



Town of Hilton Head Island  
**Design Review Board Meeting**  
**Tuesday, March 14, 2023 – 2:30 p.m.**  
**AGENDA**

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The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Approval of Agenda**

**5. Approval of Minutes**

a. Meeting of February 28, 2023, Regular Meeting

**6. Appearance by Citizens**

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

**7. Unfinished Business**

None

**8. New Business**

a. *Final*

- **DRB 000542-2023 Holiday Inn Express** – The proposed hotel addition/renovation will include a new Porte Cochere entryway and tower infill element.

**9. Board Business**

**10. Staff Report**

a. Minor Corridor Report

**11. Adjournment**

**Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**

February 28, 2023, at 2:30 p.m.

## **MEETING MINUTES**

**Present from the Board:** Judd Carstens, Vice-Chair; Annette Lippert; Ryan Bassett; John Moleski

**Absent from the Board:** Cathy Foss, Todd Theodore, Tom Parker

**Present from Town Council:** Mayor Alan Perry

**Present from Town Staff:** Brian Eber, Interim Development Services Manager; Shea Farrar, Senior Planner, Karen Knox, Senior Administrative Assistant; Brian Glover, Administrative Assistant

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### **1. Call to Order**

Vice Chair Carstens called the meeting to order at 2:30 p.m.

### **2. FOIA Compliance –**

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

### **3. Roll Call –**

As noted above.

### **4. Approval of Agenda**

Vice Chair Carstens asked for a motion to approve the agenda. Ms. Lippert moved to approve. Mr. Bassett seconded. By a show of hands, the motion passed with a vote of 4-0-0.

### **5. Approval of Minutes**

#### **a) Regular Meeting of January 24, 2023**

Vice Chair Carstens asked for a motion to approve the minutes of January 24, 2023. Ms. Lippert moved to approve. Mr. Moleski seconded. By a show of hands, the motion passed with a vote of 4-0-0.

### **6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There was one comment received on the Open Town Hall Portal. The comment was sent to the Board and made part of the official record. No citizens spoke at the meeting.

## 7. Unfinished Business

### a. Alteration/Addition

- **DRB 000039-2023 Dunes House –**

Ms. Farrar provided staff's presentation as included in the packet. Staff recommended approval with the following conditions:

- Wrap the columns in front of the building to match the existing columns on the opposite side.
- Include a detail for the connections between the awning and the existing columns.
- Insure fans and lighting match existing items on the building.
- Include engineer stamped and sealed plans.
- Replace the existing awning on the ocean side to match the new awning.

Following the staff's presentation, the applicant provided additional. The Board had several questions about the project. The Board asked about the online comments, the awning's effect on density, existing nonconformities, awning structure, and the differences between the existing building and the plans. The Board had a lengthy discussion on the agenda item and expressed concerns about the plan's representation of the building's existing conditions and the final product.

Following the discussion, Mr. Bassett moved to table the item for the March 28<sup>th</sup> meeting. Ms. Lippert seconded. The Motion carried with a vote of 4-0-0.

## 8. New Business

### a) Alteration/Addition

- **DRB 000351-2023 The Other Sister's Wine Bar –**

Ms. Farrar provided the staff's presentation as included in the packet. Staff recommended approval as submitted.

Ms. Lippert made a motion to approve the project with the requirement that they receive approval from Shelter Cove before a permit is pulled for the project. Mr. Moleski seconded the motion. The motion passed with a vote of 4-0-0.

- **DRB 000365-2023 Holiday Inn Express –**

Ms. Farrar provided staff's presentation. This project was reviewed as a conceptual review rather than an alteration/addition with the permission of the applicant. Staff recommended conceptual approval with the following conditions:

- Paint stucco square patterned banding.
- Utilize stucco in the new design.
- Change window configuration on the new "tower" addition to be coordinated to match those on the rear of the building.
- Utilize the existing column design and scale for the new columns.

- Consider opportunities for the addition of Bahama shutters to other elements or possible removal.
- Utilize native plants for the project if possible.

The Applicant provided additional details about the project. The Board asked questions about the shutters, wood replacements, Juliet balcony, curtain wall plans, and building materials.

Ms. Lippert moved to approve with the following conditions:

- Study the base of the Porte-cochère.
- Study the wall near the former parking entry.
- Understand that clear anodized does not typically get approved.
- Review which glazing is truly being obstructed by the addition.
- Provide all floor plans and elevations being affected by the renovation.
- Study element number 16.
- Verify that any doors that exist in the storefront or curtain wall will be shown.
- Study the end corridors needing weather protection.

Amended to include the following:

- Study the streetscape/sidewalk connections for Nassau Street and Celebration Park.
- Provide additional landscaping around the 14-inch magnolia on the northeast corner of the building.
- Sight lighting will be submitted with the final.

Mr. Moleski seconded the motion. The motion carried with a vote of 4-0-0.

## 9. Board Business

None

## 10. Staff Report

### a. Minor Corridor Report

- 267 William Hilton Parkway – Hardscape at the Copper Frog.

## 11. Adjournment

The meeting adjourned at 4:40 p.m.

**Submitted By:** \_\_\_\_\_

**Brian Glover  
Administrative Assistant**

**Date:**



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Brian Bornhorst - Agent Company: HIHH One, HIHH Two & HIHH Three LLC  
 Mailing Address: 130 Dutchman Blvd City: Irmo State: SC Zip: 29063  
 Telephone: 1-216-375-2470 Fax: \_\_\_\_\_ E-mail: brian@passiveinvesting.com  
 Project Name: Holiday Inn Express - Addition Project Address: 10 Tanglewood Dr, HHI, SC  
 Parcel Number [PIN]: R 5 5 3 018 000 0230 0000  
 Zoning District: RD Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, **Final Approval – Proposed Development \$175**, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



3/7/2023

SIGNATURE

DATE

## **Holiday Inn Express – Tanglewood Drive Improvements**

*Hilton Head Island, South Carolina*

PARCEL NUMBER R553 018 000 0230 0000

### **DRB Alterations/Additions Revised Final Project Narrative**

**March 6, 2023**

HIHH One, Two and Three LLC's are proposing a renovation and addition to the existing Holiday Inn Express at 10 Tanglewood Drive on Hilton Head Island. The property is approximately X acres and zoned Resort Development (RD) and is within the Corridor Overlay District.

The proposed hotel addition/ renovation is intended to improve the guest experience by locating all amenities and services to the main hotel building and modernize the ancillary functions of the hotel with more efficient systems. This will also improve access to the hotel. The existing amenity building will be repurposed into a new feature, such as a restaurant, that could improve guest satisfaction and integrate more with the surrounding community. The existing amenity building is not part of this renovation. No additional hotel rooms are included in this renovation.

The hotel addition/renovation includes:

#### Exterior:

##### New Porte Cochere – Guest Drop-off and Covered Entrance

*The new Porte Cochere is offset from the main entrance to accommodate for an adjacent existing specimen tree. The location of the Porte Cochere is outside of the specimen tree canopy limits and no impacts are anticipated. A new drop-off, pedestrian area and accessible route will be part of the entry sequence.*

Replace existing vertical railing pickets for all balconies with vertical cable rail. Paint will be touched up on all balconies.

Replace existing canvas awnings over end exterior balcony openings with "Bahama" style shutters.

##### Infill Tower Element

Main Floor / Ground Floor:	Guest Registration Services
Second Floor:	Breakfast Area/Warming Kitchen – Guest Lounge
Third Floor:	Staff Offices
Fourth Floor:	Fitness Room
Fifth Floor:	New Guest Suite
Sixth Floor:	Meeting space

The new construction will use a combination of brick veneer, rough sawn wood columns and roof structure. A low slope standing seam metal roof will be utilized on the Porte Cochere. The tower element will have a slat-style accent detail of synthetic wood. The HVAC equipment will be concealed behind a parapet wall on top of the new tower element. The existing floor to floor height of 8'-5" is the reason that two guest balconies were replaced with large windows. The height of the

balcony railing was incorporated into the breakfast area to provide a 10' ceiling height in the new space. The captured balcony space will be added to the guest rooms. There is a flat roof above the new breakfast area to reduce the impact on these guestroom views. There will not be any equipment on this roof.

The site plan has been designed to provide a new curb cut and entry access point off of Nassau Street to provide more direct access to the new check-inn / reception lobby and covered Porte cochere. The location of the new curb cut aligns with the existing Coral Sands entrance across the street. A portion of the existing parking lot will be renovated to accommodate the new Porte Cochere and entry drive connection to Nassau Street as well as improve existing conditions and accessible routes. Impacted parking has been reconfigured to meet the Town's landscape island requirements and includes the addition of new wheel stops. Sidewalks serving the existing and modified parking areas will also be renovated to be flush with the adjacent parking stalls (HC, EV and Standard Parking) and act as new ADA routes serving the building entry.

4 new EV charging stations have been added to the parking lot.

Several outer parking spaces along Nassau Street have been converted to compact parking spaces to help improve the existing non-conformity of the parking lot design.

A new walk connection has been extended the property line to provide guest access to Lowcountry Celebration Park.

An existing bike parking area at the rear building entrance serves to meet the Town's bike parking requirement (bike racks are existing).

An improved street buffer along Nassau Street (Type A – option 2) has added additional landscaping to meet the Town's buffer requirements and improve the property edge facing the new addition. New parking lot landscaping has been added where parking is reconfigured to meet the Town's requirements as well as additional landscaping at the Porte Cochere and building edge within the project limits.

Minimal impact/removal to existing trees is envisioned for the renovation with no overstory tree being proposed for removal. 6 Palm trees are proposed to be removed and have been mitigated based on the Town's mitigation requirements. Tree protection fencing is proposed within the work limits and includes protection of one specimen live oak.

Existing utilities will serve the property renovation.

Existing site lighting within the work limits will serve the new parking configuration and be upgraded to new LED fixtures through Palmetto Electric.

The portion of the site being renovated currently drains away from the building and into the landscape/buffer area along Nassau Street, where it perks into the ground. The drainage pattern for the proposed improvements will remain the same. The impervious area draining to the landscape/buffer area will be decreased, meaning less runoff will drain there after the proposed improvements are constructed. The grading will take into account the existing drainage patterns and necessary tree preservation; no excess cut or fill will take place adjacent to any existing trees to remain. The amount of land disturbance is estimated to be less than 0.5 acre.



**Site Plan and Architectural revisions based on Preliminary DRB comments include:**

**Site and Landscape Plans**

*The existing sidewalk to the plan west of the accessible parking area is proposed to be replaced with new concrete and landscape to provide a more consistent finished appearance along Nassau Street.*

*The plan east sidewalk has been extended to create a direct pedestrian connection to Lowcountry Celebration Park. The existing parking layout has been modified to allow for safe pedestrian crossing of the driveway. 2 parking spaces have been removed to accommodate this request.*

*Additional landscape has been added on the plan west and east sides of the site to coincide with the walk extensions.*

*The stucco wall and rail system has been replaced with a solid brick landscape wall to better screen the views into the garage. Landscape material has been adjusted to provide taller planting materials.*

*Palmetto Electric Lighting Plan has been included with the set.*

**Architectural Plans, Elevations and Materials**

*The cast stone base on the porte cochere columns and building base has been changed to brick for material consistency.*

*A new brick landscape wall has been introduced as a buffer between the new building and the closed entrance to the parking garage.*

*Clear anodized aluminum storefront material (Holiday Inn Express Standard) has been changed to dark bronze to match the rest of the facility and conform to typical island standards.*

*Ownership has decided to upgrade all of the balcony pickets to vertical cable railing for consistency with the new guest suite balcony.*

*Doors have been depicted on the building elevations at the guest suite balcony. Doors are also on the floor plans.*

*Dimensions have been provided for clear view area on the ends of the corridors for the Bahama shutters. Shutters have also been located on the floor plans for clarity.*

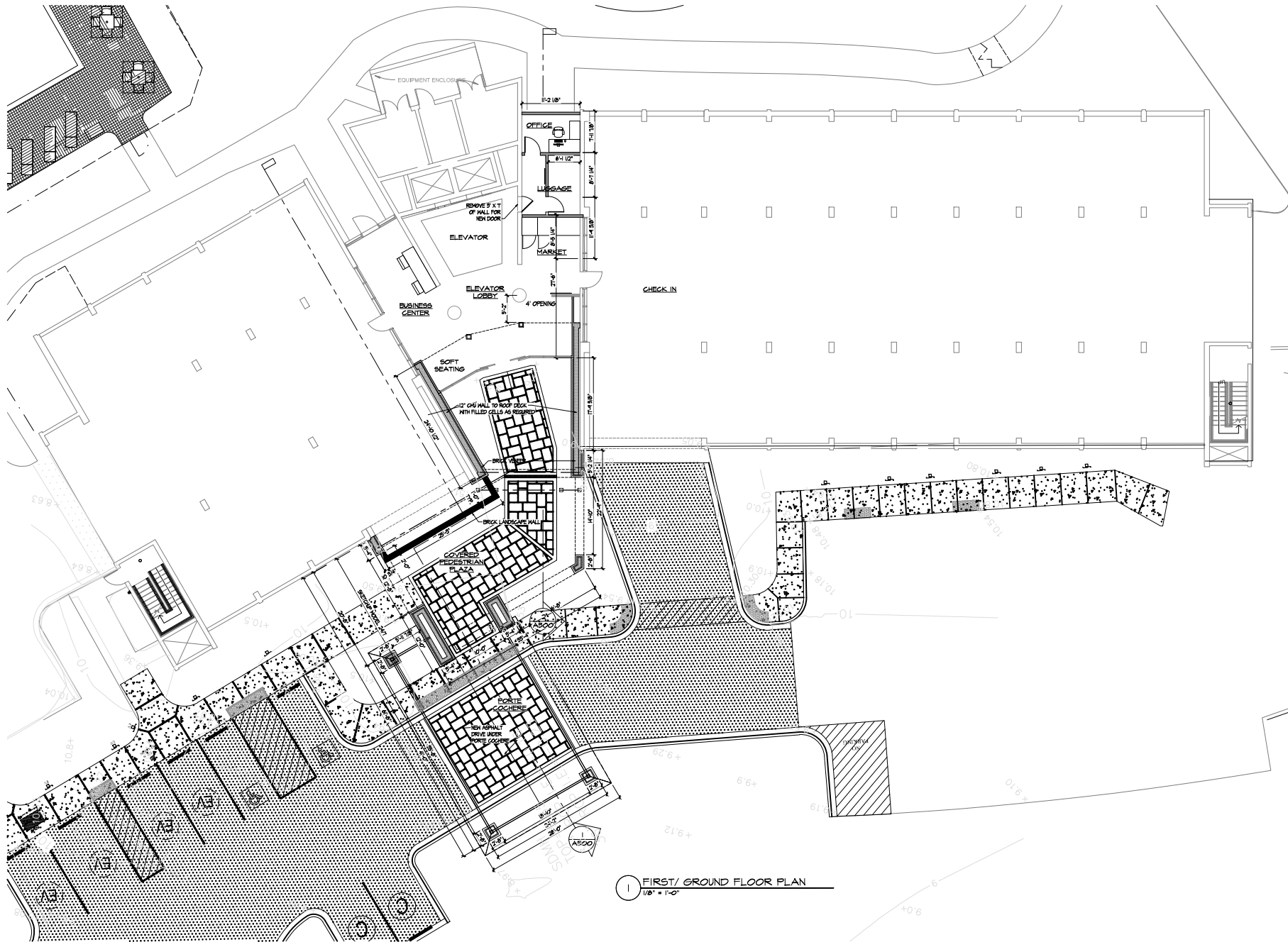
Landscape Architect

Trey Griffin, Principal

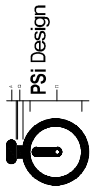
Wood+Partners, Inc.

[tgriffin@woodandpartners.com](mailto:tgriffin@woodandpartners.com)

843-681-6618



1 FIRST/ GROUND FLOOR PLAN  
1/8" = 1'-0"



7090 HOWARD STREET  
SPARTANBURG, SC  
29903-0003  
824.883.4014  
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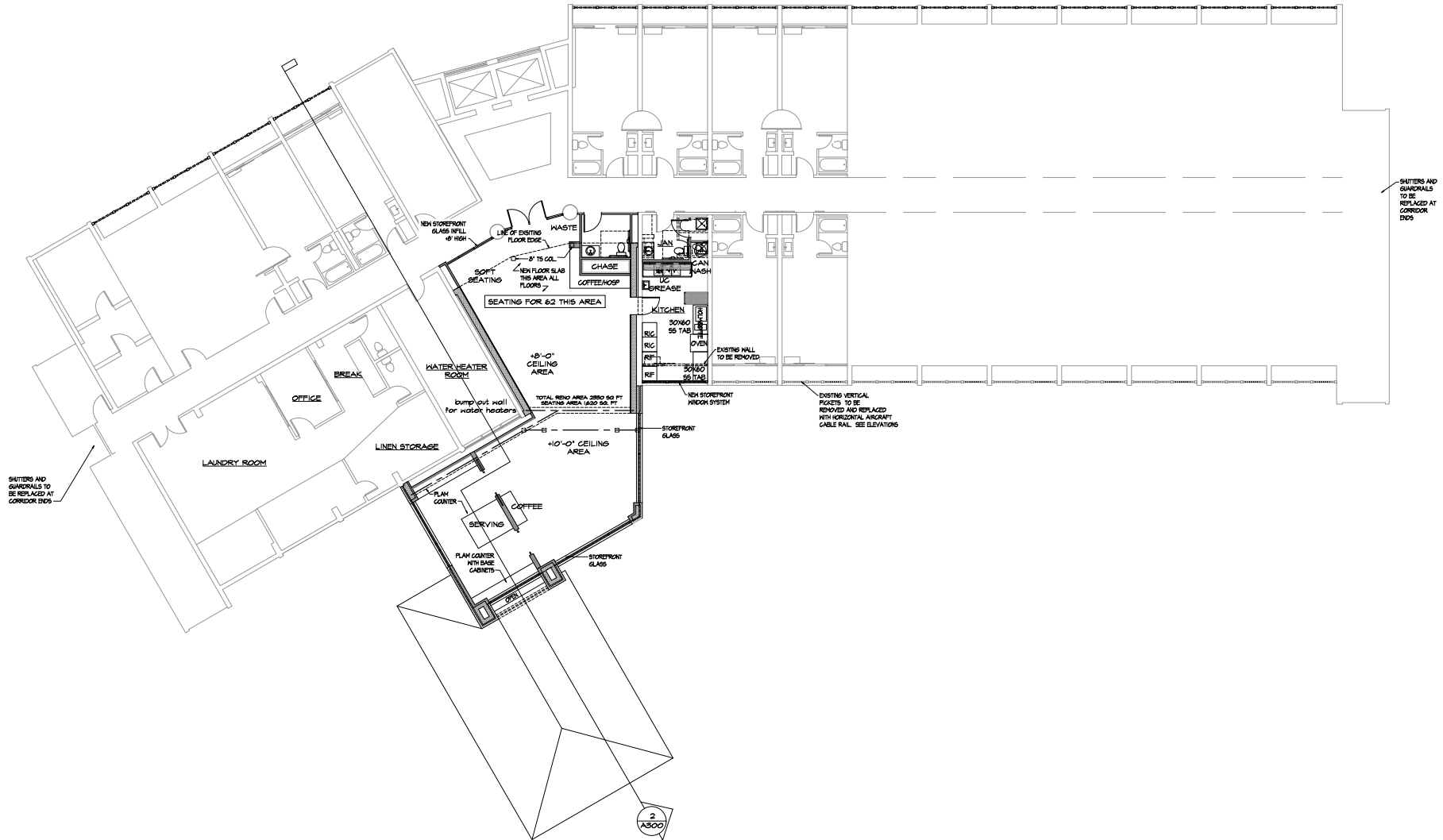
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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
JOB NO.	• 21-521
OWNER	• JCB
ARCHITECT	• JCB
DATE	• 02/14/23
ISSUE FOR DRB	
DATE	• 02/06/23
ISSUE FOR REVIEW	
NO.	
NO.	

SHEET  
**A101**  
PRELIMINARY FLOOR PLANS

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LINE



SHUTTERS AND  
GENERALS TO  
BE REPLAZED AT  
CORRIDOR ENDS

SHUTTERS AND  
GENERALS TO  
BE REPLAZED AT  
CORRIDOR  
ENDS

1 SECOND FLOOR PLAN  
1/4" = 1'-0" 2,550 SF

PSI Design



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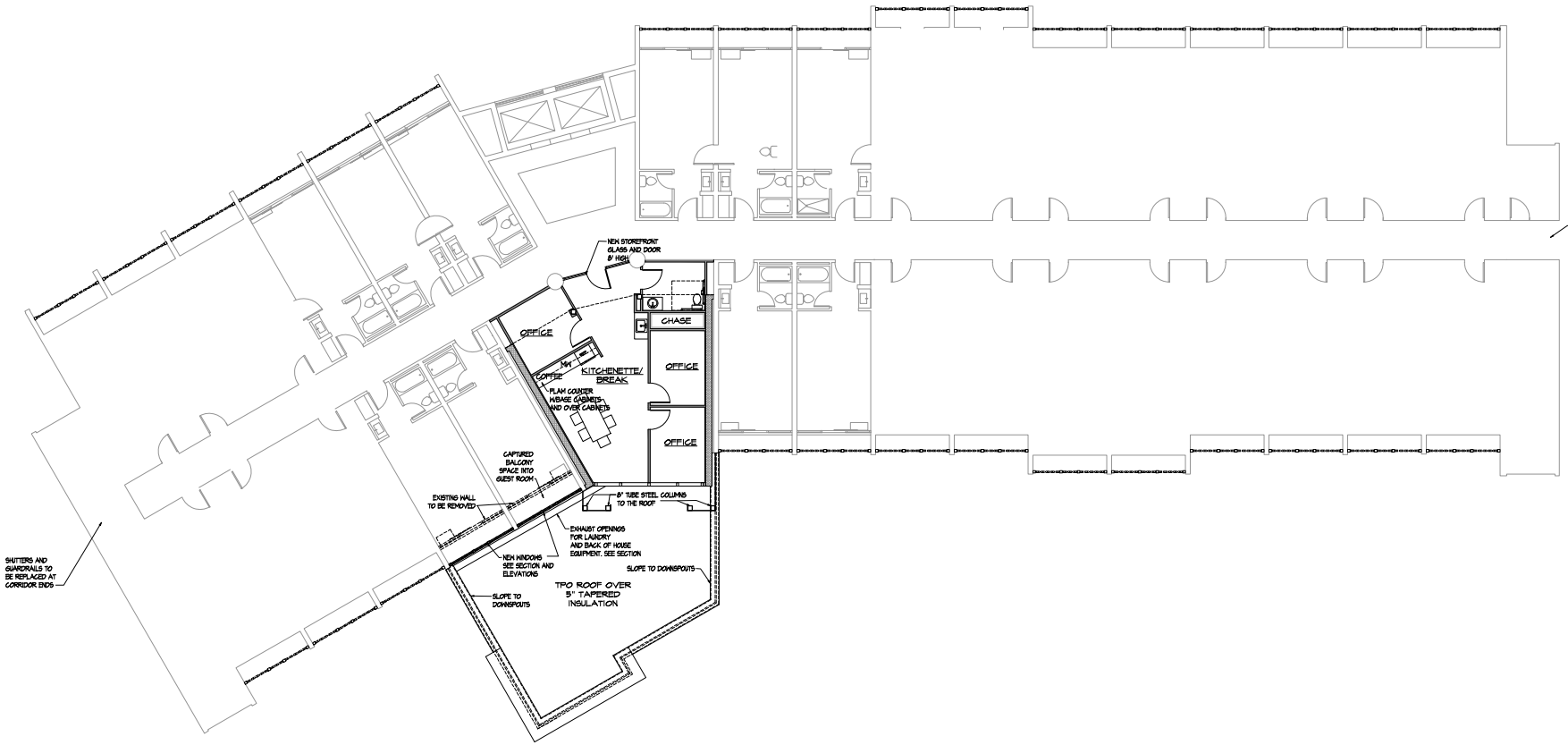
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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

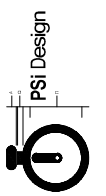
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STATUS	• AS NOTED
JOB NO.	• 21-021
SCALE	• 1/8"
PROJECT	• 100
DATE	• 02/14/23
ISSUE FOR DRG	
DATE	• 02/06/23
ISSUE FOR REVIEW	
NO.	
NO.	
NO.	

SHEET  
**A102**

PRELIMINARY FLOOR PLANS



1 THIRD FLOOR PLAN  
1/8" = 1'-0"



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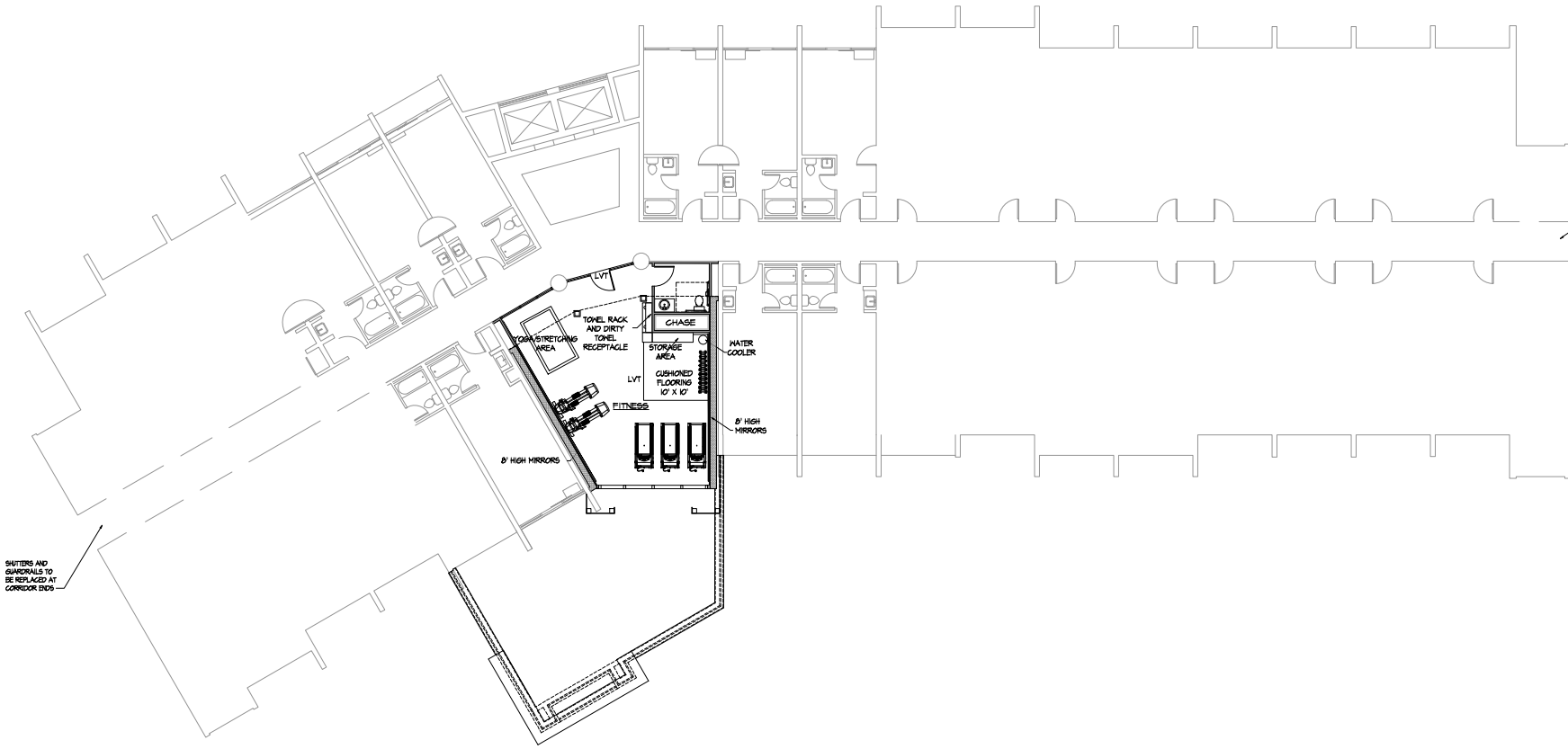
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SHUTTERS AND GUARDRAILS TO BE REPLACED AT CORRIDOR ENDS

Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
JOB NO.	• 21-021
DESIGN	• JB
DRAWING	• JB
PROJECT	• JB
ISSUE FOR DRG	02/14/23
ISSUE FOR DRG	02/06/23
ISSUE FOR REVIEW	
NO.	
NO.	

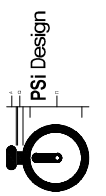
SHEET  
**A103**  
PRELIMINARY FLOOR PLANS



SHUTTERS AND  
GENERALS TO  
BE REPLAZED AT  
CORRIDOR ENDS

SHUTTERS AND  
GENERALS TO  
BE REPLAZED AT  
CORRIDOR  
ENDS

1 FOURTH FLOOR PLAN  
1/8" = 1'-0"



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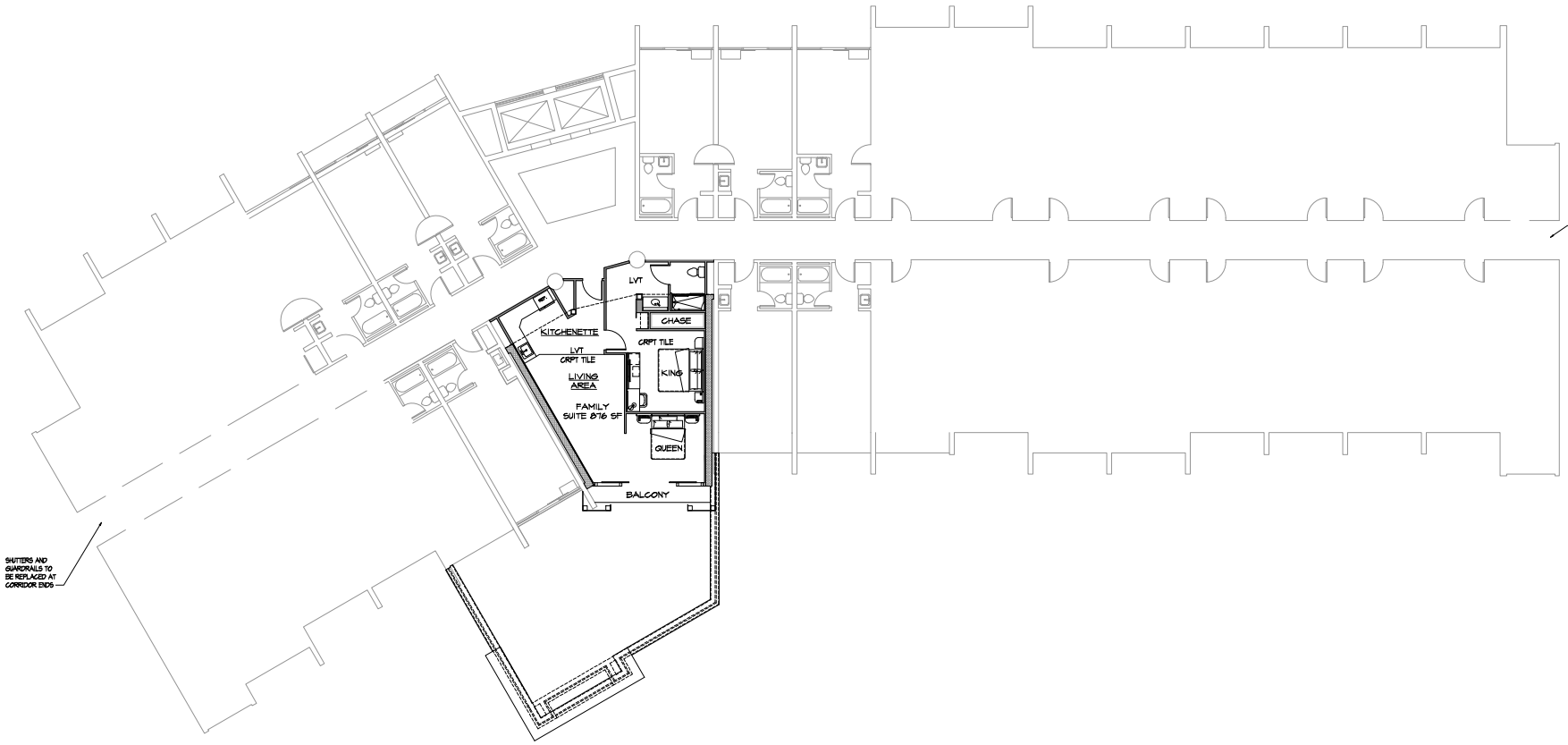


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ARCHITECT SHALL BE NOTIFIED  
OF DISCREPANCIES.

Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	OCT 14, 2022
SCALE	AS NOTED
JOB NO.	21-1521
DRAWN	JLB
CHECKED	JLB
DATE FOR ISSUE	02/14/23
ISSUE FOR	DRS
DATE FOR REVIEW	02/06/23
ISSUE FOR	REVIEW
NO.	001
NO.	001

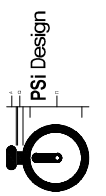
SHEET  
**A104**  
PRELIMINARY FLOOR PLANS



SHUTTERS AND GUNDERSALS TO BE REPLAZED AT CORRIDOR ENDS

SHUTTERS AND GUNDERSALS TO BE REPLAZED AT CORRIDOR ENDS

1 FIFTH FLOOR PLAN  
1/8" = 1'-0"



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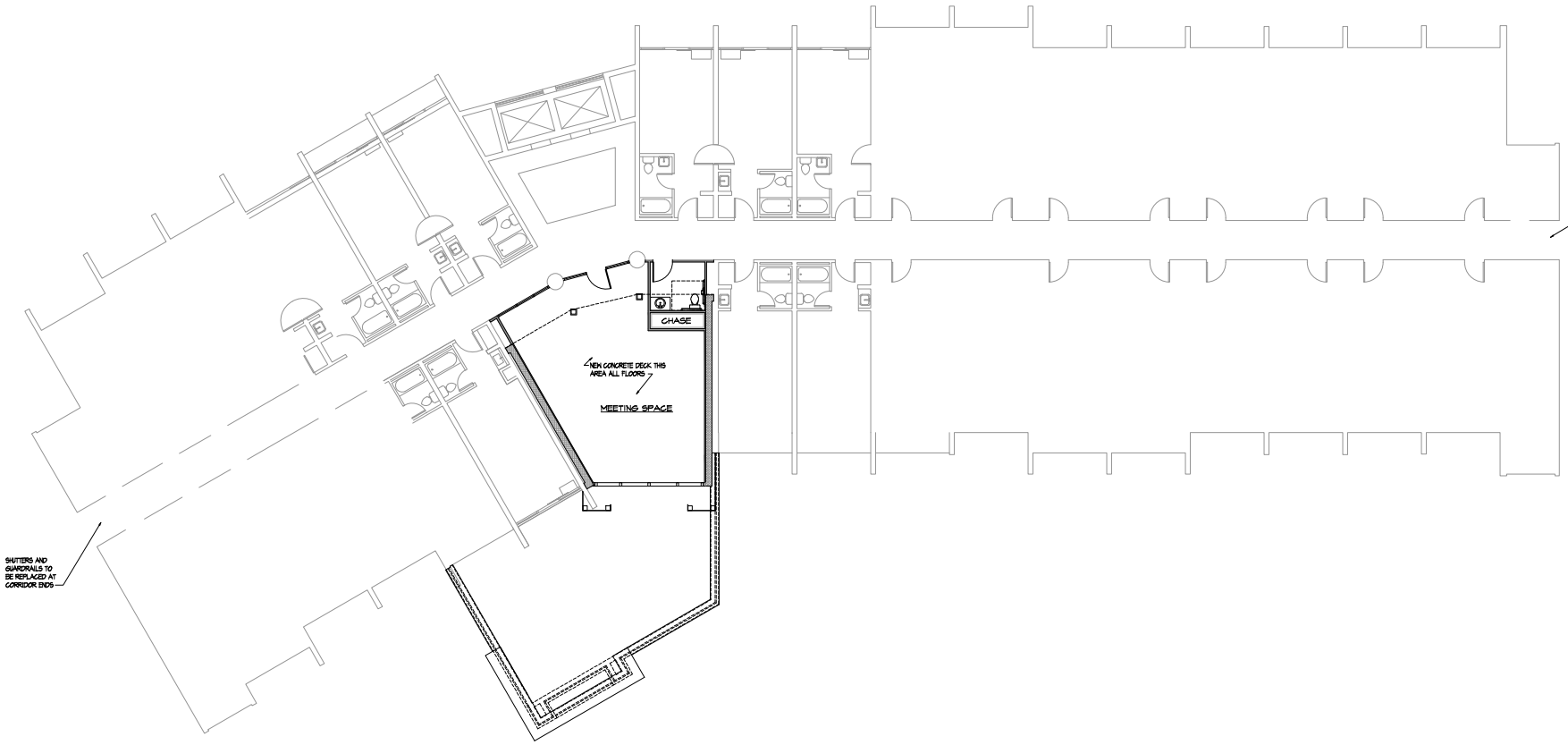


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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
PROJECT NO.	• 21-021
DRAWING NO.	• 106
DATE	• 106
ISSUE FOR DRB	02/14/23
ISSUE FOR REVIEW	02/06/23
NO.	
NO.	

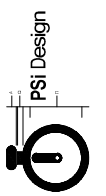
SHEET  
**A105**  
PRELIMINARY FLOOR PLANS



SHUTTERS AND GUARDRAILS TO BE REPLAZED AT CORRIDOR ENDS

SHUTTERS AND GUARDRAILS TO BE REPLAZED AT CORRIDOR ENDS

1 SIXTH FLOOR PLAN  
1/8" = 1'-0"



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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
JOB NO.	• 21-1521
DRAWN	• JB
CHECKED	• JB
DATE FOR SET	• 02/14/23
ISSUE FOR DRG	
DATE FOR SET	• 02/06/23
ISSUE FOR REVIEW	
NO.	
NO.	

SHEET  
**A106**  
PRELIMINARY FLOOR PLANS



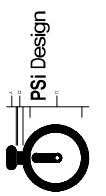
1 FIRST FLOOR CEILING PLAN  
1/8" = 1'-0"

**CEILING NOTES**

- 1 BEAD BOARD CEILING, ONE (1) LAYER 1/4" BEAD BOARD ATTACHED TO UNDERSIDE OF ROOF TRUSSES AT BAYES - LEAVE LOW POINT = +12'-5 1/2" A.F.F. (VAULT SIDES SLOPE AT 5:12) - SEE PLAN.
- 2 BEAD BOARD CEILING, ONE (1) LAYER 1/4" BEAD BOARD ATTACHED TO UNDERSIDE OF ROOF TRUSSES - VAULTED FINISH CEILING HIGH POINT = +13'-11 1/2" A.F.F. (VAULT SIDES SLOPE AT 5:12) - SEE PLAN.
- 3 GYPSUM BOARD CEILING, ONE (1) LAYER 5/8" GYPSUM BOARD ATTACHED TO UNDERSIDE OF FLOOR TRUSSES - FINISH CEILING = +4'-11 5/8" A.F.F.
- 4 GYPSUM BOARD CEILING, ONE (1) LAYER 5/8" GYPSUM BOARD ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES (TYPICAL THROUGHOUT ENTIRE 2ND LEVEL - UNLESS NOTED OTHERWISE) - FINISH CEILING = +8'-11 5/8" ABOVE 2ND LEVEL FLOOR, R-0" TOP OF WALL).
- 5 1" SYNTHETIC WOOD SIDING OVER EXTERIOR SHEATHING AT PORTE COCHERE SUPPORT HEADERS - BOTTOM OF HEADERS = +12'-0" A.F.F.
- 6 PAINTED LINTEL, LINTEL ELEVATION = +4'-4" A.F.F.
- 7 VERTICAL GYPSUM BOARD, ONE (1) LAYER 5/8" GYPSUM BOARD FROM LINTEL UP TO CEILING AT +4'-11 5/8" A.F.F.
- 8 EDGE OF CANOPY BELOW

**LIGHTING LEGEND**

- 1 TOP LIGHTING FMROTIC - T 15K SATIN NICKEL RING FLUSH LED, 3000K.
- 2 PROGRESS P5602M5-020-50, 6" SQUARE UP/DOWN, DIMMABLE LIGHT, 3000K.



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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
JOB NO.	• 21-021
DRAWN	• JB
CHECKED	• JB
DATE	• 02/14/23
ISSUE FOR DRB	
DATE	• 02/06/23
ISSUE FOR REVIEW	
NO.	
NO.	
NO.	

SHEET  
**A110**  
FIRST FLOOR CEILING PLAN

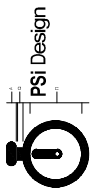




2 FRONT ENTRY ELEVATION  
1/8" = 1'-0"



1 FRONT ENTRY ELEVATION  
1/8" = 1'-0"



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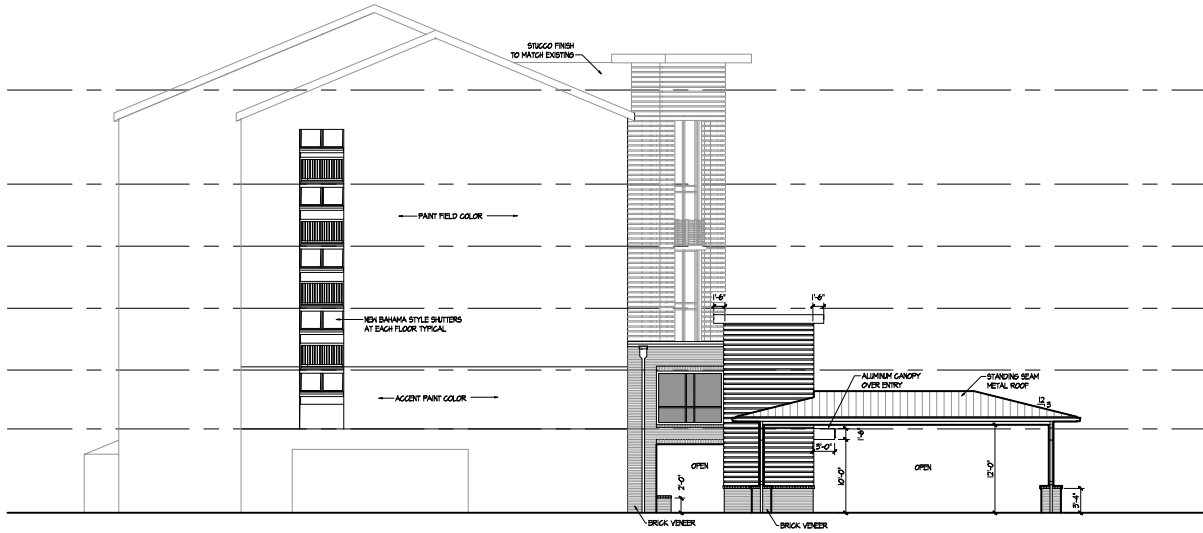


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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
STATUS	• AS NOTED
JOB NO.	• 21-021
DESIGN	• JB
CONTRACT	• JB
PROJECT	• 02/14/23
ISSUE FOR DRB	• 02/14/23
ISSUE FOR REVIEW	• 02/06/23
NO.	• 1
NO.	• 1

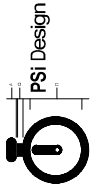
SHEET  
**A200**  
EXTERIOR ELEVATIONS



2 LEFT SIDE ELEVATION  
1/8" = 1'-0"



1 FRONT ENTRY DEMO ELEVATION  
1/8" = 1'-0"



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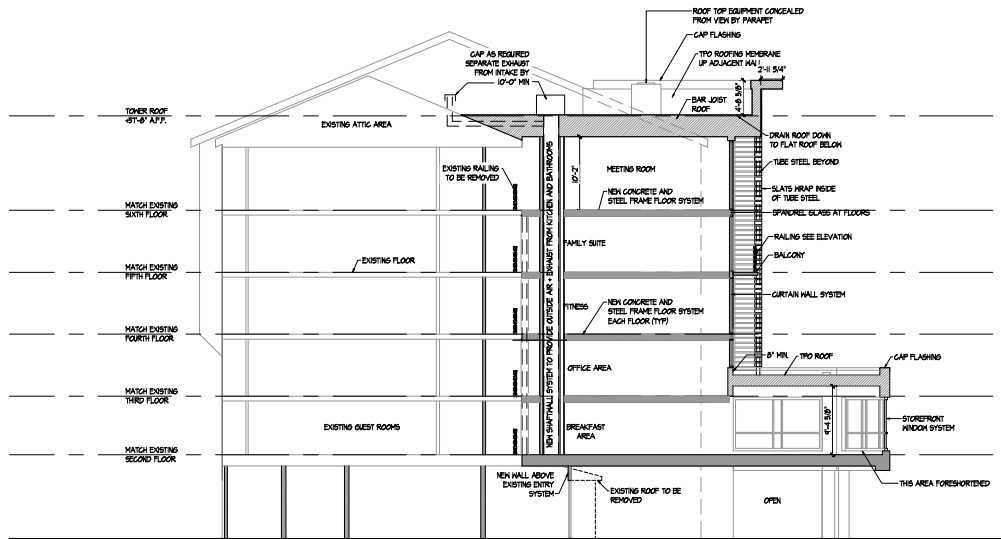


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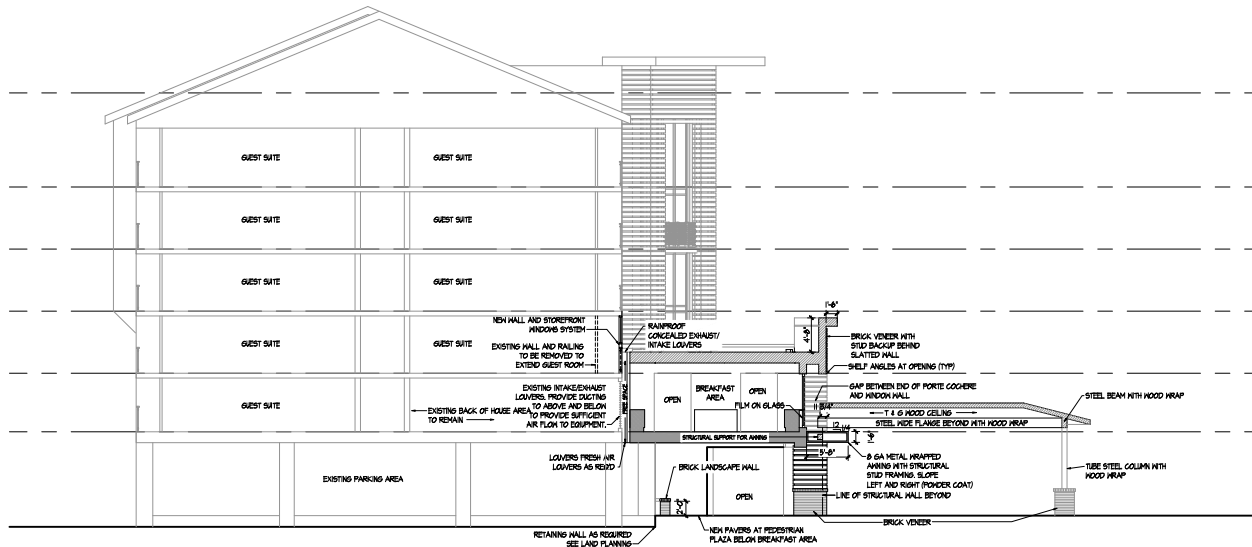
Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
STATUS	• AS NOTED
JOB NO.	• 21-021
DESIGN	• JB
DATE	•
ISSUE FOR DRB	• 02/14/23
ISSUE FOR DRB	• 02/06/23
ISSUE FOR REVIEW	•
NO.	•
NO.	•

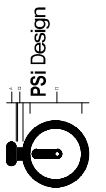
SHEET  
**A201**  
DEMOLITION  
EXTERIOR ELEVATIONS



2 BUILDING SECTION @ TOWER  
1/8" = 1'-0"



1 BUILDING SECTION @ PORTE COCHERE  
1/8" = 1'-0"



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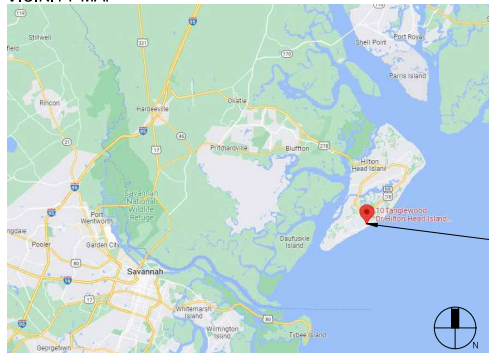
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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
JOB NO.	• 21-0321
DRAWN	• JBG
CHECKED	• JBG
PROJECT	• 21-0321
DATE	• 02/14/23
ISSUE FOR DRB	
DATE	• 02/08/23
ISSUE FOR REVIEW	
NO.	• 001
NO.	• 001

SHEET  
**A300**  
BUILDING SECTIONS

VICINITY MAP



PROJECT LOCATION

# HOLIDAY INN EXPRESS

10 Tanglewood Drive  
Hilton Head Island, SC 29928

## Landscape Architecture Landscape Development Documents

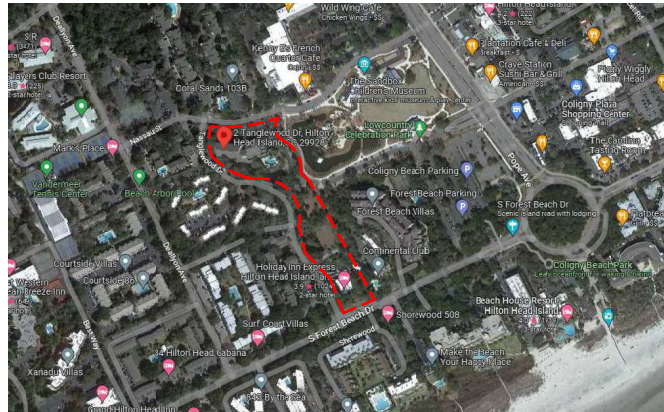
Permit Set

Issued: 02.14.2023

Revised

03.06.2023

LOCATION MAP



INDEX TO DRAWINGS:

CVR	COVER
L-000	NOTES
L-001	EXISTING CONDITIONS
L-002	PRELIMINARY DEMO PLANS
L-100	SITE PLAN
L-200	LAYOUT PLAN
L-300	DETAILS
L-400	TREE REMOVAL AND PROTECTION PLANS
L-401	LANDSCAPE PLAN
L-402	PLANT SCHEDULE, NOTES, AND DETAILS
1 of 1	Palmetto Electric Lighting Proposal

O:\Projects\Hilton Head\Holiday Inn Express\01\_Tanglewood\02\_Location\02\_Location\02\_Location.dwg, Monday, January 06, 2023, Plotted By: Trey Griffin  
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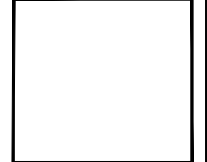
**WOOD + PARTNERS**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING

7 Lafayette Place | Hilton Head Island, SC 29928  
www.woodandpartners.com | 843.681.6818

**LANDSCAPE ARCHITECT:**  
Wood + Partners Inc.  
7 Lafayette Place  
Hilton Head Island, SC 29928  
843-681-6818  
Contact: Trey Griffin

**OWNER REP:**  
HHH One, Two & Three LLC  
130 Dutchman Blvd  
Irmo, SC 29053  
Contact: Brian Bornhorst - Agent

PROFESSIONAL SEAL



G:\Projects\Hilf\rethold\Holiday Inn Express On Tanglewood\Production\03 Work\DCP\01-21046-001-Notes.rvt, Monday, March 06, 2023, Printed By: Troy Griffin  
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## REFERENCES

1. THE SURVEY, INCLUDING TOPOGRAPHY, USED FOR THE DESIGN WAS PROVIDED THE OWNER AND PREPARED BY SURVEYING CONSULTANTS AND SITE DESIGN, INC. (AS-BUILT SURVEY). THE SURVEY HAS NOT BEEN FIELD VERIFIED BY WOOD+PARTNERS, INC. AND WOOD+PARTNERS, INC. PROVIDES NO WARRANTY AS TO THE ACCURACY OF THE SURVEY.
2. MANDATORY ON-SITE PRE-CONSTRUCTION CONFERENCE.
3. THE OWNER SHALL BE GIVEN TWENTY FOUR HOURS (24HR) NOTICE OF ALL MEETINGS AND OR TESTING MEASURES RELATED TO SAID PROJECT.

## CONTACT AND PROJECT INFORMATION

OWNER: **Dean Borshoff**  
130 Dickson Blvd  
Inns, SC 29063  
716-375-2470, Director of Asset Management

LANDSCAPE ARCHITECT: **Wood + Partners, Inc.**  
71 Lafayette Place  
Hilton Head Island, sc 29925  
843-681-6618

## CONSTRUCTION DOCUMENTS

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF ANY DISCUSSIONS ARISE.
2. THE SITE PLANS ARE INTENDED TO PORTRAY THE SITE AS A COMPLETED, FUNCTIONAL PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS USED TO ACHIEVE THE COMPLETED SITE CONDITION AS SET OUT IN THE PLANS. IT IS NOT THE INTENTION OF THESE PLANS TO PROVIDE SPECIFIC GUIDANCE OF EVERY ASPECT OF THE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THE PLANS IN COMPLIANCE WITH GENERALLY ACCEPTED PRACTICES AND UNDER CURRENT STANDARDS AND CODES. CONTRACTOR SHALL APPLY APPROPRIATE CONSTRUCTION DETAILS AND PROCESSES WHETHER OR NOT THESE INDIVIDUAL ASPECTS OF THE WORK ARE SPECIFICALLY CALLED OUT ON THE PLANS.

## GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL REQUIREMENTS UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL OBTAIN THESE DOCUMENTS, BECOME FAMILIAR WITH THEM AND HAVE THEM ON THE JOB SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL MAKE ALL NECESSARY SITE VISITS AND INSPECTIONS TO BECOME FAMILIAR WITH THE PROJECT AND MAKE ANY INVESTIGATIONS WHICH ARE APPROPRIATE TO CONFIRM THE SOIL/SUBSTRATE/CHEMICAL INFORMATION, TOPOGRAPHIC INFORMATION, WETLANDS, UTILITIES, ETC. TO BE ABLE TO PREPARE THE BID FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND INFORMATION PROVIDED FOR BIDDING AND CONSTRUCTION. ANY ELEVATIONS AND/OR DISCREPANCIES IN THE CONTRACTOR'S FINDINGS VERSUS THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED IN WRITING TO OWNER PRIOR TO THE BID AND PRIOR TO COMMENCEMENT OF CONSTRUCTION ON THE AREAS IN QUESTION.
3. GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT. ALL REQUIRED PERMITS SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF FEDERAL, STATE, LOCAL MUNICIPALITY AND/OR THE APPLICABLE UTILITY COMPANY, WHICH EVER TAKES PRECEDENCE. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD NOTES AND SPECIFICATIONS, LATEST EDITION.
5. CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE CONSTRUCTION STAGING AND STORAGE AREA PRIOR TO COMMENCEMENT OF MOBILIZATION. ANY CONSTRUCTION TRAILERS USED ON-SITE BY THE CONTRACTOR (IF NECESSARY) SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY IF REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS. CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE FOR TEMPORARY CONSTRUCTION ENTRANCE AND WILL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND UTILITY CONNECTIONS.
6. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
7. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.

## MAINTENANCE OF TRAFFIC

1. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC & SHALL BE PROVIDED BY THE CONTRACTOR & MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT.
2. THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR APPROVAL A STAGING AND CONSTRUCTION ACCESS PLAN DETAILING THE LOCATION OF LAY DOWN AND STORAGE OF MATERIAL AS WELL AS CONSTRUCTION ACCESS AREAS. SUCH A PLAN SHALL REQUIRE THE APPROVAL OF THE OWNER PRIOR TO IMPLEMENTATION.

## STORMWATER POLLUTION PREVENTION

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS DURING AND FOLLOWING CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR STORMWATER POLLUTION PREVENTION, OR AS INDICATED BY GRADING AND DRAINAGE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE REQUIREMENTS OF THE EROSION CONTROL PLAN. THE EROSION AND SEDIMENT CONTROLS SHOWN ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND MULCHED OR SOILED, IF APPLICABLE, IN ACCORDANCE WITH THESE CONSTRUCTION PLANS.
3. THE CONTRACTOR SHALL COMPLY WITH AND MEET OWNER, LOCAL, STATE, AND FEDERAL REQUIREMENTS OF THE CLEAN AIR AND WATER ACT AND OTHER REGULATIONS AS REQUIRED.
4. TEMPORARY EROSION & SEDIMENT CONTROLS (MAY BALES, SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUNOFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.

## UTILITIES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH ALL OTHER UTILITY CONSTRUCTION (IF APPLICABLE).
2. ALL UNDERGROUND UTILITIES, INCLUDING CONDUIT AND SLEEVES, TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE PLANS, APPROVED SPECIFICATIONS AND DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AS APPLICABLE.
3. CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAINAGE SYSTEMS AND IMMEDIATELY NOTIFY CONTRACTOR SHALL PROVIDE OWNERS REPRESENTATIVE WITH CONDUIT PLAN FOR APPROVAL PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS TO ANY EXISTING ACTIVITIES PRIOR TO ANY SITE OR DEMOLITION OR CONSTRUCTION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
  - POTABLE WATER LINES
  - SANITARY SEWER LINES
  - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
  - GAS LINES
  - TELEPHONE LINES
  - CABLE TELEVISION LINES
  - STORMWATER CONVEYANCE LINES
5. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, OWNER, AND THE ADJACENT PROPERTY OWNERS 72 HOURS PRIOR TO INITIATING ANY DEMOLITION AND EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITIES COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.

7. CONTRACTOR SHALL COORDINATE WITH GOVERNING AGENCIES AND ALL UTILITY COMPANIES TO CORRELATE TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS INCLUDING ANY REQUIRED INSPECTIONS.
8. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE OWNER, AND THE OWNERS REPRESENTATIVE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND INFRASTRUCTURE WITHIN THE SITE OR ADJACENT PROPERTIES (e.g. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS, etc.) CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER.
10. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.

## DEMOLITION NOTES

1. CODES AND APPLICABLE CODES REGULATING DEMOLITION WORK SHALL BE COMPLIED WITH. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND CONFIRMING APPLICABLE CODE REQUIREMENTS. THE CONTRACTOR SHALL PUT UP AND MAINTAIN SUCH BARRIERS AND WARNING LIGHTS, AS MAY BE NECESSARY OR REQUIRED BY CODE, TO PROTECT AND PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE DEMOLITION WORK AREA. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL, STATE, AND LOCAL (IF APPLICABLE) CODES INsofar AS THEY APPLY TO DEMOLITION WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. PROTECTION OF BUILDINGS & EQUIPMENT: TEMPORARY PROTECTIVE DEVICES AS REQUIRED BY OWNER, LOCAL, STATE, AND FEDERAL LAW, SHALL BE INSTALLED ADJACENT TO THE DEMOLITION WORK FOR PROTECTION OF PERSONNEL, EXISTING ADJACENT BUILDINGS, STRUCTURES AND EQUIPMENT AGAINST DUST, FALLING OR FLYING DEBRIS, ANY DAMAGE TO EXISTING STRUCTURES, FACILITIES AND/OR EQUIPMENT RESULTING FROM DEMOLITION WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
3. DISPOSAL OF EXISTING EQUIPMENT & DEBRIS: ALL DEBRIS AND EXISTING MATERIALS AND EQUIPMENT SHALL BE HAULED AWAY AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE THEIR OWN ARRANGEMENTS FOR OBTAINING DISPOSAL AREAS.

## DEMOLITION NOTES (CONTINUED)

3. (CONTINUED) THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT SPILLAGE OF MATERIALS BEING HAULED IN PUBLIC STREETS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CLEAN UP ANY SPILLAGE WHICH MAY OCCUR. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN A LEGAL MANNER. THE CONTRACTOR SHALL TURN OVER ANY REMOVED PUBLIC UTILITY ITEMS (e.g. WATER METERS, TO THE UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE IN A LEGAL MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRENCHE SAFETY SYSTEM IF APPLICABLE. THE TRENCHE SAFETY SYSTEM SHALL BE COMPLIANT WITH OSHA STANDARD 29 CFR SECTION 1926.660 SUBPART 4. THERE ARE TO BE NO UNPROTECTED OPEN TRENCHES AT THE DAY'S END.
5. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN ENTERING MANHOLES, PIPES, OR OTHER STRUCTURES SHOWN ON THE PLANS. PROPER CONFINED SPACE ENTRY METHODS SHALL BE ENFORCED.
6. ALL EXISTING VEGETATION, ROOT SYSTEMS, REFUSE AND OTHER DELETED/ROCKS, NON-SOIL MATERIAL SHALL BE STRIPPED FROM THE PROPOSED CONSTRUCTION AREAS. CLEAN TOPSOIL MAY BE STOCKPILED AND RESUED LATER IN LANDSCAPED AREAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THEIR OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
8. INSTALL TREE PROTECTION BARRICADE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AT THE CROWN DRILLPILE FOR ALL TREES TO BE PRESERVED. CONSTRUCTION ACTIVITY, AND THE STAGING AND STORAGE OF MATERIAL AND EQUIPMENT WITHIN THE CROWN DRILLPILE SHALL BE PROHIBITED. TREE PROTECTION BARRICADE SHALL REMAIN ERECT AT ALL TIMES. TREE PROTECTION BARRICADE SHALL BE REMOVED AT THE DIRECTION OF THE OWNER OR OWNERS REPRESENTATIVE.
9. CLEANUP: THE CONTRACTOR SHALL MAINTAIN AN ORDER OF NEATNESS AND GOOD HOUSEKEEPING. TOOLS, SCAFFOLDING AND OTHER DEMOLITION EQUIPMENT MUST AT ALL TIMES BE KEPT IN A NEAT AND ORDERLY ARRANGEMENT. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AS REQUIRED FOR SUBSEQUENT NEW WORK.

## LAYOUT NOTES

1. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. HARDCOPY INFORMATION SHALL PREVAIL.
2. CONTRACTOR SHALL STAKE THE LAYOUT OF THE CONSTRUCTION DOCUMENTS FOR OWNER AND OWNERS REPRESENTATIVE TO APPROVE PRIOR TO CONSTRUCTION.
3. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER PRIOR TO CONSTRUCTION.

## FINAL ACCEPTANCE

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS CERTIFIED BY A REGISTERED SURVEYOR.
2. "AS-BUILT" DRAWINGS SHALL BE PROVIDED TO THE OWNER AND OWNERS REPRESENTATIVE IN CAD AND HARDCOPY FORMATS.
3. FINAL INSPECTION SHALL NOT OCCUR UNTIL "AS-BUILT" DRAWINGS HAVE BEEN PROVIDED TO AND REVIEWED BY OWNER AND OWNERS REPRESENTATIVE.
4. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE SUBSTANTIAL COMPLETION INSPECTION.
5. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.

## PAVING AND DRAINAGE NOTES

1. ALL GRADING, PLACEMENT OF FILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ALL FILL PLACED AS A PART OF THIS PROJECT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ALL FILL AREAS MUST BE COMPACTED AS STATED.
2. COMPACTION DENSITIES FOR ALL SELECT FILL ARE TO BE TAKEN IN SIX INCH (6") LIFTS IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR THE CONTRACTOR.
3. ALL CONSTRUCTION LINES & GRADES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF DISCREPANCIES. STORMWATER ANALYSIS WAS NOT CONDUCTED FOR THIS PROJECT. CONTRACTOR TO ENSURE PROPER AND POSITIVE DRAINAGE OF ALL GRADES.
5. THE CONTRACTOR SHALL VERIFY ALL THE ELEVATIONS OF ALL TIE-IN POINTS FOR INSTALLATION OF UTILITIES, HARDSCAPE AND FINISHED WORK, AND NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES.
6. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
7. CONTRACTOR SHALL PROTECT ALL TREES, VEGETATION AND REFERENCE POINTS AS INDICATED ON THE DRAWINGS.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE PAVING WITH ALL OTHER CONSTRUCTION.
9. ALL SIDEWALKS AND RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
10. ALL SIDEWALKS SHALL NOT EXCEED SLOPE OF 5% UNLESS OTHERWISE INDICATED.

## PAVING AND DRAINAGE NOTES (CONTINUED)

11. TOLERANCE OF ANY HORIZONTAL GAP SHALL BE NO GREATER THAN 1/2" AND VERTICAL CHANGE SHALL BE NO GREATER THAN 1/4", WHICH INCLUDES BUT IS NOT LIMITED TO THE RADII OF ANY CONCRETE EDGE AND UNIT PAVING EDGE.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITTED CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE ORGANIZATION AND/OR ENTITY RESPONSIBLE FOR THE INSTALLATION TO UPDATE/REPLACE ANY DEFICIENT MATERIAL/EQUIPMENT NECESSARY TO BRING THE FINAL PRODUCT TO THE STANDARDS OF THE PERMITTED CONSTRUCTION DOCUMENTS.
13. ALL SIDEWALKS AND RAMPS CONSTRUCTED SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL A.D.A. REGULATIONS, LAWS, AND POLICIES.
14. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING ALL A.D.A. ACCESSIBLE ROUTES, PURSUANT TO LOCAL, STATE, AND FEDERAL ADA REGULATIONS.
15. REGARDING GRADES OR SLOPES COMPARED TO ADA REQUIREMENTS, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNERS REPRESENTATIVE FOR CLARIFICATION, PRIOR TO IMPLEMENTATION.

## GENERAL DETAILS NOTES

1. THESE NOTES SHALL APPLY TO ALL DETAILS INCLUDED IN THIS SET OF CONSTRUCTION DOCUMENTS.
2. SEE STRUCTURAL NOTES FOR ALL WOOD REQUIREMENTS.
3. CONTRACTOR TO CONSTRUCT 5407 BY 5407 DEMONSTRATION AREA FOR ALL CONCRETE SPECIFIED AND 5407 BY 5407 DEMONSTRATION AREA FOR ALL SPECIALTY PAVEMENT AT LEAST ONE WEEK PRIOR TO ON-SITE APPLICATION. FINAL APPLICATION MUST BE COMPATIBLE (MATCH) WITH DEMONSTRATION AREAS.
4. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE HOT-DIPPED GALVANIZED UNLESS OTHERWISE SPECIFIED.
5. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH GALVANIZED NUTS, BOLTS, AND WASHERS UNLESS OTHERWISE SPECIFIED.
6. NAILS: ALL NAILS SHALL BE HOT DIPPED GALVANIZED. FINISH NAILS SHALL BE ANNULAR ALLOY ALUMINUM UNLESS OTHERWISE SPECIFIED.
7. ALL WELDS CONTINUOUS.
8. INSTALL ALL SITE FURNISHINGS (FLAME, LEVEL, TRUE TO LINE AND AT ELEVATIONS INDICATED).
9. RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS AT NO ADDITIONAL COST TO OWNER.
10. SUBMIT SHOP DRAWINGS, PRODUCT DATA AND MAINTENANCE DATA FOR APPROVAL PRIOR TO PURCHASING, FABRICATION AND INSTALLATION.
11. ALL CONCRETE FOOTINGS, BASES, AND WALKS SHALL BE A MINIMUM OF 4000 PSI, UNLESS OTHERWISE SPECIFIED. (SEE STRUCTURAL).
12. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS OR AS OTHERWISE STATED IN THE ENGINEERING PLANS.
13. ALL PAVER DIMENSIONS TO BE ACTUAL. ALL LUMBER DIMENSIONS TO BE NOMINAL.

## STRUCTURAL NOTES

1. See structural plans for additional general notes & notes regarding foundations, concrete, reinforcement, groud, wood, and other items.



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LANDSCAPE DEVELOPMENT PLANS FOR THE HOLIDAY INN EXPRESS 2 Tanglewood Drive Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

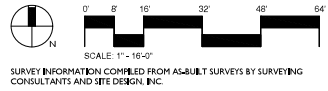
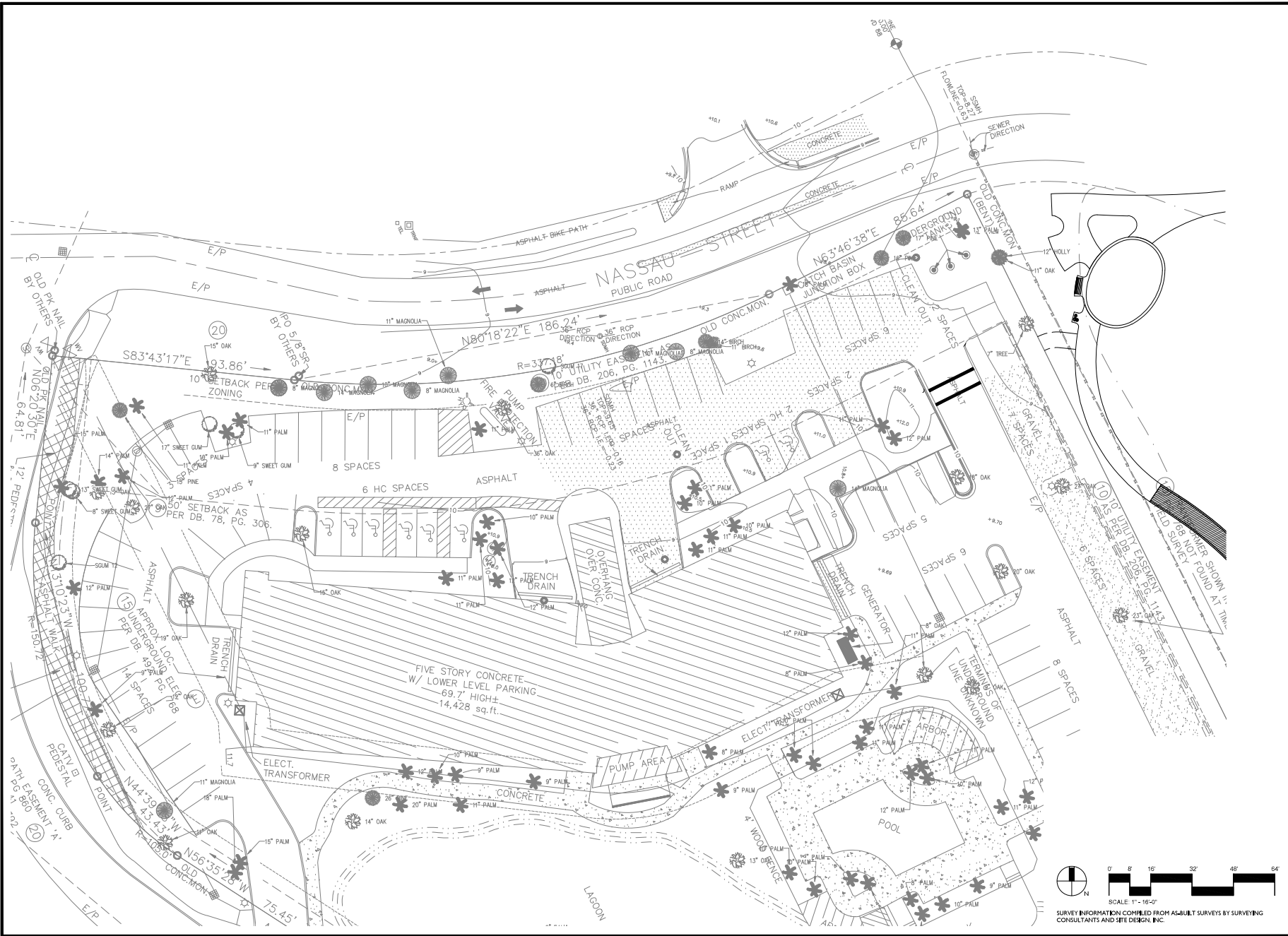
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SHEET TITLE:	

DATE: **3-6-2023**  
PROJECT NUMBER: **01-22046**  
SHEET TITLE: **General Notes**

SHEET NUMBER: **L-000**

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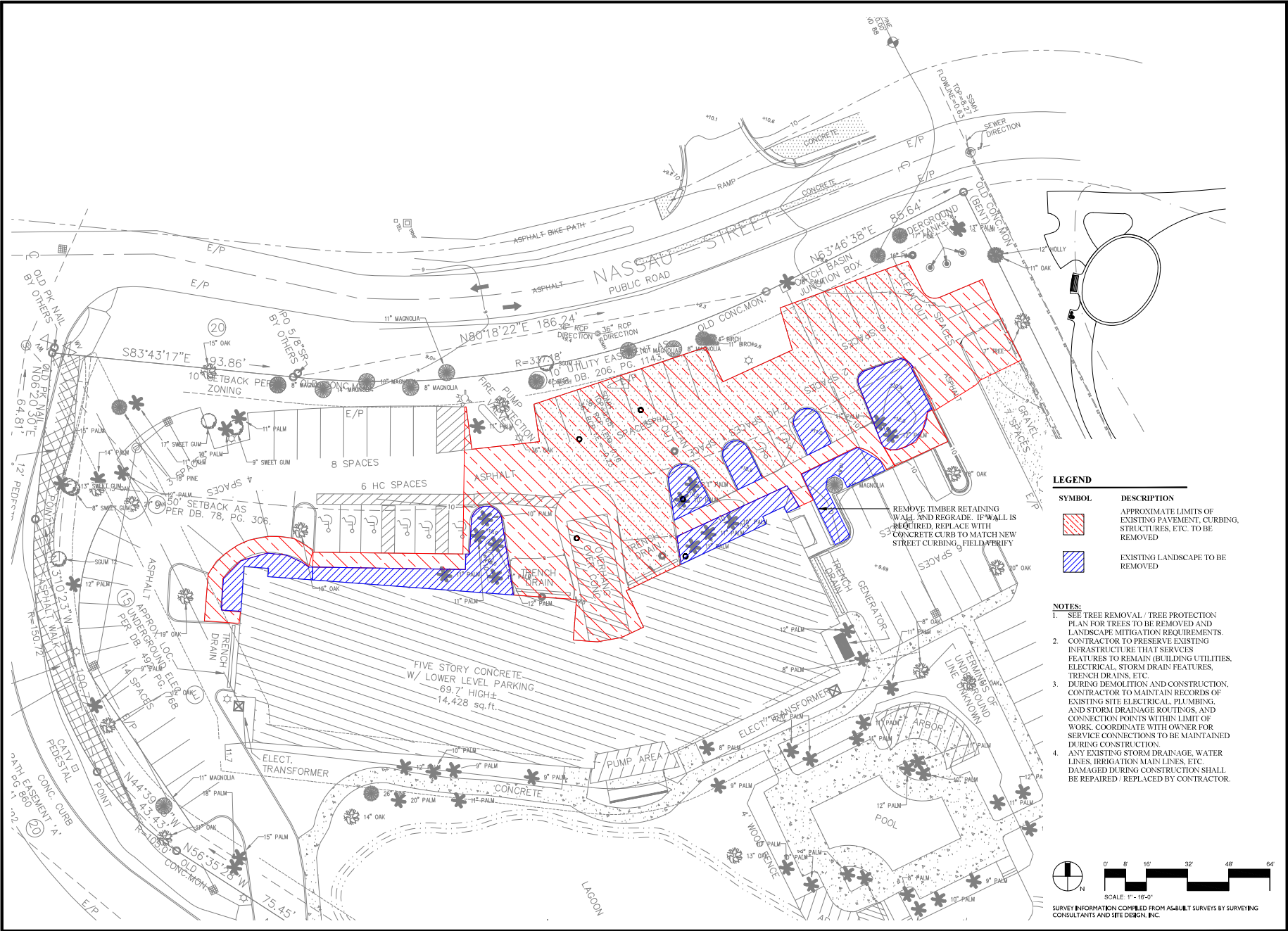
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DATE: 3-6-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE:

**Existing Conditions**

SHEET NUMBER:  
**L-001**

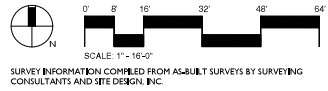
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**LEGEND**

SYMBOL	DESCRIPTION
	APPROXIMATE LIMITS OF EXISTING PAVEMENT, CURBING, STRUCTURES, ETC. TO BE REMOVED
	EXISTING LANDSCAPE TO BE REMOVED

- NOTES:**
- SEE TREE REMOVAL / TREE PROTECTION PLAN FOR TREES TO BE REMOVED AND LANDSCAPE MITIGATION REQUIREMENTS. CONTRACTOR TO PRESERVE EXISTING INFRASTRUCTURE THAT SERVES FEATURES TO REMAIN (BUILDING UTILITIES, ELECTRICAL, STORM DRAIN FEATURES, TRENCH DRAINS, ETC).
  - DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR TO MAINTAIN RECORDS OF EXISTING SITE ELECTRICAL, PLUMBING, AND STORM DRAINAGE ROUTINGS, AND CONNECTION POINTS WITHIN LIMIT OF WORK. COORDINATE WITH OWNER FOR SERVICE CONNECTIONS TO BE MAINTAINED DURING CONSTRUCTION.
  - ANY EXISTING STORM DRAINAGE, WATER LINES, IRRIGATION MAIN LINES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED / REPLACED BY CONTRACTOR.



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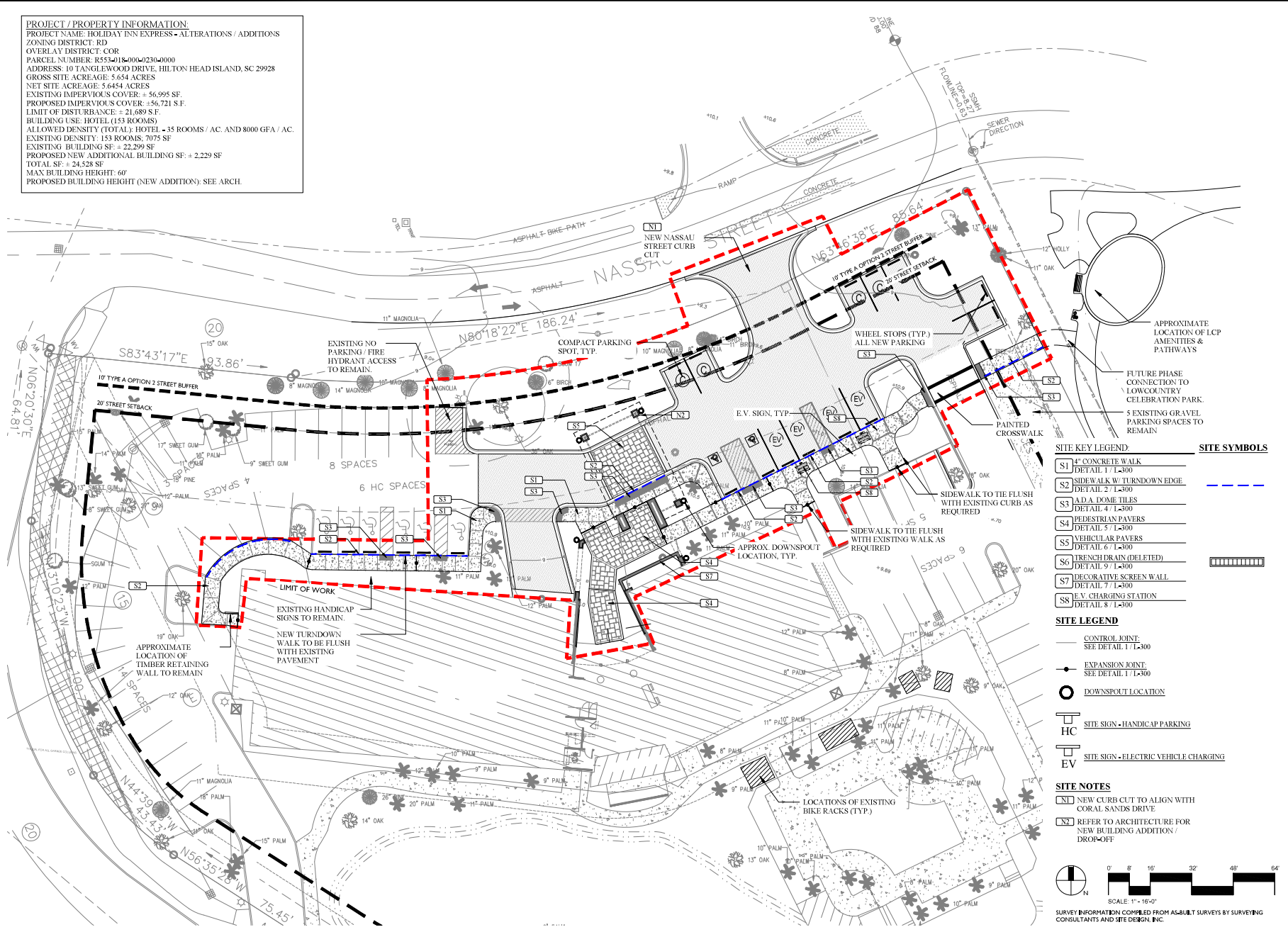
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DATE: 3-6-2023  
PROJECT NUMBER: 01-22046  
SHEET TITLE: Preliminary Site Demo

SHEET NUMBER: L-002

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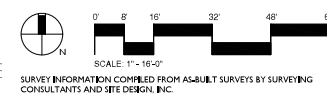
**PROJECT / PROPERTY INFORMATION**  
 PROJECT NAME: HOLIDAY INN EXPRESS - ALTERATIONS / ADDITIONS  
 ZONING DISTRICT: RD  
 OVERLAY DISTRICT: COR  
 PARCEL NUMBER: R553-018-000-0230-0000  
 ADDRESS: 10 TANGLEWOOD DRIVE, HILTON HEAD ISLAND, SC 29928  
 GROSS SITE ACREAGE: 5.654 ACRES  
 NET SITE ACREAGE: 5.6454 ACRES  
 EXISTING IMPERVIOUS COVER: = 56,995 SF.  
 PROPOSED IMPERVIOUS COVER: = 56,721 S.F.  
 LIMIT OF DISTURBANCE: = 21,689 S.F.  
 BUILDING USE: HOTEL (153 ROOMS)  
 ALLOWED DENSITY (TOTAL): HOTEL = 35 ROOMS / AC. AND 8000 GFA / AC.  
 EXISTING DENSITY: 153 ROOMS, 7075 SF  
 EXISTING BUILDING SF: = 22,299 SF  
 PROPOSED NEW ADDITIONAL BUILDING SF: = 2,229 SF  
 TOTAL SF: = 24,528 SF  
 MAX BUILDING HEIGHT: 60'  
 PROPOSED BUILDING HEIGHT (NEW ADDITION): SEE ARCH.



- SITE KEY LEGEND:**
- S1 4" CONCRETE WALK  
DETAIL 1 / L-300
  - S2 SIDEWALK W/ TURNDOWN EDGE  
DETAIL 2 / L-300
  - S3 ADA DOME TILES  
DETAIL 4 / L-300
  - S4 PEDESTRIAN PAVERS  
DETAIL 5 / L-300
  - S5 VEHICULAR PAVERS  
DETAIL 6 / L-300
  - S6 TRENCH DRAIN (DELETED)  
DETAIL 9 / L-300
  - S7 DECORATIVE SCREEN WALL  
DETAIL 7 / L-300
  - S8 E.V. CHARGING STATION  
DETAIL 8 / L-300
- SITE SYMBOLS**
- --- ---
  - --- ---
  - --- ---
  - --- ---
  - --- ---
  - --- ---
  - --- ---
  - --- ---
  - --- ---

- SITE LEGEND**
- CONTROL JOINT: SEE DETAIL 1 / L-300
  - - - - - EXPANSION JOINT: SEE DETAIL 1 / L-300
  - DOWNSPOUT LOCATION
  - HC SITE SIGN - HANDICAP PARKING
  - EV SITE SIGN - ELECTRIC VEHICLE CHARGING

- SITE NOTES**
- S1 NEW CURB CUT TO ALIGN WITH CORAL SANDS DRIVE
  - S2 REFER TO ARCHITECTURE FOR NEW BUILDING ADDITION / DROP-OFF



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**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 Hilton Head Island, SC 29928

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**PROFESSIONAL SEAL:**  
  
**PRELIMINARY PLANS. NOT FOR CONSTRUCTION**

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PERSON	DATE	REV.

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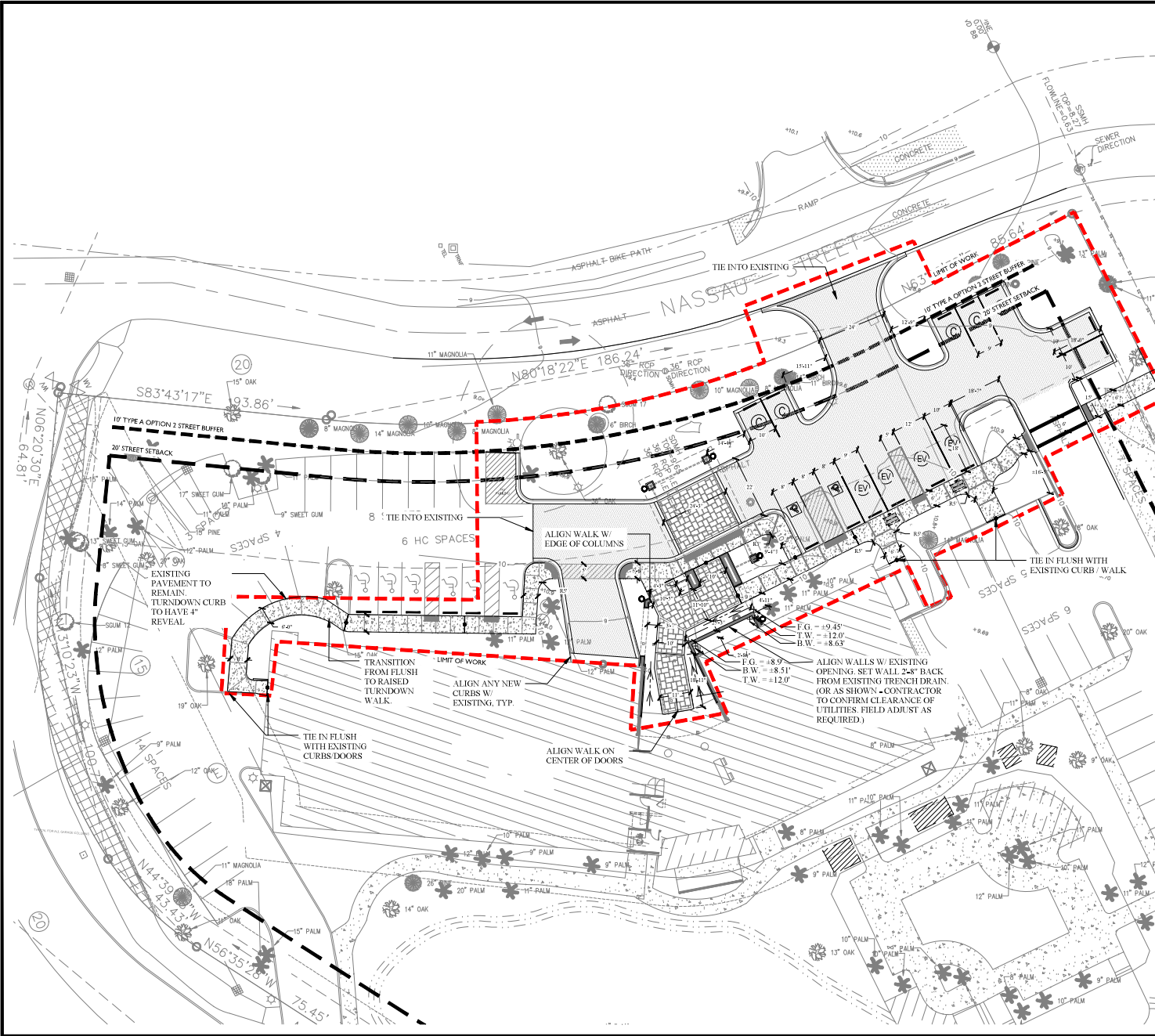
DATE: 3-6-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE: Site Plan

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SHEET NUMBER: L-100



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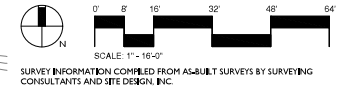
- GENERAL LAYOUT NOTES:**
1. DIGITAL FILES AVAILABLE FOR SURVEY STAKEOUT.
  2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL STAKE ALL WORK TO BE CONSTRUCTED AND OBTAIN APPROVAL FOR OWNER / OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
  4. CONTRACTOR SHALL PROVIDE MOCKUPS OF ALL HARDSCAPE FOR APPROVAL PRIOR TO CONSTRUCTION.
  5. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND CENTER OF WALLS UNLESS OTHERWISE INDICATED.
  6. ALL RADII AND CURVES ARE TO HAVE CONTINUOUS AND SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
  7. ALL CONCRETE EXPANSION AND CONTROL JOINTS SHOULD BE LOCATED / SCORED / CUT AS SHOWN. ANY JOINT LOCATIONS THAT DO NOT FOLLOW THESE PLANS OR HAVE BEEN MODIFIED IN THE FIELD WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT ARE SUBJECT TO DEMO / REMOVAL AND RE-POURING AT THE CONTRACTORS EXPENSE.
  8. THESE NOTES SHALL BE USED ALONG SIDE THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
  9. THESE DRAWINGS REPRESENT THE FINISHED WORK. ALL BRACING, TEMPORARY SUPPORTS, SHORING, FRAMING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONSTRUCTION OBSERVATION VISITS TO THE PROJECT SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS ON THE JOB / PROJECT SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.
  10. BUILDING PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR FOR ALL ELEMENTS OF THE DESIGN REQUIRED BY LOCAL CODE.

**SUPPLEMENTAL GRADING & DRAINAGE LEGEND**

+ T.W.	TOP OF WALL
- B.W.	BOTTOM OF WALL
+ F.G.	FINISH GRADE ( ALSO SEE CIVIL )
+	DRAIN PIPE (SEE CIVIL)
←	DIRECTION OF SWALE

**NOTE:**

1. REFER TO CIVIL FOR PARKING LOT GRADING AND DRAINAGE. THIS PLAN IS MEANT TO SUPPLEMENT CIVIL GRADING WITH TOP OF WALL INFORMATION.



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FOR  
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2 Tanglewood Drive  
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DESIGNER	DATE	BY

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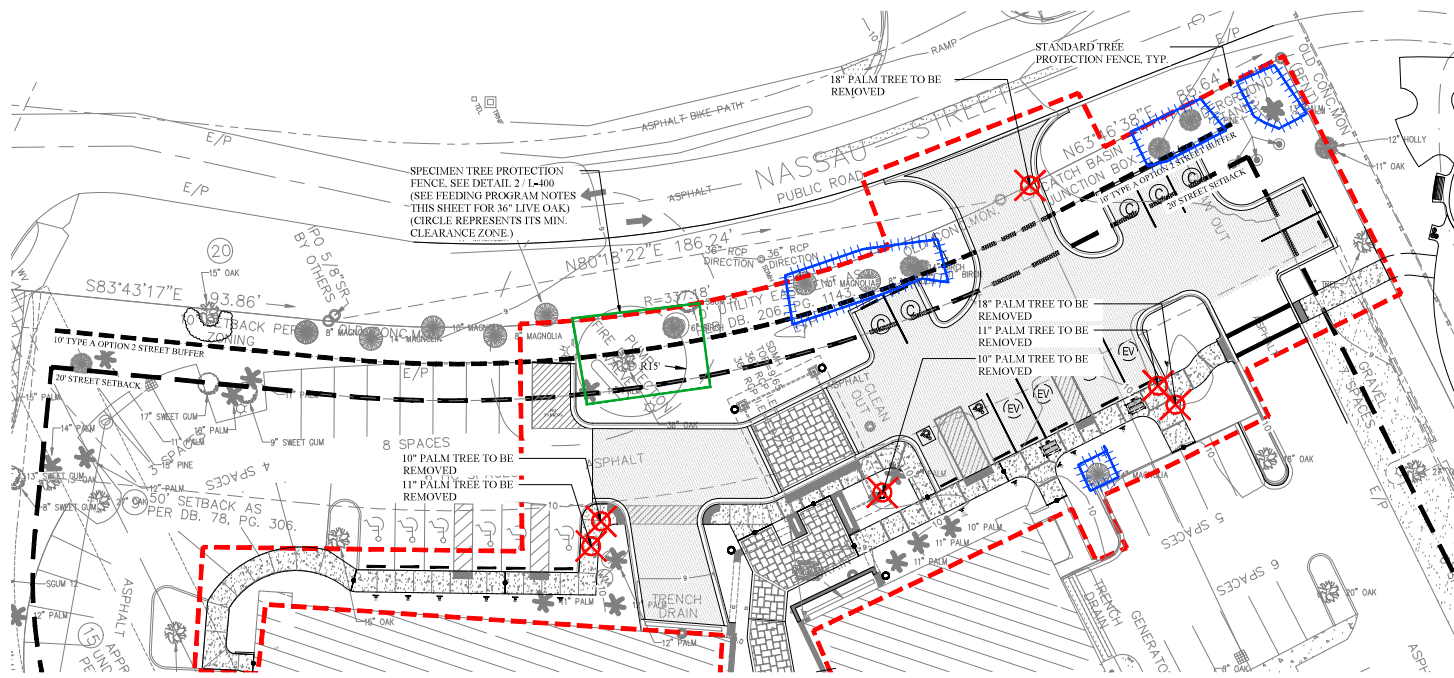
DATE: 3-6-2023  
PROJECT NUMBER: 01-22046  
SHEET TITLE: Layout & Supplemental Grading Plan

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SHEET NUMBER: L-200



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**SCHEMATIC TREE REMOVAL AND TREE PROTECTION PLAN**

1" = 16'-0"

**LEGEND**

- TREE TO BE REMOVED
- STANDARD TREE PROTECTION FENCE  
PROVIDE 4' HIGH BARRICADE PLACED AT PERIMETER OF TREE PROTECTION ZONE AS INDICATED ON PLANS. SEE DETAIL 1 / L-400 FOR MORE INFORMATION
- SPECIMEN TREE PROTECTION FENCE  
PROVIDE 4' HIGH WOOD BARRICADE PLACED AT PERIMETER OF TREE PROTECTION ZONE AS INDICATED ON PLANS. SEE DETAIL 2 / L-400 FOR MORE INFORMATION

**NOTES**

- TREE PROTECTION FENCING & EROSION CONTROL MEASURES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
- SEE CIVIL PLANS FOR EROSION CONTROL MEASURES.
- EROSION CONTROL AND TREE BARRICADES ARE TO BE IN PLACE AND APPROVED BY THE TOWN OF HILTON HEAD PRIOR TO ANY TREE CLEARING OR SITE DEMOLITION/CONSTRUCTION.
- BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ALL REQUIRED EROSION CONTROL, TREE PROTECTION MEASURES ARE INSTALLED. CONTACT THE TOWN'S CASE MANAGER TO SCHEDULE PRE-CLEAR INSPECTION.

**TREE REMOVAL SUMMARY**

SIZE	TYPE	CATEGORY
18"	PALM	III
12"	PALM	III
11"	PALM	III
10"	PALM	III
10"	PALM	III
11"	PALM	III
<b>TOTAL INCHES REMOVED BY CATEGORY</b>		
72"	PALMS	III

**TREE REPLACEMENT SUMMARY**

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

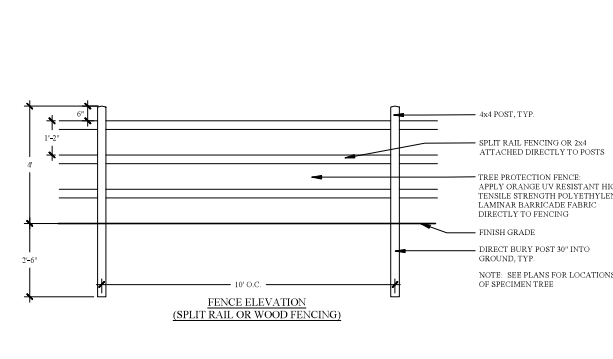
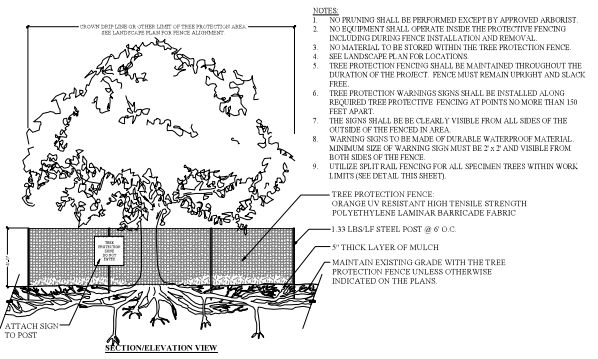
12" PALMS (CAT II) REMOVED  
7 CAT III (MIN) TREES REQUIRED FOR REPLACEMENT

2" CAL. 10' HT. MINIMUM REPLACEMENT REQUIRED

72" LIVE OAKS (O/V) AND (5) 12-16" SABLE PALMETOS (SASA) HAVE BEEN PROVIDED TO MEET BOTH TREE MITIGATION AND BUFFER PLANTING REQUIREMENTS

SEE LANDSCAPE PLAN AND SCHEDULE (L-401 & L-402) FOR REPLACEMENT TREE LOCATIONS & REQUIREMENTS.

- FEEDING PROGRAM FOR 36" LIVE OAK:**
- ALL WORK (FEEDING PROGRAM, PRUNING, ETC.) TO BE PERFORMED BY CERTIFIED ARBORIST. CONTRACTOR TO SUPPLY CERTIFICATES FROM LICENSED ARBORIST TO CONFIRM THE SERVICES LISTED BELOW WERE PERFORMED AS SPECIFIED.
  - 36" LIVE OAK TO RECEIVE PRE-CONSTRUCTION TREATMENT WITH CAMBISTAT. THIS GROWTH INHIBITOR LIMITS CANOPY DEVELOPMENT, ALLOWING THE TREE TO REDIRECT ITS ENERGY TOWARD ROOT GROWTH. THE RESULT IS A MORE VIGOROUS ROOT SYSTEM CAPABLE OF WITHSTANDING THE STRESS OF CONSTRUCTION ACTIVITIES. INJECT CAMBISTAT DIRECTLY INTO THE SOIL.
  - UNDER THE DIRECTION OF A CERTIFIED ARBORIST AND A TOWN OF HILTON HEAD ISLAND REPRESENTATIVE, PRUNE THE CROWN OF THE LIVE OAK AND CUT BACK ANY WEAK ENDS AS NECESSARY.
  - CERTIFIED ARBORIST SHALL ASSESS THE HEALTH OF THE 36" LIVE OAK AND CONSTRUCTION PROGRESS TO DETERMINE THE APPROPRIATE TIMING OF THE MYCOR TREATMENT.
  - MULCH WITHIN THE DRIP LINE OF THE 36" LIVE OAK WITH 4" LAYER OF ARBORIST WOOD CHIP/HARDWOOD MULCH. CARE SHOULD BE TAKEN TO KEEP THE MULCH 12" MINIMUM OFF THE ROOT FLARE.
  - A POST CONSTRUCTION CARE PROGRAM SHALL BE DEVELOPED BY CERTIFIED ARBORIST FOR THE 36" LIVE OAK AND MAY INCLUDE MYCOR TREATMENT AND WATERING PROGRAM.



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SHEET TITLE: Tree Removal & Protection Plans  
SHEET NUMBER: L-400

SCALE: 1" = 16'-0"

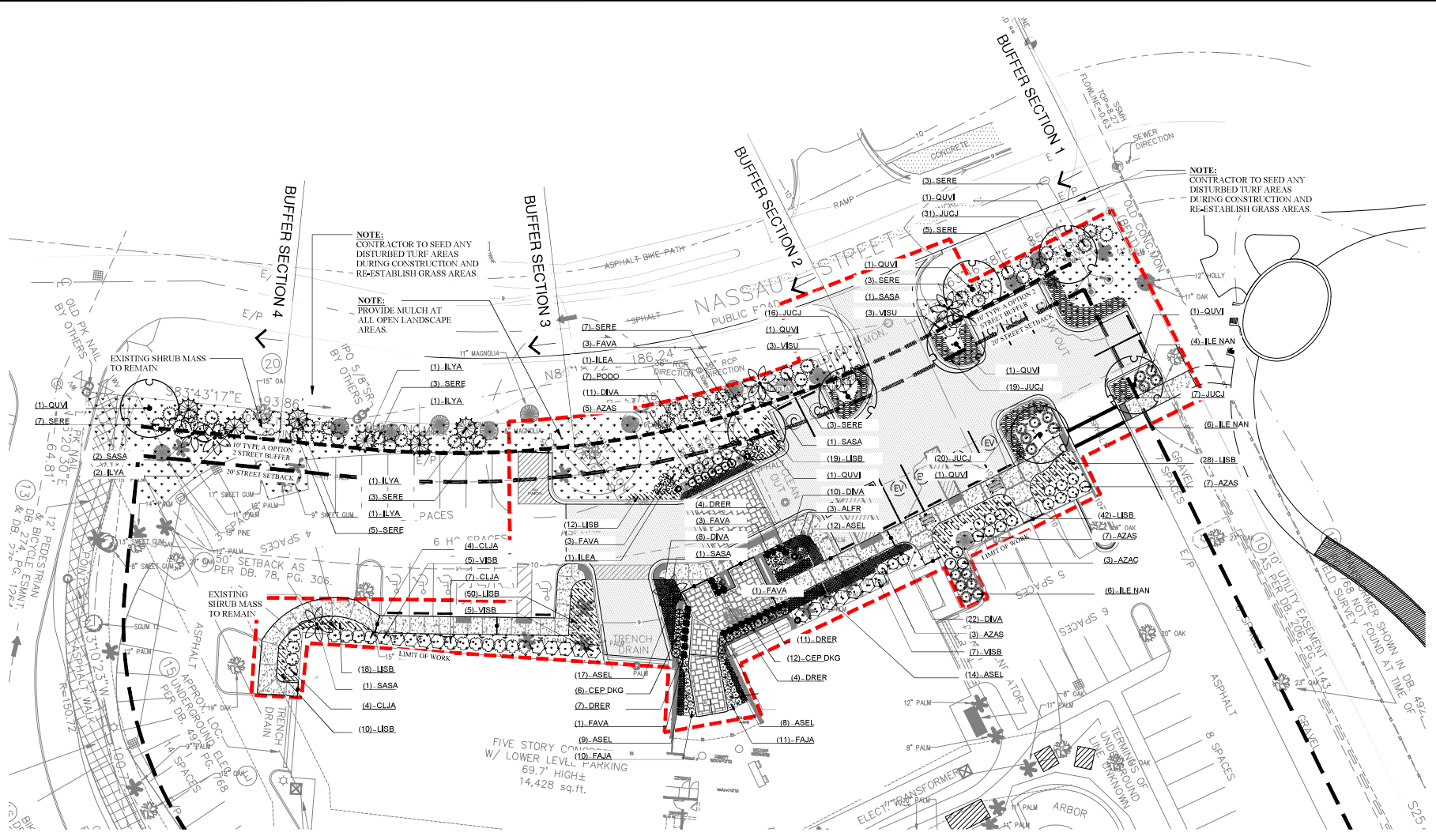
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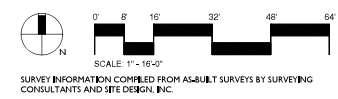
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NASSAU STREET BUFFER (BY SECTION)							
NASSAU STREET BUFFER (± 683 LF)							
BUFFER SECTION	BUFFER TYPE	OVERSTORY PROVIDED	OVERSTORY REQUIRED	UNDERSTORY PROVIDED	UNDERSTORY REQUIRED	SHRUBS PROVIDED	SHRUBS REQUIRED
SECTION 1 (100)	A-OPT2	2	2 (0 EX)	4	1 (0 EX)	10	11
SECTION 2 (100)	A-OPT2	2	0 (0 EX)	4	1 (0 EX)	10	10
SECTION 3 (100)	A-OPT2	2	0 (0 EX)	4	4 (0 EX)	10	10
SECTION 4 (± 68)	A-OPT2	2	1 (0 EX)	4	4 (0 EX)	10	7*

BUFFER NOTES:  
 1. 3 EXISTING SAW PALMETTO SHRUBS HAVE BEEN COUNTED TOWARD SECTION 4 BUFFER SHRUB PLANTINGS \*  
 2. NASSAU ST BUFFER TO BE MULCHED TO BACK OF NEW HARDSCAPE TO A 3" DEPTH UTILIZING PENSTRAW MULCH (SEE PLANT SCHEDULE)  
 3. CONTRACTOR SHALL REPAIR ANY DISTURBED TURF AREAS OUTSIDE OF BUFFER



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PROFESSIONAL SEAL:

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**PRELIMINARY PLANS: NOT FOR CONSTRUCTION**

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 SHEET TITLE: Landscape Plan  
 SHEET NUMBER: L-401

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**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT	SPREAD	REMARKS
ILYA	6	Ilex vomitoria 'Pride of Houston'	Pride of Houston Yaupon Holly	B & H OR CONT.		6' - 7'	2' - 3'	6" min. per Town of Hilton Head understorey buffer requirements.
QUVI	8	Quercus virginiana	Southern Live Oak	B & H OR CONT.	2" Cal. Min.	10' Min.		Per Town of Hilton Head's overstorey buffer requirements.
SASA	6	Sabal palmetto	Cabbage Palmetto	B & H OR CONT.		Varies (12'-16')		Hurricane Cut, Match heights of adjacent palms when placing next to building.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD		
ALFR	3	Alocasia micholitziana	Green Velvet Alocasia	3 gal	2'-3"	12" x 18"		Full in pot.
AZAC	3	Azalea x 'Robled'	Autumn Chiffon® Encore® Azalea	3 gal	12" x 18"	12" x 18"		Full in pot.
AZAS	22	Azalea x 'Robled'	Autumn Sangria® Encore® Azalea	3 gal	18" x 24"	12" x 18"		Full in pot.
CEP DKG	18	Cephalotax harringtonia 'Duke Gardens'	Duke Gardens Plum Yew	3 gal	16" x 18"	12" x 18"		Full in pot.
CLJA	15	Cleyera japonica	Sakaki	7 gal	48" - 60"	24" x 36"		Full in pot.
DRER	26	Dryopteris erythrosora	Autumn Fern	1 gal	12" x 18"	8" x 12"		Full in pot.
FAJA	21	Farfugium japonicum	Leopard Plant	1 gal	12" x 18"	8" x 12"		Full in pot.
FAVA	11	Fatsia japonica 'Variegata'	Camouflage® Variegated Fatsia	3 gal	2'-3"	20" x 24"		Full in pot.
ILE NAN	16	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 gal	18" x 24"	12" x 18"		Full in pot.
ILEA	2	Ilex x attenuata 'Eagleston'	Eagleston Holly	15 gal	5' - 6'	3' x 4'		Full to ground.
PODO	7	Podocarpus macrophyllus 'Maki'	Yew Podocarpus	7 gal	2'-3"	18" x 24"		Full, No whips.
SERE	39	Serenoa repens	Saw Palmetto	7 gal	18" x 24"	18" x 24"		Full in pot.
VISU	6	Viburnum suspensum	Sandankwa Viburnum	7 gal	30" x 36"	24" x 36"		Full in pot.
VISB	17	Viburnum tinus 'Spring Bouquet'	Spring Bouquet Laurastians	7 gal	24" x 36"	18" x 24"		Full in pot.

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
ASEL	60	Aspidistra elatior	Cast Iron Plant	1 gal.	12" x 18"	8" x 12"	24" o.c.
DIVA	51	Dianella tasmanica 'Variegata'	Variegated Flax Lily	1 gal.	8" x 12"	8" x 12"	30" o.c.
JUCJ	93	Juniperus conferta	Shore Juniper	1 gal.	3' - 6"	8" x 12"	30" o.c.
LISB	179	Liriope muscari 'Super Blue'	Super Blue Lilyturf	1 gal.	8" x 12"	6" - 8"	24" o.c.
MULCH	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
MLCH	10.578 sf	Pinestraw Mulch	Pinestraw Mulch	1 gal.			

**LANDSCAPE NOTES:**

- The landscape architect shall approve all plant substitutions prior to purchase or installation.
- The plant schedule included in this drawing was prepared for estimating purposes & for the contractors convenience only, and its accuracy is not guaranteed. The contractor shall perform his or her own quantity take-offs using the drawings to determine the quantities to his or her satisfaction. The contractor shall report any discrepancies to the landscape architect prior to submitting a final bid.
- Contractor shall warranty all exterior plants for one year from the date of substantial completion, against defects including but not limited to death and unsatisfactory growth. Defects associated with a lack of adequate maintenance, neglect, or abuse by the owner or incidents that are beyond contractor's control will not be covered by the one-year warranty.
- The contractor shall verify that all selected plant species are determined available at their specified sizes when the time of bidding. The contractor shall not make plant substitutions. If there are difficulties locating plant material as specified, contact the landscape architect prior to submitting the bid.
- All plant material shall have a well formed head with the minimum caliper, height, spread as shown in the plant schedule. trunks shall be undamaged and shape shall be typical of the species.
- All plant material shall be subject to approval by the landscape architect or owners representative before, during and after installation.
- All planting techniques shall conform to approved industry standards.
- The contractor shall coordinate with the owner's representative to establish a planting schedule that prioritizes the planting of all trees and lawn areas.
- All plant beds shall be mulched with pinestraw mulch to a depth of 3".
- All plant beds shall receive a weed inhibitor application at installation.
- All landscape material shall be correctly laid out and installed per the plans. The contractor is responsible by any means (survey, staking, etc.) to insure the correct plant layout and may seek the landscape architects approval for landscape material layouts prior to installation. The contractor shall coordinate with the landscape architect for these approvals and shall have all required plant material placed in their proposed locations prior to the landscape architects on-site approval. All plant material placement is subject to replacement and layout per the landscape architects discretion if the layout does not follow the plans.
- The landscape contractor shall leave all plant identification hangtag's on each plant until final approval has been granted per the Landscape Architects final punch / field report. Once the final approval is obtained, the hangtag's may be removed.

**IRRIGATION NOTES:**

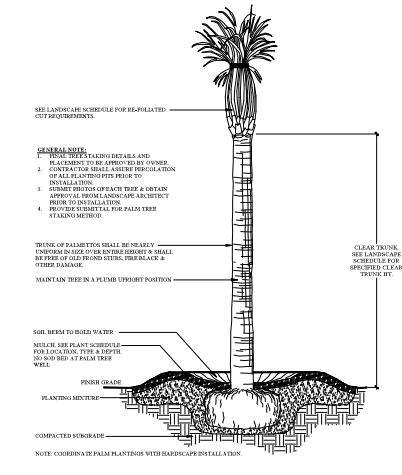
- Contractor shall ensure landscape is established through watering programs or automatic irrigation system at the Owner's direction. Irrigation system shall include all valves, pipes, heads, fittings, back-flow, & controllers. The installed system shall provide 100% coverage of all sod, hydroseed and planting beds. Connect to any existing irrigation system and controller as required.

**GRADING NOTES:**

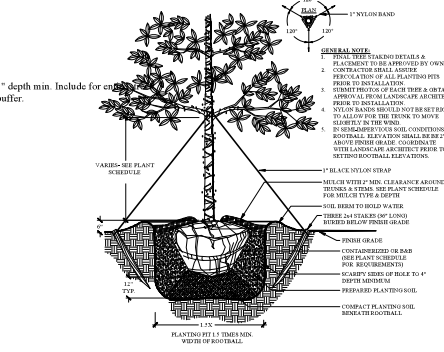
- Contractor to perform fine grading within all turf and plant beds. Fine grading shall consist of a hand raked, smooth soil free of rocks, roots, and debris.

**GENERAL NOTES:**

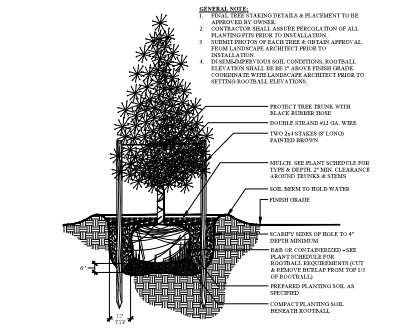
- Contractor is responsible for locating existing utilities, including existing irrigation system, and is responsible for any damage that may occur.
- Contractor is responsible for inspection of existing conditions and promptly reporting any discrepancies. Contractor to perform soil tests to determine necessary soil amendments within plant beds. Soil analysis with recommended and proposed amendments shall be included as part of any landscape submital.
- Notify landscape architect of any site conditions which may necessitate a modification to the plans. Landscape architect shall, if necessary, make "in-field modifications".
- Any deviation from these plans must be specifically approved by the landscape architect or owner's representative.
- Provide photo submitals of proposed landscape material to Owner's rep for approval prior to installation.



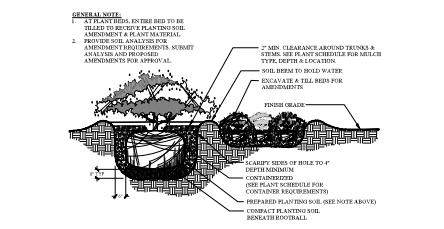
**1 PALM TREE PLANTING**  
SCALE: N.T.S.



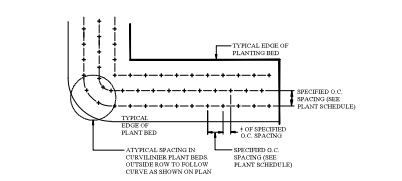
**2 SHADE TREE PLANTING**  
SCALE: N.T.S.



**3 EVERGREEN TREE PLANTING**  
SCALE: N.T.S.



**4 SHRUB AND GROUND COVER PLANTING**  
SCALE: N.T.S.



**5 GROUND COVER SPACING**  
SCALE: N.T.S.



**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

PROFESSIONAL SEAL:  
 PRELIMINARY PLANS; NOT FOR CONSTRUCTION

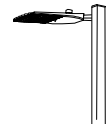
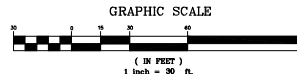
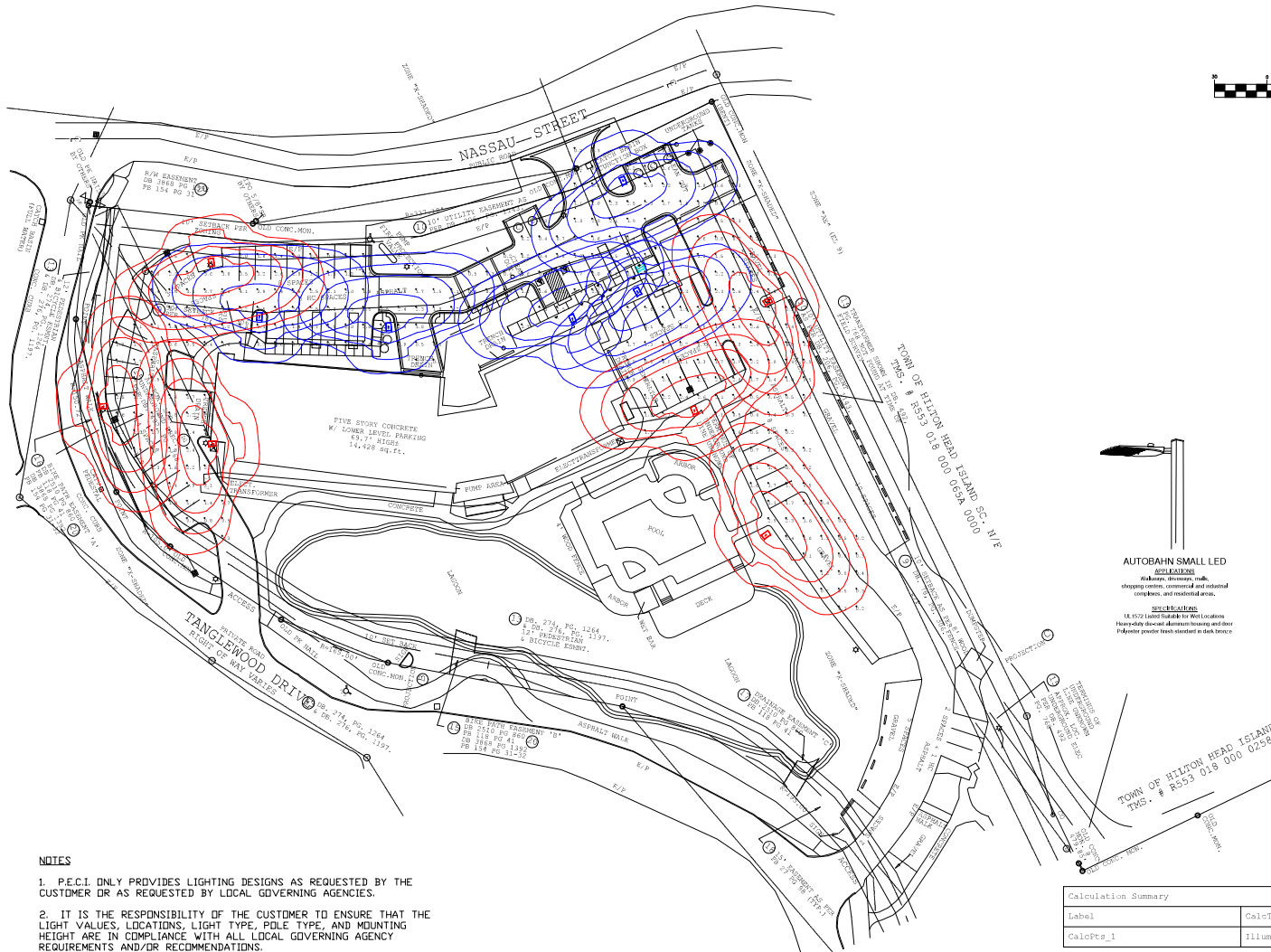
DRAWN BY:  
T.G. CC  
 CHECKED BY:  
T.G.

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PERSON	DATE	BY

DATE:  
3-6-2023  
 PROJECT NUMBER:  
01-22046  
 SHEET TITLE:  
Landscape Details, Notes, & Schedule

SHEET NUMBER:  
L-402



**AUTOBAHN SMALL LED**  
**SPILL LIGHTS**  
 Sidewalk, driveway, walk, shopping centers, commercial and industrial conditions, and residential areas.  
**REQUIREMENTS**  
 18.5" LED fixture for wall location. Hanging device aluminum housing and clear Polycarbonate lens standard in dark bronze.

LumNo	Label	X	Y	Z	Orient	Tilt
1	New Autobahn Small	252.114	893.927	20	94.129	0
2	Existing Autobahn Small	457.526	806.375	20	207.732	0
3	Existing Autobahn Small	151.402	931.971	20	280.368	0
4	Existing Autobahn Small	89.5	849.436	20	4.462	0
5	Existing Autobahn Small	152.777	828.458	20	195.981	0
6	Existing Autobahn Small	425.831	846.694	20	112.012	0
7	Existing Autobahn Small	405.723	776.186	20	35.911	0
8	New Autobahn Small	384.945	978.227	20	252.506	0
9	New Autobahn Small	356.744	696.659	20	113.091	0
10	New Autobahn Small	178.778	696.776	20	88.258	0
11	New Autobahn Small	393.025	915.252	20	298.571	0

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	illuminance	Fc	1.45	4.1	0.2	7.25	20.50

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	5	New Autobahn Small	SINGLE	N.A.	0.720	175EQ LED 3000K ON 20' MOUNTING HEIGHT 25' POLE
	6	Existing Autobahn Small	SINGLE	N.A.	0.720	375EQ LED 3000K ON 20' MOUNTING HEIGHT 25' POLE

- NOTES**
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
  - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
  - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.

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PALMETTO ELECTRIC COOPERATIVE, INC.  
 1 COOPERATIVE WAY  
 HARDVILLE, SOUTH CAROLINA 29827  
 (843) 208-5551 / FAX (843) 208-5532



DESIGNED BY: TH  
 CHECKED BY: ENG  
 DRAWN BY: AM  
 DATE: 3/1/23  
 SCALE: 1" = 40'  
 PROJECT NO.: E231002L  
 MAP NO.: 0000000  
 SHEET NO.:  
 1  
 OF  
 1

LIGHTING PROPOSAL FOR  
 THE HOLIDAY INN TANGLEWOOD DR  
 TANGLEWOOD DRIVE  
 HILTON HEAD ISLAND  
 BEAUFORT COUNTY, SOUTH CAROLINA

Site Photos



Building View at Existing Entry



Building View at Northern End looking south

Site Photos



Existing Building Entry



Building Entry looking North



Nassau Street Buffer Photos



Nassau Street - Existing Street Buffer (Section 3) looking North



Nassau Street - Existing Street Buffer (Section 2) looking South at Specimen Oak

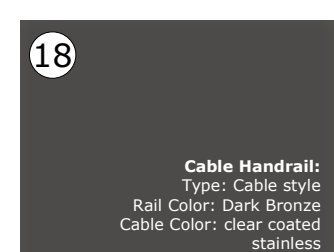
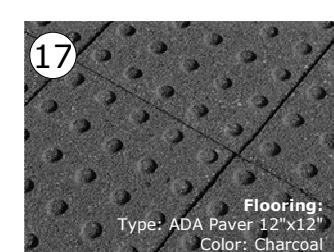
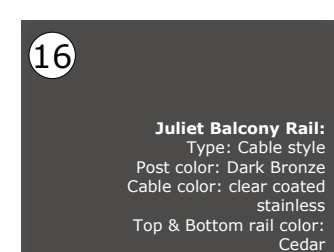
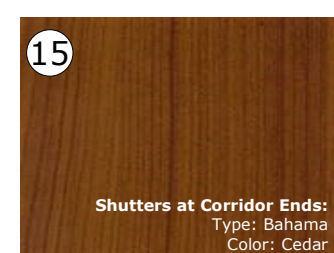
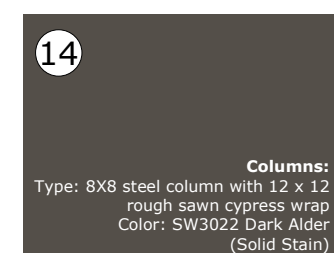
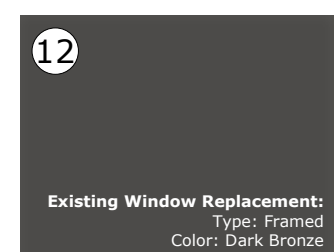
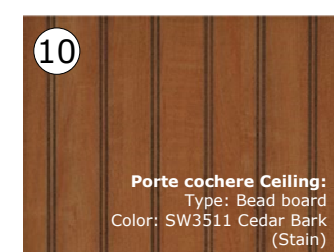
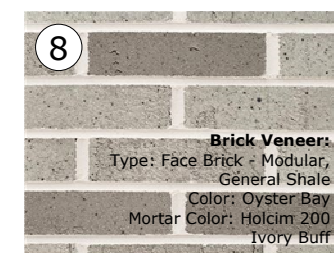
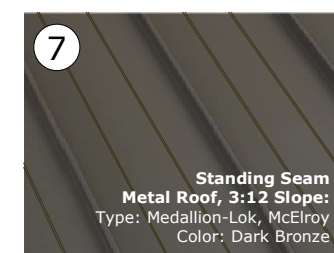
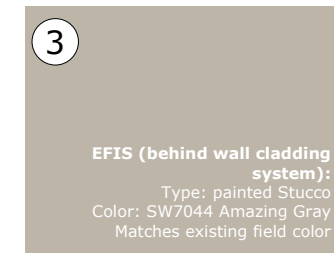
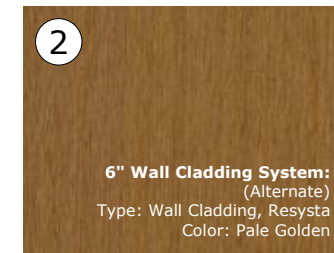
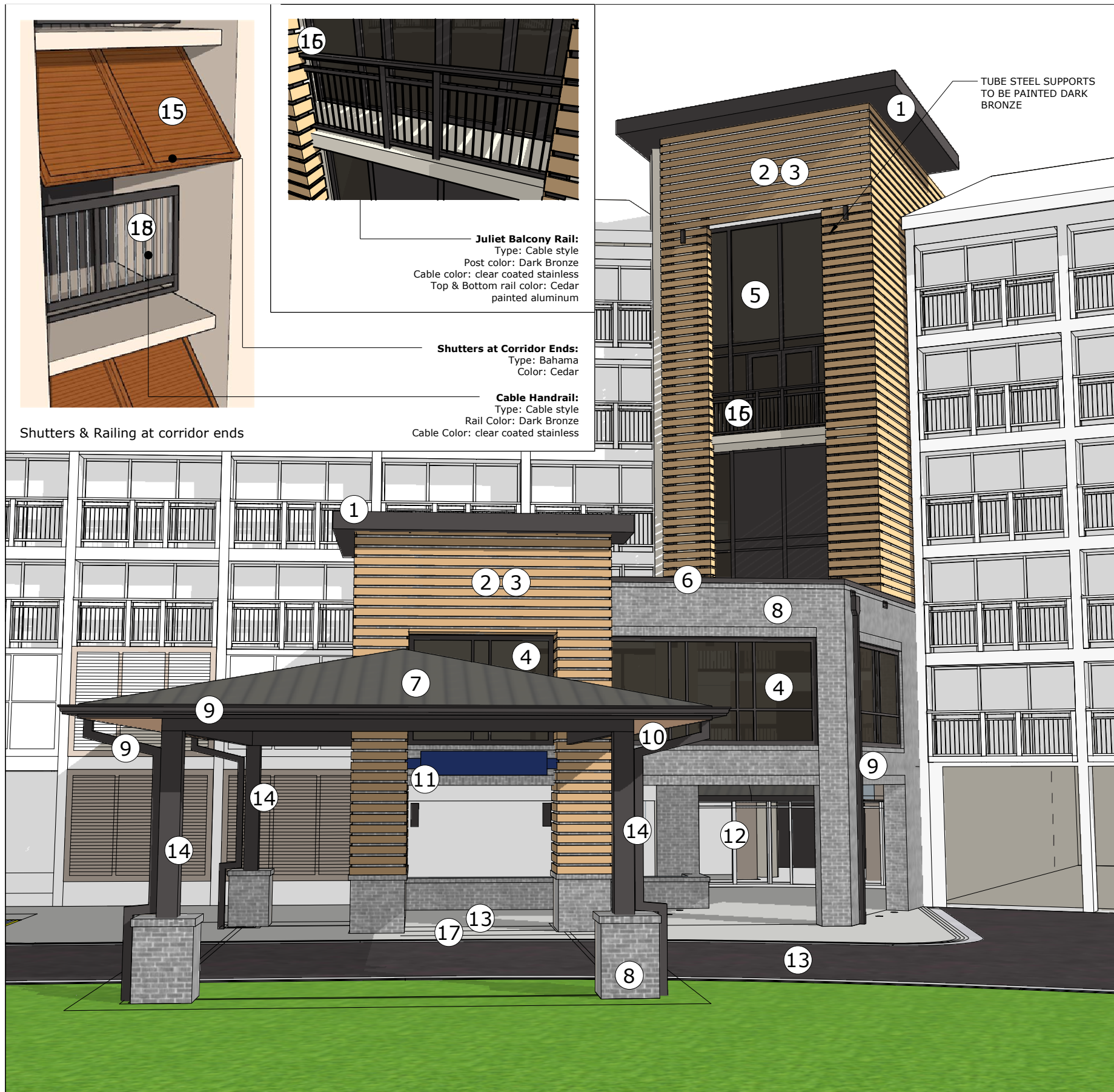
Nassau Street photos



Adjacent Coral Sands Curb Cut (Proposed new curb cut alignment)



Nassau Street Buffer and Northern Adjacent Use Buffer at LC Park



ISSUE DATE: 03/06/2023

A PROPOSED VIEW

# Holiday Inn Express Renovations (2 Tanglewood Drive)



**Metal Roofing Caps:**  
Type: Flashing  
Color: Dark Bronze



**Metal Brick Caps:**  
Type: Flashing  
Color: Dark Bronze



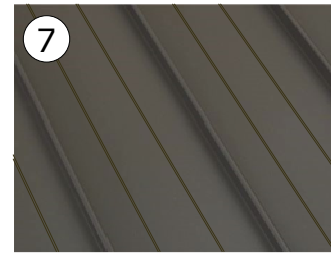
**Custom Wrapped Holiday Inn Express Entrance Welcome Sign:**  
Type: Vinyl Wrapped  
Color: design to be submitted with sign package



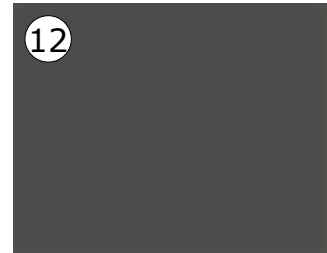
**Juliet Balcony Rail:**  
Type: Cable style  
Post color: Dark Bronze  
Cable color: clear coated stainless  
Top & Bottom rail color: Cedar



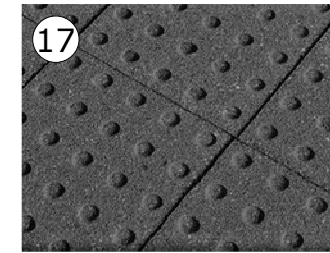
**6" Wall Cladding System:**  
(Alternate)  
Type: Wall Cladding, Resysta  
Color: Pale Golden



**Standing Seam Metal Roof, 3:12 Slope:**  
Type: Medallion-Lok, McElroy  
Color: Dark Bronze



**Existing Window Replacement:**  
Type: Framed  
Color: Dark Bronze



**Flooring:**  
Type: ADA Paver 12"x12"  
Color: Charcoal



**EFIS (behind wall cladding system):**  
Type: painted Stucco  
Color: SW7044 Amazing Gray  
Matches existing field color



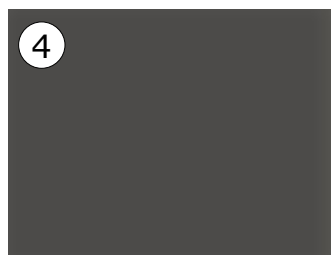
**Brick Veneer:**  
Type: Face Brick - Modular, General Shale  
Color: Oyster Bay  
Mortar Color: Holcim 200 Ivory Buff



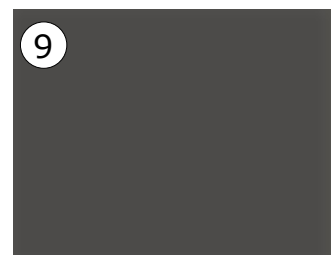
**Flooring:**  
Type: Dublin Cobble, Paver  
Color: Artic



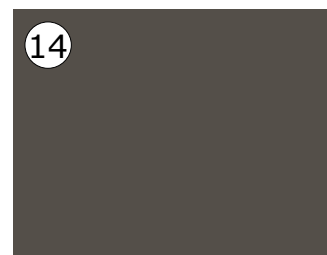
**Cable Handrail:**  
Type: Cable style  
Rail Color: Dark Bronze  
Cable Color: clear coated stainless



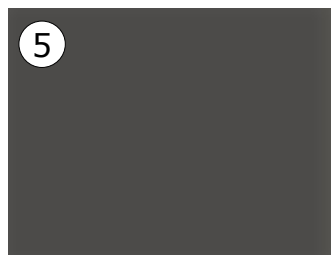
**Window:**  
Type: StoreFront with Glaze  
Color: Dark Bronze



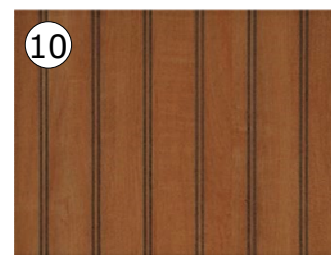
**Gutter & Downspout:**  
Type:  
Flat roof: Scupper  
Porte Cochere: 6" K-style  
Color: Dark Bronze



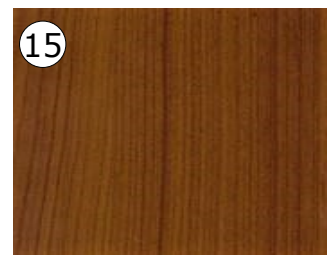
**Columns:**  
Type: 8X8 steel column with 12 x 12 rough sawn cypress wrap  
Color: SW3022 Dark Alder (Solid Stain)



**Window:**  
Type: Glass Curtain Wall with Glaze  
Color: Dark Bronze



**Porte cochere Ceiling:**  
Type: Bead board  
Color: SW3511 Cedar Bark (Stain)



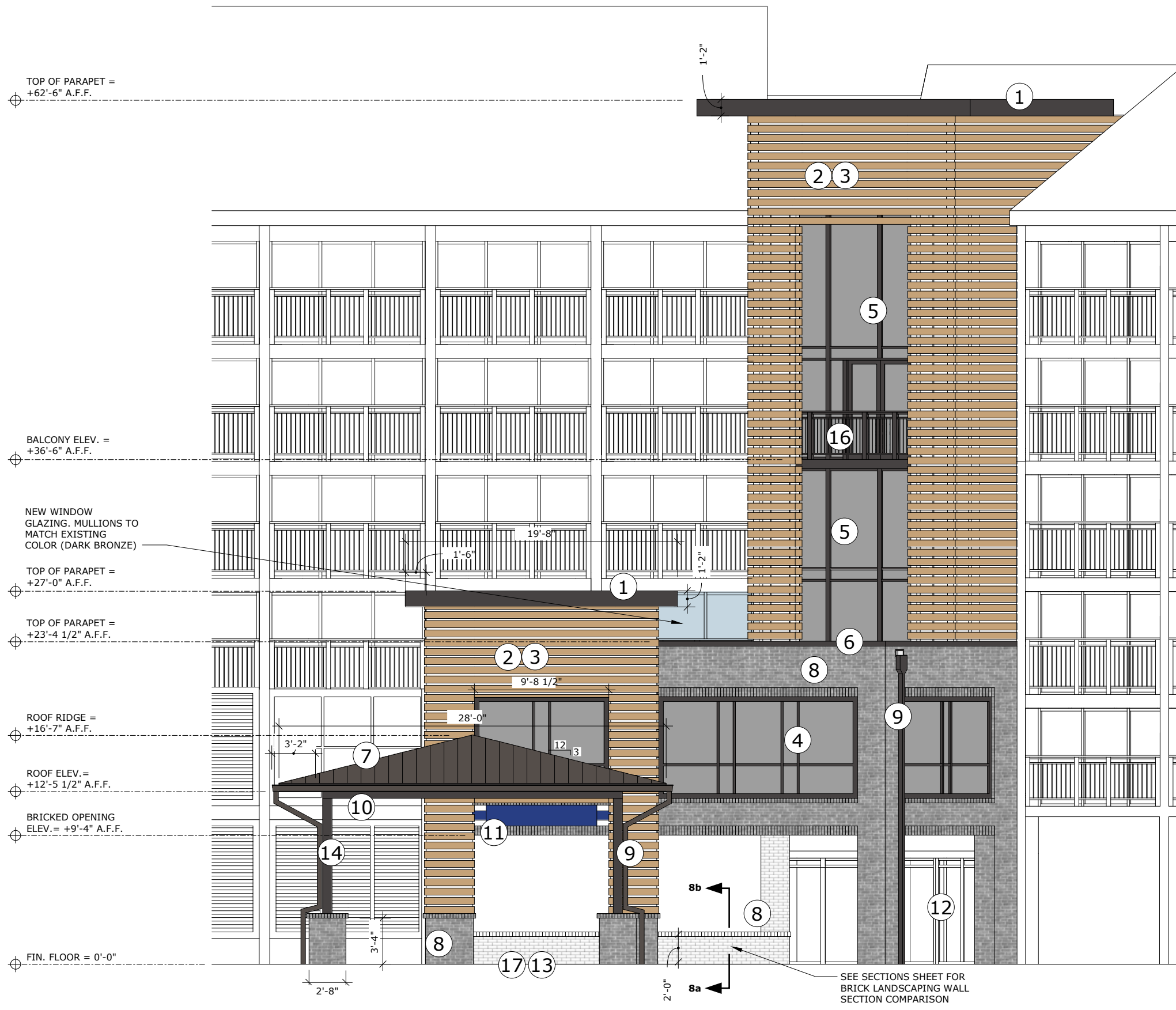
**Shutters at Corridor Ends:**  
Type: Bahama  
Color: Cedar

ISSUE DATE: 03/06/2023

1 EXTERIOR MATERIAL LIST

Holiday Inn Express Renovations (2 Tanglewood Drive)





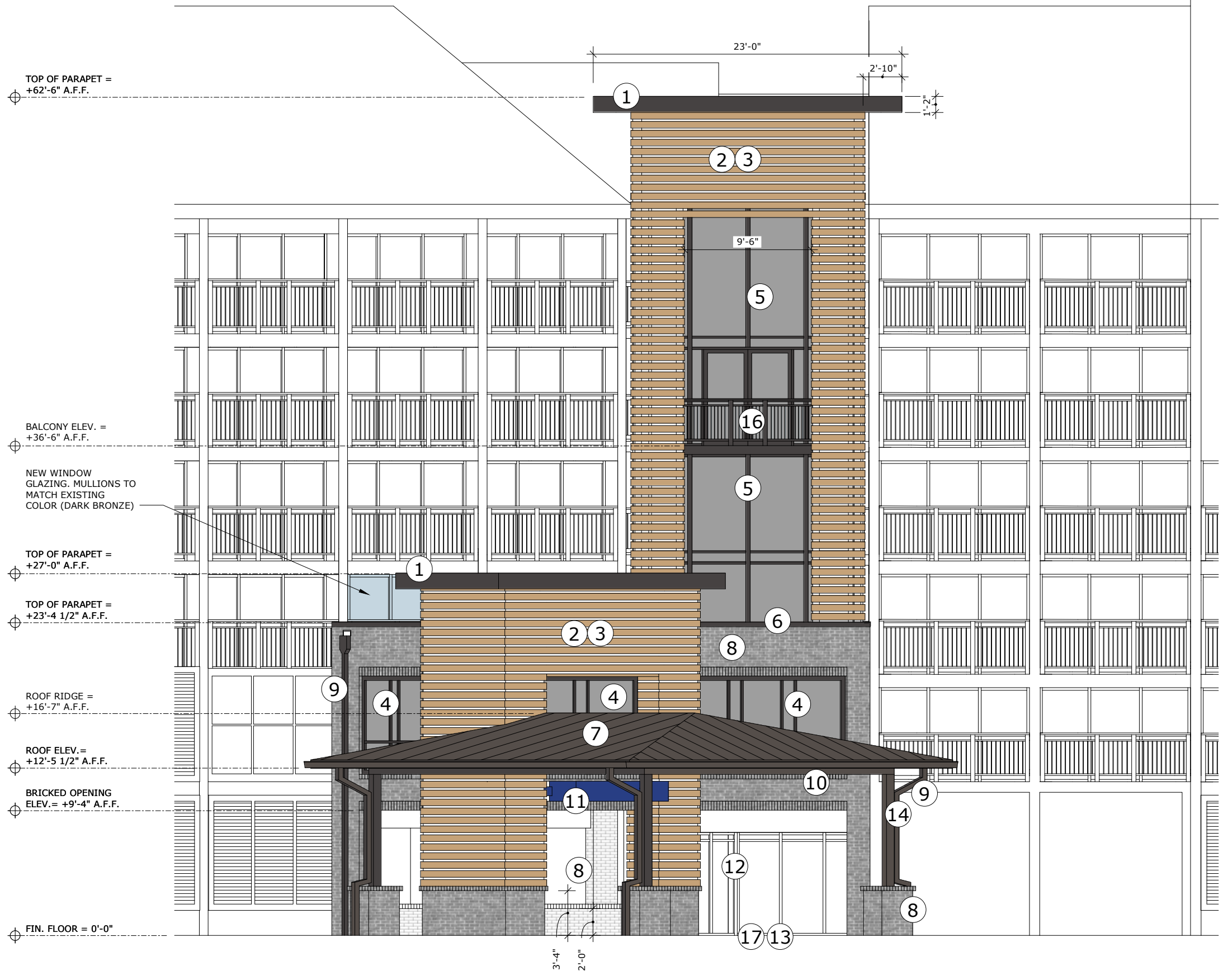
ISSUE DATE: 03/06/2023

2 EXTERIOR ELEVATION - FRONT ENTRY

SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)



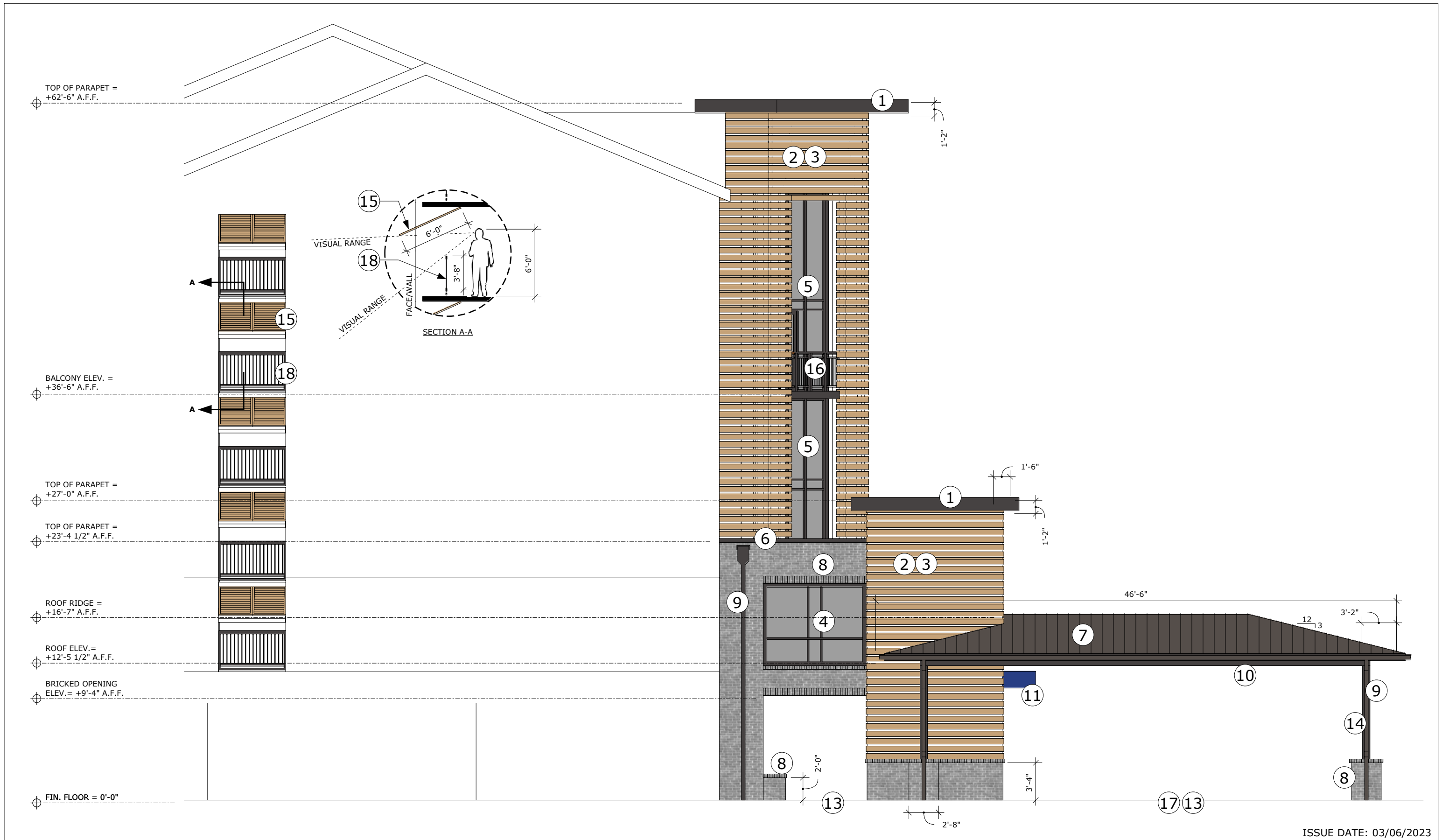


ISSUE DATE: 03/06/2023

**3** EXTERIOR ELEVATION - FRONT ENTRY  
SCALE: 1/8" = 1'-0"

**Holiday Inn Express Renovations (2 Tanglewood Drive)**





ISSUE DATE: 03/06/2023

4 EXTERIOR ELEVATION - FRONT ENTRY (LEFT)

SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





ISSUE DATE: 03/06/2023

5

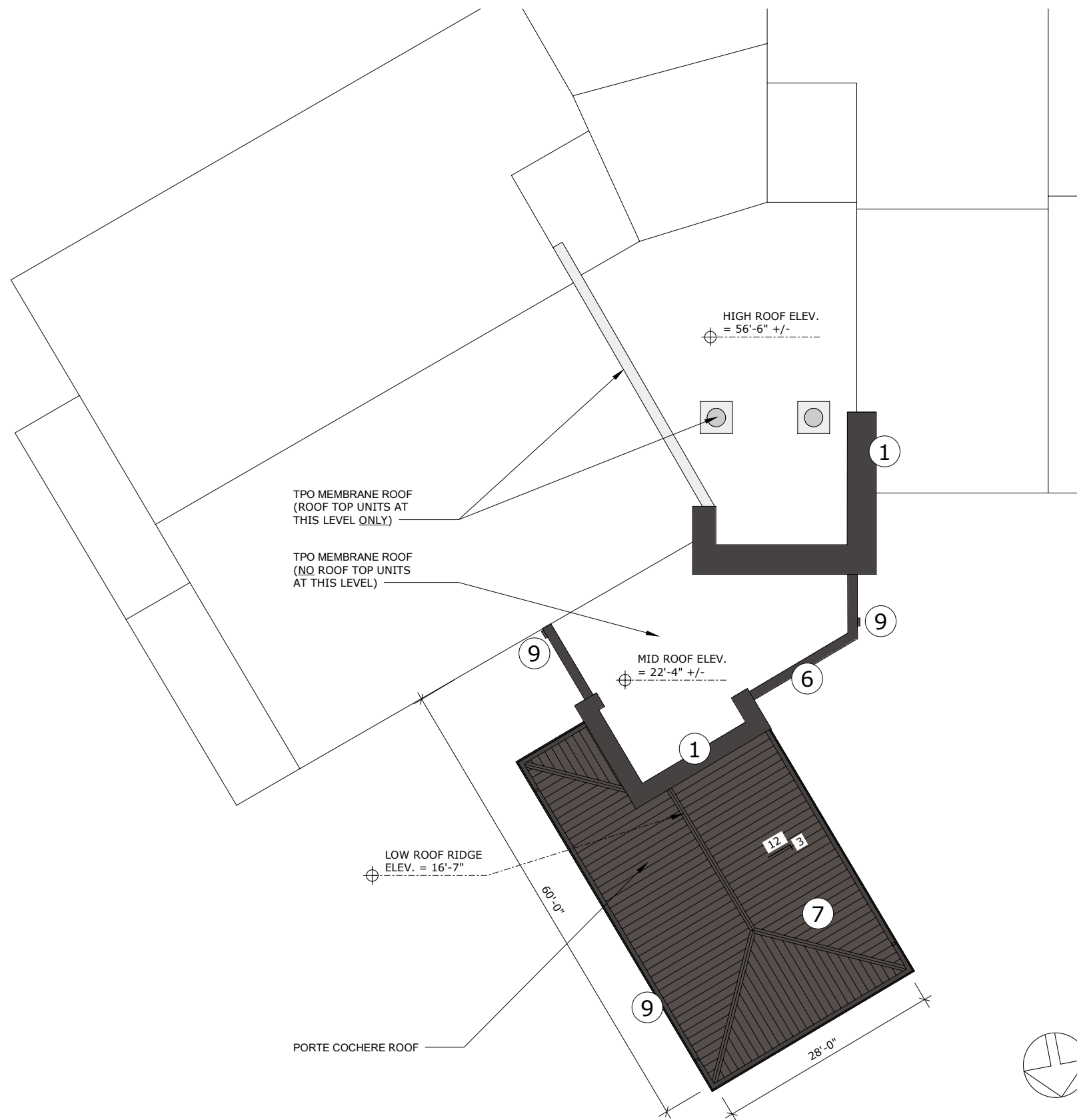
EXTERIOR ELEVATION - REAR

SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)







ISSUE DATE: 03/06/2023

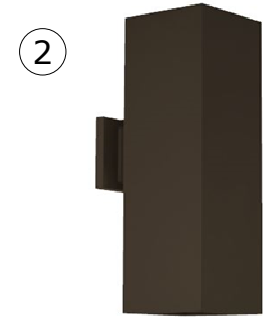
6 ROOF PLAN  
SCALE: 1/16" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





**Light Fixture:**  
INTENSE Light MXG 20PSD  
3000K Down Light



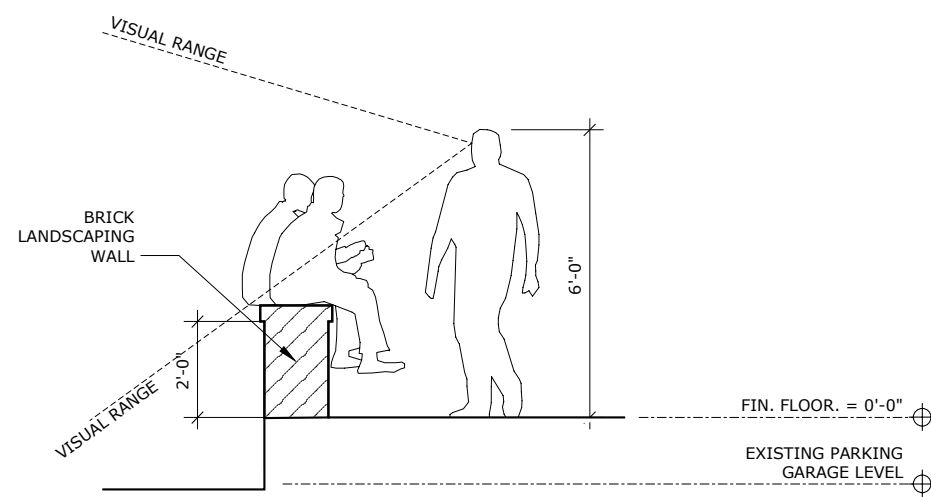
**Light fixture:**  
Progress Lighting P560295-  
020-30 Dimable up/down  
light, 3000K

ISSUE DATE: 03/06/2023

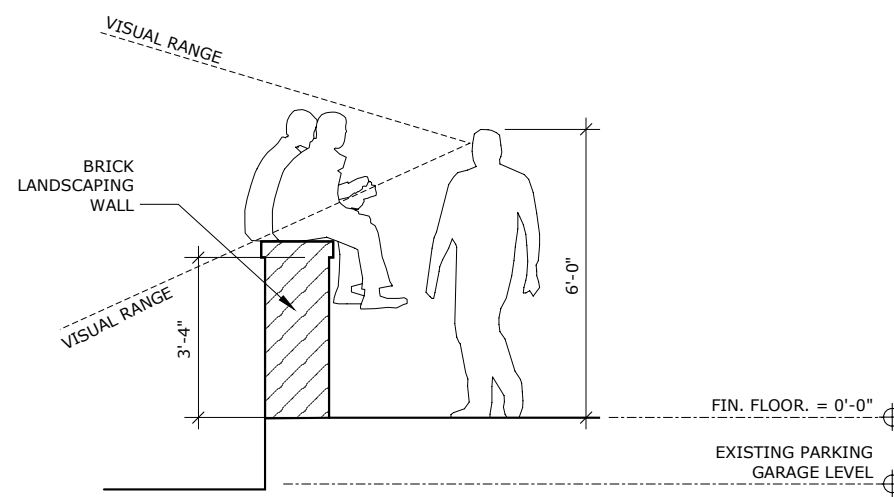
7 LIGHTING PLAN  
SCALE: 1/16" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





**8a** 2'-0" HIGH BRICK LANDSCAPING WALL  
SCALE: 1/4" = 1'-0"



**8b** 3'-4" HIGH BRICK LANDSCAPING WALL  
SCALE: 1/4" = 1'-0"

ISSUE DATE: 03/06/2023

8

SECTIONS AT BRICK LANDSCAPING WALL

SCALE: AS SHOWN

**Holiday Inn Express Renovations** (2 Tanglewood Drive)



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Holiday Inn Express

DRB#: DRB-000542-2023

DATE: March 8, 2023

CATEGORY: Final

RECOMMENDATION: Approval  Approval with Conditions  Denial

### RECOMMENDED CONDITIONS:

1. Reduce the scale of the brick column base on the Porte cochere. Create a tiered size for column bases from the Porte cochere to the columns under the new breakfast area by adding a cap detail to those columns at the larger size.
2. Modify the detail for the attachment of the Bahama Shutter to the building. The proposed detail will create a void/space between the top ceiling of the hallway and the top shutter creating the opportunity for birds to nest.
3. Check that proposed standing seam metal roof and metal roof caps can be matched in color if they are from different manufacturers so that the colors match.
4. Match new standing seam metal roof to the existing gage and width of the existing panels.
5. Modify lighting fixtures proposed on tower element due to scale of tower for staff approval. Recommend uplighting from roof element.

### MISC COMMENTS/QUESTIONS

1. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.
2. Floodplain Review Corrections Required Shari Mendrick: [sharim@hiltonheadislandsc.gov](mailto:sharim@hiltonheadislandsc.gov)
  - The original plan shows the ground floor enclosure was designed to be an elevator lobby. Uses below the deign flood elevation are restricted to parking, limited storage and building access. The elevator lobby was permitted to be constructed as "building access."
  - The proposed use as a "Guest Registration Services" is no longer an allowable use below the lowest floor. To change the use, the area will be required to be dry floodproofed to 11' msl using NAVD88.
  - If the cost of the improvement is greater than 49% of the value of the structure, the entire structure will meet the specific standards in section 15-9-312 of the Town's Code of Ordinances to include elevating all equipment.