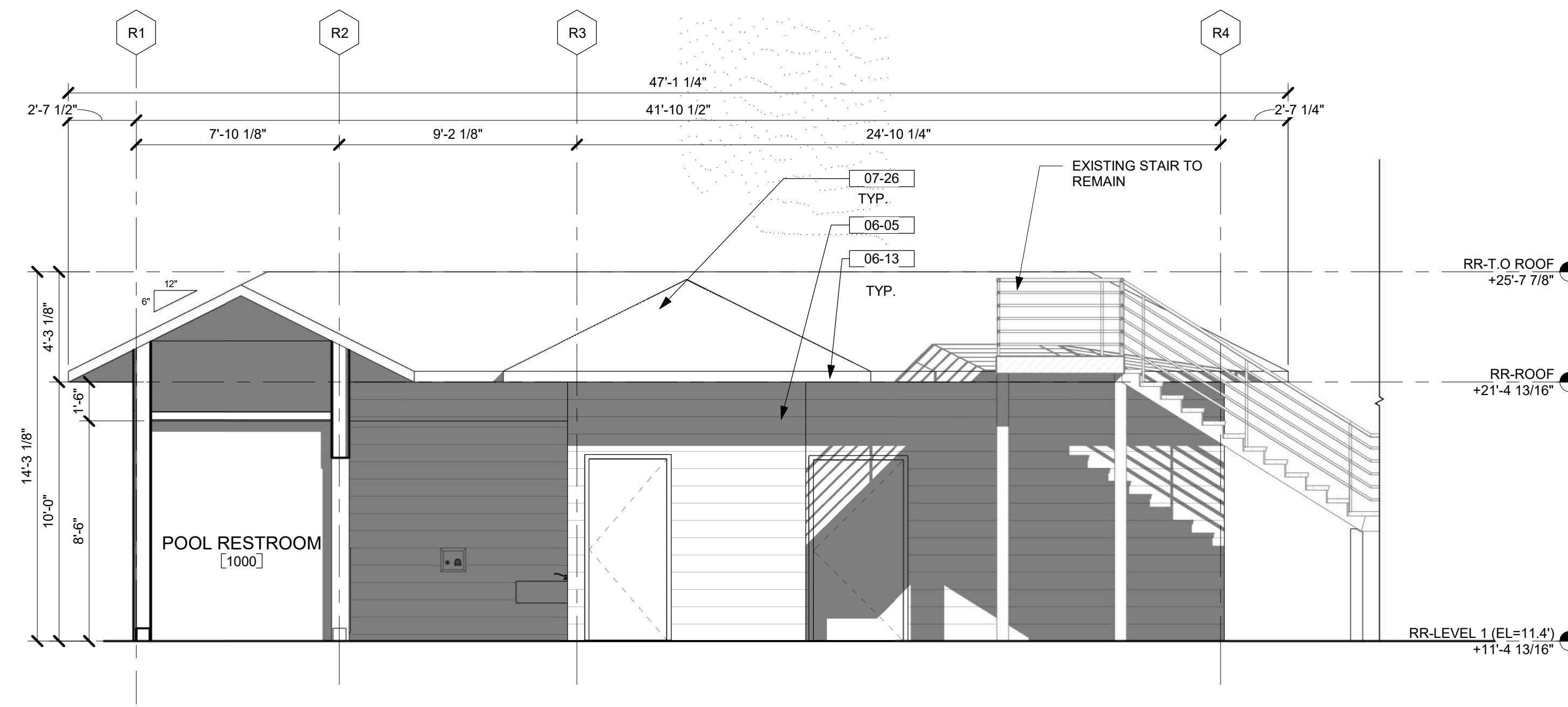
0 1 2 4 8 FT
SCALE 1/4" = 1'-0" U.N.O.

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

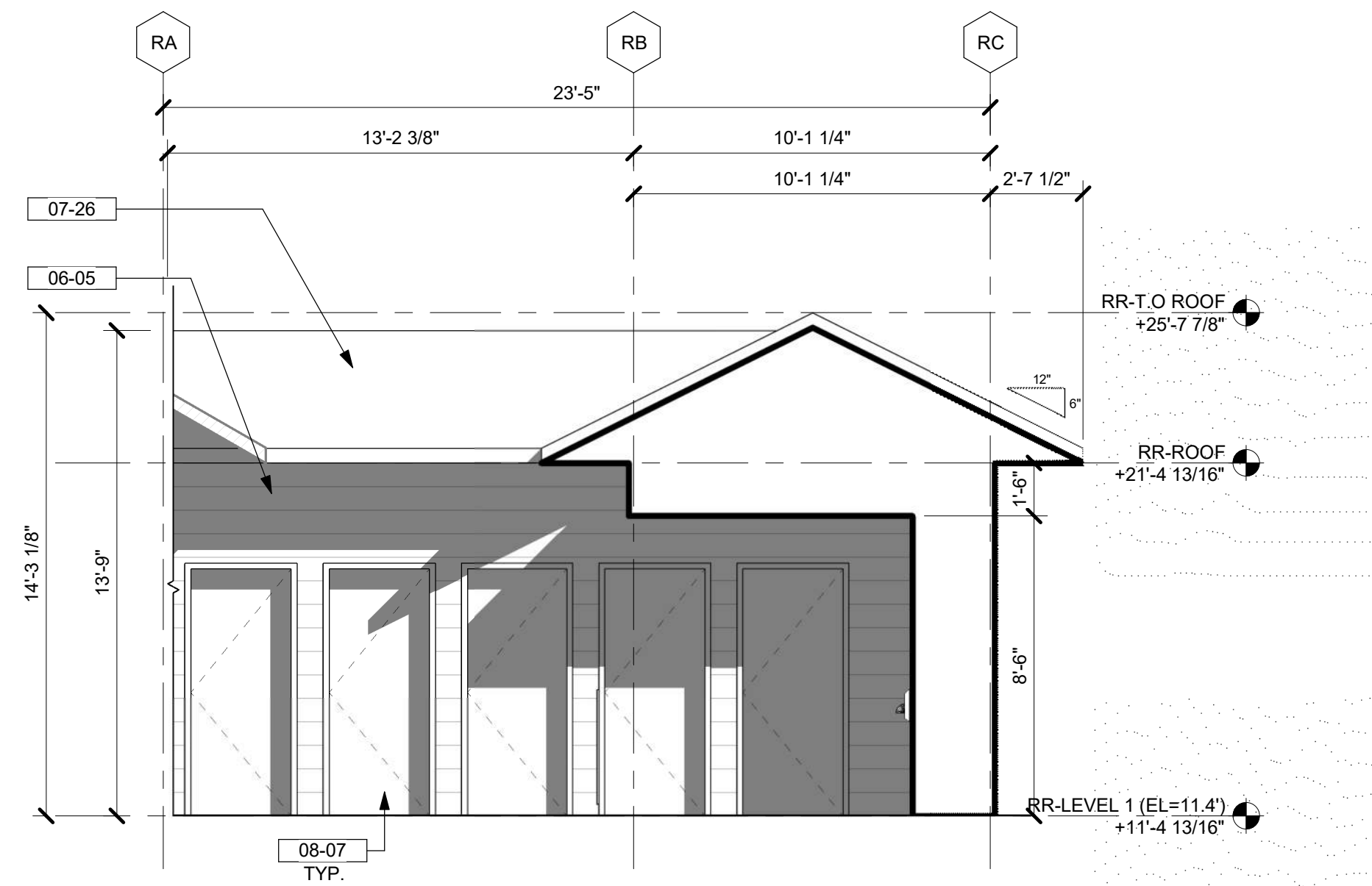
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The original size of this drawing is 30"x42"
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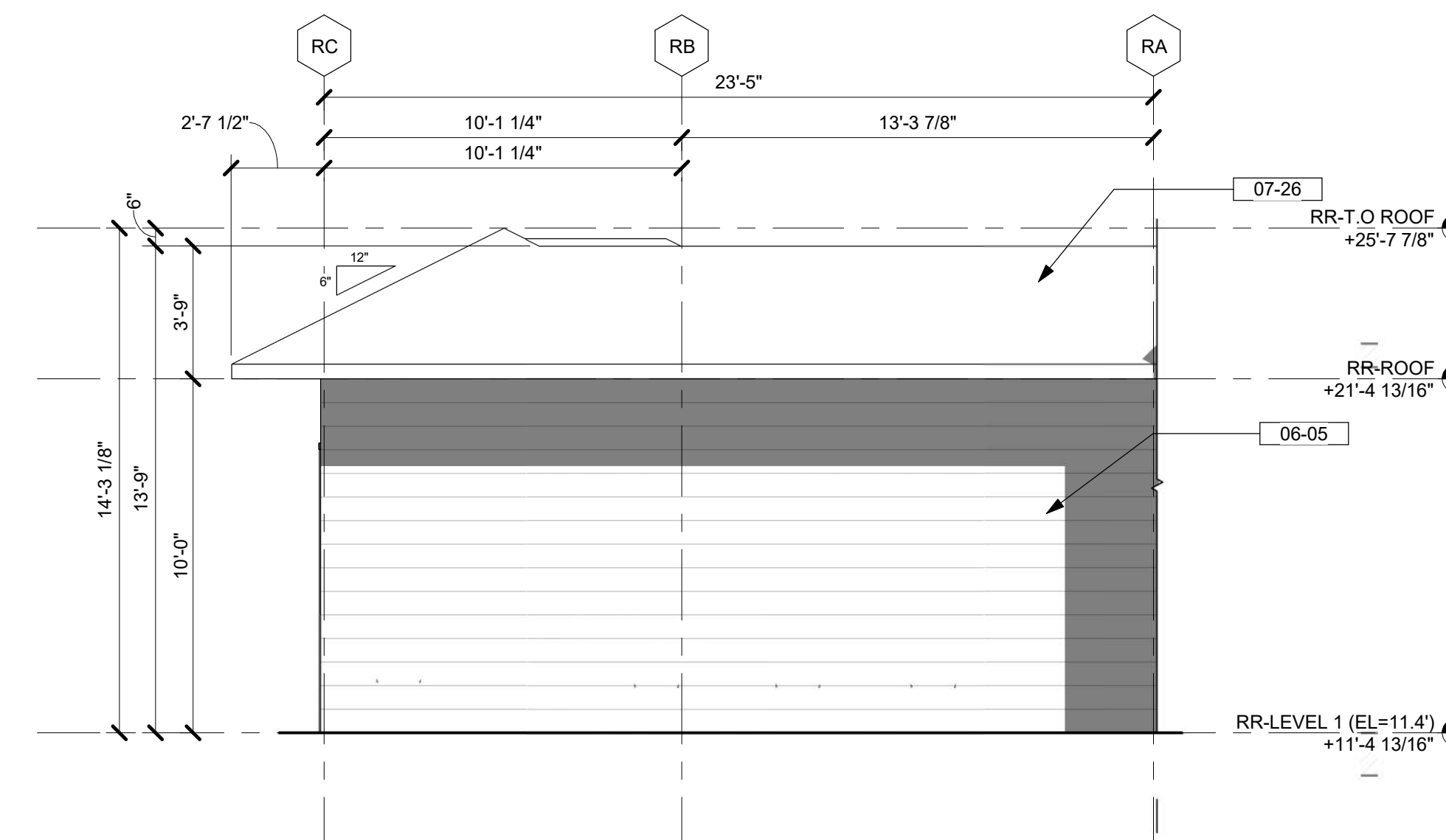
7 POOL RESTROOM - SECTION
1/4" = 1'-0"



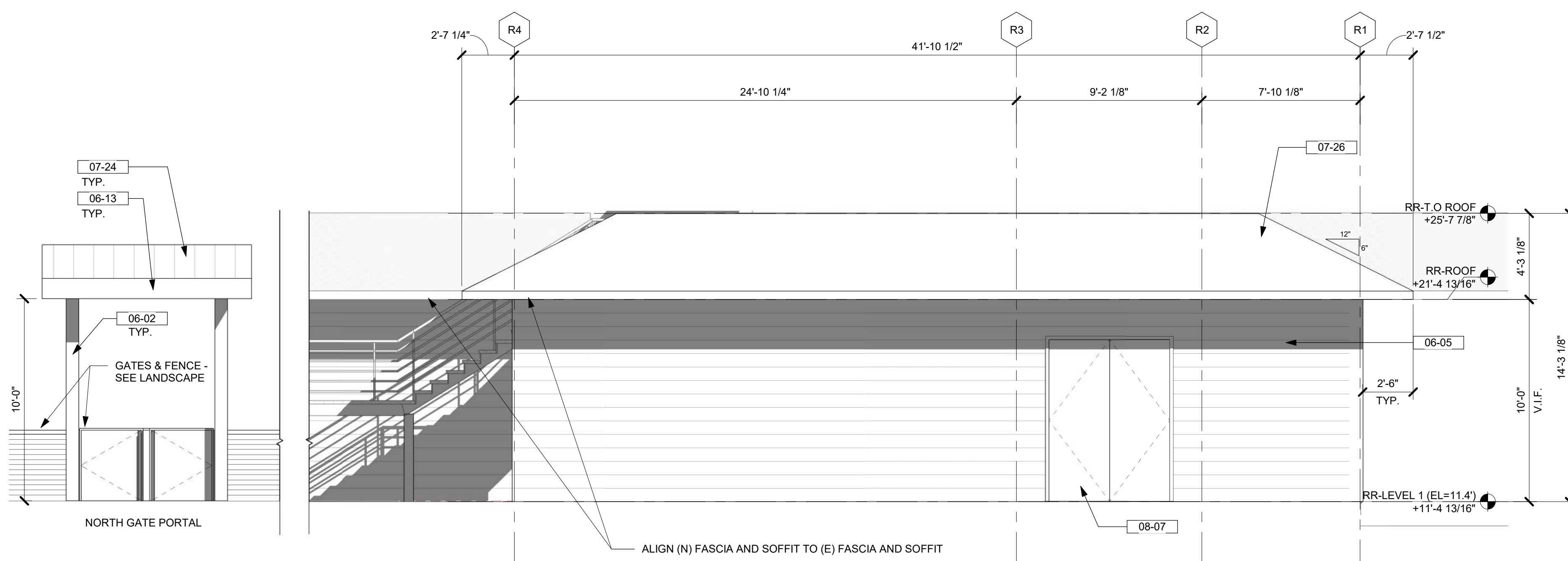
6 POOL RESTROOM - ELEVATION B
1/4" = 1'-0"



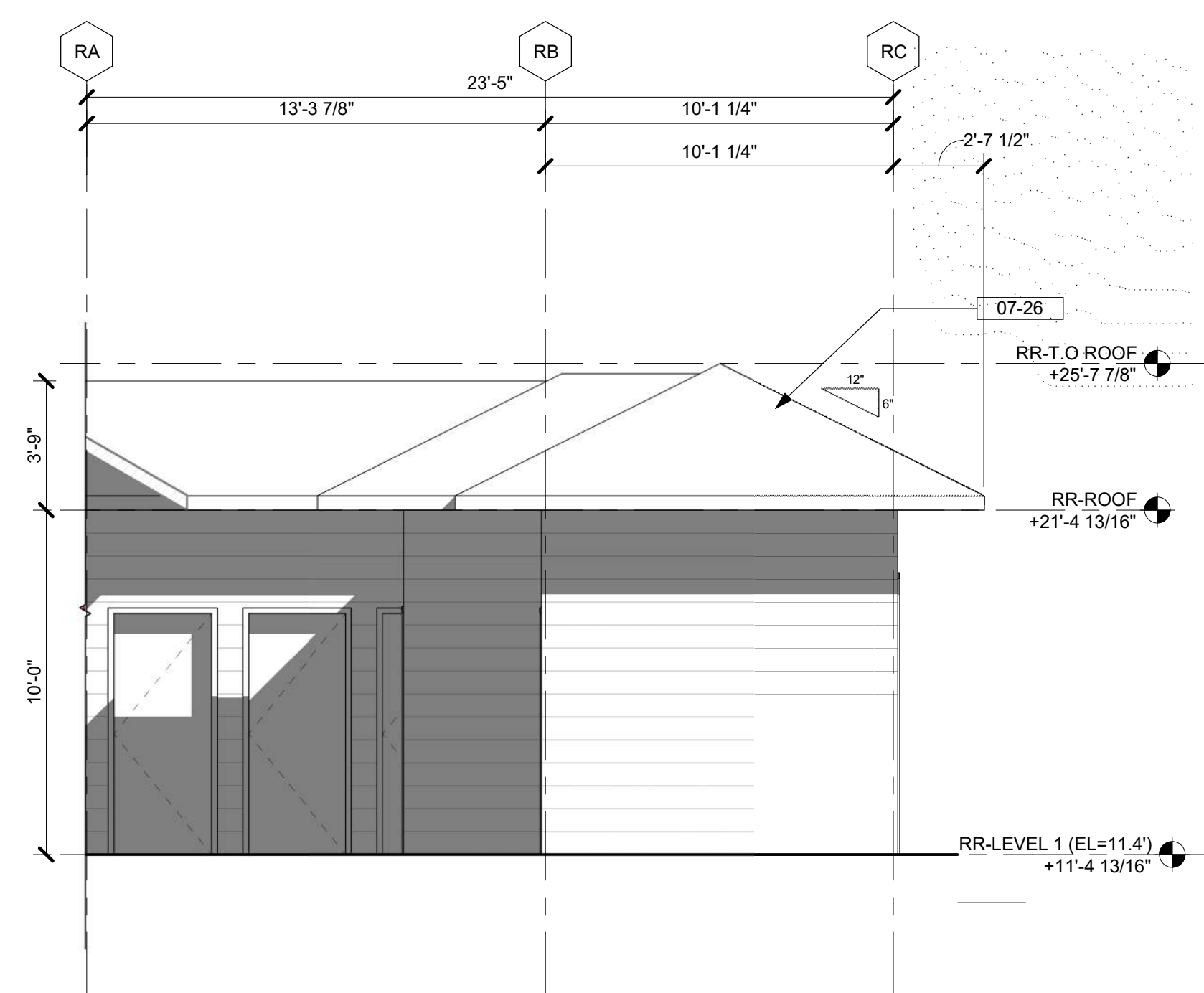
5 POOL RESTROOM - ELEVATION A
1/4" = 1'-0"



4 POOL RESTROOM - REAR ELEVATION
1/4" = 1'-0"



2 POOL REST ROOM - SIDE 1 ELEVATION
1/4" = 1'-0"



1 POOL RESTROOM - FRONT ELEVATION
1/4" = 1'-0"

KEYNOTES / LEGENDS

- NOTE: 1'-0" DATUM IS BASED ON SURVEY 11.0' ELEVATION ABOVE SEA LEVEL USING MEAN SEA LEVEL NAVD83
- 06-02 WOOD COLUMN - SEE STRUCT. DWGS - WD - 01
 - 06-05 WOOD SIDING - WD - 04
 - 06-13 WOOD FASCIA - PT - 02
 - 07-24 METAL STANDING SEAM ROOF - RF - 02
 - 07-26 SHINGLE ROOF TO MATCH EXISTING - RF - 03
 - 08-07 DOOR - SEE PLAN & SCHEDULE - PT - 01

NOTE: SEE ARCHITECTURAL MATERIAL FINISHES ON A-10-01

MATERIAL LEGEND



WD-01
NEW WOOD COLUMN / BEAM FASCIA AND SOFFITS / TRG CEILING
WOOD SPECIE: SOUTHERN YELLOW PINE - SMOOTH FINISH
PENETRATING SEMI-TRANSPARENT STAIN & SEALER
SAMPLE COLOR: VALSPIR - MONTICELLO TAN



WD-04
WOOD SIDING
WOOD SPECIE: CUMARU HARDWOOD
COLOR: CLEAR COAT NATURAL STAIN & SEALER



PT-01
NEW WOOD ROOF FASCIA & FIBERGLASS DOOR
COLOR: WALSWAY SOLID COLOR
PENETRATING STAIN & SEALER



RF-03
NEW SHINGLE ROOF TO MATCH EXISTING
MANUFACTURER: GAF TIMBERLINE HD
COLOR: WEATHERED WOOD ARCHITECTURAL SHINGLES



PT-02
EXTERIOR STUCCO CLG. & WOOD FASCIA
COLOR: MATCH (E) BLDG STUCCO BOFFIT COLOR



client

consultant

stamp | approval

key plan

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND
project logo

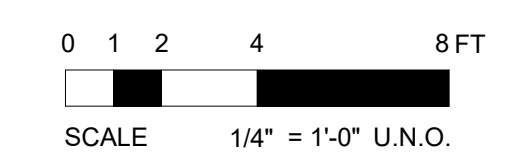
POOL RESTROOM BLDG - ELEVATION/SECTION

sheet title

project no. 212041 date 08/15/2023

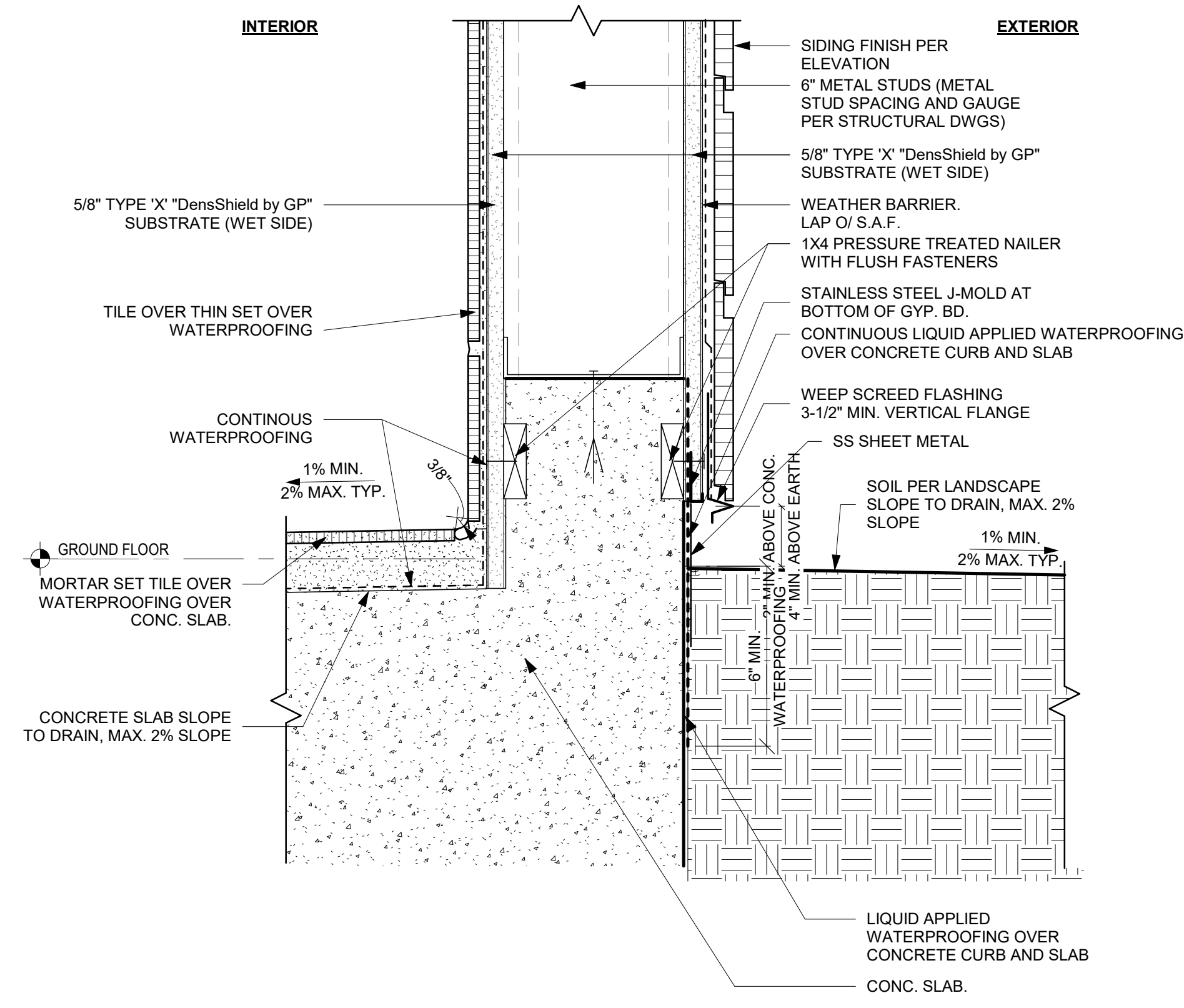
checked by: AA
drawn by: IZ/NP/JHM

component

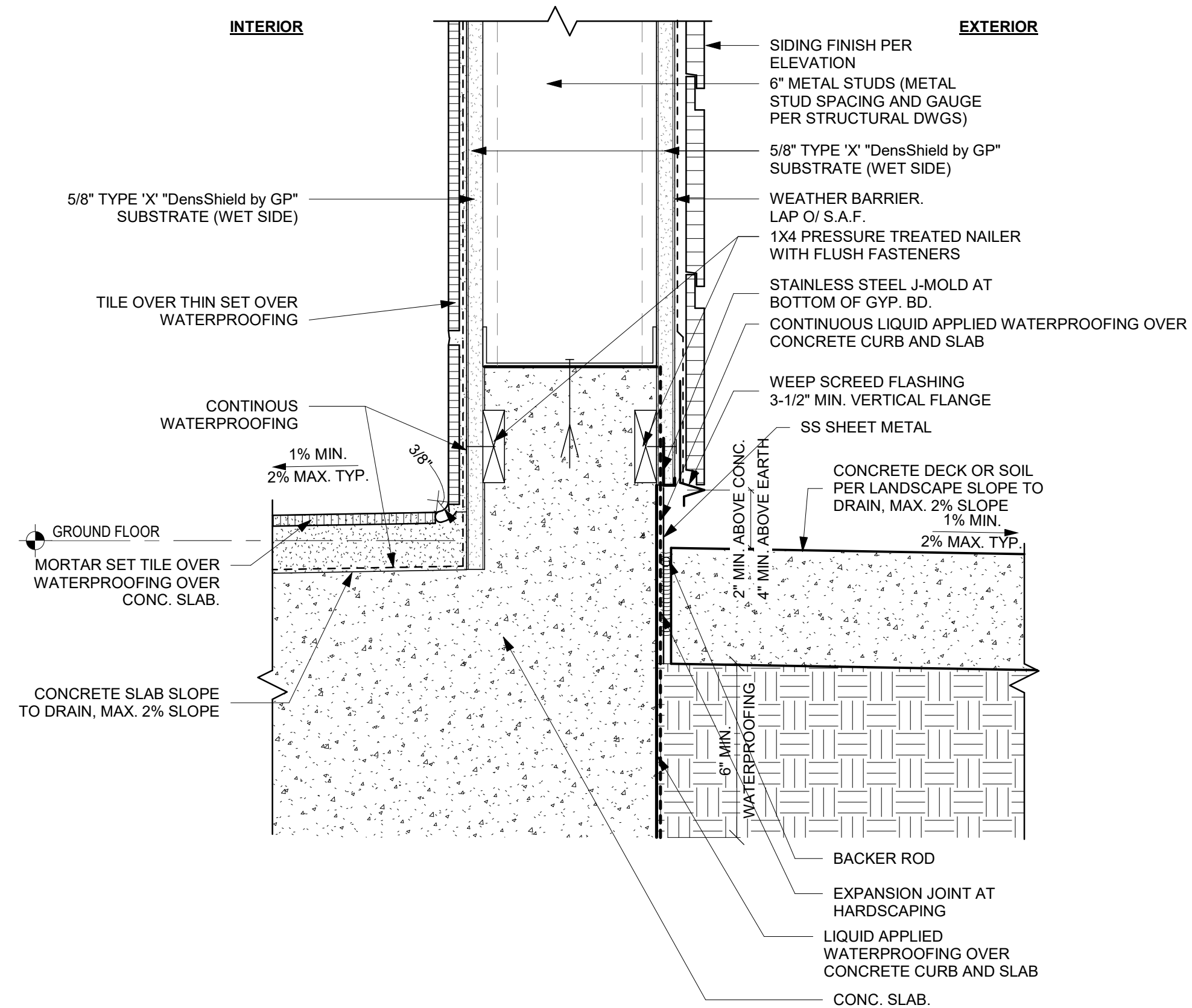


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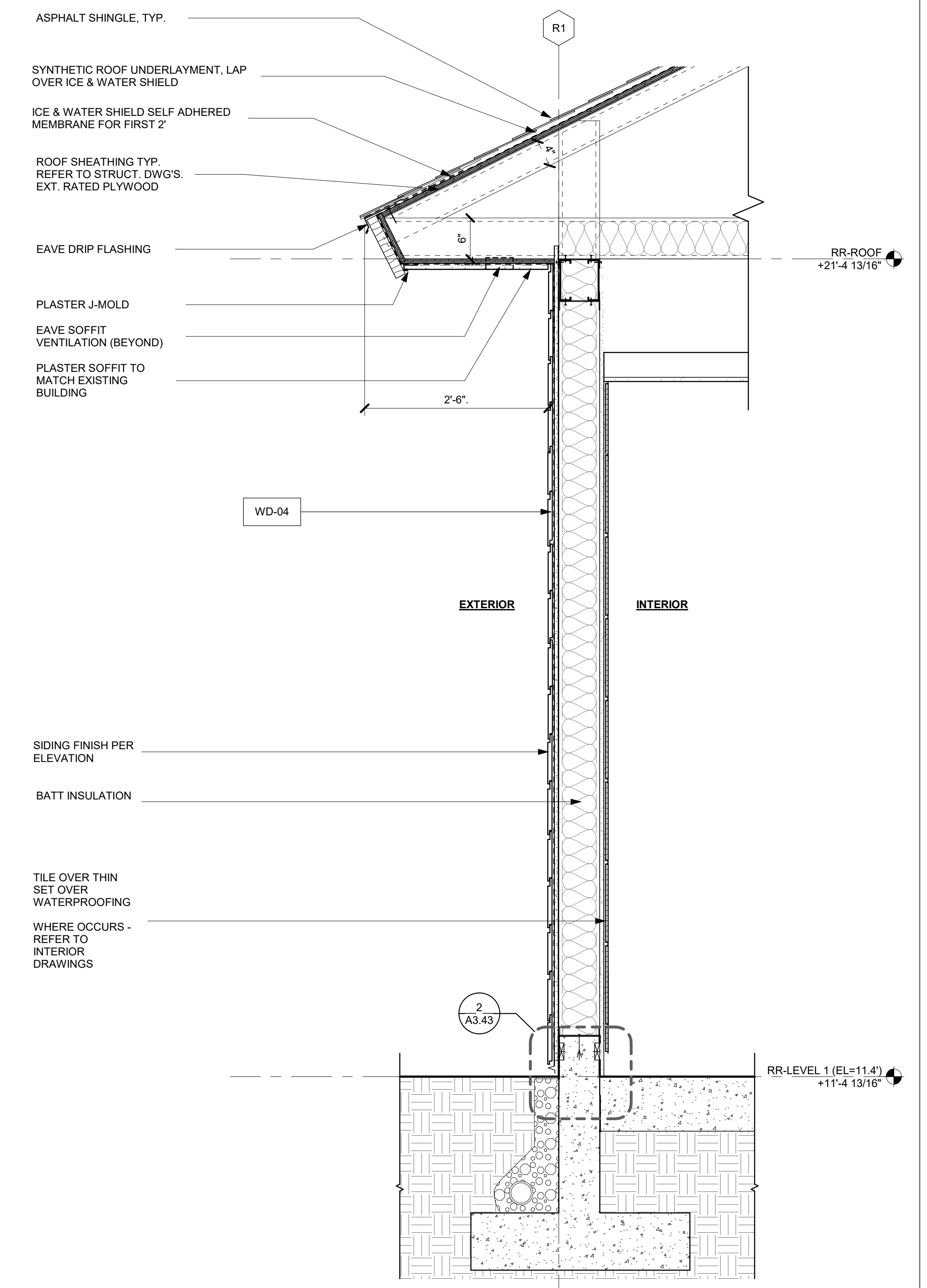
sheet no.



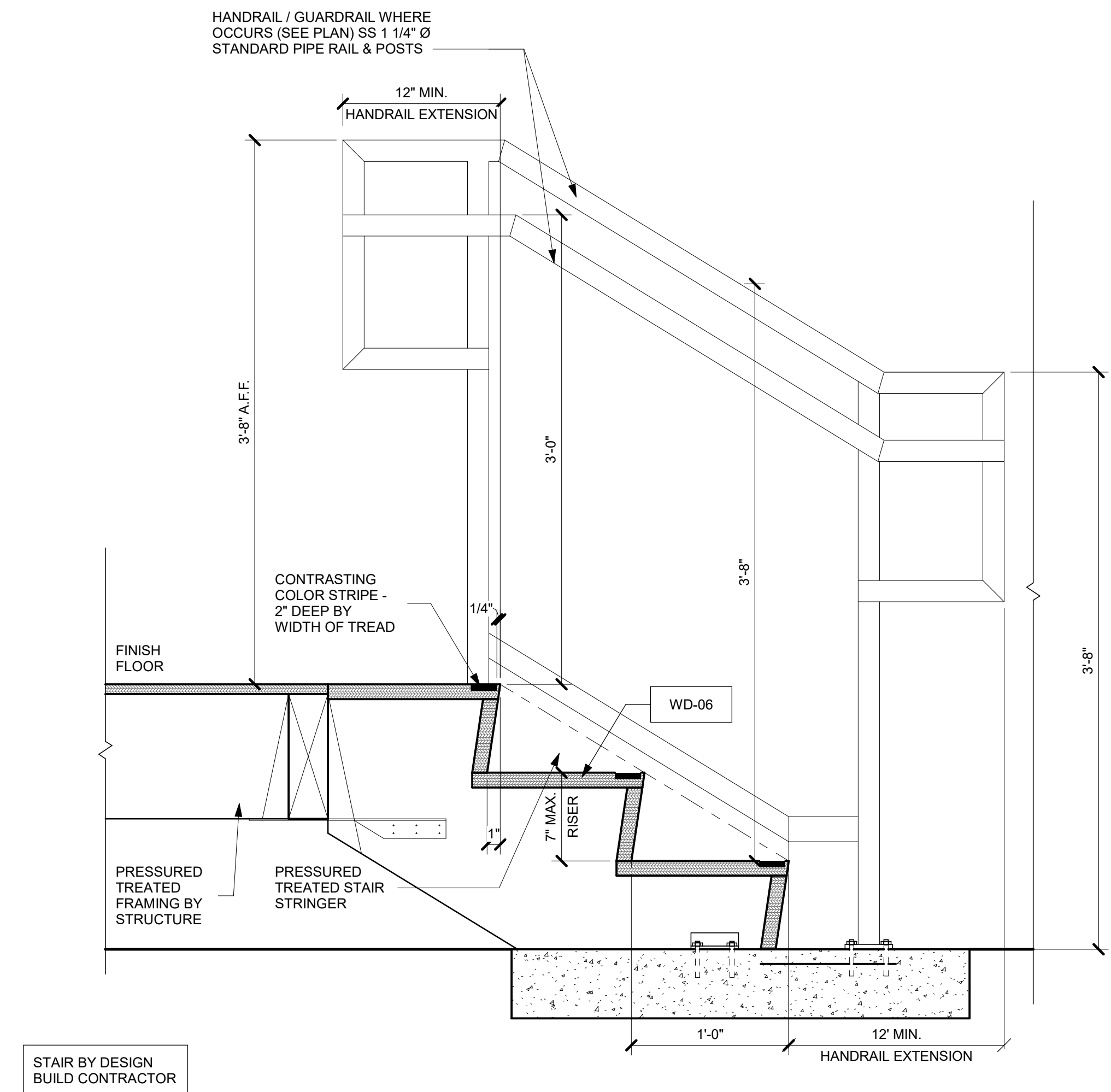
WALL BASE DETAIL 3" = 1'-0" 2



WALL BASE DETAIL 3" = 1'-0" 11

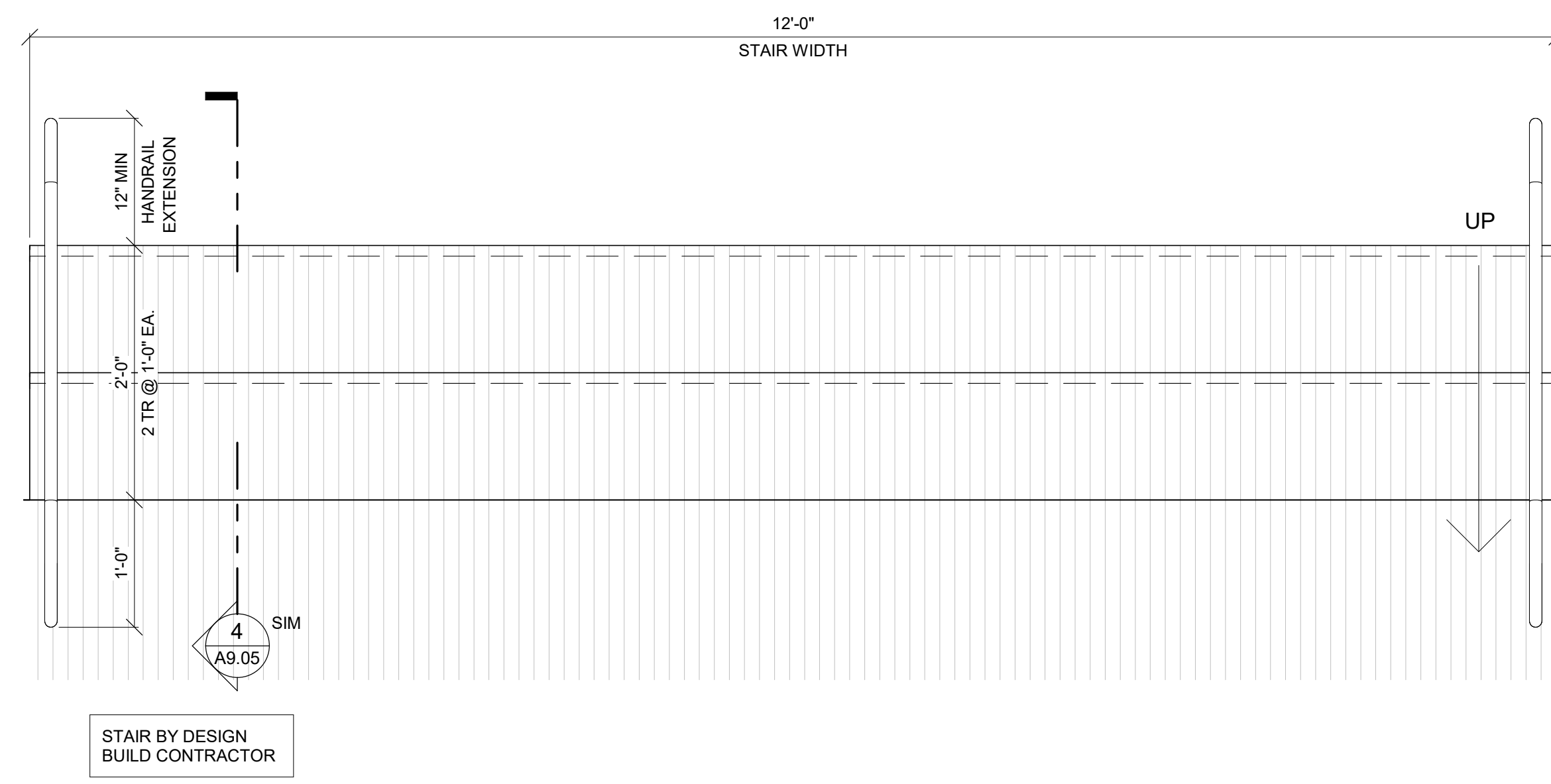


POOL RESTROOM BUILDING - SECTION 1" = 1'-0" 1



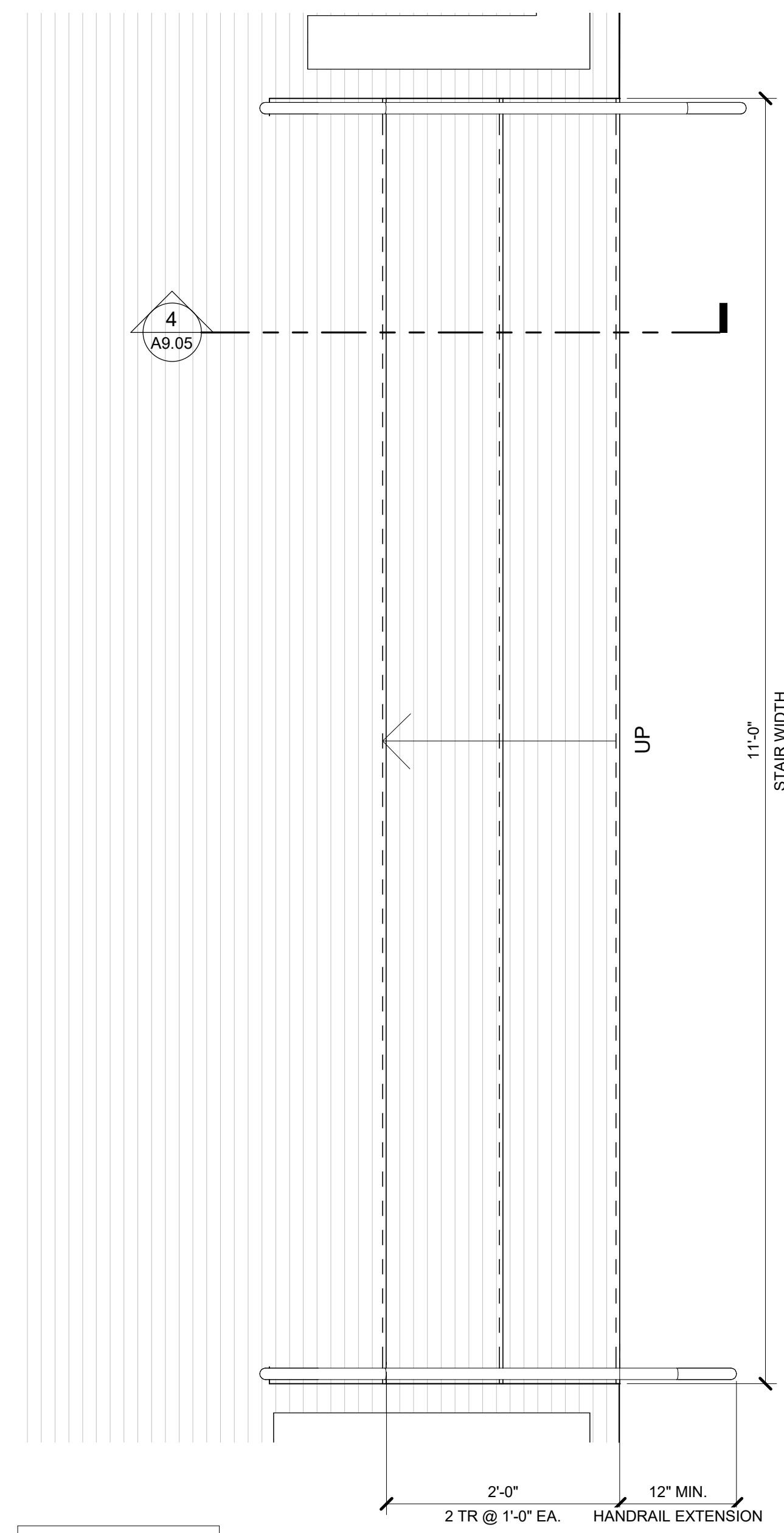
STAIR BY DESIGN
BUILD CONTRACTOR

STR-WOOD STAIR TOP LANDING - PAN 1 1/2" = 1'-0" 4



STAIR BY DESIGN
BUILD CONTRACTOR

BEACH EVENT PAVILION STAIR PLAN 1" = 1'-0" 11



STAIR BY DESIGN
BUILD CONTRACTOR

BEACH TIKI BAR STAIR PLAN 1" = 1'-0" 1

DRB (FINAL) SUBMITTAL SET | 08.15.2023 | NOT FOR CONSTRUCTION

MATERIAL BOARD



STU-01
 TABBY SHELL STUCCO
 LIGHT TAN EARTH TONE



WD-01
 NEW WOOD COLUMN /
 BEAMS, FASCIA AND
 LOUVERS / T&G CEILING

 WOOD SPECIE:
 SOUTHERN YELLOW
 PINE - SMOOTH FINISH

 PENETRATING SEMI-
 TRANSPARENT STAIN &
 SEALER

 SAMPLE COLOR:
 VALSPER - MONTICELLO
 TAN



WD-05
 WOOD LOUVER

 WOOD & COLOR:
 MATCH WD-01



MTL-01
 WOOD STRUCTURAL
 STEEL CONNECTIONS

 FINISH:
 STAINLESS STEEL



RF-01
 NEW THATCH ROOF TO
 MATCH EXISTING



WD-02
 WOOD RAILING

 WOOD MATERIAL/COLOR:
 MATCH DECKING WD-03

 CABLE COLOR:
 STAINLESS STEEL



WD-06
 NEW WOOD COLUMN
 (@ TIKI BAR)

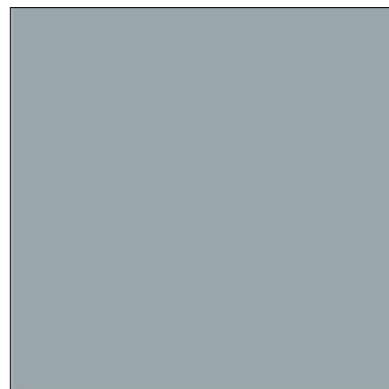
 WOOD SPECIE:
 PRESSURE TREATED
 SOUTHERN YELLOW
 PINE

 MATCH EXISTING



MTL-03
 HORIZONTAL
 EQUIPMENT SCREEN

 COLOR:
 MATCH COLOR OF
 METAL ROOF RF-02



RF-02
 STANDING SEAM METAL
 ROOFING

 MANUFACTURER:
 PAC-CLAD

 COLOR:
 CITY SCAPE



WD-03
 WOOD DECK

 WOOD SPECIE:
 CUMARU HARDWOOD

 COLOR:
 CLEAR COAT NATURAL



WD-07
 NEW WOOD BEAM AND
 RAFTERS

 WOOD SPECIE:
 SOUTHERN YELLOW PINE

 MATCH EXISTING

 COLOR:
 CLEAR COAT NATURAL
 STAIN & SEALER



STN-01
 STONE CAP

 SPECIE: NATURAL
 LIMESTONE

 COLOR:
 NATURAL HONED FINISH
 TO MATCH TABBY PLASTER



WD-04
 WOOD SHIPLAP SIDING
 AND TRELLIS

 WOOD SPECIE:
 CUMARU HARDWOOD

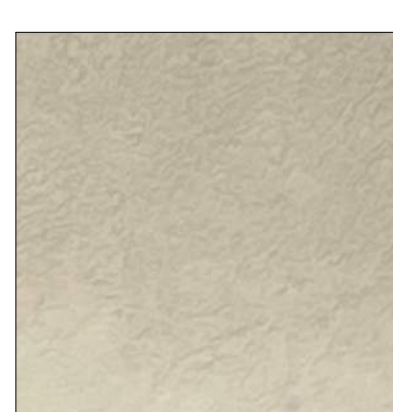
 COLOR:
 CLEAR COAT NATURAL
 STAIN & SEALER



PT-01
 NEW WOOD ROOF
 FASCIA & FIBERGLASS
 DOORS

 PENETRATING STAIN &
 SEALER

 SAMPLE COLOR:
 VALSPAR SOLID COLOR
 PINEBARK



PT-02
 EXTERIOR STUCCO CLG.
 & WOOD FASCIA

 COLOR:
 MATCH (E) BLDG
 STUCCO SOFFIT COLOR



RF-03
 NEW SHINGLE ROOF
 TO MATCH EXISTING

 MANUFACTURER:
 GAF TIMBERLINE HD

 COLOR:
 WEATHERED WOOD
 ARCHITECTURAL
 SHINGLES

consultant

stamp | approval

key plan

no. date issue
 issues | revisions

Beach House
HILTON HEAD ISLAND
 project logo

DRB (FINAL) SUBMITTAL SET | NOT FOR CONSTRUCTION

MATERIAL BOARD - DRB

sheet title

project no.212041 date 08/15/2023

checked by: Checker
 drawn by: Author component

A-10.01

sheet no.

APPENDIX

LOOK AND FEEL OF THE PROJECT

(RENDERINGS ARE GRAPHIC ILLUSTRATIONS OF PREVIOUS CONCEPTS ONLY AND NOT REPRESENTATIVE OF CURRENT 8-22-23 REVIEW PACKAGE)

ADJACENT PROPERTY PHOTOS

HILTON HEAD BEACH HOUSE PHOTOS

SETBACK AND FLOOD SITE INFORMATION



























OCEAN ONE VILLAS

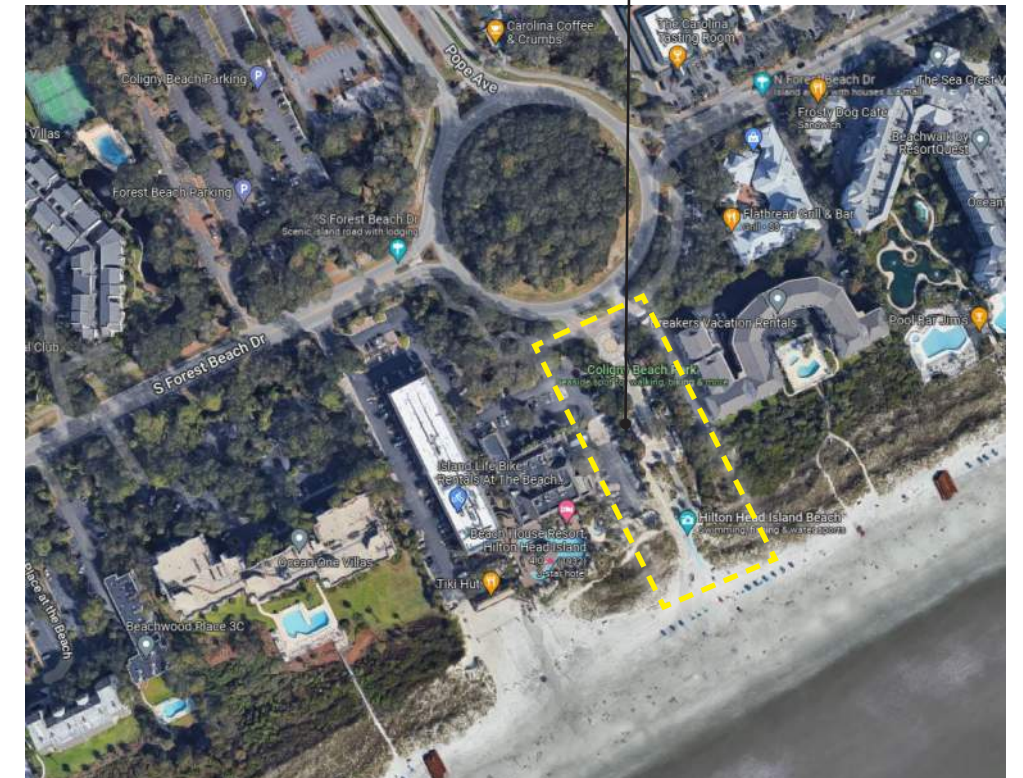




RESTROOM PAVILION



COLIGNY BEACH PARK



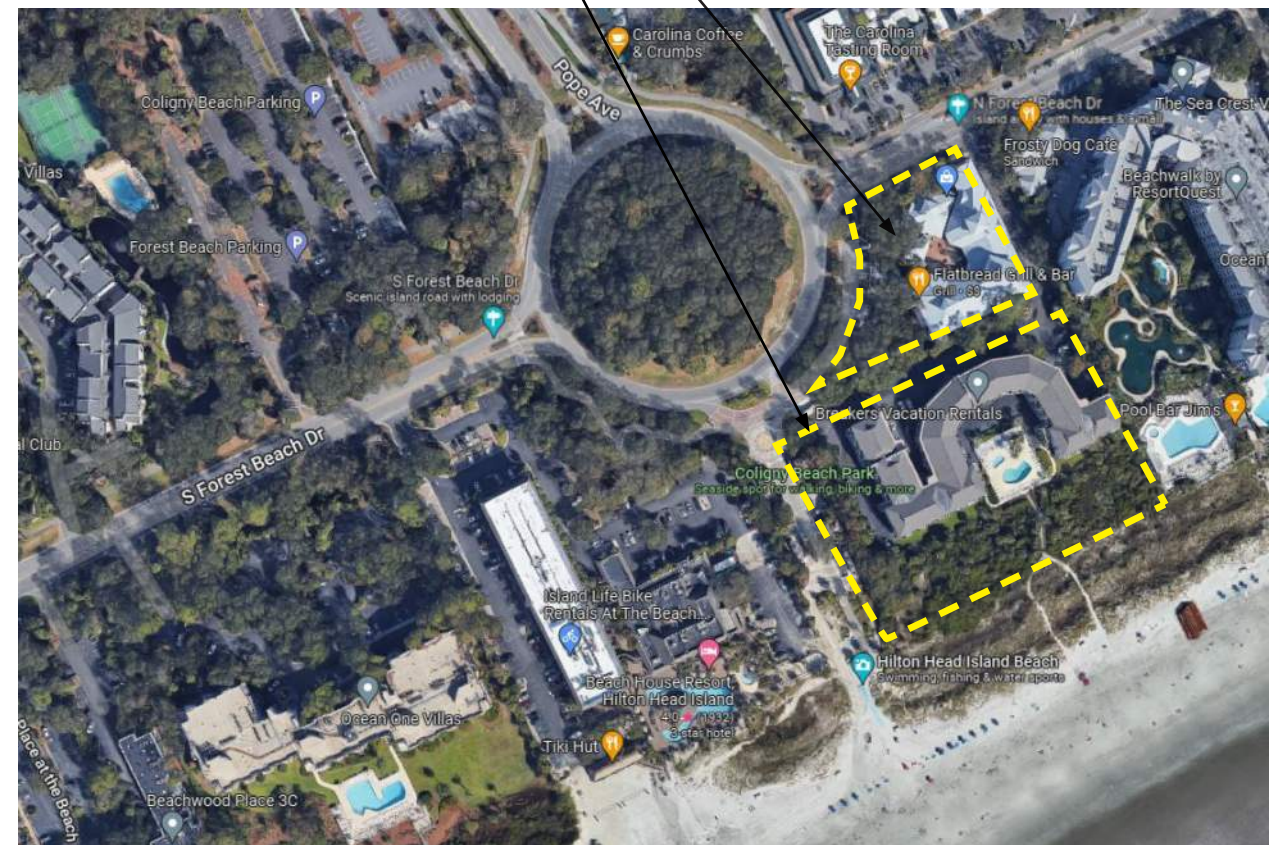


BEACH MARKET



BREAKERS VACATION RENTALS

BEACH MARKET
BREAKERS VACATION RENTAL







BEACH HOUSE HOTEL ENTRY



VIEW OF PORTE COCHERE FROM PARKING LOT



GUESTROOM PATIO



VIEW OF POOL DECK + GATE FROM WALKWAY CORRIDOR



VIEW OF VEHICLE ACCESS BY THE EXISTING ICE MACHINE



VIEW OF TIKI BAR FACING THE BEACH



VIEW OF STAGE FROM TIKI DINING AREA



SOUTHWEST VIEW OF TIKI BAR



NORTHEAST VIEW OF TIKI BAR



VIEW OF BEACH ACCESS FROM SOUTHWEST PARKING LOT



VIEW OF EXISTING STAIRS, SMOKER + BIKE RENTAL



VIEW OF NORTHEAST PARKING LOT



WEST VIEW OF POOL DECK



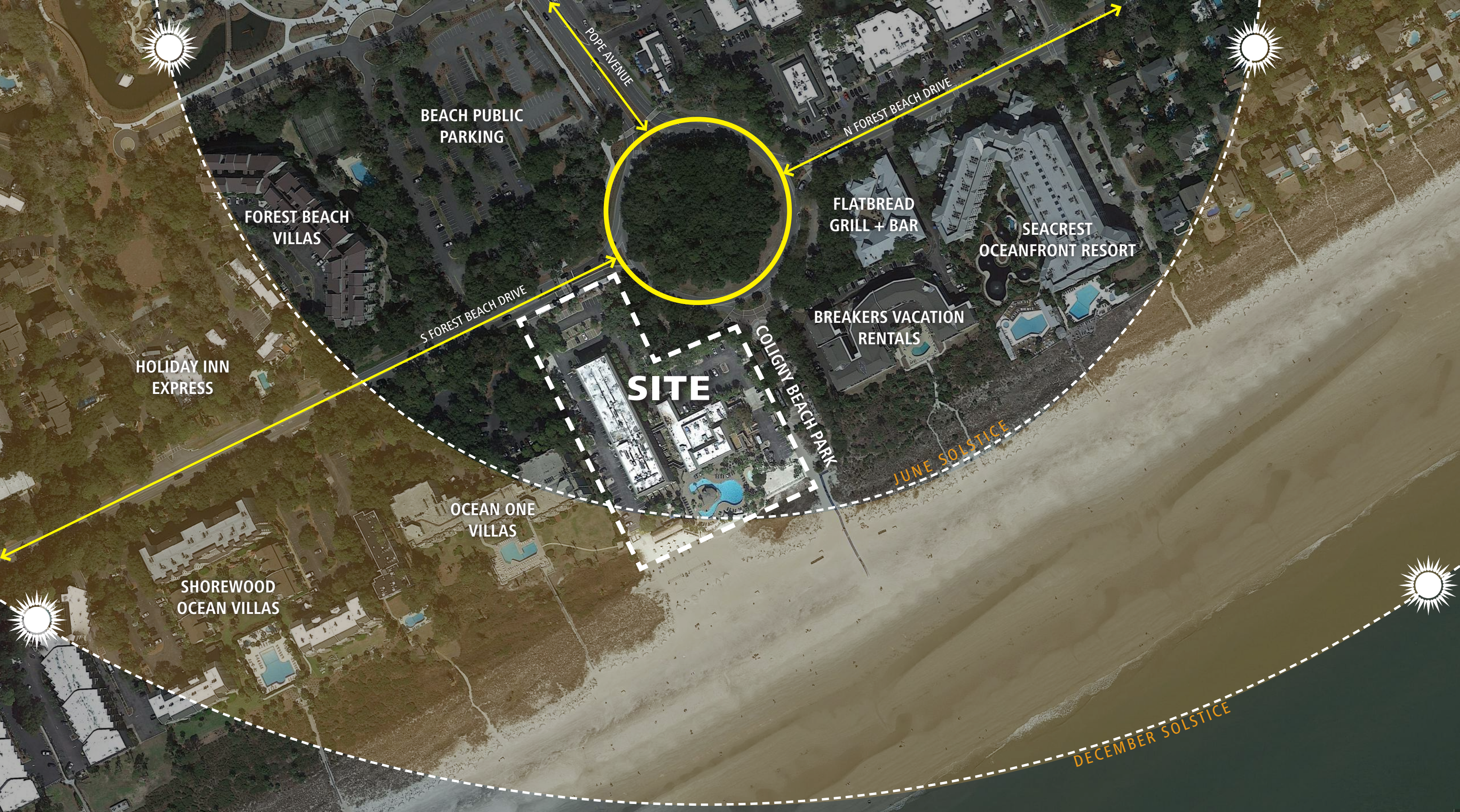
VIEW GUESTROOM PATIO + WALKWAY CORRIDOR FACING SOUTHWEST PARKING LOT

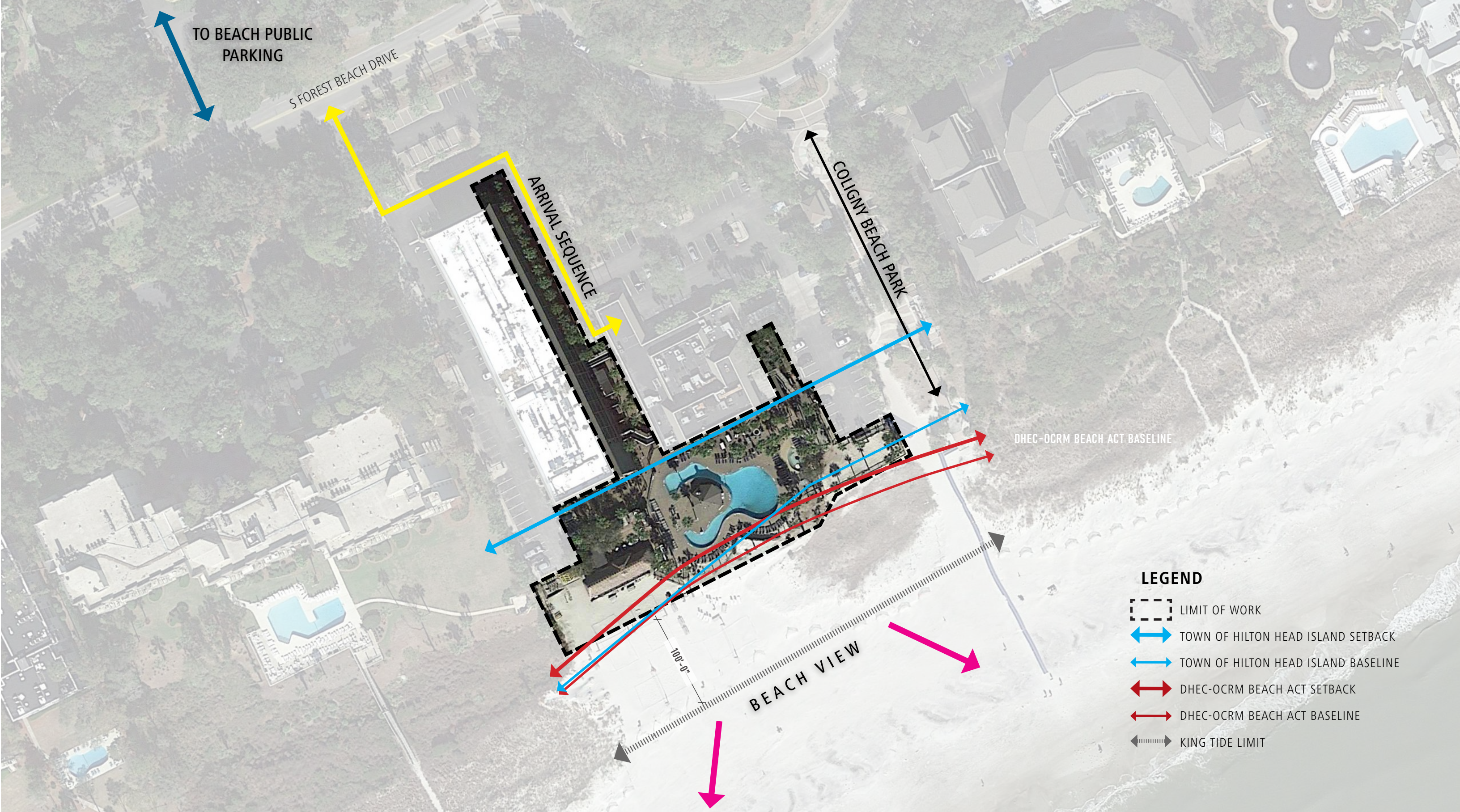


SOUTHEAST VIEW OF POOL DECK

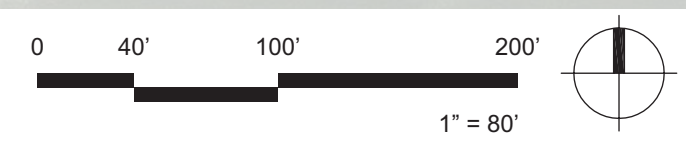


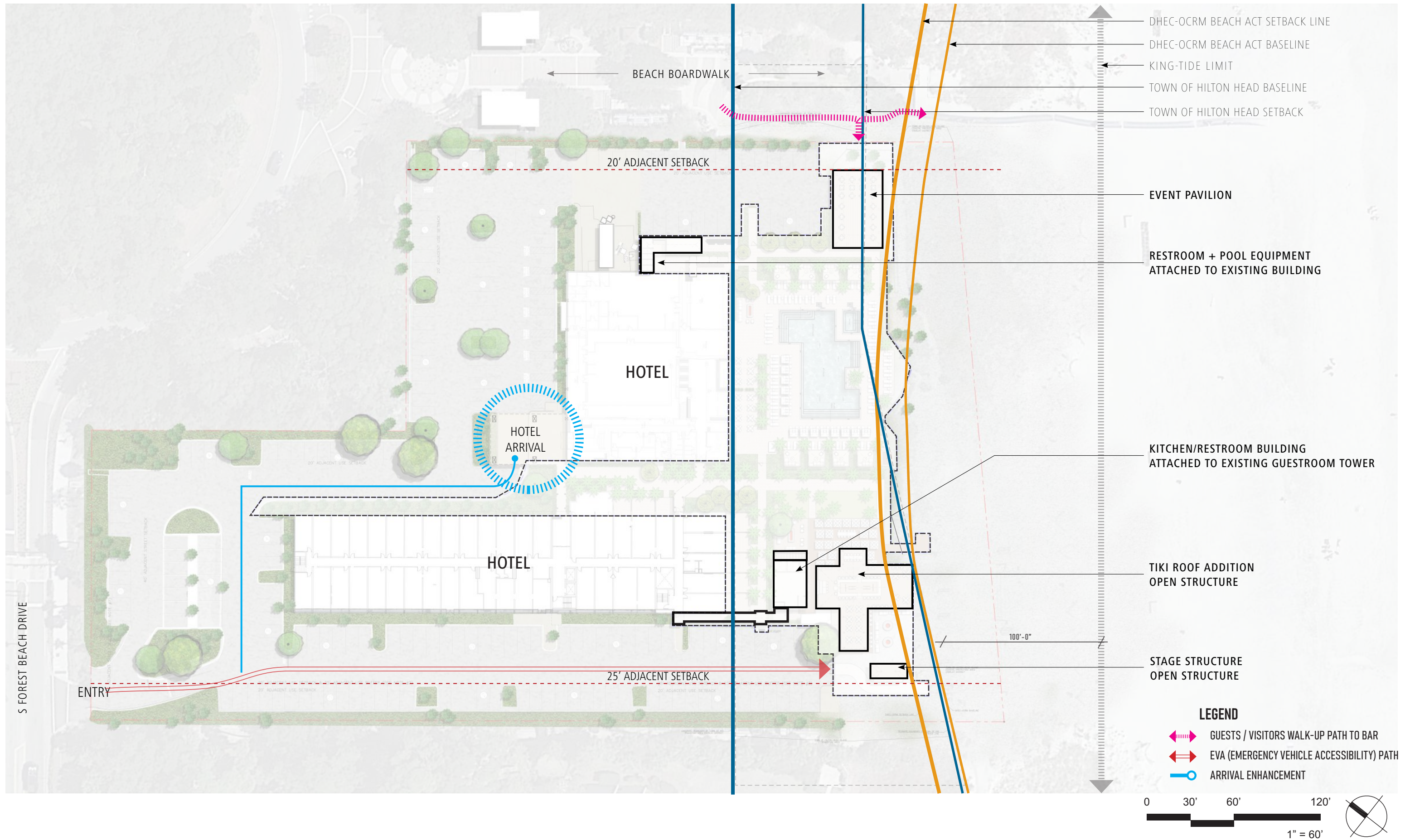
NIGHT VIEW FROM SOUTH OF POOL DECK LOOKING TOWARDS TIKI BAR + GUESTROOM HOTEL





- LEGEND**
- LIMIT OF WORK
 - TOWN OF HILTON HEAD ISLAND SETBACK
 - TOWN OF HILTON HEAD ISLAND BASELINE
 - DHEC-OCRM BEACH ACT SETBACK
 - DHEC-OCRM BEACH ACT BASELINE
 - KING TIDE LIMIT





FEMA (FIRM) FLOOD ZONE DESCRIPTIONS:

FLOOD ZONE AO (1)

- River or stream flood hazard areas, and areas with a 1% or greater chance of shallow flooding each year, usually in the form of sheet flow, with an average depth ranging from 1 to 3 feet. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
- Have the lowest floor elevated to at least as high as the depth number specified on the Flood Insurance Rate Map, in feet, above the highest adjacent grade or eleven (11) feet above mean sea level, whichever is higher, or
- Be completely floodproofed together with attendant utility and sanitary facilities to or above the depth number so that any space below that level is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.

FLOOD ZONE VE (12)

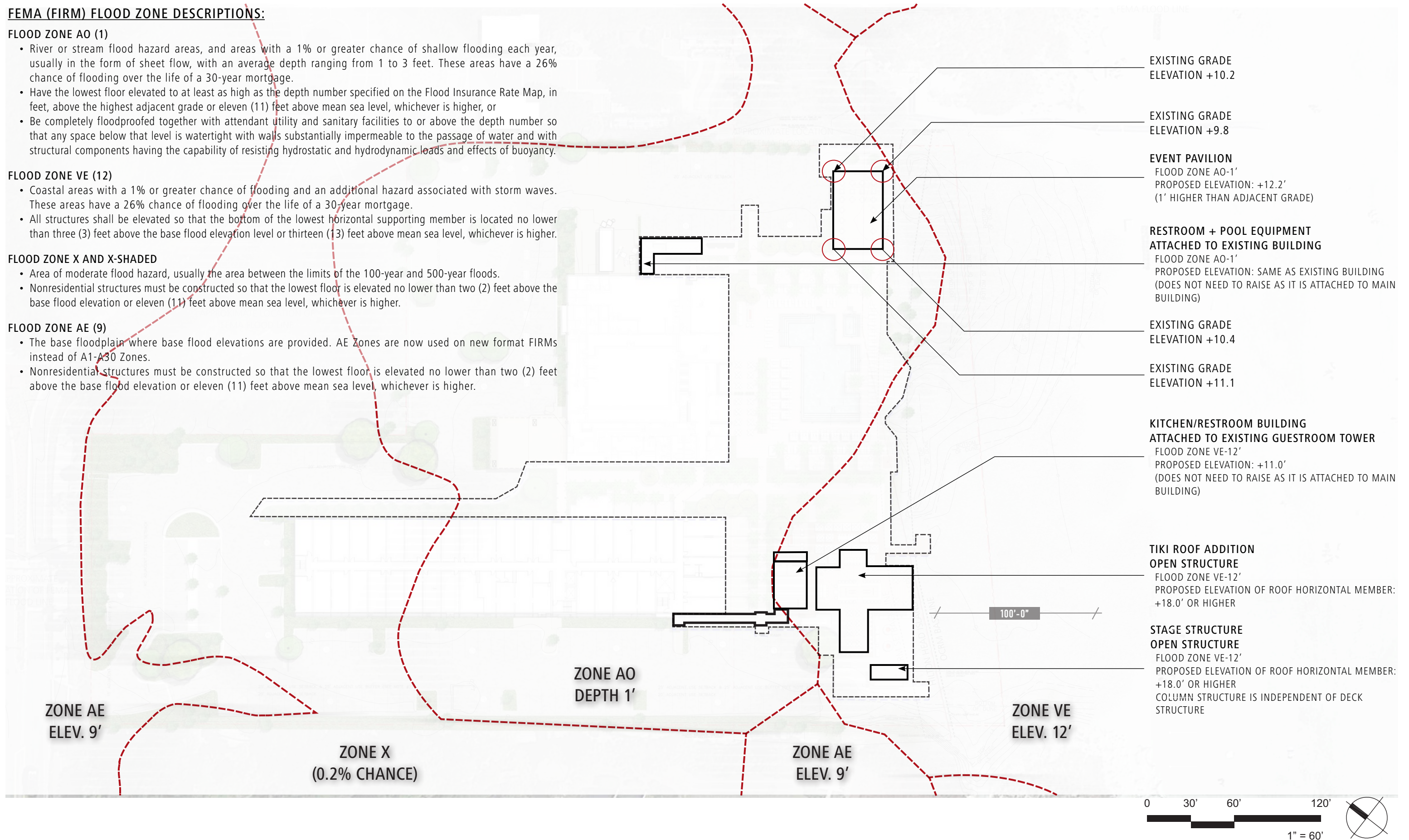
- Coastal areas with a 1% or greater chance of flooding and an additional hazard associated with storm waves. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
- All structures shall be elevated so that the bottom of the lowest horizontal supporting member is located no lower than three (3) feet above the base flood elevation level or thirteen (13) feet above mean sea level, whichever is higher.

FLOOD ZONE X AND X-SHADED

- Area of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods.
- Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.

FLOOD ZONE AE (9)

- The base floodplain where base flood elevations are provided. AE Zones are now used on new format FIRMs instead of A1-A30 Zones.
- Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.



BEACH HOUSE - HILTON HEAD ISLAND

THANK YOU!

LIGHTING NOTES

General Notes

- Contractor shall perform all work in strict accordance with all local, national and seismic governing codes.
- All electrical material and equipment shall be new and in perfect condition when installed.
- After installation and immediately prior to fixture focus, all lighting fixtures, including reflectors, trims, accessories and optical accessories shall be clean, dust free, undamaged and unblemished.
- After installation and immediately prior to system commissioning, all controls equipment shall be clean, dust free, undamaged and unblemished.
- All equipment shall be listed, labeled or certified by a nationally recognized testing laboratory.
- Contractor is required to make field measurements based on actual site conditions to develop complete orders and install systems per drawings and specifications.
- All conduit runs shall be concealed unless shown otherwise.
- All luminaires shall be properly installed and supported in accordance with all applicable construction and safety standards.
- All luminaires shall be properly installed and supported in accordance with all national and local electrical codes.
- Contractor shall install all conduit, J-boxes, etc., as required for a complete and operating system.
- Contractor to provide all mounting hardware and transformers or ballasts to ensure a complete working system.

FCD Lighting Design Documents:

- Lighting design drawings and specifications represent the design intent of the lighting design.
- Lighting Designer recommends the use of the specified lighting and control equipment.
- Electrical devices and lighting fixtures to be connected to circuits and/or control zones as indicated on the lighting design drawings.
- Contractor shall immediately notify lighting designer of any required modifications to the construction documents that are not shown on the lighting design documents.
- The contractor shall notify lighting designer of any provision of specification that is in conflict with local or national codes and an addendum shall be issued to correct the specification.
- Emergency egress lighting fixture specification and lighting fixture locations shall be the responsibility of either the Electrical Engineer or Electrical Contractor. Emergency egress lighting shall be designed and installed to meet or exceed with local and/or national codes.
- The Electrical Engineer and/or Electrical Contractor has the responsibility of producing, issuing and managing code compliance documents.

Luminaires

- Contractor shall supply lighting fixtures and control systems as specified by the Lighting Consultant in coordination with the lighting fixtures and control systems specified by the Electrical Engineer.
- Should there be a discrepancy or conflict between the specifications issued by the Lighting Consultant and the Electrical Engineer, the Electrical Contractor and/or General Contractor shall contact the Lighting Designer and/or the Electrical Engineer for clarification of the conflict prior to ordering the materials in conflict.
- First Circle Design, Inc. shall be notified of any product substitutions as a result of delivery, prior to ordering alternate product.
- Failure to order luminaires with adequate lead-time to meet the installation schedule does not relieve the contractor of the responsibility to provide the specified product without compensation to the owner.
- All exterior electrical equipment, luminaires and mounting hardware shall be rated for damp or wet locations as appropriate for the location of installation.
- IP rating of all equipment shall conform to the conditions in which the luminaire is mounted or installed.
- All luminaires shall be supplied with accessories as specified.
- Contractor is responsible for verifying and/or selecting the appropriate fixture mounting style or method as it relates to the ceiling conditions.
- Contractor and/or Electrical Engineer is responsible for verifying/selecting the appropriate voltage rating for lighting fixtures and electrical equipment.

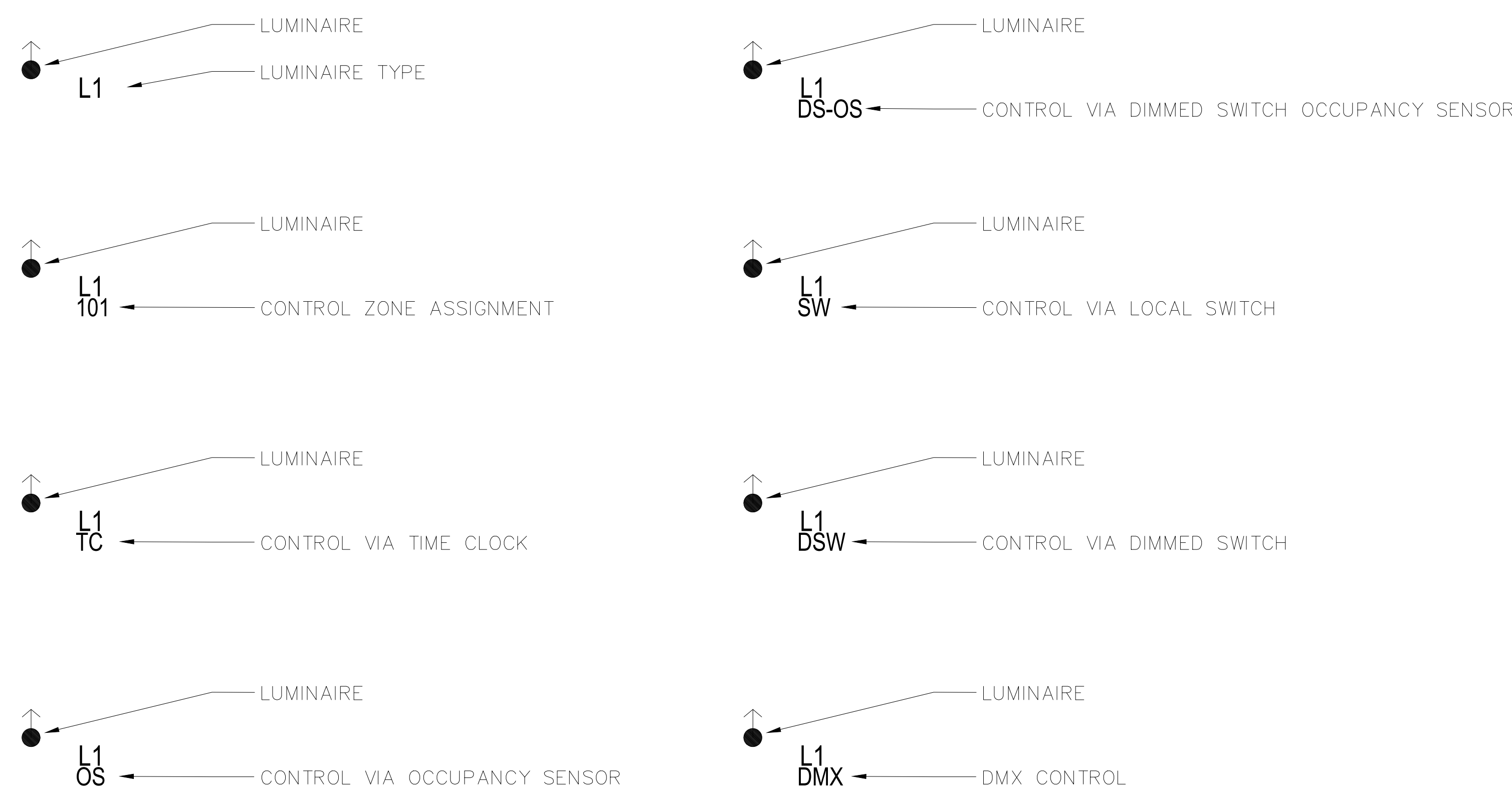
Submittals

- Contractor to distribute submittals of lighting and control products specified by Lighting Consultant to Lighting Consultant, Electrical Engineer, Architect, Interior Designer and any other party who needs to review the specifications for accuracy and specification intent.
- Contractor to coordinate the creation of lighting fixture submittal sheets generated by the fixture manufacturer's representative and/or by an independent supply house. Fixture submittals should accurately represent the fixtures specified by the Lighting Consultant. Returning the Lighting Consultants specification sheets to the Lighting Consultant for review does not constitute a submittal.
- Lamps and accessories specified shall be included in the submittal package for all luminaires
- Contractor to provide accurate dimensions for fixtures or lighting components that require specific measurements.
- Contractor and/or Electrical Engineer is responsible for verifying/selecting the appropriate voltage rating for lighting fixtures and electrical equipment.
- Lighting fixture quantity to be determined by the General Contractor, Electrical Contractor and/or fixture supplier.
- Lighting Consultant will review lighting fixture and control system submittals for accuracy and intent.
- Lighting Consultant will return submittals with comments to the General Contractor.
- Electrical Contractor to submit for approval on the non-specified products he/she proposes to furnish to the project within ten (10) days of award of contract. Failure to submit within this timeframe constitutes an agreement that only the lighting fixtures specified by the Lighting Consultant will be supplied and that no other products, whether listed as alternates or not, will be considered.
- Requests for approval of non-specified products must be accompanied by the following at least five (5) business days in advance of the bid submittal date.
 - Manufacturer's specification sheet.
 - Working sample of product with required lamping and accessories.
- Manufacturers of submitted non-specified products must have been in business for five (5) years.
- Non-specified product items shall be reviewed and evaluated by First Circle Design, Inc. prior to any commencement of placing orders or performing any rough-in work.

Installation of Interior Fixtures

- Contractor to provide a separate temporary worklight system during installation and shall not use the architectural, decorative or specialty lighting for worklight or construction use.
- Contractor to verify luminaire housing and mounting hardware is compatible with specified ceiling finishes, ceiling thickness and construction conditions.
- Mounting hardware and ceiling conditions must allow for the full aiming, adjusting, moving and locking capabilities of the luminaires on site.
- Contractor to provide all accessories as specified in the Lighting Design and/or Electrical Engineering documents.
- All remote power supplies are to be located as near to the luminaire as possible, hidden from patron view in an accessible compartment that is well ventilated to provide heat dissipation.
- All remote transformers, drivers, ballasts, power supplies, and 0-10V interfaces are to be located as per the manufacturers recommendations. These devices are to be hidden from patron view in an accessible compartment that is well ventilated to provide heat dissipation as required by the manufacturer.
- In all areas of public access and visibility, the size, location and finish of all access panels and doors shall be coordinated with the Architect, Interior Designer and/or Lighting Designer prior to installation.

LUMINAIRE KEY



Installation of Exterior Landscape Fixtures

- Contractor to provide a separate temporary worklight system during installation and shall not use the landscape lighting fixtures for worklight or construction use.
- Contractor to verify luminaire housing and mounting hardware is compatible with specified construction conditions and/or planting soil.
- Mounting hardware and installation conditions must allow for the full aiming, adjusting, moving and locking capabilities of the luminaires on site.
- Contractor to provide all accessories as specified in the Lighting Design and/or Electrical Engineering documents.
- All remote power supplies are to be located as near to the luminaire as possible, hidden from patron view in an accessible compartment that is well ventilated to provide heat dissipation.
- All remote transformers, drivers, ballasts, power supplies, and 0-10V interfaces are to be located as per the manufacturers recommendations. These devices are to be hidden from patron view in an accessible compartment that is well ventilated to provide heat dissipation as required by the manufacturer.
- In all areas of public access and visibility, the size, location and finish of all access panels and doors shall be coordinated with the Architect, Landscape Designer and/or Lighting Designer prior to installation.

Dimming and Control System Installation

- Lighting control systems required shall include all major components indicated, as well as incidental components required for proper operation.
- Lighting control systems using 0-10V control will require low voltage control wiring in addition to high voltage power wiring.
- All branch circuits terminating in a dimmer panel shall have a separate neutral conductor.
- There shall be NO common neutral conductors used for any load or branch circuit wiring from the dimmers.
- Contractor shall include and coordinate factory commissioning for the dimming system prior to Lighting Design aim and focus.
- Upon completion of the installation, the system shall be completely commissioned by a factory-employed engineer. The factory-employed engineer shall demonstrate and educate the owner's representative(s) on the system capabilities, operation and maintenance.
- Manufacturer shall be capable of providing on-site service support within 24 hours anywhere in the continental USA and within 72 hours anywhere in the world, except where special visa are required.
- Service contracts will be available to owner from date of system commissioning.
- Dimmed circuits that also control lights designated as part of emergency egress lighting are to be routed through a system that allows immediate bypass of dimmed circuit to allow lighting to come to full in emergency situations. Bypass system must allow lighting system to be manually re-set for normal operations.

Commissioning and Adjustment Phase

- Contractor shall properly test and verify all circuitry, dimming and control prior to Commissioning and Focus Phase commencing.
- Contractor shall verify that all fixtures designated to operate on specific control zones are grouped accordingly.
- After installation and immediately prior to control system commissioning, all controls equipment shall be clean, dust free, undamaged and unblemished.
- After installation and immediately prior to fixture focus, all lighting fixtures, including reflectors, trims, accessories and optical accessories shall be clean, dust free, undamaged and unblemished.
- All luminaires shall be properly and securely installed to allow for the proper adjustment of the fixture focus.
- All luminaires shall be properly and securely installed to allow for the proper maintenance of fixture adjustment and focus.
- Contractor to have all necessary equipment available for the Commissioning and Focus Phase including, but not limited to:
 - Standard contractor electrician hand tools including any tools supplied or available from the fixture manufacturer for the focus, adjustment and/or focus lock of the fixture.
 - Ladders, lifts, scaffolding, safety harnesses, eye protection, hard hats, fall protection or other equipment or materials required to access luminaires at the time for focus.
 - Any and all communication devices needed in the event that the Lighting Designer and Electrician are not in the same area, room or space and cannot speak directly to one another in order to adjust either a light fixture or the control system.
- Contractor to arrange for access to areas of the project needed for focus of lighting fixtures.
- Contractor to arrange for the proper protection of floor finishes in areas where lifts or ladders will be used during the Commissioning and Focus Phase of the project.
- Contractor to replace all burned out or inoperative lamps at the end of the construction phase prior to Commissioning and Adjustment Phase and again prior to Owner occupancy or project opening.
- Commissioning and Adjustment Phase may include evening or night work as may be required due to schedule conflict or daylight impact.
- Contractor shall arrange for and provide temporary electric service during the Commissioning and Adjustment Phase as well as required Mock-ups.
- Contractor shall be responsible for rough and final aiming of all lighting luminaires as directed by lighting designer during Commissioning and Adjustment Phase.
- Contractor to supply electricians during the Commissioning and Adjustment Phase to aim each luminaire. Electricians to be minimum journeyman level experience.

LIGHTING CONTROL DEVICES - KEY

SYMBOL	DESCRIPTION
	TS TOUCHSCREEN LIGHTING CONTROLLER. REQUIRES LOW VOLTAGE CONTROL WIRE HOME RUN TO CONTROL SYSTEM.
	BS DIMMING BUTTON STATION WITH 4--PRESET SCENES, DESIGNER FINISH FACEPLATE WITH ENGRAVED LABELLING. REQUIRES LOW VOLTAGE CONTROL WIRE HOME RUN TO CONTROL SYSTEM.
	PC CEILING MOUNTED PHOTOCCELL SENSOR FOR DAYLIT AREAS
	JX JUNCTION BOX FOR DECORATIVE FIXTURE POWER
	RCPT ELECTRICAL OUTLET RECEPTACLE FOR LIGHTING
	RB REMOTE BUTTON STATION



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GENERAL NOTES

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TYPE	M1	XB1G	XK2	XK6
SYMBOL				
MANUFACTURER	TARGETTI	INTENSE	AURORALIGHT	AURORALIGHT
CATALOG #	DAM-RP-BZ-L1-FL-RGBW-MG-DX8PL EAD25-PS040-TGDMXSTICKDE3B-1D U3026BZ	LC4-L2-LD4DR-279-W-SF	(2) HSL20-X0-90-NAT-C01400D/2/BZ	(6) HSL20-X0-90-NAT-C01400B/6/BZ
LAMP/CATALOG#	RGBW COLOR CHANGING LED (INCLUDED WITH LUMINAIRE)	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	(2) GREEN CREATIVE 6.5MR16DIM/830FL35/35W	(2) GREEN CREATIVE 6.5MR16DIM/830FL35/35W (4) GREEN CREATIVE 7.5MR16DIM/927FL35/RC
LUMINAIRE WATTAGE	34	8	13	43
DESCRIPTION	SURFACE MOUNTED RGBW COLOR CHANGING LED FLOODLIGHT WITH 33 DEGREE FLOOD OPTICS. BRONZE FINISH.	RECESSED MOUNTED 2700K WARM WHITE LED DOWNLIGHT. WHITE TRIM FINISH.	TREE RING TO BE PROVIDED WITH (2) 3000K WARM WHITE LED UPLIGHTS WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	TREE RING TO BE PROVIDED WITH (2) 3000K WARM WHITE LED UPLIGHTS WITH 35 DEGREE OPTICS AND (4) 2700K WARM WHITE LED DOWNLIGHTS WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.
NOTES	REQUIRES DMX CONTROL. REQUIRES REMOTE POWER SUPPLY(S). REMOTE POWER SUPPLY(S), WIRING, AND TERMINATIONS TO BE OUT OF PATRON'S VIEW, BUT MAINTENANCE ACCESSIBLE.	CONTROL VIA TIME CLOCK.TRIM PAINTED TO MATCH CEILING	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.
VOLTS	120-277	120	12/120	12/120
CONTACT	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	BRAD HUTCHINSON DAVID SILVERMAN & ASSOCIATES, INC TEL: 818 541 6691 EMAIL: brad@dsa-lighting.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com



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TYPE	XK11	XL1A	XL1B	XP1	XT1B
SYMBOL					
MANUFACTURER	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT	AURORALIGHT
CATALOG #	HSL20-X0-90-TS-HD-36-NAT	HSL20-X0-50-AGS-NAT	HSL20-X0-50-AGS-NAT	LBD-H-12-27-30-120-GS2-NAT	HSL20-X0-90-CP35-BR-NAT
LAMP/CATALOG#	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 6.5MR16DIM/927FL35	GREEN CREATIVE 6.5MR16DIM/830FL35/35W	2700K WARM WHITE LED (INCLUDED WITH LUMINAIRE)	GREEN CREATIVE 7.5MR16DIM/927NF25/RC
LUMINAIRE WATTAGE	7.5	6.5	6.5	12	7.5
DESCRIPTION	TREE STRAP MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	STAKE MOUNTED 2700K WARM WHITE LED UPLIGHT WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 50 DEGREE ANGLED SHIELD.	STAKE MOUNTED 3000K WARM WHITE LED UPLIGHT WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 50 DEGREE ANGLED SHIELD.	30 INCH OVERALL HEIGHT 2700K WARM WHITE LED PATHWAY BOLLARD. NATURAL BRONZE FINISH.	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 25 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.
NOTES	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	CONTROL VIA TIME CLOCK.	REQUIRES PHASE DIMMING.
VOLTS	12/120	12/120	12/120	120	12/120
CONTACT	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com



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FIXTURE SCHEDULE

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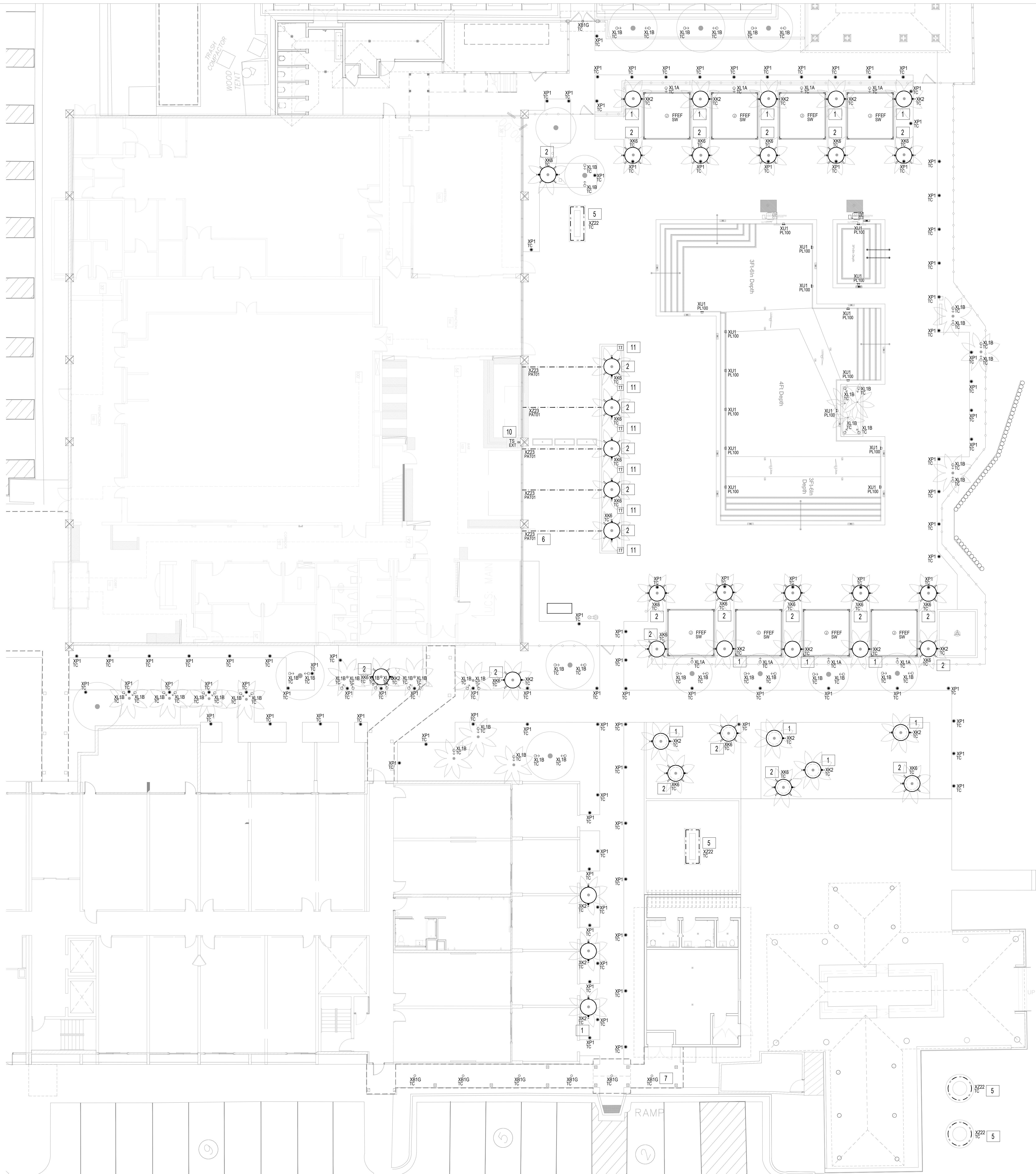
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TYPE	XT1C	XT2C	XU1	XWM1	XWM2
SYMBOL					
MANUFACTURER	AURORALIGHT	AURORALIGHT	HYDREL	AURORALIGHT	AURORALIGHT
CATALOG #	HSL20-X0-90-CP35-BR-NAT	HSL20-X0-90-CP35-BR-NAT	4800-RD-SS-LED-120-WHT53K-MFL-C LS-NM-3445B-CSL35-SWM-LP	HWM16-LM-2-90-CP45-BR-NAT	HWM16-LM-1-90-CP45-BR-NAT
LAMP/CATALOG#	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 7.5MR16DIM/927FL35/RC	5300K WHITE LED (INCLUDED WITH LUMINAIRE)	(2) GREEN CREATIVE 7.5MR16DIM/927FL35/RC	GREEN CREATIVE 7.5MR16DIM/927FL35/RC
LUMINAIRE WATTAGE	7.5	7.5	9	15	15
DESCRIPTION	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL BRONZEFINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	SURFACE MOUNTED 2700K WARM WHITE LED ACCENT WITH 35 DEGREE OPTICS. NATURAL BRONZEFINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	WALL NICHE MOUNTED 5300K WHITE LED SWIMMING POOL FIXTURE WITH MEDIUM FLOOD OPTICS AND CONVEX SWIM LENS. STAINLESS STEEL FINISH.	SURFACE MOUNTED 2700K WARM WHITE LED UP/DOWN SCONCE WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.	SURFACE MOUNTED 2700K WARM WHITE LED DOWN SCONCE WITH 35 DEGREE OPTICS. NATURAL BRONZE FINISH. TO BE PROVIDED WITH 90 DEGREE STRAIGHT SHIELD.
NOTES	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING.	REQUIRES PHASE DIMMING. REQUIRES REMOTE POWER SUPPLY
VOLTS	12/120	12/120	120	12/120	12/120
CONTACT	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com	JEFF WARUNEK PERFORMANCE LIGHTING TEL: 949 246 9736 EMAIL: jeffw@performanceltg.com



LIGHTING KEYNOTES:

- 1 TREE RING MOUNTED AT 12 FEET A.F.G. ACCENT LIGHTS TO UPLIGHT PALM TREE FRONDS.
- 2 TREE RING MOUNTED AT 12 FEET A.F.G. (2) ACCENT LIGHTS TO UPLIGHT PALM TREE FRONDS; (4) ACCENT LIGHTS TO ILLUMINATE AREA BELOW.
- 3 XK11 FIXTURES TO MOUNT BETWEEN 8-10 FEET A.F.G. ATTACHED TO CENTER MOST LIMB TO HIDE LUMINAIRE DURING THE DAY. LUMINAIRE TO ILLUMINATE SEATING AREA BELOW.
- 4 LINEAR LED FIXTURE TO MOUNT TO UNDERSIDE OF BENCH SEATING TO CREATE HALO GLOW. LUMINAIRE TO BE HIDDEN FROM GUESTS' VIEW.
- 5 LINEAR LED FIXTURE TO MOUNT TO UNDERSIDE OF FIRE PIT TO CREATE HALO GLOW. LUMINAIRE TO BE HIDDEN FROM GUESTS' VIEW.
- 6 FESTOON LIGHT STRING FIXTURES TO MOUNT AT APPROX. 10 FEET A.F.G. TYPICAL.
- 7 RECESSED DOWNLIGHT FIXTURES ILLUMINATE BREEZEWAY BELOW. TYPICAL.
- 8 --
- 9 --
- 10 TOUCH SCREEN TO CONTROL NEW BAR PATIO AND EVENT PAVILION LIGHTING.
- 11 EXISTING TIKI TORCH RELOCATED TO AREA SHOWN.



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SITE PLAN

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component

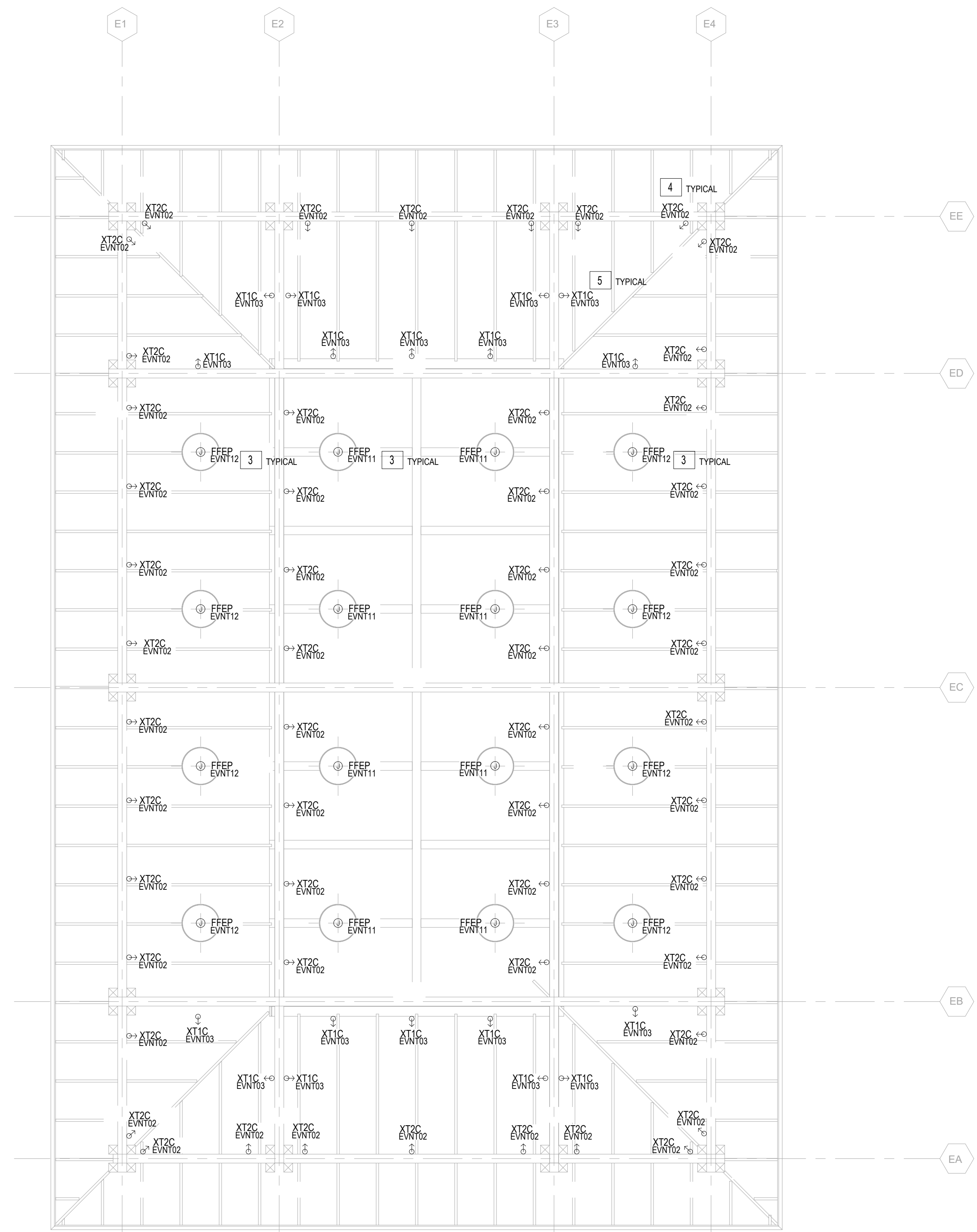
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1 SITE PLAN

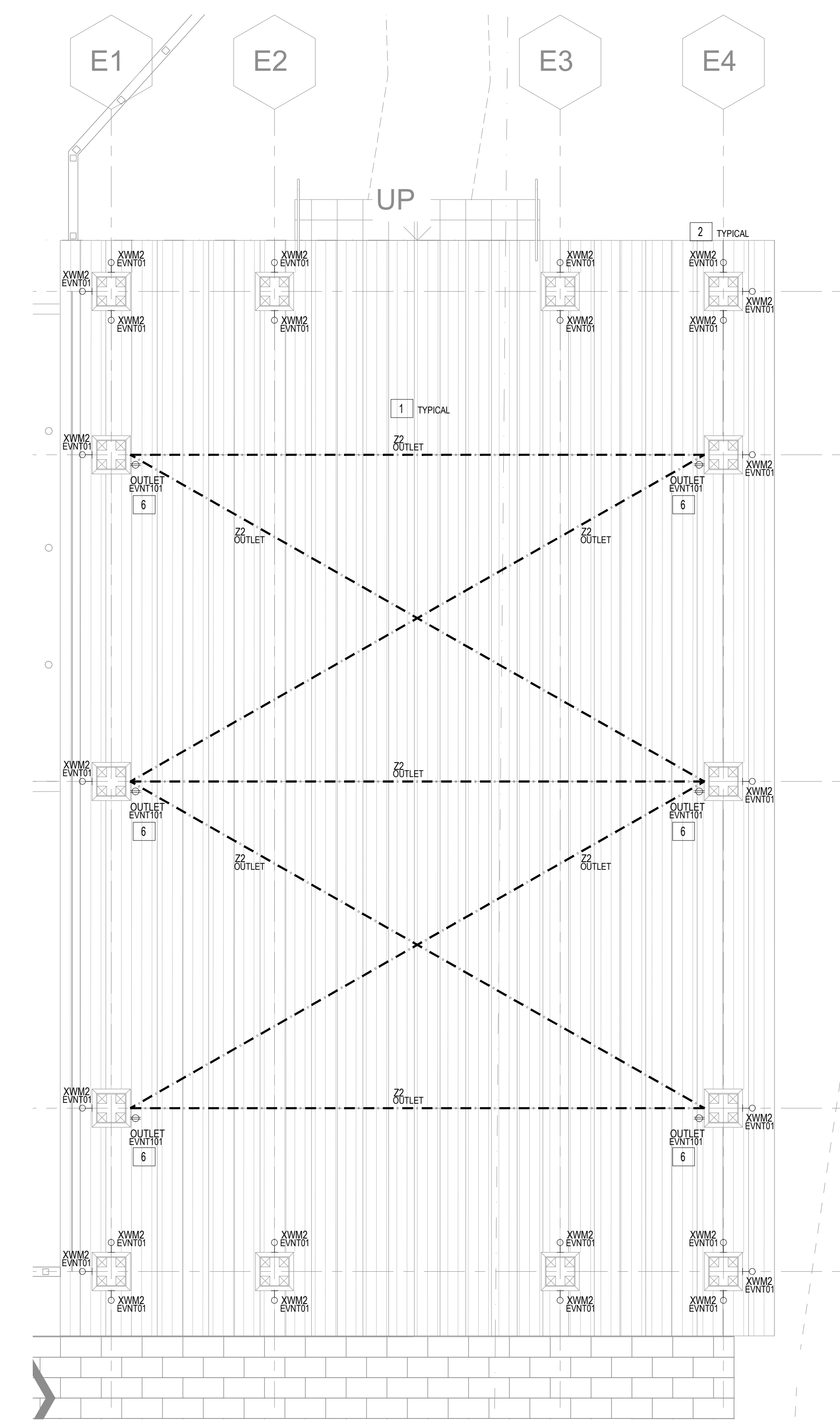
1" = 10'



2 EVENT PAVILION - RCP
1/4" = 1'-0"

LIGHTING KEYNOTES - EVENT PAVILION:

- 1 FESTOON TO BE UTILIZED FOR EVENTS ONLY. FESTOON TO PLUG INTO DIMMED CONTROLLED OUTLET. TYPICAL OF ALL ZZ FIXTURES.
- 2 LUMINAIRE TO MOUNT TO COLUMN. ARCHITECT TO CONFIRM MOUNTING HEIGHT. TYPICAL OF ALL XMM2 FIXTURES.
- 3 FFEP DECORATIVE PENDANT SUSPENDED FROM OPEN CEILING STRUCTURE. FFEP SPEC PER INTERIOR DESIGNER. TYPICAL OF ALL FFEP FIXTURES. FINAL LOCATION PER INTERIOR DESIGNER.
- 4 ALL XT2C FIXTURES TO UP LIGHT EVENT CEILING. FIXTURE TO SURFACE MOUNT TO SIDE OF BEAM. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS, PAINTED TO MATCH BEAM. TYPICAL OF ALL XT2C FIXTURES.
- 5 ALL XT1C FIXTURES TO DOWN LIGHT AND PROVIDE GENERAL ILLUMINATION. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS, PAINTED TO MATCH BEAM. TYPICAL OF ALL XT1C FIXTURES.
- 6 OUTLET TO BE LOCATED UP INTO THE CEILING STRUCTURE HIDDEN FROM GUESTS' VIEW. REFERENCE ARCHITECTURAL SET FOR LOCATION.



1 EVENT PAVILION - FLOOR PLAN
1/4" = 1'-0"



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EVENT PAVILION -
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STAGE - ENLARGED FLOOR / RCP PLANS

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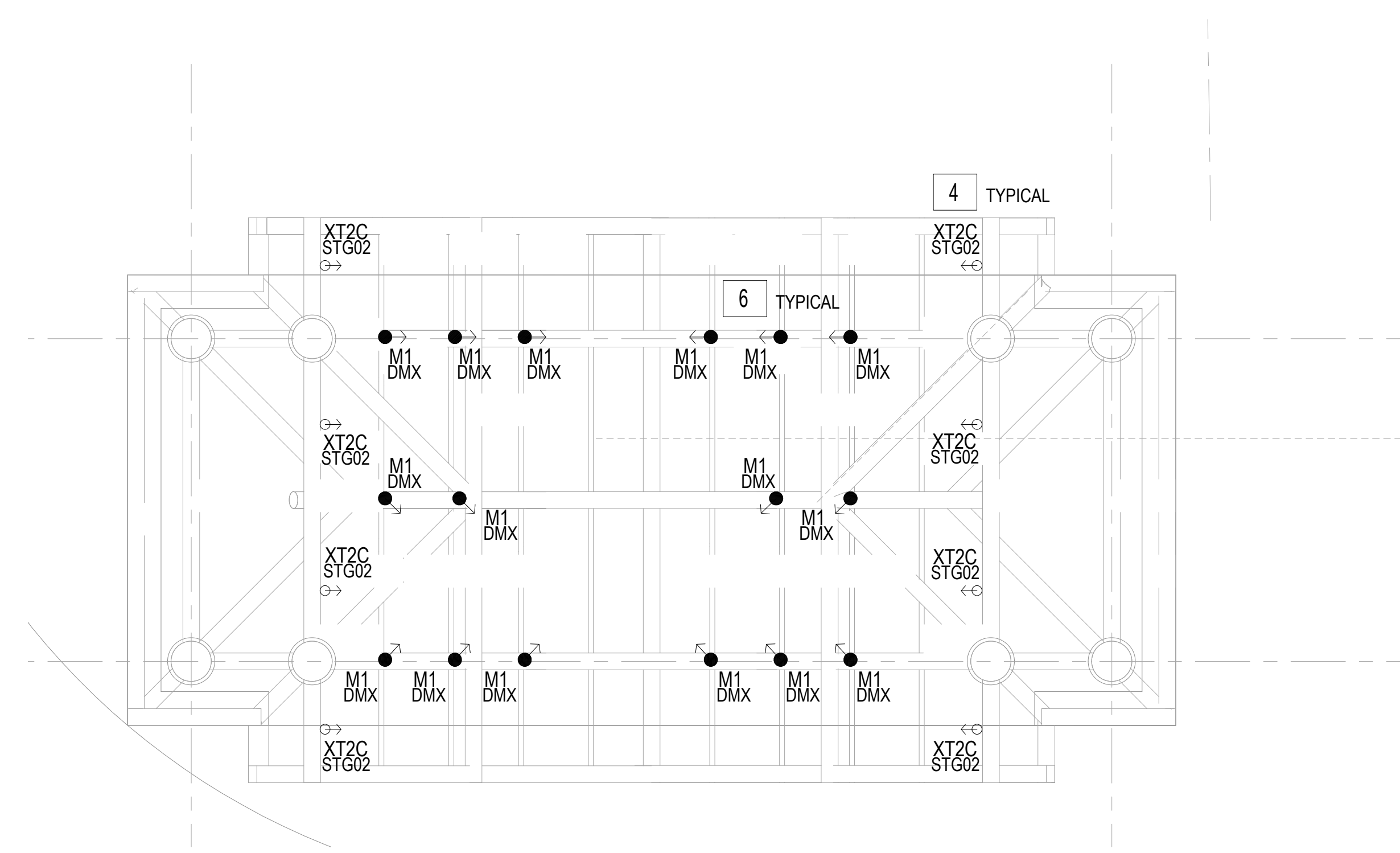
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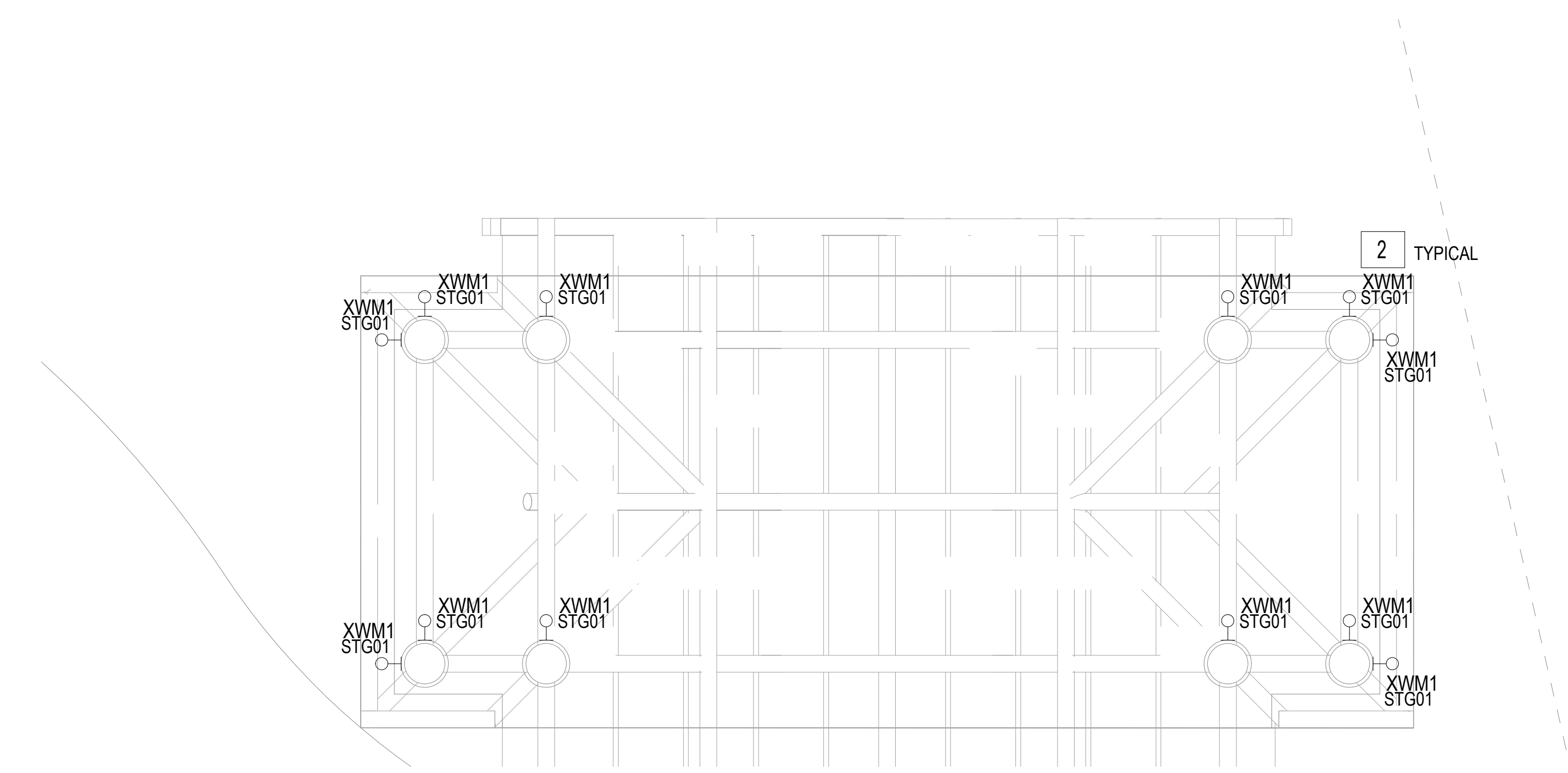
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LIGHTING KEYNOTES - STAGE:

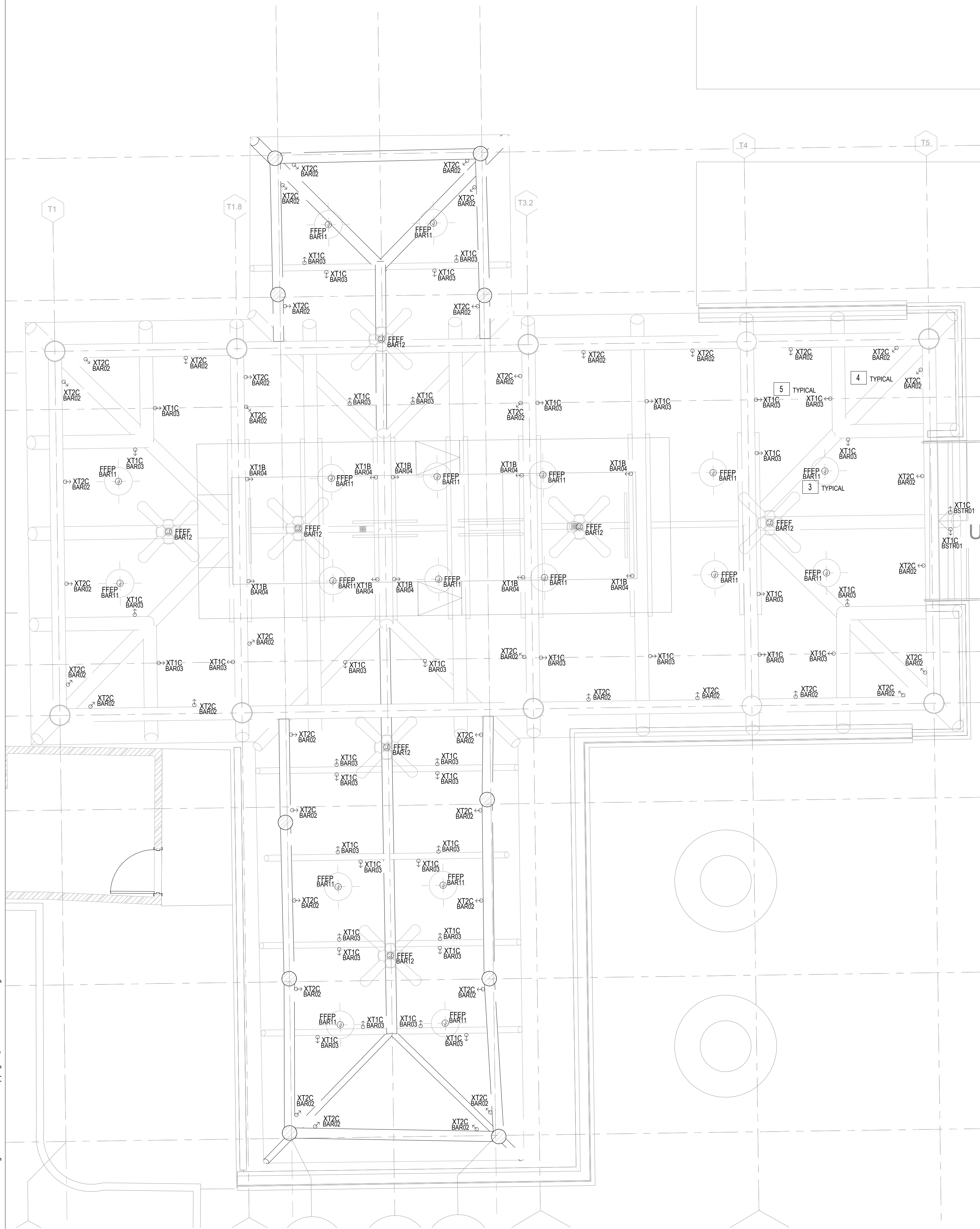
- 1 NOT NOT USED.
- 2 LUMINAIRE TO MOUNT TO COLUMN. ARCHITECT TO CONFIRM MOUNTING HEIGHT. TYPICAL OF ALL XWM1 FIXTURES.
- 3 NOTE NOT USED.
- 4 ALL XT2C FIXTURES TO UP LIGHT EVENT CEILING. FIXTURE TO SURFACE MOUNT TO SIDE OF BEAM. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS. PAINTED TO MATCH BEAM. TYPICAL OF ALL XT2C FIXTURES.
- 5 NOT NOT USED.
- 6 ALL M1 FIXTURES TO ILLUMINATE STAGE. LUMINAIRE INSTALLED TO ALLOW FOR PAN AND TILT MOVEMENT. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS. PAINTED TO MATCH BEAM. TYPICAL OF ALL M1 FIXTURES.



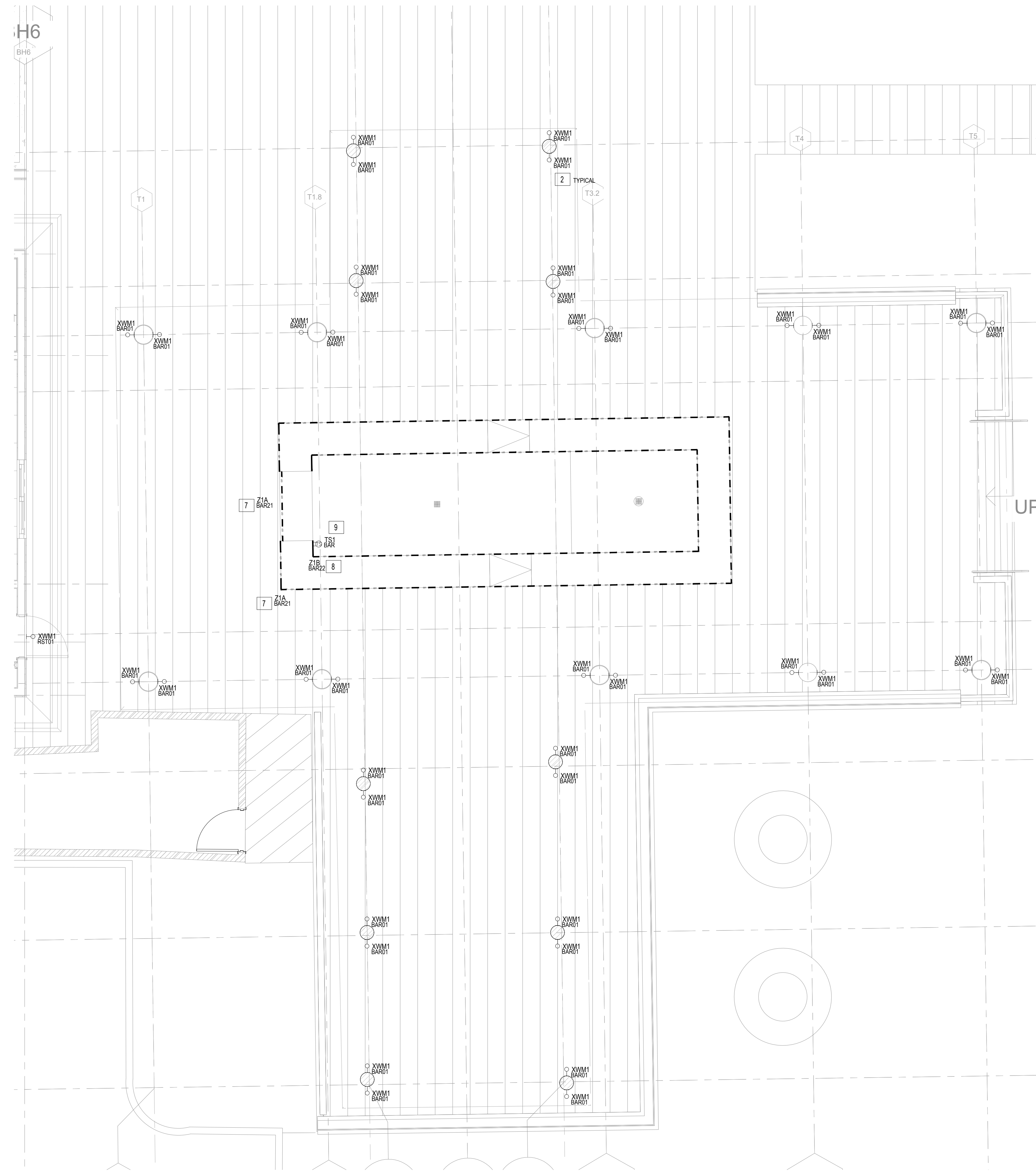
2 STAGE - RCP
1/4" = 1'-0"



1 STAGE - FLOOR PLAN
1/4" = 1'-0"



2 TIKI BAR - RCP
1/4" = 1'-0"



1 TIKI BAR - FLOOR PLAN
1/4" = 1'-0"

LIGHTING KEYNOTES - TIKI BAR:

- 1 NOT NOT USED.
- 2 LUMINAIRE TO MOUNT TO COLUMN. ARCHITECT TO CONFIRM MOUNTING HEIGHT. TYPICAL OF ALL XMM1 FIXTURES.
- 3 FF&E DECORATIVE PENDANT SUSPENDED FROM OPEN CEILING STRUCTURE. FF&E SPEC PER INTERIOR DESIGNER. TYPICAL OF ALL FF&E FIXTURES. FINAL LOCATION PER INTERIOR DESIGNER.
- 4 ALL XT2C FIXTURES TO UP LIGHT EVENT CEILING. FIXTURE TO SURFACE MOUNT TO SIDE OF BEAM. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS, PAINTED TO MATCH BEAM. TYPICAL OF ALL XT2C FIXTURES.
- 5 ALL XT1C FIXTURES TO DOWN LIGHT AND PROVIDE GENERAL ILLUMINATION. LOW VOLTAGE WIRE TO RUN ON TOP OF BEAM. REMOTE POWER SUPPLIES TO BE HIDDEN WITHIN CEILING STRUCTURE. CONDUIT TO POWER SUPPLIES TO BE MOUNTED ON TOP OF BEAMS, PAINTED TO MATCH BEAM. TYPICAL OF ALL XT1C FIXTURES.
- 6 NOTE NOT USED.
- 7 LINEAR LED FIXTURE TO MOUNT TO UNDERSIDE OF BAR TO ILLUMINATE BAR FASCIA. REQUIRES REMOTE POWER SUPPLY HIDDEN FROM GUESTS' VIEW BUT MAINTENANCE ACCESSIBLE.
- 8 LINEAR LED FIXTURE TO MOUNT TO UNDERSIDE OF BAR TO ILLUMINATE SERVICE TASK AREAS. REQUIRES REMOTE POWER SUPPLY HIDDEN FROM GUESTS' VIEW BUT MAINTENANCE ACCESSIBLE.
- 9 TOUCH SCREEN TO CONTROL BAR AND STAGE AREA LIGHTING.



client

consultant



firstcircle

3187 Airway Avenue Building C
Costa Mesa, CA 92626
949.681.0500
www.firstcircledesign.com

stamp | approval

key plan

no. date issue
issues | revisions

Beach House
HILTON HEAD ISLAND

project logo

TIKI BAR - ENLARGED
FLOOR / RCP PLANS

sheet title

project no. 000000 date 08/15/23

checked by: Checker
drawn by: Author

component

LT3.20

sheet no.

DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



client

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Beach House
HILTON HEAD ISLAND

project logo

KITCHEN / RESTROOM BLDG
- ENLARGED FLOOR / RCP
PLANS

sheet title

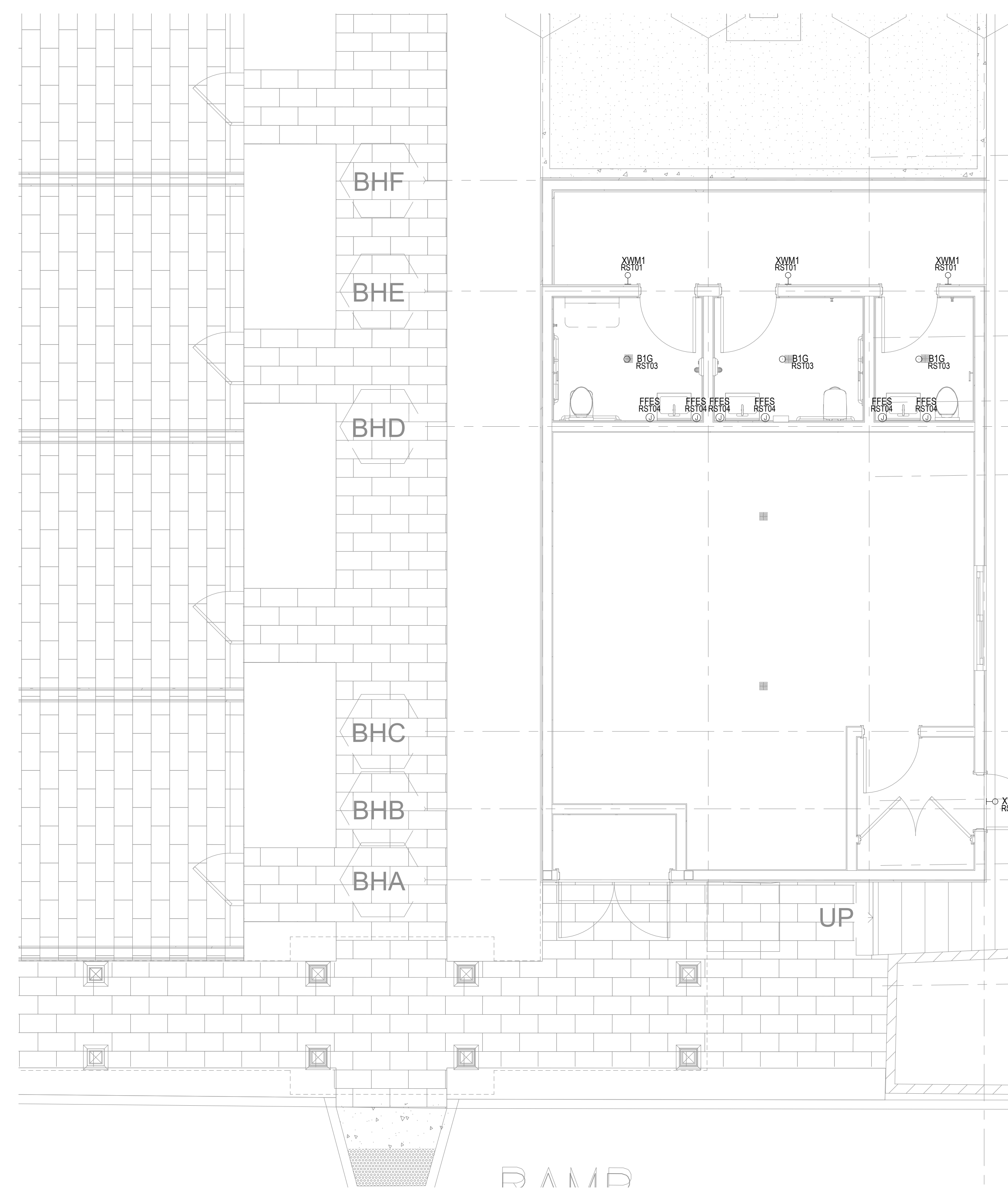
project no. 000000 date 08/15/23

checked by: Checker
drawn by: Author

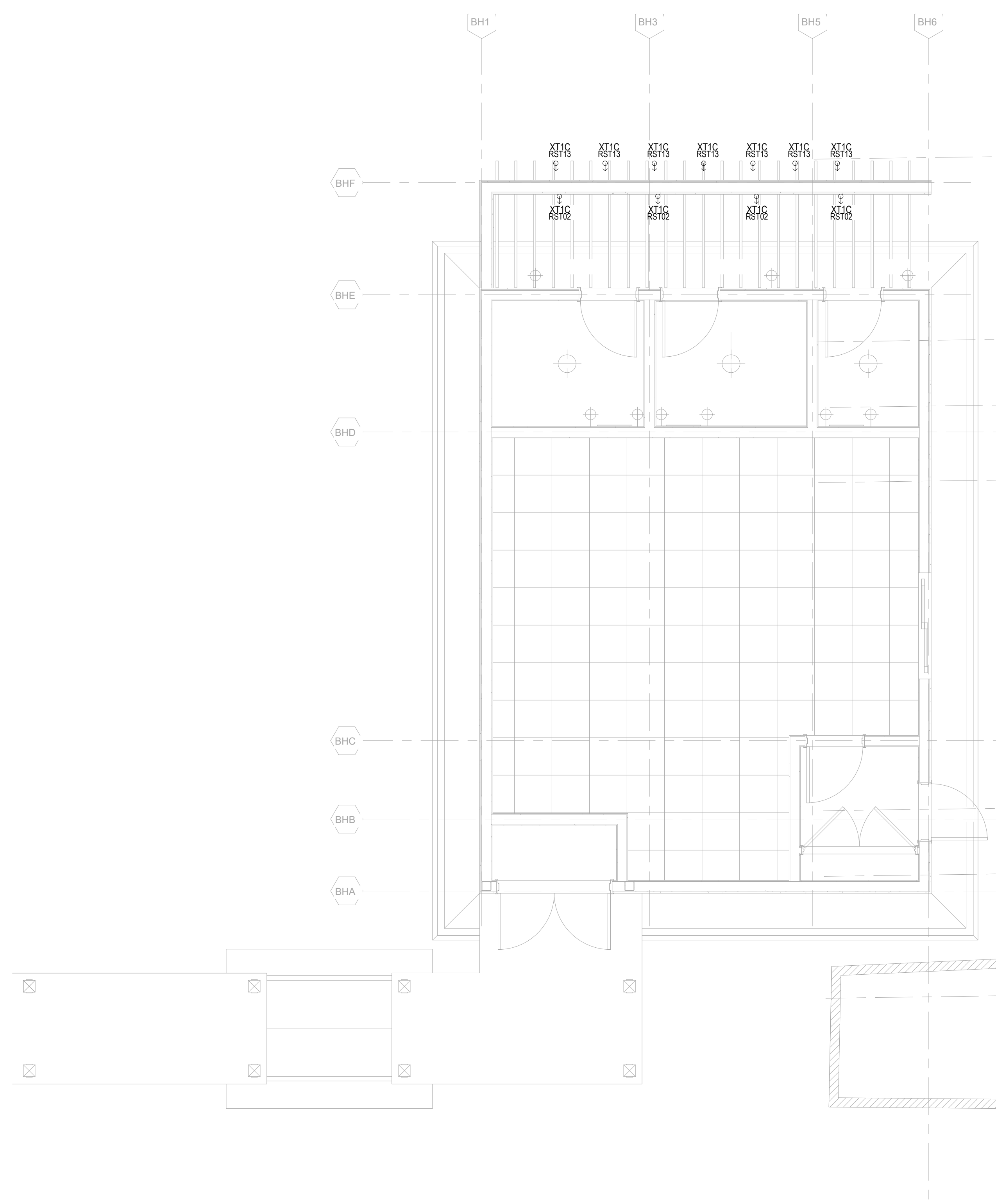
component

LT3.30

sheet no.



1 KITCHEN / RESTROOM BLDG - FLOOR PLAN
1/4" = 1'-0"



2 KITCHEN / RESTROOM BLDG - RCP
1/4" = 1'-0"



client

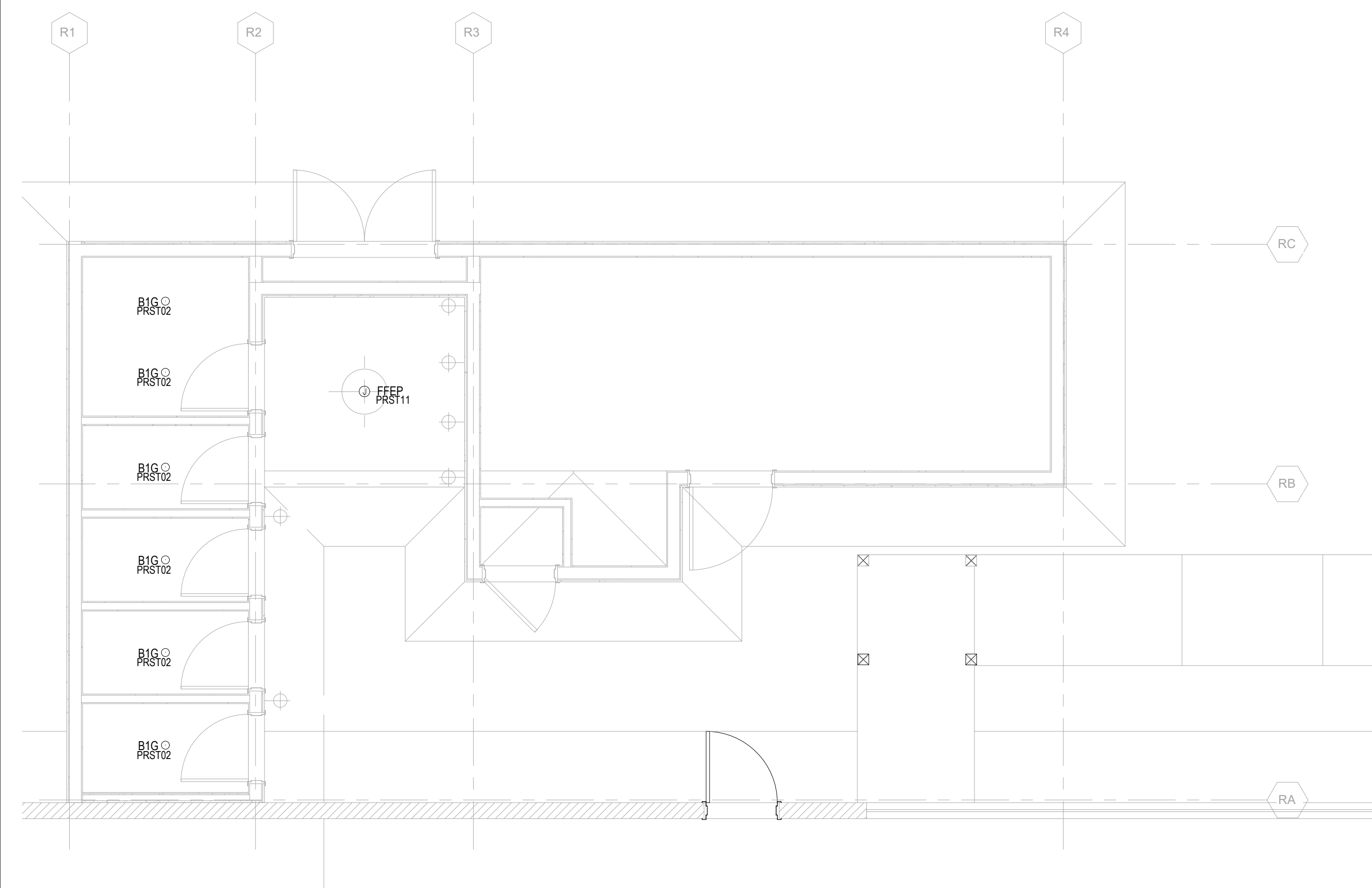
consultant



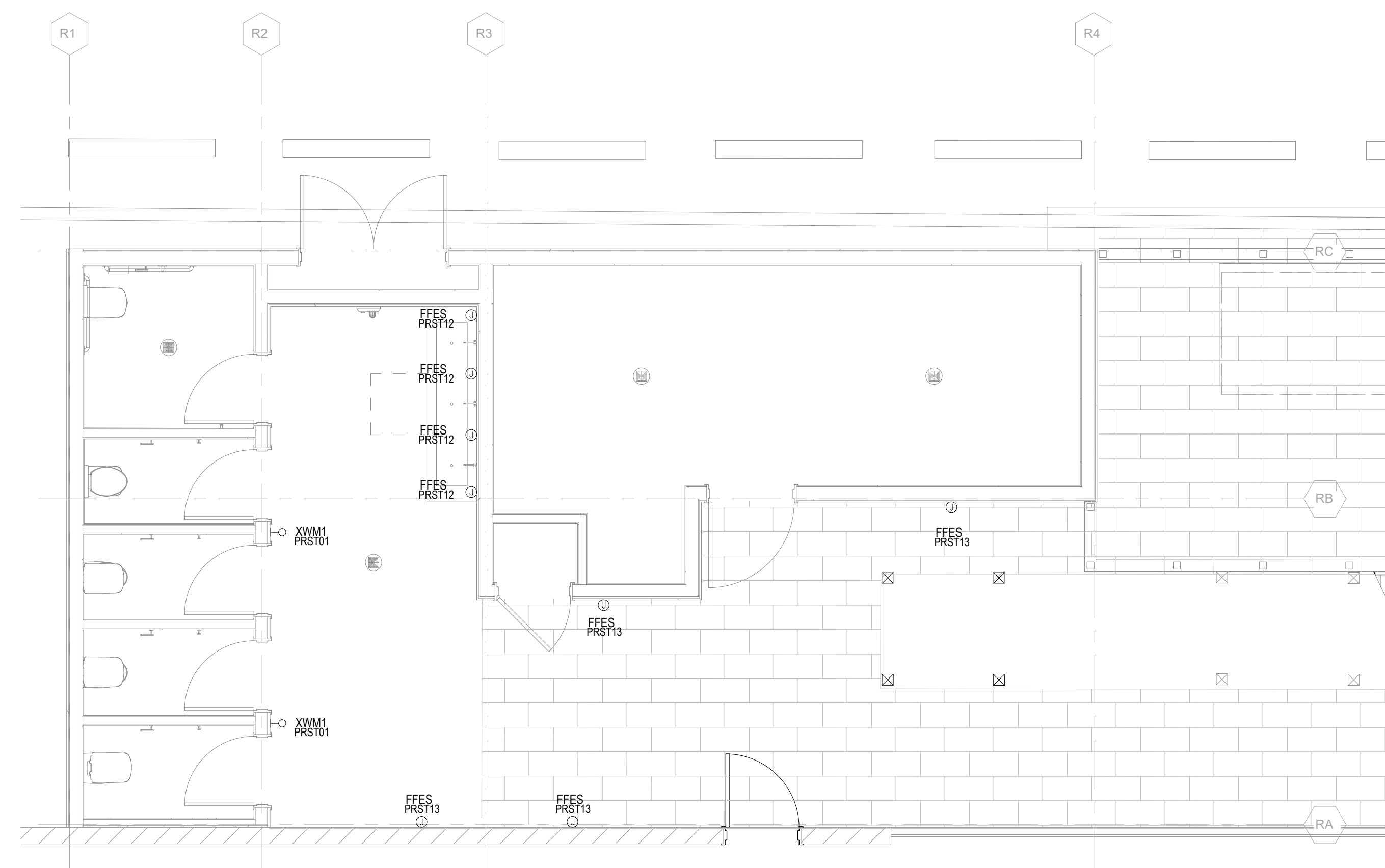
firstcircle

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Costa Mesa, CA 92626
949.681.0500
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stamp | approval



2 POOL RESTROOM BLDG - RCP
1/4" = 1'-0"



1 POOL RESTROOM BLDG - FLOOR PLAN
1/4" = 1'-0"

DRB RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

key plan

no.	date	issue

Beach House
HILTON HEAD ISLAND

project logo
POOL RESTROOM BLDG -
ENLARGED FLOOR / RCP
PLANS

sheet title
project no. 000000 date 08/15/23

checked by: Checker
drawn by: Author component

LT3.40
sheet no.

LINE	BEARING	DISTANCE
L1	N63°50'47" E	200.10
L2	N48°08'32" E	24.37
L3	S48°08'32" W	29.09
L4	N13°23'54" E	10.41
L5	N13°23'54" E	6.84
L6	S76°36'06" E	7.31
L7	S76°36'06" E	2.69
L8	S13°23'54" W	3.16
L9	S13°23'54" W	4.15
L10	S13°23'54" W	22.03
L11	N27°03'20" W	188.99
L12	N63°50'47" E	10.00
L13	S27°03'20" E	188.36
L14	S27°03'20" E	4.15
L15	S27°03'20" E	3.16
L16	S62°36'40" W	2.69
L17	S62°36'40" W	7.31
L18	N27°03'20" W	6.84
L19	S62°36'40" W	105.26
L20	S65°05'15" W	32.35
L21	S65°39'06" W	24.53
L22	S64°27'02" W	10.09
L23	S73°42'01" W	1.90
L24	S72°38'16" W	0.51
L25	S72°41'31" W	72.75
L26	S71°07'16" W	0.78
L27	S68°25'46" W	1.10
L28	S65°13'39" W	73.41
L29	S65°43'22" W	0.79
L30	S64°33'38" W	48.65
L31	S62°22'03" W	0.98
L32	S60°05'55" W	76.38
L33	S57°52'58" W	1.53
L34	S55°40'43" W	26.53
L35	S53°20'39" W	0.51
L36	S50°54'57" W	23.47
L37	S50°51'14" W	74.55
L38	S73°42'01" W	5.39
L39	S72°41'31" W	72.75
L40	S65°51'31" W	73.41
L41	S64°35'12" W	48.08
L42	S65°08'55" W	76.35
L43	S55°40'43" W	25.96
L44	S50°54'57" W	22.87
L45	S50°51'14" W	79.13

NORTH
SC GRID (NAD 83)
(2011)

SHEET 1

LABEL	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	228.77	10.15	10.15	S51°35'01" E	232°32'
C2	63.94	4.73	4.73	S65°02'01" W	414°23'
C3	14.00	27.11	23.07	S59°37'11" W	110°57'36"

EXTERIOR DOOR FINISHED FLOOR ELEVATIONS
FFE-EX: EXTERIOR FINISHED FLOOR ELEVATION
FFE-IN: INTERIOR FINISHED FLOOR ELEVATION

LOT CORNERS STATE PLANE COORDINATES

- DOOR-A:
FFE-EX: 11.37'
FFE-IN: 11.38'
- DOOR-B:
FFE-EX: 11.02'
FFE-IN: 11.03'
- DOOR-C:
FFE-EX: 10.79'
FFE-IN: 10.83'
- DOOR-D:
FFE-EX: 11.24'
FFE-IN: 11.29'
- DOOR-E:
FFE-EX: 11.06'
FFE-IN: 11.11'
- DOOR-F:
FFE-EX: 11.07'
FFE-IN: 11.12'
- DOOR-G:
FFE-EX: 11.11'
FFE-IN: 11.14'
- DOOR-H:
FFE-EX: 11.12'
FFE-IN: 11.15'
- DOOR-I:
FFE-EX: 11.21'
FFE-IN: 11.24'
- DOOR-J:
FFE-EX: 11.13'
FFE-IN: 11.14'
- DOOR-K:
FFE-EX: 11.07'
FFE-IN: 11.07'
- DOOR-L:
FFE-EX: 11.00'
FFE-IN: 11.00'
- DOOR-M:
FFE-EX: 10.95'
FFE-IN: 10.95'
- DOOR-N:
FFE-EX: 10.76'
FFE-IN: 10.85'
- DOOR-O:
FFE-EX: 11.13'
FFE-IN: 11.18'
- DOOR-P:
FFE-EX: 11.11'
FFE-IN: 11.15'
- DOOR-Q:
FFE-EX: 11.32'
FFE-IN: 11.33'
- DOOR-R:
FFE-EX: 11.18'
FFE-IN: 11.18'
- DOOR-S:
FFE-EX: 11.49'
FFE-IN: 11.54'
- DOOR-T:
FFE-EX: 11.40'
FFE-IN: 11.41'
- DOOR-U:
FFE-EX: 11.40'
FFE-IN: 11.42'
- DOOR-V:
FFE-EX: 11.38'
FFE-IN: 11.45'
- DOOR-W:
FFE-EX: 11.37'
FFE-IN: 11.37'
- DOOR-X:
FFE-EX: 11.25'
FFE-IN: 11.26'
- DOOR-Y:
FFE-EX: 11.25'
FFE-IN: 11.36'
- DOOR-Z:
FFE-EX: 11.42'
FFE-IN: 11.44'
- DOOR-MAIN:
FFE-EX: 11.05'
FFE-IN: 11.05'

MISC. DECKS & STRUCTURES
(FFE'S & BUILDING ELEVATIONS)

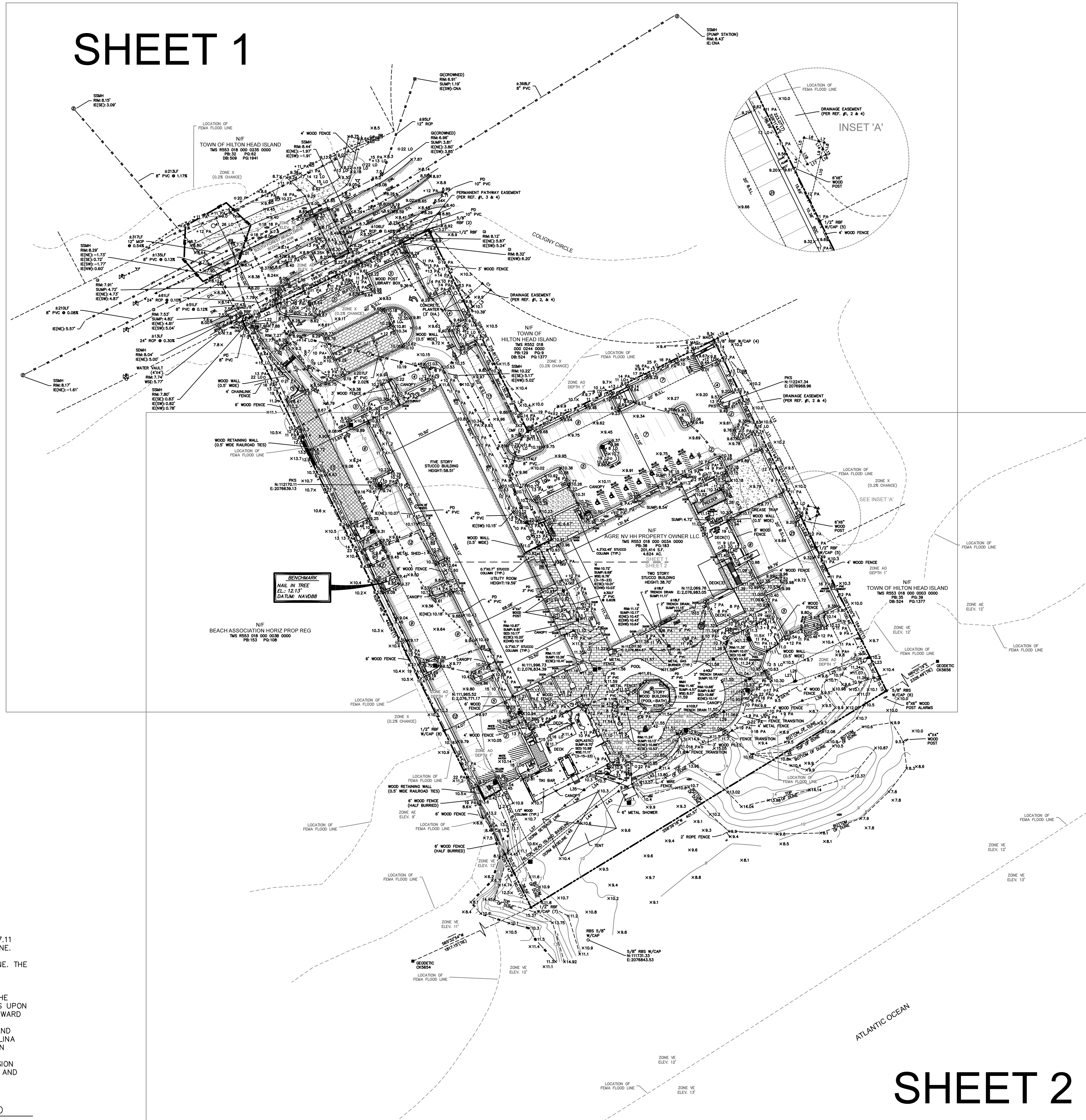
- STRUCTURE:
DECK-1:
FFE: 14.18'
- DECK-2:
FFE: 12.19'
- DECK-3:
FFE: 23.74'
- DECK-4:
FFE: 12.65'
- TIKI BAR:
FFE: 11.85'
ELEV: 27.72'
- POOL-BATH:
FFE: 11.41'
ELEV: 29.55'
- METAL SHED-1:
FFE: 11.10'

BEACH MANAGEMENT ACT DISCLOSURE STATEMENT

THE SETBACK LINE IS 36.05 LANDWARD FEET TO 57.11 LANDWARD FEET FROM THE SEAWARD PROPERTY LINE. THE BASE LINE IS 15.75 LANDWARD FEET TO 36.59 LANDWARD FEET FROM THE SEAWARD PROPERTY LINE. THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 53.54 LANDWARD FEET TO 110.58 LANDWARD FEET IN RELATION TO THE PROPERTY. THE SEAWARD CORNERS OF THE HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY ARE LOCATED 182.87 LANDWARD TO 176.61 LANDWARD FEET FROM THE LINE, WHICH CORNERS ARE LOCATED N11965.52, E2076771.17 AND N111998.73, E2076834.39 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF 3.62 FEET PER YEAR. ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT.

TOWN OF HILTON HEAD ISLAND LMO

SECTION 16.5-112.B DISCLOSURE STATEMENT
SOME OR ALL AREAS ON THIS PLAT ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS HAVING AT LEAST A ONE PERCENT CHANCE OF BEING FLOODED IN ANY GIVEN YEAR BY RISING TIDAL WATERS ASSOCIATED WITH POSSIBLE HURRICANES. LOCAL REGULATIONS REQUIRE THAT CERTAIN FLOOD HAZARD PROTECTIVE MEASURES BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES IN THESE DESIGNATED AREAS. REFERENCE SHALL BE MADE TO THE DEVELOPMENT COVENANTS AND RESTRICTIONS OF THIS DEVELOPMENT AND REQUIREMENTS OF THE TOWN BUILDING OFFICIAL. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PREREQUISITE TO FEDERALLY INSURED MORTGAGE FINANCING IN THESE DESIGNATED FLOOD HAZARD AREAS.

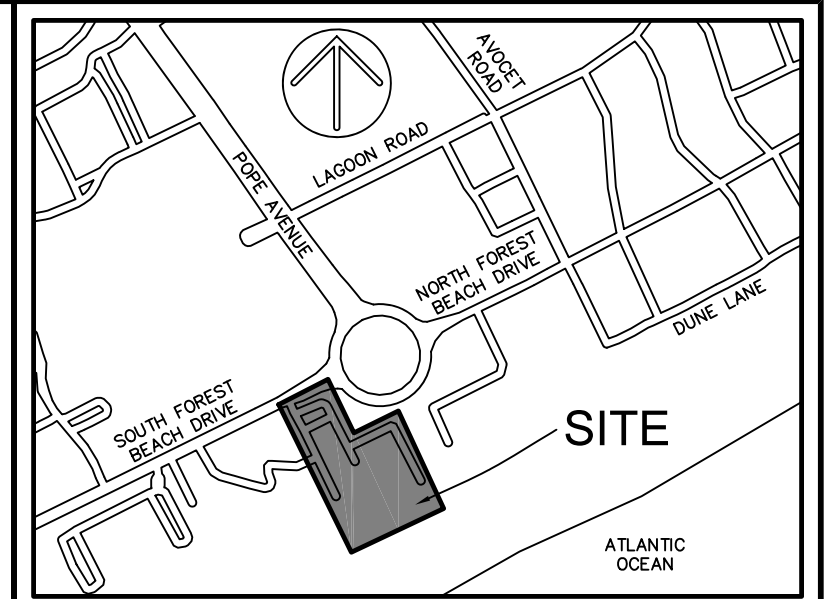


SHEET 2

SURVEY DATA
TOTAL AREA: 4.624 ACRES
ERROR OF FLAT CLOSURE: 1 IN 207,348
ERROR OF FIELD CLOSURE: 1 IN 241,845
ANGULAR ERROR: 1.3" PER ANGLE POINT
ADJUSTED BY: NO ADJUSTMENT
EQUIPMENT USED: TOPCON PS ROBOTIC TOTAL STATION
FIELD WORK COMPLETED ON: 05-10-2023

LEGEND

- ▲ CALC POINT - CORNER NOT SET
- CMF ■ CONC. MONUMENT FOUND
- PKS ○ PK NAIL SET
- RFB ● IRON REBAR FOUND
- RBS ○ 5/8" IRON REBAR SET W/CAP
- AC AIR CONDITIONING UNIT
- BP BACK FLOW PREVENTER
- BOLLARD
- CB CABLE JUNCTION BOX
- CM COMMUNICATIONS MANHOLE
- CP CONTROL PANEL
- EO ELECTRIC OUTLET
- ES ELECTRIC STUBOUT
- FD FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FB FIBER OPTIC BOX
- FP FLAG POLE
- GI GRATE INLET
- GL GROUND LIGHT
- GT GAS TANK
- GV GAS VALVE
- HP HANDICAP PARKING
- IC IRRIGATION CONTROL VALVE
- IP LIGHT POLE
- SD STORM DRAIN MANHOLE
- SE SPOT ELEVATION
- SG SIGN
- SP SPIGOT
- SSC SANITARY SEWER CLEAN OUT
- SM SANITARY SEWER MANHOLE
- TF TRAFFIC SIGNAL BOX
- TP TRAFFIC SIGNAL POLE
- TJ TELEPHONE JUNCTION BOX
- TB TELEPHONE BOX
- TE TRANSFORMER-ELECTRIC
- UF UNDERGROUND FIBER OPTICS MARKER
- WM WATER METER
- WMH WATER MANHOLE
- WV WATER VALVE
- P POST
- YI YARD INLET
- TC TRASH CAN
- NP NUMBER OF PARKING SPACES
- H HOLLY
- LA LAUREL OAK
- LO LIVE OAK
- M MAGNOLIA
- P PINE
- PA PALMETTO
- BOC BACK OF CURB
- BLS BUILDING SETBACK LINE
- CMP CORRUGATED METAL PIPE
- CNA COULD NOT ACCESS/ACQUIRE
- FFE FINISHED FLOOR ELEVATION
- IE INVERT ELEVATION
- PD PIPE DIRECTION
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- OCRM OCEAN & COASTAL RESOURCE MANAGEMENT
- DWS DETECTABLE WARNING SURFACE
- WSE WATER SURFACE ELEVATION
- DYL DOUBLE YELLOW LINE (SOLID)
- SBA STOP BAR
- SBL SINGLE BLUE LINE (SOLID)
- SDWL SINGLE DASHED WHITE LINE
- SWL SINGLE WHITE LINE (SOLID)
- SYL SINGLE YELLOW LINE (SOLID)
- CONTOUR LINE
- BB BOTTOM OF BANK
- FL FENCE LINE
- HR HANDRAIL
- TB TOP OF BANK
- OCY TREE CANOPY
- UD UNDERGROUND DRAINAGE LINE
- UE UNDERGROUND ELECTRIC LINE
- UFO UNDERGROUND FIBER OPTICS LINE
- UG UNDERGROUND GAS LINE
- US UNDERGROUND SEWER LINE
- UT UNDERGROUND TELEPHONE
- TV UNDERGROUND TV LINE
- UW UNDERGROUND WATER LINE
- BRICK
- CONCRETE
- DETECTABLE WARNING SURFACE
- EDGE OF PAVEMENT
- EDGE OF PAVEMENT (PERVIOUS)
- GRAVEL



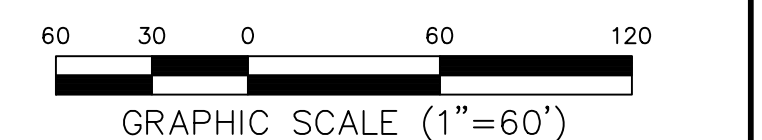
VICINITY MAP NOT TO SCALE

NOTES

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- THIS PARCEL APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X (0.2% CHANCE), AE (ELEVATION 9'), AD (DEPTH 1'), AND VE (ELEVATION 12'). DUAL COMMUNITIES 450025 (BEAUFORT COUNTY UNINCORPORATED AREAS) AND 450250 (TOWN OF HILTON HEAD ISLAND) MAP NUMBER 4503C0444G, HAVING AN EFFECTIVE DATE OF MARCH 23, 2021.
- CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
- VERTICAL DATUM IS NAVD 88.
- BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
- THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustical EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02, "THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER."

REFERENCES

- PLAT BOOK: 136 PAGE: 75
- PLAT BOOK: 129 PAGE: 9
- PLAT BOOK: 145 PAGE: 1
- AN ALTA/NPS LAND TITLE SURVEY OF THE BEACH HOUSE, A HOURLY OR RESORT, AT #1 SOUTH FOREST BEACH, A SECTION OF FOREST BEACH, TOWN OF HILTON HEAD ISLAND
DATE: 10/25/2021
DATE: 02/28/2022 (REVISED)
BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059



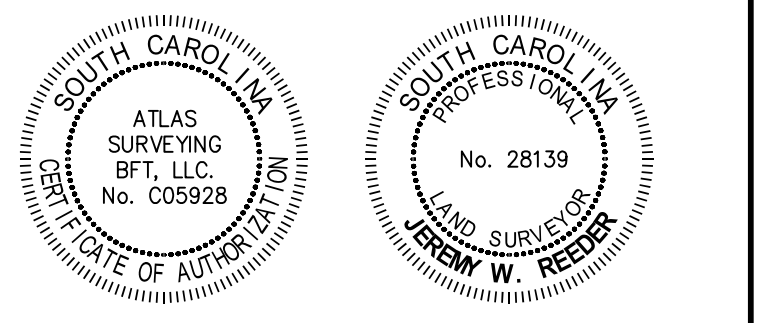
PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF
#1 SOUTH FOREST BEACH DRIVE

TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
FIELD CHECK: JMS
DRAWN BY: JHU 06-05-2023
SCALE: 1"=60'
PROJECT No.: BFT-22206
FILE: BFT-22206_ATL.DWG

COVER SHEET

ATLAS SURVEYING, INC.

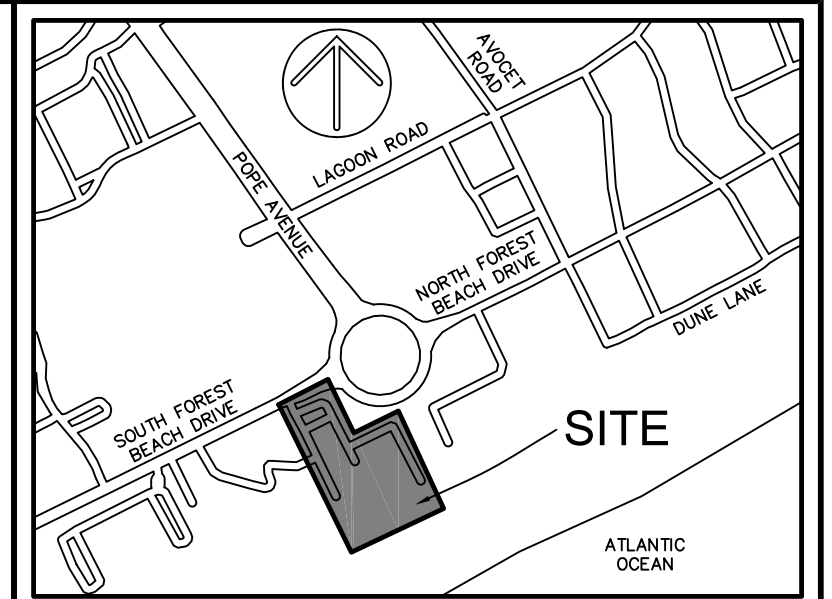
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



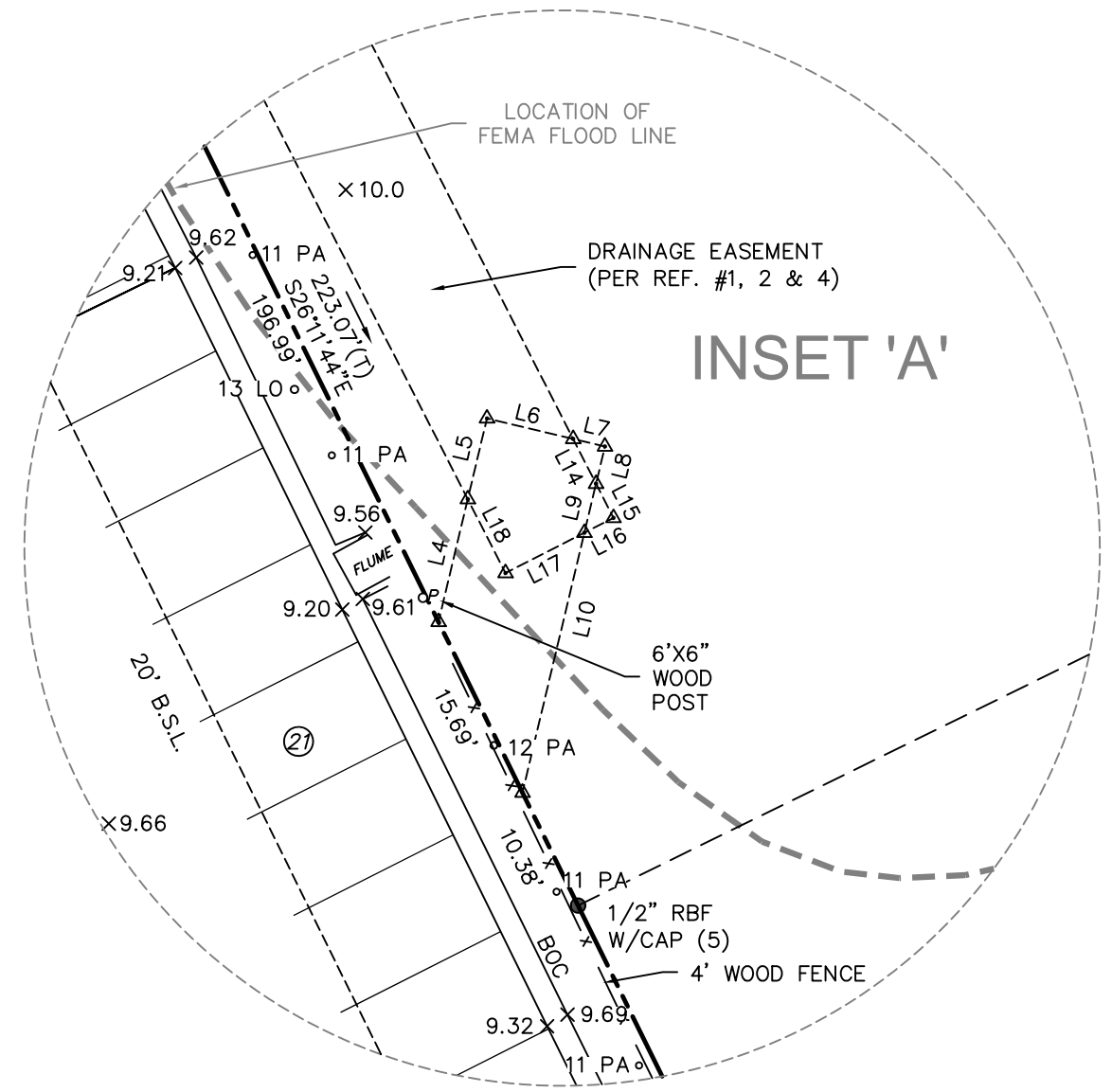
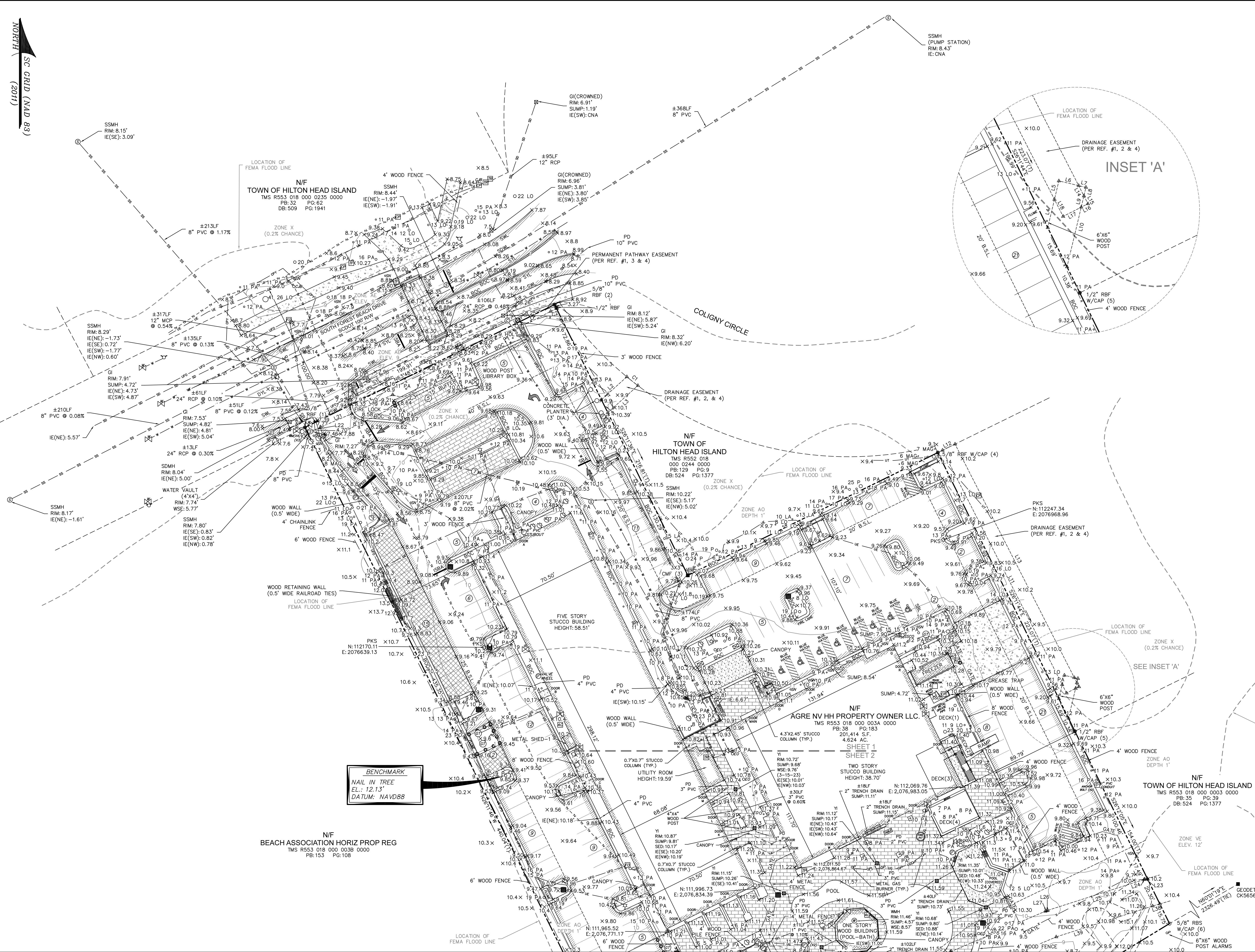
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRIMPED WITH SEAL

SC GRID (NAD 83)
(2011)

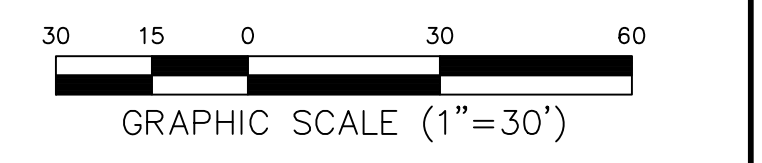


VICINITY MAP NOT TO SCALE



- NOTES
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 2. THIS PARCEL APPEARS TO LIE IN MULTIPLE FLOOD ZONES: X (0.2% CHANCE), AE (ELEVATION 9'), AD (DEPTH 1'), AND VE (ELEVATION 12'). DUAL COMMUNITIES 450025 (BEAUFORT COUNTY UNINCORPORATED AREAS) AND 450250 (TOWN OF HILTON HEAD ISLAND) MAP NUMBER 4501300446, HAVING AN EFFECTIVE DATE OF MARCH 23, 2021
 3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 4. VERTICAL DATUM IS NAVD 88.
 5. BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 6. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 7. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustICAL EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

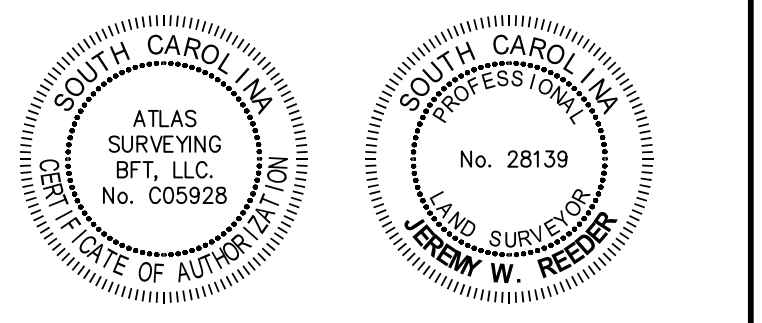
- REFERENCES
1. PLAT BOOK:136 PAGE:75
 2. PLAT BOOK:129 PAGE:9
 3. PLAT BOOK:145 PAGE:1
 4. AN ALTA/NSPS LAND TITLE SURVEY OF THE BEACH HOUSE, A HOLIDAY INN RESORT, AT #1 SOUTH FOREST BEACH, A SECTION OF FOREST BEACH, TOWN OF HILTON HEAD ISLAND. DATE: 10/25/2021 DATE: 02/28/2022 (REVISED) BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059



PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF

#1 SOUTH FOREST BEACH DRIVE
TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
JOB NO: 2208
DRAWN BY: JHU
DATE: 06-05-2023
SCALE: 1"=30'
PROJECT No.: BFT-2208
FILE: BFT-2208 AT.DWG
SHEET 1 OF 2

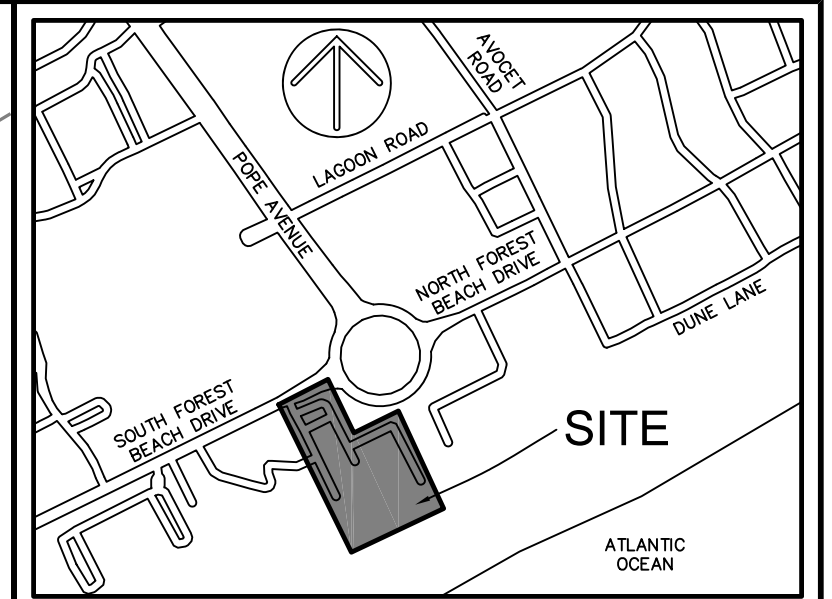
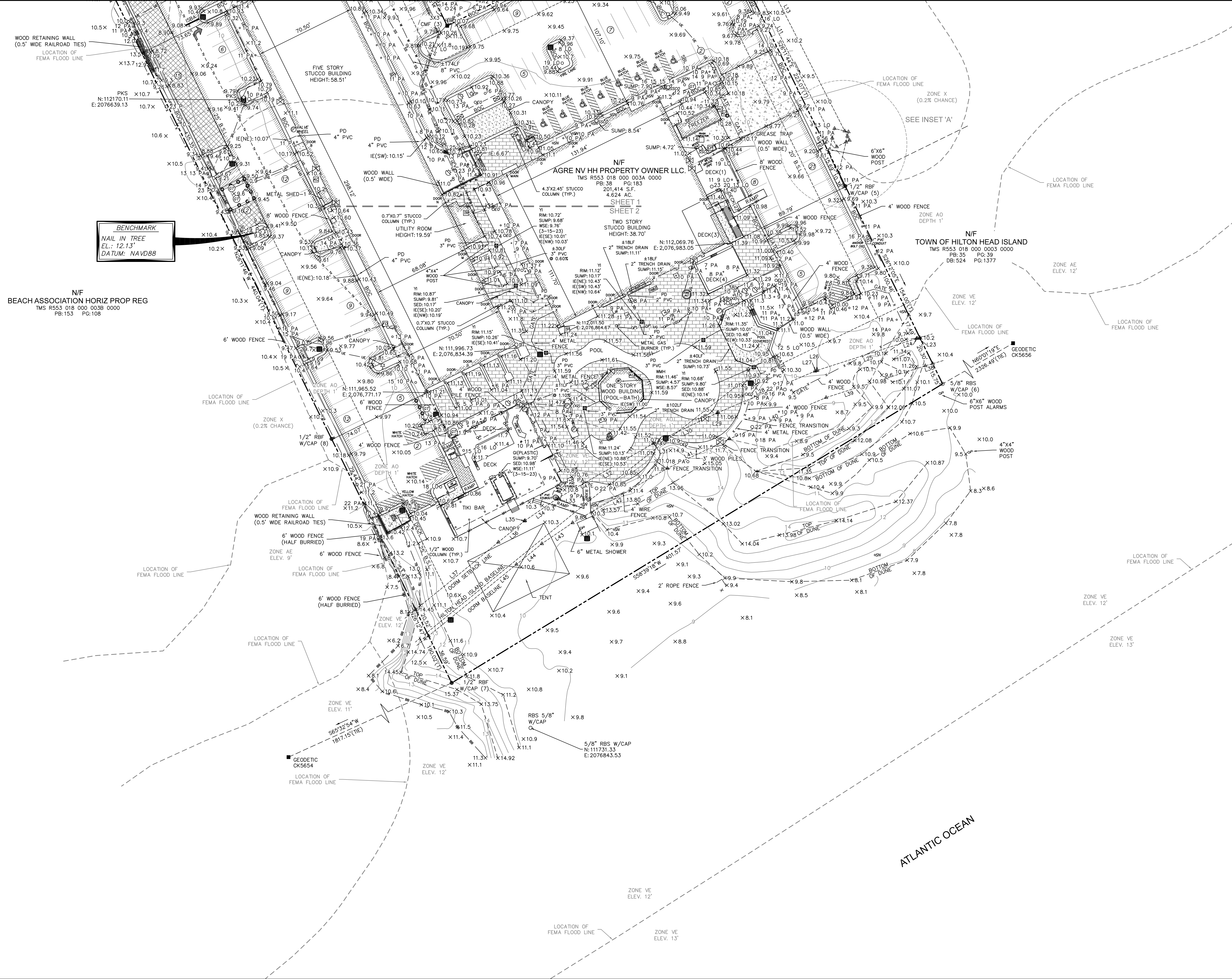
ATLAS SURVEYING, INC.
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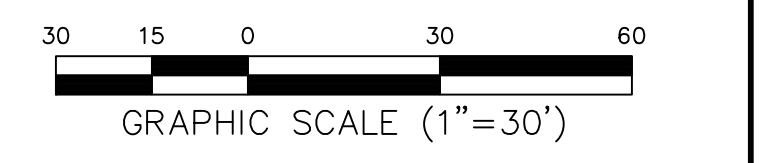
SC GRID (NAD 83)
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 5. BUILDING SETBACKS AND BUFFERS ARE PER THE TOWN OF HILTON HEAD, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
 6. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 7. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACQUISITIVE EVIDENCE AS OF MAY 11, 2023. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASSE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

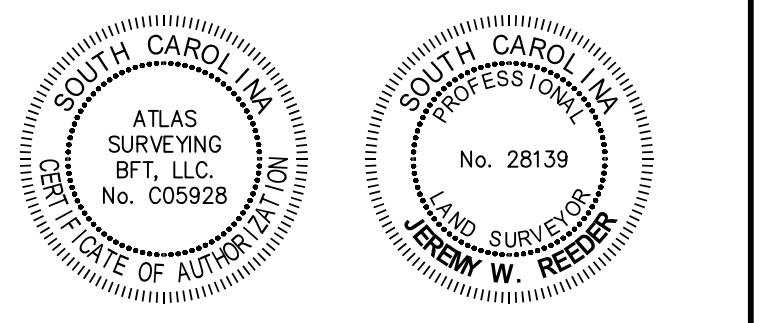
- REFERENCES
1. PLAT BOOK: 136 PAGE: 75
 2. PLAT BOOK: 129 PAGE: 9
 3. PLAT BOOK: 145 PAGE: 1
 4. AN ALTA/NPS LAND TITLE SURVEY OF THE BEACH HOUSE, A HOLIDAY INN RESORT, AT #1 SOUTH FOREST BEACH, A SECTION OF FOREST BEACH, TOWN OF HILTON HEAD ISLAND
DATE: 10/25/2021
DATE: 02/28/2022 (REVISED)
BY: TERRY G. HATCHELL, S.C.R.L.S. No. 11059



PREPARED FOR:
ROBERTS CIVIL ENGINEERING, LLC.
AN AS-BUILT / TREE AND TOPOGRAPHIC SURVEY OF

#1 SOUTH FOREST BEACH DRIVE
TAX PARCEL No. R553 018 000 003A 0000
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
FIELD WORK: JLG
FIELD CHECK: JMS
DRAWN BY: JHU
DATE: 06-05-2023
SCALE: 1"=30'
PROJECT No.: BFT-22208
FILE: BFT-22208_AT1.DWG
SHEET 2 OF 2

ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS CRAMPED WITH SEAL

SITE CONSTRUCTION PLANS

HHI BEACH HOUSE HOTEL RENOVATION

PREPARED FOR:
BEACH HOUSE RESPORT OWNER, LLC
444 MADISON AVENUE #14
NEW YORK, NY 10022
908-463-7474

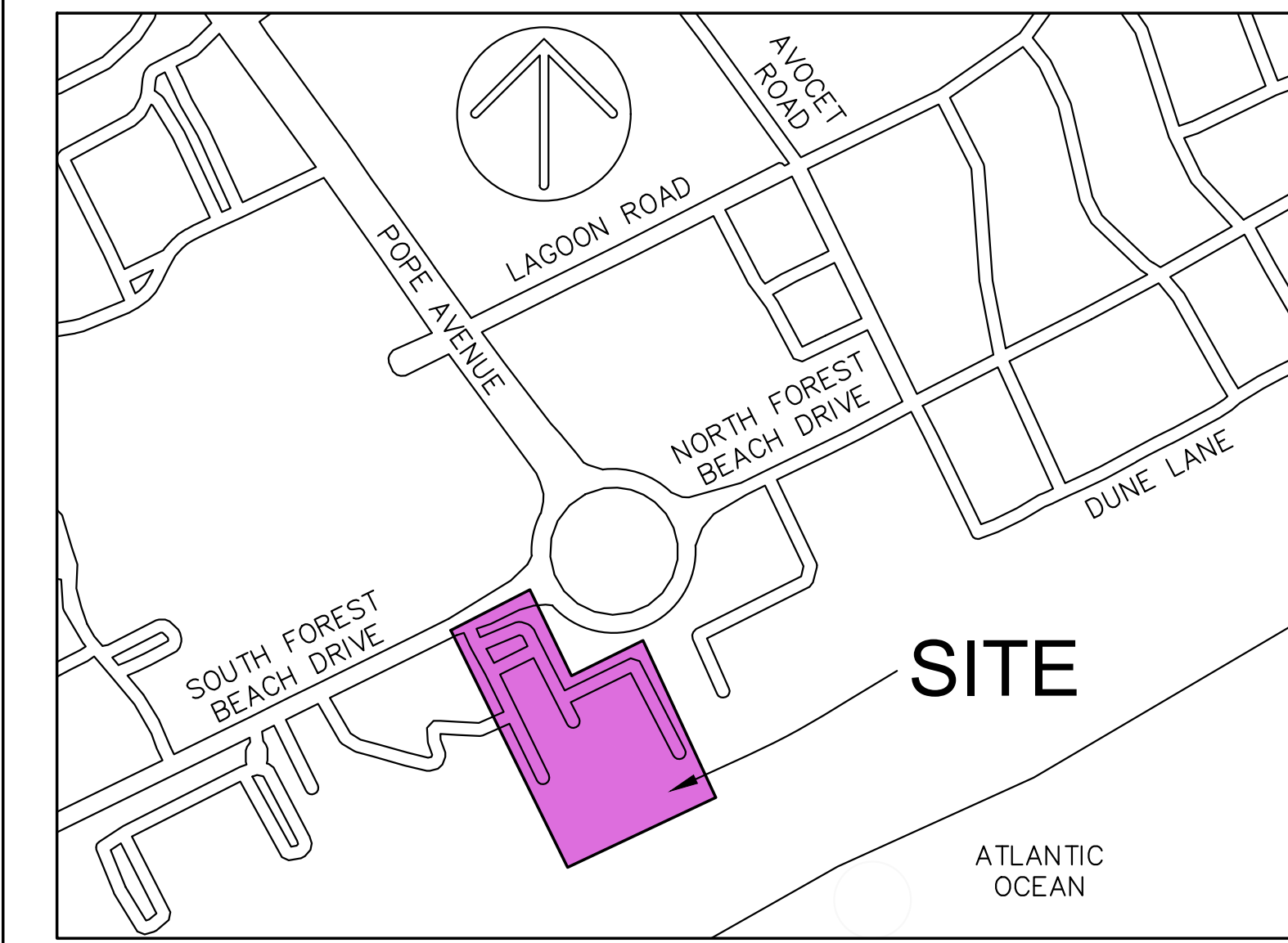
WWW.ROBERTSCIVILENGINEERING.COM

301 SEA ISLAND ROAD, SUITE 10
ST. SIMONS ISLAND, GA 31522
912-638-9681

6001 CHATHAM CENTER DRIVE, SUITE 255
SAVANNAH, GA 31405
912-298-7006

14600 WHIRLWIND AVENUE, SUITE 119A
JACKSONVILLE, FL 32218
904-741-0099

4000 FABER PLACE DRIVE, SUITE 300
NORTH CHARLESTON, SC 29405
843-323-4224



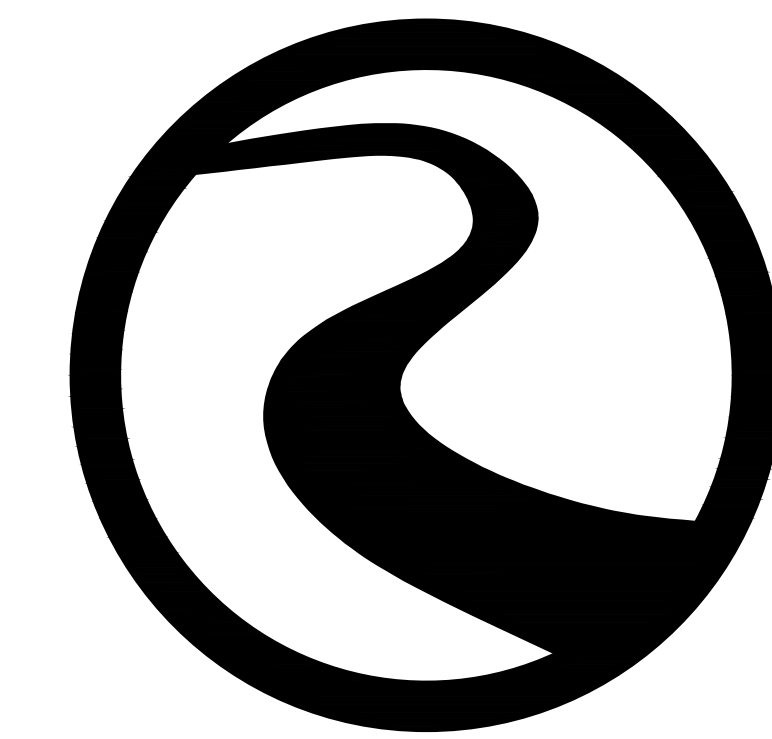
VICINITY MAP NTS

TOWN OF HILTON HEAD ISLAND

HHI BEACH HOUSE HOTEL RENOVATION

OWNER
BEACH HOUSE RESPORT OWNER, LLC
CONTACT
JILL LEKSTUTIS
EMAIL
jlekstutis@redhospitality.com
908-463-7474

ENGINEER
ROBERTS CIVIL ENGINEERING
CONTACT
Jonathan Roberts, P.E.
EMAIL
jroberts@robertscivilengineering.com



ROBERTS
CIVIL ENGINEERING

#	REVISIONS
1	
2	
3	
4	
5	

03/15/2023: ORIGINAL ISSUE DATE RCE PROJECT NUMBER: 22905

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1	GENERAL NOTES	07/11/23
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4	STAKING PLAN	07/11/23
5	GRADING AND DRAINAGE PLAN	07/11/23
6	WATER AND SEWER PLAN	07/11/23
D1-D3	CONSTRUCTION DETAILS	07/11/23
	IMPERVIOUS AREA EXHIBITS - PRE & POST	07/11/23

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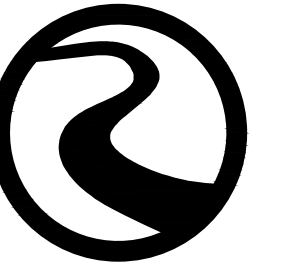


Know what's below.
Call before you dig.

COVER



client



ROBERTS CIVIL ENGINEERING consultant

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REVISIONS

Beach House HILTON HEAD ISLAND

GENERAL NOTES

DATE: 08.15.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV



Know what's below. Call before you dig.

GENERAL WATER NOTES:

- 1. PVC PIPE SHALL BE BLUE IN COLOR. PIPE 4" TO 12" SHALL CONFORM TO REQUIREMENTS OF AWWA C-900, OR 18 PRESSURE CLASS 235 PSI AND SHALL HAVE FOLLOWING MINIMUM WALL THICKNESS: 4" DIA - 0.287" 6" DIA - 0.383" 8" DIA - 0.503" 10" DIA - 0.617" 12" DIA - 0.733" PIPE LESS THAN 4" IN DIAMETER SHALL CONFORM TO ASTM D-1784 AND D-2241 (SDR 21). PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI. PVC PIPE SHALL BEAR NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL. 2. FITTINGS FOR PVC SHALL BE DUCTILE IRON IN ACCORDANCE WITH ANSI A-21.53 (AWWA C-153). FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A-21.4 (AWWA C-104). FITTINGS LESS THAN 4" SHALL BE PVC WITH RING TITE RUBBER JOINTS CONFORMING TO ASTM D-3139. 3. VALVES SHALL BE INSTALLED IN APPROVED UNDERGROUND VALVE BOXES OF DUCTILE IRON WITH A SUITABLE CRUSHING STRENGTH FOR LOCATION INSTALLED. 4. MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN ANY EXISTING OR PROPOSED WATER MAIN AND SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE. 5. WHEN A 10' HORIZONTAL SEPARATION CANNOT BE MAINTAINED, WATER MAIN MAY BE LAID CLOSER TO SEWER PROVIDED THAT WATER MAIN IS LAID IN A SEPARATE TRENCH AT LEAST 18" ABOVE TOP OF SEWER. 6. WATER CROSSING A SEWER SHALL BE AT LEAST 18" ABOVE TOP OF SEWER. A FULL LENGTH (SECTION) OF WATER PIPE SHALL BE USED AT THESE CROSSINGS WITH ENDS OF WATER PIPE SECTION AS FAR AWAY FROM SEWER AS POSSIBLE. 7. VERIFY SIZE AND LOCATION OF WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS. 8. IF UTILITY CONFLICT IS ENCOUNTERED IN FIELD, SEE UTILITY CONFLICT DETAIL.

GENERAL SEWER NOTES:

- 1. PVC PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) AND SHALL MEET REQUIREMENTS OF ASTM D 3034 SDR 26. DEPTHS LESS THAN 3' SHALL BE DUCTILE IRON PIPE. ASTM D 2321 MUST BE FOLLOWED FOR INSTALLATION OF PVC PIPE. RUBBER RINGS SHALL BE USED FOR CONTRACTION AND EXPANSION AT EACH JOINT. FITTINGS SHALL MEET SAME SPECIFICATION REQUIREMENTS AS PIPE. TESTS ON PVC PIPE SHALL BE DESIGNED TO PASS TESTS AT 73° F. PIPE STANDARD LENGTHS SHALL BE 12.5' (PLUS OR MINUS 1"). PIPE SIZES AND DIMENSIONS SHALL BE AS SHOWN IN THE TABLE BELOW.
TABLE:
NOM. SIZE: 4", 6", 8", 10", 12"
OUTSIDE DIA.: 4.215", 6.275", 8.400", 10.500", 12.500"
MIN. WALL THICKNESS: 0.162", 0.241", 0.323", 0.404", 0.481"
2. JOINTS FOR PVC PIPE - SHALL BE INTEGRAL WALL BELL AND SPIGOT WITH A RUBBER RING GASKET. THE JOINTS SHALL CONFORM TO ASTM D 3212 AND GASKETS SHALL CONFORM TO ASTM F 477.
3. PRECAST CONCRETE MANHOLES - SHALL BE REINFORCED CONCRETE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 AND DETAILS SHOWN ON PLANS. JOINTS SHALL BE TONGUE AND GROOVE SEALED WITH FLEXIBLE GASKETS OR MASTIC SEALANT. GASKETS SHALL BE O-RING OR EQUIVALENT TO TYPE A OR B "TYLOX" CONFORMING TO ASTM C 443. MASTIC SHALL BE EQUIVALENT TO "RAM-NEK" WITH PRIMER. CONTACT SURFACES OF MANHOLE JOINT SHALL HAVE PRIMER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. FRAMES AND COVERS - SHALL BE EQUIVALENT OF NEENAH FOUNDRY CO. R-1668 TYPE "C" LID
5. MANHOLE STEPS - SHALL BE EQUIVALENT TO M.A. INDUSTRIES, TYPE PS-1 OF PS-2 OR IMCO REINFORCED PLASTICS, INC. MODEL FRP. STEPS SHALL BE INSTALLED AT MANHOLE FACTORY AND IN ACCORDANCE WITH RECOMMENDATIONS OF STEP MANUFACTURER.
6. PIPE CONNECTIONS - SHALL HAVE FLEXIBLE WATERTIGHT JOINTS AT POINT OF ENTRY OF ANY SEWER MAIN INTO MANHOLE. JOINT SHALL BE WEDGED RUBBER SHAPE EQUIVALENT TO "PRESS WEDGE II," OR A RUBBER SLEEVE EQUIVALENT TO "KOR-N-SEAL" OR "LOCK JOINT."
7. #12 GAUGE SINGLE STRAND COPPER TRACING WIRE SHALL BE USED OVER ALL FORCE MAIN, SANITARY SEWER, AND SERVICE LATERAL LINES.
8. SEWER EXCAVATIONS SHALL BE TO DESIRED DEPTHS SHOWN ON PLANS WITH ADHERENCE TO OCCUPATIONAL AND SAFETY HEALTH ADMINISTRATIONS (OSHA) REGULATIONS. IN AREAS OF UNSUITABLE SOIL CONDITIONS, TRENCH MAY REQUIRE ADDITIONAL EXCAVATION AND BACKFILL WITH SAND, GRAVEL, OR CONCRETE.
9. SEWER PIPES SHALL BE LAID UPGRADE WITH SPIGOTS POINTING DOWNGRADE. ASSEMBLY OF JOINTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. SEAL OPEN ENDS OF PIPES IF INSTALLATION IS INTERRUPTED. MANHOLE CONNECTIONS SHALL BE WATER TIGHT WITH USE OF FLEXIBLE WATER STOPS AND RESILIENT CONNECTORS.
10. MANHOLES SHALL HAVE A NON-SHRINK GROUT CHANNEL IN BOTTOM THAT IS SMOOTH, ROUNDED, AND SHAPED TO FACILITATE GRAVITY SEWER FLOW TOWARDS OUTGOING PIPE. CHANNEL WIDTH SHALL MATCH PIPING SIZE. INVERT OF CHANNEL SHALL BE UNIFORMLY SLOPED BETWEEN INCOMING AND OUTGOING PIPES. TOP OF BENCH SHALL MATCH TOP OF LARGEST PIPE. SLOPE TOP OF BENCH 1" PER FOOT TOWARDS CHANNEL.
11. MANHOLE TOP ELEVATIONS SHALL BE GREATER THAN OR EQUAL TO FIFTY (50) YEAR FLOOD ELEVATION, UNLESS WATERTIGHT COVERS ARE PROVIDED. OUTSIDE OF PAVED AREAS, MANHOLE TOP ELEVATION SHALL BE 1" ABOVE GROUND SURFACE IN DEVELOPED AREAS AND 6" ABOVE GROUND SURFACE IN UNDEVELOPED AREAS UNLESS SHOWN OTHERWISE ON PLANS. MANHOLES IN PAVED AREAS SHALL BE BUILT AS DESIGNATED BY ENGINEER. NO LEAKS IN MANHOLES ARE ACCEPTABLE.

EARTHWORK AND PAVING:

- 1. UPPER 12 INCHES OF SUBGRADE BELOW PAVEMENT AND BUILDINGS SHALL BE SCARIFIED AND RECOMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
2. CONTRACTOR TO PROVIDE TEST RESULTS OF SUBGRADE AND BASE COURSE COMPACTION TO ENGINEER INCLUDING VOLUME ESTIMATES OF ANY UNSUITABLE SOILS TO BE REMOVED AND REPLACED THAT WERE IDENTIFIED DURING COMPACTION OPERATIONS PER ITEM NO. 1 ABOVE. IF ANY, CONTRACTOR SHALL NOT PROCEED WITH OVER-EXCAVATION AND REPLACEMENT OF UNSUITABLE SOILS WITHOUT WRITTEN AUTHORIZATION FROM ENGINEER OR OWNER.
3. FOR APPROVED AREAS OF OVER-EXCAVATION AND REPLACEMENT, CONTRACTOR TO REMOVE IDENTIFIED UNSUITABLE MATERIAL TO A DEPTH OF 3 FEET AND REPLACE WITH STRUCTURAL FILL.
4. IN AREAS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN LIFTS OF 6 INCHES AND BE COMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY. STRUCTURAL FILL SHALL CONSIST OF GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE NO. 200 SIEVE.
5. EXCAVATION AND FILL SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITIES.

GRADING & DRAINAGE NOTES:

- 1. STORM PIPES SHALL BE JOINED PER DOT SPECIFICATIONS.
2. PIPING SHALL BE INSTALLED IN NEW CONDITION.
3. A RIGHT-OF-WAY WORK PERMIT MAY BE REQUIRED BEFORE ANY WORK CAN BE DONE IN RIGHT-OF-WAY.
4. STORM DRAINAGE PIPING SHALL BE CONSTRUCTED PER GA DOT SPECS.
5. STORM DRAINAGE PIPING JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
6. CONTRACTOR TO REQUEST CONFIRMATION OF LATEST PLAN REVISION DATE FROM ENGINEER IN WRITING PRIOR TO ORDERING MATERIALS.
7. IT IS CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.

GENERAL NOTES:

- 1. CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
2. PERMITS NECESSARY FOR CONSTRUCTION SHALL BE OBTAINED BY CONTRACTOR.
3. DEVIATIONS FROM PLANS ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE ENGINEER.
4. CONTRACTOR IS TO IMMEDIATELY CONTACT ENGINEER IF ANY UNFORESEEN CONDITIONS OR DISCREPANCIES OCCUR.
5. CONTRACTOR SHALL COORDINATE CONSTRUCTION OF UTILITIES ON SITE WITH APPROPRIATE PROVIDER (I.E., POWER, PHONE, CABLE, ETC.).
6. ENGINEER IS NOT RESPONSIBLE FOR PHYSICAL CONSTRUCTION OF SITE.
7. CONTRACTOR SHALL MAINTAIN A SAFE SITE AND MEET APPROPRIATE REGULATIONS CONCERNING SAFETY.
8. SURVEY DATA PROVIDED BY ATLAS SURVEYING, INC.
A. DATE OF SURVEY 06-20-2022
B. SURVEYOR PROJECT OR FILE NO. BFT-22206
9. EXISTING SURVEY INFORMATION TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF DISCREPANCIES IN FIELD OBSERVATIONS VERSUS SURVEY DATA.
10. CONTRACTOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION BY CALLING "CALL BEFORE YOU DIG" HOTLINE: 811.
11. ACCORDING TO FEMA FLOOD INSURANCE RATEMAPS 45013C0444G DATED 3/23/2021, SITE IS LOCATED IN 100 YEAR FLOODPLAIN IN ZONE AO (DEPTH 1) AND ZONE X (0.2% ANNUAL CHANCE FLD HZRD).
12. HORIZONTAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAD83. VERTICAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE NAVD88.

ADA NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR ADHERING TO CURRENT ADA REQUIREMENTS.
2. EXTERIOR ACCESSIBLE ROUTE SHALL HAVE A MINIMUM WIDTH OF 3 FEET. IF ACCESSIBLE ROUTE CLEAR WIDTH IS LESS THAN 5 FEET, THEN 5'X5' PASSING SPACES SHALL BE PROVIDED EVERY 200' OR LESS. INTERSECTING SIDEWALKS MEET THIS REQUIREMENT.
3. FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS SHALL MEET FOLLOWING:
A. 0 - 1/4" NO REQUIREMENTS.
B. 1/4" - 1/2" BEVEL WITH 1:2 SLOPE.
C. GREATER THAN 1/2" CONFORM TO RAMP REQUIREMENTS.
4. RAMPS SHALL MEET FOLLOWING CONSTRAINTS:
A. MAX SLOPE 1:12
B. MAX RAMP RISE IS 30".
C. MAX RAMP LENGTH IS 30'.
D. MAX CROSS SLOPE IS 2.00%.
5. RAMP LANDINGS SHALL MEET FOLLOWING CONSTRAINTS:
A. A MINIMUM 5' LONG LEVEL LANDING AT LEAST AS WIDE AS RAMP SHALL BE PLACED AT TOP AND BOTTOM OF RAMP.
B. LANDING SHALL BE MINIMUM 5'X5' WHERE RAMP CHANGES DIRECTION.
C. LANDINGS SHALL NOT EXCEED A 2.00% SLOPE.
6. HANDRAILS SHALL MEET FOLLOWING CONSTRAINTS:
A. IF RAMP RISE IS GREATER THAN 6", THEN HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMP.
B. MINIMUM OF 12" LONG HANDRAIL EXTENSIONS SHALL BE PROVIDED AT TOP AND BOTTOM OF LANDINGS.

PROJECT NOTES:

- 1. OWNER / DEVELOPER:
A. NAME: BEACH HOUSE RESPORT OWNER, LLC
B. CONTACT: JILL LEKSTUTTIS, 908-463-7474, 908-463-7474
C. ADDRESS: 444 MADISON AVENUE #14, NEW YORK, NY 10022
2. COUNTY NAME AND PARCEL / TAX MAP NUMBER(S): ##### / #####
3. ZONING CLASSIFICATION: RD - RESORT DEVELOPMENT

SITE DATA

- a. ZONING DISTRICT - RD
b. OVERLAY DISTRICT - COR, TA-O, CPA-O, CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA
c. USE OF PROPERTY - RESORT ACCOMMODATIONS
d. GROSS SITE ACRES - 4.624 ACRES (201,413.77 SF)
e. NET SITE ACRES (GROSS ACRES-TOTAL WETLANDS) - 4.624 ACRES
f. ALLOWED TOTAL DENSITY (GFANET ACRES) - 8,000 GFA/ACRE (HILTON HEAD ISLAND, SOUTH CAROLINA - LAND MANAGEMENT ORDINANCE, CHAPTER 16-3 - ZONING DISTRICTS, L, RESORT DEVELOPMENT (RD) DISTRICT, 3, DEVELOPMENT FORM AND PARAMETERS; MAX. DENSITY (PER NET ACRE), NONRESIDENTIAL, 8,000 GFA)
g. PROPOSED DENSITY (GFANET ACRES) - 7,994 GFA/ACRE (36,987 GFA/4,624 ACRES)
h. EXISTING BUILDING SQUARE FOOTAGE - 36,441 SF (14,844 SF + 20,820 SF + 777 SF) UNIT 1 + UNIT 2 + EXISTING BATHROOM/POOL
i. PROPOSED BUILDING SQUARE FOOTAGE - 1,303 SF (526 SF+777 SF) KITCHEN + BATHROOM/POOL
j. TOTAL SQUARE FOOTAGE (BUILDING) - 36,967 SF (14,844 SF + 20,820 SF + 526 SF+777 SF) UNIT 1 + UNIT 2 + KITCHEN + BATHROOM/POOL
k. MAXIMUM BUILDING HEIGHT ALLOWED - 75 FEET
l. PROPOSED BUILDING HEIGHT - UNIT 2 - 5 STORY STUCCO BUILDING 47.9' (+/-) HIGH, UNIT 1 + 2 STORY STUCCO BUILDING 20' (+/-)
m. MAXIMUM ALLOWED IMPERVIOUS AREA AND PERCENTAGE (MAX ALLOWED IS 50%) - 100,710 SF (54%)
n. a. CURRENT IMPERVIOUS AREA AND PERCENTAGE - 108,743 SF (54%)
b. (108,743 SF /201,421 SF)
c. PROPOSED IMPERVIOUS AREA AND PERCENTAGE - 108,733 (54%)
d. (108,733 SF /201,421 SF)
e. MINIMUM NUMBER OF PARKING SPACES REQUIRED (1 PER EVERY GUEST ROOM) - 202
f. EXISTING NUMBER OF PARKING SPACES ON SITE - 199 (INCL. 9 HC SPACES)
g. AREA OF DISTURBANCE - 1.03 (AC.)

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consultant

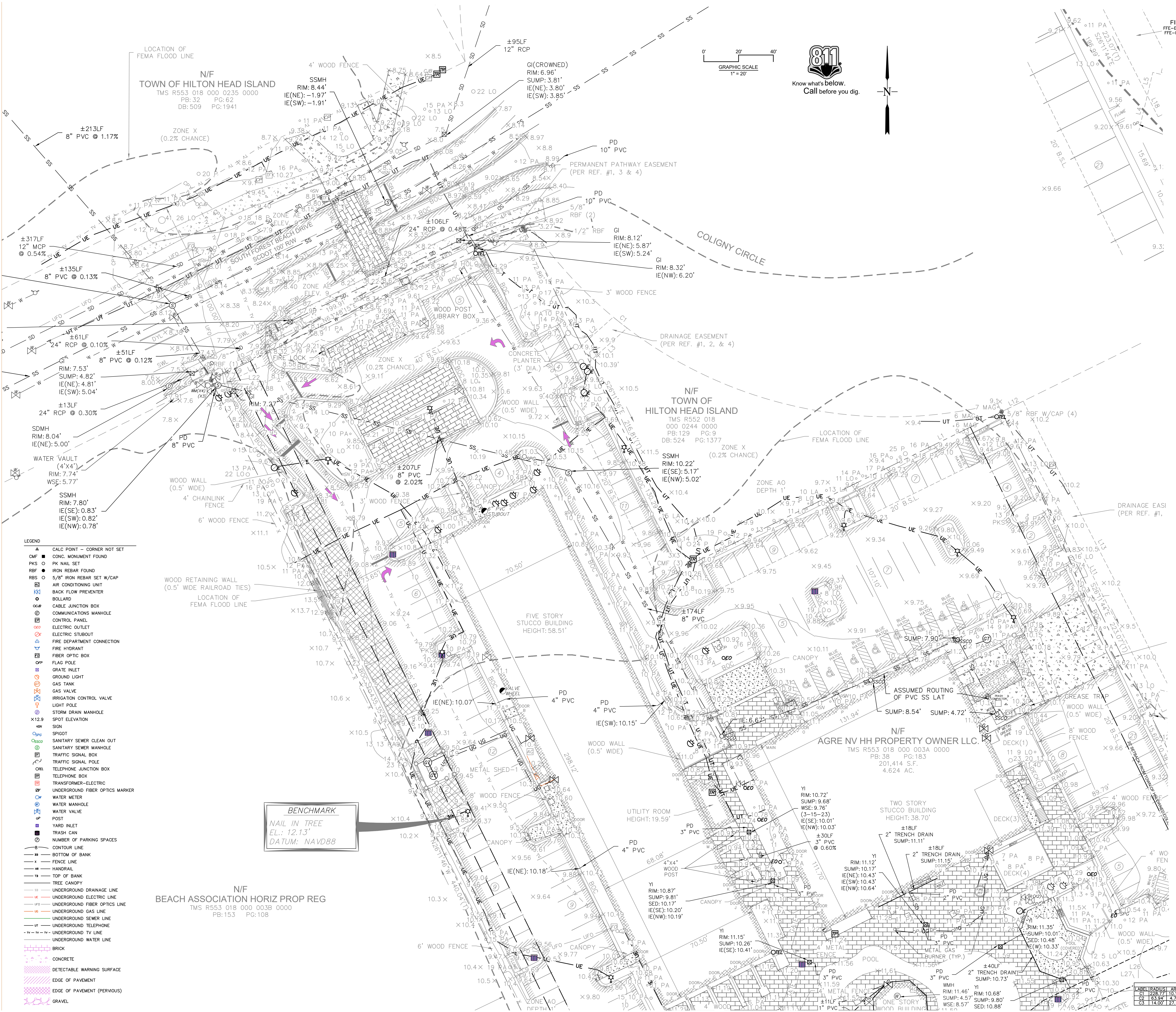
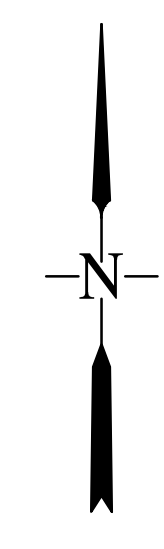
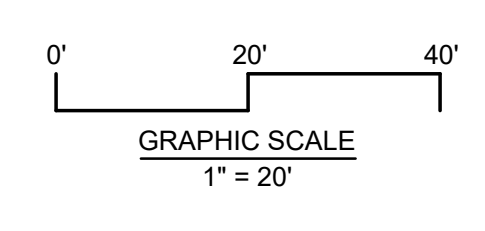
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- ### EXTERIOR DOOR FINISHED FLOOR ELEVATIONS
- FFE-EX: EXTERIOR FINISHED FLOOR ELEVATION
FFE-IN: INTERIOR FINISHED FLOOR ELEVATION
- DOOR-A: FFE-EX: 11.37'
FFE-IN: 11.38'
 - DOOR-B: FFE-EX: 11.02'
FFE-IN: 11.03'
 - DOOR-C: FFE-EX: 10.79'
FFE-IN: 10.83'
 - DOOR-D: FFE-EX: 11.24'
FFE-IN: 11.29'
 - DOOR-E: FFE-EX: 11.06'
FFE-IN: 11.11'
 - DOOR-F: FFE-EX: 11.07'
FFE-IN: 11.12'
 - DOOR-G: FFE-EX: 11.11'
FFE-IN: 11.14'
 - DOOR-H: FFE-EX: 11.12'
FFE-IN: 11.15'
 - DOOR-I: FFE-EX: 11.21'
FFE-IN: 11.24'
 - DOOR-J: FFE-EX: 11.13'
FFE-IN: 11.14'
 - DOOR-K: FFE-EX: 11.07'
FFE-IN: 11.07'
 - DOOR-L: FFE-EX: 11.00'
FFE-IN: 11.00'
 - DOOR-M: FFE-EX: 10.95'
FFE-IN: 10.95'
 - DOOR-N: FFE-EX: 10.76'
FFE-IN: 10.85'
 - DOOR-O: FFE-EX: 11.13'
FFE-IN: 11.18'
 - DOOR-P: FFE-EX: 11.11'
FFE-IN: 11.15'
 - DOOR-Q: FFE-EX: 11.18'
FFE-IN: 11.18'
 - DOOR-R: FFE-EX: 11.49'
FFE-IN: 11.54'
 - DOOR-S: FFE-EX: 11.40'
FFE-IN: 11.41'
 - DOOR-T: FFE-EX: 11.40'
FFE-IN: 11.42'
 - DOOR-U: FFE-EX: 11.38'
FFE-IN: 11.45'
 - DOOR-V: FFE-EX: 12.87'
FFE-IN: 12.87'
 - DOOR-W: FFE-EX: 11.25'
FFE-IN: 11.25'
 - DOOR-X: FFE-EX: 11.25'
FFE-IN: 11.25'
 - DOOR-Y: FFE-EX: 11.42'
FFE-IN: 11.44'
 - DOOR-Z: FFE-EX: 11.42'
FFE-IN: 11.44'
 - DOOR-MAIN: FFE-EX: 11.05'
FFE-IN: 11.05'

- ### LOT CORNERS STATE PLANE COORDINATES
1. N: 112,328.09
E: 2,078,510.25
 2. N: 112,416.33
E: 2,076,889.63
 3. N: 112,221.79
E: 2,076,785.33
 4. N: 112,309.99
E: 2,076,964.94
 5. N: 112,109.83
E: 2,077,063.41
 6. N: 111,971.89
E: 2,077,131.40
 7. N: 111,782.78
E: 2,076,788.44
 8. N: 111,933.24
E: 2,076,704.51
-
- ### MISC. DECKS & STRUCTURES (FFES & BUILDING ELEVATIONS)
- STRUCTURE: FFE: 14.18'
 - DECK-1: FFE: 12.19'
 - DECK-2: FFE: 12.19'
 - DECK-3: FFE: 12.65'
 - DECK-4: FFE: 12.65'
 - TKI BAR: FFE: 11.85'
ELEV: 27.72'
 - POOL-BATH: FFE: 11.41'
ELEV: 29.55'
 - METAL SHED-1: FFE: 11.10'

LINE	BEARING	DISTANCE
L1	N 89° 04' 32" E	200.00
L2	N 48° 08' 32" E	24.87
L3	S 89° 04' 32" W	200.00
L4	N 12° 32' 54" E	10.41
L5	N 13° 32' 54" E	6.84
L6	S 76° 38' 00" W	2.69
L7	S 32° 54' 32" W	2.15
L8	S 13° 32' 54" E	9.96
L9	S 76° 38' 00" W	2.69
L10	S 13° 32' 54" E	9.96
L11	N 12° 32' 54" E	10.41
L12	N 89° 04' 32" E	200.00
L13	S 89° 04' 32" W	200.00
L14	N 12° 32' 54" E	10.41
L15	S 76° 38' 00" W	2.69
L16	S 32° 54' 32" W	2.15
L17	S 13° 32' 54" E	9.96
L18	S 76° 38' 00" W	2.69
L19	S 32° 54' 32" W	2.15
L20	S 13° 32' 54" E	9.96
L21	N 12° 32' 54" E	10.41
L22	S 89° 04' 32" W	200.00
L23	N 48° 08' 32" E	24.87
L24	S 89° 04' 32" W	200.00
L25	N 12° 32' 54" E	10.41
L26	N 13° 32' 54" E	6.84
L27	S 76° 38' 00" W	2.69
L28	S 32° 54' 32" W	2.15
L29	S 13° 32' 54" E	9.96
L30	S 76° 38' 00" W	2.69
L31	S 32° 54' 32" W	2.15
L32	S 13° 32' 54" E	9.96
L33	N 12° 32' 54" E	10.41
L34	N 89° 04' 32" E	200.00
L35	S 89° 04' 32" W	200.00
L36	N 12° 32' 54" E	10.41
L37	S 76° 38' 00" W	2.69
L38	S 32° 54' 32" W	2.15
L39	S 13° 32' 54" E	9.96
L40	S 76° 38' 00" W	2.69
L41	S 32° 54' 32" W	2.15
L42	S 13° 32' 54" E	9.96
L43	N 12° 32' 54" E	10.41
L44	S 89° 04' 32" W	200.00
L45	S 50° 51' 14" W	79.13

LINE	BEARING	DISTANCE
B1	N 228° 77' 10.15" E	10.15
B2	S 63° 04' 47.9" W	47.9
B3	S 14° 00' 22.11" W	230.77



- #### LEGEND
- ▲ CALC. POINT - CORNER NOT SET
 - CONC. MONUMENT FOUND
 - PKS PK NAIL SET
 - RBFB IRON REBAR FOUND
 - RBS 5/8" IRON REBAR SET W/CAP
 - AA AIR CONDITIONING UNIT
 - KK BACK FLOW PREVENTER
 - BOLLARD
 - CABLE JUNCTION BOX
 - COMMUNICATIONS MANHOLE
 - CONTROL PANEL
 - ELECTRIC OUTLET
 - ELECTRIC STUBOUT
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT
 - FIBER OPTIC BOX
 - FLAG POLE
 - GRATE INLET
 - GROUND LIGHT
 - GAS TANK
 - GAS VALVE
 - IRRIGATION CONTROL VALVE
 - LIGHT POLE
 - STORM DRAIN MANHOLE
 - SPOT ELEVATION
 - SIGN
 - SPOUT
 - SANITARY SEWER CLEAN OUT
 - SANITARY SEWER MANHOLE
 - TRAFFIC SIGNAL BOX
 - TRAFFIC SIGNAL POLE
 - TELEPHONE JUNCTION BOX
 - TELEPHONE BOX
 - TRANSFORMER - ELECTRIC
 - UNDERGROUND FIBER OPTICS MARKER
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - POST
 - YARD INLET
 - TRASH CAN
 - CONTOUR LINE
 - BOTTOM OF BANK
 - FENCE LINE
 - HANDRAIL
 - TOP OF BANK
 - TREE CANOPY
 - UNDERGROUND DRAINAGE LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND FIBER OPTICS LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND SEWER LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND TV LINE
 - UNDERGROUND WATER LINE
 - BRICK
 - CONCRETE
 - DETECTABLE WARNING SURFACE
 - EDGE OF PAVEMENT
 - EDGE OF PAVEMENT (PERVIOUS)
 - GRAVEL

BENCHMARK
NAIL IN TREE
EL.: 12.13'
DATUM: NAVD88

N/F BEACH ASSOCIATION HORIZ PROP REG
TMS R553 018 000 003B 0000
PB: 153 PG: 108

N/F AGRE NV HH PROPERTY OWNER LLC
TMS R553 018 000 003A 0000
PB: 38 PG: 183
201,414 S.F.
4,624 AC.

REVISIONS

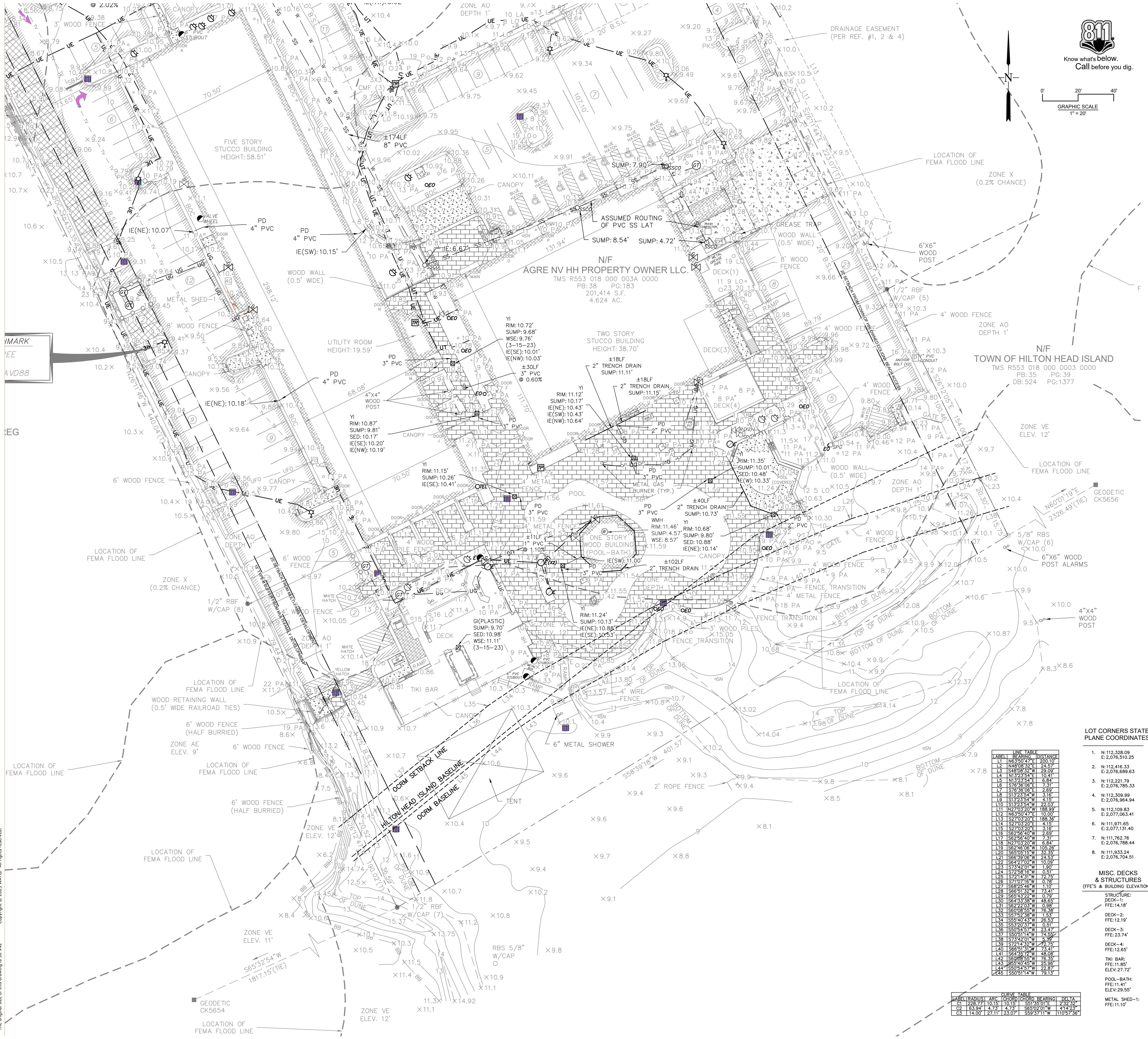
EXISTING CONDITIONS DATE: 08.15.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF CHECKED BY: JLV

DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

sheet no. **2A**



LEGEND

- ▲ CALC POINT - CORNER NOT SET
- CONC. MONUMENT FOUND
- ◆ PA NAIL SET
- IRON REBAR FOUND
- RBF
- RBS
- AIR CONDITIONING UNIT
- ▤ BACK FLOW PREVENTER
- BOLLARD
- CABLE JUNCTION BOX
- COMMUNICATIONS MANHOLE
- CONTROL PANEL
- ELEC. OUTLET
- ELEC. STUBOUT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FIBER OPTIC BOX
- FLAG POLE
- GRATE INLET
- GROUND LIGHT
- GAS TANK
- GAS VALVE
- IRRIGATION CONTROL VALVE
- LIGHT POLE
- STORM DRAIN MANHOLE
- SPOT ELEVATION
- SIGN
- SPIGOT
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- TRAFFIC SIGNAL BOX
- TELEPHONE JUNCTION POLE
- TELEPHONE BOX
- TRANSFORMER-ELECTRIC
- UNDERGROUND FIBER OPTICS MARKER
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- WATER MANHOLE
- WATER VALVE
- POST
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- TRASH CAN
- NUMBER OF PARKING SPACES
- CONTOUR LINE
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- TREE CANOPY
- UNDERGROUND DRAINAGE LINE
- UNDERGROUND ELECTRICAL LINE
- UNDERGROUND FIBER OPTICS LINE
- UNDERGROUND GAS LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TV LINE
- UNDERGROUND WATER LINE
- BRICK
- CONCRETE
- DETECTABLE WARNING SURFACE
- EDGE OF PAVEMENT
- EDGE OF PAVEMENT (PERVIOUS)
- GRAVEL

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EOS INVESTORS
client

ROBERTS CIVIL ENGINEERING
consultant

EXTERIOR DOOR FINISHED FLOOR ELEVATIONS

FFE-EX: EXTERIOR FINISHED FLOOR ELEVATION
FFE-IN: INTERIOR FINISHED FLOOR ELEVATION

DOOR-A:	FFE-EX: 11.33'	FFE-IN: 11.38'
DOOR-B:	FFE-EX: 11.02'	FFE-IN: 11.03'
DOOR-C:	FFE-EX: 10.79'	FFE-IN: 10.83'
DOOR-D:	FFE-EX: 11.24'	FFE-IN: 11.29'
DOOR-E:	FFE-EX: 11.06'	FFE-IN: 11.11'
DOOR-F:	FFE-EX: 11.07'	FFE-IN: 11.12'
DOOR-G:	FFE-EX: 11.11'	FFE-IN: 11.14'
DOOR-H:	FFE-EX: 11.12'	FFE-IN: 11.15'
DOOR-I:	FFE-EX: 11.21'	FFE-IN: 11.24'
DOOR-J:	FFE-EX: 11.13'	FFE-IN: 11.14'
DOOR-K:	FFE-EX: 11.07'	FFE-IN: 11.07'

REVISIONS

NO.	DATE	DESCRIPTION

LOT CORNERS STATE PLANE COORDINATES

NO.	N.	E.
1.	N-112,328.09	E-2,076,510.25
2.	N-112,416.33	E-2,076,689.63
3.	N-112,221.79	E-2,076,785.33
4.	N-112,309.99	E-2,076,964.94
5.	N-112,109.83	E-2,077,063.41
6.	N-111,971.65	E-2,077,131.40
7.	N-111,782.76	E-2,076,788.44
8.	N-111,833.24	E-2,076,704.51

MISC. DECKS & STRUCTURES (FFE'S & BUILDING ELEVATIONS)

STRUCTURE:	NO.	FFE
DECK-1:	L1	11.14
DECK-2:	L2	11.14
DECK-3:	L3	11.14
DECK-4:	L4	11.14
TIKI BAR:	T1	11.85
POOL-BATH:	P1	11.41
METAL SHED-1:	M1	11.10

CURVE TABLE

NO.	RADIUS	ARC	CHORD	BEARING	DELTA
1.	110.75	10.12	5.91	301.3014	239.92
2.	63.84	4.74	4.74	365.9910	214.24
3.	14.00	27.11	23.07	359.9711	110.5756

Beach House

HILTON HEAD ISLAND

EXISTING CONDITIONS

DATE: 08.15.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

sheet no. **2B**

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 The original size of this drawing is 20" x 42"
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20' B.S.L.

PRE-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
- CONCRETE
- EXISTING POOL & SPA
- EXISTING POOL EQUIP, BATH HOUSE
- EXISTING TIKI BAR ROOF
- EXISTING PAVERS
- EXISTING DECK

NOTE:
CONTRACTOR TO COORDINATE REMOVAL OF EXISTING TREES, LIGHTS, CABLE, IRRIGATION AND POWER WITH OWNER.

LEGEND

- ▲ CALC POINT - CORNER NOT SET
- CMF ■ CONC. MONUMENT FOUND
- PKS ○ PK WALL SET
- RBF ● IRON REBAR FOUND
- RBS ○ 5/8" IRON REBAR SET W/CAP
- AIR CONDITIONING UNIT
- ⊖ BACK FLOW PREVENTER
- BOLLARD
- ⊕ CABLE JUNCTION BOX
- ⊕ COMMUNICATIONS MANHOLE
- ⊕ CONTROL PANEL
- ⊕ ELECTRIC OUTLET
- ⊕ ELECTRIC STUBOUT
- ⊕ FIRE DEPARTMENT CONNECTION
- ⊕ FIRE HYDRANT
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- ⊕ TELEPHONE BOX
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- ⊕ UNDERGROUND GAS LINE
- ⊕ UNDERGROUND SEWER LINE
- ⊕ UNDERGROUND TELEPHONE
- ⊕ UNDERGROUND TV LINE
- ⊕ UNDERGROUND WATER LINE
- ⊕ BRICK
- ⊕ CONCRETE
- ⊕ DETECTABLE WARNING SURFACE
- ⊕ EDGE OF PAVEMENT
- ⊕ EDGE OF PAVEMENT (PERVIOUS)
- ⊕ GRAVEL
- ⊕ EXISTING TREE TO BE REMOVED

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consultant

stamp | approval

REVISIONS

Beach House
HILTON HEAD ISLAND

DEMOLITION PLAN

DATE: 08.15.2023

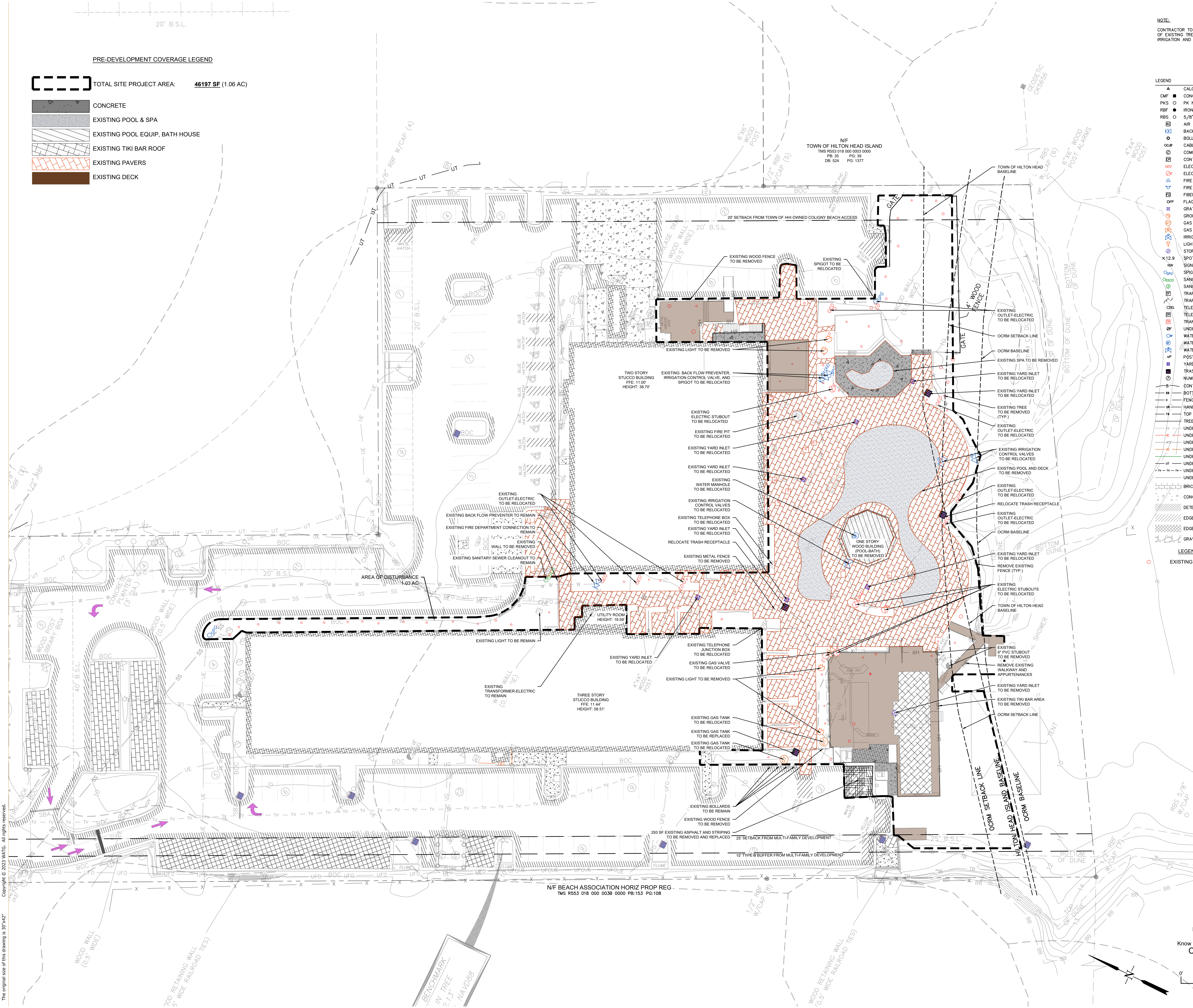
PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

sheet no.

3



N/F BEACH ASSOCIATION HORIZ PROP REG
TMS R553 018 000 0038 0000 PB:153 PG:108



Know what's below.
Call before you dig.

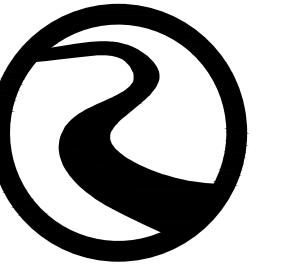
0' 20' 40'
GRAPHIC SCALE
1" = 20'

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DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



client



ROBERTS CIVIL ENGINEERING
consultant

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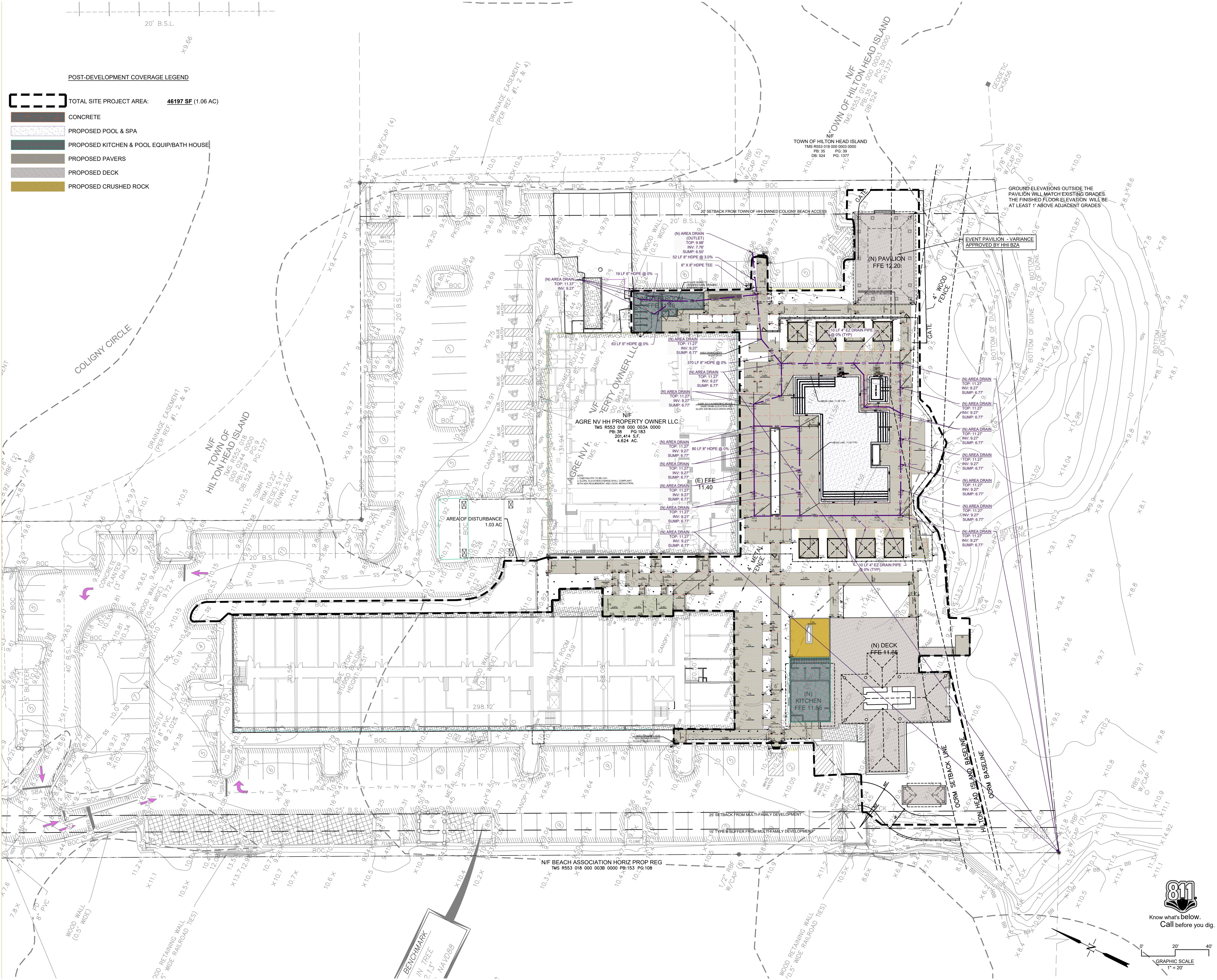
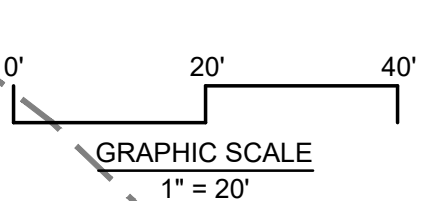
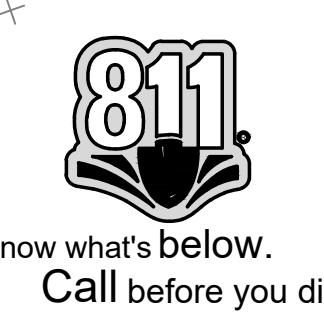
REVISIONS

NO.	DATE	DESCRIPTION

Beach House

HILTON HEAD ISLAND

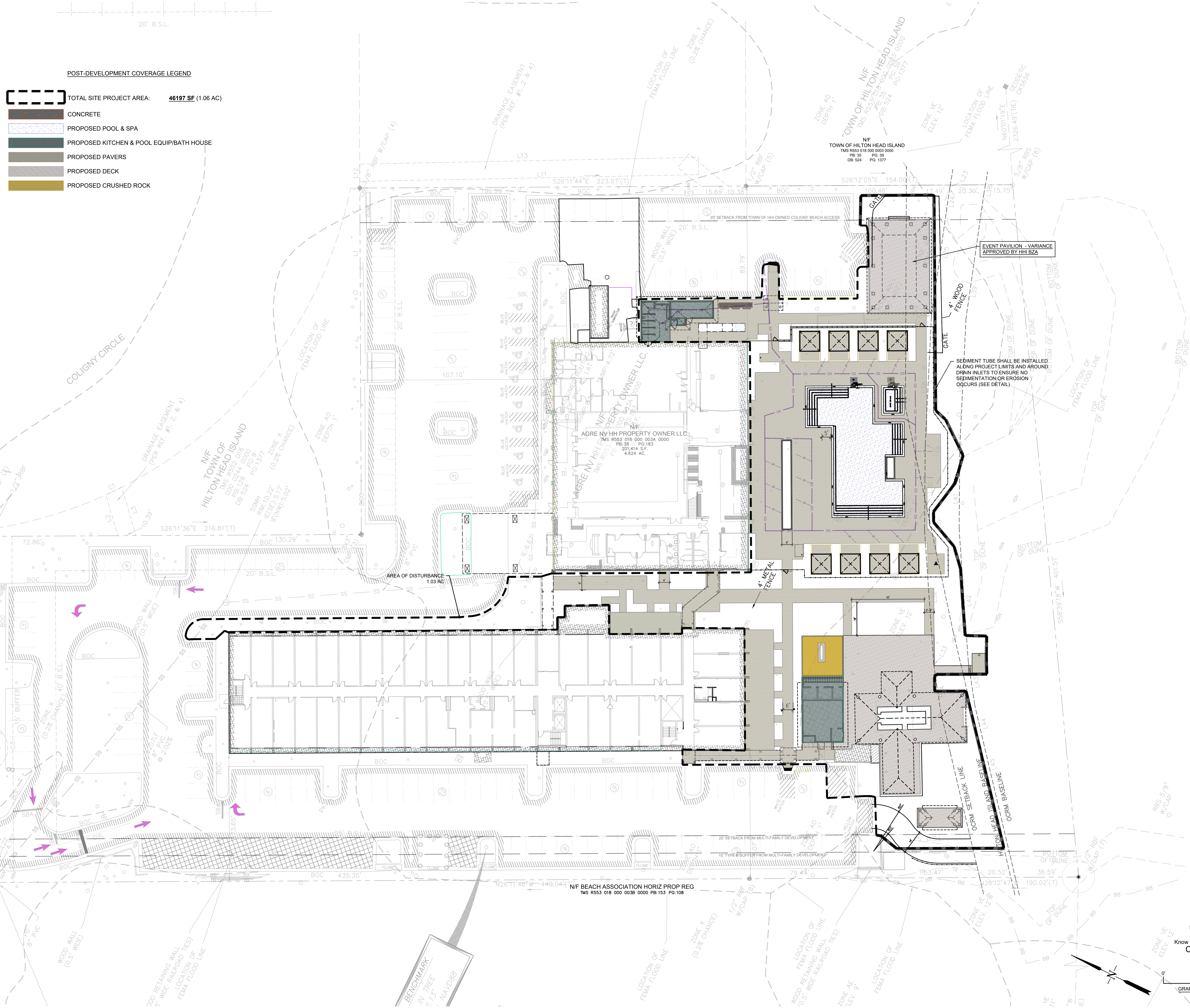
GRADING & DRAINAGE
DATE: 08.15.2023
PROJECT NUMBER: 22905
DRAWN BY: DUF
CHECKED BY: JLV



POST-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
- CONCRETE
- PROPOSED POOL & SPA
- PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
- PROPOSED PAVERS
- PROPOSED DECK
- PROPOSED CRUSHED ROCK

08/15/2023 10:00 AM
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 The original size of this drawing is 20" x 40"



POST-DEVELOPMENT COVERAGE LEGEND

- TOTAL SITE PROJECT AREA: **46197 SF (1.06 AC)**
- CONCRETE
- PROPOSED POOL & SPA
- PROPOSED KITCHEN & POOL EQUIP/BATH HOUSE
- PROPOSED PAVERS
- PROPOSED DECK
- PROPOSED CRUSHED ROCK

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REVISIONS

Beach House
 HILTON HEAD ISLAND

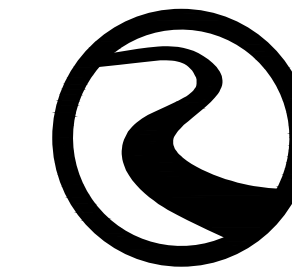
ESPC AND SWPPP
 DATE: 08.15.2023
 PROJECT NUMBER: 22905
 DRAWN BY: DUF
 CHECKED BY: JLV



GRAPHIC SCALE
 1" = 20'

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 The original size of this drawing is 30"x42"
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DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



1099CGBF
APPROX. DRAIN AREA = 37.35 SQ IN
APPROX. WEIGHT = 15.40 LBS

DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. DIMENSIONS ARE IN INCHES. GRATE HAS LIGHT CUTTING SIZE OF OPENING MEETS REQUIREMENTS OF AMERICAN DISABILITY ACT AS STATED IN FEDERAL REGISTER PART II, DEPARTMENT OF JUSTICE, 28 CFR PART 36.

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DRAWN BY	NMH	MATERIAL	DUCTILE IRON FRAME BRONZE GRATE
DATE	7-25-19	PROJECT NO./NAME	
APP'D BY	NMH	TITLE	10 IN BRONZE GRATE ASSEMBLY - TYPE B
DATE	7-25-19	DWG NO.	7001-119-562
DWG SIZE	A	SCALE	1:5 SHEET 1 OF 1

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NOTE: LOCATION OF LOCKING DEVICE MAY VARY

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DRAWN BY	NMH	MATERIAL	DUCTILE IRON FRAME BRONZE GRATE
DATE	7-26-19	PROJECT NO./NAME	
APP'D BY	NMH	TITLE	10 IN BRONZE GRATE LOCKING ASSEMBLY - TYPE B
DATE	7-26-19	DWG NO.	7001-119-564
DWG SIZE	A	SCALE	1:6 SHEET 1 OF 1

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NYLOPLAST 10" DRAIN BASIN: 2810AG __ X

(1) DUCTILE IRON GRATE
CONCRETE WALKWAY OR DECK
THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

(4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE:
4" - 10" FOR CORRUGATED HDPE (ADS N-GHAWCKR DUAL WALL, AOSHAWCKR SINGLE WALL, PVC SEWER EX: 52K 50), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC
WATERTIGHT JOINT (CORRUGATED HOPE SHOWN)

VARIABLE SUMP DEPTH ACCORDING TO PLANS IF MIN. BASED ON MANUFACTURING REQ.)

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 WITH THE EXCEPTION OF THE BRONZE GRATE.
2 - CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-119-065.
3 - STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS @ 9" & 18". CUSTOM DRAIN BASIN ADAPTERS CAN BE LOCATED ON ANY ANGLE @ 15° TO 30°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-119-012.
4 - DRAINAGE CONNECTION @ JUMP JOINT THICKNESS SHALL CONFORM TO ASTM D2239 FOR CORRUGATED HOPE ADS N-GHAWCKR DUAL WALL & PVC SEWER (4" - 10").

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DRAWN BY	NMH	MATERIAL	
DATE	6-25-19	PROJECT NO./NAME	
APP'D BY	NMH	TITLE	10 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DATE	6-25-19	DWG NO.	7001-119-273
DWG SIZE	A	SCALE	1:12 SHEET 1 OF 1

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RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4" (100mm)	23" (584mm)
6" (150mm)	26" (660mm)
8" (200mm)	28" (711mm)
10" (250mm)	30" (762mm)
12" (300mm)	34" (864mm)
15" (375mm)	36" (915mm)
18" (450mm)	38" (966mm)
20" (500mm)	40" (1017mm)
24" (600mm)	44" (1118mm)
30" (750mm)	50" (1270mm)
36" (900mm)	56" (1422mm)
42" (1050mm)	62" (1574mm)
48" (1200mm)	68" (1726mm)
60" (1500mm)	82" (2080mm)

MINIMUM RECOMMENDED COVER BASED ON SURFACE LEVEL LOADING CONDITION

PIPE DIAM.	H-20S (25T AXLE LOADS)	HEAVY CONSTRUCTION (300mm x 1200mm)
12" - 48" (300mm - 1200mm)	12" (305mm)	12" (305mm)
60" (1500mm)	20" (508mm)	20" (508mm)

*VEHICLES IN EXCESS OF 70T MAY REQUIRE ADDITIONAL COVER **SEE BACKFILL REQUIREMENTS IN NOTE 6.

MAXIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS I		CLASS II		CLASS III	
	COMPACTED	DUMPED	90%	95%	90%	95%
4"	37	18	25	18	19	19
6"	44	20	29	20	21	21
8"	52	19	32	19	16	16
10"	60	20	36	20	18	18
12"	68	17	40	17	17	17
15"	76	17	44	17	17	17
18"	84	17	48	17	17	17
20"	92	17	52	17	17	17
24"	108	13	60	13	14	14
30"	124	13	68	13	14	14
36"	140	13	76	13	14	14
42"	156	11	84	11	11	11
48"	172	11	92	11	12	12
60"	204	11	108	11	11	11
72"	236	11	124	11	12	12

FILL HEIGHT TABLE GENERATED USING ASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE.
UNIT WEIGHT OF SOIL (γ₁) = 120 PCF

PIPE	INITIAL BACKFILL	JOB	DATE	CHKD
6"		JAE	9/6/2019	

TRENCH INSTALLATION DETAIL (N-18 PER ASHTO)

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS PROVIDED TO SERVE THE CONTRACTOR'S NEEDS. ADS HAS NOT PERFORMED ANY ENGINEERING DESIGN SERVICES FOR THIS PROJECT. ADS HAS ASSESSED THE INFORMATION PROVIDED AND THE INSTALLATION DETAIL PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL PROVIDE DESIGN DETAILS FOR THIS PROJECT. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEET OR EXCEEDS THE APPLICABLE NATIONAL, STATE OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

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NYLOPLAST DRAIN BASIN CONSTRUCTION PROTECTION DETAIL - OPTION 2 (EROSION CONTROL STRUCTURE DETAIL)

DUCTILE IRON GRATE OPTIONAL DURING CONSTRUCTION. FILTER FABRIC CAN BE APPLIED UNDER GRATE TO FILTER STORM RUNOFF PER MANUFACTURER'S PERFORATION SCHEDULE UNLESS NOTED OTHERWISE (RISER SECTION HEIGHTS CAN VARY).

SAFETY OR EROSION CONTROL FENCING TO MARK STRUCTURE DURING CONSTRUCTION TO LIMIT MIGRATION OF FINES INTO THE SYSTEM.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

RISER SECTION IS NOT TO BE CLIED 30" BASIN CAN MATCH GRADE WHEN FINAL INSTALLATION IS REQUIRED.

4" MIN ON 8" x 24" 6" MIN ON 30" x 30"

8" x 30" DRAIN BASIN

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DRAWN BY	NMH	MATERIAL	
DATE	10-02-19	PROJECT NO./NAME	
APP'D BY	NMH	TITLE	CONSTRUCTION EROSION CONTROL, DRAIN BASIN DETAIL
DATE	10-02-19	DWG NO.	7001-119-553
DWG SIZE	A	SCALE	1:30 SHEET 1 OF 1

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FAX (770) 933-2490
www.nyloplast.com

NON TRAFFIC INSTALLATION

DRAIN BASIN
GRATE COVER
TOP SOIL

INLINE DRAIN
GRATE COVER
TOP SOIL

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

4" MIN ON 8" x 24" 6" MIN ON 30" x 30"

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DRAWN BY	CJA	MATERIAL	
DATE	9-30-19	PROJECT NO./NAME	
APP'D BY	NMH	TITLE	DRAIN BASIN & INLINE DRAIN NON TRAFFIC INSTALLATION
DATE	05-11-19	DWG NO.	7001-119-111
DWG SIZE	A	SCALE	1:25 SHEET 1 OF 1

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REVISIONS

CONSTRUCTION DETAILS

DATE: 07.11.2023

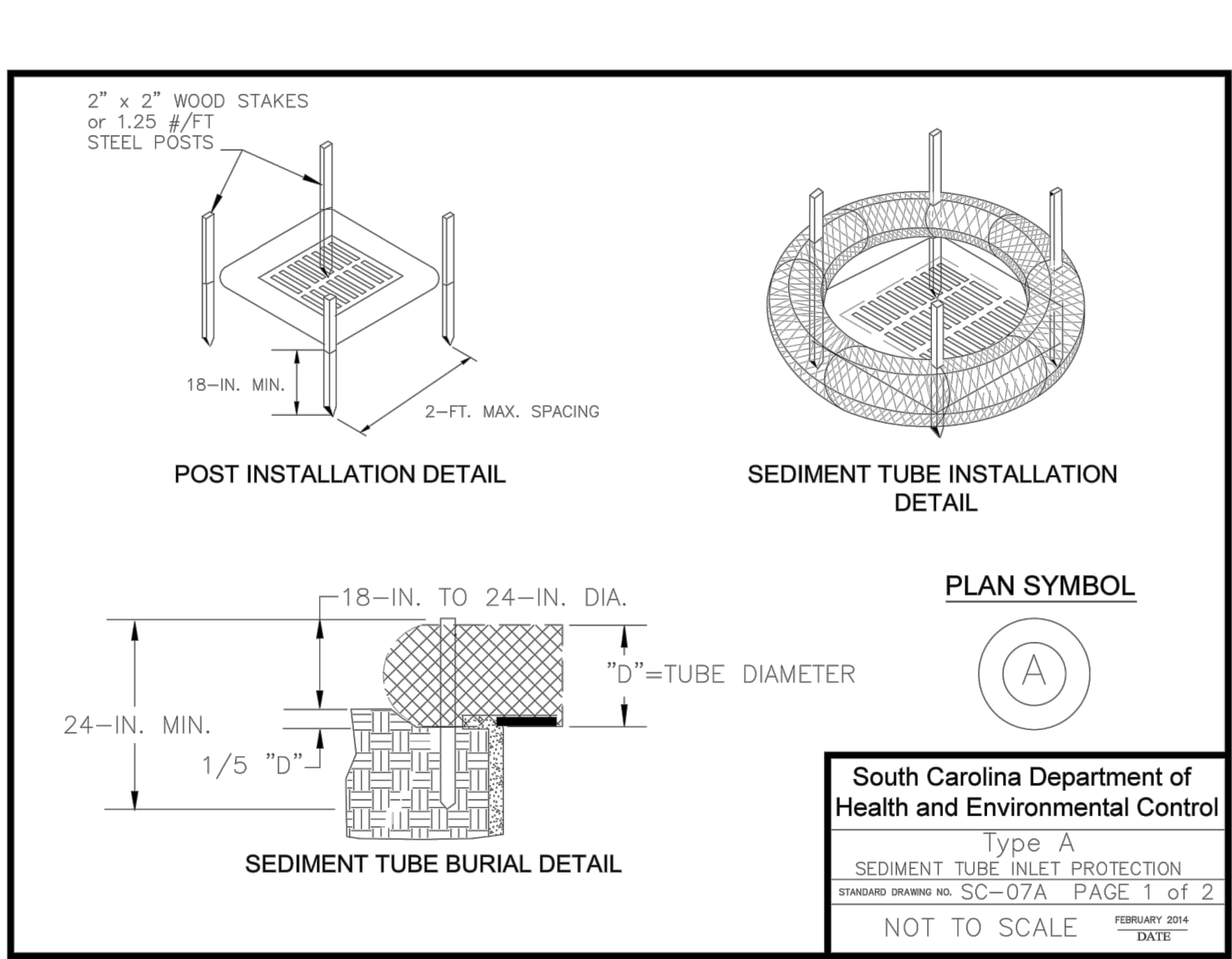
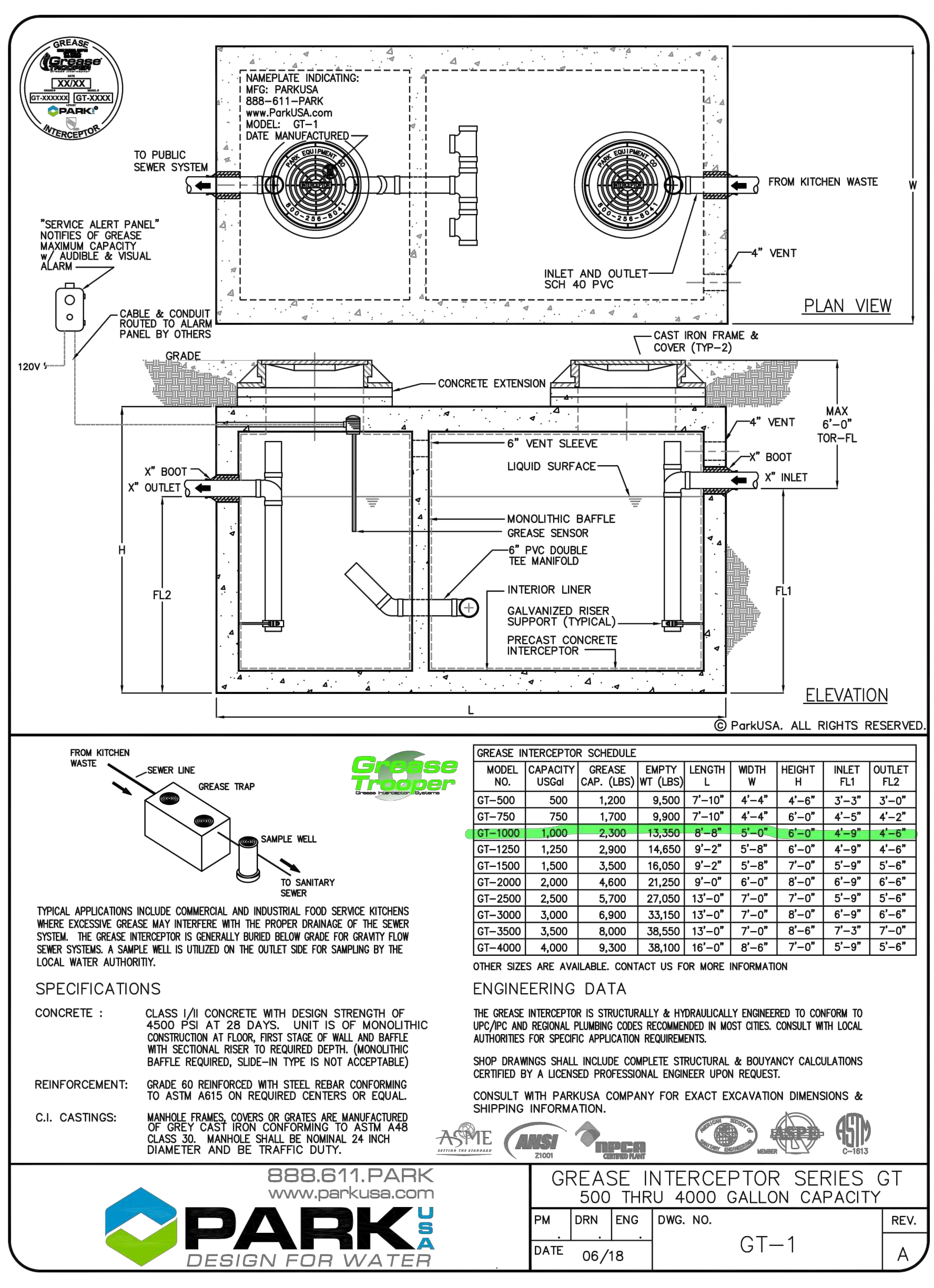
PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

DRG (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

sheet no. D1



TYPE A - SEDIMENT TUBE INLET PROTECTION

GENERAL NOTES

- Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber, or hardwood mulch. Straw, pine needle, and leaf mulch-filled sediment tubes are not permitted.
- The outer netting of the sediment tube should consist of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material.
- Sediment tube diameters shall range from 18-inches to 24-inches. Sediment tubes with smaller diameters are prohibited when used as inlet protection.
- Curled excelsior wood, or natural coconut products that are rolled up to create a sediment tube are not allowed.
- Sediment tubes should be staked using wooden oak stakes (2-inch X 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) at a minimum of 48-inches in length placed on 2-foot centers.
- Install all sediment tubes to ensure that no gaps exist between the soil and the bottom of the tube. Manufacturer's recommendations should always be consulted before installation.
- The ends of adjacent sediment tubes should be overlapped 6-inches to prevent flow and sediment from passing through the field joint.
- Sediment tubes should not be stacked on top of one another.
- Each sediment tube should be installed in a trench with a depth equal to 1/5 the diameter of the sediment tube.
- Install stakes at a diagonal facing incoming runoff.

INSPECTION & MAINTENANCE

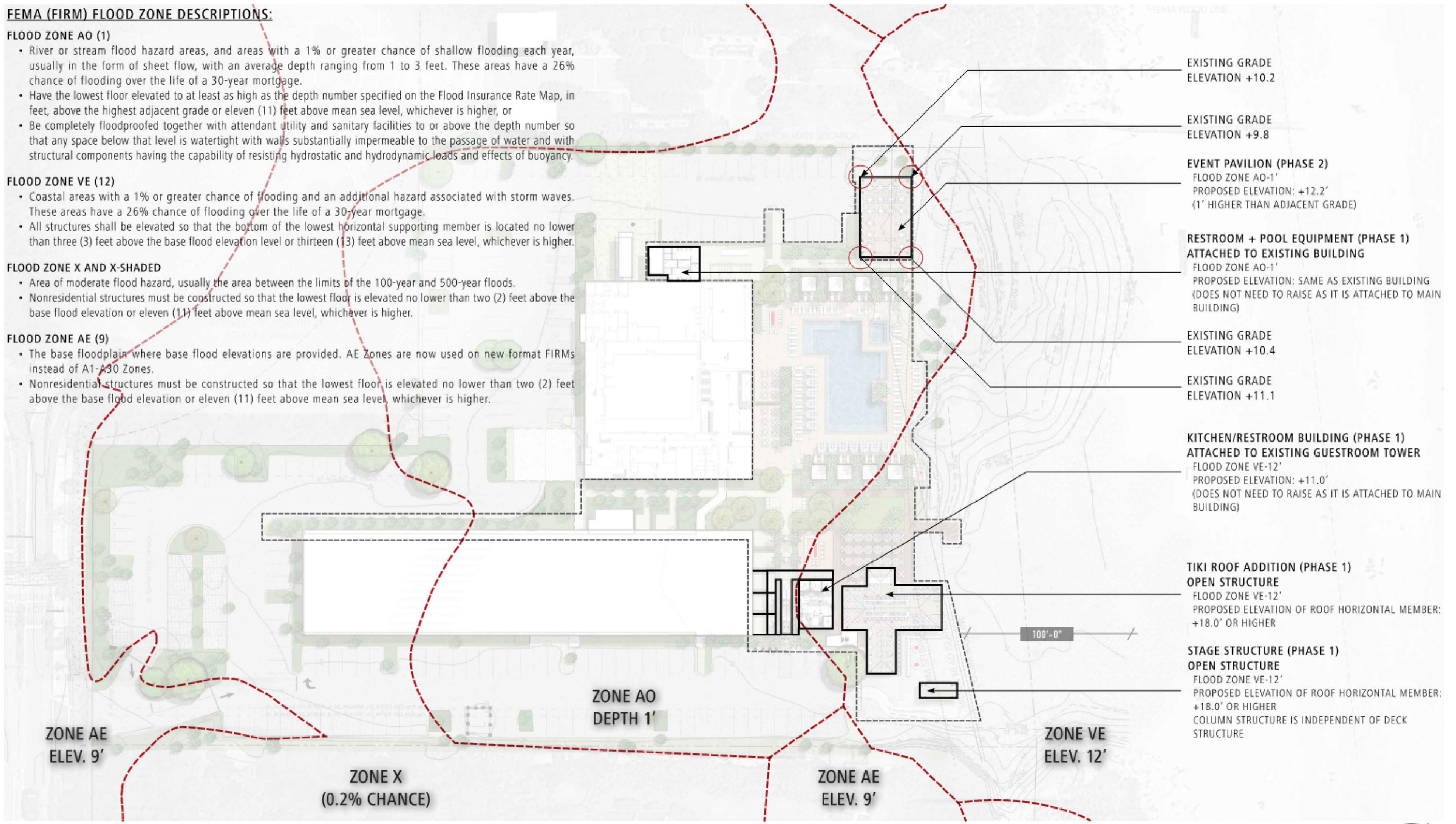
- The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of sediment tube inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations in front of the sediment tube is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the sediment tube. When a sump is installed in front of the inlet protection, sediment shall be removed when it fills approximately 1/3 the depth of the sump.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Large debris, trash, and leaves should be removed from in front of tubes when found.
- Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control

Type A
SEDIMENT TUBE INLET PROTECTION
STANDARD DRAWING NO. SC-07A PAGE 2 of 2
FEBRUARY 2014 DATE
NOT TO SCALE

FEMA (FIRM) FLOOD ZONE DESCRIPTIONS:

- FLOOD ZONE AO (1)**
- River or stream flood hazard areas, and areas with a 1% or greater chance of shallow flooding each year, usually in the form of sheet flow, with an average depth ranging from 1 to 3 feet. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
 - Have the lowest floor elevated to at least as high as the depth number specified on the Flood Insurance Rate Map, in feet, above the highest adjacent grade or eleven (11) feet above mean sea level, whichever is higher, or
 - Be completely floodproofed together with attendant utility and sanitary facilities to or above the depth number so that any space below that level is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.
- FLOOD ZONE VE (12)**
- Coastal areas with a 1% or greater chance of flooding and an additional hazard associated with storm waves. These areas have a 26% chance of flooding over the life of a 30-year mortgage.
 - All structures shall be elevated so that the bottom of the lowest horizontal supporting member is located no lower than three (3) feet above the base flood elevation on level or thirteen (13) feet above mean sea level, whichever is higher.
- FLOOD ZONE X AND X-SHADED**
- Area of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods.
 - Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.
- FLOOD ZONE AE (9)**
- The base floodplain where base flood elevations are provided. AE Zones are now used on new format FIRMs instead of A1-A30 Zones.
 - Nonresidential structures must be constructed so that the lowest floor is elevated no lower than two (2) feet above the base flood elevation or eleven (11) feet above mean sea level, whichever is higher.



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REVISIONS

CONSTRUCTION DETAILS

DATE: 07.11.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

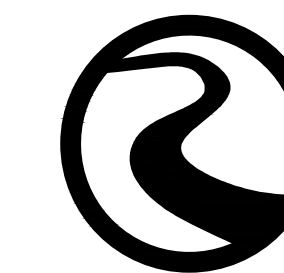
The original site of this drawing is 30"x42"

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DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION



client



ROBERTS CIVIL ENGINEERING consultant

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DRB (FINAL) RESUBMISSION SET | 08.15.2023 | NOT FOR CONSTRUCTION

Beach House

HILTON HEAD ISLAND

SITE COVERAGE - CURRENT

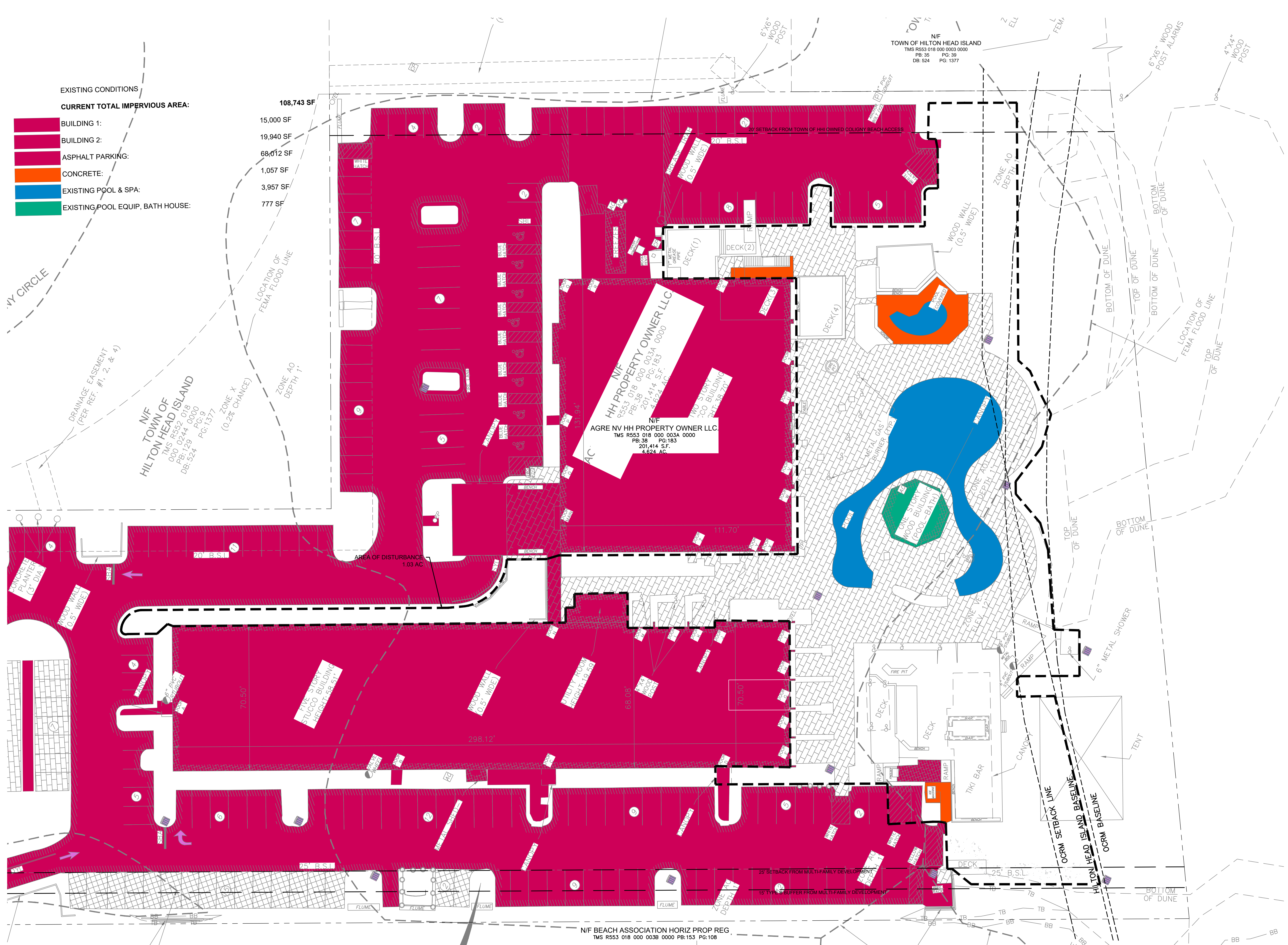
DATE: 05.22.2023

PROJECT NUMBER: 22905

DRAWN BY: DUF

CHECKED BY: JLV

sheet no.



EXISTING CONDITIONS

Color	Description	Area (SF)
Red	BUILDING 1:	15,000 SF
Orange	BUILDING 2:	19,940 SF
Yellow	ASPHALT PARKING:	68,012 SF
Light Yellow	CONCRETE:	1,057 SF
Blue	EXISTING POOL & SPA:	3,957 SF
Green	EXISTING POOL EQUIP. BATH HOUSE:	777 SF

DRAINAGE EASEMENT (PER REF. #1, 2, & 4)

N/F TOWN OF HILTON HEAD ISLAND
TMS R553 018 000 0003A 0000
PB:129 PG:9
DB:524 PG:1377

LOCATION OF FEMA FLOOD LINE

ZONE X (0.2% CHANCE)

ZONE AO DEPTH 1'

HH PROPERTY OWNER LLC
N/F
953 918 000 003A 0000
PB:38 PG:183
201,414 S.F.
4,624 AC

AGRE NV HH PROPERTY OWNER LLC
N/F
TMS R553 018 000 003A 0000
PB:38 PG:183
201,414 S.F.
4,624 AC

N/F BEACH ASSOCIATION HORIZ PROP REG
TMS R553 018 000 003B 0000 PB:153 PG:108

811 Know what's below. Call before you dig.

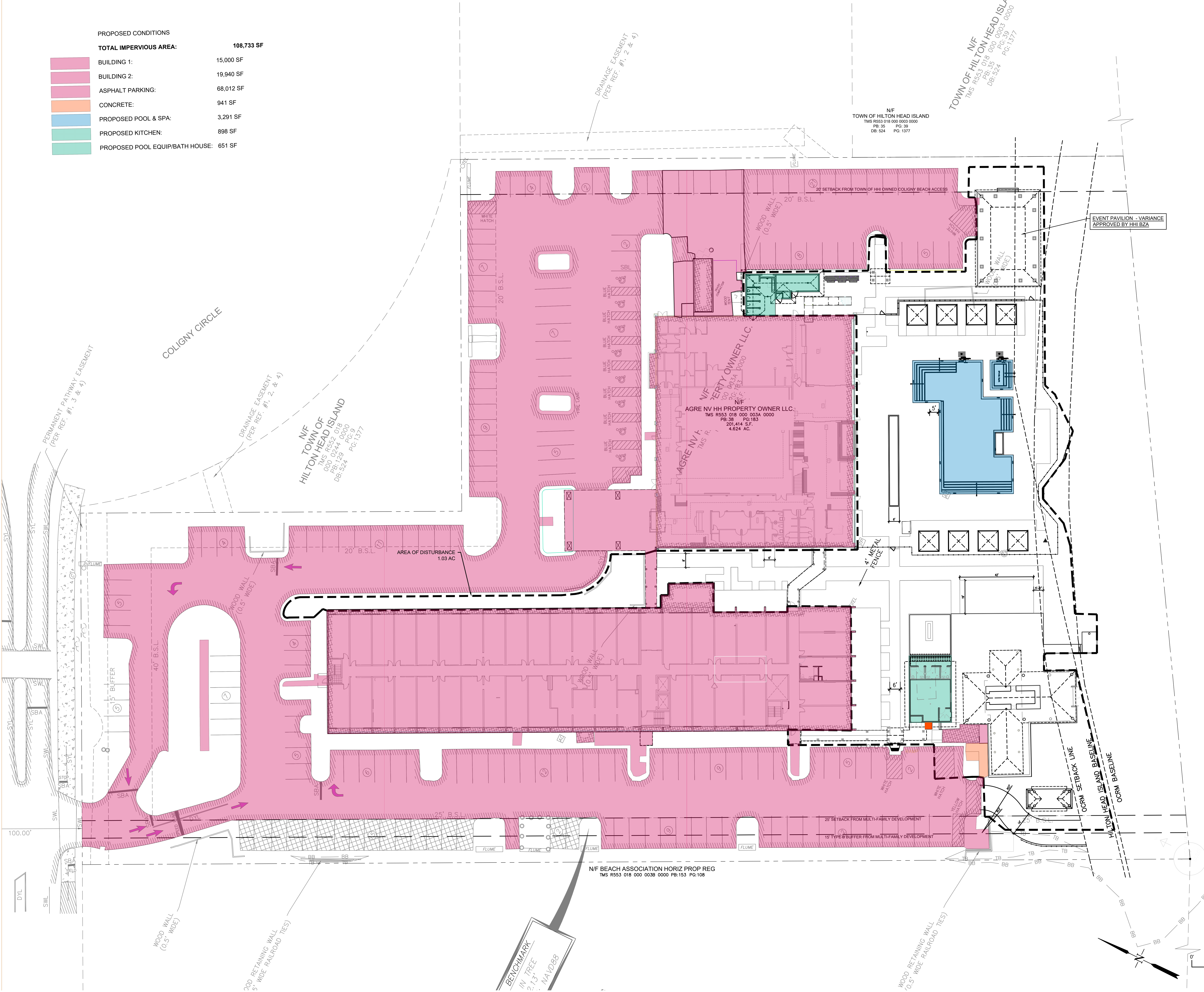
GRAPHIC SCALE 1" = 20'

0' 20' 40'

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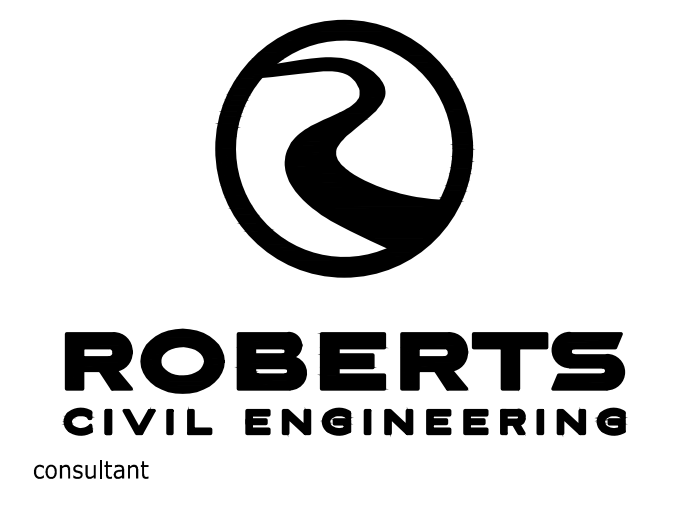
20' B.S.L.

PROPOSED CONDITIONS	
TOTAL IMPERVIOUS AREA:	108,733 SF
BUILDING 1:	15,000 SF
BUILDING 2:	19,940 SF
ASPHALT PARKING:	68,012 SF
CONCRETE:	941 SF
PROPOSED POOL & SPA:	3,291 SF
PROPOSED KITCHEN:	898 SF
PROPOSED POOL EQUIP/BATH HOUSE:	651 SF



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REVISIONS

Beach House
 HILTON HEAD ISLAND

SITE COVERAGE - PROPOSED

DATE: 08.15.2023
 PROJECT NUMBER: 22905
 DRAWN BY: DUF
 CHECKED BY: JLV

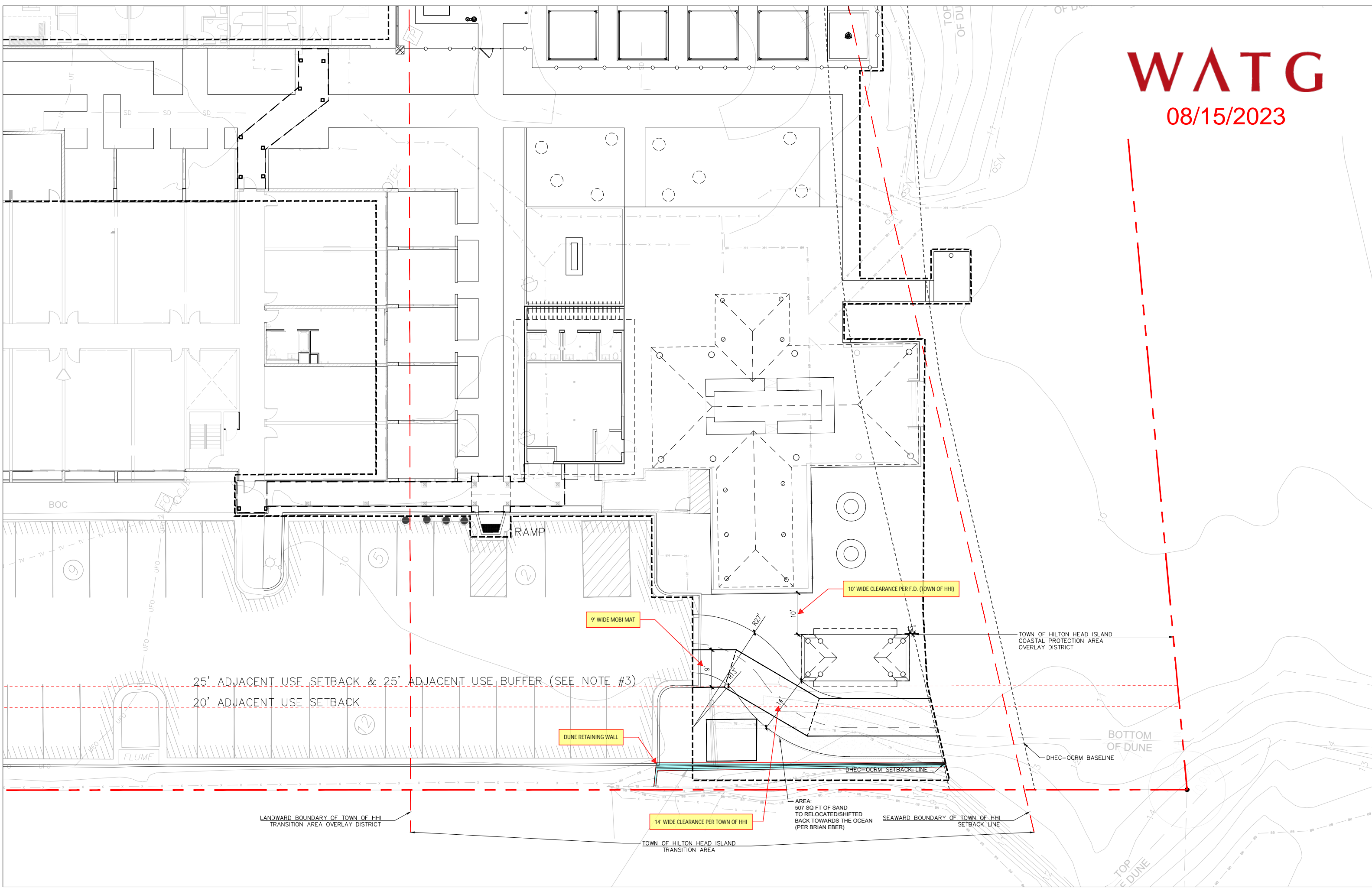


GRAPHIC SCALE
 1" = 20'

sheet no. **post**

C:\Users\jduffy\OneDrive\Documents\2023\20230815\Hilton Head Beach House\Drawings\20230815\0815_Plan.dwg
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25' ADJACENT USE SETBACK & 25' ADJACENT USE BUFFER (SEE NOTE #3)
20' ADJACENT USE SETBACK

10' WIDE CLEARANCE PER F.D. (TOWN OF HHI)

9' WIDE MOBI MAT

DUNE RETAINING WALL

14' WIDE CLEARANCE PER TOWN OF HHI

AREA:
507 SQ FT OF SAND
TO RELOCATED/SHIFTED
BACK TOWARDS THE OCEAN
(PER BRIAN EBER)

TOWN OF HILTON HEAD ISLAND
COASTAL PROTECTION AREA
OVERLAY DISTRICT

BOTTOM
OF DUNE
DHEC-OCRM BASELINE

LANDWARD BOUNDARY OF TOWN OF HHI
TRANSITION AREA OVERLAY DISTRICT

SEAWARD BOUNDARY OF TOWN OF HHI
SETBACK LINE

TOWN OF HILTON HEAD ISLAND
TRANSITION AREA

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Beach House – 1 South Forest Beach Final – Phase 1 & 2

DRB#: DRB-001563-2023

DATE: 8/22/2023

RECOMMENDATION: Approval Approval with Conditions Denial

MISC COMMENTS & CONDITIONS

1. Staff recommends approval with the following conditions:

a. Final approval under DPR-00742-2023 does not cause any conflict with the conditionally approved Final Design. If it does, the applicant shall return to DRB for one final approval. This especially relates to the lighting plan, and the pool lighting that currently shows greater than 3500k.

b. Final approval from Forest Beach ARB that does not conflict with the conditionally approved Final Design. If it does, the applicant shall return to DRB for one final approval. This is especially as it relates to the parking considerations near the pavilion.

2. Please clarify R-3, under fence/gate/rail schedule on sheet L3-201 and L3-001, one says “Wood Piles with Wood Panels” and the other says Dune Wall cladding. Match to Sheet L3-405, detail 4 – Dune Wall Cladding