



**Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, February 27, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA**

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of February 13, 2018**
- 6. Board Business**
- 7. New Business**
 - A. *Alteration/Addition*
 - Chipotle Starbucks, DRB-000400-2018 (Final Approval June 13, 2017)
 - Pool Bar Jim's, DRB-000407-2018 (Denied January 9, 2017)
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
February 13, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Brian Witmer, Ron Hoffman, Kyle Theodore, Michael Gentemann

Board Members Excused: Debbie Remke

Town Council Present: None

Town Staff Present: Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call - See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

Mr. Darnell pointed out the correct application number of Fish Patio Roof is DRB-000226-2018. The Board approved the amended agenda by general consent.

5. Approval of Minutes – January 9, 2018

The Board approved the minutes of the January 9, 2018 meeting by general consent.

6. Board Business – None

7. New Business

A. Alteration/Addition

- Grand Hilton Inn Deck, DRB-000207-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval of the application as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant was not present.

Chairman Gartner requested comments from the Board. The Board had the following concerns, comments and inquiries: the Board asked for clarification on the locations of the colors; the Iron Ore color appears too dark and reads almost black and is not in line with the Design Guide; the Lattice and Stamped Concrete were generally acceptable to the Board; the concept of contrasting colors was liked, but the Iron Ore is too dark and the Lattice may appear more white against it; there is no sample for the new awning for comparison; the Board was not in favor of adding the

awnings; the oak branches are going into the awning area and how much pruning would be required; clarification on the material of the railings as existing and new, what is happening with the chain link fence; it appears changes are anticipated and it's difficult to determine the color changes; shielding of the propane tanks; and what is being proposed in the middle section going vertical.

Staff indicated the application is for color approval only. The applicant was not able to get everything else submitted in time for the deadline. In an effort to not receive a denial, the applicant only submitted for color approval. The Board directed that the applicant come back with a new submittal that covers everything discussed today, including: a different color palette or at least without the Iron Ore color; the railings detail; site work detail; colored elevations with the proposed paint colors applied to the building with no shadows; and have a representative to answer the Board's questions.

Mr. Gentemann made a motion to deny DRB-000207-2018 with the following comments:

1. The railings are in question regarding the color and the final design.
2. An awning fabric has not been submitted.
3. The "Iron Ore" color is too dark and its use on the towers is not the correct location for the color.
4. The conflict between the existing trees and awning will need to be resolved and illustrated to vote in any further submittal.

Mr. Hoffman seconded. The motion passed with a vote of 6-0-0.

- Heritage Plaza Roofs, DRB-000212-2018

(Ms. Theodore recused herself from review of application DRB-000212-2018 due to a professional conflict of interest. A Conflict of Interest form was completed and signed, and attached to the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval of the application as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board confirmed the proposed change will coordinate with the hotel building. The Board was generally in agreement with the proposed change. The Board indicated the drip edge color must match the metal roof color (Medium Bronze) over the trellis element. The bollards at the entry will still be metal. All new Weathered Wood will be installed on all of the buildings.

Mr. Hoffman made a motion to approve DRB-000212-2018 as submitted. Mr. Gentemann seconded. The motion passed with a vote of 5-0-0.

- Island Carwash, DRB-000218-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the condition that lighting is specific under the canopy.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board asked for clarification on the column color. The columns will not be black, but will match the building body color. The applicant provided a cut to address the lighting under the canopy. The light fixture will be tucked underneath the canopy. The applicant indicated the architect is revising the plans to better hide the fixture. The applicant confirmed the color temperature will be below 3000K. There are no other proposed lighting improvements.

Vice Chairman Strecker made a motion to approve DRB-000218-2018 with the following conditions:

1. The two steel columns shall be the building body color.
2. The light fixture shall be the 2800K color temperature.

Ms. Theodore seconded. The motion passed with a vote of 6-0-0.

- Fish Patio Roof, DRB-000226-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following condition: 1) Provide a landscape plan for the area between the new pergola and the parking lot for Staff review and approval.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board complimented the project. The Board discussed and made inquiries regarding the pergola roof and drainage system. The suggestion was made to revise the drainage system. The Board discussed doing a metal roof and noted sections are needed for review. The plywood has to be a finished surface per the Design Guide. The Board indicated the project is going in the right direction and more detail is needed for approval. There was much discussion on increasing the size of the posts and the type of footings required and hurricane wind approved. The Board agreed with Staff comments. The 3ft wide strip currently has potted plants, but needs plants in the ground or a planter. Landscaping, a low hedge or a raised planter, should create a barrier and divide the space between the walk through area and what's not. The suggestion was made to do something different to the bar as it appears more aged than it is. The Board asked for more information on: a detail of the trellis; gutter detail; gutter color detail; roof detail; reflected ceiling plan; roof color detail; the drainage solution; the cut sheet detail on the pergola; the footings; landscaping; column detail; and light detail, even if to remain as existing.

The applicant withdrew the application.

- Oceanview Building, Island Club Resort, DRB-000234-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. The metal railings are approved as installed.
2. All the existing wooden railings and any trim on the building shall be painted to match the metal railings.
3. No dark brown color should remain on the building.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board generally agreed with Staff comments. The Board asked for clarification on what has been already painted the green color and discussed what other elements should be painted the green as well. Some of the Board members were concerned the green color was too light and a darker trim color could work. The Board asked about the porte cochere. It is a natural wood and is to remain as existing.

Ms. Theodore made a motion to approve DRB-000234-2018 with the following conditions:

1. The existing new metal railings are approved as installed and painted to match the green color sample that was submitted.
2. The existing wooden railings and trim on the building shall be painted to match the metal railings.
3. No dark brown color should remain on the building, except for the porte cochere.

Mr. Gentemann seconded. The motion passed with a vote of 6-0-0.

8. Staff Report

Mr. Darnell reported on the Minor Corridor approvals since the last Board meeting. Mr. Darnell asked the Board for direction regarding how to handle requests to significantly alter plans previously approved by the DRB. Mr. Darnell then reminded the Board of the State continuing education requirements. An email was sent this afternoon containing dates and topics for upcoming sessions.

9. Appearance by Citizens – None

10. Adjournment

The meeting was adjourned at 2:48 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Jake Gartner, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood + Partners, Inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-681-6618 Fax: _____ E-mail: ttheodore@woodandpartners.com
 Project Name: Chipotle/Starbucks Project Address: ttheodore@woodandpartners.com
 Parcel Number [PIN]: R 520 012 00b 0084 0000
 Zoning District: PD1 Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

2-13-2018

DATE

Chipotle / Starbucks
Shelter Cove Towne Centre
Hilton Head Island, SC

Design Review Board Site Resubmittal

February 13, 2018

The attached Chipotle / Starbucks site package at Shelter Cove Towne Centre is back before the Design Review Board due to a redesign of the proposed parking area. The original Shelter Cove Towne Centre design intent was to provide permeable parking spaces along all major drive aisle corridors. During the initial design process of outparcel site, it was thought that all new parking was required to be permeable. However, it was later determined that the original Shelter Cove Towne Centre provided a surplus of permeable parking stalls by providing pavers along the main drive aisle corridors.

The original DRB submittal showed 90 degree permeable parking spaces throughout the site with two-way traffic drive aisles. The reconfigured parking lot now has 1 way traffic with 60 degree parking spaces on the northern portion of the parking lot. This is to allow on-site stormwater treatment and satisfy requirements for Santee Cooper's overhead power easement. The central landscape island in the parking lot now features a dry detention basin which includes native plantings that add to the aesthetics of the site, while increasing water quality. No architectural changes have been made since the board approved this project on June 13, 2017.



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Chipotle / Starbucks **PROJECT #:** DRB-001285-2017
PROJECT ADDRESS: 24 Shelter Cove Lane
CATEGORY: New Development – Final
ACTION DATE: June 13, 2017 **NOTICE DATE:** June 16, 2017
APPLICANT/AGENT: Tim Probst, Parker Design Group Architects
10 Palmetto Business Park, Suite 201
Hilton Head Island, SC 29928
Email: wtparker@hargray.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW

- 1) Any rooftop equipment, as part of this application or any future tenant application, shall be screened from view;
- 2) No exterior can wash or other type of visible service areas are permitted at the Chipotle;
- 3) Recommendation that the number of exterior light fixtures be reduced in quantity;
- 4) More buffer landscape materials shall be added between William Hilton Parkway and the drive-thru lane to provide more screening between the road and the building and the order board for Staff review and approval;
- 5) A sample of the stucco color shall be provided to Staff for DRB approval.

- DENIED**
 WITHDRAWN AT THE APPLICANTS REQUEST

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer



NORTH ELEVATION



WEST ELEVATION

APPROVED

These documents & designs are the property of Parker Design Group Architects and are not to be used or reproduced there of or for designs, working drawings, or construction of buildings without the written authorization from the copy writer owner PDG/Architects 2018 copyright. C.



A NEW BUILDING SHELL:
CHIPOTLE/ STARBUCKS
Towne Center @ Shelter Cove
Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY
TP

CHECKED BY
TP

DATE OF ISSUE:
03/22/17

SCALE

JOB NO.
1512

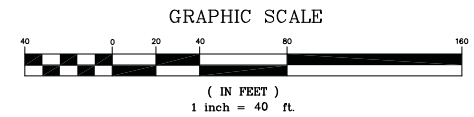
SHEET

OF SHEETS

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊕	2	DOUBLE LARGE SHOEBOX	BACK-BACK	22500	0.680	250W HPS ON 25' POLE, 20' MOUNTING HEIGHT
⊖	2	LARGE SHOEBOX	SINGLE	10500	0.680	150W HPS ON 19' POLE, 15' MOUNTING HEIGHT

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcFts	Illuminance	Fc	1.35	8.8	0.2	6.35
						44.00

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	DOUBLE LARGE SHOEBOX	2085784	127180	20	45	0
2	DOUBLE LARGE SHOEBOX	2085864	127260	20	45	0
3	LARGE SHOEBOX	2085754	127025	15	38.901	0
4	LARGE SHOEBOX	2085945	127230.8	15	224.217	0

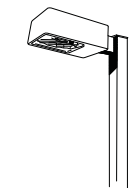


NOTES

1. P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
4. THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.

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LARGE SHOEBOX

APPLICATIONS
Walkways, driveways, multi-shopping centers, commercial and industrial complexes, and residential areas.

SPECIFICATIONS
UL1577 Listed Suitable for Wet Locations
Heavy-duty die-cast aluminum housing and door
Polycarbonate powder finish standard in dark bronze
Heat and impact resistant tempered flat glass lens

PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5532

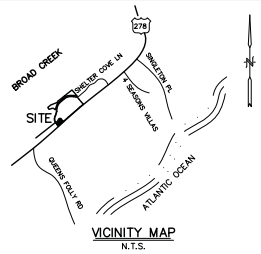


REMARKS:

DESIGNED BY: T.JH
CHECKED BY: ENG
DRAWN BY: RBT
DATE: 6/1/17
SCALE: 1" = 40'
PROJECT NO.: 1705003L-2
MAP NO.:
SHEET NO.
1
OF
1

LIGHTING PROPOSAL FOR
SHELTER COVE OUTPARCEL
SHELTER COVE MALL
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA

APPROVED

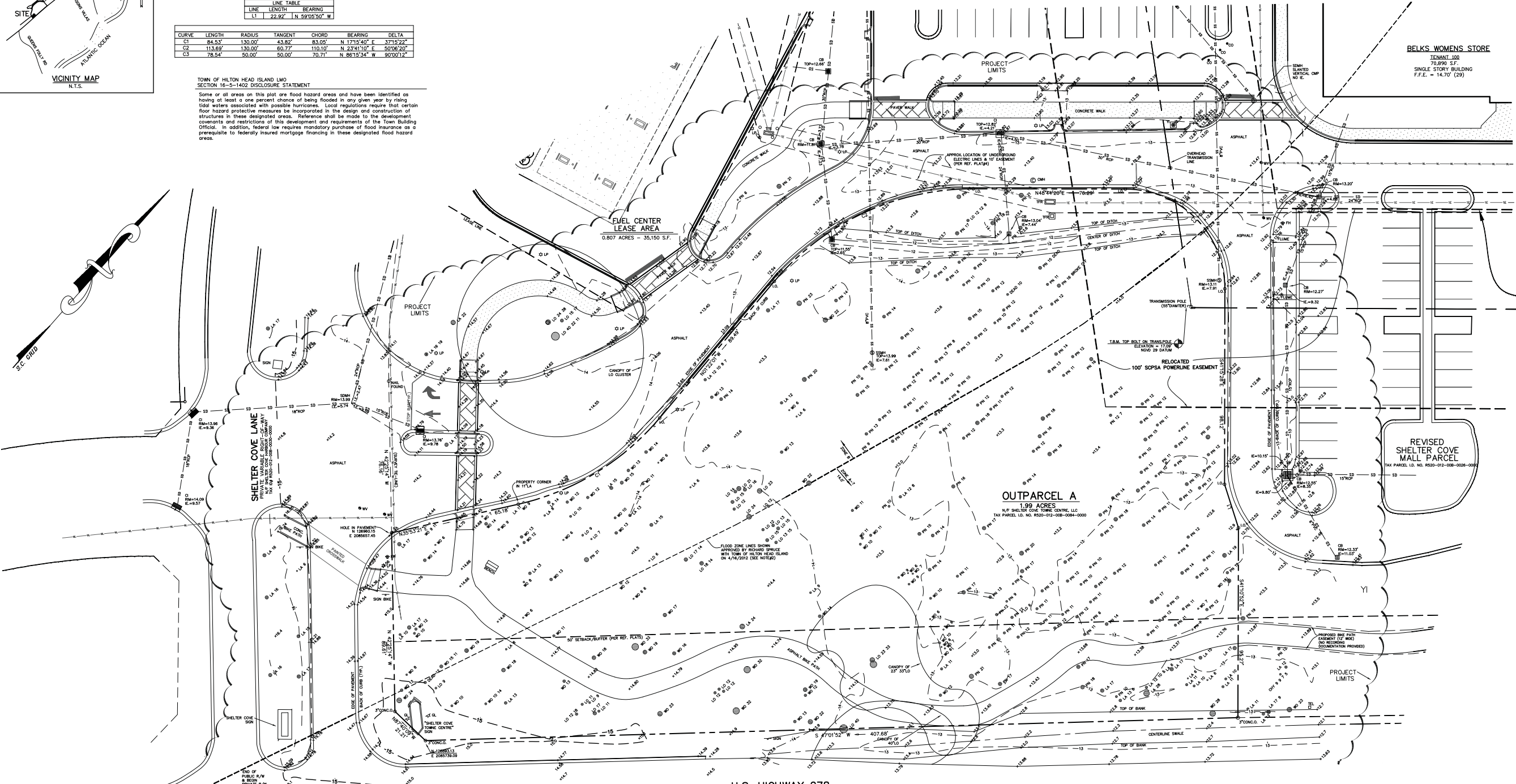
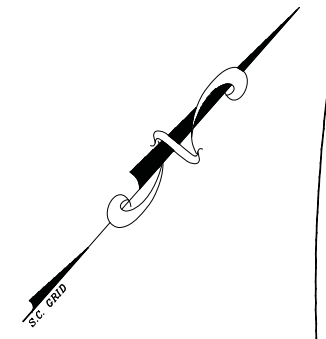


LINE TABLE					
LINE	LENGTH	BEARING		DELTA	
L1	22.82'	N	59°05'50"	W	

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	84.53'	130.00'	43.82'	83.10'	N 77°54'07" E	37°15'22"
C2	113.69'	130.00'	60.77'	110.10'	N 23°41'10" E	50°26'20"
C3	78.54'	50.00'	50.00'	70.71'	N 88°15'34" W	90°00'12"

TOWN OF HILTON HEAD ISLAND LMO
SECTION 16-5-1402 DISCLOSURE STATEMENT

Some of all areas on this plot are flood hazard areas and have been identified as having at least a one percent chance of being flooded in any given year by rising tidal waters associated with possible hurricanes. Local regulations require that certain floor hazard protective measures be incorporated in the design and construction of structures in these designated areas. Reference shall be made to the development covenants and restrictions of this development and requirements of the Town Building Ordinance. In addition, federal law requires mandatory purchase of flood insurance as a prerequisite to federally insured mortgage financing in these designated flood hazard areas.



BELKS WOMENS STORE
TENANT JOB
70,890 S.F.
SINGLE STORY BUILDING
F.F.E. = 14,70' (29)

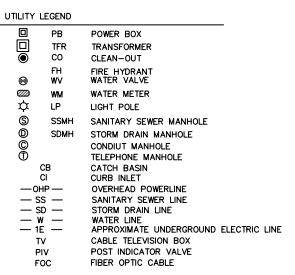
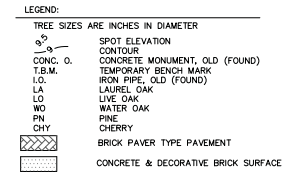
REVISED SHELTER COVE MALL PARCEL
TAX PARCEL I.D. NO. R520-012-008-0000

OUTPARCEL A
1.99 ACRES
N/P SHELTER COVE TOWNE CENTRE, LLC
TAX PARCEL I.D. NO. R520-012-008-0000

U.S. HIGHWAY 278
'WILLIAM HILTON PARKWAY'
PUBLIC VARIABLE RIGHT-OF-WAY
4 LANE HIGHWAY WITH MEDIAN

- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
 - AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE B, A-7 & A-8, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 14-D, COMMUNITY NO. 450220, MAP DATED 9/22/76. BASE ELEVATION 14.02 & 15.00, FLOOD HAZARD ZONE AND BASE ELEVATION WERE VERIFIED BY RICHARD SPRUCE, PLANS REVIEW ADMINISTRATOR, TOWN OF HILTON HEAD ISLAND ON 4/16/2012.
 - BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
 - UNDERGROUND UTILITIES WERE NOT MARKED FOR THIS SURVEY, THE UNDERGROUND STORM AND SANITARY SEWER LINE LOCATIONS ARE BASED ON FIELD EVIDENCE AND ARE APPROXIMATE. ALL OTHER UNDERGROUND UTILITIES SHOWN WERE SCALED FROM REFERENCE PLATS 4 AND 5 AND WERE NOT FIELD VERIFIED. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY LINE.
 - NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
 - THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
 - THIS PLAT IS TO SHOW ASBLUT, TREE AND TOPOGRAPHIC SURVEY INFORMATION INSIDE OF THE PROJECT LIMITS SHOWN ONLY. ALL OTHER INFORMATION SHOWN OUTSIDE OF PROJECT LIMITS WERE TAKEN FROM REFERENCE PLATS AND NOT UPDATED AT THIS TIME.
 - *ALL BOUNDARY AND SETBACKS ARE SUBJECT TO THE TERMS IN THE APPROVED DEVELOPMENT AGREEMENT DATED OCTOBER 16, 2012 PER THE TOWN OF HILTON HEAD ISLAND PLANNING DEPARTMENT.

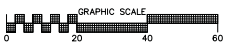
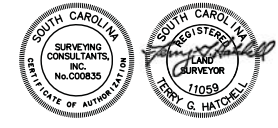
- REFERENCE PLATS:
- SUBDIVISION PLAT OF OUTPARCEL A, REVISED SHELTER COVE MALL PARCEL, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 6/15/2016, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 144, PG. 71, 6/27/2016.
 - BOUNDARY RECONFIGURATION OF SHELTER COVE MALL AREA, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 9/24/2013, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 136, PG. 1, 12/20/2013.
 - SUBDIVISION PLAT OF SHELTER COVE MALL AREA, A SECTION OF SHELTER COVE, HILTON HEAD ISLAND, DATED: 12/11/2013, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 136, PG. 2, 12/20/2013.
 - EASEMENT PLAT FOR THE RELOCATION OF HILTON HEAD GAS TURBINE-MARKET PLACE 115KV TRANSMISSION LINE ON THE LANDS OF SHELTER COVE HARBOUR COMPANY AND SHELTER COVE TOWNE CENTRE, LLC, HILTON HEAD ISLAND, SC DATED: 7/09/2013, BY: MARK R. RENEW, S.C.R.L.S. NO. 25347, RECORDED: PB 137 PG 191, 12/13/2013.
 - ALTA/NPS LAND TITLE SURVEY OF 30.34 ACRES, REVISED SHELTER COVE MALL PARCEL, SHELTER COVE TOWNE CENTRE, SECTION OF SHELTER COVE, DATED: 09/23/2016, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: PB 136, PG. 2, 12/20/2013.
 - SITE DEVELOPMENT PLANS FOR SHELTER COVE TOWNE CENTRE PHASE 1C, TOWN OF HILTON HEAD ISLAND, PREPARED FOR SHELTER COVE TOWNE CENTRE, LLC, PROJECT NUMBER 110221C, DATED: 2/28/2013, BY: WILLIAM G. POWELL, S.C.P.E. NO. 25124, WARD EDWARDS ENGINEERING.



PREPARED FOR: SHELTER COVE TOWNE CENTRE, LLC
ADDRESS: #24 SHELTER COVE LANE
TAX PARCEL I.D. NO. R520-012-008-0084-0000

BOUNDARY
TREE & TOPOGRAPHIC
SURVEY OF
OUTPARCEL A, 1.99 ACRES
SHELTER COVE TOWNE CENTRE
A SECTION OF
SHELTER COVE
TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 20' DATE: 05/02/2017 JOB NO: SC110040M.5(A)



SG SURVEYING CONSULTANTS
17 Sheridigan Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3305
GA Telephone: (912) 828-2776
www.SurveyingConsultants.com
Email: SC@SurveyingConsultants.com
CREATED BY SURVEYING CONSULTANTS

SITE KEY LEGEND:

- S1** CONCRETE WALK W/ OYSTER SHELL FINISH
DETAIL 1 / L-300
- S2** VEHICULAR PAVERS
(BY OTHERS)
- S3** BIKE RACK
DETAIL 3 / L-300
- S4** ADA CURB RAMPS
DETAIL 5 / L-300
- S5** ELECTRIC VEHICLE CHARGING STATION
DETAIL 6 / L-300
- S6** ALUMINUM FENCE
DETAIL 4 / L-300
- S7** DUMPSTER ENCLOSURE
(BY OTHERS)
- S8** HD CONCRETE
(BY OTHERS)

PAVING / MATERIAL SCHEDULE:

- CONCRETE WALK W/ OYSTER SHELL FINISH:
50:50 MIX OF #2 & #3 SHELL @ 2LBS/SF
SEE DETAIL 1/L-300
- CONTROL JOINT:
SEE DETAIL 1/L-300
- EXPANSION JOINT:
SEE DETAIL 1/L-300
- VEHICULAR PAVERS:
(BY OTHERS)
COLOR: TO MATCH COLOR BLEND AT
SHELTER COVE TOWNE CENTRE
- ADA DOME TILES:
STEP SAFE TILES (12"x12"x.5")
COLOR: CHOCOLATE BROWN
- HD CONCRETE:
(SEE CIVIL PLANS)
- PL PLANTER

SITE FURNISHINGS & LIGHTING SCHEDULE:

- 111 BIKE RACKS (10 TOTAL):**
SEE DETAIL 3/L-300
MADRAX UX BIKE RACK
MODEL: UX38-SF-MS
FINISH: MAD SHIELD
COLOR: BLACK
SURFACE MOUNT PER MANUFACTURER'S
SPECIFICATIONS
- ▲ TREE UPLIGHT (7 TOTAL):**
PHILLIPS HAKCO LED BULLYTE
NARROW OPTIC
MODEL: B-4-N-C-N-A-L
COLOR: BLACK
GROUND MOUNT PER MANUFACTURER'S
RECOMMENDATIONS
- ⊗ BOLLARD LIGHT (8 TOTAL):**
PHILLIPS LUMEC MODEL DOSB
LAMP: HIGH PRESSURE SODIUM
FINISH: BK7X (TEXTURED BLACK)
SURFACE MOUNT PER MANUFACTURER'S
RECOMMENDATIONS
- ⊠ LARGE SHOEBOX LIGHT:**
(APPROXIMATE LOCATIONS, SEE PECL PLANS)

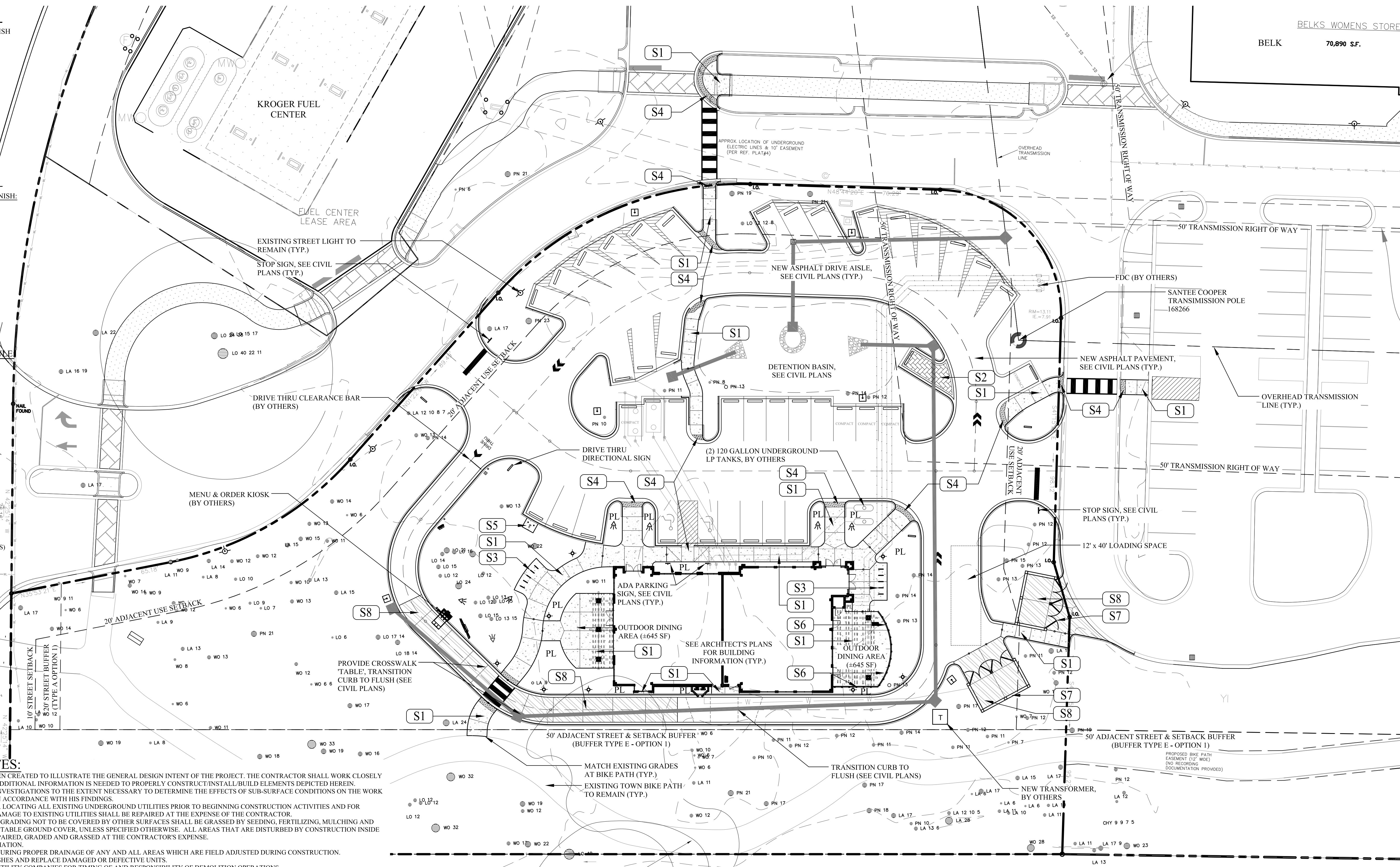
GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
5. SEE CIVIL PLANS FOR ALL DEMOLITION INFORMATION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
9. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
12. SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
13. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
14. SEE ELECTRICAL PLAN FOR LOCATION OF ELECTRICAL, COORDINATE WITH PALMETTO ELECTRIC FOR AREA LIGHTS AND PROVIDE CONDUIT SLEEVING FOR ALL WIRING UNDER PAVEMENTS.
15. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
17. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
18. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
19. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (E.G. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAWINGS PRIOR TO PAVEMENT INSTALLATION.
21. CONTRACTOR SHALL PROVIDE 4' x 4' (MINIMUM) MOCK UP PANELS OF ALL PAVEMENT & PAVER TYPES. IF APPROVED, MOCK UP CAN BE A PART OF PROPOSED PAVEMENT WORK.
22. CONTRACTOR TO PERMANENTLY ANCHOR ALL SITE FURNISHINGS & BOLLARDS TO PAVEMENT PER MANUFACTURER'S REQUIREMENTS. ALL FASTENERS TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.
23. ALL PAVEMENT SURFACES TO BE STABLE, FIRM AND SLIP RESISTANT, COMPLYING WITH ADA STANDARDS, ASTM C-1028 (WET STATIC COEFFICIENT OF FRICTION 0.6 OR HIGHER).



SCALE: 1"=20' NORTH

PLAN IS SUBJECT TO CHANGE.



SITE SUMMARY:	
PARCEL NUMBER:	R520 012 00B 0084 0000
GROSS SITE AREA:	1.99 ACRES
TOTAL AREA OF DISTURBANCE:	1.12 ACRES
MAXIMUM IMPERVIOUS COVER:	65%
ZONING DISTRICT:	PD-1
OVERLAY DISTRICT:	CORRIDOR OVERLAY
TOTAL PARKING PROVIDED:	40 SPACES

SOUTHEASTERN
 2743 Perimeter Pkwy #370
 Augusta, GA 30909

PERMIT DOCUMENTS
CHIPOTLE / STARBUCKS
 AT
SHELTER COVE TOWNE CENTER
 Hilton Head Island, SC

DRAWN BY: DM
 CHECKED BY: TT

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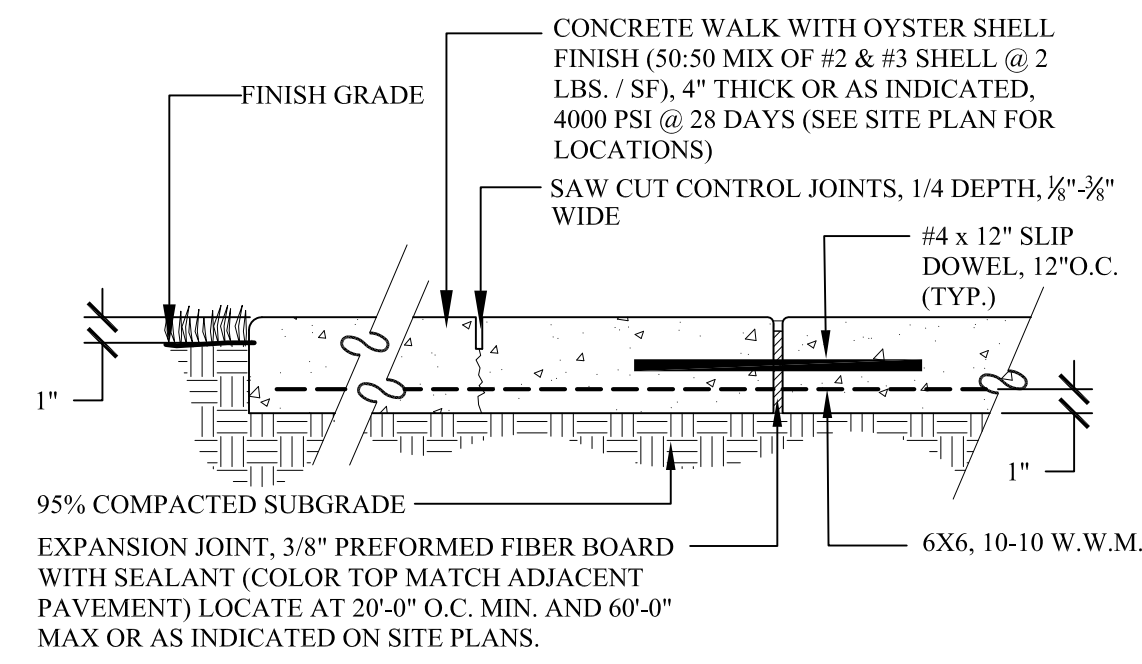
#	REVISION	DATE	BY
1	DRP SUBMITTAL	11-28-17 DM	
2	DRP RESUBMITTAL	04-17-18 DM	
3	DRP RESUBMITTAL	11-28-17 DM	
4	DRP RESUBMITTAL	11-15-18 DM	
5	DRP RESUBMITTAL	02-13-18 DM	

DATE: 2-13-2018
 PROJECT NUMBER: 01-17014
 SHEET TITLE: SITE PLAN

Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners

PO Box 22848 Hilton Head Island, SC 29925
 843.681.6618 Fax 843.681.7088 www.woodpartners.com

SHEET NUMBER
L100



CONCRETE WALK WITH OYSTER SHELL FINISH (50:50 MIX OF #2 & #3 SHELL @ 2 LBS. / SF), 4" THICK OR AS INDICATED, 4000 PSI @ 28 DAYS (SEE SITE PLAN FOR LOCATIONS)

SAW CUT CONTROL JOINTS, 1/4" DEPTH, 1/2"-3/8" WIDE

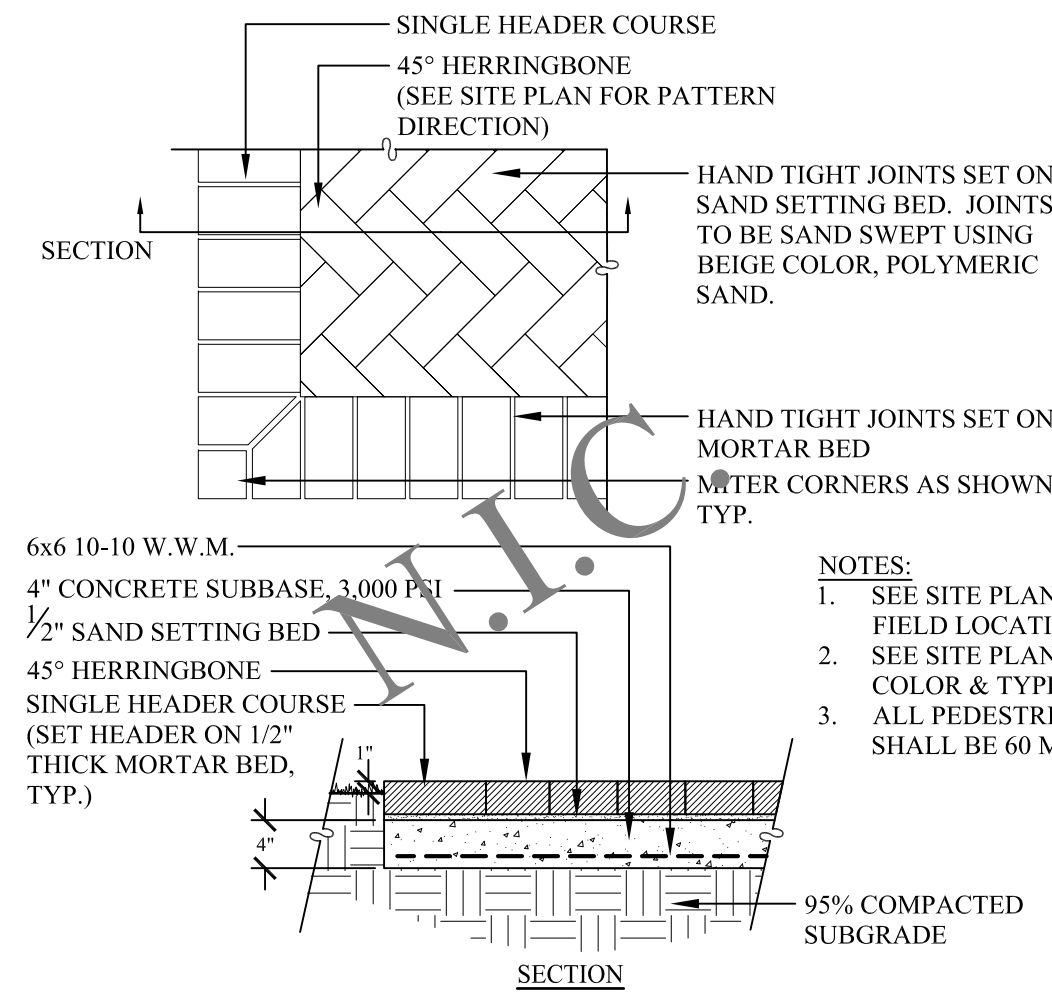
#4 x 12" SLIP DOWEL, 12" O.C. (TYP.)

95% COMPACTED SUBGRADE

EXPANSION JOINT, 3/8" PREFORMED FIBER BOARD WITH SEALANT (COLOR TOP MATCH ADJACENT PAVEMENT) LOCATE AT 20'-0" O.C. MIN. AND 60'-0" MAX OR AS INDICATED ON SITE PLANS.

6X6, 10-10 W.W.M.

1 CONCRETE WALK WITH OYSTER SHELL FINISH & CONTROL / EXPANSION JOINT
L300 SCALE: 1-1/2" = 1'-0"



SINGLE HEADER COURSE

45° HERRINGBONE (SEE SITE PLAN FOR PATTERN DIRECTION)

HAND TIGHT JOINTS SET ON SAND SETTING BED. JOINTS TO BE SAND SWEEP USING BEIGE COLOR, POLYMERIC SAND.

HAND TIGHT JOINTS SET ON MORTAR BED

MITER CORNERS AS SHOWN, TYP.

6X6 10-10 W.W.M.

4" CONCRETE SUBBASE, 3,000 PSI

1/2" SAND SETTING BED

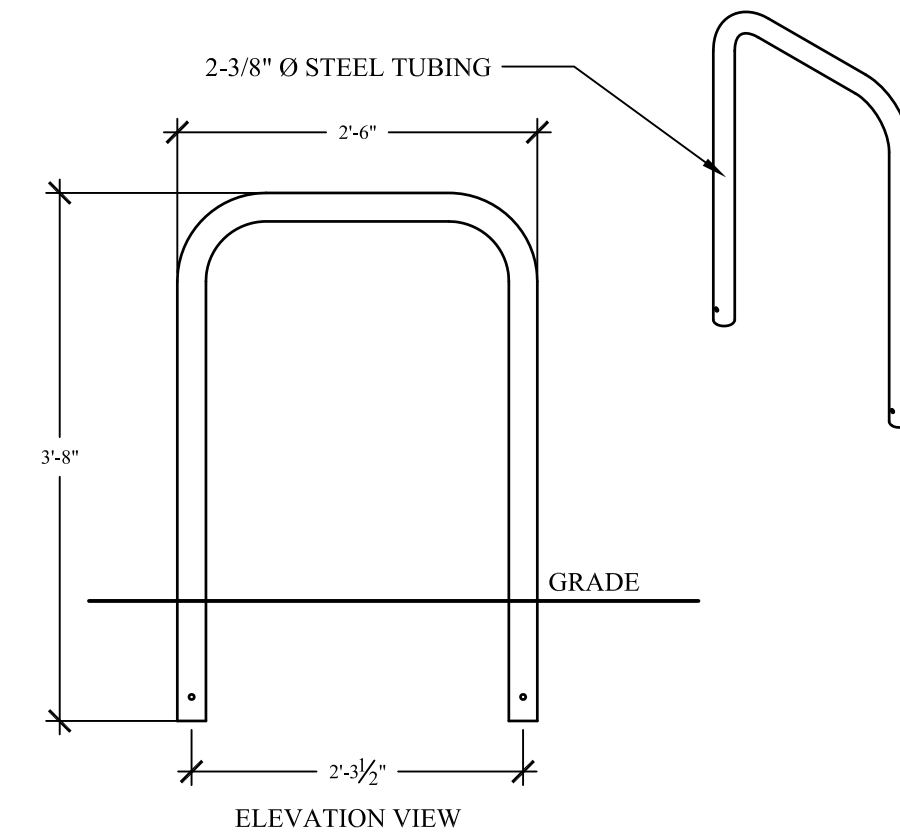
45° HERRINGBONE SINGLE HEADER COURSE (SET HEADER ON 1/2" THICK MORTAR BED, TYP.)

95% COMPACTED SUBGRADE

NOTES:

1. SEE SITE PLAN FOR PAVER FIELD LOCATIONS.
2. SEE SITE PLAN FOR PAVER COLOR & TYPE.
3. ALL PEDESTRIAN PAVERS SHALL BE 60 MM PAVERS.

2 PEDESTRIAN PAVERS
L300 SCALE: 3/4" = 1'-0"



2-3/8" Ø STEEL TUBING

2'-6"

3'-8"

GRADE

ELEVATION VIEW

'U' BIKE RACK, SEE SITE PLAN FOR MORE INFORMATION

LAG BOLT (PER MANUFACTURER'S SPECIFICATIONS)

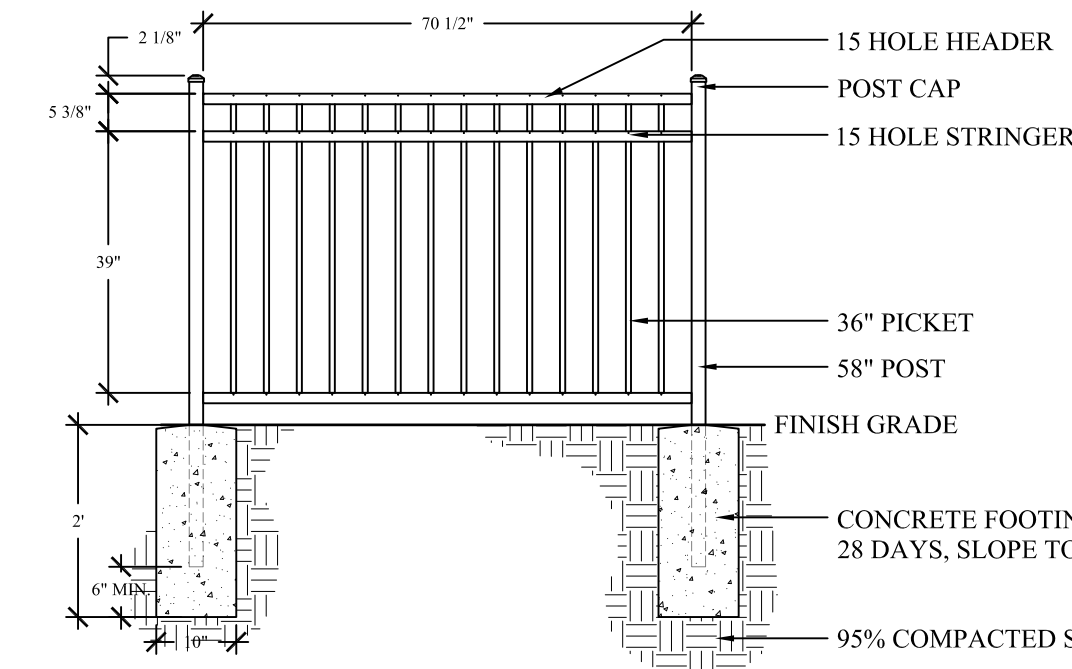
4" THICK CONCRETE PAVEMENT (4,000 PSI @ 28 DAYS)

95% COMPACTED SUBGRADE

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. COLOR TO BE BLACK WITH POWDERCOATED FINISH.
3. SEE SITE PLAN FOR LOCATIONS.
4. SEE SITE PLAN FOR MANUFACTURER & MODEL INFORMATION.

3 BIKE RACK
L300 SCALE: 3/4" = 1'-0"



15 HOLE HEADER

POST CAP

15 HOLE STRINGER

36" PICKET

58" POST

FINISH GRADE

CONCRETE FOOTING, 4,000 PSI @ 28 DAYS, SLOPE TO DRAIN, TYP.

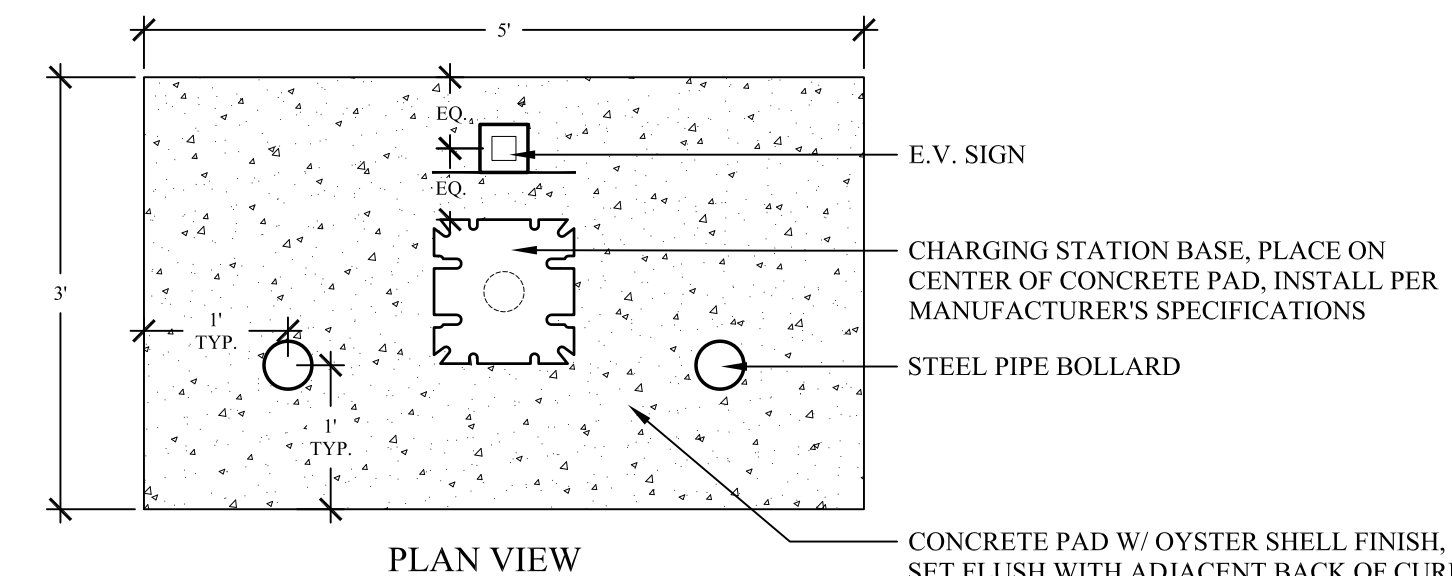
95% COMPACTED SUBGRADE, TYP.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
3. FENCE COLOR SHALL BE BLACK.

MANUFACTURER: JERITH MFG CO., INC. 48" WINDSOR FENCE BY JERITH
14400 MCNUITY ROAD FINISH: ALUMINUM W/ POWDERCOAT
PHILADELPHIA, PA 19154 COLOR: BLACK
TOLL FREE: 1-800-344-2242
FAX: (215) 676-9756
www.jerith.com

4 ALUMINUM FENCE
L300 SCALE: 1/2" = 1'-0"



PLAN VIEW

E.V. SIGN

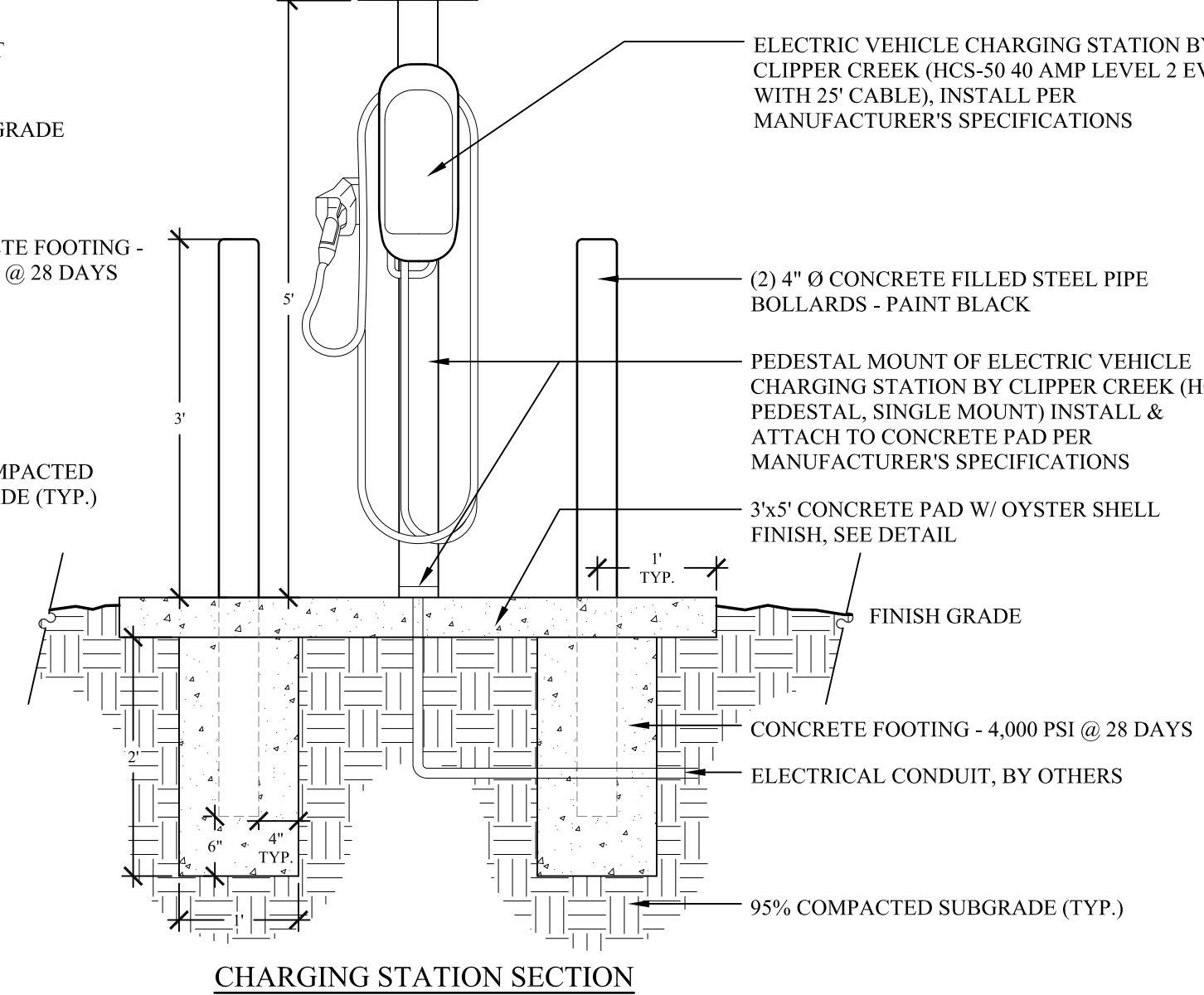
CHARGING STATION BASE, PLACE ON CENTER OF CONCRETE PAD, INSTALL PER MANUFACTURER'S SPECIFICATIONS

STEEL PIPE BOLLARD

CONCRETE PAD W/ OYSTER SHELL FINISH, SET FLUSH WITH ADJACENT BACK OF CURB (SEE PLANS)

4x4 POST W/ 1" CHAMFERED TOP - PAINT POST BLACK

12"x18" GREEN REFLECTIVE ELECTRIC VEHICLE CHARGING STATION SIGN



CHARGING STATION SECTION

4x4 POST

FINISH GRADE

CONCRETE FOOTING - 4,000 PSI @ 28 DAYS

95% COMPACTED SUBGRADE (TYP.)

ELECTRIC VEHICLE CHARGING STATION BY CLIPPER CREEK (HCS-50 40 AMP LEVEL 2 EVSE WITH 25' CABLE), INSTALL PER MANUFACTURER'S SPECIFICATIONS

(2) 4" Ø CONCRETE FILLED STEEL PIPE BOLLARDS - PAINT BLACK

PEDESTAL MOUNT OF ELECTRIC VEHICLE CHARGING STATION BY CLIPPER CREEK (HCS PEDESTAL, SINGLE MOUNT) INSTALL & ATTACH TO CONCRETE PAD PER MANUFACTURER'S SPECIFICATIONS

3'x5' CONCRETE PAD W/ OYSTER SHELL FINISH, SEE DETAIL

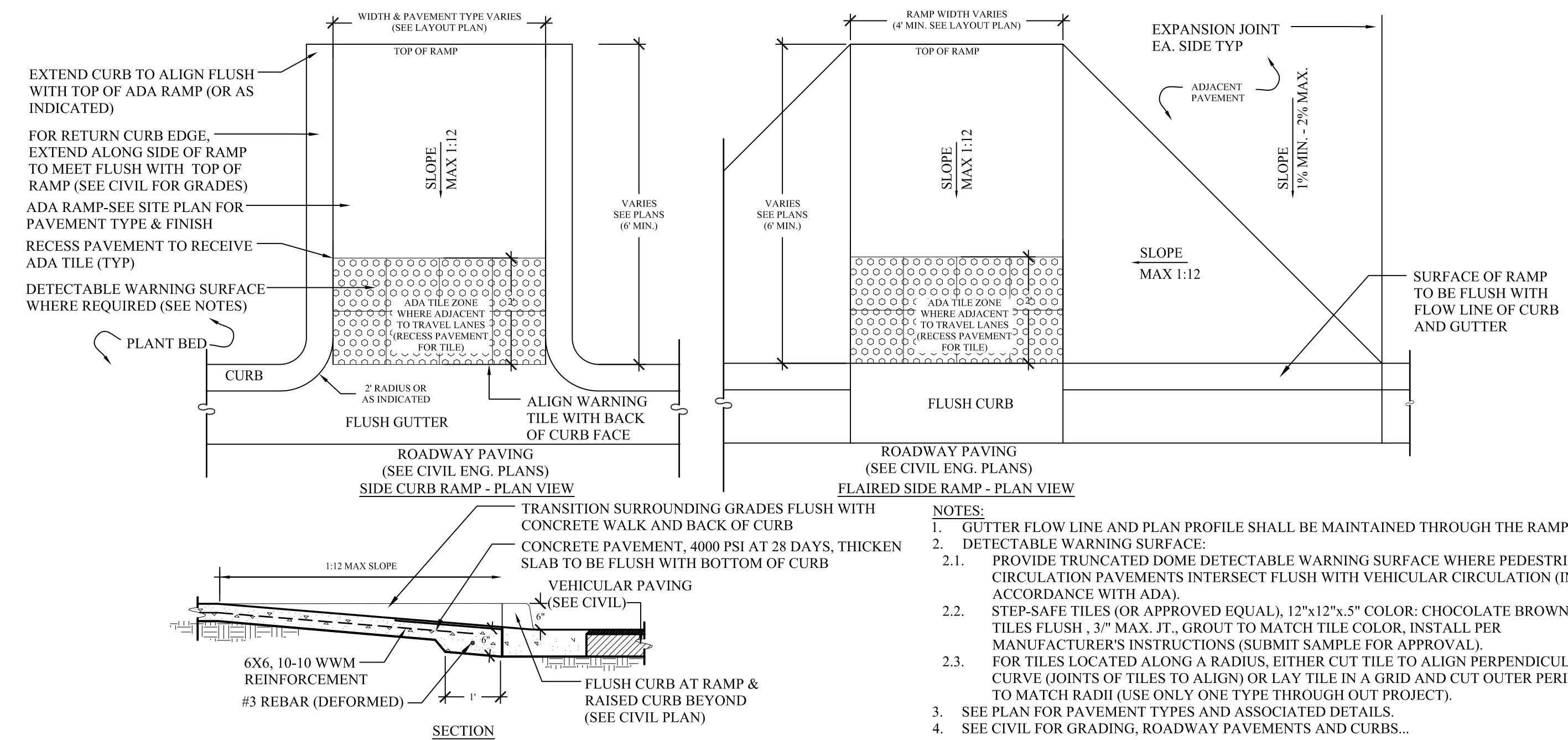
FINISH GRADE

CONCRETE FOOTING - 4,000 PSI @ 28 DAYS

ELECTRICAL CONDUIT, BY OTHERS

95% COMPACTED SUBGRADE (TYP.)

6 ELECTRIC VEHICLE CHARGING STATION
L300 SCALE: 3/4" = 1'-0"



EXTEND CURB TO ALIGN FLUSH WITH TOP OF ADA RAMP (OR AS INDICATED)

FOR RETURN CURB EDGE, EXTEND ALONG SIDE OF RAMP TO MEET FLUSH WITH TOP OF RAMP (SEE CIVIL FOR GRADES)

ADA RAMP-SEE SITE PLAN FOR PAVEMENT TYPE & FINISH

RECESS PAVEMENT TO RECEIVE ADA TILE (TYP.)

DETECTABLE WARNING SURFACE WHERE REQUIRED (SEE NOTES)

PLANT BED

CURB

2 RADIUS OR AS INDICATED

FLUSH GUTTER

ALIGN WARNING TILE WITH BACK OF CURB FACE

ROADWAY PAVING (SEE CIVIL ENG. PLANS)

SIDE CURB RAMP - PLAN VIEW

TRANSITION SURROUNDING GRADES FLUSH WITH CONCRETE WALK AND BACK OF CURB

CONCRETE PAVEMENT, 4000 PSI AT 28 DAYS, THICKEN SLAB TO BE FLUSH WITH BOTTOM OF CURB

VEHICULAR PAVING (SEE CIVIL)

6X6, 10-10 W.W.M. REINFORCEMENT

#3 REBAR (DEFORMED)

1:12 MAX SLOPE

FLUSH CURB AT RAMP & RAISED CURB BEYOND (SEE CIVIL PLAN)

SECTION

ROADWAY PAVING (SEE CIVIL ENG. PLANS)

FLAIRED SIDE RAMP - PLAN VIEW

EXPANSION JOINT EA. SIDE TYP.

ADJACENT PAVEMENT

SLOPE MAX 1:12

SLOPE 1% MIN. - 2% MAX.

SLOPE MAX 1:12

SURFACE OF RAMP TO BE FLUSH WITH FLOW LINE OF CURB AND GUTTER

NOTES:

1. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
2. DETECTABLE WARNING SURFACE:
 - 2.1. PROVIDE TRUNCATED DOME DETECTABLE WARNING SURFACE WHERE PEDESTRIAN CIRCULATION PAVEMENTS INTERSECT FLUSH WITH VEHICULAR CIRCULATION (IN ACCORDANCE WITH ADA).
 - 2.2. STEP-SAFE TILES (OR APPROVED EQUAL), 12"x12"x.5" COLOR: CHOCOLATE BROWN. SET TILES FLUSH, 3" MAX. JT., GROUT TO MATCH TILE COLOR, INSTALL PER MANUFACTURER'S INSTRUCTIONS (SUBMIT SAMPLE FOR APPROVAL).
 - 2.3. FOR TILES LOCATED ALONG A RADIUS, EITHER CUT TILE TO ALIGN PERPENDICULAR TO CURVE (JOINTS OF TILES TO ALIGN) OR LAY TILE IN A GRID AND CUT OUTER PERIMETER TO MATCH RADII (USE ONLY ONE TYPE THROUGH OUT PROJECT).
3. SEE PLAN FOR PAVEMENT TYPES AND ASSOCIATED DETAILS.
4. SEE CIVIL FOR GRADING, ROADWAY PAVEMENTS AND CURBS...

5 ADA CURB RAMPS
L300 SCALE: 1/2" = 1'-0"

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY
1	DPR SUBMITTAL	12-13-17	DM
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3	DPR RESUBMITTAL	11-28-17	DM
4	DPR RESUBMITTAL	11-15-18	DM
5	DPR RESUBMITTAL	2-13-18	DM

DATE
2-13-2018
PROJECT NUMBER
01-17014
SHEET TITLE
DETAILS

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CFCF	10	Cercis canadensis 'Forest Pansy' TM	Forest Pansy Redbud	B & B or Cont.	1"Cal	4'-5"	6'-8'	4'-5'	Strong central leader
CNFL	4	Cornus florida 'White'	White Flowering Dogwood	B & B or Cont.	2"Cal	4'-6"	8'-10'	4'-6"	Strong central leader
ILVO	9	Ilex vomitoria	Yaupon Holly	30 gal	1"Cal	4'-6"	6' Min.	4'-6"	Tree form
LAIF	10	Lagerstroemia indica x faurei 'Tonto'	Tonto Crape Myrtle	B&B or Cont.	1"Cal	3'-4"	6' Min.	3'-4"	Multi-stem (min. 3 canes, 1" caliper min. for each cane)
LATU	6	Lagerstroemia x 'Tuscarora'	Tuscarora Crape Myrtle	B & B or Cont.	1"Cal	3'-4"	8'-10'	3'-4"	Multi-stem (minimum 3 canes, 1" caliper minimum for each cane)
QUVH	1	Quercus virginiana	Live Oak	B & B or Cont.	2"Cal	6'-8"	10'-12'	6'-8"	2" caliper minimum, strong central leader
SAPA	4	Sabal palmetto	Cabbage Palm	B & B or Cont.	2"Cal	4'-5"	12' Min.	4'-5"	Hurricane cut, smooth clear trunk
TADI	3	Taxodium distichum	Bald Cypress	B & B or Cont.	2"Cal	4'-5"	10'	4'-5"	Full, specimen
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
ABRC	39	Abelia x 'Rose Creek'	Rose Creek Abelia	3 gal	12"-18"	12"-18"	Full pot		
ALZV	27	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	18"-24"	18"-24"	Full		
AEAB	16	Azalea Encore 'Autumn Belle'	Autumn Belle Encore Azalea	3 gal	18"-24"	18"-24"	Full		
AEAE	11	Azalea Encore 'Autumn Chiffon'	Autumn Chiffon Encore Azalea	3 gal	18"-24"	18"-24"	Full		
AZIF	41	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24"-30"	24"-30"	Full pot		
AZIG	24	Azalea indica 'G.G. Gerbing'	G.G. Gerbing Azalea	3 gal	24"-36"	18"-24"	Full		
HYME	6	Hydrangea macrophylla 'Endless Summer' TM	Bailmer Hydrangea	3 gal	24"-30"	24"-30"	Full		
ILGL	28	Ilex glabra 'Shamrock'	Inkberry Holly	3 gal	24"-36"	24"-36"	Full		
LIGA	19	Ligustrum japonicum	Ligustrum	7 gal	3'-4"	3'-4"	Full to ground		
MAES	14	Mahonia eurybracteata 'Soft Caress'	'Soft Caress' Mahonia	3 gal	12"-18"	12"-18"	Full		
MISA	15	Miscanthus sinensis 'Adagio'	Adagio Dwarf Miscanthus	1 gal	12"-18"	12"-18"	Full pot		
MYCR	35	Myrica cerifera	Wax Myrtle	B & B or Cont.	4'-5"	2'-3"	Full to ground		
NADL	11	Nandina domestica 'Lemon Lime'	Lemon Lime Nandina	3 gal	12"-18"	12"-18"	Full		
NEOD	14	Nerium oleander 'Petite Pink'	Dwarf Oleander	3 gal	24"-36"	18"-24"	Full		
OSFR	4	Osmanthus fragrans	Sweet Olive	7 gal	36"-48"	24"-36"	Full pot		
PEPP	14	Pennisetum purpureum 'Princess Caroline'	Elephant Grass	1 gal	12"-18"	12"-18"	Full pot		
PHSX	18	Philodendron selloum 'Xanadu'	Split Leaf Philodendron	3 gal	15" - 18"	15" - 18"	Full pot		
PODO	14	Podocarpus macrophyllus	Shrubby Yew	7 gal	30"-36"	18"-24"	Full		
SERE	12	Serenoa repens	Saw Palmetto	3 gal	15" - 18"	12"-18"	Full pot		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
ANNU	39	Annuals	(Selection by Contractor)	flat			12" o.c.	Selection to be approved by landscape architect	
DIVE	57	Dietses vegeta	African Iris	1 gal	12"-18"	8"-12"	36" o.c.	Full, healthy	
DREB	48	Dryopteris erythrosora 'Brilliance'	Autumn Fern	1 gal	12"-18"	10"-12"	30" o.c.	Full Pot	
IRVE	30	Iris versicolor	Blue Flag	1 Gal.	6"-10"	6"-8"	18" o.c.	Full pot	
JUEF	70	Juncus effusus	Soft Rush	1 gal.	12"-18"	12"-18"	36" o.c.	Full Pot	
JUCO	108	Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	1 gal	6"-10"	10"-12"	30" o.c.	Full pot	
LACN	6	Lantana camara 'New Gold'	New Gold Lantana	1 gal	6"-10"	10"-12"	36" o.c.		
LIMS	228	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	10"-12"	10"-12"	24" o.c.	Full pot	
MUCA	187	Muhlenbergia capillaris	Muhly Grass	1 gal	12"-18"	8"-12"	36" o.c.		
OPJA	44	Ophiopogon japonicus	Mondo Grass	1 Gal.	6"-10"	6"-8"	8" o.c.	Full pot	
SOD	4,522 sf	Sod	Zeon Zoysia	sod					
SPBA	22	Spartina bakeri	Sand Cord Grass	1 gal	18"-24"	12"-18"	42" o.c.	Full pot	

LANDSCAPE NOTES:

- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
- THE PLANT SCHEDULE INCLUDED IN THIS DRAWING WAS PREPARED FOR ESTIMATING PURPOSES & FOR THE CONTRACTORS CONVENIENCE ONLY, AND ITS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL PERFORM HIS OR HER OWN QUANTITY TAKE-OFFS USING THE DRAWINGS TO DETERMINE THE QUANTITIES TO HIS OR HER SATISFACTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A FINAL BID.
- CONTRACTOR SHALL WARRANTY ALL EXTERIOR PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING BUT NOT LIMITED TO DEATH AND UNSATISFACTORY GROWTH. DEFECTS ASSOCIATED WITH A LACK OF ADEQUATE MAINTENANCE, NEGLECT, OR ABUSE BY THE OWNER OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL WILL NOT BE COVERED BY THE ONE-YEAR WARRANTY.
- THE CONTRACTOR SHALL VERIFY THAT ALL SELECTED PLANT SPECIES ARE DETERMINED AVAILABLE AT THEIR SPECIFIED SIZES WHEN THE TIME OF BIDDING. THE CONTRACTOR SHALL NOT MAKE PLANT SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID.
- ALL PLANT MATERIAL SHALL HAVE A WELL FORMED HEAD WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO APPROVED INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANT BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH TO A DEPTH OF 4".
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR APPLICATION AT INSTALLATION.

IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM SHALL INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK-FLOW, & CONTROLLERS. THE INSTALLED SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. BACK FLOW PREVENTER SHALL BE SIZED TO MATCH STUB OUT DIAMETER (SEE CIVIL).
- COORDINATE WITH BUILDING ELECTRICAL FOR IRRIGATION CONTROLLER; SEE LANDSCAPE PLAN FOR CONTROLLER LOCATION.
- CONTRACTOR TO COORDINATE WITH OWNER TO TIE INTO EXISTING IRRIGATION MAIN LINE.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING WITH CONDUIT SLEEVING UNDER PAVEMENT.
- CONTRACTOR TO SUBMIT TO OWNER AS-BUILT PLAN & DIGITAL FILE OF COMPLETED IRRIGATION SYSTEM.

GRADING NOTES:

- CONTRACTOR TO PERFORM FINE GRADING WITHIN ALL TURF AND PLANT BEDS. FINE GRADING SHALL CONSIST OF A HAND RAKED, SMOOTH SOIL FREE OF ROCKS, ROOTS, AND DEBRIS.

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE A MODIFICATION TO THE PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

TREE MITIGATION:

- TREE MITIGATION WILL UTILIZE THE ADJUSTED CALIPER INCH CALCULATION TO MITIGATE THE REMOVAL OF TREES ON SITE. A COMPLETE TREE MITIGATION SUMMARY WILL BE PROVIDED UPON DPR SUBMITTAL.

TOTAL ACRES: 1.99
 MAXIMUM IMPERVIOUS SURFACE ALLOWED (PD-1): 65%
 ADJUSTED CALIPER INCHES TO BE MET POST DEVELOPMENT: 626.9

POST DEVELOPMENT TREE COUNTS (EXISTING TREES ONLY):
 CATEGORY 1: 1,052 (1) = 1,052
 CATEGORY 2: 859 (.75) = 644.25
 CATEGORY 3: 592 (.5) = 296
 CATEGORY 4: 0 (.25) = 0

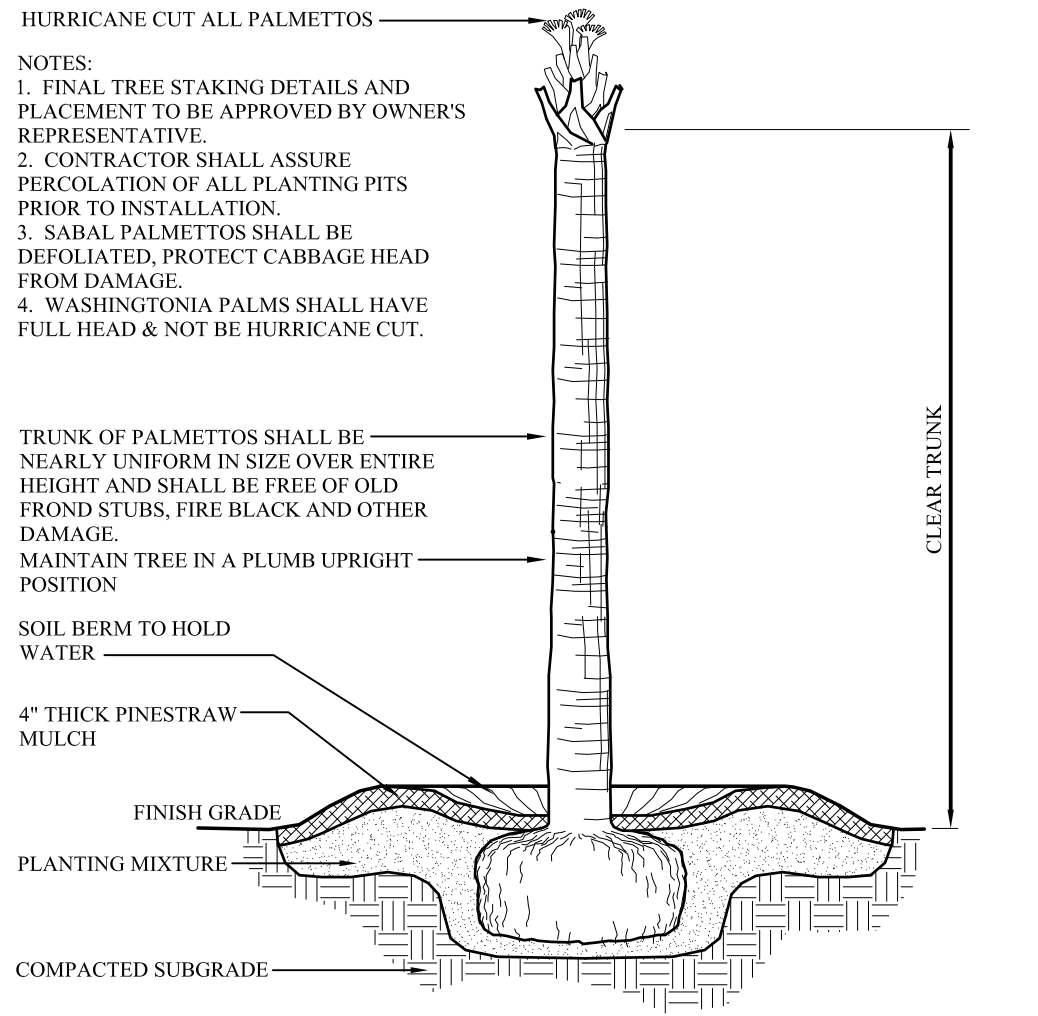
POST DEVELOPMENT TREE COUNTS (PROPOSED TREES ONLY):
 CATEGORY 1: 10 (1) = 10
 CATEGORY 2: 0 (.75) = 0
 CATEGORY 3: 32 (.5) = 16
 CATEGORY 4: 75 (.25) = 18.75

POST DEVELOPMENT TREE COUNTS (TOTAL):
 CATEGORY 1: 1,062 (1) = 1,062
 CATEGORY 2: 859 (.75) = 644.25
 CATEGORY 3: 624 (.5) = 312
 CATEGORY 4: 75 (.25) = 18.75

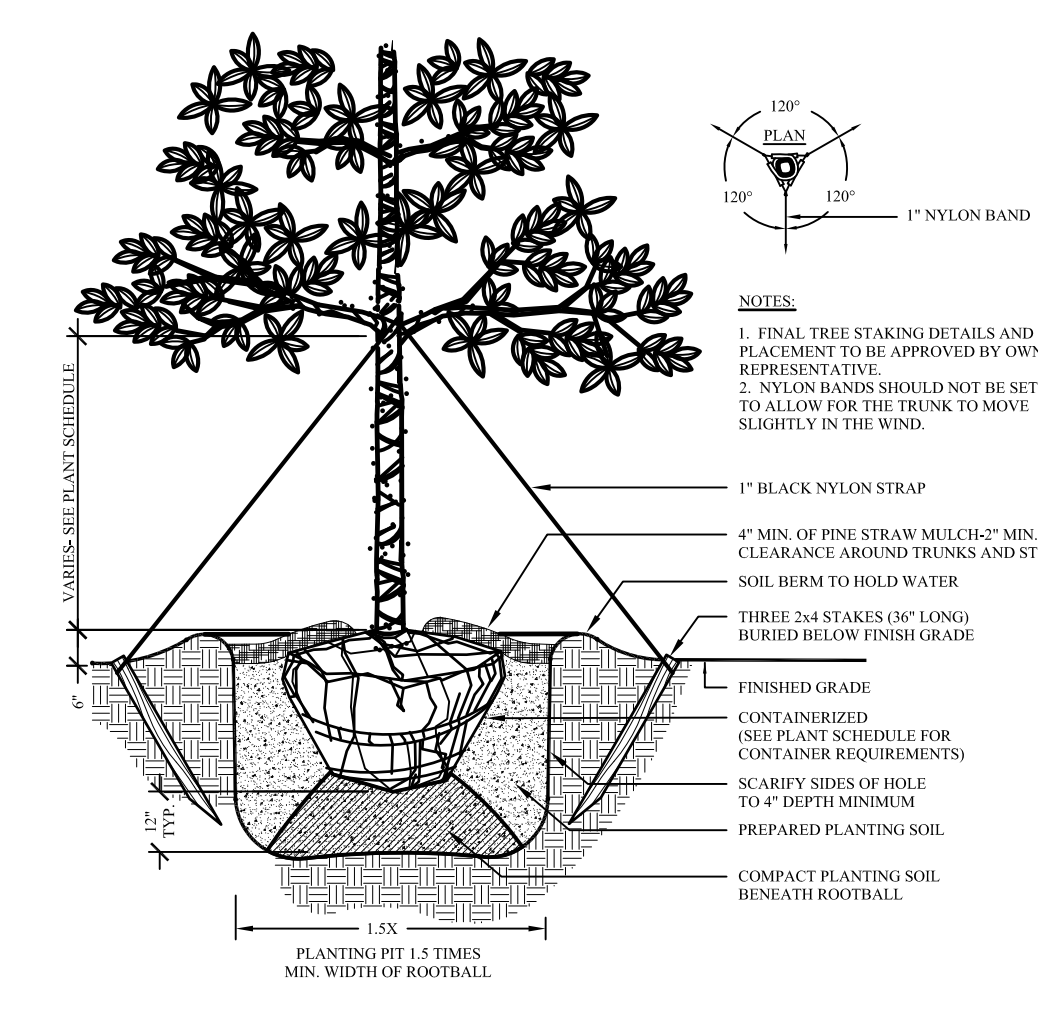
TOTAL POST DEVELOPMENT ADJUSTED CALIPER INCHES: 2,037

ACI NOTES:

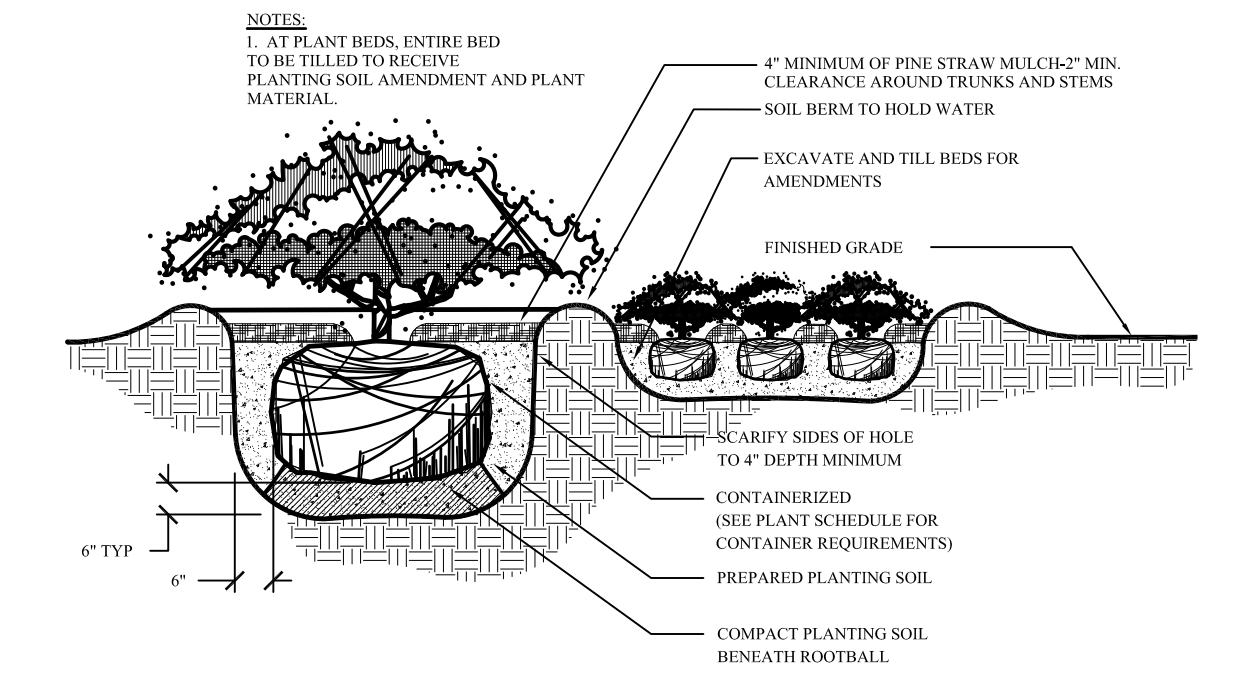
- ALL PROPOSED PALM TREES ARE CALCULATED AS AN 8" CALIPER TREE.
- ALL PROPOSED CRAPE MYRTLES ARE CALCULATED AS A 3" CALIPER TREE.



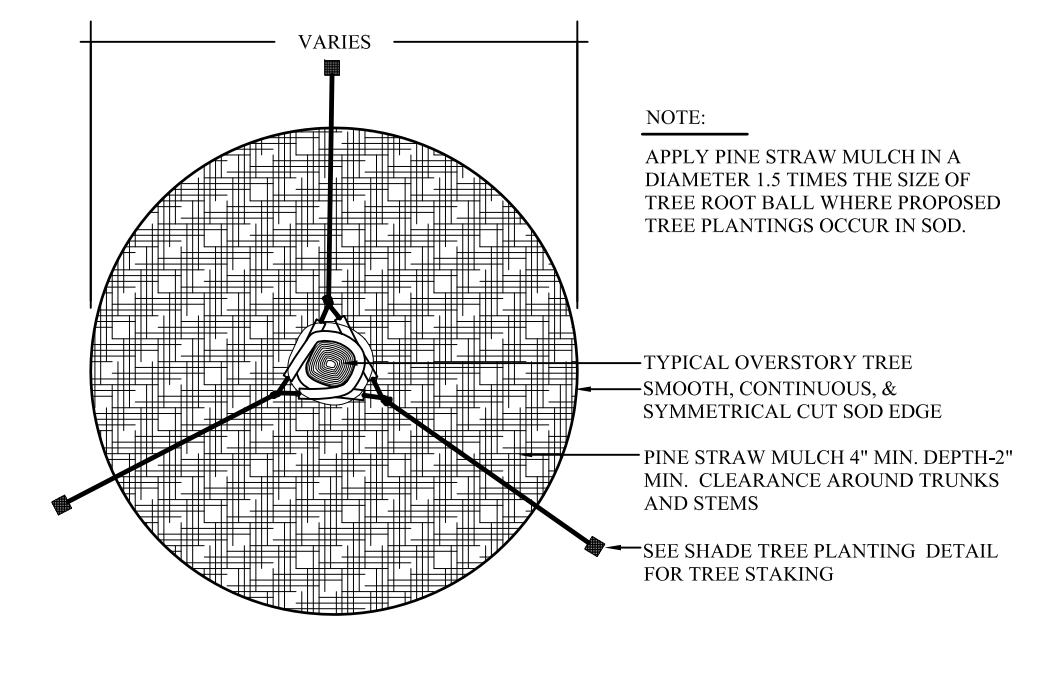
1 Palm Tree
 L401 SCALE: NTS



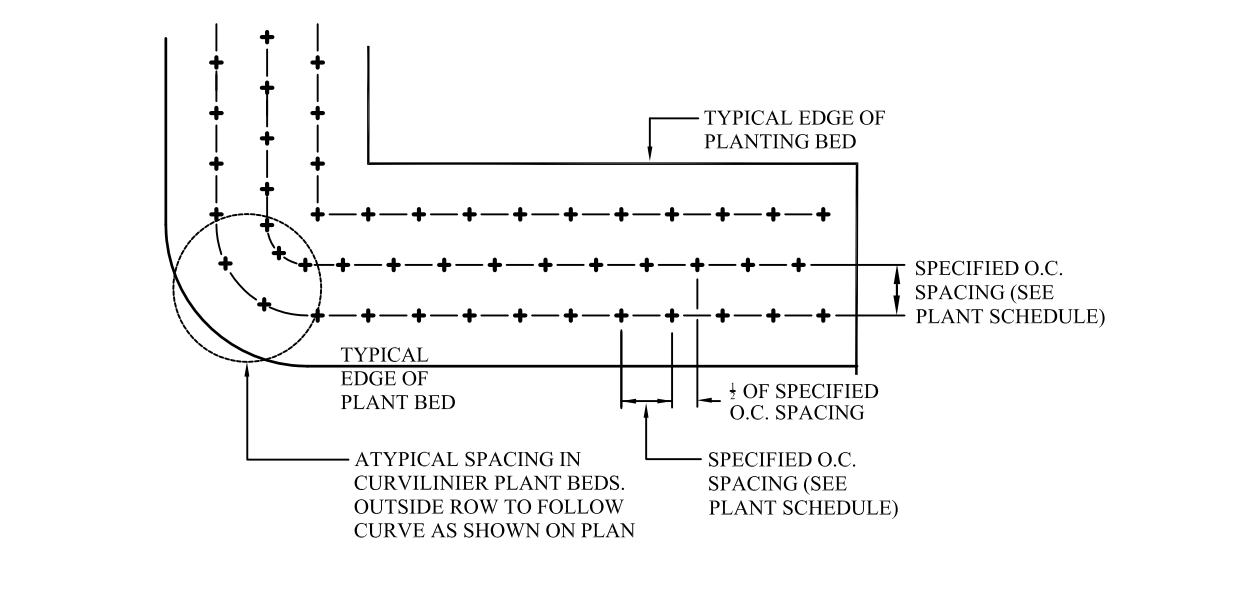
2 Shade Tree
 L401 SCALE: NTS



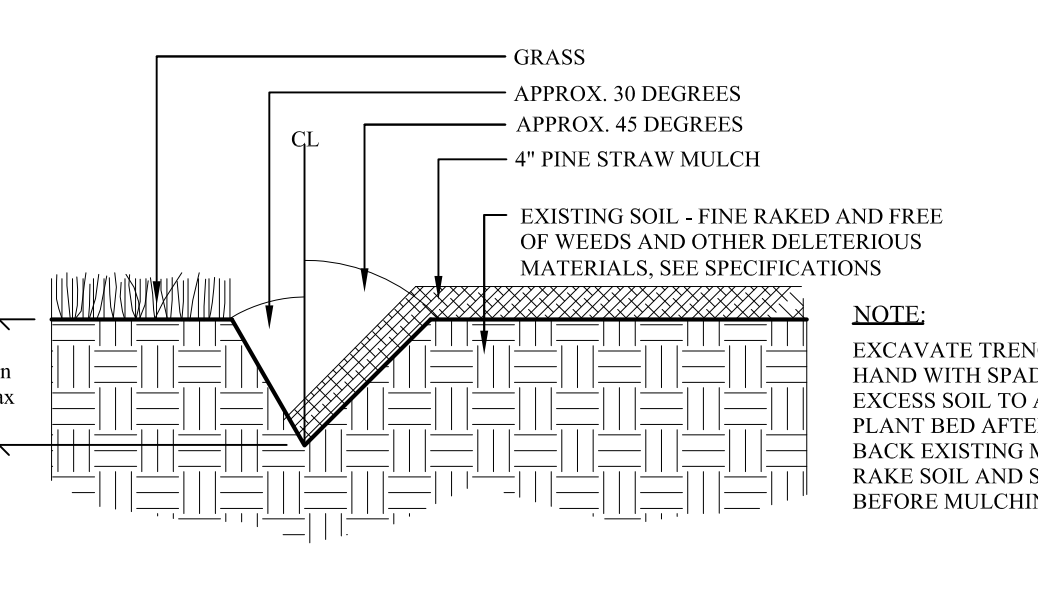
3 Shrub Planting
 L401 SCALE: NTS



4 Mulch Tree Ring
 L401 SCALE: NTS



5 Groundcover Spacing
 L401 SCALE: NTS



6 Landscape Bed Edge
 L401 SCALE: NTS

PLAN IS SUBJECT TO CHANGE.

SOUTHEASTERN
 2743 Perimeter Pkwy #370
 Augusta, GA 30909

PERMIT DOCUMENTS
 CHIPOTLE / STARBUCKS
 AT
 SHELTER COVE TOWNE CENTER
 Hilton Head Island, SC

DRAWN BY: DM
 CHECKED BY: TT

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#	REVISION	DATE	BY
1	DPR SUBMITTAL	11-28-17	DM
2	DPR RESUBMITTAL	9-6-17	DM
3	DPR RESUBMITTAL	11-28-17	DM
4	DPR RESUBMITTAL	11-28-18	DM
5	DPR RESUBMITTAL	2-13-18	DM

DATE
 2-13-2018
 PROJECT NUMBER
 01-17014
 SHEET TITLE
 PLANTING DETAILS

Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners

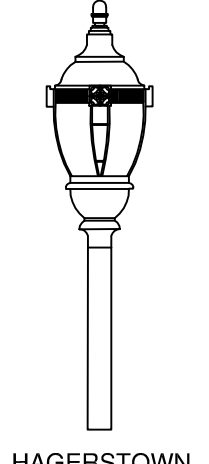
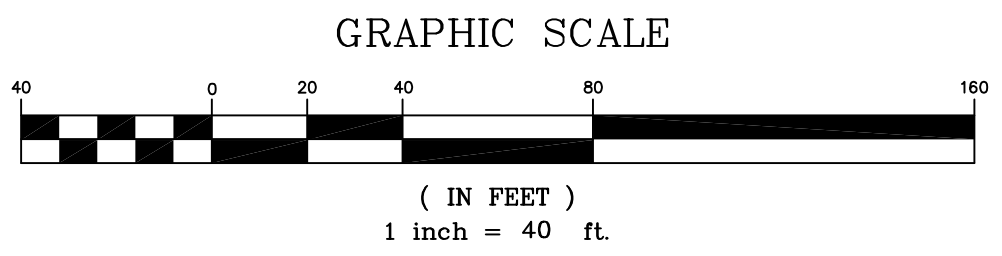
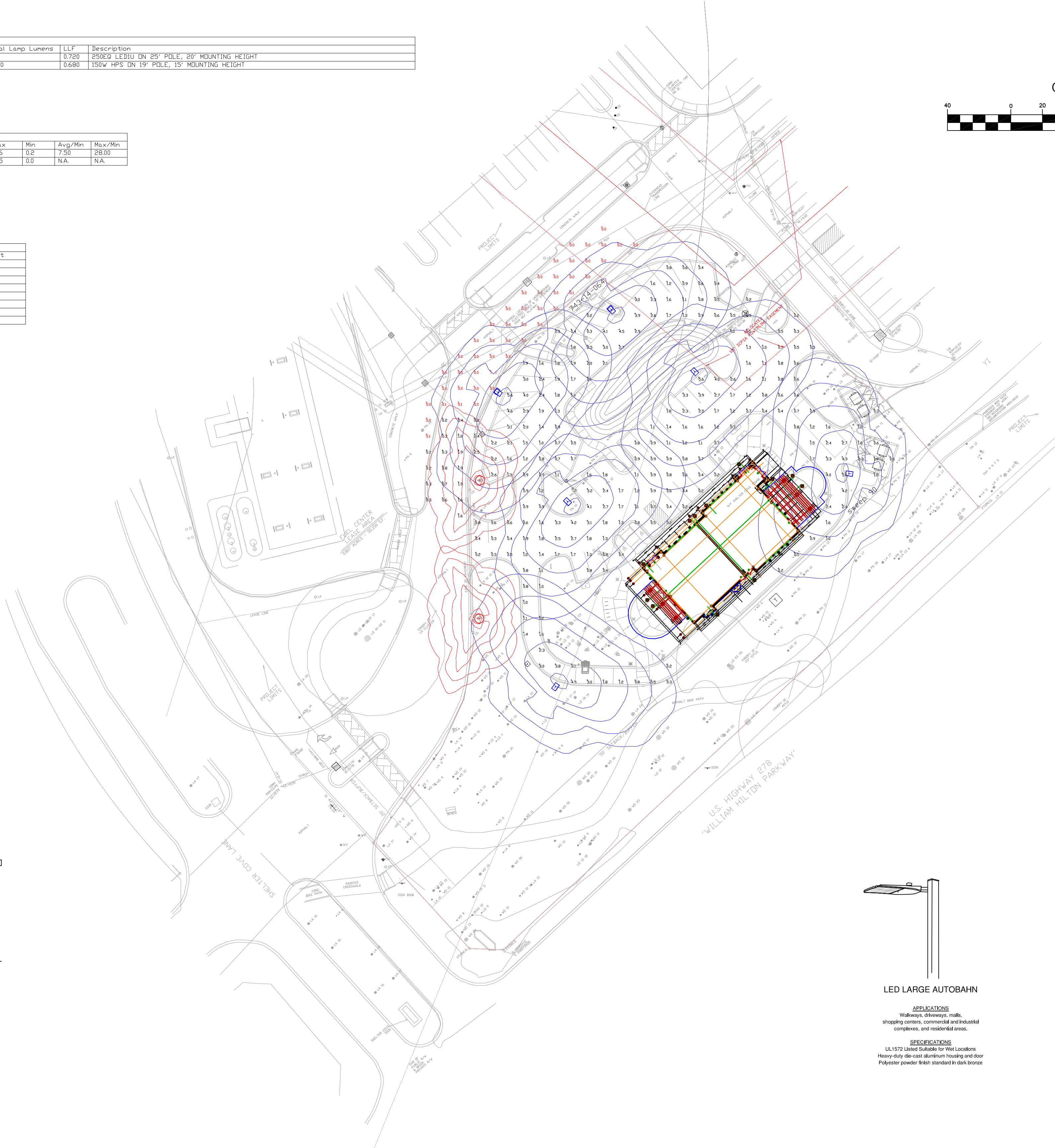
PO Box 22848 Hilton Head Island, SC 29925
 843.681.6618 Fax 843.881.7088 www.woodandpartners.com

SHEET NUMBER
 L401

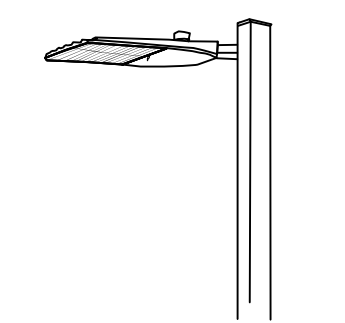
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	6	AUTOBAHN LARGE SHOEBOX	SINGLE	NA	0.720	2500 LEDIU DN 25' POLE, 20' MOUNTING HEIGHT
	2	Existing Hagerstown	SINGLE	10500	0.680	150w HPS DN 18' POLE, 15' MOUNTING HEIGHT

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	150	5.6	0.2	750	2800
SHIELD 1	Illuminance	Fc	0.29	2.5	0.0	NA	NA

Luminaire Label	X	Y	Z	Orient	Tilt
1 AUTOBAHN LARGE SHOEBOX	2085771	1270571	20	55.025	0
2 AUTOBAHN LARGE SHOEBOX	2085858	1272567	20	314.292	0
3 AUTOBAHN LARGE SHOEBOX	2085806	1272984	20	311.353	0
4 AUTOBAHN LARGE SHOEBOX	2085734	1272433	20	323.75	0
5 AUTOBAHN LARGE SHOEBOX	2085957	1271917	20	172.19	0
6 AUTOBAHN LARGE SHOEBOX	2085781	1271752	20	315	0
7 Existing Hagerstown	2085724	127187.6	15	178.118	0
8 Existing Hagerstown	2085723	127100.9	15	182.072	0



HAGERSTOWN
 APPLICATIONS
 Shopping centers, malls, roadways, parks, residential areas
 SPECIFICATIONS
 Authentic sconce design
 Glasslike polycarbonate lens
 Ruggedly crafted of heavy duty aluminum
 For decades of dependable service
 Black finish



LED LARGE AUTOBAHN
 APPLICATIONS
 Walkways, driveways, malls, shopping centers, commercial and industrial complexes, and residential areas.
 SPECIFICATIONS
 UL1572 Listed Suitable for Wet Locations
 Heavy duty die-cast aluminum housing and door
 Polyester powder finish standard in dark bronze

- NOTES**
- P.E.C.I. ONLY PROVIDES LIGHTING DESIGNS AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
 - IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHT VALUES, LOCATIONS, LIGHT TYPE, POLE TYPE AND MOUNTING HEIGHT ARE IN COMPLIANCE WITH ALL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
 - ANY OBSTRUCTIONS, OR THE INTRODUCTION OF, WITHIN THE LIGHTED SPACE MAY PRODUCE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
 - THE EXACT LOCATION OF THE LIGHT POLES WILL BE VERIFIED IN THE FIELD FOR PROXIMITY TO TREE CANOPY BY TOWN OF HILTON HEAD REPRESENTATIVE AND PALMETTO ELECTRIC REPRESENTATIVE PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE APPROVAL AND CONSTRUCTION OF PALMETTO ELECTRIC COOPERATIVE, INC. OUTDOOR LIGHTS ONLY.
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PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HARDEEVILLE, SOUTH CAROLINA 29927
 (843) 208-5551 / FAX (843) 208-5552



REMARKS:

DESIGNED BY: T.J.H.
 CHECKED BY: ENG
 DRAWN BY: RBT
 DATE: 11/29/17
 SCALE: 1" = 40'
 PROJECT NO.: 1775003L-4
 MAP NO.:
 SHEET NO.
 1
 OF
 1

LIGHTING PROPOSAL FOR
 SHELTER COVE OUTPARCEL
 SHELTER COVE MALL
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Chipotle / Starbucks

DRB#: DRB-000400-2018

DATE: Feb. 19, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Replace 3 asphalt spaces at northwest property line with two compact paver spaces adjacent to 12", 12", & 8" multi trunked live oak and 21" pine.
2. Add canopy tree (live oak) to the northwest entrance, Hwy 278 side.
3. Replace 3 Crepe Myrtle in island opposite southwest entrance with canopy tree (live oak).
4. Unused asphalt beyond parking spaces shall not be stripped.

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Opportunities exist to add canopy trees to generate shade.

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Replace 3 asphalt spaces at northwest property line with two compact paver spaces adjacent to 12", 12", & 8" multi trunked live oak and 21" pine.

<i>MISC COMMENTS/QUESTIONS</i>
1. Add canopy tree (live oak) to the northwest entrance, Hwy 278 side.
2. Replace 3 Crepe Myrtle in island opposite southwest entrance with canopy tree (live oak).
3. Will the area between the parking spaces be striped as indicated on the Plans? What color?



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	<u>2/16/18</u>
Accepted by:	<u>Sherry P.</u>
DRB #:	<u>409-2018</u>
Meeting Date:	_____

Applicant/Agent Name: Jay Walker Company: Sea Crest Development
 Mailing Address: P.O. Box 5818 City: Hilton Head State: SC Zip: _____
 Telephone: 843-341-2288 Fax: 843-341-2290 E-mail: jaywalker@hargray.com
 Project Name: Pool Bar Jims Project Address: 10 North Forest Beach
 Parcel Number [PIN]: R 552 018 000 001C 0000
 Zoning District: RD Overlay District(s): O.C.R.M.

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

DRB 1314-2017

Subject: Pool Bar Jim's Narrative-2prints
From: Ansley Manuel <ansleymanuel@embarqmail.com>
Date: 5/24/2017 7:56 AM
To: Accurate Reproductions <plotting@accurepro.com>

Pool Bar Jim's Narrative

Pool Bar Jim's is a thriving oceanside bar and grill located in The Sea Crest Resort Development between two private resort pools. Currently there is a natural area in front of the existing bar structure that allows further expansion toward the ocean. The landowner, Mr. Robert Graves, has received approval to develop the area from SCDHEC (see attached letter dated April 14, 2017 with application).

The first area of description is the New Upper Bar and Deck. The existing bench seat and fencing along the southern end of the lower bar will be removed. A privacy fence will extend from the existing concrete berm wall to the existing metal fence at the original bar. Please see the fence elevation. New steps will extend from the lower deck to the new upper deck. This new deck height will be level with the existing upper deck to the right.

The bar structure itself will be constructed to be assembled during the warmer season and disassembled during the colder season when the operations are closed. Please see drawings done by WS Warner dated November 20, 1995. The three existing palmetto trees and two nonnative palms will be relocated at two proposed tree well areas.

The second area of description is the New Shower Deck and Traffic Patterns. To avoid congestion and shower spray onto bar patrons, the shower area will shift down to the existing gate. The showers will have a new level deck which also provides a path onto the existing upper deck to create a split between bar traffic and the concrete walk traffic. The handicap will be able to access the new upper deck by utilizing the existing sloped concrete walk.

We, the architect, land owner and tenant, all are in consensus that this approach is logical and flows well. We respectfully ask the board to give us conceptual approval.

Written by Ansley Hester Manuel, Architect

Sent from my iPad

From: [Ansley Manuel](#)
To: [Darnell Chris](#)
Subject: Re: PBJ
Date: Thursday, February 15, 2018 11:08:52 AM

1. We are matching the existing bar color which appears to be raw material.
2. The roof of the mobile bar will be removed.

Should I send revise plans with such noting or a revised narrative with the additional info?

Sent from my iPad

On Feb 15, 2018, at 8:30 AM, Darnell Chris <chrisda@hiltonheadislandsc.gov> wrote:

Ansley,

Just had a quick look at the plans and I have two questions.

1. What do you mean by "Natural Color" you have specified. You need to specify a paint manufacturer and color or "to match" something on site.
2. The plans with the mobile bar are confusing. Will that roof be assembled under the permanent roof you are proposing? If so, I think that will be an uphill battle with the DRB. You need to note the plans or in your narrative what is happening with the roofs.

I am out of the office but returning emails, so let me know if you have any questions.

Sent from my iPad

On Feb 13, 2018, at 10:51 AM, Ansley Manuel
<ansleymanuel@embarqmail.com<<mailto:ansleymanuel@embarqmail.com>>> wrote:

Sent from my iPad

Begin forwarded message:

From: Accurate Reproductions <plotting@accurepro.com<<mailto:plotting@accurepro.com>>>
Date: February 13, 2018 at 10:14:49 AM EST
To: Ansley Manuel <ansleymanuel@embarqmail.com<<mailto:ansleymanuel@embarqmail.com>>>
Subject: PBJ

Accurate Team
Accurate Reproductions
t: (843)-815-7323 | e: Plotting@accurepro.com<<mailto:Plotting@accurepro.com>> | w:
accurepro.com<<http://accurepro.com>>

Designed with WiseStamp - <http://r1.wisestamp.com/r/landing?u=aa01d73b16046f58&v=null&t=1518534879886&promo=10&dest=http%3A%2F%2Fwww.wisestamp.com%2Femail-install%3Futm_source%3Dextension%26utm_medium%3Demail%26utm_campaign%3Dpromo_10> Get yours<http://r1.wisestamp.com/r/landing?u=aa01d73b16046f58&v=null&t=1518534879886&promo=10&dest=http%3A%2F%2Fwww.wisestamp.com%2Femail-install%3Futm_source%3Dextension%26utm_medium%3Demail%26utm_campaign%3Dpromo_10>

Your message is ready to be sent with the following file or link attachments:

20180213102321729.pdf

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

<20180213102321729.pdf>

Disclaimer

To:
Mr. Chris Darnell, RLA
Town of Hilton Head Island
One Town Center Court
Hilton Head Island, South Carolina 29928

From:
Ansley Hester Manuel, Architect
Manuel Studio, LLC
104 Pritchard Street
Bluffton, South Carolina 29910

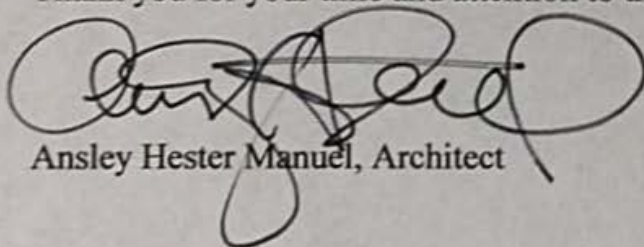
Date:
13 February 2018

Regarding: Pool Bar Jims

Dear Mr. Darnell,

In reference to the expansion of Pool Bar Jims, the project will adhere to the Town of Hilton Head's turtle lighting policies. I will bring in the electrical plans as the plans are accepted for conceptual approval and developed further for permitting.

Thank you for your time and attention to this matter.



Ansley Hester Manuel, Architect



**THE TOWN OF HILTON HEAD ISLAND
DESIGN REVIEW BOARD – NOTICE OF ACTION**

PROJECT NAME: Pool Bar Jim's **PROJECT #:** DRB-002882-2017
PROJECT ADDRESS: 10 North Forest Beach Drive
CATEGORY: Alteration/Addition
ACTION DATE: January 9, 2018 **NOTICE DATE:** January 12, 2018
APPLICANT/AGENT: Joy Walker, Sea Crest Development
PO Box 5818
Hilton Head Island, SC 29938
Email: joywalker@hargray.com

On the above meeting date your Application received the following action:

- APPROVED AS SUBMITTED**
 APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW
 DENIED
 WITHDRAWN AT THE APPLICANTS REQUEST

PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.

NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.

BY:  _____, Urban Designer













NO LIFEGUARD ON DUTY
SWIM AT YOUR OWN RISK

SHALLOW WATER
NO DIVING ALLOWED

3 FT

3 FT 0

SHALLOW WATER
NO DIVING ALLOWED

3 FT









WEAR SHOES ON
WOODEN DECK

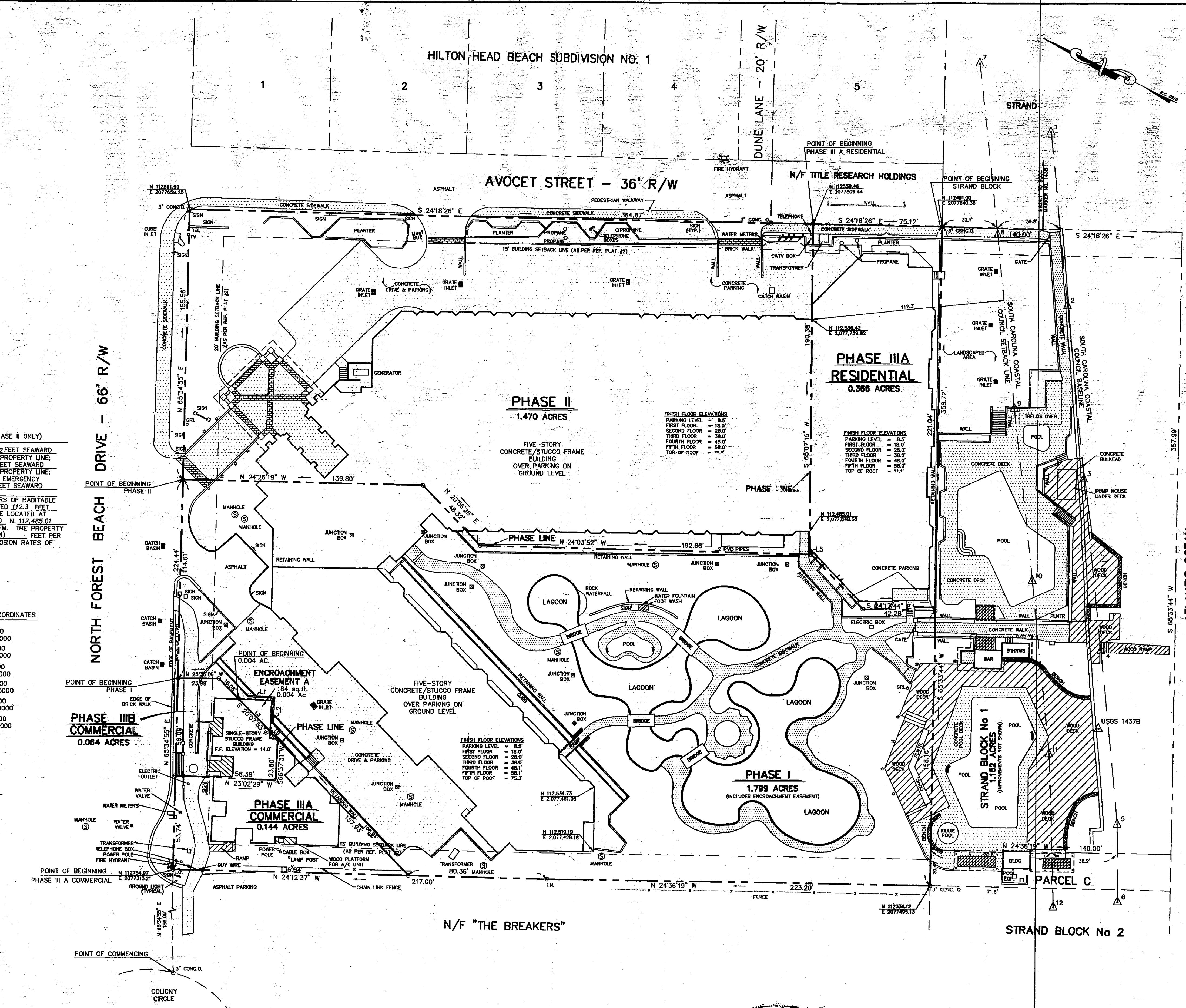
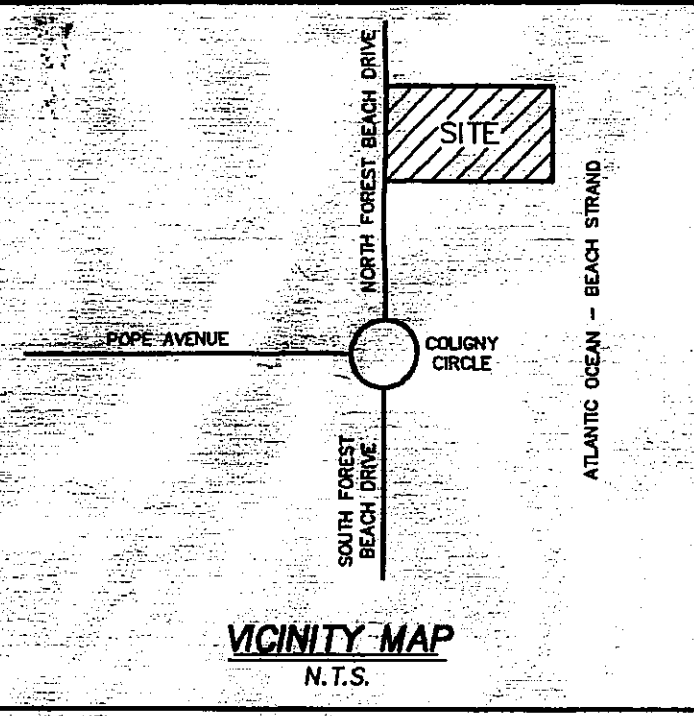


WEAR SHOES ON
WOODEN DECKS



WEAR SHOES ON
WOODEN DECKS





LEGAL DESCRIPTION

SEACREST PHASE I
1.799 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.09 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 109.83 feet along southern right-of-way of said North Forest Beach Drive to a point, being the point of beginning;

thence S 20°56'26" W a distance of 48.32 feet to a point;

thence S 24°03'52" E a distance of 193.48 feet to a point;

thence S 20°43'37" W a distance of 43.33 feet to a point;

thence S 24°17'44" E a distance of 42.28 feet to a point, being on the northeastern boundary of the Strand Block;

thence S 35°33'44" W a distance of 158.15 feet along northeastern boundary of said Strand Block to a concrete monument, at South Carolina Grid co-ordinates of Northing 112334.12 feet, Easting 2077495.13 feet;

thence N 24°36'19" W a distance of 223.20 feet along the northeastern boundary of the Breakers to an iron pipe;

thence N 24°12'37" W a distance of 80.36 feet along the northeastern boundary of the said Breakers to a point;

thence N 20°07'53" E a distance of 157.96 feet to a point;

thence S 25°35'06" W a distance of 23.99 feet to a point, being the point of beginning.

SEACREST PHASE II
1.470 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.09 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 224.44 feet along southern right-of-way of said North Forest Beach Drive to a point, being the point of beginning;

thence N 65°34'55" E a distance of 155.56 feet along southern right-of-way of said North Forest Beach Drive to a concrete monument at the intersection of the southern right-of-way of said North Forest Beach Drive and the western right-of-way of Avocet Street;

thence S 24°18'26" E a distance of 364.87 feet along the western right-of-way of said Avocet Street to a point;

thence S 65°07'15" W a distance of 190.38 feet to point;

thence N 24°03'52" W a distance of 192.66 feet to a point;

thence N 20°56'26" E a distance of 48.32 feet to a point;

thence N 24°26'19" W a distance of 139.80 feet to a point, being the point of beginning.

SEACREST ENCROACHMENT EASEMENT A
0.004 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 109.83 feet along southern right-of-way of said North Forest Beach Drive to a point;

thence S 20°56'26" W a distance of 23.99 feet to a point;

thence S 20°07'53" W a distance of 16.08 feet to a point, being the point of beginning;

thence S 23°03'50" E a distance of 19.80 feet to a point;

thence N 65°34'55" W a distance of 185.99 feet to a point;

thence N 20°07'53" E a distance of 27.16 feet to a point, being the point of beginning.

SEACREST PHASE IIIA RESIDENTIAL
0.386 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 380.00 feet along the southern boundary of said North Forest Beach Drive to a point;

thence S 24°18'26" E a distance of 364.87 feet to a point, at South Carolina Grid co-ordinates of Northing 112559.46 feet, Easting 2077809.44 feet, being the point of beginning;

thence S 24°18'26" E a distance of 75.12 feet to a concrete monument, at the northeastern boundary of the Strand Block;

thence S 65°33'44" W a distance of 221.04 feet along the northeastern boundary of the said Strand Block to a point;

thence N 24°17'44" W a distance of 42.28 feet to a point;

thence N 20°43'37" E a distance of 43.33 feet to a point;

thence N 24°03'52" W a distance of 0.82 feet to a point;

thence S 65°07'15" E a distance of 190.38 feet to the point of beginning.

SEACREST PHASE IIIA COMMERCIAL
0.144 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 53.74 feet along the southern boundary of said North Forest Beach Drive to a point, being the point of beginning;

thence S 23°02'29" E a distance of 58.38 feet to a point;

thence N 66°57'31" E a distance of 23.60 feet to a point;

thence S 20°07'53" W a distance of 108.94 feet to a point on the northern boundary of the Breakers;

thence N 24°12'37" W a distance of 136.64 feet to a point, being the point of beginning.

SEACREST PHASE IIIB COMMERCIAL
0.084 Acres

BEACH ACT DISCLOSURE & AS-BUILT SURVEY OF

PORTIONS OF THE SEA CREST P.U.D., INCLUDING PHASES I, II, IIIA & IIIB SEACREST CONDOMINIUM

HORIZONTAL PROPERTY REGIME

NORTH FOREST BEACH DRIVE

(SOMETIMES CALLED "PHASE III & IV, SEA CREST P.U.D.")

A SECTION OF

PARCELS A & B

BLOCKS 1 & 2, FOREST BEACH SUBDIVISION

HILTON HEAD BEACH SUBDIVISION

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 30' DATE: 7/30/99 JOB NO: 96154-8

BEACH ACT DISCLOSURE NOTES:

- 1) SOUTH CAROLINA COASTAL COUNCIL SETBACK LINE & BASELINE SHOWN HAVE BEEN SET BASED ON THE MOST RECENT DATA AVAILABLE AS OF 11/22/96. DATA IS BASED ON S.C. COASTAL COUNCIL POINTS 1437 & 1438.
- 2) THESE LINES ARE SUBJECT TO REVISION PERIODICALLY AS PROVIDED UNDER THE SOUTH CAROLINA BEACH PROTECTION ACT OF 1988.
- 3) THE SPECIAL FLOOD HAZARD ZONE INFORMATION FROM THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 15-D COMMUNITY NO. 450250 DATED: 9/29/86.

BEACH ACT DISCLOSURE STATEMENT: (IN RELATION TO PHASE II ONLY)

THE SETBACK LINE IS _____ FEET (OR FROM 107.2 FEET SEAWARD FEET TO 83.5 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE; THE BASE LINE IS _____ FEET (OR FROM 143.3 FEET SEAWARD FEET TO 120.3 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE; THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 155 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE.

IN RELATION TO THE PROPERTY, THE SEAWARD CORNERS OF HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY, ARE LOCATED 112.3 FEET MINIMUM FROM THE SEAWARD LINE, WHICH CORNERS ARE LOCATED AT E. 2,077,759.82 N. 112,636.42 AND E. 2,077,648.50 N. 112,485.01 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF _____ FEET PER YEAR ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA COASTAL COUNCIL.

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
1)	N 112457.2000	E 2077917.0000	7)	N 112511.5000	E 2077935.0000
2)	N 112405.6000	E 2077831.0000	8)	N 112459.6000	E 2077850.0000
3)	N 112354.0000	E 2077745.0000	9)	N 112407.8000	E 2077764.0000
4)	N 112302.5000	E 2077660.0000	10)	N 112355.9000	E 2077779.0000
5)	N 112250.9000	E 2077574.0000	11)	N 112304.0000	E 2077593.0000
6)	N 112231.5000	E 2077534.0000	12)	N 112263.9000	E 2077515.0000

REFERENCE PLATS:

- 1) SEACREST MOTEL AS-BUILT, NORTH FOREST BEACH DRIVE, DATED: 4/27/95; LATEST REVISION: 10/16/95, BY: FORREST F. BAUGHMAN, S.C.P.L.S. No 4922, RECORDED: P.B. 53, PG. 46.
- 2) PROPOSED PHASES, THE SEA CREST, DATED: 4/27/95, BY: FORREST F. BAUGHMAN, S.C.P.L.S. No 4922, RECORDED: P.B. 54, PG. 93, 10/25/95.

NOTES:

- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.
- 2) THIS LOT IS LOCATED IN ZONE A-7 - A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D., PANEL 15-D COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.0'.
- 3) THIS PLAT IS FOR CLOSING AND BEACH ACT DISCLOSURE PURPOSES ONLY AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
- 4) UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED.

LEGAL DESCRIPTION

SEACREST PHASE IIIB COMMERCIAL
PHASE IIIB
0.084 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 53.74 feet along the southern boundary of said North Forest Beach Drive to a point, being the point of beginning;

thence S 23°02'29" E a distance of 58.38 feet to a point;

thence N 66°57'31" E a distance of 23.60 feet to a point;

thence S 20°07'53" W a distance of 108.94 feet to a point on the northern boundary of the Breakers;

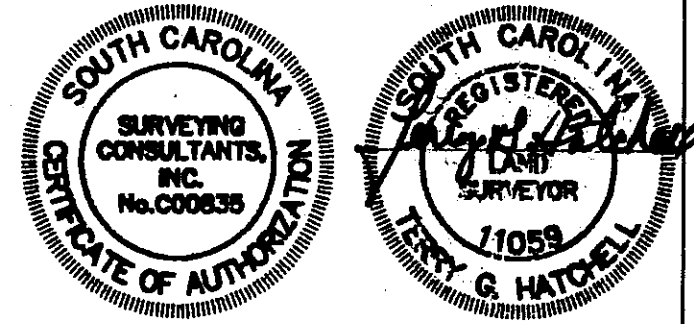
thence N 24°12'37" W a distance of 136.64 feet to a point, being the point of beginning.

AREA TABLE

PHASE I	= 1.799 Ac.
PHASE II	= 1.470 Ac.
PHASE IIIA RESIDENTIAL	= 0.386 Ac.
PHASE IIIA COMMERCIAL	= 0.144 Ac.
PHASE IIIB COMMERCIAL	= 0.084 Ac.
TOTAL AREA	= 3.843 Ac.

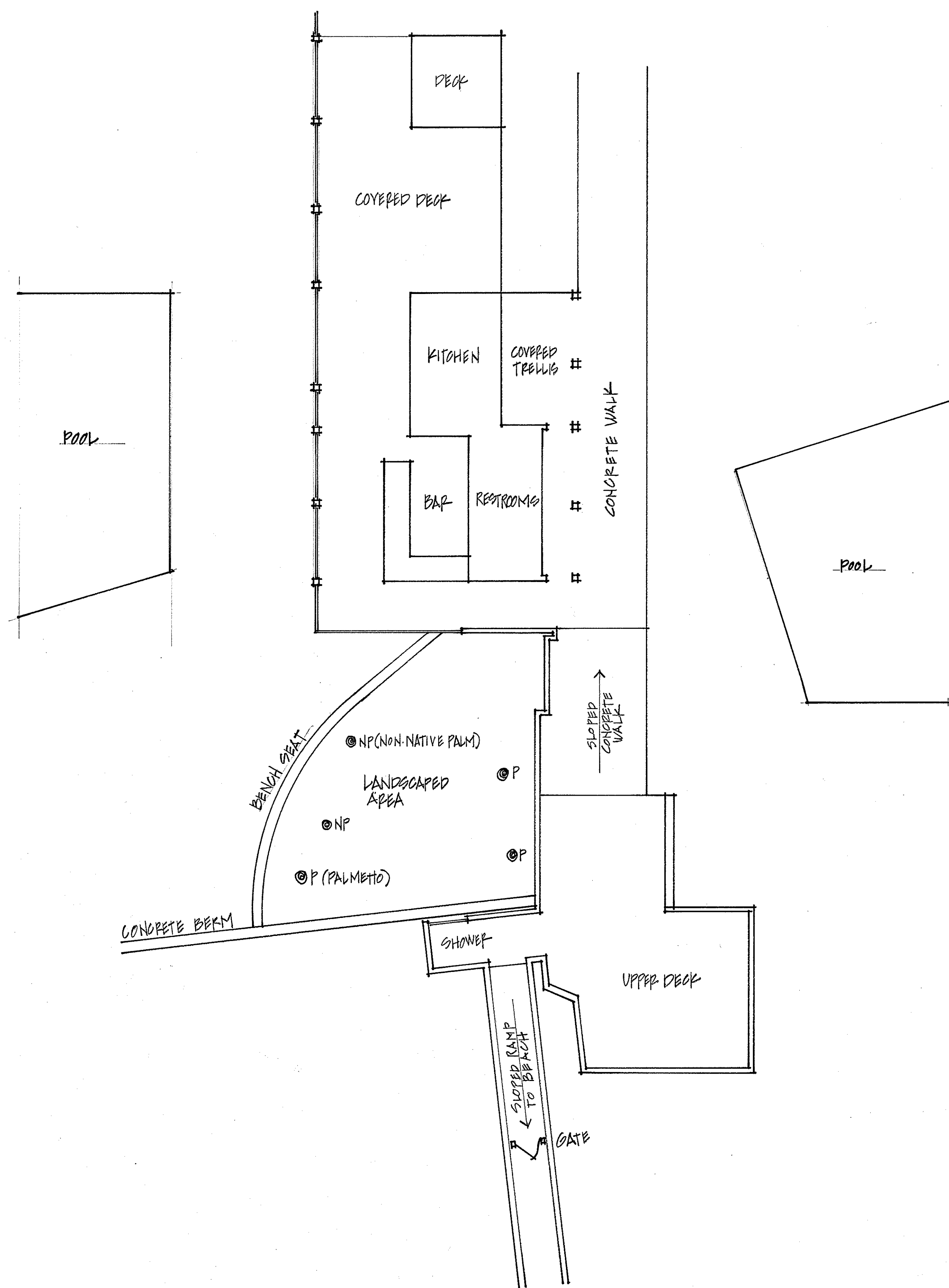
PREPARED FOR: THE SEA CREST DEVELOPMENT COMPANY

TAX PARCEL I.D. NO. DIST 540 MAP 18 PARCELS 11, 1A, 1B, 1C

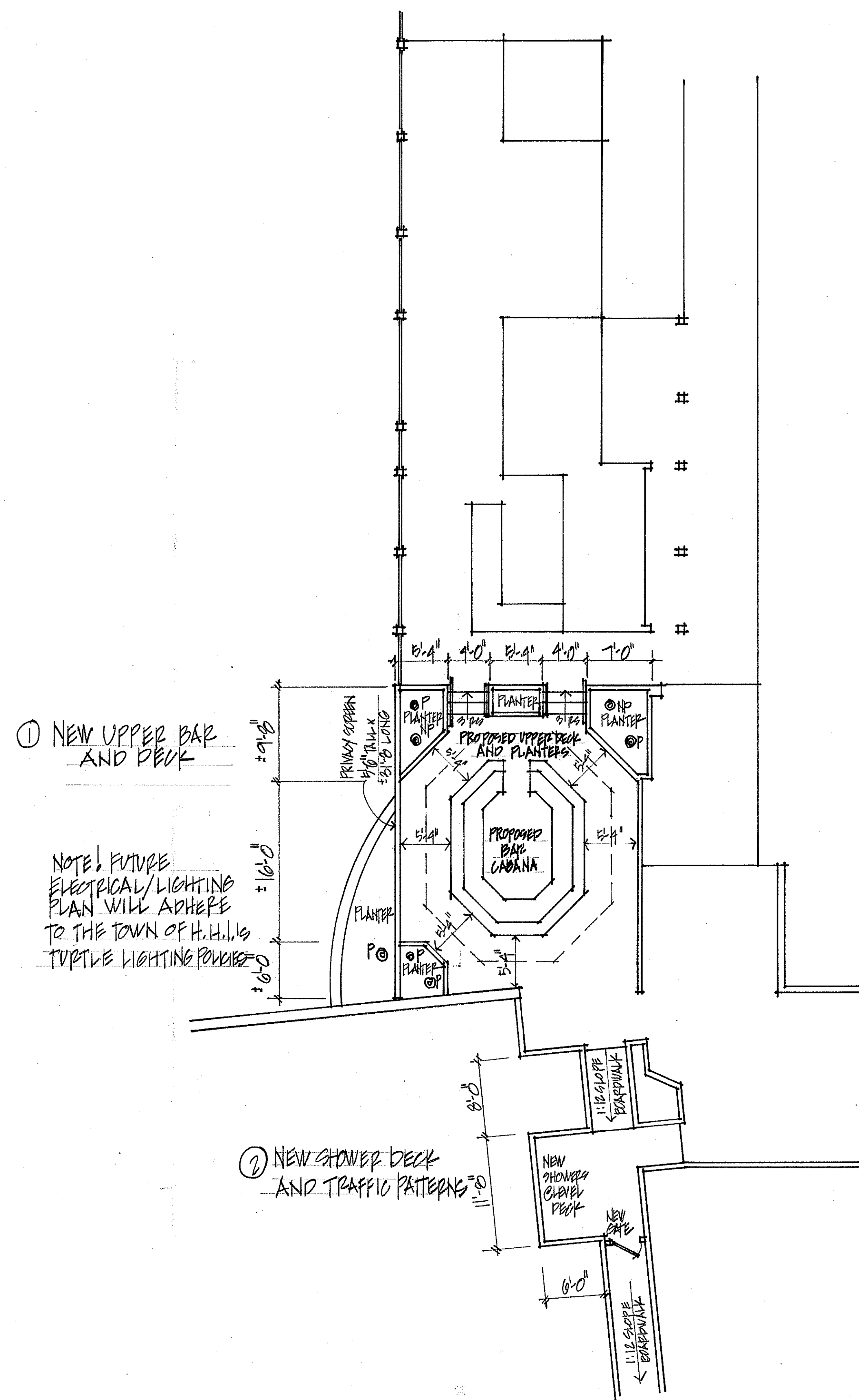


SURVEYING CONSULTANTS

225 Bow Circle, Park Place, Hilton Head Island, SC 29929
Telephone: (843) 848-3804 FAX: (843) 785-7866



EXISTING SITE PLAN $\frac{1}{8}'' = 1'-0''$



① NEW UPPER BAR AND DECK

NOTE: FUTURE ELECTRICAL/LIGHTING PLAN WILL ADHERE TO THE TOWN OF H.H.I.'S TYPICAL LIGHTING POLICIES

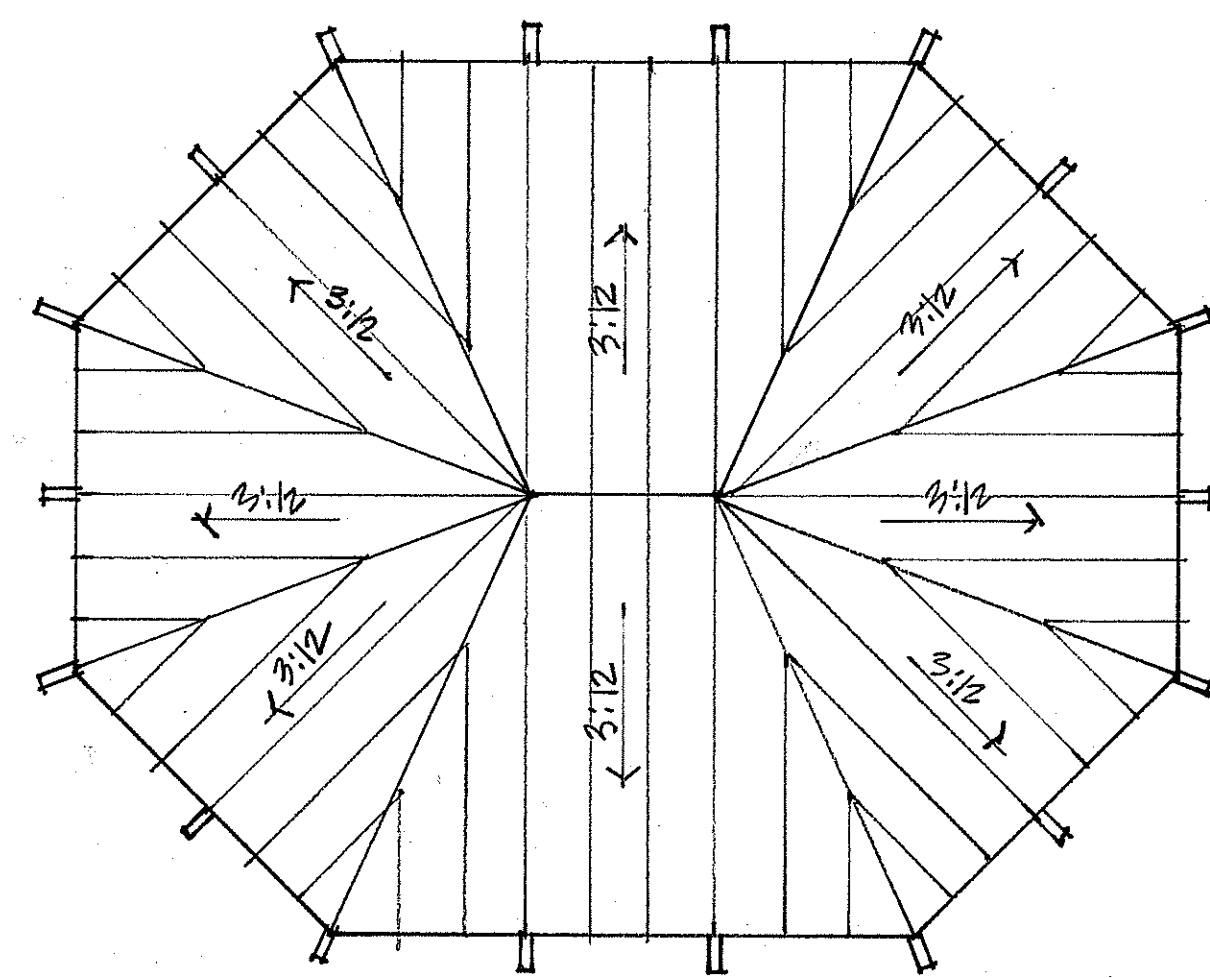
② NEW SHOWER DECK AND TRAFFIC PATTERNS

PROPOSED SITE PLAN $\frac{1}{8}'' = 1'-0''$

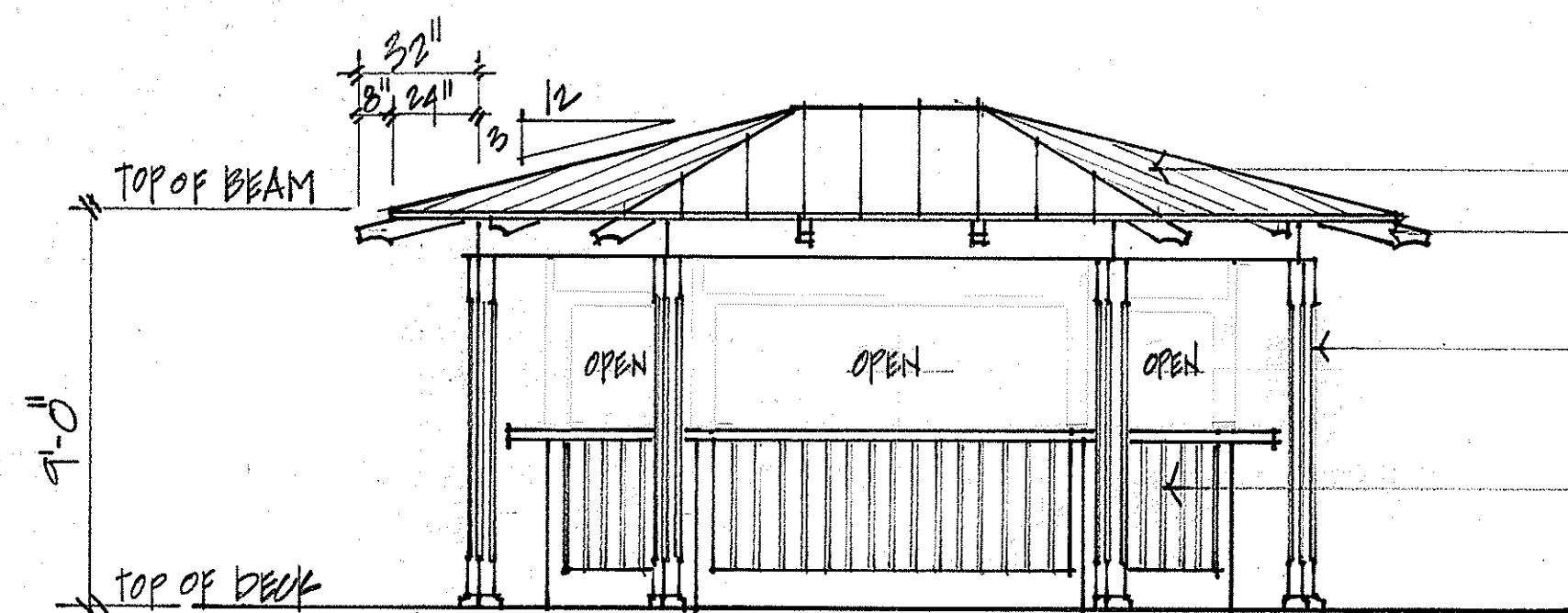
13 FEB 2018
15 FEB 2018

MANUEL STUDIO, LLC
Ansley Hester, Manuel, Architect
138 Burnt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, S.C. 29910 mailing
843.338.8932 cell manuel.studio@gmail.com

Additions and Renovations to
Pool Bar Jim's
10 North Forest Beach Drive
Hilton Head Island, South Carolina 29928

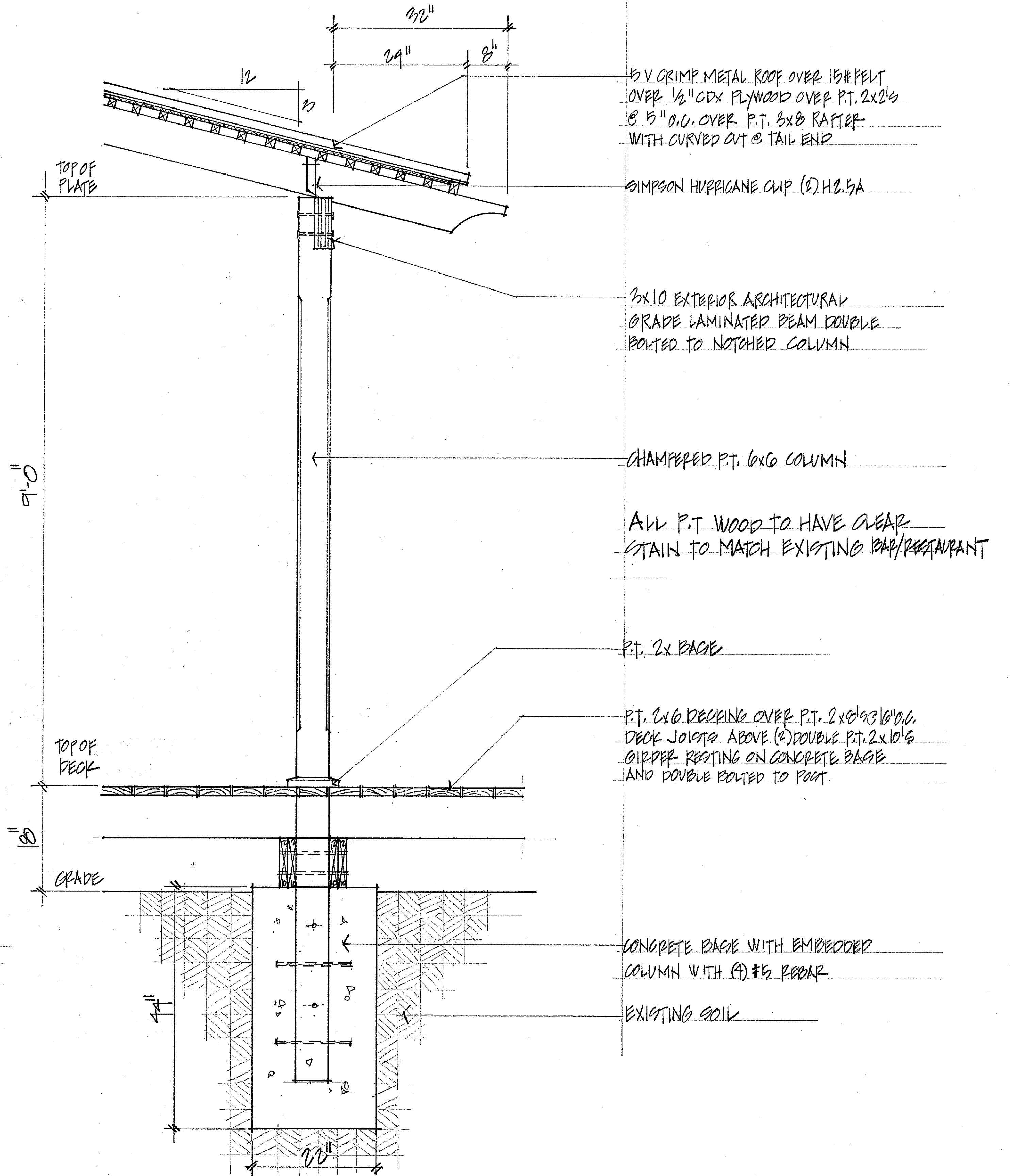


CABANA ROOF PLAN $\frac{1}{4}'' = 1'-0''$



CABANA ELEVATION $\frac{1}{4}'' = 1'-0''$

NATURAL COLOR (SILVER/GRAY)
5V CRIMP METAL ROOF
3x6 HIP RAFTER
NATURAL COLOR (CUBAN STAIN)
CHAMFERED P.T. 6x6 WOOD POST
REMOVABLE BAR (ASSEMBLY)
TO BE INSTALLED UNDER
PERMANENT CABANA STRUCTURE



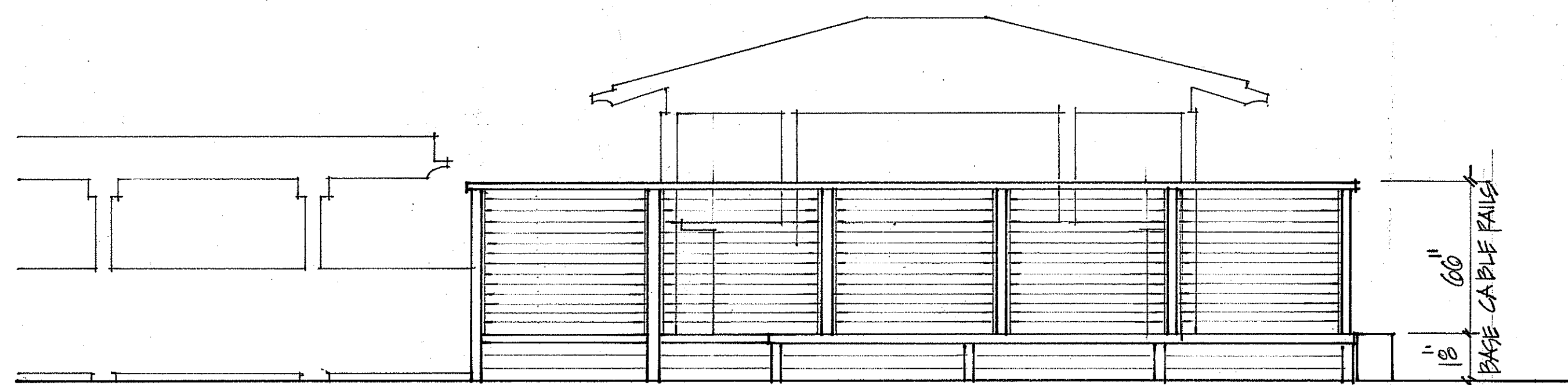
CABANA SECTION $1'' = 1'-0''$

5V CRIMP METAL ROOF OVER 1/2" FELT
OVER 1/2" CDX PLYWOOD OVER P.T. 2x2s
& 5" O.C. OVER P.T. 3x6 RAFTER
WITH CURVED CUT @ TAIL END
SIMPSON HURRICANE CUP (2) H2.5A
3x10 EXTERIOR ARCHITECTURAL
GRADE LAMINATED BEAM DOUBLE
BOULDED TO NOTCHED COLUMN
CHAMFERED P.T. 6x6 COLUMN
ALL P.T. WOOD TO HAVE CLEAR
STAIN TO MATCH EXISTING BAR/RESTAURANT
P.T. 2x6 RACE
P.T. 2x6 DECKING OVER P.T. 2x4 @ 16" O.C.
DECK JOISTS ABOVE (2) DOUBLE P.T. 2x10's
GIRDER RESTING ON CONCRETE BASE
AND DOUBLE BOULDED TO POST.
CONCRETE BASE WITH EMBEDDED
COLUMN WITH (4) #5 REBAR
EXISTING SOIL

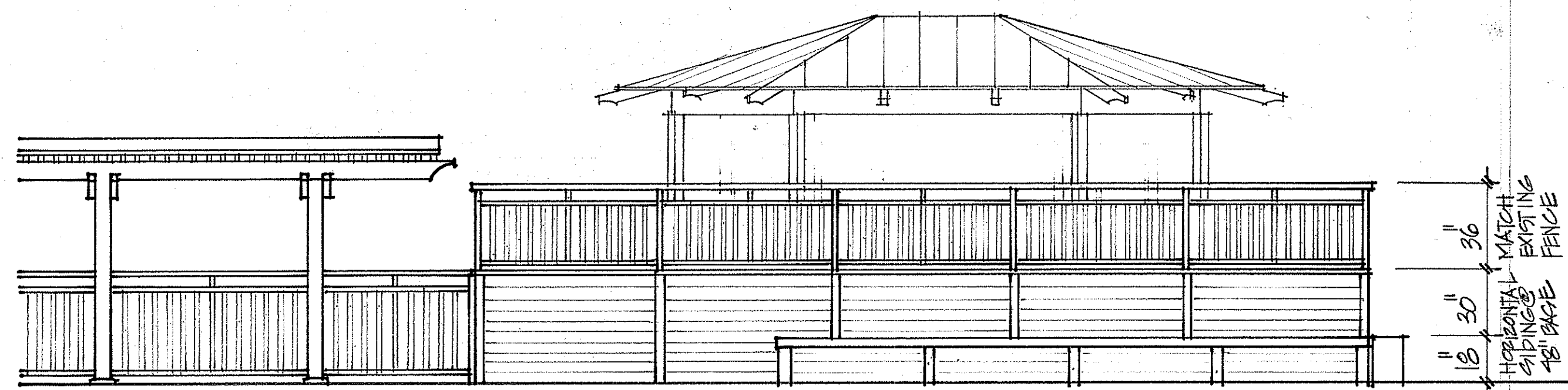
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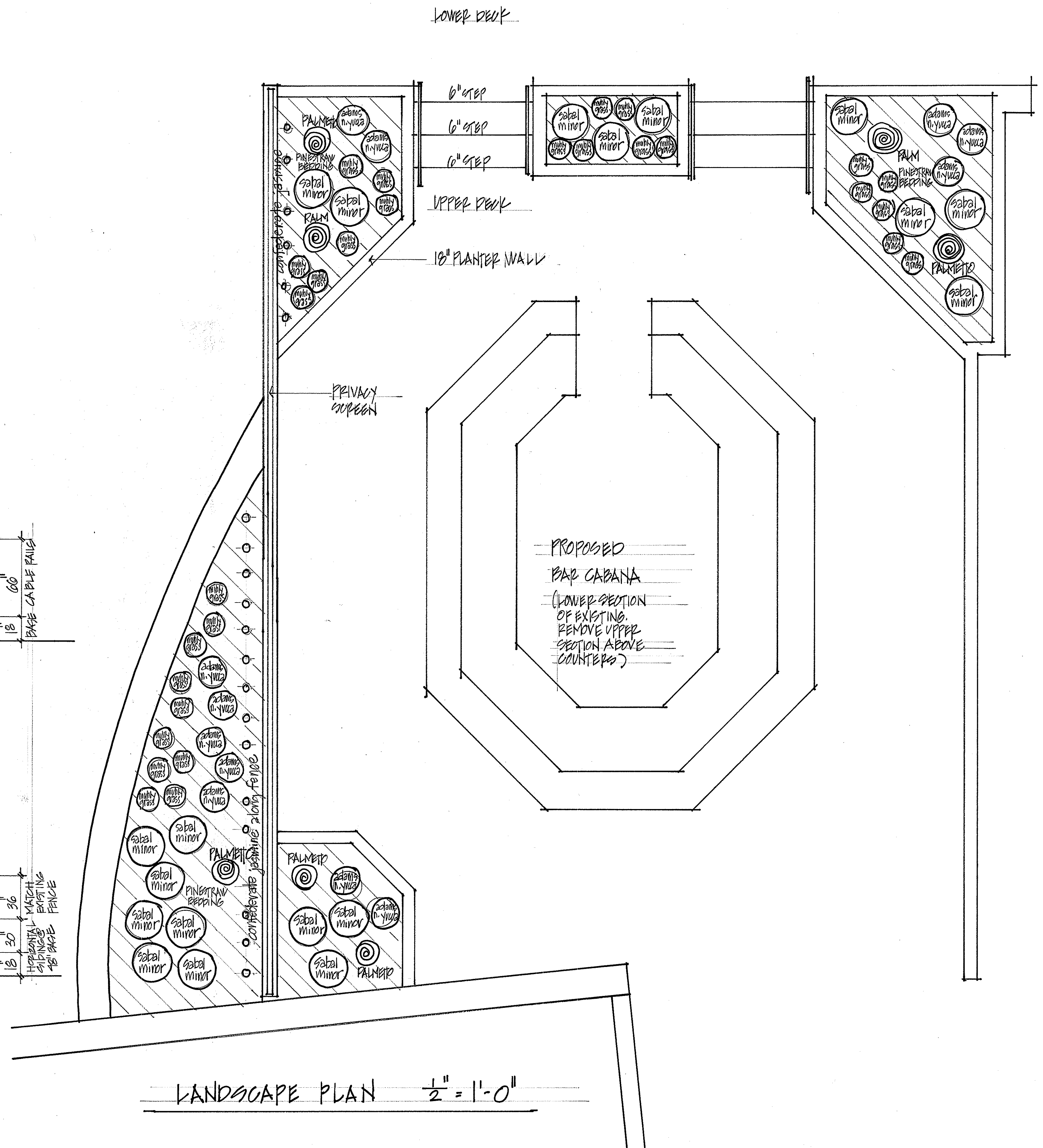
Additions and Renovations to
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10 North Forest Beach Drive
Hilton Head Island, South Carolina 29928



ALTERNATIVE PRIVACY SCREEN $\frac{1}{4}'' = 1'-0''$



ELEVATION FROM POOL AREA $\frac{1}{4}'' = 1'-0''$



LANDSCAPE PLAN $\frac{1}{2}'' = 1'-0''$

13 FEB 2018
15 FEB 2018

MANUEL STUDIO, LLC
Analey Hester Manuel, Architect
138 Bunt Church Road, Bluffton, South Carolina 29910 physical
104 Pritchard Street, Bluffton, S.C. 29910 mailing
843.338.8952 cell manuel.studio@aol.com

Additions and Renovations to
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Hilton Head Island, South Carolina 29928

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Pool Bar Jim's

DRB#: DRB-000407-2018

DATE: Feb. 19, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The roof color shall match the roof color of Sea Crest.
2. The proposed screen between the gazebo and the pool is not approved. In its place a railing to match the perimeter pool railing is approved.
3. Specify the color / finish of the removable bar for staff review and approval.
4. The new planter on the pool side of the gazebo shall be a minimum of 6' wide and extend the entire length of the gazebo deck addition. Provide a planting plan for this area to include a plant schedule for review and approval by Staff.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Only turtle friendly lighting can be used.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Extend planter along the new railing between the pool and the gazebo.
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of existing trees is unclear.
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a Plant Schedule.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location of existing trees is unclear.

MISC COMMENTS/QUESTIONS

1. The privacy screen is out of place with the balance of the existing and proposed elements. The same affect can be accomplished with vegetation, palms.
2. Specify the color / finish of the removable bar.