



Town of Hilton Head Island
Design Review Board Special Meeting
Wednesday, October 4, 2023 – 3:30 p.m.
AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

None

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. Unfinished Business

8. New Business

a. **Conceptual Review – DRB-001706-2023 – 1014 WHP Serg Brewery and Car Storage**

9. Board Business

10. Staff Report

11. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: PDG Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Concours of HHI / Local Legend Brewery Project Address: 1014 William Hilton Parkway
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 2 5 3 0 0 0 0
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

8.31.23

DATE

September 12, 2023

Town of Hilton Head Island Design Review Board
One Town Center Court
Hilton Head Island, SC 29928

Project Narrative for the New Serg Brewery/Car Storage at 1014 William Hilton Parkway

The attached project consists of a renovation of the old 28,800 sq. ft. Grayco Hardware that includes a brewery/restaurant/high end car storage. The following are the changes to the site and building.

Building Architecture

The façade of the building is being changed from heavy textured stucco and gapped boards to a more modern look with a mixture of smooth stucco, linear brick, and Accoya wood siding. Curved Art Deco elements are being introduced that include the entry wall into Car Storage and the canopies for the Brewery. Living plant walls will be added to the beer garden on the Dunnagans Alley side that will shield the loading dock and a service yard from the public. Linear Kalwall panels will be added along the left side of the building to bring in natural light to the car storage portion.

Building Program

- The existing interior building footprint will remain the same.
- The building will be split into (2) different businesses. The space to the west will be a 13,200 sq. ft. high end car storage/club and the space to the east will be a 15,600 sq. ft. Brewery/Restaurant.

Site Program

- William Hilton Parkway side:
 - Parking remains mostly unchanged.
 - Landscaping has been updated.
 - The (2) entries to the building have been shifted for each space.
 - A functional spent grain silo was added in the center of building.
- Dunnagans Alley side:
 - New service curb cut has been added to Dunnagans Alley to the west side. This will service the dumpster, loading dock and rear entry to the car storage.
 - Parking lot has been pulled back around existing oaks to create a beer garden for the brewery/restaurant. More parking has been added around this beer garden.
 - Landscaping has been updated in this area.

Thank you for your time and consideration of this project.

Timothy C Probst, AIA





9 Club Boutique
Dining • Wine • Entertainment • Retail

CASTLE HILLS ALARM
PARKING



9 Car Boutique

PARKING



ne BREAD





The Yoga Studio

Seasonal Skin Care Co.

CASABLANCA

Black SUV

Blue Sedan
UTG 942





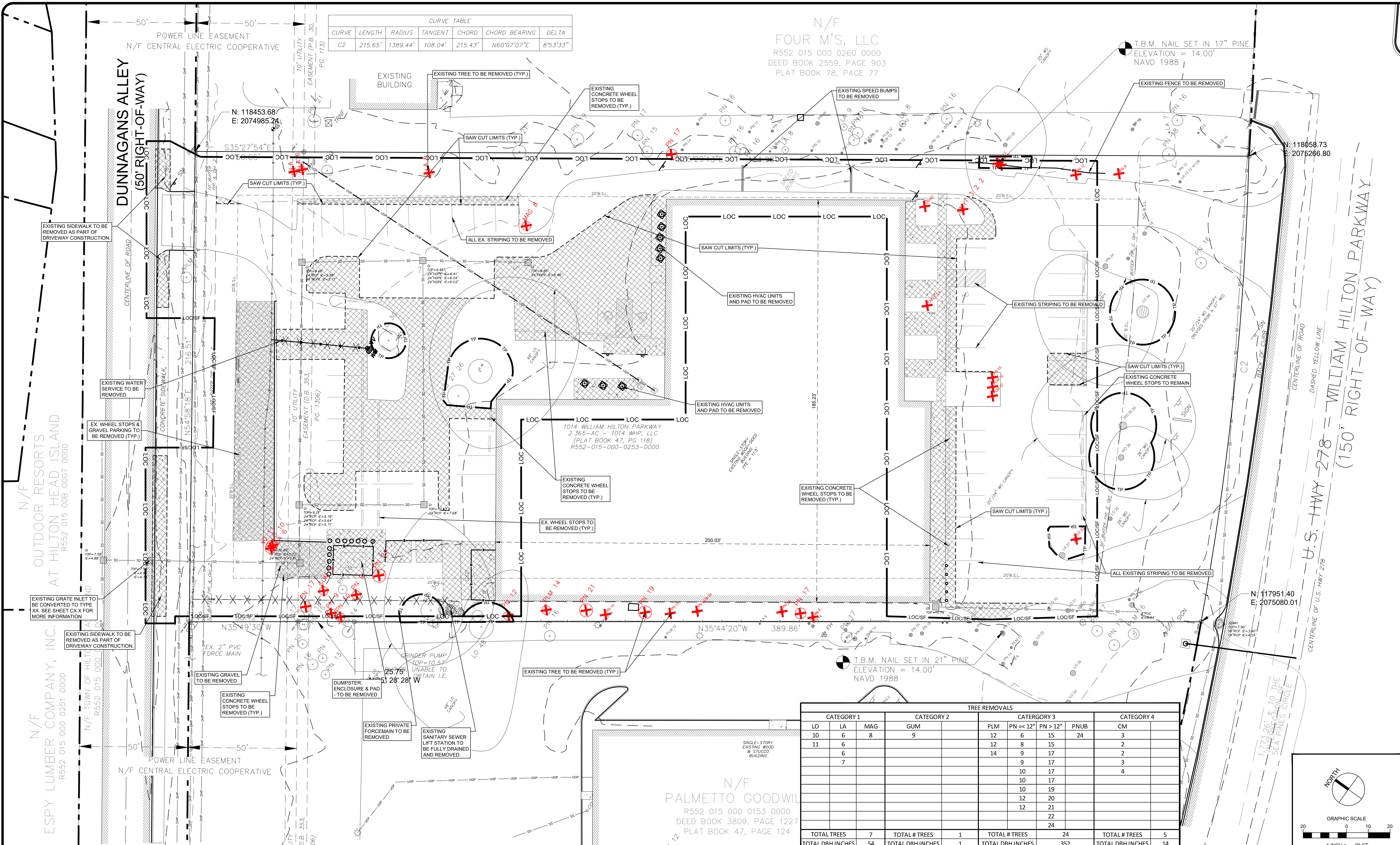
1014



SPEED
LIMIT
5





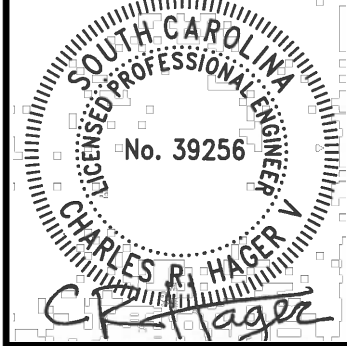


HILTON HEAD BREWING
 1014 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND,
 SOUTH CAROLINA 29928

EXISTING CONDITIONS & DEMOLITION PLAN

NO.	DATE	BY	DESCRIPTION

DESIGNED BY:	RJS
DRAWN BY:	RJS
CHECKED BY:	CRH
JOB NUMBER:	A3465-6401
FILE PATH:	



LJA Engineering, Inc.
 171 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone 843.406.5140
 www.lja.com
 FRN-C06168

LJA Engineering, Inc.
 SHEET NO. **C1.0**

DEMOLITION NOTES:

- OWNER'S REPRESENTATIVE, GOVERNING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY DEMOLITION OPERATIONS.
- CONTRACTOR SHALL COORDINATE WITH GOVERNING AGENCIES AND ALL UTILITY COMPANIES TO COORDINATE TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS INCLUDING ANY REQUIRED INSPECTIONS.
- CONTRACTOR SHALL REMOVE ALL BUILDINGS, FOUNDATIONS, PAVEMENT, CURB, SIGNS, LIGHTS, FENCES, TREES, SHRUBS, UTILITIES AND ANY OTHER STRUCTURES AS INDICATED AND DISPOSE OF THAT MATERIAL IN A LEGAL MANNER.
- UTILITIES TO REMAIN IN-PLACE SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- DEMOLITION OF ASPHALT PAVING SHALL INCLUDE REMOVAL OF SURFACE AND ANY BINDER SECTIONS. AFTER ASPHALT REMOVAL, THE SITE GEOTECHNICAL ENGINEER SHALL INSPECT STONE BASE COURSE TO DETERMINE CONDITION. IF EXISTING STONE BASE COURSE IS ACCEPTABLE TO PROJECT GEOTECHNICAL ENGINEER, IT SHALL BE REUSED. UNACCEPTABLE STONE BASE COURSE SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL EXISTING PAVEMENT EDGES SHALL BE SAW CUT TO A STRAIGHT EDGE. ALL NEW PAVEMENT EDGES SHALL BE CONSTRUCTED IN A STRAIGHT AND NEAT MANNER.
- ANY HISTORICALLY SIGNIFICANT ARTICLES (CORNER STONES, ETC.) FOUND DURING CONSTRUCTION SHALL BE PRESENTED TO THE OWNER FOR CLASSIFICATION. CONTRACTOR SHALL STOP WORK IN THE AREA OF THE FIND AND IMMEDIATELY NOTIFY THE OWNER AND GOVERNING AGENCIES FOR DIRECTION. THE OWNER SHALL RETAIN ALL MATERIAL IT CONSIDERS SIGNIFICANT. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE.
- THE CONTRACTOR SHALL TURN OVER ANY REMOVED PUBLIC UTILITY ITEMS, I.E. WATER METERS, TO THE UTILITY DEPARTMENT. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DEBRIS FROM DEMOLITION OPERATIONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- TREES TO BE SAVED SHALL BE PROTECTED FROM CONSTRUCTION DISTURBANCE PRIOR TO DETAIL. TREES NOT SHOWN TO BE SAVED SHALL BE REMOVED.
- CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE LOCAL, STATE, OSHA AND FEDERAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AS NECESSARY AND AT THE DIRECTION OF THE OWNER OR GOVERNING AGENCIES FOR PUBLIC SAFETY AND JOB SITE SECURITY.
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - POTABLE WATER LINES
 - SANITARY SEWER LINES
 - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
 - GAS LINES
 - TELEPHONE LINES
 - CABLE TELEVISION LINES
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - STORMWATER CONVEYANCE LINES
 - ANY SUBCONTRACTOR BIDDING ON THIS JOB SHALL BE REQUIRED TO PERFORM A SITE VISIT PRIOR TO SUBMITTAL OF BID.
 - UNLESS SPECIFICALLY NOTED ON THE PLAN TO BE ABANDONED IN PLACE OR PROTECTED, ALL UTILITIES ON SITE (OVERHEAD OR UNDERGROUND) SHALL BE ENTIRELY REMOVED TO THE PROPERTY LINE, OR SERVICE POLE ENDS OF PIPES BEYOND PROPERTY LINE TO BE ABANDONED SHALL BE PROPERLY CAPPED OR PLUGGED AS REQUIRED BY GOVERNING UTILITY COMPANY.
 - DEMOLITION OF BUILDINGS SHALL INCLUDE ALL PORTIONS OF THE STRUCTURE, BOTH ABOVE GROUND AND SUBSURFACE.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY TRAFFIC CONTROL MEASURES NECESSARY FOR DEMOLITION OPERATIONS.
 - DEMOLITION OF CONCRETE CURB, CURB AND GUTTER, AND SIDEWALK SHALL BE CONSIDERED TO EXTEND TO THE NEXT CONSTRUCTION JOINT PAST THE LIMITS SHOWN ON THE DEMOLITION PLAN.

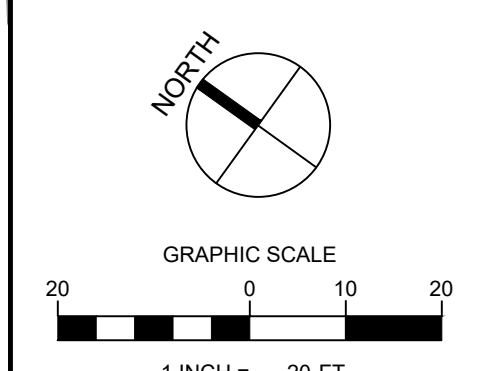
CATEGORY 1		CATEGORY 2		CATEGORY 3			CATEGORY 4	
LO	LA	MAG	GUM	PLM	PN <= 12"	PN > 12"	PNUB	CM
10	6	8	9	12	6	15	24	3
11	6			12	8	15		2
	6			14	9	17		2
	7				9	17		3
					10	17		4
					10	17		
					10	19		
					12	20		
					12	21		
					22			
					24			
TOTAL TREES	7	TOTAL # TREES	1	TOTAL # TREES	24	TOTAL # TREES	5	
TOTAL DBH INCHES	54	TOTAL DBH INCHES	1	TOTAL DBH INCHES	352	TOTAL DBH INCHES	14	

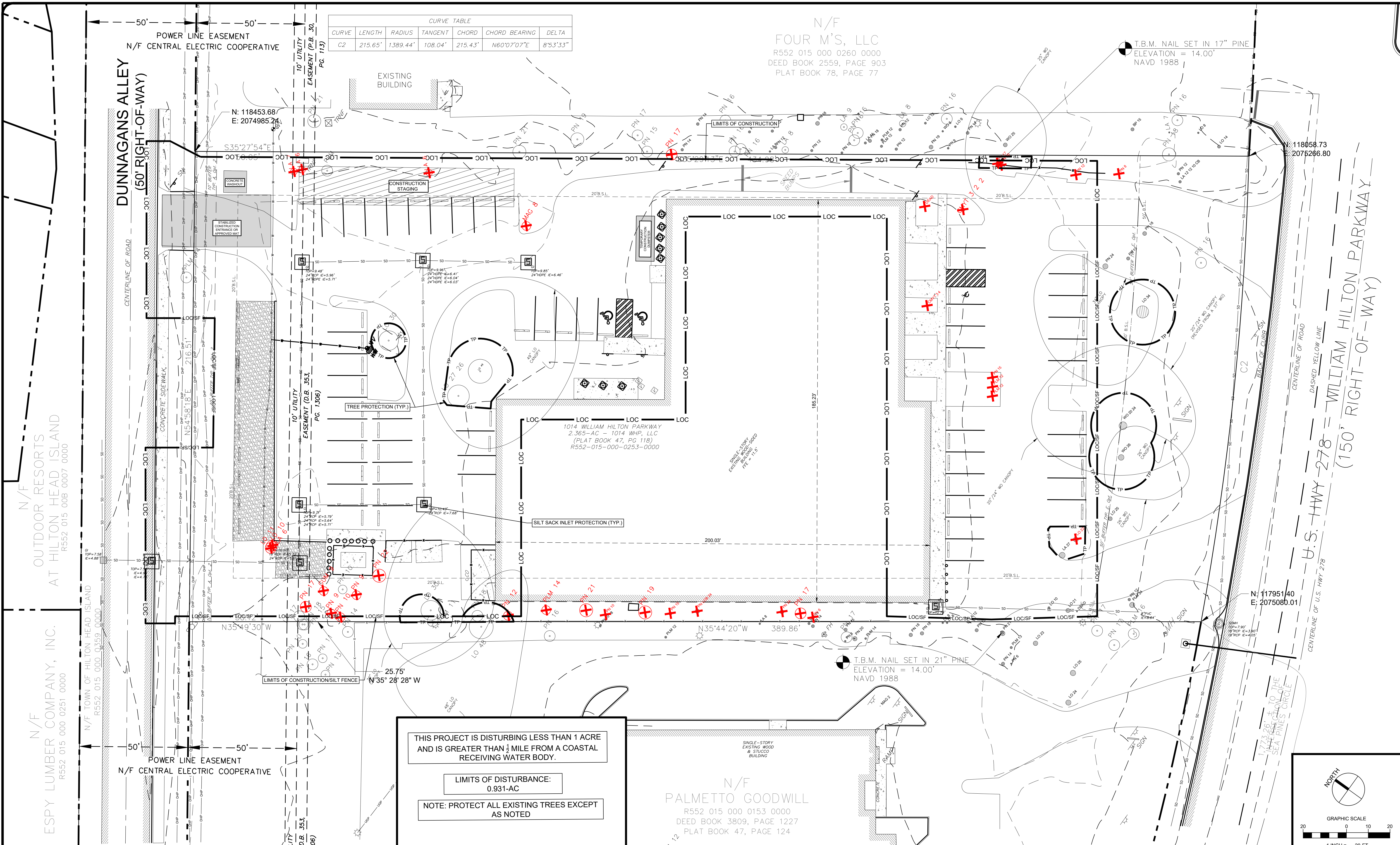
LEGEND

PAVING TO BE REMOVED (SAW CUT AT LIMITS SHOWN HEREON)

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
 Know what's below.
 Call before you dig.





THIS PROJECT IS DISTURBING LESS THAN 1 ACRE AND IS GREATER THAN 1/2 MILE FROM A COASTAL RECEIVING WATER BODY.

LIMITS OF DISTURBANCE: 0.931-AC

NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

SWPPP NOTES:

- REFERENCE SWPPP NOTES ON SHEET C0.1.
- REFERENCE SCDHEC STANDARD NOTES ON SHEET C0.1.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- WHEN ACCESSING SITE, PROVIDE A 10" LONG BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 6" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MASONRY INLETS SHALL BE LEFT LOW ENOUGH, DURING CONSTRUCTION, FOR WATER TO ENTER.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY ONE (21) DAYS.
- ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLLOWING: THE GROUND PREPARATION, FURNISHING AND PLANTING, SEEDING, FERTILIZING AND MULCHING OF ALL DISTURBED AREAS IN THE PROJECT AREA.

SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. MAINTAIN THROUGHOUT CONSTRUCTION.
 - INSTALL TREE PROTECTION.
 - INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.
 - REMOVE TREES AS SHOWN PER PLAN.
 - COMPLETE DEMOLITION AS PER C1.0
 - BEGIN BUILDING CONSTRUCTION.
 - INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.
- PHASE II**
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
 - INSTALL PARKING AREA.
 - PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.
 - REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
 - PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

LEGEND

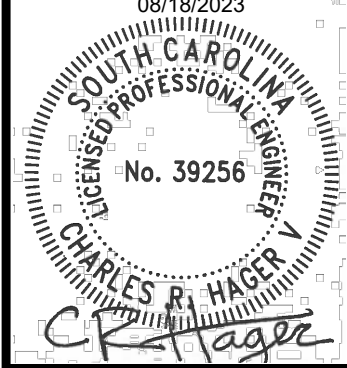
- SF — SILT FENCE, SEE DETAIL
- LOD — LIMITS OF DISTURBANCE
- TP — TREE FENCE
- PERMANENT SEEDING AREA
- PS — PERMANENT SEEDING
- DS — DUST CONTROL
- INLET PROTECTION, SEE DETAIL

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928
SWPPP PLAN PHASE I

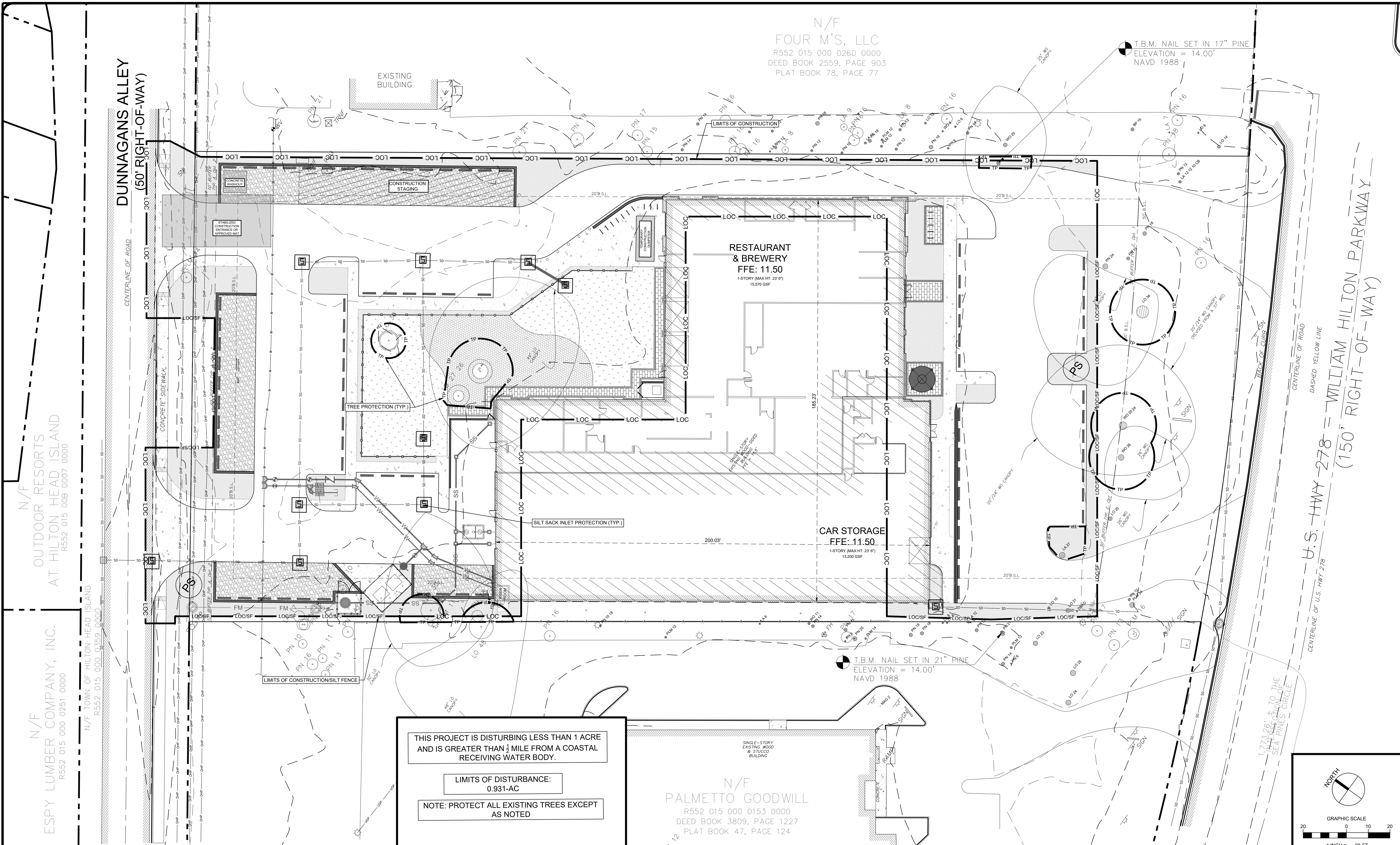
NO.	DATE	BY	DESCRIPTION
08/18/2023	RJS		
DESIGNED BY:	RJS		
DRAWN BY:	RJS		
CHECKED BY:	CRH		
JOB NUMBER:	A3465-6401		
FILE PATH:			



LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401
Phone 843.406.5140
www.lja.com
FRN-C06168

SHEET NO.
C1.1

I:\2023\0811\SWPPP\PLAN SHEETS\C01-SWPPP PLAN PHASE I.dwg
 User: rjsharper Aug 22 10:23 AM 13/21
 Plot Date/Time: Aug 22 10:23 AM 14/25



N/F
OUTDOOR RESORTS
AT HILTON HEAD ISLAND
R552 015 000 0007 0000

N/F
ESPY LUMBER COMPANY, INC.
R552 015 000 0251 0000

N/F
TOWN OF HILTON HEAD ISLAND
R552 015 000 0359 0000

N/F
PALMETTO GOODWILL
R552 015 000 0153 0000
DEED BOOK 3809, PAGE 1227
PLAT BOOK 47, PAGE 124

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928
SWPPP PLAN PHASE II

THIS PROJECT IS DISTURBING LESS THAN 1 ACRE
AND IS GREATER THAN 1/2 MILE FROM A COASTAL
RECEIVING WATER BODY.

LIMITS OF DISTURBANCE:
0.931-AC

NOTE: PROTECT ALL EXISTING TREES EXCEPT
AS NOTED

SWPPP NOTES:		SEQUENCE OF CONSTRUCTION		LEGEND	
1. REFERENCE SWPPP NOTES ON SHEET C0.1.	5. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.	1. INSTALL SILT FENCE AND TEMPORARY PROTECTION ON PROPOSED INLETS.	8. INSTALL INLET PROTECTION ON PROPOSED INLETS.	— SF —	SILT FENCE, SEE DETAIL
2. REFERENCE SCDHEC STANDARD NOTES ON SHEET C0.1.	6. TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MASONRY INLETS SHALL BE LEFT LOW ENOUGH, DURING CONSTRUCTION, FOR WATER TO ENTER.	2. INSTALL TREE PROTECTION.	9. INSTALL PARKING AREA.	— LOD —	LIMITS OF DISTURBANCE
3. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.	7. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.	3. INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.	10. PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.	— TP —	TREE FENCE
4. WHEN ACCESSING SITE, PROVIDE A 100' LONG BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 6" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.	8. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.	4. REMOVE TREES AS SHOWN PER PLAN.	11. REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.	■	PERMANENT SEEDING AREA
	9. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.	5. COMPLETE DEMOLITION AS PER C1.0	12. PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.	○ PS	PERMANENT SEEDING
		6. BEGIN BUILDING CONSTRUCTION.		○ DS	DUST CONTROL
		7. INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.			

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

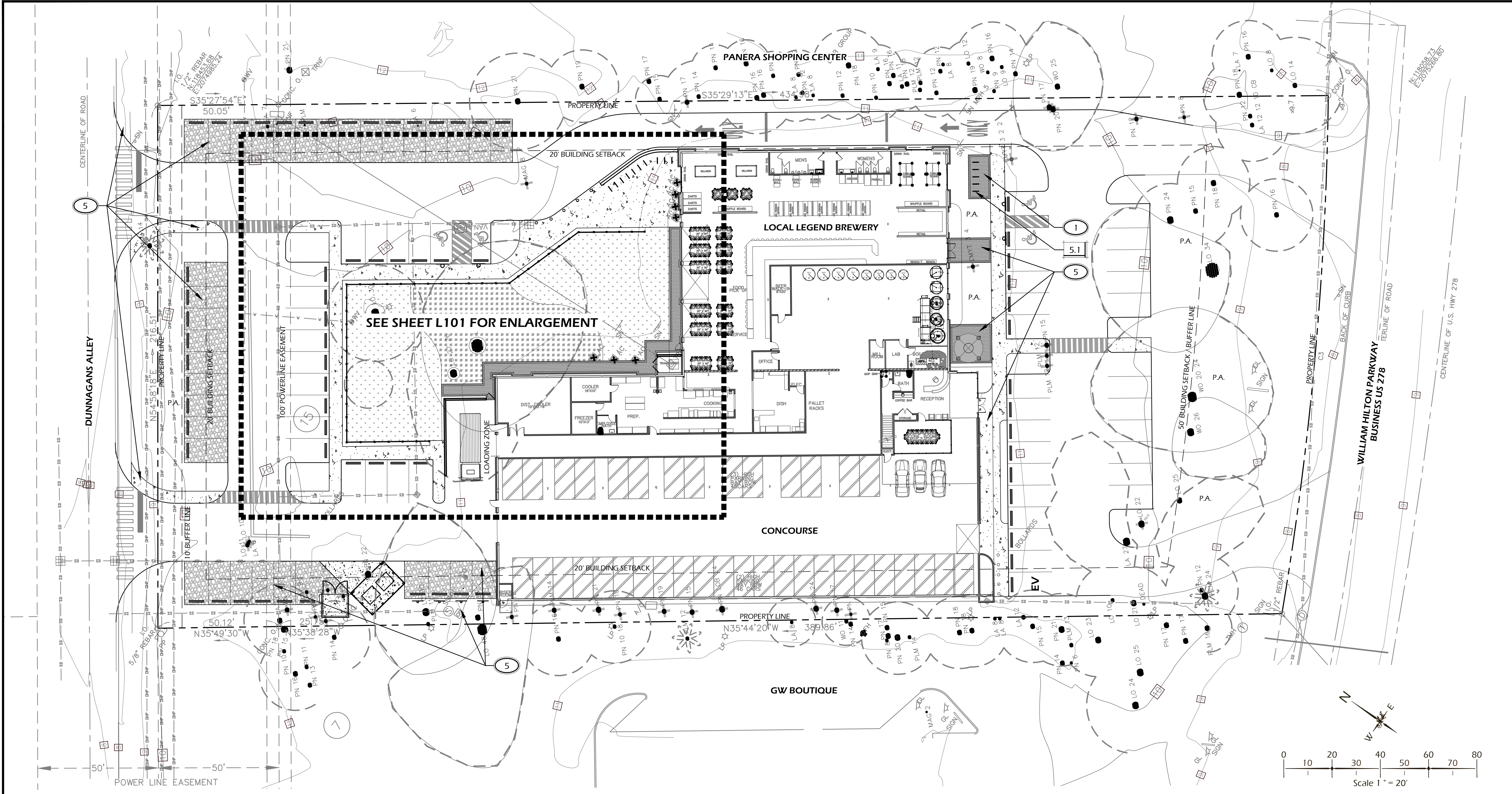
811
Know what's below.
Call before you dig.

NO.	DATE	BY	DESCRIPTION
	08/18/2023	RJS	DESIGNED BY
		RJS	DRAWN BY
		CRH	CHECKED BY
		AS465-6401	JOB NUMBER
			FILE PATH:

08/18/2023
SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 39256
CHARLES W. HIGGINS
C. Higgins

LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401
Phone 843.406.5140
www.lja.com
FRN-C06168

SHEET NO.
C1.2



SITE DETAILS LEGEND

CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
5.2	BOLLARD	4/L600

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
- ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
- ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
- ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.

© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

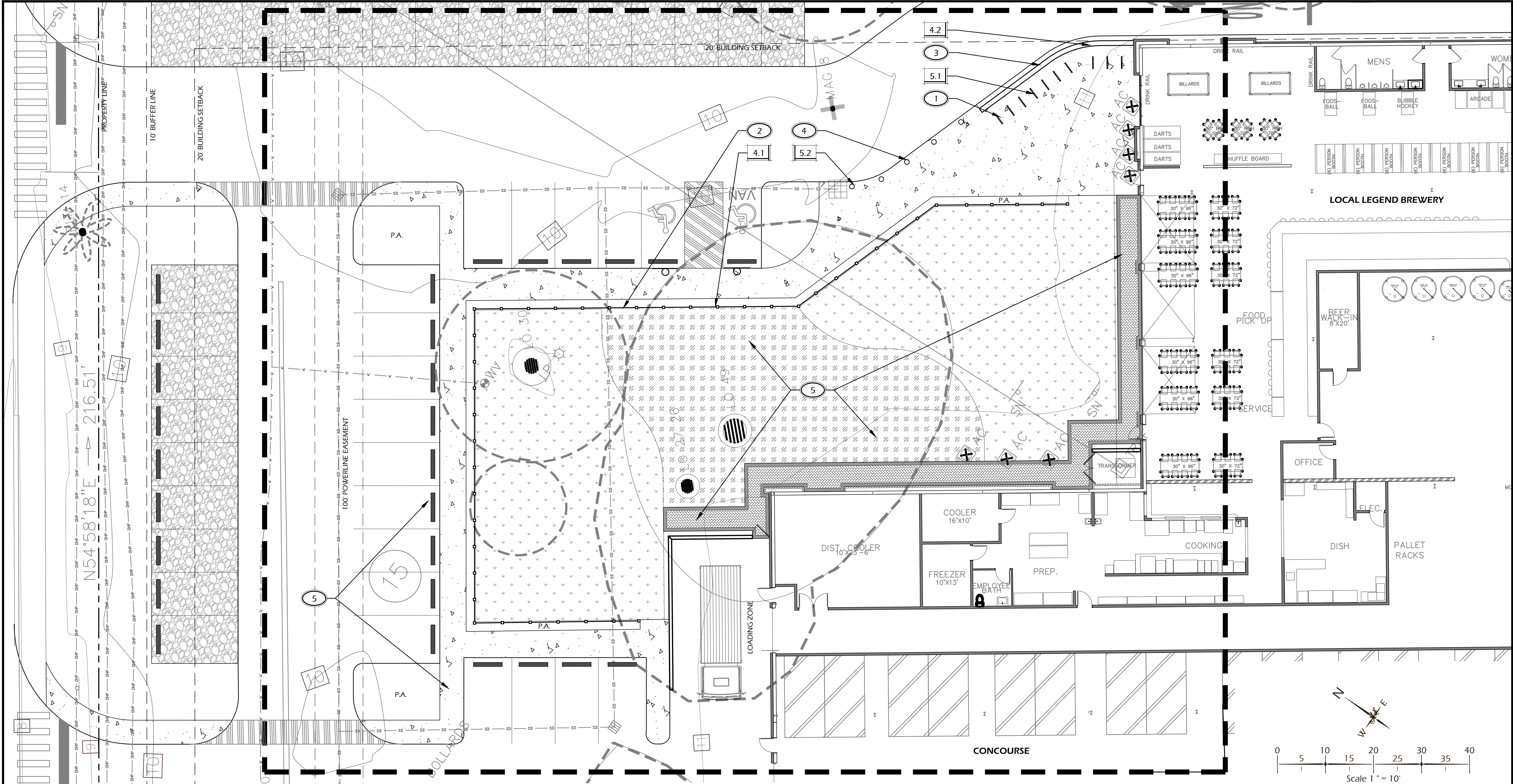
DATE: AUG 25, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L100



SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
5.2	BOLLARD	4/L600

- KEY SHEET REFERENCE NOTES:**
- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
 - ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
 - ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
 - ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
 - ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.

© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

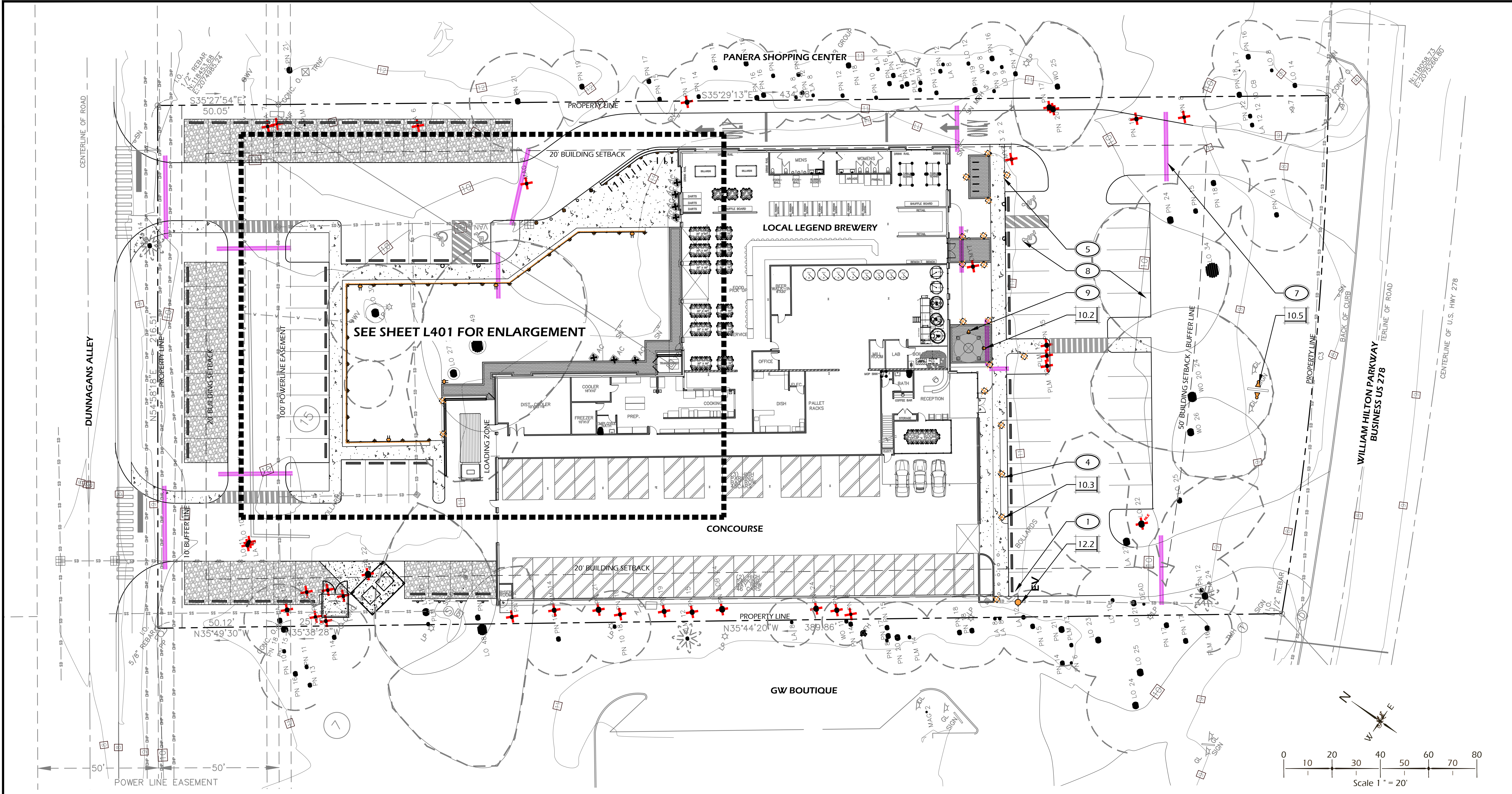
DATE: AUG 25, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L101



SEE SHEET L401 FOR ENLARGEMENT

SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

SITE UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

- 1 ELECTRIC VEHICLE CHARGING STATION, POST MOUNT. TO BE SELECTED AND APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION. COORDINATE WITH CIVIL ENGINEERS UTILITY PLANS.
- 2 G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
- 3 LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- 4 SPACE LIGHTS EQUALLY AS SHOWN.
- 5 PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
- 6 ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
- 7 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
- 8 PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
- 9 WELL LIGHT LOCATION TO BE STAKED IN FIELD PRIOR TO PAVEMENT INSTALLATION TO ENSURE COVERAGE AND ORIENTATION ASSOCIATED WITH SPENT GRAIN SILO. LIGHTS TO BE ADJUSTED IN-FIELD FOR OPTIMAL COVERAGE AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

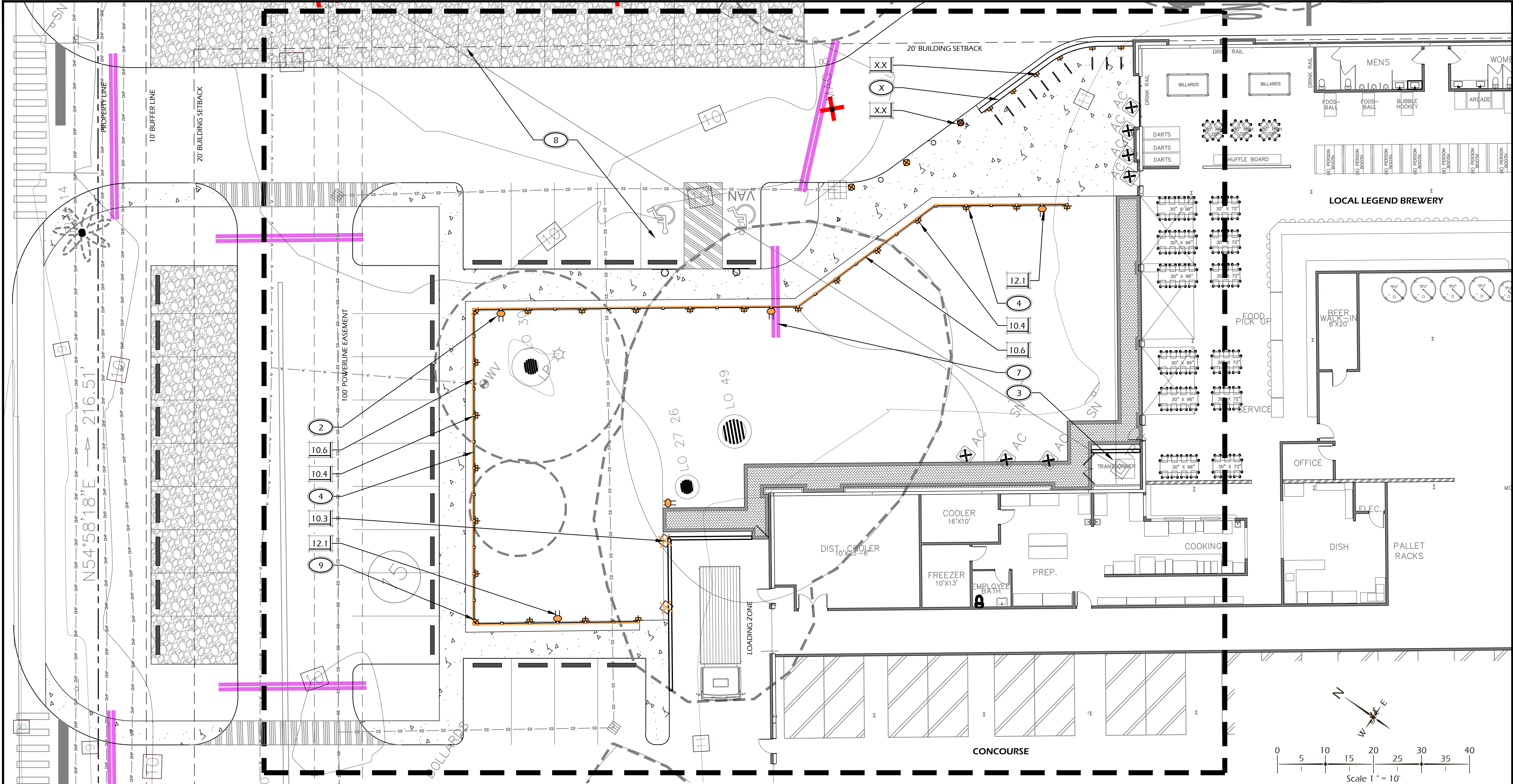
DATE: AUG 25, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE UTILITY PLAN

DRAWING NUMBER
L400



SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

SITE UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

1. ELECTRIC VEHICLE CHARGING STATION, POST MOUNT. TO BE SELECTED AND APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION. COORDINATE WITH CIVIL ENGINEERS UTILITY PLANS.
2. G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
3. LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
4. SPACE LIGHTS EQUALLY AS SHOWN.
5. PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
6. ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
7. 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
8. PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
9. ALL STRING LIGHT AND WALL LIGHT CONDUIT TO BE HIDDEN WITHIN WOOD POSTS.

Witmer Jones-Heefer Ltd.
landscape architecture
land planning
www.wjkltd.com
28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph. 843.787.7411

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

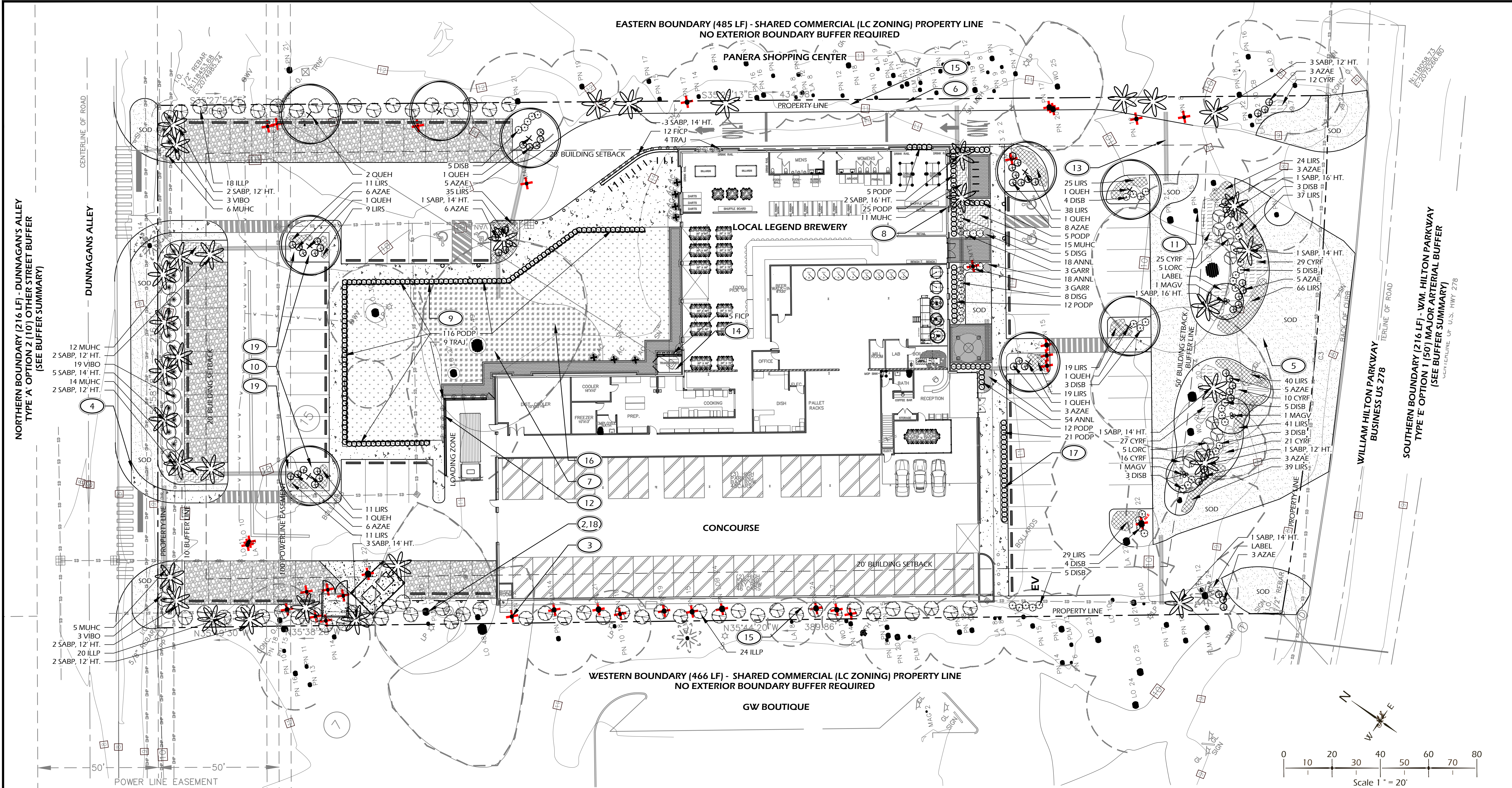
DATE:	AUG 25, 2023
PROJECT NO.:	23075.01
DRAWN BY:	JC
CHECKED BY:	DK

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
SITE UTILITY PLAN

DRAWING NUMBER
L401



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L510
14.2	PALM TREE PLANTING	2/L510
14.3	SHRUB PLANTING	3/L510
14.4	GROUND COVER PLANTING	4/L510
14.5	ROOT BARRIER	5/L510

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
OUEH	Quercus virginiana 'QVITA' PP	High Rise Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
MAGV	Magnolia virginiana	Sweetbay Magnolia
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
DICG	Distylium 'Cinnamon Girl' (PID51V) PP27,631	Cinnamon Girl Distylium
DISB	Distylium 'Blue Cascade' (PID514) PP24409	Blue Cascade Distylium
GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia
ILLP	Illicium parviflorum	Yellow Anise
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Pingje Flower
PODP	Podocarpus macrophyllus 'Pirngles Dwarf'	Dwarf Podocarpus
VIBO	Viburnum odoratissimum	Sweet Viburnum
ORNAMENTAL GRASSES & FERNS		
CYRF	Cyrtomium falcatum	Holly Fern
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
ANNL	Annuals	Annuals
FICP	Ficus pumila	Creeping Fig
LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope
TRAJ	Trachelospermum jasminoides	Confederate Jasmine
SOD & MULCH		
SOD5F		Empire Zoysia Sod
MULCH5F	Pine Straw - all disturbed areas	Pine Straw

- PLANTING REFERENCE NOTES:**
- EXISTING VEGETATION TO REMAIN.
 - EXISTING TREES TO REMAIN.
 - EXISTING TREES TO BE REMOVED. SEE SHEET L501 FOR TREE MITIGATION SUMMARY.
 - EXISTING OVERHEAD UTILITY LINE TO REMAIN. DO NOT DISTURB. NO OVERSTORY TREES SHALL BE PLANTED IN EASEMENT.
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL GRASS DAMAGED DURING CONSTRUCTION.
 - SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS ALONG SHARED PROPERTY LINES.
 - MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - ALIGN ALL PALM TREES, AT FRONT OF BUILDING, WITH BUILDING COLUMNS TO FRAME WINDOW.
 - ALIGN SHRUB LAYOUT GRID WITH WOOD DRINK RAIL FENCE.
 - ALL PARKING LOT MEDIAN PLANTINGS SHALL BE 12"-18" OFF EDGE OF ROAD / PARKING AREA AT TIME OF MATURITY.
 - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
 - TRAIN TRAJ TO WIRE SUPPORTS ON WALL. SUPPORT STRUCTURE PER ARCHITECT'S DRAWINGS.
 - PROVIDE TWO (2) 4" P.V.C. CONDUIT FOR IRRIGATION AND LOW VOLTAGE LIGHTING. LOCATION TO BE COORDINATED WITH CIVIL ENGINEERS DRAWINGS.
 - COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER.
 - NO BUFFER REQUIRED IN LIGHT COMMERCIAL ZONING FOR ADJACENT SIMILAR USES.
 - REFER TO CIVIL ENGINEER DRAWINGS FOR SURFACING IN COURTYARD.
 - SEE SHEET L400 AND L401 FOR LOW VOLTAGE LIGHT FIXTURE LOCATION AND SPECIFICATION.
 - REVIEW HEALTH OF EXISTING TREE WITH ARBORIST PRIOR TO REMOVAL OF EXISTING PAVEMENT WITHIN DRIP LINE. FOLLOW ARBORIST'S INSTRUCTION FOR PAVEMENT REMOVAL TO MINIMIZE DAMAGE TO TREE ROOTS. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT. PROVIDE PRE AND POST CONSTRUCTION FERTILIZATION PLAN WITH A MYCOR TREATMENT AND TO BE COMPLETED BY A CERTIFIED ARBORIST. LIMIT GRADING WITHIN TREE PROTECTION FENCE AREA TO HAND DIGGING, TAKING CARE NOT TO DISTURB ROOTS.
 - PLANTING PLAN MAY REQUIRE MODIFICATIONS DUE TO ANY POTENTIAL CONFLICTS WITH UTILITIES. ANY CHANGES TO PLANTING PLAN WILL BE COORDINATED WITH TOWN STAFF.

- BUFFER SUMMARY:**
- NORTHERN BOUNDARY (216 LF) - DUNNAGAN'S ALLEY
20' ADJACENT STREET SETBACK - OTHER STREET
TYPE 'A' OPTION 2 (10') OTHER STREET BUFFER:**
- OVERSTORY TREES: 2 TREES PER 100 LF - 4 TREES REQUIRED (4 SABP PROVIDED DUE TO POWERLINE EASEMENT)
UNDERSTORY TREES: 5 TREES PER 100 LF - 9 TREES REQUIRED
EVERGREEN SHRUBS: 10 SHRUBS PER 100 LF - 22 SHRUBS REQUIRED
- EASTERN BOUNDARY (485 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**
- SOUTHERN BOUNDARY (216 LF) - WM. HILTON PARKWAY
50' ADJACENT STREET SETBACK - MAJOR ARTERIAL
TYPE 'E' OPTION 1 (50') MAJOR ARTERIAL BUFFER:**
- OVERSTORY TREES: 4 TREES PER 100 LF - 9 TREES REQUIRED (9 EXISTING)
UNDERSTORY TREES: 5 TREES PER 100 LF - 11 TREES REQUIRED (1 EXISTING, 10 PROPOSED)
EVERGREEN SHRUBS: 20 SHRUBS PER 100 LF - 43 SHRUBS REQUIRED
- WESTERN BOUNDARY (466 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

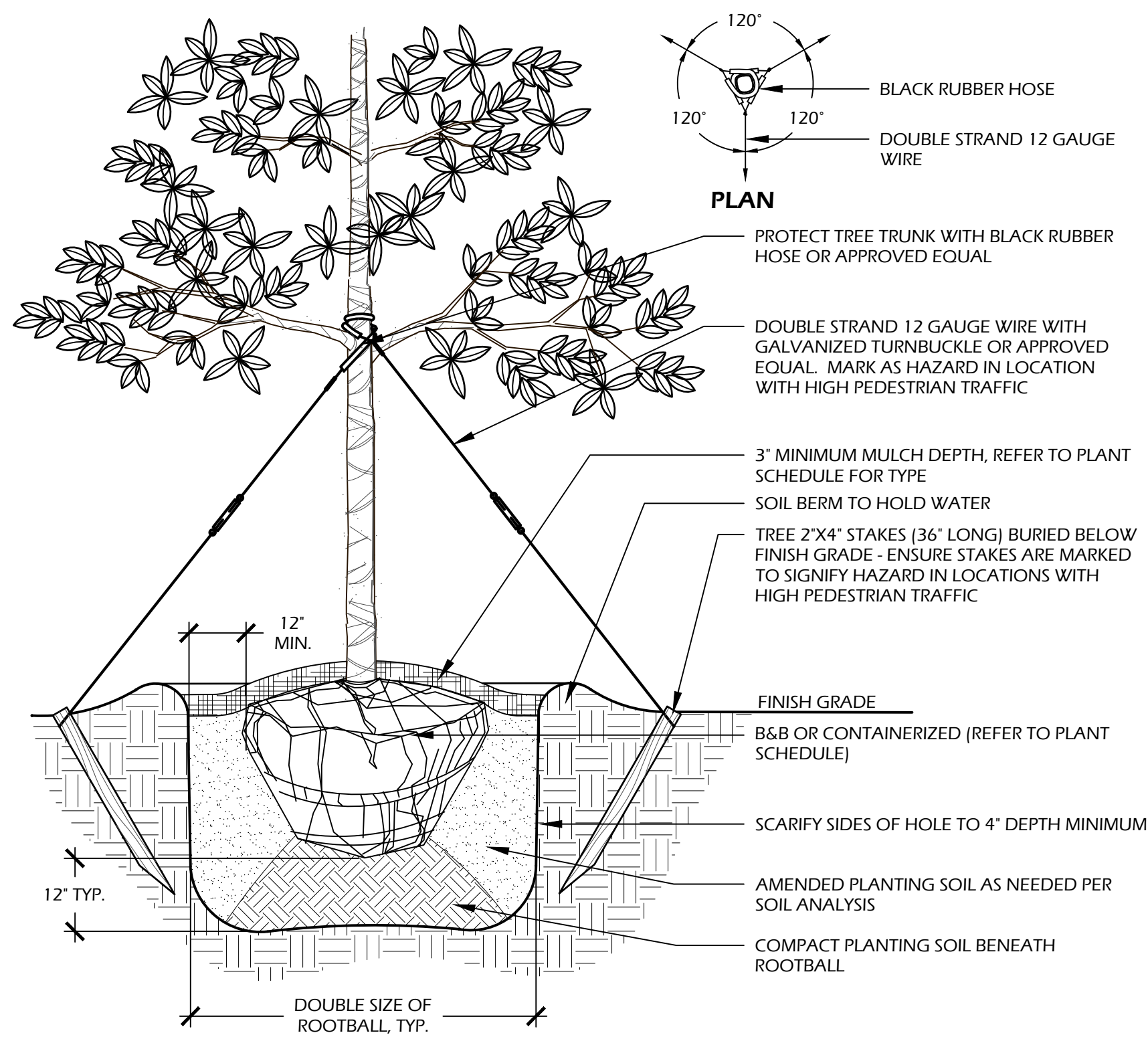
DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

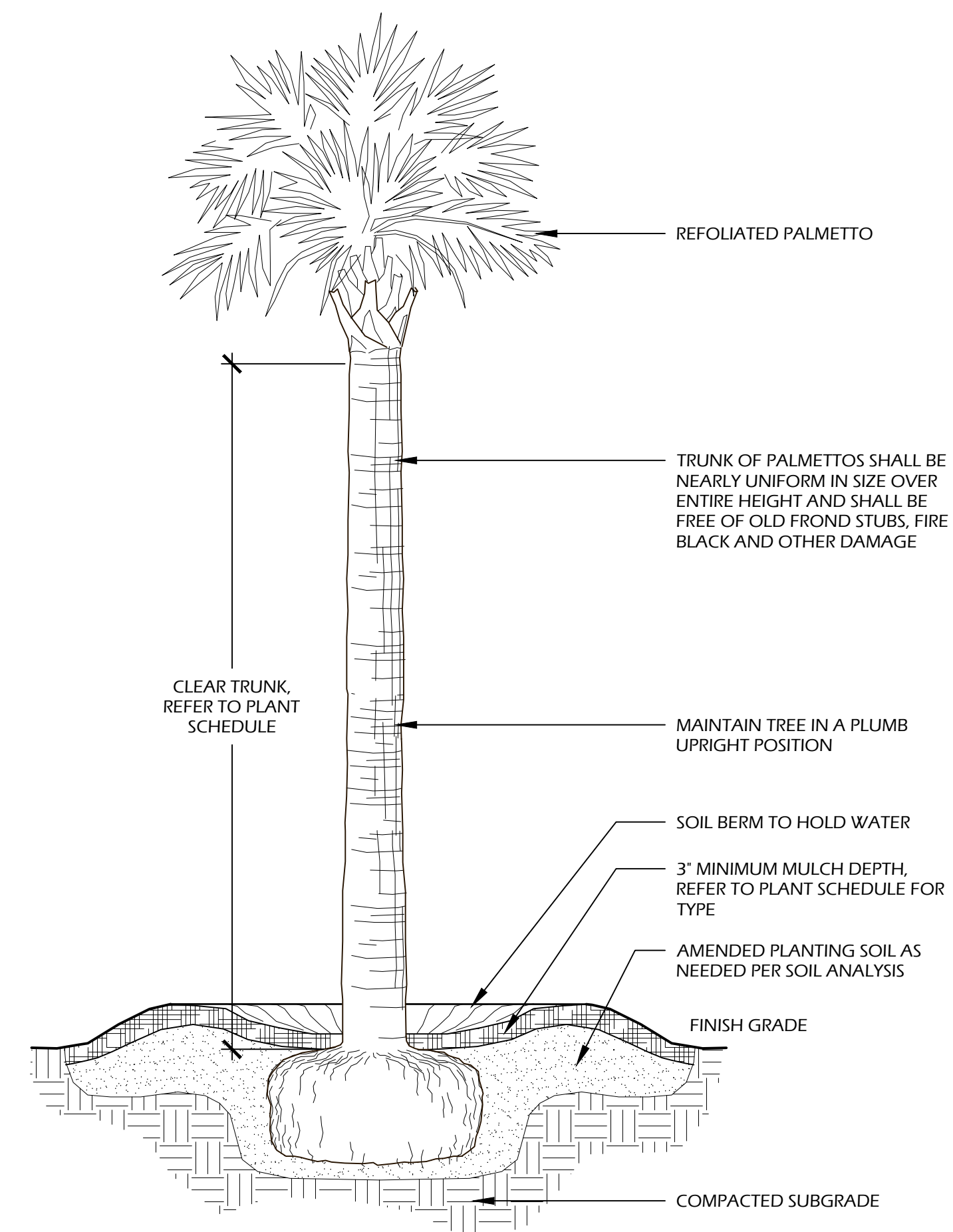
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L500



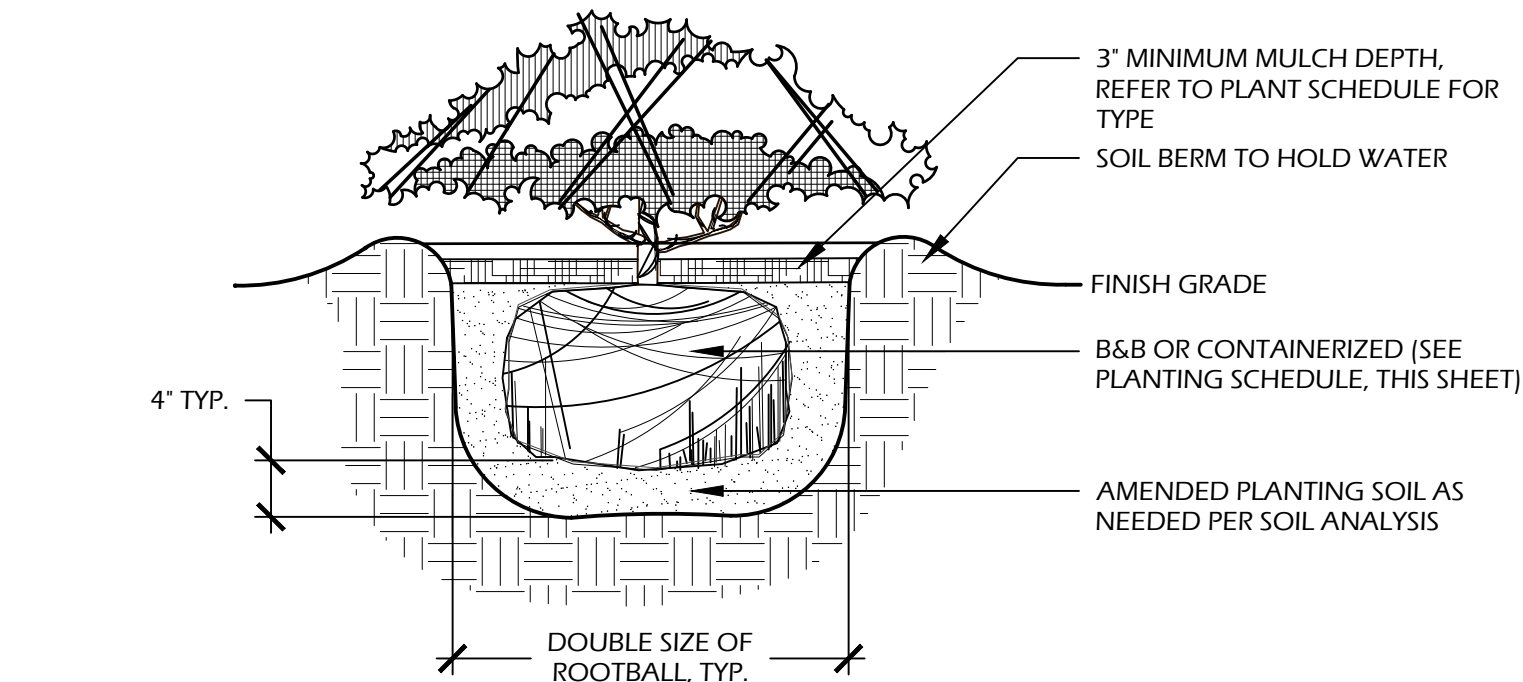
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



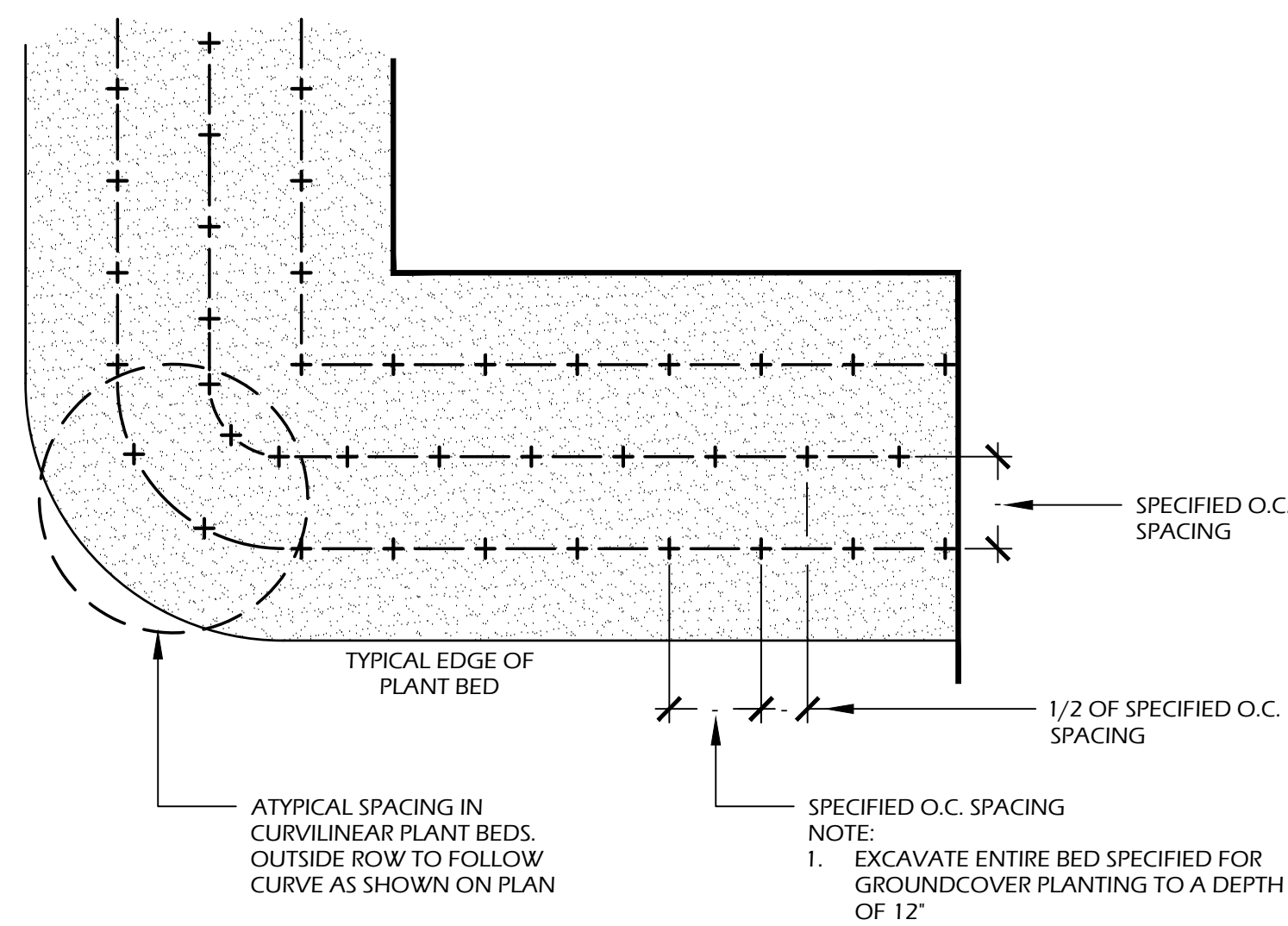
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
* 9	QUEH	Quercus virginiana 'OVITA' PP 11219 Highrise	High Rise Live Oak	14'-16'	6'-8'	Cont.	4"	Full
** 33	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated - optional, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
** 3	MAGV	Magnolia virginiana	Sweetbay Magnolia	8'-10'	4'-5'	30 gal.	1" Cal. min.	Full
SHRUBS								
56	AZAE	Azalea x encore	Encore Azalea	24'-30"	24'-30"	7 gal.	-	Full
13	DICG	Distylium 'Cinnamon Girl' (PIDIST-V PP27,631)	Cinnamon Girl Distylium	24'-30"	24'-30"	7 gal.	-	Full
37	DISB	Distylium 'Blue Cascade' (PIDIST-II PP24409)	Blue Cascade Distylium	24'-30"	24'-30"	7 gal.	-	Full
6	GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	10'-16"	10'-16"	3 gal.	-	Full
62	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
10	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
196	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24"	16'-20"	7 gal.	-	Full
25	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
138	CYRF	Cyrtomium falcatum	Holly Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
63	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
90	ANNL	Annuals	Annuals	6'-8"	6'-8"	quart	8" O.C.	Full; Seasonal Color
17	FICP	Ficus pumila	Creeping Fig	4'-6"	8'-12"	1 gal.	24" O.C.	Full
454	LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope	12'-16"	8'-12"	1 gal.	18" O.C.	Full
13	TRAJ	Trachelospermum jasminoides	Confederate jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
10,300	SODSF	-	Empire Zoysia Sod	-	-	-	-	-
15,000	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

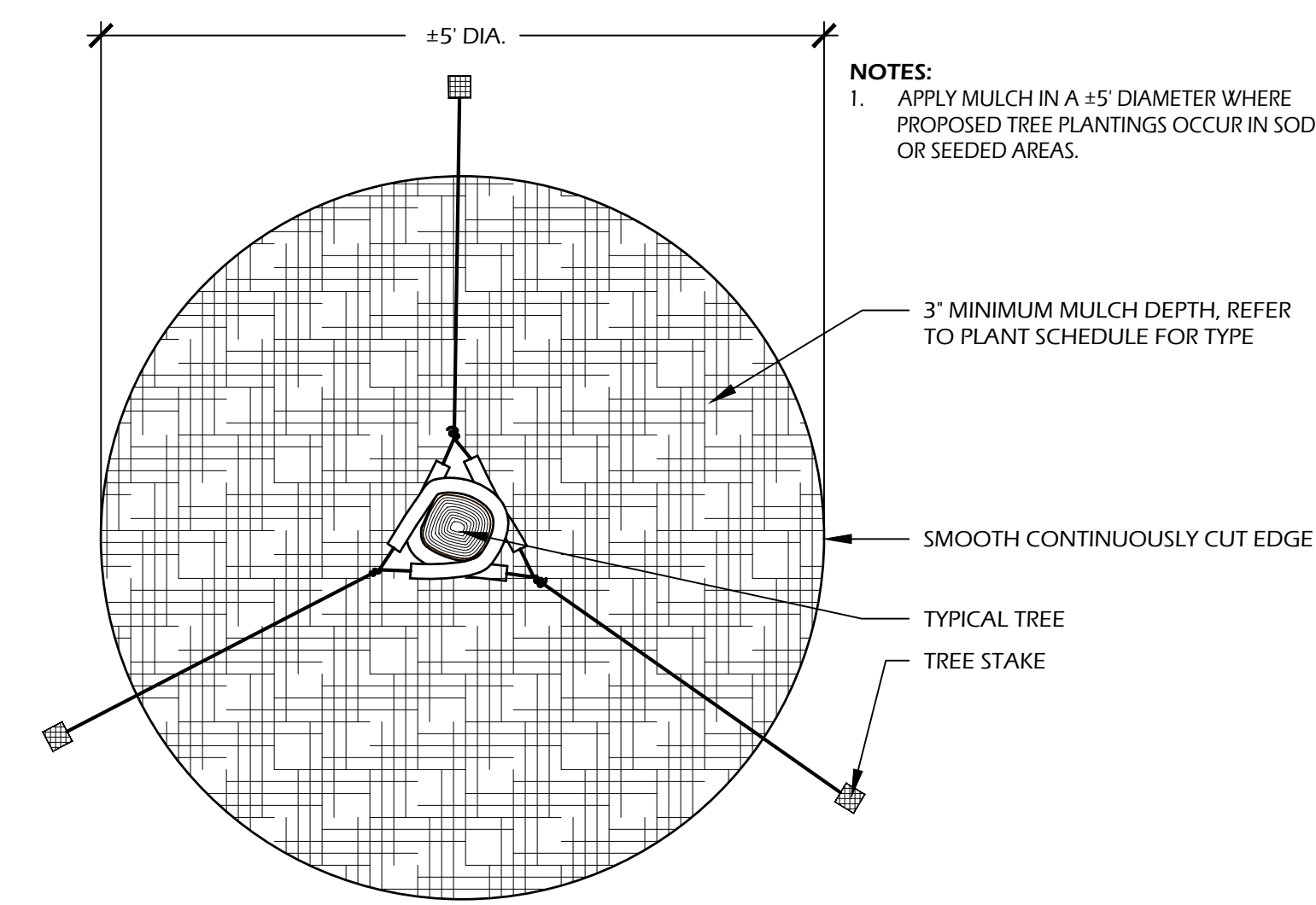
PLANT TABLE:

Species Abbrev	Trees Removed							
	LO	LA	MAG	GUM	PLM	PN	PN LOB	CM
Galiper Inches	10	6	8	9	12	6	24	3
	11	6	7		12	8		2
		6			14	9		2
		7				9		3
						10		4
						10		
						10		
						12		
						12		
						15		
						15		
						17		
						17		
						17		
						19		
						20		
						21		
						22		
						24		
Species DBH Totals	21	25	8	9	38	290	24	14
Total DBH Inches Per Cat	54			9		352		

TREE LEGEND: LO-Live Oak, LA-Laurel Oak, MAG-Magnolia, GUM-Sweet Gum, PLM-Palmetto, PN-Pine, PN LOB-Loblolly Pine, CM-Crape Myrtle

	Tree Mitigation Calculations			
	CAT. I	CAT. II	CAT. III	CAT. IV
# OF TREES TO BE REMOVED	7	1	24	5
TOTAL # OF DBH INCHES	54	9	352	14
CALCULATION	54 ÷ 10 = 5.4	9 ÷ 10 = 0.9	352 ÷ 10 = 35.2	14 ÷ 10 = 1.4
# OF NEW TREES REQUIRED	5	1	35	1
# OF NEW TREES PROVIDED	5	1	35	1

- NOTE:**
- CAT. I AND CAT. II TREE MITIGATION SATISFIED BY PLANTING OF 9 LIVE OAKS (QUEH). SEE PLANT SCHEDULE - *
- CAT. III AND CAT. IV MITIGATION SATISFIED BY PLANTING OF 33 SABAL PALMETTO (SABP) AND 3 SWEETBAY MAGNOLIA (MAGV). SEE PLANT SCHEDULE - **



5 // L501 TREE STAKING
SCALE: N.T.S.



© 2023 WJK LTD. DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD. THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

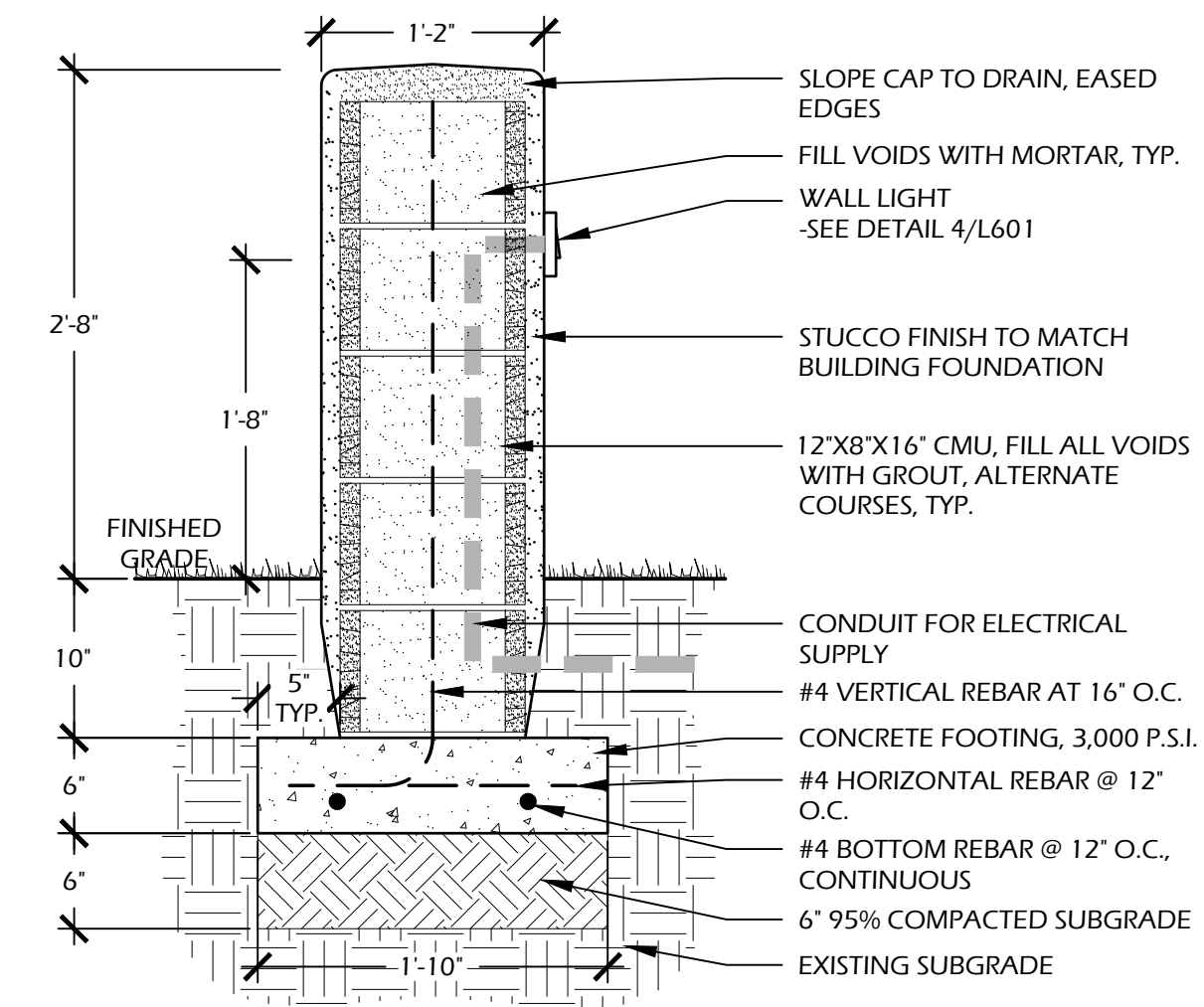
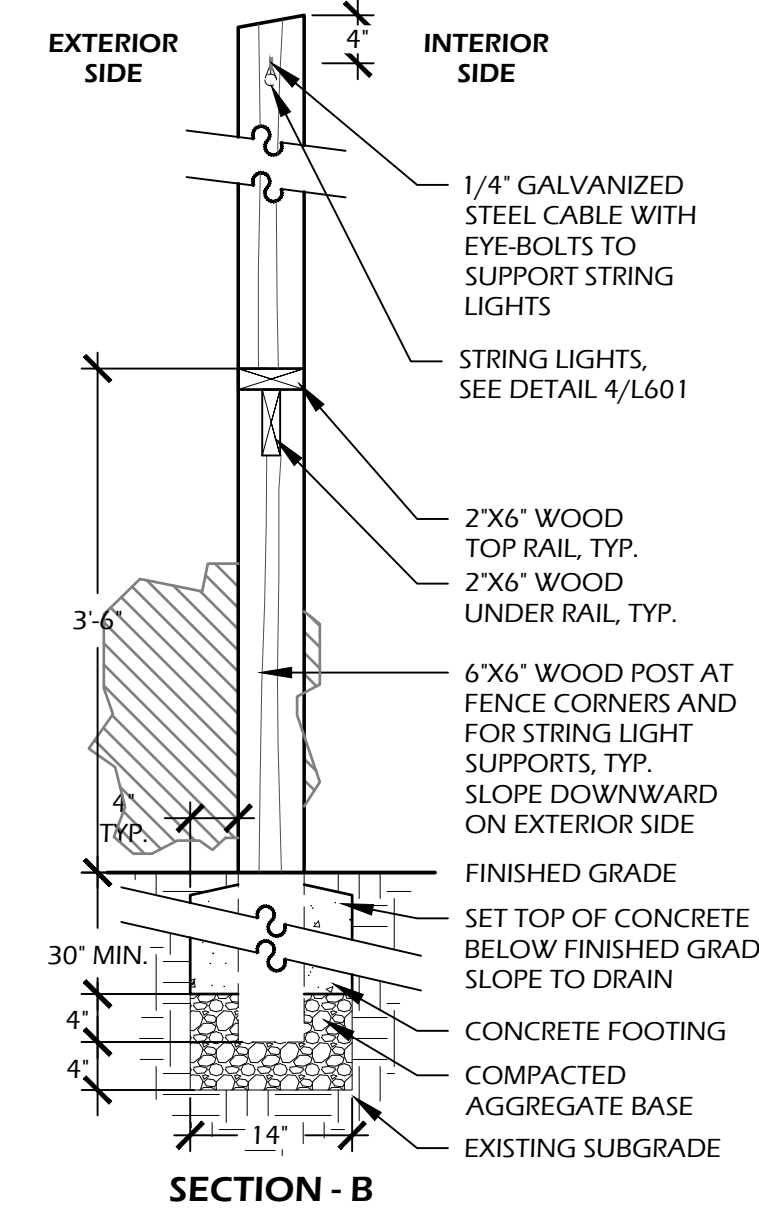
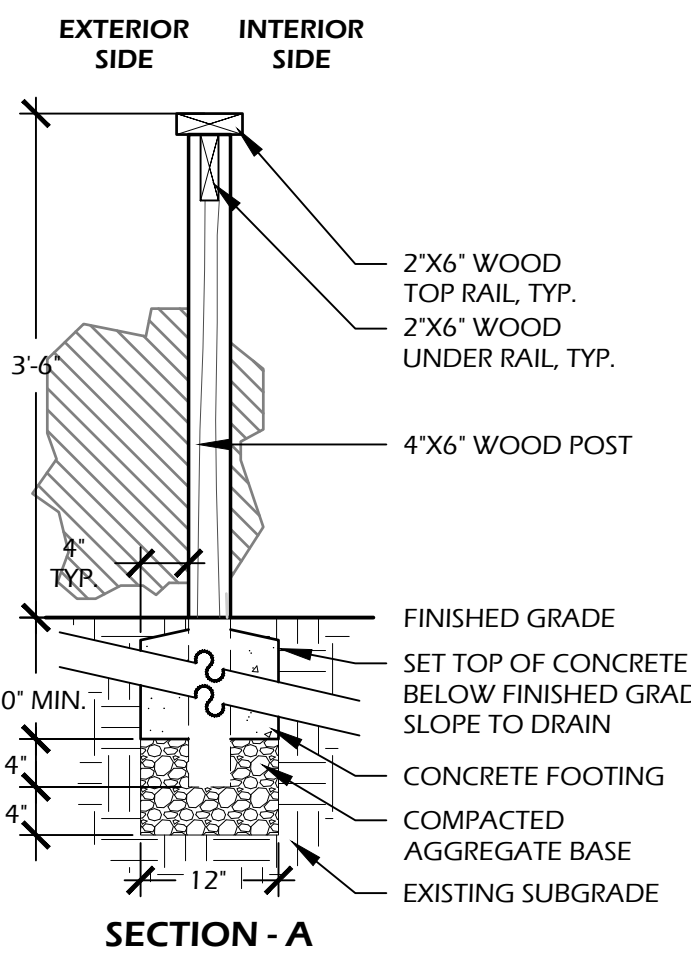
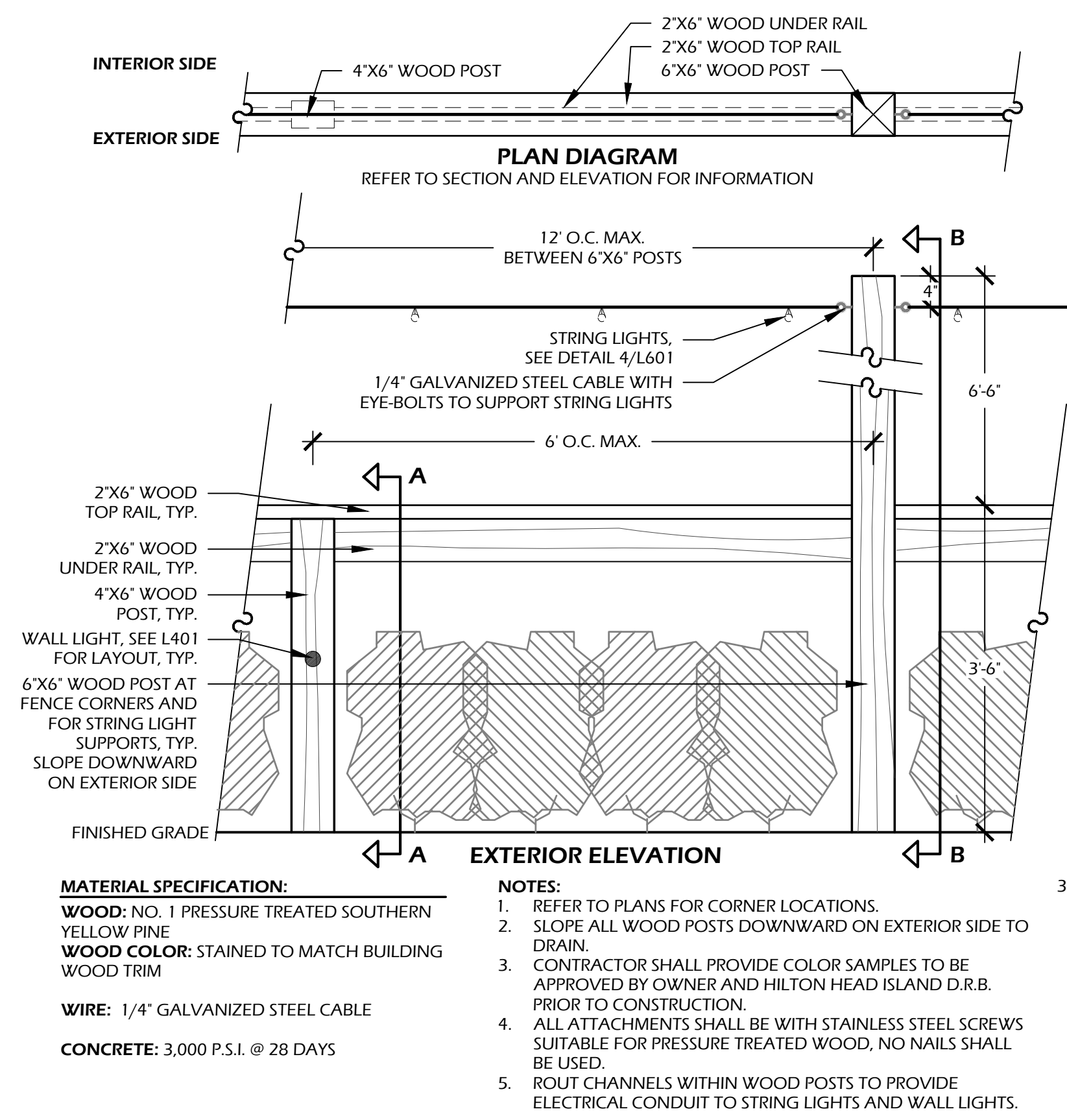
DATE: AUG 25, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER
L501



MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED TO MATCH BUILDING WOOD TRIM
WIRE: 1/4" GALVANIZED STEEL CABLE
CONCRETE: 3,000 P.S.I. @ 28 DAYS

NOTES:
 1. REFER TO PLANS FOR CORNER LOCATIONS.
 2. SLOPE ALL WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
 3. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER AND HILTON HEAD ISLAND D.R.B. PRIOR TO CONSTRUCTION.
 4. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 5. ROUT CHANNELS WITHIN WOOD POSTS TO PROVIDE ELECTRICAL CONDUIT TO STRING LIGHTS AND WALL LIGHTS.

MATERIAL INFORMATION:
STUCCO: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE

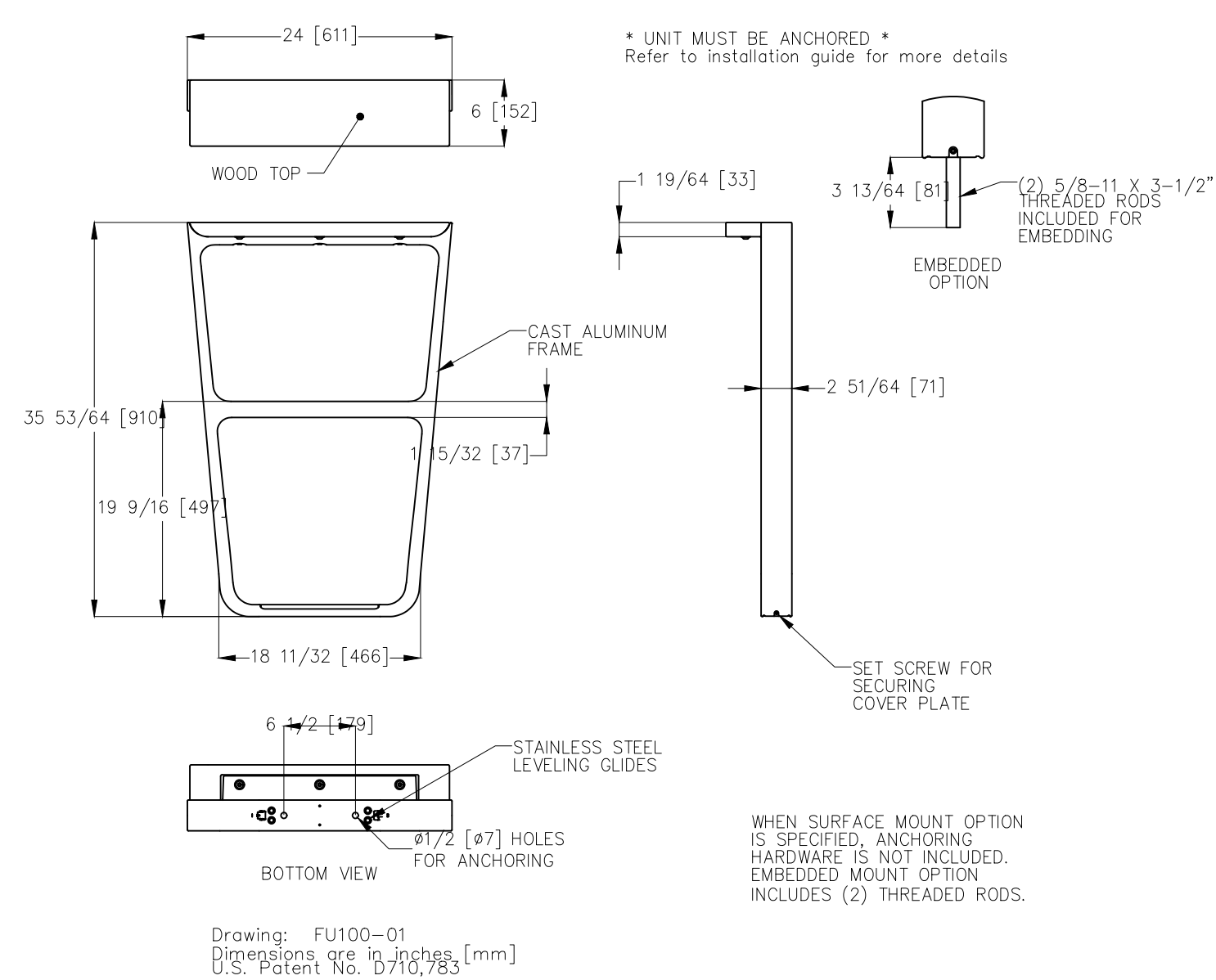
WALL LIGHT MANUFACTURER INFORMATION:
 NITE LITES
 6107 MARKET AVE.
 FRANKLIN, OH 45005
 PHONE: (513) 424.5510
 WEB: WWW.NITELITES.COM

NOTES:
 1. REFER TO LAYOUT PLAN (SHEET L100) FOR OVERALL DIMENSIONS OF SEAT WALL.

1 // L600 BEER GARDEN FENCE
 SCALE: 1" = 1'-0"

2 // L600 LOW WALL
 SCALE: 1" = 1'-0"

MultipliCITY Bike rack, surface mount
 Product Drawing Date: 5/5/2015
 www.landscapeforms.com Ph: 800.521.2546

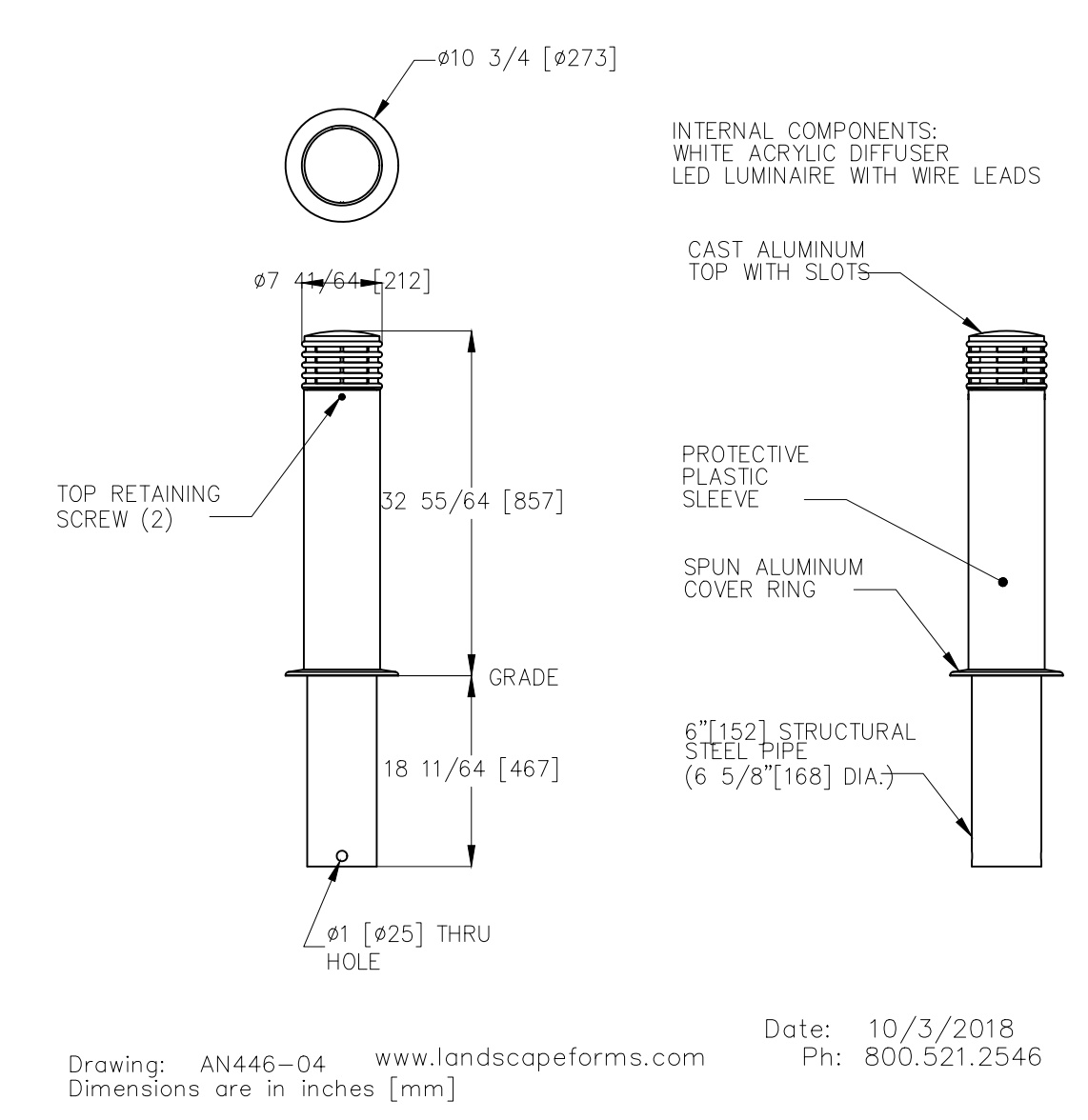


MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: MULTIPLICITY BIKE RACK
COLOR: ALUMINUM FRAME, ASH WOOD
OTHER INFO: SURFACE MOUNT
 OR APPROVED EQUAL

3 // L600 BIKE RACK
 SCALE: NTS

Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
 Product Drawing

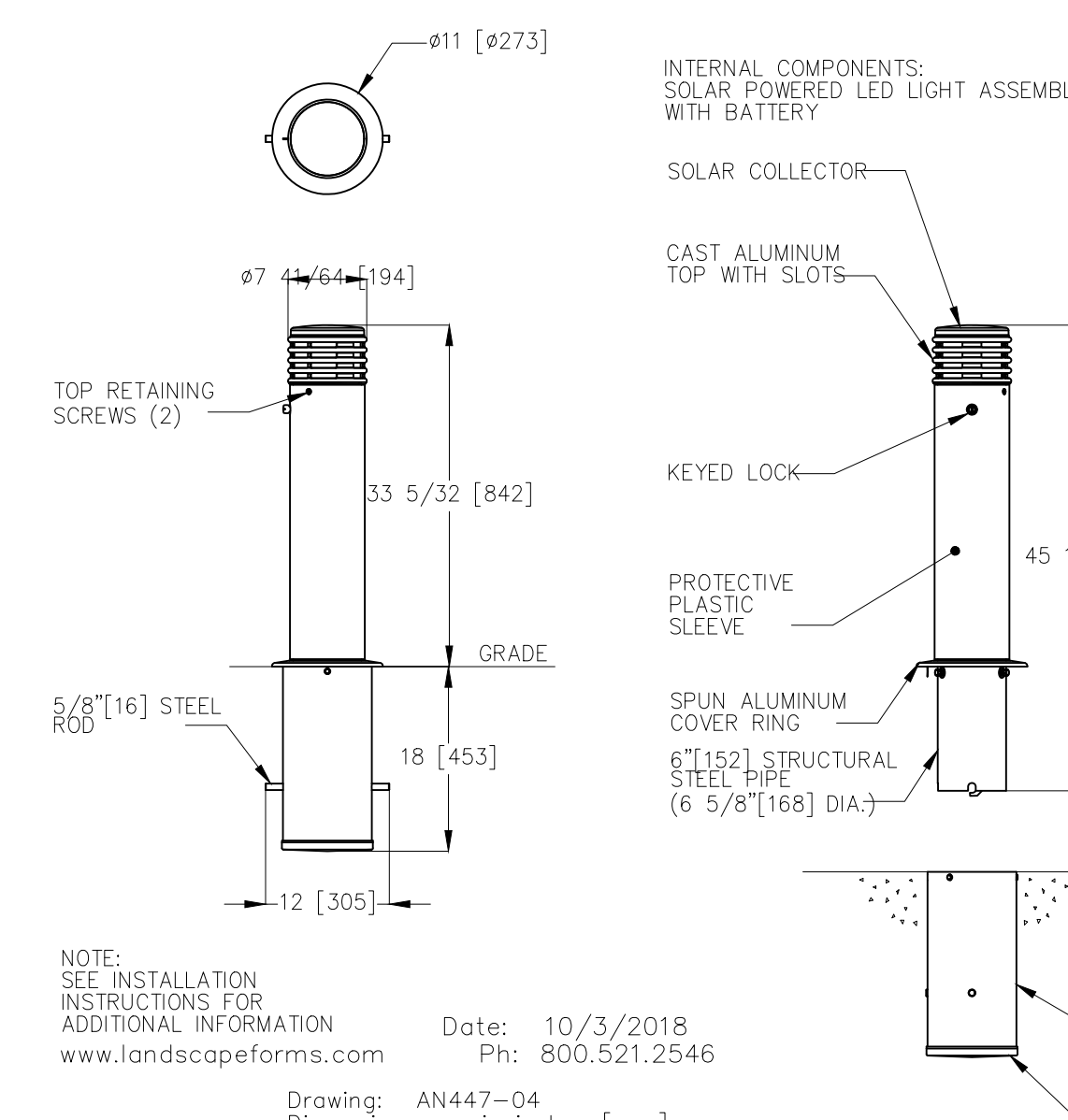


MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: BLACK
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
 OR APPROVED EQUAL

4 // L600 BOLLARD
 SCALE: NTS

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
 Product Drawing



MANUFACTURER INFORMATION:
 LANDSCAPE FORMS
 7800 E. MICHIGAN AVENUE
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: BLACK
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
 OR APPROVED EQUAL

4 // L600 BOLLARD
 SCALE: NTS

© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

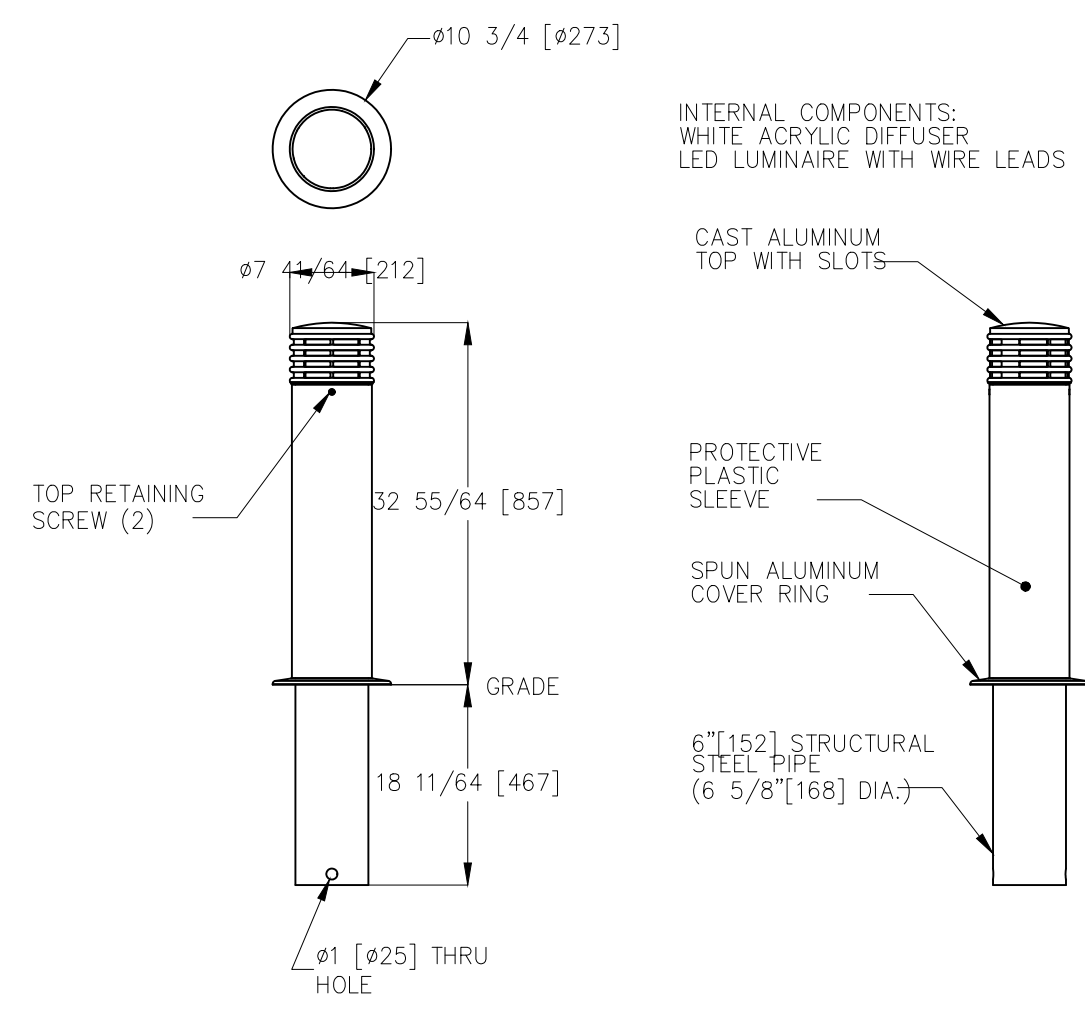
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
 SITE DETAILS

DRAWING NUMBER
L600

Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
Product Drawing



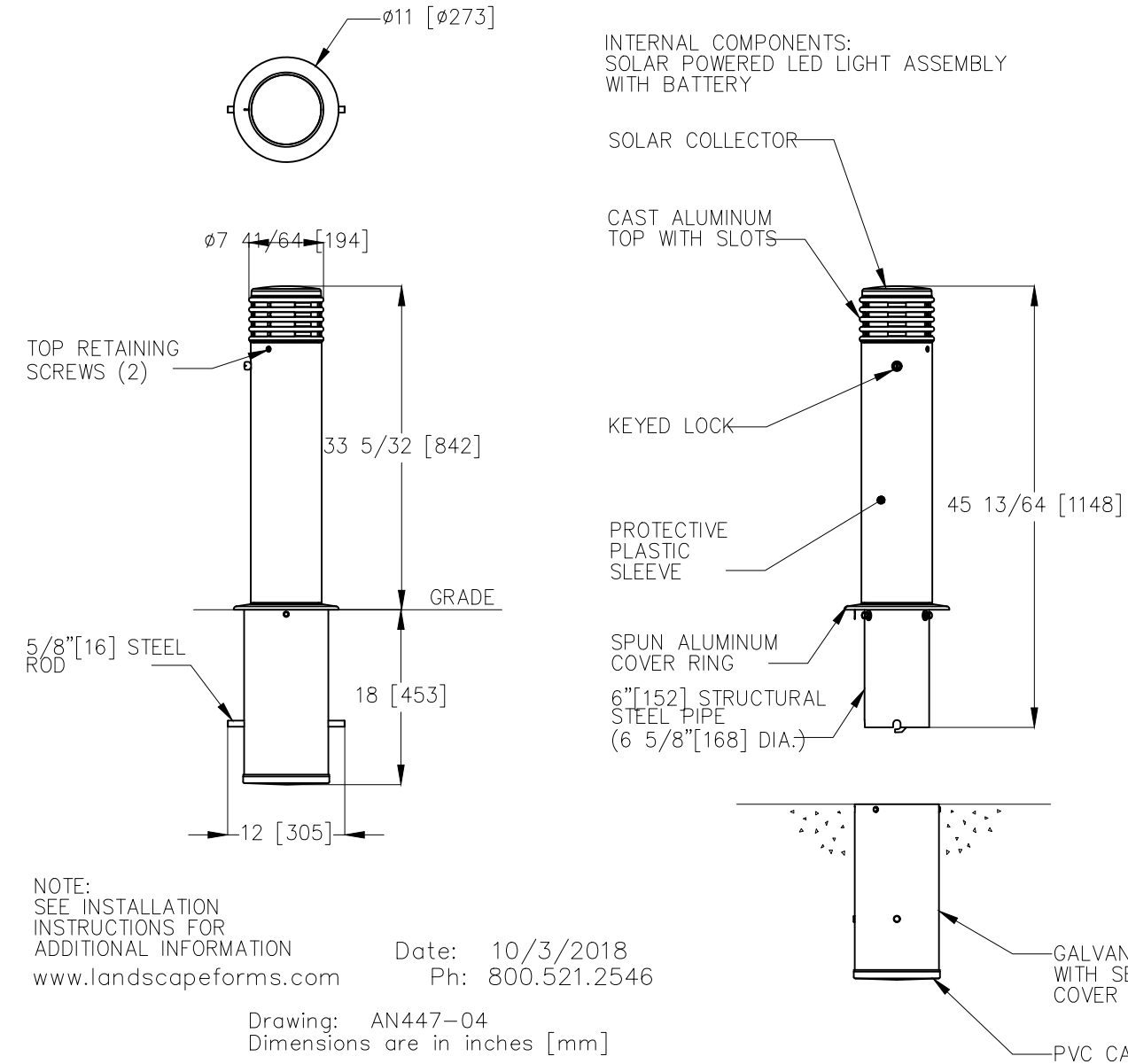
MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: STORMCLOUD
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS

OR APPROVED EQUAL

Drawing: AN446-04 www.landscapeforms.com Date: 10/3/2018
Dimensions are in inches [mm] Ph: 800.521.2546

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
Product Drawing



MODEL: ANNAPOLIS BOLLARD
COLOR: STORMCLOUD
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS

OR APPROVED EQUAL

Drawing: AN447-04 www.landscapeforms.com Date: 10/3/2018
Dimensions are in inches [mm] Ph: 800.521.2546

1 // L601 BOLLARD LIGHT
SCALE: NTS

MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

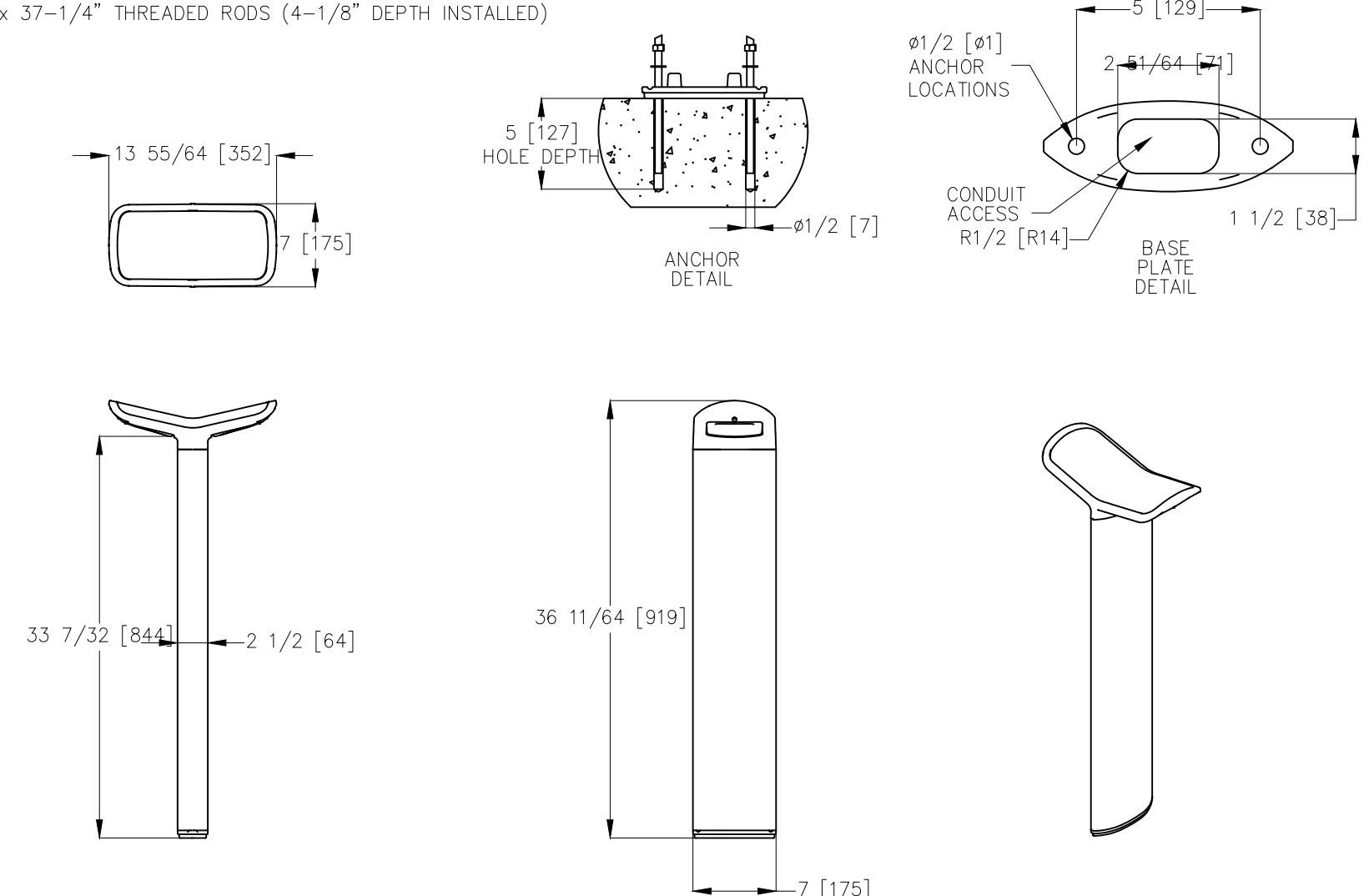
MODEL: MULTIPLICITY PATH LIGHT
COLOR: STORMCLOUD
OTHER INFO: TYPE 4 DISPERSION

OR APPROVED EQUAL



Multiplicity™ Path Light, hard-wired, embedded
Product Drawing

ANCHORING HARDWARE INCLUDED:
(2) 3/8-16 x 37-1/4" THREADED RODS (4-1/8" DEPTH INSTALLED)



Drawing: FU0003
Dimensions are in inches [mm]
U.S. Patent No. 7,700,730

3 // L601 PATH LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET NITE-083

LED

NITE-470

- Energy Savings - 2.5 Watt
- Color: Warm White
- Color Temp: 2700°K
- Lumens: 140

SPECIFICATIONS:

MODEL: NITE-083 Mini Eyebrow Deck Light

MOUNTING: Sleeve or Compression Fit with 1-5/16" Bit

FINISH: Aged Brass

ELECTRICAL: 12V - 18" wire lead

LED: 2.5W LED (NITE-470)

PRODUCT DESCRIPTION / APPLICATIONS:

The Mini Deck Light is designed primarily for commercial and residential applications. The heavy duty fixture will add distinction to your project. The long life LED virtually eliminates replacing burned out lamps.

NOTES:

For compression fit: Use a 1-5/16" diameter bit, 3/8" shank, and 3 1/2" long. Steeltex D2854 Forstner Bit, 1-5/16" recommended.

NiteLites - Sustainable Outdoor LEDs
Sustainable Cost Effective Maintenance Free

DRAWN BY: NITELITES BASE DESIGN: NITELITES DATE: 3-14-2019

6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

4 // L601 WALL LIGHT
SCALE: NTS

OR APPROVED EQUAL

PRODUCT SPECIFICATION SHEET NITE-063

LED OPTIONS

NITE-429BR3W MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 3 Watts
- Color: Warm White
- Color Temp: 2700°K
- Luminous Flux: 280lm
- Beam Angle: 40°

NITE-429BR5W MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 5 Watts
- Color: Warm White
- Color Temp: 2700°K
- Luminous Flux: 490lm
- Beam Angle: 40°

NITE-429BR7W MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 7 Watts
- Color: Warm White
- Color Temp: 2700°K
- Luminous Flux: 650lm
- Beam Angle: 40°

NITE-5K429BR MR-16

- Long Life - 40,000 Hrs
- Energy Savings - 5 Watts
- Color: Bright White
- Color Temp: 5000°K
- Luminous Flux: 490lm
- Beam Angle: 40°

Colored LED Lamps Available:

- NITE-429BR-A - Amber
- NITE-429BR-B - Blue
- NITE-429BR-R - Red
- NITE-429BR-G - Green

SPECIFICATIONS:

MODEL: NITE-063

MOUNTING: Direct Burial

FINISH: Aged Brass

SOCKET: Bi-pin

ELECTRICAL: 12V

LED: 3W, 5W, or 7W MR-16

GRADE: Commercial

PRODUCT DESCRIPTION / APPLICATIONS:

Direct Burial Well Light is designed primarily for commercial applications. The heavy duty fixture is recessed at grade and will keep debris away from the light source.

NiteLites - Sustainable Outdoor LEDs
Sustainable Cost Effective Maintenance Free

6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

2 // L601 WELL LIGHT
SCALE: NTS

OR APPROVED EQUAL

PRODUCT SPECIFICATION SHEET NITE-SL104

LED OPTIONS

NITE-SL4W E26 Base

- Energy Savings - 4 Watts
- Color: Warm White
- Color Temp: 2700°K

NITE-SL4WAMB E26 Base

- Energy Savings - 4 Watts
- Color: Amber

NITE-SL2WSM E26 Base (Mini 2W Bulb)

- Energy Savings - 2 Watts
- Color: Warm White
- Color Temp: 2700°K
- DIMMABLE

NITE-SL2WSMFR E26 Base (Mini 2W Frosted Bulb)

- Energy Savings - 2 Watts
- Color: Warm White
- Color Temp: 2700°K
- DIMMABLE

NITE-SL6W E26 Base (LOW VOLTAGE ONLY)

- Energy Savings - 6 Watts
- Color: Warm White
- Color Temp: 2700°K
- DIMMABLE

SPECIFICATIONS:

MODEL: NITE-SL104

SOCKET: Medium Base

LENGTH: 104 ft. (4ft. lead/100 ft. lit length)

SOCKET SPACING: 24" in.

WIRE COLOR: Black

ELECTRICAL: 120 V

LED: NITE-4W, NITE-4WAMB, NITE-2WSM, NITE-2WSMFR, NITE-6W (Low Voltage)

GRADE: Commercial

PRODUCT DESCRIPTION / APPLICATIONS:

Commercial-grade patio string lights. PVC encapsulated sockets are resistant to UV lighting. Socket lips designed with a tight, weather-resistant seal around the bulbs.

NiteLites - Sustainable Outdoor LEDs
Sustainable Cost Effective Maintenance Free

6107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510
Fax: (513) 433-0242
www.NITELITES.com

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

5 // L601 STRING LIGHT
SCALE: NTS

OR APPROVED EQUAL



© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

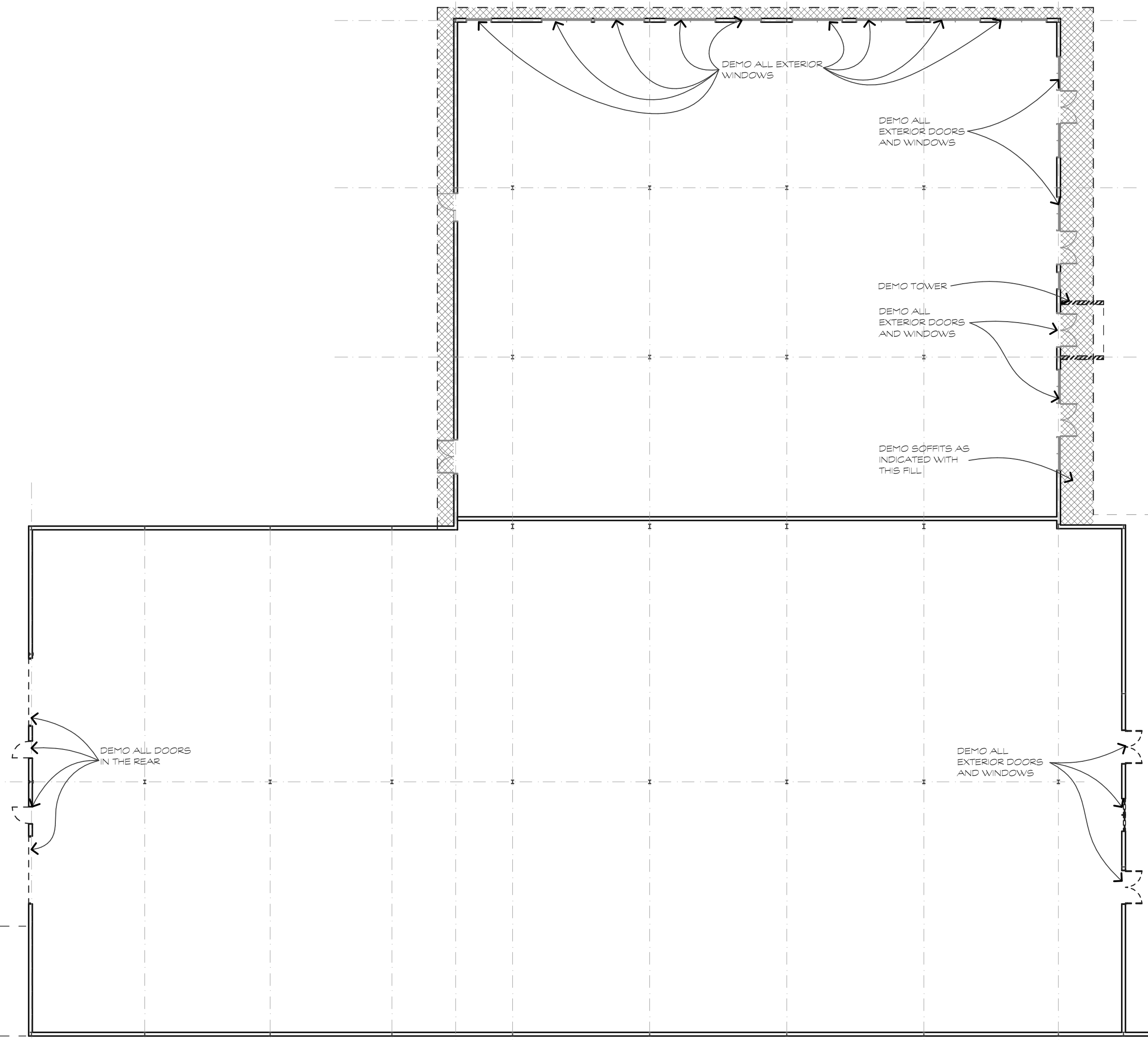
DATE: AUG 25, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

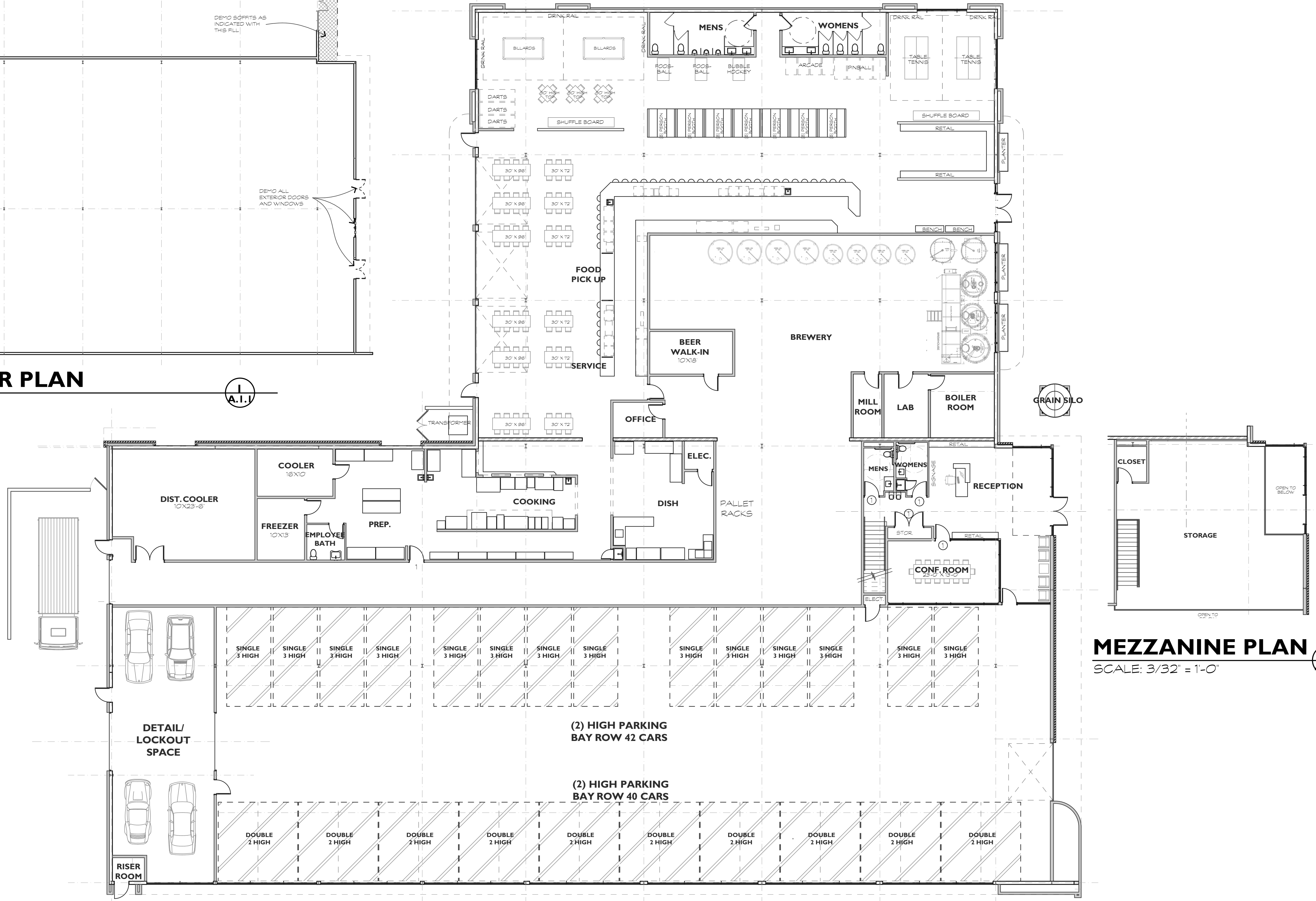
DRAWING NUMBER
L601



DEMO FLOOR PLAN

SCALE: 1/16" = 1'-0"

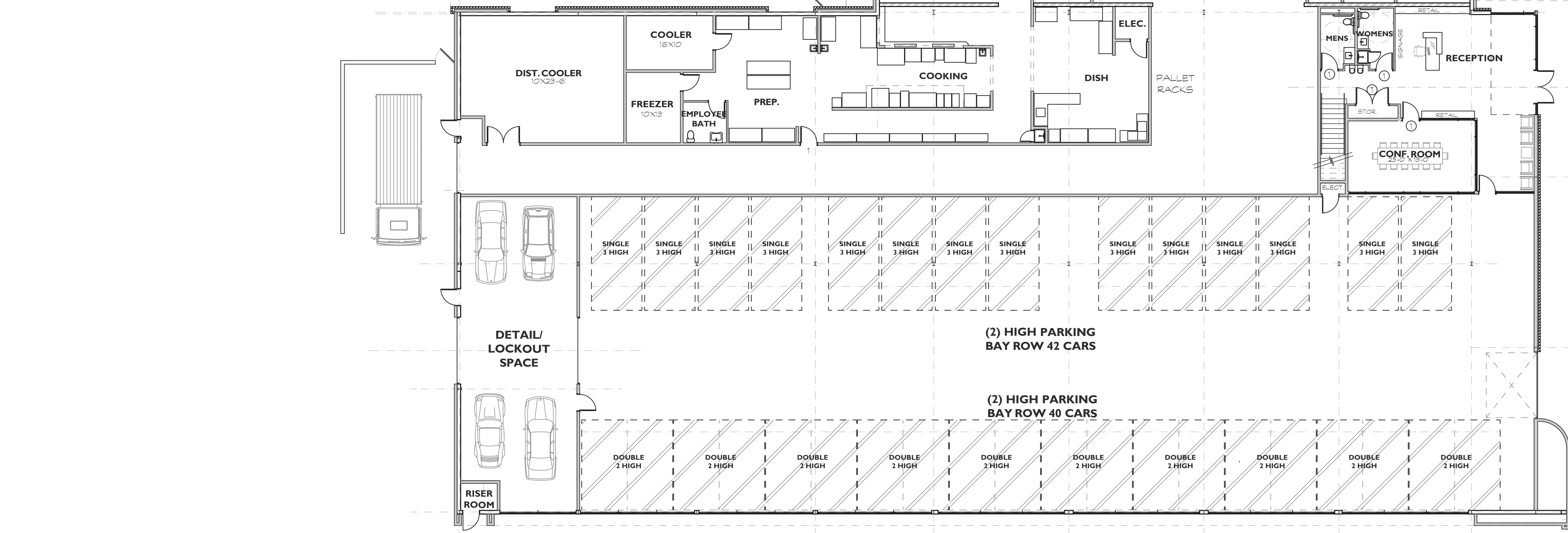
1
A.I.I.



MEZZANINE PLAN

SCALE: 3/32" = 1'-0"

3
A.I.I.



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"

2
A.I.I.

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©

CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

REVISIONS	

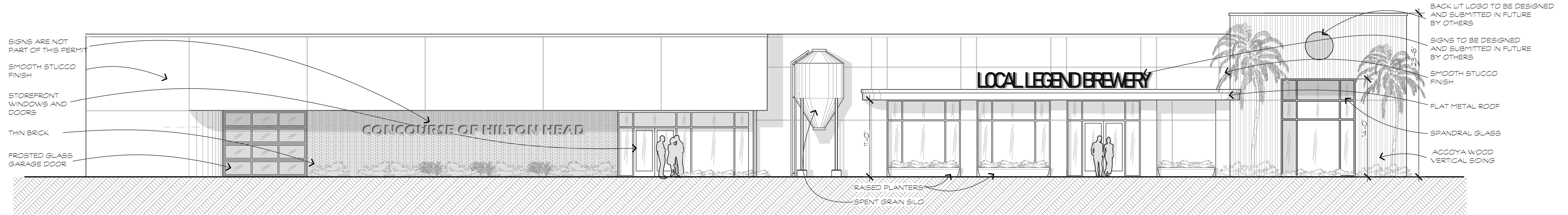
DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
09/12/23
SCALE
JOB NO.
SHEET



EXTERIOR INSPIRATION



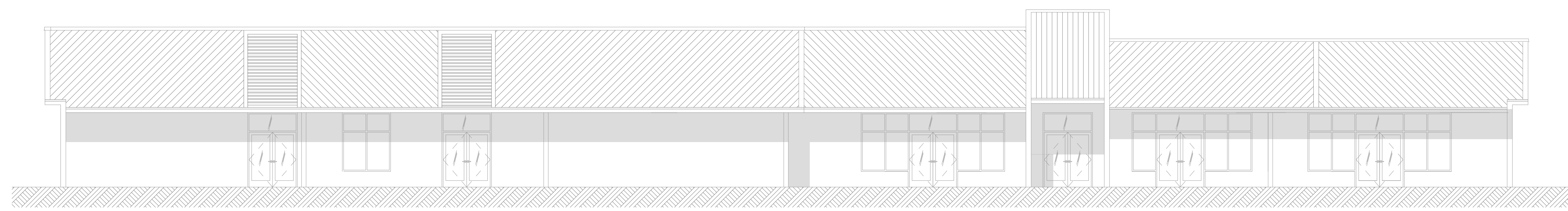
WILLIAM HILTON PARKWAY MASSING MODEL



NEW WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

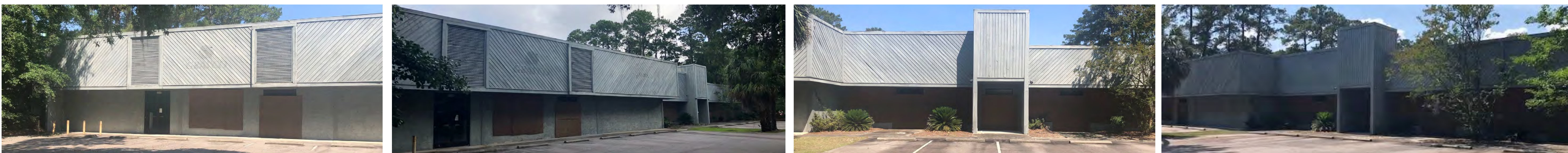
1
A.2.1



EXISTING WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.1



EXISTING PHOTOS

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©

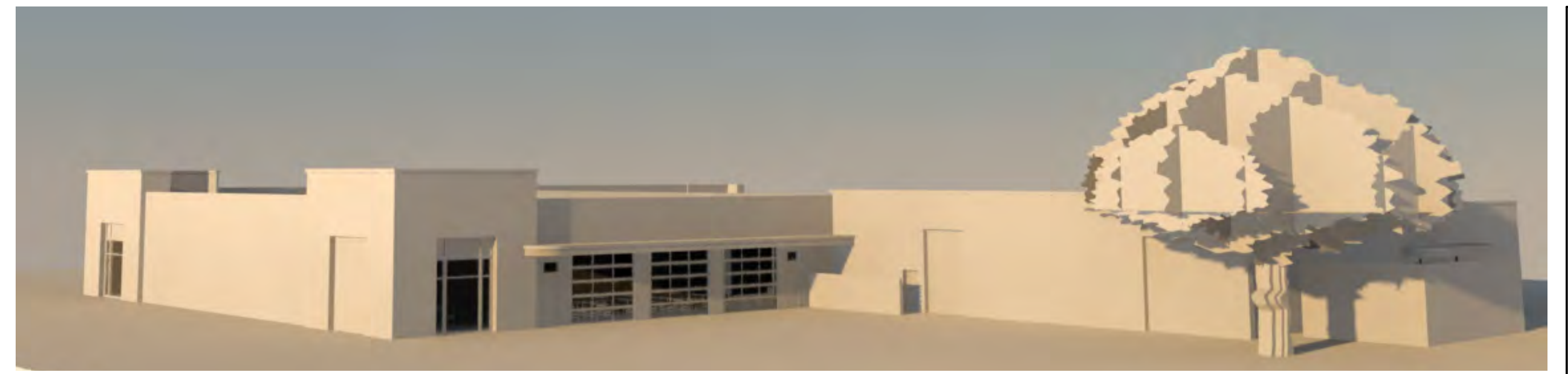
CONCEPTUAL DRB REVIEW
 A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE
 09/12/23
 SCALE
 JOB NO.
 SHEET

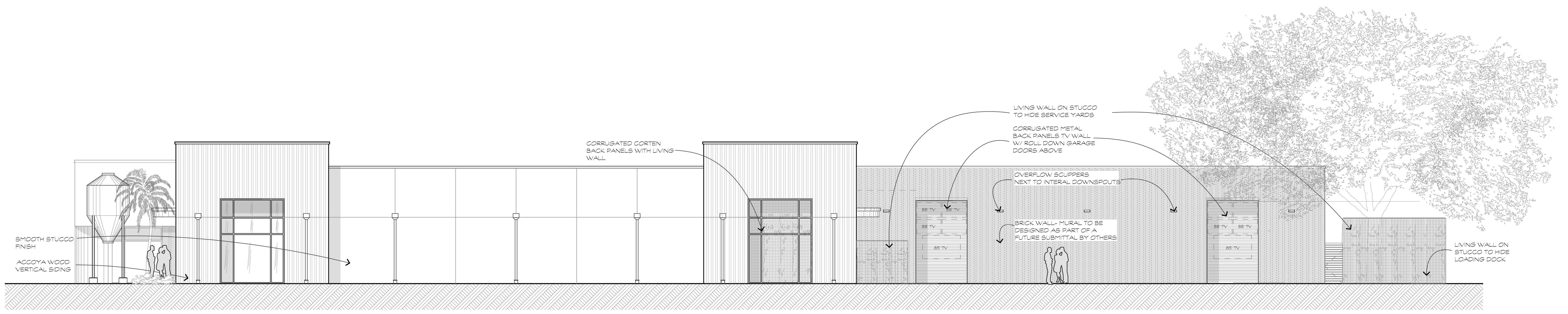


EXISTING PHOTO



RIGHT REAR MASSING MODEL

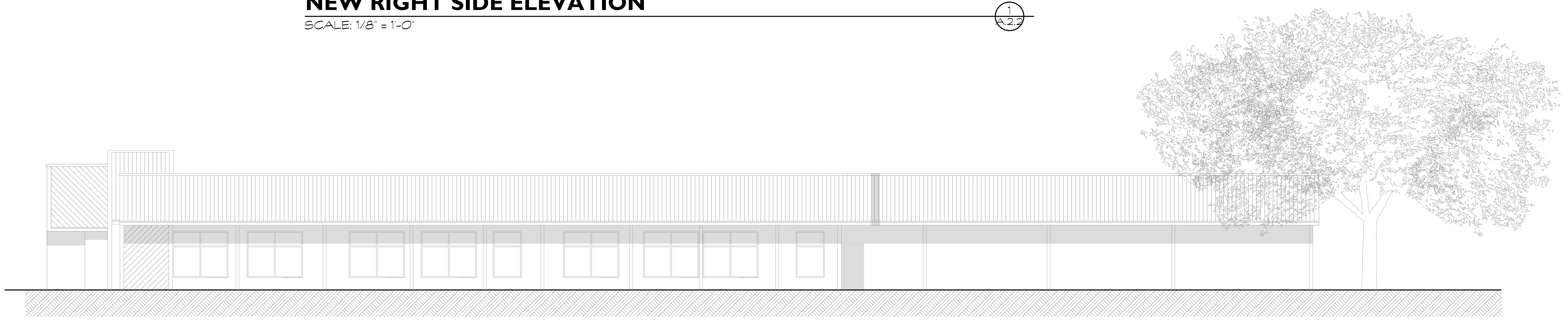
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©



NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.2



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.2

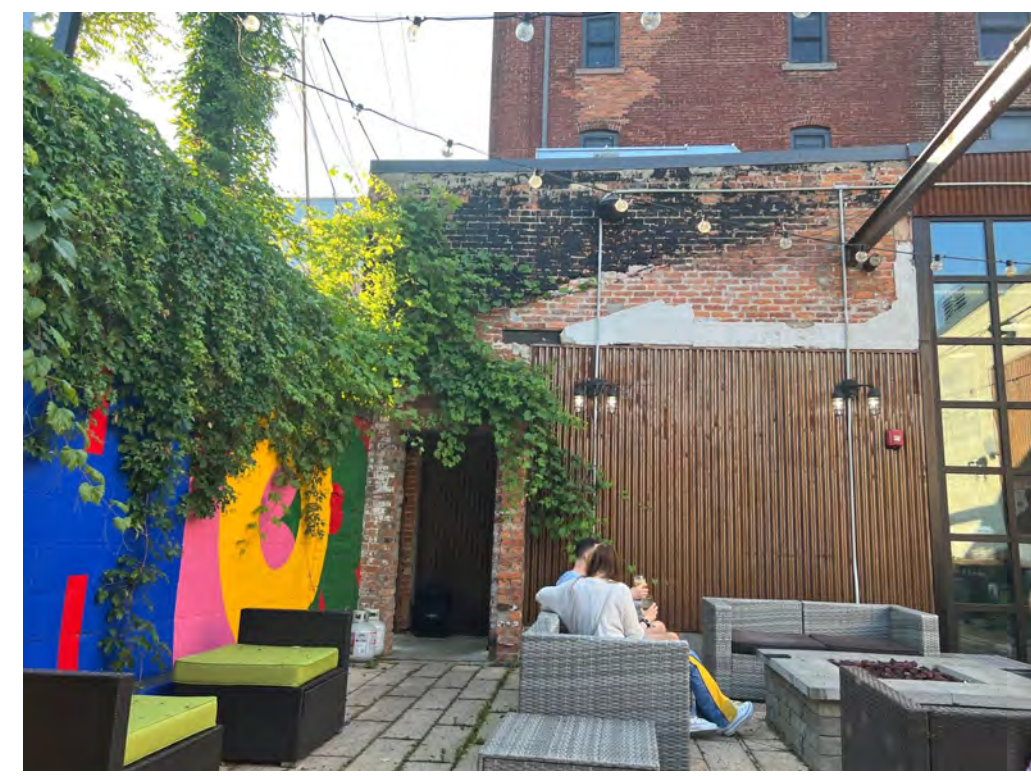
CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE
 09/12/23
 SCALE
 JOB NO.
 SHEET



BEER GARDEN INSPIRATION

DUNNAGAN'S ALLEY MASSING MODEL

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©



EXISTING PHOTO



NEW DUNNAGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING DUNNAGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"

CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS

NO.	DESCRIPTION

DRAWN BY

TP

CHECKED BY

TP

DATE OF ISSUE

09/12/23

SCALE

JOB NO.

SHEET

A.2.3

OF SHEETS



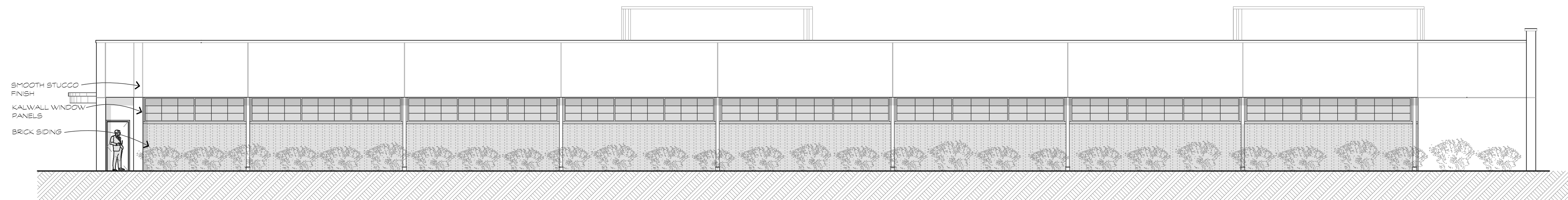
LEFT SIDE MASSING MODEL



INSPIRATIONAL PHOTOS



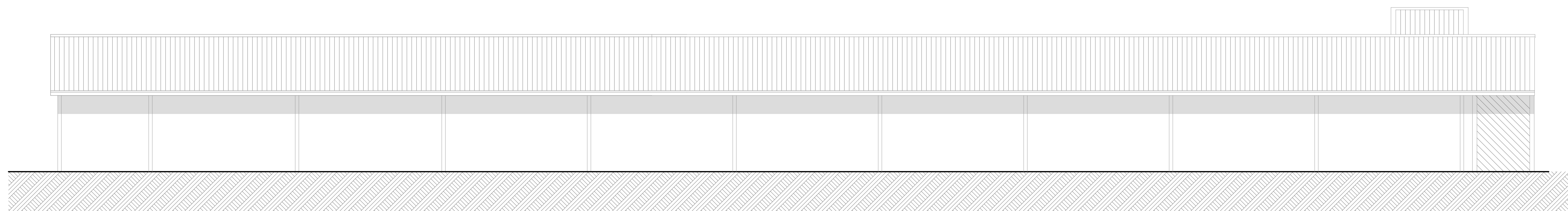
EXISTING PHOTO



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.4



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

2
A.2.4

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©

CONCEPTUAL DRB REVIEW

A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
TP

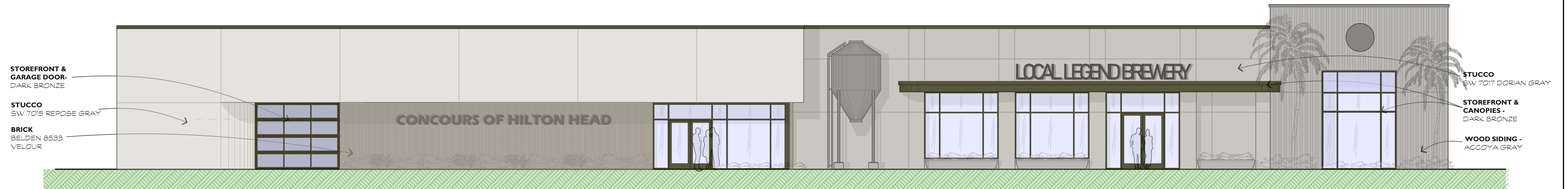
CHECKED BY
TP

DATE OF ISSUE:
09/12/23

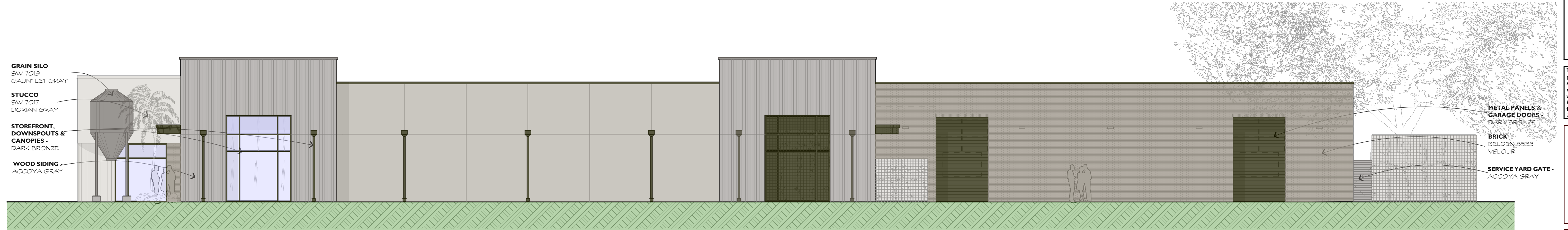
SCALE

JOB NO.

SHEET



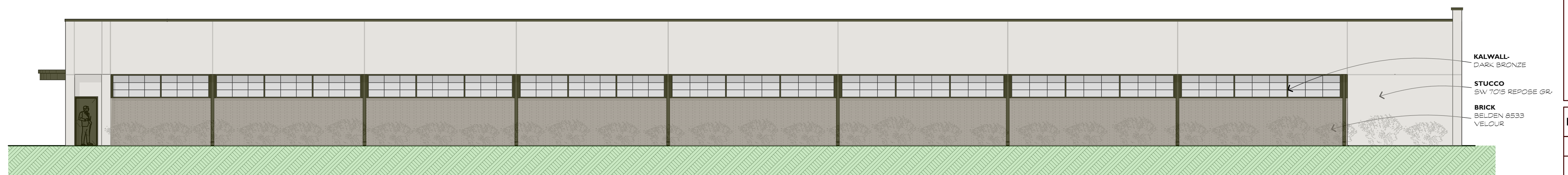
FRONT COLOR ELEVATION



LEFT SIDE COLOR ELEVATION



DUNNAGAN'S ALLEY COLOR ELEVATION



RIGHT SIDE COLOR ELEVATION



BELDEN BRICK - 8533 VELOUR MATERIALS



WALL PANELS AND STOREFRONT - DARK BRONZE



STUCCO COLORS



ACCOYA PREFINISHED GRAY

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©

**A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
 1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.**

REVISIONS	

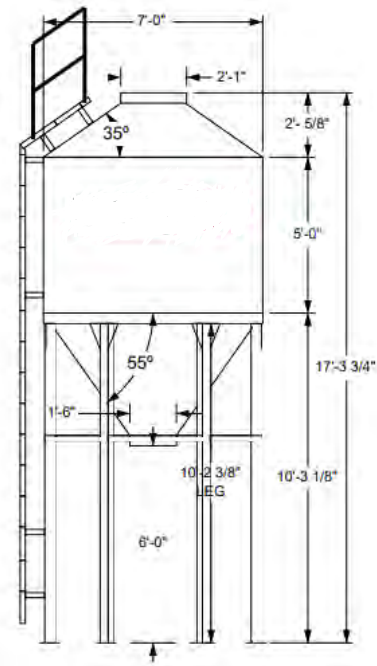
DRAWN BY TP
CHECKED BY TP
DATE OF ISSUE: 09/12/23
SCALE
JOB NO.
SHEET
OF SHEETS

ITEM 1.01 - MERIDIAN SPENT GRAIN SILO MODEL 705-55-35
Quantity: 1

- Total volume of 287 cu. ft.
- Maximum capacity 17,192 lbs. @ 60 lbs./cu. ft.
- Silo weight 2,163 lbs.
- 7' dia. x 5' sidewall, overall height: 17'-3 3/4"
- 6" GNV vent w/bird cage
- 6" Coverplate
- 22" Manhole with triple latch lid
- 50' Extended fall arrest cable safety system
- Industrial paint upgrade
- Industrial ladder and cage
- Industrial handrail package
- Bolt on transition to WAM slidegate
- Qty 4 - 1 1/4" NPT couplings with plugs for electronic max, high, mid, & low-level indicators.
 - Indicators not included
- Meridian Freight included to Hilton Head Island, SC
 - Crane will be required, and cost is customer's responsibility

Option:

- PE Eng. Stamp for structure - \$3,500


SILO AUGER DISCHARGE

- 12"Ø x 11'0" overall length, stainless steel screw feeder
- Rate: 60,000 lbs./hr.
- Drive:
 - Direct drive gear reducer for 98 RPM output.
 - 5 HP TEFC 230-460/3ph/60htz
- Infeed: 12"x12" pneumatic slide gate to close off silo to auger connection.
 - Plumbing of compressed air to be supplied by customer.

ITEM 2.01 - ABM BULK BAG UNLOADER - FORKLIFT
QTY: 4
Material: Malted Barley

Bulk density: ~32 lbs./cu. ft.

Bag specification:

- Bag width - 48.0 inches
- Bag depth - 48.0 inches
- Bag height - 48.0 inches
- Bag weight - 2000.0 pounds
- Loop length - 10.0 inches
- Spout length - 18.0 inches
- Spout diameter - 16.0 inches
- Internal liner - No

BREWERY MODEL BULK BAG UNLOADER PACKAGE
Complete with:

- Bag pickup frame - forklift model
- 3" square tubular frame - powder coated carbon steel construction
 - Powder coat color: WH492
- 24" x 24" surge hopper featuring:
 - 8" Ø inlet, 2" Ø vent connection, 4" Ø TC discharge
 - 4" pneumatic gate - 110V solenoid, 4" TC in/out, 70 PSI compressed air



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1014 William Hilton Parkway

DRB#: DRB-1706-2023

DATE: 9/26/2023

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Excellent idea to use the pathway off of Dunnagans. Would like to see bike racks closer to the sidewalks on the site to not promote bikes in the drive isle.
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Can anything be added to the new left side elevation? For example, more use of the living wall? Or additional garage doors to break up the visual of the left side of the building?
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Every side is an improvement except for the left elevation.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Annapolis 6" diameter bollard cannot be black – Sheet L600. Recommend bronze.
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only question is in relation to the two landscaping islands on the 278 side of the property. There appears

architectural complement that visually mitigates between parking lots and building(s)				to be a gap in the buffer plantings. Can this gap be closed? Sheet L500
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Black features are not permitted (proposed bollard detail).
3. Recommendations: a. Bringing bike racks closer to new pathway connection. b. Left façade of building could use more detail (repetitive in nature of design).
4. Color board required for final review/approval.