



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, January 28, 2020 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes** – Meeting of January 14, 2020
- 6. Unfinished Business**
 - a. *Alteration/Addition*
 - i. Vacation Homes Buffer, DRB-000094-2020
 - ii. Palmetto Business Park, DRB-000106-2020
- 7. New Business**
 - a. *Alteration/Addition*
 - i. Marriott Harbour Point Roof, DRB-000076-2020
 - b. *New Development – Final*
 - i. Smokehouse, DRB-000084-2020
- 8. Appearance by Citizens**
- 9. Board Business**
- 10. Staff Report**
 - a. Minor Corridor Report
- 11. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board
Tuesday, January 14, 2020 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: None

Present from Town Council: Tamara Becker

Present from Town Staff: Chris Darnell, Urban Designer; Nicole Dixon, Development Review Administrator; Teri Lewis, Deputy Director of Community Development; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – Meeting of December 10, 2019

Vice Chairman Gentemann moved to approve the minutes of the December 10, 2019 regular meeting. Ms. Foss seconded. The motion passed with a vote of 7-0-0.

6. New Business

a. Alteration/Addition

i. Burkes Outlet, DRB-000027-2020

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Expand the planter to the left and right of the entrance façade to the extent possible and plant a large street tree in each.

The Board combined their comments and inquiries regarding this project Burkes Outlet DRB-000027-2020 and the next project Port Royal Plaza Renovations DRB-002636-2019.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the projects and answered questions by the Board.

The Board complimented the applicant for addressing their comments from the previous meeting. The Board discussed the projects in depth with the applicant, including: the revised façade balances out better than the previous proposal; both the charcoal gray color proposed for the fascia trim and the dark bronze color proposed for the storefront appear to be too dark; medium bronze was approved for the remainder of the shopping center and is the preferred color for the standing seam metal roofing and awnings, the storefront, and coping; replace the lap siding on the columns at Burke's with the fiber cement being used on the columns at the anchor tenants; the depth of the roof element on the two anchor stores is preferred; the roof element at Burkes needs to be deeper and at least match the depth of the anchor stores; the lower awnings over the doorways should be the same color as the standing seam metal roof; several landscaping options were discussed for the areas between the building and parking; the street trees should be at least a 4-inch minimum; the lighting fixtures at the existing canopy walkway are worn and the applicant agreed to change those out; the underside of the metal deck at the roof at the existing walkway needs to be repainted and the applicant agreed to repaint it white as it is intended to be currently.

Following the discussion, Chairman Strecker asked for a motion on this application.

Vice Chairman made a motion to approve DRB-000027-2020 with the following conditions:

1. Medium Bronze color shall be used for the standing seam metal roofing and awnings, the storefront, and coping.
2. Extend the depth of the roof element back to the wall of the main entry doors.
3. Replace the lap siding on the columns with fiber cement siding.
4. Expand the planter to the left and right of the entrance façade to the extent possible and plant a minimum four inch caliper street tree in each, and submit to Staff for review and approval.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

ii. Port Royal Plaza Renovations, DRB-002636-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Provide a landscape plan of the new planter and existing parking lot landscape islands for review and approval by Staff.

The Board made comments and inquiries regarding this application as noted above. Following the above discussion, Chairman Strecker asked for a motion on this application.

Vice Chairman Gentemann made a motion to approve DRB-002636-2019 with the following conditions:

1. Medium Bronze color shall be used for the standing seam metal roofing and awnings, the storefront, and coping.
2. Paint the underside of the existing colonnade area.
3. Replace the existing fluorescent fixtures with new ones and submit to Staff for review and approval.
4. The two planters shown at the Burke's entrance façade shall be extended. The planter on the left shall be extended to the first column of the left tenant. The planter on the right shall be extended to the first column of the right tenant. This condition is contingent upon Fire Marshal and Staff review and approval.

5. Provide a landscape plan for the existing parking lot landscape islands for review and approval by Staff.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

b. New Development – Final

i. HHI Go Kart Facility, DRB-002663-2019

(Mr. McAllister recused himself from review of DRB-002663-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends denial as submitted. However, Staff would support approval with the following conditions:

1. The lighting poles are 20 ft. in height.
2. The light is 4000K or less.
3. Track light levels shall not exceed 12 foot candle average and 20 foot candle maximum.
4. Submit a revised landscape plan to address the comments outlined in the Design Team/DRB Comment Sheet.
5. Address the Natural Resource Protection comments.
6. All conditions need to be reviewed and approved by Staff.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

Chairman Strecker asked for public comments and none were received.

The Board discussed the project in depth with the applicant, including: the Board generally agreed with Staff comments regarding landscaping; the entry landscaping should look more natural and organic; add some plantings between the path and the cart fence; northern side of the property and the western buffer should include more mature plant materials; the Board preferred to review the revised landscape plan as there are substantial changes; the Board generally agreed with Staff comments regarding lighting that 20' poles are preferred, with an average of 12 foot candles and maximum of 20 foot candles, and lighting maximum of 4000K; the decorative painted wood with welded wire fence was preferred to continue all the way around instead of changing over to the chain link fence; the decorative painted wood with welded wire fence needs to be the same size throughout; the chain link fence should blend in with nature to the extent possible; there was concern for low grass on the infield as not in keeping with the Design Guide, however, for safety measures are acceptable; compliments on the cart barn building; the cart barn is approximately 23' in height; the DPR determines the lighting pole height; the existing portable toilet and fence around it will be removed and the new bathroom installed; the HVAC equipment is screened by landscaping.

Following the discussion, Chairman Strecker asking for a motion.

Mr. Witmer made a motion to approve DRB-002663-2019 with the following conditions:

1. The detailing of the decorative painted wood with welded wire fence shall match the detailing on the landscape fence detail.
2. Lighting poles shall be a maximum of 25' height, lighting levels shall not exceed an average of 12 foot candles and maximum of 20 foot candles, and the lighting maximum 4000K.

3. Submit a revised landscape plan for Staff and one DRB member review and approval to address the following:
 - a. The landscape is not in proportion to the development.
 - b. The landscape is minimal and does not relate to the existing wooded environment.
 - c. Indicate on the planting plans areas of existing understory vegetation that is to remain. The Design Guide page 6, "Two of the most important site features that need to be identified are existing vegetation including understory and significant trees."
 - d. The location of plants do not take into account the natural environment:
 - i. There is a double staggered row of palms along Marshland in the middle of a lawn.
 - ii. There is a double staggered row of saw palmettos along the detention basin.
 - iii. Provide a planting strip at the fence between the cart track and the gravel sidewalk.
 - e. There are significant trees and wooded area on this site. The landscape plan does not meet the intent of the Design Guide page 18, "landscaping, planting of new vegetation is to be used to supplement the existing vegetation". The layout and species selection of the planting contrast the existing vegetation on the site.
 - f. Replace the Asiatic Jasmine in areas of sun and/or where it may receive foot traffic.
 - g. Reduce and/or eliminate the amount of sod.
 - h. On this site the use of palms and Little Gem Magnolia (a dwarf cultivar) does not meet the Design Guide page 19, "preserving the tree canopy". These should be replaced with large canopy tree species already present on this site.
 - i. The tree protection fence does not protect enough of the root zone.
 - j. A tree protection program – pre and post constructions fertilization, root stimulant, mycorrhizae treatment and mulching – by an arborist referenced in the conceptual comments is not specified.
 - k. Grading is shown within the drip line of specimen trees.
 - l. Increase buffer planting sizes on the western side of the property.
 - m. Increase plant material size on the northern side of the property.

Ms. Foss seconded. The motion passed with a vote of 6-0-0.

c. *New Development – Conceptual*

- i. Harris Teeter Fuel Station, DRB-001967-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Given this is a conceptual review and the comments and recommendations are with regards to details, Staff recommends approval with the conditions outlined in the Design Team/DRB Comment Sheet.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board generally agreed with Staff comments and particularly regarding architectural design elements. The Board made comments and inquiries regarding: the canopy roof should mimic the gabled roof on the adjacent Harris Teeter; the color of the materials should match the existing material colors of the adjacent Harris Teeter; the brick on the vending machine enclosures should be extended all the way up; there are no road improvements required as part of this project; utilize some of the same plant materials in the existing shopping center for consistency; concern for the galvanized metal roof decking proposed for the dumpster gate; some options were discussed for the dumpster gate; the Hartford Green color is the color of the existing Harris Teeter roof; review the ceiling of the canopy as large expanses of white are not in keeping with the Design Guide.

Following the discussion, Chairman Strecker asked for a motion.

Vice Chairman Gentemann made a motion to approve DRB-001967-2019 with the following conditions:

1. The color of the materials such as the metal roof, brick, stucco, etc. shall match the existing colors of the adjacent Harris Teeter store.
2. The brick on the vending enclosures shall be brought up to the soffit height to match the brick bases for the canopy.
3. Revise the dumpster gate detail.
4. The Design Review Board approved the conditions described in the Design Team/DRB Comment Sheet and as follows:
 - Provide dimensioned architectural sections.
 - A color board shall be provided at Final DRB review.
 - The canopy roof should be a true gabled roof in keeping with the Design Guide and to mimic the roof of the corner tower on Harris Teeter and not a mansard roof.
 - Since the ceiling of the canopy is a large part of this site, provide a reflected ceiling plan for the canopy. The applicant should refer to the ceiling of the Kroger fuel station as a good example of the ceiling detail of a fuel station canopy.
 - Blue Rhino cages should be screened. Staff suggests the applicant consider locating cages adjacent to dumpster enclosure.
 - A lighting plan showing foot candles, light temperature and fixture specifications/cut sheet shall be provided at Final DRB review.
 - Bollards should match other bollards in the shopping center.
 - Only two glass door merchandising units are shown on the elevation and four on the Fixture Plan (sheet C2-3, items E & F).
 - Specify waste receptacle color.
 - Stainless steel "U" bollard is not in keeping with the Design Guide. Specify a nature blending color.
 - Replace Cordgrass with Fakahatchee Grass, it is used elsewhere around Park Plaza.
 - Replace Short Leaf Pine (non-native) with Slash Pine (*Pinus elliotti*) or Long Leaf Pine (*Pinus palustris*).
 - Replace Saw Palmetto with Needle Palm (*Rhapidophyllum hystrix*).
 - How will the ground surface under existing trees be treated? Consider specifying mulch and showing the mulch line. Landscape plan should extend to the back of curb on the parking lot side.
 - Wild Ginger is not a viable groundcover in a commercial setting. Staff suggests low shrubs or ornamental grasses.
 - Specify on the Tree Protection Plan which trees will receive Pre and Post construction fertilization. Pre- construction fertilization must be completed prior to the pre-clear inspection. Staff suggests the following trees should be included: 29 Live Oak (west corner), 17" Gum and tree cluster (south corner), tree cluster at Office Park entrance, 17" and 21" Pine (adjacent to Office Park).
 - Specify height (10' minimum) and caliper (varies) to meet the LMO requirements.
 - The proposed sign location conflicts with existing vegetation to remain. Sign and sign location are approved under a separate permit.
 - The tree protection fence shall be wood post with wood rails.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

7. Appearance by Citizens – None

8. **Board Business** – None

9. **Staff Report**

- a. Minor Corridor Report – Mr. Darnell reported there were no Minor Corridor approvals since the previous meeting.

10. **Adjournment**

The meeting was adjourned at 3:42 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Mike Thomas Company: Thomas Design Group
 Mailing Address: 74 Sparwheel Lane City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-785-9434 Fax: _____ E-mail: mthomas.icon@gmail.com
 Project Name: Vacation Homes of Hilton Head Project Address: Hwy 278 & Burke's Beach Rd
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 0 2 5 0 0 0 0
 Zoning District: RD Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

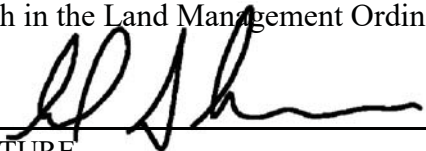
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2020.01.14

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Vacation Homes of Hilton Head **PROJECT #:** DRB-002555-2018
PROJECT ADDRESS: Hwy 278 & Burkes Beach Rd
CATEGORY: New Development – Final
ACTION DATE: November 13, 2018 **NOTICE DATE:** November 16, 2018
APPLICANT/AGENT: Mike Thomas, Thomas Design Group
74 Sparwheel Lane
Hilton Head Island, SC 29926
Email: mthomas.icon@gmail.com

On the above meeting date your Application received the following action:

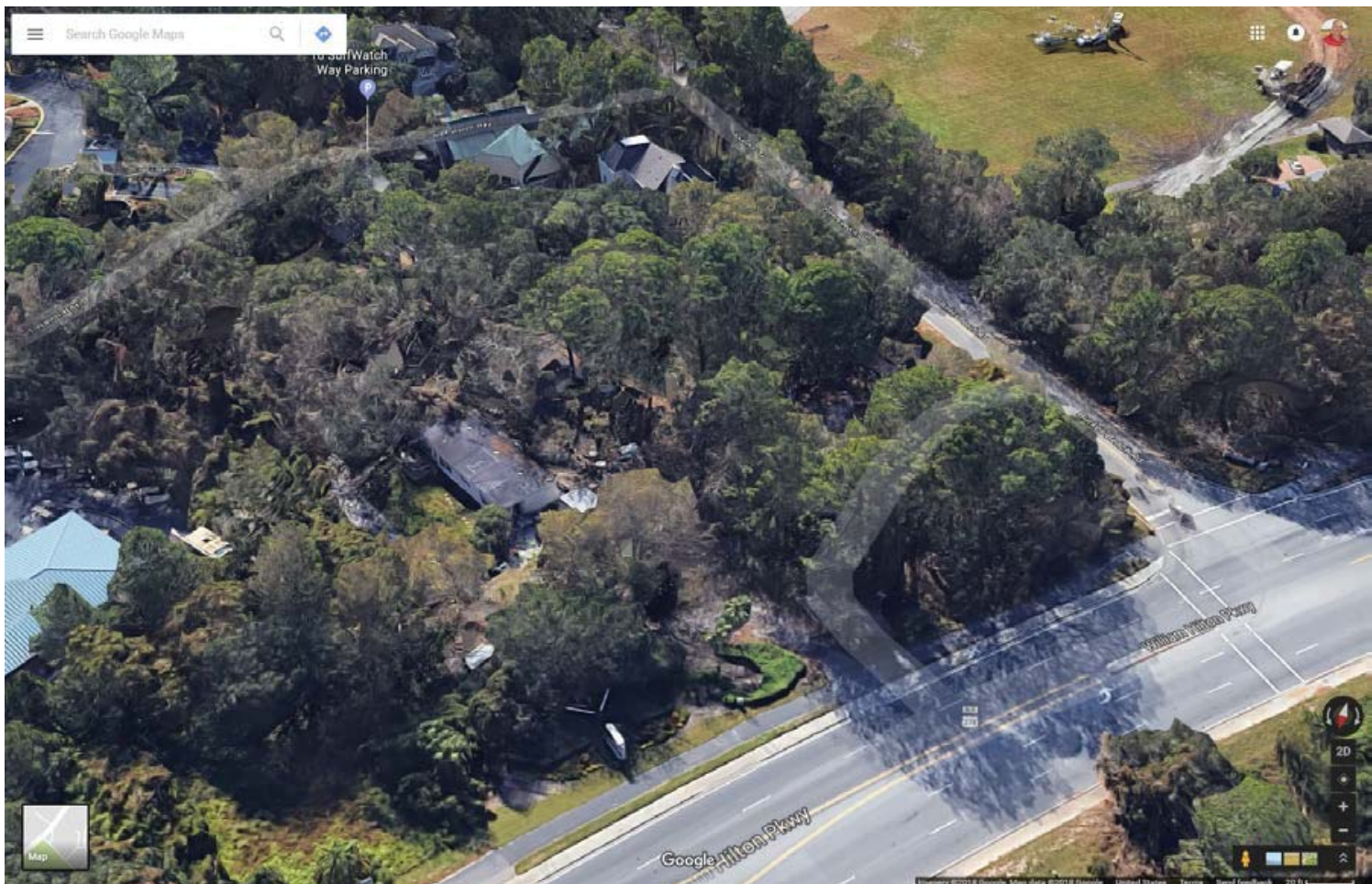
- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

- Existing understory growth in the Hwy 278 and Burkes Beach Buffer shall be identified to remain with limited removal of existing vines and invasive species. Any view corridors shall be identified and approved by Town Staff prior to removal of vegetation. Any selective thinning and under brushing shall be approved by Town Staff.
- Triple the number of shrubs (Anise or Wax Myrtle) between the parking lot and the adjacent driveway on the northern property line.
- Increase by 50% (6) the shrubs in the buffer on the southern property line.
- Red Maples and Oaks shall meet the minimum heights as stated on the plants list.
- Submit a bicycle rack detail for Staff review and approval.
- Submit an exterior lighting plan for Staff review and approval.
- Exterior lighting on building to follow the elevations shown on sheet A2.1, remove four lights from office level floor plan.
- Provide a cut sheet for ceiling fans for Staff review and approval.
- Modify the detail to show any visible roof overhang decking shall be tongue and groove.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Aerial Perspective



View of adjacent trailer property access & signage from Hwy 278 (subject site at right)



Front of subject site from Hwy 278 (Burke's Beach Rd at right)



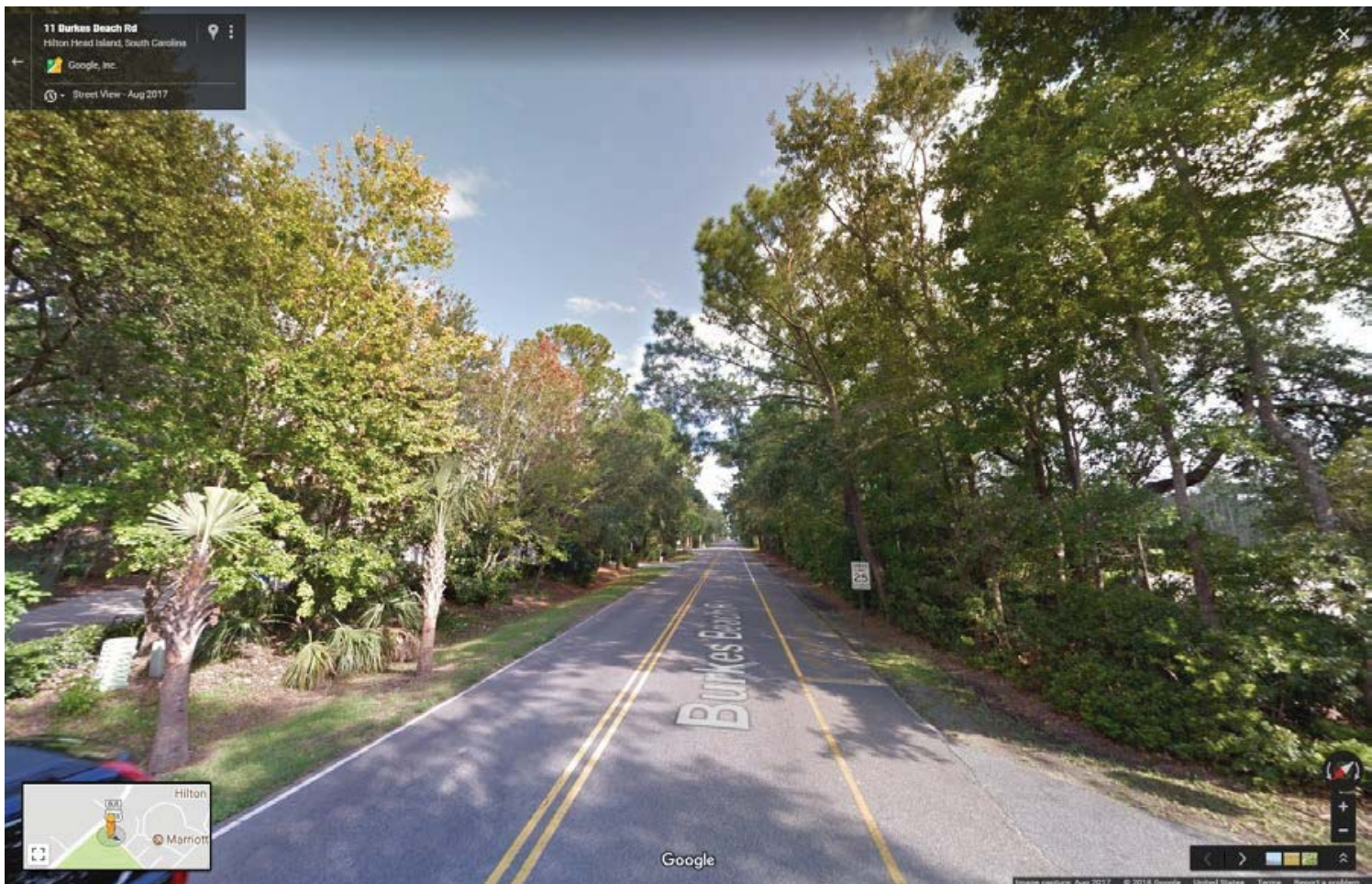
Corner of subject site from Hwy 278



Subject site at Burke's Beach Rd



Existing site access at Burke's Beach Rd



BB Rd looking towards beach direction



View of athletic field access across the street from subject site and BB Rd











Know what's below.
Call before you dig.

WILLIAM HILTON PARKWAY 100' R/W

BURKE'S BEACH ROAD 60' R/W

EX. 10' WATERL

25 MPH POSTED SPEED LIMIT
SIGHT DISTANCE = 350'

EDGE OF PAVEMENT

32" LF 15" RCP

(1) LIVE OAK
(1) MAGNOLIA

(3) AZALEA
(1) MAGNOLIA
(7) MUHLY GRASS

(8) YAUPON HOLLY
(3) MAGNOLIA
(7) WAX MYRTLE

(1) LIVE OAK
(1) RED BUD

(1) RED BUD
(6) WAX MYRTLE

(3) ANISE
(11) AZALEA
(1) MAPLE
(3) WAX MYRTLE

(3) SABAL PALM
(3) ANISE
(12) AGAPANTHUS
(3) WAX MYRTLE

(2) MAGNOLIA

(19) GARDENIA
(1) MAGNOLIA
(6) LOROPETALUM
(5) LOROPETALUM
(3) SABAL PALM
(3) VIBURNUM
(5) MUHLY GRASS

(5) PODOCARPUS
(13) MUHLY GRASS
(3) VIBURNUM
(11) LOROPETALUM
(9) LOROPETALUM

(11) AGAPANTHUS
(3) SABAL PALM

20' ADJACENT USE BUFFER
TYPE "A" OPTION 1

(1) LIVE OAK
(3) ANISE
(1) MAPLE

(1) RED BUD
(5) VIBURNUM

(1) MAGNOLIA
(1) MAPLE
(5) ANISE

(15) MUHLY GRASS
(1) MAGNOLIA

(3) VIBURNUM
(3) ANISE
(1) LIVE OAK

(5) VIBURNUM
(1) LIVE OAK
(3) VIBURNUM
(1) RED BUD

NOTES:

1. PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
2. ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES ±0.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
5. ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.
7. IRRIGATION SYSTEM TO BE DESIGNED BY CONTRACTOR AND SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

REVISIONS:

REVISION 02-09-2019
REVISION 01-14-2020

NOT FOR CONSTRUCTION



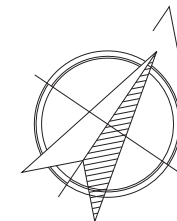
PH: 843.422.0850

JOB NUMBER: 7012.00
DATE: 10/31/2018
DRAWN BY: RC
CHECKED BY: RG
SCALE: AS NOTED

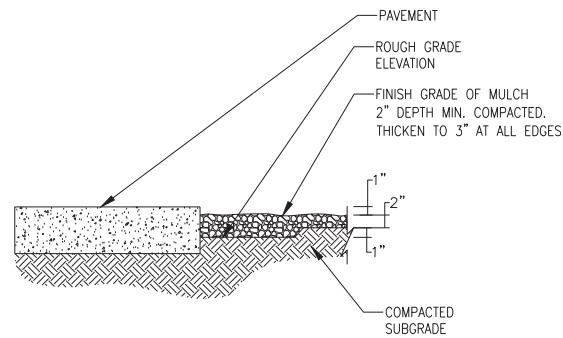
PLANTING PLAN

SHEET:

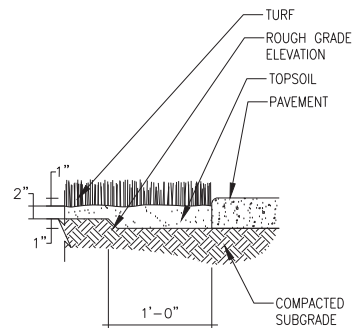
L1.0



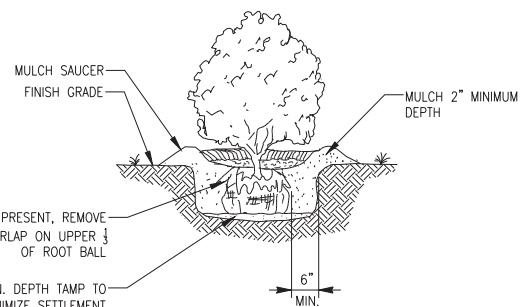
SCALE: 1"=20'
0' 10' 20' 40'



L-9 FINISHED GRADE OF MULCH AT PAVEMENT
NOT TO SCALE

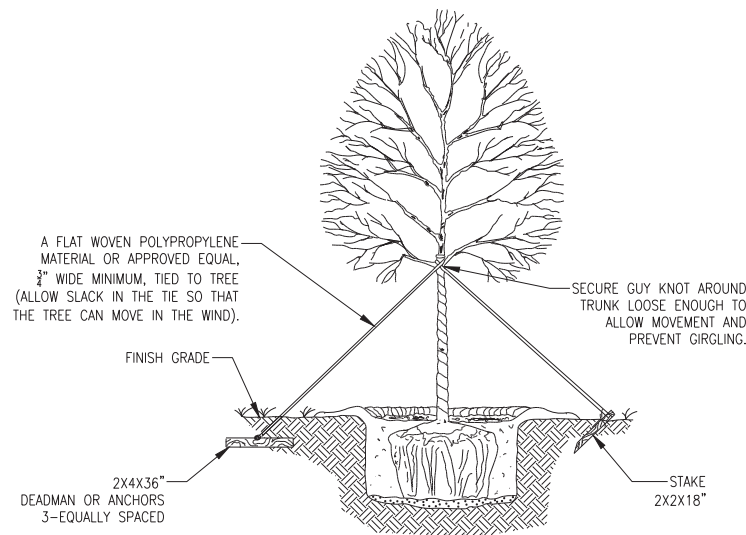


L-8 FINISHED GRADE OF TURF AT PAVEMENT
NOT TO SCALE



- NOTES:
- CLEANLY PRUNE ONLY DAMAGED, DISEASED AND OR WEAK BRANCHES IF NECESSARY.
 - FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT WHEN GROWN.

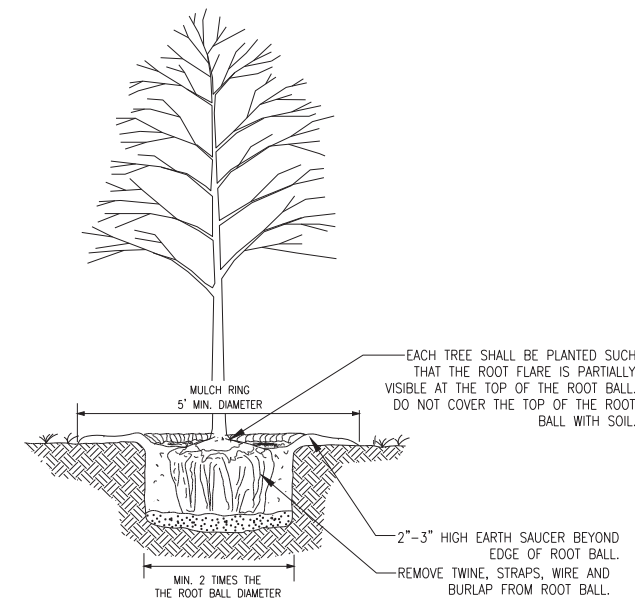
L-5 SHRUB PLANTING
NOT TO SCALE



NOTE:
-SELECT DEADMAN, ANCHORS OR STAKES TO SECURE TREE

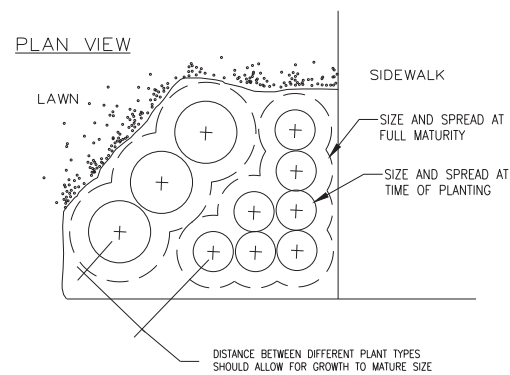
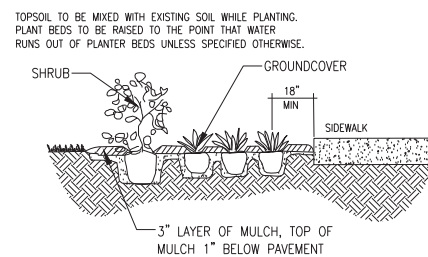
- NOTES:
- STAKE TREES ONLY WHEN NECESSARY, STAKES TO BE REMOVED 6 MONTHS AFTER PLANTING.
 - TREES LARGER THAN 2 inch CALIPER SHOULD BE STAKED BY THREE STRAPS WHEN NECESSARY.

L-3 TREE STAKING
NOT TO SCALE

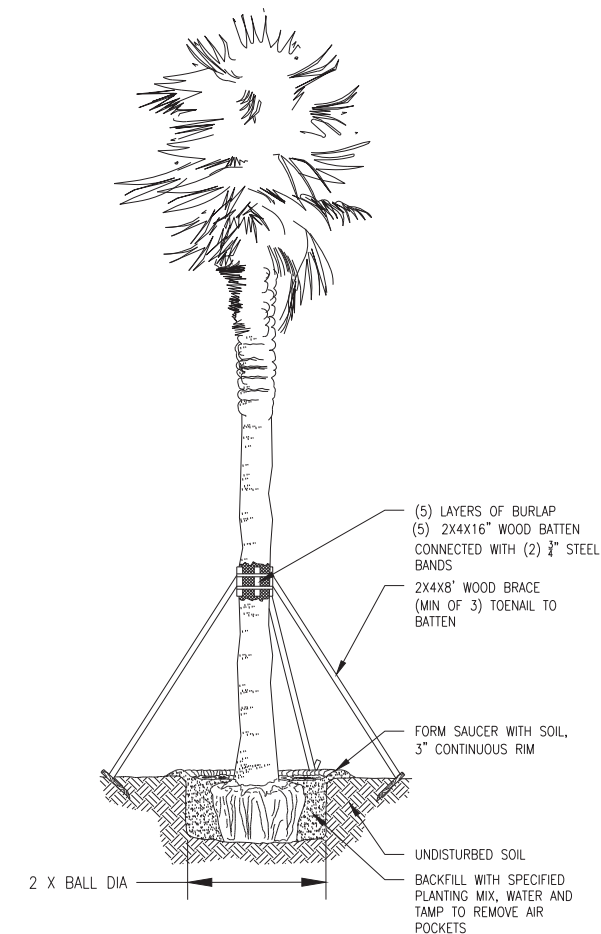


- NOTES:
- TREES SHALL BE PRUNED IMMEDIATELY AFTER PLANTING TO REMOVE DEAD, BROKEN, DISEASED, DYING OR RUBBING BRANCHES. CO-DOMINANT STEMS LESS THAN 4 inch IN DIAMETER AT THE FORK SHALL BE PRUNED OFF AND ONE MAIN STEM REMAIN. TREE TOPPING OR HEADING IS NOT PERMITTED AT ANY TIME.
 - STAKING IS NOT REQUIRED, BUT IF INSTALLED IT SHALL BE REMOVED NO LATER THAN ONE YEAR AFTER PLANTING

L-1 TREE PLANTING
NOT TO SCALE



L-6 SHRUB AND GROUND COVER SPACING
NOT TO SCALE



L-2 PALM TREE PLANTING
NOT TO SCALE

LANDSCAPE PLANS FOR
COMMERCIAL DEVELOPMENT
LOCATED IN HILTON HEAD ISLAND, SOUTH CAROLINA
PREPARED FOR: VACATION HOMES OF HILTON HEAD

REVISIONS:

REVISION	02-09-2019
REVISION	01-14-2020

NOT FOR CONSTRUCTION

PH: 843.422.0850

JOB NUMBER:	7012.00
DATE:	10/31/2018
DRAWN BY:	RG
CHECKED BY:	RG
SCALE:	AS NOTED

DETAILS

SHEET:
L1.1

PLANTING NOTES

- GENERAL:**
- CONTRACTOR SHALL BE KNOWLEDGEABLE OF ALL OTHER SITE IMPROVEMENTS PRIOR TO STARTING LANDSCAPE WORK AND SHALL PROMPTLY REPORT AN DISCREPANCIES.
 - CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING TO AVOID DISTURBING ANY EXISTING UTILITIES. IF ANY ARE ENCOUNTERED, CONTRACTOR IS TO PROMPTLY ADVISE THE GENERAL CONTRACTOR, LANDSCAPE ARCHITECT, AND OWNER.
 - GENERAL SITE CONTRACTOR SHALL PROVIDE SUBGRADE TO WITHIN ½" OF FINISH GRADE.

PLANT QUALITY:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TREES, SHRUBS, GROUNDCOVER, VINES AND SOD AS SHOWN ON LANDSCAPE PLAN. ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE ASSOCIATION OF NURSERYMEN, 1250 I STREET, N.W. SUITE 500, WASHINGTON D.C. 20005, (202) 739-2900.
- ALL PLANT MATERIAL SHALL HAVE A ONE-YEAR WARRANTY UPON ACCEPTANCE BY THE OWNER.**
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, AND HAVE A NORMAL WELL-DEVELOPED BRANCHING STRUCTURE AND A VIGOROUS FIBROUS ROOT SYSTEM. PLANTS SHALL BE HEALTHY, VIGOROUS, AND FREE FROM INSECTS AND DISEASE. TREE TRUNKS NOT LOWER THAN FOUR FEET ABOVE THE GROUND, DEPENDENT ON THE SPECIES. TRUNKS AND STEMS SHALL BE FIRM WITH NO INDICATION OF FUNGAL CANKERS, GALLS, INSECT BORERS, DIE BACK, FROST CRACKS, SUN SCALD, OR OTHER DEFECTS THAT WOULD CAUSE THE TREE TO DECLINE OR BECOME STRUCTURALLY UNSOUND. TREES SHALL BE DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS SHALL BE COMMERCIAL GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF CHATHAM COUNTY (A.H.S. PLANT ZONE 8).
- ALL PLANTS SHALL BE EQUAL OR EXCEED THE MINIMUM SIZE AS SHOWN IN THE PLANT LIST, AND ALL METHODS OF PLANT MEASUREMENT SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK".
- CALIPER OF MULTI-TRUNK TREES SHALL BE DETERMINED BY MEASURING THE LARGEST TRUNK ONLY.
- PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATIONS AND REQUIREMENTS.** SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK. ACCEPTANCE AT THE NURSERY, IN WHICH THE PLANT IS GROWING PRIOR TO TRANSPLANTING, DOES NOT PRECLUDE REJECTION AT THE SITE FOR JUST CAUSE.

ROOT SYSTEM:

- ALL TREE SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NO BARE ROOT TREES SHALL BE ACCEPTABLE.
- ALL SHRUBS SHALL BE BALLED AND BURLAPPED (B&B) OR CONTAINER GROWN. NO BARE ROOT SHRUBS SHALL BE ACCEPTABLE.
- THE MINIMUM SIZE OF BALLS, BALL DEPTHS, AND BALL DIAMETER SHALL CONFORM TO BALLING AND BURLAPPING SPECIFICATIONS AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL BALLED AND BURLAPPED PLANTS SHALL HAVE THE TOP 1/2 OF THE BURLAP REMOVED FROM THE BALL AFTER THE POSITION OF THE PLANT IS STABILIZED. NO BURLAP SHALL BE REMOVED FROM UNDER THE BALL, AND ALL WIRE AND SURPLUS FROM THE TOP OF THE BALL SHALL BE REMOVED.

SEEDING AND SODDING:

- ALL EXTERIOR GROUND AREA NOT OCCUPIED BY BUILDINGS, STRUCTURES, PAVEMENT, PLANT MATERIAL, AND MULCH SHALL BE SEEDED OR SODDED IN AN ACCEPTABLE MANNER IN ACCORDANCE WITH LOCAL NURSERY STANDARDS, UNLESS OTHERWISE NOTED.
- ALL SEED SHALL BE PURCHASED FROM A REPUTABLE SUPPLIER AND SHALL BEAR THE CURRENT SEASON'S CERTIFICATES OF WEIGHT, PURITY AND GERMINATION.
- ALL SOD SHALL BE COMMERCIAL GROWN, STRONGLY ROOTED AND FREE FROM WEEDS.
- ALL SOD SHALL BE LAYED WITHIN 48 HOURS AFTER BEING CUT AT THE NURSERY.
- SOD SHALL BE LAYED OUT SO THAT NO VOIDS OCCUR AND IN SUCH A MANNER THAT THE END JOINTS BETWEEN INDIVIDUAL SOD PIECES OF ADJOINING ROW DO NOT COINCIDE. SOD SHALL BE LAID ON TOPSOIL AT THE REQUIRED FINISH GRADE AND SHALL BE FLUSH WITH ADJACENT PAVEMENT, CURBS, AND PLANTING BED EDGES.

TOPSOIL:

- CONTRACTOR SHALL PROVIDE A MINIMUM 3" DEPTH OF TOPSOIL IN ALL PLANTING AREAS.
- ALL TOPSOIL SHALL BE FREE FROM ROCKS, DEBRIS, NOXIOUS WEEDS, EXCESSIVE WEEDS, PLANT WASTE, SUBSOIL, HEAVY CLAY, ROOTS, STUMPS, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH
- TOPSOIL SHALL BE NATURAL, FERTILE, SANDY LOAM POSSESSING CHARACTERISTICS COMMON TO PRODUCTIVE SOILS IN THE SOUTHEASTERN COASTAL REGION, AND IT SHALL NOT CONTAIN ANY TOXIC SUBSTANCES.

PLANTING:

- GROUND COVER SHALL BE PLANTED AS SPECIFIED BELOW:
 - GROUND COVER SHALL BE PLANTED IN AN EQUILATERAL TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN ON THE PLANT LIST.
 - WHERE GROUND COVER ABUTS CURBS, PAVEMENT, SIGNS AND POLES, MINIMUM PLANTING DISTANCE SHALL BE 12" FROM CENTER OF PLANT TO SAID OBJECT.
 - GROUND COVER SHALL BE PLANTED A MINIMUM OF 14" FROM CENTER OF ALL TREES.
- SHRUBS AND GRASSES SHALL BE PLANTED A MINIMUM OF 4' FROM CENTER OF ALL LARGE TREES.
- SHRUBS AND TREES SHALL BE PLANTED A MINIMUM OF 36" FROM CURBS AT CAR PARKING AREAS TO ALLOW FOR OVERHANG, UNLESS WHEEL STOPS ARE PROVIDED.
- NO LARGE OR MEDIUM TREE SPECIES SHALL BE PLANTED WITHIN TEN (10) FEET OF ANY UNDERGROUND UTILITY LINE OR UNDERNEATH ANY OVERHEAD POWER LINES. SMALL TREE SPECIES MUST MAINTAIN A MINIMUM FIVE (5) FOOT SEPARATION FROM UNDERGROUND UTILITY LINES.
- TREES SHALL BE PLANTED AT PROPER DEPTH OR SHALL BE REJECTED AT TIME OF INSPECTION. STAKE TREES ONLY WHEN NECESSARY.

FERTILIZER:

- CONTRACTOR SHALL PERFORM A SOIL TEST ON ALL PROPOSED LANDSCAPE AREAS BEFORE INSTALLING ANY PROPOSED PLANT MATERIAL.
- IF A SOIL TEST DETERMINES THAT ADDITIONAL SOIL AMENDMENTS ARE REQUIRED, CONTRACTOR SHALL APPLY AN APPROPRIATE FERTILIZER IN CONFORMANCE WITH INSTRUCTIONS ON THE CONTAINER.

MULCH:

- ALL TREES AND SHRUBS SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 3" LAYER OF ACCEPTABLE MATERIAL.
- ALL GROUND COVER SHALL BE MULCHED IMMEDIATELY FOLLOWING INSTALLATION WITH A MINIMUM 1" LAYER OF ACCEPTABLE MATERIAL.
- ACCEPTABLE MULCHING MATERIAL INCLUDES PINE NEEDLES, SHREDDED BARK, AND WOOD CHIPS.

WATERING:

- ALL PLANTS INCLUDING TREES, SHRUBS, AND GROUNDCOVER SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.
- ALL SEEDED AND SODDED AREAS SHALL BE THOROUGHLY WATERED IMMEDIATELY FOLLOWING INSTALLATION.

MAINTENANCE:

- CONTRACTOR SHALL INSPECT PLANTS ON A WEEKLY BASIS, MAINTAIN AND WATER ALL SODDED AREAS AND PLANT MATERIALS, AND WEED, PRUNE, AND RE-MULCH PLANTING BEDS AS NECESSARY MAINTAIN HEALTHY GROWING CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETE.
- OWNER IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL PLANT MATERIAL UPON COMPLETION OF LANDSCAPE INSTALLATION.
- GUYING AND STAKING SHALL BE REMOVED NO LATER THAN 6 MONTHS AFTER INSTALLATION.

PLANT ALTERATIONS AND SUBSTITUTIONS:

- ANY CHANGE IS PLANT QUANTITY, PLANT SPECIES, PLANT SIZE, OR PLANT LOCATION IS UNACCEPTABLE WITHOUT SPECIFIC APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

IRRIGATION:

- CONTRACTOR TO PROVIDE A DESIGN/ BUILD AUTOMATIC IRRIGATION SYSTEM FOR ALL PLANTING AREAS. PROVIDE ALL DESIGN, AGENCY APPROVALS, LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO COMPLETE THE IRRIGATION WORK. THE WORK SHALL INCLUDE, BUT IS NOT LIMITED TO:
 - PROVIDING A COMPLETE IRRIGATION SYSTEM AT ALL LANDSCAPED & GRASSED AREAS SHOWN ON THE LANDSCAPE PLAN.
 - ALL TREES AND LANDSCAPED AREAS SHALL BE PROVIDED WITH A MEANS FOR DELIVERY OF WATER IN A QUANTITY THAT IS SUFFICIENT TO ESTABLISH AND MAINTAIN THE VIABILITY OF THE PLANTS.
 - IN-GROUND SYSTEMS INSTALLED WHICH SUPPLY WATER TO ALL NEWLY PLANTED TREES AND PLANT MATERIALS.
 - VERIFY ALL UNDERGROUND UTILITY LOCATIONS.
 - COORDINATE WORK OF THIS SECTION WITH THE WORK OF ALL RELATED TRADES AND SUBCONTRACTORS TO ASSURE SMOOTH PROGRESSION OF WORK.
 - PROTECTION AND/OR RESTORATION OF ALL EXISTING IMPROVEMENTS.
 - TRENCHING AND BACKFILLING FOR ALL PIPES, VALVES AND DRAIN PITS IS SPECIFIED.
 - FURNISHED AND INSTALLING ALL MAINS, LATERALS, RISERS AND FITTINGS, SPRINKLER HEADS, QUICK-COUPLING VALVES, GATE VALVES, CONTROL VALVES, CONTROLLERS, ELECTRIC WIRE, CONTROLS, ETC. AND ALL NECESSARY SPECIALTIES AND ACCESSORIES.
 - FURNISHING AND INSTALLING ALL SLEEVES BENEATH WALKWAYS, ROADS AND DRIVEWAYS WHERE REQUIRED.
 - REGULATING AND ADJUSTING ALL SPRINKLER HEADS, TIME SEQUENCE CONTROL DEVICES AND SECTION VALVES.
 - TESTING OF IRRIGATION SYSTEM.
 - CONTRACTOR SHALL WARRANTY THE IRRIGATION SYSTEM FOR ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER.
 - ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF STATE AND LOCAL AGENCIES, INCLUDING ANY LOCAL HEALTH AND PLUMBING CODES, ELECTRICAL/MECHANICAL CODES.
- SUBMITTAL:
 - PROVIDE DIAGRAMMATIC PLANS OF IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR INCLUSION IN AS-BUILT SET OF DRAWINGS.
 - SUBMIT PLANS TO JURISDICTION FOR APPROVAL IF REQUIRED, AND TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- CONNECT TO WATER SYSTEM WATER METER AND DOUBLE-CHECK BACKFLOW PREVENTER ON IRRIGATION SYSTEM AT POINT SHOWN ON PLANS PROVIDED IN 2A ABOVE.

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CAL	CONT.	SPACING	NOTES
TREES							
3	Acer rubrum	Red Maple	10'-12'	2' cal	-	-	Single trunk, well balanced crown
4	Cercis canadensis	Redbud	-	-	30 gal	-	Single trunk
8	Ilex vomitoria	Yaupon Holly	6' min	-	-	-	3'-4' width
11	Magnolia grandiflora	Magnolia DD Blanchard	10'-12'	2' cal	-	-	Single trunk
5	Quercus virginiana	Live Oak	10'-12'	2' cal	-	-	Single trunk, well balanced crown
9	Sabal palmetto	Sabal Palm	10'-12'	-	-	-	Single trunk, well balanced crown
SHRUBS							
14	Azalea species 'Encore'	Azalea Encore	36"-42"	-	7 gal	-	-
19	Gardenia jasminoides	Gardenia Vetchii	24"-30"	-	3 gal	-	-
17	Illicium parviflorum	Florida Anise	36"-42"	-	7 gal	-	-
31	Loropetalum chinense 'Ever Red'	Loropetalum	24"-30"	-	3 gal	-	-
5	Podocarpus macrophyllus	Podocarpus	36"-42"	-	7 gal	-	-
19	Myrica cerifera	Wax Myrtle	6' min	-	-	-	3'-4' width
19	Viburnum odoratissimum	Viburnum	36"-42"	-	7 gal	-	-
PERN/ GRASSES/ GROUNDCOVERS							
23	Agapanthus	Agapanthus	12"-16"	-	3 gal	-	-
40	Muhlenbergia	Muhly grass	10"-12"	-	3 gal	-	-
TURF							
-	Zoysia japonica	Empire Zoysia	-	-	-	-	-

LANDSCAPE PLANS FOR
COMMERCIAL DEVELOPMENT
 LOCATED IN HILTON HEAD ISLAND, SOUTH CAROLINA
 PREPARED FOR: VACATION HOMES OF HILTON HEAD

REVISIONS:

REVISION	02-09-2019
REVISION	01-14-2020

NOT FOR CONSTRUCTION



PH: 843.422.0850

JOB NUMBER: 7012.00
 DATE: 10/31/2018
 DRAWN BY: RC
 CHECKED BY: RG
 SCALE: AS NOTED

NOTES

SHEET:
 L1.2

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Vacation Homes Buffer Replanting

DRB#: DRB-000094-2020

DATE: 01/19/2020 ~~01/20/2019~~

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. The DRB issued a Final Approval of this project in Nov. of 2018. The contractor cleared the understory buffer even after its preservation was made a condition of the DRB approval. The owner was required to submit a plan to replant the buffer to the DRB for approval.
2. ~~Delete the pot size specification (30 gal.) from the wax myrtle and yaupon holly specifications on the plant schedule emphasizing the 6' height and 4-3' spread specification needs to be met.~~



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects
Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
Project Name: Palmetto Business, LLC Project Address: Lot 8 Palmetto Business Park
Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 9 0 0 0 0 0 0
Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.
Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



01.16.20

SIGNATURE

DATE



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Palmetto Business **PROJECT #:** DRB-002359-2019
PROJECT ADDRESS: Lot 8 Palmetto Business Park
CATEGORY: New Development – Final
ACTION DATE: November 26, 2019 **NOTICE DATE:** Dec. 3, 2019
APPLICANT/AGENT: Timothy Probst, Parker Design Group Architects
10 Palmetto Business Park Suite 201
Hilton Head Island, SC 29928
Email: tim@pdg-architects.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. The landscape plan shall return for DRB review and approval after mitigation requirements are met per the LMO.
2. The lighting plan shall be revised and submitted with the landscape plan for DRB review and approval.
3. The fencing location shall be revised as required by the LMO and submitted for DRB review and approval.
4. The chain link fence at the service yard shall be powder coated dark brown.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Plant Schedule

Qty	Size	Common Name	Latin Name
6	30G	Southern Live Oak	Quercus virginiana
10	30G	Dahoon Holly Tree	Ilex cassine
3	15-16'	Palmetto Palm	Sabal palmetto
15	7G	Cherry Laurel	Prunus caroliniana
17	7G	Saw Palms	Serenoa repens
10	7G	Cinnamon Girl Distyllum	Distyllum 'Cinnamon Girl'
14	7G	Podocarpus	Podocarpus macrophyllus
24	7G	Lavender Formosa Azalea	Azalea indica 'Lavender Formosa'
19	3G	Confederate Jasmine	Trachelospermum jasminoides
6	3G	African Iris	Dietes vejeta

Tree Survey Lot = 0.54 Acres

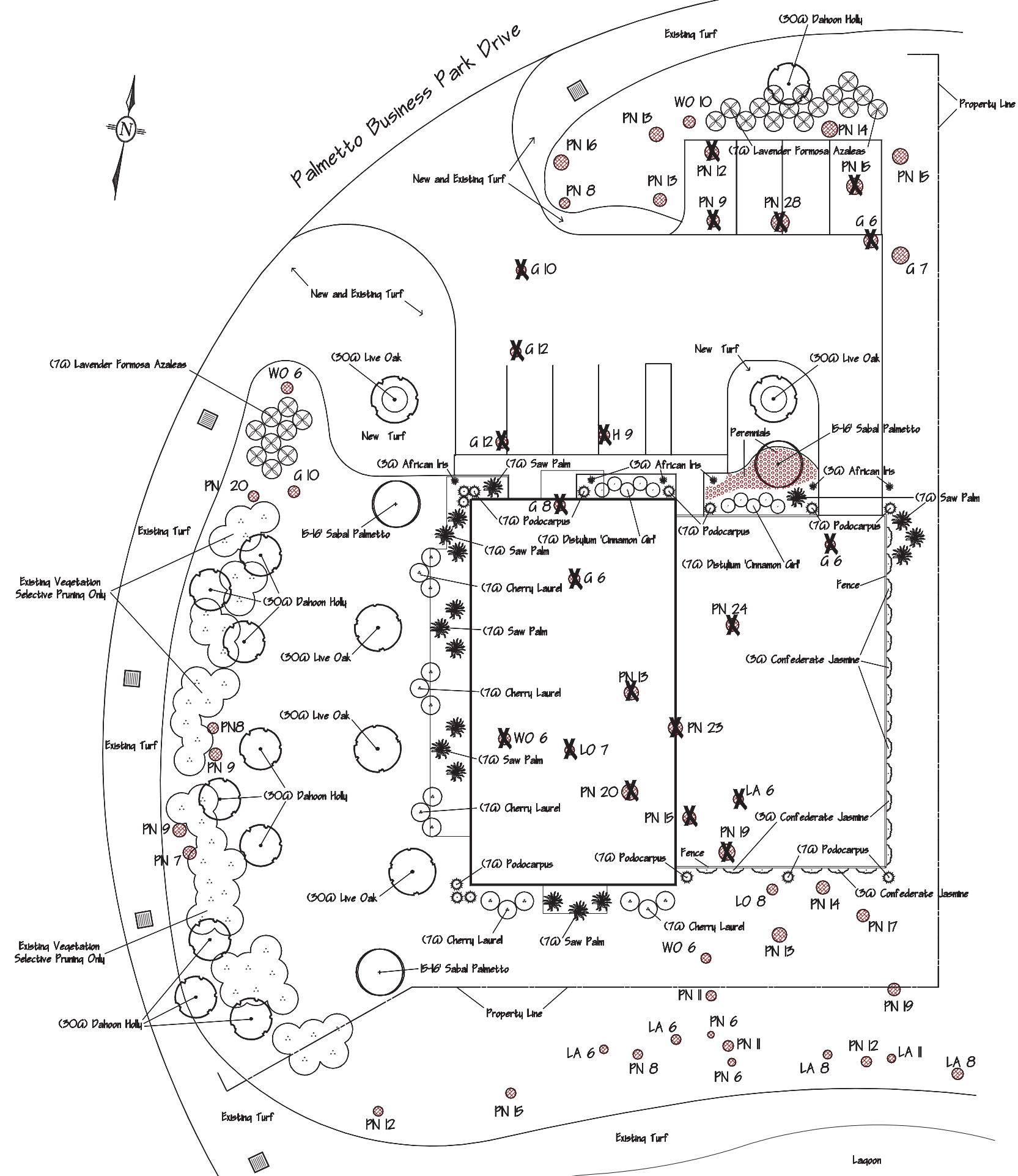
Trees to be Removed	Total	Trees to Remain	Total
Category I		Category I	
H 9	9	LO 8	8
LA 6	6	Category II	
LO 7	7	WO 6,6,10	22
Category II		G 7,10	17
G 6,10,12,2,8,6,6	60	Category III	
WO 6	6	PN 15,14,15,15,16,8,20,8,9,9,7,	
Category III		15,14,17,19	195
PN 12,9,28,15,24,15,23,20,15,19	178		
Trees to be Added			
Cat I 6 (2") LO	12		
Cat II 10 (2") Dahoon Holly	20		
Cat III 3 (8") PLM	24		
Cat IV 15 (7G) Cherry Laurel	NA		

Buffer Planting Requirements For Type 'A' Buffers (315 feet of buffer)

Requirement	Existing + Proposed
Overstory Trees, 2 every 100 feet	14 Existing Overstory Trees
Understory Trees, 3 every 100 linear feet	10 Understory Trees Proposed
Evergreen Shrubs, 8 every linear feet	24 Proposed Evergreen Shrubs (+ several existing clumps of saw palms)

X Existing Trees to be Removed

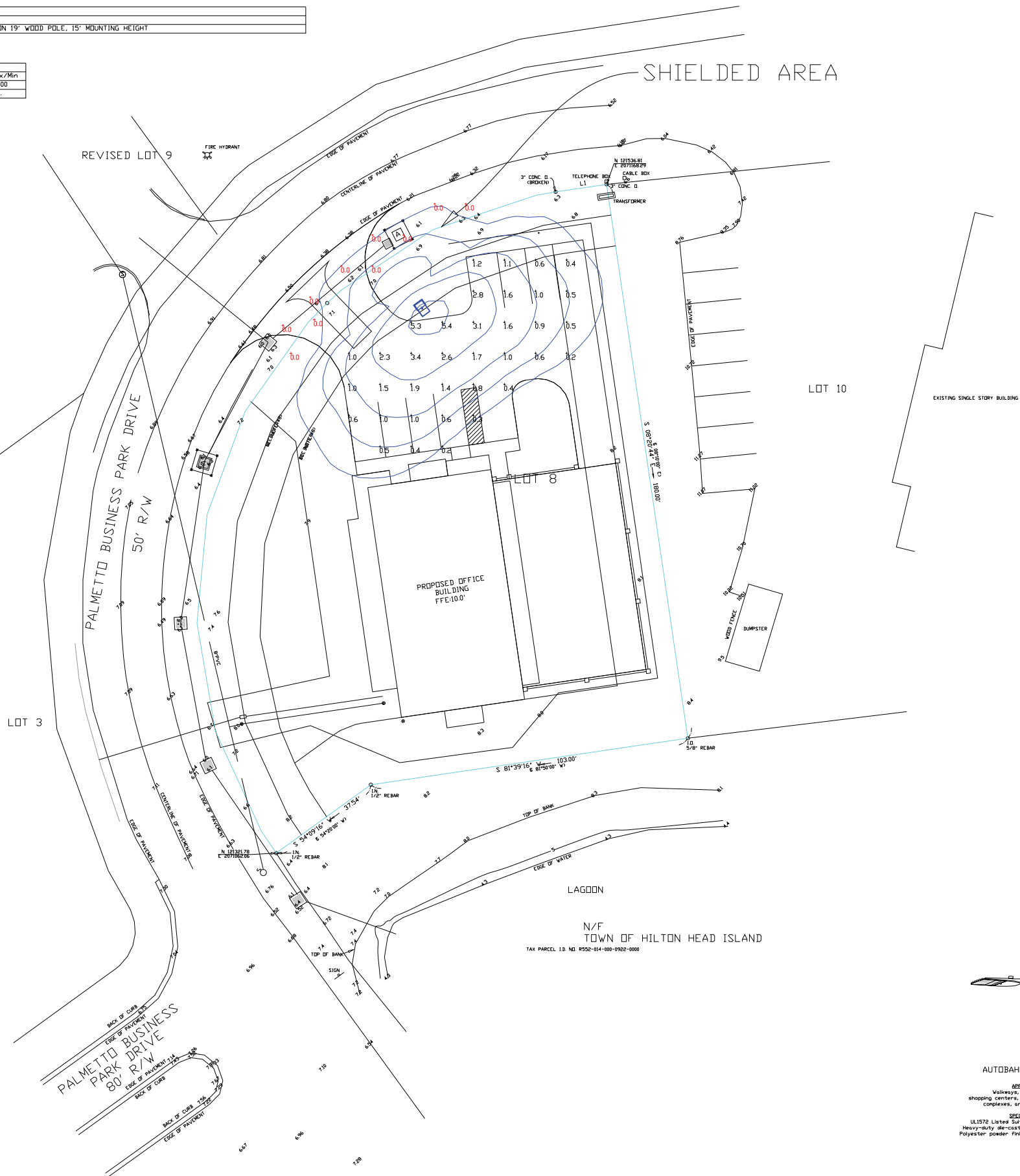
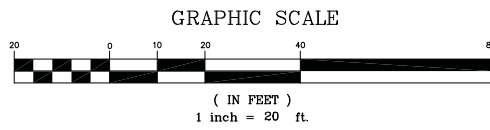
SCALE FEET
 Scale: 1" = 10'
 Fourth Revision 12-4-19



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	SMALL AUTOBAHN	SINGLE	NA	0.720	175EQ LED DN 19" WOOD POLE, 15' MOUNTING HEIGHT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	1.40	5.4	0.2	7.00	27.00
SHIELD_1	Illuminance	Fc	0.03	0.1	0.0	NA	NA

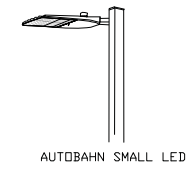
LumNo	Label	X	Y	Z	Orient	Tilt
1	SMALL AUTOBAHN	2071108	121497.5	15	305.82	0



- NOTES
1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE, AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. SECURITY LIGHTS ONLY.

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AUTOBAHN SMALL LED

APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1570 Listed Suitable For Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder finish standard in dark bronze

PALMETTO ELECTRIC COOPERATIVE, INC.

1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

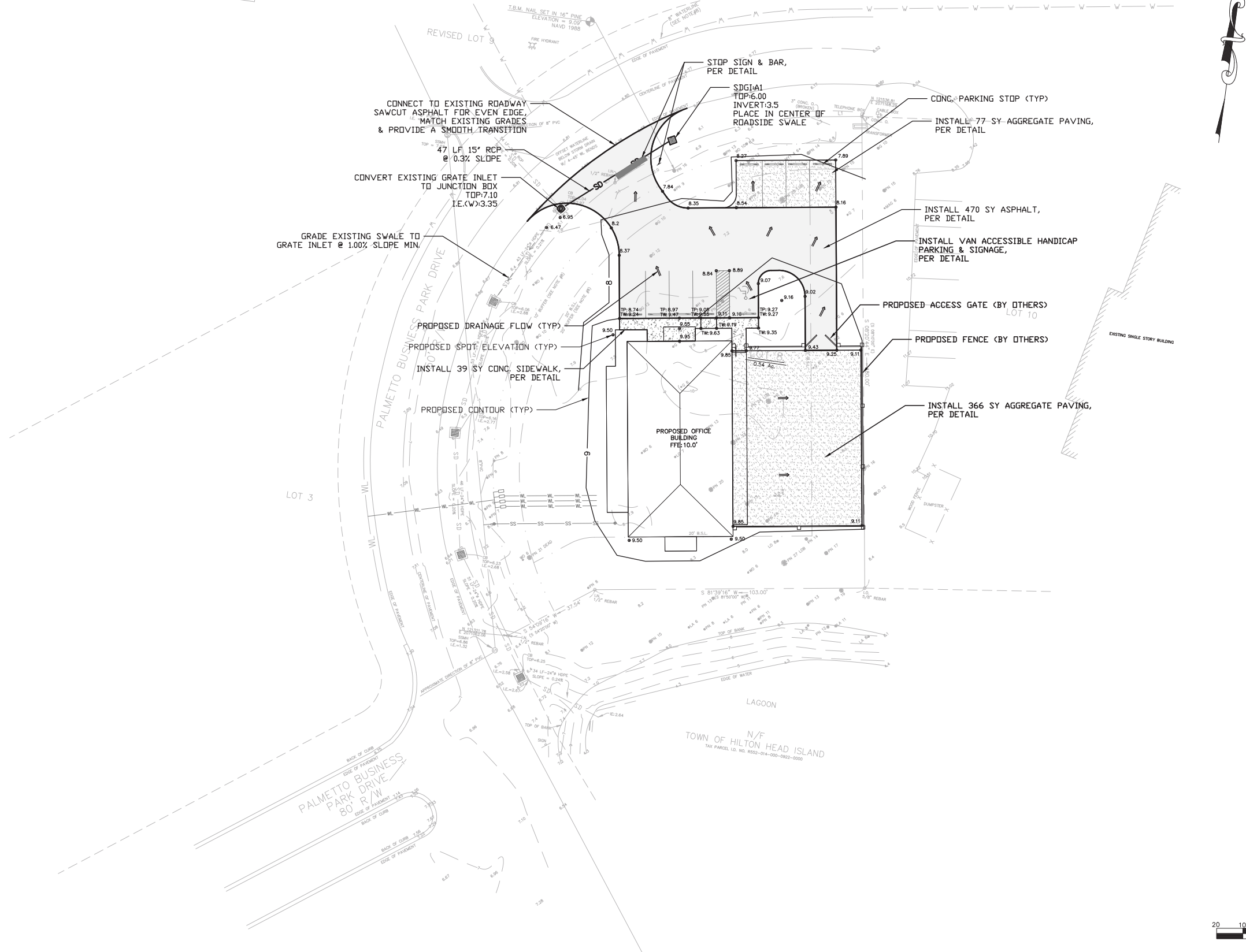
DESIGNED BY:	ML
CHECKED BY:	TJM
DRAWN BY:	RBT
DATE:	11/25/19
SCALE:	1" = 20'
PROJECT NO.:	1911001L-2
MAP NO.:	00000000
SHEET NO.	1
	2
	1

LIGHTING PROPOSAL FOR
LOT 8 PALMETTO BUSINESS PARK
PALMETTO BUSINESS PARK DRIVE
TOWN OF HILTON HEAD
BEAUFORT COUNTY, SOUTH CAROLINA

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CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	DELTA ANGLE	CHORD
C1	193.88'	135.00'	117.85'	82°12'07"	177.64'
C2	82.97'	135.00'	42.84'	35°12'49"	81.67'

LINE TABLE		
LINE	LENGTH	BEARING
L1	16.56'	N. 81°29'16" E.
L2	16.56'	N. 81°29'16" E.



NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		

PREPARED BY:
SAM CONNOR, PE
 10 PINCKNEY COLONY RD., STE 502
 BLUFFTON, SC 29909
 843-368-5051
 samconnor@ngray.com

CAROLINA CONTRACTORS OFFICE BUILDING
 TOWN OF HILTON HEAD, BEAUFORT COUNTY, SOUTH CAROLINA
CAROLINA CONTRACTORS
 Hilton Head, South Carolina
PRELIMINARY DEVELOPMENT PLAN

<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
<input type="checkbox"/> RELEASED FOR CONSTRUCTION	
PROJECT #:	190817
DATE:	10/23/19
DESIGNED BY:	SPC
CHECKED BY:	SPC
SCALE:	1"=20'

SHEET
C108

IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT, SCALE ACCORDINGLY



LAGOON ELEVATION

SCALE: 1/4" = 1'-0"

1
A.2.1



FENCED IN YARD ELEVATION

SCALE: 1/4" = 1'-0"

2
A.2.1

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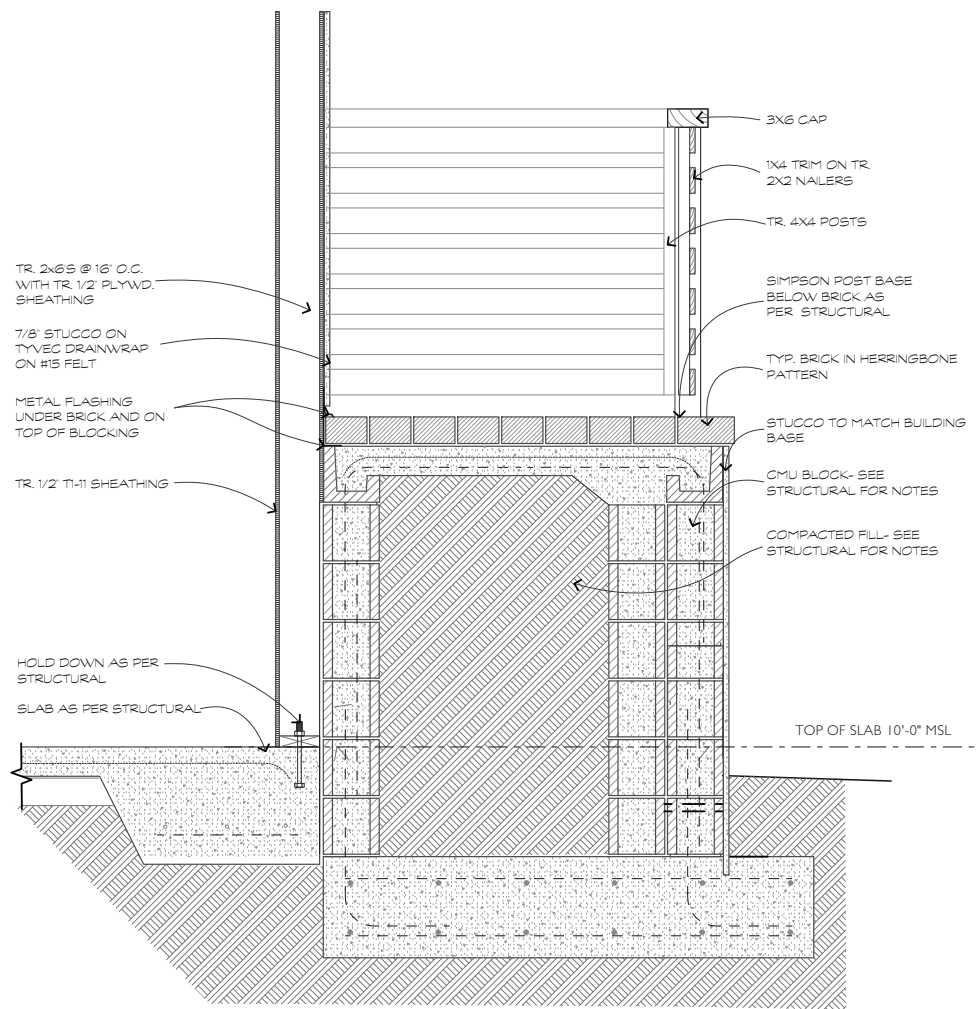
A New Contractor's Office for:
Palmetto Business, LLC
 Lot #8 Palmetto Business Park
 Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY
 TP
 CHECKED BY
 DATE OF ISSUE:
 12/05/19
 SCALE
 JOB NO.
 1927
 SHEET

A.2.2

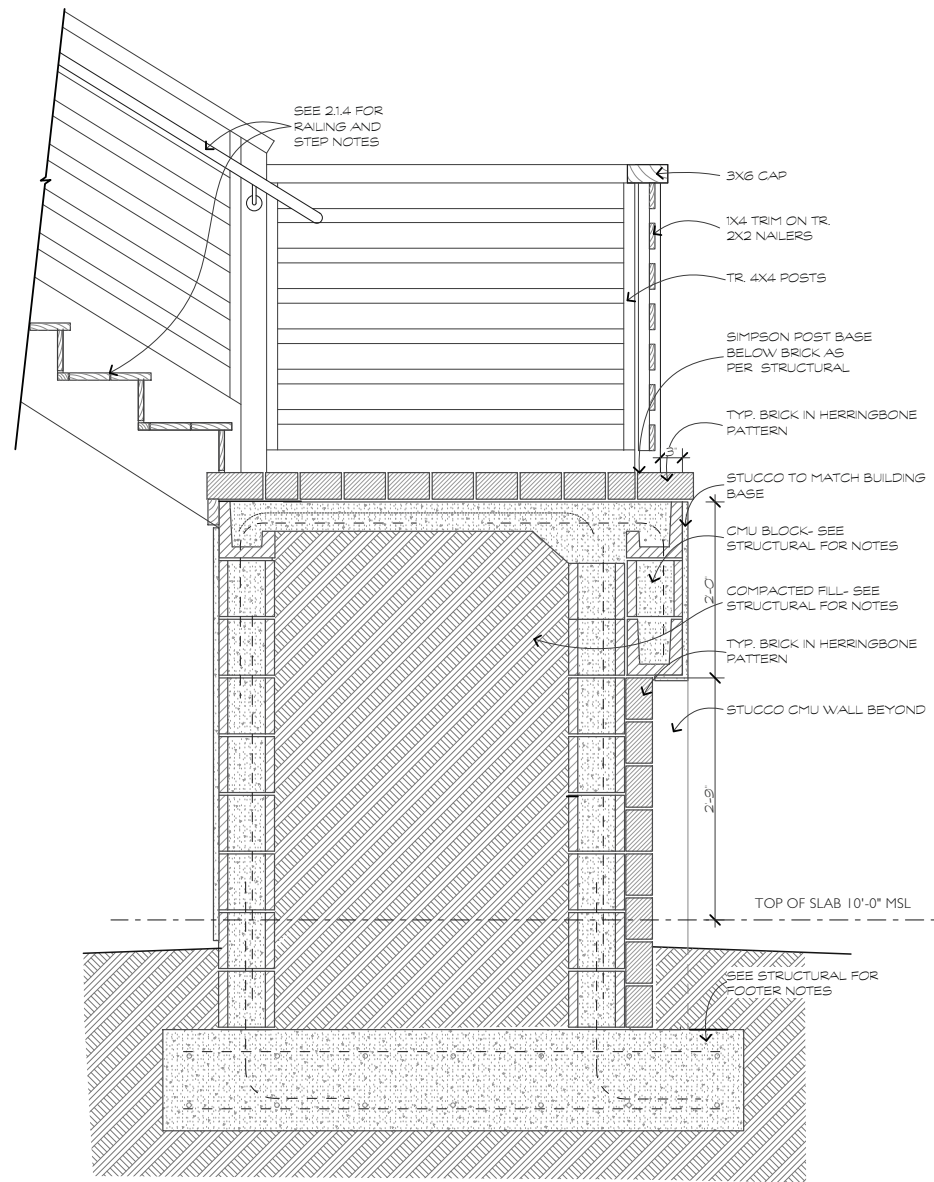
OF SHEETS



STAIR LANDING SECTION

SCALE: 1" = 1'-0"

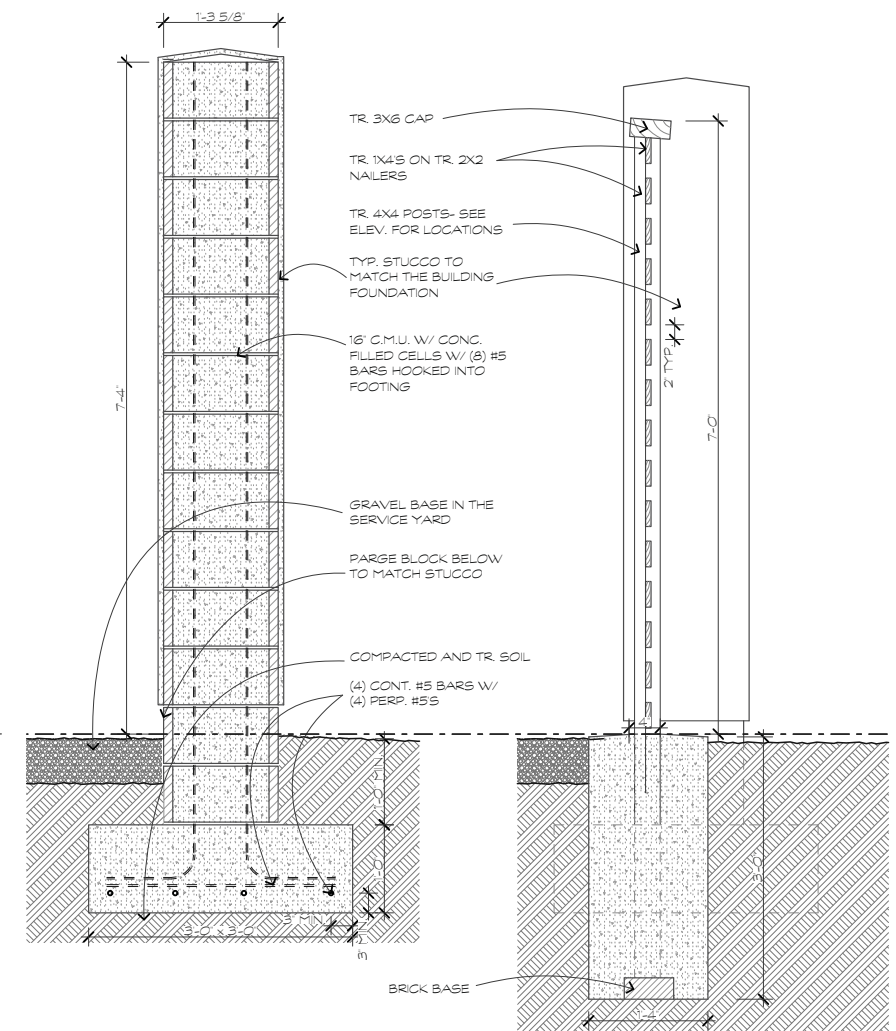
3
A.3.3



STAIR LANDING SECTION

SCALE: 1" = 1'-0"

2
A.3.3



FENCE DETAIL

SCALE: 1" = 1'-0"

1
A.3.3

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A New Contractor's Office for:
Palmetto Business, LLC
Lot #8 Palmetto Business Park
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY
TP
CHECKED BY

DATE OF ISSUE:
12/05/19
SCALE

JOB NO.
1927
SHEET

A.3.3

OF SHEETS

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lot 8 Palmetto Business Park

DRB#: DRB-000106-2020

DATE: 01/20/2020

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: The applicant has addressed the conditions listed on the DRB Final Approval. Staff recommends approval as submitted

MISC COMMENTS/QUESTIONS



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	1-14-11
Accepted by:	
DRB #:	76-2020
Meeting Date:	

Applicant/Agent Name: Marriott Harbour Point Company: Alternative Roofing Solutions
 Mailing Address: 376 Browns Cove Rd City: Ridgeland State: SC Zip: 29936
 Telephone: 843-645-8377 Fax: 843-645-8379 E-mail: krussc@ars-roofing.com
 Project Name: Marriott Harbour Point Project Address: 4 Sheltercove rd HHI
 Parcel Number [PIN]: R520 012 0014 0000
 Zoning District: Parks and Recreation Overlay District(s): Row Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

<input type="checkbox"/> Concept Approval – Proposed Development	<input checked="" type="checkbox"/> Alteration/Addition
<input type="checkbox"/> Final Approval – Proposed Development	<input type="checkbox"/> Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

2020 -

Additional Submittal Requirements:
Final Approval – Proposed Development
 _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
 _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
 _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
 _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
 _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
 _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:
Alterations/Additions
 _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
 _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 _____ Photographs of existing structure.

Additional Submittal Requirements:
Signs
 _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

 For freestanding signs:
 _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 _____ Proposed landscaping plan.

 For wall signs:
 _____ Photograph or drawing of the building depicting the proposed location of the sign.
 _____ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

1-14-20

DATE

DOCUMENT 01010

Summary of Work

This section is designed to give the contractor a brief overview in order to facilitate the bidding process. It is not intended to function as the specific guide for all work to be performed.

SCOPE OF WORK TO BE PERFORMED:

Remove all tile roofing and underlayment on the steep sloped mansard areas on Osprey, Pelican and Heron Buildings located on Marriott's Harbour Pointe property and replace with a Sheffield Sentrigard SL 150 .040 aluminum kynar coated Terra Cotta colored 1 ½" standing seam metal paneled roofing system,

Alternate #1 -Install new coping throughout using a .040 inch Kynar coated aluminum sized to match existing. Secure outside perimeter with a stainless steel cleat of .031 inch stainless steel secured with a minimum attachment of 12" on center both on the outside and the inside perimeter as per Marriott/Zurich installation requirements. Using stainless steel screws with neoprene washers

Carefully remove cut the current single ply roofing system and install a **Securock ½" Gypsum Fiber roof board (loose layed)** in the field of the roof.

Install a **ERC Thermoplastic 80 mil PVC roofing membrane** using the CAT 5 specification enclosed.

Remove current wall flashings and install a 60 mil PVC flashing material as per manufacturer's specifications.

Install aluminum termination bars to mechanically fasten wall and curb flashings. Cover the termination bar with either a custom fabricated piece to integrate with the current metal paneled units now in place or where necessary fabricate and install a Philadelphia style counter-flashing from a .040 inch Kynar coated aluminum. Fill top of trough with Pecora NP-1 caulk.

Install Precision aluminum air conditioner stand where necessary and secure to the deck to meet local building standards and manufacturer's installation guidelines.

Install ERC Thermoplastic Walkpad over all areas of expected traffic.

Necessary vents and housing units shall be constructed of stainless steel and custom designed to properly cover all pipes and insulated lines from leakage.

Install all new aluminum U-Flow Hercules retro-fit roof drains designed to fit a 6" I.D. or to match existing pipe openings, where roof drains currently exist.

Install heavy duty aluminum air conditioner stands and secure to deck where necessary. Flash legs per manufacturer's specifications and secure all air conditioners to the stands to meet local, state and Marriott/Zurich published requirements.

All flashings will be installed as per published manufacturer's specific flashing apparatus.

Install water cutoffs at the end of each day's work as well as whenever precipitation is imminent. Protect exposed membrane edges by installation of a water cutoff. The water cutoff shall be designed to prevent any infiltration of moisture into the completed section of roof, and shall be completely removed prior to continuing roof installation.

GENERAL COMMENTS:

All contractors are cautioned that employees will always be accessing the premises, therefore cleanliness and attention to detail are mandatory! The strictest standards will be enforced relative to daily clean up and equipment location.

Work may not be commenced before 8:00 A.M. on weekdays. Saturday work may be scheduled with prior approval on an exception basis as required by weather or other unforeseen and unpredicted jobsite situations.

All traffic areas shall be protected from debris at all times.

All work will be performed continuously until completion. Appropriate protection for all surrounding areas is expected. Similarly no radios or other noise making apparatus will be allowed on the job site.

Removal and disposal of all present roofing membrane is included.

End Summary of Work



SHELTER COVE

January 16, 2020

Mr. Michael Best
Harbour Point Owners Association Inc.
Hilton Head Island, SC 29928

Delivered via email

RE: Harbour Point Roof Replacement

Dear Michael

The Shelter Cove Company's ARB is in receipt of your proposal dated December 11, 2019, for a roof replacement for Harbour Point.

The ARB has reviewed and approved the plan package as submitted with the following conditions:

1. The standing seam metal roofing material used on the building shall be the "terra cotta" color.
2. All common surface areas where equipment will be placed or traversed shall utilize weight protection methods in order eliminate damage to said areas.
3. All Shelter Cove property that will have construction activity occurring on it shall be videotaped prior to the start of the project.
4. Finally, at \$5,000 compliance deposit will be required before the project may commence.

Please notify the SCC office at (843) 310-0431 or by email at ddominguez@sheltercovehc.org should you have any questions.

With Kindest Regards,

Denise Dominguez

Denise Dominguez
Community Manager

Cc: SCCARB Committee



201 Red Oaks Way • Ridgeland, SC 29936

Telephone: 843.208.2433 • Fax: 843.208.2430

Website: www.4mmetals.com

Environmentally Smart Colors — Designed Energy Efficient



TERRA COTTA



AGED COPPER



SOLAR WHITE



SANDSTONE



SURREY BEIGE



COLONIAL RED



PATINA GREEN



REGAL WHITE



ASH GRAY



SIERRA TAN



REGAL RED *



HEMLOCK GREEN *



STONE WHITE



DOVE GRAY



MEDIUM BRONZE



BURGUNDY *



HARTFORD GREEN *



SLATE BLUE



SLATE GRAY



MANSARD BROWN



MATTE BLACK



EVERGREEN



REGAL BLUE *



CHARCOAL GRAY



DARK BRONZE

Metallic Colors



SILVER *



COPPER *



CHAMPAGNE *



PRE-WEATHERED *
GALVALUME®



ACRYLIC COATED
GALVALUME®

Non-Painted

Weathered Colors



GALV-TEN™ RAW



COPPER-TEN™ RAW



COR-TEN AZ® RAW

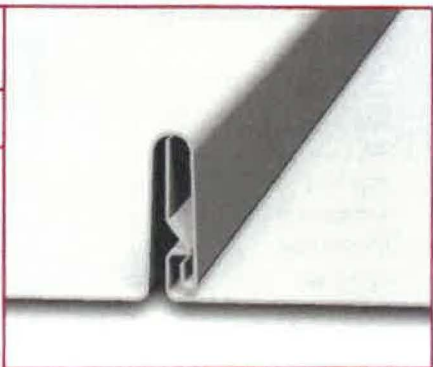

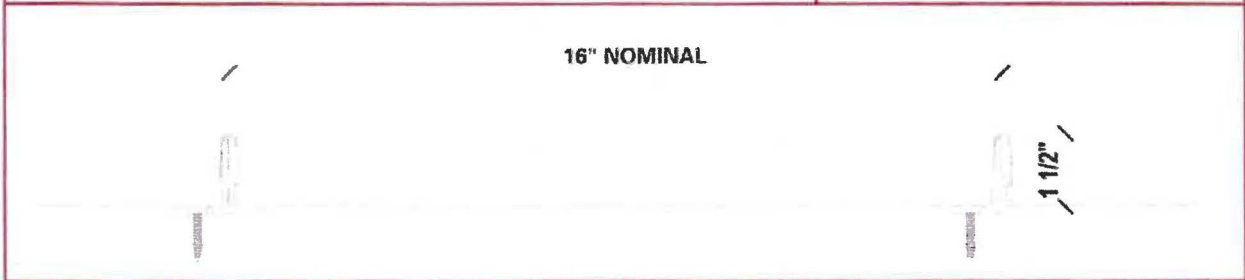


VINTAGE®

* Available at a slight price premium.

* Also available in Robust.

Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar 500® or Hylar 5000® resins, which provide superior color retention and allow Sheffield Metals to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Champagne, Silver, and Pre-Weathered Galvalume. Steelscape's Vintage carries a 20 year Finish Warranty. Please contact your representative for more information.

SL150	1 1/2" Snap Lock Panel	
PRODUCT DESCRIPTION		
<ul style="list-style-type: none"> • Architectural Standing Seam Metal Roofing System • Ideal for residential and commercial applications • Specially designed clip allows thermal movement • Tested panel for rated assemblies achieves higher performance levels <p>1-1/2" Snap Lock Panel; max width 15.39"; Snap Lock Seam fastened with (2) #10-12 x 1" long No. 2 Phillips drive pancake head, wood screws; One Part Clip Assembly SL150R Clip fastening metal to panel to minimum 15/32" plywood decking; maximum 24" clip spacing; Panel Rollformer: Schiebach Quadro-Plus Rollformer; Maximum Allowable Roof Uplift Pressure (steel): -86.0 psf Main Field @ 24" Clip Spacing; Perimeter Pressure -108.5 at 12" Clip Spacing; Corner Pressure -116.0 psf @ 6" Clip Spacing; <i>Oil Canning is not a Cause for Rejection.</i></p>		www.4mmetals.com
<p style="text-align: center;">16" NOMINAL</p> 		
DESIGN INFORMATION	TEST REPORT SUMMARY	
<ul style="list-style-type: none"> • Minimum Slope = 1-1/2":12" • Actual Panel Width: 15.39" from 20" Coil • Solid Substrate Required • Architectural, Hydrokinetic Panel • Snap Seam – No Field Seaming Required • 24 and 26 Gauge Galvalume® • .032" Aluminum • 16oz Copper • 30Year Finish Warranty on Kynar 500 Finish • Weather Tight Warranty Available • Underlayment Required 	<ul style="list-style-type: none"> • Florida Building Code 2004 • Chapter 15: Roof Assemblies • Section 1504.3.2; 1505.3; 1507.4 • Chapter 16: Structural Design • Chapter 22: Steel; Section 2209 Cold Form Steel • Chapter 23: Wood • Testing per TAS 125-03 Std. Requirements for Metal Roof Systems • Test Assembly #6 by Underwriters Laboratory for: <ul style="list-style-type: none"> a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems • Testing per TAS 100 Wind Driven Rain Test • FPA #9860.15 – Non HVHZ – 24ga • FPA #9860.16 – HVHZ – 24ga 	

BROAD CREEK



LEGEND				
A	Registration; Lobby	G	Tennis Courts	Barbecue Areas
B	The MarketPlace Express	H	Bocce & Shuffleboard Courts	Fire Pit
C	Main Pool (Heated)	I	Golf Practice Net	Trash
D	Fitness Center	J	Bike Rental	Trellis Swing
E	Whirlpool Spa	K	Pool	Recycling
F	Basketball Area	L	Gazebo	Smoking Areas



Precise Aerial Roof Measurement Report

Prepared for you by WJA Consultants



'PELICAN'

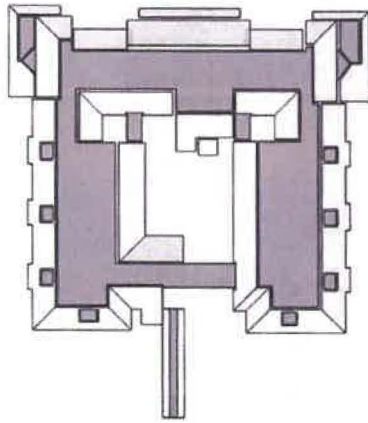
4 Shelter Cove Ln, Hilton Head Island, SC 29928-3543



WJA CONSULTANTS

WJA Consultants
400 N New York Ave
Winter Park, FL 32789

tel. 321-972-4047
email: info@wjaconsultants.com



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Claim: Doug - Marriott's Harbour Pointe
Building: Pelican

PREPARED FOR

Contact: Doug Wallace
Company: WJA Consultants
Address: 400 N New York Ave
Winter Park, FL 32789
Phone: 321-972-4047

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram	7
Penetrations Diagram	8
Report Summary	9

MEASUREMENTS

Total Roof Area = 19,601 sq ft
Total Roof Facets = 48
Predominant Pitch = 10/12
Number of Stories > 1
Total Ridges/Hips = 187 ft
Total Valleys = 88 ft
Total Rakes = 304 ft
Total Eaves = 1,818 ft
Total Penetrations = 87
Total Penetrations Perimeter = 548 ft
Total Penetrations Area = 284 sq ft

Measurements provided by www.eagleview.com



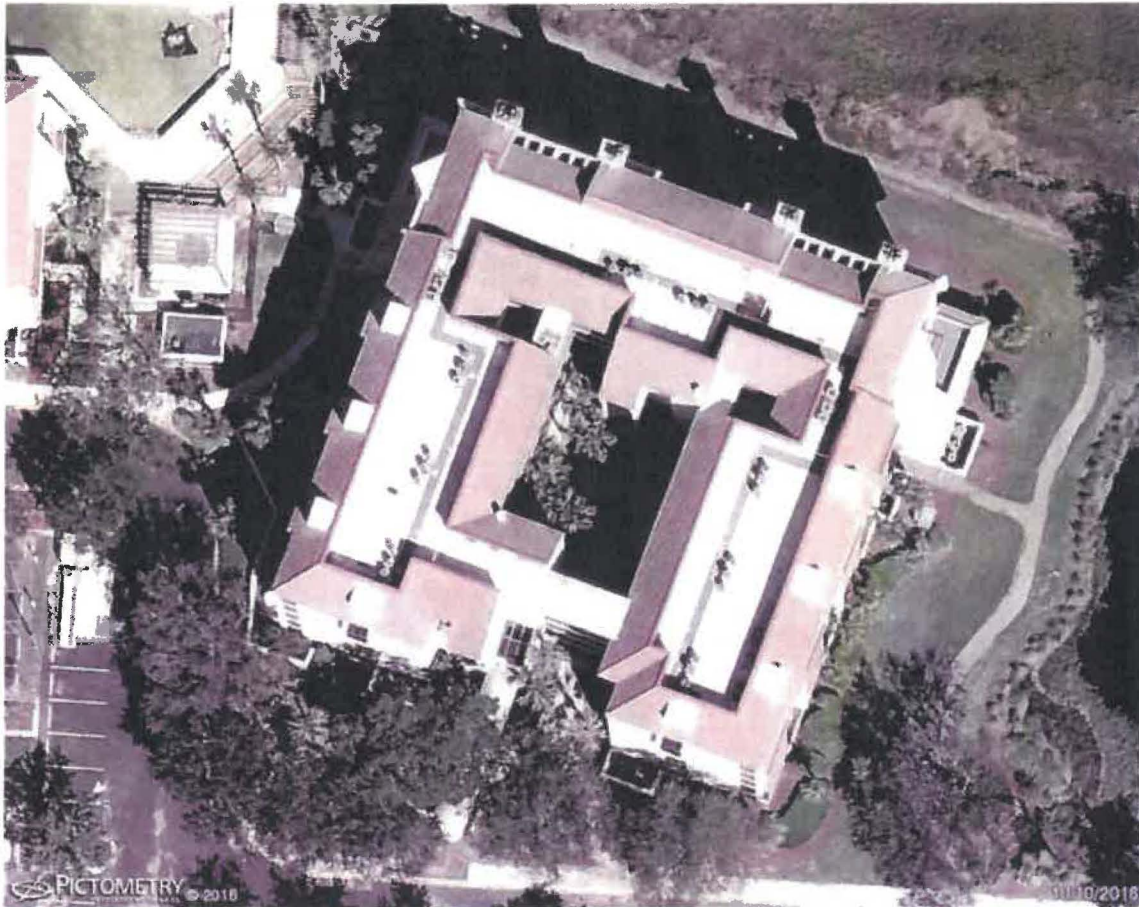
Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

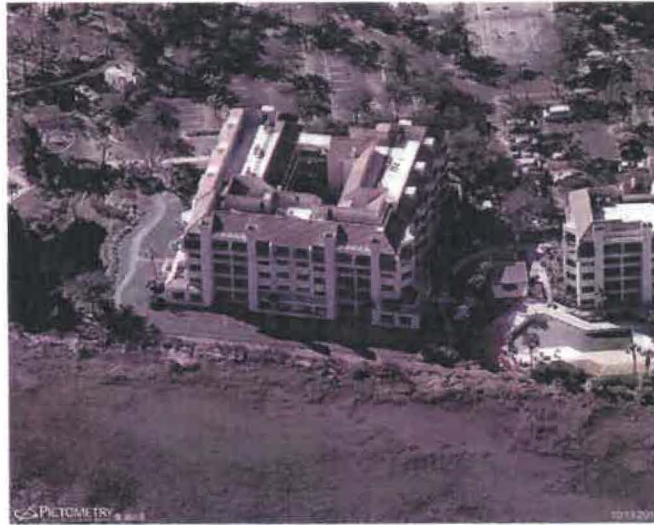
The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side



South Side



IMAGES

East Side



West Side



Precise Aerial Roof Measurement Report

Prepared for you by WJA Consultants



'OSPREY'

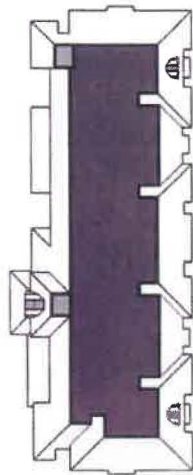
4 Shelter Cove Ln, Hilton Head Island, SC 29928-3543



WJA CONSULTANTS

WJA Consultants
400 N New York Ave
Winter Park, FL 32789

tel. 321-972-4047
email: info@wjaconsultants.com



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Claim: Doug - Marriott's Harbour Pointe
Building: Osprey

PREPARED FOR

Contact: Doug Wallace
Company: WJA Consultants
Address: 400 N New York Ave
Winter Park, FL 32789
Phone: 321-972-4047

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram	7
Penetrations Diagram	8
Report Summary	9

MEASUREMENTS

Total Roof Area = 11,527 sq ft
Total Roof Facets = 45
Predominant Pitch = 10/12
Number of Stories > 1
Total Ridges/Hips = 244 ft
Total Valleys = 141 ft
Total Rakes = 194 ft
Total Eaves = 1,194 ft
Total Penetrations = 45
Total Penetrations Perimeter = 349 ft
Total Penetrations Area = 194 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side



South Side



IMAGES

East Side



West Side



Precise Aerial Roof Measurement Report

Prepared for you by WJA Consultants



'HERON'

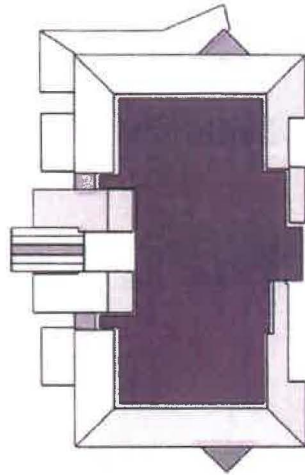
4 Shelter Cove Ln, Hilton Head Island, SC 29928-3543



WJA CONSULTANTS

WJA Consultants
400 N New York Ave
Winter Park, FL 32789

tel. 321-972-4047
email: info@wjaconsultants.com



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Claim: Doug - Marriott's Harbour Pointe
Building: Heron

PREPARED FOR

Contact: Doug Wallace
Company: WJA Consultants
Address: 400 N New York Ave
Winter Park, FL 32789
Phone: 321-972-4047

TABLE OF CONTENTS

Images	1
Length Diagram	4
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Report Summary	9

MEASUREMENTS

Total Roof Area =6,783 sq ft
Total Roof Facets =24
Predominant Pitch =10/12
Number of Stories >1
Total Ridges/Hips =95 ft
Total Valleys =0 ft
Total Rakes =287 ft
Total Eaves =399 ft
Total Penetrations =17
Total Penetrations Perimeter = 140 ft
Total Penetrations Area = 88 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side



South Side



IMAGES

East Side



West Side



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Marriott Harbour Point Reroof

DRB#: DRB-000076-2020

DATE: 01/20/20

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: Staff recommends approval as submitted.

MISC COMMENTS/QUESTIONS

This is the same product and color used in the reroof of the Harbourside Development.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joe DePauw Company: PDG|Architects
 Mailing Address: 10 Palmetto Business Park Rd. Ste. 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843.785.5171 Fax: _____ E-mail: joe@pdg-architects.com
 Project Name: The Smokehouse Restaurant Project Address: 34 Palmetto Bay Rd.
 Parcel Number [PIN]: R 5 5 2 0 1 4 0 0 0 0 0 5 0 0 0 0 0
 Zoning District: SPC - Sea Pines Commercial Overlay District(s): SPC Zoning District

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

01/14/2020

DATE



November 25, 2019

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island SC 29928

re: The Smokehouse
Lot G, #34 Palmetto Bay Road

Project Narrative

On June 9th a fire broke out in the Smokehouse restaurant, engulfing the structure in flames. Since then, the building – home to the Smokehouse since the restaurant moved in 2010 – has been closed, and we have launched planning for its reconstruction.

We are proposing to demolish portions of the remaining structure, and re-build the restaurant using the existing foundation. Along the way, we hope to salvage iconic elements of the old Smokehouse to connect the new restaurant to its past. The new 7,515 sq. ft. restaurant & bar, which features a main dining room, two bars and three outdoor dining areas, replaces the original 7,383 sq. ft. building. Access to the restaurant is defined by a plaza which provides a waiting space for patrons away from the busy parking lot. The lobby and stair tower form the central architectural statement, while the tiered outdoor dining areas add excitement and liveliness to the streetscape. The walk from the rear parking lot has visual connections to the main dining room and entry stair through glass walls. The building is sited on the existing building foundations and takes advantage of the existing parking lot with additional capacity added at the back of the lot.

The re-construction will be a phased renovation to comply with current flood regulations for non-conforming structures. Phase I will be the construction of the building shell and porches. Phase II will include the interior upfit and addition of the rooftop bar.

We have made the following revisions to the plan based on feedback received during the Preliminary DRB Review:

- Added tree protection fencing and treatment information for the 26" Live Oak to the left of the building.
- Extended the privacy fence along the left side property line to connect the front and rear fences.
- Re-oriented the exterior stair to keep the stair structure and roof within the 3'-0" setback encroachment.
- Added landscape islands to the front and rear parking areas along the drive aisle as requested.

- Added landscape plantings to the sides of the dumpster enclosure and along the privacy fence.
- Revised the metal wall panel specification to a concealed fastener panel with an asymmetrical reveal, which nods to the proportions of the board and batten. The color will be burnished slate to blend into the natural environment and complement the remainder of the building. A cut-sheet for the panel profile is attached.

Thank you for your time and consideration,

A handwritten signature in black ink, reading "Joseph DePauw". The signature is fluid and cursive, with a long horizontal stroke extending from the end of the name.

Joseph A. DePauw, AIA
PDG|Architects

January 21, 2020

Chris Darnell
Urban Designer
Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island SC 29928

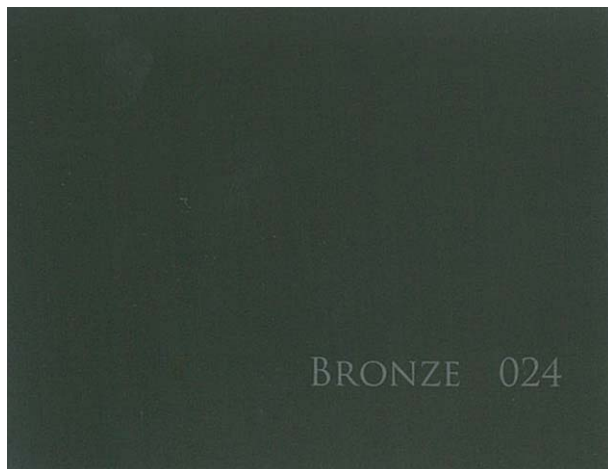


re: **Design Team/DRB Comment Sheet**
The Smokehouse (DRB-000084-2020)

Chris,

I have reviewed the DRB staff comments, and I am attaching revised plans addressing a number of the comments. A summary of the revisions and clarification of comments follows:

- Black fox reads black , select a color that leans more brown/bronze.
 - We have changed the window color to Sierra Pacific - Bronze 024. All items which were to be painted Black Fox will now be painted to match the Bronze 024 window color.



- Better reference the proposed colors on the elevations. It is unclear the color of the brick veneer.
 - A color schedule has been added to the elevation sheet (A2.1), and material notes have been tagged accordingly. The painted brick will be Polished Concrete SW 9167.
- Planters are exponentially more difficult to maintain and can easily disappear. Narrow the porch on the southeast side to allow for planting (in ground) between the sidewalk and porch or relocate the access to the narrowest part of the planter.
 - A detail of the raised planter boxes has been added, see detail 8/A4.4. The planter will be built-in to the porch and drip irrigation will be supplied to the plantings. As part of the renovation project, we are using the existing slab dimensions for the porch.
- All street buffer trees must be provided in the street buffer.
 - The landscape plan has been revised to locate all required trees in the street buffer.

- 26 live oak on the northwest property line should have more of the dripline behind tree protection fencing.
 - AS1.1 has been revised to show the tree protection maximized while maintaining access along the exterior walls for construction.
- There is no specification of pre and post construction fertilization of the 26" live oak.
 - This is provided on AS1.1, above the tree and property line.
- Planting note 12 shall be modified to protect understory growth.
 - This note has been removed from the landscape plan.

Thank you,

A handwritten signature in black ink, appearing to read "Joseph DePauw". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Joseph A. DePauw, AIA
PDG|Architects



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Smokehouse Restaurant **PROJECT #:** DRB-002461-2019
PROJECT ADDRESS: 34 Palmetto Bay Road
CATEGORY: New Development – Conceptual
ACTION DATE: December 10, 2019 **NOTICE DATE:** December 13, 2019
APPLICANT/AGENT: Joe DePauw, PDG Architects
10 Palmetto Business Park Rd Ste 201
Hilton Head Island, SC 29928
Email: joe@pdg-architects.com

On the above meeting date your Application received the following action:

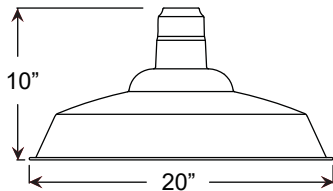
- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

1. Continue the service area fence along the property line to screen that side from view.
2. It has been noted the freezer and walk in cooler are on existing foundation and therefore allowed by the LMO.
3. Modify the stairs towards the freezer in order to reconcile the encroachment into the setback.
4. Consider landscaping between the building and hard surfaces (sidewalks, parking lots) particularly on the south side near the former entrance.
5. No recommendation is made at this time on the metal panels at the service area and will be further discussed at final review.
6. Add softscape around the dumpster to screen it at least on the two sides visible from the parking lot.
7. Provide a tree protection plan that:
 - a. Shows tree protection fence;
 - b. Shows the canopy of the 26" live oak on the northern property line;
 - c. Specifies pre and post construction fertilization with a root stimulant and protective mulching (3-4" aged hardwood mulch) under the 26" live oak on the northern property line.
8. The site plan shall be revised to include three landscape islands in the front parking lot and one landscape island in the back parking lot adjacent to the drive aisle.

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

Specifications



Material:
 RLM shades are constructed of heavy duty spun aluminum. Wall back plate and driver housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Glass:
 Choice of clear, frosted or prismatic glass up to **24w Max.**

Electrical:
 GU24 socket, 120V only. Universal voltage 120-277 is standard. 0-10V, TRIAC and ELV dimming protocols are standard. (12w is TRIAC dimming only; 24w is 0-10V only).

See page 2 table for LED module and driver specs, voltage and dimming protocols.

Certifications:
 Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

Finish:
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or glass surface.

Modifications:
 Consult factory for custom or modified designs.

W520

Weight: 2.5 lbs

LED

Catalog Logic

W520 M016LD D W 40K RTC UNV E6 100GLCL PC 41

RLM Style Light Source & Wattage Dimming Distribution CCT Driver Housing Voltage Mounting Glass & Guard Accessories Finish

Catalog Number	1	2	3	4	5	6	7	8	9	10
	W520	M012L	D	W	30K	NA	UNV	E6	CBC	83

1 LIGHT SOURCE & WATTAGES
GU24 (GU24 Socket Only; 120v only)
M012LD (12w, 750 lumen, Cree module) Integral driver, 120V, TRIAC dimming & narrow distribution only.
M009LD (9w, 850 lumen, Cree module)
M010LD (10w, 1250 lumen, Cree module)
M016LD (16w, 2000 lumen, Cree module)
M024LD (24w, 3000 lumen, Cree module)

2 DIMMING
D (Standard 0-10v, TRIAC and ELV dimming)
S (Sunset dimming- Dims smoothly from 2700K to 1800K; 9w only)
*12w is dimming only, select "D".
See page 2 for dimming protocols and limitations.

3 DISTRIBUTION
W (T5 Wide Distribution with Dome LED Lens)
N* (T5 Narrow Distribution with Flat LED Lens)
*12w is narrow only, select "N".

4 COLOR TEMPERATURE (CCT)
27K (2700K)
30K (3000K) (Not Sunset Dim)
35K (3500K) (Not Sunset Dim)
40K (4000K) (Not Sunset Dim)

5 DRIVER HOUSING
RTC (Driver Canopy)
RTCNC (Driver Canopy/No Spun Cover)
NA (Housing not required for 12w)

6 VOLTAGE
UNV (120-277)

7 MOUNTING SOURCES
Arm Mounts (Cast back plate included (CB))
E3 E4 E6 E7 E8 E9 E10
E11 E12 E13 E18 E19 E25
Wall Mounts
WM54
WM74
WM317
WM84
Post Mounts (Postline driver only; 4" OD/.125 pole required)
PM10
PM20
PM30
PM40
PM50
PM319

Cord Mounts
BLC (6' black cord with 1" x 5 3/8" canopy*)
WHC (6' white cord with 1" x 5 3/8" canopy*)
COLOR CORD: Use Color Cord designation from page 4.
*Canopy finish will match fixture finish.

Stem Mounts
1/2" (13/16" OD Rigid Stems with STC Flat Canopy)
2ST6 2ST12 2ST18 2ST24 2ST36 2ST48
2ST60 2ST72 2ST96
3/4" (1" OD Rigid Stems with STC Flat Canopy)
3ST6 3ST12 3ST18 3ST24 3ST36 3ST48
3ST60 3ST72 3ST96

8 GLASS & GUARD
Up to 24w MAX
100GLCL (Clear Glass)
100GLFR (Frosted Glass)
100GLPR (Prismatic Glass)
100GLCLGUP (Clear Glass & Small Wire Guard)
100GLFRGUP (Frosted Glass & Small Wire Guard)
100GLPRGUP (Prismatic Glass & Small Wire Guard)
100GLCLGUPC (Clear Glass & Cast Guard)
100GLFRGUPC (Frosted Glass & Cast Guard)
100GLPRGUPC (Prismatic Glass & Cast Guard)
100GLGUP (Small Wire Guard with No Glass)
100GLGUPC (Cast Guard with No Glass)

9 ACCESSORIES
CBC (Cast back plate Spun Alum Cover)
GR20 (20" Wire Grill)
PC (Button Photo Cell) Remote Only
*EMG-LED5 (5w LED Emergency Driver, remote placement, Cree module only)
*EMG-LED7 (7w LED Emergency Driver, remote placement, Cree module only)
*EMG-LED10 (10w LED Emergency Driver, remote placement, Cree module only)
SC (Scroll for Arms)
SLC (Sloped Ceiling Canopy Mount, 20° Max)
SQ (Square Back Plate)
SWL (Adjustable Locking Swivel)
TBK (Turn Buckle Kit)
*For Emergency lumen output data, see Resources section at www.ANPlighting.com

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



10 FINISHES					
Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty

Premium Grade	Marine Grade		Premium Grade	Marine Grade	
81	129	Extreme Chrome	64	116	Candy Apple Red
80	117	Textured Desert Stone	65	122	Cobalt Blue
67	119	Butterscotch	82	128	Graystone
66	115	Caramel	69	113	Gunmetal Gray
68	126	Black Silver	83	134	Oil Rubbed Bronze

Consult factory for additional paint charges and availability

LED MODULE SPECIFICATIONS				
LED Wattage	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
9W	2700K	850	11W	97
	3000K	850	11W	97
	3500K	850	11W	97
	4000K	850	11W	97
10W	2700K	1250	12W	125
	3000K	1250	12W	125
	3500K	1250	12W	125
	4000K	1250	12W	125
12W	2700K	750	12W	65
	3000K	750	12W	65
	3500K	750	12W	65
	4000K	750	12W	65
16W	2700K	2000	19W	125
	3000K	2000	19W	125
	3500K	2000	19W	125
	4000K	2000	19W	125
24W	2700K	3000	28W	125
	3000K	3000	28W	125
	3500K	3000	28W	125
	4000K	3000	28W	125

MODULE SPECIFICATION:	
• Efficacy 65-125 lumens per watt	
• Life: L70 50,000 hours	
• Color temp: 2700K,3000K,3500K and 4000K	
• CRI: >90	

MODULE DRIVER SPECIFICATION:	
• Input Voltage: 120-277 Volts; 50/60Hz	
• Dimmable down to 1%	
• 0-10V, TRIAC and ELV dimming protocols are standard.	
• Output Current: Constant Current; 440mA to 940mA (model dependent)	
• Driver Efficiency > 80%; Power Factor > 0.9	
• Integral Surge Protection in conformance to ANSI C62.41 Category A	

MODULE LISTINGS	
• Fully compliant with the RoHS Directive	
• Certifications: CE/UL	

WARRANTY	
See www.ANPlighting.com for complete fixture warranty.	
LED warranty information	
• 5 year limited warranty*	
*Limited Warranty: A typical year is defined as 4380 hours of operation.	



Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms

 E3 32" x 11 7/8"	 E4 26" x 14"	 E6 26" x 9 1/4"	 E7 41 1/4" x 9 1/8"
 E8 29 1/4" x 12 1/2"	 E9 28" x 40 5/8"	 E10 52 1/4" x 18"	 E11 35 1/4" x 17 1/4"
 E12 37 3/8" x 2"	 E13 34" x 34 3/8"	 E18 27 3/4" x 21 3/8"	 E19 22 3/4" x 95 1/8"
 E25 23" x 5 1/4"			

WALL MOUNTS | Dimensions are Projection x Height

POST MOUNTS | Dimensions are Projection x Height

 WM54 23 3/8" x 18"	 WM74 22" x 26 1/2"	 PM10 14 1/2" x 25"	 PM20 30 1/8" x 25"
 WM317 15" x 12 3/4"	 WM84 26 1/2" x 57 1/4"	 PM30 21 5/8" x 28 7/8"	 PM40 43 3/8" x 28 7/8"
		 PM50 27" x 38"	 PM319 16 5/8" x 27 1/2"

ACCESSORIES

 CBC	 EMG-LED	 GR20	 PC	 SC
 SLC	 SQ	 SWL	 TBK	

Driver Housing

	RTC
	RTCNC

GLASS & GUARDS
UP TO 24W MAX

Glass Legend: CL = Clear FR = Frosted PR = Prismatic

Glass Only

	GLCL
	GLFR
	GLPR

Glass with Cast Guard

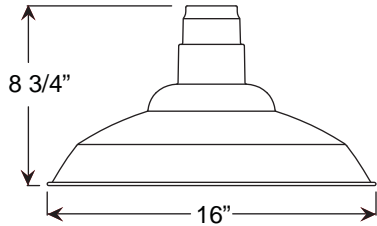
	GLCLGUPC
	GLFRGUPC
	GLPRGUPC

Glass with Wire Guard

	GLCLGUP
	GLFRGUP
	GLPRGUP

Guards Only

	GLGUPC (Cast Guard)
	GLGUP (Wire Guard)

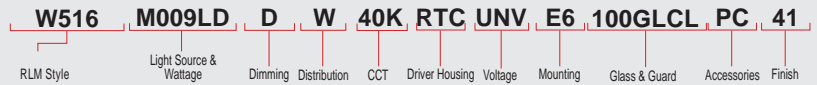


W516

LED
Dark Sky Friendly

Weight: 1.5 lbs.
BUG: B1-U0-G1

Catalog Logic



Catalog Number

1	2	3	4	5	6	7	8	9	10
W516	M012L	D	W	30K	NA	UNV	E6	CBC	83

1 LIGHT SOURCE & WATTAGES	
GU24	(GU24 Socket Only; 120v only)
M012LD	(12w, 750 lumen, Cree module) Integral driver, 120V, TRIAC dimming & narrow distribution only.
M009LD	(9w, 850 lumen, Cree module)
M010LD	(10w, 1250 lumen, Cree module)
M016LD	(16w, 2000 lumen, Cree module)
M024LD	(24w, 3000 lumen, Cree module)

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S	(Sunset dimming- Dims smoothly from 2700K to 1800K; 9w only)
*12w is dimming only, select "D".	
See page 2 for dimming protocols and limitations.	

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30K	(3000K) (Not Sunset Dim)
35K	(3500K) (Not Sunset Dim)
40K	(4000K) (Not Sunset Dim)

5 DRIVER HOUSING	
RTC	(Driver Canopy)
RTCNC	(Driver Canopy/No Spun Cover)
NA	(Housing not required for 12w)

6 VOLTAGE	
UNV	(120-277)

7 MOUNTING SOURCES	
Arm Mounts (Cast back plate included (CB))	
E3 E4 E6 E7 E8 E9 E10	
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WM74	
WM317	
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PM20	
PM30	
PM40	
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Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

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Choice of clear, frosted or prismatic glass up to 24w Max.

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GU24 socket, 120V only.
Universal voltage 120-277 is standard.
0-10V, TRIAC and ELV dimming protocols are standard. (12w is TRIAC dimming only; 24w is 0-10v only).

See page 2 table for LED module and driver specs, voltage and dimming protocols



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A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

Modifications:
Consult factory for custom or modified designs.

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



10 FINISHES					
Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
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50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty

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	4000K	850	11W	97
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	3500K	1250	12W	125
	4000K	1250	12W	125
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	3500K	2000	19W	125
	4000K	2000	19W	125
24W	2700K	3000	28W	125
	3000K	3000	28W	125
	3500K	3000	28W	125
	4000K	3000	28W	125

MODULE SPECIFICATION:

- Efficacy 65-125 lumens per watt
- Life: L70 50,000 hours
- Color temp: 2700K,3000K,3500K and 4000K
- CRI: >90

MODULE DRIVER SPECIFICATION:

- Input Voltage: 120-277 Volts; 50/60Hz
- Dimmable down to 1%
- 0-10V, TRIAC and ELV dimming protocols are standard.
- Output Current: Constant Current; 440mA to 940mA (model dependent)
- Driver Efficiency > 80%; Power Factor > 0.9
- Integral Surge Protection in conformance to ANSI C62.41 Category A

MODULE LISTINGS

- Fully compliant with the RoHS Directive
- Certifications: CE/UL

WARRANTY

See www.ANPlighting.com for complete fixture warranty.
 LED warranty information
 • 5 year limited warranty*

*Limited Warranty: A typical year is defined as 4380 hours of operation.

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



illuminating
ENGINEERING SOCIETY

ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms

 E3 32" x 11 7/8"	 E4 26" x 14"	 E6 26" x 9 1/4"	 E7 41 1/4" x 9 1/8"
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 E25 23" x 5 1/4"			

Driver Housing

	RTC
	RTCNC

**GLASS & GUARDS
UP TO 24W MAX**

Glass Legend: CL = Clear FR = Frosted PR = Prismatic

Glass Only

	GLCL
	GLFR
	GLPR

Glass with Cast Guard

	GLCLGUPC
	GLFRGUPC
	GLPRGUPC

Glass with Wire Guard

	GLCLGUP
	GLFRGUP
	GLPRGUP

Guards Only

	GLGUPC (Cast Guard)
	GLGUP (Wire Guard)

WALL MOUNTS | Dimensions are Projection x Height

POST MOUNTS | Dimensions are Projection x Height

 WM40 13 7/8" x 14 3/4"	 WM54 23 3/8" x 18"	 PM10 14 1/2" x 25"	 PM20 30 1/8" x 25"
 WM74 22" x 26 1/2"	 WM317 15" x 12 3/4"	 PM30 21 5/8" x 28 7/8"	 PM40 43 3/8" x 28 7/8"
 WM84 26 1/2" x 57 1/4"		 PM50 27" x 38"	 PM319 16 5/8" x 27 1/2"

ACCESSORIES

 CBC	 EMG-LED	 GR16	 PC	 SC
 SLC	 SQ	 SWL	 TBK	

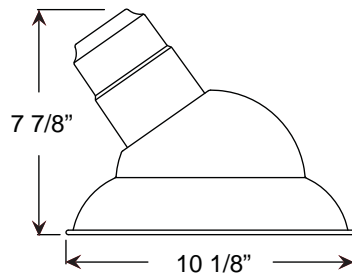
Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



Specifications



Material:
RLM shades are constructed of heavy duty spun aluminum. Wall back plate and driver housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

Electrical:
Universal voltage 120-277 is standard. 0-10V, TRIAC and ELV dimming protocols are standard.

See page 2 table for LED module and driver specs, voltage and dimming protocols.

Certifications:
Cord mounts are UL Listed for dry locations. Arm mount, stem mount and wall mount are UL Listed for wet locations.

Finish:
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

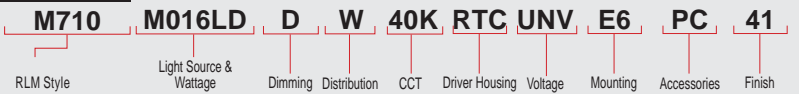
Modifications:
Consult factory for custom or modified designs.

M710

Weight: 1 lb

LED

Catalog Logic



Catalog Logic

1	2	3	4	5	6	7	8	9
M710	M012L	D	W	30K	NA	UNV	E6	83

1 LIGHT SOURCE & WATTAGES

GU24	(GU24 Socket Only)
M012LD	(12w, 750 lumen, Cree module) Integral driver, 120V, dimming & narrow distribution only.
M009LD	(9w, 850 lumen, Cree module)
M010LD	(10w, 1250 lumen, Cree module)
M016LD	(16w, 2000 lumen, Cree module)

2 DIMMING

D*	(Standard 0-10v, TRIAC and ELV dimming)
S	(Sunset dimming- Dims smoothly from 2700K to 1800K; 9w only)
*12w is dimming only, select "D".	
See page 2 for dimming protocols and limitations.	

3 DISTRIBUTION

W	(T5 Wide Distribution with Dome LED Lens)
N*	(T5 Narrow Distribution with Flat LED Lens)
*12w is narrow only, select "N".	

4 COLOR TEMPERATURE (CCT)

27K	(2700K)
30K	(3000K) (Not Sunset Dim)
35K	(3500K) (Not Sunset Dim)
40K	(4000K) (Not Sunset Dim)

5 DRIVER HOUSING

RTC	(Driver Canopy)
RTCNC	(Driver Canopy/No Spun Cover)
NA	(Housing not required for 12w)

6 VOLTAGE

UNV	(120-277)
-----	-----------

7 MOUNTING SOURCES

Arm Mounts (Cast back plate included (CB))	
E3 E4 E6 E7 E8	
E10 E11 E12 E18	
E25	
Wall Mounts	
WM54	
WM317	
Stem Mounts	
1/2" (13/16" OD Rigid Stems with STC Flat Canopy)	
2ST6 2ST12 2ST18 2ST24 2ST36 2ST48	
2ST60 2ST72 2ST96	
3/4" (1" OD Rigid Stems with STC Flat Canopy)	
3ST6 3ST12 3ST18 3ST24 3ST36 3ST48	
3ST60 3ST72 3ST96	

8 ACCESSORIES

CBC	(Cast back plate Spun Alum Cover)
GR10	(10" Wire Grill)
PC	(Button Photo Cell) Remote Only
*EMG-LED5	(5w LED Emergency Driver, remote placement, Cree module only)
*EMG-LED7	(7w LED Emergency Driver, remote placement, Cree module only)
*EMG-LED10	(10w LED Emergency Driver, remote placement, Cree module only)
SC	(Scroll for Arms)
SLC	(Sloped Ceiling Mount, 20° Max)
SQ	(Square Back Plate)
SWL	(Swivel)
TBK	(Turn Buckle Kit)
*For Emergency lumen output data, see Resources section at www.ANPlighting.com.	

9 FINISHES

Standard Grade	Marine Grade	Standard Grade	Marine Grade
40	NA	Raw Unfinished	53
41	101	Black	56
42	102	Forest Green	61
43	114	Bright Red	70
44	107	White	71
45	112	Bright Blue	72
46	123	Sunny Yellow	73
47	120	Aqua Green	76
49	NA	Galvanized	77
50	111	Navy	78
51	103	Architectural Bronze	10
52	104	Patina Verde	11
12	133	Lilac	13
100		Copper Clay	
109		Silver	
106		Black Verde	
118		Painted Chrome	
105		Painted Copper	
108		Textured Black	
125		Matte Black	
121		Textured Architectural Bronze	
127		Textured White	
124		Textured Silver	
130		Aspen Green	
131		Cantaloupe	
132		Putty	
Premium Grade	Marine Grade	Premium Grade	Marine Grade
81	129	Extreme Chrome	64
80	117	Textured Desert Stone	65
67	119	Butterscotch	82
66	115	Caramel	69
68	126	Black Silver	83
116		Candy Apple Red	
122		Cobalt Blue	
128		Graystone	
113		Gunmetal Gray	
134		Oil Rubbed Bronze	

Consult factory for additional paint charges and availability

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____



LED MODULE SPECIFICATIONS

LED	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
9W	2700K	850	11W	97
	3000K	850	11W	97
	3500K	850	11W	97
	4000K	850	11W	97
10W	2700K	1250	12W	125
	3000K	1250	12W	125
	3500K	1250	12W	125
	4000K	1250	12W	125
12W	2700K	750	12W	65
	3000K	750	12W	65
	3500K	750	12W	65
	4000K	750	12W	65
16W	2700K	2000	19W	125
	3000K	2000	19W	125
	3500K	2000	19W	125
	4000K	2000	19W	125

MODULE SPECIFICATION:

- Efficacy 65-125 lumens per watt
- Life: L70 50,000 hours
- Color temp: 2700K,3000K,3500K and 4000K
- CRI: >90

MODULE DRIVER SPECIFICATION:

- Input Voltage: 120-277 Volts; 50/60Hz
- Dimmable down to 1%
- 0-10V, TRIAC and ELV dimming protocols are standard.
- Output Current: Constant Current; 440mA to 940mA (model dependent)
- Driver Efficiency > 80%; Power Factor > 0.9
- Integral Surge Protection in conformance to ANSI C62.41 Category A

MODULE LISTINGS

- Fully compliant with the RoHS Directive
- Certifications: CE/UL

WARRANTY

See www.ANPlighting.com for complete fixture warranty.

LED warranty information

- 5 year limited warranty*

*Limited Warranty: A typical year is defined as 4380 hours of operation.











Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____





ARM MOUNTS | Dimensions are Projection x Height | CB included with all arms

 E3 32" x 11 7/8"	 E4 26" x 14"	 E6 26" x 9 1/4"	 E7 41 1/4" x 9 1/8"
 E8 29 1/4" x 12 1/2"	 E10 52 1/4" x 18"	 E11 35 1/4" x 17 1/4"	 E12 37 3/8" x 2"
 E18 27 3/4" x 21 3/8"	 E25 23" x 5 1/4"		










Driver Housing

	RTC
	RTCNC

WALL MOUNTS | Dimensions are Projection x Height | **POST MOUNTS** | Dimensions are Projection x Height

 WM54 23 3/8" x 18"	 WM317 15" x 12 3/4"
--	---

ACCESSORIES

 CBC	 EMG-LED	 GR10	 PC	 SC
 SLC	 SQ	 SWL	 TBK	

Fixture Type: _____

Catalog Number:

Project: _____

Location: _____

Oculux 3.5" Downlight Round

Model	Beam	Color Temp & CRI	Lumens	CBCP	Finish
● R3BRD	○ F 50°	○ 927 2700K - 90	895	1170	● BN Brushed Nickel ○ HZWT Haze/White ○ WT White
		○ 927 2700K - 90	895	1205	
		○ 927 2700K - 90	950	1308	
		○ 930 3000K - 90	950	1260	
		○ 930 3000K - 90	950	1295	
		○ 930 3000K - 90	950	1408	
	○ N 25°	○ 927 2700K - 90	895	2473	
		○ 927 2700K - 90	895	2617	
		○ 927 2700K - 90	950	2767	
		○ 930 3000K - 90	950	2624	
		○ 930 3000K - 90	950	2812	
		○ 930 3000K - 90	950	2973	
	○ S 15°	○ 927 2700K - 90	895	4526	
		○ 927 2700K - 90	895	4542	
		○ 927 2700K - 90	950	4776	
		○ 930 3000K - 90	950	4819	
		○ 930 3000K - 90	950	4881	
		○ 930 3000K - 90	950	5132	

Example: **R3BRD-F927-BN**

DESCRIPTION

Oculux 3.5" is an architectural grade recessed downlight available in an IC-Rated Airtight new construction or IC-Rated remodel housing sold separately. Oculux is Energy Star Rated and CEC Title 24 Compliant with Wet Location listing which means it can be installed in a broad range of applications. 35° visual cutoff provides superb glare reduction. Available in round or square open reflector and adjustable trim options.

FEATURES

- Shallow housing under 4in depth
- Single spot light source
- 5 year warranty

SPECIFICATIONS

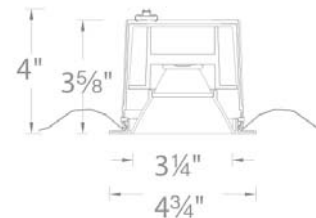
Construction:	Die-cast aluminum trim and heat sink
Power:	11W
Light Source:	Integrated LED 3 Step Mac Adam Ellipse
Rated Life:	50000 Hours
Mounting:	Heavy gauge retention clips support trim firmly
Finish:	Electrostatically Powder Coated White, Enamel Coated Haze/White, Electroplated Brushed Nickel
Operating Temp:	-4°F to 104°F (-20°C to 40°C)
Standards:	ETL, cETL, Wet Location Listed, Energy Star 2.0, Title 24 JA8-2016 Compliant



FINISHES



LINE DRAWING





100 ft Black Commercial Medium Suspended Socket String Light & LED S14 Vintage Warm White Bulbs

★★★★★ (No reviews yet)

[Write a Review](#)

SKU: KMS100BKLEDS4S14

\$279.95

CURRENT STOCK: 12

QUANTITY:

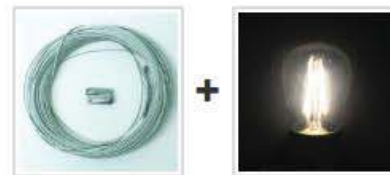
Quantity selector showing 1 unit.

ADD TO CART

ADD TO WISH LIST



FREQUENTLY BOUGHT TOGETHER:



SELECT ALL **ADD SELECTED TO CART**

- Galvanized Steel Cable Guide Wire - 110 ft **\$42.95**
- LED S14 Vintage Bulbs- Warm White **\$3.00**

DESCRIPTION **PRODUCT SPECS** **0 REVIEWS**

LED commercial string lights with a vintage look. The popular S14 sign bulb has an Edison-style look but maintains the energy efficiency of LED. Suspended socket string lights are the most classic cafe look, but this outdoor string light set creates an upscale look. Weatherproof sockets and commercial grade cord, help this string lighting to stay up year round and last longer.

- Comes with 50 of the LED S14 vintage bulbs which are rated at 2 watts with a [medium/E27 base](#).
- Clear glass with LED Edison style filaments
- Bulb color temperature: 2700K. Warm white is similar to regular incandescent bulbs.
- Bulb size: 2" wide and 3.75" high (4.75" high with base).
- Average bulb life: 25,000 hours.
- Medium base is 1" wide.
- **Bulbs are dimmable.**
- 24" spacing between sockets. **50 sockets per cord.** Total length is 108 feet which includes 100 foot cord plus 8 feet of lead cord (lead cord is the amount of plain cord from the plug to where the first socket starts).
- The sockets have suspenders which hang 4" from the cord (to the bottom of the socket). With bulbs, they hang down about 7".
- If one bulb burns out, the rest stay lit.
- These strands **CAN NOT** be plugged end-to-end. There is a standard plug on one end and the other end is capped off after last socket.
- Manufactured with 14-gauge wire and high-quality sockets.
- PVC socket forms a tight weatherproof seal around the bulb.
- For indoor or outdoor use and typically permanent installation.
- Assembly required. Bulbs will need to be screwed in.



Item # **F681-SDBK/WS**
 Product Family Name: **Groton**
 Category: **EXTERIOR FAN**
 Certification **E75795**
 Patents:
 U.S. Patent(s) **D808,512;D812,215; D812,217; D821,559; D851,234; Add'l U.S. Patent(s) Pending**
 Notes:

UPC Code: **706411055089**
 Finish: **Sand Black/Weathered Steel**
 Category Type: **Ceiling Fan**

Image File Name: **F681-SDBK/WS.jpg**



MEASUREMENTS

Blade Finish: Reversible
 ABS Blades: **No**
 Blade Material: Slope: **Yes**
 Blade Sweep: No. of Blades: **5** Blade Pitch: **12 DEGREES** Hanging Weight: **31.97**
 Downrod 1: Downrod 1 Downrod 2: Downrod 2
10 Outside Dia: **0.75** Outside Dia:
 Ceiling to Lowest Ceiling to Blade Lead Wire: Motor Size:
 Point: (Dim A) (Dim B) **80"** **188X22MM**
20.0 **15.5**

	Low	Low/Med.	Medium	Med/High	High
RPM:	66		119		171
Amps:	0.23		0.38		0.54
Watts:	11.6		32.3		64.8
CFM:	2351.0		4316.0		6392.0
CFM/Watts:	202.67		133.62		98.64

LAMPING

No. of Bulbs: **2** Light Type: **T4(E11)MINI CAND** Light Kit Optional: **No**
 Max Bulb Socket: **E11, MINI CAND**
 Wattage: **50**
 Integrated Light Kit: **Yes** Dimmable: **Yes** Ballast: **Yes** Rated Life Hours: **No** Uplight: **No**
 Bulb/LED Included: **Yes** Color Temp.: **Yes** CRI: **Yes** Initial Lumens: **Yes** Delivered Lumens: **Yes**

GLASS

Description: **Clear Fresnal** Material:
 Part No.: **GF681** Quantity: **1**
 Width: **GF681** Height: **GF681** Length: **GF681**



CONTROLS

Pull Chain Control: **No** Works with Remote Control: **Yes** Works with Wall Control: **Yes**
 Reversible: **Yes** Included Remote Control: **RCS212** Included Wall Control:
 Smart Control: **No** Compatible Remote Control(s): **WCS212** Compatible Wall Control(s): **WCS212**
 Integrated Smart Control: Compatible Smart Control:



SHIPPING

Carton Width: **16.38** Carton Height: **11.13** Carton Length: **28.13**
 Carton Weight: **35.77** Carton Cubic Feet: **2.968** Small Package Shippable: **Yes**
 Master Pack Width: **Master Pack Height: Master Pack Length:**
 Master Pack Weight: **Master Cubic Feet: Multi-Pack: Master Pack:**
1 1



Wet Location



UL Listed



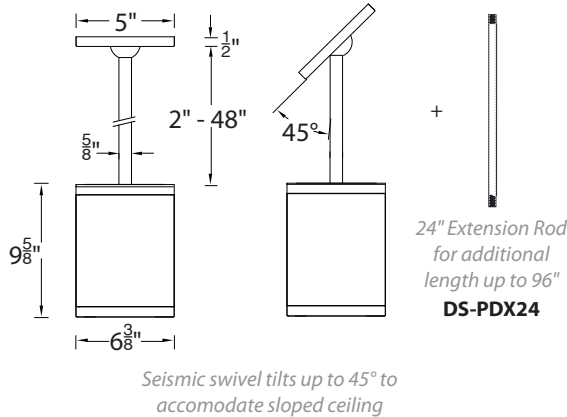
WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to www.P65Warnings.ca.gov.

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

TUBE ARCHITECTURAL DS-PD06

LED Pendant Mounts

WAC LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent lighting. Comes in various light beam angle options.

FEATURES

- High performance exterior rated LED pendant
- Includes 45° swivel canopy and 2 field cuttable 24" rods
- Solid aluminum construction
- 5 year warranty

SPECIFICATIONS

Input:	Universal voltage 120V - 277VAC, 50/60Hz
Dimming:	Electronic low voltage (ELV) : 100% - 5% 0-10V: 100% - 1%
Light Source:	High output 3 Step Mac Adam Ellipse COB Rated life of 60,000 hours at L70
Finish:	Electrostatically powder coated, white, black, bronze and graphite
Standards:	IP65 rated, ETL & cETL wet location listed, Energy Star® 2.2 rated Title 24 JA8-2016 Compliant
Operating Temp:	-13°F to 122°F (-25°C to 50°C)

ORDERING NUMBER

Diameter	Watt	Beam	Beam Angle	Color Temp	Reference Output ¹			Efficacy	Light Distribution	Finish	
					CRI	Lumen	CBCP	(Lm/W)			
DS-PD06	6" 35W	S Spot	16°	927	2700K	90	2820	18842	81		
				27	2700K	85	3385	22608	97		
				930	3000K	90	2925	19543	84		
				30	3000K	85	3535	23632	101		
				35	3500K	85	3630	24255	104		
				40	4000K	85	3665	24490	105		
DS-PD0622	6" 22W	N Narrow	28°	927	2700K	90	2800	7992	80		BK Black WT White BZ Bronze GH Graphite
				27	2700K	85	3360	9589	96		
				930	3000K	90	2900	8290	83		
				30	3000K	85	3510	10024	100		
				35	3500K	85	3600	10288	103		
				40	4000K	85	3635	10388	104		
		F Flood	38°	927	2700K	90	2825	5451	81		
				27	2700K	85	3390	6540	97		
				930	3000K	90	2930	5654	84		
				30	3000K	85	3545	6836	101		
				35	3500K	85	3640	7017	104		
				40	4000K	85	3675	7085	105		

DS-PD06- _____ - _____

¹Reference output shows 35W output. Multiply by 0.7 to determine output for 22W combinations.

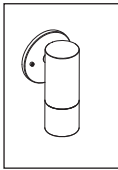
Example: **DS-PD06-S930-WT**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



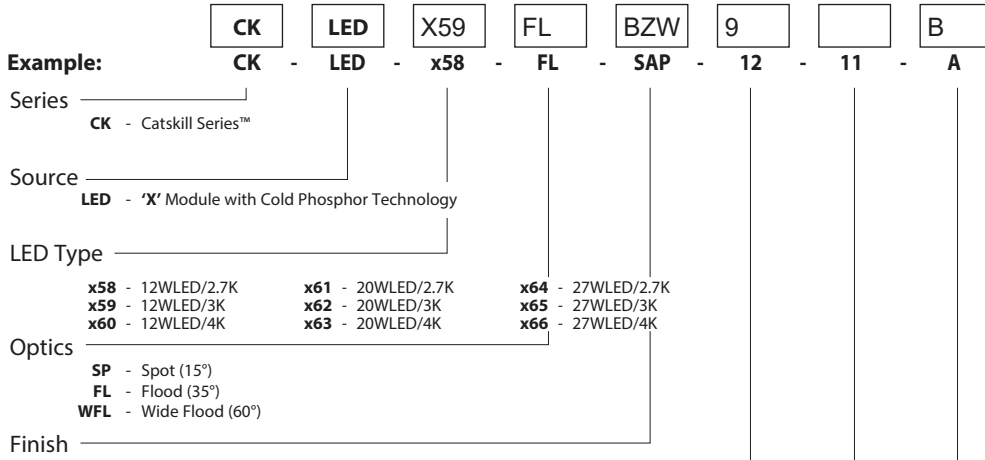
BKSSL
SOLID STATE LIGHTING
12-27W LED



CATSKILL™

PROJECT:	
TYPE:	
CATALOG NUMBER:	
SOURCE:	
NOTES:	

CATALOG NUMBER LOGIC

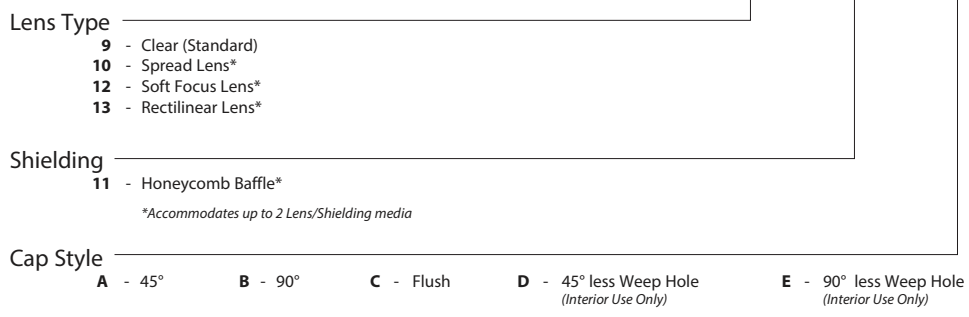


Configure Driver Housing Separately
Driver Housing Required

REMOTE DRIVER HOUSINGS:
PM2RM - Universal Power Module 2 Remote
PM2DRM - Universal Power Module 2 Dual Remote
RM - Remote Wall Mount
DRM - Dual Remote Wall Mount

Powder Coat Color	Satin	Wrinkle
Bronze	BZP	BZW
Black	BLP	BLW
White (Gloss)	WHP	WHW
Aluminum	SAP	—
Verde	—	VER

Standard Finish		Premium Finish	
ABP Antique Brass Powder	CMG Cascade Mountain Granite	RMG Rocky Mountain Granite	
AMG Aleutian Mountain Granite	CRI Cracked Ice	SDS Sonoran Desert Sandstone	
AQW Antique White	CRM Cream	SMG Sierra Mountain Granite	
BCM Black Chrome	HUG Hunter Green	TXF Textured Forest	
BGE Beige	MDS Mojave Desert Sandstone	WCP Weathered Copper	
BPP Brown Patina Powder	NBP Natural Brass Powder	WIR Weathered Iron	
CAP Clear Anodized Powder	OCP Old Copper	<i>Also available in RAL Finishes See submittal SUB-1439-00</i>	



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HIGHLINE B2

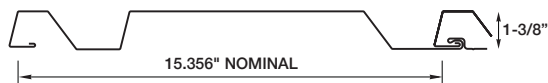
PRECISION SERIES WALL PANELS

MATERIALS

.032 aluminum	24 gauge steel
.040 aluminum	22 gauge steel
.050 aluminum	

SPECS

15.356" Wide	1-3/8" High
--------------	-------------



AVAILABLE WITH OR WITHOUT CLIP



PRODUCT FEATURES

- ▶ No-clip panel or clip installation for expansion/contraction
- ▶ Multiple rib patterns provide a variety of looks and design options
- ▶ Panel depth of 1-3/8"
- ▶ Cost-effective installation
- ▶ Horizontal or vertical installation
- ▶ Panel lengths: 30' maximum for steel; 22' maximum for aluminum; longer lengths available on clip panels; 4' min. steel and aluminum

MATERIAL

- ▶ 43 stocked colors (24 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 15 stocked colors (22 gauge steel)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ 29 stocked colors (.050 aluminum)
- ▶ Galvalume Plus available

TESTS

- ▶ ASTM E330
- ▶ ASTM E283
- ▶ ASTM E331
- ▶ ASTM 1592

FLORIDA BUILDING PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Precision Series panels.

Note: Line drawings may not be to scale.



Existing Restaurant



**Rear of Building
(wall to be saved)**



Rear of Site



Existing Vegetative Buffer



Existing Buffer @ Loading Area



View to Smokehouse from Red Fish



Live Oak @ Proposed Game Area



Village Exchange from Smokehouse



Red Fish Restaurant



Village Exchange



Village Exchange



BackYard
Restaurant

Village Exchange



RESORT RENTALS
OF HILTON HEAD ISLAND
VACATION HOMES

32

RESORT RENTALS
OF HILTON HEAD ISLAND
vacasa

VACATION RENTALS

Village Exchange

5-V CRIMP METAL ROOFING
 COLONIAL RED
 PAC-CLAD

PAINTED BRICK VENEER
 SW 9167 POLISHED CONCRETE
 SHERWIN WILLIAMS

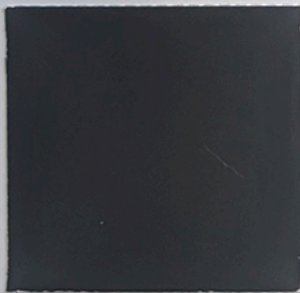
HIGHLINE WALL PANEL
 BURNISHED SLATE
 PAC-CLAD



TRIM & SIDING
 SW 6002 ESSENTIAL GRAY
 SHERWIN WILLIAMS



WINDOWS & DOORS
 INDUSTRIAL DARK BRONZE 102
 SIERRA PACIFIC



STEEL STRUCTURE & DARK ACCENTS
 SW 7020 BLACK FOX
 SHERWIN WILLIAMS



STAINED PINE SIDING
 TBD TO COORDINATE W/ DARK TRIM



Proposed Exterior Colors & Materials

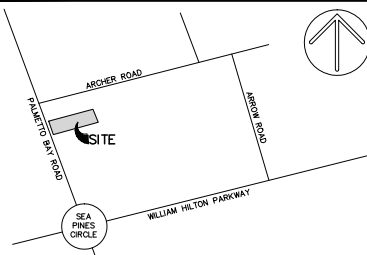
34 Palmetto Bay Rd.
 Hilton Head Island, SC 29926
 1/14/2020



parkerdesigngrouparchitects
 843 785 5171 POST OFFICE BOX 5010 HILTON HEAD ISLAND SC 29928



LINE	BEARING	DISTANCE
L1	N36°03'30"W	87.16
L2	N53°56'30"E	5.00
L3	N35°46'03"W	63.16



VICINITY MAP NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO LIE IN FLOOD ZONE A7 (EL:14'), PER FIRM PANEL No. 13-07; COMMUNITY No. 450250, DATED 9/29/86, BASED ON REFERENCE 2.
- TREE SIZES IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS SHOWN ARE BASED ON NGVD 1929 DATUM.
- SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83 FROM SCVRS NETWORK.

REFERENCE(S):

- PLAT BOOK 20, PAGE 19
- ASBLT SURVEY OF LOT G, PALMETTO BAY ROAD BY: SEA ISLAND LAND SURVEY DATED: 11.18.01

LEGEND:

CMF	CONCRETE MONUMENT OLD
RBF	REBAR FOUND
LP	LAMP POST
TRNF	TRANSFORMER
-UE-	UNDERGROUND ELECTRIC
EB	ELECTRIC BOX
WM	WATER METER
WS	WATER SPIGOT
GI	GRATE INLET
TEL	TELEPHONE BOX
-UT-	UNDERGROUND TELEPHONE
-X-	FENCE LINE
P	PINE
CR MYT	CREPE MYRTLE
PLM	PALMETTO
LO	LIVE OAK
WO	WATER OAK
G	GUM
x10.0	SPOT ELEVATION
-10-	CONTOUR

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRAMPED WITH SEAL



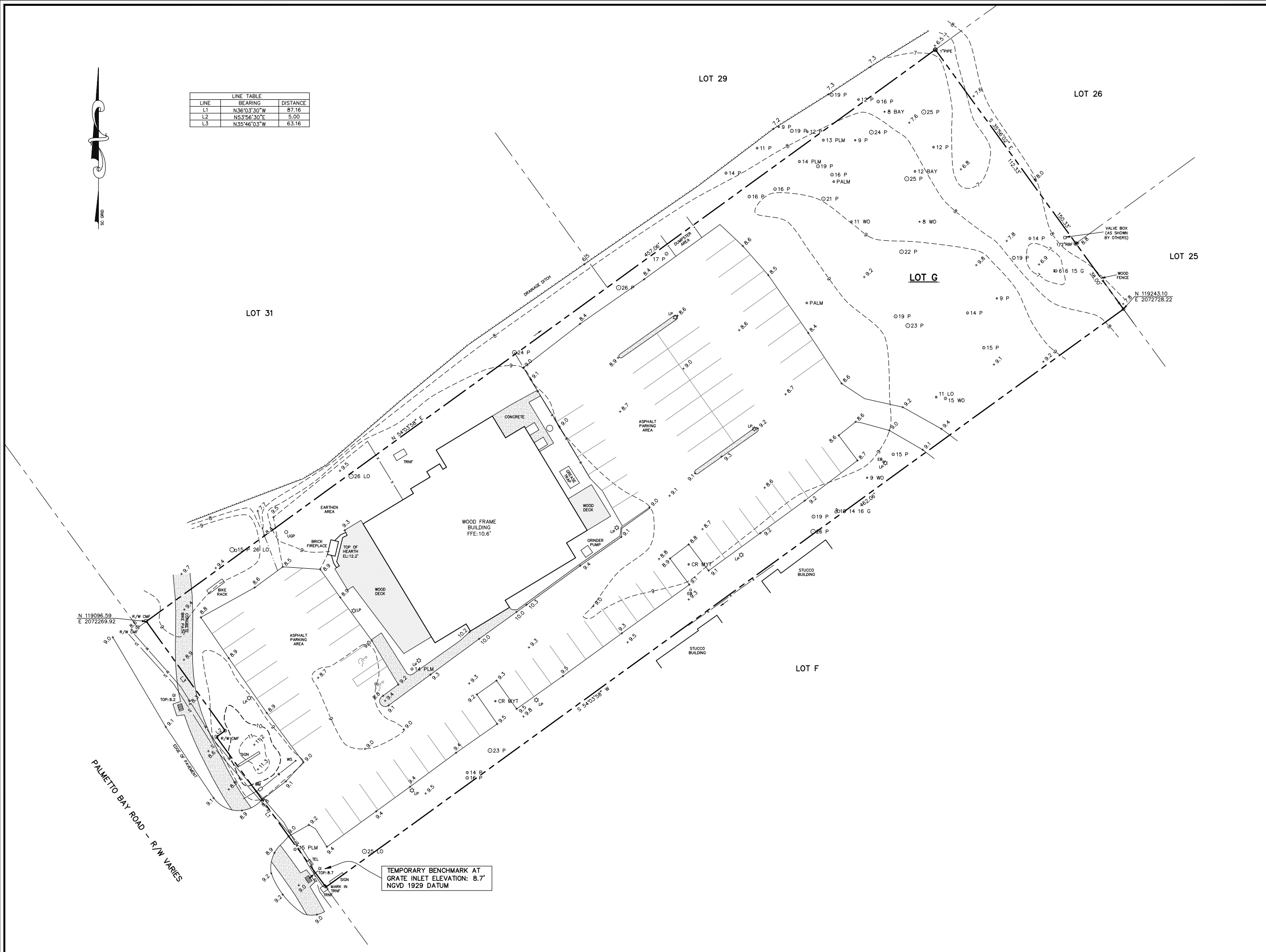
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AN ASBLT, TREE & TOPOGRAPHIC SURVEY OF
LOT G
PALMETTO BAY ROAD

TMS R552 014 000 0050 0000
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:
SMOKEHOUSE RESTAURANT

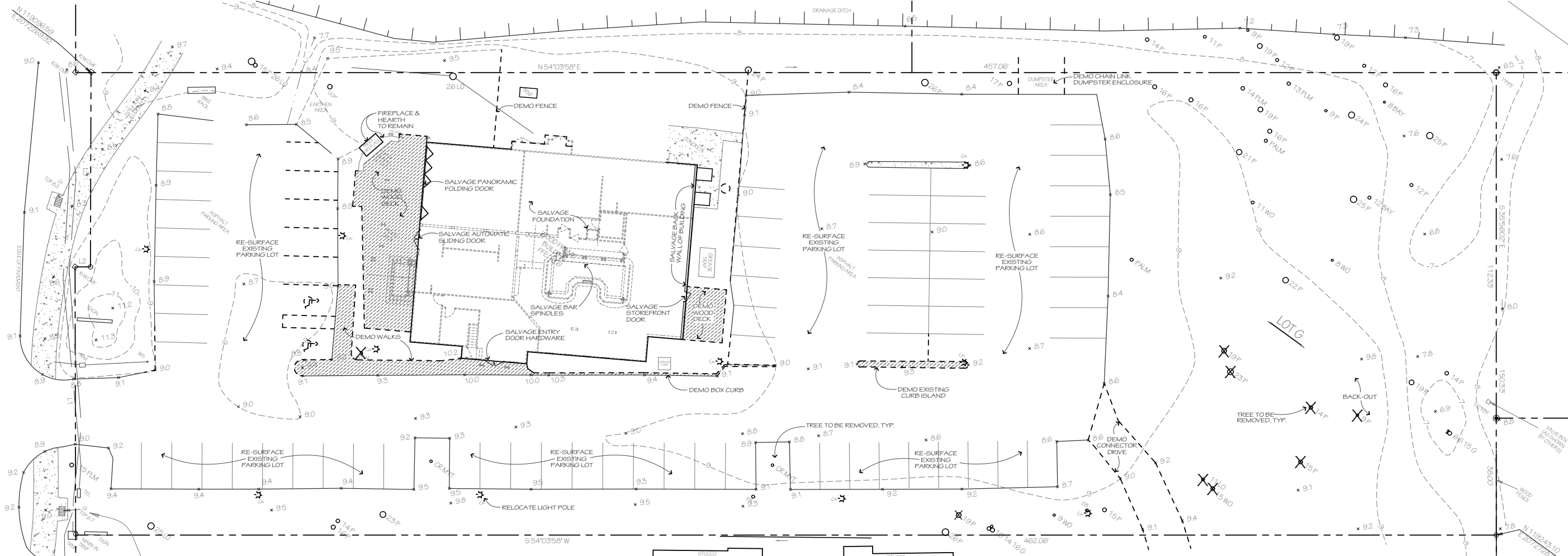
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DRAWN BY: DRC PROJECT NAME: 19090006
DATE: 09.23.19 FILE: 19090006AT 092319.dwg
SCALE: 1" = 20'



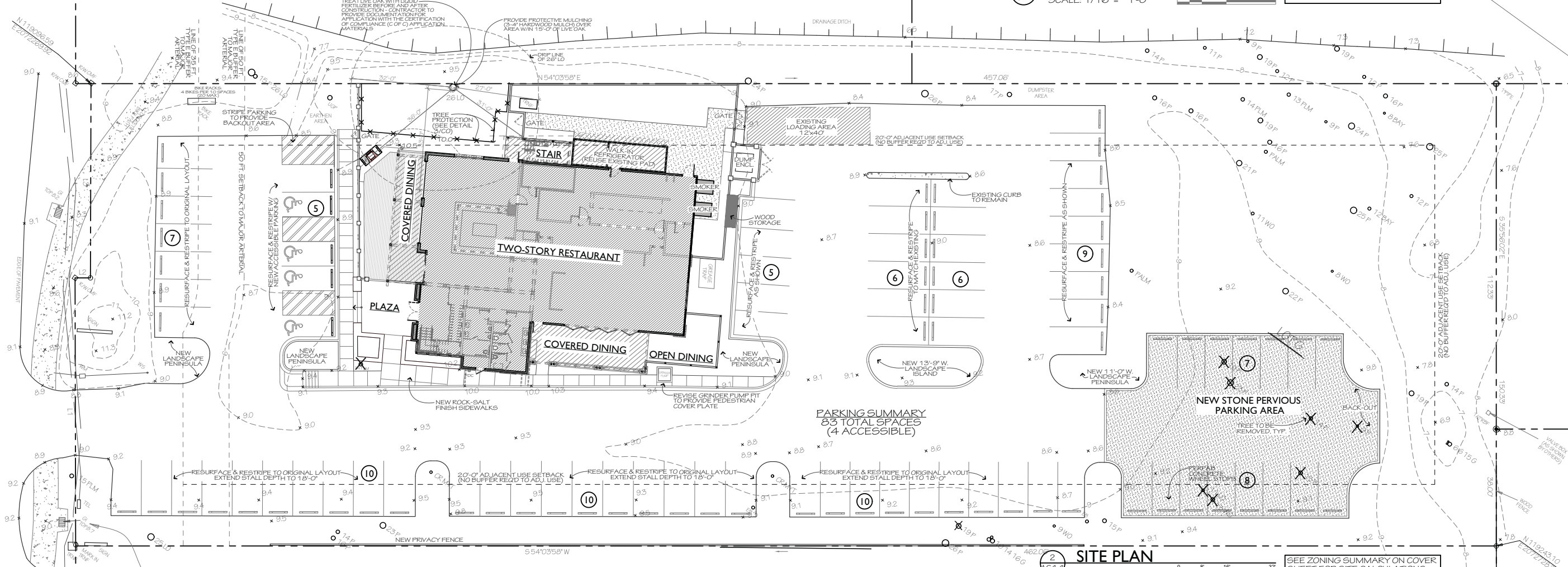
TEMPORARY BENCHMARK AT
GRATE INLET ELEVATION: 8.7'
NGVD 1929 DATUM

N 119096.59
E 2072269.92

PALMETTO BAY ROAD - R/W VARES



1 DEMO SITE PLAN
 SCALE: 1/16" = 1'-0"
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS



2 SITE PLAN
 SCALE: 1/16" = 1'-0"
 SEE ZONING SUMMARY ON COVER SHEET FOR SITE CALCULATIONS

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REVISIONS

NO.	DESCRIPTION

DRAWN BY
 JD
 CHECKED BY
 JD
 DATE OF ISSUE
 1/21/2020
 SCALE
 AS SHOWN
 JOB NO.
 1928
 SHEET



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5	-
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7	-
8	-

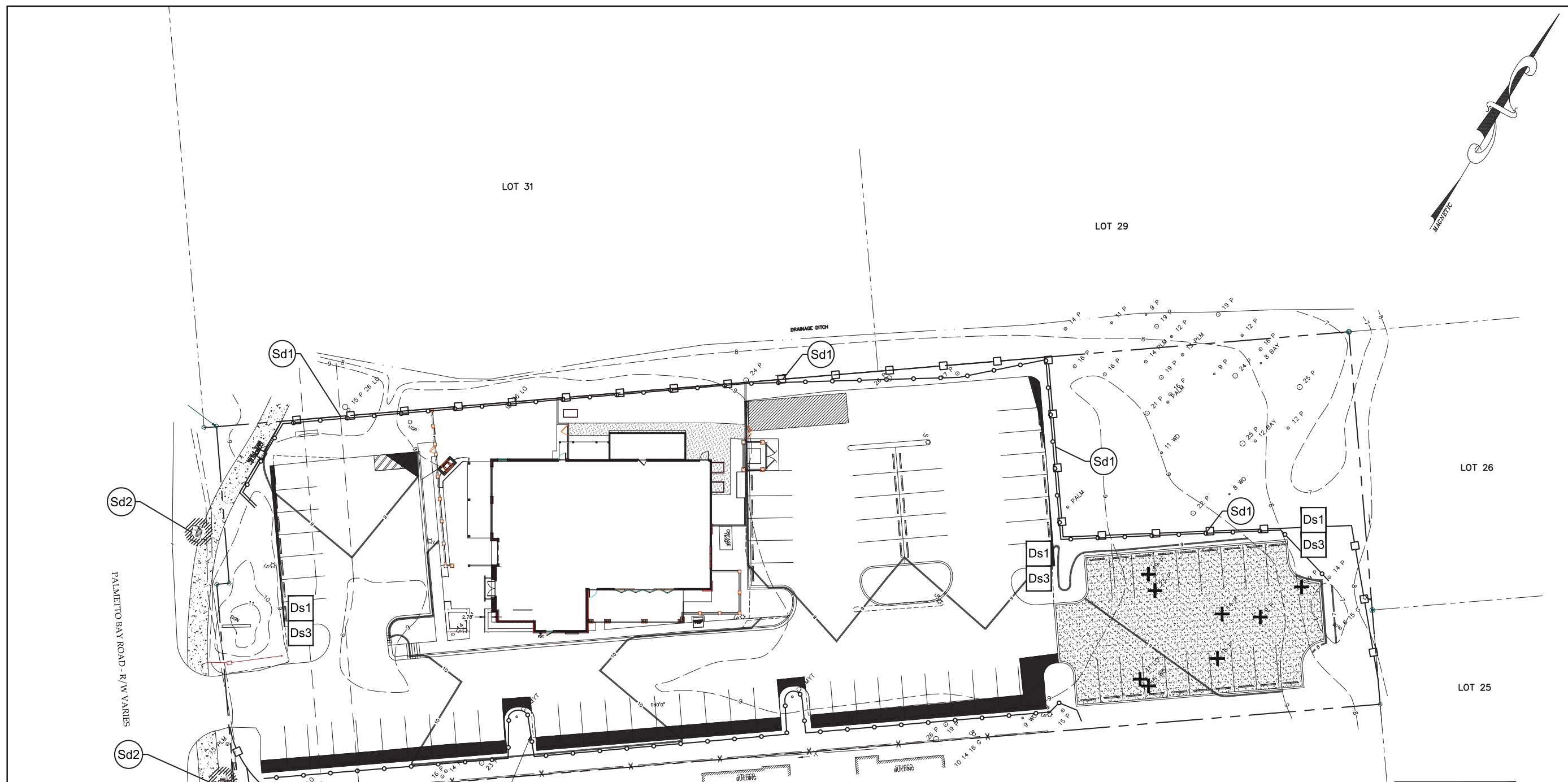
**SMOKEHOUSE RESTAURANT
TOWN OF HILTON HEAD
BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
PO BOX 294
BEAUFORT, SC 29901
WWW.CAROLINAENGINEERING.COM
843/322-0553
843/322-0556 (FAX)

PROJECT: 2218
DATE: 12/11/19
REVISED: 01/07/20
DRAWN BY: FLB
ENGINEER: FLB
SCALE: 1"=20'

TREE PROTECTION & REMOVAL AND SEDIMENT & EROSION CONTROL PLAN

2 OF 5



SEDIMENT & EROSION CONTROL NOTES:

IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE CALENDAR EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WWS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY TOWN OF HILTON HEAD EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H: 1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:

- WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
- WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
- SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

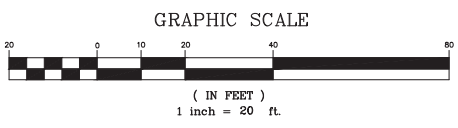
TREE LEGEND

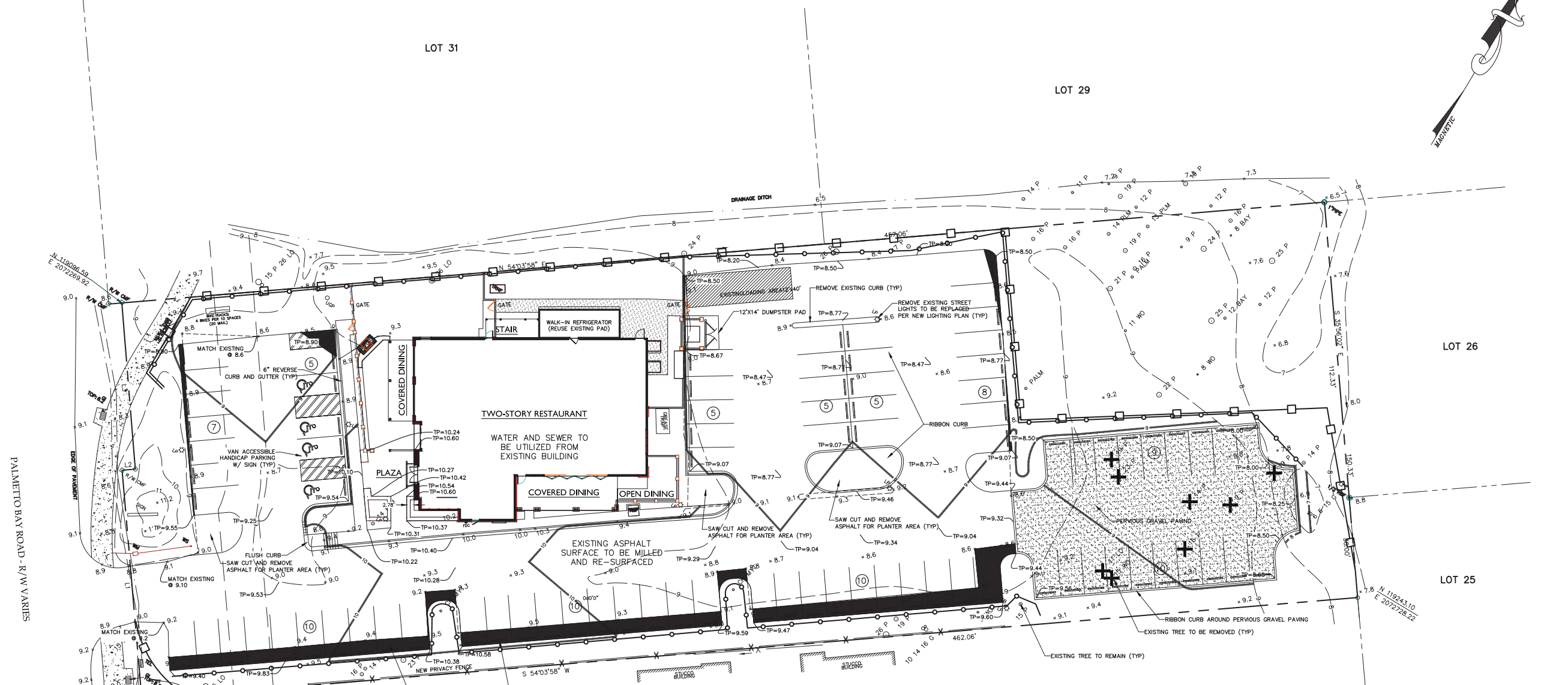
REMAIN	REMOVE

TREE IDENTIFICATION

ABBREVIATION	DESCRIPTION
BAY	BAY TREE
CR MYT	CRAPE MYRTAL.
G	GUM
LO	LIVE OAK
P	PINE
PALM	PALM
WO	WATER OAK

TREE PROTECTION & REMOVAL NOTES:
INSTALL ALL TREE PROTECTION FENCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.





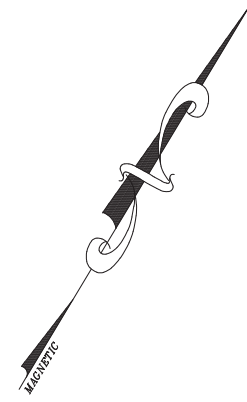
PALMETTO BAY ROAD - R/W VARIES

LOT 31

LOT 29

LOT 26

LOT 25



TEMPORARY BENCHMARK AT
GRATE INLET ELEVATION: 8.7'
NGVD 1929 DATUM

CONCRETE HEADER CURB
(CONTRACTOR RESPONSIBLE FOR
SALVAGING EXISTING HEADER CURBS
AND INSTALLING NEW HEADER CURBS AS NEEDED)

**GENERAL NOTES,
PAVING, GRADING & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY XXXXXXXX BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

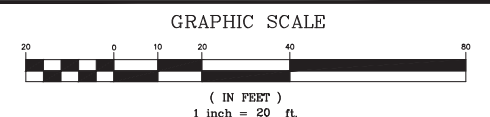
APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPMS TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.



PLAN REVISIONS	
NO.	DATE
1	-
2	-
3	-
4	-
5	-
6	-
7	-
8	-

**SMOKEHOUSE RESTAURANT
TOWN OF HILTON HEAD
BEAUFORT COUNTY, SC**

CAROLINA ENGINEERING CONSULTANTS, INC.
PO BOX 294
BEAUFORT, SC 29901
WWW.CAROLINAENGINEERING.COM
843/322-0553
843/322-0556 (FAX)

PROJECT: 2218
DATE: 12/11/19
REVISED: 01/07/20
DRAWN BY: FLB
ENGINEER: FLB
SCALE: 1"=20'

**SITE DEVELOPMENT
PLAN**

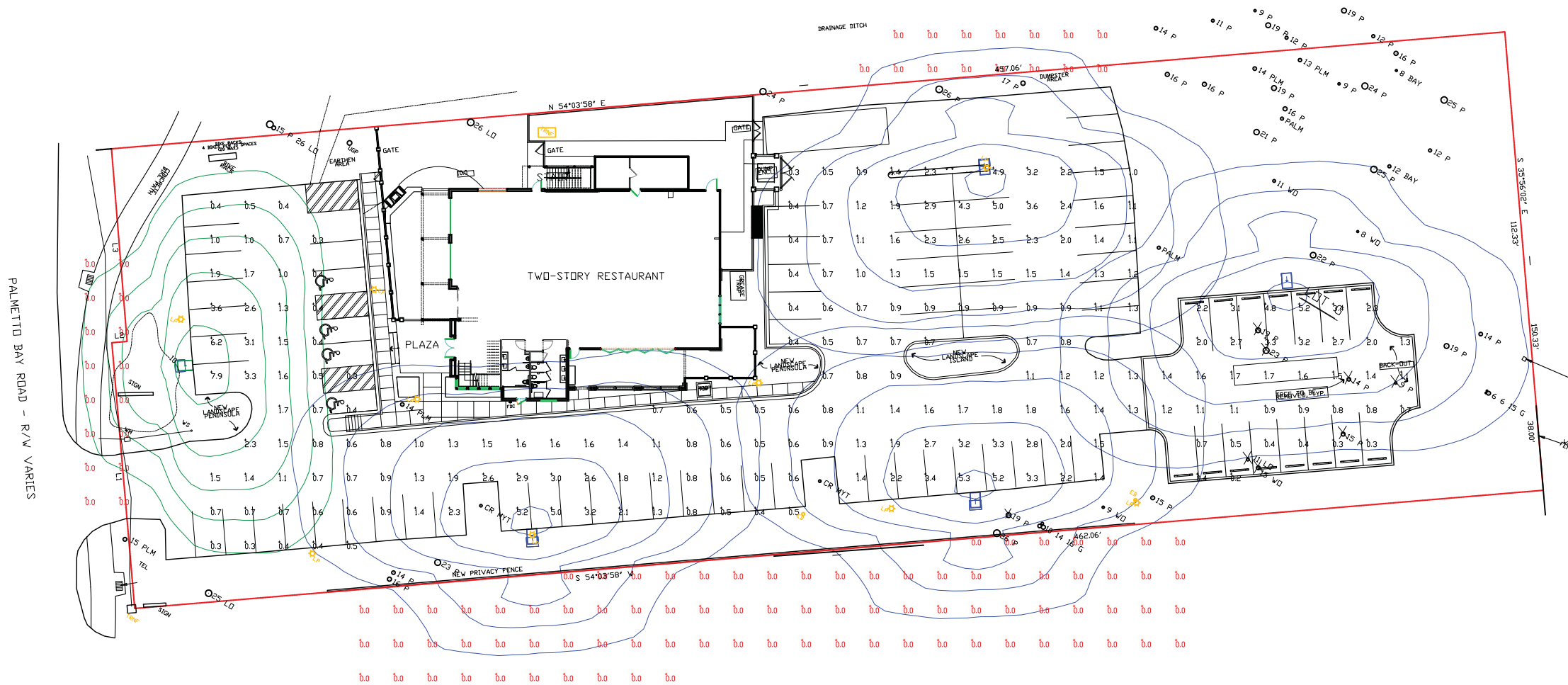
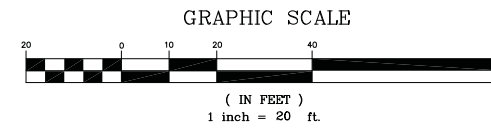
**4
OF 5**

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Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
■	4	Large Autobahn	SINGLE	NA	0.720	250EQ LED ON 25' WOOD POLE, 20' MOUNTING HEIGHT
■	1	Small Autobahn	SINGLE	NA	0.720	250EQ LED ON 19' WOOD POLE, 15' MOUNTING HEIGHT

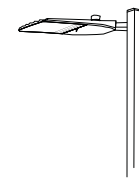
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SHIELDED AREA 1	Illuminance	Fc	0.00	0.0	0.0	NA	NA
SHIELDED AREA 2	Illuminance	Fc	0.00	0.0	0.0	NA	NA
SHIELDED AREA 3	Illuminance	Fc	0.00	0.0	0.0	NA	NA

LumNo	Label	X	Y	Z	Orient	Tilt
1	Large Autobahn	1595.178	434.313	20	274.342	0
2	Large Autobahn	1506.254	467.716	20	274.431	0
3	Large Autobahn	1503.69	367.283	20	92.658	0
4	Large Autobahn	1373.328	356.592	20	93.628	0
5	Small Autobahn	1271.2	408.107	15	2.933	0



- NOTES
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
 - THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

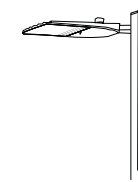
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AUTOBAHN SMALL LED

APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1572 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder finish standard in dark bronze



AUTOBAHN LARGE LED

APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1572 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder finish standard in dark bronze

PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532



REMARKS:

DESIGNED BY: T.J.H.
CHECKED BY: ENG
DRAWN BY: RBT
DATE: 01/13/20
SCALE: 1" = 20'
PROJECT NO.: 1904002L-1
MAP NO: 00000000

SHEET NO.
1
OF
1

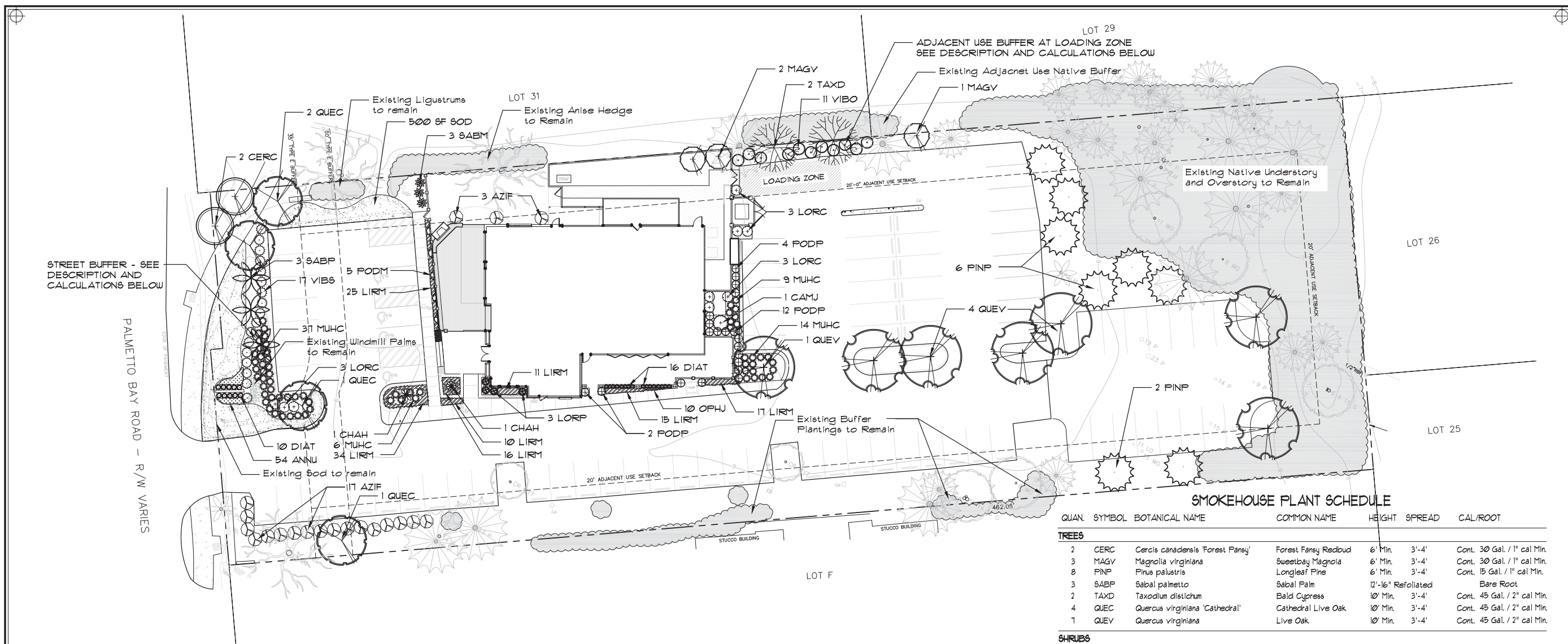
LIGHTING PROPOSAL FOR
SMOKEHOUSE 34
PALMETTO BAY RD
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

REVISIONS:	NO.	DESCRIPTION:
DATE:	1/20/20	Added 1 overstory tree in street buffer, Adjust buffer calculations, Removed note #2

PROJECT NO:
10504
ISSUE DATE:
1/20/20

DRAWN:
pmr
APPROVED:
pmr

Landscape Plan



SMOKEHOUSE PLANT SCHEDULE

QUAN.	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CAL/ROOT
TREES						
2	CERC	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6' Min.	3'-4'	Cont. 30 Gal. / 1" cal Min.
3	MAGV	Magnolia virginiana	Sweetbay Magnolia	6' Min.	3'-4'	Cont. 30 Gal. / 1" cal Min.
8	PINP	Pinus palustris	Longleaf Pine	6' Min.	3'-4'	Cont. 15 Gal. / 1" cal Min.
3	SABP	Sabal palmetto	Sabal Palm	12'-16" Retoliated		Bare Root
2	TAXD	Taxodium distichum	Bald Cypress	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
4	QUEC	Quercus virginiana 'Cathedral'	Cathedral Live Oak	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
1	QUEV	Quercus virginiana	Live Oak	10' Min.	3'-4'	Cont. 45 Gal. / 2" cal Min.
SHRUBS						
20	AZIF	Azalea indica Formosa	Formosa Azalea	36" Min.	24"-30"	Cont. 1 Gal. Min.
1	CAMJ	Camellia japonica (Tree Form)	Common Camellia	36" Min.	24"-30"	Cont. 1 Gal. Min.
2	CHAH	Chamaerops humilis	Dwarf Fan Palm	24"-30"	24"-30"	Cont. 15 Gal. Min.
6	LORC	Loropetalum chinense 'Ever Red'	Ever Red Loropetalum	36" Min.	24"-30"	Cont. 1 Gal. Min.
3	LORP	Loropetalum c. 'Purple Diamond'	Purple Dia. Loropetalum	18"-24"	18"-24"	Cont. 1 Gal. Min.
66	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	15"-18"	12"-15"	Cont. 3 Gal. Min.
5	PODM	Podocarpus macrophyllus 'Maki'	Shrubby Yew on trellis	36" Min.	15"-18"	Cont. 1 Gal. Min.
20	PODP	Podocarpus macrophyllus 'Fringles'	Dw. Fringles Podocarpus	18" Min.	12"-15"	Cont. 1 Gal. Min.
3	SABM	Sabal Minor	Sabal Minor	18" Min.	12"-15"	Cont. 1 Gal. Min.
17	VIBS	Viburnum suspensum	Sandbarnea Viburnum	36" Min.	15"-18"	Cont. 15 Gal. Min.
11	VIBO	Viburnum odoratissum	Sweet Viburnum	36" Min.	24"-30"	Cont. 15 Gal. Min.
GROUNDCOVERS						
54	ANNU	Seasonal Annuals	Vinca or equal	6"-8"	6"-8"	Cont. 3 Gal.-24" o.c.
26	DIAT	Dianella tasmanica	Variegated Dianella	10"-12"	10"-12"	Cont. 1 Gal.-24" o.c.
128	LIRM	Liriope muscari 'Emerald Goddess'	Emerald Goddess Liriope	10"-12"	10"-12"	Cont. 1 Gal.-24" o.c.
10	OPHJ	Ophiopogon japonicus 'Nana'	Selections by LA/Owner	10"-12"	10"-12"	Cont. 1 Gal. 18" o.c.
500 SF	SOD	Eremochloa ophiuroides	Centipede Grass Sod			
150	BALES	MULCH - PLANT BED AREAS	Longleaf Pine Straw Mulch			1 Bale / 50 sf

PLANTING NOTES:

- Materials list was prepared for estimating purposes, Contractor shall make own quantity take-off using drawings and specifications to determine quantities to his satisfaction, reporting promptly any discrepancies which may effect bidding.
- Root types may be freely substituted in case of balled and burlapped or container grown, all other specifications to remain unchanged.
- Contractor to verify that all plant materials are available as specified when proposal is submitted.
- See tree, shrub, and groundcover planting details and special provisions for planting specifications.
- Soil shall be amended by Contractor as indicated by soil test to achieve proper soil conditions for optimum plant health.
- Contractor shall stake out all shrub bed lines, tree locations, and shrub groupings for approval by Owner's Representative before beginning planting operations.
- All plant beds and disturbed areas to receive a minimum 3" deep pinestraw mulch.
- Contractor to maintain the plantings and control weeds in mulch areas through the duration of construction until final acceptance.
- All plant beds and areas to receive 100% irrigation coverage with automatic system and rain sensor override.
- In the plant schedule, plants noted as 'specimen', shall be selected by the Owner's Representative at the nursery or photos of the planting stock shall be submitted to the Owner's Representative for approval.
- Preemergent herbicide shall be applied to planting areas prior to landscape installation and according to manufacturer's instructions.

SUMMARY OF PROPOSED BUFFER PLANTINGS:

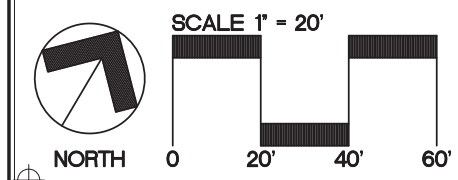
	REQD.	NEW	EXISTING	TOTAL
A. STREET BUFFER - BUFFER TYPE E, OPTION 1 (116 LF) *1				
OVERSTORY	5	4	1	5
UNDERSTORY	5	1	0	1
EVERGREEN SHRUBS	29	31	0	31
B. LOADING ZONE BUFFER - BUFFER TYPE D, OPTION 1: (40 LF)				
OVERSTORY	2	2	0	2
UNDERSTORY	2	3	0	3
EVERGREEN SHRUBS	10	11	0	11

NOTES:
1. LENGTH OF STREET BUFFER EXCLUDES ENTRY DRIVE AND BIKE PATH ENCROACHMENTS (150.25' TOTAL LENGTH MINUS 34' FOR BIKE PATH AND ENTRY DRIVE = 116.25' OF REMAINING BUFFER LENGTH)

SUMMARY OF PROPOSED TREE MITIGATION:

QTY.	CAL. INCHES	TREE TYPE	TREE REQD.	TREE PROVIDED
1	11	LIVE OAK	1	10
1	15	WATER OAK	2	2 (1)
7	80	PINES	8	8

NOTE:
1. REQUEST PERMISSION TO SUBSTITUTE 2 BALD CYPRESS FOR THE 15" WATER OAK REMOVED.



FREEZER
9' x 12'

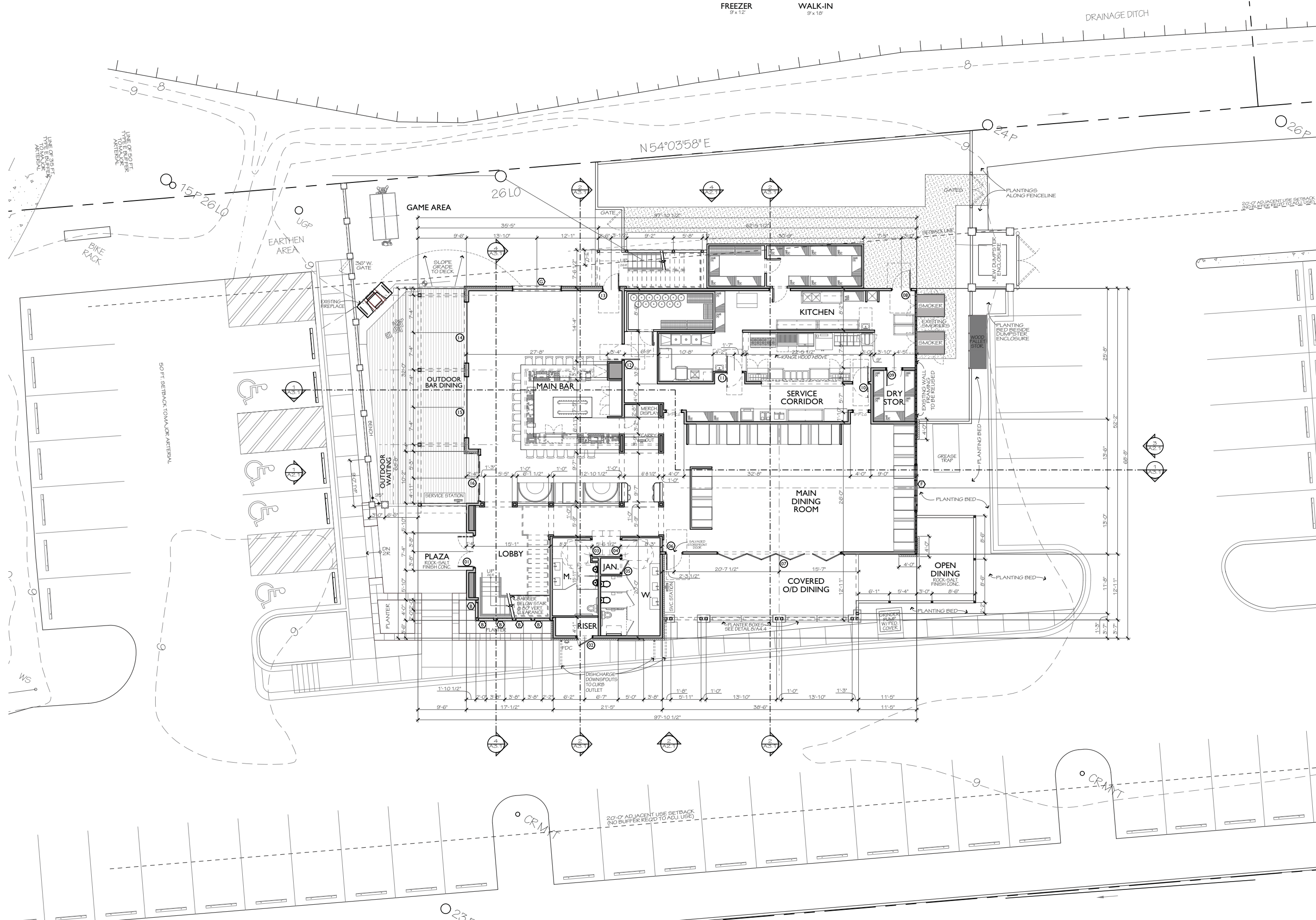
WALK-IN
9' x 18'

DRAINAGE DITCH

N54°03'58" E

1st FLOOR PLAN

SCALE: 1/8" = 1'-0"



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Smokehouse
ALDS • RHYTHM • BREWS

34 Palmetto Bay Road, Hilton Head Island, SC 29926

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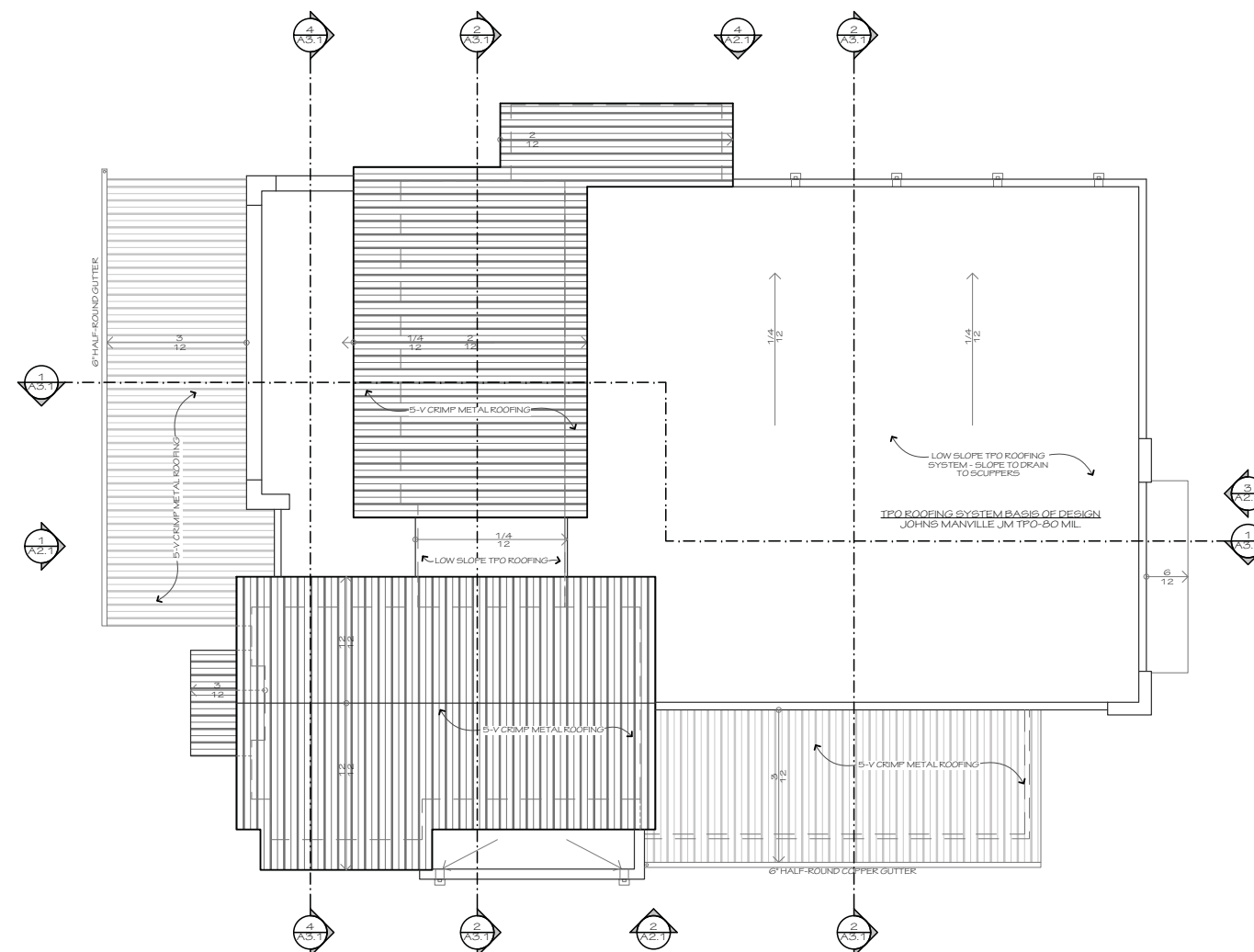
SCALE
AS SHOWN

JOB NO.
1928

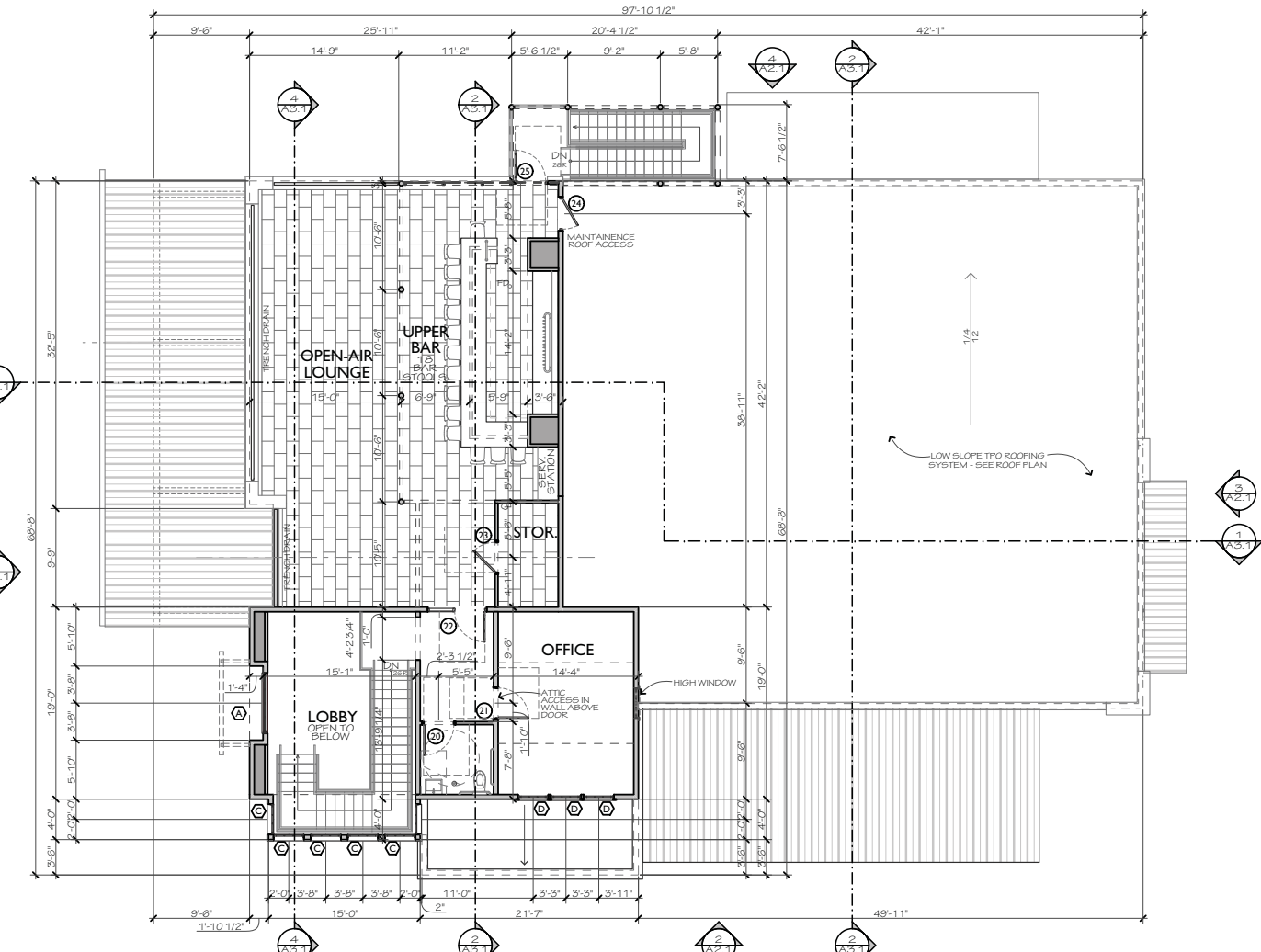
SHEET

FIRST FLOOR PLAN
A1.1

SEE CODE SUMMARY ON COVER SHEET FOR AREAS



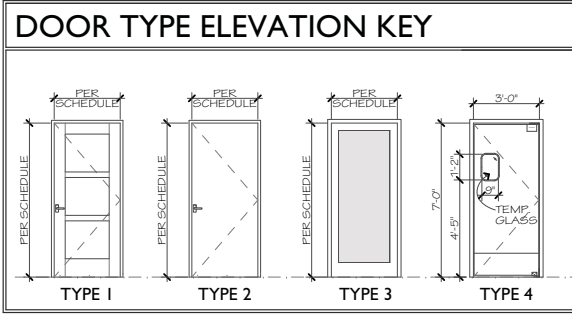
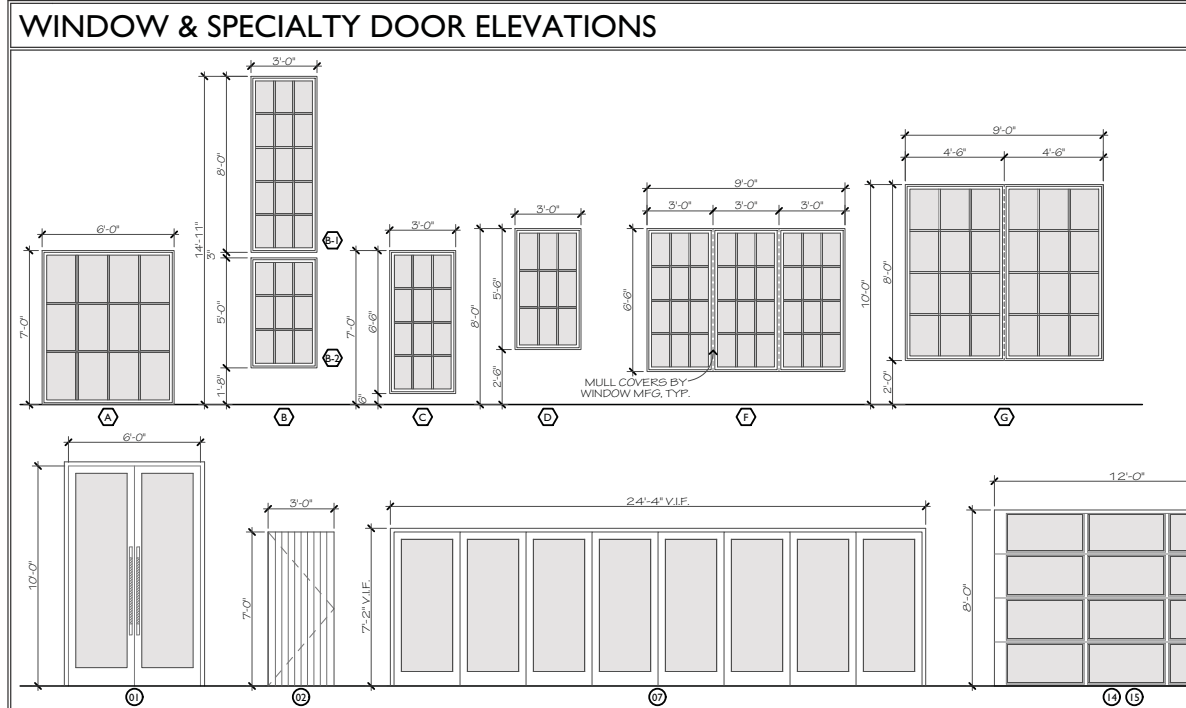
2 ROOF PLAN
SCALE: 1/8" = 1'-0"



1 2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

MARK	TYPE	MANUF.	SIZE	REMARKS
A	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	6'-0" x 7'-0"	
B-1	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 8'-0"	PROVIDE MULL MANUFACTURER'S MULL COVER BETWEEN 1\"/>
B-2	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 5'-0"	
C	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 6'-0"	
D	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	3'-0" x 5'-0"	
F	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	(2) 3'-0" x 6'-0" (RD +/- 3'-0" x 6'-0")	
G	CASEMENT PICTURE (NOTE 1)	SIERRA PACIFIC H3	(2) 4'-6" x 8'-0" (RD +/- 3'-0" x 8'-0")	MFG. TO PROVIDE BRICK MOULD SNAP COVER

NOTES:
 1. SIERRA PACIFIC H3 WINDOWS W/ LOW-E 366 GLASS, AAMA 2605 FINISH, & 7/8" PUTTY SGL MUNTINS W/ SPACER BAR
 1. PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S1.0.
 2. PROVIDE ARMOUR SCREEN HURRICANE PROTECTION SYSTEM (OR SIM.) FOR ALL NON-IMPACT RATED WINDOWS.



MARK	DESCRIPTION	DOOR			MATERIAL/ FINISH	HARDWARE TYPE	FRAME		
		W	H	T			MARK	MATERIAL	FIRE RATING
1	STOREFRONT	(2) 3'-0"	10'-0"		ALUM.	SEE ELEV	5,6,9	METAL	
2	METAL W/ WOOD CLADDING	3'-0"	7'-0"	1 3/4"	MDF	SEE ELEV	4	METAL	
3	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	5,9	METAL	CENDURA STILE & RAIL
4	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	5,9	METAL	CENDURA STILE & RAIL
5	3 PANEL	2'-8"	7'-0"	1 3/4"	MDF	1	4	METAL	CENDURA STILE & RAIL
6	SALVAGED STOREFRONT	3'-0"	7'-0"		ALUM.	3	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
7	SALVAGED PANORAMIC	24'-0"	7'-0"		ALUM.	SEE ELEV	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
8	METAL	3'-0"	7'-0"	1 3/4"	METAL	2	1,6,8,9	METAL	
9	METAL	3'-0"	7'-0"	1 3/4"	METAL	2	1,8,9	METAL	
10	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	ALUM.		MFG. STD.	METAL	B.O.D. ELIASON SCP-4-ALUMINUM
11	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	ALUM.		MFG. STD.	METAL	B.O.D. ELIASON SCP-4-ALUMINUM
12	DOUBLE ACTION TRAFFIC	3'-0"	7'-0"	1"	HPL		MFG. STD.	METAL	B.O.D. ELIASON SCP-8-PRESTIGE WALNUT
13	STOREFRONT	3'-0"	8'-0"		ALUM.	3	5,6,8,9	METAL	
14	OHD	12'-0"	8'-0"		PWDR. CTD. ALUM.	SEE ELEV	N/A	METAL	B.O.D. CHI 3297 FULL VIEW ALUM.-DK BRONZE
15	OHD	12'-0"	8'-0"		PWDR. CTD. ALUM.	SEE ELEV	N/A	METAL	B.O.D. CHI 3297 FULL VIEW ALUM.-DK BRONZE
16	SALVAGED AUTO. SLIDING	54" CLR (R.O. 9'-0")	7'-0"		ALUM.	SEE ELEV	REUSE EXISTING	METAL	SALVAGE DURING DEMOLITION
17	NOT USED								
18	NOT USED								
19	NOT USED								
20	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	2,9	METAL	
21	3 PANEL	3'-0"	7'-0"	1 3/4"	MDF	1	3	METAL	
22	STOREFRONT	3'-0"	7'-0"		ALUM.	SEE ELEV	1,6,8,9	METAL	
23	METAL	3'-0"	7'-0"	1 3/4"		2	2	METAL	
24	METAL	3'-0"	7'-0"	1 3/4"		2	1,6,9	METAL	
25	STOREFRONT	3'-0"	7'-0"		ALUM.	3	5,6,8,9	METAL	

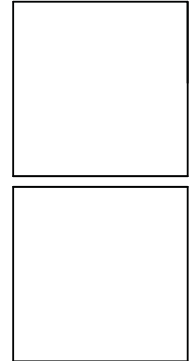
NOTES:
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 2. PROVIDE ARMOUR SCREEN HURRICANE PROTECTION SYSTEM (OR SIM.) FOR ALL NON-IMPACT EXTERIOR DOORS.

MARK	TYPE	MFG. NAME	MFG. NUMBER	REMARKS
1	PASSAGE LATCH	SCHLAGE	AL10PD	
2	BATHROOM LOCK	SCHLAGE	AL40PD	
3	ENTRANCE/OFFICE LOCK	SCHLAGE	AL50PD	
4	STOREROOM LOCK	SCHLAGE	ALB0PD	
5	PUSH/PULL			
6	DEAD BOLT			
7	KICK PLATE			
8	CLOSER	LCN	4040XP	

NOTES:
 1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW
 2. ALL FINISHES TO BE US10B



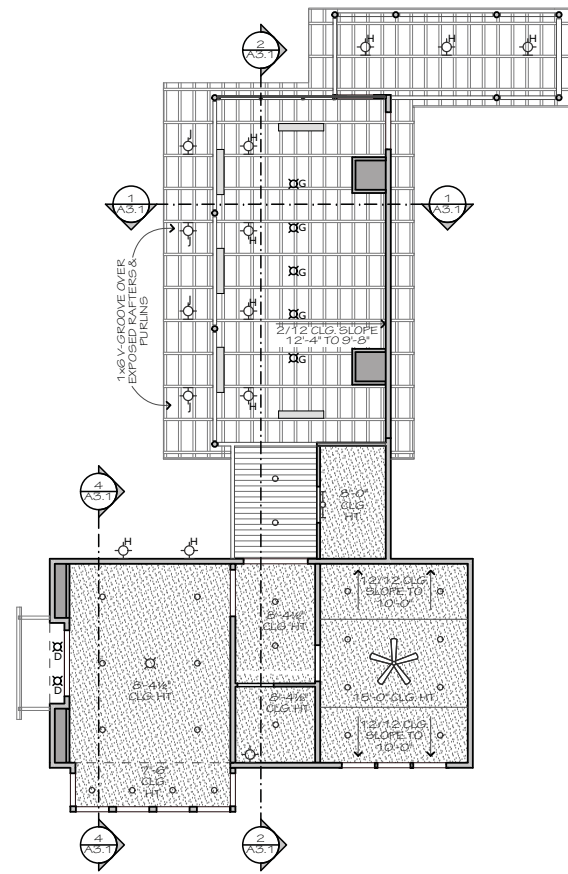
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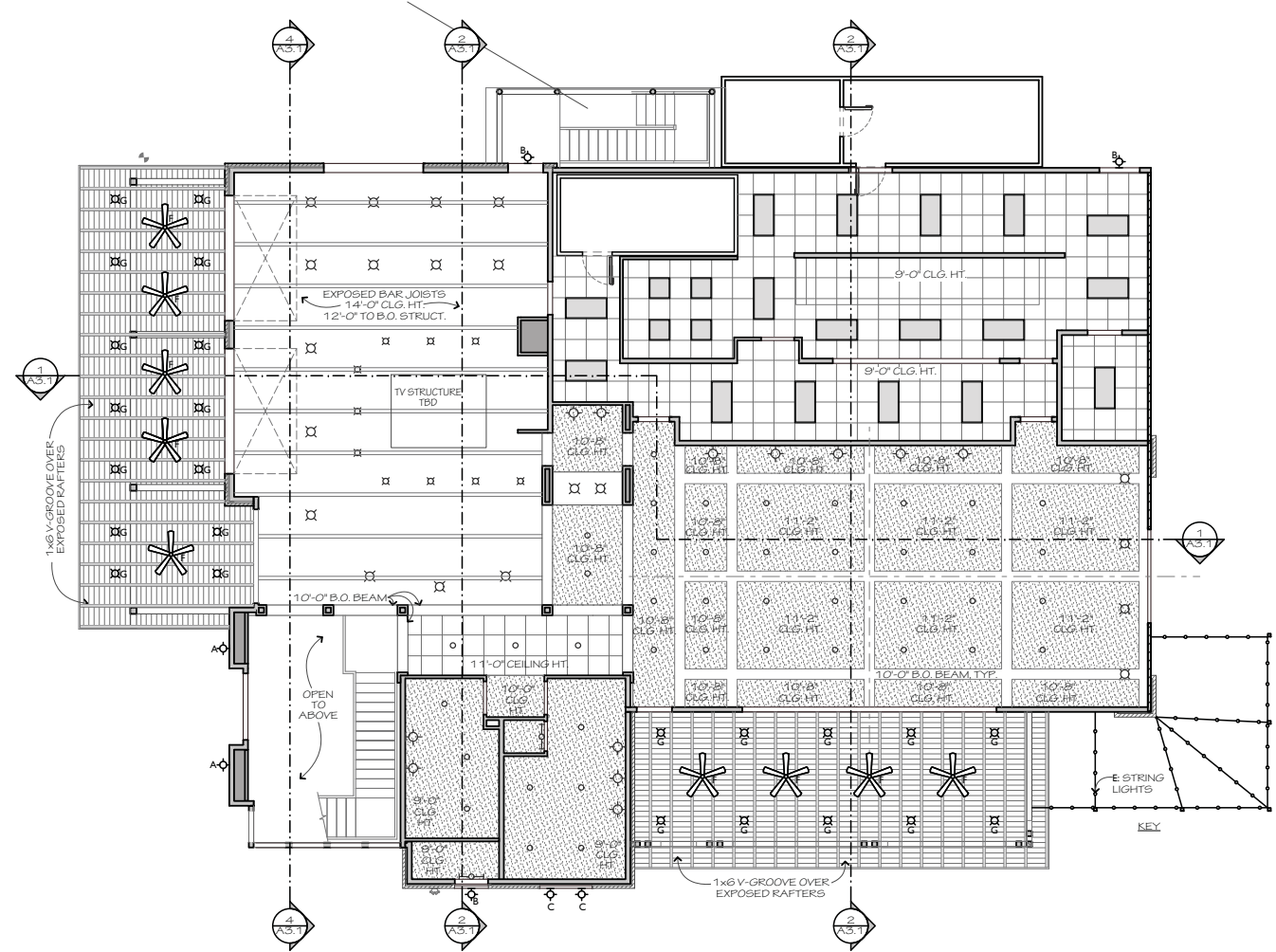
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SECOND FLOOR & ROOF PLANS
A1.2

SEE CODE SUMMARY ON COVER SHEET FOR AREAS



2 2nd FLOOR REFLECTED CEILING PLAN
 A1.3 SCALE: 1/8" = 1'-0"



1 1st FLOOR PLAN REFLECTED CEILING PLAN
 A1.3 SCALE: 1/8" = 1'-0"

EXTERIOR LIGHTING SCHEDULE						
MARK	MANUFACTURER	CATALOGUE NUMBER	LAMP	MOUNTING	COLOR	REMARKS
A	ANP LIGHTING	W520-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
B	ANP LIGHTING	W516-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
C	ANP LIGHTING	M710-M012L-D-W-30K-NA-UNV-E6-CBC-B3	3000K LED	WALL	OIL RUBBED BRONZE	
D	WAC LIGHTING	R5BRD-S15-930-8895-4542-BN	3000K LED	SOFFIT	BRUSHED NICKLE	
E	PARTY LIGHTS	KMS1100BKLED84814	2700K	GUIDE CABLE	BLACK	STRING LIGHTS
F	MINK-AIRE	F681-50BK/W5	3000K LED	CEILING	SAND BK/ WEATHER STEEL	CEILING FAN W/ LIGHT KIT
G	WAC LIGHTING	DS-PD08-F-35W-S-30-BZ	3000K LED	CEILING	BRONZE	DIMMER
H	B-K LIGHTING	CK-LED-X59-FL-B2W-9-B	3000K LED	BEAM	BRONZE WRINKLE	
J	B-K LIGHTING	CK-LED-X59-WFL-B2W-9-B	3000K LED	BEAM	BRONZE WRINKLE	

SYMBOL KEY

- SURFACE MOUNTED LIGHT FIXTURE
- WALL SCONCE
- PENDANT
- CAN LIGHT
- 24"x24" LED LIGHT FIXTURE
- 24"x48" LED LIGHT FIXTURE
- 24"x24" SUPPLY DIFFUSER
- 24"x24" RETURN AIR GRILLE
- 12"x12" SUPPLY DIFFUSER
- 12"x12" EXHAUST GRILLE
- CEILING FAN
- 48" ELECTRIC BAR HEATER

MATERIALS KEY

- GYP. BD.
- ACT

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Smokehouse
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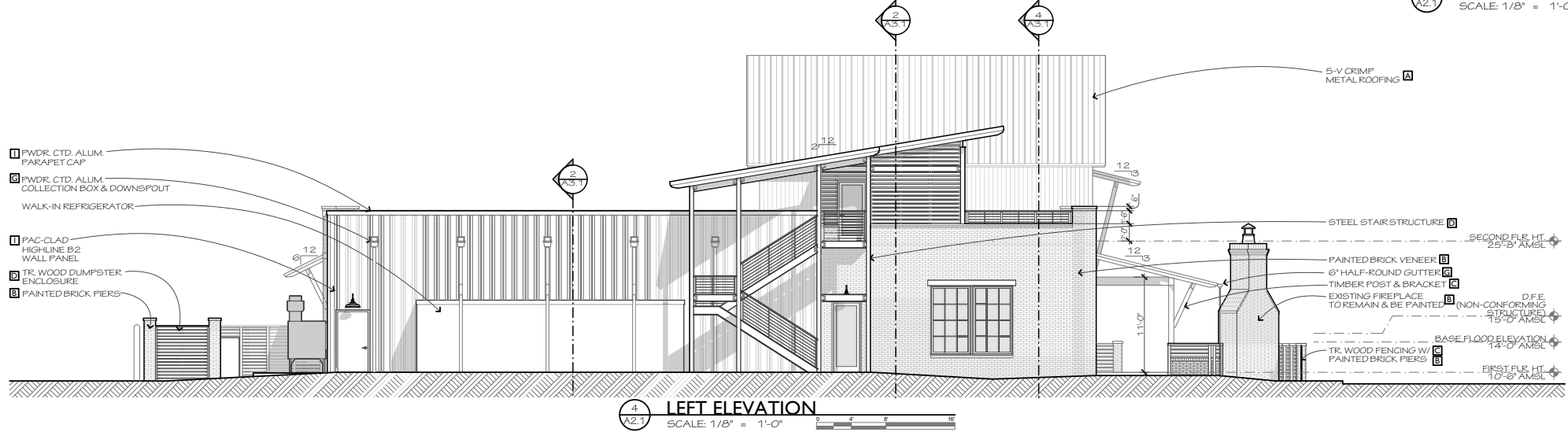
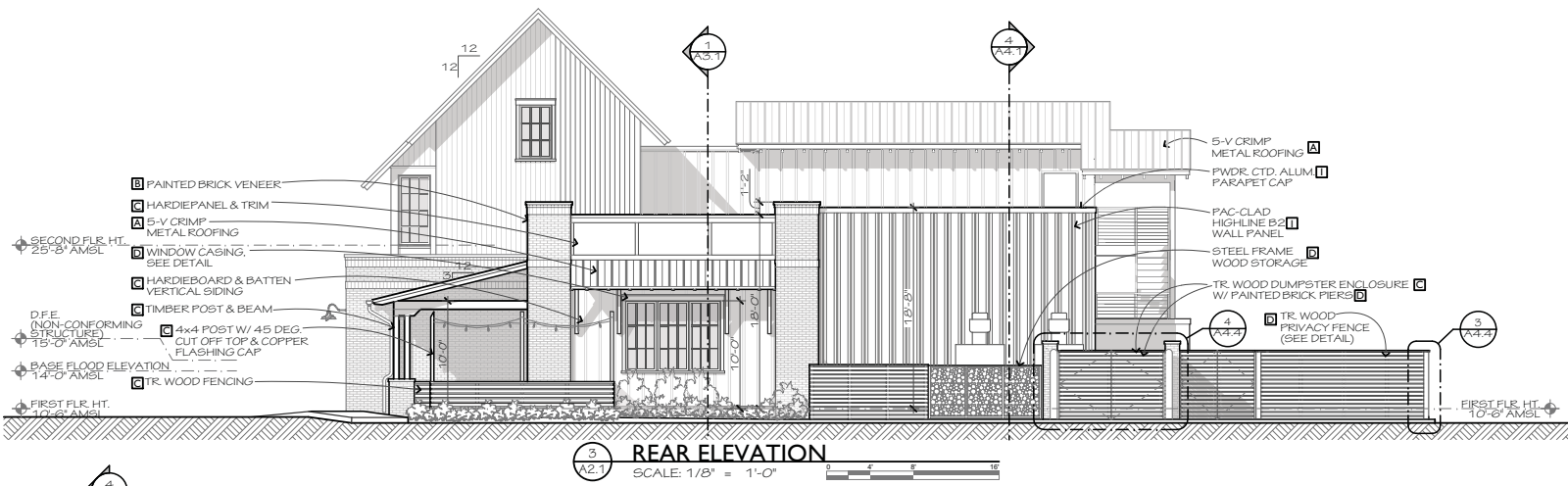
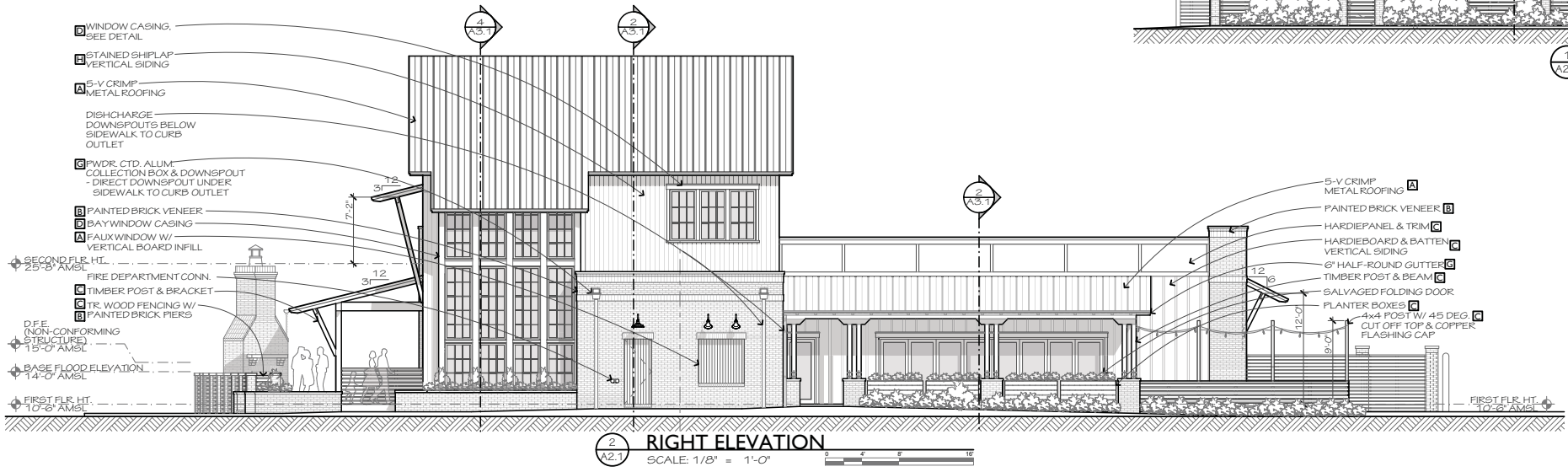
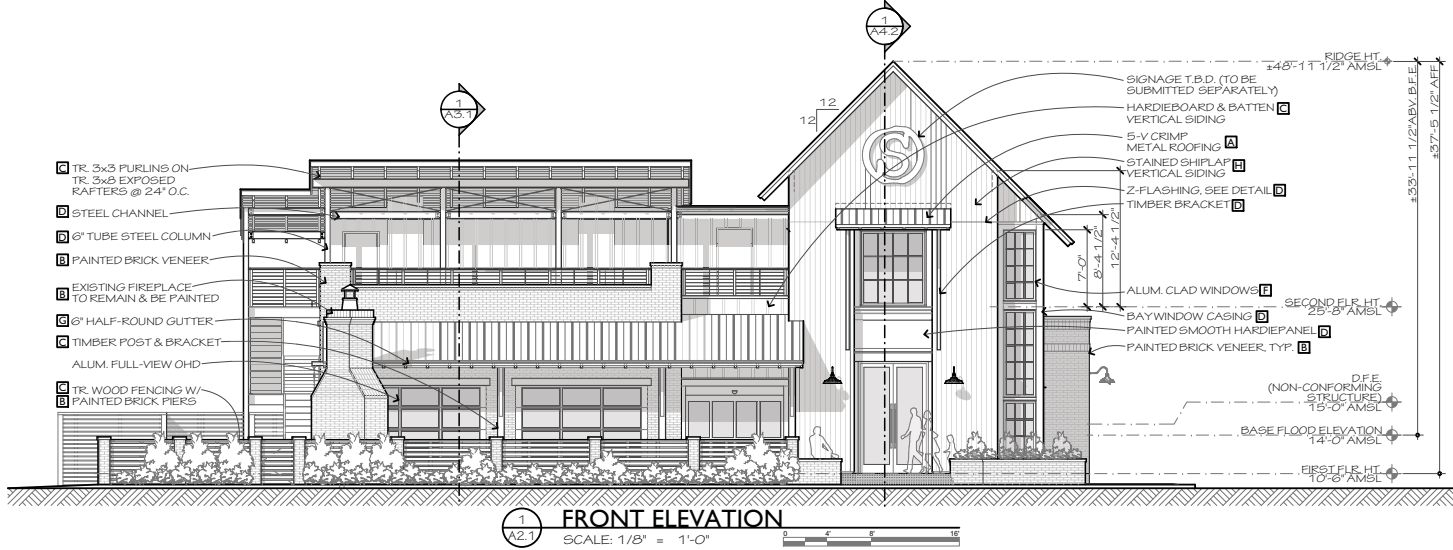
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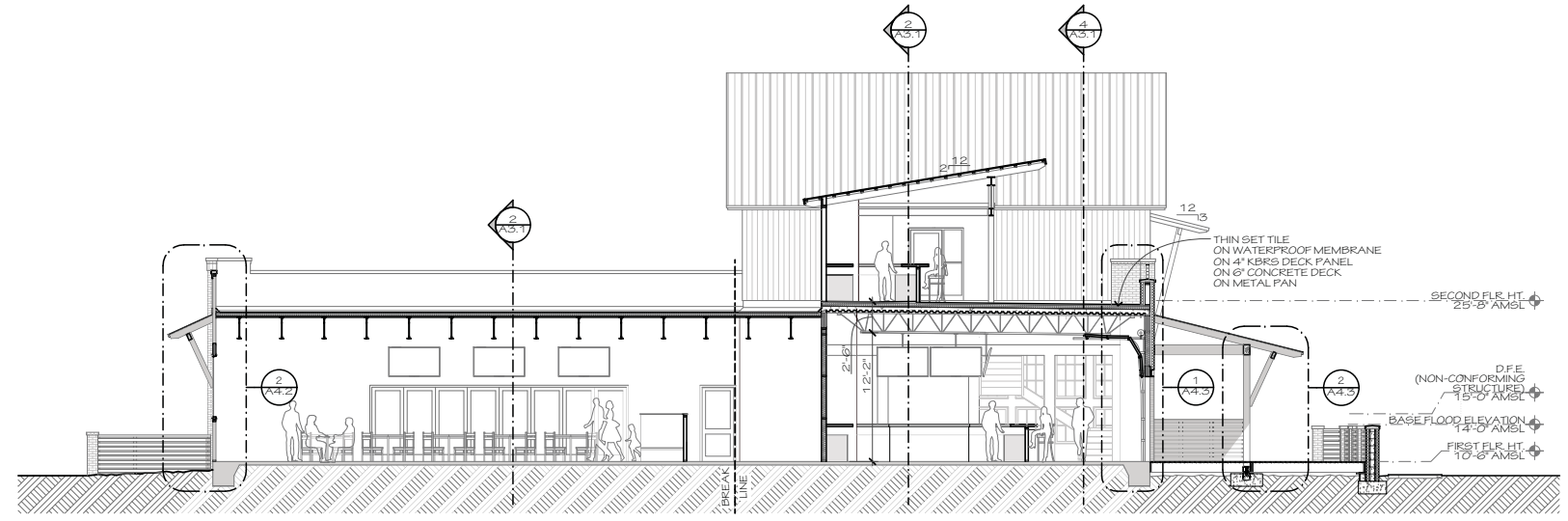
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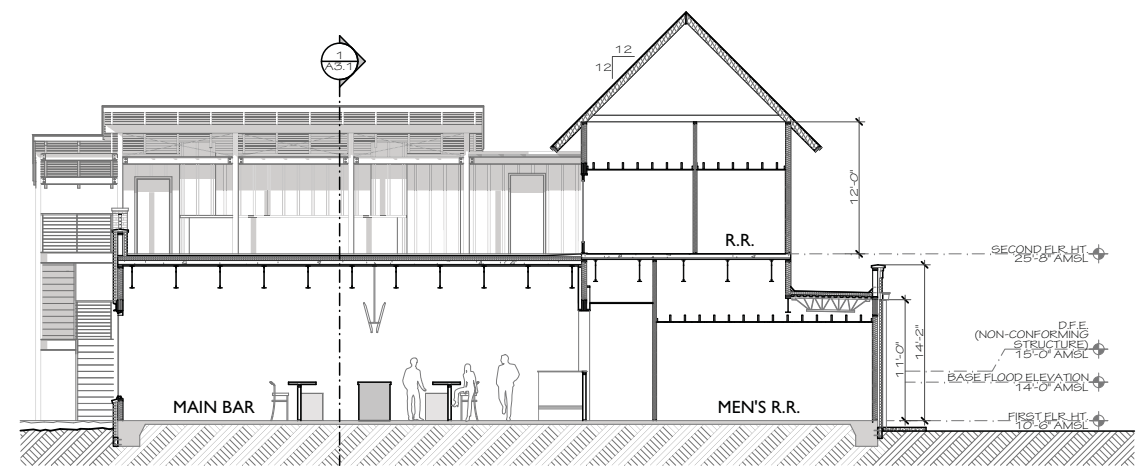
ELEVATIONS
A2.1



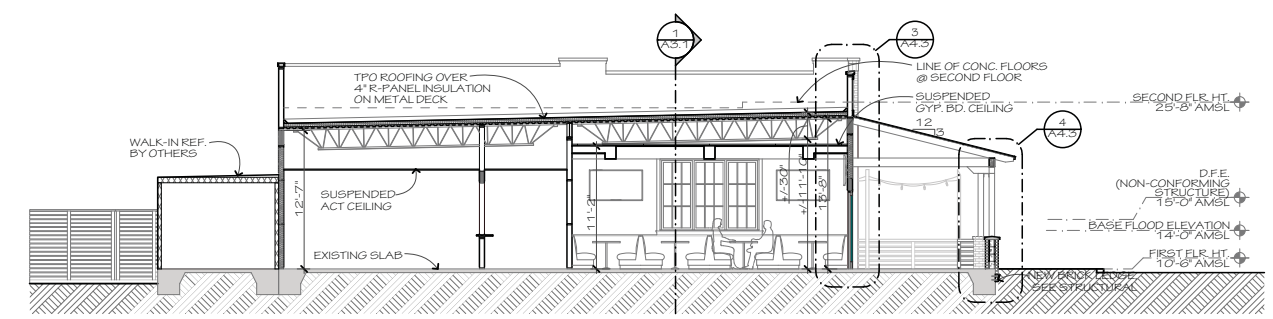
COLOR SCHEDULE			
MARK	COLOR	MANUFACTURER	APPLICATION
A	COLONIAL RED	PAC-CLAD	5-V CRIMP METAL ROOFING
B	SW 9167 POLISHED CONCRETE	SHERWIN WILLIAMS	PAINTED BRICK VENEER
C	SW 6002 ESSENTIAL GRAY	SHERWIN WILLIAMS	TRIM, FASCIA & SIDING
D	COLOR MATCH WINDOWS, BRONZE 024	SHERWIN WILLIAMS	DARK BRONZE ACCENTS & STEEL STRUCTURE, PRIVACY FENCE
E	BRONZE 024	SIERRA PACIFIC	WINDOWS
F	MANUF. DARK BRONZE	---	GUTTERS, DOWNSPOUTS
G	STAINED PINE SIDING	TBD	VERTICAL STAINED PINE SIDING
H	BURNISHED SLATE	PAC-CLAD	HIGHLINE B2 WALL PANEL



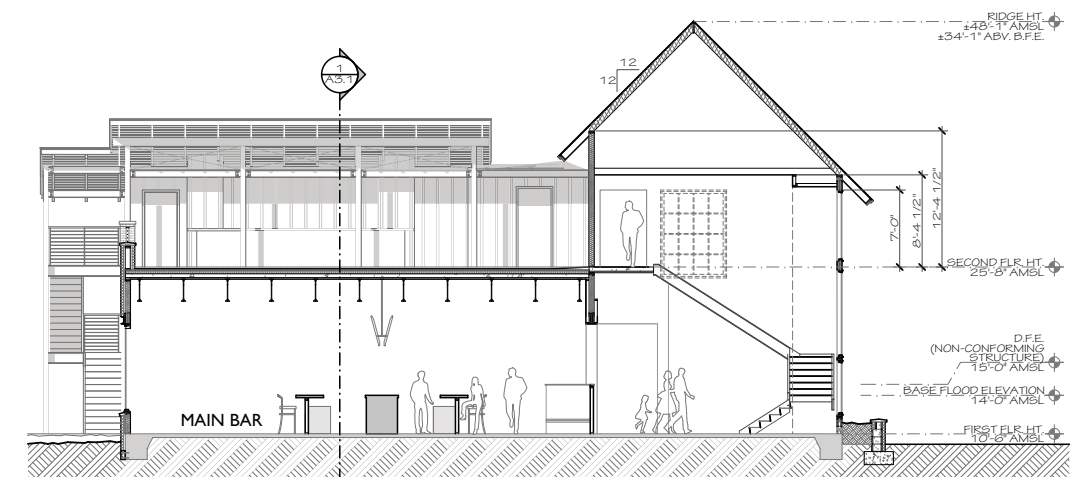
1 SECTION @ BAR & DINING ROOM
A3.1 SCALE: 1/8" = 1'-0"



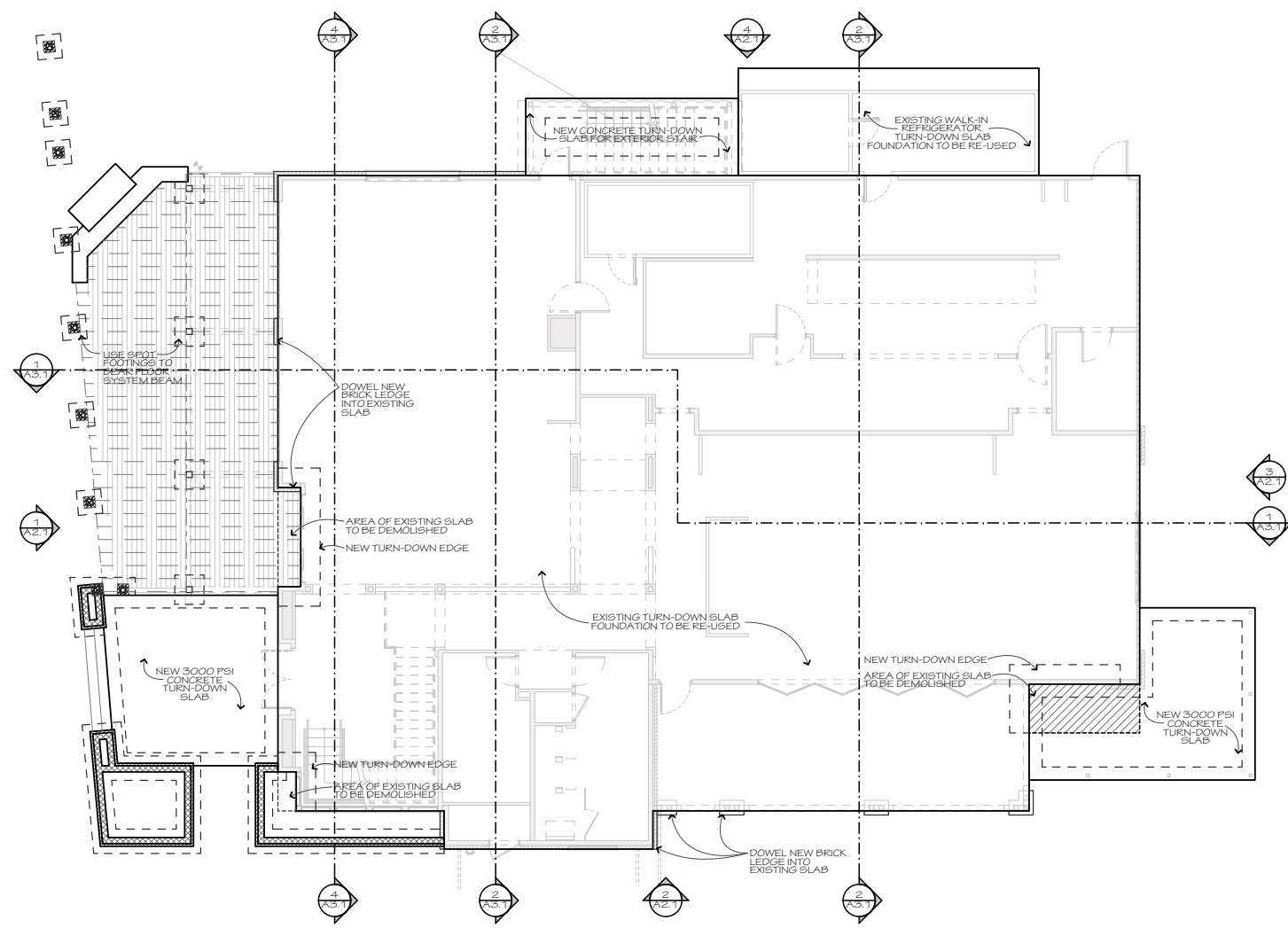
2 SECTION @ BAR & RESTROOMS
A3.1 SCALE: 1/8" = 1'-0"



3 SECTION @ DINING ROOM
A3.1 SCALE: 1/8" = 1'-0"



4 SECTION @ BAR & ENTRY
A3.1 SCALE: 1/8" = 1'-0"

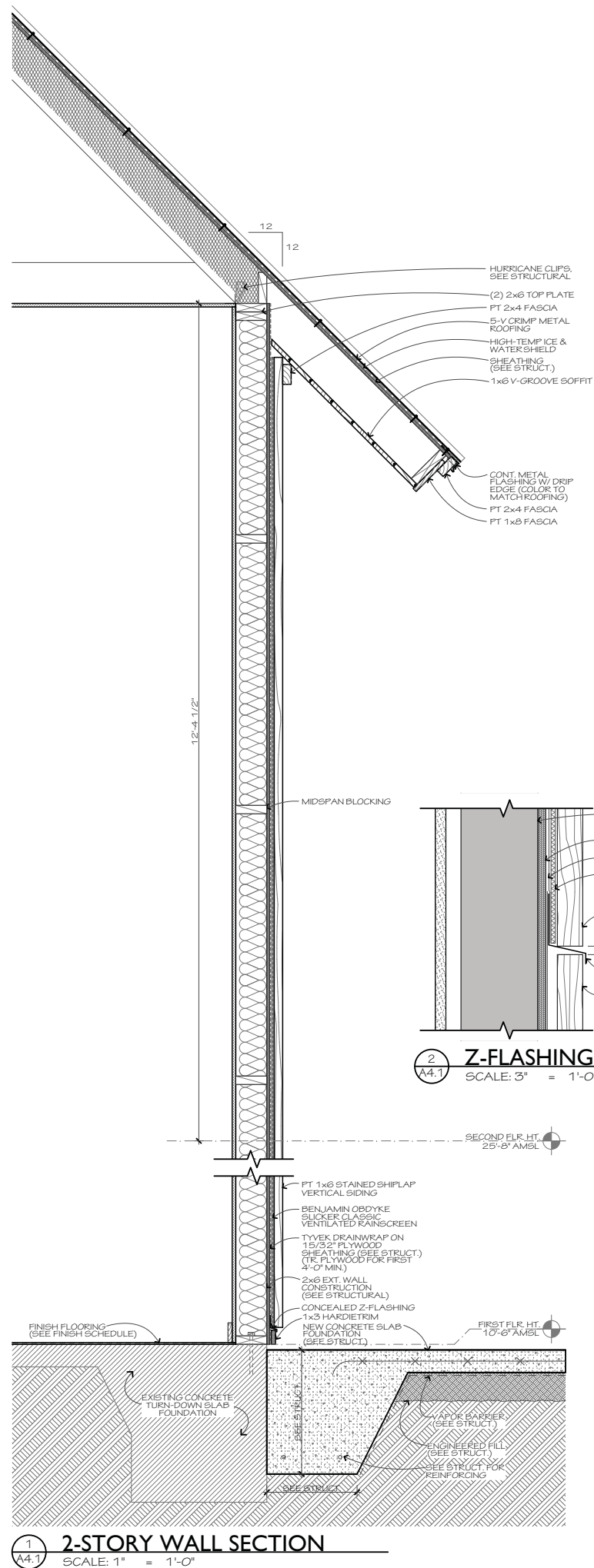


5 SLAB PLAN
A3.1 SCALE: 1/8" = 1'-0"

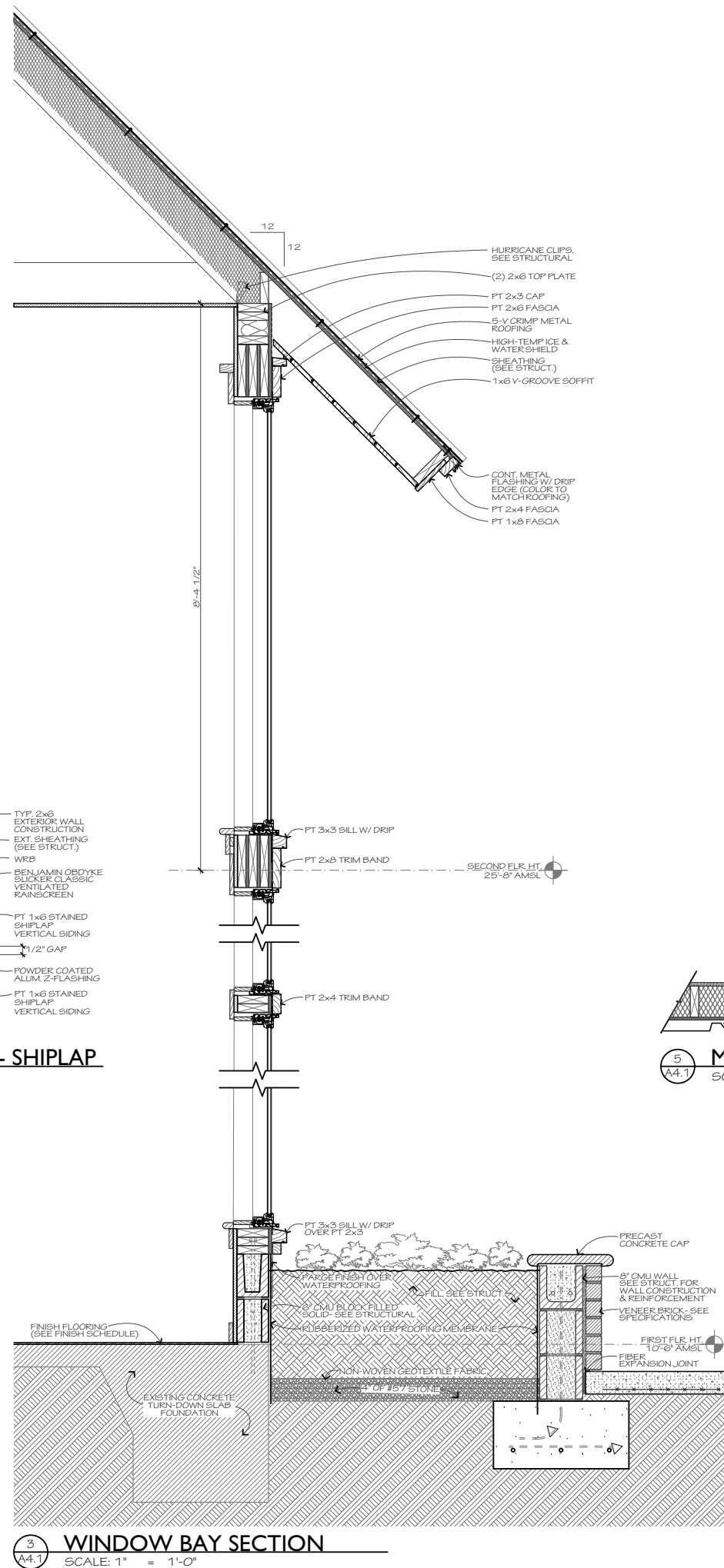
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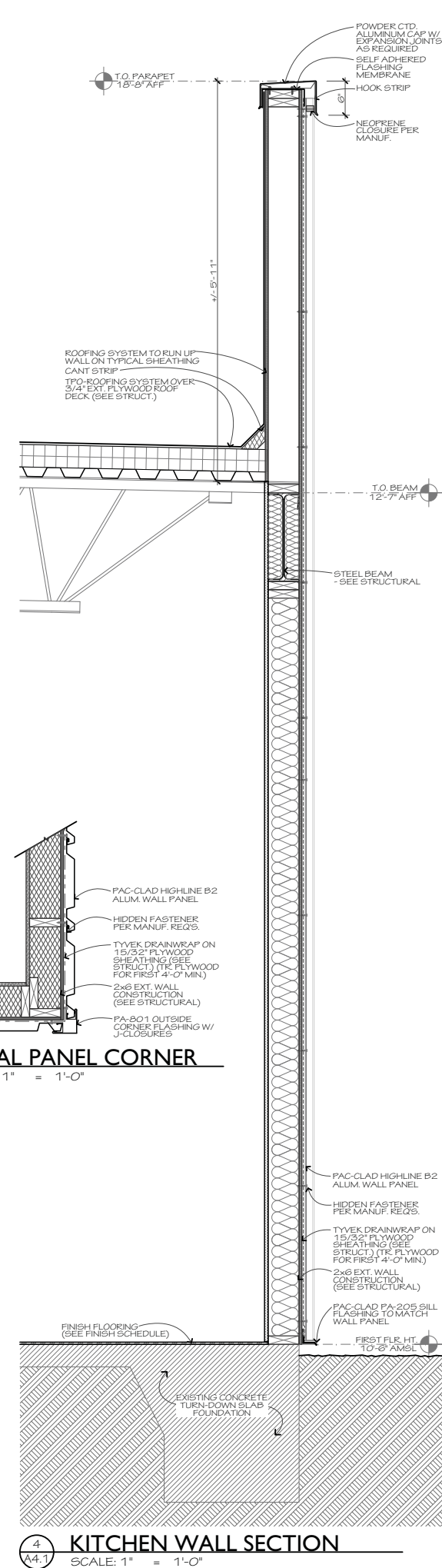
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1 2-STORY WALL SECTION
A4.1 SCALE: 1" = 1'-0"



3 WINDOW BAY SECTION
A4.1 SCALE: 1" = 1'-0"



4 KITCHEN WALL SECTION
A4.1 SCALE: 1" = 1'-0"

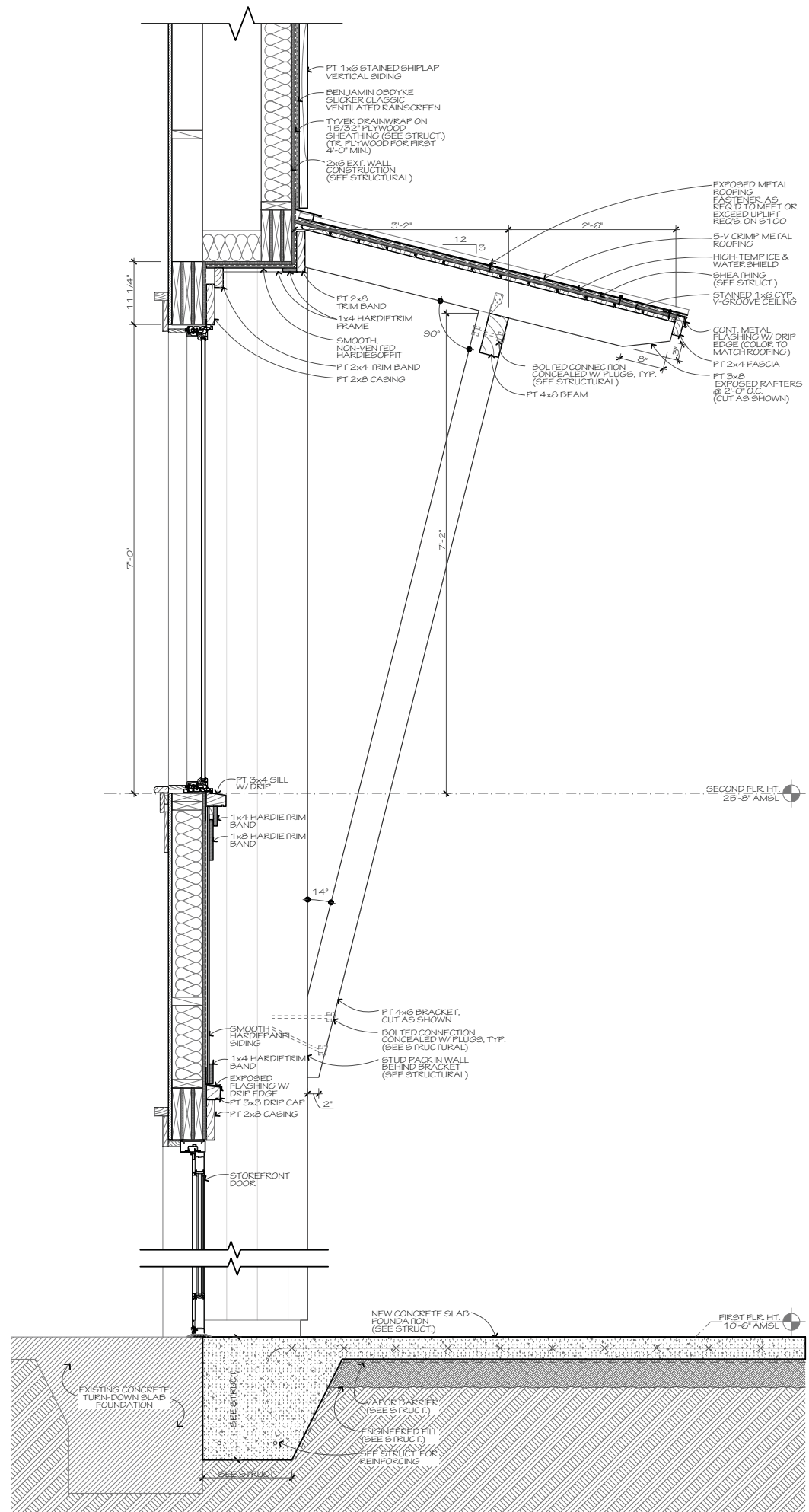
2 Z-FLASHING - SHIPLAP
A4.1 SCALE: 3\"/>

5 METAL PANEL CORNER
A4.1 SCALE: 1\"/>

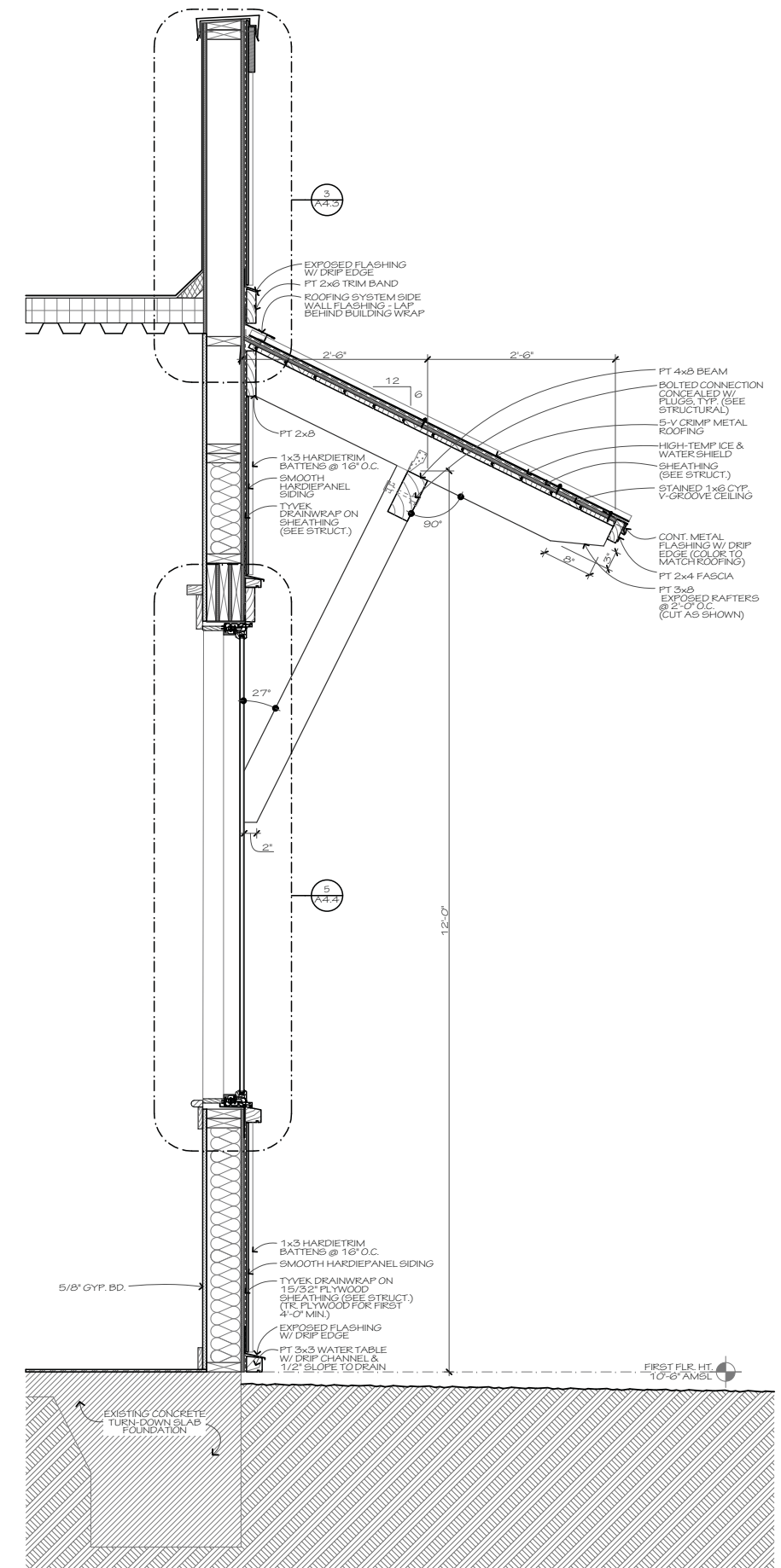
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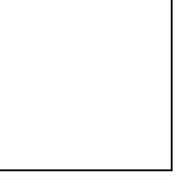
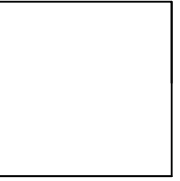


1 ENTRY WALL & BRACKETED ROOF
SCALE: 1" = 1'-0"



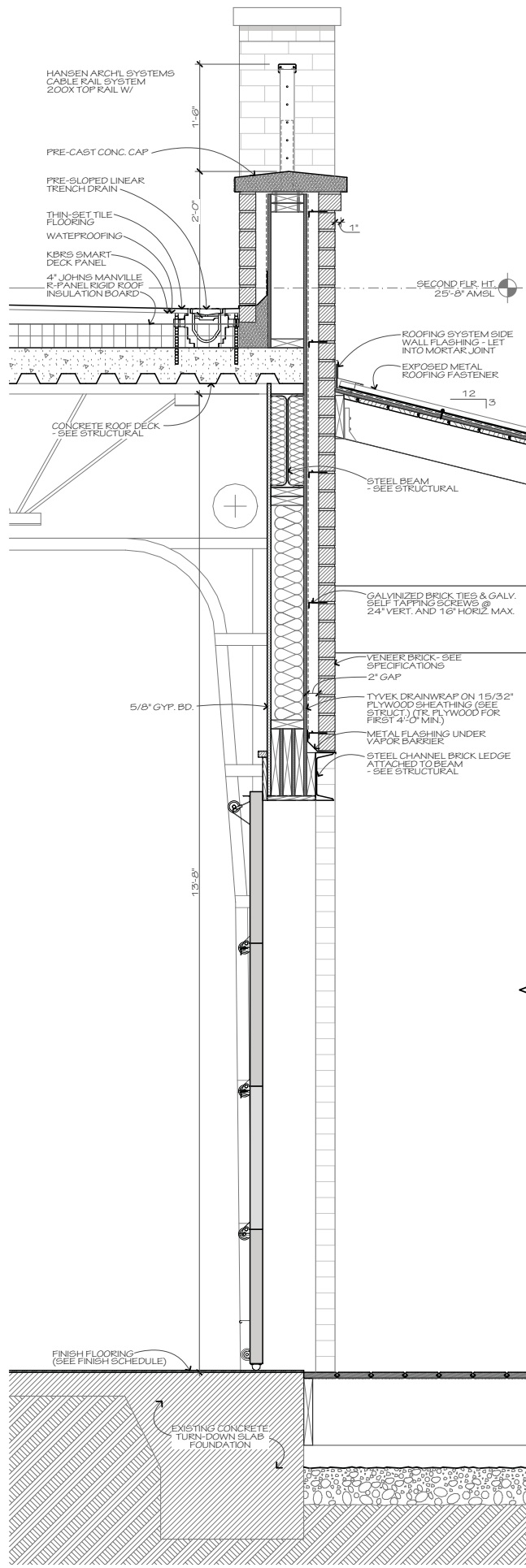
2 BRACKETED ROOF @ DINING ROOM WINDOW
SCALE: 1" = 1'-0"

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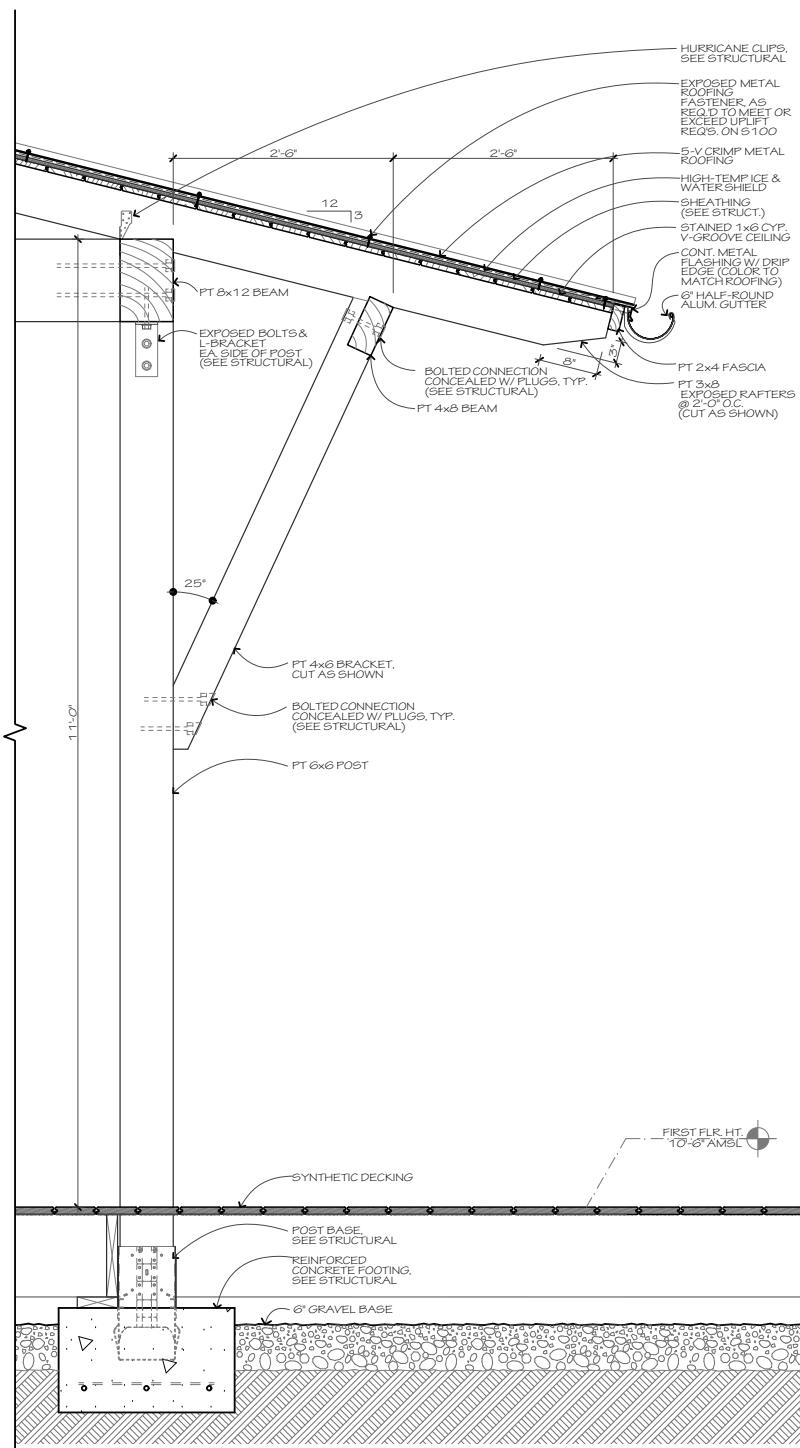


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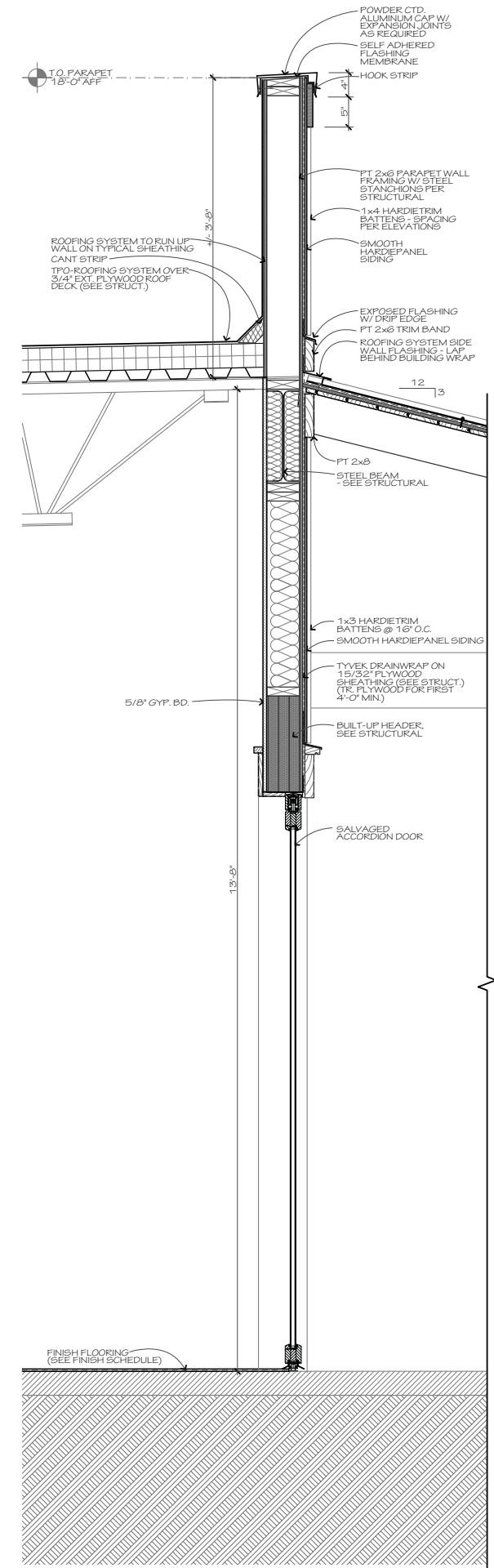
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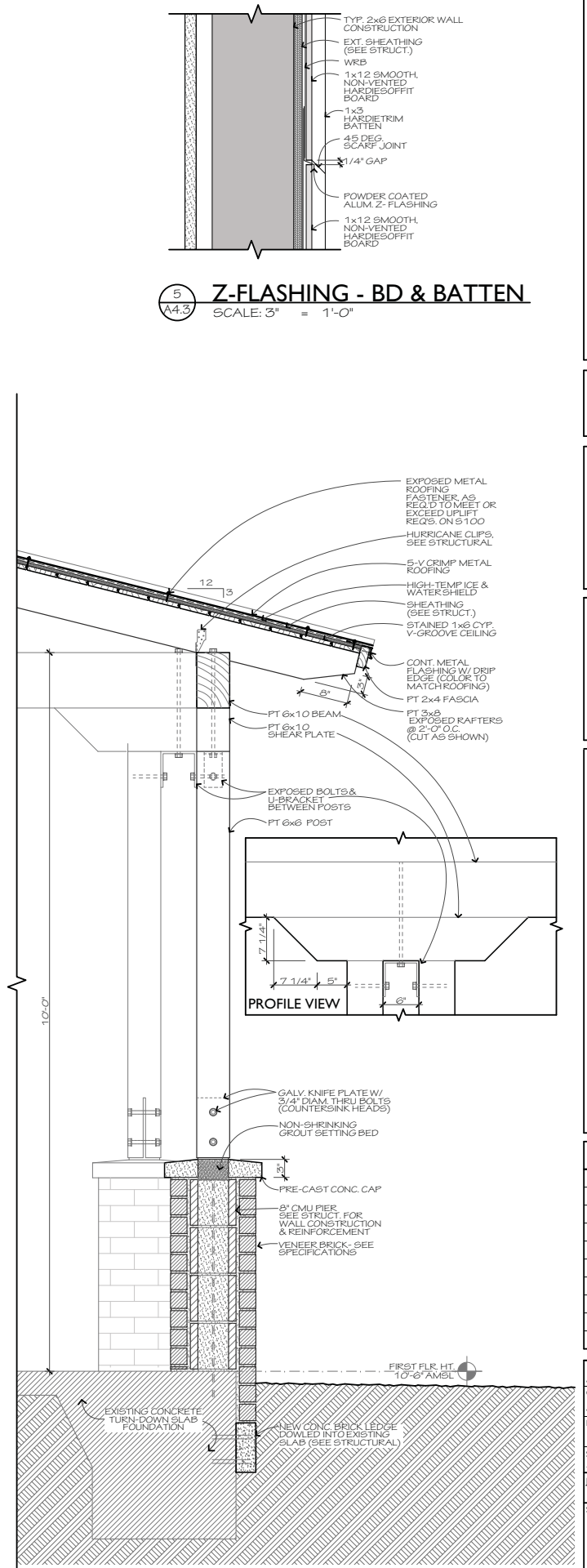
1 WALL SECTION @ BAR
A4.3 SCALE: 1" = 1'-0"



2 PORCH SECTION @ BAR
A4.3 SCALE: 1" = 1'-0"



3 WALL SECTION @ DINING
A4.3 SCALE: 1" = 1'-0"



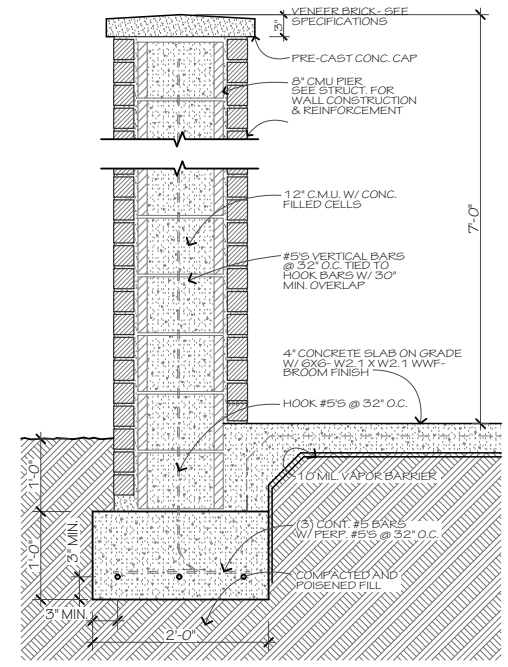
4 PORCH SECTION @ DINING
A4.3 SCALE: 1" = 1'-0"

5 Z-FLASHING - BD & BATTEN
A4.3 SCALE: 3" = 1'-0"

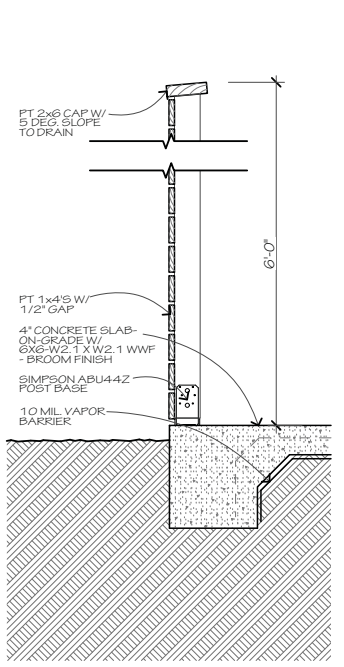
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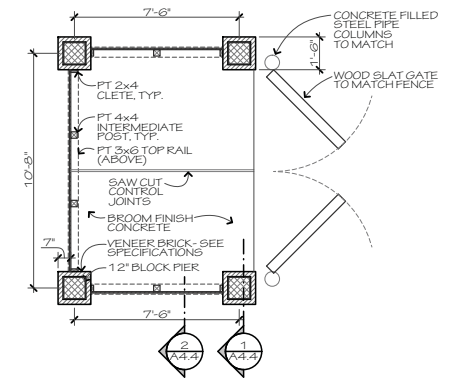
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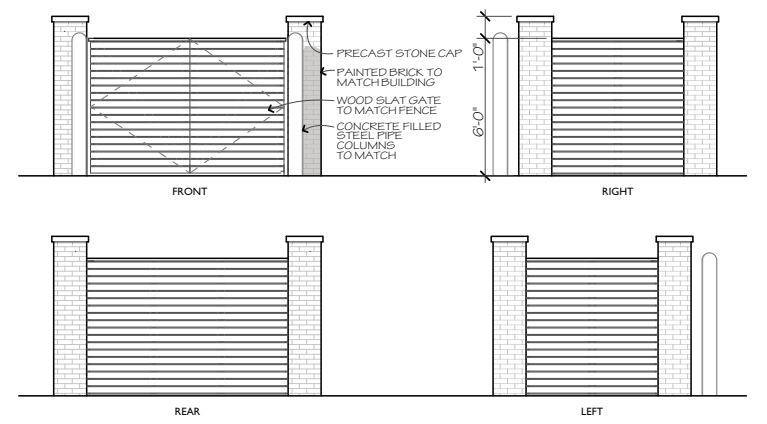
1 DUMPSTER ENCLOSURE PIER
SCALE: 1" = 1'-0"



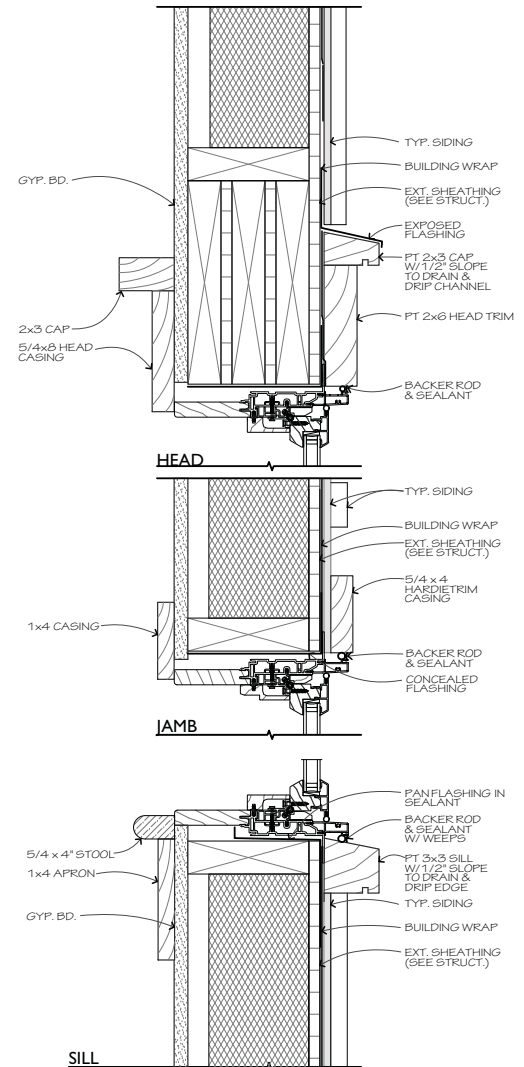
2 ENCLOSURE FENCE
SCALE: 1" = 1'-0"



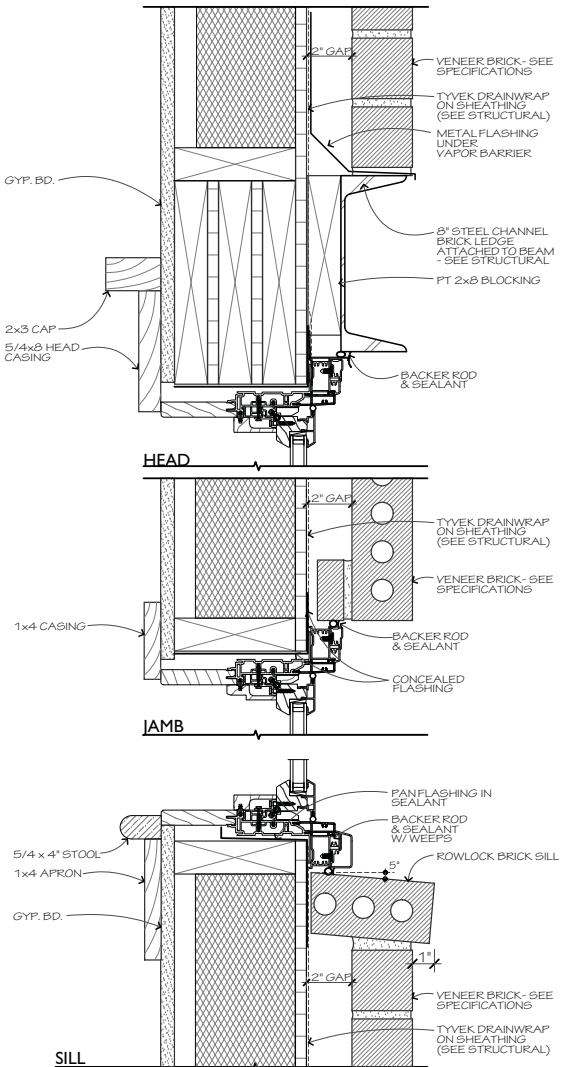
3 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



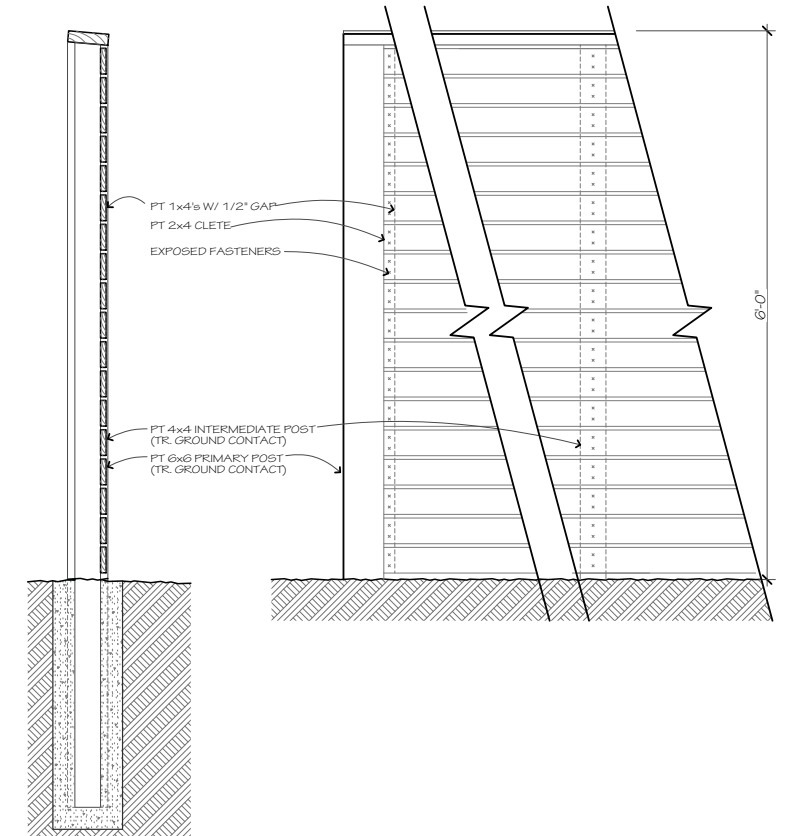
4 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"



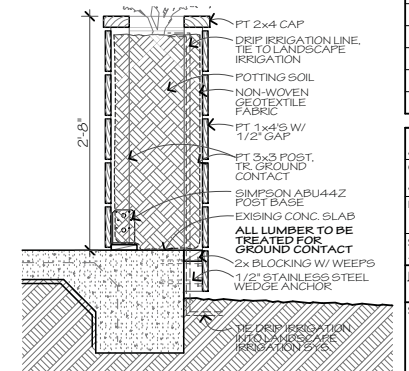
5 WINDOW DETAILS
SCALE: 3" = 1'-0"



6 WINDOW @ BRICK VENEER
SCALE: 3" = 1'-0"



7 PRIVACY FENCE
SCALE: 1" = 1'-0"



8 PLANTER BOX DETAIL
SCALE: 1" = 1'-0"

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Smokehouse Final

DRB#: DRB-000084-2020

DATE: 01/19/2020 01/21/2020

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. It appears all metal sloped roof elements are “Colonial Red”. The “Colonial Red” appears as an accent on the front elevation. The northwest and southeast side elevations will have considerably more “Colonial Red”. The sloped roof of the central two story element of the building should be a nature blending color to meet the requirements of the Design Guide. 2. Black Fox reads and black, select a color that leans more brown / bronze. 3. Standing seam metal roof is preferred over 5-V Crimp. <li style="color: red;">4. Better reference the proposed colors on the elevations. It is unclear the color of the brick veneer.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. The new landscape island at the front right corner of the building needs a canopy tree (not a palm) to shade the parking lot. 2. Planters are exponentially more difficult to maintain and can easily disappear. Narrow the porch on the southeast side to allow for planting (in ground) between the sidewalk and porch or relocate the access to the narrowest part of the planter.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All street buffer trees must be provided in the street buffer.

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. 26 live oak on northwest property line should have more of the dripline behind tree protection fence. The Tree Protection & Removal Plan should be updated to show this information. It gets lost on AS1.1 and the contractor may miss the note. 2. There is no specification of pre and post construction fertilization, root stimulant, or protective mulching of the 26" live oak per the DRB Conceptual approval conditions. The Tree Protection & Removal Plan should be updated to show this information. 3. Planting note 12 shall be modified to protect understory growth.

MISC COMMENTS/QUESTIONS
1. The project received conceptual approval on December 10, 2019.