



**Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, June 12, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA**

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of May 22, 2018**
- 6. New Business**
 - A. Alteration/Addition*
 - Mullet's, DRB-001325-2018 (Approved January 9, 2018)
 - Shelter Cove Plaza, DRB-001335-2018
 - B. New Development – Conceptual*
 - Wimbledon, DRB-001339-2018 (Withdrawn March 13, 2018)
- 7. Board Business**
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
May 22, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Jake Gartner, Brian Witmer, Ron Hoffman, Kyle Theodore, Michael Gentemann

Board Members Excused: Vice Chairman Dale Strecker, Debbie Remke

Town Council Present: None

Town Staff Present: Carolyn Grant, Communications Director; Anne Cyran, Senior Planner; Taylor Ladd, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – April 24, 2018

The Board approved the minutes of the April 24, 2018 meeting by general consent.

6. New Business

A. Alteration/Addition

- The Pink Pineapple, DRB-001160-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial of the application as submitted and added the following comments:

1. SW 6302 "Innocence" is not a nature blending color and not in keeping with Island Character.
2. Taking the color of the adjacent units into consideration, Staff does not think the proposed color will work on this elevation. The proposed color is too light and will wash out that part of the shopping center.
3. The applicant should consider a darker color for the building that would offset pink as an accent on the sign.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board asked if Staff has the proposed colors on file for this shopping center. The proposed colors are not on file for the shopping center. The Board indicated that indoors the proposed body color reads as white and needs some depth to it. Further, the proposed body color is too pink and does not meet the criteria of a nature blending color. The body color will be the dominant color so it's required to be an earth tone. Non-nature blending tones could be used as accent colors or on a sign. The applicant proposed alternate colors, SW 7073 Network Gray for the body color, and SW 7070 Site White as the trim color. The Board favored these nature blending colors.

Ms. Theodore made a motion to approve DRB-001160-2018 with the following conditions:

1. The color of the body of the building shall be SW 7073 Network Gray.
2. The trim color shall be SW 7070 Site White.

Mr. Hoffman seconded. The motion passed with a vote of 5-0-0.

- Marshpoint, DRB-001174-2018 (Approved March 13, 2018)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. The applicant is requesting the addition of SW 7748 "Green Earth" on specific buildings to the previously approved color palette change approved on March 13, 2018. Staff recommends approval as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant confirmed the plan is to alternate the colors of the buildings with Superior Bronze and Green Earth.

Chairman Gartner requested comments from the Board. The Board thanked the applicant for submitting color renderings of the proposal. The Board complimented the additional color.

Mr. Gentemann made a motion to approve DRB-001174-2018 as submitted. Ms. Theodore seconded. The motion passed with a vote of 5-0-0.

- Shops at Port Royal, DRB-001057-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. The roof shall be standing seam in "Medium Bronze".
2. The band on the building shall match the proposed roof color.
3. The red color (Colonial Red) shall be changed to Medium Bronze (roof and bands).

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board agreed with the Staff comments. The Board asked if the entire site will be reroofed. The site is not being reroofed. Only the promenade structures will be replaced with a standing seam metal roof. The red color

is no longer a part of the application. The Board agreed with switching the Colonial Red with Medium Bronze. The Board asked the locations of the two proposed gray colors. Designer Grey is the predominant color. Gray Mountain is proposed for the tiny bands and wrapping the columns. The base of the storefront will be bronze to match the roof. The Board asked what the underside of the roof will be. The applicant stated the plan is to paint the underside “Roman Column”. The Board expressed concern for not seeing what’s proposed for the underside of the structure. The Board expressed wanting to see renderings that show all of the colors as proposed.

Mr. Gentemann made a motion to approve DRB-001057-2018 with the following conditions:

1. The roof shall be standing seam in “Medium Bronze”.
2. The band above the storefronts shall be a “Medium Bronze” color to match the roof color in lieu of the submitted “Colonial Red”.
3. The “Designer Grey” color shall be used for the entire underside of the structures.

Ms. Theodore seconded. The motion passed with a vote of 5-0-0.

B. *New Development – Final*

- Starbucks, DRB-001166-2018 (Conceptual Approval March 27, 2018)

(Ms. Theodore recused herself from DRB-001166-2018 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board’s packet. The applicant addressed the DRB conceptual comments by reducing the size of the wall sconces at the two exit/entry points of the building. The light fixtures below the transom windows along the rear and sides of the building were reduced in size and their mounting height were increased to match the mounting height of the light fixtures at the exit/entry locations. Since conceptual approval, Starbucks requested to reduce the amount of storefront on the East Elevation by 11 feet and change the exterior wall surface to hardie siding. Staff recommends approval with the following conditions:

1. Remove curb beyond existing edge of asphalt within dripline of the 26 Live Oak at William Hilton Parkway.
2. Add bollard to protect ground from compaction within dripline of the 26 Live Oak at William Hilton Parkway.

Chairman Gartner asked if the applicant would like to add to Staff’s narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the applicant for addressing the Board’s previous comments. The Board agreed with Staff’s comments. For the health of the tree, it would be better if the curb was not in the proposed location. Bollards have less of an impact than a curb. The Board favored removing the curb from the location identified by Staff and adding two bollards in its place.

Mr. Witmer made a motion to approve DRB-001166-2018 with the following conditions:

1. Remove curb beyond existing edge of asphalt within dripline of the 26 Live Oak at William Hilton Parkway.
2. Add two bollards to protect ground from compaction within dripline of the 26 Live Oak at William Hilton Parkway.

Mr. Gentemann seconded. The motion passed with a vote of 4-0-0.

- Circle K, DRB-001176-2018 (Conceptual Approval April 24, 2018)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Initially, Staff recommended denial with the following comments: the Planting Plan needs revisions based on the Design Team/DRB Comment Sheet, and the Lighting Plan is not compliant with the LMO or DRB requirements. Subsequent to the packet, the applicant made efforts to address Staff's comments. Therefore, Staff recommends approval with the condition that the Crepe Myrtle be changed to Wax Myrtle.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board expressed appreciation to the applicant for working with them on all aspects of the project. The Board complimented the applicant for improving the roof to meet the Design Guidelines and still maintain its functional aspect. The Board expressed concern for being able to see the building behind the gas station. An oak tree shields most of the building, except for coming down Mathews drive. The Board agreed with Staff's landscaping comments. The Crepe Myrtles should be replaced with Wax Myrtles. The Board expressed concern for the health of the Redbuds in the proposed location. The Board was in favor of a better sun-tolerant material. The Board complimented the color scheme coordinating within the William Hilton Parkway and Mathews Drive intersection. The Board confirmed with the applicant the Coronado Brick Stone is true brick and part veneer; not a peel-and-stick material. It is dimensional with a real mortar joint.

Mr. Witmer moved to approve DRB-001176-2018 with conditions, which were discussed and amended, and adopted as follows:

1. Change the Crepe Myrtles to Wax Myrtles.
2. Recommend changing the Redbuds to more of a sun tolerant flowering species.
3. Per conversation with Staff, replace Crepe Myrtles located in front of building with Ilex vomitoria 'Nana' underneath the Oaks.
4. Include the changes made in the package submitted to Town Staff on May 18, 2018.

Mr. Hoffman seconded. The amended motion passed with a vote of 5-0-0.

7. Board Business – None

8. Staff Report

Mr. Darnell reported on the Minor Corridor approvals since the last Board meeting.

Mr. Darnell reported the Board's concerns regarding sign size and interior neon lighting have been assigned to the Planning Commission's LMO Committee. The LMO Committee anticipates scheduling a meeting for July.

9. Appearance by Citizens – None

10. Adjournment

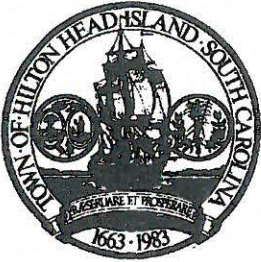
The meeting was adjourned at 2:34 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Jake Gartner, Chairman

DRAFT



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 5/29/18
 Accepted by: _____
 DRB #: 1325-2018
 Meeting Date: _____

Applicant/Agent Name: Mullet's Company: Fresh as F LLC
 Mailing Address: 19 Creekstone Dr City: HHT State: SC Zip: 29928
 Telephone: 843-785-9007 Fax: _____ E-mail: gberkes55@gmail.com
 Project Name: Mullet's Project Address: 6014 William Hilton Pkwy
 Parcel Number [PIN]: R51100800002430000
 Zoning District: WHTU MF Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

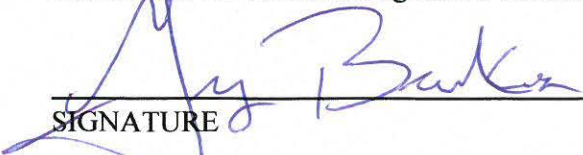
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

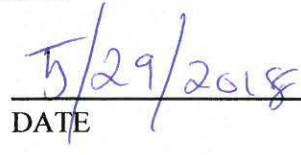
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE



 DATE

From: [Gregory Berkes](#)
To: [Darnell Chris](#); [Scott D Corkern](#)
Subject: Fwd: Mullets
Date: Tuesday, May 29, 2018 11:47:39 AM

----- Forwarded message -----

From: **Greg Berkes** <gberkes55@gmail.com>
Date: Tue, May 29, 2018 at 11:29 AM
Subject: Mullets
To: gberkes55@gmail.com

Chris,

Please see attached. The photos are of our temporary shade that is going in to DRB revision June 12th. The shade structure will be used to provide shade to the customers that opt to have a nice marsh front view while they enjoy their food. The shaded structure is temporary and a result of the flood codes changing in our favor which have delayed our project of the pavilion. We feel, as a whole this is a lot more aesthetically pleasing and secure than the alternative of umbrellas and stays in line with island character.

Please let me know if you need anything further.

Thanks,

Greg Berkes









ENTRANCE

LAKEVIEW BAY
LAKESHORE RESORTS
LAKEVIEW BAY

ENTRANCE









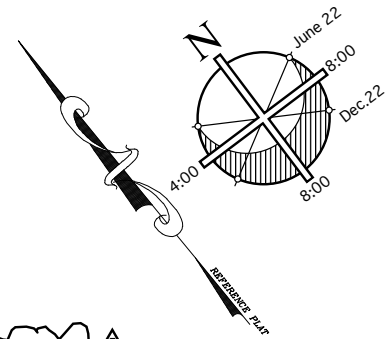
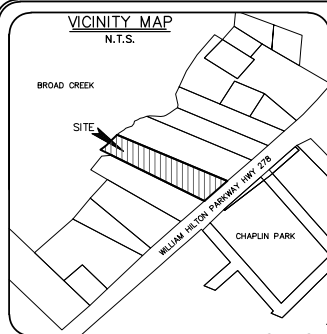




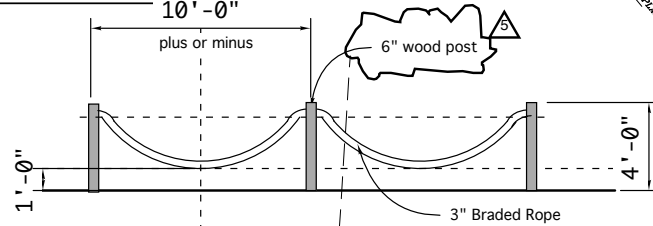








LINE	LENGTH	BEARING
L1	9.14	S 39°46'22" W
L2	28.46	S 55°21'16" W
L3	18.27	S 42°31'44" W
L4	24.81	S 44°23'04" W
L5	24.00	S 82°36'40" W
L6	27.55	S 37°59'55" W



B Rope fence Elevation
1/4" = 1'-0"

these Pecan trees now saved
not to be removed as per
approved site plan

R511 008 000 024L 0000
APR ENTERPRISES LLC
21 VIRGINIA RAIL LN
HILTON HEAD ISLAND SC 29926

hurricane damaged Tree removed

Rope and wood Post fence
slightly moved to match
parking

Existing dumpster to remain

Gravel parking Phase 2
Gravel drive Phase 2

Phase 2
8x8 Wood Post
6x6 Wood Post
Cables and canvas
awnings

PARCEL 24B

eyelette

10' Buffer
1/4" Coated Steel Cable and fabric triangular awnings

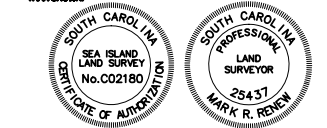
6x6" Post

C Temp. Shade Elevation
1/4" = 1'-0"

A Site Plan
1/16" = 1'-0"

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS LOCAL.
 - 5) VERTICAL DATUM IS NGVD29.
 - 6) CONTOUR INTERVAL IS 1'.
 - 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
 - 10) THIS PROPERTY IS SUBJECT TO AN EASEMENT AGREEMENT WITH PALMETTO ELECTRIC RECORDED IN DEED BOOK 3053 AT PAGE 483.
 - 11) THIS PROPERTY IS SUBJECT TO AN ENCROACHMENT AND EASEMENT AGREEMENT RECORDED IN DEED BOOK 1890 AT PAGE 1303.

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF THE DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.



ASBLUIT, BOUNDARY,
TREE AND TOPOGRAPHIC SURVEY OF:
TAX PARCEL R511 008 000 024B 0000,
WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: FRESH as F LLC

DATE: 12/14/16 SCALE: 1" = 16'
GRAPHIC SCALE

SIL Sea Island Land Survey, LLC. 2/23/18
4D Mathews Court, Hilton Head Island, SC 29926
Tel: (843) 681-3248 Fax: (843) 689-3871
E-mail: sils@sprynet.com
FILE No.: 16239 DWG No.: 3-2088

Scott Corkern Architect
(843) 816-2984
1080 May River Road
Sturton SC 29910

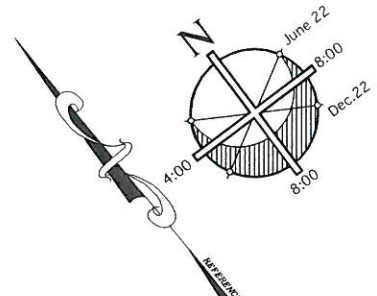
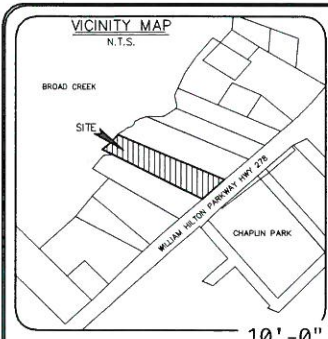
Mullet's
614 William Hilton Parkway
Hilton Head IS SC

REFERENCE PLATS

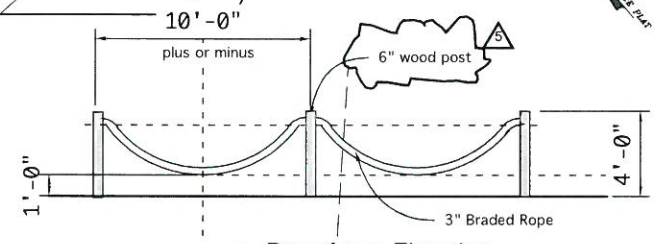
- 1) A PLAT OF SURVEY LAND OF ANNA MAE BOLDEN, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/09/74 RECORDED IN DEED BOOK 220, PAGE 1068 ROD. BEAUFORT COUNTY, SC BY: K.T. DUBIS S.C.R.L.S. # 2823
- 2) AN ASBLUIT LAND SURVEY OF R510 008 000 024B, A PORITON OF FAIRFIELD VILLAGE AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 4/29/15 ROD. BEAUFORT COUNTY, SC BY: MICHAEL R. DUNIGAN S.C.R.L.S. # 11905

PROPERTY AREA = 1.37 AC. 59,633 S.F. TO OCRM CRITICAL LINE
ADDRESS: 614 WILLIAM HILTON PARKWAY
DISTRICT: 511, MAP: 8, PARCEL: 24B
THIS PROPERTY LIES IN F.E.M.A. ZONE A7
BASE FLOOD ELEVATION = 14.0'
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

- LEGEND & SYMBOLS:
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONTOUR
 - 1/2" IRON PIN FOUND
 - TEMPORARY BENCH MARK
 - INVERT ELEVATION
 - FINISHED FLOOR ELEVATION
 - REINFORCED CONCRETE PIPE
 - LIVE OAK
 - LAUREL OAK
 - MULBERRY
 - MIMOSA
 - PINE
 - PALM
 - WATER OAK
 - PECAN
 - WILD CHERRY
 - SUGAR BERRY
 - ELECTRIC SERVICE
 - ELECTRIC TRANSFORMER
 - TELEVISION SERVICE
 - TELEVISION SERVICE
 - STORM MANHOLE
 - CATCH BASIN
 - WATER LATERAL
 - FLOOD LIGHT



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L5	24.00	S 82°36'40" W
L6	27.55	S 37°59'55" W



B Rope fence Elevation
1/4" = 1'-0"

TIMBER CURBS
3" DEEP SAND

DELETE

WAX MIMOSA

10 Leland Cypress

8x8 Wood Post
6x6 Wood Post
Cables and canvas awnings

these Pecan trees now saved
not to be removed as per
approved site plan

hurricane damaged Tree removed

Rope and wood Post fence
slightly moved to match
parking

Existing dumpster to remain

Gravel parking Phase 2
Gravel drive Phase 2

MARSHES OF BROAD CREEK

OCRM CRITICAL LINE IS PROPERTY LINE

20' TOWN OF HILTON HEAD ISLAND DORM SETBACK/BUFFER

100' POWER LINE EASEMENT

TRANSMISSION LINE

POWER POLE #2000 150005

METAL BUILDING FFE = 9.2'

100' POWER LINE EASEMENT

PARCEL 24B

DRIP LINE 34" LIVE OAK

6.2742' SHED

ELECTRIC SERVICE

TELEVISION SERVICE

10' Buffer

eyelette

1/4" Coated Steel Cable and fabric triangular awnings

6x6" Post

Temp. Shade Elevation

town condition 4 2/23/18

Revisions requested 5/21/18

R511 008 000 0219 0000
B & W OF HILTON HEAD LLC
616 WILLIAM HILTON PKY
HILTON HEAD ISLAND SC 29928

REFERENCE PLATS

- 1) A PLAT OF SURVEY LAND OF ANNA MAE BOLDEN, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/09/74 RECORDED IN DEED BOOK 220, PAGE 1068 ROD: BEAUFORT COUNTY, SC BY: K.T. DUBIS S.C.R.L.S. # 2823
- 2) AN ASBUILT LAND SURVEY OF R510 008 000 024B, A PORTION OF FAIRFIELD VILLAGE AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 4/29/15 RECORDED IN DEED BOOK 3053, PAGE 483 ROD: BEAUFORT COUNTY, SC BY: MICHAEL R. DUNGAN S.C.R.L.S. # 11905

PROPERTY AREA = 1.37 AC. 89,833 S.F. TO OCRM CRITICAL LINE
ADDRESS: 614 WILLIAM HILTON PARKWAY
DISTRICT: 511, MAP: 8, PARCEL: 24B
THIS PROPERTY LIES IN F.E.M.A. ZONE AT
BASE FLOOD ELEVATION = 14.0'
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

LEGEND & SYMBOLS:

- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - CONTOUR
 - 1/2" IRON PIN FOUND
 - TEMPORARY BENCH MARK
 - INVERT ELEVATION
 - FINISHED FLOOR ELEVATION
 - REINFORCED CONCRETE PIPE
 - LIVE OAK
 - LAUREL
 - OAK
 - MULBERRY
 - MIMOSA
 - PN
 - FLM
 - WO
 - PEC
 - CH
 - SB
 - ELECTRIC SERVICE
 - ELECTRIC TRANSFORMER
 - TELEPHONE SERVICE
 - TELEVISION SERVICE
 - STORM MANHOLE
 - CATCH BASIN
 - WATER LATERAL
 - FLOOD LIGHT

NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS LOCAL.
- 5) VERTICAL DATUM IS NGVD29.
- 6) CONTOUR INTERVAL IS 1'.
- 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
- 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
- 10) THIS PROPERTY IS SUBJECT TO AN EASEMENT AGREEMENT WITH PALMETTO ELECTRIC RECORDED IN DEED BOOK 3053 AT PAGE 483.
- 11) THIS PROPERTY IS SUBJECT TO AN ENCROACHMENT AND EASEMENT AGREEMENT RECORDED IN DEED BOOK 1890 AT PAGE 1303.

A Site Plan
1/16" = 1'-0"

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE _____ DATE _____
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

I HEREBY GRANT THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY ENOUGH HEREON HAS BEEN ACCORDANCE WITH THE REQUIREMENTS OF THE STATUTES GOVERNING THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND I HAVE COMPLIED WITH THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO UNLAWFUL ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SOUTH CAROLINA
SEA ISLAND LAND SURVEY
No. 002180
DATE OF APPROVAL 1/15/18

SOUTH CAROLINA
PROFESSIONAL LAND SURVEYOR
25437
MARK R. REVEN

NOT VALID UNLESS EMBOSSED.

ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:
TAX PARCEL R511 008 000 024B 0000,
WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: FRESH as F LLC

DATE: 12/14/16 SCALE: 1" = 16'

SIS Sea Island Land Survey, LLC. 2/23/18
4D Mathews Court, Tel: (843) 681-3248
Hilton Head Island, SC 29926 Fax: (843) 689-3871
E-mail: sis@sprynet.com
FILE No.: 16239 DWG No.: 3-2088

Mullet's
614 William Hilton Parkway
Hilton Head IS SC

Scott Corkern Architect
(843) 816-9884
1080 May River Road
Bluffton SC 29910

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Mullet's

DRB#: DRB-001325-2018

DATE: 06/06/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

ARCHITECTURAL DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is no detail or color to tie this new structure to the existing structure on the site. (Design Guide, p.15)
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Please provide a sample of the material and color of the shade cloth.
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There are no detail for visual interest. The structure appears haphazard. (Design Guide, p.15) "Structures shall demonstrate the general principles of good design..."(Design Guide, p.12)
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There is already an existing structure on this parcel. There is not detail or color to tie this new structure to the existing.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

MISC COMMENTS/QUESTIONS

1. Shade sails or cloth shade structures have typically not been approved by the DRB.
2. The structure appears temporary and haphazard. There is no approval of a “temporary” structure, there is only approval of a structure.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Chris Nardone Company: CNNA Architects
 Mailing Address: 119 Luckie St. NW, Suite 100 City: Atlanta State: GA Zip: 30303
 Telephone: 404-522-0077 Fax: 404-522-0080 E-mail: CNardone@cnna.com
 Project Name: Shelter Cove Plaza Exterior Facade Renovation Project Address: 50 Shelter Cove Lane, Hilton Head Island, SC 29928
 Parcel Number [PIN]: R 5 2 0 0 1 2 0 0 B 0 0 2 3 0 0 0 0
 Zoning District: Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2018.05.29

DATE



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-341-2087
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
App. #:	_____
Form revised 10-2012	

AFFIDAVIT OF OWNERSHIP AND HOLD HARMLESS PERMISSION TO ENTER PROPERTY

The undersigned being duly sworn and upon oath states as follows:


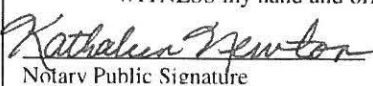
1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize CNNA Architects to act as my agent for this application only.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. The application is being submitted with my knowledge and consent.
5. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 44 AND 50 SHELTER COVE LANE, SUITE HH, HHI, SC (address), R 5 2 0 0 1 2 0 0 B 0 0 2 3 0 0 0 0 (parcel ID) for the purpose of application review, for the limited time necessary to complete that purpose.

Description of Work: architectural plans and drawings for façade renovation.

Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.

6. I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions that:
 - a. any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
 - b. all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
 - c. all mechanical, electrical and plumbing devices will be installed above base flood elevation.
 - d. walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
 - e. the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
7. I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

Print Name: <u>LAURA GRIFFIN</u> AGENT FOR Owner Signature: _____	
Phone No.: <u>704.804.5801</u> Email: <u>LAURA.GRIFFIN@JLL.COM</u>	
Date: <u>05.07.18</u>	

The foregoing instrument was acknowledged before me by <u>Laura A. Griffin</u> who is personally known to me in my professional and <u>NC Drivers License</u> as identification and who did not take an oath.	
WITNESS my hand and official seal this <u>8th</u> day of <u>May</u> , A.D., <u>2018</u> .	
 Notary Public Signature	My Commission expires: <u>3/22/2019</u> Please affix seal or stamp.

Description of Project:

There are two basic parts to this Application for The Plaza @ Shelter Cove shopping center. The first is the renovation to the existing "Post Modern" TJ Maxx entry feature to be more consistent with the recently renovated Whole Foods, bringing natural wood and a lower profile to the center's 2nd anchor tenant. The second is addressing the visual aspects and visibility to the rear service side of the center. The owners have voluntarily decided that dressing up the rear of the center, especially now with the new apartment complexes and the proposed street parking, would be a good thing for Shelter Cove in general.

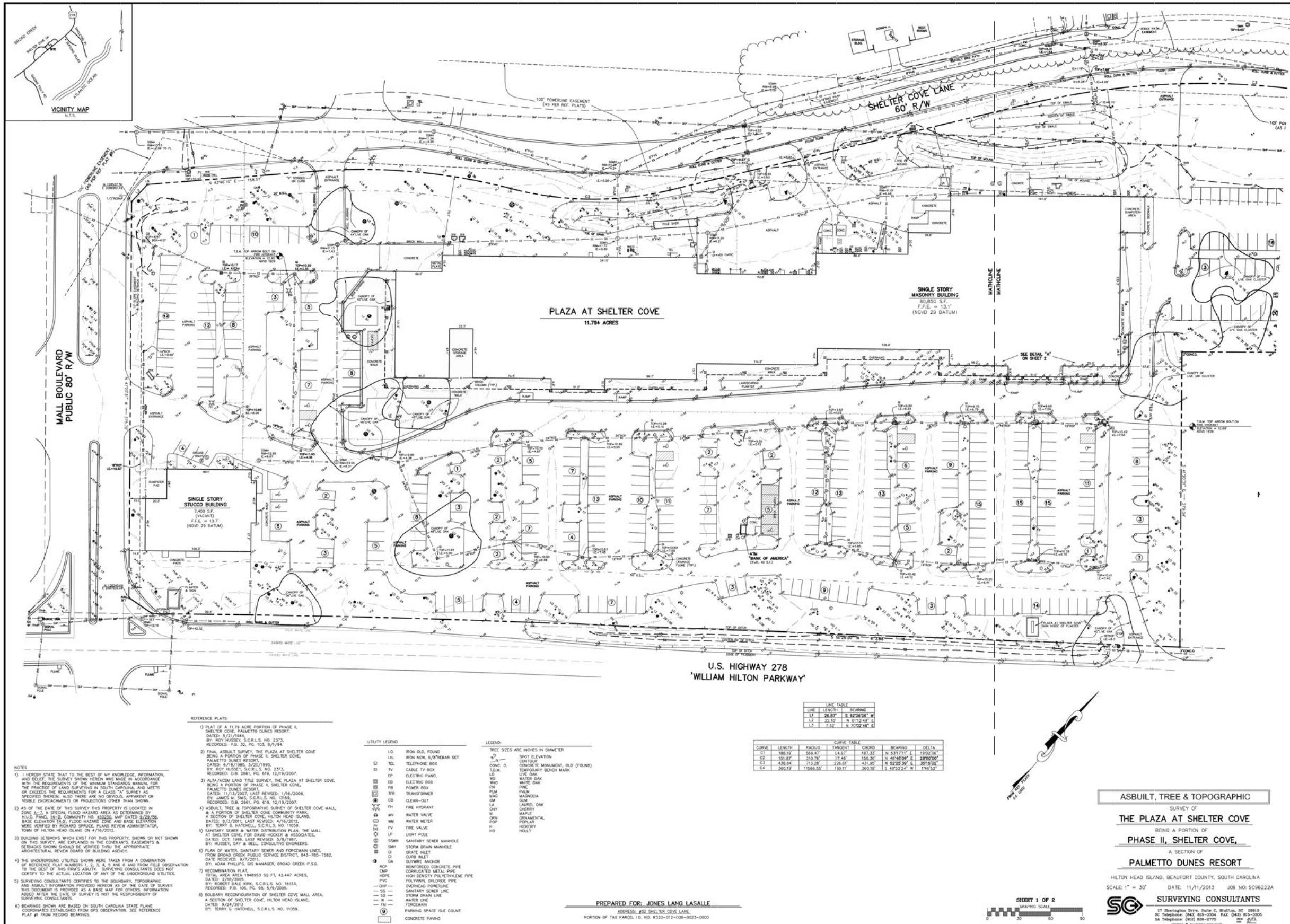
Part One involves the proposed TJ Maxx entry feature and typical retail canopy dormer renovations. The existing TJ Maxx Entry feature is a relic of a previous style of architecture that the owners would like to modernize. The goal is to remove the large gable stucco feature and replace with a more modern, low profile, natural wood entry feature; similar in concept to the Whole Foods Anchor at the project's north end. The footprint of the existing entry feature vestibule will remain in place, as will the brick piers and brick bulkhead under the storefront (to be replaced). No increase of square footage associated with this renovation.

The second part of Part One is the updating of the retail canopy dormers. These too are of the outdated architectural style, and we propose to clean them up and modernize with a triangular natural wood louver. This also helps to unify the entire front with a hint of the main anchors' fascade material. There are 5 of these dormers along the front/278 elevation. There are 2 more of these along the south elevation at Giuseppi's, but Giuseppi's new outdoor trellis and patio construction have "buried" them and they would be difficult to access, so we propose to leave these alone, as is.

Part Two involves the rear of the shopping center. We are proposing a few minor parapet extensions/additions to square off a corner &/or to conceal existing roof top equipment. We are proposing a few sections of natural wood fence to conceal a few views of unsightly service features typical to the rear of a shopping center. One fence section will conceal the existing unscreened dumpsters sitting open in the service drive area. We also propose 3 locations for up-lighting of over canopy trees; to enhance the night view, adds a little security lighting, and serves as a visual distraction from the not so attractive rear of the shopping center. We are also proposing to paint the entire rear of the center in a 3 tone warm grey paint scheme, very natural in color.

Additionally, we are proposing two crosswalks. Our original concept was to add a wandering pedestrian path, with bench seating areas and other hardscape features along the entire rear of the project. After proposing this, we uncovered the fact that on street parking was planned for the rear drive, Shelter Cove Lane. We therefore scaled back our concept understanding there is a sidewalk on the opposite side of the drive. Therefore, we would like to provide crosswalks so that pedestrians have a safe place to cross the road to & from the Plaza at Shelter Cove. One at the North entrance near Whole Foods, the second at the South entrance near Giuseppi's. We are also proposing approx. 50' of conc. sidewalk to connect the proposed southern crosswalk to the Giuseppi's patio (the center's sidewalk).

This concludes the desired scope of work proposed. Thanks in advance for your consideration.



EXTERIOR FACADE RENOVATION
 SHELTER COVE PLAZA
 50 SHELTER COVE LANE
 HILTON HEAD ISLAND, SC 29928
 CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

THE DRAWING, ITS CONTENTS & ALL RIGHTS OF IT ARE PROPERTY OF CNNA, INC. NO PARTS HEREOF MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CNNA ARCHITECTS, INC. PROJECT NO. 17115.00

Print Record

Revisions

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Project No.: 17115.00
 Project Date: May 15, 2018
 Cadd File No:

Drawn By: JMG
 Checked By:

Scale: NTS

Sheet Title: SITE SURVEY

Sheet No.

ASBUILT, TREE & TOPOGRAPHIC
 SURVEY OF
THE PLAZA AT SHELTER COVE
 BEING A PORTION OF
PHASE II, SHELTER COVE,
 A SECTION OF
PALMETTO DUNES RESORT
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 SCALE: 1" = 30' DATE: 11/11/2013 JOB NO: SC962224
SURVEYING CONSULTANTS
 17 Berrington Drive, Suite C, Bluffton, SC 29910
 SC Telephone: (843) 853-2004 FAX: (843) 853-2005
 GA Telephone: (800) 853-9775



LINE TABLE

LINE	LENGTH	BEARING
11	25.87	S. 82°02'00" W.
12	7.10	S. 82°32'48" E.
13	7.32	N. 70°02'48" E.

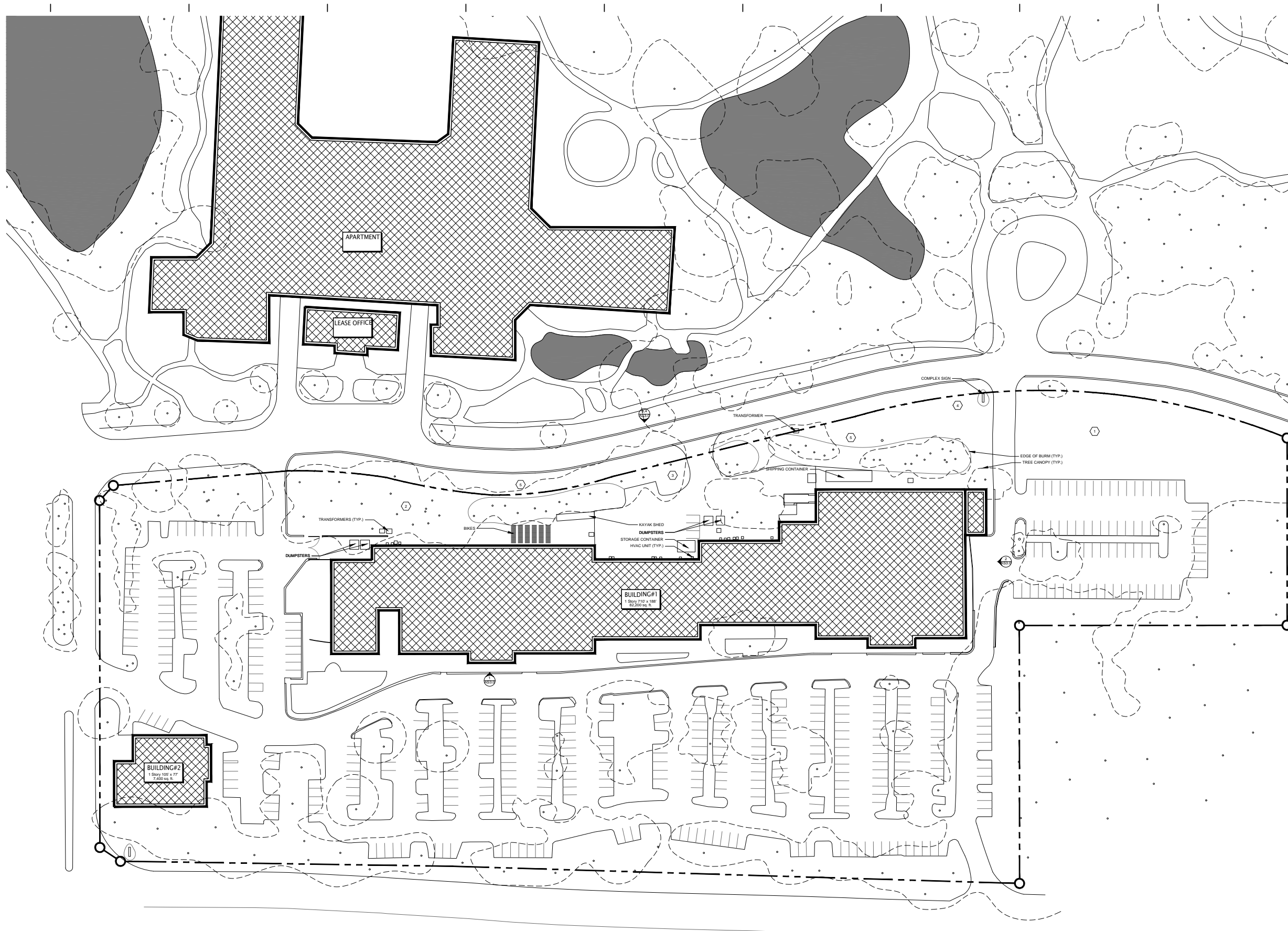
CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	188.32	368.47	148.87	182.33	N. 53°17'11" E.	132°02'00"
C2	131.87	263.74	71.46	130.36	N. 48°49'06" E.	287°00'00"
C3	438.84	713.20	228.81	431.93	N. 82°23'30" E.	307°33'00"
C4	383.12	1128.30	180.17	380.19	E. 42°32'42" W.	118°32'00"

- REFERENCE PLATS
- PLAT OF A 11.79 ACRE PORTION OF PHASE II, SHELTER COVE, PALMETTO DUNES RESORT, DATED: 5/27/1984, BY: ROY HUSSEY, S.C.R.L.S. NO. 2373, RECORDED: P.B. 32, PG. 103, 8/7/84.
 - FINAL ASBUILT SURVEY, THE PLAZA AT SHELTER COVE BEING A PORTION OF PHASE II, SHELTER COVE, PALMETTO DUNES RESORT, DATED: 6/18/1985, 3/20/1985, BY: ROY HUSSEY, S.C.R.L.S. NO. 2373, RECORDED: D.B. 2841, PG. 819, 12/19/2007.
 - ALTA/ACM LAND TITLE SURVEY, THE PLAZA AT SHELTER COVE, BEING A PORTION OF PHASE II, SHELTER COVE, PALMETTO DUNES RESORT, DATED: 11/13/2007, LATEST REVISION: 1/16/2008, BY: JAMES M. SIMS, S.C.R.L.S. NO. 13789, RECORDED: D.B. 2841, PG. 819, 12/19/2007.
 - ASBUILT, TREE & TOPOGRAPHIC SURVEY OF SHELTER COVE MALL, A PORTION OF SHELTER COVE COMMUNITY PARK, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 8/2/2011, LATEST REVISION: 4/16/2012, BY: TERRY G. WATCHELL, S.C.R.L.S. NO. 11059, RECORDED: D.B. 2841, PG. 819, 12/19/2007.
 - SANITARY SEWER & WATER DISTRIBUTION PLAN, THE MALL AT SHELTER COVE, FOR DAVID HODDER & ASSOCIATES, DATED: OCT. 1988, LATEST REVISION: 5/28/1987, BY: HUSSEY, GAY & BELL CONSULTING ENGINEERS.
 - PLAN OF WATER, SANITARY SEWER AND FORCEMAIN LINES, FROM BROAD CREEK PUBLIC SERVICE DISTRICT, 843-785-7242, DATED: RECORDED: 8/7/2007, BY: ADAM PHILLIPS, USE MANAGER, BROAD CREEK P.S.D.
 - RECOMBINATION PLAT, TOTAL AREA AREA 148483.50 SQ. FT., 42.447 ACRES, DATED: 2/7/2005, BY: ROBERT DAVE SMITH, S.C.R.L.S. NO. 16133, RECORDED: P.B. 106, PG. 98, 5/9/2005.
 - BOUNDARY RECONFIGURATION OF SHELTER COVE MALL AREA, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 8/24/2013, BY: TERRY G. WATCHELL, S.C.R.L.S. NO. 11059.
- UTILITY LEGEND
- 1/0 IRON S.D. FOUND
 - 1/1 IRON NICK. 5/8" PRESS. SET
 - 1/2 TELEPHONE BOX
 - 1/3 TV CABLE TV BOX
 - 1/4 T.B.M.
 - 1/5 ELECTRIC PANEL
 - 1/6 EB ELECTRIC BOX
 - 1/7 FB POWER BOX
 - 1/8 TR TRANSFORMER
 - 1/9 CD CLEAN-OUT
 - 1/10 FH FIRE HYDRANT
 - 1/11 WV WATER VALVE
 - 1/12 WM WATER METER
 - 1/13 FV FIRE VALVE
 - 1/14 UP LIGHT POLE
 - 1/15 SSMH SANITARY SEWER MANHOLE
 - 1/16 SMH STORM DRAIN MANHOLE
 - 1/17 G GRATE RELET
 - 1/18 CA CURE RELET
 - 1/19 GUYWIRE ANCHOR
 - 1/20 RCP REINFORCED CONCRETE PIPE
 - 1/21 CMP CORRUGATED METAL PIPE
 - 1/22 HDPE HIGH DENSITY POLYETHYLENE PIPE
 - 1/23 PVC POLYVINYL CHLORIDE PIPE
 - 1/24 OHP OVERHEAD POWERLINE
 - 1/25 SS SANITARY SEWER LINE
 - 1/26 SD STORM DRAIN LINE
 - 1/27 WASTE LINE
 - 1/28 FW FORDKAM
 - 1/29 FARS FARKING SPACE ISLE COUNT
 - 1/30 CONCRETE PAVING
- LEGEND
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONTOUR
 - CONCRETE MONUMENT, OLD (FOUND)
 - TEMPORARY BENCH MARK
 - WATER GAGE
 - WHITE GAK
 - PAINT GAK
 - PLM PALM
 - MAS MANGROVE
 - DM DUM
 - LAKEL GAK
 - CHY CHERRY
 - MAPLE
 - ORN ORNAMENTAL
 - H HOLLY
- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO OBVIOUS APPARENT OR VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.
 - AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A-1, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY HUD PANEL 14-25, COMMUNITY NO. 452020, MAP DATED 8/22/06, BASE ELEVATION 14.0, FLOOD ZONE AND BASE ELEVATION WERE VERIFIED BY RICHARD SPRUIELL, PLANS REVIEW ADMINISTRATOR, TOWN OF HILTON HEAD ISLAND ON 4/16/2013.
 - BUILDING SETBACKS WHICH EXIST FOR THIS PROPERTY, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE REVIEWED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - THE UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM A COMBINATION OF REFERENCE PLAT NUMBERS 1, 2, 3, 4, 5 AND 6, AND FROM FIELD OBSERVATION TO THE BEST OF THIS FIRM'S ABILITY. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE ACTUAL LOCATION OF ANY OF THE UNDERGROUND UTILITIES.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREIN AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - BEARINGS SHOWN ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATES ESTABLISHED FROM GPS OBSERVATION. SEE REFERENCE PLAT #1 FROM RECORD BOOKS.
- PREPARED FOR: JONES LANG LASALLE
 ADDRESS: 422 SHELTER COVE LANE
 PORTION OF TAX PARCELS 15, NO. 850-01-108-001-0000

119 LOCKE STREET, NW ATLANTA, GEORGIA 30303.2146 404.522.0077 FAX 404.522.0080
 ARCHITECTURE PLANNING PROGRAMMING INTERIOR DESIGN PROJECT MANAGEMENT GRAPHIC DESIGN
 Not Released for Construction
 Released for Construction

AS1.0



1 EXISTING SITE PLAN
1" = 50'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
CNNA ARCHITECTS, INC.

THIS DRAWING IS FOR THE ABOVE LOCATION ONLY

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NO.	DATE	DESCRIPTION

Revisions

NO.	DATE	DESCRIPTION

Project No.: 17115.00
Project Date: May 15, 2018
Cadd File No:

Drawn By: JMG
Checked By:

Scale: AS NOTED

Sheet Title:

EXISTING SITE PLAN

Sheet No.

AS1.1

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6 STREET VIEW @ WHOLE FOODS



5 STREET VIEW @ WHOLE FOODS



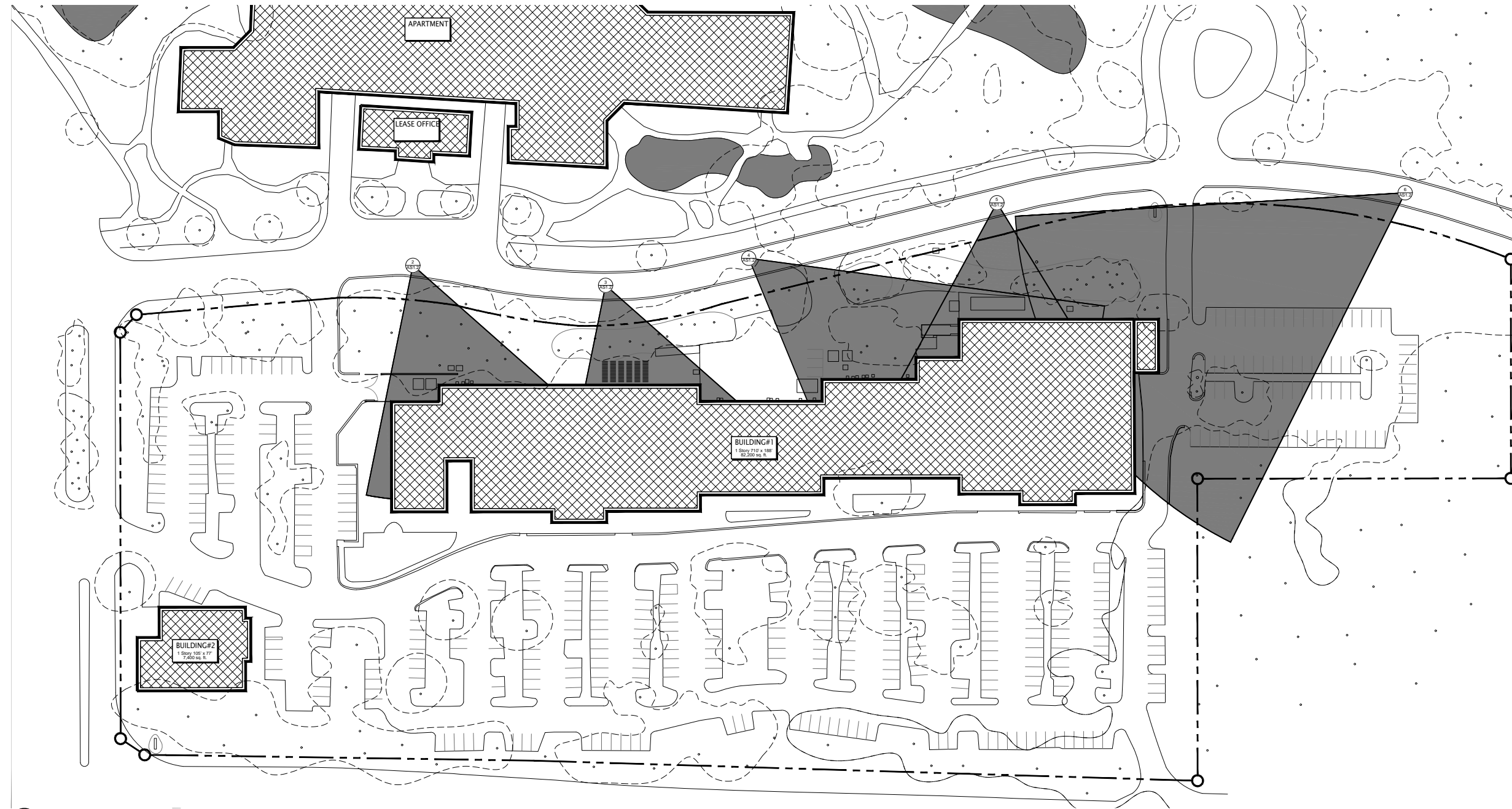
4 STREET VIEW @ MIDDLE ENTRANCE



3 STREET VIEW @ TJ MAXX



2 STREET VIEW @ GIUSEPPI'S



1 PHOTO STUDY: BUILDING REAR
1" = 50'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
CNNA ARCHITECTS, INC.

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Sheet Title:

PHOTO STUDY:
BUILDING REAR

Sheet No.

AS1.2

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5 FACADE VIEW @ GIUSEPPIS



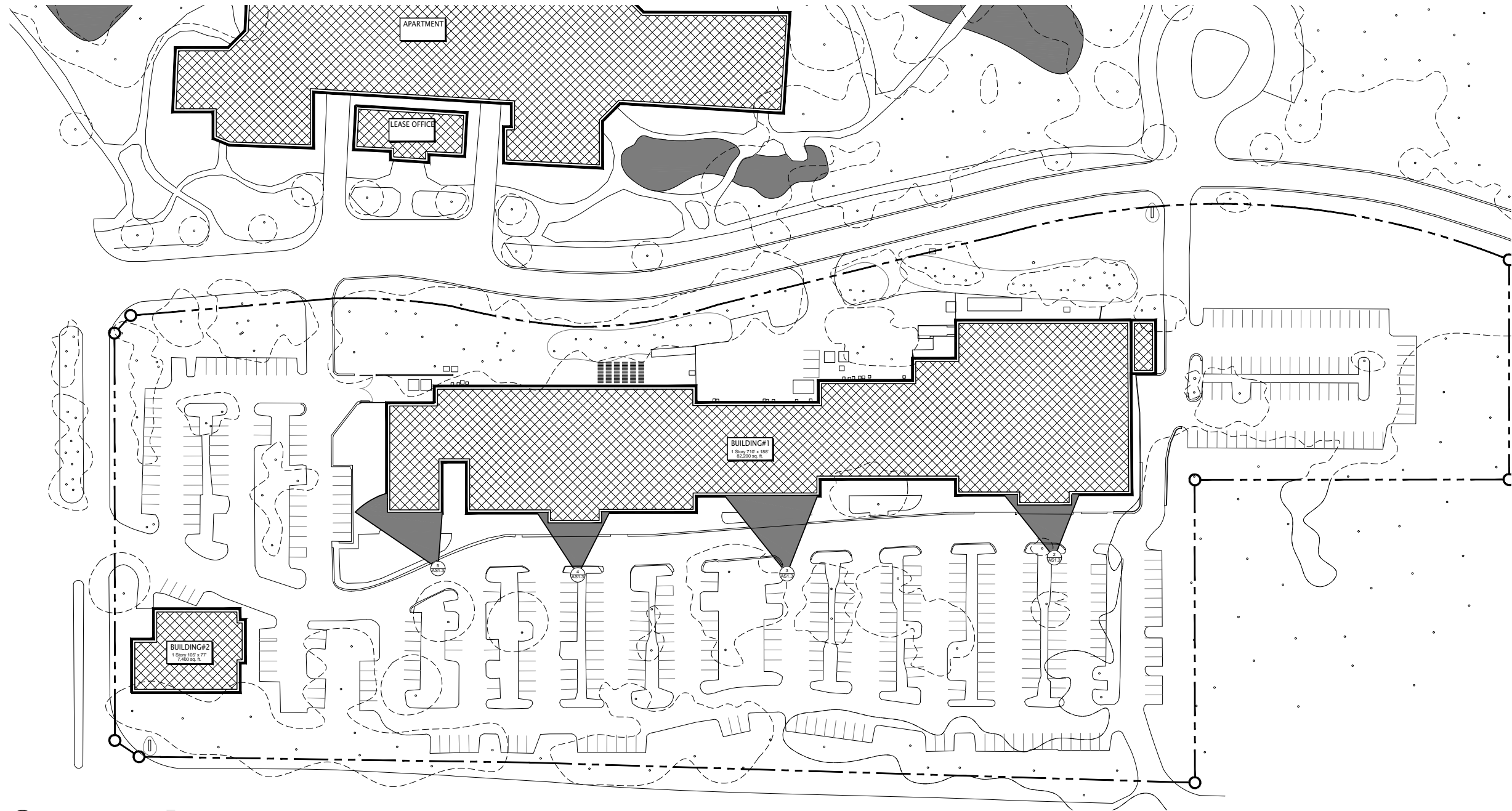
4 FACADE VIEW @ TJMAXX



3 FACADE VIEW @ MIDDLE ENTRANCE



2 FACADE VIEW @ WHOLE FOODS



1 PHOTO STUDY: FACADE
1" = 50'-0"

EXTERIOR FACADE RENOVATION

SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928

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Sheet Title:

PHOTO STUDY:
FACADE

Sheet No.

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AS1.3



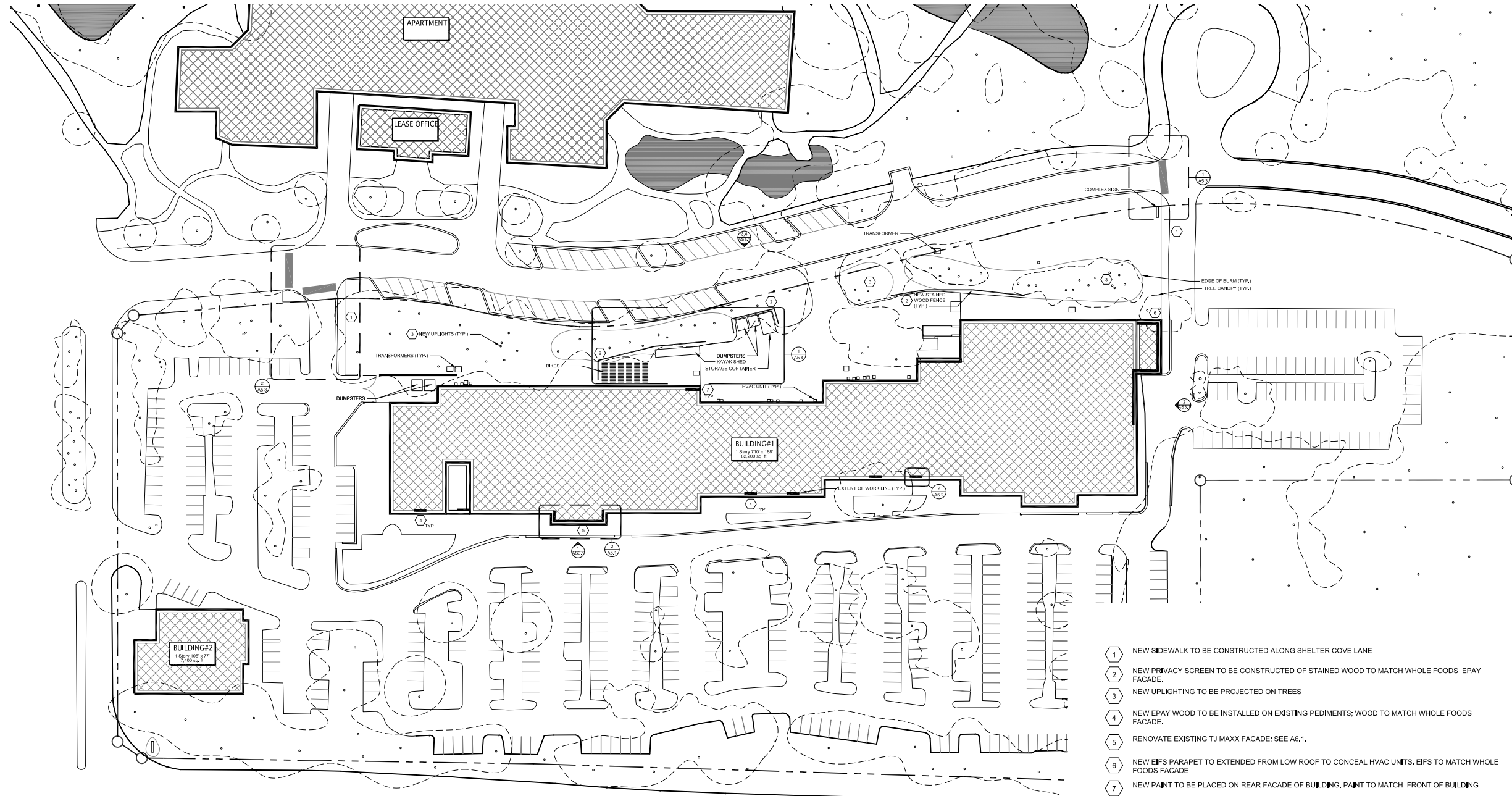
3 UPLIGHTS



2 EPAY WOOD PRIVACY SCREEN



1 SIDEWALK



- 1 NEW SIDEWALK TO BE CONSTRUCTED ALONG SHELTER COVE LANE
- 2 NEW PRIVACY SCREEN TO BE CONSTRUCTED OF STAINED WOOD TO MATCH WHOLE FOODS' EPAY FACADE.
- 3 NEW UPLIGHTING TO BE PROJECTED ON TREES
- 4 NEW EPAY WOOD TO BE INSTALLED ON EXISTING PEDIMENTS; WOOD TO MATCH WHOLE FOODS FACADE.
- 5 RENOVATE EXISTING TJ MAXX FACADE; SEE A6.1.
- 6 NEW EIFS PARAPET TO EXTENDED FROM LOW ROOF TO CONCEAL HVAC UNITS. EIFS TO MATCH WHOLE FOODS FACADE
- 7 NEW PAINT TO BE PLACED ON REAR FACADE OF BUILDING, PAINT TO MATCH FRONT OF BUILDING

1 PROPOSED SITE PLAN
1" = 50'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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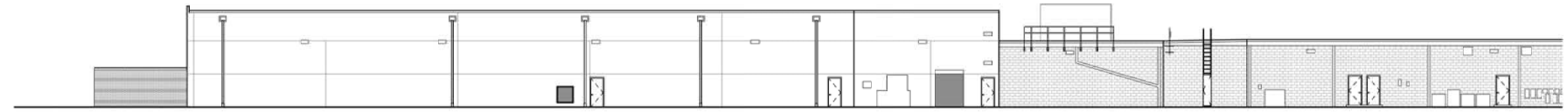
Drawn By: JMG
Checked By:
Scale: AS NOTED

Sheet Title:
PROPOSED SITE PLAN

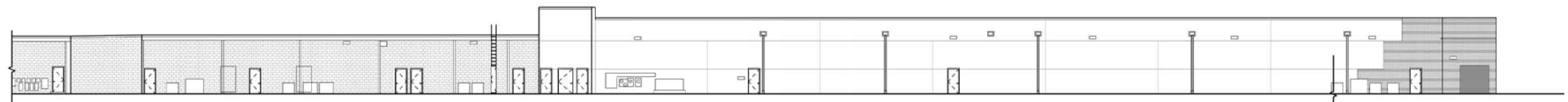
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A1.0

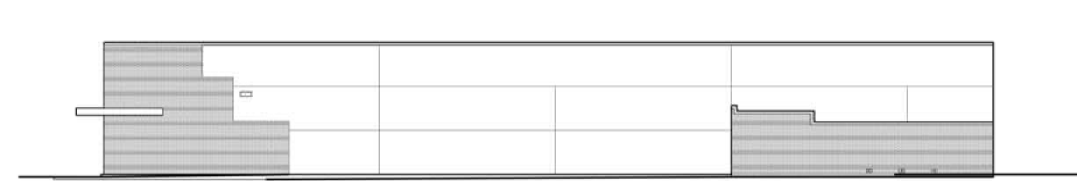
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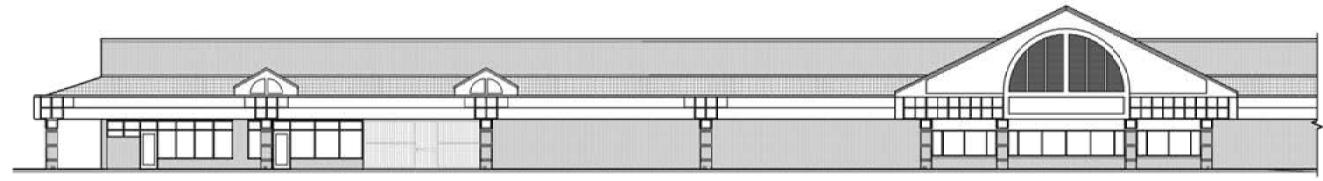
6 NORTH ELEVATION @ WHOLE FOODS
1/16" = 1'-0"



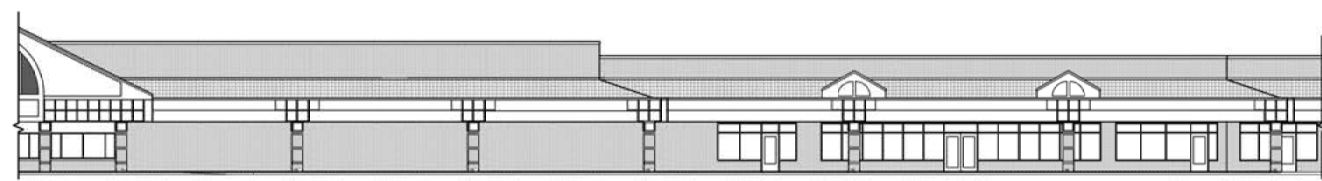
5 NORTH ELEVATION @ GUISEPPI'S, TJ MAXX, OUTSIDE OUTDOOR OUTFITTERS
1/16" = 1'-0"



4 EAST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION @ TJ MAXX
1/16" = 1'-0"



2 SOUTH ELEVATION BETWEEN TJ MAXX AND WHOLE FOODS
1/16" = 1'-0"



1 SOUTH ELEVATION @ WHOLE FOODS
1/16" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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Sheet Title:

EXISTING BUILDING ELEVATIONS

Sheet No.

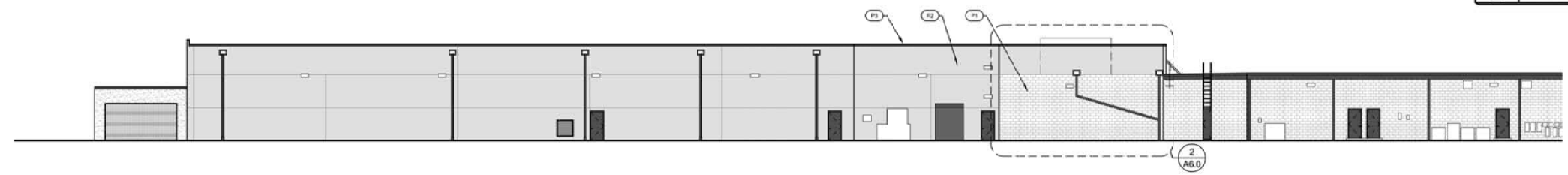
A3.0

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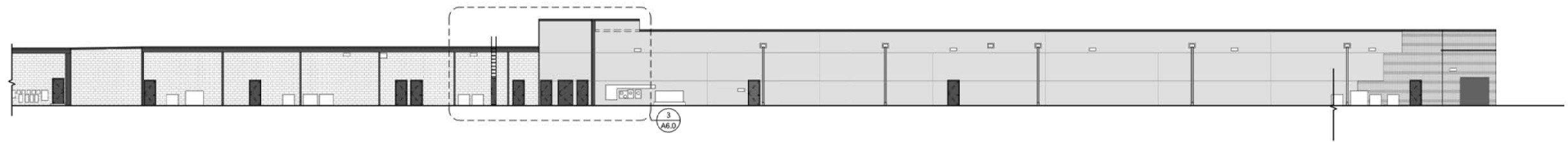
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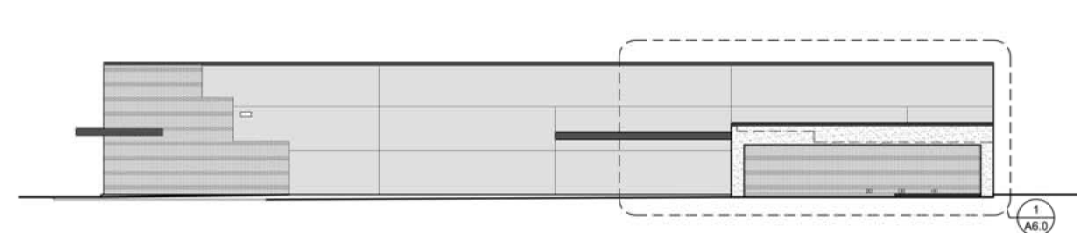
BUILDING SHELL EXTERIOR MATERIAL / FINISH SCHEDULE		
ITEM NO.	DESCRIPTION	REMARKS
01	PAINT TO MATCH EXISTING LIGHT COLOR PAINT IN FRONT OF BUILDING	
02	PAINT TO MATCH EXISTING MEDIUM COLOR PAINT IN FRONT OF BUILDING	
03	PAINT TO MATCH EXISTING DARK COLOR PAINT IN FRONT OF BUILDING	



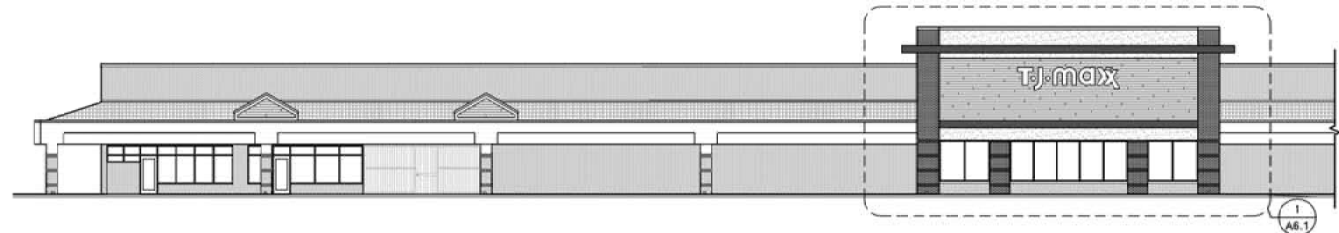
5 NORTH ELEVATION @ WHOLE FOODS
1/16" = 1'-0"



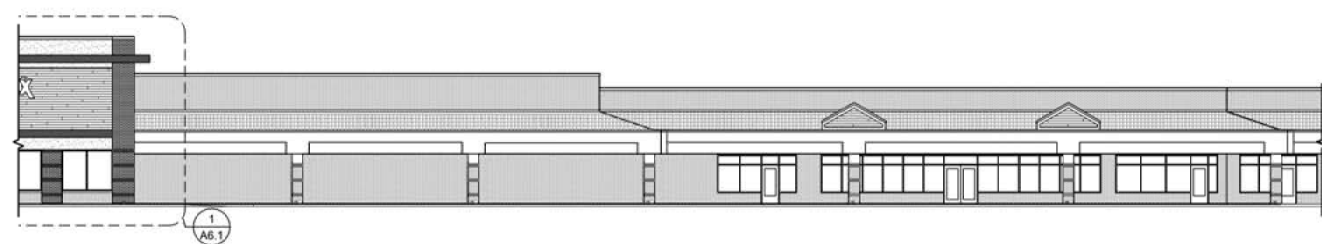
4 NORTH ELEVATION @ GUISEPPI'S, TJ MAXX, OUTSIDE OUTDOOR OUTFITTERS
1/16" = 1'-0"



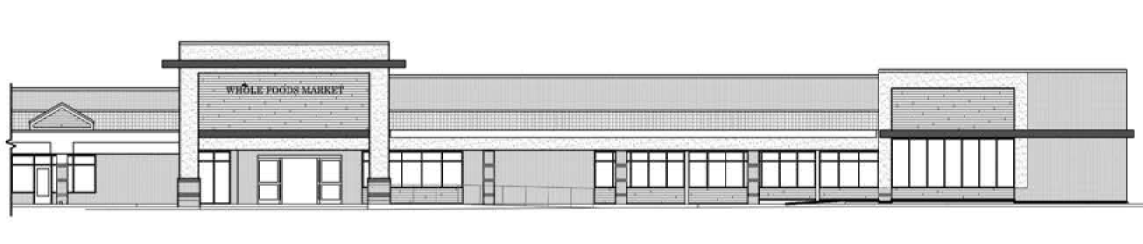
3 EAST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION @ TJ MAXX
1/16" = 1'-0"



2 SOUTH ELEVATION BETWEEN TJ MAXX AND WHOLE FOODS
1/16" = 1'-0"



1 SOUTH ELEVATION @ WHOLE FOODS
1/16" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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Project Date: May 15, 2018
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Scale: AS NOTED

Sheet Title:
PROPOSED BUILDING ELEVATIONS

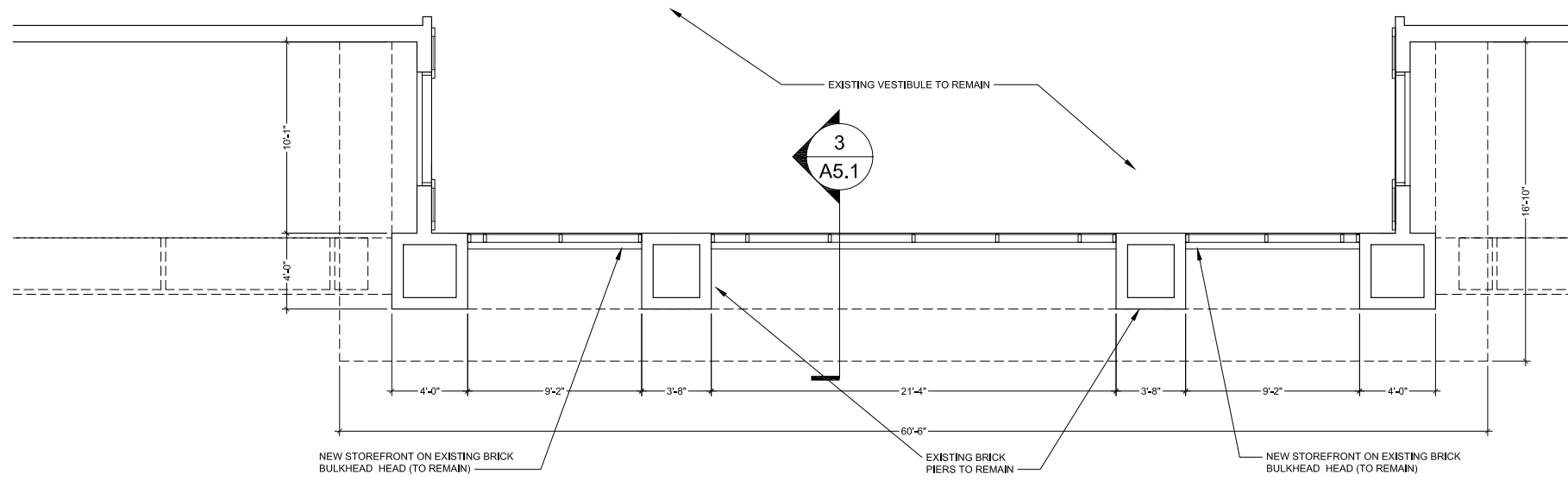
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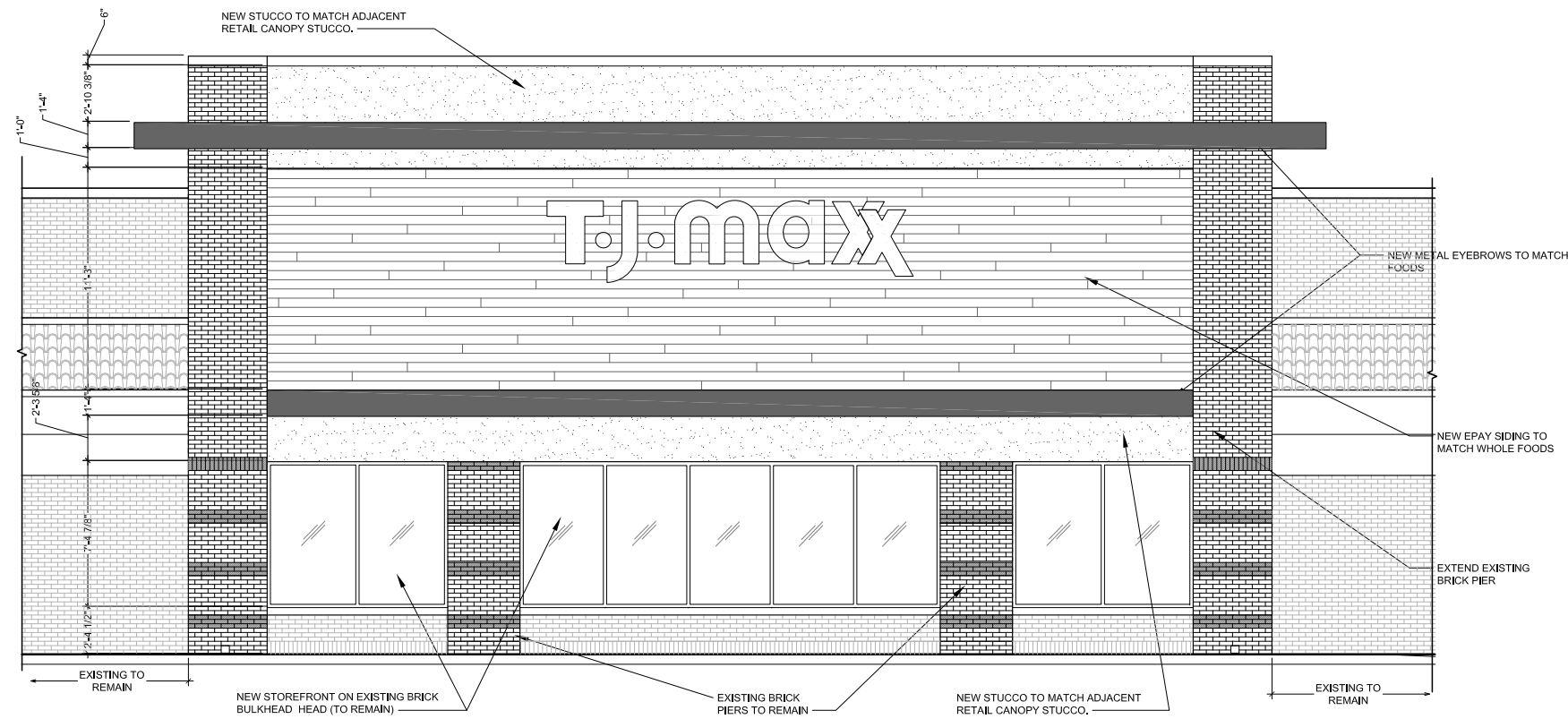
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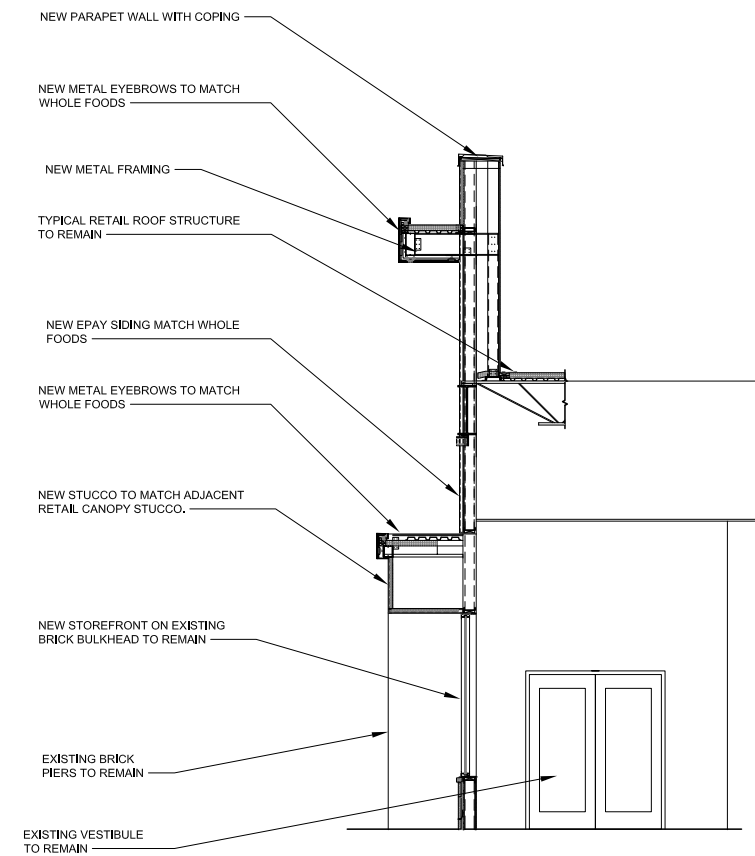
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2 ENLARGED PLAN @ TJMAXX STOREFRONT
1/4" = 1'-0"



1 ENLARGED ELEVATION @ TJMAXX STOREFRONT
1/4" = 1'-0"



3 SECTION @ TJMAXX STOREFRONT
1/4" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
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No.	Description	Date

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Project Date: May 15, 2018
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Sheet Title: TJ MAXX DETAILS

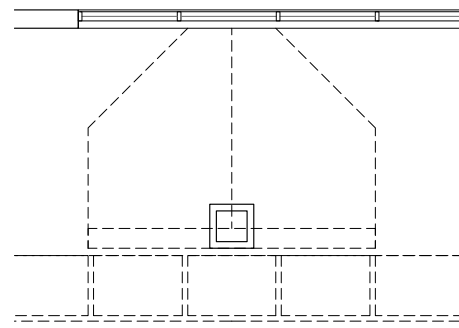
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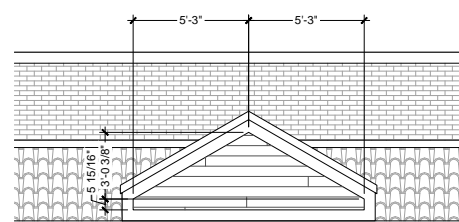
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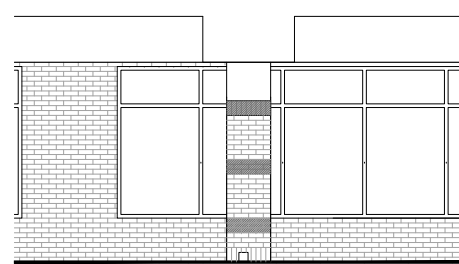
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2 ENLARGED PLAN @ TYPICAL PEDIMENT
1/4" = 1'-0"



1 ENLARGED ELEVATION @ TYPICAL PEDIMENT
1/4" = 1'-0"



EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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Project Date: May 15, 2018
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Sheet Title:

PEDIMENT DETAILS

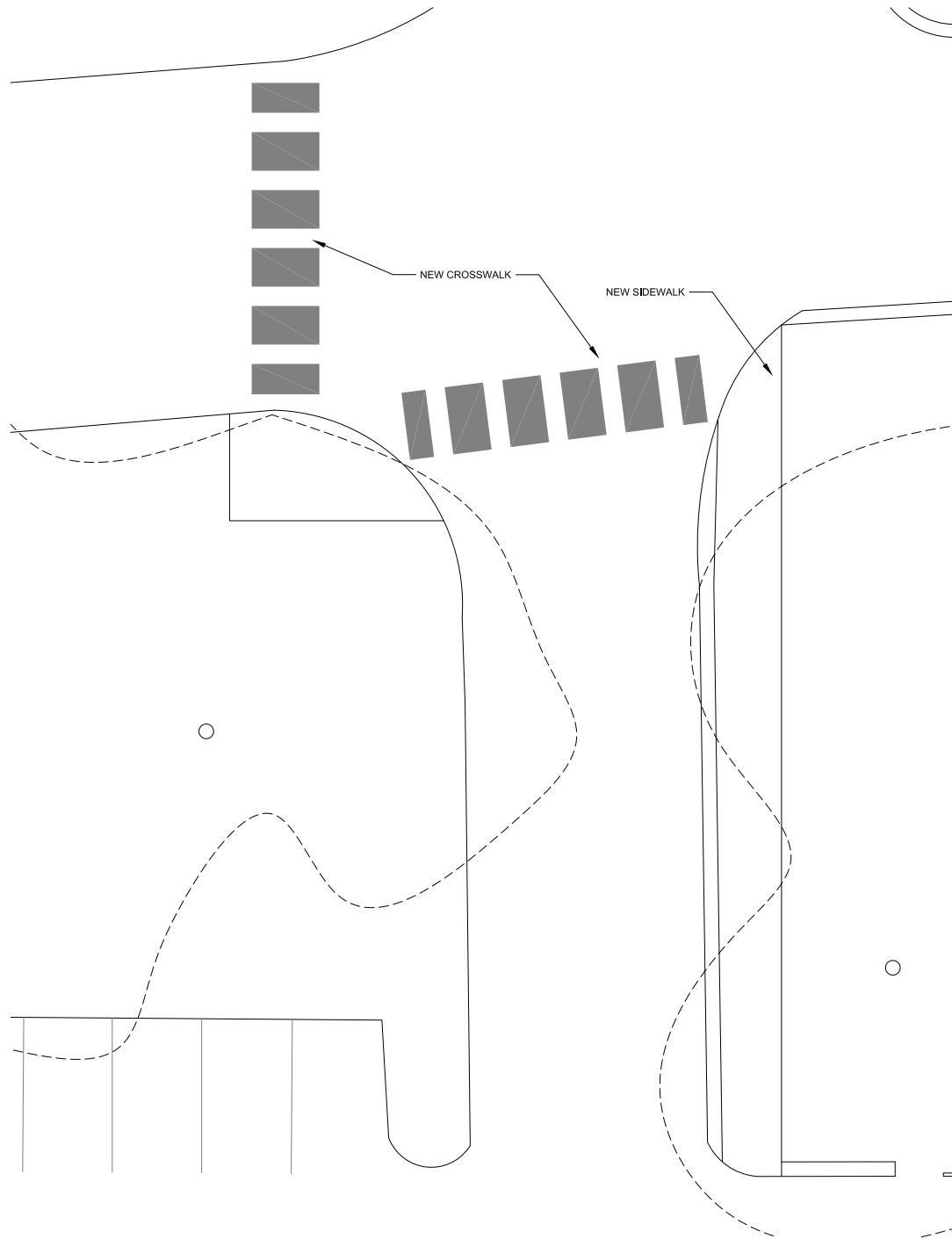
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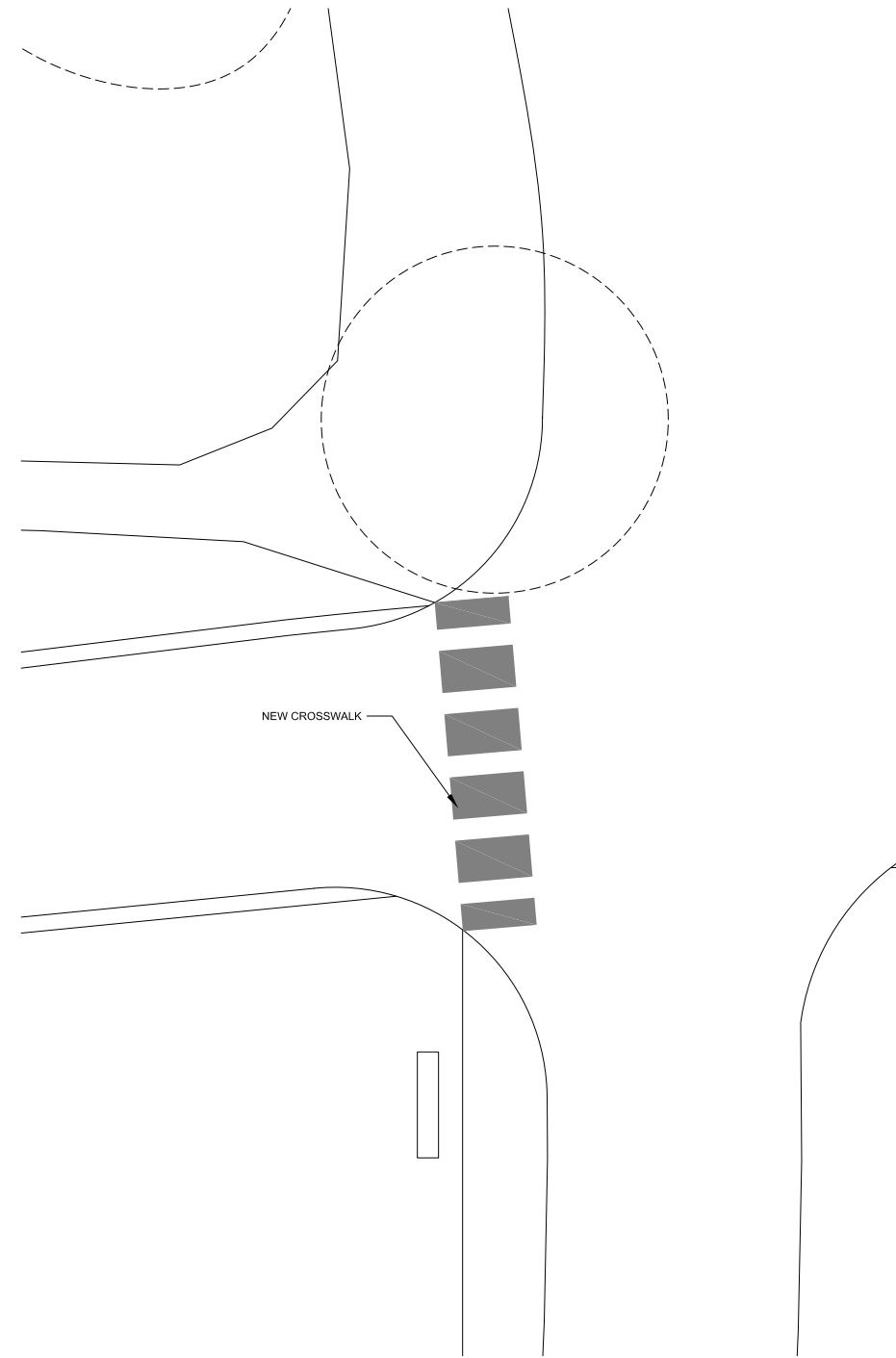
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1 ENLARGED PLAN @ SOUTH CROSSWALKS
1/8" = 1'-0"



1 ENLARGED PLAN @ NORTH CROSSWALK
1/8" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
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Sheet Title:

CROSSWALK DETAILS

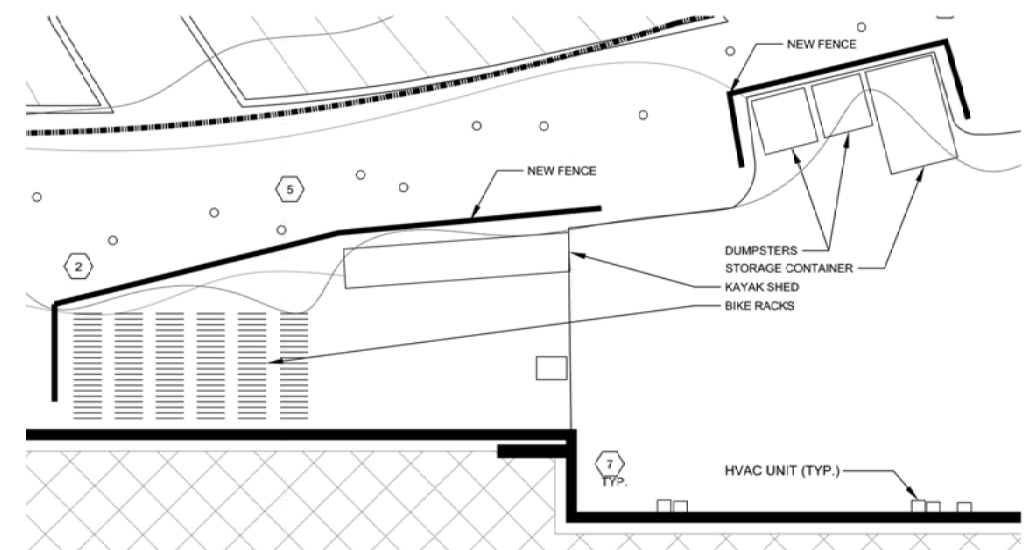
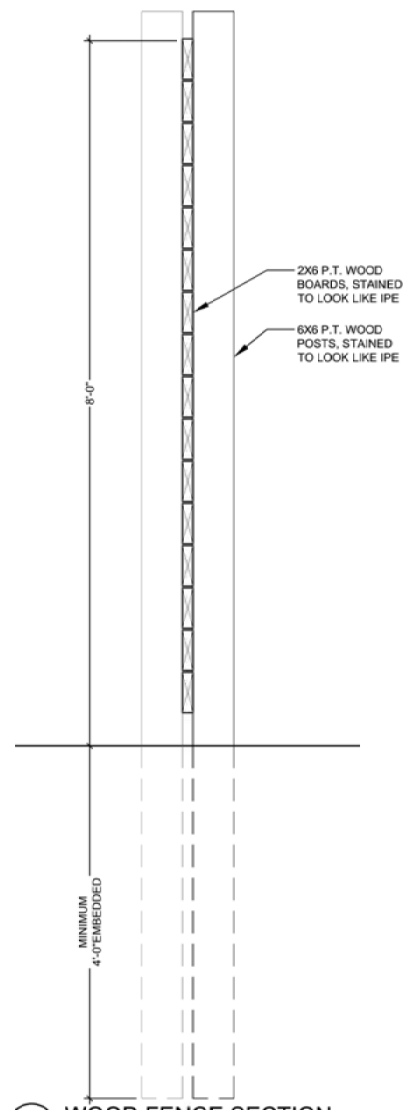
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EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
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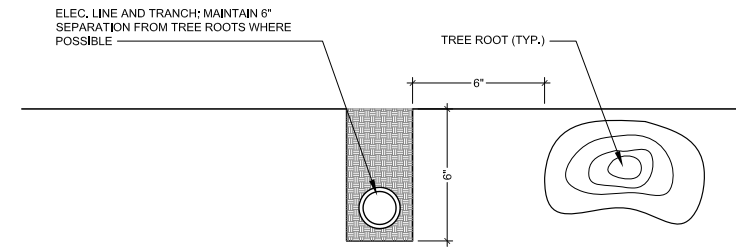
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Project Date: May 15, 2018
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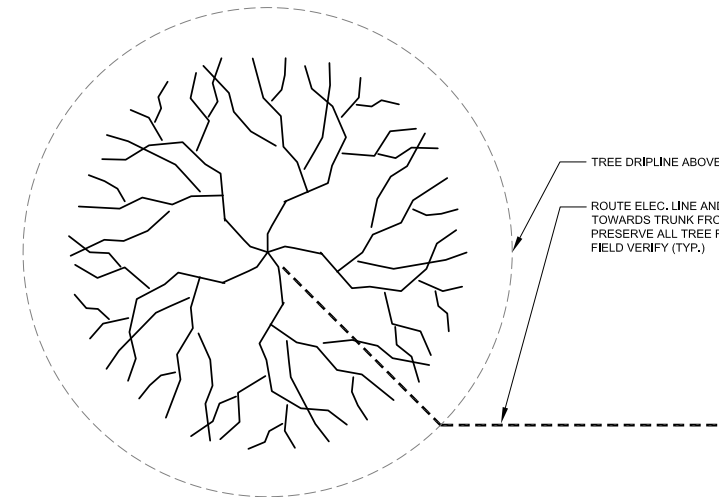
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Scale: AS NOTED

Sheet Title:
DUMPSTER & FENCE
ENLARGED PLAN
& DETAILS

Sheet No.



2 SECTION DETAIL @ LIGHT TRENCH
3" = 1'-0"



1 PLAN DETAIL @ TREE UPLIGHTING
1/8" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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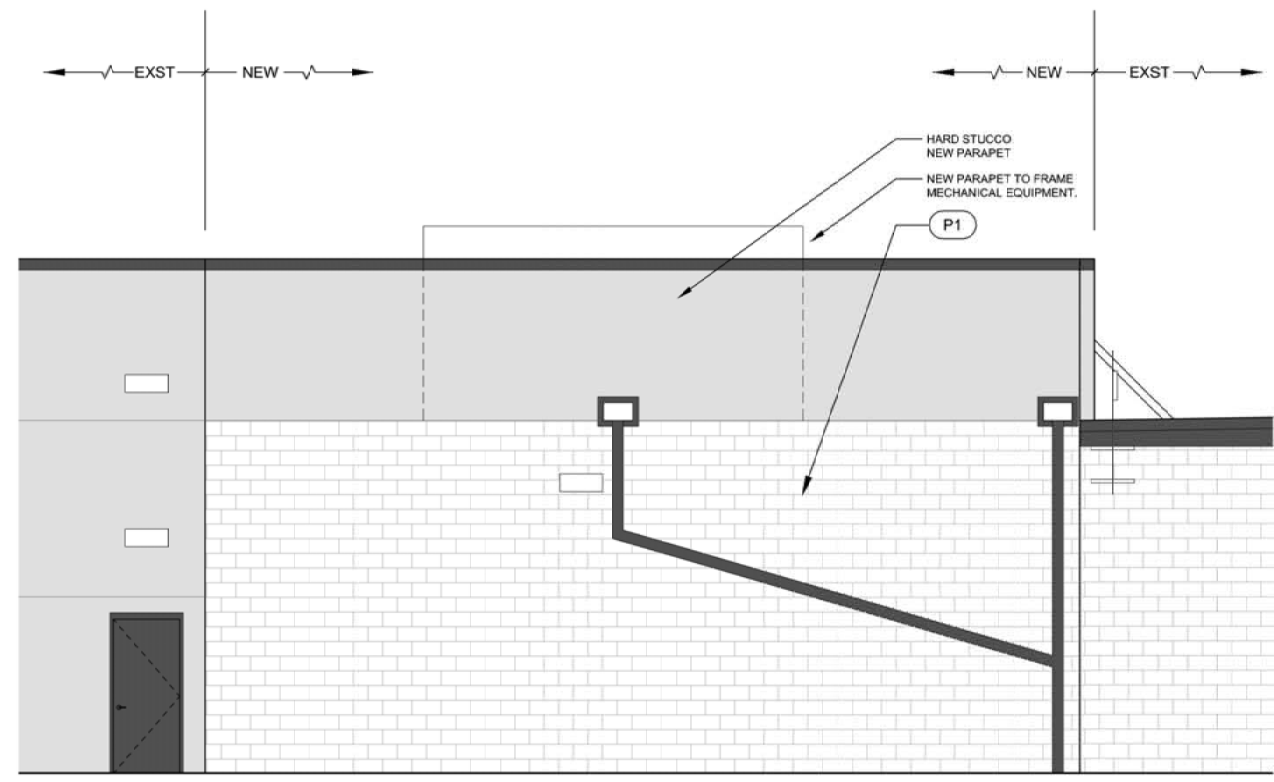
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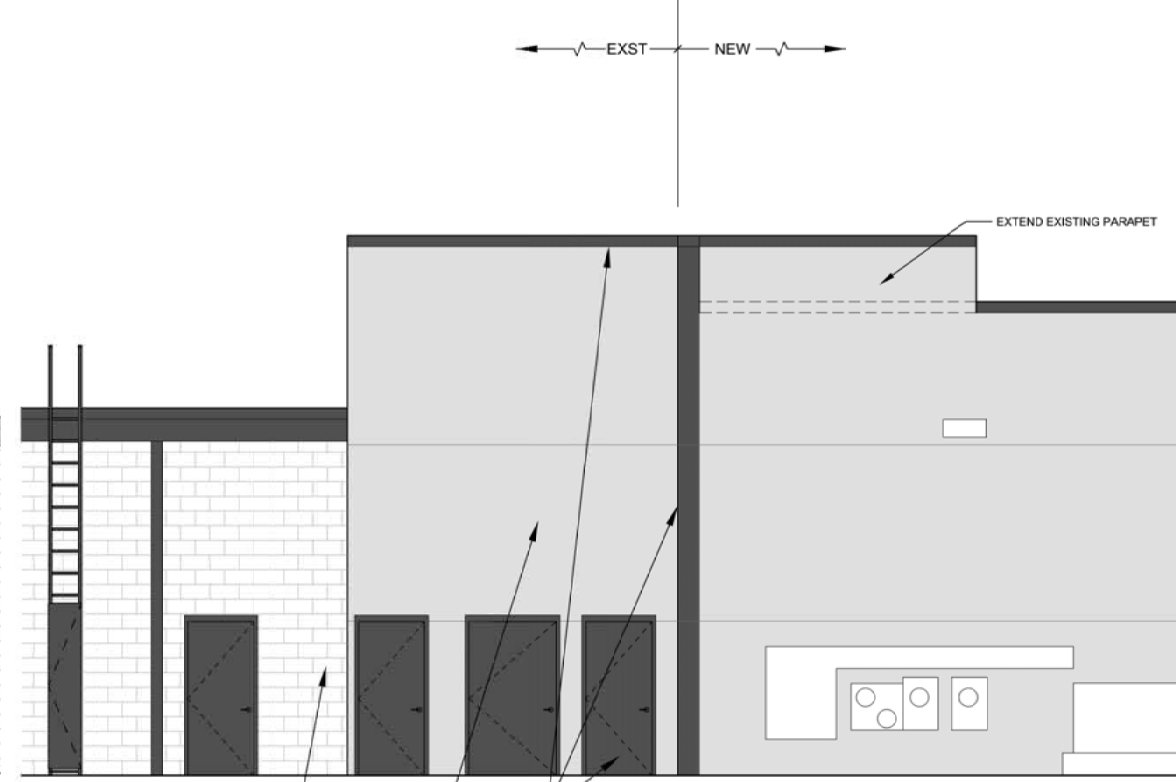
LIGHT TRENCH DETAILS

Sheet No.

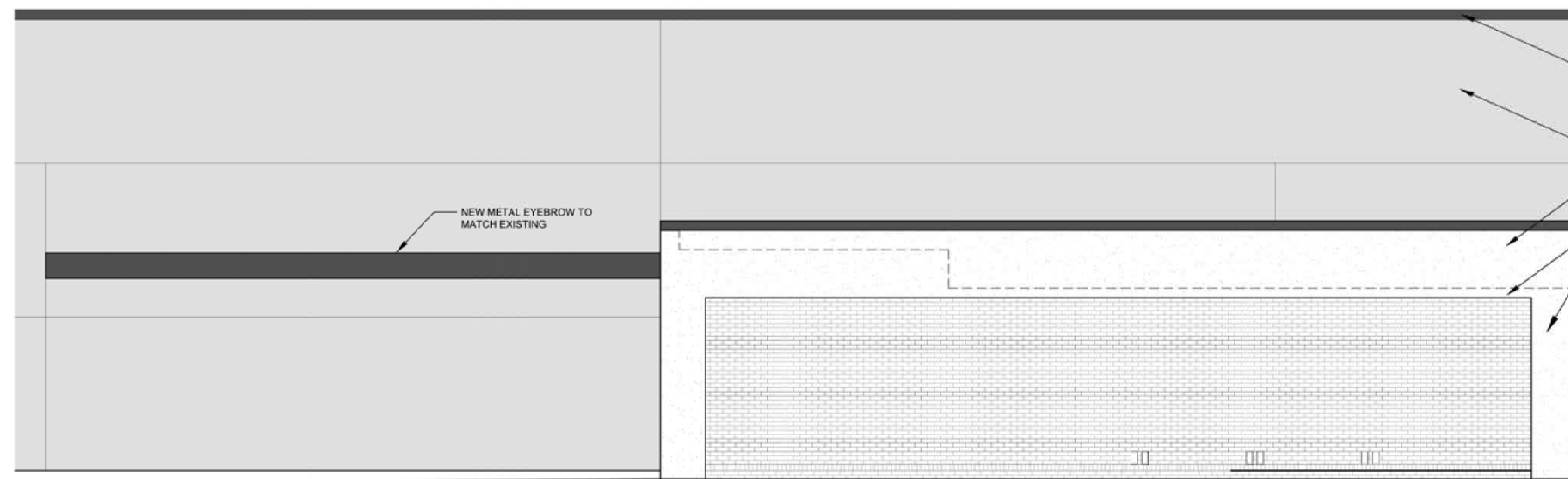
A5.5



2 ENLARGED ELEVATION @ WHOLE FOODS REAR
1/4" = 1'-0"



3 ENLARGED ELEVATION @ TJMAXX REAR
1/4" = 1'-0"



1 ENLARGED ELEVATION @ EAST FACADE
1/4" = 1'-0"

- NEW PAINT TO MATCH FRONT OF BUILDING (TYP.)
- NEW PAINT TO MATCH FRONT OF BUILDING (TYP.)
- NEW PARAPET HARD COAT STUCCO OVER LIGHT GAUGE FRAMING
- EXISTING BRICK TO REMAIN

BUILDING SHELL EXTERIOR MATERIAL / FINISH SCHEDULE		
MATERIAL / FINISH DESIGNATION	DESCRIPTION	REMARKS
(C1)	PAINT TO MATCH EXISTING LIGHT COLOR PAINT IN FRONT OF BUILDING	
(C2)	PAINT TO MATCH EXISTING MEDIUM COLOR PAINT IN FRONT OF BUILDING	
(C3)	PAINT TO MATCH EXISTING DARK COLOR PAINT IN FRONT OF BUILDING	

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
HILTON HEAD ISLAND, SC 29928
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Sheet Title:
ENLARGED ELEVATIONS

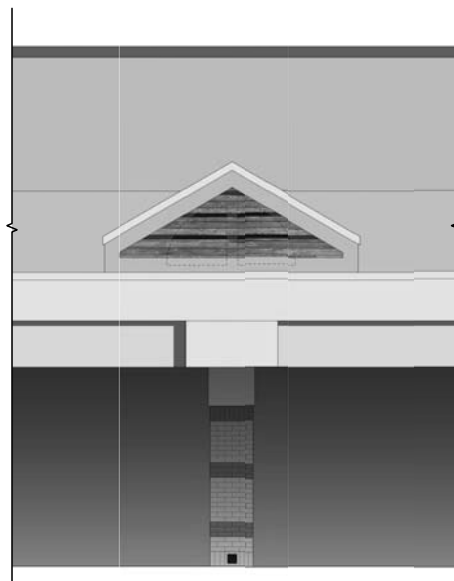
Sheet No.

A6.0

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2 ENLARGED ELEVATION @ TYPICAL STOREFRONT
1/4" = 1'-0"



1 ENLARGED ELEVATION @ TJMAXX STOREFRONT
1/4" = 1'-0"

EXTERIOR FACADE RENOVATION
SHELTER COVE PLAZA
50 SHELTER COVE LANE
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Print Record	

Revisions	

Project No.: 17115.00
Project Date: May 15, 2018
Cadd File No:

Drawn By: JMG
Checked By:

Scale: AS NOTED

Sheet Title:

COLOR ELEVATIONS

Sheet No.

A6.1

Not Released for Construction

Released for Construction

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Plaza

DRB#: DRB-001335-2018

DATE: 05/30/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS: Remove the tree uplights.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed uplighting is at the “back of house” where the added attention is not needed or may call attention to less favorable qualities of the building. Additionally the existing trees will be impacted by the installation of the electrical lines.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The existing trees will be negatively impacted by the installation of the electrical lines and light fixtures.

MISC COMMENTS/QUESTIONS

1. Consider lighting the new wood fence / walls with a wash of light to silhouette the existing trees against.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Owner - Jason Shroff Company: HH Island Acquisition Partners, LLC
Agent - Brett Callaghan
 Mailing Address: 9654 North King's Hwy, Unit 101 City: Myrtle Beach State: SC Zip: 29572
 Telephone: 843-222-5764 Fax: _____ E-mail: JShroff@oceaninvestments.com
 Project Name: Hilton Head - Port Royal Project Address: Folly Field Road
 Parcel Number [PIN]: R 5 1 0 - 0 0 9 - 0 0 0 - 0 2 7 7 - 0 0 0 0
 Zoning District: RD Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development _____ Alteration/Addition
 _____ Final Approval – Proposed Development _____ Sign

Submittal Requirements for *All* projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

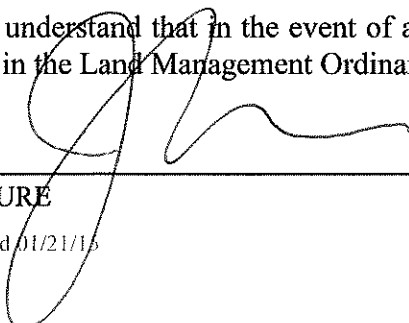
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

May 23, 2018
DATE

Hilton Head Port Royal Resort

Hilton Head Island, SC

Conceptual DRB Project

Narrative

May 29, 2018

HH Island Acquisition Partners LLC is proposing to construct a new resort facility to replace the previous development known as The Port Royal Racquet Club Tract (parcel 4 – Wimbledon Court) along Folly Field Road and adjacent to Fiddler's Cove, The Lyons and Ocean Palms Villas. The existing property consists of approximately 8.4 acres of land with remnants of the Racquet Club remaining on the site including portions of Wimbledon Court, existing parking spaces, an existing pro-shop/club building, and tennis courts.

HH Island Acquisition partners is looking to redevelop the property into a signature destination resort that will be operated by Bluegreen Vacations and will incorporate island character within the site plan and architecture throughout the property. The proposed buildings will consist of **(3) four story and (6) three story residential structures containing a mix of 1, 2, and 3 bedroom units** (148 units total - counting the lockout units as 1/2 unit- see plans for breakdown). The scale of these structures will be in keeping with the adjacent existing developments and appropriate for the surrounding neighborhoods.

The development will be constructed in two separate phases. The first phase will include the clubhouse (including guest support amenities, main lobby, pool, restrooms, pool showers, main lobby and shade trellis) and 5 residential structures to the south side of the project limits and entry drive. The second phase will include 4 residential structures and the maintenance and laundry facility.

The site will feature nicely landscaped walking paths and common areas and will connect with the adjacent Town bike path. Included in the amenities will be lounge/gathering areas with barbecue areas and children play area within the natural stand of existing trees. The required bicycle parking will be provided and distributed adjacent to the major entry and amenity areas throughout the site.

There are two significant trees (Live Oak, Cork Oak) located on the property that are to be preserved, as well as stands of oaks, pines, and palms throughout the development. The concept is to use all native plantings and preserve as many trees and existing vegetation as possible.

The main entry to the site will be offset to the south of the existing entry drive of the Island Club on Folly Field Dr by approximate 465 feet. Access to the site will be via two entrances on Folly Field Dr. The main entry provides a strong sense of arrival for guests with the clubhouse with a plaza entry. The entry will have landscaping, signage, and entry walls as appropriate. There will be pedestrian connectivity including a pathway that connects Wimbledon Drive to Folly Field Road.

Most of the site is sandy with elevations ranging between 9' and 13'. The proposed residential, administration and site related amenity buildings are to have a finish floor elevation set at 14.0' +1'0 MSL, with the majority of the parking being covered parking underneath the raised podiums.

Parking will be provided at the appropriate rate for 1, 2, and 3 bedroom units per LMO requirements. The number of parking spaces to be provided is estimated to be +/-141 spaces. The required number of bike parking spaces will be provided along with an electric vehicle charging station.



THE ISLAND CLUB OF HILTON HEAD

85 Folly Field Road – P. O. Box 21332
Hilton Head Island, South Carolina, 29925
854-785-6776 – Fax: 843-785-5964
E-Mail: patty.pearson@islandclubofhh.com

June 5, 2018

Dear Mr. Riley,

I am writing in behalf of the Owners and Board of Directors of the Island Club of Hilton Head.

We recently learned that the Town did not accept the developers most recent project proposal, for the new Port Royal Timeshare Project. Apart from those changes requested by the Town, we believe that it is also appropriate to consider an alternative access gate location.

Our understanding is that the current plan places the access gate directly across from the Island Club gate. We have met with Terri Lewis and Darrin Shoemaker regarding our concerns. We learned that the Town prefers to “align entrances”. We assume that the developer sees merit in an entrance that is proximate to public beach access. During our meeting, Darrin shared that studies indicate that timeshare users generate an average of 10 vehicle trips per day. If our entrances are aligned, this new volume, combined with existing Island Club volume, creates the significant potential for the creation of traffic congestion, pedestrian safety and trespassing incidents. Simply moving the access entrance, for the new project, can reduce this potential.

Our first preference is for the entrance to be located within Port Royal, and not on Folly Field Road.

Minimally, the Port Royal Timeshare Project access gate should be moved to a location closer to the Islanders Beach Access area. There is an existing access gate there already. We have identified this location to Darin Shoemaker. The benefits of our request are as follows:

- The developer maintains convenient beach access.
- Timeshare guests are not tempted to trespass on Island Club property, for beach access
- Mitigation of safety issues for pedestrians, joggers and cyclists.
- Improved traffic safety, due to the elimination of “aligned” back-ups at each properties access gates.

Needless to say, we do not believe that it is advisable to, reduce safety, or stress existing resources and finances when there are reasonable alternatives.

It will be very much appreciated if the Council can look into this situation and work with us to develop a, mutually agreeable, alternative. We invite any and all of you to meet with us.

Patty Pearson
Regime Manager
Island Club of Hilton Head
843-785-6776

CC: Chris Darnell



26827.0000

BUS 278

SITE

WESTIN

MARRIOTT'S BARONY CLUB

Islanders Beach Park

Folly Field Dr

Wimbledon Ct

Folly Field Dr

Sparkleberry Ln

Atlantis

Neptune

Walerva

Islander Club Rd

Ghost Crab Way

Seahorse Way

Perrinwinkle Ln

Folly Field Rd

Starfish Dr

Sand Dollar Rd
Folly Field Beach Park

ATLANTIC OCEAN



200 ft

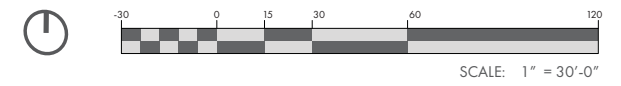
HH ISLAND ACQUISITION PARTNERS, LLC

FIFTEEN WIMBLEDON - OVERALL CONTEXT MAP

MAY 29, 2018

THOMAS & HUTTON
This map illustrates a general plan of the development which is for discussion purposes only, does not limit or bind the owner/developer, and is subject to change and revision without prior written notice to the holder. Dimensions, boundaries, and position locations are for illustrative purposes only and are subject to an accurate survey and property description.

PORT ROYAL - HILTON HEAD ISLAND, SC





VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF OCEAN PALMS VILLAS



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD



VIEW OF PRIVATE RESIDENCE OFF OF FOLLY FIELD RD





VIEW OF NEARBY CLUBHOUSE OFF OF FOLLY FIELD RD



VIEW OF BORDERING DEVELOPMENT OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD OFF OF FOLLY FIELD RD



VIEW OF ISLAND CLUB OF HILTON HEAD ENTRY GATE OFF OF FOLLY FIELD RD

26827/0000



26827/0000



VIEW OF LYONS OFF OF FOLLY FIELD RD



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO MARRIOTT'S BARONY BEACH CLUB AND WESTIN BEYOND



VIEW FROM BEACH ACCESS AT ISLANDERS BEACH PARK TO ISLAND CLUB OF HILTON HEAD



SIGNAGE

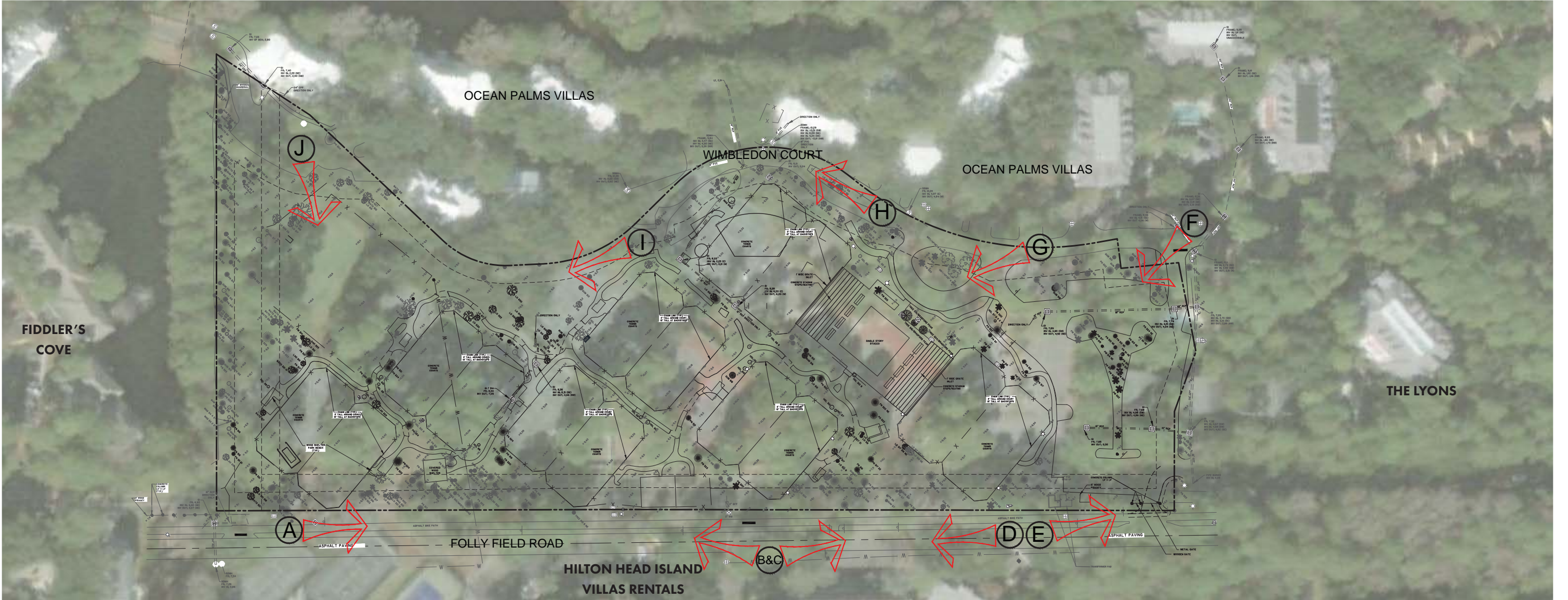
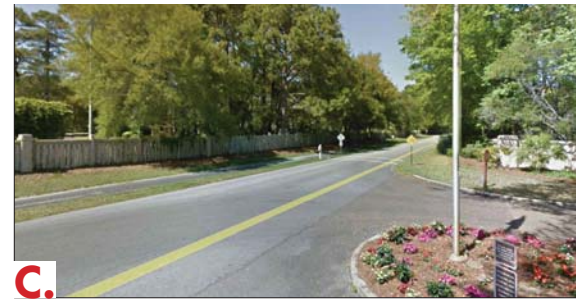


LOWCOUNTRY DORMERS / CLUBHOUSE ROOFLINE



BUILDING MASSING FOR TALLER BUILDINGS





OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

20' ADJACENT USE SETBACK FROM EDGE OF ROADWAY (TYP.)

ROYAL DUNES RESORT
8 Wimbledon Ct. - 4-5 Story Building
(Fractional Ownership Property) [PD-1]

EXISTING LAGOON

SPECIMEN 55' LO

EXISTING GRASS TENNIS COURT









SPECIMEN 34" CORK OAK

FIDDLER'S COVE BEACH CLUB
45 Folly Field Rd - 3-4 Story Buildings
(Private Condos with Short-term rentals) [RD]

SEWER EASEMENT

THE LYONS VILLAS
9 Wimbledon Ct. - 3-4 Story Duplexes
(Private Condos with Short-term rentals) [PD-1]

LEGEND

-  BIKE / PEDESTRIAN PATH
-  MINOR ARTERIAL ROAD
-  VEHICULAR CIRCULATION
-  ASPHALT TENNIS COURT
-  IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS

SEWER EASEMENT (TYP.)

20' ADJACENT USE SETBACK (TYP.)

20' ADJACENT USE SETBACK (TYP.)

40' STREET SETBACK (TYP.)

25' WIDE TYPE 'B' STREET BUFFER (TYP.)

ISLAND CLUB OF HH
85 Folly Field Rd. - 3-4 Story Buildings
(Resort/Timeshare) [PD-1]

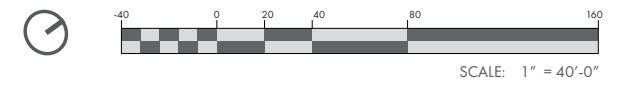
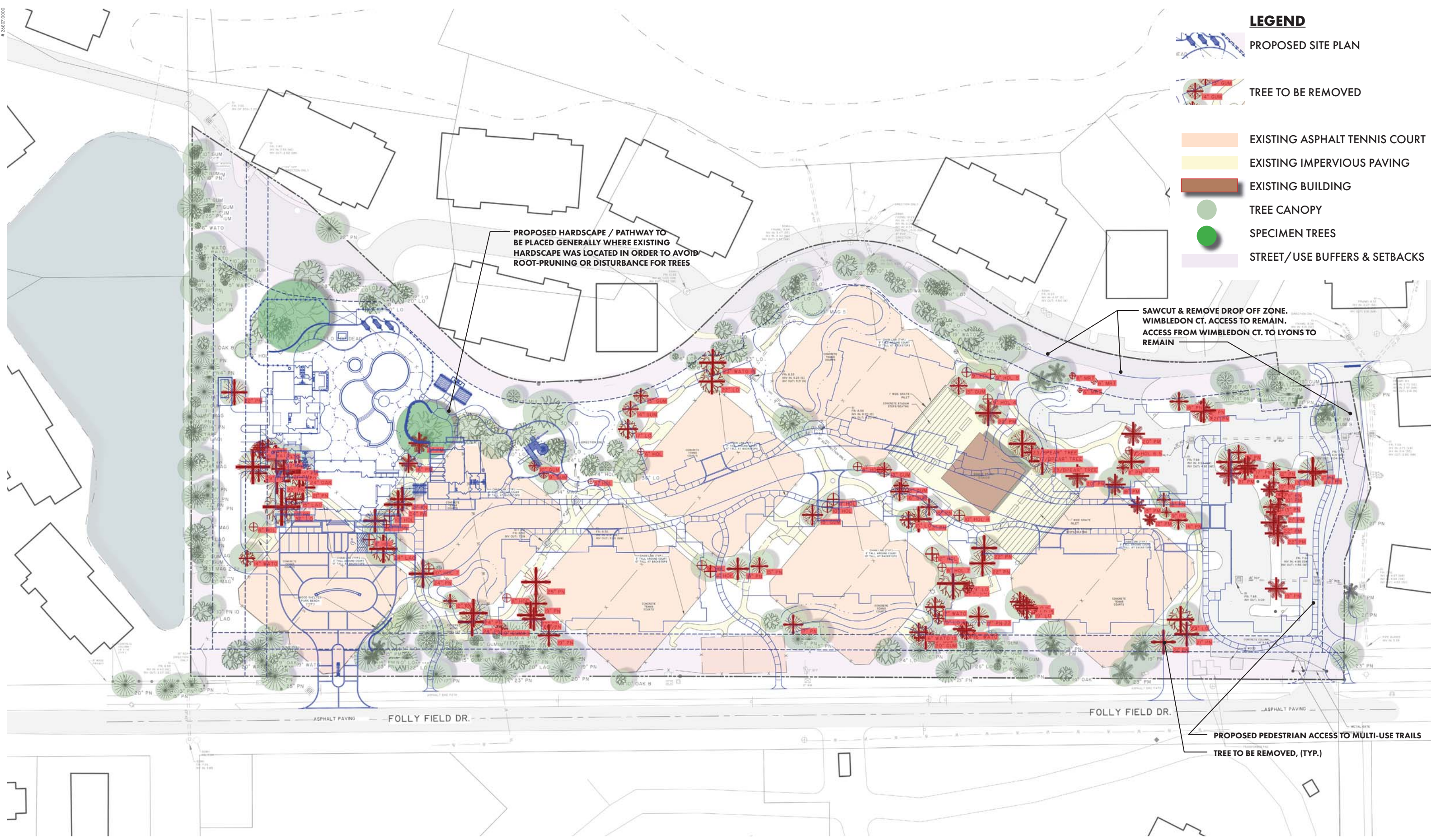
SITE ANALYSIS

PORT ROYAL - HILTON HEAD ISLAND, SC

248107.0000

LEGEND

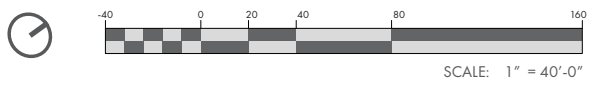
-  PROPOSED SITE PLAN
-  TREE TO BE REMOVED
-  EXISTING ASPHALT TENNIS COURT
-  EXISTING IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS





FIFTEEN WIMBLEDON - OVERALL CONTEXT MAP

PORT ROYAL - HILTON HEAD ISLAND, SC



DendroDiagnostics, Inc.

1901 Martin Road • Chapin, SC 29036

Phone: (803) 730-2930

www.dendrodiagnostics.com



**Evaluation
Of the Trees**

**On a Site in Hilton Head
Proposed for Development as Atlantis II
Hilton Head, S.C.**

August 9 – November 2, 2017



Evaluation by DendroDiagnostics, Inc.

Andrew J. Boone, CF, Certified Arborist

Wilt C. Boone, Arborist Technician, Photographer

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Conclusions and Recommendations;	
<i>Zoning Code as it Affects Tree Removal and Mitigation</i>	22 - 23
<i>Summary of Findings Regarding the Trees and Site Evaluated</i>	23 – 25
<i>Specific Recommendations for Trees on this Site</i>	25 - 26
Disclaimer	27
Certificate of Evaluation	27
Copy of Field Data Form	28
Attachment 1: Images of Trees and Site	37 pages
Attachment 2: Town of Hilton Head, S.C.; Natural Resource Protection Ordinance (A Portion of the Hilton Head Land Management Ordinance; Sec.16-6-104.)	22 pages
Attachment 3: Tree Survey of Site with Trees Numbered	1 page

Executive Summary

DendroDiagnostics performed an evaluation of the trees on the site of a proposed development, Atlantis II, located between Folly Field Road and Wimbledon Drive. A total of 375 trees were evaluated on this site.

These trees were located along the site perimeter or interspersed between the tennis courts and other hardscapes previously established there. They were all evaluated for condition and suitability of retention after the site changed through planned development.

Special attention was paid to the largest trees that might have been considered specimen trees under Hilton Head's tree ordinance. In general, those trees were very large individuals of selected species or rare and endangered trees. On this site, these included a 55 inch diameter Live oak and a 34 inch diameter Cork oak.

Trees were marked with colored flagging depending on their status. Blue flagging indicated trees to be retained in property buffers. Trees posing unusual risk were flagged with orange tape. Trees to be removed were flagged in red. Live oaks not in the buffer, but healthy, were flagged with yellow flagging.

This document constitutes a tree evaluation and protection plan that should meet the requirements of the Town of Hilton Head. Andrew Boone, who performed this evaluation, is a Certified Arborist and a Registered Forester in South Carolina.

You will need to submit this report to the Town of Hilton Head along with requests for tree removal for those trees that cannot be retained. They should give you written permission to follow these recommendations. Do not cut any trees before receiving that written permission.

Introduction

On 8 August 2017, DendroDiagnostics was contacted by Mr. Brett Callaghan with Progress Builders. Brett was working with Thomas and Hutton, Inc., and others, to develop a site located on Wimbledon Court in the Town of Hilton Head. The working name for this development was Atlantis II. Brett advised us that he needed a bid on an evaluation of the existing trees on this site and a tree protection plan for the property. We made a proposition and our bid was accepted. This document was prepared to meet those requirements of the Town of Hilton Head.

The tract consisted of a parcel that measured approximately 8.6 acres in size. It was designated #R510 009 000 1205 0000. The area was currently a group of 14 tennis courts with a central clubhouse and parking area. The surrounding parcels were zoned as either multi-family, high density or commercial properties.

This site was bounded on the west by a detention pond, the east and north by condominiums or similar rental properties and to the south by Folly Field Road.

Historical imagery of the site was viewed in Google Earth. The earliest imagery available there was taken in 1994. Although of marginal quality (black and white), it showed that the site appeared to be substantially as it is currently.

On 22, 23, 30 and 31 August and 1, 5 and 6 September 2017, we traveled to the property to conduct a detailed evaluation of the trees located there. The trees were examined in detail. They were measured for diameter at breast height (DBH) with a logger's tape and their height was measured with a laser clinometer, or estimated. Their spread was estimated by pacing to the edges of their dripline. Pine age was measured with an increment borer, or estimated (for hardwoods) based on known species growth rates. Tree location was recorded using a Global Positioning System. Each tree was numbered and some were flagged with colored vinyl tape. The flagging color was chosen to fit the requirements of Hilton Head. Blue flagging indicated trees in the buffer to be retained, orange designated trees which posed an unacceptable risk and red indicated trees to be removed. Additionally, we flagged all healthy Live oaks outside the property line buffer with yellow flagging.

The tree's buttress roots and trunks were visually checked for physical defects. These possible defects included presence of cankers, wood decay or other stem diseases. If there was a possibility of internal tree decay in the lower eight feet of the trunk, that area was tapped with a mallet for aural decay detection (a hollow sound). If a tree was leaning, the direction and degree of lean was measured with a digital level and recorded.

Above about eight feet on the trunk, all evaluation was done by visual inspection. In this inspection, we looked for structural problems like cracks, included bark, presence of fungal fruiting bodies, open areas of decay, weeping from bacterial infection or insect attacks, codominant stems, sprouts, dead branches, excessively long limbs and other defects.

Branches, twigs and foliage were visually evaluated for structure, color and presence of any insects or diseases. Any dieback in the crown (an indication of root or vascular disorder) was logged on the data sheets.

Two trees on the site were either specimen, rare or endangered trees as defined by Hilton Head's tree ordinance. We gave special attention to the evaluation of those individuals. These were a 55 inch DBH Live oak and a 34 inch DBH Cork oak.

Tree Data

On our first trip to the site we confirmed or corrected the tree diameter measurements and species as listed on the tree survey. This data was transferred to a copy of that survey and sent to Thomas and Hutton so their survey document could be corrected. We also found about 15 trees not listed on the survey and plotted their locations, species and diameter so they could be added to the tree tally.

On our second and third trips we did actual evaluations of all the trees on the site. We had been provided a corrected list of trees on the site by Thomas and Hutton after they entered the data we had returned to them. This was adapted into an Excel spreadsheet showing tree number, diameter and species. We added a column to indicate trees in the buffer areas, another to insert specific notes about each tree and a final column to designate overall tree condition.

For specimen or near-specimen trees we completed a more detailed data sheet detailing our findings. These were used for standardization, for preparing a summary of conditions and the final report. The completed data sheets will be retained in our office. A considerable number of images of all trees and site were taken with a digital camera, for use in this report.

The majority of trees on this site were located around its perimeter. However, quite a few were interspersed around and between the various tennis courts. Some of these had been planted, but most remained from the original forest present prior to site development.

Most trees had little evidence of past care beyond the pruning of some limbs impinging on the tennis courts. There was considerable evidence of past root damage from prior construction activities (courts, walkways, etc.). Many interior trees had very little space for their root systems. Most trees showed symptoms of stress such as sprouting, dieback or dying limbs.

The Live oaks were mostly located in groves or groups that would make them easier to protect as this project proceeds. They were the best trees on the site, although some had received root injury from previous soil disturbance construction.

The following is the table of tree data as determined in our survey.

#	ID	SP/DIA	BFR	SPREAD	COND	NOTES
1	8090	SLA PN 21	Y	0	P	DEAD TREE; FLAGGED TO CUT
2	8091	WATO 19	Y	18X24X15X24	F	COD; INC BK @ 20 FT; THINNING; SPROUTS; DIEBACK; BORERS
3	8092	LO 21 S17	Y	48X9X6612	G	COD @ 2 FEET; DEAD BRANCHES
4	8093	SLA PN 20	Y	30X18X30X0	F	UNBALANCED CROWN>WEST; 15% LIVE CROWN
5	8094	SLA PN 17	Y	30X18X0X24	F	UNBALANCED CROWN>EAST; 15% LIVE CROWN
6	8095	LOB PN 23	Y	15X30X12X15	F	BASAL DECAY; SWEEP > E; THINNING; OLD LIGHTNING STRIKE
7	8103	LOB PN 12	Y	33X0X8X6	P	DEAD LIMBS; 15 DEGREE LEAN; 15% LIVE CROWN; DECLINING
8	8104	LOB PN 13	Y	15X9X15X12	P	BASAL DECAY; SLICK BARK; 10% LIVE CROWN
9	8105	LOB PN 15	Y	30X0X18X0	F	SLICK BARK; DIEBACK; DEAD LIMBS; SWEEP; 10% LIVE CROWN
10	8106	LOB PN 25	Y	36X18X0X30	F+	50% LIVE CROWN; SOME DEAD LIMBS
11	8108	WATO 20	Y	12X12X30X30	F-	10 DEGREE LEAN; SPROUTS; BORERS; LOW DECAY; THINNING
12	8110	LO 9	Y	24X0X18X0	F	40 DEGREE LEAN> EAST; SOME DEAD BRANCHES
13	8252	LOB PN 10 10	Y	15X0X16X6	P	20 DEGREE LEAN APART; COD; INC BK
14	8254	PN 15	Y	0	P	DEAD
15	8256	MAG 10	Y	15X8X24X8	F	30 DEGREE LEAN > WATER
16	8257	LOB PN 15	Y	24X30X18X18	F	25% LIVE CROWN; HEALTHY
17	8259	MAG 8	Y	15X12X10X15	F	10 DEGREE LEAN> WATER; FEW DEAD LIMBS
18	8260	BAY 3 2 2	Y	15X15X12X15	F	COD; INC BK
19	8261	BAY 3 3 2	Y	12X15X6X12	F	COD; INC BK
20	8262	MAG 9	Y	15X24X18X24	G	FEW DEAD LIMBS
21	8267	WATO 14	N	21X12X15X18	P	10 DEGREE LEAN > N; BORERS; SPROUTS; SUPPRESSED
22	8271	HOL 8	N	12X6X15X9	F	COD; INC BK; DEAD LIMBS
23	8299	LOB PN 21	N	15X18X12X16	P	RISK; FLAGGED; RUST CANCKER 12-20 FEET UP TRUNK

24	8300	LAO 15	N	12X18X8X24	F	SPROUTS; FEW DEAD LIMBS
25	8301	LIVE OK 32	N	36X24X48X24	G	FORKS BELOW DBH; FEW DEAD LIMBS; PRUNE
26	8302	LOB PN 17	N	20X18X10X15	P	SLICK BARK; THIN FOLIAGE; DEAD TOP; CUT TO FREE #25
27	8303	SLA PN 22	N	18X18X24X24	F	NOT BAD, FOR A PINE
28	8304	LO 11	N	0X15X28X10	F-	DECLINING
29	8305	LO 24	N	10X15X15X15	P	DYING; DEAD TOP; RISK OF FAILURE
30	8306	PM 14	N	NM	F	PINDO; STEM LEANING
31	8308	PM 21	N	NM	F	PINDO
32	8309	LOB PN 15	N	20X15X10X10	P	5 % LIVE CROWN; DEAD BRANCHES; TRUNK SWEEP; CUT
33	8310	LOB PN 29	N	45X25X40X40	P	BIG DEAD LIMBS; SLICK BARK; DECAY; CUT
34	8311	PM 22	N	NM	F	PINDO
35	8313	LO 18	N	20X25X30X25	F	SPROUTS; FEW DEAD LIMBS; GROUP OF 4 (35-38)
36	8314	LO 15	N	30X15X35X20	F	10 DEGREE LEAN > N
37	8315	LO 14	N	10X30X15X20	F	10 DEGREE LEAN > N
38	8316	LO 11	N	25X30X36X0	F	10 DEGREE LEAN > N
39	8326	MAG 11	Y	30X30X20X25	F	SPROUTS; SUPPRESSED
40	8329	LOB PN 12	Y	15X15X15X15	F	SOME DEAD LIMBS; 30% LIVE CROWN
41	8331	LOB PN 10	Y	10X10X10X40	F	LONG LIMB > EAST; PRUNE AWAY
42	8332	LOB PN 9	Y	8X10X0X35	F	POOR FORM; LONG LIMB> EAST; PRUNE
43	8338	MAG 8	Y	15X15X15X20	F	SUPPRESSED
44	8339	LOB PN 14	Y	10X18X8X23	P	THIN TOP; DEAD BRANCHES; 15% LIVE CROWN
45	8340	MAG 11	Y	12X25X18X28	F	TRUNK SWEEP
46	8341	LOB PN 14	Y	15X10X15X18	F	20% LIVE CROWN; FEW DEAD LIMBS
47	8344	LOB PN 12	Y	10X10X10X10	P	10% LIVE CROWN; MOST LIMBS DEAD

48	8345	LOB PN 14	Y	15X20X10X25	P	20% LIVE CROWN; DEAD BRANCHES
49	8354	HOL 14	N	10X18X18X18	F	3 TOPS; SOME DECAY; LOW SPROUTS
50	8355	HOL 7	N	15X15X15X15	F	LOW SPROUTS
51	8356	LOB PN 22	N	25X10X25X15	P	DEAD BRANCHES; THIN TOP; NEAR BUFFER LINE
52	8362	LOB PN 18	Y	15X25X20X25	F	SLICK BARK; BIG VINE ATTACHED
53	8363	WATO 12 8	Y	10X20X15X30	F	COD @ 2 FEET; INC BK
54	8366	LAO 14 10	Y	18X8X40X0	P	COD @ 1 FOOT; INC BK; DEAD BRANCHES
55	8367	LOB PN 14	Y	8X18X25X20	F-	DOGLEG @ 25'; VINES GIRDLING
56	8368	LOB PN 12	Y	20X0X10X0	F	SUPPRESSED; 15% LIVE CROWN
57	8369	LOB PN 14	Y	0X10X30X10	F	NOT SYMMETRICAL
58	8371	GUM 7	Y	10X15X10X10	F	SPROUTS; NOT BAD FOR GUM
59	8372	LOB PN 14	Y	20X15X20X20	F+	NICE PINE
60	8373	WATO 7	Y	8X15X12X25	F	COD @ 15 FEET; THIN
61	8376	WATO 7	Y	8X15X20X5	P	MOSTLY SPROUTS
62	8377	WATO S5	Y	6X6X6X6	P	WHIP; SUPPRESSED
63	8382	GUM 11	Y	25X10X15X25	F	10 DEGREE LEAN > S; LOTS OF SPROUTS
64	8383	GUM 7	Y	5X15X0X15	F	10 DEGREE LEAN > W; LOTS OF SPROUTS
65	8384	GUM 7	Y	5X10X15X10	F	10 DEGREE LEAN > N; LOTS OF SPROUTS
66	8385	WATO 6	Y	8X15X10X20	F	SUPPRESSED; PRUNE > PROPERTY
67	8386	WATO 11	Y	5X15X30X5	F	MOSTLY OVER WATER
68	8387	LOB PN 25	Y	15X25X35X25	F	LONG LIMBS
69	8388	GUM 13	Y	25X20X20X10	F	FAIR FOR GUM
70	8392	GUM 14	Y	10X10X15X15	F	FORKS AT 15 FEET
71	8393	GUM 6	Y	0X0X25X0	F	ALL CROWN OVER WATER

72	8394	LOB PN 18	Y	20X20X20X20	F	ON EDGE OF WATER
73	8396	GUM 9	Y	10X15X25X8	F	SPROUTS; THIN CROWN; GROUP OF 3 (73-75)
74	8397	GUM 10	Y	0X15X30X5	F	SPROUTS; THIN CROWN; GROUP OF 3 (73-75)
75	8398	GUM 10	Y	8X20X6X18	F	SPROUTS; THIN CROWN; GROUP OF 3 (73-75)
76	8399	GUM 9	Y	0X18X15X10	F	NOT BAD FOR A GUM
77	8403	WATO 14	Y	5X15X20X0	P	VERY THIN CROWN; DYING BRANCHES
78	8404	LOB PN 21	N	24X24X24X24	F	DEAD LOW LIMBS, OUTSIDE BUFFER
79	8405	GUM 9 8	Y	20X6X15X15	F	COD @ 1 FOOT; INC BK; SOME DEAD BRANCHES
80	8406	WATO 5	Y	15X0X5X5	P	SUPPRESSED
81	8407	GUM 11	Y	5X20X10X15	F	BY EDGE OF PARKING LOT
82	8415	LIVE OK 28	Y	32X10X39X18	F+	MOSTLY OVER PARKING LOT; SOME DEAD LIMBS; PRUNE
83	8423	LO 26 26	N	36X12X45X0	F-	THIN TOP; NATURALLY LIONS-TAILED; SOME DEAD FOLIAGE
84	8495	SLA PN 22	Y	30X18X30X12	F	X PARKING LOT; THINNING; IN 10' CIRCLE OF MULCH
85	8528	LIVE OK 12	Y	24X10X8X8	F	SOME SPROUTS
86	8529	LO 20	Y	18X12X16X6	F+	HAS BEEN PRUNED; NEEDS MORE
87	8530	LO 28	Y	49X18X15X18	G	SLIGHT DEAD WOOD
88	8531	LO 10	Y	30X6X25X2	F+	FEW SPROUTS
89	8532	LO 15	N	40X0X8X4	F+	LEANS > S
90	8533	LO 17	Y	26X12X9X30	G	8 FEET FROM ROAD
91	8534	LO 22	Y	40X15X30X12	F	DEAD WOOD IN TOP; NEEDS PRUNING
92	8637	SLA PN 21	N	21X18X18X24	F	SLICK BARK; GIRDLING ROOT
93	8658	SLA PN 20	N	18X18X6X24	F	DBL TOP @ 50'; SLICK BARK; WOUND @ 45'
94	8659	SLA PN 24	N	12X24X24X18	G	5 DEGREE LEAN > S; SLICK BARK
95	8664	LO 24	N	20X24X21X18	G	20 DEGREE LEAN > EAST; SLIGHT DIEBACK

96	8665	HOL 10	N	9X12X18X12	F	LOW SPROUTS; A BIT THIN; CAVITY @ 8 FEET
97	8669	HOL 7	N	6X12X18X6	F	15 DEGREE LEAN > W; LOW SPROUTS
98	8670	HOL 11	N	10X18X21X12	F	10 DEGREE LEAN > N
99	8685	SLA PN 24	N	18X15X21X12	G	NOT MUCH ROOM FOR ROOTS
100	8687	HOL 10 7	N	18X12X18X18	F	COD @1 FOOT; INC BK; HIGH SPROUTS
101	8688	LOB PN 12	N	6X15X12X6	P	10 DEGREE LEAN > E; SLICK BARK
102	8708	LO 55	N	42X42X30X42	F	BROKEN TOPS FROM STORM; DATA SHEET COMPLETED
103	8709	LO 12	N	15X15X9X15	F	SPROUTS; SWEEP > N
104	8710	LO 17	N	36X6X18X27	F	STRAIGHT TRUNK
105	8711	LO 16	N	36X0X0X24	F	30 DEGREE LEAN > S
106	8726	CORK OK 34	N	30X35X24X27	G	SOME DIEBACK; DATA SHEET COMPLETED
107	8728	PM 18	N	NM	F	PINDO; CUT (IN CORK OAK)
108	8729	PM 18	N	NM	F	PINDO; CUT (IN CORK OAK)
109	8767	PM 16	N	NM	F	PINDO; COULD KEEP (NOT INTERFERING WITH CORK OAK)
110	8824	HOL 8	N	12X12X12X12	G	SPROUTS; SUPPRESSED BY PINES
111	8827	SLA PN 24	N	15X15X30X12	F	BETWEEN TENNIS COURTS; BIG LIMBS
112	8931	MAG 14	N	6X15X12X24	P	LOW DECAY; ROOTS SLIPPING; CAVITY @ 10 FEET (REMOVE)
113	8932	GUM 9	N	12X3X9X6	P	MANY SPROUTS; LOW SWEEP ON TRUNK; FEW LIMBS
114	8934	GUM 10	N	12X12X12X12	P	TOP BROKEN @ 18 FEET
115	8935	LO 17	N	12X9X0X30	F	SPROUTS; SOME DEAD LIMBS
116	8936	LO 30	N	18X30X24X18	G	SIDE > TENNIS COURTS PRUNED; SOME SPROUTS
117	8937	LO 20	N	21X21X45X6	G	COD @ 15 FEET; HANGER IN TOP; PRUNE
118	8938	LO 29	N	9X30X42X28	F	ARMILLARIA FRUITING AT BASE; SPROUTS
119	8948	LO 22	N	18X12X18X18	P	LOW DECAY; BROKEN LIMBS; THIN; CANKERED

120	8949	LOS16	N	30X18X32X0	F	EDGE OF BUFFER; THINNING SLIGHTLY
121	8950	LO 25	N	27X30X32X15	F	EDGE OF BUFFER; GANODERMA ON BASE; LEANS > E
122	8951	LO 14	N	0X24X15X32	F	EDGE OF BUFFER; HEAVY SPROUTS; DIEBACK
123	8952	LO 30	N	15X6X12X52	F	EDGE OF BUFFER; DECAY IN TRUNK, LIMBS
124	8953	MULBRY 13	Y	24X18X18X18	F	SHALLOW ROOTS; TRUNK BLEEDING
125	8958	SLA PN 17	Y	12X24X6X24	F	CROWN OVER ROAD; SOME DEAD LIMBS
126	8959	LOB PN 20	Y	18X8X15X20	F	DOGLEG @ 30 FEET; VINES
127	8960	GUM 17	Y	9X24X20X18	F	COD @21 FEET
128	8961	PND PN 26	Y	18X31X21X12	F	5 DEGREE LEAN > N; SOME DEAD LIMBS
129	8962	LOB PN 25	N	27X24X24X15	F	1 FOOT TO PATH
130	8963	LOB PN 24	Y	NM	P	FLAGGED ORANGE; RISK OF FALLING ONTO TENNIS COURT
131	8964	MAG 10	Y	18X18X9X6	F	SUPPRESSED BY PINES
132	8965	LOB PN 20	Y	24X6X10X32	F	TRUNK SWEEP > ROAD; HEAVY VINES
133	8966	LO S22 15	Y	34X0X0X54	F	THIN TOP; LIMBS > ROAD
134	8967	LO 10	Y	30X5X10X6	F	HEAVY SPROUTS
135	8968	LO 31	Y	36X6X21X12	G	COD @ 6 FEET
136	8969	PM 15	Y	NM	F	PALMETTO
137	8970	SLA PN 17	Y	24X12X18X26	G	DOGLEG @ 50 FEET; SLICK BARK
138	8971	PM 16	Y	NM	F	PALMETTO
139	8972	SLA PN 23	Y	24X8X24X12	F	SLICK BARK; LONG LIMBS
140	9003	GUM 15	Y	24X10X0X30	F	10 DEGREE LEAN > ROAD; VINES
141	9008	GUM 18	Y	12X20X15X20	F	BIG LIMBS; BY BUILDING
142	9012	PND PN 10	Y	6X6X6X6	P	10 DEGREE LEAN > ROAD; TOP DEAD
143	9013	LOB PN 22	Y	28X6X18X18	F	RED HEART TRUNK DECAY; SLICK BARK; 20% LIVE CROWN

144	9014	LOB PN 10	Y	3X3X3X3	P	DYING; 2% LIVE CROWN
145	9015	SLA PN 23	Y	36X12X15X20	F	BRANCH STUBS
146	9016	LAO 20	Y	24X12X30X18	F-	TRUNK CAVITIES; DIEBACK; COD @ 35 FEET
147	9017	PND PN 17	Y	24X12X0X24	F-	10% LIVE CROWN; SLICK BARK; 2 SIDES OF TRUNK FLAT
148	9018	GUM 11	Y	15X12X9X12	F	SPROUTS; BRANCH STUBS
149	9019	SLA PN21 19	Y	21X18X27X18	F-	COD @ 1 FOOT; DEAD LIMBS; 10% LIVE CROWN
150	9020	GUM 8	Y	18X9X9X14	F	COD @ 12 FEET
151	9021	SLA PN 21	Y	24X0X20X0	F	10 DEGREE LEAN > S
152	9022	GUM 11 11	N	21X6X18X6	F	COD @ 2 FEET; INC BK
153	9023	GUM 8	N	20X18X24X6	F	CORKSCREW TRUNK, SPROUTS
154	9024	GUM 7 4 3	Y	12X8X18X10	P	COD @ 0, 1 FOOT; MANT SPROUTS
155	9025	GUM 10	Y	20X8X8X24	F	10 DEGREE LEAN > ROAD; COD @ 20 FEET
156	9026	GUM 9	Y	6X21X18X6	F	COD @ 15 FEET; SUPPRESSED BY PINES
157	9027	SLA PN 24	N	18X0X18X24	P	RED HEART TRUNK DECAY; SLICK BARK; 15% LIVE CROWN
158	9028	SLA PN 24	N	21X24X30X18	P	RED HEART TRUNK DECAY; BIG LIMBS; LIVE CROWN 20%
159	9035	SLA PN 19	N	18X18X18X12	F	TRUNK SWEEP; DEAD LIMBS; VINES; SLICK BARK
160	9039	SLA PN 23	N	18X5X24X18	F	MECHANICAL INJUST @ 12 FEET
161	9040	SLA PN 20	N	0X35X0X15	F	10 DEGREE LEAN > N
162	9045	PND PN 19	Y	6X6X6X6	P	RISK (FLAGGED); TOP DIEBACK; DEAD LIMBS
163	9049	PND PN 13	Y	12X6X10X25	F	SUPPRESSED; SPROUTS
164	9050	SLA PN 19	Y	8X32X0X30	F	1 SIDED
165	9051	SLA PN 19	Y	24X8X18X24	F	TERMITE TUBES; LOW DECAY; CORKSCREW TRUNK
166	9052	LOB PN 20	Y	20X20X14X26	F	SLICK BARK, FEW BRANCH STUBS
167	9053	W MYR10 8	Y	12X6X8X8	P	DECAYING; BROKEN TOP; STUB CUTS

168	9128	HOL 5	N	12X6X12X12	F	LOW SPROUTS
169	9172	LO 15	N	33X3X6X30	F	DEAD LIMBS; LONG LIMBS > COURT
170	9173	LO 15	N	18X9X18X18	F	SLIGHTLY THIN CROWN
171	9174	GUM 11	N	12X18X9X18	F-	TRUNK SWEEP; SPROUTS; FLAT TOP
172	9175	HOL 5 4 3	N	12X6X15X12	F	COD @ 6", 1.5'; SPROUTS
173	9176	HOL 4 2	N	15X0X12X15	F	COD @ 6", 1.5'; SPROUTS
174	9177	LO 30	N	36X36X24X24	G	SLIGHT LOW DECAY; 8 FEET TO TENNIS COURT
175	9178	LO 16	N	24X16X26X15	F	DEAD LIMBS; SPROUTS (NEEDS PRUNING)
176	9179	HOL 6	N	12X10X18X15	F	LOW SPROUTS; COD 9 FEET; INC. BK
177	9180	LO 17	N	30X24X20X24	F-	COD 11 FEET; HEAVY SPROUTS
178	9181	GUM 14	N	8X18X15X24	F-	FLAT TOP; 1 LIMB BROKEN; SPROUTS
179	9182	GUM S13	N	10X10X24X10	F-	DOGLEG AT 20 FEET
180	9185	LO 8	N	24X0X8X0	F	CROOKED TRUNK; SPROUTS
181	9186	LO S10	Y	24X0X6X6	F	TRUNK SWEEP; SPROUTS
182	9188	LO 22	N	15X15X10X18	F	E SIDE PRUNED; BIG WOUND
183	9189	LO 14	Y	0X0X10X24	F	MANY DEAD LIMBS; 10 DEGREE LEAN (NEEDS PRUNING)
184	9261	SLA PN 26	N	20X15X24X24	F	15% LIVE CROWN; NICE PINE
185	9262	LO 19	N	18X24X20X20	F	DIEBACK; STUB CUTS; 4 FEET TO PATH
186	9294	LO 23	N	30X30X30X6	F	DIEBACK; DEAD LIMBS (NEEDS PRUNING)
187	9312	MAG 19 5	N	24X16X18X24	F-	LOTS OF SPROUTS; MOST TOP OVER COURT
188	9386	PM 22	N	NM	F	NOT EVALUATED
189	9395	LO 12	Y	30X18X12X24	F	15 DEGREE LEAN; MOST TOP OVER COURT
190	9396	LO 9	Y	0X30X10X6	F	15 DEGREE LEAN > PARKING LOT; BY BAMBOO
191	9397	LO 11	Y	20X12X15X24	F	FEW LIMBS; BY BAMBOO

192	9398	LO 9	Y	8X12X0X18	F	THINNING; IN BAMBOO
193	9399	LO 14	Y	10X24X20X20	F	FEW DEAD LIMBS (NEEDS PRUNING)
194	9401	LO 14	Y	12X18X12X12	F	SOME DEAD LIMBS
195	9407	LO 17	Y	15X0X0X18	F-	SOME DEAD LIMBS; THIN; CLOSE TO PAVEMENT
196	9429	LO 20	Y	15X30X18X30	G	COD; BY ROAD; THINNING SLIGHTLY; SOME SPROUTS
197	9448	LO 10	Y	36X8X12X15	F	HEAVY SPROUTS
198	9454	LO 10	Y	15X24X30X10	F	TOP OVER ROAD; SOME SPROUTS; DEAD LIMBS (PRUNE)
199	9455	WATO 15 11	Y	25X30X25X15	F	COD @ 1 FOOT; INC BK; DEAD LIMBS; TRUNKS LEAN OPPOSITE
200	9460	LO 15	Y	12X24X24X0	F	LEAN > W @ 25 DEGREES; SLIGHT DIEBACK
201	9461	LO 15	Y	18X8X12X6	F	SMALL CROWN
202	9471	LO 13	Y	21X18X18X18	G	SLIGHT DIEBACK
203	9472	LO 11	Y	24X12X8X18	G	MOSTLY OVER ROAD
204	9473	LO S10	Y	27X0X0X24	G	LEAN > 20 DEGREES TO E
205	9475	LO 19	Y	10X24X12X24	G	SLIGHT DIEBACK; NICE TREE
206	9476	LO 21 15	Y	28X8X12X24	G	SOME SPROUTS; SLIGHT DIEBACK
207	9477	HOL 8	Y	NM	F	SOME BRANCH STUBS; 20 DEGREE LEAN > S
208	9478	HOL 6	N	26X0X12X18	F	SOME BRANCH STUBS; 25 DEGREE LEAN > S
209	9482	WATO 19	Y	24X18X24X18	F-	HOLLOW BASE; DIEBACK; THINNING; COD @ 18 FEET
210	9483	LO 5	Y	8X12X18X8	F-	SUPPRESSED; SMALL TOP
211	9491	HOL 9 8	N	12X9X12X12	F	LOW SPROUTS; DECAYED LIMB STUB; THINNING
212	9492	HOL 9	N	12X12X9X12	F	COD @ 7 FEET; INC BK
213	9494	GUM 15	N	18X24X18X18	F-	LOTS OF SPROUTS; LEANS > S
214	9552	GRAPE M18	Y	12X12X12X12	G	POLLARDED
215	9553	GRAPE M18	Y	12X12X12X12	G	POLLARDED

216	9554	PM 19	Y	NM	F	PINDO
217	9555	PM 20	Y	NM	F	PINDO
218	9556	GRAPE M18	N	6X6X6X6	F	POLLARDED
219	9563	LO 12	Y	12X18X36X0	F	DIEBACK; LEANS > W; IN MEDIAN; LITTLE ROOT SPACE
220	9564	LO 13	Y	18X12X24X24	F+	FEW DEAD LIMBS; SMALL CROWN (NEEDS PRUNING)
221	9565	LO S12	Y	18X18X12X10	F+	SLIGHT DIEBACK
222	9566	LO 15	Y	12X28X12X18	G	LEANS > N
223	9567	LO S8	Y	12X8X0X36	F	SLIGHT DIEBACK
224	9670	HOL 7 6 5 5 4	N	15X12X15X12	F+	LOW SPROUTS; STUBS; SLIGHT DECAY
225	9671	PM 20	N	NM	F	PALMETTO
226	9672	SLA PN 22	N	20X20X15X24	F-	BIG DEAD LIMBS; HIGH DECAY
227	9673	PND PN 11	N	4X6X18X12	P	DYING (NOT YET RISK)
228	9695	PND PN S11	N	0X30X8X30	P	LEANS 15 DEGEES > E; CLOSE TO PAVEMENT
229	9696	LOB PN 9	N	18X6X12X12	F-	SOME DEAD BRANCHES; 8 " TO WALL
230	9697	PND PN 16	N	15X18X12X12	P	10 DEGREE LEAN > N; DYING; 5% LIVE CROWN
231	9698	PM 12	N	NM	F	PALMETTO
232	9699	PM 15	N	NM	F	PALMETTO
233	9700	PM 18	N	NM	F	PALMETTO
234	9701	PM 20	N	NM	F	PALMETTO
235	9712	BRAD 23	N	24X38X30X28	P	REMOVE; NO FUTURE; WILL FAIL SOON; RED FLAGGED
236	9713	BRAD 17	N	12X24X28X12	P	REMOVE; NO FUTURE; WILL FAIL SOON; RED FLAGGED
237	9714	BRAD 23	N	12X28X24X12	P	REMOVE; NO FUTURE; WILL FAIL SOON; RED FLAGGED
238	9758	PM 19	N	NM	F	PINDO
239	9763	PM 22	N	NM	F	PINDO

240	9764	PM 22	N	NM	F	PINDO
241	9765	PM 21	N	NM	F	PINDO
242	9766	PND PN 13	N	15X10X15X6	F	FLAT SIDE > N
243	9768	PND PN 13	N	15X6X8X15	P	DEAD LIMBS; DECLINING
244	9769	PM 10	N	NM	F	PINDO
245	9770	PM 14	N	NM	F	PINDO
246	9772	PND PN 11	N	6X12X4X8	P	VERY THIN
247	9773	PND PN 10	N	6X12X4X8	P	VERY THIN; DECLINING
248	9774	PND PN 12	N	18X12X12X6	P	10 DEGREE LEAN > N; 5 % LIVE CROWN
249	9775	PND PN 13	N	6X18X12X6	F-	15 % LIVE CROWN
250	9776	SLA PN 25	N	22X28X30X36	F+	WOLF (GREW ALONE)
251	9777	PND PN 11	N	12X0X0X20	F	SUPPRESSED; 15 DEGREE LEAN > E
252	9802	PND PN 13	N	10X10X10X15	F	LEANS 10 DEGREES > E
253	9803	SLA PN 21	N	24X18X18X18	G	NICE TREE
254	9804	PM 21	N	NM	F	PALMETTO
255	9805	SLA PN 19	N	18X27X32X6	G	IN MEDIAN
256	9806	PM 17	N	NM	F	PALMETTO
257	9807	GUM 13 8	N	18X18X18X18	P	THINNING; CODOMINANT @2.5 FEET; INC BK; SPROUTS
258	9808	PM 19	N	NM	F	PALMETTO
259	9809	PM 12	N	NM	F	PALMETTO
260	9810	SLA PN 21	Y	30X18X18X24	P	RUST CANCKER @ 50 - 55 FEET; 1/2 STEM GIRDLED
261	9813	GUM 13	Y	6X18X18X6	P	ONLY SPROUTS
262	9814	GUM 10	Y	18X0X18X24	F	HEAVY SPROUTS
263	9815	GUM 12	Y	12X18X18X6	F	HEAVY SPROUTS; SOME DIEBACK

264	9816	SLA PN 22	N	30X12X21X15	F	SOME DEAD LIMBS; EDGE OF BUFFER
265	9817	GUM 16	N	24X18X21X21	F	HEAVY SPROUTS; DEAD LIMBS
266	9818	LOB PN 14	Y	18X21X18X12	P	DYING TOP; 10 DEGREE LEAN > W
267	9819	GUM 16	Y	18X27X30X15	F-	6 FEET TO ROAD; LONG LIMBS; MANY SPROUTS
268	9821	PND PN 12	N	0X18X20X8	P	SUPPRESSED; 3 LIVE LIMBS
269	9822	GUM 18	N	42X36X24X30	F-	LIMBS > PARKING LOT; VERY LARGE LIMBS
270	9823	SLA PN 21	N	30X15X20X18	F-	BLEEDING; TRUNK SWEEP > N
271	9827	PND PN 16	N	18X15X15X21	F-	DOGLEG @ 50 FEET; CORKSREW TOP; DEAD LIMBS
272	9861	SLA PN 20	Y	24X12X18X15	G	2 DEAD LIMBS
273	9883	SLA PN 21	Y	30X18X24X30	F	SLICK BARK; BIG LIMBS
274	9950	PM 516	Y	NM	F	PALMETTO
275	9951	MAPLE 10 8	Y	24X12X24X10	F	COD @ 2 FEET; INC BK; LIMBS RUBBING
276	9952	SLA PN 21	Y	30X10X24X24	F-	RUST CANCKER @ 30 FEET; BRANCH STUBS
277	9971	SLA PN 25	Y	28X24X8X24	F	HOLDING DEAD LIMBS
278	10082	LO 23	N	18X18X42X30	G	10 DEGREE LEAN > ROAD; SLIGHT DIEBACK
279	10084	LOB PN 21	N	18X24X12X28	F	5 DEGREE LEAN > ROAD; BLEEDING TRUNK; DEAD BRANCHES
280	10090	SLA PN 21	Y	18X8X8X20	F	SOME TRUNK SWEEP; YOUNGER THAN MOST PINES ON TRACT
281	10092	SLA PN 20	Y	24X18X24X6	P	BAD RUST CANCKER @ 25 FEET; FLAT TOP
282	10093	PM 19	Y	NM	F	PALMETTO
283	10094	PM 523	Y	NM	F	PALMETTO
284	10097	LOB PN 29	Y	18X18X24X28	F	WOLF TREE (NOT RESTRICTED BY COMPETITION)
285	10105	PND PN17 21	N	18X10X15X18	P	DECLINING; VERY THIN FOLIAGE
286	10108	GUM 57	N	6X8X14X6	P	10 DEGREE LEAN > ROAD; MOSTLY SPROUTS
287	10109	PND PN 16	N	12X10X18X8	F-	10 DEGREE LEAN > ROAD; 15% LIVE CROWN

288	10111	LVE OAK 6	N	16X8X12X16	F	SUPPRESSED; SPROUTS
289	10112	SLA PN 22	Y	26X18X24X28	F-	SLICK BARK; 15% LIVE CROWN; LONG LIMBS
290	10113	GUM 8	Y	14X18X6X18	F-	SUPPRESSED; LOTS OF SPROUTS
291	10115	SLA PN 21	Y	30X6X18X36	F	SMALL RUST CANCKER @ 25 FEET; THINNING
292	10116	LO 26	Y	30X0X0X36	G	LIMBS > ROAD
293	10118	LOB PN 6	Y	6X6X6X6	F-	SUPPRESSED, LIMITED LIFESPAN
294	10119	GUM 7	Y	10X6X8X12	F-	VINES; SMALL CROWN
295	10120	GUM 10	Y	6X6X10X15	F-	SUPPRESSED; VINES
296	10121	LOB PN 7	Y	15X15X8X10	P	BROKEN TOP, DECLINING
297	10122	LOB PN 15	Y	27X15X6X15	F	10 DEGREE LEAN > ROAD
298	10126	PM 16	Y	NM	F	PALMETTO
299	10127	WATO 14	Y	15X18X12X18	F+	SPROUTS; FULL CROWN
300	10141	LO 27 21	N	24X30X40X8	G	FEW DEAD LIMBS (PRUNE)
301	10143	LO 9	N	10X10X15X10	F	FEW SPROUTS
302	10144	LO 9	N	8X12X8X24	F	FEW SPROUTS
303	10145	PND PN 22	N	18X24X18X21	F-	DOGLEG IN TOP; SOME DEAD BRANCHES; NO LOSS IF CUT
304	10149	PND PN 22	N	10X30X28X30	P	RUST CANCKER @ 30 FEET; RISK; FLAGGED ORANGE
305	10152	HOL 10 8	N	15X15X15X15	F+	2 FEET TO HARDSCAPE
306	10211	HOL 8 7	N	8X12X20X0	F	COD @ 2 FEET; INC BK
307	10213	GUM 13	N	12X12X8X15	F-	BROKEN TOP; SPROUTS; 15 DEGREE LEAN > E
308	10216	GUM 13	N	10X18X18X30	F-	DEAD LIMBS; MOSTLY SPROUTS; NO NEED TO KEEP
309	10217	GUM 16	N	18X8X24X32	F	SOME DEAD LIMBS; SPROUTS
310	10223	SLA PN 22	N	12X30X30X12	F	BLEEDING FROM TRUNK
311	10224	LO 15	N	20X20X12X36	G	TRUNK SWEEP > E

312	10227	HOL 7	N	12X12X12X12	F	COD @ 9 FEET; INC BK
313	10228	HOL 12	N	18X18X21X12	F	COD @ 12 FEET; 3 TOPS
314	10233	HOL 11	N	12X10X15X15	F-	SHALLOW ROOTS; SWEEP > W; COD @ 10 FEET; INC BK
315	10235	HOL 10	N	18X0X12X15	F	COD @ 8 FEET; INC BK; SPROUTS
316	10237	GUM 18	N	24X21X30X25	F-	GIRDLING ROOTS; MECHANICAL DAMAGE; SPROUTS
317	10270	WATO 17	N	30X10X28X8	F-	LITTLE ROOT SPACE; SPROUTS; MECHANICAL INJURY
318	10272	LO 10 6	N	12X15X24X10	F-	STRESSED; DIEBACK; COD @ 2 FEET WITH 3 TOPS
319	10279	GUM 20	Y	24X12X21X16	F	THINNING HIGH IN CROWN; BIG LIMBS
320	10280	GUM 9	Y	8X15X12X12	F	SUPPRESSED; SPROUTS
321	10281	PND PN 23	Y	18X18X18X24	F	5 DEGREE LEAN > ROAD; LONG LIMBS; SOME DEAD
322	10284	PND PN 16	Y	18X10X30X0	F	15 DEGREE LEAN > S; BLEEDING
323	10288	LO 24	Y	24X32X20X42	G	FEW DEAD BRANCHES (PRUNE)
324	10351	PND PN 15	N	15X8X15X6	P	5 % LIVE CROWN; DECLINING
325	10359	PM 20	Y	NM	F	NOT EVALUATED
326	10360	PND PN 15	Y	6X15X20X6	P	VINES; SEVERE TRUNK SWEEP
327	10363	PND PN 12	Y	8X10X10X15	P	10 DEGREE LEAN > S
328	10366	LOB PN 16	Y	NM	P	DEAD TREE; FLAGGED TO CUT
329	10400	HOL 9	N	6X12X12X6	F-	10 DEGREE LEAN > N; GIRDLING ROOTS; SPROUTS
330	10401	HOL 11	N	12X15X16X0	F	SPROUTS; COD @ 6 FEET' ; INC BK
331	10502	LOB PN 12	Y	8X6X21X6	P	TOP DEAD; VINES; BY WATER
332	10504	GUM 8	Y	12X10X18X6	F+	SUPPRESSED
333	10514	LOB PN 17	Y	21X6X21X8	F	10% LIVE CROWN; SLICK BARK
334	10515	GUM 11	Y	12X12X21X6	F-	15 DEGREE LEAN > WATER; BORERS IN TRUNK; TOP BROKEN
335	10516	LOB PN 12	Y	12X12X21X0	F	THIN TOP

336	10518	WATO 9	Y	8X12X18X6	F-	SUPPRESSED; THINNING; COD @ 20 FEET
337	10519	LOB PN 20	Y	18X18X21X16	F	CORKSCREW TRUNK; 25% LIVE CROWN
338	10520	LAO 15	Y	15X12X18X16	F+	GOOD FOR LAUREL OAK
339	10521	LAO 10	Y	15X12X18X16	F-	TOP BROKEN; LONG LIMBS OVER WATER
340	10522	LOB PN 10	Y	6X12X24X12	F-	THINNING; 10% LIVE CROWN
341	10523	LOB PN 14	Y	12X6X28X6	F+	20% LIVE CROWN; MOST TOP OVER WATER
342	10525	WATO 9	Y	6X6X24X6	F-	CROWN BENT OVER WATER
343	10526	GUM 12	Y	18X16X21X18	F	SCRAPING TREE # 344
344	10528	LOB PN 23	Y	18X18X18X18	F+	SLICK BARK; NICE PINE
345	10530	LAO 17	Y	20X18X24X6	F-	TOP BROKEN OUT
346	10531	SLA PN 21	Y	21X24X32X28	F+	SLICK BARK; 30% LIVE CROWN
347	10532	PND PN 18	Y	18X16X26X6	F	DEAD BRANCHES; 10% LIVE CROWN
348	10533	GUM 19	Y	21X10X21X6	F-	SUPPRESSED; SPROUTS
349	10534	GUM 10	Y	12X8X16X6	F-	SUPPRESSED; HEAVY SPROUTS
350	10536	MAG 10				SAME AS TREE # 15
351	10537	LAO 17	Y	16X8X32X8	F-	HEAVY SPROUTS; THIN TOP; LONG LIMBS OVER WATER
352	10626	LO 17 S16	N	12X42X28X18	G	IN GROUP OF 3 (352-354); COD 2 6 INCHES
353	10627	LO 17 15	N	8X24X27X30	G	IN GROUP OF 3 (352-354); COD @ 1FOOT
354	10628	LO 19	N	42X0X8X30	G+	IN GROUP OF 3 (352-354); COD @ 30 FEET
355	10629	GUM 13	Y	24X0X6X30	F	SUPPRESSED; 15 DEGREE LEAN > E; listed as WAT OK
356	10630	GUM 14	Y	12X18X18X18	F	10 DEGREE LEAN > E
357	10631	PND PN 22	Y	15X18X15X24	F	BLEEDING; VINES; DEAD LIMBS; 10 DEGREE LEAN > E
358	10632	GUM 5	Y	18X12X12X16	P	SUPPRESSED; THIN TOP
359	10633	WATO 16 13	N	8X28X28X18	F-	COD @ 3 FEET; INC BK; SPROUTS; DIEBACK (CUT)

360	10634	HOL 8 S7	N	15X15X15X15	F+	IN GROUP OF 3; COD @ 2 FEET; INC BK
361	10635	PND PN 15	N	8X16X18X18	P	THINNING; 15% LIVE CROWN; BY CUBHOUSE (COULD CUT)
362	10636	HOL 9 4	N	12X15X15X18	F-	COD @ 1 FOOT; INC BK; BY CLUBHOUSE
363	10637	LO 6	Y	0X15X6X6	P	DEAD TOP; MOSTLY SPROUTS
364	10638	WATO 23 18	Y	20X24X30X28	P	BY # 319; ROOT DAMAGE; HEAVY SPROUTS; 8 FEET TO PATH
365	10639	LO 19	Y	28X0X0X36	F	IN BAMBOO STAND; LONG LIMBS
366	10640	LO 20	Y	18X12X6X30	F	IN BAMBOO STAND; SOME DEAD BRANCHES (PRUNE)
367	10641	PND PN 19	N	24X8X18X6	F-	BY # 324; SLICK BARK; SPROUTS
368	NONE	WAT OK 5	N	9X12X12X15	P	BY TREE # 287; SPROUTS
369	NONE	WAT OK 15	Y	28X18X18X21	P	BY RACKETBALL CT; STEM DECAY; SPROUTS
370	NONE	PND PN 23	N	18X16X26X30	P	DEAD TOP; RISK, FLAGGED FOR REMOVAL; NEAR # 328
371	NONE	WAT OK 15	N	15X20X15X18	P	DEAD TOP; BY TREE # 21
372	NONE	WAT OK 10	Y	8X12X30X6	F-	ON MAP BUT NOT SS; 10 DEGREE LEAN; HEAVY SPROUTS
373	NONE	SLA PN 24	N			duplicate of #111
374	NONE	LO S13	Y	30X0X10X10	F	IN LAWN OF CONDOS; VERY THIN
375	NONE	LO S20	N	15X28X20X42	G	TOP OVER TENNIS COURT; VINES; SPROUTS (was #186)

= TREE NUMBER AS MARKED IN THE FIELD BY DENDRODIAGNOSTICS

ID = TREE DESIGNATION BY THOMAS AND HUTTON

SP/ DIA = SPECIES OF TREE AND DIAMETER AT BREAST HEIGHT

BFR; Y = TREE IN BUFFER STRIP; N = TREE NOT IN BUFFER STRIP

SPREAD = WIDTH OF CROWN (AXBXCXD); A = DISTANCE FROM SOUTH EDGE OF CROWN TO TREE TRUNK; B = DISTANCE

FROM TREE TRUNK TO NORTH EDGE OF CROWN; C = DISTANCE FROM WEST EDGE OF CROWN TO TREE TRUNK

D = DISTANCE FROM TREE TRUNK TO EAST EDGE OF TREE CROWN

COND = TREE CONDITION; G = GOOD, F = FAIR, P = POOR

NOTES = FIELD NOTES ON TREE DEFECTS AND CONDITION, SOME RECOMMENDATIONS

ABBREVIATIONS USED: COD = CODOMINANT; INC BK = INCLUDED BARK

3 TREES LABELED INCORRECTLY IN FIELD (CORRECT IN TABLE AND MAP)

TREE LABELED 186 ACTUALLY TREE 375

TREE LABELED 196 ACTUALLY TREE 186

TREE LABELED 375 ACTUALLY TREE 196

	Abbreviations for Tree Species		
BRAD	Bradford Pear	MULB	Mulberry
HOL	Holly	PM	Palm
LAO	Laurel Oak	PND PN	Pond Pine
LO	Live Oak	SLA PN	Slash Pine
LOB PN	Loblolly Pine	WATO	Water Oak
MAG	Magnolia	WMYR	Wax Myrtle

Specimen, Rare or Endangered trees

Tree #: 102 (#8708 on Thomas and Hutton survey)

Species: Live oak (*Quercus virginiana*)

DBH: 55 inches (multiple stems)

Height: 54 feet

Spread: 30 X 42 X 38 X 45 feet

Approx. age: 100+ years

Location: Latitude: 32.20665 Longitude: -80.6886

Condition: Poor (25% condition rating).

Description: This tree was located in the northwestern portion of the site, beside an open field. The area was relatively undisturbed, at least recently. The buttress roots were sound and living lateral roots were in fair health with good mycorrhizal colonization. Approximately 15% of those lateral roots were dead with slipping cortexes. The trunk was codominant at 5 – 8 feet with 4 tops arising from that fork. Included bark was present between the forks. The northernmost top had broken out, likely in Hurricane Matthew. Other branch breakage was apparent and some of those were lying on the ground around the base of the tree. A few dead branches were being held in the crown. The tops and scaffold branches were long with most foliage seen near branch ends or on sprout tissue. Those sprouts were profuse and the majority of them were less than 5 years of age. The crown transparency was 70%, meaning that the foliage was thin and only blocked 30% of the light falling on the crown.

Action needed: This tree is currently in a state of decline. In order to retain it with some chance for its survival, it would need considerable arboricultural treatment. It needs extensive pruning to remove dead wood and make clean cuts at points where branches shattered and split. The soil under it should be decompacted with a high pressure air tool such as an Air Spade™. During that treatment, organic matter should be incorporated into the soil in the root zone. Even these treatments will not guarantee long-term survival of this tree.

Tree #: 106 (#8726 on Thomas and Hutton survey)

Species: Cork Oak (*Quercus suber*)

DBH: 34 inches

Height: 52 feet

Spread: 30 X 35 X 24 X 27 feet

Approx. age: 75+ years

Location: Latitude: 33.97962 Longitude: -81.02882 (same as tree #1)

Condition: Good (80% condition rating).

Description: This tree was located near the western edge of a tennis court in the west-central portion of this tract. It had been listed as a Live oak in the tree survey, but was actually a Cork oak as identified by its thick, sloughing bark. It was codominant at 9 and 14 feet with 2 major trunks and 2 smaller stems. The top had minor dieback and a few small dead limbs. There was heavy sprouting which had begun as long as 10 years earlier. It had limited root space to its east. Two Pindo palms had been planted underneath it and those were competing with the oak for space and nutrients.

Action needed: Cork oak is native to Europe and as such had been planted here. This individual had grown well since then and only exhibited minor stress as evidenced by the sprouting seen in its crown. To protect this tree, it will be necessary to remove the palms growing underneath it. The trunks could benefit from supplemental support by cabling them together. It will have few roots extending under the paved path and tennis court to its east.

Conclusions and Recommendations

Zoning Code as it Affects Tree Removal and Mitigation

The Zoning Code of the Town of Hilton Head (Sec. 16-6-104) describes regulations concerning tree protection and replacement. Prior to obtaining a Building Permit, they must approve your site development plan (Sec. 16-2-103.K). That plan should include a tree survey, tree inventory and tree protection plans (Sec. 16-6-104.C). In general, most trees larger than 6 inches DBH are considered protected and cannot be damaged or cut without a permit (Sec. 16-6-104.1). Buffers are required, depending on the adjacent property, and existing trees in buffers are generally protected (Sec. 16-5-103.h)

Specimen trees are considered especially valuable and carry their own set of regulations (Sec. 16-6-104.F). A specimen tree is a tree of any species designated as endangered, threatened or rare, or any tree of a species designated in Table 16-6-104.F.1, whose DBH is equal or greater than published standards. On your tract only 2 trees might be considered specimen or rare trees under those regulations. One is a multiple stemmed Live Oak that is 55 inches in diameter. The other is a Cork oak which is 34 inches DBH. Specimen trees may not be cut or disturbed without official permission. Additionally, no more than 20% of the total area within the tree's drip line can be paved over or compacted. This also includes a 15 foot minimum setback from the tree's trunk where no paving or soil compaction is permitted (Sec. 16-6-104.F.2).

Trees to be protected are normally identified on your plans as such. If any trees are retained, you would need to establish a tree protection zone around them. For an individual tree, that zone is considered to extend to the drip line of the protected tree (Sec. 16-6-104.J.1). This is different from most municipalities which require a fixed protection zone based on the tree's diameter.

Town Code requires installation of protective fencing around the tree protection areas. Before you begin any construction activities, the protected trees should have a barrier installed around them (Sec. 16-6-

104.1.3a). Acceptable fencing includes 4 foot high orange laminate mesh, or more durable material (Sec. 16-6-104.3a.ii). Warning signage is also required (16-6-104.3b). Both the fence and signage are required to be erected before any grading or development and retained until a Certificate of Compliance is issued upon project completion.

This tree protection zone (as defined above) is considered off limits to any construction activities. No material storage, parking, concrete washouts, debris burning, trenching or soil disturbance is allowed inside that area (Sec. 16-6-104.4.a-f).

The City should give you a written permit for tree removals once they have approved your landscape plan and other documentation. No trees of any condition or size should be removed before you have written permission.

Hilton Head requires that a minimum of 900 adjusted caliper inches (ACI) of trees per acre of pervious surface remain or be planted after construction. This is based on varying percentages for different species of trees (Sec. 16-6-104.G). For instance, Live Oak would have a value of 100% of its DBH as its ACI. Most deciduous hardwoods have an ACI of 75%. Pines and palms receive a 50% ACI credit (Sec. 16-6-104.G.2). A significant portion of this ACI could be achieved through retention of all healthy trees in the perimeter buffers. Your Landscape Architect should determine the acres of pervious surface on the site.

Trees to be replanted have minimum caliper and height standards. For most trees this is 2 inches in caliper and 10 feet in height (Table 16-6-104.I.3). Any replacement trees required must be planted within 180 days of removal of a tree requiring replacement (Sec. 16-6-104.L.5). Locally indigenous species are required and are listed in Table 16-6-104.H.

Additional tree planting may be required in parking areas. This and other site landscaping required in the ordinance are beyond the scope of this evaluation and tree protection document. The Landscape Architect should be able to determine these requirements for you.

If planting is required that cannot be done onsite for various reasons, there is mitigation fee that can be paid in lieu of planting (Sec. 16-6-104.L). The amount of this payment is determined by the Town and paid into a tree replacement fund for use in tree planting around the island.

There are penalties prescribed for unauthorized cutting of trees in Hilton Head. The fine can be up to \$500.00/ violation, issuance of a stop work order or modification of your permit (Sec. 16-8).

Summary of Findings Regarding the Trees and Site Evaluated

In order to understand how defects and diseases affect urban trees, it is important to comprehend the basics of tree biology. Small roots, called root hairs, absorb water and nutrients from the soil. This mixture is then transported back to the tree through conductive roots. Those roots also partially fulfill the task of holding the tree upright. Larger roots, called the root plate, extend radially from the trunk for several feet (about 9 feet for a 20 inch DBH tree). That root plate bears the lion's share of the task of supporting the weight of the trunk. The water and nutrients absorbed and translocated through the root system move upwards in a tree through small tubes in the wood called xylem. The xylem forks into the main limbs, through smaller branches and twigs until reaching the leaves. The leaves are the energy

creators in a tree and use chlorophyll, water and sunlight to produce sugars in a process called photosynthesis. Sugars produced in this manner are then transported back down the trunk through a layer of tissue just underneath the bark, known as the phloem. Those sugars are used as energy to power growth of the tree, with any excess being stored for later usage.

When evaluating urban trees, it is important to look both at the tree's health and its structure. Health is a measure of how efficient a tree is doing the activities mentioned in the above paragraph. A healthy tree produces sugars by photosynthesis in the leaves and then translocates them to other parts of the tree where they are used for growth or stored for later use. If all these parts are functioning well, the tree is deemed to be healthy.

A tree can appear to be fairly healthy (at least to an untrained observer), but can have structural defects that predispose it to trunk breakage or other types of catastrophic failure (thereby causing risk to people or buildings near them). For instance, one of the most common trunk defects occurs when a tree has multiple stems. At the point where the stems fork, their bark can be trapped between them as they grow in diameter. This condition, called included bark, prevents the wood of the stems from forming a tight attachment to each other. As time passes, the weight of tissue above the defect will mount, increasing stress on that joint. Eventually, one side will break off and fall.

Various insect and disease pests can invade a tree where they feed on the sugars produced by the tree or on tissues created by its respiration. The most serious of these pests can kill trees outright, but many slowly degenerate the tree's tissue. Among the second group are the fungi that cause root rot and wood decay. They infect a tree by means of airborne spores that land on an area of the tree that has been injured in some manner. They germinate there and grow into the tree's tissue. These organisms grow quite slowly, but over time they will erode the strength of the wood or the roots. As the trunk or roots lose strength, it is more difficult for them to support the weight of the trunk and crown above them. As long as the tree is living, the weight of the trunk will increase over the years. At the same time the rot fungi are weakening the trunk (and/ or the roots) until a storm (or eventually just gravity) causes the tree to fail and fall.

Soil compaction, root infection and subsequent loss causes symptoms that appear in the tops of affected trees. As the roots die, the top of that tree will die back and dead limbs will be observed in the tree's crown. This condition is generally called a decline spiral, since root death leads to top death. Top death means that less foliage is available to produce sugars, so there will be less energy for new root growth. This reduction in energy is utilized by opportunistic insects and diseases that would not ordinarily be vigorous enough to attack a healthy tree. As these insects and diseases destroy additional tissue, the decline can hasten until all stored energy is exhausted and tree death occurs. This is affecting many of the trees discussed in this evaluation. It would be much easier to remove those trees now than after construction is completed. Most of the trees on the tract are still suffering from root impacts they received decades ago when the site was first developed for recreation.

When trees are hit by powerful storms, their limbs are often broken and branch stubs remain. This and other stresses (like drought or root loss) stimulate small, latent buds under the bark to grow, forming sprout branches. A normal branch has an attachment to the center of the stem so that each year when the tree grows larger the limb is more strongly held to the trunk or larger limb where it originated. However,

sprout limbs have a less strong connection to the tree (since the sprouts originate directly under the bark) and will break off more easily as they increase in size and weight. When they fall, they can hit the ground (or anything under the tree) like spears. Most of the hardwoods on your site have sprouts to some degree.

Lean of a tree's trunk is yet another defect that predisposes it to failure. A tree will grow towards light, and that can often be what causes it to lean. Unfortunately, with the passage of time the center of gravity of a leaning tree moves farther away from its base and increases the likelihood of stem breakage or uprooting. A more insidious form of lean occurs when a tree suffers root or soil failure. In this situation, soil will often mound on the side of the tree away from its lean. When this happens, no arboricultural treatments will prevent the eventual uprooting and fall of the tree. Lean is a significant issue with several trees on your tract.

A tree falling in the forest poses little risk to people because it is unlikely to hit anyone when it falls. In order for the tree to constitute a potential risk, it must have a defect that makes it more likely to fail plus a target that can be damaged by such failure. Thus, a defective tree located around people or buildings becomes a risk since its failure could cause personal injury or property destruction. Presently, there moderate human activity on this site, so the danger of personal damage is not extreme (few targets). Once large numbers of people and their property are present, the number of targets (and potential liability from a tree accident) will increase. This could be a major liability, especially if a person is injured by tree failure (for example: from uprooting, trunk breakage or falling branches).

In general, I do not recommend retaining large trees during construction if they will be within ten feet of a building. This also applies to planting of trees that will grow to a height of more than fifteen feet. Some trees that stay small when mature (like Japanese maple or palms) can be planted a bit closer than that, but will eventually need pruning to keep branches off of nearby structures. The roots also need space, and damaging the roots near the base of a tree (root plate) will destabilize it and could lead to root failure and uprooting.

Any trees retained on the site, or new ones you plant will need protection, even after construction. Too often, I see contractors or homeowners spend time and money on tree protection during the building process, but ignore damage that happens later. Installation of underground utilities and irrigation requires ditching on the site and can destroy root systems. Most roots are in the upper six inches of the soil and any ditching machine cuts deeper than that. Tilling or disking the soil in root areas for grass installation always destroys feeder roots and should be avoided. Addition of fill materials over roots can suffocate them. The root zone of retained trees should be mulched and grass only planted in areas where no tree roots are located. If irrigation must be installed or soil compaction lessened, use of an air spade or similar tool can loosen or trench the soil without cutting roots.

Specific Recommendations for Trees on this Site

In order to achieve the required Adjusted Caliper Inches (ACI) for this site, it will be necessary to retain as many trees as possible. However, not all trees are created equally in determining ACI and it would behoove you to consider that inequality in determining what to keep and what could be removed to make room for site development.

By statute, specimen and rare or endangered trees must be retained. On this tract that includes a 55 inch DBH Live oak and a 34 inch DBH Cork oak. The planning for development should include adequate space for these 2 trees.

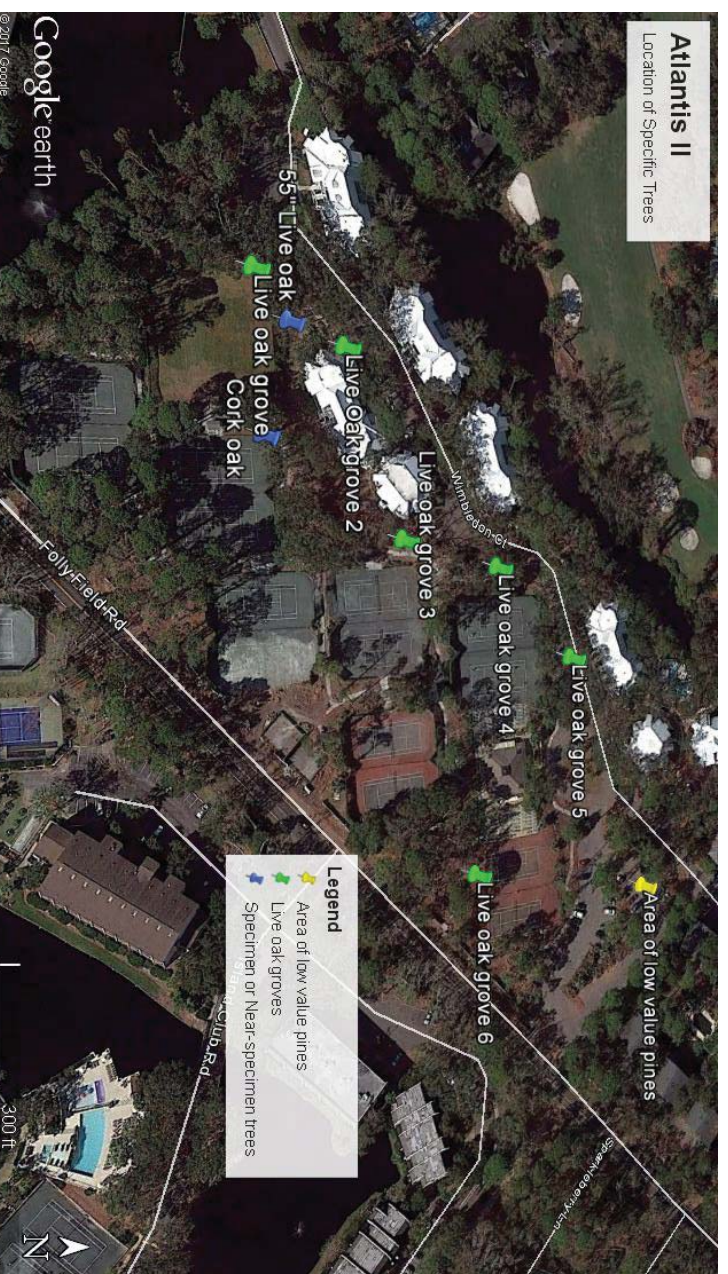
There is a 20 – 40 foot tree buffer around the perimeter of the site. All trees in that buffer (which do not pose undue risk) should be retained. Preliminary calculations show that over 2000 ACI of trees are present in that buffer. This would be sufficient to fulfill ACI requirements for over 2 acres of permeable area.

Live oaks should be retained, to the extent possible. Most of these are in groves of multiple trees. Such groups of trees are easier to protect than individual trees. Live oak is favored in ACI calculations since it receives 1 inch of ACI credit for each inch of DBH. A few Live oaks are not in groups and these could be sacrificed, if necessary, should their space be needed in planning for hardscapes.

Pines and palms only receive 50% credit in ACI calculations. Additionally, most pines on the site are in marginal to poor condition and would be less likely to survive the stresses of nearby construction. The eastern end of the site is almost entirely in pines and palms and that area would be a good place to sacrifice those trees for buildings.

The areas presently in tennis courts and walkways would be excellent areas for construction. Because those courts and walks are impermeable, there are likely very few roots under them (roots will not grow into areas with no oxygen or moisture). Since no roots are there now, construction there would not cause any root damage to existing trees.

This same theory applies to protecting trees near current hardscapes. Tree protection requires avoiding disturbance of the root area, but if no roots are present, there would be no need to protect that area currently under pavement. Although regulations require root protection to the edge of the drip line, I believe I could successfully argue this point to the Zoning Board.



Disclaimer

All tree evaluations were performed from ground level with only visible and accessible portions of trees being checked. All recommendations were made in good faith backed by scientific arboriculture and forestry. However, DendroDiagnostics, Inc. makes no warranty, either implied or specific, as to the actual chance of survival or failure of your trees. All trees pose some degree of risk. Those risks fall into several general categories; these include branch failure, trunk failure and root failure (uprooting). There is also a risk of shallow roots tripping pedestrians. Some degree of risk is inherent in having any trees in close proximity to people or structures. Although this risk can be minimized by proper arboricultural maintenance, it cannot be entirely mitigated without removing all trees and their roots on the site. Healthy trees carry a slight risk of failure, but even healthy trees can be compromised by high winds or other extreme weather.

Certificate of Evaluation Statement

I certify that all of the statements in this evaluation are true, complete, and correct to the best of my knowledge and belief, and that they are made in good faith.

Report by:

Andrew J. Boone, CF

ISA Certified Arborist SO-0669A; Tree Risk Assessment Qualified

SAF Certified Forester # 2730


S.C. Registered Forester # 716

S.C. Commercial Pesticide Applicator # C-0014974

U.S. Forest Service Certified Forest Entomologist and Pathologist

Figure 1: Tree Evaluation Form

DendroDiagnostics, Inc.
14977 Fern Road • Chapin, SC 29626
Phone: (803) 700-2800
www.dendrodiagnostics.com



Tree Evaluation Form

Date: _____ Page: _____ DD Tree #: _____
Owner: Atlantis II Survey Tree #: _____

Act Species: _____ Syv. Sp. _____ Free to grow? _____
DBH: _____ Height: _____ CRZ (radius): _____
Root Plate Diameter: _____ Spread: _____
Targets: _____

Grid: 32.20 _____ -80.68 _____ Transparency: _____ Lean: _____ Direction: _____
Soil Type: _____ Drainage: _____ Age: _____

Condition: _____ Spec? _____ Risk: _____

Roots: (Depth, Mech. Dam., Compaction, girdling root, injury, obstructions, I&D, other):
{2-8} _____

Trunk: (Sound bark and wood, cavities, cracks, conks, decay, COD, included bark): {2-8}

Branches: (Dieback, attachment, dead limbs, aspect, sprouts, wound closure, I&D): {2-8}

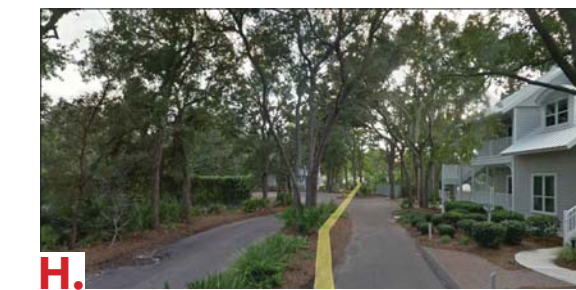
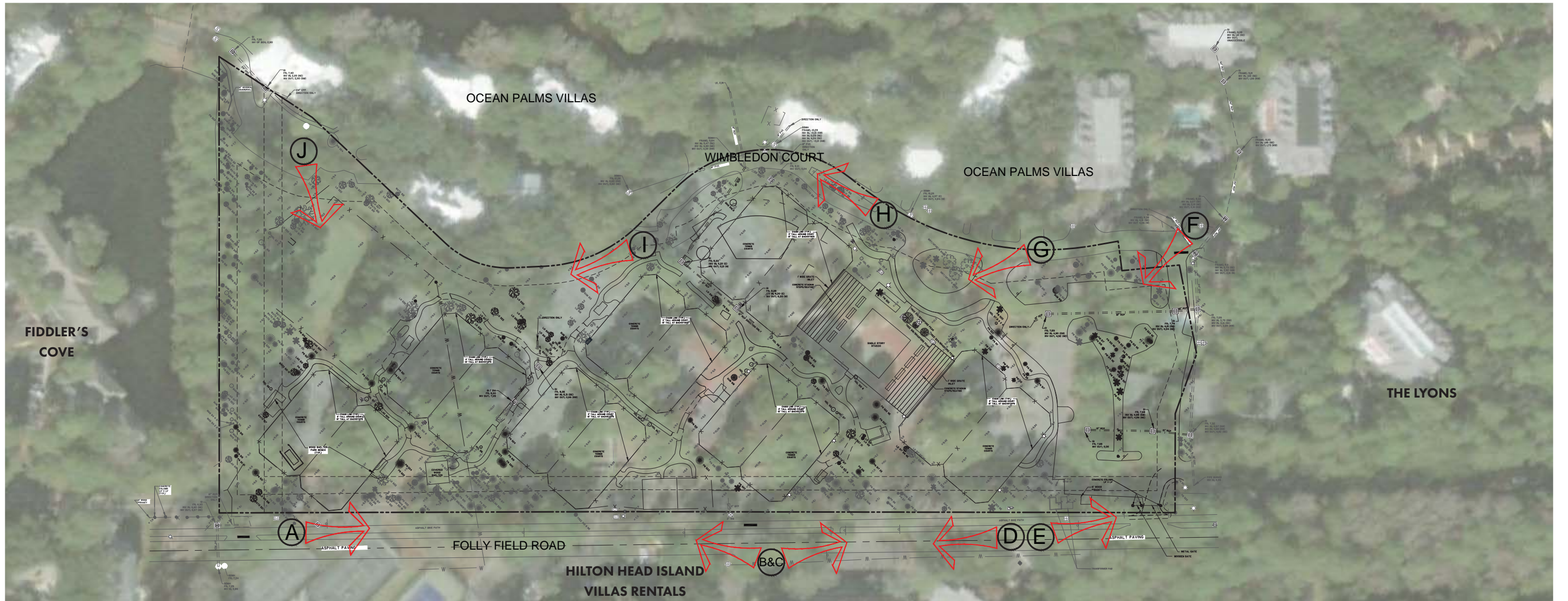
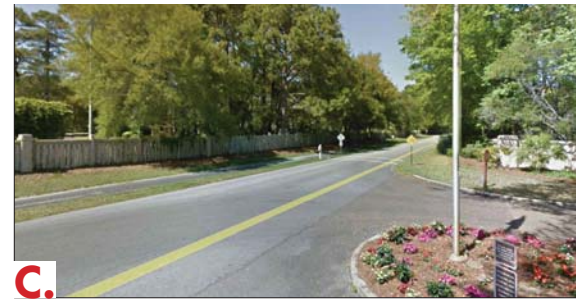
Twigs and Leaves: (color, distribution, size, wilting, thinning, I&D): {1-4 each, (8 total)}: _____

History: (Known disturbances, nearby tree failures): _____

Short Term Needs: _____

Long Term Needs: _____

Roots, Trunk, Scaffold branches get 1-4 pts for structure and 1-4 for health. Small branches and foliage and buds get 1-4 pts for health only (32 maximum)



OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

OCEAN PALMS VILLAS AT PORT ROYAL
14 Wimbledon Ct. - 2.5 Story Building
(Fractional Ownership Property) [PD-1]

20' ADJACENT USE SETBACK FROM EDGE OF ROADWAY (TYP.)

ROYAL DUNES RESORT
8 Wimbledon Ct. - 4-5 Story Building
(Fractional Ownership Property) [PD-1]

EXISTING LAGOON

SPECIMEN 55" LO





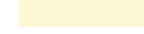




EXISTING GRASS TENNIS COURT

SPECIMEN 34" CORK OAK

FIDDLER'S COVE BEACH CLUB
45 Folly Field Rd - 3-4 Story Buildings
(Private Condos with Short-term rentals) [RD]

THE LYONS VILLAS
9 Wimbledon Ct. - 3-4 Story Duplexes
(Private Condos with Short-term rentals) [PD-1]

LEGEND

-  BIKE / PEDESTRIAN PATH
-  MINOR ARTERIAL ROAD
-  VEHICULAR CIRCULATION
-  ASPHALT TENNIS COURT
-  IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS

SEWER EASEMENT (TYP.)

20' ADJACENT USE SETBACK (TYP.)

20' ADJACENT USE SETBACK (TYP.)

40' STREET SETBACK (TYP.)

25' WIDE TYPE 'B' STREET BUFFER (TYP.)

ISLAND CLUB OF HH
85 Folly Field Rd. - 3-4 Story Buildings
(Resort/Timeshare) [PD-1]

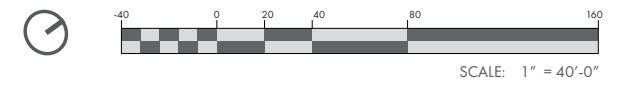
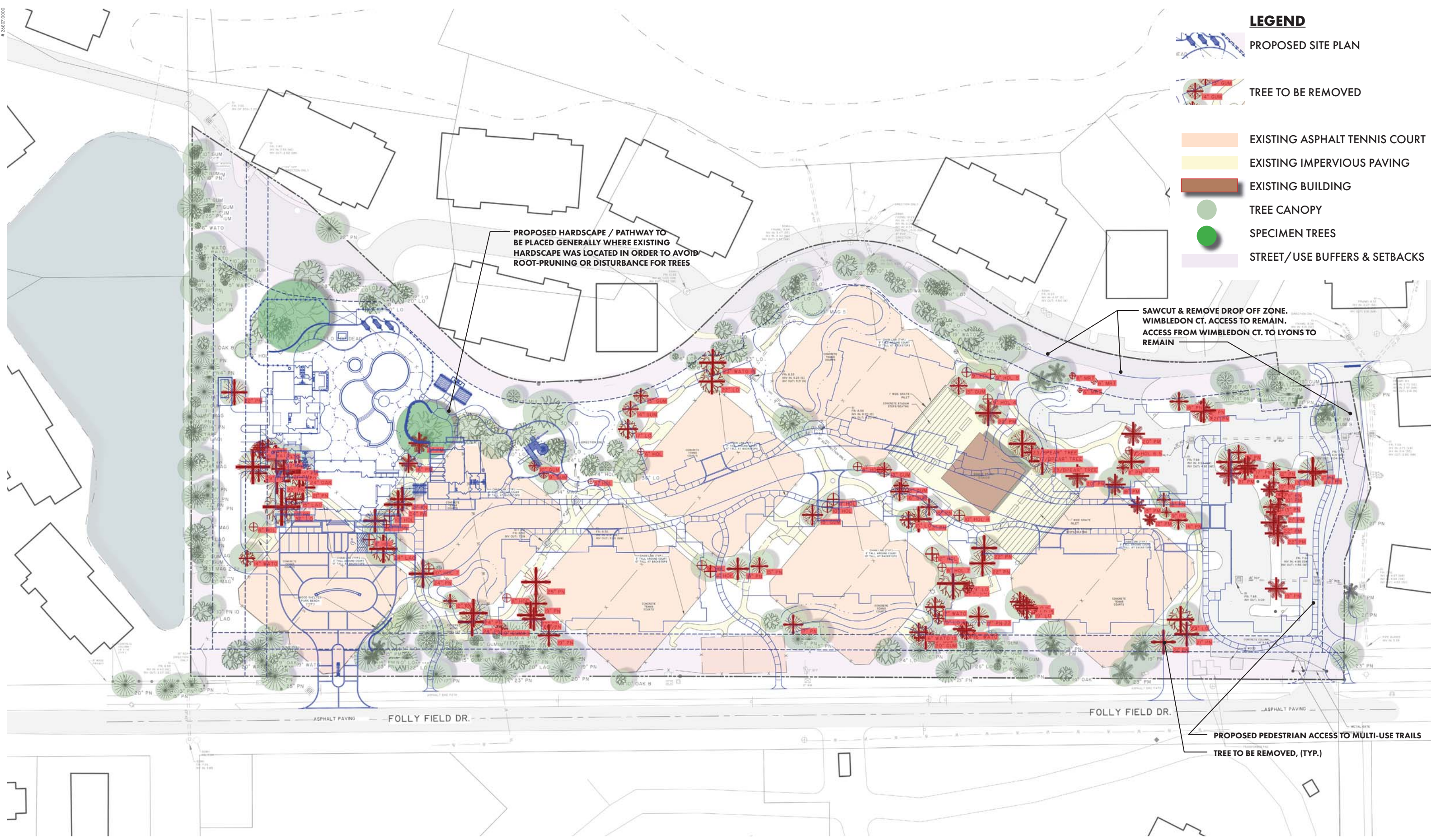
SITE ANALYSIS

PORT ROYAL - HILTON HEAD ISLAND, SC

248107.0000

LEGEND

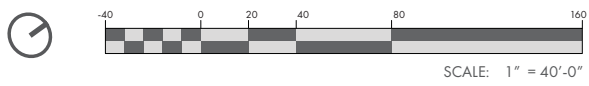
-  PROPOSED SITE PLAN
-  TREE TO BE REMOVED
-  EXISTING ASPHALT TENNIS COURT
-  EXISTING IMPERVIOUS PAVING
-  EXISTING BUILDING
-  TREE CANOPY
-  SPECIMEN TREES
-  STREET/USE BUFFERS & SETBACKS

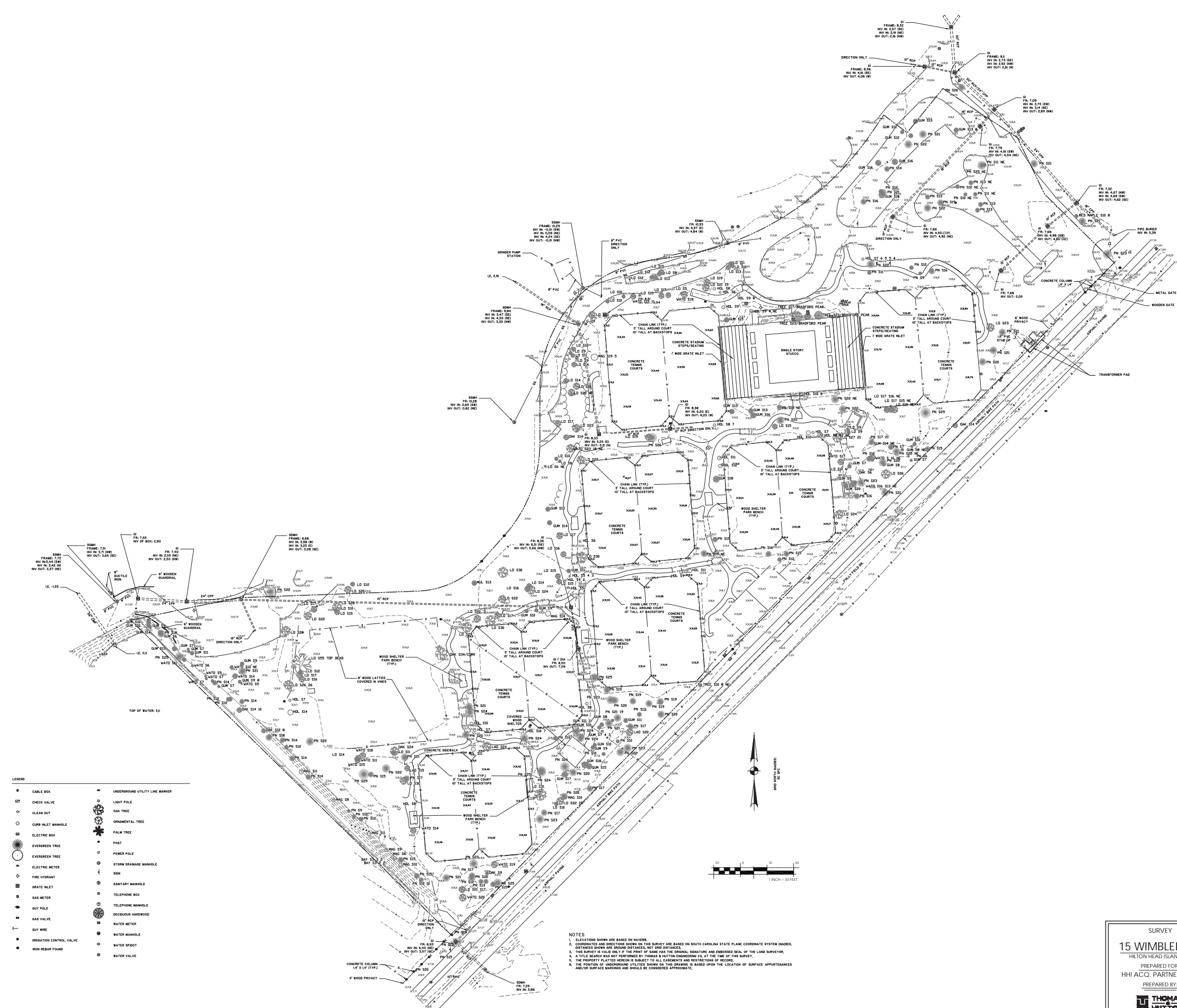


26827/0000



FIFTEEN WIMBLEDON - OVERALL CONTEXT MAP
PORT ROYAL - HILTON HEAD ISLAND, SC





LEGEND

● CABLE BOX	○ UNDERGROUND UTILITY LINE MARKER
□ CHECK VALVE	○ LIGHT POLE
○ CLEAN OUT	○ OAK TREE
○ CURB INLET MANHOLE	○ ORNAMENTAL TREE
○ ELECTRIC BOX	○ PALM TREE
○ EVERGREEN TREE	○ POST
○ EVERGREEN TREE	○ POWER POLE
○ ELECTRIC METER	○ STORM DRAINAGE MANHOLE
○ FINE HYDRANT	○ SIGN
○ GRATE INLET	○ SANITARY MANHOLE
○ GAS METER	○ TELEPHONE BOX
○ GUY POLE	○ TELEPHONE MANHOLE
○ GAS VALVE	○ DECIDUOUS HARDWOOD
○ GUY WIRE	○ WATER METER
○ IRRIGATION CONTROL VALVE	○ WATER MANHOLE
○ IRON REBAR FOUND	○ WATER SPOUT
	○ WATER VALVE








NOTES

- ELEVATIONS SHOWN ARE BASED ON NAVD83.
- COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83). DISTANCES SHOWN ARE SHOWN AS BEARS, NOT TRUE DISTANCES.
- THIS SURVEY IS VALID ONLY IF THE PRINT OF SAME HAS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE LAND SURVEYOR.
- A TITLE SEARCH HAS NOT BEEN PERFORMED BY THOMAS & HUTTON ENGINEERS CO. AT THE TIME OF THIS SURVEY.
- THE PROPERTY PLATTED HEREIN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPOINTMENTS AND/OR SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE.

SURVEY
15 WIMBLEDON
 HILTON HEAD ISLAND, SC
 PREPARED FOR:
 HHI ACO PARTNERS, LLC
 PREPARED BY:
THOMAS & HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.0300
 www.thomasandhutton.com

DATE: 12/08/2023	SCALE: AS SHOWN
COMPUTED BY: JHH	SCALE: 1" = 30'
DESIGNED BY: JHH	DATE: 12/08/2023

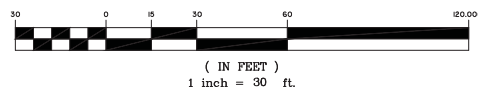
REMOVAL LEGEND

-  REMOVE TENNIS COURT AND ADJACENT FENCE (11,000 SY. TOTAL)
-  REMOVE ASPHALT AND GAB (4,200 SY. TOTAL)
-  SIDEWALK (1,350 SY. TOTAL)
-  BUILDINGS (4,700 SF. TOTAL)
-  GRAVEL (220 SY. TOTAL)
-  TREE REMOVAL
-  UTILITIES & FENCE

DEMOLITION NOTES:

1. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT REPRESENT ACTUAL. ALL LOCATIONS. SURVEY OF UTILITIES SHOWN ON THIS PLAN WERE COLLECTED FROM THOMAS AND HUTTON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AVAILABLE RECORD DRAWINGS AND COORDINATE WITH THE PROVIDER TO LOCATE ALL UTILITIES PRIOR TO DEMOLITION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION ACCEPTABLE BY ALL GOVERNING AUTHORITIES. OF ALL MATERIALS INDICATED IN THIS PLAN. ALL MATERIALS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
4. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES. TRAFFIC CONTROL PLAN MUST BE CONSISTENT WITH THE MUTCD, LATEST EDITION.
6. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. PRIOR TO COMMENCING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL IMPLEMENT PHASING OF EROSION & SEDIMENTATION CONTROL PRACTICES.
8. PRIOR TO BEGINNING DEMOLITION OF EXISTING SITE, CONTRACTOR SHALL NOTIFY OWNER, ARCHITECT, AND ENGINEER WITHIN 72 HOURS.
9. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
10. EXISTING DRAINAGE, WATER AND SANITARY SEWER UTILITIES AND ASSOCIATED APPURTENANCES SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
11. ALL WATER VALVE BOXES/MANHOLES, METER AND BACKFLOW PREVENTER BOXES AND ASSOCIATED APPURTENANCES, SANITARY SEWER MANHOLE TOPS AND CLEANOUTS AND SURFACE DRAINAGE STRUCTURE INLETS SHALL BE BROUGHT TO FINISHED GRADE.
12. WORK ASSOCIATED WITH THIS PROJECT IS LOCATED WITHIN THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY. ALL WORK SHALL BE COORDINATED WITH SCDOT AND CONSTRUCTED TO SCDOT CURRENT STANDARDS.

GRAPHIC SCALE



MATCH LINE - SEE SHEET NO. G3.2

- Preliminary -
Not For Construction

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
EXISTING CONDITIONS AND DEMOLITION PLAN

JOB NO: J-26807.0000
 DATE: 9/XX/17
 DRAWN: CGC
 DESIGNED: ETW
 REVIEWED: JRW
 APPROVED: NBL
 SCALE: 1" = 30'

G3.1



REMOVAL LEGEND

- REMOVE TENNIS COURT AND ADJACENT FENCE (11,000 SY. TOTAL)
- REMOVE ASPHALT AND GAB (4,200 SY. TOTAL)
- SIDEWALK (1,350 SY. TOTAL)
- BUILDINGS (4,700 SF. TOTAL)
- GRAVEL (220 SY. TOTAL)
- TREE REMOVAL
- UTILITIES & FENCE

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12. WORK ASSOCIATED WITH THIS PROJECT IS LOCATED WITHIN THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY. ALL WORK SHALL BE COORDINATED WITH SCOTD AND CONSTRUCTED TO SCOTD CURRENT STANDARDS.

GRAPHIC SCALE



MATCH LINE - SEE SHEET NO. G3.1

FOLLY FIELD DR.

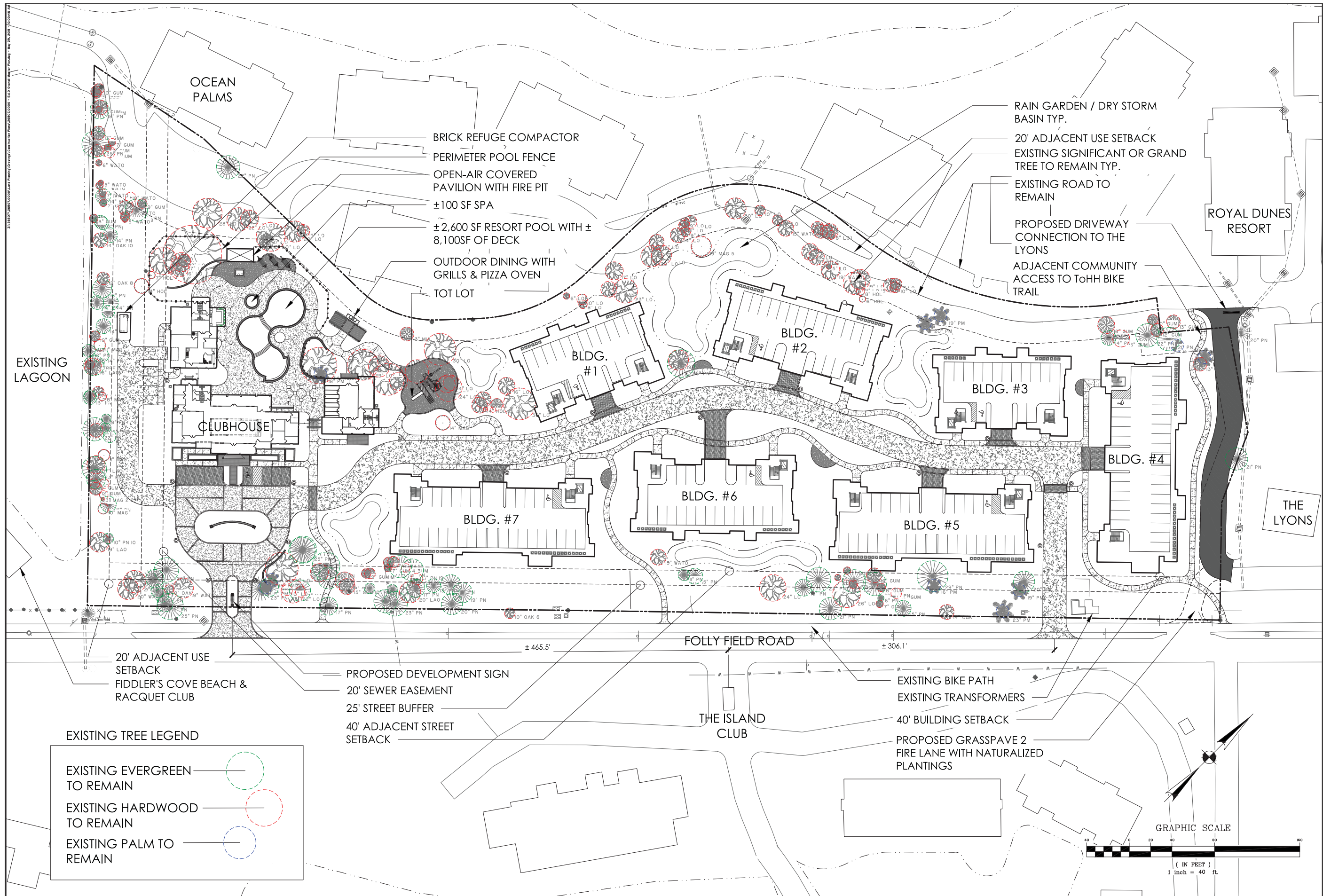
H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
EXISTING CONDITIONS AND DEMOLITION PLAN

THOMAS AND HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

NO.	REVISIONS	BY	DATE

JOB NO: J-26807.0000
DATE: 9/XX/17
DRAWN: CGC
DESIGNED: ETW
REVIEWED: JRW
APPROVED: NBL
SCALE: 1" = 30'

G3.2



**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO.	REVISIONS	BY	DATE

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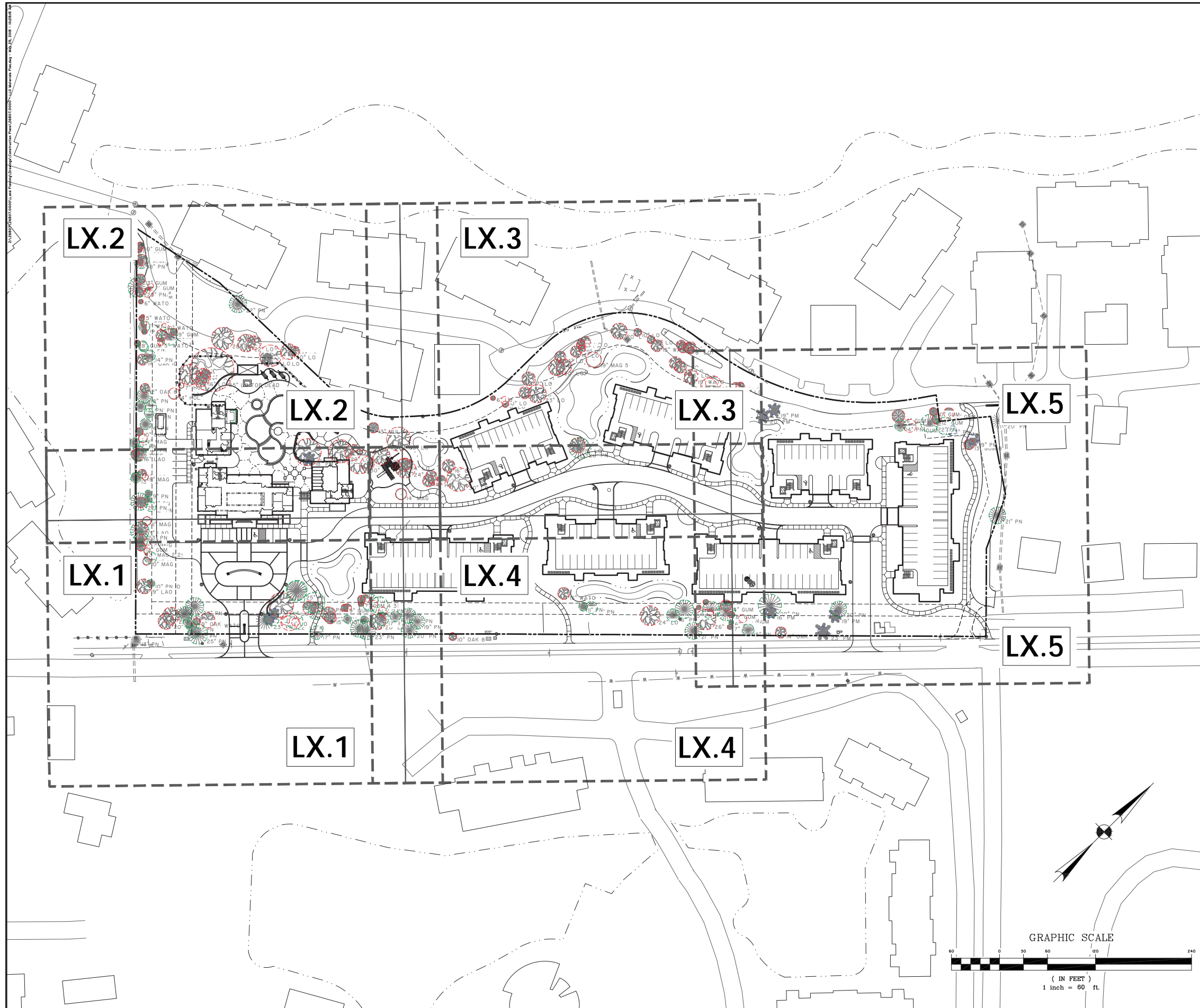
H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA

FIFTEEN WIMBLETON

OVERALL MASTER PLAN

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1"=40'

EX0.1



SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	
1.2	—	ASPHALT - SEE CIVIL	
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	
1.4	L3.0	PERVIOUS BRICK PAVERS w/ SOLDIER COURSE BANDING	
1.5	L3.0	PEDESTRIAN PAVERS	
1.6	L3.0	SANDBLASTED CONC.	
1.7	L3.0	GRANITE FINES WITH BRICK SOLDIER COURSE	
1.8	L3.0	GRANITE FINES WITH METAL EDGING	
1.9	L3.0	LIGHT SALT VOID CONC.	
2.0	—	GRASS PAVE - FIRE LANE SEE CIVIL	
2.0 STEPS, RAMPS, & CURBS			
2.1	—	CONCRETE WHEEL STOPS	
2.2	—	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	
2.3	—	CONCRETE RAMP - SEE CIVIL	
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.1	ENTRY PLAZA WALL	
3.2	L3.1	TIMBER WALL (VARYING HT.)	
3.3	L3.1	HANDRAIL	
3.4	L3.1	TABBY PIZZA OVEN	
3.5	L3.2	WOODEN TRELLIS	
3.6 a	L3.1	POOL FENCE (A)	
3.6 b	L3.1	POOL FENCE (B)	
3.7	L3.1	FIRE PIT	
3.8	L3.1	FREE-STANDING PEDESTAL GRILL	
4.0 SITE FURNISHINGS			
4.1	L3.X	TABLE	
4.2	L3.X	CHAIR	
4.3	L3.X	PLANTER	
4.4	L3.X	CHAISE LOUNGE CHAIRS	
4.5	L3.2	HAMMOCK	
4.6	L3.X	BENCHES	
5.0 LIGHTING			
5.1	L3.X	IN-GROUND LIGHT	
5.2	L3.X	STEP/WALL LIGHT	
5.3	L3.X	ACCENT LIGHT	
5.4	L3.X	RAIL LIGHT	
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	
6.2	L3.1	RESORT ARRIVAL WALL	
7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1			
8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 SITE WALLS
- 3 DRY STORMWATER COLLECTION AREA
- 4 EXISTING TREES TO REMAIN
- 5 EXISTING PALM TREES TO REMAIN
- 6 SEE LANDSCAPE PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

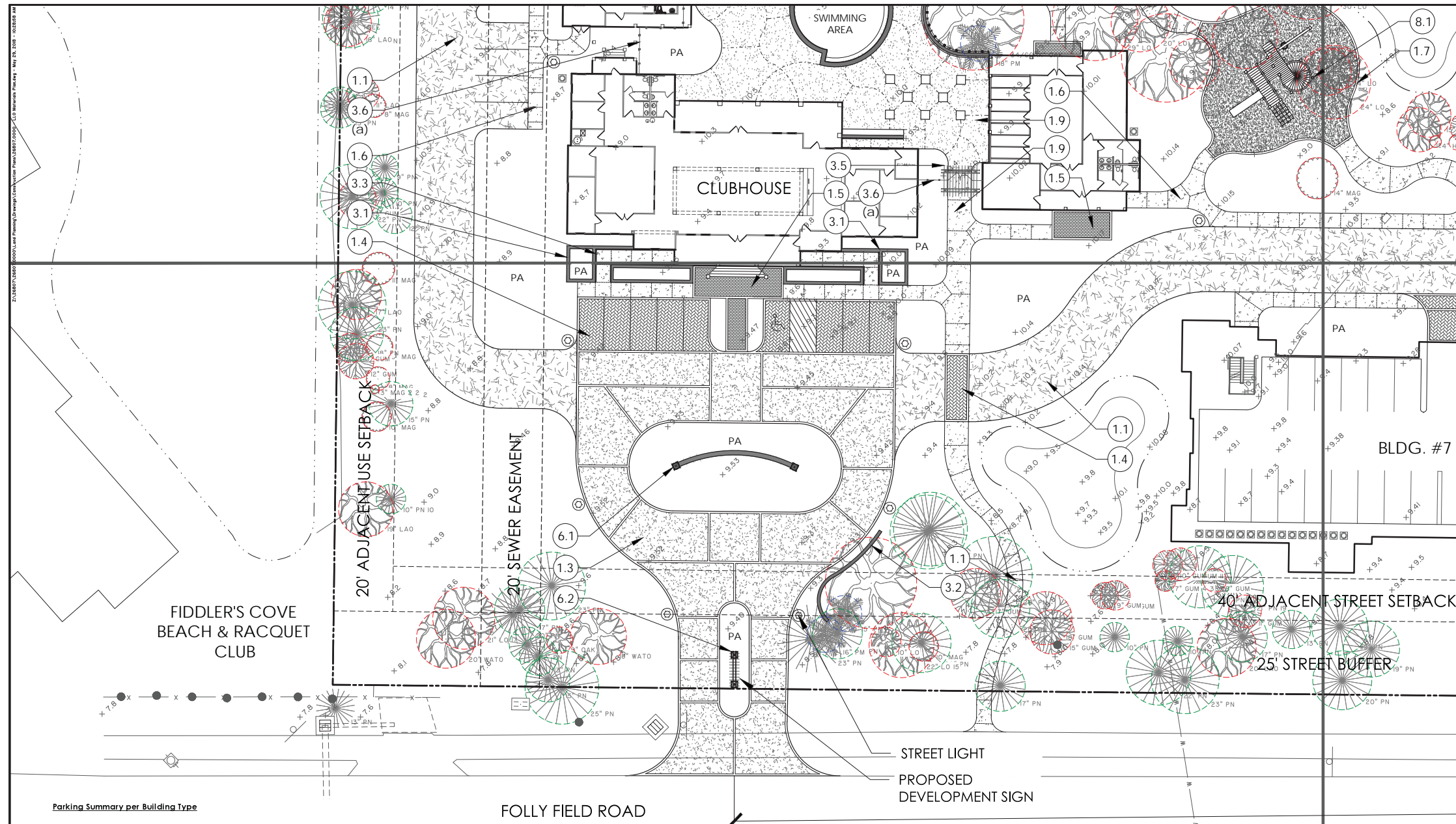
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 60'

L1.0



SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	
1.2	---	ASPHALT - SEE CIVIL	
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	
1.4	L3.0	PERVIOUS BRICK PAVERS w/ SOLDIER COURSE BANDING	
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1.9	L3.0	LIGHT SALT VOID CONC.	
2.0	---	GRASS PAVE - FIRE LANE SEE CIVIL	
2.0 STEPS, RAMPS, & CURBS			
2.1	---	CONCRETE WHEEL STOPS	
2.2	---	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	
2.3	---	CONCRETE RAMP - SEE CIVIL	
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
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3.3	L3.1	HANDRAIL	
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4.2	L3.X	CHAIR	
4.3	L3.X	PLANTER	
4.4	L3.X	CHAISE LOUNGE CHAIRS	
4.5	L3.2	HAMMOCK	
4.6	L3.X	BENCHES	
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5.1	L3.X	IN-GROUND LIGHT	
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5.4	L3.X	RAIL LIGHT	
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	
6.2	L3.1	RESORT ARRIVAL WALL	
7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1			
8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	

Parking Summary per Building Type

13 Unit Building (Bldgs #1 and 3)			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(4) A1 Units	0.5	4	2
(4) B1 Units	1.25	4	5
(3) B2 Units	1.25	3	3.75
(2) C1 Units	2	2	4
Parking Required		14.75 Units * 2 Bldgs	29.5
Parking Provided		15 spaces * 2 Bldgs	30

16 Unit Building (Bldgs #2 and 6)			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(4) A1 Units	0.5	4	2
(4) B1 Units	1.25	4	5
(6) B2 Units	1.25	6	7.5
(2) C1 Units	2	2	4
Parking Required		18.5 spaces * 2 Bldgs	37
Parking Provided		19 spaces * 2 Bldgs	38

30 Unit Building (Bldgs #4, 5 and 7)			
Dwelling Units	Parking per DU	Total DUs per Bldg Type	Parking Required
(14) A1 Units	0.5	14	7
(6) B1 Units	1.25	6	7.5
(8) B2 Units	1.25	8	10
(2) C1 Units	2	2	4
Parking Required		28.5 spaces * 2 Bldgs	57
Parking Provided		30 spaces * 2 Bldgs	60

15 Wimbledon Court Unit Mix

Unit	Unit Type	# Units	Heated Area	Total Heated
A1	1 Bed/ 1 Bath Lockout	58	815 Net SF	47,270
B1	2 Bed/ 2 Bath (exterior wall)	34	1,208 Net SF	41,072
B2	2 Bed/ 2 Bath (non-exterior wall)	42	1,219 Net SF	51,198
C1	3 Bed/ 3 Bath Residential	14	1,916 Net SF	26,824
Total		148		166,364

EXISTING TREE LEGEND



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CONSTRUCTION**

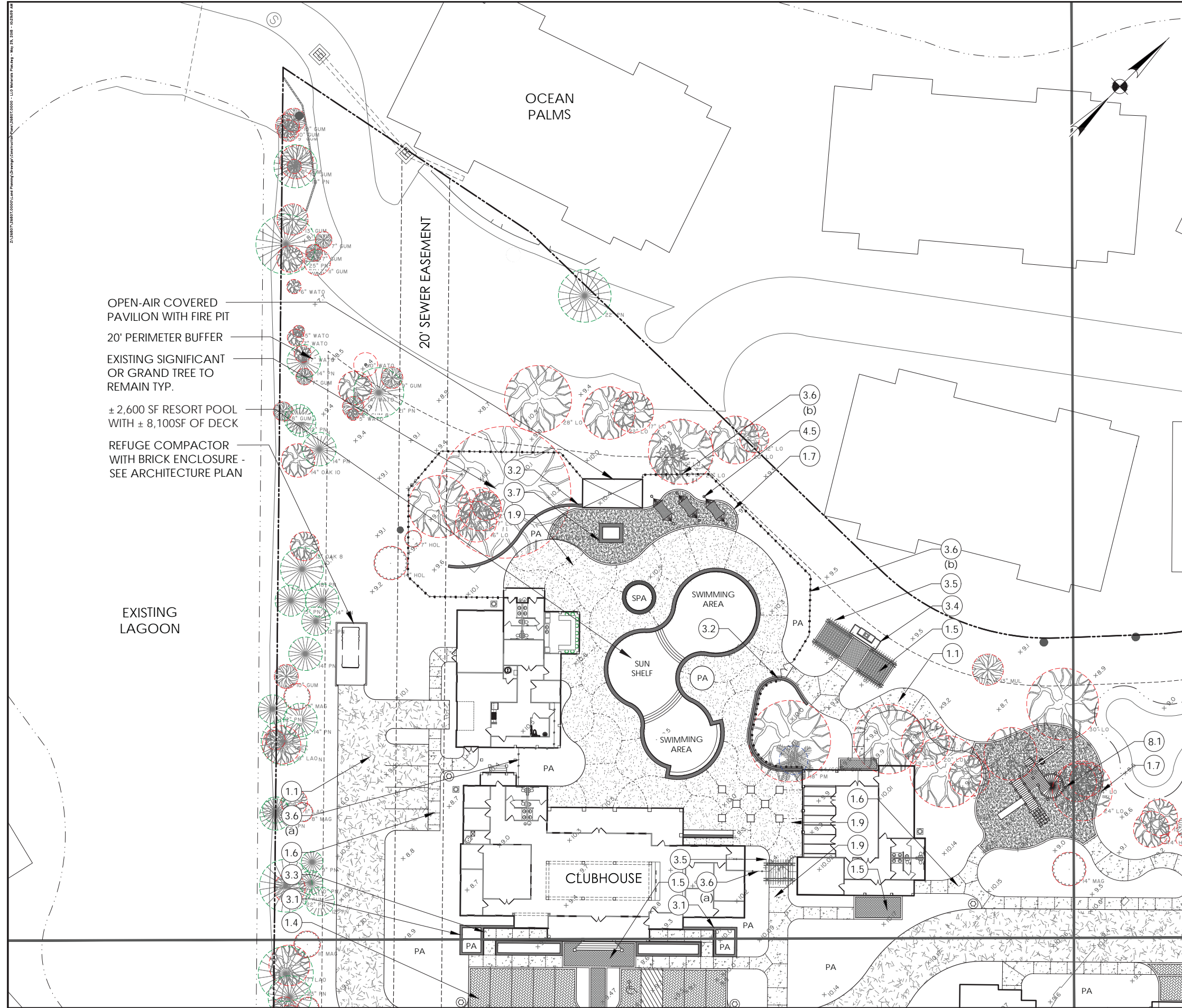
NO.	REVISIONS	BY	DATE

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 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.1



OPEN-AIR COVERED PAVILION WITH FIRE PIT
 20' PERIMETER BUFFER
 EXISTING SIGNIFICANT OR GRAND TREE TO REMAIN TYP.
 ± 2,600 SF RESORT POOL WITH ± 8,100SF OF DECK
 REFUGE COMPACTOR WITH BRICK ENCLOSURE - SEE ARCHITECTURE PLAN

EXISTING LAGOON

OCEAN PALMS

20' SEWER EASEMENT

CLUBHOUSE

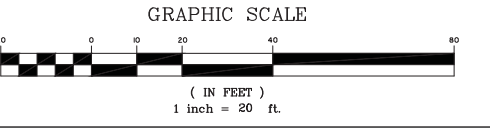
SPA
 SWIMMING AREA
 SUN SHELF
 PA
 SWIMMING AREA

SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	[Symbol]
1.2	---	ASPHALT - SEE CIVIL	[Symbol]
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	[Symbol]
1.4	L3.0	PERVIOUS BRICK PAVERS w/ SOLDIER COURSE BANDING	[Symbol]
1.5	L3.0	PEDESTRIAN PAVERS	[Symbol]
1.6	L3.0	SANDBLASTED CONC.	[Symbol]
1.7	L3.0	GRANITE FINES WITH BRICK SOLDIER COURSE	[Symbol]
1.8	L3.0	GRANITE FINES WITH METAL EDGING	[Symbol]
1.9	L3.0	LIGHT SALT VOID CONC.	[Symbol]
2.0	---	GRASS PAVE - FIRE LANE SEE CIVIL	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	---	CONCRETE WHEEL STOPS	[Symbol]
2.2	---	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	---	CONCRETE RAMP - SEE CIVIL	[Symbol]
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.1	ENTRY PLAZA WALL	[Symbol]
3.2	L3.1	TIMBER WALL (VARYING HT.)	[Symbol]
3.3	L3.1	HANDRAIL	[Symbol]
3.4	L3.1	TABBY PIZZA OVEN	[Symbol]
3.5	L3.2	WOODEN TRELLIS	[Symbol]
3.6 a	L3.1	POOL FENCE (A)	[Symbol]
3.6 b	L3.1	POOL FENCE (B)	[Symbol]
3.7	L3.1	FIRE PIT	[Symbol]
3.8	L3.1	FREE-STANDING PEDESTAL GRILL	[Symbol]
4.0 SITE FURNISHINGS			
4.1	L3.X	TABLE	[Symbol]
4.2	L3.X	CHAIR	[Symbol]
4.3	L3.X	PLANTER	[Symbol]
4.4	L3.X	CHAISE LOUNGE CHAIRS	[Symbol]
4.5	L3.2	HAMMOCK	[Symbol]
4.6	L3.X	BENCHES	[Symbol]
5.0 LIGHTING			
5.1	L3.X	IN-GROUND LIGHT	[Symbol]
5.2	L3.X	STEP/WALL LIGHT	[Symbol]
5.3	L3.X	ACCENT LIGHT	[Symbol]
5.4	L3.X	RAIL LIGHT	[Symbol]
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	[Symbol]
6.2	L3.1	RESORT ARRIVAL WALL	[Symbol]
7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1			
8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	[Symbol]

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
- 2 SITE WALLS
- 3 DRY STORMWATER COLLECTION AREA
- 4 EXISTING TREES TO REMAIN
- 5 EXISTING PALM TREES TO REMAIN
- 6 SEE LANDSCAPE PLAN



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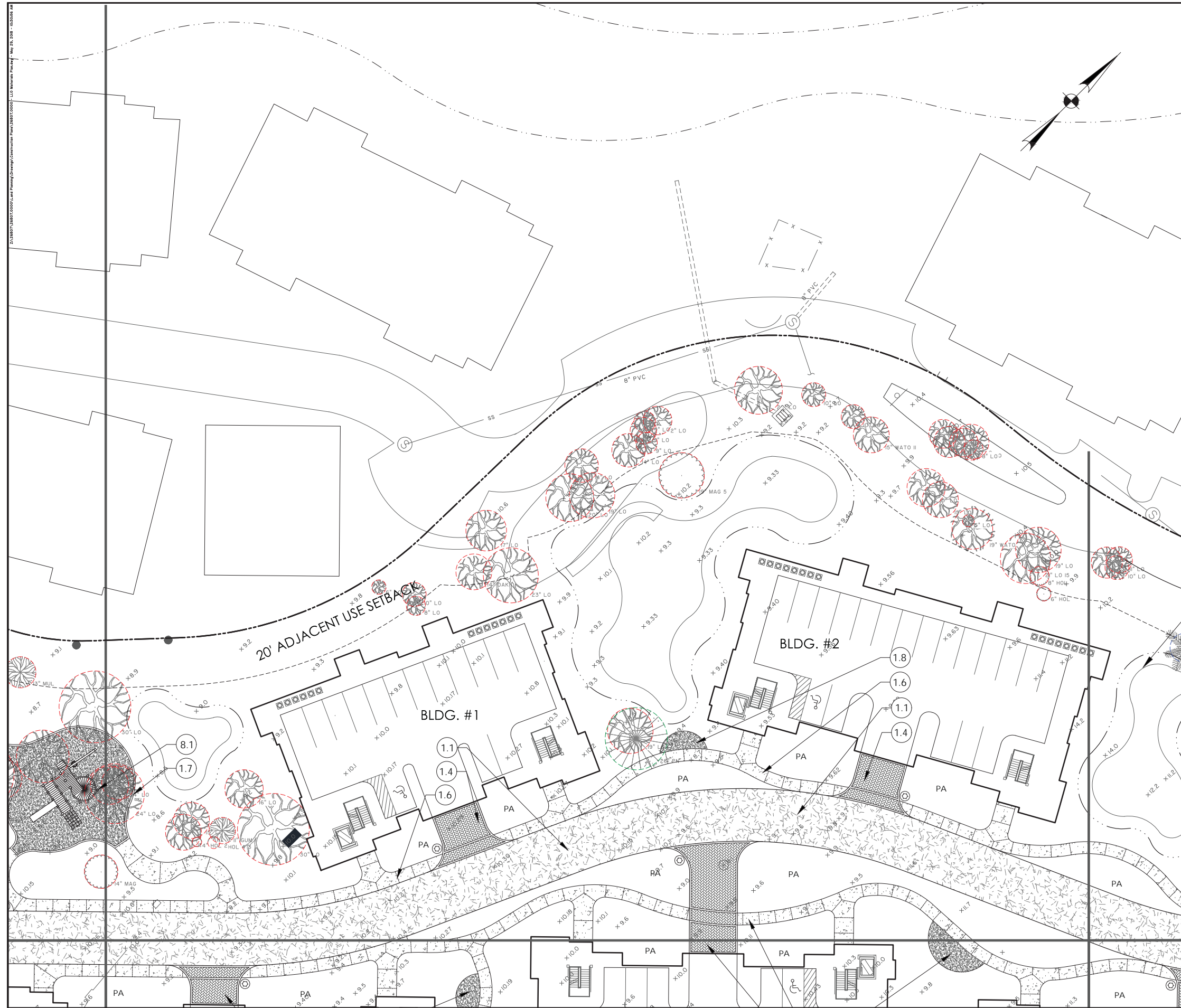
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H H ISLAND ACQUISITION PARTNERS, LLC
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 FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.2



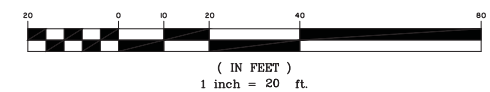
SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	[Symbol]
1.2	---	ASPHALT - SEE CIVIL	[Symbol]
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	[Symbol]
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1.5	L3.0	PEDESTRIAN PAVERS	[Symbol]
1.6	L3.0	SANDBLASTED CONC.	[Symbol]
1.7	L3.0	GRANITE FINES WITH BRICK SOLDIER COURSE	[Symbol]
1.8	L3.0	GRANITE FINES WITH METAL EDGING	[Symbol]
1.9	L3.0	LIGHT SALT VOID CONC.	[Symbol]
2.0	---	GRASS PAVE - FIRE LANE SEE CIVIL	[Symbol]
2.0 STEPS, RAMPS, & CURBS			
2.1	---	CONCRETE WHEEL STOPS	[Symbol]
2.2	---	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	---	CONCRETE RAMP - SEE CIVIL	[Symbol]
3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.1	ENTRY PLAZA WALL	[Symbol]
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3.5	L3.2	WOODEN TRELLIS	[Symbol]
3.6 a	L3.1	POOL FENCE (A)	[Symbol]
3.6 b	L3.1	POOL FENCE (B)	[Symbol]
3.7	L3.1	FIRE PIT	[Symbol]
3.8	L3.1	FREE-STANDING PEDESTAL GRILL	[Symbol]
4.0 SITE FURNISHINGS			
4.1	L3.X	TABLE	[Symbol]
4.2	L3.X	CHAIR	[Symbol]
4.3	L3.X	PLANTER	[Symbol]
4.4	L3.X	CHAISE LOUNGE CHAIRS	[Symbol]
4.5	L3.2	HAMMOCK	[Symbol]
4.6	L3.X	BENCHES	[Symbol]
5.0 LIGHTING			
5.1	L3.X	IN-GROUND LIGHT	[Symbol]
5.2	L3.X	STEP/WALL LIGHT	[Symbol]
5.3	L3.X	ACCENT LIGHT	[Symbol]
5.4	L3.X	RAIL LIGHT	[Symbol]
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	[Symbol]
6.2	L3.1	RESORT ARRIVAL WALL	[Symbol]
7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1			
8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	[Symbol]

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
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- 5 EXISTING PALM TREES TO REMAIN
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GRAPHIC SCALE



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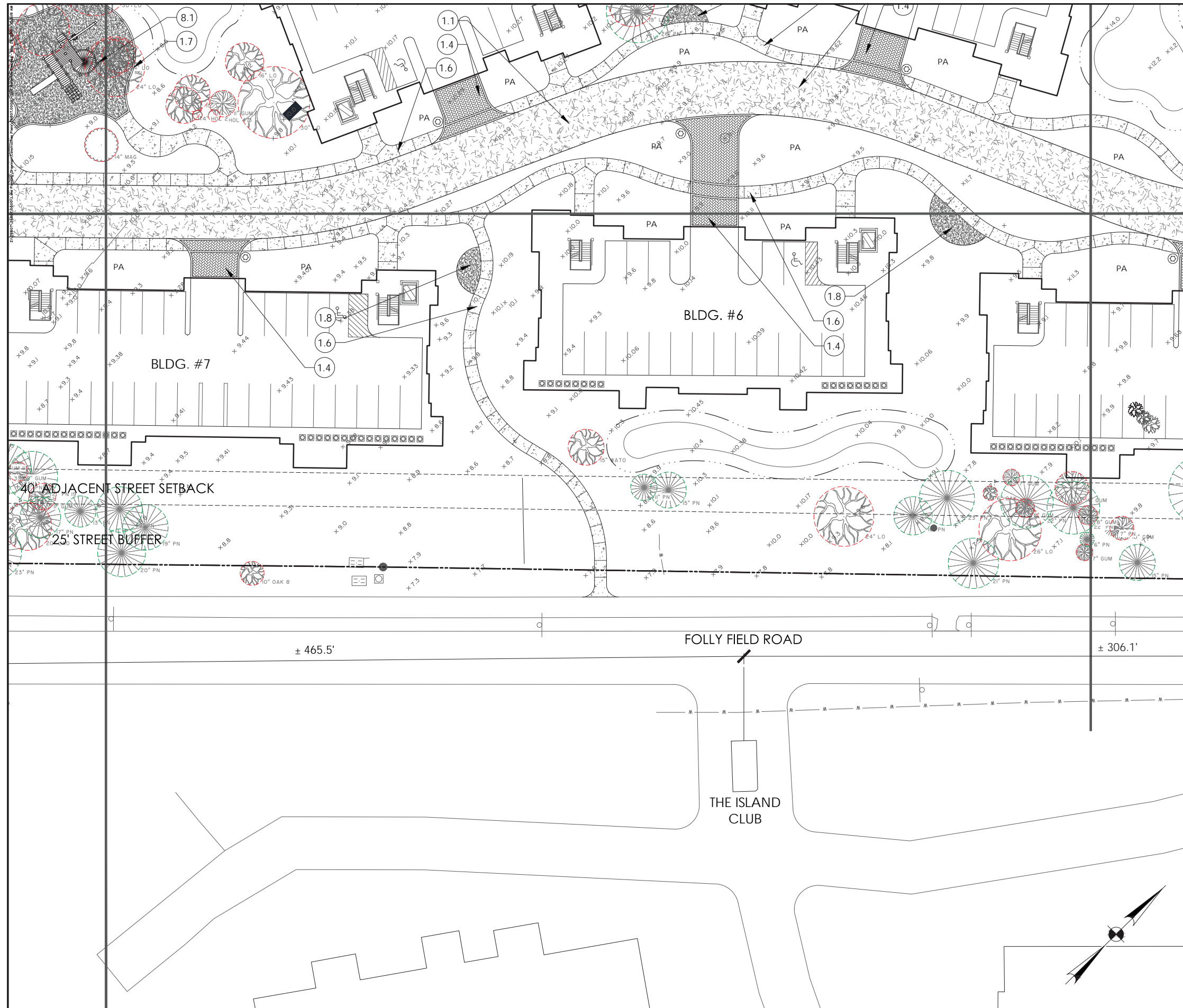
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H H ISLAND ACQUISITION PARTNERS, LLC
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 FIFTEEN WIMBLETON
MATERIALS PLAN

JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.3



SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	[Symbol]
1.2	---	ASPHALT - SEE CIVIL	[Symbol]
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	[Symbol]
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1.6	L3.0	SANDBLASTED CONC.	[Symbol]
1.7	L3.0	GRANITE FINES WITH BRICK SOLDIER COURSE	[Symbol]
1.8	L3.0	GRANITE FINES WITH METAL EDGING	[Symbol]
1.9	L3.0	LIGHT SALT VOID CONC.	[Symbol]
2.0	---	GRASS PAVE - FIRE LANE SEE CIVIL	[Symbol]

2.0 STEPS, RAMPS, & CURBS			
2.1	---	CONCRETE WHEEL STOPS	[Symbol]
2.2	---	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	---	CONCRETE RAMP - SEE CIVIL	[Symbol]

3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.1	ENTRY PLAZA WALL	[Symbol]
3.2	L3.1	TIMBER WALL (VARYING HT.)	[Symbol]
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3.4	L3.1	TABBY PIZZA OVEN	[Symbol]
3.5	L3.2	WOODEN TRELLIS	[Symbol]
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3.6 b	L3.1	POOL FENCE (B)	[Symbol]
3.7	L3.1	FIRE PIT	[Symbol]
3.8	L3.1	FREE-STANDING PEDESTAL GRILL	[Symbol]

4.0 SITE FURNISHINGS			
4.1	L3.X	TABLE	[Symbol]
4.2	L3.X	CHAIR	[Symbol]
4.3	L3.X	PLANTER	[Symbol]
4.4	L3.X	CHAISE LOUNGE CHAIRS	[Symbol]
4.5	L3.2	HAMMOCK	[Symbol]
4.6	L3.X	BENCHES	[Symbol]

5.0 LIGHTING			
5.1	L3.X	IN-GROUND LIGHT	[Symbol]
5.2	L3.X	STEP/WALL LIGHT	[Symbol]
5.3	L3.X	ACCENT LIGHT	[Symbol]
5.4	L3.X	RAIL LIGHT	[Symbol]

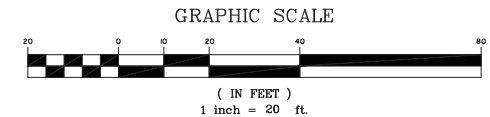
6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	[Symbol]
6.2	L3.1	RESORT ARRIVAL WALL	[Symbol]

7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1

8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	[Symbol]

HARDSCAPE KEYNOTES

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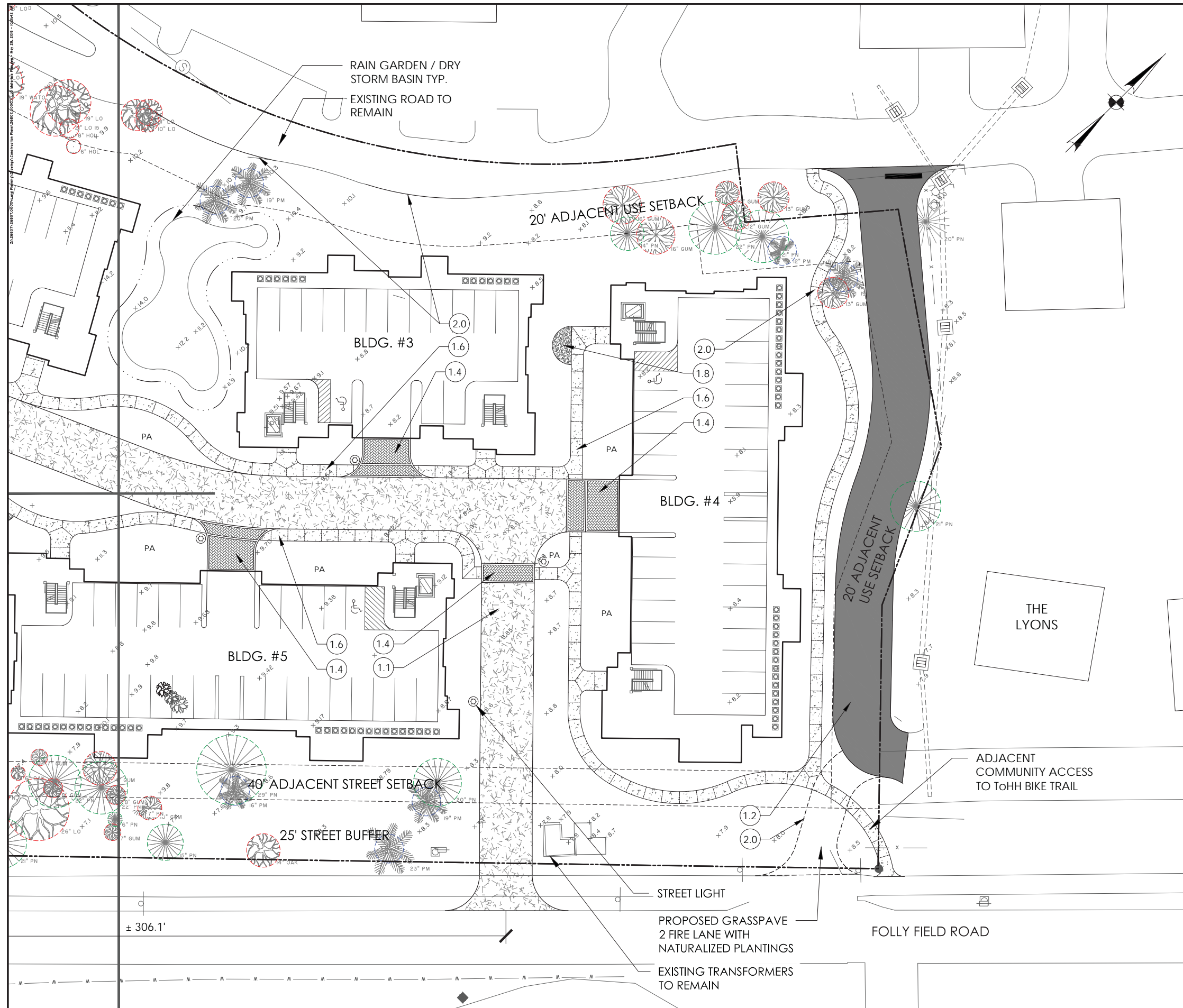
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H H ISLAND ACQUISITION PARTNERS, LLC
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FIFTEEN WIMBLETON MATERIALS PLAN

JOB NO:	J-26807.0000
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DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	1" = 20'

L1.4



SITE DETAIL KEYNOTES

#	Sheet #	Detail	Symbol
1.0 PAVING			
1.1	L3.0	TABBY ASPHALT DRIVE WITH EXPOSED AGGREGATE	[Symbol]
1.2	---	ASPHALT - SEE CIVIL	[Symbol]
1.3	L3.0	ENTRY PLAZA - TABBY CONC. W/ BRICK SOLDIER COURSE	[Symbol]
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1.7	L3.0	GRANITE FINES WITH BRICK SOLDIER COURSE	[Symbol]
1.8	L3.0	GRANITE FINES WITH METAL EDGING	[Symbol]
1.9	L3.0	LIGHT SALT VOID CONC.	[Symbol]
2.0	---	GRASS PAVE - FIRE LANE SEE CIVIL	[Symbol]

2.0 STEPS, RAMPS, & CURBS			
2.1	---	CONCRETE WHEEL STOPS	[Symbol]
2.2	---	FLUSH CONCRETE CURB W/ SAND-BLASTED FINISH	[Symbol]
2.3	---	CONCRETE RAMP - SEE CIVIL	[Symbol]

3.0 WALLS, MASONRY, & VERTICAL ELEMENTS			
3.1	L3.1	ENTRY PLAZA WALL	[Symbol]
3.2	L3.1	TIMBER WALL (VARYING HT.)	[Symbol]
3.3	L3.1	HANDRAIL	[Symbol]
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3.6 a	L3.1	POOL FENCE (A)	[Symbol]
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3.8	L3.1	FREE-STANDING PEDESTAL GRILL	[Symbol]

4.0 SITE FURNISHINGS			
4.1	L3.X	TABLE	[Symbol]
4.2	L3.X	CHAIR	[Symbol]
4.3	L3.X	PLANTER	[Symbol]
4.4	L3.X	CHAISE LOUNGE CHAIRS	[Symbol]
4.5	L3.2	HAMMOCK	[Symbol]
4.6	L3.X	BENCHES	[Symbol]

5.0 LIGHTING			
5.1	L3.X	IN-GROUND LIGHT	[Symbol]
5.2	L3.X	STEP/WALL LIGHT	[Symbol]
5.3	L3.X	ACCENT LIGHT	[Symbol]
5.4	L3.X	RAIL LIGHT	[Symbol]

6.0 SIGNAGE			
6.1	L3.2	PROJECT ID SIGN	[Symbol]
6.2	L3.1	RESORT ARRIVAL WALL	[Symbol]

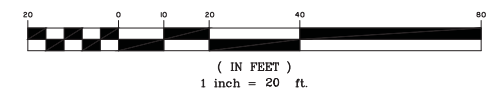
7.0 PLANTING - SEE PLANTING DETAILS SHEET L2.1

8.0 MISCELLANEOUS			
8.1	L3.X	TOT LOT	[Symbol]

HARDSCAPE KEYNOTES

- 1 SEE CIVIL PLANS FOR LIMITS OF DISTURBANCE
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GRAPHIC SCALE



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FIFTEEN WIMBLETON MATERIALS PLAN

JOB NO:	J-26807.0000
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DRAWN:	JLG / JAS
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L1.5



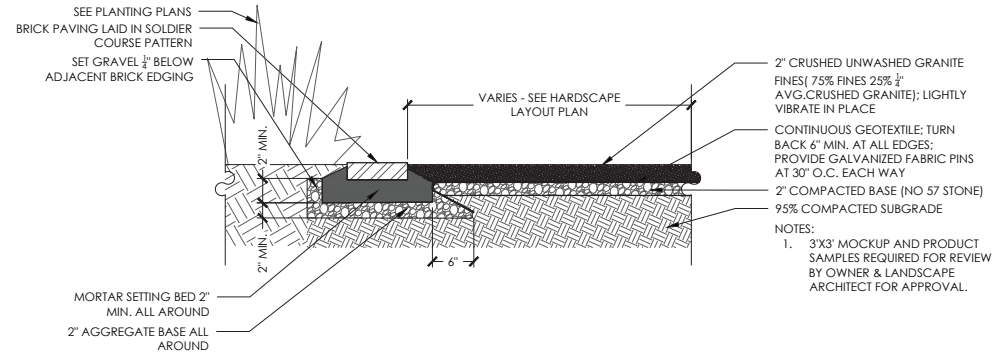
1.1 TABBY ASPHALT DRIVE
L3.0 Scale: NTS



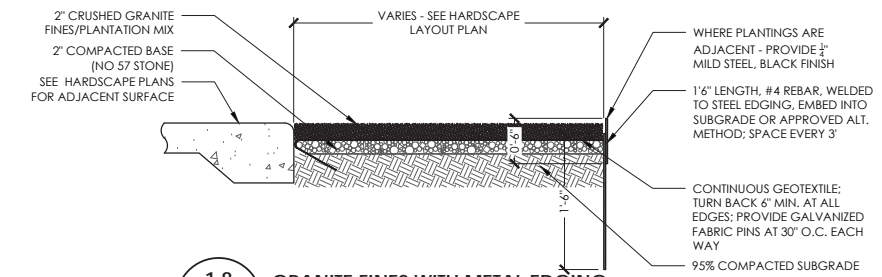
1.3 ENTRY PLAZA TABBY CONC.
L3.0 Scale: 1" = 1'-0"



1.4 PREVIOUS PAVERS
L3.0 Scale: 1" = 1'-0"



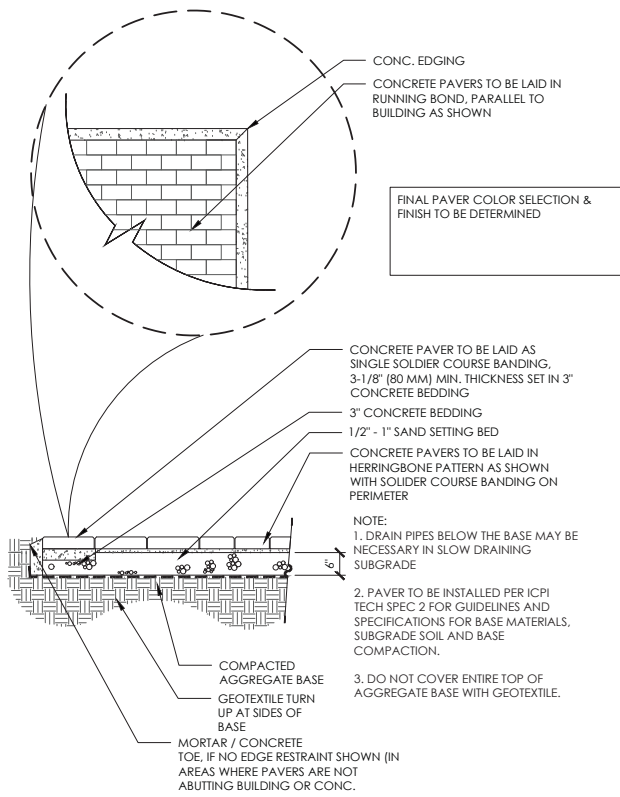
1.7 GRANITE FINES WITH BRICK SOLDER COURSE
L3.0 Scale: 1" = 1'-0"



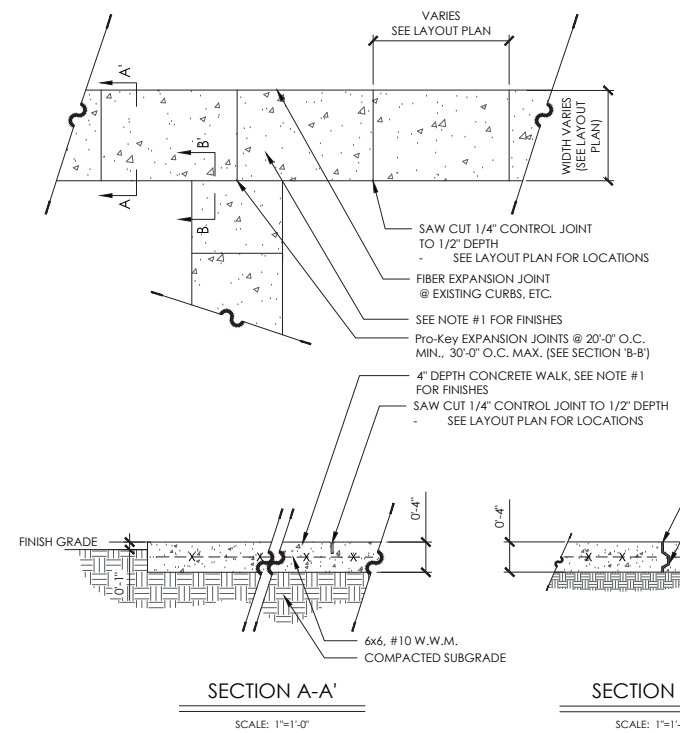
1.8 GRANITE FINES WITH METAL EDGING
L3.0 Scale: 1" = 1'-0"



1.9 SALT VOID CONC.
L3.0 Scale: 1" = 1'-0"

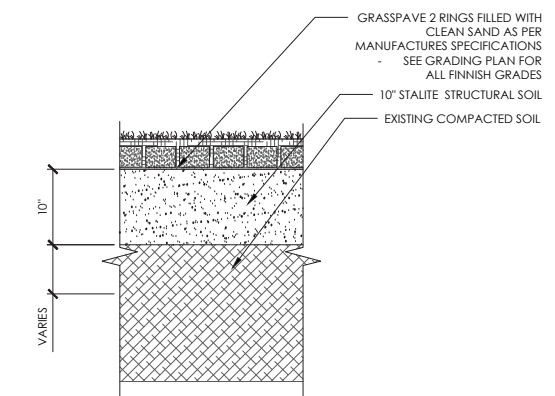


1.5 PEDERSTIAN PAVERS
L3.0 Scale: 1" = 1'-0"



1.6 SAND BLASTED CONC.
L3.0 Scale: 1" = 1'-0"

- NOTES:**
1. CONCRETE FINISHES RANGE, REFER TO SITE DETAIL LEGEND & MATERIALS PLANS FOR CONCRETE FINISHES.
 2. PLAN VIEW IS NOT TO SCALE.
 3. ALL EXPANSION JOINTS SHALL BE PRO-KEY BY BoMetals, Inc.



2.0 GRASS PAVE FIRE LANE
L3.0 Scale: 1" = 1'-0"

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H H ISLAND ACQUISITION PARTNERS, LLC
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FIFTEEN WIMBLETON
MATERIAL DETAILS

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

L3.0

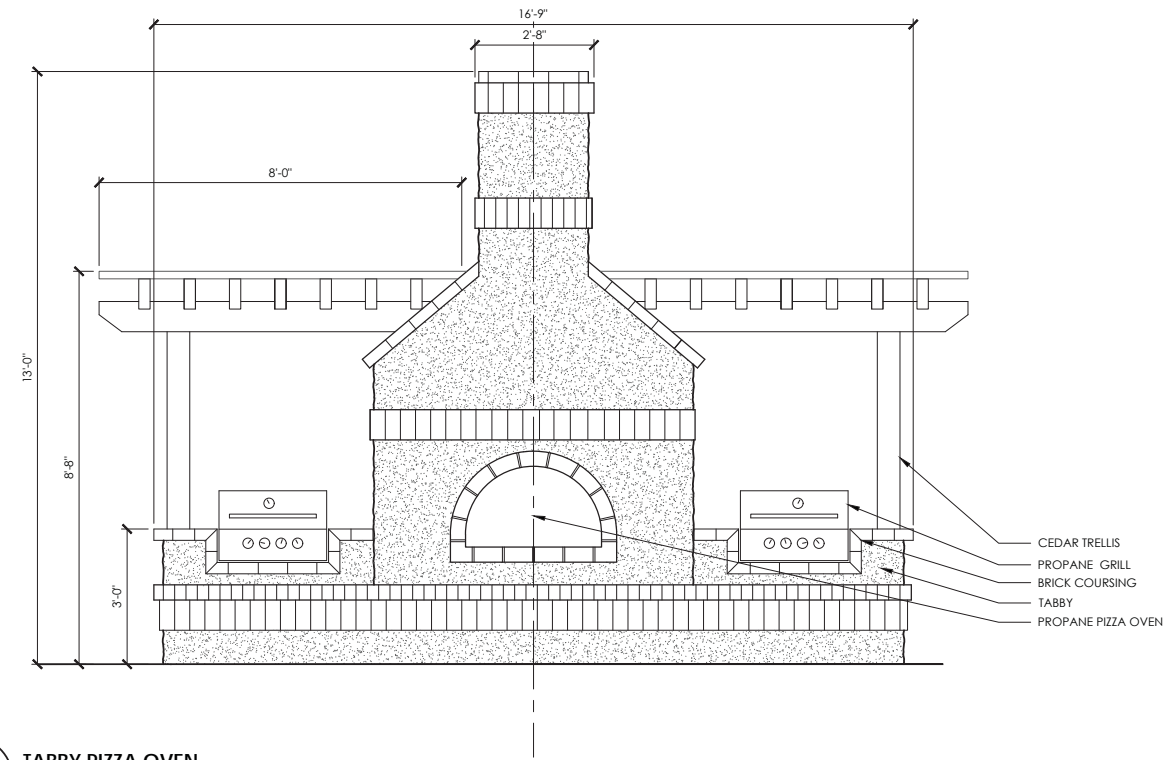
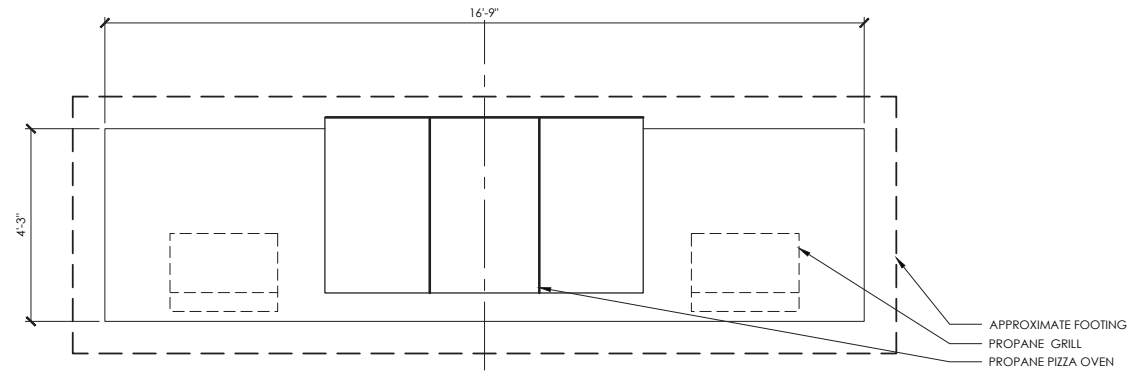


3.1 ENTRY PLAZA WALLS
L3.1 Scale: 1/2" = 1'-0"



3.2 TIMBER WALL
L3.1 Scale: 1/2" = 1'-0"

3.3 HANDRAIL
L3.1 Scale: 1/2" = 1'-0"



3.4 TABBY PIZZA OVEN
L3.1 Scale: 1/2" = 1'-0"



3.6a POOL FENCE TYPE A
L3.1 Scale: NTS



3.6b POOL FENCE TYPE B
L3.1 Scale: NTS



3.7 FIRE PIT
L3.1 Scale: NTS

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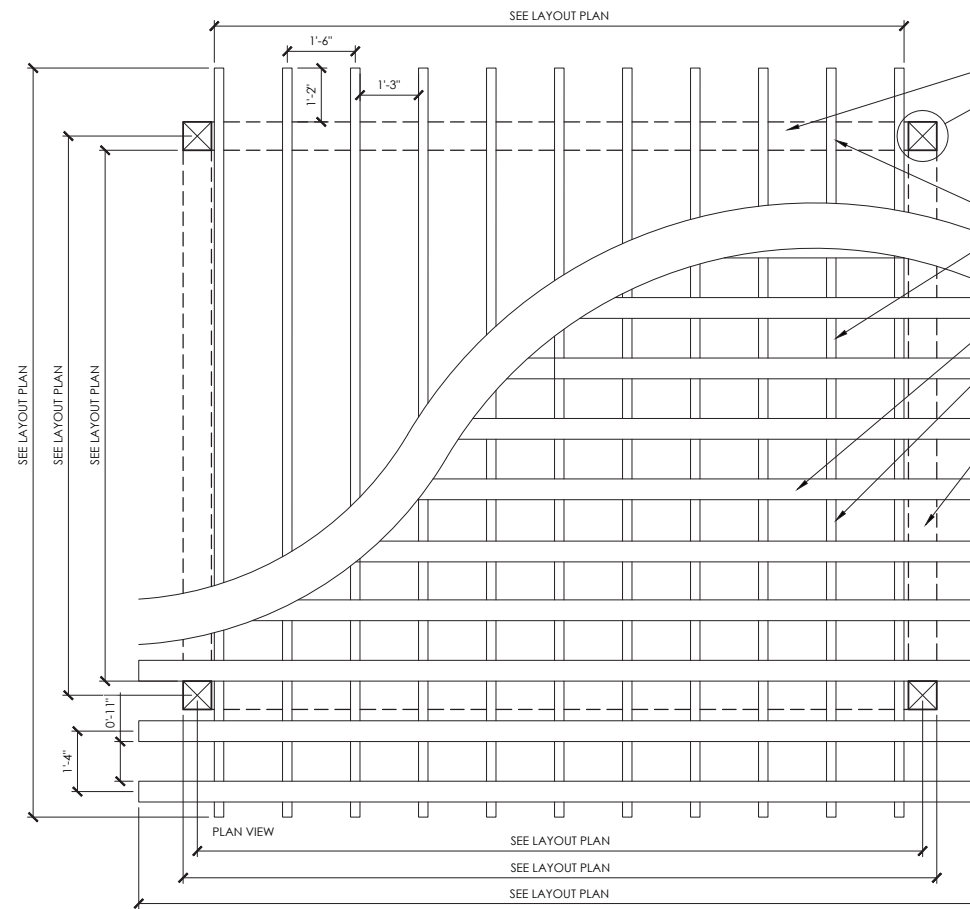
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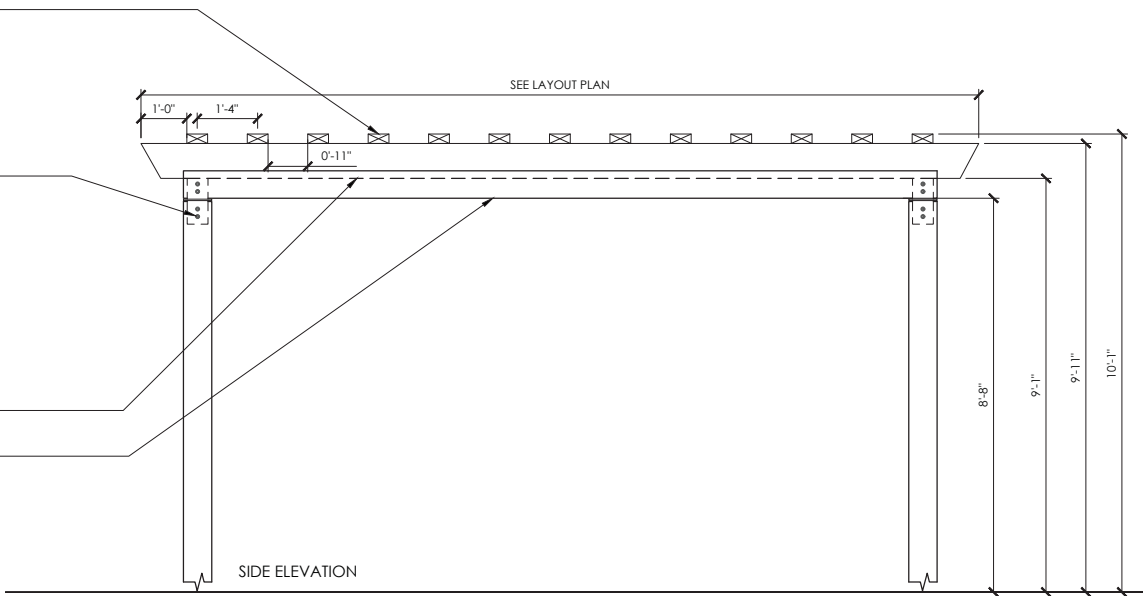
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L3.1

01.26807.00007.00000.00000 Planning & Design/Construction/Architectural/01.26807.00000 - L3.2 WOOD TRELLIS May 12, 2018 10:20:00 AM

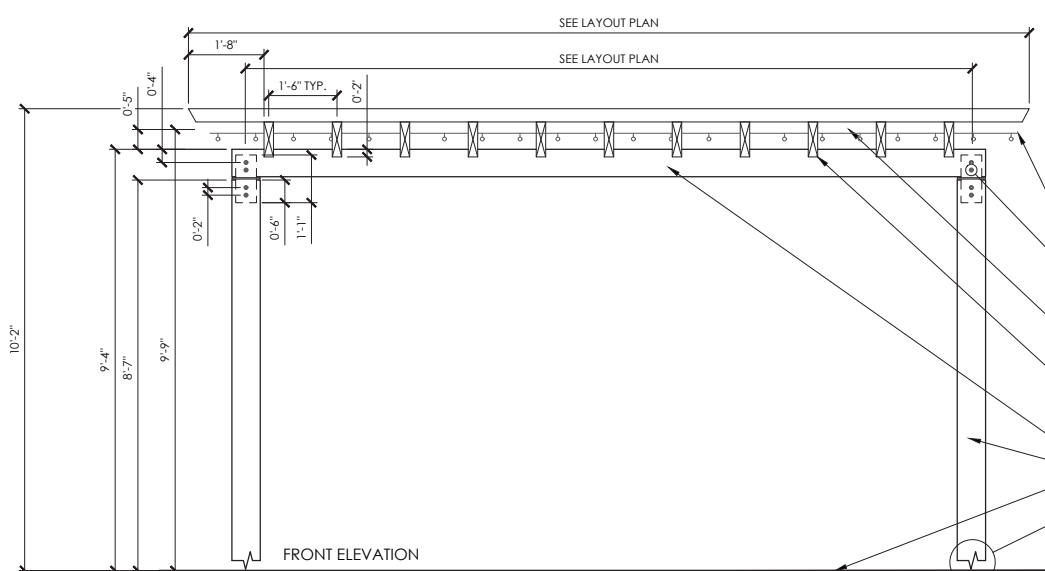


- ARBOR SLAT TO BE FASTENED TO EACH 3'x6' JOIST WITH 6" GALV. LAG SCREW
- 8'x8" CEDAR BEAM
- 8'x8" CEDAR POST WITH KNIFE PLATE CONNECTION TYP. FINAL CONNECTION TO ROOFTOP TO BE COORDINATED WITH ARCH. & STRUCTURAL ENG.
- 8'x8" CEDAR POST WITH KNIFE PLATE CONNECTION TYP.
- 3'x10" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2") (TOE NAILED TO BEAM WITH 16D RING SHANKED NAILS)
- ARBOR SLAT TO BE FASTENED TO EACH 3'x6' JOIST WITH 6" GALV. LAG SCREW
- 3'x10" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2") (TOE NAILED TO BEAM WITH 16D RING SHANKED NAILS)
- 8'x8" CEDAR BEAM
- 3'x10" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2")
- 8'x8" CEDAR BEAM



WOOD TRELLIS GENERAL NOTES:

1. ALL TIMBER SHALL BE WESTERN RED CEDAR (WRCLA WESTERN RED CEDAR) WITH NO.1 CEDAR & BETTER OR BETTER IN ACCORDANCE WITH WESTERN RED CEDAR LUMBER ASSOCIATION GRADING RULES.
2. ALL BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123-GRADE B5.
3. ALL DETAILS THAT REFER TO WOODEN MEMBERS TO BE SEALANT FOR THE CEDAR SHALL BE PENOFIN TMF HARDWOOD TRANSPARENT STAIN IN A NATURAL - MATTE FINISH. THE CONTRACTOR SHALL APPLY A MINIMUM OF 2 COATS AS PER MANUFACTURES RECOMMENDATIONS FOR UNIFORM COVERAGE.



- STRING LIGHTS TO BE CONCEALED IN TRELLIS JOISTS
- 1/2" HOT DIPPED GALVANIZED METAL THRU BOLT AND WASHERS WITH 3/4" KNIFE PLATE. ALL BOLTS TO BE COUNTER SUNK AND FILLED
- ARBOR SLAT TO BE FASTENED TO EACH 3'x6' JOIST WITH 6" GALV. LAG SCREW
- 3'x10" @ 18" O.C. JOIST BEAM NOTCHED TO RECEIVE JOISTS (NOTCH NOT EXCEED 2") (TOE NAILED TO BEAM WITH 16D RING SHANKED NAILS)
- 8'x8" CEDAR BEAM
- 8'x8" CEDAR POST
- SEE MATERIAL PLANS FOR PROPOSED SURFACE TREATMENT
- FINAL CONNECTION TO BE COORDINATED



3.5 WOODEN TRELLIS
L3.2 Scale: 1/2" = 1'-0"



4.5 HAMMOCK
L3.2 Scale: 1/2" = 1'-0"

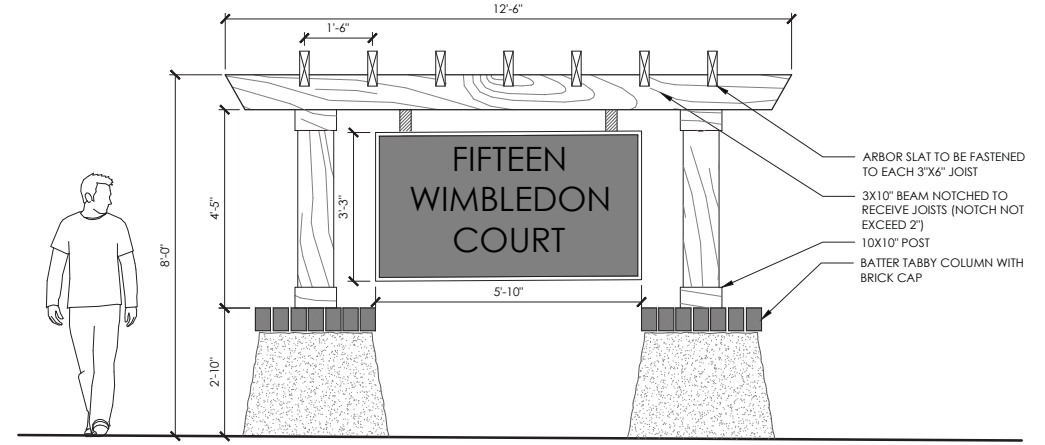


FIGURE ABOVE IS FOR GRAPHIC SCALE ONLY

6.1 ENTRY SIGNAGE
L3.2 Scale: 1/2" = 1'-0"

**PRELIMINARY
NOT FOR
CONSTRUCTION**

NO.	REVISIONS	BY	DATE

THOMAS HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLEDON
MATERIAL DETAILS

JOB NO:	J-26807.0000
DATE:	5/29/18
DRAWN:	JLG / JAS
DESIGNED:	JLG / JAS
REVIEWED:	RPT
APPROVED:	JLG
SCALE:	AS SHOWN

L3.2



MATCH LINE - SEE SHEET NO. L4.3

MATCH LINE - SEE SHEET NO. L4.1

MATCH LINE - SEE SHEET NO. L4.5

- Preliminary -
Not For Construction

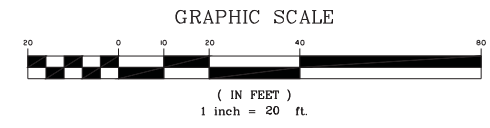
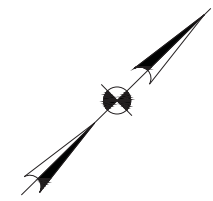
NO.	REVISIONS	BY	DATE

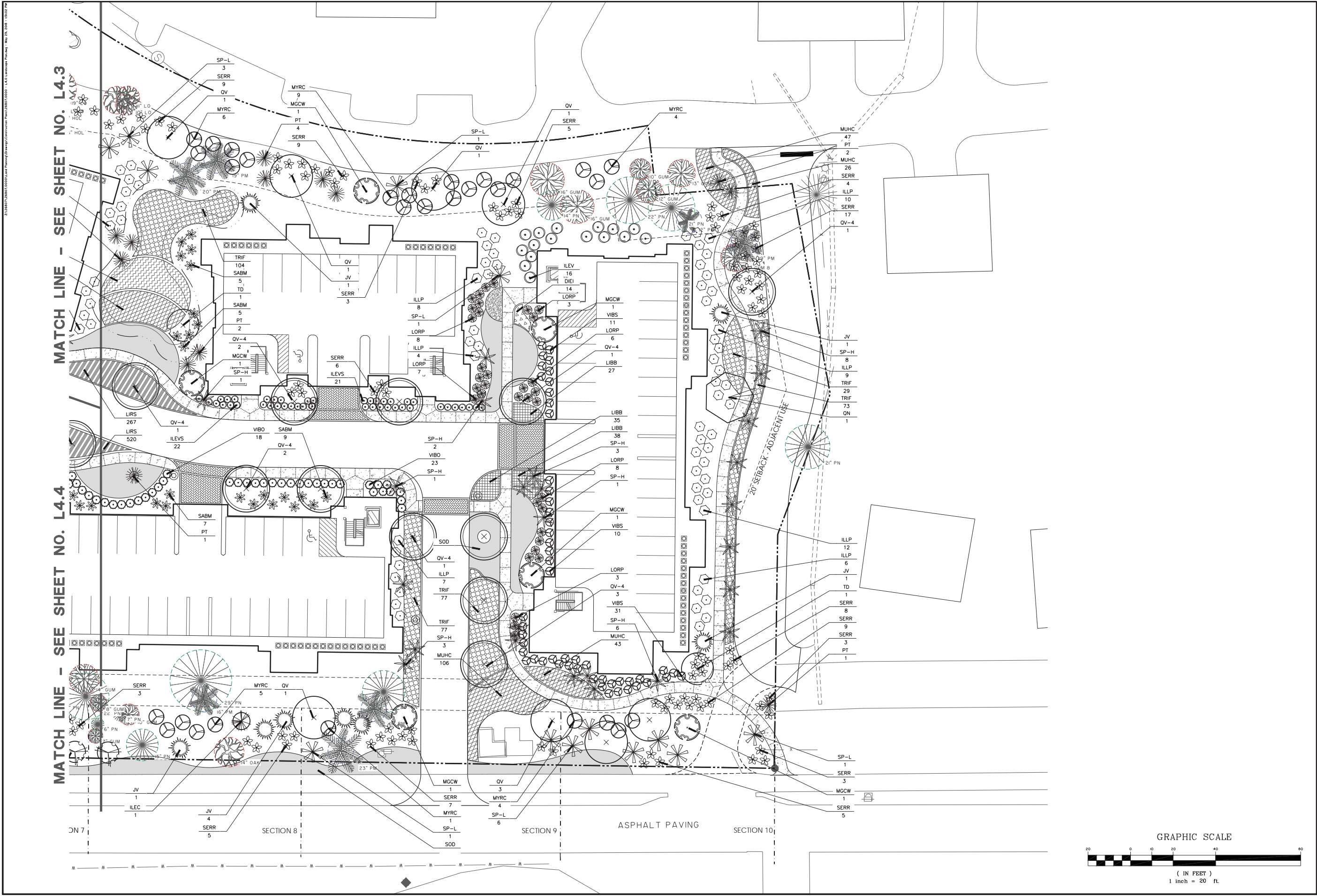
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 www.thomasandhutton.com

H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
 FIFTEEN WIMBLETON
PLANTING PLAN

JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	CCG
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 20'

L4.4





MATCH LINE - SEE SHEET NO. L4.3

MATCH LINE - SEE SHEET NO. L4.4

- Preliminary -
Not For Construction

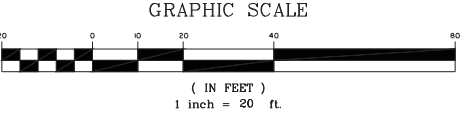
NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
 HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
PLANTING PLAN

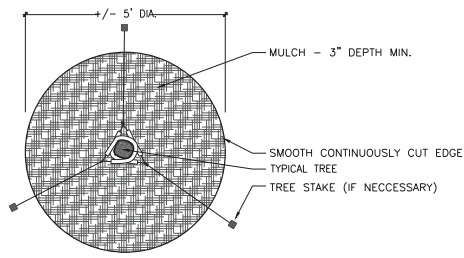
JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	CSC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	1" = 20'

L4.5



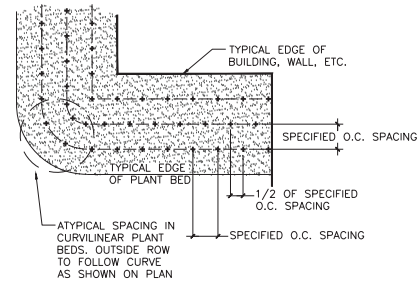


Know what's below.
Call before you dig.



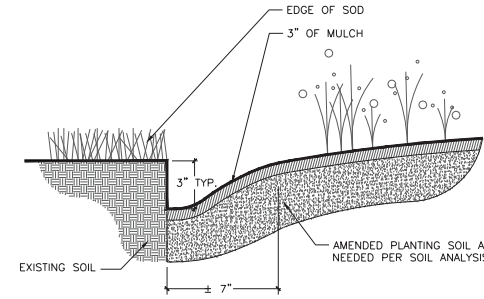
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) APPLY MULCH IN A +/- 5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREA.

TREE RING
NOT TO SCALE



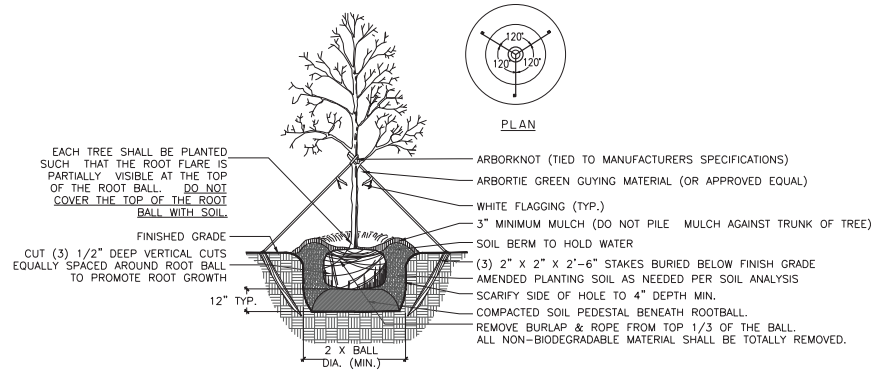
- NOTES:
- 1) EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER PLANTING TO A DEPTH OF 12".

PLANT SPACING DETAIL
NOT TO SCALE



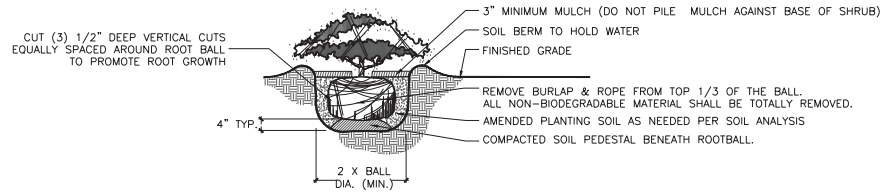
- NOTES:
- 1) TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

SOD TO PLANT BED EDGE
NOT TO SCALE



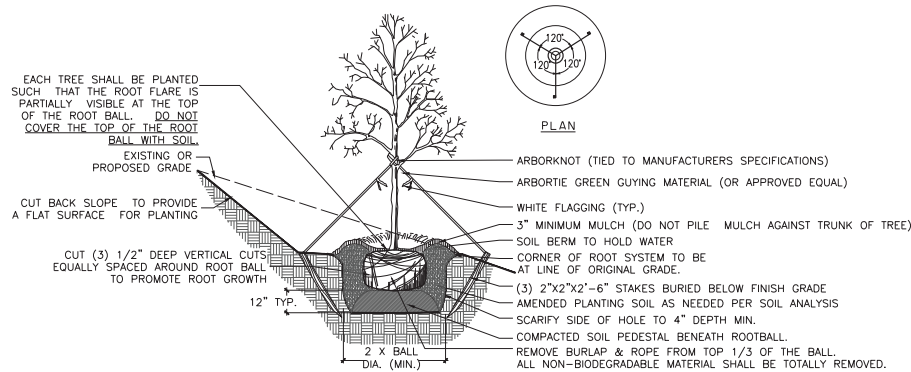
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 4) REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING, OR CROSSING OTHER BRANCHES.
 - 5) NEVER CUT A CENTRAL LEADER.
 - 6) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 7) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TREE PLANTING
NOT TO SCALE



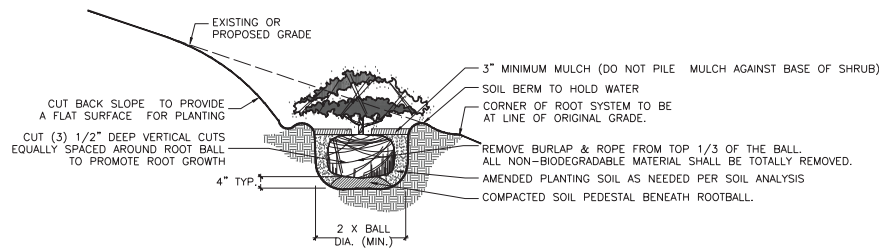
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTING BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
 - 4) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

SHRUB PLANTING
NOT TO SCALE



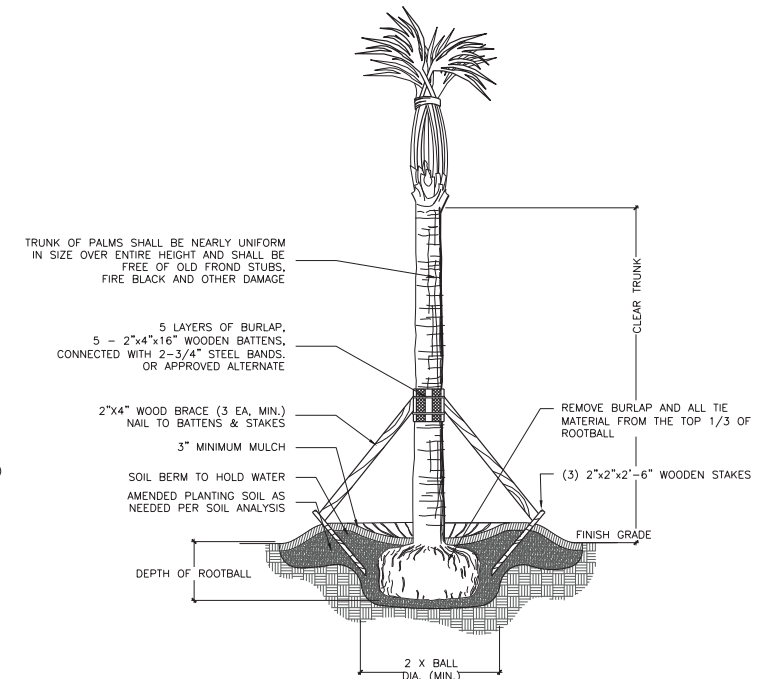
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 4) REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING, OR CROSSING OTHER BRANCHES.
 - 5) NEVER CUT A CENTRAL LEADER.
 - 6) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 7) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TREE PLANTING ON A SLOPE
NOT TO SCALE



- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTING BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
 - 4) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

SHRUB PLANTING ON A SLOPE
NOT TO SCALE



- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 3) SABAL PALMETOS SHALL BE DEFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE. ALL OTHER PALM SPECIES MUST HAVE FRONDS TIED W/Biodegradable STRAP OR TWINE.
 - 4) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 5) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

PALM TREE PLANTING
NOT TO SCALE

- Preliminary -
Not For Construction

NO.	REVISIONS	BY	DATE

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H H ISLAND ACQUISITION PARTNERS, LLC
HILTON HEAD ISLAND, SOUTH CAROLINA
FIFTEEN WIMBLETON
PLANTING DETAILS

JOB NO:	J-26807.0000
DATE:	9/XX/17
DRAWN:	CGC
DESIGNED:	ETW
REVIEWED:	JRW
APPROVED:	NBL
SCALE:	NOT TO SCALE

L5.2

Schedule										
Symbol	Label	QTY	Catalog Number	Description	Number Lamps	Lamp	Filename	Lumens per Lamp	LLF	Wattage
	A	16	EML25 XX 63LED 525MA 4K GCF R2 480 XX XXX	ASL EML25. LARGE BELL SHAPE CAST ALUMINUM HSG. WITH LED MODULE. TYPE 2. 4000K, 480VOLT DRIVERS. MOUNTED ON 14 FT WOODEN POLE.	1	LED	EML25_XX_63LED_525M A_4K_GCF_R2_480_XX_XXX.ies	8201	0.92	111.4
	B	0	EML25 XX 63LED 525MA 4K GCF R2 480 XX XXX	ASL EML25. LARGE BELL SHAPE CAST ALUMINUM HSG. WITH LED MODULE. TYPE 2. 4000K, 480VOLT DRIVERS. MOUNTED ON 14 FT WOODEN POLE.	1	LED	EML25_XX_63LED_525M A_4K_GCF_R2_480_XX_XXX.ies	8201	0.92	222.8

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING/ DRIVEWAY		2.02 fc	8.18 fc	0.01 fc	818.0:1	202.0:1

Note

1. FOOTCANDLE VALUES ARE MAINTAINED.
2. LUMINAIRE IS MOUNTED ON 14 FT POLE.
3. CALCULATIONS ARE TAKEN AT FIXTURE HEIGHT OF 12 FT.
4. LUMINAIRE IS LED AND NO LUMENS ABOVE 90 DEGREES.



Plan View
Scale - 1" = 30'



Cover Page





13 Unit Building Character Elevation

HH Island Acquisition Partners, LLC

77 Folly Field Road

Town of Hilton Head, South Carolina

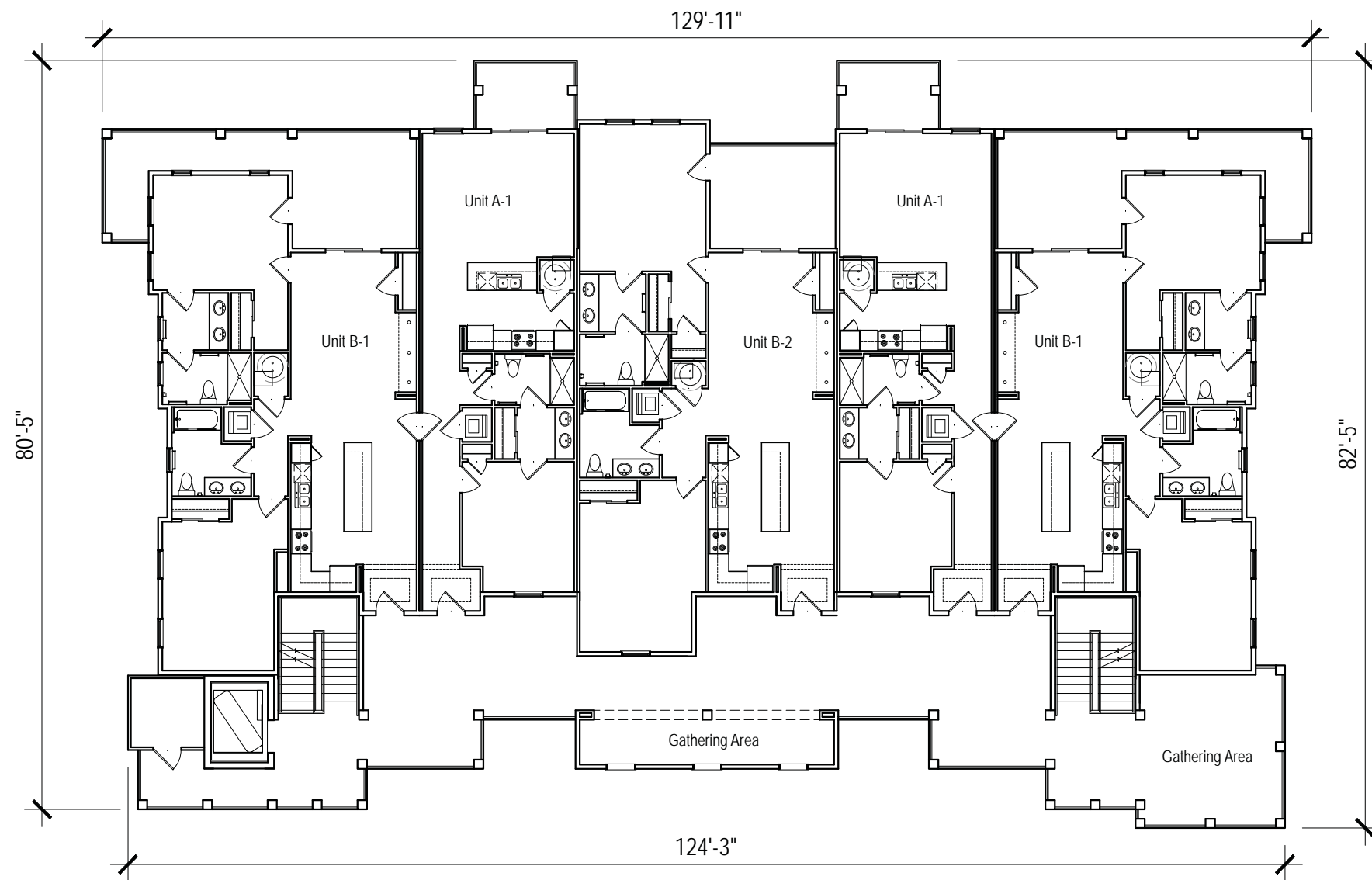
Resort Community



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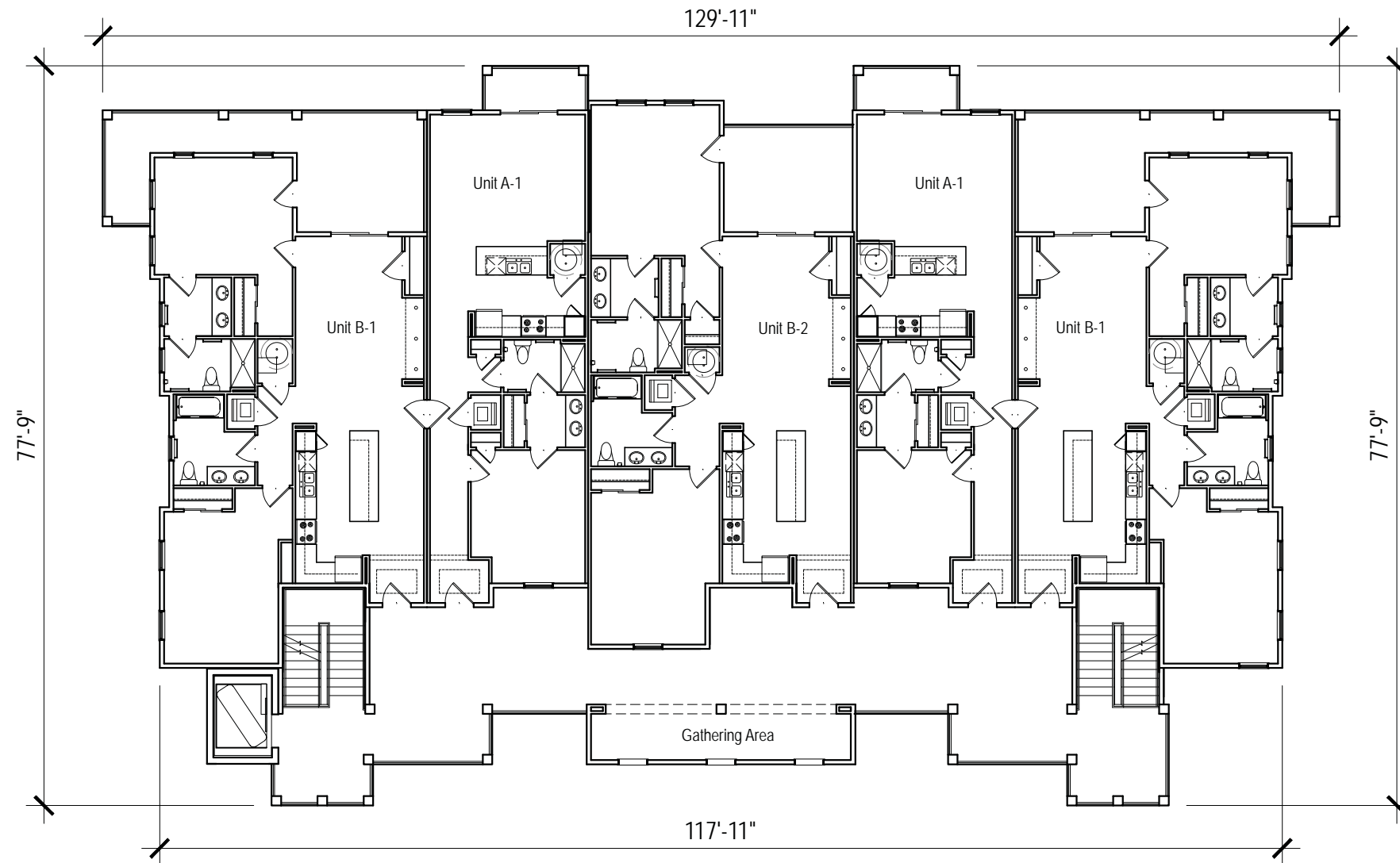
1 13 Unit Building- 1st Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC

77 Folly Field Road

Town of Hilton Head, South Carolina

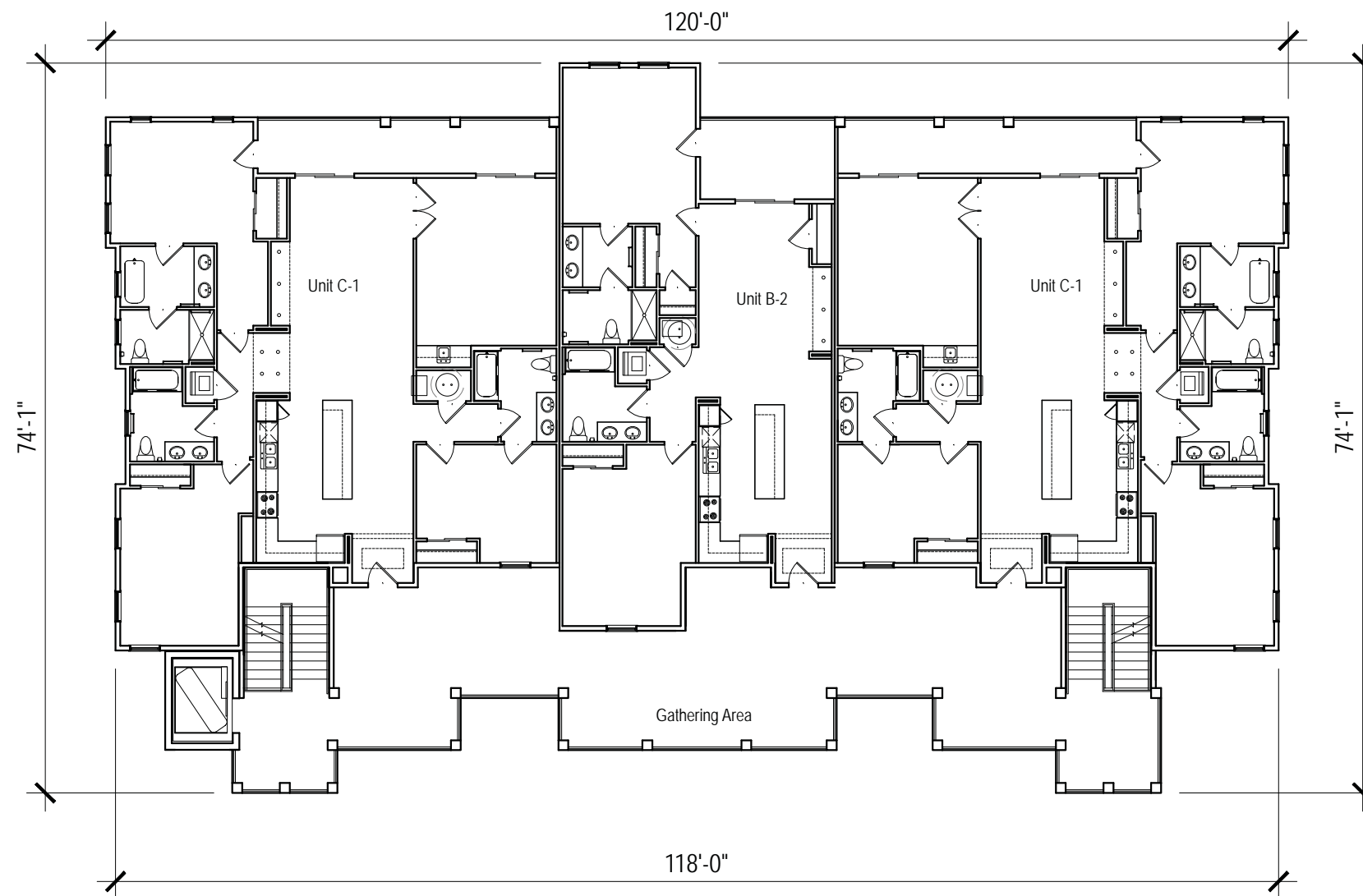
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1 13 Unit Building- 2nd Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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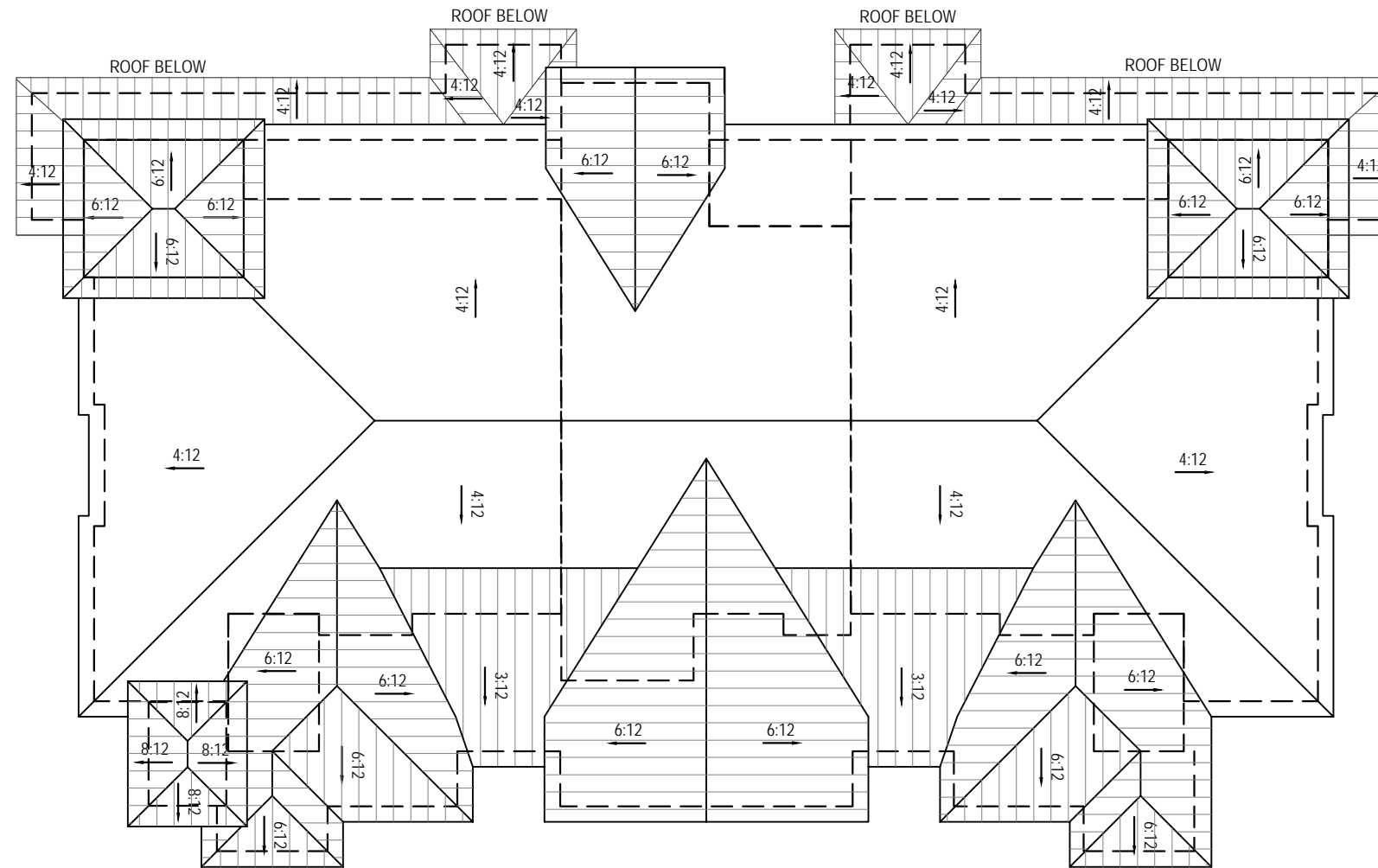
Resort Community



1 13 Unit Building- 3rd Floor Plan
 SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community

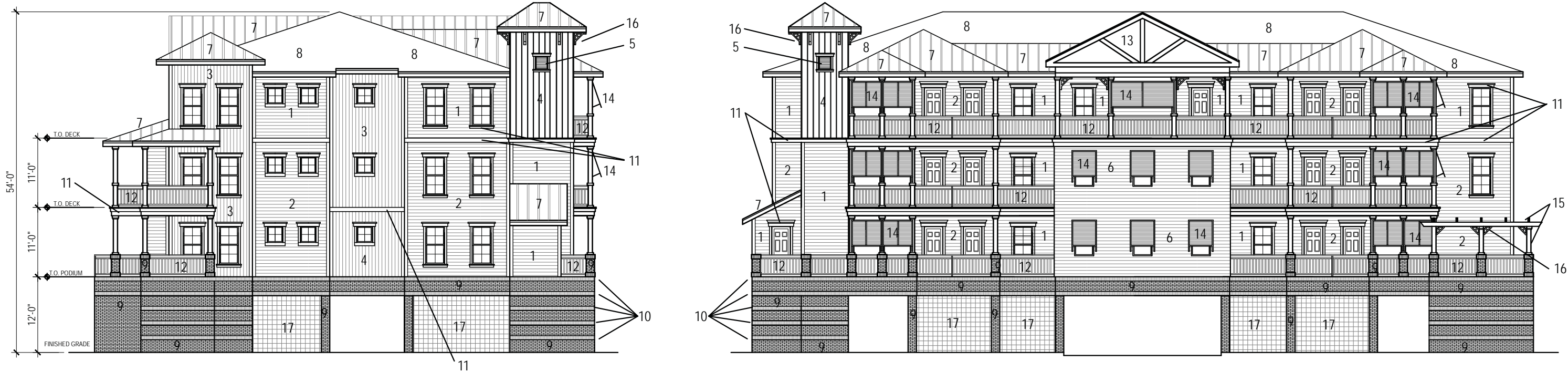


1 13 Unit Building- Roof Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
-------------------------------------	---------------------	-------------------------------------

Resort Community

- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Monterey Taupe
- 3-Hardie Vertical Siding- Sail Cloth
- 4-Hardie Vertical Siding- Monterey Taupe
- 5-Vents- White
- 6-Reclaimed Wood
- 7-Metal Roof- Silver
- 8-Main Roof- Dual Grey Architectural Shingle
- 9-Brick- (Palmetto Brick- Riviera)
- 10-Brick accent bands- soldier courses- (Palmetto Brick- Riviera)
- 11-All trim and columns- White
- 12-Rails- Silver
- 13-Exposed truss- wood to match reclaimed wood
- 14-Shutters- Silver
- 15-Trellis + Columns at porch- wood to match reclaimed wood
- 16-Brackets- White (wood to match reclaimed wood @ trellised Patio)
- 17-Decorative metal grate with climbing flowers/ vines



1 13 Unit Building- Front and Left Elevation
SCALE: 1/16" = 1'-0"

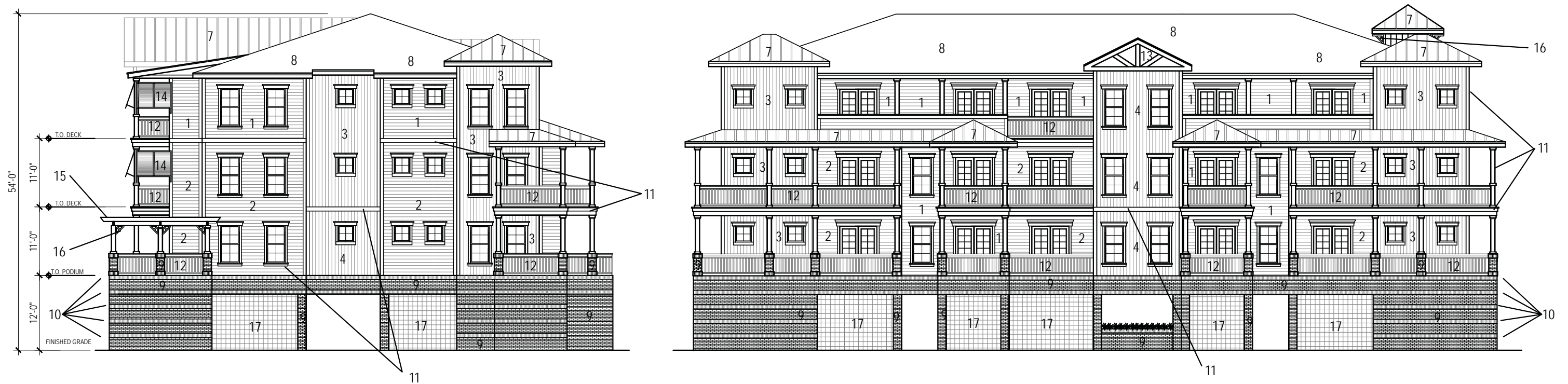


HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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- 1-Hardie Lap Siding- Sail Cloth
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- 14-Shutters- Silver
- 15-Trellis + Columns at porch- wood to match reclaimed wood
- 16-Brackets- White (wood to match reclaimed wood @ trellised Patio
- 17-Decorative metal grate with climbing flowers/ vines



1 13 Unit Building- Rear and Right Elevation
SCALE: 1/16" = 1'-0"



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16 Unit Building Character Elevation

HH Island Acquisition Partners, LLC

77 Folly Field Road

Town of Hilton Head, South Carolina

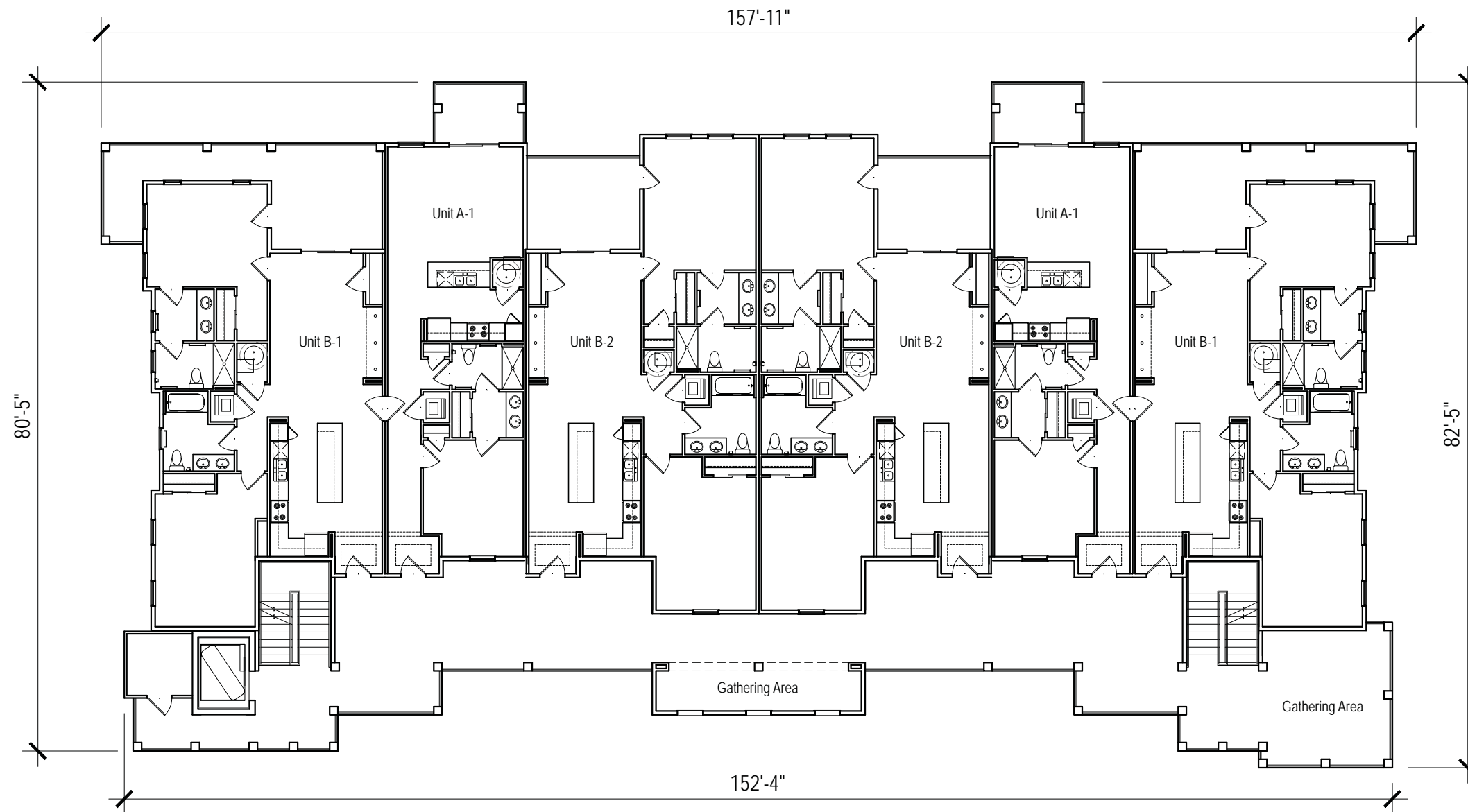
Resort Community



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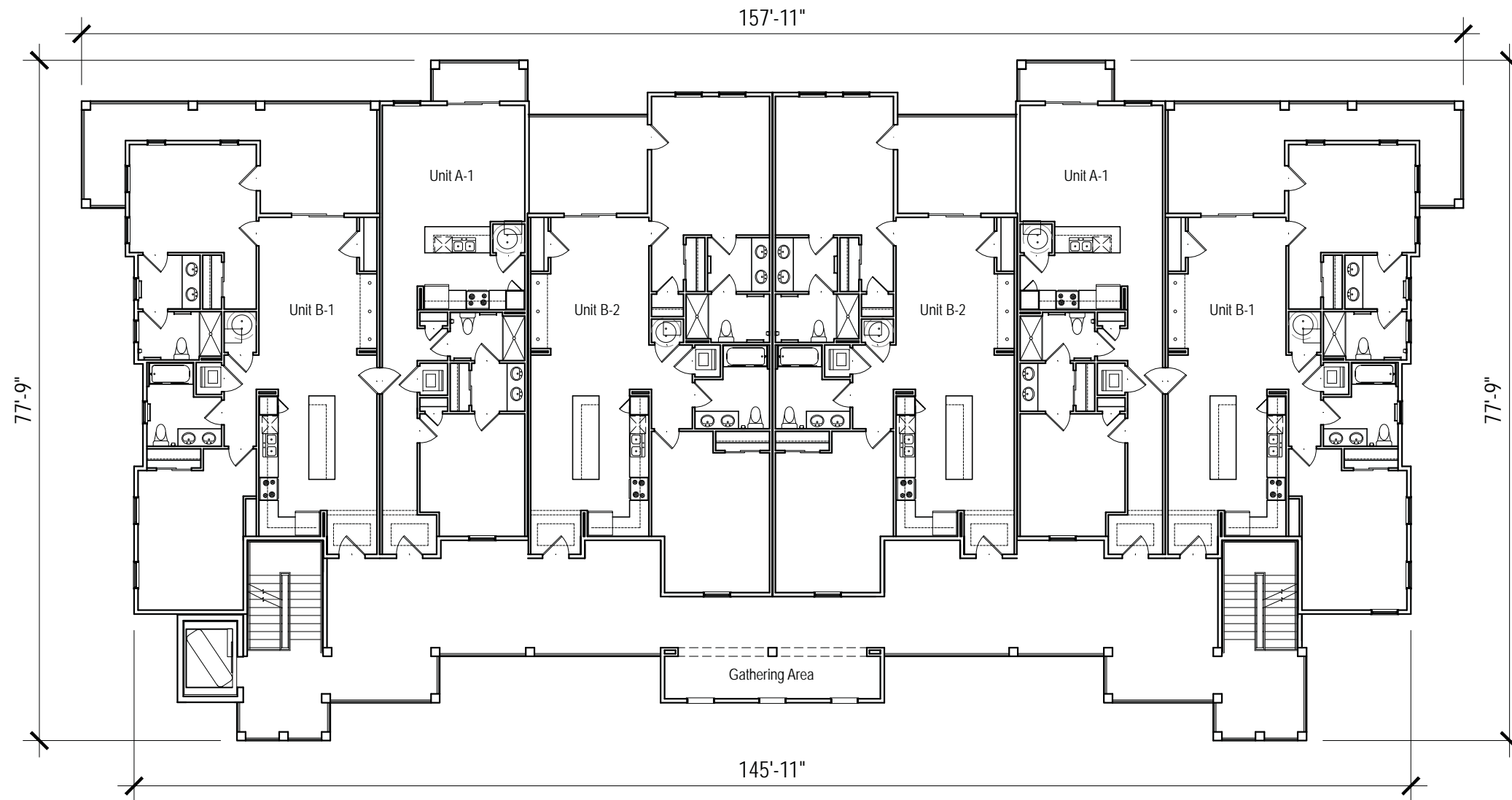
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1 16 Unit Building- 1st Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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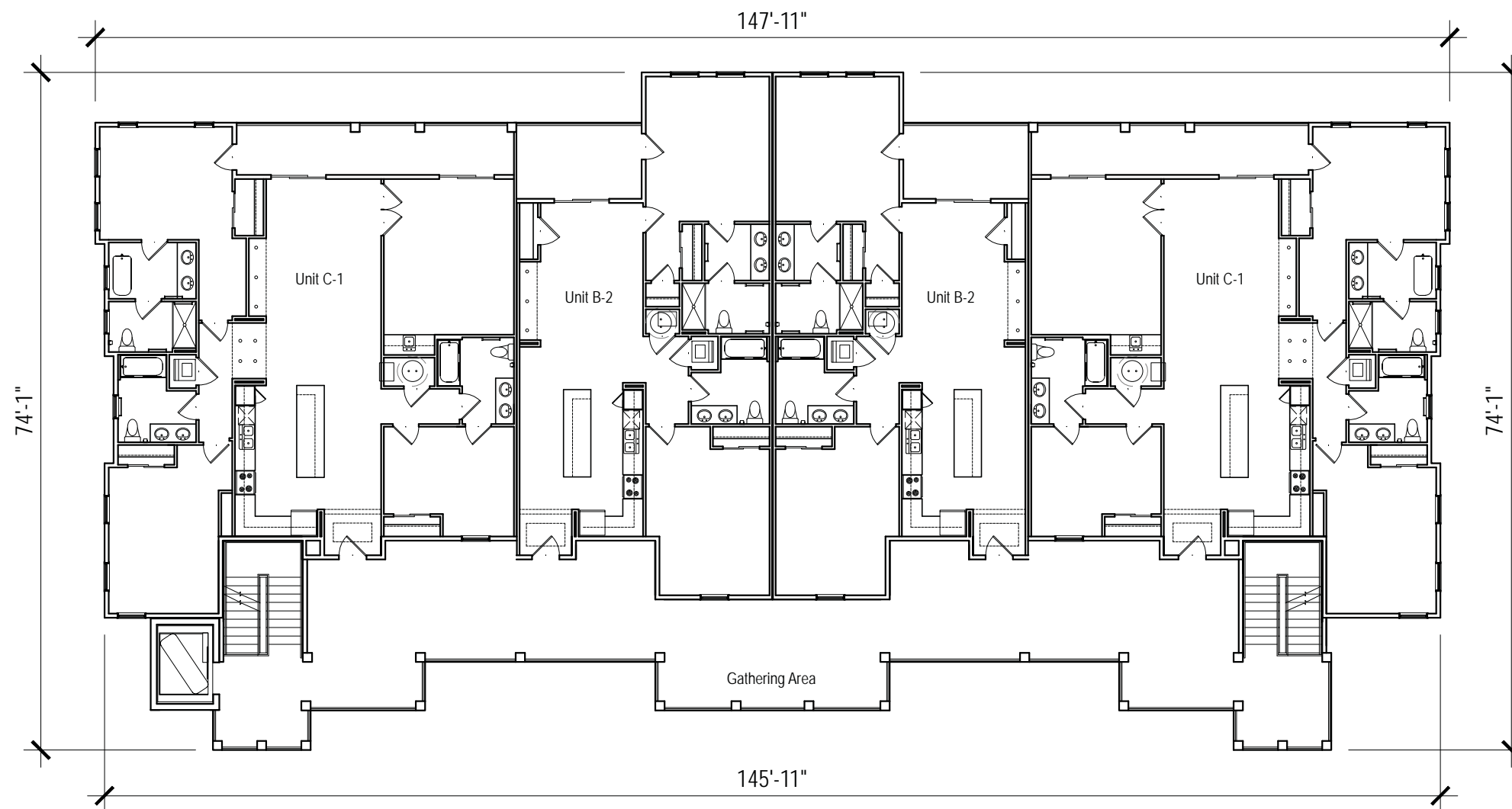
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1 16 Unit Building- 2nd Floor Plan
 SCALE: 1/16" = 1'-0"

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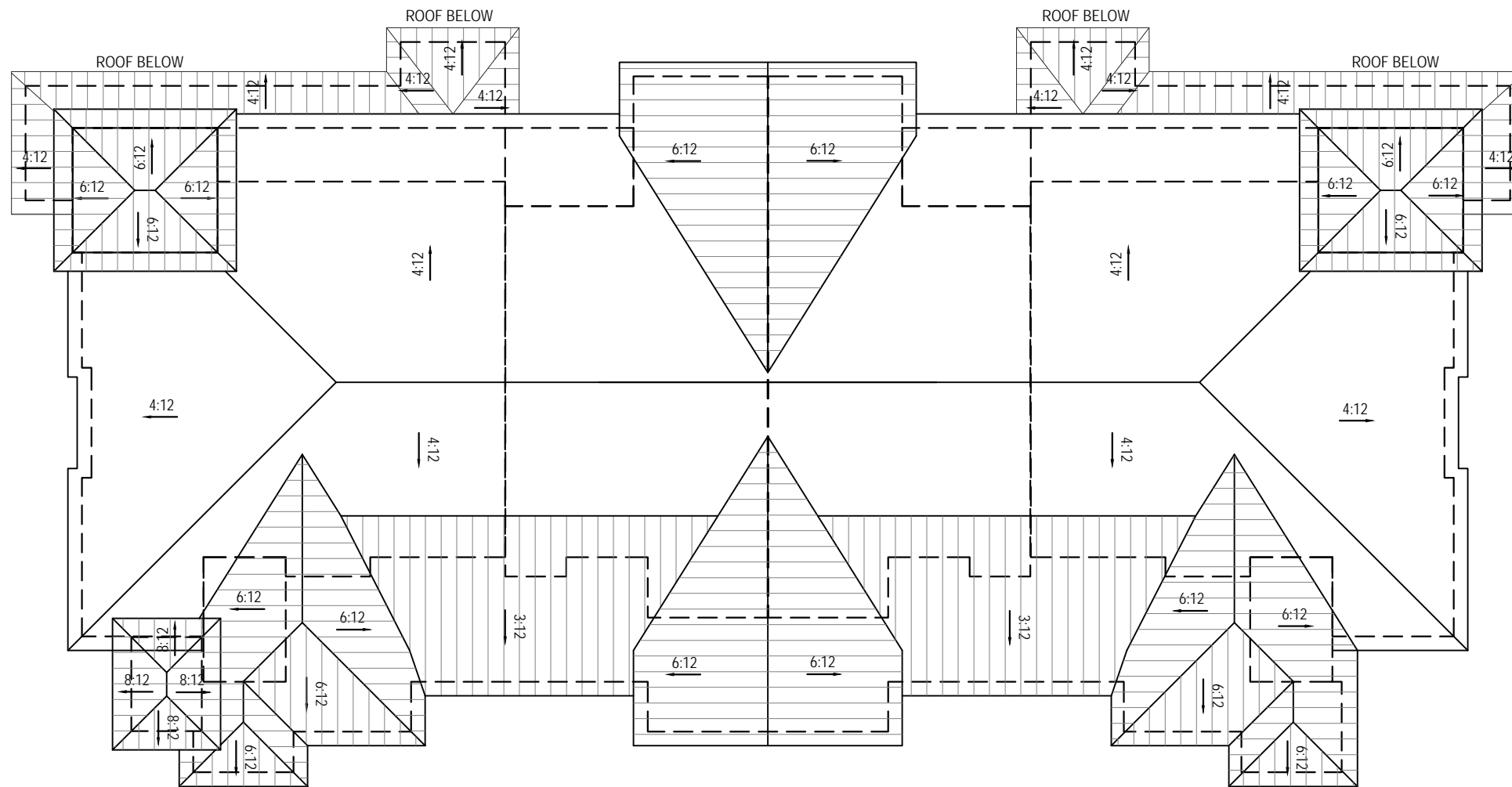
Resort Community



1 16 Unit Building- 3rd Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community



1 16 Unit Building- Roof Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community

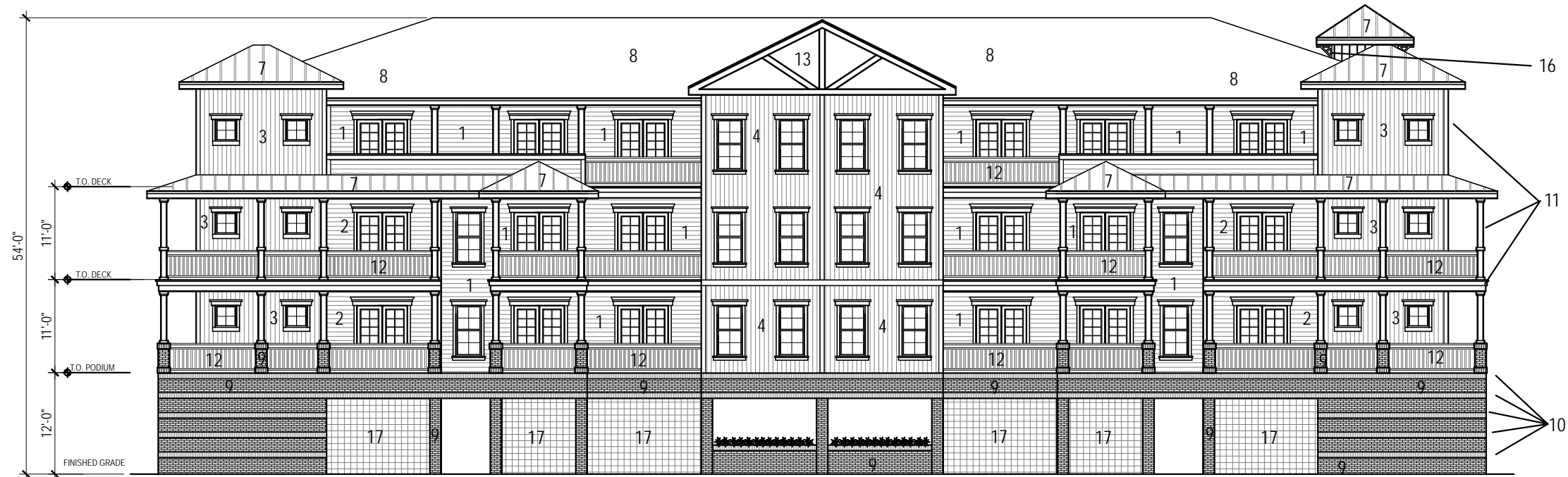
- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Monterey Taupe
- 3-Hardie Vertical Siding- Sail Cloth
- 4-Hardie Vertical Siding- Monterey Taupe
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- 9-Brick- (Palmetto Brick- Riviera)
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- 12-Rails- Silver
- 13-Exposed truss- wood to match reclaimed wood
- 14-Shutters- Silver
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- 17-Decorative metal grate with climbing flowers/ vines



1 16 Unit Building- Front and Left Elevation
SCALE: 1/16" = 1'-0"

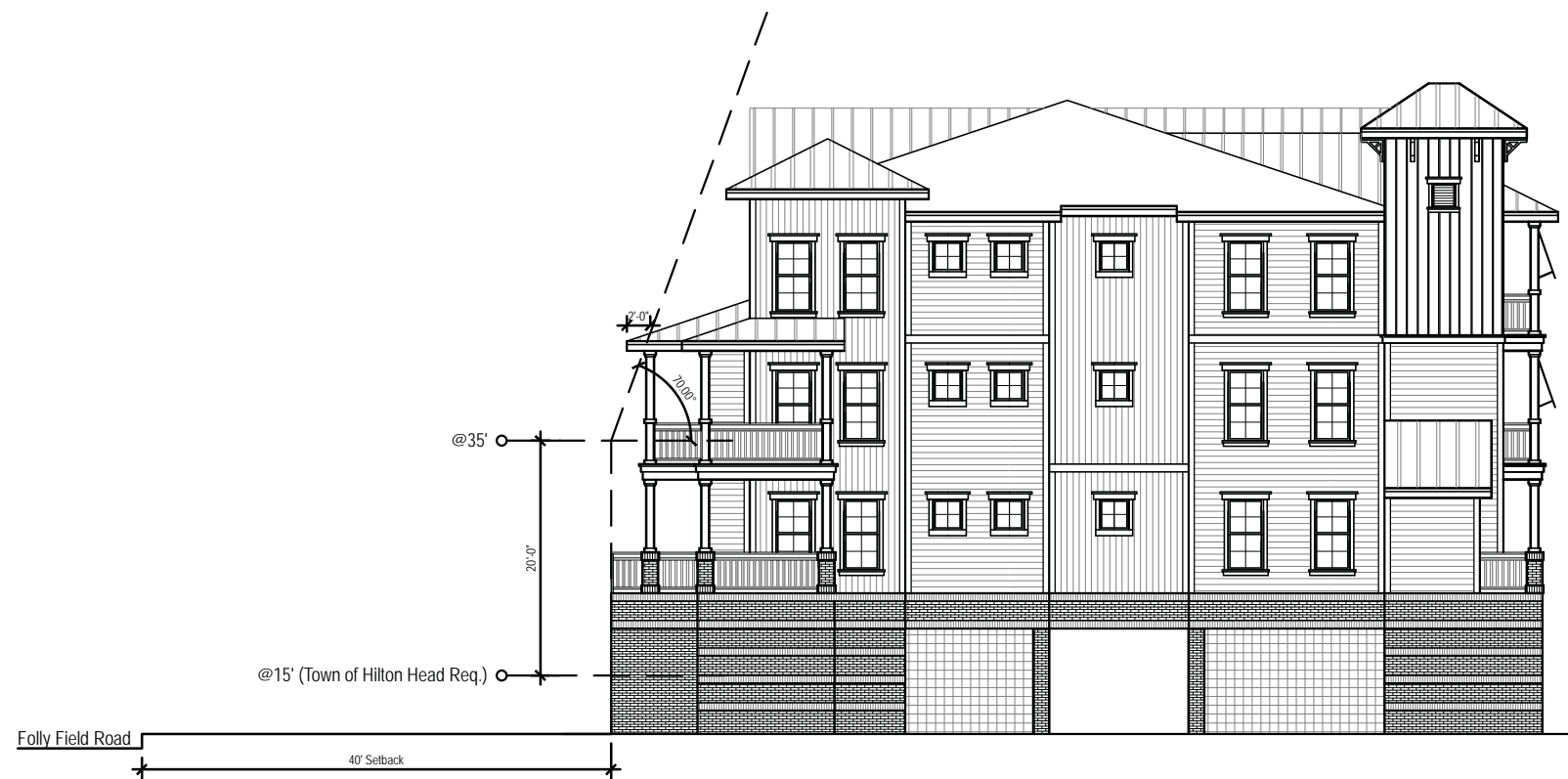


- 1-Hardie Lap Siding- Sail Cloth
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- 3-Hardie Vertical Siding- Sail Cloth
- 4-Hardie Vertical Siding- Monterey Taupe
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- 17-Decorative metal grate with climbing flowers/ vines



1 16 Unit Building- Rear and Right Elevation
SCALE: 1/16" = 1'-0"





1 16 Unit Building- Folly Field Road Setback
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community



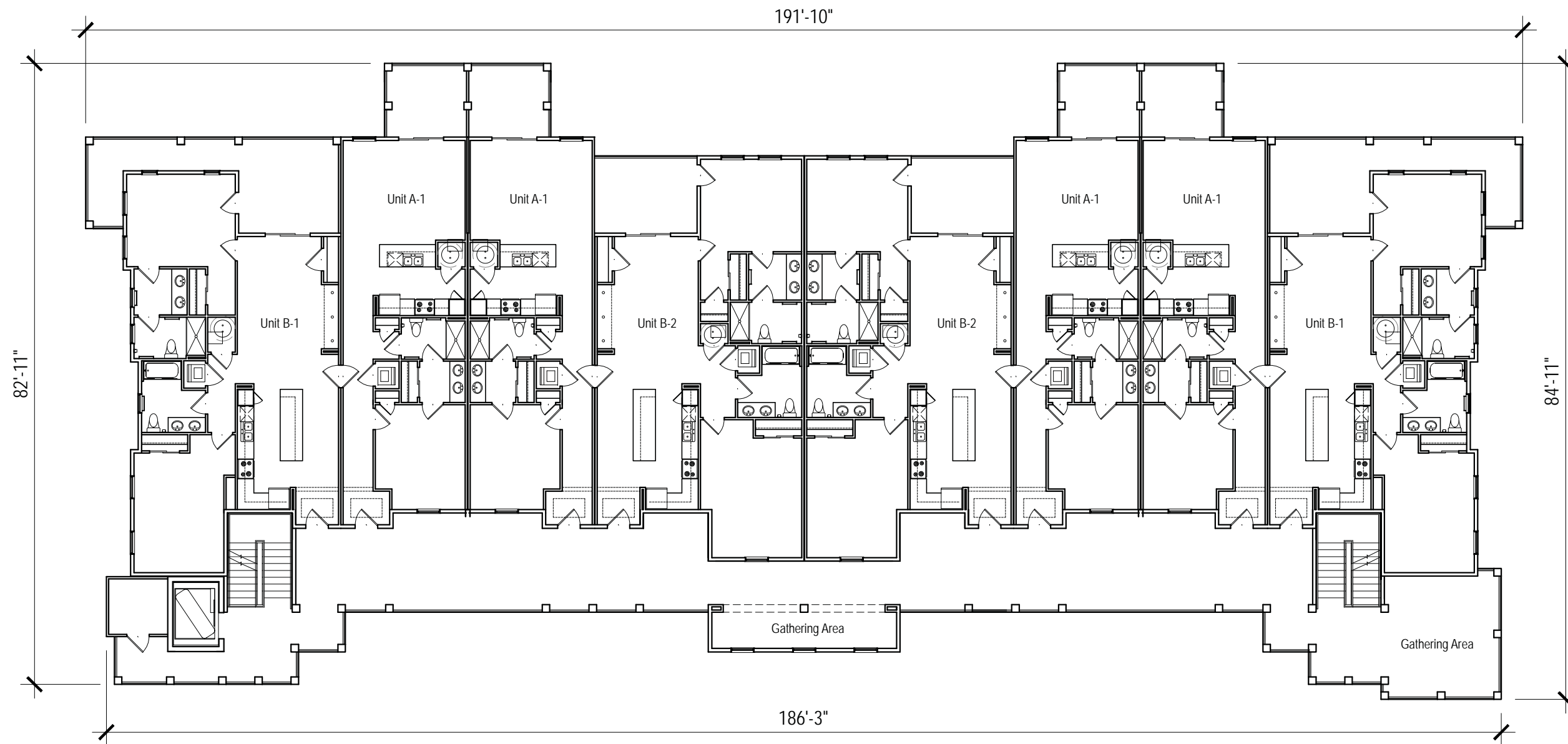
30 Unit Building Character Elevation

HH Island Acquisition Partners, LLC

77 Folly Field Road

Town of Hilton Head, South Carolina

Resort Community



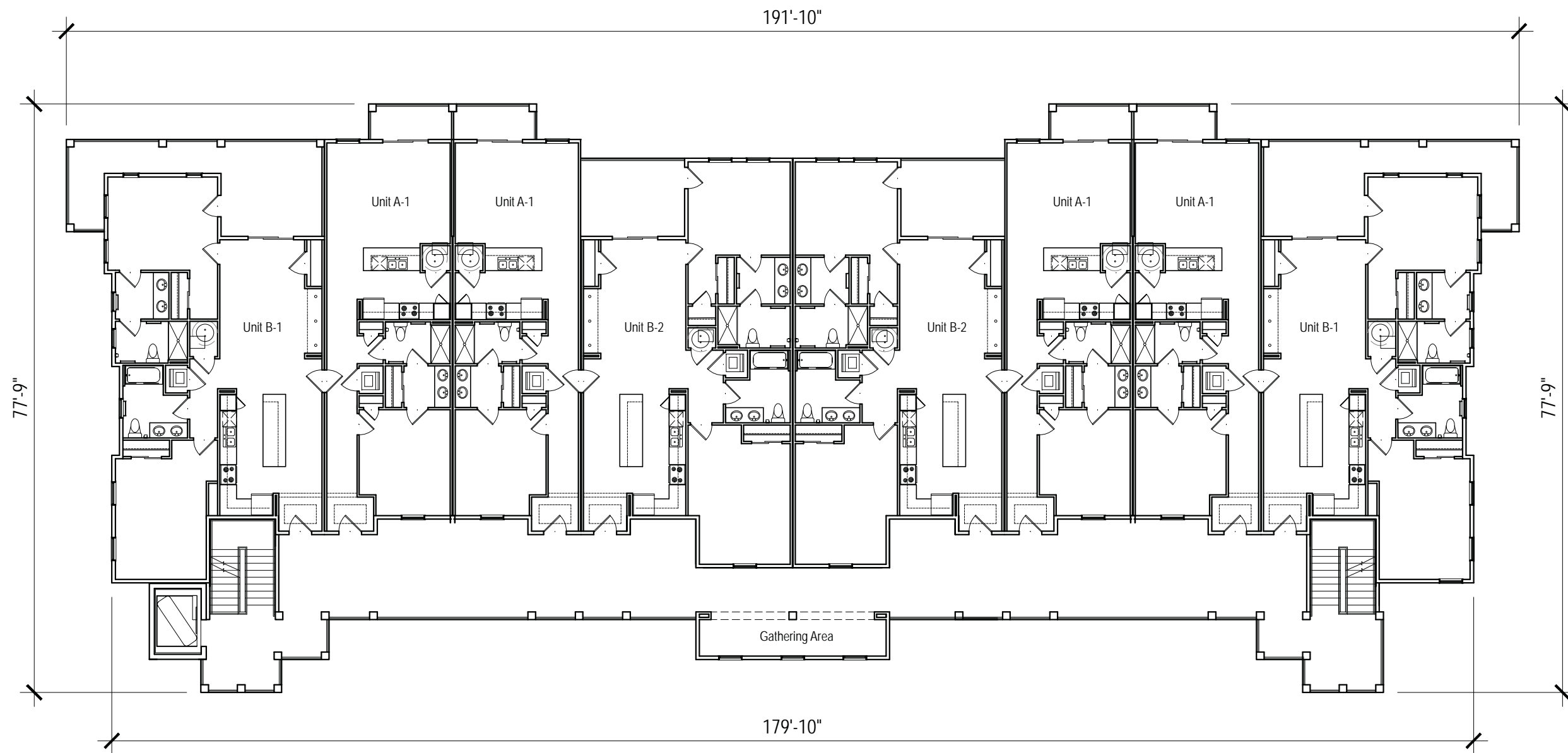
1 30 Unit Building- 1st Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC

77 Folly Field Road

Town of Hilton Head, South Carolina

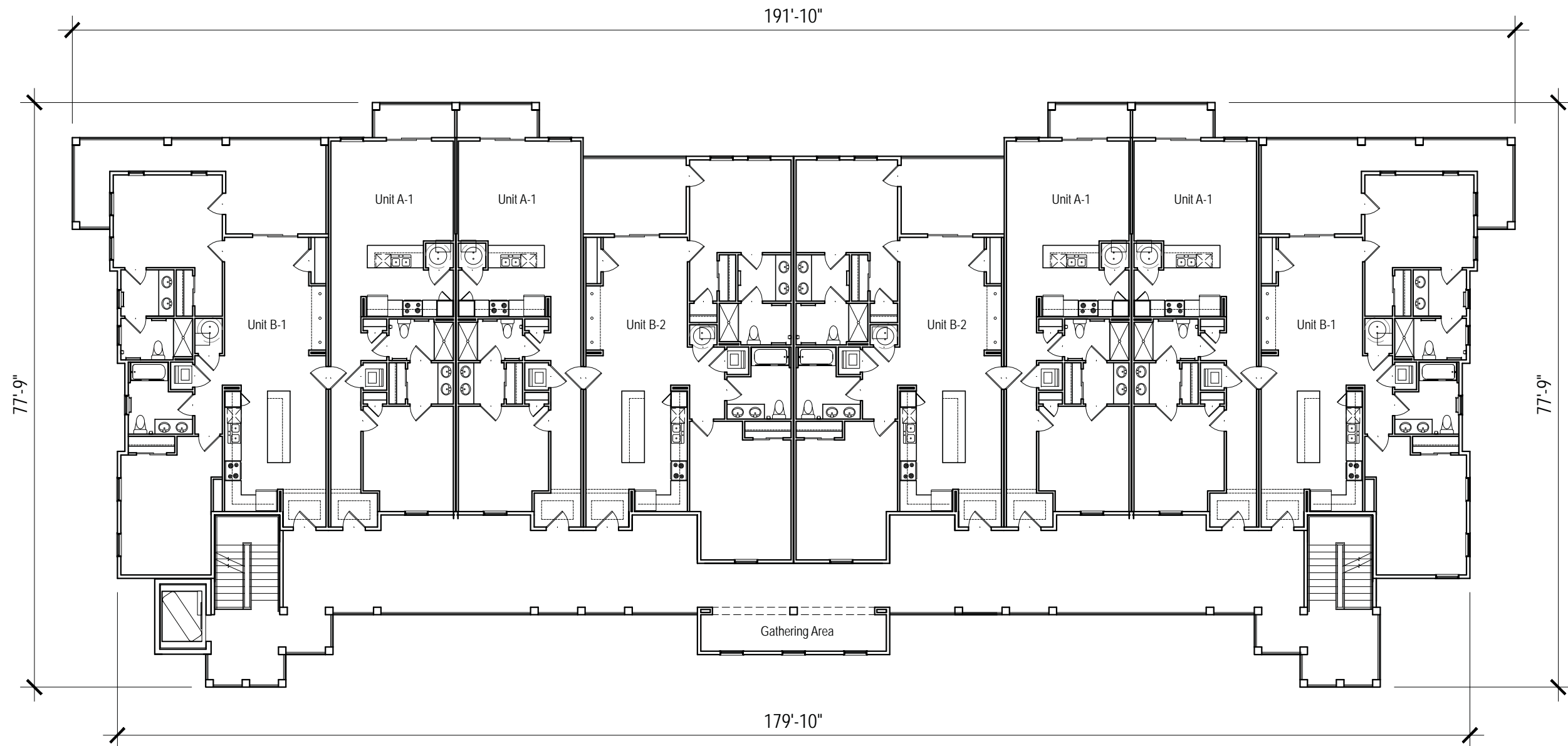
Resort Community



1 30 Unit Building- 2nd Floor Plan
SCALE: 1/16" = 1'-0"

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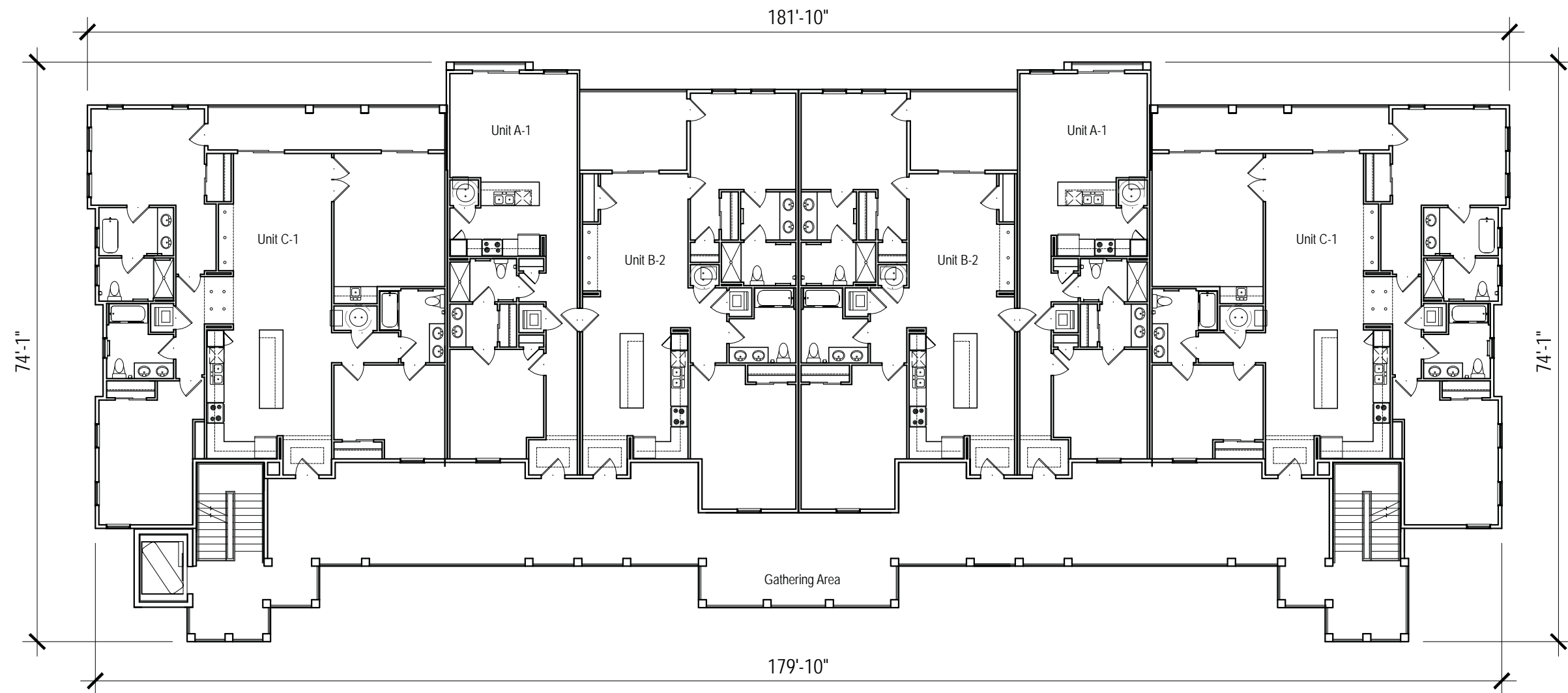
Resort Community



1 30 Unit Building- 3rd Floor Plan
SCALE: 1/16" = 1'-0"

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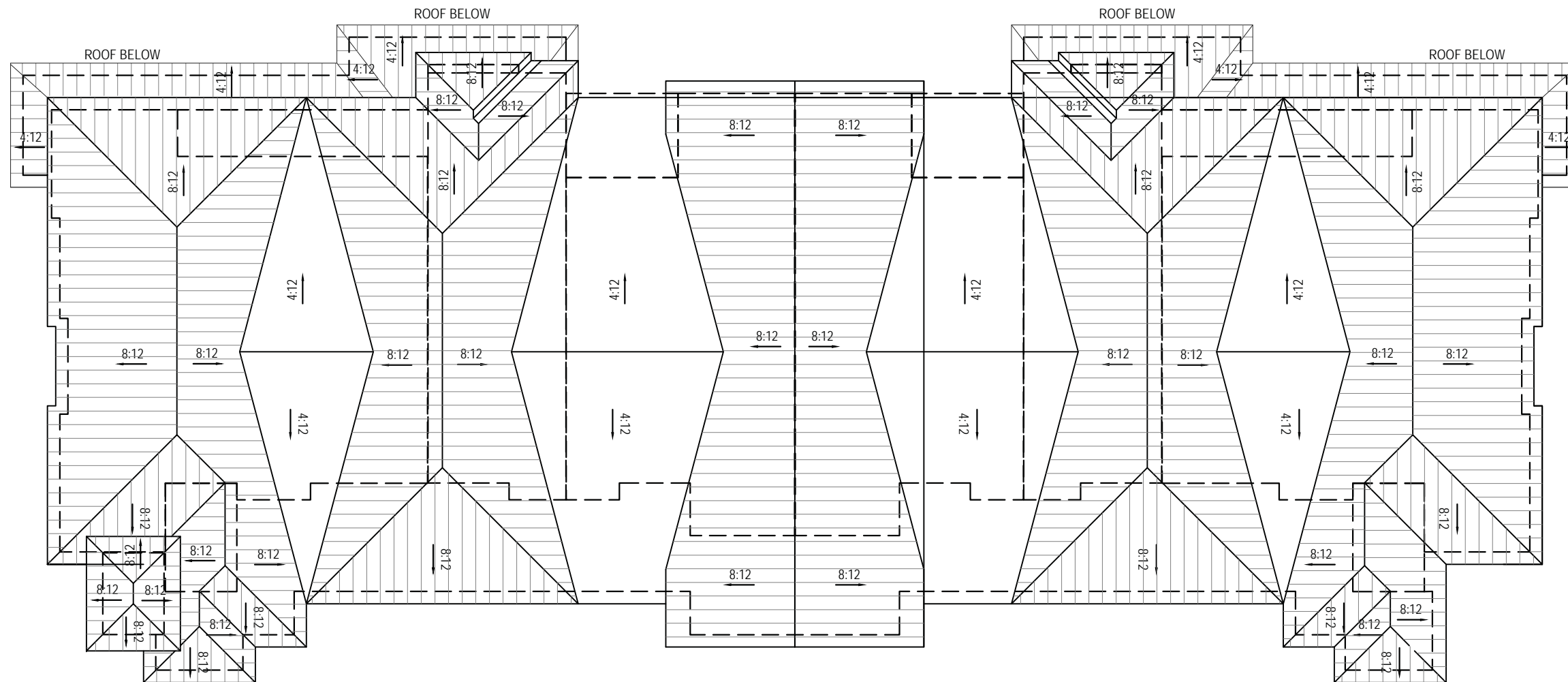
Resort Community



1 30 Unit Building- 4th Floor Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community



1 30 Unit Building- Roof Plan
SCALE: 1/16" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community

- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sail Cloth
- 5-Hardie Vertical Siding- Heathered Moss
- 6-Hardie Vertical Siding- Mountain Sage
- 7-Reclaimed Wood Exterior
- 8-Metal Roof- Silver
- 9-Main Roof- Dual Grey Architectural Shingle
- 10-Brick- (Palmetto Brick- Riviera)
- 11-Brick accent bands- soldier courses- (Palmetto Brick- Riviera)
- 12-All trim and columns- White
- 13-Rails- Silver (horizontal where shown)
- 14-Exposed truss- wood to match reclaimed wood
- 15-Shutters- Silver
- 16-Trellis + Columns at porch- wood to match reclaimed wood
- 17-Brackets- White (wood to match reclaimed wood @ trellised Patio)
- 18-Decorative metal grate with climbing flowers/ vines
- 19-Vents- White



1 30 Unit Building- Front and Left Elevation
SCALE: 1/16" = 1'-0"

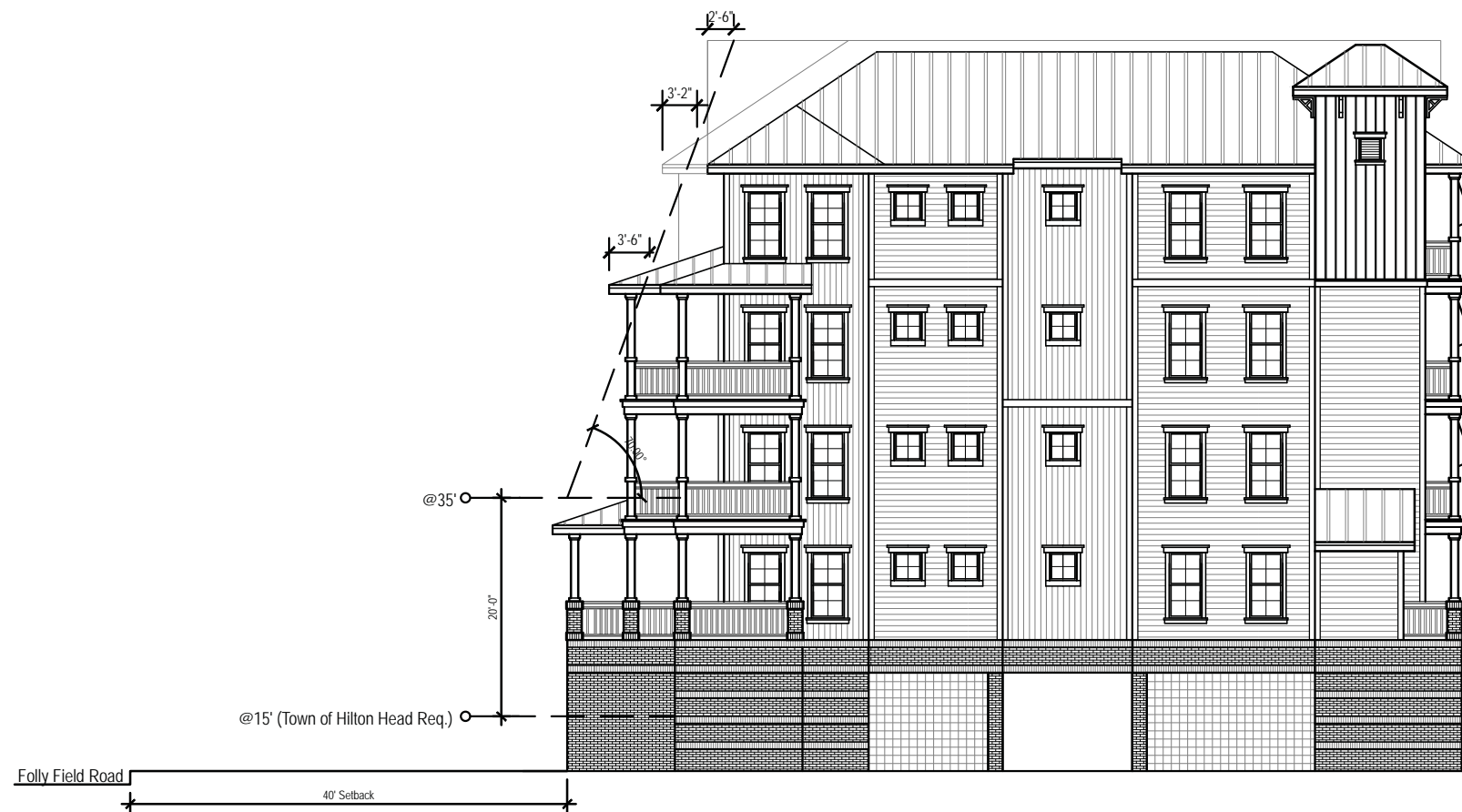


- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Heathered Moss
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- 15-Shutters- Silver
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- 19-Vents- White



1 30 Unit Building- Rear and Right Elevation
SCALE: 1/16" = 1'-0"

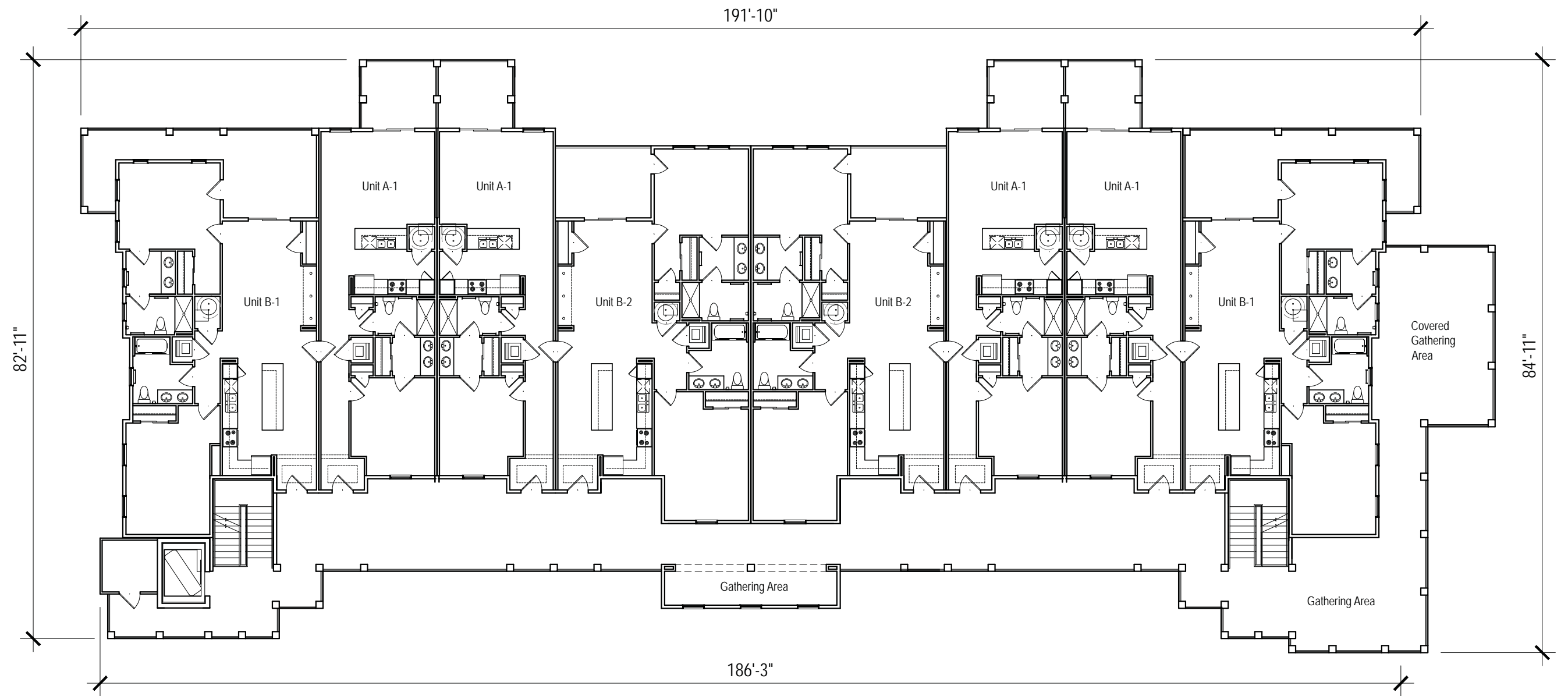




1 30 Unit Building- Folly Field Road Setback
SCALE: 1/16" = 1'-0"

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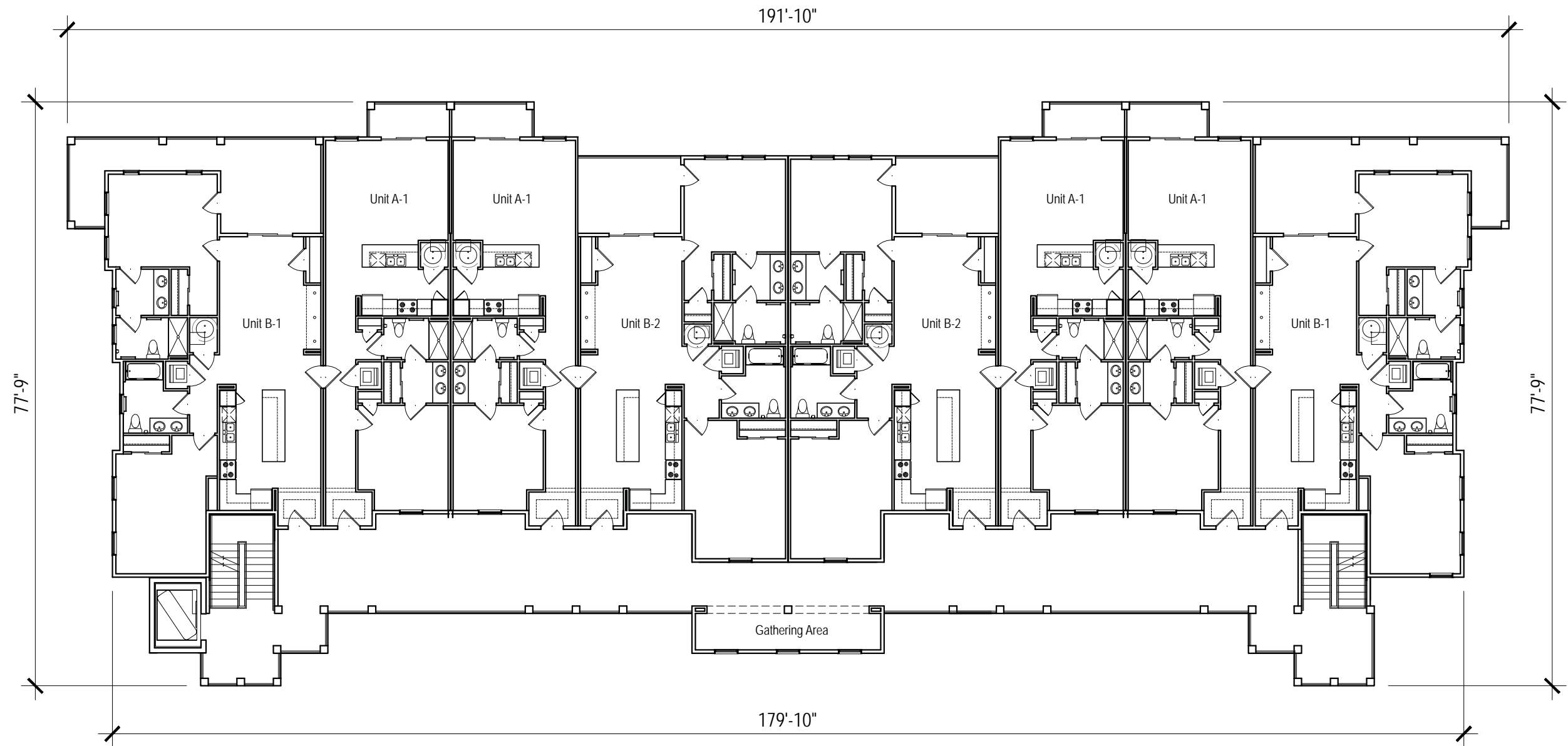
Resort Community



1 30 Unit Alternate Building- 1st Floor Plan
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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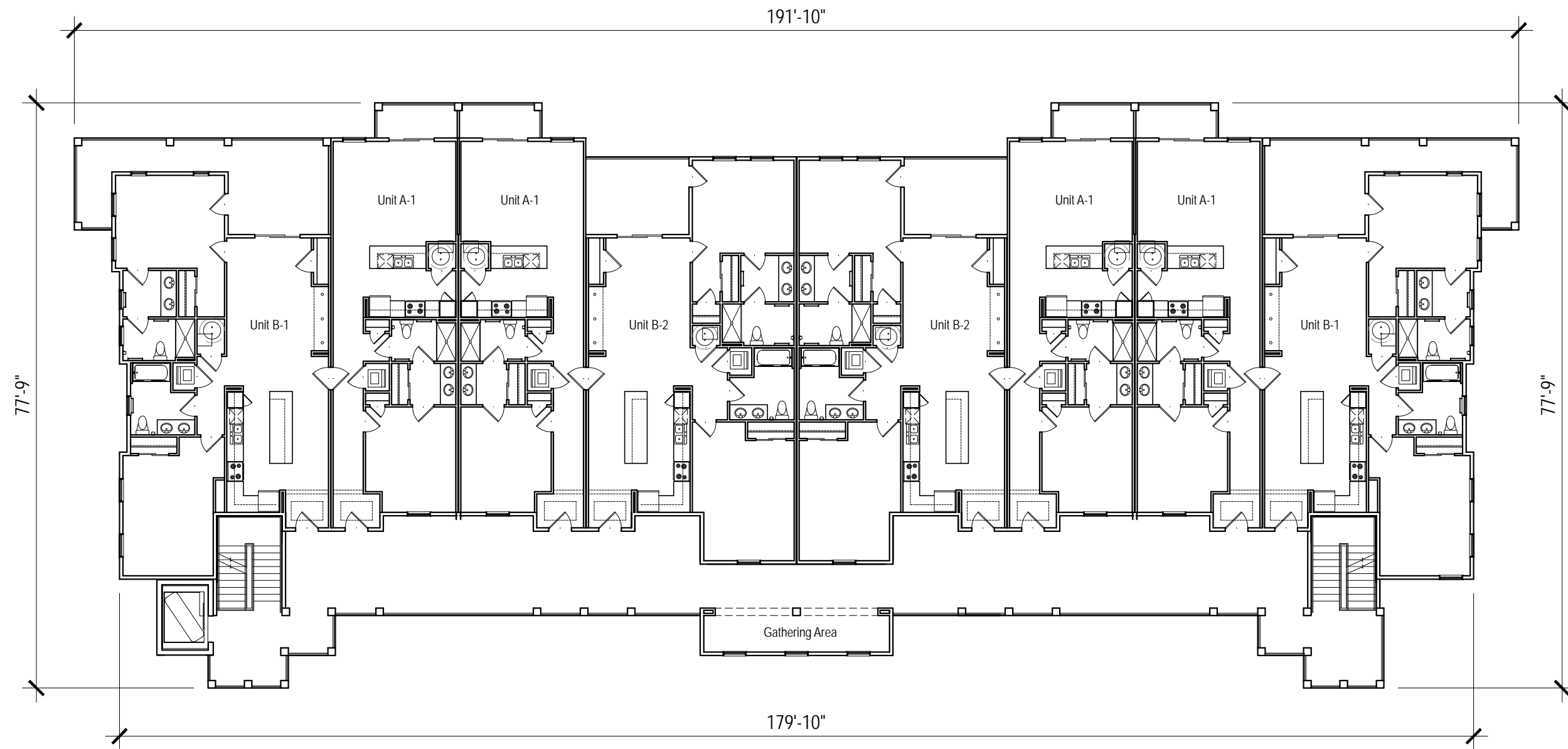
Resort Community



1 30 Unit Alternate Building- 2nd Floor Plan
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road

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Resort Community



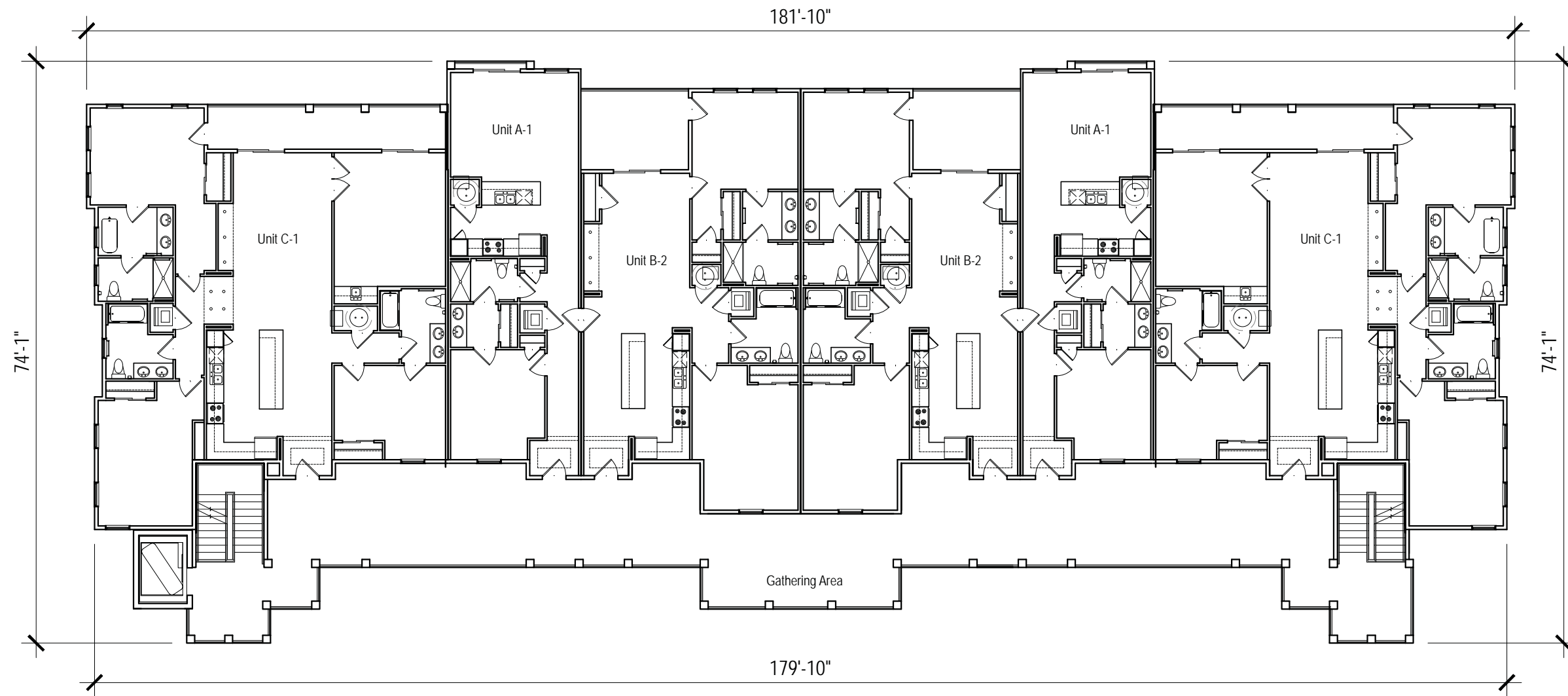
1 30 Unit Alternate Building- 3rd Floor Plan
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road

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1 30 Unit Alternate Building- 4th Floor Plan
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road

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Resort Community

- 1-Hardie Lap Siding- Sail Cloth
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- 15-Shutters- Silver
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- 17-Brackets- White (wood to match reclaimed wood @ trellised Patio)
- 18-Decorative metal grate with climbing flowers/ vines
- 19-Vents- White



1 30 Unit Alternate Building- Front and Left Elevation
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road



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77 Folly Field Road

Town of Hilton Head, South Carolina

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- 18-Decorative metal grate with climbing flowers/ vines
- 19-Vents- White



1 30 Unit Alternate Building- Rear and Right Elevation
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road





1 30 Unit Alternate Building- Folly Field Road Setback
 SCALE: 1/16" = 1'-0"
 Perpendicular to Folly Field Road

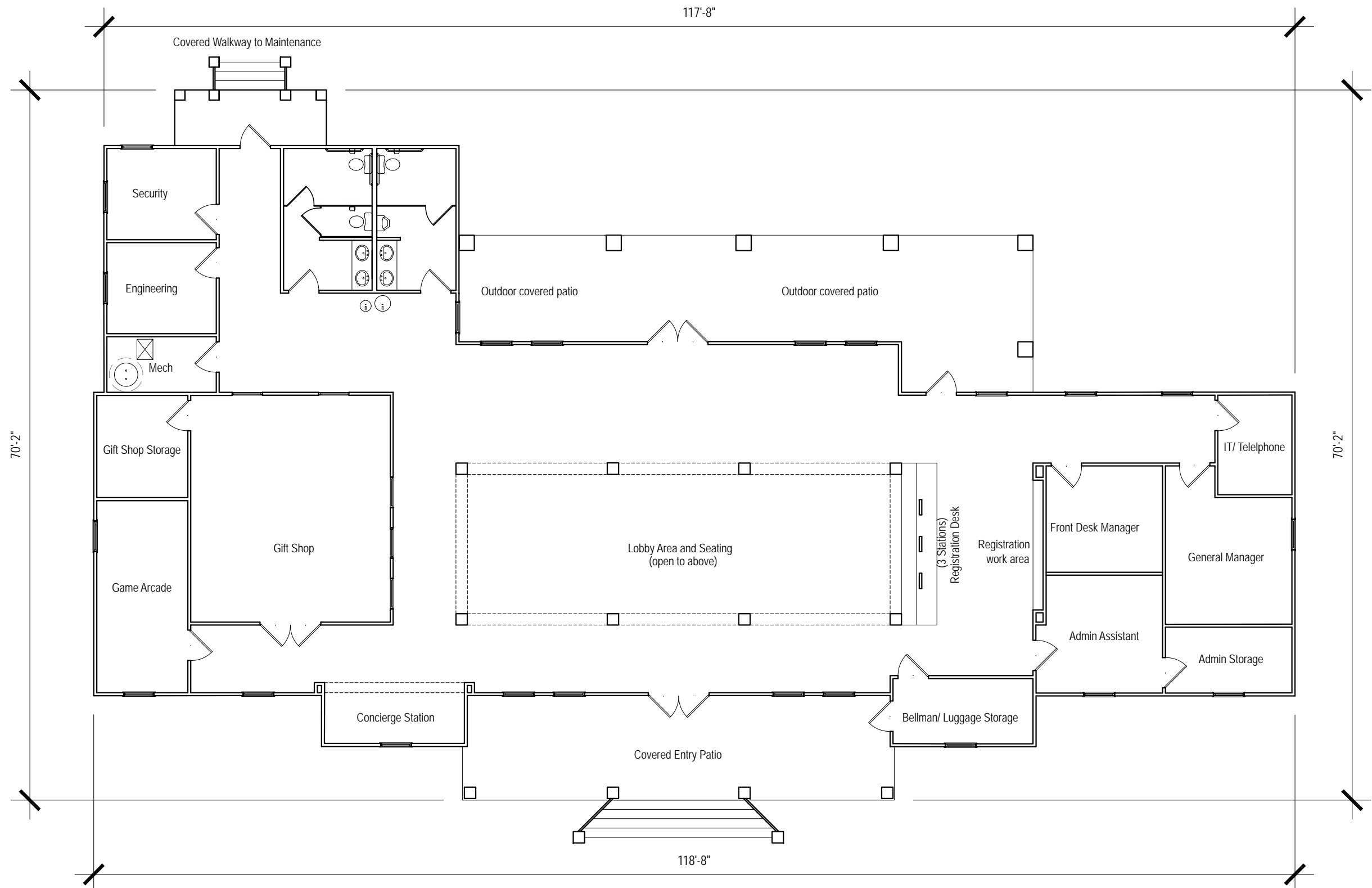
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Clubhouse Character Elevation

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Resort Community

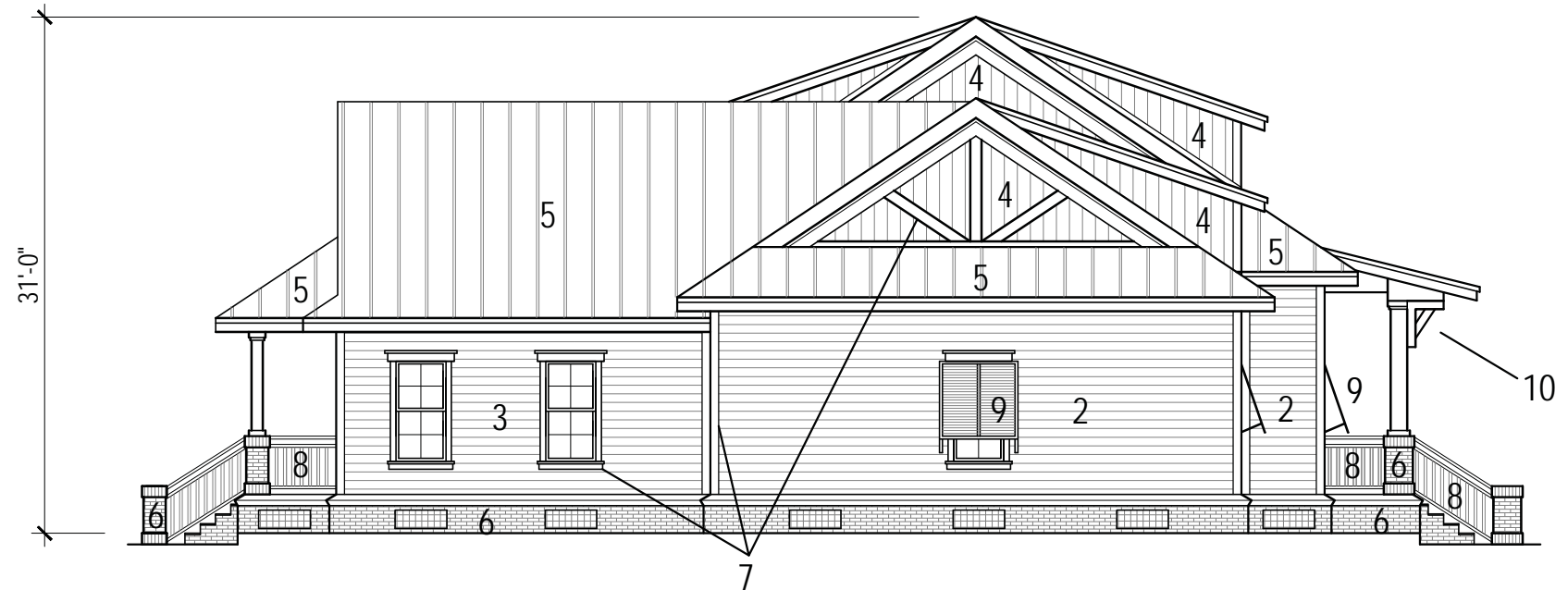


1 Clubhouse Floor Plan
SCALE: 3/32" = 1'-0"

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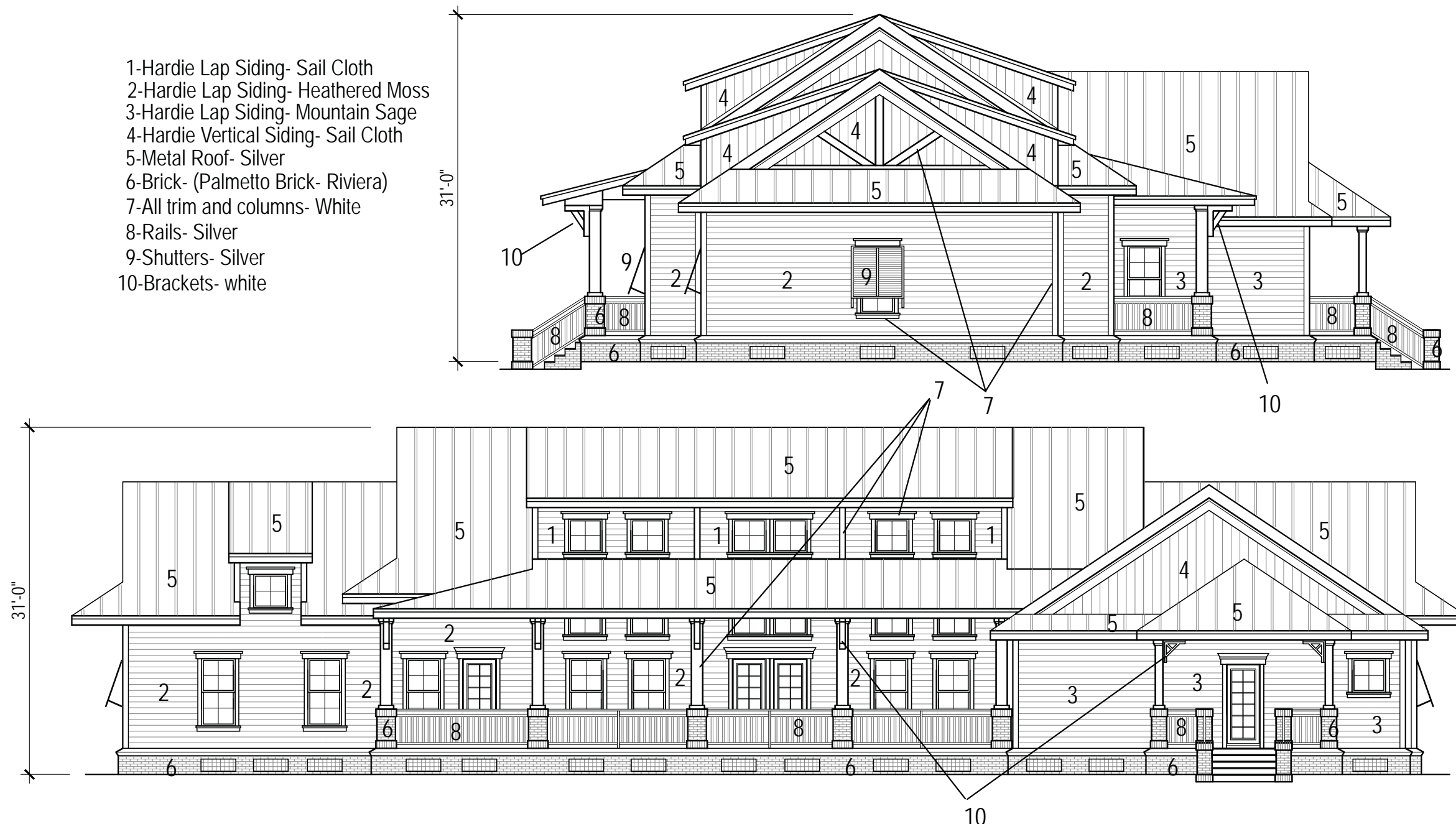
Resort Community

- 1-Hardie Lap Siding- Sail Cloth
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- 8-Rails- Silver
- 9-Shutters- Silver
- 10-Brackets- white

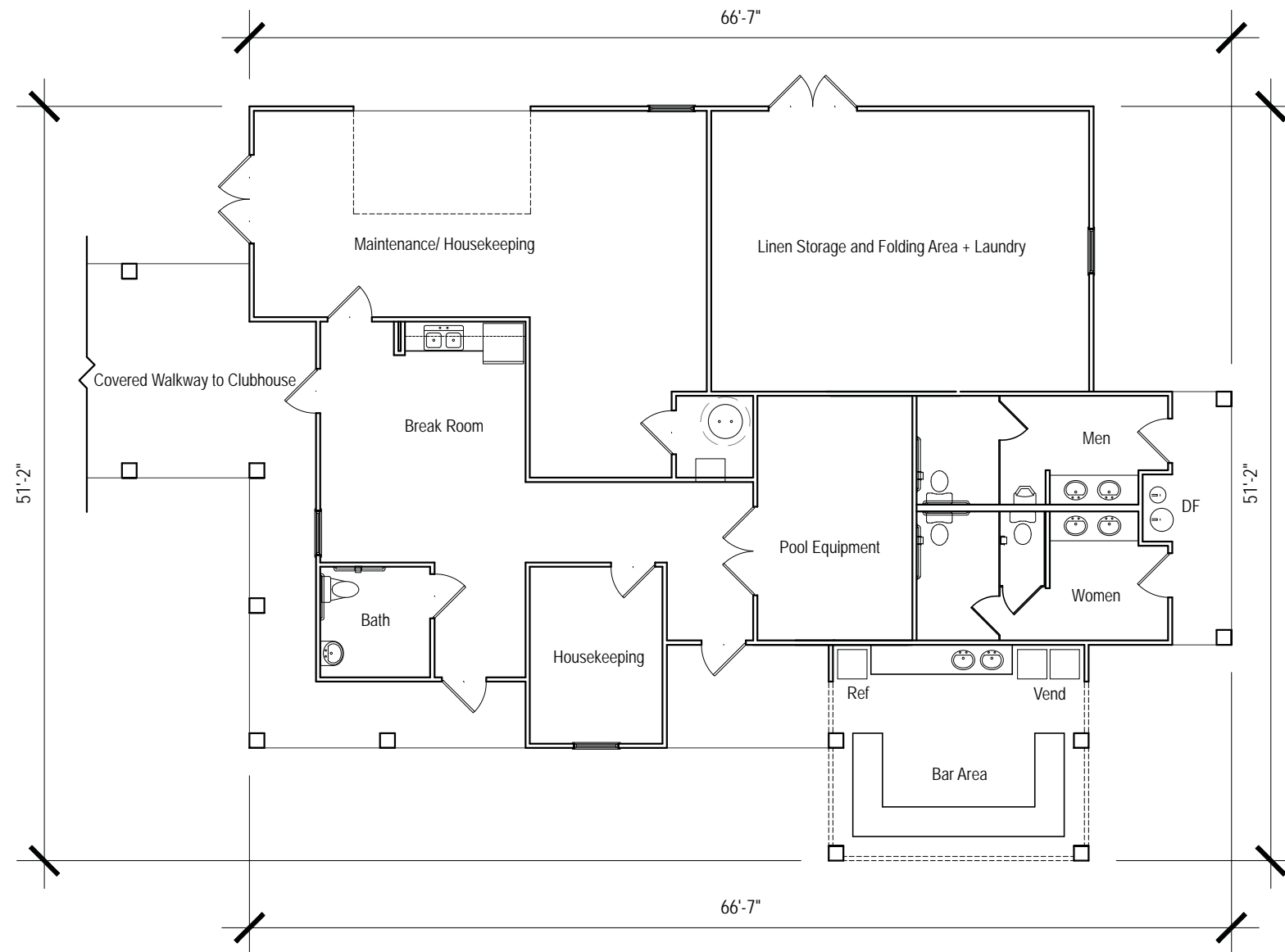


1 Clubhouse Front and Left Elevation
SCALE: 3/32" = 1'-0"

- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sail Cloth
- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- White
- 8-Rails- Silver
- 9-Shutters- Silver
- 10-Brackets- white



1 Clubhouse Rear and Right Elevation
SCALE: 3/32" = 1'-0"



1 Maintenance Building Floor Plan
SCALE: 3/32" = 1'-0"

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- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- White



1 Maintenance Building Front and Left Elevation
SCALE: 3/32" = 1'-0"

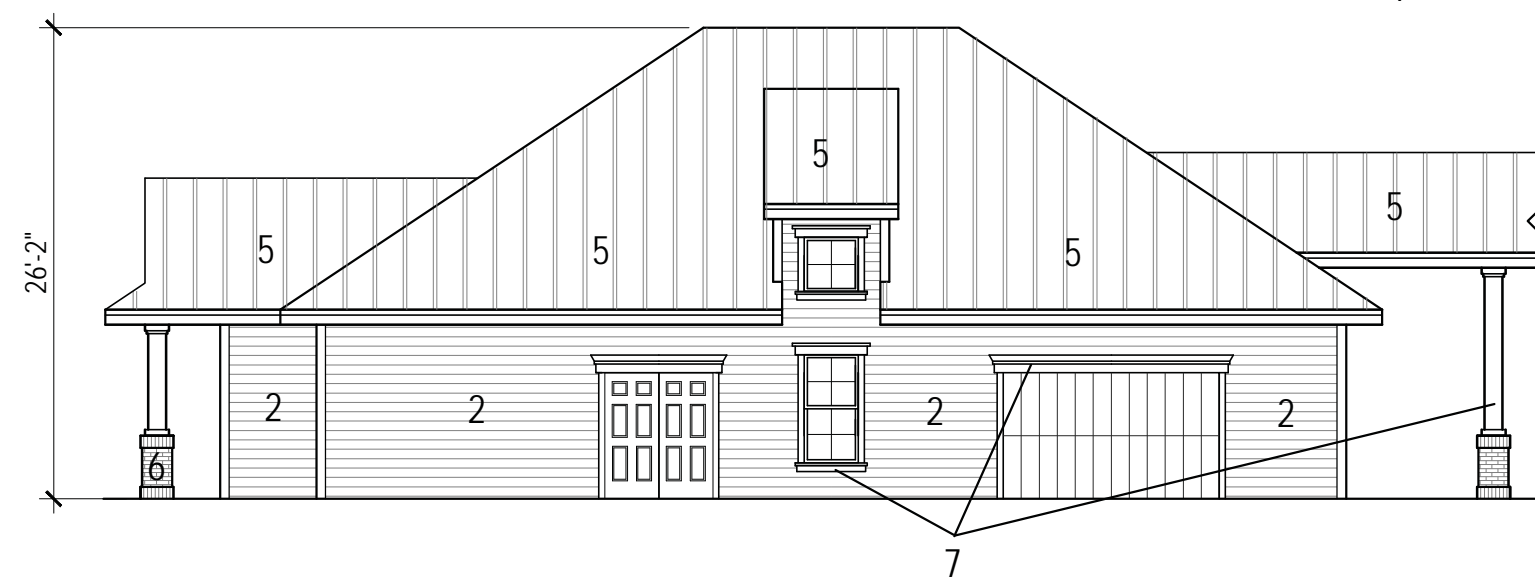
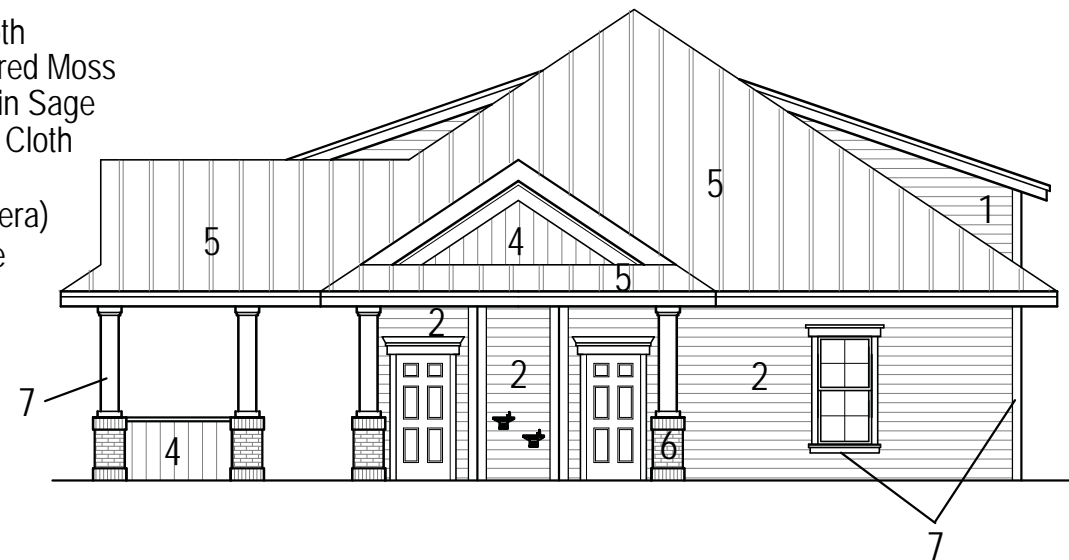
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Town of Hilton Head, South Carolina

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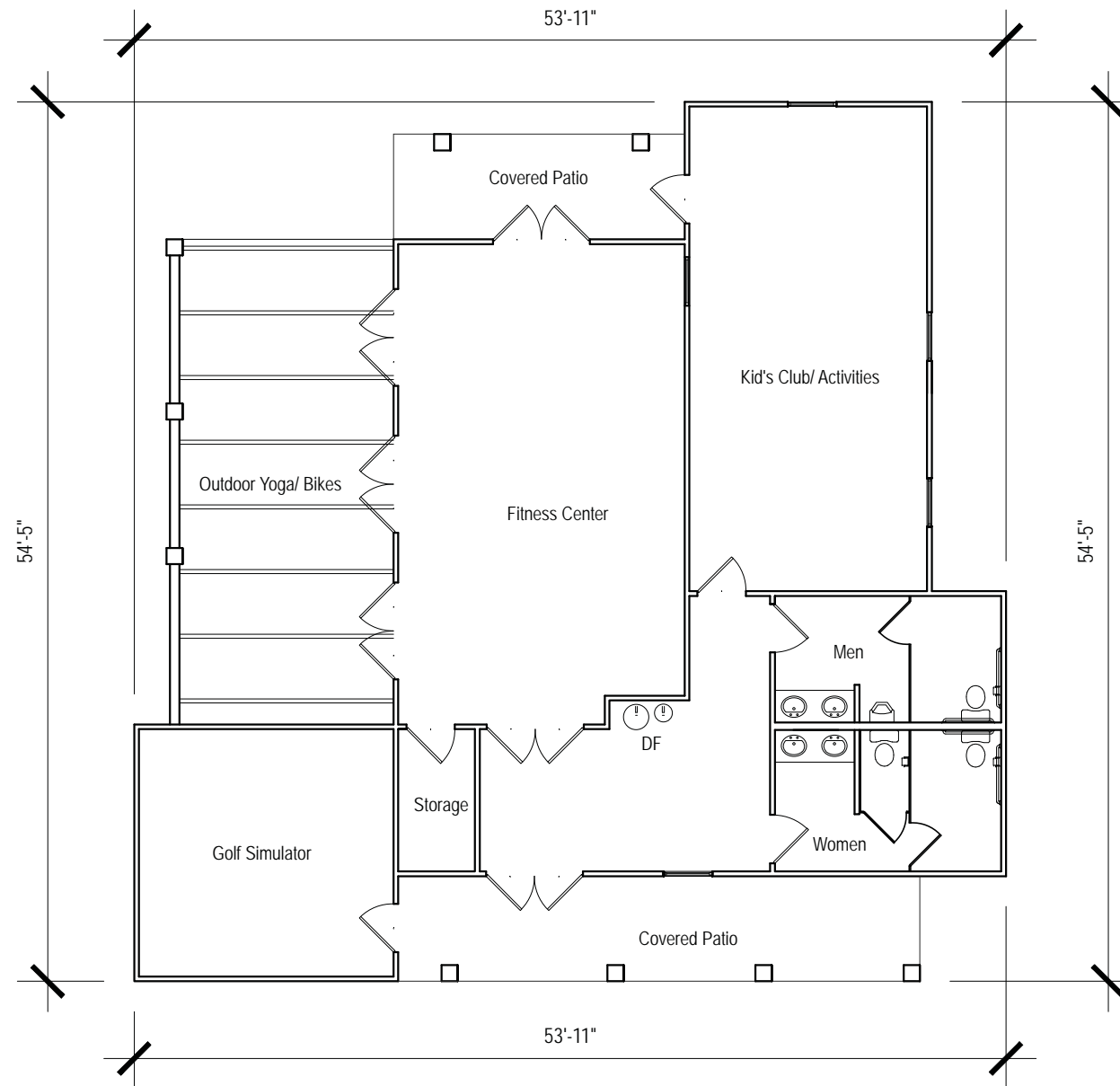
- 1-Hardie Lap Siding- Sail Cloth
- 2-Hardie Lap Siding- Heathered Moss
- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sail Cloth
- 5-Metal Roof- Silver
- 6-Brick- (Palmetto Brick- Riviera)
- 7-All trim and columns- White



1 Maintenance Building Rear and Right Elevation
SCALE: 3/32" = 1'-0"

HH Island Acquisition Partners, LLC	77 Folly Field Road	Town of Hilton Head, South Carolina
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Resort Community

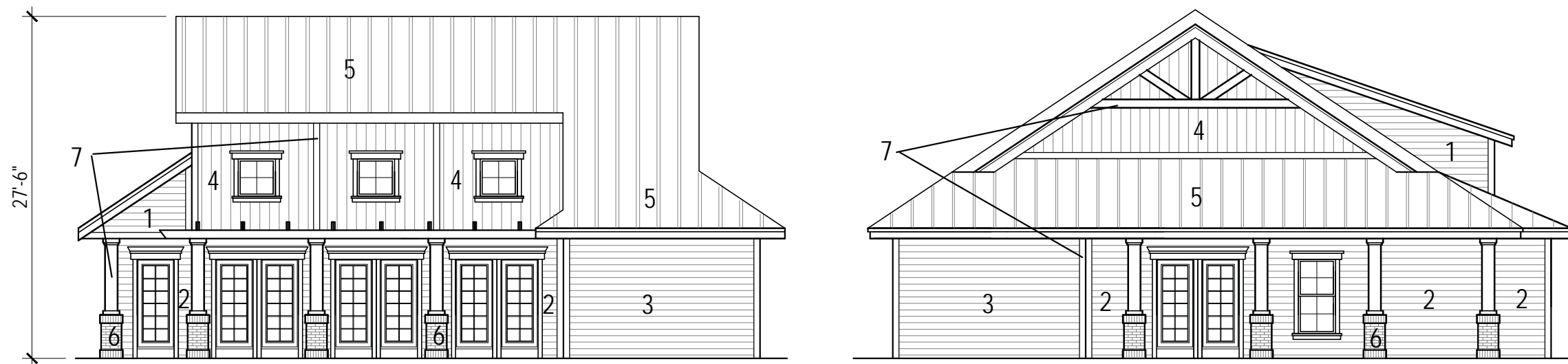


1 Fitness Center Plan
SCALE: 3/32" = 1'-0"

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- 1-Hardie Lap Siding- Sail Cloth
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- 6-Brick- (Palmetto Brick- Riviera)
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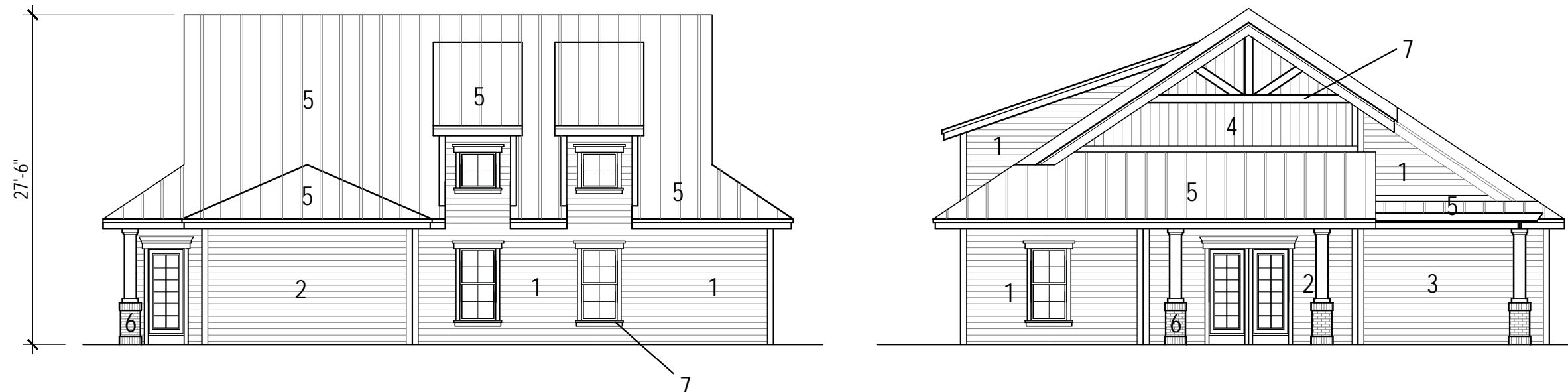


1 Fitness Center Front and Left Elevation
SCALE: 3/32" = 1'-0"

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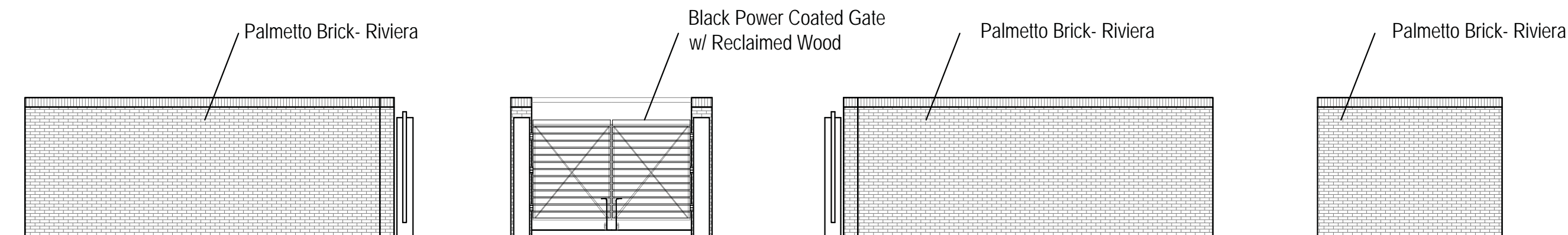
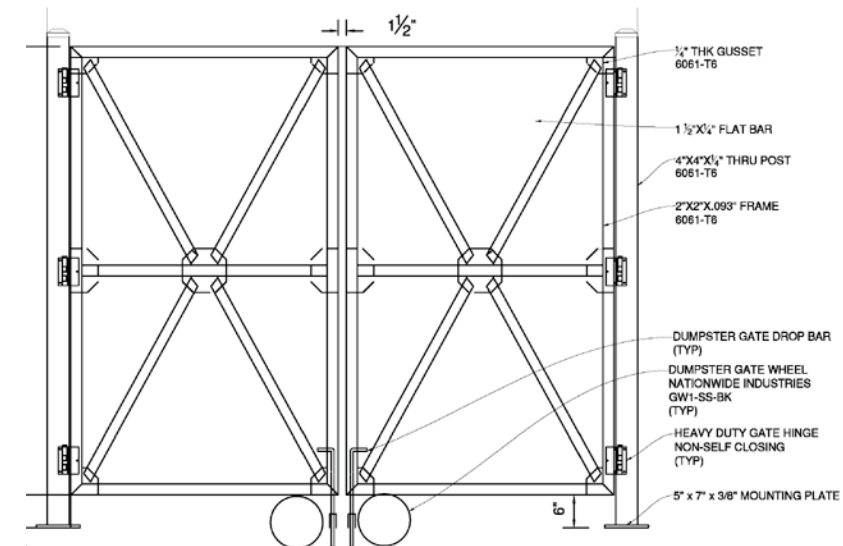
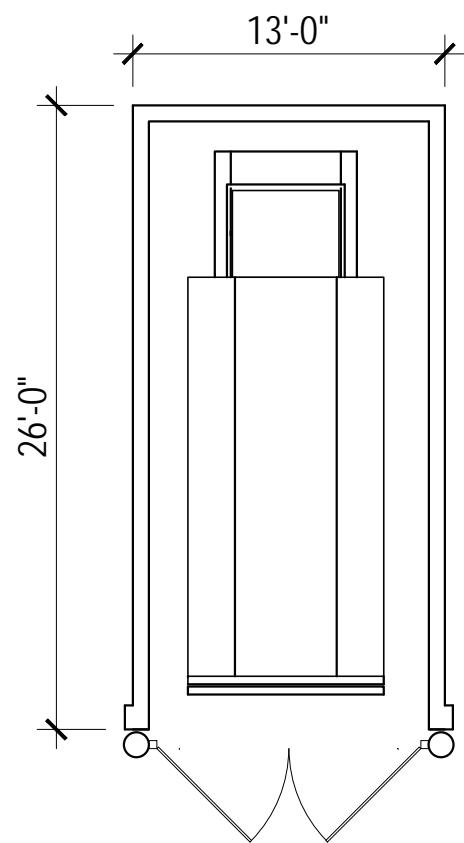
- 1-Hardie Lap Siding- Sail Cloth
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- 3-Hardie Lap Siding- Mountain Sage
- 4-Hardie Vertical Siding- Sail Cloth
- 5-Metal Roof- Silver
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- 7-All trim and columns- White



1 Fitness Center Rear and Right Elevation
SCALE: 3/32" = 1'-0"

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Resort Community

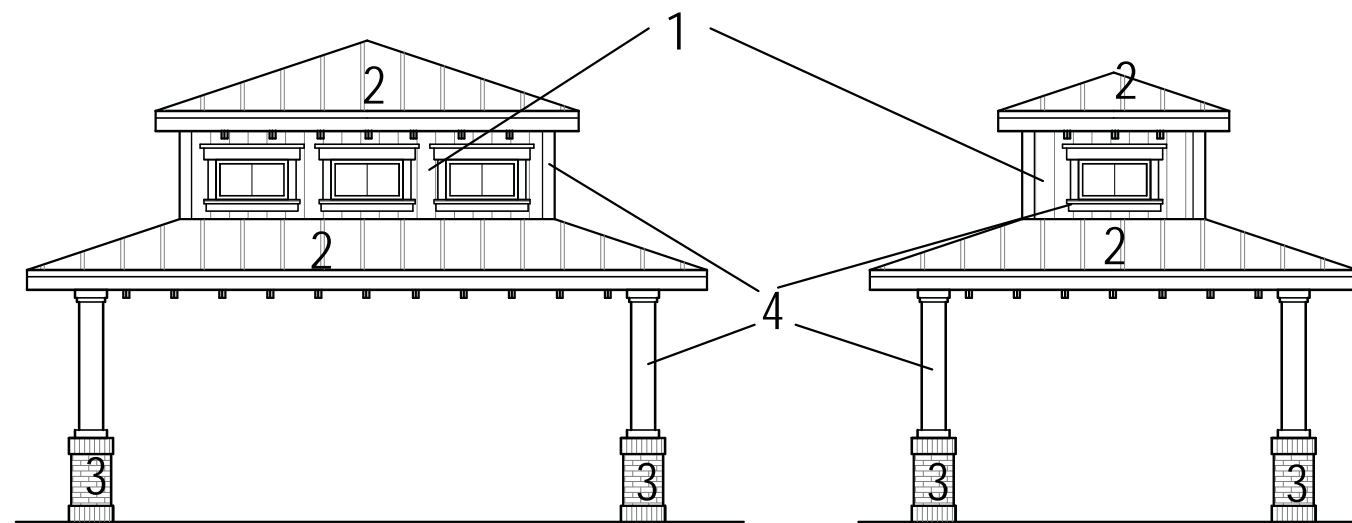


1 Compactor Plan and Elevations
SCALE: 1/8" = 1'-0"

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Resort Community

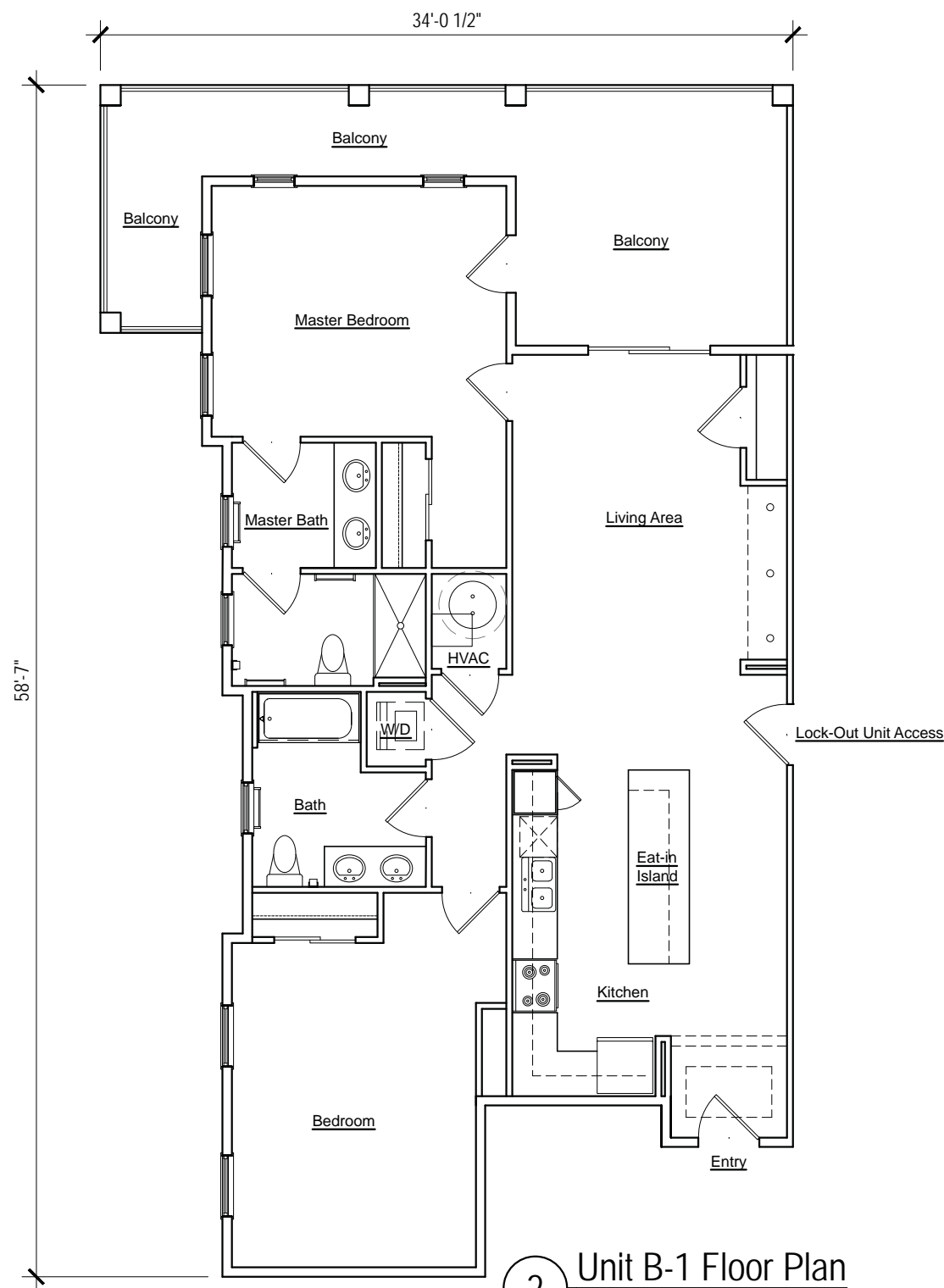
- 1-Hardie Vertical Siding- Sail Cloth
- 2-Metal Roof- Silver
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- 4-All trim and columns- White



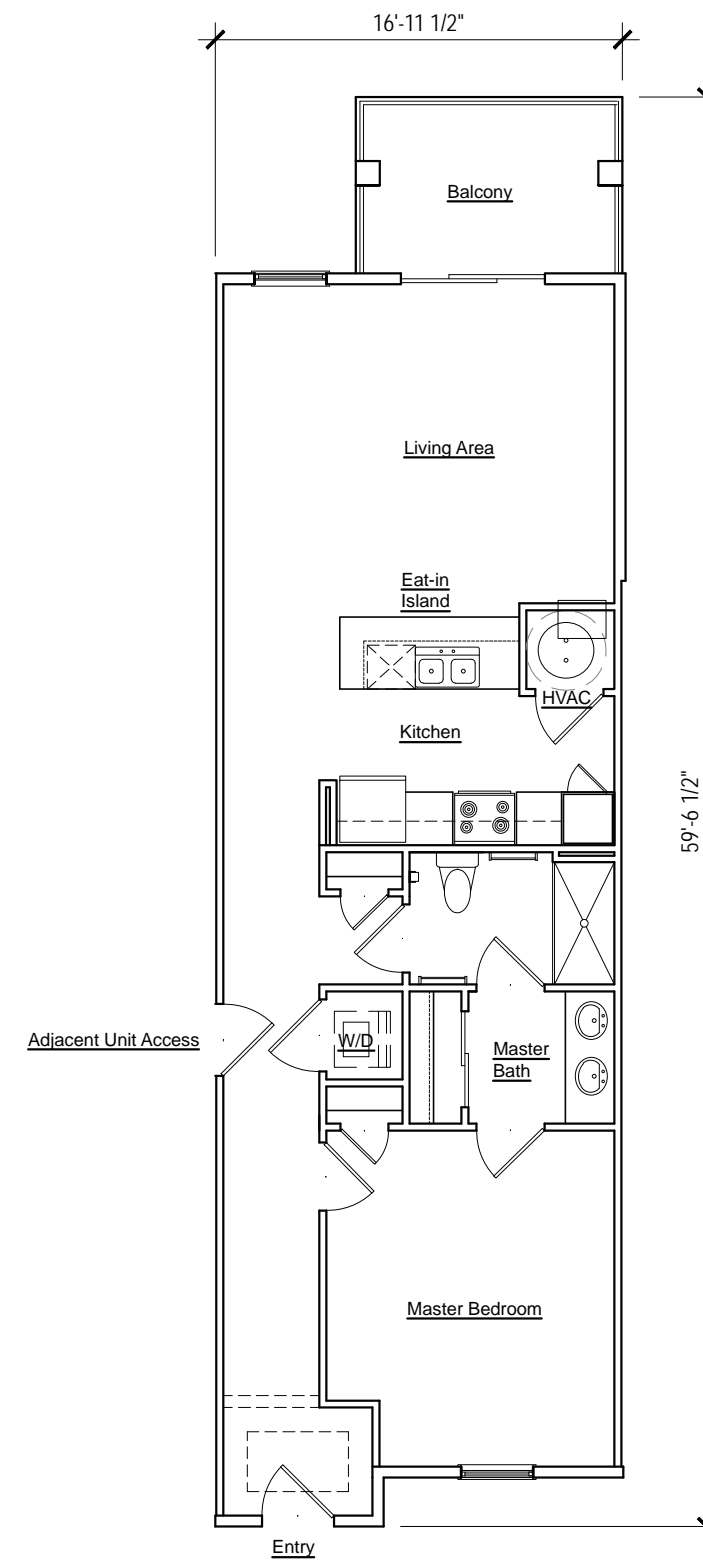
1 Picnic Shelter Elevation
SCALE: 1/8" = 1'-0"

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Resort Community



2 Unit B-1 Floor Plan
 SCALE: 1/8" = 1'-0" NET SF = 1,208 S.F.
 (34) Units on Site



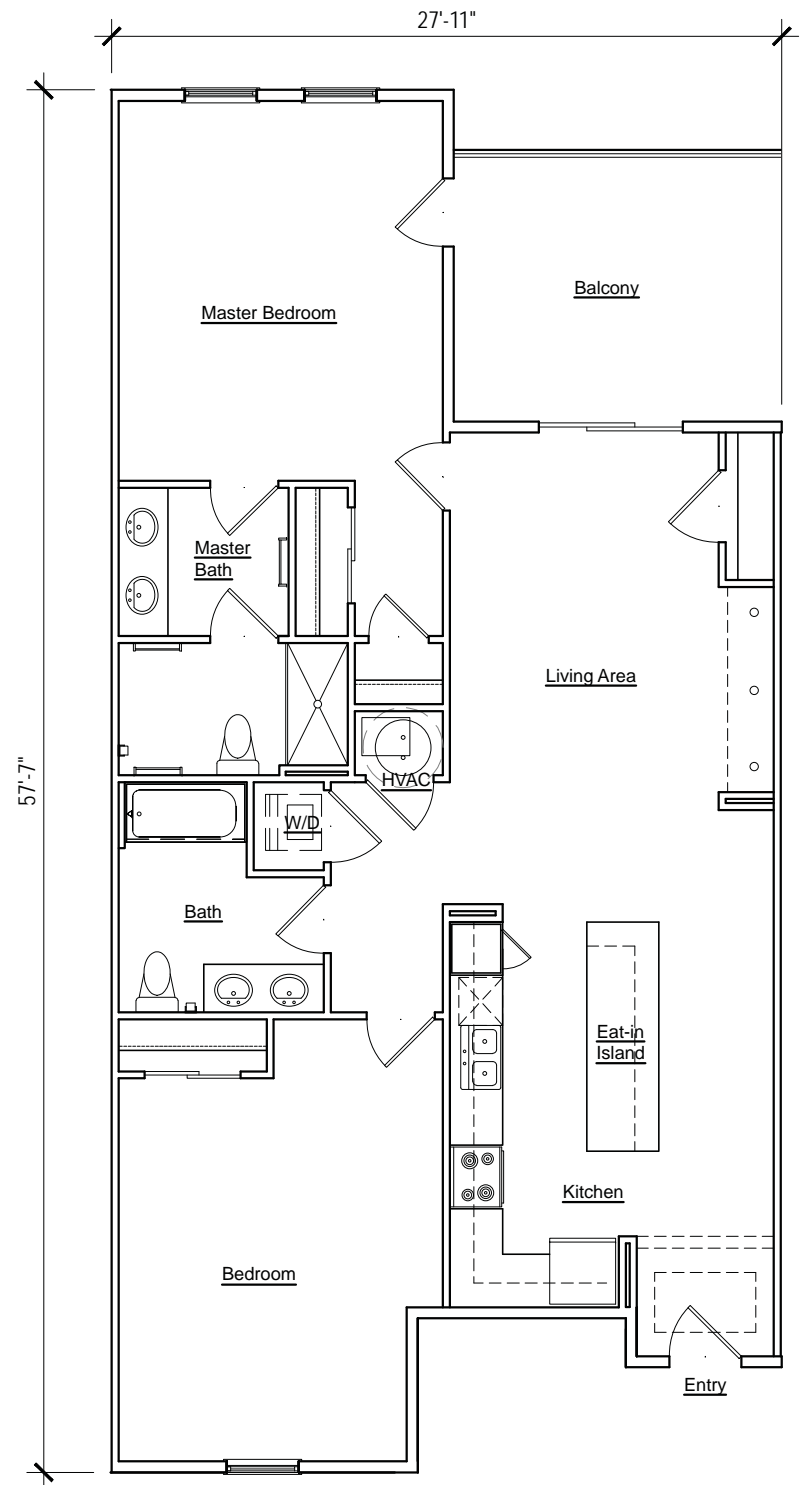
1 Unit A-1 Floor Plan
 SCALE: 1/8" = 1'-0" NET SF = 815 S.F.
 (58) Units on Site



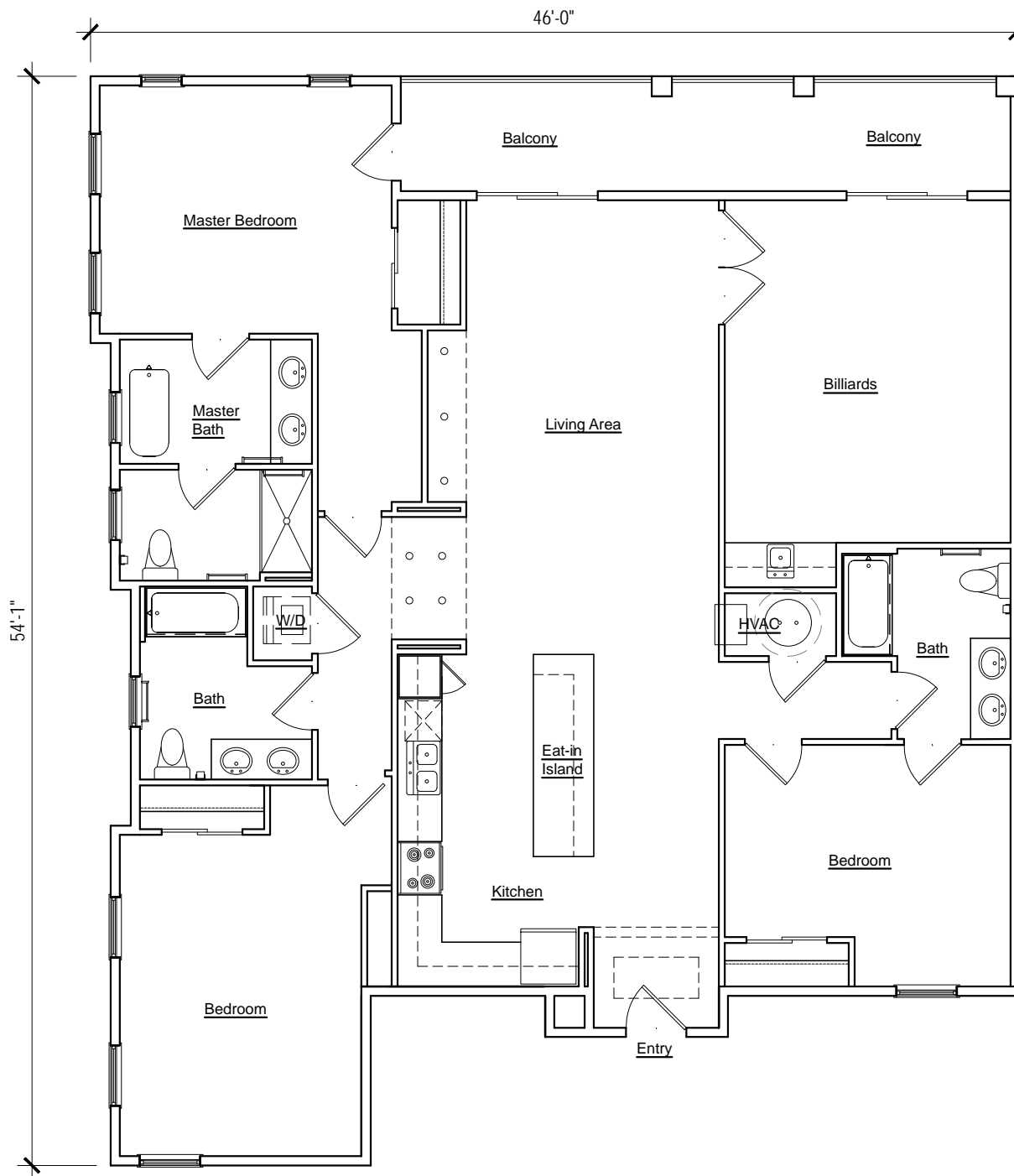
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2 Unit B-2 Floor Plan
 SCALE: 1/8" = 1'-0" NET SF = 1,219 S.F.
 (42) Units on Site



1 Unit C-1 Floor Plan
 SCALE: 1/8" = 1'-0" NET SF = 1,916 S.F.
 (14) Units on Site



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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 15 Wimbledon

DRB#: DRB-001339-2018

DATE: 05/30/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Light sources shall not exceed 3000K.
2. The light plan exceeds the average foot candle requirement.
3. Please provide a color board for review at the Final submittal.
4. The top of the elevator tower seems out of place. Consider alternatives to better incorporate it into the mass of the building.
5. Increasing the 4/12 roof slope to increase the visibility of the roof.
6. Delete all the gingerbread millwork.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider increasing the 4/12 roof slope to increase the visibility of the roof.
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delete all the gingerbread millwork.

MISC COMMENTS/QUESTIONS

1. Light sources shall not exceed 3000K.
2. The light plan exceeds the average foot candle requirement.
3. Please provide a color board for review at the Final submittal.
4. The top of the elevator tower seems out of place. Consider alternatives that better incorporate it into the general mass of the building.