



Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, March 27, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of March 13, 2018**
- 6. New Business**
 - A. New Development – Conceptual*
 - Starbucks Sea Turtle Marketplace, DRB-000708-2018
- 7. Board Business**
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
March 13, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Brian Witmer, Kyle Theodore, Michael Gentemann

Board Members Excused: Debbie Remke, Ron Hoffman

Town Council Present: David Ames

Town Staff Present: Brian Hulbert, Staff Attorney; Taylor Ladd, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – February 27, 2018

The Board approved the minutes of the February 27, 2018 meeting by general consent.

6. New Business

A. Alteration/Addition

- Marsh Point, DRB-000455-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval of the application as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the proposed colors blending with the existing neighborhoods and surrounds. The front doors will be the Urbane Bronze. The stairs, rails, pickets, ceilings and soffit will be the trim color.

Ms. Theodore made a motion to approve DRB-000455-2018 as submitted. Mr. Gentemann seconded. The motion passed with a vote of 5-0-0.

- The Grand, DRB-000535-2018 (Denied February 13, 2018)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. Pruning to accommodate the awning must be done by a licensed arborist to ISA standards and only 30% of the tree canopies can be removed.
2. A Pre-Pruning Meeting must be scheduled with the Town's Environmental Planner to determine if the awning can be installed without harming the trees and before any work can be started.
3. Provide a physical sample of the awning canvas in the proposed color.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board. The applicant proposed replacing SW 7068 Grizzle Gray with SW 7674 Peppercorn.

Chairman Gartner requested comments from the Board. The Board complimented the project. The Board was in agreement with Staff comments and confirmed the applicant was amenable to them. The Board favored Grizzle Gray, as the Peppercorn appears too dark. There are no modifications proposed to the landscaping. The chain link fence is to remain. Currently, the garbage area, kitchen propane tanks, and kitchen grease area are visible. The applicant indicated there have been discussions to address the landscaping, fencing, and screening through a future application. There was concern for using the two different types of railings in the complex – glass at the front and aluminum pickets at the back. Then there was discussion on the drawing that shows the handrail modules, connections, materials, frame and color are the same and consistent per side. The only change is a section of pickets versus a glass panel. The Board was generally acceptable of this. The Board shared Staff's concern regarding the tree canopies with the awning addition. The Board indicated a sample of the awning needs to be provided for approval.

Chairman Gartner asked for public comments and none were received. Chairman Gartner asked for a motion.

Vice Chairman Strecker made a motion to approve DRB-000535-2018 with the following conditions:

1. Pruning to accommodate the awning must be done by a licensed arborist to ISA standards and only 30% of the tree canopies can be removed.
2. A Pre-Pruning Meeting must be scheduled with the Town's Environmental Planner to determine if the awning can be installed without harming the trees and before any work can be started.
3. Provide a physical sample of the awning canvas in the proposed color for Staff review and approval.
4. SW 7068 Grizzle Gray is the darkest color permitted.
5. Recommendation for consideration of a future submission with modifications to the landscaping, screening the propane tanks, trash containers, kitchen can wash, and grease containers.

Mr. Witmer seconded. The motion passed with a vote of 5-0-0.

- Fish Patio, DRB-000543-2018 (Withdrawn February 13, 2018)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. Specify a wood preservative for the structure.
2. Add a note to the plans that no electrical conduit will be added to the structure.
3. Add a plant schedule for review and approval by Staff.
4. Add physical protection from foot traffic for the landscaping between the walk and patio for review and approval by Staff.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board complimented project. The applicant confirmed there is not a plan for electric under the trellis, ceiling fans or heaters. The Board agreed with Staff's comments. The structure is a better solution than previously proposed. The Board prefers a stain color, as the structure will appear unfinished if only a clear stain is applied. The suggestion was made to consider changing the brick rosette to a square, as it is generally a difficult detail to achieve. The columns of the larger structure over the bar are slightly off with the band. If it is shifted over it will interfere with the roof line. The Board expressed concern for the landscaping between the walk and patio area, and the area where the columns and bar seating meet. Individuals will cut through those areas if no sizeable barrier exists. There was discussion on what would work best for that location, a large planter or most preferably a mature hedge row at the time of planting. The Board indicated the proposed plantings are generally small in size and should be increased. A revised landscape plan needs to be submitted for review.

Chairman Gartner asked for public comments and none were received. Chairman Gartner asked for a motion.

Mr. Witmer made a motion to approve DRB-000543-2018 with the following conditions:

1. Specify a wood stain for the structure.
2. Add a note to the plans that no electrical conduit will be added to the structure.
3. Resubmit a landscape plan for Design Review Board review and approval.

Ms. Theodore seconded. The motion passed with a vote of 5-0-0.

B. New Development – Conceptual

- Wimbledon Court, DRB-000505-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff is in receipt of two e-mails in opposition to an onsite laundry facility. Staff recommends approval with the following conditions:

1. Staff comments as described in the Comment Sheet in the Board's packet shall be considered when preparing the final submittal.

Chairman Gartner asked for public comments. Public comments received related to the following: concerns for a laundry facility in the proposed location; the emergency access lane; access to homes; Wimbledon Court existing; traffic and access through Folly Field Road; concerns for traffic, safety, and parking; beach accessibility; disturbance of the lagoon; proposed colors of the buildings; and securing the perimeter of the property.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and addressed the public concerns.

Chairman Gartner requested comments from the Board. The Board discussed and made inquiries regarding the following:

- Provide an improved site plan for review
- Consider rotating the maintenance building to lessen the impact to neighboring properties
- Revise the color palette to reflect Island Character; limit white color, if any
- Combination of underground stormwater detention and small area of detention ponds
- The landscaping between the two four-story buildings needs attention and to be brought to pedestrian scale
- The three-story building architecture is in character
- The four-story building looks urban and needs to be revisited
- The fourth floor of the four-story building is not in character with the neighboring properties and Design Guide
- Review roof slope and pitch minimum in the Design Guide
- Review the Design Guide for general guidance regarding architecture
- Most surrounding buildings are three-story and not over parking, therefore, strong consideration needs to be given to breaking down building mass
- Concerns for the four-story buildings flanking the entry drive with the one-story clubhouse at the end; revisit the site in general and with heavy landscaping and more mature plantings
- Where two three-story buildings are adjacent, consider one drive aisle to serve both buildings and add landscaping to help soften the buildings
- Add as much landscape buffer as possible between the buildings and in the corridor areas
- Regarding the building elevations, when there is a change in materials there needs to be a change in plane
- Provide detail and more connectivity to the Wimbledon Court side
- Roofs would need to be standing seam metal
- Provide additional information for final submittal, including, but not limited to: site plan; retention pond information; landscape plan; tree and topographic survey; wall sections; roof plan; location and screening of utilities and mechanical equipment; provide lighting packages; details on materials, brick, hardware, stucco, fencing, common areas
- Consider incorporating pedestrian walks and provide specifics (paver walks, asphalt)
- Provide clubhouse detail, substrates, lighting package
- Consider all of Staff's comments

Upon the conclusion of the discussion, the applicant withdrew the application.

C. *Sign*

- BOA Sign, DRB-000503-2018 (Denied January 9, 2018)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following condition:

1. "Greek Villa" will appear white in the sunlight. Staff recommends replacing SW "Greek Villa" with SW 6126 "Navajo White" on sign structure and sign panel.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant indicated they will change "Greek Villa" to "Navajo White".

Chairman Gartner requested comments from the Board. The Board confirmed the existing lighting is to remain and no additional lighting is being proposed. The bronze color proposed for the letters were fine with the Board. Some members of the Board expressed preference to the muted shades of the logo colors.

Ms. Theodore made a motion to approve DRB-000503-2018 with the SW 6126 "Navajo White". Vice Chairman Strecker seconded. The motion passed with a vote of 5-0-0.

7. Board Business

A. Review of draft letter to Planning Commission / Town Council regarding lighting

Vice Chairman Strecker made a motion to approve the letter as written. Mr. Gentemann seconded. The motion passed with a vote of 5-0-0.

8. Staff Report

Board training will begin immediately following this meeting.

9. Appearance by Citizens

Frank Babel presented statements regarding the 2nd Annual Southeast Biking Symposium scheduled for March 22-24 and invited the Board to attend.

10. Adjournment

The meeting was adjourned at 3:39 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Jake Gartner, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: 3.13.18
 Accepted by: Sarah W.
 DRB #: 000708-2018
 Meeting Date: _____

Applicant/Agent Name: JASON BROENE Company: COURT ATKINS GROUP
 Mailing Address: P.O. Box 3978 City: BLUFFTON State: SC Zip: 29910
 Telephone: 843-815-2557 Fax: 843-815-2547 E-mail: jason.broene@courtatkins.com
 Project Name: Starbucks at Sea Turtle Market place Project Address: 416 William Hilton Parkway
 Parcel Number [PIN]: R511 008 000 0247 0000
 Zoning District: COMMUNITY COMMERCIAL Overlay District(s): CORRIDOR + AIRPORT

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

3/13/18

DATE

DESIGN REVIEW BOARD CORRIDOR

PROJECT NARRATIVE

CONCEPTUAL DRB SUBMITTAL

STARBUCKS

Project Information:

Project Name: Starbucks @ Sea Turtle Marketplace (Former Pineland Station) Redevelopment

Location: 430 William Hilton Parkway

Pre-Application Number: PAPP-001263-2017

Project Contacts:

Developer:

WD-1 Associates
Virginia Beach, VA 23451
404-309-3444

Architect:

Court Atkins Architects, Inc.
P.O. Box 3978
Bluffton, SC 29910
843-815-2557

Civil Engineer:

LeCraw Engineering
3475 Corporate Way, Suite A
Duluth, GA 30096
678-546-8100

Landscape:

Wood+Partners, Inc.
P.O. Box 23949
Hilton Head Island, SC 29925
843-681-6618

Project Description

Site Narrative:

The proposed site redevelopment of Starbucks at Sea Turtle Market Place addresses existing site constraints by reconfiguring vehicular circulation and the drive-thru orientation. The existing drive-thru window is located on the western side of the building, backing cars up to US Highway 278. The proposed layout relocates the drive-thru on the eastern side of the building, allowing the site to conform to current LMO stacking distance standards. An effort was made to retain as much existing vegetation as possible, while accommodating the new land plan. All proposed bike racks, bollards, and site lights will match existing fixtures in the shopping center.

Building Narrative:

As part of the Sea Turtle Marketplace redevelopment, the architectural design and character was intended to provide an updated beach and Lowcountry inspired aesthetic to the center with the Stein Mart façade renovation, new Junior Anchor buildings, and new out parcel buildings G and F. The next phase in the redevelopment is to replace the existing fire damaged Starbucks building with a new 2,200 sqft. Starbucks that will reflect the materials and characteristics of the recently completed buildings within the marketplace and provide its own identity on the site. The site and building design has been a collaborative design effort between the Developer, Starbucks Design Team, Court Atkins Group and Wood and Partners. Architectural elements include sloped metal roofs with generous overhangs, aluminum storefront window systems, horizontal cementitious lap siding and trim, and decorative cylindrical light fixtures. Building colors will include charcoal metal roofing, storefront frames, and light fixtures as seen throughout the marketplace and siding colors in the gray tones to include Sherwin Williams Reserved White (cementitious trim), Night Owl and Gray Clouds (3" and 6" cementitious lap siding).

Other Review Board Approvals:

None.



LOOKING NORTH TOWARDS HWY 278/STARBUCKS ENTRANCE



LOOKING SOUTHWEST AT EXISTING STARBUCKS

STARBUCKS AT SEA TURTLE MARKETPLACE
March 13, 2018



LOOKING WEST AT EXISTING STARBUCKS



LOOKING SOUTH AT STEIN MART FACADE RENOVATION

STARBUCKS AT SEA TURTLE MARKETPLACE
March 13, 2018



LOOKING SOUTH AT JR. ANCHORS



LOOKING WEST AT JR. ANCHORS

STARBUCKS AT SEA TURTLE MARKETPLACE
March 13, 2018



LOOKING NORTH AT BUILDING F



LOOKING WEST AT BUILDING F, STARBUCKS SITE BEYOND

STARBUCKS AT SEA TURTLE MARKETPLACE
March 13, 2018

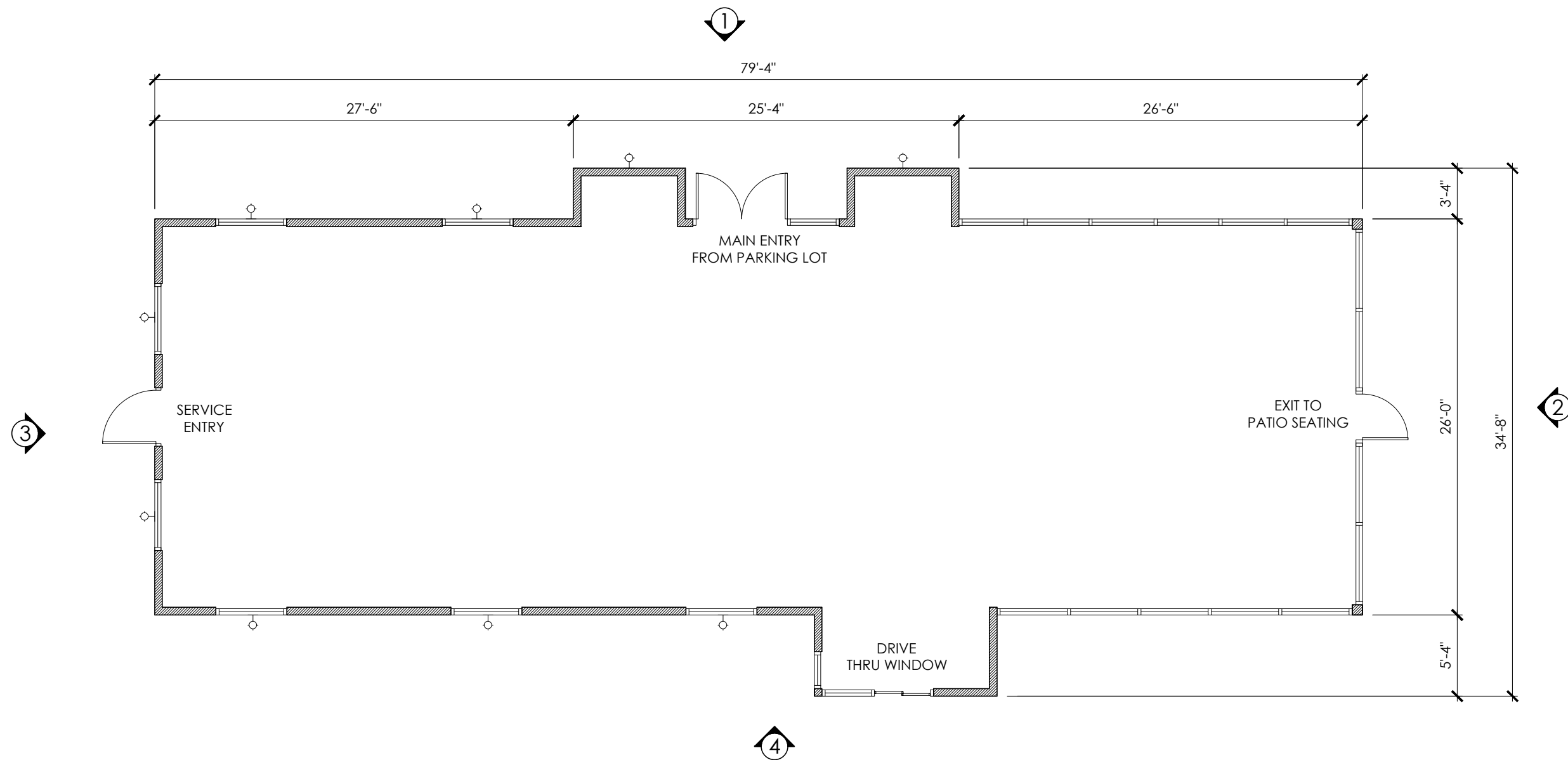


LOOKING EAST AT THE MAIN ENTRANCE

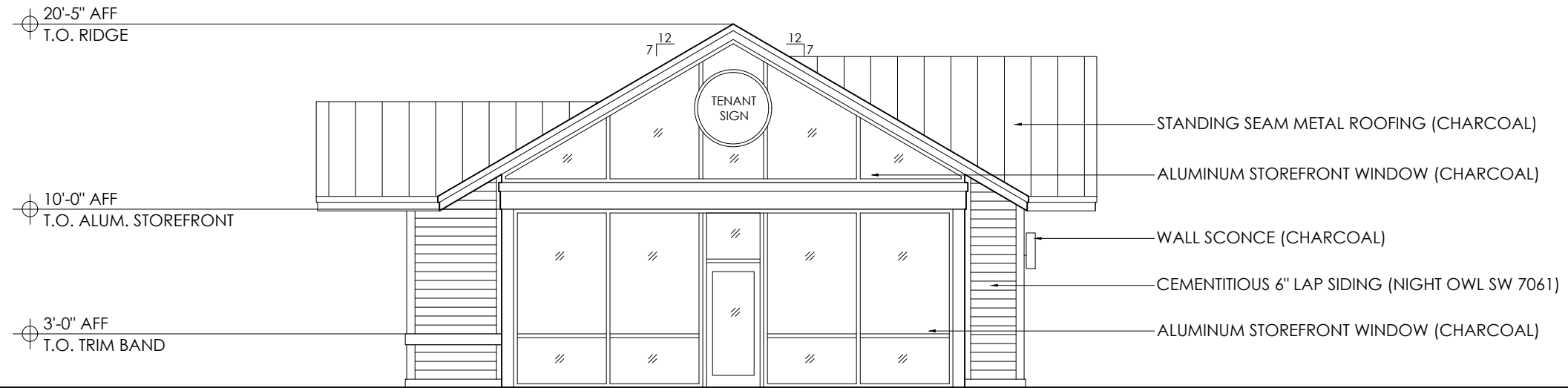


LOOKING WEST AT STARBUCKS FROM THE MAIN ENTRANCE

STARBUCKS AT SEA TURTLE MARKETPLACE
March 13, 2018



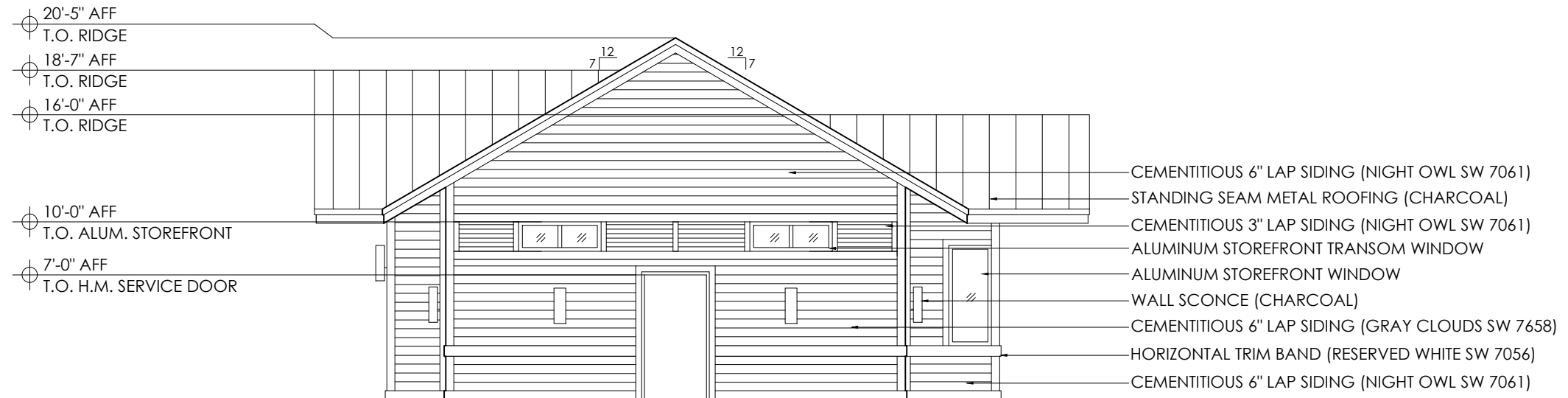
1 FLOOR PLAN
SCALE 1/8" : 1'-0"



2 NORTH ELEVATION
SCALE 1/8" : 1'-0"



1 WEST ELEVATION
SCALE 1/8" : 1'-0"



3 SOUTH ELEVATION
SCALE 1/8" : 1'-0"



4 EAST ELEVATION
SCALE 1/8" : 1'-0"



Wheeler Starbucks Model

03/12/2018



© COPYRIGHT 2018 COURT ATKINS GROUP



Wheeler Starbucks Model

03/12/2018



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Wheeler Starbucks Model

03/12/2018

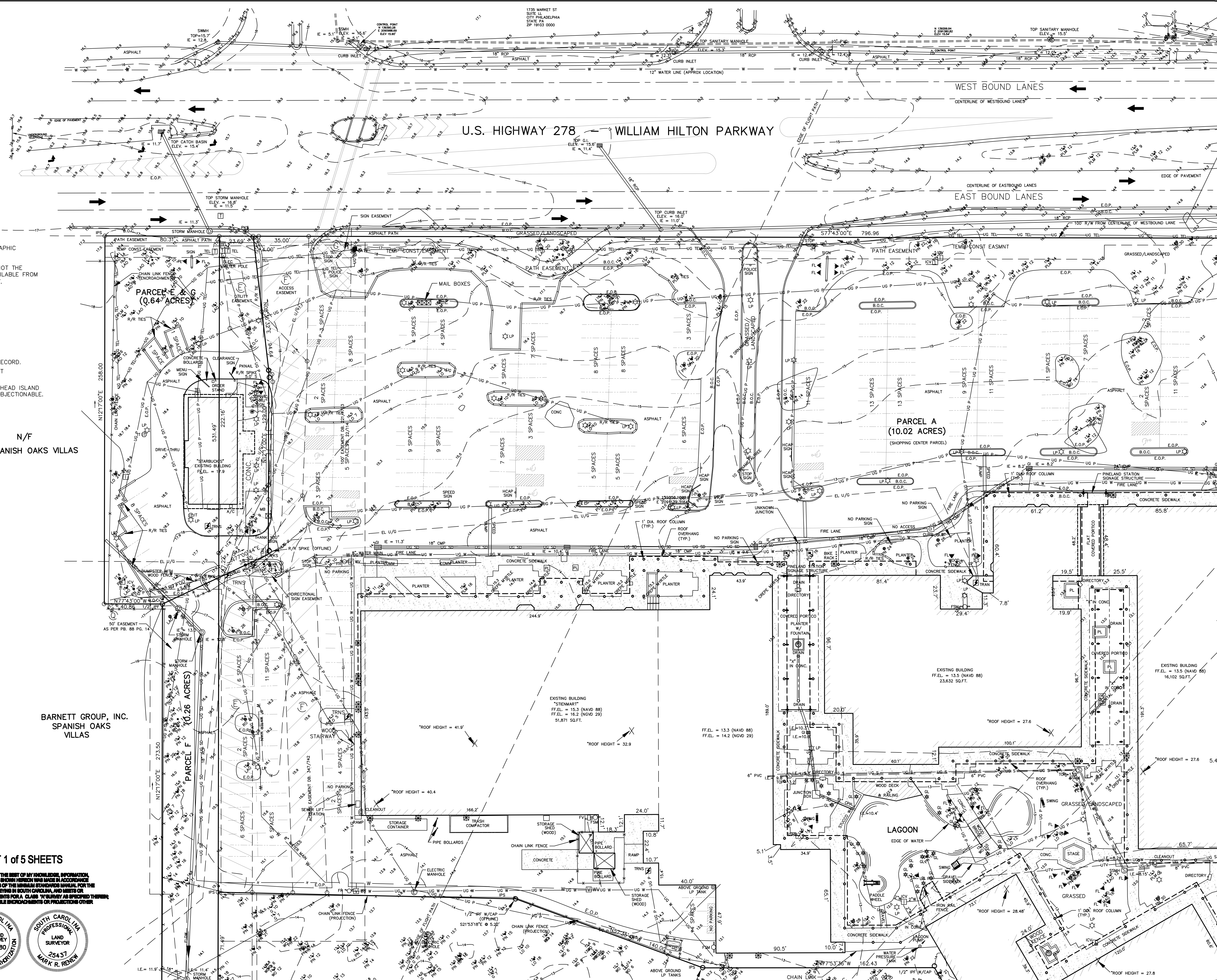
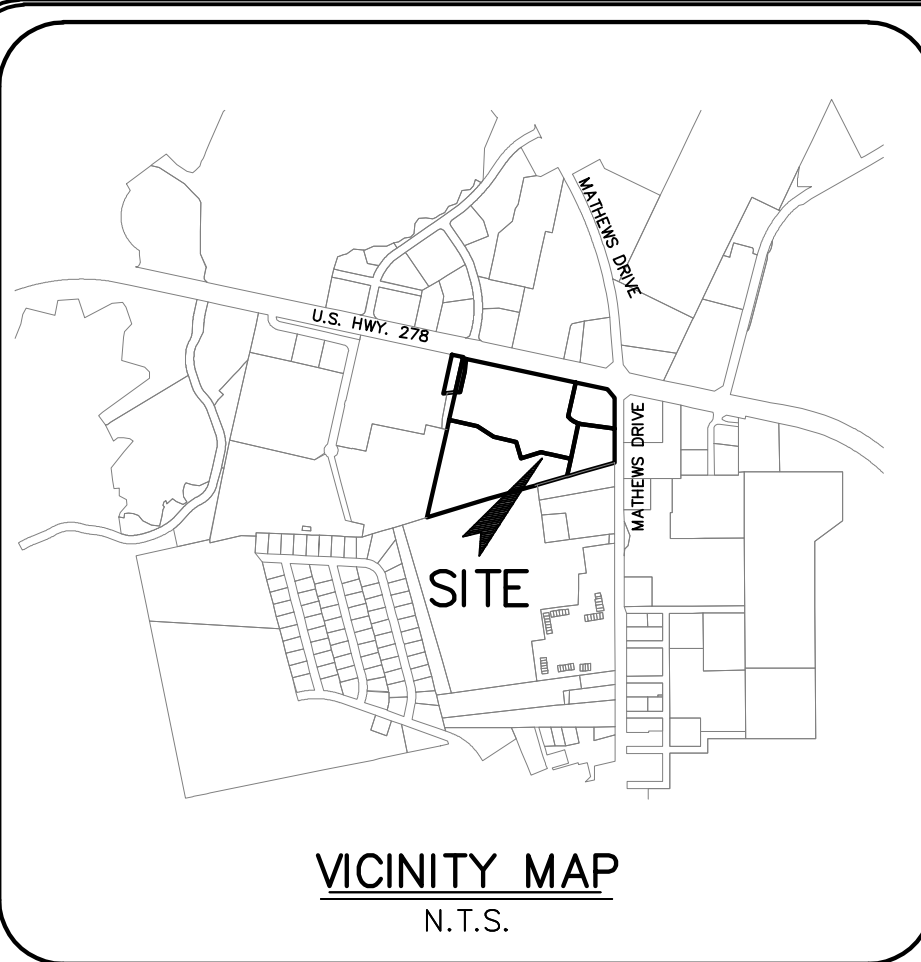


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Wheeler Starbucks Model

03/12/2018



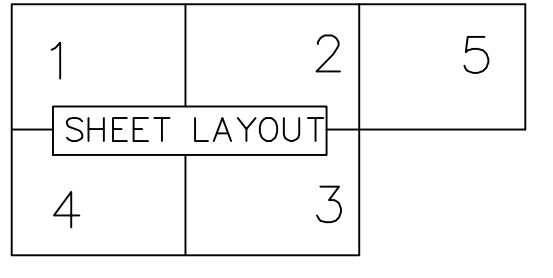
- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - 4) HORIZONTAL DATUM IS LOCAL S.C. STATE PLANES NAD 83
 - 5) VERTICAL DATUM IS NAVD88
 - 6) CONTOUR INTERVAL IS 1'
 - 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
 - 10) THIS PROPERTY LIES EITHER PARTIALLY OR WHOLLY WITHIN THE HILTON HEAD ISLAND AIRPORT OVERLAY DISTRICT AND IS SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	40.27	148.29	40.15	S46°57'30"E	15°33'38"
C2	52.68	164.37	52.45	S64°34'56"E	18°21'41"
C3	25.80	164.37	25.77	S78°15'33"E	8°59'30"

LINE TABLE

LINE	LENGTH	BEARING
L1	7.00	S89°53'00"E



AREA TABLE

PARCEL A = 10.02 Ac.
PARCEL B = 1.90 Ac.
PARCEL C = 2.04 Ac.
PARCEL D = 8.35 Ac.
PARCEL F = 0.26 Ac.
PARCEL G = 0.64 Ac.
TOTAL = 23.264 Ac.
WETLANDS = 3.197 Ac.

ADDRESS: 340 WILLIAM HILTON PARKWAY
 DISTRICT: 511, MAP: 8,
 PARCELS: 98B, 98E, 156, 247, 248 & 249
 THIS PROPERTY LIES IN F.E.M.A.
 COMMUNITY #: 450250
 PANEL #: 0008D & 0009D
 DATE: 09/29/86
 FLOOD ZONE: A7-14.0' (NGVD 29), B & C

ASBUILT, BOUNDARY, TREE
 AND TOPOGRAPHIC SURVEY OF:
 PARCELS: 98B, 98E, 156, 247, 248 & 249
 MAP 8, DISTRICT 511, HILTON HEAD ISLAND,
 BEAUFORT COUNTY, SOUTH CAROLINA

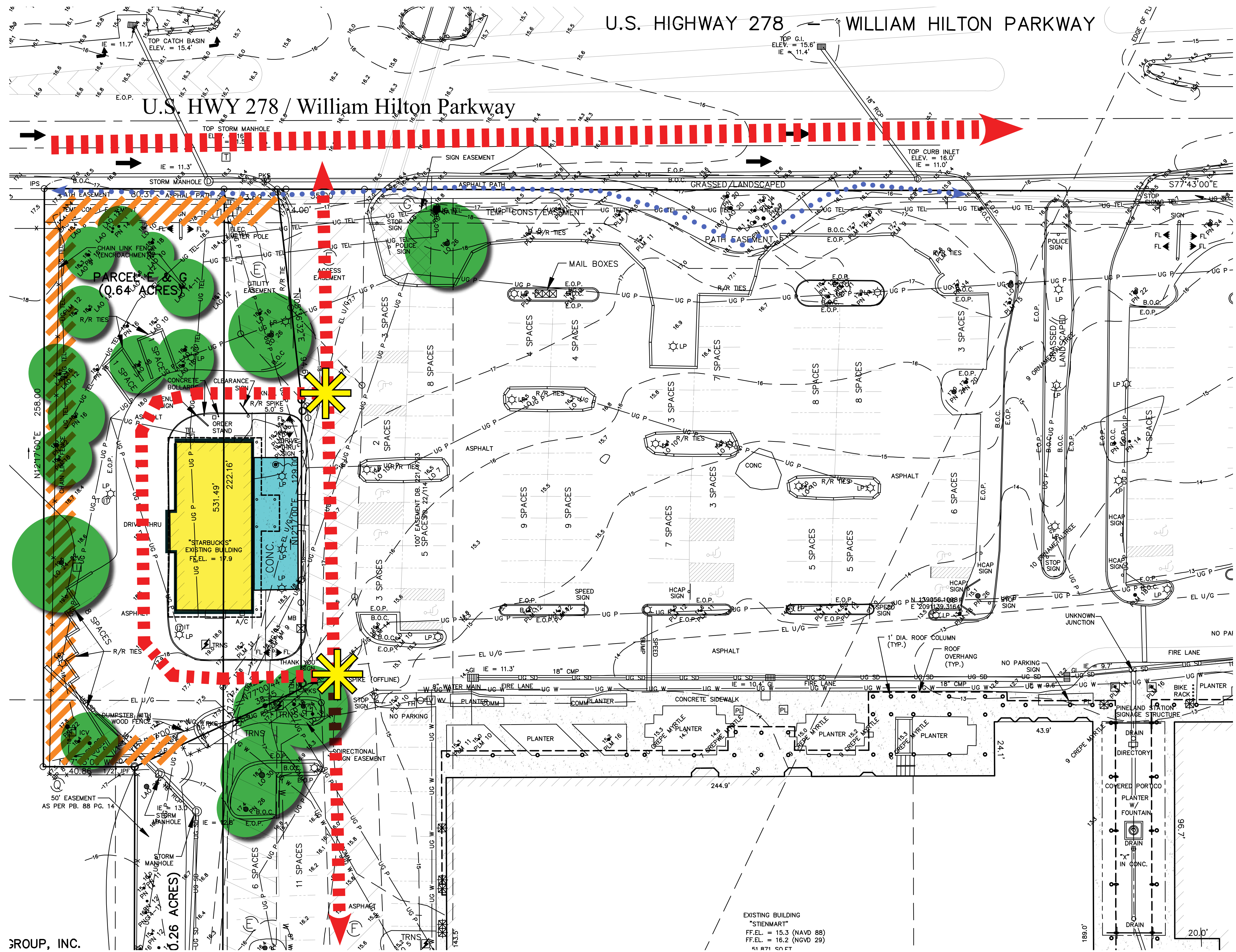
PREPARED FOR:
 PINELAND ASSOCIATES LLC
 DATE: 6/12/15
 SCALE: 1" = 30'

SHEET 1 of 5 SHEETS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL AND HANDBOOK FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

SIS Sea Island Land Survey, LLC.
 4D Mathews Court,
 Hilton Head Island,
 SC 29926
 Tel (843) 681-3248
 Fax (843) 689-3871
 E-mail: sis@sprynet.com
 FILE No.: 03018/10 DWG No.: 5-1630

U.S. HWY 278 / William Hilton Parkway



Legend

- Pedestrian Circulation
- Vehicular Circulation
- Outdoor Dining Area
- Significant Tree Canopy
- Intersection
- Adjacent Street/Use Buffers
- Existing Building

Starbucks at Sea Turtle Marketplace

Site Analysis
March 13, 2018

SITE KEY LEGEND:

S1 CONCRETE WALK W/ OYSTER SHELL FINISH DETAIL 1 / L300	S8 DECORATIVE LIGHT BOLLARD DETAIL 5 / L300
S2 CONCRETE WALK W/ BROOM FINISH DETAIL 1 / L300	S9 HD CONCRETE (BY OTHERS)
S3 PEDESTRIAN PAVERS DETAIL 2 / L300	
S4 ADA CURB RAMPS DETAIL 4 / L300	
S5 ALUMINUM FENCE DETAIL 7 / L300	
S6 DUMPSTER ENCLOSURE DETAIL 1 / L300	
S7 SITE BOLLARD DETAIL 6 / L300	

PAVING / MATERIAL SCHEDULE:

CONCRETE WALK W/ OYSTER SHELL FINISH: 50:50 MIX OF #2 & #3 SHELL @ 2LBS/SF SEE DETAIL 1 / L300
CONCRETE WALK W/ BROOM FINISH: SEE DETAIL 1 / L300
HD CONCRETE: (SEE CIVIL PLANS)
CONTROL JOINT: (SEE CIVIL PLANS)
EXPANSION JOINT: (SEE DETAIL 1 / L300)
PEDESTRIAN PAVERS: LOWCOUNTRY PAVER PLANTATION PAVER W/ SINGLE HEADER BORDER COLOR: DAUFUSKIE BLEND (HATCH PATTERN DENOTES HERRINGBONE PATTERN DIRECTION) SEE DETAIL 2 / L300
ADA DETECTABLE WARNING: MANUFACTURER: CASTEX, INC./TRANPO INDUSTRIES, INC. COLOR: CHARCOAL GREY
PL PLANTER

SITE FURNISHINGS & LIGHTING SCHEDULE:

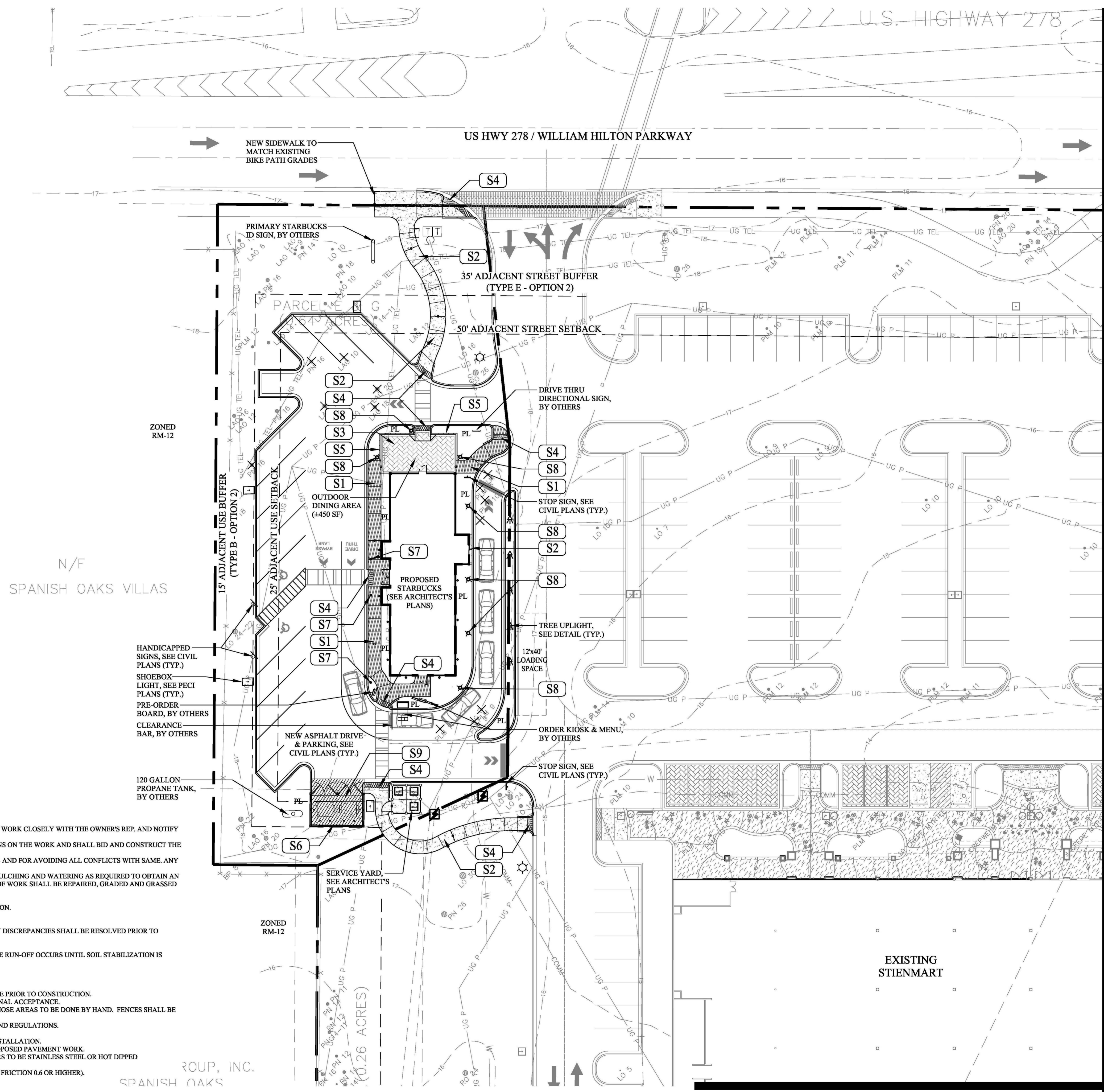
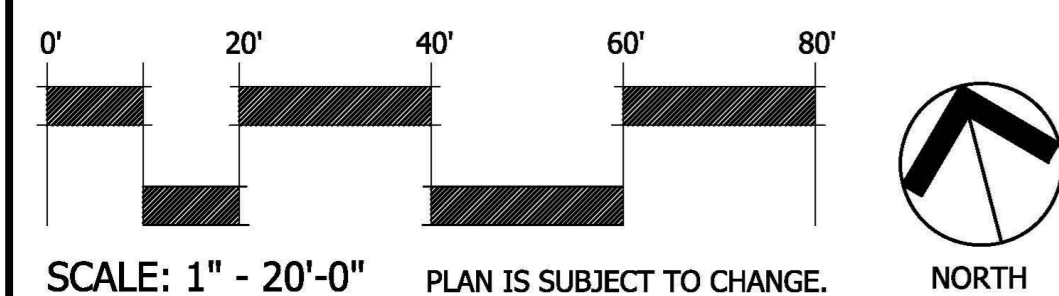
- SITE BOLLARD (3 TOTAL):**
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED BOLLARD
COLOR: BRONZE
FINISH: METALLIC
SEE DETAIL 6 / L300
- DECORATIVE BOLLARD LIGHT (7 TOTAL):**
ATTRACTION LIGHTS 6 x 6 x 42" BOLLARD LIGHT - GRASS DESIGN
POWDERCOAT W/ RUBBED BRONZE FINISH
LAMP: 10W, 3,000K LED
GROUND MOUNT PER MANUFACTURER'S RECOMMENDATION
PH: 970-316-0019
SEE DETAIL 5 / L300
- TREE UPLIGHT (5 TOTAL):**
KICHLER LIGHTING WIDE FLOOD UPLIGHT
MODEL: 1608B-BB-3,000K 15609 JUNCTION
BOX MOUNTING BRACKET
COLOR: BRONZE BRASS
LAMP: 12V 6.5W 60 DEGREE WIDE FLOOD
SEE DETAIL 3 / L300
- SITE SHOEBOX LIGHT:**
(APPROXIMATE LOCATIONS, SEE PECL PLANS)

SITE SUMMARY:

PARCEL NUMBER:	R511 008 000 0247 0000
GROSS SITE AREA:	0.64 ACRES
MAXIMUM IMPERVIOUS COVER:	60%
ZONING DISTRICT:	CC
OVERLAY DISTRICT:	CORRIDOR OVERLAY
TREE TO BE REMOVED	

GENERAL SITE PLAN NOTES:

- THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL BUILD ELEMENTS DEPICTED HEREIN.
- THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
- SEE CIVIL PLANS FOR ALL DEMOLITION INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
- CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
- CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
- ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
- SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
- SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- COORDINATE WITH PALMETTO ELECTRIC FOR AREA LIGHTS AND PROVIDE CONDUIT SLEEVING FOR ALL WIRING UNDER PAVEMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
- ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
- CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (IE. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAWINGS PRIOR TO PAVEMENT INSTALLATION.
- CONTRACTOR SHALL PROVIDE 4 x 4" (MINIMUM) MOCK UP PANELS OF ALL PAVEMENT & PAVEMENT TYPES. IF APPROVED, MOCK UP CAN BE A PART OF PROPOSED PAVEMENT WORK.
- CONTRACTOR TO PERMANENTLY ANCHOR ALL SITE FURNISHINGS & BOLLARDS TO PAVEMENT PER MANUFACTURER'S REQUIREMENTS. ALL FASTENERS TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.
- ALL PAVEMENT SURFACES TO BE STABLE, FIRM AND SLIP RESISTANT, COMPLYING WITH ADA STANDARDS, ASTM C-1028 (WET STATIC COEFFICIENT OF FRICTION 0.6 OR HIGHER).



Wheeler Development
Virginia Beach, Virginia

PERMIT DOCUMENTS
FOR
STARBUCKS
AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY

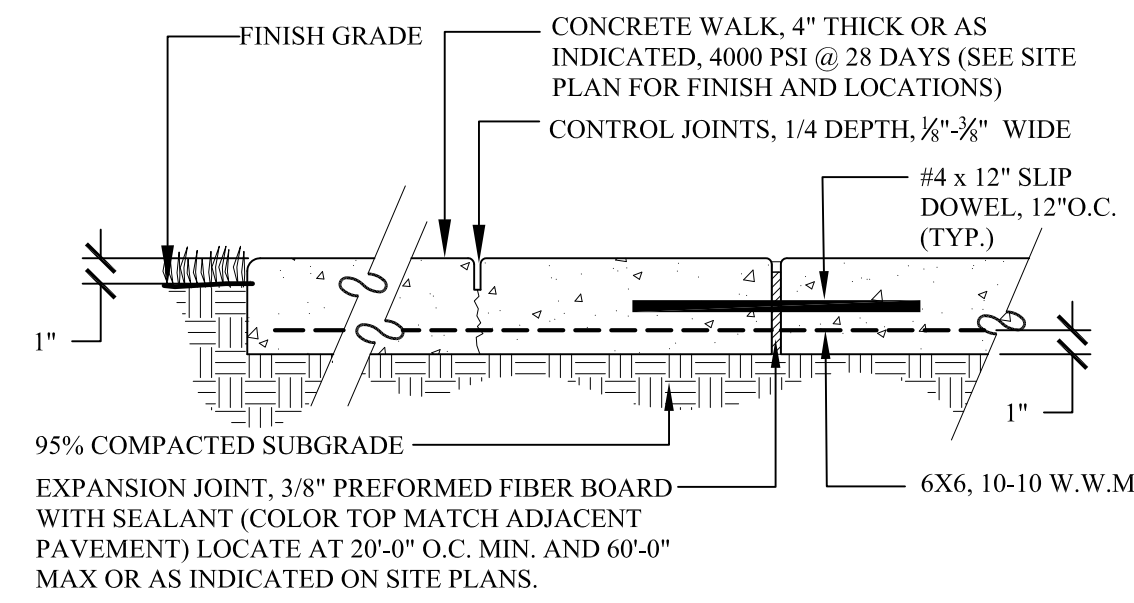
DATE
03-13-2018
PROJECT NUMBER
01-17036
SHEET TITLE
SITE PLAN

SHEET NUMBER

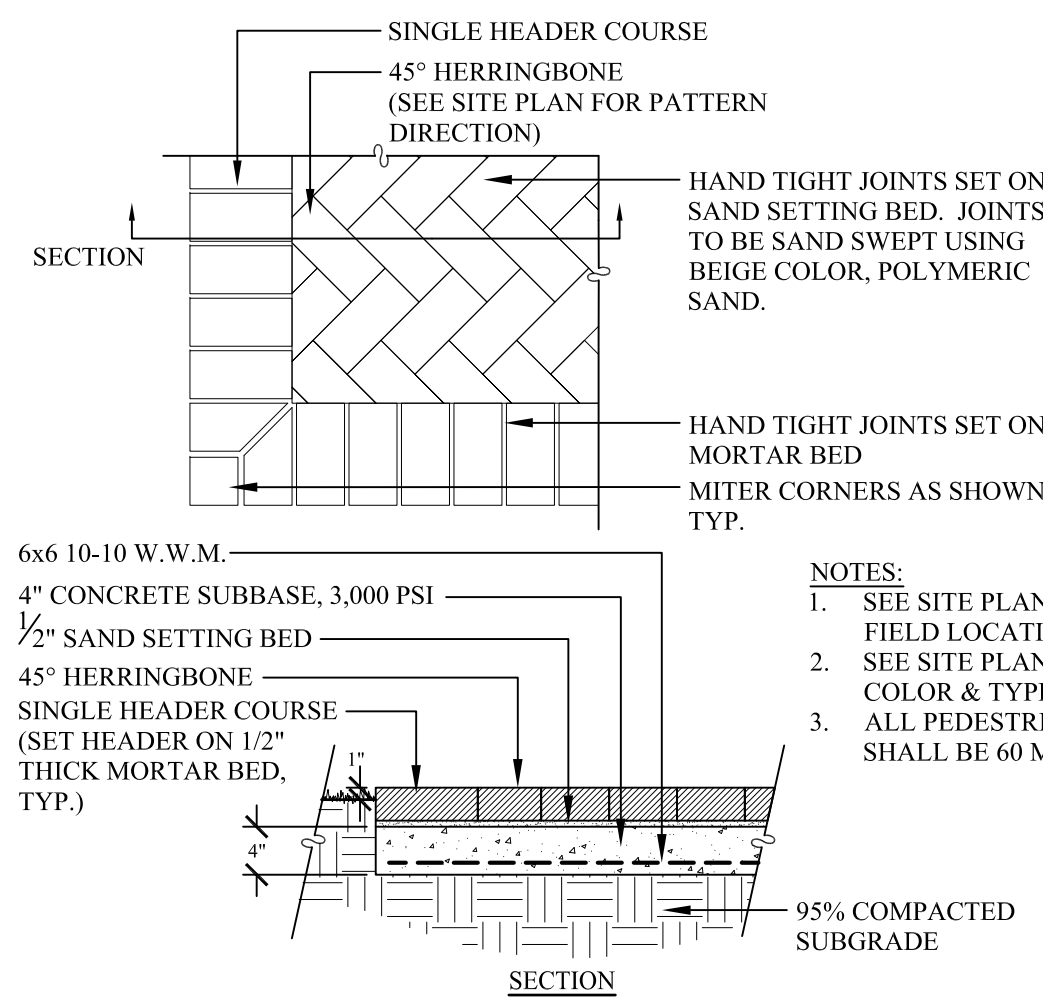
L100

Wood+Partners Inc. WPI
Landscape Architects
Land Planners

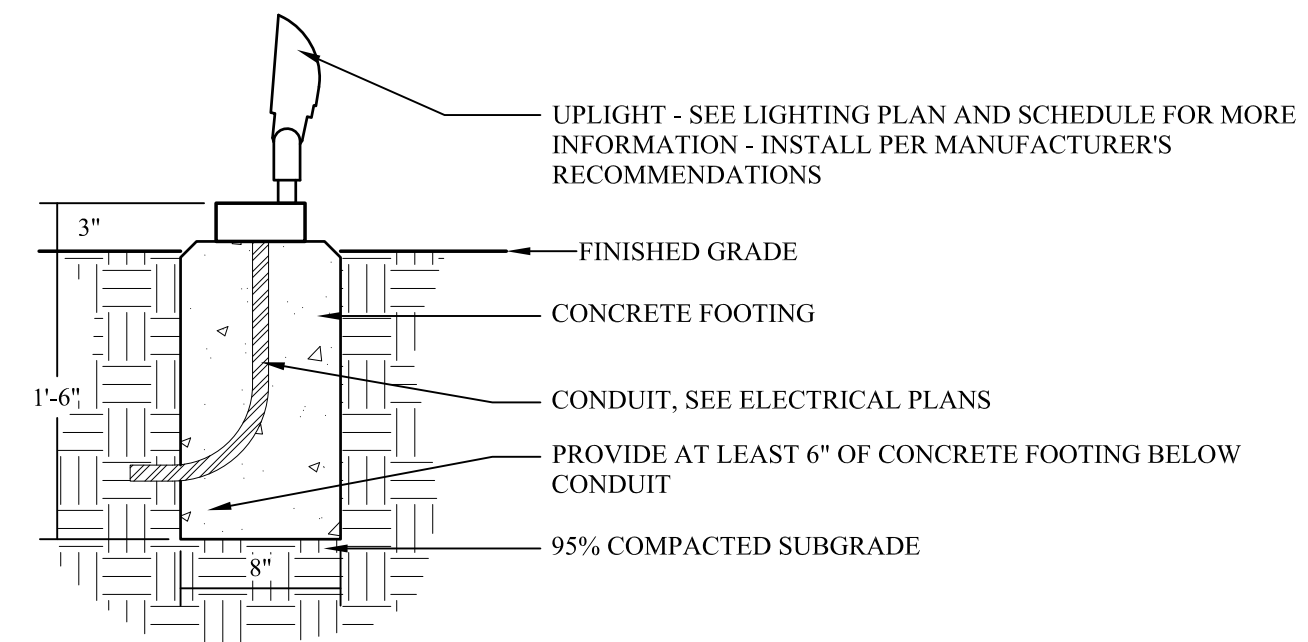
PO Box 23949 • Hilton Head Island, SC 29925
843.681.6618 • Fax 843.681.7066 • www.woodpartners.com



- NOTES:
1. PROVIDE 4' x 4' MOCK UP PANEL OF EACH PAVEMENT TYPE (INDICATING EACH FINISH TYPE & JOINT TYPE, ETC.) AND OBTAIN APPROVAL PRIOR TO INSTALLATION. PANELS MAY BE A PART OF FINAL WORK IF APPROVED.
 2. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE (SEE CIVIL).
 3. SEE SITE PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS. ALL JOINTS TO BE PERPENDICULAR TO PAVEMENT EDGES.
 4. SEE PLAN FOR PAVEMENT FINISHES:
 - 4.1. BROOM FINISH TO BE SWEEPED PERPENDICULAR TO TRAVEL PATH WITH 4\"/>



- NOTES:
1. SEE SITE PLAN FOR PAVEMENT FIELD LOCATIONS.
 2. SEE SITE PLAN FOR PAVEMENT COLOR & TYPE.
 3. ALL PEDESTRIAN PAVERS SHALL BE 60 MM PAVERS.

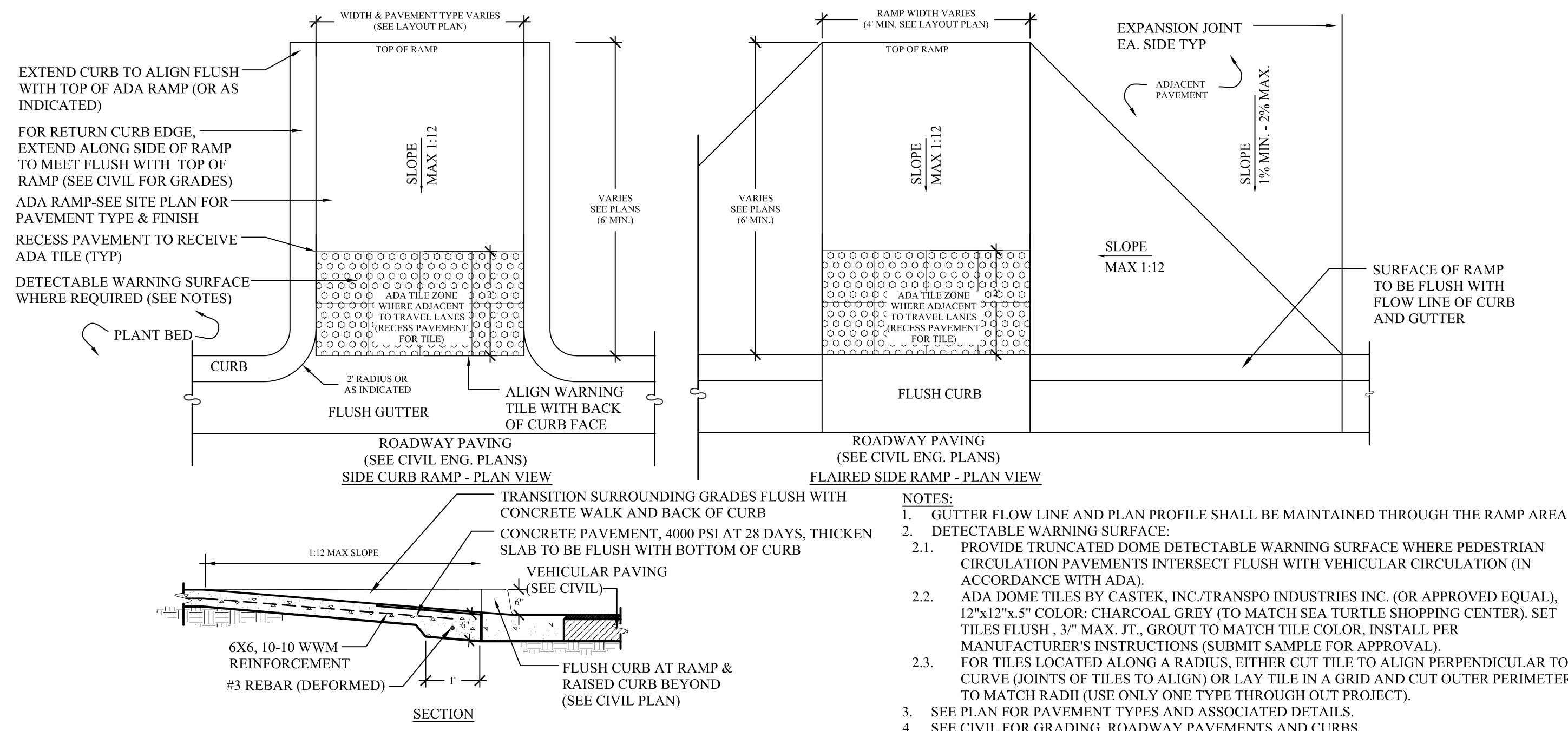


- NOTES:
1. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
 2. LAYOUT BOLLARDS IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.

1 CONCRETE WALK / EXPANSION & CONTROL JOINTS
L300 SCALE: 1 1/2\"/>

2 PEDESTRIAN PAVERS
L300 SCALE: 3/4\"/>

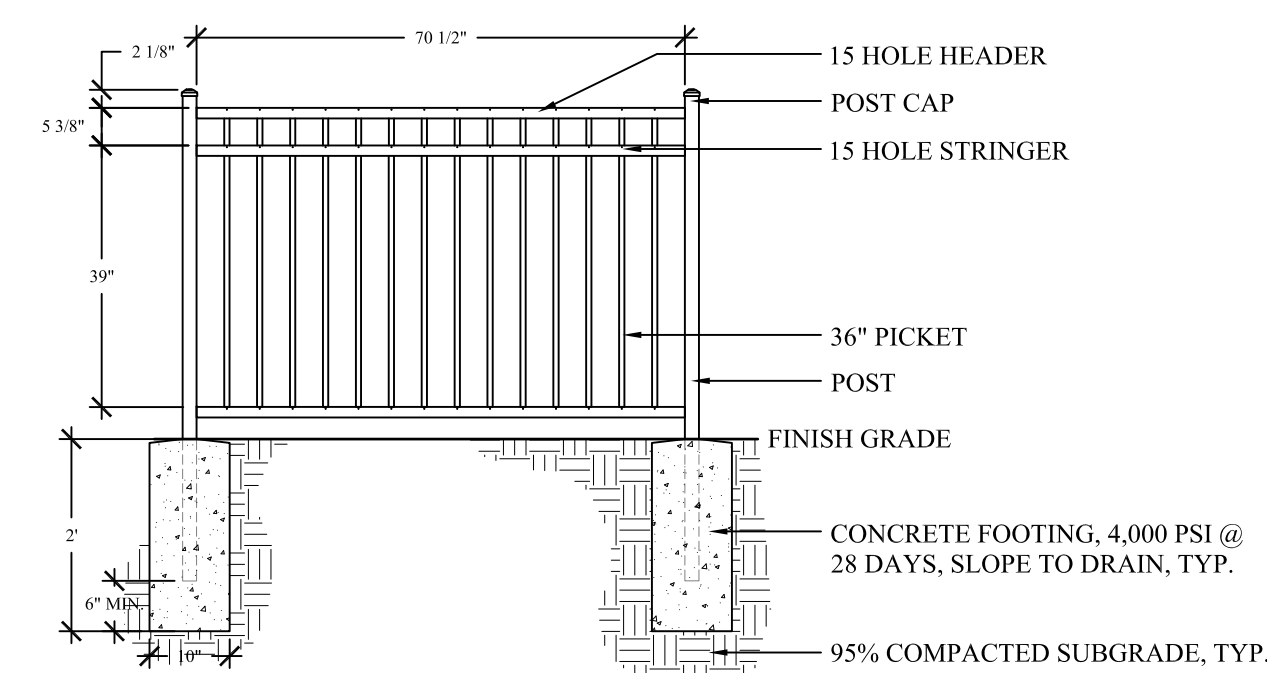
3 TREE UPLIGHT
L300 SCALE: 1\"/>



4 ADA CURB RAMP
L300 SCALE: 1/2\"/>

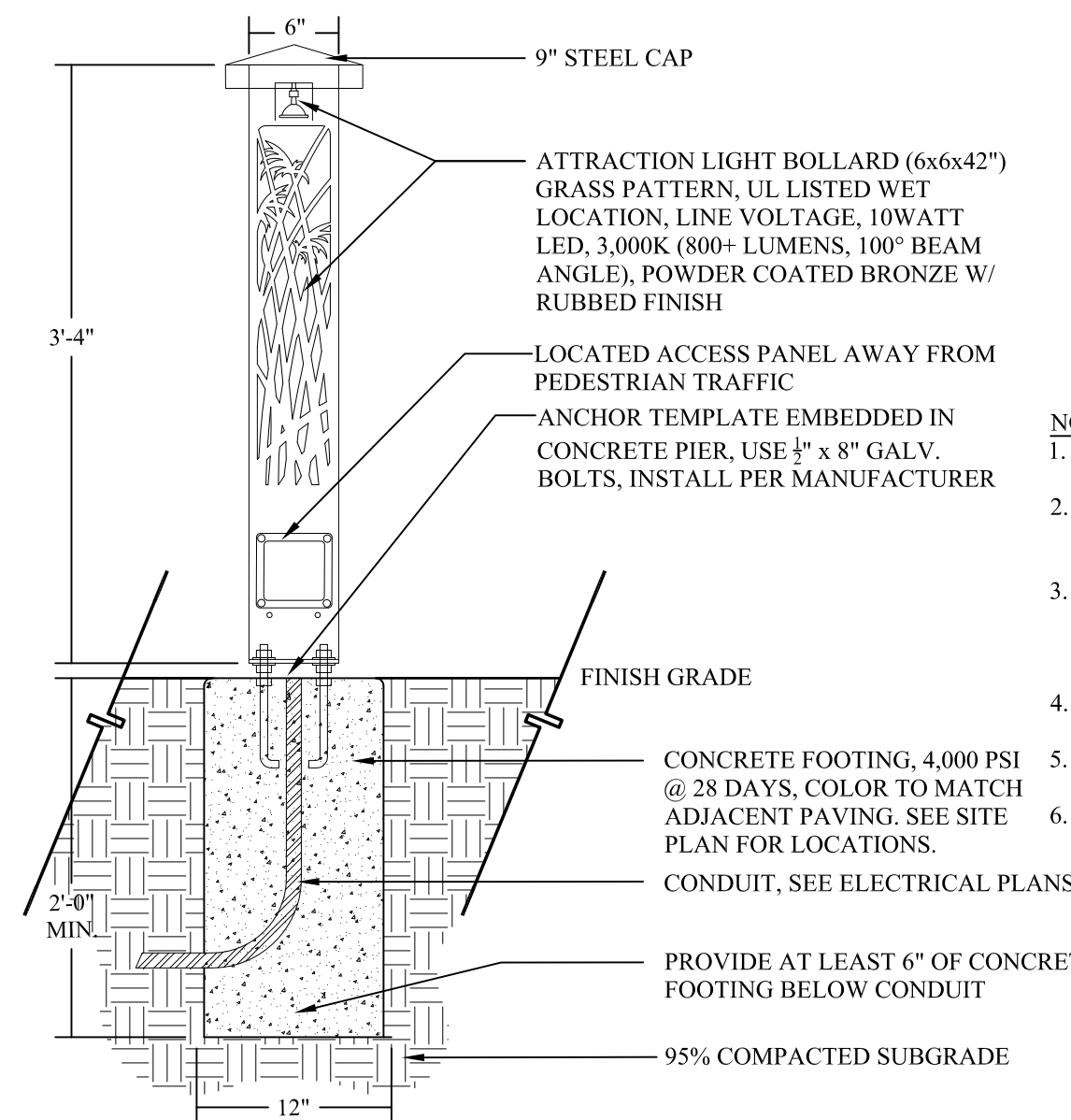
5 BOLLARD LIGHT
L300 SCALE: 1\"/>

6 SITE BOLLARD
L300 SCALE: 3/4\"/>

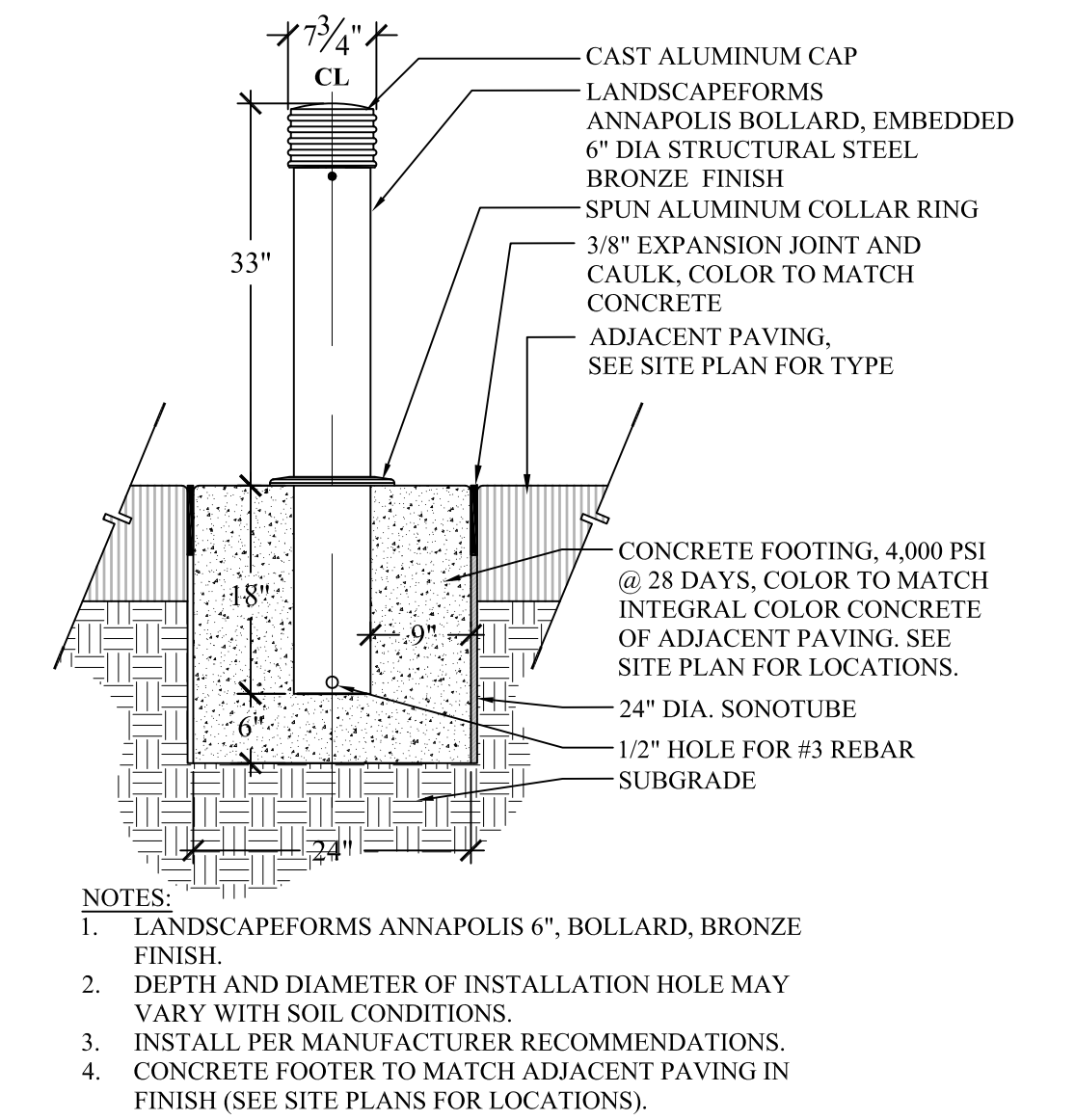


- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. FENCE COLOR SHALL BE BLACK.
- MANUFACTURER:
JERITH MFG CO., INC.
14400 MCNULTY ROAD
PHILADELPHIA, PA 19154
TOLL FREE: 1-800-344-2242
FAX: (215) 676-9756
www.jerith.com
- FENCE MODEL:
48\"/>

7 ALUMINUM FENCE
L300 SCALE: 1/2\"/>



- NOTES:
1. SEE SITE PLAN FOR MORE INFORMATION.
 2. SUBMIT PRODUCT INFORMATION ON LIGHT FIXTURE FOR OWNER'S REVIEW PRIOR TO ORDERING.
 3. LAYOUT BOLLARDS IN FIELD FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO FINAL INSTALLATION.
 4. FIXTURES TO BE MOUNTED PLUMB VERTICAL.
 5. SEE SITE PLAN FOR ADJACENT PAVEMENT CONDITIONS.
 6. INSTALL PER MANUFACTURER'S RECOMMENDATION.



- NOTES:
1. LANDSCAPEFORMS ANNAPOLIS 6\", BOLLARD, BRONZE FINISH.
 2. DEPTH AND DIAMETER OF INSTALLATION HOLE MAY VARY WITH SOIL CONDITIONS.
 3. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 4. CONCRETE FOOTER TO MATCH ADJACENT PAVING IN FINISH (SEE SITE PLANS FOR LOCATIONS).

PERMIT DOCUMENTS FOR

STARBUCKS

AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

DRAWN BY: DM

CHECKED BY: TT

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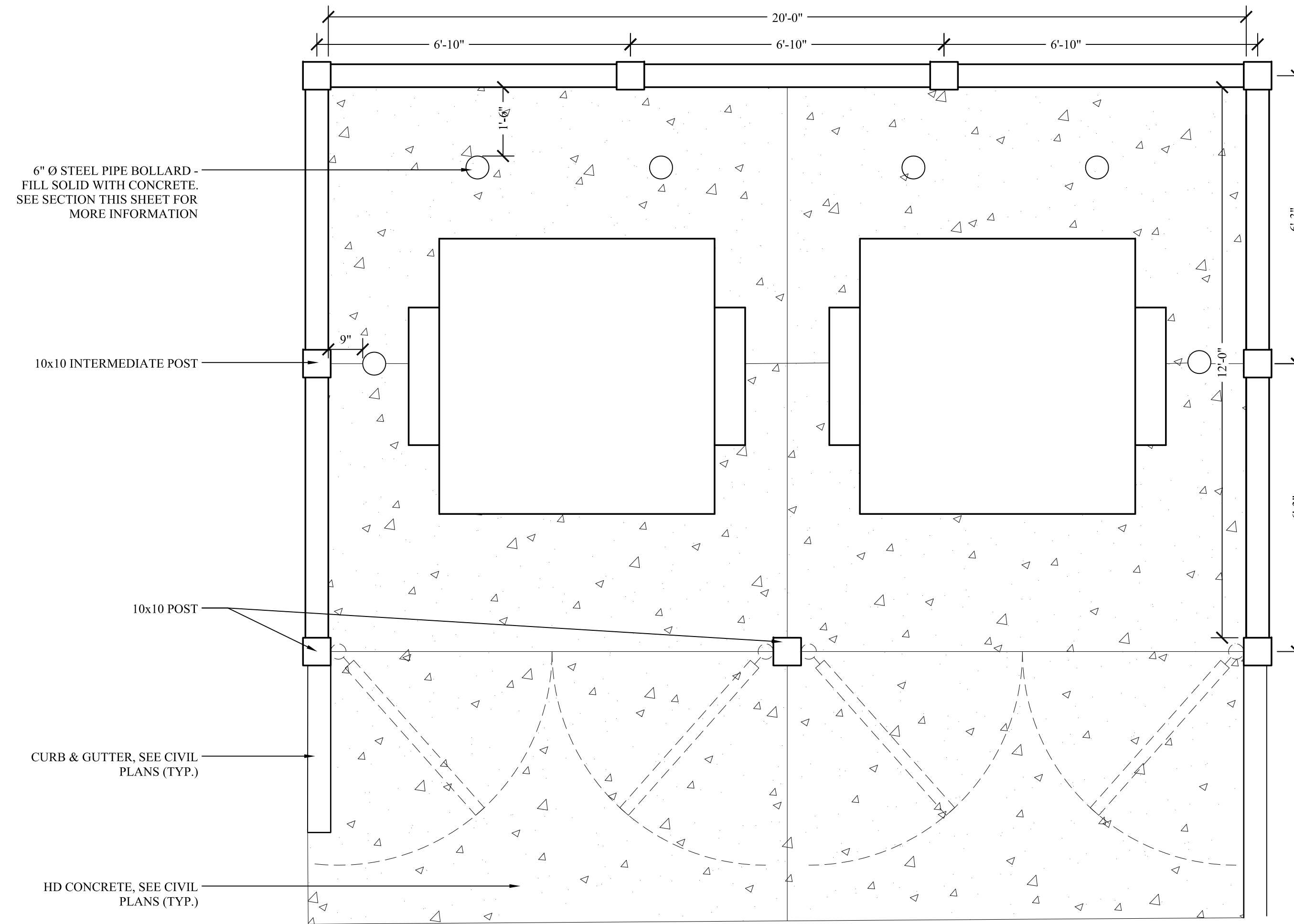
#	REVISION	DATE	BY

DATE
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PROJECT NUMBER
01-17036
SHEET TITLE
DETAILS

Wood+Partners Inc. WPI
Landscape Architects
Land Planners

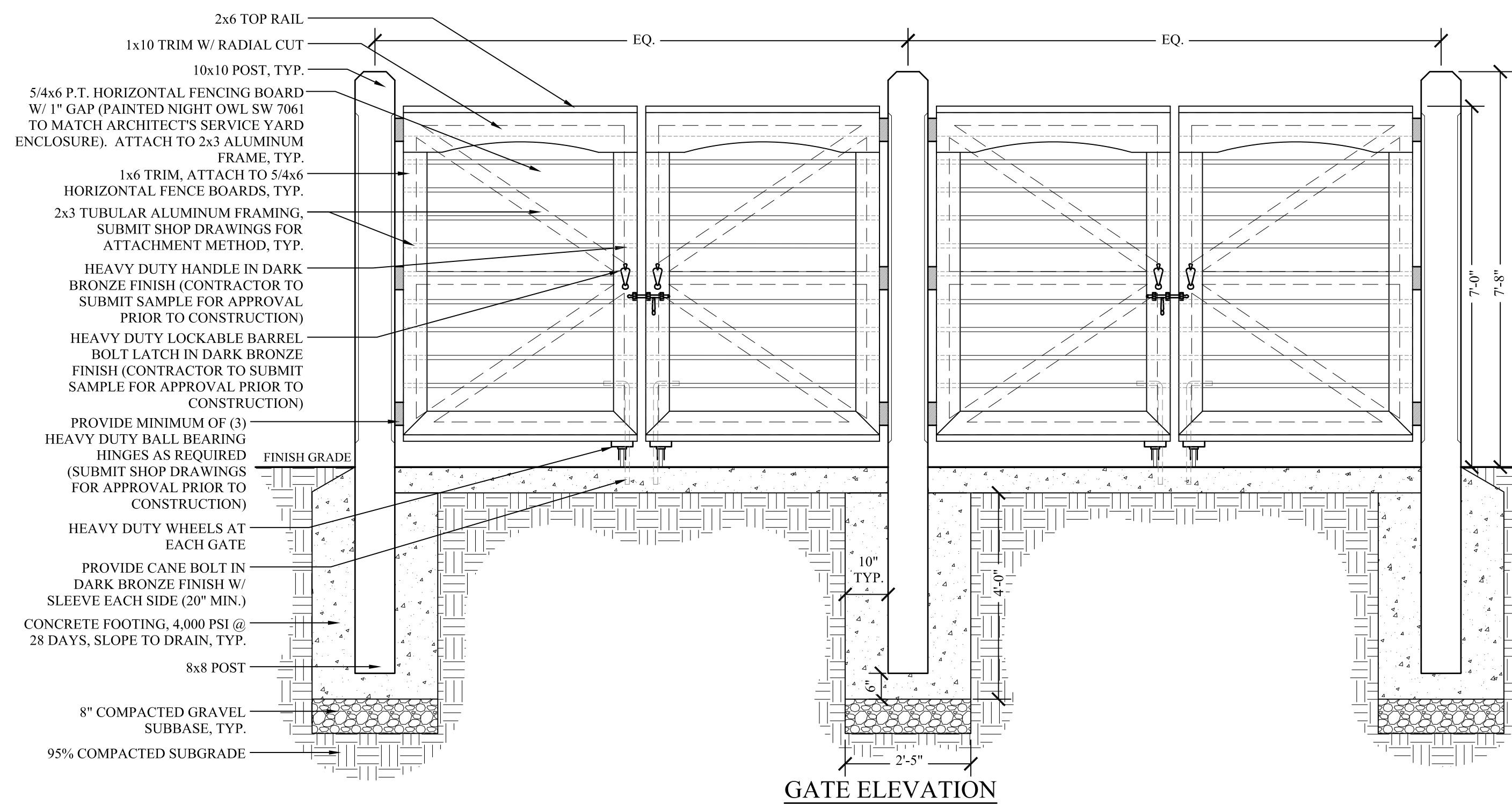
SHEET NUMBER

L300

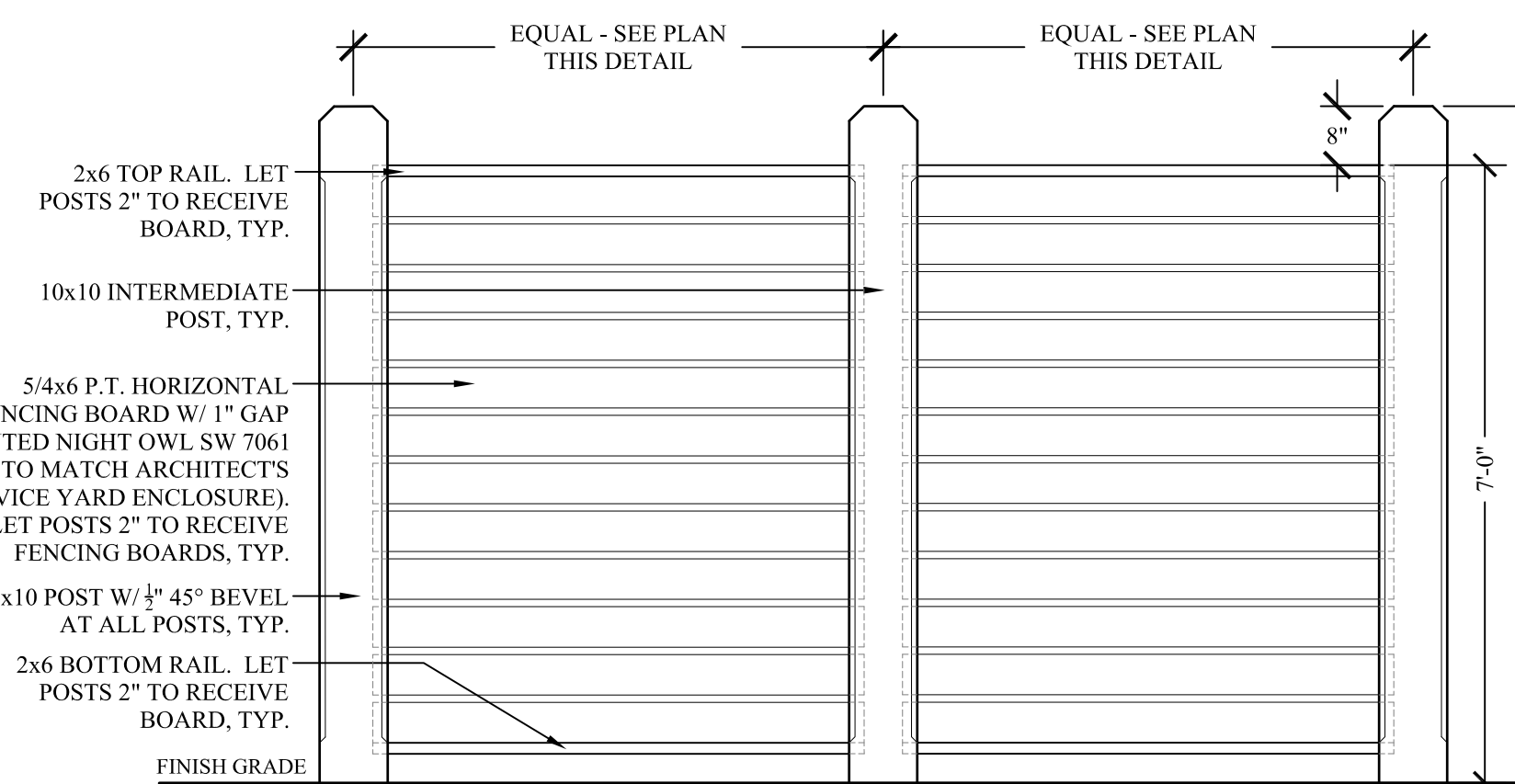


DUMPSTER ENCLOSURE PLAN VIEW

- NOTES:
1. ALL WOOD UNLESS OTHERWISE SPECIFIED, SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE, SIB GRADE NO. 1 OR BETTER S4S.
 2. ALL HARDWARE & FASTENERS SHALL BE STAINLESS STEEL.
 3. PROVIDE 2"x3" TUBULAR ALUMINUM FRAME SYSTEM FOR VEHICULAR GATE. SUBMIT SHOP DRAWINGS FOR ATTACHMENT METHOD. POWDER COAT AND PAINT FRAME TO MATCH WOOD COLOR.
 4. PROVIDE HEAVY DUTY HINGES AT GATE. SUBMIT SHOP DRAWINGS AND SAMPLES OF HINGE AND LATCH SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.
 5. SEE SITE PLAN FOR DUMPSTER LOCATIONS AND SPECIFIC DIMENSIONS.
 6. SEE CIVIL PLANS FOR HD CONCRETE DETAIL AT DUMPSTER ENCLOSURE.
 7. ENCLOSURE DOORS SHOULD SWING TO A MINIMUM OF 115° AND A MAXIMUM OF 180°.
 8. SEE CIVIL PLANS FOR PLUMBING & LOCATION OF HOSE BIB.



GATE ELEVATION



FENCE ELEVATION

1 DUMPSTER ENCLOSURE
L301 SCALE: 1/2" = 1'-00"

PLAN IS SUBJECT TO CHANGE.

DRAWN BY: DM

CHECKED BY: TT

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PROJECT NUMBER

01-17036

SHEET TITLE

DETAILS

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CECA	3	Cercis canadensis 'Forest Pansy'™	Forest Pansy Redbud	B & B or Cont.	1.5" Cal		6' Min.	5'-6"	Full, specimen
ILAS	3	Ilex x attenuata 'Savannah'	Savannah Holly	65 gal	2" Cal		10'-12"	6-8'	Full Tree Form, Strong Central Leader
QUVH	4	Quercus virginiana	Live Oak	B & B or Cont.	4" Cal		12'-14"	6-8'	Strong central leader, Specimen
SAPA	21	Sabal palmetto	Cabbage Palmetto	B & B			14'-18"		Smooth Clear Trunk, Hurricane Cut, Vary Height
SAPA2	5	Sabal palmetto	Cabbage Palmetto	B & B			14'		Smooth Clear Trunk, Hurricane Cut, Matched Height
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
ALZV	9	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	15" - 18"	12" - 15"	Full		
AZAE	17	Azalea Encore 'Autumn Embers'™	Autumn Embers Azalea	3 gal	15" - 18"	12" - 15"	Full pot		
AZAM	3	Azalea Encore 'Autumn Monarch'™	Encore Azalea	3 gal	15" - 18"	12" - 15"	Full pot		
AZIF	23	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24"-30"	24"-30"	Full pot		
ILSD	8	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal	12"-18"	12"-18"	Full pot		
LOCR	10	Loropetalum chinense 'Ruby'	Ruby Loropetalum	7 gal	24"-30"	24"-30"	Full pot		
MYCE	13	Myrica cerifera	Wax Myrtle	7 gal	36"-48"	24"-36"	Full pot		
OSFR	2	Osmanthus fragrans	Sweet Olive	7 gal	36"-48"	24"-36"	Full pot		
PAVI	22	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass	1 gal	12"-18"	12"-18"	Full pot		
PHSX	12	Philodendron selloum 'Xanadu'	Split Leaf Philodendron	3 gal	18"-24"	18"-24"	Full pot		
PODP	10	Podocarpus macrophyllus 'Dwarf Pringles'	Dwarf Podocarpus	7 gal	18"-24"	18"-24"	Full pot		
RHDS	16	Rhaphtolipsis x delcourii 'Snowcap'	Snowcap Indian Hawthorn	3 gal	12"-18"	12"-18"	Full pot		
SERC	9	Serenos repens 'Cinerea'	Silver Saw Palmetto	3 gal	15" - 18"	12"-18"	Full pot		
TRJC	6	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	1 gal	18"-24"	12"	Full		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
ANNL	77	Annual	Annual	flat			12" o.c. Selection to be approved by landscape architect		
DIVE	17	Diets vegeta	African Iris	1 gal	18-24"	12"-18"	36" o.c. Full pot		
SOD	608 sf	Eremochlos ophiuroides	Centipede Sod	sod			36" o.c. Full pot		
LIMS	249	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	10"-12"	10"-12"	24" o.c. Full pot		

BUFFER SUMMARY

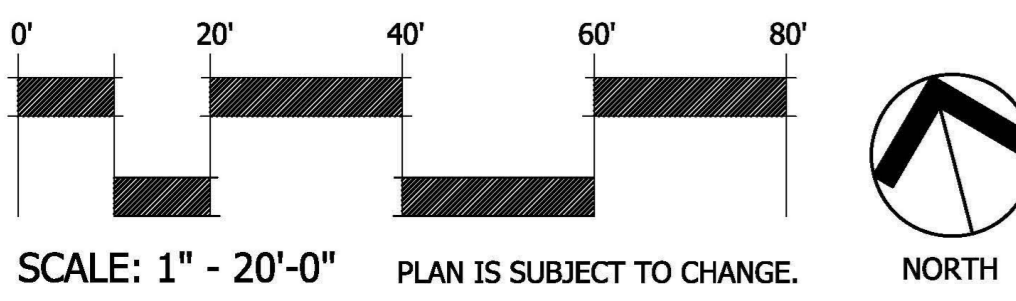
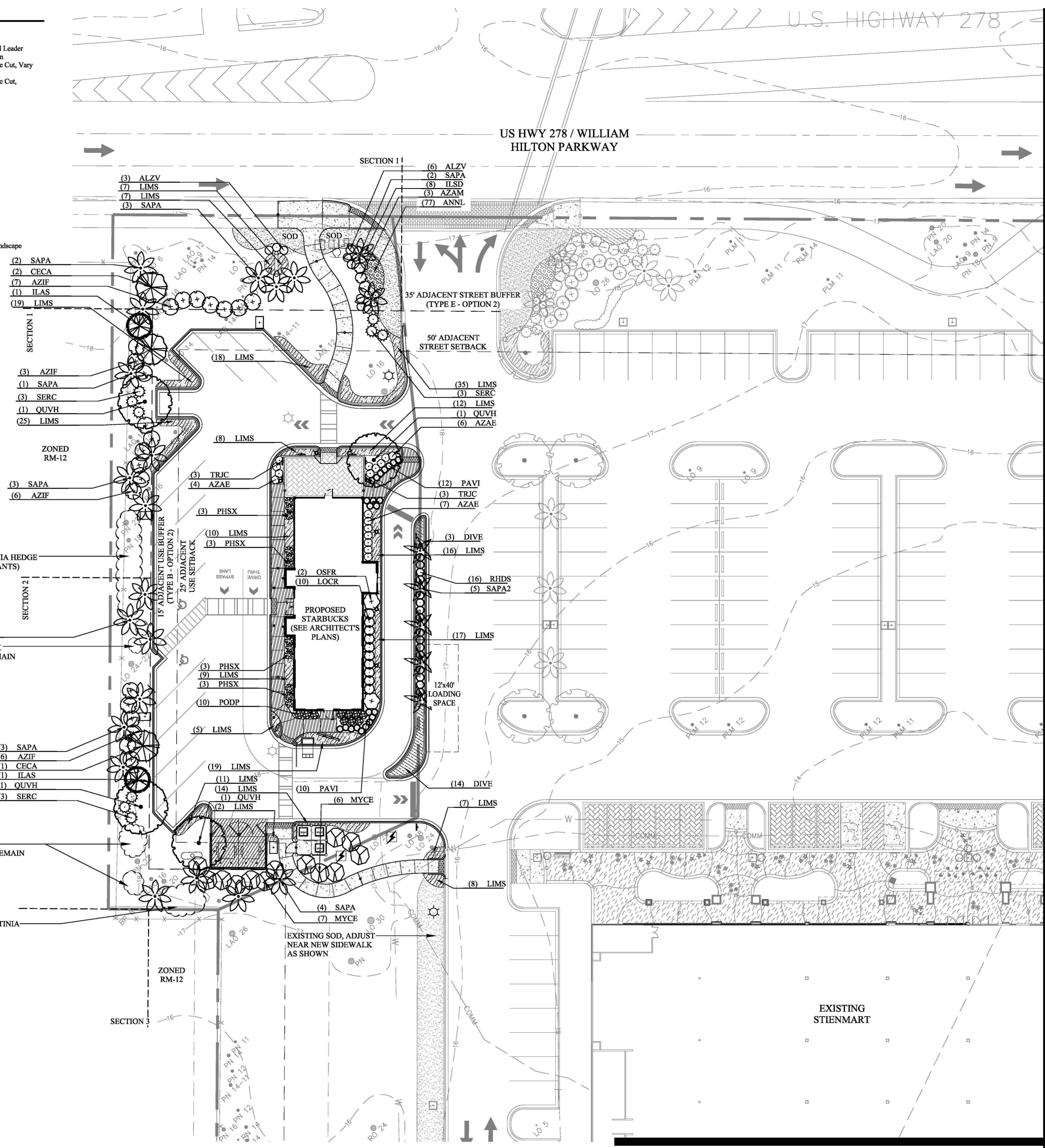
HWY 278 BUFFER:

BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (107')	E OPTION 2	5	(11 EXISTING)	7	8	27	27

WESTERN ADJACENT USE BUFFER:

BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (100')	B OPTION 2	4	6 (5 EXISTING)	8	8 (1 EXISTING)	12	16 (4 EXISTING)
SECTION 2 (123')	B OPTION 2	5	*4 (3 EXISTING)	10	10 (2 EXISTING)	15	16 (7 EXISTING)
SECTION 3 (50')	B OPTION 2	2	2 EXISTING	4	4	6	6 (1 EXISTING)

*OVERSTORY BUFFER REQUIREMENTS CANNOT BE ACHIEVED DUE TO EXISTING VEGETATION & CHAINLINK FENCE WITHIN THIS BUFFER.



Wheeler Development
Virginia Beach, Virginia

PERMIT DOCUMENTS
FOR
STARBUCKS
AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

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CHECKED BY: TT

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#	REVISION	DATE	BY

DATE
03-13-2018
PROJECT NUMBER
01-17036
SHEET TITLE
PLANTING PLAN

Wood+Partners Inc. WPI
Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7086 ■ www.woodandpartners.com

SHEET NUMBER
L400

TREES TO BE REMOVED

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LAUREL OAK	10"	66"
	LAUREL OAK	20"	
	LAUREL OAK	18"	
CATEGORY III TREES REMOVED	PINE	16"	32"
	PINE	16"	

TREE REMOVAL SUMMARY

CATEGORY	TOTAL INCHES	TOTAL REPLACEMENT NEEDED:
CATEGORY I TREES REMOVED	66"	7 TREES
CATEGORY III TREES REMOVED	32"	3 TREES

TREE REPLACEMENT SUMMARY

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
1	66" LAUREL OAK	7 (14" TOTAL MIN.)	4 (4" CAL.)
2	-	-	3 (2" CAL.)
3	32" PINE	3 (3" TOTAL MIN.)	26 PALMS

LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
- THE PLANT SCHEDULE INCLUDED IN THIS DRAWING WAS PREPARED FOR ESTIMATING PURPOSES & FOR THE CONTRACTORS CONVENIENCE ONLY, AND ITS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL PERFORM HIS OR HER OWN QUANTITY TAKE-OFFS USING THE DRAWINGS TO DETERMINE THE QUANTITIES TO HIS OR HER SATISFACTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A FINAL BID.
- CONTRACTOR SHALL WARRANTY ALL EXTERIOR PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING BUT NOT LIMITED TO DEATH AND UNSATISFACTORY GROWTH. DEFECTS ASSOCIATED WITH A LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY THE OWNER OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL WILL NOT BE COVERED BY THE ONE-YEAR WARRANTY.
- THE CONTRACTOR SHALL VERIFY THAT ALL SELECTED PLANT SPECIES ARE DETERMINED AVAILABLE AT THEIR SPECIFIED SIZES WHEN THE TIME OF BIDDING. THE CONTRACTOR SHALL NOT MAKE PLANT SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID.
- ALL PLANT MATERIAL SHALL HAVE A WELL FORMED HEAD WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO APPROVED INDUSTRY STANDARDS.
- ALL PLANT BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH TO A DEPTH OF 4".
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR APPLICATION AT INSTALLATION.

IRRIGATION NOTES:

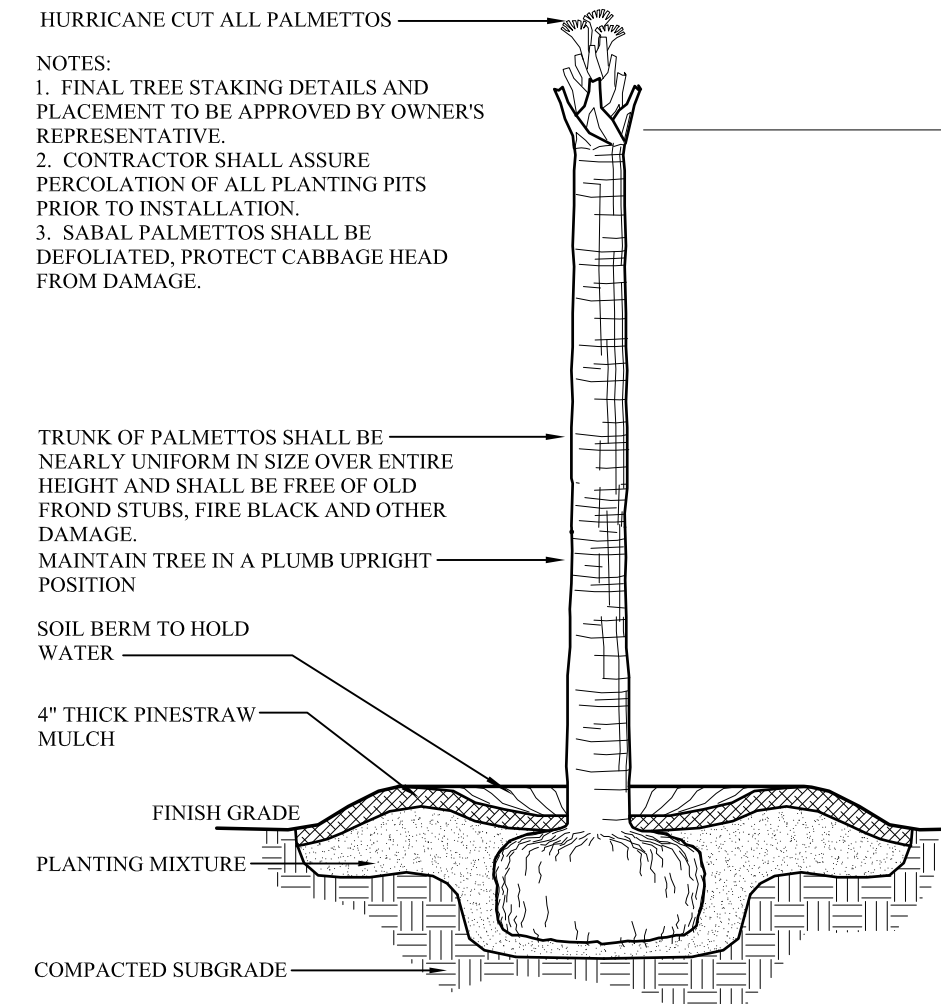
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM SHALL INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK-FLOW, & CONTROLLERS. THE INSTALLED SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. BACK FLOW PREVENTER SHALL BE SIZED TO MATCH STUB OUT DIAMETER (SEE CIVIL).
- COORDINATE WITH BUILDING ELECTRICAL FOR IRRIGATION CONTROLLER; SEE LANDSCAPE PLAN FOR CONTROLLER LOCATION.
- CONTRACTOR TO COORDINATE WITH OWNER TO TIE INTO EXISTING IRRIGATION MAIN LINE.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING WITH CONDUIT SLEEVING UNDER PAVEMENT.
- CONTRACTOR TO SUBMIT TO OWNER AS-BUILT PLAN & DIGITAL FILE OF COMPLETED IRRIGATION SYSTEM.

GRADING NOTES:

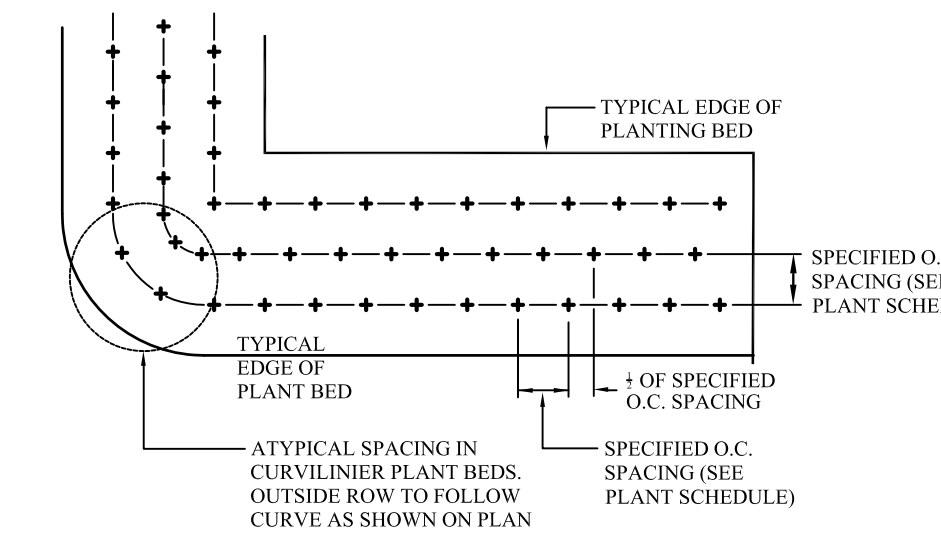
- CONTRACTOR TO PERFORM FINE GRADING WITHIN ALL TURF AND PLANT BEDS. FINE GRADING SHALL CONSIST OF A HAND RAKED, SMOOTH SOIL FREE OF ROCKS, ROOTS, AND DEBRIS.

GENERAL NOTES:

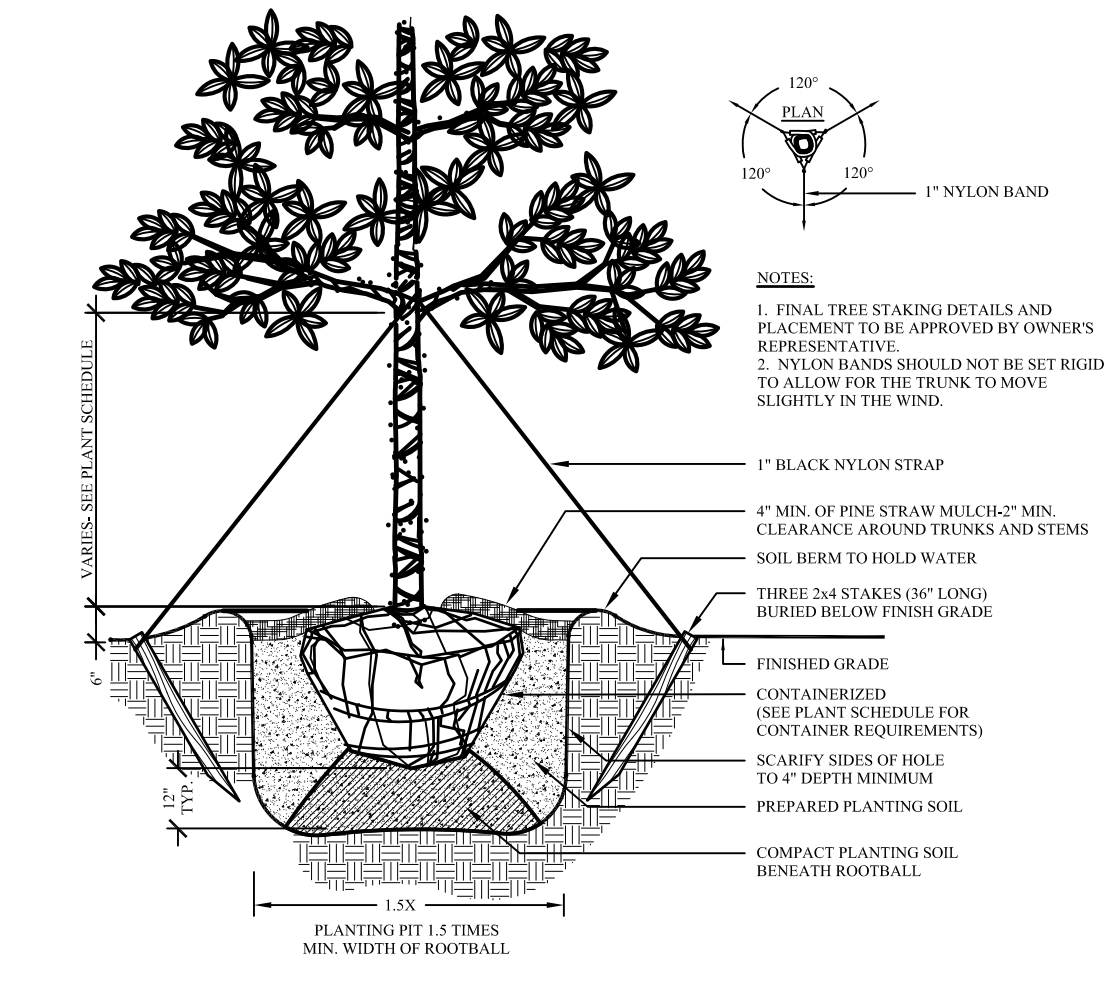
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE A MODIFICATION TO THE PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.



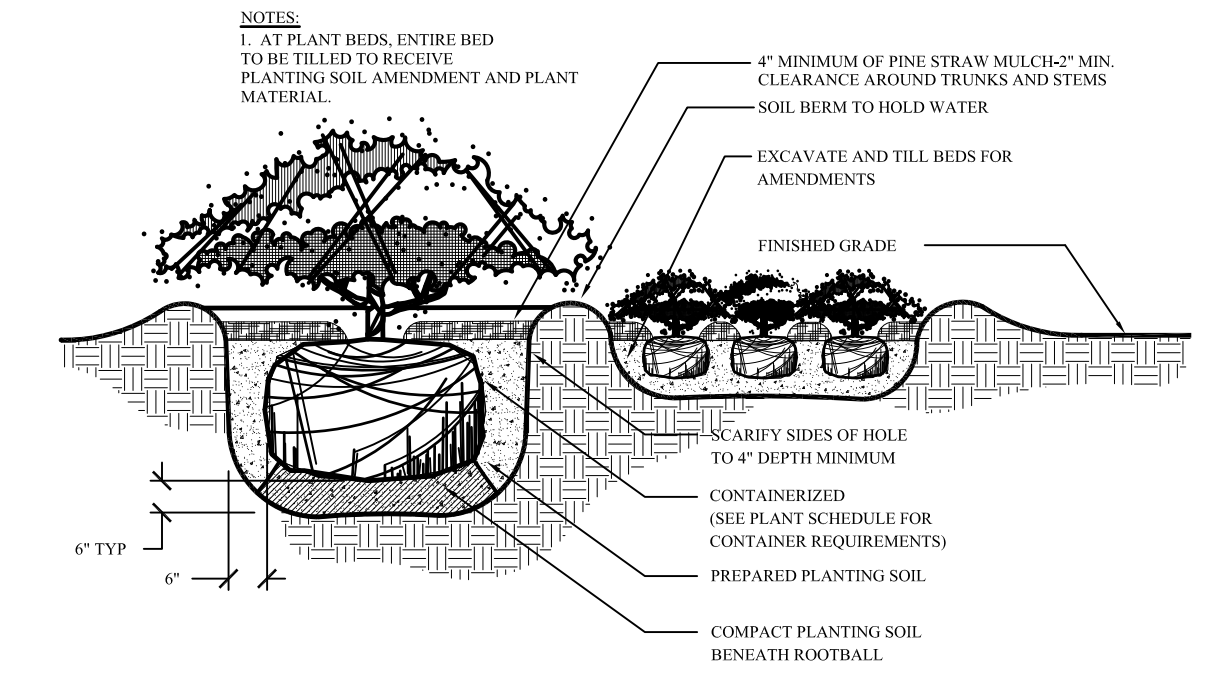
1 PALM TREE
L401 SCALE: N.T.S.



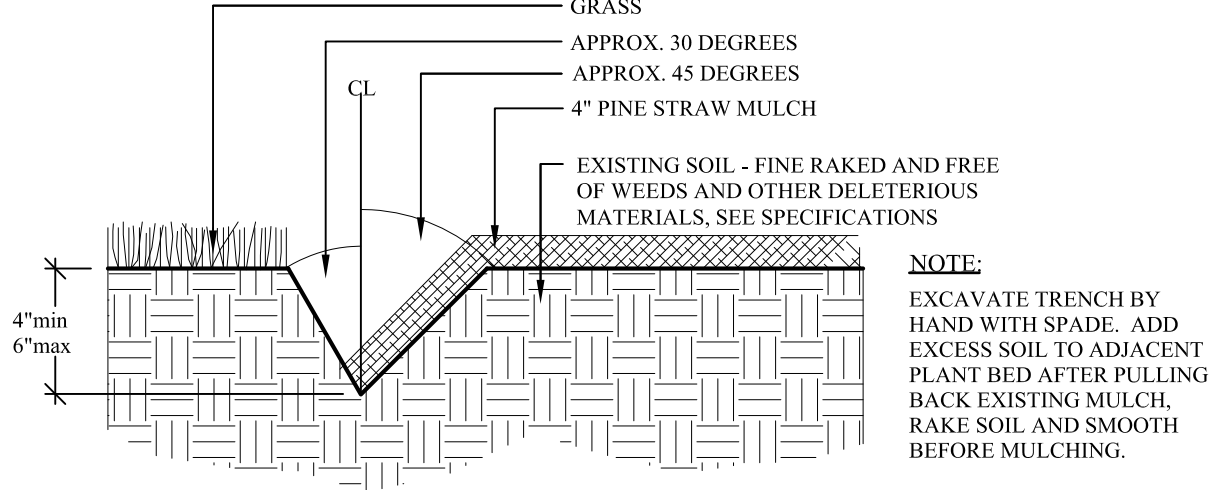
3 GROUNDCOVER SPACING
L401 SCALE: N.T.S.



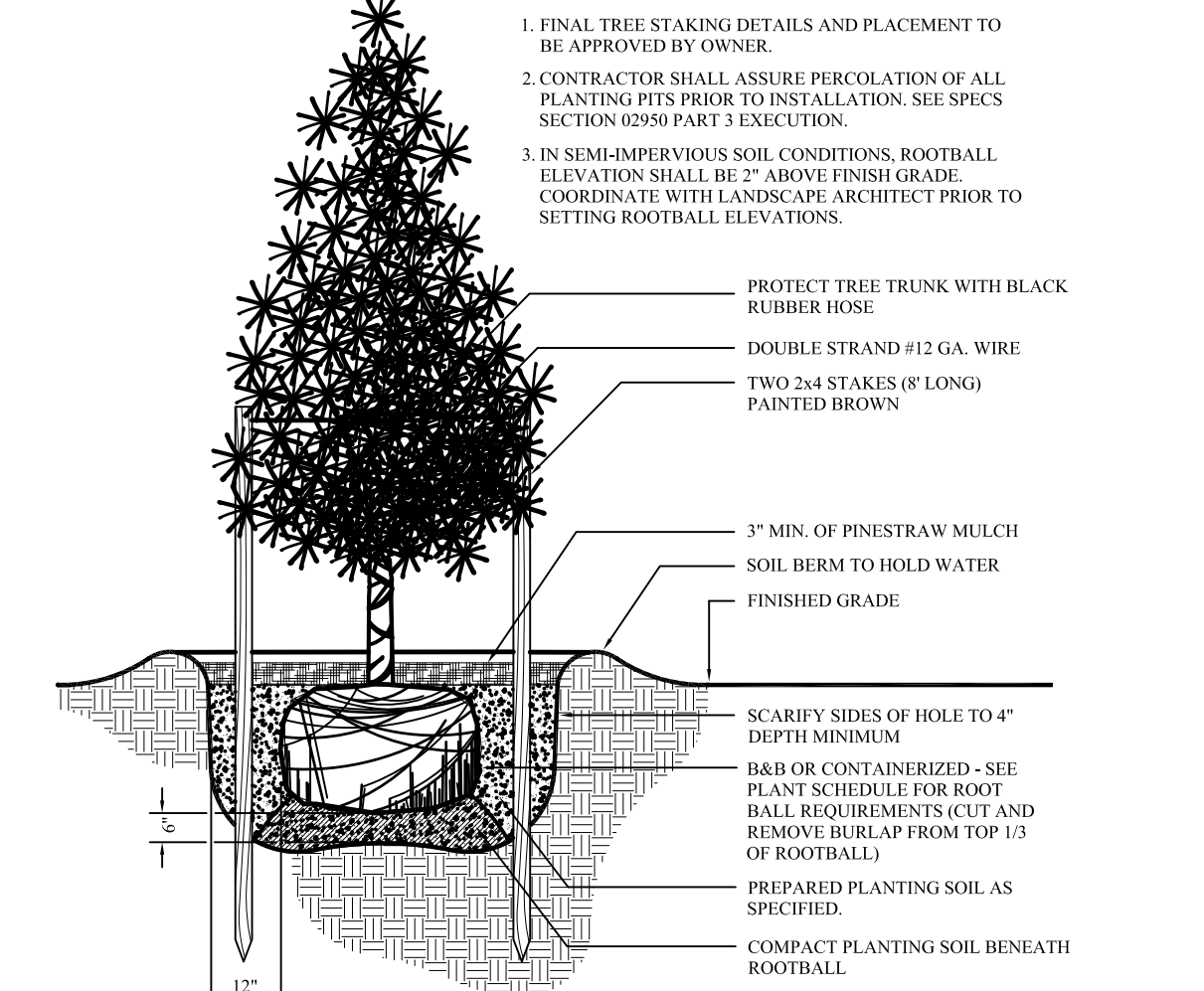
5 SHADE TREE
L401 SCALE: N.T.S.



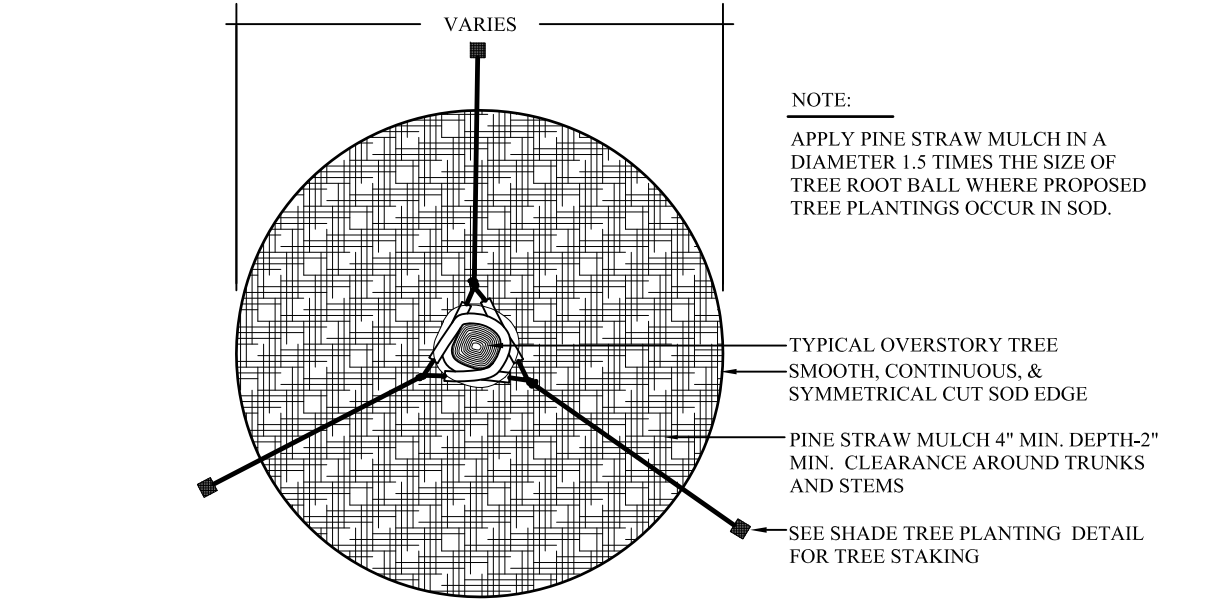
2 SHRUB PLANTING
L401 SCALE: N.T.S.



4 LANDSCAPE EDGE
L401 SCALE: N.T.S.



6 EVERGREEN TREE
L401 SCALE: N.T.S.



7 MULCH TREE RING
L401 SCALE: N.T.S.

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PLANT DETAILS

SHEET NUMBER

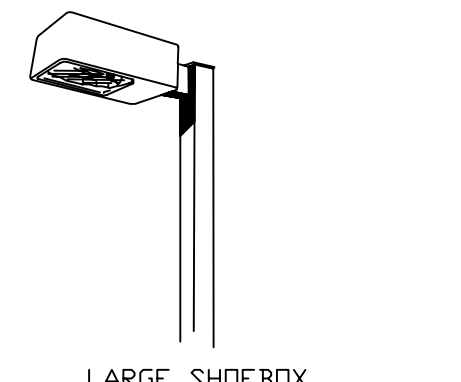
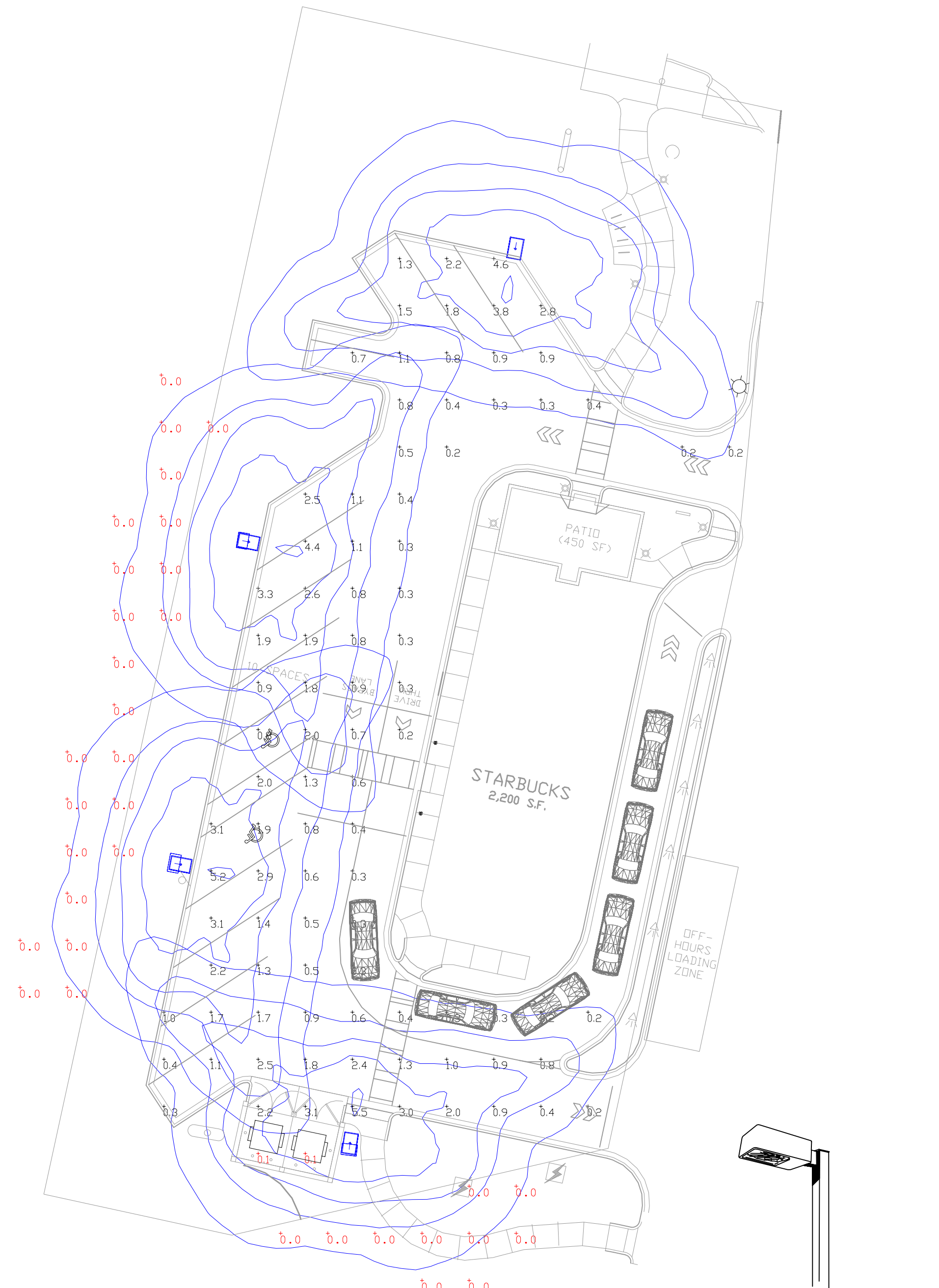
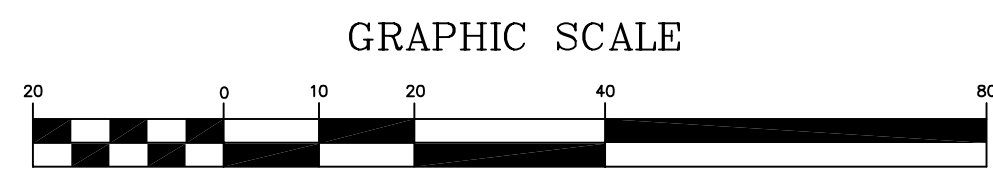
L401

NAME: XAMPTA-08017600L

Luminaire Schedule	System	Qty	Label	Arrangement	Mounting	Height	Notes
1	1	1	LARGE SHOEBOX	1200x1200	12000	15.0	1500 W/ 1200 H/ 15' POLE

Location Summary	Location	Code	Type	Units	Avg	Max	Min	Footcandle	Notes
1	STARBUCKS	FC	1200	1200	1.5	1.5	1.5	12.0	100%
2	SHOEBOX AREA 1 X 2	FC	1200	1200	1.5	1.5	1.5	N/A	N/A
3	SHOEBOX AREA 3	FC	1200	1200	1.5	1.5	1.5	N/A	N/A

Luminaire Location Summary	Label	System	Qty	Height	Notes
1	LARGE SHOEBOX	1	1	15.0	1500 W/ 1200 H/ 15' POLE
2	LARGE SHOEBOX	1	1	15.0	1500 W/ 1200 H/ 15' POLE
3	LARGE SHOEBOX	1	1	15.0	1500 W/ 1200 H/ 15' POLE
4	LARGE SHOEBOX	1	1	15.0	1500 W/ 1200 H/ 15' POLE
5	LARGE SHOEBOX	1	1	15.0	1500 W/ 1200 H/ 15' POLE



APPLICATIONS
Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1072 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polyester powder finish standard in dark bronze
Heat and impact resistant tempered flat glass lens

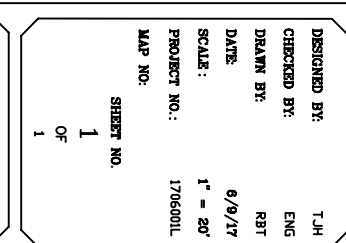
NOTES

- FIELD ONLY PROVIDED LIGHTING DESIGN AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
- IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ensure that the LIGHT FIXTURES, LIGHTING FIXTURE TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
- ANY OBTUSION, OR THE INTERSECTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
- THE EXACT LOCATION OF THE LIGHT FIXTURES WILL BE VARYING ON THE FIELD OF PROPERTY TO BE COVERED BY LIGHT OF DESIGN HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

THIS PLAN IS FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTSIDE LIGHTS ONLY.

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LIGHTING PROPOSAL FOR
STARBUCKS-SEATURTLE
WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA



REVISION	DATE	BY	DESCRIPTION



PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5561 / FAX (843) 208-5532

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Starbucks at Sea Turtle Marketplace

DRB#: DRB-000708-2018

DATE: March 15, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Reconsider the clearstory windows or trim to better break up the walls.
2. Reconsider sconce locations and numbers.
3. Reconsider use of Shell Ginger and Philodendron infavor of a species that is more in-keeping with “Island Character”.
4. Provide more room between the 26” Live Oak and the curb and eliminate the planting near the trunk.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider using trim boards to extend the window frame down the wall.
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposed sconces appear to be too numerous and at an off height on the wall.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less desirable elements of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Shell Ginger and Philodendron do not complement the natural setting.
Native plants or plants that have historically been	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider finding a substitute for Shell Ginger and

prevalent on the Island are utilized				Philodendron that is more in keeping with "Island Character".
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Delete the lirioppe from around the 26 Live Oak on the Hwy 278 side of the building. Reduce the depth of the patio, eliminate the planting between the patio and the drive isle, eliminate the planting between the building and the walk at the back of the building (moving the building back). Maybe all of the above.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	There needs to be more room between the 26" Live Oak and the curb to make it viable.

MISC COMMENTS/QUESTIONS

1. Façade signs cannot be above the eve of the roof.
2. Please identify the LP symbol on the plans. Is this and existing light pole and is it to remain?