



**Town of Hilton Head Island**  
**Regular Design Review Board Meeting**  
**Tuesday, January 9, 2018 – 12:00 p.m.**  
**Benjamin M. Racusin Council Chambers**  
**AGENDA**

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*As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.*

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**  
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of December 12, 2017**
- 6. Board Business**
- 7. Old Business**
  - A. Alteration/Addition*
    - Broad Creek Marina, DRB-002869-2017 (withdrawn May 23, 2017)
  - B. New Development – Final*
    - Port Royal Investments, DRB-002873-2017 (Conceptual Approval Nov. 28, 2017)
    - Mullet's, DRB-002785-2017 (Conceptual Approval Nov. 28, 2017)
- 8. Unfinished Business**
- 9. New Business**
  - A. Alteration/Addition*
    - Lucky Rooster, DRB-002881-2017
    - Pool Bar Jim's, DRB-002882-2017
  - B. Sign*
    - Bank of America, DRB-002887-2017
- 10. Staff Report**
- 11. Appearance by Citizens**
- 12. Adjournment**

*Please note that a quorum of Town Council may result if four or more of their members attend this meeting.*

***Town of Hilton Head Island***  
***Minutes of the Design Review Board Meeting***  
**December 12, 2017 at 1:15 p.m.**  
**Benjamin M. Racusin Council Chambers**

**Board Members Present:** Chairman Jake Gartner, Vice Chairman Dale Strecker, Debbie Remke, Brian Witmer, Ron Hoffman, Kyle Theodore, Michael Gentemann

**Board Members Absent:** None

**Town Council Present:** None

**Town Staff Present:** Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

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**1. Call to Order**

Chairman Gartner called to order the regular meeting of the Design Review Board at 1:15 p.m.

**2. Roll Call - See as noted above.**

**3. Freedom of Information Act Compliance**

The Town has met all Freedom of Information Act requirements for this meeting.

**4. Approval of the Agenda**

The Board approved the agenda by general consent.

**5. Approval of Minutes – November 28, 2017**

The Board approved the minutes of the November 28, 2017 meeting by general consent.

**6. Unfinished Business**

*A. Alteration/Addition*

- Bullies, DRB-002660-2017 (last before the DRB on November 14, 2017)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following condition:

1. The standing seam metal roof shall be Pac-Clad Medium Bronze per the third option proposed.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board agreed the standing seam metal roof would be acceptable. The Board expressed different preferences on the proposed colors, however, bronze was not rejected by any member. The Board asked whether the trim color would be changed at this time. The trim color is not a part of this submission. Any change in trim color has to be submitted and approved by the Board. The applicant indicated he will urge the owner to submit a change for the trim color.

Mr. Gentemann made a motion to approve DRB-002660-2017 with the following condition:

1) Standing seam metal roof in Pac-Clad Medium Bronze.

Ms. Theodore seconded. The motion passed with a vote of 7-0-0.

## 7. New Business

### A. Alteration/Addition

- Publix, DRB-002671-2017

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends denial as submitted.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant indicated she is proposing to repaint the shopping center as a whole, not just Publix. The applicant described the color scheme as outlined in the packet, and then proposed alternative color scheme options.

Chairman Gartner requested comments from the Board. The Board shared concerns about the proposed colors. "Butter Up" is not nature blending. "Ethereal White" appears like it would be too white in natural sunlight. "Svelte Sage" may compliment some elements (i.e. columns), but may be too dark if used in mass. The Board verified the roof color is bronze and will not be changed at this time. The lettering on all the fascia is brown. The inside wall would be the same color as the columns. The Board and applicant discussed alternative color schemes that may work. For consistency, all colors should come from the same family. Rather than possibly receiving a denial, the Board recommended the applicant come back with a plan that identifies all elements to be painted and corresponding colors of the entire shopping center.

The applicant withdrew the application.

### B. New Development – Final

- Lidl, DRB-002670-2017 (Conceptual Approval received October 10, 2017)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff presented renderings that were provided by the applicant post-submittal. Staff noted the rendering shows a Live Oak at the entry, however, a palm tree is proposed in this location.

Staff recommends approval with the following conditions:

1. As part of the DPR submission, locate the silt fence along the south property line to protect existing vegetation.
2. Revise the Site Plan to preserve the 27" Live Oak in front of the Hwy 278 elevation.
3. Provide a lighting plan for staff review and approval that:
  - a. Illustrates compliance with the LMO site lighting standards.
  - b. Matches Sea Turtle Marketplace light fixtures and sources.

- c. Locates light poles behind parking stalls to match (generally) Sea Turtle Marketplace light pole locations.
  - d. Locates light poles to avoid conflicts with trees (existing and proposed).
4. Relocate bike racks closer to the entry and coordinate finish with building or Sea Turtle Marketplace racks.
5. Coordinate with Sea Turtle Marketplace to add canopy tree on the southern side of the Mathews Drive entrance.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Chairman Gartner requested comments from the Board. The Board generally agreed with Staff comments and discussed them with the applicant. The Board made comments and inquiries regarding the following:

- The silt fence would be temporary for construction only, in order to preserve the vegetation in that area.
- Per the Certified Arborist, the 27" Live Oak on the Hwy 278 elevation is worth saving.
- Provide a tree removal plan with the proposed site plan. Provide a tree removal and preservation plan.
- Per conceptual approval, all Live Oaks must be 4" caliper.
- All conditions in conceptual approval must be followed.
- Specify the color of the cart corral, and the guardrail at the loading dock, and match all metal surfaces with building color scheme
- Add a canopy tree on the southern side of the Mathews Drive entrance.
- Plant the property line adjacent to Mathews Court.
- Reduce the amount of pavement at the entry and more landscaping.
- Use fewer palms and more Oaks.
- Provide a lighting plan that adheres to Staff comments and blends with Sea Turtle Marketplace (STMP). Locate the parking lot poles schematically to coordinate with STMP.
- Provide light fixture cut sheets for the exterior building fixtures.
- The building is too tall in comparison to other buildings in STMP.
- There needs to be more articulation on the Mathews Drive elevation to break it up. The elevation is too flat.
- The suggestion was made to add a pitched roof over the cart corral on the Mathews Drive elevation to break up the height of that elevation. The height is fine if broken up with architectural elements.
- Reduce the height of the cart corral and pedestrian cover to be more in keeping with similar element on STMP.
- Brick size on the dumpster enclosure and the building should match.
- Provide a sample of the gate enclosure and/or a picture.
- Provide bike rack detail and/or cut sheet to include color.
- Provide site furnishings package to match STMP
- Provide door cut sheets, loading dock door cut sheets, louver detail, details on Bahama shutters, brackets, columns, reflected ceiling plan, dumpster enclosure detail, roof plan, color rendering.
- Provide more details for the entire project
- Include pitched roof canopies to get relief on the building elevations.
- Drop the Hwy 278 pedestrian roof and add a pitched roof.

- Add pedestrian scale pitched roofs to mitigate building size.
- The parapet wall on both elevations
- Reducing the height of the building. The applicant indicated the height cannot be reduced due to elements inside of the building that require it to be a specific height.

Upon the conclusion of the discussion, the applicant withdrew the application.

**8. Appearance by Citizens – None**

**9. Board Business**

A. Review of draft letter to Town Council regarding maximum size of free standing signs

Ms. Theodore made a motion to approve the letter as submitted with the following addition to the end of paragraph two, sentence two: “departing from historic and traditional Hilton Head “Island Character”.” Vice Chairman Strecker seconded. The motion passed with a vote of 7-0-0.

**10. Staff Report**

Mr. Darnell reported on the Minor Corridor approvals since the last Board meeting.

**11. Adjournment**

The meeting was adjourned at 3:33 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

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Jake Gartner, Chairman



**Town of Hilton Head Island**  
**Community Development Department**  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	12/22/11
Accepted by:	KD
DRB #:	2849-17
Meeting Date:	

Applicant/Agent Name: NATHAN W JONES Company: BROADCREEK MARINA PROPERTIES LLC  
 Mailing Address: PO BOX 21584 City: HILTON HEAD State: SC Zip: 29925  
 Telephone: 843 681 3625 Fax: 843 689 9451 E-mail: NATE@BROADCREEKMARINA.HH.COM  
 Project Name: BOAT RACK EXPANSION Project Address: 18 SIMMONS RD, HHI, SC 29926  
 Parcel Number [PIN]: R510011000007E0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

**Submittal Requirements for *All* projects:**

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

**Additional Submittal Requirements:**  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE

\_\_\_\_\_  
DATE

12/21/17

Currently on Hilton Head Island there is a shortage of dry storage for boats. Both Hilton Head Boathouse and Broad Creek Marina are full with extensive wait lists. To serve the ever increasing demand for boat storage Broad Creek Marina Properties seeks to expand its dry rack capabilities on its previously permitted site. Dry storage for vessels is particularly beneficial to the community, in that it reduces the amount of pollution into the local waters caused by boats sitting in the water. Hilton Head Island is a boating community, and not all residents have the ability to live waterfront. Broad Creek Marina would like to continue serving the boating community, and have the ability to encourage more.

The proposed rack system will be erected on the existing concrete pad that was intended for this purpose. The pad is located to the south of the enclosed dry storage building. No trees will need to be removed as part of this expansion. The foundation was designed for this purpose, and currently has the drainage necessary for this expansion. Boats are currently stored on single level ground racks on this site. Due to surrounding foliage the proposed rack system will be no more visible to the water than the existing boat barn is currently. The rack system will not be visible to any private residence. There will be a façade covering the Southern waterfront side of the rack system that will be in the same scheme as the current boat barn, to create a seamless look from the water. Palms will be added to help accent the current landscaping and create some elevated screening of the structure.

The proposed rack system consists of two rows, each consisting of five bays on 24' center to center. The rows will be 4 boat levels high, with the top shelf being 45'. The total storage capacity will be 80 boats, which is two boats per bay, of four levels. The rack system will be constructed of hot dip galvanized steel. The end bay on each row will have fixed "bunker" beams to accommodate the seismic requirements. The rack systems will be held to design criteria IBC 201, wind speed 140 mph, exposure "C". The rack system is designed to store boats outside and uncovered. This system is currently in use at Hilton Head Boathouse on the island, and at numerous other dry storage marinas across the world.

We believe our current parking is more than adequate for the proposed expansion; however, an affiliate of Broad Creek Marina owns approximately 2/3 acre on Simmons Rd, which will accommodate an estimated 50 cars. The LMO requires 1 space per every 5 slips, which would total a need for 16 spaces that can be easily accommodated if necessary.



**From:** [Nate Jones](#)  
**To:** [Darnell Chris](#)  
**Subject:** BCM Boat Rack Expansion  
**Date:** Friday, December 22, 2017 10:16:36 AM

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Chris,

In regards to the boat rack expansion project here at Broad Creek Marina, the proposed colors will match the existing boat storage building.

If you have any other questions please let me know.

I really appreciate your help on this.

*Fair Winds and Following Seas*

**Nate Jones**

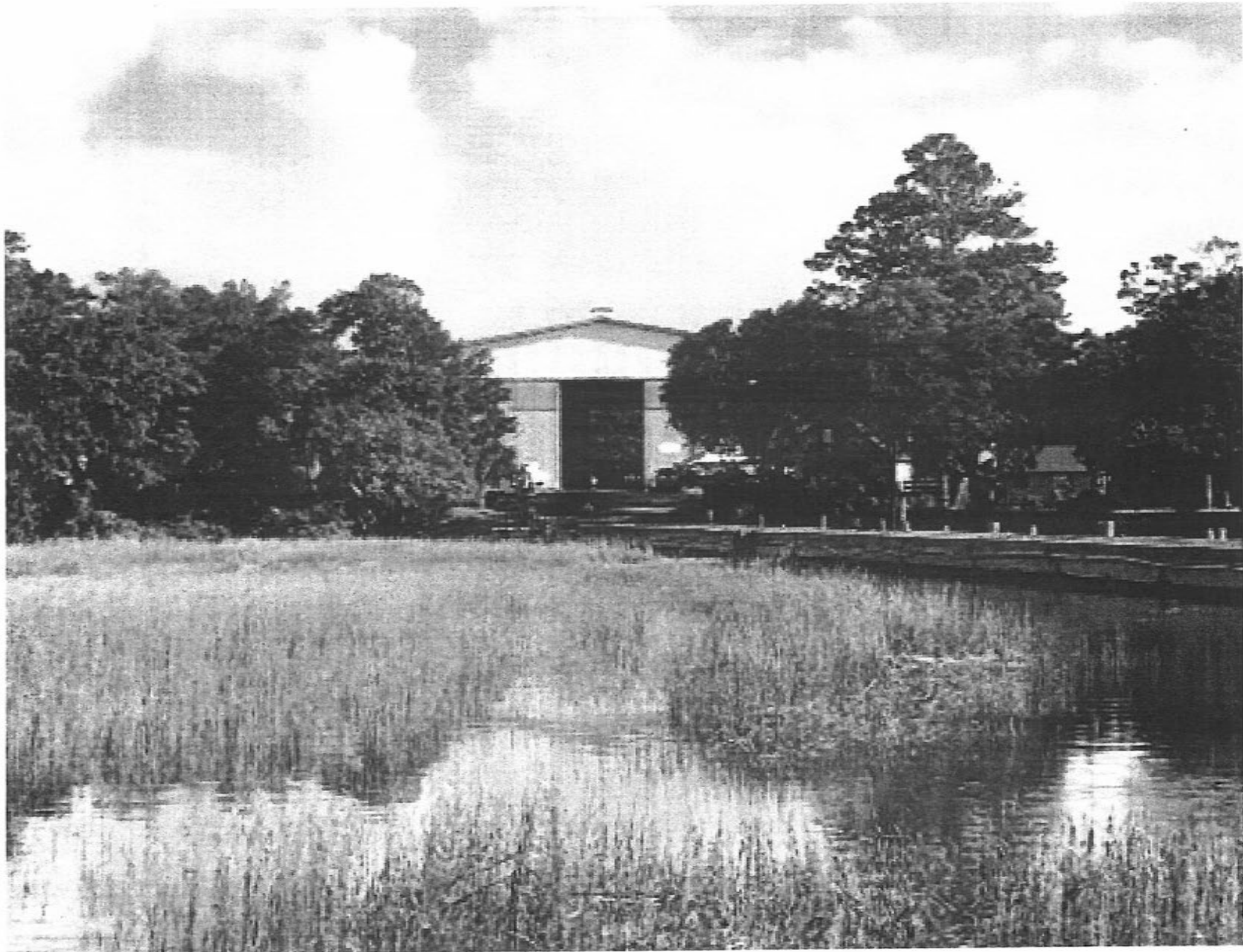
**Vice President/ GM**

Broad Creek Marina Adventures

843.681.3625

[nate@broadcreekmarinahh.com](mailto:nate@broadcreekmarinahh.com)







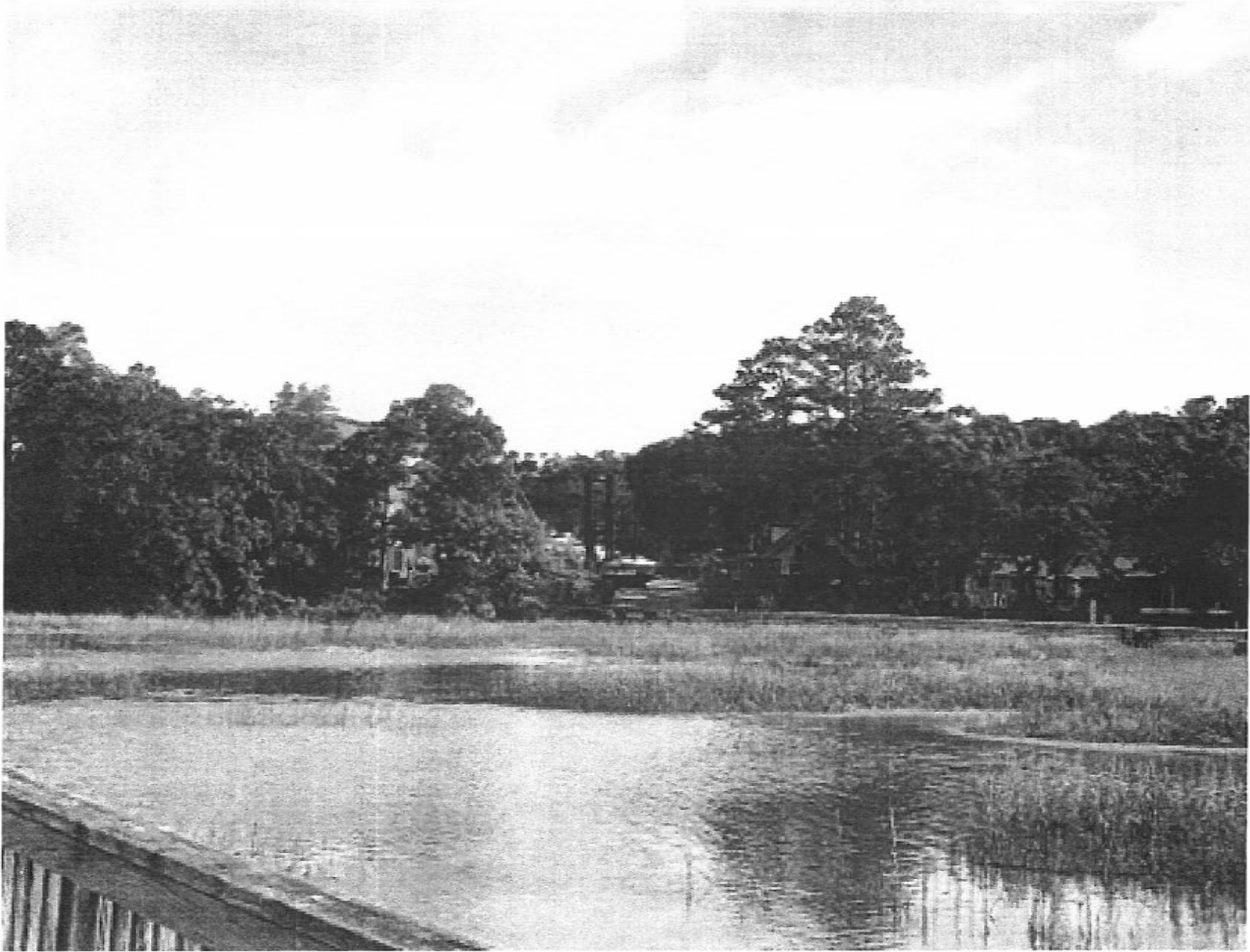




Image capture: Apr 2016 © 2017 Google



Image capture: Apr 2016 © 2017 Google



Image capture: Apr 2016 © 2017 Google

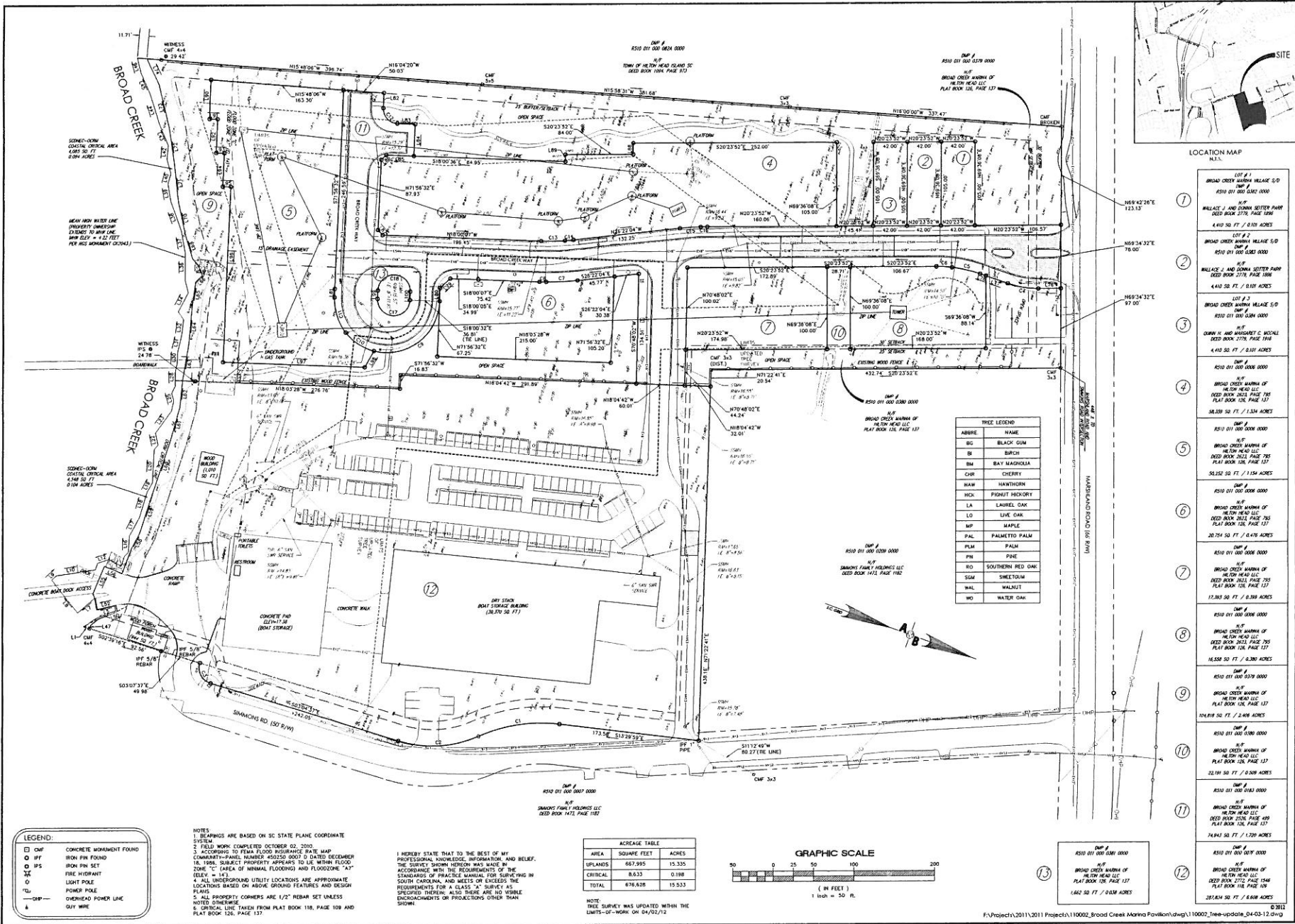
Hilton Head Island, South Carolina

Google, Inc.

Street View - Apr 2016







**PLAN REVISIONS**

NO.	DESCRIPTION	DATE	BY
1	INCREASED TREE SURVEY AREA	05/02/11	AK
2			
3			
4			
5			
6			
7			
8			
9			
10			

THE DESIGN AND DEAS PRESENTED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF ANDREWS & BURGESS INC. THESE PLANS OR THEIR CONTENT IS STRICTLY CONFIDENTIAL AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION.

**Andrews & Burgess Inc.**  
Engineering & Surveying

404 Sherman Road  
P.O. Box 1006  
Fleming, SC 29546  
Phone: 803.666.7966  
Fax: 803.666.7966

BOUNDARY, TREE AND ASBUILT SURVEY  
Prepared For  
BROAD CREEK MARINA  
of HILTON HEAD, LLC

BROAD CREEK MARINA VILLAGE  
TOWN OF HILTON HEAD ISLAND  
BEAUFORT COUNTY, SC

Date Drawn: 02/11/11  
Last Revised: 04/05/12  
Drawn By: N. Ridley  
Engineer: G. Burgess

SHEET #:  
**1**  
of 2  
JOB: 110002

LOCATION MAP  
N/A.

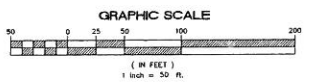
- 1 BROAD CREEK MARINA VILLAGE 0-0  
N/E  
WALLACE J. AND DONNA SETTER PART  
DEED BOOK 2776, PAGE 1006  
4,410 SQ. FT. / 0.101 ACRES
- 2 BROAD CREEK MARINA VILLAGE 0-0  
N/E  
WALLACE J. AND DONNA SETTER PART  
DEED BOOK 2776, PAGE 1006  
4,410 SQ. FT. / 0.101 ACRES
- 3 BROAD CREEK MARINA VILLAGE 0-0  
N/E  
DORR H. AND WENDY C. NICOLL  
DEED BOOK 2776, PAGE 1006  
4,410 SQ. FT. / 0.101 ACRES
- 4 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
58,350 SQ. FT. / 1.334 ACRES
- 5 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
50,252 SQ. FT. / 1.154 ACRES
- 6 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
28,754 SQ. FT. / 0.659 ACRES
- 7 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
17,383 SQ. FT. / 0.399 ACRES
- 8 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
16,558 SQ. FT. / 0.380 ACRES
- 9 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
19,618 SQ. FT. / 0.450 ACRES
- 10 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
32,191 SQ. FT. / 0.740 ACRES
- 11 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
74,843 SQ. FT. / 1.720 ACRES
- 12 DMP #  
R510 011 000 0300 0000  
N/E  
BROAD CREEK MARINA OF  
HILTON HEAD LLC  
DEED BOOK 126, PAGE 137  
28,554 SQ. FT. / 0.658 ACRES

**TREE LEGEND**

ABBREV	NAME
BL	BLACK GUM
B	BIRCH
BM	BAY MAGNOLIA
CH	CHERRY
HAW	HAWTHORN
HCK	PIGNOT HICKORY
LA	LAUREL OAK
LO	LIVE OAK
MP	MAPLE
PAL	PALMETTO PALM
PKM	PAVIA
PN	PINE
SO	SOUTHERN RED OAK
SDM	SHEDDOAK
WAL	WALNUT
WO	WATER OAK

**ACREAGE TABLE**

AREA	SQUARE FEET	ACRES
LANDS	487,595	11.335
CRITICAL	8,633	0.198
TOTAL	496,228	11.533



NOTE: TREE SURVEY WAS UPDATED WITH THE LIMITS-OF-WORK ON 04/02/12

NOTES:  
1. BEARINGS ARE BASED ON SC STATE PLANE COORDINATE SYSTEM.  
2. FIELD WORK COMPLETED OCTOBER 02, 2010.  
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 450250 0007 D DATED DECEMBER 18, 1998, SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "C" (AREA OF MINIMAL FLOODING) AND FLOODZONE "A7" (DEED 1-17).  
4. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS BASED ON ABOVE GROUND FEATURES AND DESIGN PLANS.  
5. ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.  
6. ORIGINAL LINE TAKEN FROM PLAT BOOK 116, PAGE 108 AND PLAT BOOK 126, PAGE 137.

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

**LEGEND:**

- C/MF CONCRETE MONUMENT FOUND
- IPF IRON PIN FOUND
- IPS IRON PIN SET
- ⊕ E/E ELECTRIC MONUMENT
- LIGHT POLE
- POWER POLE
- OVERHEAD POWER LINE
- GUY WIRE



**ROOF & RACK PRODUCTS, INC.**  
CONSULTING, DESIGN, ENGINEERING, FABRICATION, CONSTRUCTION  
P.O. Box 1330 · BOCA RATON, FL 33429 · (800) 555-4701 · [WWW.ROOFANDRACK.COM](http://www.ROOFANDRACK.COM)  
THE FINEST BOAT STORAGE SOLUTIONS – SINCE 1978

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**SUBMITTED TO:**

**NAME:** Mr. Nate Jones

**ADDRESS:**

**CITY, STATE:**

**ZIP, COUNTRY:**

**OFFICE #:** 843.681.3625

**MOBILE #:**

**DATE:** DECEMBER 12, 2017

**PROJECT:** Broad Creek Marina

**ADDRESS:** 18 Simmons Rd.

**CITY, STATE:** Hilton Head, SC

**ZIP, COUNTRY:** 29926

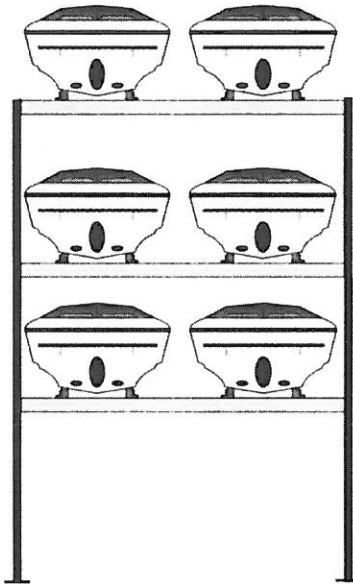
**EMAIL:** [nate@broadcreekmarinahh.com](mailto:nate@broadcreekmarinahh.com)

**FACSIMILE #:** 843.689.9451

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*We hereby submit specifications, prices, and contract as follows:*

**(2) ROWS OF OUTDOOR BOAT RACKS – (80) BOATS**



*NOTE: Diagram may differ from specified rack system in this document.*

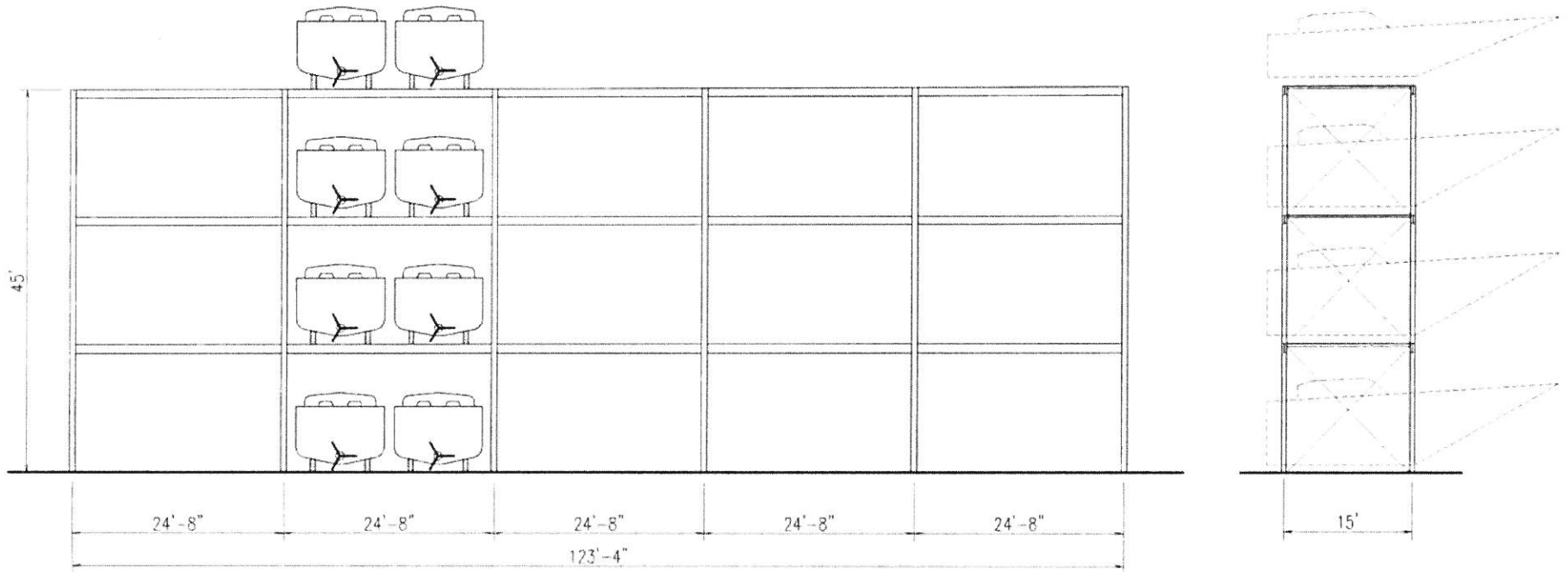
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# BROAD CREEK MARINA

OUTDOOR BOAT RACKS - 40 BOATS  
ROOF & RACK PRODUCTS, INC  
04-18-2017

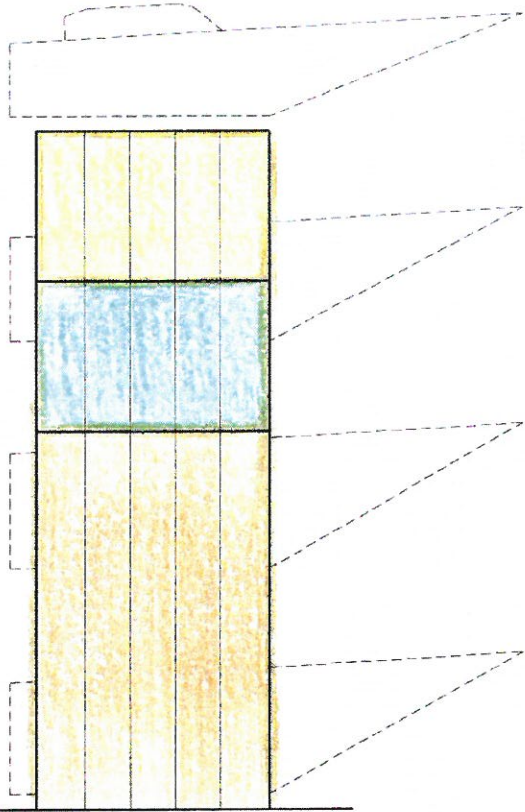
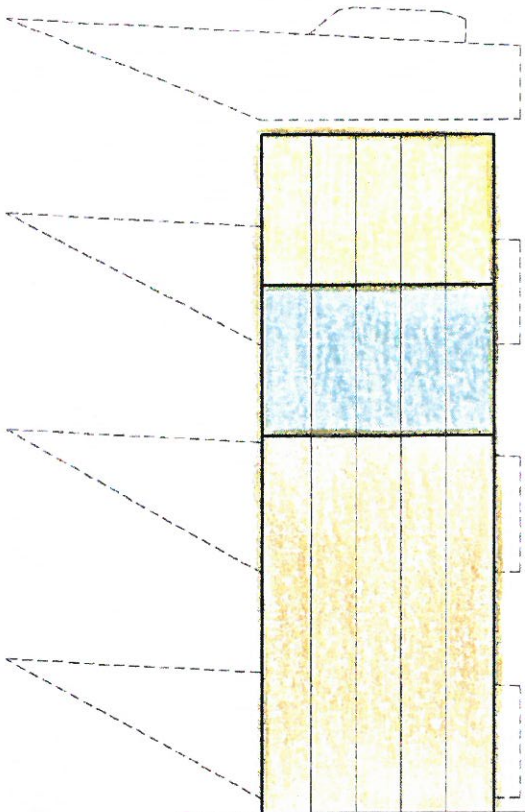
## WARNING:

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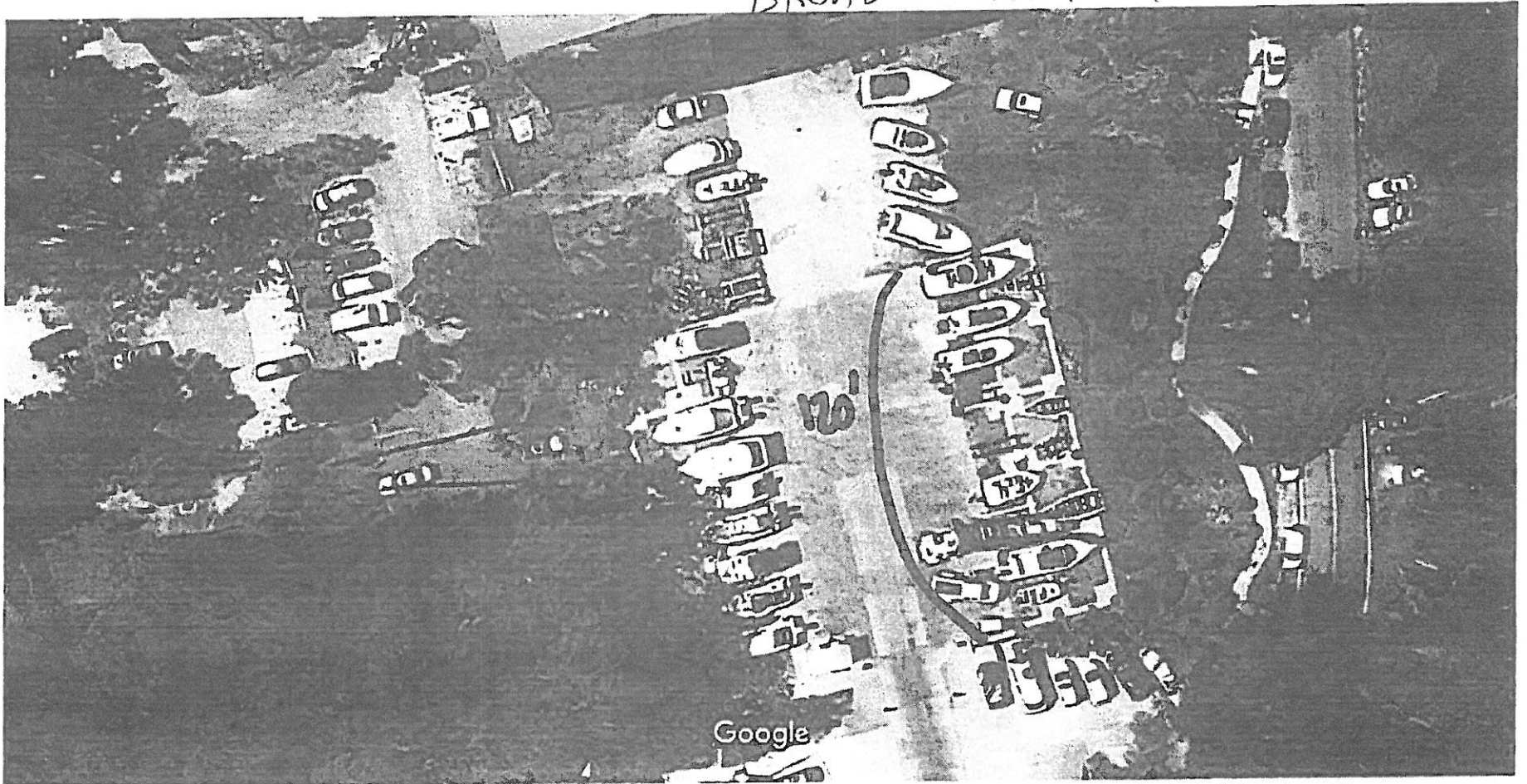
**BROAD CREEK MARINA**

OUTDOOR BOAT RACKS  
ROOF & RACK PRODUCTS, INC  
12-19-2017



Google Maps

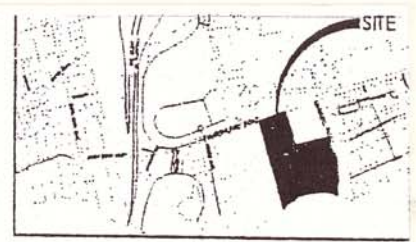
BROAD CREEK MARINA



Imagery ©2017 Google, Map data ©2017 Google 20 ft

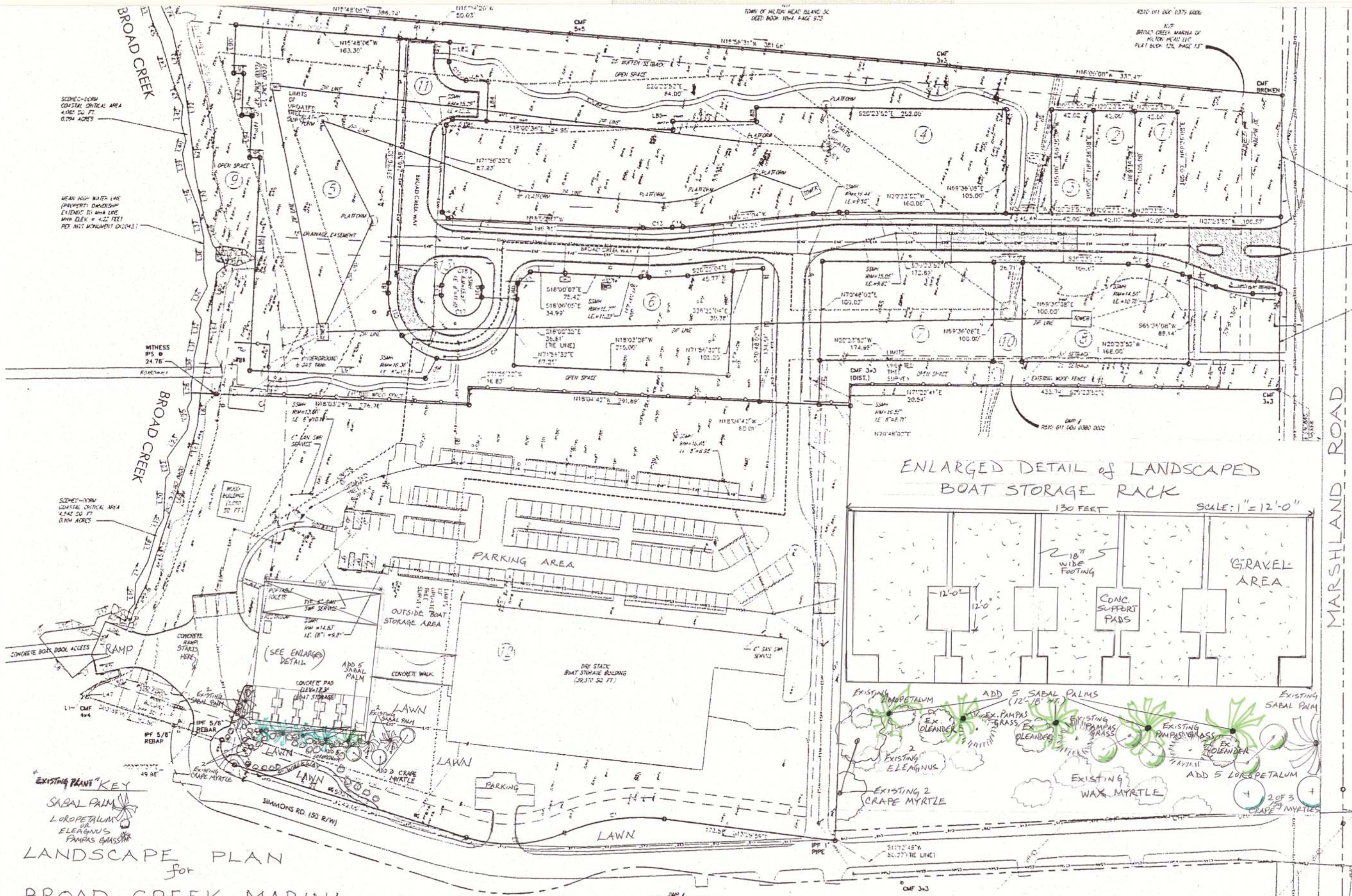
120' - long / 24' between sets / 5 sets long  
34' - deep  
15' - from first bolt set to second bolt set  
19' - from second bolt set to third bolt set

Identical on both sides



LOCATION MAP  
N.T.S.

- LOT # 1  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 2  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 3  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 4  
DANNY W. AND MARGARET C. MCWALL  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 5  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 6  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 7  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 8  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 9  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 10  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 11  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES
- LOT # 12  
BROAD CREEK MARINA VILLAGE S/D  
D.M.P. #  
RECORD 011 000 0383 0000  
4.410 SQ. FT. / 0.101 ACRES



**LANDSCAPE PLAN**  
for  
**BROAD CREEK MARINA**  
MARSHLAND ROAD  
HILTON HEAD, SOUTH CAROLINA  
SCALE: 1" = 50'

**LEGEND:**

- CMF CONCRETE MONUMENT FOUND
- IPF IRON PIN FOUND
- IPS IRON PIN SET
- FH FIRE HYDRANT
- LP LIGHT POLE
- PP POWER POLE
- OPH OVERHEAD POWER LINE
- GUY GUY WIRE

**NOTES:**

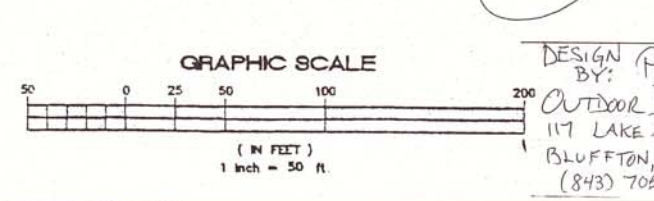
- BEARINGS ARE BASED ON SC STATE PLANE COORDINATE SYSTEM
- FIELD WORK COMPLETED OCTOBER 02, 2010
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 450250 0007 D DATED DECEMBER 18, 1986, SUBJECT PROPERTY APPEARS TO BE WITHIN FLOOD ZONE "C" (AREA OF MINIMAL FLOODING) AND FLOODZONE "A7" (ELEV. = 14')
- ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS BASED ON ABOVE GROUND FEATURES AND DESIGN PLANS.
- ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.
- CRITICAL LINE TAKEN FROM PLAT BOOK 118, PAGE 109 AND PLAT BOOK 126, PAGE 137

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOTE:  
TREE SURVEY WAS UPDATED WITHIN THE

**ACREAGE TABLE**

AREA	SQUARE FEET	ACRES
IMPLANDS	667,595	15.235
CRITICAL	6,623	0.152
TOTAL	674,218	15.387



**DESIGN BY:** PETER F. DAVIS  
OUTDOOR DESIGN GROUP, LLC  
117 LAKE SOMERSET CIRCLE  
BLUFFTON, SC 29909  
(843) 705-2752

**AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS**

Member Number: 000000

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Broad Creek Marina Boat Rack

DRB#: DRB-002869-2017

DATE: 12/28/2017

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

<b>ARCHITECTURAL DESIGN</b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The colors of the existing warehouse are not nature blending. Consider a color scheme that coordinates with the warehouse but is more nature blending.
Avoids monotonous planes or unrelieved repetition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Break up screen walls with architectural detail.
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider adding a roof form.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Forms an details are sufficient to reduce the mass of the structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use architectural detail on the screens to mitigate its scale.
Human scale is achieved by the use of proper proportions and architectural elements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comment above.
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials match the existing structure.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Materials match the existing structure.
Windows are in proportion to the facade	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use architectural detail on the screens to mitigate its scale.

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Palms should be added in front of the left screen.

<b>MISC COMMENTS/QUESTIONS</b>	
1.	The boat on the top rack will be visible from Broad Creek.
2.	Staff thinks a physical barrier is the best way to screen the boat rack, but the proposed screen need more architectural detail to be consistent with the Design Guide.
3.	“The use or function of a structure will also be a determining factor in its design but need not sacrifice the intent of Island Character. A light industrial building can exhibit good Island Character as well as an office or multifamily project.” (Design Guide, Architecture, Page 12)
4.	“Architectural form and detailing must be used to reduce the appearance of the mass of the structure. While height limits and setback angles are established in Chapter 3 of the LMO, upper areas of taller structures should be designed to minimize their visual appearance.” (Design Guide, Mass, Page 13)





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy C Probst Company: Parker Design Group Architects  
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: S.C. Zip: 29928  
 Telephone: 843 785-517 Fax: \_\_\_\_\_ E-mail: Tprobst@hargray.com  
 Project Name: Bike Rental & office for Port Royal Investment Company Project Address: #1 Executive Park Rd.  
 Parcel Number [PIN]: R552 015 000 0081 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

*Digital Submissions may be accepted via e-mail by calling 843-341-4757.*

Project Category:  
 \_\_\_ Concept Approval – Proposed Development \_\_\_\_\_ Alteration/Addition  
 \_\_\_X Final Approval – Proposed Development \_\_\_\_\_ Sign

Submittal Requirements for *All* projects:

\_\_\_ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_x Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- x A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- x A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- x A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- x Context photographs of neighboring uses and architectural styles.
- x Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- x Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- X A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- X Final site development plan meeting the requirements of Appendix D: D-6.F.
- X Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- X Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- X A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- X Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**       YES     NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



12/18/17

SIGNATURE

DATE



**APPLICATION NARRATIVE** | For Port Royal Investment Building  
1 Pope Avenue Executive Park, Hilton Head Island, SC

**ACREAGE:** 1.38 acres

**ZONING:** Light Commercial

**PROJECT DESCRIPTION:**

The new project at 1 Pope Avenue Executive Park contains a bicycle, Vespa, and golf-cart rental facility with a separate office pavilion. The two pavilions are connected by a trellis covered elevated deck that serves as an entry "portal" on the ground level from both parking and bike path system. The project design is rooted in its simplicity, craft and overall "green" selections including a solar array for charging the golf carts. Large window walls will provide the interior spaces enough natural light so as not to need artificial lighting during business hours. An exposed post and beam structure, large storefront glass, exposed rafters and standing seam metal roofing are informed by the local vernacular.

**NUMBER OF BUILDINGS:** Two connected with open decking

**NUMBER OF STORIES:** One

**BUFFERS/ SETBACKS:** All required buffer and setbacks per the Land Management Ordinance will be complied with  
*\*Note that we are currently desiring to use the 50' buffer option #1 off Pope Avenue for a bio-swale storm water feature and we would like to discuss this concept.*

**DENSITY:** As per Section 16-3-102 the Maximum Density Allowable in the LC District is 10,000 SF per acre  
10,000 SF x 1.38Acre= 13,800 Maximum Density/ Proposed 3,026 heated= OK

**PARKING:** As per Section 16-5-107

**Required:** OFFICE 1 space for each 350 GSF  
BICYCLE SHOP 1 space per 200 GSF  
STORAGE 1 space per 300 GSF

**Proposed:** OFFICE SPACE 1,733 SF/ 350 SF = 5 spaces  
BIKE RENTAL (CART RENTAL) 1,293 SF/ 200 SF = 7 spaces  
STORAGE SPACE 3,026 SF/ 350 SF = 9 spaces

Total Spaces needed = 21 spaces  
Proposed Spaces = 23 spaces

**OPEN SPACE / IMPERVIOUS SURFACE COVERAGE:**

As per Section 16-3-105 The Maximum Impervious Coverage for LC Zoning is 60% and the Minimum Open Space for LC Zoning is 16%

**Required:** Maximum Impervious Coverage = 60% x 60,548 SF = 36,329 SF  
Minimum Open Space = 16% x 60,548 = 9,688 SF

**Proposed:** Impervious Coverage = 18,980 SF or 31%  
Open Space = 41,568 SF or 69%

**TREE PRESERVATION:** The large oaks on the site will be protected and not be impacted by the new work. The mitigation plan will be included in the final submittal

**PROJECT PHASING:** The overall project will be completed in one phase

**VEHICLE ACCESS:** The proposed building uses the existing curb cut

**UNDERGROUND UTILITIES:** The new structure is anticipated not to require any additional utilities as this is the previous site of the Island Packet building

**MAINTENANCE RESPONSIBILITIES:** The owner will be responsible for maintaining the building in accordance with all Town requirements and guidelines

**NEW LIGHTING:** Lighting to be determined, but will be dark sky compliant in keeping with the environmentally friendly program for the projects program



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD – NOTICE OF ACTION**

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**PROJECT NAME:** Port Royal Investment Co. Office      **PROJECT #:** DRB-002578-2017  
**PROJECT ADDRESS:** 1 Executive Park Road  
**CATEGORY:** New Development – Conceptual  
**ACTION DATE:** November 28, 2017      **NOTICE DATE:** December 1, 2017  
**APPLICANT/AGENT:** Timothy C Probst, Parker Design Group Architects  
10 Palmetto Business Park, Suite 201  
Hilton Head Island, SC 29928  
Email: tprobst@hargray.com


---

**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**  
 **APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**  
 **DENIED**  
 **WITHDRAWN AT THE APPLICANTS REQUEST**

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer

# SHALLOW SHADES

PREPARED BY: \_\_\_\_\_

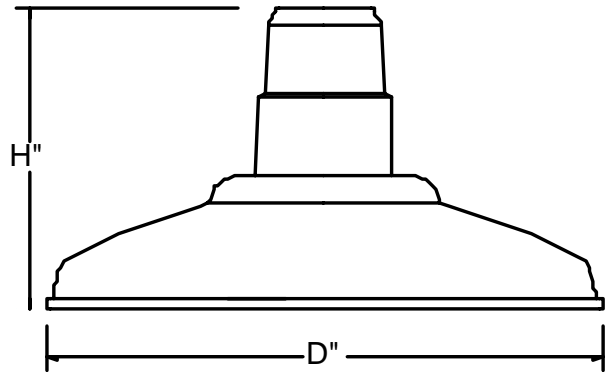
TYPE: \_\_\_\_\_

JOB NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

CERTIFICATION: UL LISTED

MODEL#	D"	H"
S312	12	7.5
S314	14	7.5
S316	16	8.5



S312-S320

**FINISH**-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. White is standard inside reflectors, Except #49-Galvanized, #62-Anodized Bronze and #63-Iron Rust, Unless specified. Custom colors and Marine are available upon request.

**MOUNTING**- 1/2" or 3/4" tapped hub is supplied. Top or side mount available. Fixtures are pre-wired with 48" or 96" leads. Available with cord or stem sets.

**REFLECTOR**- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125. Galvanized is from 20 gauge sheets. Copper is spun from .040 gauge and 110 soft alloy.

**LAMP HOLDERS**- Accommodates **Incandescent** medium base porcelain socket, copper shell with nicked plate, rated 250V, 660W. **Compact Fluorescent** 4 pin heat resistant thermoplastic socket accommodates 26/32W (Gx24q-3 base) and 42W (Gx24q-4 base). Twist lock design provides for vibration and earthquake resistance, rated 75W, 600V. **High Intensity Discharge (H.I.D.)** medium base, 4KV pulse start socket, rated 660W/600V. **LED**. A minimum of 60,000 hours to 100,000 expected life depending on installation location and ambient temperature.

MODEL#	FINISH		LIGHT SOURCE				MOUNTING OPT.
			INC	CF <sup>1</sup>	HID <sup>1</sup>	LED <sup>1</sup>	
S312	40-copper w/ coat	53-rust	100W	26W 32w	35W, 50W	10W	-Arm extension -Post Mts & Pole -Stem -Cord <sup>2</sup> -Cable & Chain -Hub
S314	41-black 42-dr. green 43-red 44-white 45-med. blue 46-yellow 48-polish alum.	54-stucco 55-sage 57-polish alum w/ coat 58-satin alum. clear coat 59-coppertone 60-canal green					
S316	49-galvanized 50-navy blue 51-arch. Bronze 52-patina	61-anod. charcoal 62-anod. bronze 63-iron rust	200W		36W		

<sup>1</sup>REMOTE BALLAST/DRIVER

<sup>2</sup>INC MAX WATTAGE 150W

CALL FACTORY FOR HIGHER WATTAGE



12260 EAST END AVE. CHINO, CA 91710

MADE IN



PHONE: 877-999-1990

FAX: 877-999-1955

# SHALLOW SHADES

PREPARED BY: \_\_\_\_\_

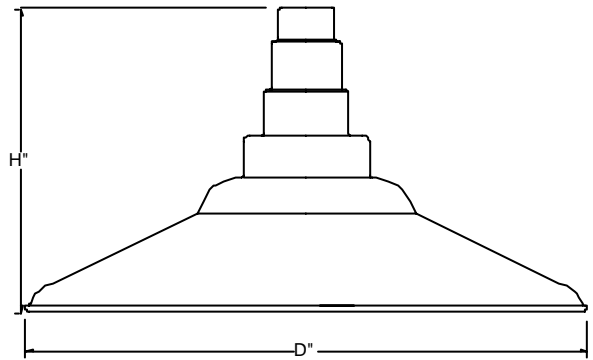
TYPE: \_\_\_\_\_

JOB NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

CERTIFICATION: UL LISTED

MODEL#	D"	H"
S318	18	9
S320	20	10
S324	24	14



S324

**FINISH**-Five stage pretreatment process, coated with a lead free TGI C polyester powder coat finish. White is standard inside reflectors, Except #49-Galvanized, #62-Anodized Bronze and #63-Iron Rust, Unless specified. Custom colors and Marine are available upon request.

**MOUNTING**- 1/2" or 3/4" tapped hub is supplied. Top or side mount available. Fixtures are pre-wired with 48" or 96" leads. Available with cord or stem sets.

**REFLECTOR**- Spun from heavy gauge 1100-0 aluminum, ranging in thickness from .050 to .125. Galvanized is from 20 gauge sheets. Copper is spun from .040 gauge and 110 soft alloy.

**LAMP HOLDERS**- Accommodates **Incandescent** medium base porcelain socket, copper shell with nicked plate, rated 250V, 660W. **Compact Fluorescent** 4 pin heat resistant thermoplastic socket accommodates 26/32W (Gx24q-3 base) and 42W (Gx24q-4 base). Twist lock design provides for vibration and earthquake resistance, rated 75W, 600V. **High Intensity Discharge (H.I.D.)** medium base, 4KV pulse start socket, rated 660W/600V. **LED**. A minimum of 60,000 hours to 100,000 expected life depending on installation location and ambient temperature.

MODEL#	FINISH		LIGHT SOURCE				MOUNTING OPT.
			INC	CF <sup>1</sup>	HID <sup>1</sup>	LED <sup>1</sup>	
S318	40-copper w/ coat	53-rust	300w	26W,	35W,	57W	-Arm extension -Post Mts & Pole -Stem -Cord <sup>2</sup> -Cable & Chain -Hub
	41-black	54-stucco					
S320	42-dr. green	55-sage	42W,	50W,	70W,	79W	
	43-red	57-polish alum w/ coat					
	44-white	58-satin alum. clear coat					
S324	45-med. blue	59-coppertone	100W	93W			
	46-yellow	60-canal green					
	48-polish alum.	61-anod. charcoal					
	49-galvanized	62-anod. bronze					
	50-navy blue	63-iron rust					
	51-arch. Bronze						
	52-patina						

<sup>1</sup>REMOTE BALLAST/DRIVER

<sup>2</sup>INC MAX WATTAGE 150W

CALL FACTORY FOR HIGHER WATTAGE



MADE IN



U. S. A.



PHONE: 877-999-1990

FAX: 877-999-1955

12260 EAST END AVE. CHINO, CA 91710

## DESCRIPTION

Westwood 904 and 904-2 are small dimmable LED or MR16 low-voltage halogen luminaires. Model 904 provides downlight or uplight by way of its 180° rotational fixture head. Model 904-2 provides combination uplight and downlight. A square shroud option (-SQS) is available in both models, offering rectilinear styling instead of cylindrical. Both models mount directly to any wall surface or over a standard 4-inch J-box and require a remote 12-volt step-down transformer (not included). Various lenses, louvers, and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects.

Catalog #		Type
Project		
Comments		Date
Prepared by		

## SPECIFICATION FEATURES

### A ... Material

Housing and hood are precision-machined from corrosion-resistant 6061-T6 aluminum billet, brass, bronze or stainless steel. Mounting canopy is constructed from corrosion-resistant silicone aluminum, brass, bronze or stainless steel.

### B ... Finish Painted

Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. Brass, Bronze or Stainless Steel Fixtures constructed from brass, bronze or stainless steel are left unpainted to reveal the natural beauty of the material. Brass and bronze will patina naturally over time.

### C ... Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Weep holes prevent water collection on the uplight position.

### D ... Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

### E ... Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

### F ... Mounting

Both models mount directly to wall surface or over a standard 4" J-box and require remote 12V step-down transformer (not included). Model 904 provides downlight or uplight. Model 904-2 provides non-adjustable uplight and downlight. Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

### G ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

### H ... Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

### I ... Electrical

Remote 12V transformer required (not included). NOTE: initial power draw on LED equipped fixtures is 15 watts. When sizing transformer use 15 watts per LED fixture. Nominal power draw after start up is 10 or 6 watts accordingly. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate between 10 and 13 volts. Any less or more voltage can cause premature failures.

### J ... Lamp

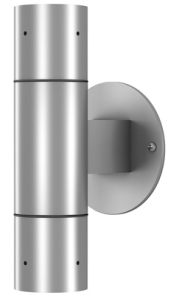
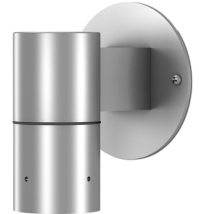
Halogen lamp not included. Available from Lumière as an accessory - see reverse side for details and catalog logic. LED modules are included and are available in four color temperatures (2700,3000,4000, and 5700) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic.

### K ... Labels & Approvals

UL and cUL listed, standard wet label. IP65 rated. Manufactured to ISO 9001-2000 Quality Systems Standard. IBEW union made.

### L ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for three (3) years. Auxiliary equipment such as transformers, ballasts and lamps carry the original manufacturer's warranty.



## WESTWOOD

### 904

### 904-2

### 10W LED

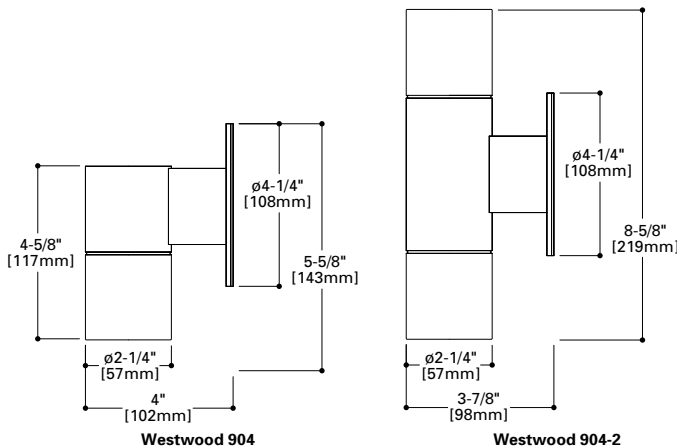
### 6W LED

### 50W (max.) MR16

### Low Voltage

### Wall

### IP65



**Westwood 904/904-2**  
Lamp=50MR16/NSP  
(EXT)  
CBCP=11,000

**Cone of Light**

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	45	4'0"
10'0"	102	3'0"
8'0"	159	2'0"
6'0"	283	1'6"
4'0"	638	1'0"
2'0"	2550	0'6"

Lamp Wattage Multiplier  
20W x 0.32



**Westwood 904/904-2**  
Lamp=50MR16/NFL  
(EXZ)  
CBCP=3200

**Cone of Light**

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	13	10'0"
10'0"	29	6'6"
8'0"	45	5'0"
6'0"	81	4'0"
4'0"	181	2'6"
2'0"	725	1'0"



**Westwood 904/904-2**  
Lamp=50MR16/FL  
(EXN)  
CBCP=2000

**Cone of Light**

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	7	12'0"
10'0"	17	8'0"
8'0"	27	6'6"
6'0"	48	5'0"
4'0"	106	3'0"
2'0"	431	1'6"

Lamp Wattage Multiplier  
35W x 0.57  
20W x 0.30



**Westwood 904/904-2**  
Lamp=50MR16/WFL  
(FNV)  
CBCP=1200

**Cone of Light**

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
15'0"	5	17'0"
10'0"	11	11'6"
8'0"	17	9'0"
6'0"	30	7'0"
4'0"	67	4'6"
2'0"	269	2'0"



ORDERING INFORMATION

--	--	--	--	--	--

**Series**  
**904**=LED or MR16 Westwood Up/Down Wall Fixture Single Head, Round  
**904-2**=MR16 Westwood Up/Down Wall Fixture - Dual Head, Round  
**904-UD**=LED or MR16 Westwood Up/Down Wall Fixture - Dual Head, Round  
**904-SQ**=LED or MR16 Westwood Up/Down Wall Fixture-Single Head, Square  
**904-SQ-UD**=LED or MR16 Westwood Up/Down Wall Fixture - Dual Head, Square

**Source**  
**50MR16**=50W Max Halogen MR16, GU5.3 Base  
**6LED2712**=6W 2700K, 12 Degree Spot, GU5.3 Base  
**6LED2721**=6W 2700K, 21 Degree Narrow, GU5.3 Base  
**6LED2741**=6W 2700K, 41 Degree Wide, GU5.3 Base  
**6LED3012**=6W 3000K, 12 Degree Spot, GU5.3 Base  
**6LED3021**=6W 3000K, 21 Degree Narrow, GU5.3 Base  
**6LED3041**=6W 3000K, 41 Degree Wide, GU5.3 Base  
**6LED4012**=6W 4000K, 12 Degree Spot, GU5.3 Base  
**6LED4021**=6W 4000K, 21 Degree Narrow, GU5.3 Base  
**6LED4041**=6W 4000K, 41 Degree Wide, GU5.3 Base  
**6LED5712**=6W 5700K, 12 Degree Spot, GU6.3 Base  
**6LED5721**=6W 5700K, 21 Degree Narrow, GU5.3 Base  
**6LED5741**= 6W 5700K, 41 Degree Wide, GU5.3 Base  
**10LED2712**= 10W 2700K, 12 Degree Spot, GU5.3 Base  
**10LED2721**= 10W 2700K, 21 Degree Narrow, GU5.3 Base  
**10LED2741**= 10W 2700K, 41 Degree Wide, GU5.3 Base  
**10LED3012**= 10W 3000K, 12 Degree Spot, GU5.3 Base  
**10LED3021**= 10W 3000K, 21 Degree Narrow, GU5.3 Base  
**10LED3041**= 10W 3000K, 41 Degree Wide, GU5.3 Base  
**10LED4012**= 10W 4000K, 12 Degree Spot, GU5.3 Base  
**10LED4021**= 10W 4000K, 21 Degree Narrow, GU5.3 Base  
**10LED4041**= 10W 4000K, 41 Degree Wide, GU5.3 Base  
**10LED5712**= 10W 5700K 12 Degree Spot, GU5.3 Base  
**10LED5721**= 10W 5700K, 21 Degree Narrow, GU5.3 Base  
**10LED5741**= 10W 5700K, 41 Degree Wide, GU5.3 Base

**Voltage**  
**12**=12V

**Finish**  
**Painted**  
**BK**=Black  
**BZ**=Bronze  
**CS**=City Silver  
**VE**=Verde  
**WT**=White

**Metal**  
**NBR**=Brass  
**NCP**=Copper  
**NSS**=Stainless Steel

**Accessories**  
**Glare Shield**  
**FH203**=Angled Glare Shield, MR16

**Filters**  
**F71**=Peach Dichroic Filter, 2.00" Dia  
**F73**=Green Dichroic Filter, 2.00" Dia  
**F75**=Yellow Dichroic Filter, 2.00" Dia  
**F77**=Dark Blue Dichroic Filter, 2.00" Dia  
**F79**=Neutral Density Dichroic Filter, 2.00" Dia  
**F22**=Red Color Filter, 2.00" Dia  
**F44**=Green Color Filter, 2.00" Dia  
**F66**=Mercury Vapor Color Filter, 2.00" Dia

**Optical Lenses**  
**LSL**=Linear Spread Lens (elongate standard beam spread), 2.00" Dia  
**DIF**=Diffused Lens (provide even illumination), 2.00" Dia

**Optical Louver**  
**LVR**=Hex Cell Louver (reduce glare), 2.00" Dia

**Lamps**  
**EZX**=20W MR16 GU5.3 Bi-Pin Very Narrow Spot  
**BAB**=20W MR16 GU5.3 Bi-Pin Flood  
**FRA**=35W MR16 GU5.3 Bi-Pin Spot  
**EXT**=50W MR16 GU5.3 Bi-Pin Narrow Spot  
**EXN**=50W MR16 GU5.3 Bi-Pin Flood

**F72**=Amber Dichroic Filter, 2.00" Dia  
**F74**=Medium Blue Dichroic Filter, 2.00" Dia  
**F76**=Red Dichroic Filter, 2.00" Dia  
**F78**=Light Blue Dichroic Filter, 2.00" Dia  
**F80**=Magenta Dichroic Filter, 2.00" Dia  
**F33**=Blue Color Filter, 2.00" Dia  
**F55**=Yellow Color Filter, 2.00" Dia

**OSL**=Overall Spread Lens (increase beam spread), 2.00" Dia

**ESX**=20W MR16 GU5.3 Bi-Pin Narrow Spot  
**FRB**=35W MR16 GU5.3 Bi-Pin Narrow Spot  
**FMW**=35W MR16 GU5.3 Bi-Pin Flood  
**EXZ**=50W MR16 GU5.3 Bi-Pin Narrow Flood  
**FNV**=50W MR16 GU5.3 Bi-Pin Very Wide Flood

- Notes:
- \* Lamp not included.
  - \* 12V remote transformer required - not included.
  - \* See ACCESSORIES & TECHNICAL DATA section of the Lumière catalog for Low Voltage Cable & Transformers.
  - \* Consult your Cooper Lighting representative for additional options and finishes.



LAMP INFORMATION

Lamp	Watts	Beam Spread	CBCP	°K	Life (hrs.)	Base	Volts
6LED2712	6	12°	3358	2700	50000	GU5.3 bi-pin	12
6LED2721	6	21°	937	2700	50000	GU5.3 bi-pin	12
6LED2741	6	41°	472	2700	50000	GU5.3 bi-pin	12
6LED3012	6	12°	3694	3000	50000	GU5.3 bi-pin	12
6LED3021	6	21°	1019	3000	50000	GU5.3 bi-pin	12
6LED3041	6	41°	646	3000	50000	GU5.3 bi-pin	12
6LED4012	6	12°	4280	4000	50000	GU5.3 bi-pin	12
6LED4021	6	21°	1179	4000	50000	GU5.3 bi-pin	12
6LED4041	6	41°	754	4000	50000	GU5.3 bi-pin	12
6LED5712	6	12°	4496	5700	50000	GU5.3 bi-pin	12
6LED5721	6	21°	1275	5700	50000	GU5.3 bi-pin	12
6LED5741	6	41°	792	5700	50000	GU5.3 bi-pin	12
10LED2712	10	12°	5037	2700	50000	GU5.3 bi-pin	12
10LED2721	10	21°	1406	2700	50000	GU5.3 bi-pin	12
10LED2741	10	41°	708	2700	50000	GU5.3 bi-pin	12
10LED3012	10	12°	5513	3000	50000	GU5.3 bi-pin	12
10LED3021	10	21°	1521	3000	50000	GU5.3 bi-pin	12
10LED3041	10	41°	964	3000	50000	GU5.3 bi-pin	12
10LED4012	10	12°	6389	4000	50000	GU5.3 bi-pin	12
10LED4021	10	21°	1759	4000	50000	GU5.3 bi-pin	12
10LED4041	10	41°	1125	4000	50000	GU5.3 bi-pin	12
10LED5712	10	12°	6711	5700	50000	GU5.3 bi-pin	12
10LED5721	10	21°	1903	5700	50000	GU5.3 bi-pin	12
10LED5741	10	41°	1182	5700	50000	GU5.3 bi-pin	12
50MR16/NSP	50	12°	11,000	3050	4000	GU5.3 bi-pin	12
50MR16/NSL	50	25°	3200	3050	4000	GU5.3 bi-pin	12
50MR16/FL	50	40°	2000	3050	4000	GU5.3 bi-pin	12
50MR16/WFL	50	60°	1200	3050	4000	GU5.3 bi-pin	12

NOTES AND FORMULAS

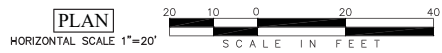
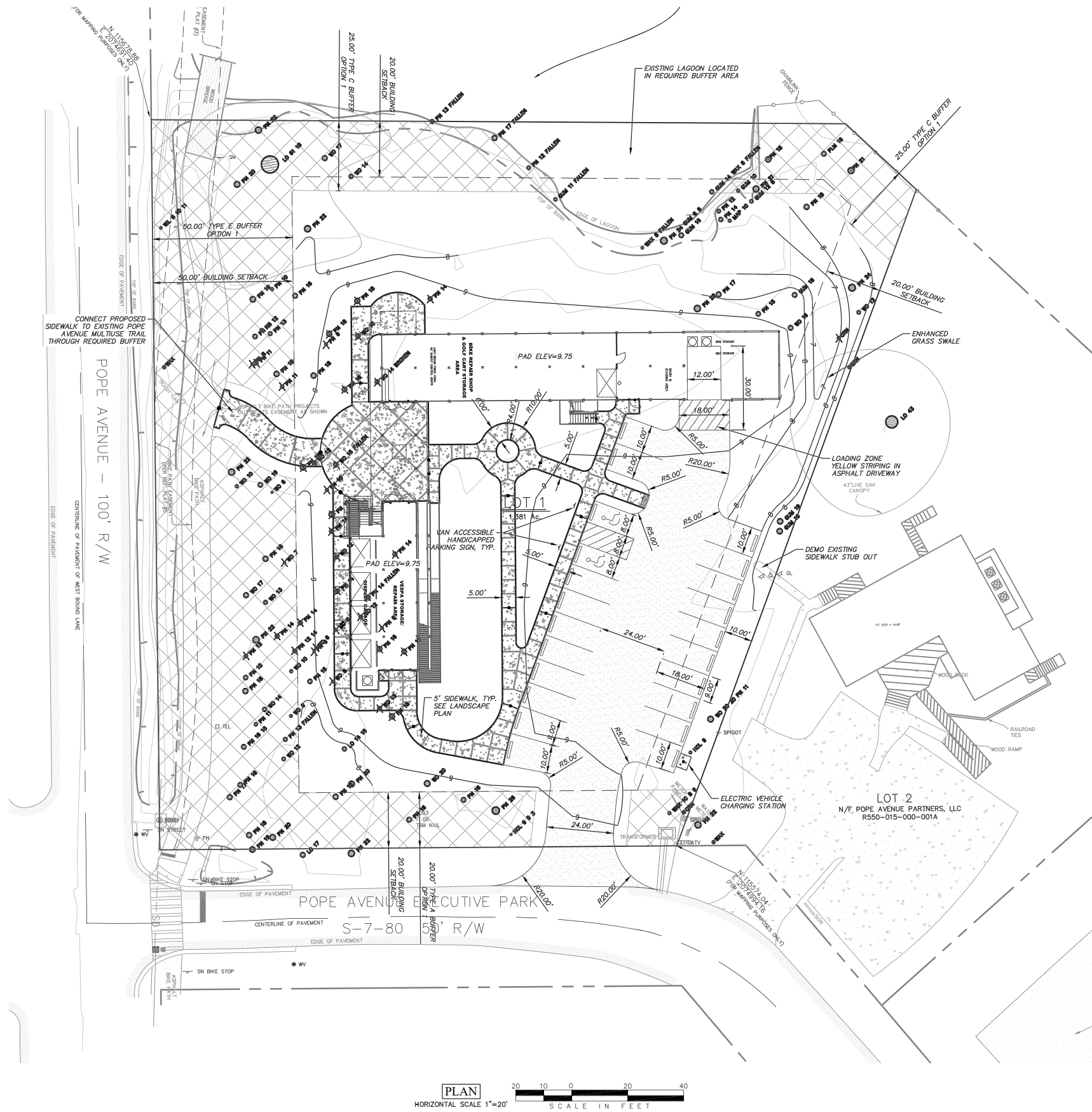
- Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot.
- Footcandle values are initial. Apply appropriate light loss factors where necessary.







G:\AA-ACTIVE\_JOB\_FILES\2017-0423 - ELITE RENTAL FACILITY\AC-DRAWINGS\Civil\20170423\_DVDWG 12/20/2017 4:15 PM



**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF HILTON HEAD ISLAND, SCDOT, AND SCDHEC STANDARDS AND SPECIFICATIONS TOGETHER WITH THE PROJECT SPECIFICATIONS & THESE PLANS.
2. CERTIFIED FLAGGERS AND/OR ARROW BOARDS WILL BE REQUIRED TO MAINTAIN TRAFFIC CONTROL WHILE WORKING WITHIN THE LIMITS OF PUBLIC OR PRIVATE ROADWAYS.
3. DATE OF SURVEY - BOUNDARY, AS-BUILT, TREE AND TOPOGRAPHIC SURVEY COMPLETED BY SURVEYING CONSULTANTS ON MAY 11, 2017.
4. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT PREVIOUSLY UNKNOWN HISTORICAL OR ARCHEOLOGICAL SITES ARE DISCOVERED DURING CONSTRUCTION. NO ADDITIONAL WORK IN SUCH AREAS WILL BE ALLOWED UNTIL AUTHORIZED.
5. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE DESIGNATED CONSTRUCTION AREAS, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
6. CONTRACTOR IS TO CLEAN ALL STORMWATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
7. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE.
8. DISTURBANCE TO ANY SURVEY MARKERS OR MONUMENTS REQUIRES RE-ESTABLISHMENT BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE AND MATERIAL OF ANY EXISTING UTILITY & STORM FACILITIES ASSOCIATED WITH THIS PROJECT.
10. APPROVAL IS FOR THE IMPROVEMENTS SHOWN ON THE PLAN, AND ANY VARIATION FROM THE APPROVED PLAN MUST BE APPROVED BY THE TOWN ENGINEER.
11. OWNER/DEVELOPER: ELITE RESORT GROUP, INC.
12. ACCORDING TO FEMA FIRM PANEL 450250, PANEL 9D, DATED SEPTEMBER 29, 1986, THIS PROJECT IS LOCATED WITHIN FLOOD ZONE A7 WITH A BASE FLOOD ELEVATION OF 14.0'.
13. NEAREST RECEIVING BODY OF WATER IS AN UNNAMED TRIBUTARY TO FISH HAUL CREEK.
14. NO WETLANDS OR WATERS OF THE STATE ARE TO BE DISTURBED OR IMPACTED DURING CONSTRUCTION OF THIS PROJECT.
15. BEFORE ANY CLEARING, TREE REMOVAL, SOIL REMOVAL OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE THE REQUIRED EROSION CONTROL FENCE HAS BEEN INSTALLED CORRECTLY. PLEASE CONTACT ANNE CYRAN, SENIOR PLANNER, AT 843-334-4897 OR AT [anne@hiltonheadplanning.com](mailto:anne@hiltonheadplanning.com) TO SCHEDULE THE PRE-CLEAR INSPECTION. PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.

**PARKING AND SITE DATA**

1. TOTAL SITE AREA	1.38 AC
2. REQUIRED PARKING	22
PARKING REQUIRED	1
HANDICAP PARKING REQUIRED	1
ELECTRIC VEHICLE CHARGING STATION REQUIRED	1
3. PROVIDED PARKING	22
PARKING PROVIDED	2
HANDICAP PARKING PROVIDED	1
ELECTRIC VEHICLE CHARGING STATION PROVIDED	1
4. IMPERVIOUS AREA:	
EXISTING:	0.46 ACRES
PROPOSED:	0.43 ACRES
5. PERVIOUS AREA:	
EXISTING:	0.92 ACRES
PROPOSED:	0.95 ACRES
6. PROPOSED IMPERVIOUS AREA PERCENTAGE	31%

**LEGEND**

NEW ASPHALT PAVING	
NEW CONCRETE SIDEWALK	
REQUIRED BUFFER	
NEW PARKING LOT STRIPING	
BUILDING SETBACK	

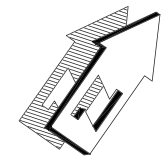
PREPARED BY  
**Cranston Engineering Group, P.C.**  
 ENGINEERS - PLANNERS - SURVEYORS  
 635 ELLIS STREET, AUGUSTA, GEORGIA, 30601  
 POST OFFICE BOX 246, AUGUSTA, GEORGIA, 30608  
 TELEPHONE 706-728-1858  
 FACSIMILE 706-728-8179  
[info@cranstonengineering.com](mailto:info@cranstonengineering.com)

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

REV #	DATE	DESCRIPTION

**ELITE RESORT GROUP RENTAL FACILITY**  
**SITE PLAN**

DRAWN BY:	AJB
CHECKED BY:	MER
APPROVED BY:	MER
DATE:	12/18/2017
SCALE:	1" = 20'
JOB No.	2017-0423
DRAWING No.	C5.0

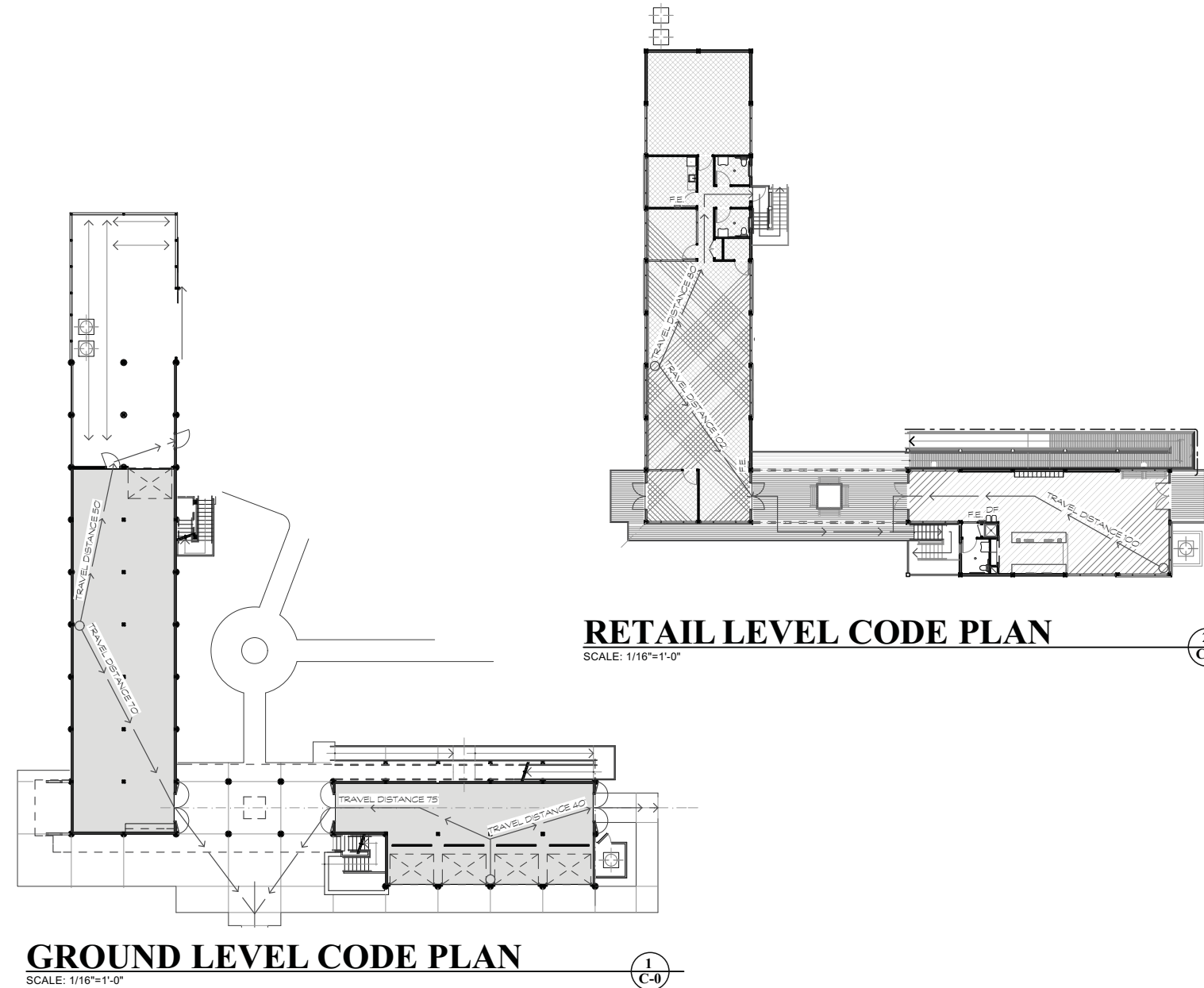


# INDEX OF DRAWINGS:

## ARCHITECTURAL:

- C-0 TITLE SHEET
- A-1 GROUND LEVEL PLAN
- A-2 RETAIL LEVEL PLAN
- A-3 ROOF PLAN
- A-4 REFLECTED CEILING PLANS
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 BUILDING SECTIONS
- A-8 EXTERIOR STAIRS AND RAMP PLANS
- A-9 WALL SECTIONS
- A-10 WALL SECTIONS
- A-11 WALL SECTIONS
- A-12 COLOR BOARD

# CODE REVIEW PLANS:



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A Bike Rental & Office Facility For:  
**Port Royal Investment Company, LLC**  
#1 Executive Park Road  
Hilton Head Island, S.C.

# CODE ANALYSIS:

## SCOPE OF WORK:

THIS PROJECT CONSISTS OF BIKE, GOLF CART, AND VESPA RENTAL FACILITY ALONG WITH AN OFFICE SPACE. AT GROUND LEVEL THERE WILL BE STORAGE AND REPAIR AREA FOR THE VEHICLES.

## OCCUPANCY KEY

STORAGE	
MERCANTILE	
BUSINESS	

## OCCUPANCY CALCULATIONS

EXISTING USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
<b>GROUND LEVEL</b>			
S-1 VESPA STORAGE	300 GROSS	1,230	4
S-2 GOLF CART STORAGE	300 GROSS	1,930	7
<b>TOTAL</b>			<b>11</b>
<b>RETAIL LEVEL</b>			
MERCANTILE	60 GROSS	1,230	21
BUSINESS	100 GROSS	2,530	26
<b>TOTAL</b>			<b>47</b>
<b>TOTAL BOTH FLOORS</b>			<b>58</b>

# PROJECT TEAM

## ARCHITECT:

PARKER DESIGN GROUP/ ARCHITECTS  
10 PALMETTO BUSINESS PARK SUITE 201  
HILTON HEAD, SC 29928  
843-785-5171  
EMAIL: TPROBST@HARGRAY.COM

## STRUCTURAL:

CRANSTON ENGINEERING GROUP  
14 WESTBURY PARK WAY SUITE 202  
BLUFFTON, SC 29910  
843-815-3191  
EMAIL: JEAVENTSON@CRANSTONENGINEERING.COM

## MECH., ELECTRICAL, PLUMBING:

CDDC  
PO BOX 2869  
BLUFFTON, SC 29910  
PHONE: 843-384-4731  
EMAIL: RYAN@CDDCENG.COM

## DESCRIPTION:

3 STORY WOOD FRAMED BUILDING ON SLAB ON GRADE. SOING IS TO BE CEMENT BOARD WITH METAL STANDING ROOF.

Design Criteria for Code Compliance as of: IBC 2015

Occupancy: MERCANTILE/ BUSINESS/ STORAGE

Type of Construction: 5 Protected/Unprotected

Sprinkler: YES

## TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	WITH SPRINKLER ALLOWED	MAX DISTANCE
STORAGE	200 FEET	
MERCANTILE	200 FEET	100 FEET
BUSINESS	200 FEET	

## ALLOWABLE HEIGHTS (Table 504.3 AND 504.4):

	Actual	Allowed
Building Height Above Grade:	41'-0"	60'-0"
Building Height in Stories:	2	2

## PLUMBING CALCULATION

OCCUPANCY	TOTAL	MALE WATERCLOSET REQUIRED	MALE WATERCLOSET PROVIDED	FEMALE WATERCLOSET REQUIRED	FEMALE WATERCLOSET PROVIDED	MALE LAV. REQUIRED	MALE LAV. PROVIDED	FEMALE LAV. REQUIRED	FEMALE LAV. PROVIDED	D.F. REQ.	D.F. PROVIDED	MOP SINK REQ.	MOP SINK PROVIDED
STORAGE	11	.1		.1		.1		.1		.1			
MERCANTILE	21	.1		.1		.1		.1		.1			
BUSINESS	26	.5		.5		.3		.3		.1			
<b>TOTAL</b>		.7	1.5	.7	1.5	.5	1.5	.5	1.5	.3	2	1	1

## ALLOWABLE BUILDING AREAS (Table 506.2):

Building Floor Areas:	Actual	Allowed
<b>GROUND LEVEL</b>		
S-1 VESPA STOR.	1,230 sqft	27,000 sqft
S-2 GOLF CART STOR.	1,930 sqft	40,500 sqft
<b>Total</b>	3,160 sqft	
<b>RETAIL LEVEL</b>		
MERCANTILE	1,230 sqft	27,000 sqft
BUSINESS	2,530 sqft	27,000 sqft
<b>Total</b>	3,760 sqft	

## REVISIONS

REVISIONS	DATE

## DRAWN BY

TP

## CHECKED BY

## DATE OF ISSUE:

11/06/17

## SCALE

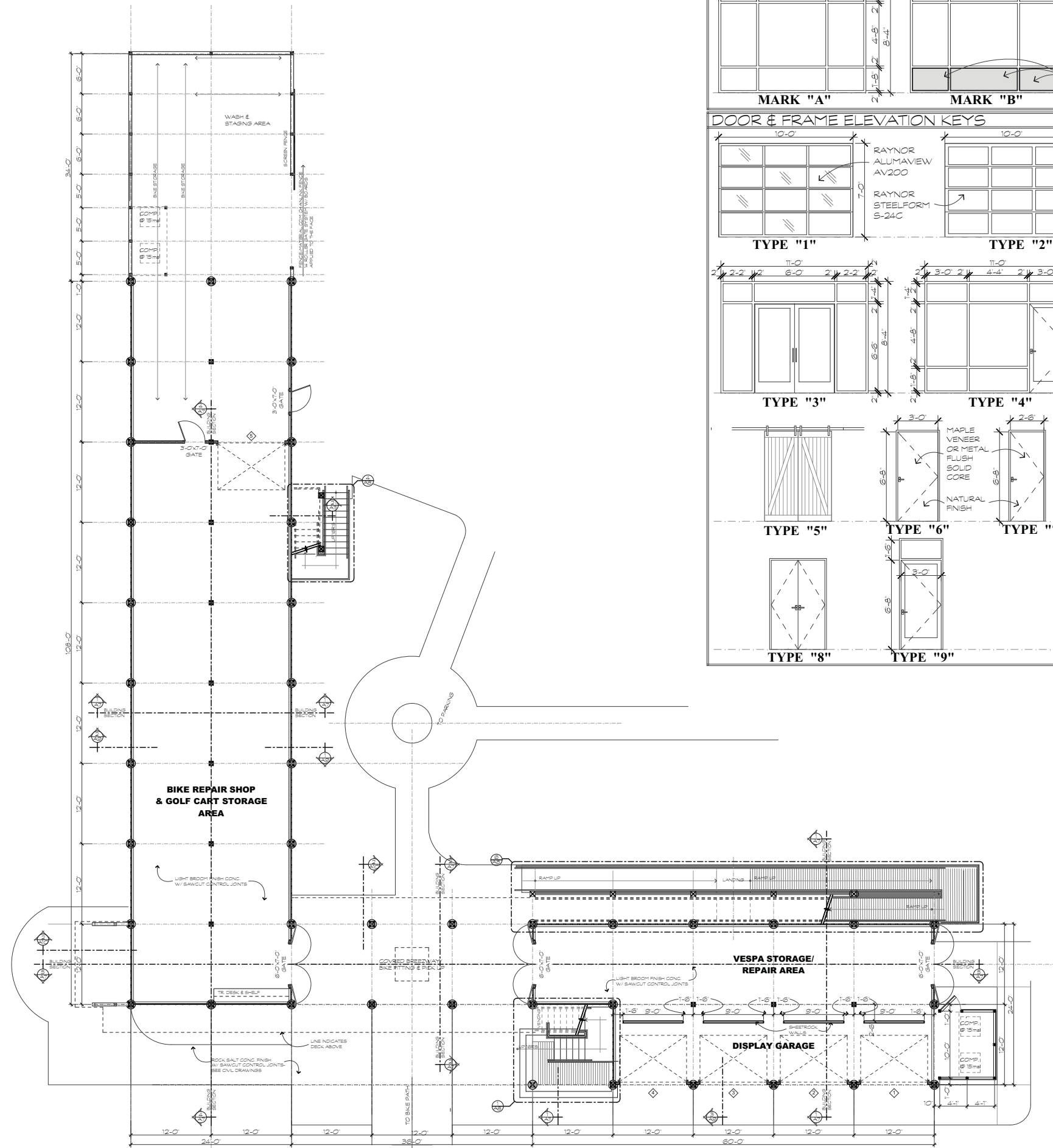
## JOB NO.

17xx

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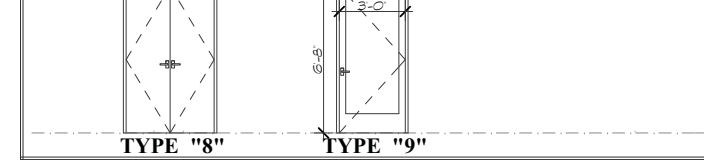
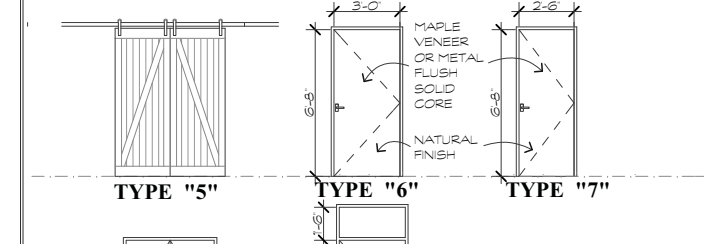
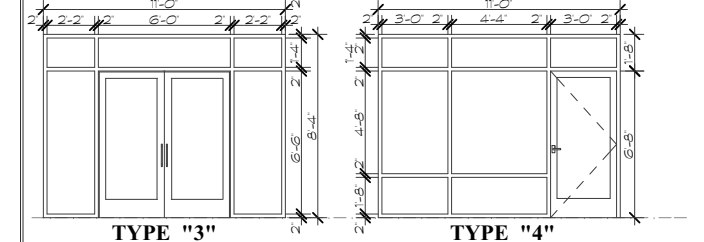
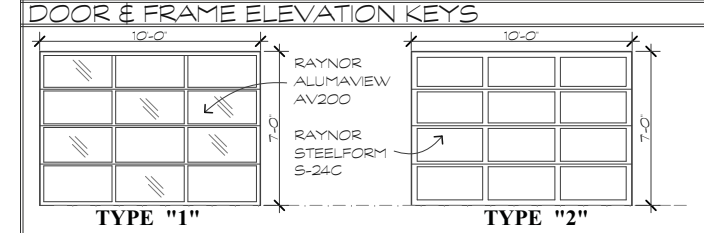
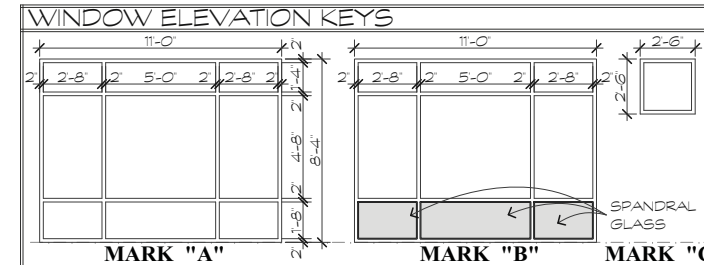
C.0

OF SHEETS



**GROUND LEVEL PLAN**  
SCALE: 1/8"=1'-0"

1  
A.1



**WINDOW SCHEDULE**

NOTES:  
1. ALL WINDOWS TO BE 2x4 ALUM. STOREFRONT W/ 1/8" LAMINATED LOW E GLASS  
2. SEE ELEVATIONS FOR DP RATINGS

MARK	TYPE	MFG. NUMBER	SIZE	REMARKS
A	STOREFRONT		11-0x8-4"	
B	STOREFRONT		11-0x8-4"	
C	STOREFRONT		2-6x2-6"	

**DOOR & FRAME SCHEDULE**

NOTE:  
1. SEE ELEVATIONS FOR DP RATINGS OF EXTERIOR DOORS.

MARK	DOOR			MATERIAL / FINISH	HARDWARE MARK	FRAME MAT.	JAMB DEPTH	FIRE RATING	REMARKS
	SIZE	W	H						
GROUND LEVEL									
1	10-0	7-0		ALUM.	1	1	METAL	NA	
2	10-0	7-0		ALUM.	1	1	METAL	NA	
3	10-0	7-0		ALUM.	1	1	METAL	NA	
4	10-0	7-0		ALUM.	1	1	METAL	NA	
5	10-0	7-0		METAL	2	1	METAL	NA	
RETAIL LEVEL									
6	6-0	6-8		ALUM.	3	2	ALUM.	NA	
7	5-0	6-8	13/4"	WOOD	5			NA	
8	3-0	6-8	13/4"	WOOD	2	3	METAL	NA	
9	2-6	6-8	13/4"	WOOD	6	4	METAL	NA	
10	6-0	6-8		ALUM.	3	2	ALUM.	NA	
11	6-0	6-8		ALUM.	3	2	ALUM.	NA	
12	6-0	6-8		ALUM.	3	2	ALUM.	NA	
13	3-0	6-8	13/4"	WOOD	4	2	METAL	NA	
14	3-0	6-8	13/4"	WOOD	5	4	METAL	NA	
15	4-0	6-8	13/4"	WOOD	8	4	METAL	NA	
16	3-0	6-8	13/4"	WOOD	4	2	METAL	NA	
17	3-0	6-8	13/4"	WOOD	6	3	METAL	NA	
18	3-0	6-8	13/4"	WOOD	6	5	METAL	NA	
19	3-0	6-8	13/4"	WOOD	6	5	METAL	NA	
20	3-0	6-8	13/4"	WOOD	6	3	METAL	NA	
21	3-0	6-8		ALUM.	9	2	ALUM.	NA	

**HARDWARE SCHEDULE**

NOTES:  
1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW  
2. ALL FINISHES TO BE 626

MARK	TYPE	MFG.	MFG. NUMBER	REMARKS
1	ROLL UP DOOR			
2	ENTRANCE LOCK	SCHLAGE	AL 50 PD	
3	BATHROOM LOCK	SCHLAGE	AL 40 PD	
4	STOREROOM LOCK	SCHLAGE	AL 80 PD	
5	PASSAGE LOCK	SCHLAGE	AL 10 PD	

**FINISH SCHEDULE**

NOTES:  
1. SUBMIT FULL HARDWARE SCHEDULE FOR REVIEW  
2. ALL FINISHES TO BE 626

ROOM NAME	FLOOR		WALL		CEILING		
	Material	Base	Material	Finish	Material	Finish	Height
VESPA STORAGE/ REPAIR	SEALED CONC.	WOOD	WOOD	PAINT	TYPE X GYP.	PAINT	8'-0"
BIKE REPAIR/ GOLF CART STOR.	SEALED CONC.	WOOD	WOOD	PAINT	TYPE X GYP.	PAINT	8'-0"
<b>FIRST FLOOR</b>							
RENTAL OFFICE/ RETAIL	LVT	WOOD	GYP. BD.	PAINT	WOOD	CLEAR	VARIES
REST ROOM	LVT	WOOD	GYP. BD.	EPONY PAINT	GYP. BD.	WHITE	9'-0"
JANITOR	LVT	WOOD	GYP. BD.	EPONY PAINT	GYP. BD.	WHITE	9'-0"
LOBBY	CARPET TILE	WOOD	GYP. BD.	EPONY PAINT	GYP. BD.	WHITE	9'-0"
OPEN OFFICE SPEC SPACE	CARPET TILE	WOOD	GYP. BD.	EPONY PAINT	WOOD	WHITE	9'-0"
OFFICE #1	CARPET TILE	WOOD	GYP. BD.	PAINT	GYP. BD.	CLEAR	VARIES
OFFICE #2	CARPET TILE	WOOD	GYP. BD.	PAINT	GYP. BD.	WHITE	9'-0"
WOMENS	LVT	WOOD	GYP. BD.	EPONY PAINT	GYP. BD.	WHITE	9'-0"
MENS	LVT	WOOD	GYP. BD.	PAINT	GYP. BD.	WHITE	9'-0"
BREAKROOM	LVT	WOOD	GYP. BD.	PAINT	GYP. BD.	WHITE	9'-0"
FLEX SPACE	CARPET TILE	WOOD	GYP. BD.	PAINT	GYP. BD.	WHITE	9'-0"

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**pdg**  
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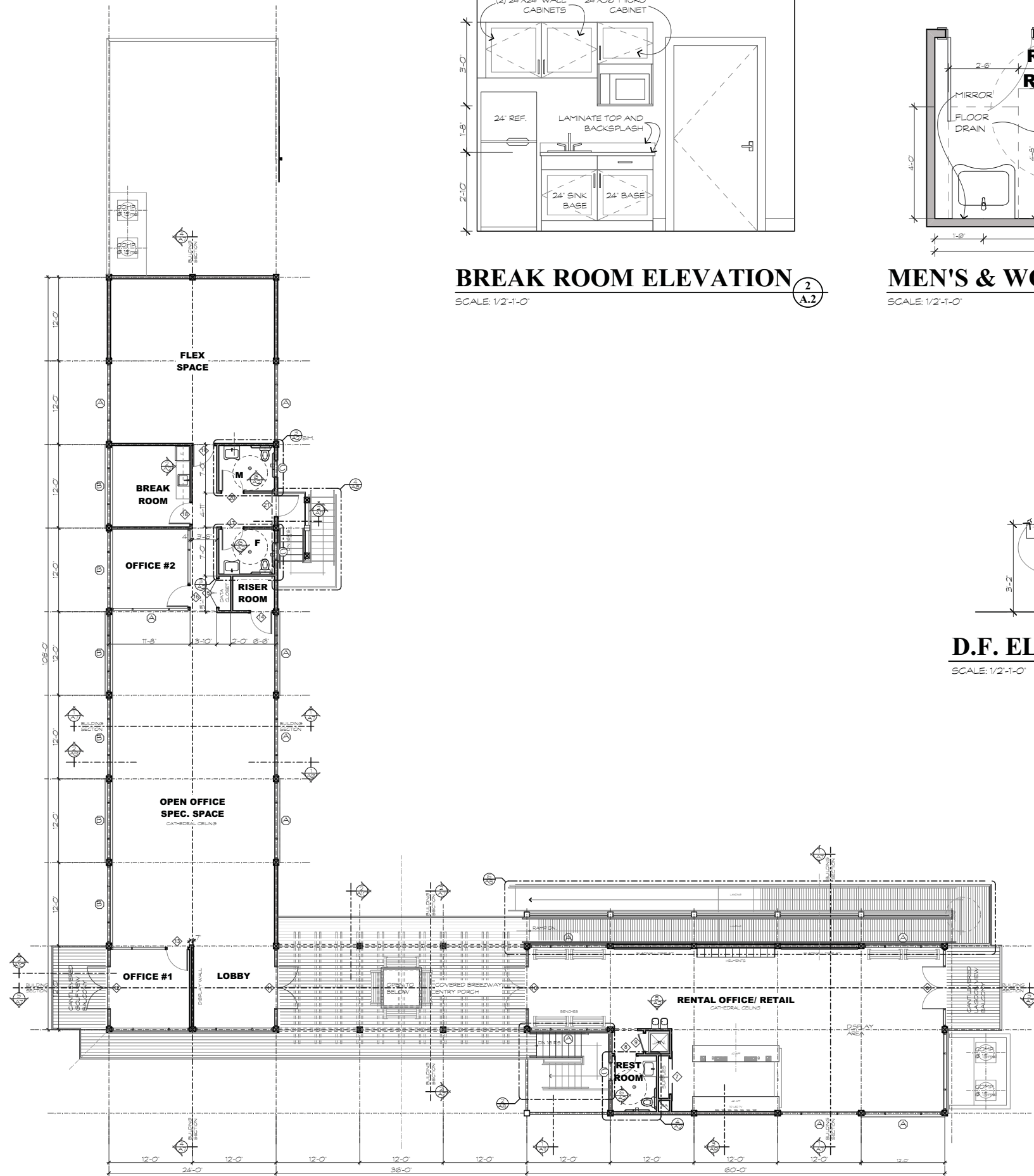
**A Bike Rental & Office Facility For:**  
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 Hilton Head Island, S.C.

REVISIONS	DATE

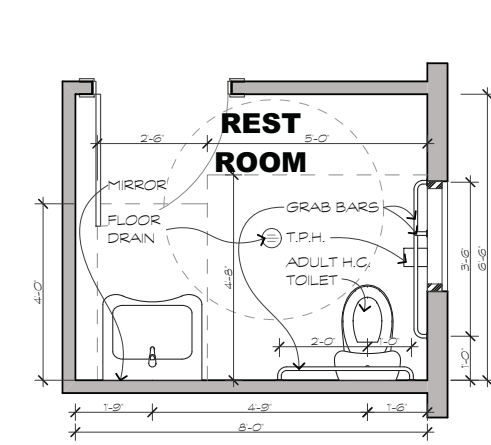
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 SCALE:   
 JOB NO: 17xx  
 SHEET:

A.1

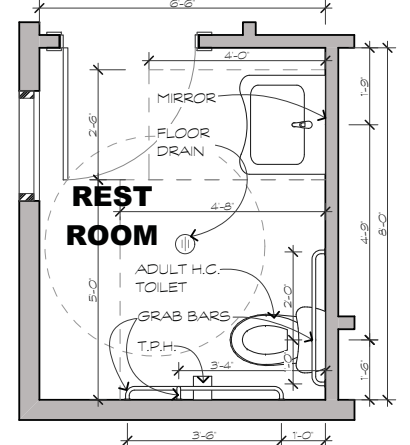
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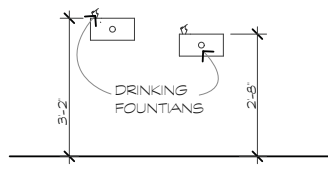
**BREAK ROOM ELEVATION** 2  
SCALE: 1/2-1-0 A.2



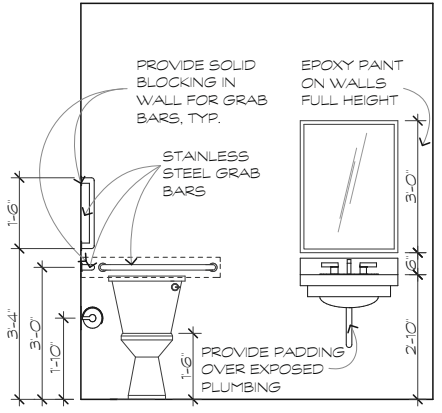
**MEN'S & WOMEN'S PLAN** 3  
SCALE: 1/2-1-0 A.2



**REST ROOM PLAN** 4  
SCALE: 1/2-1-0 A.2



**D.F. ELEVATION** 5  
SCALE: 1/2-1-0 A.2



**REST ROOM ELEV.** 6  
SCALE: 1/2-1-0 A.2

**RETAIL LEVEL PLAN** 1  
SCALE: 1/8-1-0 A.2

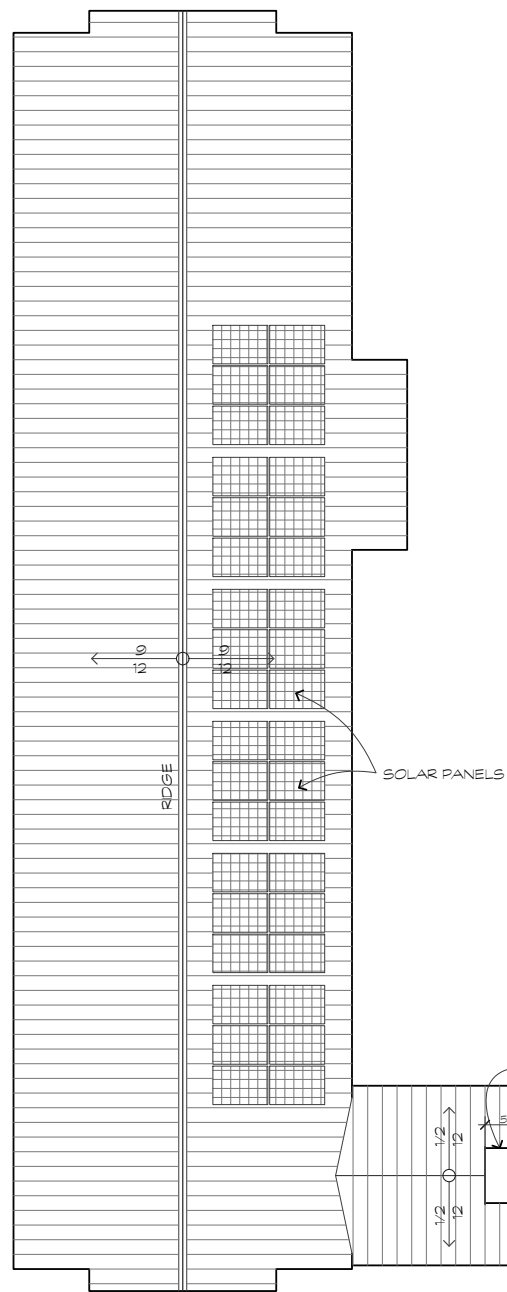
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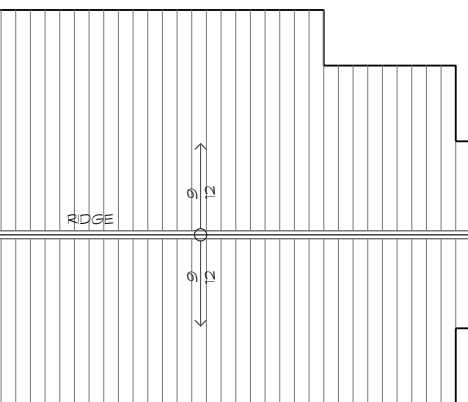




**ROOF PLAN**

SCALE: 1/8"=1'-0"

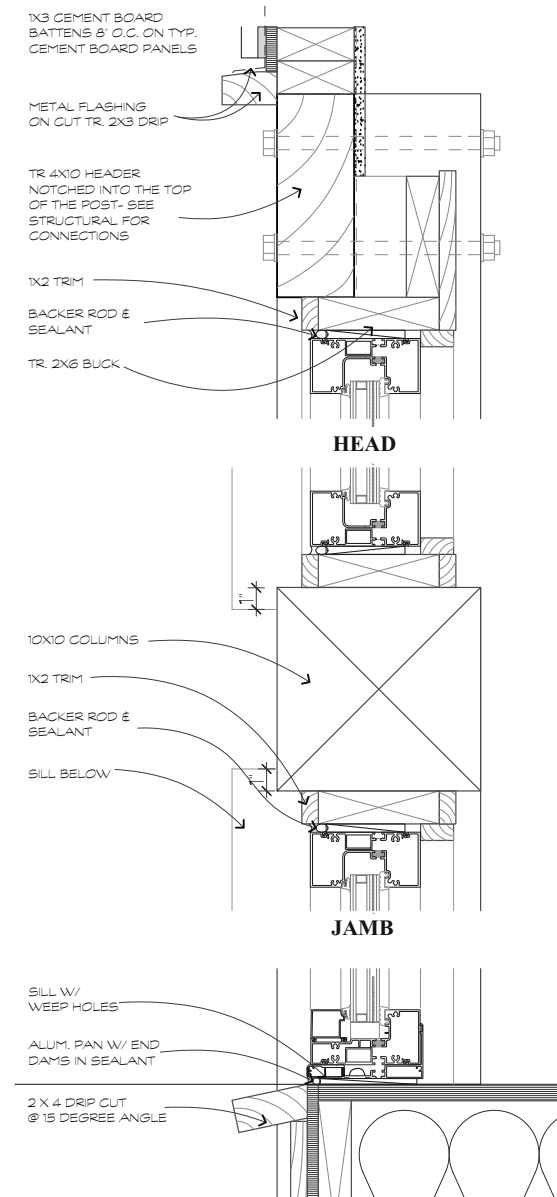
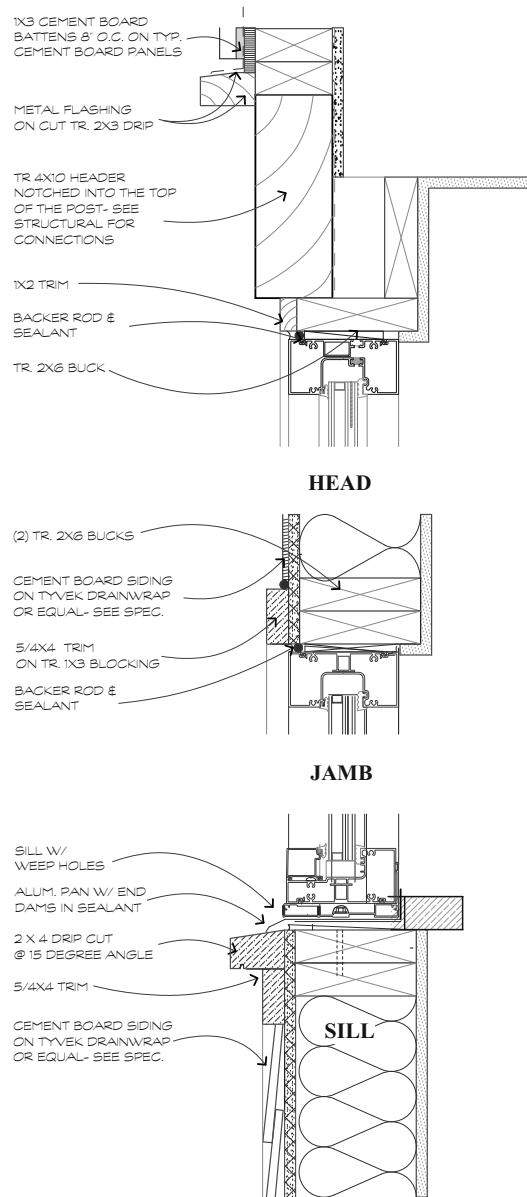
1  
A.3



**TYP. WINDOW DETAIL**

SCALE: 3/4"=1'-0"

2  
A.3



**TYP. WINDOW DETAIL**

SCALE: 3/4"=1'-0"

3  
A.3

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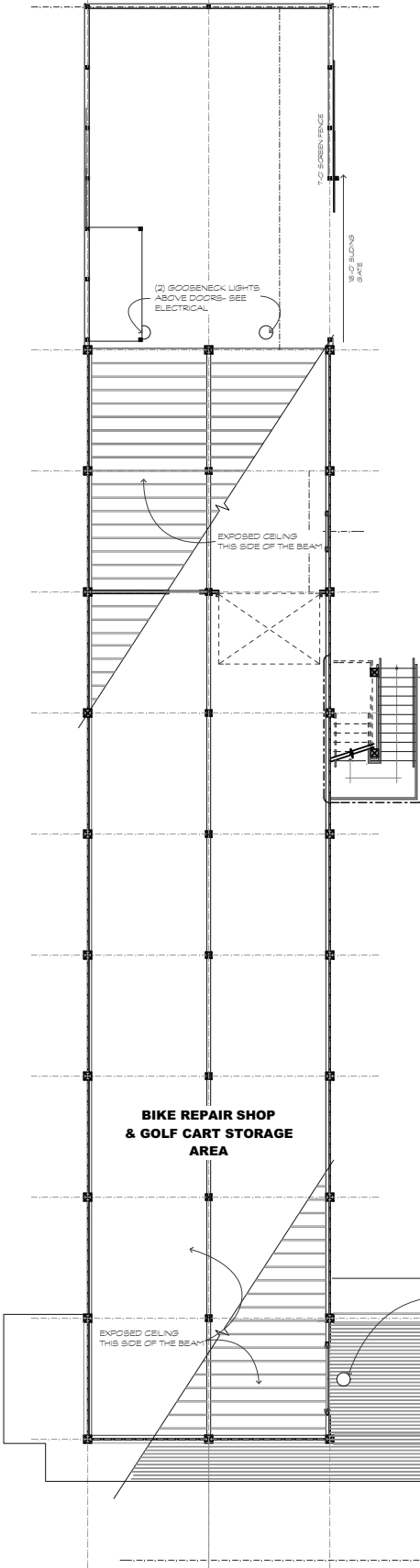
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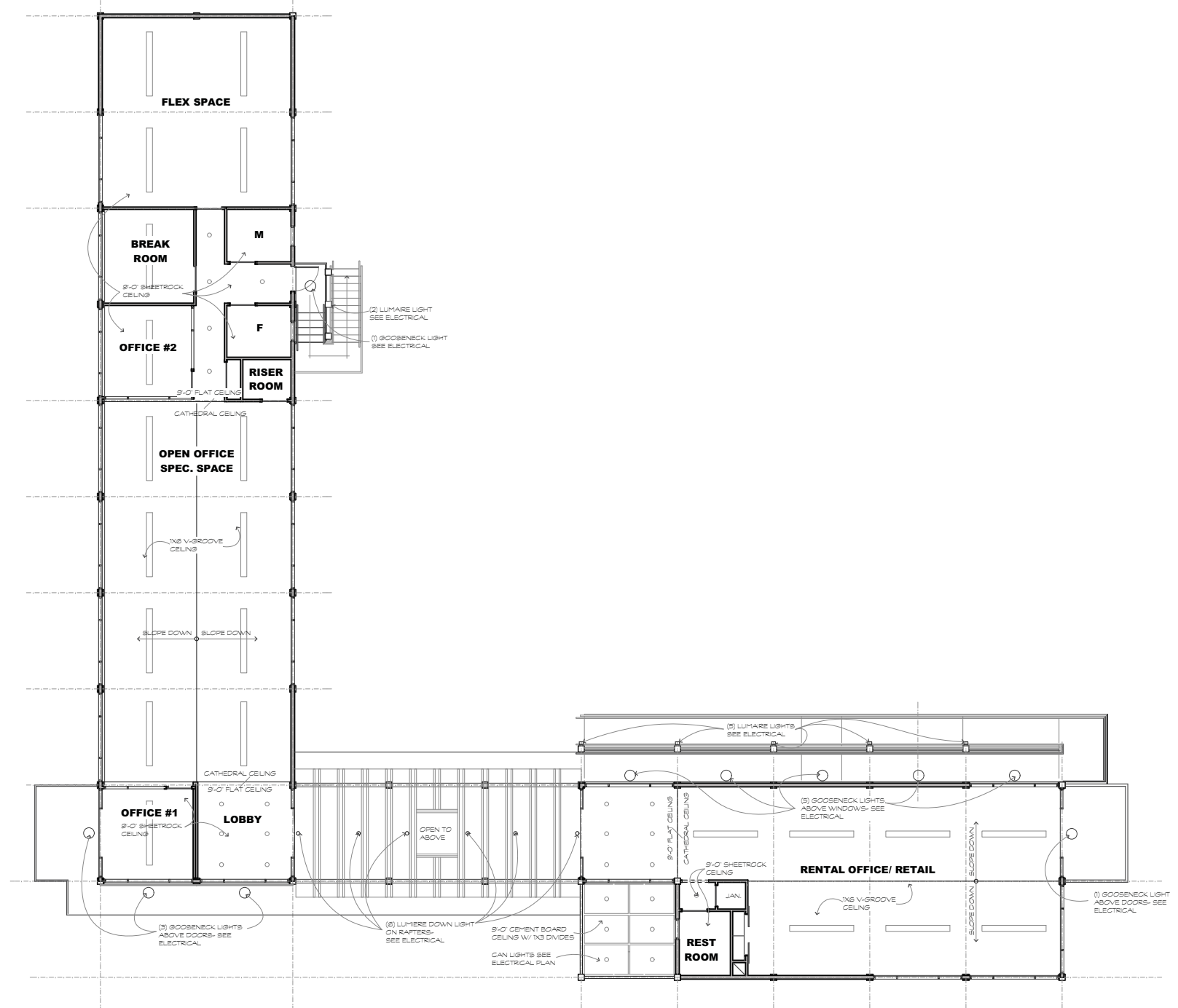
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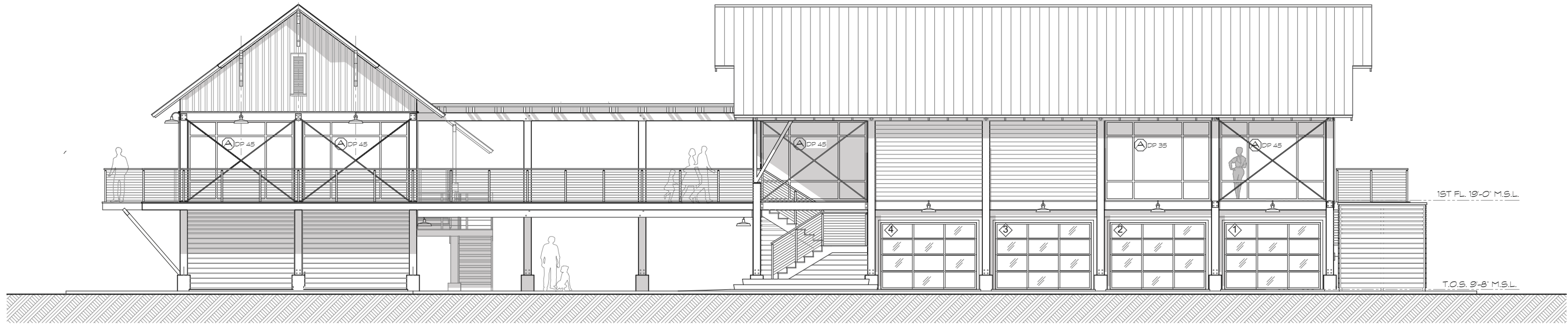
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**RETAIL LEVEL REFLECTED CEILING PLAN** 1  
 SCALE: 1/8"=1'-0" A.4



**RETAIL LEVEL REFLECTED CEILING PLAN** 2  
 SCALE: 1/8"=1'-0" A.4

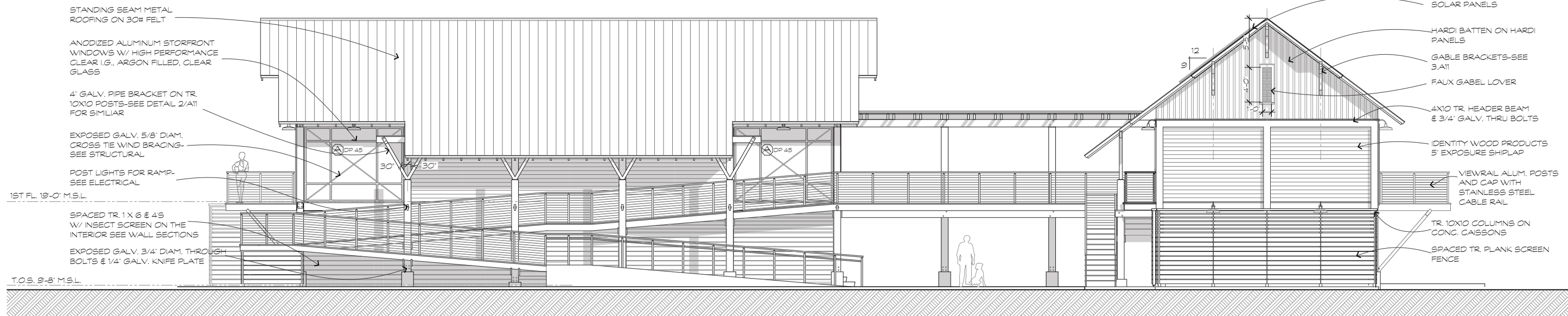


**POPE AVENUE ELEVATION**

SCALE: 3/16" = 1'-0"

1  
A.5

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**PARKING LOT ELEVATION**

SCALE: 3/16" = 1'-0"

2  
A.5

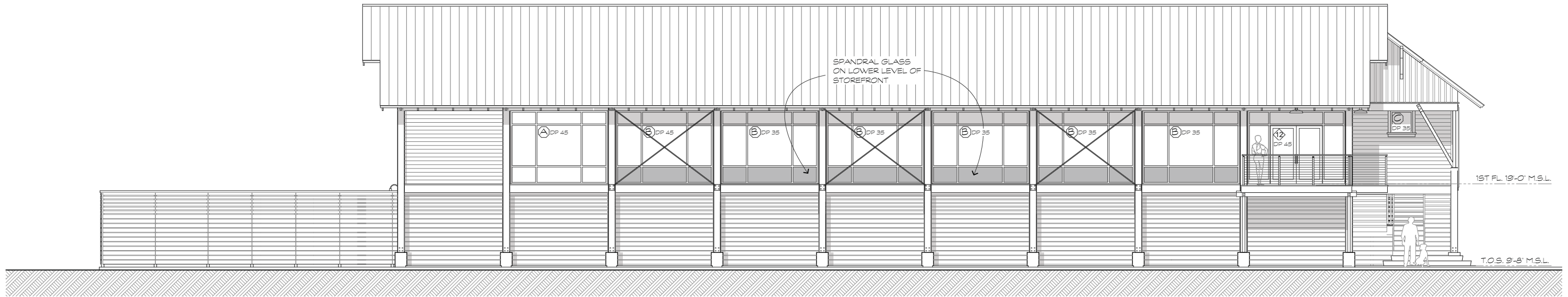
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A.5

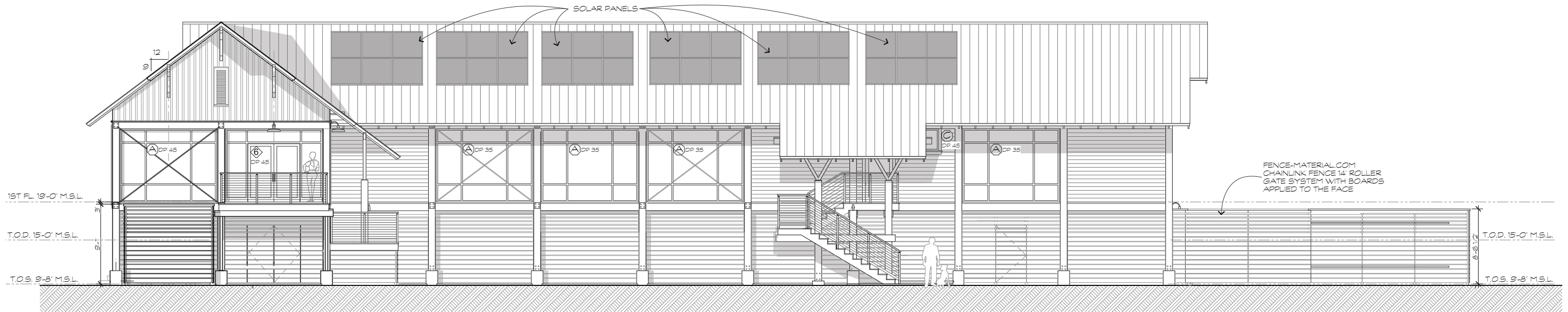
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**LAGOON ELEVATION**

SCALE: 3/16" = 1'-0"

1  
A.6



**POPE EXECUTIVE PARK ELEVATION**

SCALE: 3/16" = 1'-0"

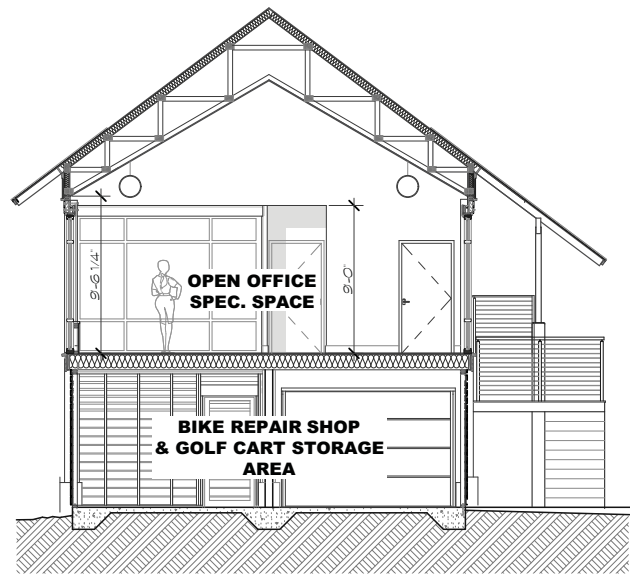
2  
A.6

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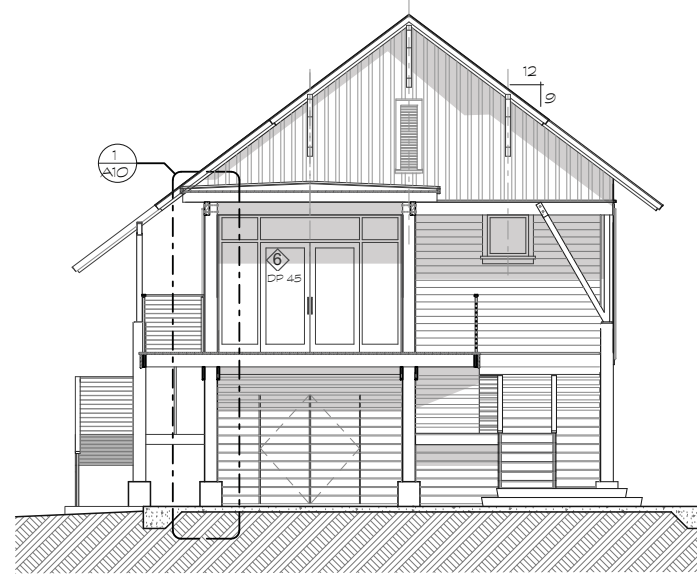
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17xx  
SHEET



**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

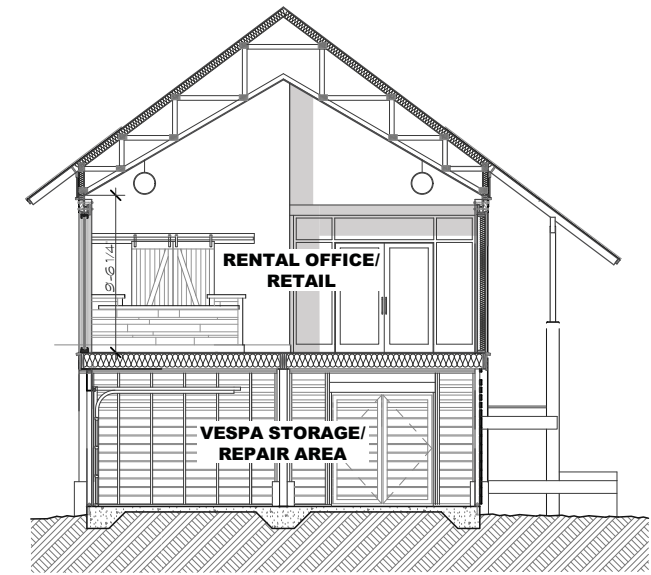
1  
A.7



**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

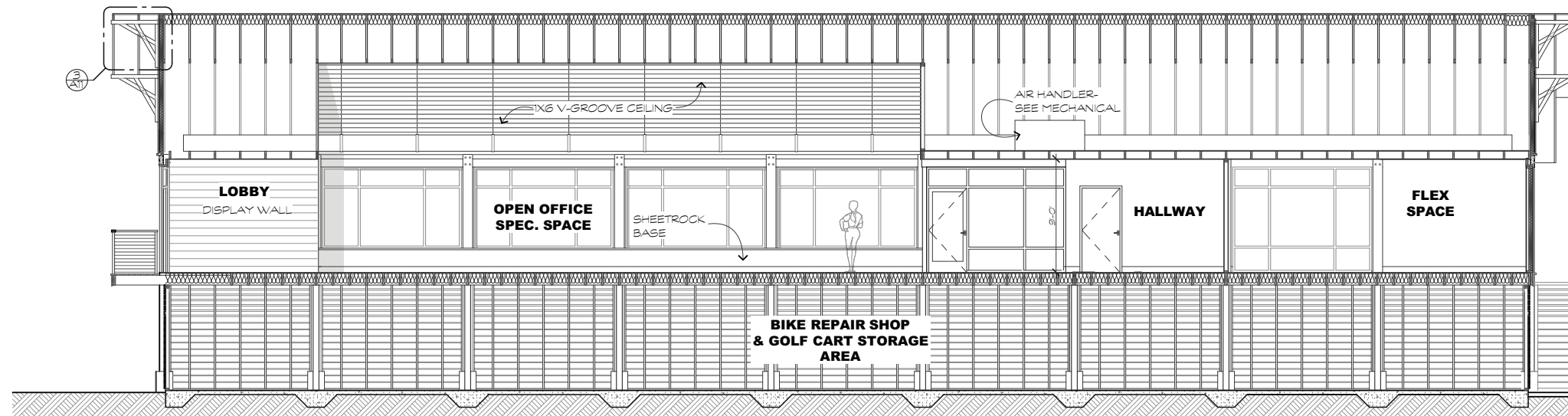
2  
A.7



**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

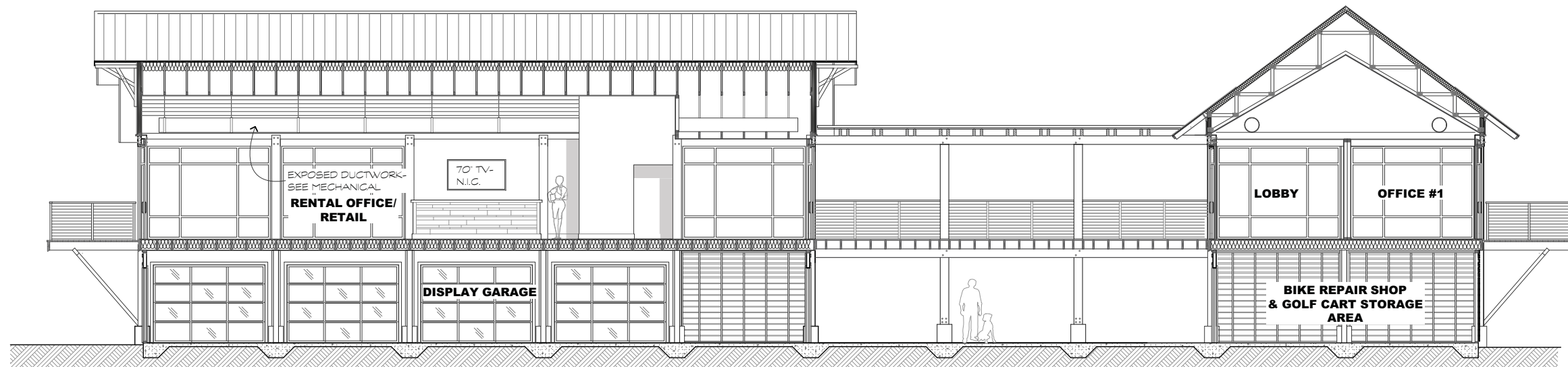
3  
A.7



**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

4  
A.7



**BUILDING SECTION**

SCALE: 3/16" = 1'-0"

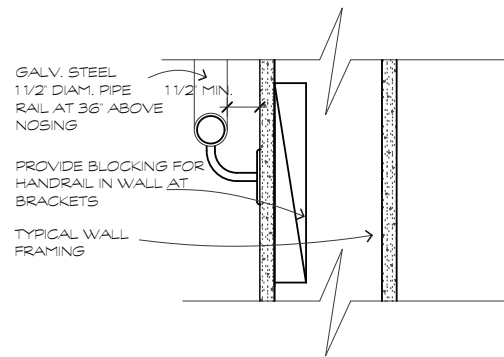
5  
A.7

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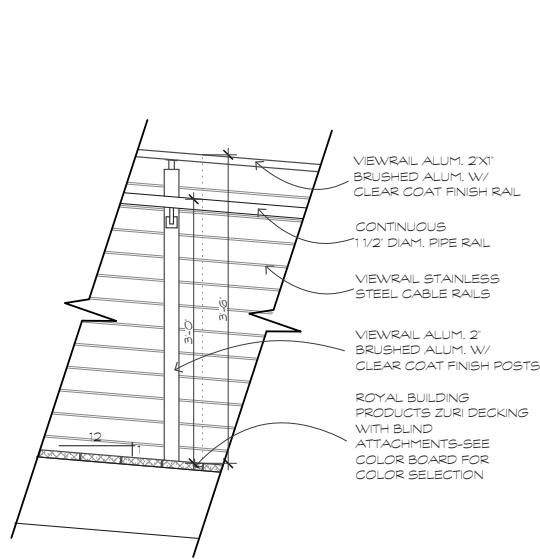
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**HANDRAIL DETAIL**

SCALE: N.T.S.

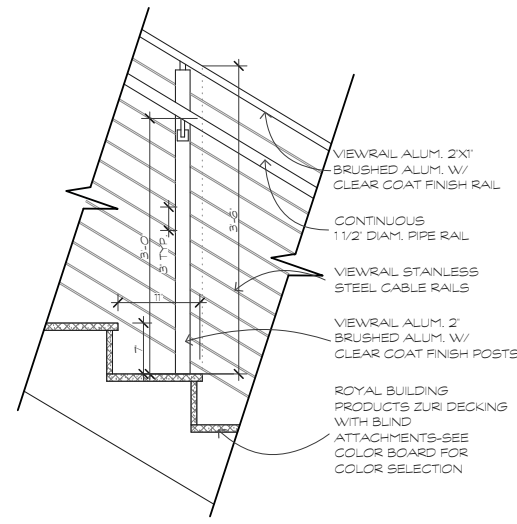
11  
A.8



**RAMP GUARD DETAIL**

SCALE: 1/4"=1'-0"

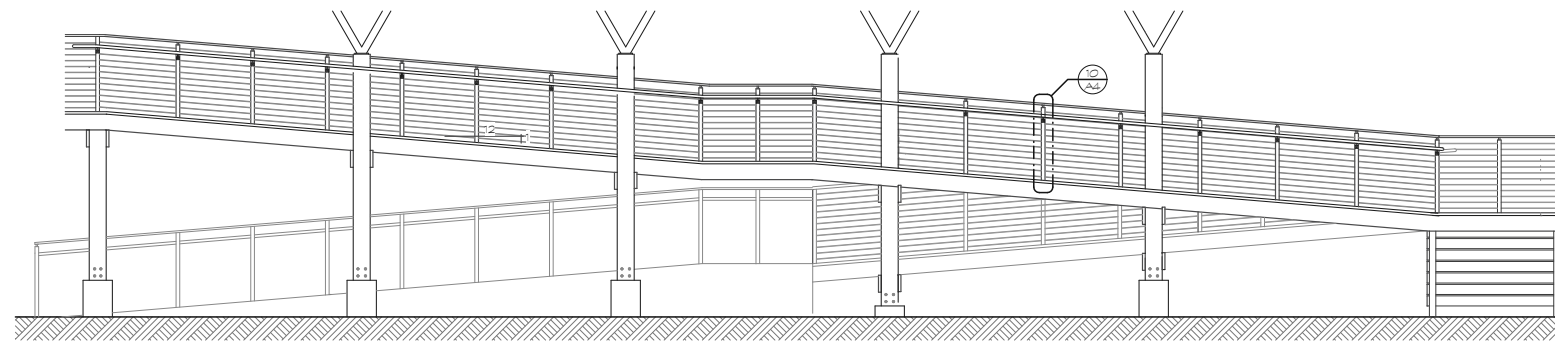
10  
A.8



**STAIR GUARD DETAIL**

SCALE: 1/4"=1'-0"

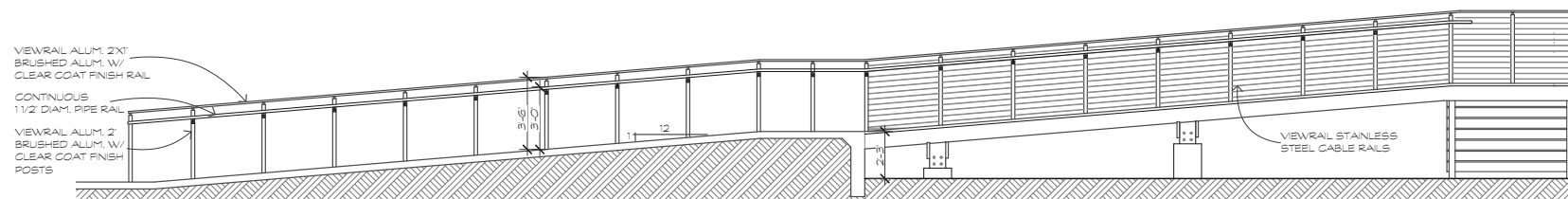
9  
A.8



**RAMP SECTION**

SCALE: 1/4"=1'-0"

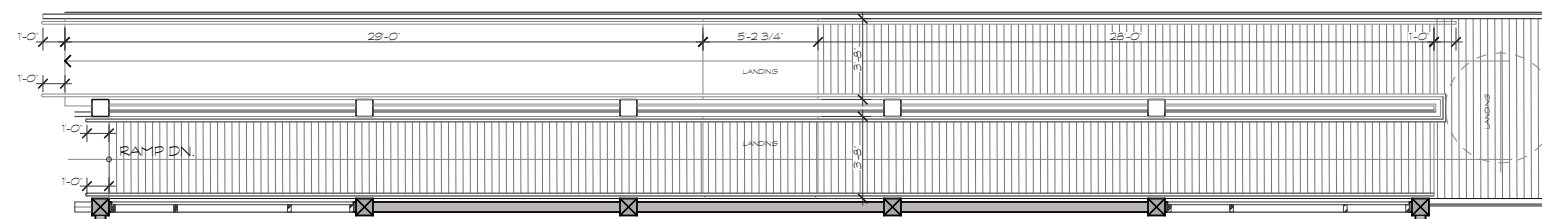
8  
A.8



**RAMP SECTION**

SCALE: 1/4"=1'-0"

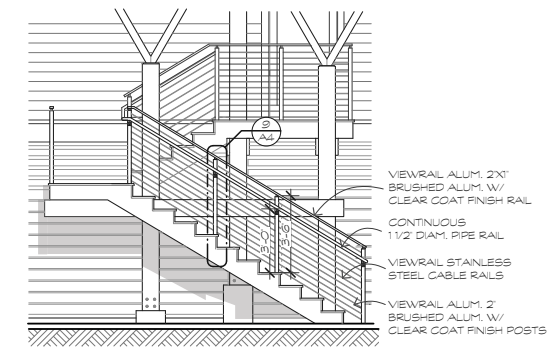
7  
A.8



**RAMP PLAN**

SCALE: 1/4"=1'-0"

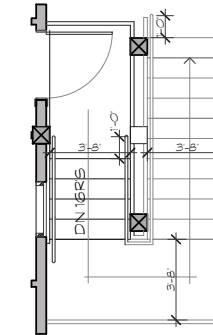
6  
A.8



**STAIR #1 SECTION**

SCALE: 1/4"=1'-0"

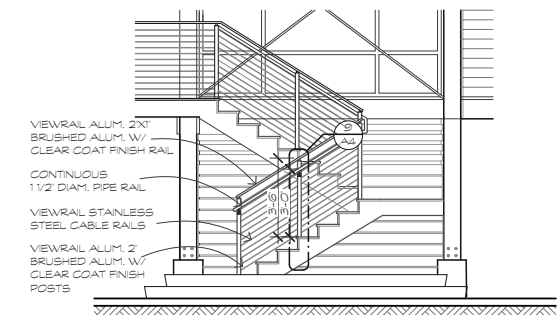
5  
A.8



**STAIR #1 PLAN**

SCALE: 1/4"=1'-0"

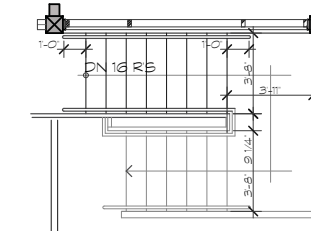
4  
A.8



**STAIR #2 SECTION**

SCALE: 1/4"=1'-0"

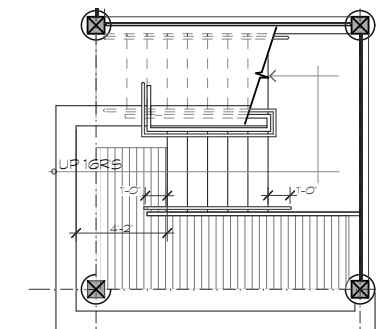
3  
A.8



**STAIR #2 2ND FL. PLAN**

SCALE: 1/4"=1'-0"

2  
A.8



**STAIR #2 1ST FL. PLAN**

SCALE: 1/4"=1'-0"

1  
A.8

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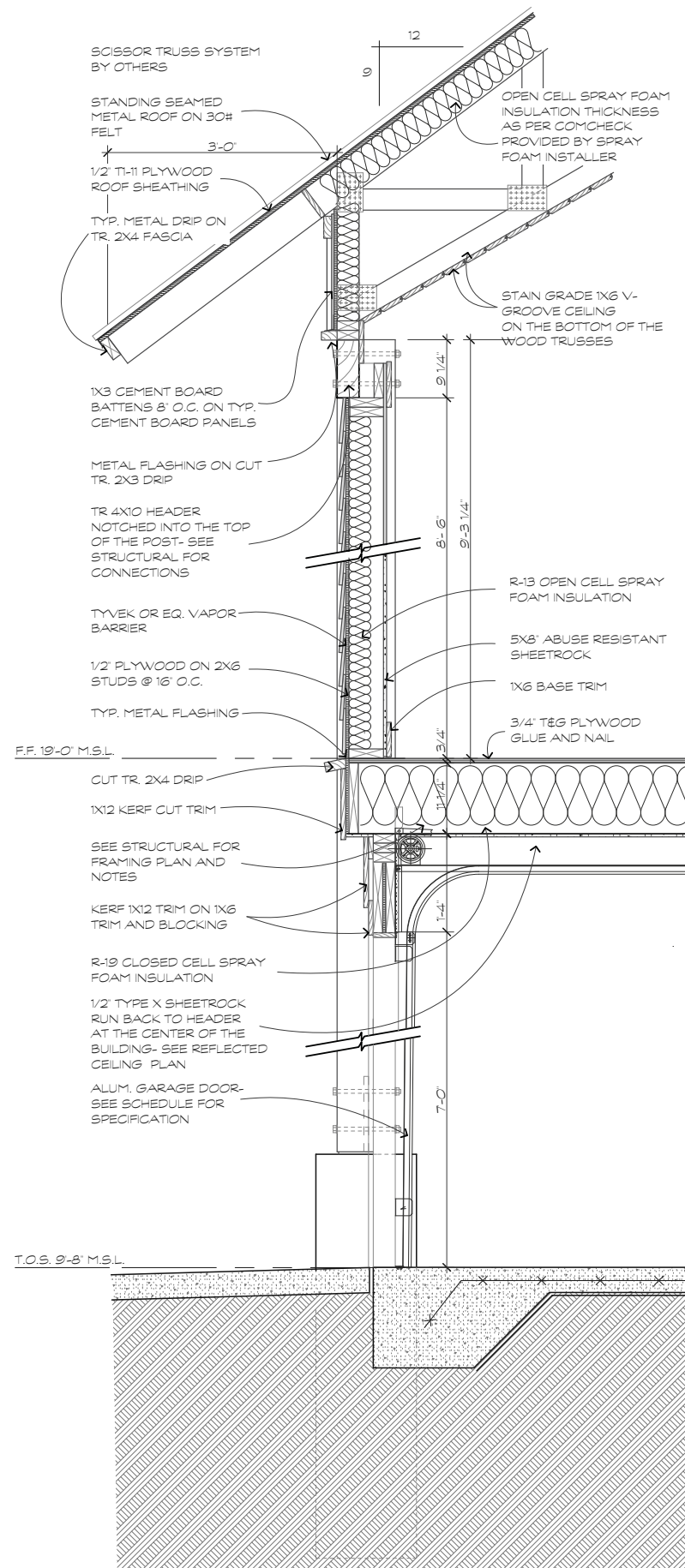
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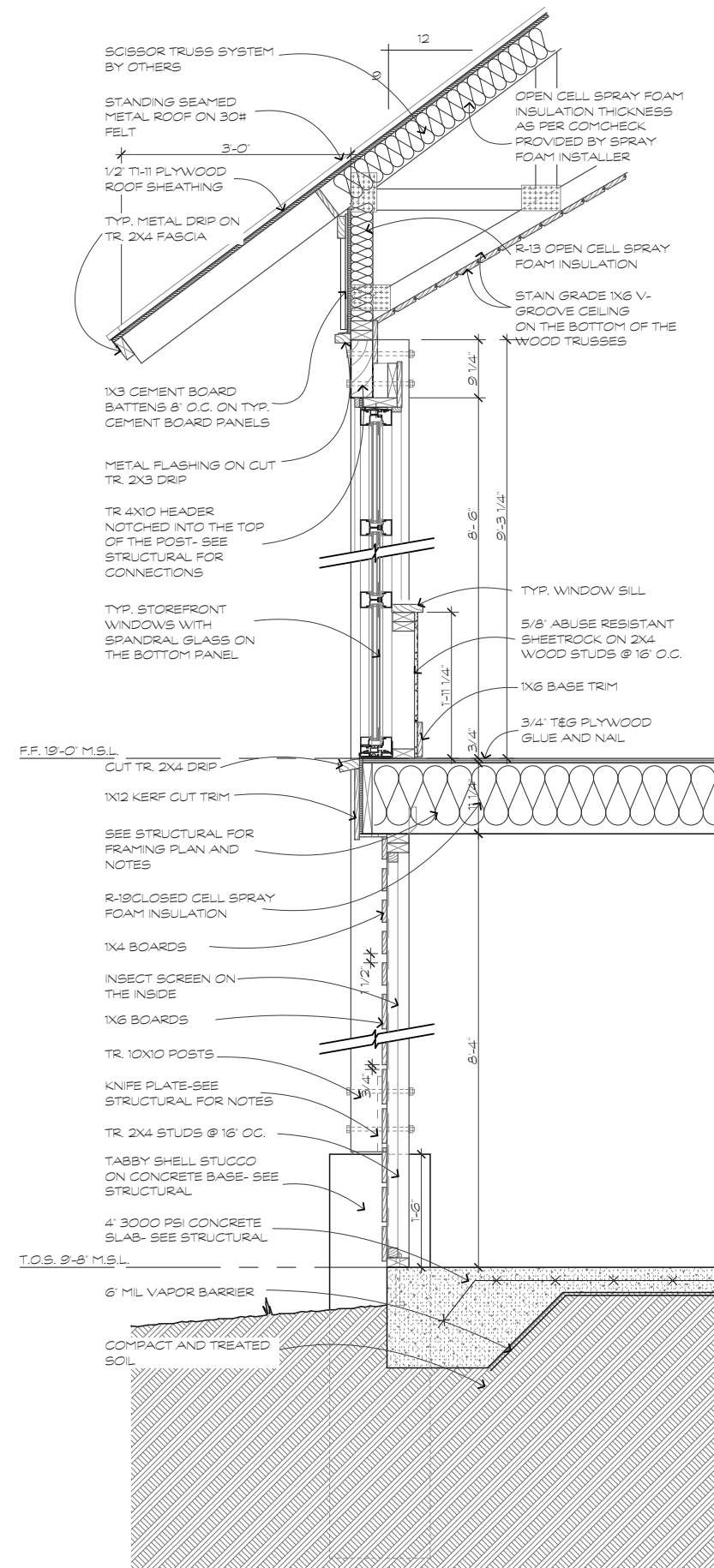
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**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

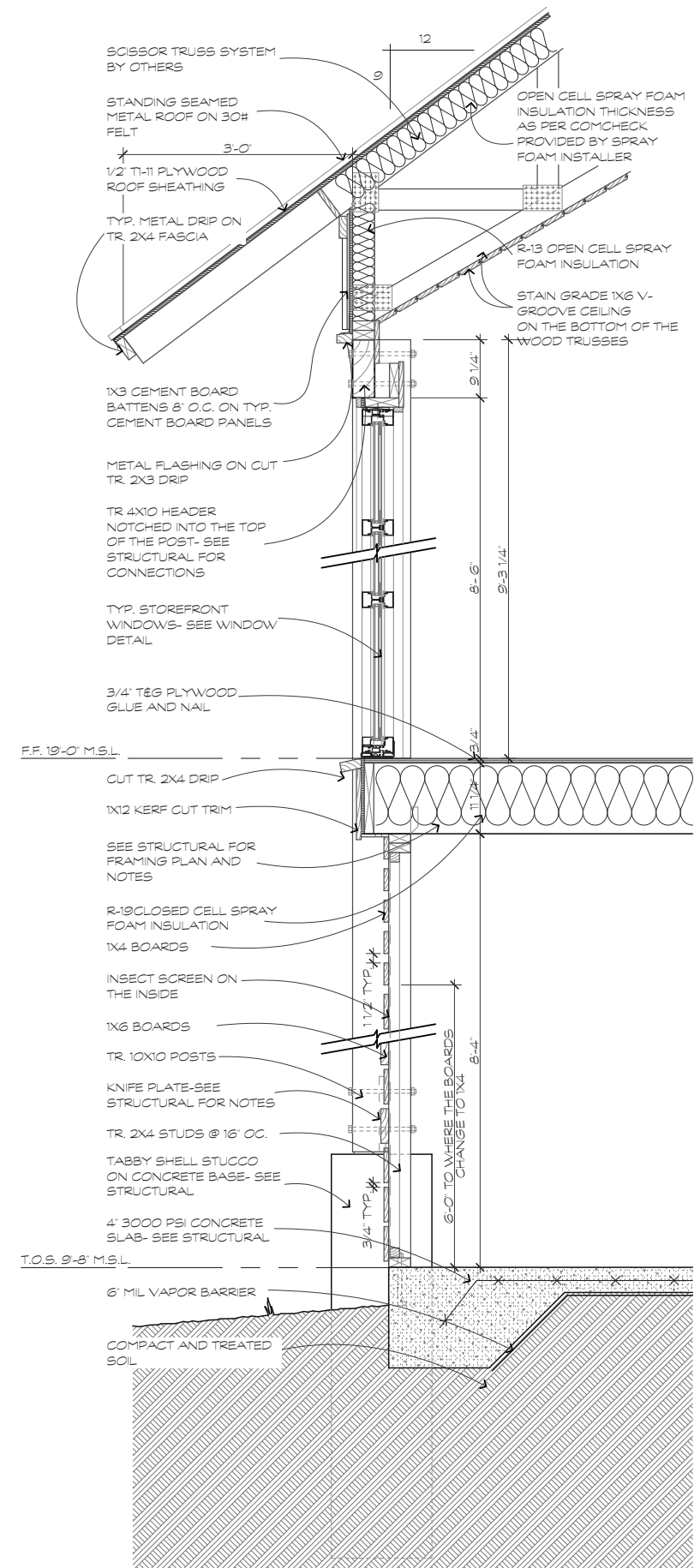
3  
A9



**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

2  
A9



**TYPICAL WALL SECTION**

SCALE: 1" = 1'-0"

1  
A9

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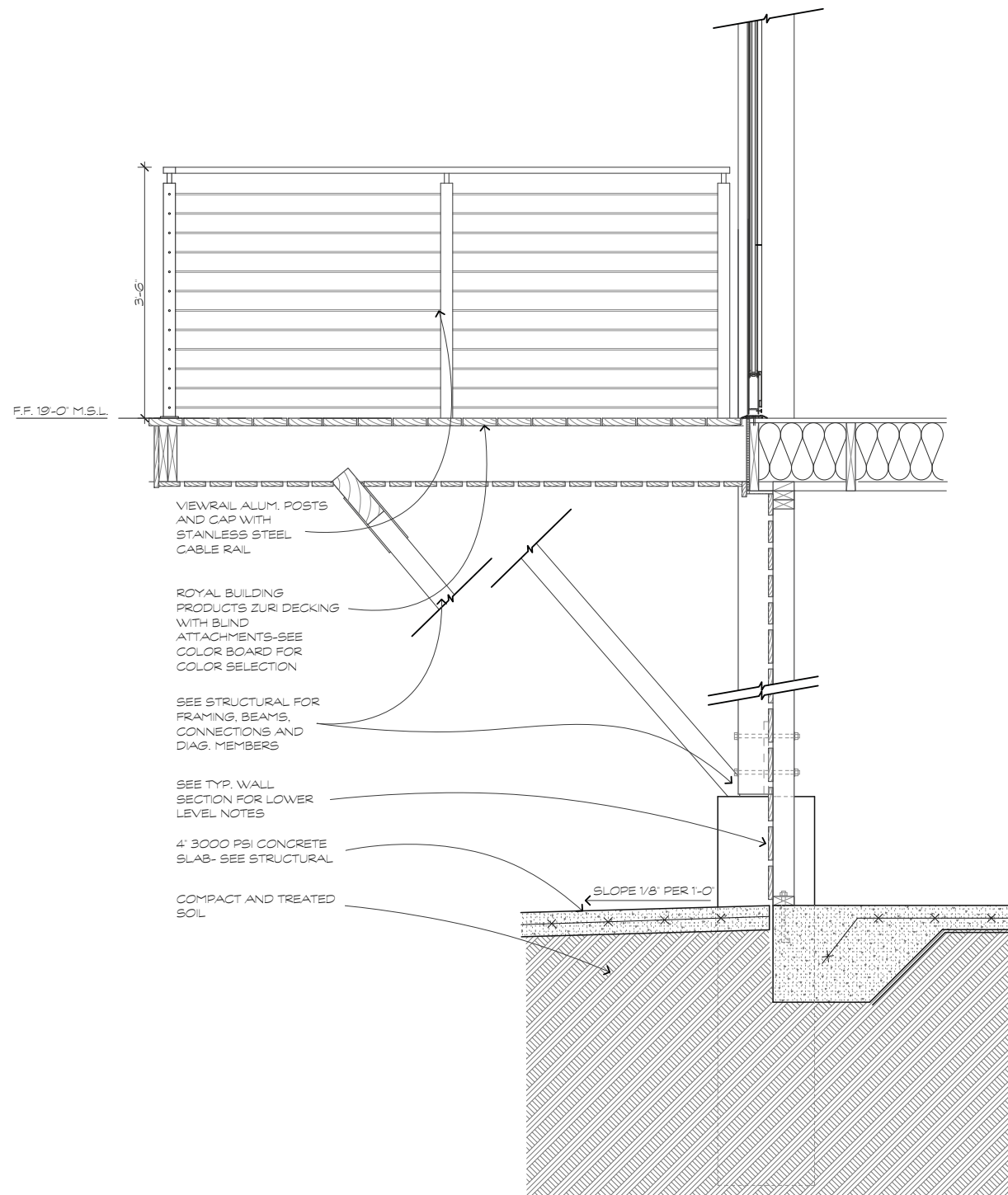
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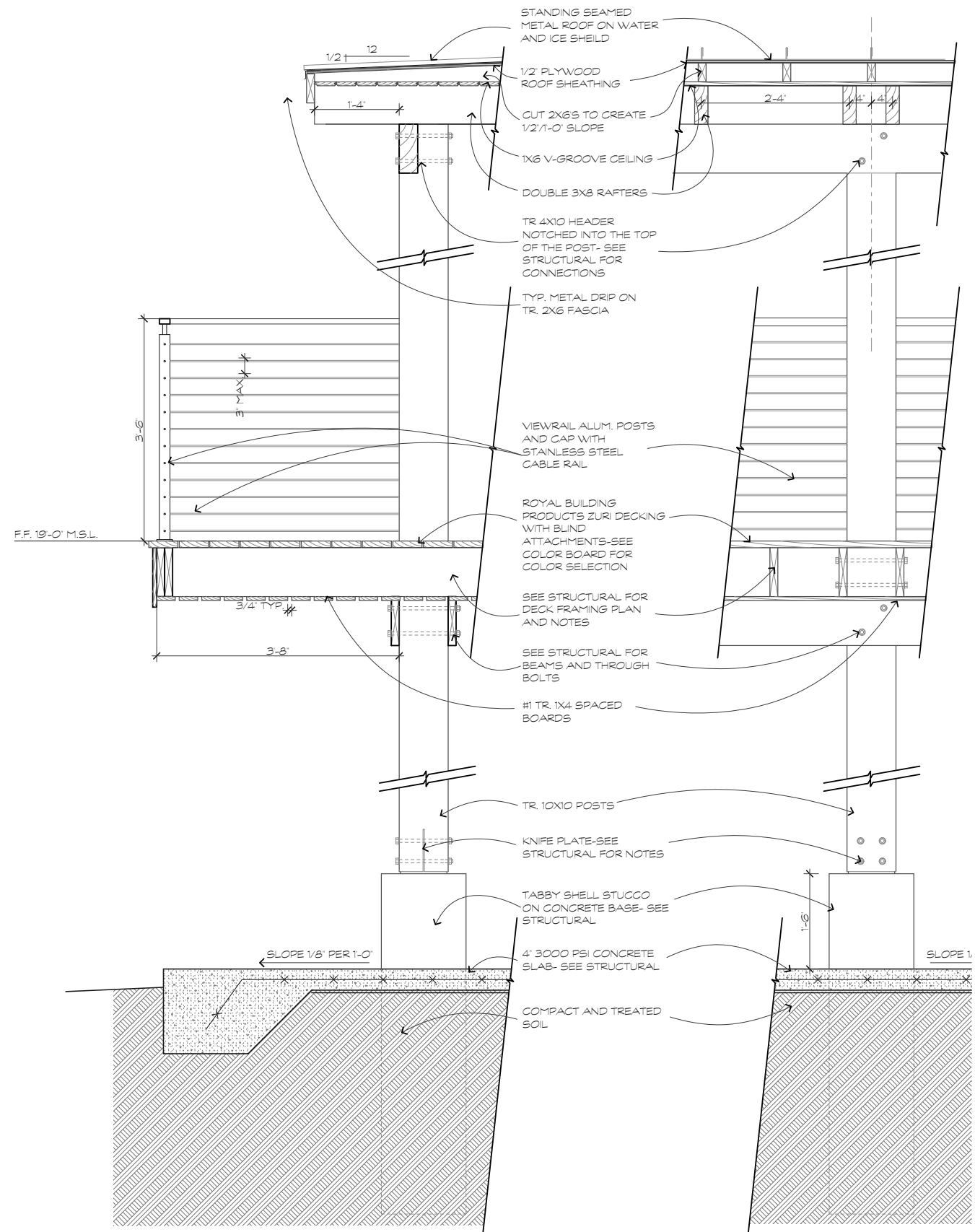
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17xx

SHEET



**BALCONY DETAIL**  
SCALE: 1" = 1'-0"

2  
A10



**BREEZEWAY SECTION**  
SCALE: 1" = 1'-0"

1  
A10

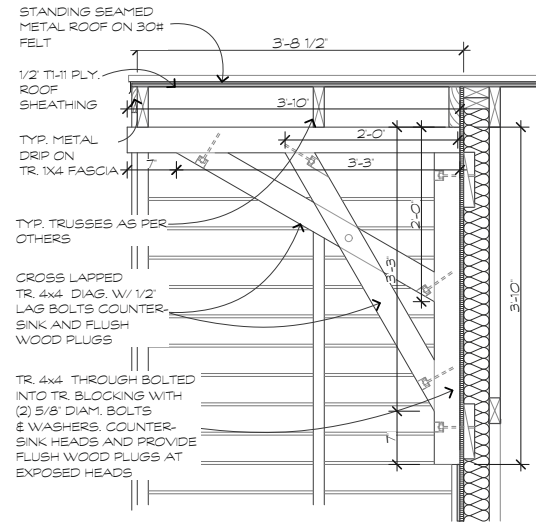
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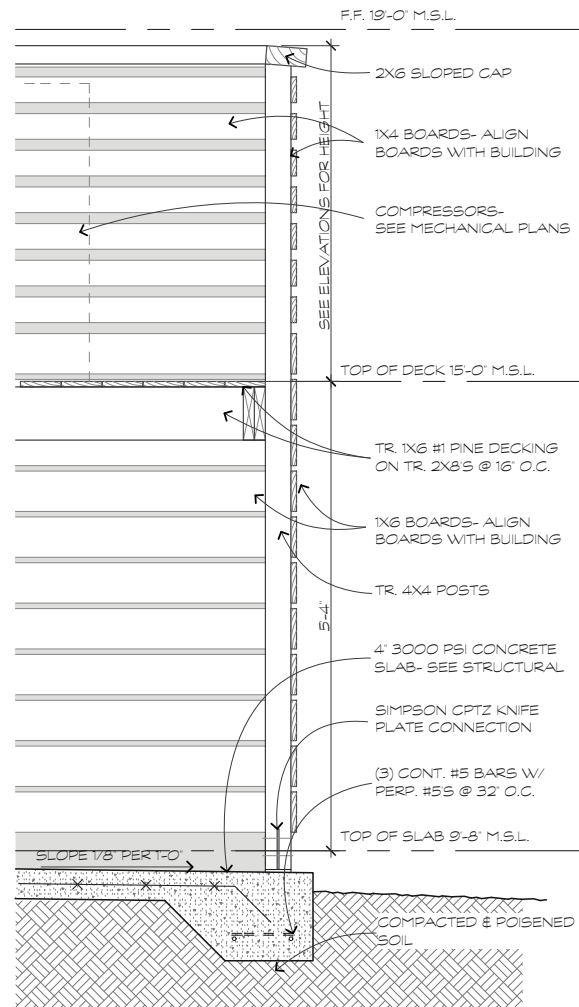




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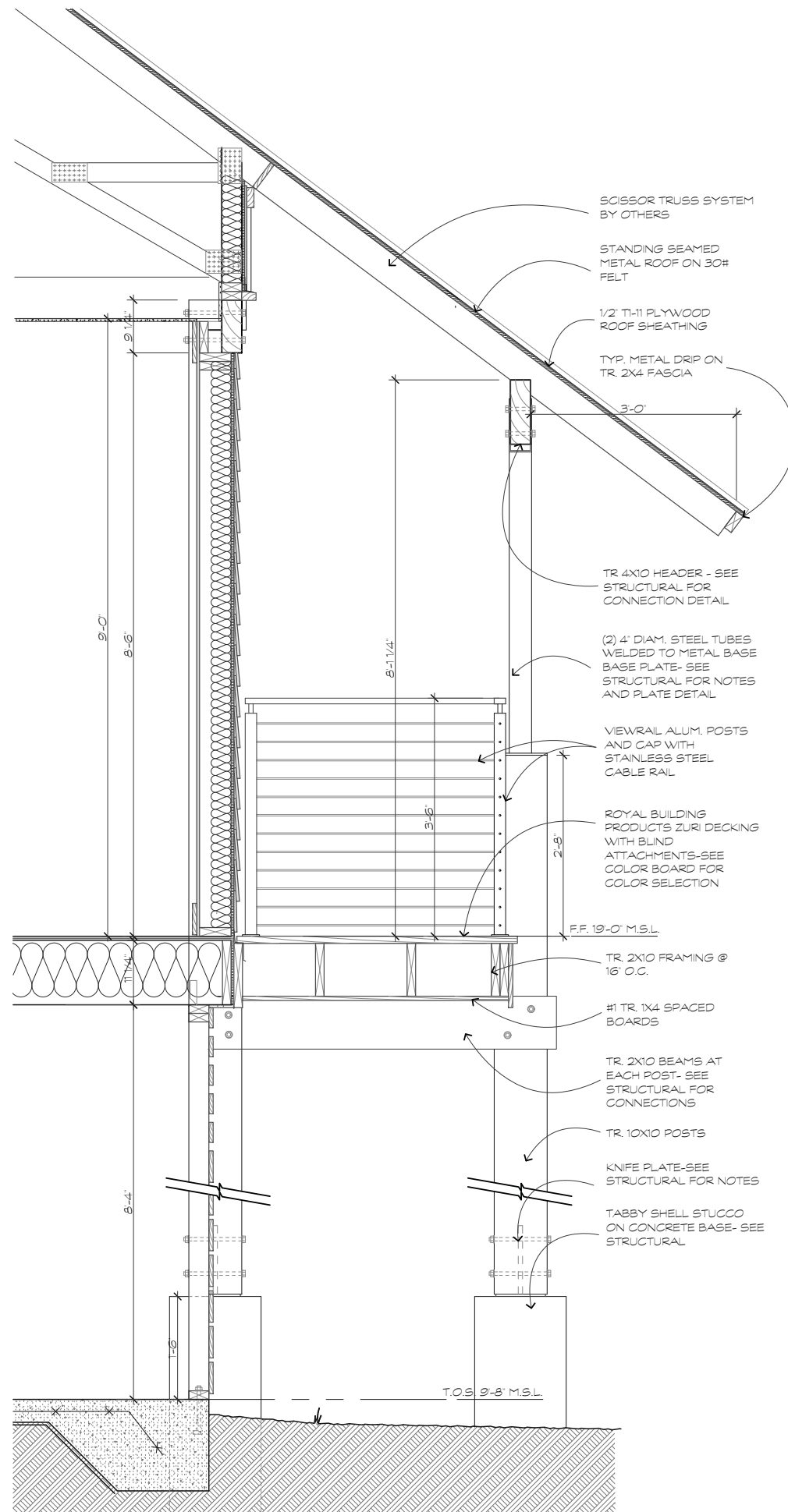
3  
A11



### SERVICE YARD SECTION

SCALE: 1" = 1'-0"

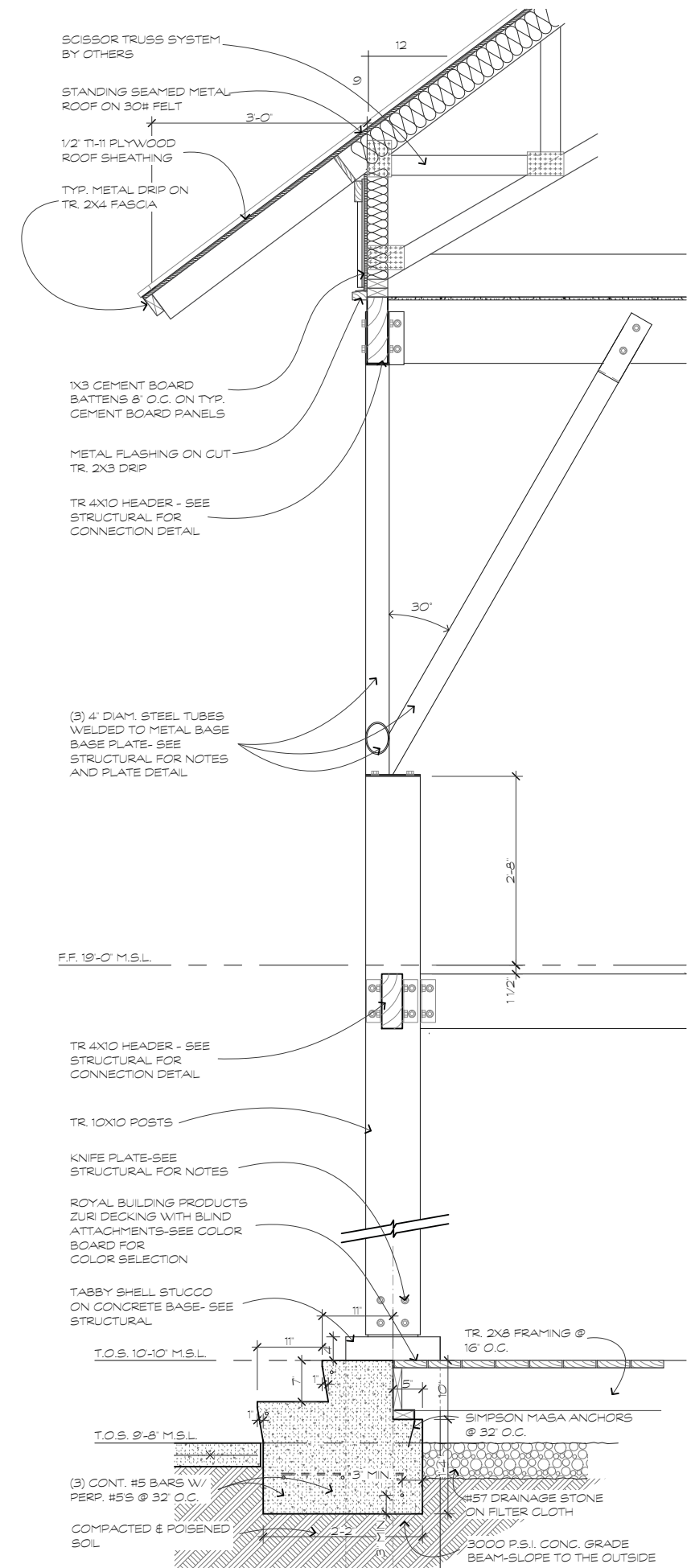
4  
A11



### STAIRWAY SECTION

SCALE: 1" = 1'-0"

2  
A11



### STAIRWAY SECTION

SCALE: 1" = 1'-0"

1  
A11

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**RAYNOR CLEAR ANODIZED**



**BRUSHED ALUMINUM RAIL**



**GALVANIZED TUBE STEEL**



**SW 7663 MONORAIL SILVER**



**SW 7664 STEELY GRAY**



**YKK CLEAR ANODIZED**



**ZURI WEATHERED GRAY**



**TABBY SHELL STUCCO**



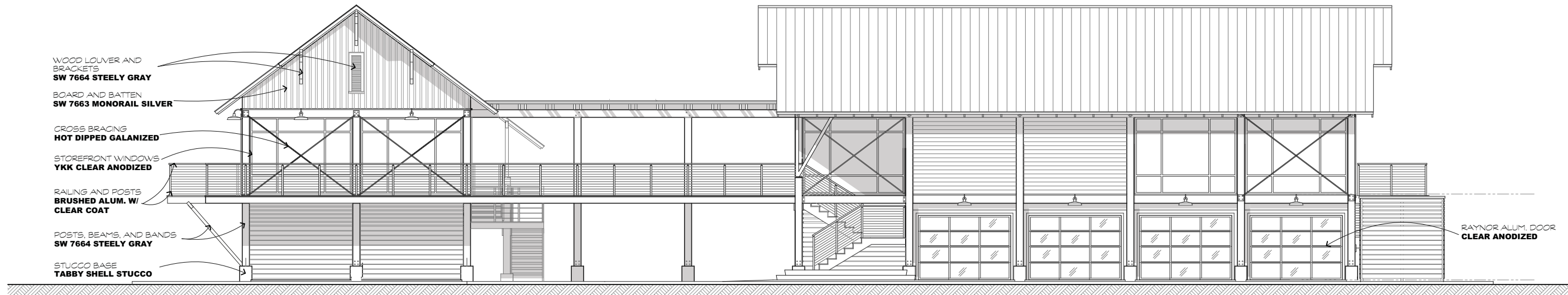
**IW 1201 SILVER-WHITE**



**PAC CLAD WEATHERED ZINC**

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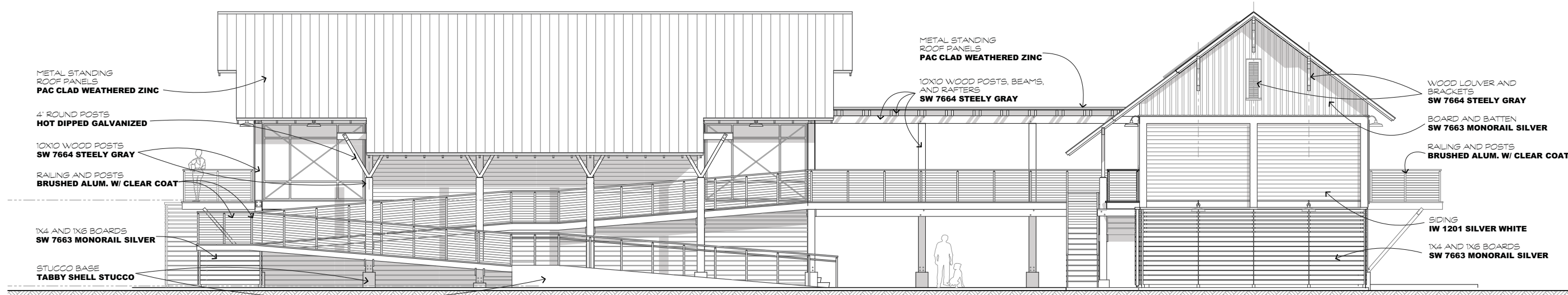
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**POPE AVE. ELEVATION**

SCALE: 1/8"=1'-0"

2  
A-12



**PARKING LOT ELEVATION**

SCALE: 1/8"=1'-0"

1  
A-12

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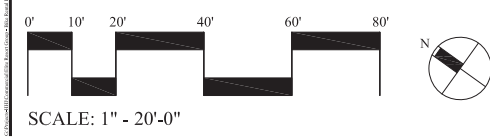
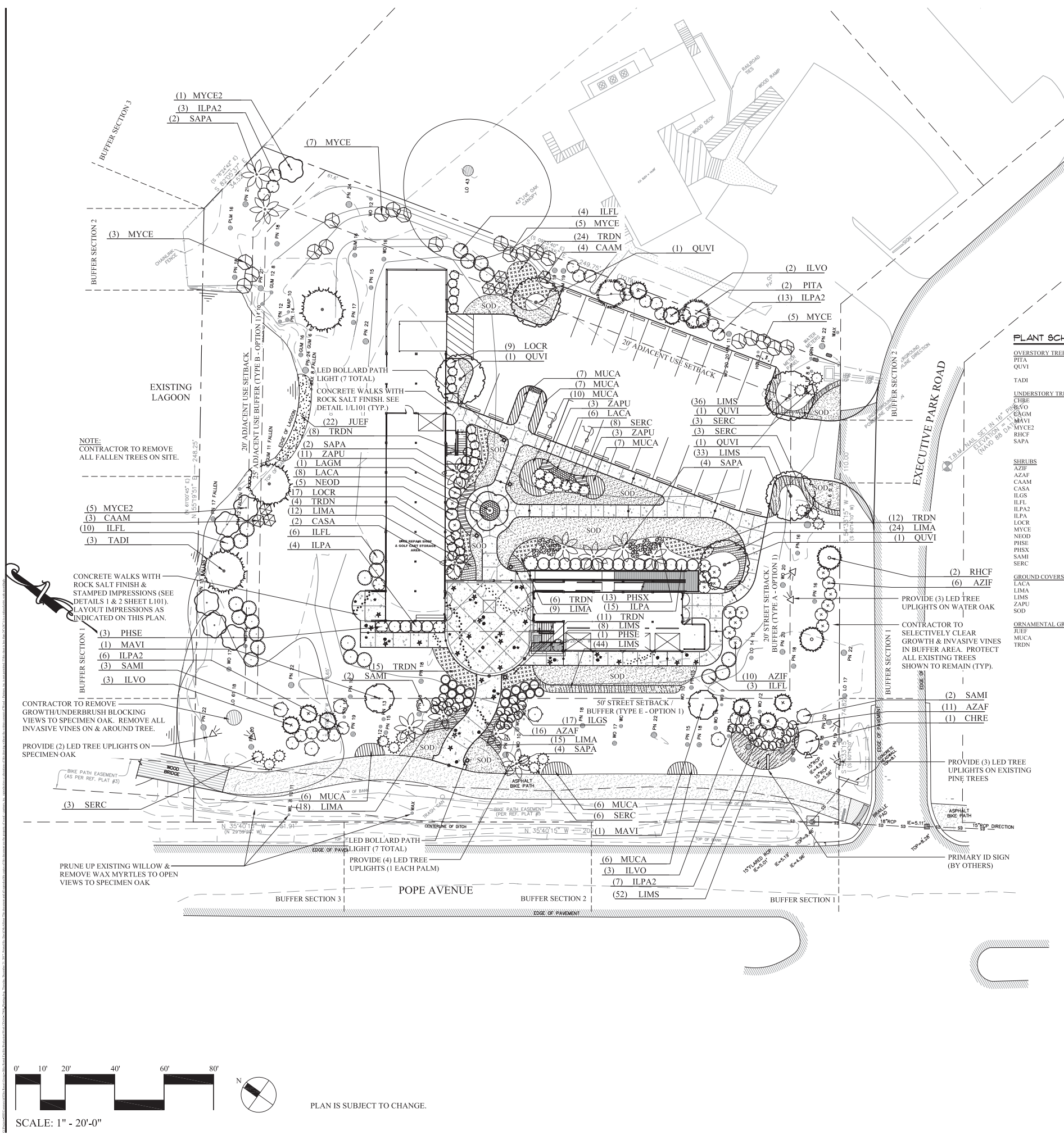
#	REVISION	DATE	BY

BUFFER SUMMARY							
POPE AVENUE BUFFER:							
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (100')	E OPTION 1	4	(16 EXISTING)	5	5	20	22
SECTION 2 (100')	E OPTION 1	4	(8 EXISTING)	5	5	20	27
SECTION 3 (60')	E OPTION 1	2	(3 EXISTING)	3	3	12	12
EXECUTIVE PARK ROAD BUFFER:							
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (88')	A OPTION 1	3	(5 EXISTING)	3	(3 EXISTING)	7	11
SECTION 2 (28')	A OPTION 1	1	1	1	(2 EXISTING)	2	3
GOLF COURSE ADJACENT USE BUFFER:							
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (90')	B OPTION 1	3	(3 EXISTING)	5	5	9	10
SECTION 2 (33')	B OPTION 1	1	(2 EXISTING)	2	(1 EXISTING)	3	3
SECTION 3 (34')	B OPTION 1	1	(1 EXISTING)	2	2	3	3

PLANT SCHEDULE									
OVERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
PITA	2	Pinus taeda	Loblolly Pine	B & B or Cont.	2" Cal	7-8"	7-8'	2-3'	Strong central leader
QUVI	5	Quercus virginiana	Live Oak	B & B or Cont.	2" Cal	10-12"	10-12'	6-8'	Strong central leader; Specimen
TADI	3	Taxodium distichum	Bald Cypress	B & B or Cont.	2" Cal	10'	10'	4-5'	Specimen
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CHBE	6	Cheilanthes tenuis	White Fringetree	B & B or Cont.	1.5" Cal	6"	6'	3-4'	Multi-stem (3-5)
ILVO	8	Ilex vomitoria	Upright Yaupon Holly	Cont. or FG	2" Cal	10'	10'	4-6'	Specimen, tree form
LAGM	1	Lagerstroemia x Muskogee	Muskogee Crape Myrtle	FG B&B	2"	14-16'	6-8'	Multi-trunked, SPECIMEN	
MAVI	2	Magnolia virginiana	Sweet Bay	B & B or Cont.	2" Cal	10'	10'	6-8'	Full, specimen
MYCE2	2	Myrica cerifera	Wax Myrtle	B & B or Cont.	2" Cal	10'	10'	6-8'	Tree form
RHCF	2	Rhus copallina 'Flameleaf'	Flameleaf Sumac	Cont. or FG	1.5" Cal	6" MIN.	4-6'	4-6'	Full, specimen
SAPA	12	Sabal palmetto	Cabbage Palmetto	B & B	1.5" Cal	14-18"	14-18'	14-18'	Smooth Clear Trunk, Hurricane Cut, Vary Height
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
AZIF	16	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24"-30"	24"-30"	Full pot		
AZAF	27	Azalea x 'Fashion'	Fashion Azalea	3 gal	12"-18"	12"-18"	Full pot		
CAAM	7	Calliopsis americana	American Beautyberry	3 gal	24"-30"	24"-30"	Full pot		
CASA	2	Camellia sasanqua 'Yuletide'	Yuletide Camellia	B & B or Cont.	4-5'	36"-48"	Full pot, full to ground		
ILGS	17	Ilex glabra 'Shamrock'	Shamrock Inkberry	3 gal	24"-30"	24"-30"	Full pot		
ILFL	23	Illicium floridanum	Purple Anise	7 gal	24"-30"	24"-30"	Full to ground		
ILPA2	29	Illicium parviflorum	Anise Tree	3 gal	14"-18"	12"-18"	Full pot		
ILPA	19	Illicium parviflorum	Anise Tree	7 gal	30"-36"	24"-36"	Full pot		
LOCR	26	Loropetalum chinense 'Ruby'	Ruby Loropetalum	7 gal	24"-36"	24"-30"	Full pot		
MYCE	20	Myrica cerifera	Wax Myrtle	3 gal	18"-24"	18"-24"	Full pot		
NEOD	5	Nerium oleander 'Petite Pink'	Dwarf Oleander	3 gal	24"-36"	18"-24"	Full		
PHSE	4	Philodendron setoum	Split Leaf Philodendron	7 gal	24"-36"	24"-36"	Full		
PHSX	13	Philodendron setoum 'Nanadu'	Split Leaf Philodendron	3 gal	18"-24"	18"-24"	Full pot		
SAMI	7	Sabal minor	Dwarf Palmetto	15 gal	24"-36"	30"-36"	Specimen		
SERC	23	Sereoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	15"-18"	12"-18"	Full pot		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
LACA	14	Lantana canara 'New Gold'	Lantana	1 Gal.	8"-10"	10"-12"	30" o.c.	Full pot	
LIMA	78	Liriope muscari 'Aztec Grass'	Aztec Grass	1 gal	8"-12"	8"-12"	24" o.c.	Full pot	
LIMS	173	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	10"-12"	10"-12"	24" o.c.	Full pot	
ZAPU	17	Zamia pumila	Coontie	3 gal	18"-24"	18"-24"	30" o.c.	Full pot	
SOD	2,733 sf	Zoysia x 'Zeon'	Zeon Zoysia	sod	18"-24"	18"-24"	30" o.c.	Full pot	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
JUEF	22	Juncus effusus	Soft Rush	1 Gal.	18"-24"	12"-18"	36" o.c.	Full pot	
MUCA	49	Muhlenbergia capillaris	Pink Muhly	1 Gal.	12"-18"	8"-12"	36" o.c.	Full pot	
TRDN	80	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	1 gal	12"-18"	12"-18"	36" o.c.	Full pot	

LIGHTING SCHEDULE	
▲	TREE UPLIGHT (11 TOTAL): PHILLIPS HADCO LED ALUMINUM BULLYTE MODEL: B4-HLED18-NF-W-S COLOR: BRONZE LAMP: 18W LED (3,000K) GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS
●	BOLLARD PATH LIGHT (7 TOTAL): ATTRACTION LIGHTS 4 x 4 x 37" BOLLARD LIGHT WITH OAK PATTERN POWDER COAT WITH RUBBED BRONZE FINISH LAMP: 10W LED (3,000K) GROUND MOUNT PER MANUFACTURER'S RECOMMENDATIONS PH: 970-316-0019

PAVING SCHEDULE	
■	4" CONCRETE W/ ROCK SALT FINISH & IMPRESSIONS: SEE DETAIL 1 & 2/L-101
—	CONTROL JOINT: SEE DETAIL 1/L-101
●	EXPANSION JOINT: SEE DETAIL 1/L-101



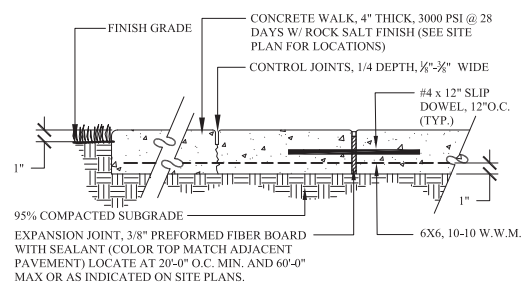
PLAN IS SUBJECT TO CHANGE.

**LANDSCAPE NOTES:**

- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
- THE PLANT SCHEDULE INCLUDED IN THIS DRAWING WAS PREPARED FOR ESTIMATING PURPOSES & FOR THE CONTRACTORS CONVENIENCE ONLY, AND ITS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL PERFORM HIS OR HER OWN QUANTITY TAKE-OFFS USING THE DRAWINGS TO DETERMINE THE QUANTITIES TO HIS OR HER SATISFACTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A FINAL BID.
- CONTRACTOR SHALL WARRANTY ALL EXTERIOR PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING BUT NOT LIMITED TO DEATH AND UNSATISFACTORY GROWTH. DEFECTS ASSOCIATED WITH A LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY THE OWNER OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL WILL NOT BE COVERED BY THE ONE-YEAR WARRANTY.
- THE CONTRACTOR SHALL VERIFY THAT ALL SELECTED PLANT SPECIES ARE DETERMINED AVAILABLE AT THEIR SPECIFIED SIZES WHEN THE TIME OF BIDDING. THE CONTRACTOR SHALL NOT MAKE PLANT SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID.
- ALL PLANT MATERIAL SHALL HAVE A WELL FORMED HEAD WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO APPROVED INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANT BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH TO A DEPTH OF 4".
- ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR APPLICATION AT INSTALLATION.

**IRRIGATION NOTES:**

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM SHALL INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK-FLOW, & CONTROLLERS. THE INSTALLED SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. BACK FLOW PREVENTER SHALL BE SIZED TO MATCH STUB OUT DIAMETER (SEE CIVIL).
- COORDINATE WITH BUILDING ELECTRICAL FOR IRRIGATION CONTROLLER; COORDINATE WITH OWNER FOR CONTROLLER LOCATION.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING WITH CONDUIT SLEEVING UNDER PAVEMENT.
- CONTRACTOR TO SUBMIT TO OWNER AS-BUILT PLAN & DIGITAL FILE OF COMPLETED IRRIGATION SYSTEM.



- NOTES:**
- PROVIDE 4' x 4' MOCK UP PANEL OF PAVEMENT (INDICATING FINISH, JOINT, & EACH IMPRESSION TYPE) AND OBTAIN APPROVAL PRIOR TO INSTALLATION. PANELS NOT TO BE A PART OF FINAL WORK & SHALL BE PROTECTED AND MAINTAINED ONSITE DURING CONSTRUCTION.
  - PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE (SEE CIVIL).
  - SEE SITE PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS. ALL JOINTS TO BE PERPENDICULAR TO PAVEMENT EDGES.
  - JOINTS TO HAVE HAND TOoled EDGES (4" RADIUS TYP.).
  - CONCRETE PAVEMENT SHALL HAVE ROCK SALT FINISH WITH IMPRESSIONS (SEE DETAIL FOR CONCRETE STAMP INFORMATION).

**1** Concrete Walk With Rock Salt Finish  
L101 SCALE: 1 1/2" = 1'-0"

**GRADING NOTES:**

- CONTRACTOR TO PERFORM FINE GRADING WITHIN ALL TURF AND PLANT BEDS. FINE GRADING SHALL CONSIST OF A HAND RAKED, SMOOTH SOIL FREE OF ROCKS, ROOTS, AND DEBRIS.

**GENERAL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE A MODIFICATION TO THE PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

**TREE MITIGATION:**

- TREE MITIGATION WILL UTILIZE THE ADJUSTED CALIPER INCH CALCULATION TO MITIGATE THE REMOVAL OF TREES ON SITE. A COMPLETE TREE MITIGATION SUMMARY WILL BE PROVIDED UPON DPR SUBMITTAL.

TOTAL ACRES: 1.38  
MAXIMUM IMPERVIOUS SURFACE ALLOWED (LC): 60%  
ADJUSTED CALIPER INCHES TO BE MET POST DEVELOPMENT: 496.8

**POST DEVELOPMENT TREE COUNTS (EXISTING TREES ONLY):**

CATEGORY 1: 108 (1) = 108  
CATEGORY 2: 430 (.75) = 322.5  
CATEGORY 3: 771 (.5) = 385.5  
CATEGORY 4: 0 (.25) = 0

**POST DEVELOPMENT TREE COUNTS (PROPOSED TREES ONLY):**

CATEGORY 1: 16 (1) = 16  
CATEGORY 2: 32 (.75) = 24  
CATEGORY 3: 116 (.5) = 58  
CATEGORY 4: 7.5 (.25) = 1.875

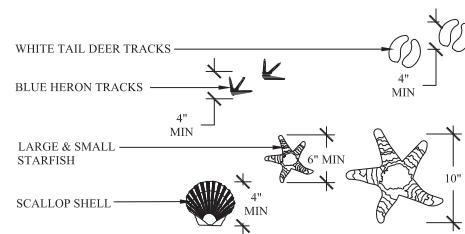
**POST DEVELOPMENT TREE COUNTS (TOTAL):**

CATEGORY 1: 124 (1) = 124  
CATEGORY 2: 462 (.75) = 346.5  
CATEGORY 3: 887 (.5) = 443.5  
CATEGORY 4: 7.5 (.25) = 1.875

TOTAL POST DEVELOPMENT ADJUSTED CALIPER INCHES: 915.875

**ACI NOTES:**

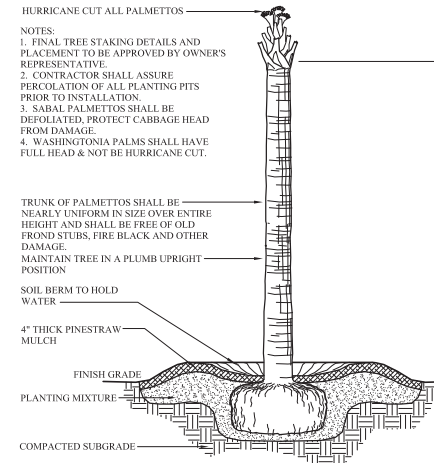
- ALL PROPOSED PALM TREES ARE CALCULATED AS AN 8" CALIPER TREE.



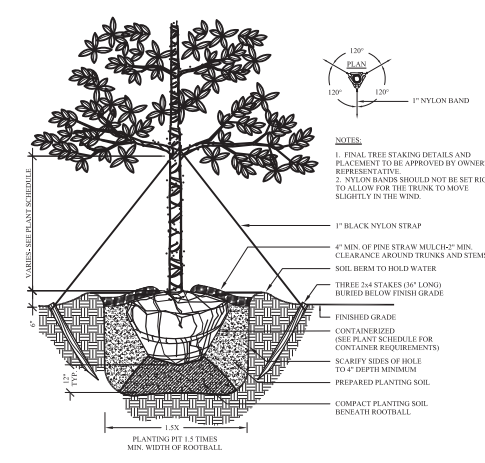
**CONCRETE IMPRESSIONS**  
N.T.S.

- NOTES:**
- CONTRACTOR SHALL UTILIZE CONSISTENT IMPRESSIONS FOR ITEMS.
  - CONTRACTOR SHALL PROVIDE SAMPLE CONCRETE IMPRESSIONS OF EACH TYPE ON COLORED CONCRETE SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK. SAMPLE PANEL IS NOT TO BE PART OF WORK AND FINAL APPROVED SAMPLES SHALL BE PROTECTED ON SITE TO PROVIDE STANDARD OF EXPECTED CONSTRUCTION.
  - IMPRESSIONS MAY BE PURCHASED AT CALICO CONSTRUCTION PRODUCTS OR EQUAL. PHONE: 806-221-9469.
  - LAYOUT IMPRESSIONS AS INDICATED ON THE PLAN.

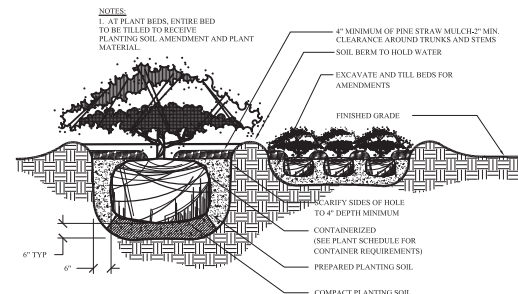
**2** Concrete Impressions  
L101 SCALE: 1" = 1'-0"



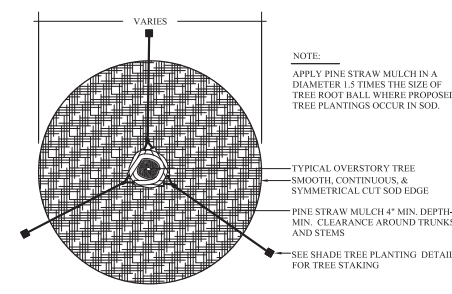
**3** Palm Tree  
L101 SCALE: NTS



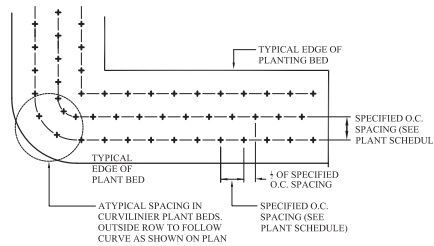
**4** Shade Tree  
L101 SCALE: NTS



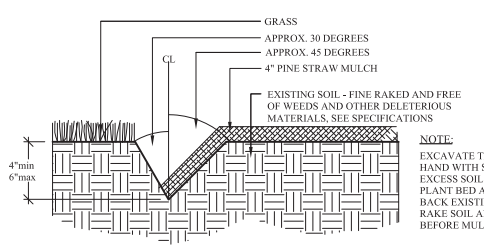
**5** Shrub Planting  
L101 SCALE: NTS



**6** Mulch Tree Ring  
L101 SCALE: NTS

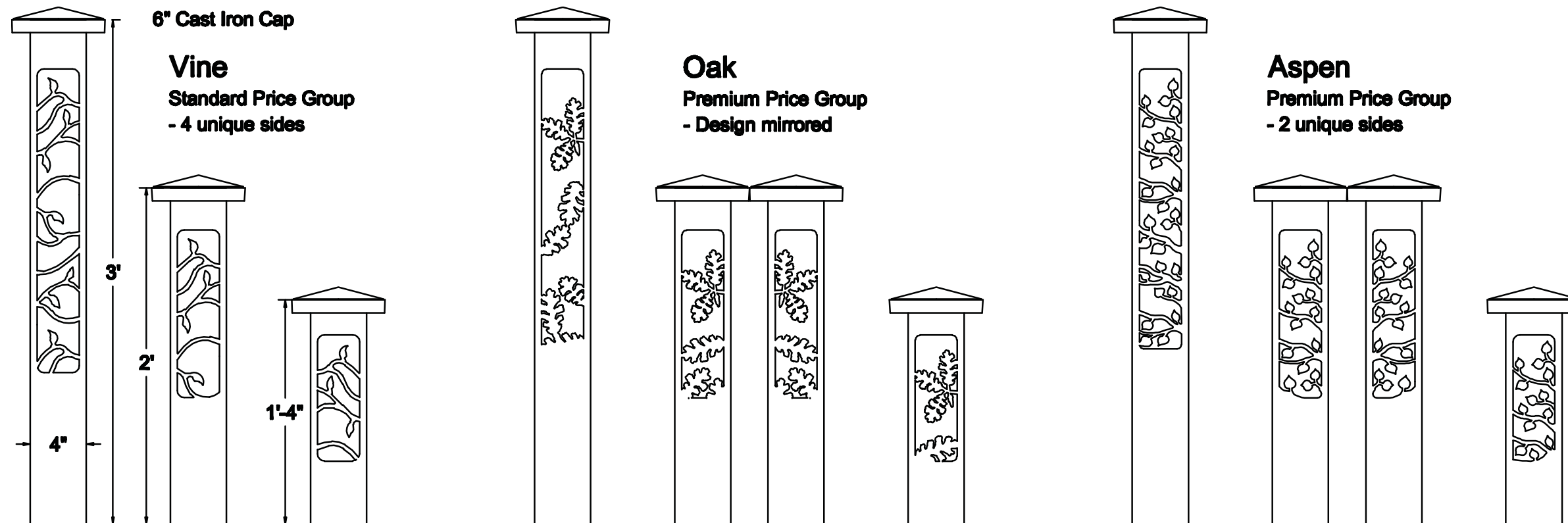


**7** Groundcover Spacing  
L101 SCALE: NTS



**8** Landscape Bed Edge  
L101 SCALE: NTS

#	REVISION	DATE	BY



**4x4 Series:**

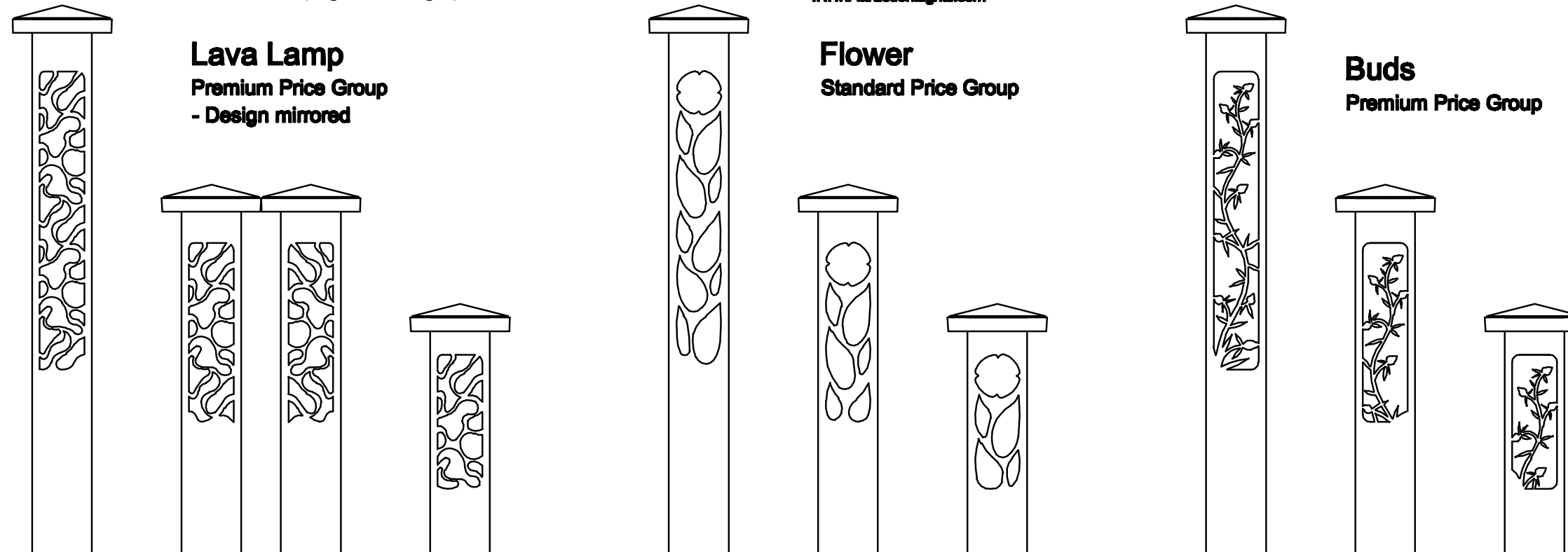
- 4x4x1/8 inch structural steel tube
- Price Group by each design
- Std Price + 15% = Premium Price
- See Galleries page for design photos

**Attraction Lights**

Nature Designs (Copyrighted)  
 Lyle Braund - Design & Sales  
 Cell: 970-316-0019  
 lyle@attractionlights.com  
 www.AttractionLights.com

**Standard Sizes:**

- 4x4x37" Bollard
- 4x4x25" Grande Path
- 4x4x17" Path Light



# LED Aluminum Bullyte (B4) Specification Sheet

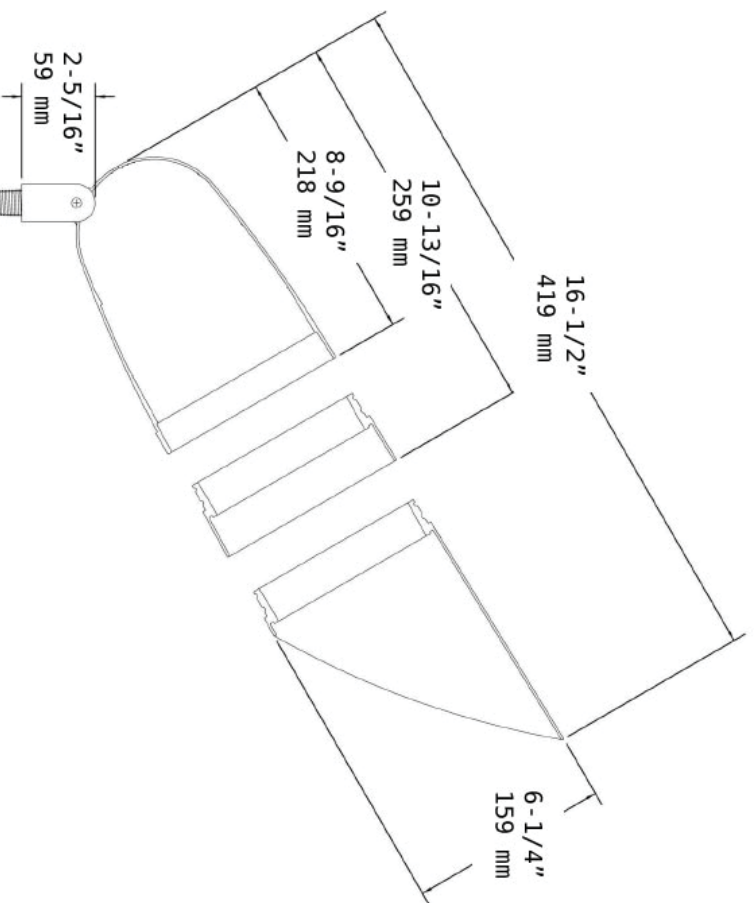
Project Name:	Location:	MFG: Philips Hadco
Fixture Type:	Catalog No.:	Qty:

## Ordering Guide

Example: B4 A LED18 NF W S

Product Code	B4	LED Aluminum Bullyte
Finish	A H G	Black Bronze Verde
Source/Lumens	LED18	18W LED
Optics	NF	Narrow Flood
CCT	W	Warm
Shroud	S L	Short Shroud Long Shroud

\*1 Lamp will be shipped with fixture, but not installed. Lamp not sold separately.



## Specifications

**HOUSING:** Fully rotatable shroud, gasketed, cast aluminum. Die-cast aluminum. Fully-adjustable swivel arm with vibration-proof locking teeth. Gasketing is silicone. Fasteners are 300 series stainless steel. Shroud is optional. 1/2" NPS male threads to screw onto accessory mounting stake or junction box, sold separately.

**FINISH:** Thermoset polyester powdercoat is electrostatically applied after a five-stage conversion cleaning process and bonded by heat fusion thermosetting.

**OPTICAL ASSEMBLY:** Clear Tempered flat glass lens (glass comes with shroud)

**LAMPING:** 18W lamp with 25° beam spread, 25,000 hours life. Color temperature (CCT): warm white (3,000K nominal). No Mercury.

**CERTIFICATIONS:** Manufactured to ISO 9001:2008 Standards. ETL listed to U.S. safety standards for wet locations. cETL listed to Canadian safety standards for wet locations.

**WARRANTY:** Three-year limited warranty.

**Width:** 6 1/4" (159mm)

**Length:** 8-9/16" 218mm, (S)10-3/16" 259mm,(L)16-1/2" 419mm

**Max. Weight:** 2.2 lb., (S) 4.5 lb., (L) 8.15 lb.

ISO 9001:2008 Registered



Note: Philips reserves the right to modify the above details to reflect changes in the cost of materials and/or production and/or design without prior notice.  
100 Craftway Drive, Littlestown, PA 17340 | P: +1-717-359-7131 F: +1-717-359-9289 | <http://www.hadco.com> | Copyright 2013 Philips HW2

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Port Royal Investment Company

DRB#: DRB-002873-2017

DATE: 12/28/2017

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

Revise the Landscape Plan buffer note on the existing vegetation to narrow the scope and protect the understory and submit for staff approval.

<b><i>ARCHITECTURAL DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<b><i>LANDSCAPE DESIGN</i></b>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The note on the Planting Plan “ <i>Contractor to selectively clear growth and invasive vines in buffer area. Protect all existing trees shown to remain (Typ.)</i> ” is too general and could be interpreted to allow removal of everything leaving only the surveyed trees and pine straw mulch. Small trees and shrubs that make up the understory are critical to the

				concept of a buffer in the Design Guide. The note should be revised to narrow the scope and protect the understory.
--	--	--	--	---

***NATURAL RESOURCE PROTECTION***

<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See comment on Landscape Plan note above.

***MISC COMMENTS/QUESTIONS***






**Town of Hilton Head Island**  
**Community Development Department**  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Scott Corkern Architect Company: Scott Corkern Inc  
 Mailing Address: 1080 May River Road City: Bluffton State: SC Zip: 29910  
 Telephone: 843 816-2984 Fax: None E-mail: corkern@hargray.com  
 Project Name: Mullets Pavilion Project Address: 614 William Hilton Parkway  
 Parcel Number [PIN]: R 511 008 000 024B 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

variance is requested (as noted in this application).

  
SIGNATURE



SIGNATURE \_\_\_\_\_  
SC Registered Architect's seal affixed to drawings.  
(Required for conceptual, preliminary and final sub

DATE \_\_\_\_\_



**THE TOWN OF HILTON HEAD ISLAND  
DESIGN REVIEW BOARD – NOTICE OF ACTION**

---

**PROJECT NAME:** Mullets Pavilion **PROJECT #:** DRB-002579-2017  
**PROJECT ADDRESS:** 614 William Hilton Parkway  
**CATEGORY:** New Development – Conceptual  
**ACTION DATE:** November 28, 2017 **NOTICE DATE:** December 1, 2017  
**APPLICANT/AGENT:** Scott Corkern, Scott Corkern Inc Architects  
1080 May River Road  
Bluffton, SC 29910  
Email: corkern@hargray.com

---

**On the above meeting date your Application received the following action:**

- APPROVED AS SUBMITTED**  
 **APPROVED WITH THE SPECIFIC CONDITIONS LISTED BELOW**  
 **DENIED**  
 **WITHDRAWN AT THE APPLICANTS REQUEST**

- 1) All the materials including the proposed portable restroom must be provided at the time of submittal for final approval;
- 2) Also at the time of submittal for final approval, include a solution to limit vehicular access under existing trees;

**PURSUANT TO LMO 16-2-103-I.7, THIS APPROVAL WILL EXPIRE ONE YEAR FROM THE DATE OF THIS NOTICE UNLESS A DEVELOPMENT PLAN (SEE LMO 16-2-103.G) OR SMALL RESIDENTIAL DEVELOPMENT (SEE LMO 16-2-103.H) IS APPROVED OR, WHERE DEVELOPMENT PLAN REVIEW OR SMALL RESIDENTIAL DEVELOPMENT REVIEW IS NOT REQUIRED, THE APPROVED ACTIVITY IS COMPLETED. YOU HAVE THE RIGHT TO APPEAL THIS DECISION TO CIRCUIT COURT IN ACCORDANCE WITH LMO 16-2-103-I.4.c.ii.**

**NOTICE: APPROVAL BY THE DESIGN REVIEW BOARD MAY NOT CONSTITUTE AUTHORITY TO PROCEED. PLEASE CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 843-341-4757 TO FIND OUT IF OTHER APPROVALS OR PERMITS ARE REQUIRED FROM THE DEVELOPMENT REVIEW AND ZONING, BUILDING, OR ENGINEERING DIVISIONS.**

BY:  \_\_\_\_\_, Urban Designer

**From:** [Scott D Corkern](#)  
**To:** [Darnell Chris](#)  
**Subject:** Distressed wood door and bar  
**Date:** Thursday, December 14, 2017 10:43:42 AM

---

I have given you a single sample of the distressed wood. what that does not show is board for board there is a slight variance in the color of the wood. in the doors it is shown that the cross pieces and border trim are slightly darker than the field of the door. this is shown on the photographs of distressed wood doors that i have sent you. we will select for the darker boards for the edges and cross pieces.

the bar top. I have included a detail at 3/4 scale of the bar in detail A8.1 A. there really is not that much more detail to show. the sides of the bar are of the same distressed wood as the siding . however they are cut into 1x4 pieces and placed vertical instead of the horizontal 1x8's of the distressed siding.  
this is to allow the boards to flow better around the rounded bar shape.

the bar top is a piece of 2 1/2" x 30 inch section reclaimed cedar. as a piece this large is impossible to find we will be joining different pieces of reclaimed wood then planing / sanding / filling as required. once put together the top will be covered in Urethane to hold up to use and liquids. the color is as the color board.

The piece that is the bar top will be done by a master cabinet maker Chris Cawthorn and i expect him to show his technical and artistic prowess in the execution . the sample of distressed wood i have provided are from his shop.  
he is also making the doors.

## Darnell Chris

---

**From:** Scott D Corkern <corkern@hargray.com>  
**Sent:** Tuesday, December 12, 2017 9:25 AM  
**To:** Darnell Chris  
**Subject:** Final submission Mullet's  
**Attachments:** DesignReviewApp-3.psd

### Design Narrative Mullet's Pavilion

During the Preliminary approval the Board asked for the following things which have been provided.

1) conflict between the existing next door Live oak branches and the building.  
Upon checking on site no conflict between Major limbs of the tree and the new building.  
some trimming of less than 5" diameter branches will be required. an Arborist will be hired for the work.

2) Barrier between car traffic and under the existing live oaks.

a 12" wood Pile and rope fence has been added to keep people from driving under the trees.

3) a detail of the garage door and pass thru window was requested.  
this has been provided on Sheet A2.1

4) A cut sheet of the HC portable toilets was requested.  
this has been provided. Note that these toilets are screened from view.

5) Color boards , construction Details and site Lighting for final approval have been provided.



**From:** [Scott D Corkern](#)  
**To:** [Darnell Chris](#)  
**Subject:** bar top sample photos  
**Date:** Thursday, December 14, 2017 10:46:57 AM

---



On Dec 13, 2017, at 11:19 AM, Darnell Chris wrote:







On Dec 13, 2017, at 11:19 AM, Darnell Chris wrote:

Scott,

I need the following to complete the application for DRB Final review:

1. The lighting plan must include the wattage or lumens and a note indicating that LED fixtures will not exceed 3000K.

## WHEELCHAIR ACCESSIBLE

### BRANCH LOCATOR

Find a branch near you

 **USE CURRENT LOCATION**

-OR-

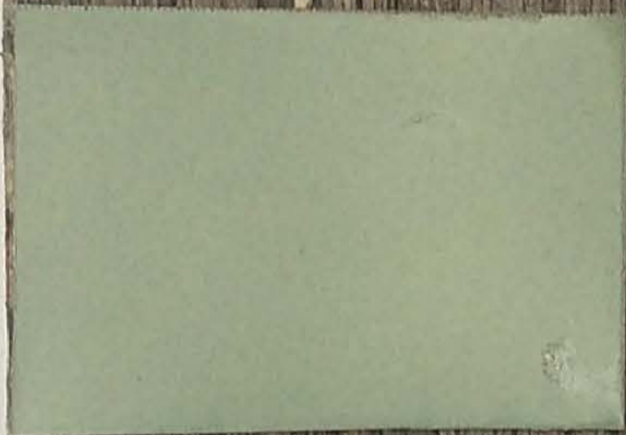
**FIND**

- ✓ Wheelchair Restrooms are designed for wheelchair maneuverability and also are popular at family oriented events because their spacious interior accommodates parents who accompany children to the restroom.
- ✓ Clean, convenient Wheelchair Accessible portable toilets go through our meticulous 8-Point Service plan to ensure your restroom rental arrives in pristine condition and is kept sanitary throughout your project
- ✓ Reliable service performed by experienced, background checked technicians with the finest equipment in the industry from local branch locations near your neighborhood
- ✓ Recommended Quantity: (1) Portable Restroom per (10) Employees over normal (40) hour work week



**Color Board  
Mullet's Pavilion**

**Distressed wood all siding**



**Metal Roof 5 V Crimp  
"Patina Green"**



**New wood, Rafters , beams  
Stain Glidden " Covered  
Bridge"**



**Bar Top "Cedar"**



Barnacle Bill's Front Left



Pavillion View looking Left



Construction Office Left Adjoining



Pavilion View Speciman Trees to remain



Right Adjoining property "General Store"

ENTRANCE





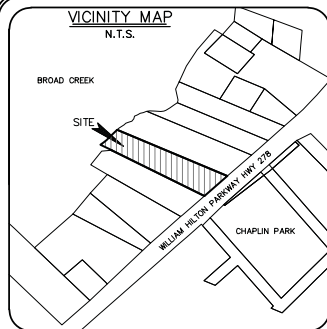
Barnacle Bill's Front



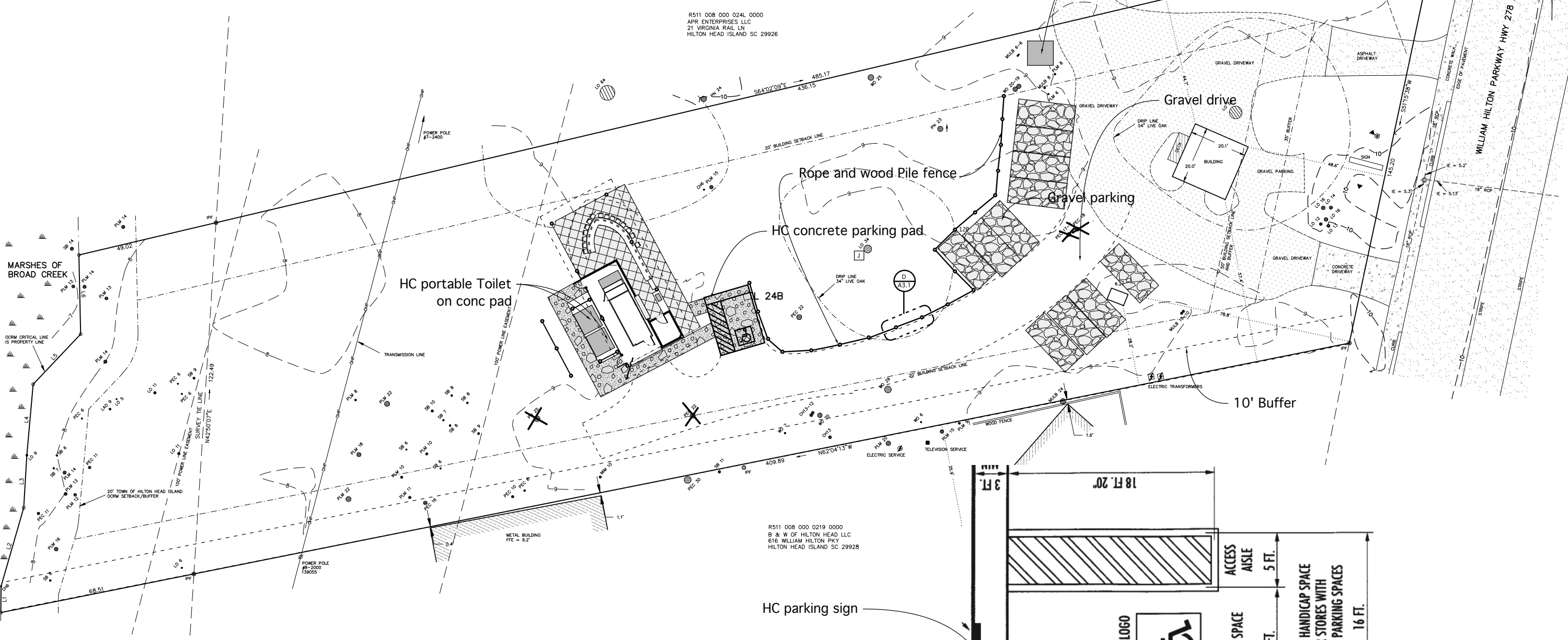
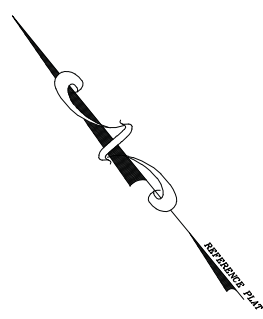
**Construction Warehouse**



Adjacent Specimen Tree



LINE	LENGTH	BEARING
L1	9.14	S 39°46'22" W
L2	28.46	S 55°21'16" W
L3	18.27	S 42°31'44" W
L4	24.81	S 44°23'04" W
L5	24.00	S 82°36'40" W
L6	27.55	S 37°59'55" W



Total Gravel area added 2400 SF  
Total Concrete Pad 762 SF

R511 008 000 024L 0000  
APR ENTERPRISES LLC  
21 VIRGINIA RAIL LN  
HILTON HEAD ISLAND SC 29926

R511 008 000 0219 0000  
B & W OF HILTON HEAD LLC  
616 WILLIAM HILTON PKY  
HILTON HEAD ISLAND SC 29928

REFERENCE PLATS

- 1) A PLAT OF SURVEY LAND OF ANNA MAE BOLDEN, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/09/74 RECORDED IN DEED BOOK 220, PAGE 1068 ROD: BEAUFORT COUNTY, SC BY: K.T. DUBIS S.C.R.L.S. # 2823
- 2) AN ASBUILT LAND SURVEY OF R510 008 000 024B, A PORTION OF FAIRFIELD VILLAGE AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 4/29/15 ROD: BEAUFORT COUNTY, SC BY: MICHAEL R. DUNIGAN S.C.R.L.S. # 11905

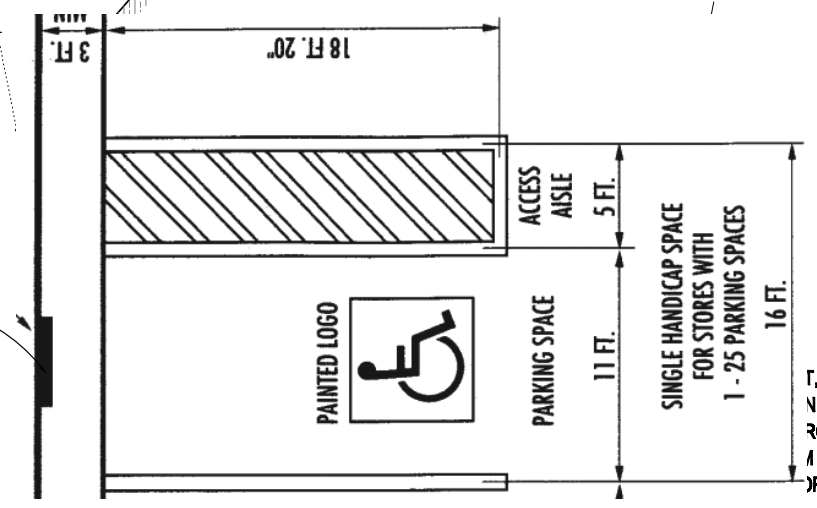
LEGEND & SYMBOLS:

- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
  - CONTOUR
  - ⊕ 1/2" IRON PIN FOUND
  - ⊕ TEMPORARY BENCH MARK
  - ⊕ INVERT ELEVATION
  - ⊕ FINISHED FLOOR ELEVATION
  - ⊕ REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LAO LAUREL OAK
  - MULB MULBERRY
  - MIM MIMOSA
  - PN PINE
  - PO PALM
  - WO WATER OAK
  - PEC PECAN
  - CH WILD CHERRY
  - SB SUGAR BERRY
  - ⊕ ELECTRIC SERVICE
  - ⊕ TELEPHONE SERVICE
  - ⊕ TELEVISION SERVICE
  - ⊕ STORM MANHOLE
  - ⊕ CATCH BASIN
  - ⊕ WATER LATERAL
  - ⊕ FLOOD LIGHT

NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS LOCAL.
- 5) VERTICAL DATUM IS NGVD29.
- 6) CONTOUR INTERVAL IS 1'.
- 7) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
- 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
- 10) THIS PROPERTY IS SUBJECT TO AN EASEMENT AGREEMENT WITH PALMETTO ELECTRIC RECORDED IN DEED BOOK 3053 AT PAGE 483.
- 11) THIS PROPERTY IS SUBJECT TO AN ENCROACHMENT AND EASEMENT AGREEMENT RECORDED IN DEED BOOK 1890 AT PAGE 1303.

PROPERTY AREA = 1.37 AC. 59,633 S.F. TO OCRM CRITICAL LINE  
ADDRESS: 614 WILLIAM HILTON PARKWAY  
DISTRICT: 511, MAP: 8, PARCEL: 24B  
THIS PROPERTY LIES IN F.E.M.A. ZONE A7  
BASE FLOOD ELEVATION = 14.0'  
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

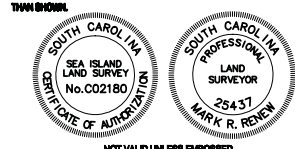


BOUNDARY, ND TOPOGRAPHIC SURVEY OF:  
RCEL R511 008 000 024B 0000,  
A HILTON PARKWAY, HILTON HEAD ISLAND,  
JRT COUNTY, SOUTH CAROLINA

PREPARED FOR: FRESH as F LLC

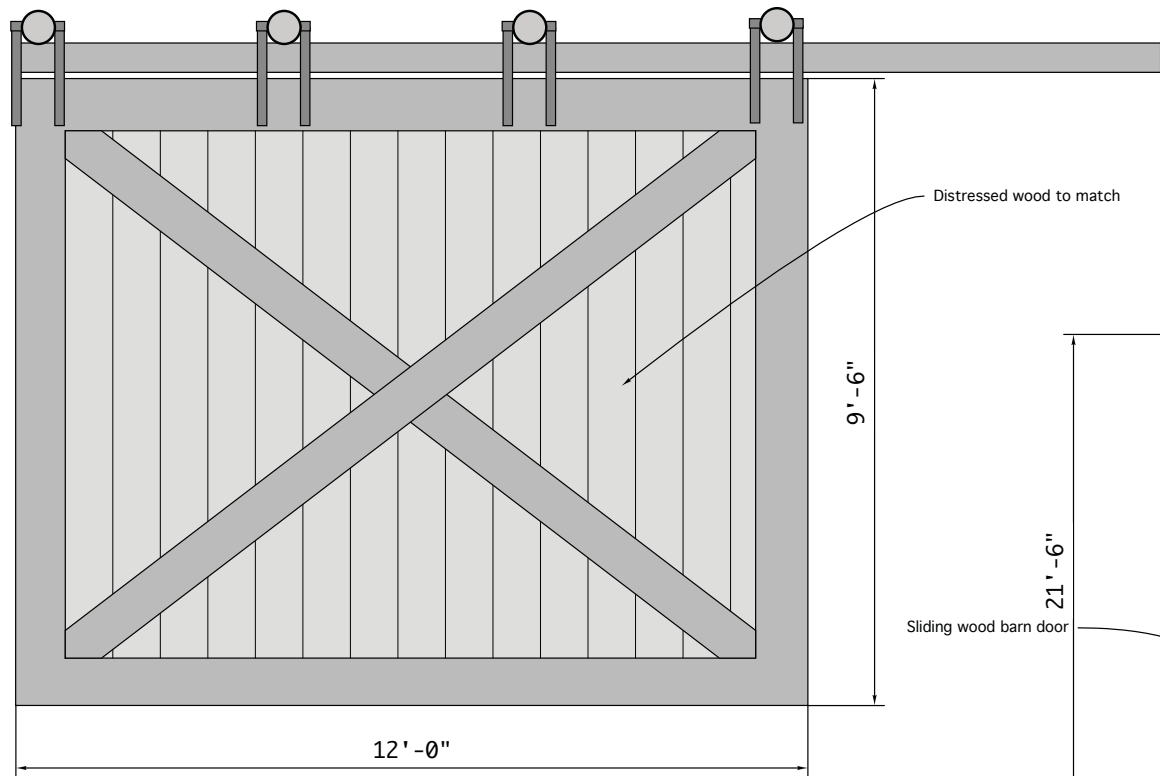
DATE: 12/14/16 SCALE: 1" = 16'

**SIL** Sea Island Land Survey, LLC.  
4D Mathews Court, Hilton Head Island, SC 29926  
Tel (843) 681-3248 Fax (843) 689-3871  
E-mail: sil@sprynet.com  
FILE No: 16239 DWG No.: 3-2088

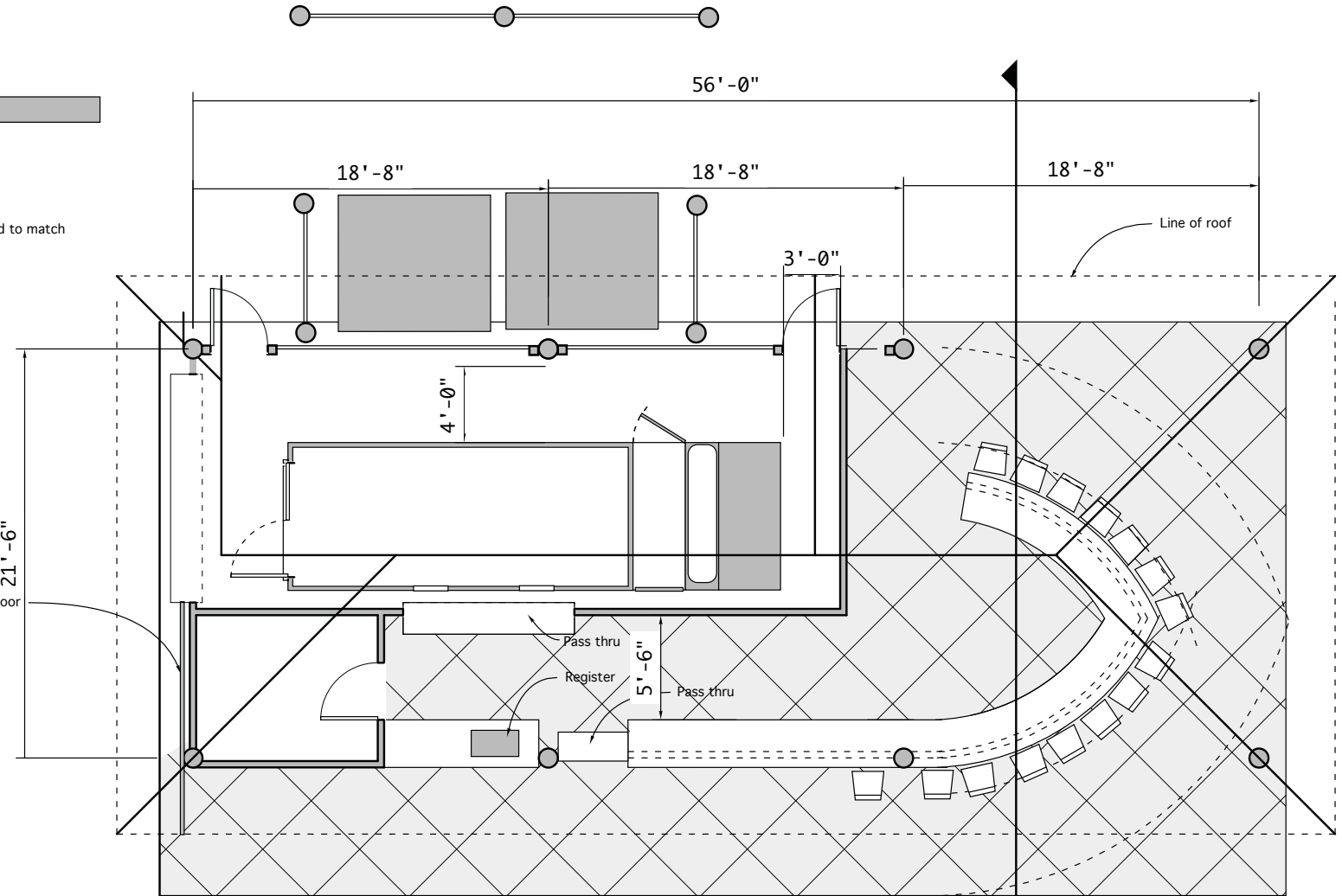


Scott Corkern Architect  
(843) 816-2984  
1080 May River Road  
Sturton SC 29910

6/24/17  
A1.1



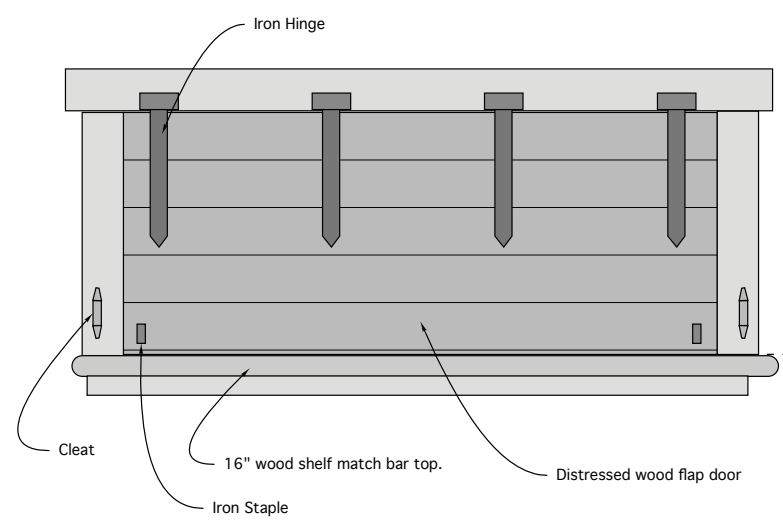
**B** Garage Door  
3/4" = 1'-0"



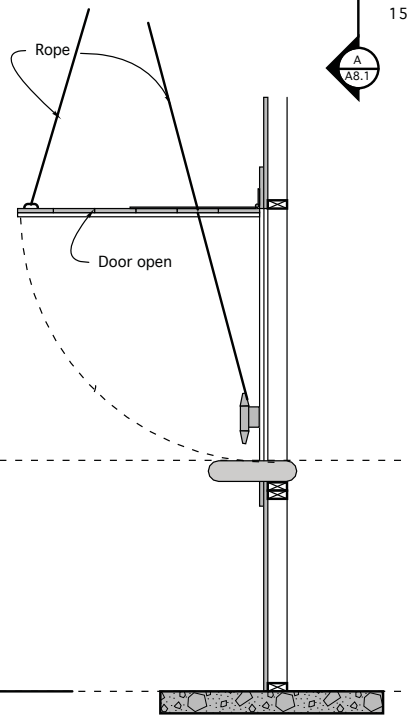
**A** Floor Plan  
1/4" = 1'-0"



**C** Garage Hardware  
NTS



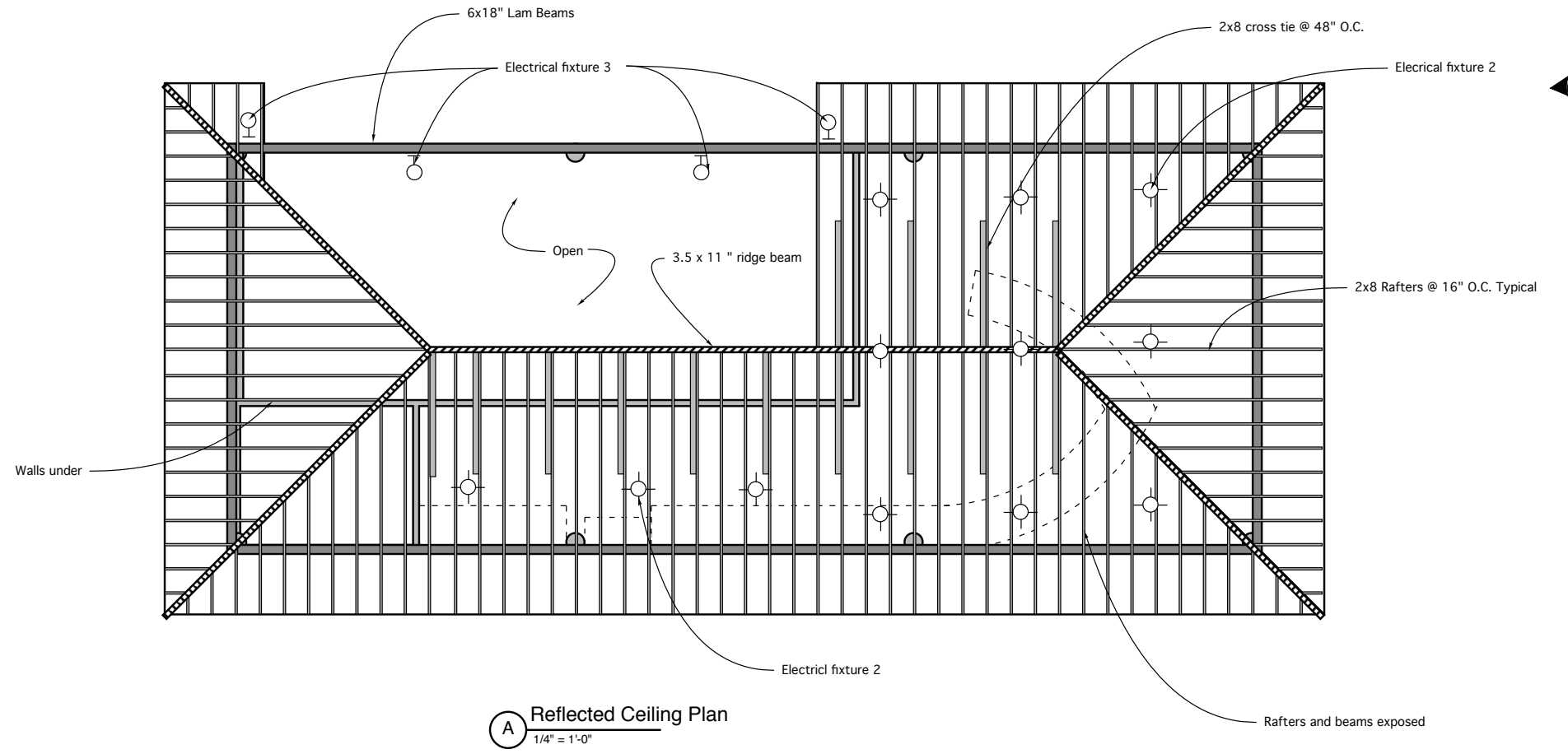
**D** Pass thru Door  
3/4" = 1'-0"

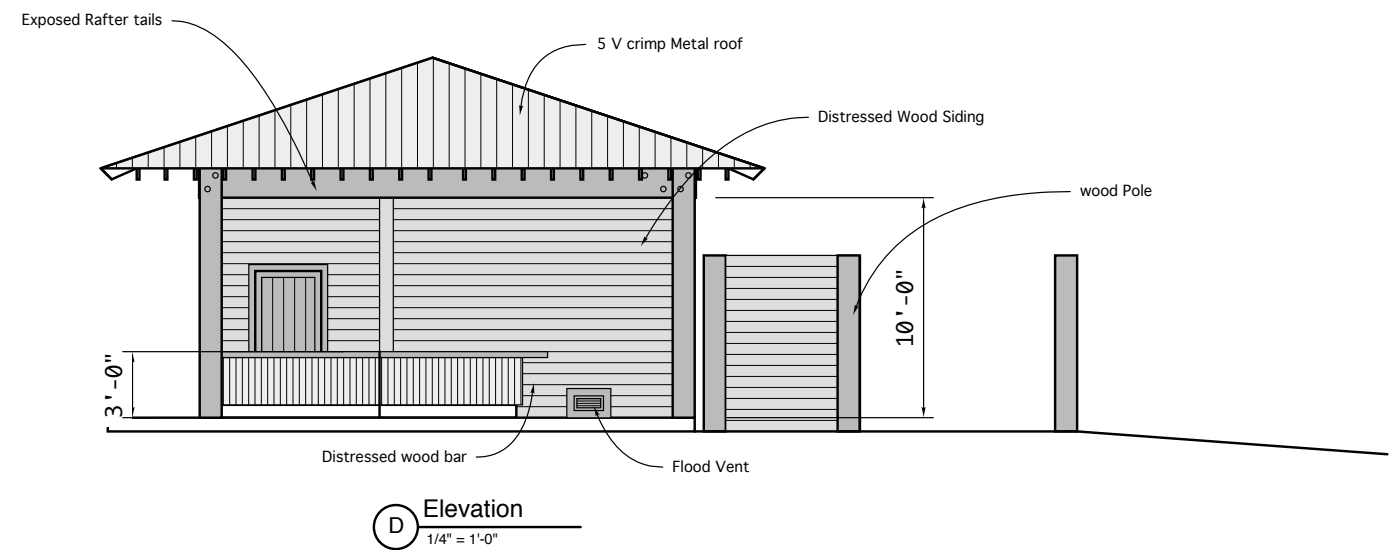
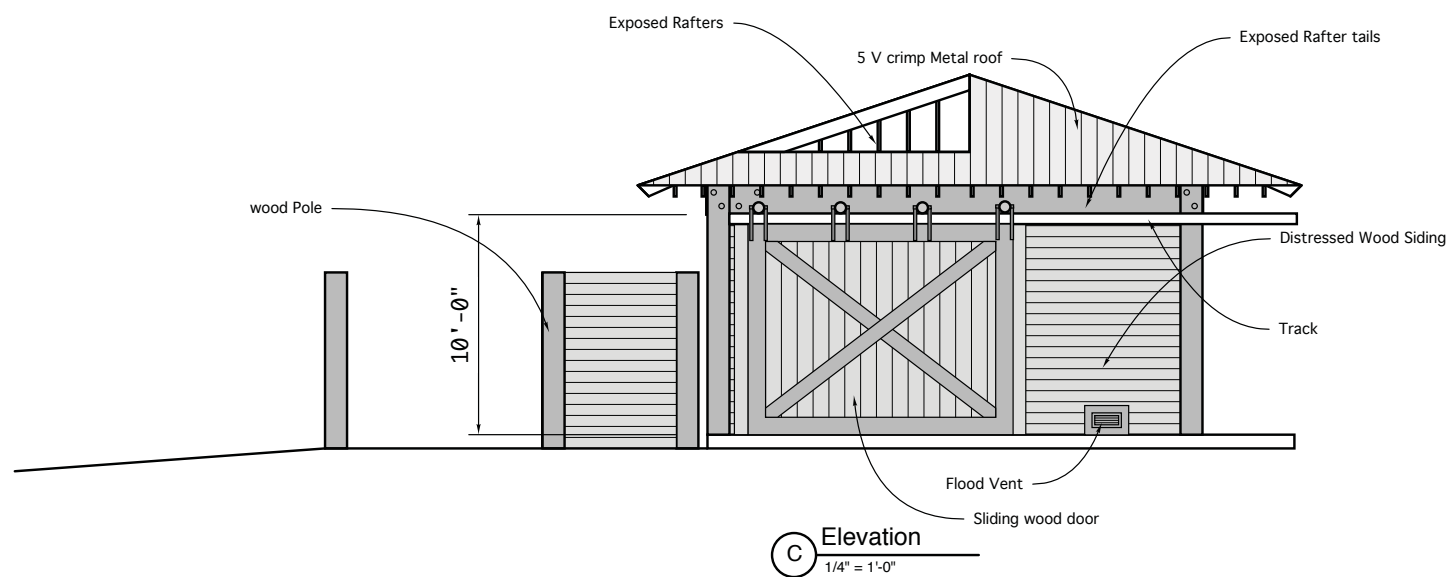
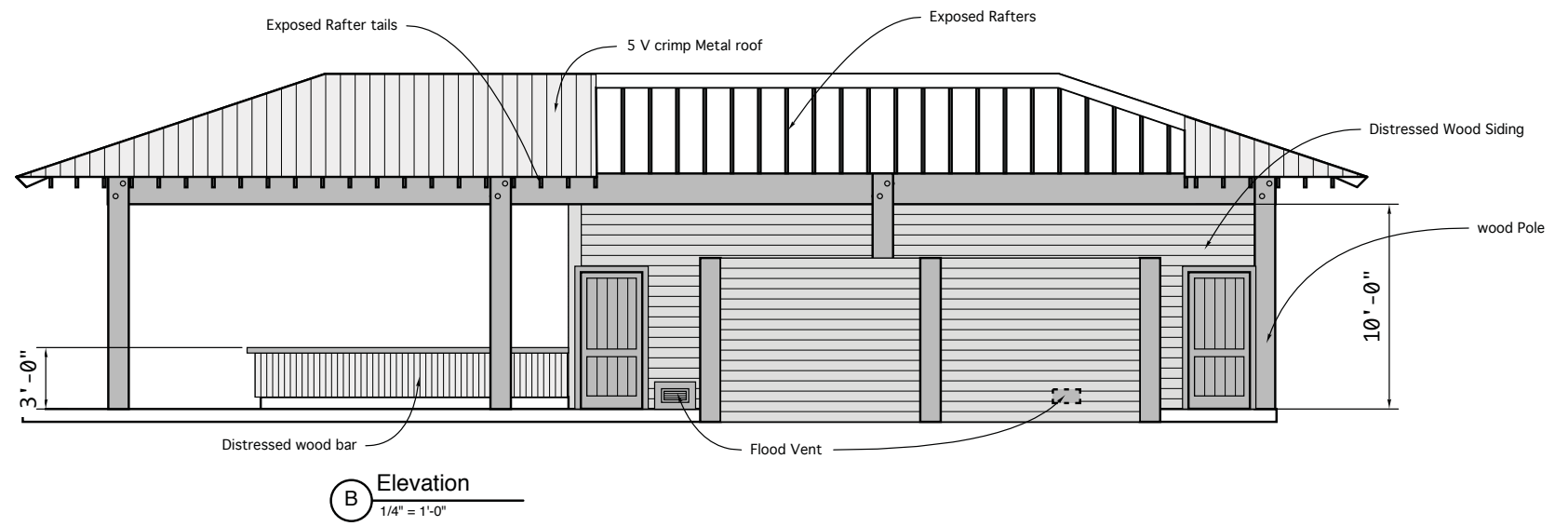
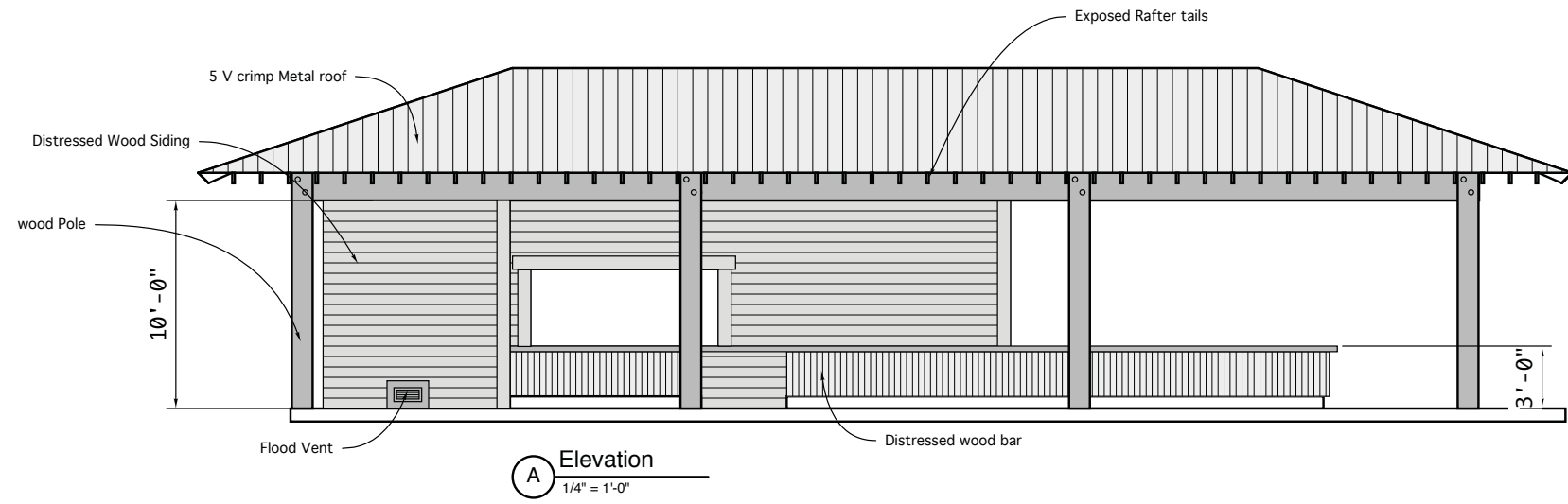
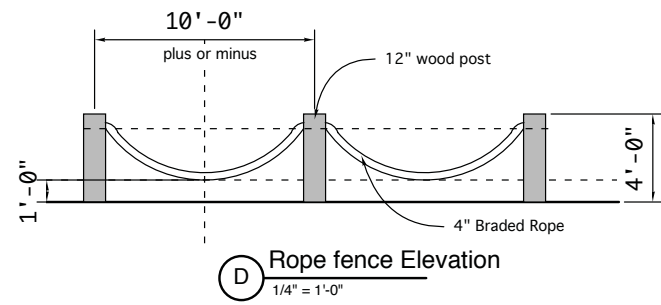


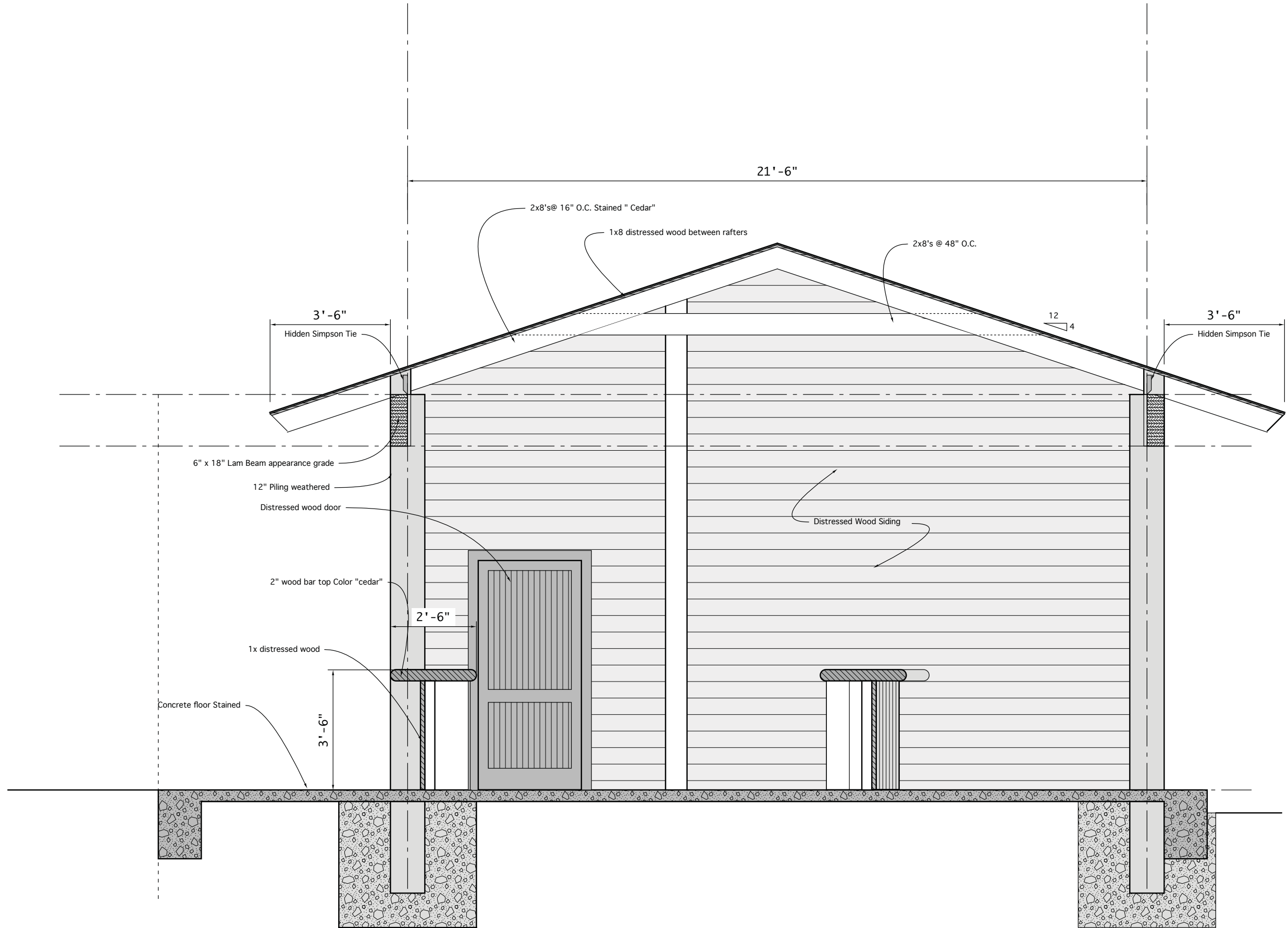
**E** Pass thru Door  
3/4" = 1'-0"



**F** Pass thru Door Hardware  
NTS



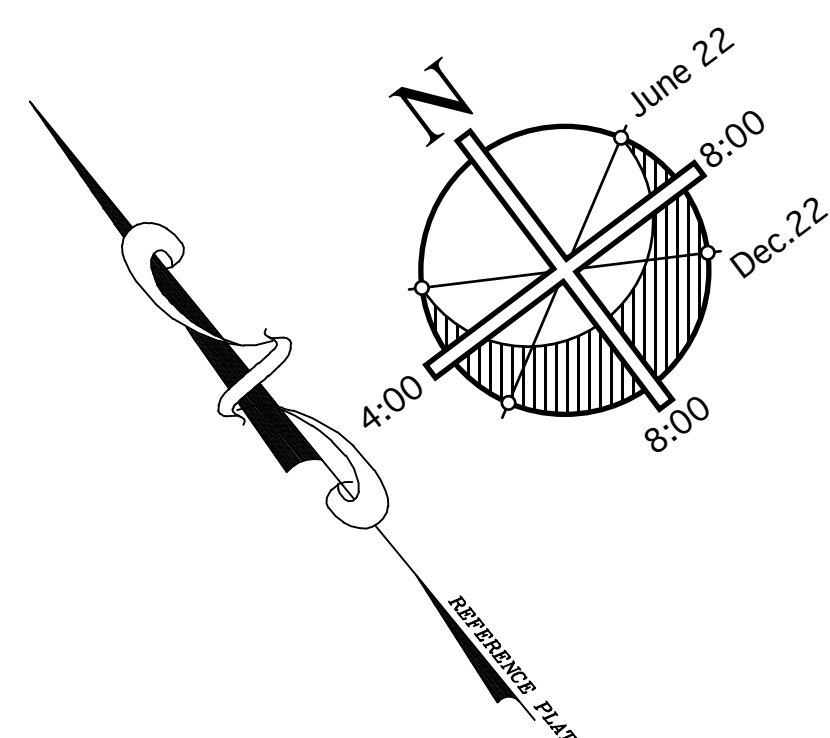
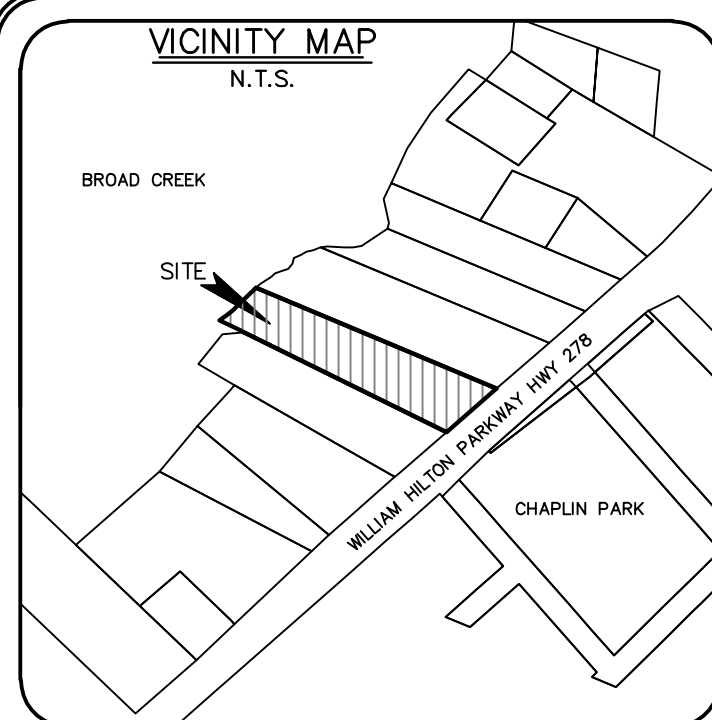




# Mullet's Restaurant

614 William Hilton Parkway  
 Hilton Head IS SC





LINE	LENGTH	BEARING
L1	9.14	S 39°46'22" W
L2	28.46	S 55°21'16" W
L3	18.27	S 42°31'44" W
L4	24.81	S 44°23'04" W
L5	24.00	S 82°36'40" W
L6	27.55	S 37°59'55" W

01 Led Tree Uplights  
28 WATT LED LANDSCAPE BULLET FLOOD LIGHT SERIES 2, 2800LUMENS, 1/2" KNUCKLE MOUNT, 3000K WARM WHITE COLOR TEMPERATURE



Price: \$67.47 Write a review

Wattage: 28W **2600 Lumens**

Color Temperature: 3000K Warm White

Mounting: 1/2" Knuckle Mount

Qty: 1 **ADD TO CART**

Product Code: LED-LANDSCAPE-BULLET-SERIES-2

LEDs not to exceed 3000k

R511 008 000 024L 0000  
APR ENTERPRISES LLC  
21 VIRGINIA RAIL LN  
HILTON HEAD ISLAND SC 29926

02 Led Ceiling mounted lights



Lithonia Lighting  
1-Light Grey Outdoor LED Ceiling/Hanging Vapor Light

Overview  
The Ceiling-Mount Outdoor Grey LED Vapor Light Light from includes one (1) bulb. It is easy to mount and comes fully g... installation. The rugged construction is designed to protect t...

13 watts 1300 Lumens

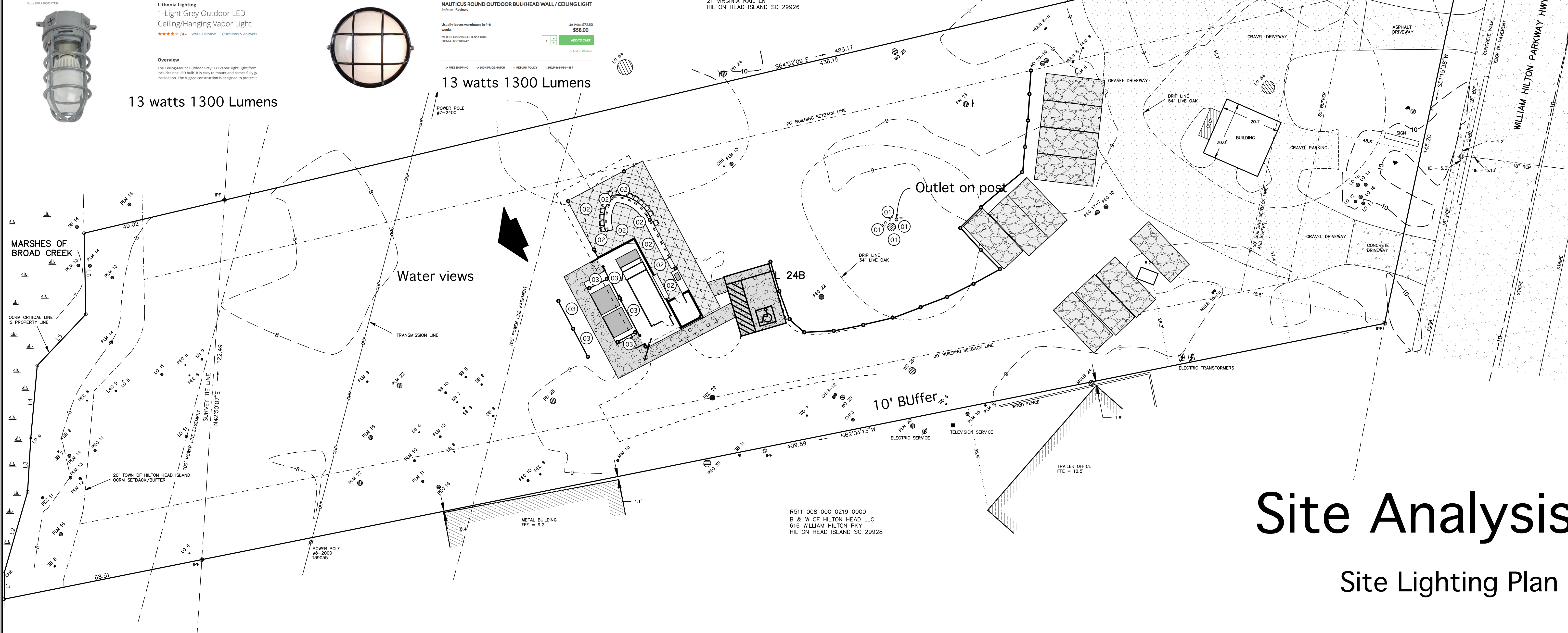
03 Led Wall mounted lights



NAUTILUS ROUND OUTDOOR BULKHEAD WALL / CEILING LIGHT

Usually leaves warehouse in 4-6 weeks  
List Price: \$72.50  
**\$58.00**

13 watts 1300 Lumens



# Site Analysis

## Site Lighting Plan

REFERENCE PLATS

- 1) A PLAT OF SURVEY LAND OF ANNA MAE BOLDEN, HILTON HEAD ISLAND, BEAUFORT COUNTY, S.C. DRAWN: 4/09/74 RECORDED IN DEED BOOK 220, PAGE 1068 ROD: BEAUFORT COUNTY, SC BY: K.T. DUBIS S.C.R.L.S. # 2823
- 2) AN ASBUILT LAND SURVEY OF R510 008 000 024B, A PORTION OF FAIRFIELD VILLAGE AREA, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 4/29/15 ROD: BEAUFORT COUNTY, SC BY: MICHAEL R. DUNIGAN S.C.R.L.S. # 11905

PROPERTY AREA = 1.37 AC. 50,833 S.F. TO OCRM CRITICAL LINE  
ADDRESS: 614 WILLIAM HILTON PARKWAY  
DISTRICT: 511, MAP: 8, PARCEL: 24B  
THIS PROPERTY LIES IN F.E.M.A. ZONE A7  
BASE FLOOD ELEVATION = 14.0'  
COMMUNITY NO. 450250, PANEL 0014D, DATED: 9/29/86

LEGEND & SYMBOLS:

- TREE SIZES ARE INCHES IN DIAMETER
- IE SPOT ELEVATION
  - IFPF CONTOUR
  - TBM 1/2" IRON PIN FOUND
  - IE TEMPORARY BENCH MARK
  - IE INVERT ELEVATION
  - LO FINISHED FLOOR ELEVATION
  - LAO REINFORCED CONCRETE PIPE
  - LAO LIVE OAK
  - LAO LAUREL OAK
  - MULB MULBERRY
  - MIM MIMOSA
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - PEC PECAN
  - CH WILD CHERRY
  - SB SUGAR BERRY
  - EL ELECTRIC SERVICE
  - ET ELECTRIC TRANSFORMER
  - TS TELEPHONE SERVICE
  - TV TELEVISION SERVICE
  - SM STORM MANHOLE
  - CB CATCH BASIN
  - WL WATER LATERAL
  - FL FLOOD LIGHT

NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS LOCAL.
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- 8) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 9) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
- 10) THIS PROPERTY IS SUBJECT TO AN EASEMENT AGREEMENT WITH PALMETTO ELECTRIC RECORDED IN DEED BOOK 3053 AT PAGE 483.
- 11) THIS PROPERTY IS SUBJECT TO AN ENCROACHMENT AND EASEMENT AGREEMENT RECORDED IN DEED BOOK 1890 AT PAGE 1303.

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEYING STATUTES AND RULES FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOT VALID UNLESS EMBOSSED.

ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:  
TAX PARCEL R511 008 000 024B 0000,  
WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: FRESH as F LLC

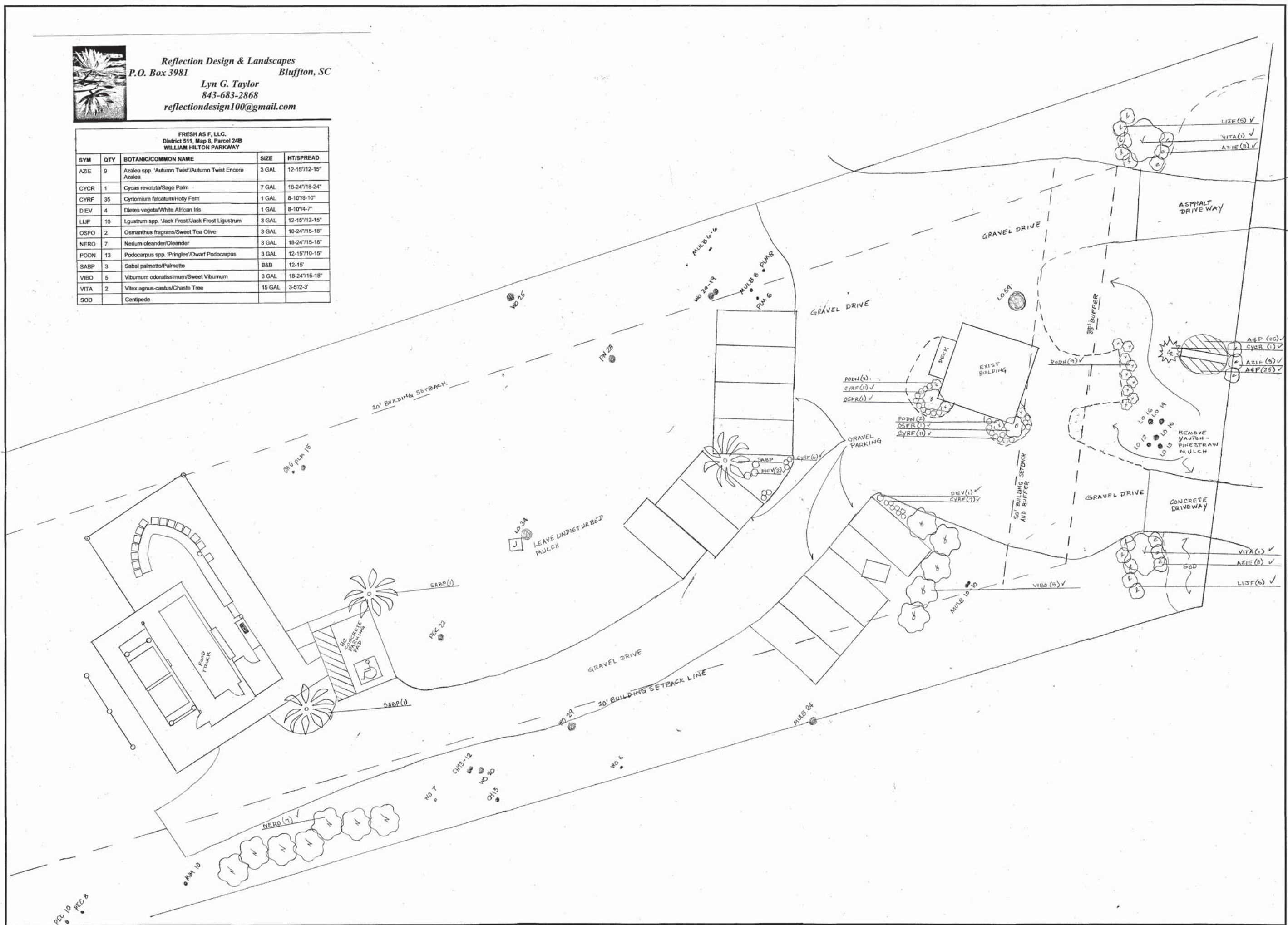
DATE: 12/14/16 SCALE: 1" = 16'

Sea Island Land Survey, LLC.  
4D Mathews Court,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: sils@sprynet.com  
FILE No.: 16239 DWG No.: 3-2088



Reflection Design & Landscapes  
 P.O. Box 3981  
 Bluffton, SC  
 Lyn G. Taylor  
 843-683-2868  
 reflectiondesign100@gmail.com

FRESH AS F, L.L.C. District 511, Map 8, Parcel 24B WILLIAM HILTON PARKWAY				
SYM	QTY	BOTANIC/Common NAME	SIZE	HT/SPREAD
AZIE	9	Azalea spp. 'Autumn Twist'/Autumn Twist Encore Azalea	3 GAL	12-15"/12-15"
CYCR	1	Cycas revoluta/Sago Palm	7 GAL	18-24"/18-24"
CYRF	35	Cyrtomium falcatum/Holly Fern	1 GAL	8-10"/8-10"
DIEV	4	Dietes vegeta/White African Iris	1 GAL	8-10"/4-7"
LJUF	10	Ligustrum spp. 'Jack Frost'/Jack Frost Ligustrum	3 GAL	12-15"/12-15"
OSFO	2	Osmanthus fragrans/Sweet Tea Olive	3 GAL	18-24"/15-18"
NERO	7	Nerium oleander/Oleander	3 GAL	18-24"/15-18"
PODN	13	Podocarpus spp. 'Pringles'/Dwarf Podocarpus	3 GAL	12-15"/10-15"
SABP	3	Sabal palmetto/Palmetto	B&B	12-15"
VIBO	5	Viburnum odoratissimum/Sweet Viburnum	3 GAL	18-24"/15-18"
VITA	2	Vitex agnus-castus/Chaste Tree	15 GAL	3-5/2-3"
SOD		Centipede		



REVISIONS	BY

Reflection Design & Landscapes  
 Bluffton, SC  
 Lyn G. Taylor  
 843-683-2868  
 reflectiondesign100@gmail.com



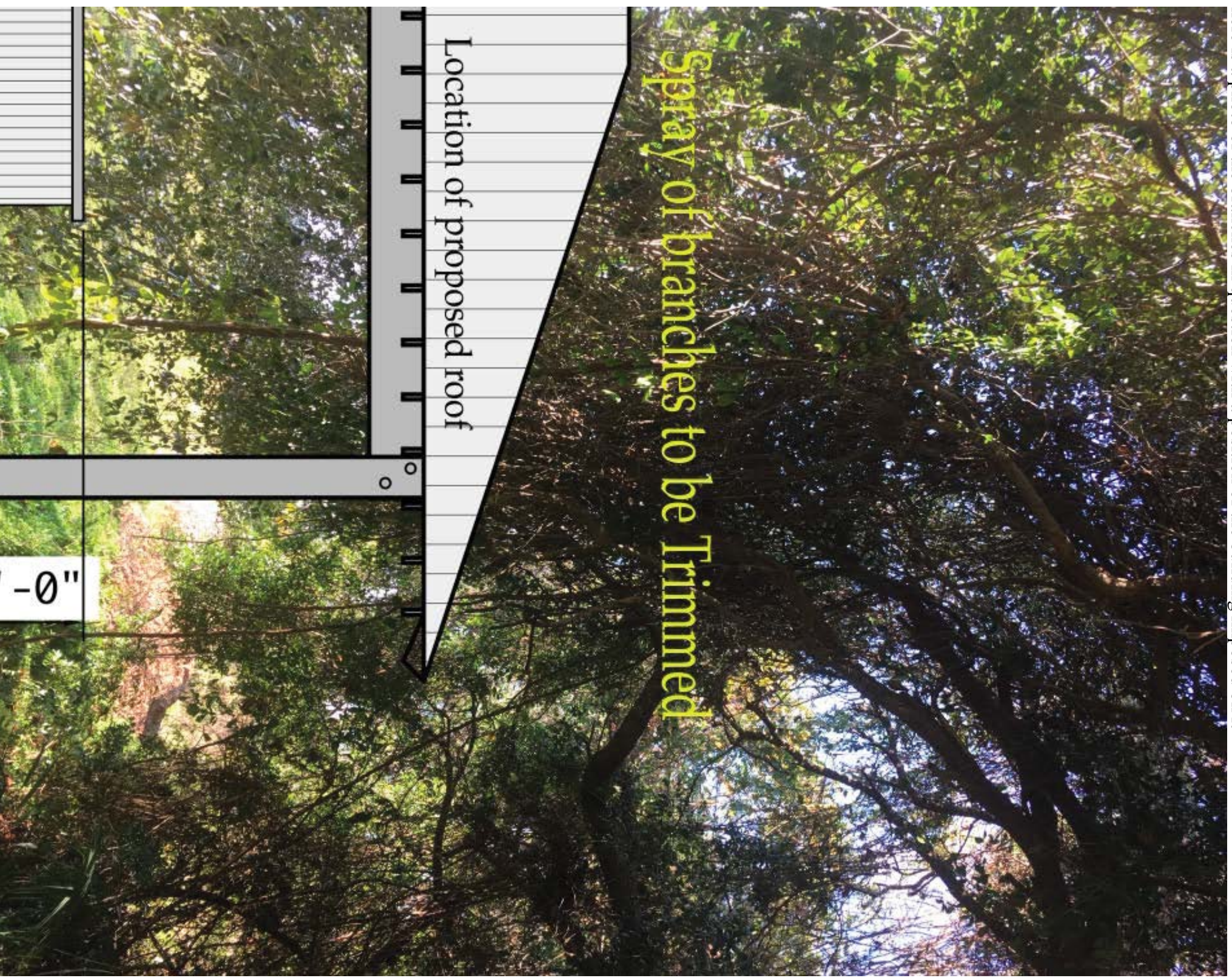
FRESH AS F, L.L.C.  
 District 511, Map 8, Parcel 24B  
 WILLIAM HILTON PARKWAY

Date 11-2017  
 Scale 1" = 10'  
 Drawn lgtaylor  
 Job FFOZ  
 Sheet 1  
 Of 1 Sheets

**From:** [Scott D Corkern](#)  
**To:** [Dannell Chris](#)  
**Subject:** tree trimming  
**Date:** Thursday, December 14, 2017 10:18:05 AM  
**Attachments:** [Branches trimmed.png](#)

---

the Arborist we are planning to use is Michael Murphy.  
here is a photo of the branches in question with a position of the building imposed on it



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Mullets Pavilion

DRB#: DRB-002785-2017

DATE: 12/26/2017

RECOMMENDATION: Approval  Approval with Conditions  Denial

RECOMMENDED CONDITIONS:

1. Specify the height dimension on the porta potty screen detail.
2. Eliminate uplighting at base of large existing Live Oak.
3. Specify on the drawings that all light sources shall be 3000K or less.

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Design is unobtrusive and set into the natural environment	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Diagram illustrating the tree pruning is unclear what will be pruned however it is noted an arborist will do the work.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

### ***MISC COMMENTS/QUESTIONS***

1. Dimension the height of the porta potty screen.
2. Since the business does not maintain evening hours, eliminate uplighting at the existing live oak or provide detail of power supply installation that protects tree roots.
3. The Lithonia fixture list an LED light source at 4000K. Change to 300K.



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

FOR OFFICIAL USE ONLY	
Date Received:	12/26/17
Accepted by:	KO
DRB #:	2881-17
Meeting Date:	

Applicant/Agent Name: JAMES OGDEN Company: JAMES OGDEN, ARCHITECT  
 Mailing Address: 71 HONEY LOCUST CIRCLE City: HILTON HEAD State: SC Zip: 29926  
 Telephone: 843-368-2851 Fax: --- E-mail: JOGDEN@MAIL.COM  
 Project Name: LUCKY ROOSTER TERRACE Project Address: 841 WILLIAM HILTON PARKWAY  
 Parcel Number [PIN]: R520 011 000 0250 0000 SUITE A  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
 Final Approval – Proposed Development  Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

\_\_\_\_\_ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
  - \_\_\_\_\_ Proposed landscaping plan.
- For wall signs:
- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
  - \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.

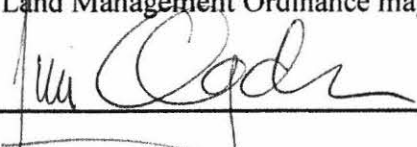
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

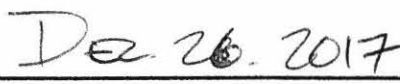
*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

\_\_\_\_\_  
SIGNATURE 

\_\_\_\_\_  
DATE 

**JAMES OGDEN**  
**A R C H I T E C T**

(843) 368-2851      jogden@mail.com

71 Honey Locust Circle,  
Hilton Head Island, SC.      29926

Dec. 26, 2017

## The Lucky Rooster Restaurant New Covered Terrace

### **841 William Hilton Parkway, Hilton Head Island, SC**

Clayton Rollinson, owner of the Lucy Rooster Restaurant is submitting a conceptual design proposal for construction a roof over the existing exterior terrace at the restaurant. The footprint of the terrace will remain as at present – approximately 52'-0" x 30'-0".

The structure will consist of 4 columns (one at each corner), 2 steel beams (one at each end perpendicular to the Parkway façade), and clear span open web trusses running parallel to the parkway façade.

A decorative structure, clad in 'Hardie' siding, with arched openings and sloped edge corner columns will hide the structure. The roof membrane, in corrugated metal hidden behind the parapet fascia will slope down ¼ :12 from right to left along the parkway façade.

The large opening facing the parkway will incorporate renovated planters with new flowering Confederate jasmine vines creating a green wall between restaurant patrons and the adjacent parking area. The arched opening facing the main parking area will be open save for the existing planted area encircled by the existing walkways.

Inside the newly covered terrace, 'Tivoli' LED lights will be used for illumination as at present.

A new wait staff door will be added from the existing interior service station to the covered existing terrace. A new service station will be located on the terrace.

**JAMES OGDEN**  
**A R C H I T E C T**

(843) 368-2851      jogden@mail.com

71 Honey Locust Circle,  
Hilton Head Island, SC.      29926

**Lucky Rooster Restaurant**  
**New Roof over Exist. Terrace**

**Colors**

Horizontal Wood – Cabot's Semi-Transparent Stain – Cinder



Vertical Board & Batten – SW 7047 Porpoise  
(present B&B color on bldg.. in exist. terrace)



New Shutters – SW 7591 Red Barn  
(present B&B color on restaurant entry)



**Plants**

Vertical Trellis – Confederate Jasmine

Planter boxes - Muhly Grass  
- Cinnamon Fern





HINKLEY  
LIGHTING



### HINKLEY H16012MZLED "HARDY ISLAND" DECK LIGHT

**Item:** H16012MZLED

**Finish:** Matte Bronze

~~List Price: \$281.67~~

**Price: \$187.87**

#### Details and Dimensions

Height 18-1/2"

Bulb Type CFL

Total Fixture Wattage 3.8 W

Color Rendering Index 80 CRI

Voltage 12V

Width 7-1/2"

Bulb(s) Included Yes

Color Temperature Range Warm White

Glass Type Etched Lens

Construction Cast Brass

Number of Bulbs 1

Max. Wattage Per Bulb 3.8 W

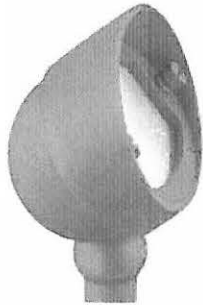
Color Temperature 2700K

Suitable Installation Wet

Shade Material Glass



HINKLEY  
LIGHTING



## HINKLEY H16571MZLED "HARDY ISLAND" OUTDOOR ACCENT LIGHT

**Item:** H16571MZLED

**Finish:** Matte Bronze

List Price: \$214.98

**Price: \$143.39**

### Details and Dimensions

Height 5"

Bulb(s) Included Yes

Color Temperature Range Warm White

Glass Type Frosted Lens

Shade Material Glass

Width 4"

Max. Wattage Per Bulb 4 W

Color Temperature 2700K

Voltage 12V

Wire Length 18"

Bulb Type LED

Total Fixture Wattage 4 W

Color Rendering Index 80 CRI

Weight 2 lbs



Elevation of shops to right of the Lucky Rooster Restaurant



 **LUCKY ROOSTER**  
KITCHEN + BAR



VICINITY MAP  
N.T.S.

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	DELTA
C1	31.06'	39.00'	16.41'	30.25'	S. 61°14'07" E 45°38'18"
C2	11.85'	15.00'	6.25'	11.54'	S. 61°14'07" E 45°14'46"

LINE TABLE		
LINE	LENGTH	BEARING
L1	22.82'	S. 49°18'41" W
L2	47.52'	S. 38°24'20" E
L3	43.94'	N. 51°30'30" E
L4	82.89'	S. 38°24'20" E

WILLIAM HILTON PARKWAY (U.S. HIGHWAY 278)  
R/W VARIES

GREENWOOD  
DEVELOPMENT CORP.  
TAX PARCEL I.D. No. R520-015-000-0002-0000  
BUFFER

LOT 213  
TAX PARCEL I.D. No. R520-016-004-0212-0000

LOT 212  
TAX PARCEL I.D. No. R520-016-004-0211-0000

LOT 211  
TAX PARCEL I.D. No. R520-016-004-0210-0000

PARKWAY MEDICAL PARCEL  
ADDRESS: #845 WILLIAM HILTON PARKWAY  
TAX PARCEL I.D. No. R520-011-000-0208-0000

PHASE I  
ADDRESS: #841 WILLIAM HILTON PARKWAY  
TAX PARCEL I.D. No. R520-011-000-0209-0000

PHASE II  
ADDRESS: #843 WILLIAM HILTON PARKWAY  
TAX PARCEL I.D. No. R520-011-000-0205-0000  
(NOT ALL IMPROVEMENTS SHOWN)

EXIST. TERRACE  
TO BE COVERED

N/F CHIMNEY COVE  
TAX PARCEL I.D. No. R520-012-000-0020-0000

THE LUCKY ROOSTER  
NEW TERRACE

GREENWOOD DEVELOPMENT CORP.  
TAX PARCEL I.D. No. R520-015-000-0002-0000

AREA TABLE	
PHASE I	= 2.42 Ac.
PHASE II	= 0.99 Ac.
PARKWAY MEDICAL PARCEL	= 0.96 Ac.
TOTAL AREA SURVEYED	= 4.37 Ac.

- LEGEND
- TEL TELEPHONE BOX
  - TV CABLE TELEVISION BOX
  - TFR TRANSFORMER
  - CO CLEAN-OUT
  - FH FIRE HYDRANT
  - WV WATER VALVE
  - WM WATER METER
  - CL GROUND LIGHT
  - LP LAMP POST
  - GI GRATE INLET
  - PT UNDERGROUND PROPANE TANK

- REFERENCE PLATS:
- BOUNDARY SURVEY OF: PHASE I AND PHASE II, SOUTH ISLAND SQUARE (3.411 ACRES), U.S. HWY. 278, DATE: 5/23/2000, BY: JACK JONES, S.C.R.L.S. NO. 13852, RECORDED: P.B. 74, PG. 186, 6/2/2000.
  - A PLAT OF THE ROADSIDE, U.S. HWY. 278, HILTON HEAD ISLAND, DATE: 3/2/1984, BY: JERRY L. RICHARDSON, S.C.R.L.S. NO. 4784, RECORDED: P.B. 32, PG. 65, 3/23/1984.
  - AS-BUILT SURVEY FOR PRUDENTIAL SERVICES, SOUTH ISLAND SQUARE (3.411 ACRES), U.S. HWY. 278, DATE: 12/15/1999, BY: M.A. DUNHAM, S.C.R.L.S. NO. 11590.
  - PLAT SHOWING INVERNESS PARCEL NO.5, TRACT "C", PALMETTO DUNES, DATE: 9/28/1973, REVISED: 11/17/1973, BY: ROY HUSSEY, S.C.R.L.S. NO. 2373, RECORDED: P.B. 21, PG. 141.
  - ASBUILT & TREE SURVEY OF PHASE I OF SOUTH ISLAND SQUARE & PARKWAY MEDICAL PARCEL, U.S. HIGHWAY 278, DATE: 8/22/2007, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.
  - BOUNDARY & ASBUILT SURVEY OF 0.96 ACRE, PARKWAY MEDICAL CENTER, WILLIAM HILTON PARKWAY, DATE: 10/30/2007, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 123, PG. 51, 12/18/2007.

- NOTES
- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
  - PER REFERENCE PLAT #1 THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A-2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 14-D, COMMUNITY NO. 450250, MAP DATED 9/29/86, BASE ELEVATION 14.6', FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
  - UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT.
  - BEARINGS AND DISTANCES IN PARENTHESES ARE FROM REFERENCE PLAT.

PREPARED FOR: SOUTHEASTERN COMMERCIAL SERVICES, INC.  
ADDRESS: #841 & #845 WILLIAM HILTON PARKWAY  
TAX PARCEL I.D. No. R520-011-000-0258&025C-0000



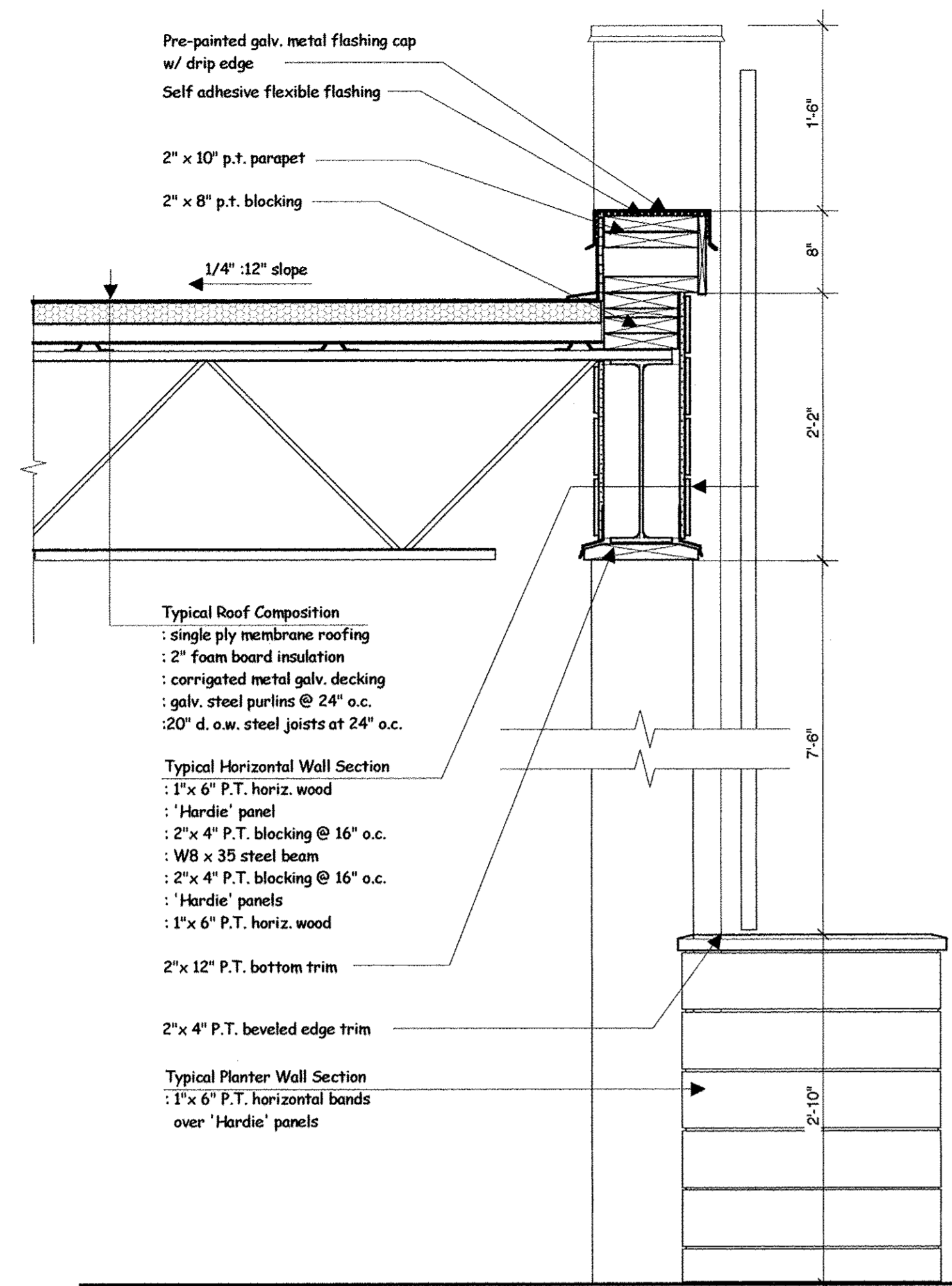
SG SURVEYING CONSULTANTS  
17 Sherrington Drive, Suite C, Bluffton, SC 29910  
SC Telephone: (843) 815-3304 FAX: (843) 815-3305  
GA Telephone: (912) 828-2775  
COPYRIGHT © BY SURVEYING CONSULTANTS

PHASE I & II OF SOUTH ISLAND SQUARE  
& PARKWAY MEDICAL PARCEL  
U.S. HIGHWAY 278

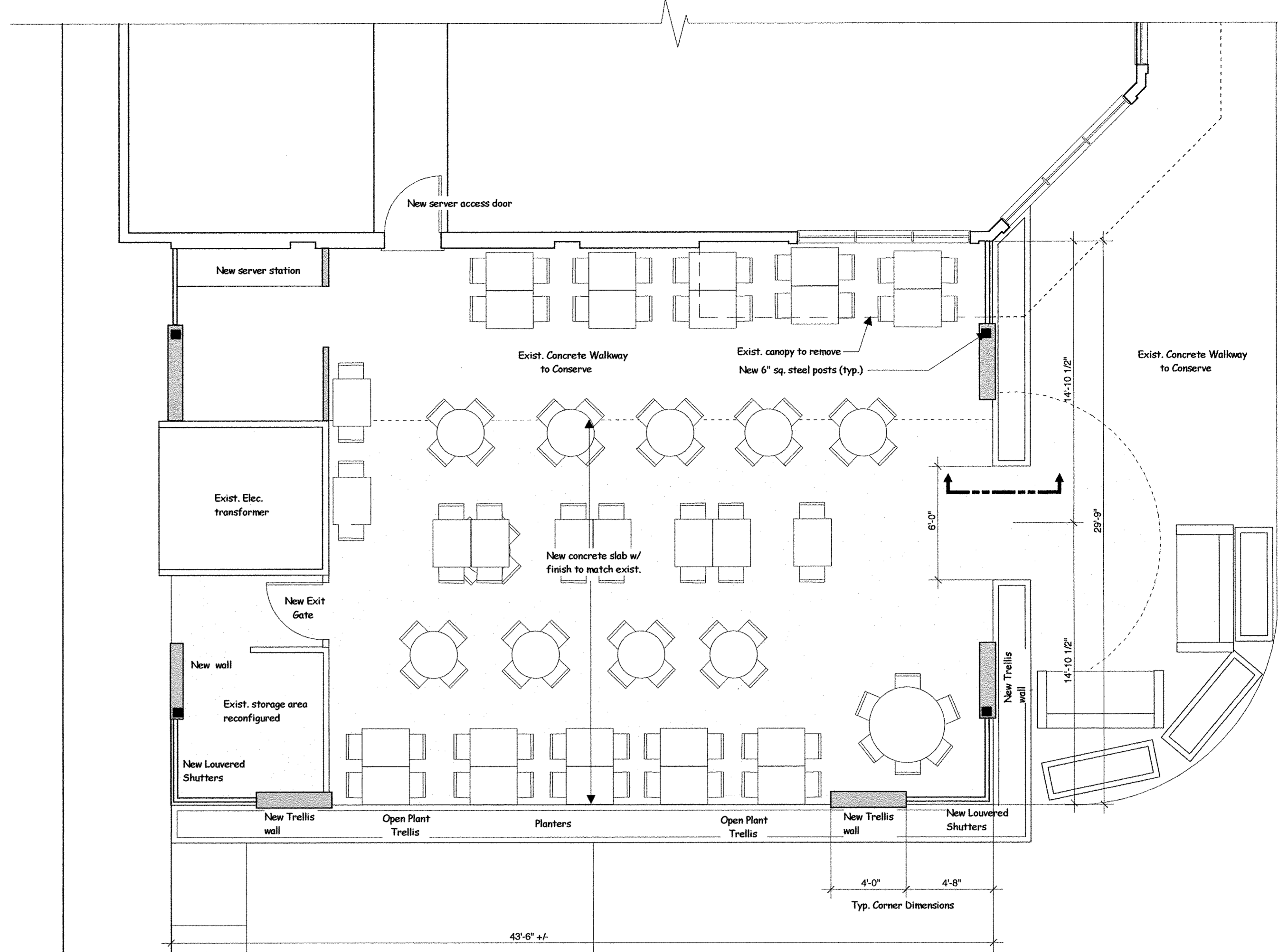
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
SCALE: 1" = 30' DATE: 07/15/2011 JOB NO: SC07123B

BOUNDARY  
SURVEY OF

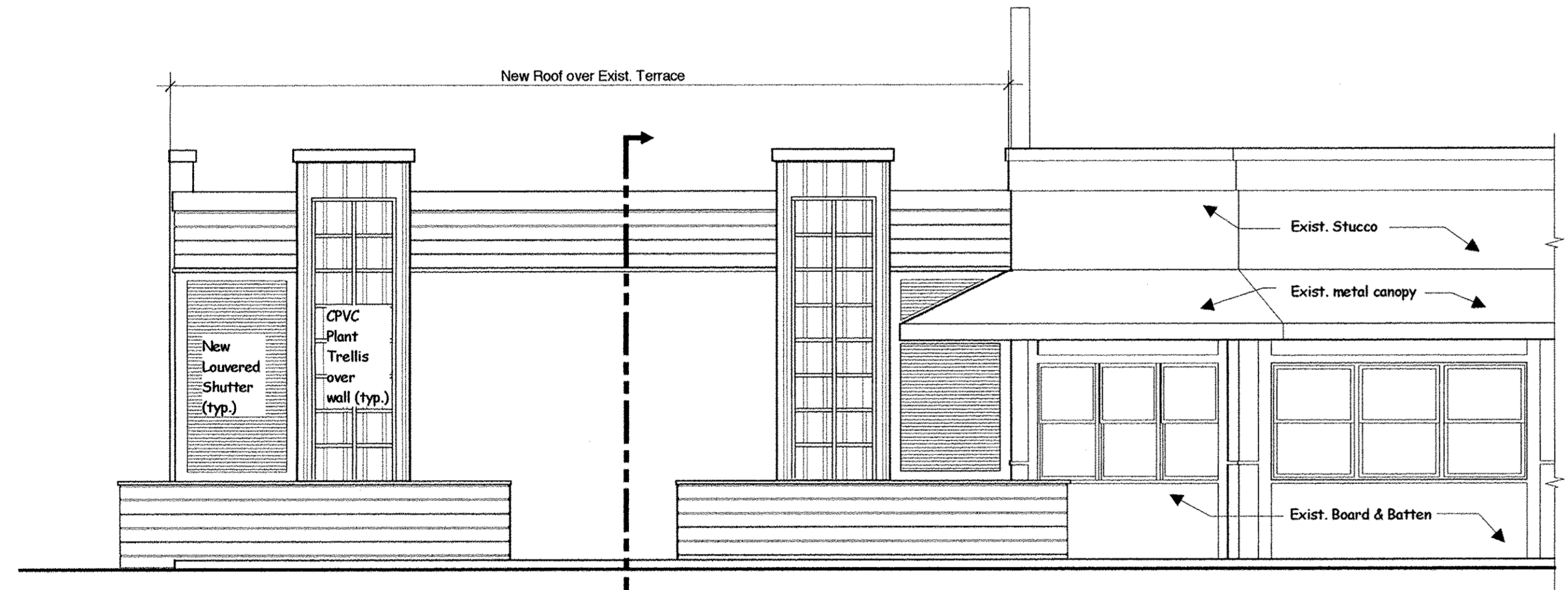
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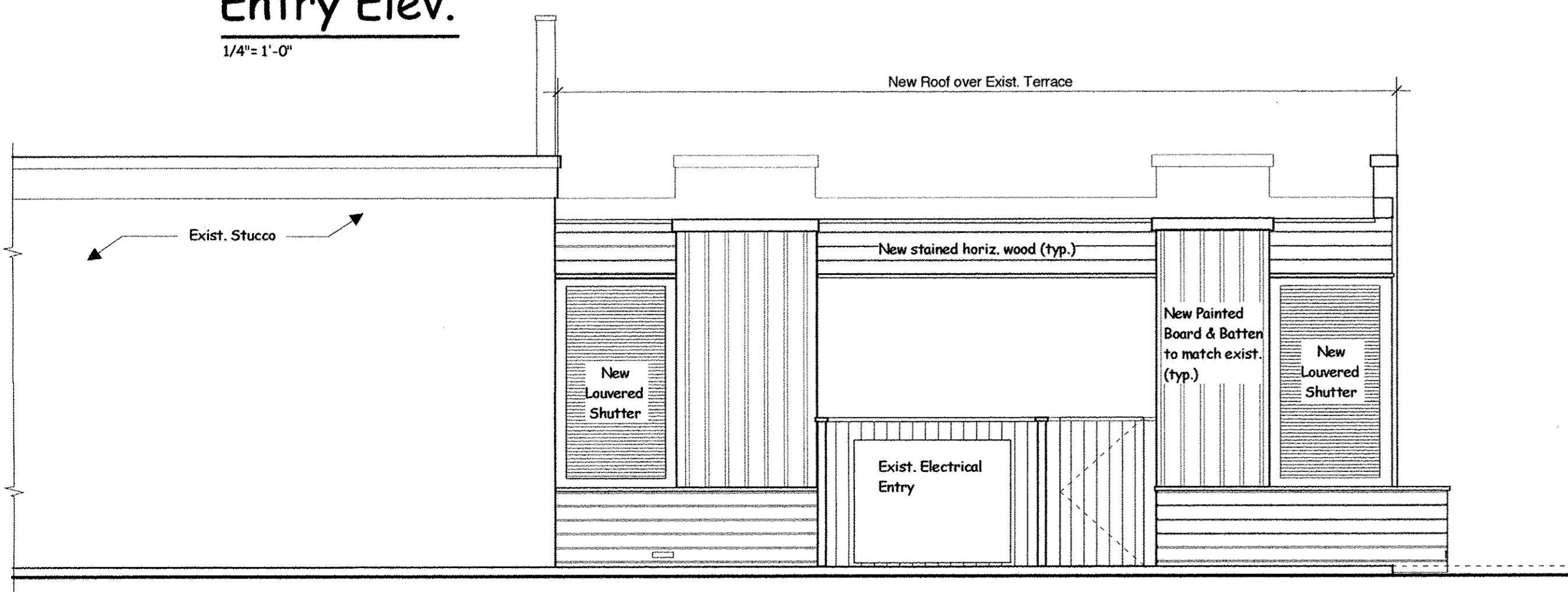
**Typ. Side Wall Detail Section**  
1" = 1'-0"



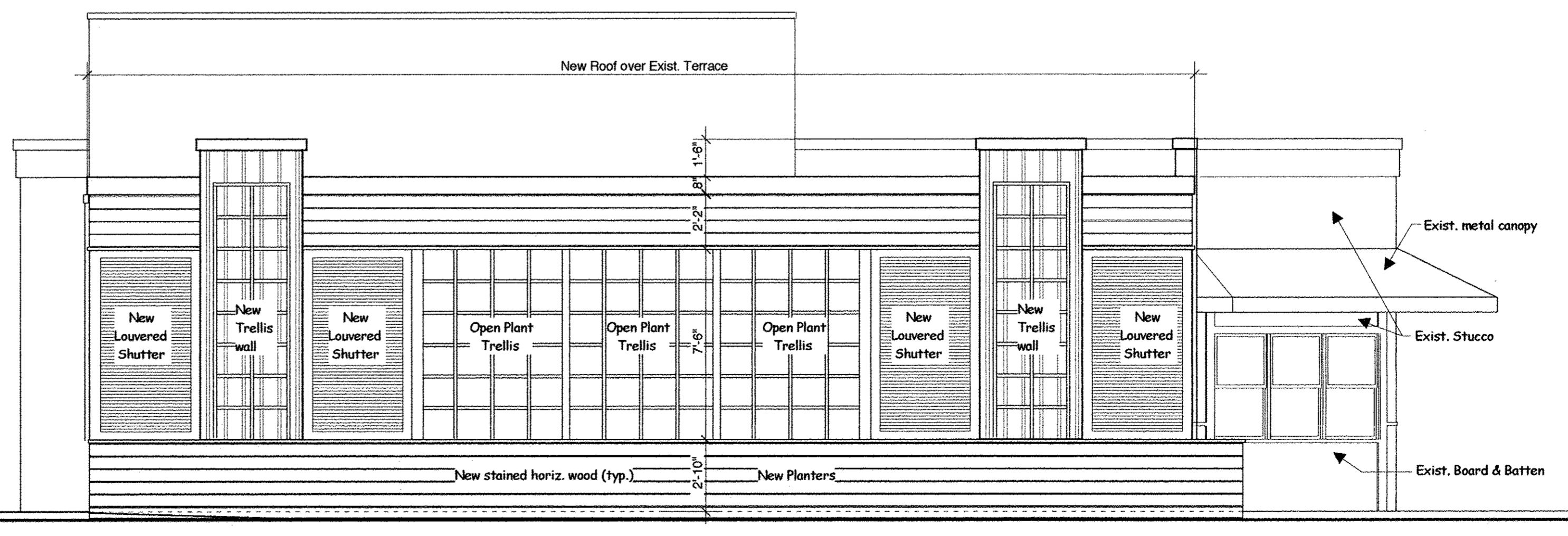
**Terrace Plan**  
1/4" = 1'-0"



**Entry Elev.**  
1/4" = 1'-0"



**Service Elev.**  
1/4" = 1'-0"



**William Hilton Parkway Elev.**  
1/4" = 1'-0"

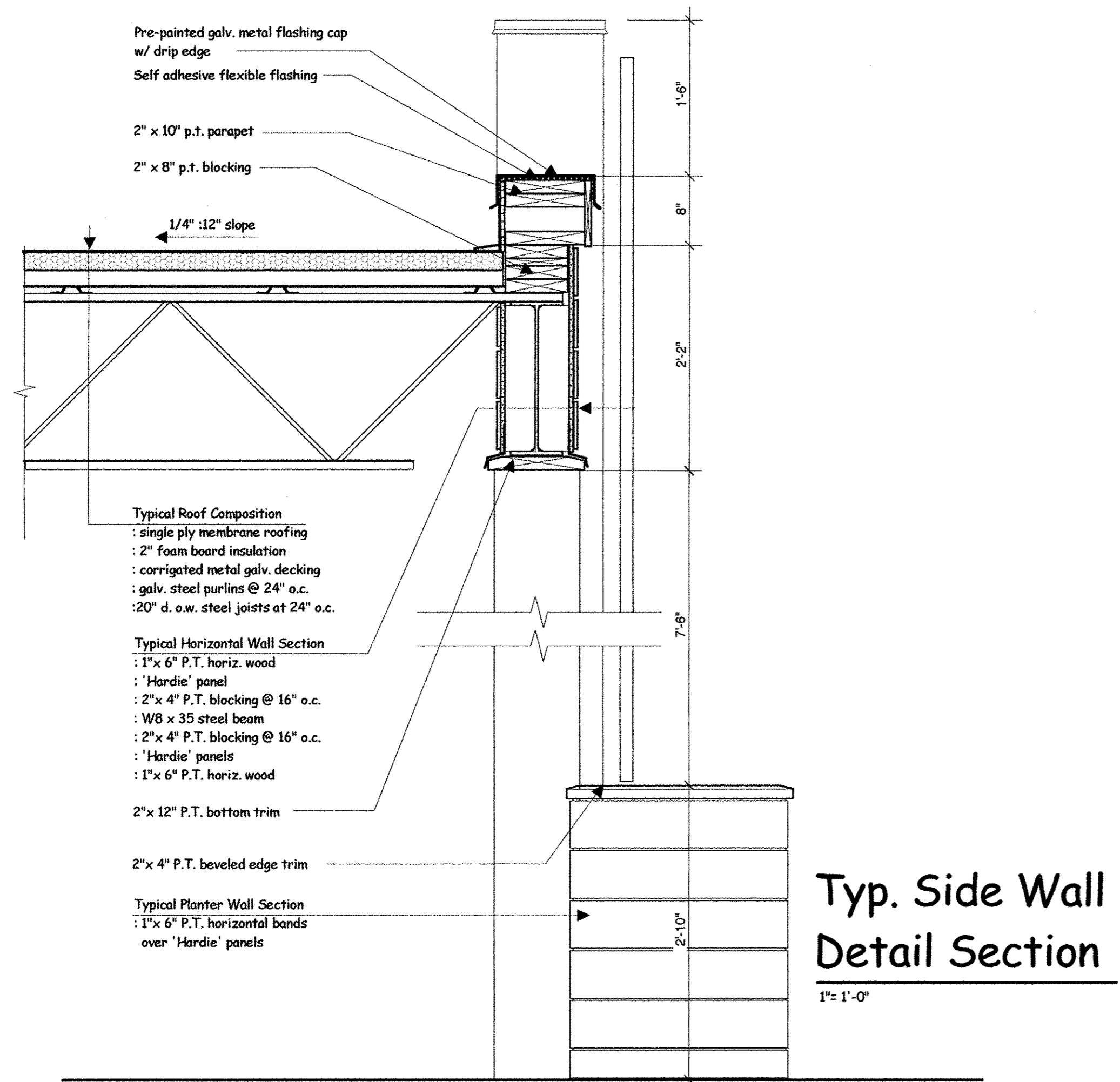
**The Lucky Rooster Restaurant Covered Terrace**  
841 Willain Hilton Parkway, Unit A  
Hilton Head Island, Beaufort County, SC

**JAMES OGDEN ARCHITECT**

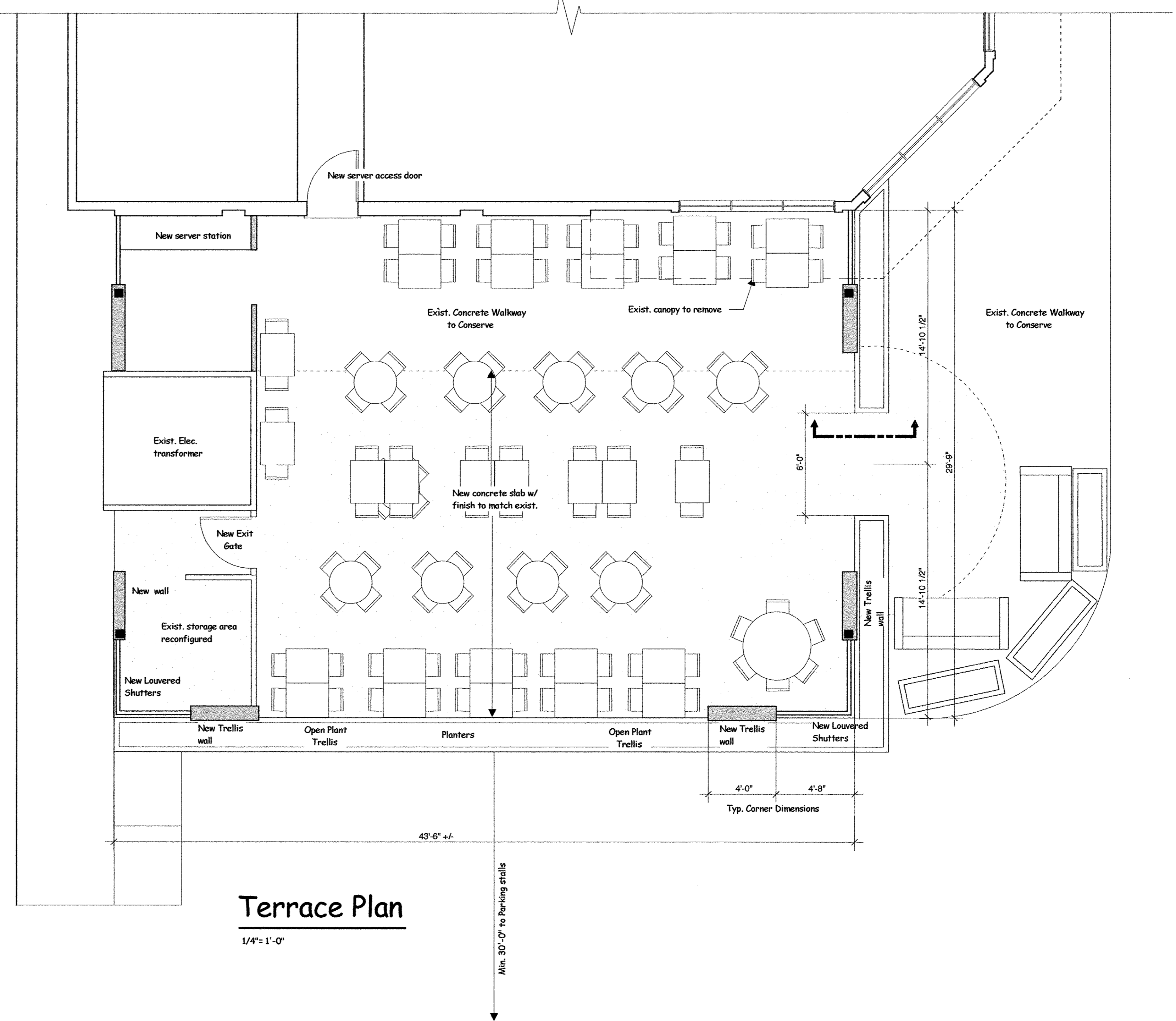
71 Honey locust Circle  
Hilton Head Island, SC.  
29926

(843) 368-2851

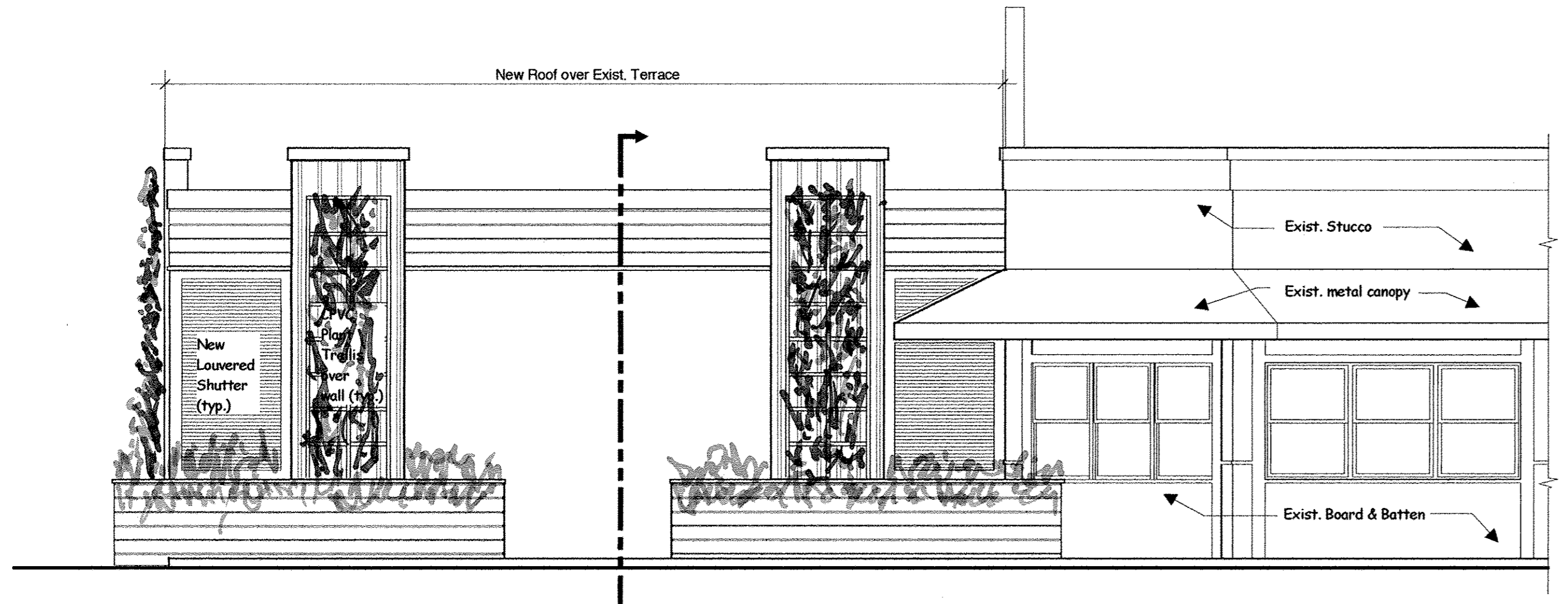
These documents and any and all reproductions are property of the architect. No use of these documents or reproductions is permitted without the specific written permission of the architect. These documents are prepared solely for the project indicated in the title and are not to be used or modified for any other project without the specific written consent of the architect. The architect retains Common Law, statutory, and other reserved rights including copyright.



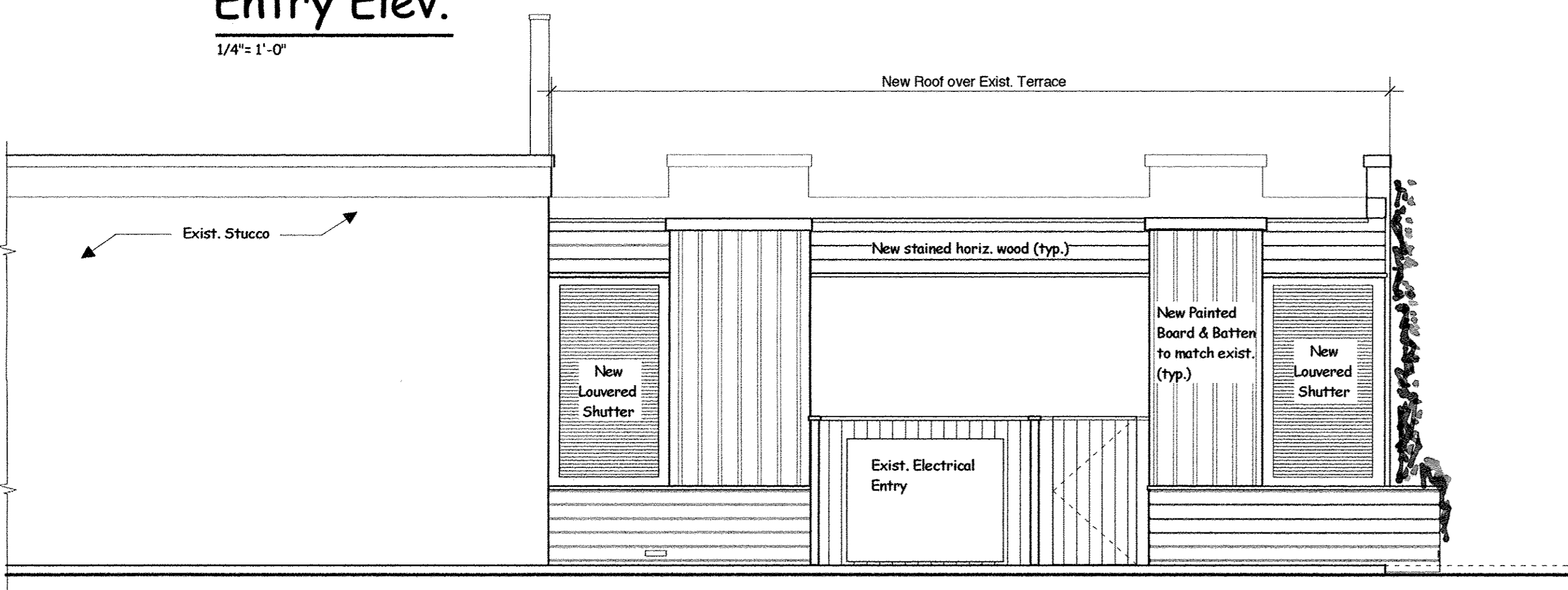
**Typ. Side Wall Detail Section**  
1"= 1'-0"



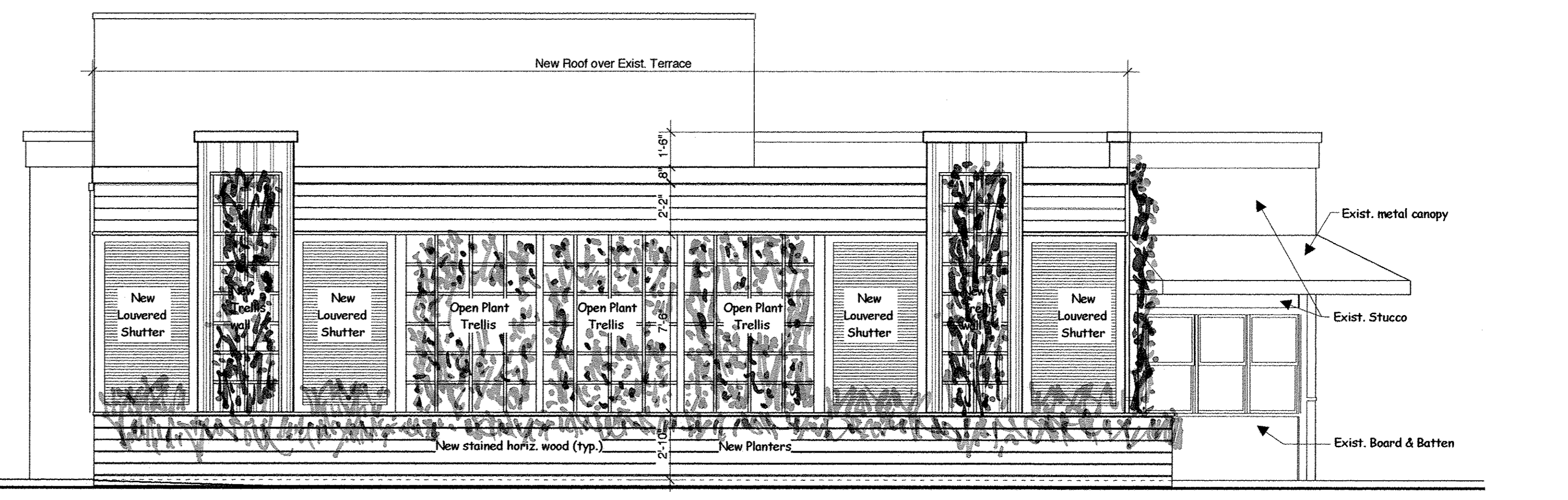
**Terrace Plan**  
1/4"= 1'-0"



**Entry Elev.**  
1/4"= 1'-0"



**Service Elev.**  
1/4"= 1'-0"



**William Hilton Parkway Elev.**  
1/4"= 1'-0"

**The Lucky Rooster Restaurant Covered Terrace**  
841 Willain Hilton Parkway, Unit A  
Hilton Head Island, Beaufort County, SC

**JAMES OGDEN ARCHITECT**

71 Honey locust Circle  
Hilton Head Island, SC.  
29926

(843) 368-2851

## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Lucky Rooster Terrace      DRB#: DRB-002881-2017

DATE: 01/02/2018

RECOMMENDATION:    Approval       Approval with Conditions       Denial

RECOMMENDED CONDITIONS:

1. Provide a Lighting Plan for Staff review and approval.
2. Provide a Planting Plan for Staff review and approval.

### ***ARCHITECTURAL DESIGN***

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

### ***MISC COMMENTS/QUESTIONS***

<ol style="list-style-type: none"> <li>1. Specify light fixture locations:               <ol style="list-style-type: none"> <li>a. One uplight at tall trellis features,</li> <li>b. Two pathlights at each entrance.</li> </ol> </li> <li>2. Provide a Planting Plan or description of the planting (suggest):               <ol style="list-style-type: none"> <li>a. Plant <i>Trachelospermum jasminoides</i> (Confederate Jasmine) – 12” on center for length of trellis.</li> <li>b. Specify a mix of filler plants that are capable of handling the extreme conditions of a planter (suggest);                   <ol style="list-style-type: none"> <li>i. <i>Nephrolepis obliterate</i> (Australian Sword Fern) – 18” on center,</li> <li>ii. <i>Tripsacum floridanum</i> (Dwarf Fakahatchee Grass) – 18” on center,</li> <li>iii. <i>Lantana</i> – 12” on center,</li> <li>iv. <i>Asparagus Densiflorus Meyeri</i> (Asparagus Foxtail Fern) – 12” / 18” on center.</li> </ol> </li> </ol> </li> <li>3. This project will need to meet the side setback and buffer requirements during the DPR process.</li> </ol>
---





Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
[www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Joy Walker Company: Sea Crest Development  
 Mailing Address: P.O. Box 5818 City: Hilton Head State: SC Zip: 29938  
 Telephone: 843-341-2288 Fax: 843-341-2290 E-mail: Joywalker@hargray.com  
 Project Name: Pool Bar Jims Project Address: 10 North Forest Beach Dr.  
 Parcel Number [PIN]: R552 018 000 00 1C 0000  
 Zoning District: RD Overlay District(s): OCRM

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

**Digital Submissions may be accepted via e-mail by calling 843-341-4757.**

Project Category:  
 Concept Approval – Proposed Development  Alteration/Addition  
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Submittal Requirements for *All* projects:  
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 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

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**Concept Approval – Proposed Development**  
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 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.  
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.  
 Context photographs of neighboring uses and architectural styles.  
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.  
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
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- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
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- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- \_\_\_\_\_ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- \_\_\_\_\_ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- \_\_\_\_\_ Proposed landscaping plan.

For wall signs:

- \_\_\_\_\_ Photograph or drawing of the building depicting the proposed location of the sign.
- \_\_\_\_\_ Location, fixture type, and wattage of any proposed lighting.


Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.**  YES  NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

12.26.2017  
DATE

DRB 1314-2017

**Subject:** Pool Bar Jim's Narrative-2prints  
**From:** Ansley Manuel <ansleymanuel@embarqmail.com>  
**Date:** 5/24/2017 7:56 AM  
**To:** Accurate Reproductions <plotting@accurepro.com>

Pool Bar Jim's Narrative

Pool Bar Jim's is a thriving oceanside bar and grill located in The Sea Crest Resort Development between two private resort pools. Currently there is a natural area in front of the existing bar structure that allows further expansion toward the ocean. The landowner, Mr. Robert Graves, has received approval to develop the area from SCDHEC (see attached letter dated April 14, 2017 with application).

The first area of description is the New Upper Bar and Deck. The existing bench seat and fencing along the southern end of the lower bar will be removed. A privacy fence will extend from the existing concrete berm wall to the existing metal fence at the original bar. Please see the fence elevation. New steps will extend from the lower deck to the new upper deck. This new deck height will be level with the existing upper deck to the right.

The bar structure itself will be constructed to be assembled during the warmer season and disassembled during the colder season when the operations are closed. Please see drawings done by WS Warner dated November 20, 1995. The three existing palmetto trees and two nonnative palms will be relocated at two proposed tree well areas.

The second area of description is the New Shower Deck and Traffic Patterns. To avoid congestion and shower spray onto bar patrons, the shower area will shift down to the existing gate. The showers will have a new level deck which also provides a path onto the existing upper deck to create a split between bar traffic and the concrete walk traffic. The handicap will be able to access the new upper deck by utilizing the existing sloped concrete walk.

We, the architect, land owner and tenant, all are in consensus that this approach is logical and flows well. We respectfully ask the board to give us conceptual approval.

Written by Ansley Hester Manuel, Architect

Sent from my iPad



PRIVATE PROPERTY  
PLEASEST PROPERTY OWNERS & GUESTS

PLEASE FEEL  
FREE TO  
ENJOY THE  
POOL

T

Red t-shirt with a large black graphic logo.





\*RINSE FEET\*  
BEFORE USING  
POOL

**THIS PROPERTY  
UNDER 24  
HOUR VIDEO  
SURVEILLANCE**





WEA  
WO









THIS PROPERTY UNDER 24 HOUR VIDEO SURVEILLANCE

NO LIFEGUARD ON DUTY  
SWIM AT YOUR OWN RISK

SHALLOW WATER  
NO DIVING ALLOWED

3 FT



**VICINITY MAP**  
N.T.S.

- BEACH ACT DISCLOSURE NOTES:**
- 1) SOUTH CAROLINA COASTAL COUNCIL SETBACK LINE & BASELINE SHOWN HAVE BEEN SET BASED ON THE MOST RECENT DATA AVAILABLE AS OF 11/22/96. DATA IS BASED ON S.C. COASTAL COUNCIL POINTS: 1437 & 1438.
  - 2) THESE LINES ARE SUBJECT TO REVISION PERIODICALLY AS PROVIDED UNDER THE SOUTH CAROLINA BEACH PROTECTION ACT OF 1988.
  - 3) THE SPECIAL FLOOD HAZARD ZONE INFORMATION FROM THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, PANEL 13-D, COMMUNITY NO. 450250 DATED: 9/29/85.

**BEACH ACT DISCLOSURE STATEMENT: (IN RELATION TO PHASE II ONLY)**

THE SETBACK LINE IS \_\_\_\_\_ FEET (OR FROM 107.2 FEET SEAWARD FEET TO 115 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE; THE BASELINE IS \_\_\_\_\_ FEET (OR FROM 143.3 FEET SEAWARD FEET TO 120.3 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE; THE VELOCITY ZONE, AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT ACT, IS LOCATED APPROXIMATELY 189 FEET SEAWARD FROM THE SEAWARD PROPERTY LINE.

IN RELATION TO THE PROPERTY, THE SEAWARD CORNERS OF HABITABLE STRUCTURES UPON THIS PROPERTY, IF ANY, ARE LOCATED 112.3 FEET MINIMUM FROM THE SEAWARD LINE, WHICH CORNERS ARE LOCATED AT E. 2,077,758.82 N. 112,536.42 AND E. 2,077,648.50 N. 112,485.01 UNDER THE SOUTH CAROLINA PLANE COORDINATE SYSTEM. THE PROPERTY HAS AN ANNUAL EROSION RATE OF \_\_\_\_\_ FEET PER YEAR ACCORDING TO THE MOST RECENTLY ADOPTED EROSION RATES OF THE SOUTH CAROLINA COASTAL COUNCIL.

**BASLINE COORDINATES**

1) N 112457.2000	E 2077917.0000
2) N 112400.6000	E 2077831.0000
3) N 112354.0000	E 2077745.0000
4) N 112302.5000	E 2077660.0000
5) N 112250.9000	E 2077574.0000
6) N 112231.5000	E 2077534.0000

**SETBACK LINE COORDINATES**

7) N 112511.5000	E 2077935.0000
8) N 112459.6000	E 2077850.0000
9) N 112407.8000	E 2077764.0000
10) N 112355.9000	E 2077678.0000
11) N 112304.0000	E 2077593.0000
12) N 112263.9000	E 2077515.0000

LINE	DIRECTION	DISTANCE
L1	S 23°03'50" E	19.80'
L2	S 66°56'10" W	18.59'
L3	N 20°07'53" E	27.16'
L4	N 20°43'37" E	43.33'
L5	N 24°03'52" W	0.82'
L6	N 24°26'26" W	27.60'
L7	S 24°26'26" E	28.25'
L8	S 20°07'53" W	5.78'

- REFERENCE PLATS:**
- 1) SEACREST MOTEL AS-BUILT, NORTH FOREST BEACH DRIVE, DATED: 4/27/85, LATEST REVISION: 10/16/95, BY: FORREST F. BAUGHMAN, S.C.P.L.S. No 4922, RECORDED: P.B. 53, PG. 46.
  - 2) PROPOSED PHASES, THE SEA CREST, DATED: 8/27/95, BY: FORREST F. BAUGHMAN, S.C.P.L.S. No 4922, RECORDED: P.B. 54, PG. 93, 10/25/95.

- NOTES:**
- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.
  - 2) THIS LOT IS LOCATED IN ZONE A-7 A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D., PANEL 13-D COMMUNITY NO. 450250, MAP DATED 9/29/85, BASE ELEVATION 14.0'.
  - 3) THIS PLAT IS FOR CLOSING AND BEACH ACT DISCLOSURE PURPOSES ONLY AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
  - 4) UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED.

**LEGAL DESCRIPTION**

SEACREST PHASE III B COMMERCIAL PHASE III B 0.064 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 53.74 feet along the southern boundary of said North Forest Beach Drive to a point, being the point of beginning;

thence N 65°34'55" E a distance of 56.09 feet along the southern boundary of said North Forest Beach Drive to a point;

thence S 25°35'06" E a distance of 23.99 feet to a point;

thence S 20°07'53" E a distance of 49.02 feet to a point;

thence S 66°57'31" W a distance of 23.60 feet to a point;

thence N 23°02'29" W a distance of 58.38 feet to a point, being the point of beginning.

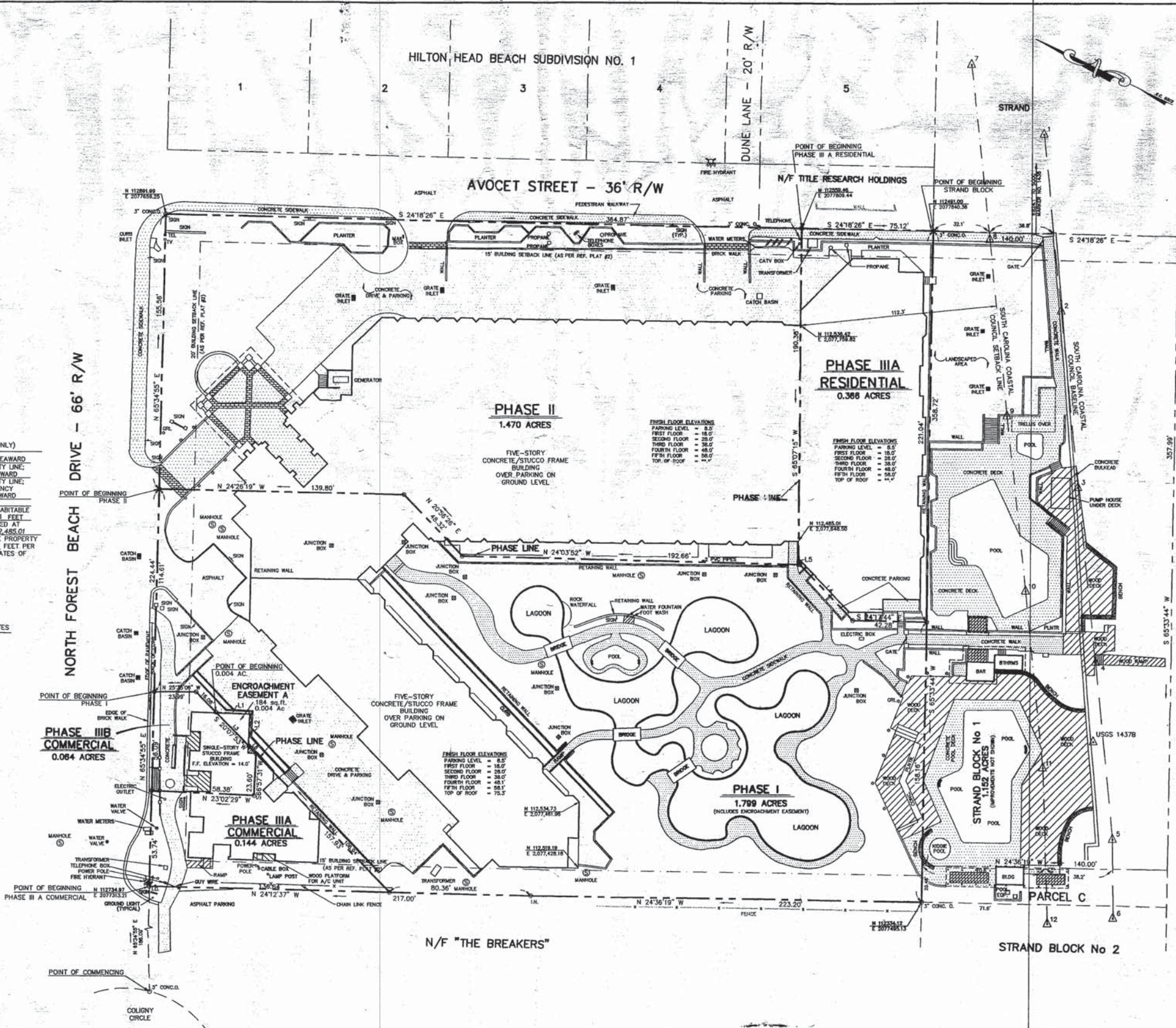
**AREA TABLE**

PHASE I	= 1.799 Ac.
PHASE II	= 1.470 Ac.
PHASE IIIA RESIDENTIAL	= 0.368 Ac.
PHASE IIIA COMMERCIAL	= 0.144 Ac.
PHASE IIIB COMMERCIAL	= 0.064 Ac.
<b>TOTAL AREA</b>	<b>= 3.843 Ac.</b>

PREPARED FOR: THE SEA CREST DEVELOPMENT COMPANY  
TAX PARCEL I.D. NO. DIST 540 MAP 18 PARCELS 11, 1A, 1B, 1C



**SURVEYING CONSULTANTS**  
228 Boy Circle, Park Place, Hilton Head Island, SC 29928  
Telephone: (843) 848-3304 FAX: (843) 795-7868



**LEGAL DESCRIPTION**

**SEACREST PHASE I**  
1.799 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.09 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 109.83 feet along southern right-of-way of said North Forest Beach Drive to a point, being the point of beginning;

thence N 65°34'55" E a distance of 114.61 feet along the southern right-of-way of said North Forest Beach Drive to a point;

thence S 24°26'19" E a distance of 139.80 feet to a point;

thence S 20°07'53" W a distance of 48.32 feet to a point;

thence S 24°03'52" E a distance of 193.48 feet to a point;

thence S 20°43'37" W a distance of 43.33 feet to a point;

thence S 24°17'44" E a distance of 42.28 feet to a point, being on the northeastern boundary of the Strand Block;

thence S 35°33'44" W a distance of 158.16 feet along northeastern boundary of said Strand Block to a concrete monument, at South Carolina Grid co-ordinates of Northing 112354.12 feet, Easting 2077495.13 feet;

thence N 24°35'19" W a distance of 223.20 feet, along the northeastern boundary of the Strand Block;

thence N 24°12'37" W a distance of 80.36 feet, along the northeastern boundary of the Strand Block to a point;

thence N 20°07'53" E a distance of 157.96 feet to a point;

thence N 25°35'06" W a distance of 23.99 feet to a point, being the point of beginning.

**SEACREST PHASE II**  
1.470 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.09 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 224.44 feet along southern right-of-way of said North Forest Beach Drive to a point, being the point of beginning;

thence N 65°34'55" E a distance of 155.56 feet along southern right-of-way of said North Forest Beach Drive to a concrete monument at the intersection of the southern right-of-way of said North Forest Beach Drive and the western right-of-way of Avocet Street;

thence S 24°18'28" E a distance of 364.87 feet along the western right-of-way of said Avocet Street to a point;

thence N 24°03'52" W a distance of 190.38 feet to a point;

thence N 24°03'52" W a distance of 192.66 feet to a point;

thence N 20°56'26" E a distance of 48.32 feet to a point;

thence N 24°26'19" W a distance of 139.80 feet to a point, being the point of beginning.

**SEACREST ENCHROACHMENT EASEMENT A**  
0.004 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 109.83 feet along southern right-of-way of said North Forest Beach Drive to a point, being the point of beginning;

thence S 25°35'06" E a distance of 23.99 feet to a point;

thence S 23°03'50" E a distance of 19.80 feet to a point;

thence N 65°34'55" E a distance of 18.59 feet to a point;

thence N 20°07'53" E a distance of 27.16 feet to a point, being the point of beginning.

**SEACREST PHASE IIIA RESIDENTIAL**  
0.368 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet;

thence N 65°34'55" E a distance of 380.00 feet along the southern boundary of said North Forest Beach Drive to a point;

thence S 24°18'28" E a distance of 364.87 feet to a point, at South Carolina Grid co-ordinates of Northing 112559.46 feet, Easting 2077809.44 feet, being the point of beginning;

thence S 24°18'28" E a distance of 75.12 feet to a concrete monument, at the northeastern boundary of the Strand Block;

thence S 65°33'44" W a distance of 221.04 feet along the northeastern boundary of the Strand Block to a point;

thence N 24°17'44" W a distance of 42.28 feet to a point;

thence N 20°43'37" E a distance of 43.33 feet to a point;

thence N 24°03'52" W a distance of 0.82 feet to a point;

thence N 65°07'15" E a distance of 190.38 feet to the point of beginning.

**SEACREST PHASE IIIA COMMERCIAL**  
0.144 Acres

Commencing at a point being the intersection of the northeastern boundary of the right-of-way of Coligny Circle and the southern boundary of the right-of-way of North Forest Beach Drive, being a concrete monument;

thence N 65°34'55" E a distance of 186.1 feet along the southern right-of-way of said North Forest Beach Drive to an iron pipe, at South Carolina Grid co-ordinates of Northing 112734.97 feet, Easting 2077313.21 feet, being the point of beginning;

thence N 65°34'55" E a distance of 53.74 feet along the southern boundary of said North Forest Beach Drive to a point, being the point of beginning;

thence S 23°02'29" E a distance of 58.38 feet to a point;

thence N 65°37'31" E a distance of 23.60 feet to a point;

thence S 20°07'53" W a distance of 108.94 feet to a point on the northern boundary of The Breakers;

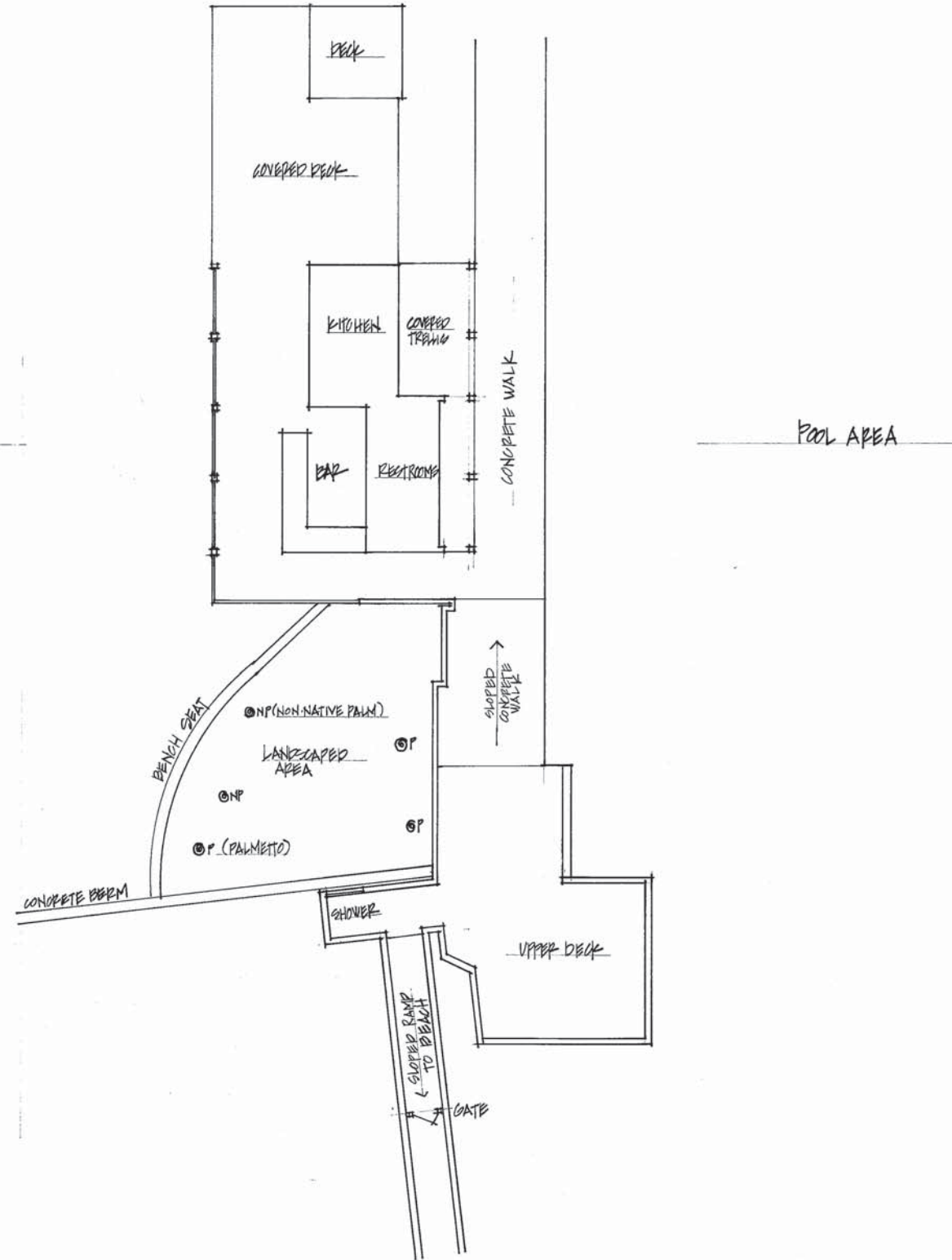
thence N 24°12'37" W a distance of 136.64 feet to a point, being the point of beginning.

**PORTIONS OF THE SEA CREST P.U.D., INCLUDING PHASES I, II, IIIA & IIIB SEACREST CONDOMINIUM HORIZONTAL PROPERTY REGIME NORTH FOREST BEACH DRIVE**

(SOMETIMES CALLED "PHASE III & IV, SEA CREST P.U.D.")

A SECTION OF  
**PARCELS A & B**  
**BLOCKS 1 & 2, FOREST BEACH SUBDIVISION**  
**HILTON HEAD BEACH SUBDIVISION.**

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
SCALE: 1" = 30' DATE: 7/30/99 JOB NO: 96154I-B



POOL AREA

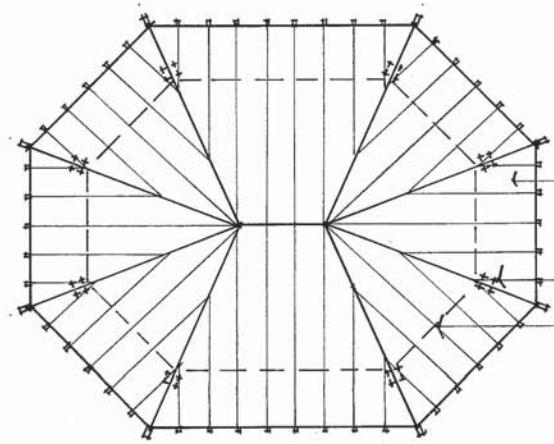
POOL AREA

9 November 2017

MANUEL STUDIO, LLC  
 Ansley Hester Manuel, Architect  
 516 South Green Street, Ridgeland, S.C. 29936 physical  
 104 Pritchard Street, Bluffton, S.C. 29910 mailing  
 843.726.5480 office 843.338.8952 cell

Additions and Renovations to  
 Pool Bar Jim's  
 10 North Forest Beach Drive  
 Hilton Head Island, South Carolina 29928

EXISTING SITE CONDITIONS  $\frac{1}{8}'' = 1'-0''$

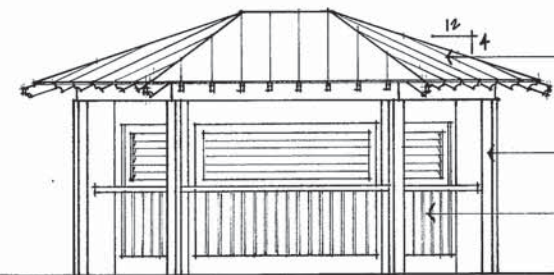


PROPOSED BAR CABANA ROOF PLAN  $\frac{1}{4}'' = 1'-0''$

MATCH METAL ROOF OVER RAFTERS WITH MATCH TAILOUTS

6x6 WOOD POSTS BELOW

ASSEMBLED CABANA BELOW

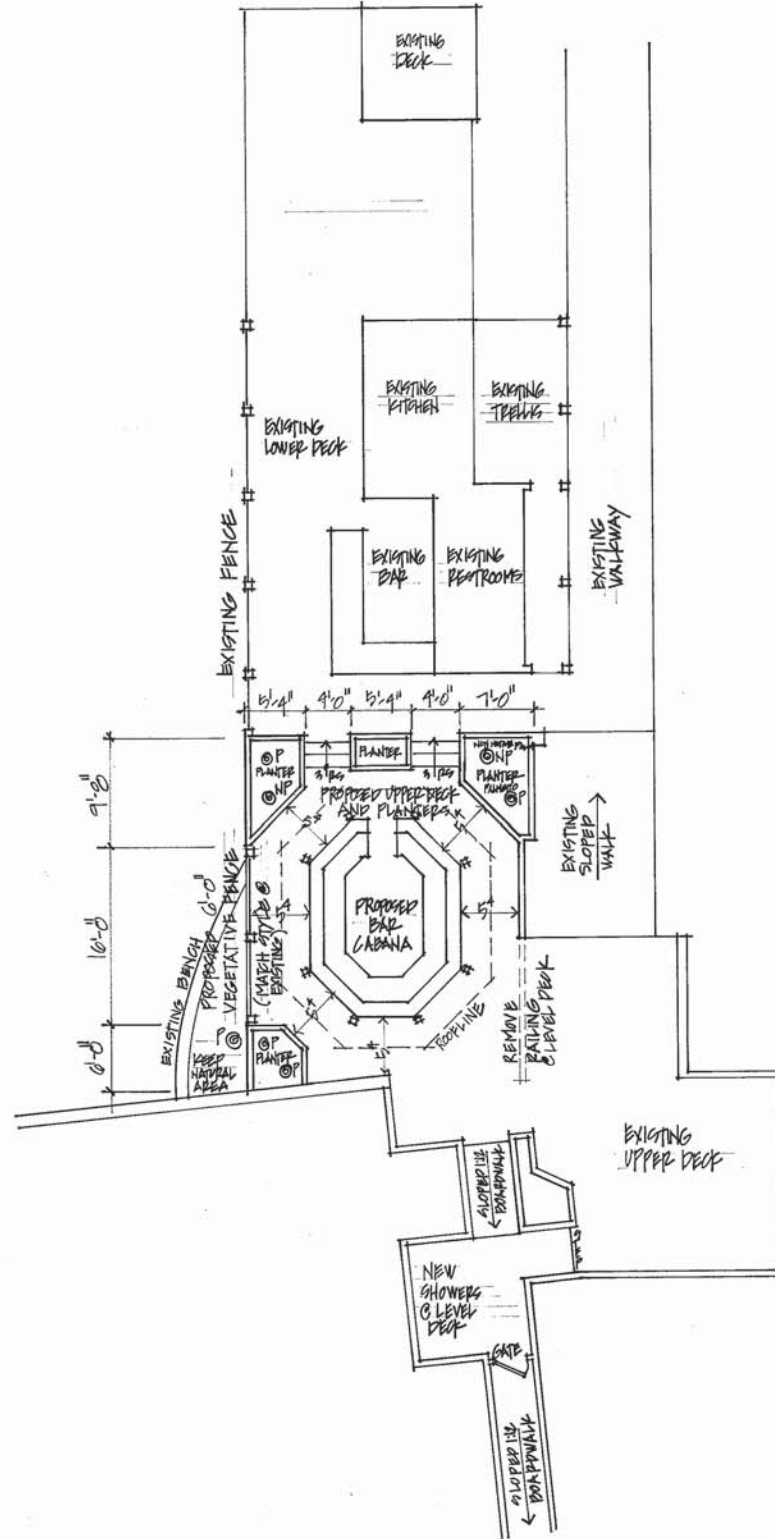


PROPOSED BAR CABANA ELEVATION  $\frac{1}{4}'' = 1'-0''$

MATCH METAL ROOF OVER RAFTERS WITH MATCH TAILOUTS

6x6 WOOD POSTS

ASSEMBLED CABANA

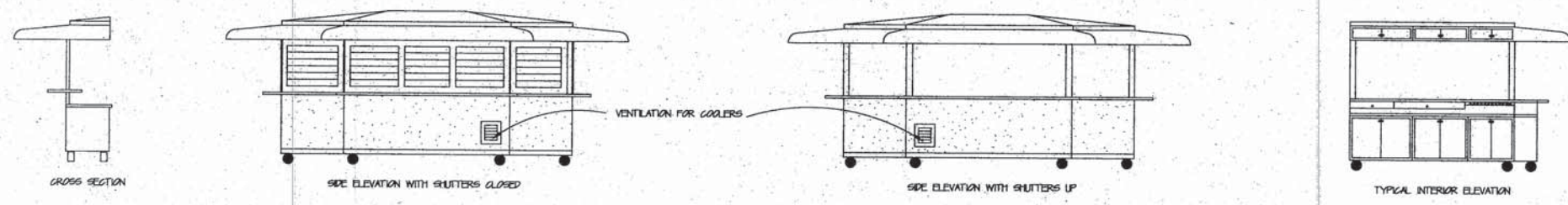


PROPOSED SITE PLAN  $\frac{1}{8}'' = 1'-0''$

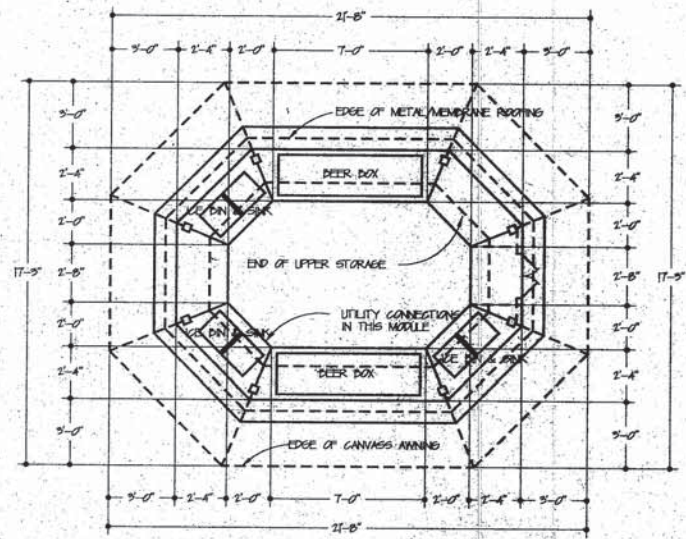
9 November 2017

MANUEL STUDIO, LLC  
 Arnsley Hester Manuel, Architect  
 516 South Green Street, Ridgeland, S.C. 29936 physical  
 104 Pritchard Street, Bluffton, S.C. 29910 mailing  
 843.726.3480 office 843.338.8932 cell

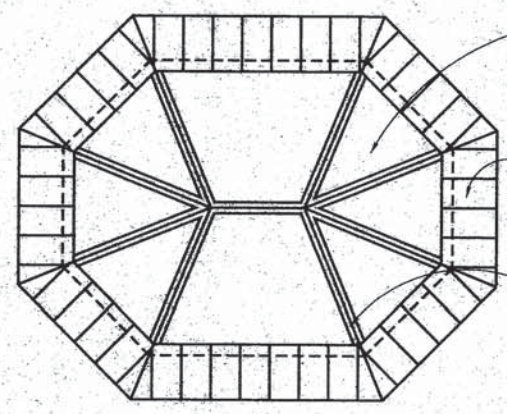
Additions and Renovations to  
 Pool Bar Jim's  
 10 North Forest Beach Drive  
 Hilton Head Island, South Carolina 29928



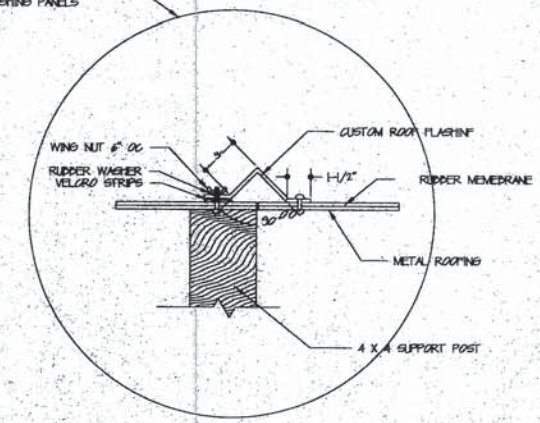
4 CROSS SECTION AND ELEVATIONS  
A1 1/4" = 1'



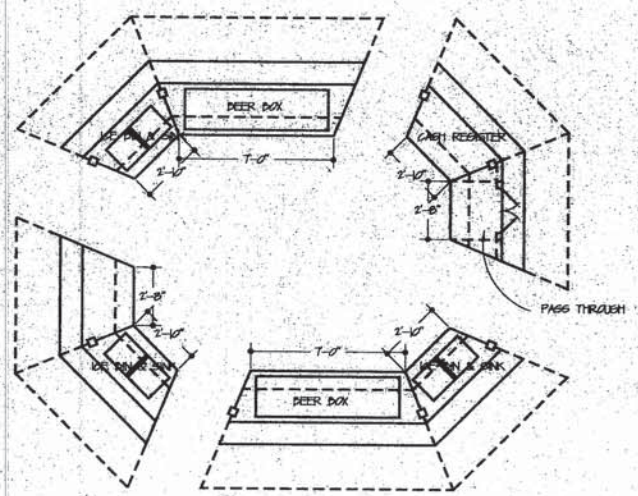
2 ASSEMBLED BAR MODULES  
A1 1/4" = 1'



3 COMPOSITE ROOF PLAN  
A1 1/4" = 1'



5 FLASHING PANEL DETAIL  
A1 1/4" = 1'



1 UNASSEMBLED BAR MODULES  
A1 1/4" = 1'

W.S. WARNER & CO. OF HILTON HEAD ISLAND ASSUMES NO LIABILITY FOR STRUCTURAL CAPACITIES OR DIMENSIONAL ACCURACY OF THESE DRAWINGS. IT IS SUGGESTED THAT THE USER OF THESE DRAWINGS CONSULT LOCAL BUILDING CODES AND HAVE DRAWINGS REVIEWED BY AN ENGINEER BEFORE USING THEM TO CONSTRUCT A DWELLING.

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SHEET NO.  
**A1**

SCALE: 1/4" = 1' DRAWN BY: WSW, JR.  
PORTABLE DESIGN PLAN II  
LAST REVISION: NOVEMBER 20, 1995

**POOL BAR JIM'S II**  
**MARRIOTT'S GRANDE OCEAN RESORT**  
**HILTON HEAD ISLAND, SC**

**W.S. WARNER & Co.**  
20 SPINNAKER COURT HILTON HEAD ISLAND, SC 29928  
PHONE: 803-363-2148 FAX: 803-363-2149



## DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)  
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Pool Bar Jim's

DRB#: DRB-002882-2017

DATE: 12/28/2017

RECOMMENDATION: Approval  Approval with Conditions  Denial   
RECOMMENDED CONDITIONS:

<b>ARCHITECTURAL DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Utilizes natural materials and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Construction material and finished are not clear; the material and finish for the base of the bar is not labeled and the color of the roof is not clear.
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Specify on the plans that lighting will be "turtle friendly".

<b>LANDSCAPE DESIGN</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The proposal eliminates most of the vegetation in this area.

<b>NATURAL RESOURCE PROTECTION</b>				
<b>DESIGN GUIDE/LMO CRITERIA</b>	<b>Complies Yes</b>	<b>No</b>	<b>Not Applicable</b>	<b>Comments or Conditions</b>

An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
---	--------------------------	-------------------------------------	--------------------------	--

<b><i>MISC COMMENTS/QUESTIONS</i></b>
---------------------------------------

- |  |
|--|
| 1. "Kiosk structures should take their architectural cues from the other structures on the site and should include similar or compatible details" p.31 |
| 2. The site plan and architectural details for the proposed additions do not serve to unify the disparate elements of this area.                       |
| 3. Provide a detail of the "vegetative fence" and planting specification.  |
| 4. Where details, fence and or colors are being matched, provide photos of the existing elements and key to the drawing.                               |
|  |
|  |



Town of Hilton Head Island  
 Community Development Department  
 One Town Center Court  
 Hilton Head Island, SC 29928  
 Phone: 843-341-4757 Fax: 843-842-8908  
 www.hiltonheadislandsc.gov

<b>FOR OFFICIAL USE ONLY</b>	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Michelle Powaski Company: BW Signs Inc  
 Mailing Address: 520 Folly Rd # 335 City: Charleston State: SC Zip: 29412  
 Telephone: 843-746-0970 Fax: N/A E-mail: Michelle@BWSignsInc.com  
 Project Name: BOA/ML Project Address: 21 Hutton Place, Hilton Head Island  
 Parcel Number [PIN]: R510 008 000 0340 0000  
 Zoning District: \_\_\_\_\_ Overlay District(s): \_\_\_\_\_

**CORRIDOR REVIEW, MAJOR  
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:  
 Concept Approval – Proposed Development  
 Final Approval – Proposed Development  
 Alteration/Addition  
 Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:  
**Concept Approval – Proposed Development**

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

**Final Approval – Proposed Development**

- \_\_\_\_\_ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- \_\_\_\_\_ Final site development plan meeting the requirements of Appendix D: D-6.F.
- \_\_\_\_\_ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- \_\_\_\_\_ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- \_\_\_\_\_ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- \_\_\_\_\_ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

**Alterations/Additions**

- \_\_\_\_\_ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- \_\_\_\_\_ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- \_\_\_\_\_ Photographs of existing structure.

Additional Submittal Requirements:

**Signs**

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines. *Re-Face on Existing Sign*
- Proposed landscaping plan. *Already Land Scaped*

For wall signs:

- N/A* Photograph or drawing of the building depicting the proposed location of the sign.
- N/A* Location, fixture type, and wattage of any proposed lighting.

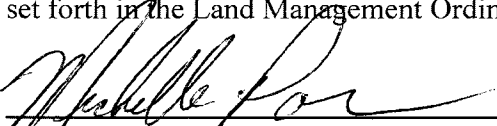
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

*A representative for each agenda item is strongly encouraged to attend the meeting.*

**Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application.  YES  NO**

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

  
SIGNATURE

12-27-2017  
DATE

# Bank of America

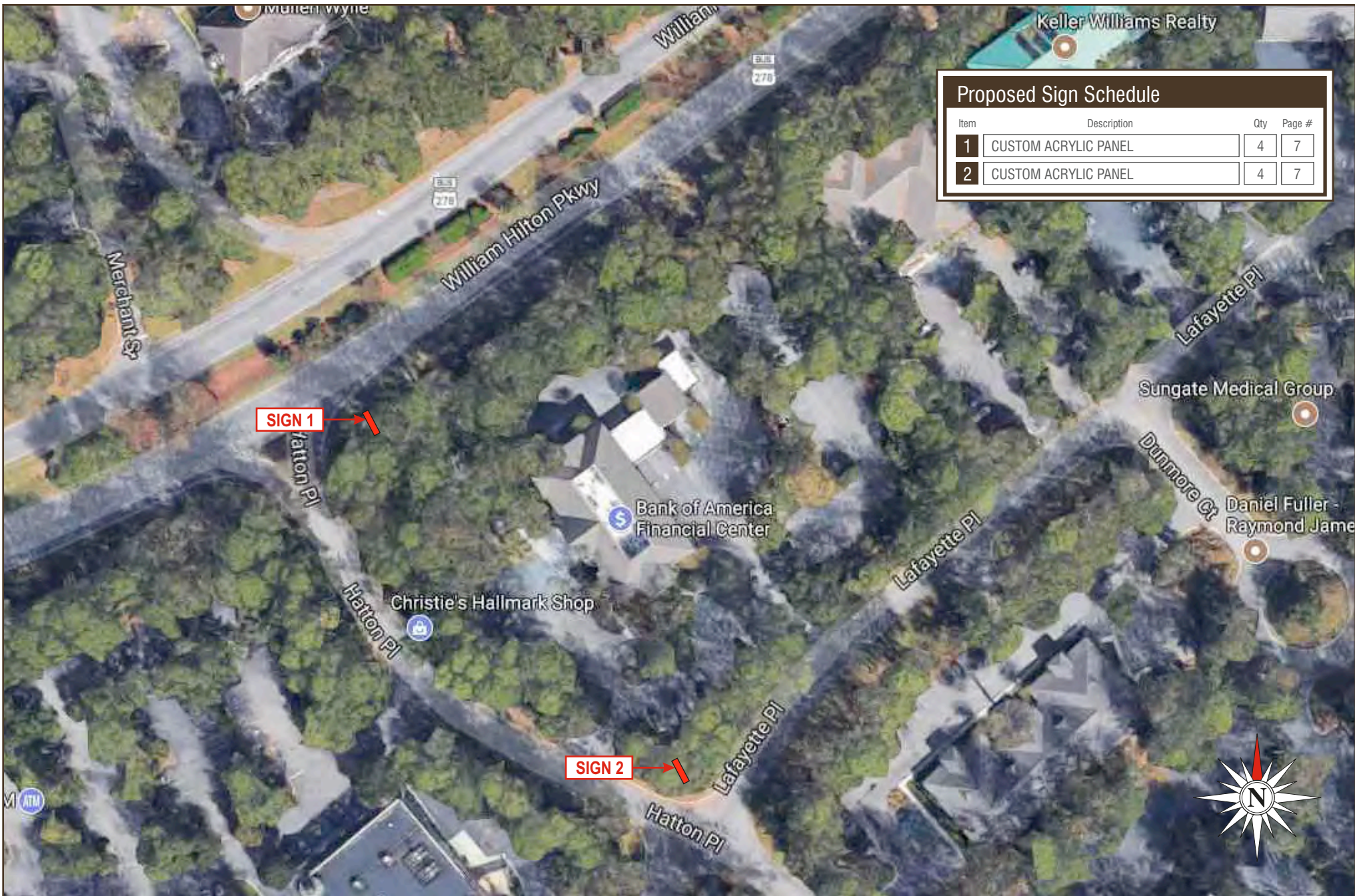


**Loc#: 9219**

21 Hatton Place  
Hilton Head, SC 29926



We Brand Your  
Places & Spaces



Proposed Sign Schedule			
Item	Description	Qty	Page #
1	CUSTOM ACRYLIC PANEL	4	7
2	CUSTOM ACRYLIC PANEL	4	7

Drawing prepared by: **ICON**

**SITE PLAN**

Location: 21 Hatton Place  
Hilton Head, SC 29926

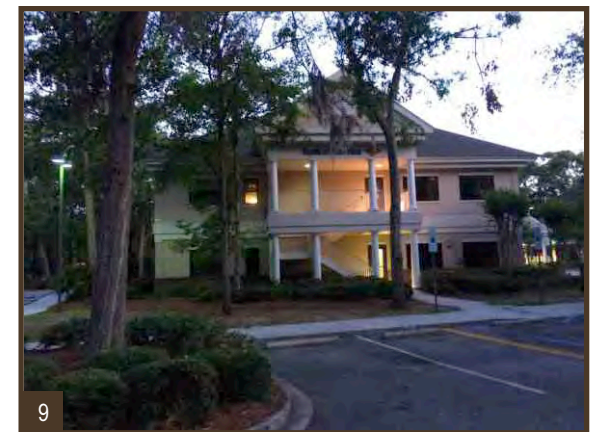
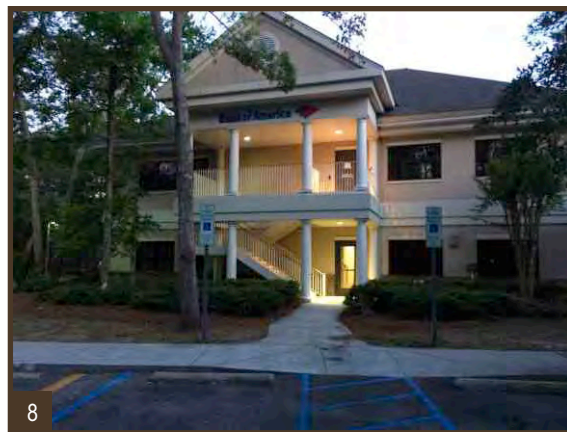
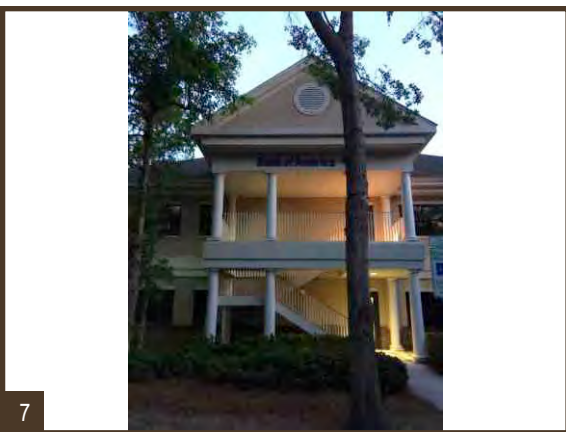
Proj #: 4306  
Loc #: 9219

File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

Drawing prepared for: **Bank of America**

Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	251336	05/23/17	JR	Lv						
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev 7	000000	00/00/00	XXX	XXX
Rev 2	256578	08/31/17	JR	TI	Revised per request.	Rev 8	000000	00/00/00	XXX	XXX
Rev 3	258185	09/26/17	JR	Lv	added layout options	Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size	Rev 10	000000	00/00/00	XXX	XXX
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy					
Rev 6	000000	00/00/00	XXX	XXX						Pg.2

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Drawing prepared by:

**OVERVIEW PHOTOS**



Location: 21 Hatton Place  
 Hilton Head, SC 29926

Proj #: 4306

Loc #: 9219

File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

Drawing prepared for:



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	251336	05/23/17	JR	Lv						
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev 7	000000	00/00/00	XXX	XXX
Rev 2	256578	08/31/17	JR	TI	Revised per request.	Rev 8	000000	00/00/00	XXX	XXX
Rev 3	258185	09/26/17	JR	Lv	added layout options	Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size	Rev 10	000000	00/00/00	XXX	XXX
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy					
Rev 6	000000	00/00/00	XXX	XXX						



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Drawing prepared by:

**OVERVIEW PHOTOS**

Drawing prepared for:



Location: 21 Hatton Place  
 Hilton Head, SC 29926  
 File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

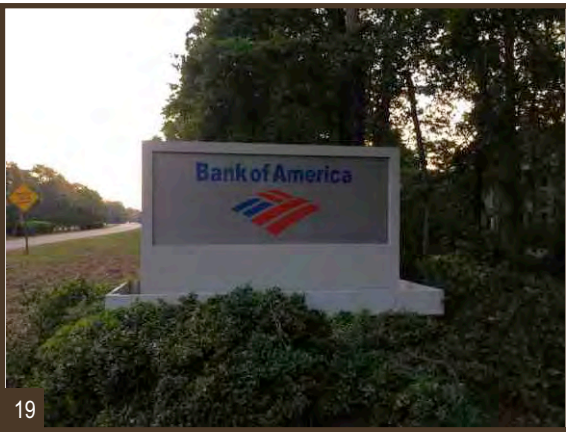
Proj #: 4306  
 Loc #: 9219



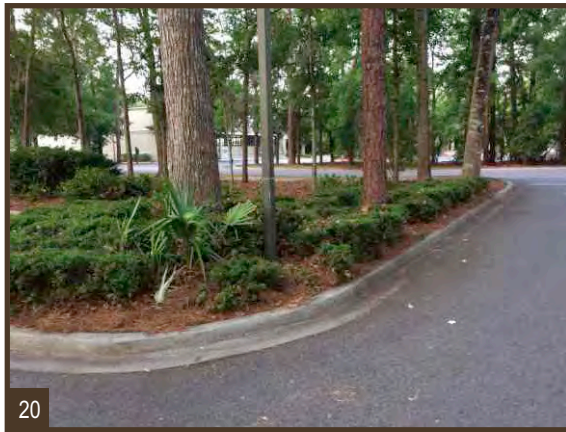
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Original	251336	05/23/17	JR	Lv						
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev 7	000000	00/00/00	XXX	XXX
Rev 2	256578	08/31/17	JR	TI	Revised per request.	Rev 8	000000	00/00/00	XXX	XXX
Rev 3	258185	09/26/17	JR	Lv	added layout options	Rev 9	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size	Rev 10	000000	00/00/00	XXX	XXX
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy					
Rev 6	000000	00/00/00	XXX	XXX						

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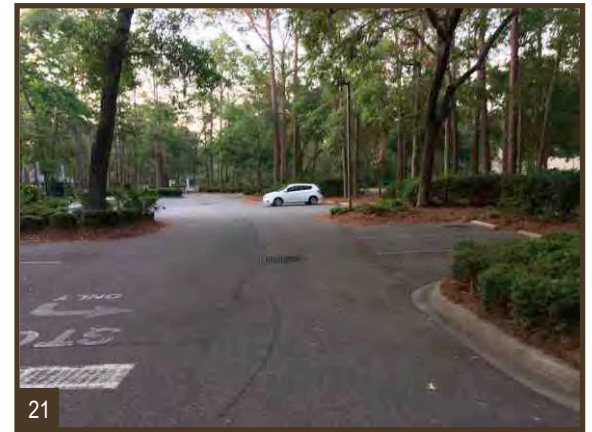




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Drawing prepared by:

**OVERVIEW PHOTOS**



Location: 21 Hatton Place  
 Hilton Head, SC 29926  
 File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

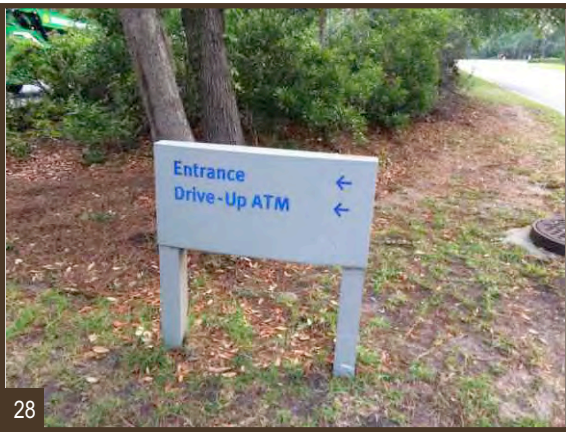
Proj #: 4306  
 Loc #: 9219

Drawing prepared for:



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	251336	05/23/17	JR	Lv		Rev 7	000000	00/00/00	XXX	XXX
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev 8	000000	00/00/00	XXX	XXX
Rev 2	256578	08/31/17	JR	TI	Revised per request.	Rev 9	000000	00/00/00	XXX	XXX
Rev 3	258185	09/26/17	JR	Lv	added layout options	Rev 10	000000	00/00/00	XXX	XXX
Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size					
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy					
Rev 6	000000	00/00/00	XXX	XXX						

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Drawing prepared by:

**OVERVIEW PHOTOS**



Location: 21 Hatton Place  
Hilton Head, SC 29926  
File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

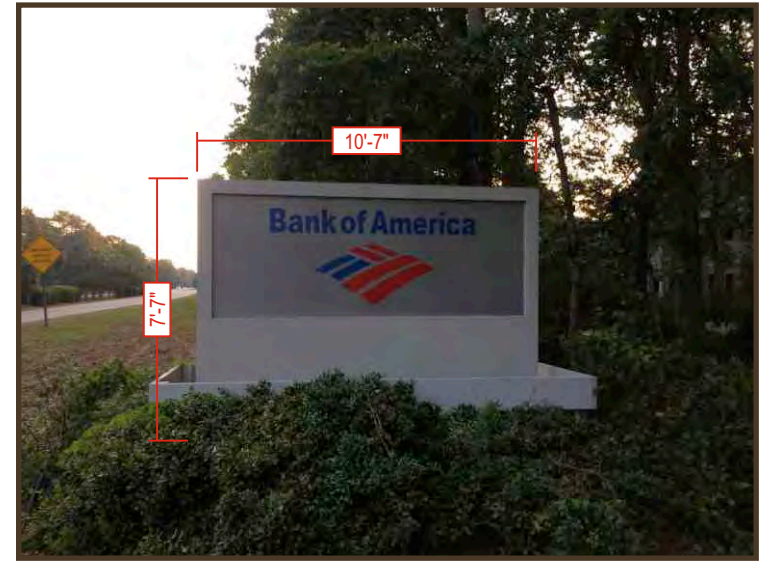
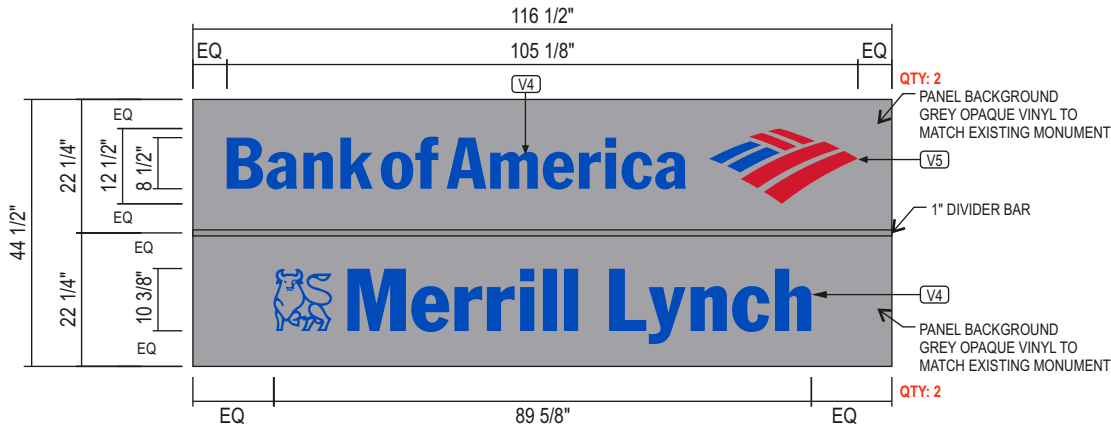
Proj #: 4306  
Loc #: 9219

Drawing prepared for:



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Rev #:	Req#:	Date:	Req. By:	Drawn By:
Original	251336	05/23/17	JR	Lv						
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev 7	000000	00/00/00	XXX	XXX
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Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size	Rev 10	000000	00/00/00	XXX	XXX
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy					
Rev 6	000000	00/00/00	XXX	XXX						

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EXISTING ( ONE OF TWO MONUMENT SHOWN - TYPICAL )



PROPOSED ( ONE OF TWO MONUMENT SHOWN - TYPICAL )

**1 2 CUSTOM ACRYLIC PANEL - PUSH THRU COPY W/ VINYL OVERLAY**

QTY: 8 TOTAL ( TWO MONUMENTS )

SCALE: 3/8"=1'-0"

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

 V4 BOA BLUE: 3M 3632-8222

 V5 BOA RED: 3M 3632-2472

 GREY OPAQUE VINYL TO MATCH MONUMENT BACKGROUND

Drawing prepared by:

**RECOMMENDATION**

Drawing prepared for:



Location: 21 Hatton Place  
Hilton Head, SC 29926  
File Path: Active\BANKS\B\Bank Of America\2017\Locations\4306\_9219\_HiltonHead\_SC\_R5.cdr

Proj #: 4306  
Loc #: 9219



Rev #:	Req#:	Date:	Req. By:	Drawn By:	Revision Description:	Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.
Original	251336	05/23/17	JR	Lv		
Rev 1	252170	06/12/17	JR	Lv	Updated sign 1 location	Rev #: 000000 Date: 00/00/00 Req. By: XXX Drawn By: XXX
Rev 2	256578	08/31/17	JR	TI	Revised per request.	Rev 7 000000 00/00/00 XXX XXX
Rev 3	258185	09/26/17	JR	Lv	added layout options	Rev 8 000000 00/00/00 XXX XXX
Rev 4	000000	00/00/00	XXX	XXX	revise color - revise ML logo size	Rev 9 000000 00/00/00 XXX XXX
Rev 5	263699	12/12/17	JR	Lv	Revised sign 1 & 2 - push thru copy	Rev 10 000000 00/00/00 XXX XXX
Rev 6	000000	00/00/00	XXX	XXX		Pg.7

**TOWN OF HILTON HEAD ISLAND  
SIGN REVIEW CHECKLIST: FREESTANDING SIGN**

<b>SIGN PERMIT #:</b>		<b>DATE SUBMITTED:</b>	12/26/2017
<b>BUSINESS NAME:</b>	Bank of America	<b>DATE REVIEWED:</b>	12/28/2017
<b>ADDRESS:</b>	21 Hatton Place	<b>SUBMITTAL #:</b>	1

RECOMMENDATION:    Approval                Approval with Conditions                Denial   

RECOMMENDED CONDITIONS:

**GENERAL COMMENTS & QUESTIONS**

1. What is the color / finish of the “1” divider bar”?
2. Provide sample of “push thru copy w/ vinyl overlay” for review.

**DESIGN REVIEW**

**RENDERING – DIMENSIONS**

<b>REQUIRED INFORMATION &amp; DESIGN STANDARDS</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Comments &amp; Questions</b>
How the sign panel is dimensional, e.g. “Text and border are raised” or “Text and border are recessed”.		X		
Depth of dimension. Note: The minimum required depth is 0.25 inch. Larger signs may require more depth.		X		How much is the “push thru copy” raised off the sign background

**RENDERING – DESIGN**

<b>REQUIRED INFORMATION &amp; DESIGN STANDARDS</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Comments &amp; Questions</b>
The street address of the site is shown in 4 inch tall numbers on both sides of the sign. Note: The street name may be also required if the site accesses more than one street.		X		
If the street address is not located on the sign face, it is well-integrated into the sign design so that it does not look like an afterthought.		X		
Sign panels: A description or photo of the background texture of the sign, e.g. “Wood grain”, “Pebble finish”, “Stucco finish”, etc.		X		The background texture is not specified.

<b>RENDERING – COLORS</b>				
<b>REQUIRED INFORMATION &amp; DESIGN STANDARDS</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Comments &amp; Questions</b>
Subdued shades of color are used.		X		Specify a more nature blending blue and red to meet the Design Guide requirements.

<b>LIGHTING</b>				
<b>REQUIRED INFORMATION &amp; DESIGN STANDARDS</b>	<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Comments &amp; Questions</b>
For signs with existing lighting, rendering states: “Existing fixtures will remain” or “Existing fixtures will be removed” or “Existing fixtures will be replaced”.		X		Add note to the plans for clarity.

