



Town of Hilton Head Island  
**Design Review Board Meeting**  
**Tuesday, February 28, 2023 – 2:30 p.m.**  
**AGENDA**

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The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

**1. Call to Order**

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

**3. Roll Call**

**4. Introduction of Shea Farrar, new Board Coordinator**

**5. Approval of Agenda**

**6. Approval of Minutes**

a. Meeting of January 24, 2023, Regular Meeting

**7. Appearance by Citizens**

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m. the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

**8. Unfinished Business**

**a. Alteration/Addition**

- **DRB 00039-2023 Dunes House Awning** – This application proposes to replace an existing awning and add a new section of awning.

**9. New Business**

**a. Alteration/Addition**

- **DRB 000351-2023 The Other Sister's Wine Bar** – This application proposes to replace the existing awning with a roof structure covering the patio.
- **DRB 000365-2023 Holiday Inn Express** – The proposed hotel addition/ renovation will include a new Porte Cochere and tower infill element.

**10. Board Business**

**11. Staff Report**

a. Minor Corridor Report

**12. Adjournment**

**Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.**



Town of Hilton Head Island  
**Design Review Board Meeting**

January 24, 2023, at 2:30 p.m.

## **MEETING MINUTES**

**Present from the Board:** Judd Carstens, Vice-Chair; Annette Lippert; Todd Theodore; Ryan Bassett; John Moleski; Tom Parker

**Absent from the Board:** Cathy Foss

**Present from Town Staff:** Brian Eber, Interim Development Services Manager; Chris Darnell, Urban Designer; Trey Lowe, Senior Planner; Karen Knox, Senior Administrative Assistant

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### **1. Call to Order**

Vice Chair Carstens called the meeting to order at 2:30 p.m.

### **2. FOIA Compliance –**

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

### **3. Roll Call –**

Cathy Foss was excused.

### **4. Approval of Agenda**

Vice Chair Carstens asked for a motion to approve the agenda. Mr. Bassett moved to approve. Ms. Lippert seconded. By a show of hands, the motion passed with a vote of 6-0-0.

### **5. Approval of Minutes**

#### **a) Regular Meeting of January 10, 2023**

Vice Chair Carstens asked for a motion to approve the Minutes of January 10, 2023. Mr. Theodore moved to approve. Mr. Bassett seconded. By a show of hands, the motion passed with a vote of 6-0-0.

### **6. Appearance by Citizens**

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. There were several comments received on the Open Town Hall Portal. Those comments were sent to the Board and made part of the official record. No citizens spoke at the meeting.

### **7. Unfinished Business**

#### **a. Alteration/Addition**



- **DRB 0003027-2023 Dunes House** – This application proposes exterior color and material changes to the existing building.

Mr. Theodore recused himself and left the dais.

Mr. Darnell provided the staff's presentation as included in the packet. He reminded the Board that this item was tabled to this meeting to allow for additional information and clarification from the applicant. Another application with different changes to this building will be presented at the next DRB meeting. Staff recommended approval as submitted. With no other comments from the applicant, the Board moved to discussion.

The Board expressed concerns about the lack of architectural drawings to reference. The Board asked for clarification on the plan for shingle siding.

After discussion, Ms. Lippert moved to approve with the following conditions:

1. All the staff's recommendations.
2. Clarification that all existing trim is to remain or be replaced in kind.
3. All the soffits and brackets will be the trim color, and the ceiling between the two buildings will be the siding color.

Ms. Lippert amended her motion to include all current cedar shake siding be replaced one-to-one with the lap siding.

Mr. Parker seconded. The motion carried with a vote of 5-0-0.

## 8. New Business

### a) Alteration/Addition

- **DRB 000051-2023 The Bank** – This application is requesting the addition of arbors and a color change to the existing building.

Vice-Chair Carstens recused himself, handed the gavel to Ms. Lippert to act as Chair, and left the dais.

Mr. Darnell provided the staff's presentation as included in the packet. Staff recommended approval as submitted. With no additional comments from the applicant, the Board moved to discussion.

The Board questioned whether there would be any improvements to the landscaping. The applicant stated that there is a complete landscape plan being designed that was approved previously as a minor review.

The Board also discussed at great length the color of the building, and many thought that the Agreeable Gray color was too light considering the size of the building.

Ms. Lippert asked if the applicant was willing to change their submission to SW7030 A New Gray or whether they would like the Board to continue discussing the Agreeable Gray. The applicant asked how to proceed if the owner disagreed with the change in color. Mr. Darnell stated that the Applicant could come back with a proposed change. The Applicant agreed to the color, SW7030 A New Gray. The applicant asked about changing the floor stain to match the color change. Ms. Lippert stated that the color change could be done at a staff level.

Mr. Parker moved to approve with the following conditions:

1. Modify the brick paint to a darker shade, SW7030 A New Gray.

Ms. Lippert asked for an amendment to the motion to include that a slight change to the stain could be approved by staff.

Mr. Parker accepted the amendment.

Mr. Moleski seconded. The motion carried with a vote of 5-0-0.

## 9. Board Business

None

## 10. Staff Report

- a. Minor Corridor Report

None

## 11. Adjournment

The meeting adjourned at 3:28 p.m.

**Submitted By:** \_\_\_\_\_

**Karen D. Knox  
Senior Administrative Assistant**

**Date:**



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Laurie Sell Company: Greenwood Communities  
 Mailing Address: 4 Queens Folly City: HI State: SC Zip: 29928  
 Telephone: 843-422-6344 Fax: \_\_\_\_\_ E-mail: lsell@palmettodunes.com  
 Project Name: Dunes House Addition Project Address: 14 Dunes House Lane  
 Parcel Number [PIN]: R520 012 000 0334 0002  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

n/a Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

n/a A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

n/a A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

n/a A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

n/a Context photographs of neighboring uses and architectural styles.

n/a Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

n/a Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- N/A Final site development plan meeting the requirements of Appendix D: D-6.F.
- N/A Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- N/A A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

N/A Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

N/A Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

N/A Proposed landscaping plan.

For wall signs:

N/A Photograph or drawing of the building depicting the proposed location of the sign.

N/A Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Laurie Sell  
SIGNATURE

1-24-23  
DATE



P.O. Box 1546  
104 Maxwell Ave  
Greenwood, SC 29646

P 864-941-4044  
F 864-941-4014  
[www.GreenwoodCR.com](http://www.GreenwoodCR.com)

1/30/23

Town of Hilton Head  
1 Town Center  
Hilton Head Island, SC 29928

RE: Dunes House Awning  
14 Dunes House Lane

To whom it may concern:

In representation of the Palmetto Dunes Resort and Greenwood Communities and Resorts, Greenwood is requesting the ability to replace current awnings with the proposed awning. The proposed awning will create continuity from the outdoor kitchen area, entry to deck and outdoor bar seating.

In addition to the awning request itself, I would like to propose the color of the awning be Cobalt Blue (sample included in packet). This is requested to be consistent with Palmetto Dunes Alexander's awning as well as the beach umbrellas that are iconic to our Dunes House Beach.

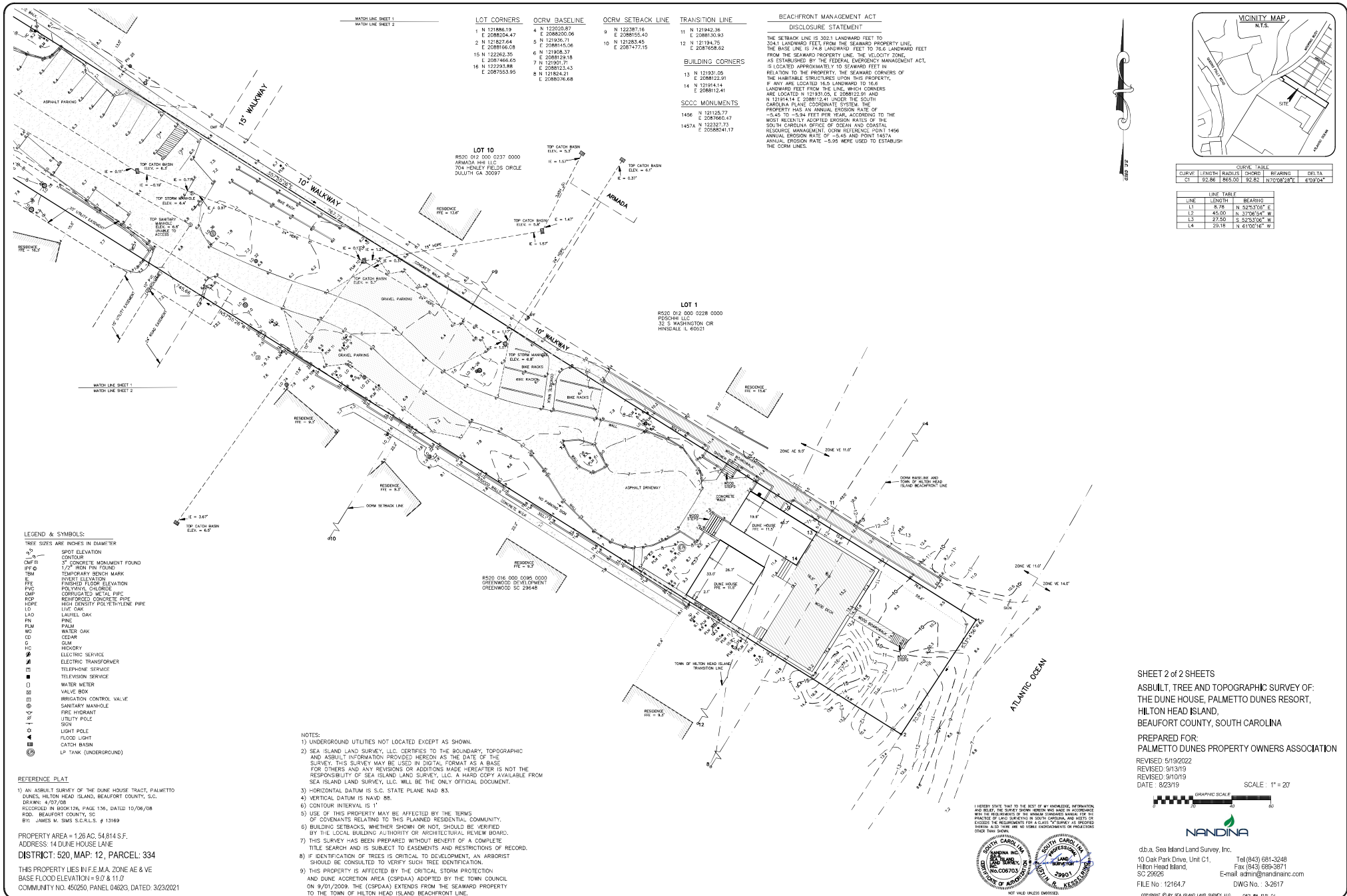
Please consider this replacement to be completed while the town approved exterior hardy board and metal roof project is being completed.

Best Regards,

A handwritten signature in blue ink that reads "Laurie Sell".

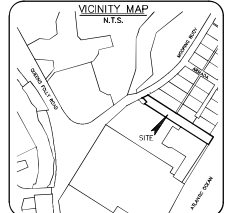
Laurie Sell  
Project Manager  
Greenwood Communities and Resorts  
[lsell@palmettodunes.com](mailto:lsell@palmettodunes.com)





WATCH LINE SHEET 1  
WATCH LINE SHEET 2

LOT CORNERS	OCRV BASELINE	OCRV SETBACK LINE	TRANSITION LINE	BEACHFRONT MANAGEMENT ACT
1 N 121886.19 E 2088204.47	4 N 122520.87 E 2088200.08	9 N 122878.16 E 2088203.40	11 N 121842.86 E 2088120.93	DISCLOSURE STATEMENT
2 N 121827.64 E 2088196.60	5 N 121926.71 E 2088145.08	10 N 121883.45 E 2087477.15	12 N 121844.75 E 2087558.82	THE SEABORD LINE IS 302.1 LANDWARD FROM THE SEABORD PROPERTY LINE. THE BASE LINE IS 14.8 LANDWARD FEET TO 16.8 LANDWARD FEET FROM THE SEABORD PROPERTY LINE. THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 10 SEABORD FEET IN RELATION TO THE PROPERTY. THE SEABORD CORNERS OF THE HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY ARE LOCATED 16.8 LANDWARD TO 16.4 LANDWARD FEET FROM THE LINE, WHICH CORNERS ARE LOCATED N 121835.05, E 2088122.91 AND N 121841.14, E 2088122.41 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF -5.42 TO -5.34 FEET PER YEAR, ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA OFFICE OF OCEAN AND COASTAL RESOURCE MANAGEMENT. (DOM REFERENCE POINT 1456 ANNUAL EROSION RATE OF -5.42 AND POINT 1457A ANNUAL EROSION RATE OF -5.36 WERE USED TO ESTABLISH THE OCVM LINES.
15 N 122282.35 E 2087466.65	6 N 121908.37 E 2088129.18			
16 N 122293.86 E 2087553.95	7 N 121901.71 E 2088123.43			
	8 N 121824.21 E 2088076.68			



CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	92.86	865.00	92.82	N70°08'24" E	8°00'04"

LINE	LENGTH	BEARING
L1	8.78	N 52°53'04" E
L2	45.00	N 37°08'54" W
L3	27.50	S 37°04'06" W
L4	20.18	N 61°07'00" W

- LEGEND & SYMBOLS:**  
TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
  - CONTOUR
  - 1/2" IRON PIN FOUND
  - TEMPORARY BENCH MARK
  - INSERT ELEVATION
  - FINISHED FLOOR ELEVATION
  - PLASTIC CHAIN
  - CORRUGATED METAL PIPE
  - REINFORCED CONCRETE PIPE
  - HIGH DENSITY POLYETHYLENE PIPE
  - LIVE OAK
  - LAUREL OAK
  - PINE
  - PALM
  - WATER OAK
  - CEGAR
  - DOGWOOD
  - HICKORY
  - ELECTRIC SERVICE
  - ELECTRIC TRANSFORMER
  - TELEPHONE SERVICE
  - TELEVISION SERVICE
  - WATER METER
  - VALVE BOX
  - IRRIGATION CONTROL VALVE
  - SANITARY MANHOLE
  - FIRE HYDRANT
  - UTILITY POLE
  - SIGN
  - LIGHT POLE
  - FLOOD LIGHT
  - CATCH BASIN
  - LP TANK (UNDERGROUND)

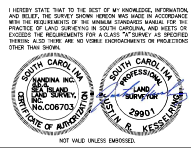
**REFERENCE PLAT**

1) AN ASBLUT SURVEY OF THE DUNE HOUSE TRACT, PALMETTO DUNES, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWING: 4/21/08. RECORDED IN BOOK 176, PAGE 136, DATED 10/06/08. FSO: BEAUFORT COUNTY, SC. BY: JAMES M. SIMS S.C.R.L.S. # 13169

PROPERTY AREA = 1.26 AC, 54,814 S.F.  
ADDRESS: 14 DUNE HOUSE LANE  
DISTRICT: 520, MAP: 12, PARCEL: 334  
THIS PROPERTY LIES IN F.E.M.A. ZONE AE & VE  
BASE FLOOD ELEVATION = 5.7 @ 11.1'

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - SEA ISLAND LAND SURVEY, LLC CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUT INFORMATION PROVIDED HERON ON THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC WILL BE THE ONLY OFFICIAL DOCUMENT.
  - HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
  - VERTICAL DATUM IS NAVD 88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS RECORD.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
  - THIS PROPERTY IS AFFECTED BY THE CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA (CSPDAA) ADOPTED BY THE TOWN COUNCIL ON 9/01/2009. THE (CSPDAA) EXTENDS FROM THE SEABARD PROPERTY TO THE TOWN OF HILTON HEAD ISLAND BEACHFRONT LINE.

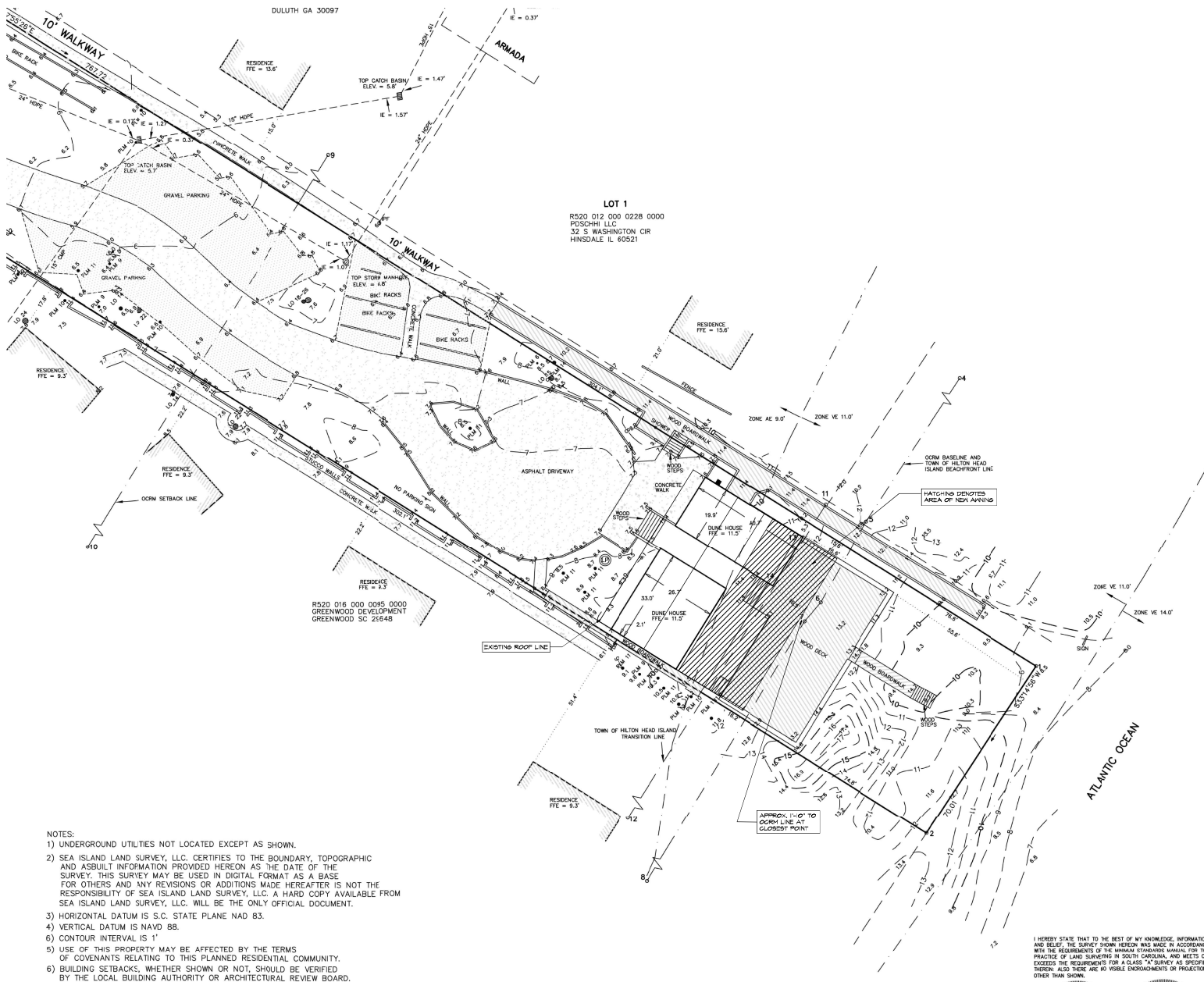
SHEET 2 of 2 SHEETS  
ASBLUT, TREE AND TOPOGRAPHIC SURVEY OF:  
THE DUNE HOUSE, PALMETTO DUNES RESORT,  
HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
PALMETTO DUNES PROPERTY OWNERS ASSOCIATION  
REVISED: 6/19/2022  
REVISED: 9/13/19  
REVISED: 9/10/19  
DATE: 8/23/19  
SCALE: 1" = 20'



1. I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY DRAWN THEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATUTES AND REGULATIONS GOVERNING THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS ALL REQUIREMENTS FOR CLASSIFICATION AS PROVIDED THEREIN. ALSO, THAT I AM NOT PROVIDING INFORMATION OR PROJECTIONS OTHER THAN SHOWN.

**NANDINA**  
d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
Tel: (843) 681-3298 Fax: (843) 685-3871 E-mail: admin@nandinainc.com  
FILE No.: 12164.7 DWG No.: 3-2617  
NOT VALID UNLESS EMPLOYED. COPYRIGHT © BY SEA ISLAND LAND SURVEY, LLC. DATE: 8/23/19





CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	92.86	865.00	92.82	N79°08'28"E	6°09'04"

LINE TABLE		
LINE	LENGTH	BEARING
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L3	27.50	S 52°53'06" W
L4	29.18	N 61°00'16" W

**LOT 1**  
 R520 012 000 0228 0000  
 PISOSPHI LLC  
 32 S WASHINGTON CIR  
 HINSDALE IL 60521

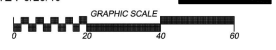
R520 016 000 0095 0000  
 GREENWOOD DEVELOPMENT  
 GREENWOOD SC 21648

**An Awning Addition to the  
 Dunes House  
 14 Dunes House Lane  
 Palmetto Dunes Plantation  
 Hilton Head Island, South Carolina**

SHEET 2 of 2 SHEETS  
 ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:  
 THE DUNE HOUSE, PALMETTO DUNES RESORT,  
 HILTON HEAD ISLAND,  
 BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
 PALMETTO DUNES PROPERTY OWNERS ASSOCIATION

REVISED: 5/19/2022  
 REVISED: 9/13/19  
 REVISED: 9/10/19  
 DATE: 8/23/19



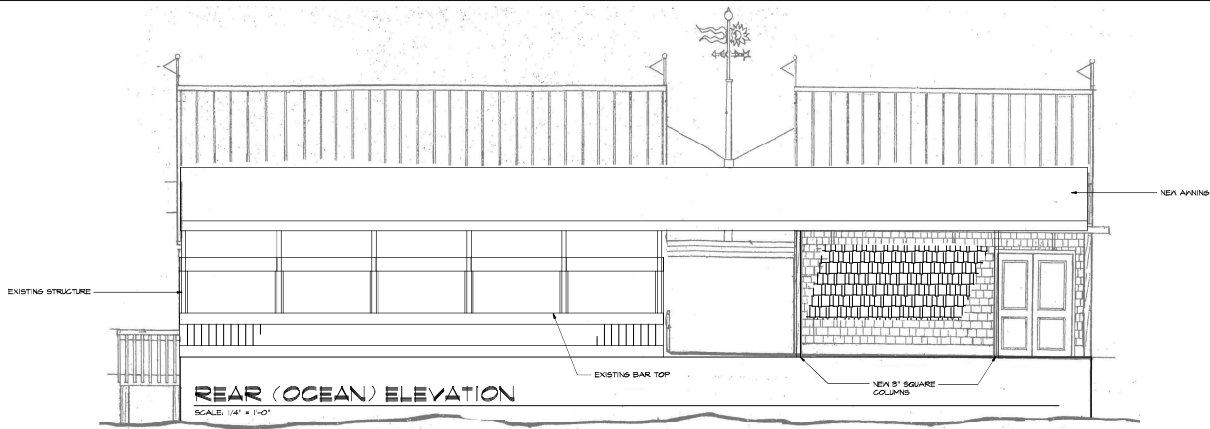
d.b.a. Sea Island Land Survey, Inc.  
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
 Tel (843) 681-3248  
 Fax (843) 689-3871  
 E-mail: admin@nandinainc.com  
 FILE No : 12164.7 DWG No. : 3-2817

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
  - VERTICAL DATUM IS NAVD 88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
  - THIS PROPERTY IS AFFECTED BY THE CRITICAL STORM PROTECTION AND DUNE ACCRETION AREA (CSPDAA) ADOPTED BY THE TOWN COUNCIL ON 9/01/2009. THE (CSPDAA) EXTENDS FROM THE SEAWARD PROPERTY TO THE TOWN OF HILTON HEAD ISLAND BEACHFRONT LINE.

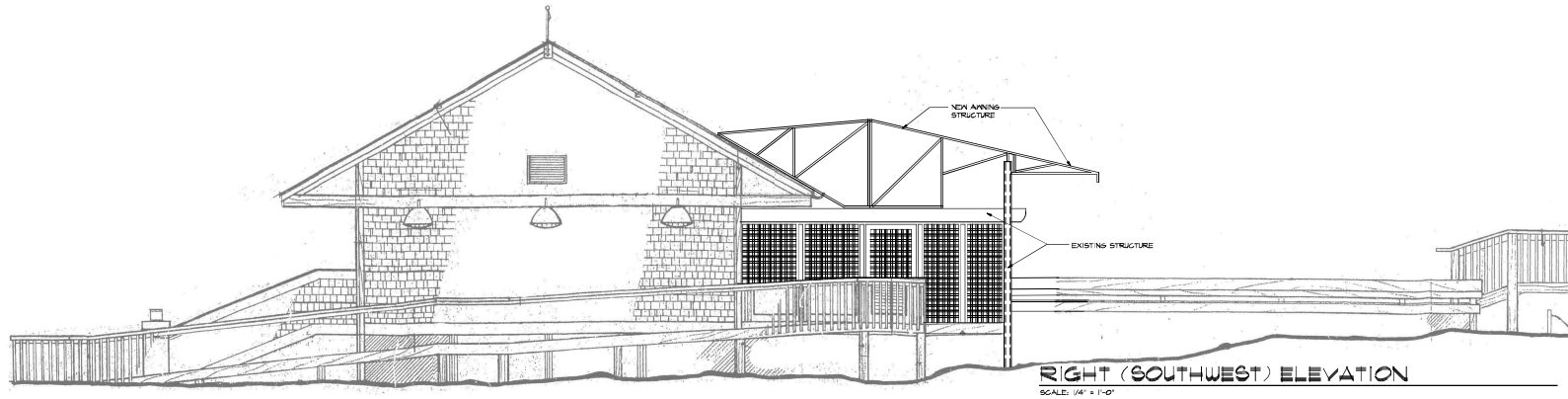
**SITE PLAN**  
 SCALE: 1/8" = 1'-0"

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THIS SURVEY FROM HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO KNOWN ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

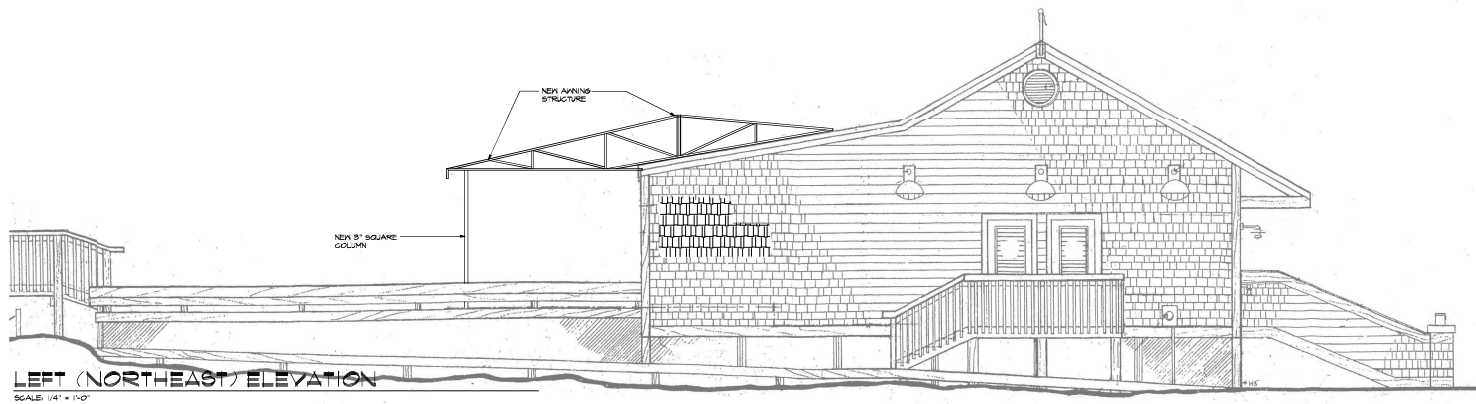
NOT VALID UNLESS EMBOSSED.



**REAR (OCEAN) ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT (SOUTHWEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

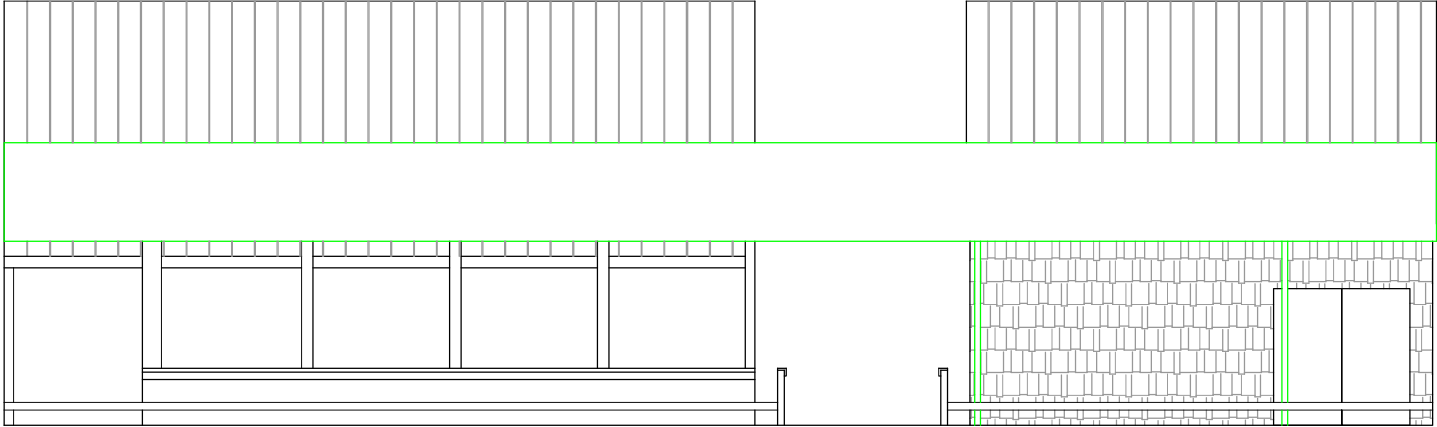


**LEFT (NORTHEAST) ELEVATION**  
SCALE: 1/4" = 1'-0"

An Awning Addition to the  
**Dunes House**  
 14 Dunes House Lane  
 Palmetto Dunes Plantation  
 Hilton Head Island, South Carolina

JOB NO.  
 DATE 02-13-23  
 DRAWN BY  
 CHECKED BY

REVISIONS



REAR ELEVATION

THIS DRAWING IS THE PROPERTY OF CCF CO., INC. AND  
 MUST BE USED ONLY IN CONNECTION WITH OUR WORK.  
 ANY REPRODUCTION OR TRANSMISSION OF THIS  
 DRAWING OR INFORMATION IS STRICTLY PROHIBITED.

REVIEWED BY

FRONT, SIDE, PLAN  
 &  
 ISOMETRIC FRAME VIEW

DRAWN BY J CORBIN	DATE 22-11-11	JOB NUMBER 220993
----------------------	------------------	----------------------

COASTAL CANVAS  
 PRODUCTS

1574 COUNTRY PARKWAY SAVANNAH, GEORGIA 31405  
 MAIN: 912.236.2416 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

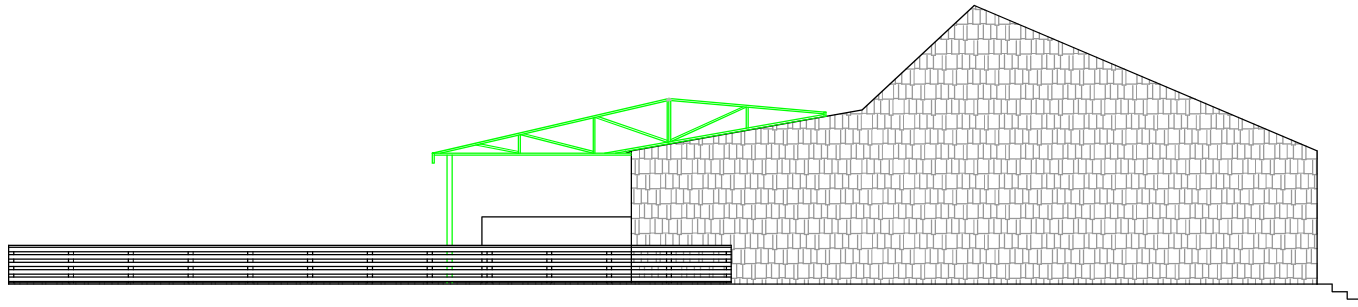
A NEW AWNING  
 FOR  
 THE DUNES HOUSE  
 RESTAURANT  
 14 DUNES HOUSE LANE  
 HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

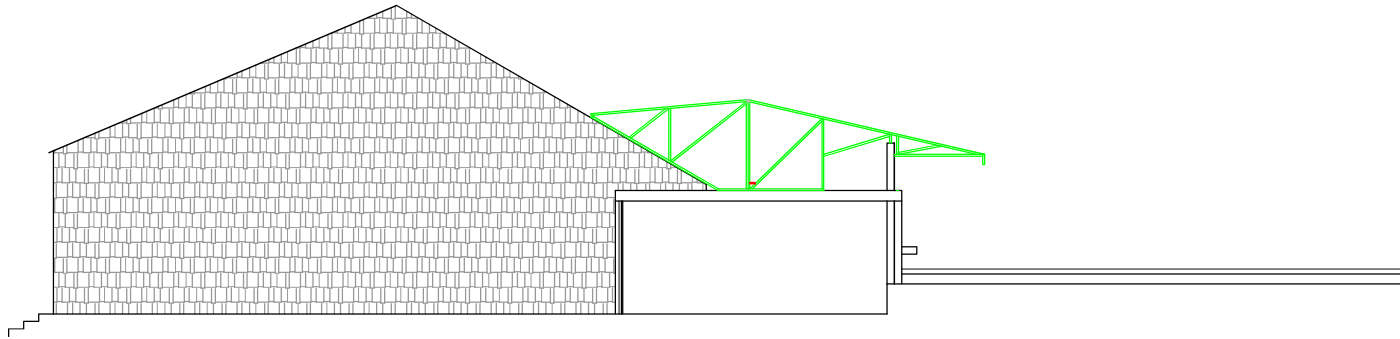
SCALE  
 NONE

REVISION	DATE	REASON

SHEET NO.  
 R1



RIGHT ELEVATION



LEFT ELEVATION

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FRONT, SIDE, PLAN  
&  
ISOMETRIC FRAME VIEW

DRAWN BY: J CORBIN  
DATE: 22-11-11  
JOB NUMBER: 220993



1574 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
PHONE: 912.236.2418 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

A NEW AWNING  
FOR  
THE DUNES HOUSE  
RESTAURANT  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

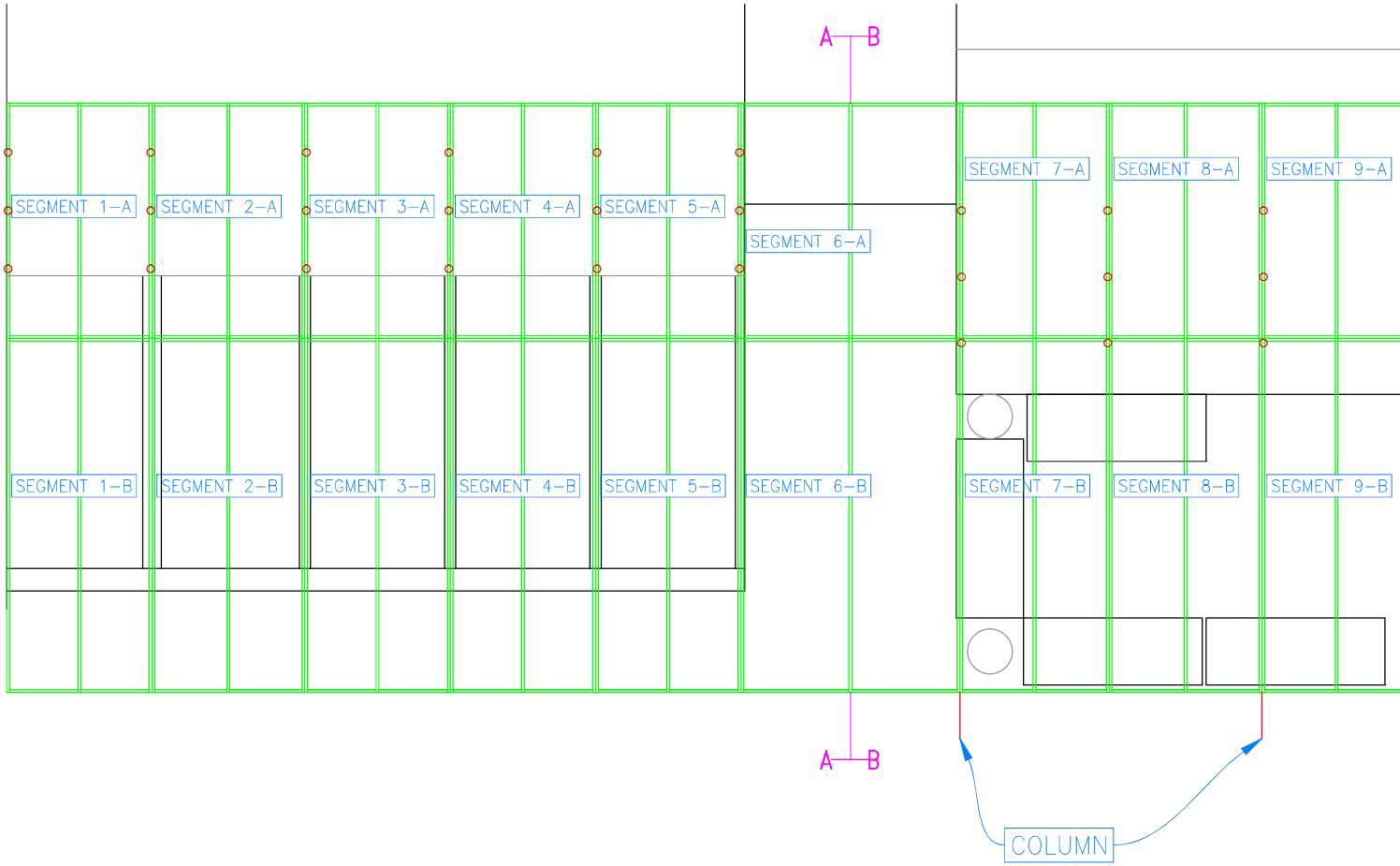
SCALE

NONE

REVISION	DATE	REASON

SHEET NO.

R2



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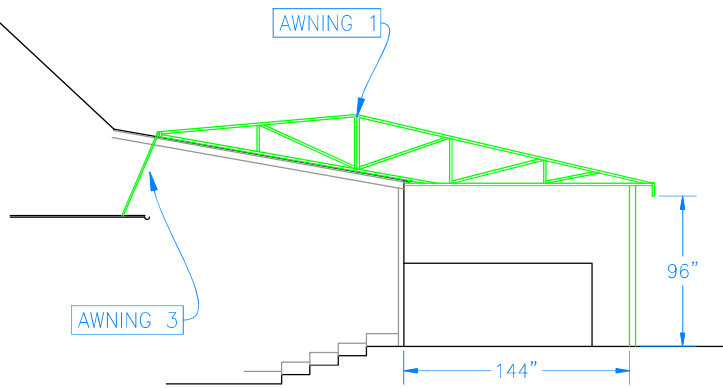
<b>FRONT, SIDE, PLAN &amp; ISOMETRIC FRAME VIEW</b>		JOB NUMBER 220993
DRAWN BY J CORBIN	DATE 22-11-11	JOB NUMBER 220993
 <small>1674 CHURCH PARKWAY SAVANNAH, GEORGIA 31405        MAIN: 912.246.2416 FAX: 912.252.7884 WWW.COASTALCANVAS.NET</small>		

<b>A NEW AWNING FOR THE DUNES HOUSE RESTAURANT</b> 14 DUNES HOUSE LANE HILTON HEAD ISLAND, S.C. 29928	NOVEMBER 2022 BEAUFORT
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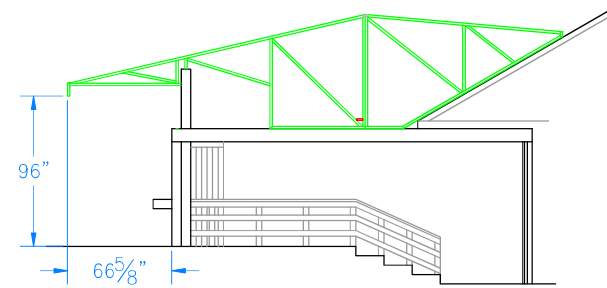
SCALE NONE		
REVISION	DATE	REASON
SHEET NO. <b>E1</b>		

INSTALL NOTES:

- SECURE FRAME FEET TO ROOF WITH  $\frac{5}{16}$ "x3" DeWALT ULTRACONS
- SECURE FRAME TO FEET WITH TEK SCREWS
- CAULK BETWEEN FEET AND SHINGLES
- CONNECT FRAME WITH  $\frac{3}{8}$ "x3 $\frac{1}{2}$ " HEX HEAD BOLTS



SECTION VIEW  
B-B



SECTION VIEW  
A-A

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FRONT, SIDE, PLAN  
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DRAWN BY: J CORBIN  
DATE: 22-11-11  
JOB NUMBER: 220993



1524 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
PHONE: 912.236.2418 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

A NEW AWNING  
FOR  
**THE DUNES HOUSE RESTAURANT**  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

NOVEMBER 2022  
BEAUFORT

SCALE  
NONE

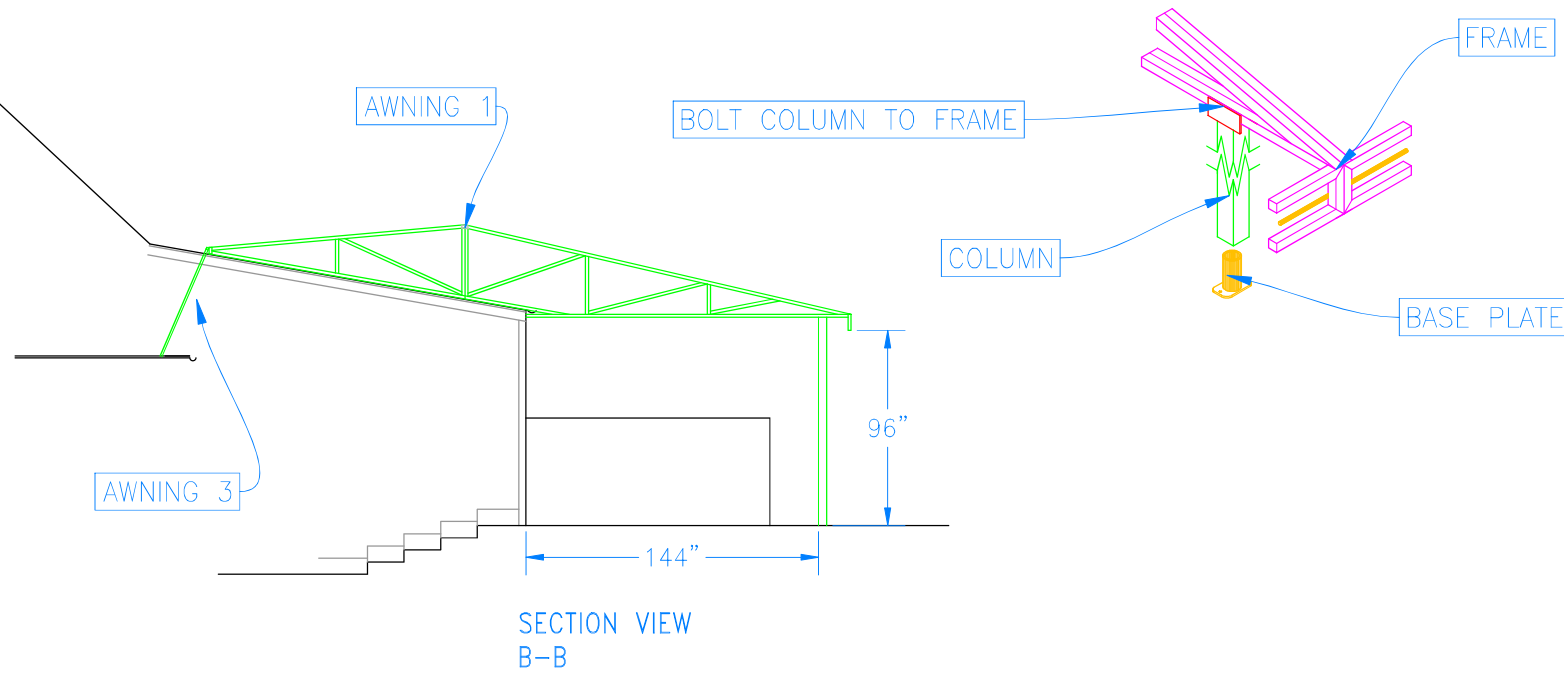
REVISION	DATE	REASON

SHEET NO.  
**E2**



**INSTALL NOTES:**

- CONNECT AWNING 3 TO AWNING 1 WITH Z-CLIPS AND TEK SCREWS
- SECURE TO ROOF WITH 5/16" x 3" DeWALT ULTRACONS
- SECURE COLUMNS TO FRAME WITH 3/8" x 4 1/2" HEX HEAD BOLTS
- SECURE COLUMN FEET TO DECK WITH 5/16" x 3" DeWALT ULTRACONS



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<b>FRONT, SIDE, PLAN &amp; ISOMETRIC FRAME VIEW</b>	JOB NUMBER	220993
DRAWN BY	DATE	JOB NUMBER
J CORBIN	22-11-11	220993

**COASTAL CANVAS PRODUCTS**

1674 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
PHONE: 912.236.2416 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

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**A NEW AWNING FOR THE DUNES HOUSE RESTAURANT**  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

NOVEMBER 2022

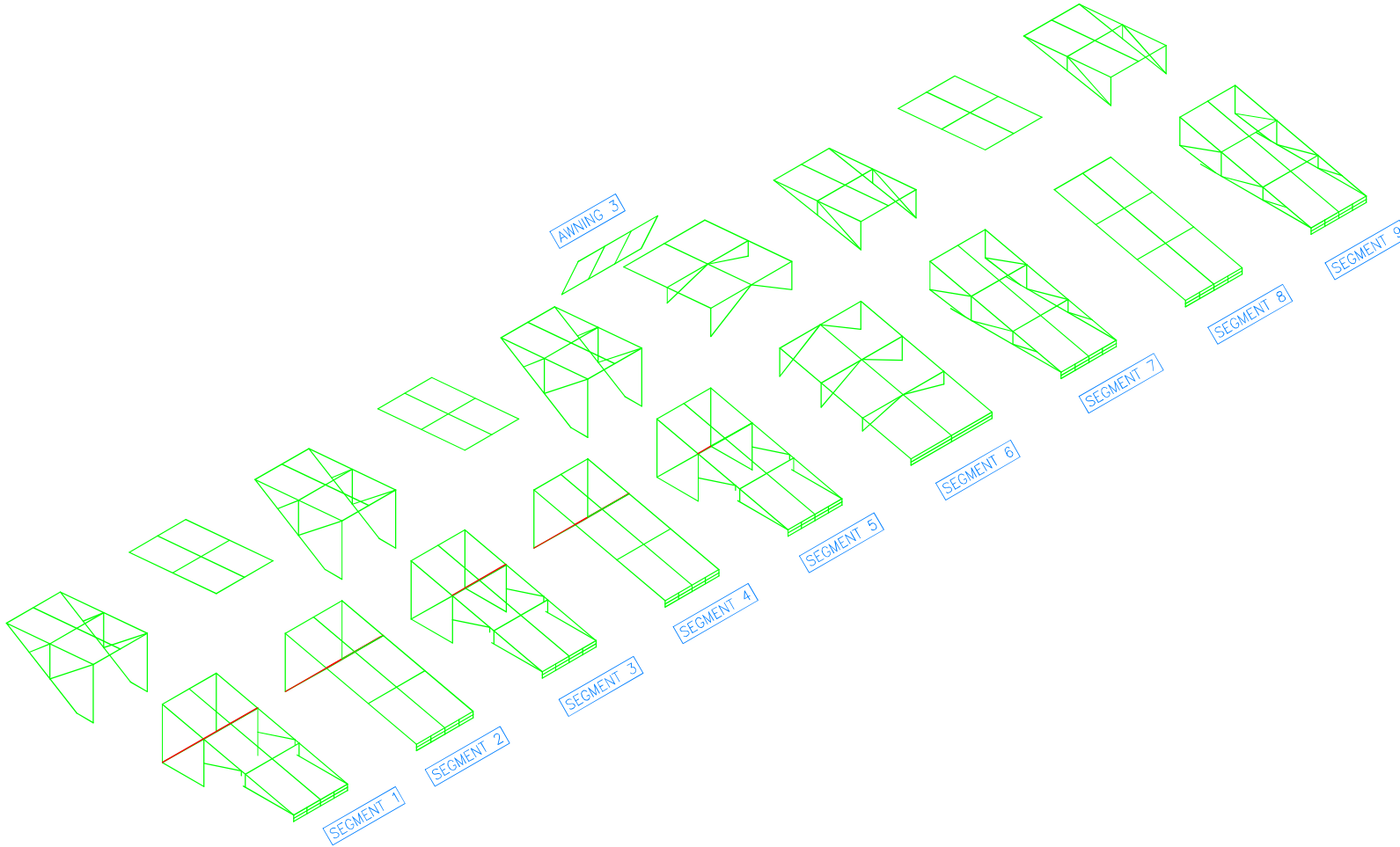
BEAUFORT

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SCALE  
NONE

REVISION	DATE	REASON

SHEET NO.  
**E3**



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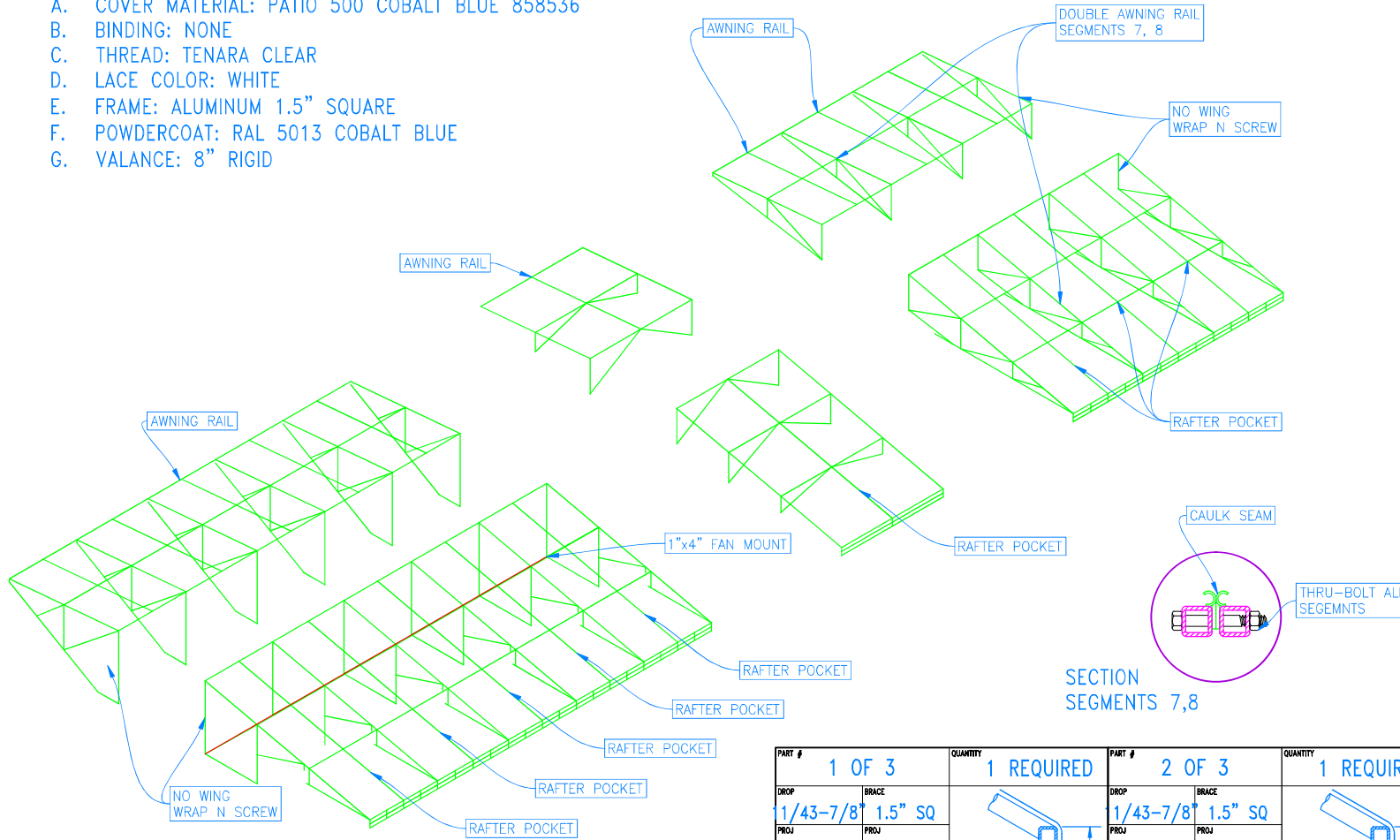
**REVIEWED BY**

<b>FRONT, SIDE, PLAN &amp; ISOMETRIC FRAME VIEW</b>		JOB NUMBER 220993
DRAWN BY J CORBIN	DATE 22-11-11	 <b>COASTAL CANVASES</b> <small>PRODUCTS</small> 1874 COUNTRY BUSHWAY, SUWANEE, GEORGIA 31766 PHONE 912 236 2416 FAX 912 232 7884 WWW.COASTALCANVASES.NET

<b>A NEW AWNING FOR THE DUNES HOUSE RESTAURANT</b> 14 DUNES HOUSE LANE HILTON HEAD ISLAND, S.C. 29928		NOVEMBER 2022
SCALE NONE		
REVISION	DATE	REASON
SHEET NO. <b>ISO</b>		

**NOTES:**

- A. COVER MATERIAL: PATIO 500 COBALT BLUE 858536
- B. BINDING: NONE
- C. THREAD: TENARA CLEAR
- D. LACE COLOR: WHITE
- E. FRAME: ALUMINUM 1.5" SQUARE
- F. POWDERCOAT: RAL 5013 COBALT BLUE
- G. VALANCE: 8" RIGID



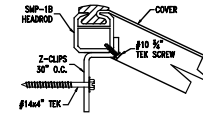
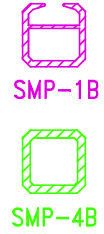
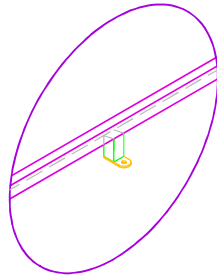
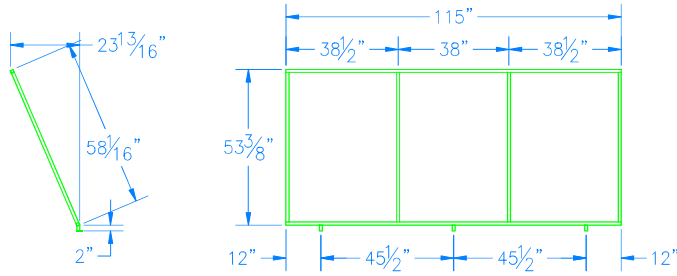
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 DRAWN BY: J CORBIN  
 DATE: 22-11-11  
 JOB NUMBER: 220993  
**COASTAL CANVAS PRODUCTS**  
 1524 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
 MAIN: 912.236.2418 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

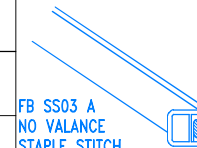
A NEW AWNING FOR  
**THE DUNES HOUSE RESTAURANT**  
 14 DUNES HOUSE LANE  
 HILTON HEAD ISLAND, S.C. 29928  
 BEAUFORT NOVEMBER 2022

PART # 1 OF 3		QUANTITY 1 REQUIRED	PART # 2 OF 3		QUANTITY 1 REQUIRED
DROP	BRACE		DROP	BRACE	
1/43-7/8"	1.5" SQ		1/43-7/8"	1.5" SQ	
PROJ	PROJ		126/190"	1.5" SQ	
WIDTH	H/R		162"	1.5" SQ	
VAL	F/B		8"	1.5" SQ	
VAL PAT	RAF/BOW	RIGID	VAL PAT	RAF/BOW	RIGID

SCALE		
NONE		
REVISION	DATE	REASON
SHEET NO.		
1 OF 9		



1" STAPLE STITCH  
HEADROD DETAIL  
NOT TO SCALE



FB SS03 A  
NO VALANCE  
STAPLE STITCH  
DETAIL OF FRAME  
TRUSS AND VAL.  
ATTACHMENT SIZE  
MAY VARY, REF  
TO WORK ORDER

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DESIGN BY: J CORBIN  
DATE: 22-11-11  
JOB NUMBER: 220993



1674 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
MAIN: 912.245.2415 FAX: 912.252.7884 WWW.COASTALCANVAS.NET

A NEW AWNING  
FOR  
THE DUNES HOUSE  
RESTAURANT  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

NOVEMBER 2022  
BEAUFORT

SCALE		
REVISION	DATE	REASON

SHEET NO.  
**2 OF 9**

**NOTES:**

- A. COVER MATERIAL: PATIO 500 COBALT BLUE 858536
- B. ZIP STRIP: BLUE 25
- C. FRAME: ALUMINUM 1" SS
- D. POWDERCOAT: RAL 5013 COBALT BLUE
- E. VALANCE: 1" SS

PART #		QUANTITY
3 OF 3		1 REQUIRED
DROP	BRACE	
53-3/8"	1" SS	
PROJ	PROJ	
23-7/8"	1" SS	
WIDTH	H/R	
115"	1" SS	
VAL	F/B	
1"	1" SS	
VAL PAT	RAF/BOW	
RIGID	1" SS	

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FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW

DRAWN BY J CORBIN	DATE 22-11-11	JOB NUMBER 220993
----------------------	------------------	----------------------

COASTAL CANVAS PRODUCTS

1524 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
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A NEW AWNING FOR THE DUNES HOUSE RESTAURANT

14 DUNES HOUSE LANE  
 HILTON HEAD ISLAND, S.C. 29928

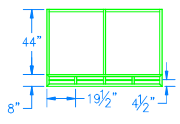
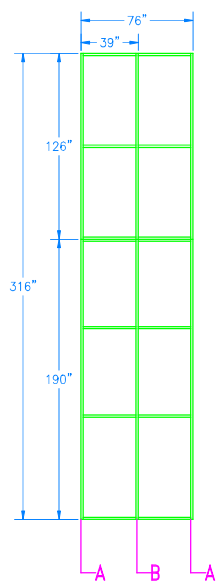
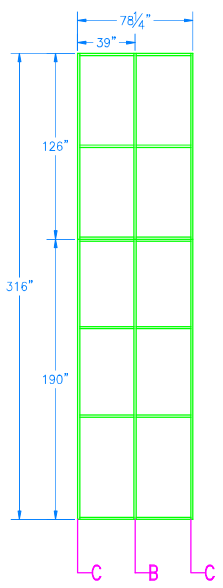
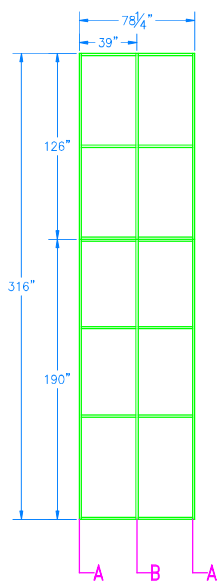
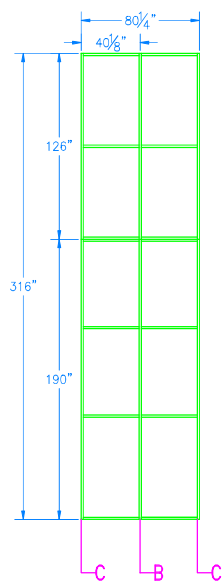
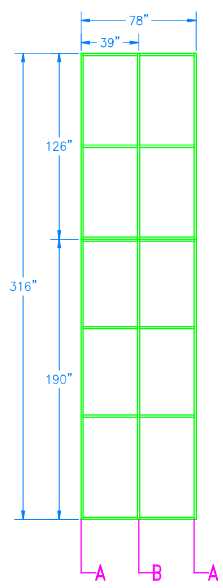
NOVEMBER 2022

BEAUFORT

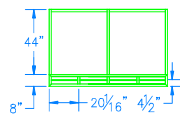
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REVISION	DATE	REASON

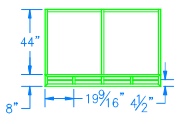
SHEET NO.  
 3 OF 9



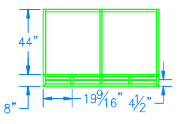
SEGMENT 1 (FEET)



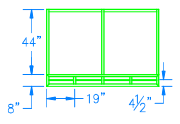
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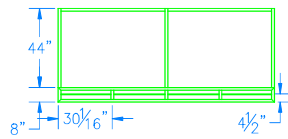
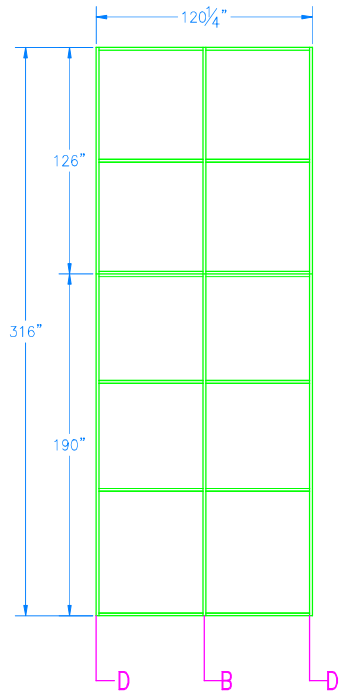
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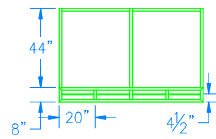
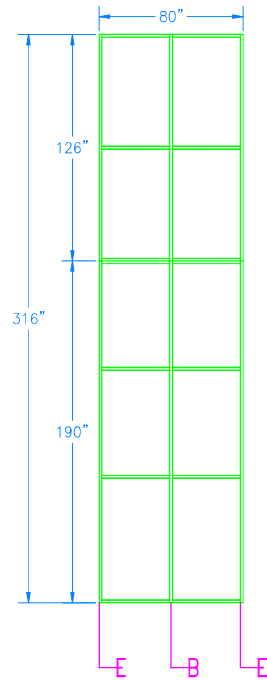
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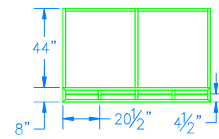
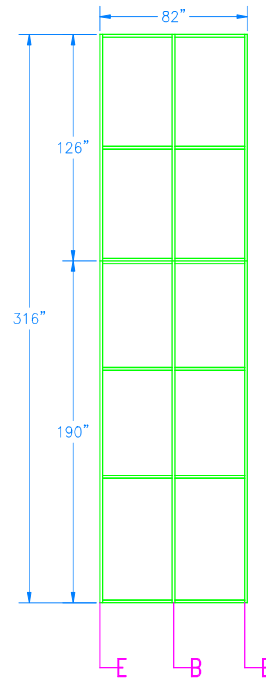
SEGMENT 5 (FEET)



SEGMENT  
6



SEGMENT  
7 (FEET), 9 (FEET)



SEGMENT  
8

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DRAWN BY: J CORBIN  
DATE: 22-11-11  
JOB NUMBER: 220993

COASTAL CANVAS  
PRODUCTS  
1574 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
MAINE 912.236.2418 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

A NEW AWNING  
FOR  
THE DUNES HOUSE  
RESTAURANT  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

SCALE

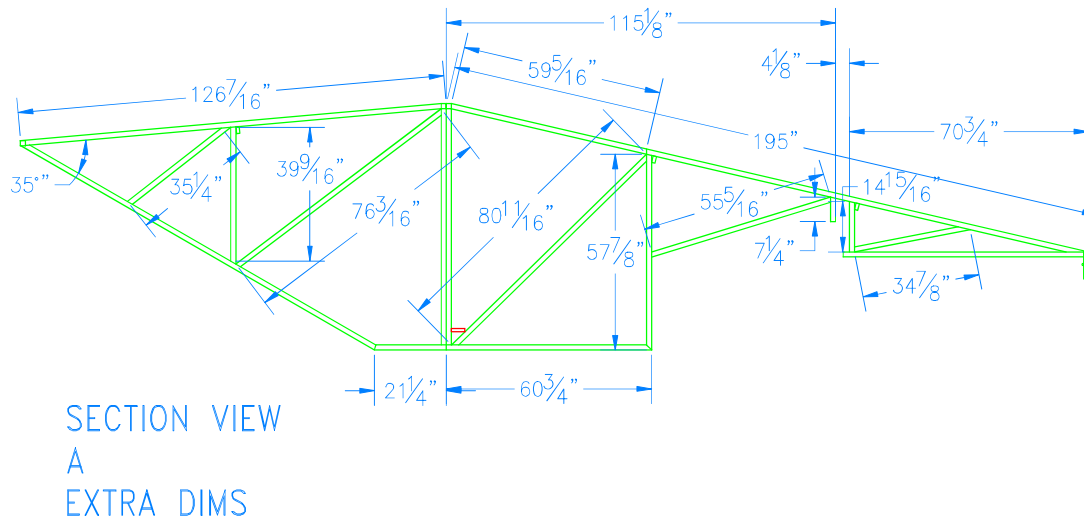
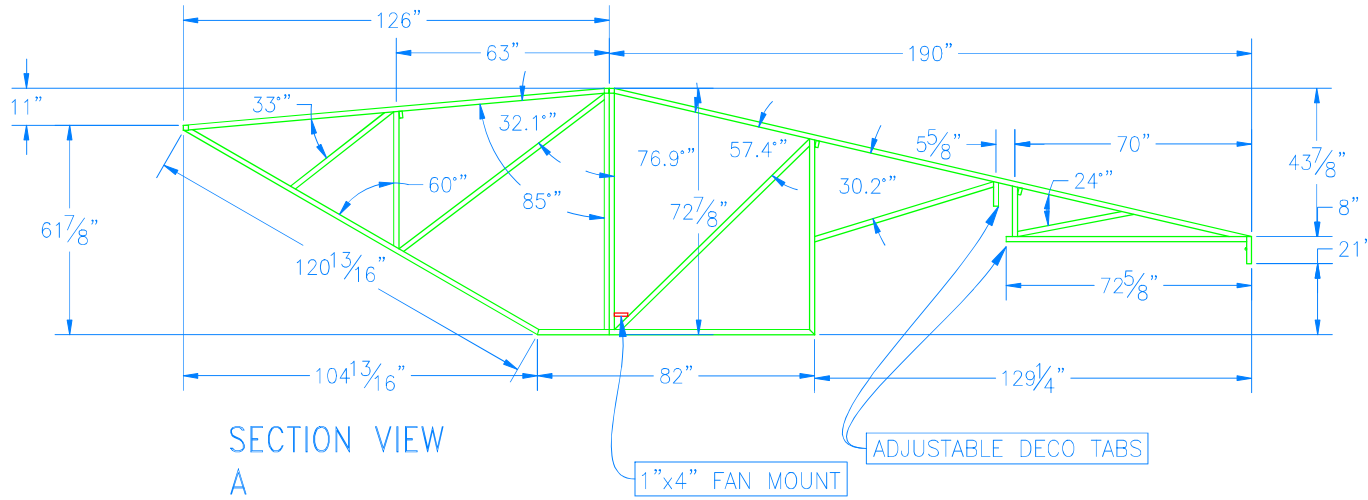
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REVISION	DATE	REASON

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4 OF 9





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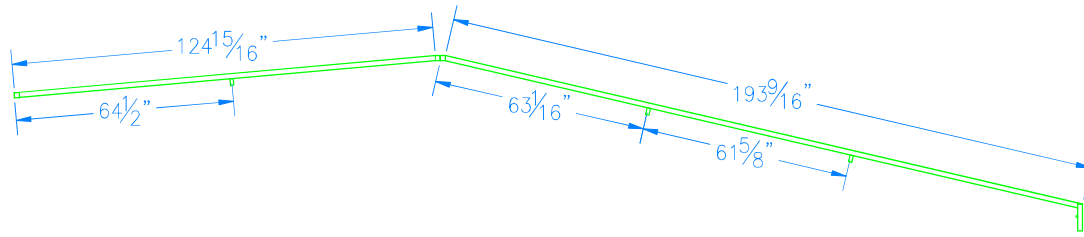
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FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW		JOB NUMBER 220993
DRAWN BY J CORBIN	DATE 22-11-11	COASTAL CANVAS PRODUCTS
1524 CHURCH PARKWAY SAVANNAH, GEORGIA 31405 PHONE: 912.235.2415 FAX: 912.232.7584 WWW.COASTALCANVAS.NET		

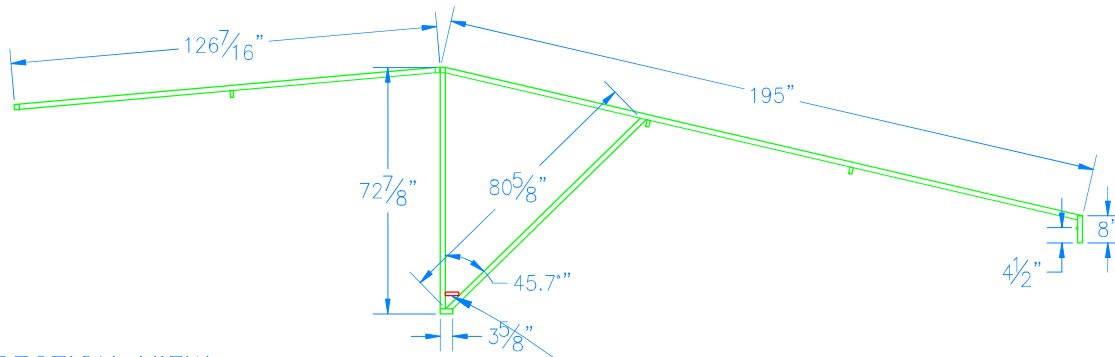
A NEW AWNING FOR THE DUNES HOUSE RESTAURANT 14 DUNES HOUSE LANE HILTON HEAD ISLAND, S.C. 29928	NOVEMBER 2022
BEAUFORT	

SCALE NONE		
REVISION	DATE	REASON

SHEET NO.  
**5 OF 9**



SECTION VIEW  
B



SECTION VIEW  
C

1"x4" FAN MOUNT

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A NEW AWNING  
FOR  
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14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

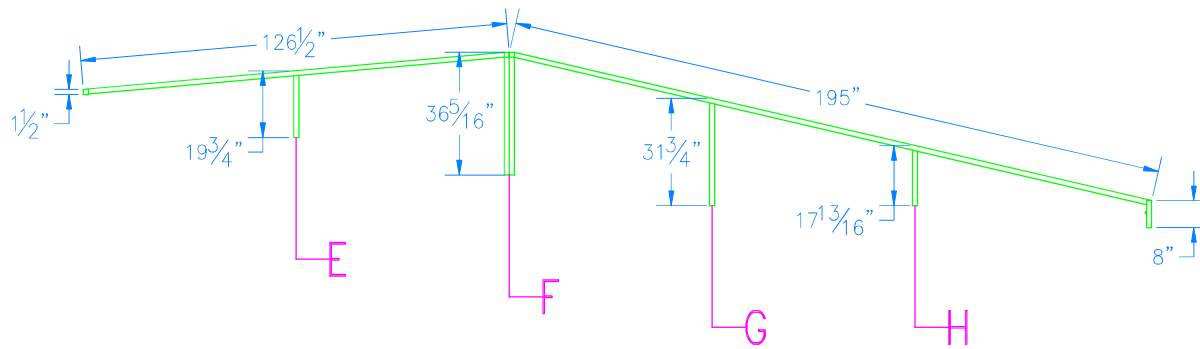
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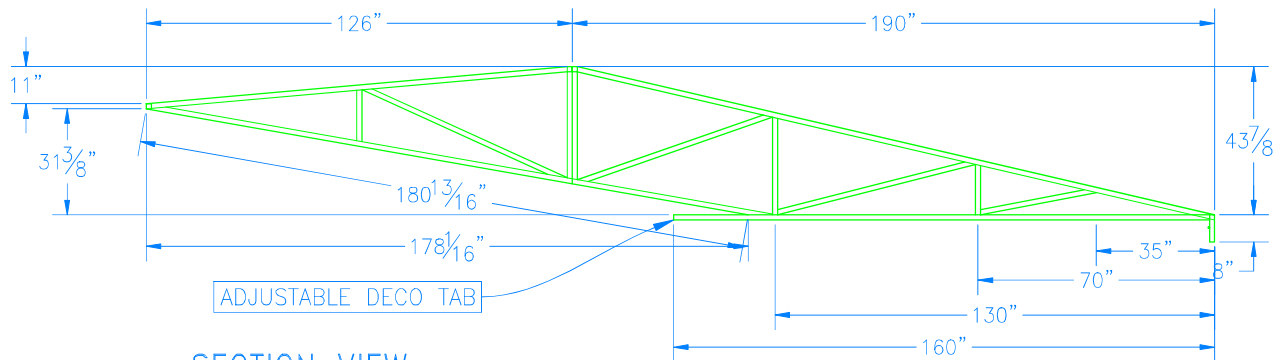
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5b OF 9



SECTION VIEW  
D



SECTION VIEW  
E

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A NEW AWNING  
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BEAUFORT NOVEMBER 2022

SCALE

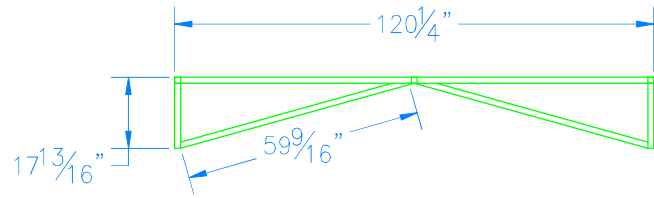
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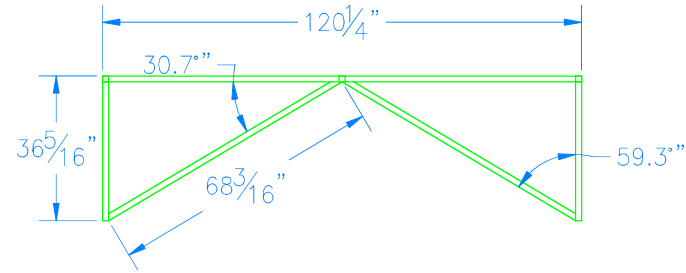
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6 OF 9

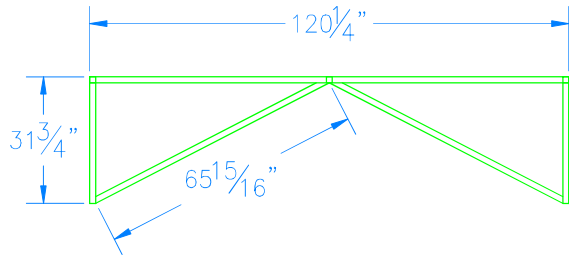
SECTION VIEW  
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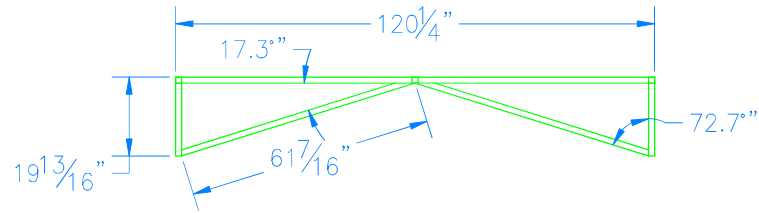
SECTION VIEW  
F



SECTION VIEW  
G



SECTION VIEW  
E



SECTION VIEW H-E  
SEGMENT 6 ONLY

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DRAWN BY: J CORBIN  
DATE: 22-11-11  
JOB NUMBER: 220993



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MAINE 912.235.2415 FAX: 912.232.7884 WWW.COASTALCANVAS.NET

A NEW AWNING  
FOR  
THE DUNES HOUSE  
RESTAURANT  
14 DUNES HOUSE LANE  
HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

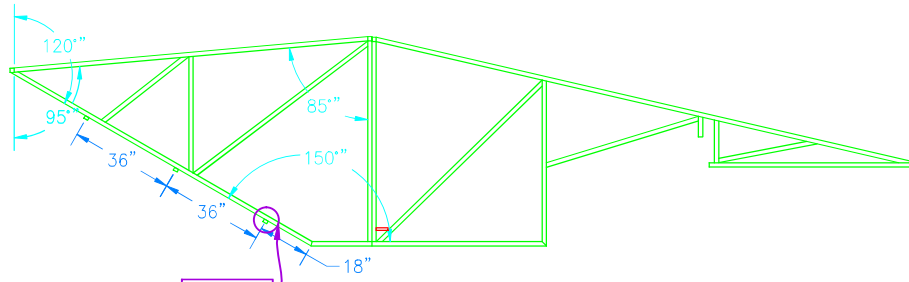
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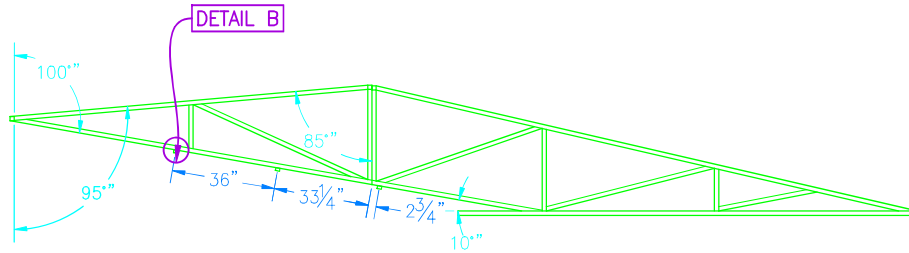
REVISION	DATE	REASON

SHEET NO.

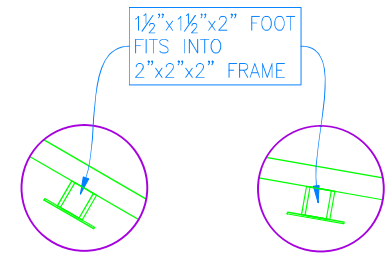
7 OF 9



SECTION VIEW A  
FEET LOCATIONS  
BOTH SIDES SEGMENTS 1, 3, 5

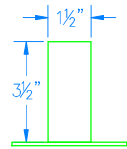


SECTION VIEW D  
FEET LOCATIONS  
BOTH SIDES SEGMENTS 7, 9

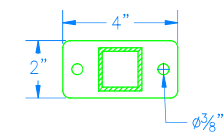


DETAIL A                      DETAIL B

- FEET NOTES:**
- QTY: 30
  - CNC CUT PLATE 1/8" ALUMINUM
  - POWDERCOAT TO MATCH



SIDE



TOP

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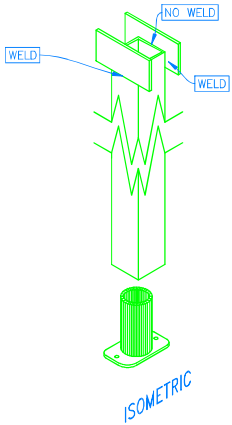
REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW		JOB NUMBER	220993
DESIGN BY	J CORBIN	DATE	22-11-11
		1624 CHURCH PARKWAY SAVANNAH, GEORGIA 31405 MAIN: 912.236.2416 FAX: 912.232.7884 WWW.COASTALCANVAS.NET	

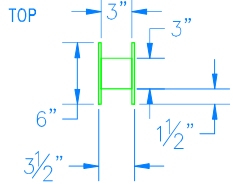
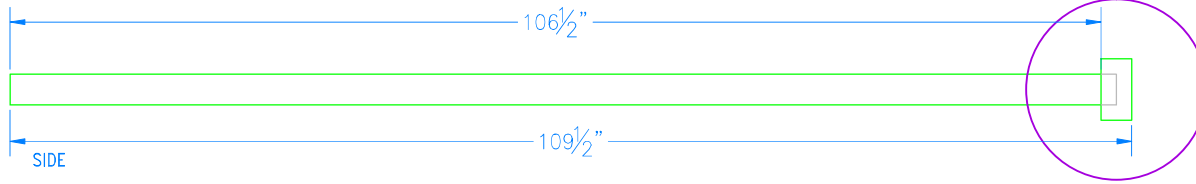
A NEW AWNING FOR THE DUNES HOUSE RESTAURANT		NOVEMBER 2022
14 DUNES HOUSE LANE		
HILTON HEAD ISLAND, S.C. 29928		
BEAUFORT		

SCALE		
NONE		
REVISION	DATE	REASON

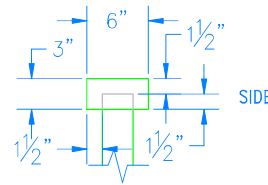
SHEET NO.  
**8 OF 9**



COLUMN

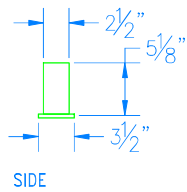


SIDE

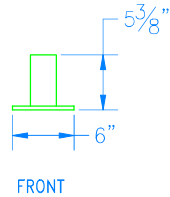


SIDE

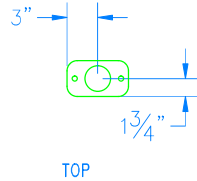
BASE PLATE



SIDE



FRONT



TOP

NOTES:

- QTY: 2 EACH
- WELD PIN TO BASE PLATE
- WELD FRAME HOLDERS TO COLUMN
- USE 3"x3" ALUMINUM FOR COLUMN
- USE 1/4" ALUMINUM FOR BASE PLATE AND FRAME HOLDERS
- POWDERCOAT TO MATCH FRAME

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REVIEWED BY

FRONT, SIDE, PLAN & ISOMETRIC FRAME VIEW

DRAWN BY	DATE	JOB NUMBER
J CORBIN	22-11-11	220993



1524 CHURCH PARKWAY SAVANNAH, GEORGIA 31405  
 MAIN: 912.246.2416 FAX: 912.252.7884 WWW.COASTALCANVAS.NET

A NEW AWNING FOR  
**THE DUNES HOUSE RESTAURANT**  
 14 DUNES HOUSE LANE  
 HILTON HEAD ISLAND, S.C. 29928

BEAUFORT NOVEMBER 2022

SCALE		
NONE		
REVISION	DATE	REASON

SHEET NO.  
**9 OF 9**



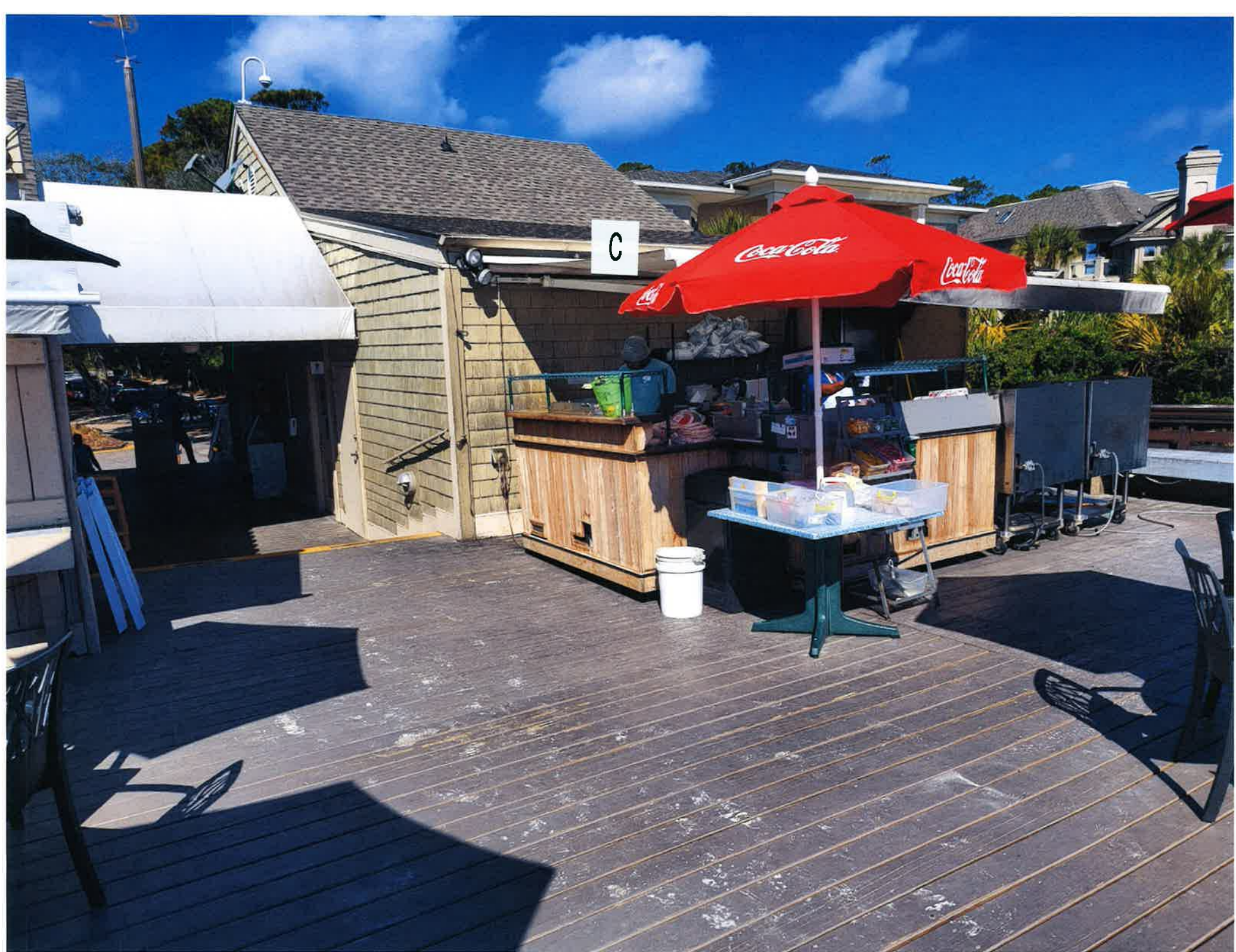
A











C





Patio 500®

**Cobalt Blue**

Item	Width	Style
858536	61"	536

REPEAT:

SELVEDGE:

Vinyl Laminated Polyester

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## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Dunes House Awning

DRB#: DRB-000039-2023

DATE: February 23, 2023

CATEGORY: Alteration/Addition

RECOMMENDATION:    Approval             Approval with Conditions             Denial

RECOMMENDED CONDITIONS:

Provide updated plans for staff review and approval with the following:

1. Add a note to the plans for contractor to wrap the two new columns to match the materials, color and dimensions of the existing columns.
2. Add a detail showing the connection of the awning to the existing column.
3. Show the gutters on the plan.
4. Add a note that fan and lighting is to match approved designs for building.
5. Engineer stamped and sealed set of plans.

### ***MISC COMMENTS/QUESTIONS***

- |  |
|--|
| 1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at nicoled@hiltonheadislandsc.gov or at 843-341-4686 with any questions about this process. |
| 2. This project requires a Building Permit. Please contact Toney Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.   |
|  |
|  |
|  |





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: PDG Architects  
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928  
 Telephone: 843-785-5171 Fax: \_\_\_\_\_ E-mail: Tim@PDG-Architects.com  
 Project Name: The Other Sisters Wine Bar Project Address: 17 Harbourside Ln. Hilton Head Island  
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 7 2 0 0 0 0  
 Zoning District: PD-1 Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

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- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



01/03/23

SIGNATURE

DATE





## **The Other Sister's Wine Bar:**

This project consists of demolishing the existing canvas roof structure covering the patio area of the Other Sister's Wine Bar and replacing it with a wood trellis/ flat roof structure. It will cover approximately the same area as the existing structure.

The structure will consist of treated 6x6 posts with heavy timber beams and rafters to match the other (3) wood trellis structures located along the marina. The ceiling will be stain grade 1x6 v-groove with metal roof panels to match the existing roof on the building. This structure will have concealed conduit between the ceiling and roof structure.

Thank-you for your time and consideration of this project.

Timothy C. Probst. AIA



# SHELTER COVE

January 26, 2023

Laurie Sell  
Palmetto Dunes Oceanfront Resort  
4 Queens Folly Road, PO Box 5628  
Hilton Head Island, SC 29938

Delivered via Email

RE: TOS Wine Bar HBS 2, Unit B – Hard Awning

Dear Laurie,

The Shelter Cove Company's ARB is in receipt of proposal package to replace the current soft awning with hard awning per your plans dated January 6, 2023 and submitted January 11, 2023.

The ARB has reviewed and approved the requested package as submitted with the following **exception**.

- Standing seam material and color has to match that which was outlined in the submitted package.
- Hard awning must be the same size as the current foot print of the vinyl siding.
- All common surface areas where equipment will be placed or traversed shall utilize weight protection methods in order to eliminate damage to said areas.
- All Shelter Cove property that will have construction activity occurring on it, if damaged shall be restored to the pre-construction condition at the contractor's sole expense.
- After construction of the hard awning is completed, tables, chairs, plants etc. will not be permitted outside the covered area.
- TOS Wine Bar/Greenwood obtain any required permits if applicable by the TOHHI
- TOS Wine Bar/Greenwood obtain written permission from the regime for the enhancement of the awning.
- Finally, a \$5000 refundable compliance deposit will be required before the project may commence. Please submit your check payable to, Shelter Cove company.

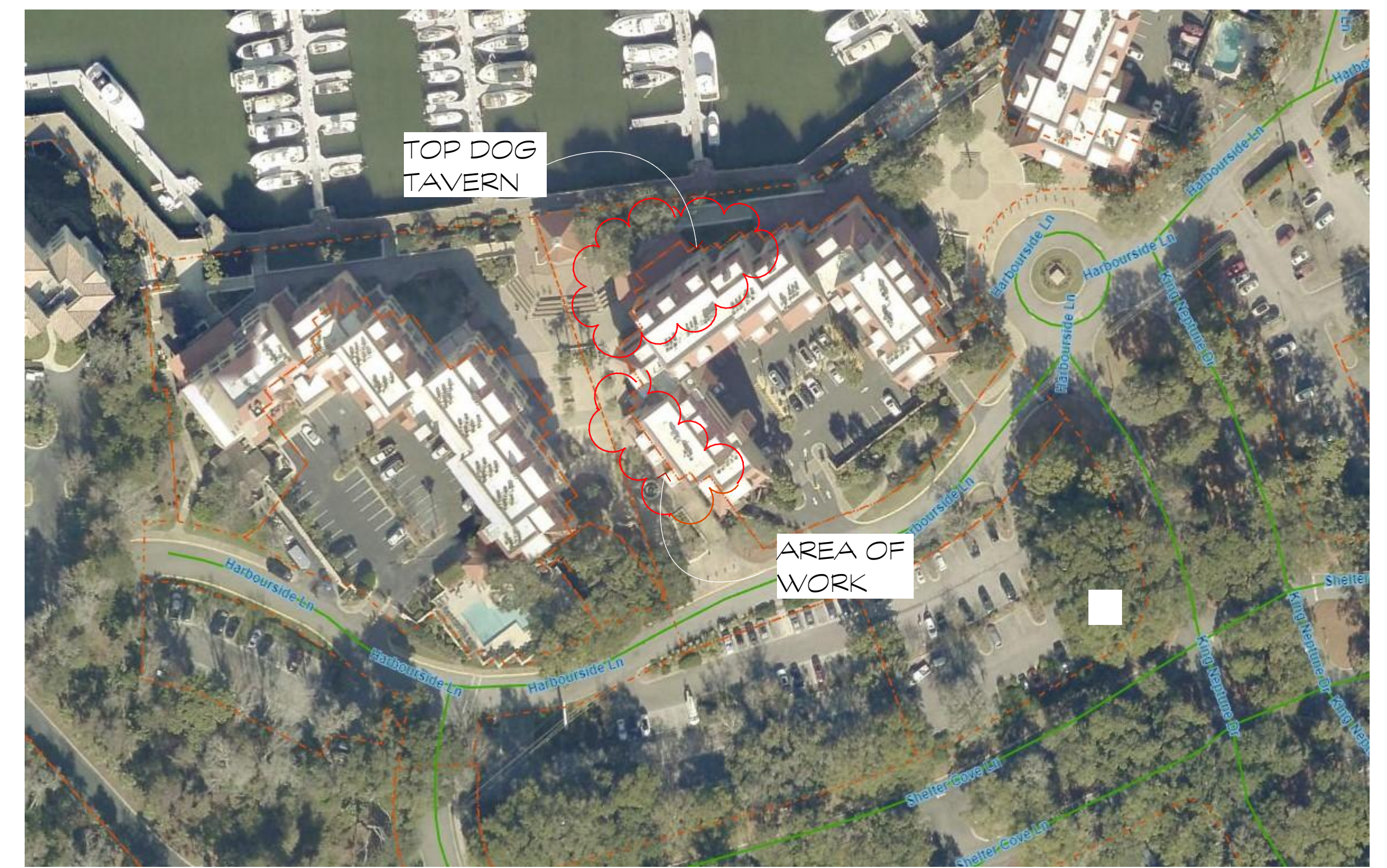
Please notify the SCC office at (843) 310-0431 or by email at [ddominguez@sheltercovehc.org](mailto:ddominguez@sheltercovehc.org) should you have any questions.

With Kindest Regards,

*Denise Dominguez*

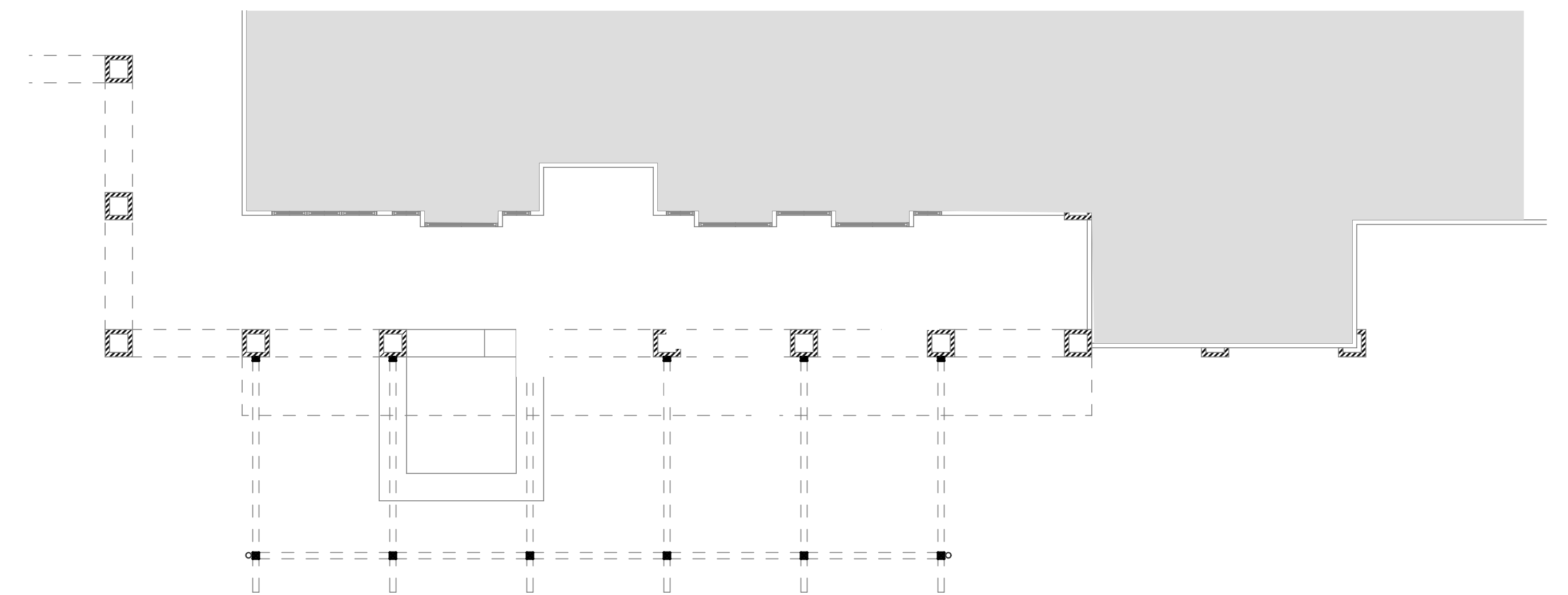
Denise Dominguez  
Manager





## VICINITY PLAN

1  
C.1



## AS BUILT SURVEY

SCALE: 1/8" = 1'-0"

2  
C.1

## DESIGN CRITERIA

### DESCRIPTION OF WORK:

REPLACE FABRIC CANOPY OVER EXISTING OUTDOOR EATING AREA W/ A NEW HEAVY TIMBER / STANDING SEAM METAL ROOF. EXISTING BUILDING IS TYPE 2 NON SPRINKLED W/ CEMENT STUCCO SIDING AND METAL ROOF.

Design Criteria for Code Compliance as of: IBC 2021

Type of Occupancy: **A-2 Restaurant**

Type of Construction: **2 Unprotected**

Sprinkler: NO

## COLOR SCHEDULE

**ROOFING :** STANDING SEAM METAL TO TOP DOG TRELLIS STRUCTURE  
**TIMBER ELEMENTS :** NATURAL FINISH TO MATCH TOP DOG TRELLIS STRUCTURE  
**CEILING :** WOOD STAIN & POLY TOP COAT TO MATCH TOP DOG TRELLIS STRUCTURE

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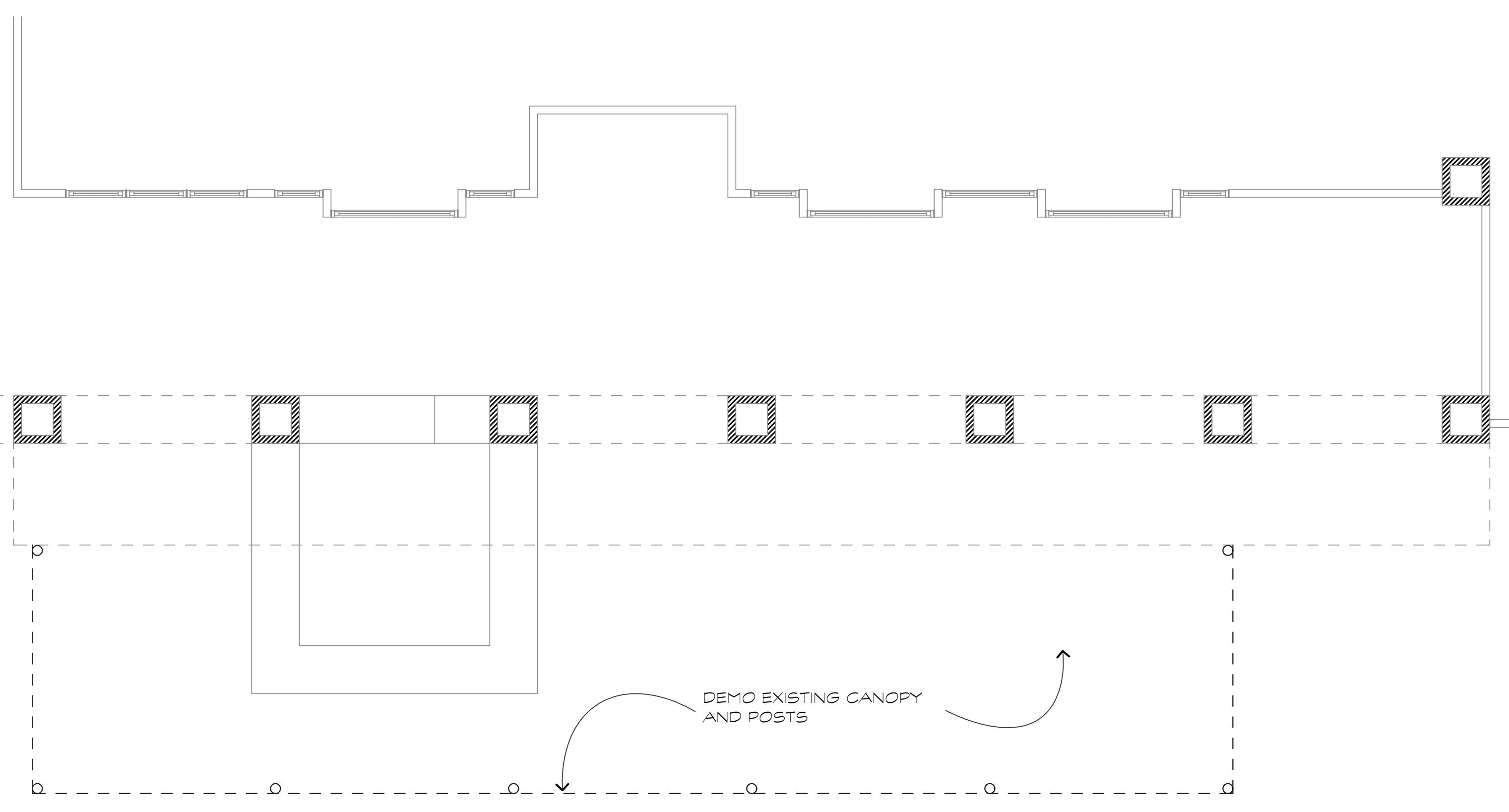
A NEW COVERED AREA FOR:  
**THE OTHER SISTER'S WINE BAR**  
 SHELTER COVE MARINA  
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY  
TP  
 CHECKED BY  
TP  
 DATE OF ISSUE:  
02/14/23  
 SCALE  
 JOB NO.  
 SHEET  
**C.1**  
 OF SHEETS

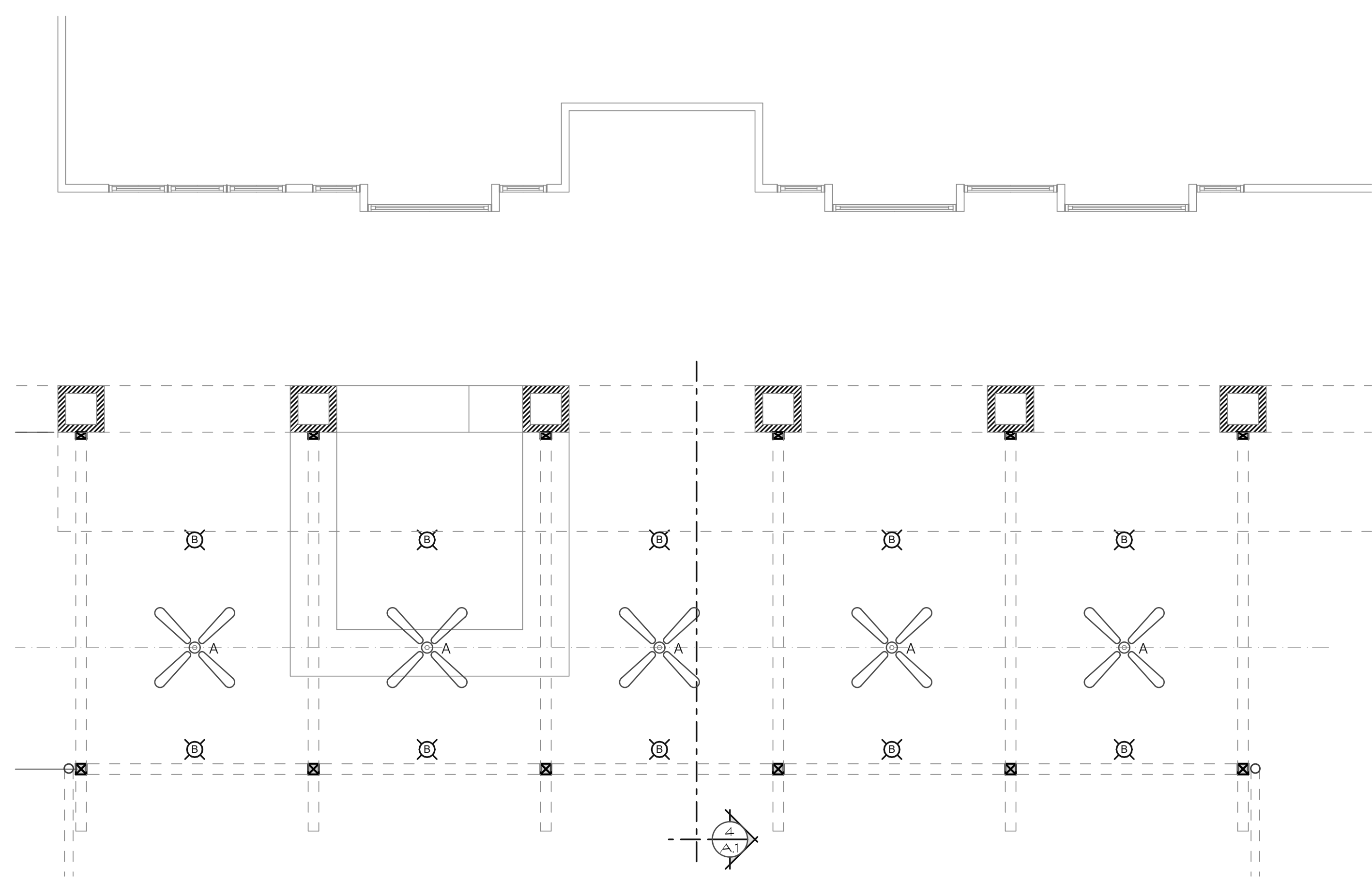


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**DEMO CANOPY PLAN**  
SCALE: 1/4" = 1'-0"

1  
A.1



**LOGGIA PLAN**  
SCALE: 1/4" = 1'-0"

2  
A.1

**LIGHTING FIXTURE SCHEDULE**

HEATERS BY OWNERS

TYPE	MANUFACTURE	ID NUMBER	MOUNTING	LAMP	COLOR	REMARKS
A	EXISTING FAN					
B	WAC	WS-W2605-BZ	SURFACE	16 WATT LED	BRONZE	SIDE MOUNT

**TUBE - model: WS-W2605, WS-W2604**  
LED Wall Mount

**WAC LIGHTING**  
Responsible Lighting®

Fixture Type:

Category Number:

Project:

Location:

**PRODUCT DESCRIPTION**  
A modern fixture with endless possibilities. This collection of wall mounted led tubes offers a clean look, an array of options or accessories, or a combination of both. Available in a variety of finishes and options. Made for use with the new aluminum construction and designed with no visible hardware. This low profile, high quality tube is perfect for your interior and exterior lighting needs. Free hardware and labor. Fixtures will complement nearly any space.

**FEATURES**

- Energy Star rated
- UL Type 26 Compliant
- IP65 Rated (ETL, ETL, Wet Location Listed)
- Available in bronze
- Die Cast Aluminum Construction
- Universal Voltage (100V - 277V)
- Cleaning: UV (200) or Q-100

**SPECIFICATIONS**

Construction: Aluminum with anodized glass.  
Power: Integrated driver in luminaire. 120V - 277V input.  
Light Source: High output LED.  
Mounting: Mounts directly to junction box.  
Dimensions: 100" (Length) x 1.5" (Diameter) x 1.5" (Depth).  
Finish: Frosted, Matte Aluminum (AL), Black (BK), Glossy (GL), Satin (ST), White (WT).  
Color Temp: 3000K  
CRI: 90  
Rated Life: 70,000 hours  
Standards: Energy Star®, and IP65 Rated (ETL, ETL, Wet Location Listed).  
UL Type 26 Compliant, Dusk to Dawn.

**EXCLUSIVE WS-W2605-BZ**

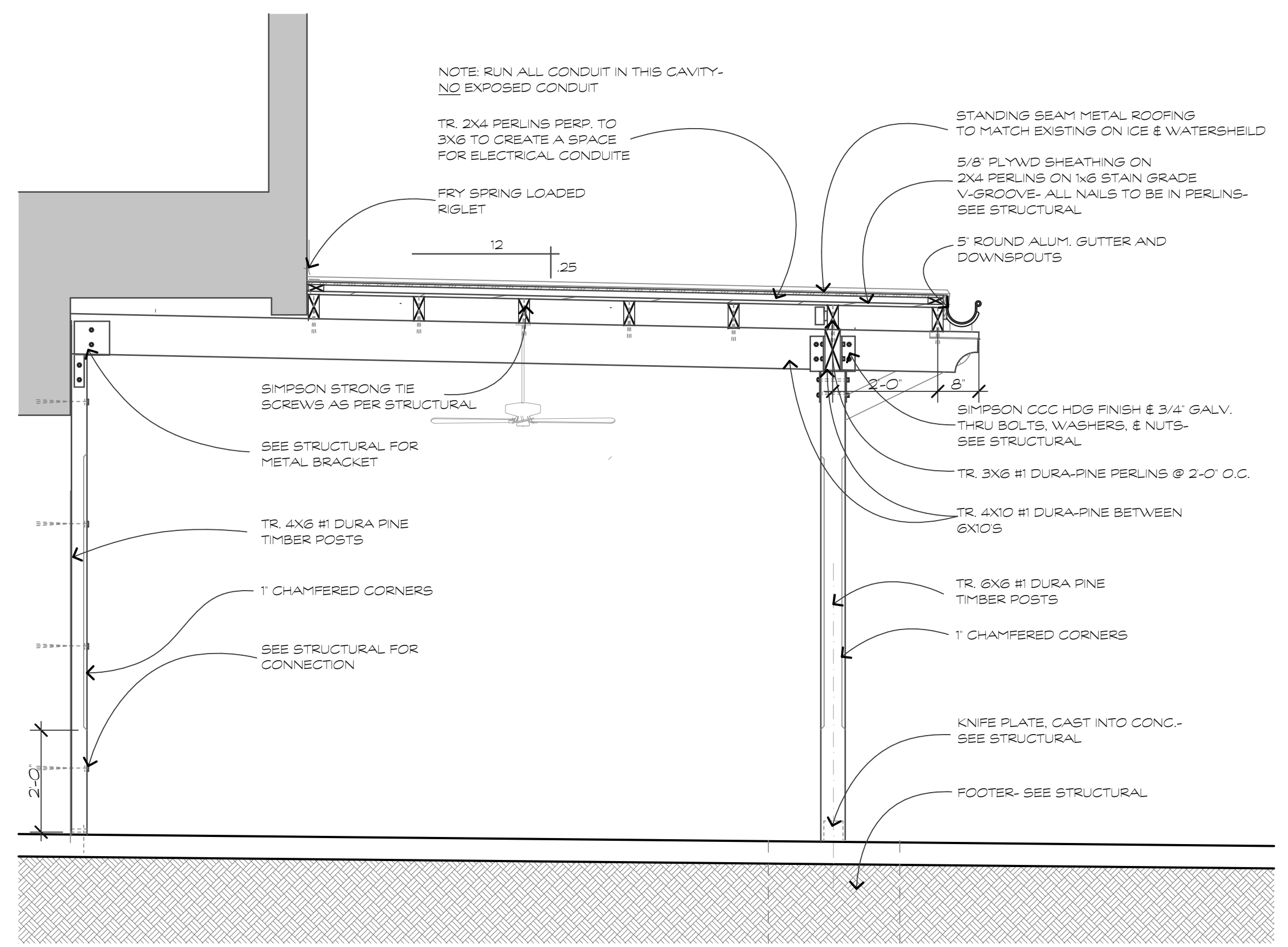
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Central Distribution Center  
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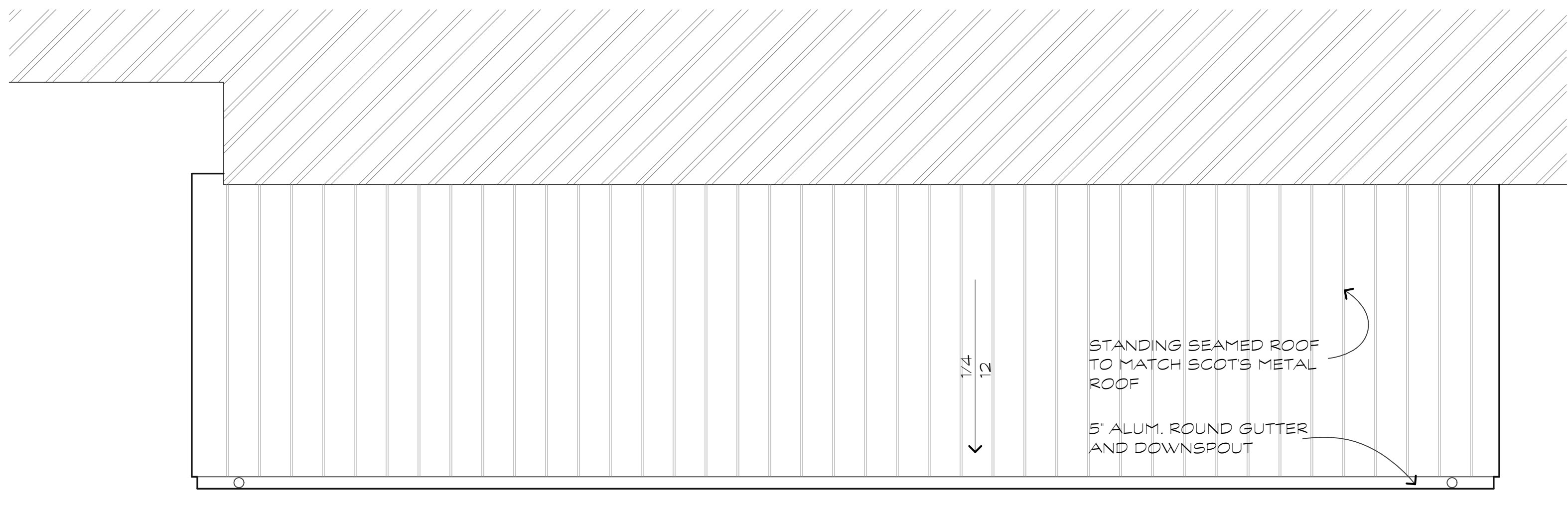
Western Distribution Center  
1700 Rockwell Avenue  
Oroville, CA 95966

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**LOGGIA SECTION**  
SCALE: 1/2" = 1'-0"

4  
A.1



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

3  
A.1

A NEW COVERED AREA FOR:  
**THE OTHER SISTER'S WINE BAR**  
SHELTER COVE MARINA  
HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

DRAWN BY  
TP

CHECKED BY  
TP

DATE OF ISSUE:  
02/14/23

SCALE

JOB NO.

SHEET  
**A.1**  
OF SHEETS





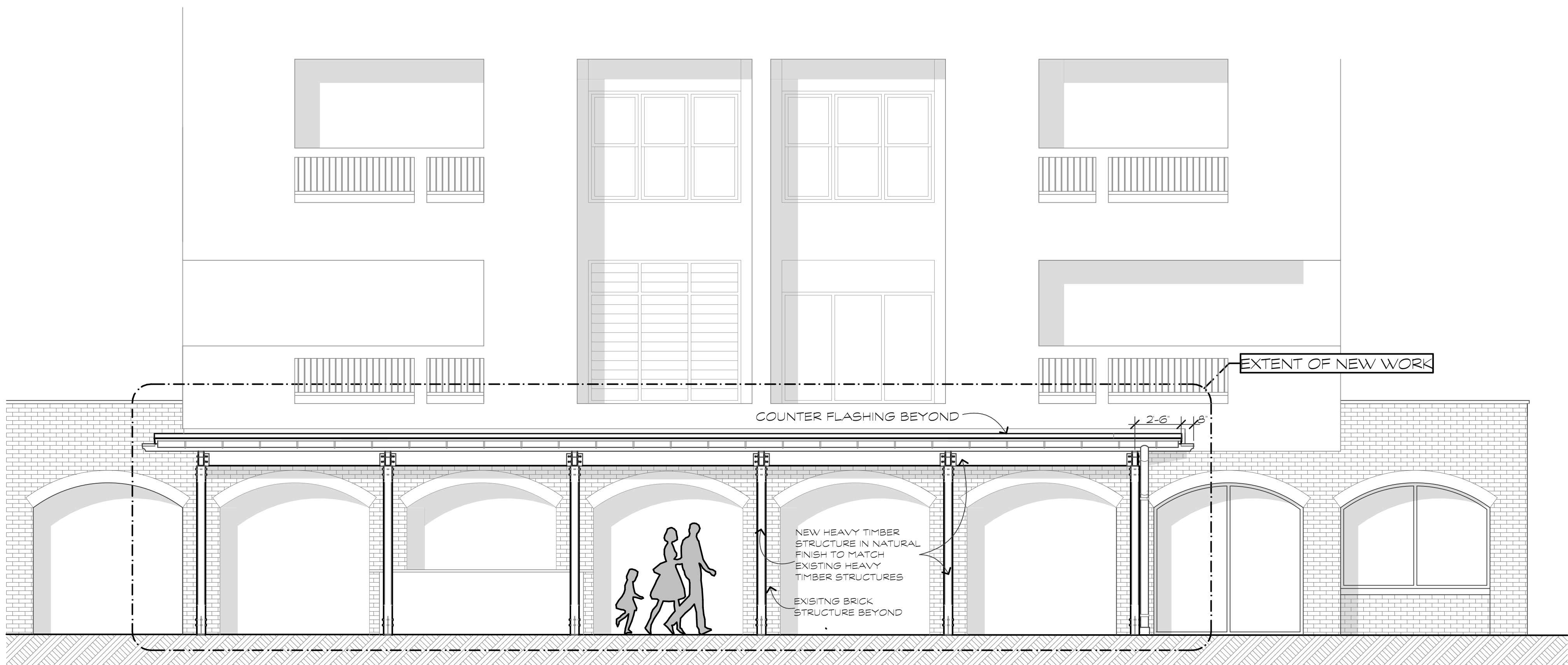
EXISTING PHOTOS



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1  
A2



NEW FRONT ELEVATION

SCALE: 1/4" = 1'-0"

2  
A2

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A NEW COVERED AREA FOR:  
**THE OTHER SISTER'S WINE BAR**  
SHELTER COVE MARINA  
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY  
TP

CHECKED BY  
TP

DATE OF ISSUE  
08/29/22

SCALE

JOB NO.









DU  
P...

JAS

Warning  
Do Not Touch  
High Voltage

Warning  
Do Not Touch  
High Voltage





*San Miguel's*









**SCOTT'S  
FISH  
MARKET**  
RESTAURANT & BAR











## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.*

PROJECT NAME: Other Sisters Wine Bar

DRB#: DRB-000351-2023

DATE: February 23, 2023

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS: None

### ***MISC COMMENTS/QUESTIONS***

1. This project requires a Minor or Major Development Plan Review application for the site work. Please contact Nicole Dixon at [nicoled@hiltonheadislandsc.gov](mailto:nicoled@hiltonheadislandsc.gov) or at 843-341-4686 with any questions about this process.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.



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<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Brian Bornhorst - Agent Company: HIHH One, HIHH Two & HIHH Three LLC  
 Mailing Address: 130 Dutchman Blvd City: Irmo State: SC Zip: 29063  
 Telephone: 1-216-375-2470 Fax: \_\_\_\_\_ E-mail: brian@passiveinvesting.com  
 Project Name: Holiday Inn Express - Addition Project Address: 10 Tanglewood Dr, HHI, SC  
 Parcel Number [PIN]: R 5 5 3 018 000 0230 0000 \_\_\_\_\_  
 Zoning District: RD Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
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 Final Approval – Proposed Development  Sign

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Additional Submittal Requirements:

**Alterations/Additions**

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- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
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For wall signs:

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SIGNATURE

2/14/22

DATE

## Holiday Inn Express – Tanglewood Drive Improvements

Hilton Head Island, South Carolina

PARCEL NUMBER R553 018 000 0230 0000

### DRB Alterations/Additions Project Narrative

February 14, 2022

HIHH One, Two and Three LLC's are proposing a renovation and addition to the existing Holiday Inn Express at 10 Tanglewood Drive on Hilton Head Island. The property is approximately X acres and zoned Resort Development (RD) and is within the Corridor Overlay District.

The proposed hotel addition/ renovation is intended to improve the guest experience by locating all amenities and services to the main hotel building and modernize the ancillary functions of the hotel with more efficient systems. This will also improve access to the hotel. The existing amenity building will be repurposed into a new feature, such as a restaurant, that could improve guest satisfaction and integrate more with the surrounding community. The existing amenity building is not part of this renovation. No additional hotel rooms are included in this renovation.

The hotel addition/renovation includes:

#### Exterior:

##### New Porte Cochere – Guest Drop-off and Covered Entrance

*The new Porte Cochere is offset from the main entrance to accommodate for an adjacent existing specimen tree. The location of the Porte Cochere is outside of the specimen tree canopy limits and no impacts are anticipated. A new drop-off, pedestrian area and accessible route will be part of the entry sequence.*

Repair and replace existing vertical railing pickets as needed.

Replace existing canvas awnings over end exterior balcony openings with “Bahama” style shutters

##### Infill Tower Element

Main Floor / Ground Floor:	Guest Registration Services
Second Floor:	Breakfast Area/Warming Kitchen – Guest Lounge
Third Floor:	Staff Offices
Fourth Floor:	Fitness Room
Fifth Floor:	New Guest Suite
Sixth Floor:	Meeting space

The new construction will use a combination of brick veneer, architectural cast stone, rough sawn wood columns and roof structure. A low slope standing seam metal roof will be utilized on the Porte Cochere. The tower element will have a slat-style accent detail of synthetic wood. The HVAC equipment will be concealed behind a parapet wall on top of the new tower element. The existing floor to floor height of 8'-5" is the reason that two guest balconies were replaced with large windows. The height of the balcony railing was incorporated into the breakfast area to provide a 10'



ceiling height in the new space. The captured balcony space will be added to the guest rooms. There is a flat roof above the new breakfast area to reduce the impact on these guestroom views. There will not be any equipment on this roof.

The site plan has been designed to provide a new curb cut and entry access point off of Nassau Street to provide more direct access to the new check-inn / reception lobby and covered Porte cochere. The location of the new curb cut aligns with the existing Coral Sands entrance across the street. A portion of the existing parking lot will be renovated to accommodate the new Porte Cochere and entry drive connection to Nassau Street as well as improve existing conditions and accessible routes. Impacted parking has been reconfigured to meet the Town's landscape island requirements and includes the addition of new wheel stops. Sidewalks serving the existing and modified parking areas will also be renovated to be flush with the adjacent parking stalls (HC, EV and Standard Parking) and act as new ADA routes serving the building entry.

4 new EV charging stations have been added to the parking lot.

Several outer parking spaces along Nassau Street have been converted to compact parking spaces to help improve the existing non-conformity of the parking lot design.

An existing bike parking area at the rear building entrance serves to meet the Town's bike parking requirement.

An improved street buffer along Nassau Street (Type A – option 2) has added additional landscaping to meet the Town's buffer requirements and improve the property edge facing the new addition. New parking lot landscaping has been added where parking is reconfigured to meet the Town's requirements as well as additional landscaping at the Porte Cochere and building edge within the project limits.

Minimal impact/removal to existing trees is envisioned for the renovation with no overstory tree being proposed for removal. 6 Palm trees are proposed to be removed and have been mitigated based on the Town's mitigation requirements. Tree protection fencing is proposed within the work limits and includes protection of one specimen live oak.

Existing utilities will serve the property renovation.

Existing site lighting within the work limits will serve the new parking configuration and be upgraded to new LED fixtures through Palmetto Electric.

The portion of the site being renovated currently drains away from the building and into the landscape/buffer area along Nassau Street, where it perks into the ground. The drainage pattern for the proposed improvements will remain the same. The impervious area draining to the landscape/buffer area will be decreased, meaning less runoff will drain there after the proposed improvements are constructed. The grading will take into account the existing drainage patterns and necessary tree preservation; no excess cut or fill will take place adjacent to any existing trees to remain. The amount of land disturbance is estimated to be less than 0.5 acre.

Landscape Architect

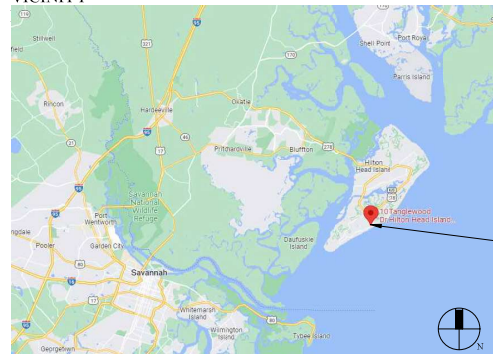
Trey Griffin, Principal

Wood+Partners, Inc.

[tgriffin@woodandpartners.com](mailto:tgriffin@woodandpartners.com)

843-681-6618

VICINITY



PROJECT LOCATION

# HOLIDAY INN EXPRESS

10 Tanglewood Drive  
Hilton Head Island, SC 29928

## Landscape Architecture

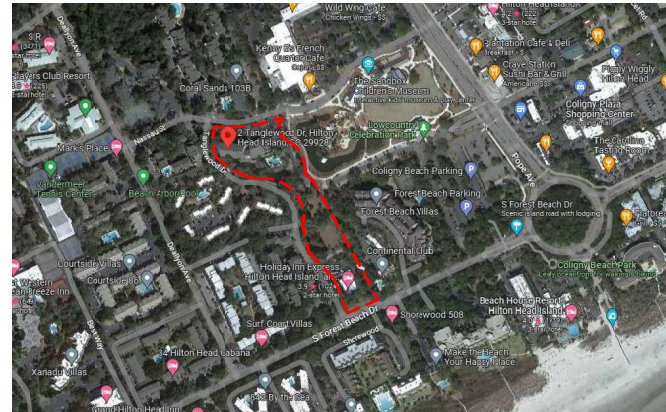
Preliminary Landscape  
Development Documents

Permit Set  
Issued: 02.14.2023

INDEX TO DRAWINGS:

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L-300	DETAILS
L-400	TREE REMOVAL AND PROTECTION PLANS
L-401	LANDSCAPE PLAN
L-402	PLANT SCHEDULE, NOTES, AND DETAILS

LOCATION



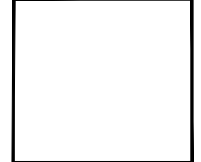
**WOOD+PARTNERS**  
LANDSCAPE ARCHITECTURE  
LAND PLANNING

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**LANDSCAPE ARCHITECT:**  
Wood + Partners Inc.  
7 Lafayette Place  
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Contact:

**OWNER:**  
Owner Address  
City, State, & Zip  
Telephone #  
Contact:

PROFESSIONAL SEAL



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## REFERENCES

1. THE SURVEY, INCLUDING TOPOGRAPHY, USED FOR THE DESIGN WAS PROVIDED THE OWNER AND PREPARED BY SURVEYING CONSULTANTS AND SITE DESIGN, INC. (AS BUILT SURVEY). THE SURVEY HAS NOT BEEN FIELD VERIFIED BY WOOD+PARTNERS, INC. AND WOOD+PARTNERS, INC. PROVIDES NO WARRANTY AS TO THE ACCURACY OF THE SURVEY.
2. MANDATORY ON-SITE PRE-CONSTRUCTION CONFERENCE
3. THE OWNER SHALL BE GIVEN TWENTY FOUR HOURS (24HR) NOTICE OF ALL MEETINGS AND OR TESTING MEASURES RELATED TO SAID PROJECT

## CONTACT AND PROJECT INFORMATION

OWNER: **Dean Bonhart**  
130 Dickinson Blvd  
Inns, SC 29063  
716-375-2470, Director of Asset Management

LANDSCAPE ARCHITECT: **Wood + Partners, Inc.**  
71 Lafayette Place  
Hilton Head Island, sc 29925  
843-681-6818

## CONSTRUCTION DOCUMENTS

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF ANY DISCUSSIONS ARISE
2. THE SITE PLANS ARE INTENDED TO PORTRAY THE SITE AS A COMPLETED, FUNCTIONAL PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS USED TO ACHIEVE THE COMPLETED SITE CONDITION AS SET OUT IN THE PLANS. IT IS NOT THE INTENTION OF THESE PLANS TO PROVIDE SPECIFIC GUIDANCE OF EVERY ASPECT OF THE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THE PLANS IN COMPLIANCE WITH GENERALLY ACCEPTED PRACTICES AND UNDER CURRENT STANDARDS AND CODES. CONTRACTOR SHALL APPLY APPROPRIATE CONSTRUCTION DETAILS AND PROCESSES WHETHER OR NOT THESE INDIVIDUAL ASPECTS OF THE WORK ARE SPECIFICALLY CALLED OUT ON THE PLANS.

## GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL REQUIREMENTS UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL OBTAIN THESE DOCUMENTS, BECOME FAMILIAR WITH THEM AND HAVE THEM ON THE JOB SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL MAKE ALL NECESSARY SITE VISITS AND INSPECTIONS TO BECOME FAMILIAR WITH THE PROJECT AND MAKE ANY INVESTIGATIONS WHICH ARE APPROPRIATE TO CONFIRM THE SOIL/SUBSTRATE/CHEMICAL INFORMATION, TOPOGRAPHIC INFORMATION, WETLANDS, UTILITIES, ETC. TO BE ABLE TO PREPARE THE BID FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND INFORMATION PROVIDED FOR BIDDING AND CONSTRUCTION. ANY ELEVATIONS AND/OR DISCREPANCIES IN THE CONTRACTOR'S FINDINGS VERSUS THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED IN WRITING TO OWNER PRIOR TO THE BID AND PRIOR TO COMMENCEMENT OF CONSTRUCTION ON THE AREAS IN QUESTION.
3. GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT. ALL REQUIRED PERMITS SHALL BE MAINTAINED ON SITE AT ALL TIMES.
4. ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF FEDERAL, STATE, LOCAL MUNICIPALITY AND/OR THE APPLICABLE UTILITY COMPANY, WHICH EVER TAKES PRECEDENCE. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD NOTES, LATEST EDITION.
5. CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE CONSTRUCTION STAGING AND STORAGE AREA PRIOR TO COMMENCEMENT OF MOBILIZATION. ANY CONSTRUCTION TRAILERS USED ON-SITE BY THE CONTRACTOR (IF NECESSARY) SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY IF REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS. CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE FOR TEMPORARY CONSTRUCTION ENTRANCE AND WILL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND UTILITY CONNECTIONS.
6. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
7. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.

## MAINTENANCE OF TRAFFIC

1. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC & SHALL BE PROVIDED BY THE CONTRACTOR & MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT.
2. THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR APPROVAL A STAGING AND CONSTRUCTION ACCESS PLAN DETAILING THE LOCATION OF LAY DOWN AND STORAGE OF MATERIAL AS WELL AS CONSTRUCTION ACCESS AREAS. SUCH A PLAN SHALL REQUIRE THE APPROVAL OF THE OWNER PRIOR TO IMPLEMENTATION.

## STORMWATER POLLUTION PREVENTION

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE EROSION AND TURBIDITY CONTROLS DURING AND FOLLOWING CONSTRUCTION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO AVOID ADVERSE ENVIRONMENTAL IMPACTS TO OFF-SITE PROPERTY AND DRAINAGE SYSTEMS. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOR STORMWATER POLLUTION PREVENTION, OR AS INDICATED BY GRADING AND DRAINAGE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE REQUIREMENTS OF THE EROSION CONTROL PLAN. THE EROSION AND SEDIMENT CONTROLS SHOWN ON THE PLANS ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND MULCHED OR SOILED, IF APPLICABLE, IN ACCORDANCE WITH THESE CONSTRUCTION PLANS.
3. THE CONTRACTOR SHALL COMPLY WITH AND MEET OWNER, LOCAL, STATE, AND FEDERAL REQUIREMENTS OF THE CLEAN AIR AND WATER ACT AND OTHER REGULATIONS AS REQUIRED.
4. TEMPORARY EROSION & SEDIMENT CONTROLS (MAY BALES, SILT FENCES, ETC) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUNOFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.

## UTILITIES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH ALL OTHER UTILITY CONSTRUCTION (IF APPLICABLE).
2. ALL UNDERGROUND UTILITIES, INCLUDING CONDUIT AND SLEEVES, TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE PLANS, APPROVED SPECIFICATIONS AND DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AS APPLICABLE.
3. CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAINAGING AND UNDERGROUND UTILITIES. CONTRACTOR SHALL PROVIDE OWNERS REPRESENTATIVE WITH CONDUIT PLAN FOR APPROVAL PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON PLANS TO ANY EXISTING ACTIVITIES PRIOR TO ANY SITE OR DEMOLITION OR CONSTRUCTION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
  - PORTABLE WATER LINES
  - SANITARY SEWER LINES
  - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
  - GAS LINES
  - TELEPHONE LINES
  - CABLE TELEVISION LINES
  - STORMWATER CONVEYANCE LINES
5. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, OWNER, AND THE ADJACENT PROPERTY OWNERS 72 HOURS PRIOR TO INITIATING ANY DEMOLITION AND EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITIES COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.

7. CONTRACTOR SHALL COORDINATE WITH GOVERNING AGENCIES AND ALL UTILITY COMPANIES TO COORDINATE TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS INCLUDING ANY REQUIRED INSPECTIONS.
8. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESPONSIBLE UTILITY COMPANY, THE OWNER, AND THE OWNERS REPRESENTATIVE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND INFRASTRUCTURE WITHIN THE SITE OR ADJACENT PROPERTIES (e.g. PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS, ETC.) CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER.
10. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION.

## DEMOLITION NOTES

1. CODES AND APPLICABLE CODES REGULATING DEMOLITION WORK SHALL BE COMPLIED WITH. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND CONFIRMING APPLICABLE CODE REQUIREMENTS. THE CONTRACTOR SHALL PUT UP AND MAINTAIN SUCH BARRIERS AND WARNING LIGHTS, AS MAY BE NECESSARY OR REQUIRED BY CODE, TO PROTECT AND PREVENT UNAUTHORIZED PERSONNEL FROM ENTERING THE DEMOLITION WORK AREA. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE FEDERAL, STATE, AND LOCAL (IF APPLICABLE) CODES INsofar AS THEY APPLY TO DEMOLITION WORK TO BE PERFORMED UNDER THIS CONTRACT.
2. PROTECTION OF BUILDINGS & EQUIPMENT: TEMPORARY PROTECTIVE DEVICES AS REQUIRED BY OWNER, LOCAL, STATE, AND FEDERAL LAW, SHALL BE INSTALLED ADJACENT TO THE DEMOLITION WORK FOR PROTECTION OF PERSONNEL, EXISTING ADJACENT BUILDINGS, STRUCTURES AND EQUIPMENT AGAINST DUST, FALLING OR FLYING DEBRIS, ANY DAMAGE TO EXISTING STRUCTURES, FACILITIES AND/OR EQUIPMENT RESULTING FROM DEMOLITION WORK SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
3. PROTECTION OF EXISTING EQUIPMENT & DEBRIS: ALL DEBRIS AND EXISTING MATERIALS AND EQUIPMENT SHALL BE HAULED AWAY AND DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE THEIR OWN ARRANGEMENTS FOR OBTAINING DISPOSAL AREAS.

## DEMOLITION NOTES (CONTINUED)

3. (CONTINUED) THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT SPILLAGE OF MATERIALS BEING HAULED IN PUBLIC STREETS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CLEAN UP ANY SPILLAGE WHICH MAY OCCUR. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN A LEGAL MANNER. THE CONTRACTOR SHALL TURN OVER ANY REMOVED PUBLIC UTILITY ITEMS (e.g. WATER METERS, TO THE UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE IN A LEGAL MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRENCHE SAFETY SYSTEM IF APPLICABLE. THE TRENCHE SAFETY SYSTEM SHALL BE COMPLIANT WITH OSHA STANDARD 29 CFR SECTION 1926.66 SUBPART 4. THERE ARE TO BE NO UNPROTECTED OPEN TRENCHES AT THE DAY'S END.
5. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN ENTERING MANHOLES, PIPES, OR OTHER STRUCTURES SHOWN ON THE PLANS. PROPER CONFINED SPACE ENTRY METHODS SHALL BE ENFORCED.
6. ALL EXISTING VEGETATION, ROOT SYSTEMS, REFUSE AND OTHER DELETED/ROCKS, NON-SOIL MATERIAL SHALL BE STRIPPED FROM THE PROPOSED CONSTRUCTION AREAS. CLEAN TOPSOIL MAY BE STOCKPILED AND RESUED LATER IN LANDSCAPED AREAS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL/DISPOSAL OF ANY UNSUITABLE MATERIAL FROM THEIR OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
8. INSTALL TREE PROTECTION BARRICADE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AT THE CROWN DRILLING FOR ALL TREES TO BE PRESERVED. CONSTRUCTION ACTIVITY AND THE STAGING AND STORAGE OF MATERIAL AND EQUIPMENT WITHIN THE CROWN DRILLING SHALL BE PROHIBITED. TREE PROTECTION BARRICADES SHALL REMAIN ERECTED AT ALL TIMES. TREE PROTECTION BARRICADES SHALL BE REMOVED AT THE DIRECTION OF THE OWNER OR OWNERS REPRESENTATIVE.
9. CLEANUP: THE CONTRACTOR SHALL MAINTAIN AN ORDER OF NEATNESS AND GOOD HOUSEKEEPING. TOOLS, SCAFFOLDING AND OTHER DEMOLITION EQUIPMENT MUST AT ALL TIMES BE KEPT IN A NEAT AND ORDERLY ARRANGEMENT. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION AS REQUIRED FOR SUBSEQUENT NEW WORK.

## LAYOUT NOTES

1. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. HARDCOPY INFORMATION SHALL PREVAIL.
2. CONTRACTOR SHALL STAKE THE LAYOUT OF THE CONSTRUCTION DOCUMENTS FOR OWNER AND OWNERS REPRESENTATIVE TO APPROVE PRIOR TO CONSTRUCTION.
3. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER PRIOR TO CONSTRUCTION.

## FINAL ACCEPTANCE

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS CERTIFIED BY A REGISTERED SURVEYOR.
2. "AS-BUILT" DRAWINGS SHALL BE PROVIDED TO THE OWNER AND OWNERS REPRESENTATIVE IN CAD AND HARDCOPY FORMATS.
3. FINAL INSPECTION SHALL NOT OCCUR UNTIL "AS-BUILT" DRAWINGS HAVE BEEN PROVIDED TO AND REVIEWED BY OWNER AND OWNERS REPRESENTATIVE.
4. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE SUBSTANTIAL COMPLETION INSPECTION.
5. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.

## PAVING AND DRAINAGE NOTES

1. ALL GRADING, PLACEMENT OF FILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ALL FILL PLACED AS A PART OF THIS PROJECT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ALL FILL AREAS MUST BE COMPACTED AS STATED.
2. COMPACTION DENSITIES FOR ALL SELECT FILL ARE TO BE TAKEN IN SIX INCH (6") LIFTS IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR THE CONTRACTOR.
3. ALL CONSTRUCTION LINES & GRADES SHALL BE ESTABLISHED AND MAINTAINED BY THE CONTRACTOR.
4. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF DISCREPANCIES. STORMWATER ANALYSIS WAS NOT CONDUCTED FOR THIS PROJECT. CONTRACTOR TO ENSURE PROPER AND POSITIVE DRAINAGE OF ALL GRADES.
5. THE CONTRACTOR SHALL VERIFY ALL THE ELEVATIONS OF ALL TIE-IN POINTS FOR INSTALLATION OF UTILITIES, HARDCAPE AND FINISHED WORK, AND NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES.
6. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
7. CONTRACTOR SHALL PROTECT ALL TREES, VEGETATION AND REFERENCE POINTS AS INDICATED ON THE DRAWINGS.
8. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE PAVING WITH ALL OTHER CONSTRUCTION.
9. ALL SIDEWALKS AND RAMPS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
10. ALL SIDEWALKS SHALL NOT EXCEED SLOPE OF 5% UNLESS OTHERWISE INDICATED.

## PAVING AND DRAINAGE NOTES (CONTINUED)

11. TOLERANCE OF ANY HORIZONTAL GAP SHALL BE NO GREATER THAN 1/2" AND THE VERTICAL CHANGE SHALL BE NO GREATER THAN 1/4", WHICH INCLUDES BUT IS NOT LIMITED TO THE RADII OF ANY CONCRETE EDGE AND UNIT PAVING EDGE.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITTED CONSTRUCTION DOCUMENTS. ANY DEVIATION FROM THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE ORGANIZATION AND/OR ENTITY RESPONSIBLE FOR THE INSTALLATION TO UPDATE/REPLACE ANY DEFICIENT MATERIAL/EQUIPMENT NECESSARY TO BRING THE FINAL PRODUCT TO THE STANDARDS OF THE PERMITTED CONSTRUCTION DOCUMENTS.
13. ALL SIDEWALKS AND RAMPS CONSTRUCTED SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL A.D.A. REGULATIONS, LAWS, AND POLICIES.
14. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING ALL A.D.A. ACCESSIBLE ROUTES, PURSUANT TO LOCAL, STATE, AND FEDERAL ADA REGULATIONS.
15. REGARDING GRADES OR SLOPES COMPARED TO ADA REQUIREMENTS, THE CONTRACTOR SHALL CONTACT THE OWNER OR OWNERS REPRESENTATIVE FOR CLARIFICATION, PRIOR TO IMPLEMENTATION.

## GENERAL DETAILS NOTES

1. THESE NOTES SHALL APPLY TO ALL DETAILS INCLUDED IN THIS SET OF CONSTRUCTION DOCUMENTS.
2. SEE STRUCTURAL NOTES FOR ALL WOOD REQUIREMENTS.
3. CONTRACTOR TO CONSTRUCT 5407 BY 5407 DEMONSTRATION AREA FOR ALL CONCRETE SPECIFIED AND 5407 BY 5407 DEMONSTRATION AREA FOR ALL SPECIALTY PAVEMENT AT LEAST ONE WEEK PRIOR TO ON-SITE APPLICATION. FINAL APPLICATION MUST BE COMPATIBLE (MATCH) WITH DEMONSTRATION AREAS.
4. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE HOT-DIPPED GALVANIZED UNLESS OTHERWISE SPECIFIED.
5. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH GALVANIZED NUTS, BOLTS, AND WASHERS UNLESS OTHERWISE SPECIFIED.
6. NAILS: ALL NAILS SHALL BE HOT DIPPED GALVANIZED. FINISH NAILS SHALL BE ANNULAR ALLOY ALUMINUM UNLESS OTHERWISE SPECIFIED.
7. ALL WELDS CONTINUOUS.
8. INSTALL ALL SITE FURNISHINGS (PLUMB, LEVEL, TRUE TO LINE AND AT ELEVATIONS INDICATED).
9. RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS AT NO ADDITIONAL COST TO OWNER.
10. SUBMIT SHOP DRAWINGS, PRODUCT DATA AND MAINTENANCE DATA FOR APPROVAL PRIOR TO PURCHASING, FABRICATION AND INSTALLATION.
11. ALL CONCRETE FOOTINGS, BASES, AND WALKS SHALL BE A MINIMUM OF 4000 PSI, UNLESS OTHERWISE SPECIFIED. (SEE STRUCTURAL).
12. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS OR AS OTHERWISE STATED IN THE ENGINEERING PLANS.
13. ALL FLOOR DIMENSIONS TO BE ACTUAL. ALL LUMBER DIMENSIONS TO BE NOMINAL.

## STRUCTURAL NOTES

1. See structural plans for additional general notes & notes regarding foundations, concrete, reinforcement, grout, wood, and other items.



LANDSCAPE DEVELOPMENT PLANS  
FOR  
THE HOLIDAY INN EXPRESS  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

PRELIMINARY PLANS: NOT FOR CONSTRUCTION

DRAWN BY: TG, CC  
CHECKED BY: TS

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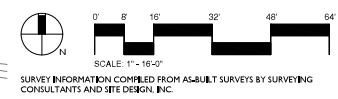
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2-14-2023  
PROJECT NUMBER  
01-22046  
SHEET TITLE

General  
Notes

SHEET  
NUMBER  
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**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

**PRELIMINARY PLANS; NOT FOR CONSTRUCTION**

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 CHECKED BY: TG

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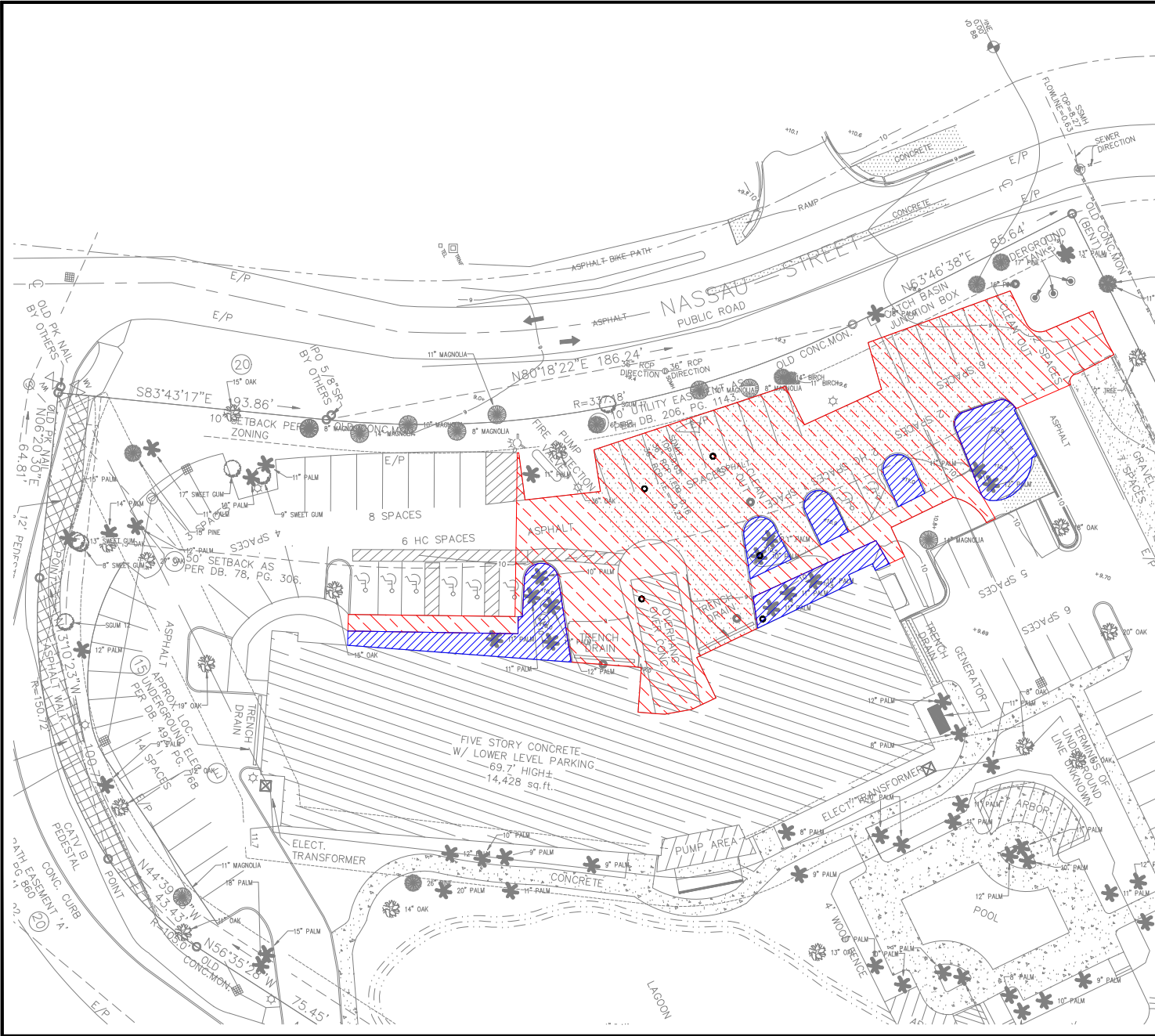
DATE: 2-14-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE:

**Existing Conditions**

SHEET NUMBER:  
**L-001**



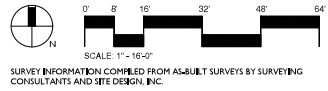
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**LEGEND**

SYMBOL	DESCRIPTION
	APPROXIMATE LIMITS OF EXISTING PAVEMENT, CURBING, STRUCTURES, ETC. TO BE REMOVED
	EXISTING LANDSCAPE TO BE REMOVED

- NOTES:**
- SEE TREE REMOVAL / TREE PROTECTION PLAN FOR TREES TO BE REMOVED AND LANDSCAPE MITIGATION REQUIREMENTS.
  - CONTRACTOR TO PRESERVE EXISTING INFRASTRUCTURE THAT SERVICES FEATURES TO REMAIN (BUILDING UTILITIES, ELECTRICAL, STORM DRAIN FEATURES, TRENCH DRAINS, ETC).
  - DURING DEMOLITION AND CONSTRUCTION, CONTRACTOR TO MAINTAIN RECORDS OF EXISTING SITE ELECTRICAL, PLUMBING, AND STORM DRAINAGE ROUTINGS, AND CONNECTION POINTS WITHIN LIMIT OF WORK. COORDINATE WITH OWNER FOR SERVICE CONNECTIONS TO BE MAINTAINED DURING CONSTRUCTION.
  - ANY EXISTING STORM DRAINAGE, WATER LINES, IRRIGATION MAIN LINES, ETC. DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED / REPLACED BY CONTRACTOR.



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LANDSCAPE ARCHITECTURE

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**LANDSCAPE DEVELOPMENT PLANS**  
FOR  
**THE HOLIDAY INN EXPRESS**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

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PROFESSIONAL SEAL:

**PRELIMINARY PLANS; NOT FOR CONSTRUCTION**

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PERSON	DATE

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DATE: 2-14-2023  
PROJECT NUMBER: 01-22046  
SHEET TITLE: Preliminary Site Demo

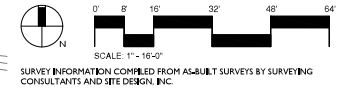
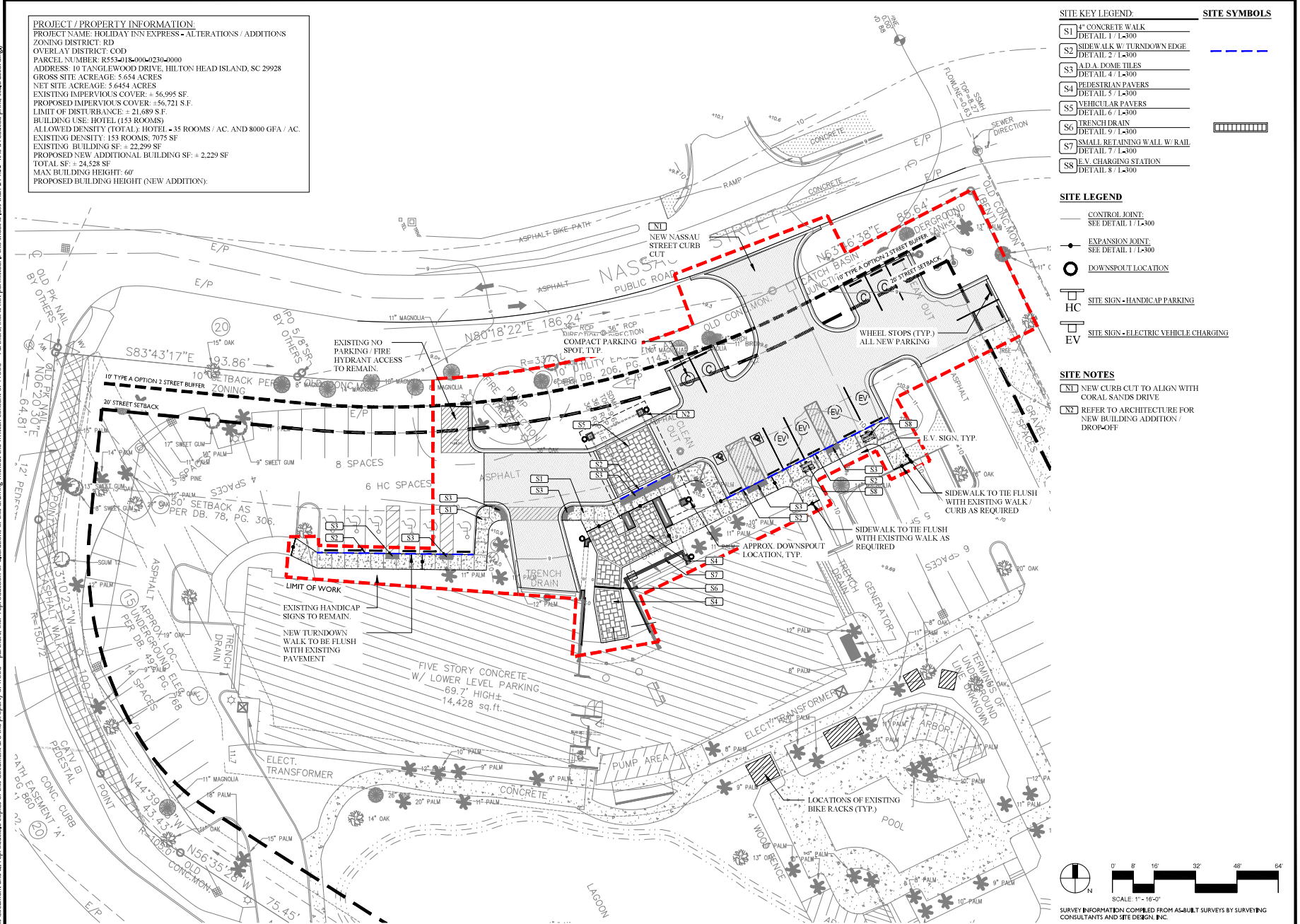
SHEET NUMBER: L-002

**PROJECT / PROPERTY INFORMATION**  
 PROJECT NAME: HOLIDAY INN EXPRESS - ALTERATIONS / ADDITIONS  
 ZONING DISTRICT: RD  
 OVERLAY DISTRICT: COD  
 PARCEL NUMBER: R553-018-000-0230-0000  
 ADDRESS: 10 TANGLEWOOD DRIVE, HILTON HEAD ISLAND, SC 29928  
 GROSS SITE AREA: 5.654 ACRES  
 NET SITE ACREAGE: 5.6454 ACRES  
 EXISTING IMPERVIOUS COVER: = 56,995 SF  
 PROPOSED IMPERVIOUS COVER: = 56,721 SF  
 LIMIT OF DISTURBANCE: = 21,689 SF  
 BUILDING USE: HOTEL (153 ROOMS)  
 ALLOWED DENSITY (TOTAL): HOTEL - 35 ROOMS / AC. AND 8000 GFA / AC.  
 EXISTING DENSITY: 153 ROOMS, 7075 SF  
 EXISTING BUILDING SF: = 22,299 SF  
 PROPOSED NEW ADDITIONAL BUILDING SF: = 2,229 SF  
 TOTAL SF: = 24,528 SF  
 MAX BUILDING HEIGHT: 60'  
 PROPOSED BUILDING HEIGHT (NEW ADDITION):

- SITE KEY LEGEND**
- S1 4" CONCRETE WALK  
DETAIL 1 / L-300
  - S2 SIDEWALK W/ TURNDOWN EDGE  
DETAIL 2 / L-300
  - S3 ADA DOME TILES  
DETAIL 4 / L-300
  - S4 PEDESTRIAN PAVERS  
DETAIL 5 / L-300
  - S5 VEHICULAR PAVERS  
DETAIL 6 / L-300
  - S6 TRENCH DRAIN  
DETAIL 9 / L-300
  - S7 SMALL RETAINING WALL W/ RAIL  
DETAIL 7 / L-300
  - S8 E.V. CHARGING STATION  
DETAIL 8 / L-300

- SITE LEGEND**
- CONTROL JOINT:  
SEE DETAIL 1 / L-300
  - EXPANSION JOINT:  
SEE DETAIL 1 / L-300
  - DOWNSPOUT LOCATION
  - HC SITE SIGN - HANDICAP PARKING
  - EV SITE SIGN - ELECTRIC VEHICLE CHARGING

- SITE NOTES**
- N1 NEW CURB CUT TO ALIGN WITH CORAL SANDS DRIVE
  - N2 REFER TO ARCHITECTURE FOR NEW BUILDING ADDITION / DROP-OFF



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 Landscape Architecture

**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

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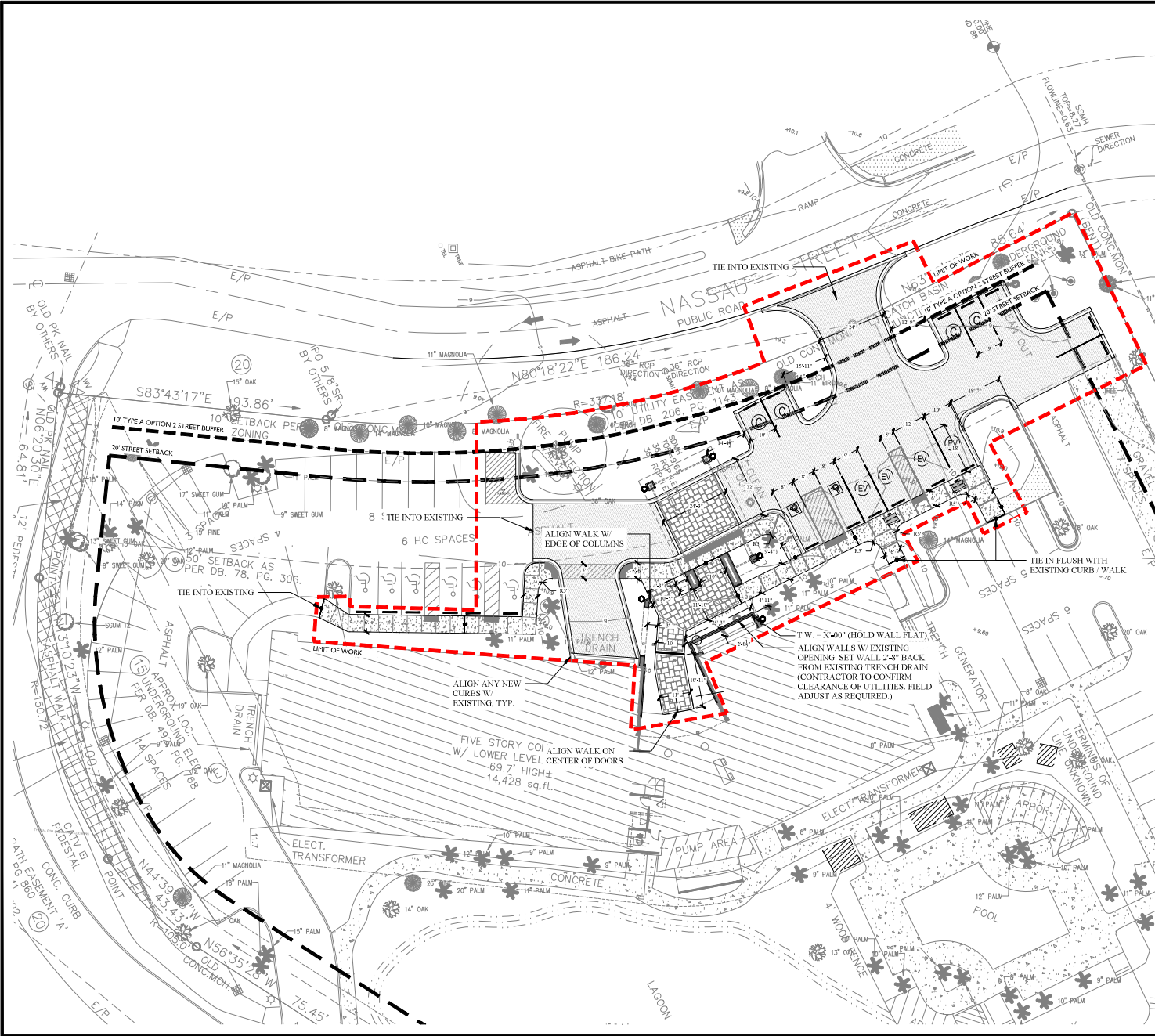
REVISION	DATE	BY

DATE: 2-14-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE: Site Plan

SHEET NUMBER: L-100



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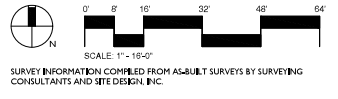


- GENERAL LAYOUT NOTES:**
1. DIGITAL FILES AVAILABLE FOR SURVEY STAKEOUT.
  2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL STAKE ALL WORK TO BE CONSTRUCTED AND OBTAIN APPROVAL FOR OWNER / OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  4. CONTRACTOR SHALL PROVIDE MOCKUPS OF ALL HARDSCAPE FOR APPROVAL PRIOR TO CONSTRUCTION.
  5. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND CENTER OF WALLS UNLESS OTHERWISE INDICATED.
  6. ALL RADII AND CURVES ARE TO HAVE CONTINUOUS AND SMOOTH TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
  7. ALL CONCRETE EXPANSION AND CONTROL JOINTS SHOULD BE LOCATED, SCORED, CUT AS SHOWN. ANY JOINT LOCATIONS THAT DO NOT FOLLOW THESE PLANS OR HAVE BEEN MODIFIED IN THE FIELD WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT ARE SUBJECT TO DEMO, REMOVAL AND RE-POURING AT THE CONTRACTOR'S EXPENSE.
  8. THESE NOTES SHALL BE USED ALONG SIDE THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
  9. THESE DRAWINGS REPRESENT THE FINISHED WORK. ALL BRACING, TEMPORARY SUPPORTS, SHORING, FRAMING, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONSTRUCTION OBSERVATION VISITS TO THE PROJECT SITE BY THE LANDSCAPE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND SAFETY CONDITIONS ON THE JOB / PROJECT SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.
  10. BUILDING PERMITS SHALL BE OBTAINED BY THE OWNER OR CONTRACTOR FOR ALL ELEMENTS OF THE DESIGN REQUIRED BY LOCAL CODE.

**SUPPLEMENTAL GRADING & DRAINAGE LEGEND**

+ T.W.	TOP OF WALL
+ B.W.	BOTTOM OF WALL
+ F.G.	FINISH GRADE
— (with dashed line)	DRAIN PIPE (DESIGN BY CONTRACTOR)
— (with arrow)	DIRECTION OF SWALE

- NOTE:**
1. REFER TO CIVIL FOR PARKING LOT GRADING AND DRAINAGE. THIS PLAN IS MEANT TO SUPPLEMENT CIVIL GRADING INFORMATION.



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LANDSCAPE DEVELOPMENT PLANS  
FOR  
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2 Tanglewood Drive  
Hilton Head Island, SC 29928

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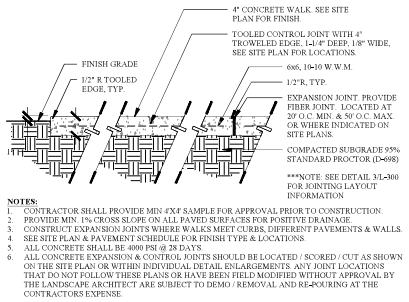
NO.	REVISION	DATE	BY

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DATE: 2-14-2023  
PROJECT NUMBER: 01-22046  
SHEET TITLE: Layout & Supplemental Grading Plan

SHEET NUMBER:  
**L-200**

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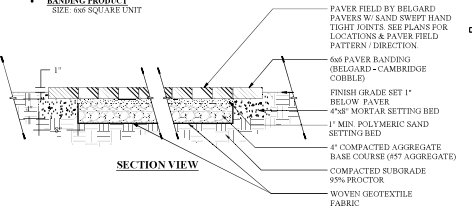


**1** 4" CONCRETE  
SCALE: 1" = 1'-0"

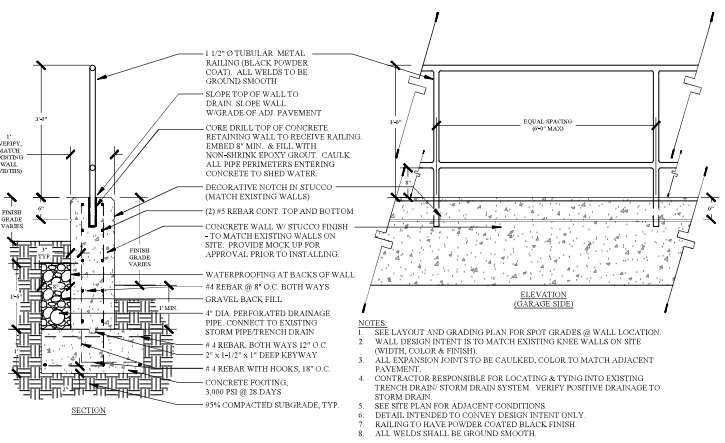
- MATERIAL SELECTIONS:**  
 DRIVE BELGARD PAVERS  
 PRODUCT: CAMBRIDGE COBBLE  
 COLOR: ARCTIC
- FIELD PRODUCT:**  
 PATTERN: 2 FIELD (SEE PLAN FOR ORIENTATION)  
 SIZE: 666 AND 669
- BANDING PRODUCT:**  
 SIZE: 666 SQUARE UNIT



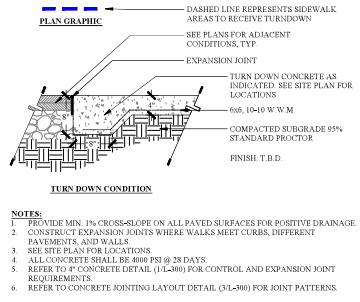
- NOTES:**  
 1. SEE PAVEMENT SCHEDULE AND SITE PLAN FOR PAVEMENT LOCATIONS & ADJACENT CONDITIONS.  
 2. SEE PLANS FOR PAVEMENT DIRECTION. LAYOUT PAVEMENT FIELD AS INDICATED ON PLANS.



**5** PEDESTRIAN PAVERS  
SCALE: 1" = 1'-0"

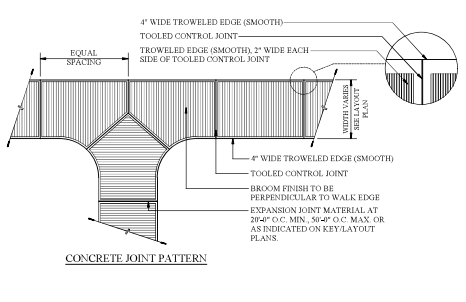
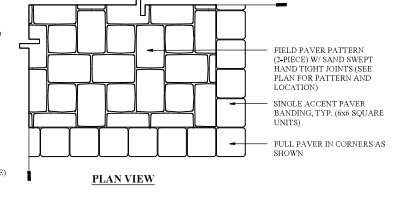


**7** RETAINING WALL W/ HANDRAIL  
SCALE:



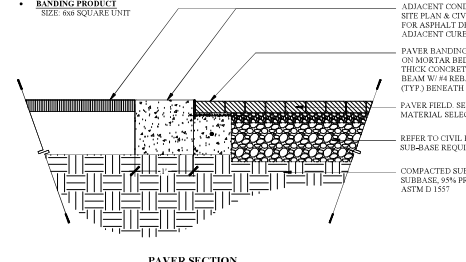
**2** CONCRETE TURN-DOWN  
SCALE: 1" = 1'-0"

- NOTES:**  
 1. PROVIDE MIN. 1% CROSS-SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.  
 2. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, DIFFERENT PAVEMENTS, AND WALLS.  
 3. SEE SITE PLAN FOR LOCATIONS.  
 4. ALL CONCRETE SHALL BE 4000 PSI @ 28 DAYS.  
 5. REFER TO 4" CONCRETE DETAIL (1-1400) FOR CONTROL AND EXPANSION JOINT REQUIREMENTS.  
 6. REFER TO CONCRETE JOINTING LAYOUT DETAIL (1-1400) FOR JOINT PATTERNS.

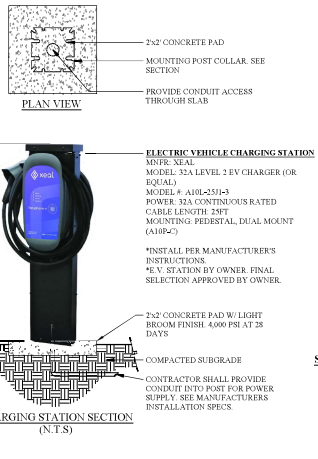


**3** CONCRETE JOINTING LAYOUT  
SCALE: N.T.S.

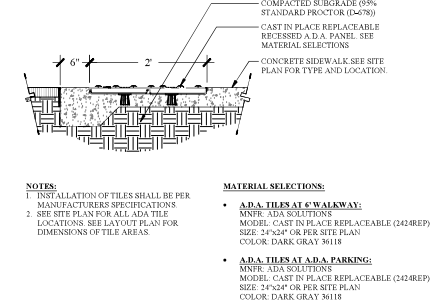
- MATERIAL SELECTIONS:**  
 MFR: BELGARD PAVERS  
 PRODUCT: CAMBRIDGE COBBLE  
 COLOR: ARCTIC
- FIELD PRODUCT:**  
 PATTERN: 2 FIELD (SEE PLAN FOR ORIENTATION)  
 SIZE: 666 AND 669
- BANDING PRODUCT:**  
 SIZE: 666 SQUARE UNIT



**6** VEHICULAR PAVERS (PATTERN ONLY)  
SCALE: 1" = 1'-0"



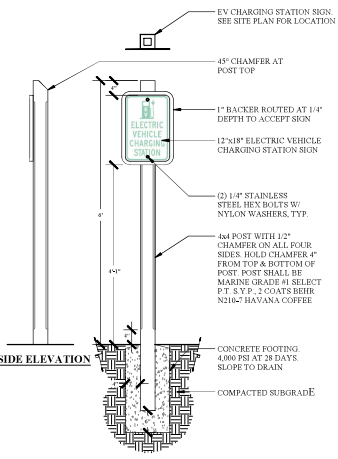
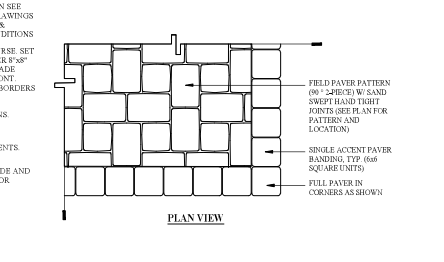
**8** E.V. CHARGING STATION  
SCALE: 3/4" = 1'-0"



**4** A.D.A. TRUNCATED DOMES  
SCALE: 1" = 1'-0"

- NOTES:**  
 1. INSTALLATION OF TILES SHALL BE PER MANUFACTURER'S SPECIFICATIONS.  
 2. SEE SITE PLAN FOR ALL ADA TILE LOCATIONS. SEE LAYOUT PLAN FOR DIMENSIONS OF TILE AREAS.

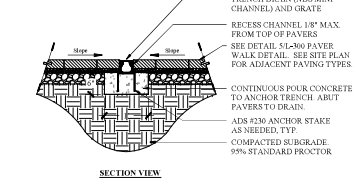
- MATERIAL SELECTIONS:**  
 • **A.D.A. TILES AT 6\"/>
 MFR: ADA SOLUTIONS  
 MODEL: CAST IN PLACE REPLACEMENT (2424REP)  
 SIZE: 24\"/>
 COLOR: DARK GRAY 9018**
- **A.D.A. TILES AT A.D.A. PAVING:**  
 MFR: ADA SOLUTIONS  
 MODEL: CAST IN PLACE REPLACEMENT (2424REP)  
 SIZE: 24\"/>
 COLOR: DARK GRAY 9018



**9** TRENCH DRAIN  
SCALE: 3/4" = 1'-0"

- DRAIN SELECTION:**  
 MFR: NIS, INC. (NATIONAL DIVERSIFIED SALES, INC.)  
 TRENCH DRAIN MODEL: MINI-CHANNEL DRAIN (9500)  
 COLOR: GRAY  
 MOUNTING HARDWARE: ANCHOR STAKE (2)  
 GRATE MODEL: 555C1-3\"/>
 COLOR: BLACK INITIAL (NATURAL PATINA LONG TERM)

- NOTES:**  
 1. CONTRACTOR SHALL MAKE ALL TRENCH DRAIN TO DRAINAGE LINE CONNECTIONS AND FIELD VENTS. ALL TRENCH POSTS/VENTS TO BE CONTINUOUS FOUR CONCRETE TO ANCHOR TRENCH DRAIN PAVERS TO DEAD.  
 2. CONTRACTOR RESPONSIBLE FOR PROVIDING ALL APPROPRIATE ADAPTERS TO FIT ALL DRAINAGE PIPES.



**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

**PRELIMINARY PLANS: NOT FOR CONSTRUCTION**

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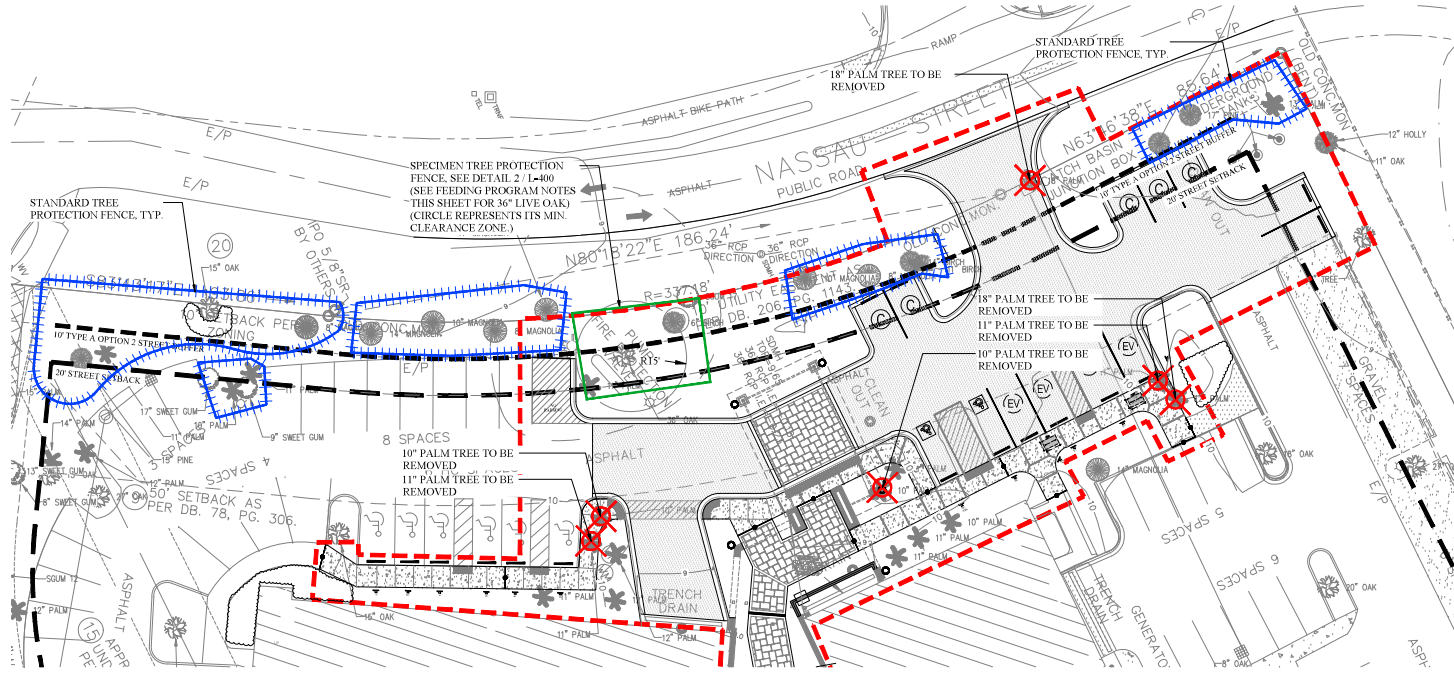
1	Revised	DATE	BY

DATE: 2-14-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE: Details

SHEET NUMBER: L-300



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**SCHEMATIC TREE REMOVAL AND TREE PROTECTION PLAN**

1" = 16'-0"

**LEGEND**

- TREE TO BE REMOVED
- STANDARD TREE PROTECTION FENCE PROVIDE 4' HIGH BARRICADE PLACED AT PERIMETER OF TREE PROTECTION ZONE AS INDICATED ON PLANS. SEE DETAIL 1 / L-400 FOR MORE INFORMATION
- SPECIMEN TREE PROTECTION FENCE PROVIDE 7' HIGH WOOD BARRICADE PLACED AT PERIMETER OF TREE PROTECTION ZONE AS INDICATED ON PLANS. SEE DETAIL 2 / L-400 FOR MORE INFORMATION

**NOTES**

- TREE PROTECTION FENCING & EROSION CONTROL MEASURES SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION
- SEE CIVIL PLANS FOR EROSION CONTROL MEASURES
- EROSION CONTROL AND TREE BARRICADES ARE TO BE IN PLACE AND APPROVED BY THE TOWN OF HILTON HEAD PRIOR TO ANY TREE CLEARING OR SITE DEMOLITION/CONSTRUCTION
- BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ALL REQUIRED EROSION CONTROL, TREE PROTECTION MEASURES ARE INSTALLED. CONTACT THE TOWN'S CASE MANAGER TO SCHEDULE PRE-CLEAR INSPECTION.

**TREE REMOVAL SUMMARY**

SIZE	TYPE	CATEGORY
18"	PALM	III
12"	PALM	III
11"	PALM	III
10"	PALM	III
10"	PALM	III
11"	PALM	III
<b>TOTAL INCHES REMOVED BY CATEGORY</b>		
72"	PALMS	III

**TREE REPLACEMENT SUMMARY**

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

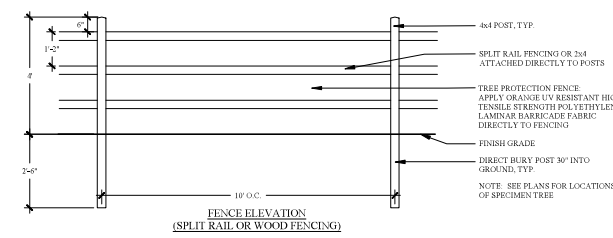
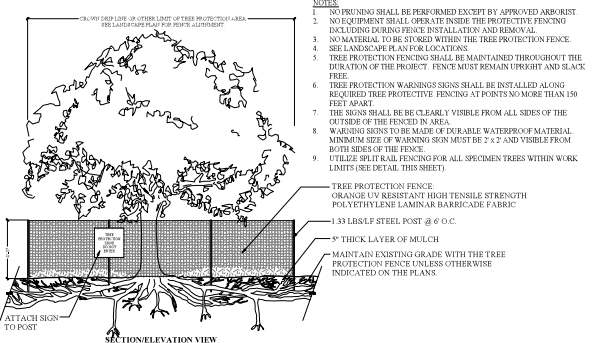
72" PALMS (CAT III) REMOVED  
 7 CAT III (MIN) TREES REQUIRED FOR REPLACEMENT

2" CAL. 10" HT. MINIMUM REPLACEMENT REQUIRED

72" LIVE OAKS (02/IV) AND (5) 12-16" SABLE PALMETTOS (SASA) HAVE BEEN PROVIDED TO MEET BOTH TREE MITIGATION AND BUFFER PLANTING REQUIREMENTS

SEE LANDSCAPE PLAN AND SCHEDULE (L-101 & L-102) FOR REPLACEMENT TREE LOCATIONS & REQUIREMENTS.

- FEEDING PROGRAM FOR 36" LIVE OAK:**
- ALL WORK (FEEDING PROGRAM, PRUNING, ETC.) TO BE PERFORMED BY CERTIFIED ARBORIST. CONTRACTOR TO SUPPLY CERTIFICATES FROM LICENSED ARBORIST TO CONFIRM THE SERVICES LISTED BELOW WERE PERFORMED AS SPECIFIED.
  - 36" LIVE OAK TO RECEIVE PRE-CONSTRUCTION TREATMENT WITH CAMBISTAT. THIS GROWTH INHIBITOR LIMITS CANOPY DEVELOPMENT, ALLOWING THE TREE TO REDIRECT ITS ENERGY TOWARD ROOT GROWTH. THE RESULT IS A MORE VIGOROUS ROOT SYSTEM CAPABLE OF WITHSTANDING THE STRESS OF CONSTRUCTION ACTIVITIES. INJECT CAMBISTAT DIRECTLY INTO THE SOIL.
  - UNDER THE DIRECTION OF A CERTIFIED ARBORIST AND A TOWN OF HILTON HEAD ISLAND REPRESENTATIVE, PRUNE THE CROWN OF THE LIVE OAK AND CUT BACK ANY WEAK ENDS AS NECESSARY.
  - CERTIFIED ARBORIST SHALL ASSESS THE HEALTH OF THE 36" LIVE OAK AND CONSTRUCTION PROGRESS TO DETERMINE THE APPROPRIATE TIMING OF THE MYCOR TREATMENT.
  - MULCH WITHIN THE DRIP LINE OF THE 36" LIVE OAK WITH 4"± OF ARBORIST WOOD CHIP/HARDWOOD MULCH. CARE SHOULD BE TAKEN TO KEEP THE MULCH 12" MINIMUM OFF THE ROOT FLARE.
  - A POST CONSTRUCTION CARE PROGRAM SHALL BE DEVELOPED BY CERTIFIED ARBORIST FOR THE 36" LIVE OAK AND MAY INCLUDE MYCOR TREATMENT AND WATERING PROGRAM.



**1 STANDARD TREE PROTECTION FENCING**

**2 SIGNIFICANT / SPECIMEN TREE PROTECTION FENCING**

SCALE: 1" = 16'-0"

SURVEY INFORMATION COMPILED FROM ASBLUT SURVEYS BY SURVEYING CONSULTANTS AND SITE DESIGN, INC.

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 Landscape Architecture  
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**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

**PROFESSIONAL SEAL:**

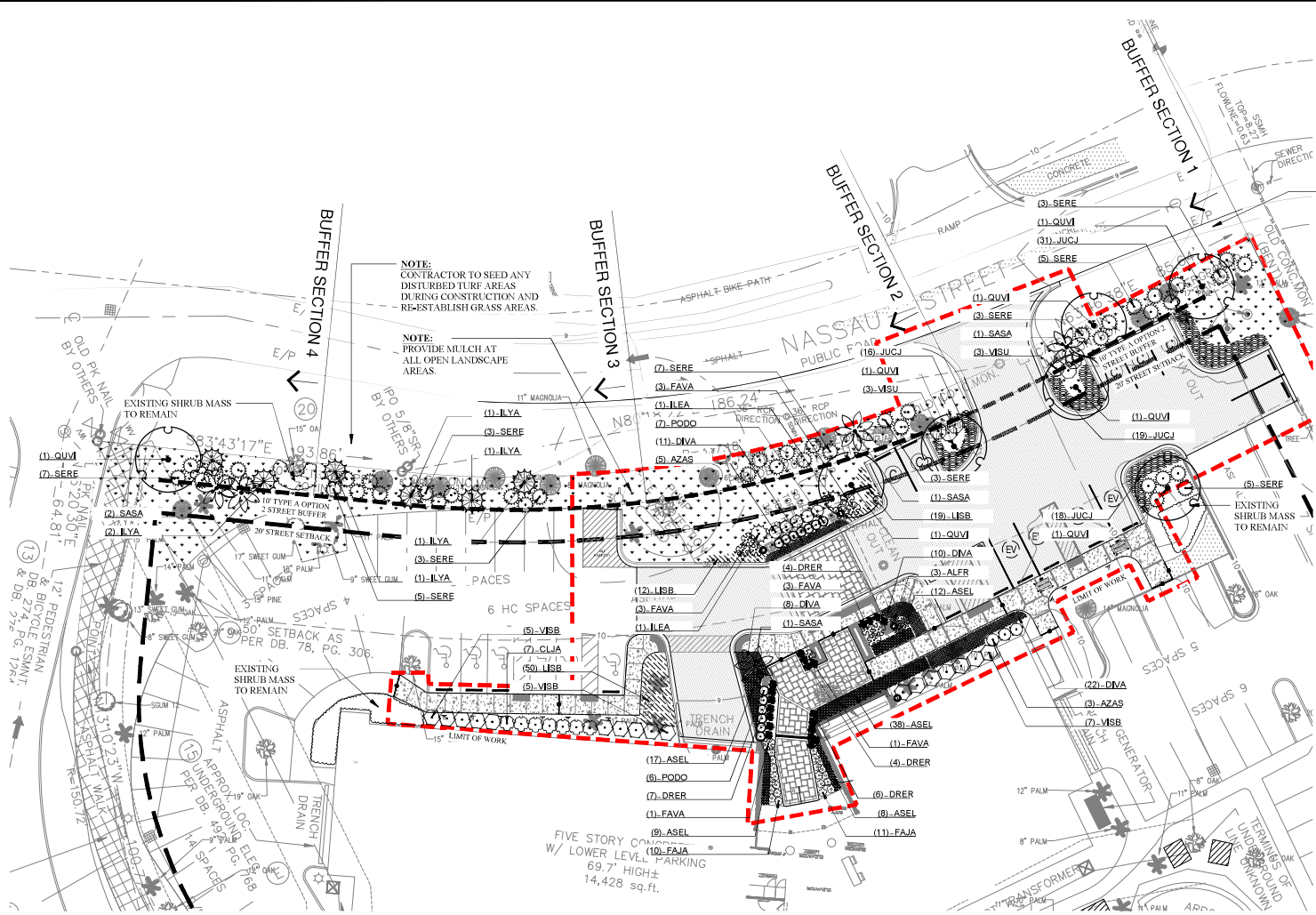
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DRAWN BY: T.G. CC  
 CHECKED BY: TS

PERSON	DATE	BY

DATE: 2-14-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE: Tree Removal & Protection Plans  
 SHEET NUMBER: L-400

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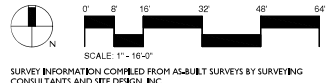
NOTE:  
CONTRACTOR TO SEED ANY  
DISTURBED TURF AREAS  
DURING CONSTRUCTION AND  
RE-ESTABLISH GRASS AREAS.

NOTE:  
CONTRACTOR TO SEED ANY  
DISTURBED TURF AREAS  
DURING CONSTRUCTION AND  
RE-ESTABLISH GRASS AREAS.

NOTE:  
PROVIDE MULCH AT  
ALL OPEN LANDSCAPE  
AREAS

BUFFER SUMMARY (BY SECTION)						
NASSAU STREET BUFFER (± 683 LF)						
BUFFER SECTION	BUFFER TYPE	EXISTING TREES	OVERSTORY TREES TO BE REMOVED	UNDERSTORY TREES TO BE REMOVED	UNDERSTORY TREES TO BE PROVIDED	SHRUBS TO BE PROVIDED
SECTION 1 (100')	A-OPT 2	2	2 (0 EX)	4	1 (0 EX)	10
SECTION 2 (100')	A-OPT 2	2	0 (0 EX)	4	1 (0 EX)	10
SECTION 3 (100')	A-OPT 2	2	0 (0 EX)	4	4 (0 EX)	10
SECTION 4 (± 68')	A-OPT 2	2	1 (0 EX)	4	4 (0 EX)	7*

BUFFER NOTES:  
 1 \* 3 EXISTING SA W PALMETTO SHRUBS HAVE BEEN COUNTED TOWARD SECTION 4 BUFFER SHRUB PLANTINGS \*  
 2 NASSAU ST BUFFER TO BE MULCHED TO BACK OF NEW HAKISCAPE TO A 3" DEPTH UTILIZING PINE STRAW MULCH (SEE PLANT SCHEDULE)  
 3 CONTRACTOR SHALL REPAIR ANY DISTURBED TURF AREAS OUTSIDE OF BUFFER



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 Landscape Architecture  
 7 Ledyard Hillon Hillon Head Island, SC 29926  
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**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
**THE HOLIDAY INN EXPRESS**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

PROFESSIONAL SEAL:

**PRELIMINARY PLANS; NOT FOR CONSTRUCTION**

DRAWN BY: TG, CC  
 CHECKED BY: TG

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DESIGNER	DATE	BY

DATE: 2-14-2023  
 PROJECT NUMBER: 01-22046  
 SHEET TITLE:

**Landscape Plan**

SHEET NUMBER: L-401

G:\Projects\Hil Holiday Inn Express On Tanglewood\Production\02 Work\DD\01\22046-00\Landscaping.dwg, Thursday, February 02, 2023, Plotted By: Chandler Coriano  
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**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HEIGHT	REMARKS
ILYA	6	Ilex vomitoria 'Pride of Houston'	Pride of Houston Yaupon Holly	B & B OR CONT.		6' - 7'	6' min. per Town of Hilton Head understorey buffer requirements.
QUVI	7	Quercus virginiana	Southern Live Oak	B & B OR CONT.	2" Cal. Min.	10' Min.	Per Town of Hilton Head's overstorey buffer requirements.
SASA	5	Sabal palmetto	Cabbage Palmetto	B & B OR CONT.		Varies (12'-16')	Hurricane Cut. Match heights of adjacent palms when placing next to building.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS
ALFR	3	Alocasia micholitziana	Green Velvet Alocasia	3 gal	2'-3'	12" x 18"	Full in pot.
AZAS	8	Azalea x 'Robblee'	Autumn Sangria® Encore® Azalea	3 gal	18" x 24"	12" x 18"	Full in pot.
CLIA	7	Cleyera japonica	Sakaki	7 gal	48"-60"	24" x 36"	Full in pot.
DRER	21	Dryopteris erythrosora	Autumn Fern	1 gal	12" x 18"	8" x 12"	Full in pot.
FAJA	21	Farfugium japonicum	Leopard Plant	1 gal	12" x 18"	8" x 12"	Full in pot.
FAVA	11	Fatsia japonica 'Variegata'	Camouflage® Variegated Fatsia	3 gal	2'-3'	20" x 24"	Full in pot.
ILEA	2	Ilex x attenuata 'Eagleston'	Eagleston Holly	15 gal	5'-6'	3' x 4'	Full to ground.
PODO	13	Podocarpus macrophyllus 'Pringles'	Pringles Dwarf Yew Podocarpus	7 gal	2'-3'	18" x 24"	Full, No whips.
SERE	44	Sereoa repens	Saw Palmetto	7 gal	18" x 24"	18" x 24"	Full in pot.
VISU	6	Viburnum suspensum	Sandankwa Viburnum	7 gal	30" x 36"	24" x 36"	Full in pot.
VISB	17	Viburnum tinus 'Spring Bouquet'	Spring Bouquet Laurustinus	7 gal	24" x 36"	18" x 24"	Full in pot.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING
ASEL	84	Aspidistra elatior	Cast Iron Plant	1 Gal.	12" x 18"	8" x 12"	24" o.c.
DIVA	51	Dianella tasmanica 'Variegata'	Variegated Flax Lily	1 gal	8" x 12"	8" x 12"	30" o.c.
JUCJ	84	Juniperus conferta	Shore Juniper	1 gal	3'-6"	8" x 12"	30" o.c.
LISB	81	Liriope muscari 'Super Blue'	Super Blue Lilyturf	1 gal	8" x 12"	6'-8"	24" o.c.
MULCH	QTY	BOTANICAL NAME	COMMON NAME	CONT	REMARKS		
MLCH	7,148 sf	Pinestraw Mulch	Pinestraw Mulch	Bale	3" depth min. Include for entire street buffer.		

**LANDSCAPE NOTES:**

- The landscape architect shall approve all plant substitutions prior to purchase or installation.
- The plant schedule included in this drawing was prepared for estimating purposes & for the contractor's convenience only, and its accuracy is not guaranteed. The contractor shall perform his or her own quantity take-offs using the drawings to determine the quantities to his or her satisfaction. The contractor shall report any discrepancies to the landscape architect prior to submitting a final bid.
- Contractor shall warranty all exterior plants for one year from the date of substantial completion, against defects including but not limited to death and unsatisfactory growth. Defects associated with a lack of adequate maintenance, neglect, or abuse by the owner or incidents that are beyond contractor's control will not be covered by the one-year warranty.
- The contractor shall verify that all selected plant species are determined available at their specified sizes when the time of bidding. The contractor shall not make plant substitutions. If there are difficulties locating plant material as specified, contact the landscape architect prior to submitting the bid.
- All plant material shall have a well formed head with the minimum caliper, height, spread as shown in the plant schedule. trunks shall be undamaged and shape shall be typical of the species.
- All plant material shall be subject to approval by the landscape architect or owners representative before, during and after installation.
- All planting techniques shall conform to approved industry standards.
- The contractor shall coordinate with the owner's representative to establish a planting schedule that prioritizes the planting of all trees and lawn areas.
- All plant beds shall be mulched with pinestraw mulch to a depth of 3".
- All plant beds shall receive a weed inhibitor application at installation.
- All landscape material shall be correctly laid out and installed per the plans. The contractor is responsible by any means (curves, staking, etc.) to insure the correct plant layout and may seek the landscape architect's approval for landscape material layouts prior to installation. The contractor shall coordinate with the landscape architect for these approvals and shall have all required plant material placed in their proposed locations prior to the landscape architect's on-site approval. All plant material placement is subject to replacement and layout per the landscape architect's discretion if the layout does not follow the plans.
- The landscape contractor shall leave all plant identification hangtags on each plant until final approval has been granted per the Landscape Architect's final punch/field report. Once the final approval is obtained, the hangtag's may be removed.

**IRRIGATION NOTES:**

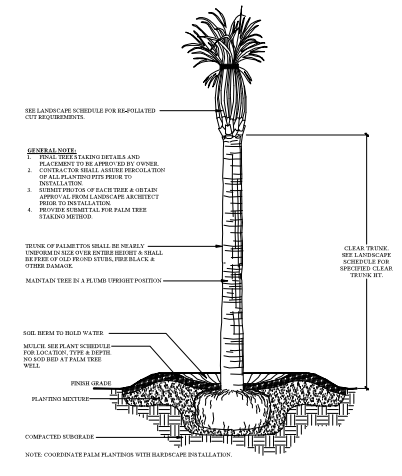
- Contractor shall ensure landscape is established through watering programs or automatic irrigation system at the Owner's direction. Irrigation system shall include all valves, pipes, heads, fittings, back-flow, & controllers. The installed system shall provide 100% coverage of all sod, hydroseed and planting beds. Connect to any existing irrigation system and controller as required.

**GRADING NOTES:**

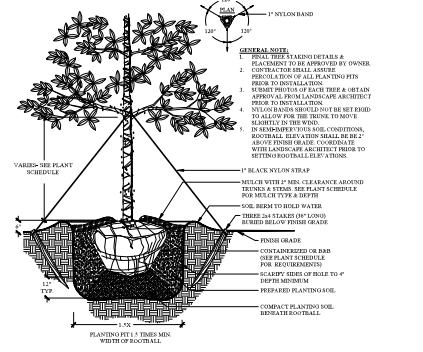
- Contractor to perform fine grading within all turf and plant beds. Fine grading shall consist of a hand raked, smooth soil free of rocks, roots, and debris.

**GENERAL NOTES:**

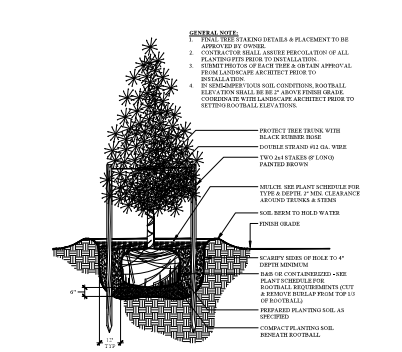
- Contractor is responsible for locating existing utilities, including existing irrigation system, and is responsible for any damage that may occur.
- Contractor is responsible for inspection of existing conditions and promptly reporting any discrepancies. Contractor to perform soil tests to determine necessary soil amendments within plant beds. Soil analysis with recommended and proposed amendments shall be included as part of any landscape submittal.
- Notify landscape architect of any site conditions which may necessitate a modification to the plans. Landscape architect shall, if necessary, make "in-field modifications".
- Any deviation from these plans must be specifically approved by the landscape architect or owner's representative.
- Provide photo submittals of proposed landscape material to Owner's rep for approval prior to installation.



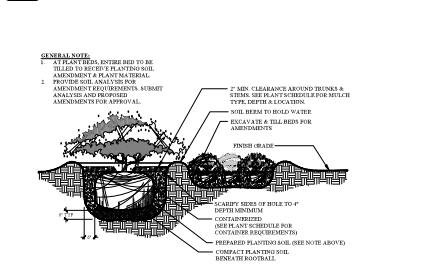
**1 PALM TREE PLANTING**  
SCALE: N.T.S.



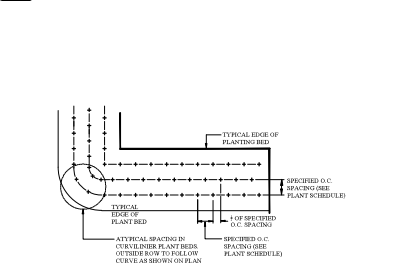
**2 SHADE TREE PLANTING**  
SCALE: N.T.S.



**3 EVERGREEN TREE PLANTING**  
SCALE: N.T.S.



**4 SHRUB AND GROUND COVER PLANTING**  
SCALE: N.T.S.



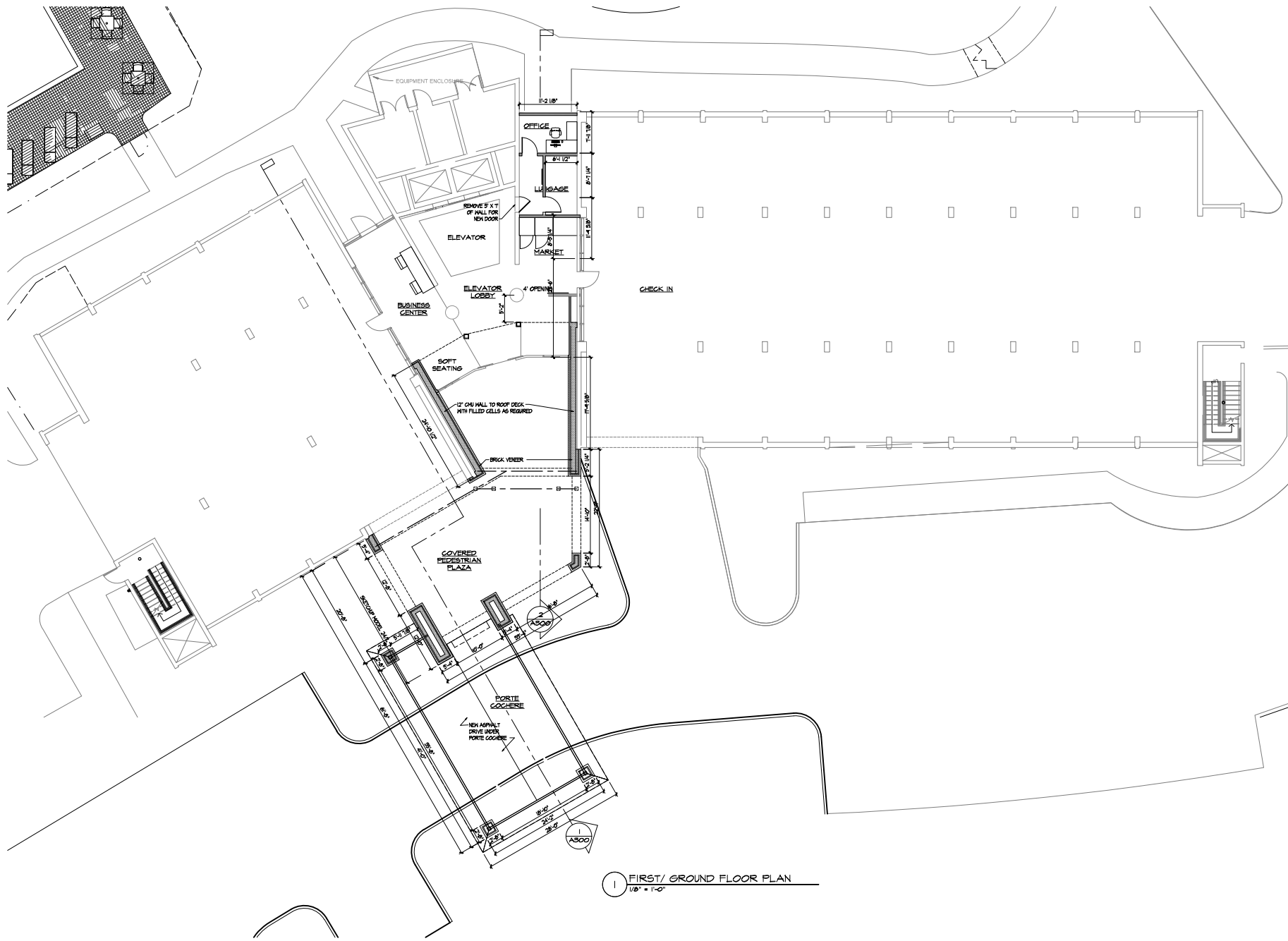
**5 GROUND COVER SPACING**  
SCALE: N.T.S.

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 Landscape Architecture  
 7 Lafayette Hwy Hilton Head Island, SC 29926  
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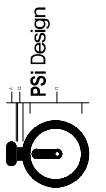
**LANDSCAPE DEVELOPMENT PLANS**  
 FOR  
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 Hilton Head Island, SC 29928

**PROFESSIONAL SEAL:**  
  
**PRELIMINARY**  
**PLANS, NOT FOR**  
**CONSTRUCTION**

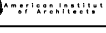
DRAWN BY: TG, CC	DATE: 2-14-2023
CHECKED BY: TG	PROJECT NUMBER: 01-22046
	SHEET TITLE: Landscape Details, Notes, & Schedule
	SHEET NUMBER: L-402



1 FIRST/ GROUND FLOOR PLAN  
1/8" = 1'-0"



7090 HOWARD STREET  
SPARTANBURG, SC  
2 9 5 0 3  
824 883 4014  
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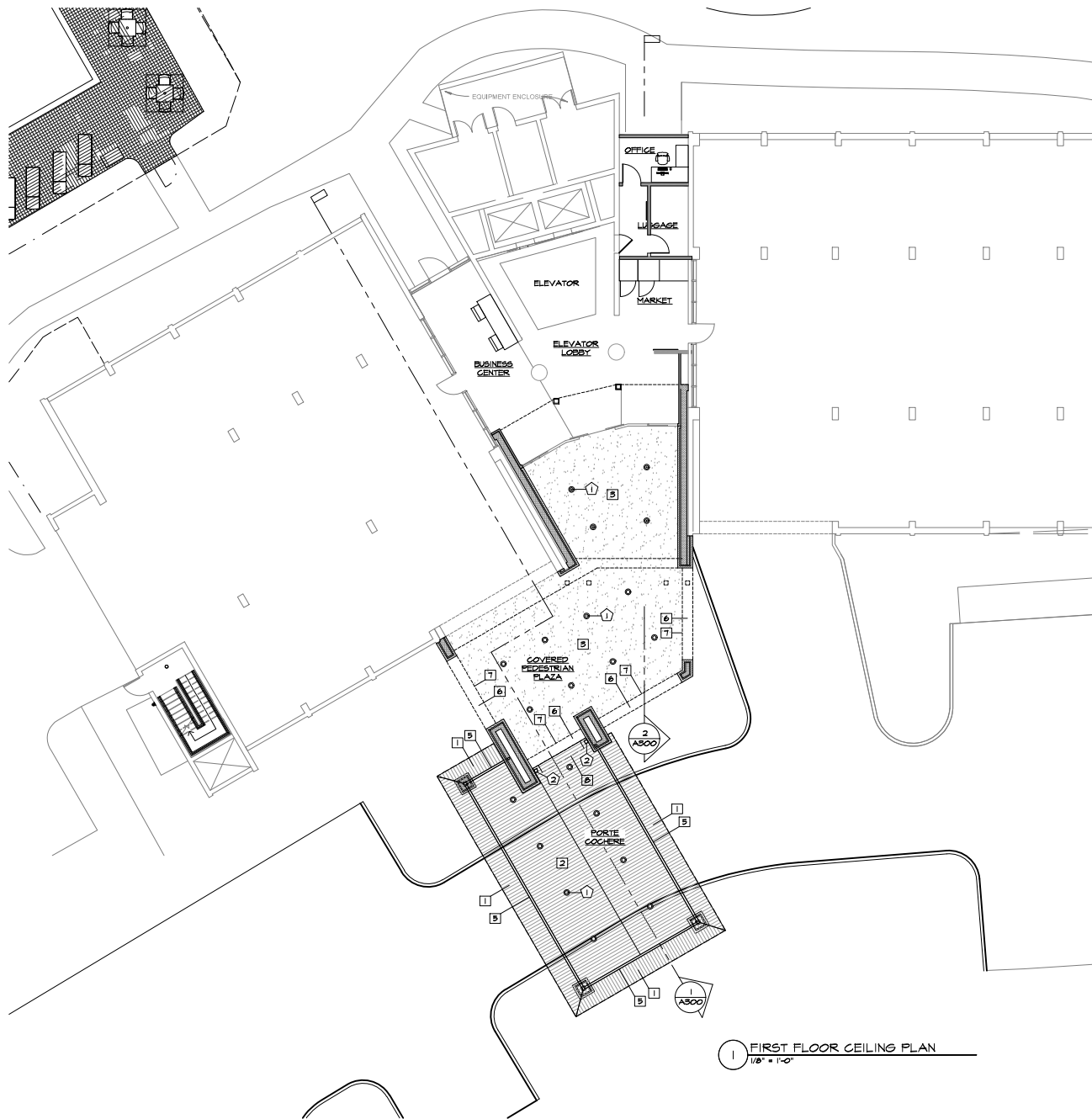
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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
PROJECT NO.	• 21-021
DRAWING NO.	• 106
DATE	• 10/14/22
PROJECT	• 02/14/25
ISSUE FOR DRG	
NO.	
NO.	
NO.	

SHEET  
**A101**  
PRELIMINARY FLOOR PLANS





1 FIRST FLOOR CEILING PLAN  
1/8" = 1'-0"

**CEILING NOTES**

- 1 BEAD BOARD CEILING, ONE (1) LAYER 1/4" BEAD BOARD ATTACHED TO UNDERSIDE OF ROOF TRUSSES AT BAYES - LEAVE LOW POINT = +12'-5 1/2" A.F.F. (VAULT SIDES SLOPE AT 5:12) - SEE PLAN.
- 2 BEAD BOARD CEILING, ONE (1) LAYER 1/4" BEAD BOARD ATTACHED TO UNDERSIDE OF ROOF TRUSSES - VAULTED FINISH CEILING HIGH POINT = +13'-11 1/2" A.F.F. (VAULT SIDES SLOPE AT 5:12) - SEE PLAN.
- 3 GYPSUM BOARD CEILING, ONE (1) LAYER 5/8" GYPSUM BOARD ATTACHED TO UNDERSIDE OF FLOOR TRUSSES - FINISH CEILING = +1'-11 5/8" A.F.F.
- 4 GYPSUM BOARD CEILING, ONE (1) LAYER 5/8" GYPSUM BOARD ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES (TYPICAL THROUGHOUT ENTIRE 2ND LEVEL - UNLESS NOTED OTHERWISE) - FINISH CEILING = +8'-11 5/8" ABOVE 2ND LEVEL FLOOR, R-0" TOP OF WALL).
- 5 1" SYNTHETIC WOOD SIDING OVER EXTERIOR SHEATHING AT PORTE COCHERE SUPPORT HEADERS - BOTTOM OF HEADERS = +12'-0" A.F.F.
- 6 PAINTED LINTEL, LINTEL ELEVATION = +1'-4" A.F.F.
- 7 VERTICAL GYPSUM BOARD, ONE (1) LAYER 5/8" GYPSUM BOARD FROM LINTEL UP TO CEILING AT +1'-11 5/8" A.F.F.
- 8 EDGE OF CANOPY BELOW

**LIGHTING LEGEND**

- 1 TOP LIGHTING FMROTIC - T' 15X SATIN NICKEL RING FLUSH LED, 3000K.
- 2 PROGRESS P5602M5-020-50, 6" SQUARE UP/DOWN, DIMMABLE LIGHT, 3000K.

**PSi Design**



7090 HOWARD STREET  
SPARTANBURG, SC  
2 9 5 0 3  
8 2 4 3 8 3 4 0 1 4  
PSIDESIGN@GMAIL.COM

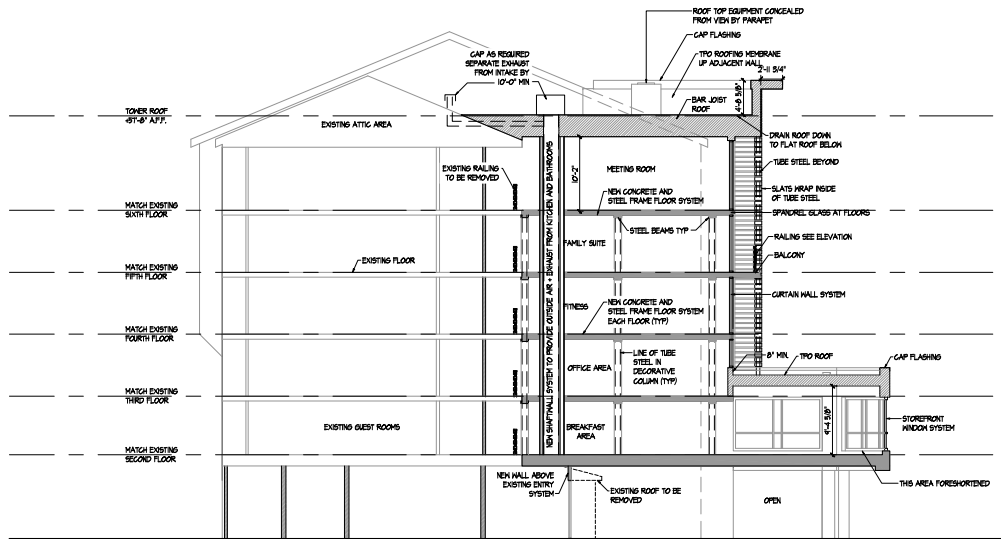
AMERICAN INSTITUTE  
of ARCHITECTS

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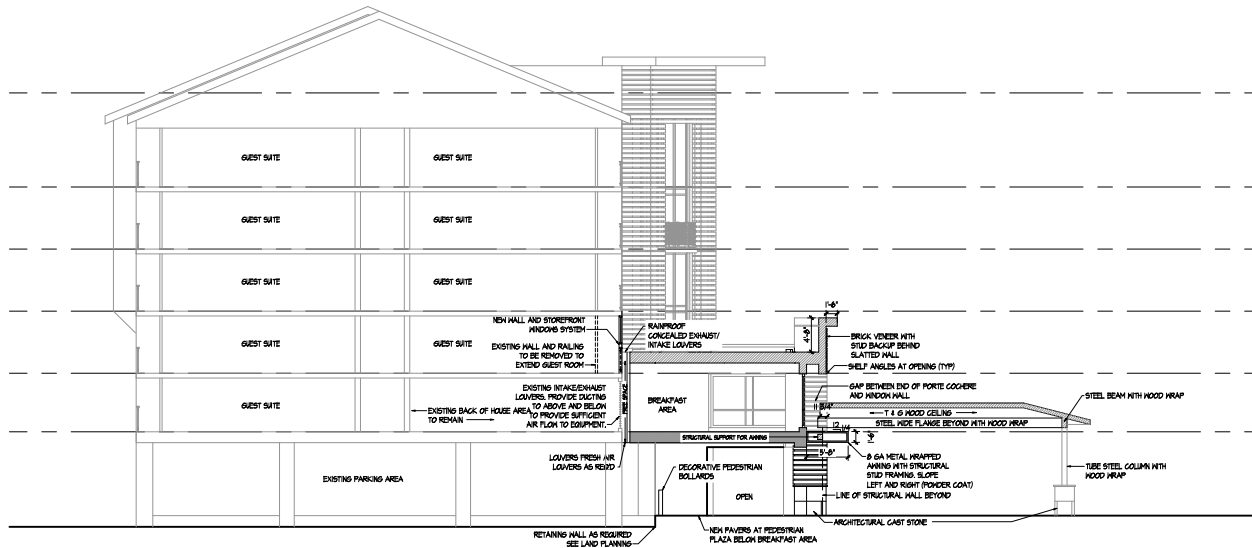
Addition / Renovation for  
**Holiday Inn Express**  
 2 Tanglewood Drive  
 Hilton Head Island, SC 29928

DATE	• OCT 14, 2022
SCALE	• AS NOTED
PROJECT NO.	• 21-021
DESIGNER	• JSB
DATE	• JSB
DATE	• 02/14/25
ISSUE FOR DRG	
NO.	
NO.	
NO.	

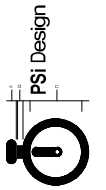




2 BUILDING SECTION @ TOWER  
1/8" = 1'-0"



1 BUILDING SECTION @ PORTE COCHERE  
1/8" = 1'-0"



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Addition / Renovation for  
**Holiday Inn Express**  
2 Tanglewood Drive  
Hilton Head Island, SC 29928

DATE: OCT 14, 2022

SCALE: AS NOTED

JOB NO: 21-021

DESIGNER: JBG

DATE: JBG

SCALE: 02/14/23

ISSUE FOR DRG

NO. 1

NO. 2

NO. 3

SHEET

**A300**

BUILDING SECTIONS

Site Photos



Building View at Existing Entry



Building View at Northern End looking south



Site Photos



Existing Building Entry



Building Entry looking North



Nassau Street Buffer Photos



Nassau Street - Existing Street Buffer (Section 3) looking North



Nassau Street - Existing Street Buffer (Section 2) looking South at Specimen Oak



Nassau Street photos



Adjacent Coral Sands Curb Cut (Proposed new curb cut alignment)



Nassau Street Buffer and Northern Adjacent Use Buffer at LC Park





Shutters & Railing at corridor ends

**Juliet Balcony Rail:**  
 Type: Cable style  
 Post color: Dark Bronze  
 Cable color: clear coated stainless  
 Top & Bottom rail color: Cedar painted aluminum

**Shutters at Corridor Ends:**  
 Type: Bahama  
 Color: Cedar

**Cable Handrail:**  
 Type: Cable style  
 Rail Color: Dark Bronze  
 Cable Color: clear coated stainless

TUBE STEEL SUPPORTS  
 TO BE PAINTED DARK  
 BRONZE

**1**

**Metal Roofing Caps:**  
 Type: Flashing  
 Color: Dark Bronze

**2**

**6" Wall Cladding System:**  
 Type: Self-Matting, Knotwood  
 Color: Western Red Cedar

**3**

**EFIS (behind wall cladding system):**  
 Type: painted Stucco  
 Color: SW7044 Amazing Gray  
 Matches existing field color

**4**

**Window:**  
 Type: StoreFront with Glaze  
 Color: Clear Anodized

**5**

**Window:**  
 Type: Glass Curtain Wall with Glaze  
 Color: Clear Anodized

**6**

**Metal Brick Caps:**  
 Type: Flashing  
 Color: Dark Bronze

**7**

**Standing Seam Metal Roof, 3:12 Slope:**  
 Type: Medallion-Lok, McElroy  
 Color: Dark Bronze

**8**

**Brick Veneer:**  
 Type: Face Brick - Modular, General Shale  
 Color: Oyster Bay  
 Mortar Color: Holcim 200 Ivory Buff

**9**

**Gutter & Downspout:**  
 Type: Flat roof: Scupper  
 Porte Cochere: 6" K-style  
 Color: Dark Bronze

**10**

**Porte cochere Ceiling:**  
 Type: Bead board  
 Color: SW3511 Cedar Bark (Stain)

**11**

**Custom Wrapped Holiday Inn Express Entrance Welcome Sign:**  
 Type: Vinyl Wrapped  
 Color: design to be submitted with sign package

**12**

**Existing Window Replacement:**  
 Type: Framed  
 Color: Dark Bronze

**13**

**Flooring:**  
 Type: Dublin Cobble, Paver  
 Color: Artic

**14**

**Columns:**  
 Type: 8X8 steel column with 12 x 12 rough sawn cypress wrap  
 Color: SW3022 Dark Alder (Solid Stain)

**15**

**Cast-Stone Veneer:**  
 Type: RockCast, ReadingRock  
 Color: Charlotte Tan  
 Size: Large format  
 Mortar: Holcim 200 Ivory Buff

**17**

**Flooring:**  
 Type: ADA Paver 12"x12"  
 Color: Charcoal

**18**

**6" Wall Cladding System (Alternate):**  
 Type: Wall Cladding, Resysta  
 Color: Pale Golden

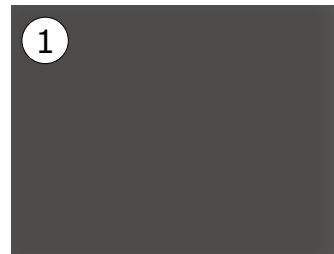
ISSUE DATE: 02/14/2023

A PROPOSED VIEW

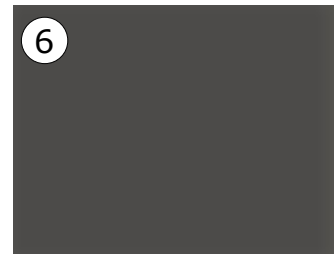
# Holiday Inn Express Renovations (2 Tanglewood Drive)







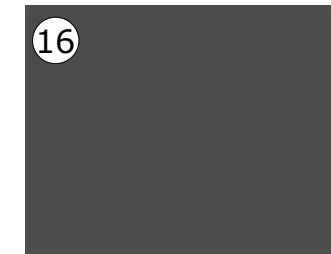
**Metal Roofing Caps:**  
Type: Flashing  
Color: Dark Bronze



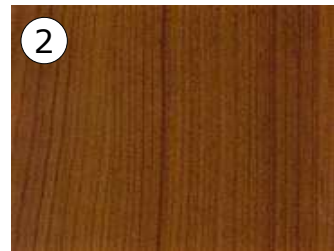
**Metal Brick Caps:**  
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Color: Dark Bronze



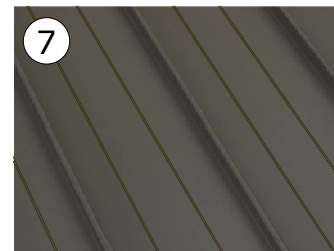
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Type: Vinyl Wrapped  
Color: design to be submitted with sign package



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Type: Cable style  
Post color: Dark Bronze  
Cable color: clear coated stainless  
Top & Bottom rail color: Cedar



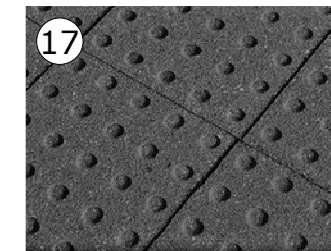
**6" Wall Cladding System:**  
Type: Self-Matting, Knotwood  
Color: Western Red Cedar



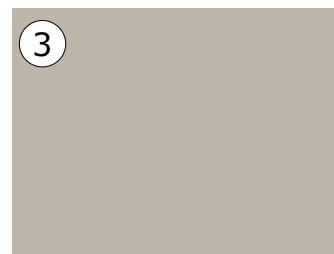
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Color: Dark Bronze



**Existing Window Replacement:**  
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**Flooring:**  
Type: ADA Paver 12"x12"  
Color: Charcoal



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Type: painted Stucco  
Color: SW7044 Amazing Gray  
Matches existing field color



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Color: Oyster Bay  
Mortar Color: Holcim 200 Ivory Buff



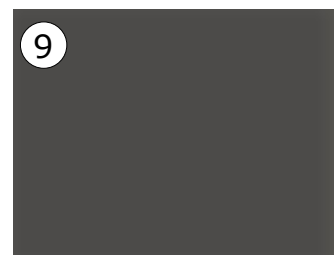
**Flooring:**  
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Color: Artic



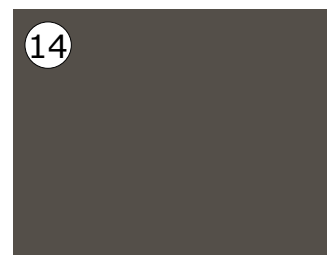
**6" Wall Cladding System: (Alternate)**  
Type: Wall Cladding, Resysta  
Color: Pale Golden



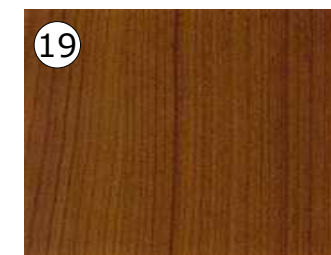
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Type: StoreFront with Glaze  
Color: Clear Anodized



**Gutter & Downspout:**  
Type: Flat roof: Scupper  
Porte Cochere: 6" K-style  
Color: Dark Bronze



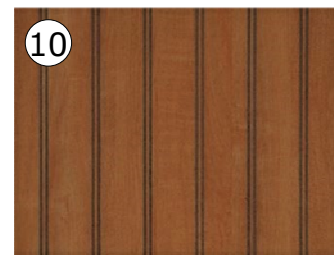
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Color: SW3022 Dark Alder (Solid Stain)



**Shutters at Corridor Ends:**  
Type: Bahama  
Color: Cedar



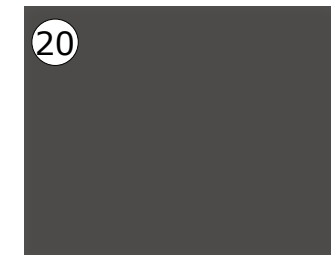
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Type: Glass Curtain Wall with Glaze  
Color: Clear Anodized



**Porte cochere Ceiling:**  
Type: Bead board  
Color: SW3511 Cedar Bark (Stain)



**Cast-Stone Veneer:**  
Type: RockCast, ReadingRock  
Color: Charlotte Tan  
Size: Large format  
Mortar: Holcim 200 Ivory Buff



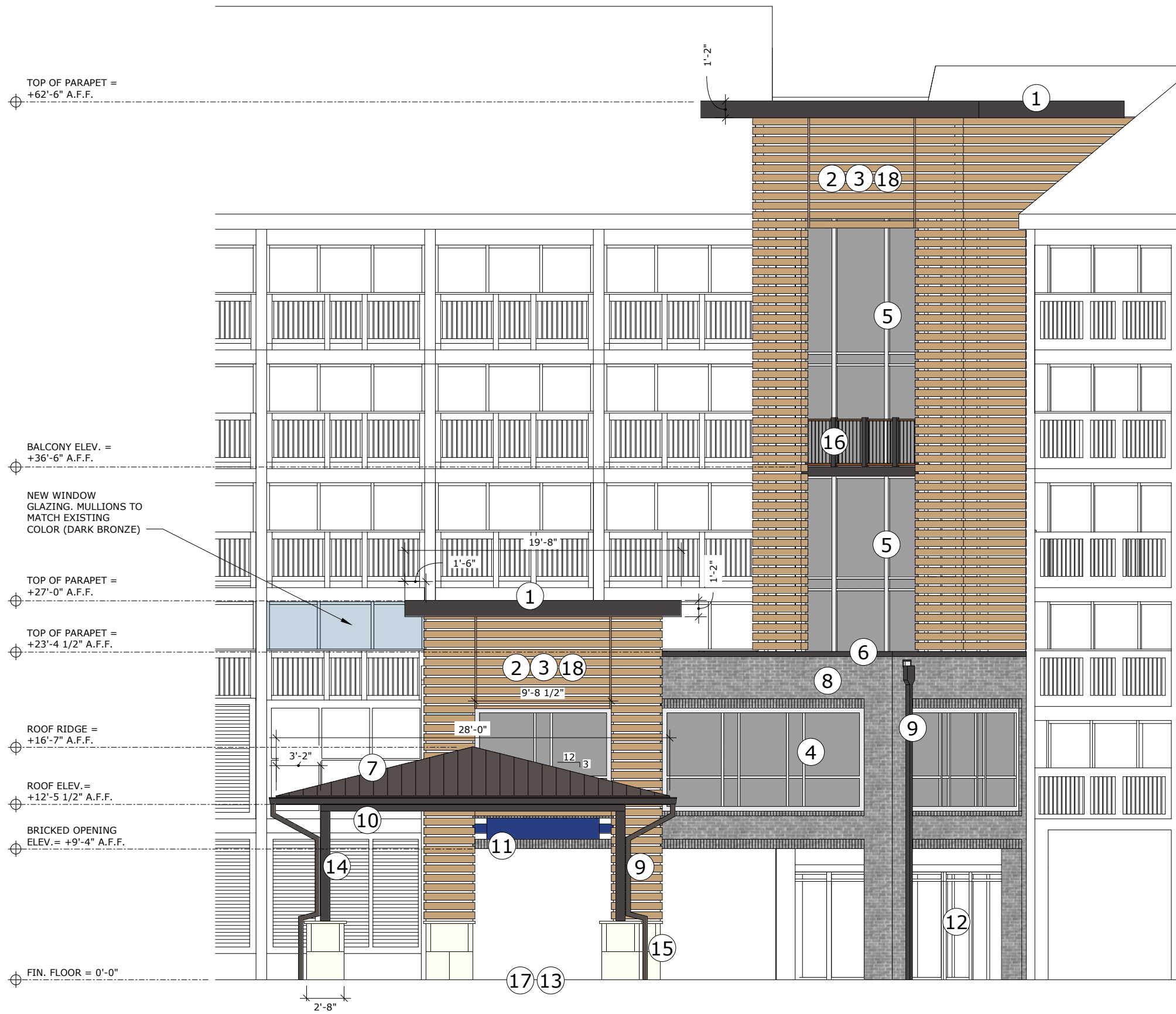
**Cable Handrail:**  
Type: Cable style  
Rail Color: Dark Bronze  
Cable Color: clear coated stainless

ISSUE DATE: 02/14/2023

1 EXTERIOR MATERIAL LIST

Holiday Inn Express Renovations (2 Tanglewood Drive)





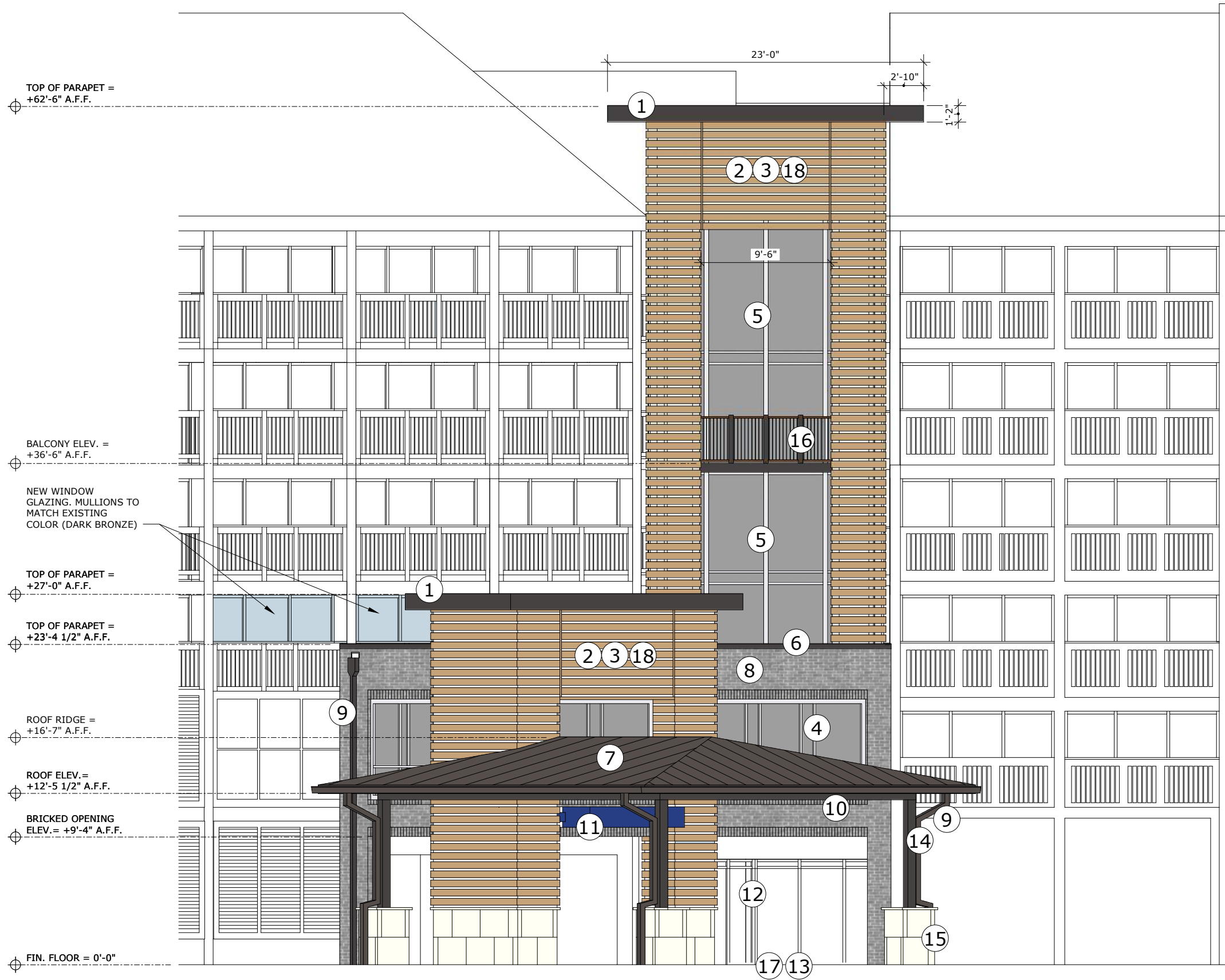
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2 EXTERIOR ELEVATION - FRONT ENTRY

SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)



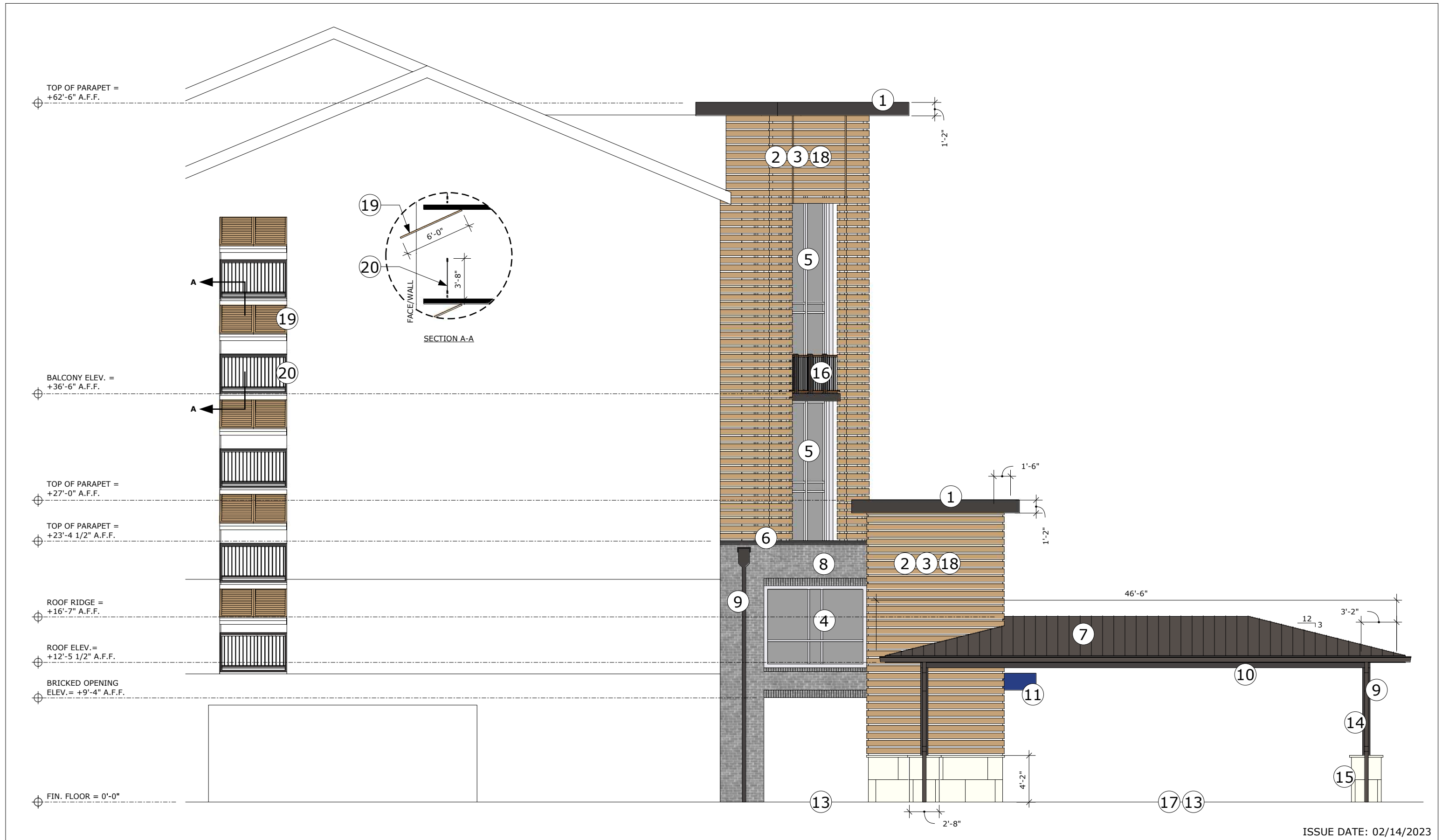


ISSUE DATE: 02/14/2023

3 EXTERIOR ELEVATION - FRONT ENTRY  
SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





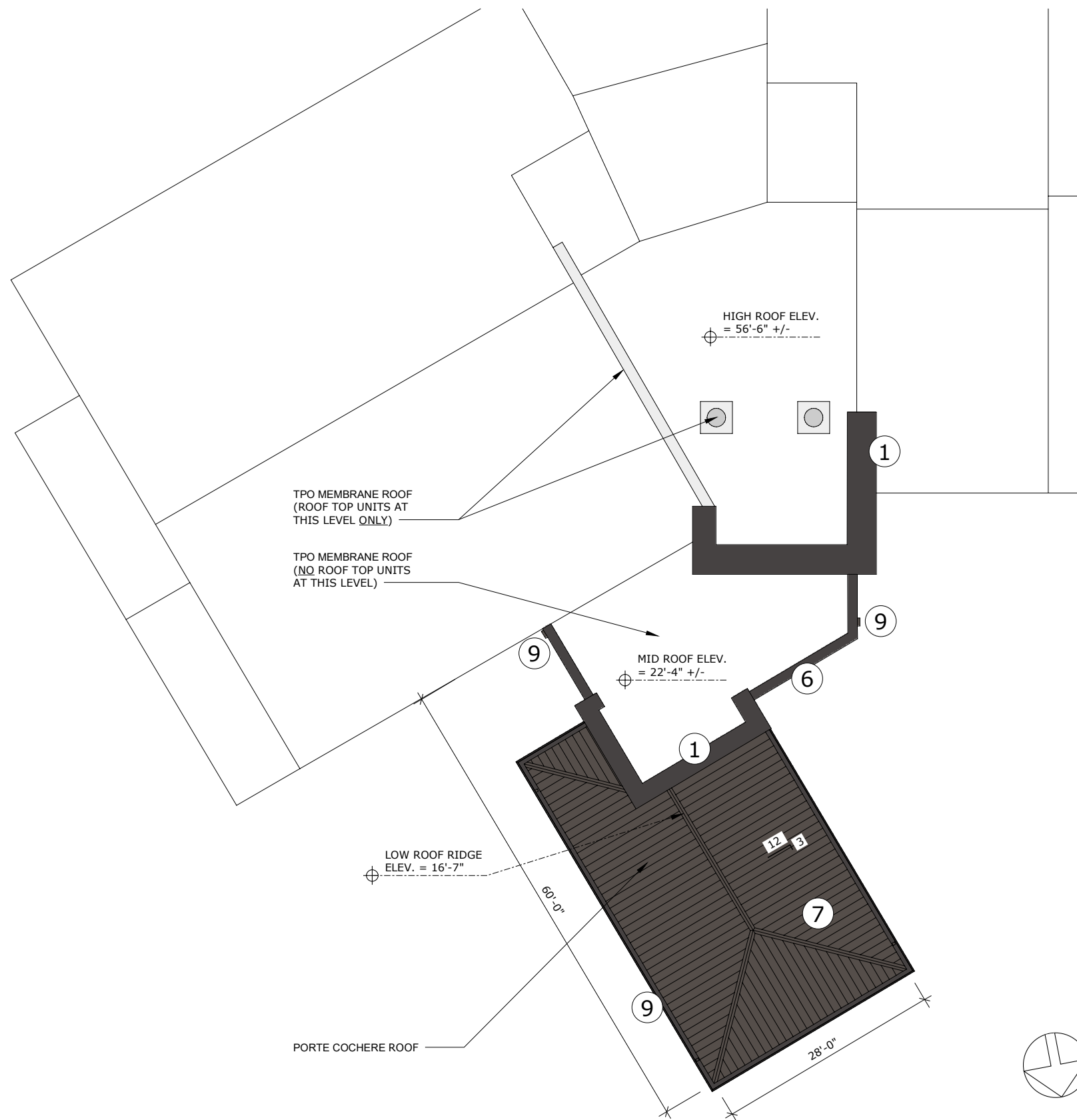
ISSUE DATE: 02/14/2023

4 EXTERIOR ELEVATION - FRONT ENTRY (LEFT)

SCALE: 1/8" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





ISSUE DATE: 02/14/2023

5 ROOF PLAN  
SCALE: 1/16" = 1'-0"

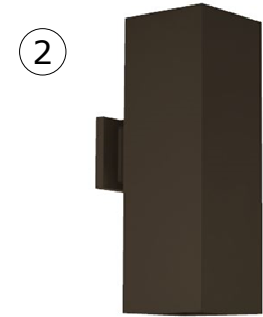
Holiday Inn Express Renovations (2 Tanglewood Drive)







**Light Fixture:**  
INTENSE Light MXG 20PSD  
3000K Down Light



**Light fixture:**  
Progress Lighting P560295-  
020-30 Dimable up/down  
light, 3000K

ISSUE DATE: 02/14/2023

6 LIGHTING PLAN  
SCALE: 1/16" = 1'-0"

Holiday Inn Express Renovations (2 Tanglewood Drive)





# MXG20PSD

## 3.5" MX G2 LED Square Outdoor Wall Sconces Cylinder Downlight

JOB NAME		CATALOG NUMBER	MXG20PSD2LO3012BRWB
NOTES		TYPE	WB

### ELECTRICAL DATA

LED Light Engine	System Wattage **	CCT / CRI	Delivered Lumens **
LO	10W	3000K / 82 CRI	700lm

\* System Wattage includes driver and LED Module consumption.  
 \*\* Delivered lumens will vary depending on trim, CCT, CRI, optic and ceiling thickness

### FEATURES

- Sleek, high performance pendant that complements MX downlighting family
- Vandal resistant high performance frosted polycarbonate lens
- ADA & IP65 compliant
- Universal input 120/277V

### LED LIGHT ENGINE

- 82 CRI & 92 CRI in 2700K, 3000K, 3500K and 4100K
- 2 SDCM binning
- 50,000 hours L70 (rated life at 70% output)

### ELECTRICAL SYSTEM

- Universal input 120/277V 50/60Hz
- Class 2 & Class P power supply
- Over voltage/current and short circuit protection with auto recovery
- No serviceable internal components

### DIMMING

- Forward/Reversed Phase Dimming 1% (120V only)
- 0-10V Dimming 1%

### MOUNTING

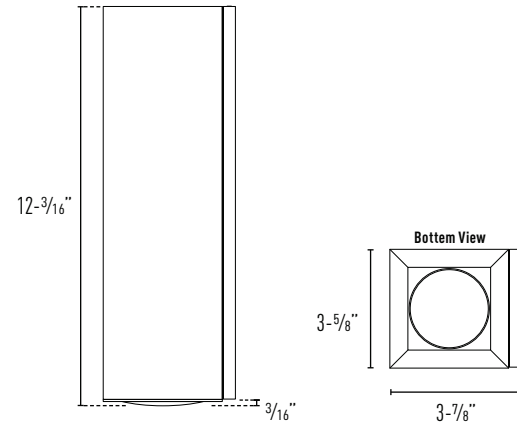
- Mounts to single gang J-Box with raised fixture cover (supplied by others)

### LISTING / WARRANTY

- ETL Listed to US and Canadian standards for wet locations & IP65 standards
- ADA Compliant
- 5-Year Intense Outdoor LED Limited Warranty



MX



### Cylinder Part Number (Example: MXG20PSD2LO2712WVWB)

Pendant	Height	Wattage	CCT / CRI	Dimming	Optic	Housing Finish	Mounting
MXG20PSD	<input checked="" type="checkbox"/> 2 (12")	<input checked="" type="checkbox"/> LO (10W)	<input type="checkbox"/> 27 (2700K/82 CRI) <input type="checkbox"/> 279 (2700K/92 CRI) <input checked="" type="checkbox"/> 30 (3000K/82 CRI) <input type="checkbox"/> 309 (3000K/92 CRI) <input type="checkbox"/> 35 (3500K/82 CRI) <input type="checkbox"/> 359 (3500K/92 CRI) <input type="checkbox"/> 41 (4100K/82 CRI) <input type="checkbox"/> 419 (4100K/92 CRI)	<input checked="" type="checkbox"/> blank (Non-Dimming) <input type="checkbox"/> DIM* (Phase Dimming) <input type="checkbox"/> D101 (0-10V Dimming 1%)	<input checked="" type="checkbox"/> 12 (12° SP) <input type="checkbox"/> 24 (24° NFL) <input type="checkbox"/> 36 (36° FL) <input type="checkbox"/> 50 (50° WFL)	<input type="checkbox"/> B (Black) <input type="checkbox"/> W (White) <input checked="" type="checkbox"/> BR (Bronze) <input type="checkbox"/> CC* (Custom)	<input checked="" type="checkbox"/> WB (Wall Bracket)

Notes:  
 1. Available only in 120V  
 2. Consult factory for custom finishes and lead times

INTENSE LIGHTING | 3340 E La Palma Ave, Anaheim, CA 92806 | tel 714 630-9877 | fax 714 630-9883  
 For Intense Lighting's limited product warranty, go to [www.intenselight.com](http://www.intenselight.com). For a printed copy of the warranty, you may call 800 961-5321.  
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Tower Downlight

ISSUE DATE: 02/14/2023

# Holiday Inn Express Renovations (2 Tanglewood Drive)





## Specifications



Circle Flush Mount



Battery Backup FMR0930KBBU

ITEM #	DESCRIPTION	ENERGY STAR	SIZE	VOLTAGE	LED WATTS	LUMENS	LPW	CRI	COLOR TEMP	MOL (inches)	DIA (inches)	CASE QTY
<b>Circle Flush Mounts</b>												
FMR07CCT	LED FLUSH MT RD 15W CCT SELECT	★	7"	120V	15	930	66	80	Select 3000K	0.5	7.1	6
						1045	72		Select 4000K			
						990	70		Select 5000K			
FMR09CCT	LED FLUSH MT RD 18W CCT SELECT	★	9"	120V	18	1185	69	80	Select 3000K	0.5	8.9	6
						1364	76		Select 4000K			
						1260	73		Select 5000K			
FMR0930KBBU	LED FLUSH MT RD 18W 30K, BATTERY BACKUP		9"	120V	18	1185	69	80	3000K	1.5	8.9	6
FMR12CCT	LED FLUSH MT RD 24W CCT SELECT	★	12"	120V	24	1770	77	80	Select 3000K	0.5	11.8	6
						2030	85		Select 4000K			
						1880	82		Select 5000K			
FMR12MSCCT	LED FLUSH MT RD CCT SELECT - MOTION SENSOR	★	12"	120V	24	1770	77	80	Select 3000K	0.5	11.8	6
						2030	85		Select 4000K			
						1880	82		Select 5000K			

### Circle Flush Mount Accessories

ITEM #	DESCRIPTION	SIZE	COLOR
FMR07CHR	LED FLUSH MT 15W RING CHROME	7"	Chrome
FMR07NIC	LED FLUSH MT 15W RING SATIN NICKEL	7"	Satin Nickel
FMR07BLA	LED FLUSH MT 15W RING MATTE BLACK	7"	Matte Black
FMR09CHR	LED FLUSH MT 18W RING CHROME	9"	Chrome
FMR09NIC	LED FLUSH MT 18W RING SATIN NICKEL	9"	Satin Nickel
FMR09BLA	LED FLUSH MT 18W RING MATTE BLACK	9"	Matte Black
FMR12CHR	LED FLUSH MT 24W RING CHROME	12"	Chrome
FMR12NIC	LED FLUSH MT 24W RING SATIN NICKEL	12"	Satin Nickel
FMR12BLA	LED FLUSH MT 24W RING MATTE BLACK	12"	Matte Black

Retrofit Kit for 5"/6" Can Installation:  
Item # FMRETROKIT  
Fits all Round Sizes



Under Canopy Flush Mount LED Lights

ISSUE DATE: 02/14/2023





Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_

Location: \_\_\_\_\_

Contact: \_\_\_\_\_

## 6IN CYL SQRS

Wall Mounted • Wet Location Listed **PROGRESS LED**

# P560295-020-30



### Description:

6" LED Outdoor Up/Down Modern Antique Bronze Wall Cylinder with Glass Top Lens

### Specifications:

- Dimmable to 10% brightness (See Dimming Notes)
- Canopy covers a standard 4" recessed outlet box: 4.45 in W., 4.45 in ht., 0.65 in depth
- Mounting backplate for outlet box included
- 6 in of wire supplied

### Performance:

Number of Light	2
Input Power	64 W
Input Voltage	120 VAC
Input Frequency	60 Hz
Lumens/LPW (Delivered)	3,641/57 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	50000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Warranty	5-year Limited Warranty
Labels	cCSAus Wet Location Listed Meets California Title 24 JA8-2016

### Dimensions:

Length: 6 in  
Extends: 9 in  
Height: 18 in

Entry Wall Sconce

ISSUE DATE: 02/14/2023



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Holiday Inn Express

DRB#: DRB-000365-2023

DATE: February 23, 2023

CATEGORY: Reviewed as Conceptual

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS: Study of the below review comments to be addressed with final submittal.

### REVIEW COMMENTS:

Because the proposed improvements are limited to the new entry features and updating the remainder of the building is not planned at this time, staff requests consideration of ways that the new features may better coordinate with the existing building and vice versa, but not compromise the design.

As the basis for staff's comments, the current building design elements include:

- Building exterior painted off-white with a stacked square patterned band in tan stucco.
- Balcony railings and pickets and louvers that screen the first-floor parking are constructed of wood and painted brown.
- Roof is standing seam metal and matches this brown color.
- Window mullion color matches the brown metal on the roof.
- Other elements on the site, like the small retaining walls are also painted the same brown color.
- On the rear of the building there is a wall of windows located on the exterior of the elevator shaft. These are in a stacked square configuration.
- Existing entryway includes a covered walk lined with wood columns painted brown.



A study of the following may assist with identifying opportunities to integrate the existing design into the proposed new features and design elements:

- Paint stucco square patterned banding: The stacked box patterned band detail on the exterior of the building could be painted a different color that corresponds with the new design. This color should be coordinated with the existing brown in the balconies and louvers, if not match.
- Utilize stucco in the new design. To build on existing materials and to simplify the number of new materials, consider changing the areas identified as brick to stucco (new breakfast addition and walls of entrance corridor).
- Change window configuration on new “tower” addition to be coordinated to match those on the rear of the building by changing the shape to square and/or using each floor’s datum line in the horizontal mullion pattern.
- Continue the strong horizontal lines created by each floor through the new tower structure by replacing the spandrel glass with a different material, possibly stucco to match the existing.
- Do not change the railing and picket design unless the other balconies are updated. Remove from design.
- Utilize existing column design and scale for the new columns on the Porte cochere. This will eliminate the need for the cast stone veneer, which is not a material typically associated with Island Character.
- As proposed, the view of the building from beneath the new Porte cochere would be a stucco retaining wall and railing and the interior of the parking deck. This presents the opportunity for a feature wall, possibly with signage, that could replace the awning referenced in A300 – Section 1. At a minimum, the addition of screening louvers to match the existing design would screen the parking deck from view.
- Consider opportunities for the addition of Bahama shutters into other elements of the design or possibly remove. They do block the views from the ends of the building’s interior corridors, one end of which provides views of Lowcountry Celebration Park.

Additional comments:

- Confirm that the slat wall is not backlit.
- Provide a site lighting plan from Palmetto Electric.
- Consider extending this sidewalk in front of the building and eliminating the existing raised planter island so that it leads to a crosswalk and connection to Lowcountry Celebration Park.
- Consider continuing the replacement of the sidewalk on the opposite side of the building to a natural terminus where it ends at the access to the parking deck on the end of the building.
- Evaluate opportunities for the use of native species that may work to replace non-natives identified in the landscape plan.

**STAFF REVIEW CHECKLIST:**



**APPLICATION MATERIAL**

<b>DRB REQUIREMENTS</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Provide for final submittal.</i>
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Need rear elevation.</i>
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Because the proposed improvements are limited to the new entry features, without updating the remainder of the building to correspond, it is recommended that the addition coordinate more with the existing building design.</i>

**ARCHITECTURAL DESIGN**

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>The opportunity for direct connectivity to the park should be considered. Suggest continuing sidewalk through the center of the end island and adding a crosswalk marking to Lowcountry Celebration Park.</i>
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Review roof pitch at Porte Cochere to be more inline with building's roof pitch.</i>
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<i>Utilities are proposed to be located on the top of the main "tower" on a flat roof screened by parapet.</i>
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

**LANDSCAPE DESIGN**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



mature size and natural shape while avoiding excessive or unnatural pruning				
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

***MISC COMMENTS/QUESTIONS***

1. This project requires a Major Development Plan Review application. Please contact Brian Eber at [briane@hiltonheadislandsc.gov](mailto:briane@hiltonheadislandsc.gov) or at 843-341-4682 with any questions about this process. It is advised that DPR review occur prior to DRB, so additional comments may result.
2. This project requires a Building Permit. Please contact Toney Pierce at [tonyp@hiltonheadislandsc.gov](mailto:tonyp@hiltonheadislandsc.gov) or at 843-341-4675 with any questions about this permit.
3. Floodplain Review Corrections Required Shari Mendrick: [sharim@hiltonheadislandsc.gov](mailto:sharim@hiltonheadislandsc.gov)
  - The original plan shows the ground floor enclosure was designed to be an elevator lobby. Uses below the deign flood elevation are restricted to parking, limited storage and building access. The elevator lobby was permitted to be constructed as "building access."
  - The proposed use as a "Guest Registration Services" is no longer an allowable use below the lowest floor. To change the use, the area will be required to be dry floodproofed to 11' msl using NAVD88.
  - If the cost of the improvement is greater than 49% of the value of the structure, the entire structure will meet the specific standards in section 15-9-312 of the Town's Code of Ordinances to include elevating all equipment.