



Town of Hilton Head Island Regular Design Review Board Meeting

August 28, 2018

1:15 p.m. – Benjamin M. Racusin Council Chambers

AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

1. **Call to Order**
2. **Roll Call**
3. **Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
4. **Approval of Agenda**
5. **Approval of Minutes** – Meeting of August 14, 2018
6. **New Business**
 - A. *Alteration / Addition*
 - Lighthouse Drive Monopole, DRB 001908-2018
 - Sea Pines Drive Monopole, DRB 001909-2018
 - Hargray Building, DRB 001925-2018
 - 6 Lagoon Road, DRB-001931-2018
7. **Appearance by Citizens**
8. **Board Business**
 - A. Revision to the DRB Rules of Procedure regarding Board attendance
9. **Staff Report**
10. **Adjournment**

Please note that a quorum of Town Council may result if four or more Town Council members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
August 14, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, Debbie Remke, Brian Witmer, Kyle Theodore

Board Members Excused: Ron Hoffman

Town Council Present: None

Town Staff Present: Chris Darnell, Urban Designer; Teri Lewis, LMO Official; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – July 24, 2018

The Board approved the minutes of the July 24, 2018 meeting by general consent.

6. New Business

A. Alteration/Addition

- Village House, DRB-001820-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. "China White" is too white. Select a different color for the main part of the building.
2. Tie the new entrance to the existing building by using the same color on the new columns and trim or other areas on the existing building.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board. The applicant provided a sample of the Shake Gray metal roof. In addition to the China White paint color, the applicant provided additional selections for the Board's review.

Chairman Strecker requested comments from the Board. The Board discussed and made inquiries regarding painting the exterior of the building. The applicant is proposing to paint the

building and columns one color. The Board indicated the China White color as well as the additional color selections proposed today appear too white. The Board suggested going at least one or two shades darker than proposed. Some members were ok with staff approving the color. The Board requested paint samples for the approval.

The Board inquired about the proposed update to the existing columns of the entry. The applicant indicated the existing concrete columns will remain and furred out with pressure treated wood and stucco. The column base is wood with stucco applied and the pattern detail is to match the existing building with a hard coated foam. The rafter tails will be a painted wood and exposed all the way through with beaded board above. The Board expressed concern for squaring the columns and the base being exposed to possible damage and how it will hold up over time. The Board indicated the proposed rendering looks good, however, they need to review a section detail for all of these items.

The Board discussed the proposed new metal roof and the porte-cochere. One board member expressed concern for the peak of the roof interfering with the windows behind it. The applicant was amenable to lowering the top of the roof 6 inches to accommodate this concern. One board member expressed the roof extends away from the building enough so that the pitch won't physically intrude on the windows behind it. The new roof color proposed, Shake Gray, is meant to complement the existing building roof shingles which contain gray. The existing shingles are to remain as this application does not propose an entire building reroof. The Board suggested to put the new metal roof on the second level above the porte-cochere. The underside of the porte-cochere is currently a netted canvas that will be removed. The existing lighting will remain.

The canvas extends all the way back to the building. The same sub-structure will be used so the canopy material along the walkway will be kept. The color of the canvas will match the Shake Gray. The Board voiced concerns regarding the point at which the canvas material intersects with the metal material, how that would look and be weatherproofed. The Board asked to review an elevation and at least one section detailing this. Some board members recommended eliminating the canvas and extending the metal roof all the way back.

The Board complimented the overall improvement and emphasized the need to review more details of the proposal prior to approval. There was some discussion on possible staff level approvals. Upon the conclusion of the discussion, the Board expressed the desire to review all of the detailing instead of placing the burden on Staff to cover the intent of the Board. The Board recommended the applicant address their concerns and provide the details discussed today, and then resubmit the application.

The applicant withdrew the application.

7. Appearance by Citizens – None

8. Board Business

A. Review of draft revision to the DRB Rules of Procedure regarding Board attendance

The Board discussed the proposed revision and concluded to change the attendance/absences notification deadline to 10:00 a.m. the business day before the meeting. This will allow Staff

adequate time to cancel the meeting within the 24-hour FOIA requirement in the event that the projected absences will produce a lack of a quorum.

9. Staff Report

A. Current Open Air Sales Requirements update by Teri Lewis

Ms. Lewis presented statements regarding current requirements pertaining to Open Air Sales including food trucks, kiosks, and stands for selling fruits and vegetables. The Board made inquiries and shared concerns related to Open Air Sales. Ms. Lewis indicated she is proposing to take forward LMO amendments as part of the 2018 set and have specific regulations as part of Open Air Sales and what constitutes temporary. Staff will gather the Board's input around the first meeting in September to incorporate into the proposed LMO amendments.

B. Minor Corridor Approvals

Mr. Darnell reported the Minor Corridor approvals since the last Board meeting.

The Board inquired about a steel structure being constructed on an outparcel building in Sea Turtle Marketplace (STMP). Staff indicated that was part of the original design and not constructed as part of the original building. Some of the porches/covered areas were removed as value engineering and then re-added by the tenant. The original approval included a hard roof, so it was handled as a minor corridor approval. Since that approval, Staff has and will continue to bring these types of changes to the DRB as they may impact DRB consideration. The Board also inquired about a storage container in the STMP parking lot. Staff will follow up as to what is permitted there.

10. Adjournment – The meeting was adjourned at 2:15 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Dale Strecker, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Raymond Novello Company: RG Novello INC
 Mailing Address: 19 Coopers Hawk Rd City: Hilton Head Island State: SC Zip: 29926
 Telephone: (850) 519-3637 Fax: 855-718-5615 E-mail: Ramey@Novelloelectric.com

Project Name: Hilton Head Lighthouse Water Tank Project Project Address: 91 Lighthouse Road Hilton Head SC 29926

Parcel Number [PIN]: Zoning District: Overlay District(s):

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|------------------------------------------------------------------|---------------------------------------------------------|
| <input type="checkbox"/> Concept Approval – Proposed Development | <input checked="" type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

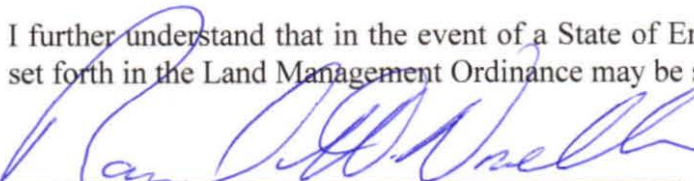
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE



DATE

Electrical Design Consultants, LLC
31699 Chagrin Boulevard
Pepper Pike, OH 44124

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Islands, SC 29928
Attn: Chris Darnell, RLA

August 13, 2018

Dear Mr. Darnell,

South Island Public Service District (SIPSD) is preparing to paint maintenance on the South Beach and Lighthouse water tanks. SIPSD has hired a painting contractor to paint the interior and exterior of both elevated tanks. The existing exterior paint will be overcoat and thus not require any exterior containment structure or exterior sandblasting. Both tanks will be painted the same color as the existing paint color.

Both tanks have cellular carrier equipment located on the tanks which will need to be removed prior to the start of the painting projects. Temporary cellular towers will be installed near each tank to accommodate the cellular carrier equipment during the painting projects. Below please find the projected schedules for each tank.

South Beach Tank

Target Painting Start: October 1, 2018. Painting will last 75 days. End December 15, 2018

Removal of cellular carrier equipment (Four cellular carriers, AT&T, T-Mobile, Sprint, VZW). Relocation of carrier equipment from existing water tank to temporary pole will take four (4) weeks, with one (1) week scheduled per carrier.

- Temporary pole installation within 2 weeks from Town approval.
- Cellular carrier equipment relocation timeline from South Beach tank to temporary pole.
 - First week after setting the Temp pole
 - Second week after 1st carrier's equipment is relocated;
 - Third week after 2nd carrier's equipment is relocated;
 - Fourth week after 3rd carrier's equipment is relocated;

- Carrier equipment will go back on the tank one by one in the same fashion and timelines that the carriers came off the water Tank. Four (4) weeks total to move back on to the Water tank after painting is complete.
- Removal of temporary pole and restoration of land to original condition. – Two (2) weeks.

Lighthouse Tank

Target Painting Start: December 16, 2018. Painting will last 75 days. End March 1, 2019
Removal of cellular equipment (3 cellular carriers AT&T, T-Mobile, VZW)

- Temporary pole installation within 2 weeks
- Cellular carrier equipment relocation timeline from South Beach tank to temporary pole.
 - First week after setting the Temp pole
 - Second week after 1st carrier's equipment is relocated;
 - Third week after 2nd carrier's equipment is relocated;
- Carrier equipment will go back on the tank one by one in the same fashion and timelines that the carriers came off the water Tank. Four (4) weeks total to move back on to the Water tank after painting is complete.
- Removal of temporary pole and restoration of land to original condition. – Two (2) weeks.

Project Point of Contact

Electrical Design Consultants

Jason W. Smith
470-218-4537 Cell
855-718-5615 Fax
jws@graneto.com

Please let me know if you have any questions or concerns regarding the proposed schedule.

Respectfully

Jason W. Smith





Welcome to Lybee Island





electrical design consultants

LIGHTHOUSE TEMP POLE

SEA PINES #4

**SITE ADDRESS:
91 LIGHTHOUSE ROAD
HILTON HEAD ISLAND, SC 29926
COUNTY: BEAUFORT**

PROPOSED TEMPORARY MONOPOLE

CODES STATEMENT

THE CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION IN THE REGION WHERE THE WORK IS TO BE PERFORMED. THE CURRENT EDITION OF THE CODES AND STANDARDS IN EFFECT ON THE DATE OF AWARD OF CONTRACT SHALL GOVERN THE DESIGN PARAMETERS.

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH SC MODIFICATIONS.

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2014 EDITION.

MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE.

FIRE CODE: 2015 INTERNATIONAL FIRE CODE WITH SC MODIFICATIONS.

LIGHTNING PROTECTION CODE: NFPA 780 2017 EDITION.

THE CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LRFD 14TH EDITION, TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES, TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR ELECTRONIC EQUIPMENT.

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY C3 AND HIGH SYSTEM EXPOSURE.)

TELECORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS, TELECORDIA GR-1503, COAXIAL CONNECTIONS, ANSI T1-311, FOR TELECOM DC POWER SYSTEMS AND TELECOM ENVIRONMENTAL PROTECTION.

PROJECT DESCRIPTION

- INSTALL TEMPORARY MONOPOLE AND REROUTE CABLING TO RELOCATED ANTENNAS WHILE CONSTRUCTION ON EXISTING WATERTANK TAKES PLACE.

DESIGN CRITERIA

DESIGN WIND SPEED:
141 MPH ULTIMATE (3-SECOND GUST)
108 MPH NOMINAL (3-SECOND GUST)

IMPORTANCE FACTOR: 1.0
EXPOSURE CATEGORY: C
RISK FACTOR: II



PROJECT DATA

JURISDICTION: BEAUFORT COUNTY
TOWER OWNER: SOUTH ISLAND PUBLIC SERVICE DISTRICT
CONTACT: EDDIE NETTLES
2 GENESTA STREET
HILTON HEAD ISLAND, SC 29938
(843) 816-3533
A&E FIRM: KCI TECHNOLOGIES
JAMES FENNELL, P.E.
JAMES.FENNELL@KCI.COM

SHEET INDEX

T-1	TITLE SHEET	0
N-1	GENERAL NOTES	0
C-1	EXISTING SITE PLAN	0
C-2	PROPOSED SITE PLAN	0
C-3	TOWER ELEVATION	0
C-3A	SECTOR PLANS	0
C-3B	EQUIPMENT INVENTORY	0
C-4	DETAILS	0
C-5	EQUIPMENT INVENTORY	0
G-1	GROUNDING PLAN	0
G-2	GROUNDING DETAILS	0



LIGHTHOUSE TEMP POLE

91 LIGHTHOUSE ROAD
HILTON HEAD, SC 29926

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CHECKED BY: L. VASQUEZ
APPROVED BY: J. FENNELL

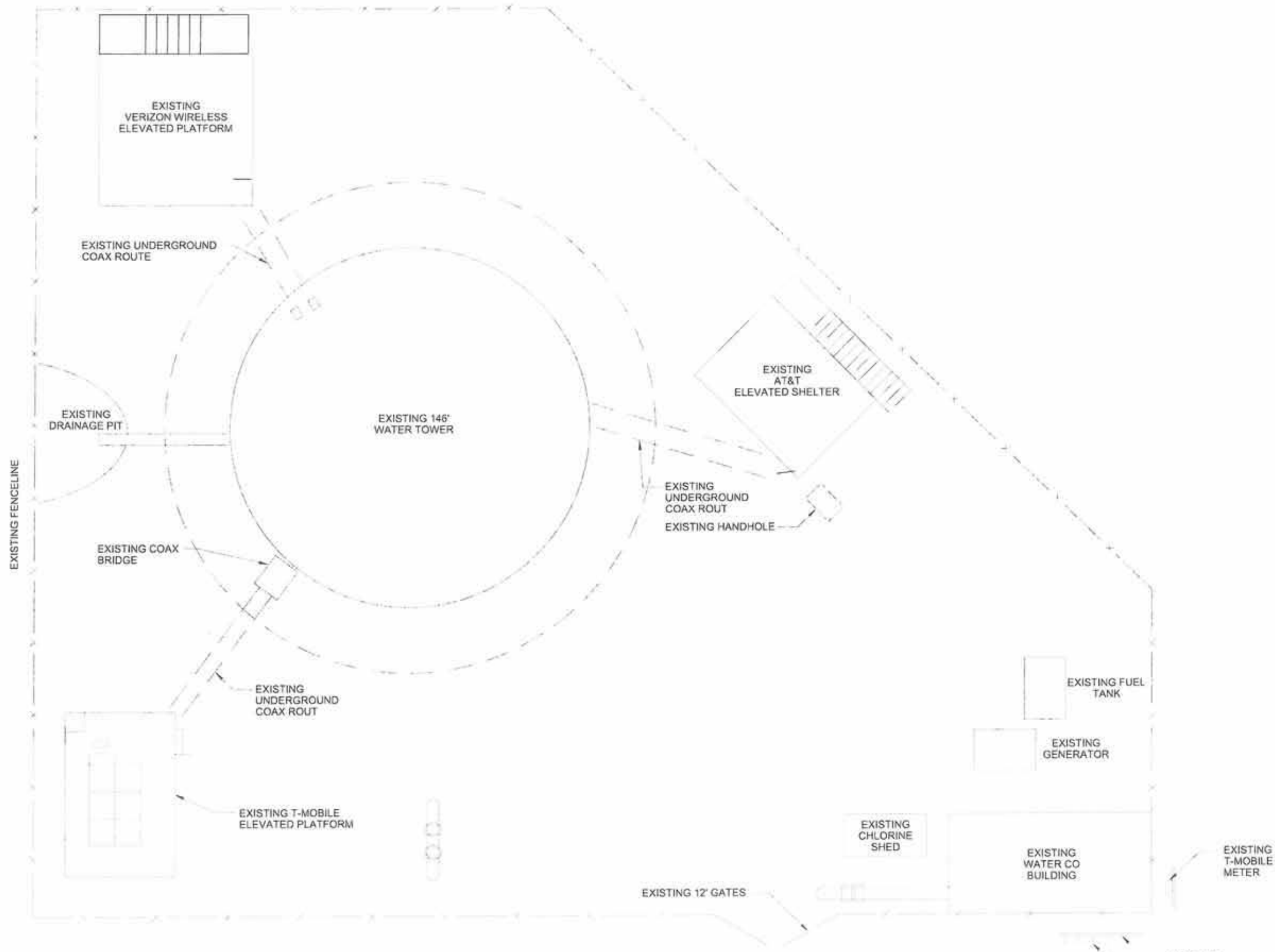
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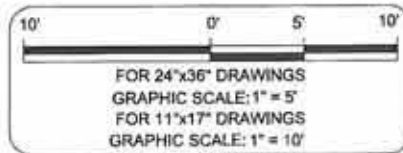
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KCI JOB NUMBER: 011803950A

SHEET TITLE
TITLE SHEET

SHEET
T-1



EXISTING SITE PLAN
SCALE: AS NOTED



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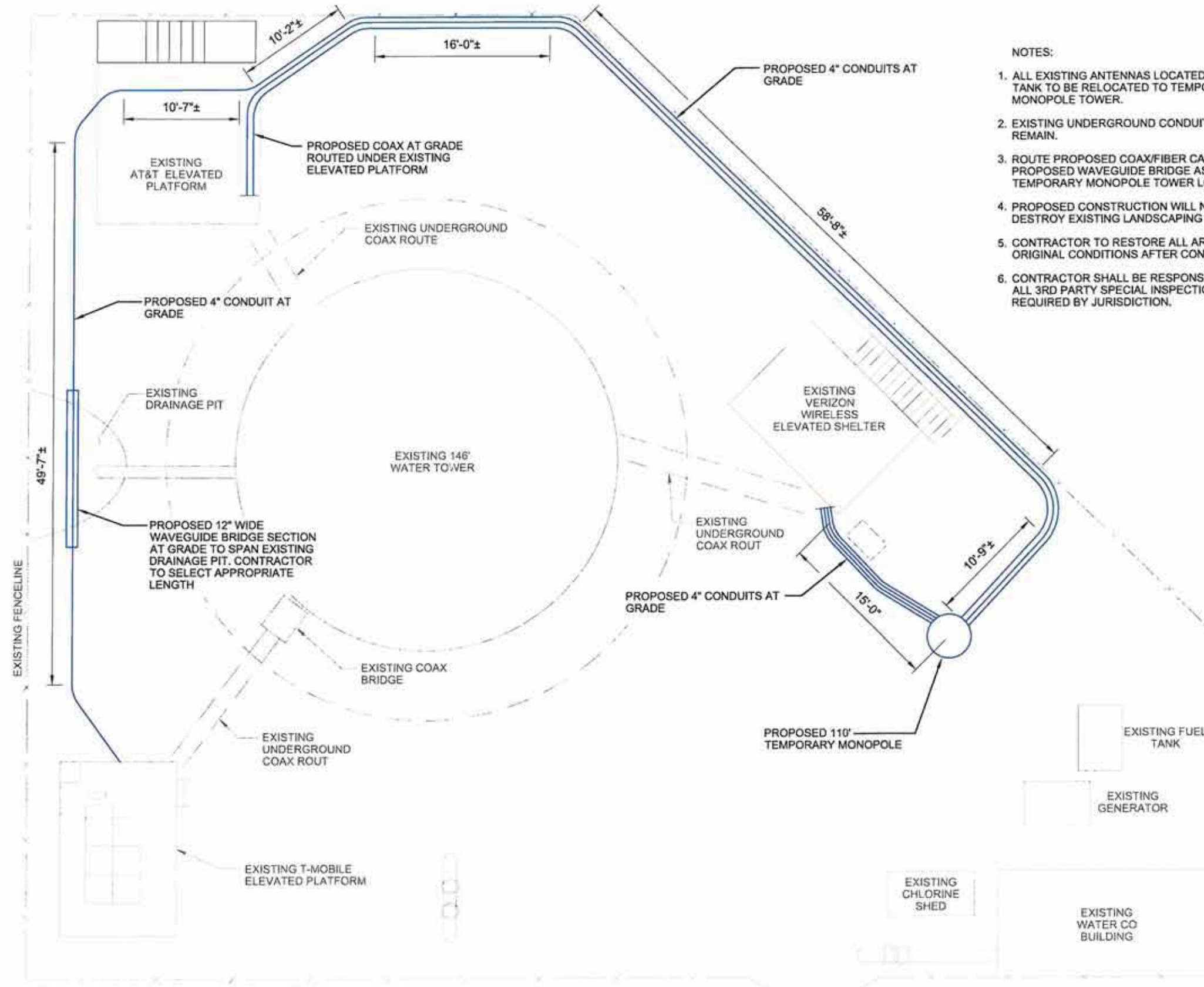
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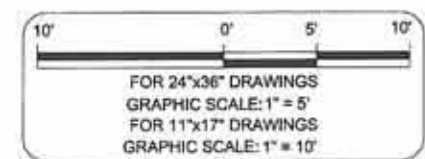
EXISTING SITE PLAN

SHEET **C-1**



- NOTES:
1. ALL EXISTING ANTENNAS LOCATED ON WATER TANK TO BE RELOCATED TO TEMPORARY MONOPOLE TOWER.
 2. EXISTING UNDERGROUND CONDUIT/CABLES TO REMAIN.
 3. ROUTE PROPOSED COAX/FIBER CABLES ALONG PROPOSED WAVEGUIDE BRIDGE AS SHOWN TO TEMPORARY MONOPOLE TOWER LOCATION.
 4. PROPOSED CONSTRUCTION WILL NOT DISTURB OR DESTROY EXISTING LANDSCAPING OR TREES.
 5. CONTRACTOR TO RESTORE ALL AREAS TO ORIGINAL CONDITIONS AFTER CONSTRUCTION.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING ALL 3RD PARTY SPECIAL INSPECTIONS AS REQUIRED BY JURISDICTION.

PROPOSED SITE PLAN
SCALE: AS NOTED



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HILTON HEAD, SC 29926**

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SHEET TITLE
PROPOSED SITE PLAN

SHEET **C-2**

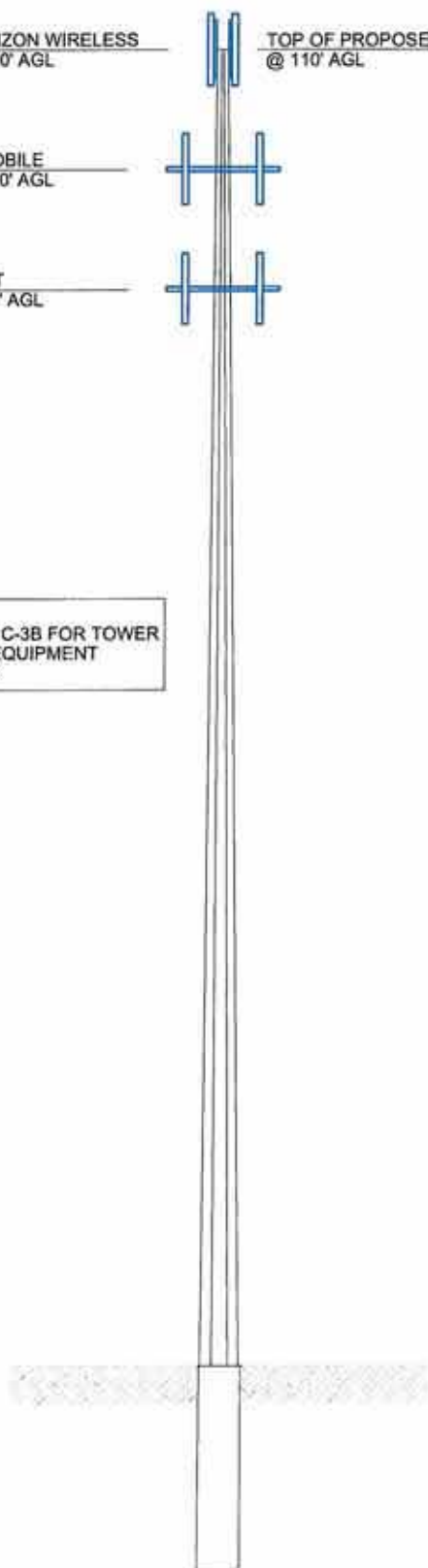
PROPOSED VERIZON WIRELESS
ANTENNAS @ 110' AGL

TOP OF PROPOSED TOWER
@ 110' AGL

PROPOSED T-MOBILE
ANTENNAS @ 100' AGL

PROPOSED AT&T
ANTENNAS @ 90' AGL

NOTE:
SEE SHEET C-3B FOR TOWER
MOUNTED EQUIPMENT
INVENTORY



TOWER ELEVATION
NOT TO SCALE



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LIGHTHOUSE TEMP POLE

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SHEET TITLE
**TOWER
ELEVATION**

SHEET
C-3



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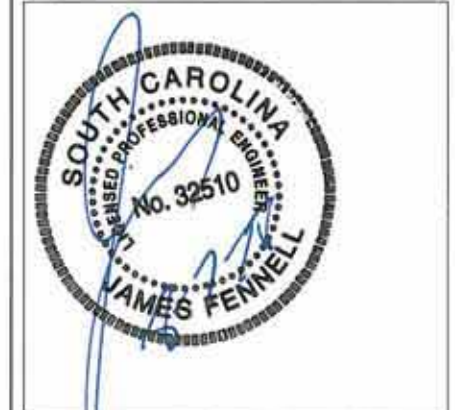
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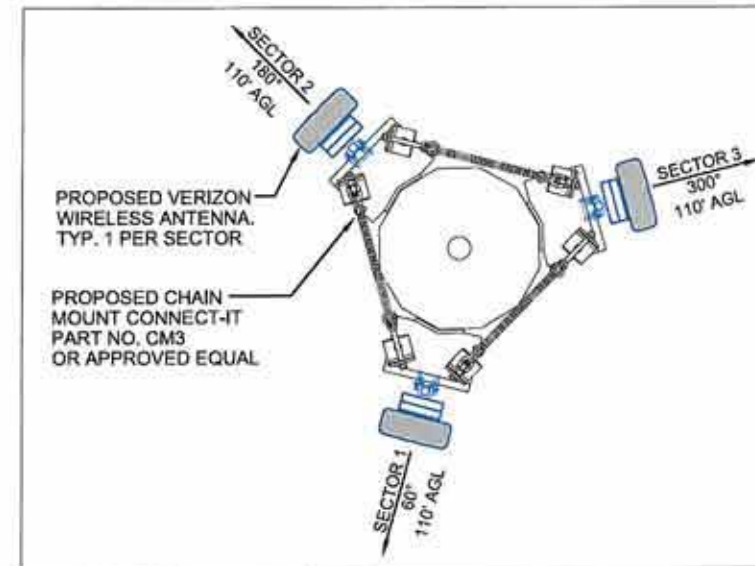
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SHEET TITLE

SECTOR PLANS

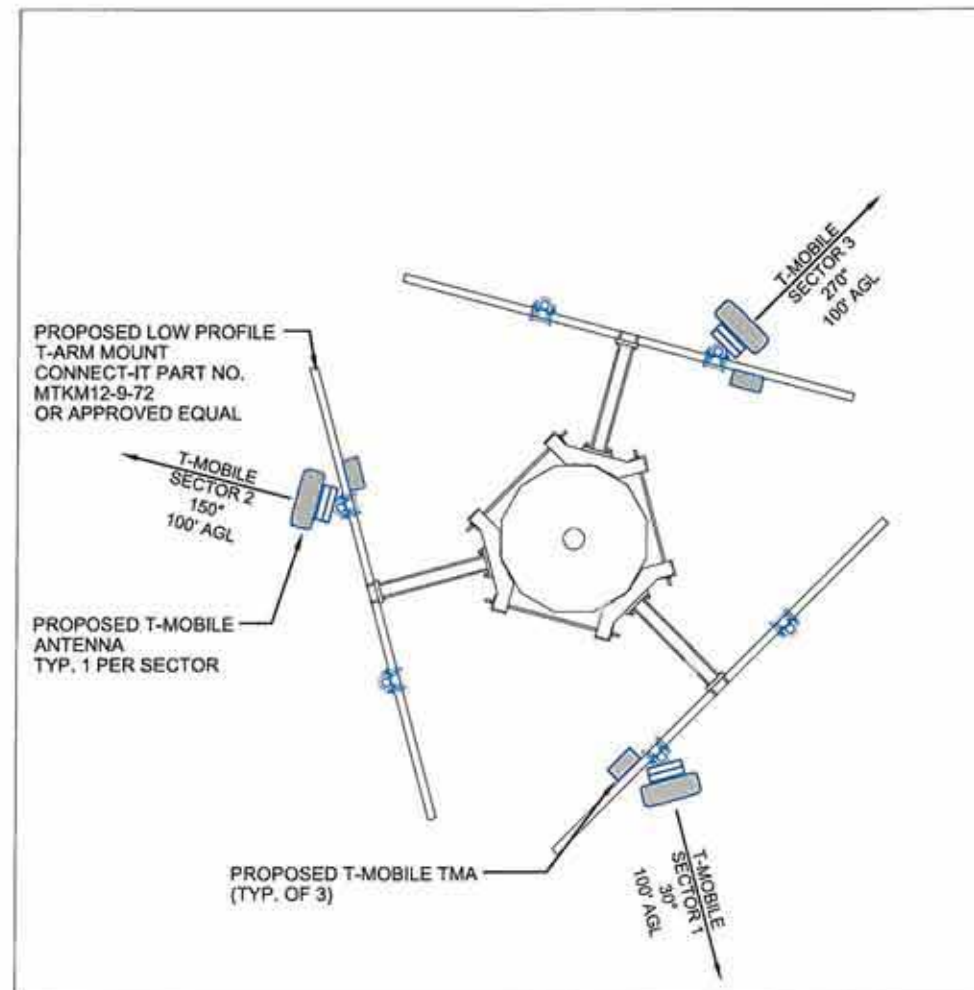
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C-3A



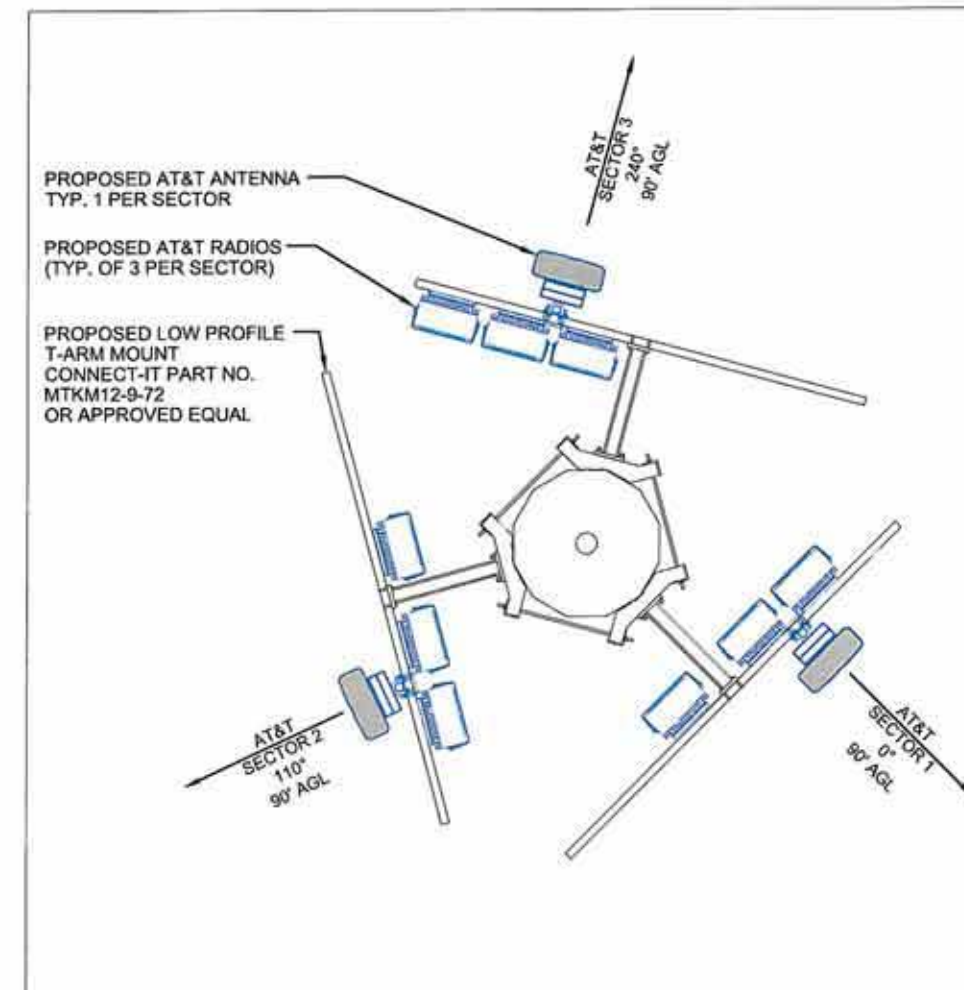
**ANTENNA SECTOR PLAN -
VERIZON WIRELESS**

NOT TO SCALE



**ANTENNA SECTOR PLAN -
T-MOBILE**

NOT TO SCALE



**ANTENNA SECTOR PLAN -
AT&T**

NOT TO SCALE





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LIGHTHOUSE TEMP POLE

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HILTON HEAD, SC 29926**

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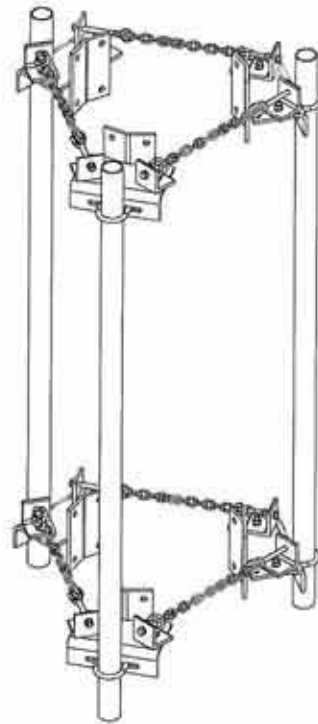
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SHEET TITLE

DETAILS

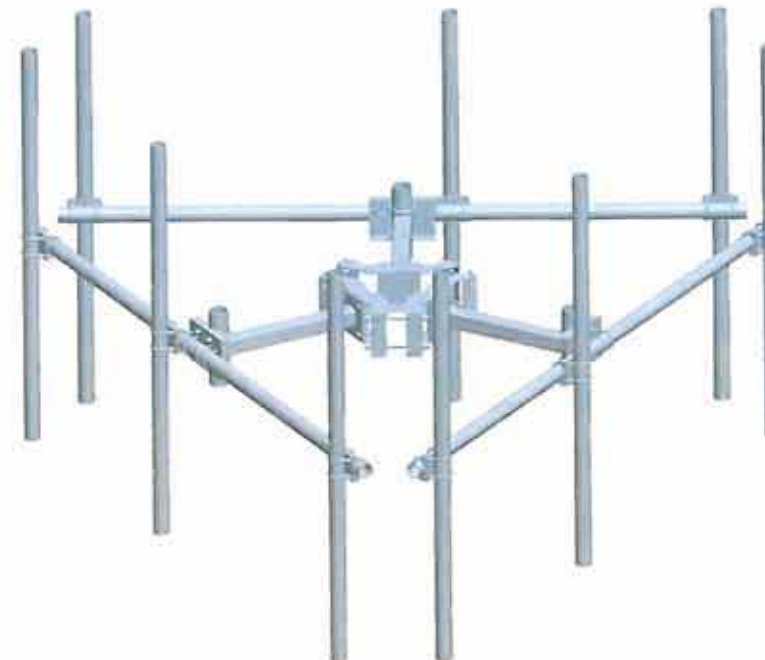
SHEET

C-4



TRI-SECTOR CHAIN MOUNT

NOT TO SCALE
CONNECT-IT PART NO. CM3



T-ARM KIT ANTENNA MOUNT

NOT TO SCALE
CONNECT-IT PART NO. MTKM12-9-72



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CHECKED BY: L. VASQUEZ
APPROVED BY: J. FENNELL

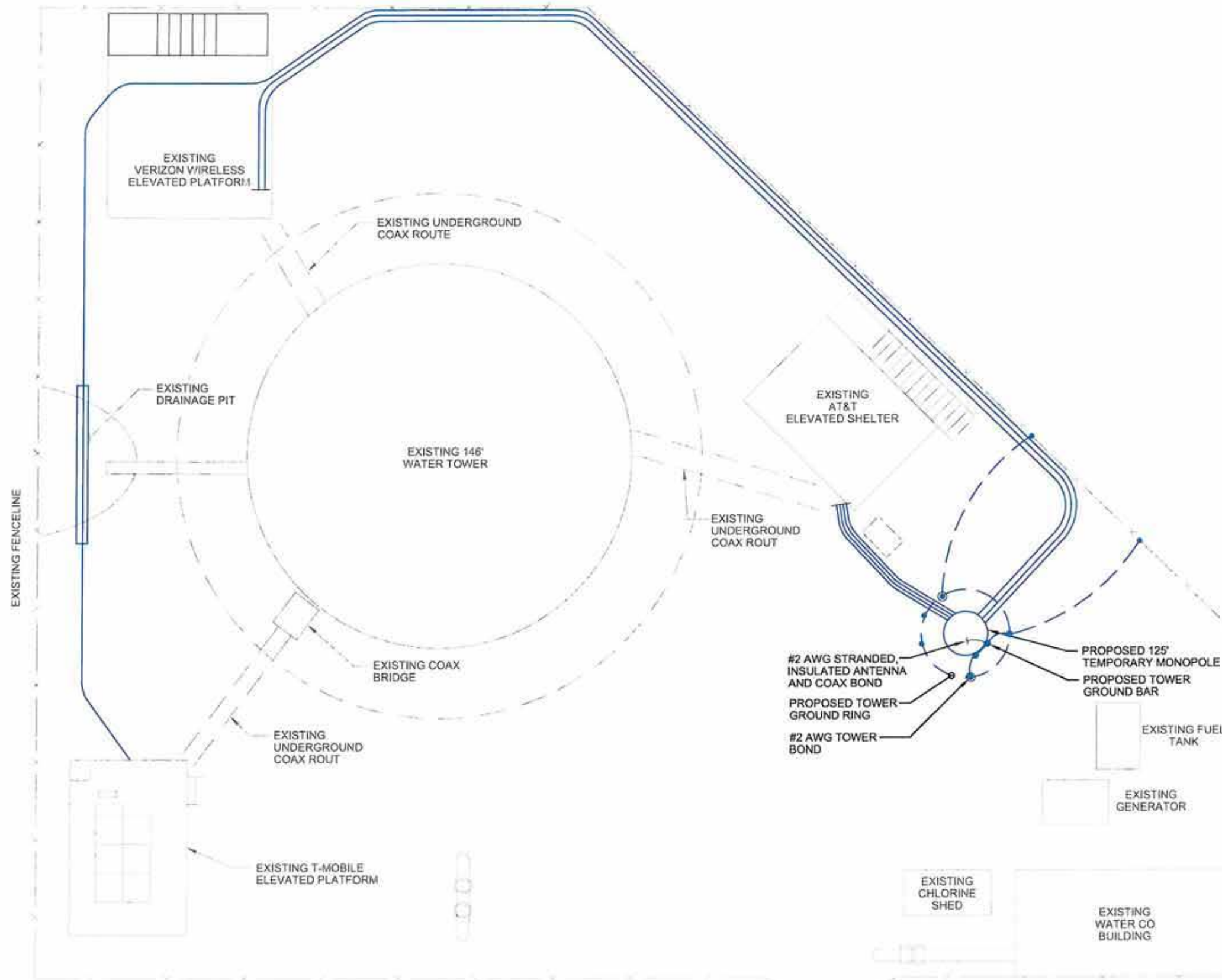
REVISIONS		
NO.	DATE	BY
A	08/03/18	AV
B	08/06/18	LV



SCALE: AS NOTED
DATE: 07/02/18
KCI JOB NUMBER: **011803950A**

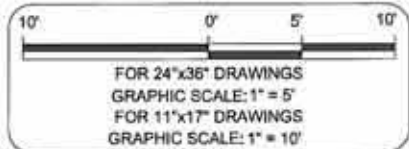
SHEET TITLE
GROUNDING PLAN

SHEET
G-1



INFORMATION FOR COMPOUND LAYOUT TAKEN FROM INFORMATION PROVIDED BY T-MOBILE

GROUNDING PLAN
SCALE: AS NOTED





electrical design consultants

LIGHTHOUSE TEMP POLE

**91 LIGHTHOUSE ROAD
HILTON HEAD, SC 29926**

THIS DRAWING IS THE PROPERTY OF THE SURVEYOR/ENGINEER AND MAY NOT BE USED OR REPRODUCED WITHOUT HIS/HER EXPRESSED WRITTEN PERMISSION

KCI TECHNOLOGIES
FLORIDA LICENSE NO.: EB0004899
KCI TECHNOLOGIES, INC.
4041 CRESCENT PARK DRIVE
RIVERVIEW, FLORIDA 33578
(813) 740-2300

DRAWN BY: J. HAWS
CHECKED BY: L. VASQUEZ
APPROVED BY: J. FENNELL

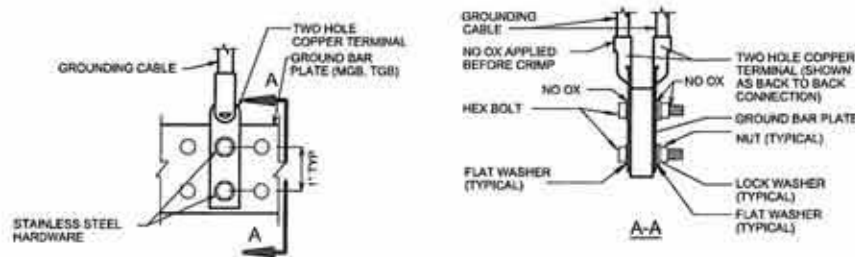
REVISIONS			
NO.	DATE	DESCRIPTION	BY
A	01/01/18	90% SUBMITTAL	AV
B	06/06/18	100% SUBMITTAL	LV



SCALE: AS NOTED
DATE: 07/02/18
KCI JOB NUMBER: 011803950A

GROUNDING DETAILS

SHEET **G-2**

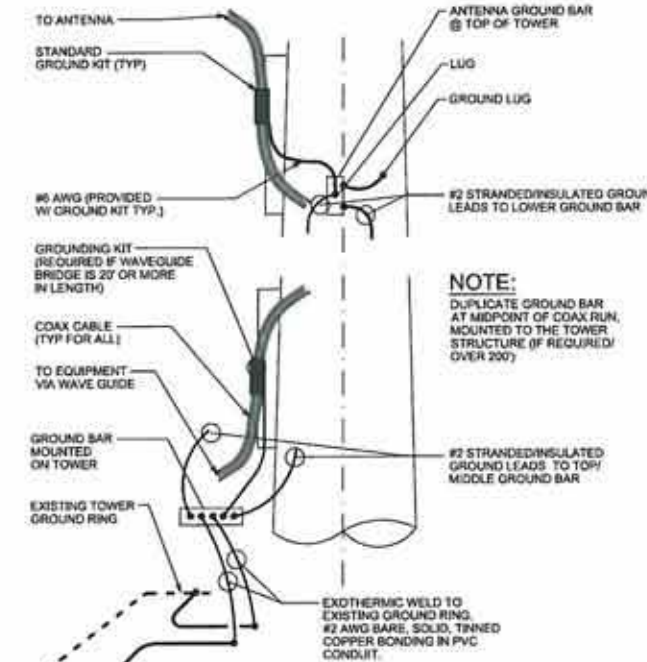


ELEVATION GROUND BAR CONNECTION
NOT TO SCALE

NOTE: DOUBLING UP OR 'STACKING' OF CONNECTIONS IS NOT PERMITTED. OXIDE-INHIBITING JOINT COMPOUND TO BE USED ON ALL CONNECTIONS. BACK TO BACK CONNECTIONS SHALL BE USED ONLY WHEN NUMBER OF CONNECTIONS TO FRONT OF BAR EXCEEDS NUMBER OF AVAILABLE SPACES.

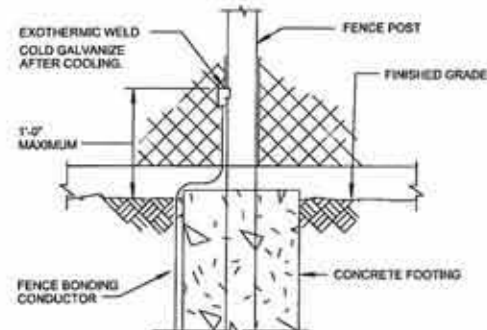
GROUNDING NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE USING EXOTHERMIC WELD PROCESS (CAD WELD OR EQUAL) EXCEPT FOR EQUIPMENT CONNECTIONS WHICH ARE MECHANICALLY FASTENED. ALL LUGS SHALL BE TWO HOLE, LONG BARREL TYPE, FOR COPPER, UNLESS OTHERWISE NOTED.
2. ALL GROUND RODS SHALL BE A MINIMUM OF 8 FEET LONG, COPPER CLAD STEEL (302 OR 304), 5/8" DIAMETER, DRIVEN VERTICALLY DOWN WITH TOPS 30" MIN. BELOW GRADE. USE SHIELDS TO PREVENT 'MUSHROOMING' ROD TOPS.
3. ALL GROUND CONDUCTORS SHALL BE BARE, TINNED, SOLID COPPER WIRE, SIZED #2 AWG., RUN 30" MINIMUM BELOW GRADE.
4. GROUND RODS FOR GROUND RING SHALL BE LOCATED 8' APART.
5. ANY METAL OBJECT WITHIN 6 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
6. THE MINIMUM BENDING RADIUS FOR ALL GROUND CONDUCTORS NO. 6 AWG OR SMALLER SHALL BE 8". CONDUCTOR LARGER THAN NO. 6 SHALL HAVE A 12" BENDING RADIUS.
7. ALL ABOVE GRADE GROUND CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD EARTH AND HORIZONTAL ONLY WHERE NECESSARY WITH NO LOOP BACKS.
8. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO ANGLES OF LESS THAN 90 DEGREES.
9. COMPLETED GROUND SYSTEMS SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY OWNER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO THE OWNER.
10. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 780, 'LIGHTNING PROTECTION CODE'.
11. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
12. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
13. ALL GROUNDING SHALL COMPLY WITH NORTEL STANDARD CS4122, 'GROUNDING OF COMMUNICATIONS SYSTEMS' & T-MOBILE BTS GROUNDING GUIDELINES.
14. THERE SHALL BE AN GROUND BAR LOCATED AT TOP AND MIDDLE OF THE TOWER. BOND BAR TO TOWER WITH A #2 SOLID COPPER CONDUCTOR. CONNECT BAR END WITH 2-HOLE LUG. CONNECT TOWER END WITH A 2-HOLE LUG AND DRAGON TOOTH WASHER. BOND COAX SHIELD GROUND JUMPERS TO GROUND BAR.
15. BOND ANTENNA MOUNT TO TOWER STEEL WITH A #2 BARE, TINNED, SOLID COPPER CONDUCTOR, (2-HOLE LUG AT EACH END)
16. ALL GROUND BARS SHALL BE COPPER 4" X 24" X 1/8" WITH PRE-DRILLED HOLES TO MATCH TWO HOLE LUGS. GROUND BARS SHALL NOT BE FIELD FABRICATED OR DRILLED. HARDWARE SHALL BE 316 STAINLESS STEEL. NO ZINC COATED MATERIAL ALLOWED. MOUNT ALL GROUND BARS PARALLEL TO THE EARTH.

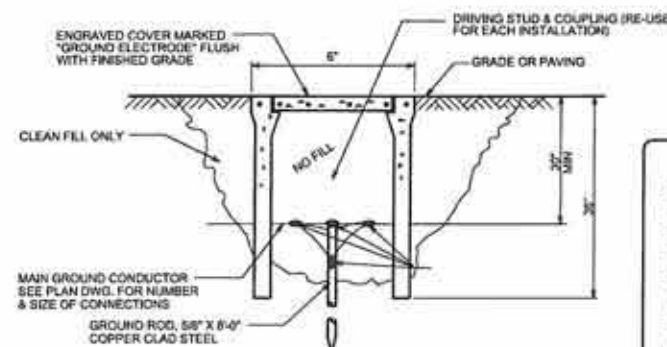


TYPICAL TOWER EXIT BAR DETAIL
NOT TO SCALE

NOTES:
1. NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED. (MONOPOLE SHOWN).
2. COAX CABLE INSTALLATION SHOWN. IF HYBRID CABLES ARE INSTALLED, GROUNDING REQUIREMENTS WILL CHANGE.

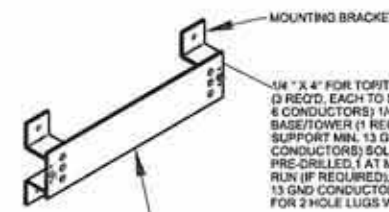


FENCE BONDING DETAIL
NOT TO SCALE

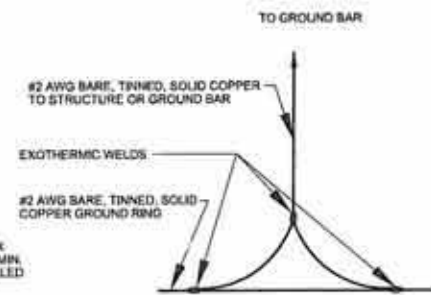


GROUND INSPECTION WELL DETAIL
NOT TO SCALE

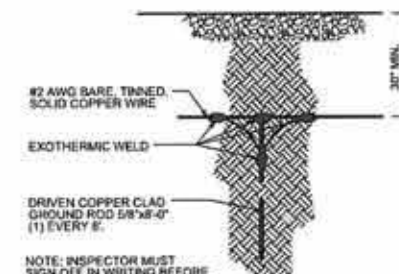
NOTE:
DUE TO THE INDEPENDENT NATURE OF BOTH THE SERVICE GROUND AND THE EQUIPMENT BOND SYSTEM, THE CONTRACTOR SHALL TEST BOTH SYSTEMS AFTER INSTALLATION AND SHALL SHOW THAT BOTH SYSTEMS MEET THE 5 OHM OR LESS CRITERIA AND THAT THERE IS NO POTENTIAL DIFFERENCE BETWEEN THE TWO.
NOTE THAT SOME JURISDICTIONS MAY REQUIRE A PHYSICAL CONNECTION BETWEEN THE 2 SYSTEMS. IN THESE CASES THE CONTRACTOR SHALL COMPLY BY CONNECTING THE 2 WITH A SINGLE CONDUCTOR, #2 AWG. BARE, TINNED, SOLID COPPER CONNECTED BY EXOTHERMIC WELD AT BOTH ENDS.



TOWER GROUND BAR DETAIL
NOT TO SCALE



GROUND BAR TO GROUND RING CONNECTION DIAGRAM
NOT TO SCALE



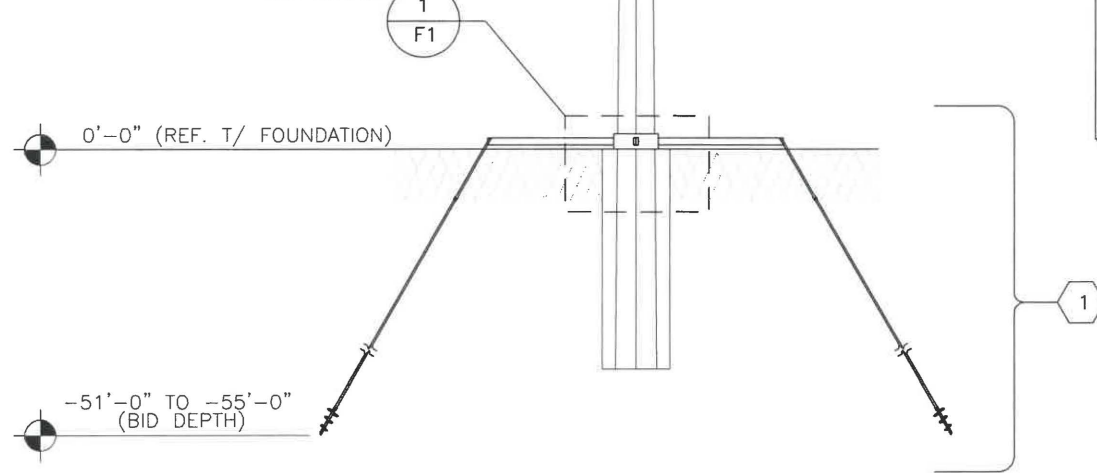
GROUND ROD/RING LOCATION
NOT TO SCALE

NOTE TO SUBCONTRACTOR:
 ALL MODIFICATIONS ARE ASSUMED TO BE MADE ON AN EMPTY TOWER. THIS MEANS THAT THE CONTRACTOR IS RESPONSIBLE TO MAKE PROVISIONS TO SUPPORT OR WORK AROUND EXISTING ANTENNAS AND TRANSMISSION LINES. MODIFICATIONS MUST BE CONTINUOUS THROUGH ALL AREAS SHOWN.

TEMPORARY POLE AND ALL ABOVE GRADE MODIFICATIONS SHALL BE REMOVED UPON COMPLETION OF WATER TANK MAINTENANCE.

PROPOSED 125'-0" MONOPOLE WITH 16'-0"± EMBEDDED (PER PLANS BY UTILITY POLE SOLUTIONS)

PROPOSED HELICAL ANCHORS;
 SEE DETAIL



TOWER ELEVATION

SCALE: 1" = 15'-0"

THIS DRAWING NOT SUITABLE FOR SCALING

TOWER MODIFICATION SCHEDULE

NO.	MODIFICATION DESCRIPTION	BOTTOM ELEVATION (FT.)	TOP ELEVATION (FT.)
1	PROPOSED HELICAL ANCHORS	-51 TO -55	0

DESIGN LOADING

LOADING CASE	CODE	WIND SPEED AND ICE LOADING
1	ANSI/TIA-222-G & 2015 INTERNATIONAL BUILDING CODE FOR BEAUFORT COUNTY, SOUTH CAROLINA	141 MPH (ULTIMATE 3 SECOND GUST), NO ICE *109 MPH (NOMINAL 3 SECOND GUST), NO ICE
2	ANSI/TIA-222-G FOR BEAUFORT COUNTY, SOUTH CAROLINA	30 MPH (3 SECOND GUST), 1/2" RADIAL ICE

*- CONVERSION BASED ON 2015 INTERNATIONAL BUILDING CODE, SECTION 1609.1.1 DETERMINATION OF WIND LOADS, EXCEPTION 5.

PROPOSED APPURTENANCES

NUMBER	ELEVATION	CARRIER	MOUNT	ANTENNA INFORMATION	TRANSMISSION LINES
1	110'	VERIZON	FLUSH	(3)- COMMSCOPE-NHH-45C-R2B-04DT-0880 PANEL ANTENNAS (3)- RRUS-32 B4 4449	*(12)- 7/8"
2	90'	AT&T	T-ARMS	(3)- COMMSCOPE-SBJAH4-1D65C-DL PANEL ANTENNA (3)- RRUS-11 (3)- RRUS-12 (3)- 4426-B66	*(3)- FIBER
3	100'	T-MOBILE	T-ARMS	(3)- CELLMAX CMA-B/6521/E0-6/TB05 PANEL ANTENNAS (3)- FXFC (3)- FRIA (3)- CBC1923T-DS-43 (3)- TMA1921B68-21-43	*(6)- 1 5/8"

*- DENOTES TRANSMISSION LINES RUN OUTSIDE THE MONOPOLE IN A FLUSH CONFIGURATION.

SPRINT'S, T-MOBILE'S, AND AT&T'S PROPOSED TRANSMISSION LINES SHALL BE MOUNTED OUTSIDE THE MONOPOLE IN A FLUSH CONFIGURATION.

NOTE:
 ELEVATIONS MAY VARY BASED ON ACTUAL EMBEDMENT DEPTH



Sprint

6580 Sprint Parkway
 Overland Park, Kansas 66251

e-d-c

electrical design consultants

39 The Crescent
 Newnan, Georgia 30263

DATE OF ORIGINATION : 08/06/2018

DRAWN BY : DFK

CHECKED BY : ESK

REVISIONS

NO. DESCRIPTION

- 1
- 2
- 3
- 4



KCI TECHNOLOGIES, INC
 4505 FALLS OF NEUSE ROAD,
 SUITE 400
 RALEIGH, NC 27609
 (919)783-9214

PROJECT NAME :

LIGHTHOUSE RD
 BEAUFORT COUNTY, SC

SHEET TITLE :

TOWER ELEVATION

SHEET NO. :

S-1

KCI JOB NO. : 011803950 A



6580 Sprint Parkway
Overland Park, Kansas 66251



electrical design consultants

39 The Crescent
Newnan, Georgia 30263

DATE OF ORIGATION : 1/18/2016

DRAWN BY : MGA

CHECKED BY : ESK

REVISIONS

NO. DESCRIPTION

1

2

3

4



KCI TECHNOLOGIES, INC
4601 SIX FORKS ROAD,
SUITE 220
RALEIGH, NC 27609
(919)783-9214

PROJECT NAME :

LIGHTHOUSE RD
BEAUFORT COUNTY, SC

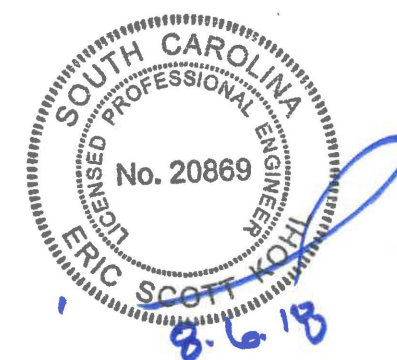
SHEET TITLE :

FOUNDATION DETAILS

SHEET NO. :

F-1

KCI JOB NO. : 011803950A



PROPOSED W10X112

PROPOSED HELICAL ANCHOR (TYP. 3)

COMPACTED GRAVEL TO EXTENDED
OUT FROM TEMPORARY MONOPOLE
A MINIMUM OF 1'-0" ON ALL SIDES

PROPOSED W10X112 CONNECTED
TO UNIVERSAL RING MOUNT
WITH (4)- 5/8" A325X BOLTS (TYP.)

PROPOSED BASE PLATE.
SEE DETAIL THIS SHEET

PROPOSED TEMPORARY
125' MONOPOLE WITH
16'± EMBEDDED

PROPOSED UNIVERSAL RING MOUNT,
SITE PRO PART NO. LWRM, OR
APPROVED EQUAL.

PLAN VIEW

SCALE: 1" = 4'

1
F1

PROPOSED W10X112

PROPOSED W10X112
PROPOSED 5/8" A325X BOLTS
1 1/16" BOLT HOLE FOR 5/8" BOLT

PROPOSED 5/8" A325X
BOLTS, 1 1/16" BOLT HOLE
FOR 5/8" BOLT

PROPOSED L8x4x1 ANGLE
(TYP. 2 PER W SECTION)

SS175 SHAFT
7-FT PLAIN EXTENSIONS

ELEVATION VIEW

PROPOSED L8x4x1 x 1'-0" ANGLE
(TYP. 2 PER W SECTION)

#3 CIRCULAR TIES AT 6" O.C.

3'-0" SQUARE x 3'-0" DEEP
CONCRETE CAP

(8) #8 BARS
EQUAL SPACE

3
F1

SHAFT CONNECTION DETAIL

SCALE: 1" = 1'

(PREFERRED SOLUTION)

2
F1

SS175 SHAFT
7-FT PLAIN EXTENSIONS

PROPOSED HELICAL
ANCHOR (TYP. 3)
18'-22' BID DEPTH

TYPE SS175
8"/10"/12" HELIX
7-FT LEAD SECTION

12" HELIX
10" HELIX
8" HELIX

(8) #8 BARS
EQUAL SPACE

3"
CLEAR

HORIZONTAL REINFORCING
LAP ACCORDING TO A.C.I.,
LATEST EDITION

#3 CIRCULAR TIES
AT 6" O.C.

3'-0" x 3'-0"
SQUARE
CONCRETE CAP

SECTION DETAIL

SCALE: 1" = 1'

3
F1

REFER TO DETAIL 4/F-2 IF SHAFT IS
NOT LONG ENOUGH FOR PREFERRED
CONNECTION

PHYSICAL DATA SUMMARY PER PILE UNIT:

PILE TYPE: CHANCE HELICAL ANCHOR

SHAFT MATERIAL 1 LEAD SECTIONS:

TYPE SS175
(1.75"x1.75" HIGH-STRENGTH SOLID SQUARE SHAFT)

SHAFT MATERIAL 2 PLAIN EXTENSIONS:

TYPE SS175
(1.75"x1.75" HIGH-STRENGTH SOLID SQUARE SHAFT)

HELIX CONFIGURATION: 8"/10"/12" HELICES

ESTIMATED LENGTH: 18-22 FT. (BASED ON BORINGS B-1)

REQ'D WORKING CAPACITY: 30 - 35 KIPS (TENSION)

REQ'D ULTIMATE CAPACITY: 60 - 70 KIPS (TENSION)

MAX. INSTALLATION TORQUE: 10,500 FT-LBS. (MAX. TORSIONAL RATING OF SS175 SHAFT)

MIN. INSTALLATION TORQUE: 6,000 FT-LBS. (AS AVERAGED OVER THE FINAL 3 FT OF INSTALLED LENGTH)

CONTACT
MICHAEL BROWN (678) 407-4640 AT
FOUNDATION TECHNOLOGIES, INC.
FOR HELICAL ANCHORS DESIGN,
QUESTIONS, OR MATERIALS.

REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	



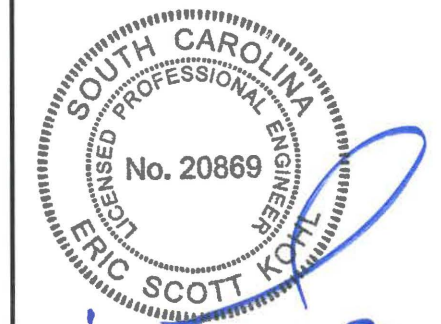
KCI TECHNOLOGIES, INC
4601 SIX FORKS ROAD,
SUITE 220
RALEIGH, NC 27609
(919)783-9214

PROJECT NAME :
**LIGHTHOUSE RD
BEAUFORT COUNTY, SC**

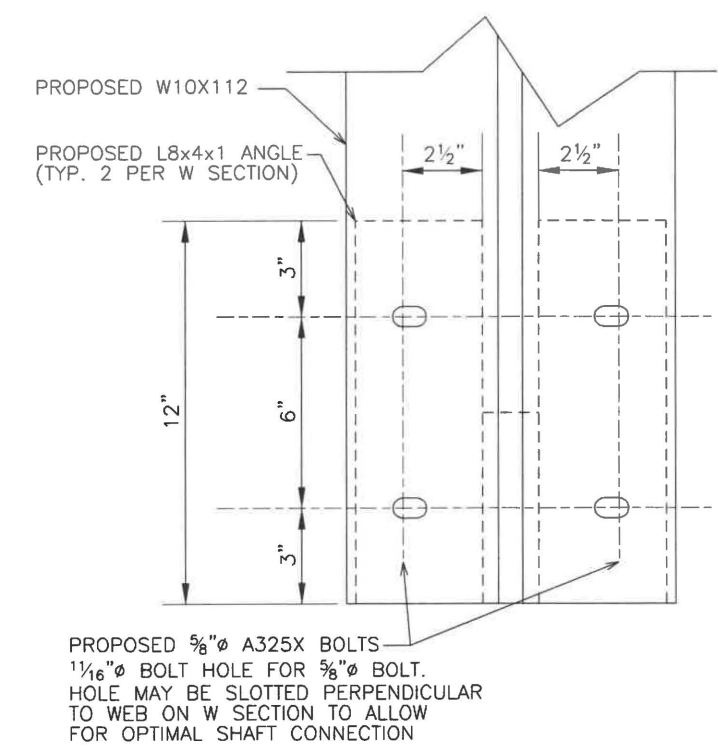
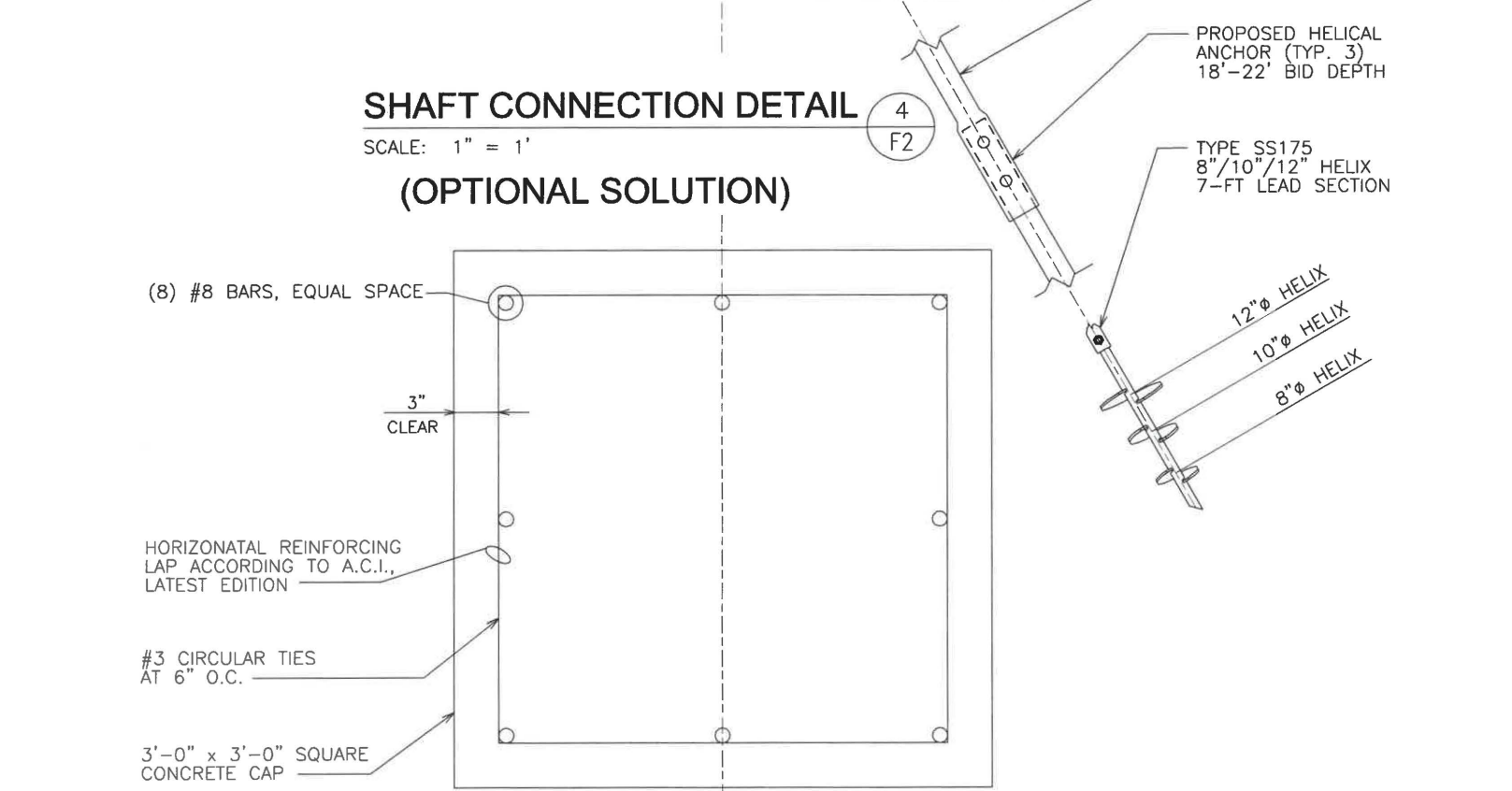
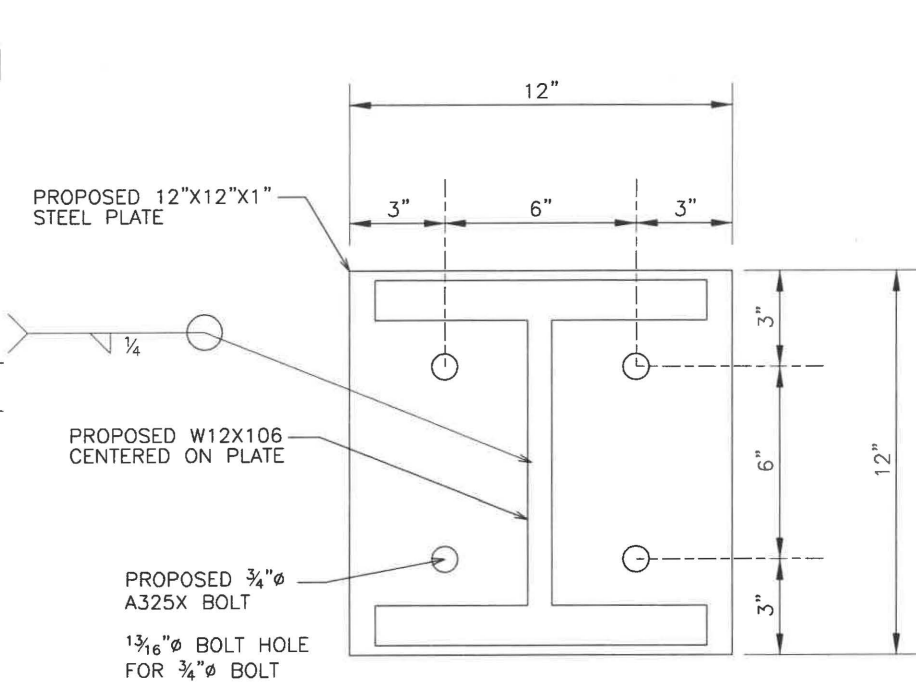
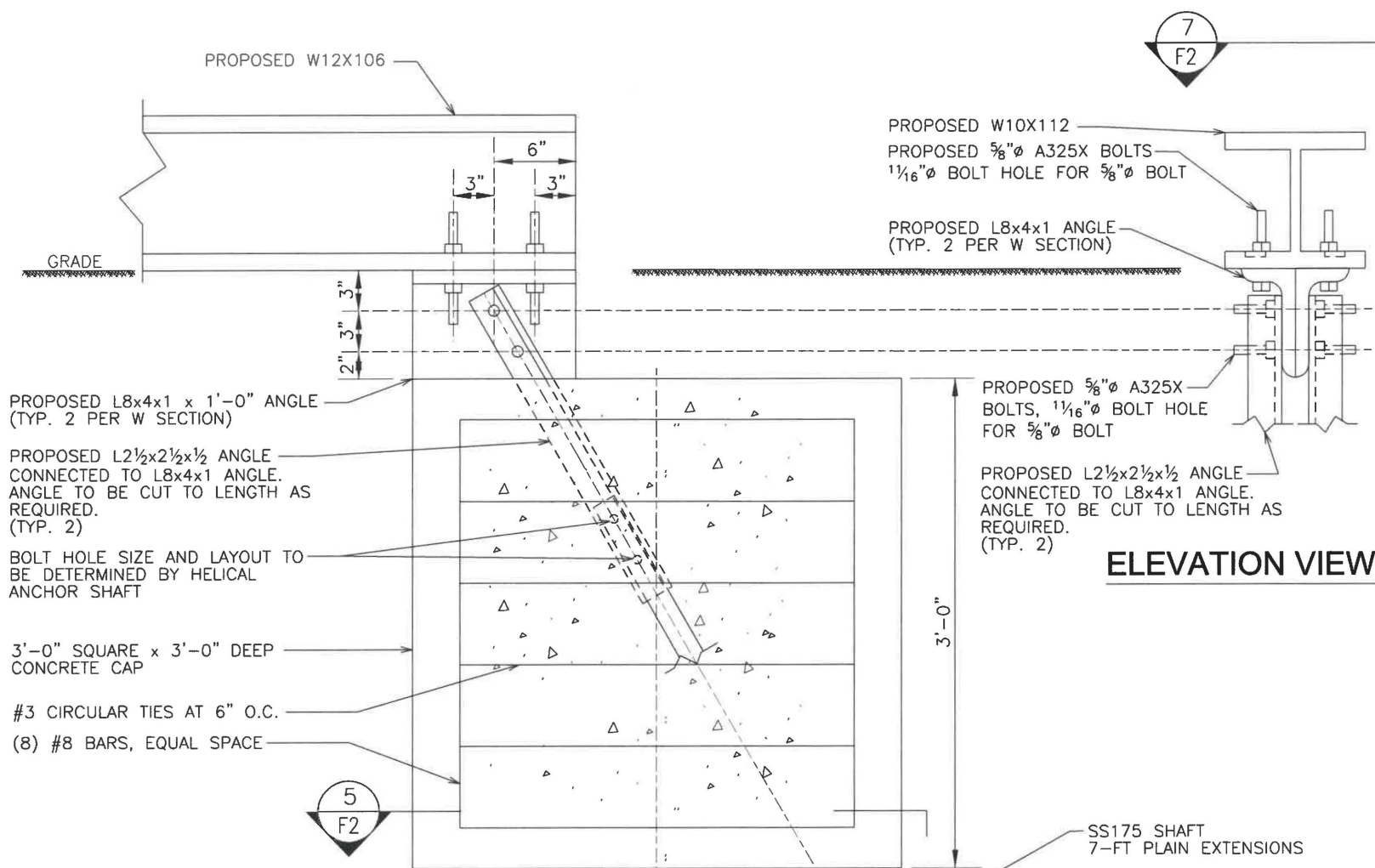
SHEET TITLE :
FOUNDATION DETAILS

SHEET NO. :
F-2

KCI JOB NO. : 011803950A



8.6.18



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lighthouse Monopole

DRB#: DRB-001909-2018

DATE: 08/16/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The monopole structure shall be painted light blue to blend with the sky.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The galvanized finish it not 'nature blending'. Consider a light blue.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Raymond Novello Company: RG Novello INC
 Mailing Address: 19 Coopers Hawk Rd City: Hilton Head Island State: SC Zip: 29926
 Telephone: (850) 519-3637 Fax: 855-718-5615 E-mail: Ramey@Novelloelectric.com

Project Name: Hilton Head South Beach Water Tank Project Project Address: 99 south sea pines drive Hilton Head SC 29928

Parcel Number [PIN]: R550- 019-0171 Zoning District: Overlay District(s):

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

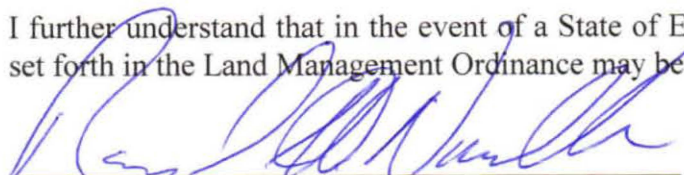
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

8/7/18
DATE

Electrical Design Consultants, LLC
31699 Chagrin Boulevard
Pepper Pike, OH 44124

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Islands, SC 29928
Attn: Chris Darnell, RLA

August 13, 2018

Dear Mr. Darnell,

South Island Public Service District (SIPSD) is preparing to paint maintenance on the South Beach and Lighthouse water tanks. SIPSD has hired a painting contractor to paint the interior and exterior of both elevated tanks. The existing exterior paint will be overcoat and thus not require any exterior containment structure or exterior sandblasting. Both tanks will be painted the same color as the existing paint color.

Both tanks have cellular carrier equipment located on the tanks which will need to be removed prior to the start of the painting projects. Temporary cellular towers will be installed near each tank to accommodate the cellular carrier equipment during the painting projects. Below please find the projected schedules for each tank.

South Beach Tank

Target Painting Start: October 1, 2018. Painting will last 75 days. End December 15, 2018

Removal of cellular carrier equipment (Four cellular carriers, AT&T, T-Mobile, Sprint, VZW). Relocation of carrier equipment from existing water tank to temporary pole will take four (4) weeks, with one (1) week scheduled per carrier.

- Temporary pole installation within 2 weeks from Town approval.
- Cellular carrier equipment relocation timeline from South Beach tank to temporary pole.
 - First week after setting the Temp pole
 - Second week after 1st carrier's equipment is relocated;
 - Third week after 2nd carrier's equipment is relocated;
 - Fourth week after 3rd carrier's equipment is relocated;

- Carrier equipment will go back on the tank one by one in the same fashion and timelines that the carriers came off the water Tank. Four (4) weeks total to move back on to the Water tank after painting is complete.
- Removal of temporary pole and restoration of land to original condition. – Two (2) weeks.

Lighthouse Tank

Target Painting Start: December 16, 2018. Painting will last 75 days. End March 1, 2019
Removal of cellular equipment (3 cellular carriers AT&T, T-Mobile, VZW)

- Temporary pole installation within 2 weeks
- Cellular carrier equipment relocation timeline from South Beach tank to temporary pole.
 - First week after setting the Temp pole
 - Second week after 1st carrier's equipment is relocated;
 - Third week after 2nd carrier's equipment is relocated;
- Carrier equipment will go back on the tank one by one in the same fashion and timelines that the carriers came off the water Tank. Four (4) weeks total to move back on to the Water tank after painting is complete.
- Removal of temporary pole and restoration of land to original condition. – Two (2) weeks.

Project Point of Contact

Electrical Design Consultants

Jason W. Smith
470-218-4537 Cell
855-718-5615 Fax
jws@graneto.com

Please let me know if you have any questions or concerns regarding the proposed schedule.

Respectfully

Jason W. Smith





Welcome to Lybee Island





**EDC TOWER—SEA PINES DRIVE
BORING LOCATION PLAN
HILTON HEAD, SOUTH CAROLINA**

DATE: 7-18-18	SCALE: NOT TO SCALE	JOB NO. XXXX
DRAWN BY:		FIGURE 2
CK'D BY:		



electrical design consultants

SOUTH SEA PINES TEMP POLE

SEA PINES #1

**SITE ADDRESS:
99 S. SEA PINES DR.
HILTON HEAD, SC 29928
COUNTY: BEAUFORT**

PROPOSED TEMPORARY MONOPOLE

CODES STATEMENT

THE CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION IN THE REGION WHERE THE WORK IS TO BE PERFORMED. THE CURRENT EDITION OF THE CODES AND STANDARDS IN EFFECT ON THE DATE OF AWARD OF CONTRACT SHALL GOVERN THE DESIGN PARAMETERS.

BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE WITH SC MODIFICATIONS.

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2014 EDITION.

MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE.

FIRE CODE: 2015 INTERNATIONAL FIRE CODE WITH SC MODIFICATIONS.

LIGHTNING PROTECTION CODE: NFPA 780 2017 EDITION.

THE CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318-14, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, AMERICAN INSTITUTE OF STEEL CONSTRUCTION, LRFD 14TH EDITION, TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES; TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR ELECTRONIC EQUIPMENT.

IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY C3 AND HIGH SYSTEM EXPOSURE.)

TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS, TELCORDIA GR-1503, COAXIAL CONNECTIONS, ANSI T1-311, FOR TELECOM DC POWER SYSTEMS AND TELECOM ENVIRONMENTAL PROTECTION.

PROJECT DESCRIPTION

- INSTALL TEMPORARY MONOPOLE AND REROUTE CABLING TO RELOCATED ANTENNAS WHILE CONSTRUCTION ON EXISTING WATERTANK TAKES PLACE.

DESIGN CRITERIA

DESIGN WIND SPEED:
141 MPH ULTIMATE (3-SECOND GUST)
109 MPH NOMINAL (3-SECOND GUST)

IMPORTANCE FACTOR: 1.0
EXPOSURE CATEGORY: C
RISK FACTOR: II



PROJECT DATA

JURISDICTION: BEAUFORT COUNTY

TOWER OWNER: SOUTH ISLAND PUBLIC SERVICE DISTRICT

CONTACT: EDDIE NETTLES
2 GENESTA STREET
HILTON HEAD ISLAND, SC 39938
(843) 816-3533

A&E FIRM: KCI TECHNOLOGIES
JAMES FENNELL, P.E.
JAMES.FENNELL@KCI.COM

SHEET INDEX

NO.	DATE	BY:
T-1	TITLE SHEET	0
N-1	GENERAL NOTES	0
C-1	EXISTING SITE PLAN	0
C-2	PROPOSED SITE PLAN	0
C-3	TOWER ELEVATION	0
C-3A	SECTOR PLANS	0
C-3B	EQUIPMENT INVENTORY	0
C-4	DETAILS	0
G-1	GROUNDING PLAN	0
G-2	GROUNDING DETAILS	0



**EDC SOUTH BEACH TEMP POLE
ALAMOSA**

**99 S. SEA PINES DR.
HILTON HEAD, SC 29928**

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CHECKED BY: L. VASQUEZ
APPROVED BY: J. FENNELL

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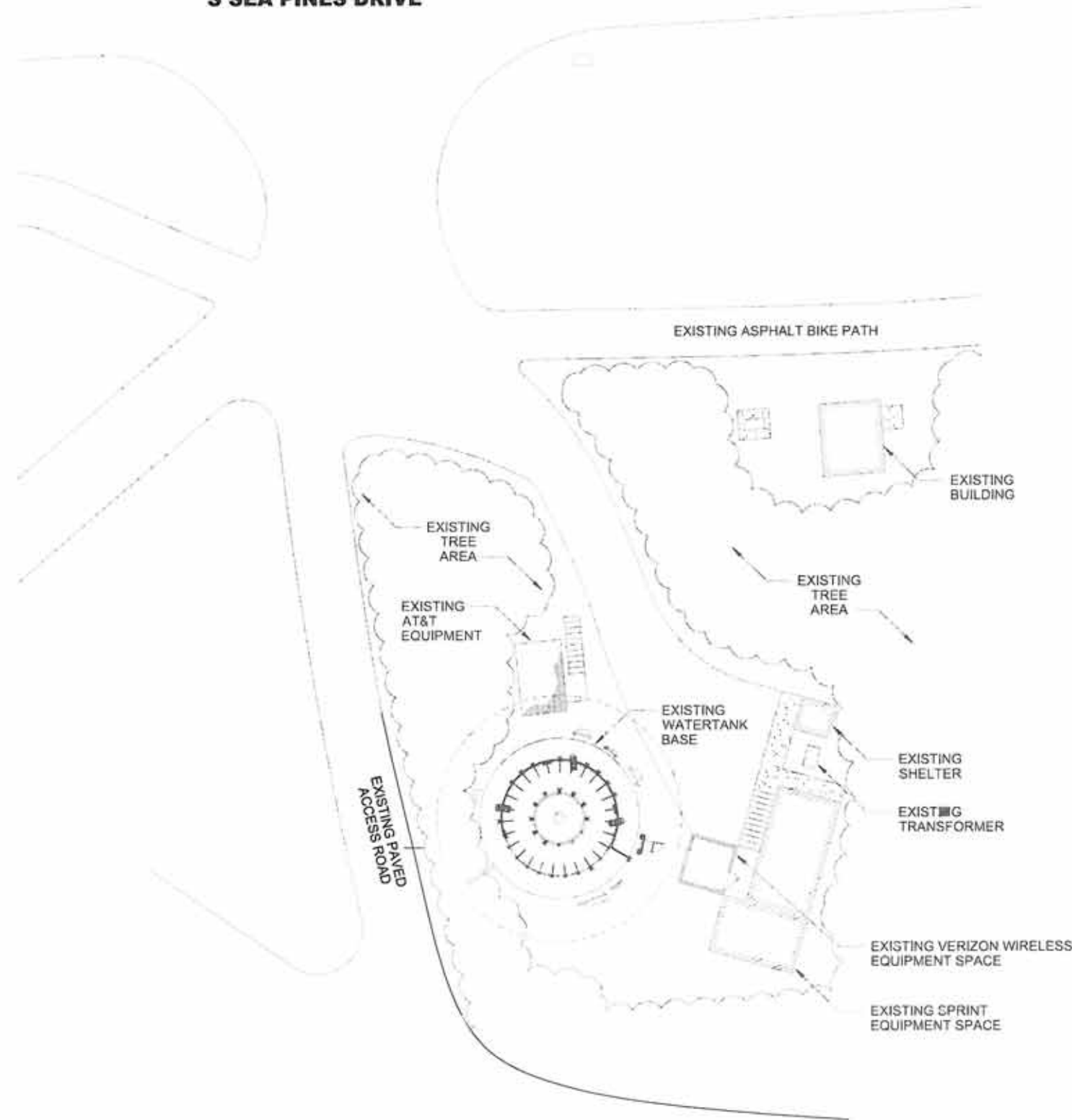


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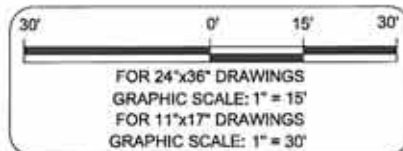
SHEET TITLE
TITLE SHEET

SHEET **T-1**

S SEA PINES DRIVE



EXISTING SITE PLAN
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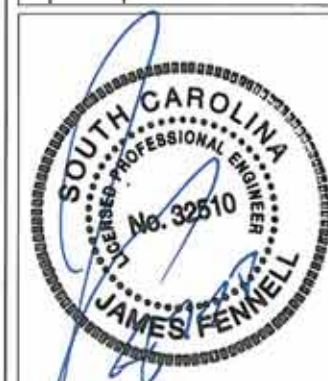
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SHEET TITLE

**EXISTING SITE
PLAN**

SHEET

C-1



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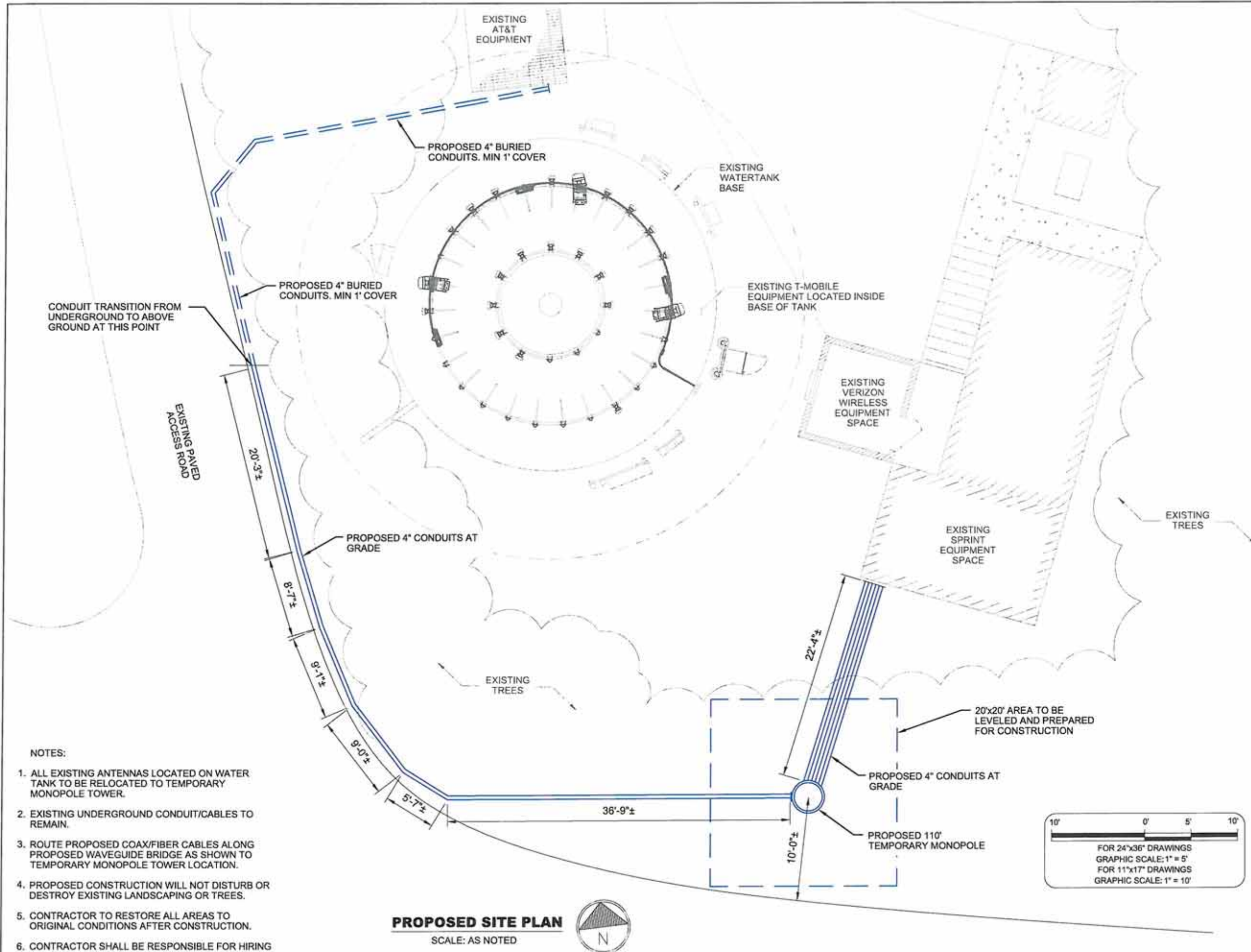
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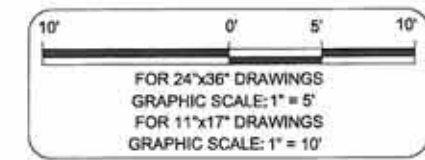
PROPOSED SITE PLAN

SHEET **C-2**



- NOTES:
1. ALL EXISTING ANTENNAS LOCATED ON WATER TANK TO BE RELOCATED TO TEMPORARY MONOPOLE TOWER.
 2. EXISTING UNDERGROUND CONDUIT/CABLES TO REMAIN.
 3. ROUTE PROPOSED COAX/FIBER CABLES ALONG PROPOSED WAVEGUIDE BRIDGE AS SHOWN TO TEMPORARY MONOPOLE TOWER LOCATION.
 4. PROPOSED CONSTRUCTION WILL NOT DISTURB OR DESTROY EXISTING LANDSCAPING OR TREES.
 5. CONTRACTOR TO RESTORE ALL AREAS TO ORIGINAL CONDITIONS AFTER CONSTRUCTION.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING ALL 3RD PARTY SPECIAL INSPECTIONS AS REQUIRED BY JURISDICTION.

PROPOSED SITE PLAN
SCALE: AS NOTED

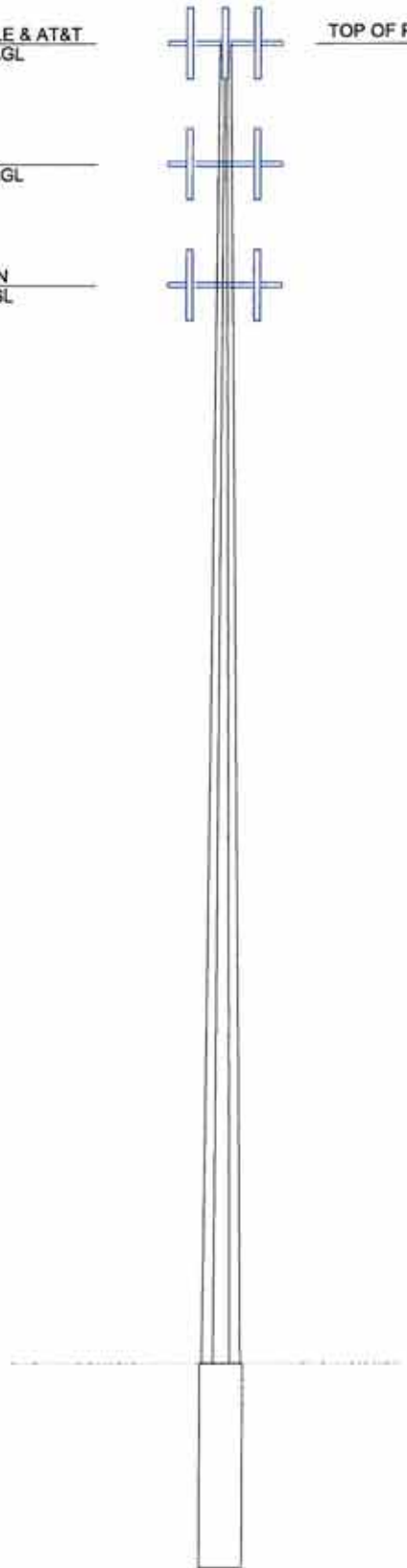


PROPOSED T-MOBILE & AT&T
ANTENNAS @ 110' AGL

PROPOSED SPRINT
ANTENNAS @ 100' AGL

PROPOSED VERIZON
ANTENNAS @ 90' AGL

TOP OF PROPOSED TOWER @ 110' AGL



NOTE:
EXISTING EQUIPMENT NOT
SHOWN FOR CLARITY

TOWER ELEVATION
NOT TO SCALE



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ALAMOSA**

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DATE: 06/29/18

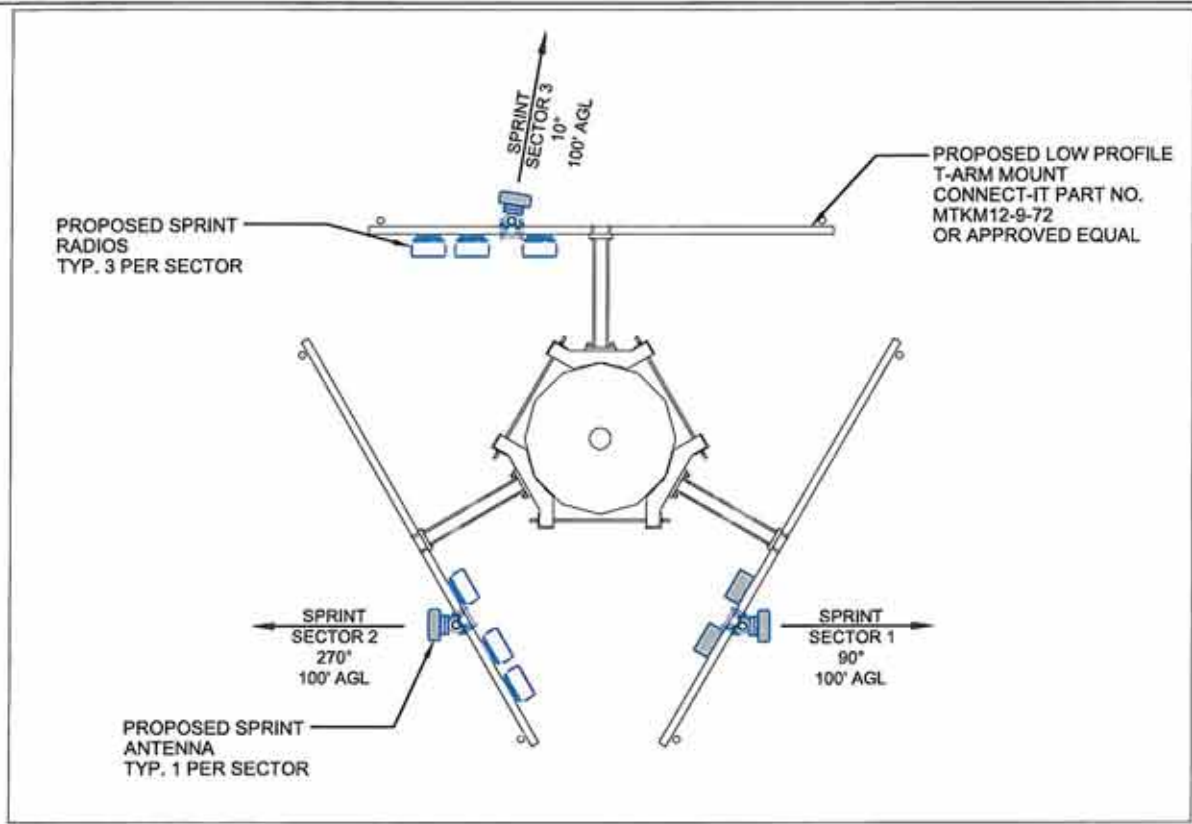
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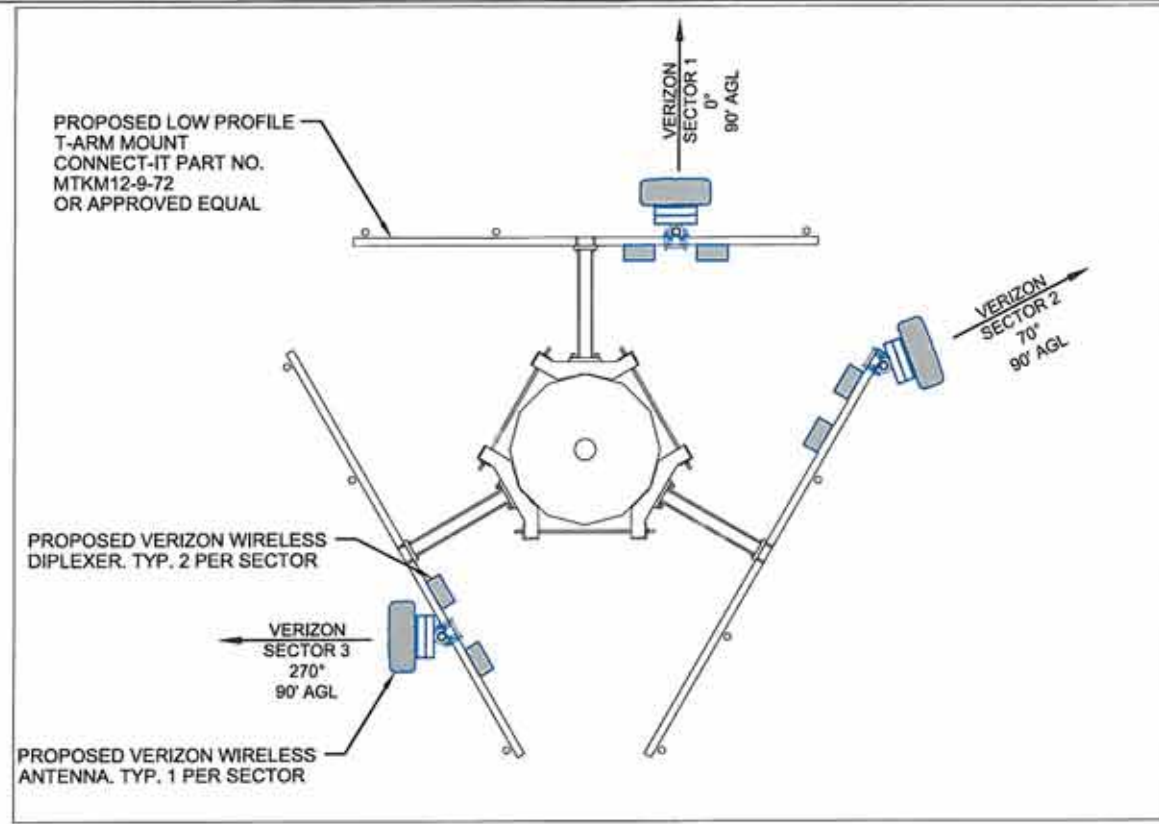
**TOWER
ELEVATION**

SHEET

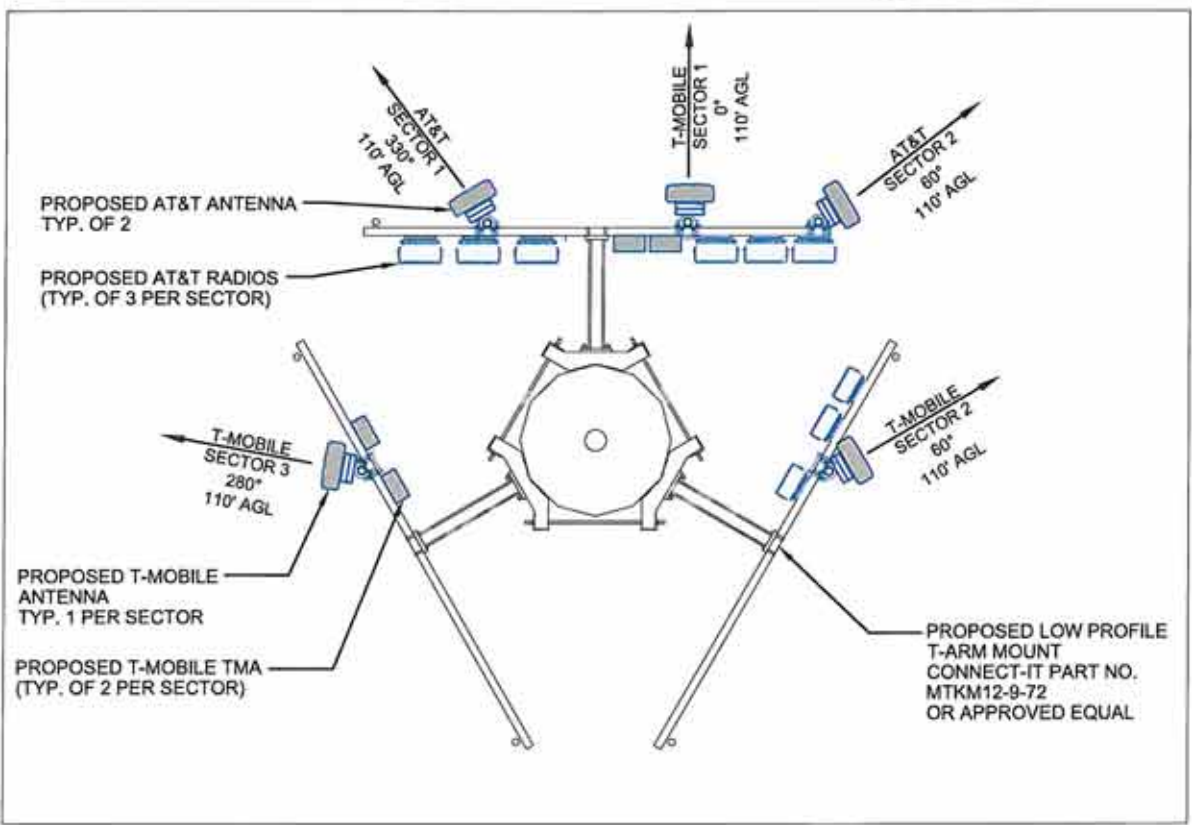
C-3



ANTENNA SECTOR PLAN - SPRINT
NOT TO SCALE



ANTENNA SECTOR PLAN - VERIZON WIRELESS
NOT TO SCALE



ANTENNA SECTOR PLAN - T-MOBILE & AT&T
NOT TO SCALE



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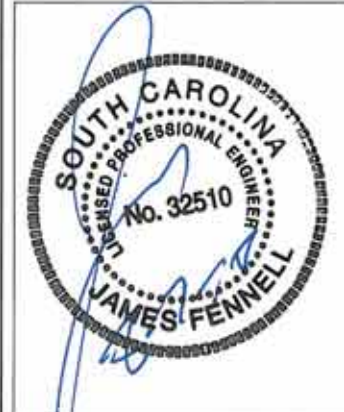
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SHEET TITLE
SECTOR PLANS

SHEET
C-3A



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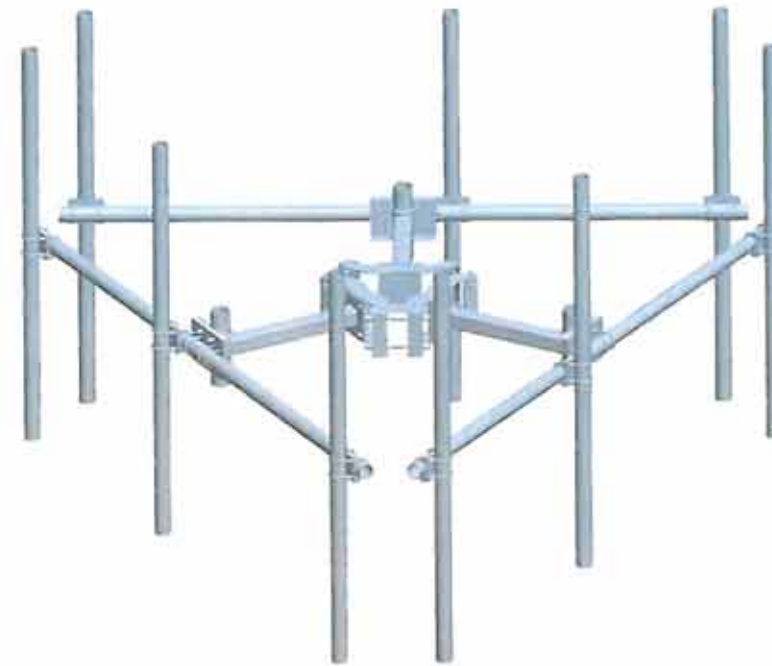
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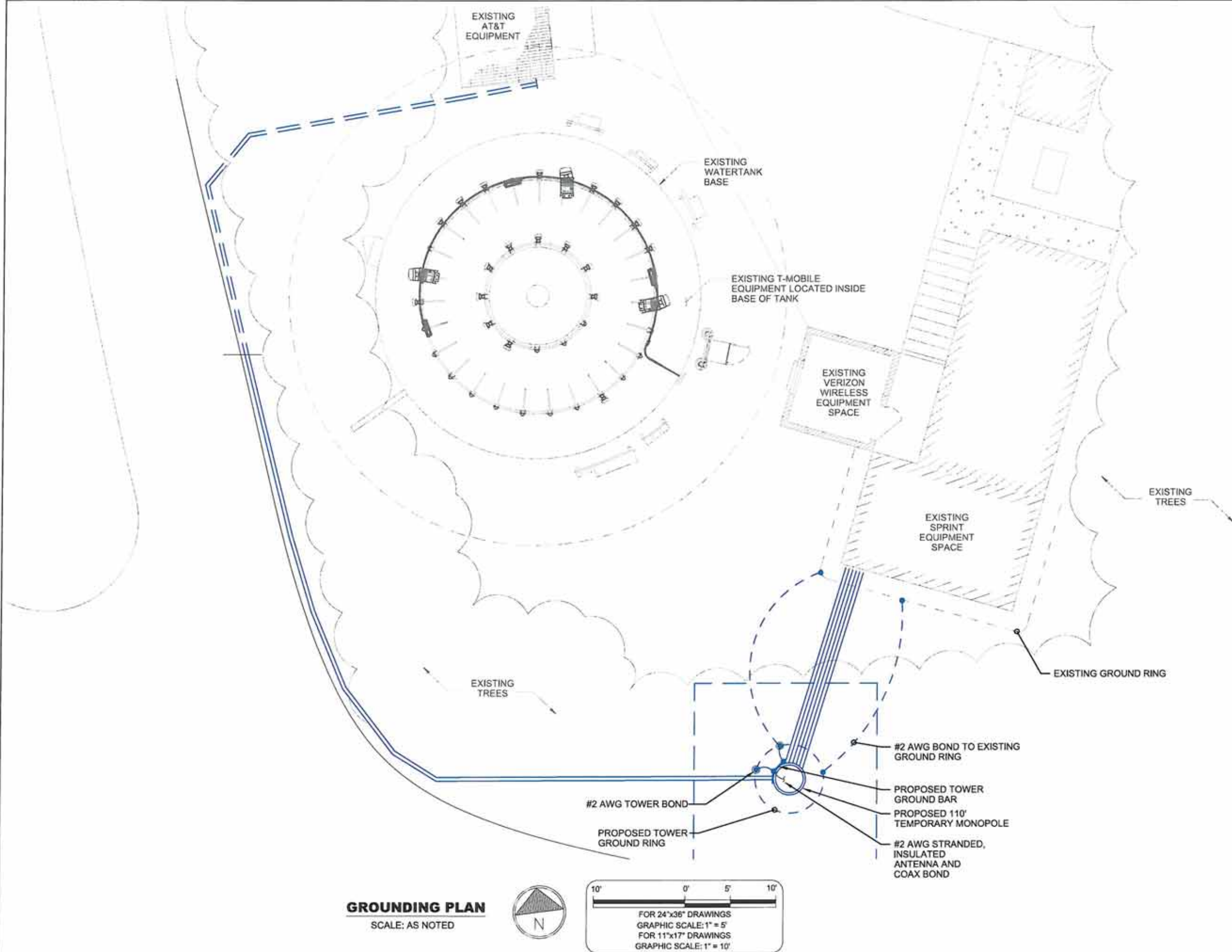
SHEET TITLE
DETAILS

SHEET
C-4

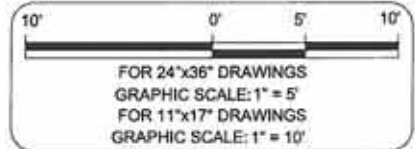


T-ARM KIT ANTENNA MOUNT

NOT TO SCALE
CONNECT-IT PART NO. MTKM12-9-72



GROUNDING PLAN
SCALE: AS NOTED



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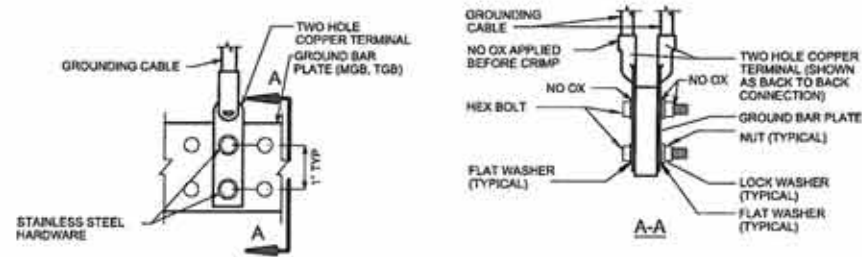
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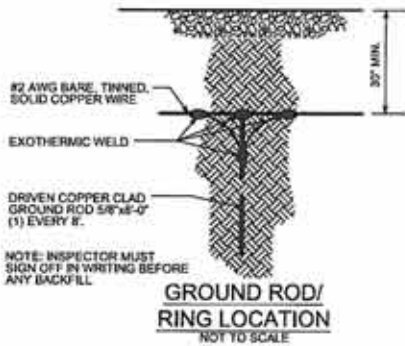
SHEET TITLE
GROUNDING PLAN

SHEET
G-1



ELEVATION GROUND BAR CONNECTION
NOT TO SCALE

NOTE:
DOUBLING UP OR 'STACKING' OF CONNECTIONS IS NOT PERMITTED.
OXIDE-INHIBITING JOINT COMPOUND TO BE USED ON ALL CONNECTIONS.
BACK TO BACK CONNECTIONS SHALL BE USED ONLY WHEN NUMBER OF CONNECTIONS TO FRONT OF BAR EXCEEDS NUMBER OF AVAILABLE SPACES.

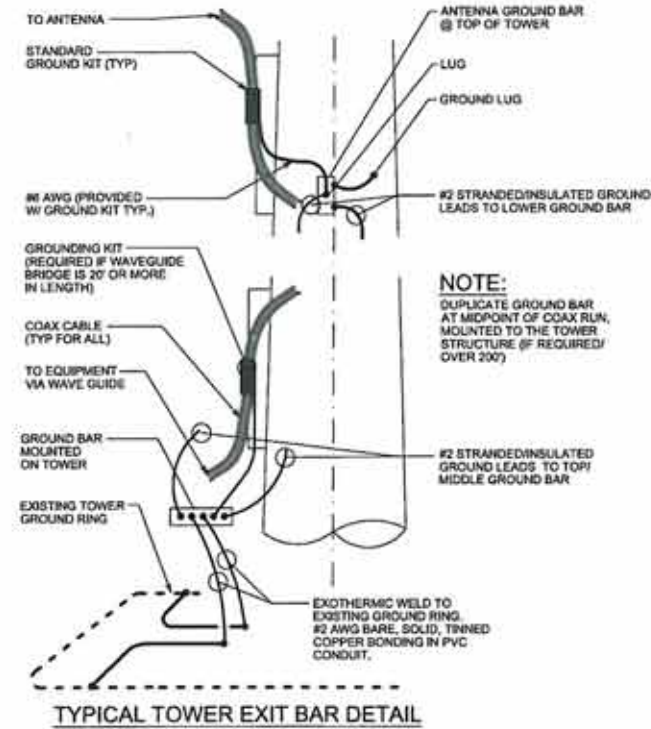


GROUND ROD/RING LOCATION
NOT TO SCALE

NOTE: INSPECTOR MUST SIGN OFF IN WRITING BEFORE ANY BACKFILL

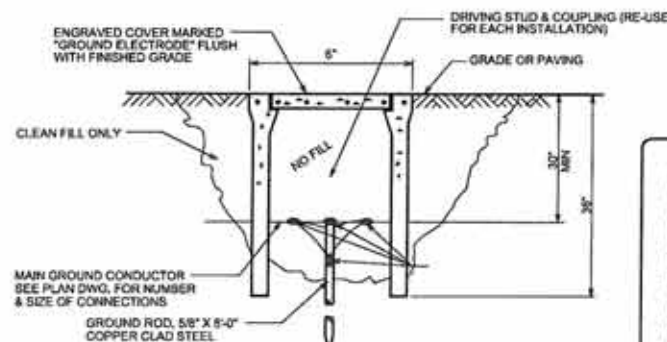
GROUNDING NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE USING EXOTHERMIC WELD PROCESS (EAD WELD OR EQUAL) EXCEPT FOR EQUIPMENT CONNECTIONS WHICH ARE MECHANICALLY FASTENED. ALL LUGS SHALL BE TWO HOLE, LONG BARREL TYPE, FOR COPPER, UNLESS OTHERWISE NOTED.
2. ALL GROUND RODS SHALL BE A MINIMUM OF 8 FEET LONG, COPPER CLAD STEEL (302 OR 304), 5/8" DIAMETER, DRIVEN VERTICALLY DOWN WITH TOPS 30" MIN. BELOW GRADE. USE SHIELDS TO PREVENT 'MUSHROOMING' ROD TOPS.
3. ALL GROUND CONDUCTORS SHALL BE BARE, TINNED, SOLID COPPER WIRE, SIZED #2 AWG., RUN 30" MINIMUM BELOW GRADE.
4. GROUND RODS FOR GROUND RING SHALL BE LOCATED 8' APART.
5. ANY METAL OBJECT WITHIN 6 FEET OF THE TOWER OR EQUIPMENT GROUND RING SHALL BE BONDED DIRECTLY TO THE RING.
6. THE MINIMUM BENDING RADIUS FOR ALL GROUND CONDUCTORS NO. 6 AWG OR SMALLER SHALL BE 8". CONDUCTOR LARGER THAN NO. 6 SHALL HAVE A 12" BENDING RADIUS.
7. ALL ABOVE GRADE GROUND CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD EARTH AND HORIZONTAL ONLY WHERE NECESSARY WITH NO LOOP BACKS.
8. ALL CONDUCTORS SHALL BE ROUTED SUCH THAT THERE ARE NO ANGLES OF LESS THAN 90 DEGREES.
9. COMPLETED GROUND SYSTEMS SHALL BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. IF RESISTANCE VALUE IS EXCEEDED, NOTIFY OWNER FOR FURTHER INSTRUCTIONS. SUBMIT A COPY OF THE TEST REPORT TO THE OWNER.
10. ALL GROUNDING SHALL COMPLY WITH NFPA 70 (NEC) AND NFPA 780, "LIGHTNING PROTECTION CODE".
11. ALL GROUNDING COMPONENTS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR.
12. ANY METAL CONDUIT MOUNTED ON THE TOWER SHALL BE BONDED TO THE TOWER AT EACH END.
13. ALL GROUNDING SHALL COMPLY WITH NORTEL STANDARD CS4122, "GROUNDING OF COMMUNICATIONS SYSTEMS" & T-MOBILE BTS GROUNDING GUIDELINES.
14. THERE SHALL BE AN GROUND BAR LOCATED AT TOP AND MIDDLE OF THE TOWER. BOND BAR TO TOWER WITH A #2 SOLID COPPER CONDUCTOR. CONNECT BAR END WITH 2-HOLE LUG. CONNECT TOWER END WITH A 2-HOLE LUG AND DRAGON TOOTH WASHER. BOND COAX SHIELD GROUND JUMPERS TO GROUND BAR.
15. BOND ANTENNA MOUNT TO TOWER STEEL WITH A #2 BARE, TINNED, SOLID COPPER CONDUCTOR, (2-HOLE LUG AT EACH END)
16. ALL GROUND BARS SHALL BE COPPER 4" X 24" X 1/4" WITH PRE-DRILLED HOLES TO MATCH TWO HOLE LUGS. GROUND BARS SHALL NOT BE FIELD FABRICATED OR DRILLED. HARDWARE SHALL BE 3/8". STAINLESS STEEL, NO ZINC COATED MATERIAL ALLOWED. MOUNT ALL GROUND BARS PARALLEL TO THE EARTH.



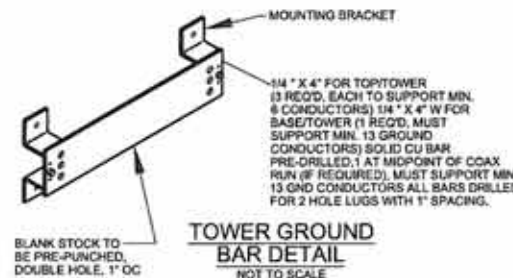
TYPICAL TOWER EXIT BAR DETAIL
NOT TO SCALE

NOTES:
1. NUMBER OF GROUND BARS MAY VARY DEPENDING ON THE TYPE OF TOWER, ANTENNA LOCATION AND CONNECTION ORIENTATION. PROVIDE AS REQUIRED. (MONOPOLE SHOWN).
2. COAX CABLE INSTALLATION SHOWN. IF HYBRID CABLES ARE INSTALLED, GROUNDING REQUIREMENTS WILL CHANGE.

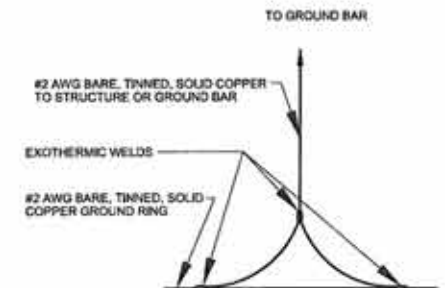


GROUND INSPECTION WELL DETAIL
NOT TO SCALE

NOTE:
DUE TO THE INDEPENDENT NATURE OF BOTH THE SERVICE GROUND AND THE EQUIPMENT BOND SYSTEM, THE CONTRACTOR SHALL TEST BOTH SYSTEMS AFTER INSTALLATION AND SHALL SHOW THAT BOTH SYSTEMS MEET THE 5 OHM OR LESS CRITERIA AND THAT THERE IS NO POTENTIAL DIFFERENCE BETWEEN THE TWO.
NOTE THAT SOME JURISDICTIONS MAY REQUIRE A PHYSICAL CONNECTION BETWEEN THE 2 SYSTEMS. IN THESE CASES THE CONTRACTOR SHALL COMPLY BY CONNECTING THE 2 WITH A SINGLE CONDUCTOR, #2 AWG, BARE, TINNED, SOLID COPPER CONNECTED BY EXOTHERMIC WELD AT BOTH ENDS.



TOWER GROUND BAR DETAIL
NOT TO SCALE



GROUND BAR TO GROUND RING CONNECTION DIAGRAM
NOT TO SCALE



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**EDC SOUTH BEACH TEMP POLE
ALAMOSA**

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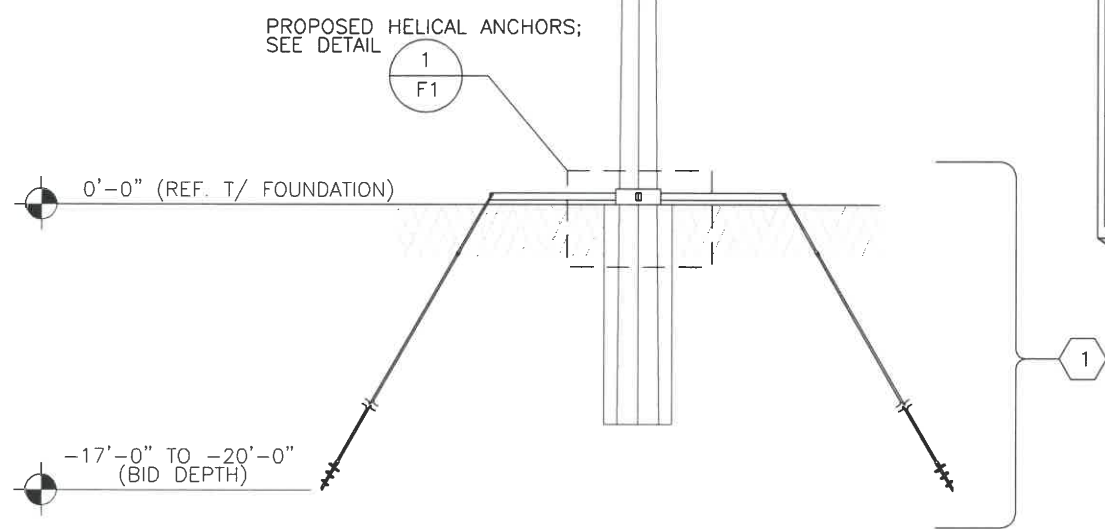
**SHEET TITLE
GROUNDING
DETAILS**

SHEET **G-2**

NOTE TO SUBCONTRACTOR:
 ALL MODIFICATIONS ARE ASSUMED TO BE MADE ON AN EMPTY TOWER. THIS MEANS THAT THE CONTRACTOR IS RESPONSIBLE TO MAKE PROVISIONS TO SUPPORT OR WORK AROUND EXISTING ANTENNAS AND TRANSMISSION LINES. MODIFICATIONS MUST BE CONTINUOUS THROUGH ALL AREAS SHOWN.

TEMPORARY POLE AND ALL ABOVE GRADE MODIFICATIONS SHALL BE REMOVED UPON COMPLETION OF WATER TANK MAINTENANCE.

PROPOSED 125'-0" MONOPOLE WITH 16'-0"± EMBEDDED (PER PLANS BY UTILITY POLE SOLUTIONS)



TOWER ELEVATION
 SCALE: 1" = 15'-0"

THIS DRAWING NOT SUITABLE FOR SCALING

TOWER MODIFICATION SCHEDULE

NO.	MODIFICATION DESCRIPTION	BOTTOM ELEVATION (FT.)	TOP ELEVATION (FT.)
1	PROPOSED HELICAL ANCHORS	-17 TO -20	0

DESIGN LOADING

LOADING CASE	CODE	WIND SPEED AND ICE LOADING
1	ANSI/TIA-222-G & 2015 INTERNATIONAL BUILDING CODE FOR BEAUFORT COUNTY, SOUTH CAROLINA	141 MPH (ULTIMATE 3 SECOND GUST), NO ICE *109 MPH (NOMINAL 3 SECOND GUST), NO ICE
2	ANSI/TIA-222-G FOR BEAUFORT COUNTY, SOUTH CAROLINA	30 MPH (3 SECOND GUST), 1/2" RADIAL ICE

*- CONVERSION BASED ON 2015 INTERNATIONAL BUILDING CODE, SECTION 1609.1.1 DETERMINATION OF WIND LOADS, EXCEPTION 5.

PROPOSED APPURTENANCES

NUMBER	ELEVATION	CARRIER	MOUNT	ANTENNA INFORMATION	TRANSMISSION LINES
1	100'	SPRINT	T-ARMS	(3)- ET-X-TW-73-15-63 (3)- 1900 RRH (3)- 800 RRH (3)- 2500 MM	*(18)- FIBER
2	110'	T-MOBILE	T-ARMS	(3)- COMMSCOPE-SBNH-1D65C (3)- FXFC (3)- FRBG	*(12)- 1 5/8"
3	110'	AT&T	T-ARMS	(3)- COMMSCOPE-SBJAH4-1D65C-DL (3)- RRUS-11 (3)- RRUS-12 (3)- 4426-B66	*(12)- FIBER
4	90'	VERIZON	T-ARMS	(3)- COMMSCOPE-NHH-45C-R2B-04DT-0080 PANEL ANTENNAS (3)- RRUS-32 B4 (6)- CBC426T-DS-43	*(12)- 7/8"

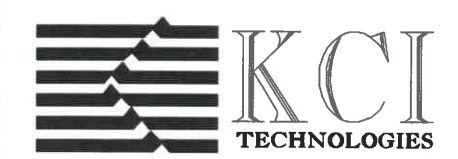
*- DENOTES TRANSMISSION LINES RUN OUTSIDE THE MONOPOLE IN A FLUSH CONFIGURATION. SPRINT'S, T-MOBILE'S, AND AT&T'S PROPOSED TRANSMISSION LINES SHALL BE MOUNTED INSIDE THE MONOPOLE.

NOTE:
 ELEVATIONS MAY VARY BASED ON ACTUAL EMBEDMENT DEPTH



DATE OF ORIGATION : 08/06/2018
 DRAWN BY : DFK
 CHECKED BY : ESK

REVISIONS	
NO.	DESCRIPTION
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3	
4	



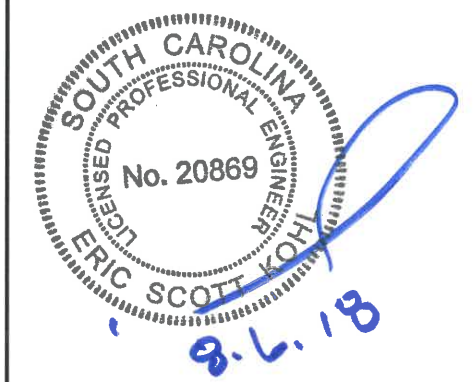
KCI TECHNOLOGIES, INC
 4505 FALLS OF NEUSE ROAD,
 SUITE 400
 RALEIGH, NC 27609
 (919)783-9214

PROJECT NAME :
**S. SEA PINES
 BEAUFORT COUNTY, SC**

SHEET TITLE :
TOWER ELEVATION

SHEET NO. :
S-1

KCI JOB NO. : 011803950 B



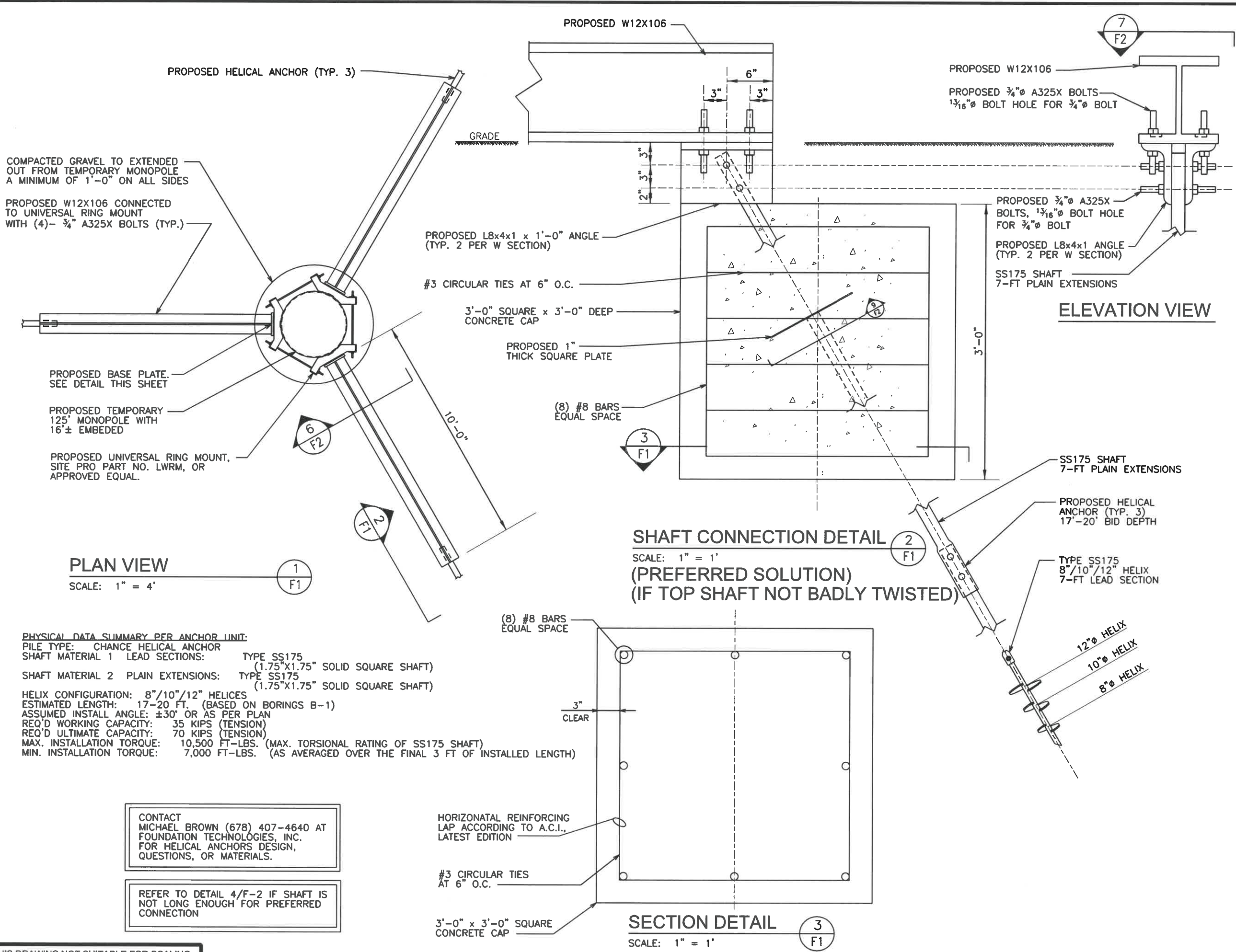
NO.	DESCRIPTION
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2	
3	
4	

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KCI TECHNOLOGIES, INC
4505 FALLS OF NEUSE ROAD,
SUITE 400
RALEIGH, NC 27609
(919)783-9214

PROJECT NAME :
S. SEA PINES
BEAUFORT COUNTY, SC

SHEET TITLE :
FOUNDATION DETAILS

SHEET NO. :
F-1
KCI JOB NO. : 011803950 B



PHYSICAL DATA SUMMARY PER ANCHOR UNIT:
PILE TYPE: CHANCE HELICAL ANCHOR
SHAFT MATERIAL 1 LEAD SECTIONS: TYPE SS175 (1.75"x1.75" SOLID SQUARE SHAFT)
SHAFT MATERIAL 2 PLAIN EXTENSIONS: TYPE SS175 (1.75"x1.75" SOLID SQUARE SHAFT)
HELIX CONFIGURATION: 8"/10"/12" HELICES
ESTIMATED LENGTH: 17-20 FT. (BASED ON BORINGS B-1)
ASSUMED INSTALL ANGLE: ±30° OR AS PER PLAN
REQ'D WORKING CAPACITY: 35 KIPS (TENSION)
REQ'D ULTIMATE CAPACITY: 70 KIPS (TENSION)
MAX. INSTALLATION TORQUE: 10,500 FT-LBS. (MAX. TORSIONAL RATING OF SS175 SHAFT)
MIN. INSTALLATION TORQUE: 7,000 FT-LBS. (AS AVERAGED OVER THE FINAL 3 FT OF INSTALLED LENGTH)

CONTACT MICHAEL BROWN (678) 407-4640 AT FOUNDATION TECHNOLOGIES, INC. FOR HELICAL ANCHORS DESIGN, QUESTIONS, OR MATERIALS.

REFER TO DETAIL 4/F-2 IF SHAFT IS NOT LONG ENOUGH FOR PREFERRED CONNECTION

NO.	DESCRIPTION
1	
2	
3	
4	



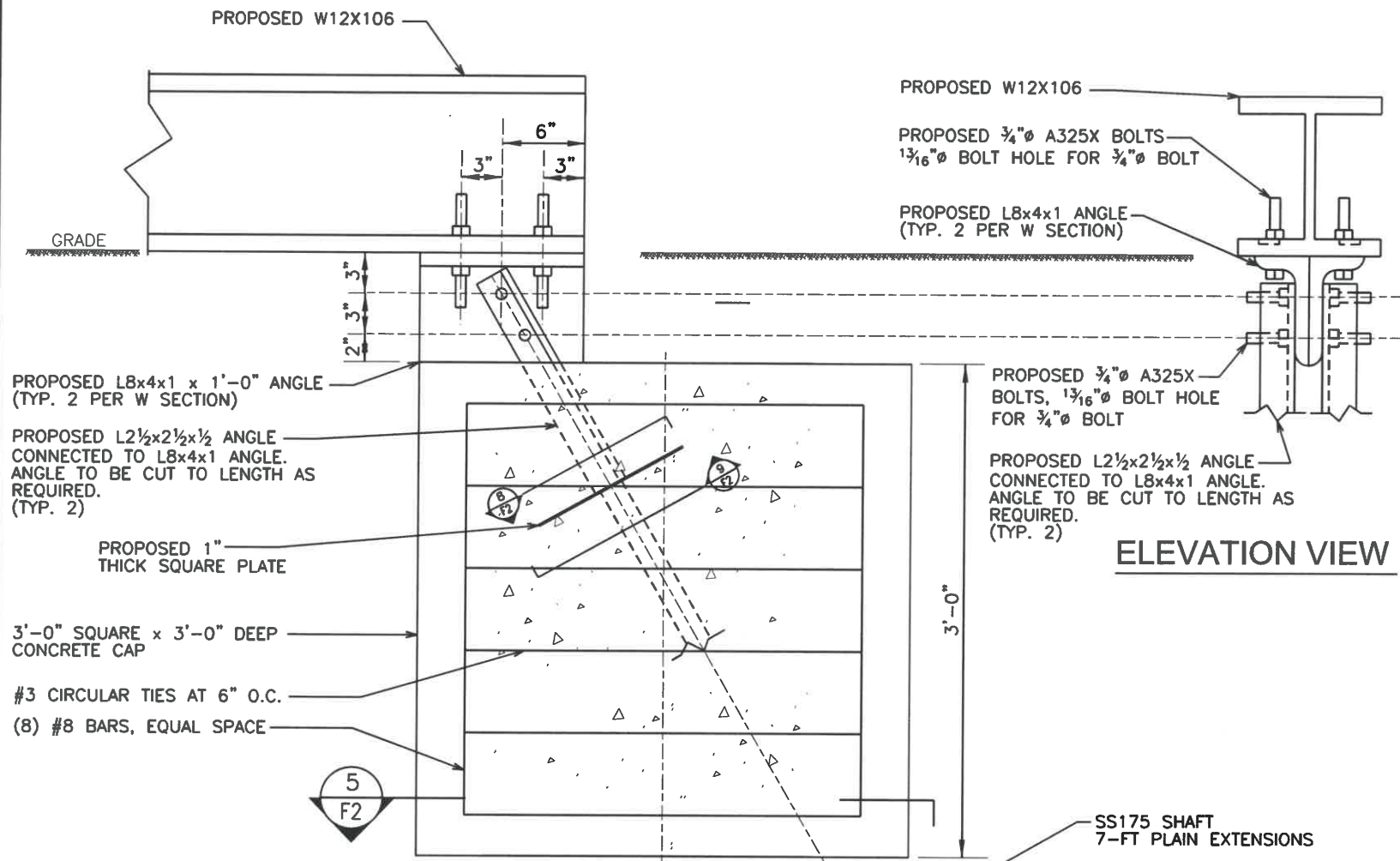
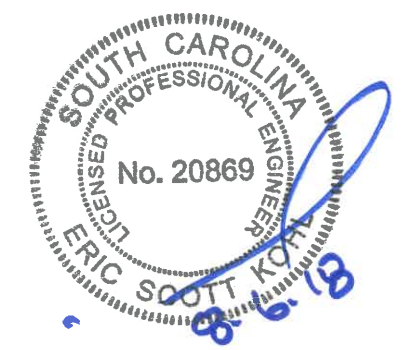
KCI TECHNOLOGIES, INC
4505 FALLS OF NEUSE ROAD,
SUITE 400
RALEIGH, NC 27609
(919)783-9214

PROJECT NAME :
**S. SEA PINES
BEAUFORT COUNTY, SC**

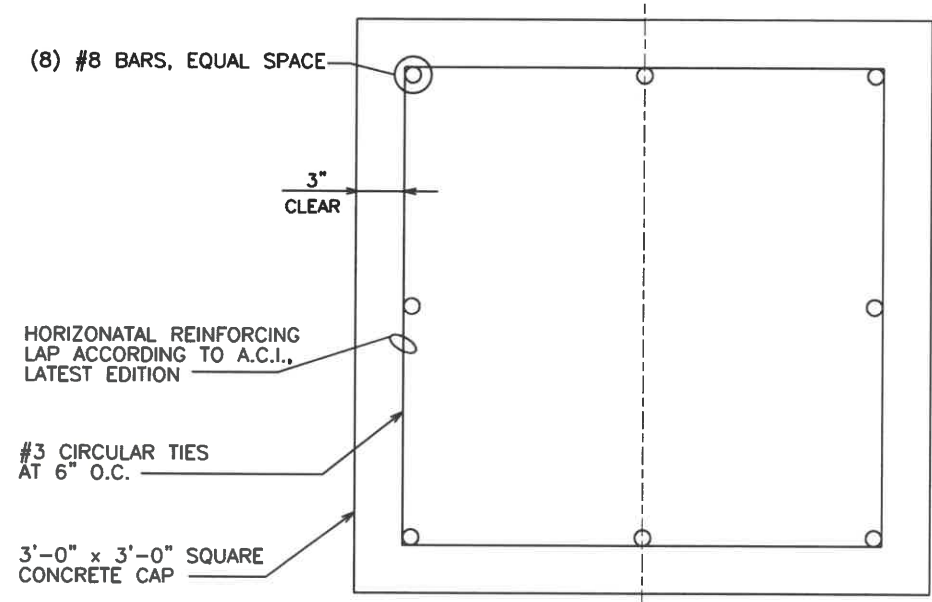
SHEET TITLE :
FOUNDATION DETAILS

SHEET NO. :
F-2

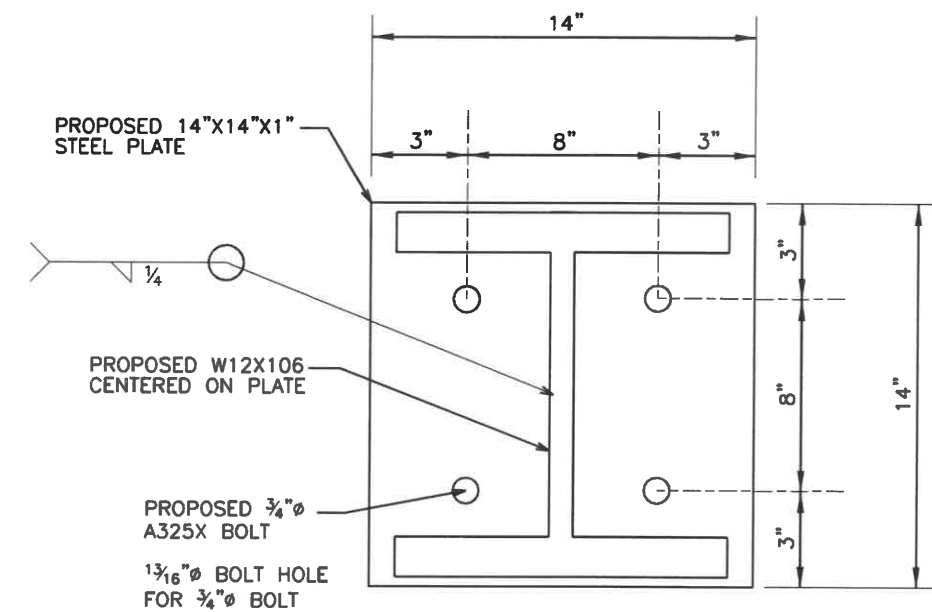
KCI JOB NO. : 011803950 B



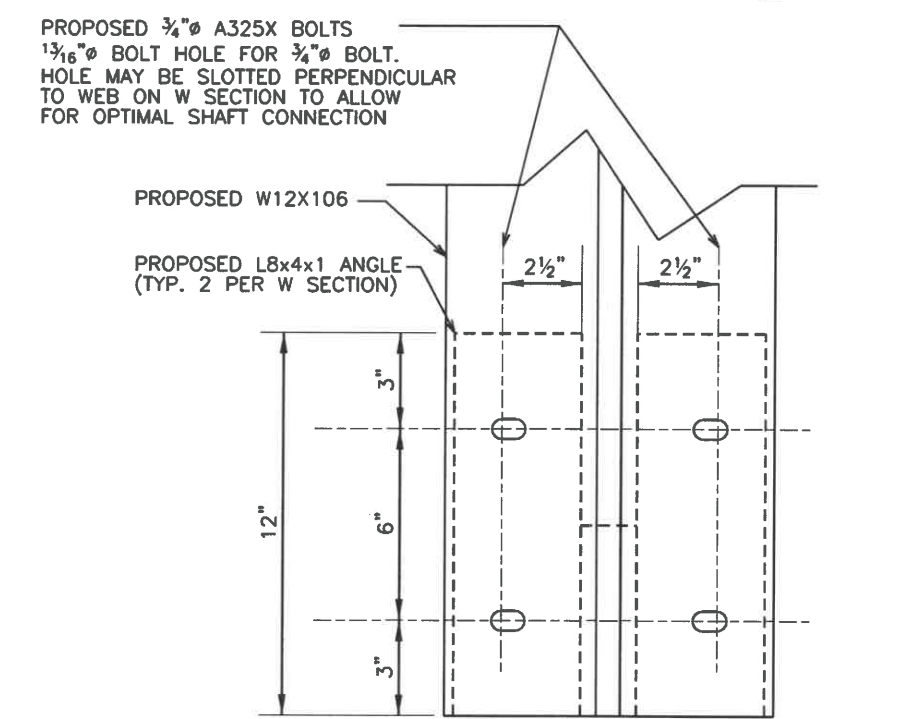
SHAFT CONNECTION DETAIL
SCALE: 1" = 1"
(OPTIONAL SOLUTION)



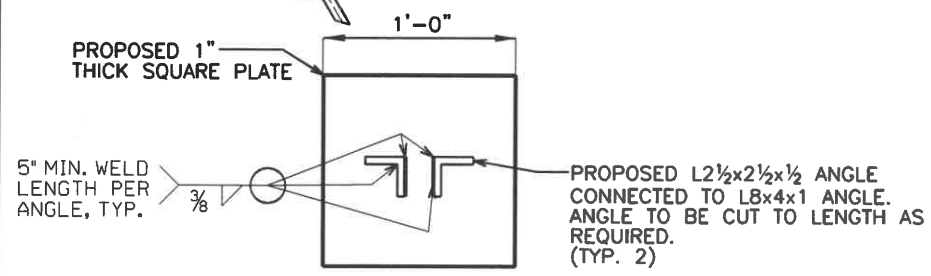
SECTION DETAIL
SCALE: 1" = 1"



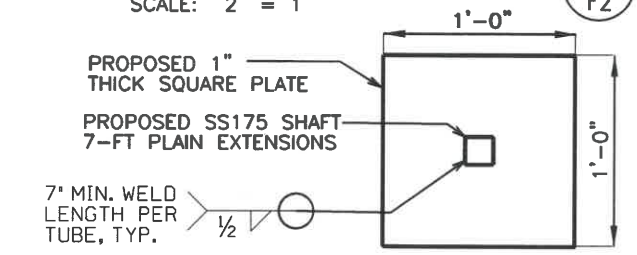
BASE PLATE DETAIL
SCALE: 2" = 14"



CONNECTION DETAIL
SCALE: 2" = 1"



CONNECTION DETAIL
SCALE: 2" = 1"



CONNECTION DETAIL
SCALE: 2" = 1"

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: South Sea Pines Monopole

DRB#: DRB-001909-2018

DATE: 08/16/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The monopole structure shall be painted light blue to match the adjacent existing water tower.
2. Provide a Landscape Plan to replace the vegetation removed to install the footer and pole after the pole is removed to be reviewed and approved by Staff.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The galvanized finish it not 'nature blending'. Consider a light blue finish.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The vegetation in this area screens the water tower and adjacent building. Provide a plan to replace the existing vegetation removed for installation of the monopole footer.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Gretchen Callejas Company: Felder & Associates
 Mailing Address: 2514 Abercorn Street, Suite 110 City: Savannah State: GA Zip: 31401
 Telephone: 912-777-3979 Fax: _____ E-mail: gretchen@felderassociates.net
 Project Name: Hargray Retail (Building A) Project Address: 862 William Hilton Parkway
 Parcel Number [PIN]: R5 5 0 0 1 1 0 0 0 1 5 3 0 0 0 0
 Zoning District: LC Overlay District(s): COD- ROW Arterial

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ** A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

8.14.18

DATE

** We have requested samples from the Nichiha



2514 ABERCORN STREET ○ SUITE 110 ○ SAVANNAH GEORGIA 31401 ○ 912-777-3979
GA 8847 SC 5791 FL 17550 AL 6279

August 14, 2018

Chris Darnell
Urban Designer, Town of Hilton Head
Developmental Review and Zoning Division
Town of Hilton Head, SC
chrisda@hiltonheadislandsc.gov
843-341-4676

Re: Hargray Retail - Building A
862 William Hilton Parkway.

Mr. Darnell,

Please find attached drawings for improvements to 862 William Hilton Parkway. The building owner, Hargray Communications, will be renovating the first floor of the existing building to house their retail showroom and offices. The majority of the changes are interior with a few exceptions. A new entrance portal is planned for the retail entry. Other exterior modifications include repairs to the existing portico with new roofing, structural repairs, updated finishes and new paint. Final signage will be submitted by others.

The project is part of an existing developed site. The topography, setbacks and buffers are existing and will remain. The site is well vegetated with understory and trees. All existing trees will remain. The parking layout is existing and will remain.

The existing two-story office building was constructed in 1983. An existing retail space is located on the first floor. The retail space is currently vacant, but renovations will be occurring over the next couple months. The roof and mass of the existing building shall remain. The proposed exterior modifications are limited to the one-story portico along the southeast façade facing William Hilton Parkway. The existing portico is currently broken up into three sections. Each of the existing structures are deteriorated and in need of structural repair; as well as cosmetic updating. The existing structure is comprised of stucco columns supporting a glass roof structure. A new simple sloped Kalwall translucent panel roof will be installed at the existing structure; along with new beams bracing back to the building. A new Kalwall canopy with translucent panels will span between the existing portico. The new canopies will create an extension the portico along the entire front of the building to create a more pedestrian friendly front façade.

The east covered entryway will be modified to create a more defined retail entrance. This will be the main public entrance for the building. The new architectural feature will be a one-story entrance portal constructed of structural steel with metal framing. The framing will be skinned in Nichiha architectural wall panels. The Nichiha panels will also clad the upper section of the existing portico structures to help create a cohesive portico/walkway.

Fiberglass products are being used within the new developments just to the North and South of our project. These fiberglass panels are part of a brand defining upgrade to Hargray's architecture. The colors of the entrance portal have been modified to meet the local characteristic of the Town of Hilton Head. We recognize the red hues typically used within Hargray Communication logos and elements are contextually too saturated for this site and neighboring buildings. We have selected to use red earth tones as an accent color to the overall building color scheme. The main structure will remain a tan color in keeping with surrounding architecture. The new paint will match existing.

This application is accompanied by all required information. We trust that you and members of the Design Review Board will find our presentation acceptable and along with our clients, we look forward to working you on this project. Please call if you have any questions or if additional information is required.

Thanks so much,

A handwritten signature in blue ink that reads "Gretchen O. Callejas". The signature is fluid and cursive, with the first name being the most prominent.

Gretchen O Callejas, AIA
Project Architect
Felder & Associates

Cc: Owner, Design Team, File

Attachments:

- Application
- Photos of Surrounding Buildings
- Photos of the Existing Building
- Architectural Drawings of Proposed Changes
 - AS1.1 Architectural Site Plan
 - A1.1 Floor Plan
 - A1.3 Partial Roof Plan at Portico
 - A3.0 Existing Elevations
 - A3.1 Proposed Elevations
 - A3.2 Exterior Perspectives
 - A5.1 Entrance Portal Details







5







LOCATION OF
NEW ENTRANCE
PORTAL

SOUTHEAST CORNER



SOUTHWEST CORNER



862 A

COLUMN TO BE REMOVED

LOCATION OF NEW ENTRANCE PORTAL (STRUCTURE TO BE MODIFIED)

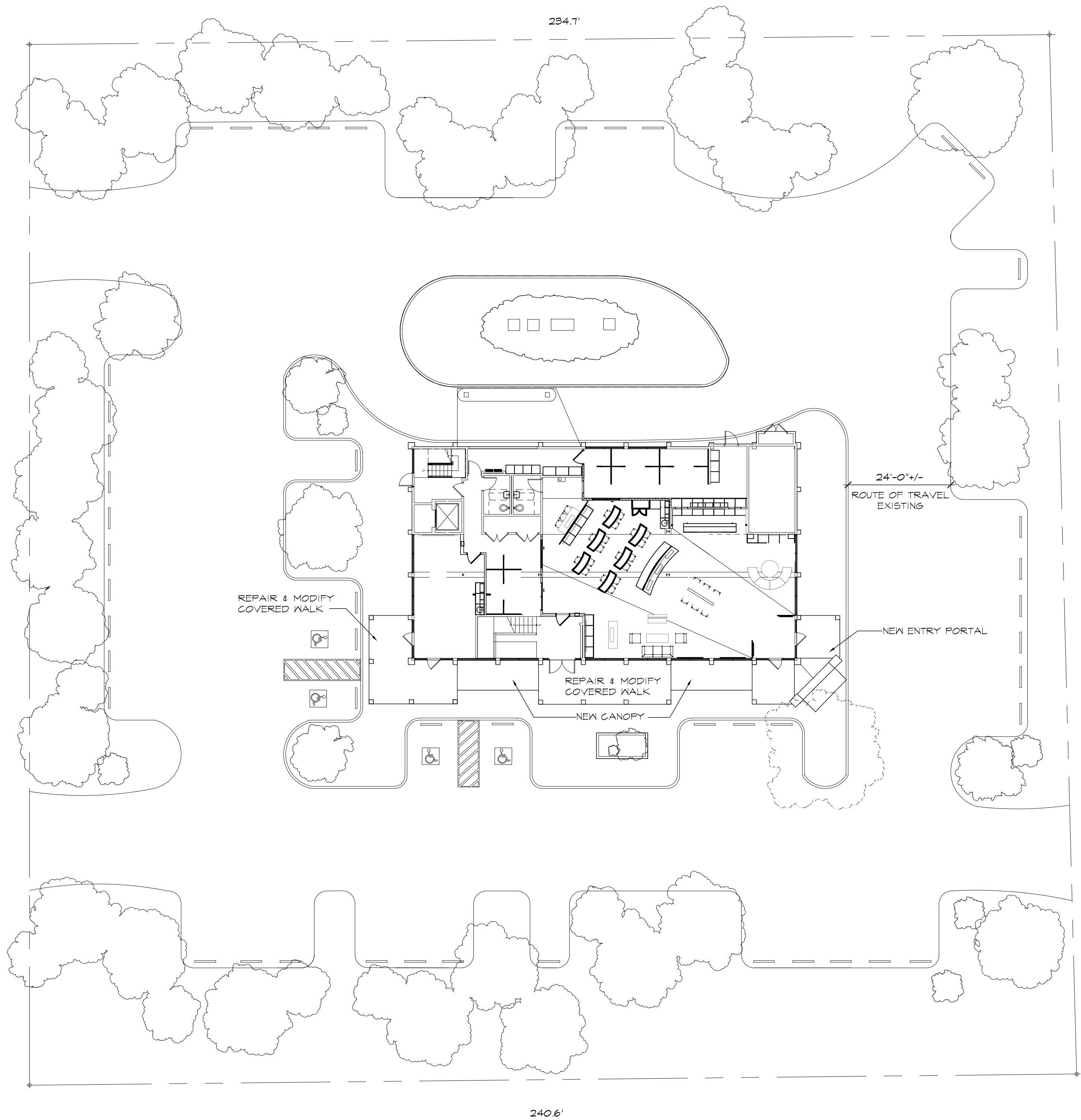
SOUTHEAST CORNER



EXISTING PORTICO



EXISTING PORTICO



A RENOVATION FOR THE
HARGRAY RETAIL BUILDING "A"
862 WILLIAM HILTON PKWY
HILTON HEAD ISLAND, SC 29928

REVISIONS

ARCHITECTURAL
SITE PLAN - PROPOSED

ISSUED FOR
REVIEW
08.14.18

JOB NO: 18.013
ISSUE DATE: 08.14.18
DRAWN: AJ



2514 ABERCORN STREET
SUITE 110
SAVANNAH, GA 31401
912.777.3979

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MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 William Hilton Pkwy,
Hilton Head Island, SC 29928

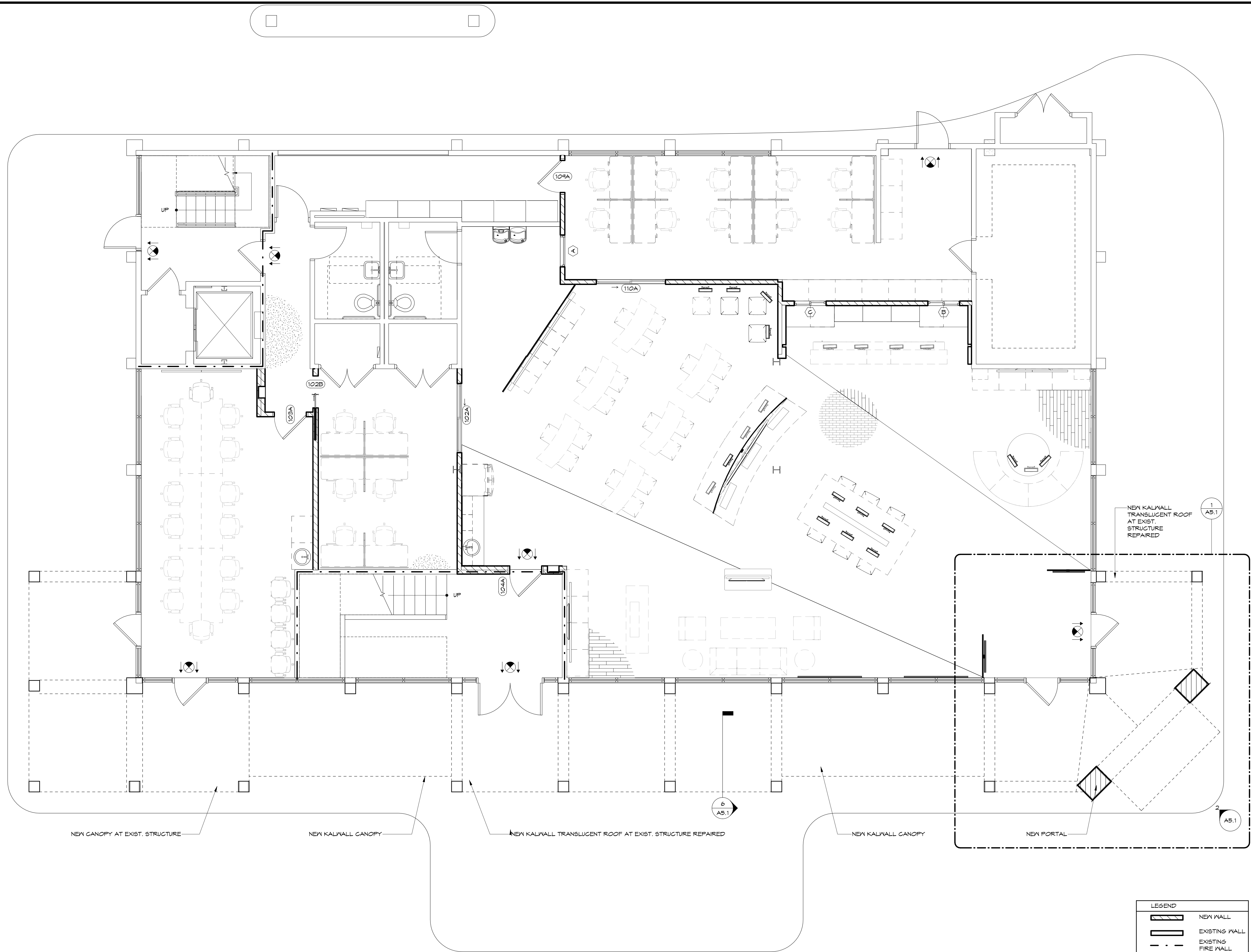
REVISIONS	DESCRIPTION
ADD	DATE

FIRST FLOOR PLAN

ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 8.14.18
DRAWN: CAT

A1.1



1
A1.1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
	NEW WALL
	EXISTING WALL
	EXISTING FIRE WALL
	NEW PORTAL



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SUITE 110
SAVANNAH, GA 31401
912.777.3979

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MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 William Hilton Pkwy,
Hilton Head Island, SC 29928

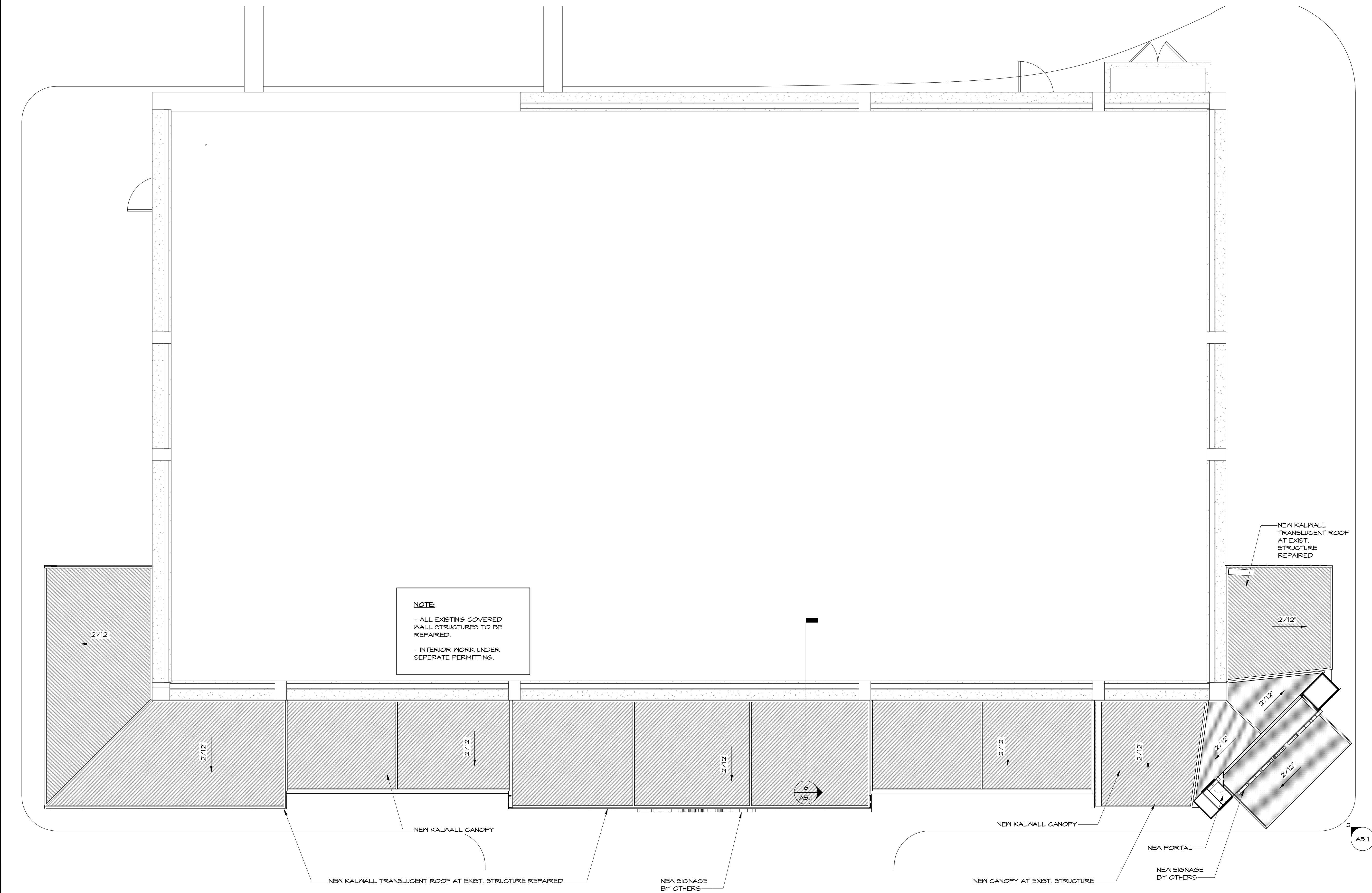
REVISIONS	DESCRIPTION
ADD	DATE

ROOF PLAN
(PARTIAL)

ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 08.14.18
DRAWN: CAT

A1.3



1
A1.3 ROOF PLAN - PARTIAL
SCALE: 1/4" = 1'-0"



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SUITE 110
SAVANNAH, GA 31401
912.777.3979

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3 EXISTING FRONT ELEVATION PERSPECTIVE
SCALE: A3.0



2 EXISTING EAST CORNER PERSPECTIVE
SCALE: A3.0

MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 William Hilton Pkwy,
Hilton Head Island, SC 29928

REVISIONS		DESCRIPTION
ADD.	DATE	
		EXIST. EXT. ELEVATIONS

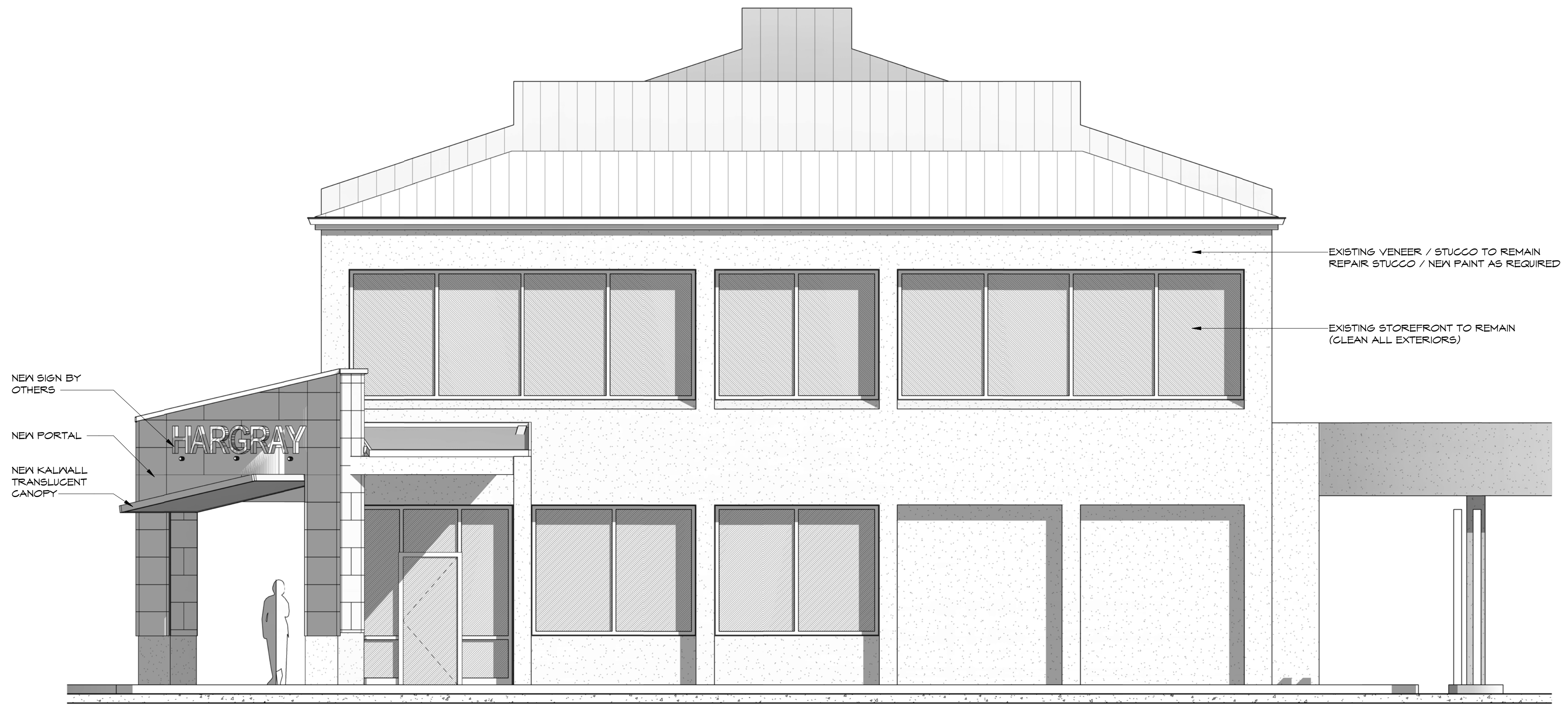
ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 8.14.18
DRAWN: CAT

A3.0



2 SOUTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 William Hilton Pkwy,
Hilton Head Island, SC 29928

REVISIONS	DESCRIPTION
ADD	DATE

PROPOSED EXT. ELEVATIONS

ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 8.14.18
DRAWN: CAT

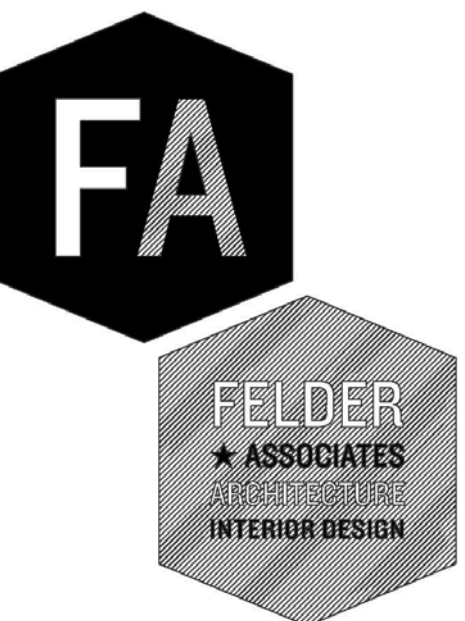
A3.1



2 FRONT ELEVATION
A3.2 SCALE:



1 EAST CORNER PERSPECTIVE
A3.2 SCALE:



2514 ABERCORN STREET
SUITE 110
SAVANNAH, GA 31401
912.777.3979

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MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 William Hilton Pkwy,
Hilton Head Island, SC 29928

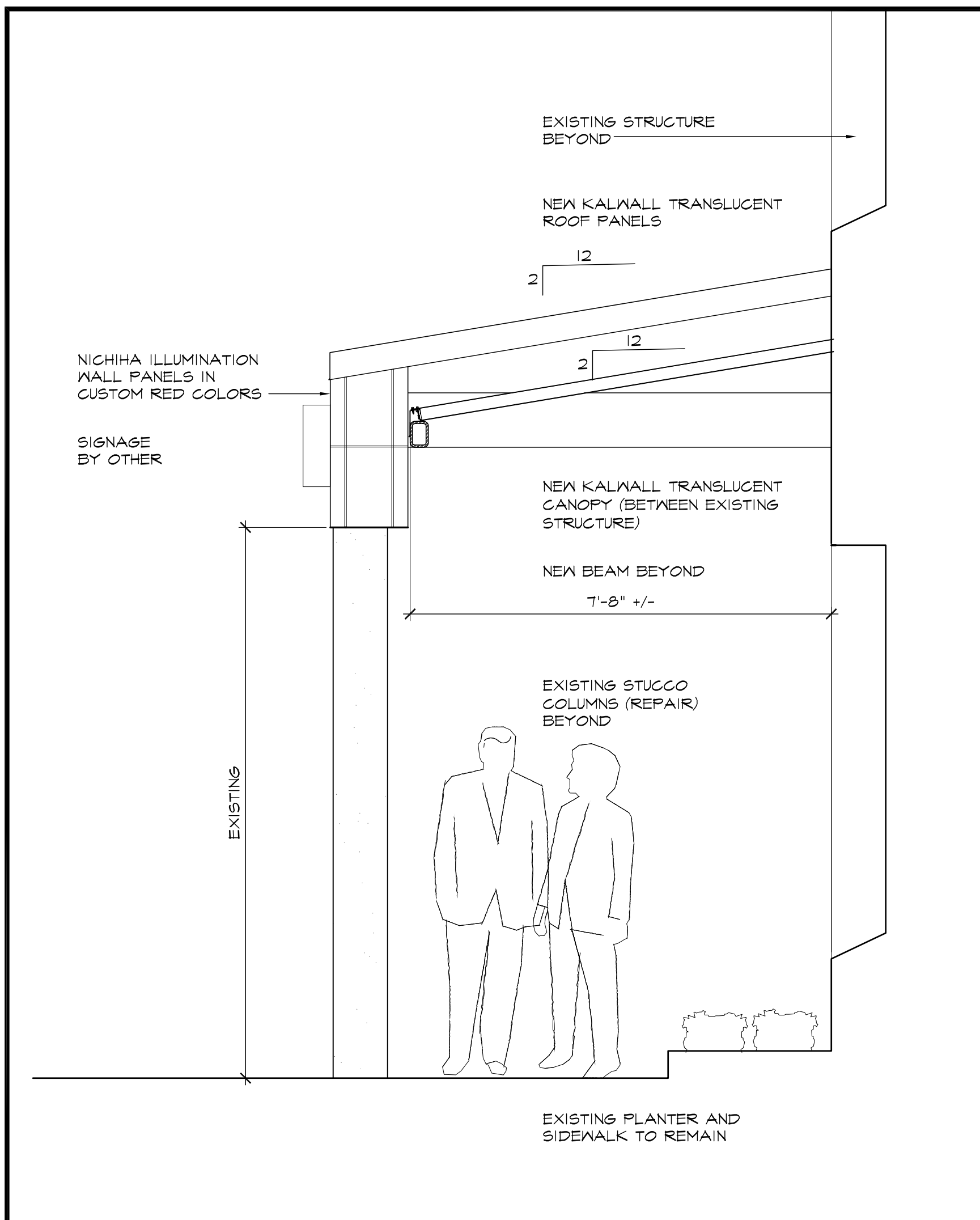
REVISIONS	
ADD	DESCRIPTION

EXTERIOR
PERSPECTIVES

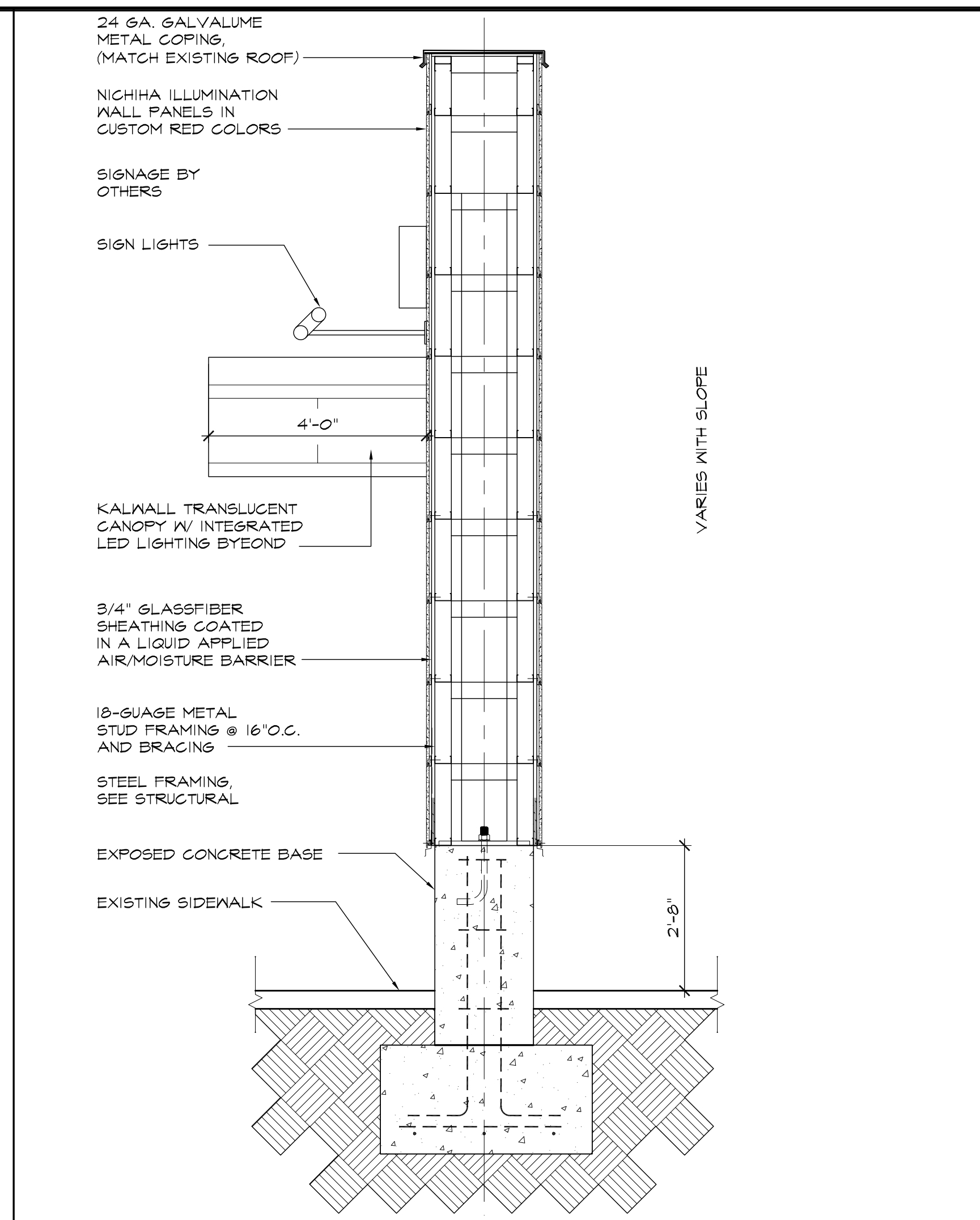
ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 8.14.18
DRAWN: CAT

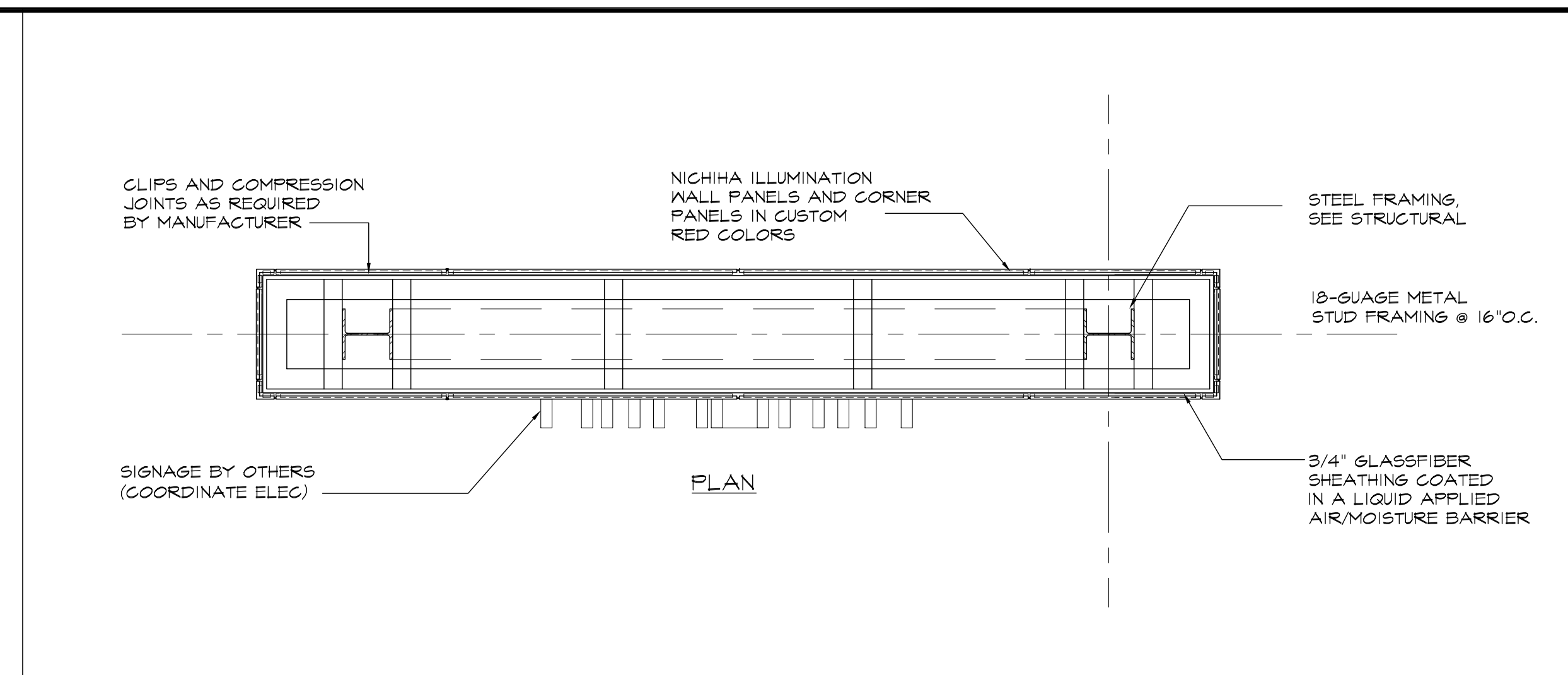
A3.2



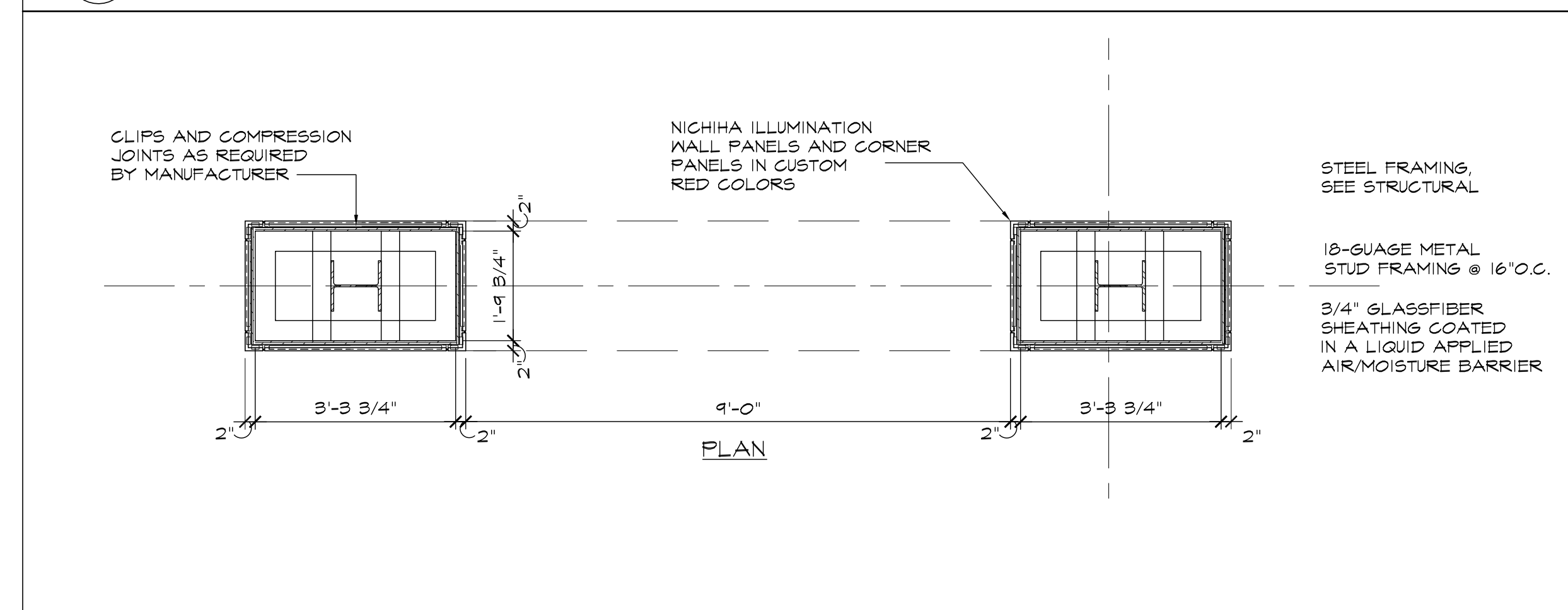
6 SECTION @ NEW CANOPY
SCALE: 1/2"=1'-0"



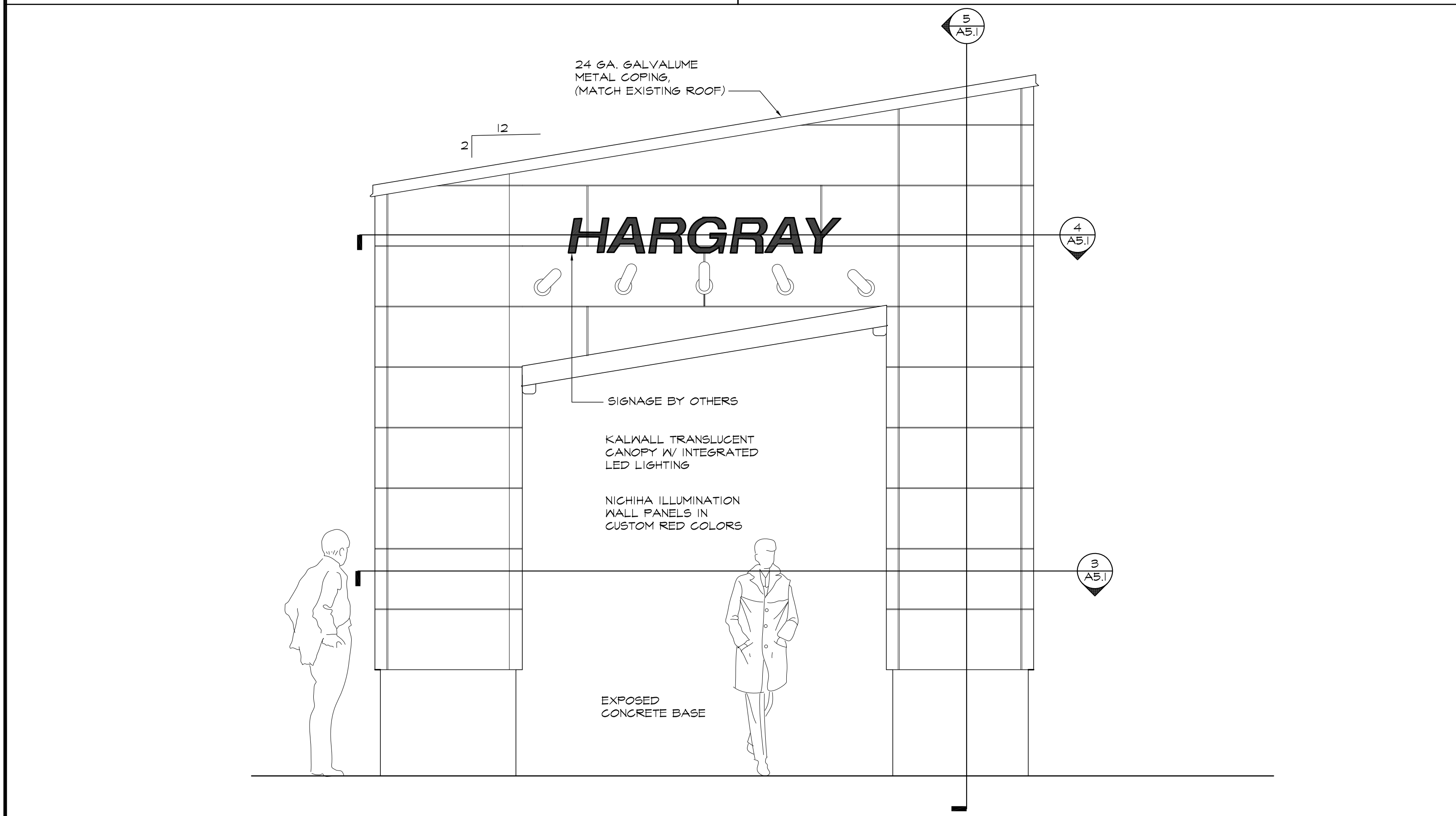
5 SECTION @ NEW ENTRY PORTAL
SCALE: 1/2"=1'-0"



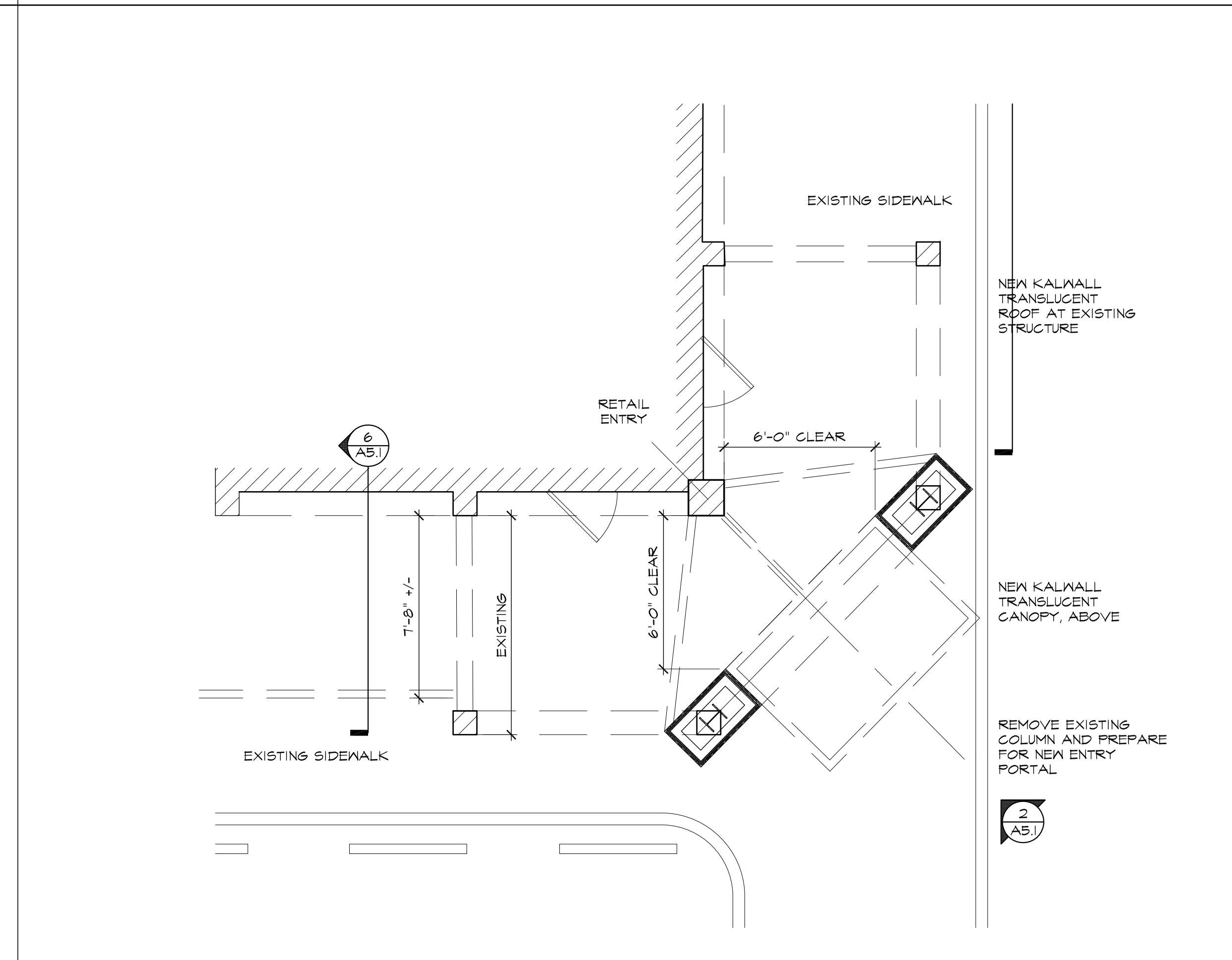
4 ENLARGED PLAN
SCALE: 1/2"=1'-0"



3 ENLARGED PLAN
SCALE: 1/2"=1'-0"



2 PARTIAL ELEVATION (@ ENTRY PORTAL)
SCALE: 1/2"=1'-0"



1 PARTIAL PLAN AT ENTRANCE
SCALE: 1/4"=1'-0"

FA
FELDER
★ ASSOCIATES
ARCHITECTS
INTERIOR DESIGN

2514 ABERCORN ST.
SUITE 110
SAVANNAH GA 31401
(912) 777-3979

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MODIFICATIONS TO
HARGRAY RETAIL BUILDING 'A'
862 WILLIAM HILTON PKWY,
HILTON HEAD ISLAND, SC 29928

REVISIONS

NO.	DESCRIPTION

ENTRANCE PORTAL
DETAILS

ISSUED FOR REVIEW
8.14.18

JOB NO: 18.013
ISSUE DATE: 8.14.18
DRAWN: GOC

A5.1

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Hargray Building

DRB#: DRB-001925-2018

DATE: 08/16/2018

RECOMMENDATION: Approval Approval with Conditions Denial
 RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The red Nichiha architectural wall panels do not compliment the building and are not nature blending. Physical samples must be submitted for review and approval.
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The asymmetrical sloped roof entrance portal does not relate to the building and is not in keeping with "Island Character". Consider a form or shape that references historical, "Island" architectural shapes.

MISC COMMENTS/QUESTIONS

- | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. Consider using a natural red on the letters in the sign and specifying a color for the Nichiha wall panels that compliments the building color. |
| 2. Is the existing landscape between the building and the sidewalk and under the Kalwall canopy irrigated? If not how will landscaping in this area be maintained? |
| |
| |



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Steven G. Stowers, AIA Company: Architecture 101
 Mailing Address: 21B Market, Suite 1 City: Beaufort State: SC Zip: 29906
 Telephone: 843.790.4101 Fax: N/A E-mail: Steve@A101.Design
 Project Name: Renovations to 6 Lagoon Road Project Address: 6 Lagoon Rd, HHI, SC 29928
 Parcel Number [PIN]: R 552 018 000 038B 0000
 Zoning District: NC Overlay District(s): Forest Beach

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

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- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, **Alterations/Additions \$100**, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- ✓ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ✓ Final site development plan meeting the requirements of Appendix D: D-6.F.
- ✓ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ✓ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ✓ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- ✓ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- ✓ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ✓ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ✓ Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE 

DATE 8/15/18

August 14, 2018

Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928



Project: Exterior Improvements to 6 Lagoon Road, Hilton Head Island, South Carolina

Please accept this design information for the proposed exterior improvements to the existing structure at 6 Lagoon Road. This building is part of Coligny Plaza.

PROJECT DESCRIPTION

This project seeks to provide a new second level balcony and a new trellis along the Lagoon Road side of the building, replacing the dated and unsightly canvas canopy. The balcony will serve two tenant suites on the north side of the building and provide a location for new signage for the first floor tenant that will be submitted under a later application.

Additionally, the project will provide two second story porches for the tenants on the south side of the building, also provided with matching trellises.

Landscaping will also be replaced for the development to accommodate the new alterations.

Thank you for your consideration.

Sincerely,


Steven G. Stowers, AIA, LEED AP

Note from Staff,

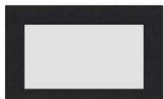
This application includes a request for DRB approval of the asphalt shingle that has recently been added to the building replacing the wood shingles (see submission photos). This shingle matches other shingles at Coligny Plaza.

ALLEGRO W LED

Architectural Outdoor



PROJECT:	
TYPE:	
PO#:	QTY:
COMMENTS:	

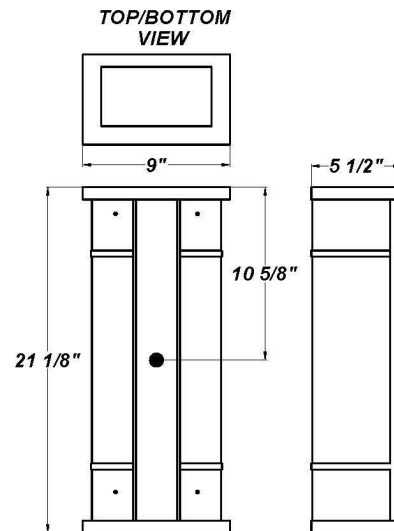


FEATURES

- Aluminum Housing w/ Textured Black Polyester Powder Coat Finish
- Aluminum End Caps and Trim Bars w/ Textured Black Polyester Powder Coat Finish
- Aluminum Mount Pan w/ Hi-Reflectance White Powder Coat Finish
- Luminous White Acrylic Wrap-Around Diffuser
- Luminous White Acrylic Top and Bottom Lens Panels
- Mounts Over 4" Junction Box w/ Easy-hang Wall Mounting Plate (Included)
- CSA Approved For Wet Location For Vertical Mounting
- LED Light Fixture
- Mounting Hardware Included
- Vandal Resistant

LINE DRAWING

LINE DRAWING NOT TO SCALE



FINISHES

Antique CopPer



Antique Silver



Bronze Mist



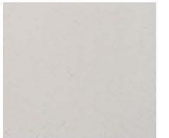
Matte Silver



Metallic Black



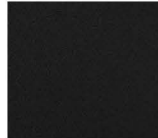
Sand



Swedish Steel



Textured Black



Textured Bronze



Textured White



For RAL Colors & Custom Match - Contact Teron Lighting Inc.

ALLEGRO W LED

Architectural Outdoor



Fixture Core

PROJECT:	
TYPE:	
PO#:	QTY:
COMMENTS:	

PRODUCT CODE	SOURCE/WATTAGE	VOLTAGE	DIMMING DRIVER
ALLW - Allegro W	L19.0-ZE700 - 30W @ 700mA 0-10V Dimming Driver L24.0-ZE875 - 33W @ 875mA 0-10V Dimming Driver L31.0-ZE1150 - 44W @ 1150mA 0-10V Dimming Driver	120V 277V (50 / 60Hz)	Not Applicable
ORDER INFO			
ALLW	L19.0-ZE700	120V	Not Applicable

Example ^ (may not represent a manufacturable product)

Aesthetics & Options

TRIM	FINISH	COLOR TEMP	OPTIONS
Not Applicable	AC - Antique CopPer AS - Antique Silver BT - Bronze Mist MB - Metallic Black SM - Matte Silver SN - Sand SW - Swedish Steel TB - Textured Black (Standard) BZ - Textured Bronze TW - Textured White	30K - 3000K Color Temp 35K - 3500K Color Temp 40K - 4000K Color Temp	F - Fused TP - Tamper Resistant Screws
ORDER INFO			
Not Applicable	AC	30K	F

Example ^ (may not represent a manufacturable product)

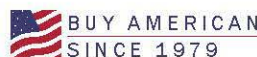
PROD	SOURCE	30K SPECS			
ALLW	L19.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 2489 LED Source Lumens 113 LED Source Lumens Per Watt 			
	L24.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 3180 LED Source Lumens 106 LED Source Lumens Per Watt 			
	L31.0	<ul style="list-style-type: none"> 30K - 3000K Color Temp 4125 LED Source Lumens 106 LED Source Lumens Per Watt 			

REPLACEMENT PART	PART NO	NOTES
White Acrylic Lens Assembly	9801460	

Don't see the configuration you are looking for?
Call us today at (513) 858-6004



TERONLIGHTING.COM
33 DONALD DR, FAIRFIELD, OH 45014
P: 513.858.6004 F: 513.858.6038
E: SALES@TERONLIGHT.COM



We reserve the right to revise the design components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

SEND CUT-SHEET

HALO LED ICAT HOUSING for NEW CONSTRUCTION

The H750ICAT is a dedicated LED new construction housing to be used with designated HALO LED modules. The H750ICAT is designed for insulated ceilings and can be in direct contact with ceiling insulation*. This AIRTITE housing design prevents airflow between conditioned and unconditioned spaces and saves on both heating and air conditioning costs. The LED connector system provides high efficacy code compliance when used with designated HALO LED modules and trims.

Catalog #		Type
Project		
Comments		Date
Prepared by		

DESIGN FEATURES

Housings

Aluminum construction for greater heat dissipation. H750 ICAT housing is gasketed to prevent airflow from heated or air conditioned spaces.

Plaster Frame

Galvanized steel frame. Housing adjusts in plaster frame to accommodate up to 1" ceiling thickness. Regressed locking screw for securing hanger bars. Cutouts included for easily crimping hanger bars in position

Slide-N-Side™ Junction Box

- Positioned to accommodate straight conduit runs.
- Seven 1/2" trade size conduit knockouts with true pry-out slots.
- Slide-N-Side wire traps allow non metallic sheathed cable to be installed without tools and without removing knockouts.
- Allows wiring connections to be made outside the box.
- Simply insert the cable directly into the trap after connections are made.
- Accommodates the following standard non-metallic sheathed cable type:
 - U.S. #14/2, #14/3, #12/2, #12/3
 - Canada: #14/2, #14/3, #12/2

GOT NAIL! Pass -N-Thru™ Bar Hangers

Bar Hanger features include

- Pre-installed nail easily installs in regular lumber, engineered lumber and laminated beams.
- Safety and Guidance system prevents snagging, ensures smooth, straight nail penetration and allows bar hangers to be easily removed if necessary
- Automatic leveling flange aligns the housing and allows holding the housing in place with one hand while driving nails.
- Housing can be positioned at any point within 24" joist spans
- Score lines allow tool-free shortening for 12" joists and bar hangers do not need to be removed for shortening.
- Bar hangers may be repositioned 90° on plaster frame
- Integral T-bar clip snaps onto T-bars – no additional clips are required.

LED Module Connection

Halo LED modules simply install with a plug-in 120V-277V rated line voltage wiring connector (UL and CSA Listed Luminaire Disconnect). This non-screw-base connection preserves the high efficacy rating and prevents use of low efficacy incandescent sources (see LED Module specifications).

Caution

Connection is rated for 120V and 277V input. Installer must verify LED module voltage is compatible with the applicable voltage input. If uncertain, consult a qualified electrician.

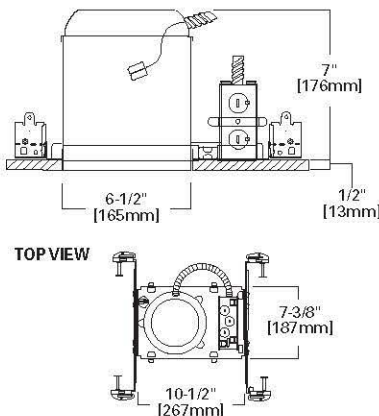
Labels

- UL/cUL Listed 1598 Luminaire
- CE Marking - "Conformité Européenne" conformity with the Council of European Communities Directives, meeting internationally recognized compliance when used with ML56 Series LED modules
- UL/cUL Listed for Feed Through
- UL/cUL Listed for Damp Location
- UL/cUL Listed for Wet Location with select trims
- UL/cUL Listed for direct contact with insulation and combustible material*
- Rated for 20W maximum

Qualification

May be used with qualified Halo LED modules and designated trims for High Efficacy Luminaire Compliance:

- State of California Title 24
- International Energy Conservation Code (IECC)
- Washington State Energy Code
- New York State Energy Conservation Construction Code - AIR-TITE™ Compliant
- Certified under ASTM-E283 standard for air-tight construction



H750ICAT

6" New Construction IC AIR-TITE™ Housing For Halo LED Modules and Trims

- ML56 Series
- RL56 Series
- RA56 Series

High Efficacy LED Housing

FOR USE IN INSULATED CEILINGS
FOR DIRECT CONTACT WITH INSULATION*



Qualified and compliant with select trims. Refer to ENERGY STAR® Qualified Products List and CEC (T24) Appliance Database for listings.

* Not to be used in direct contact with spray foam insulation.

ORDERING INFORMATION - RL56 SERIES

SAMPLE NUMBER: H750ICAT - RL560WH6927
Order housing, light module, trim and separately.

Housing	RL56 LED - Compatible LED Retrofit Modules
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>80 CRI</p> <p>RL560WH6827= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Matte White RL560SN6827= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 2700K, Satin Nickel RL560WH6830= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Matte White RL560SN6830= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3000K, Satin Nickel RL560WH6835= 5"½" Retrofit Baffle - Trim LED Module, 80CRI, 3500K, Matte White</p> <p>90 CRI</p> <p>RL560WH6927= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Matte White RL560SN6927= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 2700K, Satin Nickel RL560WH6930= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Matte White RL560SN6930= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3000K, Satin Nickel RL560WH6935= 5"½" Retrofit Baffle - Trim LED Module, 90CRI, 3500K, Matte White</p>

ORDERING INFORMATION - RA56 SERIES

SAMPLE NUMBER: H750ICAT - RA5606927WH
Order housing, light module, trim and separately.

Housing	RA56 LED - Compatible LED Retrofit Modules
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>Very Wide Flood - VWFL Models</p> <p>RA5606927WH= 5"½" LED Adjustable Gimbal, 90CRI, 2700K, White, Very Wide Flood RA5606930WH= 5"½" LED Adjustable Gimbal, 90CRI, 3000K, White, Very Wide Flood</p> <p>Narrow Flood - NFL Models</p> <p>RA5606927NFLWH= 5"½" LED Adjustable Gimbal, 90CRI, 2700K, White, Narrow Flood RA5606930NFLWH= 5"½" LED Adjustable Gimbal, 90CRI, 3000K, White, Narrow Flood</p>

ORDERING INFORMATION - ML56 SERIES

SAMPLE NUMBER: H750ICAT - ML5606830 - 693WB
Order housing, light module, trim and separately.

Housing	ML56 LED Light Modules	ML56 LED Trims	ML56 System Accessories
H750ICAT= 6" Aperture, New Construction, IC AIR-TITE™, High Efficacy LED Housing	<p>600 Series / 80 CRI</p> <p>ML5606827= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 2700K ML5606830= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3000K ML5606835= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 3500K ML5606840= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 80CRI, 4000K</p> <p>600 Series / 90 CRI</p> <p>ML5606927= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 2700K ML5606930= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3000K ML5606935= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 3500K ML5606940= 5"½" LED Retrofit Downlight Light Module, 600 lumen, 90CRI, 4000K</p> <p>900 Series / 80 CRI</p> <p>ML5609827= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 2700K ML5609830= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3000K ML5609835= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 3500K ML5609840= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 80CRI, 4000K</p> <p>900 Series / 90 CRI</p> <p>ML5609927= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 2700K ML5609930= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3000K ML5609935= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 3500K ML5609940= 5"½" LED Retrofit Downlight Light Module, 900 lumen, 90CRI, 4000K</p> <p>1200 Series / 80 CRI</p> <p>ML5612827= 5"½" LED Light Module, 1200 lumen, 80CRI, 2700K ML5612830= 5"½" LED Light Module, 1200 lumen, 80CRI, 3000K ML5612835= 5"½" LED Light Module, 1200 lumen, 80CRI, 3500K ML5612840= 5"½" LED Light Module, 1200 lumen, 80CRI, 4000K</p> <p>1200 Series / 90 CRI</p> <p>ML5612927= 5"½" LED Light Module, 1200 lumen, 90CRI, 2700K ML5612930= 5"½" LED Light Module, 1200 lumen, 90CRI, 3000K ML5612935= 5"½" LED Light Module, 1200 lumen, 90CRI, 3500K ML5612940= 5"½" LED Light Module, 1200 lumen, 90CRI, 4000K</p>	<p>690 Series - 6" LED Trims</p> <p>Non-Conductive "Dead Front" Baffles</p> <p>691WB=6" LED Trim, Polymer "Dead-Front", Shallow White Baffle & Flange (For use with 600 Series LED Light Modules only)</p> <p>Reflectors</p> <p>692SC=6" LED Downlight Trim, Specular Reflector & White Flange 692H=6" LED Downlight Trim, Haze Reflector & White Flange 692W=6" LED Downlight Trim, White Reflector & Flange</p> <p>Baffles</p> <p>693WB=6" LED Downlight Trim, White Micro-Step Baffle & Flange 693BB=6" LED Downlight Trim, Black Micro-Step Baffle & Flange 693SNB=6" LED Downlight Trim, Satin Nickel Micro-Step Baffle & Flange 693TBZB=6" LED Downlight Trim, Tuscan Bronze Micro-Step Baffle & Flange</p> <p>Semi-Regressed Eyeballs</p> <p>694WB=6" LED Directional Trim, White Eyeball, Baffle & Flange 694SNB=6" LED Directional Trim, Satin Nickel Eyeball, Baffle & Flange 694TBZB=6" LED Directional Trim, Tuscan Bronze Eyeball, Baffle & Flange</p> <p>Wall Wash</p> <p>695WW=6" LED Downlight Trim, Wall Wash with Specular Kick Reflector & White Flange</p> <p>Shallow Baffle</p> <p>696WB=6" LED Trim, White Shallow Baffle & Flange</p>	<p>ML56CLIP= 6" Friction Clip Kit - For use with non-torsion spring housings. 6" clips included.</p> <p>WW6955C= Wall Wash Insert - Specular Kick Reflector for 695WW (1 included with trim). For double wall washing or replacement.</p> <p>TRM690WH= 6" LED Oversize Trim Ring for use with 59" series trims, White 6.9" I.D., 9.5" O.D. Ring slips over LED trim. Inset design allows 6" trim to fit into oversize ring for an even trim surface.</p> <p>EBA560PK= Replacement screwbase adapter to LED disconnect with cap</p> <p>ML56-1200 Series Beam Forming Optic Media</p> <p>BFR56NFL= Beam forming reflector kit, narrow flood, 25° nominal</p> <p>BFR56MH= Media holder, accepts one 3.45" lens. Requires BFR56NFL & L345SF, order separately.</p> <p>L345SF= 3.45" diameter soft focus lens. Requires BFR56NFL and BFR56MH, order separately.</p>

ROLLERS PARTY SHOP
ABC PAC & ICE STORE

ROLLERS WINE • BEER • SPIRITS ROLLERS





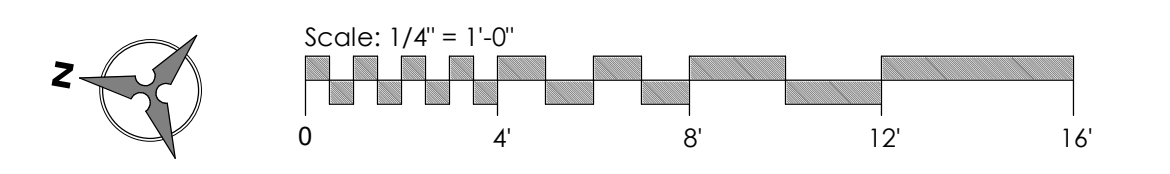
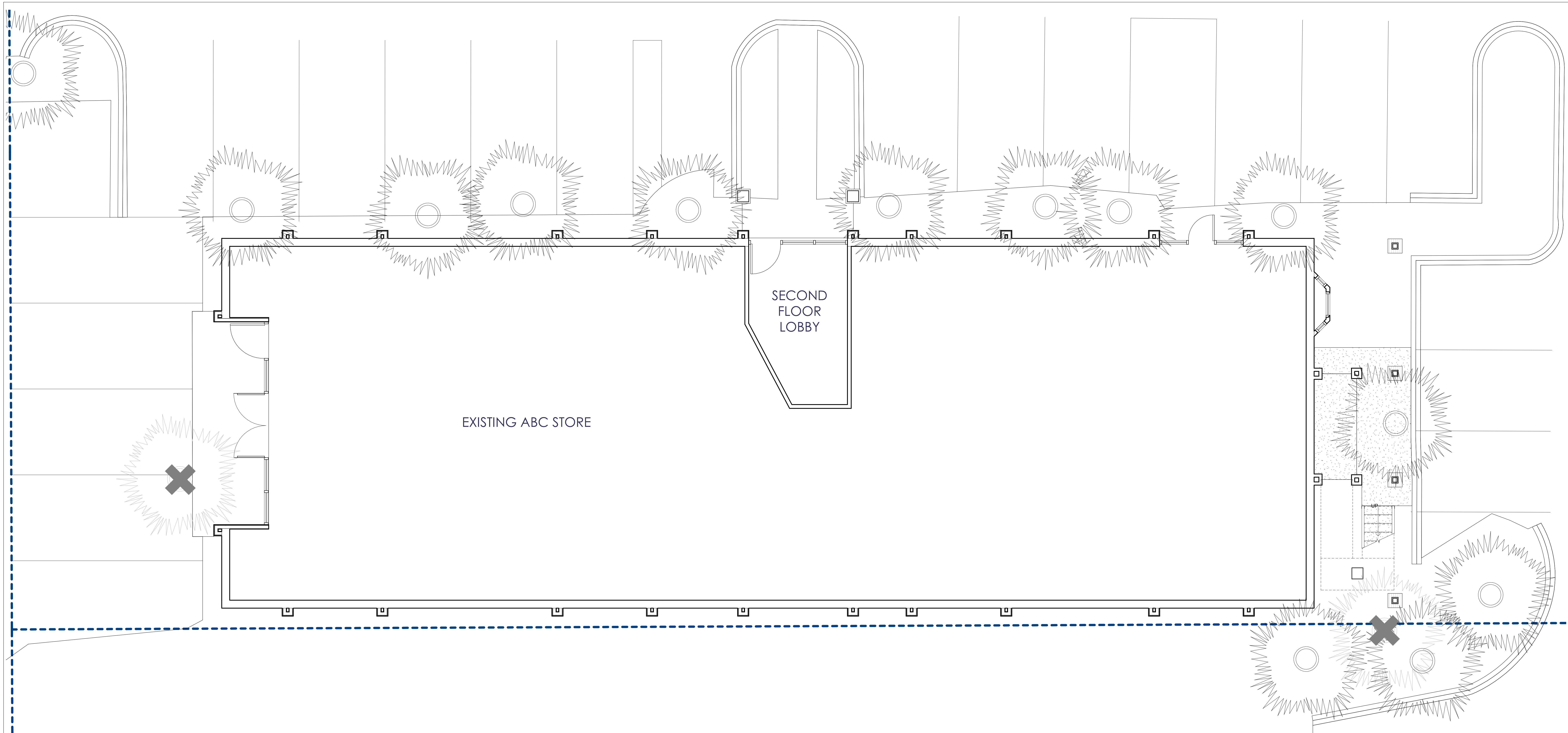
ROLLERS
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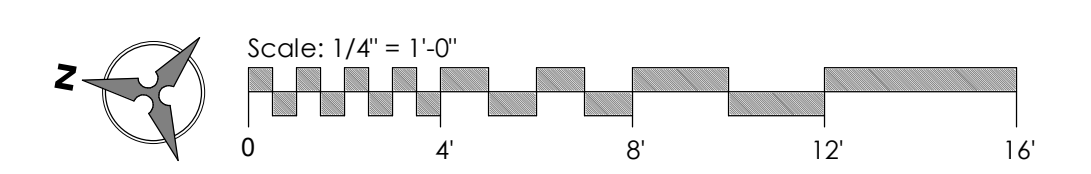
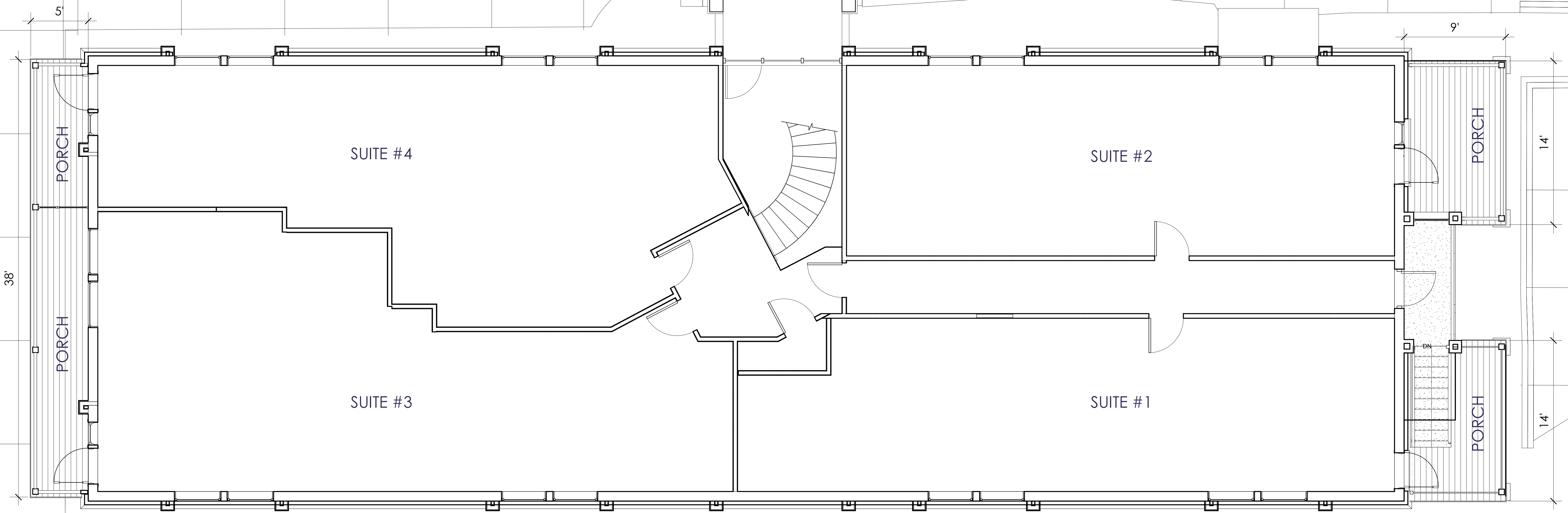
NO
BEACH
PARKING
VEHICLES WILL BE
TOWED AWAY AT
OWNER'S EXPENSE

NO BEACH PARKING

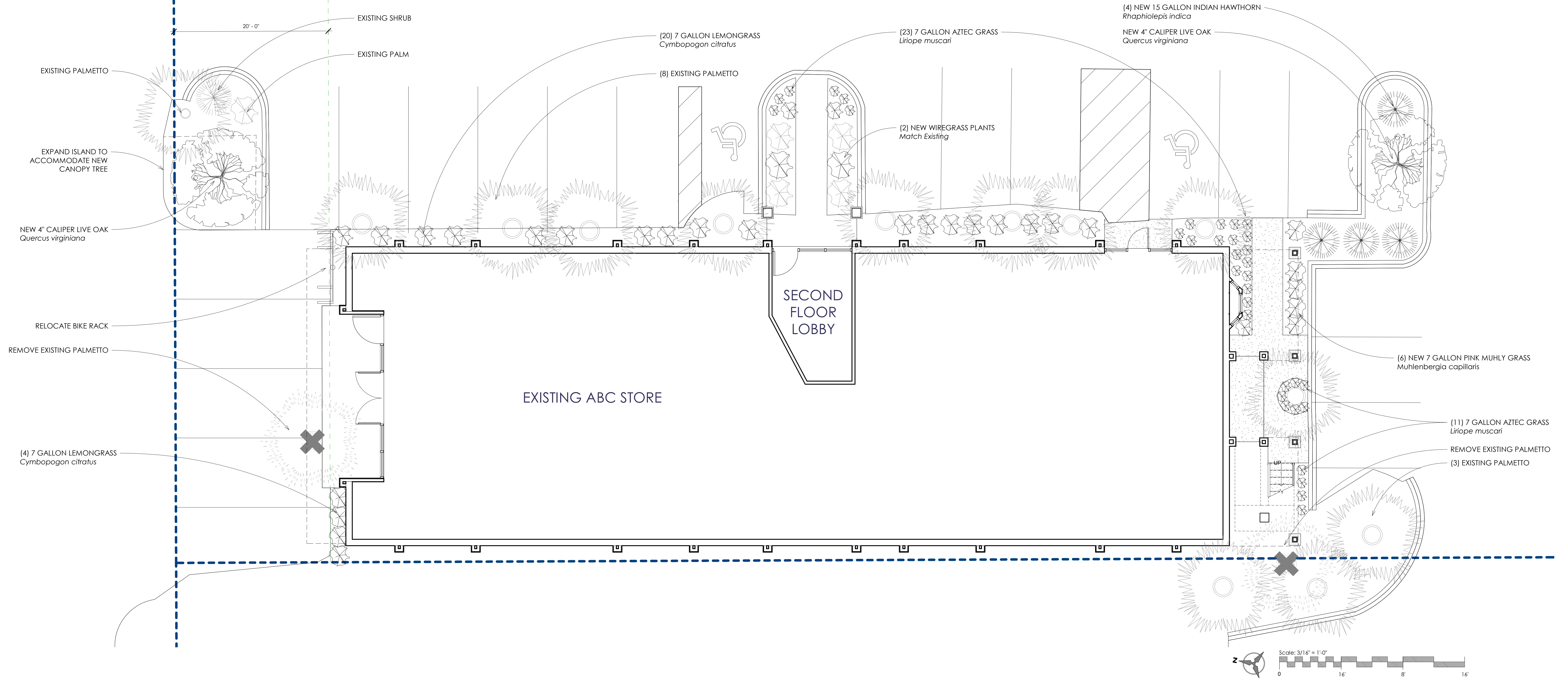






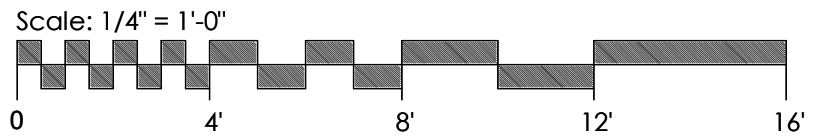
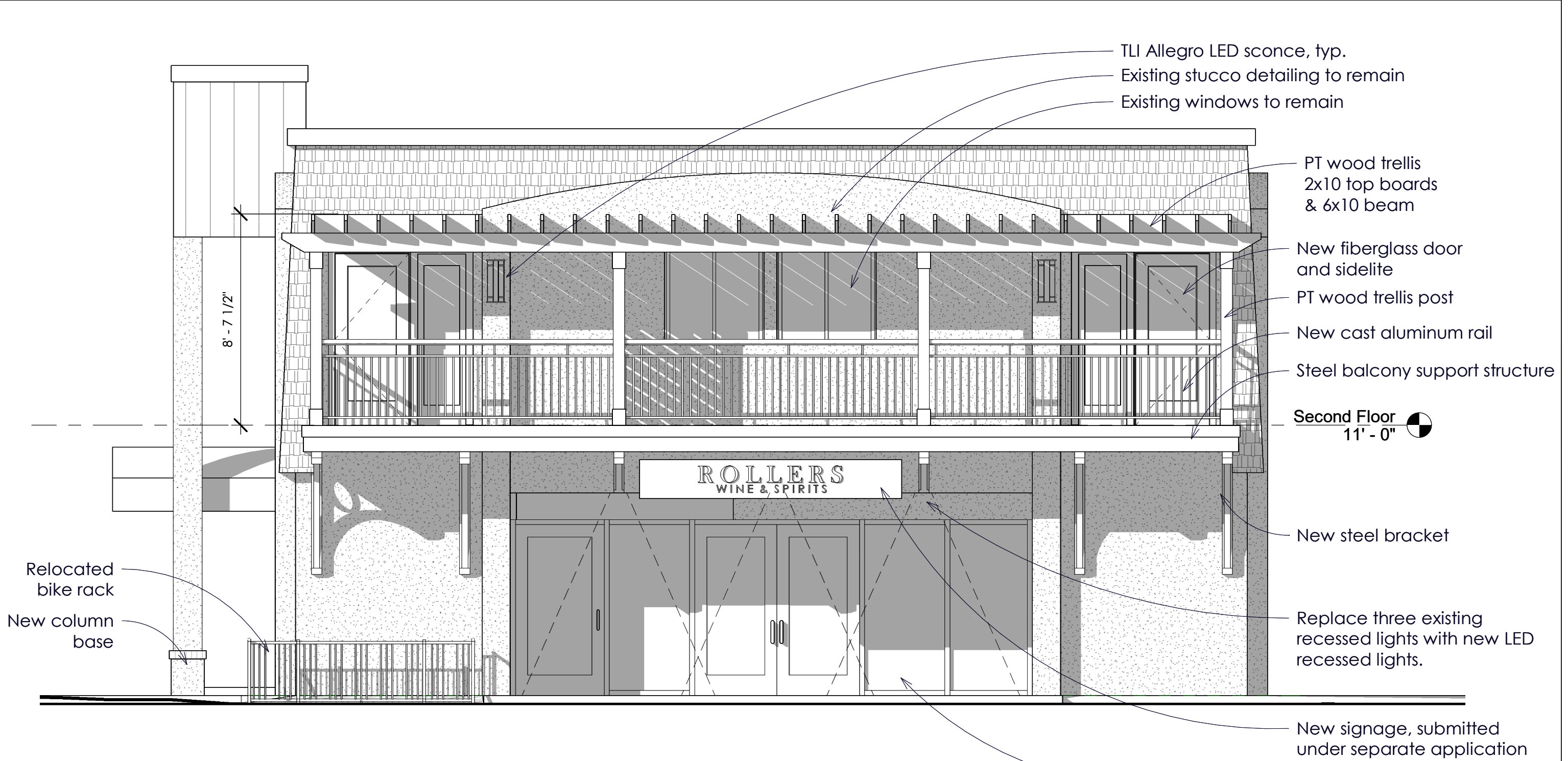


LAGOON ROAD



First Floor Plan

RENOVATIONS TO 6 LAGOON ROAD



Proposed North Elevation

EXTERIOR RENOVATIONS TO 6 LAGOON ROAD

2018.08
 August 20, 2018
SD200

New fiberglass door and sidelite
 TLI Allegro LED Light, typ.

10' - 4 1/2"

PT wood trellis
 2x10 top boards
 & 6x10 beam

PT 6x6 trellis support post

Cast aluminum rail

1x6 metal flashing

PT 2x12 porch framing

1x8 PVC trim

Second Floor
 11' - 0"

PT 2x10 wood deck, typ.

Extend wall up to
 underside of deck.
 Cap with metal
 flashing. Stucco to
 match existing.

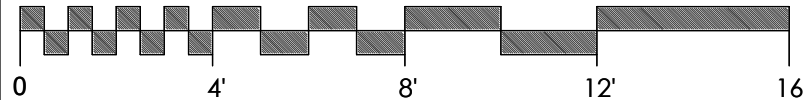
PT 8x8 porch support post

New column base

Existing concrete stair

Repaint existing windows
 (Color: Match medium bronze)

Scale: 1/4" = 1'-0"



21B Market, Suite 1 - Beaufort, SC - www.A101.Design

Proposed South Elevation

EXTERIOR RENOVATIONS TO 6 LAGOON ROAD

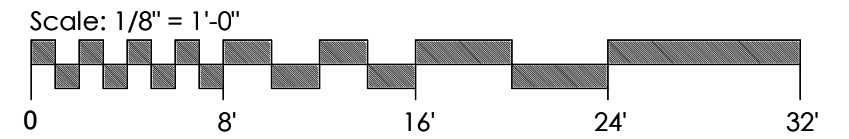
2018.08

August 20, 2018

SD201

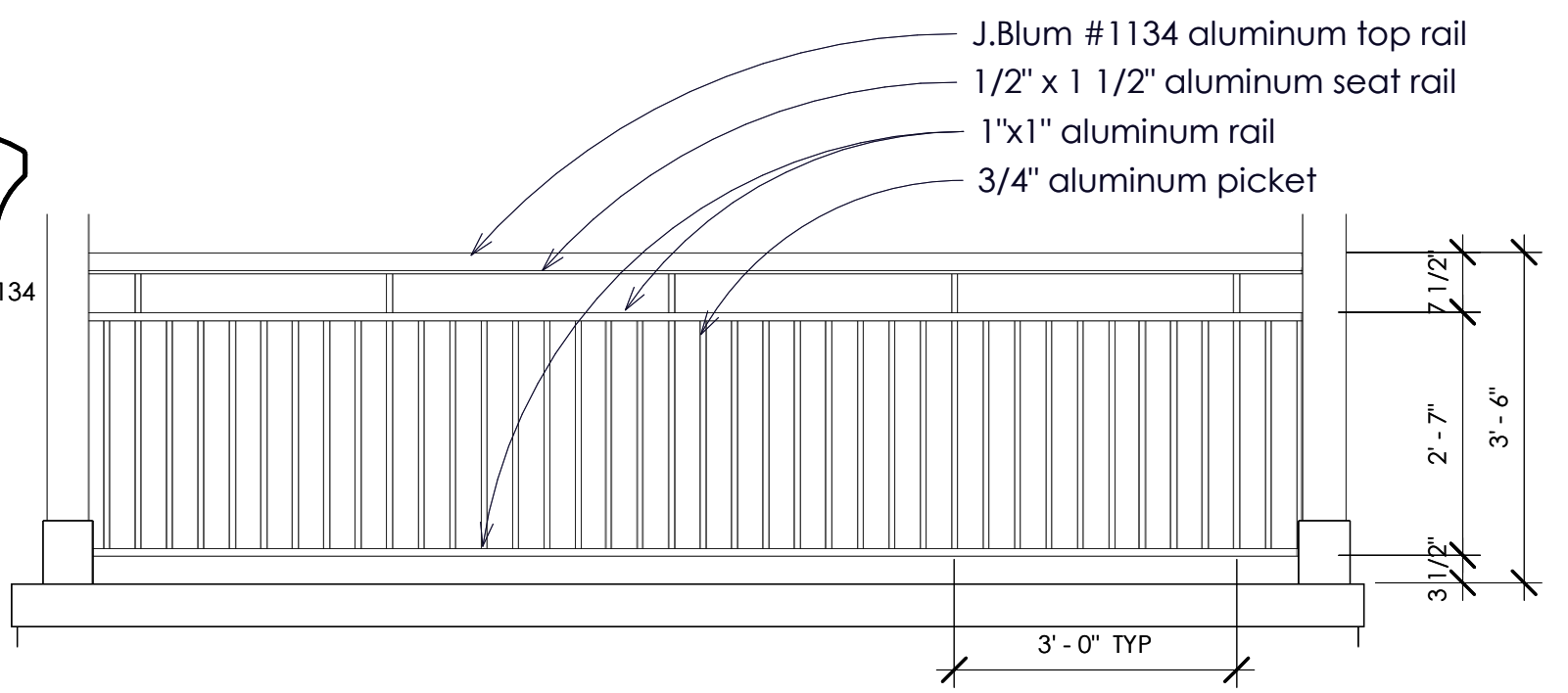
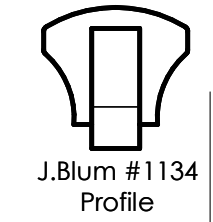
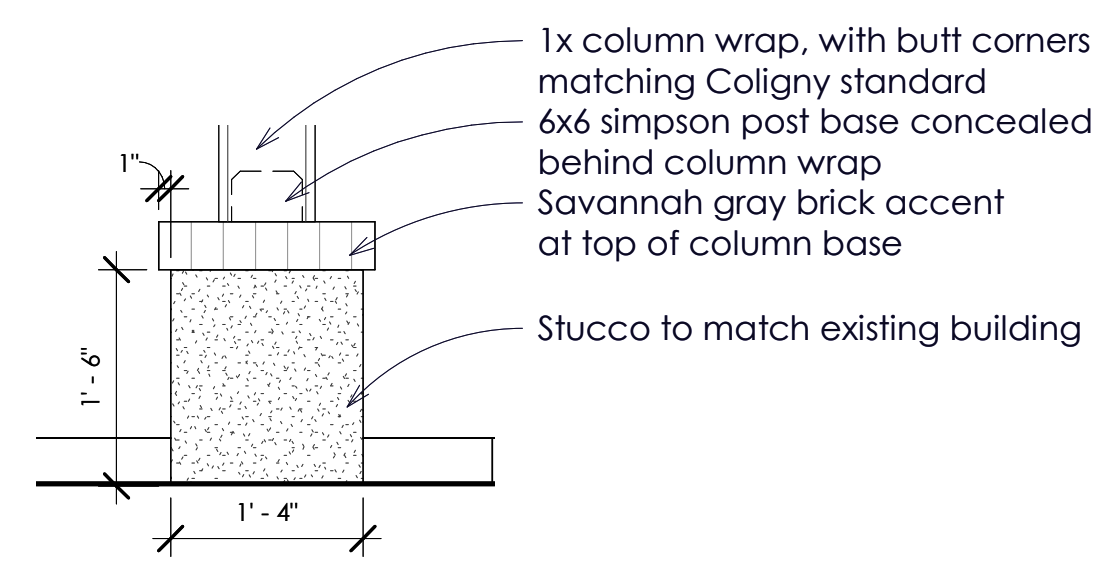
8/20/2018 1:41:30 PM

Replace existing cedar shake roof with new 'shake' architectural shingle matching existing Coligny Plaza standard mansart



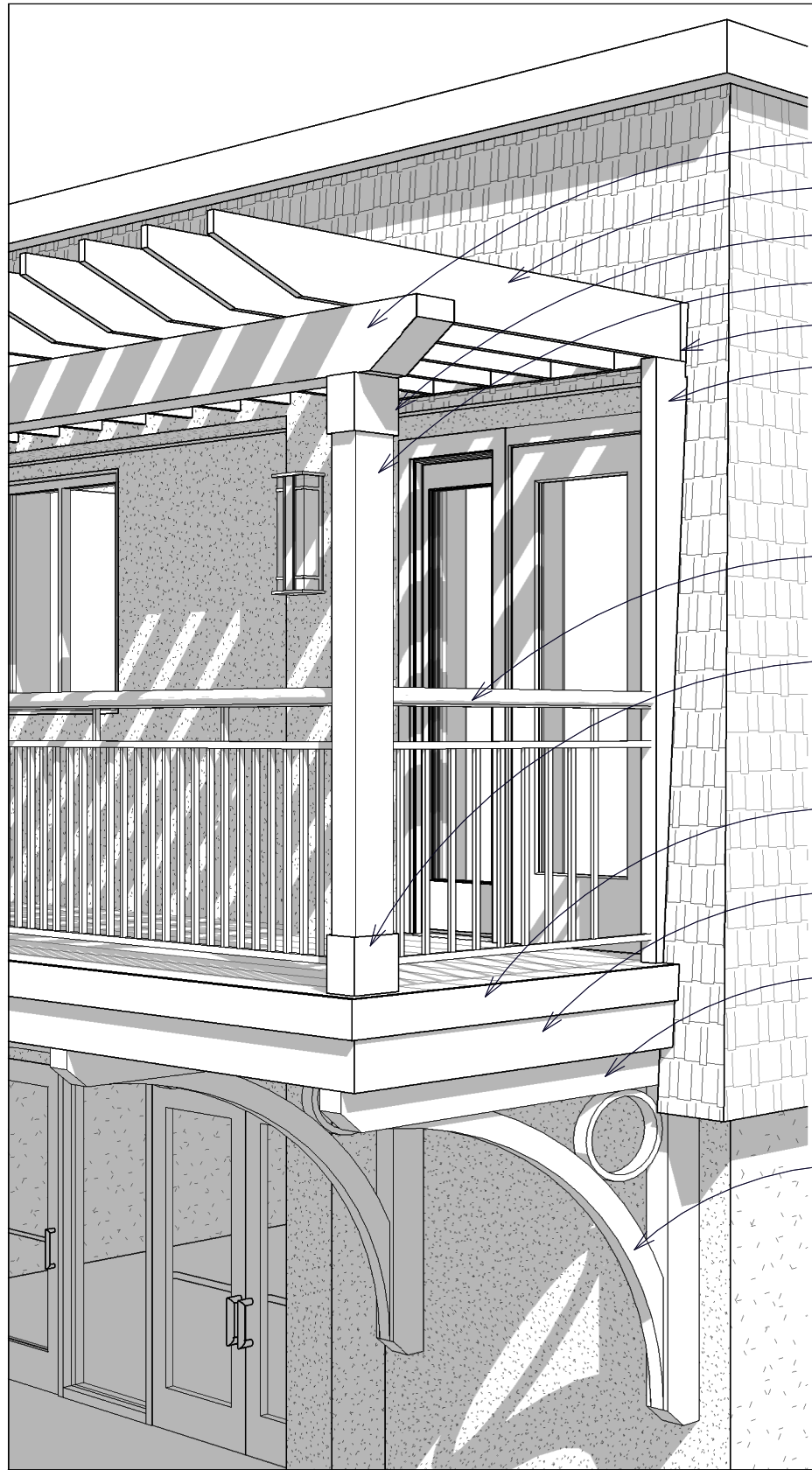
1
SD202

New column base at existing columns



1 COLUMN BASE DETAIL
3/4" = 1'-0"

2 RAILING DETAIL
1/2" = 1'-0"



NOTE: Arbor components painted to match existing tan stucco.

- PT 6x10 beam
- PT 2x10 boards, typ.
- PVC 1x8 trim
- PT 6x6, typ.
- PT 5/4" ledger board
- PT (2)2x8, wrapped in bronze flashing to match doors

Cast aluminum rail
(Color: Medium Bronze)

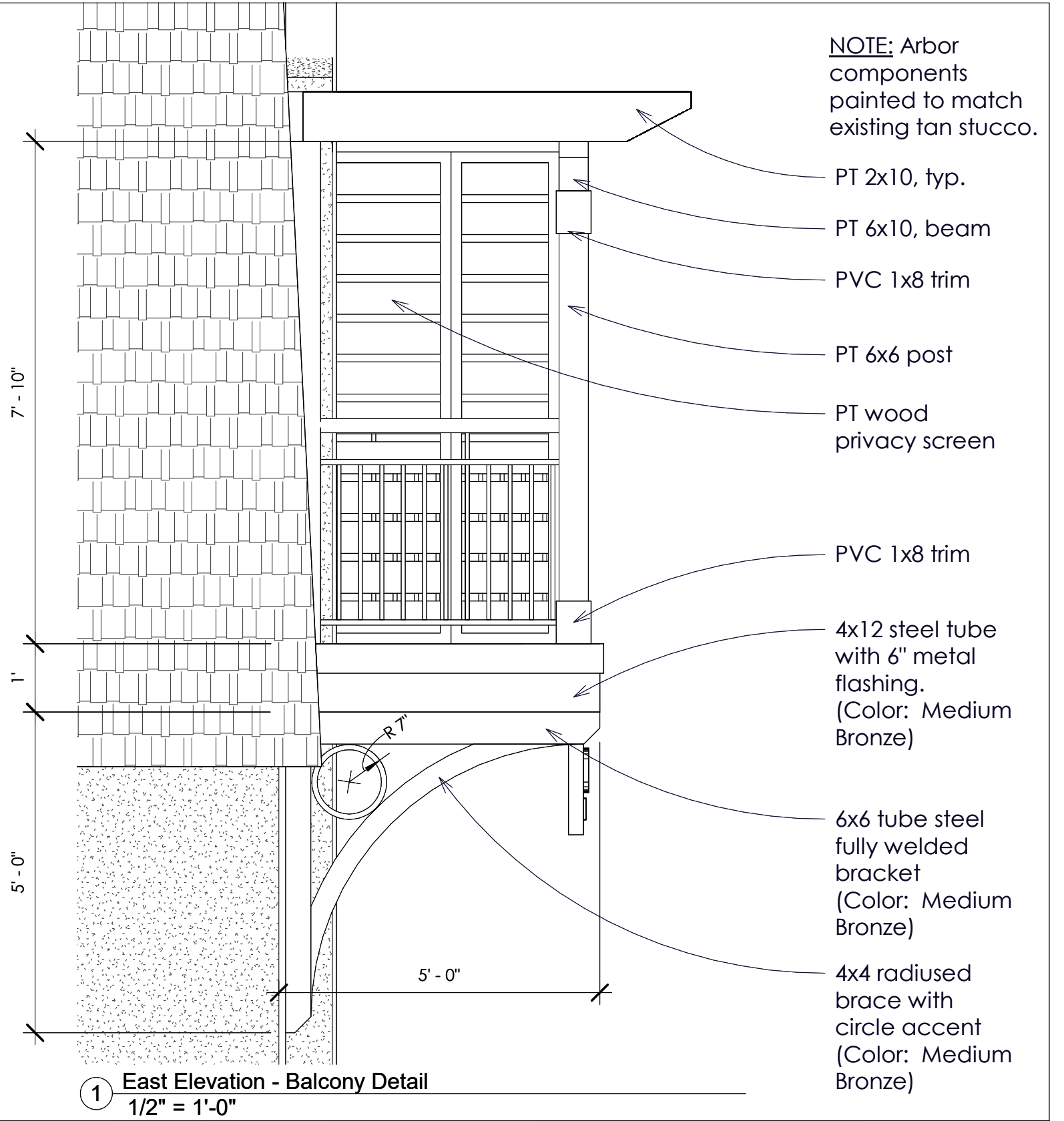
PVC 1x8 trim

6" metal flashing
(Color: Medium Bronze)

4x12 steel tube
(Color: Medium Bronze)

6x6 tube steel bracket
(Color: Medium Bronze)

4x4 radiused brace with circle accent
(Color: Medium Bronze)



NOTE: Arbor components painted to match existing tan stucco.

PT 2x10, typ.

PT 6x10, beam

PVC 1x8 trim

PT 6x6 post

PT wood privacy screen

PVC 1x8 trim

4x12 steel tube with 6" metal flashing.
(Color: Medium Bronze)

6x6 tube steel fully welded bracket
(Color: Medium Bronze)

4x4 radiused brace with circle accent
(Color: Medium Bronze)

1 East Elevation - Balcony Detail
1/2" = 1'-0"



Proposed Lagoon Road View (Northeast)

RENOVATIONS TO 6 LAGOON ROAD



Proposed Coligny View (Southeast)

RENOVATIONS TO 6 LAGOON ROAD

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 6 Lagoon

DRB#: DRB-001931-2018

DATE: 08/16/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify color to improvements on South Elevation (Coligny Plaza side). Submit for staff review and approval.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify the color of all new additions to the building.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Revise the bay window roof to better coordinate with the new architectural detail additions. Done.

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a landscape Plan. Done.

<i>NATURAL RESOURCE PROTECTION</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a Landscape Plan that includes a Live Oak at Lagoon and the back of the building. Done.

MISC COMMENTS/QUESTIONS

1. Show 20' street setback off Lagoon per LMO 16-3-105.B.3 (Balcony may occupy the Street Setback) **Added.**
2. The project requires a Minor DPR.
3. Provide a Landscape Plan. **Done.**
4. Revise the site plan to show, at a minimum the middle of Lagoon Road. **Done.**
5. The privacy screen seems out of place on the Coligny Plaza elevation. **Revised.**
6. Remove asphalt to reconfigure and clarify the landscape island at Lagoon. Planting should include a Live Oak. **Done.**
7. Remove the sidewalk in the island on the Coligny Plaza end of the building. Planting should include a Live Oak. **Done.**
8. Staff does not support changing the wood shingles to asphalt shingles. Consider another material to replace the wood shingles. **In reconsideration of the context, given the prevalence of green asphalt shingles at Coligny, Staff supports approval of the shingles currently on the building.**

Article III
Board Organization and Duties

Section 1. Membership.

1. **Number and Qualifications.** The Board shall consist of seven members appointed by the Town Council. To the extent practicable, the appointed members shall include at least one attorney and at least two but not more than three design professionals (such as a registered architect, a landscape architect or a graphic artist). None of the members shall hold an elected public office or position with the Town of Hilton Head Island or Beaufort County, South Carolina, and no former Board member shall be appointed to the Board without having been absent from the Board for a period of at least one year.
2. **Length of Terms.** Members of the Board shall be appointed annually for three-year terms effective each July 1, with all such terms ending on June 30 of the applicable year, unless a member is appointed to fill a vacancy. Vacancies shall be filled by the Town Council by appointments for the balance of any unexpired terms.
3. **Term Limits.** No member may serve more than two successive terms, except at the pleasure of the Town Council when the Council believes that such continuation of service is in the best interest of the Community and is for a specific purpose. Service to fill an unexpired term of less than one and one-half years shall not constitute a term of service for the purpose of these term limits.
4. **Attendance/Absences.** Board members are expected to attend all Board meetings. Each member of the board who has prior knowledge that they will not be able to attend a scheduled Regular Meeting of the board shall notify the Secretary no later than ~~4:30 P.M.~~ **10 A.M.** the business day before the meeting. In the case of an emergency, a member shall give the earliest possible notification. The Secretary or Staff shall notify the Chairperson in the event that the projected absence(s) will produce a lack of a quorum.
5. **Removal.** Three (3) unexcused absences at Regular or Special Meetings of the Board during one calendar year shall be cause for recommendation by the Chairperson to the Town Council to reconsider the appointment of that member. Attendance records shall be reviewed annually by the Chairperson.