



Town of Hilton Head Island
Design Review Board Meeting
Tuesday October 10, 2023 – 2:30 P.M.
AGENDA

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

1. Call to Order

2. FOIA Compliance – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

4. Approval of Agenda

5. Approval of Minutes

- a. September 26, 2023
- b. October 4, 2023

6. Appearance by Citizens

Citizens may submit written comments via the [Town's Open Town Hall Portal](#). The portal will close at 4:30 p.m., the day before the meeting. Comments submitted through the portal will be provided to the Design Review Board and made part of the official record.

7. Unfinished Business

- a. **Final Review – DRB-001706-2023 – 1014 WHP – Serg Brewery and Car Storage**
- b. **Alteration/Addition – DRB-001593-2023 – 10 Executive Park – Aura Hotel**

8. New Business

- a. **Alteration/Addition – DRB-001828-2023 – 430 William Hilton Parkway – Home Sense**

9. Board Business

10. Staff Report

- a. Minor Corridor Report

11. Adjournment

Please note that a quorum of the Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board Meeting
September 26, 2023, at 1:30 p.m.
MEETING MINUTES

Present from the Board: Cathy Foss, Chair; Judd Carstens, Vice-Chair; Annette Lippert; Tom Parker; Ryan Bassett

Absent from the Board: John Moleski, Todd Theodore

Present from Town Staff: Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Karla Vincent, *Project Manager*; Karen Knox, *Board Secretary*

1. Call to Order

Chair Foss called the meeting to order at 1:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As Noted Above.

4. Approval of Agenda

Chair Foss asked if staff had any changes to the Agenda. Ms. Cook replied yes, that DRB-001743 Town Wide Fence Standard has been removed from the Agenda. Ms. Cook also requested that we switch the order and have DRB-001742-2023 – Hilton Head High School Athletics Phase 2 go before DRB-001706-2023 – 1014 WHP Serg Brewery and Car Storage. Chair Foss asked for a Motion to approve the Amended Agenda. Mr. Parker moved to approve. Mr. Bassett seconded. By a show of hands, the Motion passed with a vote of 5-0.

5. Approval of Minutes

a) Regular Meeting of September 12, 2023

Chair Foss asked for a Motion to approve the Minutes of September 12, 2023. Mr. Carstens moved to approve. Mr. Parker seconded. By a show of hands, the Minutes of September 12, 2023 were unanimously approved with a vote of 5-0.

6. Appearance by Citizens

No citizens spoke and one comment was received to the Town's Open Town Hall Portal, a copy of which was given to the Board and will be made part of the official record.

7. Unfinished Business

None

8. New Business

a. Conceptual Review – DRB-001729-2023 – Dune House Lane Redevelopment

Ms. Cook provided staff's presentation as included in the packet and advised that staff had the following comments: is there any proposed changed lighting from the existing condition, can the Applicant provide a color and material board for final submittal and there is one live oak that is behind the retaining wall close to the beach access that is a little too snug and should be placed somewhere else. Staff recommends approval with conditions for this Conceptual.

Following the staff presentation, the Applicant provided an additional presentation and answered questions from the Board.

After discussion, Ms. Lippert moved to approve with the following conditions: 1) staff comments 2) adding bollards at the bike rack area to zone it off the street, 3) adding install sizes on the evergreen shrubs, 4) keeping a progression of palms by the live oak, 5) including the Greenwood Development Approval at Final, 6) providing the bike rack spec at Final, 7) showing details for the retaining wall and including materials with the understanding of the 6 foot buffer will addressed at DPR. Mr. Basset seconded. By a show of hands, the Motion was approved with a vote of 5-0.

b. Conceptual Review – DRB-001742-2023 – Hilton Head High School Athletics Phase 2.

Ms. Cook provided staff's presentation as included in the packet and advised staff is recommending approval. Staff had the following comment regarding the existing brick on the existing building having a slightly different hue to the proposed materials.

Following the staff presentation, the Applicant provided an additional presentation and answered questions from the Board.

After discussion, Vice-Chair Carstens moved the approve with the following conditions: 1) including staff comments, 2) ensure connection to student parking with increased street scape in front of the existing field house building, 3) the relocation of bike racks to that same area, 4) ensuring that we have

evergreen foundation coverage with shrubs, 4) screening around the mechanical equipment on the roofs. Ms. Lippert seconded. By a show of hands, the Motion was approved with a vote of 5-0.

c. Conceptual Review – DRB-001706-2023 – 1014 WHP Serg Brewery and Car Storage

Due to a lack of a quorum, this item will be reviewed at a Special Design Review Board Meeting on October 4, 2023 @ 3:30 p.m.

9. Board Business

None

10. Staff Report

a) Minor Corridor Report

Alexis Cook provided the Minor Corridor Report to the Board.

11. Adjournment

The meeting adjourned at 2:44 p.m.

Submitted By: _____

**Karen Knox
Board Secretary**

Date:



Town of Hilton Head Island
Design Review Board Special Meeting
October 4, 2023, at 3:30 p.m.
MEETING MINUTES

Present from the Board: Cathy Foss, Chair; Annette Lippert; Ryan Bassett; John Moleski; Todd Theodore

Absent from the Board: Judd Carstens; Tom Parker

Present from Town Staff: Brian Eber, *Development Services Manager*; Alexis Cook, *Principal Planner*; Michael Connolly, *Senior Planner, Project Manager*

1. Call to Order

Chair Foss called the meeting to order at 3:30 p.m.

2. FOIA Compliance

Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

3. Roll Call

As Noted Above.

4. Approval of Agenda

Chair Foss asked if staff had any changes to the Agenda. Ms. Cook replied no. Chair Foss asked for a Motion to approve the Agenda. Ms. Lippert moved to approve. Mr. Moleski seconded. By a show of hands, the Motion passed with a vote of 5-0.

5. Appearance by Citizens

Public comments concerning agenda items were to be submitted electronically via the Open Town Hall HHI portal. No comments were received on the Open Town Hall Portal.

6. Unfinished Business

None

7. New Business

- a. **Conceptual Review – DRB-001706-2023 – 1014 WHP Serg Brewery and Car Storage**

Ms. Cook provided staff's presentation as included in the packet and advised that staff recommends approval with the following conditions. The conditions were to have the applicant consider adjusting the locations of the bike racks on the plan, to consider updating the planting/screening in the front of the property, to confirm that finishes on proposed bollards were a different finish than black and that the left elevation of the building be revisited for a break up in the façade design. The applicant then provided an additional presentation. The Board asked several questions of the Applicant, a majority of the questions were centered around lighting, pedestrian flow on the site, the beer garden area, the silo maintenance requirements, signage on the site and the overall landscaping plan.

After discussion, Chair Foss asked for a Motion. Ms. Lippert moved to approve with the following conditions: to indicate on the plan where the monument signage will be, to add details for the service yard, to add wheel stops to the US-278 side of the plan, to ensure the bike rack and bollard details are in a bronze finish, to update the landscaping plan and to coordinate with the Town on possible plantings on Dunnagans alley, to correct the left and right detail labels on the elevation sheet, to add beer garden details and to add wall sections where appropriate. Mr. Theodore seconded. The Motion passed with a vote of 5-0.

8. Board Business

None

9. Staff Report

None

10. Adjournment

The meeting adjourned at 4:07 p.m.

Submitted By: _____

**Karen Knox
Board Secretary**

Date:



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: PDG Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
 Project Name: Concours of HHI / Local Legend Brewery Project Address: 1014 William Hilton Parkway
 Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 0 0 2 5 3 0 0 0 0
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



10.05.23

SIGNATURE

DATE

October 5, 2023

Town of Hilton Head Island Design Review Board
One Town Center Court
Hilton Head Island, SC 29928

Response from comments from Conceptual Review for the New Serg Brewery/Car Storage at 1014 William Hilton Parkway

1. Correct the left and right color visual titles on the plan. ***We have corrected the left and right color visual titles on the color elevations.***
2. Add wall sections where appropriate to show dimension and scale. ***We have added wall sections to the final DRB set. See sheets A.3.1 and A.3.2.***

Thank you for your time and consideration of this project.



Timothy C Probst, AIA

MultipliCITY

landscapeforms®

Material / Colors

Powdercoated Metal (Gloss)*



Black

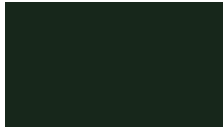
Blue Bell

Buttercup

Cranberry

Flambé Orange

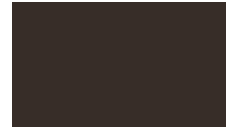
Grass



Ivy



Ocean



Stormcloud



White

Powdercoated Metal (Metallic)*



Bronze

Silver

Steel

Stone

Titanium

Mercury

Designer Palette Architectural Series (Low Sheen)*



Blue Ash

Dusk

Nutmeg

Obsidian

Onyx

Matte Black

Polyethylene*



Black

MultipliCITY

landscapeforms®

Material / Colors

Woodgrains (Exterior, No Finish)*



Domestically Sourced Thermally Modified Ash



Ipe (P)



Jarrah (P)

Aluminum



Aluminum

Powdercoated Metal

Powdercoated Metal Pangard II® Polyester Powdercoat is a hard, yet flexible, finish that resists rusting, chipping, peeling and fading. In addition to colors shown, a wide selection of optional and custom colors may be specified for an upcharge.

* All colors and patterns shown are approximate and may vary from sample and final.

Polyethylene

Polyethylene Rotationally-molded polyethylene is produced by tumbling polyethylene powder in a mold under heat. The material provides strong structure with integral color that stands up to heavy use and is easily cleaned. Aggregate colors are subject to an upcharge.

* All colors and patterns shown are approximate and may vary from sample and final.

Woodgrains (Exterior, No Finish)

Exterior woods weather to a warm, pewter gray; no finish is applied so no maintenance is required. Available in Ipe, Jarrah, and Domestically Sourced Thermally Modified Ash (DSTMA); and if applicable, Redwood, Teak, or Alaskan Yellow Cedar. Pricing for standard woods and options varies. (P) = Premium Woods

* All colors and woodgrains shown are approximate and may vary

Visit landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level. ©2020 Landscape Forms, Inc. Printed in U.S.A.

landscapeforms.com | specify@landscapeforms.com



Conceptual DRB Comments Addressed

DRB – 001706-2023

1014 Wm. Hilton Parkway, Hilton Head Island, SC 29928

Below is a summary of the comments addressed from Conceptual DRB review of DRB-001706-2023 -- 1014 WHP Serg Brewery and Car Storage on Wednesday, October 4th.

- L50 – No change
- L100 – Sign locations called out
 - Add wheelstops at front parking
 - Dumpster Enclosure callout and detail reference
 - Utility Enclosure callout and detail reference
- L101 – Beer garden programming
- L400 – EV space location update
 - Sign lights updated to new sign location
- L401 – EV space location updated and call out added
- L 500 – Reduce height of palmettos along Dunnagan's Alley and within powerline easement
 - Add palmettos to western building frontage (GW Boutique side)
- L 501 – Additional palmettos added to plant schedule
- L600 – Paint color for railing detail (1/L600) added – Gauntlet Gray (SW 7019)
 - Paint color for bike rack detail (3/L600) updated – Onyx
 - Paint color for bollard detail (4/L600) updated – Onyx
- L601 – Paint color for bollard light detail (1/L601) updated – Onyx
 - Paint color for path light detail (3/L601) updated – Onyx
- L602 – Sheet added for Dumpster Enclosure detail (1/L602)
- L603 – Sheet added for Utility Enclosure detail (1/L603)

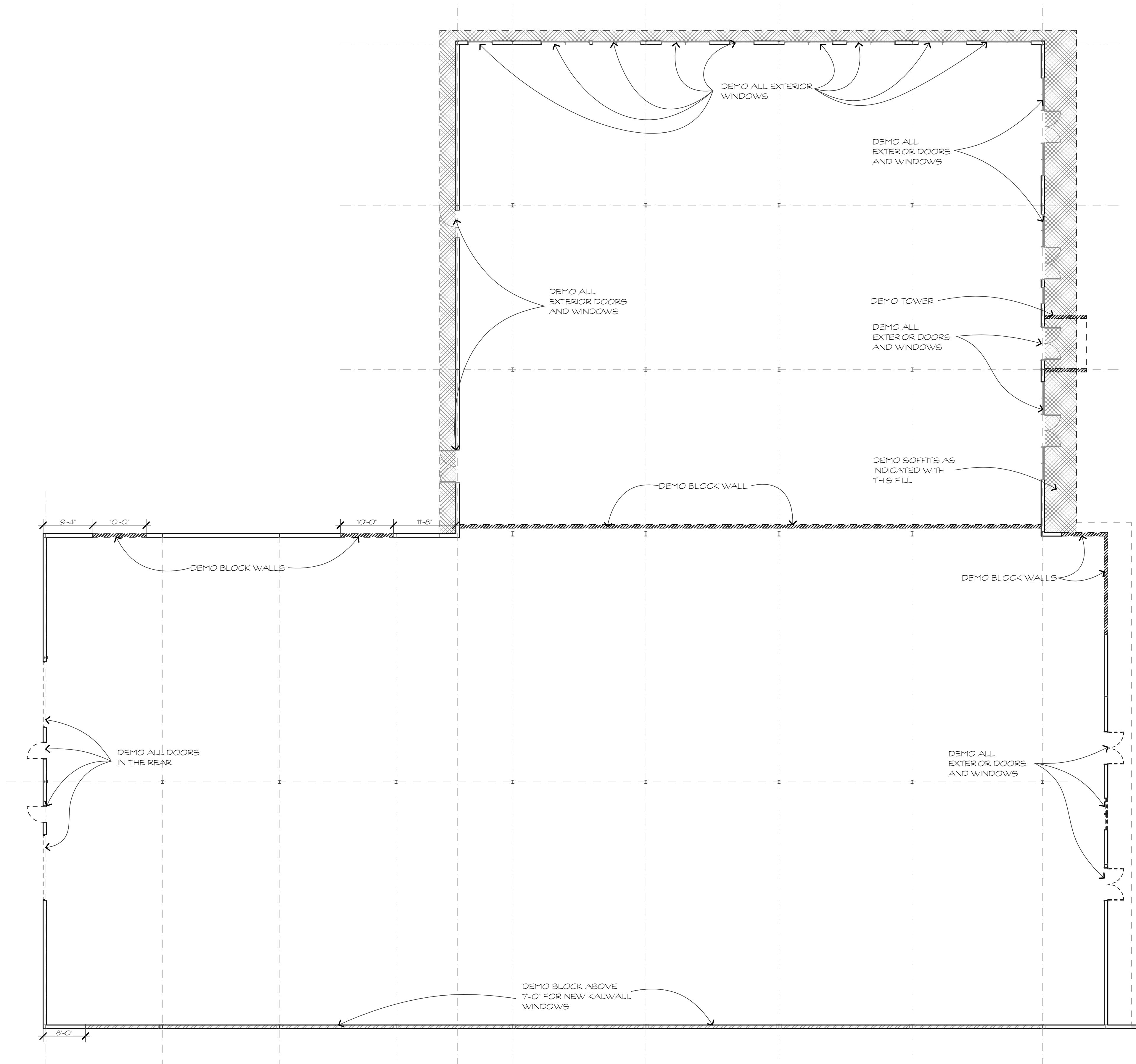
The color sheet from LandscapeForms for the various site furnishings is attached. Onyx has been selected as a color close to the desired dark bronze.

Thank you,
Judd Carstens, RLA

A handwritten signature in black ink, appearing to read "Judd", is positioned below the typed name.

Attachment – color sheet

23 Promenade St. Ste 201
Bluffton, SC 29910
Tel: 843.757.7411



DEMO FLOOR PLAN

SCALE: 3/32" = 1'-0"

1
A.1.0

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY: TP
 CHECKED BY: TP
 DATE OF ISSUE: 10/05/23
 SCALE:
 JOB NO.:

SHEET
A.1.0
 OF SHEETS

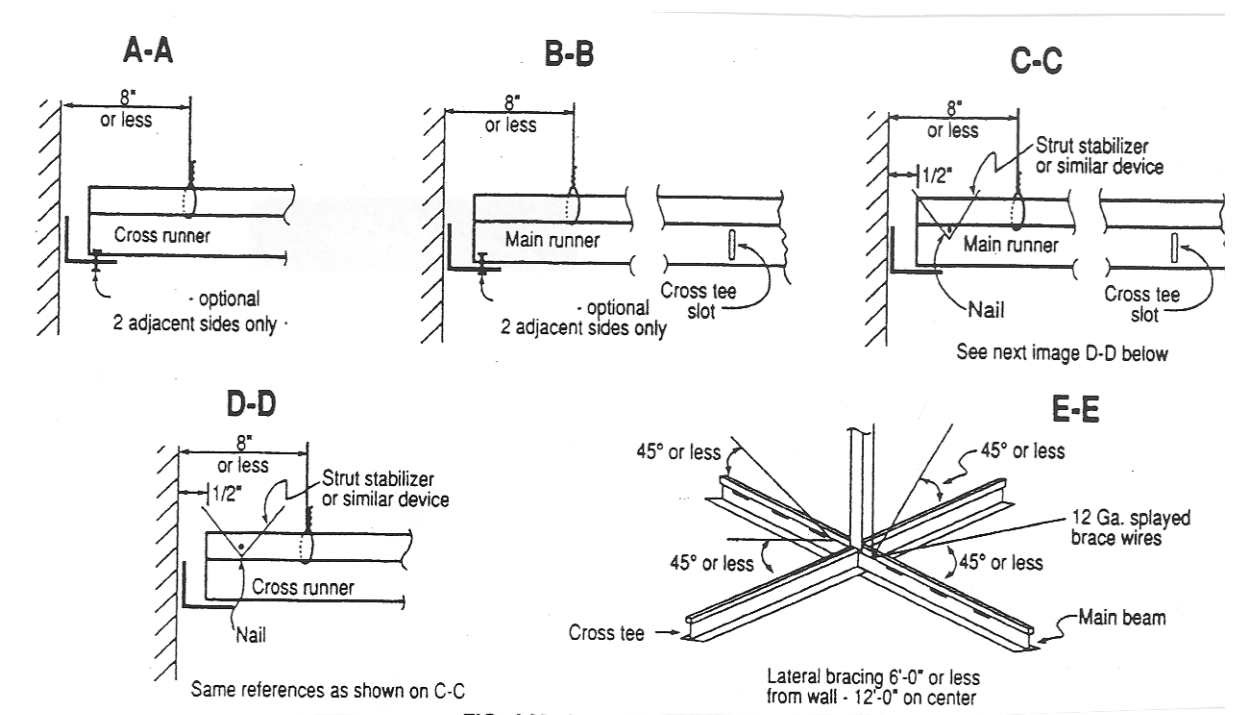
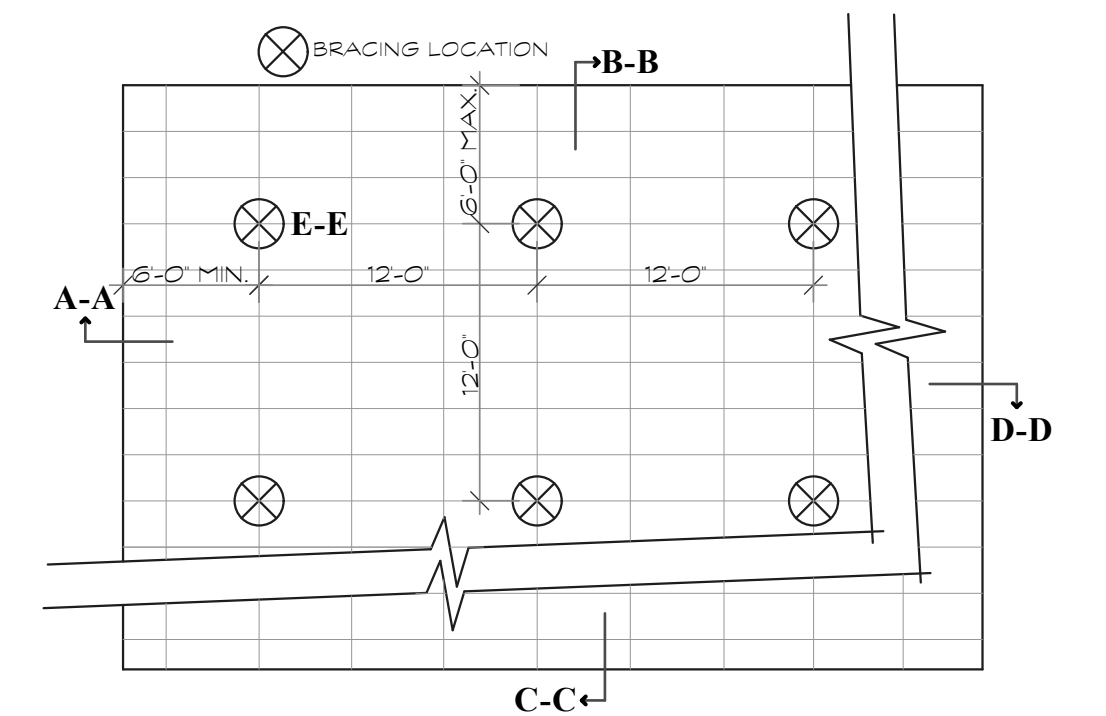
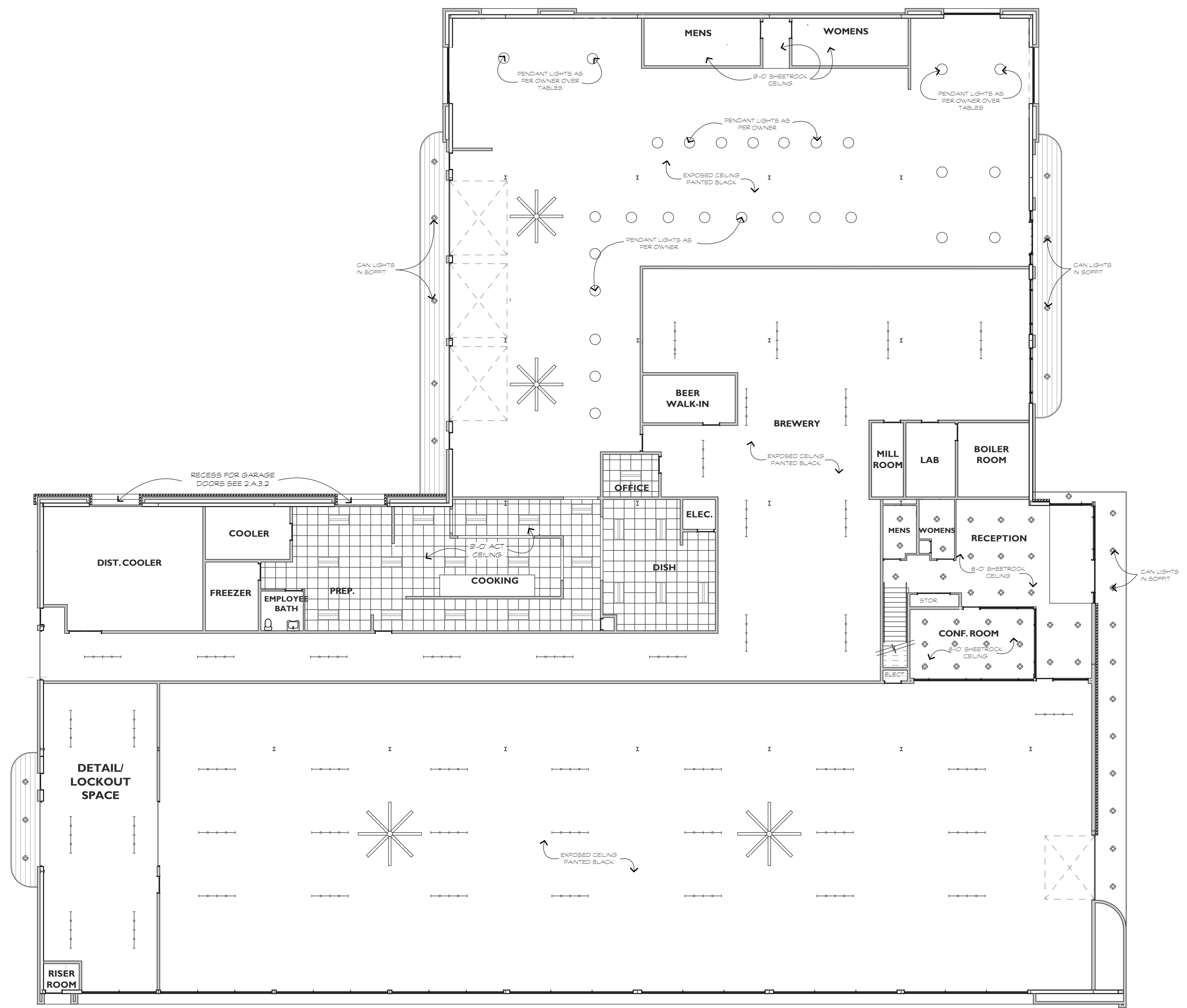
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of building without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET
 A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 10/05/23
 SCALE
 JOB NO.
 SHEET

A.1.2
 OF SHEETS



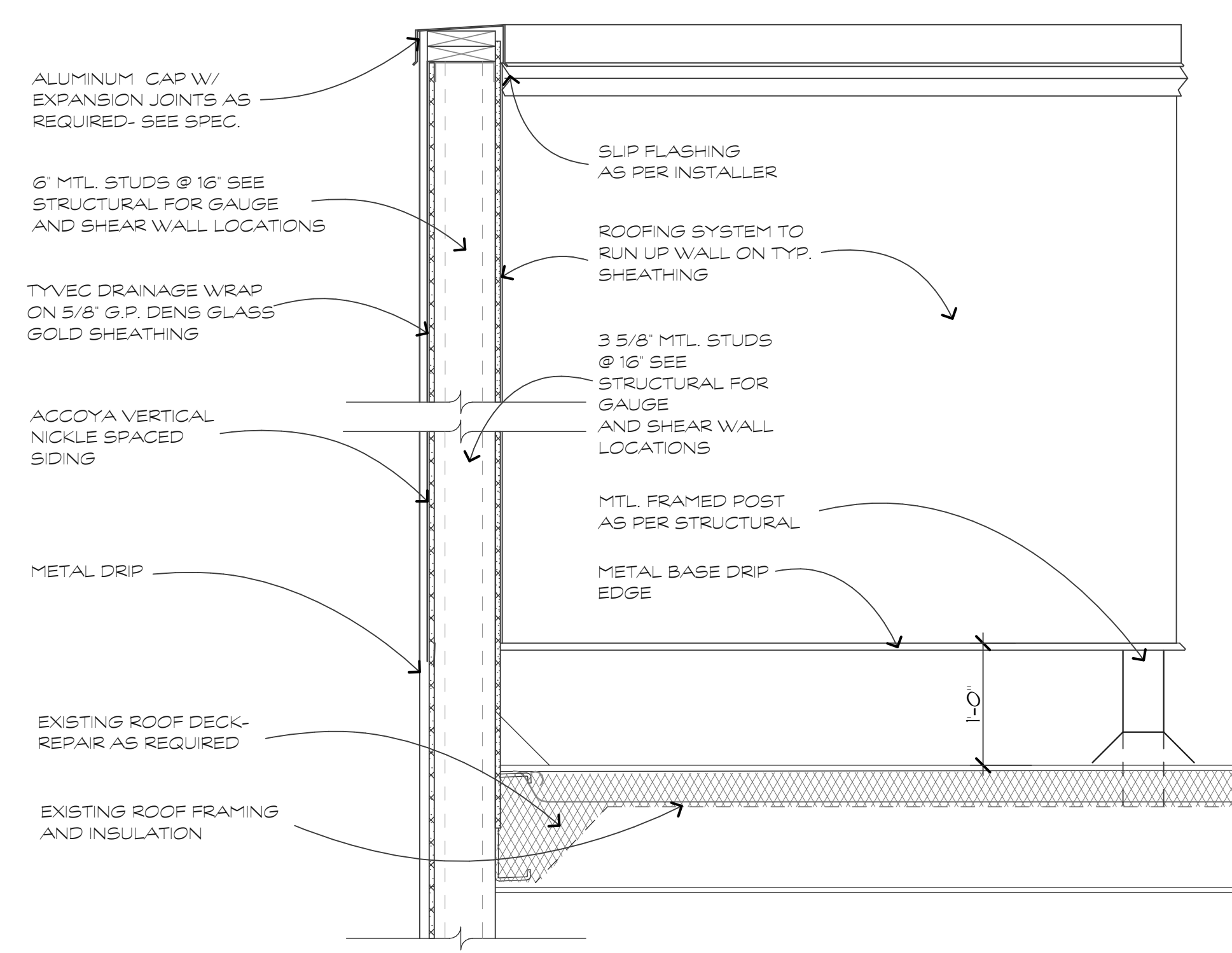
SEISMIC REST DETAIL
 SCALE: N.T.S.

2
 A.1.2

REFLECTED CEILING PLAN
 SCALE: 3/32" = 1'-0"

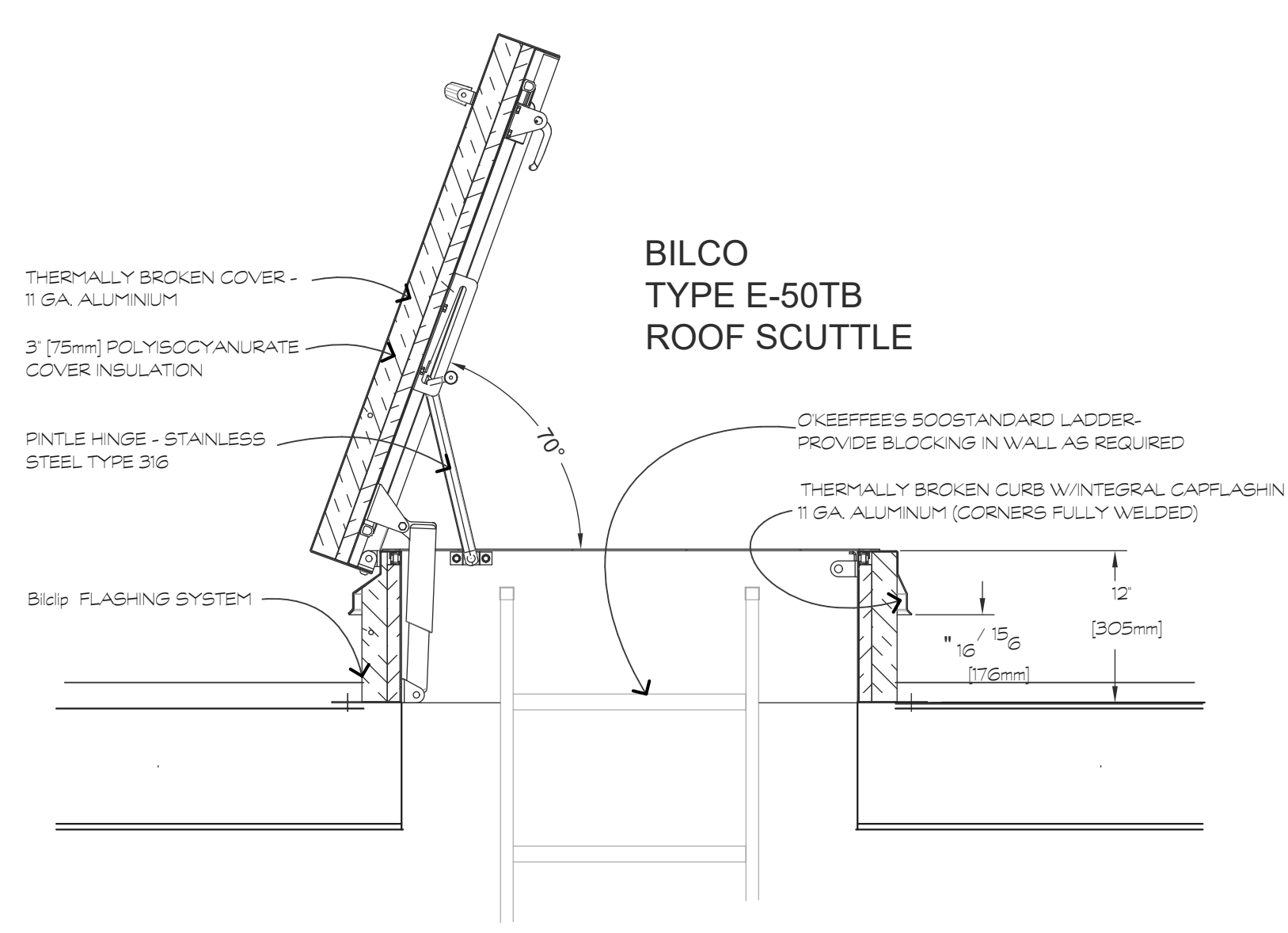
1
 A.1.2

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)



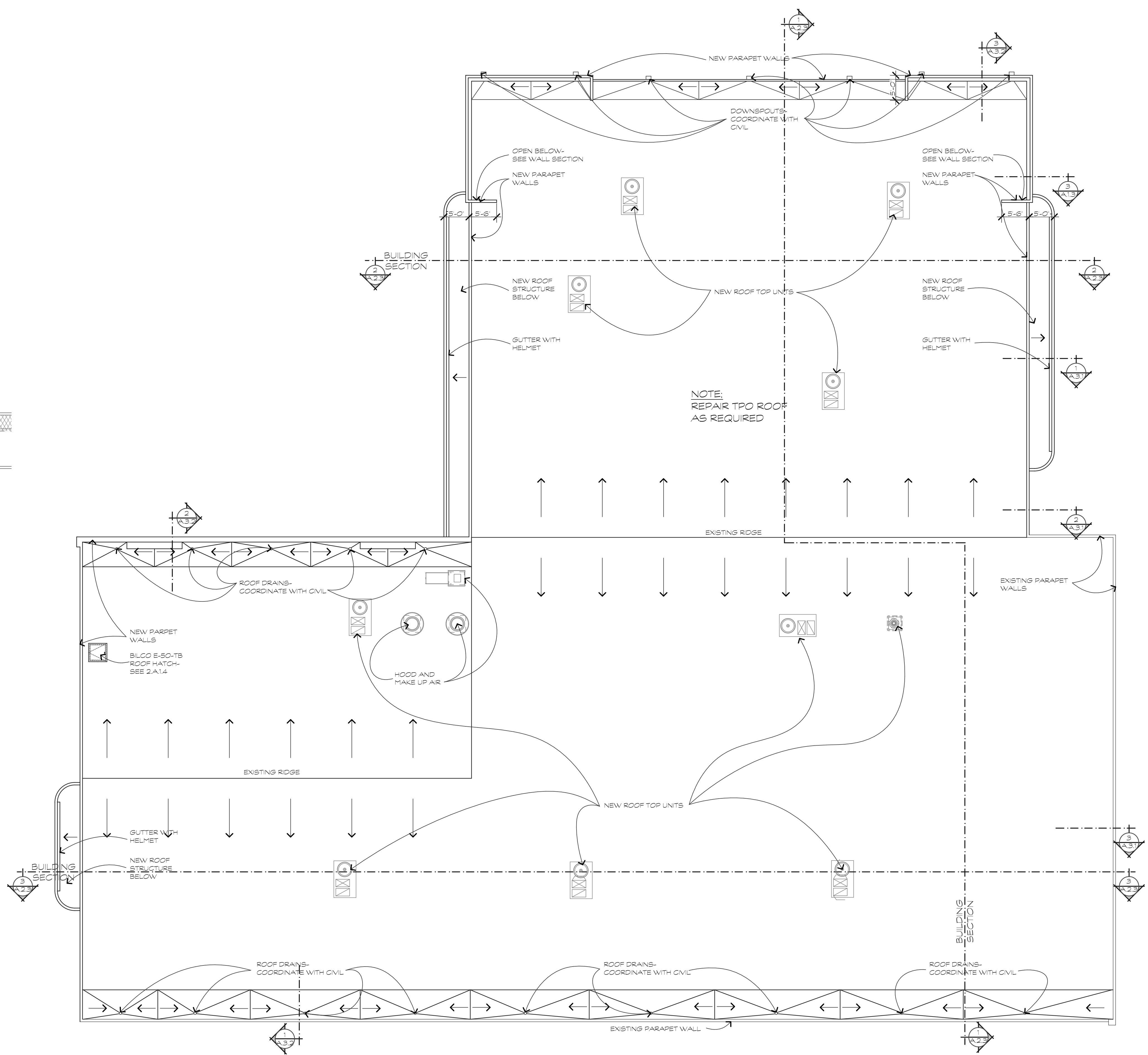
PARAPET WALL DETAIL
 SCALE: 1" = 1'-0"

3 A.I.3



ROOF PLAN
 SCALE: 1" = 1'-0"

2 A.I.3



ROOF PLAN
 SCALE: 3/32" = 1'-0"

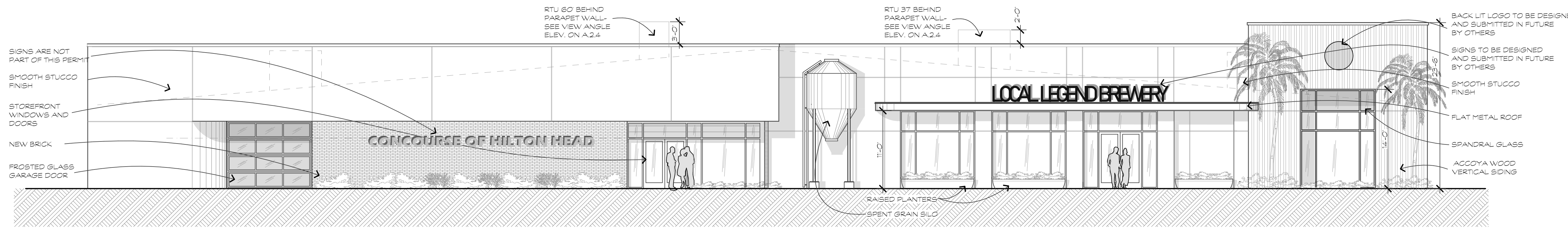
1 A.I.3

FINAL DRB SET
 A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY: TP
 CHECKED BY: TP
 DATE OF ISSUE: 10/05/23
 SCALE:
 JOB NO.:

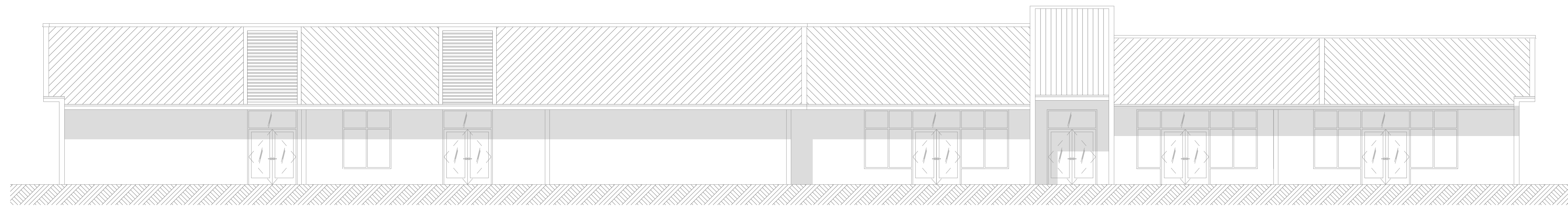
SHEET
A.1.3
 OF SHEETS



NEW WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

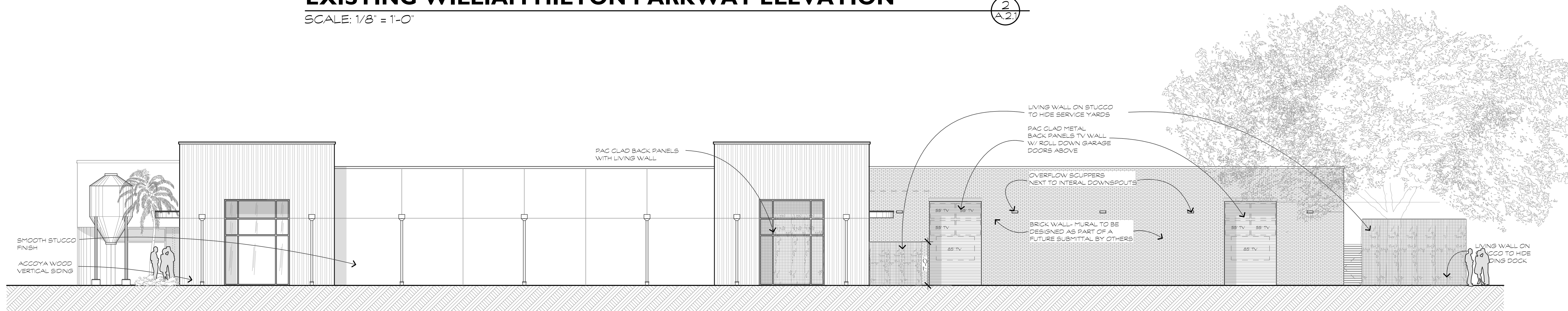
1
A.2.1



EXISTING WILLIAM HILTON PARKWAY ELEVATION

SCALE: 1/8" = 1'-0"

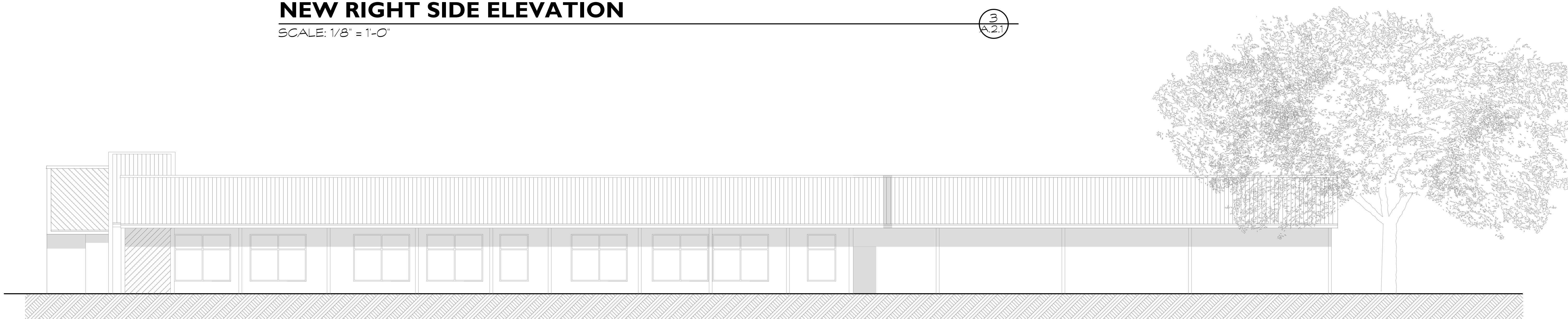
2
A.2.1



NEW RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

3
A.2.1



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

4
A.2.1

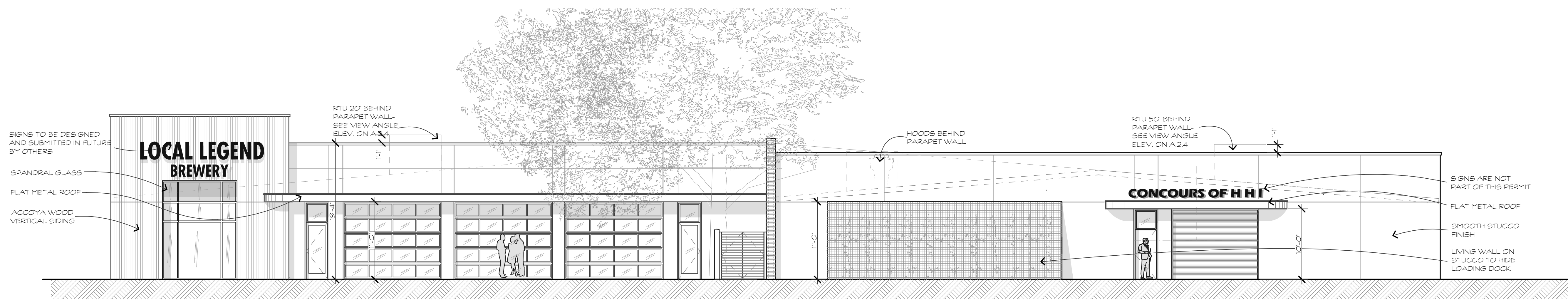
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of building without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET

A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

REVISIONS	

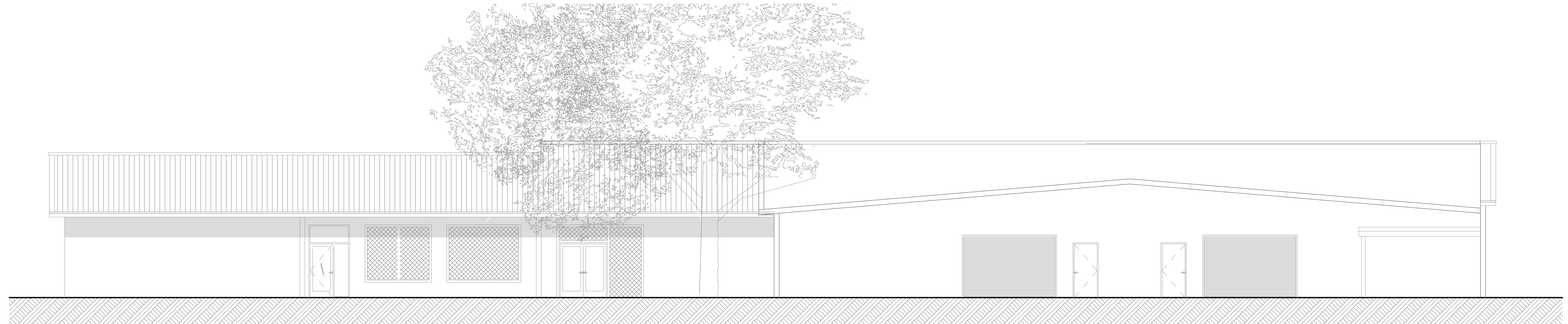
DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
10/05/23
SCALE
JOB NO.
SHEET



NEW DUNNIGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"

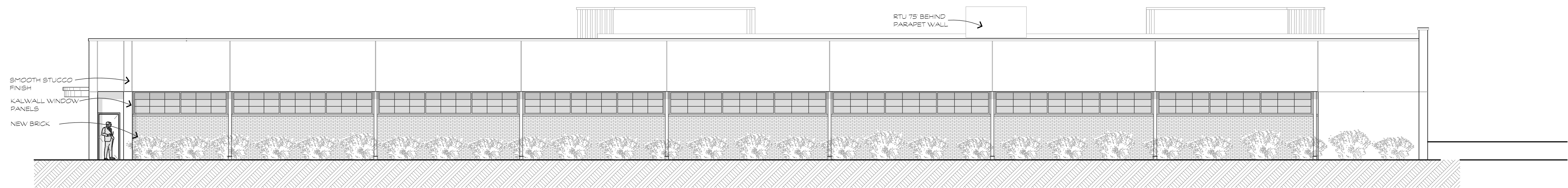
1
A.2.2



EXISTING DUNNIGAN'S ALLEY ELEVATION

SCALE: 1/8" = 1'-0"

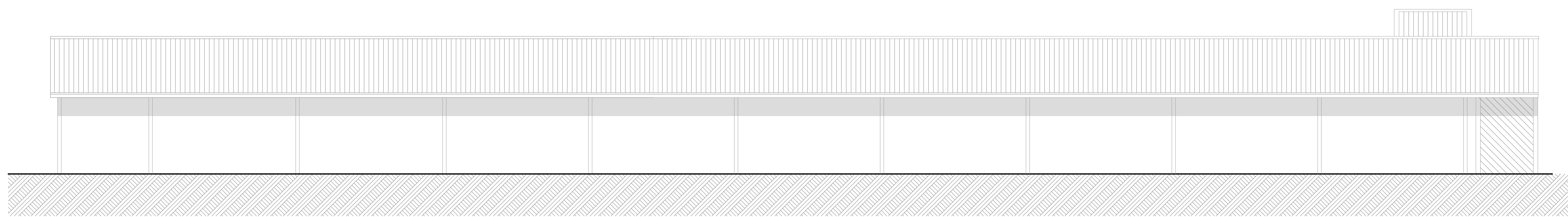
2
A.2.2



NEW LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

1
A.2.2



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

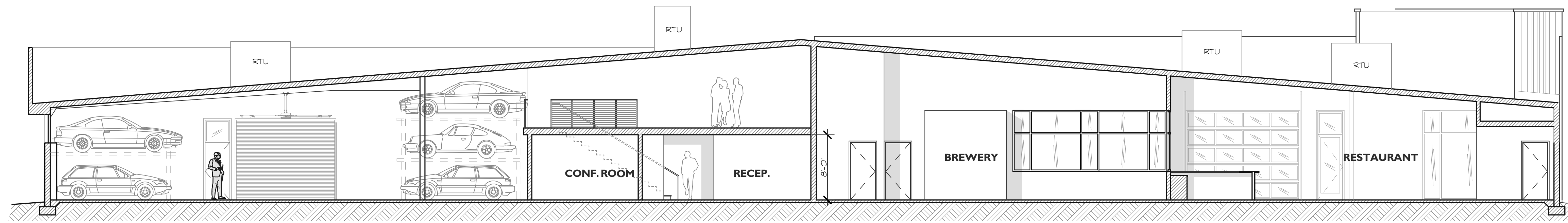
2
A.2.2

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET
A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

REVISIONS	

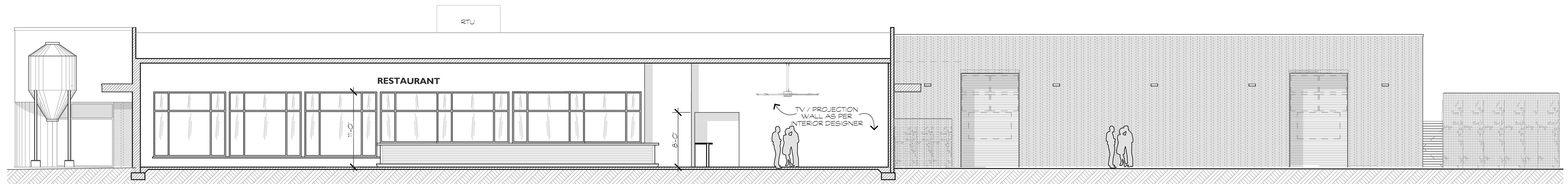
DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
10/05/23
SCALE
JOB NO.
SHEET



BUILDING SECTION

SCALE: 1/8" = 1'-0"

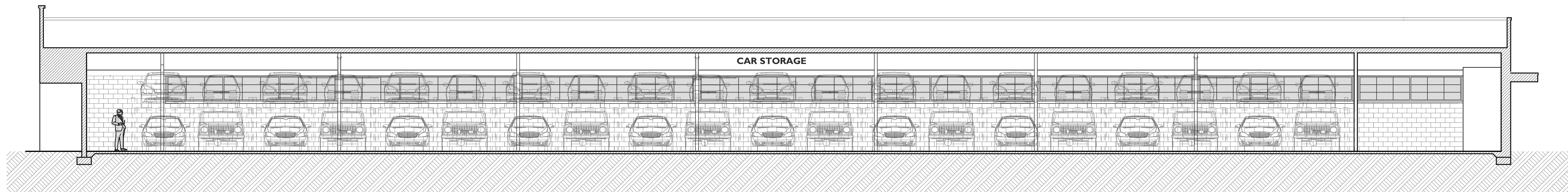
1
A.2.3



BUILDING SECTION

SCALE: 1/8" = 1'-0"

2
A.2.3



BUILDING SECTION

SCALE: 1/8" = 1'-0"

3
A.2.3

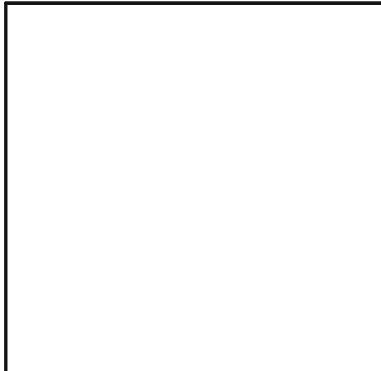
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 10/05/23
 SCALE
 JOB NO.
 SHEET

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)



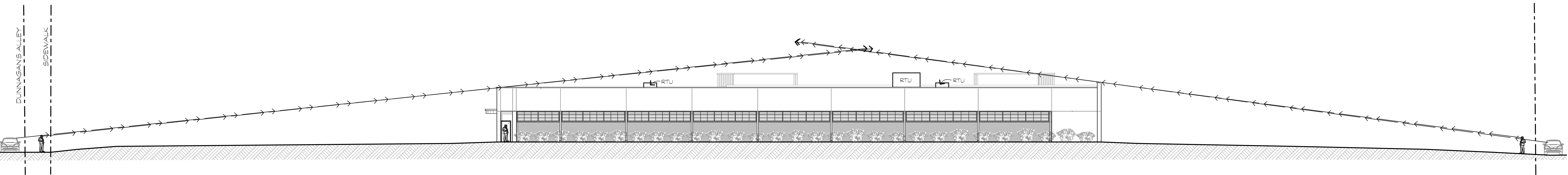
FINAL DRB SET

A RENOVATION FOR A NEW BREWERY/
 CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
 HILTON HEAD ISLAND, S.C.

REVISIONS	

DRAWN BY
 TP
 CHECKED BY
 TP
 DATE OF ISSUE:
 10/05/23
 SCALE
 JOB NO.
 SHEET

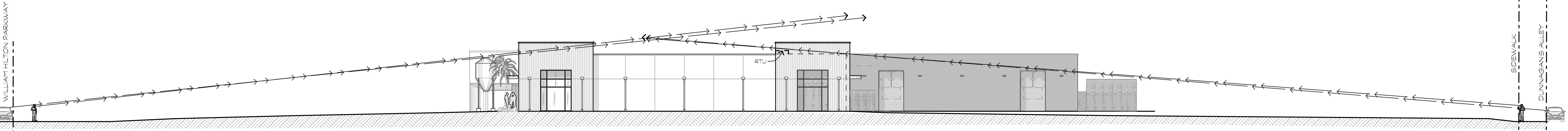
A.2.4
 OF SHEETS



NEW LEFT SIDE ELEVATION VIEW ANGLES

SCALE: 1/16" = 1'-0"

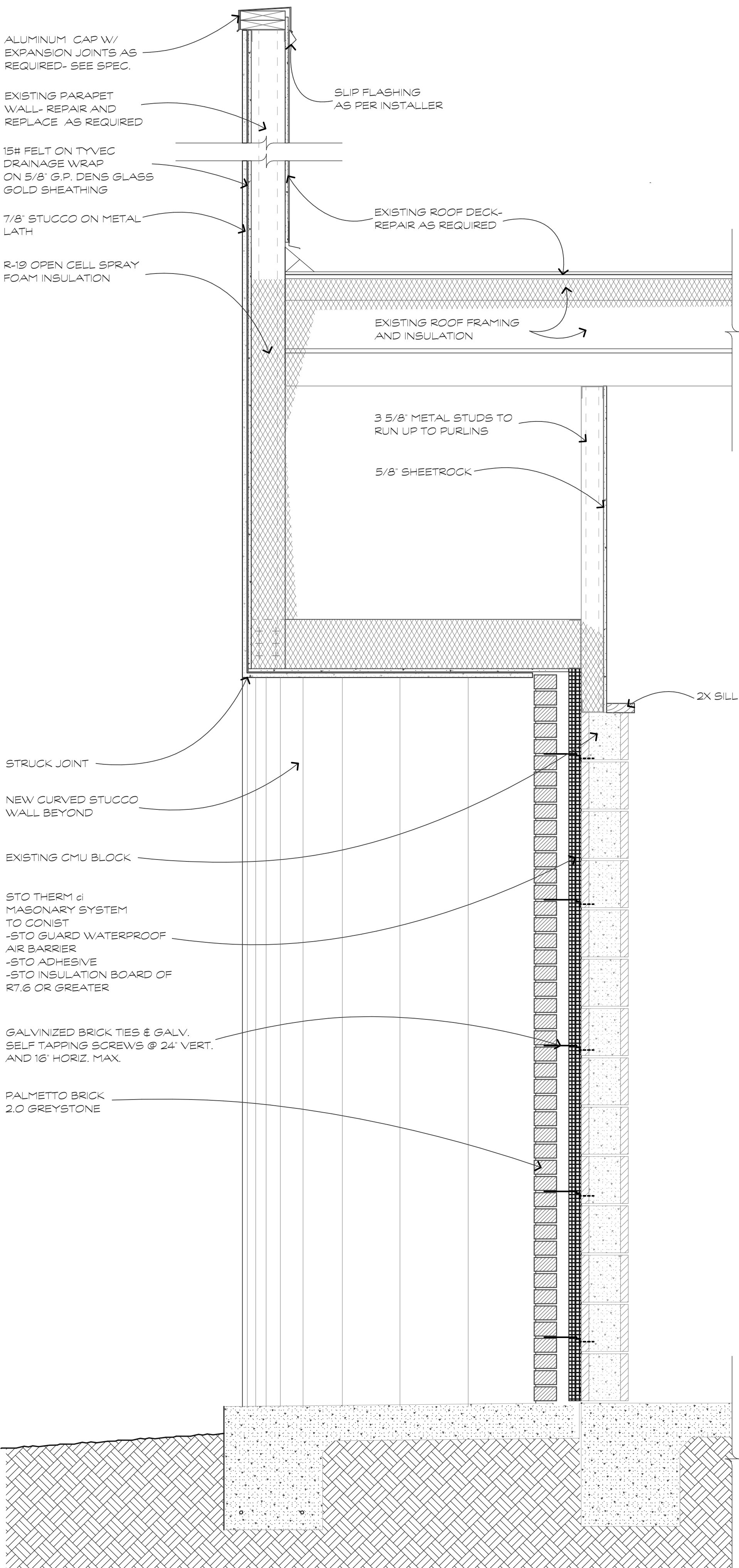
1
A.2.4



NEW RIGHT SIDE ELEVATION VIEW ANGLES

SCALE: 1/16" = 1'-0"

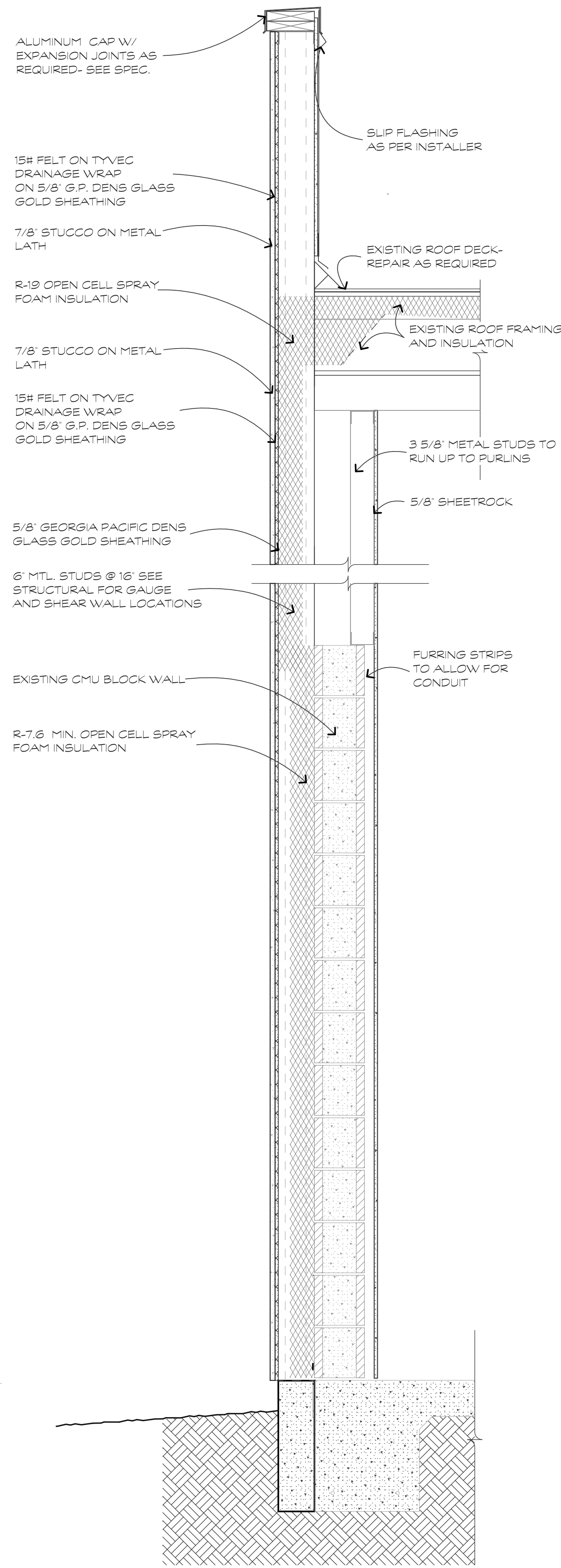
1
A.2.4



ENTRY WALL SECTION

SCALE: 1" = 1'-0"

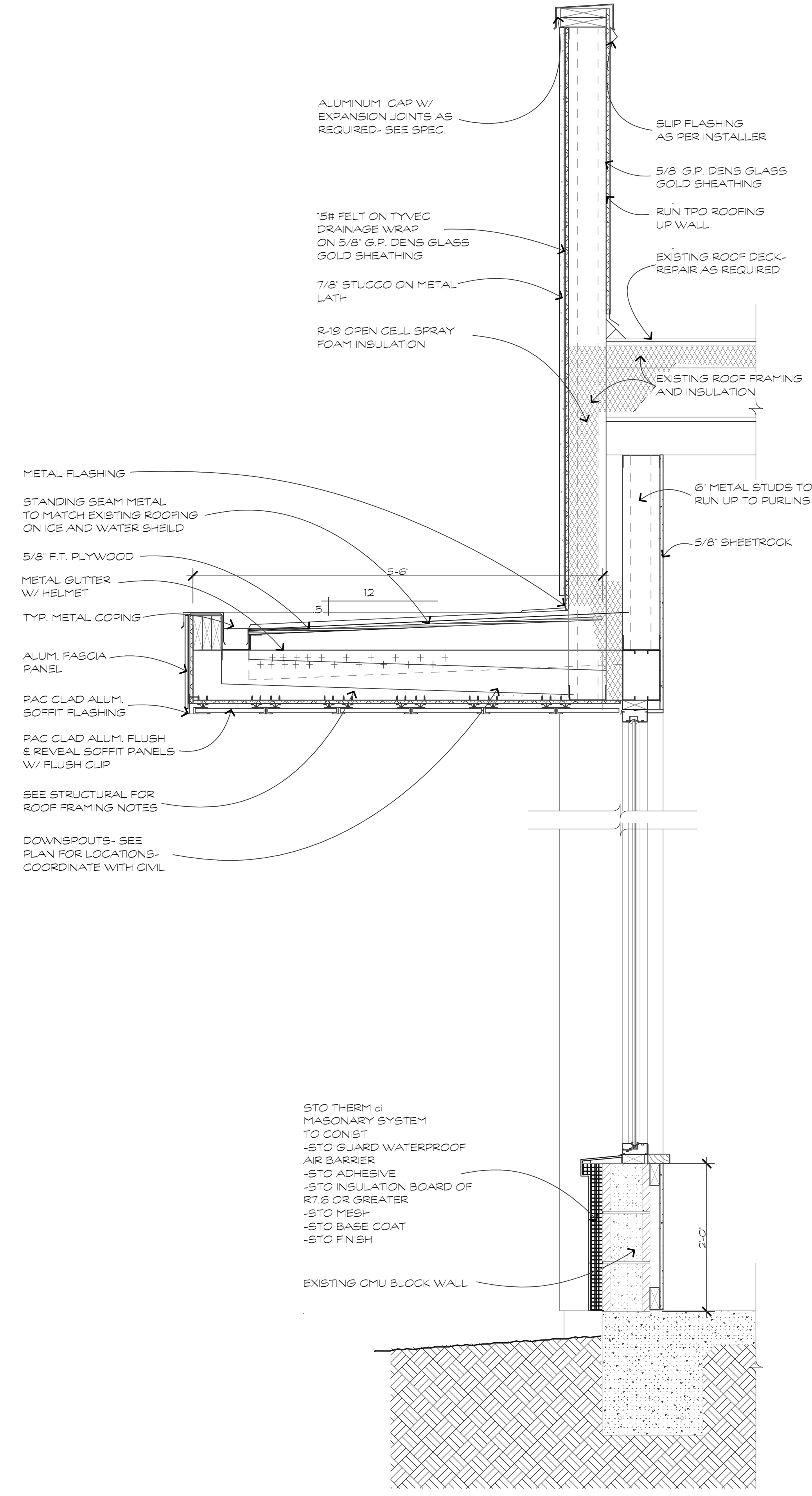
3
A.3.1



WALL SECTION

SCALE: 1" = 1'-0"

2
A.3.1



ENTRY WALL SECTION

SCALE: 1" = 1'-0"

1
A.3.1

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET

**A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.**

REVISIONS	

DRAWN BY
TP

CHECKED BY
TP

DATE OF ISSUE
10/05/23

SCALE

JOB NO.

SHEET

A.3.1

OF SHEETS

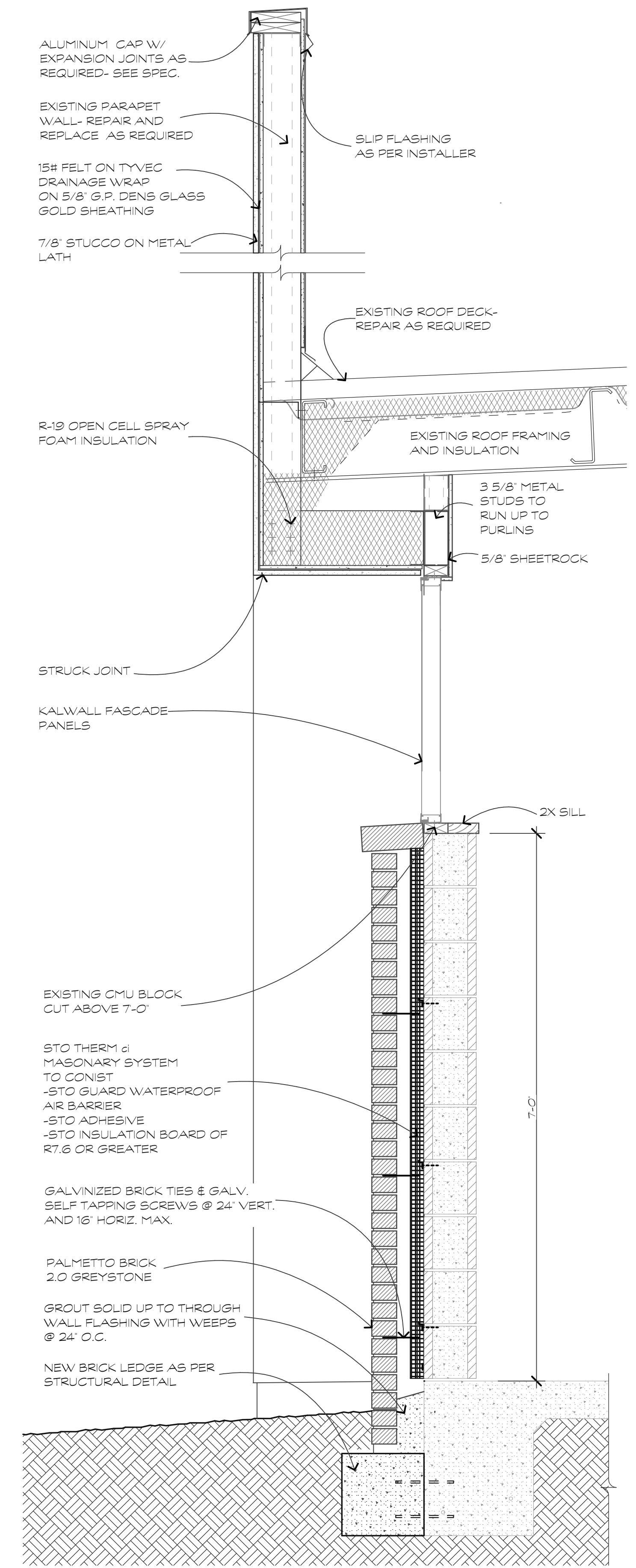
These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there of or for designs, working drawings, or construction of building without the written authorization from the copy write owner PDG|Architects 2023 copyright (C)

FINAL DRB SET
A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.

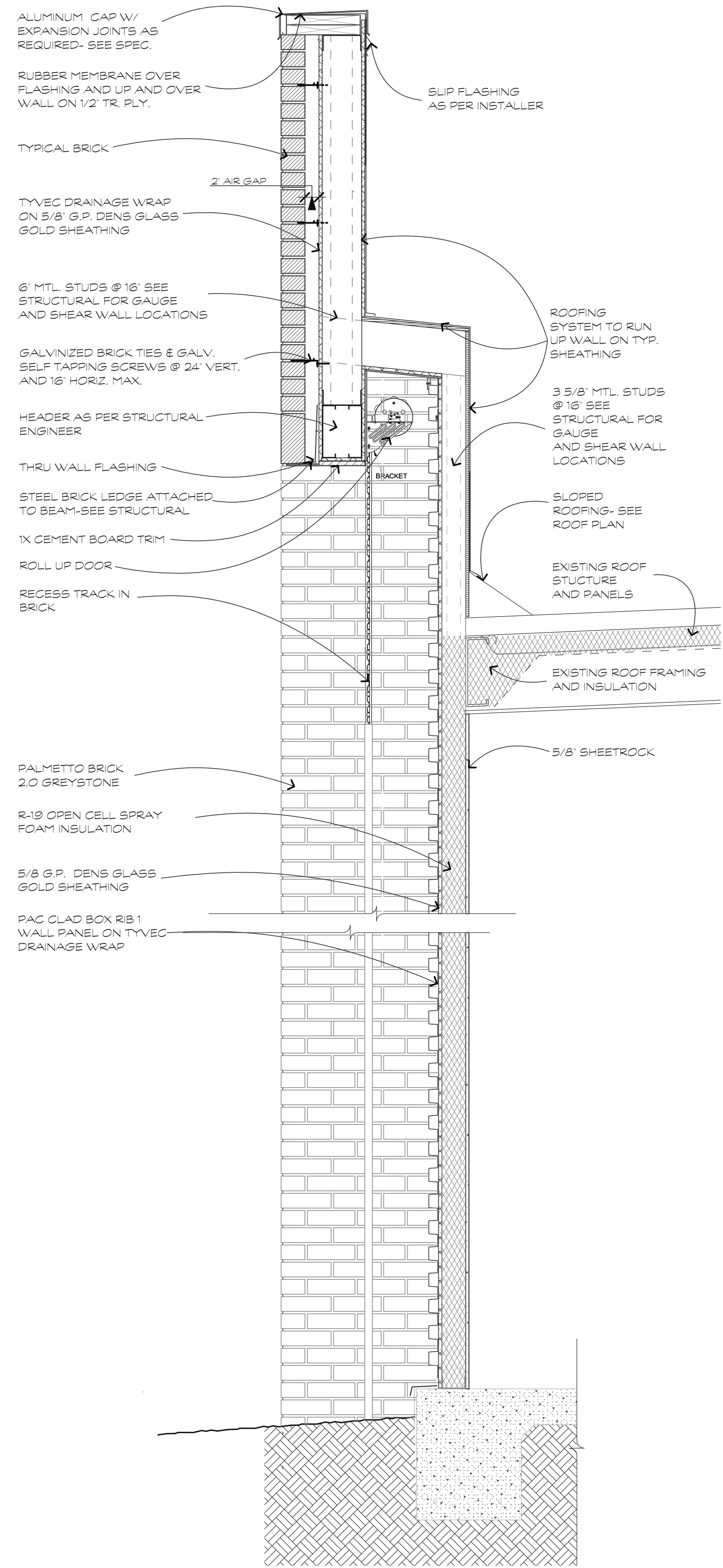
REVISIONS	

DRAWN BY
TP
CHECKED BY
TP
DATE OF ISSUE
10/05/23
SCALE
JOB NO.
SHEET

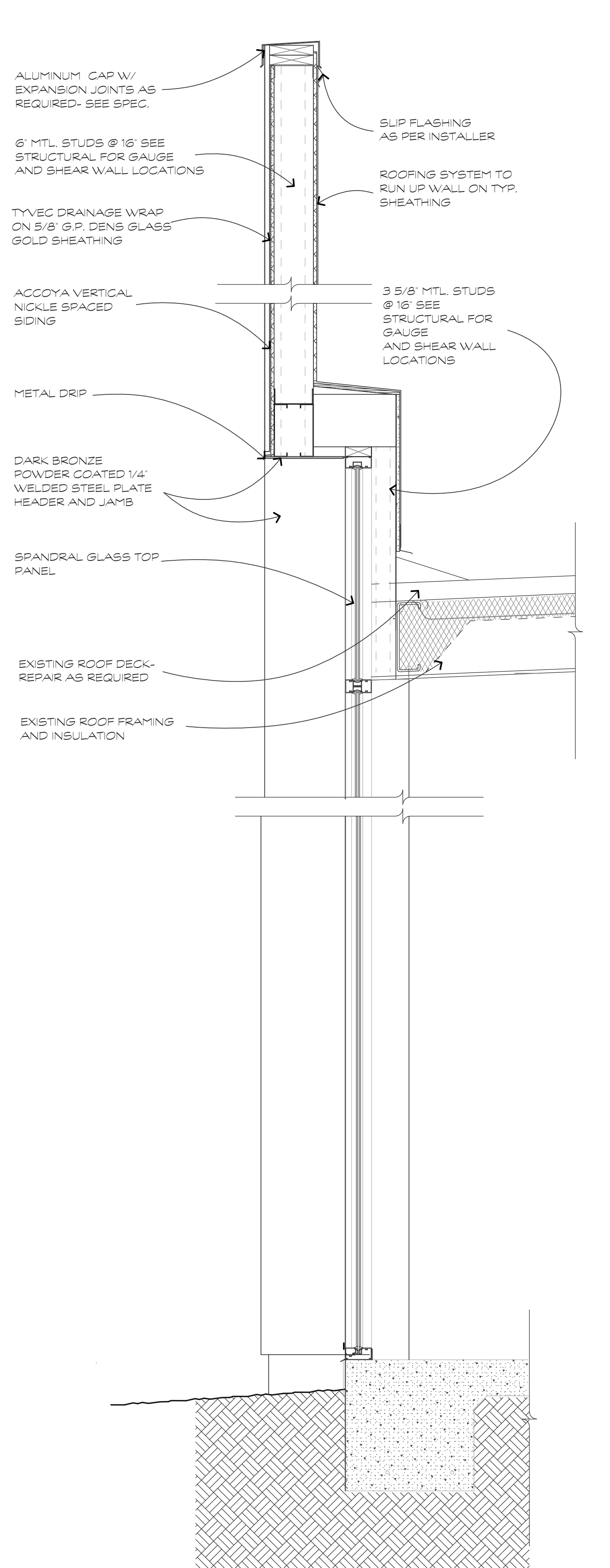
A.3.2
OF SHEETS



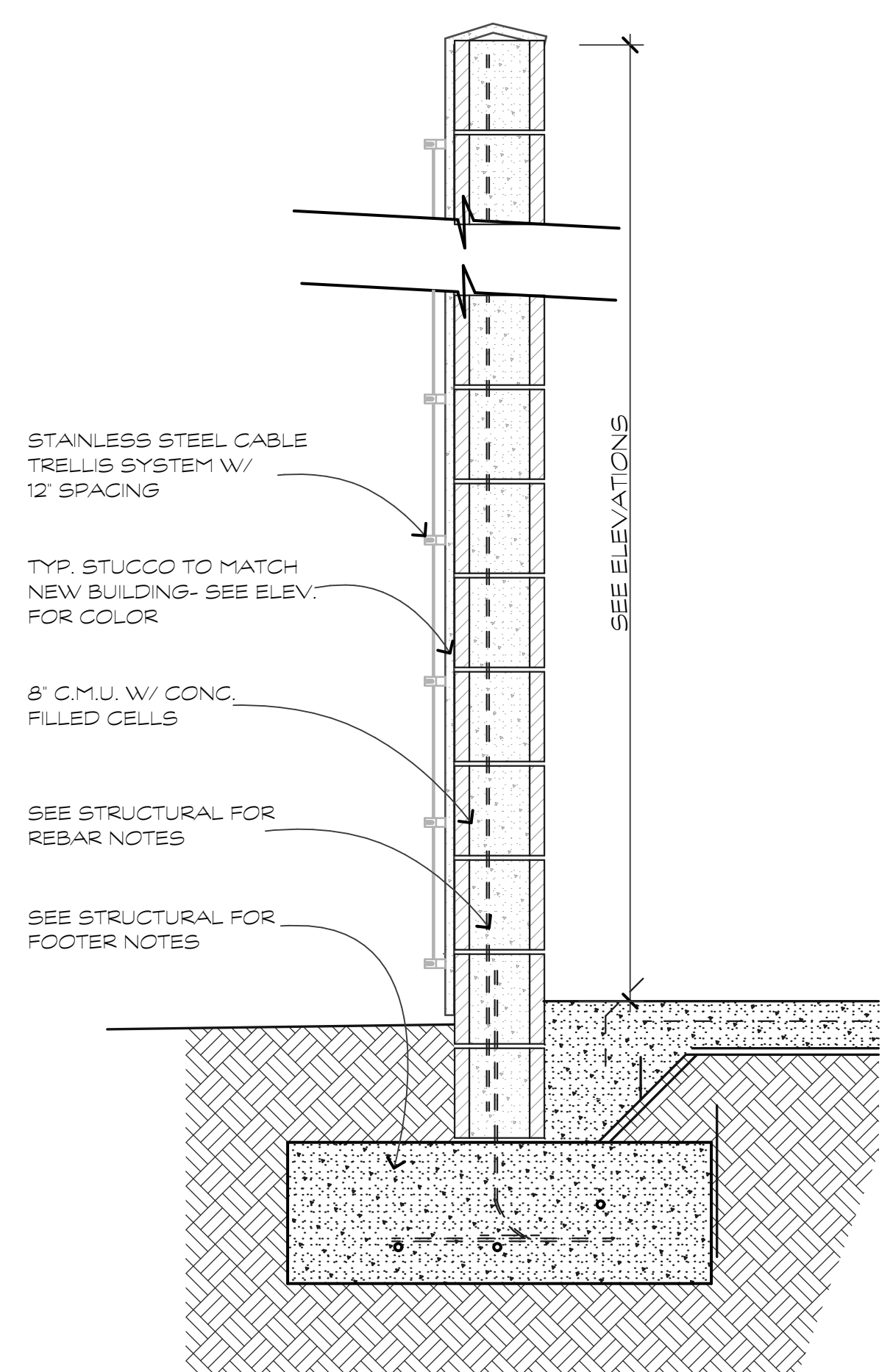
KALWALL WALL SECTION 1
SCALE: 1" = 1'-0" A.3.2



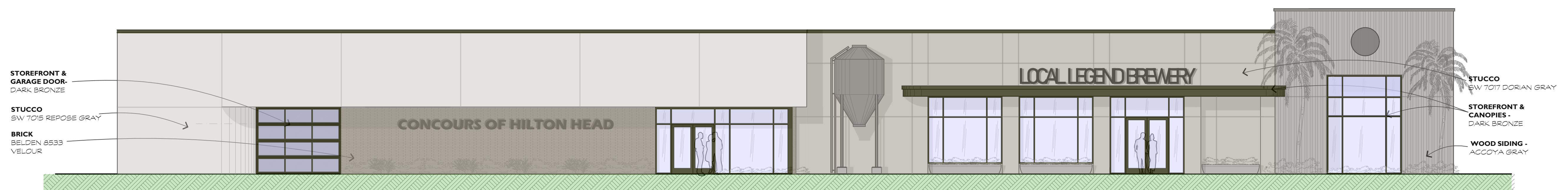
BRICK / TV WALL SECTION 2
SCALE: 1" = 1'-0" A.3.2



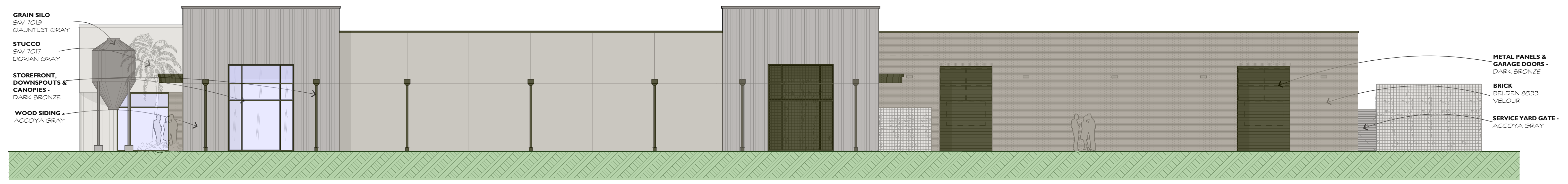
CORNER WALL SECTION 3
SCALE: 1" = 1'-0" A.3.2



SERVICE YARD SECTION 4
SCALE: 1" = 1'-0" A.3.2



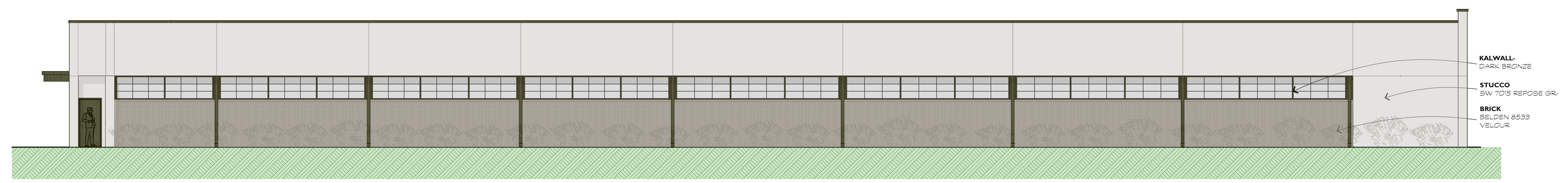
FRONT COLOR ELEVATION



RIGHT SIDE COLOR ELEVATION



DUNNAGAN'S ALLEY COLOR ELEVATION



LEFT SIDE COLOR ELEVATION



PALMETTO BRICK - 2.0 GREYSTONE WIRECUT MATERIALS



WALL PANELS AND STOREFRONT - DARK BRONZE



STUCCO COLORS



ACCOYA PREFINISHED GRAY

These documents & designs are the property of Parker Design Group | Architects & are not to be used or reproduced there or for designs, working drawings, or construction of buildings without the written authorization from the copy write owner PDG|Architects 2023 copyright ©

**A RENOVATION FOR A NEW BREWERY/
CAR STORAGE AT:
1014 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, S.C.**

REVISIONS	

DRAWN BY TP
CHECKED BY TP
DATE OF ISSUE: 10/05/23
SCALE
JOB NO.
SHEET
OF SHEETS

© 2023 WJK LTD.
 DESIGN: CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: OCT 5, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

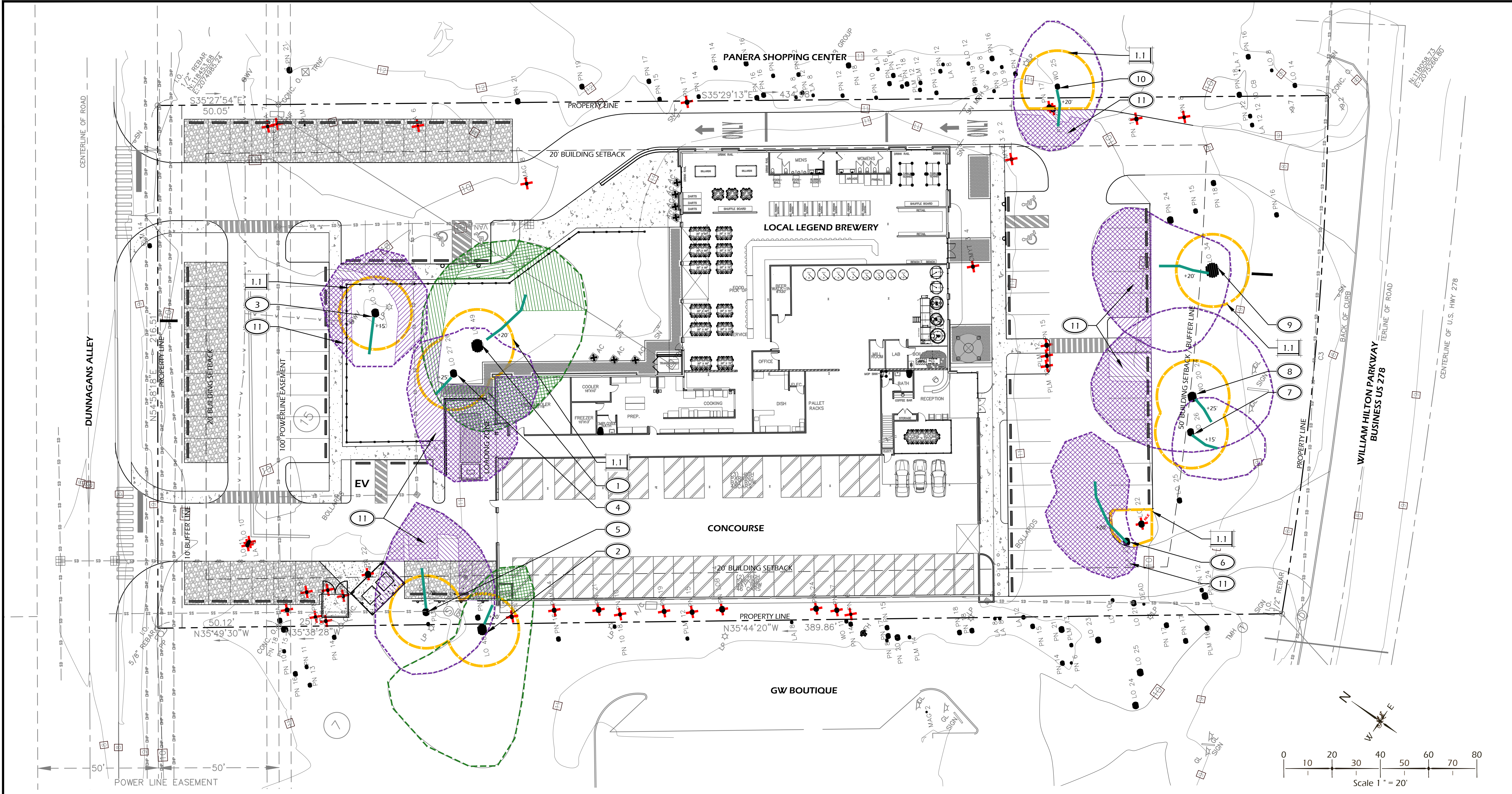
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
TREE IMPACT PLAN

DRAWING NUMBER

L50



PLANT PROTECTION LEGEND

CALL-OUT	SYMB.	DESCRIPTION	DETAIL
1.1		TREE PROTECTION FENCE	1/L50

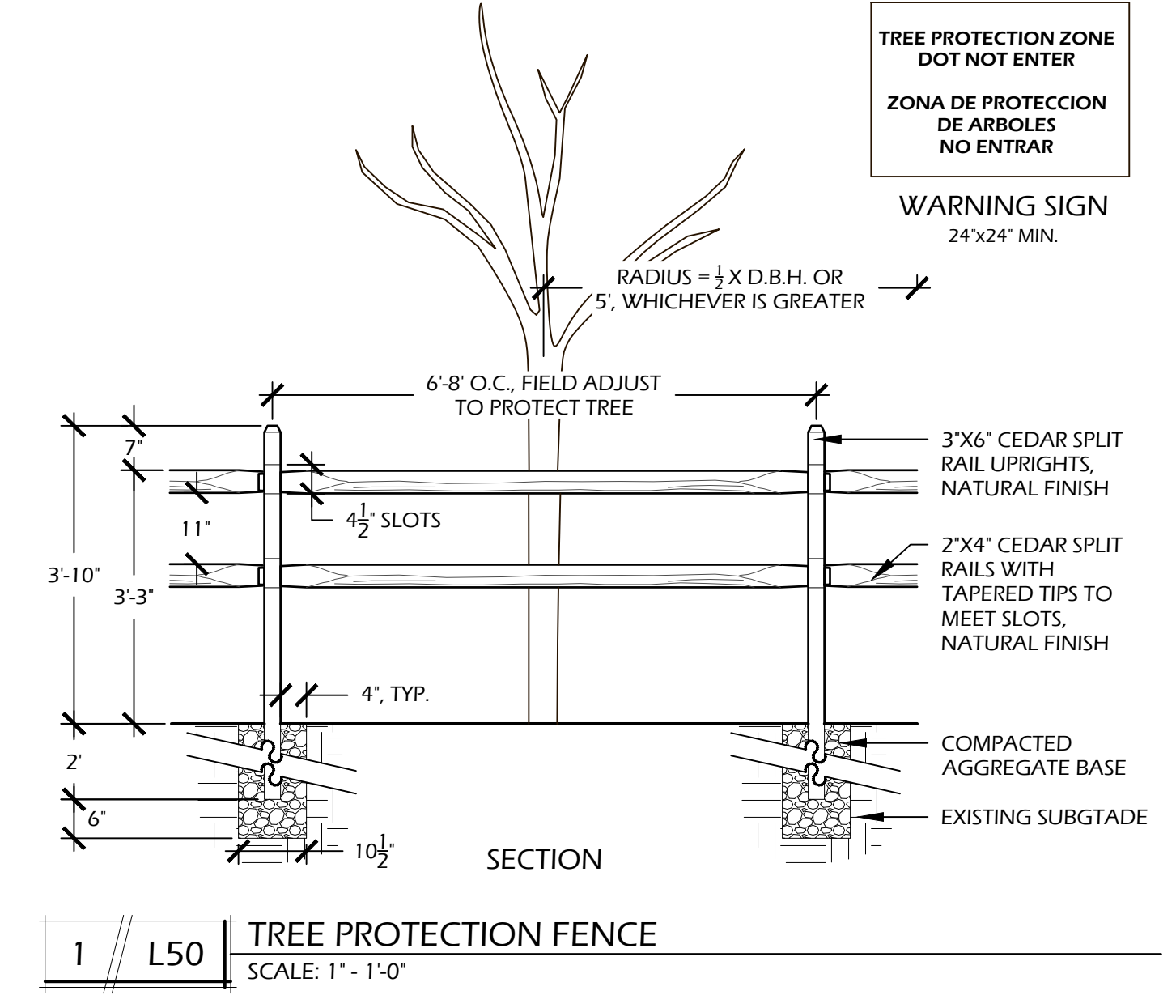
TREE IMPACT LEGEND

SYMBOL	DESCRIPTION
	TREE CANOPY - SPECIMEN
	SPECIMEN TREE IMPACTS - EXISTING
	SPECIMEN TREE IMPACTS - PROPOSED
	TREE CANOPY - SIGNIFICANT
	SIGNIFICANT TREE IMPACTS - EXISTING
	SIGNIFICANT TREE IMPACTS - PROPOSED
	LOWEST LIMB WITH CLEARANCE FROM GRADE

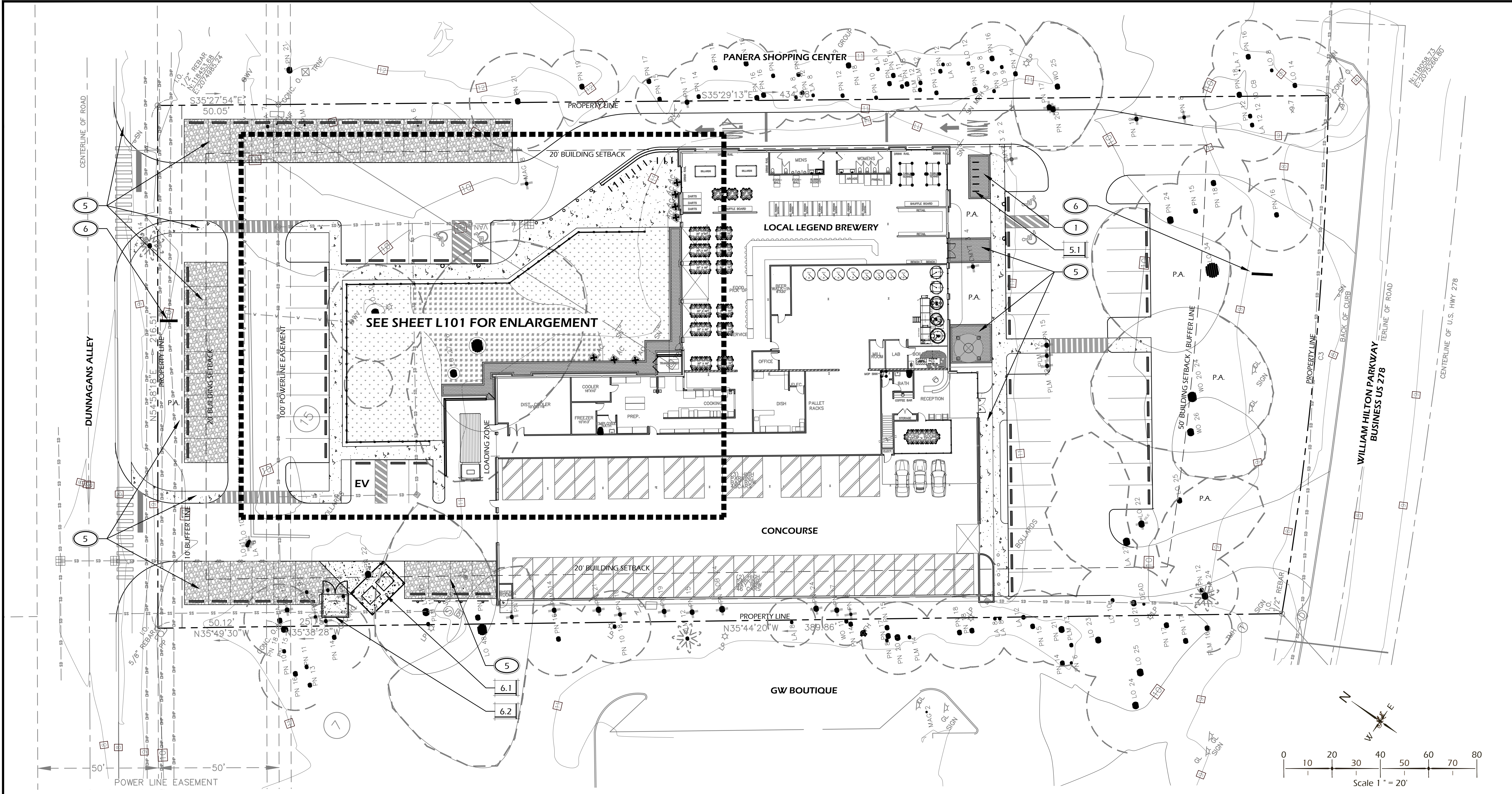
NOTE: HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE SCALE.

TREE IMPACT REFERENCE NOTES:

- 1 SPECIMEN TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK 48" DBH. TOTAL CANOPY: 4150 SF. TOTAL EXISTING IMPERVIOUS: 2000 SF (48%). TOTAL PROPOSED IMPERVIOUS: 1000 SF (24%). **REDUCTION OF ASPHALT WITHIN DRIPLINE AND EXPANSION OF PERVIOUS COVERAGE. IMPACT CONTINUES DUE TO PROXIMITY TO BUILDING TO REMAIN.**
- 2 SPECIMEN TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK 30" DBH. TOTAL CANOPY: 3050 SF. TOTAL EXISTING IMPERVIOUS: 300 SF (10%). TOTAL PROPOSED IMPERVIOUS: 200 SF (7%). **REDUCTION OF CONCRETE WITHIN DRIPLINE.**
- 3 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK (MULTI-TRUNK) 27 / 26" DBH. TOTAL CANOPY: 1700 SF. TOTAL EXISTING IMPERVIOUS: 975 SF (57%). TOTAL PROPOSED IMPERVIOUS: 500 SF (29%). **REDUCTION OF ASPHALT WITHIN DRIPLINE.**
- 4 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK (MULTI-TRUNK) 27 / 26" DBH. TOTAL CANOPY: 2500 SF. TOTAL EXISTING IMPERVIOUS: 1900 SF (76%). TOTAL PROPOSED IMPERVIOUS: 1250 SF (50%). **REDUCTION OF ASPHALT WITHIN DRIPLINE. IMPACT CONTINUES DUE TO PROXIMITY TO BUILDING TO REMAIN.**
- 5 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK 30" DBH. TOTAL CANOPY: 2600 SF. TOTAL EXISTING IMPERVIOUS: 700 SF (27%). TOTAL PROPOSED IMPERVIOUS: 700 SF (27%). **MODIFICATION OF EXISTING IMPERVIOUS WITH NO EXPANSION.**
- 6 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LAUREL OAK 27" DBH. TOTAL CANOPY: 1625 SF. TOTAL EXISTING IMPERVIOUS: 1500 SF (92%). TOTAL PROPOSED IMPERVIOUS: 1500 SF (92%). **MODIFICATION OF EXISTING IMPERVIOUS WITH NO EXPANSION. UTILIZING EXISTING ASPHALT PARKING AREA.**
- 7 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. WATER OAK 26" DBH. TOTAL CANOPY: 1000 SF. TOTAL EXISTING IMPERVIOUS: 0 SF (0%). TOTAL PROPOSED IMPERVIOUS: 0 SF (0%).
- 8 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. WATER OAK (MULTI-TRUNK) 20 / 24" DBH. TOTAL CANOPY: 3400 SF. TOTAL EXISTING IMPERVIOUS: 750 SF (22%). TOTAL PROPOSED IMPERVIOUS: 880 SF (25%). **MODIFICATION OF EXISTING IMPERVIOUS WITH MINIMAL REORGANIZATION. UTILIZING EXISTING ASPHALT PARKING AREA.**
- 9 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. LIVE OAK 34" DBH. TOTAL CANOPY: 2500 SF. TOTAL EXISTING IMPERVIOUS: 1000 SF (40%). TOTAL PROPOSED IMPERVIOUS: 950 SF (38%). **MODIFICATION OF EXISTING IMPERVIOUS WITH MINIMAL REORGANIZATION. UTILIZING EXISTING ASPHALT PARKING AREA.**
- 10 SIGNIFICANT TREE PER TOWN OF HILTON HEAD LAND MANAGEMENT ORDINANCE. WATER OAK 25" DBH. TOTAL CANOPY: 1500 SF. TOTAL EXISTING IMPERVIOUS: 300 SF (20%). TOTAL PROPOSED IMPERVIOUS: 400 SF (27%). **MODIFICATION OF EXISTING IMPERVIOUS WITH MINIMAL REORGANIZATION. ASPHALT EXPANSION TO PROVIDE FOR SAFER ROADWAY.**
- 11 REVIEW HEALTH OF EXISTING TREE WITH ARBORIST PRIOR TO REMOVAL OF EXISTING PAVEMENT WITHIN DRIPLINE. FOLLOW ARBORIST'S INSTRUCTION FOR PAVEMENT REMOVAL TO MINIMIZE DAMAGE TO TREE ROOTS. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT. PROVIDE PRE AND POST CONSTRUCTION FERTILIZATION PLAN WITH A MYCOR TREATMENT AND TO BE COMPLETED BY A CERTIFIED ARBORIST. LIMIT GRADING WITHIN TREE PROTECTION FENCE AREA TO HAND DIGGING, TAKING CARE NOT TO DISTURB ROOTS.



1 / L50 TREE PROTECTION FENCE
 SCALE: 1" = 1'-0"



SITE DETAILS LEGEND

CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
5.2	BOLLARD	4/L600
6.1	DUMPSTER ENCLOSURE	1/L602
6.2	UTILITY ENCLOSURE	1/L603

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
- ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
- ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
- ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.
- ⑥ FUTURE SIGN LOCATION - SIGN PACKAGE TO BE SUBMITTED TO TOWN FOR APPROVAL.

© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

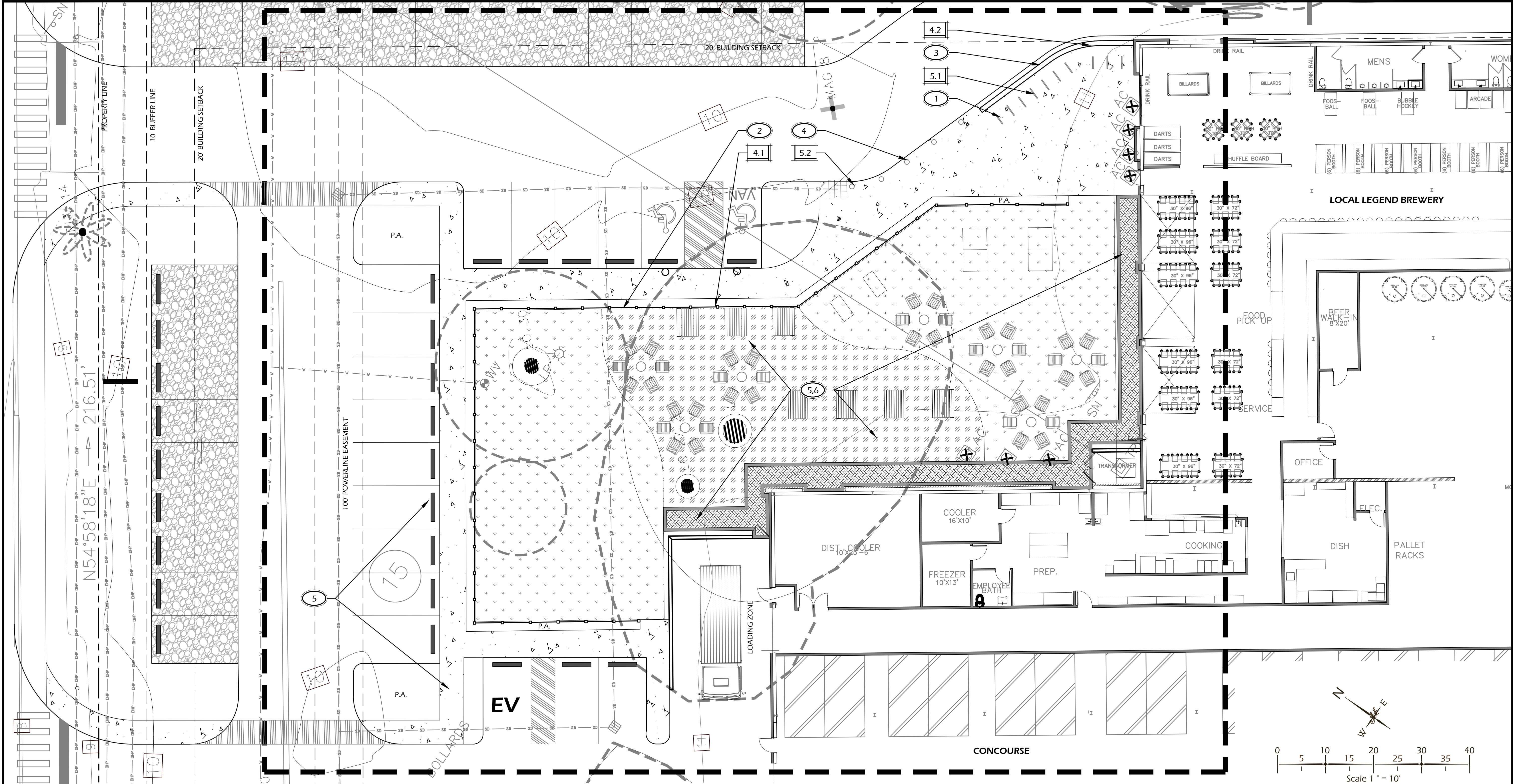
DATE: OCT 5, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

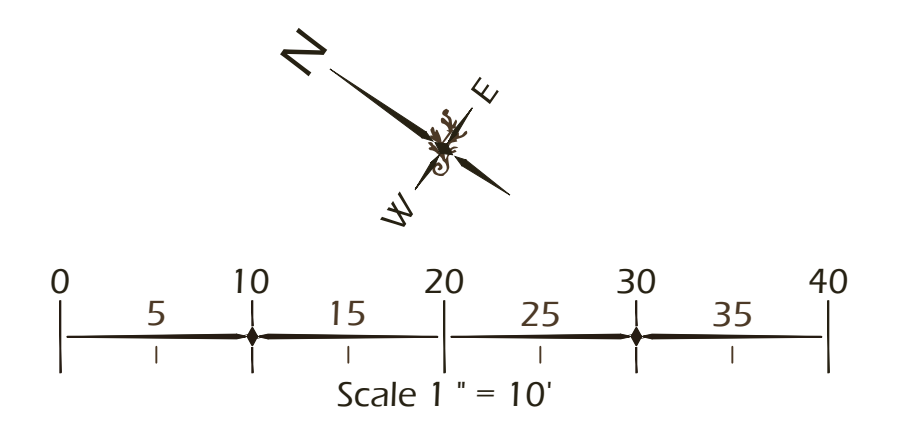
DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L100



SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
4.1	BEER GARDEN FENCE	1/L600
4.2	LOW WALL	2/L600
5.1	BIKE RACK	3/L600
5.2	BOLLARD	4/L600

- KEY SHEET REFERENCE NOTES:**
- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
 - ① FINAL LOCATION OF BIKE RACKS TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT PRIOR TO FINAL PLACEMENT / INSTALLATION.
 - ② LAYOUT OF BEER GARDEN FENCE TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT AND PLANTING IRRIGATION WITH POST LAYOUT.
 - ③ LOW WALL TO BE INSTALLED 12" OFF OF ROADWAY. LAYOUT OF WALL TO BE STAKED IN-FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. COORDINATE SITE LIGHTING CONDUIT FOR WALL LIGHTS.
 - ④ BOLLARD LOCATION AND SLEEVING TO BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ⑤ PROPOSED IMPROVEMENTS BY CIVIL ENGINEER, N.I.C., SHOWN FOR REFERENCE ONLY. COORDINATE WITH CIVIL ENGINEER PLAN SET AS REQUIRED.
 - ⑥ BEER GARDEN PROGRAMMING TO INCLUDE, BUT NOT LIMITED TO, MOVEABLE SEATING (ADIRONDACK CHAIRS, LOW TABLES, PICNIC TABLES, ETC.) AND YARD GAMES (TIC TAC TOE, OVERSIZED CHESS, PING PONG TABLES, ETC.).



Winter Jones-Heefer
Ltd.
landscape architecture
land planning

www.wjkltd.com
98 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.787.7411

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

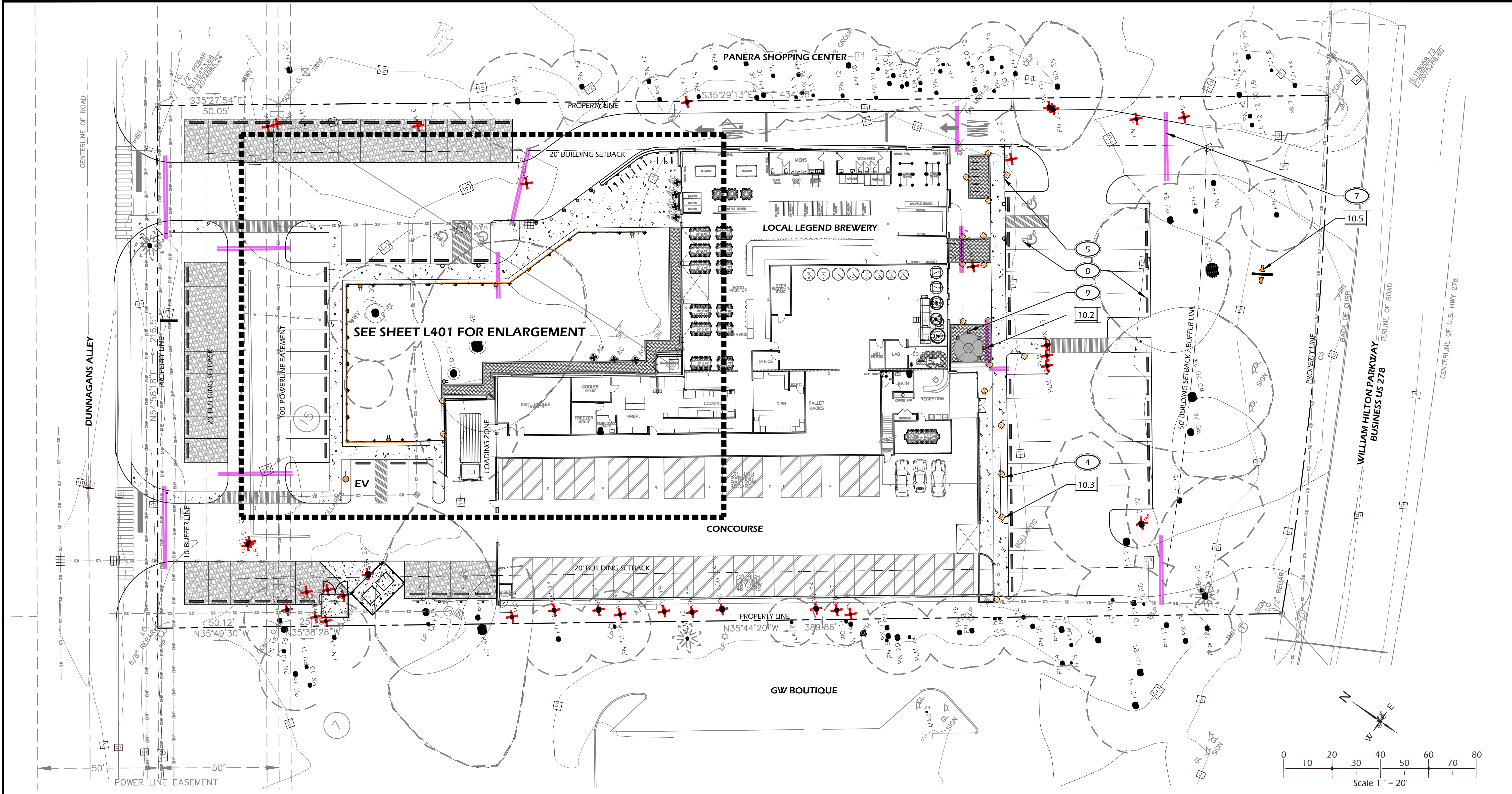
DATE:	OCT 5, 2023
PROJECT NO.:	23075.01
DRAWN BY:	JC
CHECKED BY:	DK

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
KEY SHEET

DRAWING NUMBER
L101



SEE SHEET L401 FOR ENLARGEMENT

SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

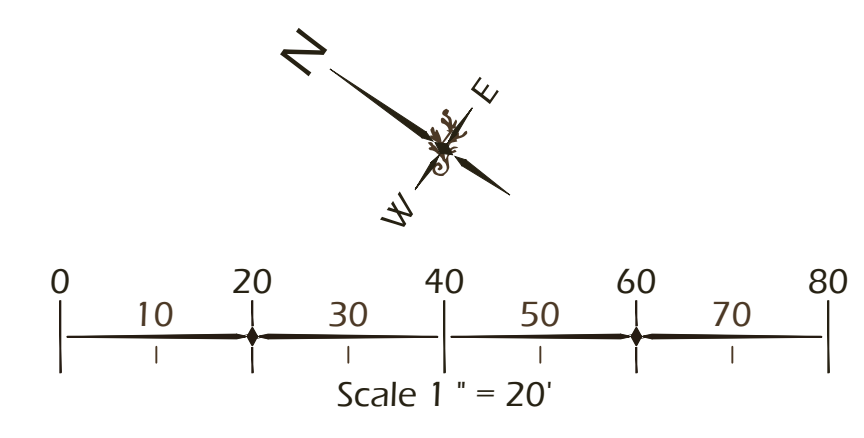
NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

SITE UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

1. ELECTRIC VEHICLE CHARGING STATION, POST MOUNT. TO BE SELECTED AND APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION. COORDINATE WITH CIVIL ENGINEER'S UTILITY PLANS.
2. G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
3. LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
4. SPACE LIGHTS EQUALLY AS SHOWN.
5. PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
6. ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
7. 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
8. PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
9. WELL LIGHT LOCATION TO BE STAKED IN FIELD PRIOR TO PAVEMENT INSTALLATION TO ENSURE COVERAGE AND ORIENTATION ASSOCIATED WITH SPENT GRAIN SILO. LIGHTS TO BE ADJUSTED IN-FIELD FOR OPTIMAL COVERAGE AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.



© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

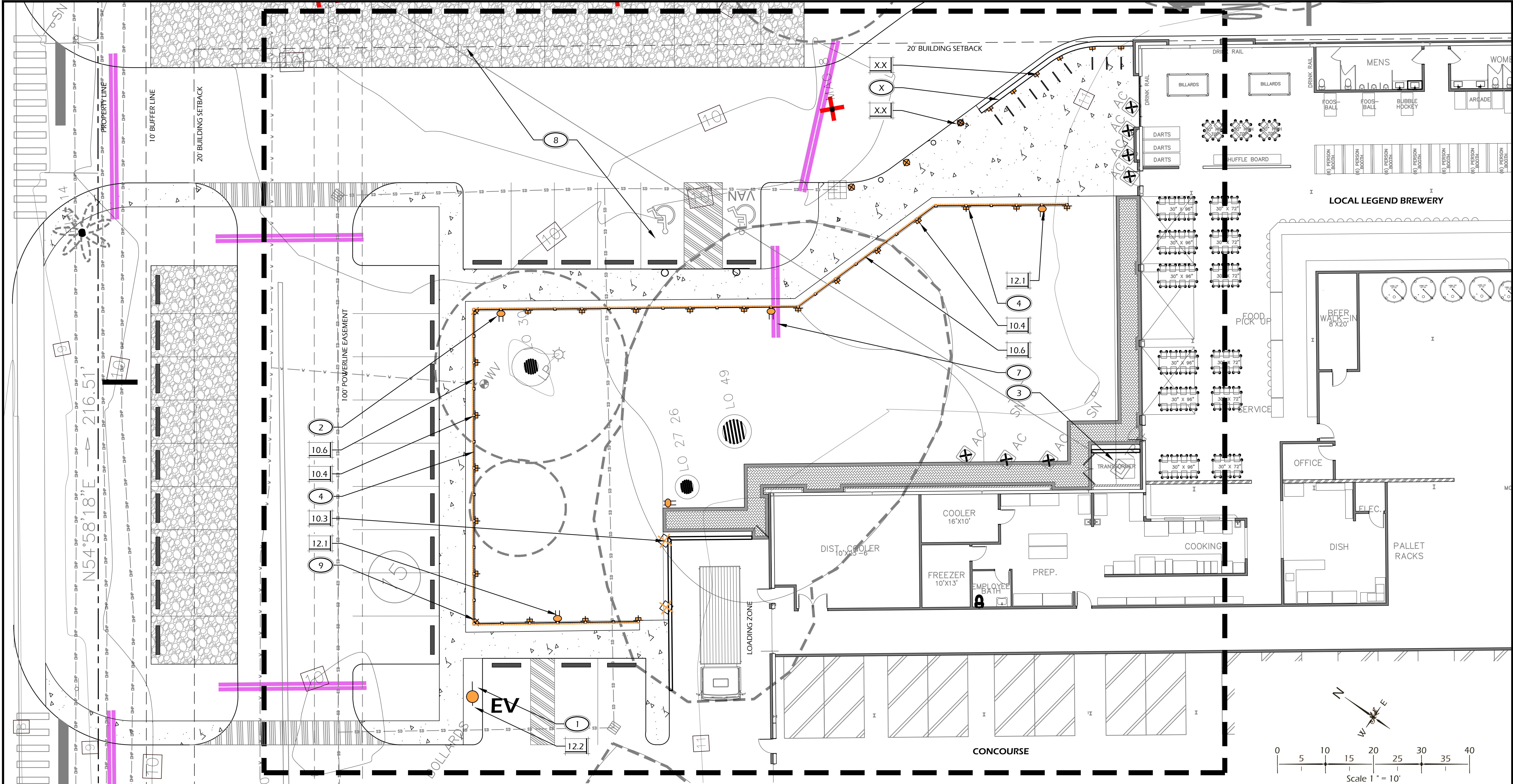
DATE: OCT 5, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE UTILITY PLAN

DRAWING NUMBER
L400



SITE LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	BOLLARD LIGHT	1/L601
10.2		2	WELL LIGHT	2/L601
10.3		19	PATH LIGHT	3/L601
10.4		28	WALL LIGHT	4/L601
10.5		2	SIGN LIGHT - TO BE INCLUDED WITH SIGN SUBMITTAL	-
10.6		1	STRING LIGHT	5/L601

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

SITE UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		5	G.F.I. OUTLET	6/L601
12.2		1	ELECTRIC VEHICLE CHARGING STATION - SEE CIVIL PLANS	-
12.3		X	HOSE BIB - TBD	-

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

- 1 ELECTRIC VEHICLE CHARGING STATION, POST MOUNT. TO BE SELECTED AND APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION. COORDINATE WITH CIVIL ENGINEERS UTILITY PLANS.
- 2 G.F.I. OUTLET ON FENCE POST. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. FINAL LOCATION TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT. PRIOR TO INSTALLATION.
- 3 LIGHTING CONTROLLER AND TRANSFORMERS TO BE COORDINATED WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- 4 SPACE LIGHTS EQUALLY AS SHOWN.
- 5 PATHWAY LIGHT STEMS TO BE LOCATED 12" FROM EDGE OF PAVEMENT.
- 6 ADJUST LAMP ORIENTATION IN FIELD PER LANDSCAPE ARCHITECT'S INSTRUCTION.
- 7 4" P.V.C. SLEEVE FOR ELECTRICAL CONDUIT AND WIRING. PLACE A MINIMUM OF 12" UNDER BOTTOM OF PAVING SURFACE.
- 8 PARKING LOT LIGHTING PLAN TO BE SUPPLIED BY PALMETTO ELECTRIC.
- 9 ALL STRING LIGHT AND WALL LIGHT CONDUIT TO BE HIDDEN WITHIN WOOD POSTS.

Winter Jones-Heefer
Ltd.
landscape architecture
land planning
www.wjkltd.com
28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.787.7411

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE:	OCT 5, 2023
PROJECT NO.:	23075.01
DRAWN BY:	JC
CHECKED BY:	DK

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
SITE UTILITY PLAN

DRAWING NUMBER
L400

NORTHERN BOUNDARY (216 LF) - DUNNAGAN'S ALLEY
TYPE 'A' OPTION 2 (10') OTHER STREET BUFFER
(SEE BUFFER SUMMARY)

DUNNAGAN'S ALLEY

EASTERN BOUNDARY (485 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
NO EXTERIOR BOUNDARY BUFFER REQUIRED

PANERA SHOPPING CENTER

LOCAL LEGEND BREWERY

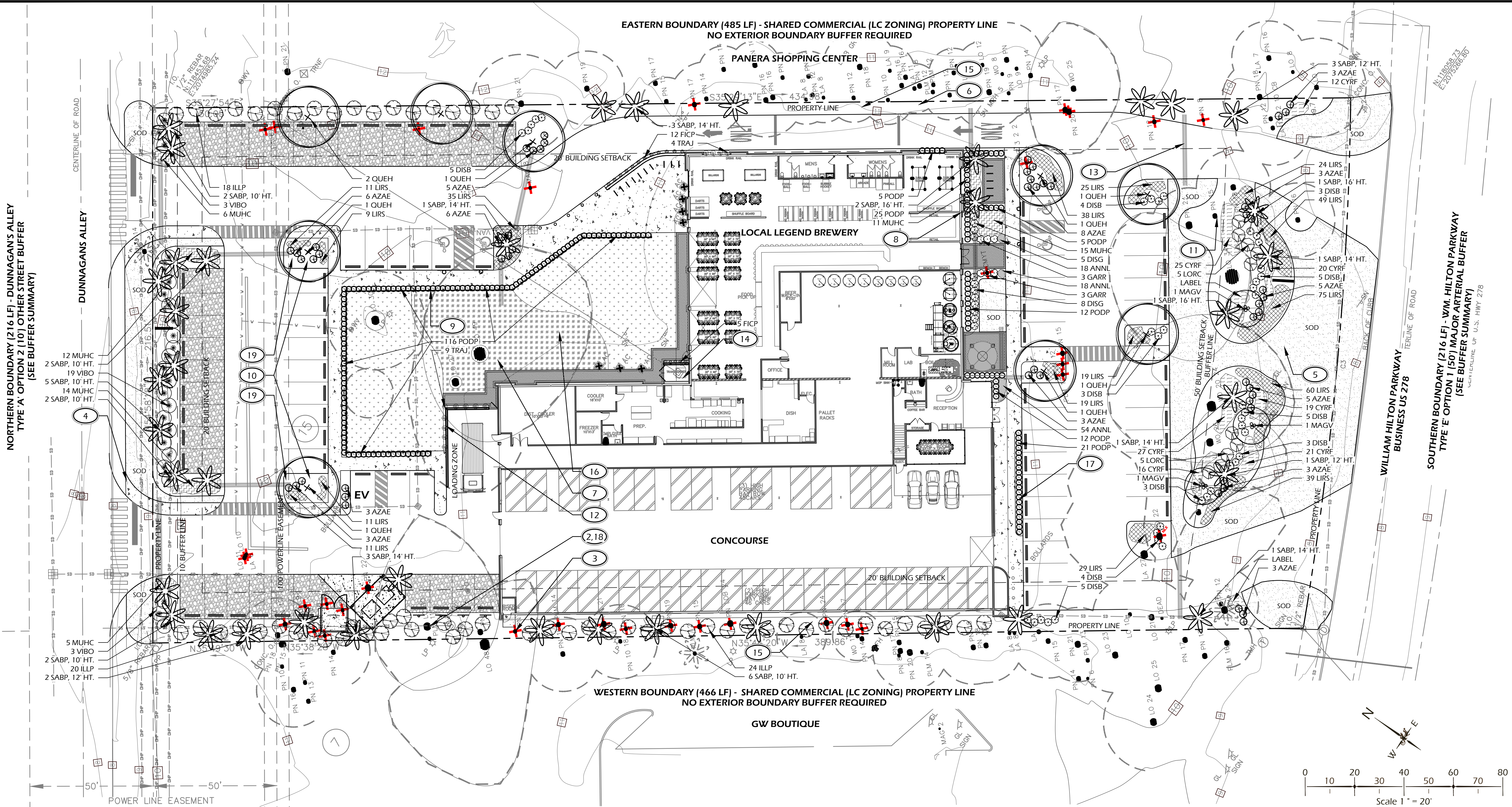
CONCOURSE

WESTERN BOUNDARY (466 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
NO EXTERIOR BOUNDARY BUFFER REQUIRED

GW BOUTIQUE

WILLIAM HILTON PARKWAY
BUSINESS US 278

SOUTHERN BOUNDARY (216 LF) - WM. HILTON PARKWAY
TYPE 'E' OPTION 1 (50') MAJOR ARTERIAL BUFFER
(SEE BUFFER SUMMARY)



PLANTING DETAILS

CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L510
14.2	PALM TREE PLANTING	2/L510
14.3	SHRUB PLANTING	3/L510
14.4	GROUND COVER PLANTING	4/L510
14.5	ROOT BARRIER	5/L510

PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
OUEH	Quercus virginiana 'QVITA' PP	High Rise Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
MAGV	Magnolia virginiana	Sweetbay Magnolia
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
DICG	Distylium 'Cinnamon Girl' (PID51V) PP27,631	Cinnamon Girl Distylium
DISB	Distylium 'Blue Cascade' (PID514) PP24409	Blue Cascade Distylium
GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia
ILLP	Blicum parviflorum	Yellow Anise
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Pingie Flower
PODP	Podocarpus macrophyllus 'Pingles Dwarf'	Dwarf Podocarpus
VIBO	Viburnum odoratissimum	Sweet Viburnum
ORNAMENTAL GRASSES & FERNS		
CYRF	Cyrtomium falcatum	Holly Fern
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
ANNL	Annuals	Annuals
FICP	Ficus pumila	Creeping Fig
LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope
TRAJ	Trachelospermum jasminoides	Confederate Jasmine
SOD & MULCH		
SODSF		Empire Zoysia Sod
MULCHSF	Pine Straw - all disturbed areas	Pine Straw

PLANTING REFERENCE NOTES:

- EXISTING VEGETATION TO REMAIN.
- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE REMOVED. SEE SHEET L501 FOR TREE MITIGATION SUMMARY.
- EXISTING OVERHEAD UTILITY LINE TO REMAIN. DO NOT DISTURB. NO OVERSTORY TREES SHALL BE PLANTED IN EASEMENT.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL GRASS DAMAGED DURING CONSTRUCTION.
- SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS ALONG SHARED PROPERTY LINES.
- MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- ALIGN ALL PALM TREES, AT FRONT OF BUILDING, WITH BUILDING COLUMNS TO FRAME WINDOW.
- ALIGN SHRUB LAYOUT GRID WITH WOOD DRINK RAIL FENCE.
- ALL PARKING LOT MEDIAN PLANTINGS SHALL BE 12"-18" OFF EDGE OF ROAD / PARKING AREA AT TIME OF MATURITY.
- CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- TRAIN TRAJ TO WIRE SUPPORTS ON WALL. SUPPORT STRUCTURE PER ARCHITECT'S DRAWINGS.
- PROVIDE TWO (2) 4" P.V.C. CONDUIT FOR IRRIGATION AND LOW VOLTAGE LIGHTING. LOCATION TO BE COORDINATED WITH CIVIL ENGINEERS DRAWINGS.
- COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER.
- NO BUFFER REQUIRED IN LIGHT COMMERCIAL ZONING FOR ADJACENT SIMILAR USES.
- REFER TO CIVIL ENGINEER DRAWINGS FOR SURFACING IN COURTYARD.
- SEE SHEET L400 AND L401 FOR LOW VOLTAGE LIGHT FIXTURE LOCATION AND SPECIFICATION.
- REVIEW HEALTH OF EXISTING TREE WITH ARBORIST PRIOR TO REMOVAL OF EXISTING PAVEMENT WITHIN DRIP LINE. FOLLOW ARBORIST'S INSTRUCTION FOR PAVEMENT REMOVAL TO MINIMIZE DAMAGE TO TREE ROOTS. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT. PROVIDE PRE AND POST CONSTRUCTION FERTILIZATION PLAN WITH A MYCOR TREATMENT AND TO BE COMPLETED BY A CERTIFIED ARBORIST. LIMIT GRADING WITHIN TREE PROTECTION FENCE AREA TO HAND DIGGING, TAKING CARE NOT TO DISTURB ROOTS.
- PLANTING PLAN MAY REQUIRE MODIFICATIONS DUE TO ANY POTENTIAL CONFLICTS WITH UTILITIES. ANY CHANGES TO PLANTING PLAN WILL BE COORDINATED WITH TOWN STAFF.

BUFFER SUMMARY:

**NORTHERN BOUNDARY (216 LF) - DUNNAGAN'S ALLEY
20' ADJACENT STREET SETBACK - OTHER STREET
TYPE 'A' OPTION 2 (10') OTHER STREET BUFFER:**

OVERSTORY TREES: 2 TREES PER 100 LF - 4 TREES REQUIRED (4 SABP PROVIDED DUE TO POWERLINE EASEMENT)
UNDERSTORY TREES: 5 TREES PER 100 LF - 9 TREES REQUIRED
EVERGREEN SHRUBS: 10 SHRUBS PER 100 LF - 22 SHRUBS REQUIRED

**EASTERN BOUNDARY (485 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**

**SOUTHERN BOUNDARY (216 LF) - WM. HILTON PARKWAY
50' ADJACENT STREET SETBACK - MAJOR ARTERIAL
TYPE 'E' OPTION 1 (50') MAJOR ARTERIAL BUFFER:**

OVERSTORY TREES: 4 TREES PER 100 LF - 9 TREES REQUIRED (9 EXISTING)
UNDERSTORY TREES: 5 TREES PER 100 LF - 11 TREES REQUIRED (1 EXISTING, 10 PROPOSED)
EVERGREEN SHRUBS: 20 SHRUBS PER 100 LF - 43 SHRUBS REQUIRED

**WESTERN BOUNDARY (466 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
20' ADJACENT USE SETBACK
NO EXTERIOR BOUNDARY BUFFER REQUIRED**

SITE DEVELOPMENT PLANS
FOR

1014 WM. HILTON PARKWAY

CONCOURSE HILTON HEAD

HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: OCT 5, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER

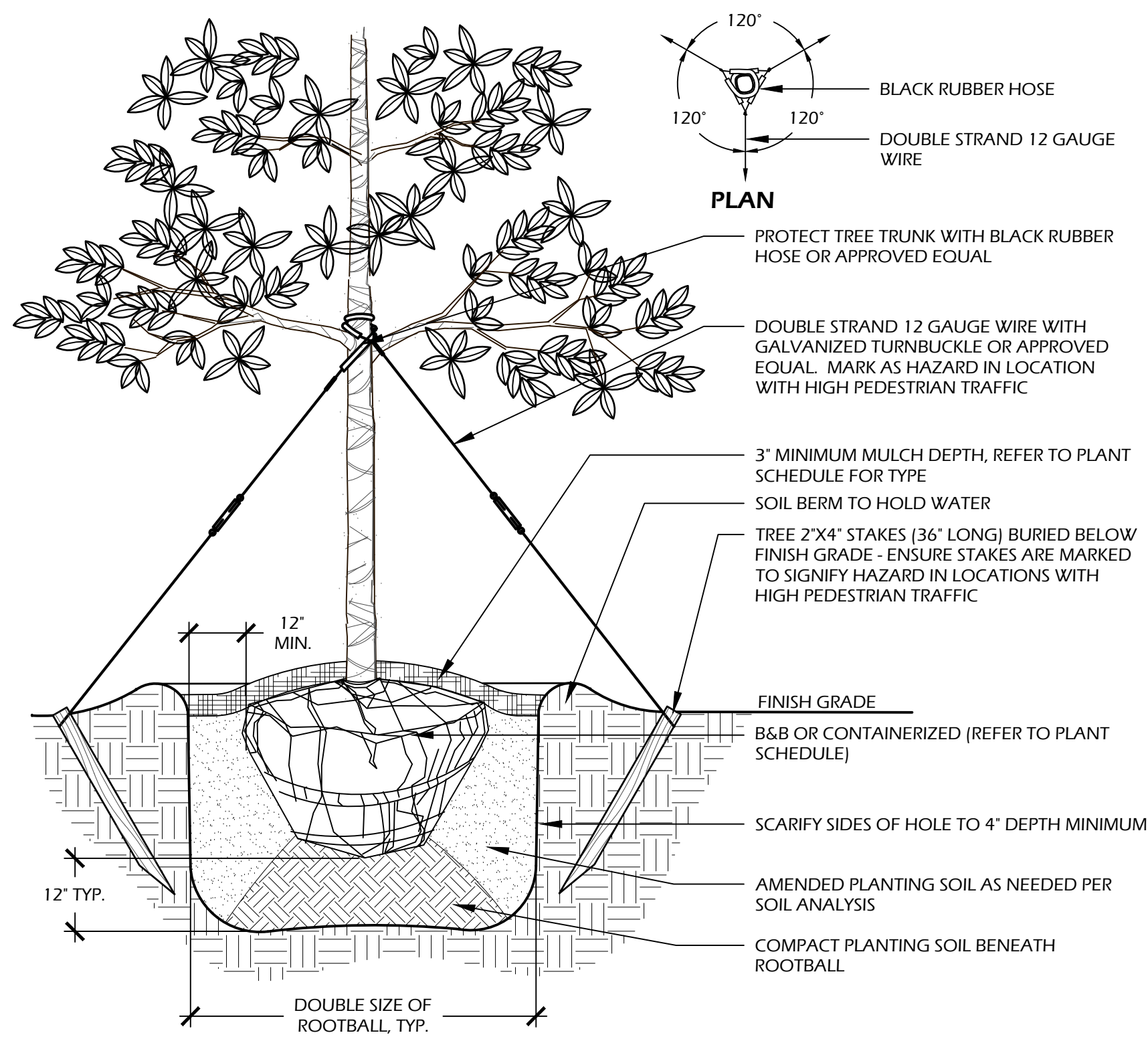
L500

Winter Jones-Heefer Ltd.
landscape architecture
land planning

www.wjhktd.com

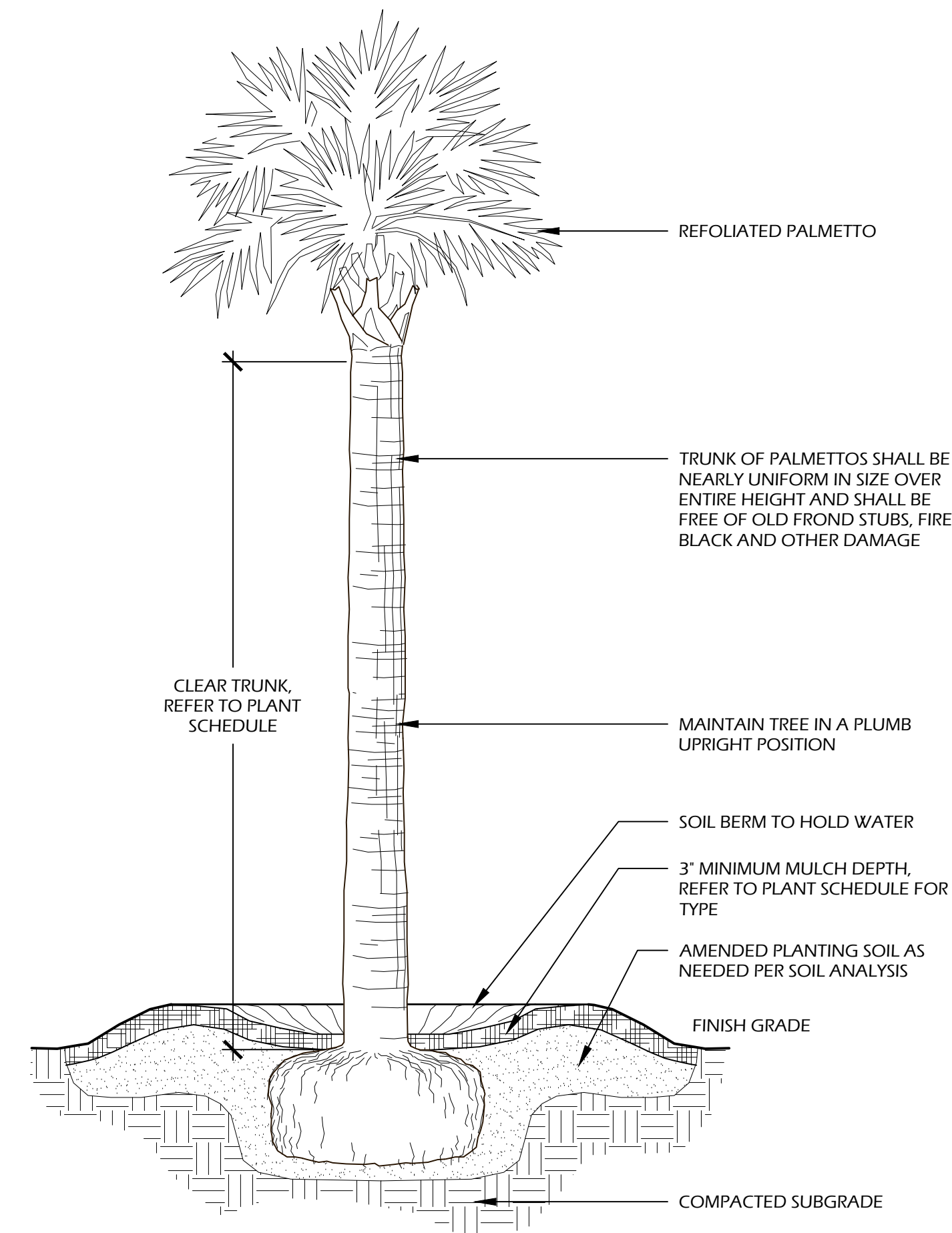
38 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.787.7411

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS,
LOGOS, SPECIFICATIONS, DETAILS,
WRITTEN MATERIAL SHALL NOT BE USED
OR REPRODUCED IN WHOLE OR IN PART
IN ANY FORM WITHOUT PRIOR WRITTEN
CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"x36"



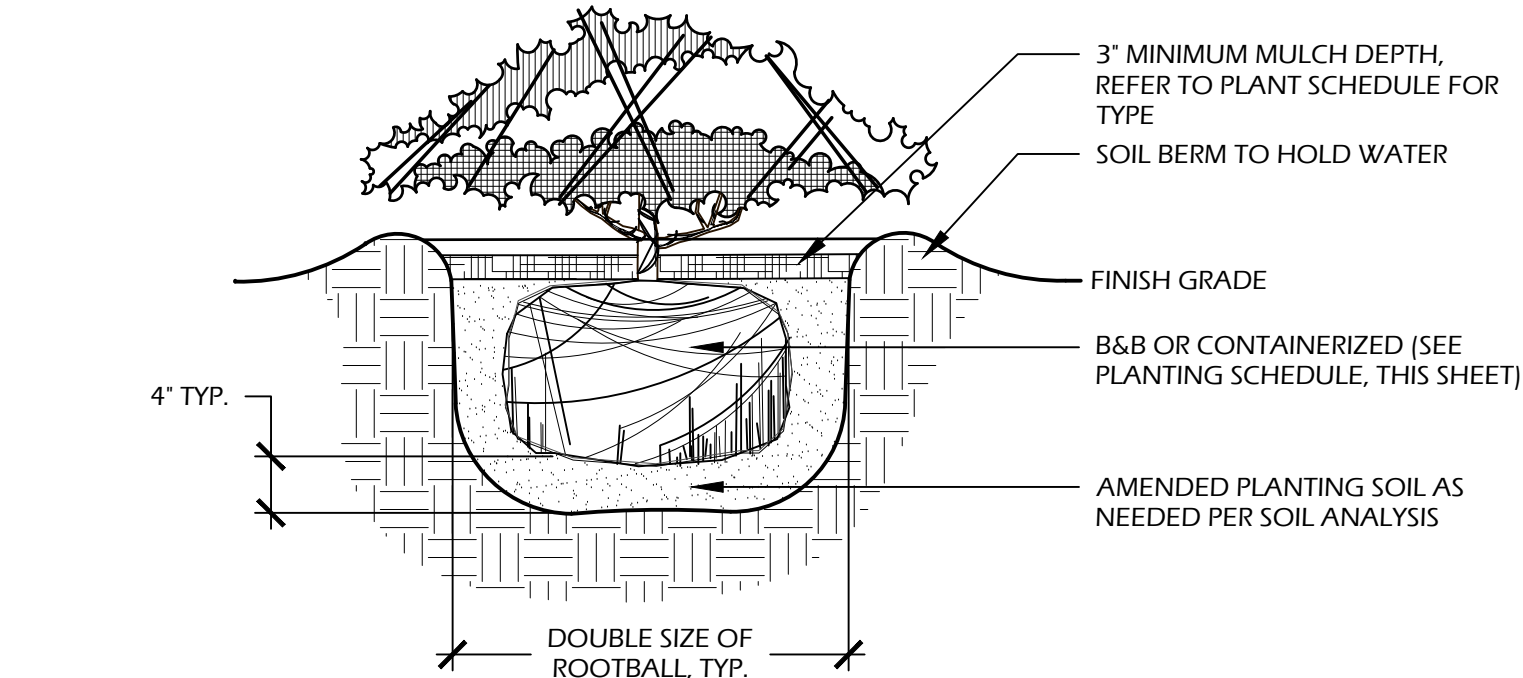
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



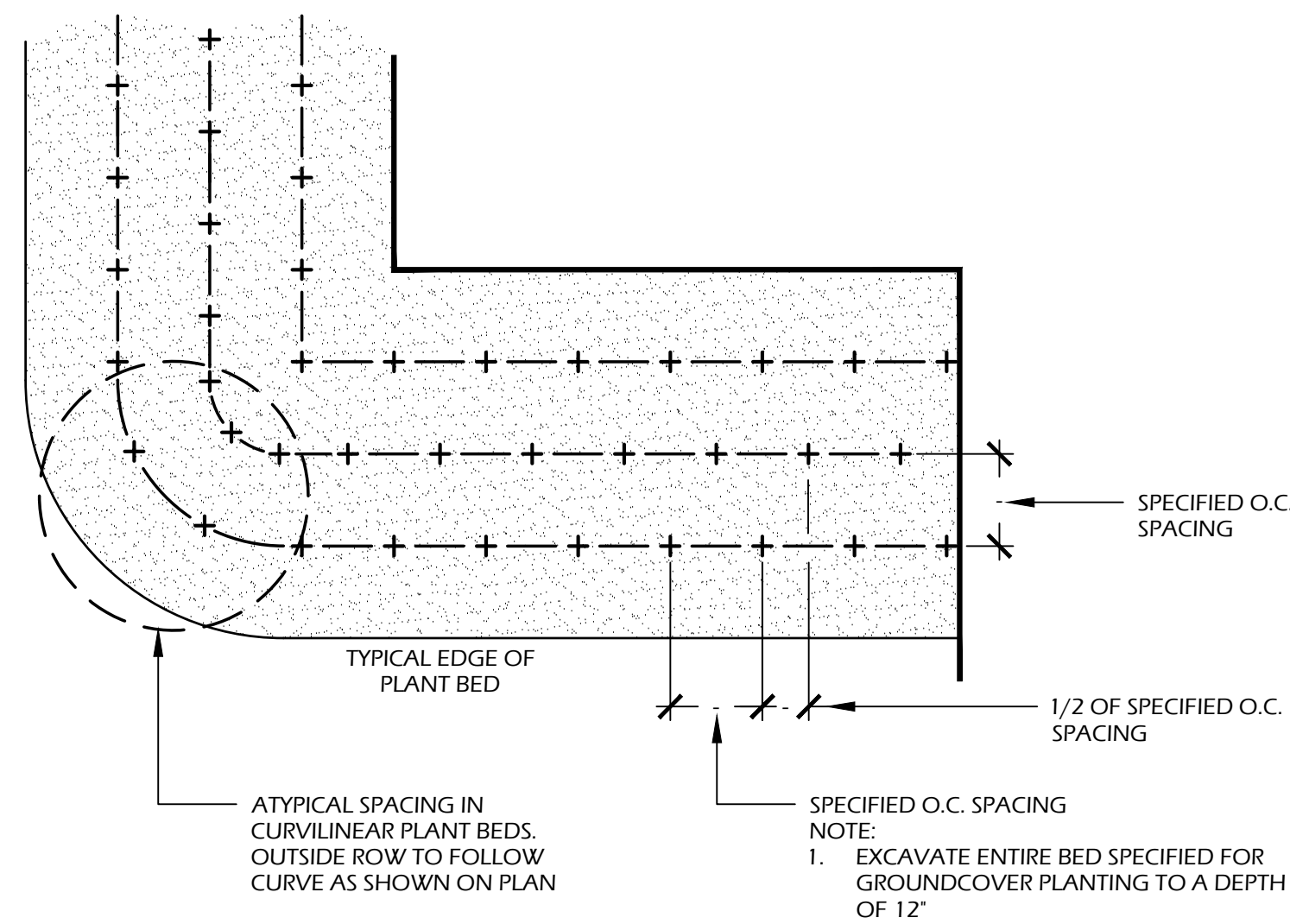
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
* 9	QUEH	Quercus virginiana 'OVITA' PP 11219 Highrise	High Rise Live Oak	14'-16'	6'-8'	Cont.	4"	Full
** 39	SABP	Sabal palmetto	Cabbage Palm	10'-16'	-	Cont.	-	Refoliated - optional, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
** 3	MAGV	Magnolia virginiana	Sweetbay Magnolia	8'-10'	4'-5'	30 gal.	1' Cal. min.	Full
SHRUBS								
56	AZAE	Azalea x encore	Encore Azalea	24'-30"	24'-30"	7 gal.	-	Full
13	DICG	Distylium 'Cinnamon Girl' (PIDIST-V PP27,631)	Cinnamon Girl Distylium	24'-30"	24'-30"	7 gal.	-	Full
37	DISB	Distylium 'Blue Cascade' (PIDIST-II PP24409)	Blue Cascade Distylium	24'-30"	24'-30"	7 gal.	-	Full
6	GARR	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	10'-16"	10'-16"	3 gal.	-	Full
62	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
10	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
196	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24"	16'-20"	7 gal.	-	Full
25	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
138	CYRF	Cytomium falcatum	Holly Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
63	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
90	ANNL	Annuals	Annuals	6'-8"	6'-8"	quart	8" O.C.	Full; Seasonal Color
17	FICP	Ficus pumila	Creeping Fig	4'-6"	8'-12"	1 gal.	24" O.C.	Full
454	LIRS	Liriope muscari 'Super Blue'	Super Blue Liriope	12'-16"	8'-12"	1 gal.	18" O.C.	Full
13	TRAJ	Trachelospermum jasminoides	Confederate Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
10,300	SODSF	-	Empire Zoysia Sod	-	-	-	-	-
15,000	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

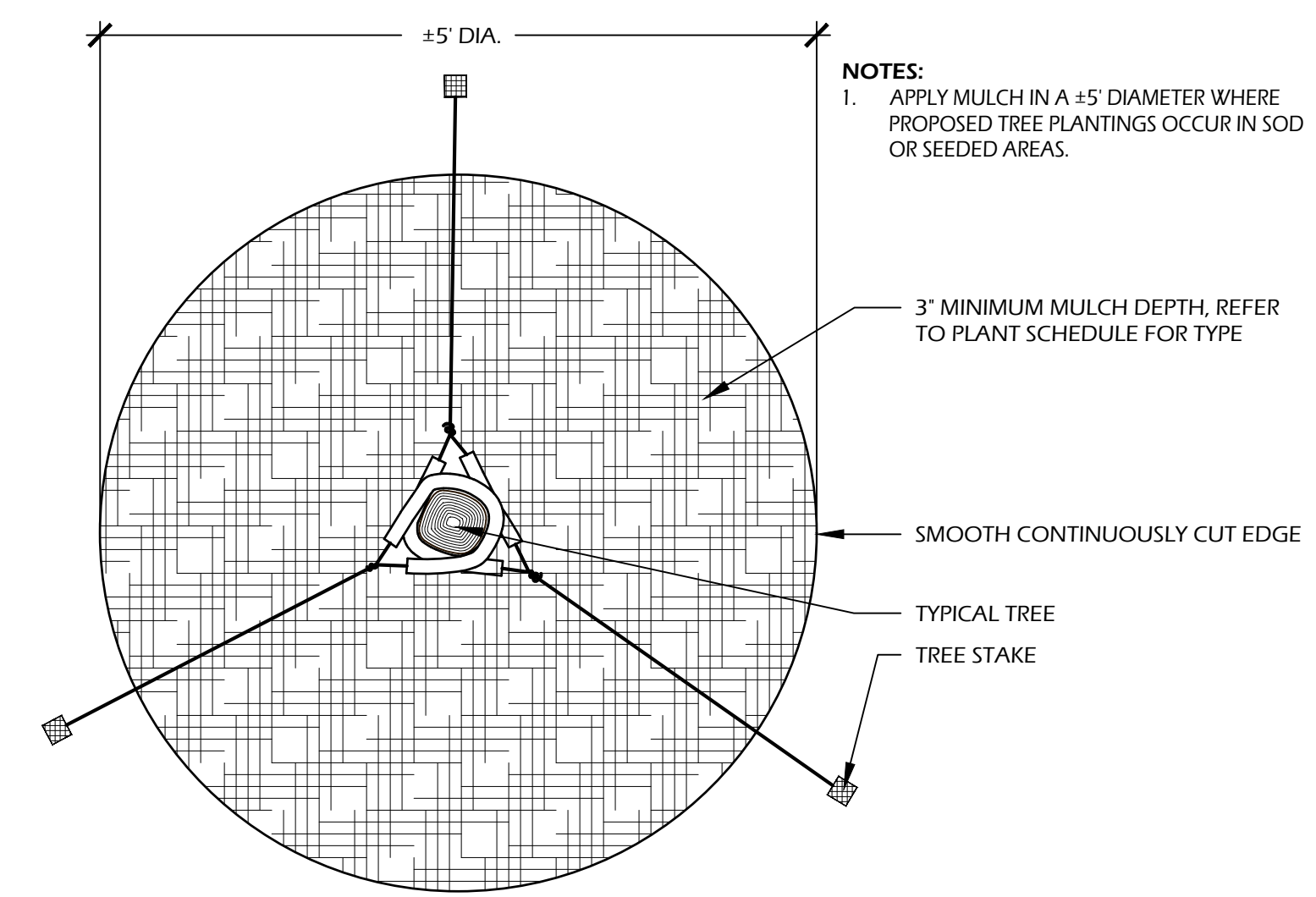
PLANT TABLE:

Species Abbrev.	Trees Removed							
	LO	LA	MAG	GUM	PLM	PN	PN LOB	CM
Galiper Inches	10	6	8	9	12	6	24	3
	11	6	7		12	8		2
		6			14	9		2
		7				9		3
						10		4
						10		
						10		
						12		
						12		
						15		
						19		
						17		
						17		
						17		
						19		
						20		
						21		
						22		
						24		
Species DBH Totals	21	25	8	9	38	290	24	14
Total DBH Inches Per Cat	54			9		352		14

TREE LEGEND: LO-Live Oak, LA-Laurel Oak, MAG-Magnolia, GUM-Sweet Gum, PLM-Palmetto, PN-Pine, PN LOB-Loblolly Pine, CM-Cape Myrtle

	Tree Mitigation Calculations			
	CAT. I	CAT. II	CAT. III	CAT. IV
# OF TREES TO BE REMOVED	7	1	24	5
TOTAL # OF DBH INCHES	54	9	352	14
CALCULATION	54 ÷ 10 = 5.4	9 ÷ 10 = 0.9	352 ÷ 10 = 35.2	14 ÷ 10 = 1.4
# OF NEW TREES REQUIRED	5	1	35	1
# OF NEW TREES PROVIDED	5	1	35	1

- NOTE:**
- CAT. I AND CAT. II TREE MITIGATION SATISFIED BY PLANTING OF 9 LIVE OAKS (QUEH). SEE PLANT SCHEDULE - *
- CAT. III AND CAT. IV MITIGATION SATISFIED BY PLANTING OF 33 SABAL PALMETTO (SABP) AND 3 SWEETBAY MAGNOLIA (MAGV). SEE PLANT SCHEDULE - **



5 // L501 TREE STAKING
SCALE: N.T.S.



© 2023 WJK LTD. DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD. THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

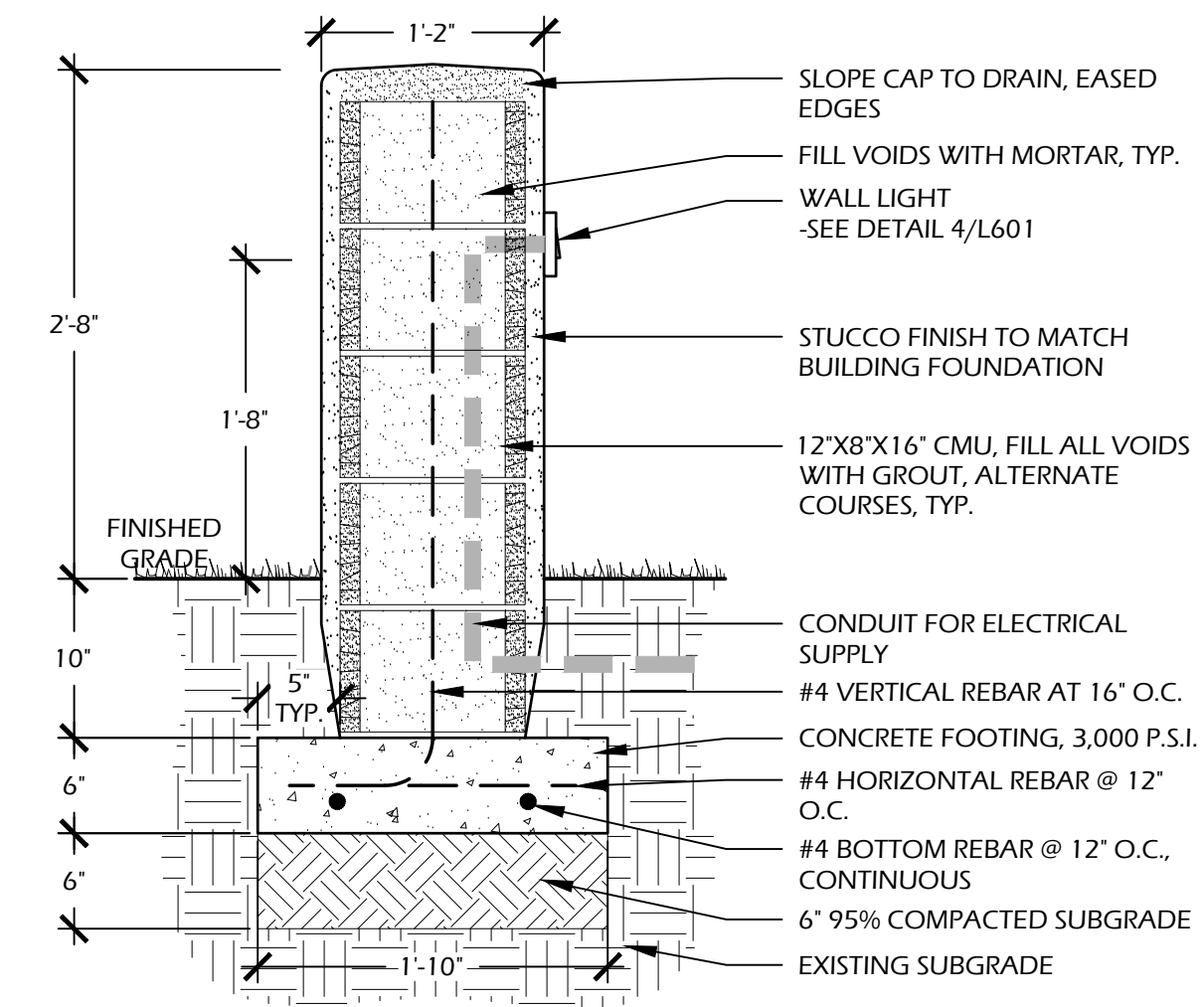
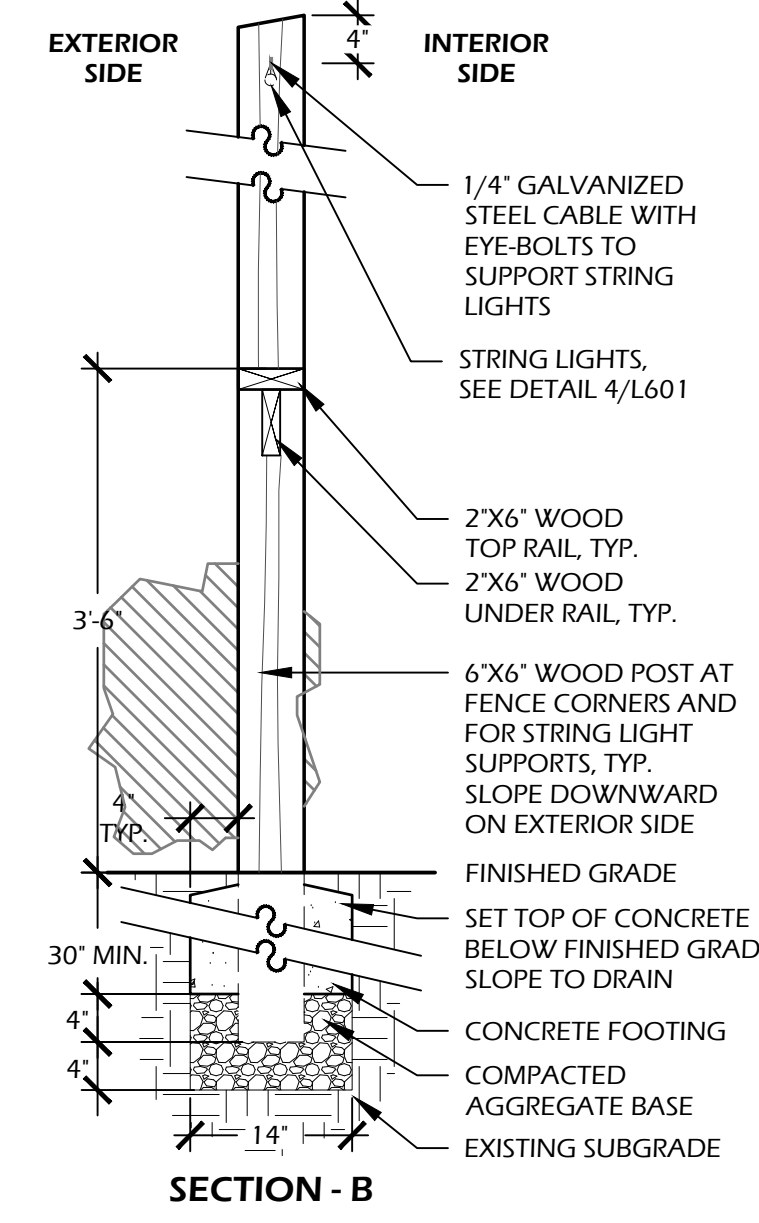
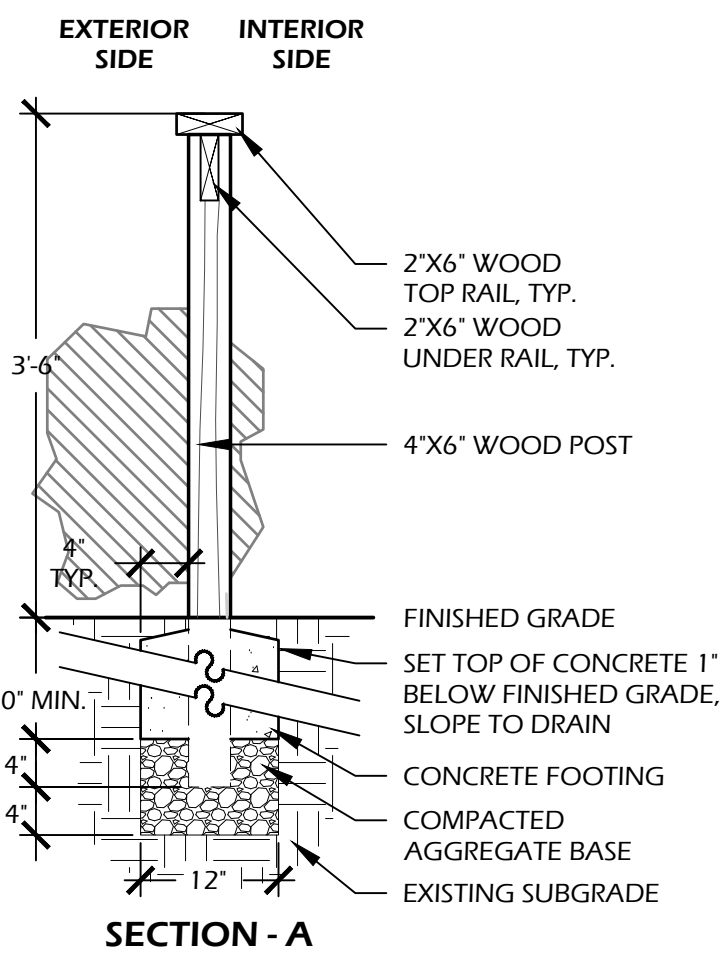
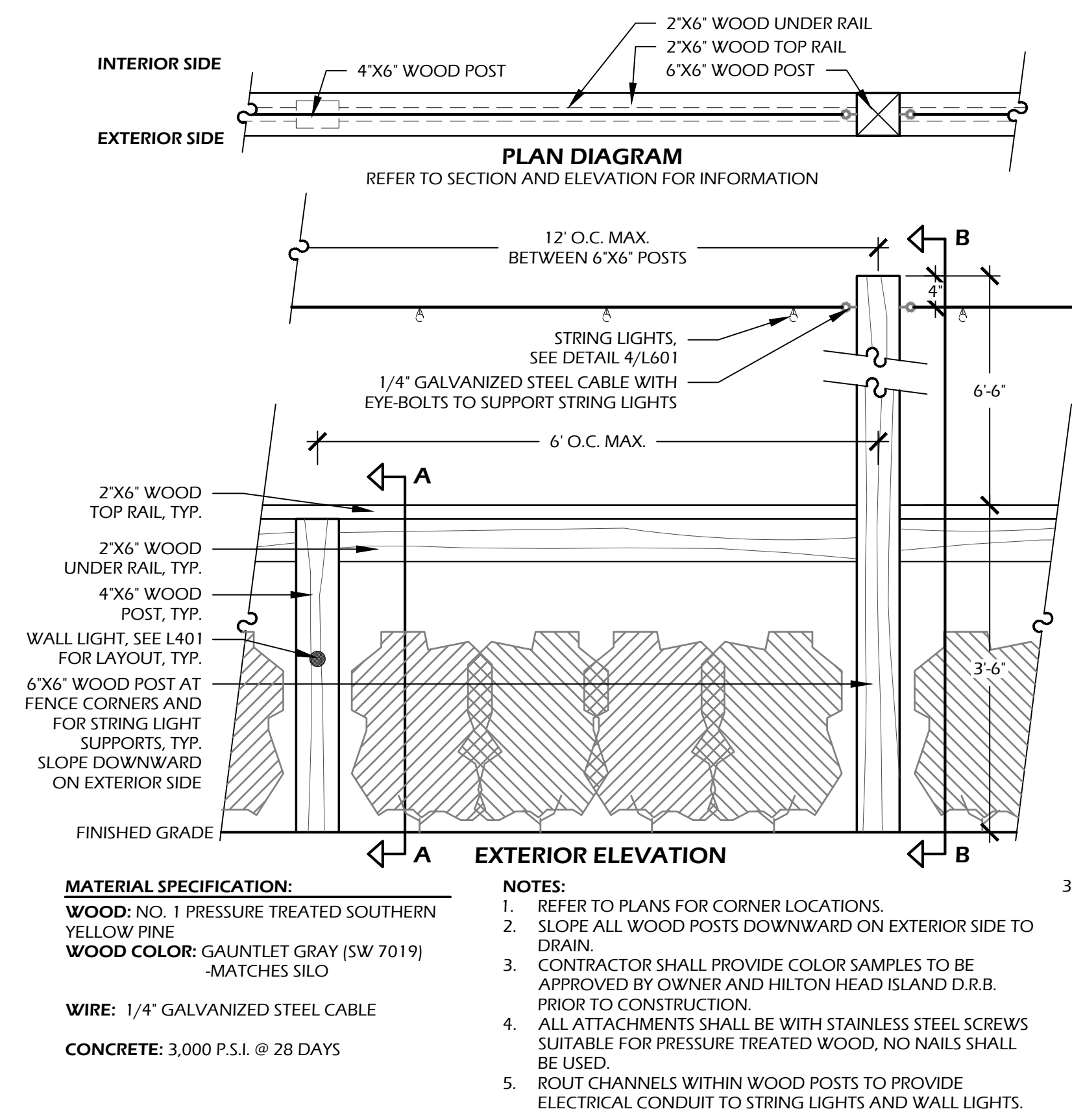
DATE: OCT 5, 2023
 PROJECT NO.: 23075.01
 DRAWN BY: JC
 CHECKED BY: DK

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

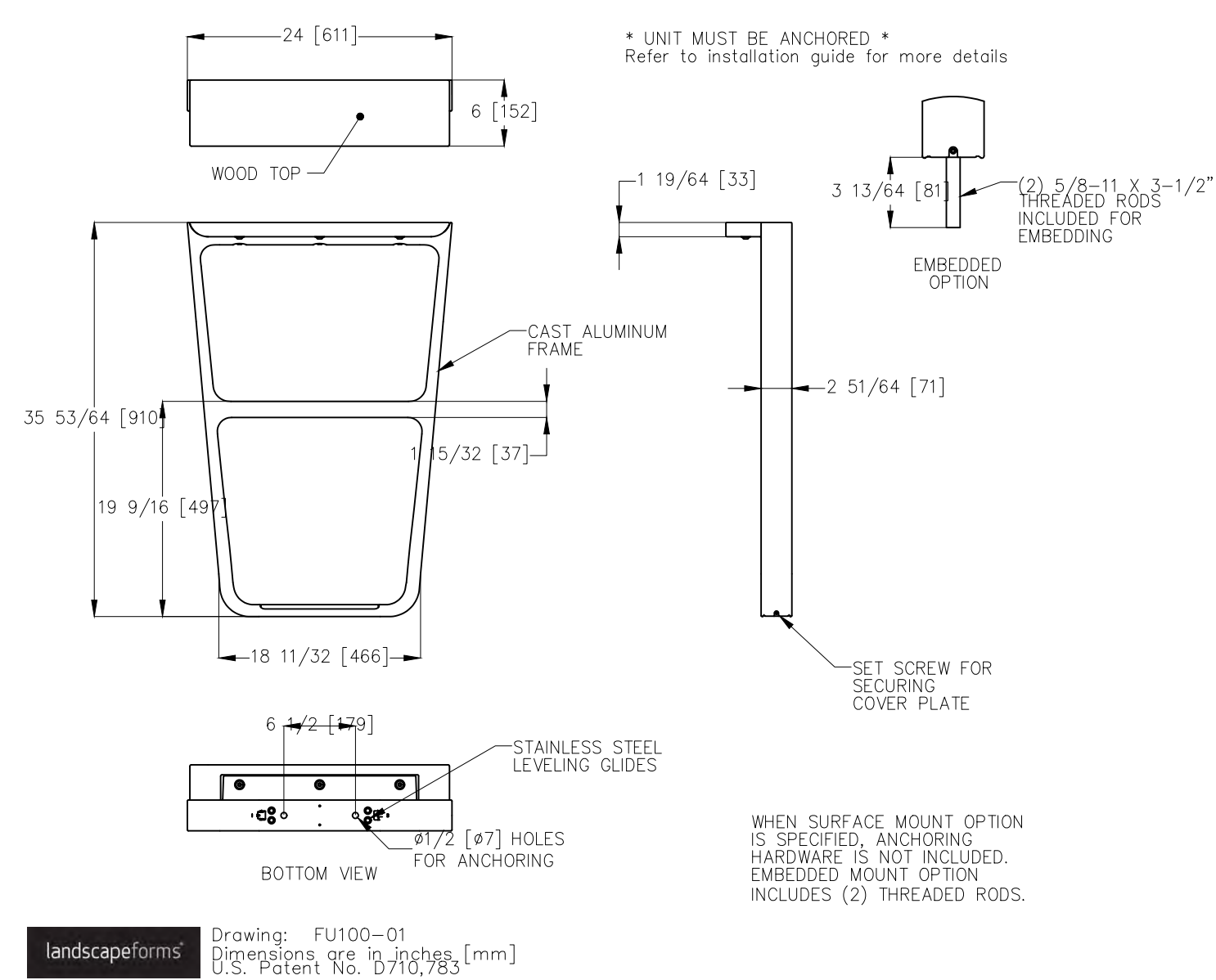
DRAWING NUMBER
L501



1 // L600 BEER GARDEN FENCE
SCALE: 1" = 1'-0"

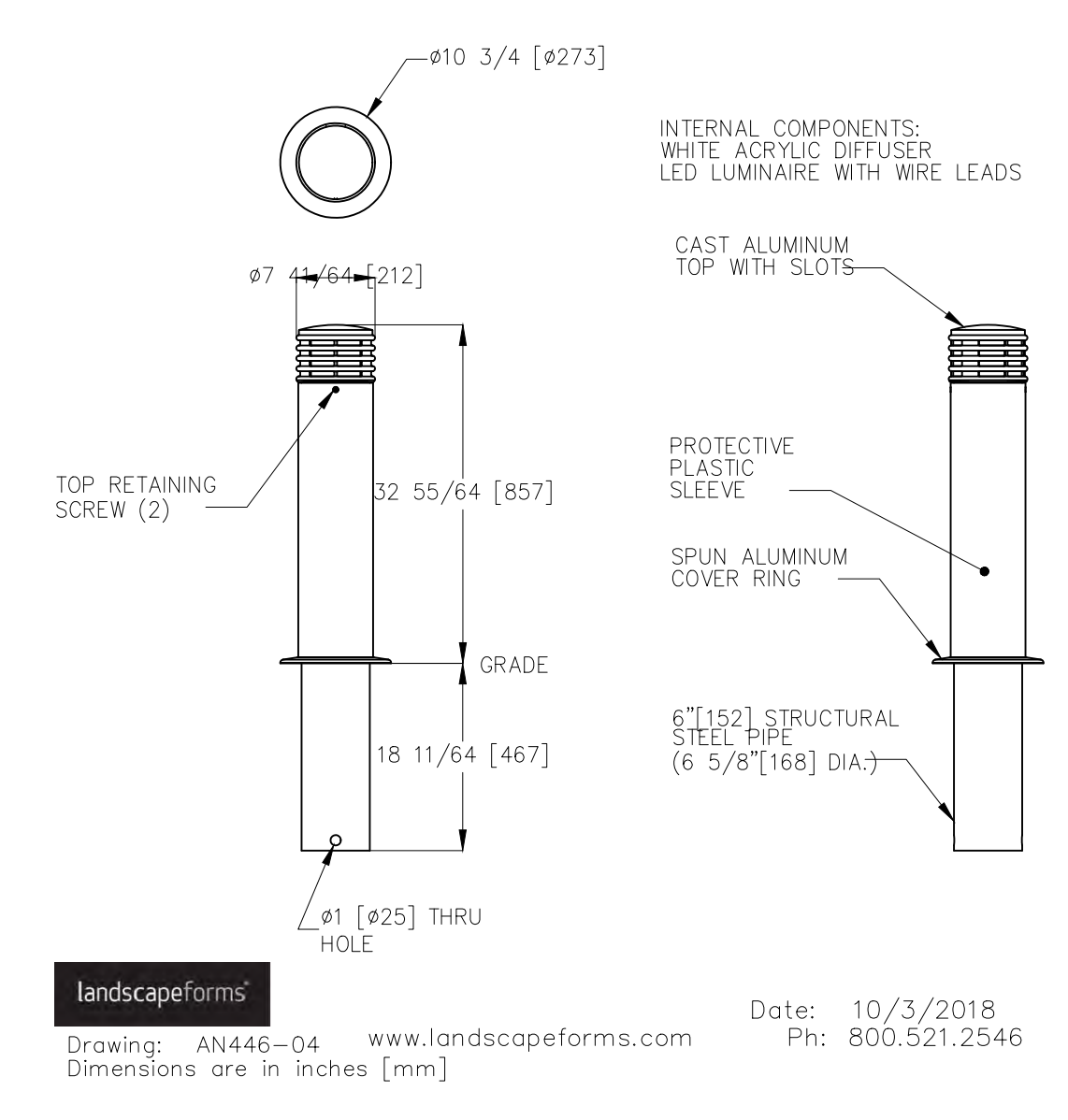
2 // L600 LOW WALL
SCALE: 1" = 1'-0"

MultipliCITY Bike rack, surface mount
 Product Drawing Date: 5/5/2015
 www.landscapeforms.com Ph: 800.521.2546



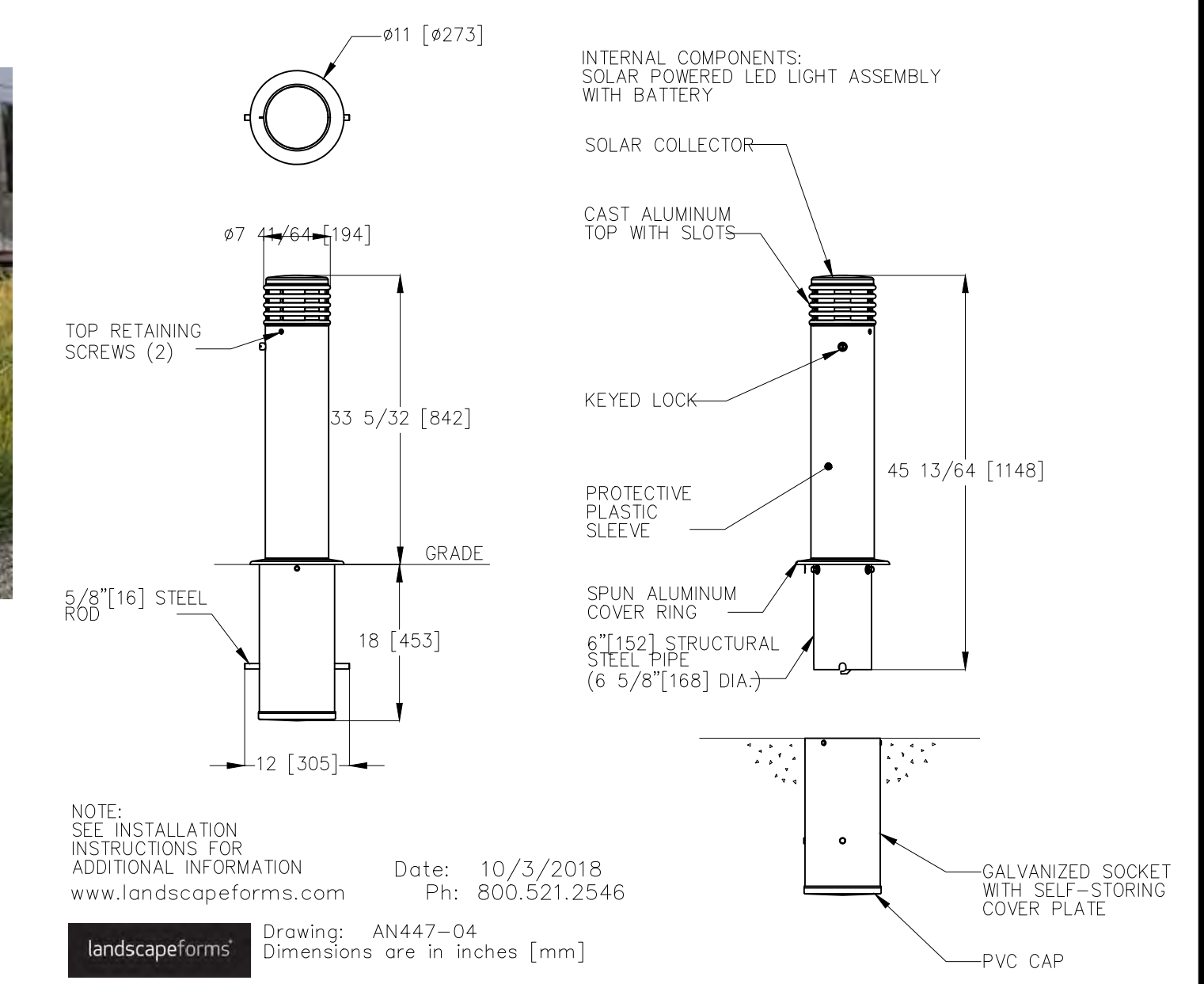
3 // L600 BIKE RACK
SCALE: NTS

Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
 Product Drawing



4 // L600 BOLLARD
SCALE: NTS

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
 Product Drawing



© 2023 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR
1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: OCT 5, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

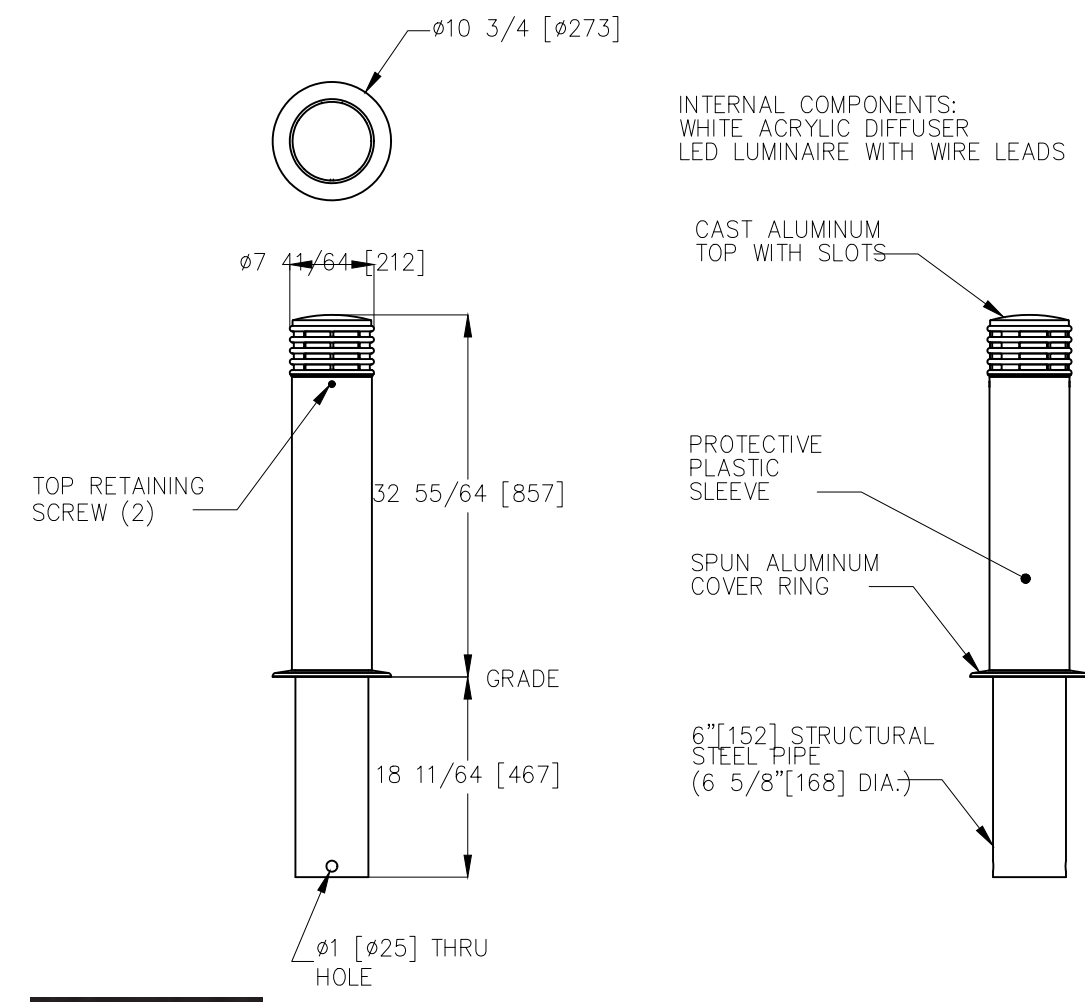
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER
L600

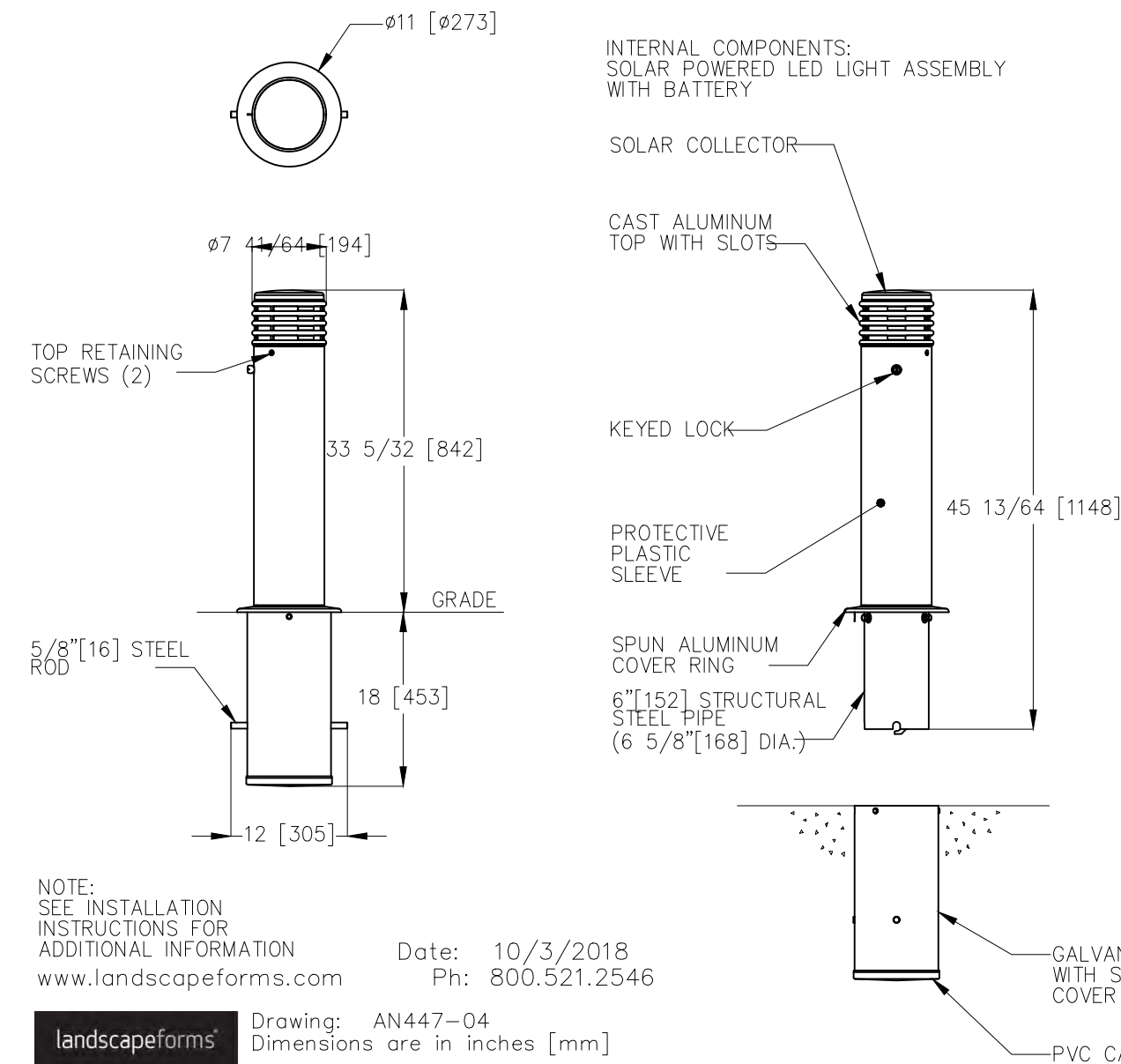
Annapolis™ Bollard, 6" diameter, Embedded, with LED Light and Sleeve
Product Drawing



MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: ONYX
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
OR APPROVED EQUAL

Annapolis™ Bollard, 6" diameter, Removable, with Solar Light and Sleeve
Product Drawing



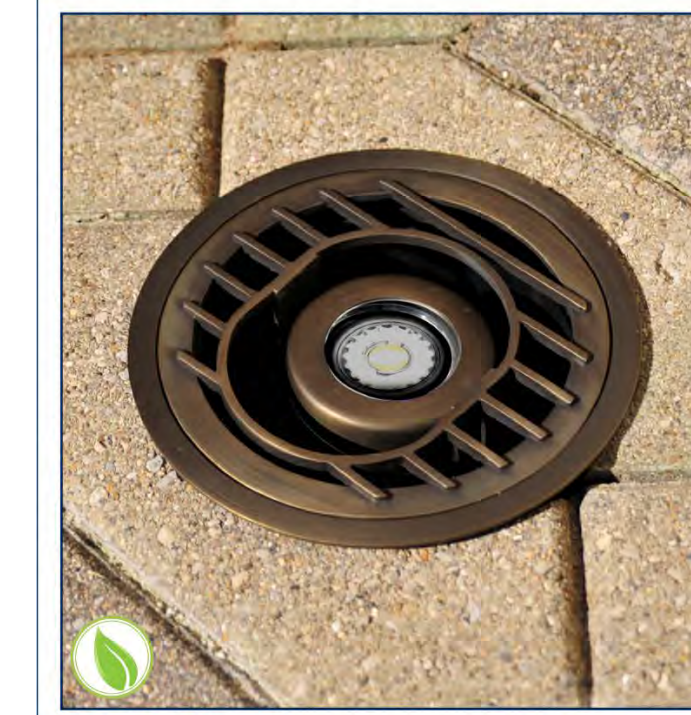
MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: ANNAPOLIS BOLLARD
COLOR: ONYX
OTHER INFO: EMBEDDED OR REMOVABLE OPTIONS
OR APPROVED EQUAL

landscapeforms
Drawing: AN446-04 www.landscapeforms.com
Dimensions are in inches [mm]
Date: 10/3/2018
Ph: 800.521.2546

1 // L601 BOLLARD LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET



LED OPTIONS:

- NITE-429BR3W MR-16**
 - Long Life - 40,000 Hrs
 - Energy Savings - 3 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 280lm
 - Beam Angle: 40°
- NITE-429BR5W MR-16**
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°
- NITE-429BR7W MR-16**
 - Long Life - 40,000 Hrs
 - Energy Savings - 7 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 650lm
 - Beam Angle: 40°
- NITE-5K429BR MR-16**
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Bright White
 - Color Temp: 5000°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°

Colored LED Lamps Available:

- NITE-429BR-A - Amber
- NITE-429BR-B - Blue
- NITE-429BR-R - Red
- NITE-429BR-G - Green

SPECIFICATIONS:

MODEL:	NITE-063
MOUNTING:	Direct Burial
FINISH:	Aged Brass
SOCKET:	Bi-pin
ELECTRICAL:	12V
LED:	3W, 5W, or 7W MR-16
GRADE:	Commercial

PRODUCT DESCRIPTION / APPLICATIONS:
Direct Burial Wall Light is designed primarily for commercial applications. The heavy duty fixture is recessed at grade and will keep debris away from the light source.



2 // L601 WELL LIGHT
SCALE: NTS

MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

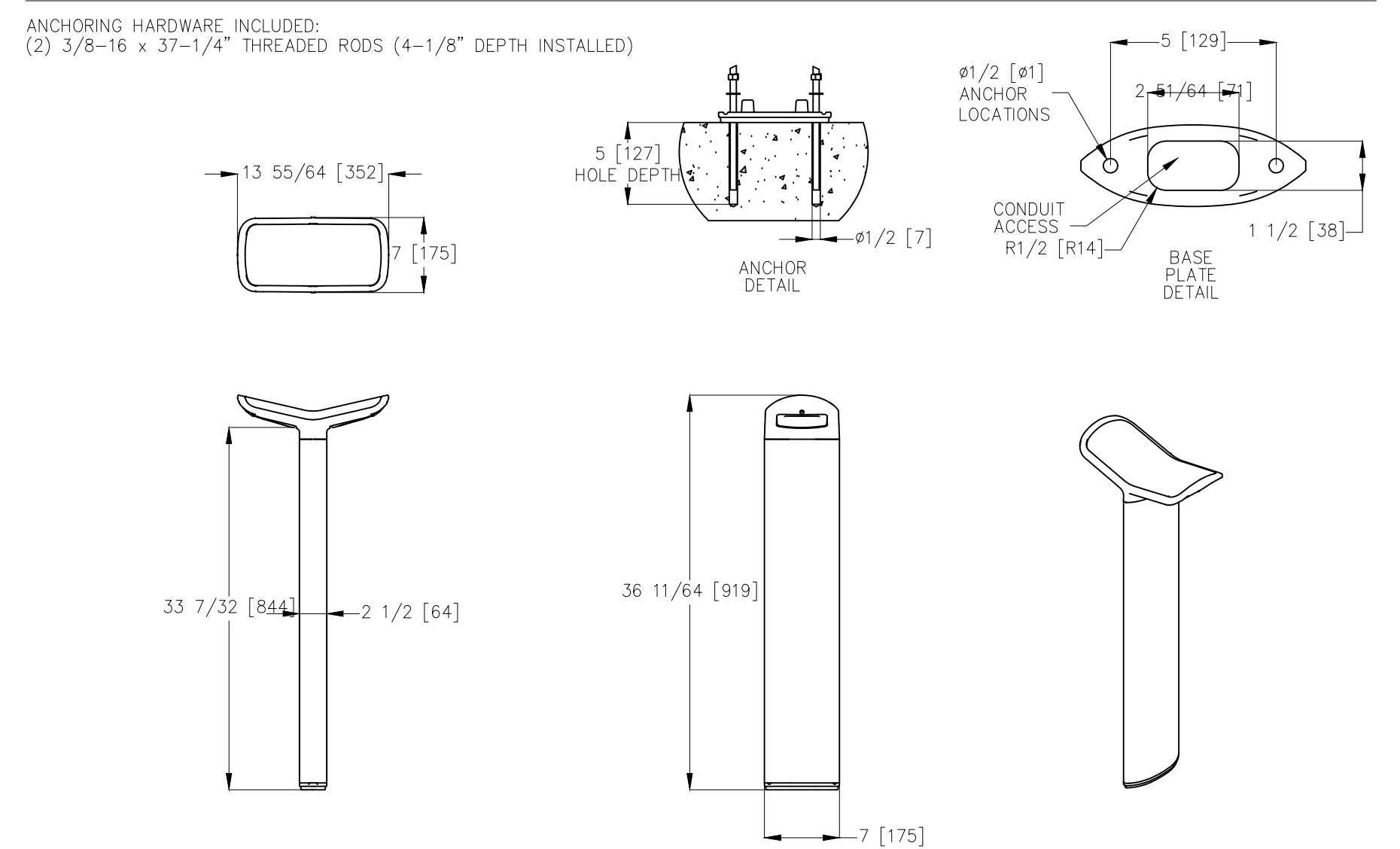
MODEL: MULTIPLICITY PATH LIGHT
COLOR: ONYX
OTHER INFO: TYPE 4 DISPERSION
OR APPROVED EQUAL



MANUFACTURER INFORMATION:
LANDSCAPE FORMS
7800 E. MICHIGAN AVENUE
KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: MULTIPLICITY PATH LIGHT
COLOR: ONYX
OTHER INFO: TYPE 4 DISPERSION
OR APPROVED EQUAL

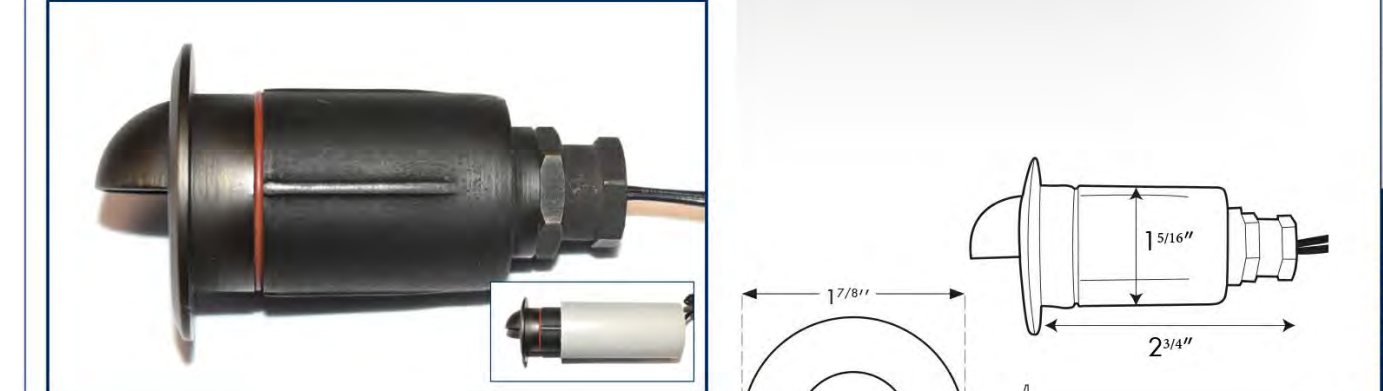
3 // L601 PATH LIGHT
SCALE: NTS



landscapeforms
Drawing: FU0003
Dimensions are in inches [mm]
U.S. Patent No. D700,730

3 // L601 PATH LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET



SPECIFICATIONS:

MODEL:	NITE-083 Mini Eyebrow Deck Light
MOUNTING:	Sleeve or Compression Fit with 1-5/16" Bit
FINISH:	Aged Brass
ELECTRICAL:	12V - 18" wire lead
LED:	2.5W LED [NITE-470]

PRODUCT DESCRIPTION / APPLICATIONS:
The Mini Deck Light is designed primarily for commercial and residential applications. The heavy duty fixture will add distinction to your project. The long life LED virtually eliminates replacing burned out lamps.

NOTES:
For compression fit: Use a 1-5/16" diameter bit, 3/8" shank, and 3/16" long, Stelex D2854 Forstner Bit, 1-5/16" recommended.



4 // L601 WALL LIGHT
SCALE: NTS

PRODUCT SPECIFICATION SHEET



LED OPTIONS:

- NITE-SL4W E26 Base**
 - Energy Savings - 4 Watts
 - Color: Warm White
 - Color Temp: 2700°K
- NITE-SL4WAMB E26 Base**
 - Energy Savings - 4 Watts
 - Color: Amber
- NITE-SL2WSM E26 Base (Mini 2W Bulb)**
 - Energy Savings - 2 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - DIMMABLE
- NITE-SL2WSMFR E26 Base (Mini 2W Frosted Bulb)**
 - Energy Savings - 2 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - DIMMABLE
- NITE-SL6W E26 Base (LOW VOLTAGE ONLY)**
 - Energy Savings - 6 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - DIMMABLE

SPECIFICATIONS:

MODEL:	NITE-SL104
SOCKET:	Medium Base
LENGTH:	104 ft. [4ft. lead/100 ft. lit length]
SOCKET SPACING:	24" in.
WIRE COLOR:	Black
ELECTRICAL:	120 V
LED:	NITE-4W, NITE-4WAMB, NITE-2WSM, NITE-2WSMFR, NITE-6W (Low Voltage)
GRADE:	Commercial

PRODUCT DESCRIPTION / APPLICATIONS:
Commercial-grade patio string lights. PVC encapsulated sockets are resistant to UV lighting. Socket lips designed with a tight, weather-resistant seal around the bulbs.



5 // L601 STRING LIGHT
SCALE: NTS



© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"x36"

1014 WM. HILTON PARKWAY
CONCOURSE HILTON HEAD
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: OCT 5, 2023
PROJECT NO.: 23075.01
DRAWN BY: JC
CHECKED BY: DK

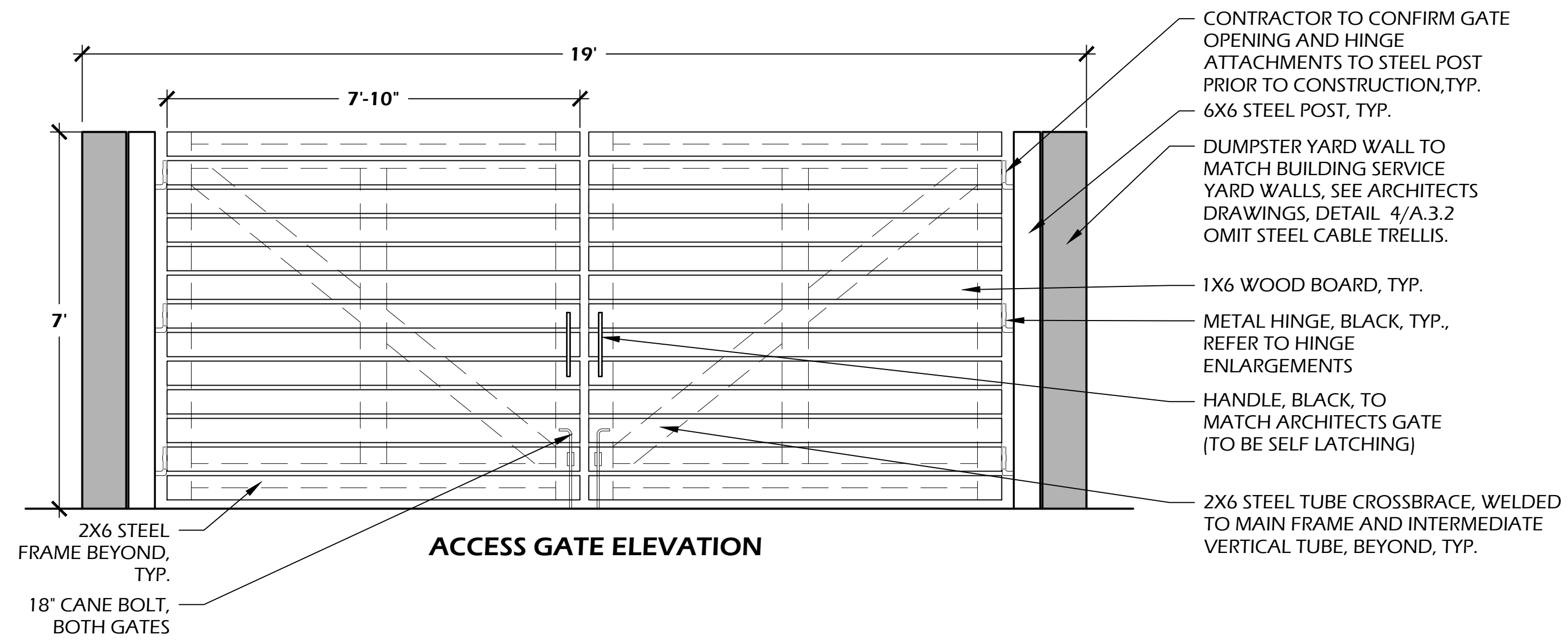
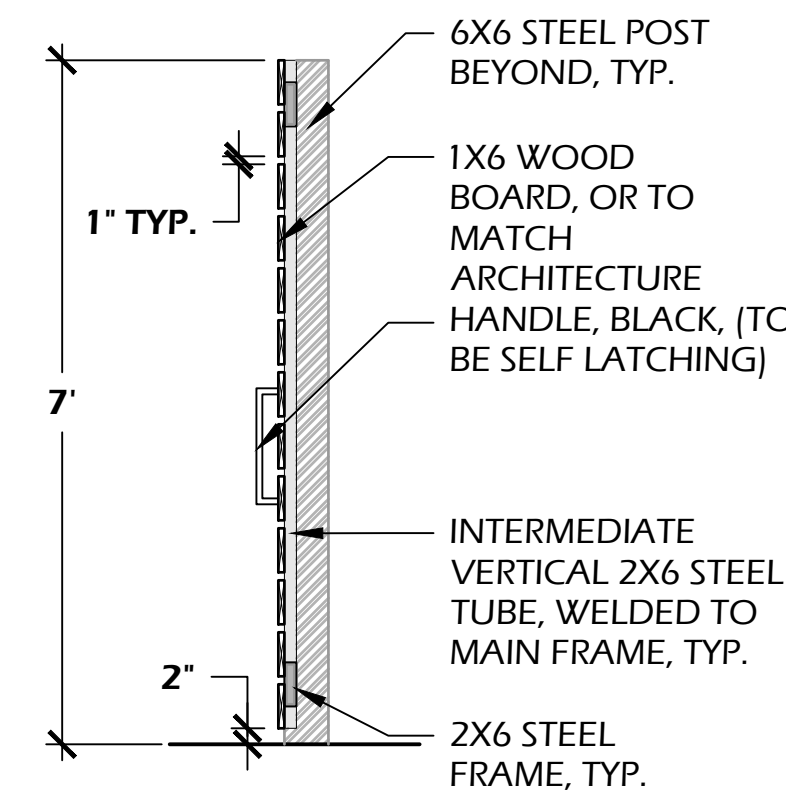
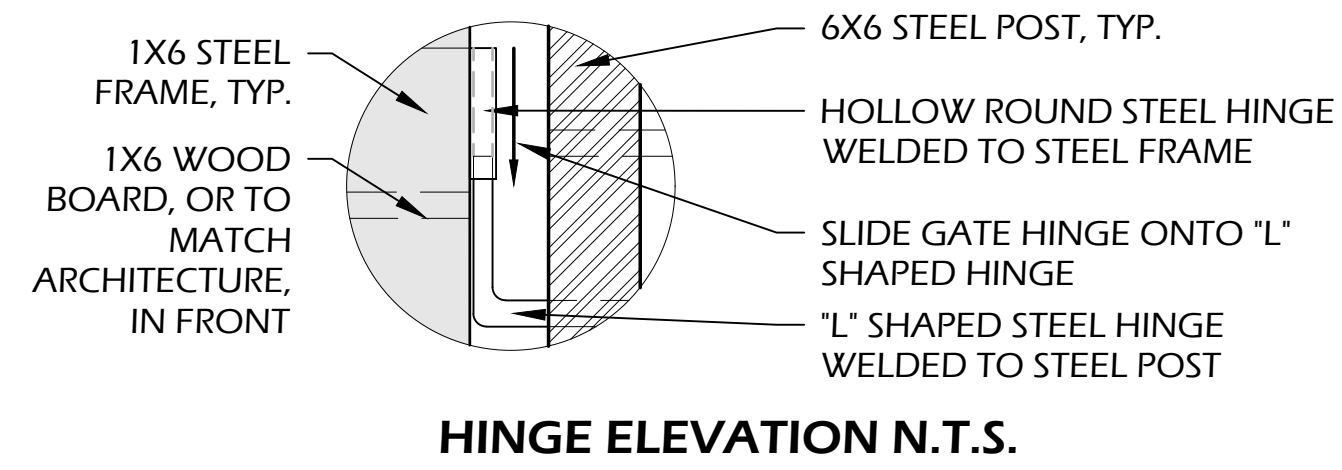
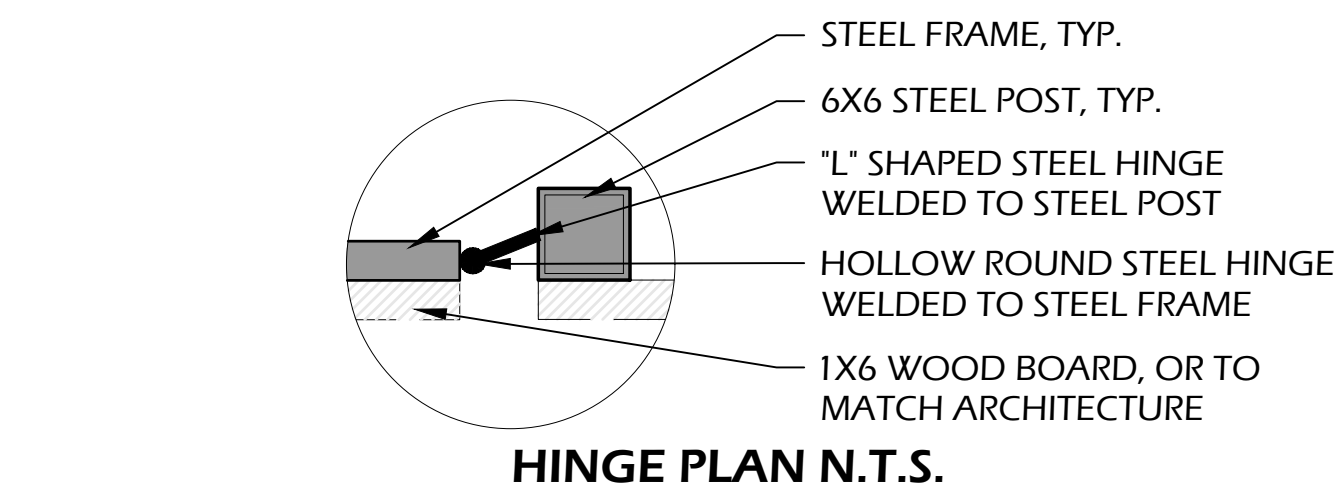
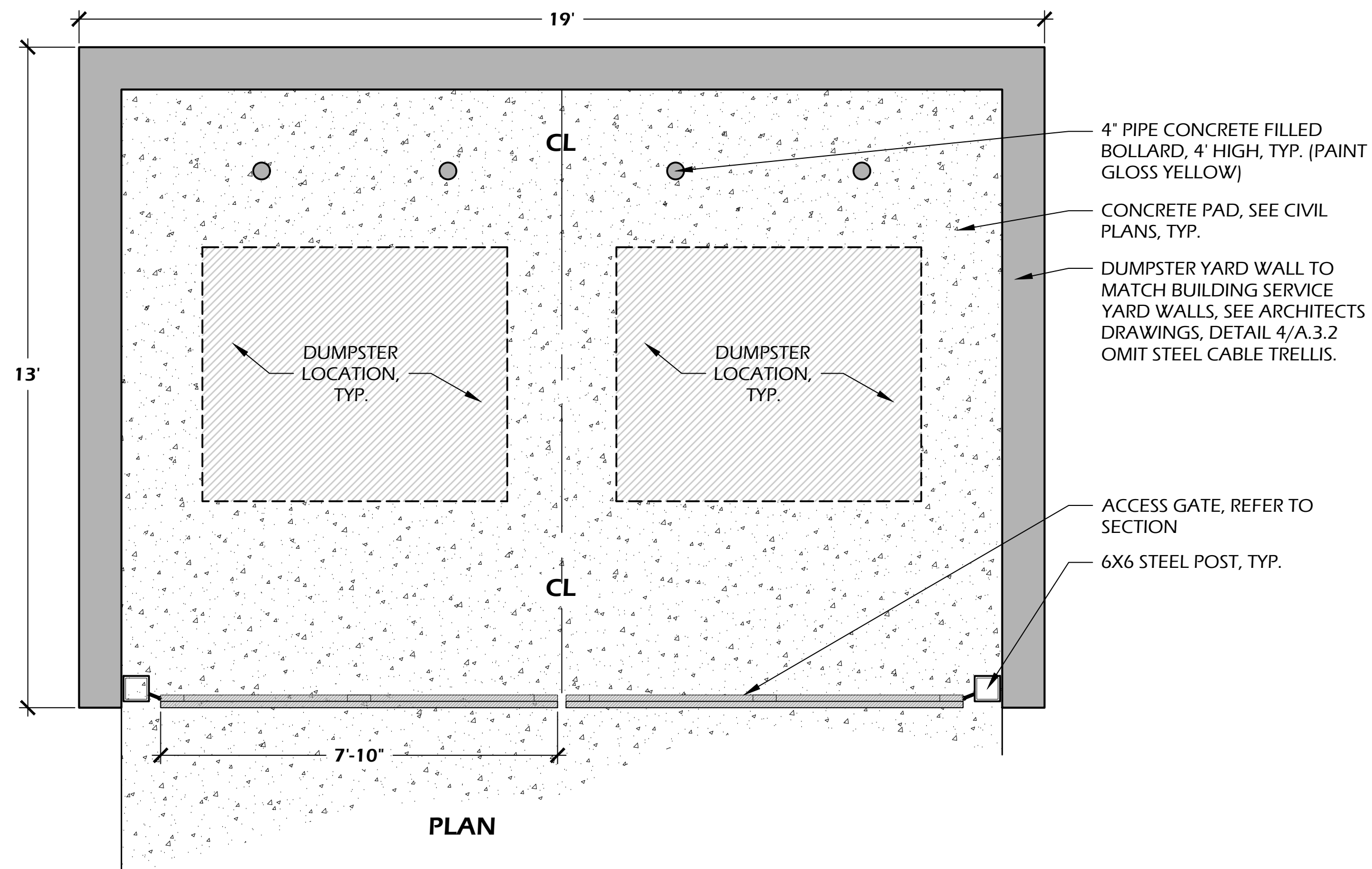
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

L601



- NOTES:
1. PRIOR TO FABRICATION VERIFY ROAD/DRIVE GRADES AND CLEARANCE FOR GATE OPENING. VERIFY SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO GATE OPENING WIDTHS.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STRUCTURAL DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 3. ALL LUMBER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE. COLOR TO MATCH BUILDING COLOR - DORIAN GRAY (SW 7017).
 4. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 5. CONTRACTOR TO PROVIDE SAMPLE OF ALL METAL ATTACHMENTS, HINGES, ETC. TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION. COLOR TO BE BLACK.
 6. ALL STEEL FRAMING, BOLLARDS, AND POSTS TO HAVE POWDER COATED PAINT TO MATCH WOOD - DORIAN GRAY (SW 7017). COLOR TO BE HOT-DIPPED GALVANIZED STEEL.

1 // L602 DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"

SITE DEVELOPMENT PLANS
 FOR
1014 WM. HILTON PARKWAY
 CONCOURSE HILTON HEAD
 HILTON HEAD ISLAND, SOUTH CAROLINA

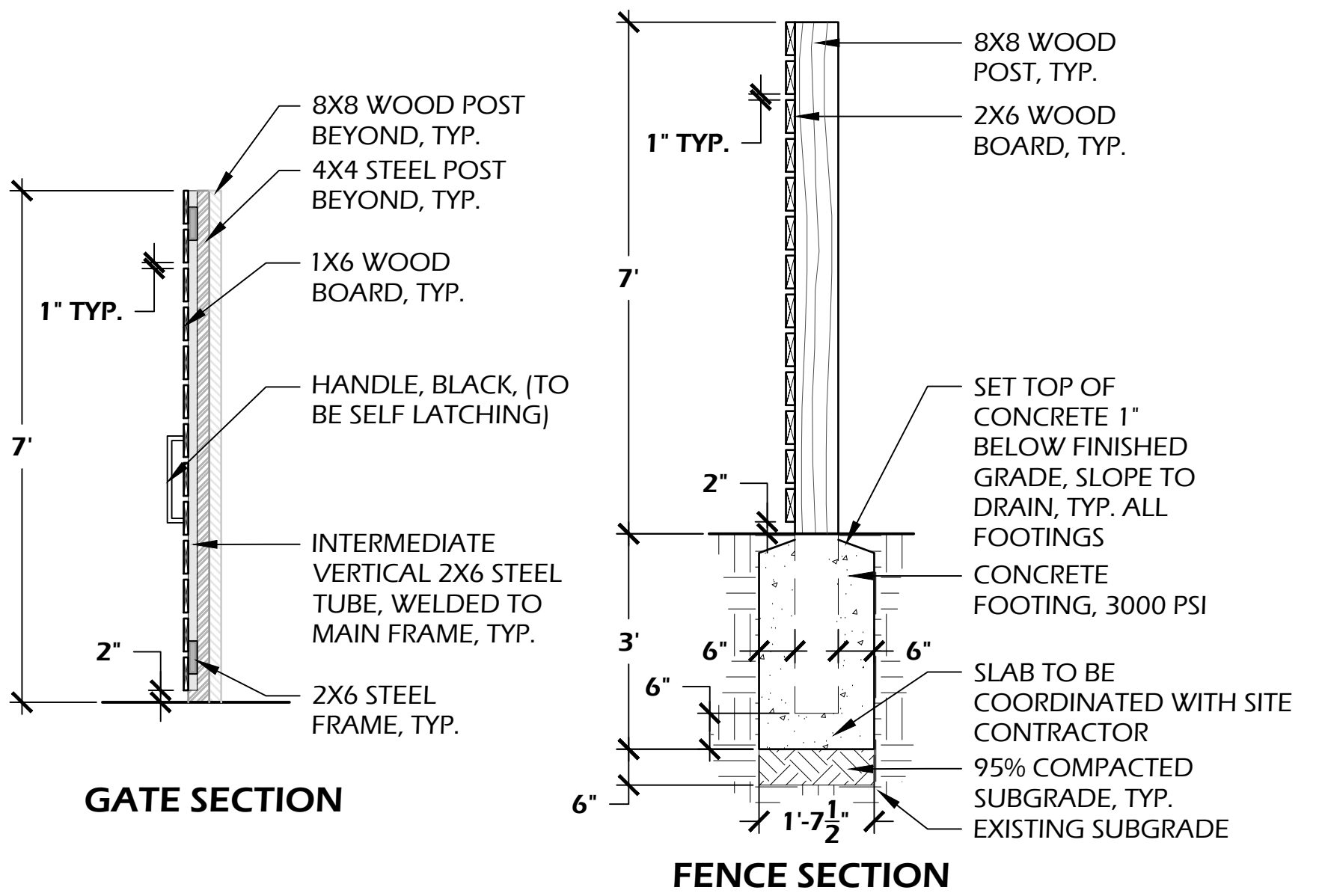
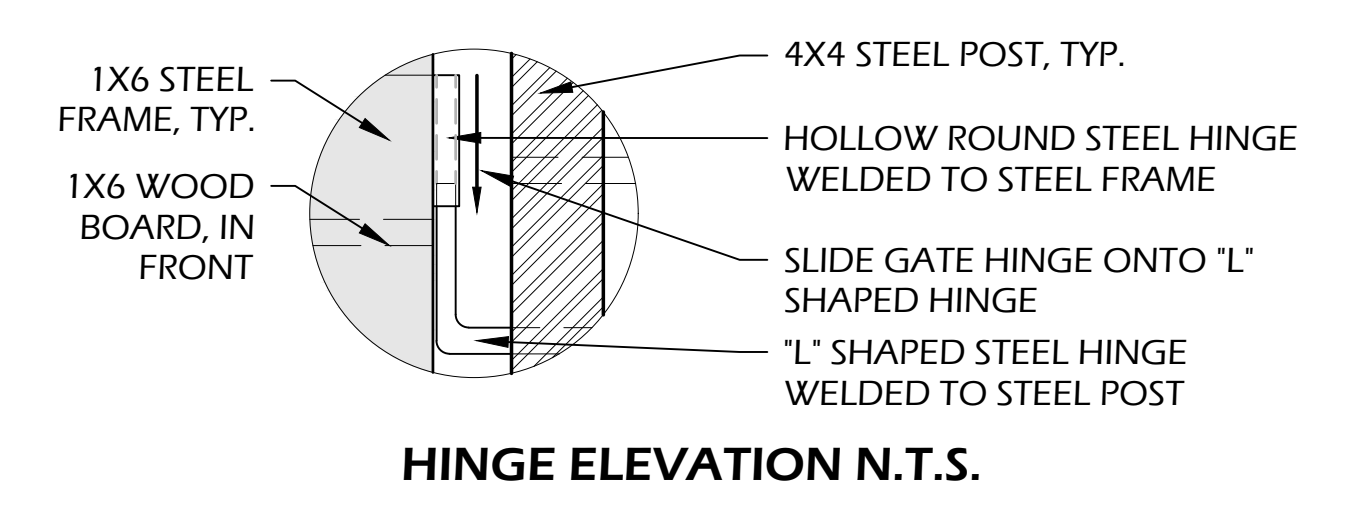
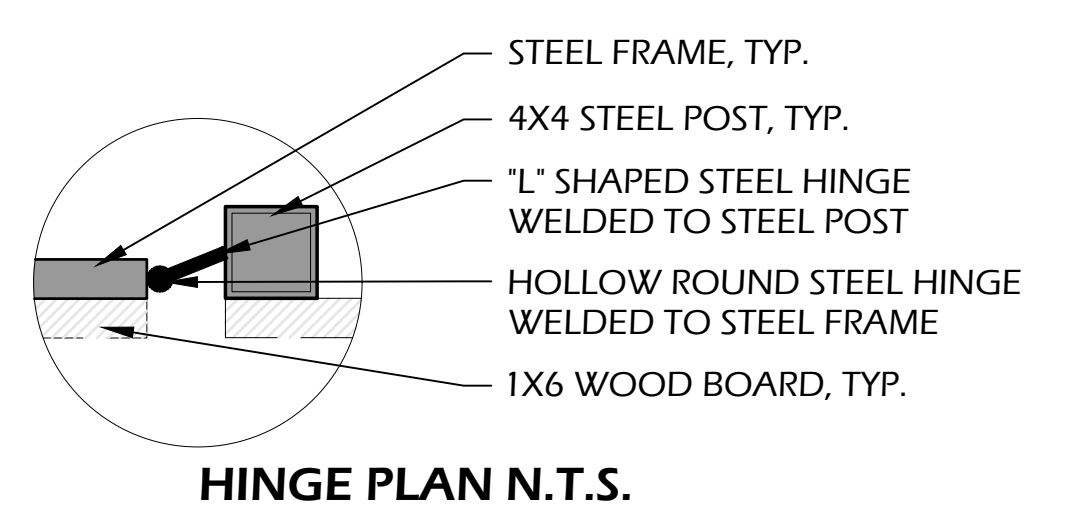
DATE:	OCT 5, 2023
PROJECT NO.:	23075.01
DRAWN BY:	JC
CHECKED BY:	DK

**DPR SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION**

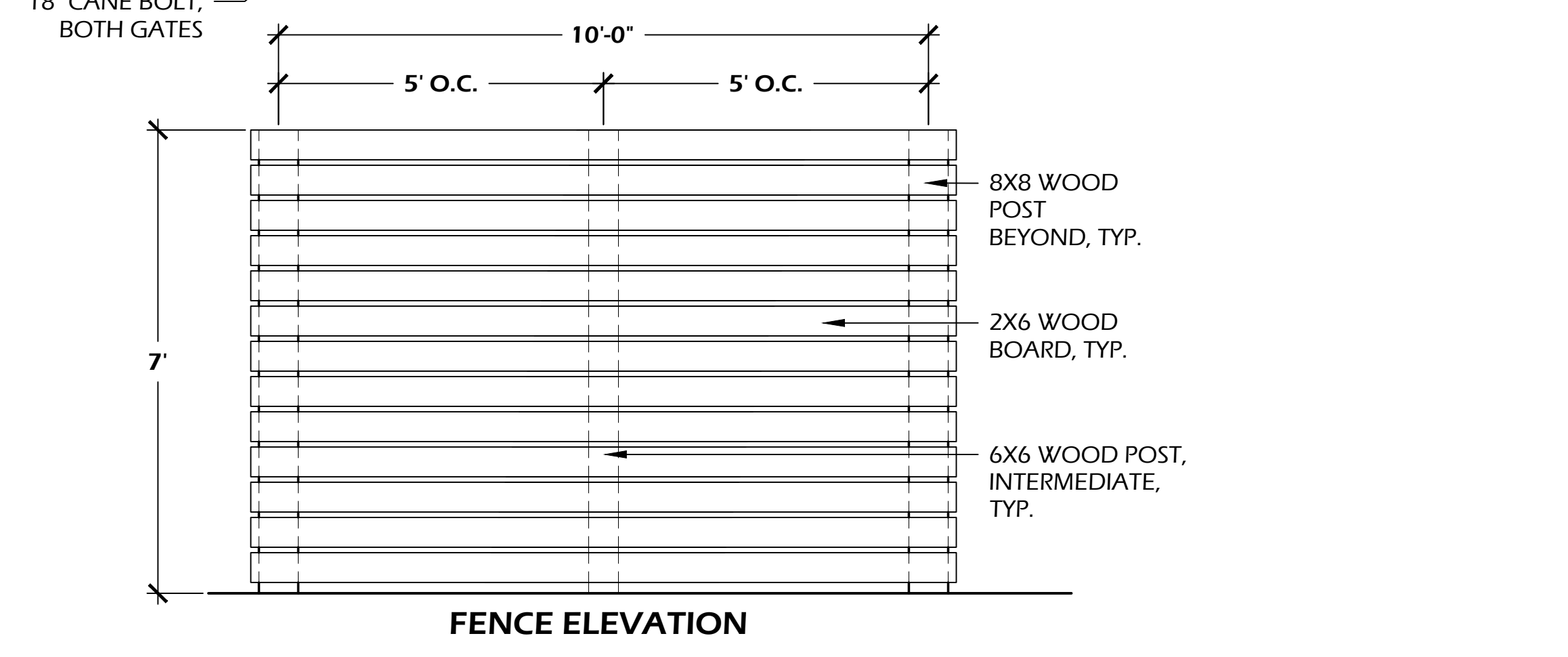
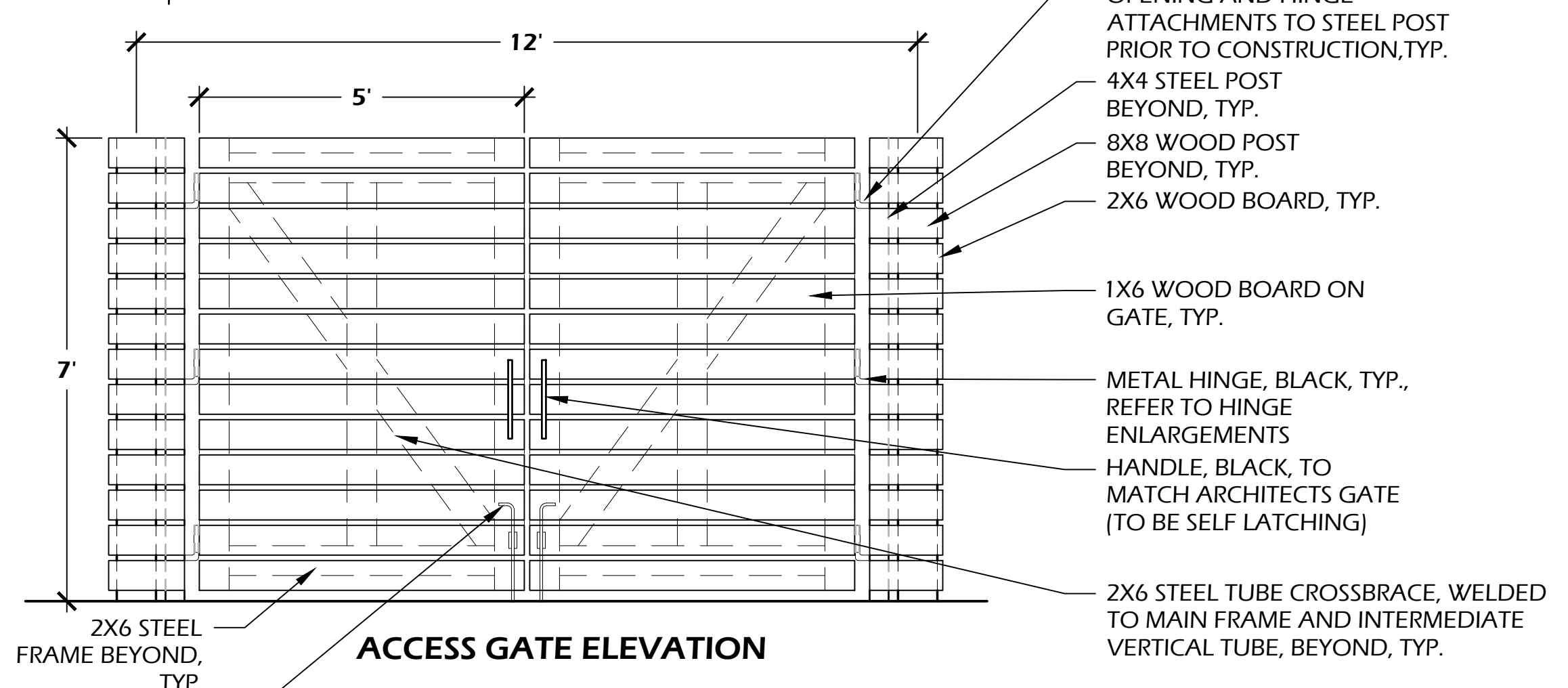
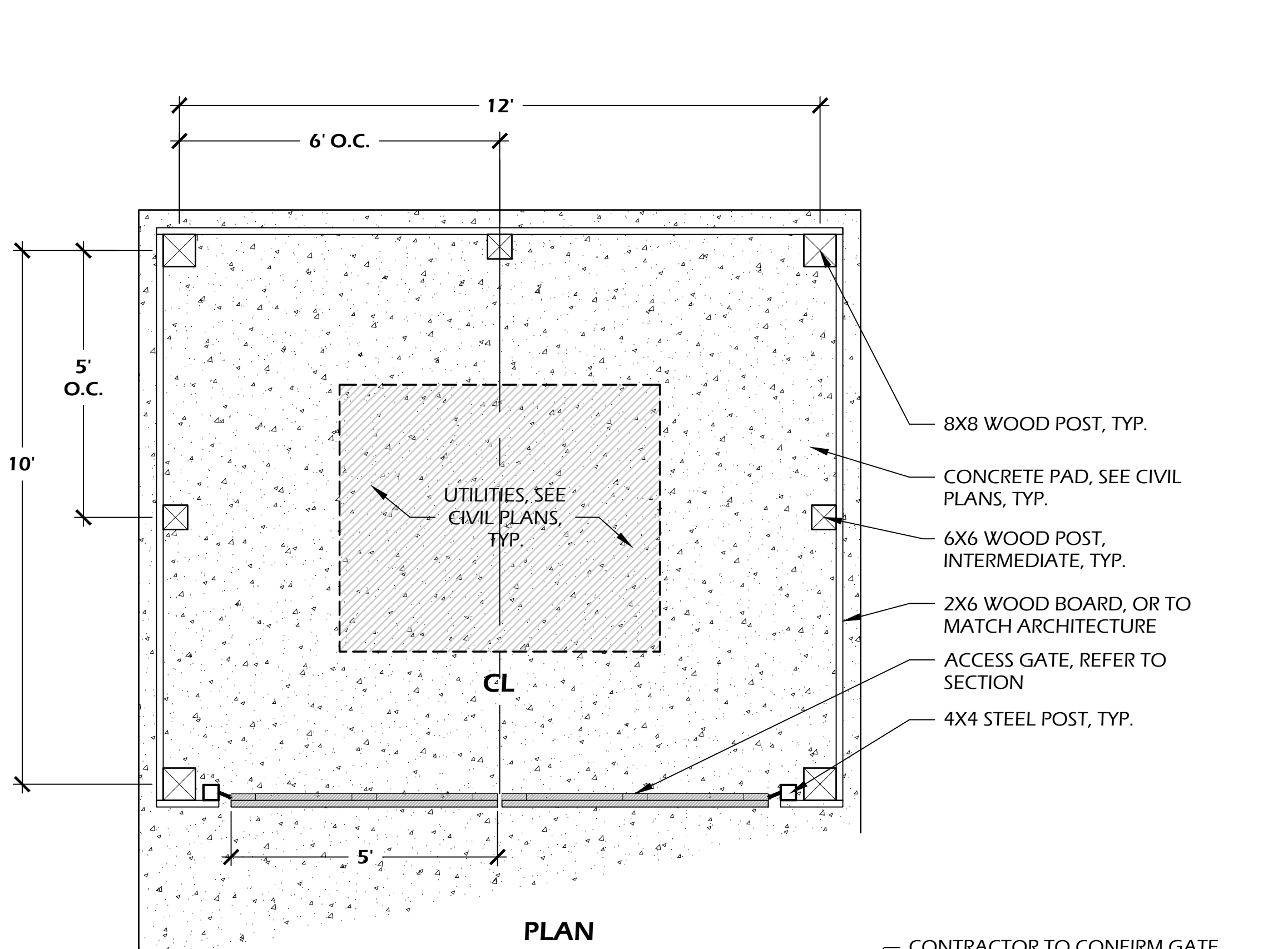
REVISIONS:

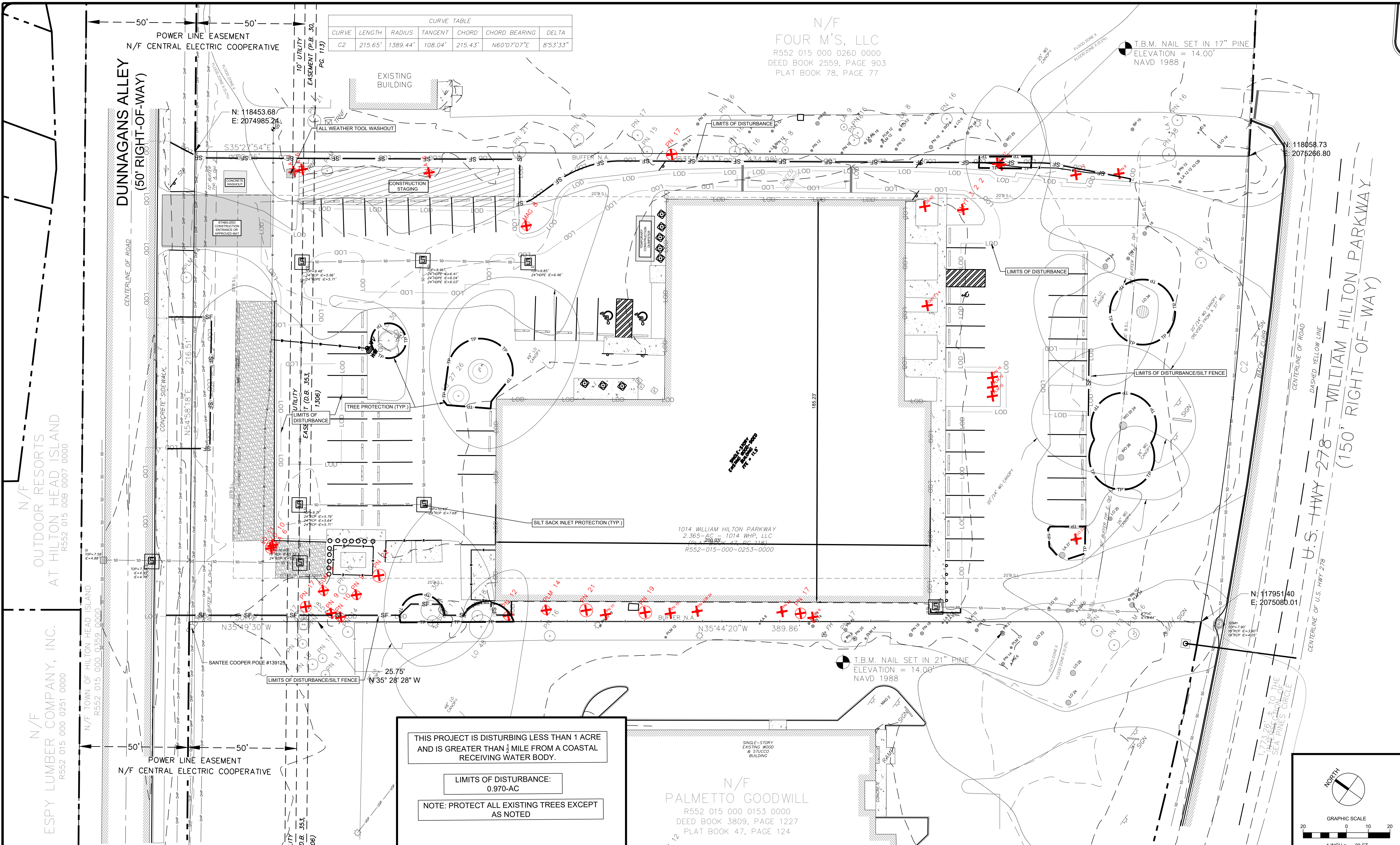
DRAWING TITLE
SITE DETAILS

DRAWING NUMBER
L603



- NOTES:**
1. PRIOR TO FABRICATION VERIFY ROAD/DRIVE GRADES AND CLEARANCE FOR GATE OPENING. VERIFY SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO GATE OPENING WIDTHS.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STRUCTURAL DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 3. ALL LUMBER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE. COLOR TO MATCH BUILDING COLOR - DORIAN GRAY (SW 7017).
 4. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 5. CONTRACTOR TO PROVIDE SAMPLE OF ALL METAL ATTACHMENTS, HINGES, ETC. TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE PRIOR TO ORDERING AND INSTALLATION. COLOR TO BE BLACK.
 6. ALL STEEL FRAMING, BOLLARDS, AND POSTS TO HAVE POWDER COATED PAINT TO MATCH WOOD - DORIAN GRAY (SW 7017). COLOR TO BE HOT-DIPPED GALVANIZED STEEL.





CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C2	215.65'	1389.44'	108.04'	215.43'	N60°07'07"E	8°53'33"

THIS PROJECT IS DISTURBING LESS THAN 1 ACRE AND IS GREATER THAN 1/2 MILE FROM A COASTAL RECEIVING WATER BODY.

LIMITS OF DISTURBANCE: 0.970-AC

NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

SWPPP NOTES:

- REFERENCE SWPPP NOTES ON SHEET C0.1.
- REFERENCE SCDHC STANDARD NOTES ON SHEET C0.1.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- WHEN ACCESSING SITE, PROVIDE A 100' LONG BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 6" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MASONRY INLETS SHALL BE LEFT LOW ENOUGH, DURING CONSTRUCTION, FOR WATER TO ENTER.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY ONE (21) DAYS.
- ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLLOWING: THE GROUND PREPARATION, FURNISHING AND PLANTING, SEEDING, FERTILIZING AND MULCHING OF ALL DISTURBED AREAS IN THE PROJECT AREA.
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
- INSTALL PARKING AREA.
- PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.
- REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

SEQUENCE OF CONSTRUCTION

PHASE I

- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. MAINTAIN THROUGHOUT CONSTRUCTION.
- INSTALL TREE PROTECTION.
- INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.
- REMOVE TREES AS SHOWN PER PLAN.
- COMPLETE DEMOLITION AS PER C1.0
- BEGIN BUILDING CONSTRUCTION.
- INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
- INSTALL PARKING AREA.
- PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.
- REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

LEGEND

- SF SILT FENCE, SEE DETAIL
- LOD LIMITS OF DISTURBANCE
- TP TREE FENCE
- PERMANENT SEEDING AREA
- PS PERMANENT SEEDING
- DS DUST CONTROL
- INLET PROTECTION, SEE DETAIL

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928
SWPPP PLAN PHASE I

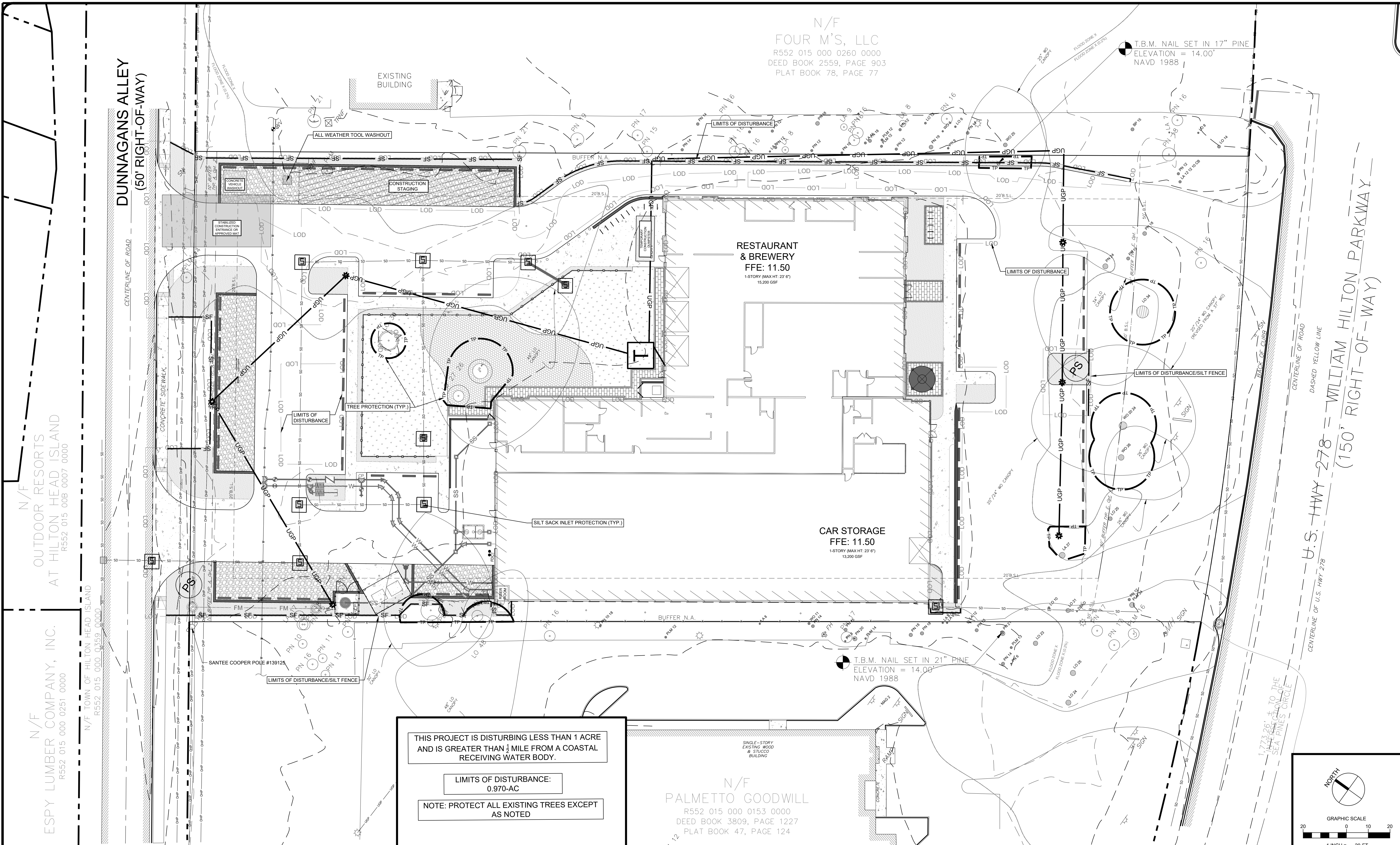
NO.	DATE	BY	DESCRIPTION
10/05/2023	RJS		
	RJW		
	CRH		
	ASB		

DATE: 10/05/2023
DESIGNED BY: RJS
DRAWN BY: RJW
CHECKED BY: CRH
JOB NUMBER: ASB65-0401
FILE PATH:

08/18/2023
SOUTH CAROLINA
LICENSED PROFESSIONAL ENGINEER
NO. 39256
CHARLES B. HIGGINS
C.B. Higgins

LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401
Phone 843.406.5140
www.lja.com
FRN-C06168

SHEET NO. **C2.1**



THIS PROJECT IS DISTURBING LESS THAN 1 ACRE AND IS GREATER THAN 1/2 MILE FROM A COASTAL RECEIVING WATER BODY.

LIMITS OF DISTURBANCE: 0.970-AC

NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

SWPPP NOTES:

- REFERENCE SWPPP NOTES ON SHEET C0.1.
- REFERENCE SCDHC STANDARD NOTES ON SHEET C0.1.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- WHEN ACCESSING SITE, PROVIDE A 10' LONG BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 6" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MASONRY INLETS SHALL BE LEFT LOW ENOUGH, DURING CONSTRUCTION, FOR WATER TO ENTER.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY ONE (21) DAYS.
- ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLLOWING: THE GROUND PREPARATION, FURNISHING AND PLANTING, SEEDING, FERTILIZING AND MULCHING OF ALL DISTURBED AREAS IN THE PROJECT AREA.
- INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE. MAINTAIN THROUGHOUT CONSTRUCTION.
- INSTALL TREE PROTECTION.
- INSTALL INLET PROTECTION ON EXISTING STORMWATER STRUCTURES.
- REMOVE TREES AS SHOWN PER PLAN.
- COMPLETE DEMOLITION AS PER C1.0
- BEGIN BUILDING CONSTRUCTION.
- INSTALL SITE UTILITIES INCLUDING STORM AND DETENTION SYSTEM.
- INSTALL INLET PROTECTION ON PROPOSED INLETS.
- INSTALL PARKING AREA.
- PROCEED WITH FINE GRADING, LANDSCAPING AND GRASSING.
- REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION AND AGENCY APPROVAL.
- PERFORM CONTINUING MAINTENANCE UNTIL OWNER TAKEOVER OR PER CONTRACT.

SEQUENCE OF CONSTRUCTION

LEGEND

- SF: SILT FENCE, SEE DETAIL
- LOD: LIMITS OF DISTURBANCE
- TP: TREE FENCE
- PS: PERMANENT SEEDING AREA
- DS: DUST CONTROL
- INLET PROTECTION, SEE DETAIL

SWPPP PLAN PHASE II

811
Know what's below. Call before you dig.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928

DESIGNED BY: RJS
DRAWN BY: RJW
CHECKED BY: CRH
JOB NUMBER: A3465-0401
FILE PATH:

DATE: 10/05/2023

NO.:

REVISIONS DESCRIPTION BY DATE

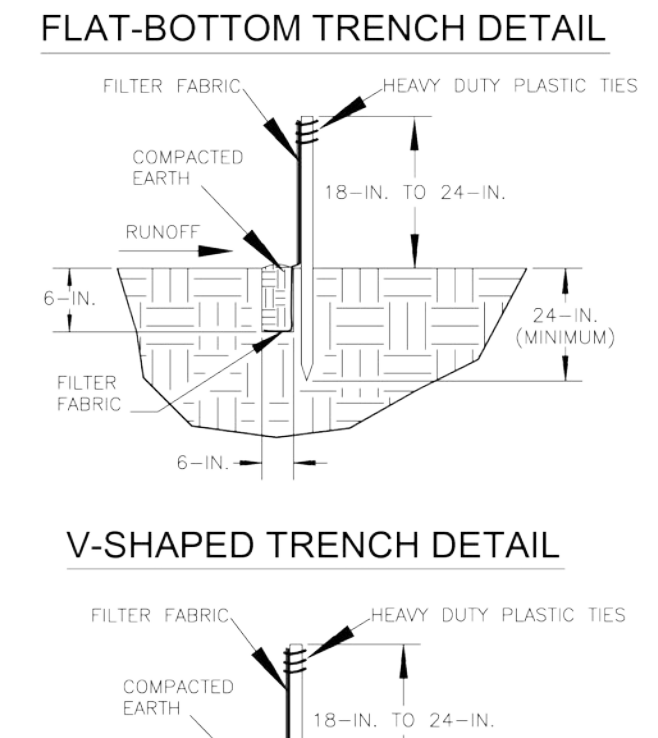
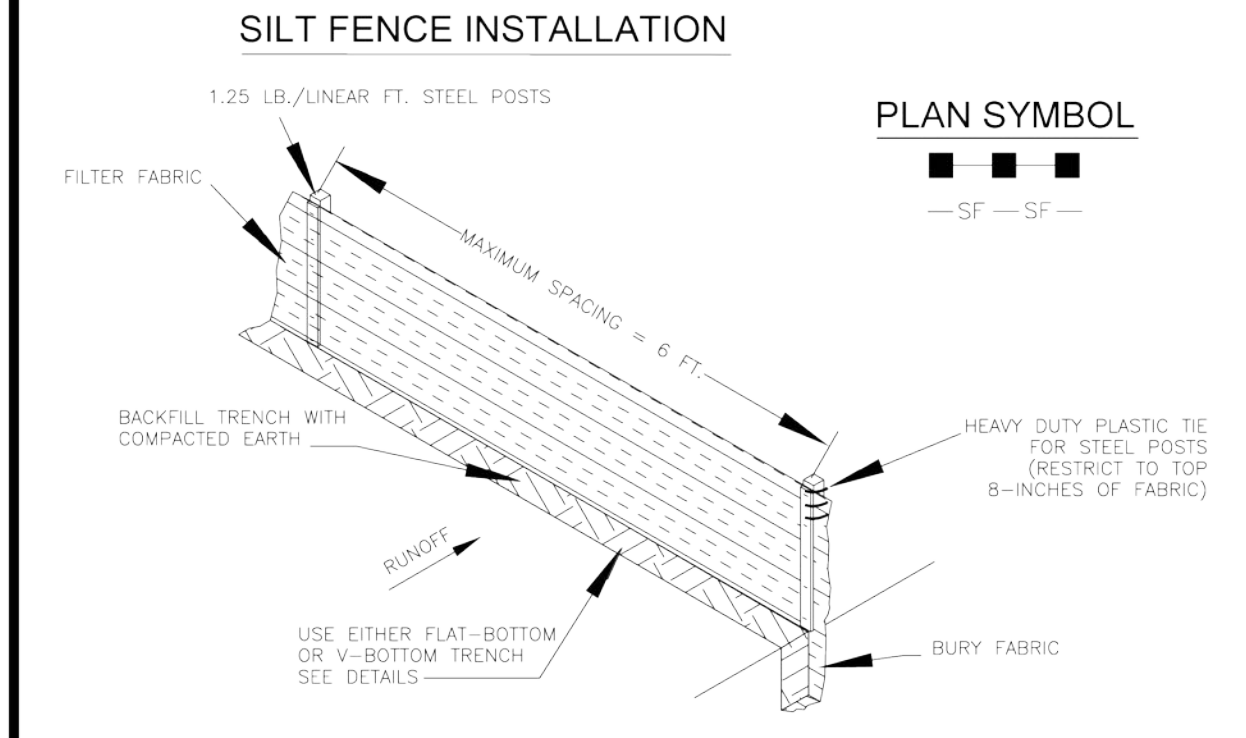
10/05/2023

171 Church Street
Suite 100
Charleston, South Carolina 29401

Phone 843.406.5140
www.LJA.com
FRN-C06168

LJA Engineering, Inc.

SHEET NO. **C2.2**



SILT FENCE — GENERAL NOTES

- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap.
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties or
 - Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

SILT FENCE — FABRIC REQUIREMENTS

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 90% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 Page 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE

SILT FENCE — POST REQUIREMENTS

- Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weight 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 1/2 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

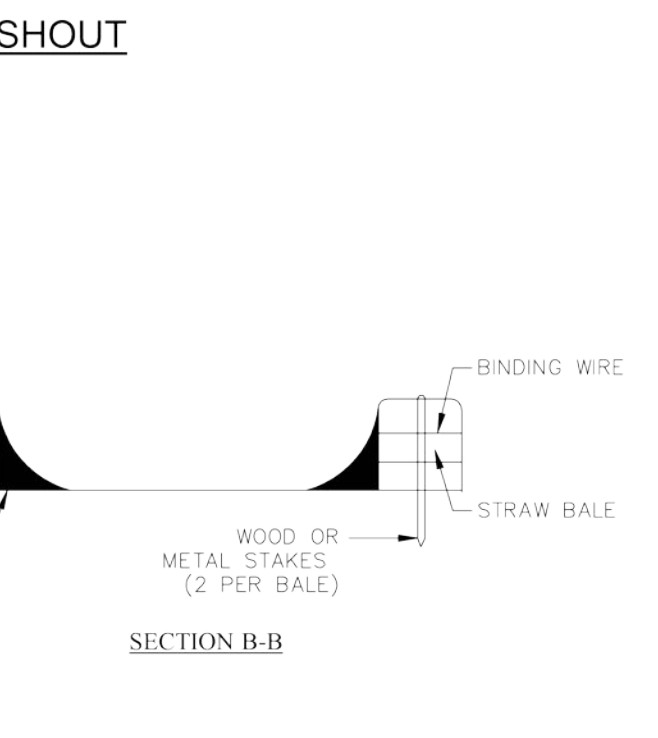
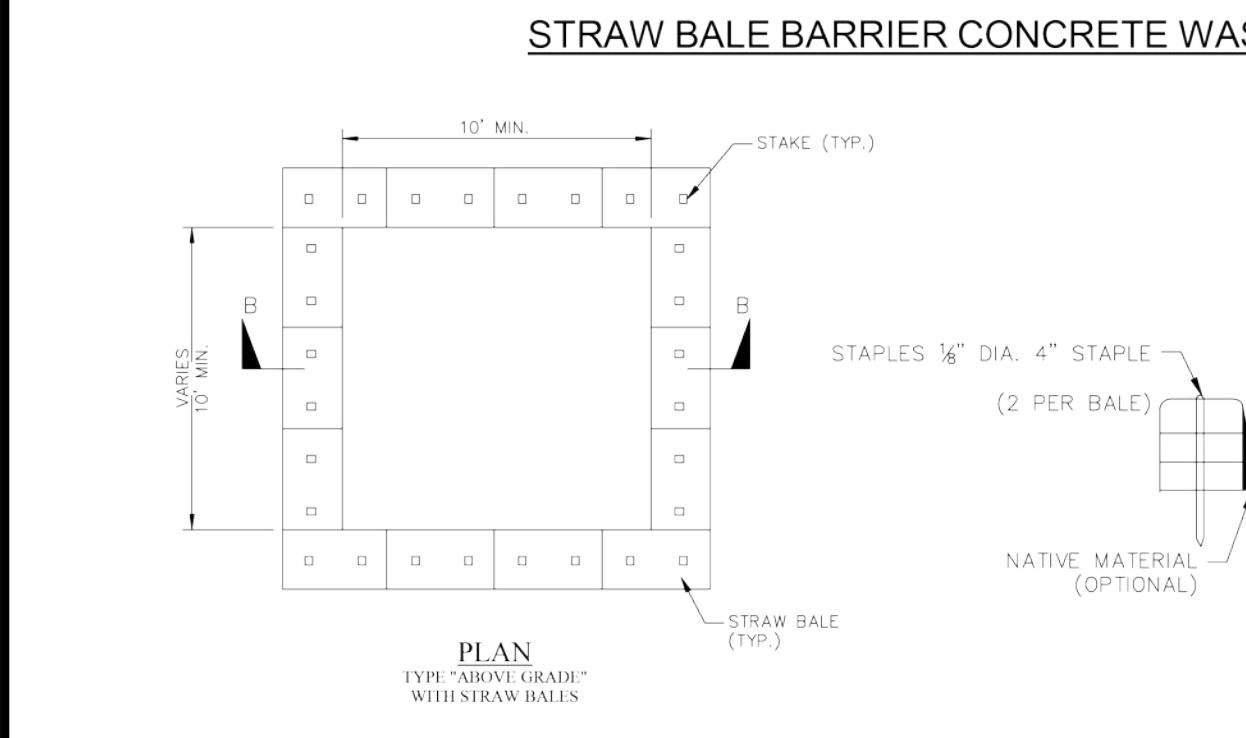
SILT FENCE — INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continuously monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

SILT FENCE — INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continuously monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE



CONCRETE WASHOUT SIGN DETAIL

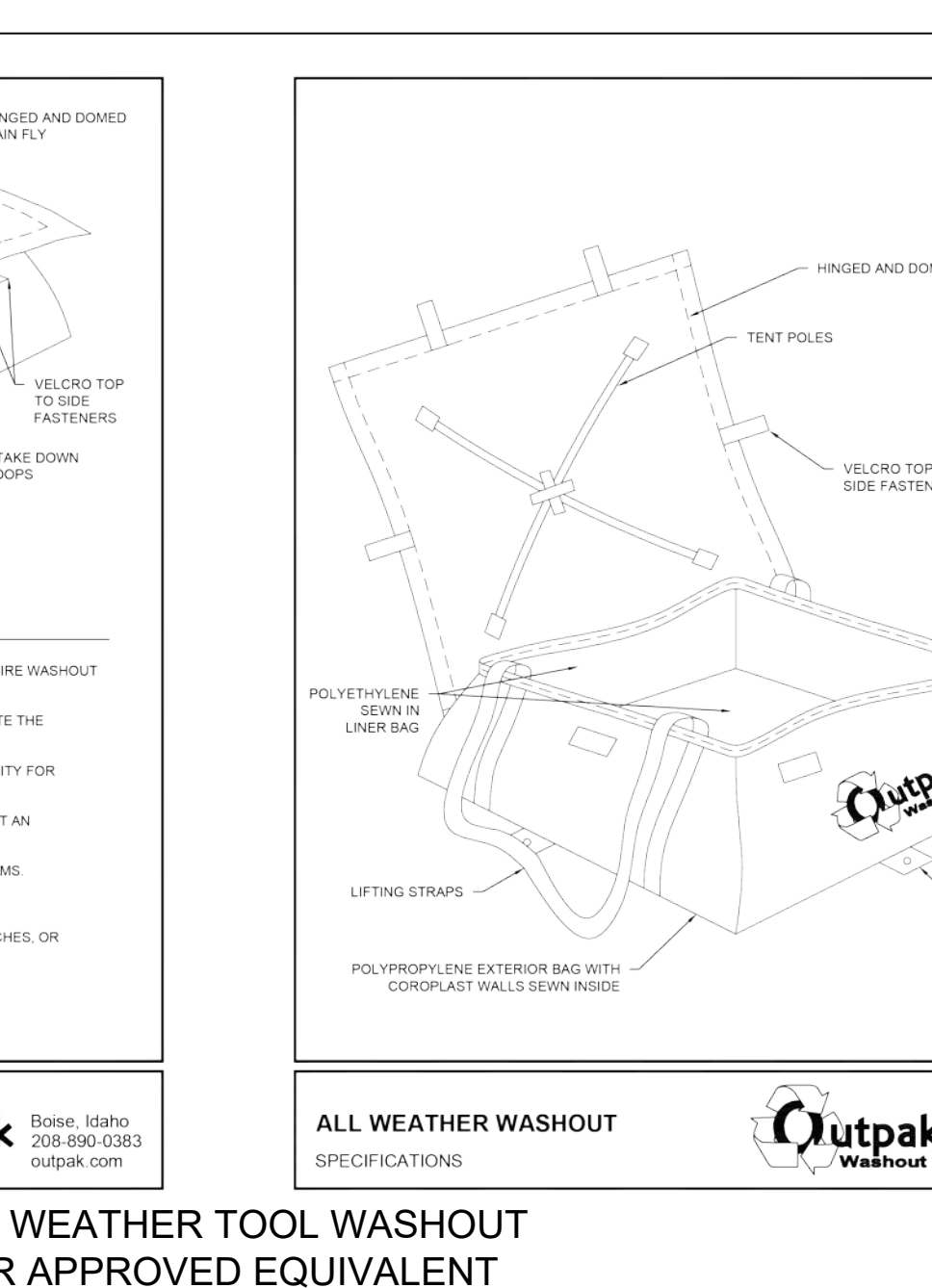
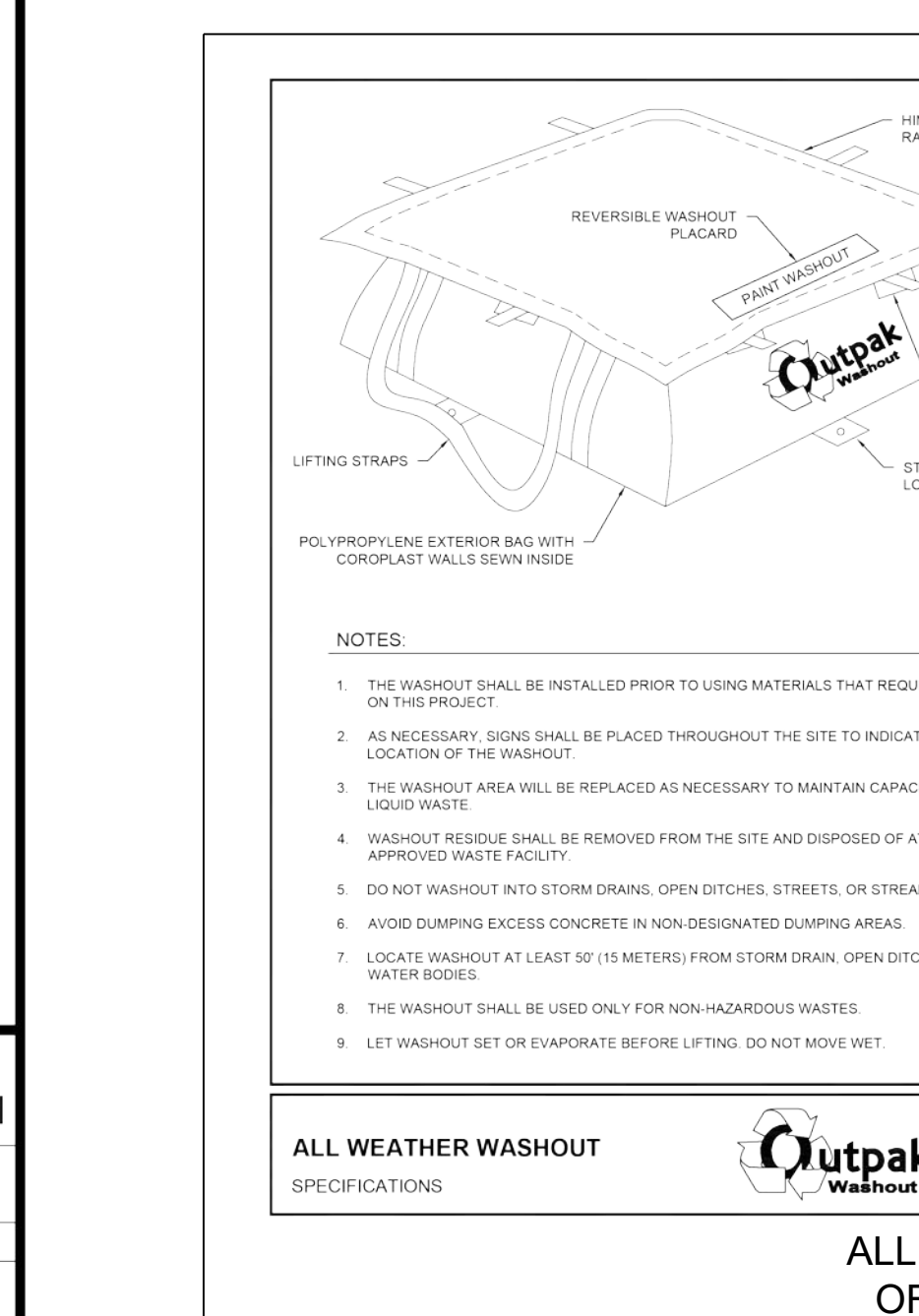
LETTERS A MINIMUM OF 5" IN HEIGHT

CONCRETE WASHOUT

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
- SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
- A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

South Carolina Department of Health and Environmental Control
CONCRETE WASHOUT
 STRAW BALES OR ABOVE GROUND
 STANDARD DRAWING NO. RC-07 PAGE 1 of 1
 NOT TO SCALE FEBRUARY 2014 DATE



CONSTRUCTION ENTRANCE — GENERAL NOTES

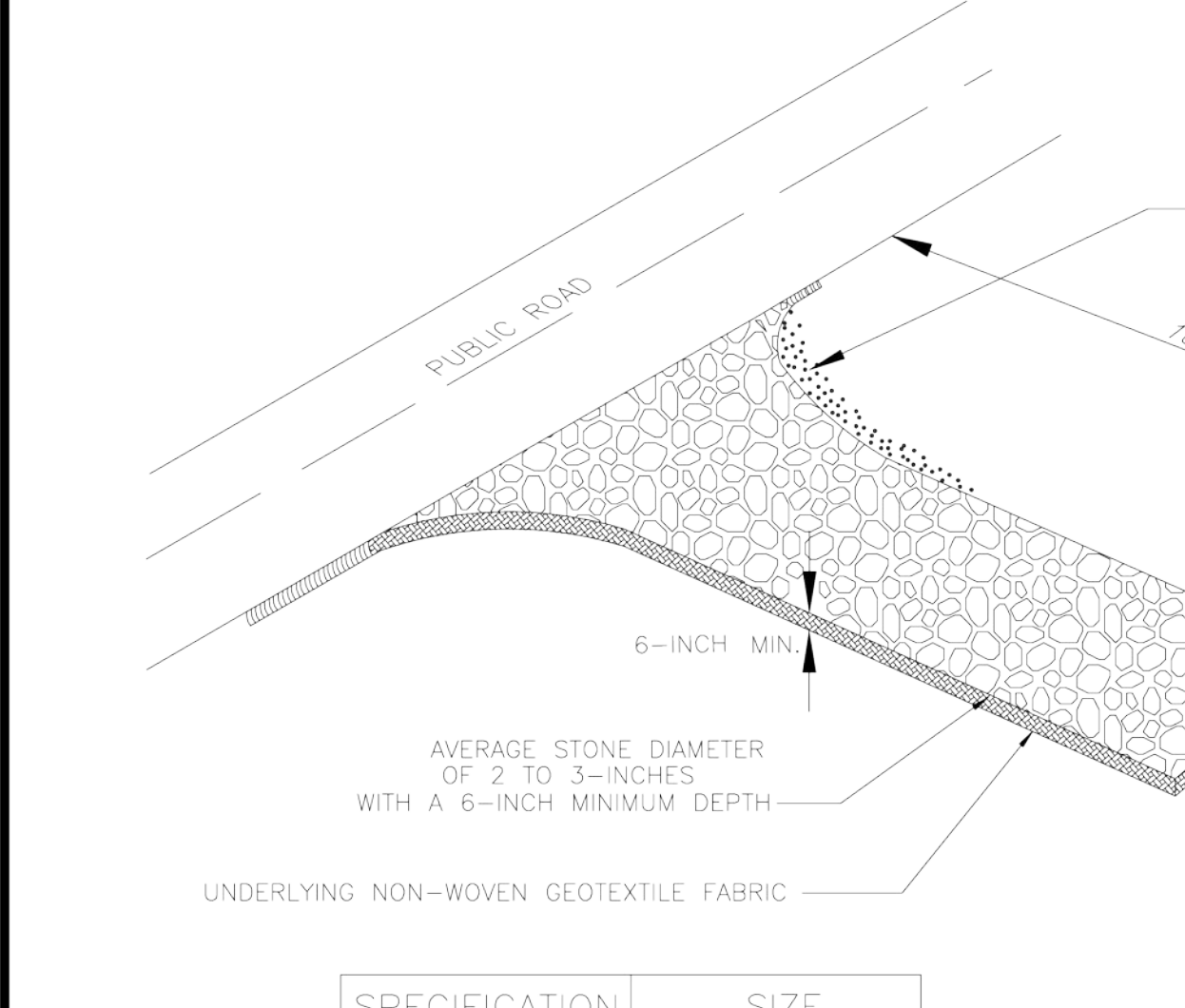
- Stabilized construction entrances should be used at all points where traffic will ingress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking of mud at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

CONSTR. ENTRANCE — INSPECTION & MAINTENANCE

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

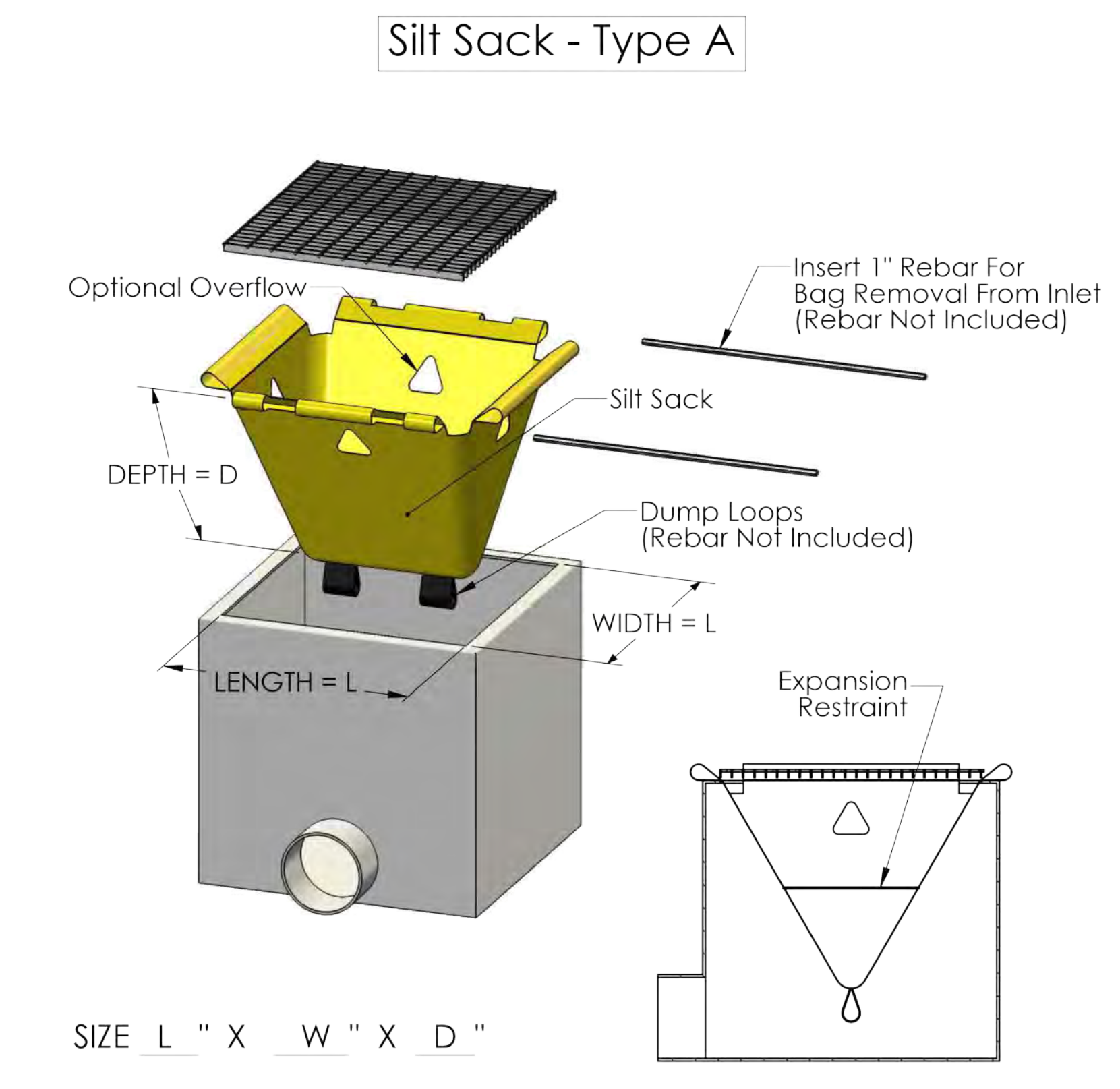
South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

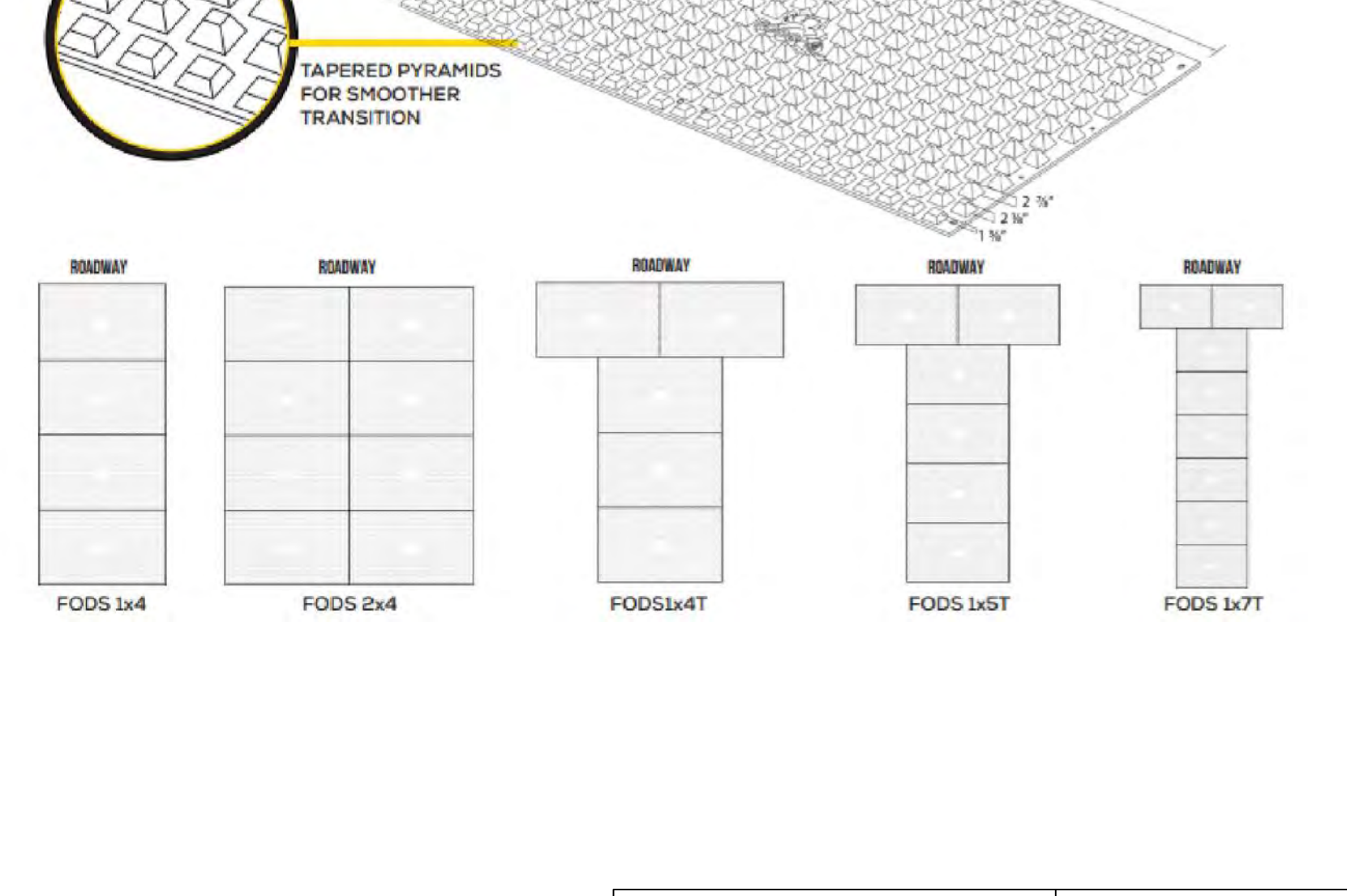
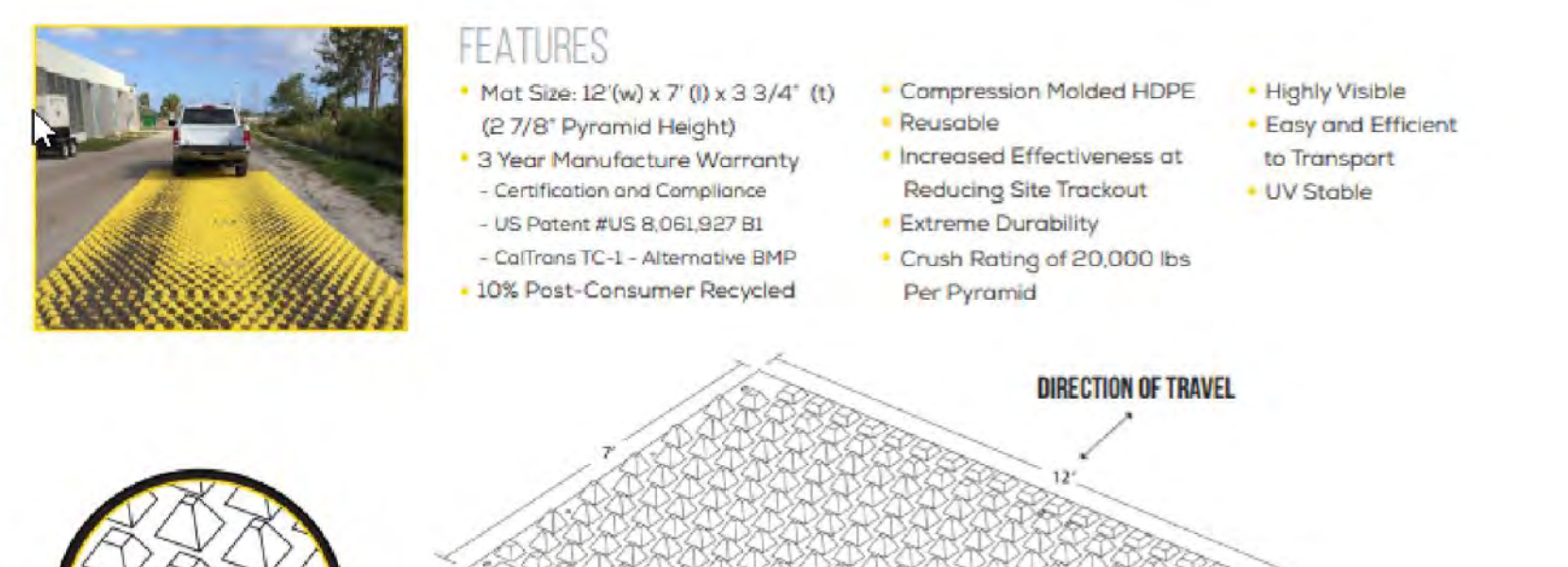


SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 1 of 2
 NOT TO SCALE FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control
SILT FENCE
 STANDARD DRAWING NO. SC-03 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE



South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

HILTON HEAD BREWING
 1014 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND,
 SOUTH CAROLINA 29928
 SWPPP DETAILS

NO.	DATE	BY	DESCRIPTION
10/05/2023	RJS	RJV	
		CRH	
		AS665-6401	

DATE: 10/05/2023
 DESIGNED BY: RJS
 DRAWN BY: RJV
 CHECKED BY: CRH
 JOB NUMBER: AS665-6401
 FILE PATH:

08/18/2023
 SOUTH CAROLINA
 LICENSED PROFESSIONAL ENGINEER
 No. 39256
 CHARLES R. HIGHT
 CPH/Engineer

LJA Engineering, Inc.
 171 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone 843.406.5140
 www.lja.com
 FRN-C06168

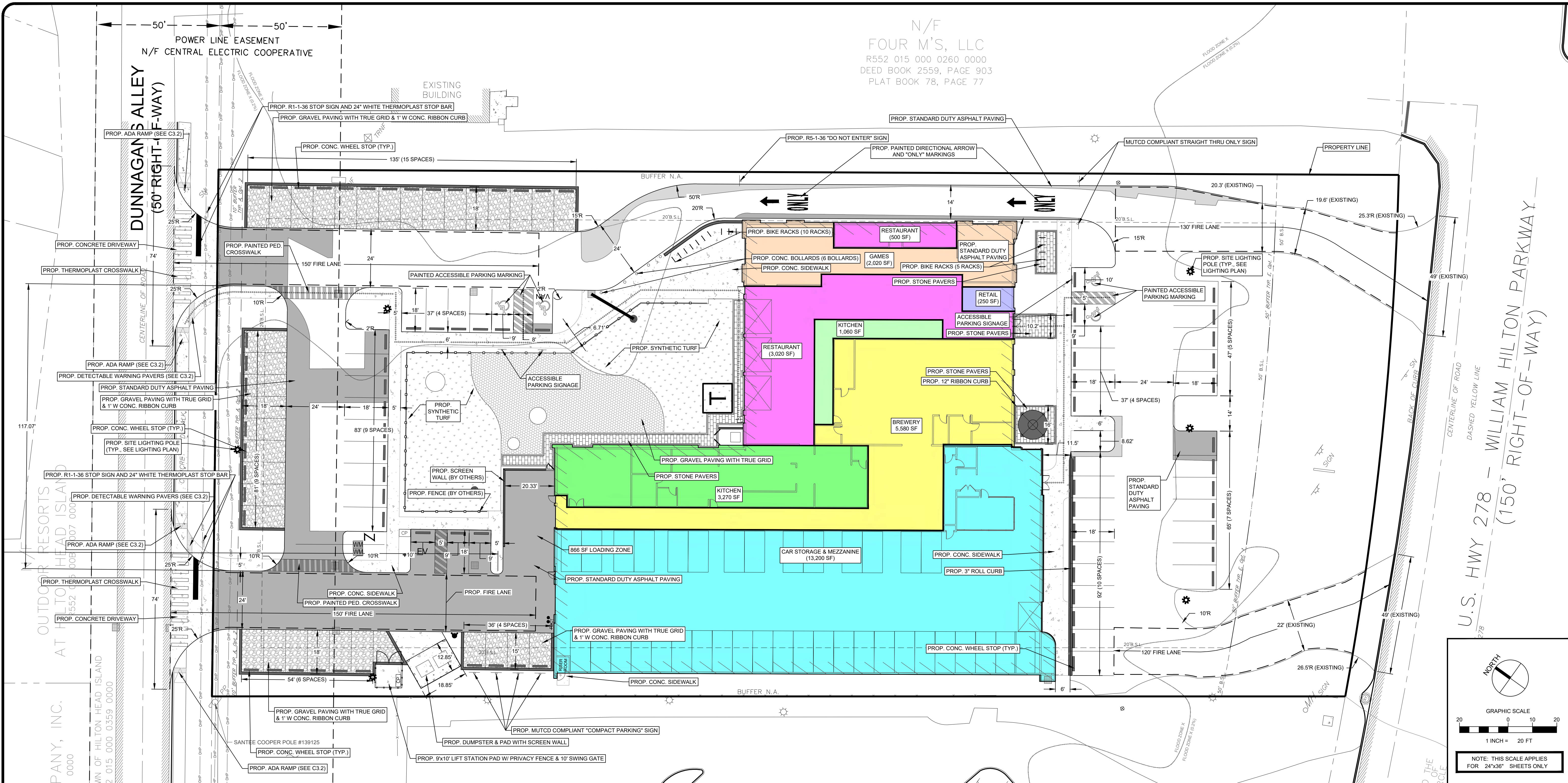
South Carolina Department of Health and Environmental Control
CONSTRUCTION ENTRANCE
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2
 GENERAL NOTES FEBRUARY 2014 DATE

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
 Know what's below.
 Call before you dig.

SHEET NO.
C2.3

I:\2023\08\15\SWPPP\SWPPP DETAILS.dwg
 User: rjv
 Last Modified: Sep 12, 2023 10:48 AM
 Plot Date/Time: Oct 05, 2023 9:05:26 AM

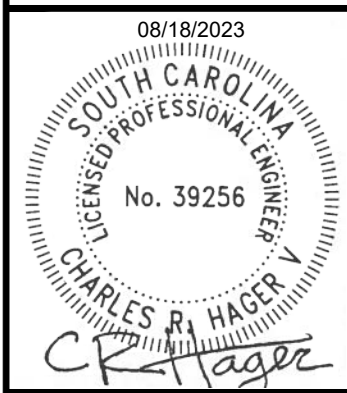


N/F
 FOUR M'S, LLC
 R552 015 000 0260 0000
 DEED BOOK 2559, PAGE 903
 PLAT BOOK 78, PAGE 77

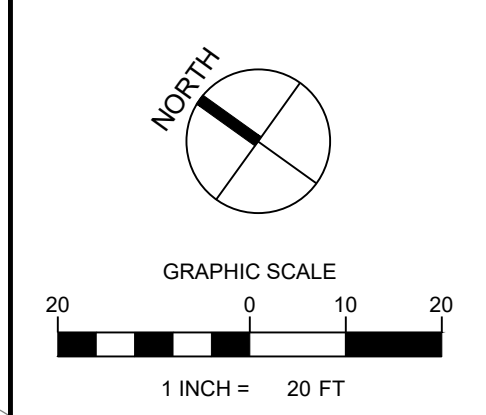
HILTON HEAD BREWING
 1014 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND,
 SOUTH CAROLINA 29928
 DETAILED SITE PLAN

NO.	DATE	BY	DESCRIPTION

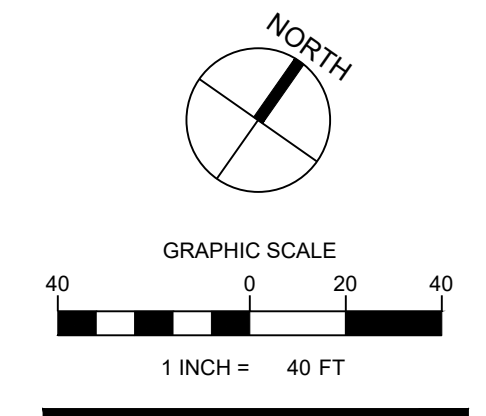
DATE:	10/05/2023
DESIGNED BY:	RJS
DRAWN BY:	RJV
CHECKED BY:	CRH
JOB NUMBER:	A3465-0401
FILE PATH:	



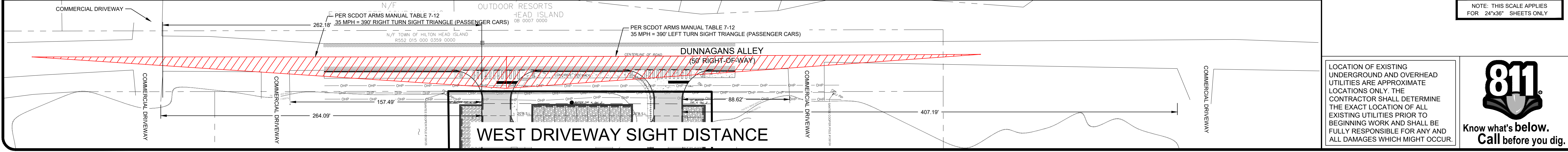
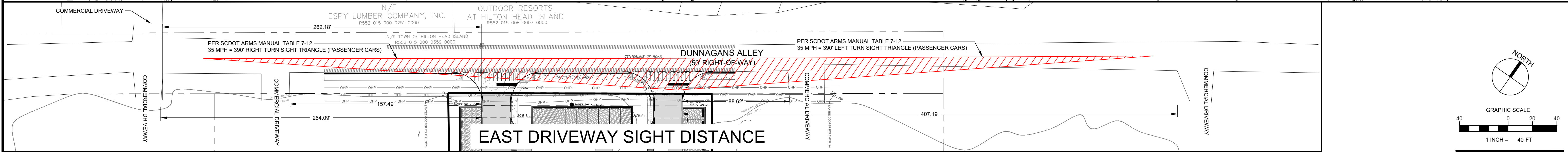
LJA Engineering, Inc.
 Phone 843.406.5140
 www.lja.com
 Suite 100
 Charleston, South Carolina 29401



NOTE: THIS SCALE APPLIES FOR 24"x36" SHEETS ONLY



NOTE: THIS SCALE APPLIES FOR 24"x36" SHEETS ONLY

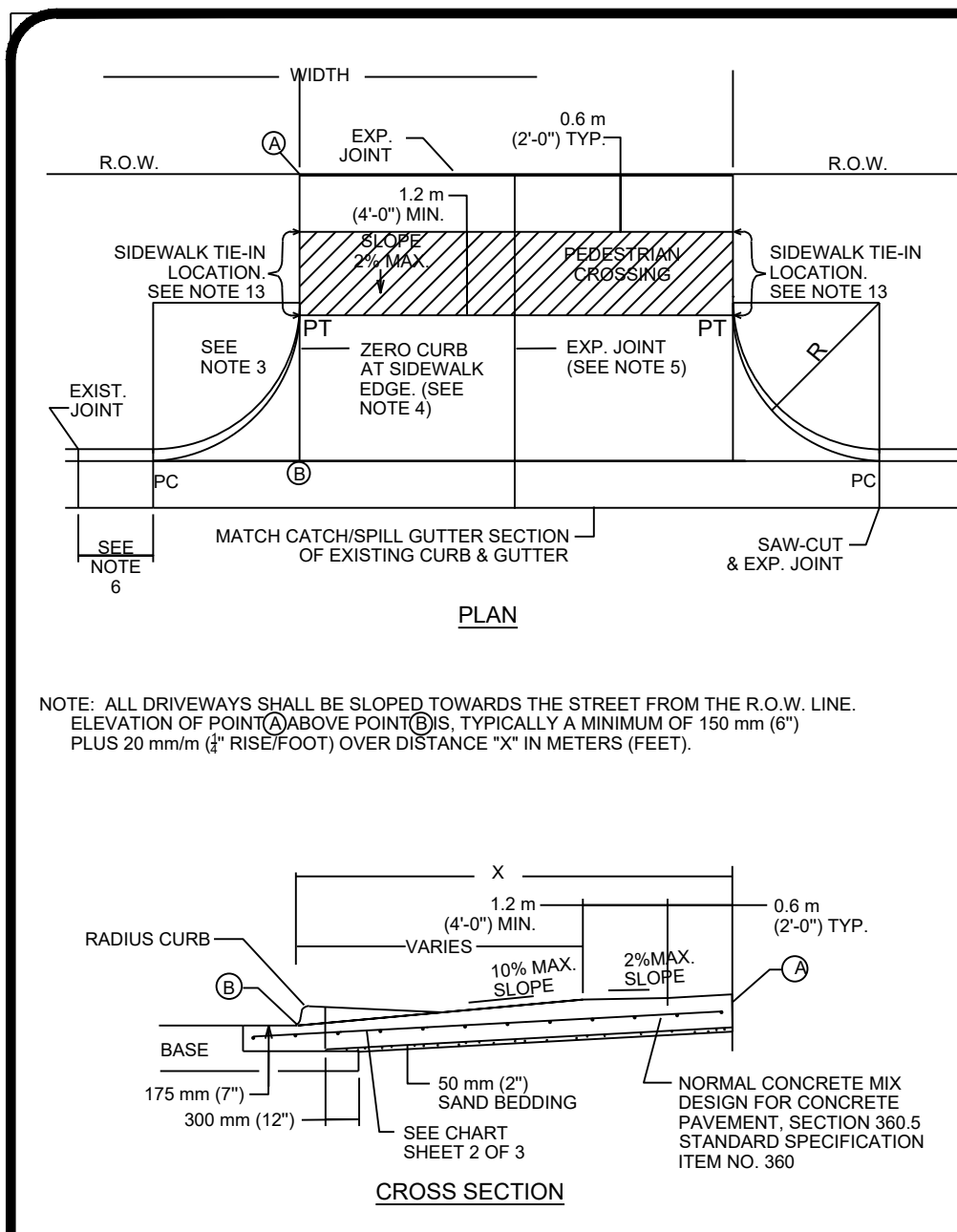


LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



SHEET NO.
C3.0

L:\2023\04\01\CD\PLAN SHEETS\A3465-0401-SITE PLAN.dwg
 User: rjshelton Date: 10/05/23 Time: 09:17
 Plot: 10/05/23 10:05:03



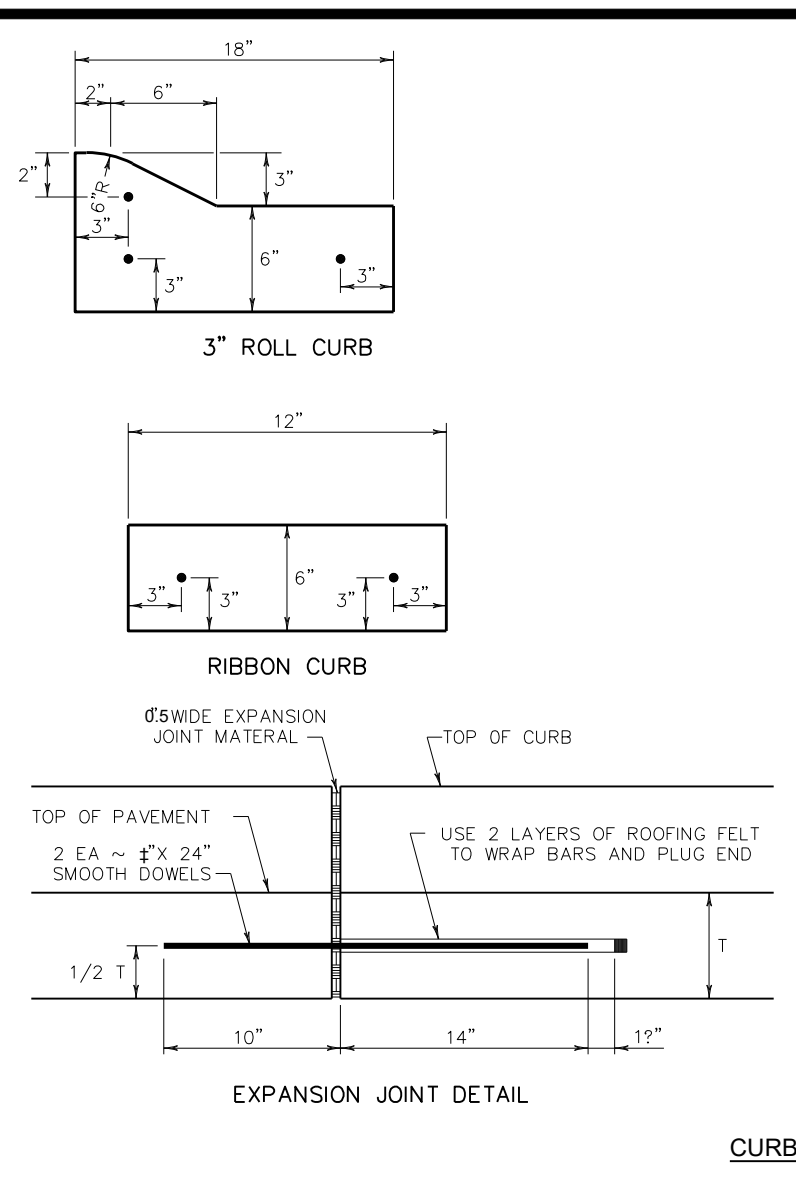
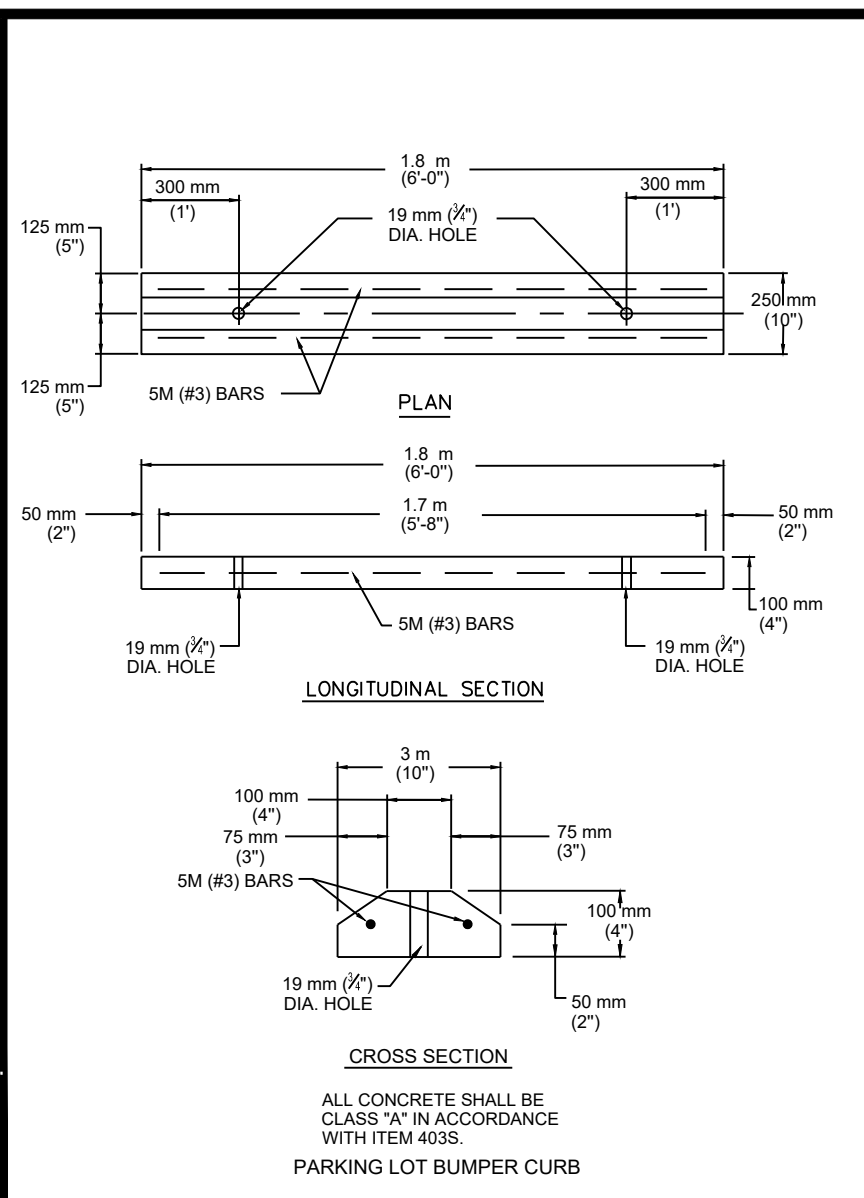
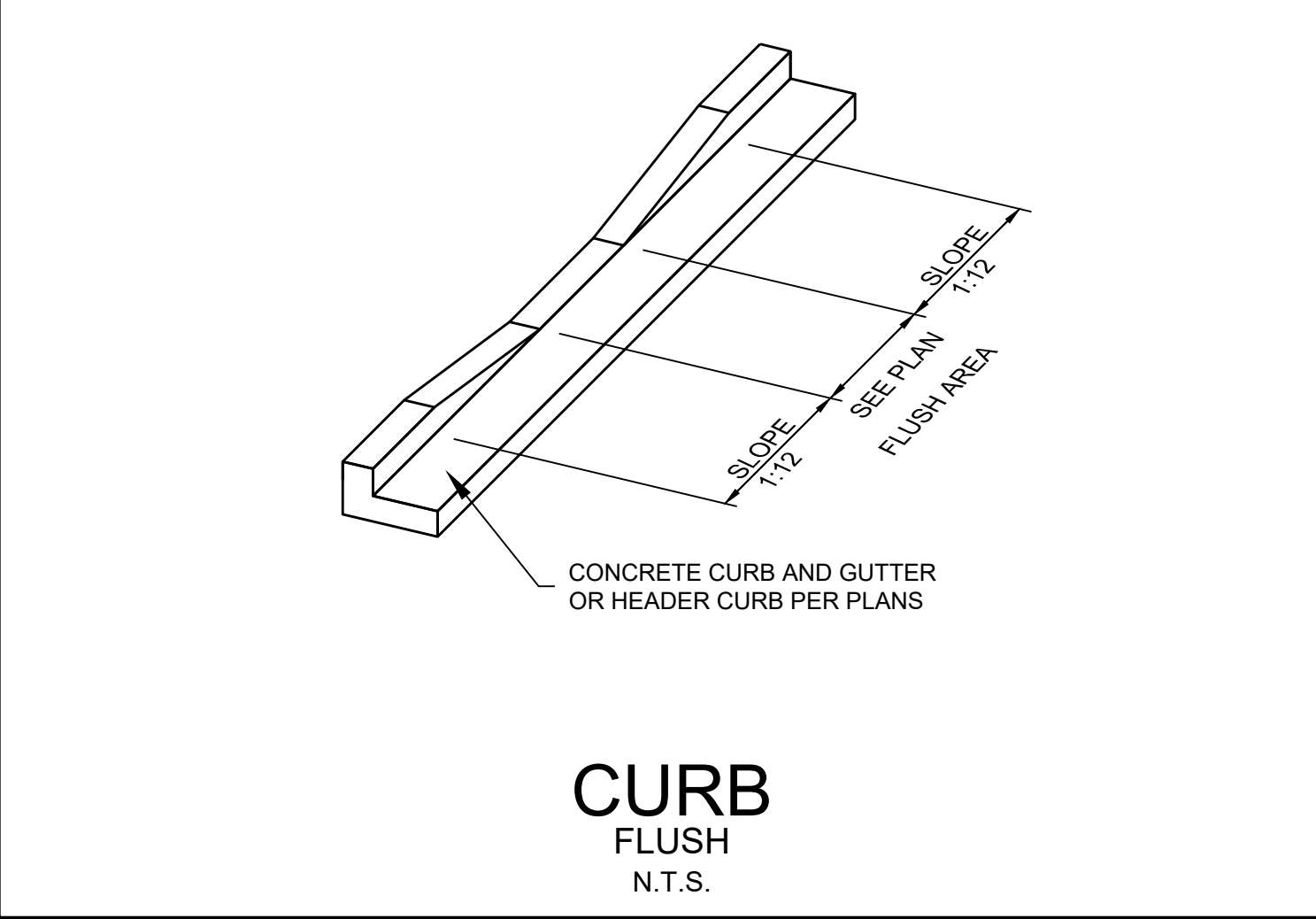
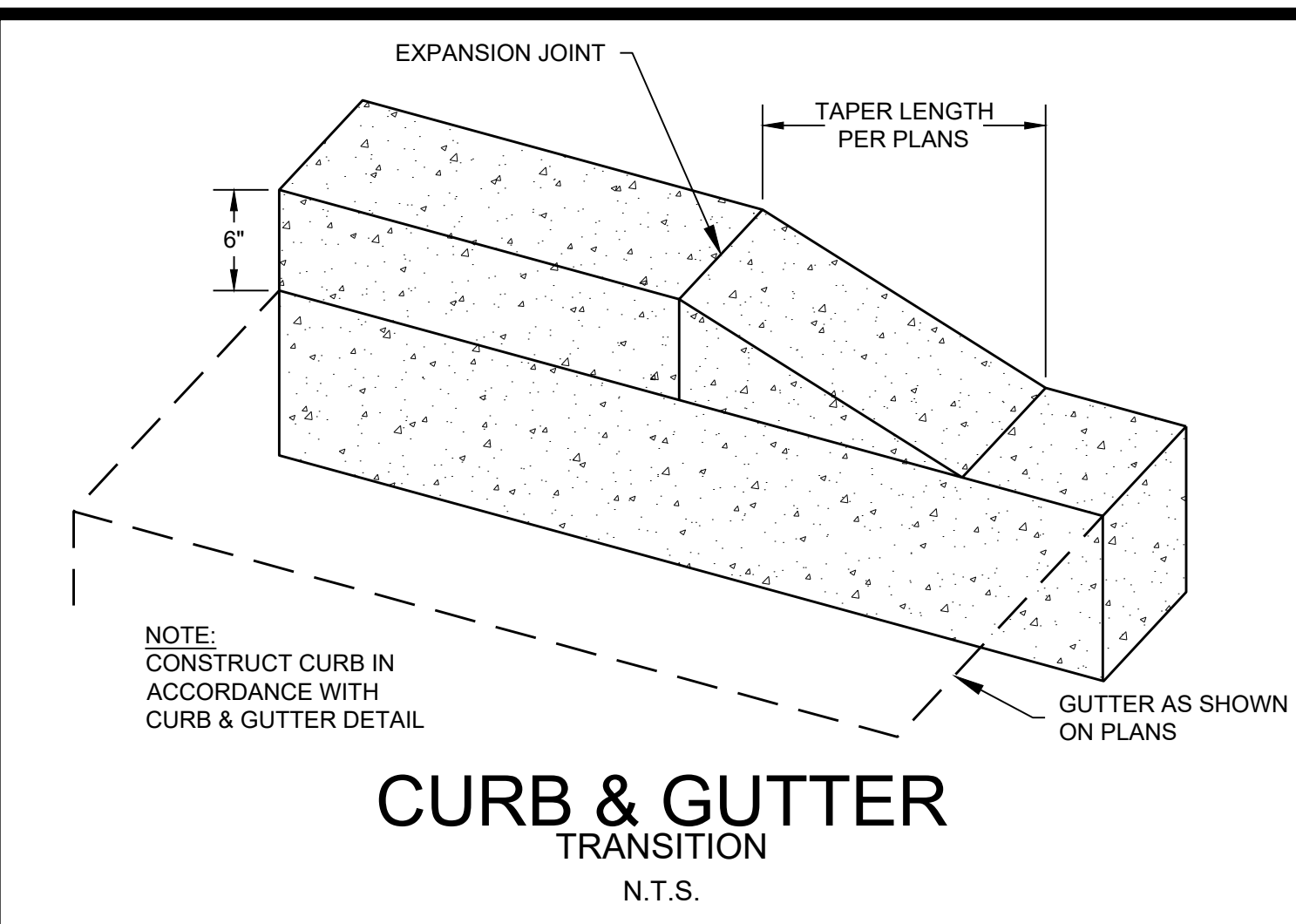
USE	THICKNESS	REINFORCEMENT
DRIVEWAYS FOR PASSENGER VEHICLE PARKING LOTS	150 mm (6") MIN.	125 mm (5") MIN. CONCRETE WITH ONE LAYER OF 13M (#4) BARS PLACED ON CHAIRS AT MIDDDEPTH OF SLAB AT NO MORE THAN 450 mm (18") O.C. BOTH DIRECTIONS
ALL OTHERS	175 mm (7") MIN.	125 mm (5") MIN. CONCRETE WITH ONE LAYER OF 13M (#4) BARS PLACED ON CHAIRS AT MIDDDEPTH OF SLAB AT NO MORE THAN 450 mm (18") O.C. BOTH DIRECTIONS

DRIVEWAY VOLUME (ADT)	D-GRADE CHANGE	STD	MAX
>1500	0%	3%	15%
500-1500	3%	6%	15%
<500	6%	15%	15%

ALLOWABLE GRADES

NOTES:

- ALL TYPE II DRIVEWAYS SHALL HAVE RADIUS ENDS.
- DRIVEWAY WIDTHS AND RADIUS DIMENSIONS, ONE-TWO WAY TRAVEL REQUIREMENTS, AND GEOMETRIC LAY-OUT ARE HIGHLY VARIABLE. SUBJECT TO SITE SPECIFIC CONDITIONS AND REQUIREMENTS.
- THE DRIVEWAY EDGE SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK TIE-IN LOCATION BEGINNING AT THE RADIUS PC LINE.
- "ZERO" CURB AT PT OR SIDEWALK EDGE, WHICHEVER IS ENCOUNTERED FIRST.
- PLACE AN EXPANSION JOINT DOWN THE CENTER OF DRIVEWAY ALL DRIVEWAYS.
- IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET), REMOVE CURB AND GUTTER TO EXISTING JOINT AND POUR MONOLITHICALLY WITH DRIVEWAY.
- IF THE BASE IS OVER-EXCAVATED WHERE THE CURB AND GUTTER WERE REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
- TYPE II DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTING RIGHT OF WAY THAN 50% OF PARCEL FRONTAGE AT 30 METERS (100 FEET), WHICHEVER IS LESS.
- DRIVEWAY SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
- WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GRADE BREAKS WITHIN PRIVATE PROPERTY, THE FIRE DEPARTMENT SHALL BE CONSULTED WHERE THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND "G" IS GREATER THAN 10%.
- USE 12 MM (1/2") ASPHALT BOARD OR OTHER APPROVED MATERIAL FOR CURB AND GUTTER EXPANSION JOINTS. SIDEWALK AT THE R.O.W. LINE AND AT MIDWIDTH. SEE NOTE 5.
- THE SIDEWALK, REGARDLESS OF ITS LOCATION WITH RESPECT TO THE CURB OR PROPERTY LINE, SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
- WATER FENESTER BOXES AND WASTEWATER CLEAN OUTS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.



GENERAL NOTES

- WHEN REINFORCING BARS ARE USED, THEY SHALL BE NO.4 UNLESS OTHERWISE SHOWN. THE USE OF SYNTHETIC FIBER IN LIEU OF STEEL REINFORCING IS ACCEPTABLE, PROVIDED THE FIBER PRODUCER IS ON THE DEPARTMENT PRODUCER LIST (MPL), MAINTAINED BY TxDOT, CONSTRUCTION DIVISION.
- ROUND EXPOSED SHARP EDGES WITH A ROUNDING TOOL TO A MINIMUM RADIUS OF 1/4\"/>

HILTON HEAD BREWING MIXED USE SITE REDEVELOPMENT PLAN
1014 William Hilton Parkway, Hilton Head, Beaufort County, South Carolina
Owner: 1014 WHP LLC

Total Site Area	2.365 Ac.	103,019 SF
Zoning	= Light Commercial (LC)	
Overlay	= COR	
Proposed Use	= Restaurant/Brewery & Covered Auto Storage	
Existing Use	= Commercial	
Flood Zone	= Partially within Zone X (.2%) per 45013C042G	

Building Setbacks

Side Yard	= 20 FT (Commercial Use)
Rear (Dunnagans Alley)	= 20 FT (Other Street)
Front Street (William Hilton Pkwy)	= 50 FT (Major Arterial)

Buffers

Side Yard	= N/A
Rear (Dunnagans Alley)	= A (Other Street - 10') - OPTION 2
Front Street (William Hilton Pkwy)	= E (Major Arterial - 50') - OPTION 1

Site Area = 2.365 Ac.

Impervious Cover

Exist Imp Cover	= 1.555 Ac. 65.8%	67,736 SF
Total Proposed Imp Cover	= 1.522 Ac. 64.3%	66,292 SF
Total Bldg / Overhang Coverage	= 0.660 Ac. 27.9%	28,770 SF
Total Parking/Drives/Walks	= 0.861 Ac. 36.4%	37,522 SF

Bldg. Height / Gross Floor Area*

Mixed Use Building (Total)	= 28,400 SF	23' 6"	(1-story)	(45' Max)
Games	= 2,020 SF	23' 6"	(1-story)	
Dining/Restaurant	= 3,020 SF	23' 6"	(1-story)	
Kitchen	= 4,330 SF	23' 6"	(1-story)	
Brewery	= 5,580 SF	23' 6"	(1-story)	
Retail	= 250 SF	23' 6"	(1-story)	
Car Storage & Mezzanine	= 13,200 SF	23' 6"	(1-story)	

*See Parking Calculations for Hilton Head Island Official Uses

Proposed Floor Area Ratio = 0.28

Vehicle Parking Calculations

Land Use & Calculation Unit	HHI Use Category	No.	SP/Unit	Total Spaces
Games (Users)	Indoor Recreation	25	3	8.3
Restaurant (SF)	Eating Establishment	3,020	100	30.2
Kitchen (SF)	Light Industrial	4,330	1300	3.3
Brewery (SF)	Light Industrial	5,580	1300	4.3
Retail (SF)	Shopping Center	250	335	0.7
Car Storage & Mezzanine (SF)	Self-Service Storage	13,200	15000	0.9
Total Required Vehicle Parking				47.8

Provided Parking	Standard	Accessible	Van	Electric	Total
Surface Spaces (Standard)	= 41	3	1	1	46
Surface Spaces (Penious)	= 34	0	0	0	34
Total Provided Parking	= 80	Spaces	(>= 48 Required Spaces)		
Total Provided Accessible Parking	= 4	Spaces			

Bike Parking Calculations

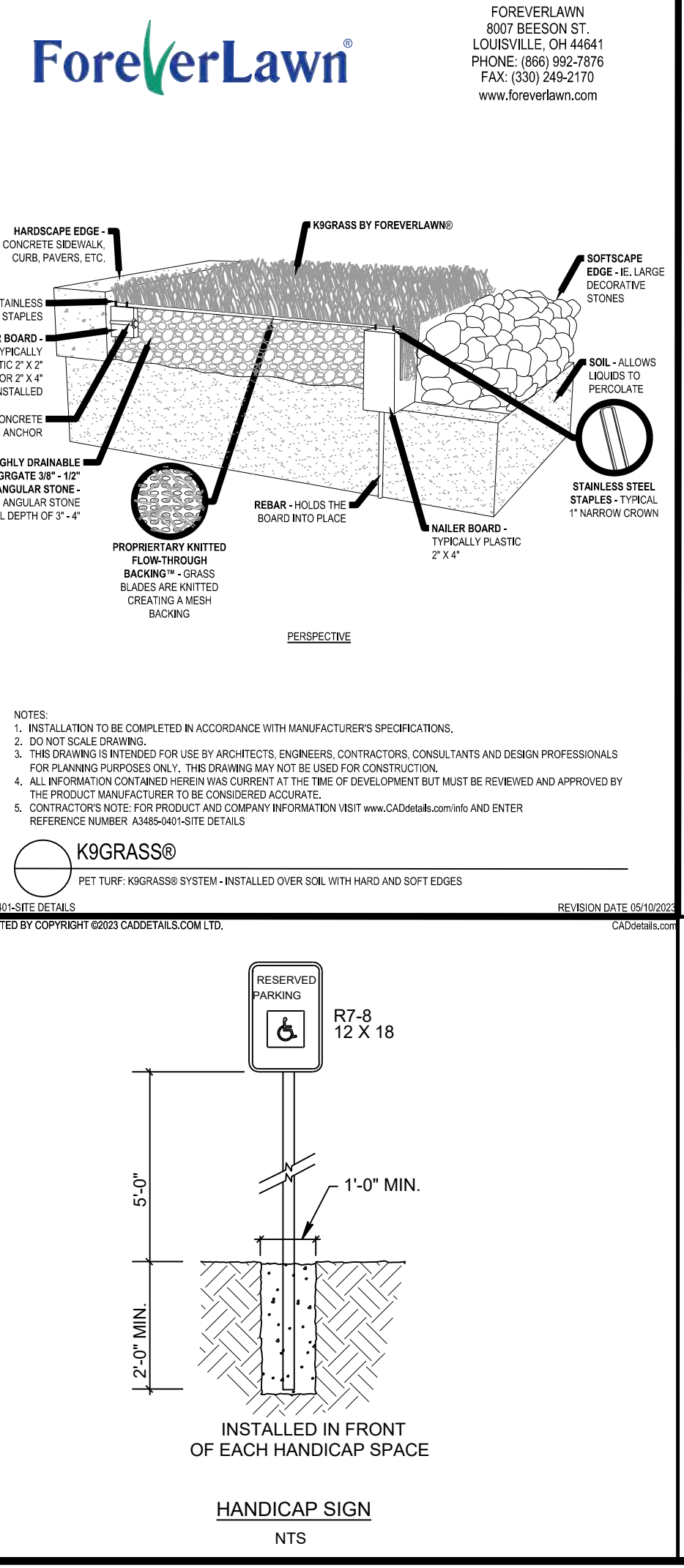
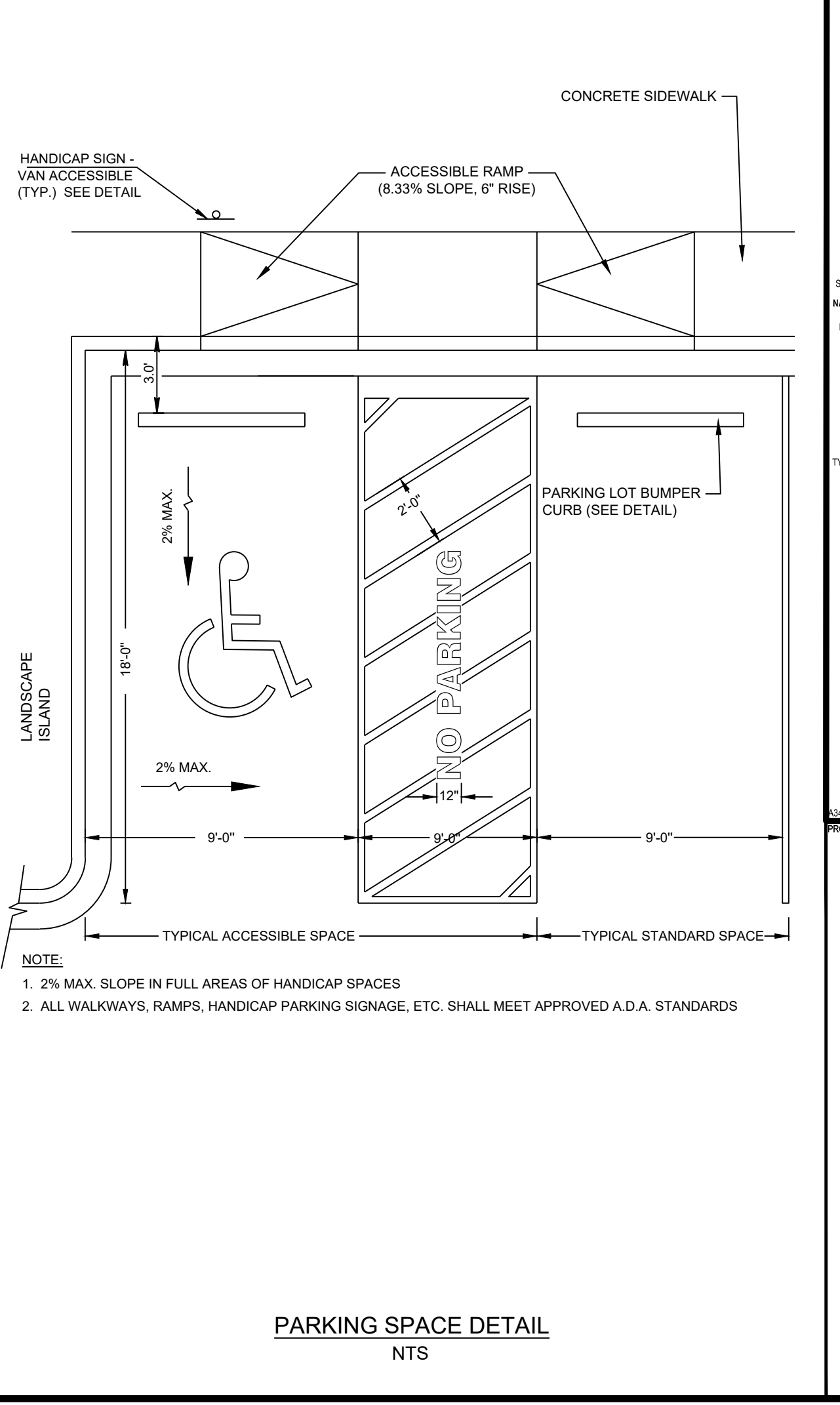
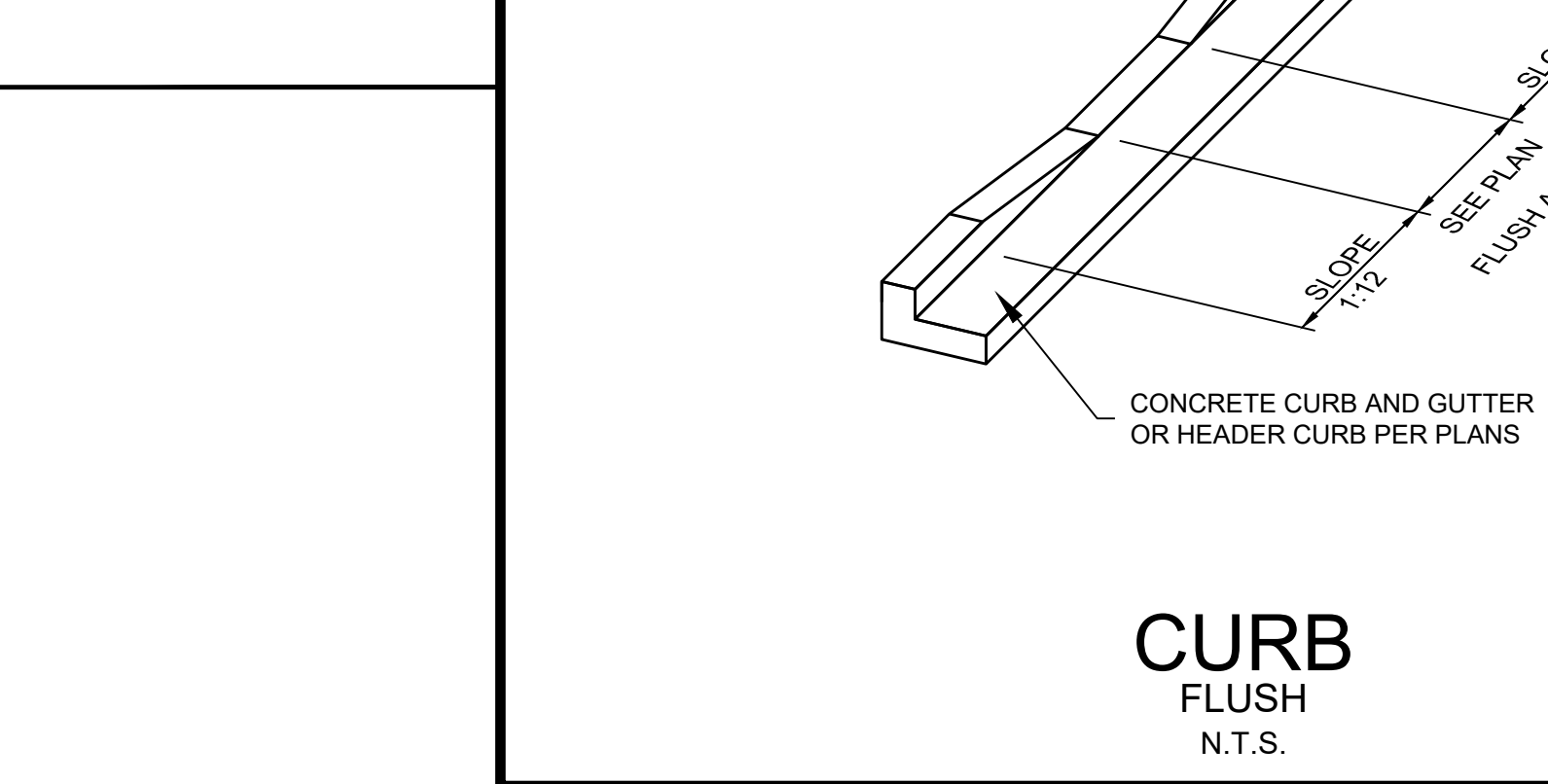
Required Bike Parking	4 per 10 Vehicle Spaces (1st 50 Vehicle Spaces)	= 20
	2 per 10 Vehicle Spaces (50+ Vehicle Spaces)	= 6
Total Required Bike Parking		= 26

Provided Bike Parking

Bike Rack (2 Spaces)	= 15
Total Provided Bike Parking	= 30 Spaces

Fire Safety Summary

Building Gross Area	= 28,400 GSF
Building Height	= 23' 6" FT
Construction Type	= CL III A
Sprinklered?	= YES (Type: NFPA 13)
Required Fire Flow	= 1,250 GPM



PAVING AND MARKING NOTES:

- ALL PAVEMENT SECTION MATERIALS AND INSTALLATION SHALL MEET THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION).
- GRADED AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
- ASPHALTIC CONC. SHALL BE A PLANT MIX MEETING THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION). THE JOB MIX SHALL MEET THE REQUIREMENTS OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION), AND SHALL HAVE A MARSHALL STABILITY OF 1250 POUNDS AND A PERCENT VOIDS BETWEEN 4 AND 5.
- PAINTED PARKING STRIPING SHALL BE 4" WIDE WHITE STRIPES AND BE LOCATED AS SHOWN ON THE PLANS. HANDICAP PARKING STRIPING SHALL BE #1/4" LIGHT BLUE. DIRECTIONAL STRIPING SHALL BE PAINTED WHITE. PAINT AND ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
- ALL PAINTED PARKING AREAS SHALL RECEIVE TWO COATS OF STATE DEPARTMENT OF TRANSPORTATION APPROVED PAINT.
- ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE OF THE THERMOPLASTIC OR EPOXY TYPE PER THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECS (LATEST EDITION).
- ALL RAMPS / SIDEWALKS ALONG ACCESSIBLE ROUTE THAT INTERSECT WITH A DRIVEWAY SHALL BE INSTALLED WITH DETECTABLE WARNING PAVERS.

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928

SITE NOTES AND DETAILS

NO.	DATE	BY	DESCRIPTION
1	10/05/2023	RJS	
2		RJW	
3		CRH	
4		ASB	

DESIGNED BY: RJS
DRAWN BY: RJW
CHECKED BY: CRH
JOB NUMBER: A5865-0401
FILE PATH:

08/18/2023
SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 39256
CHARLES R. HIGHT
CRH
www.LJA.com
Phone 843.405.5140
www.LJA.com
Suite 100
Charleston, South Carolina 29401

LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401

SHEET NO. **C3.1**

L:\A5865-0401\DWG\DWG\DWG-0401-SITE DETALS.dwg
User: rjw
Last Modified: Oct. 02, 2023 - 09:58
Plot Date/Time: Oct. 02, 2023 - 09:58



TRUEGRID Paver Parking Lot Delineation with SUPERSPOTS



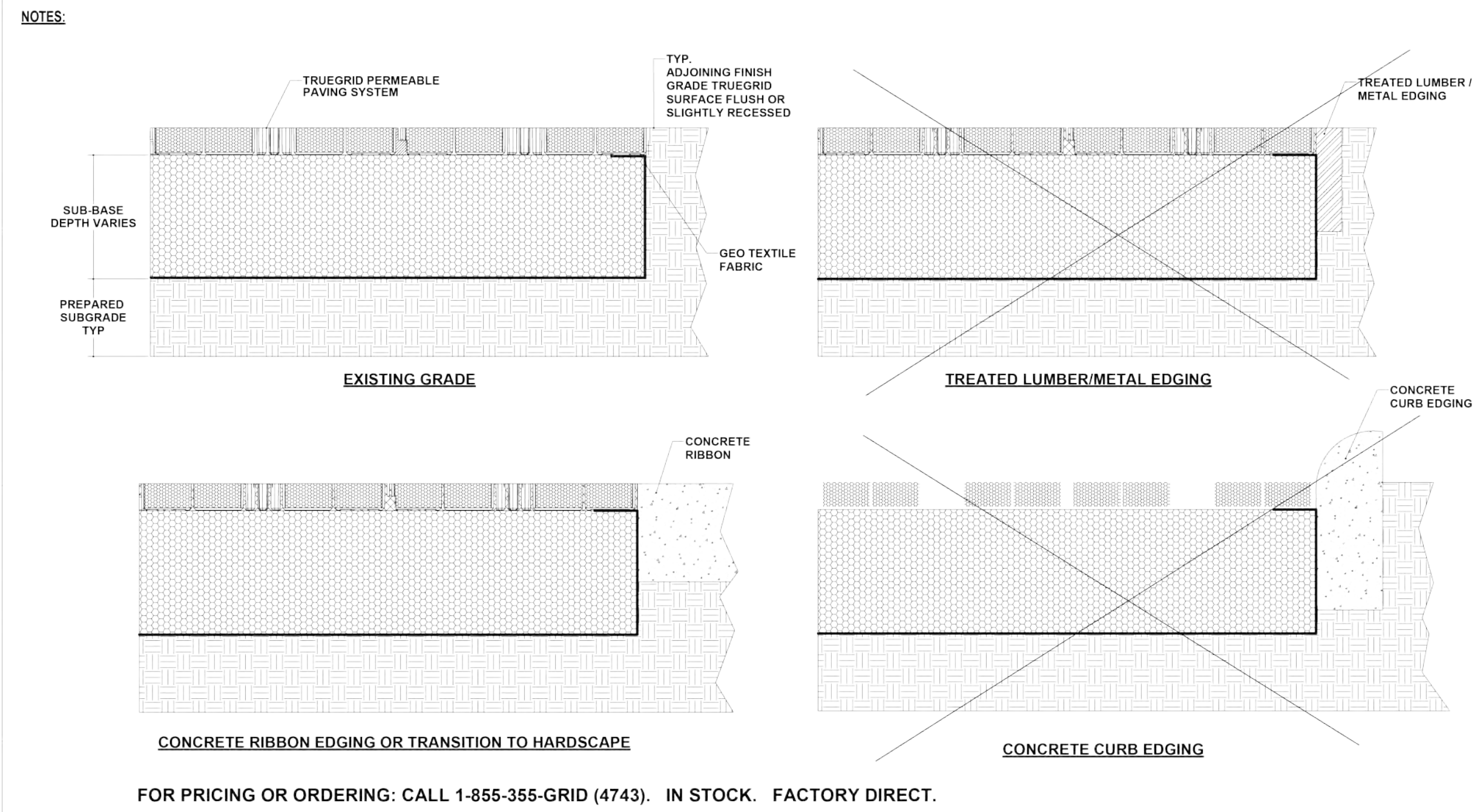
SUPERSPOTS lock into TRUEGRID PRO PLUS to provide maintenance-free parking delineation. No more striping and restriping.



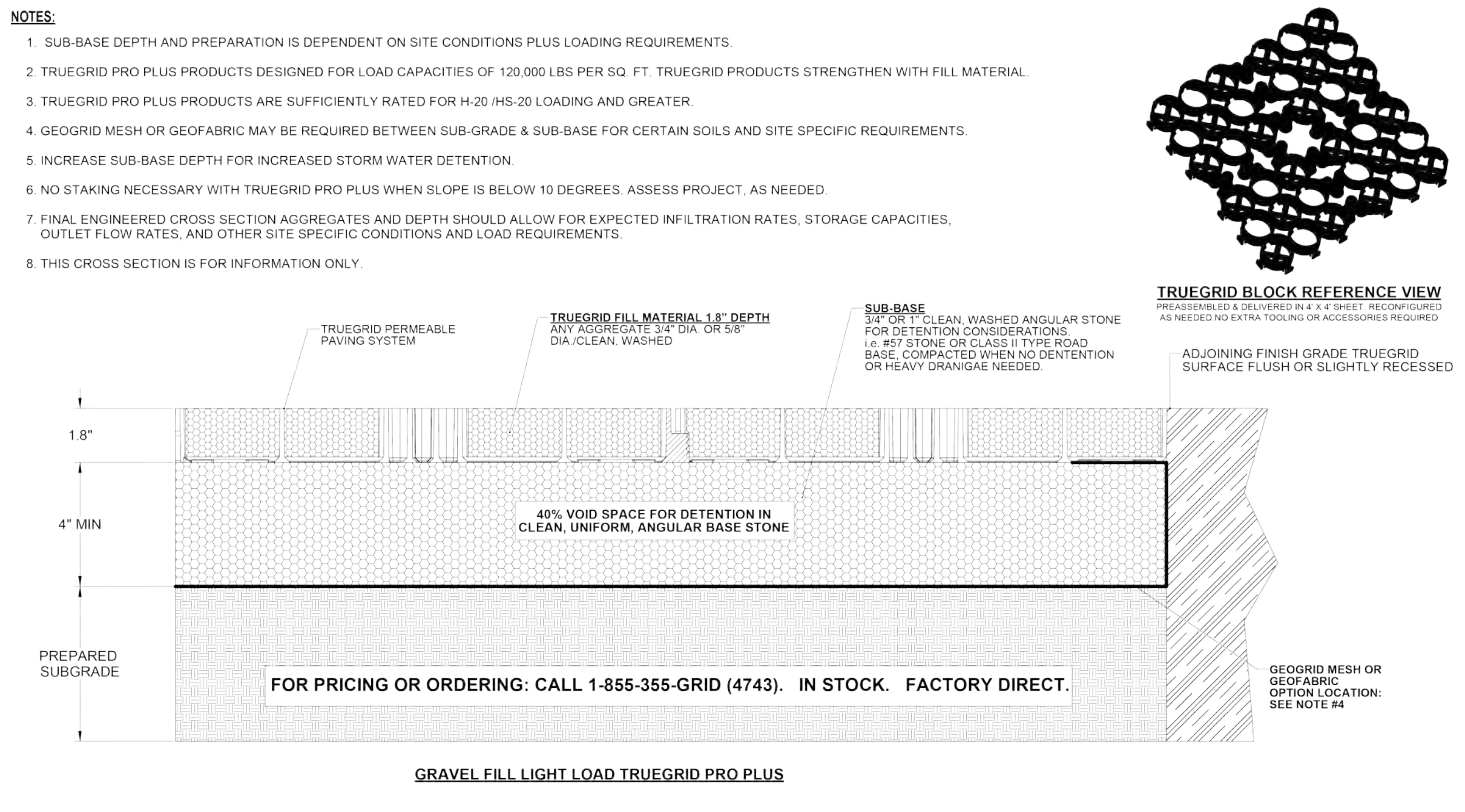
- Domed and ribbed for super strength
- Long term UV stabilized
- 0.90" profile above grid
- 3.25" diameter
- Yellow / Red / Blue / White...available



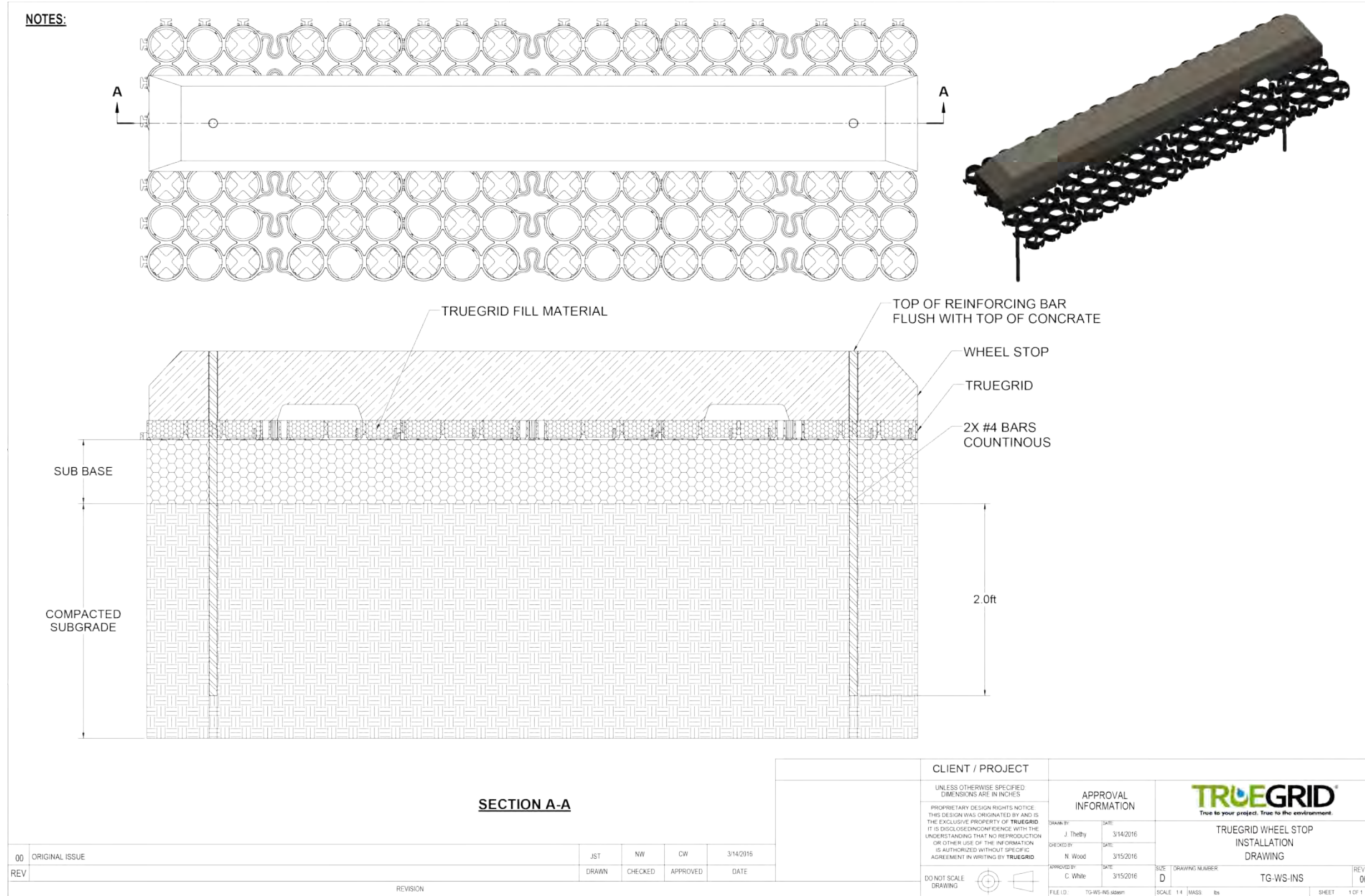
www.truegridpaver.com 6110 Abbott Drive, Omaha, NE 68110 1-855-355-GRID



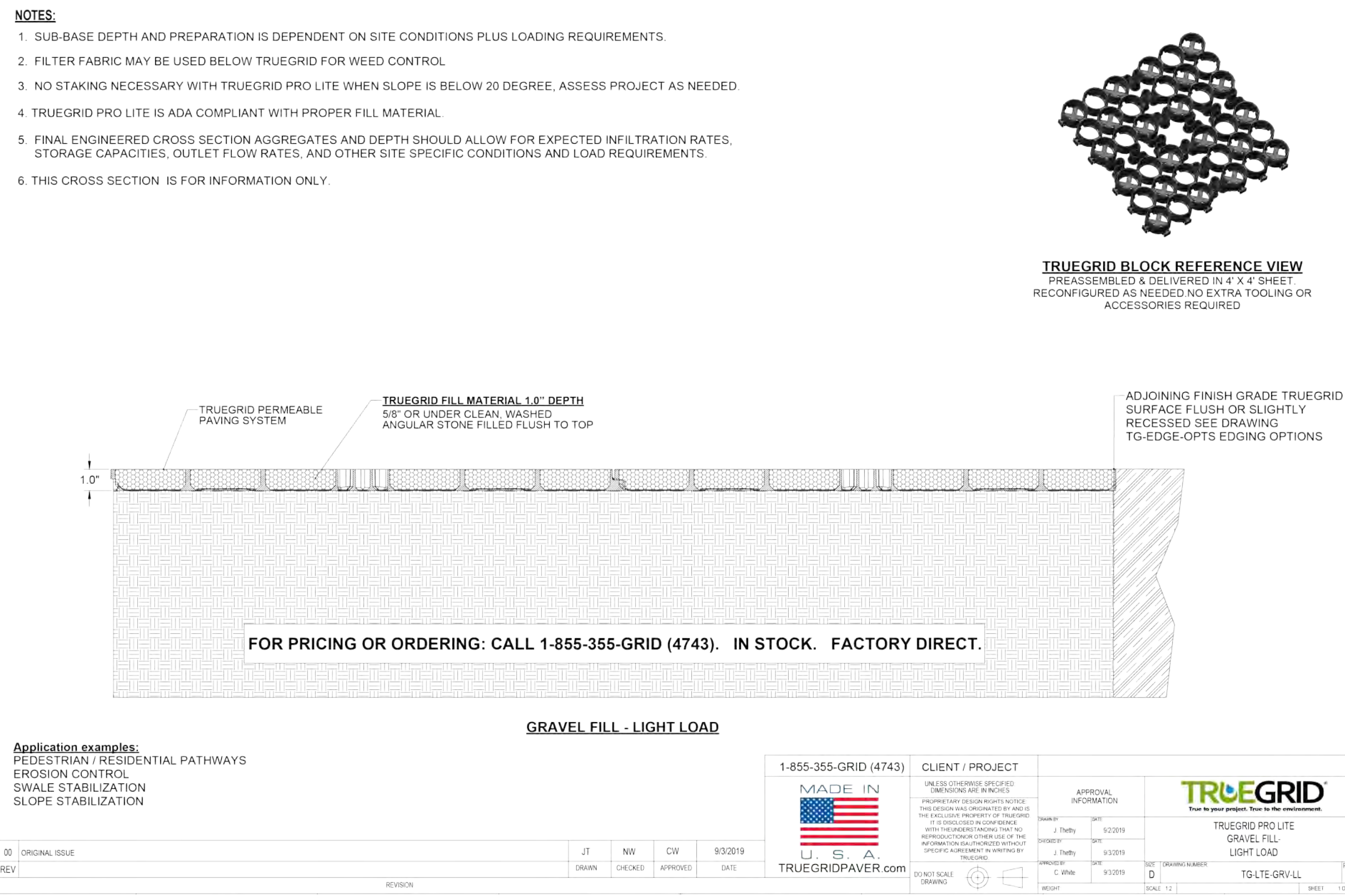
1-855-355-GRID (4743)	CLIENT / PROJECT	APPROVAL INFORMATION	TRUEGRID
MADE IN U.S.A.	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 8/20/2017	TRUEGRID EDGING OPTIONS
TRUEGRIDPAVER.com	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 8/20/2017	TG-EDGE-OPTS
03 UPDATED CONCRETE RIBBON	REVISION	DATE: 11/11/2017	SHEET 1 OF 1



1-855-355-GRID (4743)	CLIENT / PROJECT	APPROVAL INFORMATION	TRUEGRID
MADE IN U.S.A.	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 9/20/2017	TRUEGRID GRAVEL FILL INSTALLATION LIGHT LOAD
TRUEGRIDPAVER.com	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 11/11/2017	TG-GRV-LL
04 UPDATED TRUEGRID STANDARDS	REVISION	DATE: 11/11/2017	SHEET 1 OF 1



00 ORIGINAL ISSUE	REVISION	DATE	BY	CHKD	APPV
01					
02					
03					
04					

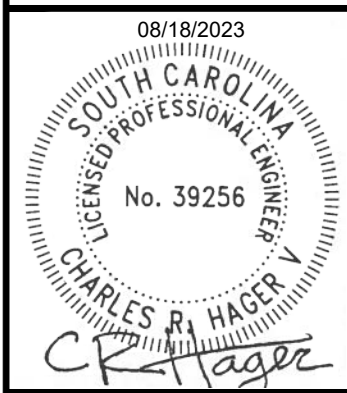


1-855-355-GRID (4743)	CLIENT / PROJECT	APPROVAL INFORMATION	TRUEGRID
MADE IN U.S.A.	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 8/30/2019	TRUEGRID PRO LITE GRAVEL FILL LIGHT LOAD
TRUEGRIDPAVER.com	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES	DATE: 11/11/2017	TG-GRV-LL
00 ORIGINAL ISSUE	REVISION	DATE: 11/11/2017	SHEET 1 OF 1

HILTON HEAD BREWING
1014 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND,
SOUTH CAROLINA 29928

NO.	DATE	BY	DESCRIPTION

DATE: 10/05/2023
DESIGNED BY: RJS
DRAWN BY: RJW
CHECKED BY: CRH
JOB NUMBER: A3665-0401
FILE PATH:



LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401

Phone 843.406.5140
www.lja.com
FRN-C06168

SHEET NO.
C3.3

L:\2023\001\CONTRACT\AN-SHEETS\30265-0401-SITE-DETAILS.dwg
 User: rml@lja.com
 Last Modified: Oct 03, 2023 10:09:58 AM
 Plot: 3/20/2023 10:09:58 AM

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 1014 William Hilton Parkway

DRB#: DRB-1706-2023

DATE: 10/10/2023

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.

PASCO / VIENNE
ARCHITECTURE
design/visualizations/forensics

MEMORANDUM
September 28, 2023

TO Town of Hilton Head Island DRB

RE AURA Hotel Submittal

Thank you for your review of our project last month, re-configuring an obsolete commercial structure into a small hotel. We have considered the advice and recommendations, and made changes in response. We hope these accommodations will allow an approval, so that we may proceed with final design, engineering, and pricing.

First, we have decided to forgo (or postpone) any extension of the existing exterior stairs either end of the building, - at least until we determine the feasibility of making use of existing attic area. As a consequence, the stairs remain as-is in our proposal. (The prior inconsistency in elevations has been fixed).

Second, we have removed the small hip roofs that were found objectionable atop the new elevator and roof staircase, and designed a simple flat roof with minimal overhang as shown and dimensioned on the revised drawings. (We considered a trellis, but felt the simple flat cap roof was more attractive and appropriate).

Third, we have increased the size of the ligustrum serving as buffer landscaping, and the crepe myrtles, as recommended by the board.

Fourth, we have supplied additional detail on the requisite ADA parking spaces including pavement marking, pitch, and signage.

Fifth, we have added bike lane access to and through the town owned open space on Pope with its public bike trail. This will be built to town standards.

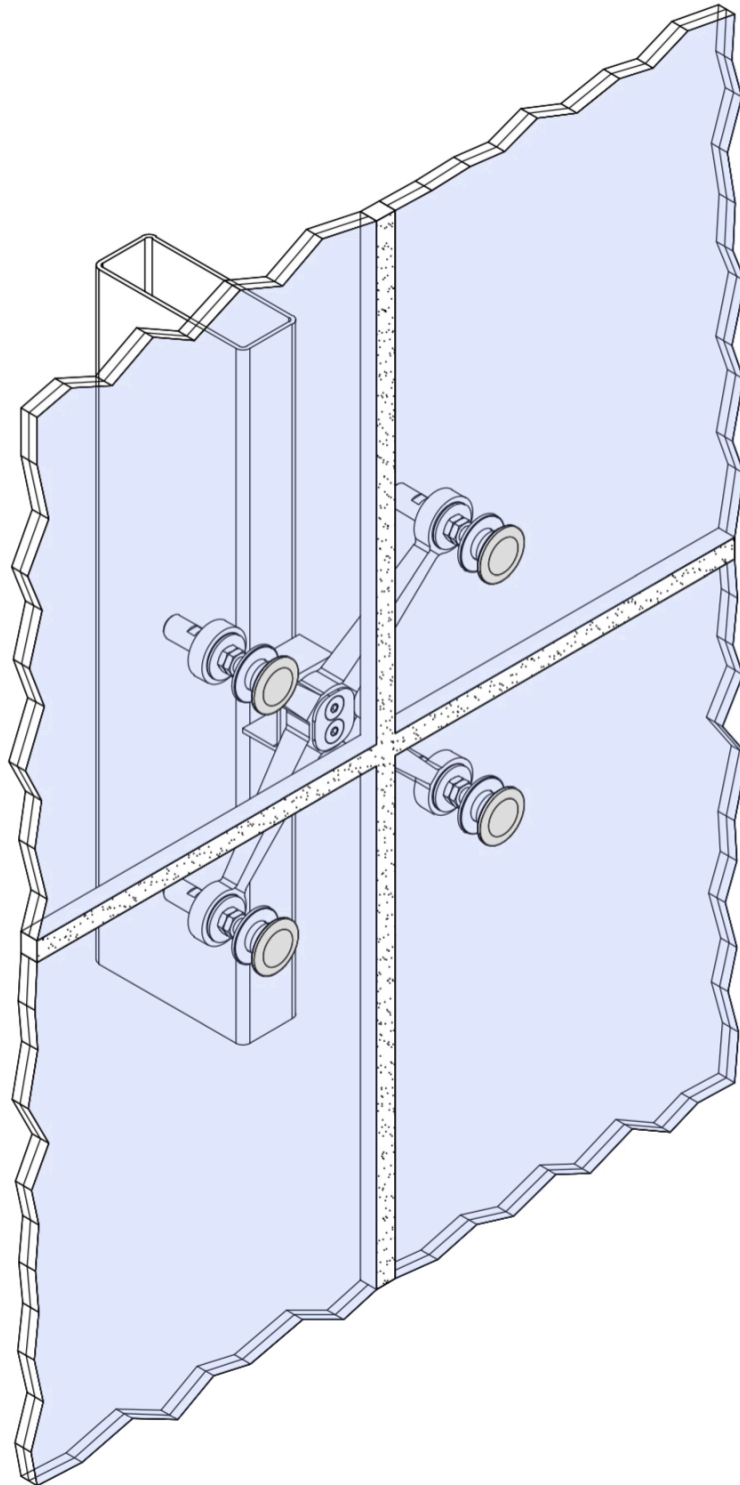
Sixth, a modified color board has been supplied with less "black" shown for the fenestration, and a more creamy stucco color, less "white", with an awning color shown. The colors, defined by RGB code, are shown on the revised elevations (monitor displays vary in fidelity).

Seventh, we have reexamined how the existing metal hip roof will be modified to adapt to the new glass atrium and roof terrace, and believe it is quite well resolved from a design point of view, consistent with extant configuration, pitch, eave, soffit, et al.

Eighth, we have added details of the premiere glass attachment system supplied by our subcontractor Novum Structures, along with pictures of a similar project of theirs showing means of connections (exterior walls, etc).







BALTIMORE



LARGE AUTOBAHN



HAGERSTOWN



SALEM



SMALL AUTOBAHN



FLOOD

Parking Lots:

Autobahns provide the best lighting for the safety of you and your customers.

Roadways:

In residential areas, the Baltimore (Westbury Park), Salem (Hampton Lake) or Hagerstown (Baynard Park) is recommended.

Backyards & Fields:

A Standard option is offered for yards and Flood Lights for fields (not shown). These lights are available in areas without community or government restrictions.

Approval Forms:

Packets are generated by PECI, for both the Customer and local governing bodies, and contain approval forms. It is the customer's responsibility to submit the package to the appropriate governing body for approval **AND** to see that PECI receives the signed approval from the governing body.

Contracts:

Contracts are generated after signed approval forms are received by PECI. The original contract, signed by the customer, must be returned to PECI in order for staking, scheduling and construction of the lighting project to begin. Faxed contracts **CANNOT** be accepted. Material will **NOT** be ordered and work will **NOT** begin until PECI has a signed contract. Material delivery may take up to 12 weeks.

Aid To Construct:

Additional costs may include road bores, and/or additional PECI equipment, i.e. transformers, pedestals. This fee, if needed, must be paid in full prior to any construction.

Installation Charges:

Each pole location includes 100' of wire from any PECI energy source at no additional charge to the customer by use of mechanical trenching

methods. Any footage over 100' will be charged a fee per foot.

All light wire will be in schedule 40 conduit and must be buried at a minimum depth of 36". For parking lot or road crossings, sleeves must be schedule 40 conduit at a minimum depth of 36" and provided by the customer.

Poles:

PECI offers wood, fiberglass or aluminum poles at various heights for each option. Poles are set directly into soil, or on bases set directly into soil, at depths specified by manufacturer.

Operation:

All PECI lights are operated by a photocell, which turns the lights on at dusk and off at dawn.

Landscaping & Irrigation:

Any landscaping that must be removed for installation of the lights is the responsibility of the customer to remove and re-install as necessary. It is also the responsibility of the customer to locate irrigation pipe and any other customer owned buried equipment to avoid conflicts with the new installation.

Light Data:

Any data needed for the lights, i.e. costs, wattages, IES files, etc., may be obtained by calling any of the contacts listed at the New River Engineering office.

Contacts:

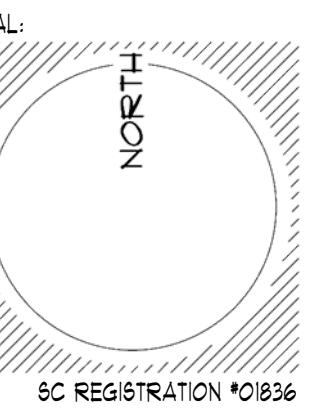
Roxane Tindal	843-208-5511
Katie Mock	843-208-5510

Revised 2/20/2018 RBT



LED OUTDOOR LIGHTING PROGRAM





LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hgray.com

EXISTING/NEW
ELEVATIONS



A4: 5 EX. RT. ELEVATION SCALE: 1/8" = 1'-0"



A4: 1 EX. FRONT ELEVATION SCALE: 1/8" = 1'-0"



A4: 6 NEW RT. ELEVATION SCALE: 1/8" = 1'-0"



A4: 2 NEW FRONT ELEVATION SCALE: 1/8" = 1'-0"



A4: 7 EX. LEFT ELEVATION SCALE: 1/8" = 1'-0"



A4: 3 EX. REAR ELEVATION SCALE: 1/8" = 1'-0"



A4: 8 NEW LEFT ELEVATION SCALE: 1/8" = 1'-0"



A4: 4 NEW REAR ELEVATION SCALE: 1/8" = 1'-0"

JOB#

SUBMITTALS:

BLDG PERMIT _____

REVISIONS:

1. _____

2. _____

3. _____

4. _____

5. _____

6. _____

ISSUE: September 28, 2023

PRICING _____

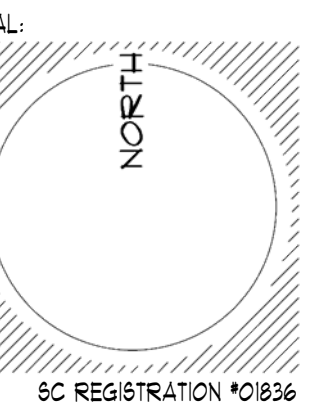
BIDDING _____

CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

SHEET: OF:

A.4



LOT 12-A

1/4 LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
139 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hgray.com

EXISTING/NEW
ELEVATIONS
&
PERSPECTIVES

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

- 1. _____
- 2. _____
- 3. _____
- 4. _____
- 5. _____
- 6. _____

ISSUE: September 28, 2023

PRICING
BIDDING
CONSTRUCTION

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

SHEET: OF:



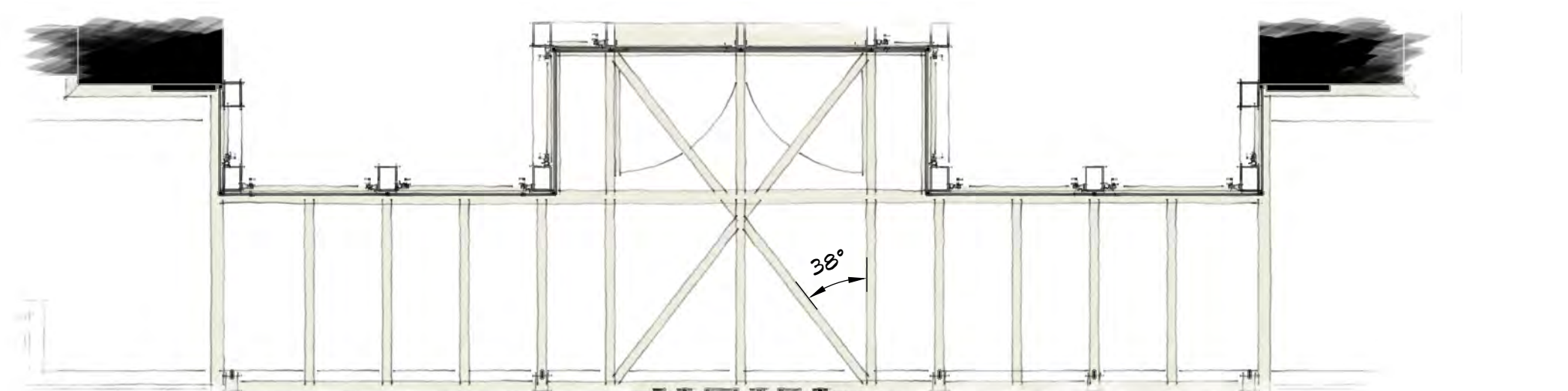
EX. 6LAB ELEV. + 12.50' MSL

A5: 1 EX. ENTRY PRSPCT'V.



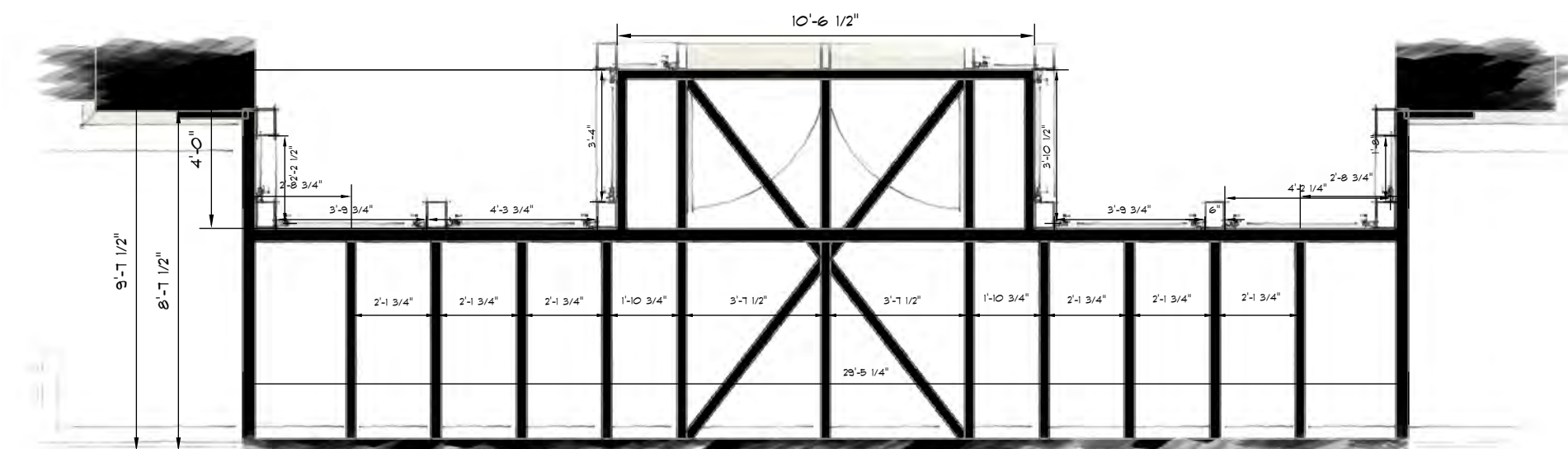
A5: 2 EX. ENTRY ELEV.

SCALE: 1/4" = 1'-0"



A5: 3 X6 "J" SUSPENDED STL. CANOPY

SCALE: 1/4" = 1'-0"



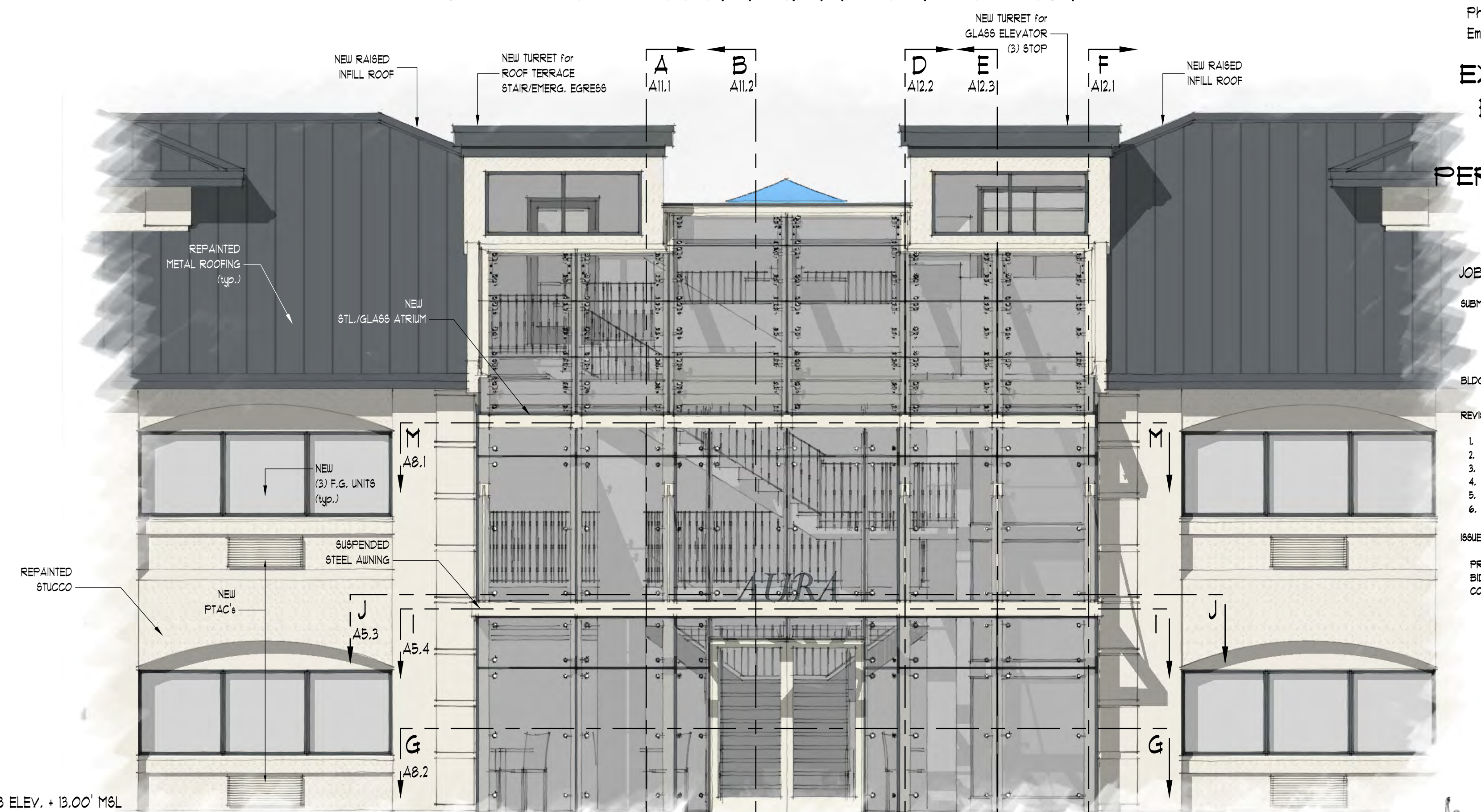
A5: 4 X6 "I" SUSPENDED STL. CANOPY

SCALE: 1/4" = 1'-0"



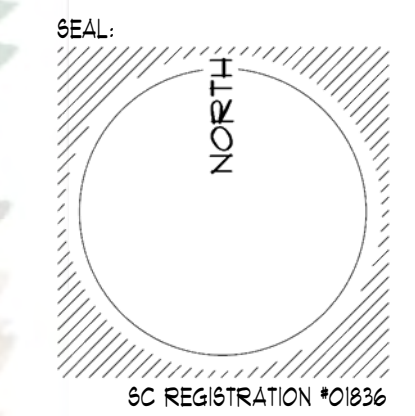
NEW 6LAB ELEV. + 13.00' MSL

A5: 5 NEW ENTRY PRSPCT'V.



A5: 6 NEW ENTRY ELEV.

SCALE: 1/4" = 1'-0"



LOT 12-A
 F&A LOTS 12 & 13
 POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
 HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
 VINCE ROSTOV
 % ROSTOV ENTERPRISES LLC
 151 NW 5TH ST. #2
 FORT LAUDERDALE FL 33309
 1.954.560.3601
 VINCEROSTOV@GMAIL.COM

CONTRACTOR:
 NAME
 ADDRESS
 PHONE
 EMAIL

SURVEYOR:
 T-SQUARE SURVEYING
 P.O. DRAWER 330
 138 BURNT CHURCH ROAD
 BLUFFTON, SC 29910
 Phone: 1.843.757.2650
 Email: tsquare@hgray.com

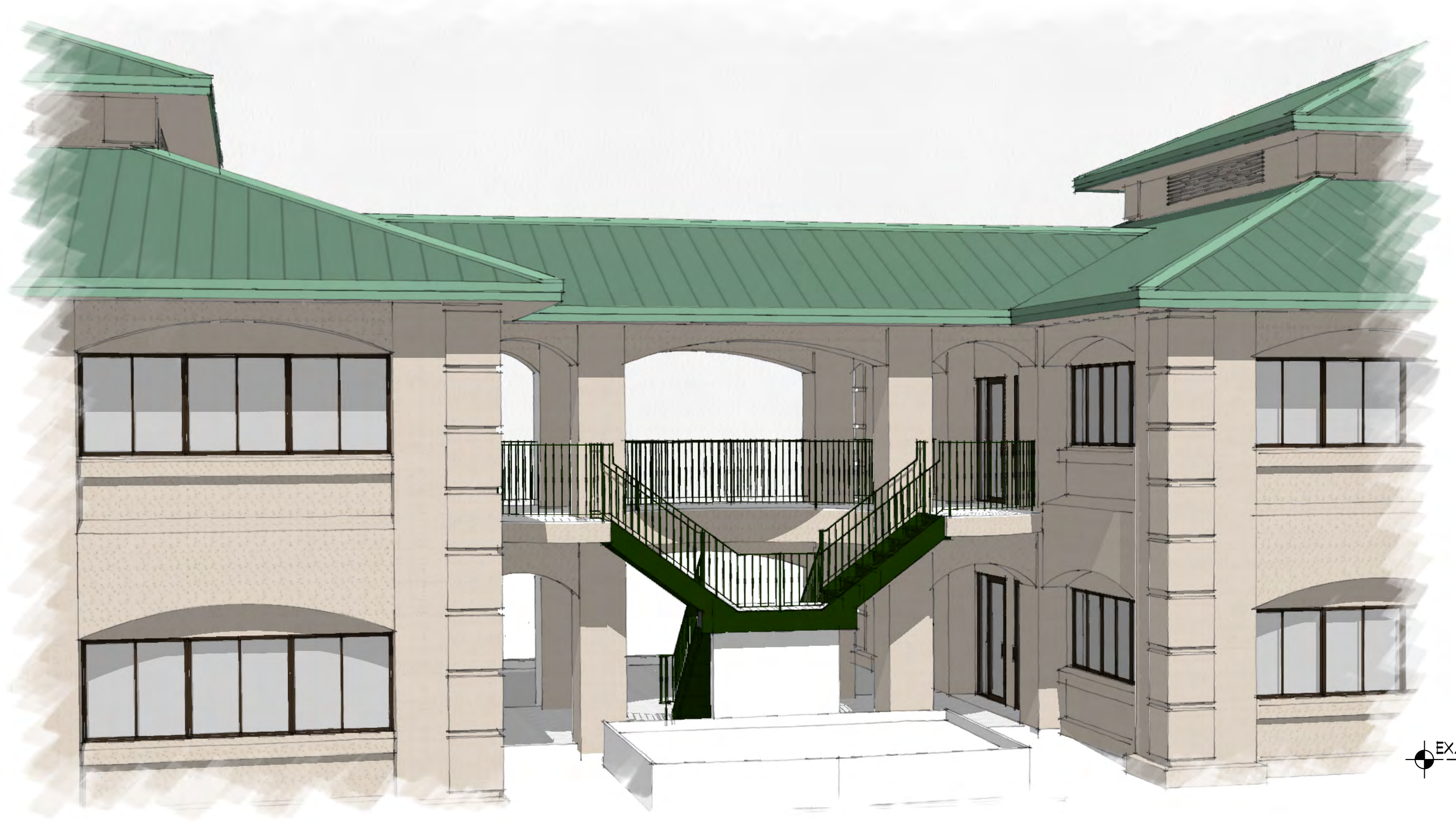
EXISTING/NEW ELEVATIONS & PERSPECTIVES

JOB# _____
 SUBMITTALS: _____
 BLDG PERMIT _____

REVISIONS:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____
 6. _____

ISSUE: September 28, 2023
 PRICING _____
 BIDDING _____
 CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.
 SHEET: OF:



A6: 1 EX. REAR PRSPCT'V.

EX. SLAB ELEV. + 12.50' MSL



A6: 2 EX. REAR ELEV.

SCALE: 1/4" = 1'-0"



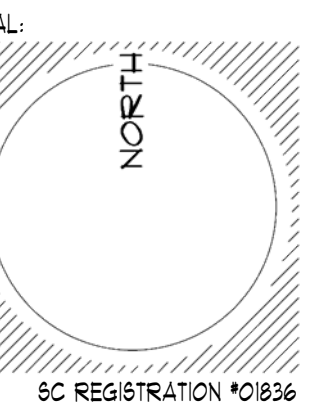
A6: 3 NEW REAR PRSPCT'V.

NEW SLAB ELEV. + 13.00' MSL



A6: 4 NEW REAR ELEV.

SCALE: 1/4" = 1'-0"



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hagrays.com

NEW
AERIAL'S

JOB#

SUBMITTALS: _____

BLDG PERMIT _____

REVISIONS:

1. _____

2. _____

3. _____

4. _____

5. _____

6. _____

ISSUE: September 28, 2023

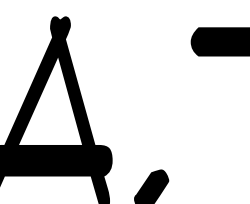
PRICING _____

BIDDING _____

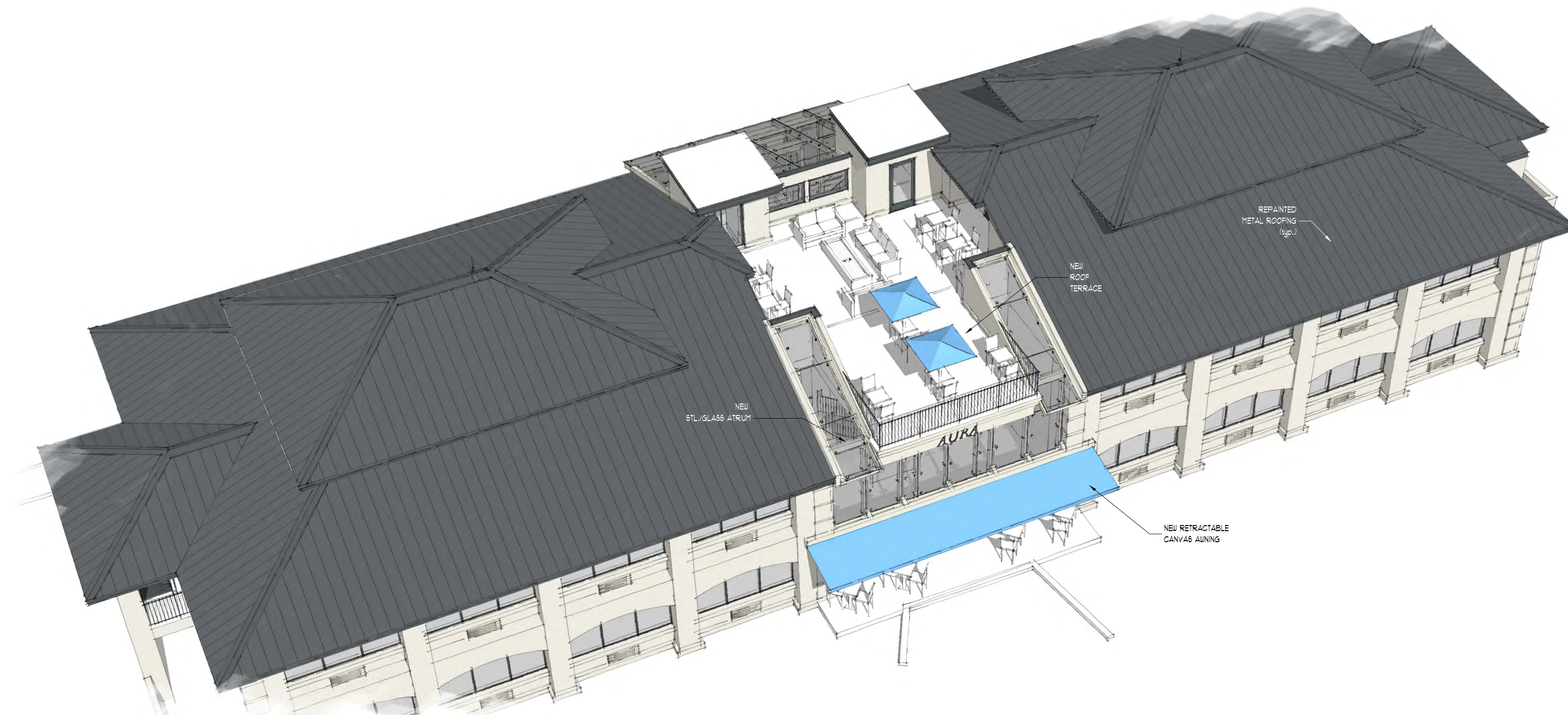
CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

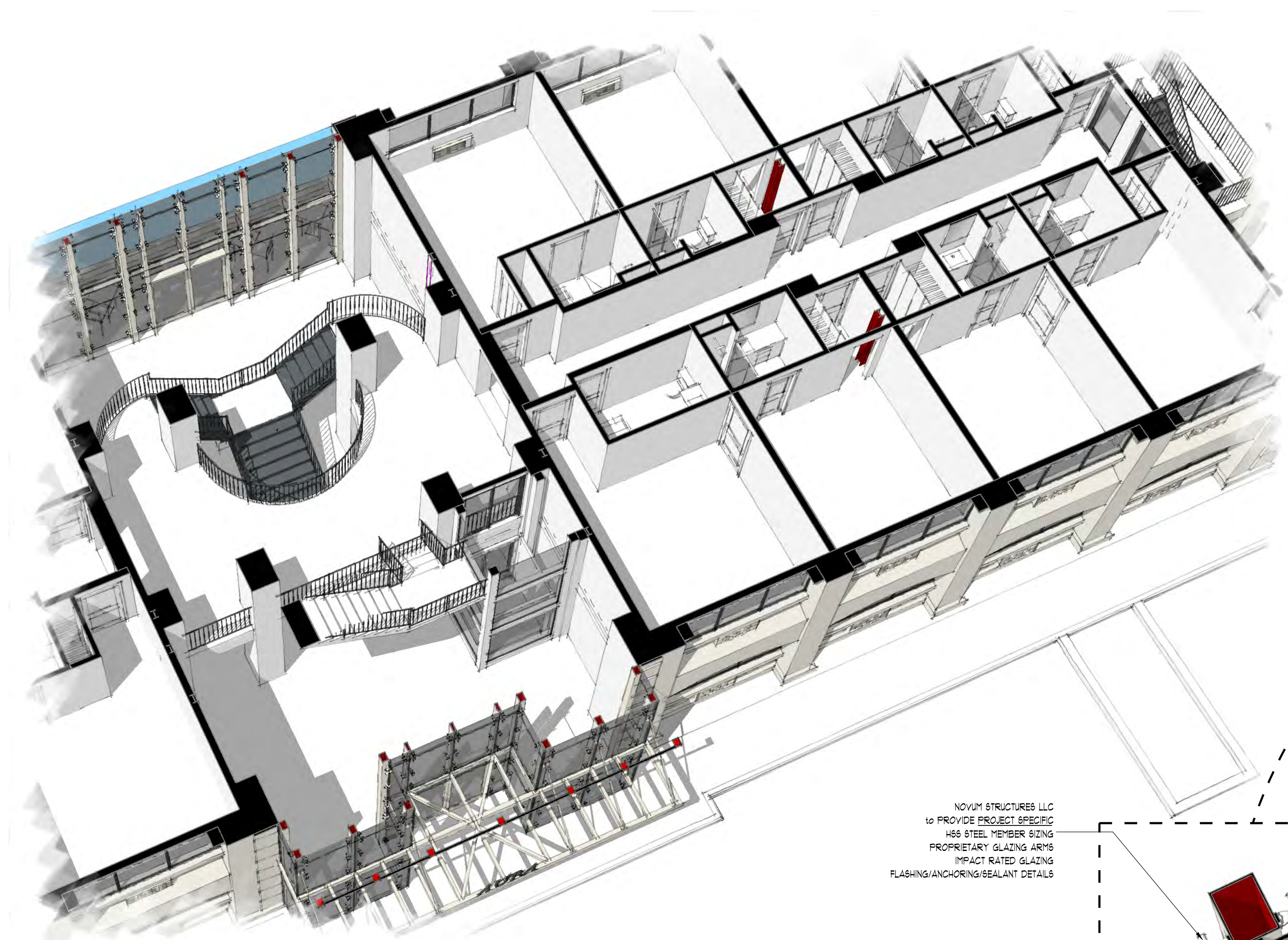
SHEET: OF:



AT: 1 NEW ENTRY AERIAL

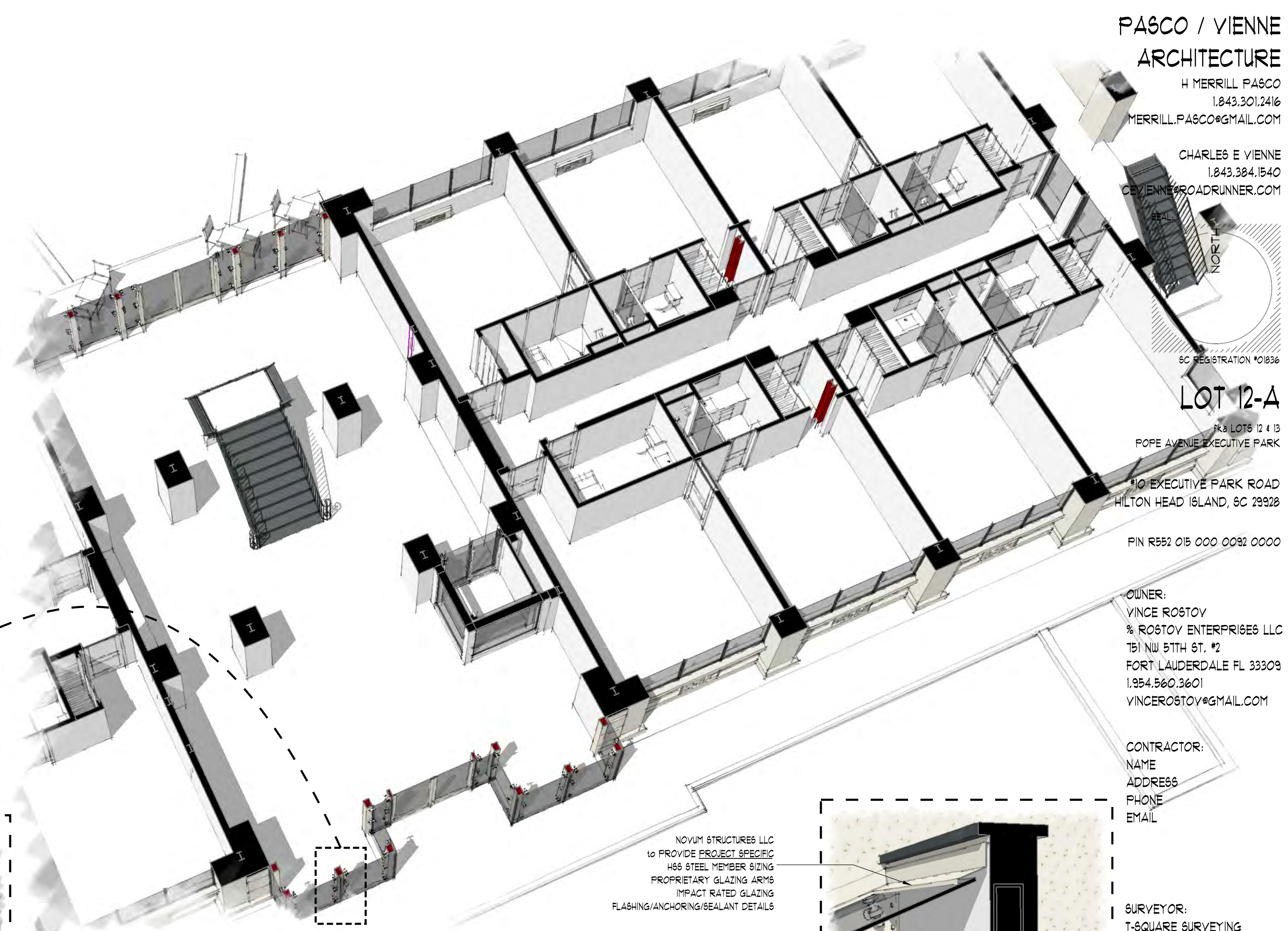
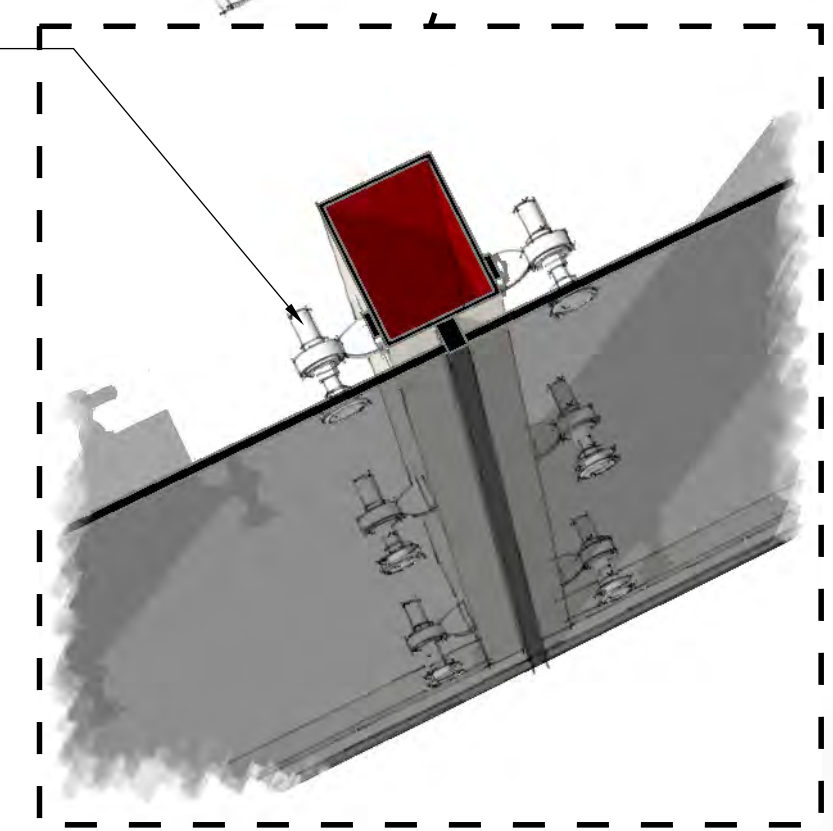


AT: 2 NEW REAR AERIAL



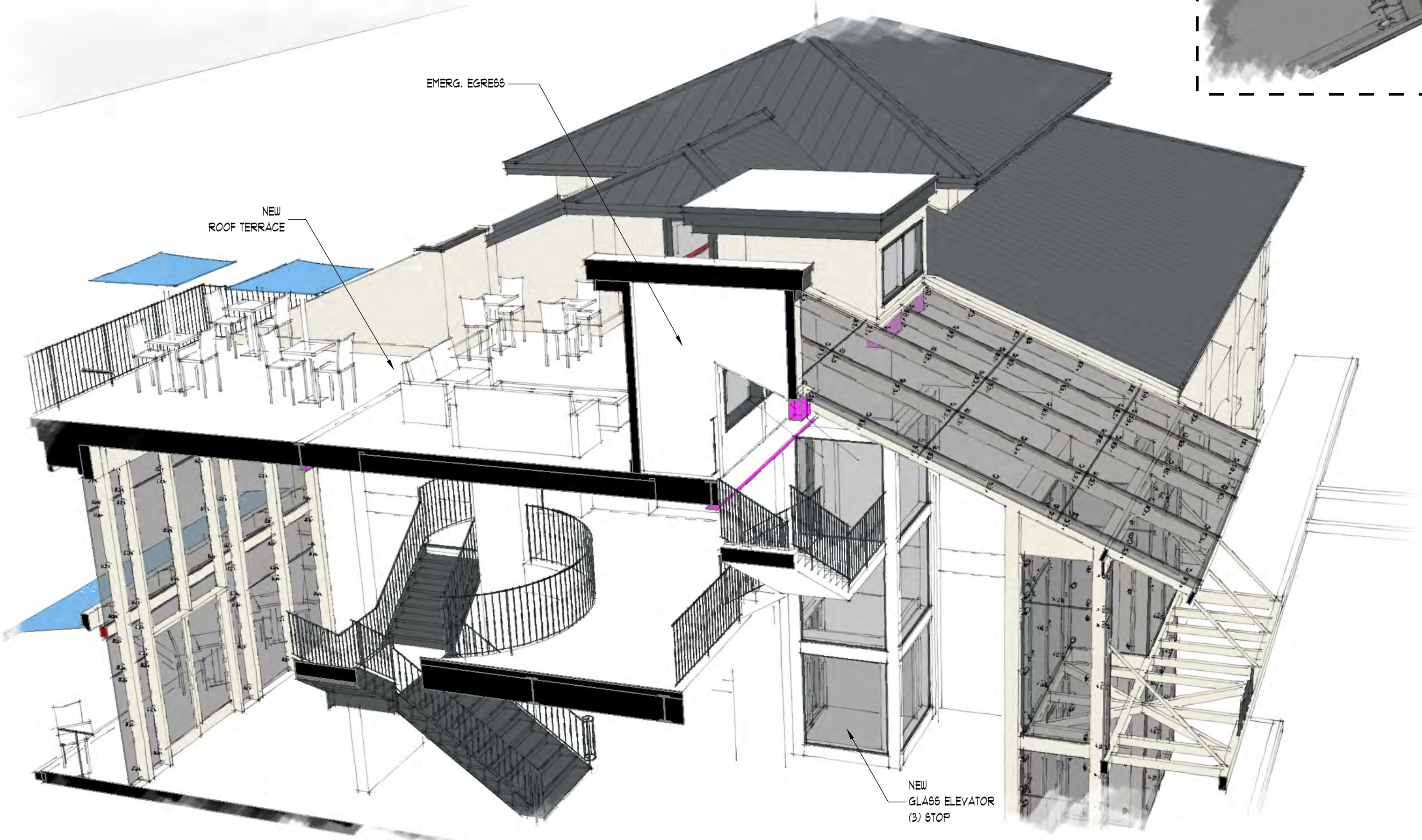
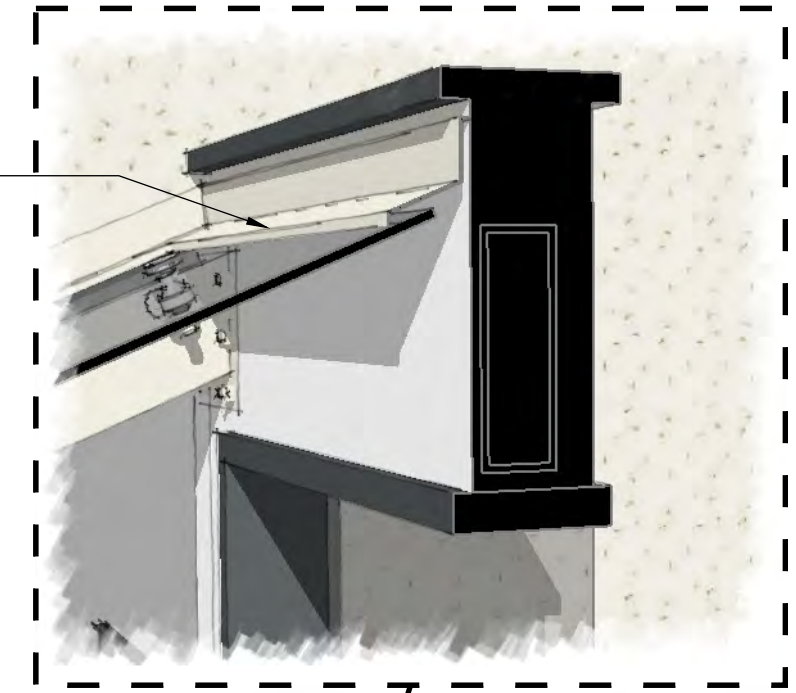
A8: 1 PARTIAL X6 "M" AERIAL (LVL 2)

NOVUM STRUCTURES LLC
TO PROVIDE PROJECT SPECIFIC
#66 STEEL MEMBER SIZING
PROPRIETARY GLAZING ARMS
IMPACT RATED GLAZING
FLASHING/ANCHORING/SEALANT DETAILS

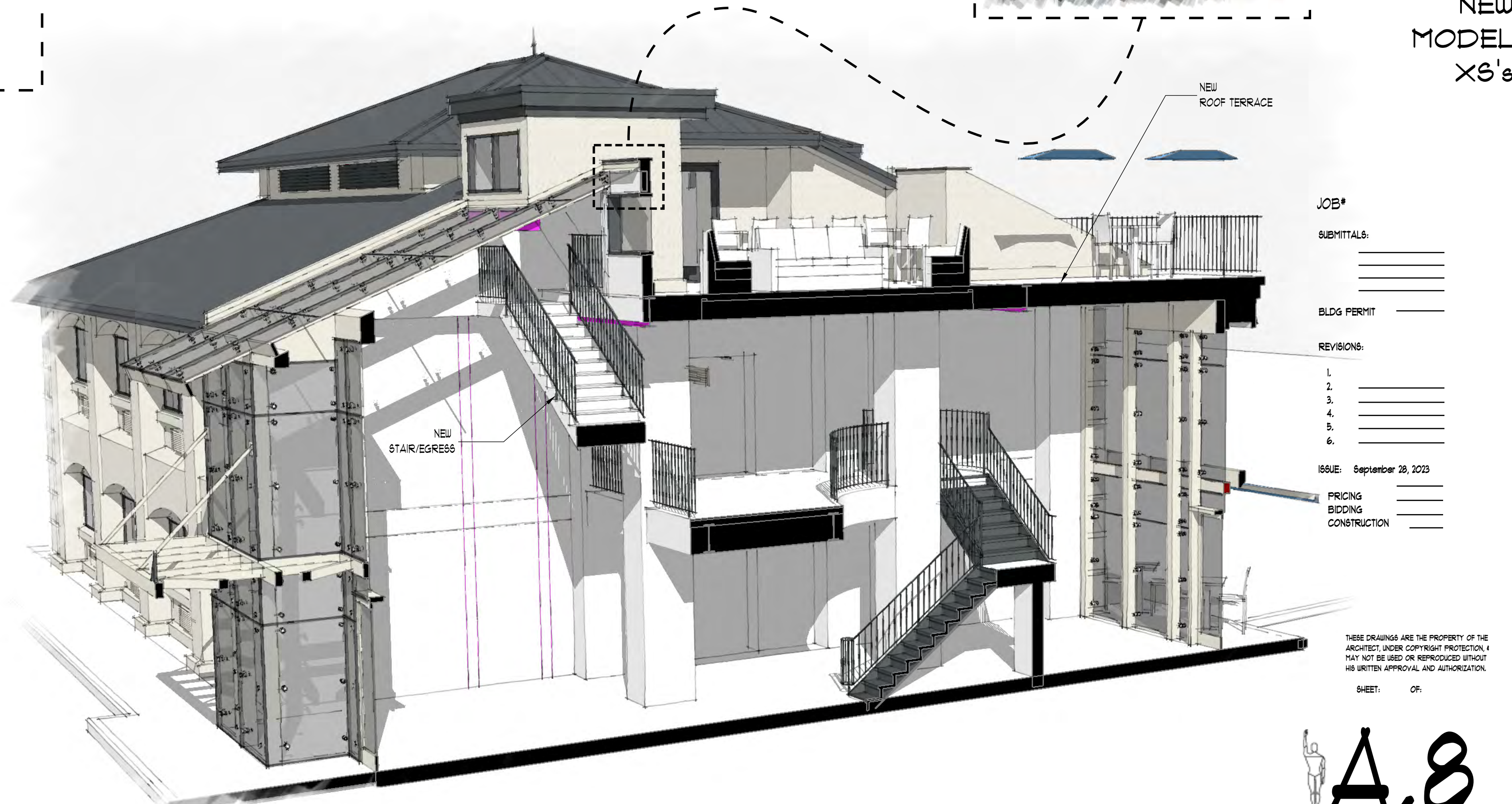


A8: 2 PARTIAL X6 "G" AERIAL (LVL 1)

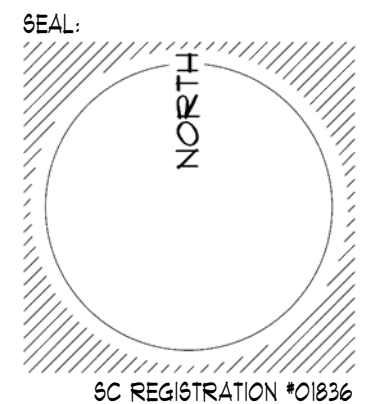
NOVUM STRUCTURES LLC
TO PROVIDE PROJECT SPECIFIC
#66 STEEL MEMBER SIZING
PROPRIETARY GLAZING ARMS
IMPACT RATED GLAZING
FLASHING/ANCHORING/SEALANT DETAILS



A8: 3 MODEL X6 "A"



A8: 4 MODEL X6 "B"



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hgray.com

NEW
PERSPECTIVES

JOB#

SUBMITTALS:

BLDG PERMIT

REVISIONS:

- 1. _____
- 2. _____
- 3. _____
- 4. _____
- 5. _____
- 6. _____

ISSUE: September 28, 2023

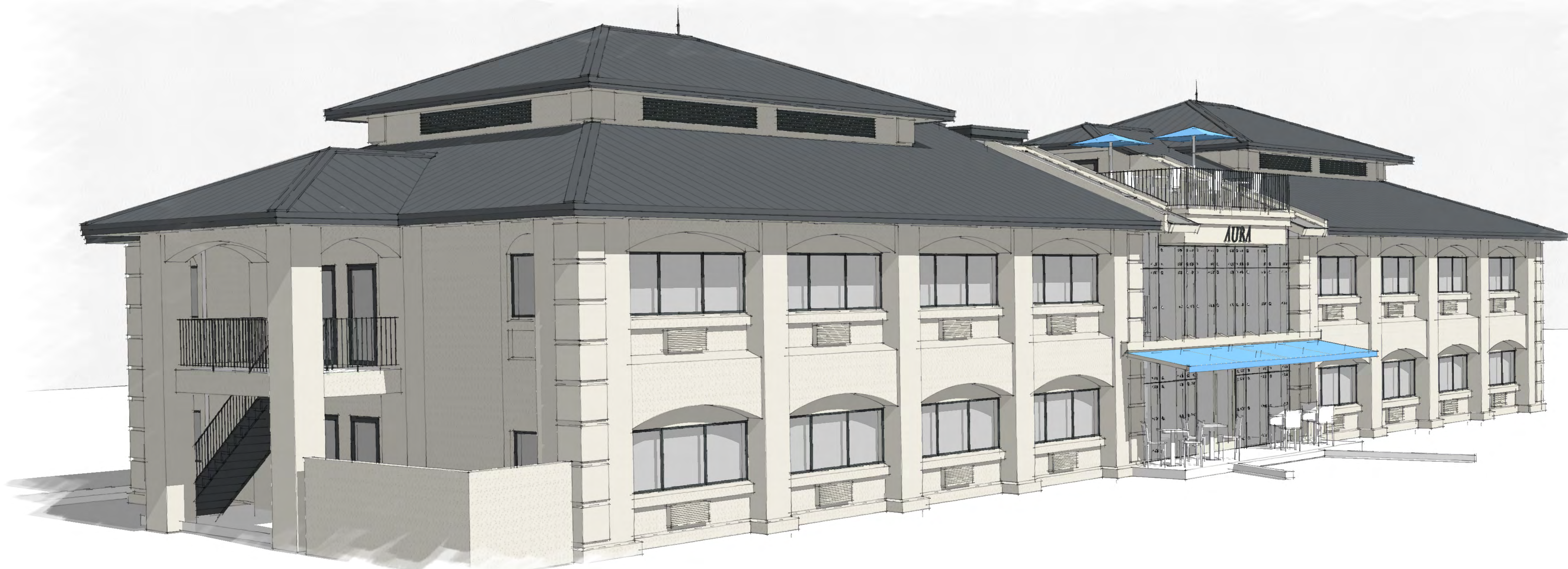
PRICING
BIDDING
CONSTRUCTION

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

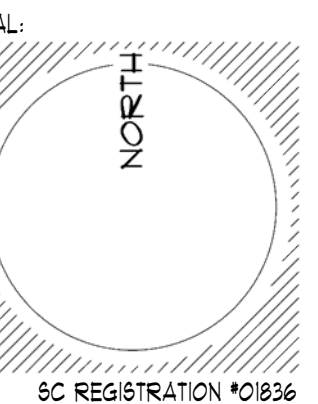
SHEET: OF:



A9: 1 NEW NORTH to SOUTH



A9: 2 NEW NORTH W. to SOUTH E.



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hagrays.com

NEW PERSPECTIVES

JOB#

SUBMITTALS: _____

BLDG PERMIT _____

REVISIONS:

1. _____

2. _____

3. _____

4. _____

5. _____

6. _____

ISSUE: September 28, 2023

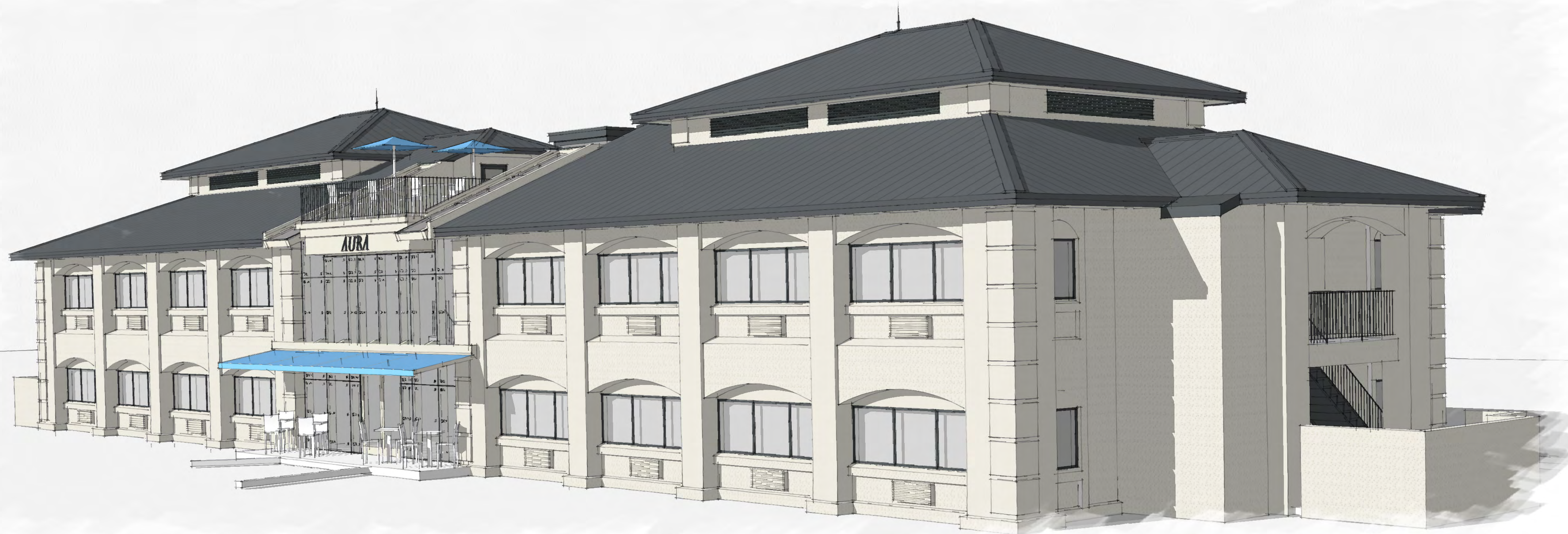
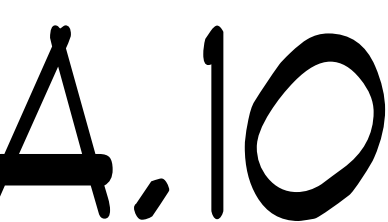
PRICING _____

BIDDING _____

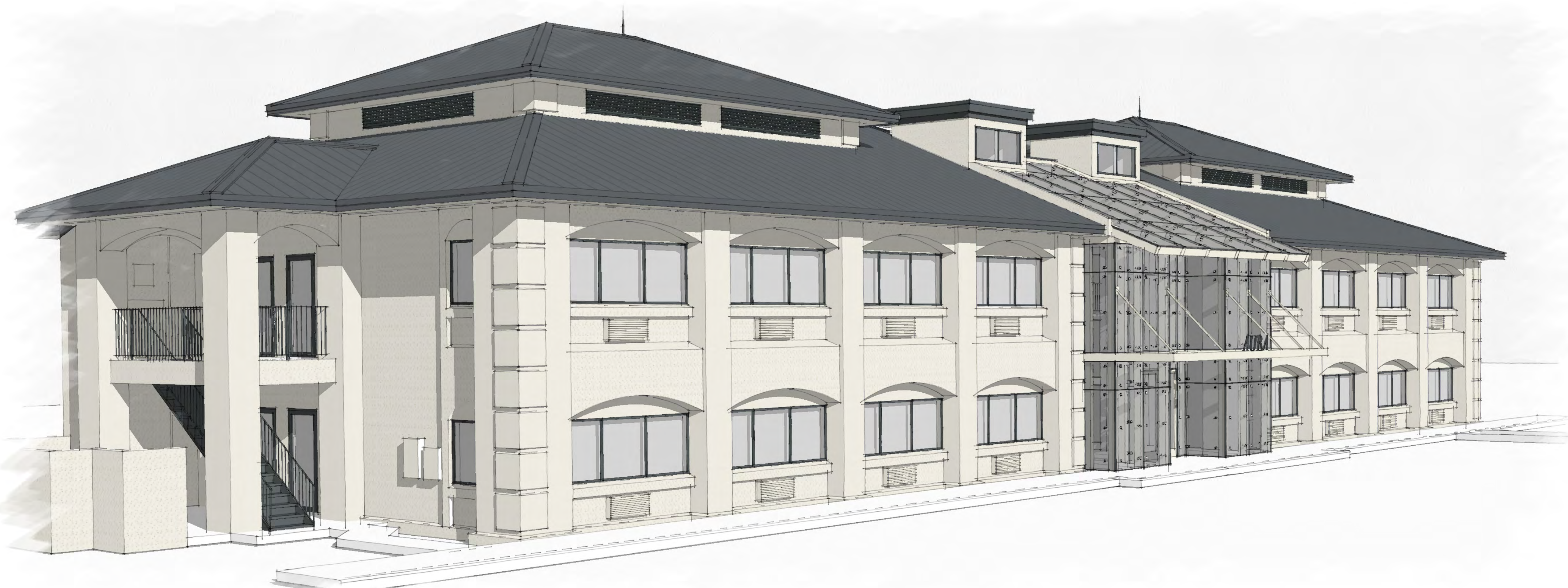
CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

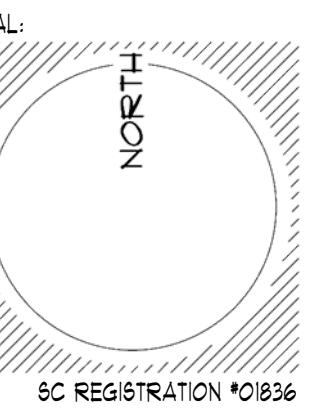
SHEET: OF:



AIO: 1 NEW SOUTH to NORTH



AIO: 2 NEW SOUTH E. to NORTH W.



LOT 12-A

aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928

PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hgray.com

NEW
MODEL
X6'S

JOB# _____

SUBMITTALS: _____

BLDG PERMIT _____

REVISIONS:

1.	_____
2.	_____
3.	_____
4.	_____
5.	_____
6.	_____

ISSUE: September 28, 2023

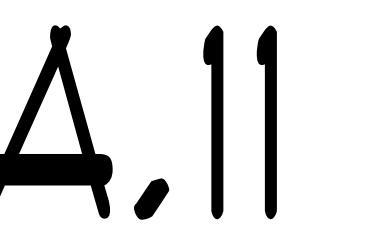
PRICING _____

BIDDING _____

CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.

SHEET: OF:



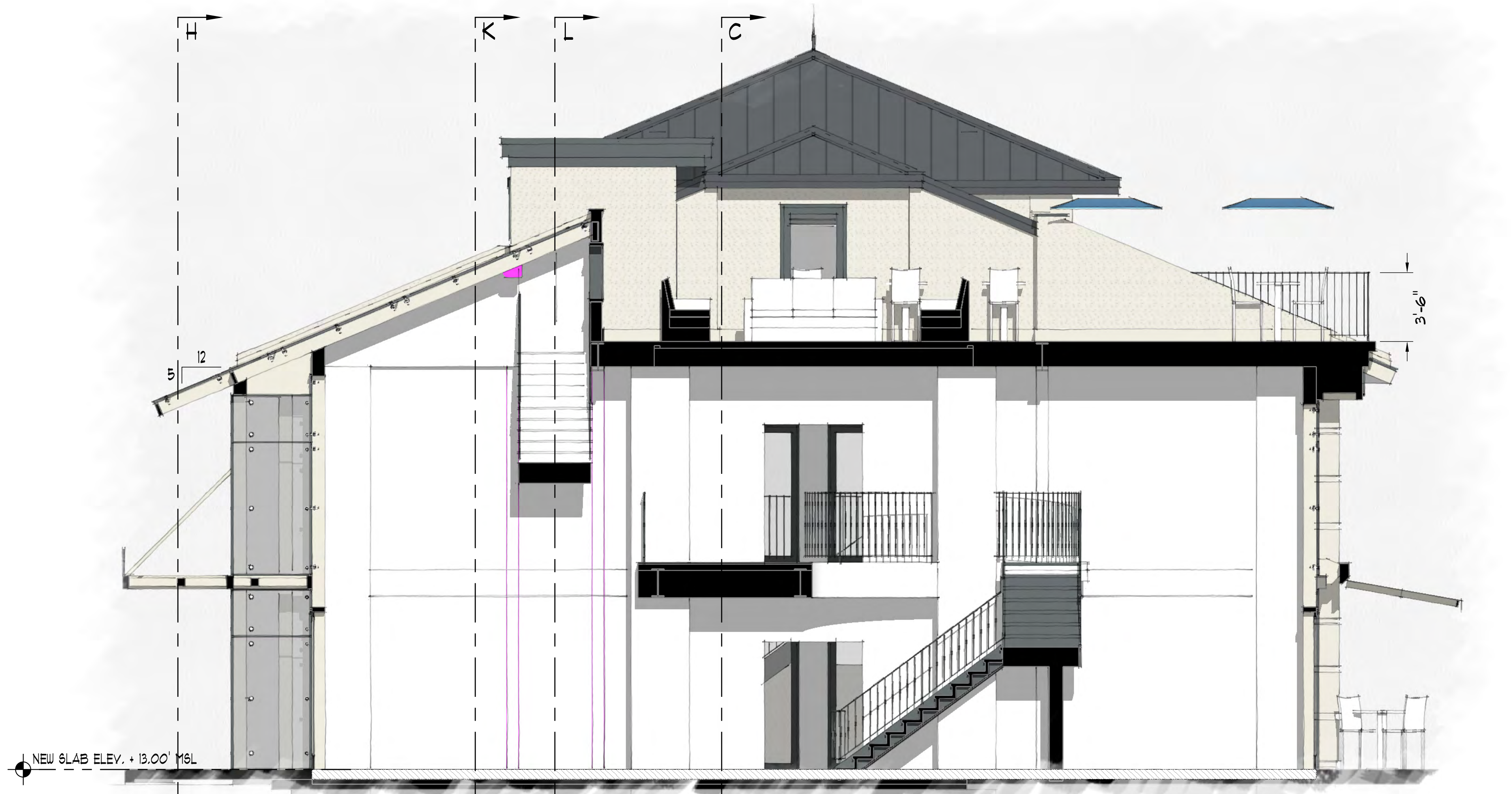
All: 3 X6 "L" @ N. TERR. STAIR/EGRESS SCALE: 1/4" = 1'-0"



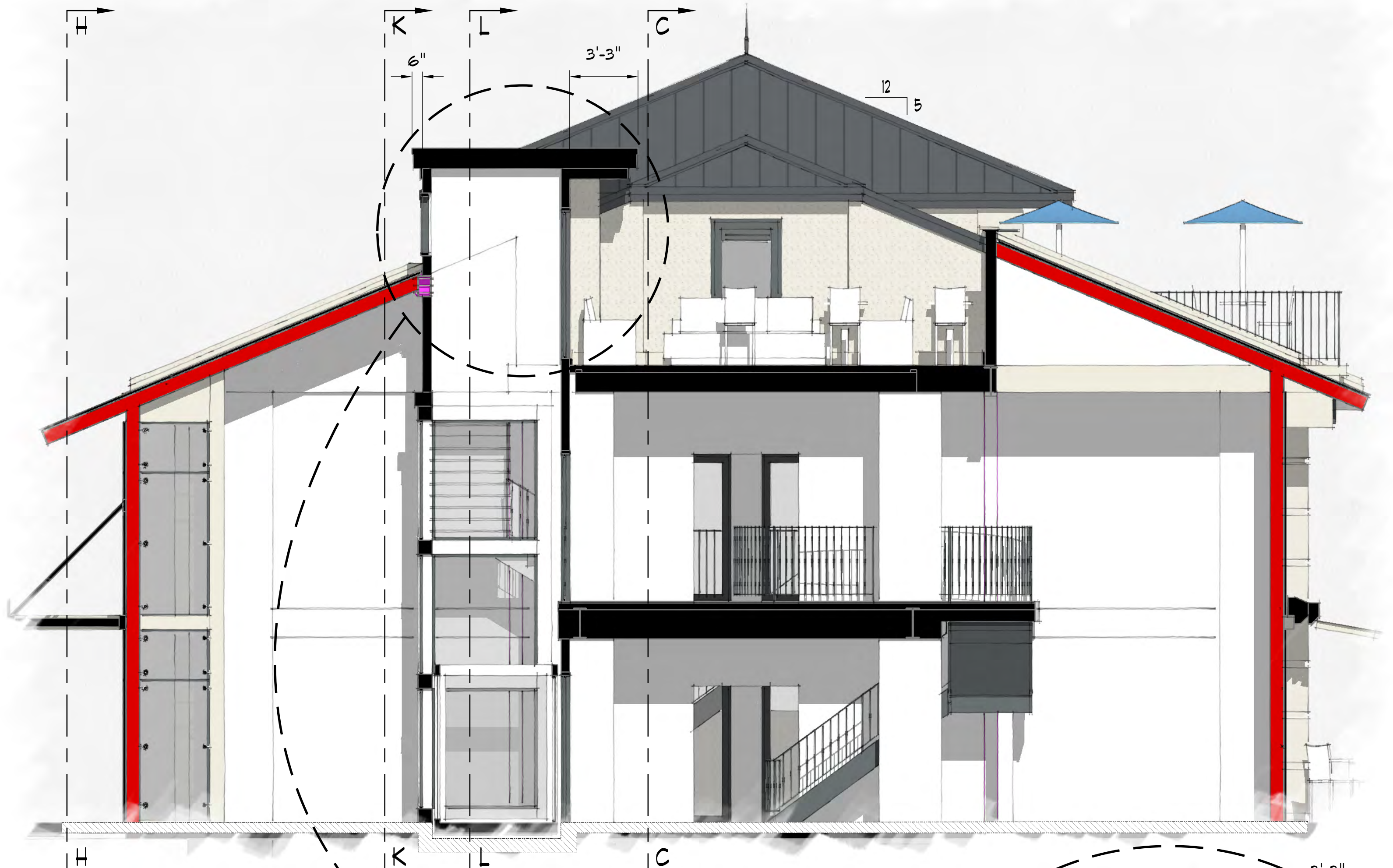
All: 1 MODEL X6 "A" SCALE: 1/4" = 1'-0"



All: 4 X6 "C" @ TERRACE/ATRIUM SCALE: 1/4" = 1'-0"



All: 2 MODEL X6 "B" SCALE: 1/4" = 1'-0"



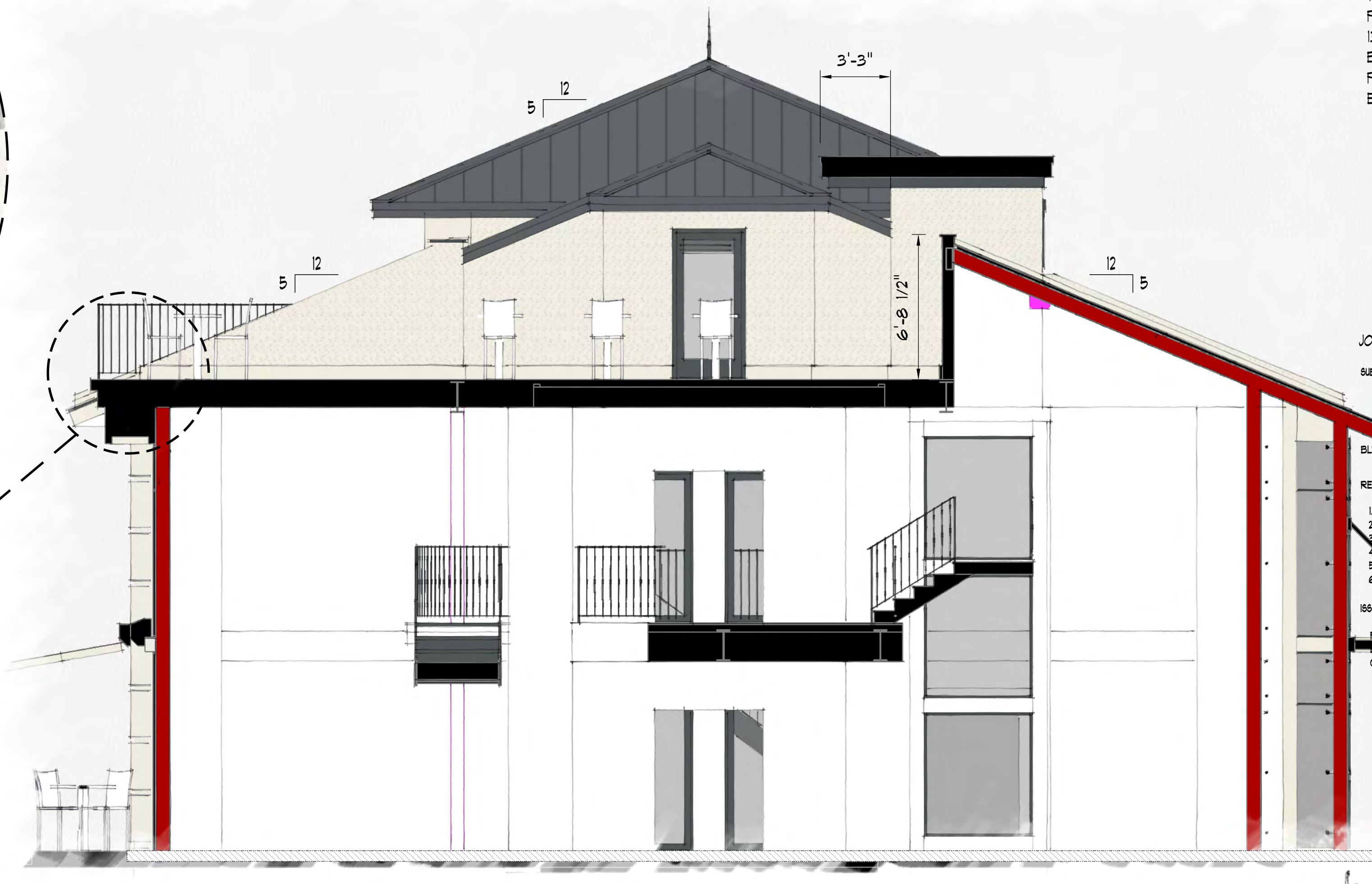
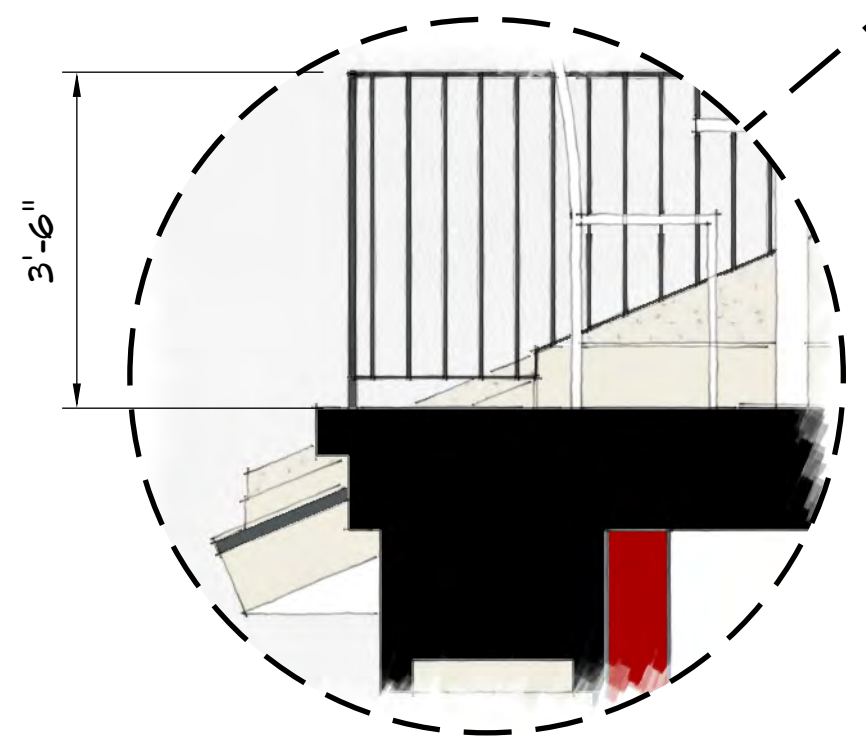
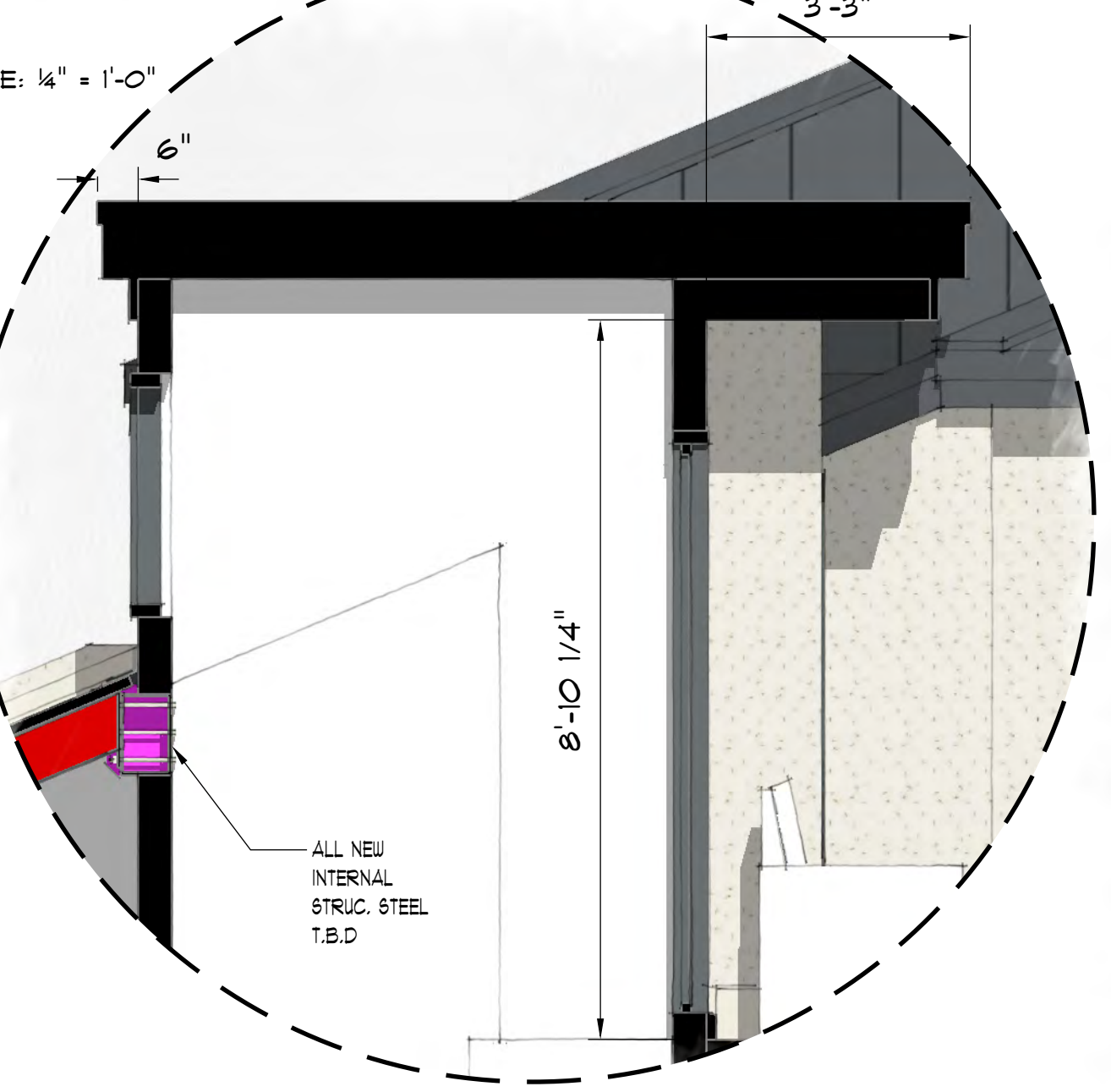
A12: 3 MODEL X6 "E" SCALE: 1/4" = 1'-0"



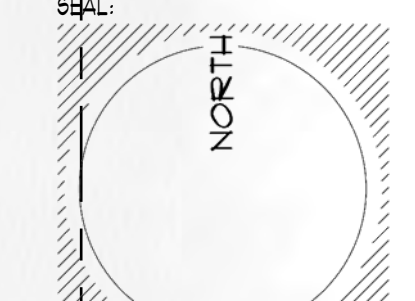
A12: 1 MODEL X6 "F" SCALE: 1/4" = 1'-0"



A12: 4 MODEL X6 "K" SCALE: 1/4" = 1'-0"



A12: 2 MODEL X6 "D" SCALE: 1/4" = 1'-0"



LOT 12-A
 FKA LOTS 12 & 13
 POPE AVENUE EXECUTIVE PARK
 *10 EXECUTIVE PARK ROAD
 HILTON HEAD ISLAND, SC 29928
 PIN REE 015 000 0092 0000
 OWNER:
 VINCE ROSTOV
 % ROSTOV ENTERPRISES LLC
 151 NORTH ST. #2
 FORT LAUDERDALE FL 33309
 1.954.560.3601
 VINCEROSTOV@GMAIL.COM

CONTRACTOR:
 NAME
 ADDRESS
 PHONE
 EMAIL

SURVEYOR:
 T-SQUARE SURVEYING
 P.O. DRAWER 330
 138 BURNT CHURCH ROAD
 BLUFFTON, SC 29910
 Phone: 1.843.757.2650
 Email: tsquare@hgray.com

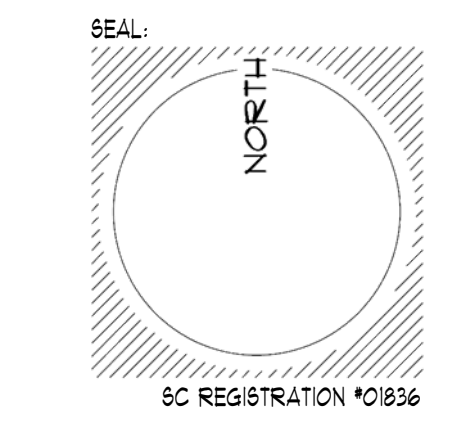
NEW MODEL X6'S

JOB#
 SUBMITTALS:

REVISIONS:	BLDG PERM:
1.	
2.	
3.	
4.	
5.	
6.	

ISSUE: September 28, 2023
 PRICING
 BIDDING
 CONSTRUCTION

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.
 SHEET: OF:



LOT 12-A
aka LOTS 12 & 13
POPE AVENUE EXECUTIVE PARK

*10 EXECUTIVE PARK ROAD
HILTON HEAD ISLAND, SC 29928
PIN R552 015 000 0092 0000

OWNER:
VINCE ROSTOV
% ROSTOV ENTERPRISES LLC
151 NW 5TH ST. #2
FORT LAUDERDALE FL 33309
1.954.560.3601
VINCEROSTOV@GMAIL.COM

CONTRACTOR:
NAME
ADDRESS
PHONE
EMAIL

SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
138 BURNT CHURCH ROAD
BLUFFTON, SC 29910
Phone: 1.843.757.2650
Email: tsquare@hgray.com

**EX./NEW
ROOF
PLAN**

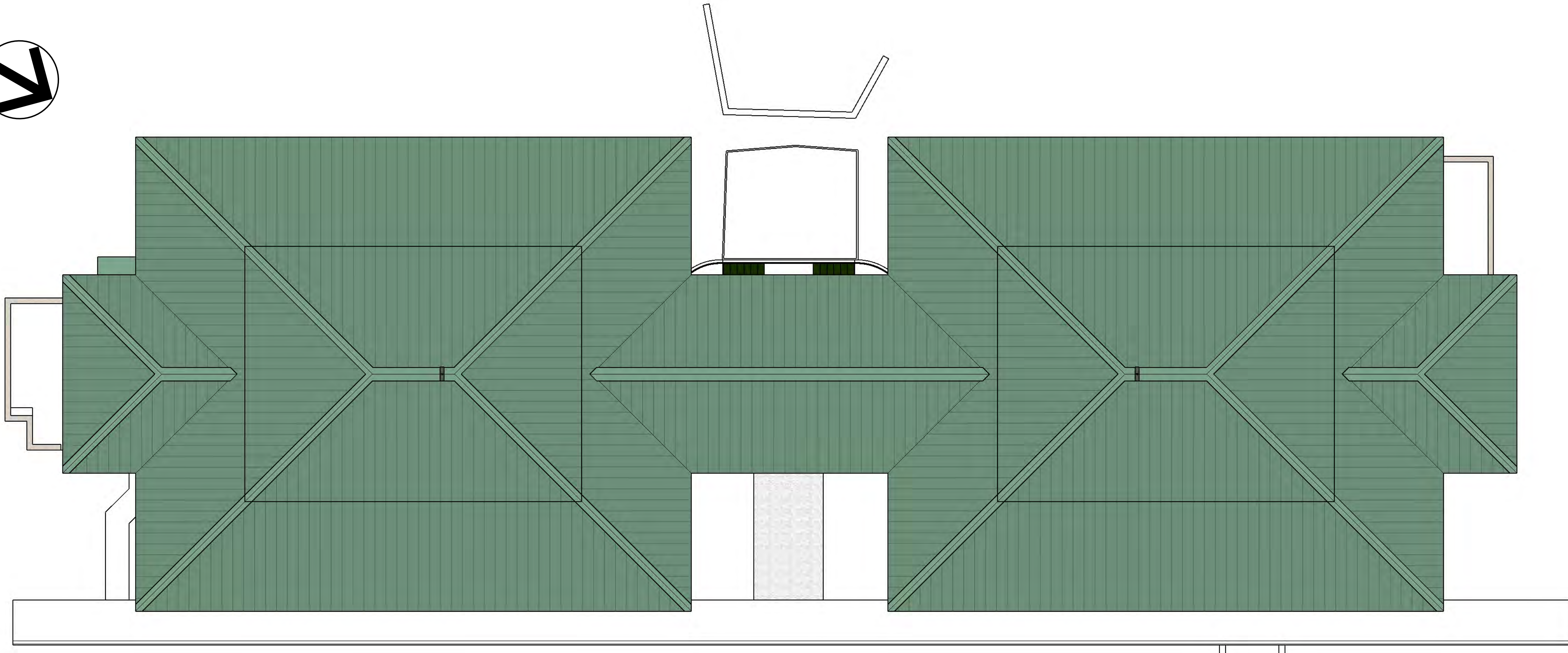
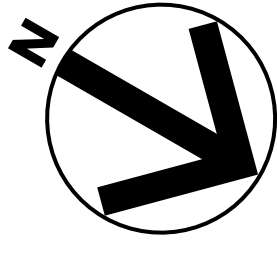
JOB#
SUBMITTALS:

BLDG PERMIT _____

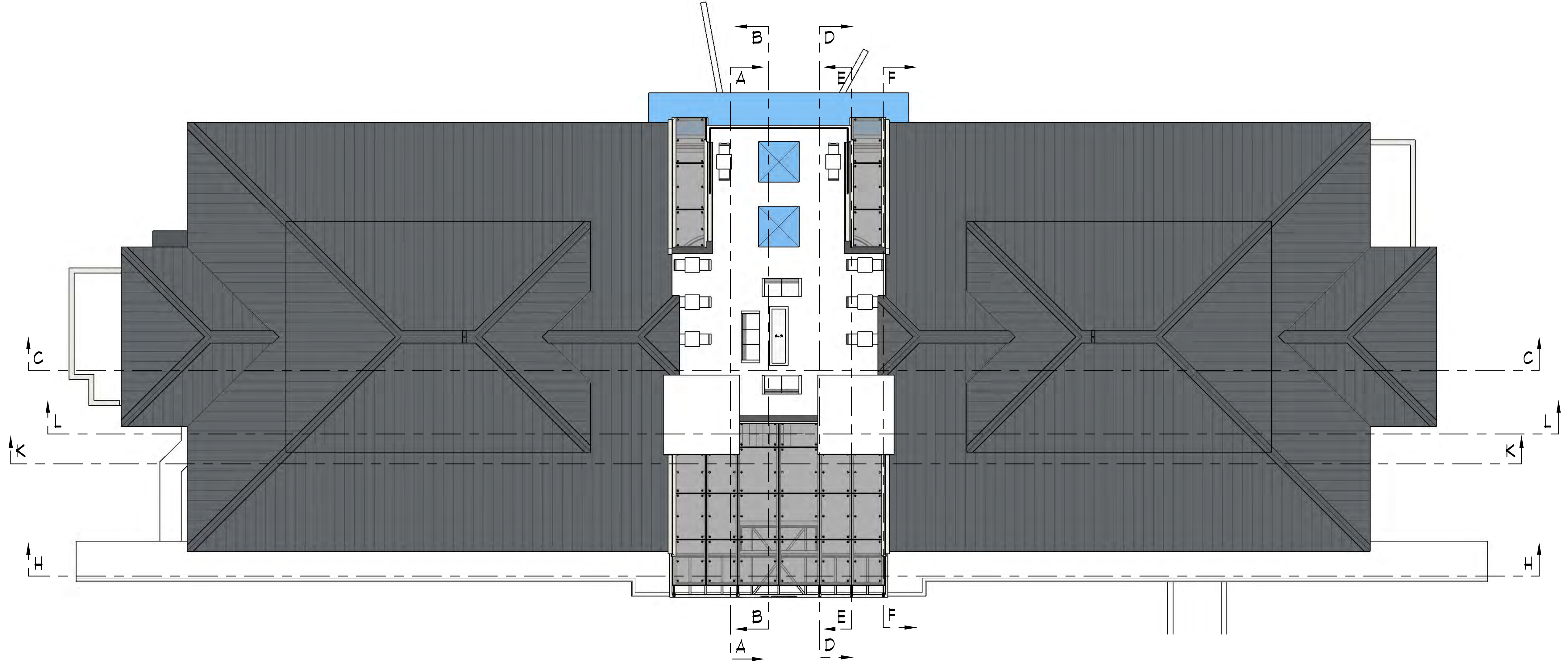
REVISIONS:
1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

ISSUE: September 28, 2023
PRICING _____
BIDDING _____
CONSTRUCTION _____

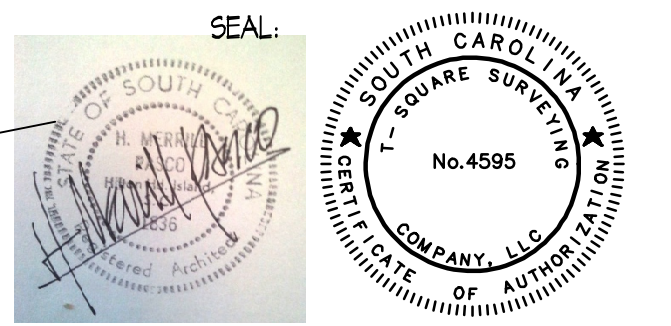
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. UNDER COPYRIGHT PROTECTION & MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN APPROVAL AND AUTHORIZATION.
SHEET: OF:



A13: 1 EXISTING ROOF PLAN SCALE: 1/8" = 1'-0"



A13: 2 NEW ROOF PLAN SCALE: 1/8" = 1'-0"



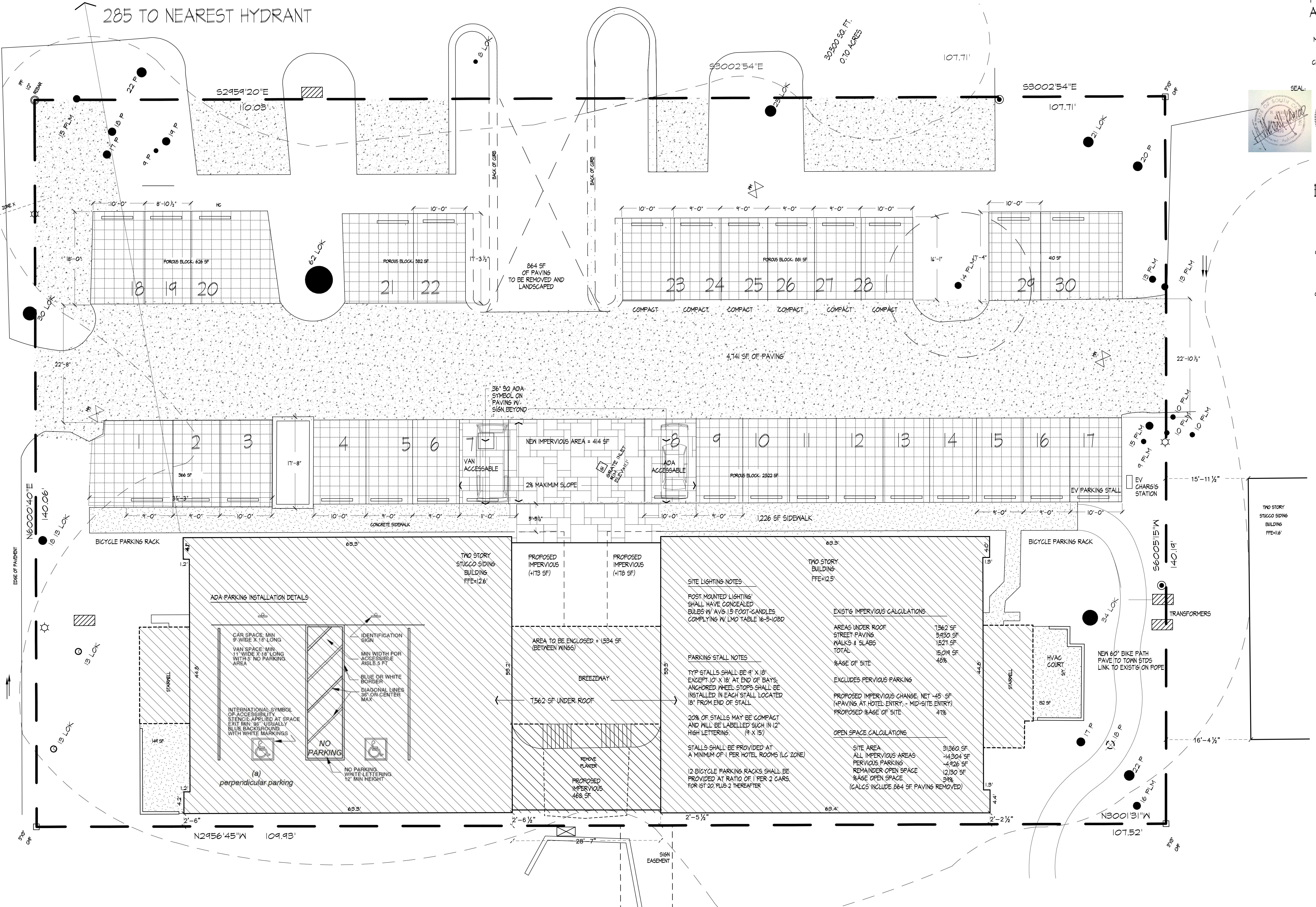
#10
EXECUTIVE
PARK RD
HILTON HEAD ISLAND
R352 015 000 0042

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
751 NW 57TH ST #2
FORT LAUDERDALE FL 33304

CONTACT:
VINCE ROSTOV
VINCE ROSTOV@GMAIL.COM

SURVEY
&
SITE PLAN

THE
AURA



SITE LIGHTING NOTES
POST MOUNTED LIGHTING SHALL HAVE CONCEALED BULBS W/ AVS 15 FOOT CANDLES COMPLYING W/ LMO TABLE 16-5-108D

PARKING STALL NOTES
TYP STALLS SHALL BE 9' X 18' EXCEPT 10' X 18' AT END OF BAYS, ANCHORED WHEEL STOPS SHALL BE INSTALLED IN EACH STALL LOCATED 18" FROM END OF STALL
20% OF STALLS MAY BE COMPACT AND WILL BE LABELLED SUCH IN 12" HIGH LETTERING (9' X 15')
STALLS SHALL BE PROVIDED AT A MINIMUM OF 1 PER HOTEL ROOMS (ILC ZONE)
12 BICYCLE PARKING RACKS SHALL BE PROVIDED AT RATIO OF 1 PER 2 CARS, FOR 1ST 20, PLUS 2 THEREAFTER

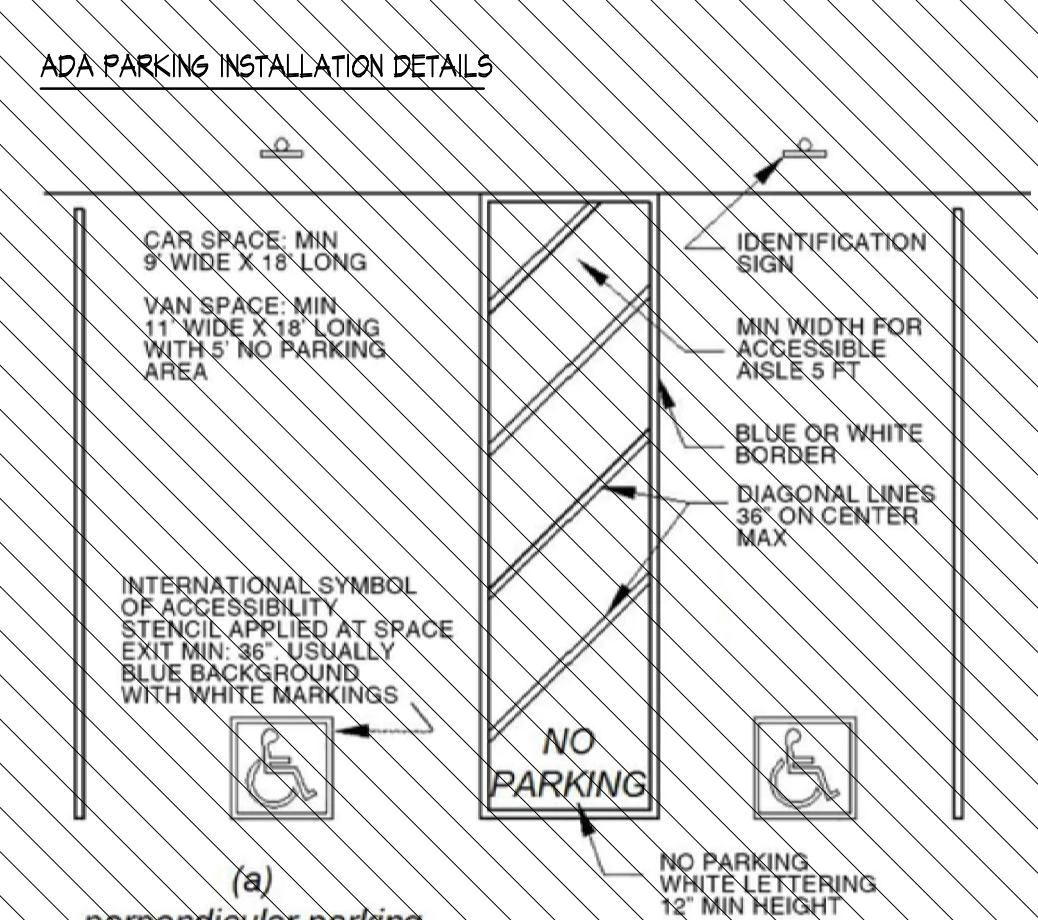
EXIST'G IMPERVIOUS CALCULATIONS

AREAS UNDER ROOF	7562 SF
STREET PAVING	5420 SF
WALKS & SLABS	1521 SF
TOTAL	15,019 SF
%AGE OF SITE	48%

EXCLUDES PERVIOUS PARKING
PROPOSED IMPERVIOUS CHANGE, NET -45 SF (PAVING AT HOTEL ENTRY, - MID-SITE ENTRY)
PROPOSED %AGE OF SITE 47%

OPEN SPACE CALCULATIONS

SITE AREA	31260 SF
ALL IMPERVIOUS AREAS	-14304 SF
PERVIOUS PARKING	-4926 SF
REMAINDER OPEN SPACE	12,030 SF
%AGE OPEN SPACE	38%
(CALCS INCLUDE 864 SF PAVING REMOVED)	



PROJECT FILE: VINCEAEG

SUBMITTALS:
BLDG PERMIT _____

REVISIONS:

1.	REV SEPT 28
2.	
3.	
4.	
5.	
6.	

ISSUE: 9/27/2023

PRELIMS _____
BIDDING _____
CONSTRUCTION _____

SEAL:

#10
EXECUTIVE
PARK RD
HILTON HEAD ISLAND
R552 015 000 0092

OWNER:
VINCE ROSTOV
& ROSTOV ENTERPRISES LLC
751 NW 5TH ST #2
FORT LAUDERDALE FL 33304
CONTACT:
954 560-3601
VINCEROSTOV@GMAIL.COM

LANDSCAPE
PLANTING
PLAN

PLANT MATERIAL:

- | | |
|-----------------------------|-----------------------|
| 3 LAGERSTROMIA NATCHEZ | 6' WHITE CREPE MYRTLE |
| 28 MUEhlenBERGIA CAPILLARIS | 36 MUHLY GRASS |
| 16 VIBURNUM ODORISSIMUM | 36 SWEET VIBURNUM |
| 22 LUGUSTRUM JAPONICA | 56 LAGUSTRUM |
| 7 OSMANTHUS FRAGRANS | 36 TEA OLIVE |
| 16 PITTOSPORUM TOBIRA | 36 DWARF MOCK ORANGE |

THIS SCHEDULE EXCLUDES OFF-SITE BUFFER PLANTING (SEE S.5)

PROJECT FILE: VINCEAEG

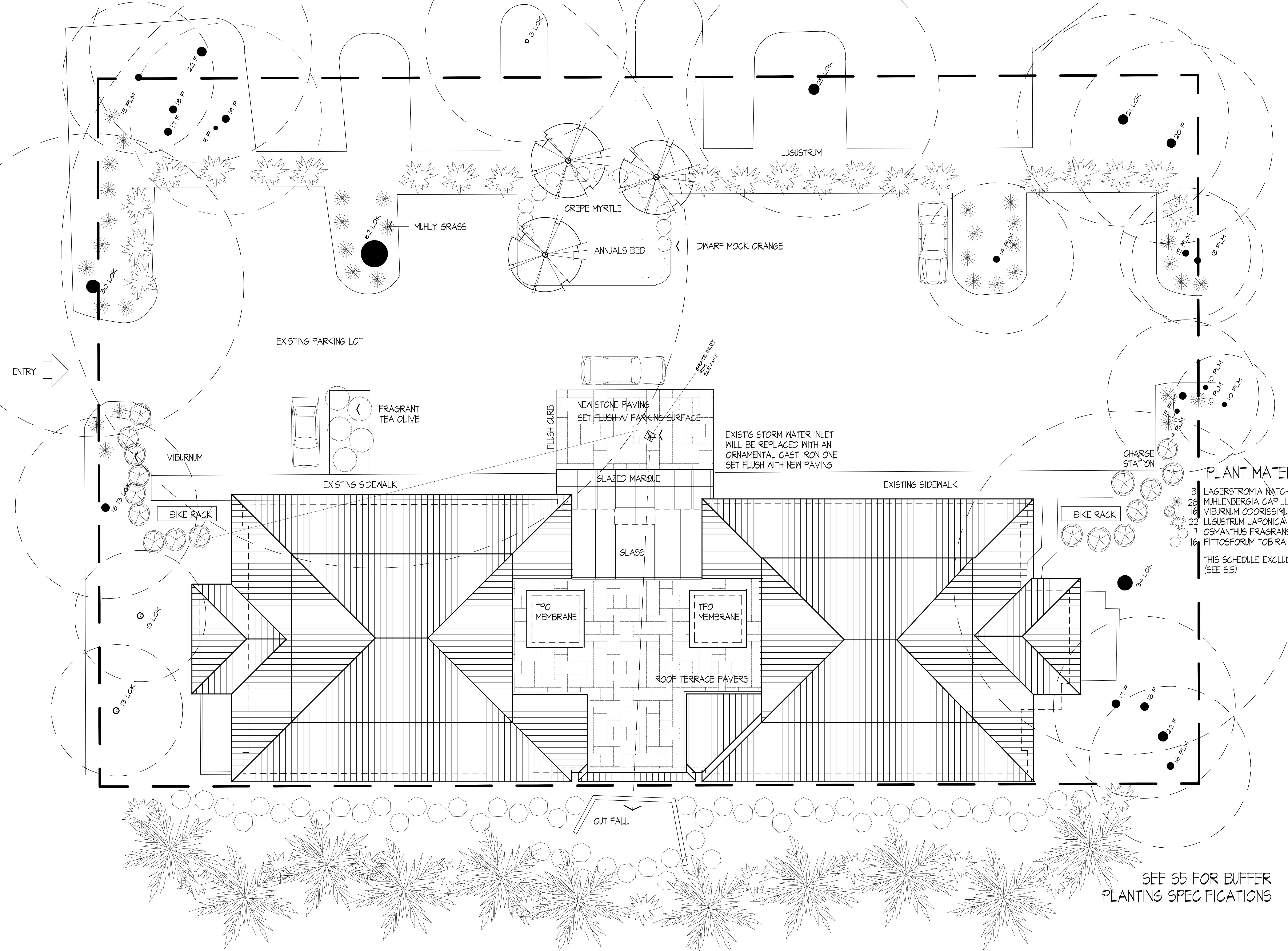
SUBMITTALS:
BLDG PERMIT _____

REVISIONS:
1. SEPT. 20 _____
2. _____
3. _____
4. _____
5. _____
6. _____

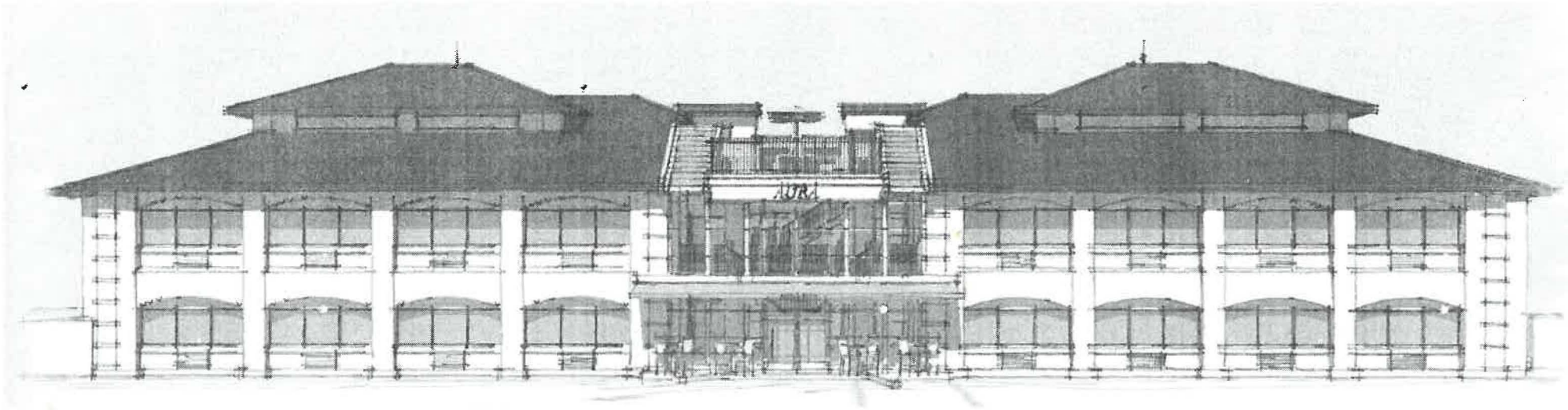
ISSUE: 9/26/2023
PRICING _____
BIDDING _____
CONSTRUCTION _____

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE ARCHITECT'S APPROVAL AND AUTHORIZATION.
SHEET: 05

SEE S5 FOR BUFFER PLANTING SPECIFICATIONS
S.7
OF

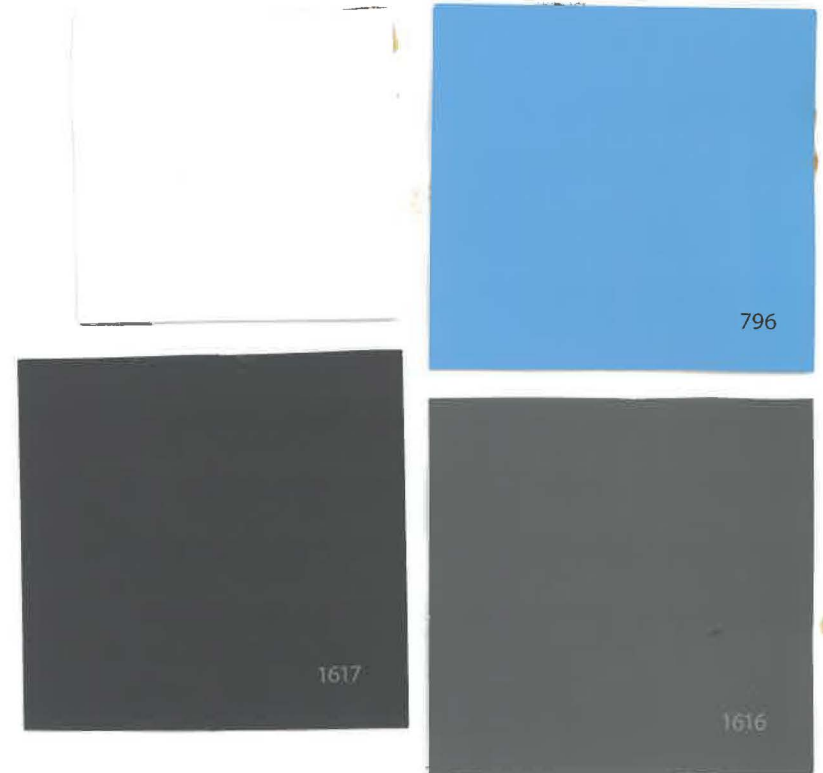


The AURA, a boutique hotel



POPE AVENUE ELEVATION (DRB #001593-2023)

STUCCO CLADDING	BM "Swiss Coffee" #OC-45 (elastomeric)
AWNING (retractable)	BM "Nova Scotia Blue" #796
ALL NEW WINDOWS:	BM "Cheating Heart" #1617
NEW AC UNITS :	painted to match stucco in "Swiss Coffee"
METAL ROOF	BM "Stormy Sky" #1616 (repainted)
GLAZED ATRIUM:	grey tint impact glass, low-E
ATRIUM FRAMING	steel tubular members in "Swiss Coffee"
ATTIC WD LOUVERS	match windows "Cheating Heart"
IRON RAILING	match windows: "Cheating Heart"



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 10 Executive – A New Boutique Hotel – The Aura DRB#: DRB-001717-2023

DATE: 10/10/2023

CATEGORY: Alteration/Addition – Second Review

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Add call-out on site plan S.3 to include proposed connection to Town pathway and proposed easement that requires Town Council approval.
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

elements of the project				
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Add call-out on site plan S.3 to include proposed connection to Town pathway and proposed easement that requires Town Council approval.

3. Staff Conditions:

- Include specification sheet for bike rack prior to final approval.

4. Applicant attended DRB meeting on 9/12 for Alteration/Addition. Applicant tabled presentation to 10/10 to update the following based on DRB review:

- a. Details of proposed connection need to be better understood
- b. Clarification needs to be provided for the extension of the exterior stairwells
- c. Small hip roofs need to be redesigned
- d. Consideration for increasing the size of ligustrum plantings
- e. Color board to be provided with a less dark color for the roof and a less white color for the building to promote a more cohesive color palette.
- f. Details for the pathway to the existing Town pathway needed to be reviewed.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Rick Maxian Company: MaxDesign Group, LLC
 Mailing Address: 2862 Buford Hwy - Suite 106 City: Duluth State: GA Zip: 30096
 Telephone: 770.530.5245 Fax: _____ E-mail: rmaxian@maxdesigngp.com
 Project Name: Homesense - Hilton Head Project Address: 430 William Hilton Parkway
 Parcel Number [PIN]: R 511 008 000 098E 0000 _____
 Zoning District: Community Commercial Overlay District(s): Corridor Overlay (ROW ART)

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\$100 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation. **Submitted Rendering**
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for **final approval of proposed development as listed above**, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

9/19/2023
DATE

TRANSMITTAL

To: Trey Lowe From: Rick Maxian Date: 9/22/2023 Project No: D23-115

Company: Hilton Head Island Planning Project: Homesense – Hilton Head

Town of Hilton Head Island

Address: 1 Town Center Court

Hilton Head, SC 29928

Email:

Re: Homesense DRB Submittal

Phone: 843.341.4690

Fax:

We are sending you

- Via Overnight
- Via E-Mail
- Via Fax
- No. of Pages Included

- Via Mail
- Via Courier
- Via Hand
- By: .

These are transmitted

- For your use
- As requested
- For approval
- Returned for

- For review and
- Approved as noted
- Other: _____
- _____

DESCRIPTION/REMARKS:

Trey,

This narrative is for our TJX - Homesense project, which is going into an existing building, the suite used to be Stein Mart located at 430 William Hilton Pkwy. This Homesense is going to be the new tenant located in this roughly 30,000SF space, an end cap suite at the Sea Turtle Marketplace. We believe we conform to the design review guidelines of Sec 16-3-106.F.3 because our proposal is to make a minor change to the entry tower so the parapet is straight across instead of having a pitched parapet which is in keeping with some of the other forms at this existing center. The other exterior change to the existing building pertains to changing two of the exterior colors to match with the TJX brand. The colors are white and a light grey. We believe these change in colors are unobtrusive to the existing architecture in the area and surrounding natural setting.

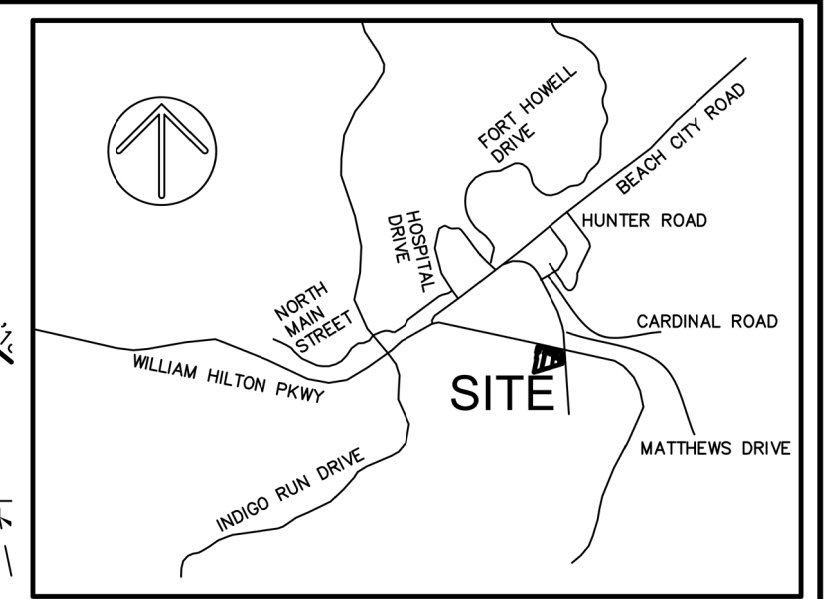
Please contact me if you have any questions or need any further information.

Thank you.

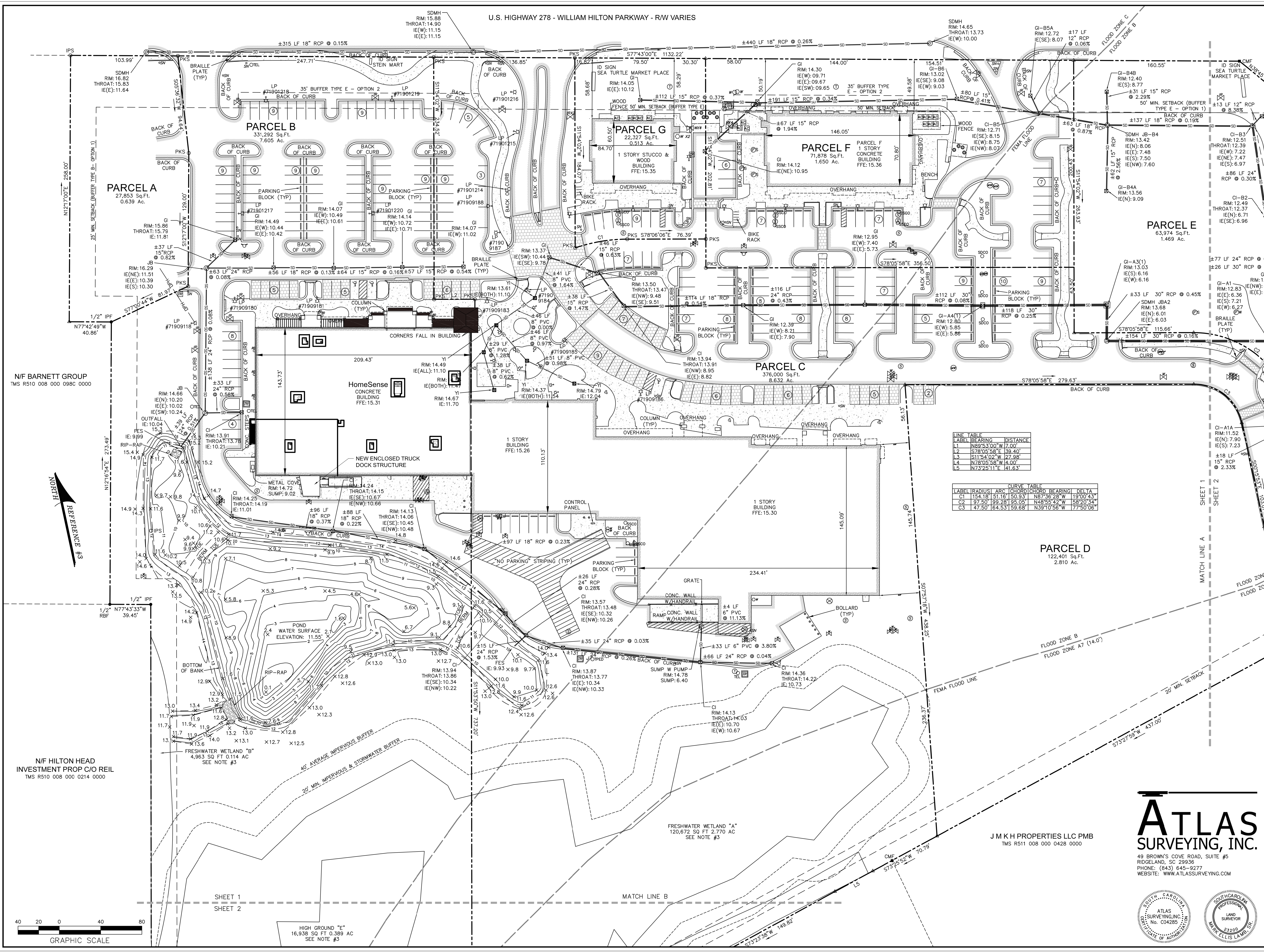


Richard M. Maxian II, AIA

U.S. HIGHWAY 278 - WILLIAM HILTON PARKWAY - R/W VARIES



VICINITY MAP NOT TO SCALE



- LEGEND**
- IPF ● IRON PIPE FOUND
 - NF ● NAIL FOUND
 - RBF ● IRON REBAR FOUND
 - ROOF DRAIN
 - CLEAN OUT
 - BOLLARD
 - CURB INLET
 - FIRE HYDRANT
 - GRATE INLET
 - FIRE DEPARTMENT CONNECTION
 - IRRIGATION CONTROL VALVE
 - LIGHT POLE
 - MONITORING WELL
 - STORM DRAIN MANHOLE
 - SIGN
 - SANITARY SEWER CLEAN OUT
 - STORM DRAIN CLEAN OUT
 - SANITARY SEWER MANHOLE
 - TELEPHONE JUNCTION BOX
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - TRANSFORMER-ELECTRIC
 - JUNCTION BOX
 - WATER METER
 - WATER VALVE
 - YARD INLET
 - SANITARY SEWER LATERAL OR STUBOUT
 - SANITARY SEWER VALVE MARKER
 - WATER LATERAL OR STUBOUT
 - MONITORING WELL
 - INVERT ELEVATION
 - # OF PARKING SPACES
 - RCP REINFORCED CONCRETE PIPE
 - CONTOUR LINE
 - DPH OVERHEAD POWER LINE
 - SD UNDERGROUND DRAINAGE LINE
 - EDGE OF PAVEMENT
 - CONCRETE
 - EDGE OF BRICK
- NOTES**
- THIS PARCEL APPEARS TO LIE IN FLOOD ZONES C, B, AND A7 (14.0'). FIRM PANELS 0008-D AND 0009-D COMMUNITY 450250. FLOOD LINES SHOWN WERE TRACED FROM FIRM PANELS AND ARE APPROXIMATE.
 - VERTICAL DATUM IS NAVD 88.
 - SETBACKS, BUFFERS, AND WETLANDS ARE PER REFERENCE #3 AND ARE SHOWN FOR REFERENCE ONLY.
 - ADDED PHASE 2 AS-BUILT ON 9-27-17.
 - ADDED PHASE 3 AS-BUILT ON 3-19-18.
- REFERENCE**
- PLAT BOOK 145 PAGE 30
 - DEED BOOK 3519 PAGE 1473
 - A SET OF PLANS PROVIDED BY WARD EDWARDS, PROJECT NUMBER 130227, DATED 03-14-16.

LINE TABLE

LABEL	BEARING	DISTANCE
L1	N89°53'00"W	17.00'
L2	S78°05'58"E	39.40'
L3	S11°54'02"W	27.98'
L4	N78°05'58"W	4.00'
L5	N73°29'11"E	141.63'

CURVE TABLE

LABEL	RADIUS	ARC CHORD	CHORD BEARING	DELTA
C1	154.18'	51.16'	N87°36'28"W	19°00'43"
C2	97.50'	99.28'	N48°55'42"W	58°20'34"
C3	47.50'	64.53'	N39°10'56"W	77°50'06"

PREPARED FOR:
SANDCASTLE CONSTRUCTORS INC
 AN AS-BUILT SURVEY OF
SEA TURTLE MARKETPLACE
#430 WILLIAM HILTON PARKWAY
 SHEET 1 OF 2

TAX PARCEL NOS.
 R511 008 000 0247 0000
 R511 008 000 098E 0000
 R511 008 000 0675 0000
 R511 008 000 0676 0000
 R511 008 000 0156 0000
 R511 008 000 0248 0000

HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

ATLAS SURVEYING, INC.

48 BROWN'S COVE ROAD, SUITE #5
 RIDGELAND, SC 29936
 PHONE: (843) 645-9277
 WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA.

MARK ELLIS LAMB, SR.
 S.C.P.L.S. No. 23200
 NOT VALID UNLESS CRIMPED WITH SEAL



SHEET 1
 SHEET 2

N/F HILTON HEAD
 INVESTMENT PROP C/O REIL
 TMS R510 008 000 0214 0000

N/F BARNETT GROUP
 TMS R510 008 000 098C 0000

PARCELA
 27,853 Sq.Ft.
 0.639 Ac.

PARCEL B
 331,292 Sq.Ft.
 7.605 Ac.

SDMH
 RIM: 15.88
 THROAT: 14.90
 IE(W): 11.15
 IE(E): 11.15

PARCEL G
 22,327 Sq.Ft.
 0.513 Ac.

PARCEL F
 71,878 Sq.Ft.
 1.650 Ac.

SDMH
 RIM: 14.65
 THROAT: 13.73
 IE(W): 10.00

GI-B5A
 RIM: 12.72
 IE(SE): 8.07
 IE(S): 0.06%

PARCEL E
 63,974 Sq.Ft.
 1.469 Ac.

PARCEL C
 376,000 Sq.Ft.
 8.632 Ac.

PARCEL D
 122,401 Sq.Ft.
 2.810 Ac.

GRAPHIC SCALE

HIGH GROUND "A"
 16,938 SQ FT 0.389 AC
 SEE NOTE #3

FRESHWATER WETLAND "B"
 4,963 SQ FT 0.114 AC
 SEE NOTE #3

40' AVERAGE IMPERVIOUS BUFFER

20' MIN. IMPERVIOUS & STORMWATER BUFFER

WATER SURFACE ELEVATION: 11.55'

NO PARKING STRIPING (TYP)

CONTROL PANEL

CONC. WALL W/HANDRAIL

GRATE

1 STORY BUILDING
 FFE: 15.30

1 STORY BUILDING
 FFE: 15.26

NEW ENCLOSED TRUCK DOCK STRUCTURE

HomeSense
 CONCRETE BUILDING
 FFE: 15.31

CORNERS FALL IN BUILDING

BIKE RACK

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

WOOD FENCE 50' MIN. SETBACK (BUFFER TYPE 6)

SDMH
 RIM: 14.65
 THROAT: 13.73
 IE(W): 10.00

GI-B5A
 RIM: 12.72
 IE(SE): 8.07
 IE(S): 0.06%

GI-B4B
 RIM: 12.40
 IE(S): 8.77

GI-B4A
 RIM: 13.56
 IE(N): 9.09

GI-B3
 RIM: 12.51
 THROAT: 12.39
 IE(W): 7.22
 IE(N): 7.47
 IE(S): 6.97

GI-B2
 RIM: 12.49
 THROAT: 12.37
 IE(S): 6.96

GI-A3(1)
 RIM: 13.03
 IE(S): 6.16
 IE(W): 6.16

GI-A1
 RIM: 12.83
 IE(S): 6.36
 IE(N): 6.71
 IE(E): 6

GI-A4(T)
 RIM: 12.80
 IE(W): 5.85
 IE(E): 5.86

SDMH JBA2
 RIM: 13.68
 IE(N): 6.01
 IE(S): 6.03

CI-A1A
 RIM: 11.52
 IE(N): 7.90
 IE(S): 7.23

CI-A1
 RIM: 12
 IE(S): 6

CI-B1
 RIM: 12.51
 THROAT: 12.39
 IE(W): 7.22
 IE(N): 7.47
 IE(S): 6.97

CI-B2
 RIM: 12.49
 THROAT: 12.37
 IE(S): 6.96

CI-B3
 RIM: 12.51
 THROAT: 12.39
 IE(W): 7.22
 IE(N): 7.47
 IE(S): 6.97

CI-B4
 RIM: 12.40
 IE(S): 8.77

CI-B4A
 RIM: 13.56
 IE(N): 9.09

CI-B4B
 RIM: 12.40
 IE(S): 8.77

CI-B5A
 RIM: 12.72
 IE(SE): 8.07
 IE(S): 0.06%

CI-B5
 RIM: 13.02
 IE(W): 0.971
 IE(E): 0.877
 IE(SW): 0.865

CI-B6
 RIM: 14.30
 IE(W): 0.971
 IE(E): 0.877
 IE(SW): 0.865

CI-B7
 RIM: 14.05
 IE(E): 10.12

CI-B8
 RIM: 14.05
 IE(E): 10.12

CI-B9
 RIM: 14.05
 IE(E): 10.12

CI-B10
 RIM: 14.05
 IE(E): 10.12

CI-B11
 RIM: 14.05
 IE(E): 10.12

CI-B12
 RIM: 14.05
 IE(E): 10.12

CI-B13
 RIM: 14.05
 IE(E): 10.12

CI-B14
 RIM: 14.05
 IE(E): 10.12

CI-B15
 RIM: 14.05
 IE(E): 10.12

CI-B16
 RIM: 14.05
 IE(E): 10.12

CI-B17
 RIM: 14.05
 IE(E): 10.12

CI-B18
 RIM: 14.05
 IE(E): 10.12

CI-B19
 RIM: 14.05
 IE(E): 10.12

CI-B20
 RIM: 14.05
 IE(E): 10.12

CI-B21
 RIM: 14.05
 IE(E): 10.12

CI-B22
 RIM: 14.05
 IE(E): 10.12

CI-B23
 RIM: 14.05
 IE(E): 10.12

CI-B24
 RIM: 14.05
 IE(E): 10.12

CI-B25
 RIM: 14.05
 IE(E): 10.12

CI-B26
 RIM: 14.05
 IE(E): 10.12

CI-B27
 RIM: 14.05
 IE(E): 10.12

CI-B28
 RIM: 14.05
 IE(E): 10.12

CI-B29
 RIM: 14.05
 IE(E): 10.12

CI-B30
 RIM: 14.05
 IE(E): 10.12

CI-B31
 RIM: 14.05
 IE(E): 10.12

CI-B32
 RIM: 14.05
 IE(E): 10.12

CI-B33
 RIM: 14.05
 IE(E): 10.12

CI-B34
 RIM: 14.05
 IE(E): 10.12

CI-B35
 RIM: 14.05
 IE(E): 10.12

CI-B36
 RIM: 14.05
 IE(E): 10.12

CI-B37
 RIM: 14.05
 IE(E): 10.12

CI-B38
 RIM: 14.05
 IE(E): 10.12

CI-B39
 RIM: 14.05
 IE(E): 10.12

CI-B40
 RIM: 14.05
 IE(E): 10.12

CI-B41
 RIM: 14.05
 IE(E): 10.12

CI-B42
 RIM: 14.05
 IE(E): 10.12

CI-B43
 RIM: 14.05
 IE(E): 10.12

CI-B44
 RIM: 14.05
 IE(E): 10.12

CI-B45
 RIM: 14.05
 IE(E): 10.12

CI-B46
 RIM: 14.05
 IE(E): 10.12

CI-B47
 RIM: 14.05
 IE(E): 10.12

CI-B48
 RIM: 14.05
 IE(E): 10.12

CI-B49
 RIM: 14.05
 IE(E): 10.12

CI-B50
 RIM: 14.05
 IE(E): 10.12

CI-B51
 RIM: 14.05
 IE(E): 10.12

CI-B52
 RIM: 14.05
 IE(E): 10.12

CI-B53
 RIM: 14.05
 IE(E): 10.12

CI-B54
 RIM: 14.05
 IE(E): 10.12

CI-B55
 RIM: 14.05
 IE(E): 10.12

CI-B56
 RIM: 14.05
 IE(E): 10.12

CI-B57
 RIM: 14.05
 IE(E): 10.12

CI-B58
 RIM: 14.05
 IE(E): 10.12

CI-B59
 RIM: 14.05
 IE(E): 10.12

CI-B60
 RIM: 14.05
 IE(E): 10.12

CI-B61
 RIM: 14.05
 IE(E): 10.12

CI-B62
 RIM: 14.05
 IE(E): 10.12

CI-B63
 RIM: 14.05
 IE(E): 10.12

CI-B64
 RIM: 14.05
 IE(E): 10.12

CI-B65
 RIM: 14.05
 IE(E): 10.12

CI-B66
 RIM: 14.05
 IE(E): 10.12

CI-B67
 RIM: 14.05
 IE(E): 10.12

CI-B68
 RIM: 14.05
 IE(E): 10.12

CI-B69
 RIM: 14.05
 IE(E): 10.12

CI-B70
 RIM: 14.05
 IE(E): 10.12

CI-B71
 RIM: 14.05
 IE(E): 10.12

CI-B72
 RIM: 14.05
 IE(E): 10.12

CI-B73
 RIM: 14.05
 IE(E): 10.12

CI-B74
 RIM: 14.05
 IE(E): 10.12

CI-B75
 RIM: 14.05
 IE(E): 10.12

CI-B76
 RIM: 14.05
 IE(E): 10.12

CI-B77
 RIM: 14.05
 IE(E): 10.12

CI-B78
 RIM: 14.05
 IE(E): 10.12

CI-B79
 RIM: 14.05
 IE(E): 10.12

CI-B80
 RIM: 14.05
 IE(E): 10.12

CI-B81
 RIM: 14.05
 IE(E): 10.12

CI-B82
 RIM: 14.05
 IE(E): 10.12

CI-B83
 RIM: 14.05
 IE(E): 10.12

CI-B84
 RIM: 14.05
 IE(E): 10.12

CI-B85
 RIM: 14.05
 IE(E): 10.12

CI-B86
 RIM: 14.05
 IE(E): 10.12

CI-B87
 RIM: 14.05
 IE(E): 10.12

CI-B88
 RIM: 14.05
 IE(E): 10.12

CI-B89
 RIM: 14.05
 IE(E): 10.12

CI-B90
 RIM: 14.05
 IE(E): 10.12

CI-B91
 RIM: 14.05
 IE(E): 10.12

CI-B92
 RIM: 14.05
 IE(E): 10.12

CI-B93
 RIM: 14.05
 IE(E): 10.12

CI-B94
 RIM: 14.05
 IE(E): 10.12

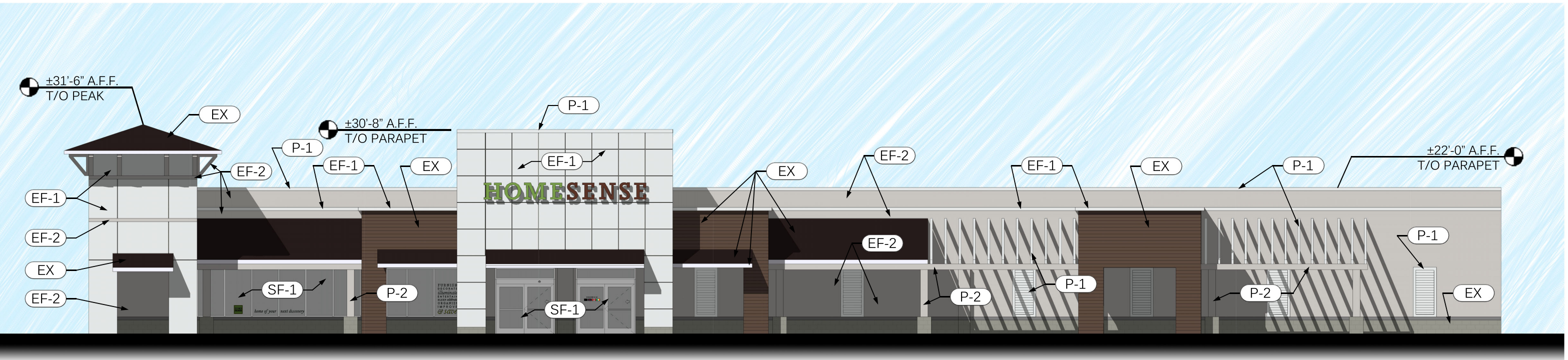
CI-B95
 RIM: 14.05
 IE(E): 10.12

CI-B96
 RIM: 14.05
 IE(E): 10.12

CI-B97
 RIM: 14.05
 IE(E): 10.12

CI-B98
 RIM: 14.05
 IE(E): 10.12

CI-B99
 RIM: 14.05
 IE(E): 10.12



FRONT ELEVATION

EXTERIOR FINISH SCHEDULE

MARK	TJXX NO.	CATEGORY	MANUFACTURER	DESCRIPTION / FINISH
SF-1	101	STOREFRONT	YKK	STOREFRONT SYSTEM, COLOR: "CLEAR ANODIZED ALUMINUM"
EF-1	617	EIFS	STO	EIFS, STOLIT "METALLIC" MILANO, COLOR VT171443, ACRYL PLUS COLOR VT171443, CLEAR COAT SEALER (SMOOTH & GLOSSY)
EF-2	618	EIFS	DRYVIT	EIFS, COLOR TO MATCH: #132 "MOUNTAIN FOG" (MATTE)
P-1	617	PAINT	SHERWIN WILLIAMS	PAINT ON EXISTING FINISH, COLOR TO MATCH: STOLIT, METALLIC MILANO, COLOR "VT171443"
P-2	618	PAINT	SHERWIN WILLIAMS	PAINT ON EXISTING FINISH, COLOR TO MATCH: DRYVIT #132 "MOUNTAIN FOG"
EX	N/A	EXISTING	EXISTING	EXISTING FINISH TO REMAIN



(EF-1) EIFS, STOLIT "METALLIC" MILANO, COLOR VT171443, ACRYL PLUS COLOR VT171443, CLEAR COAT SEALER (SMOOTH & GLOSSY)

(P-1) PAINT, COLOR TO MATCH: STOLIT, METALLIC MILANO, COLOR "VT171443"



(EF-2) EIFS, COLOR TO MATCH: #132 "MOUNTAIN FOG" (MATTE)

(P-1) PAINT, COLOR TO MATCH: DRYVIT #132 "MOUNTAIN FOG"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Sea Turtle Marketplace – Home Sense Storefront

DRB#: DRB-001828-2023

DATE: 10/10/2023

CATEGORY: Alteration/Addition

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Minimum roof pitch of 6/12	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

1. This project requires a Building Permit. Please contact Tony Pierce at tonyp@hiltonheadislandsc.gov or at 843-341-4675 with any questions about this permit.
2. Letter of approval from Sea Turtle Marketplace needs to be provided prior to final approval.
3. Update P-1 to P-2 on Preliminary Elevations sheet.