



The Town of Hilton Head Island  
**Design Review Board Regular Meeting**  
**Tuesday, February 25, 2020 – 1:15 p.m.**  
Benjamin M. Racusin Council Chambers

**REVISED AGENDA**

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*As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.*

1. **Call to Order**
2. **FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
3. **Roll Call**
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of February 11, 2020
6. **Unfinished Business**
  - a. *New Development – Final*
    - i. Smokehouse, DRB-000294-2020
7. **New Business**
  - a. *Alteration/Addition*
    - i. Northridge Plaza Site Improvements & Building Façade Upgrades, DRB-000317-2020
    - ii. Vacation Homes Buffer, DRB-000094-2020
  - b. *Sign*
    - i. Vacation Homes Sign, DRB-000202-2020
8. **Appearance by Citizens**
9. **Board Business**
  - a. Discussion related to the RD and CR zoning district design standards
10. **Staff Report**
  - a. Minor Corridor Report
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island  
**Design Review Board**

February 11, 2020 at 1:15 p.m. Regular Meeting  
Benjamin M. Racusin Council Chambers

## **MEETING MINUTES**

**Present from the Board:** Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Brian Witmer

**Absent from the Board:** Debbie Remke (excused)

**Present from Town Council:** None

**Present from Town Staff:** Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teresa Haley, Senior Administrative Assistant

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**1. Call to Order**

Chairman Strecker called the meeting to order at 1:16 p.m.

**2. FOIA Compliance** – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

**3. Roll Call** – See as noted above.

**4. Approval of Agenda**

The Board approved the agenda by general consent.

**5. Approval of Minutes** – Meeting of January 28, 2020

Mr. McAllister moved to approve the minutes of the January 28, 2020 regular meeting. Ms. Foss seconded. The motion passed with a vote of 6-0-0.

**6. New Business**

**a. Alteration/Addition**

**i. Boathouse Storage, DRB-000203-2020**

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant had no additional comments and answered questions from the Board.

The Board discussed the project in depth with the applicant. One Board member expressed concerns regarding: the height and mass of the metal building extending so close to Squire Pope Road, a high traffic road; not enough landscape buffer between building and parking; the 15' buffer does not appear wide enough to screen the building which is approximately 60' in height; trying to fit too much on the property; previous plans showed no setback and buffer lines; the existing building color appears too light and painting the addition to match will exacerbate the "white box" building; there is too much of a color contrast between the proposed building color with the dark bronze storefront. The Board discussed options to help with the



concerns expressed, including: increase plant sizes such as the Live Oaks, Magnolias, and Palms; change the colors of the stucco and the lap siding to slightly darker versions of the proposed colors. The Board inquired about the lighting plan and the applicant indicated there will be can lights at the soffit at the front entrance of the sales office. Following the discussion, Chairman Strecker asked for a motion on the application.

Mr. Witmer made a motion to approve DRB-000203-2020 with the following conditions:

1. Increase the Oaks to 4" caliper size.
2. Increase the Magnolias to 4" caliper size.
3. Increase the Palms to 16-20' in height, vary the height, and refoliate them.
4. Change the stucco color to SW 7017 Dorian Gray.
5. Change the lap siding color to SW 7018 Dovetail.
6. Submit lighting to Town Staff for review and approval.

Ms. Foss seconded. The motion passed with a vote of 5-1-0. Chairman Strecker opposed.

**ii. Beach Villas Palmetto Dunes, DRB-000204-2020**

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends denial as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions from the Board.

The Board discussed the project with the applicant, including: the original proposed shingle color is too dark and not in keeping with the Design Guide; the Board preferred the alternative shingle color submitted Peppermill Gray; the light fixtures are proposed as black in color and should be changed to a dark bronze or gray; the windows and doors are dark bronze; the color palette should have a consistent color tone; the weathered wood would help bring everything together. Following the discussion, Chairman Strecker asked for a motion on the application.

Vice Chairman Gentemann made a motion to approve DRB-000204-2020 with the following conditions:

1. The shingle color shall be Peppermill Gray.
2. Light fixtures shall be a dark gray or bronze finish.

Mr. McAllister seconded. The motion passed with a vote of 6-0-0.

**7. Appearance by Citizens – None**

**8. Board Business – None**

**9. Staff Report**

- a. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the previous meeting.

**10. Adjournment**

The meeting was adjourned at 2:28 p.m.

**Submitted by:** Teresa Haley, Secretary

**Approved:** [DATE]



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: PDG|Architects  
 Mailing Address: 10 Palmetto Business Park Rd. Ste. 201 City: Hilton Head Island State: SC Zip: 29928  
 Telephone: 843.785.5171 Fax: \_\_\_\_\_ E-mail: joe@pdg-architects.com  
 Project Name: The Smokehouse Restaurant Project Address: 34 Palmetto Bay Rd.  
 Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 0 5 0 0 0 0 0  
 Zoning District: SPC - Sea Pines Commercial Overlay District(s): SPC Zoning District

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - \_\_\_\_\_ Proposed landscaping plan.
- For wall signs:
- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
  - \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

02/10/2020  
\_\_\_\_\_  
DATE



February 10, 2020

Chris Darnell  
Urban Designer  
Town of Hilton Head Island  
Community Development Department  
One Town Center Court  
Hilton Head Island SC 29928

**re: Final DRB Review  
The Smokehouse (DRB-000084-2020)**

Chris,

I am providing the attached plans and color board for Final DRB Review. We have made the following changes in repose to our approval with conditions dated January 28, 2020:

1. Submit an alternative roof color for DRB review and approval.
  - o We have changed the roof color to dark bronze. Please reference the color board.
2. The landscape island at the front right of the building shall include a canopy tree.
  - o We have exchanged the dwarf fan palm for a cathedral live oak in this island.
3. Submit a sample of the stained vertical siding for DRB review and approval.
  - o The siding will be stained Cabot Dark Gray. Please reference the color board.
4. Increase the planting bed at the front to be a minimum width of 30 inches.
  - o The front deck has been reconfigured to expand the planting bed to 30 inches.
5. Update the Tree Protection & Removal Plan to specify pre and post construction fertilization, root stimulant, and protective mulching of the 26" live oak per the DRB conceptual approval conditions.
  - o The Tree Protection and Removal Plan (Civil sheet 2 of 5) has been updated to include indicate these tree protection considerations.
6. Replace the Black Fox color with Sierra Pacific Bronze 024 as submitted.
  - o Black Fox has been replaced by Bronze 024. Please reference the color board.

Thank you,

A handwritten signature in black ink, appearing to read 'Joseph DePauw'. The signature is fluid and cursive, with a long horizontal stroke at the end.

Joseph A. DePauw, AIA  
PDG|Architects



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD – NOTICE OF ACTION**

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**PROJECT NAME:** Smokehouse **PROJECT #:** DRB-000084-2020  
**PROJECT ADDRESS:** 34 Palmetto Bay Road  
**CATEGORY:** New Development – Final  
**ACTION DATE:** January 28, 2020 **NOTICE DATE:** January 31, 2020  
**APPLICANT/AGENT:** Joe DePauw, PDG Architects  
10 Palmetto Business Park Rd Ste 201  
Hilton Head Island, SC 29928  
Email: joe@pdg-architects.com

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**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**  
 **APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**  
 **DENIED**  
 **WITHDRAWN AT THE APPLICANTS REQUEST**

1. Submit an alternative roof color for Design Review Board (DRB) review and approval.
2. The landscape island at the front right of the building shall include a canopy tree.
3. Submit a sample of the stained vertical siding for DRB review and approval.
4. Increase the planting bed at the front to be a minimum width of 30 inches.
5. Update the Tree Protection & Removal Plan to specify pre and post construction fertilization, root stimulant, and protective mulching of the 26" live oak per the DRB conceptual approval conditions.
6. Replace the Black Fox color with Sierra Pacific Bronze 024 as submitted.

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

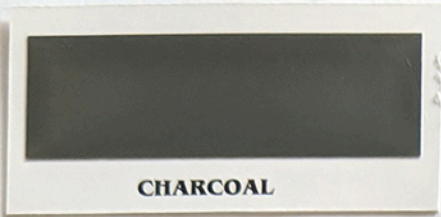
**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer



**5-V CRIMP METAL ROOFING**

DARK BRONZE  
MCELROY METAL



**CHARCOAL**

**WINDOWS & DOORS**

BRONZE 024  
SIERRA PACIFIC



**HIGHLINE WALL PANEL**

BURNISHED SLATE  
PAC-CLAD



**PAINTED BRICK VENEER**

SW 9167 POLISHED CONCRETE  
SHERWIN WILLIAMS



**STEEL STRUCTURE  
& DARK ACCENTS**

MATCH BRONZE 024  
SIERRA PACIFIC



**TRIM & SIDING**

SW 6002 ESSENTIAL GRAY  
SHERWIN WILLIAMS



**STAINED PINE SIDING**

DARK GRAY  
CABOT



Dark Gray



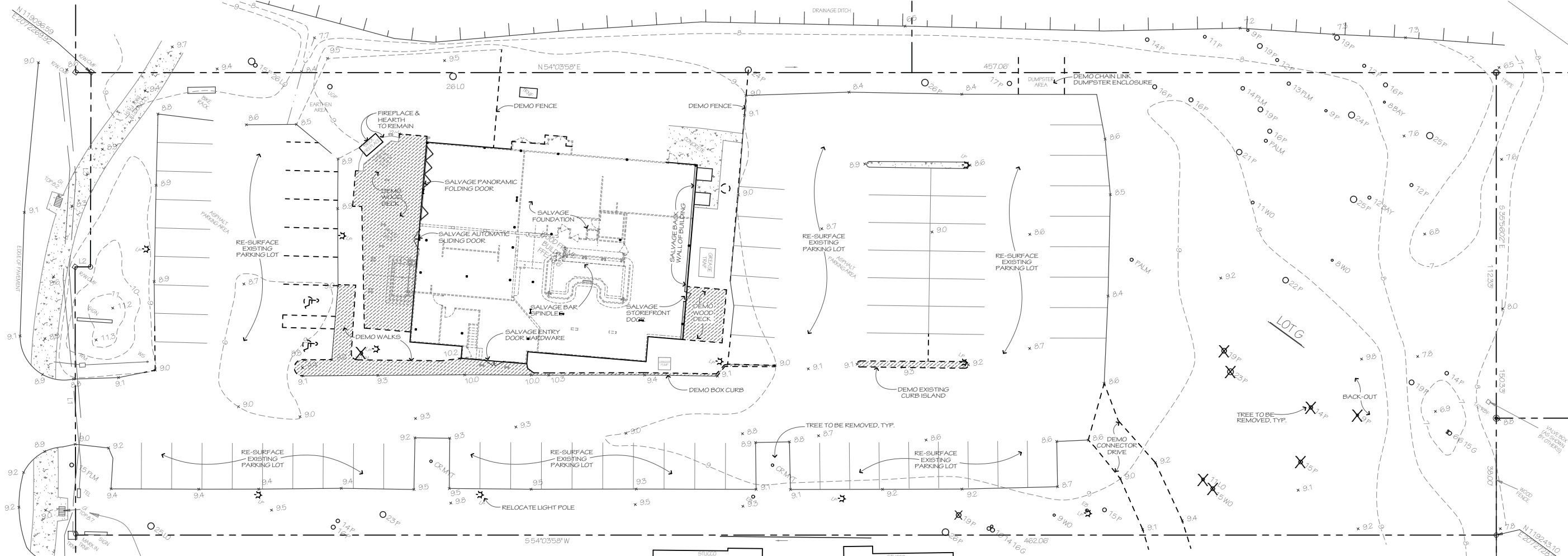
**Proposed Exterior Colors & Materials**

34 Palmetto Bay Rd.  
Hilton Head Island, SC 29926  
2/10/2020

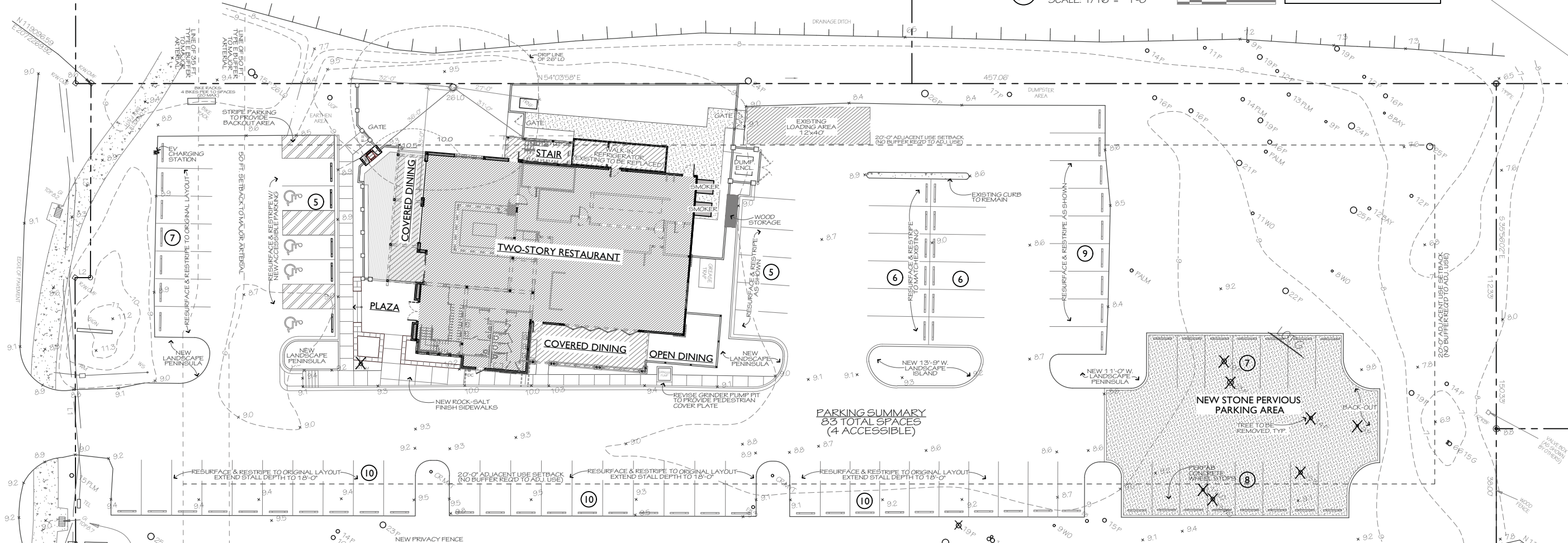


parkerdesigngrouparchitects  
843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928





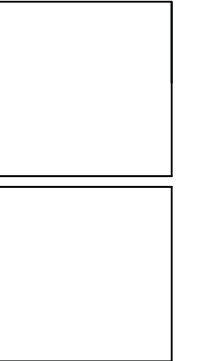
**1 DEMO SITE PLAN**  
 SCALE: 1/16" = 1'-0"  
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS



**2 SITE PLAN**  
 SCALE: 1/16" = 1'-0"  
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS



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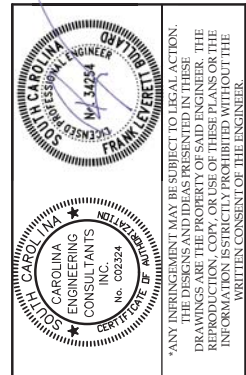


REVISIONS	

DRAWN BY  
JD  
 CHECKED BY  
JD  
 DATE OF ISSUE  
2/10/2020  
 SCALE  
AS SHOWN  
 JOB NO.  
1928  
 SHEET

**DEMOLITION & SITE PLANS**  
**ASI.1**





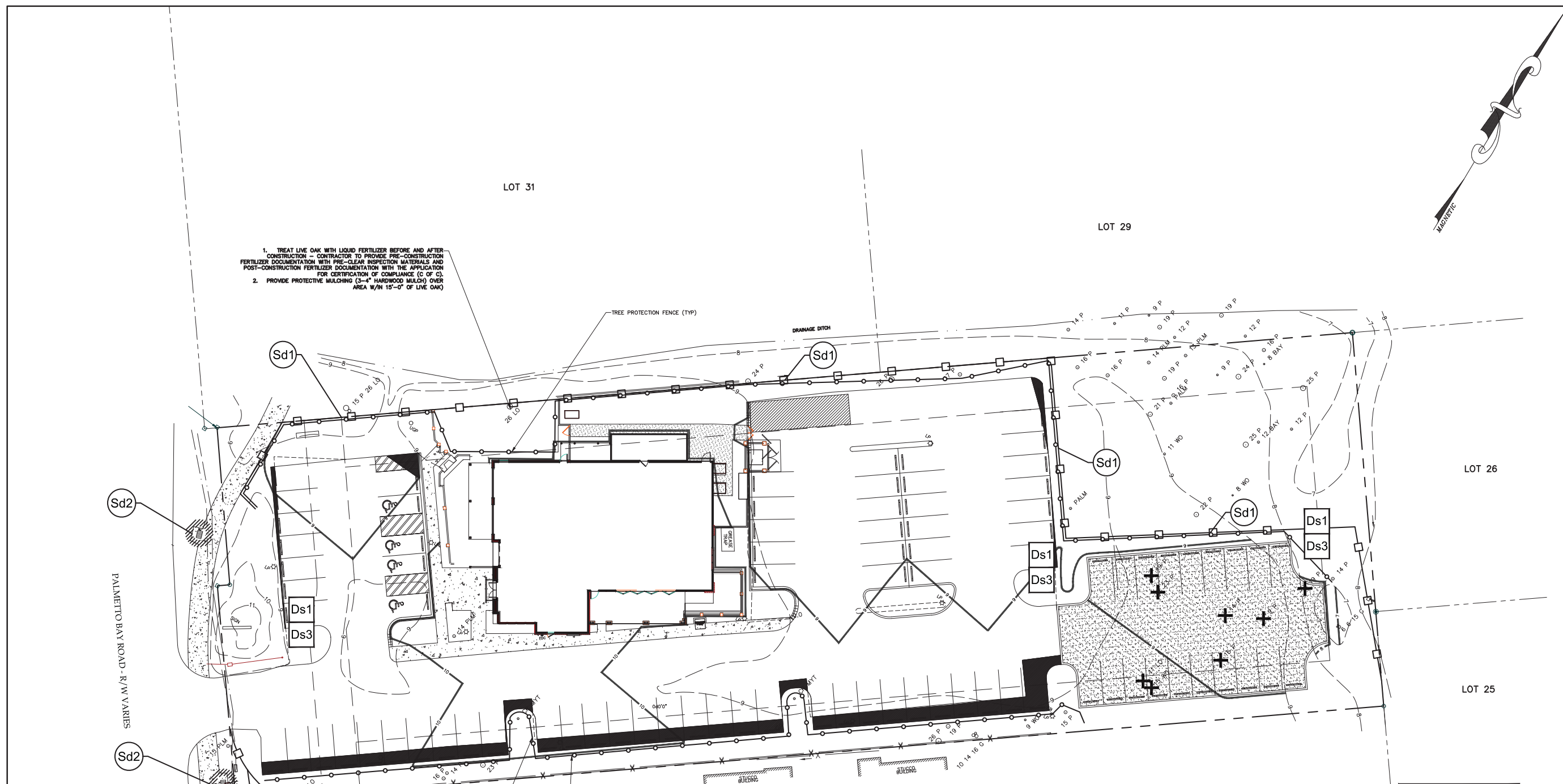
NO.	DESCRIPTION	DATE
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**SMOKEHOUSE RESTAURANT**  
**TOWN OF HILTON HEAD**  
 BEAUFORT COUNTY, SC

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 WWW.CAROLINAENGINEERING.COM  
 PO BOX 294  
 BEAUFORT, SC 29901  
 843/322-0553  
 843/322-0556 (FAX)

PROJECT: 2218  
 DATE: 12/11/19  
 REVISED: 02/12/20  
 DRAWN BY: FLB  
 ENGINEER: FLB  
 SCALE: 1"=20'

**TREE PROTECTION & REMOVAL AND SEDIMENT & EROSION CONTROL PLAN**  
**2 OF 5**



- TREAT LIVE OAK WITH LIQUID FERTILIZER BEFORE AND AFTER CONSTRUCTION - CONTRACTOR TO PROVIDE PRE-CONSTRUCTION FERTILIZER DOCUMENTATION WITH PRE-CLEAR INSPECTION MATERIALS AND POST-CONSTRUCTION FERTILIZER DOCUMENTATION WITH THE APPLICATION FOR CERTIFICATION OF COMPLIANCE (O OF C).
- PROVIDE PROTECTIVE MULCHING (3-4" HARDWOOD MULCH) OVER AREA W/IN 15'-0" OF LIVE OAK

**SEDIMENT & EROSION CONTROL NOTES:**

IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.

WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WWS), INCLUDING WETLANDS, ARE TO BE BAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY TOWN OF HILTON HEAD EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3:1 OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.)

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLES AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LEASER PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

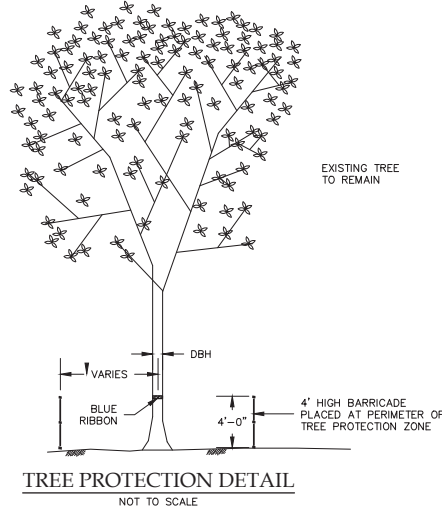
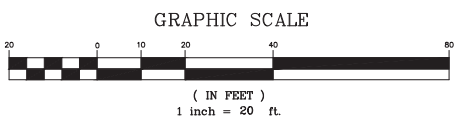
**TREE LEGEND**

REMAIN	REMOVE

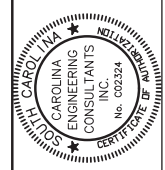
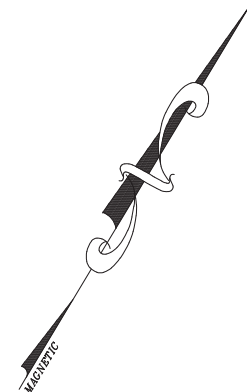
**TREE IDENTIFICATION**

ABBREVIATION	DESCRIPTION
BAY	BAY TREE
CR MYT	GRAPE MYRTAL.
G	GUM
LO	LIVE OAK
P	PINE
PALM	PALM
WO	WATER OAK

**TREE PROTECTION & REMOVAL NOTES:**  
 INSTALL ALL TREE PROTECTION FENCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



EXISTING TREE TO REMAIN



ANY INCREMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE REPRODUCTION OR USE OF THESE PLANS OR THE INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

NO.	DESCRIPTION	DATE
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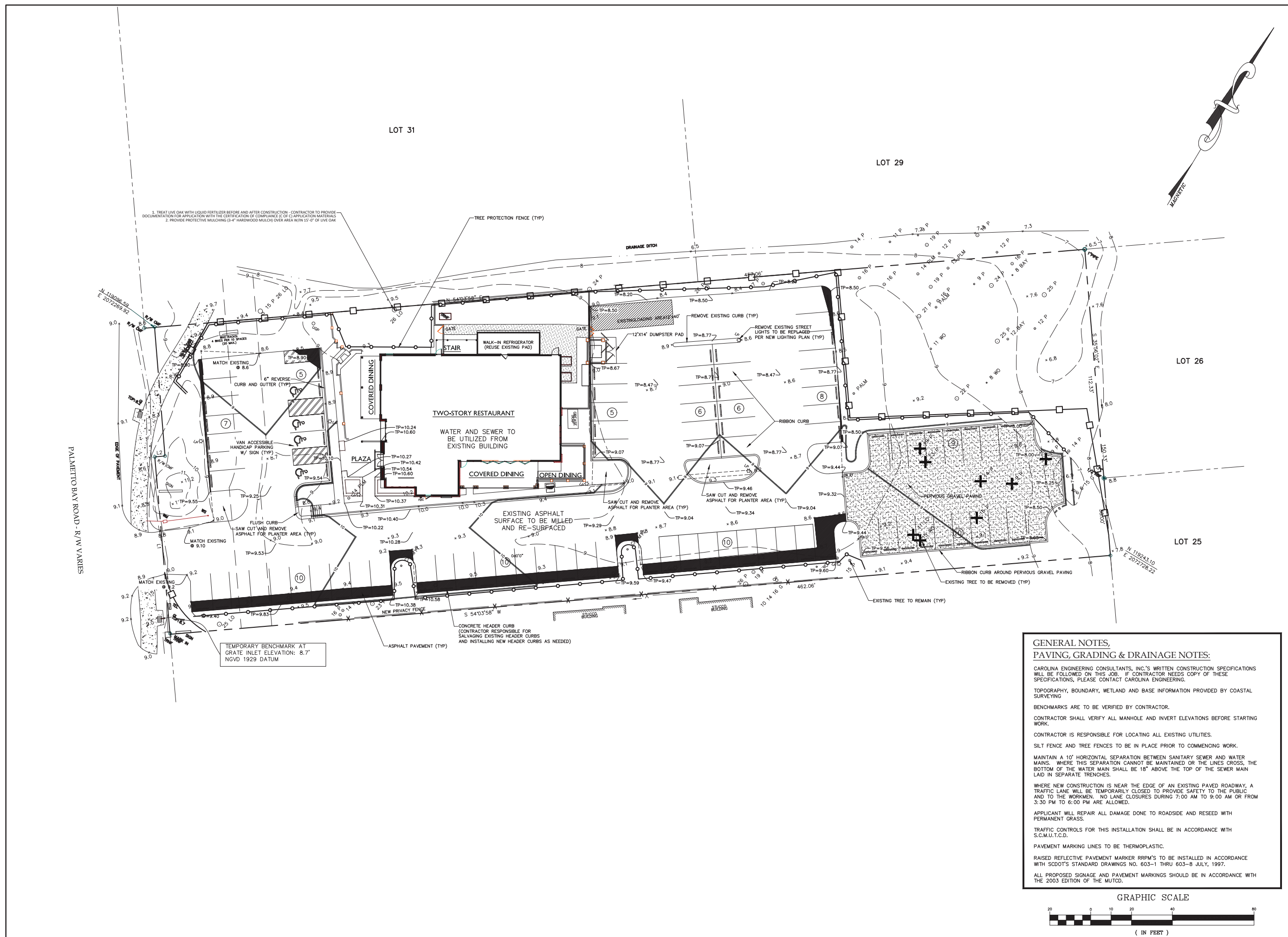
**SMOKEHOUSE RESTAURANT**  
**TOWN OF HILTON HEAD**  
**BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/322-0553  
 843/322-0556 (FAX)  
 WWW.CAROLINAENGINEERING.COM  
 PO BOX 294  
 BEAUFORT, SC 29901

PROJECT:	2218
DATE:	12/11/19
REVISED:	02/04/20
DRAWN BY:	FLB
ENGINEER:	FLB
SCALE:	1"=20'

**SITE DEVELOPMENT PLAN**

**4**  
OF 5



- TREAT LIVE OAK WITH LIQUID FERTILIZER BEFORE AND AFTER CONSTRUCTION - CONTRACTOR TO PROVIDE DOCUMENTATION FOR APPLICATION WITH THE CERTIFICATION OF COMPLIANCE (C OF C) APPLICATION MATERIALS
- PROVIDE PROTECTIVE MULCHING (3-4" HARDWOOD MULCH) OVER AREA W/IN 15'-0" OF LIVE OAK

**GENERAL NOTES,**  
**PAVING, GRADING & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY COASTAL SURVEYING

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS, WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

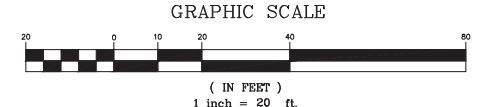
APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPMS TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

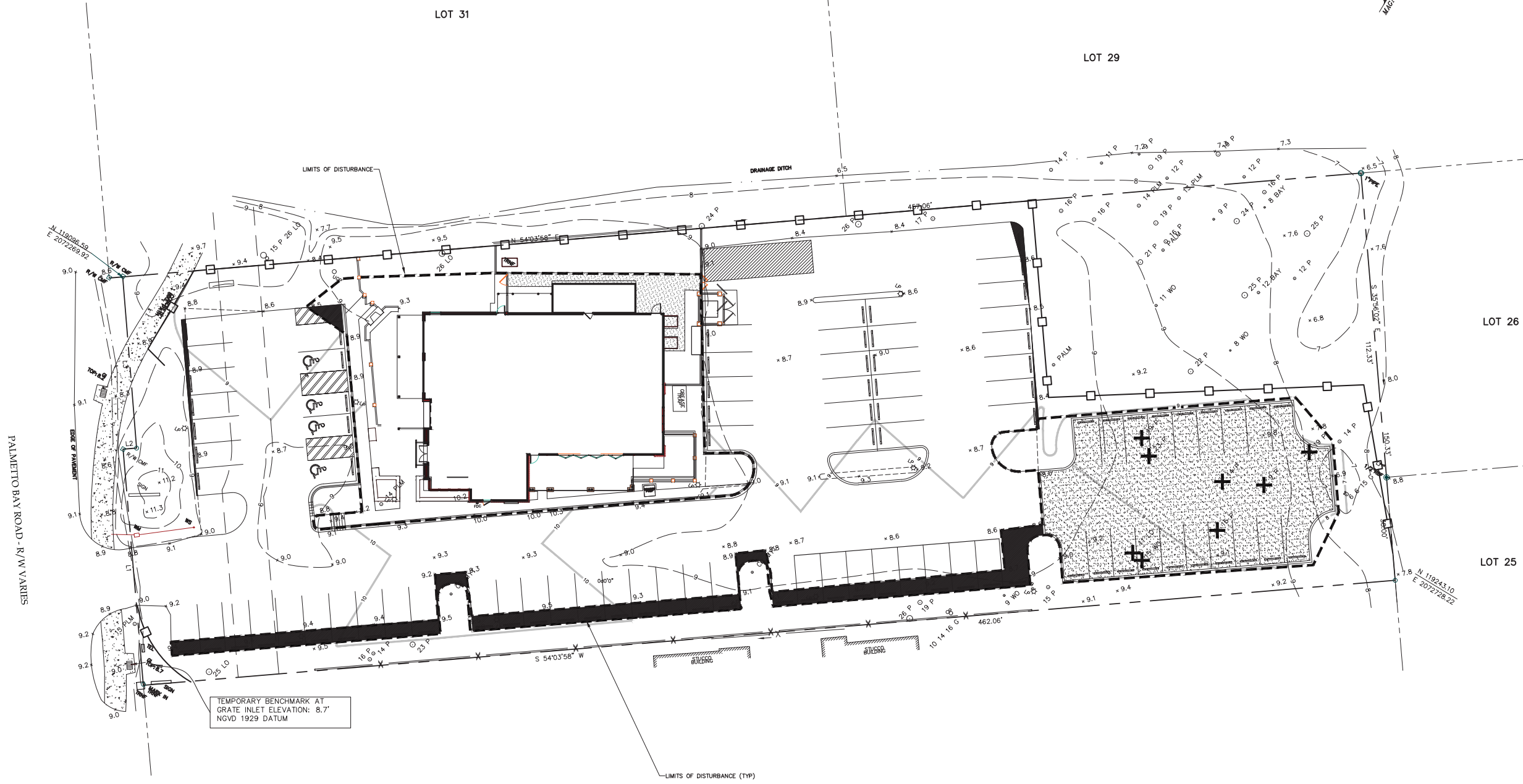
ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.



PALMETTO BAY ROAD - R/W VARIES

TEMPORARY BENCHMARK AT GRATE INLET ELEVATION: 8.7' NGVD 1929 DATUM





PLAN REVISIONS

NO.	DESCRIPTION	DATE
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

**SMOKEHOUSE RESTAURANT**  
**TOWN OF HILTON HEAD**  
**BEAUFORT COUNTY, SC**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 PO BOX 294  
 BEAUFORT, SC 29901  
 WWW.CAROLINAENGINEERING.COM  
 843/322-0553  
 843/322-0556 (FAX)

PROJECT: 2218  
 DATE: 12/11/19  
 REVISED: 02/04/20  
 DRAWN BY: FLB  
 ENGINEER: FLB  
 SCALE: 1"=20'

**LIMITS OF DISTURBANCE PLAN**

**1**  
OF 1

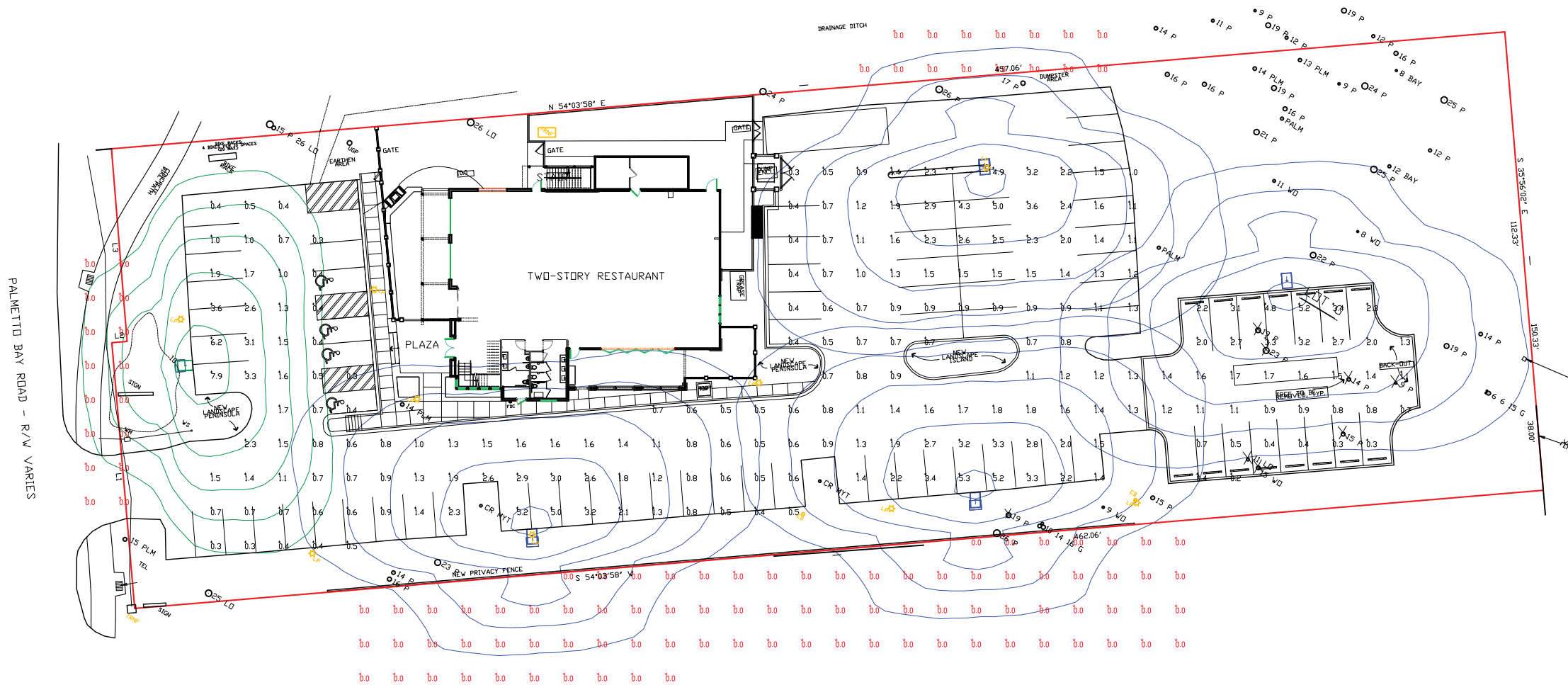
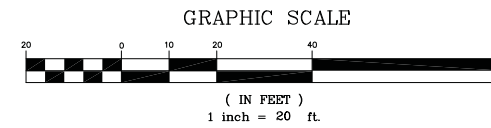
CAROLINA ENGINEERING CONSULTANTS, INC. No. 022324

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
■	4	Large Autobahn	SINGLE	NA	0.720	250EQ LED ON 25' WOOD POLE, 20' MOUNTING HEIGHT
■	1	Small Autobahn	SINGLE	NA	0.720	250EQ LED ON 19' WOOD POLE, 15' MOUNTING HEIGHT

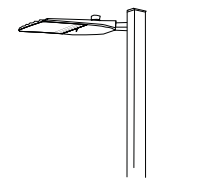
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SHIELDED AREA 1	Illuminance	Fc	0.00	0.0	0.0	NA	NA
SHIELDED AREA 2	Illuminance	Fc	0.00	0.0	0.0	NA	NA
SHIELDED AREA 3	Illuminance	Fc	0.00	0.0	0.0	NA	NA

LumNo	Label	X	Y	Z	Orient	Tilt
1	Large Autobahn	1595.178	434.313	20	274.342	0
2	Large Autobahn	1506.254	467.716	20	274.431	0
3	Large Autobahn	1503.69	367.283	20	92.658	0
4	Large Autobahn	1373.328	356.592	20	93.628	0
5	Small Autobahn	1271.2	408.107	15	2.933	0



- NOTES
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
  - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
  - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
  - THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

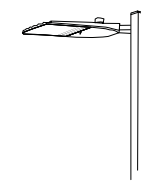
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AUTOBAHN SMALL LED

**APPLICATIONS**  
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

**SPECIFICATIONS**  
UL1572 Listed Suitable for Wet Locations  
Heavy-duty die-cast aluminum housing and door  
Polyester powder finish standard in dark bronze



AUTOBAHN LARGE LED

**APPLICATIONS**  
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

**SPECIFICATIONS**  
UL1572 Listed Suitable for Wet Locations  
Heavy-duty die-cast aluminum housing and door  
Polyester powder finish standard in dark bronze

PALMETTO ELECTRIC COOPERATIVE, INC.  
1 COOPERATIVE WAY  
HARDEEVILLE, SOUTH CAROLINA 29927  
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: T.J.H.  
CHECKED BY: ENG  
DRAWN BY: RBT  
DATE: 01/13/20  
SCALE: 1" = 20'  
PROJECT NO.: 1904002L-1  
MAP NO: 00000000

SHEET NO.  
1  
OF  
1

LIGHTING PROPOSAL FOR  
SMOKEHOUSE 34  
PALMETTO BAY RD  
HILTON HEAD ISLAND  
BEAUFORT COUNTY, SOUTH CAROLINA

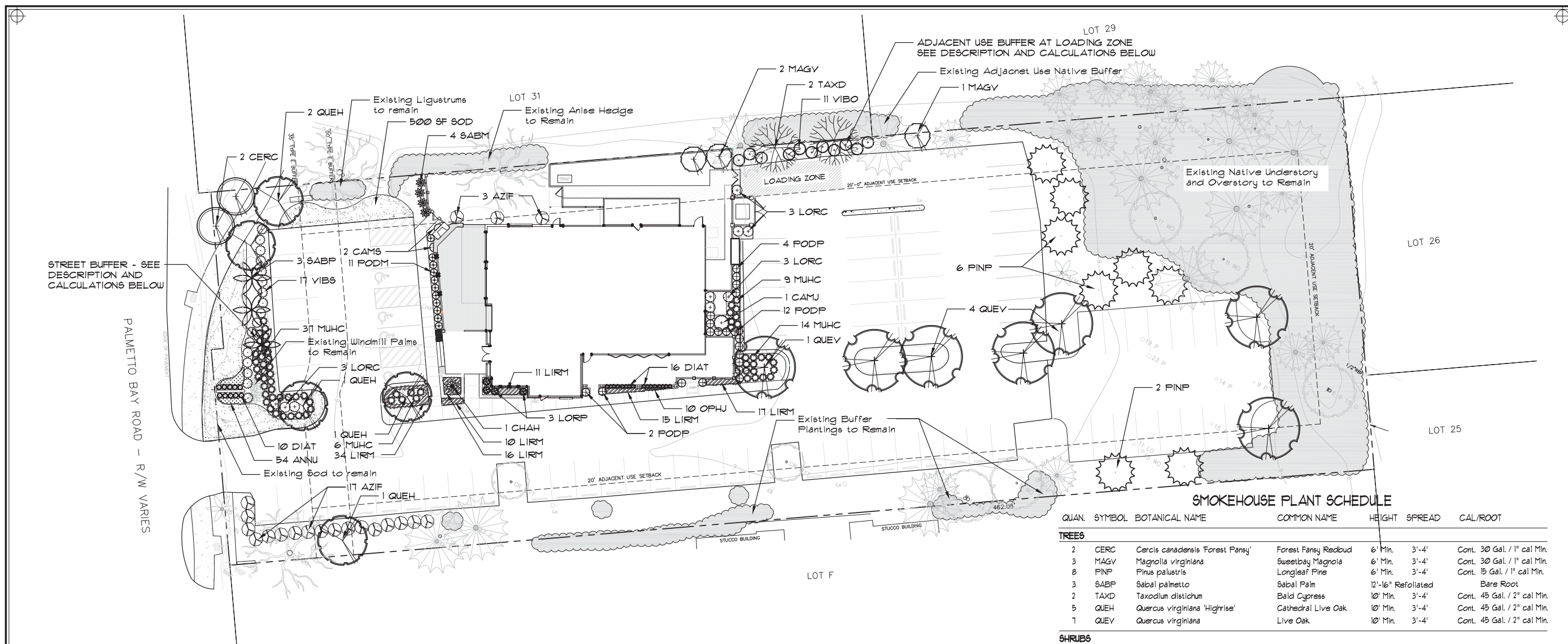
REVISIONS:	NO.	DESCRIPTION:
DATE:	1	Added 1 overstory tree in street buffer, adjust buffer widths, added QUEH & FODM along front elevation per DBS comments.
	2	

PROJECT NO:  
10504

ISSUE DATE:  
1/10/20 - Rev. 2/3/20

DRAWN:  
pmr  
APPROVED:  
pmr

Landscape  
Plan



STREET BUFFER - SEE DESCRIPTION AND CALCULATIONS BELOW

PALMETTO BAY ROAD - R/W VARIES

**SMOKEHOUSE PLANT SCHEDULE**

QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL./ROOT
<b>TREES</b>						
2	CERC	<i>Cercis canadensis</i> 'Forest Fansy'	Forest Fansy Redbud	6' Min.	3'-4'	Cont. 30 Gal. / 1" cal Min.
3	MAGV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	6' Min.	3'-4'	Cont. 30 Gal. / 1" cal Min.
8	PINP	<i>Pinus palustris</i>	Longleaf Pine	6' Min.	3'-4'	Cont. 15 Gal. / 1" cal Min.
3	SABP	<i>Sabal palmetto</i>	Sabal Palm	12"-16" Refoliated		Bare Root
2	TAXD	<i>Taxodium distichum</i>	Bald Cypress	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
5	QUEH	<i>Quercus virginiana</i> 'Highrise'	Cathedral Live Oak	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
1	QUEV	<i>Quercus virginiana</i>	Live Oak	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
<b>SHRUBS</b>						
20	AZIF	<i>Azalea indica</i> Formosa	Formosa Azalea	36" Min	24"-30"	Cont. 1 Gal. Min.
1	CAMJ	<i>Camellia japonica</i> (Tree Form)	Common Camellia	36" Min.	24"-30"	Cont. 15 Gal. Min.
2	CAME	<i>Camellia sasanqua</i> (Espalier)	Sasanqua Camellia	36" Min.	24"-30"	Cont. 1 Gal. Min.
1	CHAH	<i>Chamaerops humilis</i>	Dwarf Fan Palm	24"-30"	24"-30"	Cont. 15 Gal. Min.
6	LORC	<i>Loropetalum chinense</i> 'Ever Red'	Ever Red Loropetalum	36" Min.	24"-30"	Cont. 1 Gal. Min.
3	LORP	<i>Loropetalum c.</i> 'Purple Diamond'	Purple Dia. Loropetalum	18"-24"	18"-24"	Cont. 1 Gal. Min.
66	MUHC	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	15"-18"	12"-15"	Cont. 3 Gal. Min.
11	FODM	<i>Podocarpus macrophyllus</i> 'Maki'	Shrubby Yew	36" Min.	15"-18"	Cont. 1 Gal. Min.
20	PODP	<i>Podocarpus macrophyllus</i> 'Fringles'	Dw. Fringles Podocarpus	18" Min.	12"-15"	Cont. 1 Gal. Min.
4	SABM	<i>Sabal minor</i>	Dwarf Palmetto	18" Min.	12"-15"	Cont. 1 Gal. Min.
11	VIBS	<i>Viburnum suspensum</i>	Sandarkwa Viburnum	36" Min.	15"-18"	Cont. 15 Gal. Min.
11	VIBO	<i>Viburnum odoratissum</i>	Sweet Viburnum	36" Min.	24"-30"	Cont. 15 Gal. Min.
<b>GROUNDCOVERS</b>						
54	ANNU	Seasonal Annuals	Vinca or equal	6"-8"	6"-8"	Cont. 3 Gal.-24" o.c.
26	DIAT	<i>Dianella tasmanica</i>	Variegated Dianella	10"-12"	10"-12"	Cont. 1 Gal.-24" o.c.
103	LIRM	<i>Liriope muscari</i> 'Emerald Goddess'	Emerald Goddess Liriope	10"-12"	10"-12"	Cont. 1 Gal.-24" o.c.
10	OPHU	<i>Ophiopogon japonicus</i> 'Nana'	Selections by LA/Owner	10"-12"	10"-12"	Cont. 1 Gal. 18" o.c.
500 SF	SOD	<i>Eremochloa ophiuroides</i>	Centipedegrass Sod			
150	BALES	MULCH - PLANT BED AREAS	Longleaf Pinestraw Mulch			1 Bale / 50 sf

**PLANTING NOTES:**

- Materials list was prepared for estimating purposes, Contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and groundcover planting details and special provisions for planting specificatins.
- Soil shall be amended by Contractor as indicated by soil test to achieve proper soil conditions for optimum plant health.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Owner's Representative before beginning planting operations.
- All plant beds and disturbed areas to receive a minimum 3" deep pinestraw mulch.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant beds and areas to receive 100% irrigation coverage with automatic system and rain sensor override.
- In the plant schedule, plants noted as 'specimen', shall be selected by the Owner's Representative at the nursery or photos of the planting stock shall be submitted to the Owner's Representative for approval.
- Preemergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.

**SUMMARY OF PROPOSED BUFFER PLANTINGS:**

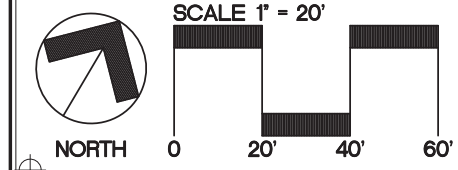
	REQD.	NEW	EXISTING	TOTAL
<b>A. STREET BUFFER - BUFFER TYPE E, OPTION 1 (116 LF) *</b>				
OVERSTORY	5	4	1	5
UNDERSTORY	5	1	0	1
EVERGREEN SHRUBS	29	31	0	31
<b>B. LOADING ZONE BUFFER - BUFFER TYPE D, OPTION 1: (40 LF)</b>				
OVERSTORY	2	2	0	2
UNDERSTORY	2	3	0	3
EVERGREEN SHRUBS	10	11	0	11

NOTES:  
1. LENGTH OF STREET BUFFER EXCLUDES ENTRY DRIVE AND BIKE PATH ENCROACHMENTS (150.25' TOTAL LENGTH MINUS 34' FOR BIKE PATH AND ENTRY DRIVE = 116.25' OF REMAINING BUFFER LENGTH)

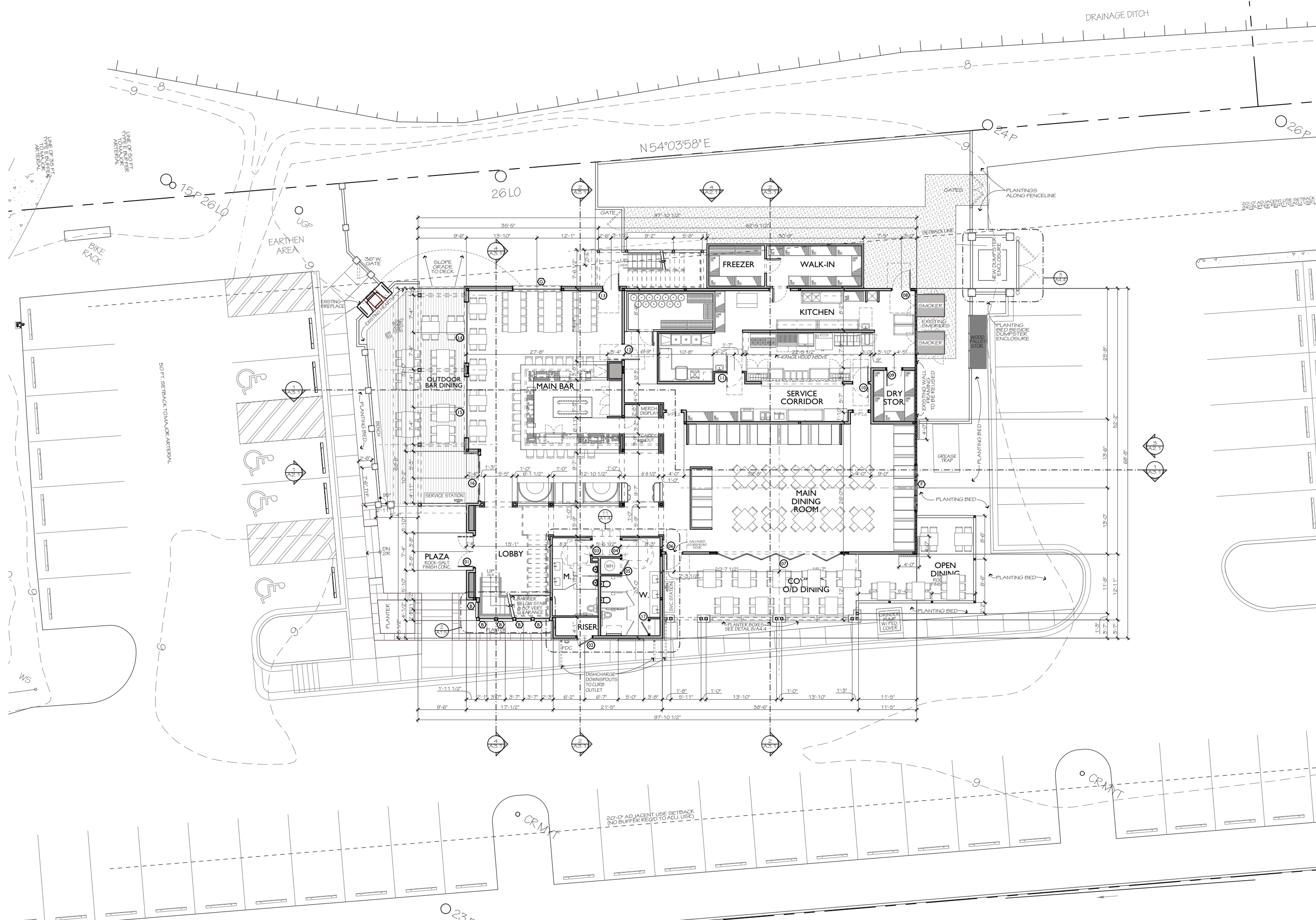
**SUMMARY OF PROPOSED TREE MITIGATION:**

QTY.	CAL. INCHES	TREE TYPE	TREE REQD.	TREE PROVIDED
1	11	LIVE OAK	1	12
1	15	WATER OAK	2	2 (1)
7	80	PINES	8	8

NOTE:  
1. REQUEST PERMISSION TO SUBSTITUTE 2 BALD CYPRESS FOR THE 15" WATER OAK REMOVED.







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REVISIONS	

DRAWN BY  
JD

CHECKED BY  
JD

DATE OF ISSUE  
2/7/2020

SCALE  
AS SHOWN

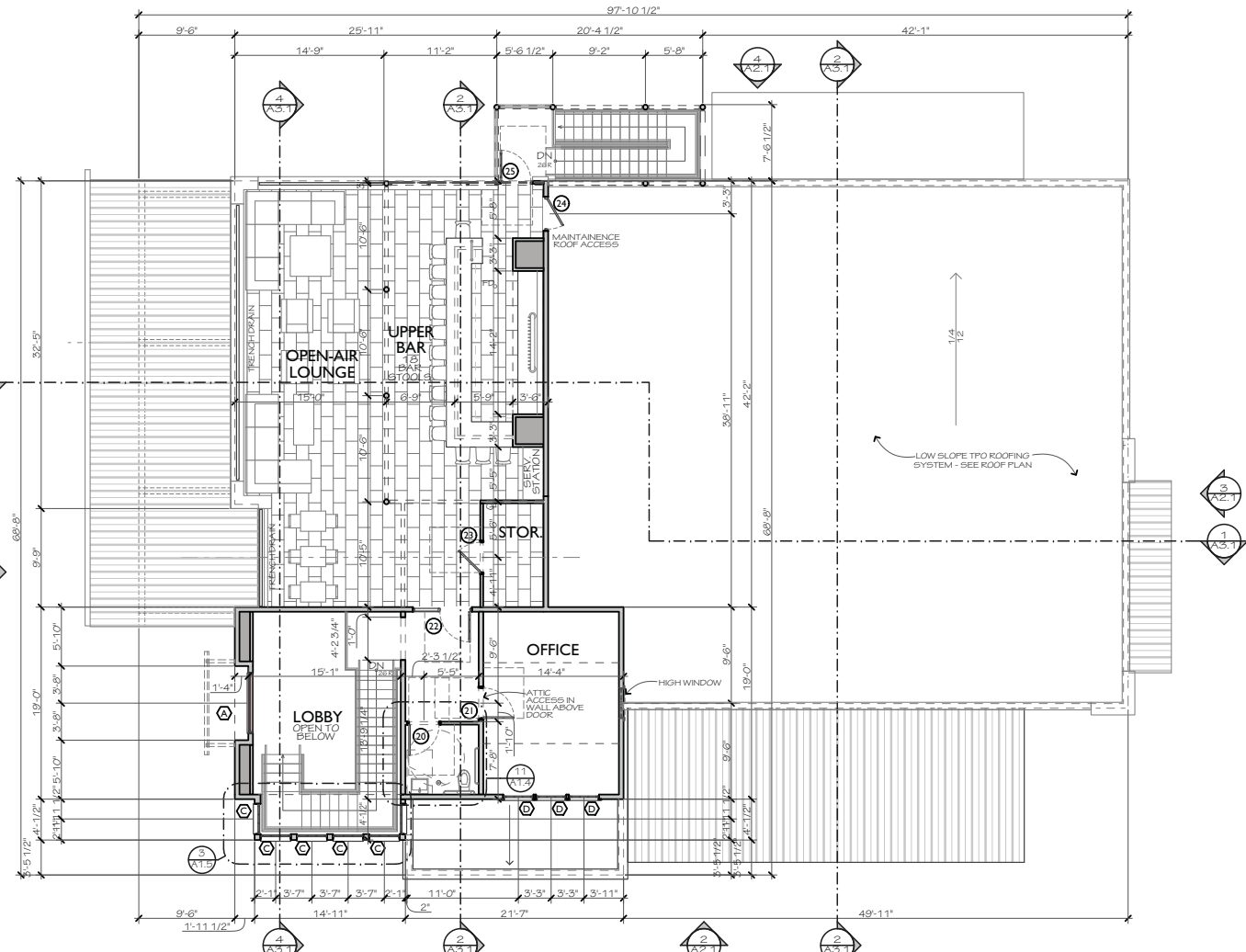
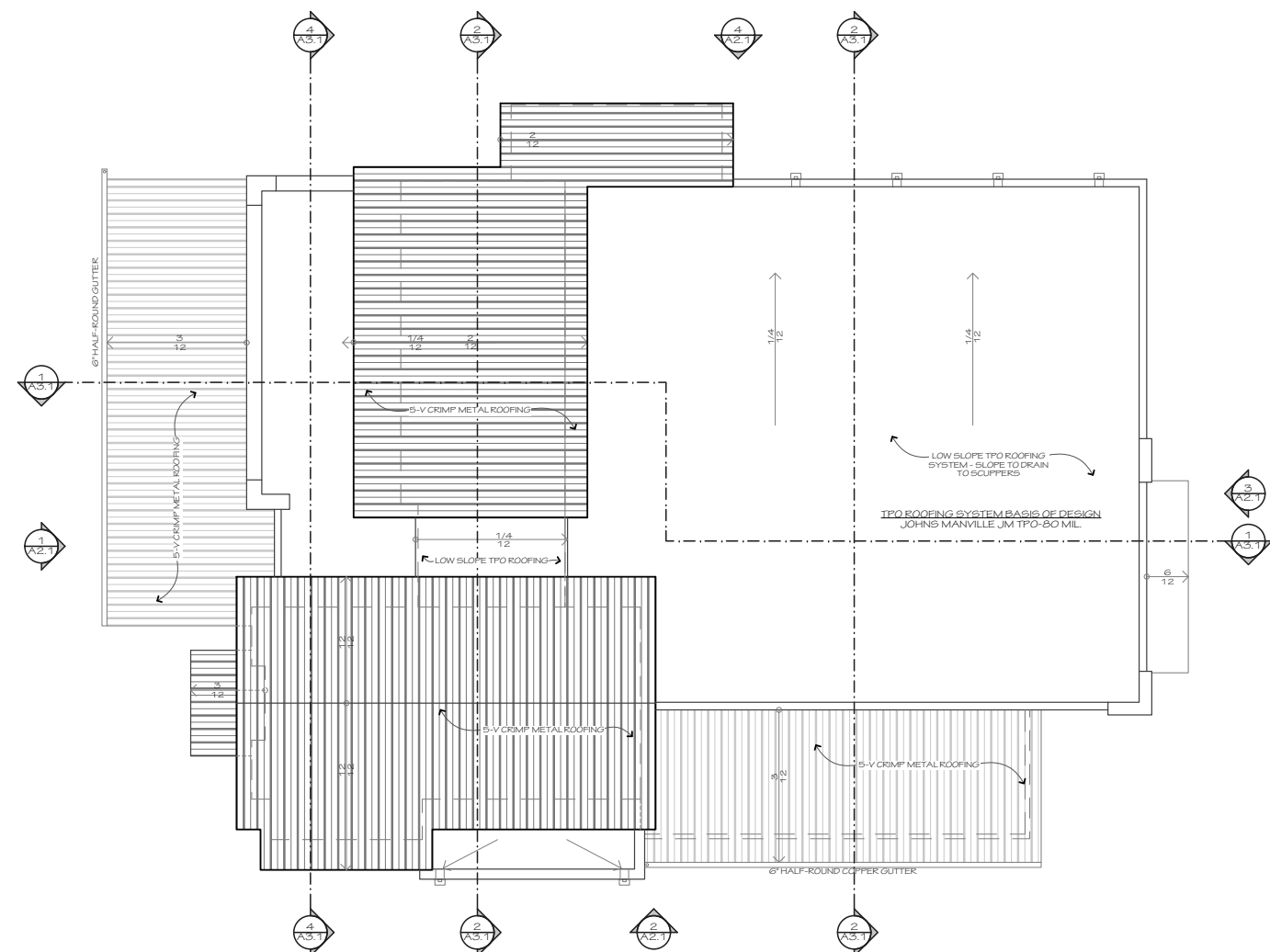
JOB NO.  
1928

SHEET

FIRST FLOOR PLAN  
**A1.1**

**1st FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

SEE CODE SUMMARY ON COVER SHEET FOR AREAS



**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

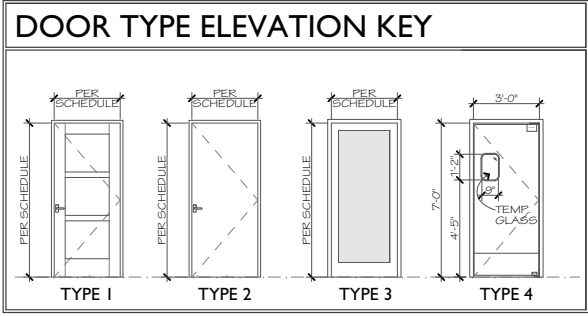
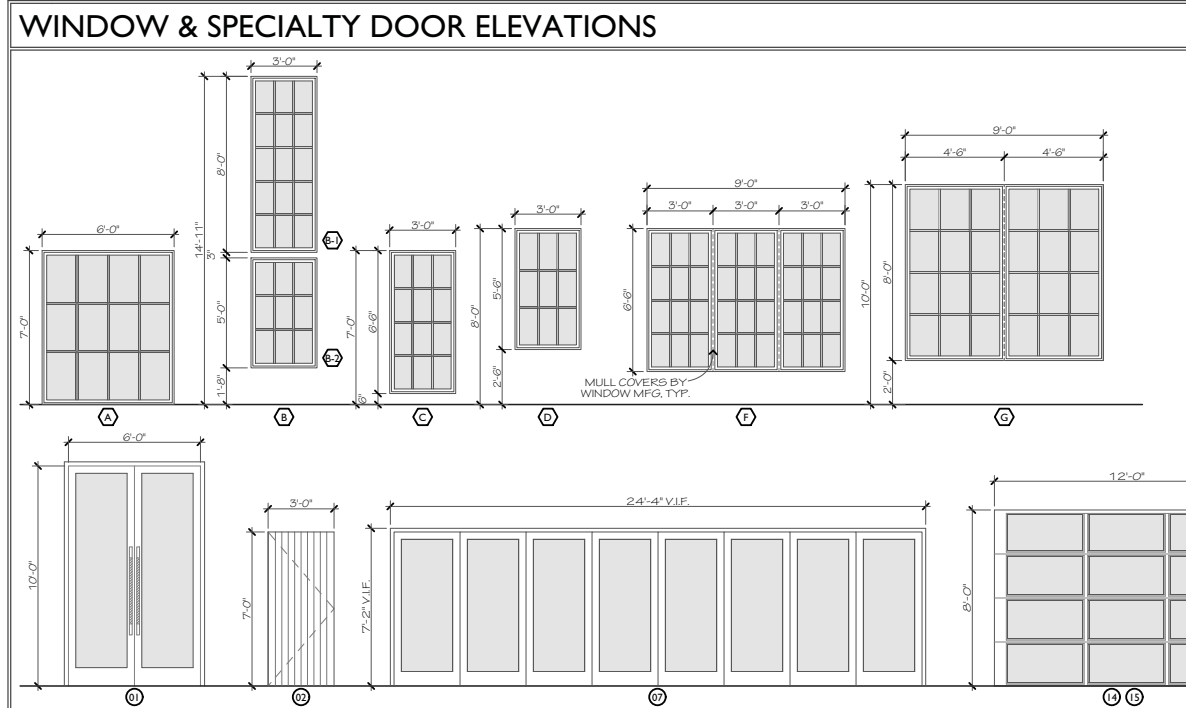
**1 2nd FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

MARK	TYPE	MANUF.	SIZE	REMARKS
A	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	6'-0" x 7'-0"	
B-1	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 8'-0"	PROVIDE MULL MANUFACTURER'S MULL COVER BETWEEN 8" WINDOWS; STANDARD 4 5/8" JAMB
B-2	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 3'-0"	STANDARD 4 5/8" JAMB
C	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 6'-0"	STANDARD 4 5/8" JAMB
D	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 5'-0"	
F	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	(2) 3'-0" x 6'-0" (RD +/- 9'-0" x 6'-0")	
G	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	(2) 4'-6" x 8'-0" (RD +/- 8'-0" x 8'-0")	MFG. TO PROVIDE BRICK MOULD SNAP COVER

**NOTES:**  
 1. SIERRA PACIFIC H3 WINDOWS W/ LOW-E 366 GLASS, AAMA 2605 FINISH, & 7/8" PUTTY SDL MUNTINS W/ SPACER BAR, 6 5/8" JAMB.  
 2. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.  
 3. PROVIDE ARMOUR SCREEN HURRICANE PROTECTION SYSTEM (OR SIM) FOR ALL NON-IMPACT RATED WINDOWS.

MARK	DESCRIPTION	DOOR			MATERIAL/ FINISH	HARDWARE TYPE	FRAME		
		W	H	T			MARK	MATERIAL	FIRE RATING
1	STOREFRONT	(2) 3'-0"	10'-0"		ALUM.	SEE ELEV	5,6,9	METAL	
2	METAL W/ WOOD CLADDING	3'-0"	7'-0"	1 3/4"	MDF	SEE ELEV	4	METAL	
3	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	5,9	METAL	CENDURA STILE & RAIL
4	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	5,9	METAL	CENDURA STILE & RAIL
5	FLUSH	2'-8"	7'-0"	1 3/4"	MDF	1	4	METAL	CENDURA STD. PAINTED
6	SALVAGED STOREFRONT	3'-0"	7'-0"		ALUM.	3	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
7	SALVAGED PANORAMIC	24'-0"	7'-0"		ALUM.	SEE ELEV	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
8	METAL	3'-0"	7'-0"	1 3/4"	METAL	2	1,6,9	METAL	
9	METAL	3'-0"	7'-0"	1 3/4"	METAL	2	1,6,9	METAL	
10	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	ALUM.		MFG. STD.	METAL	B.O.D. ELIASON SCP-4-ALUMINUM
11	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	ALUM.		MFG. STD.	METAL	B.O.D. ELIASON SCP-4-ALUMINUM
12	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	HPL		MFG. STD.	METAL	B.O.D. ELIASON SCP-8-PRESTIGE WALNUT
13	STOREFRONT	3'-0"	8'-0"		ALUM.	3	5,6,9	METAL	
14	OHD	12'-0"	8'-0"		PWDR. CTD. ALUM.	SEE ELEV	N/A	METAL	B.O.D. CHI 3297 FULL VIEW ALUM.-DK BRONZE
15	OHD	12'-0"	8'-0"		PWDR. CTD. ALUM.	SEE ELEV	N/A	METAL	B.O.D. CHI 3297 FULL VIEW ALUM.-DK BRONZE
16	SALVAGED AUTO. SLIDING	54" CLR (R.O. 9'-0")	7'-0"		ALUM.	REUSE EXISTING	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
17	FLUSH	2'-8"	7'-0"	1 3/4"	MDF	1	4	METAL	CENDURA STD. PAINTED
18	NOT USED								
19	NOT USED								
20	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	2,9	METAL	
21	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	3	METAL	
22	STOREFRONT	3'-0"	7'-0"		ALUM.	SEE ELEV	1,6,9	METAL	
23	METAL	3'-0"	7'-0"	1 3/4"	MDF	2	2	METAL	
24	METAL	3'-0"	7'-0"	1 3/4"	MDF	2	1,6,9	METAL	
25	STOREFRONT	3'-0"	7'-0"		ALUM.	3	5,6,9	METAL	

**NOTES:**  
 1. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.  
 2. PROVIDE ARMOUR SCREEN HURRICANE PROTECTION SYSTEM (OR SIM) FOR ALL NON-IMPACT EXTERIOR DOORS.



MARK	TYPE	MFG. NAME	MFG. NUMBER	REMARKS
1	PASSAGE LATCH	SCHLAGE	AL10PD	
2	BATHROOM LOCK	SCHLAGE	AL40PD	
3	ENTRANCE/OFFICE LOCK	SCHLAGE	AL80PD	
4	STOREROOM LOCK	SCHLAGE	AL80PD	
5	PUSH/PULL			
6	DEAD BOLT			
7	KICK PLATE			
8	CLOSER	LCN	4040XP	

**NOTES:**  
 1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW  
 2. ALL FINISHES TO BE US 10B

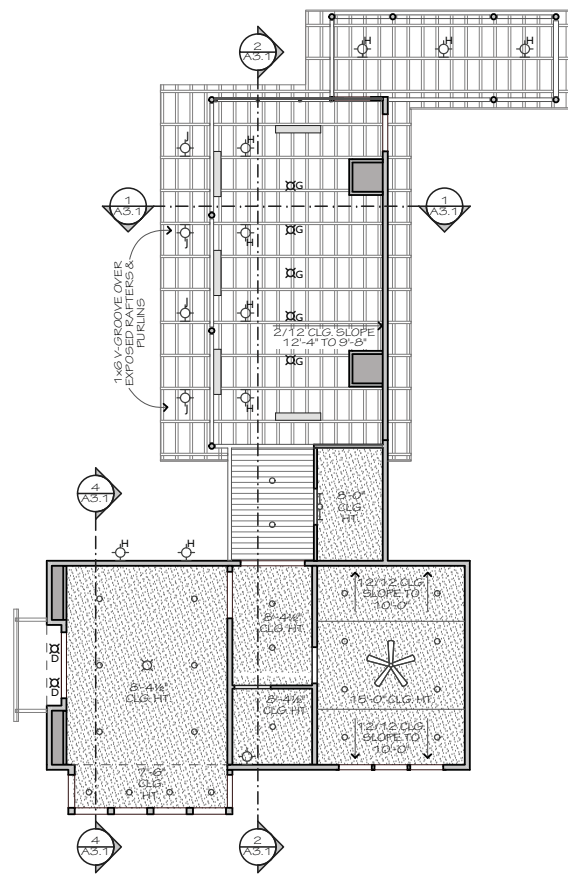
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NO.	REVISIONS

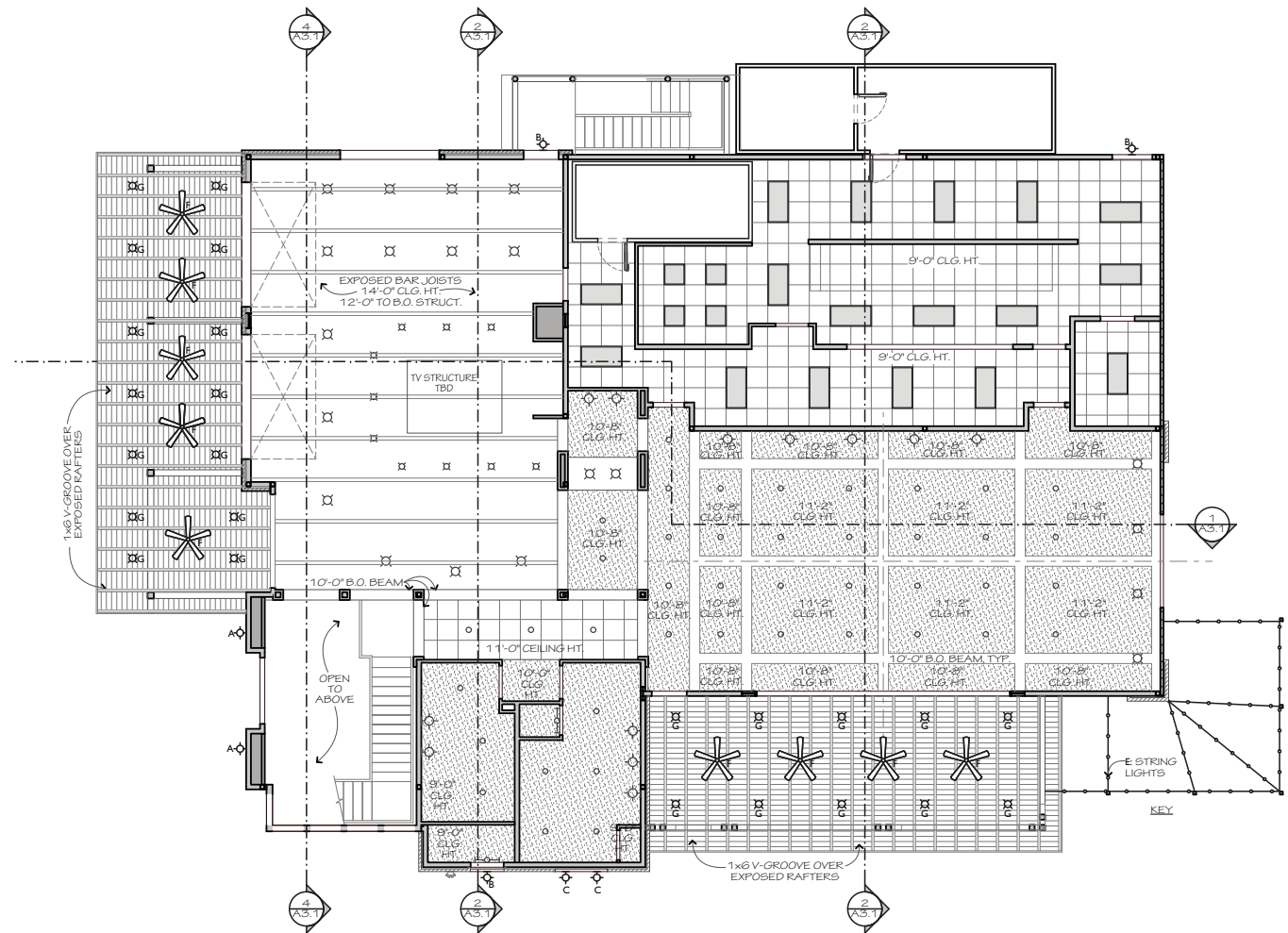
DRAWN BY  
JD  
 CHECKED BY  
JD  
 DATE OF ISSUE  
2/7/2020  
 SCALE  
AS SHOWN  
 JOB NO.  
1928  
 SHEET

SEE CODE SUMMARY ON COVER SHEET FOR AREAS





**2** 2nd FLOOR REFLECTED CEILING PLAN  
 A1.3 SCALE: 1/8" = 1'-0"















**1** 1st FLOOR PLAN REFLECTED CEILING PLAN  
 A1.3 SCALE: 1/8" = 1'-0"

**EXTERIOR LIGHTING SCHEDULE**

MARK	MANUFACTURER	CATALOGUE NUMBER	LAMP	MOUNTING	COLOR	REMARKS
A	ANP LIGHTING	W520-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
B	ANP LIGHTING	W516-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
C	ANP LIGHTING	M710-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
D	WAC LIGHTING	R5BRD-S15-930-8895-4542-BN	3000K LED	SOFFIT	BRUSHED NICKLE	
E	PARTY LIGHTS	KMS1100BKLED84614	2700K	GUIDE CABLE	BLACK	STRING LIGHTS
F	MINK-AIRE	F681-50BK/W5	3000K LED	CEILING	SAND BK/ WEATHER STEEL	CEILING FAN W/ LIGHT KIT
G	WAC LIGHTING	DS-PD08-F-35W-S-30-BZ	3000K LED	CEILING	BRONZE	DIMMER
H	B-K LIGHTING	CK-LED-X59-FL-B2W-9-B	3000K LED	BEAM	BRONZE WRINKLE	
J	B-K LIGHTING	CK-LED-X59-WFL-B2W-9-B	3000K LED	BEAM	BRONZE WRINKLE	

**SYMBOL KEY**

-  SURFACE MOUNTED LIGHT FIXTURE
-  WALL SCONCE
-  PENDANT
-  CAN LIGHT
-  24"x24" LED LIGHT FIXTURE
-  24"x48" LED LIGHT FIXTURE
-  24"x24" SUPPLY DIFFUSER
-  24"x24" RETURN AIR GRILLE
-  12"x12" SUPPLY DIFFUSER
-  12"x12" EXHAUST GRILLE
-  CEILING FAN
-  48" ELECTRIC BAR HEATER

**MATERIALS KEY**

-  GYP. BD.
-  ACT

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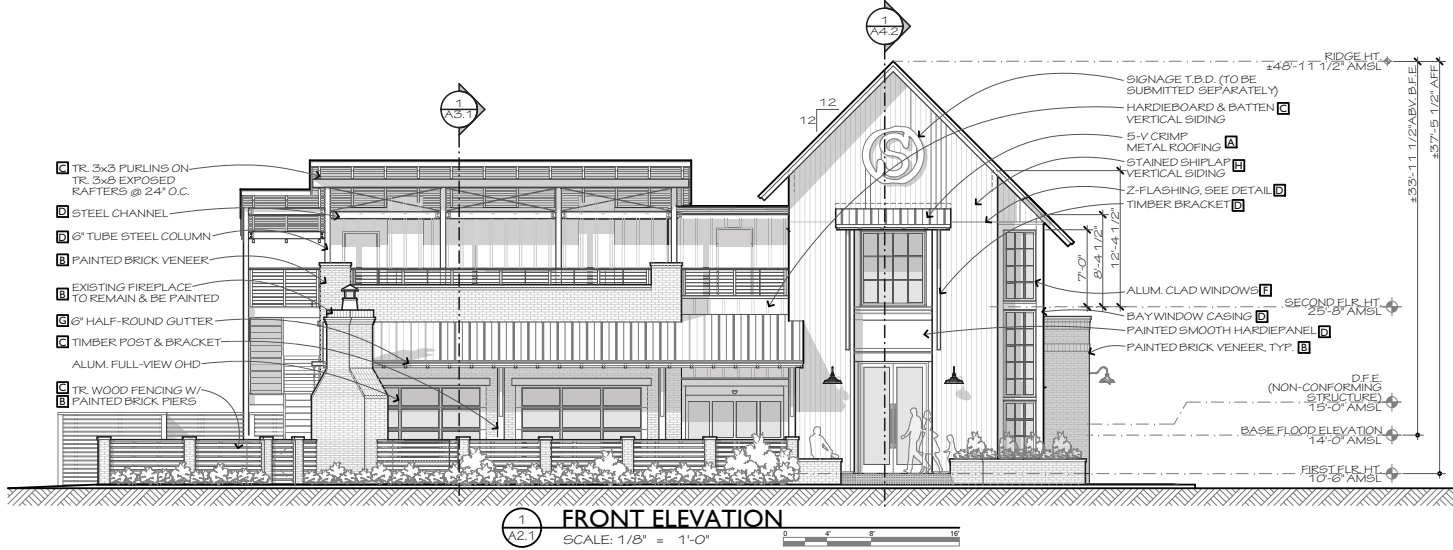
SEE CODE SUMMARY ON COVER SHEET FOR AREAS

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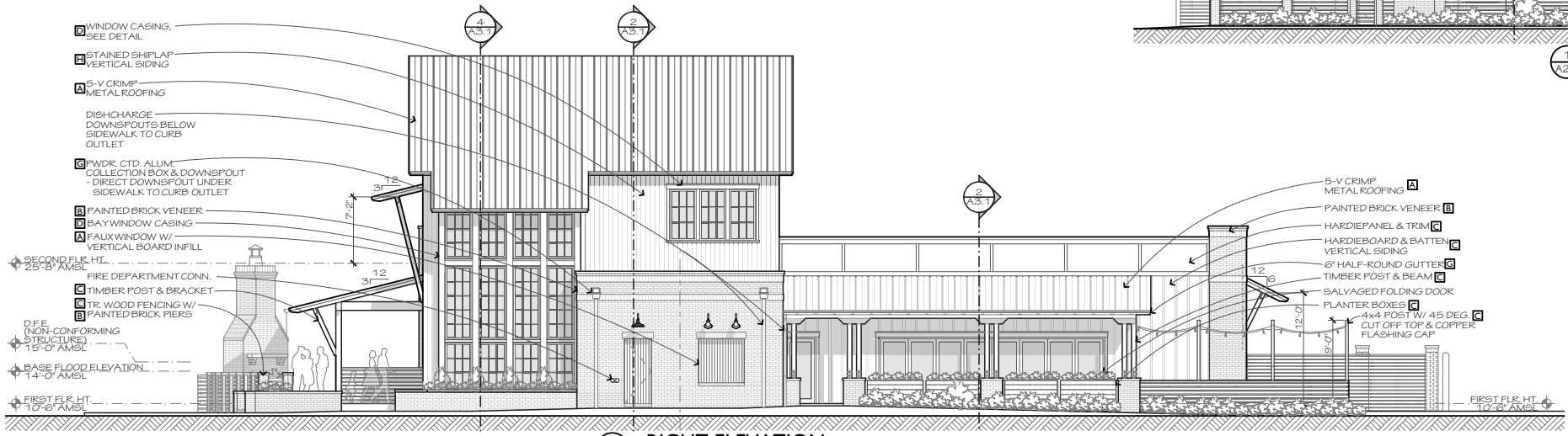
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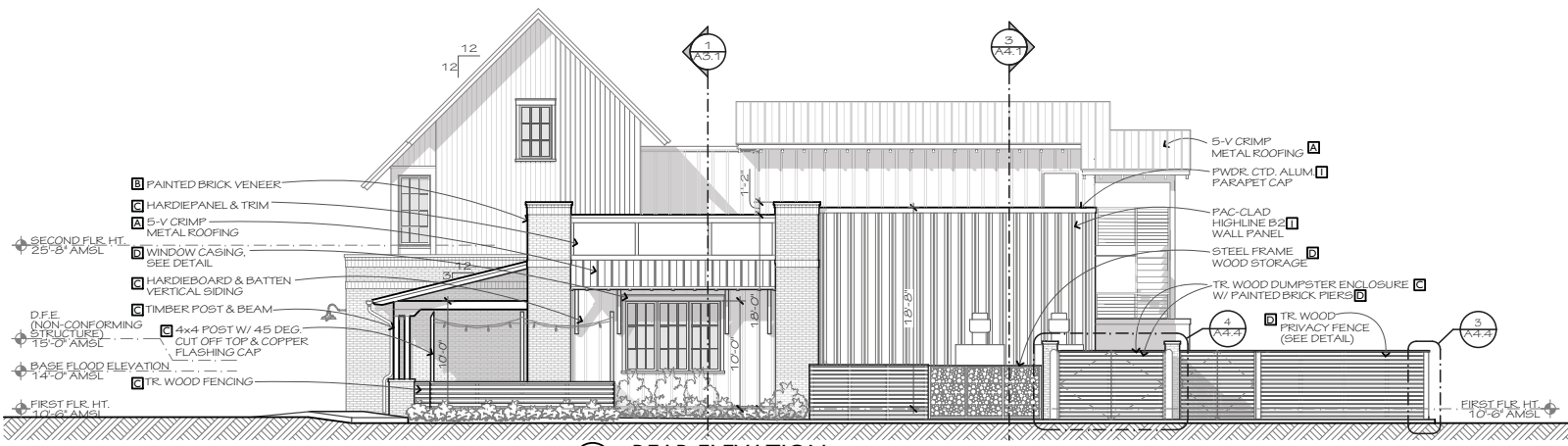
ELEVATIONS  
**A2.1**



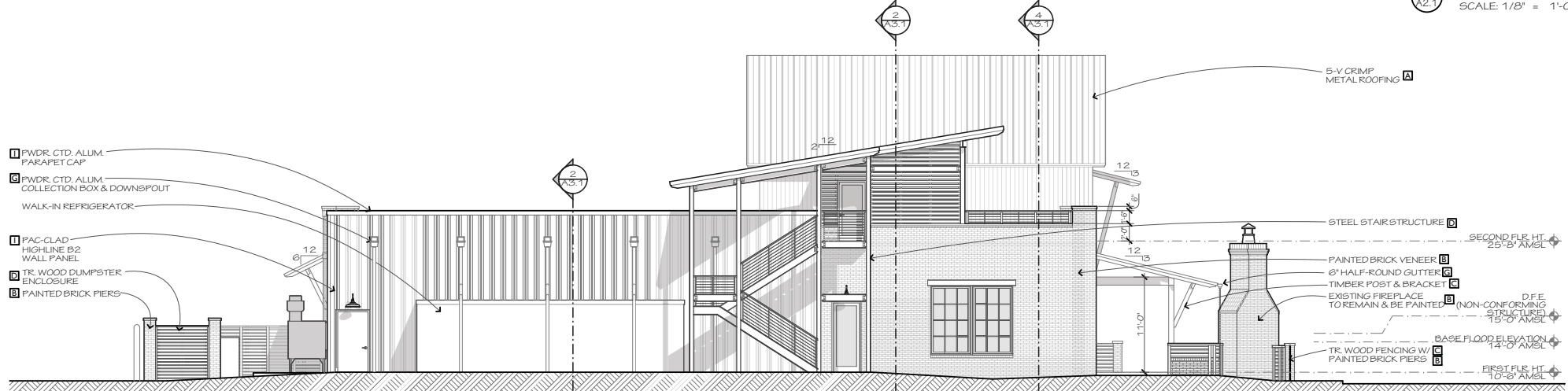
**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"

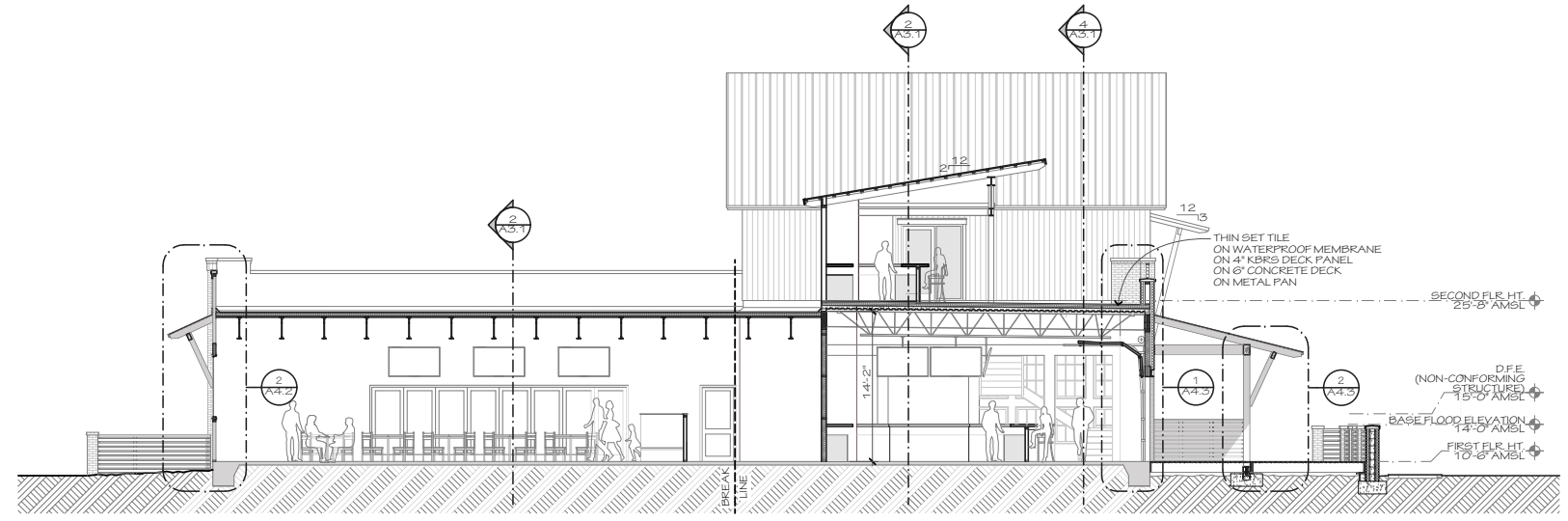


**3 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

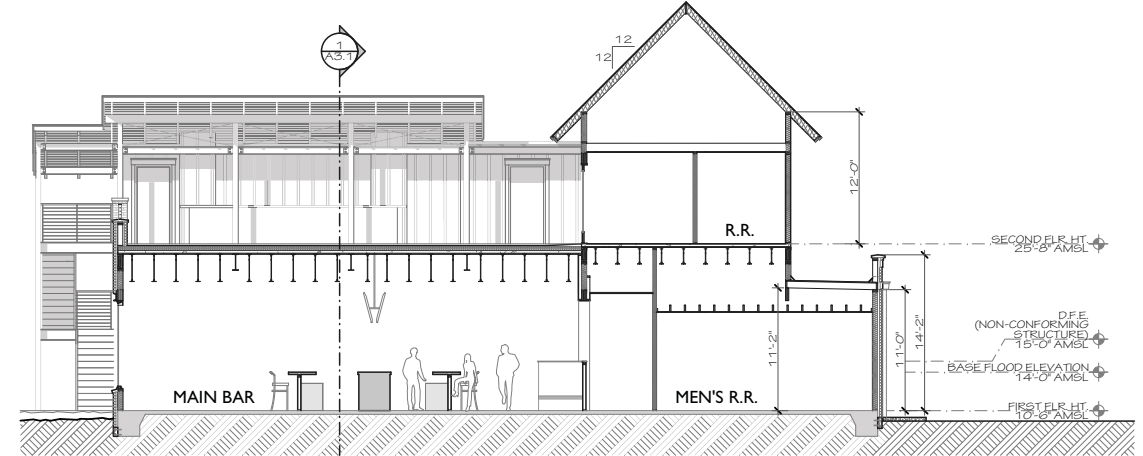
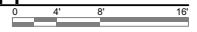


**4 LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

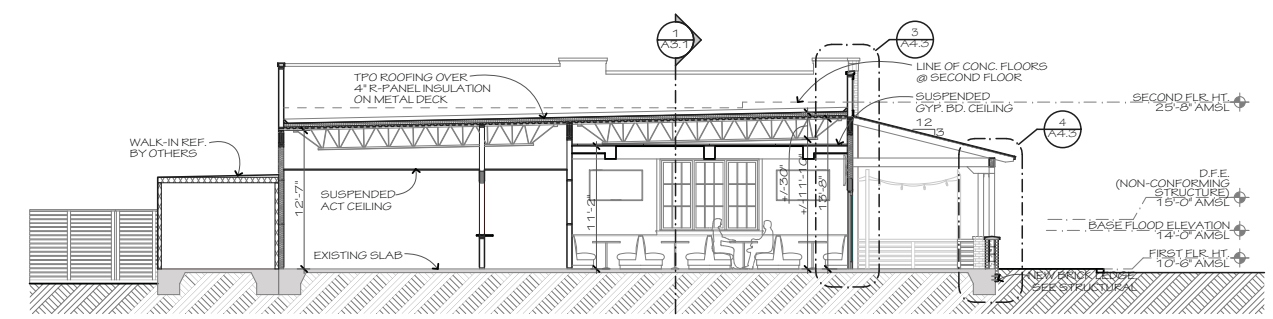
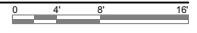
COLOR SCHEDULE			
MARK	COLOR	MANUFACTURER	APPLICATION
A	DARK BRONZE	MCELROY METAL	5-V CRIMP METAL ROOFING
B	SW 9167 POLISHED CONCRETE	SHERWIN WILLIAMS	PAINTED BRICK VENEER
C	SW 6002 ESSENTIAL GRAY	SHERWIN WILLIAMS	TRIM, FASCIA & SIDING
D	COLOR MATCH WINDOWS, BRONZE 024	SHERWIN WILLIAMS	DARK BRONZE ACCENTS & STEEL STRUCTURE, PRIVACY FENCE
F	BRONZE 024	SIERRA PACIFIC	WINDOWS
G	MANUF. DARK BRONZE	---	GUTTERS, DOWNSPOUTS
H	DARK GRAY - SEMI-SOLID STAIN	CABOT	VERTICAL STAINED PINE SIDING
I	BURNISHED SLATE	PAC-CLAD	HIGHLINE B2 WALL PANEL



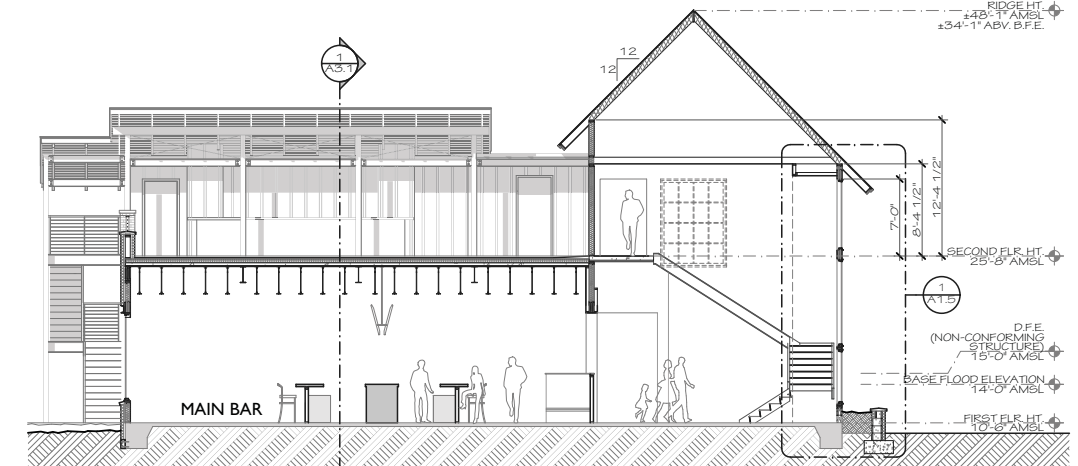
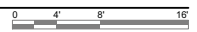
**1 SECTION @ BAR & DINING ROOM**  
 A3.1 SCALE: 1/8" = 1'-0"



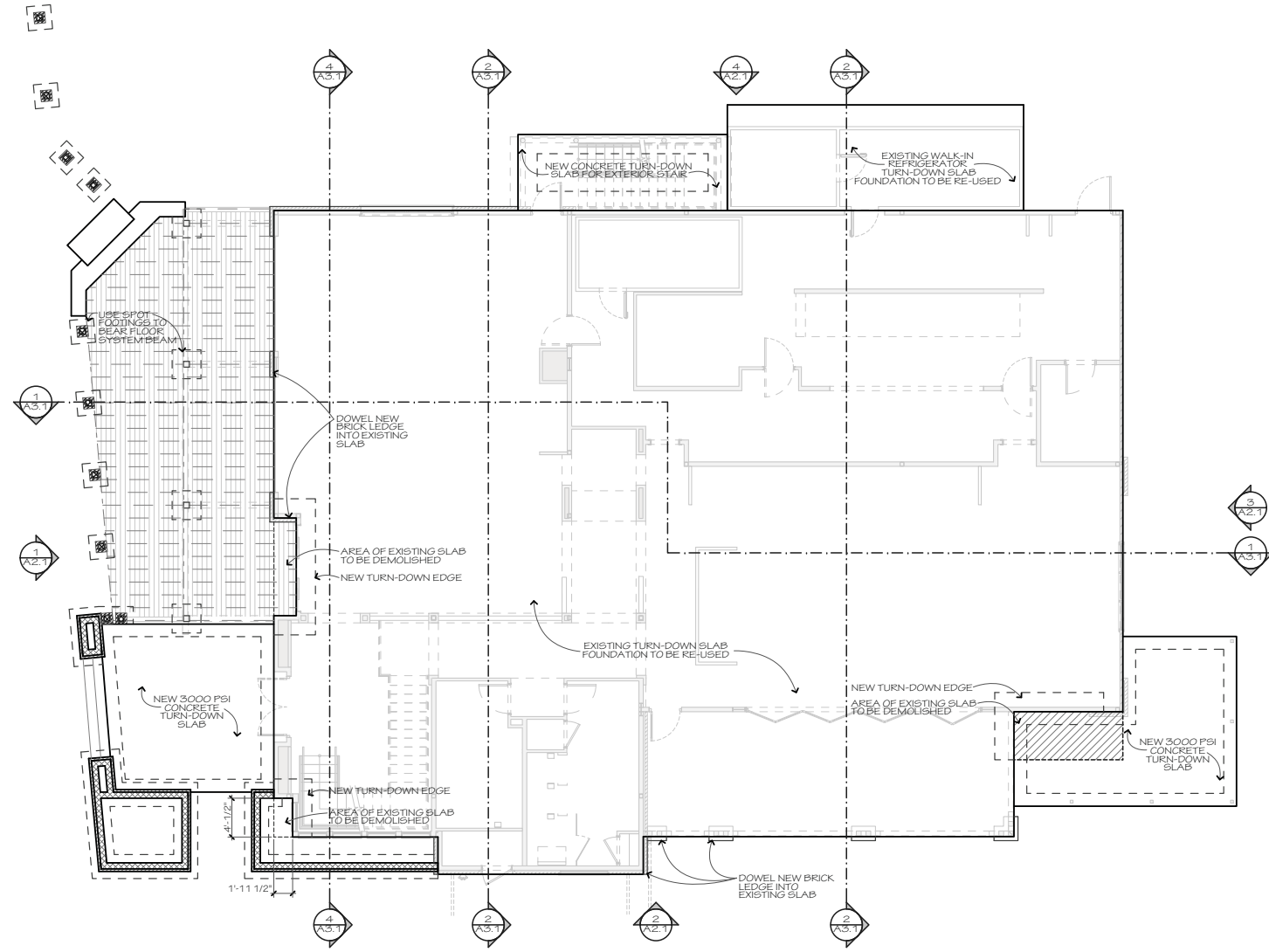
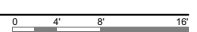
**2 SECTION @ BAR & RESTROOMS**  
 A3.1 SCALE: 1/8" = 1'-0"



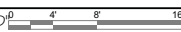
**3 SECTION @ DINING ROOM**  
 A3.1 SCALE: 1/8" = 1'-0"



**4 SECTION @ BAR & ENTRY**  
 A3.1 SCALE: 1/8" = 1'-0"



**5 SLAB PLAN**  
 A3.1 SCALE: 1/8" = 1'-0"

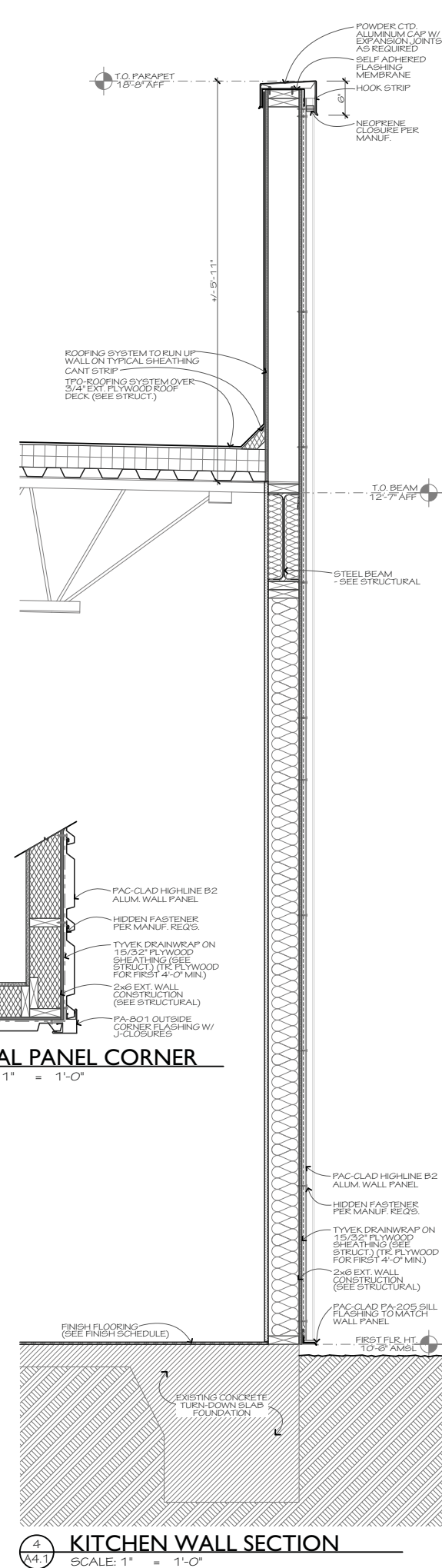
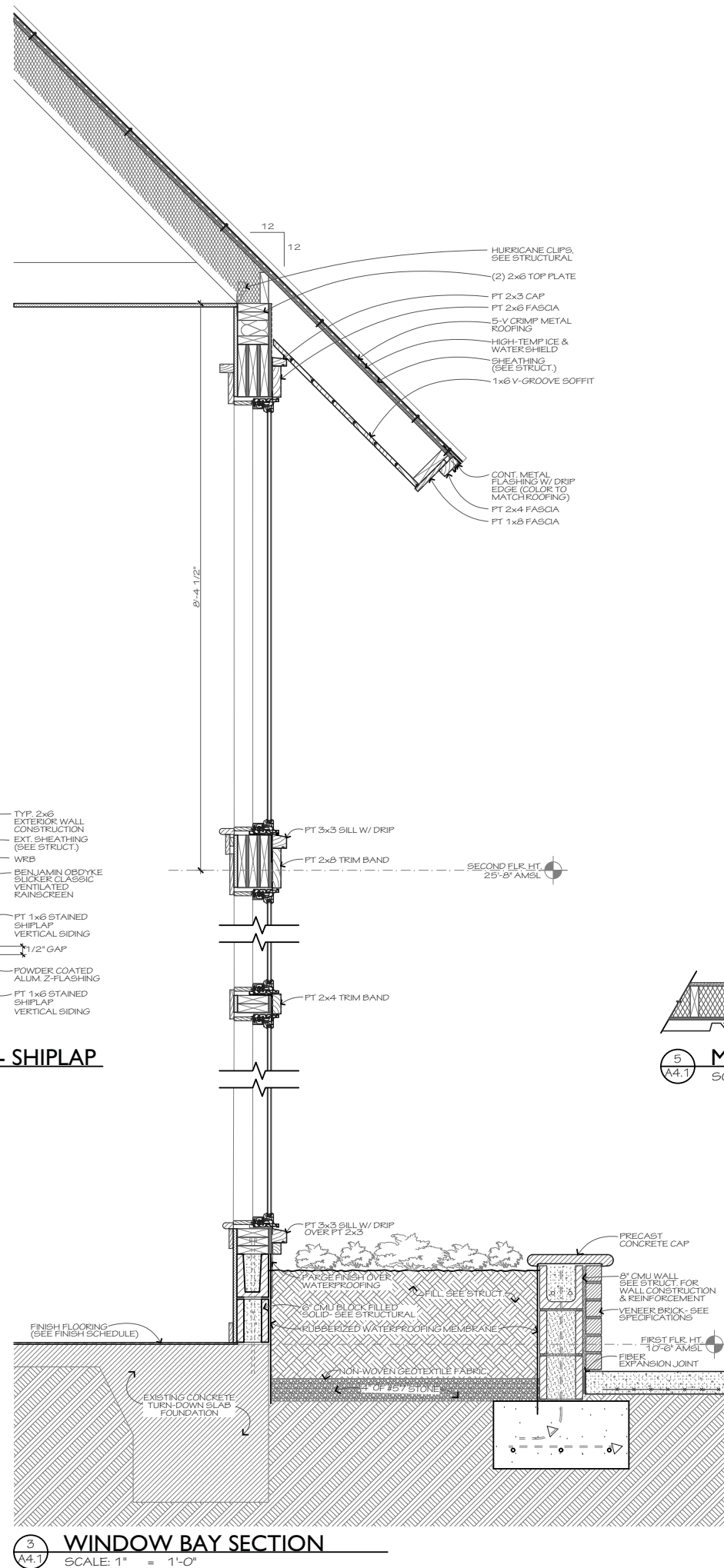
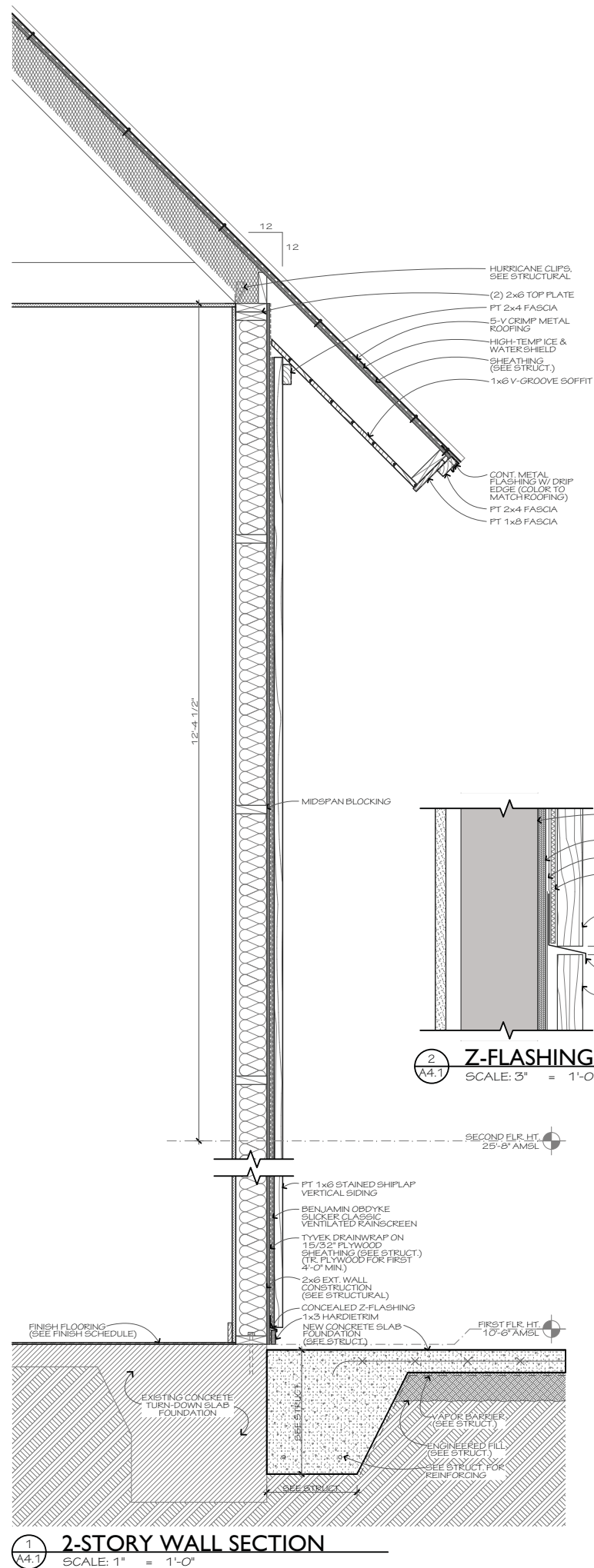


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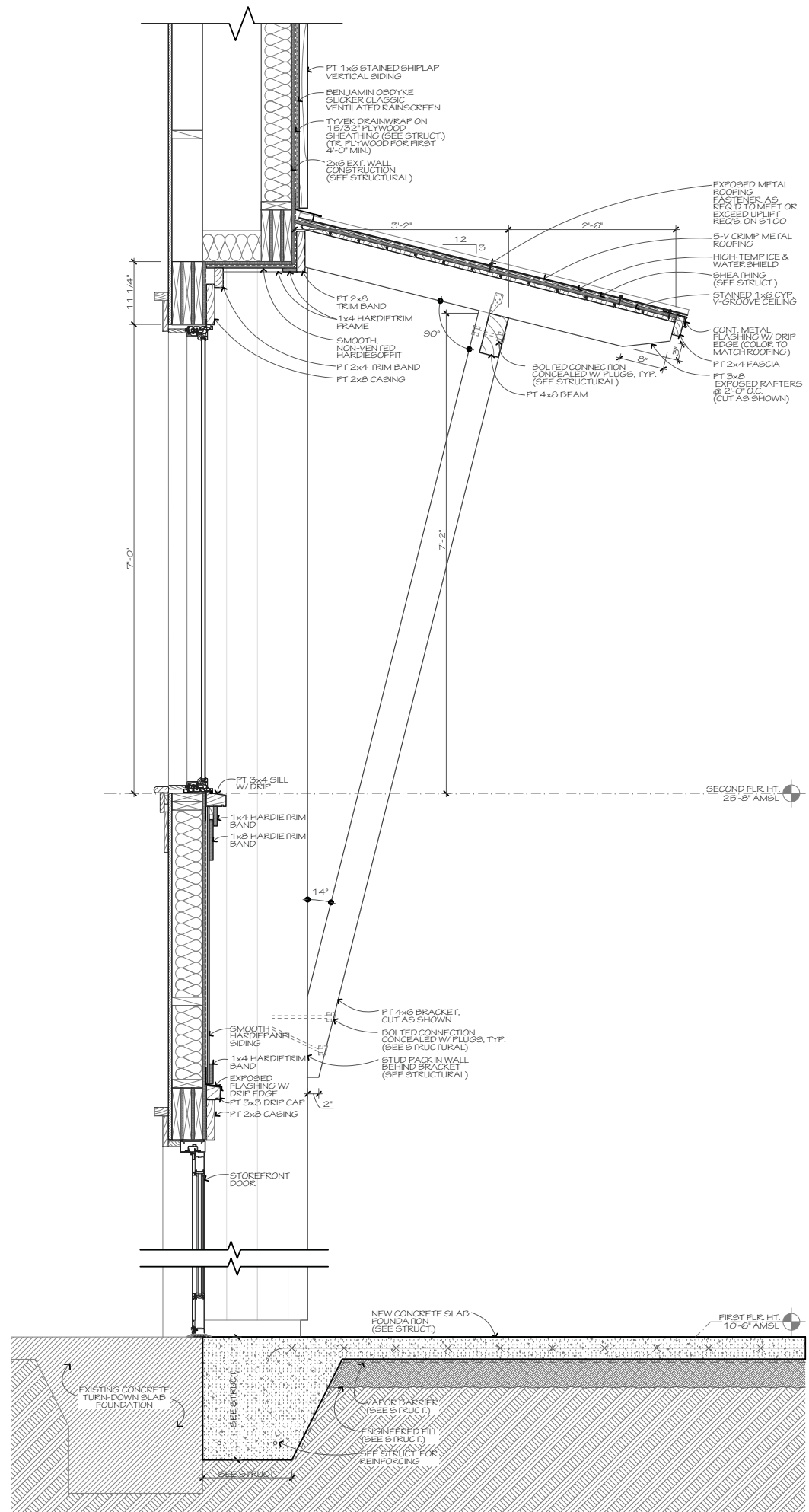
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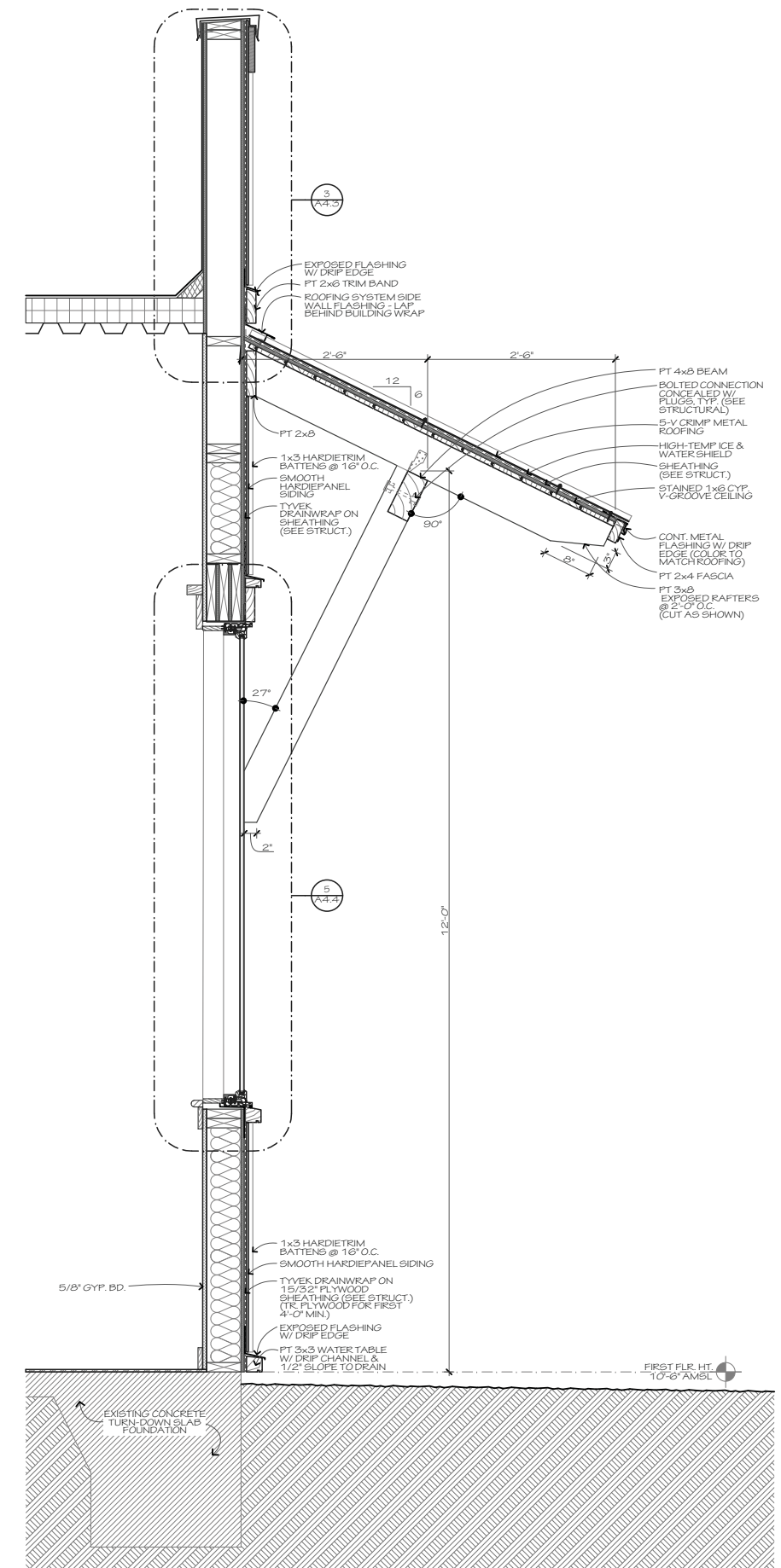
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**1 ENTRY WALL & BRACKETED ROOF**  
 SCALE: 1" = 1'-0"

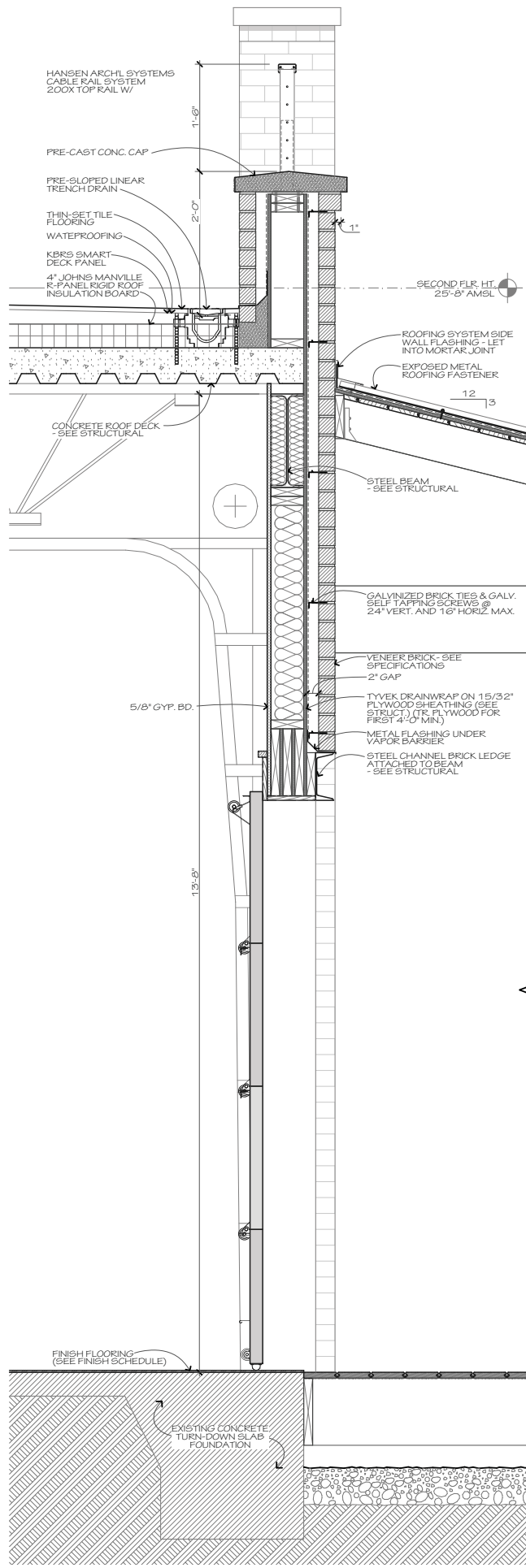


**2 BRACKETED ROOF @ DINING ROOM WINDOW**  
 SCALE: 1" = 1'-0"

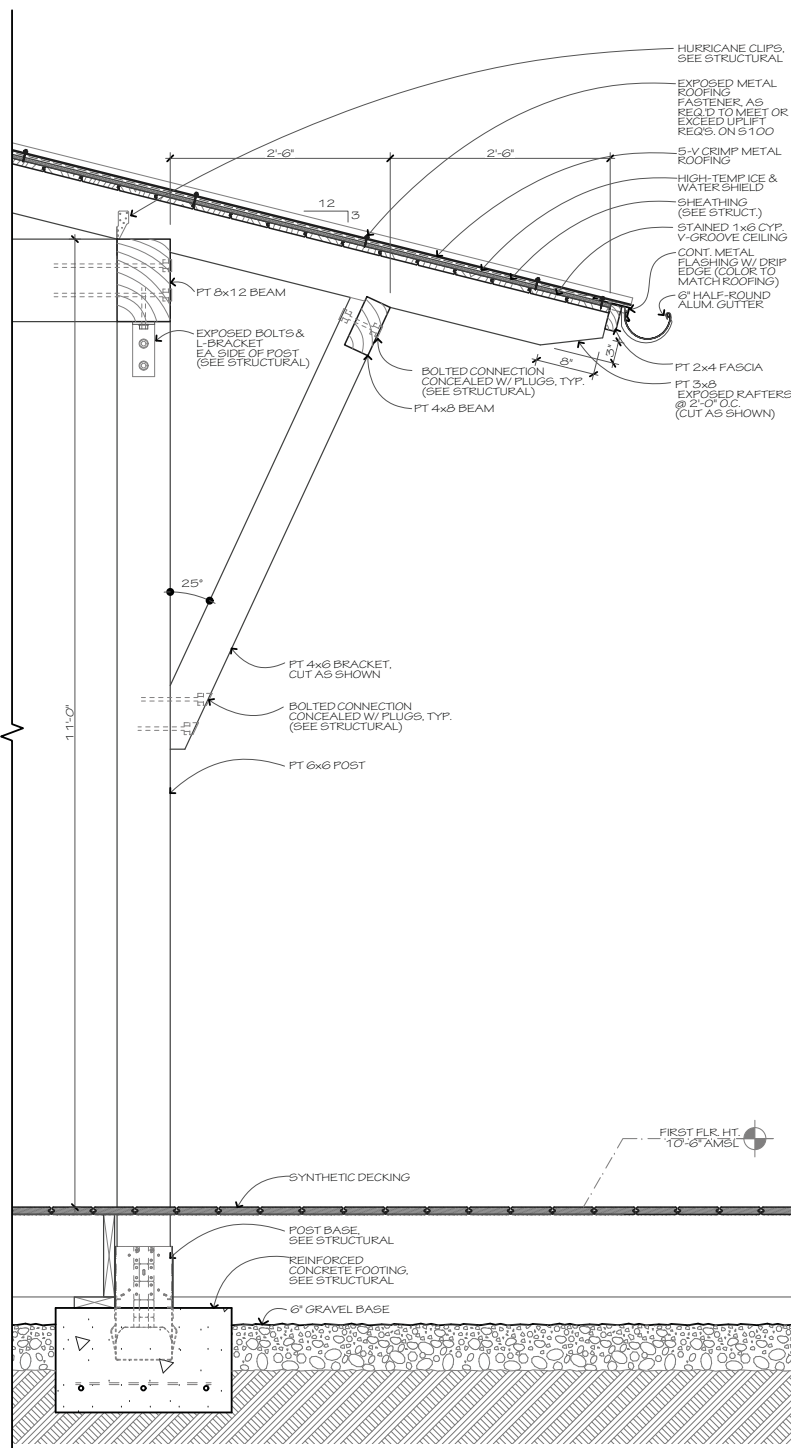
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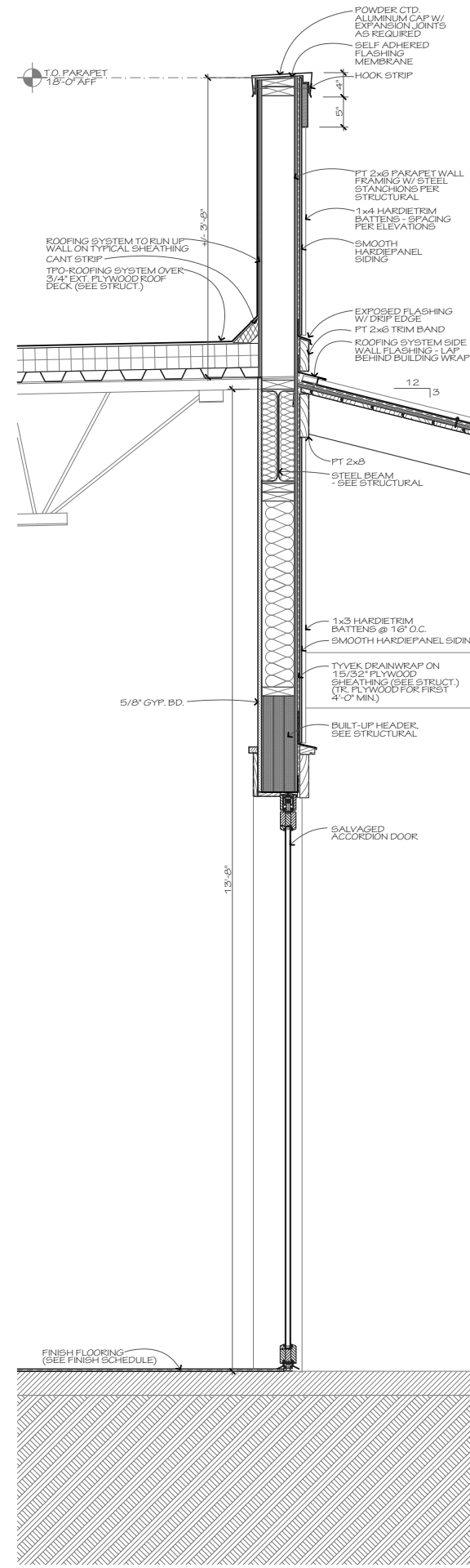
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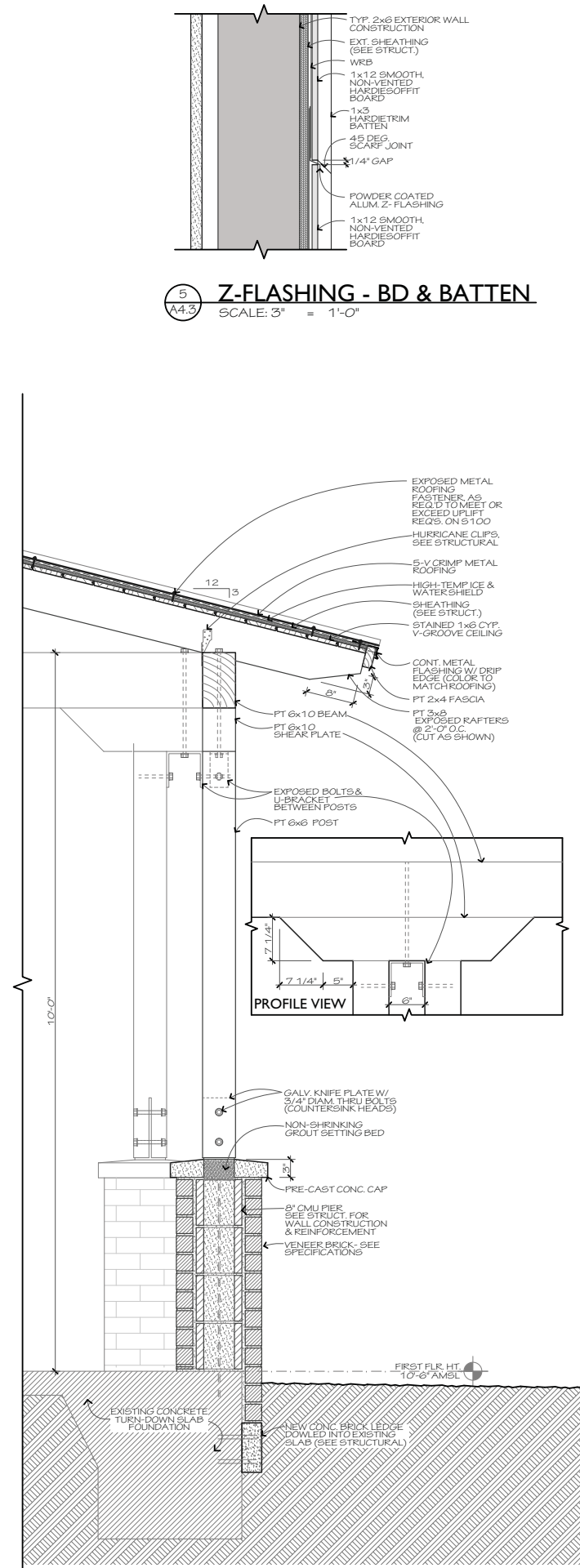
1 WALL SECTION @ BAR  
A4.3 SCALE: 1" = 1'-0"



2 PORCH SECTION @ BAR  
A4.3 SCALE: 1" = 1'-0"



3 WALL SECTION @ DINING  
A4.3 SCALE: 1" = 1'-0"



4 PORCH SECTION @ DINING  
A4.3 SCALE: 1" = 1'-0"

5 Z-FLASHING - BD & BATTEN  
A4.3 SCALE: 3" = 1'-0"

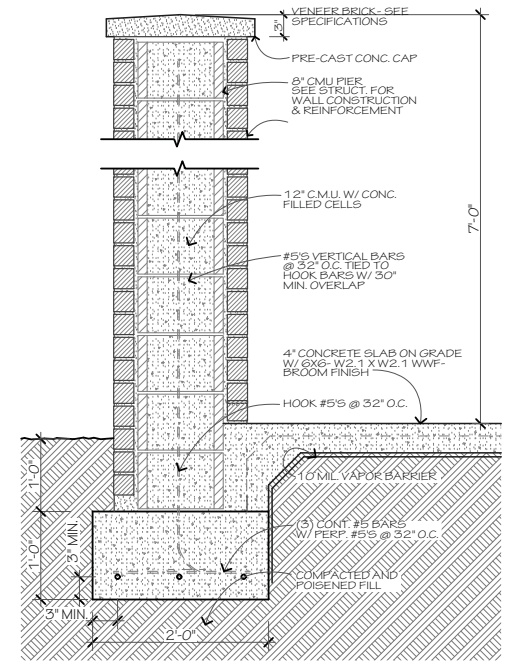
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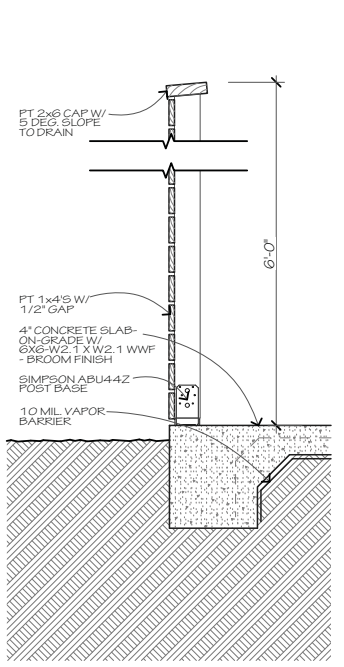
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PORCH SECTIONS  
**A4.3**

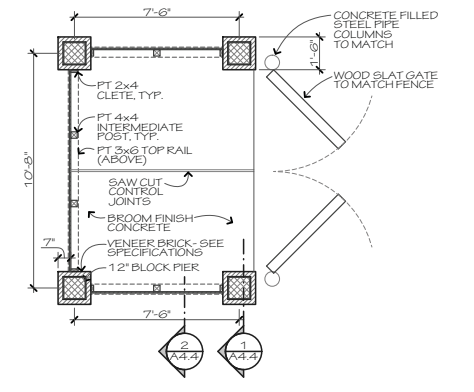




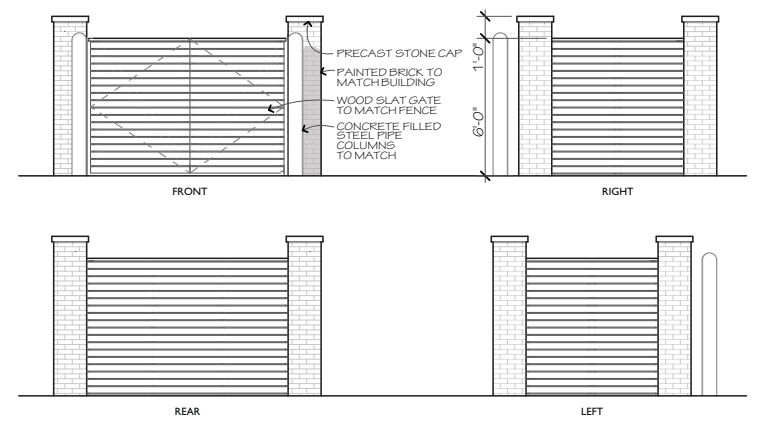
**1 DUMPSTER ENCLOSURE PIER**  
 SCALE: 1" = 1'-0"



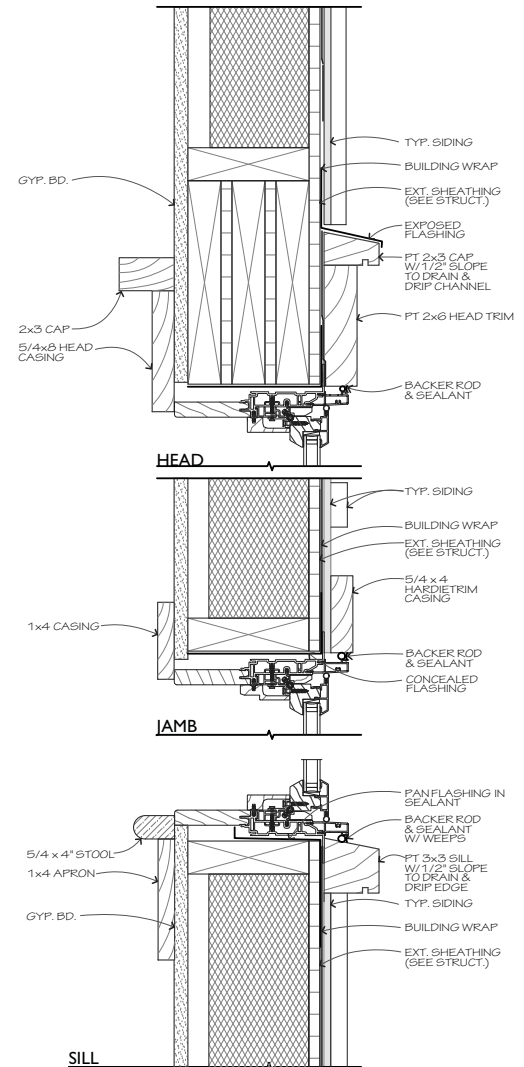
**2 ENCLOSURE FENCE**  
 SCALE: 1" = 1'-0"



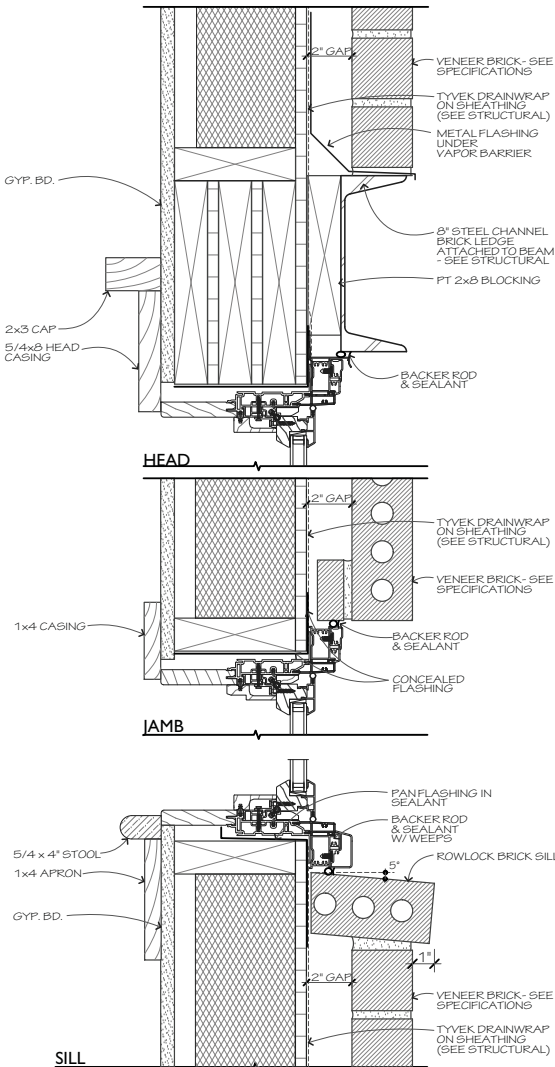
**3 DUMPSTER ENCLOSURE PLAN**  
 SCALE: 1/4" = 1'-0"



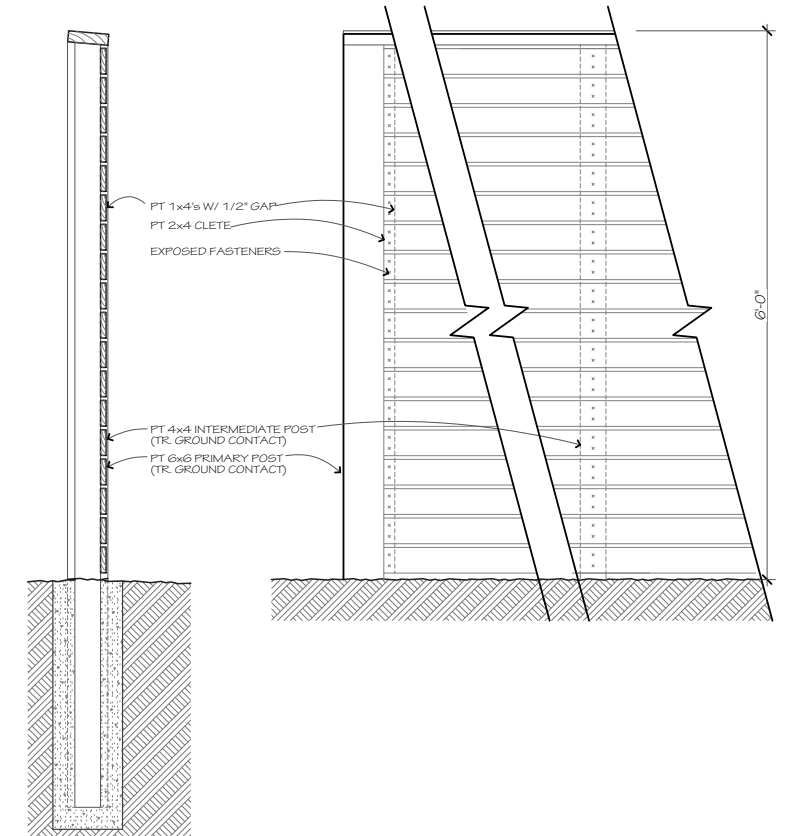
**4 DUMPSTER ENCLOSURE ELEVATIONS**  
 SCALE: 1/4" = 1'-0"



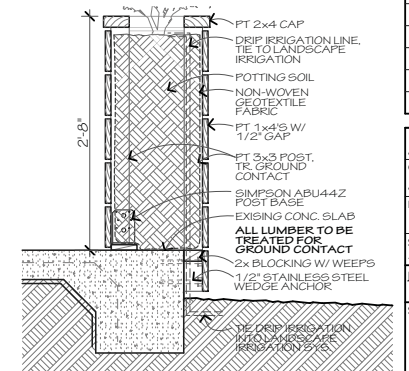
**5 WINDOW DETAILS**  
 SCALE: 3" = 1'-0"



**6 WINDOW @ BRICK VENEER**  
 SCALE: 3" = 1'-0"



**7 PRIVACY FENCE**  
 SCALE: 1" = 1'-0"



**8 PLANTER BOX DETAIL**  
 SCALE: 1" = 1'-0"

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## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Smokehouse

DRB#: DRB-000294-2020

DATE: 02/18/2020

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Submit a physical sample of the stained vertical siding for DRB review and approval.

### ***MISC COMMENTS/QUESTIONS***

The project received Final DRB approval on Jan. 28<sup>th</sup> of this year. It is back as part of the conditions of that Approval. See NOA in documents file.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: WILLIAM GOLDSMITH Company: GATOR NORTH RIDGE PARTNERS, LLLP  
 Mailing Address: 7850 NW 146<sup>th</sup> ST., 4<sup>th</sup> FLR City: MIAMI LAKES State: FL Zip: 33016  
 Telephone: 305-949-9049 Fax: 305-948-6478 E-mail: BILLG@GATORINV.COM  
 Project Name: NORTH RIDGE PLAZA SITE IMPROVEMENTS Project Address: 435 WILLIAM HILTON PKWY, HILTON HEAD, SC.  
 Parcel Number [PIN]: R511 008 000 0345 0000  
 Zoning District: CC Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant. LOA (LANDOWNER ASSOCIATION), CBL PERIPHERAL PROPERTIES, HAS BEEN DISSOLVED. SEE ATTACHED DOCUMENT FROM SOUTH CAROLINA SECRETARY OF STATE.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

\_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

\_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

\_\_\_\_\_ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

\_\_\_\_\_ Context photographs of neighboring uses and architectural styles.

\_\_\_\_\_ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

\_\_\_\_\_ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3. *ATTACHED*
- Final site development plan meeting the requirements of Appendix D: D-6.F. *SEE EXHIBIT C*
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I. *SEE EXHIBIT C AND D*
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project. *SEE EXHIBIT A*
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- N/A*  Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

*GATEWAY MANAGEMENT PARTNERS LTD*  
 By *[Signature]*  
 SIGNATURE *William Gustafson, VP*

*6-27-19*  
 DATE



# Business Entities Online

File, Search, and Retrieve Documents Electronically

---

## CBL PERIPHERAL PROPERTIES LIMITED PARTNERSHIP

### Corporate Information

**Entity Type:** Limited Partnership

**Status:** Dissolved

**Domestic/Foreign:** Foreign

**Incorporated State:** Tennessee

### Important Dates

**Effective Date:** 09/08/1994

**Expiration Date:** N/A

**Term End Date:** N/A

**Dissolved Date:** 12/21/2017

### Registered Agent

**Agent:** CORPORATION SERVICE COMPANY

**Address:** 1703 LAUREL STREET  
COLUMBIA, South Carolina 29201

### Official Documents On File

Filing Type	Filing Date
Certificate of Cancellation	12/21/2017
Change of Agent or Office	12/06/2007
Change of Agent or Office	02/06/2004
LP Certificate	09/08/1994

## **NARRATIVE**

### **Northridge Plaza Site Improvements and Building Façade Upgrades**

435 William Hilton Parkway, Hilton Head, SC 29926

The project titled Northridge Plaza Site Improvements and Building Façade Upgrades will take place at the Northridge Plaza Shopping Center located at 435 William Hilton Parkway, in Hilton Head South Carolina.

The entire property consists of approximately 10.234 Acres. Site improvements consist of removal of Spaces #14 - #18 and replace with plantings and an Event Lawn, milling and resurfacing existing asphalt surfaces, replace timber curbs with concrete curbs, upgrade existing site / parking lot lighting with LED lighting to be designed and installed in accordance with Town standards by Palmetto Electric, landscaping, tree pruning, and removal of trees identified as hazards in the Tree Inventory report prepared by Bartlett Tree Experts and a site walk with Rocky Browder, Environmental Planner with the town. The combined site improvements of landscaping, lighting and paving will improve exterior lighting conditions creating enhanced view corridors which will improve both appearance and security monitoring opportunities.

Building Façade upgrades are long overdue and will eliminate deteriorating wood canopy conditions, as well as modernize the appearance of the property providing an enhanced experience for vendors, customers and visitors alike. These upgrades include removal of the existing wooden canopy along the shopping center façade, and providing standing seam metal canopies to provide shade, shelter from the elements and an improved appearance for the shopping center. Existing exterior wall surfaces will be re-surfaced with an EIFS (Stucco) system. The overall existing footprint of the shopping center, approximately 79,573 square feet, will be reduced by approximately 14,040 square feet.

We have reviewed town staff recommendations and have:

- Provided a Demolition Plan
- Provide details of the proposed façade and awning additions
- Adjusted the color of the Home Goods and Dollar Tree awnings to be more muted
- Adjusted the stucco color to light an earth tone color
- Removed the stacked stone from the Façade
- Extended the Canopy Along the façade of Home Goods and Dollar Tree

-Adjusted the light source placement so it is not visible in the canopies and adjusted lighting temperature to 3000k

-Reduced the lawn area along Hwy 278

-Noted on the plans existing understory plantings along Mathews Drive are to remain.

-Coordinated with the town hazard trees to be removed and provided mitigation for trees being removed categorized as poor.

**EXHIBIT 'A'**  
NORTHRIDGE PLAZA - ELEVATIONS  
HILTON HEAD, SC - DRB SUBMITTAL



**NORTHRIDGE PLAZA**  
OVERALL  
EXISTING ELEVATION





**NORTHRIDGE PLAZA**  
HOMEGOODS  
EXISTING ELEVATION

**EXHIBIT 'A'**  
NORTHRIDGE PLAZA - ELEVATIONS  
HILTON HEAD, SC - DRB SUBMITTAL



**NORTHRIDGE PLAZA**  
DOLLAR TREE  
EXISTING ELEVATION



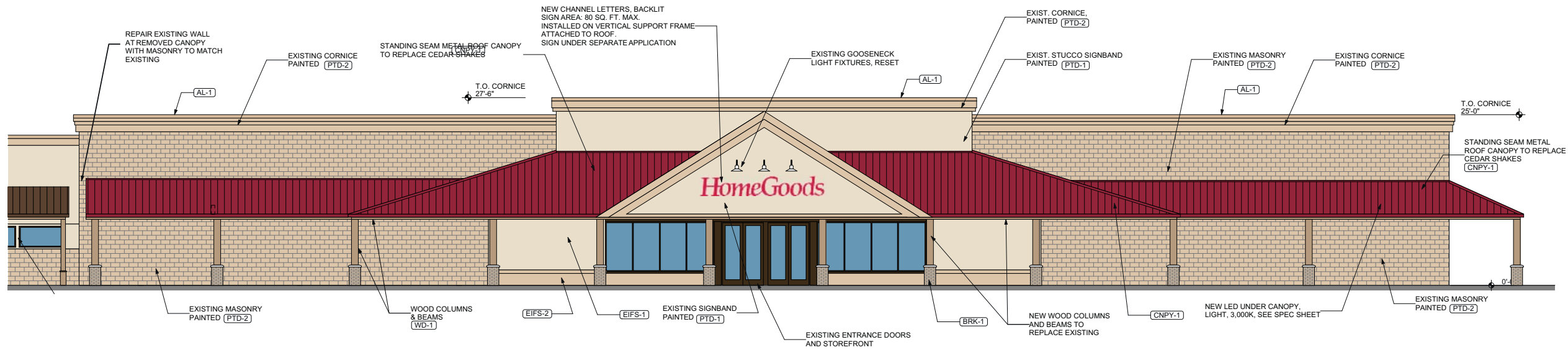


**NORTHRIDGE PLAZA**  
LOCAL TENANTS (TYP.)  
EXISTING ELEVATION



OVERALL FRONT ELEVATION  
NOT TO SCALE



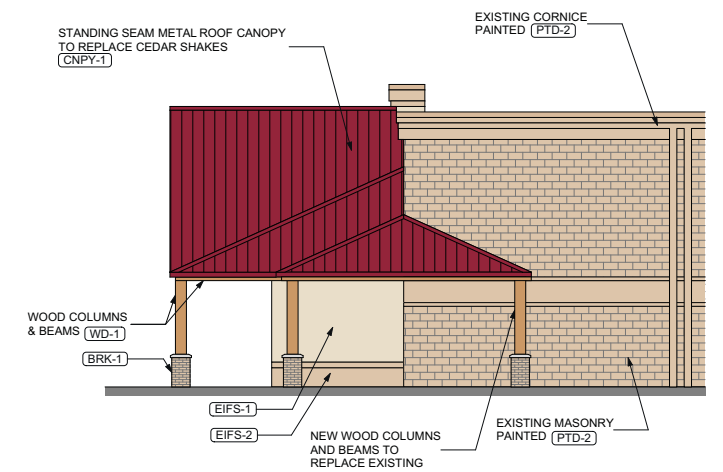


**PROPOSED FRONT ELEVATION A - HOMEGOODS**

SCALE: 1/8" = 1'-0"



**EXISTING**

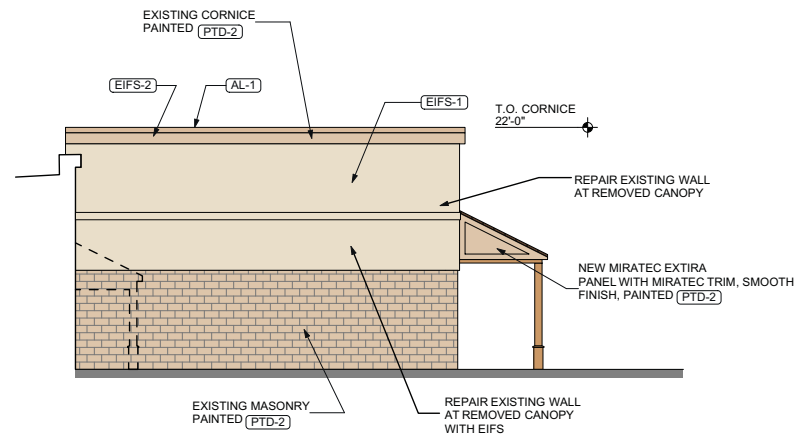


**PROPOSED RIGHT SIDE ELEVATION B**

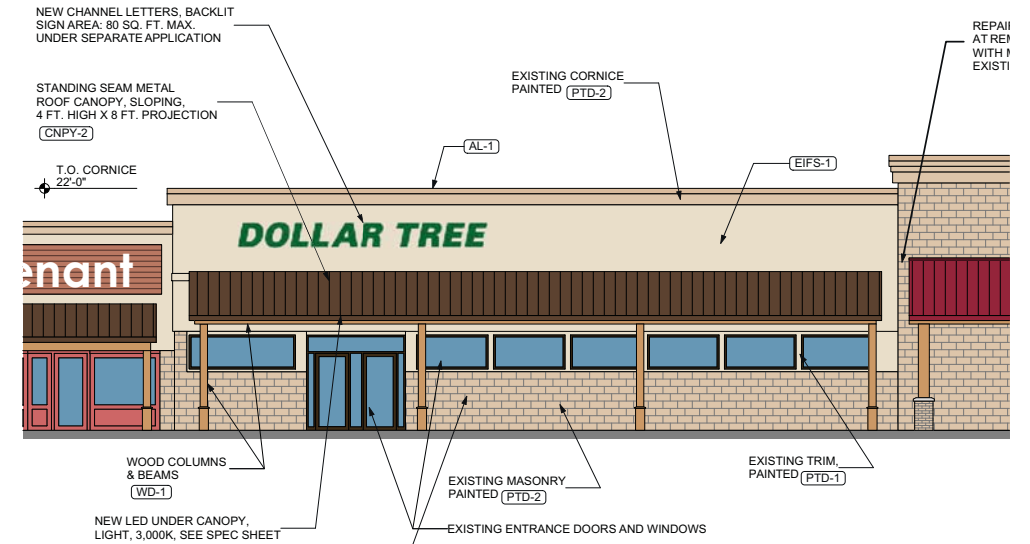
SCALE: 1/8" = 1'-0"

**MATERIALS LIST**

<b>AL-1</b>	<b>ALUMINUM COPING, GUTTERS AND DOWNSPOUTS</b> MANUFACTURER: ATAS MODEL: .040" SMOOTH COLORS: SIERRA TAN, REDWOOD FINISH: PREFINISHED, INCLUDES FLASHING & TRIM	<b>CNPY-1</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK, .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: REDWOOD
<b>BRK-1</b>	<b>FACE BRICK</b> MANUFACTURER: PALMETTO BRICK COLOR: HAMPTON, STANDARD SIZE FINISH: RUNNING BOND PAINTED: PTD-2	<b>CNPY-2</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK, .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: CHOCOLATE BROWN
<b>EIFS-1</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-1	<b>PTD-1</b>	<b>PAINT -1</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7529, SAND BEACH
<b>EIFS-2</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-2	<b>PTD-2</b>	<b>PAINT -2</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7518, BEACH HOUSE
<b>PNL-1</b>	<b>CEMENT BOARD PANEL - WOOD GRAIN</b> MANUFACTURER: NICHIIA MODEL: VANTAGEWOOD COLOR: REDWOOD	<b>PTD-3</b>	<b>PAINT -3</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW2854, CARIBBEAN CORAL
<b>TRIM-1</b>	<b>COMPOSITE PANEL - WOOD GRAIN</b> MANUFACTURER: JELD-WEN MIRATEC MODEL: EXTIRA, SMOOTH SELECT COLOR: PAINTED: PTD-3	<b>WD-1</b>	<b>WOOD -1</b> MANUFACTURER: DOUGLAS FIR WITH OLYMPIC FINISH MODEL: OLYMPIC STAIN + SEALER IN ONE COLOR: RED CEDAR



1 PROPOSED SIDE ELEVATION D - DOLLAR TREE  
SCALE: 1/8" = 1'-0"



1 PROPOSED FRONT ELEVATION C - DOLLAR TREE  
SCALE: 1/8" = 1'-0"



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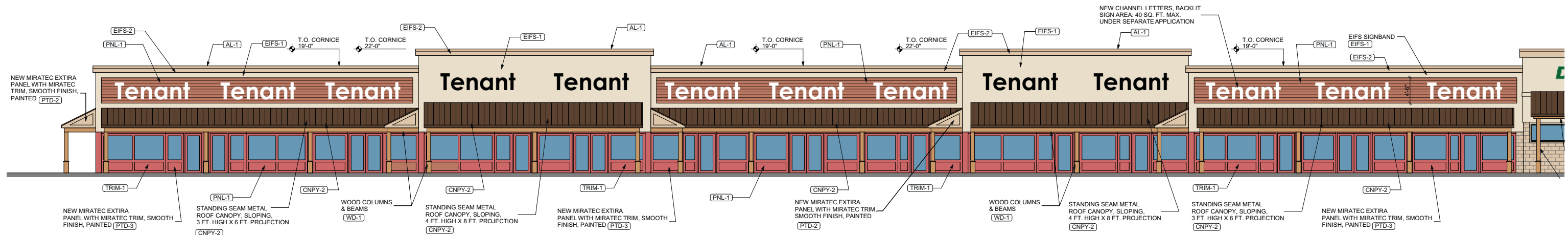


EXISTING

MATERIALS LIST

<b>AL-1</b>	<b>ALUMINUM COPING, GUTTERS AND DOWNSPOUTS</b> MANUFACTURER: ATAS MODEL: .040" SMOOTH COLORS: SIERRA TAN, REDWOOD FINISH: PREFINISHED, INCLUDES FLASHING & TRIM	<b>CNPY-1</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK, .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: REDWOOD
<b>BRK-1</b>	<b>FACE BRICK</b> MANUFACTURER: PALMETTO BRICK COLOR: HAMPTON, STANDARD SIZE FINISH: RUNNING BOND PAINTED: PTD-2	<b>CNPY-2</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK, .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: CHOCOLATE BROWN
<b>EIFS-1</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-1	<b>PTD-1</b>	<b>PAINT -1</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7529, SAND BEACH
<b>EIFS-2</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-2	<b>PTD-2</b>	<b>PAINT -2</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7518, BEACH HOUSE
<b>PNL-1</b>	<b>CEMENT BOARD PANEL - WOOD GRAIN</b> MANUFACTURER: NICHHA MODEL: VANTAGEWOOD COLOR: REDWOOD	<b>PTD-3</b>	<b>PAINT -3</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW2854, CARIBBEAN CORAL
<b>TRIM-1</b>	<b>COMPOSITE PANEL - WOOD GRAIN</b> MANUFACTURER: JELD-WEN MIRATEC MODEL: EXTRA, SMOOTH SELECT COLOR: PAINTED: PTD-3	<b>WD-1</b>	<b>WOOD -1</b> MANUFACTURER: DOUGLAS FIR WITH OLYMPIC FINISH MODEL: OLYMPIC STAIN + SEALER IN ONE COLOR: RED CEDAR





FRONT ELEVATION E - VILLAGE SHOPS, SOUTH

SCALE: 1/8" = 1'-0"



EXISTING



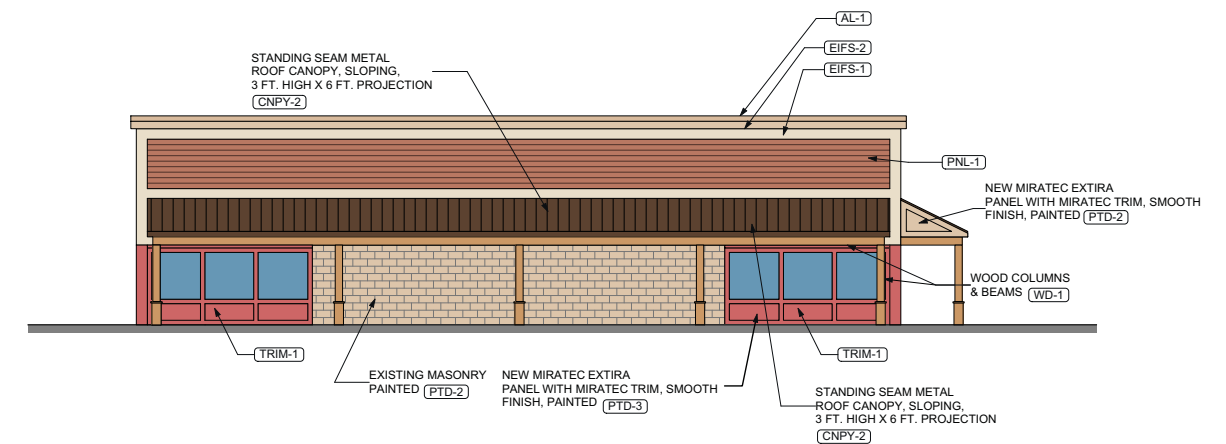
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**MATERIALS LIST**

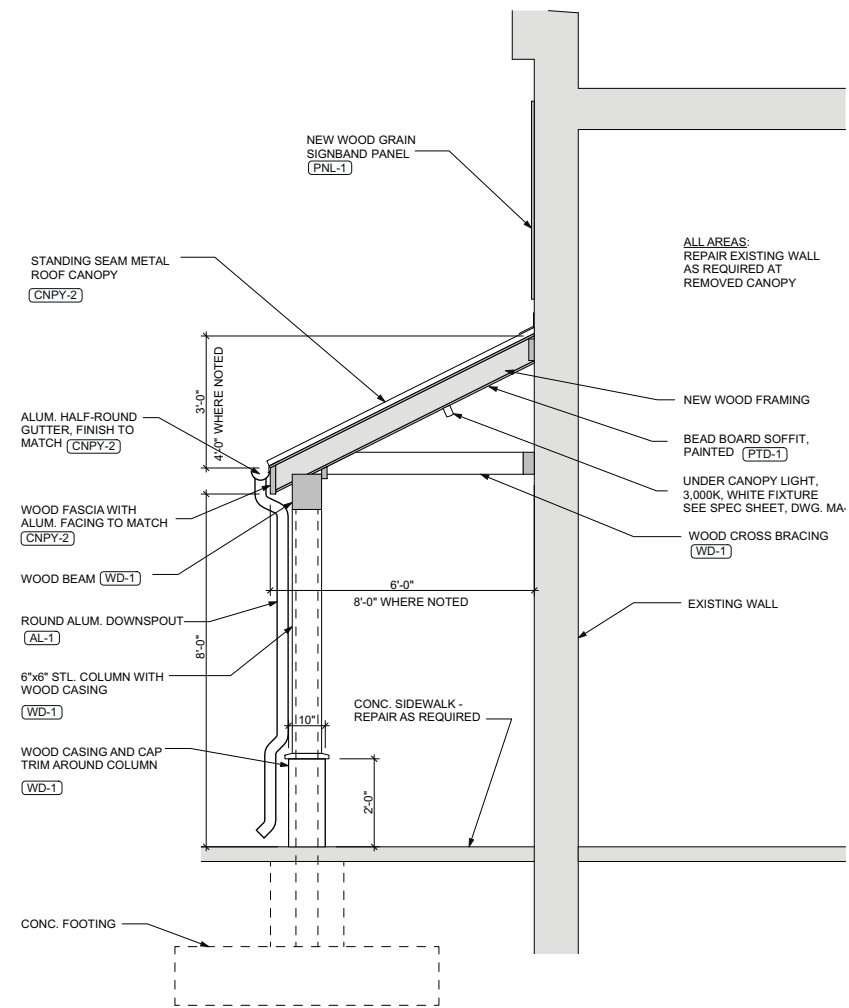
<b>AL-1</b>	<b>ALUMINUM COPING, GUTTERS AND DOWNSPOUTS</b> MANUFACTURER: ATAS MODEL: 040" SMOOTH COLORS: SIERRA TAN, REDWOOD FINISH: PREFINISHED, INCLUDES FLASHING & TRIM	<b>CNPY-1</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: REDWOOD
<b>BRK-1</b>	<b>FACE BRICK</b> MANUFACTURER: PALMETTO BRICK COLOR: HAMPTON, STANDARD SIZE FINISH: RUNNING BOND PAINTED: PTD-2	<b>CNPY-2</b>	<b>STANDING SEAM METAL ROOF CANOPY</b> MANUFACTURER: ATAS MODEL: 1" FIELD-LOK .032" SMOOTH ALUMINUM, 13.5" COVERAGE COLOR: CHOCOLATE BROWN
<b>EIFS-1</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-1	<b>PTD-1</b>	<b>PAINT -1</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7529, SAND BEACH
<b>EIFS-2</b>	<b>EXTERIOR INSULATION FINISH SYSTEM (EIFS)</b> MANUFACTURER: DRYVIT COLOR: OUTSULATION MD, WATER-MANAGED FINISH: WEATHERLASTIC SMOOTH, COLOR TO MATCH PTD-2	<b>PTD-2</b>	<b>PAINT -2</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7518, BEACH HOUSE
<b>PNL-1</b>	<b>CEMENT BOARD PANEL - WOOD GRAIN</b> MANUFACTURER: NICHHA MODEL: VANTAGEWOOD COLOR: REDWOOD	<b>PTD-3</b>	<b>PAINT -3</b> MANUFACTURER: SHERWIN WILLIAMS COLOR: SW2854, CARIBBEAN CORAL
<b>TRIM-1</b>	<b>COMPOSITE PANEL - WOOD GRAIN</b> MANUFACTURER: JELD-WEN MIRATEC MODEL: EXTIRA, SMOOTH SELECT COLOR: PAINTED: PTD-3	<b>WD-1</b>	<b>WOOD -1</b> MANUFACTURER: DOUGLAS FIR WITH OLYMPIC FINISH MODEL: OLYMPIC STAIN + SEALER IN ONE COLOR: RED CEDAR



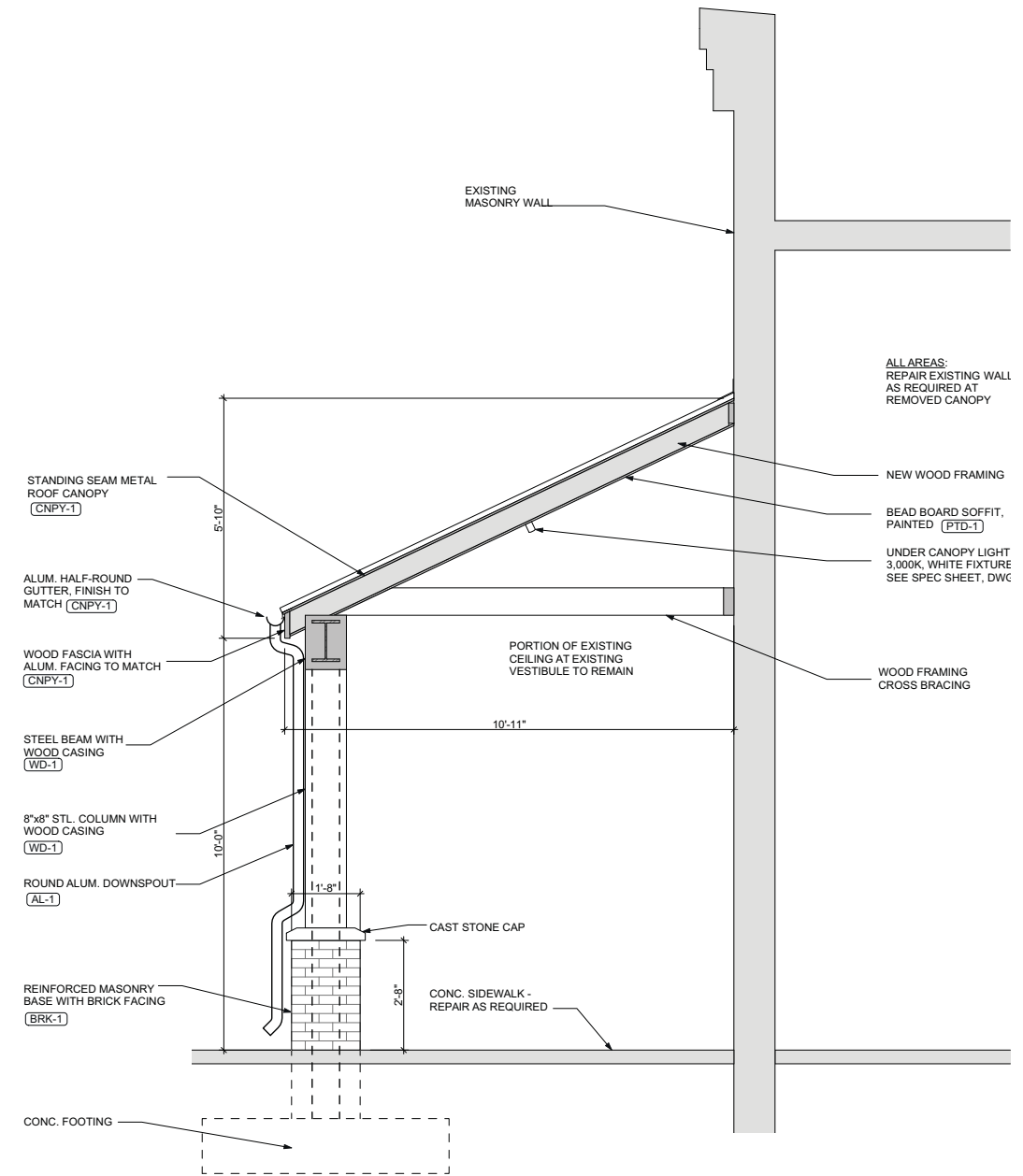
COURTYARD ELEVATION F - VILLAGE SHOPS, SOUTH

SCALE: 1/8" = 1'-0"

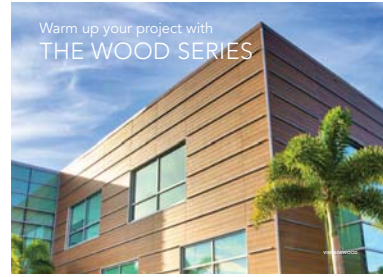




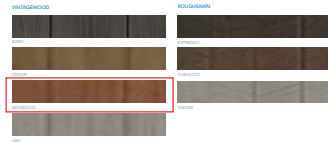
**CANOPY SECTION - VILLAGE SHOPS**  
SCALE: 1/2" = 1'-0"



**CANOPY SECTION - HOMEGOODS**  
SCALE: 1/2" = 1'-0"



Warm up your project with  
**THE WOOD SERIES**



WOODGRAIN SPEC	AMP 100	AMP 100
DIMENSIONS (ACTUAL MM)	12 1/8" x 11 1/8" x 1/4"	12 1/8" x 11 1/8" x 1/4"
DIMENSIONS (ACTUAL IN)	308.14 x 283.47 x 6.35	308.14 x 283.47 x 6.35
THICKNESS (ACTUAL MM)	2.0	2.0
THICKNESS (ACTUAL IN)	0.0787	0.0787
WEIGHT (GAL. PER PANEL)	34.4	37.3
WEIGHT (LBS. PER PANEL)	0.76	0.83
WEIGHT (LBS. PER SQ. FT.)	0.02	0.02
WEIGHT (KG. PER SQ. M.)	0.08	0.08
WEIGHT (CONCRETE SQ. FT. PER PANEL)	148.50 SQ. FT.	160.50 SQ. FT.
WEIGHT (CONCRETE SQ. M. PER PANEL)	1.60 SQ. M.	1.74 SQ. M.
FINISHING (PER PANEL)	2.07 LBS. (0.94 KG.)	2.25 LBS. (1.02 KG.)

Get the natural look of wood with the unmatched durability of fiber cement.

Niche provides the look of wood without the drawbacks of natural wood sheding. Built for use with vinyl and wood-grain panels, Niche provides color stability and withstanding exterior weather elements. Vinyl-grain panels resist moisture and stains while wood-grain panels resist staining and staining. Niche is available in a variety of colors and finishes. Both products are available in glass, metal and block panels, adding a touch of warmth to the exterior of these materials.

Vinyl-grain and Rough-Grain are available as they are available. Our Wood Series panels can install both vertically and horizontally and can be used in interior and exterior settings. Niche System provides a clean and beautiful look. Choosing the perfect finish, including glass, gives you the beauty of wood backed by the strength of fiber cement.

WOODGRAIN SPEC	AMP 100	AMP 100
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MIRATEC by JELD-WEN | EXTIRA by JELD-WEN



**EXTIRA PANELS ARE ENGINEERED FOR OUTDOOR USE**

Made with the same proprietary TEC™ process used to make MiraTEC, Extira is a revolutionary product for exterior applications that performs better than wood or MDF. Extira panels may look like MDF, but they don't perform like it. Different ingredients and a patented and proprietary manufacturing process lead to a superior performance.

Extira is easy to work with, can be carved, routed and machined. Resists moisture, rot, and termites. Twice as strong as MDF. Extira is made to be used outside.

Plus, Extira panels are covered by an industry-leading 10-year limited warranty that far exceeds competitive panel products. Download the warranty for complete details.

- Extira Warranty: English
- Extira Warranty: Spanish
- Extira Warranty: French

Acrobat Reader is needed to view PDF files. Click here to download a free copy of Acrobat Reader.

**EXTIRA PANELS SIZE RANGE**

With Five Thicknesses and Three Panel Sizes, Extira Measures Up to Any Project

THICKNESS OPTIONS (N=0.005")	Panel Size	1 1/8"	1 1/2"	5/8"	1 1/8"	3/4"	1"	1 1/4"
Panel Size	4' x 8' (48" x 96")							
	4' x 10' (48" x 120")							
	7' x 10' (84" x 126")							

MIRATEC by JELD-WEN | EXTIRA by JELD-WEN

**MIRATEC SMOOTH SELECT**



MiraTEC Smooth Select builds on the solid TEC™ process to deliver a ultra-smooth exterior trim. The nearly-square corners add a contemporary feel that looks like PVC, but at more affordable price point. MiraTEC Smooth Select is ready to take on any color your project needs, even popular dark colors that show cracking due to expansion and contraction when applied to PVC.

Made from the patented TEC™ process, MiraTEC Treated Exterior Composite trim combines the eye-catching beauty of authentic woodgrain with the long-lasting performance of an engineered product. Because it is not hardwood, MiraTEC trim will not delaminate, is moisture, rot and termite resistant and is backed by a 10-year limited warranty.

MiraTEC Treated Exterior Composite Trim is the first and only wood composite trim to earn an Evaluation report from ICC Evaluation Service (ICC-ES). To view ESR-3343, visit the ICC website at: [http://www.icc-es.org/reports/pdf\\_files/ICC-ES/ESR-3343.pdf](http://www.icc-es.org/reports/pdf_files/ICC-ES/ESR-3343.pdf)

Competitive and long-term performance testing shows MiraTEC resists moisture, rot and termites and outperforms the competition in several key areas:

- Moisture resistant: As measured by ASTM D1337 for water absorption and thickness swelling
- Rot resistant: Tested per ASTM E15 Field Test for Evaluation of Wood Preservatives to be Used Out of Group Contact: Horizontal Lap-Joint Method
- Termite resistant: As measured by AWPA E7 Standard Methods of Evaluating Wood Preservatives by Field Tests with Stakes.



**PNL-1 NICHIIA PANEL**

**TRIM-1 COMPOSITE TRIM AND PANEL**

**24V Continuum™ Outdoor**

CAT: \_\_\_\_\_ FEET: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_



Continuum™ Outdoor LED rigid cover fixture represents the latest in high-quality linear LED cover lighting from Troli Lighting. This simple yet elegant, low-profile luminaire delivers up to 34 lumens per foot of white light, or in RGB at an affordable price. Continuum™ outdoor LED rigid cover fixture is designed to replace traditional cover lighting sources for wall and ceiling glow effects, wall washing, and indirect lighting from a single cover. Multiple color temperatures, power levels, RGB, and lengths afford an abundance of design options.

- Features**
- Surface-mounted linkable linear strip fixture
  - Troli Flexible LED PCB engine inside
  - Heavy-gauge extruded aluminum
  - Lumens ranging from 172 to 343
  - Available in manufactured continuous lengths up to 8'
  - Off-Set electrical connection system allows for seamless connection
  - Pro® "heavy mount" mounting brackets included
  - 90+ CRI available
  - UL Wet Listed

**Mounting**  
This unit features factory attached swivel mounting brackets. Attach multiple fixtures with water-tight interconnection system.

- Applications**
- Ideal for direct or indirect cover and architectural applications.
  - Replace fluorescent lighting with high efficiency LEDs or as a new construction element.
  - Use for indoor or outdoor applications.

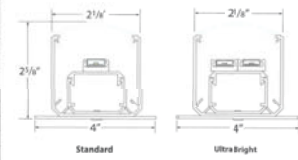
**Warranty**  
5 years



**Technical Information**

Model	White		RGB	
	Standard	Ultra Bright	Standard	Ultra Bright
Lumens/ft	172	343	N/A	N/A
Watts/ft	4.81	9.62	4.7	9.4
Lumens/Watt	36	36	N/A	N/A
CR	>87/TP 98	N/A	N/A	N/A
Kelvin Temp	2400K (4,500K, 2700K (3,500K, 3000K (4,750K, 5000K (5,750K, 6000K (6,750K)			
Rated Life	50,000 hrs			
Max run length	20'	30'	20'	12'
Ordering Increment	1', 2', 4', 6', 8', 12'			
Operating Voltage	24V DC			
Power Supply	Class 2			
Dimming	Yes			

**Profile Dimensions**



**1" FIELD-LOK™**



**SKU:**  
FLL135, FLL175, FLL217, FLL999

**Material:**  
.032, .040 aluminum;  
24, 22 ga. metallic coated steel;  
24 ga. 55% Al-Zn alloy coated steel with acrylic coating;  
16, 20 oz. copper\*;  
7 mm zinc\*;  
.0197 classic & terre coated stainless steel\*

**Panel Coverage:**  
13 1/4", 17 1/4", 21 1/4", Custom widths available  
(Plank ribs standard, specify without)

**Minimum Panel Length:**  
4'-0"

**Seam Height:**  
1"

**Available:**  
Tapered, Curved (Concave)

**Texture:**  
Smooth

**Minimum Slope:**  
2:12 depending on climate conditions

- Application:**
- Applications include commercial roofs, to be installed on a solid deck (plywood/metal), and curved panel systems over entrances and walkways
  - Concealed fastener system
  - Eave notching is available for drip edge engagement

- Performance Standards:**
- Tested in accordance with UL 580, UL 1897, UL 790/ASTM E 108, UL 2218

For more information: Visit [www.atas.com/11](http://www.atas.com/11)

800.468.1441 | 13

**FASCIA & COPING**

**Drip Edge Fascia**  
ATAZ Drip Edge system includes a continuous 22 ga steel cleat with roof flange for water installation and proper location, and is pre-punched with drilled fastener holes. The Drip Edge, which has a standard 6" roof flange, is available in a wide variety of materials, gauges and colors. ATAZ Drip Edge is provided in 12' lengths, with interior splice plates, and required ring shank nails for a quick and easy installation. ATAZ Drip Edge has been tested per ESR 1 as required by International Building Code for low-slope perimeter edge systems.

**Edge-Lok 2 Fascia**  
Edge-Lok 2 is a three piece fascia system designed for EPDM, PVC and other flexible single-ply membrane roof systems. It includes a continuous 24 ga steel spring cleat that is pre-punched with drilled fastener holes for quick and proper installation, and a snap-on cover that is available in a wide variety of materials, gauges and colors. ATAZ Edge-Lok 2 is provided in 12' lengths, with interior splice plates, and required ring shank nails. Edge-Lok 2 has a 20 year 120 high windstorm warranty, and has been tested per ESR 1 as required by International Building Code for low-slope perimeter edge systems.

**Edge-Lok 3 Fascia**  
Edge-Lok 3 is a three piece fascia system designed for Modified Bit (MR) roof systems, but is also suited for heavy or stiff single-ply membrane systems. It includes a continuous 22 ga steel cleat and 24 ga steel cap that are pre-punched with drilled fastener holes for proper installation, and a snap-on cover that is available in a wide variety of materials, gauges and colors. Edge-Lok 3 is provided in 12' lengths, with interior splice plates, and required nails to complete the system. The three piece design accommodates block and membranes while still allowing for thermal movement of both the fascia and roof system. Edge-Lok 3 has a 20 year 120 high windstorm warranty, and has been tested per ESR 1 as required by International Building Code for low-slope perimeter edge systems.

**Rapid-Lok Fascia**  
Rapid-Lok is ATAZ's best fascia system designed to quickly install on a completely membrane roof system without the need for strip or heat welding. It features a heavy 22 ga continuous extruded aluminum extrusion with drilled fastener holes, and a snap-on cover that is available in a wide variety of materials, gauges and colors. Rapid-Lok is provided in 12' lengths, with interior splice plates, and required ring shank nails. Rapid-Lok has a 20 year 120 high windstorm warranty, and has been tested per ESR 1 as required by International Building Code for low-slope perimeter edge systems.

**WATER CONTROL AND SUPPLEMENTAL EDGE SYSTEMS**

**Commercial Gutter**  
ATAZ Commercial Gutters are fabricated in several styles and sized to meet your project's needs. Available in a wide variety of materials, gauges and colors the gutter is supplied in standard 12' lengths, and custom lengths up to 48' (0' minimum joints). The interior gutter straps are easy to install and provide a clean exterior appearance. Optional external brackets, color matched to the gutter, are also available.

**Ultra HP Gutter**  
Ultra HP Gutter has been designed to resist high winds and tested per ANSI/APSP DSD 1 to prove its performance. Ultra HP Gutter is available in several styles and sizes of which feature ATAZ HP (High Performance) gutter bracket and strap for superior wind resistance. Available in a wide variety of materials, gauges and colors the Ultra HP Gutter is supplied in standard 12' lengths, and custom lengths up to 48' (0' minimum joints).

**Downspout**  
ATAZ downspouts are offered in several sizes to meet your water control needs, and are available in a wide variety of materials, gauges and colors to enhance the appearance of your project. Downspout straps, collector boxes, outlet tubes, and elbows are available for a complete professional installation.

**Seamless and Collector Boxes**  
ATAZ Seamless and Collector Boxes are made to order in either standard or custom design to meet your project's needs. The components are fabricated and formed using CNC equipment for precise uniform pieces that are then riveted and welded for quick economical support and collector boxes, or factory welded and post-painted for a smooth clean appearance.

ATAZ International, Inc. Sustainable Building Envelope Technology 800.468.1441

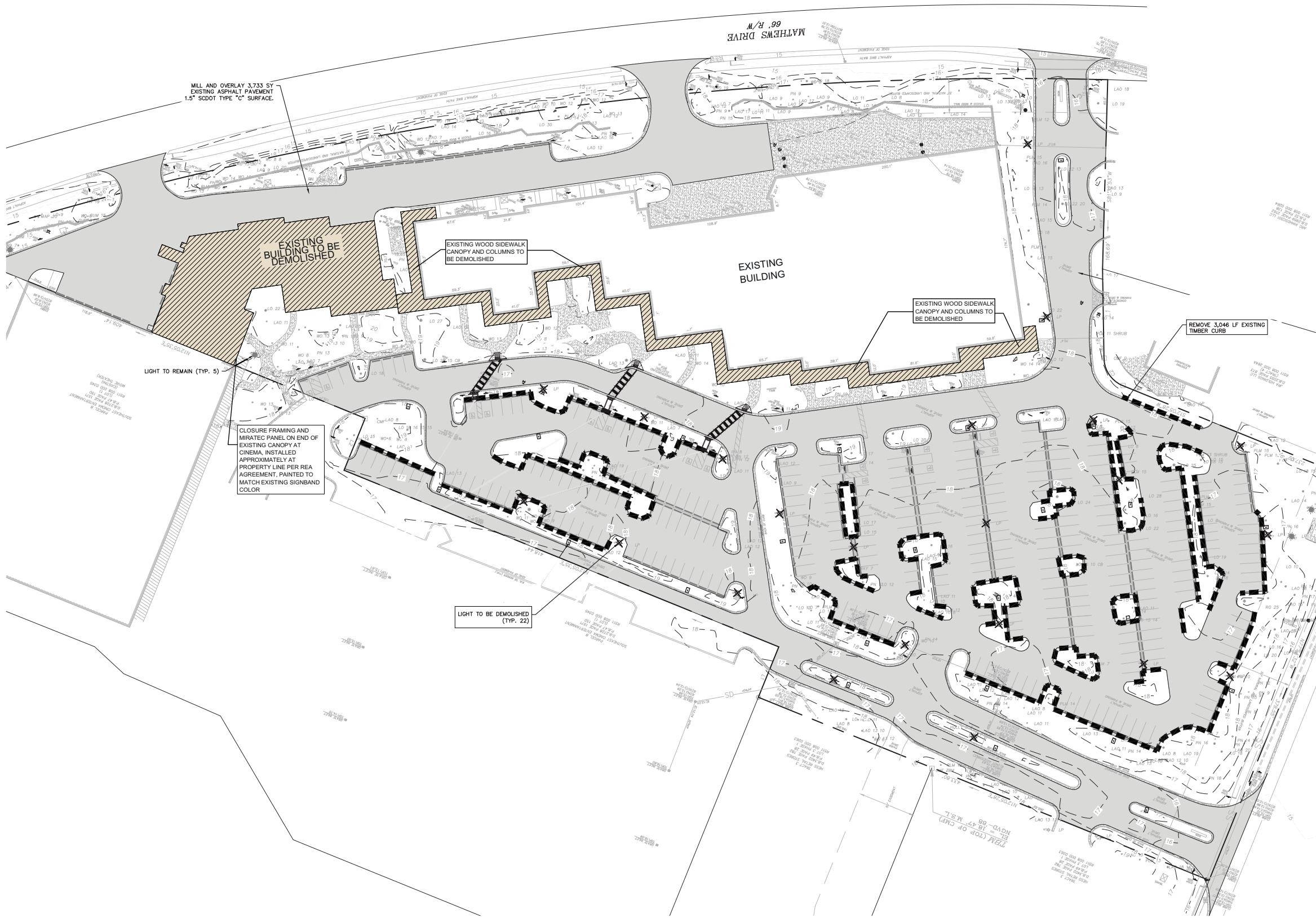
www.ataz.com Sustainable Building Envelope Technology ATAZ International, Inc.

**UNDER CANOPY LIGHTING**

**CANOPY-1, CANOPY-2 ATAS METAL ROOF**

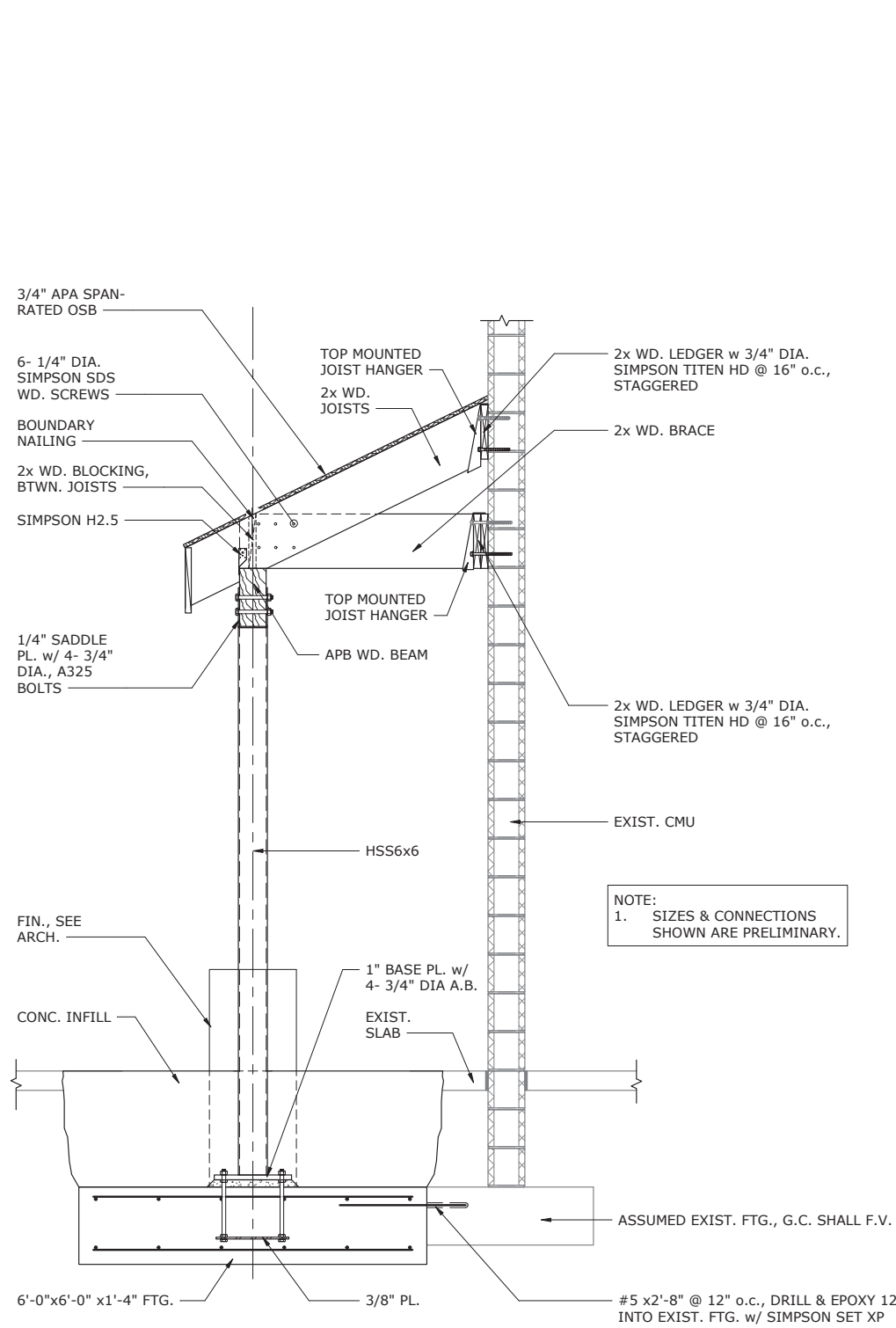
**ALUMINUM TRIM, GUTTERS, DOWNSPOUTS**





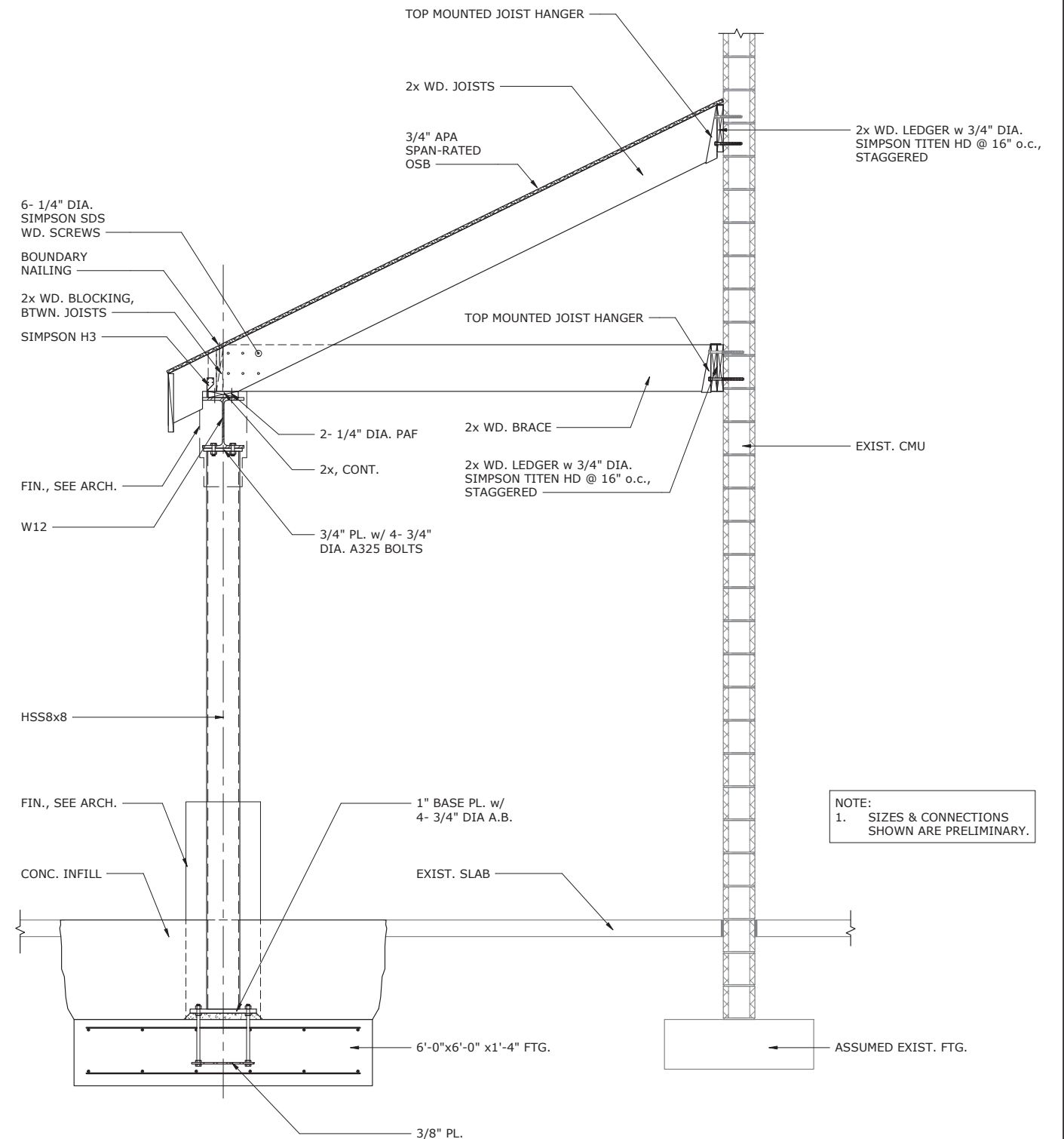
DEMOLITION SITE PLAN  
NOT TO SCALE





**PRELIMINARY CANOPY FRAMING-  
WOOD**

② SCALE: 3/4" = 1'-0"



**PRELIMINARY CANOPY FRAMING-  
STEEL**

① SCALE: 3/4" = 1'-0"

NOTE:  
1. SIZES & CONNECTIONS SHOWN ARE PRELIMINARY.

NOTE:  
1. SIZES & CONNECTIONS SHOWN ARE PRELIMINARY.



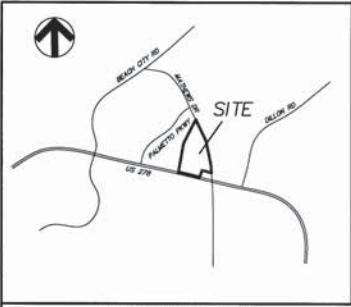
# NORTHRIDGE PLAZA

435 WILLIAM HILTON PARKWAY  
HILTON HEAD, SC

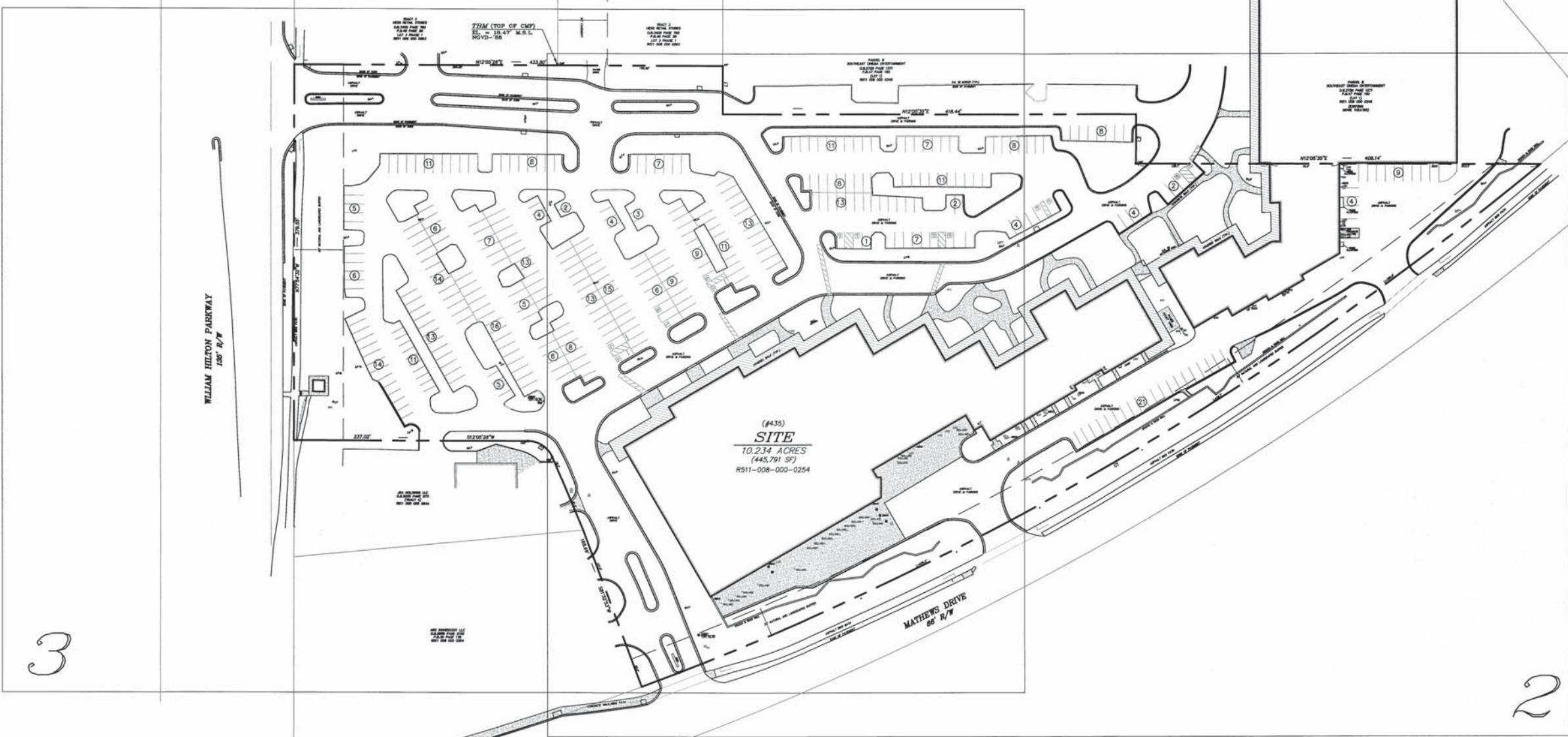
DATE: 10/28/19 SCALE: AS INDICATED ON DRAWING

CANOPY SECTIONS

## SK-1



VICINITY MAP - N.T.S.



3

2

**LEGEND**

BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CMF D	CONCRETE MONUMENT FOUND, DISTURBED
EO	ELECTRICAL OUTLET
FH	FIRE HYDRANT
FL	FIRE LANE
HC	HANDICAP
ICB	IRRIGATION CONTROL BOX
ICV	IRRIGATION CONTROL VALVE
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
LAO	LAUREL OAK
LO	LIVE OAK
MAP	MAPLE
NP	NO PARKING
PLM	PALM
PN	PINE
RO	RED OAK
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE PEDESTAL
TRANS	TRANSFORMER
UCPT	UNDERGROUND PROPANE TANK
WM	WATER METER
WO	WATER OAK
WV	WATER VALVE
-X-	FENCE LINE
-X-	SANITARY SEWER LINE

- NOTES:**
1. THIS LOT LIES IN ZONE "C", NO B.F.E. PER F.I.R.M. PANEL 0009-D, COMMUNITY No. 450250, REVISED:09/29/86.
  2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  3. ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.

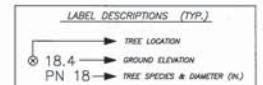
**Parcel Line Table**

L#	Length	Direction
L1	48.49'	S77°54'25"E
L2	50.00'	S77°54'25"E
L3	79.49'	S79°05'28"W

**Curve Table**

C#	ARC	RADIUS	DELTA	DIRECTION	CHORD
C1	1056.72'	3144.04'	19°15'26"	S18°04'52"E	1051.75'
C2	31.57'	27.00'	66°59'18"	S45°35'28"W	29.80'

**REFERENCE PLAT:**  
A PLAT OF PHASE 1, NORTHRIDGE PARK  
CBL & ASSOCIATES  
BY: T-SQUARE LAND SURVEYING  
DATE: 10/21/93



**PARKING**

STANDARD:	372 SPACES
HANDICAP:	14 SPACES

PREPARED FOR: **GATOR INVESTMENTS**

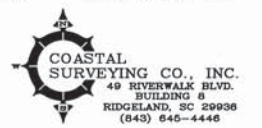
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

*Michael R. Dyer*

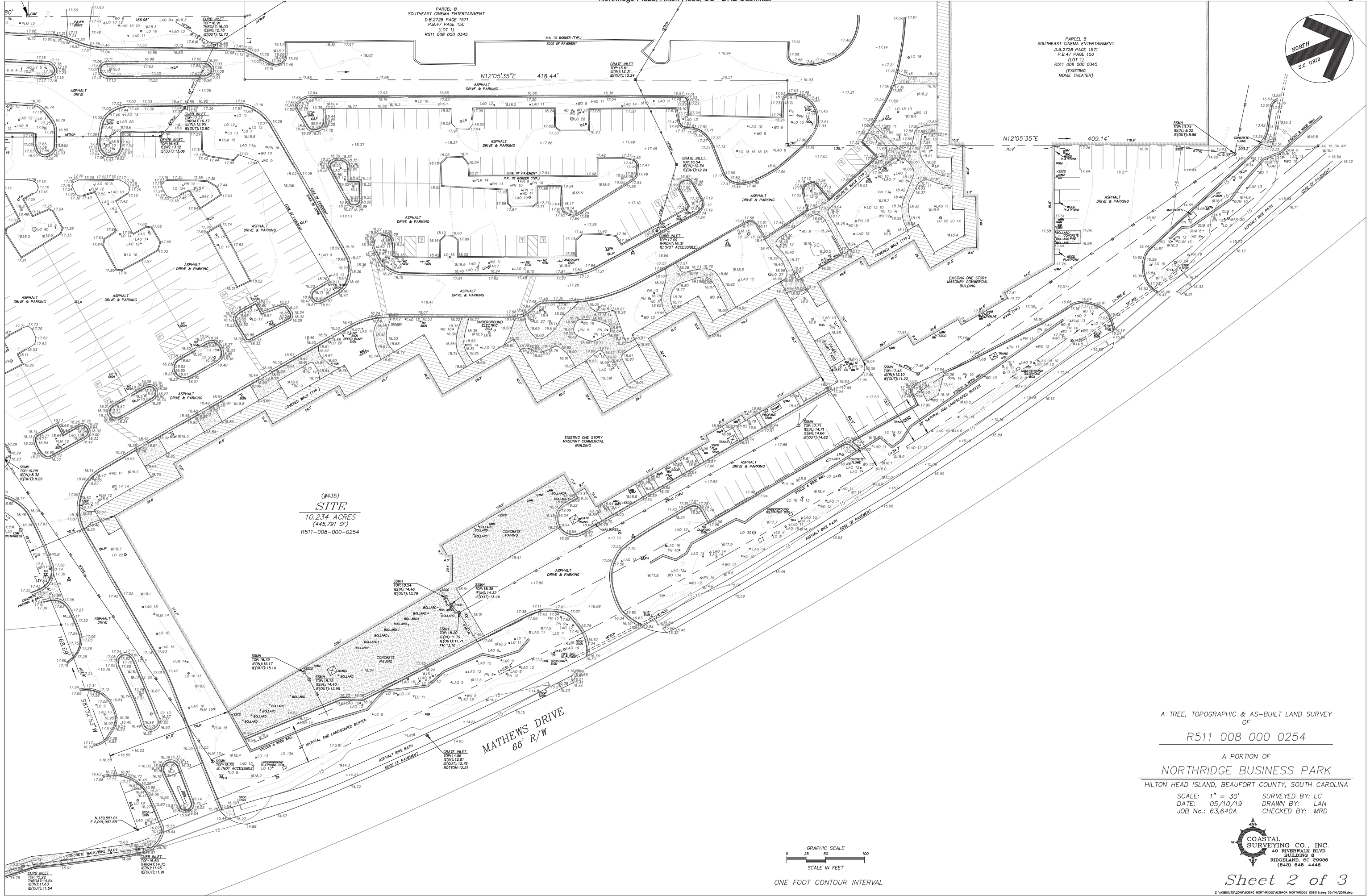
A TREE, TOPOGRAPHIC & AS-BUILT LAND SURVEY  
OF  
**R511 008 000 0254**

A PORTION OF  
**NORTHRIDGE BUSINESS PARK**  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: N.T.S. SURVEYED BY: LC  
DATE: 05/10/19 DRAWN BY: LAN  
JOB No.: 63,640A CHECKED BY: MRD







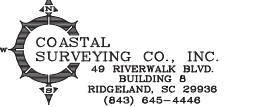
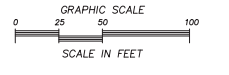
(#435)  
**SITE**  
 10.234 ACRES  
 (445,791 SF)  
 R511-008-000-0254

A TREE, TOPOGRAPHIC & AS-BUILT LAND SURVEY  
 OF  
**R511 008 000 0254**

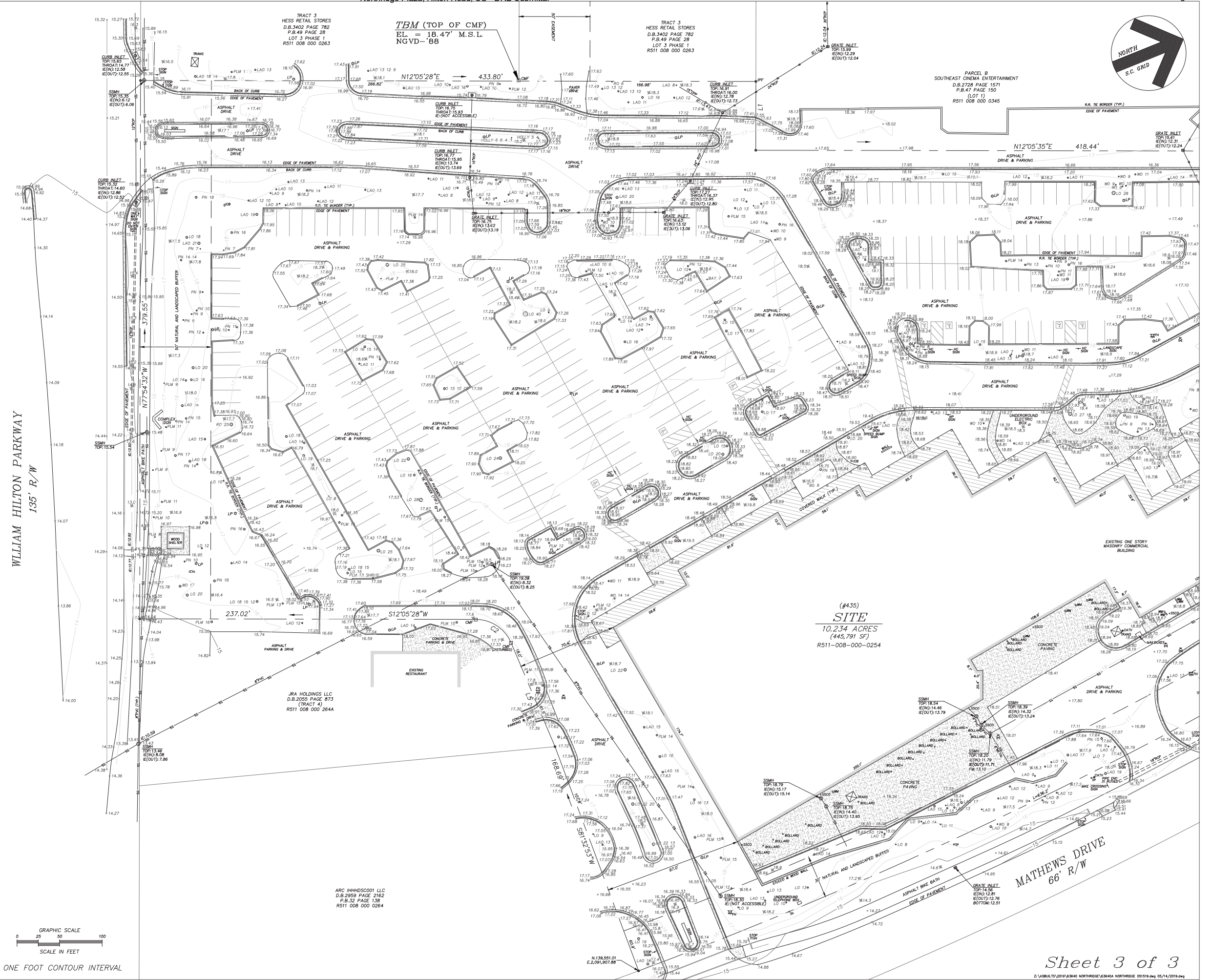
A PORTION OF  
**NORTHDRIDGE BUSINESS PARK**  
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30'  
 DATE: 05/10/19  
 JOB No.: 63,640A

SURVEYED BY: LC  
 DRAWN BY: LAN  
 CHECKED BY: MRD







WILLIAM HILTON PARKWAY  
135' R/W

MATHEWS DRIVE  
66' R/W

(#435)  
SITE  
10.234 ACRES  
(445,791 SF)  
R511-008-000-0254

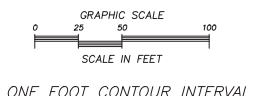
A TREE, TOPOGRAPHIC & AS-BUILT LAND SURVEY  
OF  
R511 008 000 0254

A PORTION OF  
NORTHTRIDGE BUSINESS PARK  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30'  
DATE: 05/10/19  
JOB No.: 63,640A

SURVEYED BY: LC  
DRAWN BY: LAN  
CHECKED BY: MRD

ARC HHHHSC001 LLC  
D.B.2959 PAGE 2162  
P.B.32 PAGE 136  
R511 008 000 0264

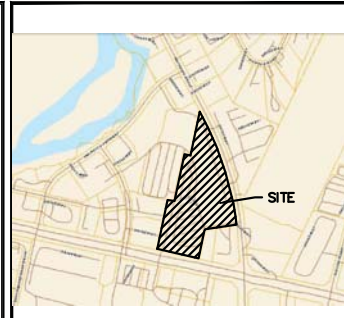






**PAVING HATCH LEGEND**

PROPOSED ASPHALT (MILL & OVERLAY)	
REMOVE TIMBER CURB AND REPLACE WITH CONCRETE CURB	
RESURFACE EXISTING CONCRETE SIDEWALK	
CUT & PATCH ASPHALT INSTALL ELECTRICAL SLEEVES	
EXISTING LIGHT TO BE DEMOLISHED	
NEW LIGHT	

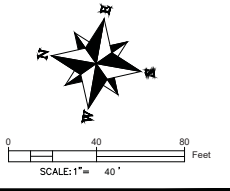


VICINITY MAP  
Not To Scale

**SITE PLAN**  
**NORTHRIDGE PLAZA IMPROVEMENTS**  
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA  
PREPARED FOR:  
**GATOR NORTHRIDGE PARTNERS, LLLP**

- RESURFACING NOTES:**
1. AREAS OF SIGNIFICANT CRACKING OR ROOT DAMAGE SHALL BE FULL-DEPTH CUT & PATCHED PRIOR TO MILL AND OVERLAY OF ASPHALT PAVING.
  2. AFTER ASPHALT RESURFACING, ALL PAVEMENT MARKINGS SHALL BE RESTORED TO CURRENT CONDITION, WITH EXCEPTION OF MARKINGS THAT DO NOT CURRENTLY MEET ADA STANDARDS.
  3. STANDARD PARKING STALL STRIPES SHALL BE 4" WHITE PAINT. 24" STOP BARS & DIRECTIONAL ARROWS SHALL THERMOPLASTIC.
  4. HANDICAP-ACCESSIBLE PARKING SPACES, LOADING ZONES AND CROSSWALKS SHALL BE STRIPED, SIGNED, AND SLOPED IN ACCORDANCE WITH ADA STANDARDS.
  5. SURFACE ELEVATIONS AND DRAINAGE SCHEME SHOULD BE RESTORED TO EXISTING CONDITIONS AFTER ASPHALT RESURFACING. MAINTAIN POSITIVE DRAINAGE TO EXISTING INLETS, FLUMES, AND/OR RECEIVING LANDSCAPE ISLANDS.

DOCUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.  
WARD EDWARDS INC. ASSUMES NO LIABILITY FOR ACCURACY OR DECISIONS MADE BY THE USER BASED UPON INFORMATION CONTAINED HEREIN.

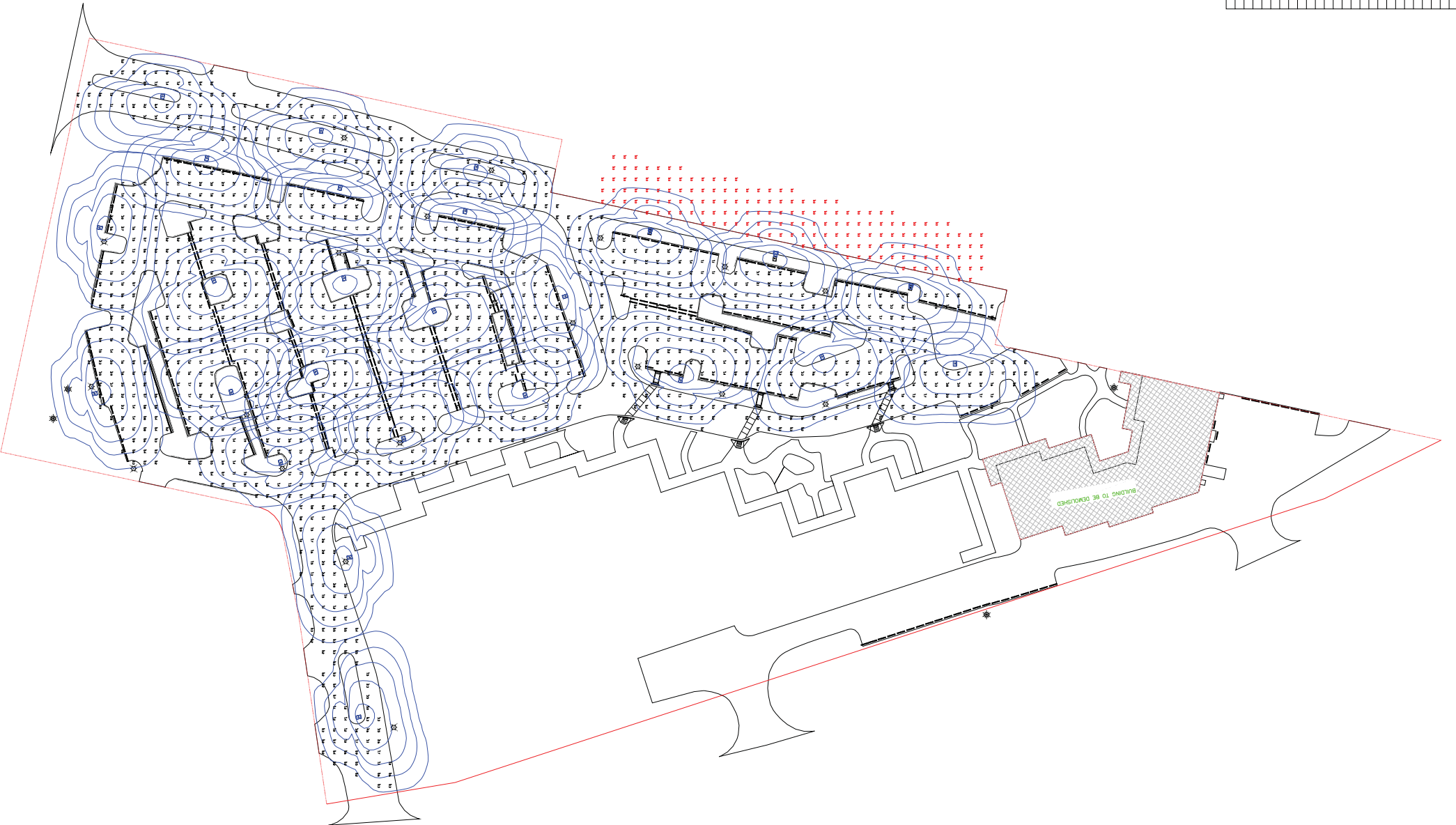
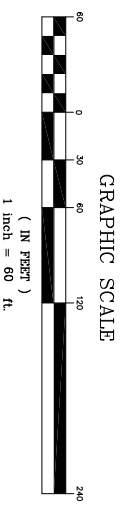


**Ward Edwards**  
**ENGINEERING**  
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910  
PH (843) 837-5250 / FAX (843) 837-2558  
WWW.WARDEDWARDS.COM

PROJECT #:	190235
DATE:	02/03/20
PREPARED BY:	HED
SHEET NUMBER:	1 OF 3

Luminaire Schedule	Qty	Label	Arrangement	SINGLE	Total Lum Lumens	LF	Description	LF	Avg Hm	Max Hm	Avg Wd	Max Wd
20	1	Label	Autobahn	SINGLE	NA	0.720	3000 LED on 29' pole, 20' mounting height	0.720	14.0	8.2	7.0	34.0
Calculation Summary												
Objects									14.0	8.2	7.0	34.0
Shaded Area									100	0.0	0.0	NA

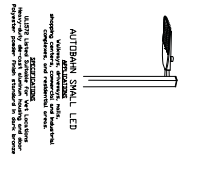
Luminaire Location Summary	X	Y	Z	D-mount	Tot
1	2991811	1394427	20	0	168179
2	2991528	1396662	20	0	20408
3	2991505	1399951	20	0	20408
4	2991327	1394437	20	0	34831
5	2991353	1396433	20	0	32469
6	2991353	1396433	20	0	32469
7	2991542	1397293	20	0	197
8	2991464	1396468	20	0	81503
9	2991464	1396468	20	0	81503
10	2991591	1396263	20	0	192465
11	2991519	1395467	20	0	80704
12	2991602	1395059	20	0	192465
13	2991539	1394265	20	0	192465
14	2991539	1394265	20	0	192465
15	2991390	1393462	20	0	81119
16	2991437	1394463	20	0	192465
17	2991432	1397661	20	0	287453
18	2991392	1394463	20	0	192465
19	2991413	1399544	20	0	351476
20	2991392	1394463	20	0	350074
21	2991302	1395464	20	0	351293
22	2991335	1395464	20	0	350287
23	2991335	1395464	20	0	350287
24	2991830	1395763	20	0	102804
25	2991686	1395728	20	0	289893



**NOTES**

1. ALL LIGHTING FIXTURES TO BE INSTALLED BY THE CONTRACTOR AND AS REQUESTED BY LOCAL GOVERNMENT AGENCIES BY THE DATE OF CONSTRUCTION.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO BE COMPLETED WITH ALL GOVERNING AGENCIES.
3. ANY OBSTRUCTIONS, OR THE INTERFERENCE OF OTHER LIGHTING FIXTURES MAY RESULT IN THE LIGHTING DESIGN BEING MODIFIED FROM THE ORIGINAL DESIGN.
4. THE EXACT LOCATION OF THE LIGHT FIXTURES WILL BE DETERMINED BY THE CONTRACTOR AND SHALL BE SUBJECT TO CHANGE DURING CONSTRUCTION.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF THE LIGHTING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO BE COMPLETED WITH ALL GOVERNING AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND TO BE COMPLETED WITH ALL GOVERNING AGENCIES.



AUTOMOBILE SIGNAL LED  
 1.5' H x 1.5' W  
 1.5' H x 1.5' W  
 1.5' H x 1.5' W  
 1.5' H x 1.5' W

LIGHTING PROPOSAL FOR  
 NORTHBRIDGE PLAZA  
 MATTHEWS DRIVE & WILLIAM HILTON PARKWAY  
 HILTON HEAD ISLAND  
 BEAUFORT COUNTY, SOUTH CAROLINA

DESIGNED BY: T.J.H.  
 CHECKED BY: E.N.G.  
 DRAWN BY: R.B.T.  
 DATE: 2/4/20  
 SCALE: 1" = 60'  
 PROJECT NO.: 1905002L-1  
 MAP NO.: 00000000  
 SHEET NO.: 1 OF 1

REMARKS:



PALMETTO ELECTRIC COOPERATIVE, INC.  
 1 COOPERATIVE WAY  
 HARDESVILLE, SOUTH CAROLINA 29927  
 (843) 208-5551 / FAX (843) 208-5532



**TURF AND GRASSING NOTES:**

- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
- ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
- THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
- FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
- SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

**LIGHTING NOTES:**

- THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
- IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

**PLANTING NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
- MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

**NOTE: EXISTING SPECIMEN TREES (PER TOWN OF HILTON HEAD LMO SEC. 16-6-104.F.1) TO REMAIN SHALL RECEIVE FERTILIZATION AND MYCOR TREATMENT PRIOR TO CONSTRUCTION AND CLEANING ACTIVITIES. PROOF OF WORK TO BE SUBMITTED TO TOWN STAFF. TREE HEALTH WILL BE MONITORED DURING CONSTRUCTION BY LICENSED ARBORIST, AND AN ADDITIONAL FERTILIZATION AND ROOT STIMULATION PROVIDED POST-CONSTRUCTION. ALL EXISTING TREES TO REMAIN SHALL RECEIVE ONE ROUND OF FERTILIZATION AND ROOT STIMULATION POST-CONSTRUCTION AND A MAINTENANCE SCHEDULE GENERATED BY LICENSED ARBORIST FOR HEALTH AND PRESERVATION OF TREES GOING FORWARD.**

**IRRIGATION NOTES:**

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

**NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.I.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 6 CATEGORY I TREES, 6 CATEGORY II TREES, 22 CATEGORY III TREES, AND 1 CATEGORY IV TREE. AT TIME OF PLANTING, THE REPLACEMENT TREES MUST BE 10' HEIGHT AND 2" CALIPER FOR CATEGORY I AND II, AND 6' HEIGHT AND 1" CALIPER FOR CATEGORY III AND IV.**

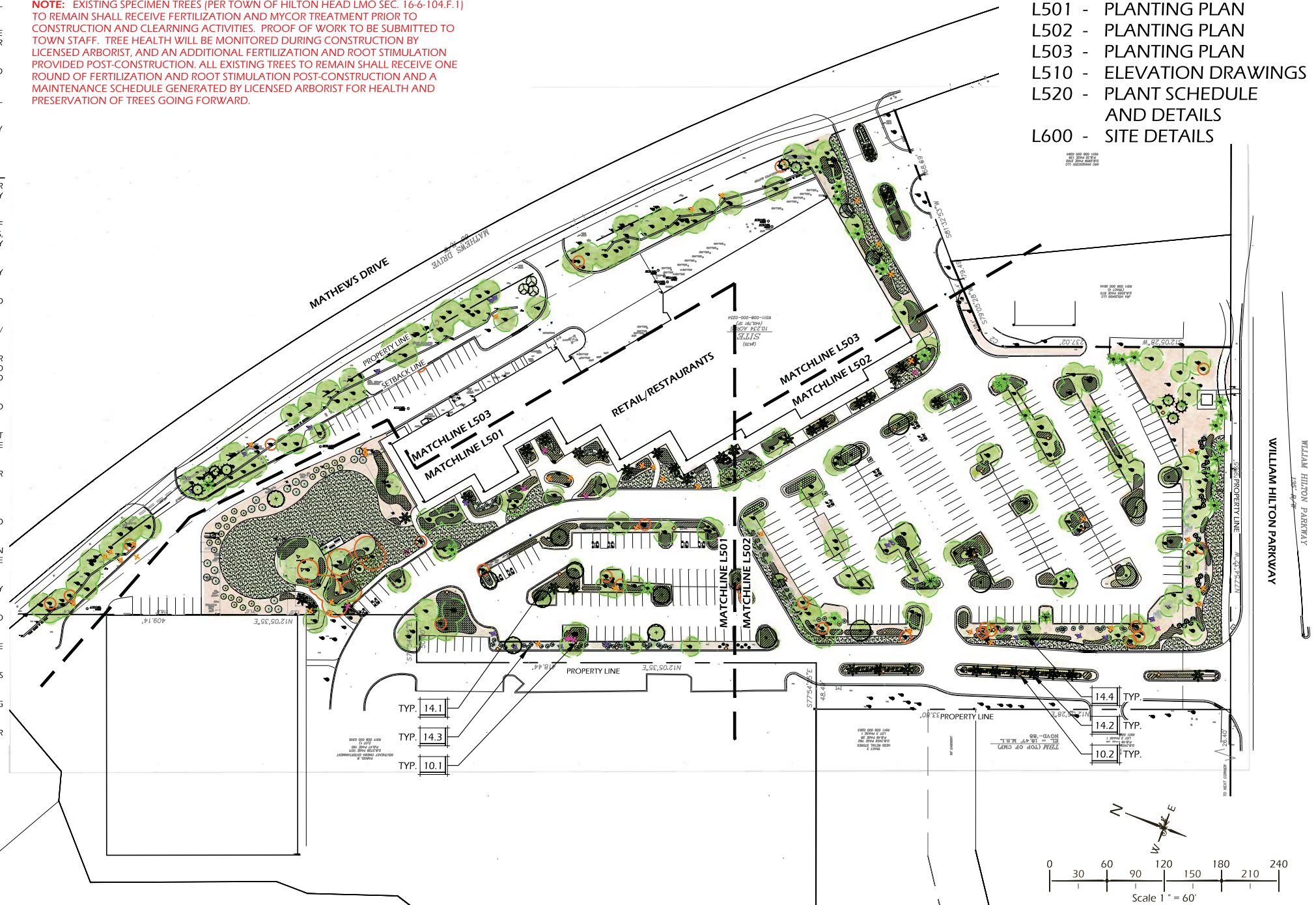
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L520
14.2	PALM TREE PLANTING	2/L520
14.3	SHRUB PLANTING	3/L520
14.4	GROUND COVER PLANTING	4/L520

LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1	▽	12	UP LIGHT	2/L600
10.2	●	25	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.  
\* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

**SHEET INDEX**

- L500 - KEY SHEET AND NOTES
- L501 - PLANTING PLAN
- L502 - PLANTING PLAN
- L503 - PLANTING PLAN
- L510 - ELEVATION DRAWINGS
- L520 - PLANT SCHEDULE AND DETAILS
- L600 - SITE DETAILS



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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS FOR  
**NORTHDRIDGE**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB 06, 2020  
PROJECT NO.: 19083.01  
DRAWN BY: JM  
CHECKED BY: BW/JC

**FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**KEY SHEET AND NOTES**

DRAWING NUMBER  
**L500**



PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		CONCRETE RESURFACING/THIN COAT	1/L600

NOTE: SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

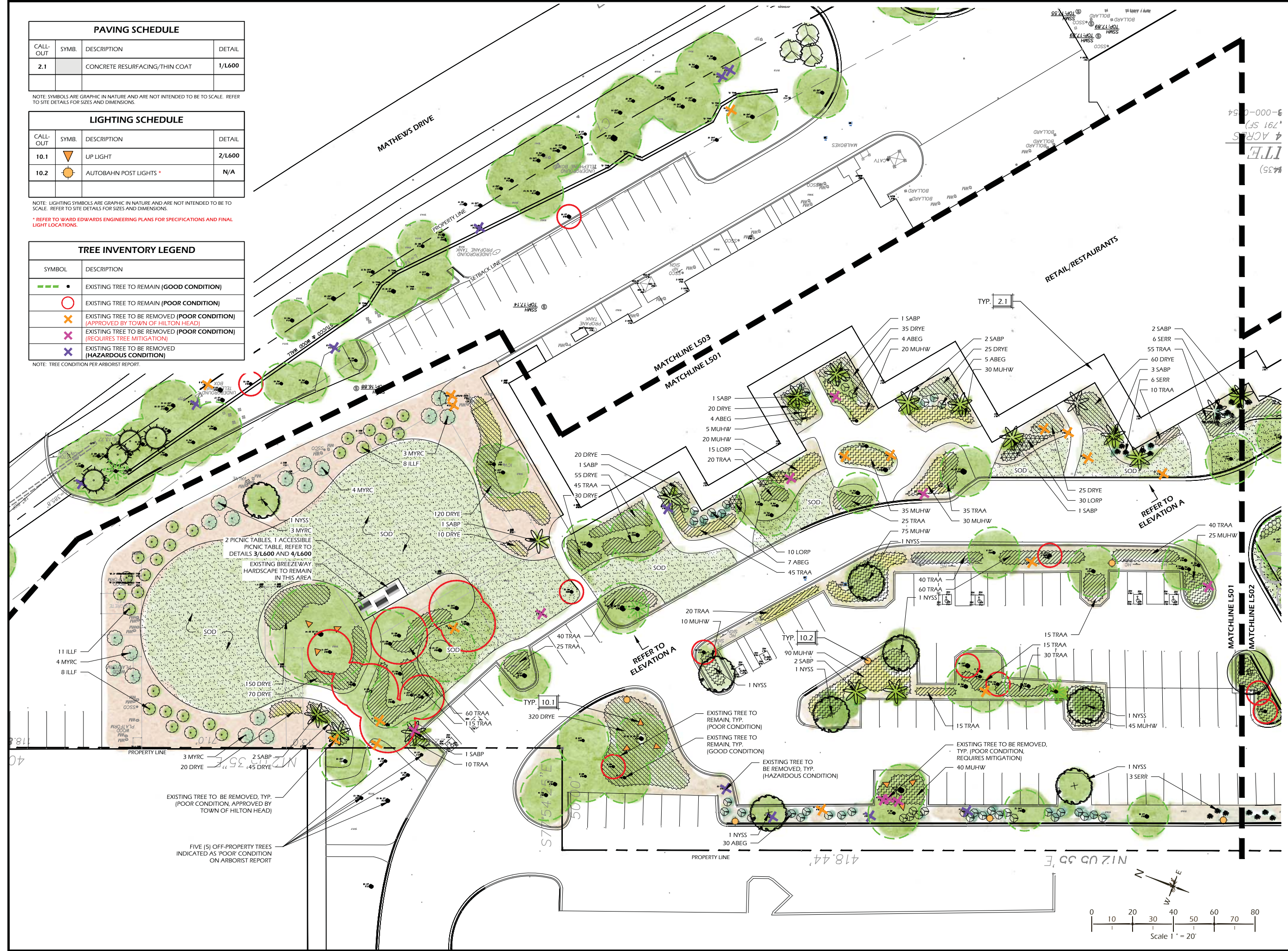
LIGHTING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
10.1	▲	UP LIGHT	2/L600
10.2	●	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

\* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
●	EXISTING TREE TO REMAIN (GOOD CONDITION)
○	EXISTING TREE TO REMAIN (POOR CONDITION)
✕	EXISTING TREE TO BE REMOVED (POOR CONDITION) (APPROVED BY TOWN OF HILTON HEAD)
✖	EXISTING TREE TO BE REMOVED (POOR CONDITION) (REQUIRES TREE MITIGATION)
✚	EXISTING TREE TO BE REMOVED (HAZARDOUS CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS  
FOR  
**NORTHRIDGE**  
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE:	FEB 06, 2020
PROJECT NO.:	19083.01
DRAWN BY:	JM
CHECKED BY:	BW/JC

FINAL SUBMITTAL  
PLAN, NOT FOR  
CONSTRUCTION

REVISIONS:	

DRAWING TITLE	PLANTING PLAN
DRAWING NUMBER	L501



TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO REMAIN (POOR CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION) (APPROVED BY TOWN OF HILTON HEAD)
	EXISTING TREE TO BE REMOVED (POOR CONDITION) (REQUIRES TREE MITIGATION)
	EXISTING TREE TO BE REMOVED (HAZARDOUS CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.

PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		CONCRETE RESURFACING/THIN COAT	1/L600

NOTE: SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
10.1		UP LIGHT	2/L600
10.2		AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

\* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.



**Wimer Jones-Keefe Ltd.**  
landscape architecture  
land planning

W.J.K. Ltd. 0022  
33 Promenade Street, Suite 201 | Durham, North Carolina | 27601 | Ph. 919.287.7411

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS  
FOR  
**NORTHRIDGE**  
HILTON HEAD ISLAND, SOUTH CAROLINA

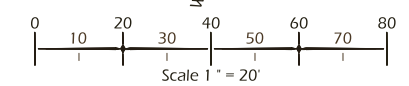
DATE: FEB 06, 2020  
PROJECT NO.: 19083.01  
DRAWN BY: JM  
CHECKED BY: BW/JC

**FINAL SUBMITTAL PLAN, NOT FOR CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

DRAWING NUMBER  
**L502**





PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		CONCRETE RESURFACING/THIN COAT	1/L600

NOTE: SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
10.1	▲	UP LIGHT	2/L600
10.2	●	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

\* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
●	EXISTING TREE TO REMAIN (GOOD CONDITION)
○	EXISTING TREE TO REMAIN (POOR CONDITION)
×	EXISTING TREE TO BE REMOVED (POOR CONDITION) (APPROVED BY TOWN OF HILTON HEAD)
×	EXISTING TREE TO BE REMOVED (POOR CONDITION) (REQUIRES TREE MITIGATION)
×	EXISTING TREE TO BE REMOVED (HAZARDOUS CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



**Wimer Jones-Keefe**  
 Ltd. of  
 landscape architecture  
 land planning

www.wjk.com  
 103 Promenade Street, Suite 201 | Surfside, South Carolina 29910 | Ph. 843.797.7411

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 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS  
 FOR  
**NORTHRIDGE**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE:	FEB 06, 2020
PROJECT NO.:	19083.01
DRAWN BY:	JM
CHECKED BY:	BW/JC

**FINAL SUBMITTAL  
 PLAN, NOT FOR  
 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**PLANTING PLAN**

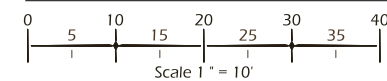
DRAWING NUMBER  
**L503**



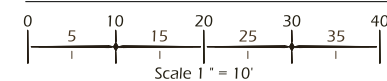
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**ELEVATION A**



**ELEVATION B**



SITE DEVELOPMENT PLANS  
 FOR  
**NORTHRIDGE**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

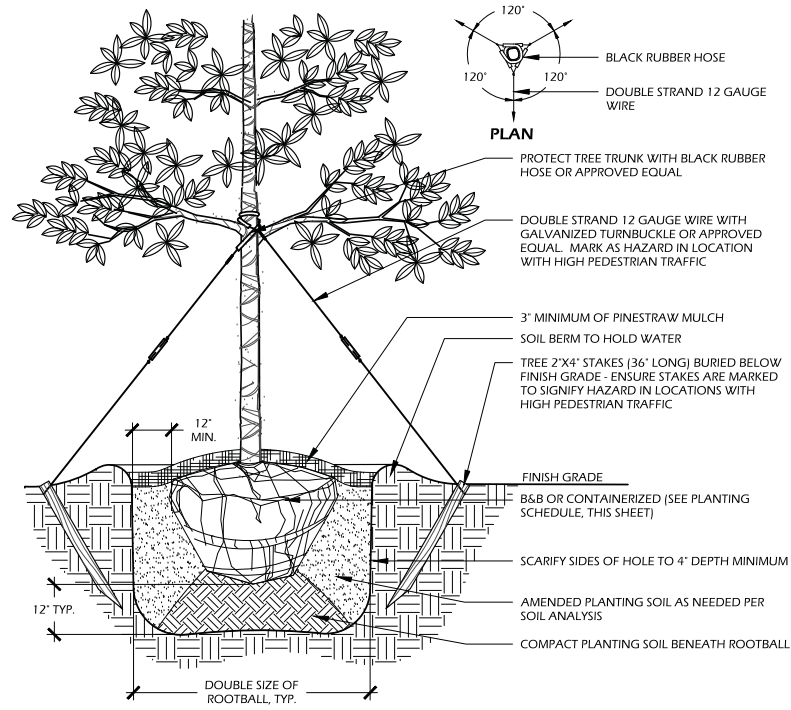
DATE: FEB 06, 2020  
 PROJECT NO.: 19083.01  
 DRAWN BY: JM  
 CHECKED BY: BW/JC

**FINAL SUBMITTAL  
 PLAN, NOT FOR  
 CONSTRUCTION**

REVISIONS:  
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 \_\_\_\_\_

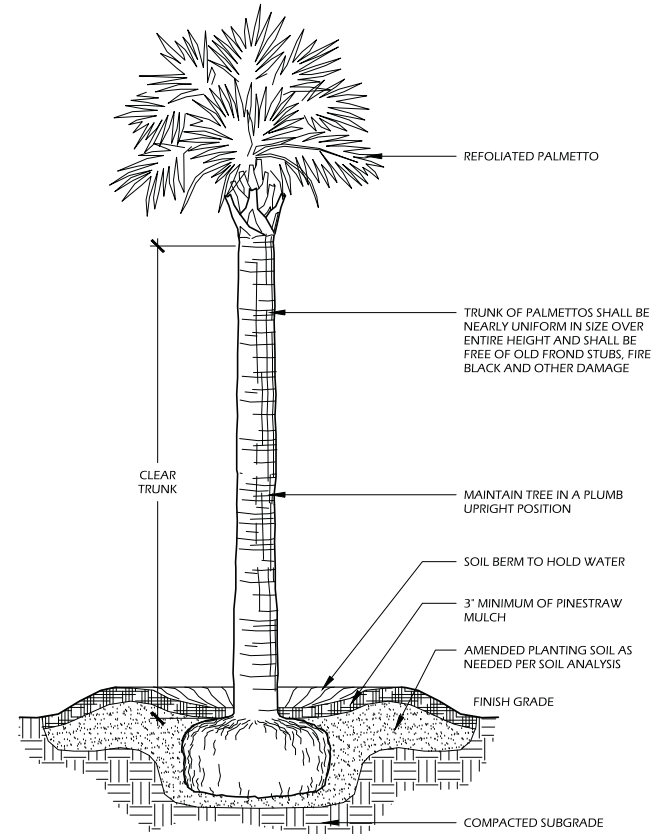
DRAWING TITLE  
**ELEVATION  
 DRAWINGS**

DRAWING NUMBER  
**L510**



- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

**1 // L501 TREE PLANTING**  
SCALE: N.T.S.



- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - SABAL PALMETTOS SHALL BE REFOLIATED. PROTECT CABBAGE HEAD FROM DAMAGE.

**2 // L501 PALM TREE PLANTING**  
SCALE: N.T.S.

**PLANT SCHEDULE:**

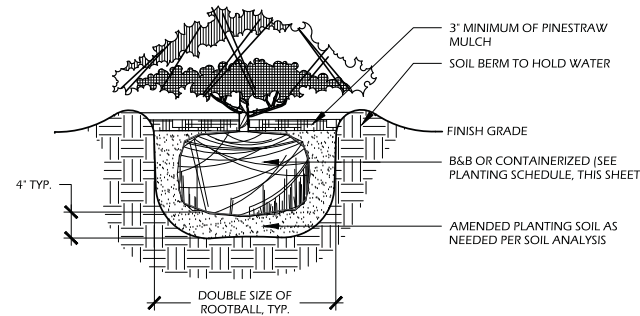
Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
<b>TREES</b>								
2	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	2"	Full to ground
8	NYSS	Nyssa sylvatica	Black Gum	10'-12'	5'-6'	Cont.	2"	Full
9	QUEH	Quercus virginiana 'QVITA' PP 11219 Highrise	High Rise Live Oak	14'-16'	6'-8'	Cont.	2"	Full
37	SABP	Sabal palmetto	Cabbage Palm	14'-16'	6'-8'	Cont.	-	Smooth trunk, Refoliated. See plan for heights
<b>UNDERSTORY TREES</b>								
9	ILEO	Ilex opaca	American Holly	10'-12'	5'-6'	-	2"	Tree form, Multi-stem, Full
1	LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
3	MAGL	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	10'-12'	5'-6'	-	2"	Full
16	MYRC	Myrica cerifera	Wax Myrtle	4'-5'	2'-3'	15 gal.	-	Full
<b>SHRUBS</b>								
160	ABEG	Abelia grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	24'-30'	24'-30'	3 gal.	-	Full
25	AZAF	Azalea indica 'Formosa'	Formosa Azalea	24'-30'	24'-30'	7 gal.	-	Lavender Flowers, Full
30	AZAG	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	24'-30'	24'-30'	7 gal.	-	Full
27	ILLF	Illicium floridanum	Florida Anise	30'-36'	24'-30'	7 gal.	-	Full
105	LORP	Loropetalum chinense 'Peack' PP18441	Purple Pixie Dwarf Weeping Loropetalum	8'-12'	18'-24'	3 gal.	-	Full
49	SERR	Serenoa repens	Saw Palmetto	18'-24'	18'-24'	7 gal.	-	Full
<b>ORNAMENTAL GRASSES &amp; FERNS</b>								
965	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12'	8'-12'	1 gal.	24" O.C.	Full
150	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
1,315	MUHW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
<b>GROUND COVERS, VINES &amp; PERENNIALS</b>								
380	AGAA	Agapanthus africanus	Lily of the Nile	12'-18"	8'-12"	1 gal.	24" O.C.	Blue Flowers, Full
75	LANC	Lantana sellowiana 'Monma'	White Lightnin' Trailing Lantana	8'-12"	8'-12"	1 gal.	24" O.C.	White Flowers, Full
1,369	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12' runners	1 gal.	24" O.C.	Full
<b>SOD &amp; MULCH</b>								
25,200	SOD-SF	-	Empire Zoysia Sod	-	-	-	-	-
69,000	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

**NOTE:** PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.I.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 6 CATEGORY I TREES, 6 CATEGORY II TREES, 22 CATEGORY III TREES, AND 1 CATEGORY IV TREE. AT TIME OF PLANTING, THE REPLACEMENT TREES MUST BE 10' HEIGHT AND 2" CALIPER FOR CATEGORY I AND II, AND 6' HEIGHT AND 1" CALIPER FOR CATEGORY III AND IV.

HAZARDOUS CONDITION TREE TALLY	
CATEGORY I	
LAO	18, 12, 15, 16, 15, 15, 13, 10, 10, 13, 13, 16, 19, 16, 9, 8, 14, 14, 23
LO	29, 17, 20
TREE LEGEND: LAO - LAUREL OAK LO - LIVE OAK	

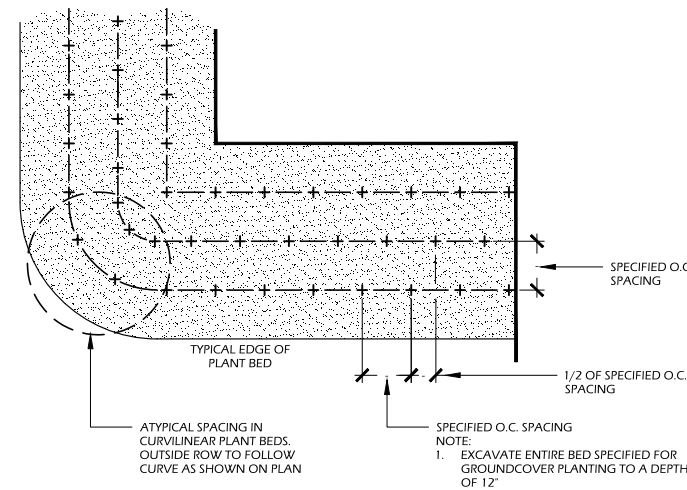
POOR CONDITION TREE TALLY			
CATEGORY I	CATEGORY II	CATEGORY III	CATEGORY IV
LAO 13, 13, 11, 10, 12	WO 12, 9, 9, 10, 11, 8	PN 1 16, 12, 16, 16, 9, PN 2 7, 17, 13, 13, 19, 16, 17, 19, 12, 14	CM 4, 2
TREE LEGEND: CM - CRAPE MYRTLE   GUM - SWEETGUM   LAO - LAUREL OAK LO - LIVE OAK   MAP - RED MAPLE   PN 1 - LOBLOLLY PINE PN 2 - SLASH PINE   WO - WATER OAK			

TREE MITIGATION CALCULATIONS	
CATEGORY I	CATEGORY II
# OF TREES TO BE REMOVED (REQUIRE MITIGATION): 5 TOTAL # OF DBH INCHES: 59 59 ÷ 10 = 5.9 # OF NEW TREES REQUIRED: 6 # OF NEW TREES PROVIDED: 23	# OF TREES TO BE REMOVED (REQUIRE MITIGATION): 6 TOTAL # OF DBH INCHES: 59 194 ÷ 10 = 19.4 # OF NEW TREES REQUIRED: 6 # OF NEW TREES PROVIDED: 8
CATEGORY III	CATEGORY IV
# OF TREES TO BE REMOVED: 15 TOTAL # OF DBH INCHES: 216 216 ÷ 10 = 21.6 # OF NEW TREES REQUIRED: 22 # OF NEW TREES PROVIDED: 37	# OF TREES TO BE REMOVED: 2 TOTAL # OF DBH INCHES: 6 6 ÷ 10 = 0.6 # OF NEW TREES REQUIRED: 1 # OF NEW TREES PROVIDED: 1



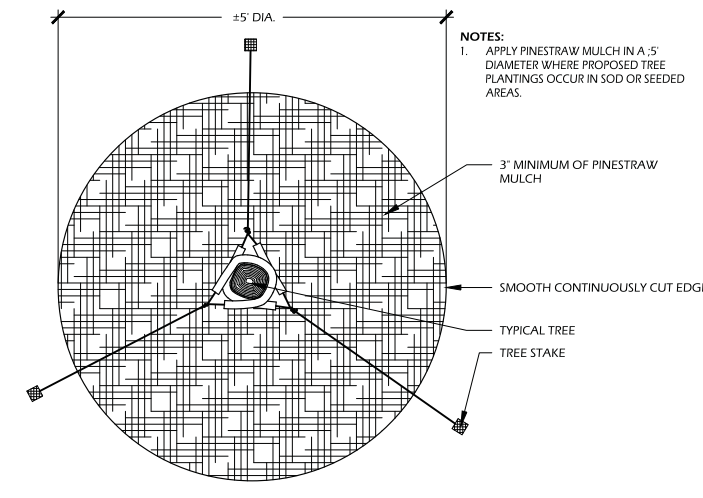
- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
  - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
  - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

**3 // L501 SHRUB PLANTING**  
SCALE: N.T.S.



- NOTE:**
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUND COVER PLANTING TO A DEPTH OF 12"

**4 // L501 GROUND COVER PLANTING**  
SCALE: N.T.S.



- NOTES:**
- APPLY PINESTRAW MULCH IN A 5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREAS.

**5 // L501 TREE STAKING**  
SCALE: N.T.S.



**SAKRETE FLO-COAT CONCRETE RESURFACER**  
 • The Pro's Choice Since 1936

Successful Flo-Coat concrete resurfacing projects require proper preparation. The following steps are essential for a successful application. Flo-Coat is a polymer modified concrete resurfacing material ready to mix for use with concrete. Flo-Coat can be applied to a wide variety of concrete surfaces and is suitable for use on both interior and exterior concrete surfaces.

- Features:**
- 100% portland cement based
  - Excellent bond to old concrete as primer needed
  - Low water content for easy application
  - Polymer modified for crack resistance
  - Superior abrasion resistance
  - Can be used with clear decorative aggregates for decorative concrete surfaces.

- Use Fan:**
- Resurfacing concrete slabs
  - Applying a decorative finish to concrete slabs

**Yield/Volume/Coverage:**

Bag Size	Yield	Coverage	Water
50 lb	0.21 cu yd (0.031 cu m)	9 sq ft @ 4 mil @ 1/8" (2.5 mm) thick @ 1.00 psi (6.9 kPa)	1.75 gal (6.6 L)
100 lb	0.42 cu yd (0.062 cu m)	18 sq ft @ 4 mil @ 1/8" (2.5 mm) thick @ 1.00 psi (6.9 kPa)	3.5 gal (13.2 L)

**Preparation/Installation:**

1. Surface preparation must be completed as indicated in the preparation section of the Technical Data Sheet. Follow the instructions on mixing to ensure proper mix is obtained. Allow to dry at recommended rate before painting the decorative concrete finish.
2. Allow the decorative concrete to cure for 14 days before allowing any foot or vehicle traffic on the surface.

**SAKRETE FLO-COAT CONCRETE RESURFACER**  
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**FOCUS INDUSTRIES** DIRECTIONAL LIGHTS DL-46-LEDM20 TYPE  
 NOW GREEN

**CONSTRUCTION:** Cast aluminum or cast brass integrated heat sink base, machined cast aluminum body with IP65 protection and universal mounting hardware.

**COLOR:** High output LED chips available in various colors.

**OPERATING TEMPERATURE:** -20°C to 50°C

**OPERATING VOLTAGE:** 120V or 240V

**OPERATING CURRENT:** 0.07A

**OPERATING POWER:** 8.4W

**OPERATING LUMEN:** 840lm

**OPERATING BEAM ANGLE:** 110°

**OPERATING MOUNTING HOLE:** 3/16" (4.8mm)

**OPERATING MOUNTING HOLE CENTER-TO-CENTER:** 1.5" (38.1mm)

**OPERATING MOUNTING HOLE TO CENTER:** 0.75" (19.0mm)

**OPERATING MOUNTING HOLE TO HOLE:** 1.5" (38.1mm)

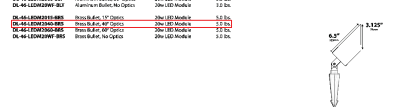
**OPERATING MOUNTING HOLE TO HOLE:** 1.5" (38.1mm)

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**OPERATING MOUNTING HOLE TO HOLE:** 1.5" (38.1mm)

**ORDERING INFORMATION:**

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
DL-46-LEDM20-01	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-02	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-03	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-04	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-05	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-06	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-07	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-08	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-09	Aluminum Body 12V/24V	20W LED Module	2.15 lbs
DL-46-LEDM20-10	Aluminum Body 12V/24V	20W LED Module	2.15 lbs



**Beam Type** | **Height** | **Beam Diameter**

DL-46-LEDM20-01 | 12V/24V | 15' Beam Diameter

DL-46-LEDM20-02 | 12V/24V | 40' Beam Diameter

DL-46-LEDM20-03 | 12V/24V | 60' Beam Diameter

**BEAM-GLARE CONTROL ACCESSORIES:**

DL-46-LEDM20-01 | Beam-Glare Control - 1/8" (3.2mm) - 15' Beam Diameter

DL-46-LEDM20-02 | Beam-Glare Control - 1/8" (3.2mm) - 40' Beam Diameter

DL-46-LEDM20-03 | Beam-Glare Control - 1/8" (3.2mm) - 60' Beam Diameter

Model	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter	Beam Diameter
DL-46-LEDM20-01	DL-46-LEDM20-02	DL-46-LEDM20-03	DL-46-LEDM20-04	DL-46-LEDM20-05	DL-46-LEDM20-06	DL-46-LEDM20-07	DL-46-LEDM20-08	DL-46-LEDM20-09	DL-46-LEDM20-10	DL-46-LEDM20-11

1 // L600 **CONCRETE RESURFACING/THIN COAT**  
 SCALE: N.T.S.



3 // L600 **PICNIC TABLE**  
 SCALE: N.T.S.



2 // L600 **UP LIGHT**  
 SCALE: N.T.S.



4 // L600 **ACCESSIBLE PICNIC TABLE**  
 SCALE: N.T.S.



**MANUFACTURER INFORMATION:**  
 PALMETTO RECREATION EQUIPMENT  
 1052 PENINSULA DRIVE  
 PROSPERITY, SC 29127  
**PHONE:** (803) 271.2487  
**WEB:** WWW.TIMBERFORM.COM

**MODEL:** 2242-6  
 OR APPROVED EQUAL

**MANUFACTURER INFORMATION:**  
 PALMETTO RECREATION EQUIPMENT  
 1052 PENINSULA DRIVE  
 PROSPERITY, SC 29127  
**PHONE:** (803) 271.2487  
**WEB:** WWW.TIMBERFORM.COM

**MODEL:** 2241-6  
 OR APPROVED EQUAL

**Wimmer Jones Keefer**  
 landscape architecture  
 land planning

www.wjkttd.com

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SITE DEVELOPMENT PLANS  
 FOR  
**NORTHBRIDGE**  
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: FEB 06, 2020  
 PROJECT NO.: 19083.01  
 DRAWN BY: JM  
 CHECKED BY: BW/JC

**FINAL SUBMITTAL  
 PLAN, NOT FOR  
 CONSTRUCTION**

REVISIONS:


DRAWING TITLE  
**SITE DETAILS**

DRAWING NUMBER  
**L600**

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Northridge Plaza Renovation

DRB#: DRB 000317-2020

DATE: 02/13/20

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

The Final submittal should satisfactorily address the comments on the DRB Comment Sheet that shall be attached to the NOA.

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Concerns about the color scheme: 1. Without a color board it is difficult to evaluate the colors together but it appears the color scheme leans too red / coral. Staff is concerned that in the sunlight these colors will pull more coral. 2. The color of the Home Goods entrance is not nature blending and therefore not approvable per the Design Guide (page 16).
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reduction of the canopy height exposes large areas of the building wall that have little difference in their treatment. Monotonous planes are to be avoided per the Design Guide (page 13).
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Concerns about the proposed canopy: 1. The breaks in the canopy at the corners of the buildings create the ends in the shed roof that clutter the roof line. The Design Guide encourages uncluttered architectural detail



				(page 15). 2. The overhang is too narrow and needs to be deeper per the Design Guide (page 13).
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Reduction of the canopy height exposes large areas of the building wall effectively increasing the mass of the building.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears the 36 lumens of the canopy lights will exceed the LMO allowed light levels.

**LANDSCAPE DESIGN**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Multiple trees were removed from the landscape island along the main drive at the western property line. Additional trees should be planting in this area to mitigate these removals
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The lawn that replaces the building that was removed seem like an afterthought. Staff suggest trees be planted along the theater wall to break it up visually.

**NATURAL RESOURCE PROTECTION**

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There appear to be conflicts with proposed parking lot lights including trenching for power connections and existing trees. Tree locations should be added to the lighting plan as well new trench locations for the power supply.

**MISC COMMENTS/QUESTIONS**

1. Northridge was last before the DRB on Oct. 1 <sup>st</sup> 2019 and was withdrawn at the applicants request during the meeting before a vote was taken by the DRB.
2. Please provide a color board with physical samples at the Final Review.
3. How will the sidewalk be “repair as required”? Will the old and new concrete be stained the same color? How will the sidewalk be removed to allow construction of the new footers? What will the joints look like?
4. Given there are only a few islands separating parking bays, the landscape islands at the ends of parking bays are more critical. End landscape islands should include 2 canopy trees in front of Home Goods.
5. It is Staff’s understanding that all timber curbs will be replaced with concrete curbs.

6. It is Staff's understanding that all existing parking lot light fixtures will be replaced.

7. The place holders for tenant façade signs appear to be larger than what is allowed by the LMO. A new sign system will need to be submitted before any tenant signs can be permitted. Consider having a more realistic and LMO compliant placeholder for the signs as part of the Final application.





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mike Thomas Company: Thomas Design Group  
 Mailing Address: 74 Sparwheel Lane City: Hilton Head Island State: SC Zip: 29926  
 Telephone: 843-785-9434 Fax: \_\_\_\_\_ E-mail: mthomas.icon@gmail.com  
 Project Name: Vacation Homes of Hilton Head Project Address: Hwy 278 & Burke's Beach Rd  
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 0 2 5 0 0 0 0  
 Zoning District: RD Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

\_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

\_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

\_\_\_\_\_ Proposed landscaping plan.

For wall signs:

\_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.

\_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

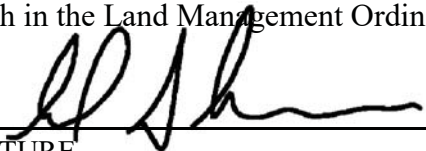
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
\_\_\_\_\_  
SIGNATURE

2020.01.14  
\_\_\_\_\_  
DATE





**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD – NOTICE OF ACTION**

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**PROJECT NAME:** Vacation Homes of Hilton Head      **PROJECT #:** DRB-002555-2018  
**PROJECT ADDRESS:** Hwy 278 & Burkes Beach Rd  
**CATEGORY:** New Development – Final  
**ACTION DATE:** November 13, 2018      **NOTICE DATE:** November 16, 2018  
**APPLICANT/AGENT:** Mike Thomas, Thomas Design Group  
74 Sparwheel Lane  
Hilton Head Island, SC 29926  
Email: mthomas.icon@gmail.com

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**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**  
 **APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**  
 **DENIED**  
 **WITHDRAWN AT THE APPLICANTS REQUEST**

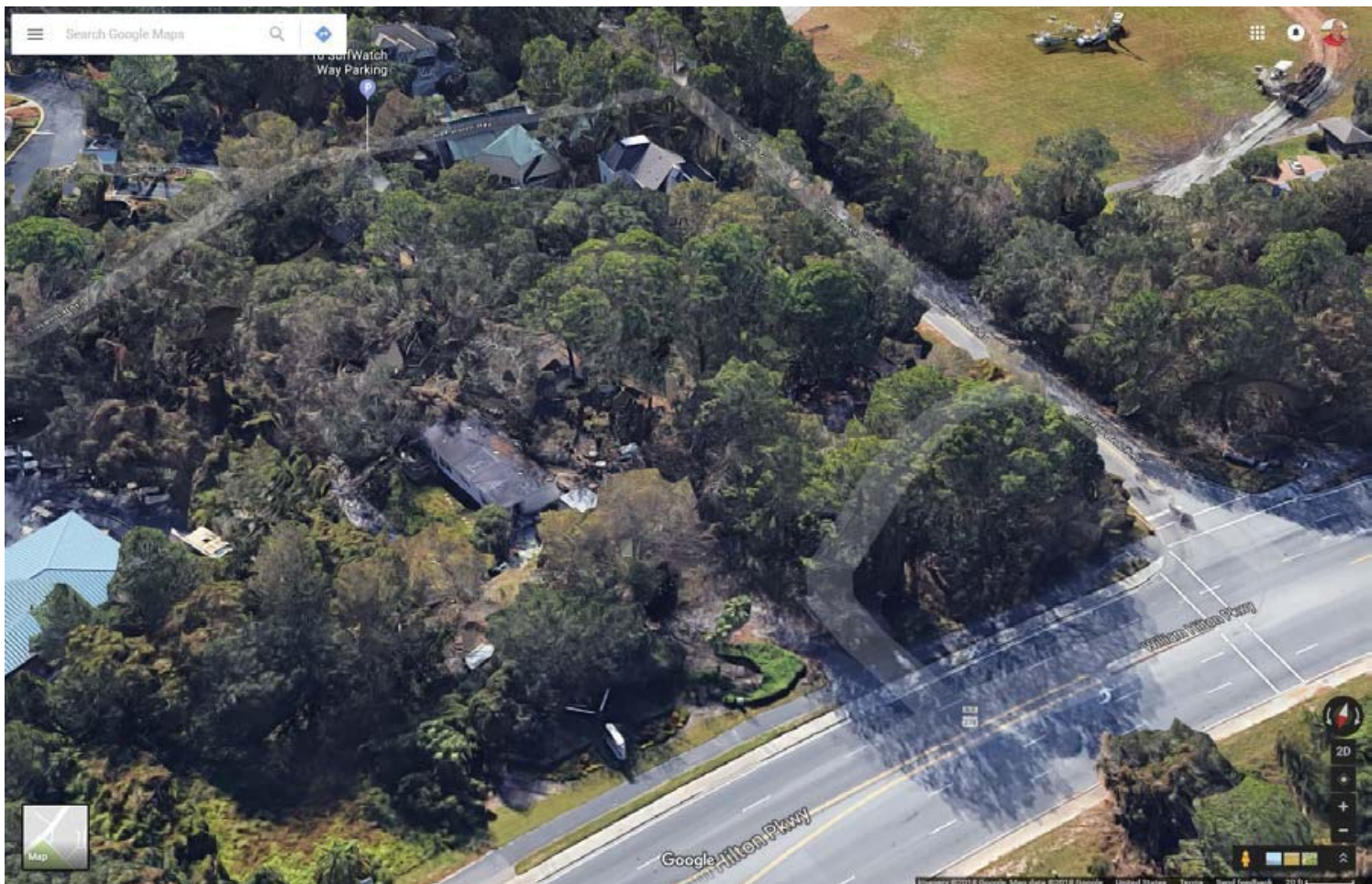
- Existing understory growth in the Hwy 278 and Burkes Beach Buffer shall be identified to remain with limited removal of existing vines and invasive species. Any view corridors shall be identified and approved by Town Staff prior to removal of vegetation. Any selective thinning and under brushing shall be approved by Town Staff.
- Triple the number of shrubs (Anise or Wax Myrtle) between the parking lot and the adjacent driveway on the northern property line.
- Increase by 50% (6) the shrubs in the buffer on the southern property line.
- Red Maples and Oaks shall meet the minimum heights as stated on the plants list.
- Submit a bicycle rack detail for Staff review and approval.
- Submit an exterior lighting plan for Staff review and approval.
- Exterior lighting on building to follow the elevations shown on sheet A2.1, remove four lights from office level floor plan.
- Provide a cut sheet for ceiling fans for Staff review and approval.
- Modify the detail to show any visible roof overhang decking shall be tongue and groove.

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer





Aerial Perspective



View of adjacent trailer property access & signage from Hwy 278 (subject site at right)





Front of subject site from Hwy 278 (Burke's Beach Rd at right)



Corner of subject site from Hwy 278



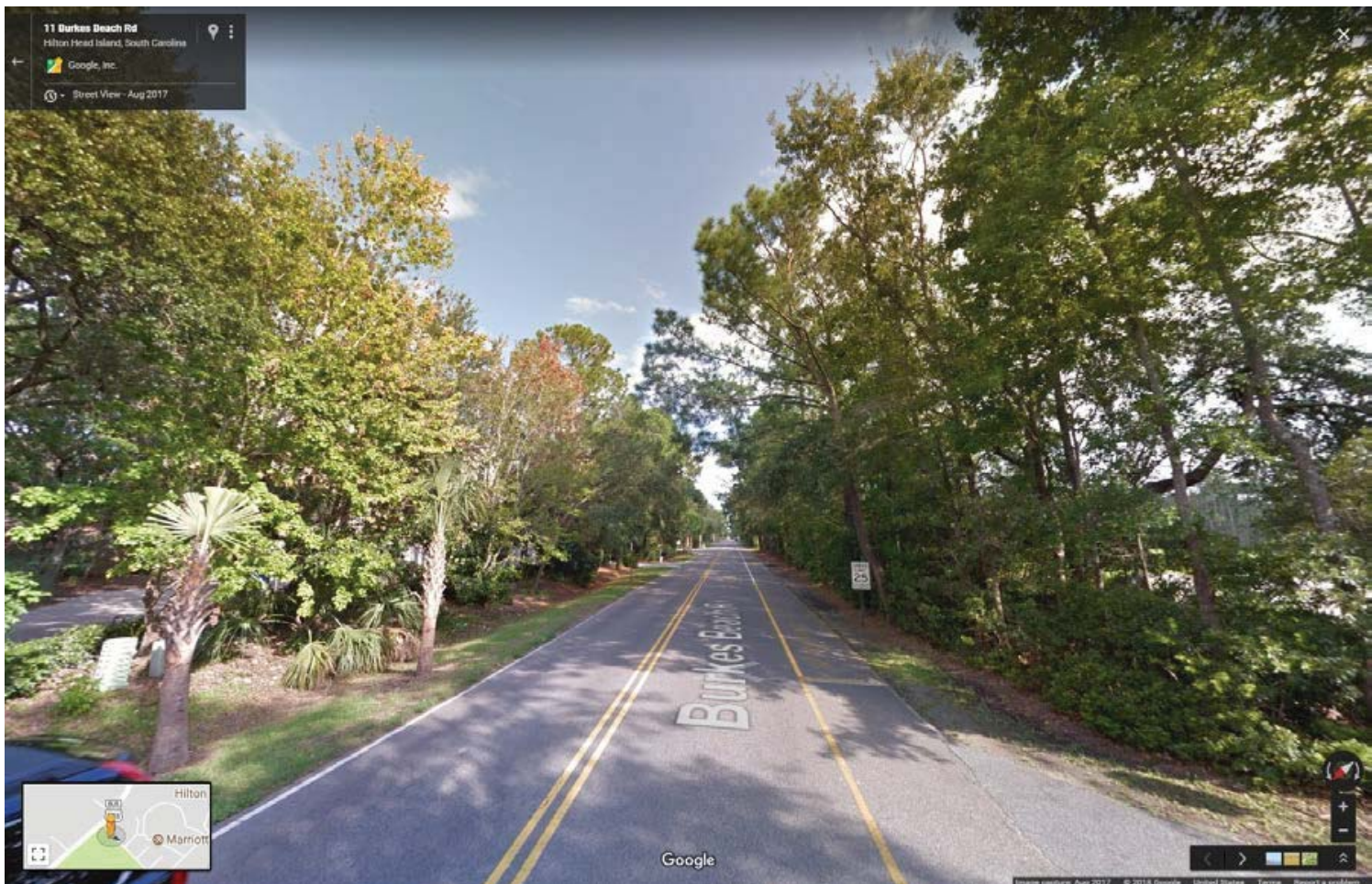


Subject site at Burke's Beach Rd



Existing site access at Burke's Beach Rd





BB Rd looking towards beach direction



View of athletic field access across the street from subject site and BB Rd











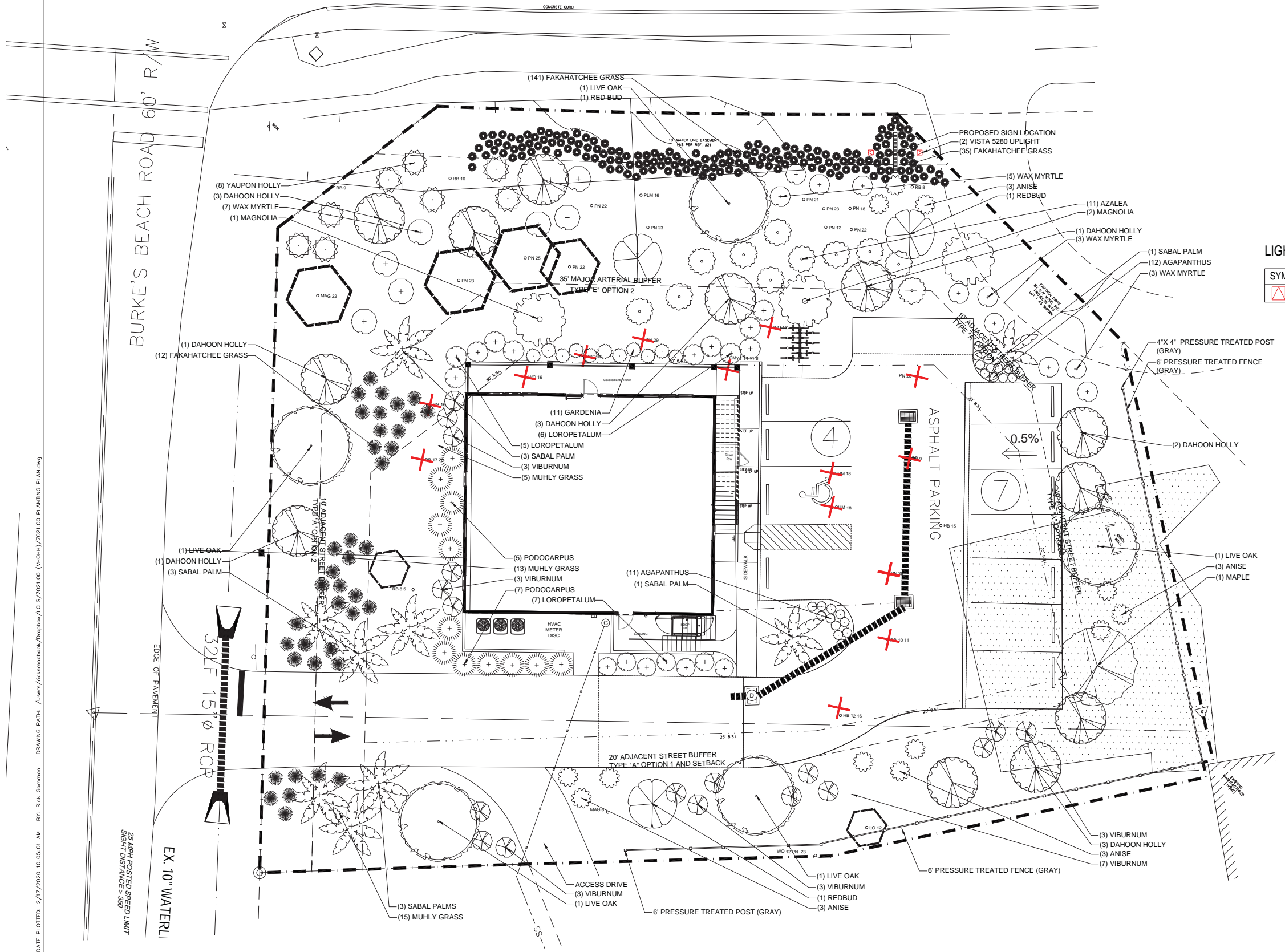








# WILLIAM HILTON PARKWAY 100' R/W



- NOTES:
1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
  2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
  3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES ±0.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
  4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
  5. ALL PLANT MATERIAL SHALL MEET OF EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  6. ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.
  7. IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR AND SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

### LIGHT SCHEDULE

SYM	QTY	MODEL	LAMP TYPE	FINISH
⊠	2	VISTA 5280 IN-GROUND LIGHT	LED 20-40 WATT	BRONZE

LANDSCAPE PLANS FOR  
**COMMERCIAL DEVELOPMENT**  
 LOCATED IN HILTON HEAD ISLAND, SOUTH CAROLINA  
 PREPARED FOR: VACATION HOMES OF HILTON HEAD

- REVISIONS:
- REVISION 02-09-2019
  - REVISION 01-14-2020
  - REVISION 02-17-2020

**NOT FOR CONSTRUCTION**

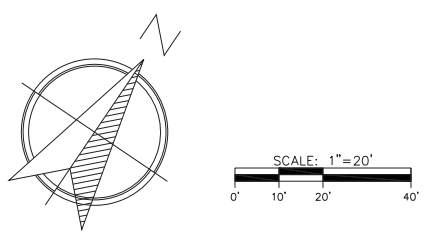
  
**LAND SOURCE**  
 PLANNING • DESIGN • INSTALLATION

PH: 843.422.0850

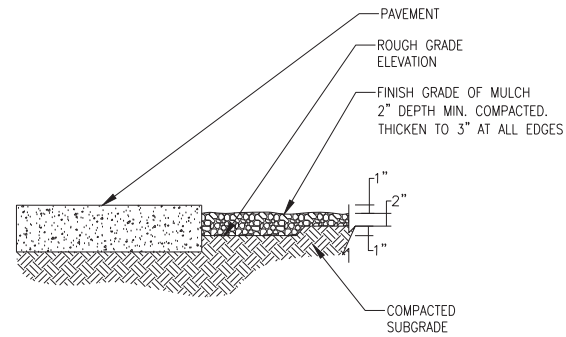
JOB NUMBER: 7012.00  
 DATE: 10/31/2018  
 DRAWN BY: RC  
 CHECKED BY: RG  
 SCALE: AS NOTED

PLANTING PLAN

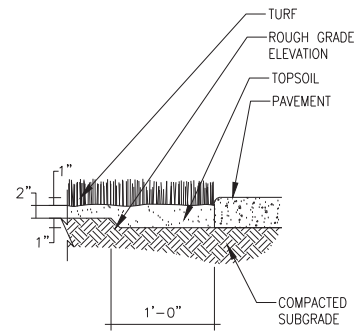
SHEET:  
L1.0



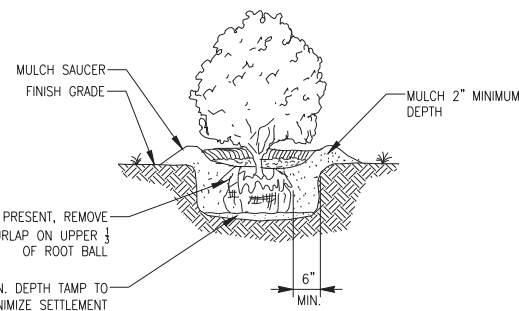




**L-9 FINISHED GRADE OF MULCH AT PAVEMENT**  
NOT TO SCALE

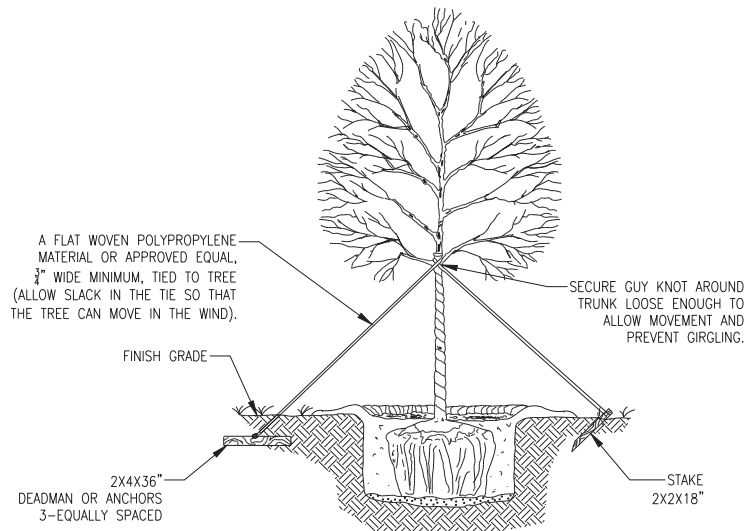


**L-8 FINISHED GRADE OF TURF AT PAVEMENT**  
NOT TO SCALE



- NOTES
1. CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
  2. FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

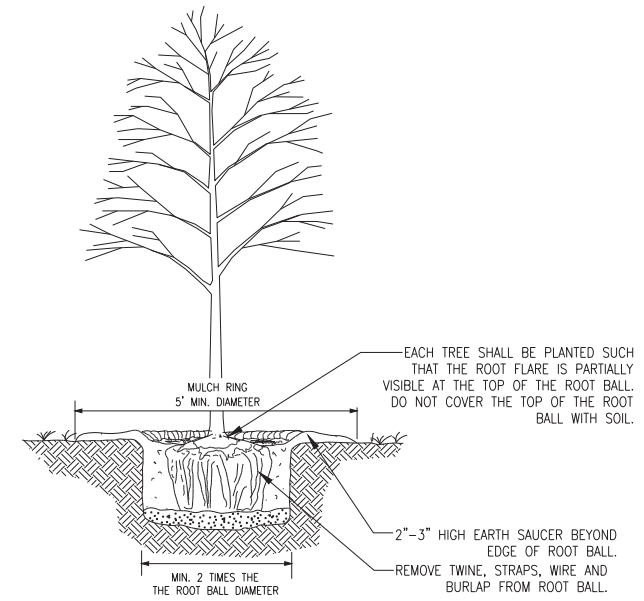
**L-5 SHRUB PLANTING**  
NOT TO SCALE



- NOTE:  
-SELECT DEADMAN, ANCHORS OR STAKES TO SECURE TREE

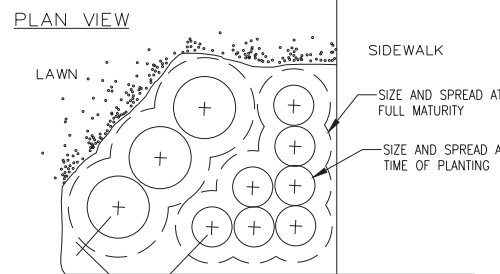
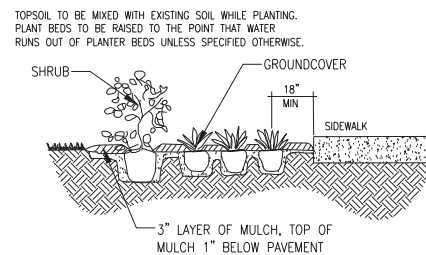
- NOTES
1. STAKE TREES ONLY WHEN NECESSARY, STAKES TO BE REMOVED 6 MONTHS AFTER PLANTING.
  2. TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE STRAPS WHEN NECESSARY.

**L-3 TREE STAKING**  
NOT TO SCALE



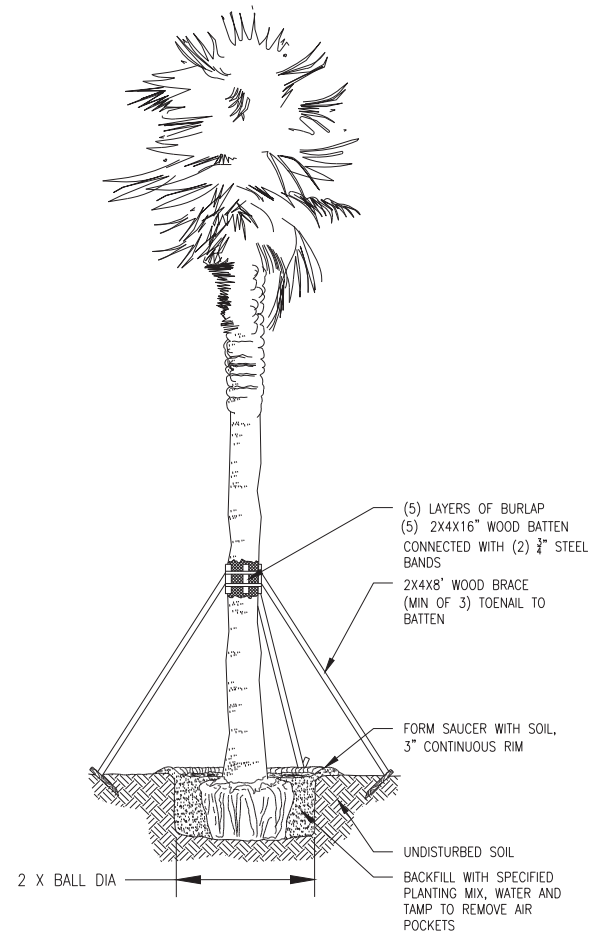
- NOTES
1. TREES SHALL BE PRUNED IMMEDIATELY AFTER PLANTING TO REMOVE DEAD, BROKEN, DISEASED, DYING OR RUBBING BRANCHES. CO-DOMINANT STEMS LESS THAN 4" IN DIAMETER AT THE FORK SHALL BE PRUNED OFF AND ONE MAIN STEM REMAIN. TREE TOPPING OR HEADING IS NOT PERMITTED AT ANY TIME.
  2. STAKING IS NOT REQUIRED, BUT IF INSTALLED IT SHALL BE REMOVED NO LATER THAN ONE YEAR AFTER PLANTING

**L-1 TREE PLANTING**  
NOT TO SCALE



- NOTES
1. MATURE GROWTH NOT TO OVERLAP WALKS, STRUCTURES, LAWN, ETC. PLANT ACCORDING TO SPECIES GROWTH HABIT.
  2. DISTANCE BETWEEN DIFFERENT PLANT TYPES SHOULD ALLOW FOR GROWTH TO MATURE SIZE

**L-6 SHRUB AND GROUNDCOVER SPACING**  
NOT TO SCALE



**L-2 PALM TREE PLANTING**  
NOT TO SCALE

LANDSCAPE PLANS FOR  
COMMERCIAL DEVELOPMENT  
LOCATED IN HILTON HEAD ISLAND, SOUTH CAROLINA  
PREPARED FOR: VACATION HOMES OF HILTON HEAD

REVISIONS:

REVISION	02-09-2019
REVISION	01-14-2020
REVISION	02-17-2020

**NOT FOR CONSTRUCTION**



PH: 843.422.0850  
JOB NUMBER: 7012.00  
DATE: 10/31/2018  
DRAWN BY: RG  
CHECKED BY: RG  
SCALE: AS NOTED

PLANTING  
DETAILS

SHEET:  
L1.1



**PLANTING NOTES**

- GENERAL:**
- CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL OTHER SITE IMPROVEMENTS PRIOR TO STARTING LANDSCAPE WORK AND SHALL PROMPTLY REPORT AN DISCREPANCIES.
  - CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY EXISTING UTILITIES. IF ANY ARE ENCOUNTERED, CONTRACTOR IS TO PROMPTLY ADVISE THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND OWNER.
  - GENERAL SITE CONTRACTOR SHALL PROVIDE SUBGRADE TO WITHIN 1/4" OF FINISH GRADE.
- PLANT QUALITY:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TREES, SHRUBS, GROUNDCOVER, VINES AND SOD AS SHOWN ON LANDSCAPE PLAN. ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE ASSOCIATION OF NURSERYMEN, 1250 I STREET, N.W. SUITE 500, WASHINGTON D.C. 20005, (202) 739-2990.
  - ALL PLANT MATERIAL SHALL HAVE A ONE-YEAR WARRANTY UPON ACCEPTANCE BY THE OWNER.**
  - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE A NORMAL WELL-DEVELOPED BRANCHING STRUCTURE AND A VIGOROUS FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM INSECTS AND DISEASE. TREE TRUNKS NOT LOWER THAN FOUR FEET ABOVE THE GROUND, DEPENDENT ON THE SPECIES. TRUNKS AND STEMS SHALL BE FIRM WITH NO INDICATION OF FUNGAL CANKERS, GALLS, INSECT BORERS, DIE BACK, FROST CRACKS, SUN SCALD, OR OTHER DEFECTS THAT WOULD CAUSE THE TREE TO DECLINE OR BECOME STRUCTURALLY UNSOUND. TREES SHALL BE DENSELY FOLIATED WHEN IN LEAF.
  - ALL PLANTS SHALL BE COMMERCIAL GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF CHATHAM COUNTY (A.H.S. PLANT ZONE 8).
  - ALL PLANTS SHALL BE EQUAL OR EXCEED THE MINIMUM SIZE AS SHOWN IN THE PLANT LIST, AND ALL METHODS OF PLANT MEASUREMENT SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK".
  - CALIPER OF MULTI-TRUNK TREES SHALL BE DETERMINED BY MEASURING THE LARGEST TRUNK ONLY.
  - PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATIONS AND REQUIREMENTS.** SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION THROUGHOUT THE COURSE OF THE WORK. ACCEPTANCE AT THE NURSERY, IN WHICH THE PLANT IS GROWING PRIOR TO TRANSPLANTING, DOES NOT PRECLUDE REJECTION AT THE SITE FOR JUST CAUSE.

**ROOT SYSTEM:**

- ALL TREE SHALL BE BALLED AND BURLAPPED (BAB) OR CONTAINER GROWN. NO BARE ROOT TREES SHALL BE ACCEPTABLE.
- ALL SHRUBS SHALL BE BALLED AND BURLAPPED (BAB) OR CONTAINER GROWN. NO BARE ROOT SHRUBS SHALL BE ACCEPTABLE.
- THE MINIMUM SIZE OF BALLS, BALL DEPTHS, AND BALL DIAMETER SHALL CONFORM TO BALLING AND BURLAPPING SPECIFICATIONS AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL BALLED AND BURLAPPED PLANTS SHALL HAVE THE TOP 1/2 OF THE BURLAP REMOVED FROM THE BALL AFTER THE POSITION OF THE PLANT IS STABILIZED. NO BURLAP SHALL BE REMOVED FROM UNDER THE BALL, AND ALL WIRE AND SURPLUS FROM THE TOP OF THE BALL SHALL BE REMOVED.

**SEEDING AND SODDING:**

- ALL EXTERIOR GROUND AREA NOT OCCUPIED BY BUILDINGS, STRUCTURES, PAVEMENT, PLANT MATERIAL, AND MULCH SHALL BE SEEDED OR SODDED IN AN ACCEPTABLE MANNER IN ACCORDANCE WITH LOCAL NURSERY STANDARDS, UNLESS OTHERWISE NOTED.
- ALL SEED SHALL BE PURCHASED FROM A REPUTABLE SUPPLIER AND SHALL BEAR THE CURRENT SEASON'S CERTIFICATES OF WEIGHT, PURITY AND GERMINATION.
- ALL SOD SHALL BE COMMERCIAL GROWN, STRONGLY ROOTED AND FREE FROM WEEDS.
- ALL SOD SHALL BE LAYED WITHIN 48 HOURS AFTER BEING CUT AT THE NURSERY.
- SOD SHALL BE LAYED OUT SO THAT NO VOIDS OCCUR AND IN SUCH A MANNER THAT THE END JOINTS BETWEEN INDIVIDUAL SOD PIECES OF ADJOINING ROW DO NOT COINCIDE. SOD SHALL BE LAID ON TOPSOIL AT THE REQUIRED FINISH GRADE AND SHALL BE FLUSH WITH ADJACENT PAVEMENT, CURBS, AND PLANTING BED EDGES.

**TOPSOIL:**

- CONTRACTOR SHALL PROVIDE A MINIMUM 3" DEPTH OF TOPSOIL IN ALL PLANTING AREAS.
- ALL TOPSOIL SHALL BE FREE FROM ROCKS, DEBRIS, NOXIOUS WEEDS, EXCESSIVE WEEDS, PLANT WASTE, SUBSOIL, HEAVY CLAY, ROOTS, STUMPS, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH.
- TOPSOIL SHALL BE NATURAL, FERTILE, SANDY LOAM POSSESSING CHARACTERISTICS COMMON TO PRODUCTIVE SOILS IN THE SOUTHEASTERN COASTAL REGION, AND IT SHALL NOT CONTAIN ANY TOXIC SUBSTANCES.

**PLANTING:**

- GROUND COVER SHALL BE PLANTED AS SPECIFIED BELOW:
  - GROUND COVER SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLANT LIST.
  - WHERE GROUND COVER ADJUTS CURBS, PAVEMENT, SIGNS AND POLES, MINIMUM PLANTING DISTANCE SHALL BE 12" FROM CENTER OF PLANT TO SAID OBJECT.
  - GROUND COVER SHALL BE PLANTED A MINIMUM OF 14" FROM CENTER OF ALL TREES.
- SHRUBS AND GRASSES SHALL BE PLANTED A MINIMUM OF 4" FROM CENTER OF ALL LARGE TREES.
- SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 36" FROM CURBS AT CAR PARKING AREAS TO ALLOW FOR OVERHANG, UNLESS WHEEL STOPS ARE PROVIDED.
- NO LARGE OR MEDIUM TREE SPECIES SHALL BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITY LINE OR UNDERNEATH ANY OVERHEAD POWER LINES. SMALL TREE SPECIES MUST MAINTAIN A MINIMUM FIVE (5) FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.
- TREES SHALL BE PLANTED AT PROPER DEPTH OR SHALL BE REJECTED AT TIME OF INSPECTION. STAKE TREES ONLY WHEN NECESSARY.

**FERTILIZER:**

- CONTRACTOR SHALL PERFORM A SOIL TEST ON ALL PROPOSED LANDSCAPE AREAS BEFORE INSTALLING ANY PROPOSED PLANT MATERIAL.
- IF A SOIL TEST DETERMINES THAT ADDITIONAL SOIL AMENDMENTS ARE REQUIRED, CONTRACTOR SHALL APPLY AN APPROPRIATE FERTILIZER IN CONFORMANCE WITH INSTRUCTIONS ON THE CONTAINER.

**MULCH:**

- ALL TREES AND SHRUBS SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 3" LAYER OF ACCEPTABLE MATERIAL.
- ALL GROUND COVER SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 1" LAYER OF ACCEPTABLE MATERIAL.
- ACCEPTABLE MULCHING MATERIAL INCLUDES PINE NEEDLES, SHREDDED BARK, AND WOOD CHIPS.

**WATERING:**

- ALL PLANTS INCLUDING TREES, SHRUBS, AND GROUNDCOVER SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.
- ALL SEEDED AND SODDED AREAS SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.

**MAINTENANCE:**

- CONTRACTOR SHALL INSPECT PLANTS ON A WEEKLY BASIS, MAINTAIN AND WATER ALL SODDED AREAS AND PLANT MATERIALS, AND WEED, PRUNE, AND RE-MULCH PLANTING BEDS AS NECESSARY MAINTAIN HEALTHY GROWING CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETE.
- OWNER IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL PLANT MATERIAL UPON COMPLETION OF LANDSCAPE INSTALLATION.
- GUYING AND STAKING SHALL BE REMOVED NO LATER THAN 6 MONTHS AFTER INSTALLATION.

**PLANT ALTERATIONS AND SUBSTITUTIONS:**

- ANY CHANGE IS PLANT QUANTITY, PLANT SPECIES, PLANT SIZE, OR PLANT LOCATION IS UNACCEPTABLE WITHOUT SPECIFIC APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

**IRRIGATION:**

- CONTRACTOR TO PROVIDE A DESIGN/ BUILD AUTOMATIC IRRIGATION SYSTEM FOR ALL PLANTING AREAS. PROVIDE ALL DESIGN, AGENCY APPROVALS, LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO COMPLETE THE IRRIGATION WORK. THE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO:
  - PROVIDING A COMPLETE IRRIGATION SYSTEM AT ALL LANDSCAPED & GRASSED AREAS SHOWN ON THE LANDSCAPE PLAN.
  - ALL TREES AND LANDSCAPED AREAS SHALL BE PROVIDED WITH A MEANS FOR DELIVERY OF WATER IN A QUANTITY THAT IS SUFFICIENT TO ESTABLISH AND MAINTAIN THE VIABILITY OF THE PLANTS.
  - IN-GROUND SYSTEMS INSTALLED WHICH SUPPLY WATER TO ALL NEWLY PLANTED TREES AND PLANT MATERIALS.
  - VERIFY ALL UNDERGROUND UTILITY LOCATIONS.
  - COORDINATE WORK OF THIS SECTION WITH THE WORK OF ALL RELATED TRADES AND SUBCONTRACTORS TO ASSURE SMOOTH PROGRESSION OF WORK.
  - PROTECTION AND/OR RESTORATION OF ALL EXISTING IMPROVEMENTS.
  - TRENCHING AND BACKFILLING FOR ALL PIPES, VALVES AND DRAIN PITS IS SPECIFIED.
  - FURNISHED AND INSTALLING ALL MAINS, LATERALS, RISERS AND FITTINGS, SPRINKLER HEADS, QUICK-COUPLING VALVES, GATE VALVES, CONTROL VALVES, CONTROLLERS, ELECTRIC WIRE, CONTROLS, ETC. AND ALL NECESSARY SPECIALTIES AND ACCESSORIES.
  - FURNISHING AND INSTALLING ALL SLEEVES BENEATH WALKWAYS, ROADS AND DRIVEWAYS WHERE REQUIRED.
  - REGULATING AND ADJUSTING ALL SPRINKLER HEADS, TIME SEQUENCE CONTROL DEVICES AND SECTION VALVES.
  - TESTING OF IRRIGATION SYSTEM.
  - CONTRACTOR SHALL WARRANTY THE IRRIGATION SYSTEM FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER.
  - ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF STATE AND LOCAL AGENCIES, INCLUDING ANY LOCAL HEALTH AND PLUMBING CODES, ELECTRICAL/MECHANICAL CODES.
- SUBMITTAL:
  - PROVIDE DIAGRAMMATIC PLANS OF IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR INCLUSION IN AS-BUILT SET OF DRAWINGS.
  - SUBMIT PLANS TO JURISDICTION FOR APPROVAL IF REQUIRED, AND TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- CONNECT TO WATER SYSTEM WATER METER AND DOUBLE-CHECK BACKFLOW PREVENTER ON IRRIGATION SYSTEM AT POINT SHOWN ON PLANS PROVIDED IN 2A ABOVE.

**PLANT SCHEDULE**

QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CAL	CONT.	SPACING	NOTES
<b>TREES</b>							
1	Acer rubrum	Red Maple	10'-12'	2' cal	-	-	Single trunk, well balanced crown
4	Cercis canadensis	Redbud	-	-	30 gal	-	Single trunk
11	Ilex cassine	Dahoon Holly	10' min	-	-	-	3'-4' width
8	Ilex vomitoria	Yaupon Holly	6' min	-	-	-	3'-4' width
3	Magnolia grandiflora	Southern Magnolia	10'-12'	2' cal	-	-	3'-4' width
5	Quercus virginiana	Live Oak	10'-12'	2' cal	-	-	Single trunk, well balanced crown
9	Sabal palmetto	Sabal Palm	10'-12'	-	-	-	Single trunk, well balanced crown
<b>SHRUBS</b>							
11	Azalea species 'Encore'	Azalea Encore	36"-42"	-	7 gal	-	-
11	Gardenia jasminoides	Gardenia Vetchii	24"-30"	-	3 gal	-	-
12	Illicium parviflorum	Florida Anise	36"-42"	-	7 gal	-	-
13	Loropetalum chinense 'Ever Red'	Loropetalum	24"-30"	-	3 gal	-	-
12	Podocarpus macrophyllus	Podocarpus	36"-42"	-	7 gal	-	-
18	Myrica cerifera	Wax Myrtle	6' min	-	-	-	3'-4' width
15	Viburnum odoratissimum	Viburnum	36"-42"	-	7 gal	-	-
<b>PERN/ GRASSES/ GROUNDCOVERS</b>							
23	Agapanthus	Agapanthus	8"-10"	-	1 gal	-	-
40	Muhlenbergia	Muhly grass	10"-12"	-	1 gal	-	-
176	Tripsacum dactyloids	Fakahatchee grass	10"-12"	-	1 gal	-	-

LANDSCAPE PLANS FOR  
**COMMERCIAL DEVELOPMENT**  
 LOCATED IN HILTON HEAD ISLAND, SOUTH CAROLINA  
 PREPARED FOR: VACATION HOMES OF HILTON HEAD

- REVISIONS:**
- REVISION 02-09-2019
  - REVISION 01-14-2020
  - REVISION 02-17-2020

**NOT FOR CONSTRUCTION**

**LANDSOURCE**  
 PLANNING • DESIGN • INSTALLATION

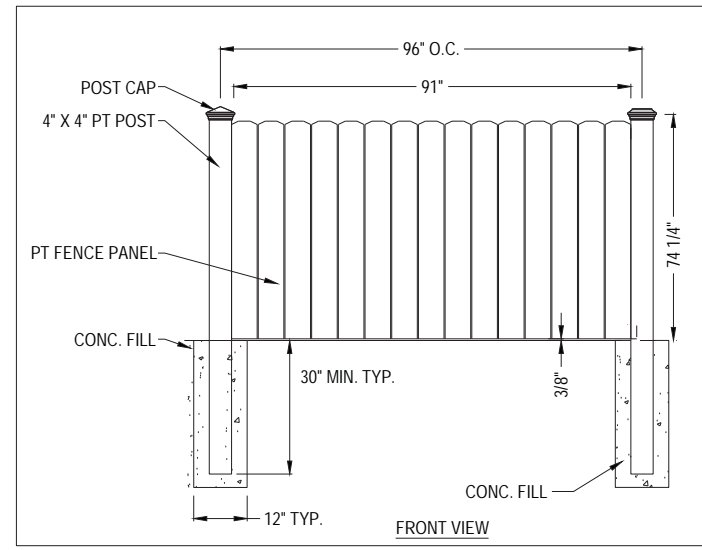
PH: 843.422.0850

JOB NUMBER: 7012.00  
 DATE: 10/31/2018  
 DRAWN BY: RC  
 CHECKED BY: RG  
 SCALE: AS NOTED

NOTES/  
DETAILS

SHEET:  
**L1.2**

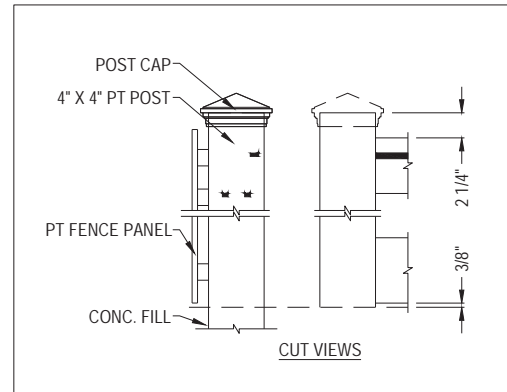
DATE PLOTTED: 2/17/2020 10:05:01 AM BY: Rick Gammon DRAWING PATH: /Users/rickgammon/Desktop/ACLS/7021.00 (MOPH)/7021.00 PLANTING PLAN.dwg © 2018 COLEMAN COMPANY, INC.



FENCE TO BE PAINTED:  
-COLOR: MINDFULL GRAY (SHERWIN WILLIAMS 7016)

**L-1 PRESSURE TREATED FENCE**

NOT TO SCALE



CUT VIEWS

**VISTA PROFESSIONAL OUTDOOR LIGHTING**

**SPECIFICATION SHEET**

**MODEL 5280-LED Landscape Series • In-Ground & Wall Lights**

**FIXTURE SPECIFICATIONS:**

**HOUSING:** Injection-molded, glass-reinforced Ryton® R-4 composite for strength & high UV stability – warranted for ten years against corrosion, suspended inside a 4" black ABS well. Housing bracket within ABS well provides up to ±45° of tilt.

**LENS COVER:** Injection-molded, glass-reinforced Ryton® R-4 composite fitted to housing with a silicone O-ring gasket – providing a superior weather-tight seal.

**FINISH:** Durable powder coat finish available in Black, Dark Bronze, Granite, White, Architectural Brick, Light Bronze, Special Bronze, Glossy Gray, Rust, Hunter Green, Weathered Bronze, Weathered Iron, Graphite Metallic, Verde, Pewter, Mocha and Olde Finish. Custom Powder coat finishes available on request.

**LENS:** Clear, tempered, shock & heat-resistant, soda-lime glass lens-crowned (convex) to promote water runoff. Optical effect lenses are available; see accessories column on fixture ordering information chart.

**LAMP TYPE:** High Output LED with Vista exclusive smart-driver, powered to operate for 50,000 hours.

**OPTICS:** Integral high-efficiency optics available in spot through flood beam spreads.

**ELECTRICAL:** Input voltage range 10.5-15V AC, regulated to achieve uniform illumination throughout the cable run of fixtures. Integral surge & reverse polarity protection.

**MOUNTING:** In-grade installation.

**FASTENERS/INSERTS:** All fasteners are stainless steel with brass inserts.

**WIRING:** Prewired with a three-foot pigtail of 18-2 street-burial cable & underground connectors for a secure connection to supply cable.

All Vista luminaires are MADE IN U.S.A.

**DIMENSIONS:**

Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.  
1425 Sunnyslope Avenue • San Valley, CA 93063 • (805) 527-0987 • (800) 766-VISTA (8476)  
FAX: (888) 670-VISTA (8476) • email@vistalighting.com • www.vistalighting.com

**L-2 VISTA 5280 IN-GRADE LIGHT**

NOT TO SCALE



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Vacation Homes Buffer Replanting

DRB#: DRB-000094-2020

DATE: 02/13/2020 02/17/2020 02/18/2020

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. The trees in the William Hilton ROW shall not be removed.

### **MISC COMMENTS/QUESTIONS**

1. The DRB issued a Final Approval of this project in Nov. of 2018. The contractor cleared the understory buffer even after its preservation was made a condition of the DRB approval. The owner was required to submit a plan to replant the buffer to the DRB for approval.
<del>2. Replace the Loropetalum around the sign with ornamental grass. The Loropetalum will grow to 6' requiring extensive pruning in this location. The Design Guide, page 20 states, "Proper spacing and location are required to allow for plants to reach their nature size and natural shape while avoiding excessing or unnatural pruning." Additionally native species are preferred in the buffer.</del>
<del>3. The William Hilton road frontage at the base of the road bank should be planted with no less than a triple staggered row of ornamental grass at 2' on centers. Staff suggest Fakahatchee Grass because it is more shade tolerant. The width of the planting should increase in areas where there are no trees or shrubs for a more natural feel.</del>
<del>4. Vinyl is not a material that is supported by the Design Guide. Page 8 of the Design Guide speaks to materials that are "strongly encouraged". Additionally the color of the fence must be specified.</del>
<del>5. The proposed fence lacks details that the Design Guide speaks to on page 8. The fence should include beginning, ending and corner columns that are critical for a fence that is highly visible.</del>
<del>6. The DPR approved a Type E, Option 2 Buffer (35' width). The buffer needs to be correctly shown and labeled on the landscape plan.</del>
<del>7. The proposed trees (magnolia, live oak and maple) are not understory. Please see LMO Tree Equivalency Table Category 2 and 4 trees include understory trees. Staff would suggest Eagleston or Dahoon Holly. These trees should be 10' min. at installation.</del>
<del>8. Two Pine trees (12" and 22") were removed from the buffer that is not allowed and they were not shown on the tree removal plan. There trees must be replaced at 1 mitigation tree per 10" removed (rounding up) or 4 pine trees (located in the front buffer) in addition to the required buffer trees. Only Category 1 trees can be substituted for Category 3 trees. Change the Maples in the front to a Category 1 tree (Magnolia or Live Oak).</del>
9. Staff suggest any DRB approval should be on condition that the live oaks in the William Hilton ROW not be removed.





**Town of Hilton Head Island**  
**Community Development Department**  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

**FOR OFFICIAL USE ONLY**  
 Date Received: 1/29/2020  
 Accepted by: Nicole J. Sheaf  
 DRB #: 202-2020  
 Meeting Date: \_\_\_\_\_

Applicant/Agent Name: Andrew Davis Company: Sign D'sign  
 Mailing Address: 270 Red Cedar Street, Suite 270 City: Bluffton State: SC Zip: 29910  
 Telephone: 843-757-7057 Fax: \_\_\_\_\_ E-mail: adavis@Sign-dsign.com  
 Project Name: Vacation Homes of Hilton Head Project Address: 3 Burkes Beach Rd  
 Parcel Number [PIN]: R  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

**Submittal Requirements for All projects:**  
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.  
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

**Additional Submittal Requirements:**  
**Concept Approval – Proposed Development**  
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.  
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.



Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

01/28/2020

DATE



**PROFESSIONAL  
OUTDOOR LIGHTING**

Type:

Model:

Project:

## SPECIFICATION SHEET

### MODEL 5280-LED Landscape Series • In-Ground & Well Lights

#### FIXTURE SPECIFICATIONS:

**HOUSING:**

Injection-molded, glass-reinforced Ryton® R-4 composite for strength & high UV stability – warranted for ten years against corrosion, suspended inside a 6" black ABS well. Housing bracket within ABS well provides up to ±45° of tilt.

**LENS COVER:**

Injection-molded, glass-reinforced Ryton® R-4 composite fitted to housing with a silicone O-ring gasket – providing a superior weather-tight seal.

**FINISH:**

Durable powder coat finish available in Black, Dark Bronze, Granite, White, Architectural Brick, Light Bronze, Special Bronze, Glossy Gray, Rust, Hunter Green, Weathered Bronze, Weathered Iron, Graphite Metallic, Verde, Pewter, Mocha and Olde Finish. Custom Powder coat finishes available on request.

**LENS:**

Clear, tempered, shock & heat-resistant, soda-lime glass lens- crowned (convex) to promote water runoff. Optical effect lenses are available; see accessories column on fixture ordering information chart.

**LAMP TYPE:**

High Output LED with Vista exclusive smart-driver, powered to operate for 50,000 hours.

**OPTICS:**

Integral high-efficiency optics available in spot through flood beam spreads.

**ELECTRICAL:**

Input voltage range 10.5–15V AC, regulated to achieve uniform illumination throughout the cable run of fixtures. Integral surge & reverse polarity protection.

**MOUNTING:**

In-grade installation.

**FASTENERS/INSERTS:**

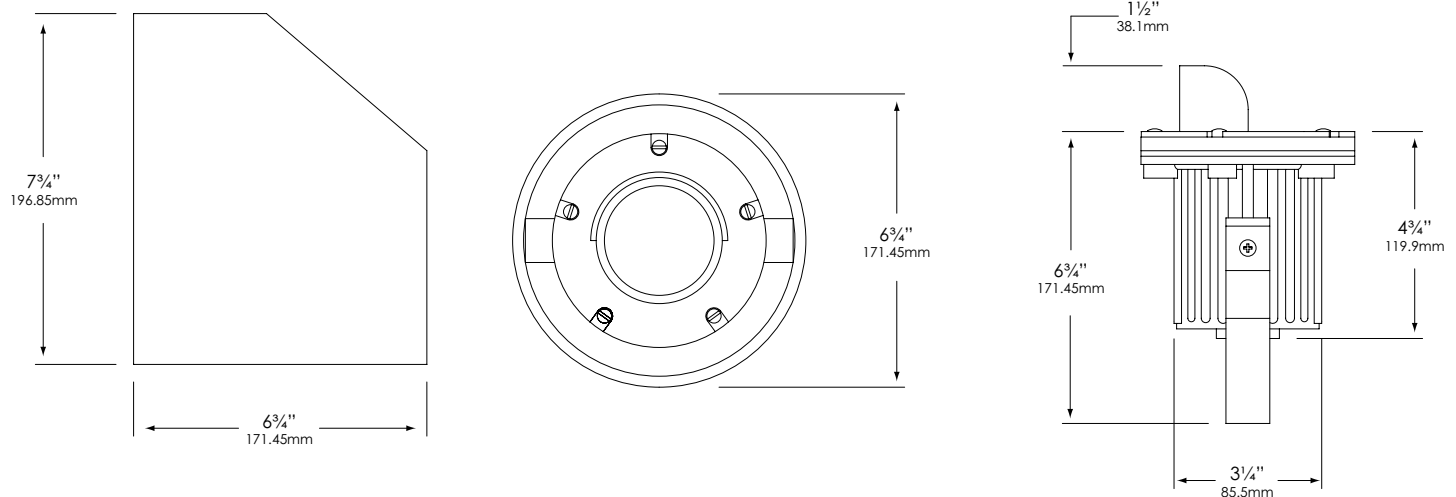
All fasteners are stainless steel with brass inserts.

**WIRING:**

Prewired with a three-foot pigtail of 18-2 direct-burial cable & underground connectors for a secure connection to supply cable.

All Vista luminaires are **MADE IN U.S.A.**

#### DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.





# SPECIFICATION SHEET

## MODEL 5280-LED Landscape Series • In-Ground & Well Lights

### FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

**EXAMPLE: GW-5280-B-W-LF3MF-SL**

MOUNTING	MODEL	FINISH	COLOR TEMP	LAMP	ACCESSORIES
GW - In-grade	5280	Standard	W - Warm C - Cool	LF3SP - 3 emitter, 5W, Spot LF3MF - 3 emitter, 5W, Med. Flood LF3WF - 3 emitter, 5W, Wide Flood  LF6SP - 6 emitter, 10W, Spot LF6MF - 6 emitter, 10W, Med. Flood LF6WF - 6 emitter, 10W, Wide Flood  LF9SP - 9 emitter, 17W, Spot LF9MF - 9 emitter, 17W, Med. Flood LF9WF - 9 emitter, 17W, Wide Flood  LED - Group F Emitter Qty - 3, 6 or 9 Temperature - Warm (W) or Cool (C) Operating voltage range - 10.5 to 15V.  (Please see lamp order code column on lamp guide, Vista product catalog.)	CBL - Crowned Cool Blue lens CFR - Crowned Frosted lens SL - Flat Spread lens DBL - Flat Dark Blue lens GL - Flat Dark Green lens RL - Flat Red lens YL - Flat Amber lens HL - Honeycomb louver
		B - Black			
		DZ - Dark Bronze			
		GT - Granite			
		W - White			
		Premium			
		BR - Architectural Brick			
		LZ - Light Bronze			
		SB - Special Bronze			
		GG - Glossy Gray			
R - Rust					
HG - Hunter Green					
WB - Weathered Bronze					
WI - Weathered Iron					
GM - Graphite Metallic					
Hand Finished					
G - Verde					
P - Pewter					
M - Mocha					
OF - Olde Finish					

Fixtures shipped with standard lamp, unless otherwise specified.

# VACATION HOMES OF HILTON HEAD | MONUMENT SIGN

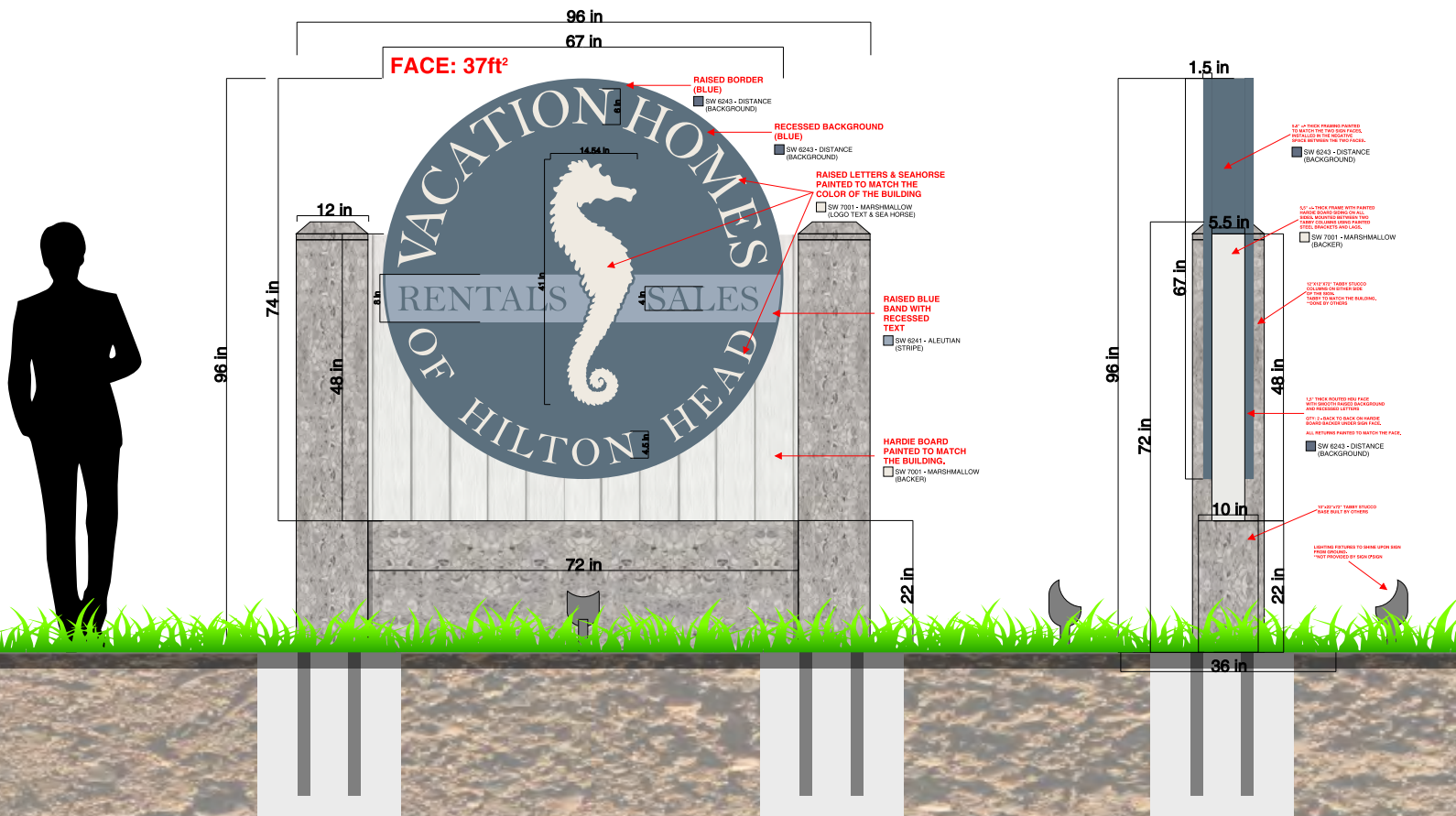
One new monument sign to read "<Logo> Vacation Homes of Hilton Head | Rentals & Sales" to be built and installed at the location shown on the enclosed renderings and site map. The monument will be built [not by Sign D'Sign] to consist of two 6' tall by 12" by 12" tabby stucco columns with a 22" tall by 10" wide by 6' long tabby stucco base. The tabby stucco will match the stucco of the building. To sit upon the base will be a 4' tall by 6' long by 5.5" wide custom built hardie board backer mounted between the two columns. The frame will be built using 2"x4" pressure treated lumber with the painted hardie board planks being affixed to the frame on both sides using nails. The hardie board planks will be painted to match the color scheme of the building. The newly constructed backer will be mounted between the two columns using painted metal brackets, bolts and fixtures along with industry standard mounting techniques. The monument will be double faced by featuring two signs mounted on either side of the hardie board backer. The sign faces will be constructed of 1.5" thick CNC routed HDU [Sign Foam] and will be routed out on one side at approximately 1/4" depth. The faces will feature raised borders and copy and a recessed background consisting of a smooth texture. The faces will be painted on all sides to match the color scheme of the building and will be affixed to either side of the hardie board backer using bolts and screws - painted over to match the area of which they penetrate. The two signs will appear back to back on the monument - as shown below - with the tops rising above the backer. The space between the two faces, above the backer, will be filled to create a solid area using painted HDU. The entire sign will be set into the ground approximately 2' deep with concrete a footer [Engineer calculations forthcoming] and will stand 8' above grade at finish and 10' from the Right of Way 2' from the edge of the property line. The sign will be externally illuminated using ground mounted light fixtures on both sides [lighting plan submitted by others]. The fonts used for the signs are Bell MT STD Regular and DIN Engelschrift STD. The sign and all of its elements will be manufactured, installed and assembled to the outlined size, area and color specifications listed below and will be created to mimic the style and color of the new building. [Landscape plan to be provided by others].

SW 6243 - DISTANCE  
(BACKGROUND LOGO SIGN)

SW 6241 - ALEUTIAN  
(STRIPE ON LOGO SIGN)

SW 7001 - MARSHMALLOW  
(LOGO TEXT, SEA HORSE, AND  
HARDIE BOARD BACKER)

MEDIUM SHELL TABBY STUCCO  
(TABBY STUCCO MONUMENT AND GARDEN  
BOX: BUILT BY OTHERS TO MATCH THE  
BUILDING)





**PROPOSED: FRONT VIEW**

SIGN TO BE INSTALLED  
2' FROM PROPERTY  
LINE.





**PROPOSED: RIGHT VIEW**



TREES WITH PINK BANDS  
TO BE REMOVED.  
TREES OFF PROPERTY  
NEED TO CONSULT DOT



**PROPOSED: LEFT VIEW**



TREES WITH PINK BANDS TO BE REMOVED. TREES OFF PROPERTY NEED TO CONSULT DOT

SIGN TO BE INSTALLED 2' FROM PROPERTY LINE.





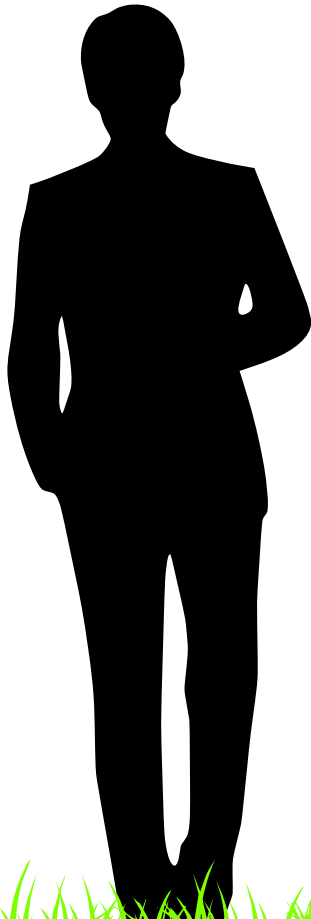
# VACATION HOMES OF HHI | DIRECTIONAL SIGN

One new directional sign to read "<Logo> Vacation Homes of Hilton Head | Rentals & Sales <arrow>" to be installed at the location shown on the enclosed renderings. The sign will be double faced and feature 4 panels installed back to back on one post (two on each side). The sign will be constructed of 1.5" thick routed HDU [Sign Foam] with raised borders and copy and a smooth, recessed background. The faces will be installed on either side of a painted post as shown below. The arrow will be flipped for the opposite side so that the direction is the same. The address number will be constructed of 1/2" thick CNC routed acrylic and will be painted to match the background color of the sign. The numbers will be mounted to the top of the post, above the logo faces using stud mounts. The sign will be set into the ground to stand 4' above grade at approximately 10' from the right of way. The sign will not be illuminated in any fashion. The font used is Bell MT STD Regular. The signs and post will be manufactured, painted and assembled to the outlined size color and placement specifications listed below. The faces will be screwed to the painted post with the exposed ends being painted over to match the color area penetrated.

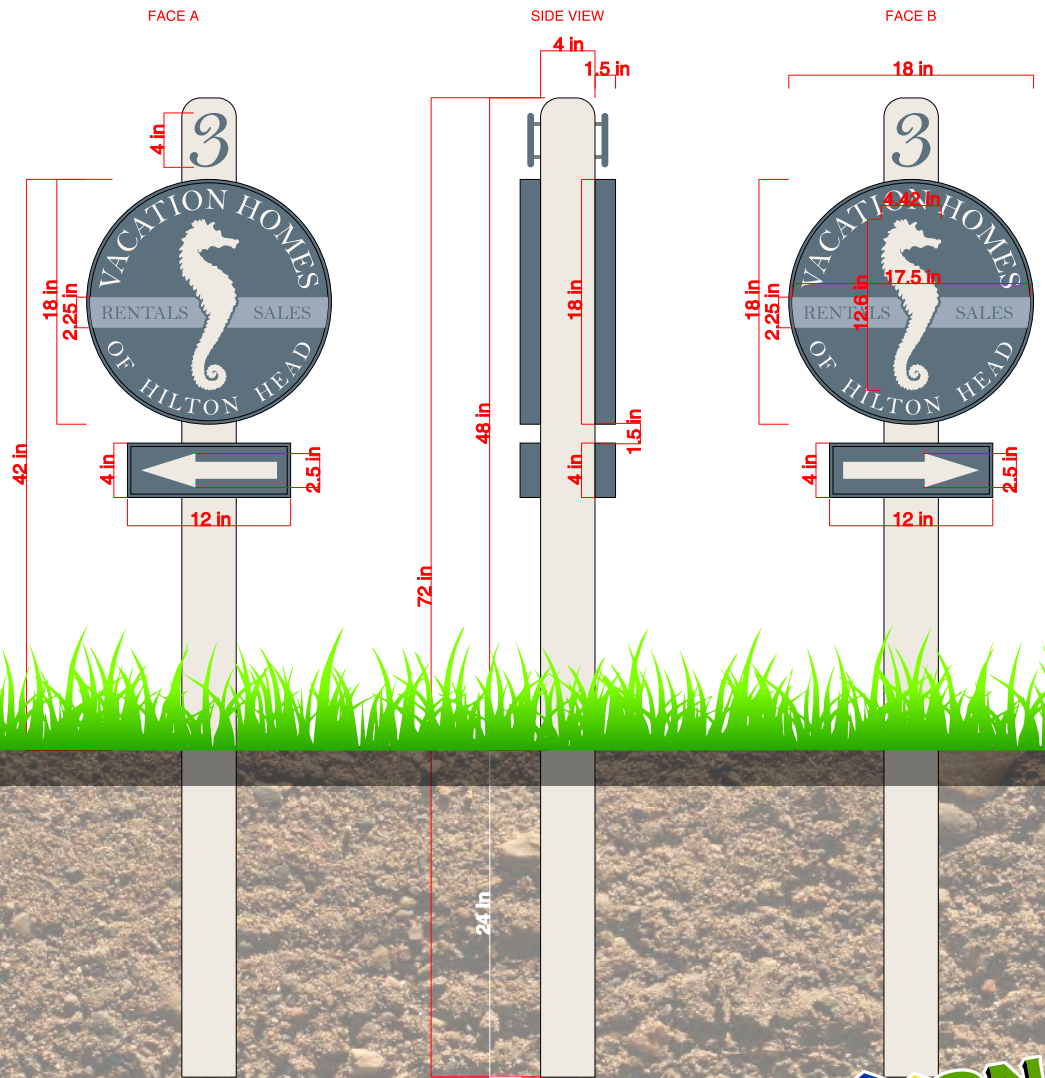
SW 6243 - DISTANCE  
(BACKGROUND COLORS)

SW 6241 - ALEUTIAN  
(STRIPE ON LOGO SIGN)

SW 7001 - MARSHMALLOW  
(LOGO TEXT, SEA HORSE, ADDRESS  
TEXT AND POST)



**FACE: 3ft<sup>2</sup>**





**PROPOSED: DIRECTIONAL**





# SITE MAP

N/F MTSC INC DELAWARE CORPORATION  
TAX PARCEL I.D. NO. R511-008-000-022F-0000



WILLIAM HILTON PARKWAY  
R/W VARIES

I.O. 1/2" REBAR W/CAP  
N 89°08'50" E 64.03'  
I.O. 1/2" REBAR

MONUMENT SIGN  
LOCATION  
2-3' FROM THE  
PROPERTY LINE

S 58°12'11" E 85.07'  
"X" IN CONCRETE (FOUND)  
"X" IN CONCRETE (FOUND)  
I.O. 1/2" REBAR W/CAP

**REVISED LOT 1-A**  
0.55 Ac.

I.O. 1/2" REBAR W/CAP  
L1  
I.O. 1/2" REBAR

DIRECTIONAL SIGN  
LOCATION  
BEHIND THE  
DITCH

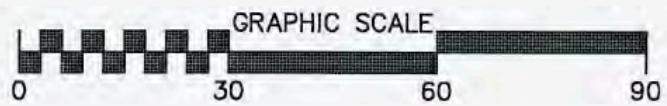
BURKES BEACH ROAD  
R/W VARIES

128.22' N 44°34'53" W

S 42°20'03" W (TOTAL) 60.22'  
I.O. 1/2" REBAR W/CAP  
113.66' 53.44'

S 67°38'39" E 81.17' (SURVEY TIE LINE)  
I.O. 1/2" REBAR W/CAP

N/F CYNTHIA FORD WILLIAMS  
REVISED LOT 2  
TAX PARCEL I.D. NO. R511-008-000-025A-0000



**REVISED LOT A**

TAX PARCEL I.D. NO. R511-012-000-0335-0000





## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Vacation Homes Monument Sign

DRB#: DRB-202-2020

DATE: February 14, 2020

RECOMMENDATION:    Approval               Approval with Conditions               Denial  

### RECOMMENDED CONDITIONS:

1. The request a sign location of “2 feet from property line” is not approved. Location must be staked out for staff approval prior to installing. The sign location cannot block the sight distance from Burkes Beach or the driveway to the adjacent property. The sign location cannot impede the drainage of the ditch along William Hilton Parkway.
2. Approval from Beaufort Jasper Water and Sewer Authority to locate sign and landscaping in 10’ water line easement along William Hilton Parkway.
3. Sign lighting is limited to 20 foot candles on the sign face and 3000 Kelvin in temperature.
4. Wind load calculations stamped and signed by a certified engineer stating the sign can withstand winds of up to 130 miles per hour to be submitted with sign permit.