



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, July 16, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

1. **Call to Order**
2. **FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
3. **Swearing in Ceremony for New Board Members David McAllister and John Moleski** – *Performed by Josh Gruber, Assistant Town Manager*
4. **Roll Call**
5. **Approval of Agenda**
6. **Approval of Minutes** – Meeting of June 25, 2019
7. **New Business**
 - a. *Sign*
 - i. Bauer & Metro Sign, DRB-000617-2019
 - ii. Northridge Plaza Sign, DRB-001416-2019
 - b. *Alteration/Addition*
 - i. Northridge Plaza Improvements, DRB-001415-2019
8. **Appearance by Citizens**
9. **Board Business**
10. **Staff Report**
 - a. Minor Corridor Report
11. **Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board
Tuesday, June 25, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Brian Witmer, Kyle Theodore, Cathy Foss

Absent from the Board: Debbie Remke (excused)

Present from Town Council: None

Present from Town Staff: Chris Darnell, Urban Designer; Shea Farrar, Landscape Associate; Josh Gruber, Assistant Town Manager; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Presentation of the Town's Crystal Award to Board Member Kyle Theodore
Josh Gruber, Assistant Town Manager, presented the award. Mr. Gruber expressed appreciation to Ms. Theodore for her service to the community on behalf of the Town.

4. Roll Call – See as noted above.

5. Approval of Agenda

The Board approved the agenda by general consent.

6. Approval of Minutes – Meeting of June 11, 2019

Ms. Theodore moved to approve the minutes of June 11, 2019 regular meeting as submitted. Ms. Foss seconded. The motion passed unanimously.

7. New Business – None

8. Appearance by Citizens – None

9. Board Business

a. Consideration of recommendations to the LMO Committee regarding changes to the size of signs

Mr. Darnell stated the LMO Committee desires the Board's direction and input pertaining to changes to the size of signs. Mr. Darnell, Ms. Farrar, and the Board discussed the item at length. Upon the conclusion of the discussion, the Board recommended the following:

- Reduce the maximum allowed size for commercial/institutional/industrial sign structure to 8' height and 12' length.
- Base sign height limit on average finished grade to eliminate construction of signs on berms.
- Reduce the allowed commercial sign face by at least 20% in the categories 40,000 – 100,000 and > 100,000 (LMO Table 16-5-114.F: Freestanding Sign Standards).
- Reduce the total number of signs allowed (suggest to allow one per street but concern about larger developments).
- Reduce the total number of sign faces allowed to 3.
- Consider limiting sign size based on the road hierarchy.
- Consider allowing for modifications to nonconforming commercial signs.
- Request that changes come back to the DRB for review.

b. Election of Officers for term July 1, 2019 – June 30, 2020

Ms. Theodore made a motion to appoint Teresa Haley to serve as Secretary for the new term. Ms. Foss seconded. The motion passed unanimously.

Ms. Foss made a motion to nominate/elect Dale Strecker to serve as Chairman for the new term. Ms. Theodore seconded. There were no additional nominations for the office of Chairman. The motion to elect Mr. Strecker as Chairman passed unanimously.

Ms. Theodore made a motion to nominate/elect Michael Gentemann to serve as Vice Chairman for the new term. Ms. Foss seconded. There were no additional nominations for the office of Vice Chairman. The motion to elect Mr. Gentemann as Vice Chairman passed with a vote of unanimously.

10. Staff Report

- a.** Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since the last Board meeting.

11. Adjournment

The meeting was adjourned at 2:26 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	3-12-19
Accepted by:	LCO
DRB #:	617-19
Meeting Date:	

Applicant/Agent Name: JACK WINARCHICK Company: HILTON HEAD SIGNS
 Mailing Address: PO BOX 21410 City: HHI State: SC Zip: 29925
 Telephone: 843-681-3513 Fax: 843-681-5521 E-mail: JACK@HILTONHEADSIGNS.COM
 Project Name: BAUER & METRO Project Address: 33A NEW ORLEANS RD
 Parcel Number [PIN]: R ___ e ___ e ___ e ___
 Zoning District: ___ e ___ Overlay District(s): ___

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

Concept Approval – Proposed Development

Final Approval – Proposed Development

Alteration/Addition

Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Jack Winarski
SIGNATURE

3/12/19
DATE













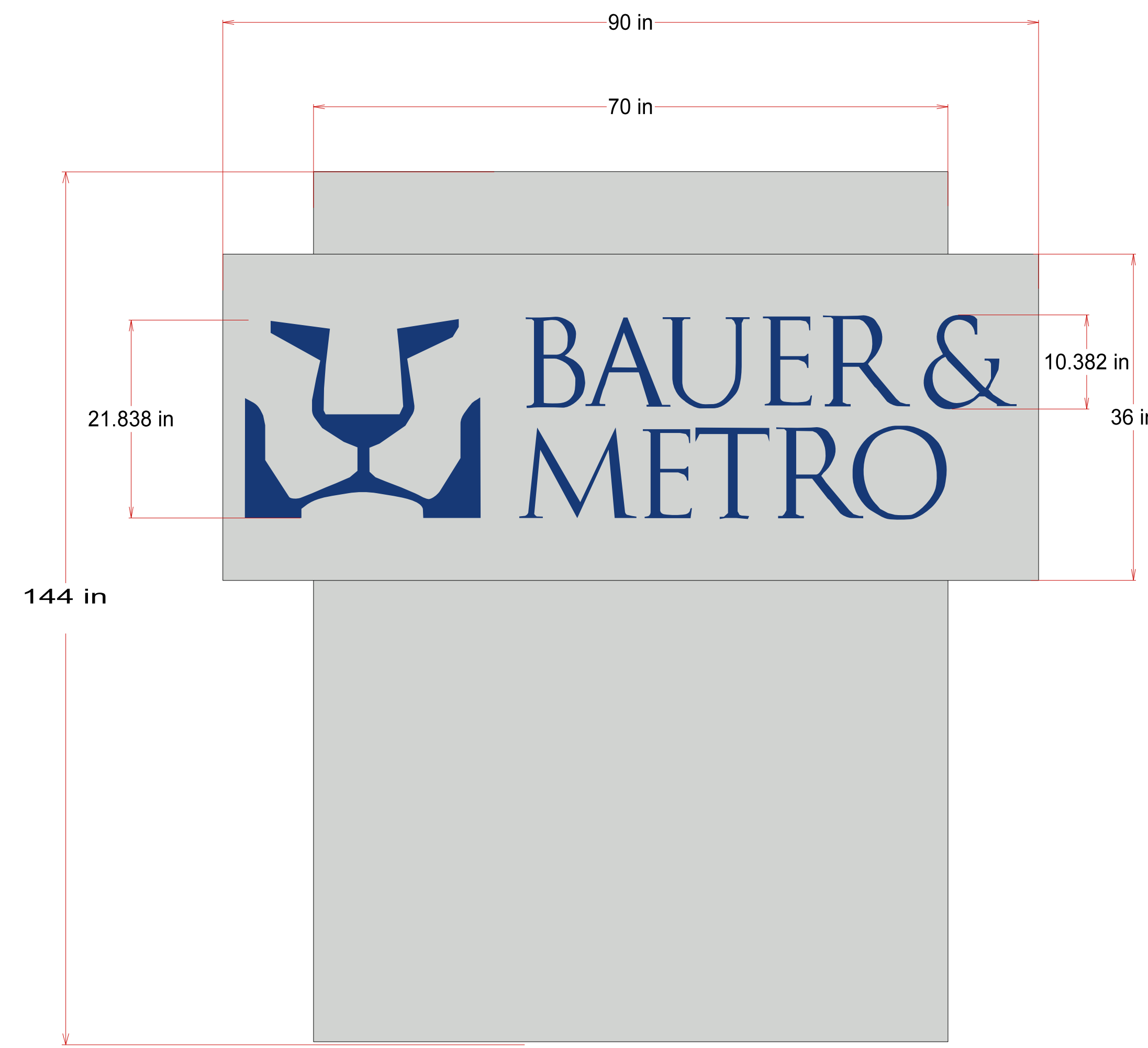
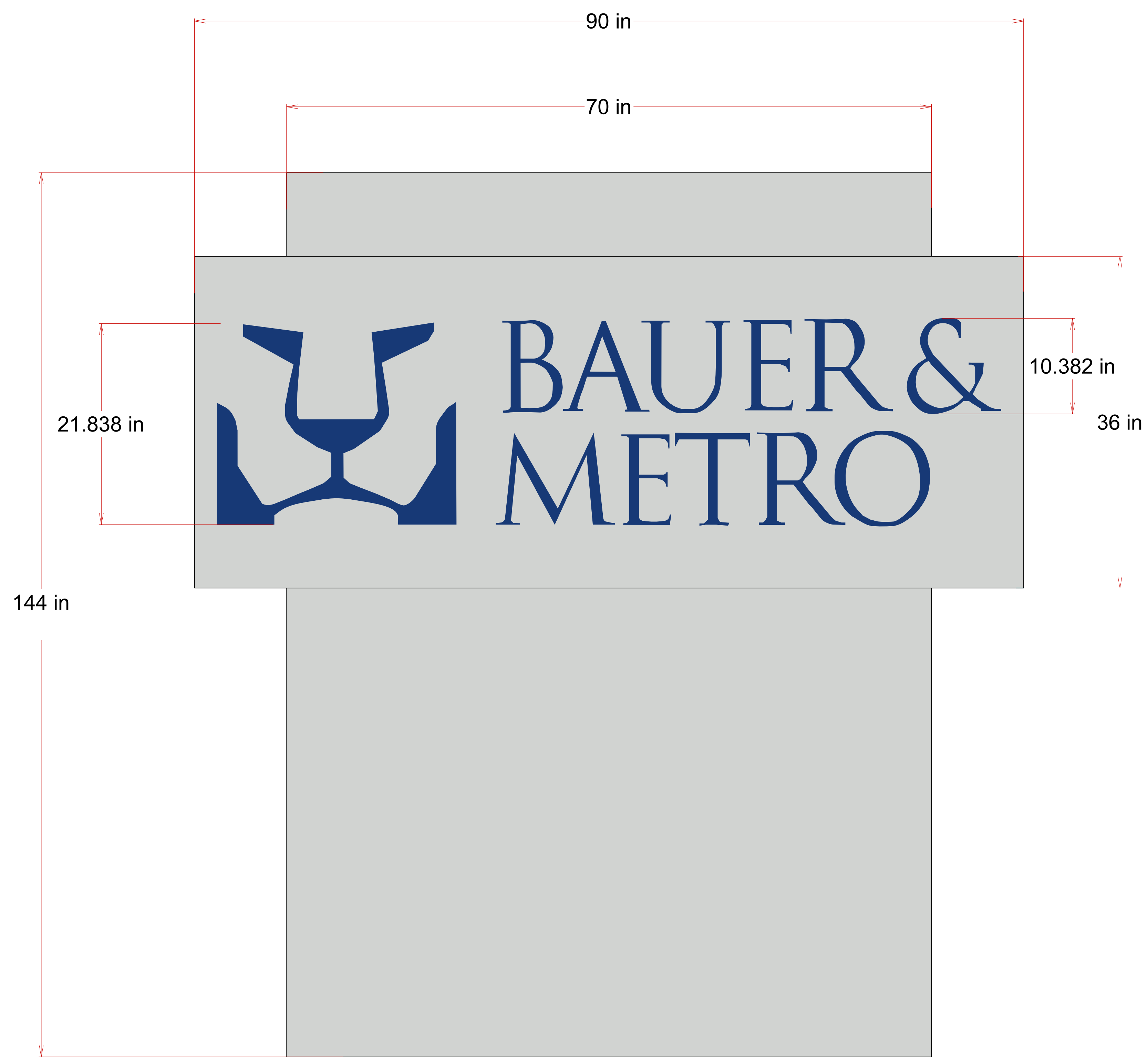
CENTURY 21
Advantage REALTY



CENTURY 21
Advantage Properties







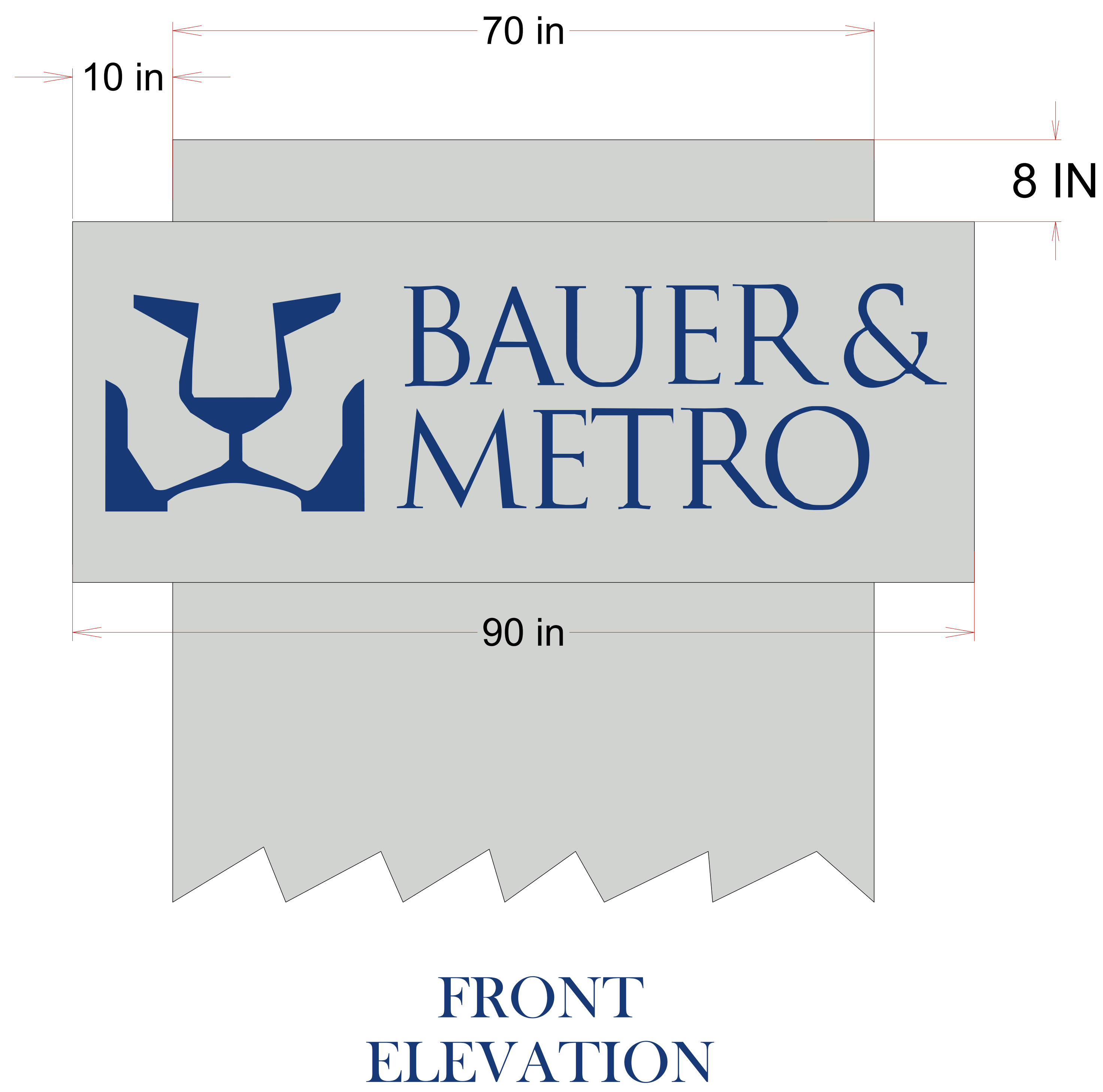
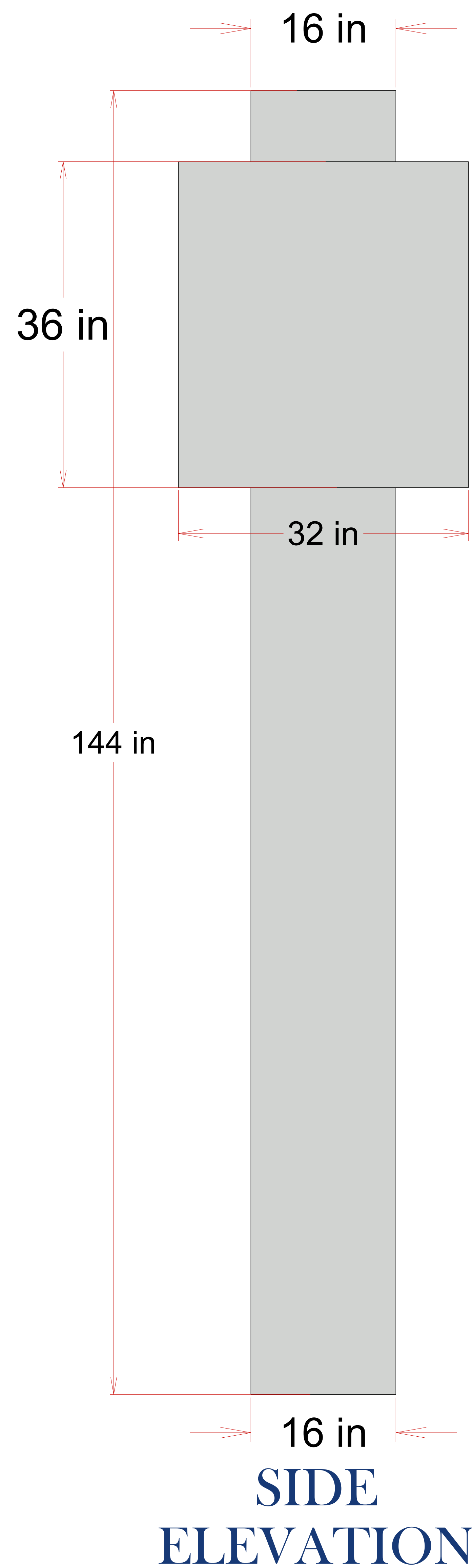
* Stucco structure size is
70"L x 144"H x 16"W
Cutout ltrs. affixed to sign

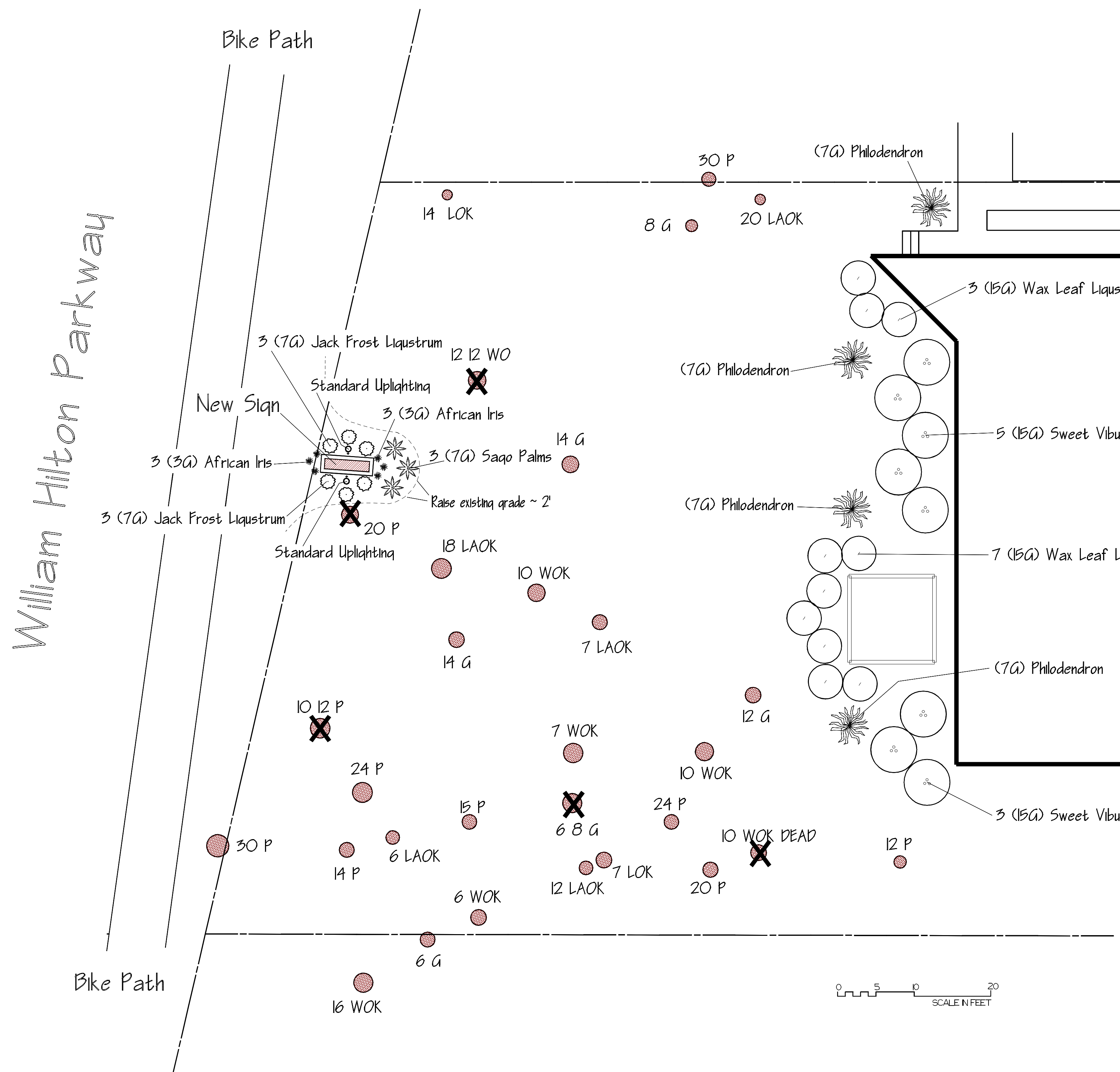
COLORS:
Design and Copy: One Shot Blue
Structure and Bkgrnd:
Sherwin Williams Repose Gray #7015

COMPANY NAME	Bauer & Metro
SIGN TYPE	Main ID Sign
MATERIAL	Base is stucco. 1" cutout letters on extira
OVERALL DIMENSIONS	90"L x 36"H x 32"W *
DEPTH	
LIGHTS	n/a
BORDER/INSET	none
TEXTURE	stucco

There will be 2 sign faces
on the overall stucco structure

HILTON HEAD SIGNS
30 Capital Dr. HHI 29926
(843)681-3513





Plant Schedule

Qty	Size	Common Name	Latin Name
8	15G	Sweet Viburnum	Viburnum odoratissimum
10	15G	Wax Leaf Liquidambar	Liquidambar japonicum
4	7G	Philodendron	Philodendron selloum
3	7G	Sago Palm	Cycas revoluta
6	7G	Jack Frost Liquidambar	Liquidambar japonicum 'Jack Frost'
6	3G	African Iris	Iris vegeta
X = Trees to be removed			

1" = 8'

The Greenery Inc
 PO Box 6569
 Hilton Head Island SC

Bauer and Metro
 Landscape Plan for New Sign & Back of Building
 38 A New Orleans Road Hilton Head Island SC February 2019

TOWN OF HILTON HEAD ISLAND SIGN REVIEW CHECKLIST: FREESTANDING SIGN

SIGN PERMIT #:	DRB 000617-2019	DATE SUBMITTED:	03/12/2019
BUSINESS NAME:	Bauer & Metro	DATE REVIEWED:	03/14/2019 – 7/8/2019
ADDRESS:	38A New Orleans Road	SUBMITTAL #:	1

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

GENERAL COMMENTS & QUESTIONS

1. It is unclear if the applicant is requesting removal of all the understory (azaleas) from the site. Please clarify on the landscape plan by indicating existing understory to remain.
2. Relocating the sign to a cleared area will eliminate the need to remove additional trees, i.e. 20" pine.

DESIGN REVIEW

RENDERING – MATERIALS

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Structure or post materials are listed, e.g. “Concrete block with stucco”, “4 inch x 4 inch wood posts”.		X		Provide a detail or note the type of construction the structure is, i.e. concrete block or wood frame. Should match the other existing signs.

RENDERING – DIMENSIONS

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The sign does not exceed the size limit in LMO Section 16-5-114.F.	X			The sign height is limited to 8'

RENDERING – DESIGN

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The street address of the site is shown in 4 inch tall numbers on both sides of the sign. Note: The street name may be also required if the site accesses more than one street.		X		
If the street address is not located on the sign face, it is well-integrated into the sign design so that it does not look like an afterthought.		X		
Sign panels: The background texture matches the texture of other sign panels on site.		X		The sign structure should match the other

				existing sign structures with the colors to match the existing building stucco (as close as possible) and the wood siding.
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RENDERING – COLORS

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Colors reflect/complement the colors on the building walls, trim, etc.		X		
Colors match the other signs on site for that business or development.		X		The wood elements on the other signs picks up the color of the wood siding on the building. This proposed sign should as well. Specify on the plans color to match building.
Background colors are earth tones: green, brown, beige, and grey.		X		The proposed stucco color should match the building stucco as closely as possible. Navajo White is not appropriate for the sign structure, it is too white. Specify on the plans color to match building.

LIGHTING

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
For new signs or signs without existing lighting, rendering states: “New lighting will be installed” or “The sign will not be illuminated.”		X		Please add note to the sign plans.

LANDSCAPE PLAN

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The proposed landscaping matches or complements the existing vegetation on site.				<ol style="list-style-type: none"> 1. Ligustrums (Wax and Jack Frost) are exotic and invasive species and should not be used. 2. Philodendron are not native to the island, see Design Guide pages 18 thru 23 for guidance selecting plants and planting in buffers. 3. Indicate the trees that have been approved for removal in a previous Natural Resource Permit and those additional trees requested for removal on the planting plan. Show the buffer on the plans. 4. Eliminate the proposed 2’ berm.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: WILLIAM GOLDSMITH Company: GATOR NORTH RIDGE PARTNERS, LLC
 Mailing Address: 7850 NW 146th ST., 4th FLR City: MIAMI LAKES State: FL Zip: 33016
 Telephone: 305.949.9049 Fax: 305.948.6478 E-mail: BILLG@GATORINV.COM
 Project Name: NORTH RIDGE PLAZA SITE IMPROVEMENTS Project Address: 435 WILLIAM HILTON PKWY, HILTON HEAD, SC.
 Parcel Number [PIN]: R 511 008 000 0345 0000
 Zoning District: CC Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

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- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

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- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
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- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples. *SEE EXHIBIT B*
- For freestanding signs:
 - Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - Proposed landscaping plan.
- For wall signs:
 - Photograph or drawing of the building depicting the proposed location of the sign. *SEE EXHIBIT A*
 - Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

City Management Partners LLP

 SIGNATURE *By William Garsworth, VP* DATE *6-27-19*
 Last Revised 01/21/15

Business Entities Online

File, Search, and Retrieve Documents Electronically

CBL PERIPHERAL PROPERTIES LIMITED PARTNERSHIP

Corporate Information

Entity Type: Limited Partnership

Status: Dissolved

Domestic/Foreign: Foreign

Incorporated State: Tennessee

Important Dates

Effective Date: 09/08/1994

Expiration Date: N/A

Term End Date: N/A

Dissolved Date: 12/21/2017

Registered Agent

Agent: CORPORATION SERVICE COMPANY

Address: 1703 LAUREL STREET
COLUMBIA, South Carolina 29201

Official Documents On File

Filing Type	Filing Date
Certificate of Cancellation	12/21/2017
Change of Agent or Office	12/06/2007
Change of Agent or Office	02/06/2004
LP Certificate	09/08/1994

NARRATIVE

Northridge Plaza Freestanding Signs

435 William Hilton Parkway, Hilton Head, SC 29926

The project titled Northridge Plaza Site Improvements and Building Façade Upgrades will take place at the Northridge Plaza Shopping Center located at 435 William Hilton Parkway, in Hilton Head South Carolina. A component of this project is to refresh the existing freestanding signs as described below and include attachments to this application.

Three freestanding Monument Signs exist at the Northridge Plaza Shopping Center, two along Matthews Drive and one along William Hilton Parkway. The intent of this project is to maintain the existing sign structure and overall size, apply new finishes which include adding a ribbed metal roof style cap, maximizing the tenable sign area within the existing sign frontage and providing a painted finish to the exposed existing sign structure to blend well with the proposed building façade colors.

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
OVERALL
EXISTING ELEVATION



NORTHRIDGE PLAZA
HOMEGOODS
EXISTING ELEVATION

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
DOLLAR TREE
EXISTING ELEVATION

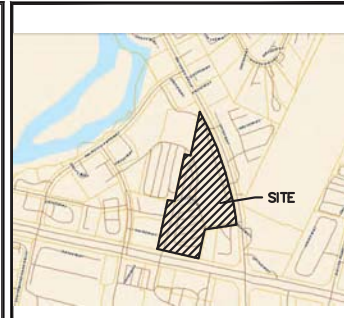


NORTHRIDGE PLAZA
LOCAL TENANTS (TYP.)
EXISTING ELEVATION



PAVING HATCH LEGEND

PROPOSED ASPHALT (MILL & OVERLAY)	
REMOVE TIMBER CURB AND REPLACE WITH CONCRETE CURB	
RESURFACE EXISTING CONCRETE SIDEWALK	
CUT & PATCH ASPHALT INSTALL ELECTRICAL SLEEVES	
EXISTING LIGHT TO BE DEMOLISHED	
NEW LIGHT	

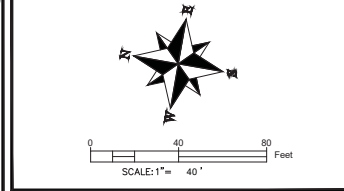


VICINITY MAP
Not To Scale

SITE PLAN
NORTHRIDGE PLAZA IMPROVEMENTS
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
 PREPARED FOR:
GATOR NORTHRIDGE PARTNERS, LLLP

- RESURFACING NOTES:**
- AREAS OF SIGNIFICANT CRACKING OR ROOT DAMAGE SHALL BE FULL-DEPTH CUT & PATCHED PRIOR TO MILL AND OVERLAY OF ASPHALT PAVING.
 - AFTER ASPHALT RESURFACING, ALL PAVEMENT MARKINGS SHALL BE RESTORED TO CURRENT CONDITION, WITH EXCEPTION OF MARKINGS THAT DO NOT CURRENTLY MEET ADA STANDARDS.
 - STANDARD PARKING STALL STRIPES SHALL BE 4" WHITE PAINT. 24" STOP BARS & DIRECTIONAL ARROWS SHALL THERMOPLASTIC.
 - HANDICAP-ACCESSIBLE PARKING SPACES, LOADING ZONES AND CROSSWALKS SHALL BE STRIPED, SIGNED, AND SLOPED IN ACCORDANCE WITH ADA STANDARDS.
 - SURFACE ELEVATIONS AND DRAINAGE SCHEME SHOULD BE RESTORED TO EXISTING CONDITIONS AFTER ASPHALT RESURFACING. MAINTAIN POSITIVE DRAINAGE TO EXISTING INLETS, FLUMES, AND/OR RECEIVING LANDSCAPE ISLANDS.

DOCUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.
 WARD EDWARDS INC. ASSUMES NO LIABILITY FOR ACCURACY OR DECISIONS MADE BY THE USER BASED UPON INFORMATION CONTAINED HEREIN.

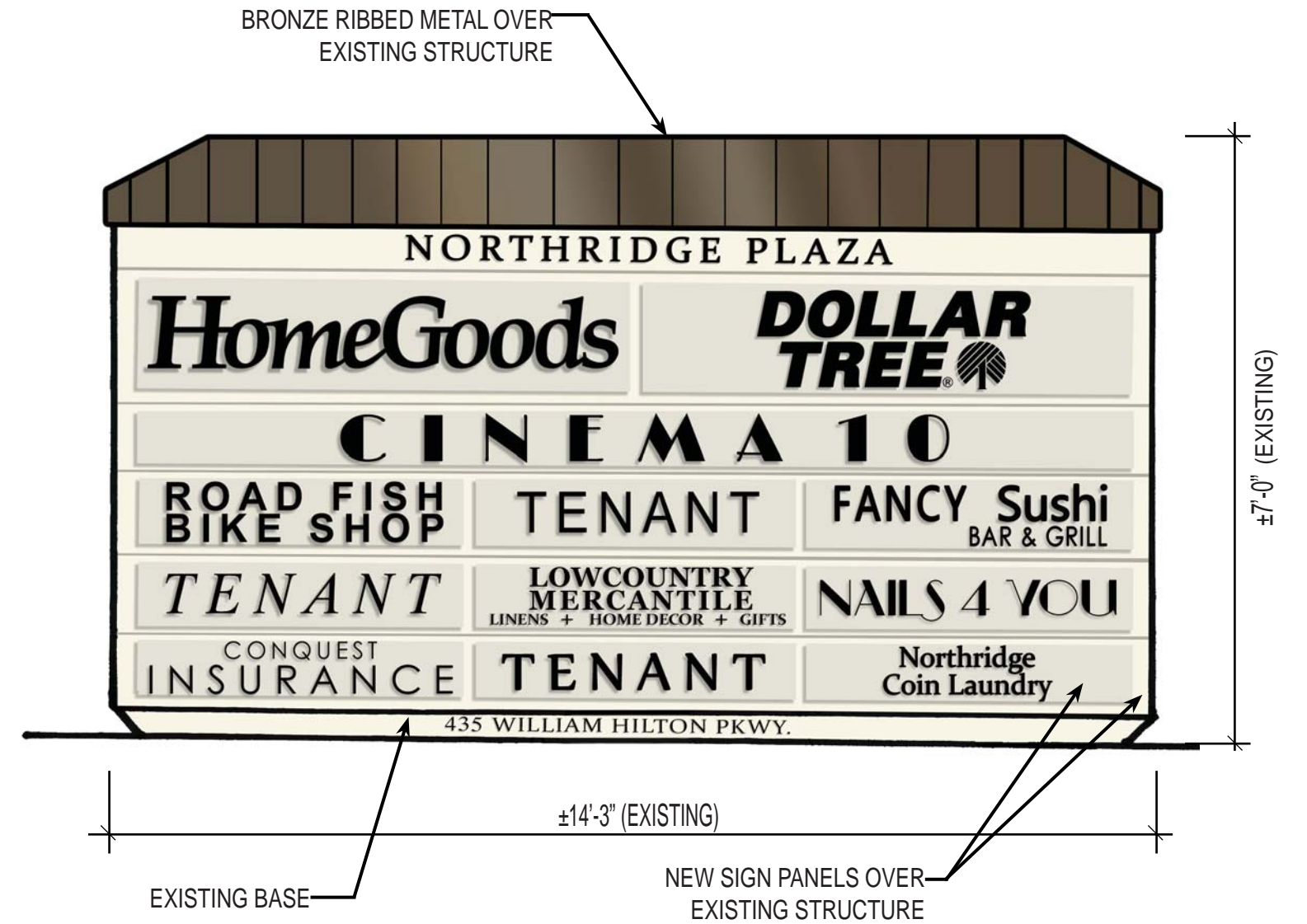


Ward Edwards
ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM

PROJECT #:	190235
DATE:	05/13/19
PREPARED BY:	HED
SHEET NUMBER:	1 OF 2



EXISTING MONUMENT SIGN #1

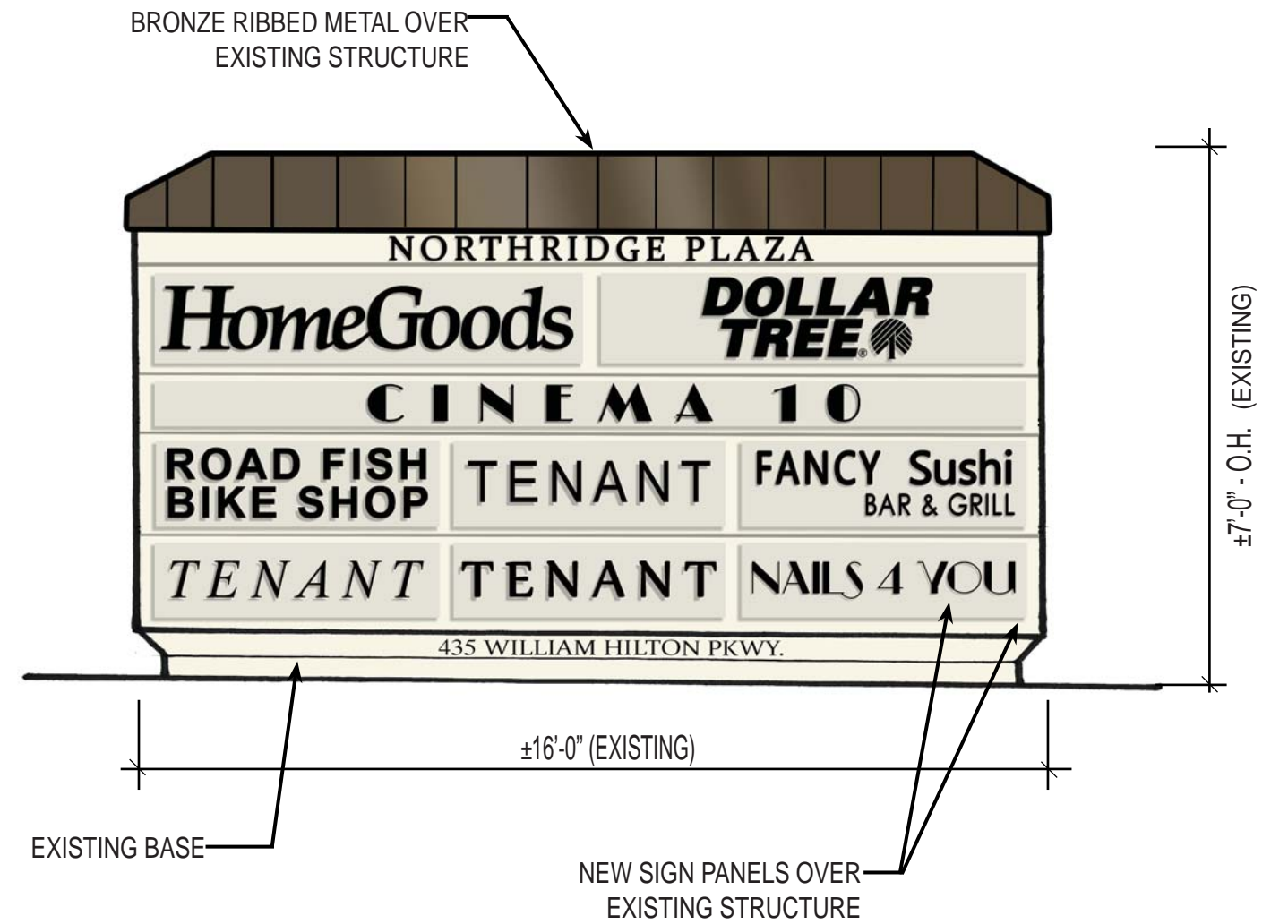


PROPOSED MONUMENT SIGN #1

NORTHRIDGE PLAZA
MONUMENT SIGN - #1
(EXISTING WITH PROPOSED NEW SIGN FACE)

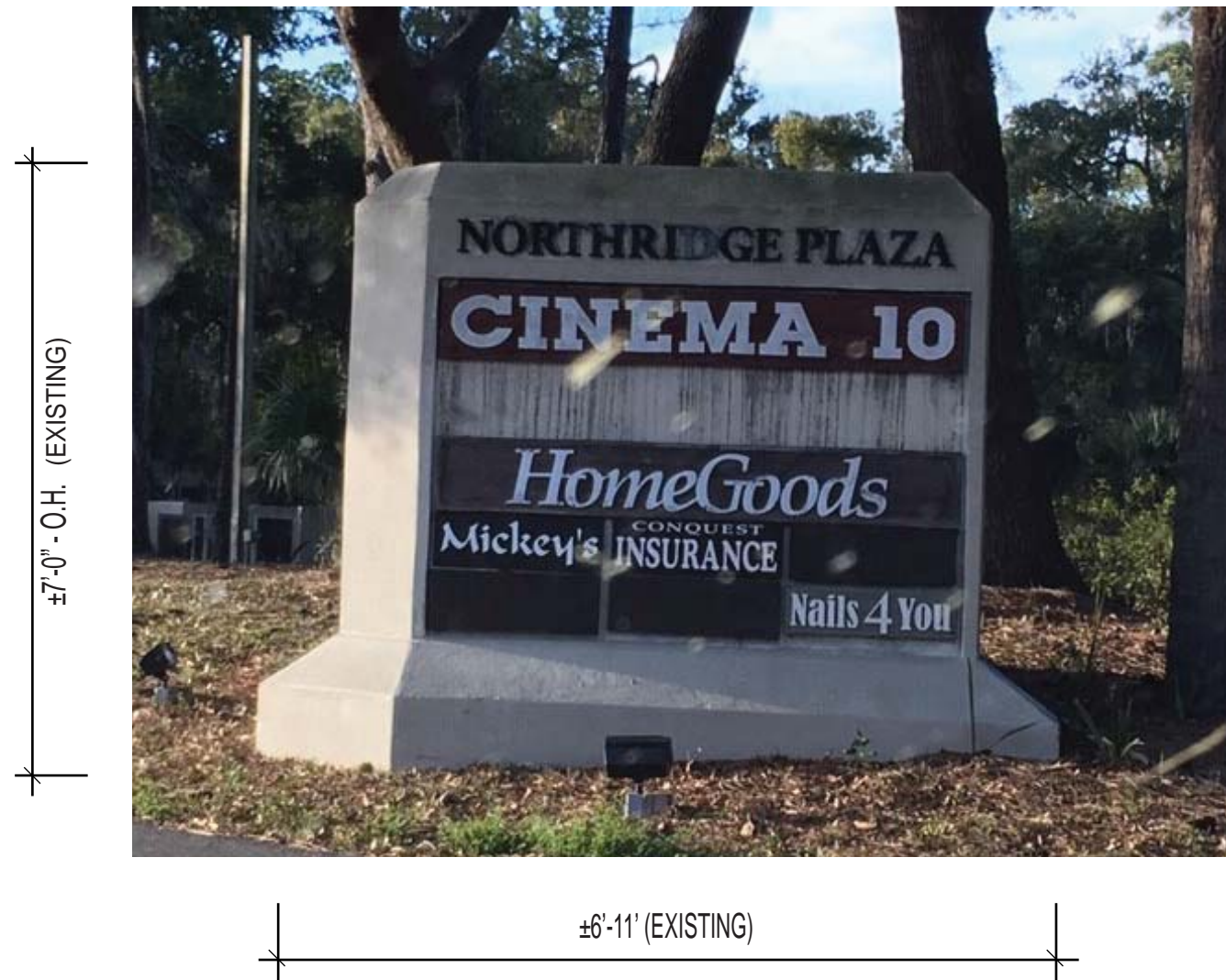


EXISTING MONUMENT SIGN #2

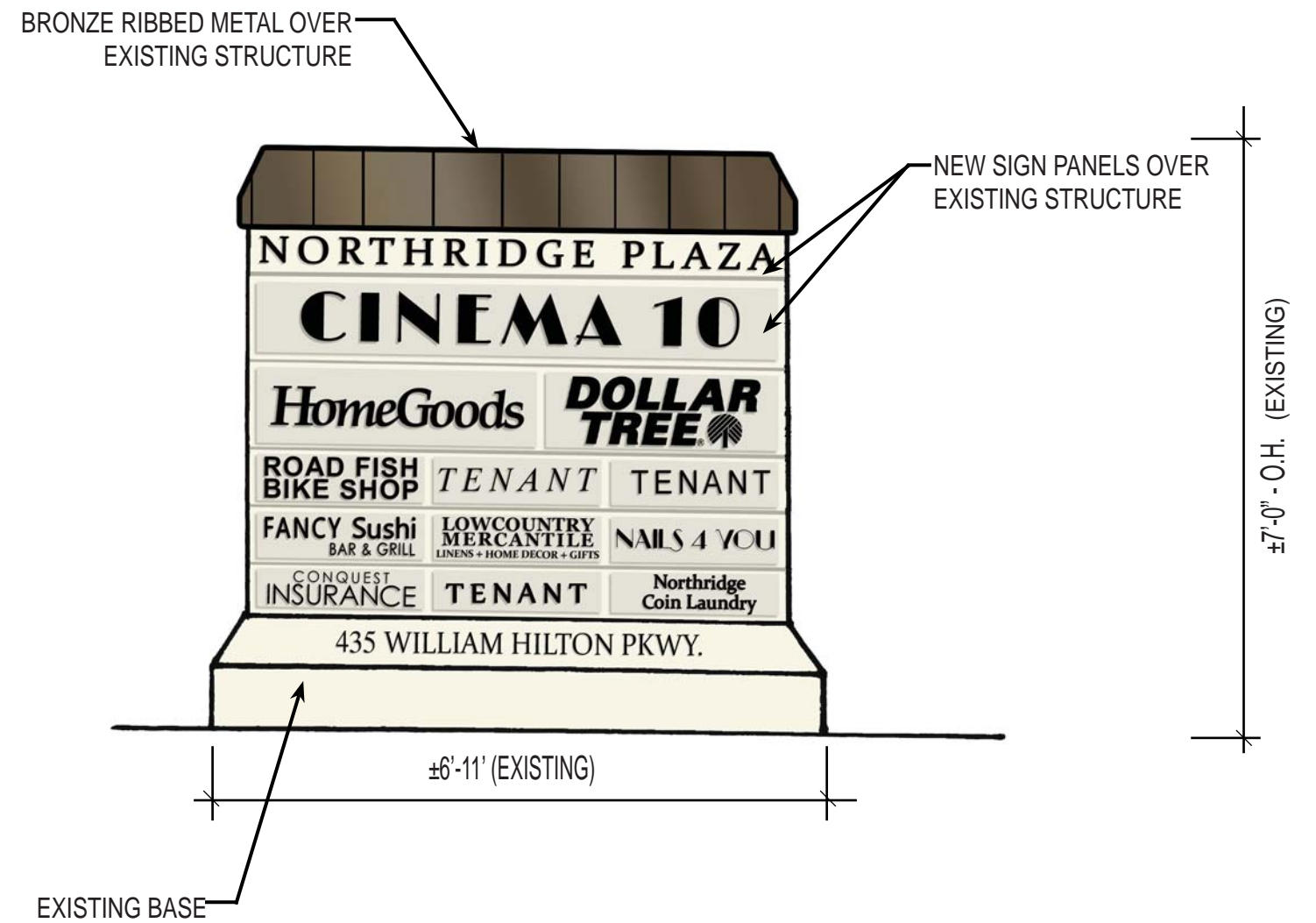


PROPOSED MONUMENT SIGN #2

NORTHRIDGE PLAZA
MONUMENT SIGN - #2
(EXISTING WITH PROPOSED NEW SIGN FACE)



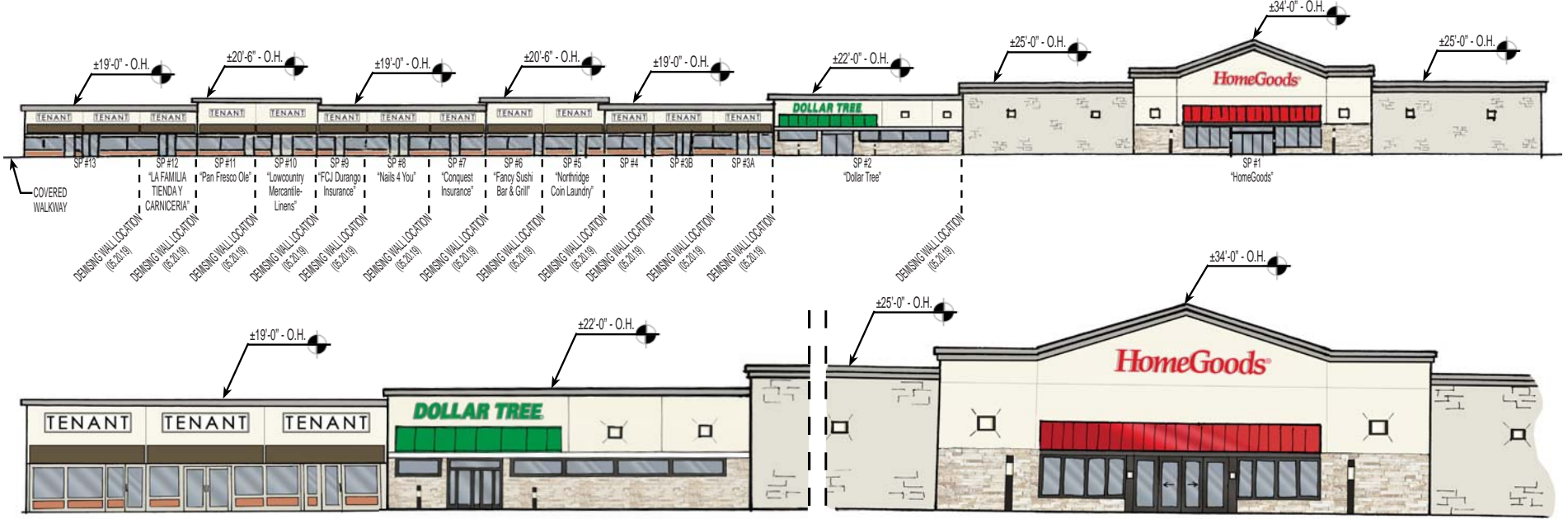
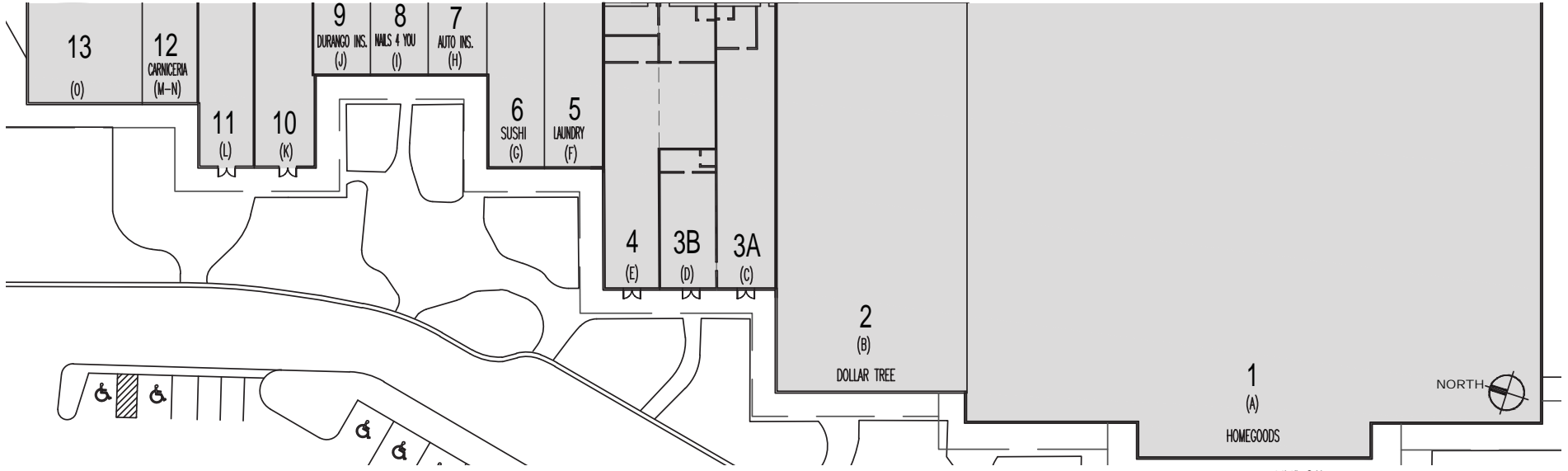
EXISTING MONUMENT SIGN #3



PROPOSED MONUMENT SIGN #3

NORTHRIDGE PLAZA
MONUMENT SIGN - #3 ("V"-SIGN)
(EXISTING WITH PROPOSED NEW SIGN FACE)

EXHIBIT 'A'
 NORTHRIDGE PLAZA - ELEVATIONS
 HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
 HOMEGOODS, DOLLAR TREE & LOCAL TENANTS
 PROPOSED ELEVATION

EXHIBIT 'A'
 NORTHRIDGE PLAZA - ELEVATIONS
 HILTON HEAD, SC - DRB SUBMITTAL

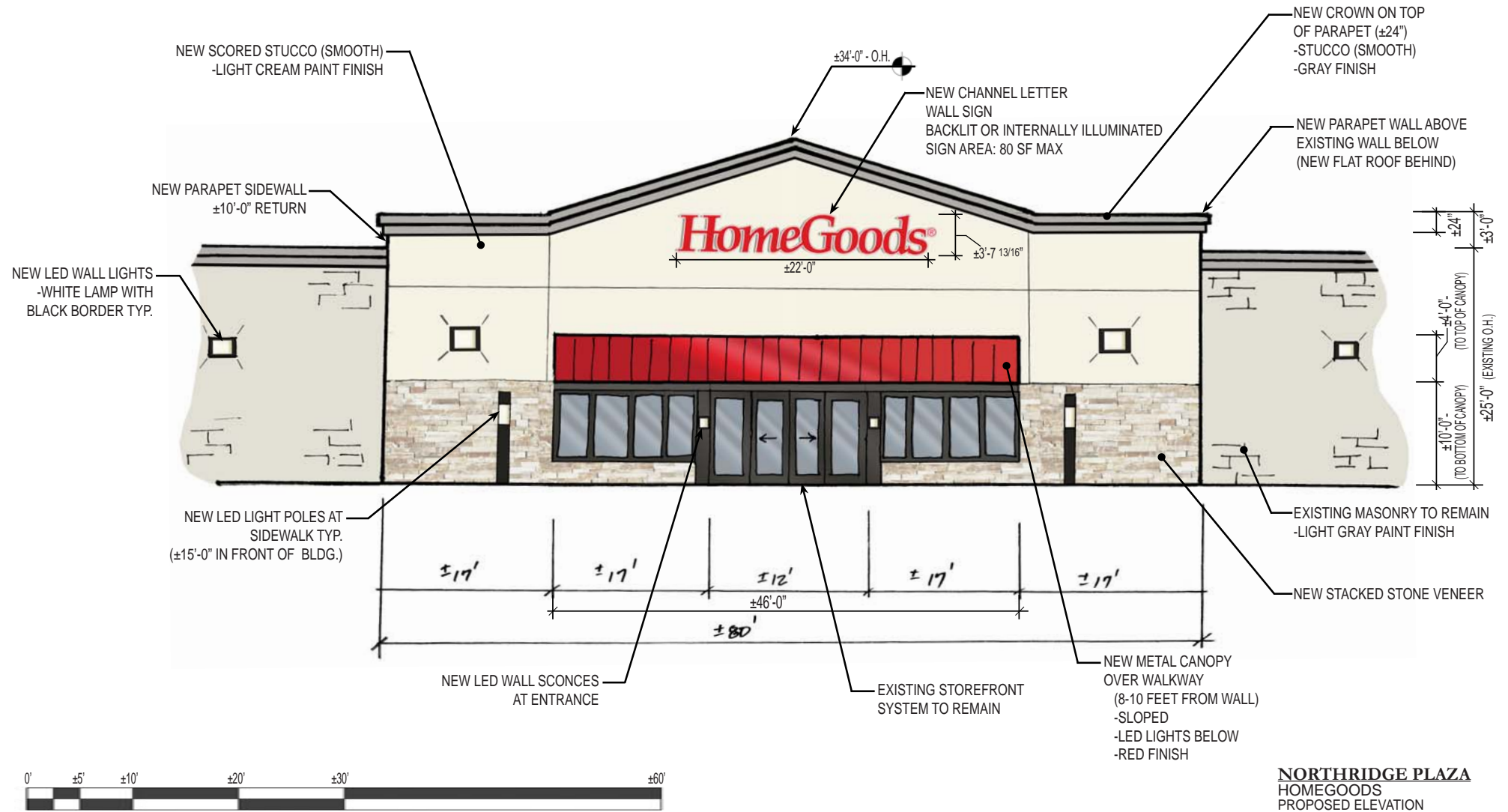
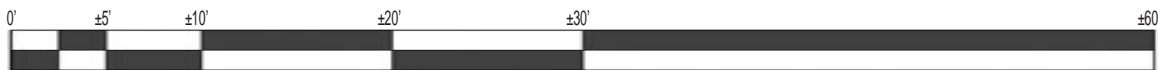
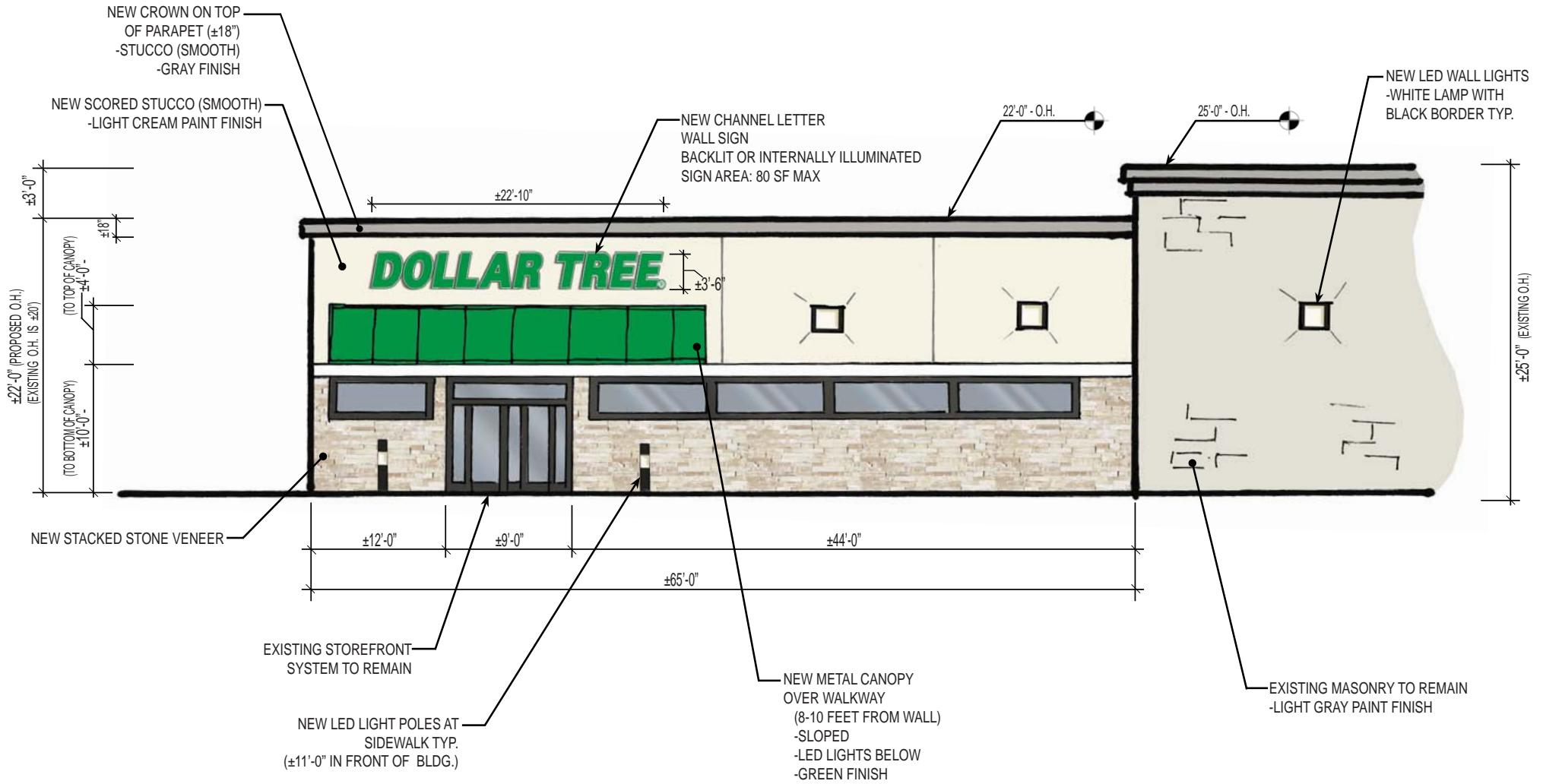
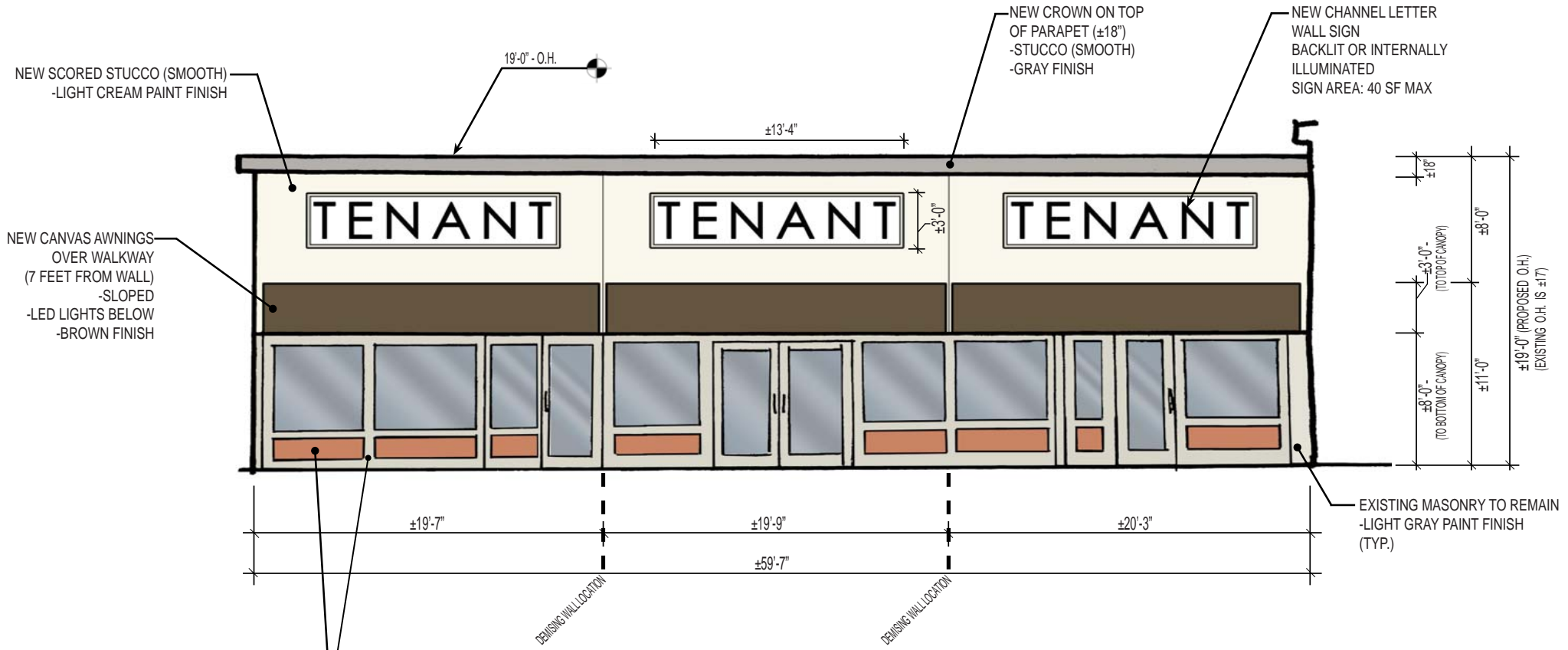


EXHIBIT 'A'
 NORTHRIDGE PLAZA - ELEVATIONS
 HILTON HEAD, SC - DRB SUBMITTAL

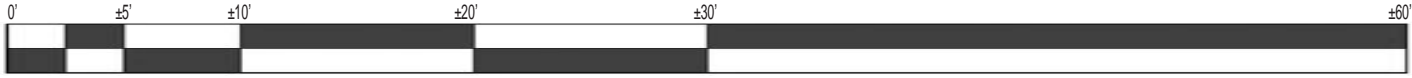


NORTHRIDGE PLAZA
 DOLLAR TREE
 PROPOSED ELEVATION

EXHIBIT 'A'
 NORTHRIDGE PLAZA - ELEVATIONS
 HILTON HEAD, SC - DRB SUBMITTAL



EXISTING WOOD STOREFRONT TO BE EXAMINED.
 IF DAMAGED, REPLACE WITH
 NEW MIRATEC EXTIRA PANEL
 WITH MIRATEC TRIM
 -SMOOTH
 (EXISTING STOREFRONT GLASS TO REMAIN)



NORTHRIDGE PLAZA
 LOCAL TENANTS (TYP.)
 PROPOSED ELEVATION

TURF AND GRASSING NOTES:

- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
- ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
- THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND RE-PLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
- FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
- SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

LIGHTING NOTES:

- THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
- IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
- MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.1.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 28 CATEGORY I TREES AND 12 CATEGORY II TREES. THE CATEGORY I AND II REPLACEMENT TREES MUST BE 10' HT. AND 2" CALIPER AT TIME OF PLANTING. DISCUSSION WITH TOWN STAFF WILL BE NECESSARY FOR WAIVER AND ACCEPTANCE OF PROPOSED OVERSTORY TREES (MAGG & QUEH) AND PALMS (SABP).

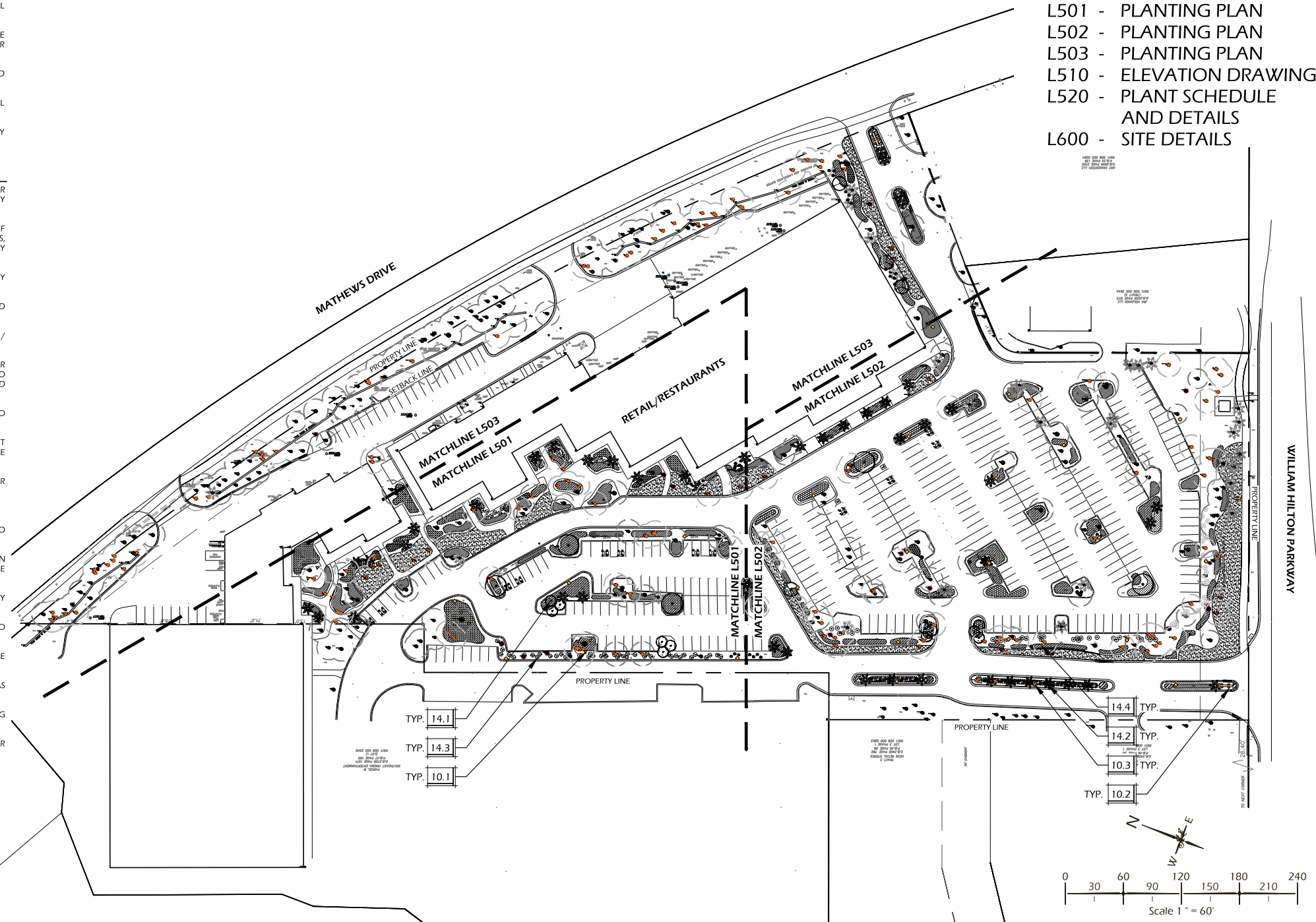
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L520
14.2	PALM TREE PLANTING	2/L520
14.3	SHRUB PLANTING	3/L520
14.4	GROUND COVER PLANTING	4/L520

LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1	▽	12	UP LIGHT	1/L600
10.2	☀	8	FLOOD LIGHT	2/L600
10.3	●	25	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.
* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

SHEET INDEX

- L500 - KEY SHEET AND NOTES
- L501 - PLANTING PLAN
- L502 - PLANTING PLAN
- L503 - PLANTING PLAN
- L510 - ELEVATION DRAWINGS
- L520 - PLANT SCHEDULE AND DETAILS
- L600 - SITE DETAILS



1

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land planning

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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS FOR

NORTHRIDGE

HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JUNE 26, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

**PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
KEY SHEET AND NOTES

DRAWING NUMBER
L500

SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JUNE 26, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

**PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
PLANTING PLAN

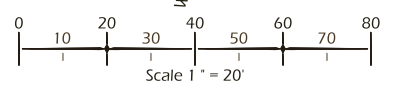
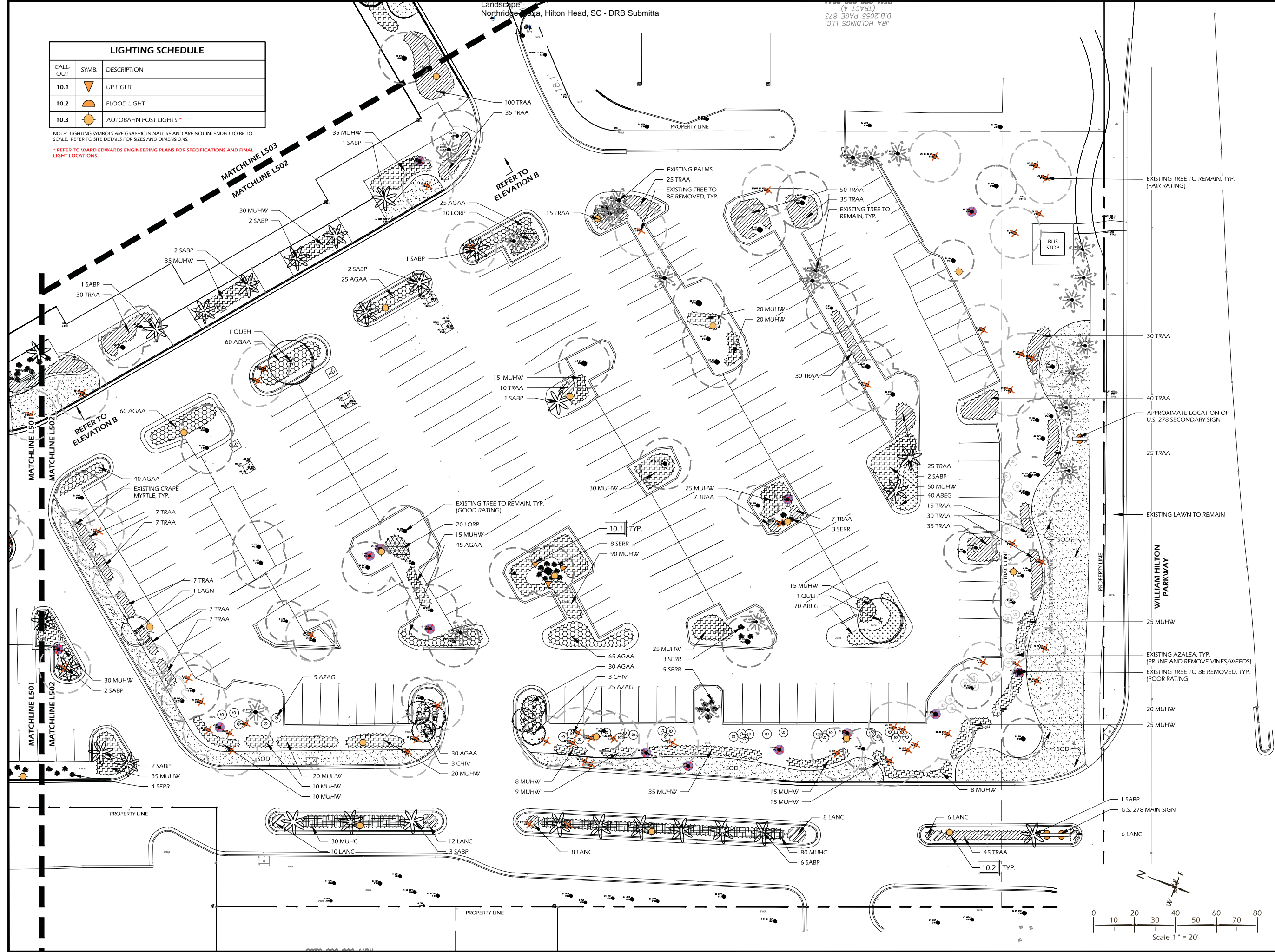
DRAWING NUMBER

L502

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		FLOOD LIGHT
10.3		AUTOBAHN POST LIGHTS *

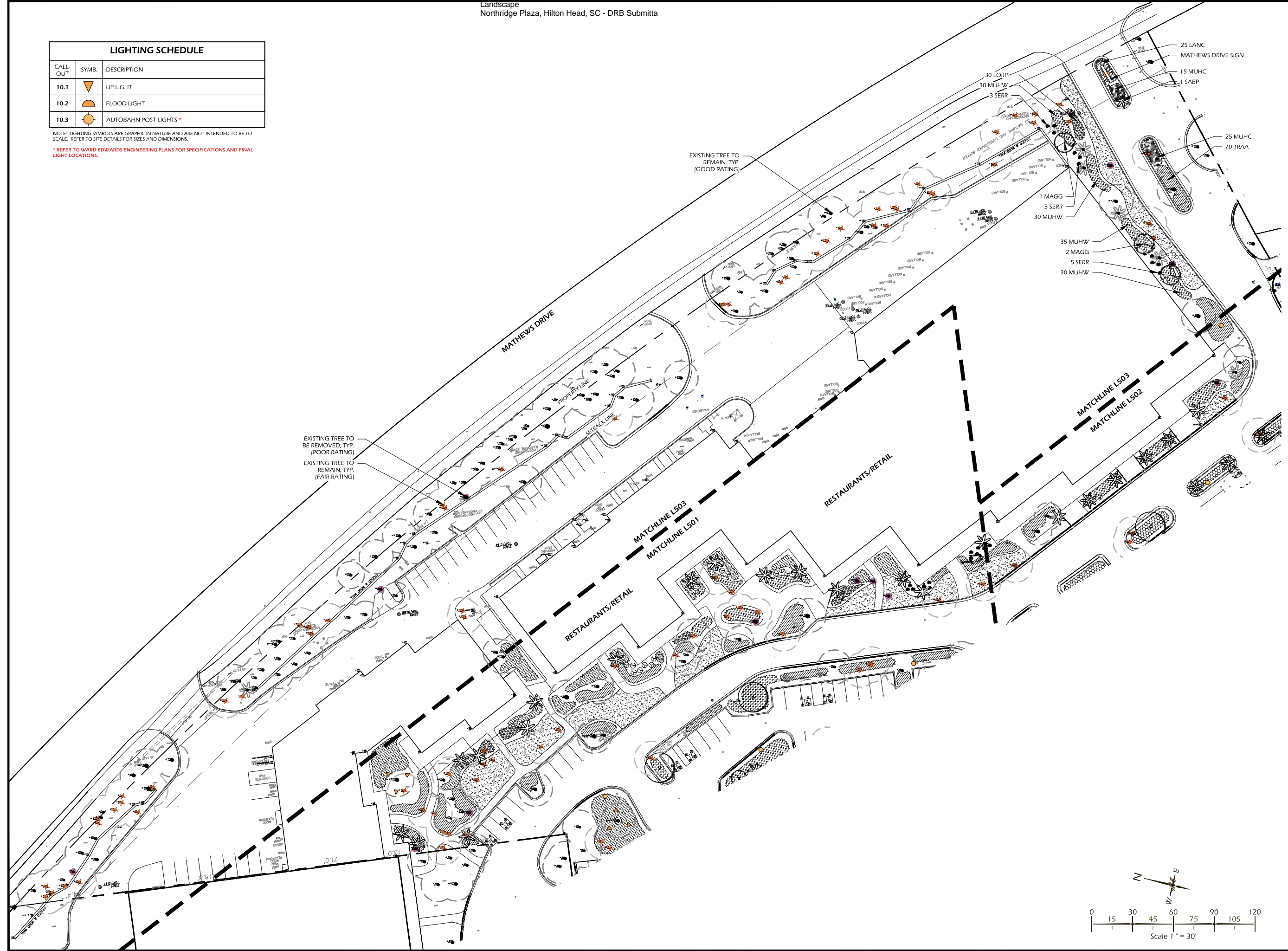
NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.



LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		FLOOD LIGHT
10.3		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.
* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JUNE 26, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

**PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L503

EXHIBIT D
Landscape
Northridge Plaza, Hilton Head, SC - DRB Submittal



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JUNE 26, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER
L600

FOCUS INDUSTRIES **DIRECTIONAL LIGHTS** **DL-46-LEDM20** **TYPE** [] **NEW** **GREEN**

SPECIFICATIONS

CONSTRUCTION: Cast aluminum or cast brass integrated flood sink base, matching cast adjustable neck with 180° rotation, adjustable arm and track housing.

LENS: High impact, clear tempered convex glass.

DI-BRING: 2.5 inch temperature and die cast.

LIGHT SOURCE: Integrated 150W 20w LED module (dependent on 100w halogen) with high power LED, 50000 hour average rating, 3000k color temperature, 1 year warranty.

OPTICS: Interchangeable spot (15°, 30°, 45°, 60°, 90°, 120°, 180°) and 180° very wide flood (no optics).

DIMENSIONS: Integrated sink base, 6.5" x 5.5" x 5.5" (with 1.5" x 1.5" x 1.5" mounting hole).

WEIGHT: 3.5 lbs (16.0 kg) (with 1.5" x 1.5" x 1.5" mounting hole).

WARRANTY: 1 Year (12 months) (with 1.5" x 1.5" x 1.5" mounting hole).

CONNECTION: IN-100 Quick Connect (not supplied from fixture to main cable).
IN-100 (100W) (with 1.5" x 1.5" x 1.5" mounting hole).

INSTALLATION: Aluminum model: IN-20 20" dia. IN-40 40" dia. IN-60 60" dia. IN-80 80" dia. IN-100 100" dia.
Brass & Copper models: IN-20 20" dia. IN-40 40" dia. IN-60 60" dia. IN-80 80" dia. IN-100 100" dia.

FINISH: Aluminum: Black, bronze, powder coated. Optional finishes available.
Brass: Polished, Optional finishes available.

ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
DL-46-LEDM2015	Aluminum, 15" Dia	20w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	30w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	40w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	50w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	60w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	75w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	90w LED Module	3.5 lbs
DL-46-LEDM2015	Aluminum, 15" Dia	100w LED Module	3.5 lbs

Beam Type: Spot, Flood, Wash, Spot Flood, Wash Flood, Spot Flood Wash Flood

Beam Angle: 15°, 30°, 45°, 60°, 90°, 120°, 180°

Visual Indicator: On/Off, On/Off, On/Off

IP65 | CE | ENEC

BEAM/GLASS CONTROL ACCESSORIES

IN-100-15-15	Beam Angle Control
IN-100-45-45	Beam Angle Control
IN-100-75-75	Beam Angle Control
IN-100-90-90	Beam Angle Control
IN-100-120-120	Beam Angle Control
IN-100-180-180	Beam Angle Control
IN-100-15-15	Beam Angle Control
IN-100-45-45	Beam Angle Control
IN-100-75-75	Beam Angle Control
IN-100-90-90	Beam Angle Control
IN-100-120-120	Beam Angle Control
IN-100-180-180	Beam Angle Control

92018 DL-46 Cat Sheet

FOCUS INDUSTRIES **DIRECTIONAL LIGHTS** **DL-46-LEDM20** **TYPE** []

MOUNTING ACCESSORIES

LIGHT DISTRIBUTIONS AND PHOTOMETRICS

92018 DL-46 Cat Sheet

MANUFACTURER INFORMATION:
FOCUS INDUSTRIES
25301 COMMERCENTRE DRIVE
LAKE FOREST, CA. 92630
PHONE: (949) 830.1350
WEB: WWW.FOCUSINDUSTRIES.COM

MODEL: DL-46-LEDM2040
COLOR: BRASS

OR APPROVED EQUAL

FOCUS INDUSTRIES **LED FLOOD LIGHTS** **LFL-01-2LEDM10-MV SERIES** **TYPE** []

SPECIFICATIONS

CONSTRUCTION: Die cast aluminum integrated housing with cast aluminum lens, adjustable arm, adjustable track housing, adjustable head, adjustable arm, adjustable track housing.

LENS: High impact, clear tempered convex glass.

DI-BRING: 2.5 inch temperature and die cast.

LIGHT SOURCE: Integrated 150W 20w LED module (dependent on 100w halogen) with high power LED, 50000 hour average rating, 3000k color temperature, 1 year warranty.

OPTICS: Interchangeable spot (15°, 30°, 45°, 60°, 90°, 120°, 180°) and 180° very wide flood (no optics).

DIMENSIONS: Integrated sink base, 6.5" x 5.5" x 5.5" (with 1.5" x 1.5" x 1.5" mounting hole).

WEIGHT: 3.5 lbs (16.0 kg) (with 1.5" x 1.5" x 1.5" mounting hole).

WARRANTY: 1 Year (12 months) (with 1.5" x 1.5" x 1.5" mounting hole).

CONNECTION: IN-100 Quick Connect (not supplied from fixture to main cable).
IN-100 (100W) (with 1.5" x 1.5" x 1.5" mounting hole).

INSTALLATION: Aluminum model: IN-20 20" dia. IN-40 40" dia. IN-60 60" dia. IN-80 80" dia. IN-100 100" dia.
Brass & Copper models: IN-20 20" dia. IN-40 40" dia. IN-60 60" dia. IN-80 80" dia. IN-100 100" dia.

FINISH: Aluminum: Black, bronze, powder coated. Optional finishes available.
Brass: Polished, Optional finishes available.

ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	20w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	30w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	40w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	50w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	60w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	75w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	90w LED Module	3.5 lbs
LFL-01-2LEDM10-MV-15	Aluminum, 15" Dia	100w LED Module	3.5 lbs

Beam Type: Spot, Flood, Wash, Spot Flood, Wash Flood, Spot Flood Wash Flood

Beam Angle: 15°, 30°, 45°, 60°, 90°, 120°, 180°

Visual Indicator: On/Off, On/Off, On/Off

IP44 | CE | ENEC

MOUNTING ACCESSORIES

BEAM/GLASS CONTROL ACCESSORIES

IN-100-15-15	Beam Angle Control
IN-100-45-45	Beam Angle Control
IN-100-75-75	Beam Angle Control
IN-100-90-90	Beam Angle Control
IN-100-120-120	Beam Angle Control
IN-100-180-180	Beam Angle Control
IN-100-15-15	Beam Angle Control
IN-100-45-45	Beam Angle Control
IN-100-75-75	Beam Angle Control
IN-100-90-90	Beam Angle Control
IN-100-120-120	Beam Angle Control
IN-100-180-180	Beam Angle Control

92018 LFL-01 Cat Sheet

MANUFACTURER INFORMATION:
FOCUS INDUSTRIES
25301 COMMERCENTRE DRIVE
LAKE FOREST, CA. 92630
PHONE: (949) 830.1350
WEB: WWW.FOCUSINDUSTRIES.COM

MODEL: LFL012LEDM1027MVBLT
COLOR: BRASS

OR APPROVED EQUAL

1 // L600 UP LIGHT
SCALE: N.T.S.

2 // L600 FLOOD LIGHT
SCALE: N.T.S.

**TOWN OF HILTON HEAD ISLAND
SIGN REVIEW CHECKLIST: FREESTANDING SIGN**

SIGN PERMIT #:	DRB 001416-2019	DATE SUBMITTED:	07/02/2019
BUSINESS NAME:	Northridge Plaza	DATE REVIEWED:	07/08/2019
ADDRESS:		SUBMITTAL #:	

RECOMMENDATION: Approval Approval with Conditions Denial

GENERAL COMMENTS & QUESTIONS

1. Create a sign system for approval and use by new tenants.
2. Town approved sign system should include tenant panel location and color.
3. More detail is required for approval.
4.
5.

REQUIRED INFORMATION & MATERIALS

APPLICATION MATERIALS

REQUIRED MATERIALS	Yes	No	N/A	Comments & Questions
A color rendering or photo of the proposed sign with all required information. See requirements below. For multiple signs, number or letter each proposed sign, e.g. "Sign A", "Sign 3".		X		The color rendering should specify color name, number and manufacturer.
Photos of the location of the proposed sign with the sign superimposed <i>to scale</i> on the photos. <ul style="list-style-type: none"> • Provide photos close to the location, showing relevant details such as drive aisles, sidewalks, trees, etc. • Provide photos further away from the location, showing much of the surrounding area as possible. 		X		Provide photos depicting the existing signs and surrounding conditions.
An aerial photo, site plan, or sketch to scale showing property lines and the location of the sign. For multiple signs, indicate each sign location using the corresponding number or letter on the rendering, e.g. "Sign A". Note: Signs cannot be located off-premises.		X		Location and label on all three freestanding signs is unclear.
For new signs, a landscape plan. See requirements below.		X		Provide a detail of the landscaping around the Hwy 278 signs.

DESIGN REVIEW

RENDERING – MATERIALS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Sign panel materials are listed, e.g. “2 inch thick HDU”.		X		Specify the finish surface of the renovated signs.
All additional materials and hardware is listed, e.g. “Black chains”.		X		Specify the tenant panel material and design. i.e. routed HDU or Cedar

RENDERING – DIMENSIONS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Dimensions of all structure or post features, e.g. caps, recesses, etc.		X		Please provide
Sign panel height & width.		X		Label tenant panel size.
Sign panel depth, e.g. “2 inch thick HDU”.		X		Please specify
How the sign is dimensional, e.g. “Text and border are raised” or “Text and border are recessed”.		X		Please provide
Depth of dimension. Note: The minimum required depth is 0.25 inch. Larger signs may require more depth.		X		Not provided
Letter heights		X		Not provided.
Logo dimensions, if applicable.		X		Not provided.

RENDERING – DESIGN				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
The street address of the site is shown in 4 inch tall numbers on both sides of the sign. Note: The street name may be also required if the site accesses more than one street.		X		No dimension provided. Address must be at the top of the sign so it is not obscured by vegetation.
The number of fonts does not make the sign look busy.		X		Limit the number of fonts.
Sign panels: A description or photo of the background texture of the sign, e.g. “Wood grain”, “Pebble finish”, “Stucco finish”, etc.		X		Not provided.
Channel letters: Letter depth, e.g. “3 inch thick aluminum”		X		Not specified.
Letter heights		X		Not specified.
Channel letter signs: Backer height, width & depth, if applicable.		X		Not specified.
Channel letter signs: Standoff from the building or backer, e.g. “1 inch standoff”.		X		Not specified.

RENDERING – COLORS				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Every color used is identified by manufacturer name and number, e.g. “SW 6112 Biscuit”, “BM OC-95 Navajo White”. Pantone colors are not used.		X		
Colors match the other signs on site for that business or development.		X		Create a sign system for approval
Background colors are earth tones: green, brown, beige, and grey.		X		Not specified.
Channel letters: specify that the return color matches the letter face color.		X		Specify on the plans.

LIGHTING				
REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
New lighting: Rendering or cut sheet specifies the light will be white.		X		Specify on the drawings.
Channel letters: Rendering or cut sheet states light will shine around letters, i.e. “Halo”.		X		Specify on the drawings.
Channel letters: Rendering states UL or any other required labels will be placed on the top of the letters.		X		Specify on the drawings.





Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: WILLIAM GOLDSMITH Company: GATOR NORTHRIDGE PARTNERS, LLLP
 Mailing Address: 7850 NW 146th ST., 4th FLR City: MIAMI LAKES State: FL Zip: 33016
 Telephone: 305-949-9049 Fax: 305-948-6478 E-mail: BILLG@GATORINV.COM
 Project Name: NORTHRIDGE PLAZA SITE IMPROVEMENTS Project Address: 435 WILLIAM HILTON PKWY, HILTON HEAD, SC.
 Parcel Number [PIN]: R511 008 000 0345 0000
 Zoning District: CC Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant. LOA (LANDOWNER ASSOCIATION), CBL PERIPHERAL PROPERTIES, HAS BEEN DISSOLVED. SEE ATTACHED DOCUMENT FROM SOUTH CAROLINA SECRETARY OF STATE.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3. *ATTACHED*
- Final site development plan meeting the requirements of Appendix D: D-6.F. *SEE EXHIBIT C*
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I. *SEE EXHIBIT C AND D*
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project. *SEE EXHIBIT A*
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- N/A* Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

GATEWAY MANAGEMENT PARTNERS LTD
 By *[Signature]*
 SIGNATURE *William Gustafson, VP*

6-27-19
 DATE

Business Entities Online

File, Search, and Retrieve Documents Electronically

CBL PERIPHERAL PROPERTIES LIMITED PARTNERSHIP

Corporate Information

Entity Type: Limited Partnership

Status: Dissolved

Domestic/Foreign: Foreign

Incorporated State: Tennessee

Important Dates

Effective Date: 09/08/1994

Expiration Date: N/A

Term End Date: N/A

Dissolved Date: 12/21/2017

Registered Agent

Agent: CORPORATION SERVICE COMPANY

Address: 1703 LAUREL STREET
COLUMBIA, South Carolina 29201

Official Documents On File

Filing Type	Filing Date
Certificate of Cancellation	12/21/2017
Change of Agent or Office	12/06/2007
Change of Agent or Office	02/06/2004
LP Certificate	09/08/1994

NARRATIVE

Northridge Plaza Site Improvements and Building Façade Upgrades

435 William Hilton Parkway, Hilton Head, SC 29926

The project titled Northridge Plaza Site Improvements and Building Façade Upgrades will take place at the Northridge Plaza Shopping Center located at 435 William Hilton Parkway, in Hilton Head South Carolina.

The entire property consists of approximately 10.234 Acres. Site improvements consist of milling and resurfacing existing asphalt surfaces, replace timber curbs with concrete curbs, upgrade existing site / parking lot lighting with LED lighting to be designed and installed in accordance with Town standards by Palmetto Electric, landscaping, tree pruning, and removal of poor and fair condition trees as identified in the Tree Inventory report prepared by Bartlett Tree Experts. The combined site improvements of landscaping, lighting and paving will improve exterior lighting conditions creating enhanced view corridors which will improve both appearance and security monitoring opportunities.

Building Façade upgrades are long overdue and will eliminate deteriorating wood canopy conditions, as well as modernize the appearance of the property providing an enhanced experience for vendors, customers and visitors alike. These upgrades include removal of the existing wooden canopy along the shopping center façade, and providing a combination of metal and fabric canopies to provide shade, shelter from the elements and an improved appearance for the shopping center. Existing exterior wall surfaces will be re-surfaced with an EIFS (Stucco) system. The overall footprint of the shopping center, approximately 79,573 square feet, will remain unchanged as no enclosed spaces are being removed or added.

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
OVERALL
EXISTING ELEVATION



NORTHRIDGE PLAZA
HOMEGOODS
EXISTING ELEVATION

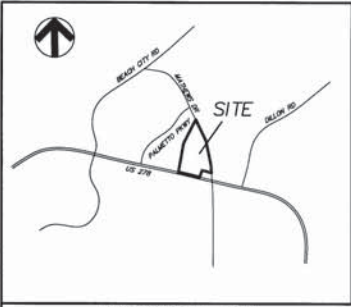
EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



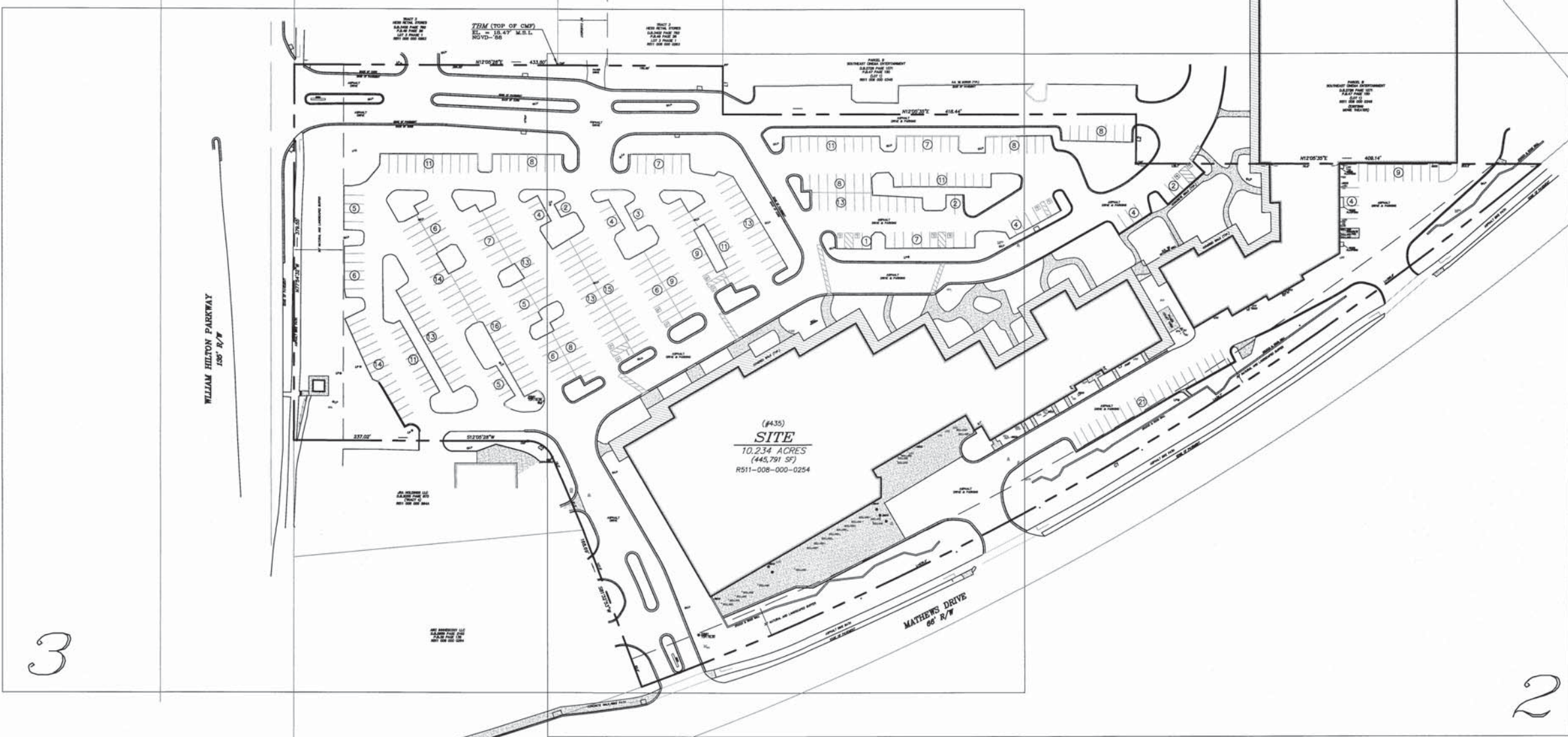
NORTHRIDGE PLAZA
DOLLAR TREE
EXISTING ELEVATION



NORTHRIDGE PLAZA
LOCAL TENANTS (TYP.)
EXISTING ELEVATION



VICINITY MAP - N.T.S.



3

2

LEGEND

BC	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
CMF D	CONCRETE MONUMENT FOUND, DISTURBED
EO	ELECTRICAL OUTLET
FH	FIRE HYDRANT
FL	FIRE LANE
HC	HANDICAP
ICB	IRRIGATION CONTROL BOX
ICV	IRRIGATION CONTROL VALVE
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
LAO	LAUREL OAK
LO	LIVE OAK
MAP	MAPLE
NP	NO PARKING
PLM	PALM
PN	PINE
RO	RED OAK
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE PEDESTAL
TRANS	TRANSFORMER
UCPT	UNDERGROUND PROPANE TANK
WM	WATER METER
WO	WATER OAK
WV	WATER VALVE
-X-	FENCE LINE
-X-	SANITARY SEWER LINE

- NOTES:**
1. THIS LOT LIES IN ZONE "C", NO B.F.E. PER F.I.R.M. PANEL 0009-D, COMMUNITY No. 450250, REVISED: 09/29/86.
 2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 3. ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.

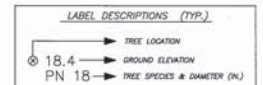
Parcel Line Table

L#	Length	Direction
L1	48.49'	S77°54'25"E
L2	50.00'	S77°54'25"E
L3	79.49'	S79°05'28"W

Curve Table

C#	ARC	RADIUS	DELTA	DIRECTION	CHORD
C1	1056.72'	3144.04'	19°15'26"	S18°04'52"E	1051.75'
C2	31.57'	27.00'	66°59'18"	S45°35'28"W	29.80'

REFERENCE PLAT:
A PLAT OF PHASE 1, NORTHRIDGE PARK
CBL & ASSOCIATES
BY: T-SQUARE LAND SURVEYING
DATE: 10/21/93



PARKING

STANDARD:	372 SPACES
HANDICAP:	14 SPACES

PREPARED FOR: **GATOR INVESTMENTS**

* I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

Michael R. Dyer

A TREE, TOPOGRAPHIC & AS-BUILT LAND SURVEY OF
R511 008 000 0254

A PORTION OF
NORTHRIDGE BUSINESS PARK
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: N.T.S. SURVEYED BY: LC
DATE: 05/10/19 DRAWN BY: LAN
JOB No.: 63,640A CHECKED BY: MRD

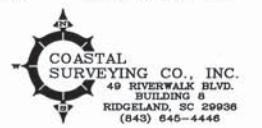
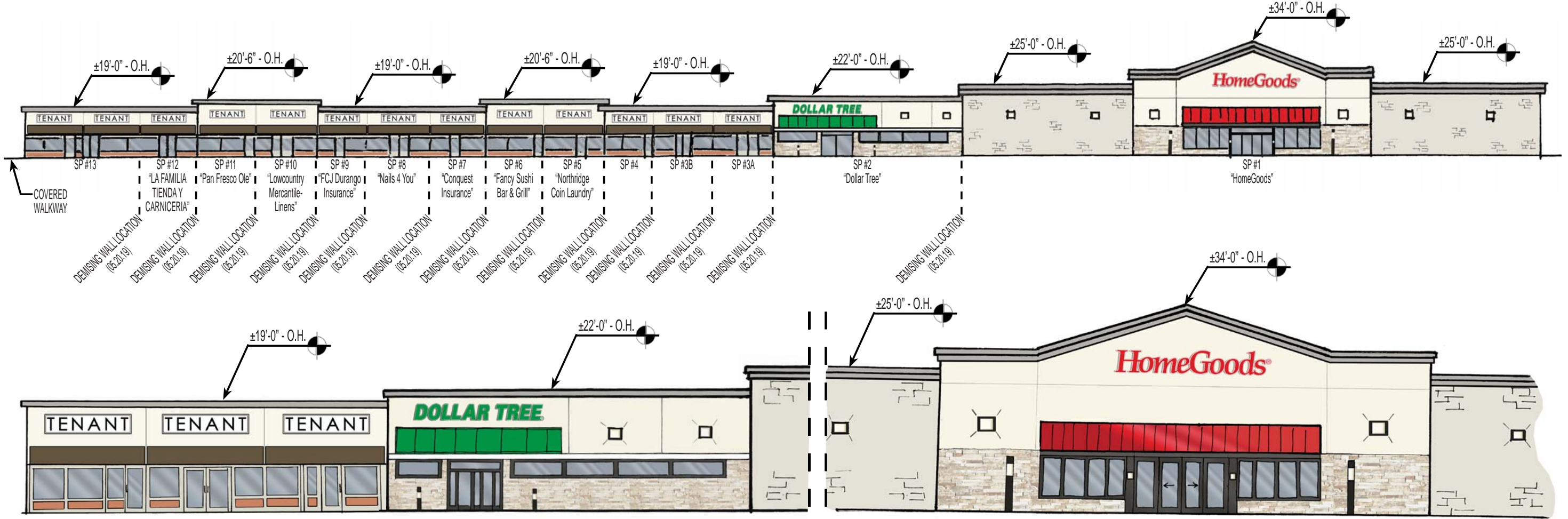
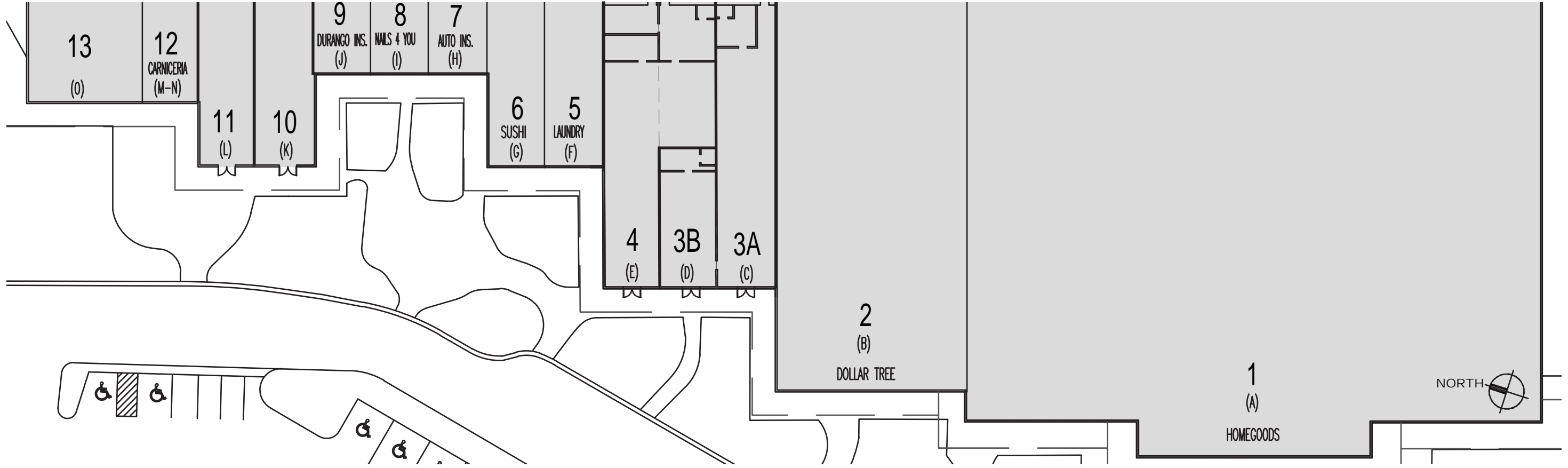
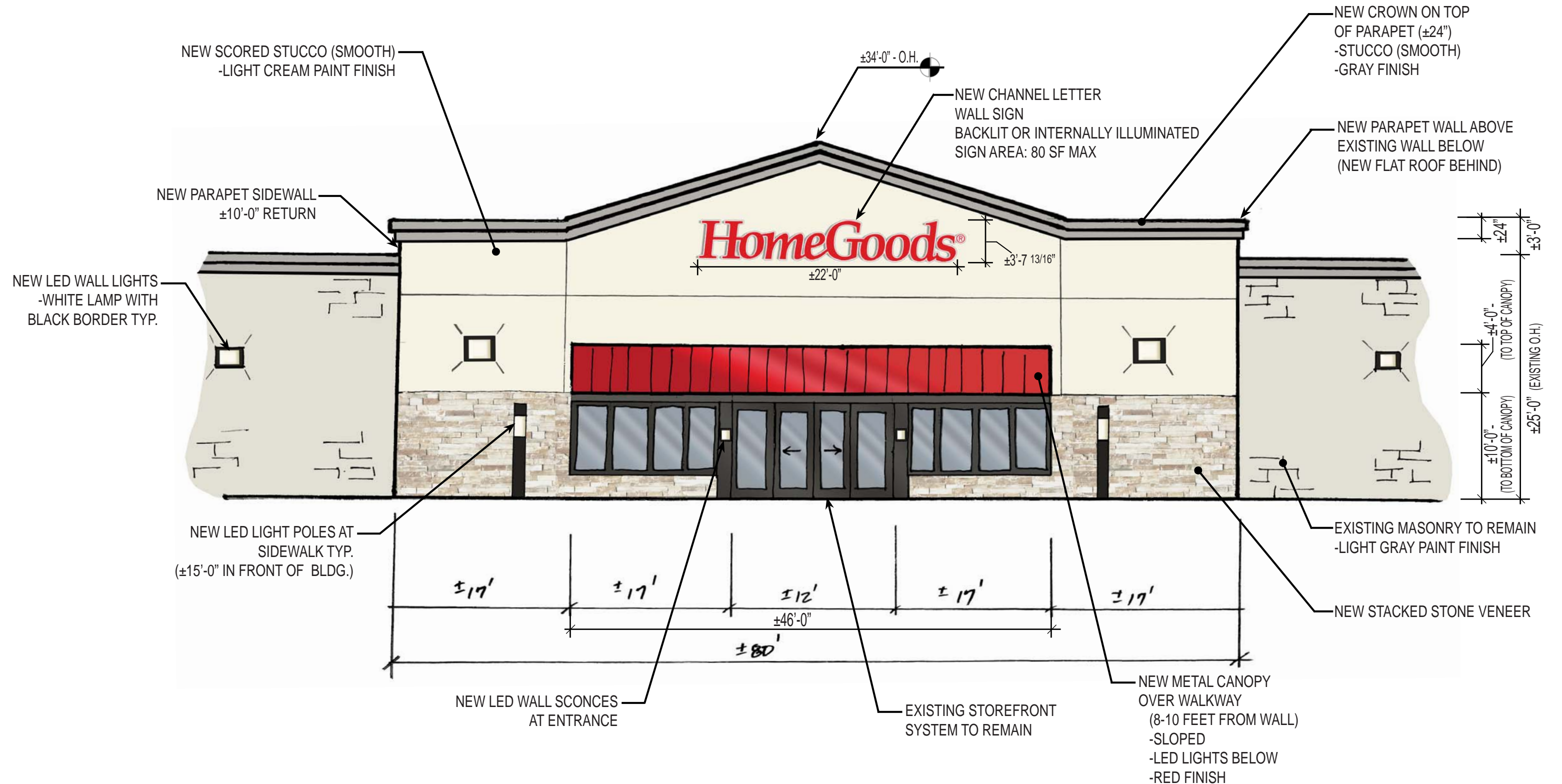
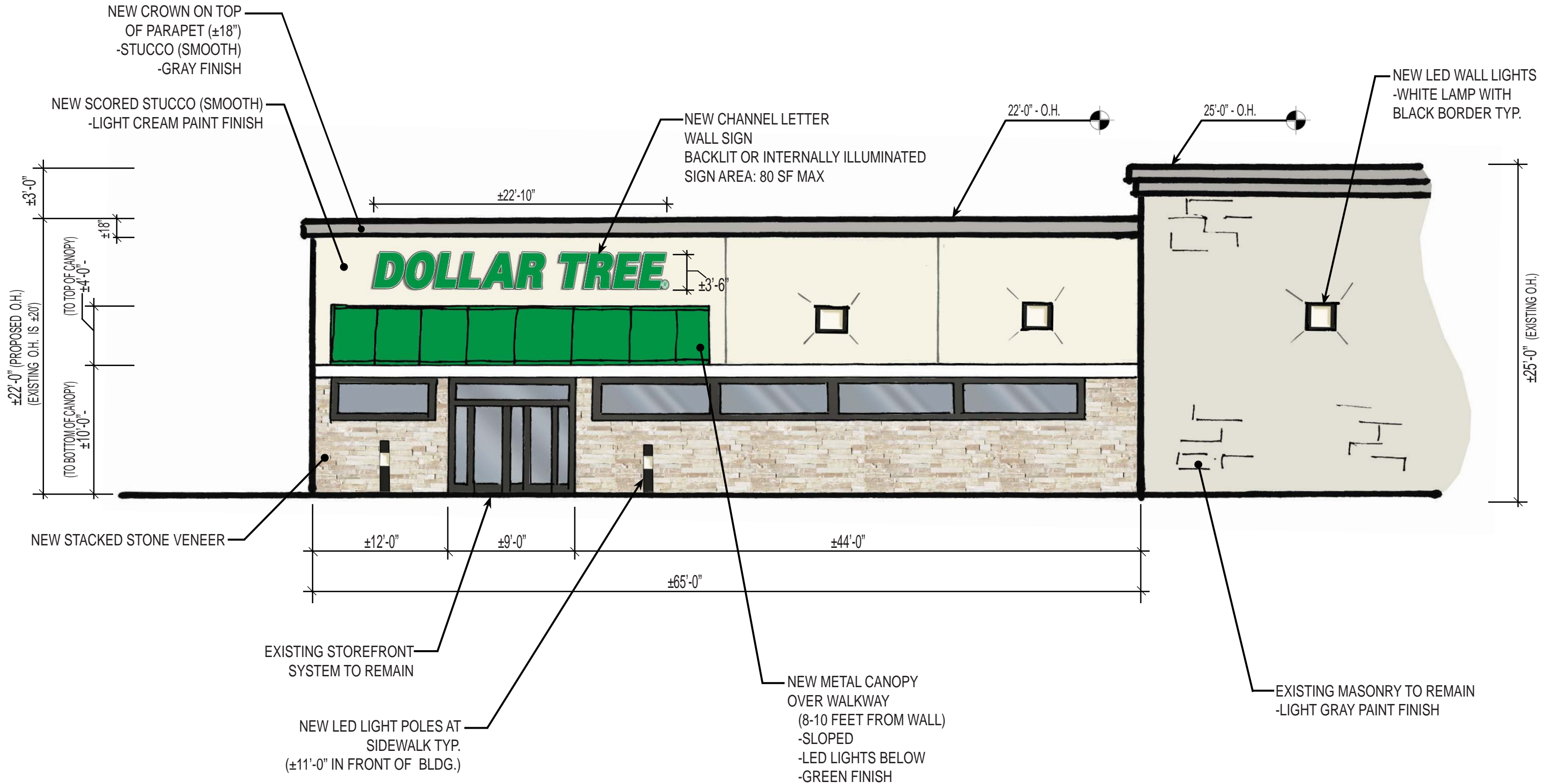


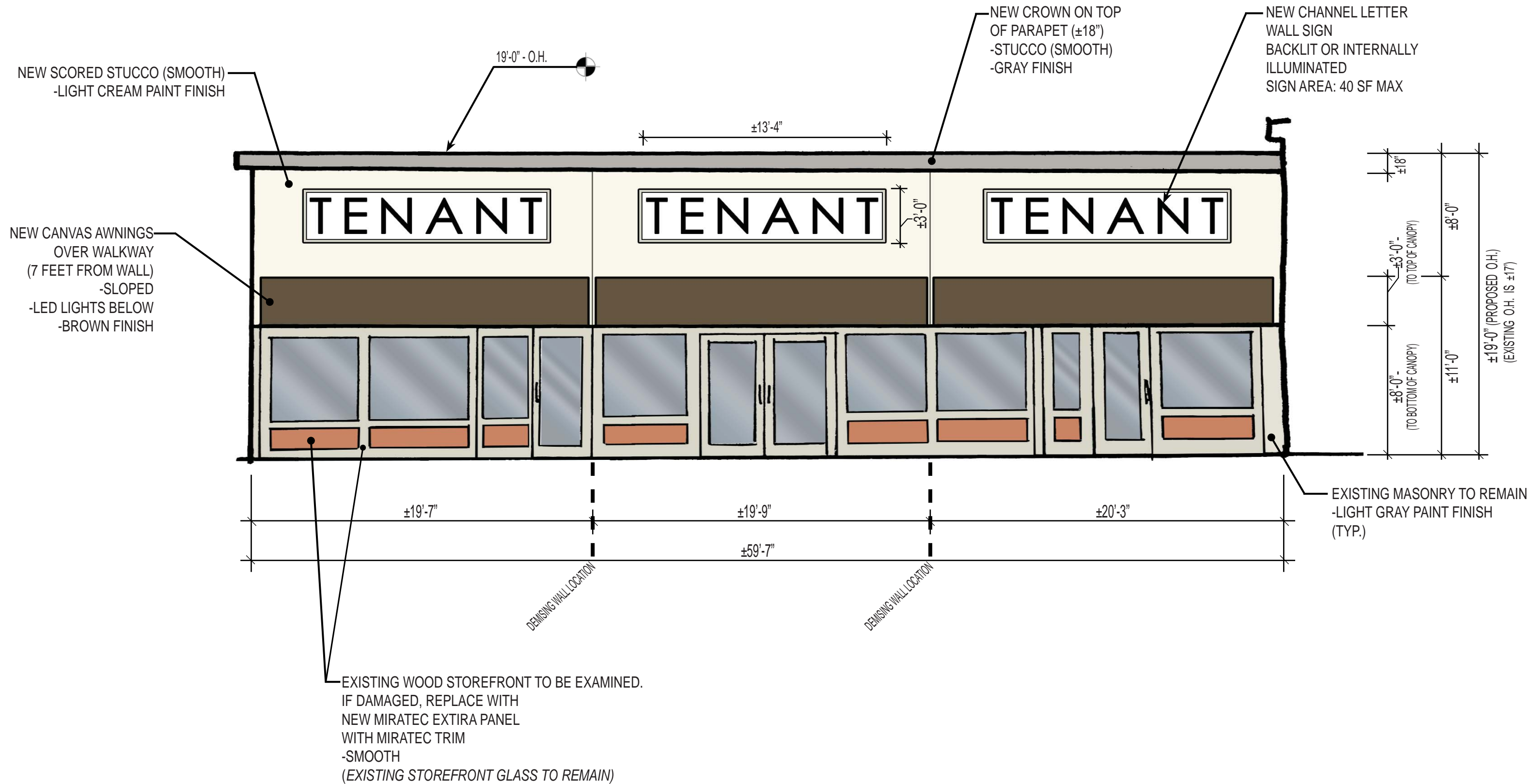
EXHIBIT 'A'
 NORTHRIDGE PLAZA - ELEVATIONS
 HILTON HEAD, SC - DRB SUBMITTAL



NORTHRIDGE PLAZA
 HOMEGOODS, DOLLAR TREE & LOCAL TENANTS
 PROPOSED ELEVATION









EXTIRA PANELS ARE ENGINEERED FOR OUTDOOR USE

Made with the same proprietary TEC™ process used to make MiraTEC, Extira is a revolutionary product for exterior applications that performs better than wood or MDF. Extira panels may look like MDF, but they don't perform like it. Different ingredients and a patented and proprietary manufacturing process lead to a superior performance.

Extira is easy to work with; can be carved, routed and machined. Resists moisture, rot, and termites. Twice as strong as MDF, Extira is made to be used outside.

Plus, Extira panels are covered by an industry-leading 10-year limited warranty that far exceeds competitive panel products. Download the warranty for complete details:

- [Extira Warranty, English](#)
- [Extira Warranty, Spanish](#)
- [Extira Warranty, French](#)

Acrobat Reader is needed to view PDF files. [Click here](#) to download a free copy of Acrobat Reader.

EXTIRA PANELS SIZE RANGE

With Five Thicknesses and Three Panel Sizes, Extira Measures Up to Any Project

THICKNESS OPTIONS (+/- 0.005")

Panel Size	7/16"	1/2"	5/8"	11/16"	3/4"	1"	1-1/4"
4' x 8' (49" x 97")							
4' x 16' (49" x 194")							
2' x 16' (25" x 194")							

MIRATEC[®]
 by JELD-WEN

EXTIRA[®]
 by JELD-WEN

MIRATEC SMOOTH SELECT



MiraTEC Smooth Select builds on the solid TEC™ process to deliver a ultra-smooth exterior trim. The nearly-square corners add a contemporary feel that looks like PVC, but at more affordable price point. MiraTEC Smooth Select is ready to take on any color your project needs; even popular dark colors that show cracking due to expansion and contraction when applied to PVC.

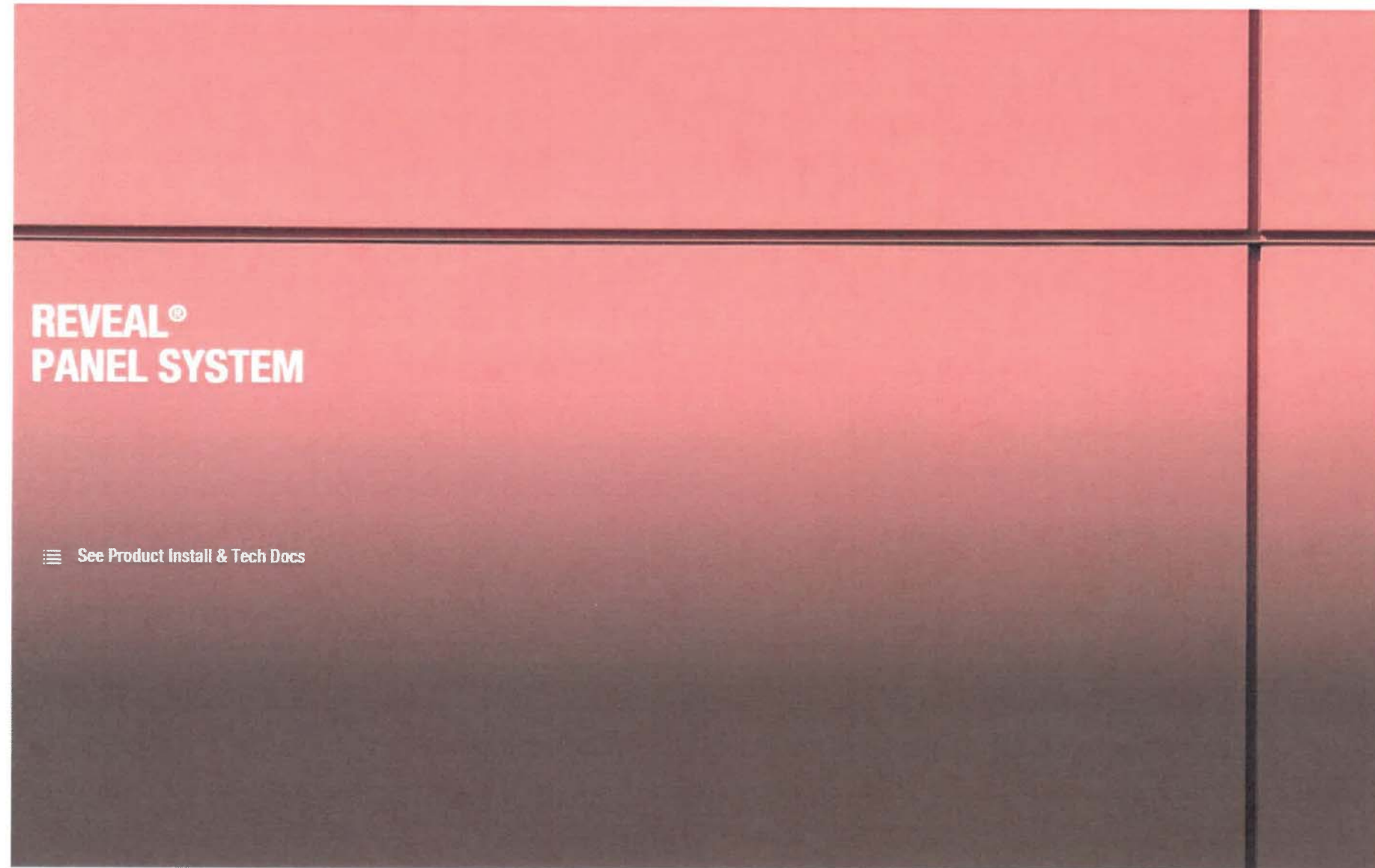
Made from the patented TEC™ process, MiraTEC Treated Exterior Composite trim combines the eye-catching beauty of authentic woodgrain with the long-lasting performance of an engineered product. Because it is not hardboard, MiraTEC trim will not delaminate, is moisture, rot and termite resistant, and is backed by a 50-year limited warranty.

MiraTEC Treated Exterior Composite Trim is the first and only wood composite trim to earn an evaluation report from ICC Evaluation Service (ICC-ES). To view ESR-3043, visit the ICC website at: http://www.icc-es.org/reports/pdf_files/ICC-ES/ESR-3043.pdf

Competitive and long term performance testing shows MiraTEC resists moisture, rot and termites and outperforms the competition in several key areas:

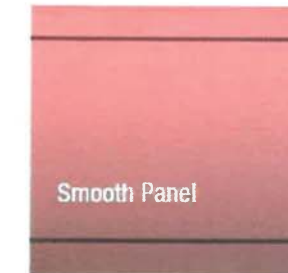
- **Moisture resistant:** As measured by ASTM D1037 for water absorption and thickness swelling.
- **Rot resistant:** Tested per AWPA E16 Field Test for Evaluation of Wood Preservatives to be Used Out of Group Contact: Horizontal Lap-Joint Method.
- **Termite resistant:** As measured by AWPA E7 Standard Method of Evaluating Wood Preservatives by Field Tests with Stakes.





Hardie Reveal Panel system is currently available in Washington, Oregon, California, Kansas City, Denver, Omaha, Texas, Minneapolis, St. Louis, Chicago, Tennessee, Indianapolis, Gulf, Ohio, Georgia, Florida, South Carolina, North Carolina, Virginia, the DC/Baltimore area, Philadelphia, British Columbia, New Jersey, New York, and New England.

Available Textures

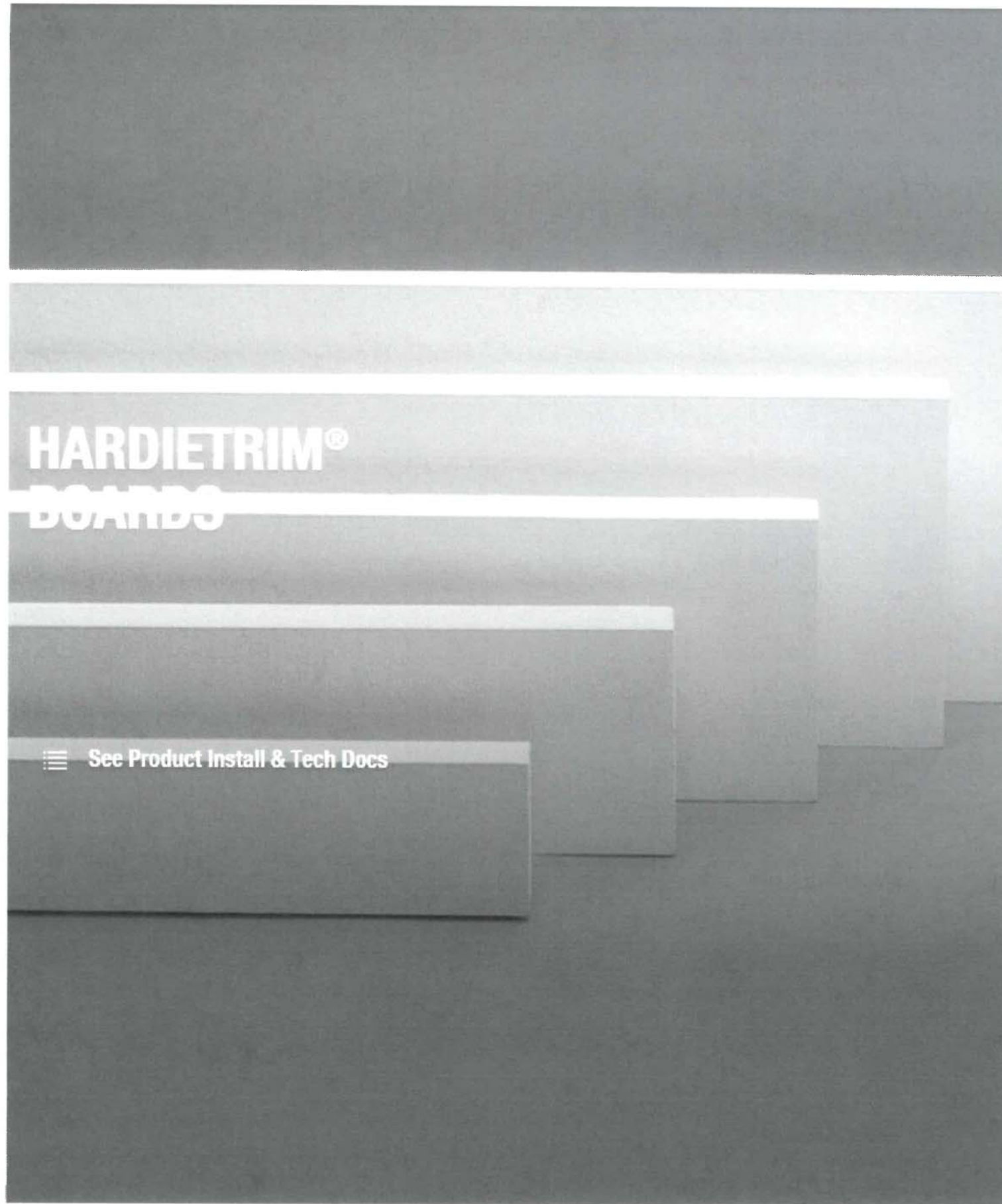


**REVEAL® PANEL SYSTEM
Smooth Panel**

Smooth Panel

Thickness	0.438"
Weight	3.1 lbs. per square foot
Length	95.5"
Width	47.5"





HARDIETRIM® BOARDS
4/4 Smooth









You can't go wrong with this simple, clean look. With our ColorPlus® Technology finish, your vibrant color will last for years.

Thickness 0.75"
Weight 4.96 lbs. per square foot
Length 144"

Width	1.65"	3.5"	5.5"
Pcs./Pallet	405 Primed	322 ColorPlus 322 Primed	184 ColorPlus 184 Primed
Width	5.5"	7.25"	9.25"
Pcs./Pallet	208 Primed	138 ColorPlus 138 Primed	115 ColorPlus 115 Primed
Width	11.25"		
Pcs./Pallet	92 ColorPlus 92 Primed		

Color Options

HardieTrim® Boards 4/4 Smooth are available in your area in 8 ColorPlus® Technology finishes or primed for paint.

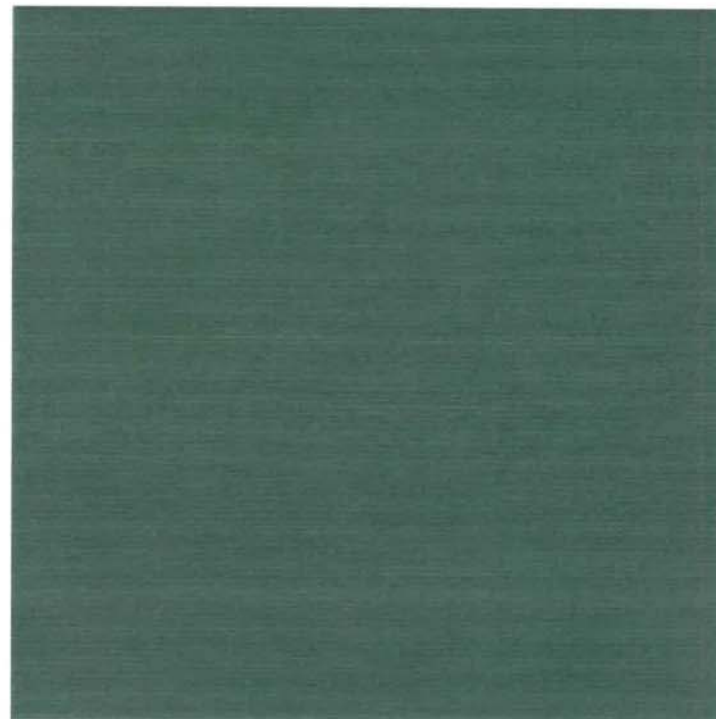
-  Woodstock Brown
-  Sail Cloth
-  Timber Bark
-  Monterey Taupe
-  Cobble Stone
-  Khaki Brown
-  Navajo Beige
-  Arctic White



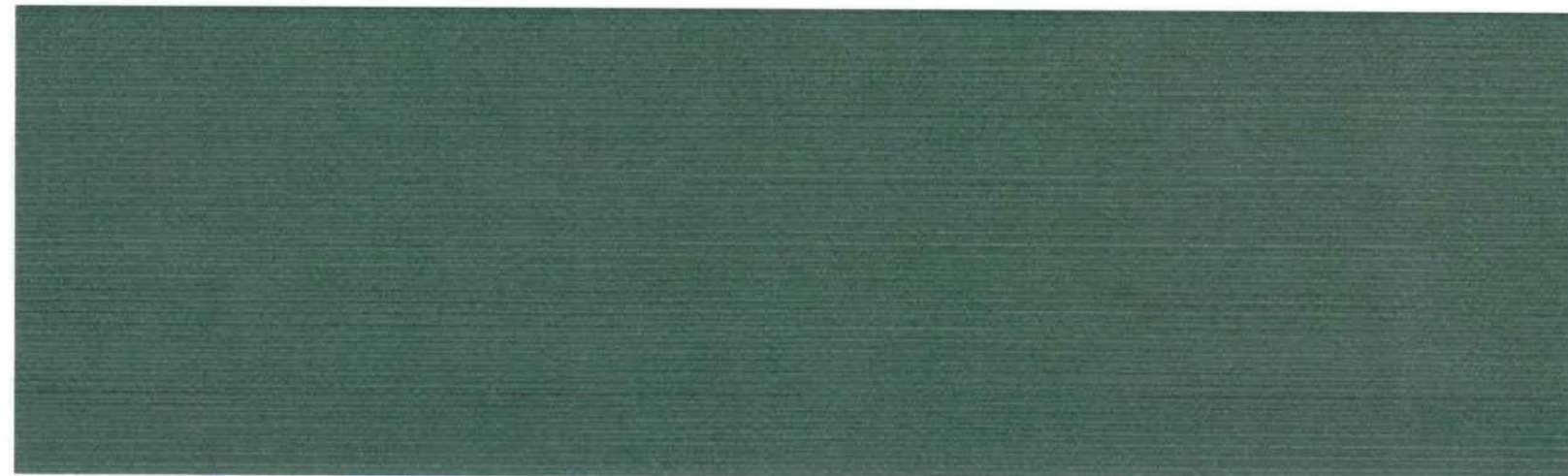


Bro

[← back](#)



FOREST GREEN



[Share](#) [Add to Favorites +](#)

6037-0000

100% Sunbrella Acrylic

60" / 152 cm width

Selvedge is Left / Right

COLLECTIONS

2017-2018 Sunbrella Shade Collection

CERTIFICATIONS





LUMINAIRE SPECIFICATION

Head Office: Tel: 503-645-0500
 7144 NW Progress Ct Fax: 503-645-8100
 Hillsboro, Oregon 97124
 www.ligmanlightingusa.com

IP65 : Suitable for Wet Locations
 IK08 : Impact Resistant (Vandal Resistant)

UAR-21001
Arizona light column

A decorative light column with symmetrical light distribution. The sleek and minimalist shape provides distinctive lighting effects by night and a decorative urban effect during the day. Suitable for pedestrian precincts, building surrounds, shopping centers, squares and parks. The LED luminaires have features such as long life, limited maintenance and constant lifetime performance. Dark sky compliant.

Extruded aluminium column. Low Copper content Die-cast aluminium housing with high corrosion resistance. Stainless steel screws. Durable High temperature silicone rubber gasket. Clear vandal resistant UV Stabilized acrylic (PMMA) diffuser. UV Stabilized Polyester Powder coating with high corrosion resistance and chemical chromatised protection. Integral control gear. Anodized high purity aluminium reflector. Easy Lamp access for maintenance.

Physical Data

Length: 6.3"
 Height: 10' 5"
 Weight: 50.4 lb

Lamp

HIT-CPO 60w
 (For More Lamp options including LED, please Consult the Catalogue, Website or Contact The Ligman Lighting Factory)

Voltage (Please Specify)

120V
 277V
 Other _____

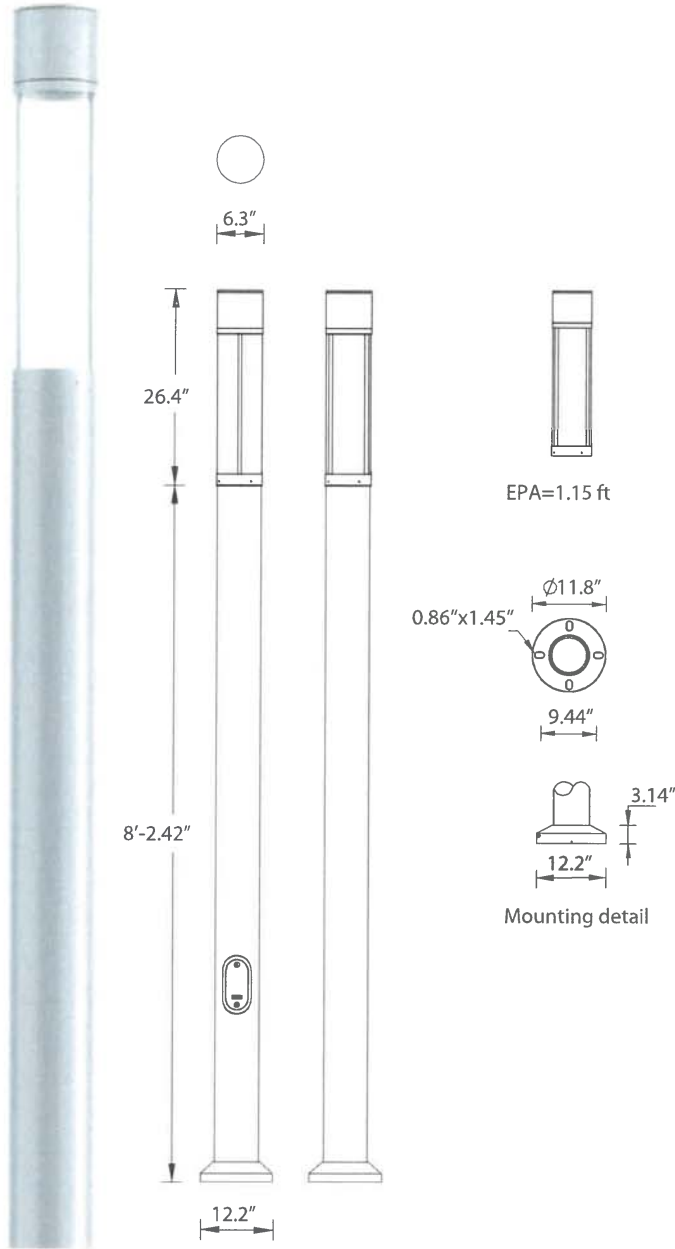
Options (Please Specify)

Color (Please Specify)

- 01-Black - RAL 9011
- 02- Dark Grey - RAL 7043
- 03-White - RAL 9003
- 04 - Metallic Silver - RAL 9006
- 05-Matt Silver - RAL 9006
- 06-Bronze - RAL 6014
- 07- Custom - RAL _____



- HSS - House Side Shield
- HGT - Specify Custom Height _____ ft
- GFCI - GFCI Receptacle - Specify Position _____



Ordering Example : UAR - 21001 - HIT-CPO - 60w - 120v - Options



PROJECT: _____ DATE: _____

TYPE: _____ QUANTITY: _____ NOTE: _____

Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.



EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

7144 NE Progress Ct | T:503.645.0500
 Hillsboro, Oregon 97124 | F:503.645.8100
 www.ligmanlightingusa.com

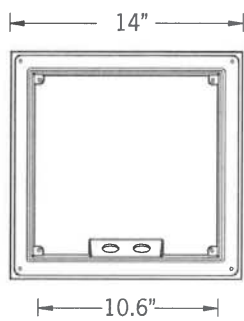
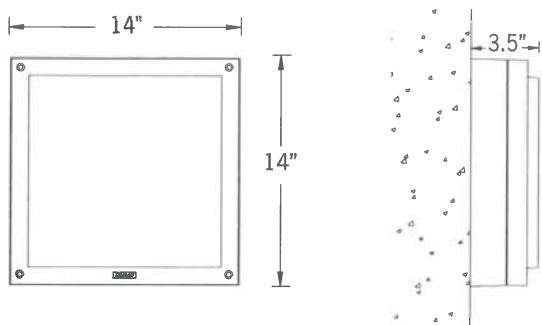


UPA-31942

Paletta 3 Large Surface



Length 14" | Height 14" | Weight 10.6 lbs
 IP65 • Suitable For Wet Locations
 IK08 • Impact Resistant (Vandal Resistant)



Mounting Detail

Paletta Product Family



UPA-31572



UPA-31951

Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B0 - U3 - G1

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

High Impact UV Stabilized Polycarbonate Lens

Manufactured with Ultra High Impact, UV Stabilized Injection Molded Polycarbonate.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

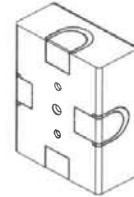
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Contemporary surface-mounted bulkhead fixtures. Pure and clean designed, very tough square and rectangular exterior bulkhead family.

A range of vandal resistant square wall and ceiling mounted sconces with opal vandal resistant UV stabilized polycarbonate diffuser. Ideal for numerous indoor or outdoor applications. The paletta range of sconces are ADA compliant.

All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Entry Box



Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

UPA-31942

Paletta 3 Large Surface

7144 NE Progress Ct | T:503.645.0500
 Hillsboro, Oregon 97124 | F:503.645.8100
 www.ligmanlightingusa.com



PROJECT				DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UPA - 31942 - 24w - W30 - 02 - 120/277v - Options

LAMP	LED COLOR	FINISH COLOR	VOLTAGE
24w LED 1218 Lumens	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS		

- NAT - Natatorium Rated
- DIM - 0-10v Dimming
- SCE - Surface Conduit Entry Box

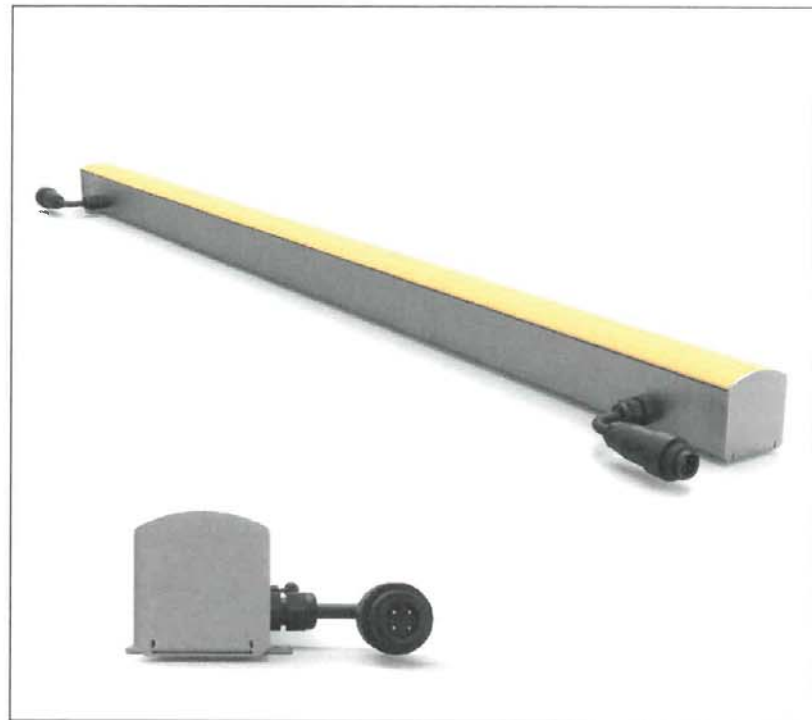
Ligman Lighting USA reserves the right to change specifications without prior notice, please contact factory for latest information. Due to the continual improvements in LED technology data and components may change without notice.

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL



24V | Continulum™ Outdoor

CAT:	FEET:
TYPE:	PROJECT:



Continulum™ Outdoor LED rigid cove fixture represents the latest in high-quality linear LED cove lighting from Tivoli Lighting. This simple yet elegant, low-profile luminaire delivers up to 343 lumens per foot of white light, or in RGB at an affordable price. Continulum™ outdoor LED rigid cove fixture is designed to replace traditional cove lighting sources for wall and ceiling glow effects, wall washing, and indirect lighting from a single cove. Multiple color temperatures, power levels, RGB, and lengths afford an abundance of design options.

Features

- Surface-mounted linkable linear strip fixture
- Tivoli flexible LED PCB engine inside
- Heavy-gauge extruded aluminum
- Lumens ranging from 172 to 343
- Available in manufactured continuous lengths up to 8'
- Off-Set electrical connection system allows for seamless connection
- Pivot "easy mount" mounting brackets included
- 90+ CRI available
- UL Wet Listed

Mounting

This unit features factory attached swivel mounting brackets. Attach multiple fixtures with water-tight interconnection system.

Applications

- Ideal for direct or indirect cove and architectural applications.
- Replace fluorescent lighting with high efficiency LEDs or as a new construction element.
- Use for indoor or outdoor applications.

Warranty

5 years

Technical Information



Model	White		RGB	
	Standard	Ultra Bright	Standard	Ultra Bright
*Lumens/ft	172	343	N/A	N/A
*Watts/ft	4.81	9.62	4.1	8.2
*Lumen/Watt	36		N/A	N/A
CRI	>80/TYP 86		N/A	N/A
Kelvin Temp	2400K (± 50K), 2700K (± 50K), 3000K (±75K), 3500K (±75K), 4000K (±75K)			
Rated Life	50,000 hrs.			
Max run length	20'	10'	23'	12'
Ordering Increment	1', 2', 4', 6', 8', 12'			
Operating Voltage	24V DC			
Power Supply	Class 2			
Dimming	Yes			

*4000K Sample

Profile Dimensions

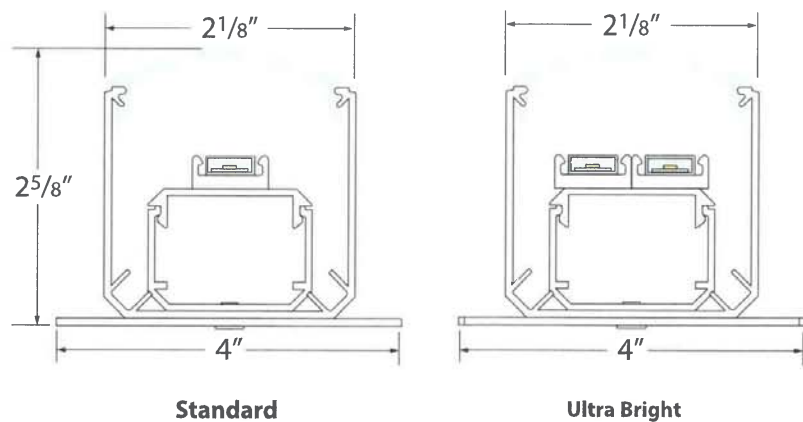


EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

24V | Continulum™ Outdoor



Recommended Power Supplies

CAT NO	APPLICATION	PRIMARY AND SECONDARY	TOTAL WATTAGE / AMPS PER BREAKER	LISTING	DIMENSIONS	ELECTRONIC OR AC MAGNETIC
ADNM-120-1-4-24-D	Outdoor	120-277V AC / 24V DC	96W / 1X4A	cULus	12"W X 12"L X 4.25"D	Electronic
ADNM-240-2-4-24-D		120-277V AC / 24V DC	192W / 2X4A	cULus	12"W X 12"L X 4.25"D	Electronic
ADNM-320-3-4-24-D		120-277V AC / 24V DC	288W / 3X4A	cULus	12"W X 12"L X 4.25"D	Electronic
JT-100-1-4-24-D		120V AC / 24V DC	96W / 1X4A	cETLus	4.25"W X 11.00"L X 4.00"D	Magnetic
JTH-100-1-4-24-D		277V AC / 24V DC	96W / 1X4A	cETLus	4.25"W X 11.00"L X 4.00"D	Magnetic
JT-300-3-4-24-D		120V AC / 24V DC	288W / 3X4A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic
JTH-300-3-4-24-D		277V AC / 24V DC	288W / 3X4A	cETLus	8.50"W X 16.00"L X 4.50"D	Magnetic
MT-100-1-4-24-DD		120-240, 277V AC	96W / 1X4A	UL recognized	2.50"W X 12.32"L X 1.56"D	Electronic

DESCRIPTION	CAT NO	INPUT VOLTAGE	CONTINUOUS MAX VOLTAGE AC	CONTINUOUS MAX VOLTAGE DC	MAX CLAMPING VOLTAGE 8/20 μs @ 20KA	DIMENSION
Universal Surge Protector	JT-120-SURGE	120V - 277V AC	320V AC	420V DC	1600	3" L X 1.625" D

Dimming Interface - White Only

DESCRIPTION	CAT NO	APPLICATION	PRIMARY VOLTAGE	SECONDARY VOLTAGE	MAX LOAD	CIRCUIT CAPACITY	DIMENSION
0-10V Dimming Module	AMP-OT-5-D	Indoor	10V DC~48V DC	10V DC~48V DC	96W @ 24V DC 60W @ 12V DC	5A	5.9"L X 1.61"W X 0.78"H

Recommended RGB Sub-controller

DESCRIPTION	CAT NO	MODES	WATTAGE	PRIMARY VOLTAGE	DIMENSION
DMX Sub-controller	COR-RGB-180-24	Sub-controller only	5X96W	24V DC	2.87"W X 6.46"L X 1.45"H

Controls



TIVOCUE 10

CAT NO	Color	Zones	Scenes	DMX Channels	DIMENSIONS
TVOQ - 10 -BK - 7	Black	10	500	1024	5 1/8"W X 6 5/8"L X 7/16"D
TVOQ - 10 -WH - 7	White	10	500	1024	5 1/8"W X 6 5/8"L X 7/16"D



PC Software
CUE, CUE PRO



MAC Software
CUE



Android App
Arcolis (wifi)
Easy Remote (wifi)
Lightpad (wifi)



iOS App
Easy Remote (wifi)
Lightpad (wifi)

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

24V | Continulum™ Outdoor



Ordering Information

PRODUCT CODE	LED COLOR	LED TYPE	LENS TYPE	LENGTH	END PREP	VOLTAGE	REQUIRED POWER SUPPLY
COR COR = Continulum™ Outdoor	RGB = RGB 24 = 2400K 27 = 2700K 30 = 3000K 35 = 3500K 40 = 4000K	S = Standard U = Ultra Bright	F = Frosted	01 = 1' 02 = 2' 03 = 3' 04 = 4' 06 = 6' 08 = 8' 12 = 12'	MD = Male/Dead End MF = Male/Female * Static Lead Wire also required (See below).	24 24 = 24V DC	PSU See above

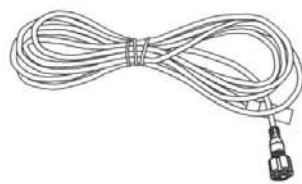
Wiring Accessories

***Lead Preparation** - Factory attached end preps required. End preps must be indicated at time of ordering.

Static Color Wiring Accessories



***LEAD WIRE (Required)**
COR-LEAD-O-2-01
 2 conductor static 1' lead wire. Features 24AWG wire on input end and 2 pin static connection on other end.
COR-LEAD-O-2-16
 2 conductor static 16' lead wire. Features 24AWG wire on input end and 2 pin static connection on other end.

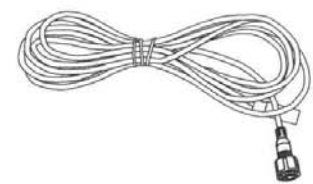


MALE/FEMALE JUMPERS
COR-CONN-O-2-1
 Connector, Static, Jumper 1' Male/Female
COR-CONN-O-2-16
 Connector, Static, Jumper 16' Male/Female

RGB Wiring Accessories



***LEAD WIRE (Required)**
COR-LEAD-O-4-01
 2 conductor RGB 1' lead wire. Features 24 gauge wire on input end and 2 pin static connection on other end.
COR-LEAD-O-4-16
 2 conductor RGB 16' lead wire. Features 24 gauge wire on input end and 2 pin static connection on other end.



MALE/FEMALE JUMPERS
COR-CONN-O-4-1
 Connector, RGB, Jumper 1' Male/Female
COR-CONN-O-4-16
 Connector, RGB, Jumper 16' Male/Female

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

Shaper

DESCRIPTION

673 Luminous wall source features 6 standard finishes, 2 decorative trim bar options and is ADA compliant.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Material

Painted or plated solid aluminum with a 1/8" matte white extruded acrylic panel, open top and bottom end caps, with acrylic inserts.

Finishes

- ALP (Aluminum Paint)
- MW (Matte White)
- MB (Matte Black)
- GRM (Graphite Metallic)
- DP (Dark Platinum)
- BM (Bronze Metallic)
- CC (Custom Color – Specify)

For Custom Color contact factory for quotation.

LED

- 16": L3:2000 nominal lumens at max 20W
- 25": L3:2000 nominal lumens at max 20W
- 37": L4:3000 nominal lumens at max 29W

Driver

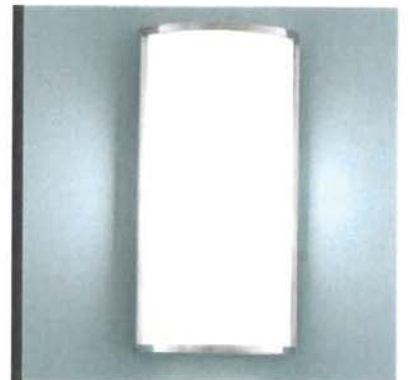
LED system coupled with electronic driver to deliver optimal performance. Electronic drivers are available for 120-277V applications. A 0-10V dimming control is available (Standard) on all models.

Options

- 2VTB (Two Vertical Trim Bars)
- 2HTB (Two Horizontal Trim Bars)
- RBP (Remote Battery Pack 5' Max Distance)

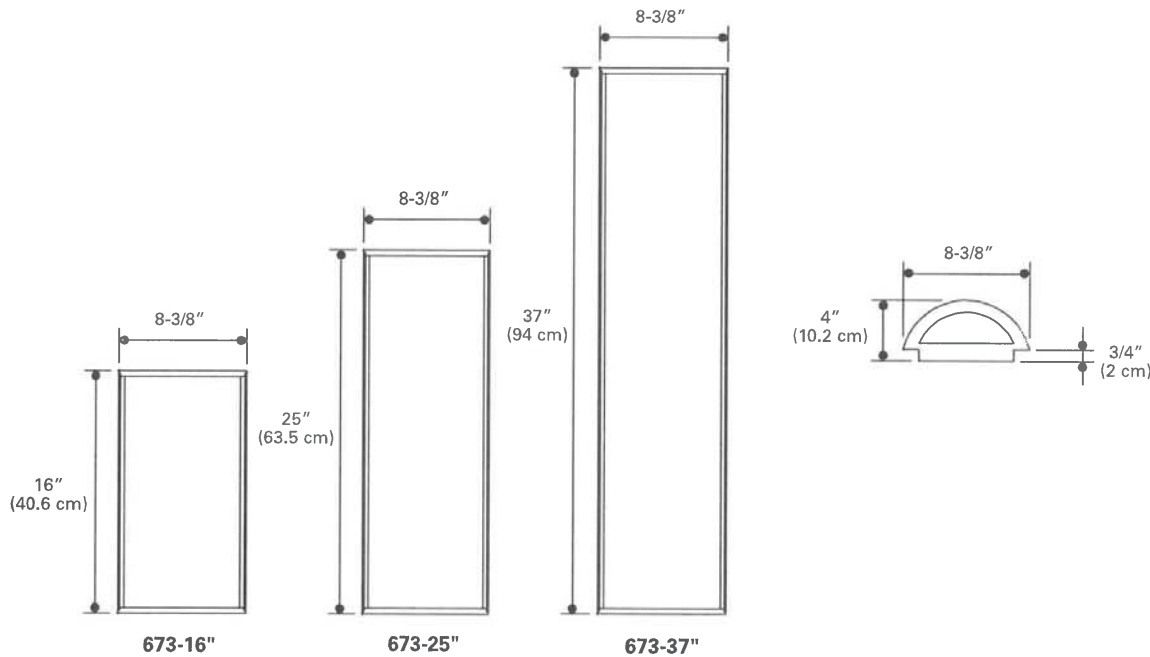
Compliance

U.L. and C.U.L approved for indoor and damp location. See options for damp location finishing requirements. Shaper's DL option is for interior applications (only) that have more than average moisture (i.e. bathroom, laundry room, etc.) but are not UL listed for pool, sauna, shower, whirlpool and any exterior applications (i.e. covered garage or building entrance) with exposure to weather elements such as rain, wind, etc. ADA compliant.



673 SERIES

- Height: 16"**
- Lumen Output Source Lumens: L3:2000
 - Wattage: 20W
 - Color Rendering: CRI 83+
 - Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
 - Rated Life of Lamp (hrs): 50,000
 - Dimming: 0-10V
 - Warranty: Warranty: 5 year limited warranty on LED components
- Height: 25"**
- Lumen Output Source Lumens: L3:2000
 - Wattage: 20W
 - Color Rendering: CRI 83+
 - Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
 - Rated Life of Lamp (hrs): 50,000
 - Dimming: 0-10V
 - Warranty: Warranty: 5 year limited warranty on LED components
- Height: 37"**
- Lumen Output Source Lumens: L4:3000
 - Wattage: 29W
 - Color Rendering: CRI 83+
 - Correlated Color Temperature: 4000K, 3500K, 3000K, 2700K
 - Rated Life of Lamp (hrs): 50,000
 - Dimming: 0-10V
 - Warranty: Warranty: 5 year limited warranty on LED components



ORDERING INFORMATION

Sample Number: 673-16-W-L3/827-UNV-ALP-RBP

Series	Size	Mounting Type	Lamp		Voltage	Finish	Options
			16"	37"			
673 = Luminous Half Cylinder	16=16"	W=Interior Wall	L3/827	L4/827	UNV (120-277V)	ALP=Aluminum Paint MW=Matte White MB=Matte Black DP= Dark Platinum GRM=Graphite Metallic BM=Bronze Metallic CC=Custom Color - Contact factory for quotation	2VTB=Two Vertical Trim Bars 2HTB=Two Horizontal Trim Bars RBP=Remote Battery Pack (Max 5' Mounting Distance)
	25=25" 37=37"		L3/830 L3/835 L3/840 25" L3/827 L3/830 L3/835 L3/840	L4/830 L4/835 L4/840			



Eaton
 18001 E. Colfax Avenue
 Aurora, CO 80011
 P: 303-393-5122
 www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

673 SERIES INTERIOR WALL LUMINAIRE

PS525084EN
 12/20/16 Pg 1 of 2

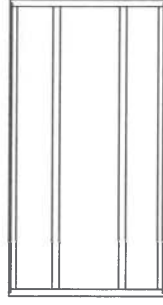
NORTHRIDGE PLAZA SPECIFICATIONS

EXHIBIT 'A'
NORTHRIDGE PLAZA - ELEVATIONS
HILTON HEAD, SC - DRB SUBMITTAL

OPTIONS



**TWO HORIZONTAL
TRIM BARS (2HTB)**

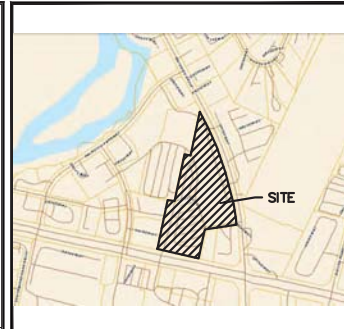


**TWO VERTICAL
TRIM BARS (2VTB)**



PAVING HATCH LEGEND

PROPOSED ASPHALT (MILL & OVERLAY)	
REMOVE TIMBER CURB AND REPLACE WITH CONCRETE CURB	
RESURFACE EXISTING CONCRETE SIDEWALK	
CUT & PATCH ASPHALT INSTALL ELECTRICAL SLEEVES	
EXISTING LIGHT TO BE DEMOLISHED	
NEW LIGHT	

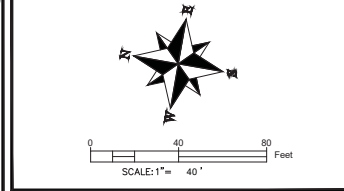


VICINITY MAP
Not To Scale

SITE PLAN
NORTHRIDGE PLAZA IMPROVEMENTS
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA
 PREPARED FOR:
GATOR NORTHRIDGE PARTNERS, LLLP

- RESURFACING NOTES:**
- AREAS OF SIGNIFICANT CRACKING OR ROOT DAMAGE SHALL BE FULL-DEPTH CUT & PATCHED PRIOR TO MILL AND OVERLAY OF ASPHALT PAVING.
 - AFTER ASPHALT RESURFACING, ALL PAVEMENT MARKINGS SHALL BE RESTORED TO CURRENT CONDITION, WITH EXCEPTION OF MARKINGS THAT DO NOT CURRENTLY MEET ADA STANDARDS.
 - STANDARD PARKING STALL STRIPES SHALL BE 4" WHITE PAINT, 24" STOP BARS & DIRECTIONAL ARROWS SHALL THERMOPLASTIC.
 - HANDICAP-ACCESSIBLE PARKING SPACES, LOADING ZONES AND CROSSWALKS SHALL BE STRIPED, SIGNED, AND SLOPED IN ACCORDANCE WITH ADA STANDARDS.
 - SURFACE ELEVATIONS AND DRAINAGE SCHEME SHOULD BE RESTORED TO EXISTING CONDITIONS AFTER ASPHALT RESURFACING. MAINTAIN POSITIVE DRAINAGE TO EXISTING INLETS, FLUMES, AND/OR RECEIVING LANDSCAPE ISLANDS.

DOCUMENT IS CONCEPTUAL AND SUBJECT TO CHANGE.
 WARD EDWARDS INC. ASSUMES NO LIABILITY FOR ACCURACY OR DECISIONS MADE BY THE USER BASED UPON INFORMATION CONTAINED HEREIN.

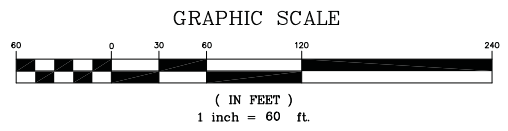


Ward Edwards
ENGINEERING
 P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
 PH (843) 837-5250 / FAX (843) 837-2558
 WWW.WARDEDWARDS.COM

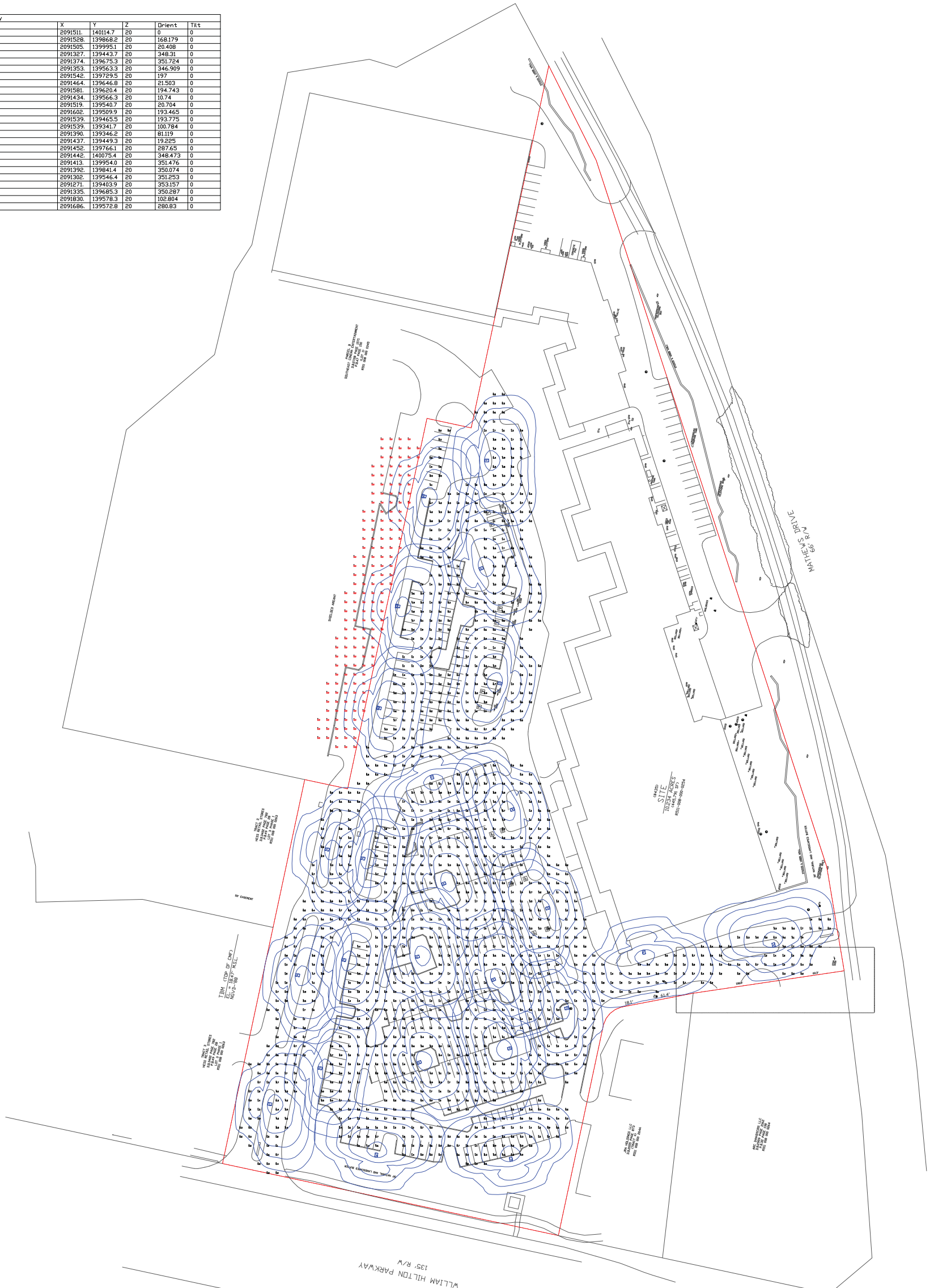
PROJECT #:	I90235
DATE:	05/13/19
PREPARED BY:	HED
SHEET NUMBER:	1 OF 2

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
[Symbol]	25	Large Autobahn	SINGLE	N.A.	0.720	32800 LED on 25' pole, 20' mounting height

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts	Illuminance	Fc	1.42	6.8	0.2	7.10
Shielded Area	Illuminance	Fc	0.00	0.0	0.0	N.A.



Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	Large Autobahn	2091511	140114.7	20	0	0
2	Large Autobahn	2091528	139868.2	20	168.179	0
3	Large Autobahn	2091505	139995.1	20	20.408	0
4	Large Autobahn	2091327	139443.7	20	348.31	0
5	Large Autobahn	2091374	139675.3	20	351.724	0
6	Large Autobahn	2091353	139563.3	20	346.909	0
7	Large Autobahn	2091542	139729.5	20	197	0
8	Large Autobahn	2091464	139646.8	20	21.903	0
9	Large Autobahn	2091581	139620.4	20	194.743	0
10	Large Autobahn	2091434	139566.3	20	10.74	0
11	Large Autobahn	2091519	139540.7	20	20.704	0
12	Large Autobahn	2091602	139509.9	20	193.465	0
13	Large Autobahn	2091539	139465.5	20	193.775	0
14	Large Autobahn	2091539	139341.7	20	100.784	0
15	Large Autobahn	2091390	139346.2	20	81.119	0
16	Large Autobahn	2091437	139449.3	20	19.225	0
17	Large Autobahn	2091452	139766.1	20	287.65	0
18	Large Autobahn	2091442	140075.4	20	348.473	0
19	Large Autobahn	2091413	139954.0	20	351.476	0
20	Large Autobahn	2091392	139841.4	20	350.074	0
21	Large Autobahn	2091302	139546.4	20	351.253	0
22	Large Autobahn	2091271	139463.9	20	353.157	0
23	Large Autobahn	2091335	139685.3	20	350.287	0
24	Large Autobahn	2091830	139518.3	20	102.804	0
25	Large Autobahn	2091686	139572.8	20	280.83	0



- NOTES**
1. PECEI ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 3. ANY OBSTRUCTIONS OR THE INTRODUCTION OF WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
 4. THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HELTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

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LIGHTING PROPOSAL FOR
NORTHRIE
MATTHEWS DRIVE & WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

DISIGNED BY: T.J.H.
CHECKED BY: ENG
DRAWN BY: RBT
DATE: 5/7/19
SCALE: 1" = 60'
PROJECT NO.: 1905002L
MAP NO.: 00000000
SHEET NO. 1 OF 1

REMARKS:



PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532

TURF AND GRASSING NOTES:

- GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
- SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
- ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
- AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
- SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
- THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
- UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
- LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND RE-PLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
- MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
- FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
- SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

LIGHTING NOTES:

- THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
- THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
- THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
- ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
- CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
- ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
- SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
- IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
- LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
- CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
- MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
- ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
- NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
- LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
- LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
- CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
- ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
- ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
- CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.1.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 28 CATEGORY I TREES AND 12 CATEGORY II TREES. THE CATEGORY I AND II REPLACEMENT TREES MUST BE 10' HT. AND 2" CALIPER AT TIME OF PLANTING. DISCUSSION WITH TOWN STAFF WILL BE NECESSARY FOR WAIVER AND ACCEPTANCE OF PROPOSED OVERSTORY TREES (MAGG & QUEH) AND PALMS (SABP).

PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L520
14.2	PALM TREE PLANTING	2/L520
14.3	SHRUB PLANTING	3/L520
14.4	GROUND COVER PLANTING	4/L520

LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1	▽	12	UP LIGHT	1/L600
10.2	○	8	FLOOD LIGHT	2/L600
10.3	●	25	AUTOBAHN POST LIGHTS *	N/A

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.
* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

SHEET INDEX

- L500 - KEY SHEET AND NOTES
- L501 - PLANTING PLAN
- L502 - PLANTING PLAN
- L503 - PLANTING PLAN
- L510 - ELEVATION DRAWINGS
- L520 - PLANT SCHEDULE AND DETAILS
- L600 - SITE DETAILS



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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS FOR
NORTHRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 08, 2019
 PROJECT NO.: 19083.01
 DRAWN BY: JM
 CHECKED BY: BW/JC

**PRELIMINARY
 SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
KEY SHEET AND NOTES

DRAWING NUMBER
L500

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		FLOOD LIGHT
10.3		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO REMAIN (FAIR CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



SITE DEVELOPMENT PLANS
FOR
NORTHRIDGE
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE:	JULY 08, 2019
PROJECT NO.:	19083.01
DRAWN BY:	JM
CHECKED BY:	BW/JC

PRELIMINARY SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L501

JRA HOLDINGS LLC
D.B. 2058 PAGE 873
(TRACT 4)

LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		FLOOD LIGHT
10.3		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO REMAIN (FAIR CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



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SITE DEVELOPMENT PLANS FOR

NORTHRIDGE

HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 08, 2019
PROJECT NO.: 19083.01
DRAWN BY: JM
CHECKED BY: BW/JC

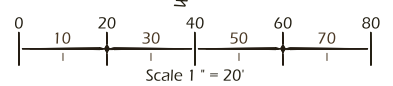
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REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER

L502



LIGHTING SCHEDULE		
CALL-OUT	SYMB.	DESCRIPTION
10.1		UP LIGHT
10.2		FLOOD LIGHT
10.3		AUTOBAHN POST LIGHTS *

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

* REFER TO WARD EDWARDS ENGINEERING PLANS FOR SPECIFICATIONS AND FINAL LIGHT LOCATIONS.

TREE INVENTORY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING TREE TO REMAIN (GOOD CONDITION)
	EXISTING TREE TO REMAIN (FAIR CONDITION)
	EXISTING TREE TO BE REMOVED (POOR CONDITION)

NOTE: TREE CONDITION PER ARBORIST REPORT.



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land planning
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 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
NORTHRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JULY 08, 2019
 PROJECT NO.: 19083.01
 DRAWN BY: JM
 CHECKED BY: BW/JC

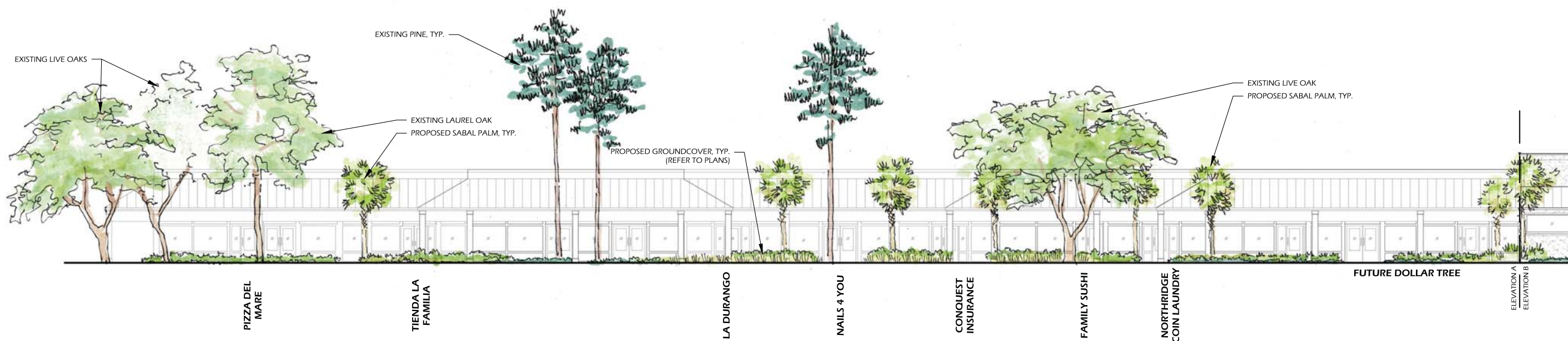
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 NOT FOR
 CONSTRUCTION**

REVISIONS:

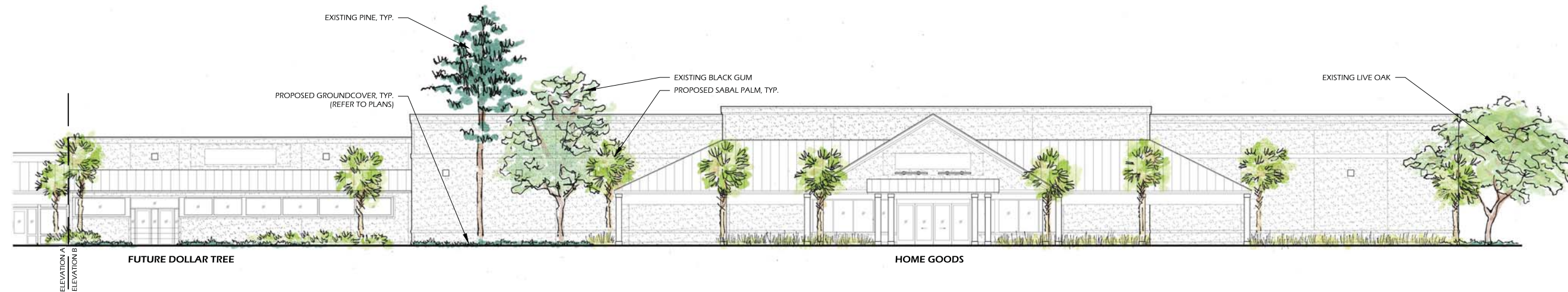
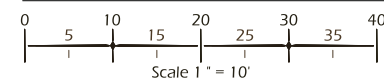
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PLANTING PLAN

DRAWING NUMBER
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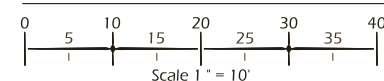
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 THIS SHEET TO SCALE AT: 24"X36"



ELEVATION A



ELEVATION B



SITE DEVELOPMENT PLANS
 FOR
NORTHRIDGE
 HILTON HEAD ISLAND, SOUTH CAROLINA

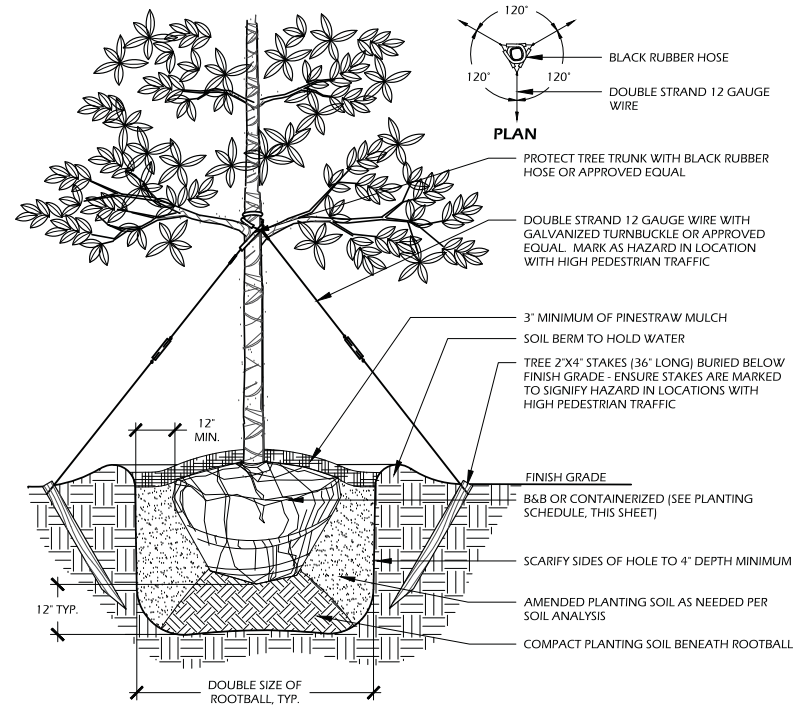
DATE: JULY 08, 2019
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 CONSTRUCTION**

REVISIONS:

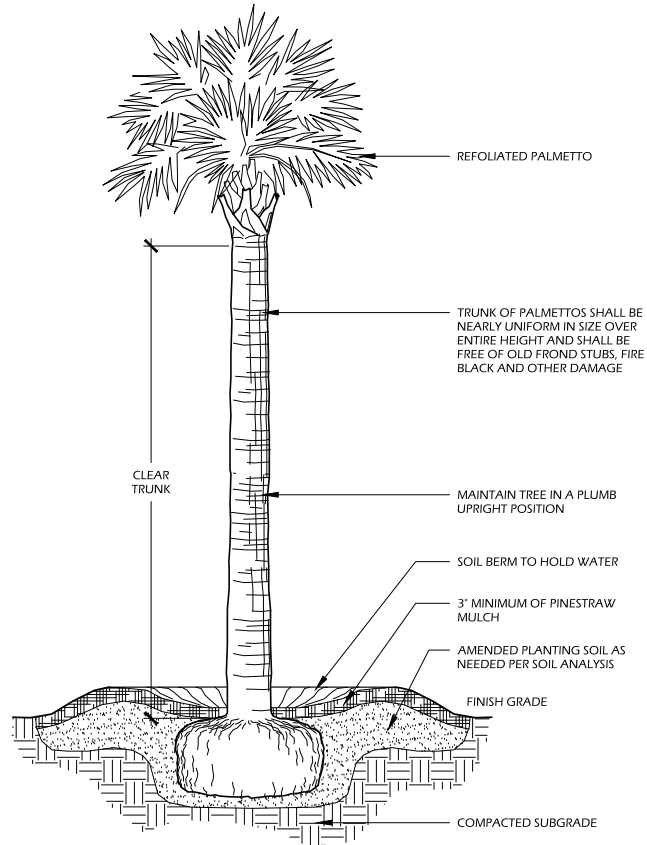
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**ELEVATION
 DRAWINGS**

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L510



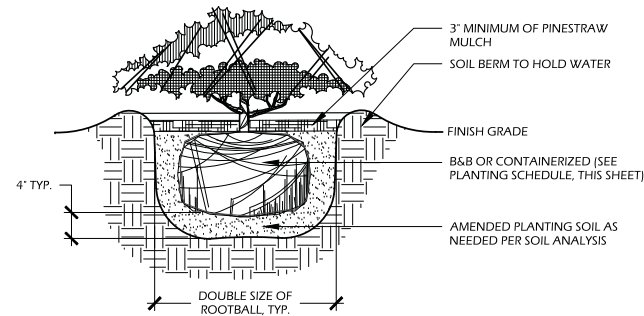
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



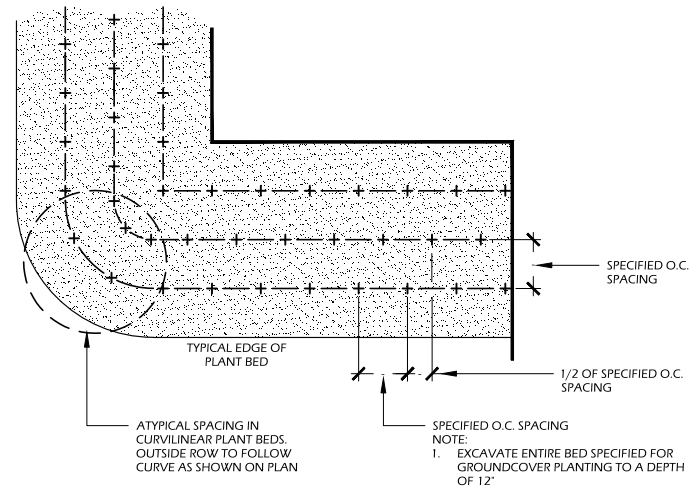
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
3	MAGG	Magnolia grandiflora	Southern Magnolia	12'-14'	6'-7'	Cont.	5'	Full to ground
5	QUEH	Quercus virginiana 'QVITA' PP 11219 Highrise	High Rise Live Oak	14'-16'	6'-8'	Cont.	5'	Full
44	SABP	Sabal palmetto	Cabbage Palm	14'-16'	6'-8'	Cont.	-	Smooth trunk, Refoliated. See plan for heights
UNDERSTORY TREES								
12	ILEC	Illex cassine	Dahoon Holly	8'-10'	5'-6'	-	2.5'	Full
1	LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
SHRUBS								
172	ABEG	Abelia grandiflora 'Kaleidoscope'	Kaleidoscope Abelia	24'-30'	24'-30'	3 gal.	-	Full
30	AZAG	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	24'-30'	24'-30'	7 gal.	-	Full
120	LORP	Loropetalum chinense 'Peack'	Purple Pixie Dwarf Weeping Loropetalum	8'-12'	18'-24'	3 gal.	-	Full
39	SERR	Serenoa repens	Saw Palmetto	18'-24'	18'-24'	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
920	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12'	8'-12'	1 gal.	24" O.C.	Full
150	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
1,225	MUHW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	14'-16'	10'-16'	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
380	AGAA	Agapanthus africanus	Lily of the Nile	12'-18"	8'-12"	1 gal.	24" O.C.	Blue Flowers, Full
75	LANC	Lantana selloviana 'Monma'	White Lightnin' Trailing Lantana	8'-12"	8'-12"	1 gal.	24" O.C.	White Flowers, Full
1,494	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	24" O.C.	Full
SOD & MULCH								
16,100	SOD-SF		Empire Zoysia Sod	-	-	-	-	-
60,400	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

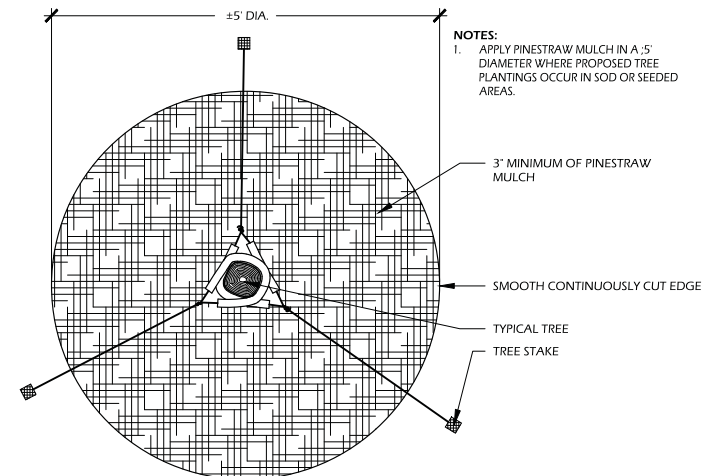
NOTE: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104.I.3, MITIGATION IS REQUIRED FOR THE POOR RATED CONDITION TREES TO BE REMOVED AS INDICATED ON THESE PLANS. PER LMO CALCULATIONS, IT IS REQUIRED TO PLANT BACK 28 CATEGORY I TREES AND 12 CATEGORY II TREES. THE CATEGORY I AND II REPLACEMENT TREES MUST BE 10' HT. AND 2" CALIPER AT TIME OF PLANTING. DISCUSSION WITH TOWN STAFF WILL BE NECESSARY FOR WAIVER AND ACCEPTANCE OF PROPOSED OVERSTORY TREES (MAGG & QUEH) AND PALMS (SABP).

POOR CONDITION TREE TALLY	
CATEGORY I	CATEGORY II
LAO (14), LAO (21), LAO (19), LAO (12), LAO (13), LAO (11), LAO (11), LAO (10), LAO (12), LAO (7), LAO (11), LO (7), LAO (12), LAO (14), LAO (11), LAO (13), LAO (12, 11), LAO (15), LAO (16), LO (24)	WO (11), WO (10), WO (9), WO (7), WO (13), WO (19), WO (14), WO (10), WO (14, 14)
LAO - LAUREL OAK LO - LIVE OAK WO - WATER OAK	

TREE MITIGATION CALCULATIONS	
CATEGORY I	CATEGORY II
# OF TREES TO BE REMOVED: 20 TOTAL # OF DBH INCHES: 276 $276 \div 10 = 27.6$	# OF TREES TO BE REMOVED: 9 TOTAL # OF DBH INCHES: 121 $121 \div 10 = 12.1$
# OF NEW TREES REQUIRED: 28 # OF NEW TREES PROVIDED: 16 (SEE NOTE 01) # OF NEW TREES NOT PROVIDED: 12 (SEE NOTE 02)	# OF NEW TREES REQUIRED: 12 # OF NEW TREES PROVIDED: 12

NOTE 01: REPLACING WITH 5" CALIPER TREES, COUNTING AS DOUBLE BASED ON SIZE.

NOTE 02: PER TOWN OF HILTON HEAD ISLAND LAND MANAGEMENT ORDINANCE (LMO) SEC. 16-6-104 B.2.iii, WE WILL COORDINATE WITH TOWN DURING THE DPR PROCESS REMOVAL OF TREES IN POOR CONDITION THAT ARE EXEMPT FROM TREE MITIGATION. PER ARBORIST REPORT, SOME OF THE TREES IN POOR CONDITION CONSTITUTE DANGER TO ENVIRONMENT, PROPERTY, AND SAFETY DUE TO HAZARDOUS CONDITIONS.



5 // L501 TREE STAKING
SCALE: N.T.S.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Northridge Plaza Façade Upgrade

DRB#: DRB-0001415-2019

DATE: 07/03/2019

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

<i>APPLICATION MATERIAL</i>				
DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a Demolition Plan that clearly identifies everything to be removed.
Dimensioned Details and of Sections	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide detail of the proposed façade additions
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide detail of the proposed awnings and how they connect to the building

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Promotes pedestrian scale and circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The removal of the covered pedestrian walk, specifically, at Home Goods and Dollar Tree takes this center in the opposite direction, add architectural detail that provide a sense of pedestrian scale to these areas.
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed awnings at Home Goods and Dollar Tree are not nature blending colors and do not coordinate with the balance of the center.

Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed stacked stone façade is not a material native to the island and is not in keeping with “Island Character”.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The repetition beyond Dollar Tree could be broken up with color (at a minimum), additional treatment of the “tower” elements or variation of / in the awning system.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The strong roof form has been eliminated at Home Goods.
Overhangs are sufficient for the façade height.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a sections of the new canvas awnings proposed.
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The architectural elements that act to reduce the mass of the center are proposed for removal.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Nothing is being proposed to achieve a human scale to replace the canopy that is being removed.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All light sources should not be visible, only the effects of the light should be seen. The LED fixtures on the façade
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The bollards appear foreign to the center and “Island Character”

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a fertilization program for significant trees on this site.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	At a minimum the landscape plan should include the required mitigation trees. Additional tree preservation and or mitigation may be required by the DRB.
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No understory planting is proposed along Mathews Drive.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The use of lawn along Hwy 278 should be reduced.

<i>NATURAL RESOURCE PROTECTION</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trees in fair condition should be preserved with a preservation program that may include fertilization, mycor treatment and / or root stimulation.

<i>MISC COMMENTS/QUESTIONS</i>
1. Given the size of the project, the application is disjointed and difficult to understand. Consider having one consultant organize the application.
2. The proposed temperature of the proposed lighting is unclear. 3000K or less is required.