



The Town of Hilton Head Island
Design Review Board Regular Meeting
Tuesday, November 12, 2019 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a courtesy to others please turn off / silence ALL mobile devices during the meeting. Thank you.

- 1. Call to Order**
- 2. FOIA Compliance** – Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.
- 3. Roll Call**
- 4. Approval of Agenda**
- 5. Approval of Minutes**
 - a. Meeting of October 8, 2019
 - b. Meeting of October 22, 2019
- 6. New Business**
 - a. *Alteration/Addition*
 - i. Christ Lutheran Church, DRB-002244-2019
 - b. *New Development – Final*
 - i. 55 Gardner Drive, DRB-002262-2019 (Conceptual Approval October 22, 2019)
 - c. *Sign*
 - i. Courtyard Marriott Heritage Plaza Signs, DRB-002086-2019
- 7. Appearance by Citizens**
- 8. Board Business**
- 9. Staff Report**
 - a. Minor Corridor Report
- 10. Adjournment**

Please note that a quorum of Town Council may result if four (4) or more of their members attend this meeting.



Town of Hilton Head Island
Design Review Board
Tuesday, October 8, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Debbie Remke, Brian Witmer

Absent from the Board: None

Present from Town Council: Bill Harkins

Present from Town Staff: Chris Darnell, Urban Designer; Shea Farrar, Landscape Associate; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

Mr. Darnell stated that the application for Ocean Oak Sign, DRB-001976-2019 was withdrawn prior to the meeting. The Board approved the amended agenda by general consent.

5. Approval of Minutes – Meeting of September 24, 2019

Ms. Remke moved to approve the minutes of the September 24, 2019 regular meeting. Ms. Foss seconded. The motion passed unanimously.

6. Old Business

a. New Development – Conceptual

i. Fern Iams Restaurant, DRB-001930-2019 (withdrawn February 26, 2019)

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends conceptual approval.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board complimented the applicant for addressing their comments on the previous submittal. The Board made comments and inquiries regarding: the site plan and parking; the service yard currently in the setback will be relocated; consider reducing asphalt at the dumpster and adding landscaping; the dumpster needs to be screened completely; consider reducing or eliminating the patio area to keep the pine tree at the deck; consider an alternate

roof color as it appears to be too shiny; concern whether the red color proposed is nature blending; provide alternative red colors; provide painted sample of red color on hardie board; compliments to the overall architecture; concern whether the architecture relates to the character of the neighborhood; provide accurate grading information; the front porch should sit higher and not at grade; the LMO limits fill to 3-feet; provide additional information if there are steps up to the building and/or a railing; provide a plant buffer near the pick-up window; consider squaring off the porch as the entry looks forced; add more planting area between the sidewalks and the building; provide a landscape plan

Vice Chairman Gentemann moved to approve DRB-001930-2019 with the following conditions:

1. Colors shall be approved at Final.
2. Applicant is to provide complete color board with a suggested 12"x12" sample of red on hardie board.
3. Grading around the building shall not exceed 3' max fill per the LMO.
4. Grading around the building, steps and ramps shall be shown on the drawings.
5. Provide more planting area between sidewalks and the building.
6. Provide a Landscape Plan at Final.
7. The dumpster shall be fully screened and fit in asphalt.
8. Provide adequate clearance and grading around existing trees, specifically the 23" pine at side patio.

Ms. Foss seconded. The motion passed with a vote of 6-1-0.

7. New Business

a. Alteration/Addition

i. Circle K Palmetto Bay Road, DRB-001963-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. The proposed sign must include the street address at the top of the sign in 4" letters.
2. The dispensers (pumps) shall be beige. Cut sheet to be approved by Staff.
3. Specify on the drawings "column color to match existing building color".
4. Trash cans should be bronze and not include commercial copy.
5. Any additional signage (i.e. Air-Vac) shall have a brown background with beige lettering.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board combined their comments and inquiries regarding this project Circle K Palmetto Bay Road DRB-001963-2019 and the next project Circle K Gumtree Road DRB-002019-2019. The Board comments and inquiries included: the various proposed colors and their locations; all red sign colors shall be Glidden Red Earth; the station numbers and all orange sign colors shall be Yam; the trash receptacles should be Nuthatch; the trash receptacles should not contain commercial copy; the dispenser pumps should be white with Glidden Red Earth at the base and Yam at the top; any additional signage should have Nuthatch as the background color; the columns need to be painted to match the existing building color; the changeable copy should not exceed the LMO requirement 8-inch height; all of the freestanding signs must include the street address in 4-inch letters; and the new monument sign cannot be larger than the existing sign.

Mr. Witmer moved to approve DRB-001963-2019 with the following conditions:

1. The proposed sign must include the street address at the top or side of the sign in 4" letters.
2. The dispensers (pumps) shall be white with Glidden Red Earth at the base and SW Yam at the top.
3. The columns shall be painted to match existing building.
4. Trash cans should be SW Nuthatch with no commercial copy.
5. All red sign colors shall be Glidden Red Earth.
6. All orange sign colors shall be SW Yam.
7. The new monument sign shall be no larger than the existing sign.
8. The station numbers shall be SW Yam.
9. Any changeable copy shall not exceed 8" height per the LMO.
10. Any additional Signage shall have SW Nuthatch as the background color.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

ii. Circle K Gumtree Road, DRB-002019-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. The proposed sign must include the street address at the top of the sign in 4" letters.
2. The dispensers (pumps) shall be beige. Cut sheet to be approved by Staff.
3. Specify on the drawings "column color to match existing building color".
4. Trash cans should be Nuthatch or bronze and not include commercial copy.
5. Any additional signage shall have a brown background with beige lettering.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board made comments and inquiries on this project as noted above. With no additional comments, Chairman Strecker asked for a motion.

Mr. Witmer moved to approve DRB-002019-2019 with the following conditions:

1. Both freestanding signs must include the street address at the top of the sign in 4" letters.
2. The fuel dispensers shall be white with Glidden Red Earth at the base and SW Yam at the top.
3. The columns shall be painted to match existing building.
4. Trash cans should be SW Nuthatch with no commercial copy.
5. All red sign colors shall be Glidden Red Earth.
6. All orange sign colors shall be SW Yam.
7. The station numbers shall be SW Yam.
8. Any additional Signage shall have SW Nuthatch as the background color.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

iii. Scott's Covered Patio, DRB-002008-2019

Mr. Darnell presented the project as provided in the Board's agenda package. Staff recommends approval with the following conditions:

1. Specify on the drawings that the structure will be stained to match the existing patio structures.
2. Note on the plans that all electrical conduit must be concealed.
3. Provide a cut sheet for the light fixtures that meets the LMO lighting requirements and does not exceed 3000K.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

The Board complimented the project. The Board made comments and inquiries regarding: the colors will match existing; the structure attaches to the building; the conduit should be concealed; the sprinkler system should be concealed to the extent possible; and the lights are 3000K.

Vice Chairman Gentemann moved to approve DRB-002008-2019 with the following conditions:

1. Specify on the drawings that the structure will be stained to match the existing patio structures.
2. Note on the plans that all electrical conduit must be concealed.
3. The light fixtures shall meet the LMO lighting requirements and not exceed 3000K.
4. Conceal sprinkler lines to the extent possible with the understanding that sprinkler heads will be visible.

Mr. Moleski seconded. The motion passed with a vote of 7-0-0.

b. Sign

i. 11 Marina Side Drive Sign, DRB-001977-2019

Ms. Farrar presented the project as provided in the Board's agenda package. Staff recommends approval as submitted.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions by the Board.

Some of the Board members expressed concern about the size of the sign. Although the size is within the LMO regulations, it appears to be too large and does not meet Island character. The suggestion was made to reduce the overall sign by twenty percent reducing the length to about 8 feet. Some of the other Board members expressed that the size is fine, if some of the base on all four sides is covered with landscaping. The Board complimented the design. The color will match the stucco color on the building. The tenant signs are changeable panels.

Vice Chairman Gentemann moved to approve DRB-001977-2019 with the following conditions:

1. The color of the sign shall match existing stucco color on the building.
2. Landscape plan on all four sides of the sign shall be reviewed and approved by staff.

Ms. Foss seconded. The motion passed with a vote of 7-0-0.

8. Appearance by Citizens – None

9. Board Business – None

10. Staff Report

- a. Minor Corridor Report – None

11. Adjournment

The meeting was adjourned at 3:18 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]

DRAFT



Town of Hilton Head Island
Design Review Board
Tuesday, October 22, 2019 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

MEETING MINUTES

Present from the Board: Chairman Dale Strecker, Vice Chairman Michael Gentemann, Cathy Foss, David McAllister, John Moleski, Brian Witmer

Absent from the Board: Debbie Remke (excused)

Present from Town Council: David Ames, Tamara Becker, Glenn Stanford

Present from Town Staff: Chris Darnell, Urban Designer; Teri Lewis, Deputy Director of Community Development; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Strecker called the meeting to order at 1:15 p.m.

2. FOIA Compliance – Public notification of this meeting has been published, posted, and mailed in compliance with the South Carolina Freedom of Information Act and the Town of Hilton Head Island requirements.

3. Roll Call – See as noted above.

4. Approval of Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – None

6. New Business

a. New Development – Conceptual

- i. 55 Gardner Drive, DRB-002099-2019

(Mr. McAllister recused himself from review of DRB-002099-2019 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell presented the project as provided in the Board's agenda package including Staff's comments. Staff recommends conceptual approval.

Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant and other project representatives presented statements regarding the project and answered questions by the Board.

The Board complimented the applicant's level of detail provided for a conceptual review. The Board discussed the project with the applicant, including: a fence will be placed along the northern and southern property lines and will match the Indigo Run perimeter fence; increase the caliper trees beyond the requirement especially in the southern buffer and along the streets in order to help soften the height of the buildings; heavily plant the buffers and include plantings

in the landscape plan that will offer height to help soften the buildings; add trees in the dry detention areas to the extent possible; study saving additional trees by shifting the clubhouse and drop-off toward Gardner Drive to save 28" pine currently in the drive aisle; study saving additional trees by shifting the clubhouse and drop-off toward Gardner Drive to save 23" pine and other trees left of the front door; study saving additional trees in the southern buffer; be sure to include in all plans the planted islands between garage doors; most of the Board members agreed with the Staff's recommendation to consider a second roof material to break up the extensive roof; provide a streetscape to scale on Gardner Drive to show how the various building heights blend; to help lower the scale at the entry drive, provide an alternate to the L-shaped appendage to Building 1 reducing it to three-story; consider relocating a section of entry Building 1's L-shaped fourth floor units to the southern property line Building 4 making a portion of the three-story into a four-story; pervious pavers will be included in the parking areas; the drives will be asphalt and loose gravel will be used along the outer perimeter; screen transformers to the extent possible.

Chairman Strecker asked for public comments and none were received.

Vice Chairman Gentemann moved to approve DRB-002099-2019 with the following conditions:

1. Consider a second roofing material to break up the extensive roof coverage.
2. Study saving additional trees by shifting clubhouse and drop-off toward Gardner Drive to save 28" pine currently in drive aisle.
3. Study saving additional trees by shifting clubhouse and drop-off toward Gardner Drive to save 23" pine and other trees left of the front door.
4. Study saving additional trees in the southern buffer.
5. The conceptual planting plan shall include trees in the dry stormwater detention basin and/or on the basin banks adjacent to the parking lot to help screen the buildings from the single family residences.
6. Provide larger caliper trees than required due to the height of the buildings and specify in planting plan.
7. Provide planted islands between garage doors, but not necessarily every garage door, to help soften the building side.
8. Provide a Gardner Drive streetscape illustration to scale for review by the DRB at Final.
9. Provide an alternate to the L-shaped appendage of Building 1 reducing that part of the building at Gardner Drive to three-story to help lower the scale from Gardner Drive for review by the DRB at Final.

Ms. Foss seconded. The motion passed with a vote of 5-0-0.

7. Appearance by Citizens – None

8. Board Business – None

9. Staff Report

- a. Minor Corridor Report – Mr. Darnell reported the Minor Corridor approvals since September 24, 2019.

10. Adjournment

The meeting was adjourned at 1:58 p.m.

Submitted by: Teresa Haley, Secretary

Approved: [DATE]



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Rick Clanton Company: Group 3 Designs
 Mailing Address: 1600 Main Street City: HHI State: SC Zip: 29926
 Telephone: 843-689-9060 Fax: _____ E-mail: rick@group3designs.net
 Project Name: Christ Lutheran Church Project Address: 829 William Hilton Parkway
 Parcel Number [PIN]: R R520 012 000 0351 0000
 Zoning District: LC Overlay District(s): COR

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

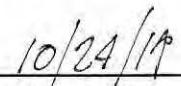
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE



DATE



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-341-2087
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
App. #:	_____
Form revised 10-2012	

**AFFIDAVIT OF OWNERSHIP AND
 HOLD HARMLESS PERMISSION TO ENTER PROPERTY**

The undersigned being duly sworn and upon oath states as follows:

- I am the current owner of the property which is the subject of this application.
- I hereby authorize Richard Clanton (Group 3) to act as my agent for this application only.
- All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
- The application is being submitted with my knowledge and consent.
- Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 829 William Hilton Parkway (address),
R 520 012 000 0351 0000 (parcel ID) for the purpose of application review, for the limited time necessary to complete that purpose.
 Description of Work: Covered Drop-off Addition, door and window replacement, new landscaping
- Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
- I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions that:
 - any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
 - all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
 - all mechanical, electrical and plumbing devices will be installed above base flood elevation.
 - walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
 - the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
- I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

Print Name: <u>Kathy Reynolds</u>	Owner Signature: <u>Kathy Reynolds</u>
Phone No.: <u>678-643-6261</u>	Email: <u>reynoldsglkp@yahoo.com</u>
Date: <u>10/18/19</u>	

The foregoing instrument was acknowledged before me by Kathy Reynolds, who is personally known to me or has produced Drivers License as identification and who did not take an oath.

WITNESS my hand and official seal this 18th day of October, A.D., 2019.

Lauren I. Cooperman
 Notary Public Signature

My Commission expires: 07/23/2029
 Please affix seal or stamp.

LAUREN I. COOPERMAN Notary Public State of South Carolina My Commission Expires Jul 23, 2029



ARCHITECTURE

INTERIOR DESIGN

DESIGN STUDIO

October 28, 2019

Christ Lutheran Church New Work Narrative

The scope of work is two areas in need of a facelift. They are the Entry exterior and Narthex and Sanctuary Interiors.

A covered porch is being added to allow for safe and covered drop off for those attending, improvements to site drainage issues and to improve sound isolation from traffic noise and the playground by changing the existing wood wall to masonry.

The Narthex is being updated with new finishes to provide organization and allowing for increased fellowship before and after services.

The Sanctuary is to receive interior improvements to the Choir loft area, the removal of the sliding glass doors between the Sanctuary and Vestibule and updated finishes. Exterior work is to remove the sliding glass doors and replace with fixed glass, maintaining the exit doors and new entry doors.

The exterior finishes will match the existing stucco, bronze metal windows and wood panel doors. New exterior lighting will be recessed in the ceiling of the covered porch and low level landscape lights. All the existing landscape material in the 2 areas beside the entry will be replaced with new per the landscape plan.

TAKE A STROLL THROUGH OUR GALLERY AT
GROUP 3 DESIGNS . NET

843-689-9060 / 1600 MAIN STREET / HILTON HEAD ISLAND, SC 29926



**PROFESSIONAL
OUTDOOR LIGHTING**

Type: _____

Model: _____

Project: _____

SPECIFICATION SHEET

MODEL 2146-LED Landscape Series • Brass & Copper • Step & Brick Lights

FIXTURE SPECIFICATIONS:

HOUSING:

Copper free, stamped & formed aluminum recessed box with 1/2" knockouts on the back & side.

COVER PLATE:

Stamped solid copper, brass, or stainless steel faceplate; fitted to the recessed box with UV-resistant weather stripping – providing a superior weather-tight seal.

FINISH:

Natural Copper, Brass, Olde Brass, or Stainless Steel.

LENS:

Translucent, molded, high-impact, polycarbonate lens.

LAMP TYPE:

High Output LED with Vista exclusive smart-driver, powered to operate for 50,000 hours.

ELECTRICAL:

Input voltage range 6 - 15V AC or 12V DC, regulated to achieve uniform illumination throughout the cable run of fixtures. Integral surge & reverse polarity protection.

MOUNTING:

Recessed mounting box included.

FASTENERS:

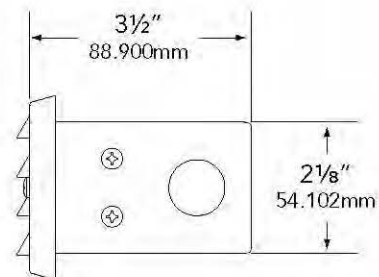
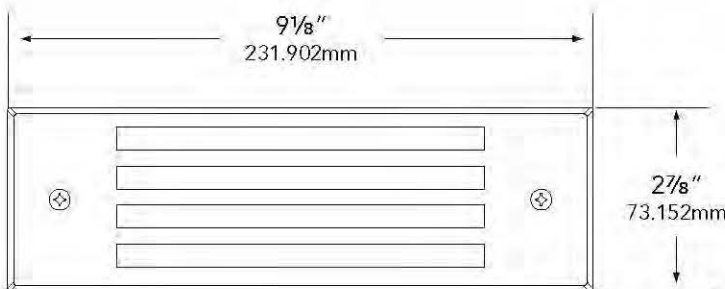
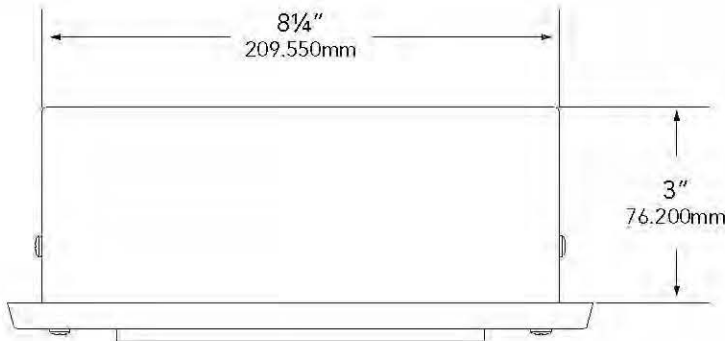
All fasteners are stainless steel.

WIRING:

Provided with a three-foot pigtail of 18-2 SPT1 UV resistant cable & underground connectors for a secure connection to the supply cable.

All Vista luminaires are **MADE IN THE U.S.A.**

DIMENSIONS:



Vista Professional Outdoor Lighting reserves the right to modify the design and/or construction of the fixture shown without further notification.



SPECIFICATION SHEET

MODEL 2146-LED Landscape Series • Brass & Copper • Step & Brick Lights

FIXTURE ORDERING INFORMATION

TO ORDER FIXTURE: Select appropriate choice from each column as in the following example.

EXAMPLE: SL-2146-CSN-W-LC5ND

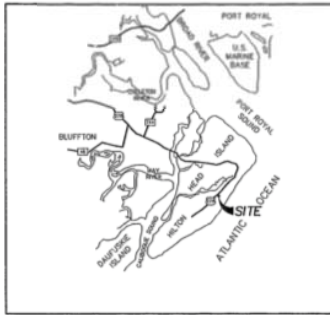
MOUNTING	MODEL	FINISH	COLOR TEMPERATURE	LAMP
SL- Step light	2146	CSN - Natural Copper BSN - Natural Brass BSO - Olde Brass SS - Stainless Steel	W - Warm N - Neutral C - Cool	LC5ND - 5 watt. LED - Group C Emitter Qty - 1 Temperature - Warm (W), Neutral (N), Cool (C) Operating voltage range - 6 to 15V. <i>(Please see lamp order code column on lamp guide, Vista product catalog.)</i>

Fixtures shipped with standard lamp, unless otherwise specified.
Fixtures shipped with specified mounting hardware.



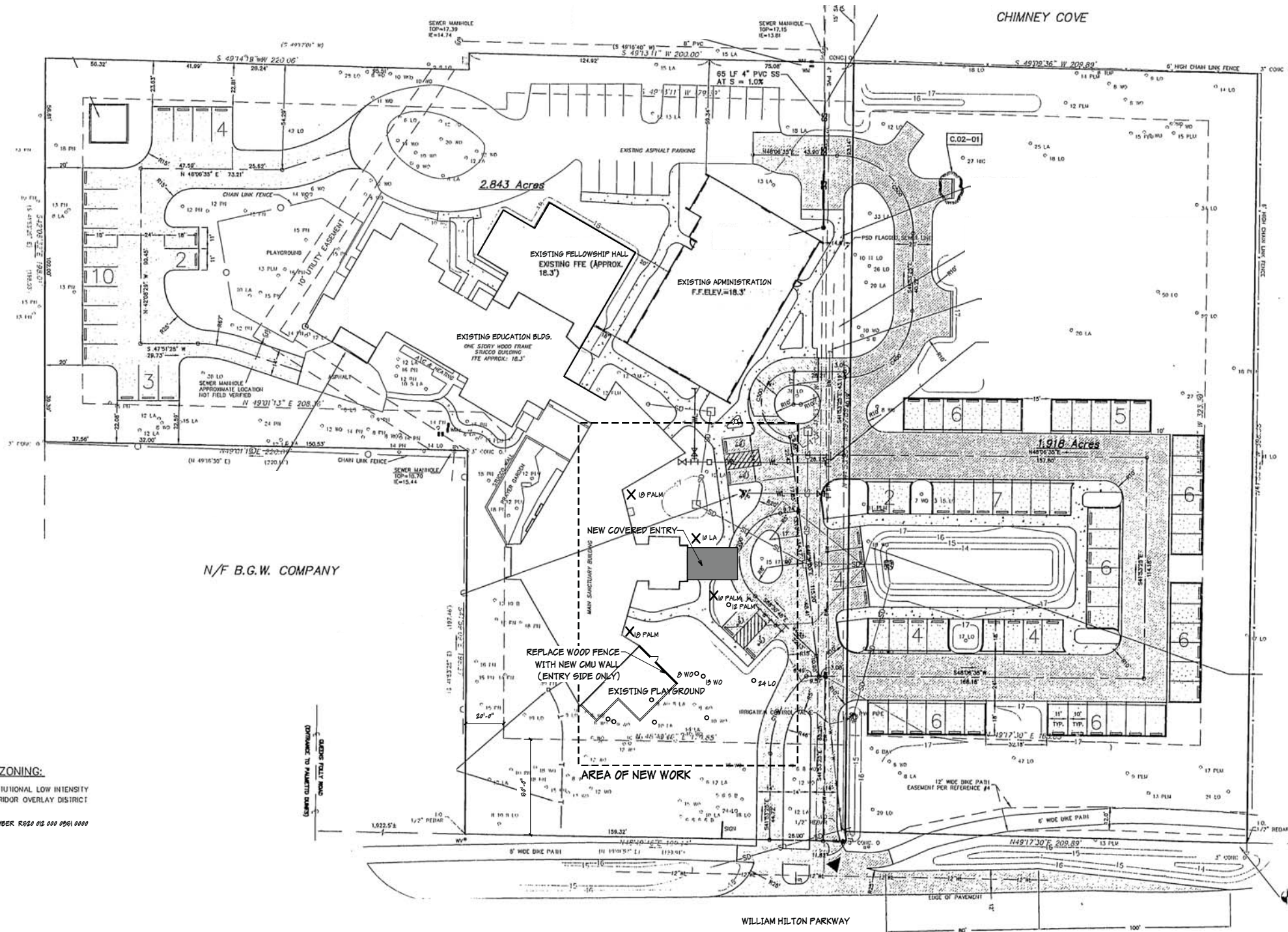






VICINITY MAP

NOT TO SCALE



LINE TABLE (BOUNDARY)

L1	1.00	147°39'06" W
L2	2.51	51°25'30" E
L3	0.01	147°39'06" W

SURVEY NOTES

- BOUNDARY, TREE, & TOPOGRAPHIC INFORMATION HAS NOT BEEN FIELD-VERIFIED BY CONNOR & ASSOCIATES, INC. AND WAS TAKEN FROM A SURVEY BY TERRY G. HATCHELL, PREPARED FOR CHRIST LUTHERAN CHURCH OF HILTON HEAD ISLAND AND DATED 05/11/98.
- ACCORDING TO THE ABOVE NOTED SURVEY, THIS PROPERTY LIES IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.L.D. PANEL 14-D, COMMUNITY NO. 450250, MAP DATED 09/29/86, BASE ELEVATION N/A.

SITE ZONING:

OL - OFFICE/INSTITUTIONAL LOW INTENSITY
HIGHWAY 278 CORRIDOR OVERLAY DISTRICT

TAX MAP PARCEL NUMBER R222 02 000 0901 0000

LEGEND:

TREE SIZES ARE INCHES IN DIAMETER	
SP	SPOT ELEVATION
CONC. D.	CONTOUR
T.B.M.	CONCRETE MONUMENT, OLD (FOUND)
TR	TEMPORARY BENCH MARK
PK	PINE
LO	LIVE OAK
LA	LAUREL OAK
WO	WATER OAK
PLM	PALMETTO
INC	HICKORY
LUP	LUPELO
SYC	SYCAMORE
B	BAY
PP	POWER POLE
LP	LIGHT POLE
SP	SERVICES POLE
---	OVERHEAD POWERLINE
CA TV	CABLE TELEVISION BOX
TEL	TELEPHONE BOX
FI	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
A/C	AIR CONDITIONING UNIT

SITE DATA

TOTAL SITE	4.76 ACRES (207,849 SQ. FT.)
EXISTING IMPERVIOUS	66,894 SQ. FT. (32%)
NEW IMPERVIOUS	1,181 SQ. FT.
TOTAL IMPERVIOUS	68,075 SQ. FT. (32.6%)

- X TREES TO BE REMOVED
- X EXISTING PALMETTO ELECTRIC SHOEBOX LIGHT ON WOOD POST



SCALE: 1" = 50'



1600 Main Street, Hilton Head Island, SC 29926 (843) 689-9060
Group3Designs.net

SEAL

SEAL

A Remodel For:
Christ Lutheran Church
829 William Hilton Pkwy.
Hilton Head Island, S.C.

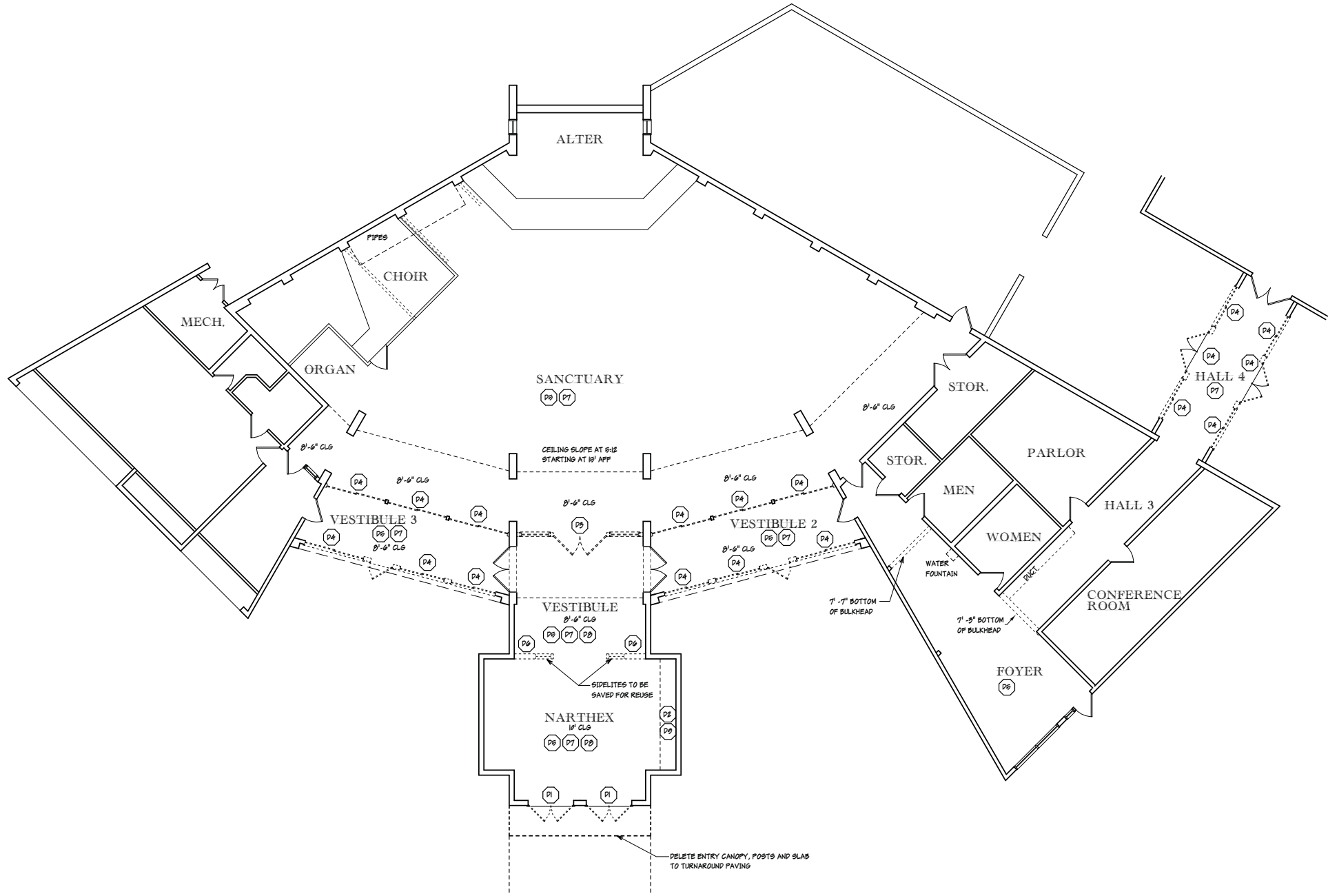
DATE:	10.20.10
PARTNER:	RMC
PROJ. MGR.:	JAV
DRAWN BY:	JAV
CHECKED BY:	RMC
OFFICE:	HHI
PROJECT NO.:	J-146-10

REVISION:	DATE:	BY:

Site Plan

C100

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General Demolition Notes:

PROTECT EXISTING BUILDING AND LANDSCAPING THAT ARE SHOWN TO REMAIN.

COORDINATE WITH OWNER TO RELOCATE EXISTING LANDSCAPE MATERIAL TO BE REMOVED IN AREAS OF CONSTRUCTION.

DISCONNECT AND CAP OFF EXISTING WATER SUPPLY AND WASTE LINES AND PLUMBS FOR NEW FIXTURE LOCATIONS. REMOVE ALL ABANDONED PLUMBING LINES.

WHEN AN ITEM IS TO BE REMOVED, REMOVE THE COMPLETE ASSEMBLY.

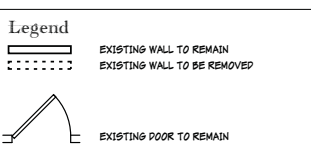
DISCONNECT ELECTRICAL SYSTEMS IN WALLS AND CEILING SCHEDULED FOR REMOVAL. PREP FOR NEW ELECTRICAL LOCATIONS. SEE ELECTRICAL PLANS.

CONTRACTOR TO COORDINATE WITH OWNER AND ARCHITECT REGARDING THE REMOVAL OF ALL ITEMS NOTED FOR DEMOLITION TO DETERMINE IF ITEMS ARE TO BE RETAINED, DISCARDED OR DONATED IN ACCORDANCE WITH APPLICABLE REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF DEMOLISHED MATERIALS FROM PROJECT SITE.

REPAIR ANY ITEMS NOTED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION.

PROVIDE SHORING AND BRACING FOR ANY STRUCTURAL ELEMENTS TO BE REMOVED.

- Demolition Notes:**
- (D1) REMOVE EXISTING EXTERIOR DOOR, FRAME, CASING, AND HARDWARE. PREP FOR TALLER REPLACEMENT. STAINED GLASS PANELS TO BE SAVED FOR REUSE.
 - (D2) REMOVE EXISTING PROP CEILING / BULKHEAD.
 - (D3) REMOVE EXISTING INTERIOR DOOR, FRAME, CASING, HARDWARE AND SIDELITES. PREP FOR TALLER REPLACEMENT.
 - (D4) REMOVE EXISTING SLIDING GLASS DOORS.
 - (D5) REMOVE DECORATIVE LIGHTING FIXTURES (ALL EXCEPT RECESSED CANS)
 - (D6) REMOVE EXISTING 2X STUD FRAMING, AS INDICATED. PROVIDE STRUCTURAL SUPPORT AS REQUIRED.
 - (D7) DEMO FLOOR FINISH, PREPARE FOR NEW. SEE FINISH SCHEDULE.
 - (D8) DEMO EXISTING BASE.
 - (D9) DEMO CASEWORK, BUILT-INS



SEAL

SEAL

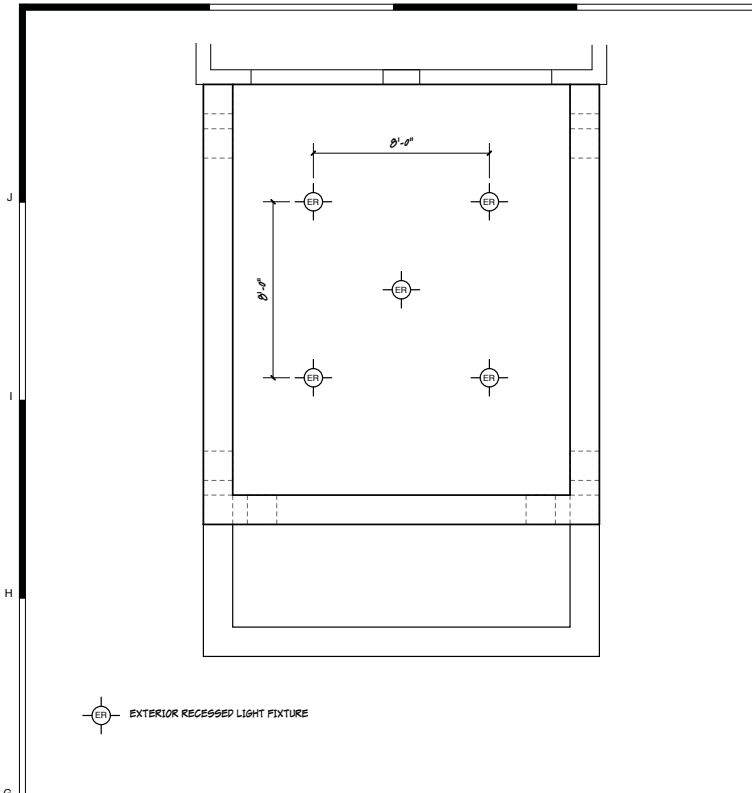
A Remodel For:
Christ Lutheran Church
 829 William Hilton Pkwy.
 Hilton Head Island, S.C.

DATE:	11.22.19
PARTNER:	RMC
PROJ. MGR.:	JAV
DRAWN BY:	JAV
CHECKED BY:	RMC
OFFICE:	HHI
PROJECT NO.:	J-146-19

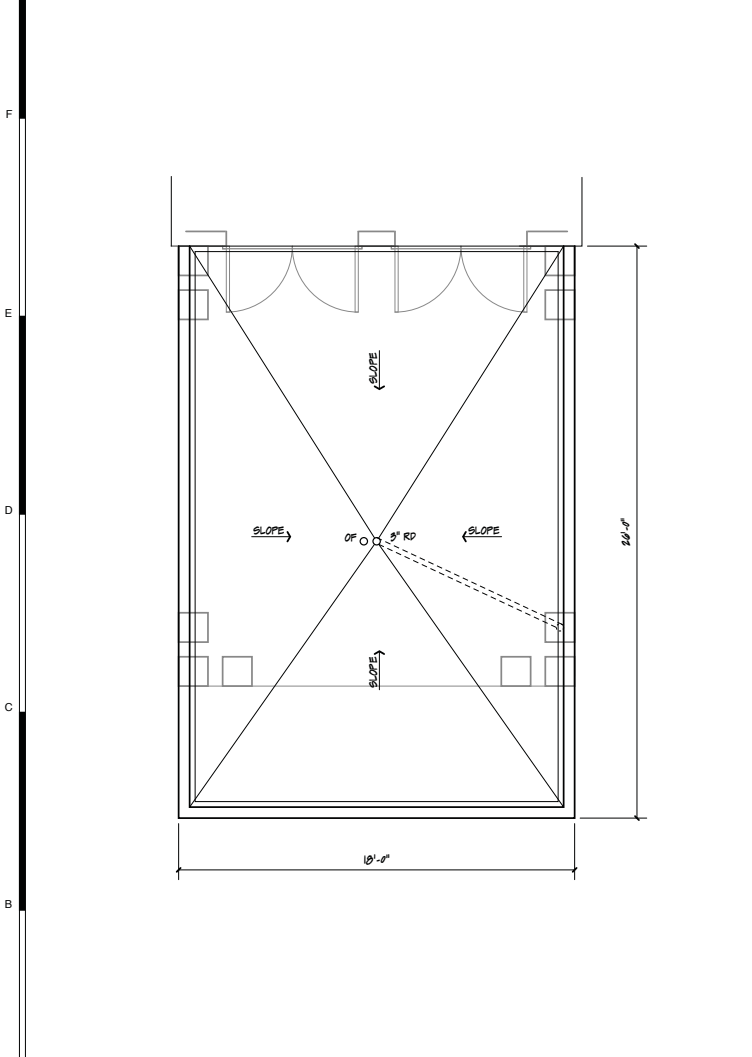
REVISION:	DATE:	BY:

Demolition Plan

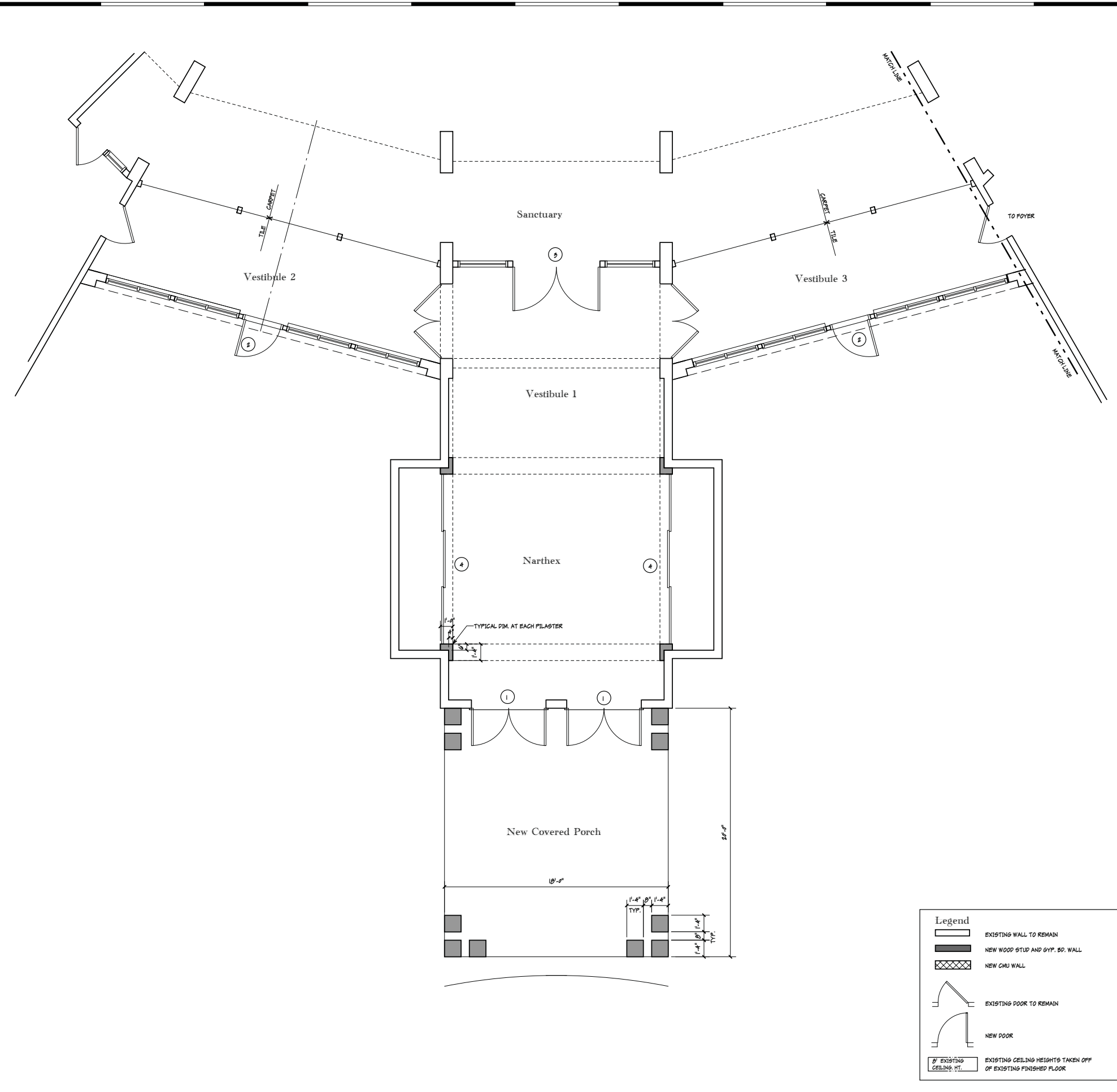
A099



A1 Porch Reflected Ceiling Plan SCALE: 1/4" = 1'-0"



A1 Porch Roof Plan SCALE: 1/4" = 1'-0"



A5 Narthex Floor Plan SCALE: 1/4" = 1'-0"

Legend

- EXISTING WALL TO REMAIN
- NEW WOOD STUD AND GYP. BD. WALL
- NEW CMU WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING CEILING HTS. TAKEN OFF OF EXISTING FINISHED FLOOR

SEAL

SEAL

SEAL

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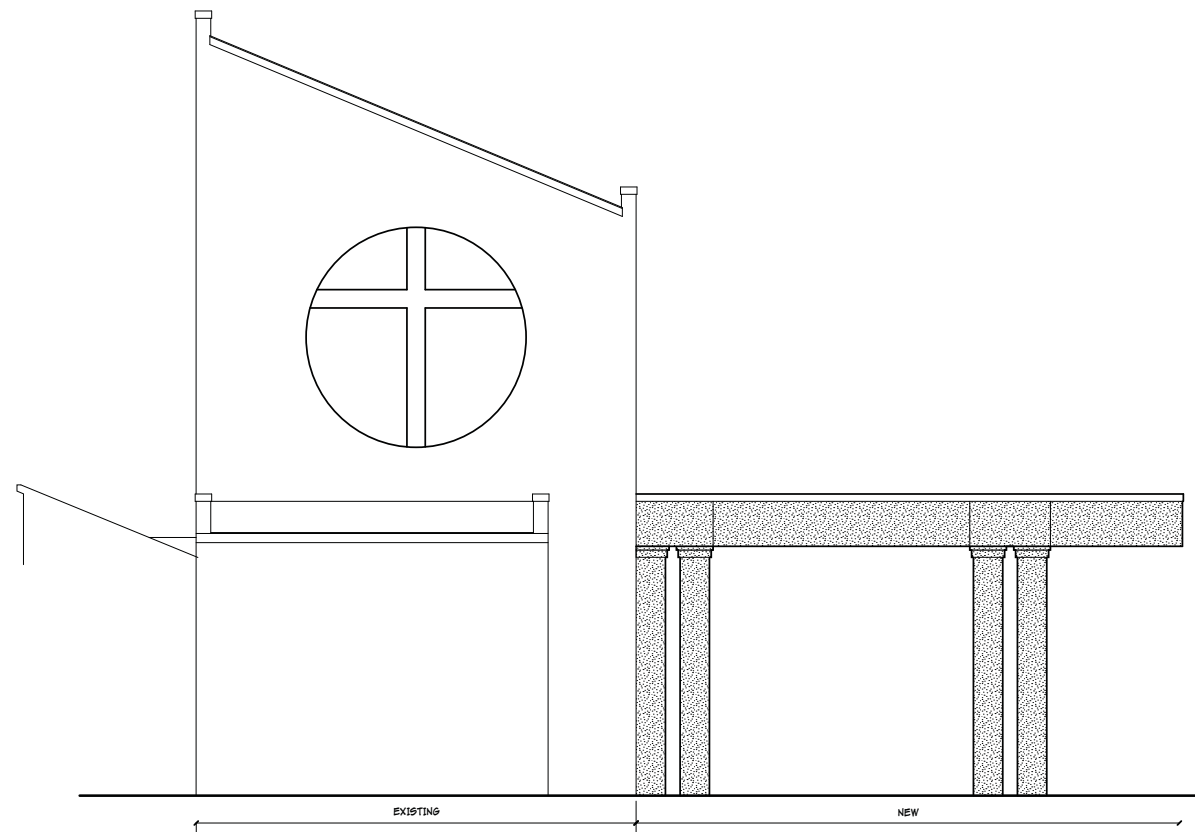
DATE: 11.22.10
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PROJ. MGR.: JAV
DRAWN BY: JAV
CHECKED BY: RMC
OFFICE: HHI
PROJECT NO.: J-146-10

REVISION:	DATE:	BY:

Narthex Floor Plan
A100



Entry Elevation



Side Elevation

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A1 Elevations



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SEAL

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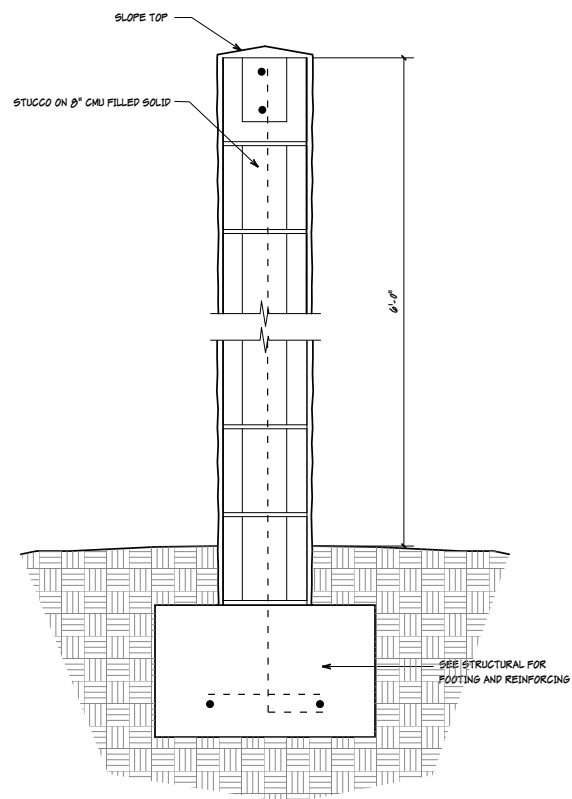
REVISION:	DATE:	BY:

Elevations

A200

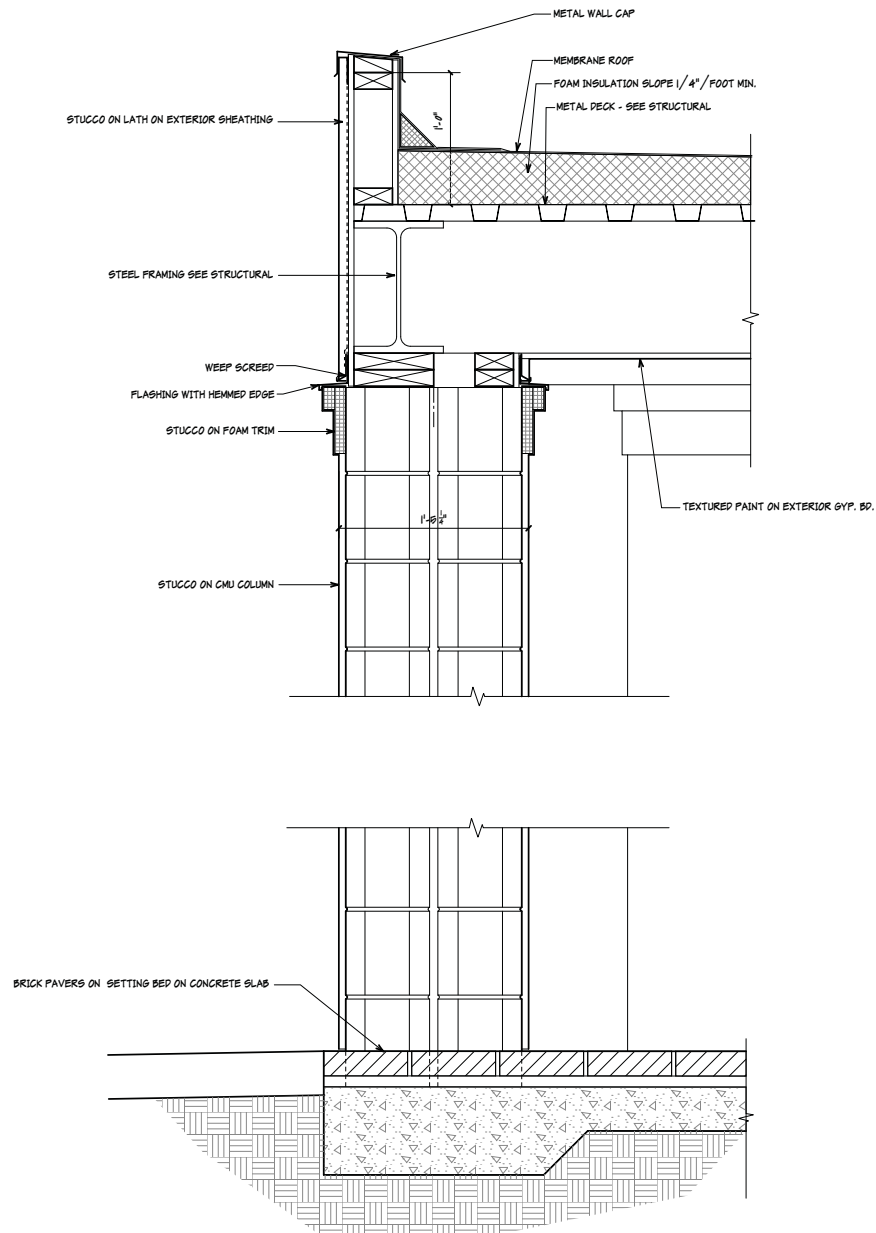
SCALE: 1/4" = 1'-0"

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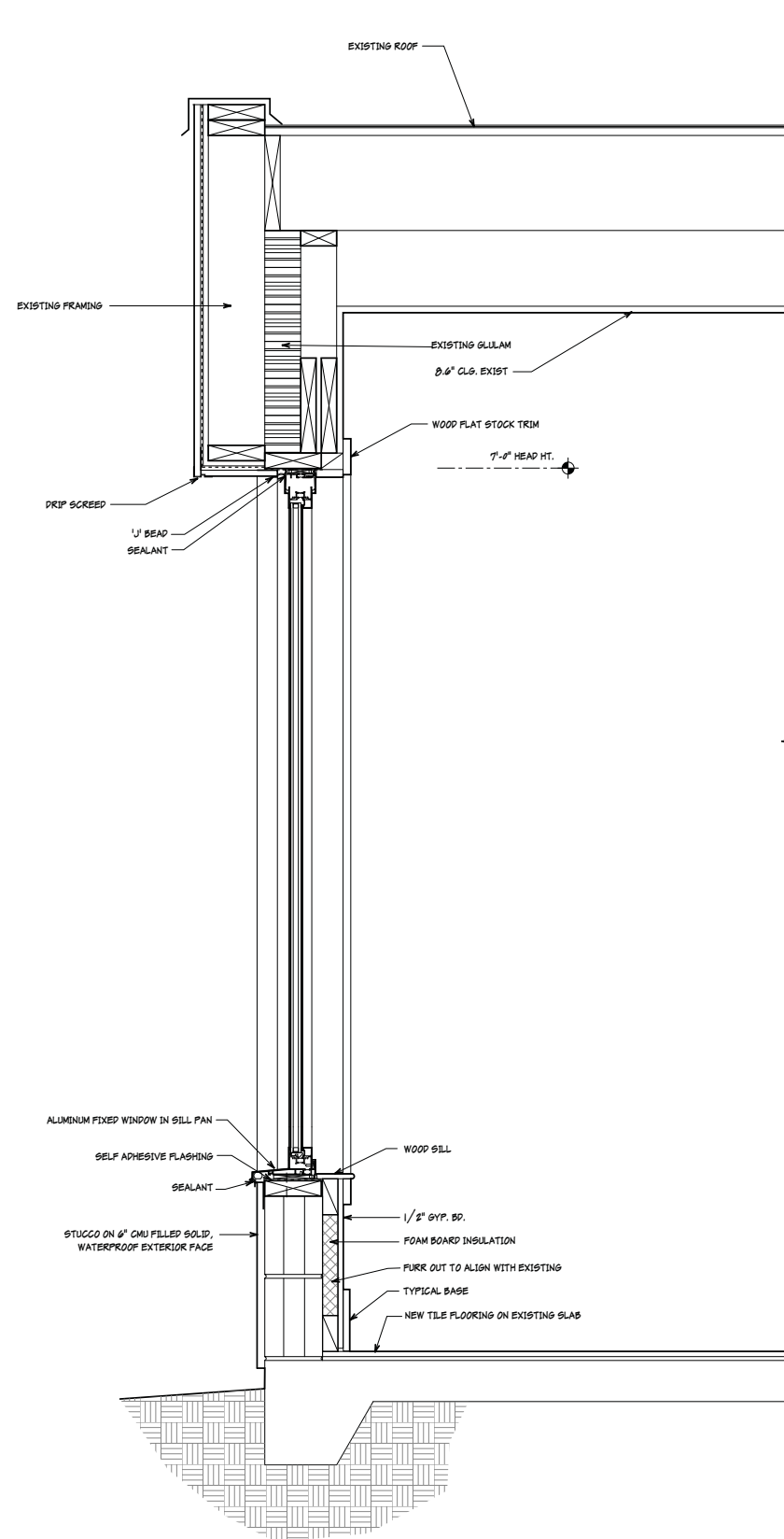
A1 Wall Section

SCALE: 1/2" = 1'-0"



A5 Porch Section

SCALE: 1/2" = 1'-0"



A10 Section at Vestibule

SCALE: 1/2" = 1'-0"



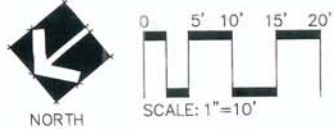
	SEAL
	SEAL

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REVISION:	DATE:	BY:

Sections /
 Details
A600



REFERENCES:
 1. SEE PLAN - BUILDING FOOTPRINTS, ROADS, WALKS & TOPG INFORMATION PROVIDED BY GROUP 3 ARCHITECTS.

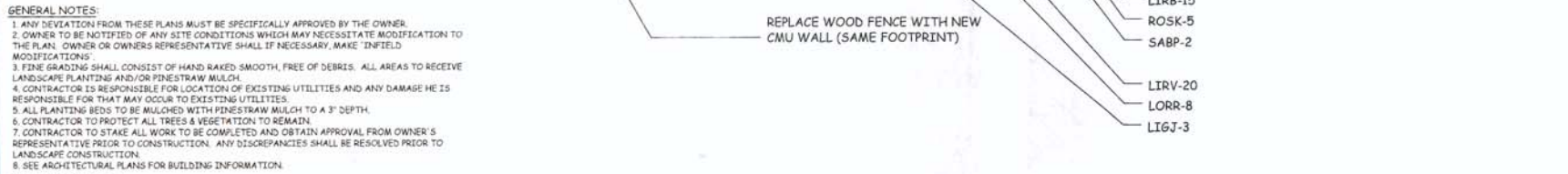
- INCL. PLANTS FROM BOTH SIDES OF ENTRY (MIRROR)
- PODM-4
 - LIRV-12
 - LI6J-8
 - MUHC-30
 - PODM-4
 - LIRB-32
 - DIAT-20
 - LAGN-8
 - BENCH TYP.
 - LIRV-24
 - ANNUAL BED
 - EXISTING PALM
 - PODM-2
 - LI6J-6

GENERAL NOTES:

1. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE OWNER.
2. OWNER TO BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. OWNER OR OWNERS REPRESENTATIVE SHALL IF NECESSARY, MAKE "IN-FIELD" MODIFICATIONS.
3. FINE GRADING SHALL CONSIST OF HAND BAKED SMOOTH, FREE OF DEBRIS. ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINESTRAW MULCH.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF EXISTING UTILITIES AND ANY DAMAGE HE IS RESPONSIBLE FOR THAT MAY OCCUR TO EXISTING UTILITIES.
5. ALL PLANTING BEDS TO BE MULCHED WITH PINESTRAW MULCH TO A 3" DEPTH.
6. CONTRACTOR TO PROTECT ALL TREES & VEGETATION TO REMAIN.
7. CONTRACTOR TO STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO LANDSCAPE CONSTRUCTION.
8. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.

IRRIGATION NOTES:

1. CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. IRRIGATION CONTRACTOR IS TO COORDINATE LOCATION OF WATER SOURCE/TAP WITH OWNER. SYSTEM TO BE INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND WELL ALL REGULATORY AGENCIES (I.E. PER TOWN CODES).
2. ALL PLANT BEDS TO RECEIVE DRIP IRRIGATION. SPRAY HEADS FOR SOD & LOW GROUND COVER AREAS.
3. ALL PLANTING BEDS TO BE MULCHED WITH PINESTRAW MULCH TO A 3" DEPTH.
4. IRRIGATION SYSTEM TO HAVE BATH SENSOR INSTALLED.



EXISTING SIDEWALK & PARKING STEP DOWN TO DEPRESSED LAWN 16" TREAD, 5" RISER

EXISTING DRAIN LOWERED TO AID IN DRAINAGE. ROOF DOWNSPOUTS TO BE ROUTED UNDERGROUND TO CATCH BASIN.

- MUHC-3
- LIRB-41
- DIAT-18
- ROSK-9
- SABP-1 (TO MATCH EXISTING ON OTHER SIDE)
- TREE TO BE REMOVED, TYP
- CYCR-1
- RE-PAVE EXISTING DROP-OFF
- NEW COVERED ENTRY
- LIRB-35
- CYCR-2
- ROSK-5
- DIAT-8
- LANT-11

NEW WALK

EXISTING STORMWATER RETENTION AREA

- LIRB-27
- CYCR-1
- ROSK-3
- DIAT-9
- MUHC-3

INTRODUCE NEW CATCH BASIN TO AID IN DRAINAGE. ROOF DOWNSPOUTS TO BE ROUTED UNDERGROUND TO CATCH BASIN.

EXISTING SIDEWALK & PARKING

REPLACE WOOD FENCE WITH NEW CMU WALL (SAME FOOTPRINT)

PLANTING SCHEDULE

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT	REMARKS
TREES:						
LAGN	8	LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ GRAPE MYRTLE	8-10'	4-5'	--	--
SABP	6	SABAL PALMETTO CABBAGE PALMETTO	8-12'	--	--	--

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT	REMARKS
SHRUBS:						
CYCR	4	CYCAS REVOLUTA SAGO PALM	24-30'	24-30'	--	--
LI6J	17	LIQUIDUM JAPONICUM JAPANESE FRIVET	24-36"	24-36"	7 GAL	--
LORR	16	LOBOPETALUM CHINENSE EVER RED FRINGEFLOWER	18-24"	18-24"	3 GAL	--
MUHC	36	MUHLENBERGIA CAPILLARIS PURPLE MUPLY GRASS	14-16"	14-16"	3 GAL	--
PODM	10	PODOCARPUS MACROPHYLLUS JAPANESE UPRIGHT YEW	24-30'	18-24"	7 GAL	--
ROSK	26	ROSA RADRAZZ KNOCK-OUT ROSE	14-18"	14-18"	3 GAL	--

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	HEIGHT	SPREAD	ROOT	REMARKS
DIAT	55	DIANELLA TASMANICA 'VARIEGATA' VARIEGATED FLAX LILY	10-15"	6-10"	1 GAL	--
LANT	11	LANTANA LANTANA	10-12"	8-10"	1 GAL	--
LIRB	158	LITROPE MUSCARI 'BIG BLUE' BIG BLUE LITROPE	10-12"	10-12"	1 GAL	--
LIRV	56	LITROPE MUSCARI 'VARIEGATA' VARIEGATED LITROPE	10-12"	10-12"	1 GAL	--
SOD	** sf	CENTPEDE SOD				3" DEPTH
MULCH		LONGLEAF PINE				



TREE LEGEND

CODE	COMMON NAME	BOTANICAL NAME
PH	PINE	Pinus spp.
LD	LIVE OAK	Quercus virginiana
D	DOGWOOD	Quercus spp.
MAE	MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SLB	SUGARBERRY	Dalea lewisii
EL	ELM	Ulmus spp.
CC	CORNY	Coryl. spp.
BAY	BAY MAGNOLIA	Davidia spp.
WE	WEED MYRTLE	Myrica carolin.
CH	CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	TANALIS	Sesuvium portulacastrum
PC	PELLICOR	Liriodendron tulipifera
BE	BELLS	Betula spp.
CY	CYPRESS	Taxodium distichum
ST	STARBUCK	Fraxinus americana
PE	PECAN	Carya illinoensis
DR	DRAGONFRUIT	Leguminosae Indica
FR	FRUIT TREE	
MA	MAPLE	Acer spp.
DW	DOGWOOD	Cornus florida
SLM	SLIM	
UNK	UNKNOWN	

ALL TREES ARE LOCATED TO THE FACE OF THE TRUNK, THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY BE BUILT UP ACCORDING TO REPRESENTATIVE ELEVATIONS AT THE BASE OF THE TREE TO THE GROUND BUTTERS WITHOUT THE TREE LOCATIONS. ANY DISCREPANCY BETWEEN THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE AGREED UPON.

FRONT ENTRY LANDSCAPE DESIGN
 CHRIST LUTHERAN CHURCH, HILTON HEAD ISLAND, SC

October 24, 2019

SITENETWORKS DESIGN GROUP, LLC

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Christ Lutheran Church Renovation

DRB#: DRB-002244-2019

DATE: 11/03/2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Specify the stucco finish and color to match existing stucco.
2. Ligustrum is an invasive species, specify a different plant.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Todd Theodore Company: Wood + Partners inc.
 Mailing Address: 7 Lafayette Place City: Hilton Head Island State: SC Zip: 29926
 Telephone: 843-681-6618 x230 Fax: _____ E-mail: ttheodore@woodandpartners.com
 Project Name: 55 Gardner Dr. - Multi-Family Project Address: 55 Gardner Drive, Hilton Head Island, SC 29925
 Parcel Number [PIN]: R 5 1 0 0 0 8 0 0 0 0 9 8 A 0 0 0 0
 Zoning District: PD-1 (Multi-Family Residential) Overlay District(s): COR (Corridor Overlay District)
Indigo Run

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for ***All*** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

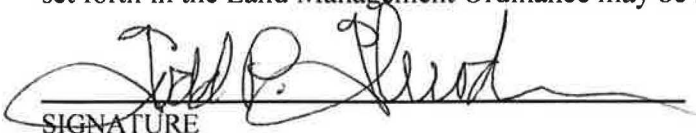
Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-29-2019
DATE

55 Gardner Drive

Hilton Head Island, SC

Final Design Review Board Narrative

October 29, 2019

Spandrel Development Partners, LLC is proposing a new multi-family residential community on approximately 13.89 acres at 55 Gardner Drive (Parcel ID # R510 008 000 098A 0000). The property is currently developed as the Hilton Head Christian Academy campus. The school plans to relocate to Bluffton, SC. All existing building structures, parking, select utilities, and infrastructure related to the multi-use field will be demolished. The property is zoned as PD-1 and allows for 260 units.

The proposed development will provide 260 apartments consisting of studio, one, two, and three bedroom units with five percent (5%) of the units to be at below market rental rates. The plan will consist of four (4) separate three-story and four-story residential buildings strategically placed to take advantage of previously developed areas of the site and create useable open space for residents and guests. As a result of discussions and meetings with the residents of the Old Woodlands Plantation neighborhood, buildings along the Southern property line have been stepped down so that all facades are three-story. In addition to the four (4) residential buildings, a one-story clubhouse building with a clerestory is located adjacent to the realigned entrance off of Gardner Drive will provide amenities for residents.

The building architecture will be understated and harmonious with the island's natural environment in form and color and will feature the following prominently:

- Generous overhangs with brackets to create shadow lines
- Gables and hips to break up large roof planes.
- Offsetting planes with a variety of depths to introduce articulation in the building façade.
- Historically presented materials such as lap siding and brick will help provide contrasting textures
- Use of small-scale entry porches at grade level to achieve human scale.
- Clean and simple details. Window openings are arranged in traditional vertical proportion and have a unified relationship in overall design. Traditional elements such as shutters, brackets and louvers are used to provide visual interest.

The site will feature nicely landscaped walking paths connecting all the buildings to the central green and adjacent Town bike path. The one curb cut and main entry to the site has been realigned to better relate to the clubhouse and accommodate vehicle turnaround space for the gated entrance. One main identification sign will be located along Gardner Drive, and will be similar in scale to the sign at Magnolia Place off Leg O Mutton Road.

For security and access control, a perimeter fence around the community will be utilized in conjunction with vehicular and pedestrian gates that will be installed to restrict access to only residents, guests, approved vendors, and community staff. Buildings and main entranceways have been oriented around a central green with service and garage parking located on the opposite, perimeter side.

Vehicular and bicycle parking will be provided at the appropriate rate for the studio, one, two, and three bedroom units per LMO requirements. A combination of surface parking and garage parking is being utilized in order to meet the parking requirements. Vehicle charging stations will also be provided.

Mail delivery and pickup will be centrally located inside the clubhouse for all residents. Each of the four residential buildings will have integrated trash disposal that will then be collected and properly disposed of by community staff.

All specimen trees located on site will be preserved. Detailed mitigation and buffer charts demonstrating the plans meet the LMO are provided.

The water quality analysis for the project will address the OCRM First Flush requirements, the Town of Hilton Head Island Volume Control requirements, and BMP Standards. The site contains existing infrastructure (buildings, parking areas, wet-pond, etc.) and will be accounted for as the pre-existing condition. Runoff associated with the buildings, parking areas, and sidewalks will be routed through a series of pervious pavement and dry-detention ponds in order to infiltrate the required volume. These proposed BMP's will take advantage of the permeable soils onsite and infiltrate runoff prior to discharging peak flows to the existing drainage swales that discharge into wetlands before ultimately discharging into the Broad Creek.

The existing site has three outfall locations. The northeastern half of the site drains to a wet pond before discharging to an existing swale that outfalls into a wetland. The southeastern half of the site drains to existing drainage swales which run parallel to the property lines. A small southwestern portion of the site drains to an existing swale that is located on Town owned property. Ward Edwards has met with the Town of Hilton Head Island engineering staff to review the existing site drainage patterns. Due to downstream flooding issues along the southeastern swale(s), we were directed by the Town to route our stormwater to the existing southwestern swale located on Town property. Therefore, the three dry detention basins located along the southern portion of the site will be inter-connected and discharge to the existing swale located on Town property.

There are delineated wetlands located in the northwestern section of the property. However, this project won't disturb any of the wetlands locate on-site and will maintain the appropriate wetland buffers. A request has been filed with the U.S. Army Corps of Engineers for an Approved Jurisdictional Determination.

Existing water and sewer mains, owned and operated by Hilton Head Island Public Service District, are available for the subject property with adequate capacity to properly service the proposed development and are located with the Gardner Drive right-of-way. The water and sewer utilities available are anticipated to be adequate to service the proposed development. Dedicated utility easements will be provided upon close out of the development.

Electrical service will be provided by Palmetto Electric. Cable television services will be provided by Hargray or Time Warner Cable. The existing services are located along Gardner Drive within the right-of-way.

The owner will be responsible for maintaining the development in accordance with all Town of Hilton Head requirements and guidelines. All proposed improvements, outside of water and sewer services, will be owned and maintained as described above.

The proposed 55 Gardner Drive Development will increase the supply of market-rate, workforce, and below market-rate housing in one of the island's largest commercial districts which will help to improve economic opportunities for adjacent businesses as well as improve quality of life for present and future Hilton Head Island residents.

DRB – 002099-2019

DESIGN REVIEW BOARD CONDITIONS CLARIFICATIONS & RESPONSES:

APPLICATION MATERIAL

- 1) *Dimensioned Details and of Sections should be provided at Final*
 - a. Architect has included attached dimensioned details for review.

ARCHITECTURAL DESIGN

- 1) *Utilizes natural materials and colors. Should be provided at Final*
 - a. Architect has provided a material board for review to communicate the design intent of materials and colors.
- 2) *Has a strong roof form with enough variety to provide visual interest. Consider a second roofing material to break up the extensive roof coverage.*
 - a. Architect has used a variety of techniques to break up the extensive roof. These include providing large over hangs with brackets, vertical elements with gable roofs to interrupt the soffit and fascia, and creating hips and valleys to break down the strong roof form. Additionally the tower element further interrupts the extensive horizontal element, essentially breaking it down into two smaller roof forms.
- 3) *Utilizes a variety of materials, textures and colors. Should be provided at Final.*
 - a. Architect has provided a material board for review to communicate the design intent of materials and colors.
- 4) *Decorative lighting is limited and low wattage and adds to the visual character. Should be provided at Final.*
 - a. Architect has updated the elevations to reflect the building exterior lighting design intent. Please see attached cut sheets of the proposed light fixtures.
- 5) *Provide a Gardner Drive streetscape illustration (to scale) for review by the DRB at Final.*
 - a. The streetscape illustration is included in the submission.
- 6) *Provide an alternate to the L-shaped appendage of Building 1 reducing that part of the building at Gardner Drive to three-story to help lower the scale from Gardner Drive for review by the DRB at Final.*
 - a. A streetscape illustration showing the shorter L-shaped appendage of Building 1 reduced to three-stories, while the main portion of the building remains at 4 stories.

LANDSCAPE DESIGN

- 1) *Preserves a variety of existing native trees and shrubs. Additional trees could be saved:*
 1. *Study saving additional trees by shifting clubhouse and drop-off toward Gardner to save 28" pine currently in drive isle.*

- a. The clubhouse building and drop-off aisle way and parking were shifted approximately 20 feet towards Gardner Drive to locate and save the 28" Pine in the drop-off planting island.
- 2) *Study saving additional trees by shifting clubhouse and drop-off toward Gardner to save 23" pine and other trees left of the front door.*
- a. The clubhouse building and drop-off aisle way and parking were shifted approximately 20 feet towards Gardner Drive to save the 23" Pine and increased the number of trees being saved to the left of the front door.
- 3) *Study saving additional trees in the southern buffer.*
- a. All existing trees are to remain within the 20 foot setback along the southern property line adjacent to the residential development; and within the 20 foot buffer along the southern property line adjacent to the Town Owned parcel. Furthermore, we have modified the stormwater and site plans to save additional existing trees on the development side of the 20 foot setback and buffer along the southern property line adjacent to both the residential development and Town Owned parcel.
- 2) *Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s). The conceptual planting plan shall include trees in the dry stormwater detention basin and/or on the basin banks adjacent to the parking lot to help screen the buildings from the single family residences.*
- a. We are providing a Type D buffer planting on the development side of the 20 foot setback line along the southern property line adjacent to the residential development to help screen the buildings from the single family residences. These new buffer plantings shall be located within and along the banks of the stormwater detention basin. No existing trees in the 20 foot setback area were used to calculate the required buffer plantings.
- 3) *Provide larger caliper trees than required due to the height of the buildings and specify in planting plan.*
- a. We have revised (36) proposed Live Oak trees to be 4" caliper trees from the Town's minimum requirement of 2" caliper trees. These trees are located as follows:
 - i. Sheet L-401, both in the buffer and parking lot islands between Gardner Drive and Building 1; and within the Central Green;
 - ii. Sheet L-402, within the Central Green space;
 - iii. Sheet L-403, between the main entrance drive and building; and within the proposed buffer plantings along the southern property line adjacent to the single family residential development;
 - iv. Sheet L-404, within the proposed buffer plantings along the southern property line adjacent to the single family residential development.
- 4) *Provide planted islands between garage doors, but not necessarily every garage door, to help soften the building side.*
- a. WPI has provided planted islands between garage doors where possible.

Applicant:

55 Gardner Drive - Hilton Head Island, SC
Site Materials & Furnishings

October 29, 2019

TABLE OF CONTENTS

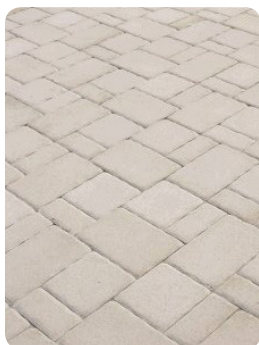
HARDSCAPE MATERIALS PAGE 2-3
POOL MATERIALS PAGE 4
SITE FURNISHINGS PAGE 5
SITE LIGHTING PAGE 6



Permeable Pavers (Parking Stalls)



ADA Truncated Domes; ADA and Parking Striping Pavers



Permeable Pavers (Pedestrian Areas)

Concrete Walks, Curbs & Gutters:

- Natural
- Finish: Medium Broom w/ sawcut joints

Asphalt Driveways and Multi-Use Path:

- Standard Finish

Stamped Asphalt Crosswalk:

- Finish and Color: Town of Hilton Head Standard

Vehicular Permeable Pavers (Parking Stalls):

- Lowcountry Paver - HydraShed
- Thickness: 3 1/8"
- Style: Classic
- Color: Bonfire
- Pattern: Herringbone
- Standard Striping Color: Battery Gray
- ADA Striping & Symbol Color: Blue

Gravel Permeable Paving (Parking Stalls):

- Material: Crushed Stone
- Color: Gray

ADA Truncated Dome Pavers:

- Lowcountry Paver
- Thickness: 2 3/8"
- Style: Classic
- Color: Red
- Pattern: Basketweave
- Border: Single Header Course

Permeable Pavers (Pedestrian Areas):

- Lowcountry Paver - Savannah Cobble
- Thickness: 2 3/8"
- Style: Classic
- Color: White Tan
- Pattern: 3 pc Random
- Border: Single Header Course



Perimeter Opaque Fence



Decorative Entry Fence and Pool Fence



Brick Entry Columns and Gate Arms

Perimeter Opaque Fence:

- Material: Wood
- Finish: Opaque Paint
- Color: Charleston Green

Decorative Entry Fence & Pool Fence and Gates:

- Manufacturer: Ameristar
- Model: Montage II Majestic
- Material: Aluminum
- Finish: Powdercoated Paint
- Color: Bronze

Brick Entry Columns and Gate Arms:

- Material: Brick
- Color: Match Buildings

Main ID Sign (will be submitted separately to DRB):

- Structure Materials: Brick Base w/ Wood Posts and Arms
- Sign Materials: TBD
- Brick Color: Match Buildings
- Wood Finish: Painted
- Wood Color: Charleston Green



Pedestrian Pavers (Pool Deck)



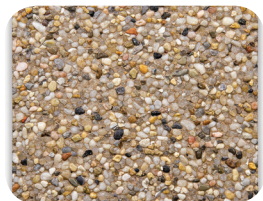
Pool Coping Color



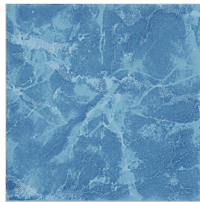
Pool Deck Color



Pool Plaster - Pool



Pool Plaster - Beach Entry



Pool Tile



Shower & Footwash



Drinking Fountain

Pedestrian Pavers (Pool Deck):

- Lowcountry Paver - 3-PC Lowcountry Cobble
- Thickness: 2 3/8"
- Style: Classic
- Color: White Tan
- Pattern: 3 pc Random
- Border: Single Header Course

Pool Coping:

- Scofield Integral Colored Concrete
- 18" Wide
- Color: Shadow Slate
- Finish: Medium Broom

Pool Deck:

- Scofield Integral Colored Concrete
- Color: Mesa Beige
- Finish: Medium Broom
- Joints: Angled; Tooled 1/4" wide x 1" deep; 36" spacing both directions
- Edges: Tooled; 4" wide

Pool Plaster:

- Pebble Tec
- Pool Color: White Pearl
- Beach Entry Color: Sandy Beach

Pool Tile:

- Manufacturer: National Pool Tile
- 6"x6" Seven Seas
- Color: Lake Blue

Pool Shower and Footwash:

- Manufacturer: Most Dependable
- Model: 565 SMSS with hose bib
- Color: Stainless Steel
- ADA Compliant

Pool Drinking Fountain:

- Manufacturer: Most Dependable
- Model: 440 SMSS
- Color: Stainless Steel
- ADA Compliant



Bench



Flagpole



Trash Receptacle



Bike Racks

Bench:

- Manufacturer: Anova
- Model: Streetside
- Color: Black
- Surface Mount

Flagpole:

- Manufacturer: Anchor Flag & Flagpole
- Model: Independence
- Finish: Satin Aluminum
- Height: 30 foot

Trash Receptacle:

- Manufacturer: Anova
- Model: Latitude
- Finish: Powdercoat
- Color: Black

Bike Racks:

- Manufacturer: Madrax
- Model: Gridrac GR116
- Finish: Powdercoat
- Color: Black

Pavilions in Center Green:

- Roof Material: Asphalt Shingle to match building
- Posts, Beams, Rafters and Trim Material: PTSYP Dimensional Lumber
- Finish: Paint to match building P1 trim color
- Post Base: Brick to match buildings

Trellises in Center Green and Pool Deck Area:

- Posts, Beams, Rafters, Purlins & Trim Material: PTSYP Dimensional Lumber & Timber
- Finish: Paint to match building P1 trim color
- Post Base: Brick to match buildings



Driveway, Parking & Area Lights - PECL

Driveway, Parking & Area Lights:

(Entrance & Central Green Areas)

- Palmetto Electric Company Inc.
- Model: Hagerstown
- Material: Aluminum; Finish: Black
- Light: LED
- Height: 14 Foot
-

(Rear Parking Areas)

- Model: Autobahn Large
- Material: Aluminum; Finish: Dark Bronze
- Light: LED
- Height: Standard



Pickleball Court Lights

Pickleball Court Light:

- Manufacturer: Lithonia Lighting
- Model: D-Series
- Material: Aluminum; Finish: Black
- Light: LED (Full Cutoff)

Sign Light:

- Manufacturer: WAC
- Model: WAC-5011-27-BK
- Material: Aluminum; Finish: Black
- Light: 16W LED, 12v, 2700k



Sign Light



Tree Up Light

Tree Up Light:

- Manufacturer: WAC
- Model: WAC-5011-27-BK
- Material: Aluminum; Finish: Black
- Light: 16W LED, 12v, 2700k



Flagpole Light



Path Light

Flagpole Light:

- Manufacturer: WAC
- Model: WAC-5211-30-BK
- Material: Aluminum; Finish: Black
- Light: 35W LED, 12v, 3000k

Path Light:

- Manufacturer: SPJ Lighting
- Model: SPJ150-B-MBR-6w
- Material: Solid Brass; Finish: Black
- Light: 2W LED, 12v, 2700k



SW 7666
Fleur de Sel
Interior / Exterior
Locator Number: 258-C3

P1



SW 7026
Griffin
Interior / Exterior
Locator Number: 241-C6

P4

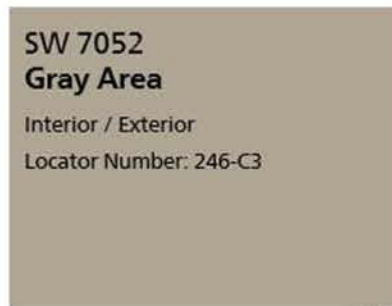


SW 6248
Jubilee
Interior / Exterior
Locator Number: 225-C3

P2



S1



SW 7052
Gray Area
Interior / Exterior
Locator Number: 246-C3

P3



B1



SH1



L1



P1: SHERWIN- WILLIAMS 7666 FLEUR DE SEL

P2: SHERWIN- WILLIAMS 6248 JUBILEE

P3: SHERWIN- WILLIAMS 7052 GRAY AREA

P4: SHERWIN- WILLIAMS 7026 GRIFFIN

B1: BORAL BRICK : COLOR: WALMAC BRICK WITH WHITE MORTAR

S1: ROYAL SOVEREIGN 3-TAB SHINGLES : COLOR/FINISH : SAGEWOOD

SH1:BAHAMA SHUTTER: SW 7026 GRIFFIN

R1: ALUMINUM RAILING: COLOR: WHITE

BL1: BALCONY MOSQUITO SCREEN: COLOR: DARK GREY OR EQUIVALENT

W1: DECORATIVE WOOD BRACKET: COLOR SW 7026 GRIFFIN

L1: OUTDOOR WALL LANTERN



W1

P1 P3 P2 P1 S1 R1 W1 SH1 BL1 P4 P4



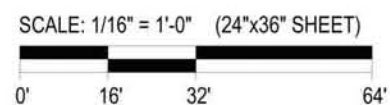
L1



R1



BL1



SCALE: 1/16" = 1'-0" (24"x36" SHEET)

MATERIAL BOARD

Wall Lantern:
Above Garage Door



AREA: BUILDING

TYPE: L

NUMBER:

50540 WB

MANUFACTURER:

LEGACY



DESCRIPTION: ONE LAMP EXTERIOR WALL LANTERN

LAMPING:

60W A19 Frost / 2pk

VOLTAGE:

120 V

FINISH: WEATHERED BRONZE

MOUNTING:

SURFACE

DIMENSIONS: 9.5"W 9.5"H X 9.5"E

LISTING:

UL LISTED - WET

APPROVAL:

Balcony Down Light:
Residential Balcony and
Secondary Building Entry
(Stairwell)



AREA: _____ UNITS

TYPE: _____ US

NUMBER: _____

LED-50020 BK

MANUFACTURER: _____

LEGACY



DESCRIPTION: COMPACT POCKET LANTERN BK

10W LED A19 2700K Frosted Med
Base

LAMPING:

VOLTAGE: 120 V

FINISH: BLACK

MOUNTING: SURFACE

DIMENSIONS: 6.25"H X 4.25"W X 6.25"E

LISTING: UL LISTED - WET

APPROVAL:	
------------------	--



up/down light:
Main Entry

AREA: BUILDING

TYPE: O

NUMBER:

LED-40961 BZ

MANUFACTURER:

LEGACY



DESCRIPTION: LED UP/DOWN SCONCE - BZ

LAMPING: 14W 1050L 3000K

VOLTAGE: 120 V

FINISH: BRONZE

MOUNTING: SURFACE

DIMENSIONS: 6.75"D X 12"H X 4.5"W

LISTING: UL LISTED

APPROVAL:



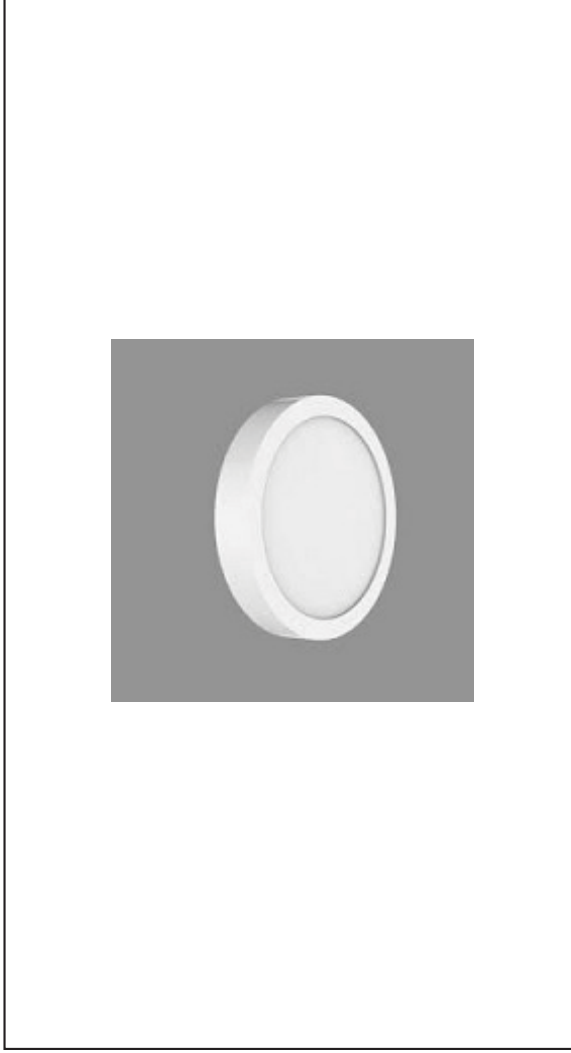
Ceiling Mounted:
Main Entry and
Club House

AREA: BUILDING

NUMBER: R L 7 9 1 - 9 0 0 L -
DIMTR-120-30K-90

TYPE: CL

MANUFACTURER:



DESCRIPTION:

SLIM SURFACE DISC

LAMPING:

15W 900L 3000K

FINISH:

WHITE

VOLTAGE:

120 V

MOUNTING:

CEILING

DIMENSIONS:

7"DIA X 1"H

LISTING:

UL LISTED

APPROVAL:

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

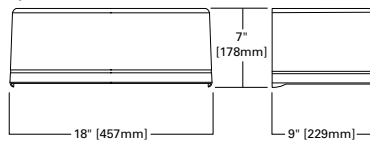
Warranty

Five-year warranty.

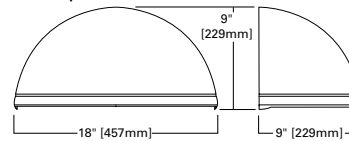


DIMENSIONS

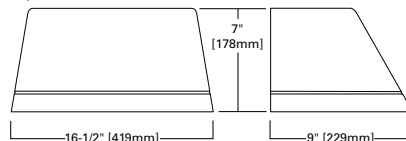
Cylinder



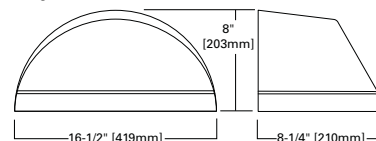
Quarter Sphere



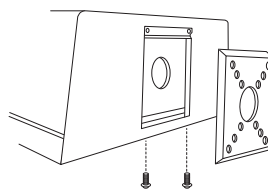
Trapezoid



Wedge



HOOK-N-LOCK MOUNTING



ISC/ISS/IST/ISW IMPACT ELITE LED

1 LightSquare
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightSquare
DesignLights Consortium® Qualified*
ISO 9001

ENERGY DATA

Electronic LED Driver

>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

CONTROL OPTIONS

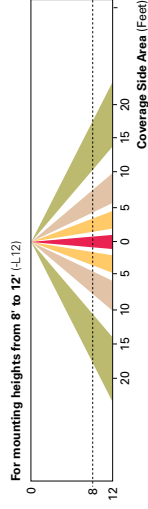
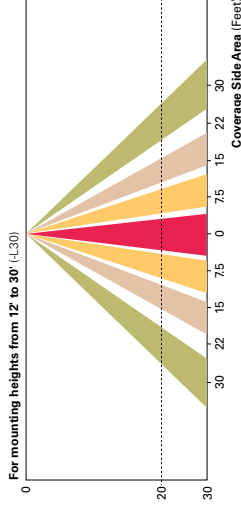
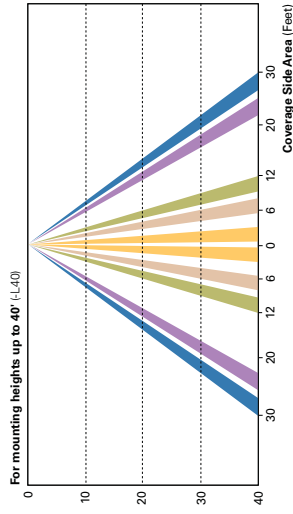
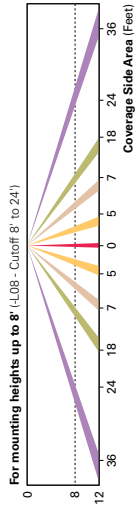
0-10V
This fixture is offered standard with 0-10V dimming driver.

Photocontrol (PC1, PC2 and PER7)
Optional button-type photocontrol provides a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels.

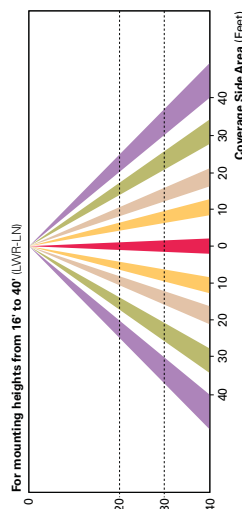
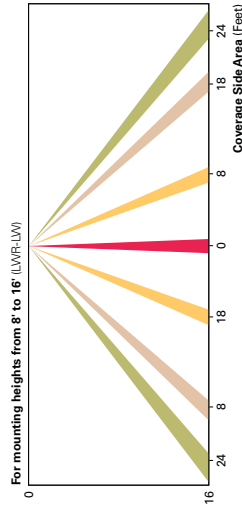
After Hours Dim (AHD)
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX)
These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes.

These occupancy sensors includes an integral photo cell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting -- the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)
The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.



WaveLinX Wireless Outdoor Lighting Control Module (WOLC-7P-10A)
The 7-pin wireless outdoor lighting control module enables WaveLinX to control outdoor area, site and flood lighting. WaveLinX controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomical or time schedules based on a 7 day week.

EXHIBIT "B-1" TO NARRATIVE SUPPLEMENT

Deed recorded in ROD in Book 2739 Page 10

SO that the said INDIGO RUN LIMITED PARTNERSHIP, nor its Successors, Assigns or any person or persons claiming under it shall at any time hereafter, by any way or means, have claim or demand any right, title or interest to the aforesaid Premises or appurtenances, or any part of parcel thereof, forever.

IN WITNESS WHEREOF, INDIGO RUN LIMITED PARTNERSHIP, by its duly authorized Partner(s), has caused these presents to be executed in its name this 30th day of September in the year of Our Lord One Thousand Nine Hundred and Ninety-eight and in the Two Hundred Twenty-third year of the Sovereignty and Independence of the United States of America.

SIGNED, SEALED and DELIVERED
in the Presence of

INDIGO RUN LIMITED PARTNERSHIP,
a South Carolina limited partnership

BY: IRP ASSOCIATES LIMITED
PARTNERSHIP, a South Carolina limited
partnership
Its: General Partner

BY: THE MELROSE COMPANY, INC.,
a South Carolina corporation
Its: General Partner


Margaret B. Luckey
B. Jane Yulem

By: Robert P. Paul
Its: Sr. Vice President

STATE OF SOUTH CAROLINA)
)
COUNTY OF BEAUFORT) ACKNOWLEDGEMENT

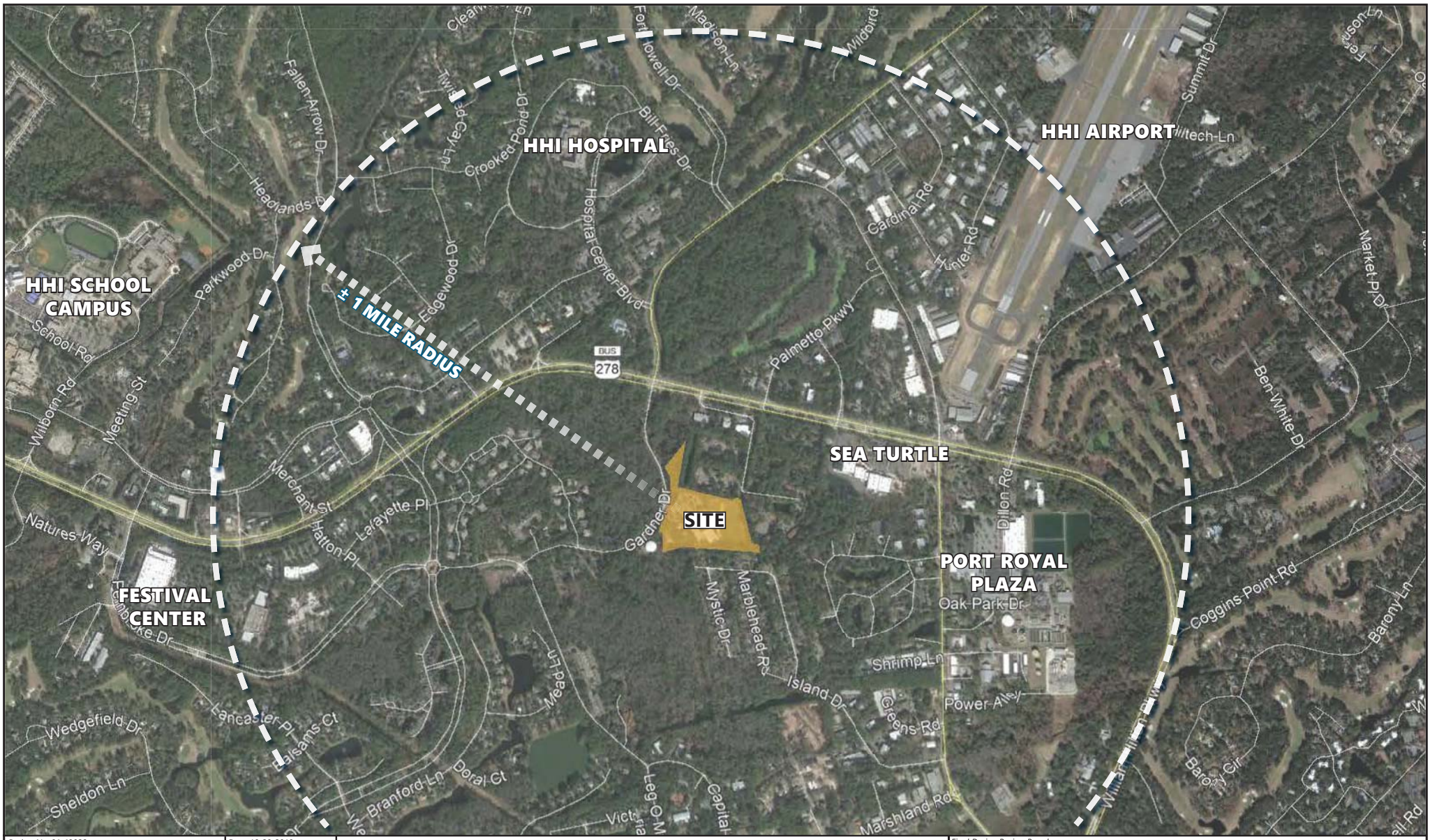
I, the undersigned Notary Public for the State of South Carolina, do hereby certify that RICHARD P. REICHEL, Sr. Vice-President of The Melrose Company, a South Carolina corporation, as General Partner for IRP Associates Limited Partnership, General Partner for Indigo Run Limited Partnership, personally appeared before me this day and, in the presence of the two witnesses above named, acknowledged the due execution of the foregoing instrument.

Witness my hand and seal this 30th day of September, 1998.



Notary Public for South Carolina
My Commission expires: July, 9, 2007

This Deed was prepared by Edward M. Hughes, Hughes Law Firm, P.C., P. O. Box 23526, Hilton Head Island, SC 29925.



Project No: 01-19028

Date: 10-28-2019

Final Design Review Board



Document is preliminary and subject to change.
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OVERALL VICINITY MAP
 55 Gardner Drive (Former HHCA Site)
 Hilton Head Island, South Carolina



PO Box 22649 • Hilton Head Island, SC 29924
 843.681.6616 • Fax 843.681.7380 • www.woodpartners.com



CONTEXT MAP (NOT TO SCALE)



SANDALWOOD TERRACE (MULTI-FAMILY, 2-STORY)



SANDALWOOD TERRACE (MULTI-FAMILY, 2-STORY)



HILTON HEAD GARDENS (MULTI-FAMILY, 2-STORY)



THE OAKS (MULTI-FAMILY, 2-STORY)



THE PRESERVE AT INDIGO RUN (MULTI-FAMILY, 2-STORY)



SOUTHWOOD PARK (COMMERCIAL)



OLD WOODLANDS PLANTATION (SINGLE-FAMILY, 1 & 2-STORY)



OLD WOODLANDS PLANTATION (SINGLE-FAMILY, 1 & 2-STORY)

Project No: 01-19028

Date: 10-28-2019

Final Design Review Board



Document is preliminary and subject to change.
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SURROUNDING CONTEXT

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscape Architects
Land Planners

PO Box 23849 ■ Hilton Head Island, SC 29924
843.681.6618 ■ Fax 843.681.7380 ■ www.woodpartners.com



WEST PROPERTY LINE (GARDNER DRIVE)

Project No: 01-19028

Date: 10-28-2019

Final Design Review Board



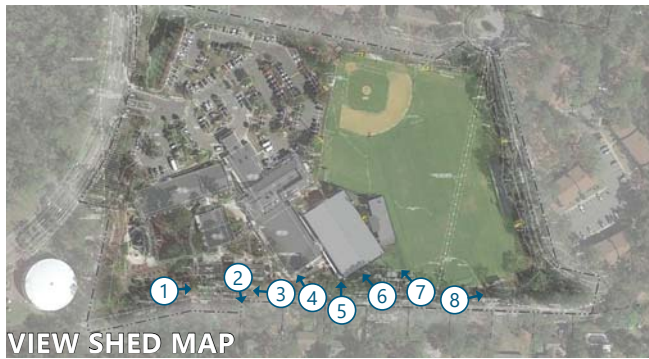
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EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



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SOUTHERN PROPERTY LINE

Project No: 01-19028

Date: 10-28-2019

Final Design Review Board



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EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



Landscape Architects
Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29924
843.681.6616 ■ Fax 843.681.7380 ■ www.woodpartners.com



VIEW SHED MAP



EASTERN & NORTHERN PROPERTY LINE



Project No: 01-19028

Date: 10-28-2019

Final Design Review Board



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EXISTING HHCA CONDITIONS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina



PO Box 23049 Hilton Head Island, SC 29924
843.681.6616 Fax 843.681.7380 www.woodpartners.com



EXISTING TREES ADJACENT TO LAGOON

Google Earth



EXISTING TREES ADJACENT TO PROPOSED BUILDING

55 Gardner Dr
Hilton Head Island, South Carolina
Google
Street View - Jun 2019



EXISTING TREES ADJACENT TO PROPOSED BUILDING



Google





EXISTING TREES ADJACENT TO PROPOSED BUILDING

NEW ENTRANCE

Google Earth

65 Gardner Dr
Hilton Head Island, South Carolina
Google
Street View - Jun 2019



EXISTING TREES ADJACENT TO PROPOSED CLUBHOUSE BUILDING



LEGEND

	Setbacks & Buffers
	Suitable Development Area (Existing Parking Lots, Buildings, Multi-Use Field)
	Specimen Trees* (28/18 Magnolia Not Shown. See Survey)
	Existing Tree Canopy To Remain
	Flood Zone Limit
	Existing Utility Easements* (Permits for and designed based on proposed infrastructure)
	Existing Retention Pond
	Pedestrian Access
	Vehicular Access (Median Strip Present within Gardner Dr)
	Tree to be Removed

Existing Utility Easements* (UYP)
Final easements to be re-plotted and adjusted based on proposed infrastructure improvements and coordination with HHI PSD.

Final Design Review Board

Wood+Partners Inc.
Land Planners
Landscape Architects
201 Woodrow Drive, Hilton Head Island, SC 29928
P: 843.681.1500 F: 843.681.1501 www.woodpartners.com

HUMPHREYS & PARTNERS ARCHITECTS, LP
Ward Edwards
ARCHITECTS

SITE INVENTORY & ANALYSIS
55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina

Date: 10-28-2019 Scale: 1" = 40'-00"



Document is preliminary and subject to change.
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SPANDREL
DEVELOPMENT PARTNERS

Project No: 01-19028

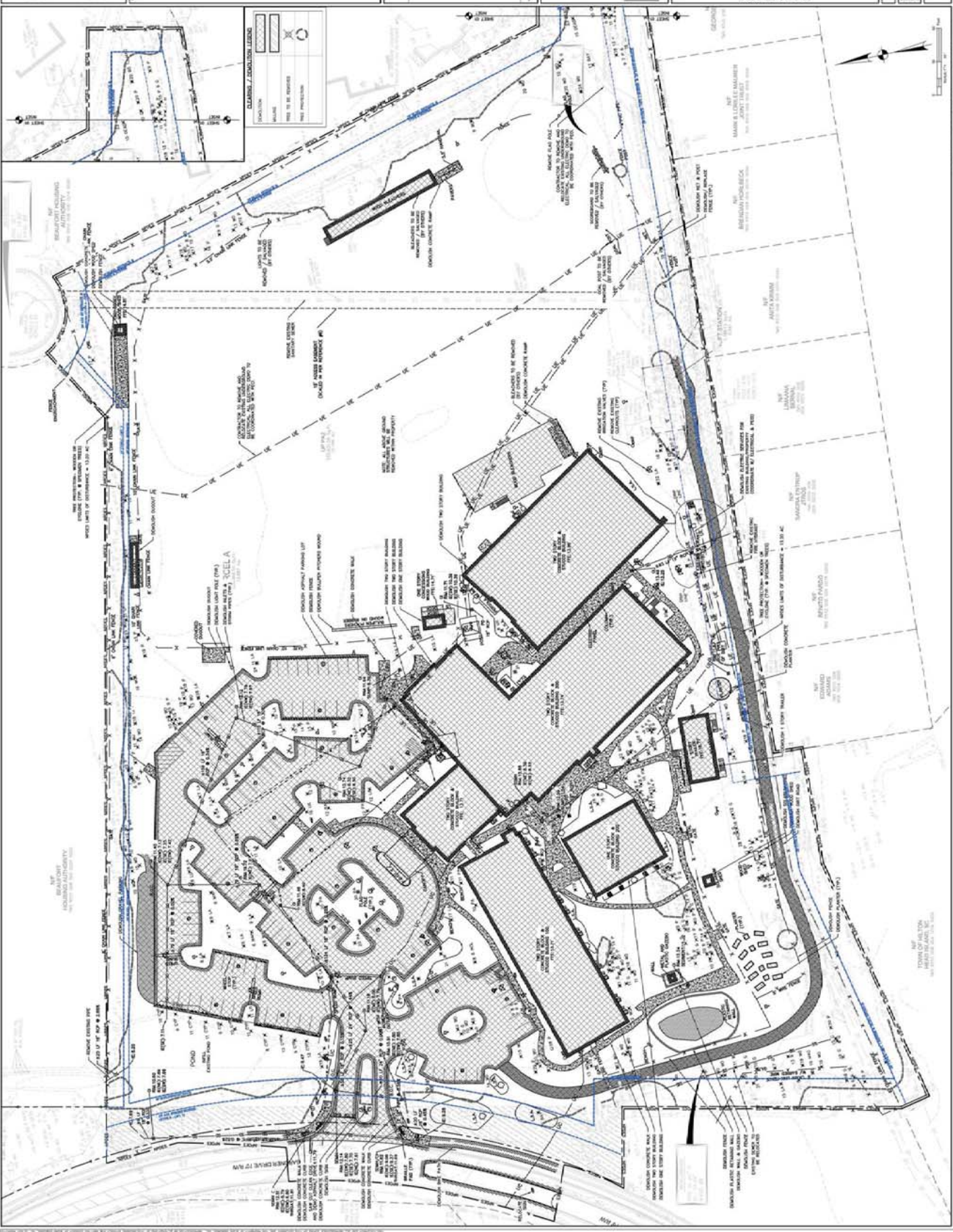


NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/15/11
2	ISSUED FOR PERMIT	11/15/11
3	ISSUED FOR PERMIT	11/15/11
4	ISSUED FOR PERMIT	11/15/11
5	ISSUED FOR PERMIT	11/15/11
6	ISSUED FOR PERMIT	11/15/11
7	ISSUED FOR PERMIT	11/15/11
8	ISSUED FOR PERMIT	11/15/11
9	ISSUED FOR PERMIT	11/15/11
10	ISSUED FOR PERMIT	11/15/11

Ward Edwards
ENGINEERING
INC.
110 WEST 42ND STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212-692-1200
WWW.WARDEDS.COM

CLEARING & DEMOLITION PLAN
55 GARDNER DRIVE
ROSELAND COUNTY, SOUTH CAROLINA
528 HWY. 101
NEW YORK, NY 10018

SHEET C301



CLEARING / DEMOLITION LEGEND

[Symbol]	DEMOLITION TO BE REMOVED
[Symbol]	REMAINING CONCRETE FOOTING
[Symbol]	DEMOLITION TO BE REMOVED

1" = 100' (SEE PLAN FOR SCALE OF ALL DIMENSIONS AND AREA DIMENSIONS)

Staff Note: Illustrations represents 5 years of growth.



GARDNER DRIVE STREETScape OPTION 1



GARDNER DRIVE STREETScape OPTION 2

SCALE: 1/16" = 1'-0" (24"x36" SHEET)
 0' 16' 32' 64'

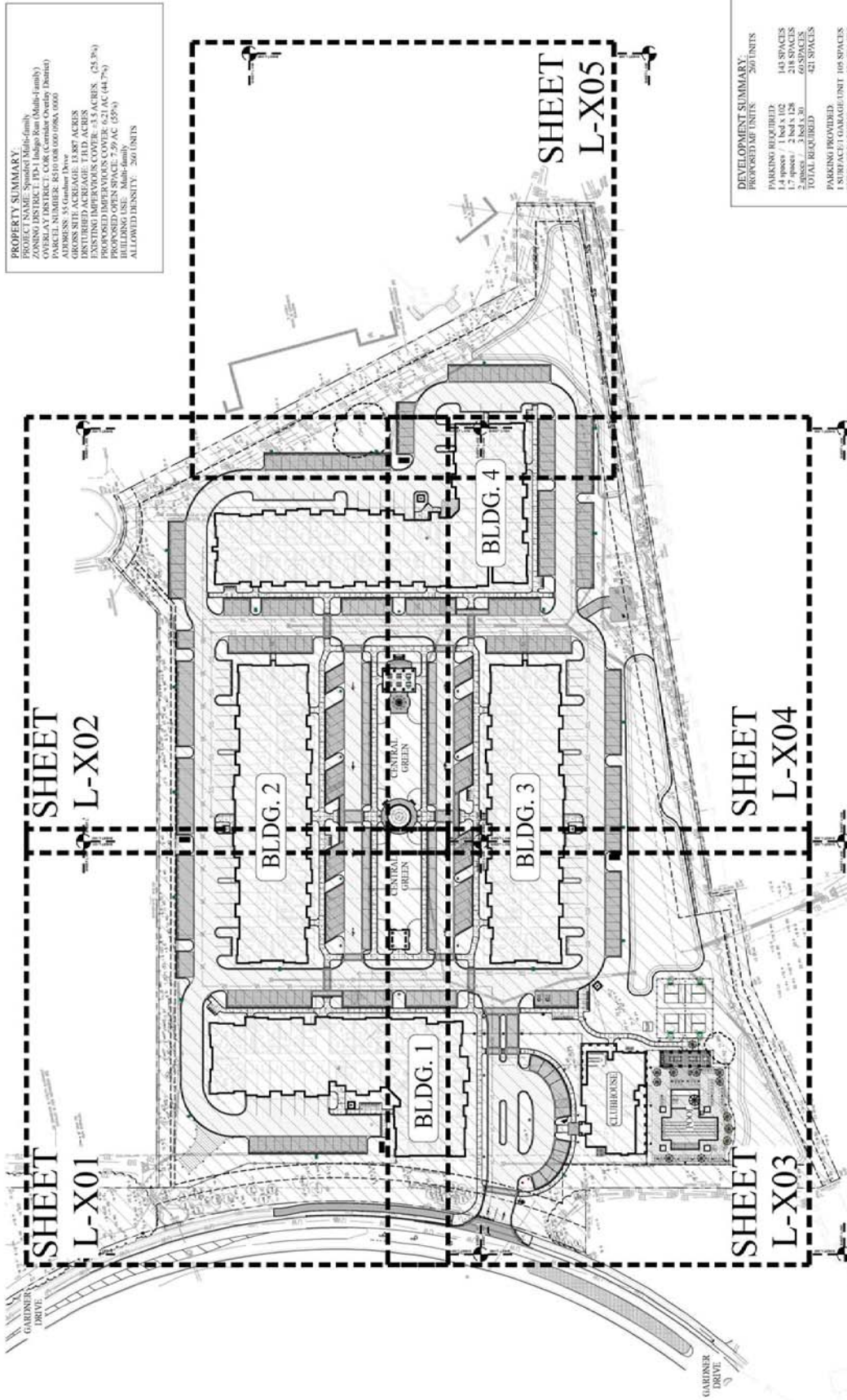
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
 5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

GARDNER DRIVE STREETScape
 October 29, 2019

Wood+Partners Inc. WPI
 Landscape Architects
 Land Partners

55 GARDNER DRIVE
 HILTON HEAD ISLAND, SC
 HP#A-18565

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PROPERTY SUMMARY:
 PROJECT NAME: Spandrel Multi-Family
 ZONING DISTRICT: PD-1 (Single Room (Multi-Family))
 PARCEL NUMBER: 6510 008 000 006A, 006B
 ADDRESS: 55 Gardner Drive
 GROSS SITE AREA: 11.87 ACRES
 EXISTING IMPERVIOUS COVER: 3.5 ACRES (29.5%)
 PROPOSED IMPERVIOUS COVER: 6.21 AC (44.7%)
 PROPOSED OPEN SPACE: 5.66 AC (47.6%)
 ALLOWED DENSITY: 260 UNITS

DATE	DESCRIPTION	BY	CHKD BY
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.
10/29/2019	Final Plan	W.P.	J.P.

55 GARDNER DRIVE
 BEARFOT COURT, SOUTH OAKRIDGE
 HALTON HEAD, ONTARIO
 SPANDELL DEVELOPMENT PARTNERS



SHEET CONTAINS:
 Overall Site Plan

SHEET NO.
L-100

2018585

DEVELOPMENT SUMMARY:

PROPOSED AP UNITS	260 UNITS
PARKING REQUIRED	143 SPACES
1-4 spaces / 1 bed x 102	218 SPACES
1-7 spaces / 2 bed x 128	218 SPACES
TOTAL REQUIRED	421 SPACES
PARKING PROVIDED	421 SPACES
1-4 spaces / 1 bed x 102	105 SPACES
1-7 spaces / 2 bed x 128	216 SPACES
TOTAL PROVIDED	421 SPACES*

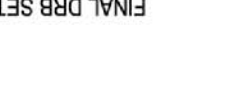
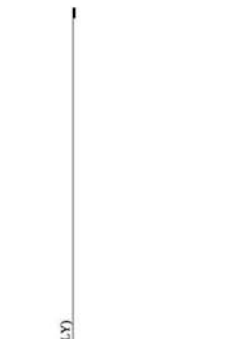
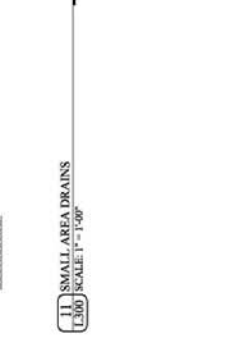
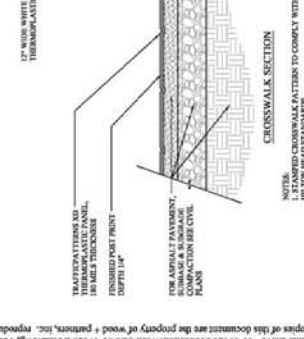
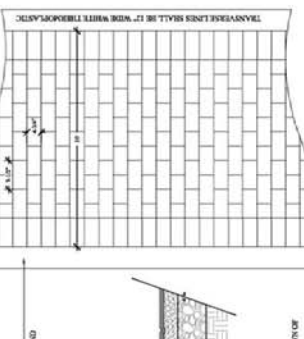
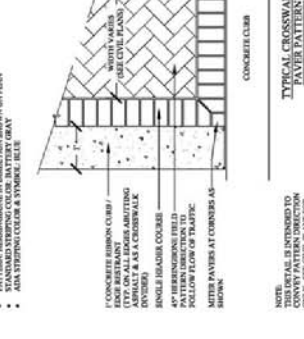
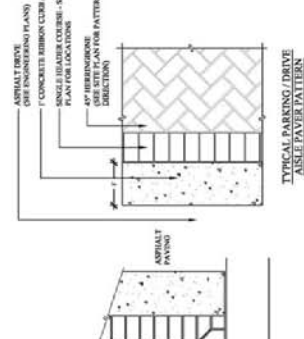
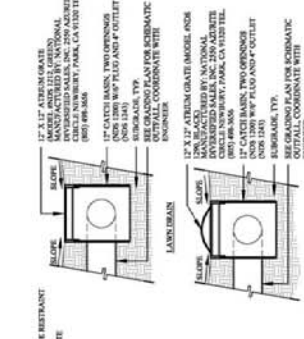
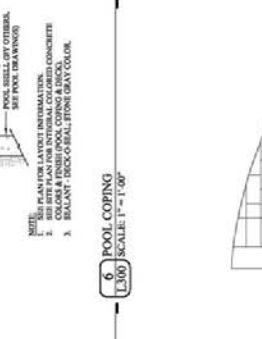
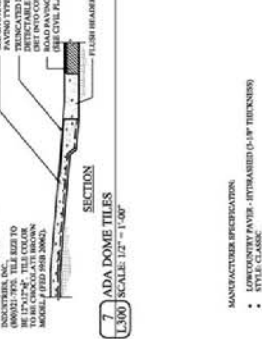
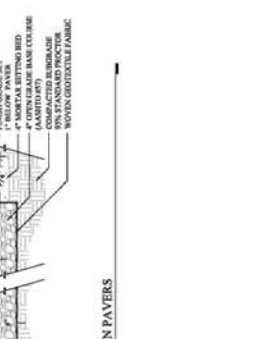
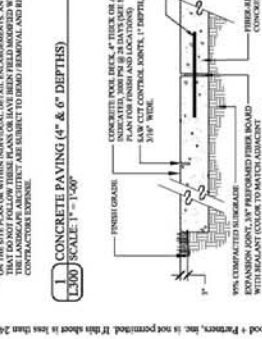
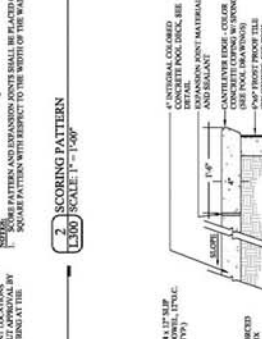
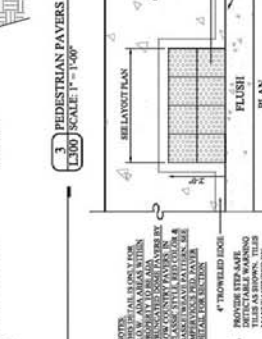
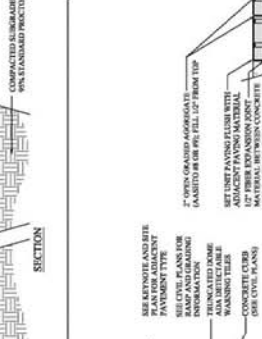
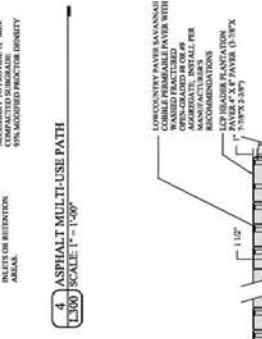
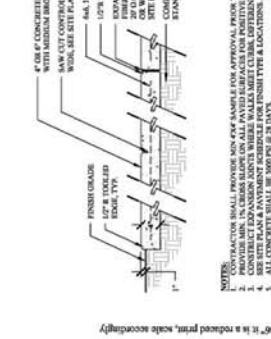
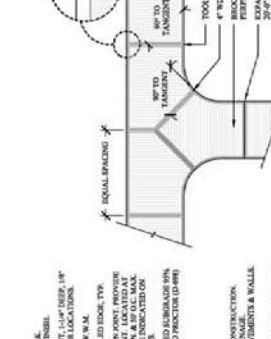
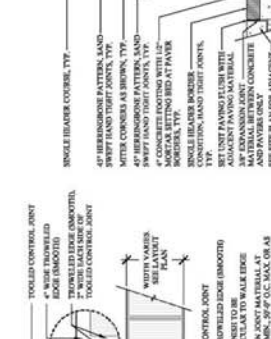
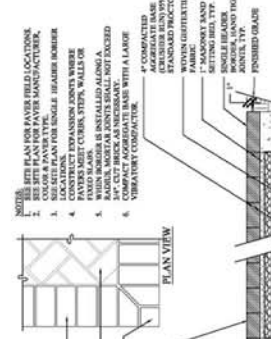
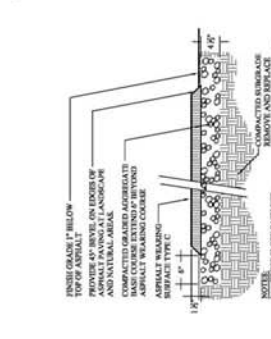
EXCESS PARKING SHALL BE PERMEABLE PAVEMENT INCLUDING DRIVEWAYS AND ON-STREET PARKING AREAS.

BIKE PARKING REQUIRED: 166.5 (0.41/2)
 4 PER 10 BLDG VEH. PARKING SPACES UNTIL 20 THEN 2 PER 10 BLDG VEH. PARKING SPACES
 FIRST 90 VEH. SPACES REQ. / 10 = (9)
 REMAINING 171 VEH. SPACES REQ. / 10 = (17)
 TOTAL BIKE SPACES = 26 SPACES
 (23 X 3 SPACE BACKS = 69 SPACES)
 (3 X 2 SPACE BACKS = 6 SPACES)
 TOTAL BIKE SPACES = 75 SPACES
 BIKE PARKING PROVIDED: 96 SPACES
 (12 X 8 SPACE BACKS = 96 SPACES)

- TOTAL ALLOWABLE IMPERVIOUS CAP: 45% OR 6.25 AC
- TOTAL IMPERVIOUS COVER SHOWN: 6.21 AC (44.7%)
- PERMEABLE HARDSCAPE SHOWS: 1.27 AC
- PERMEABLE VEHICULAR PAVERS: 0.48 AC (2965 S.F.)
- PERMEABLE PEDESTRIAN PAVERS: 0.03 AC (1446 S.F.)
- STRUCTURAL TURE: 0.03 AC (1404 S.F.)

- WALKWAYS: 2.70 AC (17962 S.F.) (10.7%)
- CURB & GUTTERS: 0.40 AC (2729 S.F. INCL. HEADERS)
- POOL AND COPING: 0.07 AC (2802 S.F.)
- POCULAR COURTS: 0.07 AC (5040 S.F.)
- POOL DECK: 0.14 AC (9223 S.F.) (INCL. UNDER TRELLES)
- FOUNTAIN: 0.01 AC (531 S.F.)
- PERMEABLE HARDSCAPE SHOWS: 1.27 AC
- PERMEABLE VEHICULAR PAVERS: 0.48 AC (2965 S.F.)
- PERMEABLE PEDESTRIAN PAVERS: 0.03 AC (1446 S.F.)
- STRUCTURAL TURE: 0.03 AC (1404 S.F.)

Drawn By	...	
Check By	...	
Date	...	
Sheet No.	...	
Project No.	...	
Scale	...	
Notes	...	
Revisions	...	
1	DATE	COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		



Drawn By: JLL
Checked By: JLL
Date Plotted: 2024/08/28
Sheet Title: SPANDEL DEVELOPMENT PARTNERS
Sheet No: 2018585
Scale: 1/2" = 1'-0"
Project Name: SPANDEL DEVELOPMENT PARTNERS
Project Address: 55 GARDNER DRIVE, HALTON HEADS, ONTARIO
Client: SPANDEL DEVELOPMENT PARTNERS
Architect: WOOD + PARTNERS INC.
Engineer: WOOD + PARTNERS INC.
Interior Designer: WOOD + PARTNERS INC.
Structural Engineer: WOOD + PARTNERS INC.
Electrical Engineer: WOOD + PARTNERS INC.
Mechanical Engineer: WOOD + PARTNERS INC.
Plumbing Engineer: WOOD + PARTNERS INC.
Fire Engineer: WOOD + PARTNERS INC.
Energy Auditor: WOOD + PARTNERS INC.
Commissioning Agent: WOOD + PARTNERS INC.
Construction Manager: WOOD + PARTNERS INC.
General Contractor: WOOD + PARTNERS INC.
Subcontractors: WOOD + PARTNERS INC.
Material Suppliers: WOOD + PARTNERS INC.
Equipment Suppliers: WOOD + PARTNERS INC.
Professional Seal: [Blank]
Professional Stamp: [Blank]

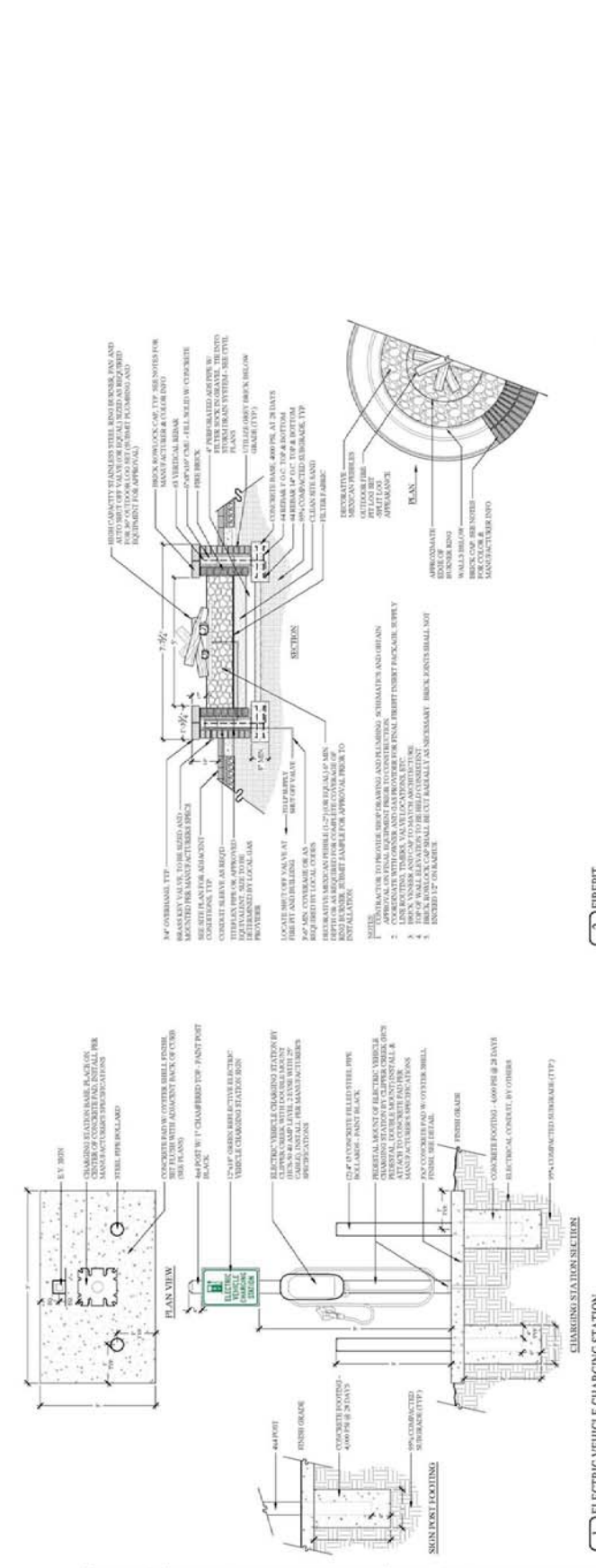
55 GARDNER DRIVE
 HALTON HEADS, ONTARIO
 SPANDEL DEVELOPMENT PARTNERS



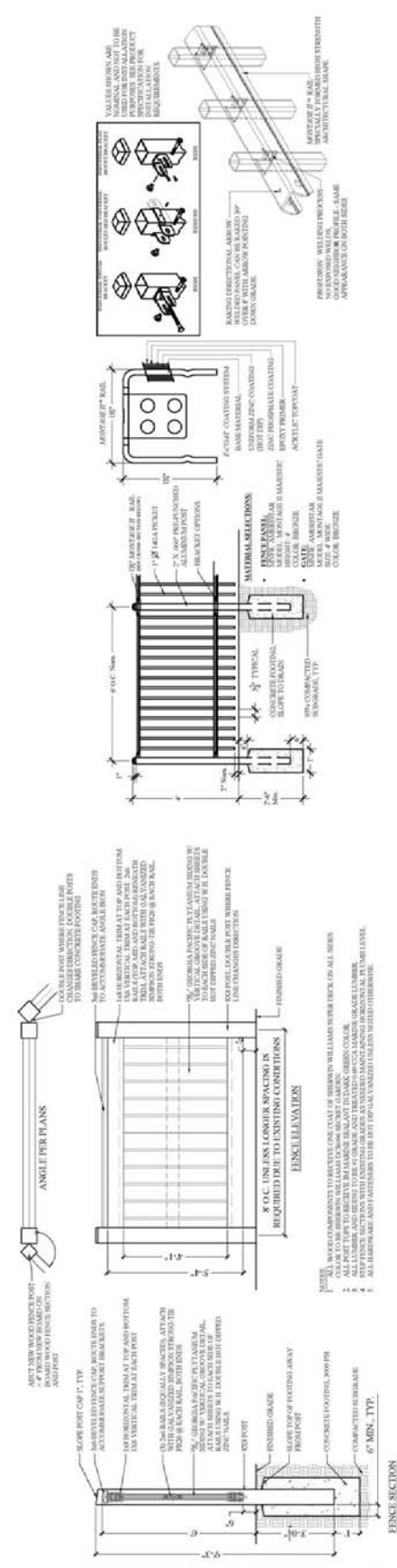
SHEET CONTENTS:
 See Details

SHEET NO.
L-301

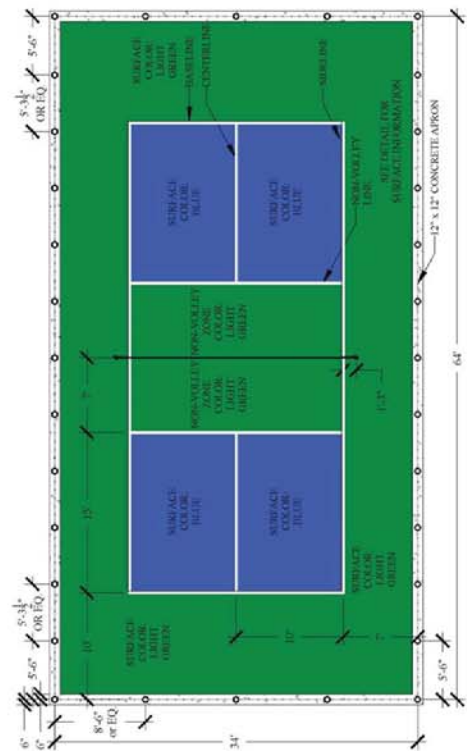
2018585



1 ELECTRIC VEHICLE CHARGING STATION
 SCALE: 3/4" = 1'-0"

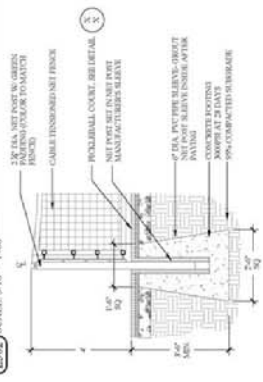


4 DECORATIVE ENTRY FENCE & POOL FENCE, 4' HT.
 SCALE: 3/4" = 1'-0"

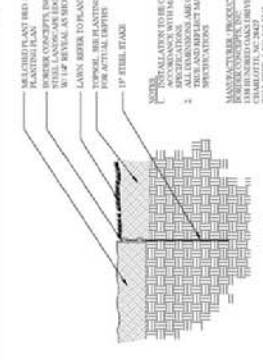


- SCHEMATIC PICKLEBALL COURT AND FENCE LAYOUT NOTES:**
1. ALL COURT MARKINGS SHALL BE IN ACCORD WITH USA TENNIS STANDARDS.
 2. SET PLANT FOR PROPOSED COLOR RAMBER, CONTRACTOR SHALL SUBMIT SAMPLES OF COURT COLORS AND DIMENSIONS FOR OWNER APPROVAL IN ADVANCE OF INSTALLATION.
 3. SET PLANT FOR OUTLINE LOCATIONS.
 4. SET PLANT FOR PROPOSED COLOR RAMBER, CONTRACTOR SHALL SUBMIT SAMPLES OF COURT COLORS AND DIMENSIONS FOR OWNER APPROVAL IN ADVANCE OF INSTALLATION.
 5. SET PLANT FOR OUTLINE LOCATIONS.

1 PICKLEBALL COURT
 U302 SCALE: 3/16" = 1'-0"



4 PICKLEBALL NET & POST
 U302 SCALE: 1/2" = 1'-0"



5 STEEL EDGING
 U302 SCALE: 3/4" = 1'-0"



2 PICKLEBALL FENCE
 U302 SCALE: 3/16" = 1'-0"



3 PICKLEBALL COURT SURFACING
 U302 SCALE: 1/12" = 1'-0"

Drawn By: JLS	Checked By: JLS
Date Plotted: 10/29/2019 10:29:20 AM	Date Plotted: 10/29/2019 10:29:20 AM
Sheet Name: 55 GARDNER DRIVE	Sheet Name: 55 GARDNER DRIVE
Sheet No: L-302	Sheet No: L-302
Project No: 19-028	Project No: 19-028
Client: SPANDEL DEVELOPMENT PARTNERS	Client: SPANDEL DEVELOPMENT PARTNERS
Location: HILTON HEAD ISLAND	Location: HILTON HEAD ISLAND
Contractor: WOOD + PARTNERS, INC.	Contractor: WOOD + PARTNERS, INC.
Scale: 1/2" = 1'-0"	Scale: 1/2" = 1'-0"
Notes: SEE SHEET L-301 FOR FURTHER INFORMATION	Notes: SEE SHEET L-301 FOR FURTHER INFORMATION
Revisions:	Revisions:
NO. DATE BY DESCRIPTION	NO. DATE BY DESCRIPTION
1 10/29/2019 JLS	1 10/29/2019 JLS
2 10/29/2019 JLS	2 10/29/2019 JLS
3 10/29/2019 JLS	3 10/29/2019 JLS
4 10/29/2019 JLS	4 10/29/2019 JLS
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6 10/29/2019 JLS	6 10/29/2019 JLS
7 10/29/2019 JLS	7 10/29/2019 JLS
8 10/29/2019 JLS	8 10/29/2019 JLS
9 10/29/2019 JLS	9 10/29/2019 JLS
10 10/29/2019 JLS	10 10/29/2019 JLS


55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANDEL DEVELOPMENT PARTNERS

Wood + Partners Inc.
 10000 WOODBURN ROAD
 CHARLOTTE, NC 28227
 704.544.5500
 WWW.WOODPARTNERS.COM

SHEET CONTENTS:
 Site Details

SHEET NO.
L-302

2018585



1 SET & SET) BENCH & SWING
L308 NOT TO SCALE

1 SET 5) BIKE RACK
L309 NOT TO SCALE

1 SET 1) BIKE RACK
L308 NOT TO SCALE

1 SET 5) FLAGPOLE
L308 NOT TO SCALE

1 SET 1) BIKE RACK
L308 NOT TO SCALE


1 SET 5) FLAGPOLE
L308 NOT TO SCALE

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L308 NOT TO SCALE

1 SET 5) FLAGPOLE
L308 NOT TO SCALE

1 SET 1) BIKE RACK
L308 NOT TO SCALE

1 SET 5) FLAGPOLE
L308 NOT TO SCALE

Item No.	Description	Quantity	Unit
1	1 SET 1) BIKE RACK	1	L308
2	1 SET 5) FLAGPOLE	1	L308
3	1 SET 1) BIKE RACK	1	L308
4	1 SET 5) FLAGPOLE	1	L308

Item No.	Description	Quantity	Unit
1	1 SET 1) BIKE RACK	1	L308
2	1 SET 5) FLAGPOLE	1	L308
3	1 SET 1) BIKE RACK	1	L308
4	1 SET 5) FLAGPOLE	1	L308

Item No.	Description	Quantity	Unit
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Item No.	Description	Quantity	Unit
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2	1 SET 5) FLAGPOLE	1	L308
3	1 SET 1) BIKE RACK	1	L308
4	1 SET 5) FLAGPOLE	1	L308

Item No.	Description	Quantity	Unit
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2	1 SET 5) FLAGPOLE	1	L308
3	1 SET 1) BIKE RACK	1	L308
4	1 SET 5) FLAGPOLE	1	L308

Item No.	Description	Quantity	Unit
1	1 SET 1) BIKE RACK	1	L308
2	1 SET 5) FLAGPOLE	1	L308
3	1 SET 1) BIKE RACK	1	L308
4	1 SET 5) FLAGPOLE	1	L308

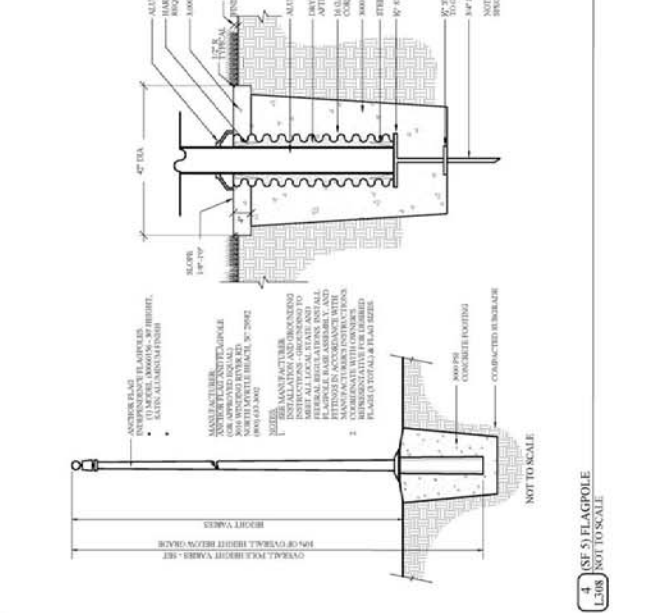
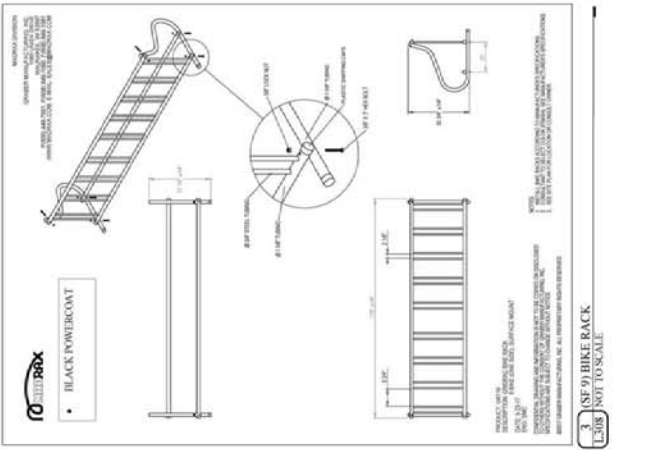
56 GARDNER DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
SPANDELL DEVELOPMENT PARTNERS

Wood + Partners Inc.
Landscape Architects
10000 Highway 17, Suite 100
Clemson, SC 29631
864.656.1100

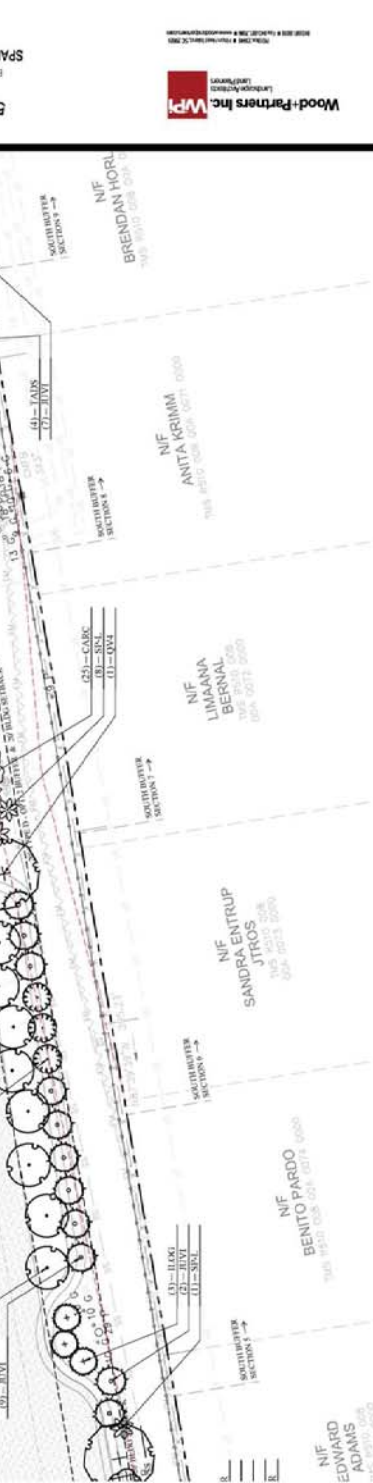
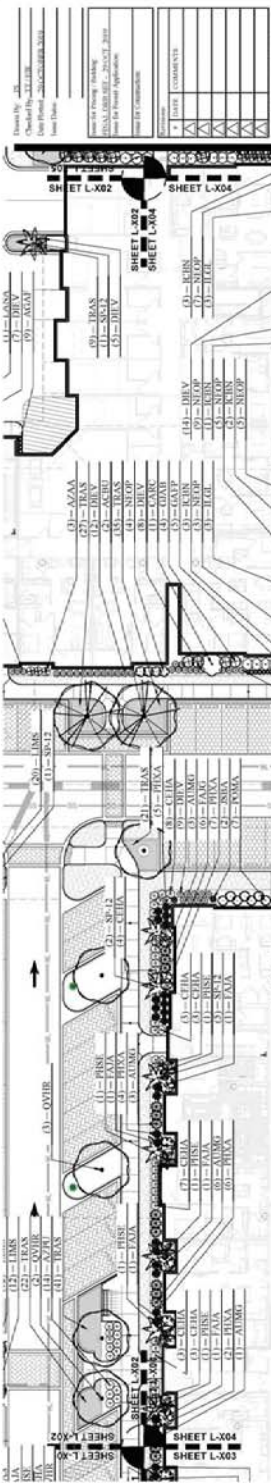
SHEET CONTENTS:
Site Details

SHEET NO.
L-308

2018585



BUCKET SUMMARY		WATER BUCKET - STANDARD DRIVE		WATER BUCKET - 20' WIDE	
BUCKET NO.	DATE	BUCKET NO.	DATE	BUCKET NO.	DATE
101	10/29/19	101	10/29/19	101	10/29/19
102	10/29/19	102	10/29/19	102	10/29/19
103	10/29/19	103	10/29/19	103	10/29/19
104	10/29/19	104	10/29/19	104	10/29/19
105	10/29/19	105	10/29/19	105	10/29/19
106	10/29/19	106	10/29/19	106	10/29/19
107	10/29/19	107	10/29/19	107	10/29/19
108	10/29/19	108	10/29/19	108	10/29/19
109	10/29/19	109	10/29/19	109	10/29/19
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111	10/29/19	111	10/29/19	111	10/29/19
112	10/29/19	112	10/29/19	112	10/29/19
113	10/29/19	113	10/29/19	113	10/29/19
114	10/29/19	114	10/29/19	114	10/29/19
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56 GARDNER DRIVE
 HALTON HEAD ISLAND
 BRANTFORD COUNTY, SOUTH ONTARIO
 SPANDEL DEVELOPMENT PARTNERS

Wood+Partners Inc.
 1000 Lakeshore Drive
 Lakeshore, Ontario
 W8L 2K5
 TEL: 519-885-1111
 WWW.WOODPARTNERS.COM

SHEET CONTENTS:
 Planning Plan

SHEET NO.
 L-404

2018585

SHEET L-X04

SHEET L-X04

SHEET L-X04

SHEET L-X04

SHEET L-X04

SHEET L-X04

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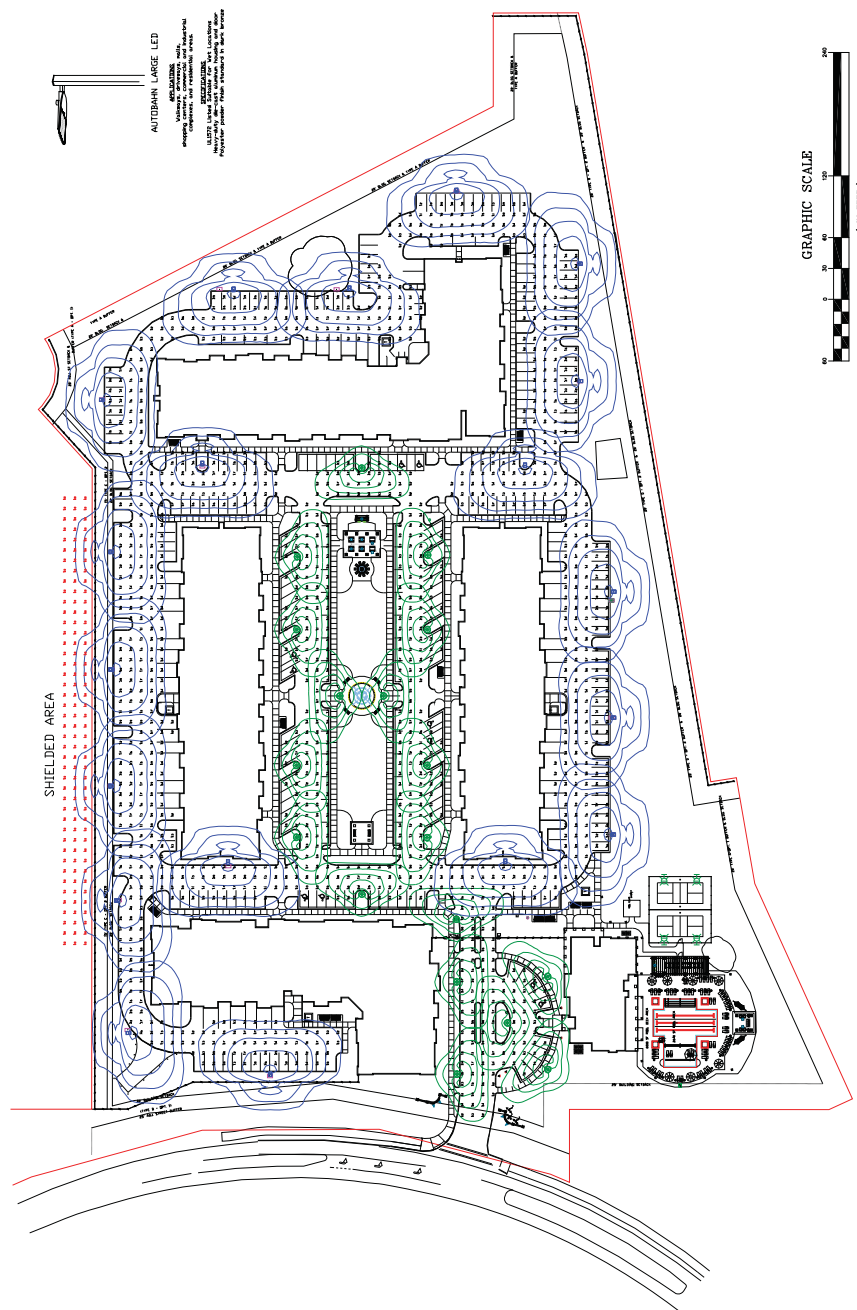
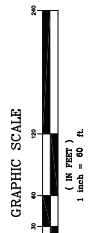
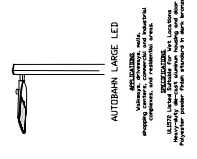
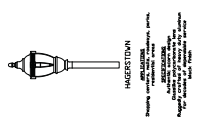
SHEET L-X04

LIGHTING PROPOSAL FOR
55 GARDNER DRIVE
TOWN OF HILTON HEAD
BEAUFORT COUNTY, SOUTH CAROLINA

DESIGNED BY: TJA
CHECKED BY: TJA
DATE: 10/20/2012
SCALE: 1" = 60'
PROJECT NO.: 1000000000
MAP NO.: 0000000000
SHEET NO.: 1
OF 1



PALMETTO ELECTRIC COOPERATIVE, INC.
1 COOPERATIVE WAY
HARDEEVILLE, SOUTH CAROLINA 29927
(843) 208-5551 / FAX (843) 208-5528



PROPERTY ADDRESS	OWNER	PROJECT NO.	DATE	DESCRIPTION
55 GARDNER DRIVE	TOWN OF HILTON HEAD	1000000000	10/20/2012	REPLACEMENT OF EXISTING LIGHTING FIXTURES

COORDINATE SYSTEM	NAD 83	NAD 83	NAD 83	NAD 83	NAD 83
EASTING	NORTHING	ELEVATION	UTM ZONE	UTM LETTERING	UTM SCALE
1000000	1000000	1000	18Q	18Q	1:50000

FIXTURE	TYPE	WATT	WATTAGE	BEAM ANGLE	FOOT COUNDS	FEET
1	100000100000	100	100	100	100	100
2	100000100000	100	100	100	100	100
3	100000100000	100	100	100	100	100
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99	100000100000	100	100	100	100	100
100	100000100000	100	100	100	100	100

NOTES:
1. LOCAL ONLY PROVIDES LIGHTING DESIGN AS REQUESTED BY THE CUSTOMER OR AS REQUESTED BY LOCAL GOVERNING AGENCIES.
2. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ENSURE THAT THE LIGHTING DESIGN COMPLIES WITH ALL LOCAL GOVERNING AGENCY REQUIREMENTS AND/OR RECOMMENDATIONS.
3. ANY OBSTRUCTIONS OR THE INTRODUCTION OF WITHIN THE PROJECT AREA MAY AFFECT THE RESULTS THAT ARE DIFFERENT FROM THE PREDICTED VALUES.
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PALMETTO ELECTRIC COOPERATIVE, INC.

Town of Hilton Head
Current Planning Division
1 Town Center Court
Hilton Head Island, SC 2992

Approval for Outdoor Lighting **Friday, October 25, 2019**

PROJECT # - 1910001L-2

PROJECT NAME - 55 GARDNER DRIVE

PROJECT LOCATION - GARDNER DRIVE

The Town of Hilton Head Current Planning Division has reviewed the following project and has determined that it is in accordance with the provisions of the Land Management Ordinance (LMO) for Site Lighting and recommends the design approved for construction.

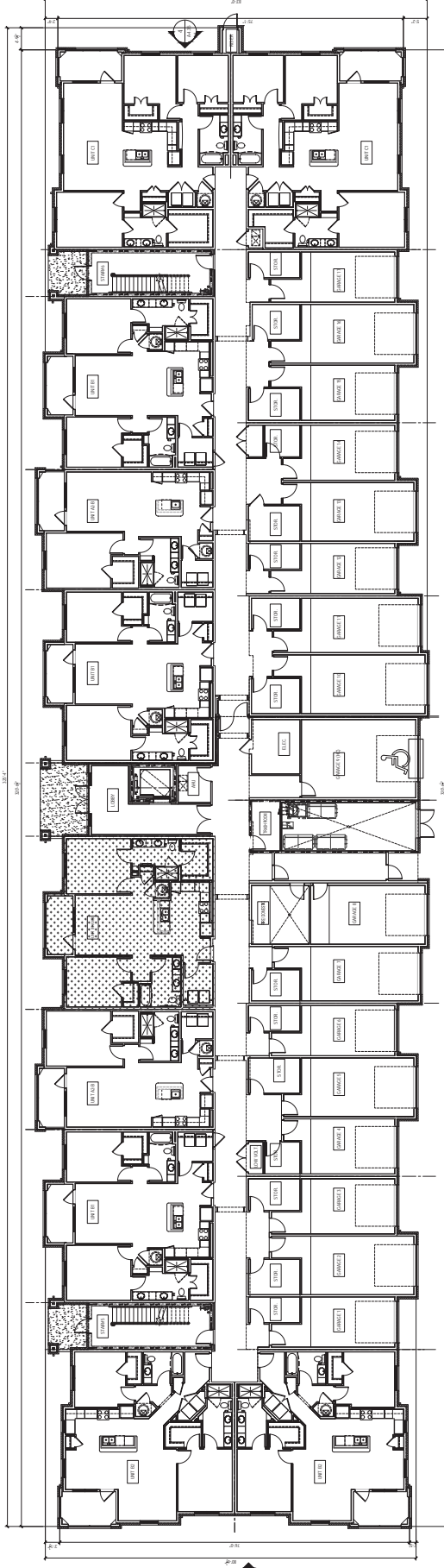
To be approved and signed by Town of Hilton Head Planning Division ONLY.

Signature: _____ Title: _____
Print Name: _____ Date: _____

Approved As Submitted Approved With Modifications Listed Below: Denied with Reasons Noted Below:

Please Note: As applicant/owner/developer, it is your responsibility to make sure that Palmetto Electric receives a copy of this site lighting approval.





1 BUILDING TYPE 1B - 1ST FLOOR PLAN
DATE: 10/29/19



HUMPHREYS & PARTNERS ARCHITECTS / FLORIDA LLC

541 EAST HORATIO AVE - STE 100 MIAMI, FL 33155
(407) 399 9223 • (407) 399 8286 FAX

NEW YORK • SAN FRANCISCO • SCOTTSDALE • BOSTON
DALLAS • ORLANDO • NEWPORT • NEW GREENS CHICAGO

TORONTO • CHENNAI • DUBAI • HANOI • MONTEVIDEO
CERTIFICATE #AA 000327



SHEET NO. A-4.31
SHEET CONTENTS:
BUILDING TYPE 1B
1ST FLOOR PLAN

2018565

55 GARDNER DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
SPANDRELL DEVELOPMENT PARTNERS

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NO.	DATE	DESCRIPTION
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10	10/29/19	ISSUED FOR PERMITTING

Drawn By: J. L. DIXON
Checked By: J. L. DIXON
Date Plotted: 10/29/19
Sheet Title:

HUMPHREYS & PARTNERS
 ARCHITECTS / FLORIDA LLC
 5411 EAST HORATIO AVE. - 5TH FL. 100
 MAITLAND, FL 32751
 (407) 329-9223 • (407) 338-8286 FAX
 (407) 329-9223
 DALLAS - OKLAHO - NEWPORT - NEW GREENS CHICAGO
 NEW YORK - PHOENIX - PORTLAND - RICHMOND
 TORONTO - CHENNAI - DUBAI - HANOI - MONTREAL
 CERTIFICATE #AA 0003227

SPANDRELL DEVELOPMENT PARTNERS
 BEAUFORT COUNTY, SOUTH CAROLINA
 HILTON HEAD ISLAND
 55 GARDNER DRIVE

Drawn By	28.03.2019
Checked By	28.03.2019
Date Plotted	28.03.2019
Name	
Scale	
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Checked By (Title)	
Drawn By (Company)	
Checked By (Company)	
Drawn By (Phone)	
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Checked By (Country)	

ROOF LEGEND

- 1. 2" X 4" TRUSS OR PLY 5
- 2. 1/2" GYPSUM BOARD
- 3. 1/2" GYPSUM BOARD
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- 90. 1/2" GYPSUM BOARD
- 91. 1/2" GYPSUM BOARD
- 92. 1/2" GYPSUM BOARD
- 93. 1/2" GYPSUM BOARD
- 94. 1/2" GYPSUM BOARD
- 95. 1/2" GYPSUM BOARD
- 96. 1/2" GYPSUM BOARD
- 97. 1/2" GYPSUM BOARD
- 98. 1/2" GYPSUM BOARD
- 99. 1/2" GYPSUM BOARD
- 100. 1/2" GYPSUM BOARD

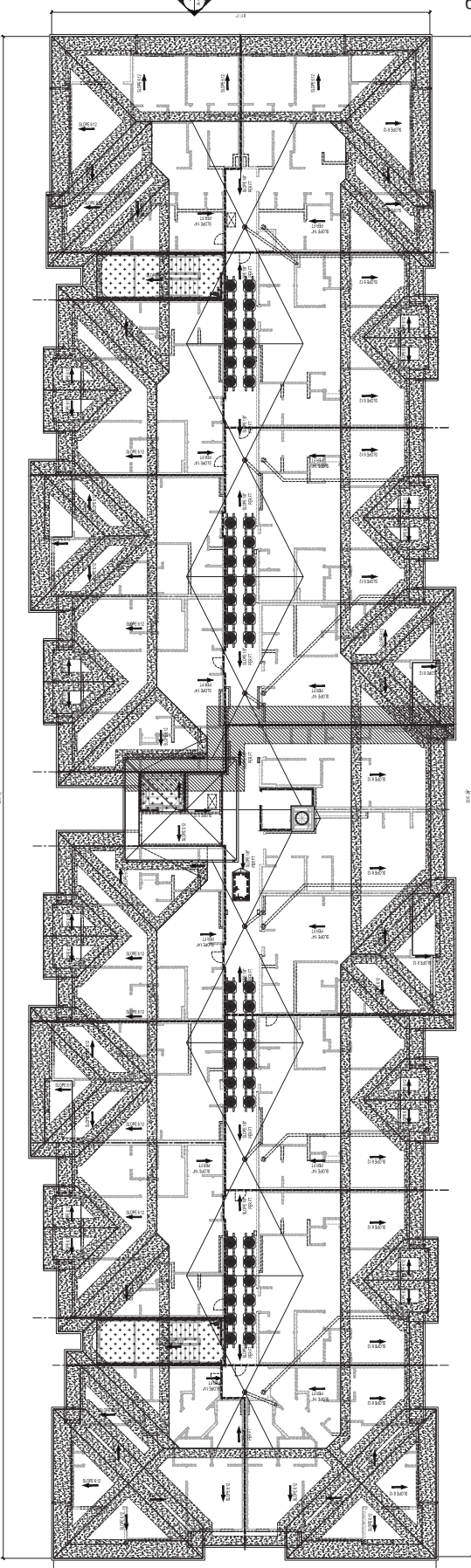
INDICATION OF ROOF
 SIGNIFICATION

CONDENSE USE FINIT

AREA OF NO OBSTRUCTION
 WITHIN 4 FT OF A TRUSS

ROOF ACCESS


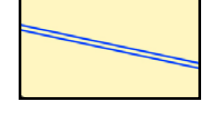

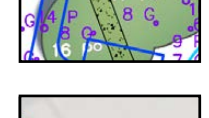






NOTES
 1. ALL SHEET METAL ROOFS SHALL BE A MINIMUM OF 26 GAUGE.
 2. PROVIDE CEILING AND INTERIERS AT VALLEYS AND GUTTER WALL ANGLES.




1 BUILDING TYPE IIIB - ROOF PLAN



LEGEND

-  Setbacks & Buffers
-  Suitable Development Area
(Existing Parking Lots, Buildings, Multi-Use Field)
-  Specimen Trees*
(28/18 Magnolia Not Shown. See Survey)
-  Existing Tree Canopy To Remain
-  Flood Zone Limit
-  Existing Utility Easements*
Final Easements to be adjusted based on proposed infrastructure
-  Existing Retention Pond
-  Pedestrian Access
-  Vehicular Access
(Median Strip Present within Gardner Dr.)
-  Tree to be Removed



Project No: 01-19028 Date: 10-28-2019 Scale: 1" = 40'-00" Final Design Review Board



Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

SITE INVENTORY & ANALYSIS

55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina

Landscapes Architects
Land Planners

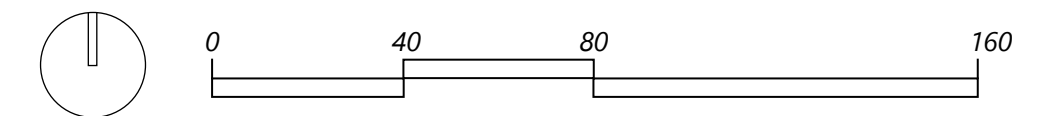
PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6616 ■ Fax 843.681.7086 ■ www.woodandpartners.com

LEGEND

 Proposed Site Plan Overlay



Project No: 01-19028 Date: 10-28-2019 Scale: 1" = 40'-00" Final Design Review Board



Document is preliminary and subject to change.
2013 Wood+Partners Inc., 7 Lafayette Place, Hilton Head Island, SC, 29926

SITE PLAN OVERLAY
55 Gardner Drive (Former HHCA Site)
Hilton Head Island, South Carolina





PROPERTY SUMMARY:

PROJECT NAME:	55 Gardner Drive
ZONING DISTRICT:	PD-1
OVERLAY DISTRICT:	COR
PARCEL NUMBER:	R510 008 000 098A 0000
ADDRESS:	55 Gardner Drive
GROSS SITE ACREAGE:	13.877 ACRES
EXISTING IMPERV. COVER:	±3.5 ACRES
PROPOSED IMPERV. COVER:	270,725 S.F. (44.7%)
OPEN SPACE PROVIDED:	7.59 AC (55%)
BUILDING USE:	Multi-Family

DEVELOPMENT SUMMARY:

PROPOSED MF UNITS:	260 UNITS
PARKING REQUIRED:	
1.4 spaces / 1 bed x 102	143 SPACES
1.7 spaces / 2 bed x 128	218 SPACES
2 spaces / 3 bed x 30	60 SPACES
TOTAL REQUIRED	421 SPACES

PARKING PROVIDED:

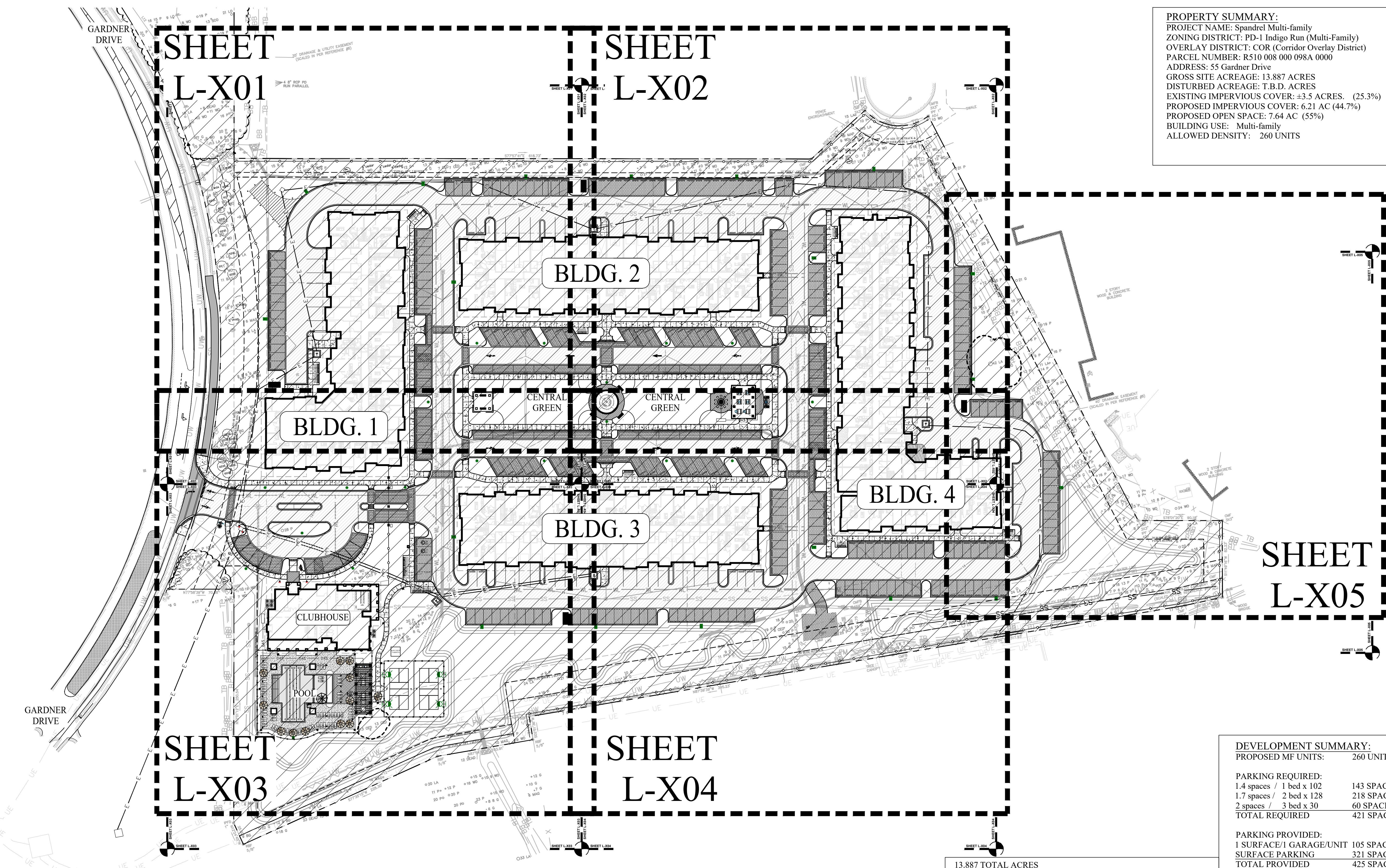
1 SURFACE/1 GARAGE/UNIT	105 SPACES
SURFACE PARKING	321 SPACES
TOTAL PROVIDED	425 SPACES*

9 ADA SPACES REQUIRED (2 VAN)
 10 ADA SPACES PROVIDED (2) VAN

SITE CALCULATIONS:

13.887 TOTAL ACRES
TOTAL ALLOWABLE IMPERVIOUS CAP: 45% OR 6.25 AC
TOTAL IMPERVIOUS COVER SHOWN: 6.21 AC [44.7%]
SEE SITE PLANS FOR BREAKDOWN (Sheet L100)

Project No: 01-19028 | Date: 10-28-2019 | Scale: 1" = 40'-00" | Final Design Review Board



PROPERTY SUMMARY:
 PROJECT NAME: Spandrel Multi-family
 ZONING DISTRICT: PD-1 Indigo Run (Multi-Family)
 OVERLAY DISTRICT: COR (Corridor Overlay District)
 PARCEL NUMBER: R510 008 000 098A 0000
 ADDRESS: 55 Gardner Drive
 GROSS SITE ACREAGE: 13.887 ACRES
 DISTURBED ACREAGE: T.B.D. ACRES
 EXISTING IMPERVIOUS COVER: ±3.5 ACRES. (25.3%)
 PROPOSED IMPERVIOUS COVER: 6.21 AC (44.7%)
 PROPOSED OPEN SPACE: 7.64 AC (55%)
 BUILDING USE: Multi-family
 ALLOWED DENSITY: 260 UNITS

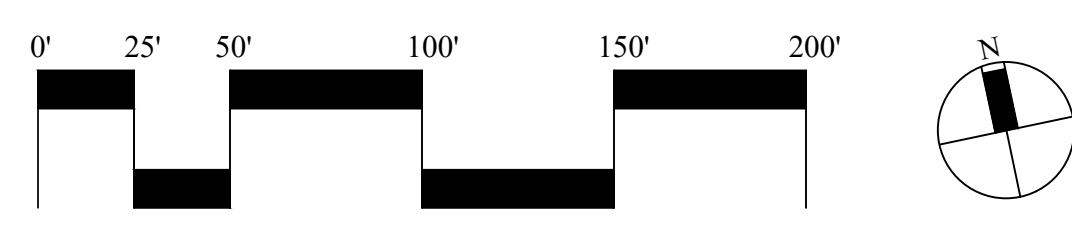
Drawn By: JS
 Checked By: TT / EW
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 WPI
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 843.818.8181 • Fax 843.818.7088 • www.woodpartners.com



SCALE: 1" = 50'-0"
 SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.

13.887 TOTAL ACRES
 TOTAL ALLOWABLE IMPERVIOUS CAP: 45% OR 6.25 AC

TOTAL IMPERVIOUS COVER SHOWN: 6.21 AC [44.7%]

• BUILDINGS	2.70 AC (117502 S.F.)	[19.7%]
• ASPHALT	2.28 AC (99307 S.F. ASPHALT ONLY)	
• CURB & GUTTERS	0.40 AC (17329 S.F. INCL. HEADERS)	
• POOL AND COPING	0.07 AC (2892 S.F.)	
• PICKLEBALL COURTS	0.09 AC (3,840 S.F.)	
• CONCRETE WALKS	0.52 AC (22592 S.F.)	
• POOL DECK	0.14 AC (6225 S.F.) (INCL. UNDER TRELLIS)	
• FOUNTAIN	0.01 AC (531 S.F.)	

PERMEABLE HARDSCAPE SHOWN : 1.27 AC

• PERMEABLE VEHICULAR PAVERS	0.48 AC (20973 S.F.)
• PERMEABLE AGGREGATE	0.73 AC (31965 S.F.)
• PERMEABLE PEDESTRIAN PAVERS	0.03 AC (1446 S.F.)
• STRUCTURAL TURF	0.03 AC (1104 S.F.)

DEVELOPMENT SUMMARY:
 PROPOSED MF UNITS: 260 UNITS

PARKING REQUIRED:

1.4 spaces / 1 bed x 102	143 SPACES
1.7 spaces / 2 bed x 128	218 SPACES
2 spaces / 3 bed x 30	60 SPACES
TOTAL REQUIRED	421 SPACES

PARKING PROVIDED:

1 SURFACE/1 GARAGE/UNIT	105 SPACES
SURFACE PARKING	321 SPACES
TOTAL PROVIDED	425 SPACES*

EXCESS PARKING SHALL BE PERMEABLE PAVEMENT INCLUDING DRIVEWAYS AND ON-STREET PARKING AREAS.

BIKE PARKING REQUIRED: (16-5-104 H.7)
 4 PER 10 REQ. VEH. PARKING SPACES UNTIL 20 THEN: 2 PER 10 REQ. VEH. PARKING SPACES

FIRST 50 VEH. SPACES REQ. / 10	= (5)
REMAINING 371 VEH. SPACES REQ. / 10	= (37)

(5) x 4 BIKE SPACES	= 20 SPACES
(37) x 2 BIKE SPACES	= 74 SPACES
TOTAL REQUIRED	94 SPACES

BIKE PARKING PROVIDED:
 (12) x 8 SPACE RACKS = 96 SPACES

SHEET CONTENTS:
 Overall Site Plan

SHEET NO.
L-100

2018565

SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6") DETAIL 1 / L-300	S16 MAIN ID SIGN WALL FINAL DESIGN T.B.D.
S2 ADA DOME TILE DETAIL 7 / L-300	S17 VEHICULAR ENTRY GATES W/ READER DETAIL 1 / L-303
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S14 DECORATIVE ENTRY FENCE, 4' HT. DETAIL 4 / L-301	S29 NOT USED
S15 BRICK ENTRY COLUMN DETAIL 2 / L-304	S30 NOT USED

ARCHITECTURAL SITE ELEMENTS:

A1 EVENT PAVILION (CENTRAL GREEN) SEE ARCHITECTURAL DRAWINGS	A2 SMALL PAVILION (CENTRAL GREEN) SEE ARCHITECTURAL DRAWINGS
---	---

POOL & WATER ELEMENTS:

SP1 POOL W/ ZERO ENTRY (FINAL DESIGN BY OTHERS)	SP4 EMERGENCY POOL CUTOFF
SP2 ZERO ENTRY UMBRELLA, 12' DIA. (FINAL DESIGN BY OTHERS)	SP5 POOL SHOWER & FOOT WASH
SP3 POOL RULES SIGN	SP6 DRINKING FOUNTAIN

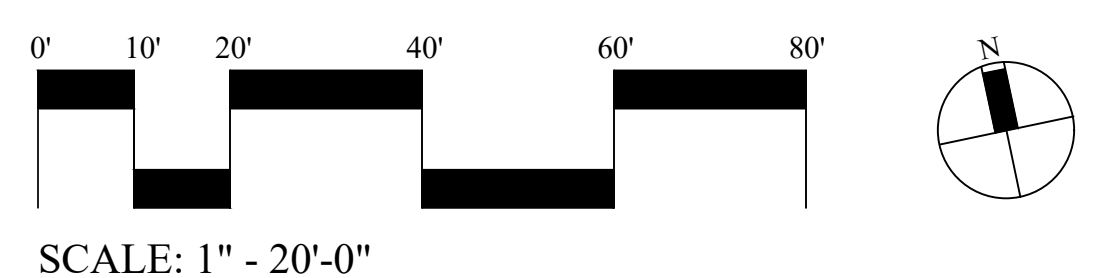
MATERIAL SCHEDULE

- 4" CONCRETE :
DETAIL 1 / L-300
- 6" CONCRETE:
DETAIL 1 / L-300
- PERMEABLE PED. PAVERS:
DETAIL 8 / L-300
- IMPERVIOUS PED. PAVERS:
DETAIL 3 / L-300
- ADA DOME TILE
DETAIL 7 / L-300
- ASPHALT MULTI-USE PATH
DETAIL 4 / L-301
- POOL DECK & COPING:
DETAIL 5 + 6 / L-300
- VEHICULAR PAVERS - TYPE 1
DETAIL 10 / L-300
- VEHICULAR PAVERS - TYPE 2
DETAIL 10 / L-300
- GRAVEL PAVING
SEE CIVIL - LOCATIONS ONLY
- CONTROL JOINT:
DETAIL 1 / L-300
- EXPANSION JOINT:
DETAIL 1 / L-300
- PLANTING AREA:
SEE PLANTING PLAN

SITE FURNISHINGS SCHEDULE

SF1 BENCH DETAIL 1 / L-308 QTY. 4	SF2 SWING DETAIL 1 / L-308 QTY. 2	SF3 TRASH RECEPTACLE DETAIL 2 / L-308 QTY. 18	SF4 BIKE RACKS DETAIL 3 / L-308 QTY. 12	SF5 FLAGPOLE DETAIL 4 / L-308 QTY. 1	SF6 EMERGENCY TELEPHONE QTY. 1
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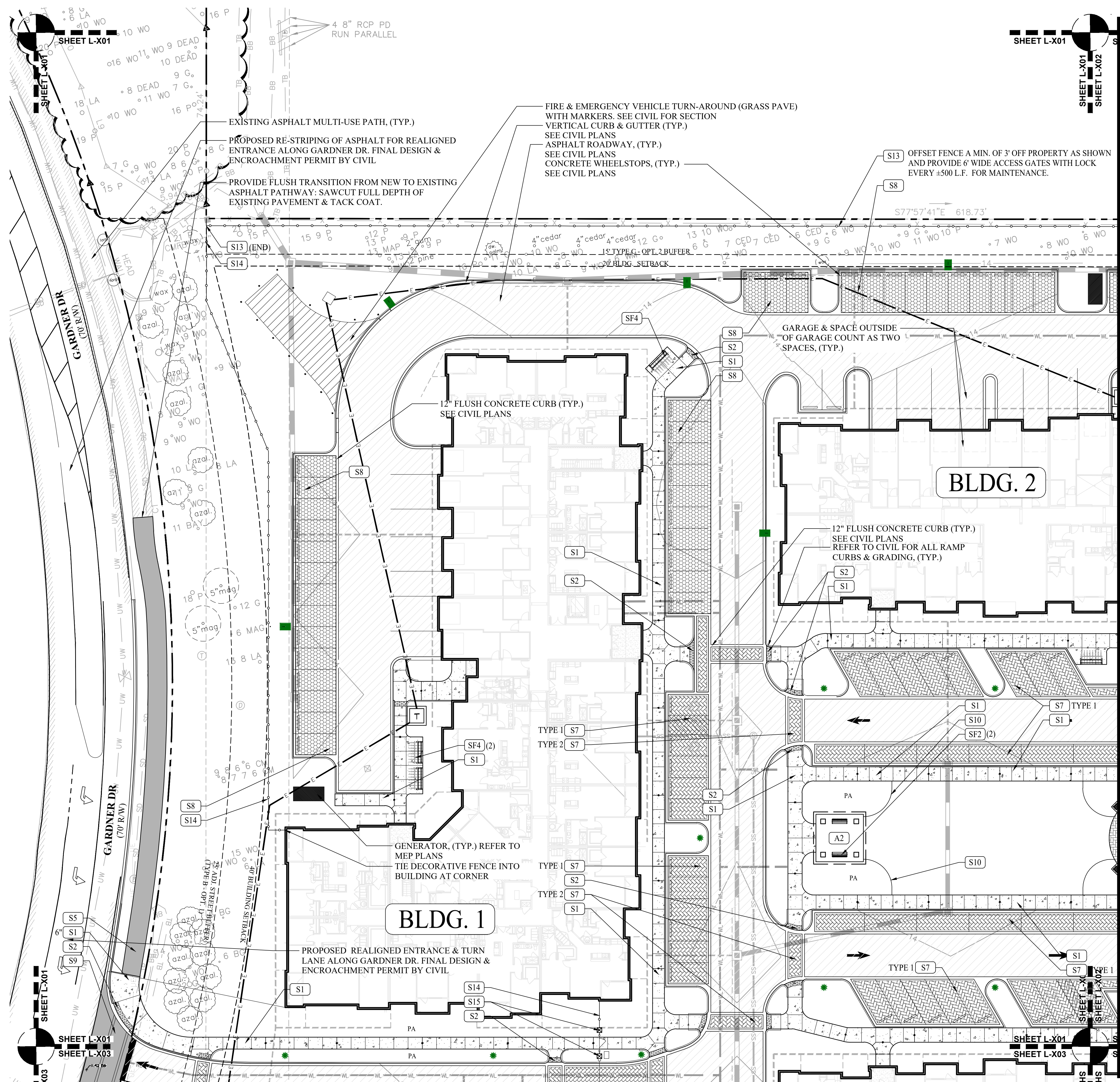
LOCATE EMERGENCY PHONE WITHIN CLUBHOUSE LOBBY OR OUTSIDE WITHIN POOL DECK. IF MOUNTED OUTSIDE PROVIDE EMERGENCY PHONE TOLL FREE IN WATER TIGHT ENCLOSURE PER DHEC REQS. MOUNTING HEIGHT AT HIGHEST CONTROL SHALL NOT EXCEED 48" PER ADA REQS. PROVIDE WEATHER RESISTANT PHYSICAL ADDRESS OF POOL AND DISPLAY AT PHONE. PROVIDE SUBMITTAL FOR PHONE AND DISPLAY FOR APPROVAL PRIOR TO INSTALLATION.



SCALE: 1" = 20'-0"

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 843.881.8818 • Fax 843.881.7088 • www.woodpartners.com

SHEET CONTENTS:
 Site Plan

SHEET NO.
L-101

2018565

SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6") DETAIL 1 / L-300	S16 MAIN ID SIGN WALL FINAL DESIGN T.B.D.
S2 ADA DOME TILE DETAIL 7 / L-300	S17 VEHICULAR ENTRY GATES W/ READER DETAIL 1 / L-303
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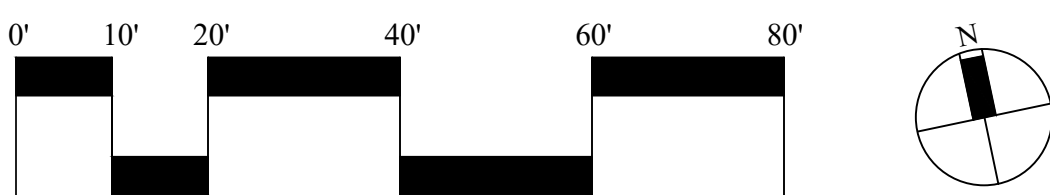
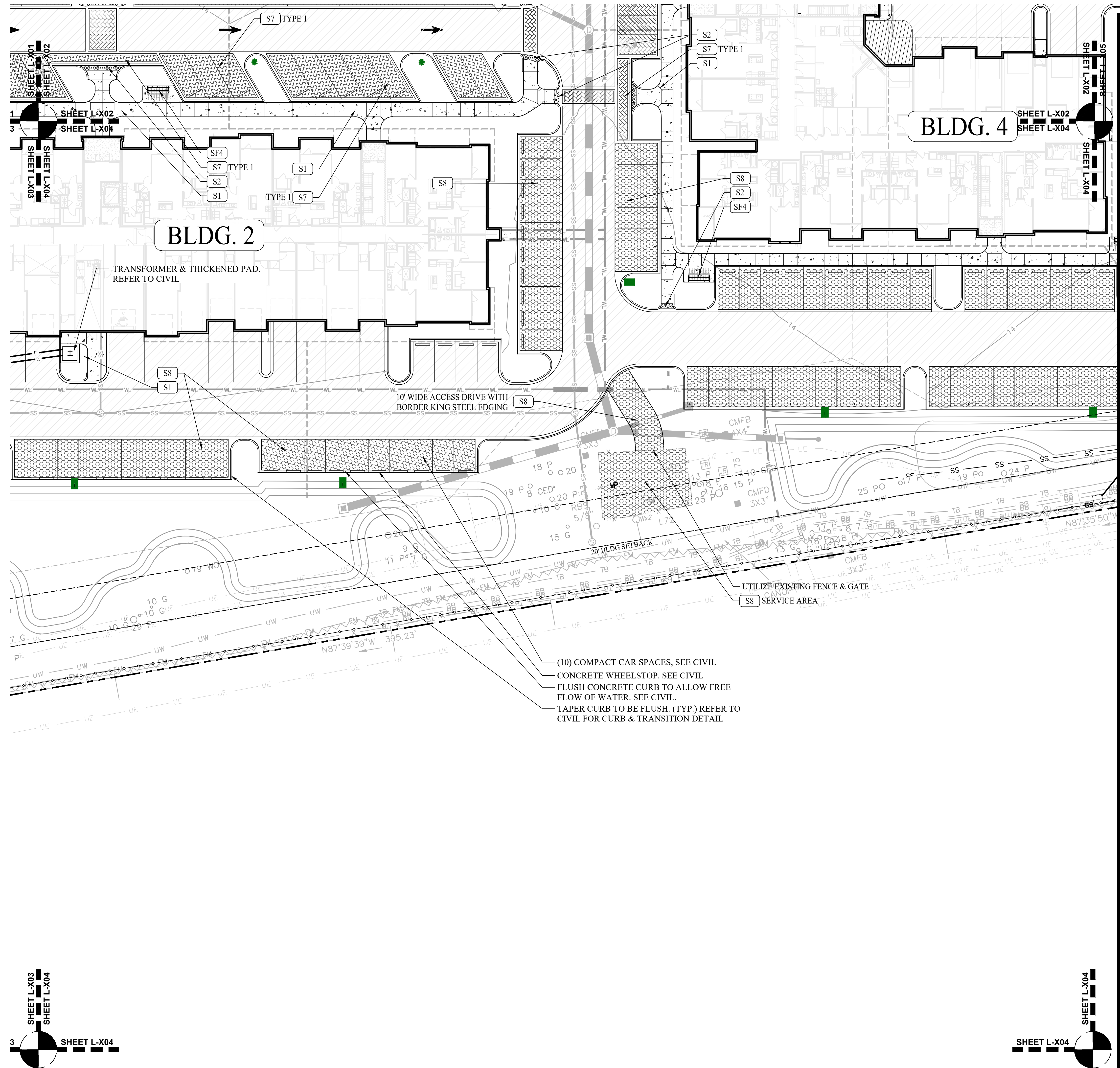
MATERIAL SCHEDULE

4" CONCRETE: DETAIL 1 / L-300	6" CONCRETE: DETAIL 1 / L-300
PERMEABLE PED. PAVERS: DETAIL 8 / L-300	IMPERVIOUS PED. PAVERS: DETAIL 3 / L-300
ADA DOME TILE DETAIL 7 / L-300	ASPHALT MULTI-USE PATH DETAIL 4 / L-301
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VEHICULAR PAVERS - TYPE 2 DETAIL 10 / L-300	GRAVEL PAVING SEE CIVIL - LOCATIONS ONLY
CONTROL JOINT: DETAIL 1 / L-300	EXPANSION JOINT: DETAIL 1 / L-300
PLANTING AREA: SEE PLANTING PLAN	

SITE FURNISHINGS SCHEDULE

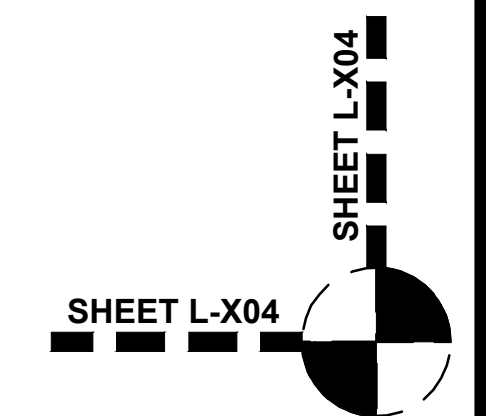
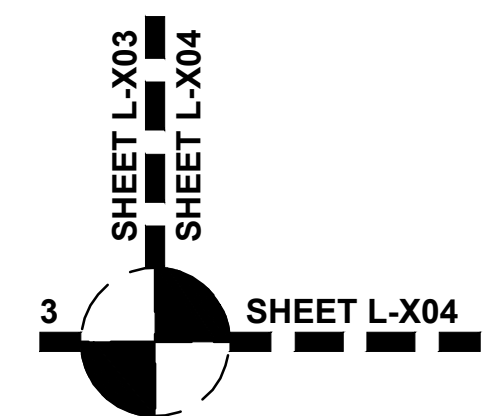
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SHEET CONTENTS:
 Site Plan

SHEET NO.
L-104

2018565

SITE KEY LEGEND:

S1 CONCRETE PAVING (4" & 6") DETAIL 1 / L-300	S16 MAIN ID SIGN WALL FINAL DESIGN T.B.D.
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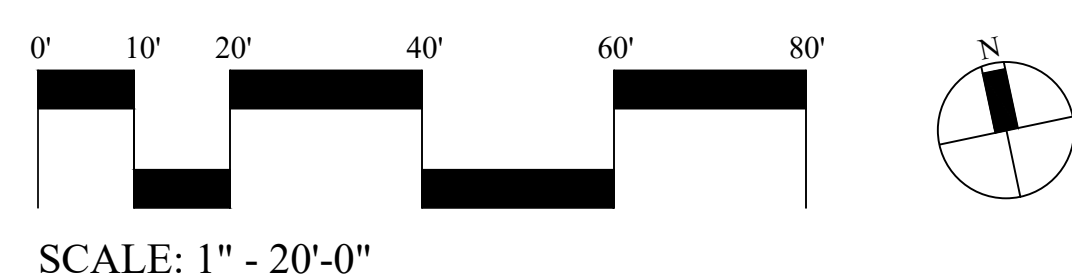
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- PLANTING AREA: SEE PLANTING PLAN

SITE FURNISHINGS SCHEDULE

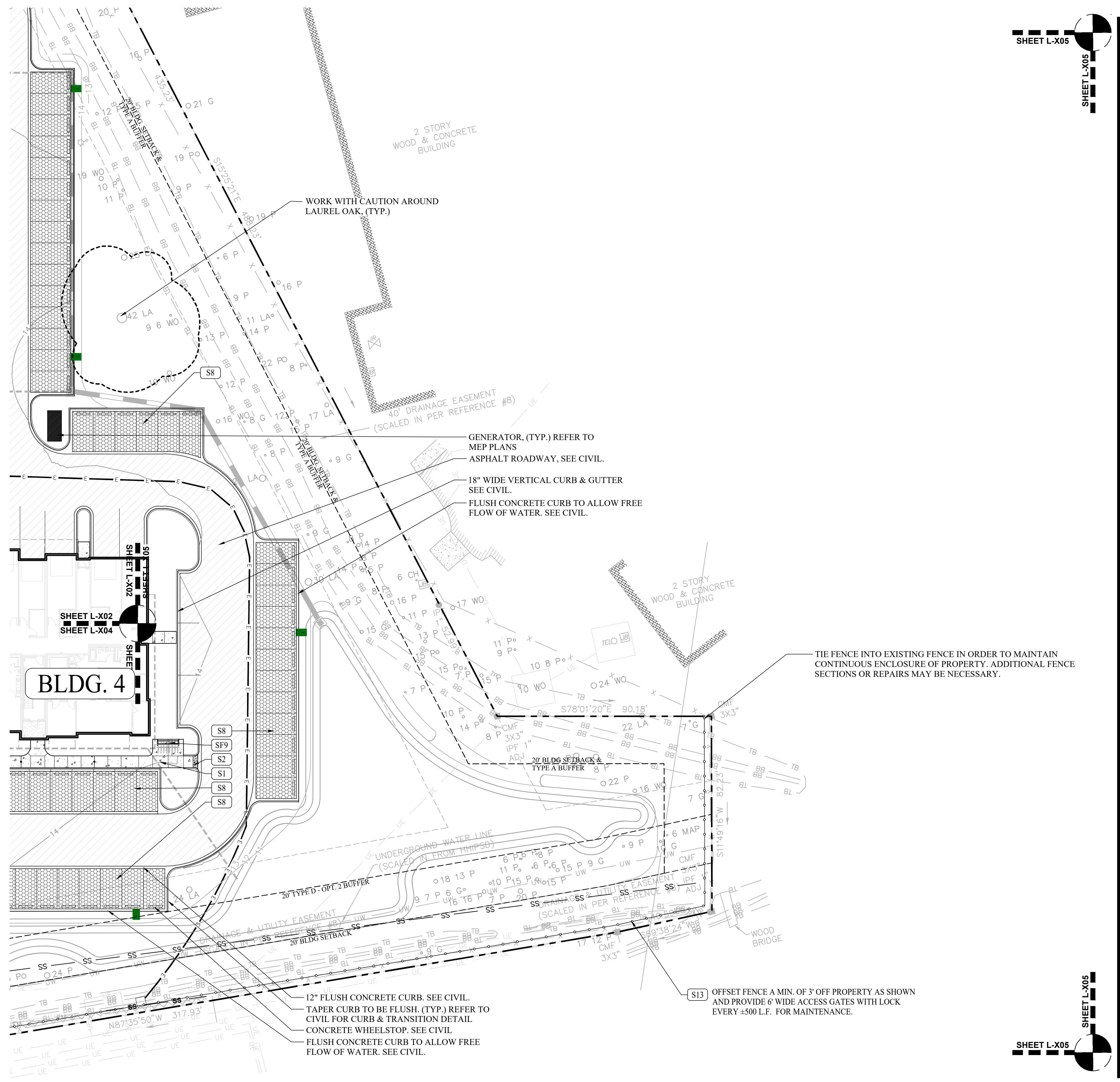
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SHEET L-X05

SHEET L-X05

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#	DATE	COMMENTS

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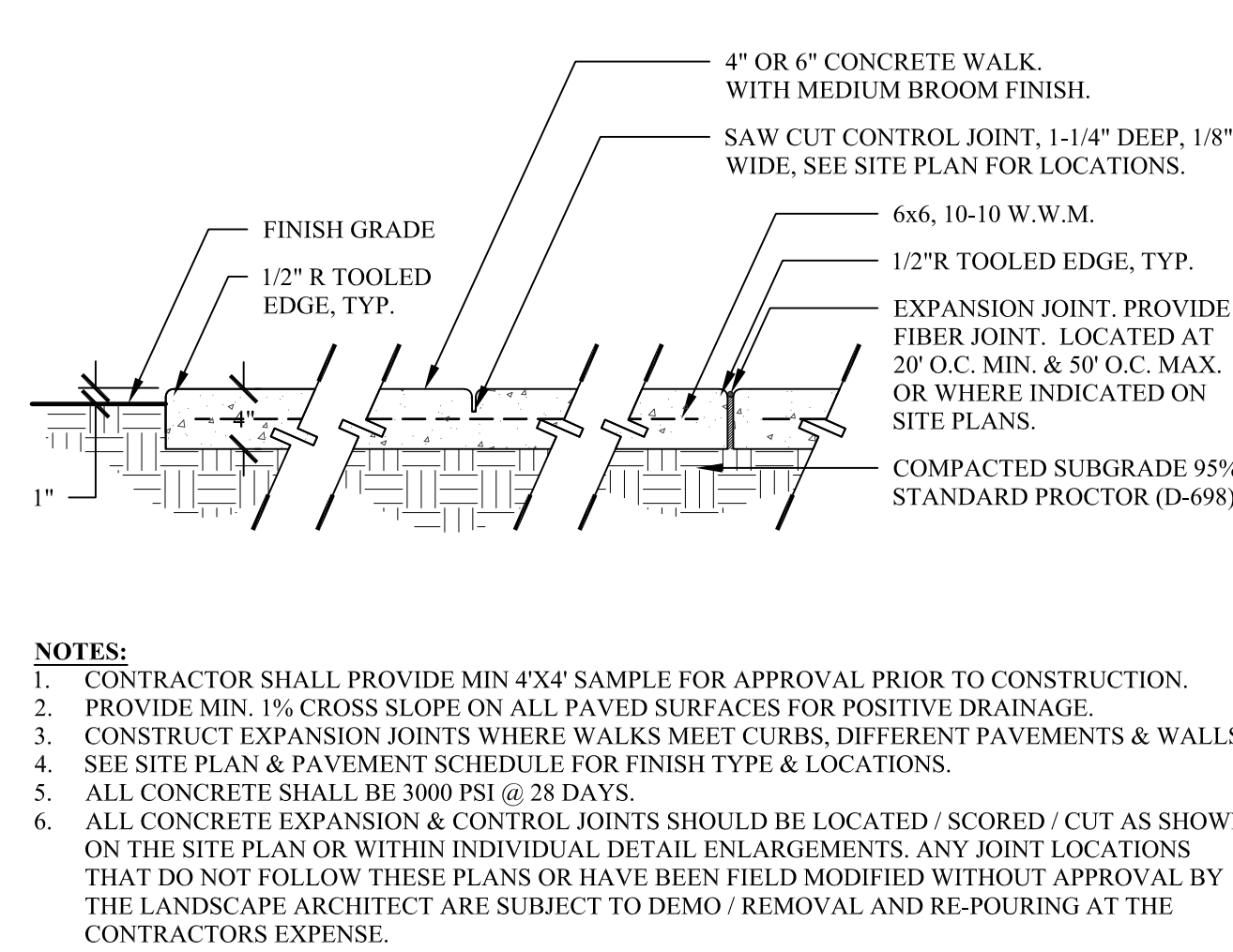
55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANDEL DEVELOPMENT PARTNERS

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 Landscape Architects
 Land Partners
 PO Box 2349 • Hilton Head Island, SC 29925
 843.881.8818 • Fax 843.881.7088 • www.woodpartners.com

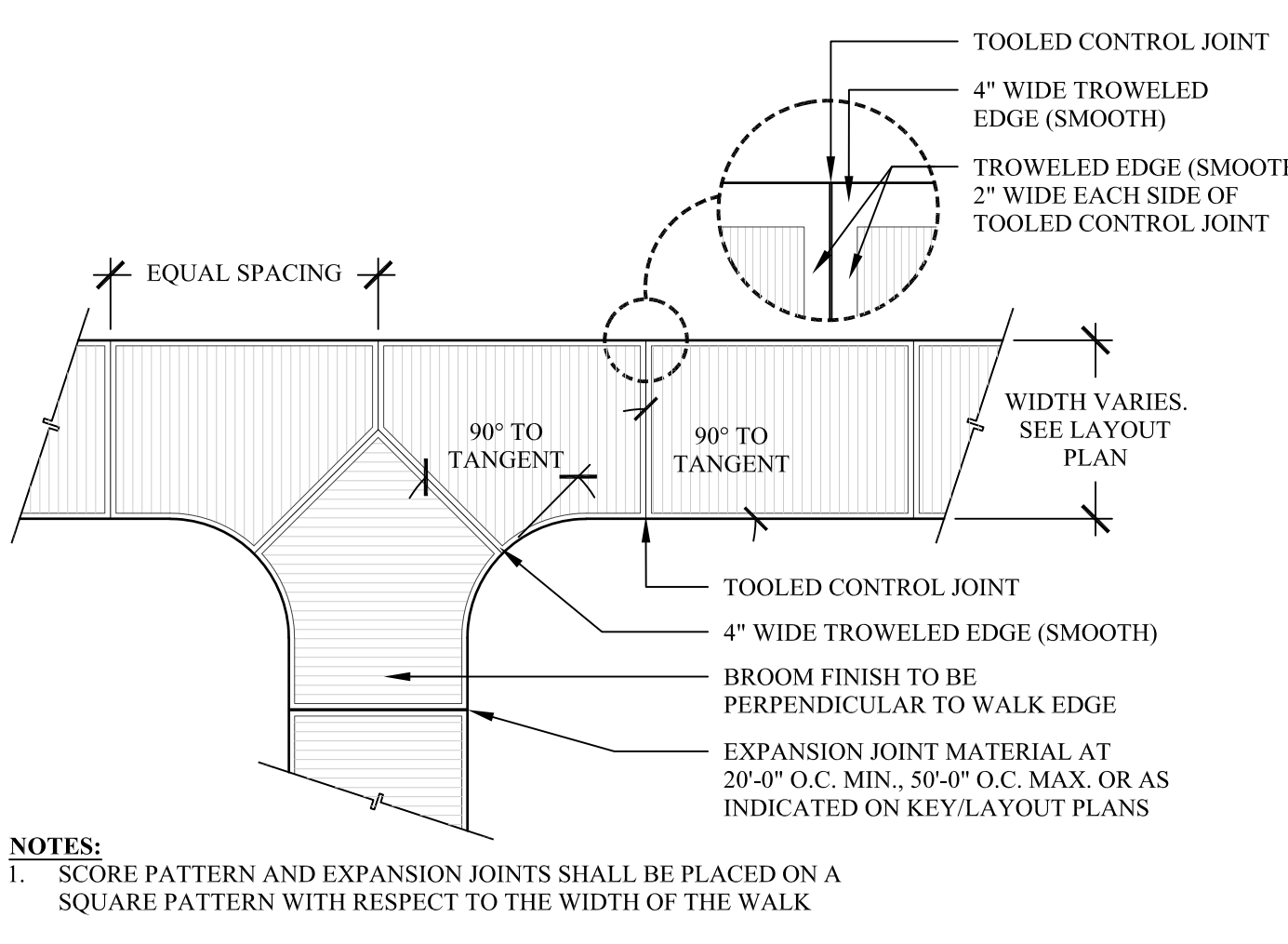
SHEET CONTENTS:
 Site Plan

SHEET NO.
L-105

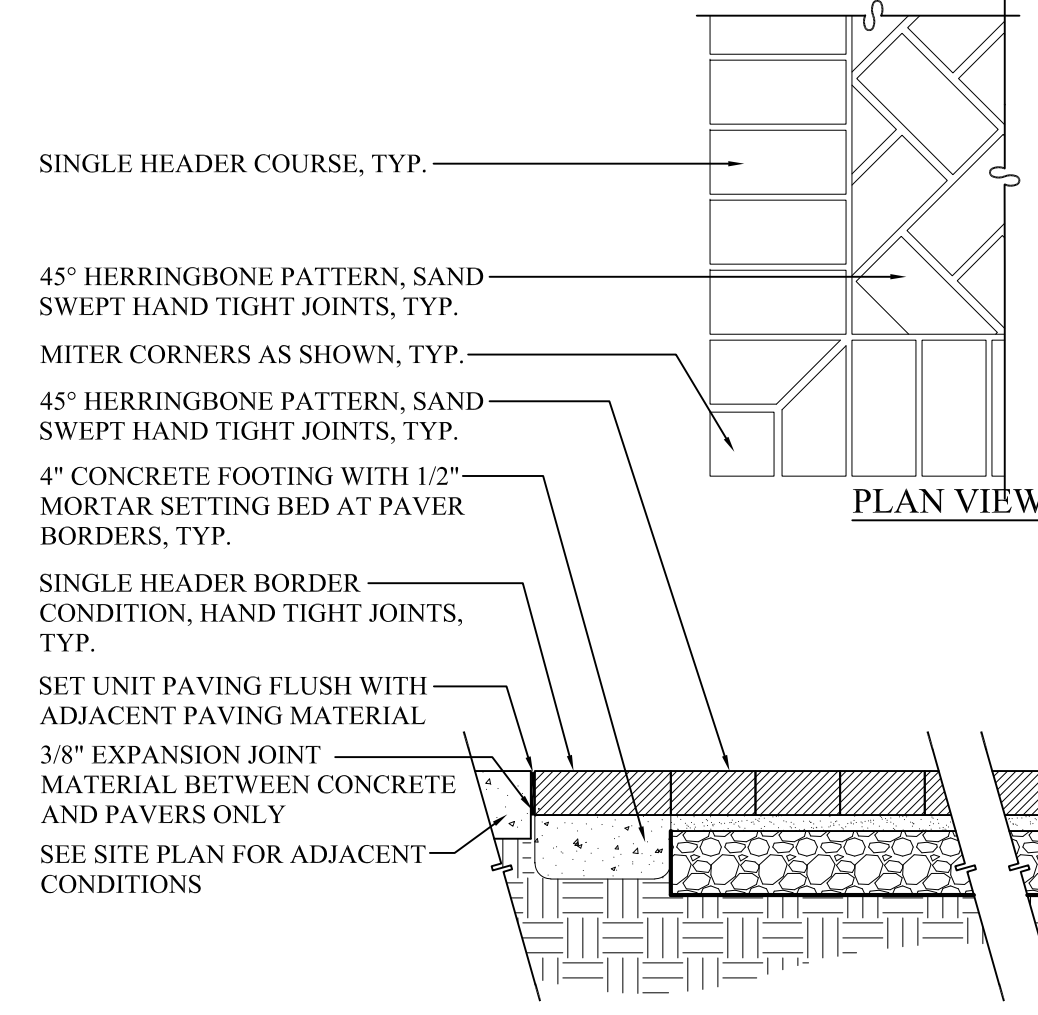
2018565



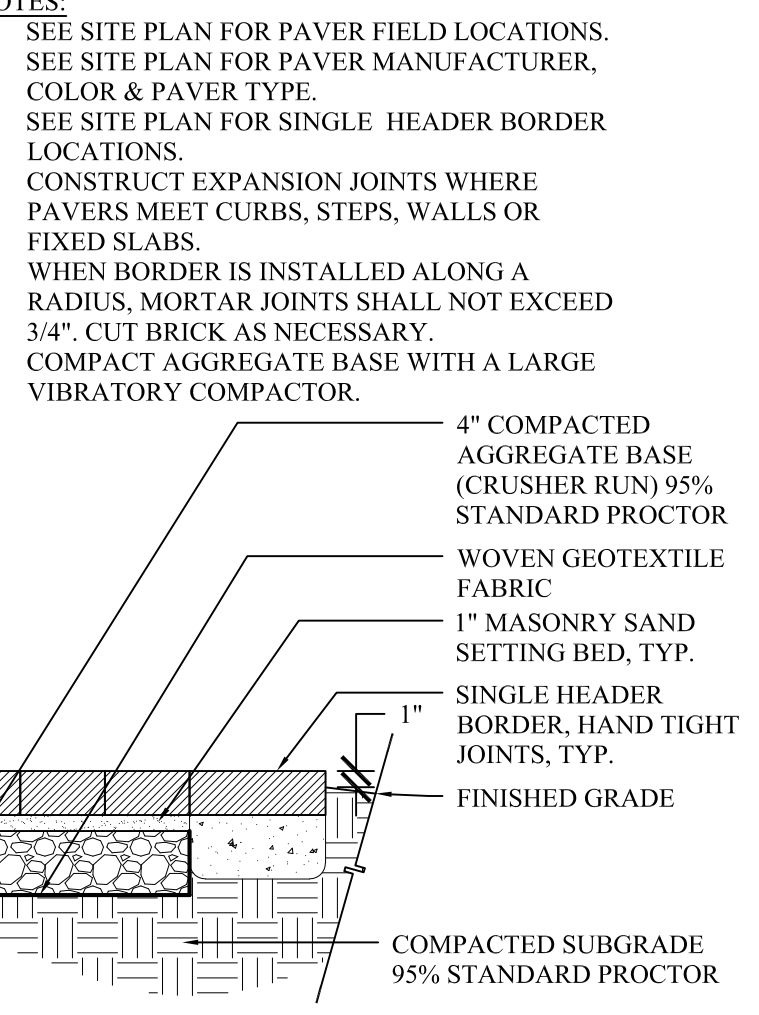
1 CONCRETE PAVING (4" & 6" DEPTHS)
L300 SCALE: 1" = 1'-00"



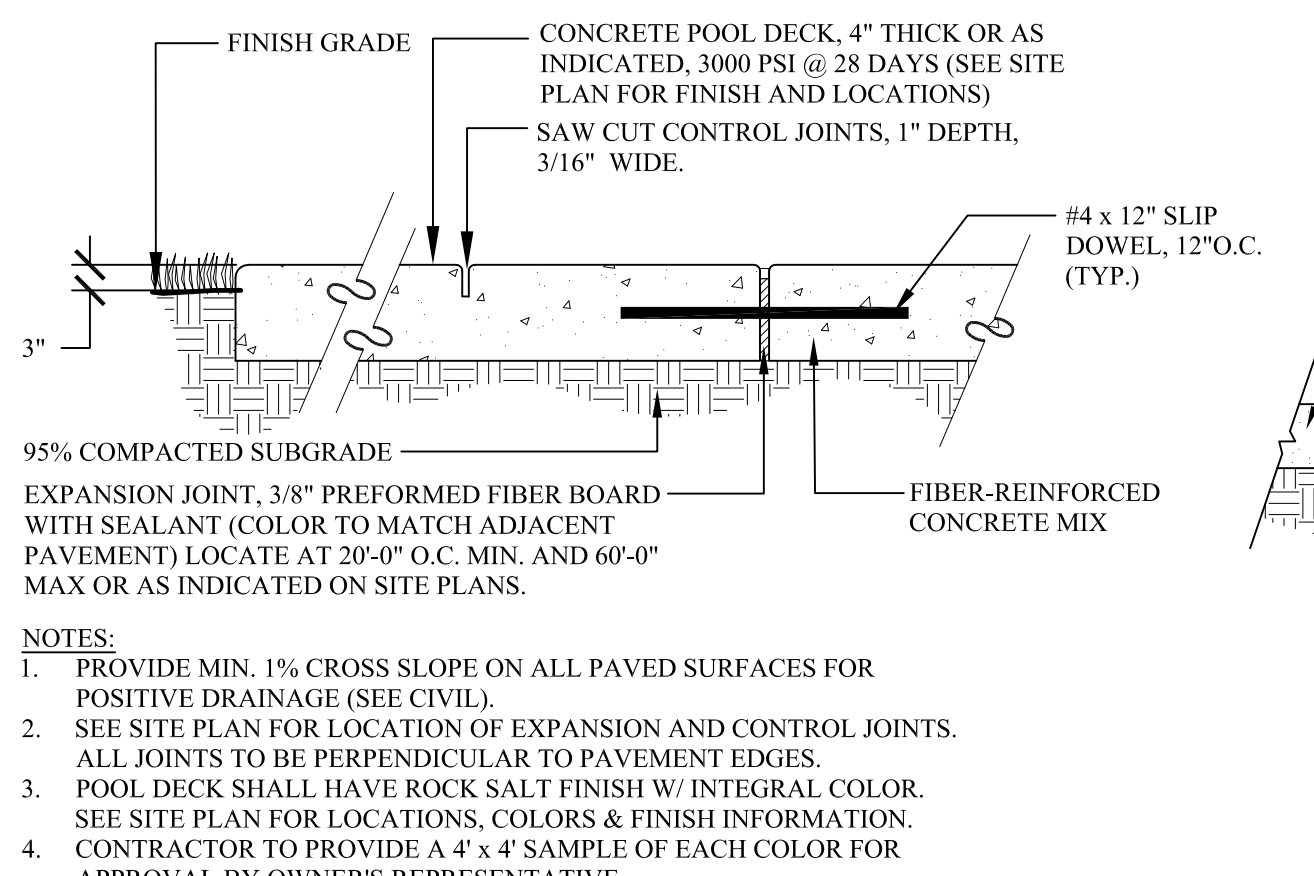
2 SCORING PATTERN
L300 SCALE: 1" = 1'-00"



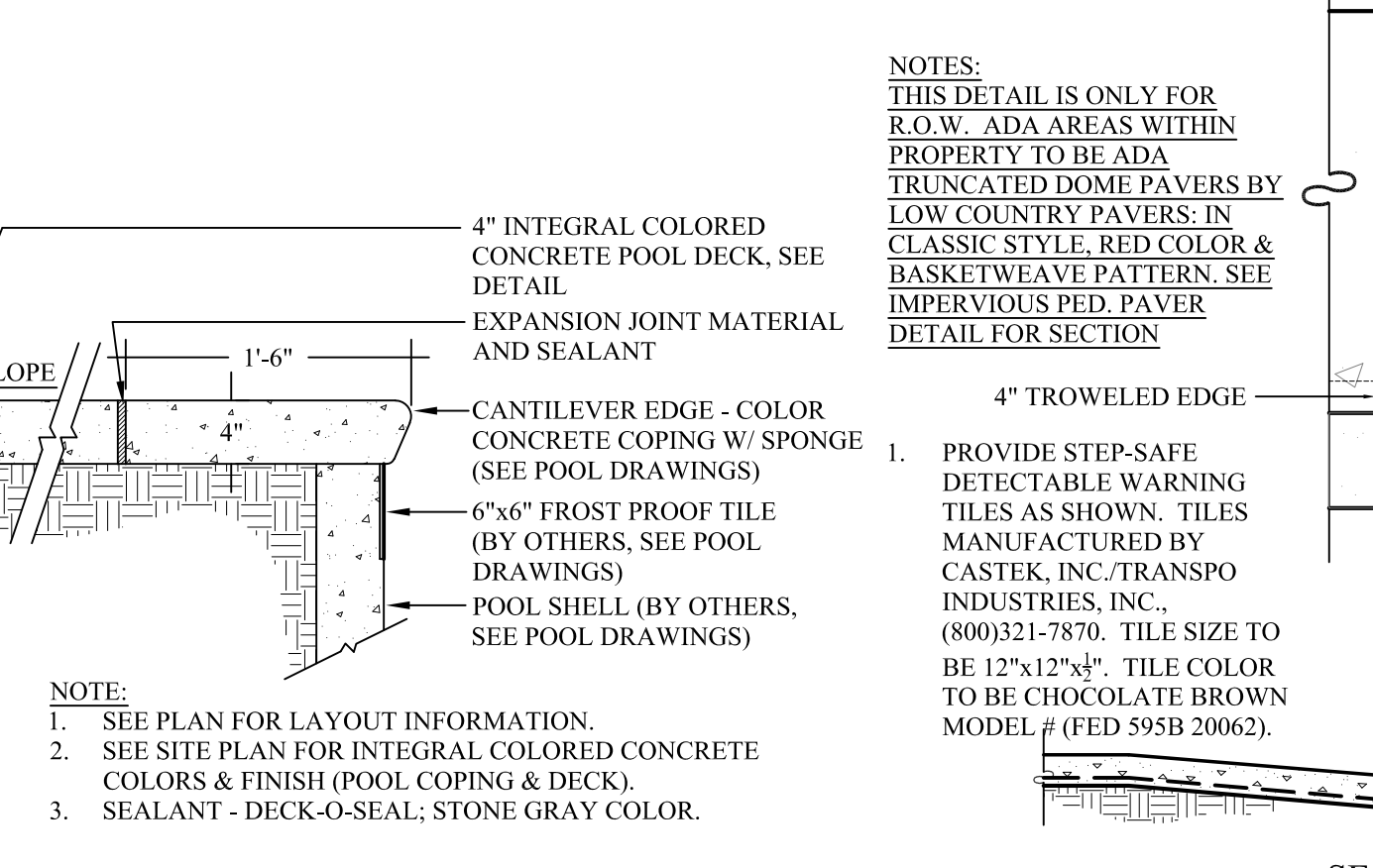
3 PEDESTRIAN PAVERS
L300 SCALE: 1" = 1'-00"



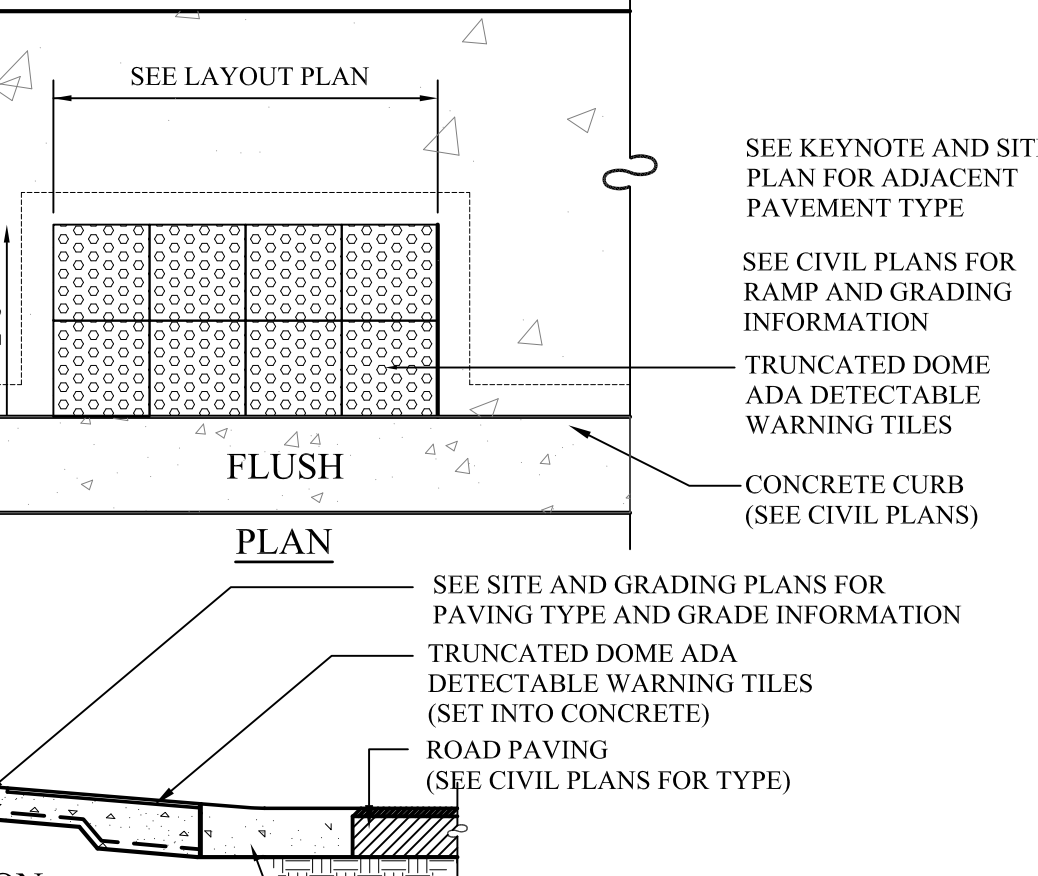
4 ASPHALT MULTI-USE PATH
L300 SCALE: 1" = 1'-00"



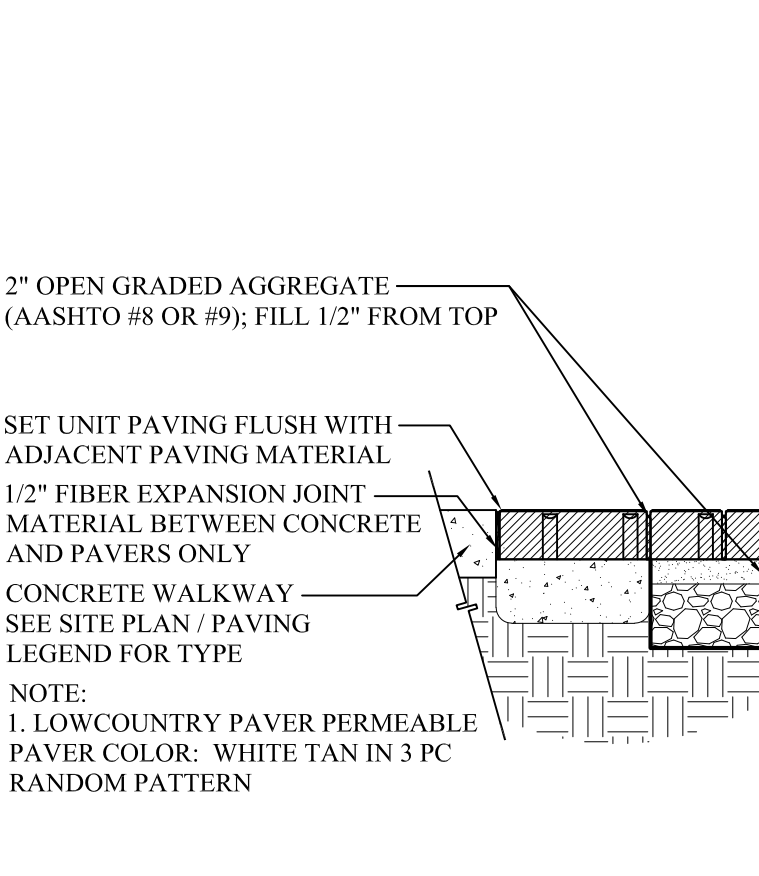
5 POOL DECK
L300 SCALE: 1 1/2" = 1'-00"



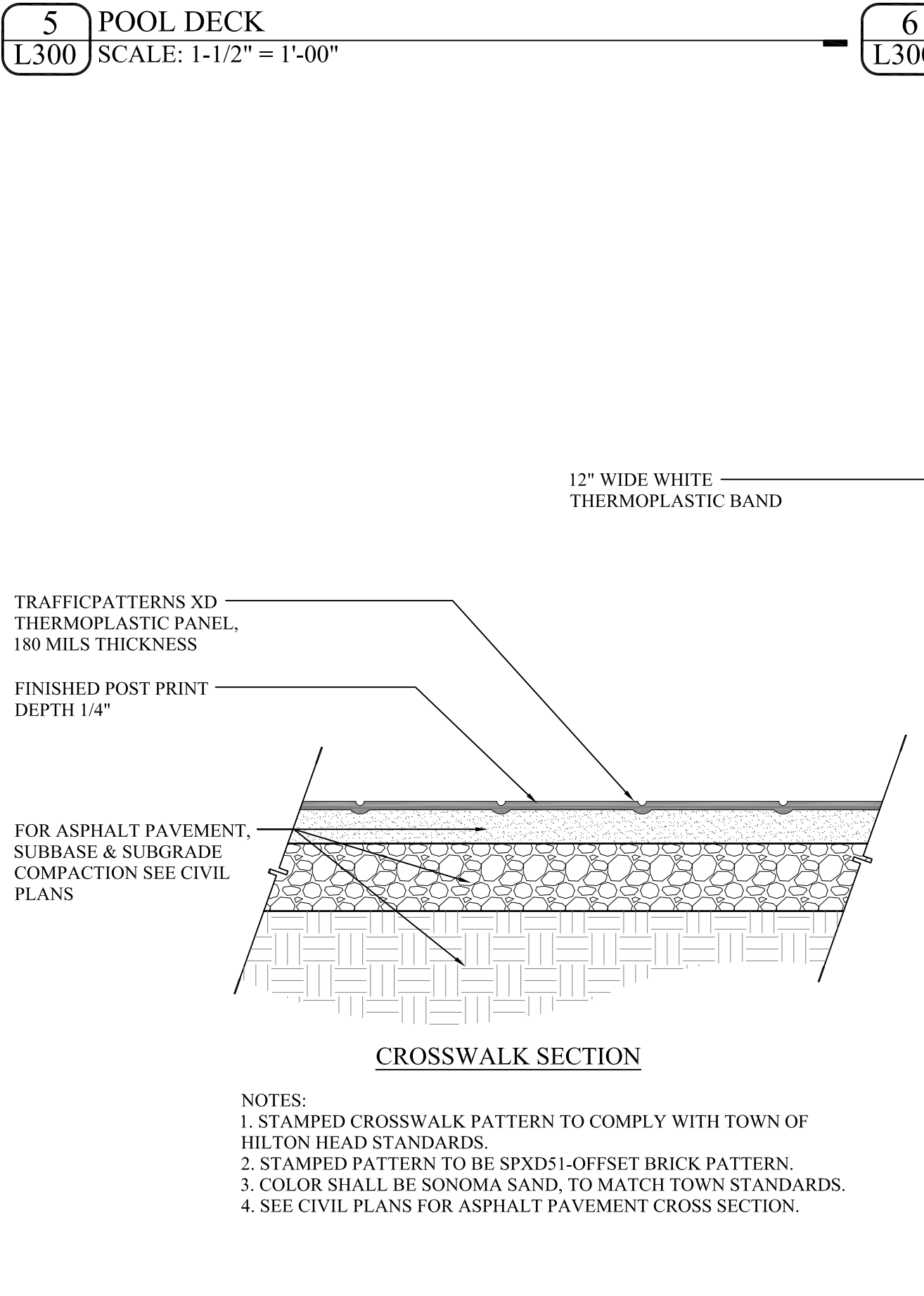
6 POOL COPING
L300 SCALE: 1" = 1'-00"



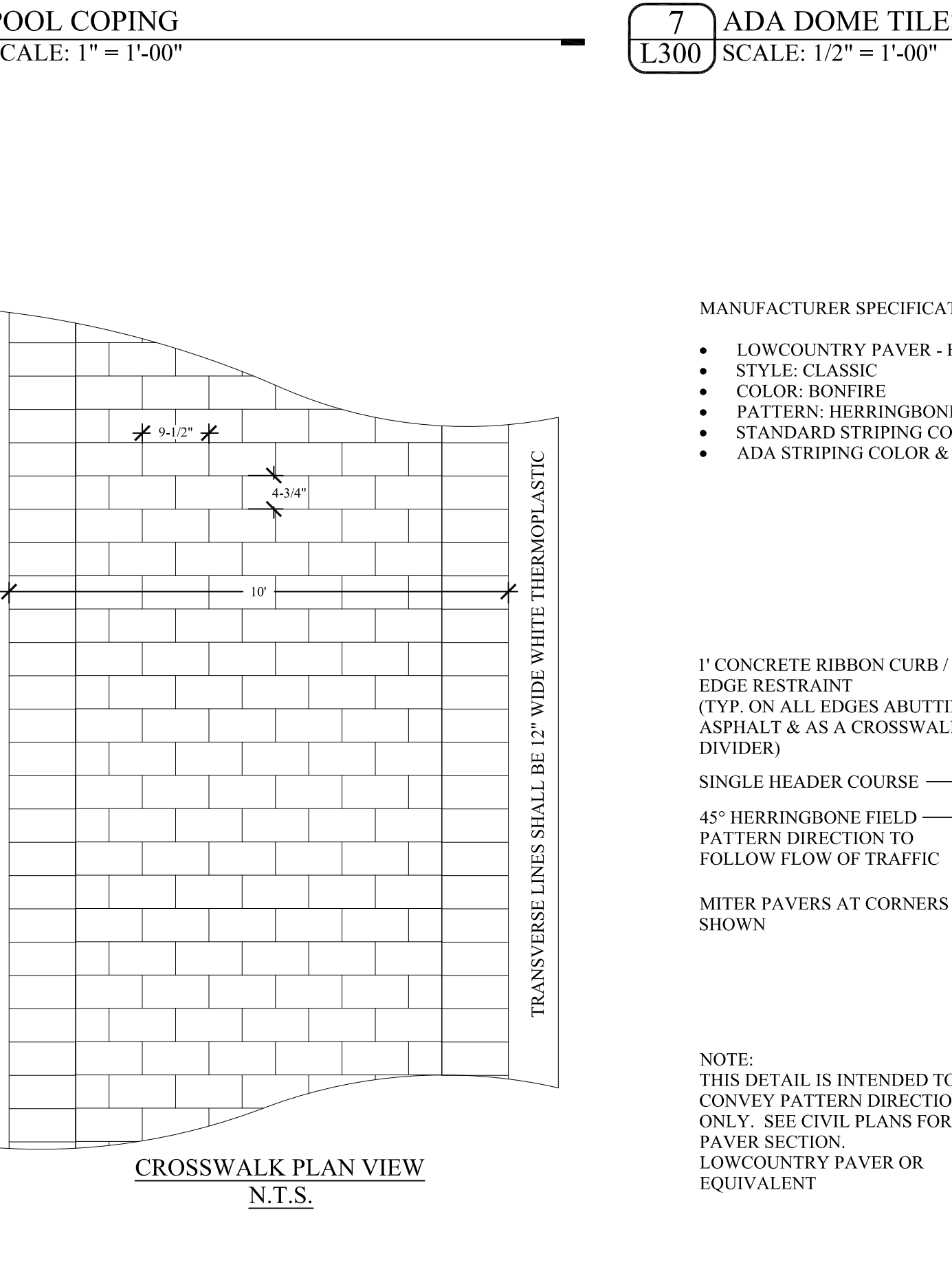
7 ADA DOME TILES
L300 SCALE: 1/2" = 1'-00"



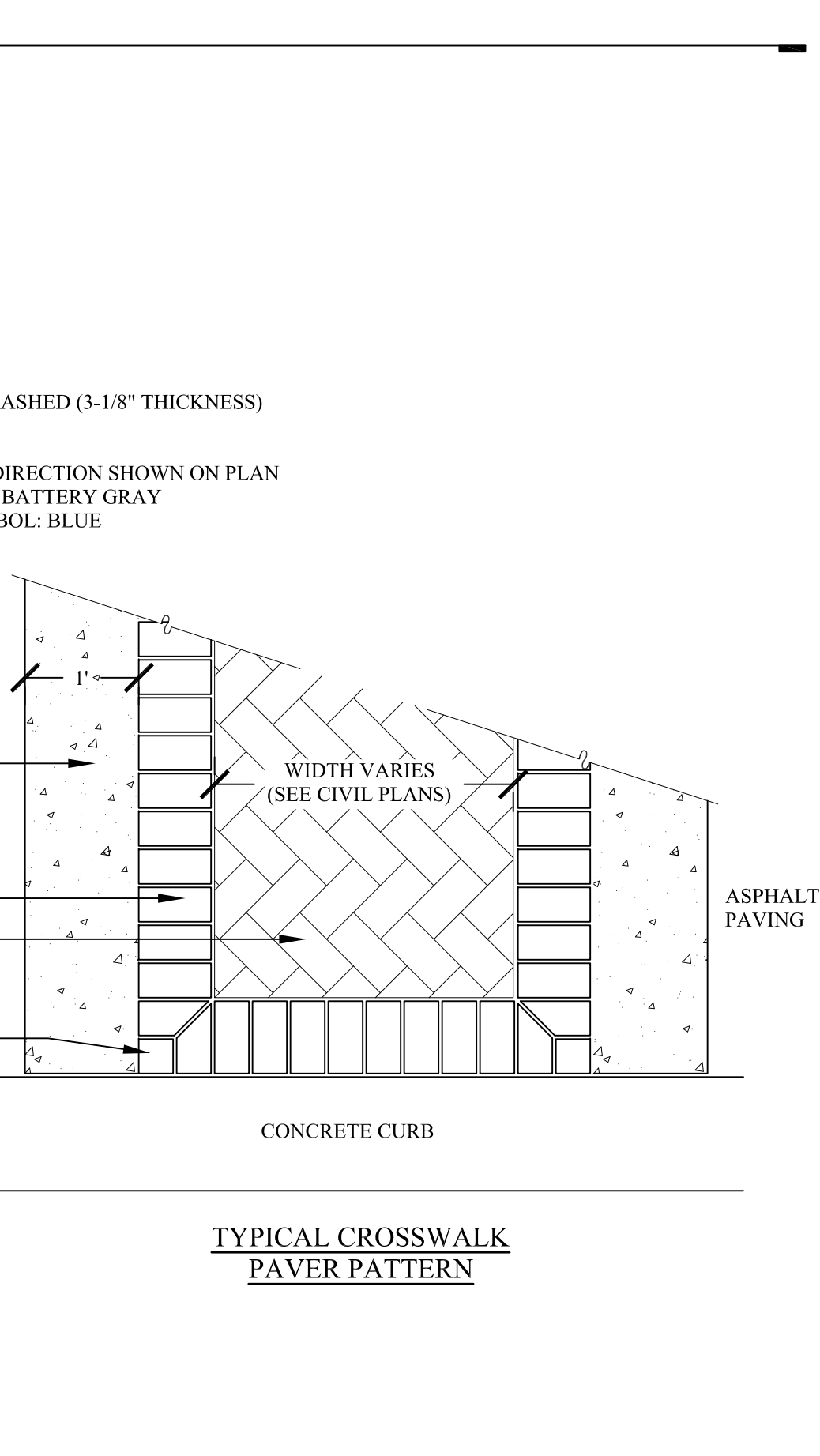
8 PERMEABLE PEDESTRIAN PAVERS
L300 SCALE: 1" = 1'-00"



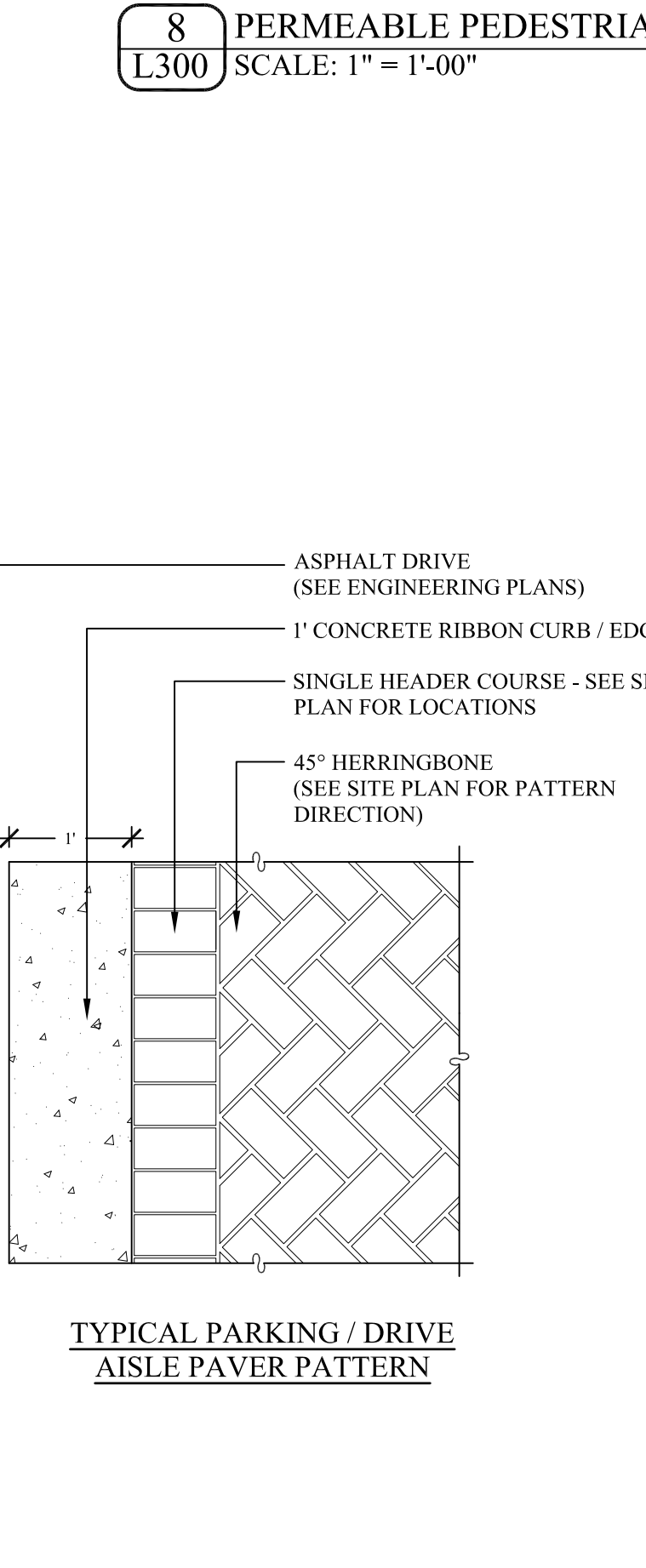
9 TOHHI STAMPED ASPHALT CROSSWALK
L300 SCALE: 3/4" = 1'-00"



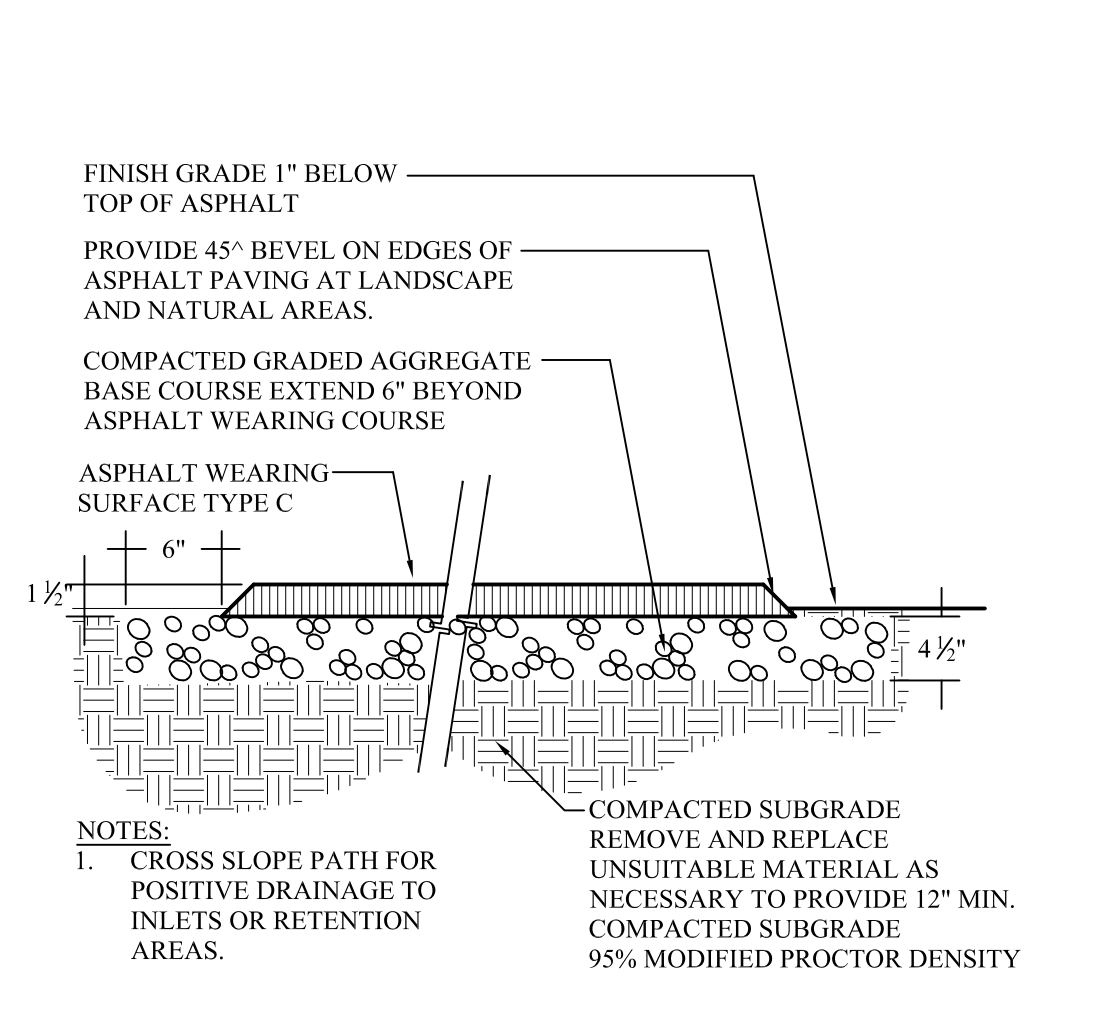
10 VEHICULAR PERMEABLE PAVERS (PATTERN ONLY)
L300 SCALE: 3/4" = 1'-00"



11 SMALL AREA DRAINS
L300 SCALE: 1" = 1'-00"



12 TOHHI STAMPED ASPHALT CROSSWALK
L300 SCALE: 3/4" = 1'-00"



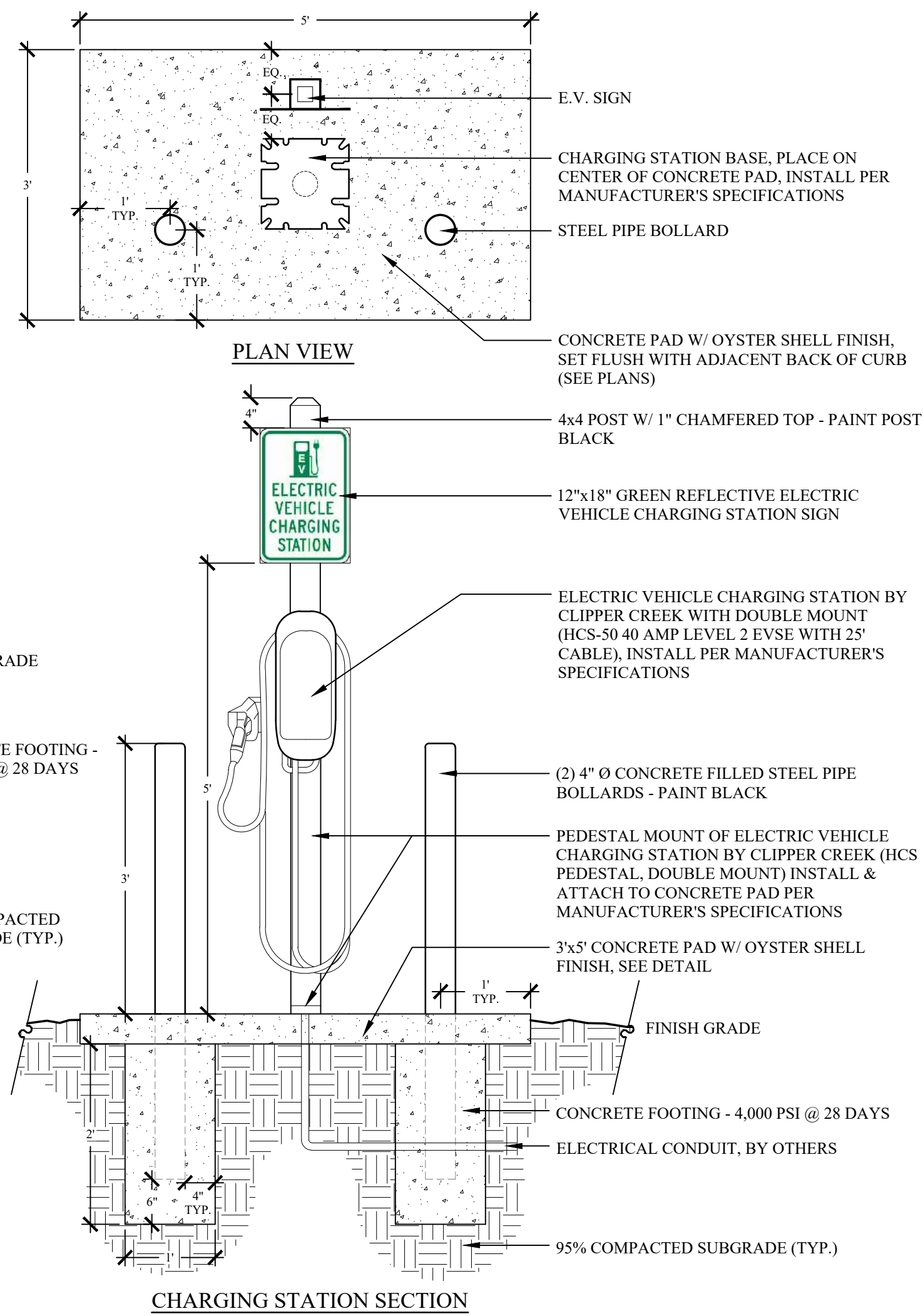
13 TOHHI STAMPED ASPHALT CROSSWALK
L300 SCALE: 3/4" = 1'-00"

Drawn By:	JS	
Checked By:	TT / EW	
Date Plotted:	29 OCTOBER 2019	
Issue Dates:		
Issue for Pricing / Bidding:	FINAL DRB SET - 29 OCT. 2019	
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

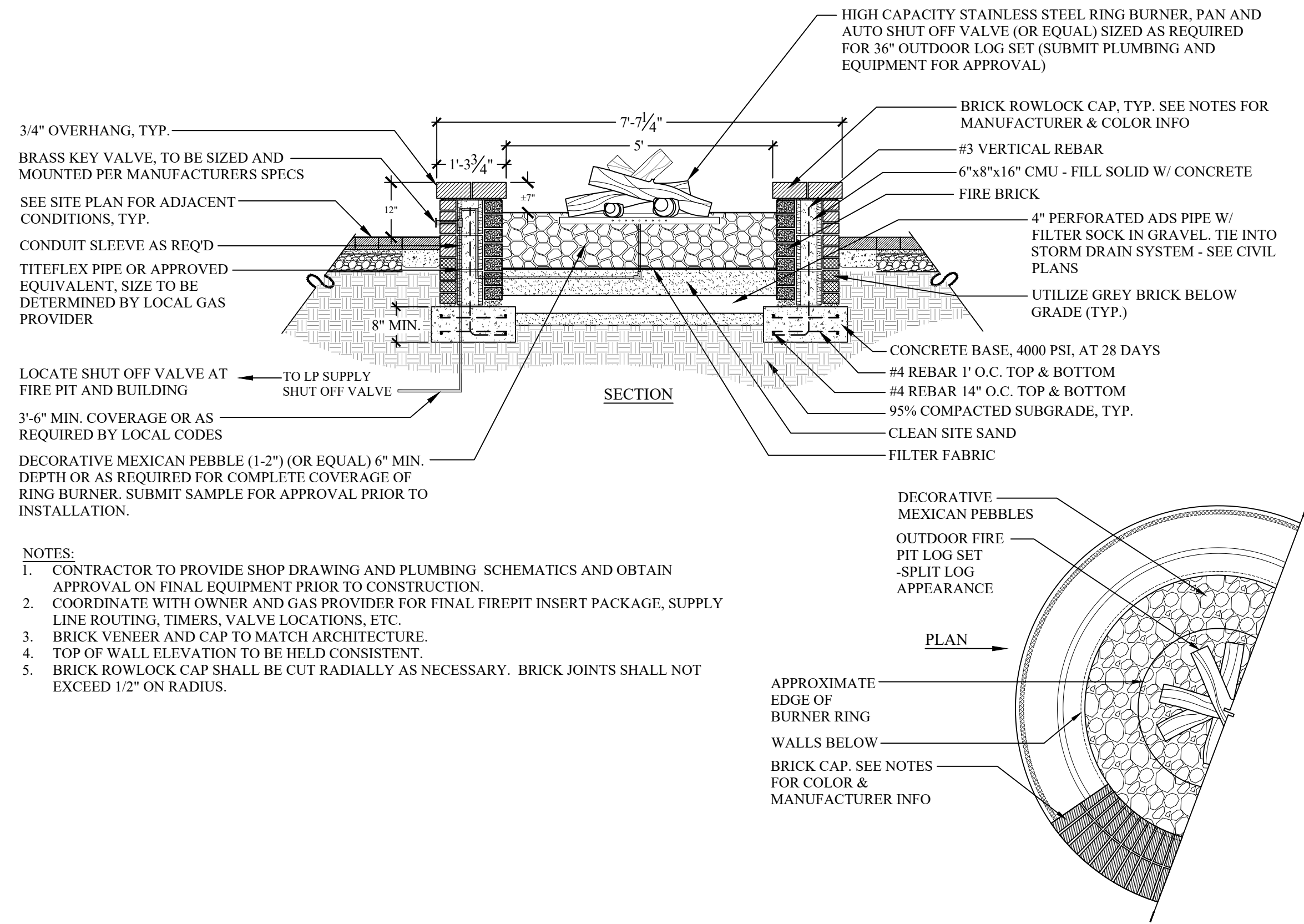
55 GARDNER DRIVE
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BEAUFORT COUNTY, SOUTH CAROLINA
SPANDRELL DEVELOPMENT PARTNERS

Wood+Partners Inc. WPI
Landscape Architects
Land Planners
PO Box 2388 # Hillthead Island SC 29925
843.661.6818 # Fax 843.661.6888 # www.woodpartners.com

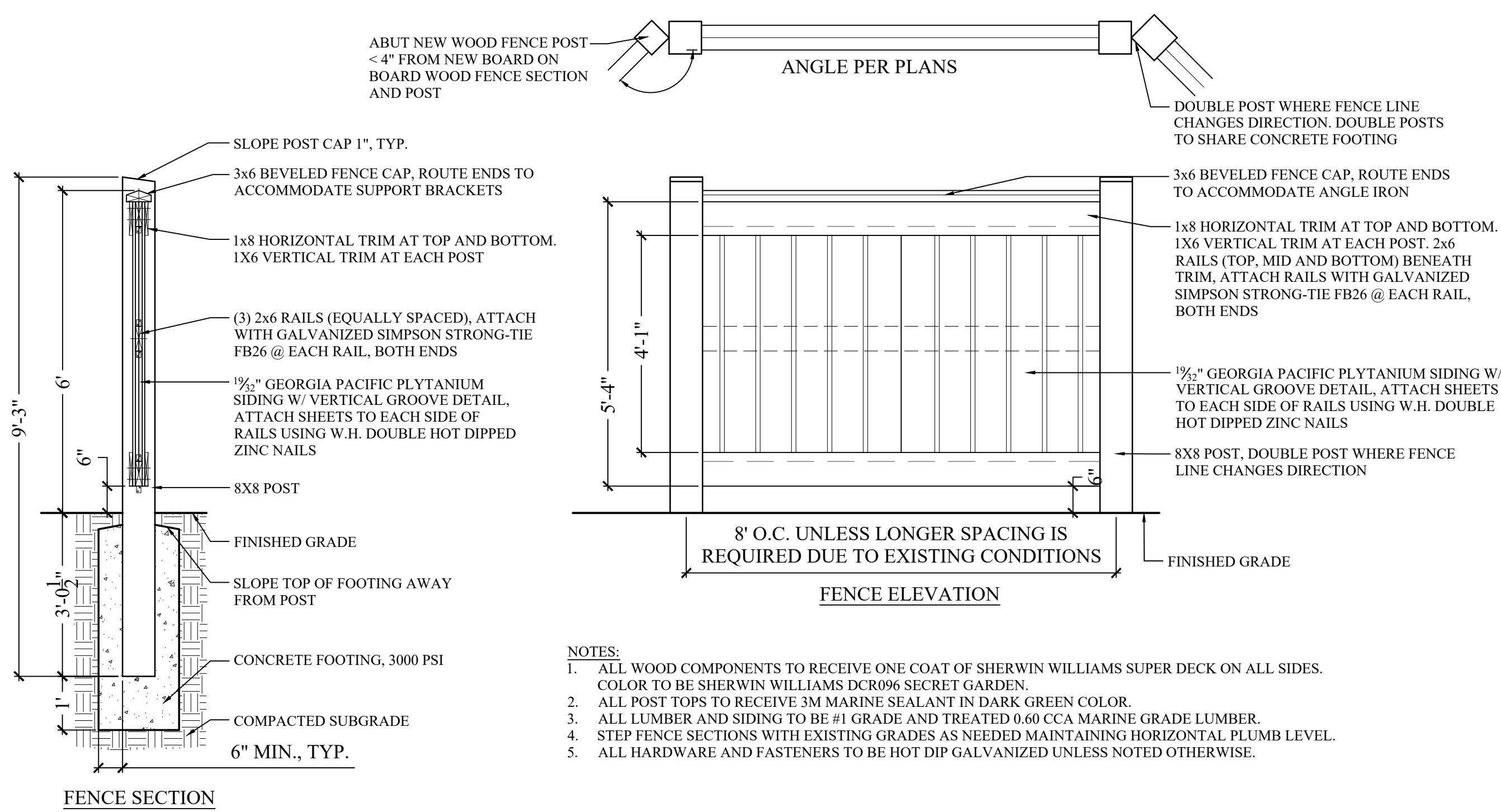
SHEET CONTENTS:
Site Details
SHEET NO.
L-300
2018565



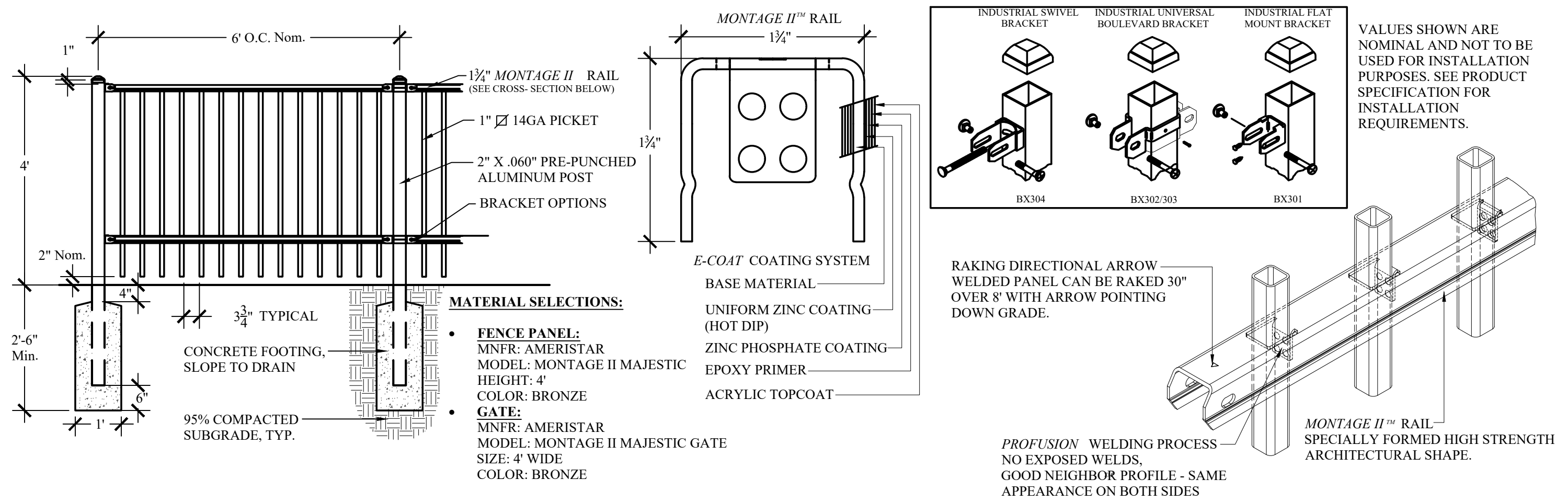
1 ELECTRIC VEHICLE CHARGING STATION
 L301 SCALE: 3/4" = 1'-00"



2 FIREPIT
 L301 SCALE: 1/2" = 1'-00"



3 PERIMETER OPAQUE FENCE, 6' HT.
 L301 SCALE: 1/2" = 1'-00"



4 DECORATIVE ENTRY FENCE & POOL FENCE, 4' HT.
 L301 SCALE: 3/4" = 1'-00"

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:

Issue for Pricing / Bidding:		
FINAL DRB SET - 29 OCT. 2019		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANREL DEVELOPMENT PARTNERS

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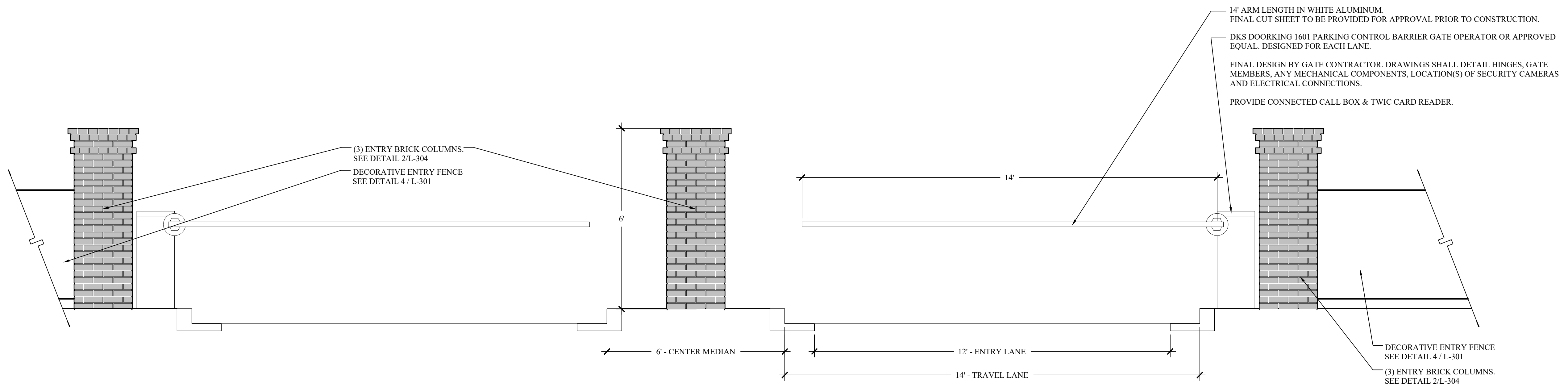
PO Box 2349 • Hilton Head Island, SC 29925
 843.881.8118 • Fax 843.871.7288 • www.woodpartners.com

SHEET CONTENTS:
 Site Details

SHEET NO.

L-301

#	DATE	COMMENTS



SHOWN FOR PRECEDENT ONLY OF BARRIER GATE - NOT GATEHOUSE PROPOSED



BARRIER GATE EXAMPLE



BARRIER GATE EXAMPLE

1601 PARKING CONTROL BARRIER GATE OPERATOR

1601 1/2 HP
 15.25" W x 28.5" H x 14.75" D (See Note #1 for Arm Length)

CLASS OF OPERATION	MAX ARM LENGTH*	TYPE	MOTOR	INPUT	OPTIONS
II, III, IV	12 Ft (3.6 m) 14 Ft (4.3 m) 14 Ft (4.3 m)	Plastic Wood Aluminum	1/2HP Continuous Duty AC Motor	115 VAC, 60 HZ, 5-4A 230 VAC, 60 HZ, 2.7A* 480 VAC, 60 HZ, 1.4A*	Convenience Open Package † Heater and Fan Kits Folding Arm Kits

* These operators are a step-down transformer to achieve 115 VAC operating voltage.
 † Optional factory-installed DC-powered drive system provides an automatic method to open the gate when primary AC power fails.

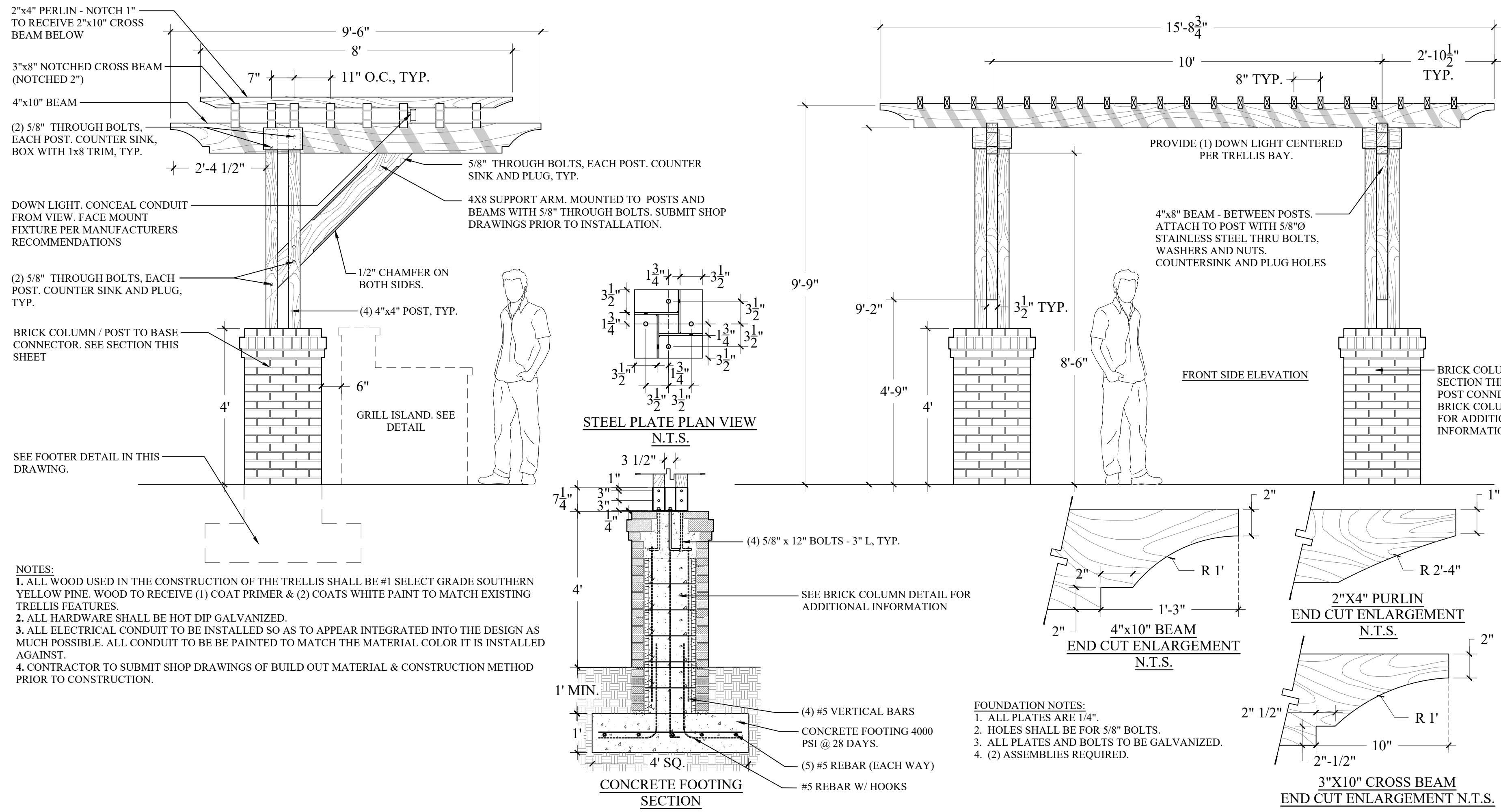
Technical Features

- Mechanical:** Primary reduction is provided by a 40:1 worm gear reduction system turning in a continuous oil bath. Arm velocity 50" in approximately 1.5 seconds. 500 galvanized steel housing, painted white. Non-scratch maintenance release method. Left- or right-hand mount. 300° gear life rotation before the motor changes direction. 1000 cycles for arm-to-standards, arm-to-standards, and gate-to-standards.
- Electrical:** Magnetic-reversing limit controls. Auto-close timer 1-23 seconds. D.A.M.S. (Programmable Access Management System) sequenced with a 550W or 550W gate operator. 50 Amp memory buffer. 5000 memory buffer. 5000 memory buffer. Multiple up commands. Post for plug-in reverse (obscure) detector. Post for plug-in loop detector. Built-in power On/Off switch. 5000 cycles for opening and closing operator (MAX 1000, 1000, 1000 or 1000 only).
- Miscellaneous:** Environmental: 0°F to 140°F (-20°C to 42°C). Thermally-controlled heater kit recommended for colder environments. Shipping weight (approximately 140-160 lbs (63-72 kg)). Arm kit: 75 lbs (34 kg).

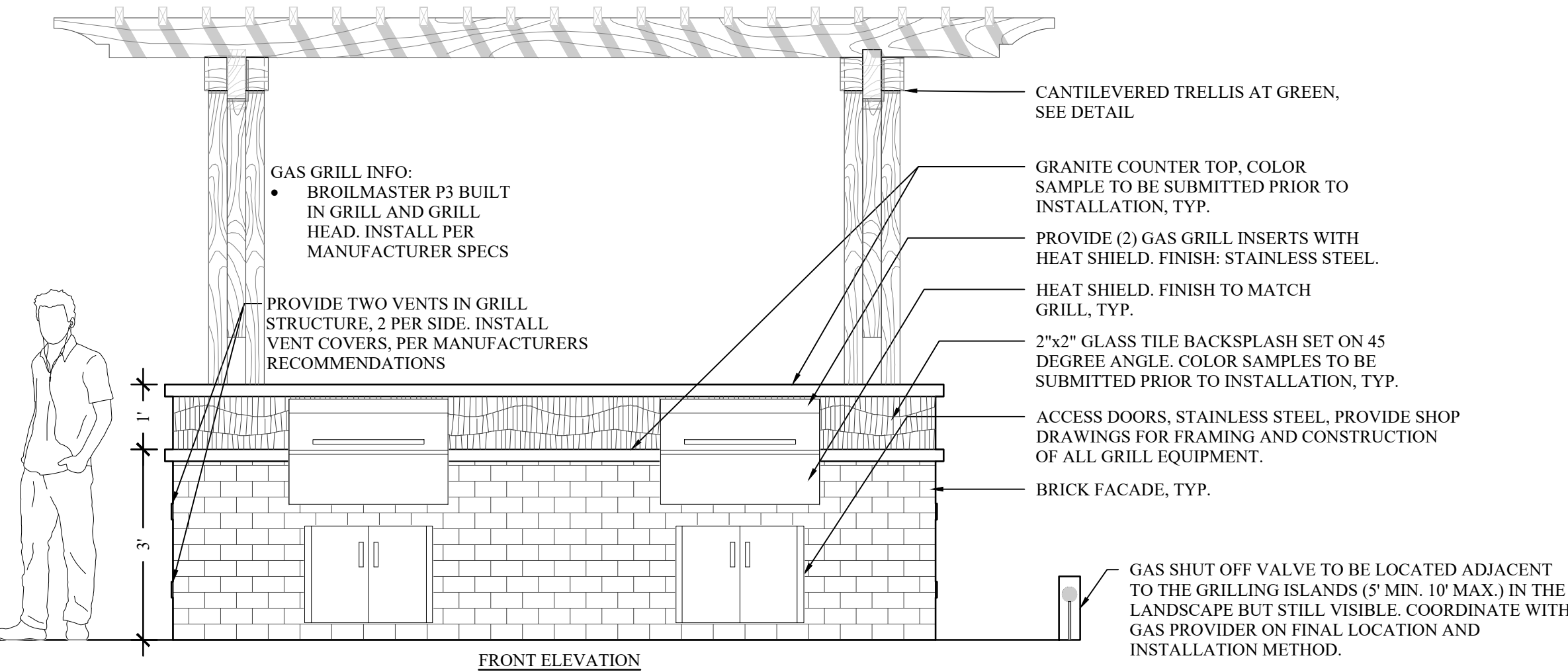
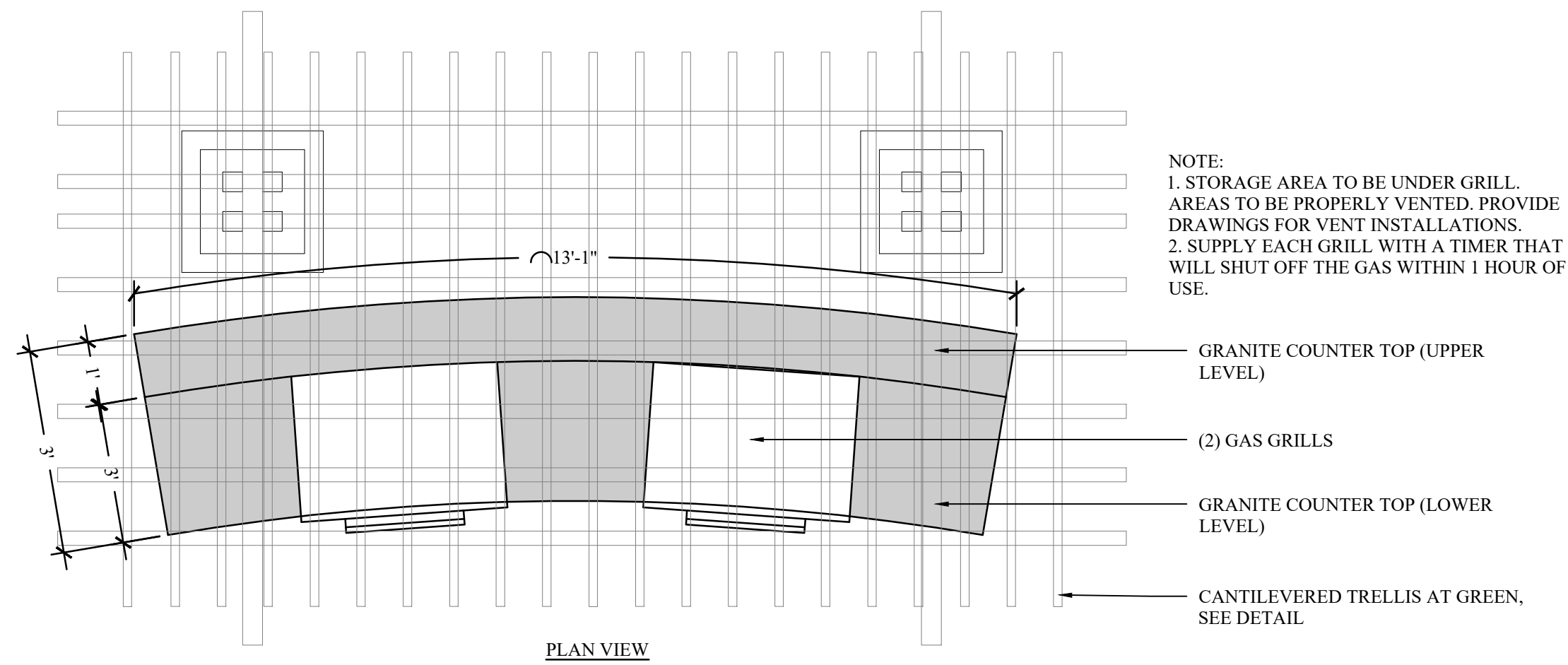
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 IFA International Federation of Access
 PSMA Professional Security Manufacturers Association
 IIDA International Industrial Designers Association
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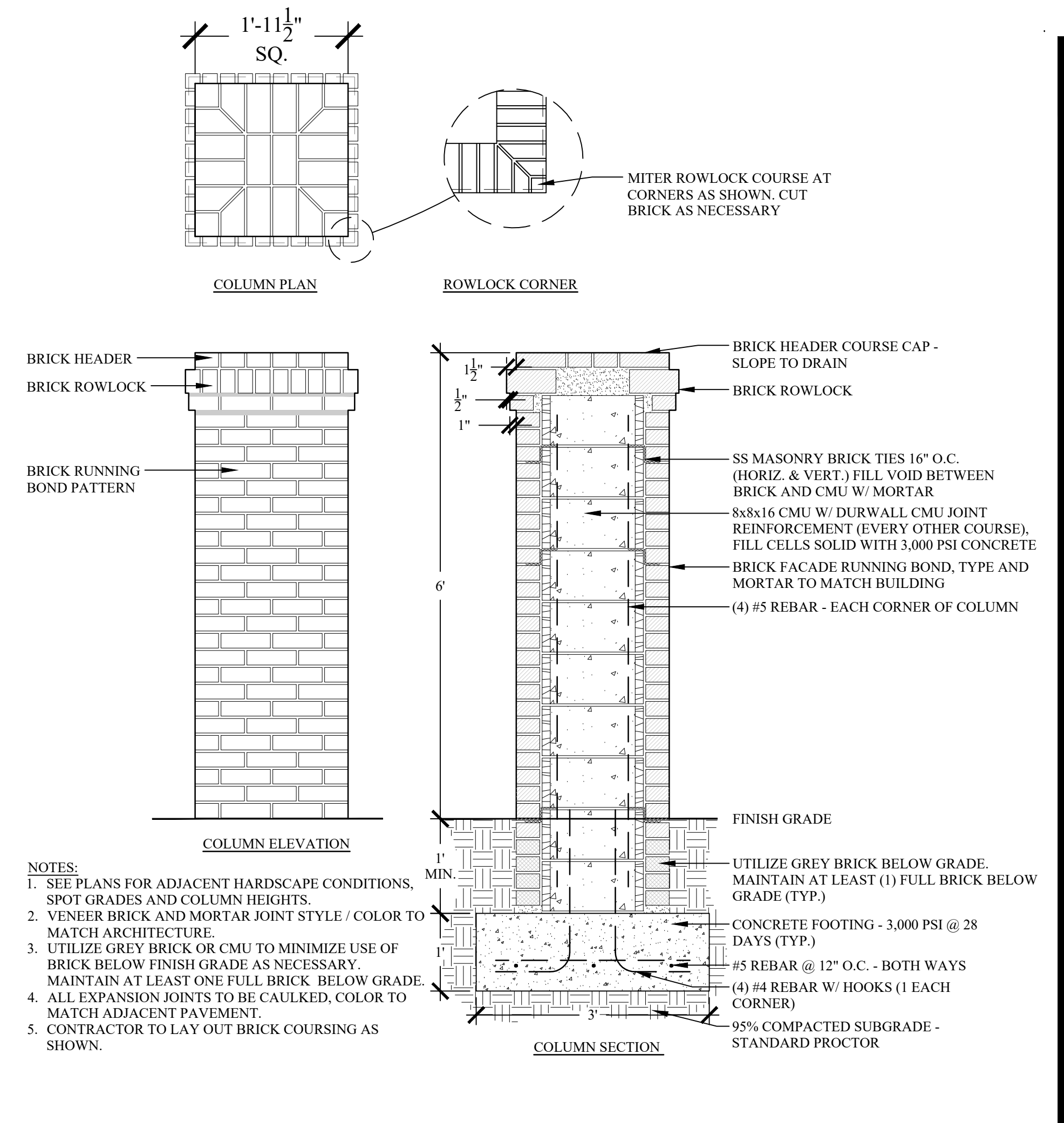
DOORKING, INC.
 100 Chicago Street, Springfield, MA 01103 U.S.A.
 Tel: 270-940-0022 Fax: 270-940-1108 www.doorking.com
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 Rev. 12/12



1 CANTILEVERED TRELLIS AT GREEN
 L304 SCALE: 1/2" = 1'-00"



3 OUTDOOR KITCHEN AT GREEN
 L304 SCALE: 1/2" = 1'-00"



2 BRICK ENTRY COLUMN
 L304 SCALE: 3/4" = 1'-00"

Drawn By: JS
 Checked By: JT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates: _____
 Issue for Pricing / Bidding: _____
 FINAL DRB SET - 29 OCT. 2019
 Issue for Permit Application: _____
 Issue for Construction: _____

Revisions:		
#	DATE	COMMENTS

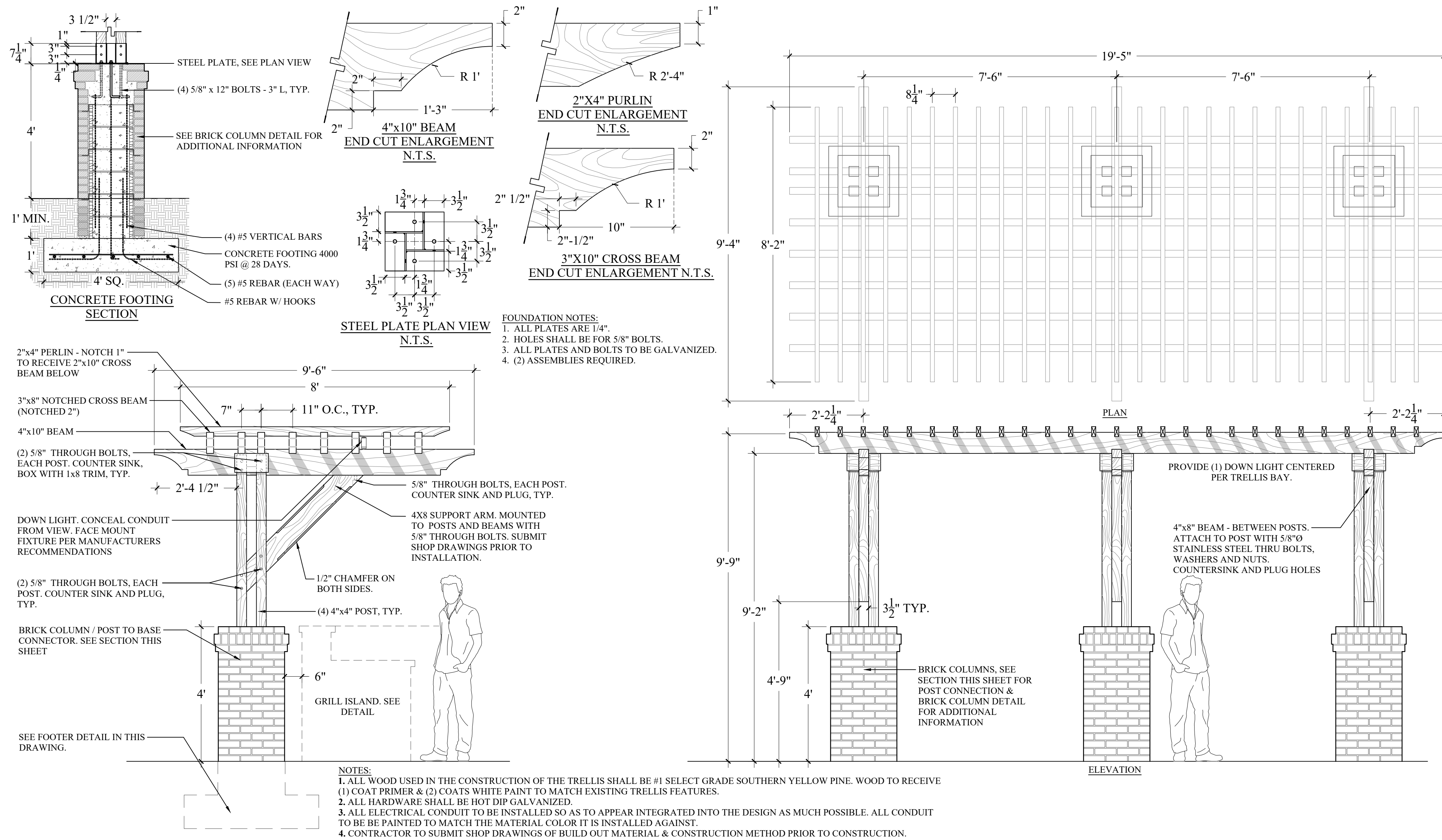
55 GARDNER DRIVE
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 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANREL DEVELOPMENT PARTNERS

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SHEET CONTENTS:
 Site Details

SHEET NO.

L-304



1 CANTILEVERED TRELLIS AT POOL
 L305 SCALE: 1/2" = 1'-00"

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:

Issue for Pricing / Bidding:		
FINAL DRB SET - 29 OCT. 2019		
Issue for Permit Application:		
Issue for Construction:		

Revisions:		
#	DATE	COMMENTS

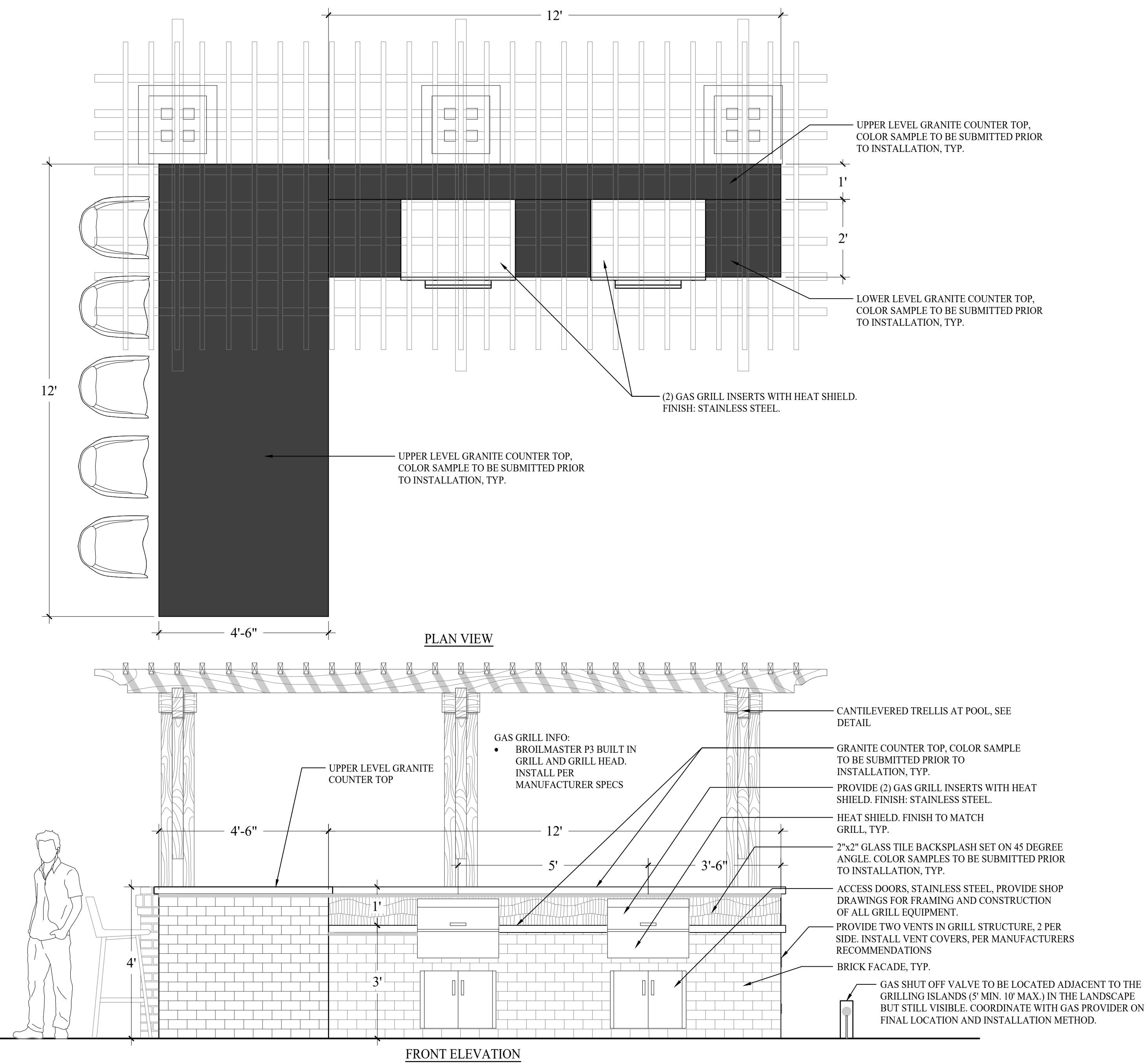
55 GARDNER DRIVE
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 BEAUFORT COUNTY, SOUTH CAROLINA
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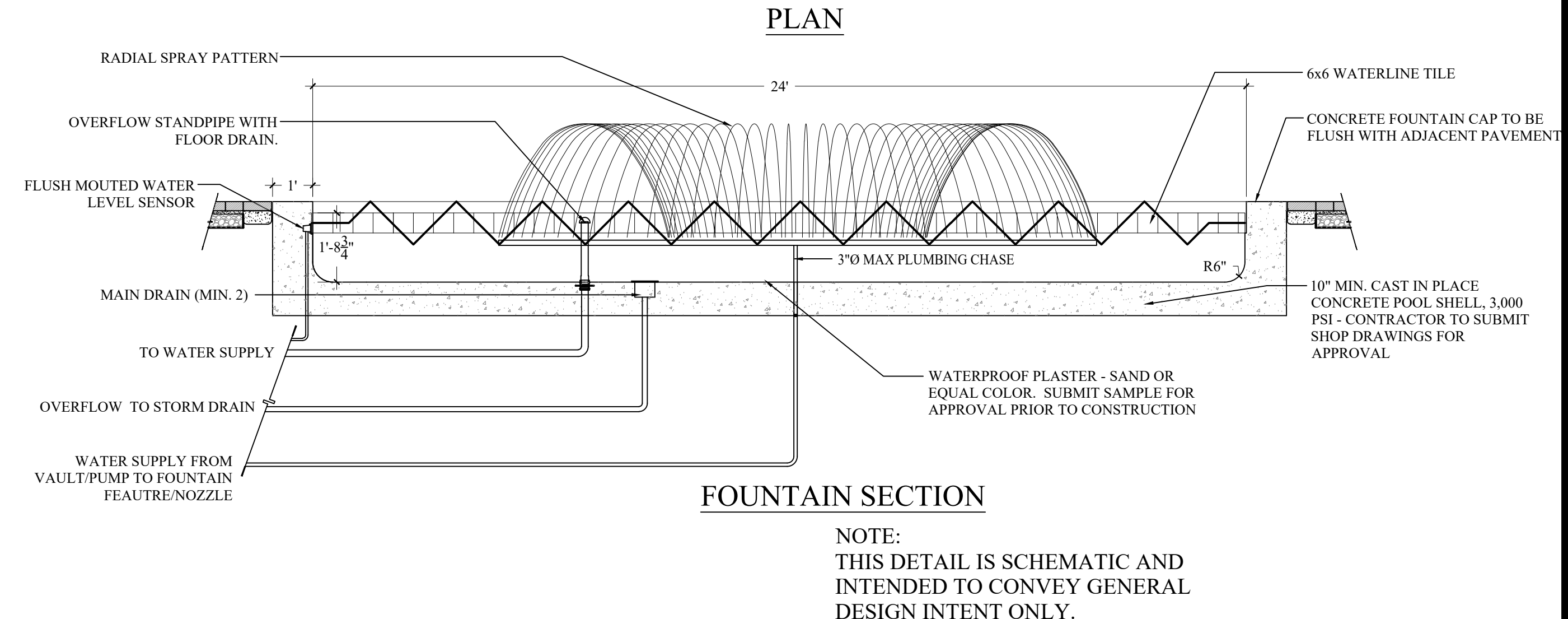
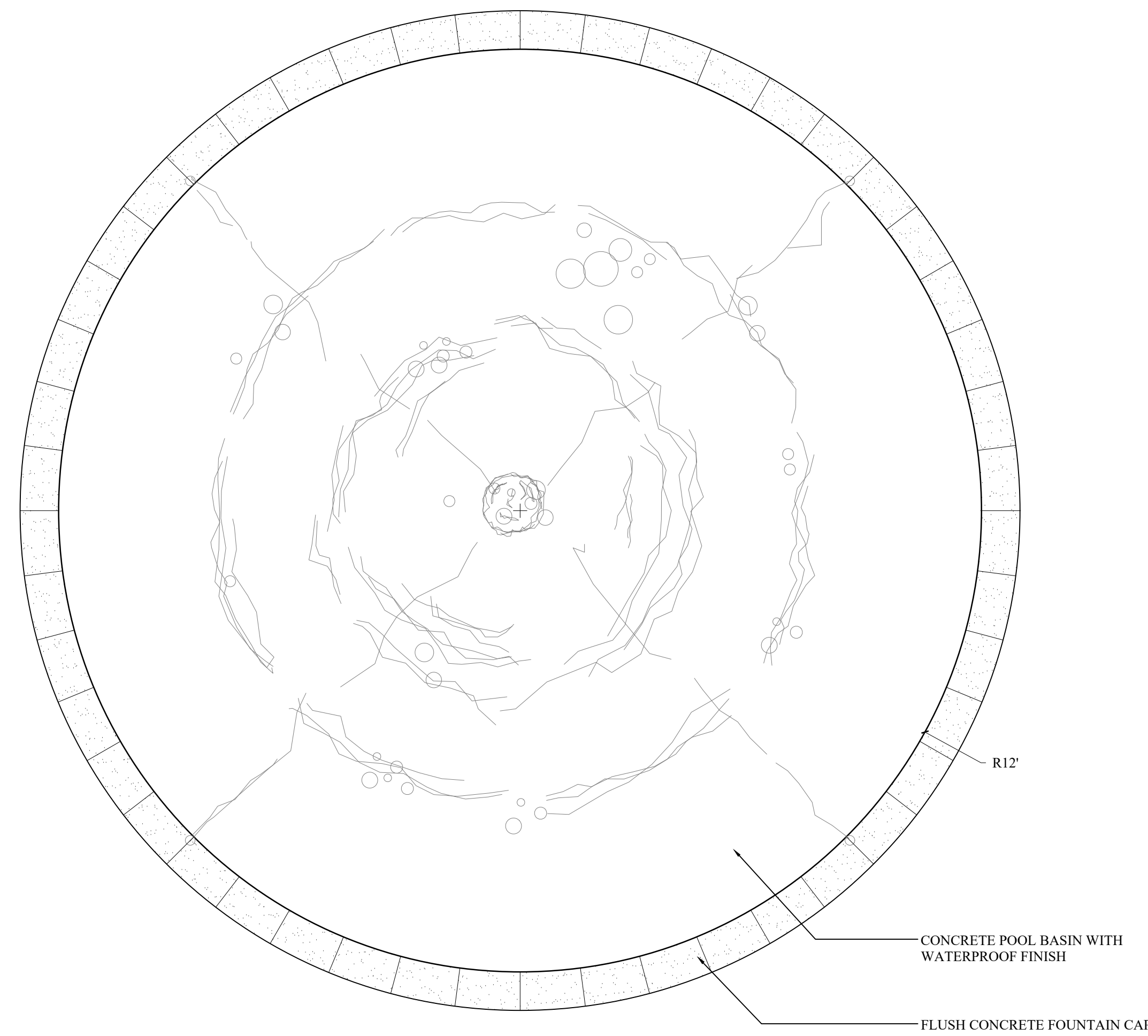
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SHEET CONTENTS:
 Site Details

SHEET NO.
L-305



1 SUMMER KITCHEN (POOL)
L306 SCALE: 1/2" = 1'-00"



2 SCHEMATIC FOUNTAIN LAYOUT
L306 SCALE: 3/8" = 1'-00"

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:

Issue for Pricing / Bidding:		
FINAL DRB SET - 29 OCT. 2019		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

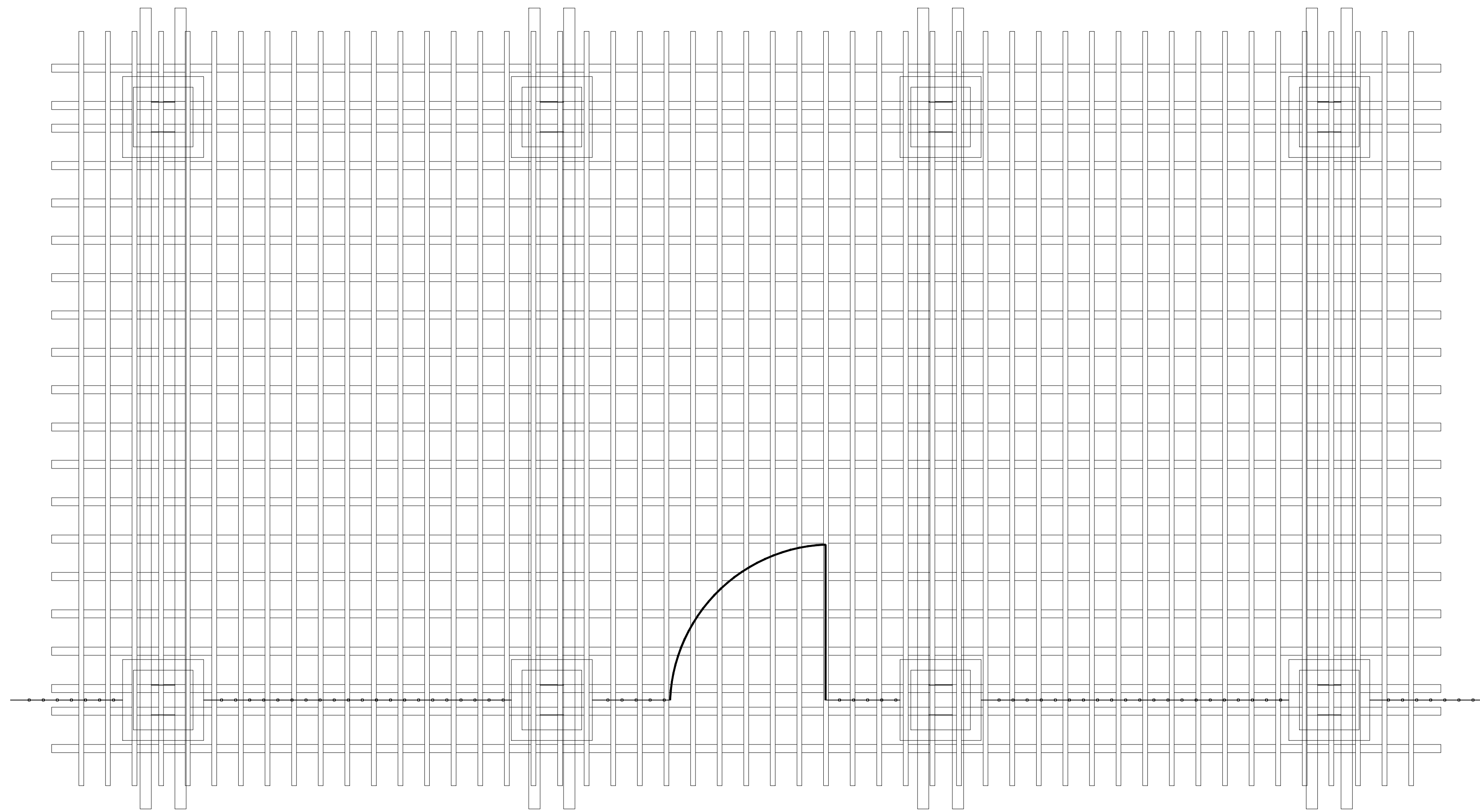
55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
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Wood+Partners Inc. WPI
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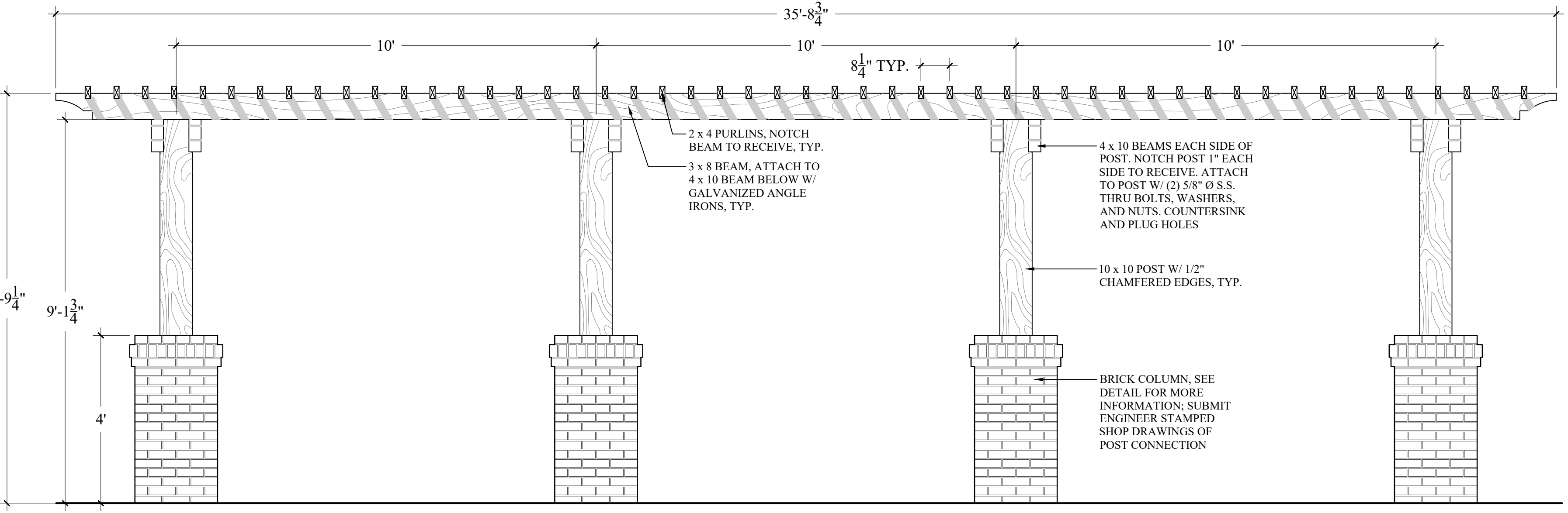
PO Box 23000 # Hilton Head Island, SC 29925
 843.881.8818 # Fax 843.881.7088 # www.woodpartners.com

SHEET CONTENTS:
 Site Details

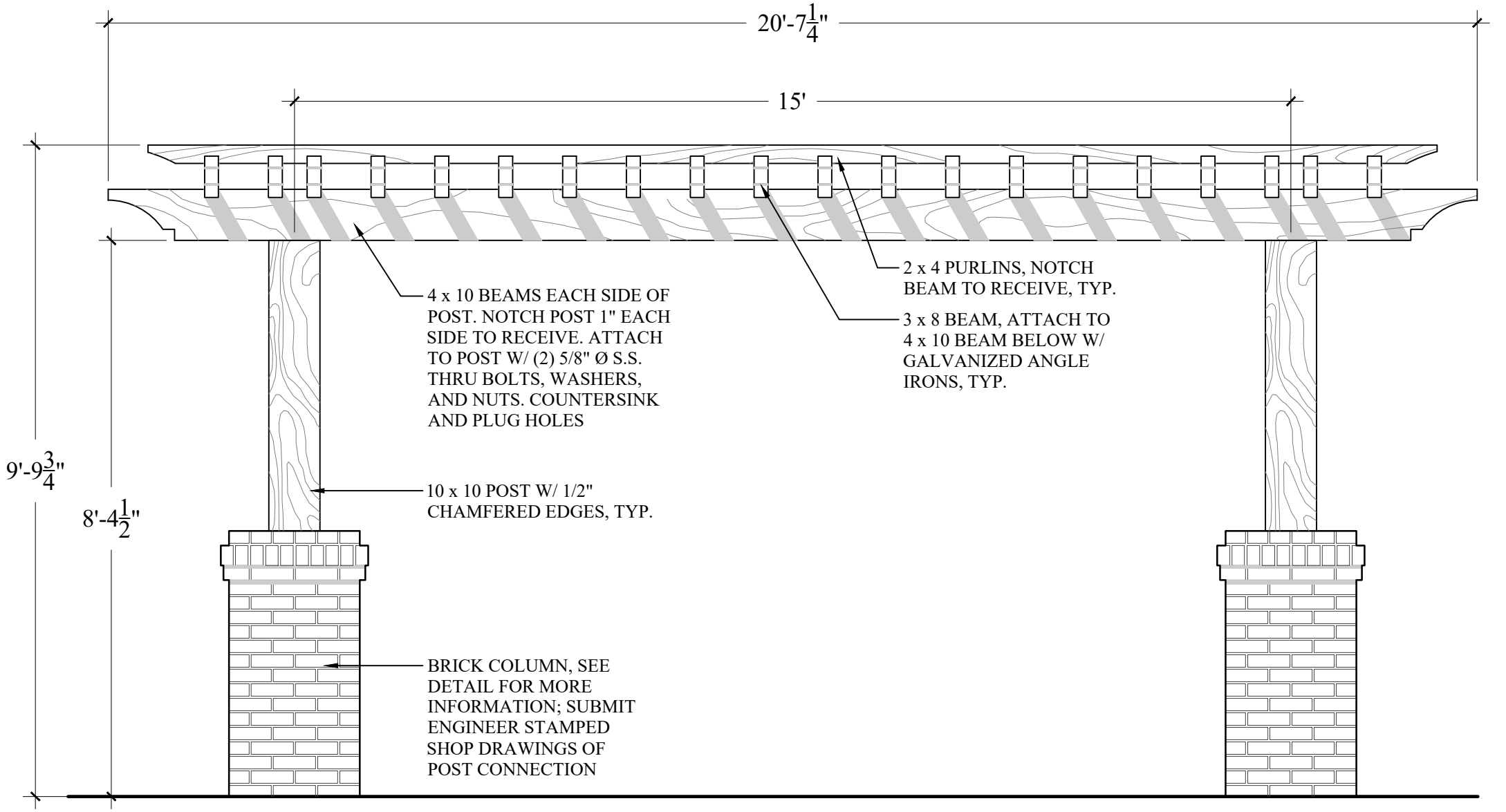
SHEET NO.
L-306



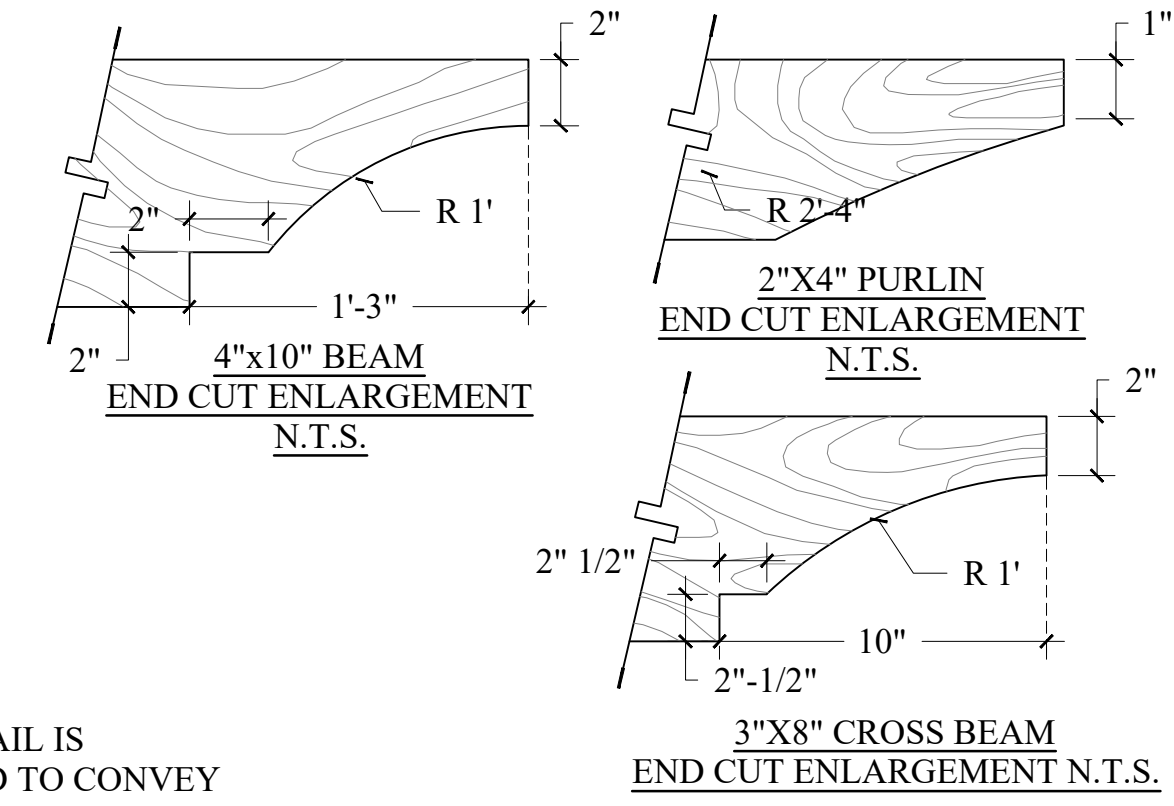
PLAN VIEW



FRONT ELEVATION



SIDE ELEVATION



NOTE:
THIS DETAIL IS
INTENDED TO CONVEY
DESIGN INTENT ONLY

I DINING TRELLIS @ POOL
L307 SCALE: 1/2" = 1'-00"

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:

Issue for Pricing / Bidding:
 FINAL DRB SET - 29 OCT. 2019
 Issue for Permit Application:
 Issue for Construction:

#	DATE	COMMENTS

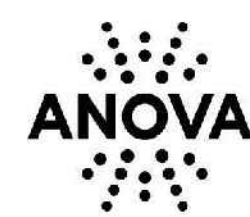
55 GARDNER DRIVE
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 BEAUFORT COUNTY, SOUTH CAROLINA
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SHEET CONTENTS:
 Site Details

SHEET NO.
L-307

2018565



211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 / tel | 314.794.0830 fax
spec@anovaurnishings.com
anovaurnishings.com

L1369—Streetside 6' Contour Bench

6' contour bench with steel slat seat, square tubular ends and portable/surface mount legs

Material
The 6' contour bench is composed of a 12 gauge steel slat seat with a .75" gap slotted pattern. The bench is 75.50" long and will support 200 lbs. per linear foot. The legs and ends are composed of 1.50" square steel tubing.

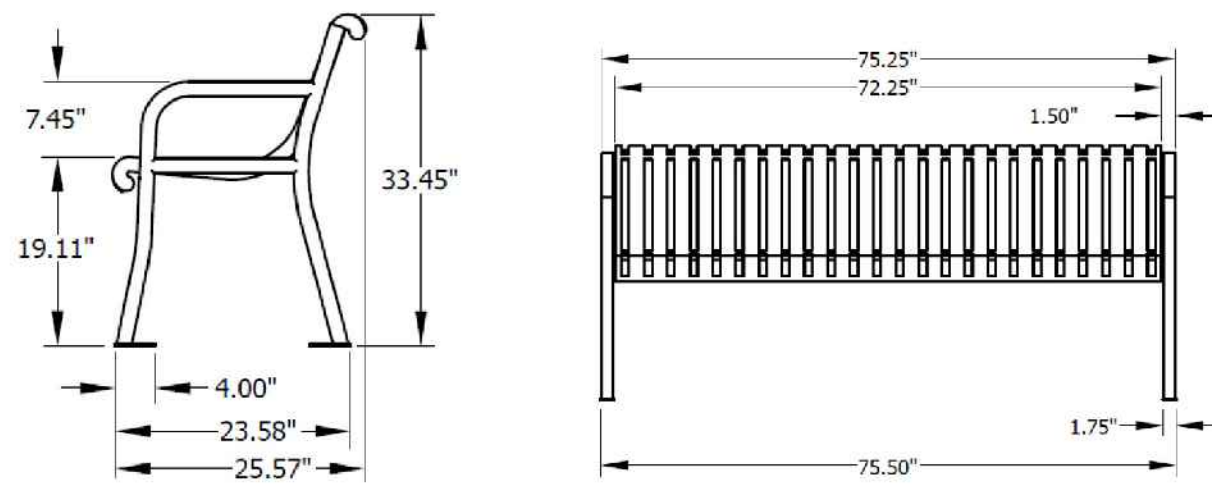
Finish
Steel seat is protected by the patented Fusion Advantage™ finish. The plastisol coating has an average thickness of .125" and is encapsulated with a richly tinted, high performance powder coating that won't rust, fade, peel, chip, crack, mold or mildew. The finish has been tested to the requirements of ASTM E1354 and determined to be in compliance with California Uniform Fire Code 103.2.1.4.2.

Color
See website or sales representative for color choices.

Assembly
Some assembly is required. Stainless steel assembly hardware is included.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty
20-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovaurnishings.com/warranty.aspx.

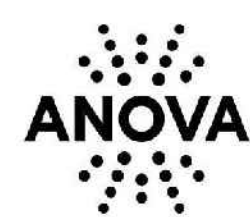


SHIPPING INFORMATION

Unit Weight	Unit Shipping Wt. LBS	Unit Shipping Wt. Truck (±4 Units)	Unit Ship Size w/ Pallet	Max Units Per Pallet	Pallet Size/Wt. (24" x 32")	Total No. Pkgs.	Shipping Class
139 lbs.	N/A	161 lbs./Unit	30 cu. ft.	3	100 lbs.	2	70

- HIGH-GLOSS BLACK POWDERCOAT
 - ANCHORED TO CONC. FOOTER
 - QTY: (4) - BENCH
- PROVIDE EQUIVALENT SWING BENCH - QTY (2)

1 (SF1 & SF2) BENCH & SWING
L308 NOT TO SCALE



211 North Lindbergh Blvd.
St. Louis, MO 63141
800.231.1327 / tel | 314.794.0830 fax
spec@anovaurnishings.com
anovaurnishings.com

QTY: 18 (FINAL LOCATIONS T.B.D.)

L1439—Latitude Receptacle with Contour Top
40-gallon steel slat receptacle with contour top, plastic liner and rubber feet

Material
The receptacle is 34.10" tall and is composed of 12-gauge slotted steel with a .75" gap vertical slotted pattern. The contour top is made of 16-gauge galvanized steel. The top features a 10.00" diameter center waste opening and includes a 1" security strap.

Finish
Steel slats are protected by the patented Fusion Advantage™ finish. The plastisol coating has an average thickness of .125" and is encapsulated with a richly tinted, high performance powder coating that won't rust, fade, peel, chip, crack, mold or mildew. The finish has been tested to the requirements of ASTM E1354 and determined to be in compliance with California Uniform Fire Code 103.2.1.4.2.

Color
See website or sales representative for color choices.

BLACK POWDERCOAT

Assembly
The receptacle ships fully assembled and ready for use. Using an optional corkscrew anchor may require some assembly.

Maintenance
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a mild detergent and water solution to remove surface dirt. Do not clean with solvent or petroleum base products.

Warranty
20-year limited structural warranty with 7-year finish warranty from the date of purchase. See full details on multi-year warranties for components at www.anovaurnishings.com/warranty.aspx.

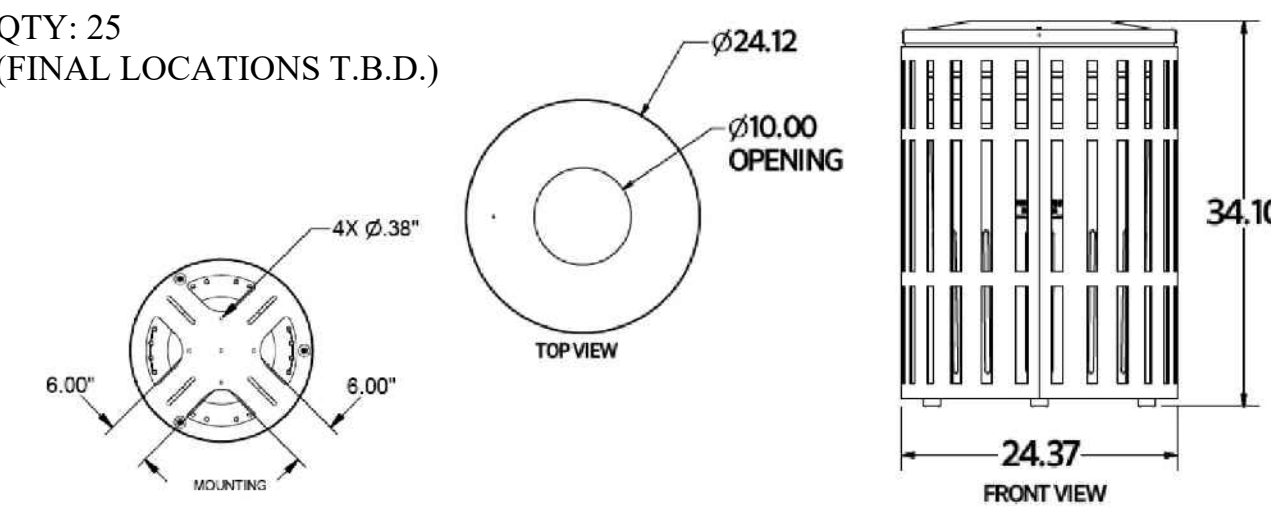
Replacement Parts

Black Plastic Liner R-00M012

Accessories

Corkscrew Anchor AI020

QTY: 25 (FINAL LOCATIONS T.B.D.)



SHIPPING INFORMATION

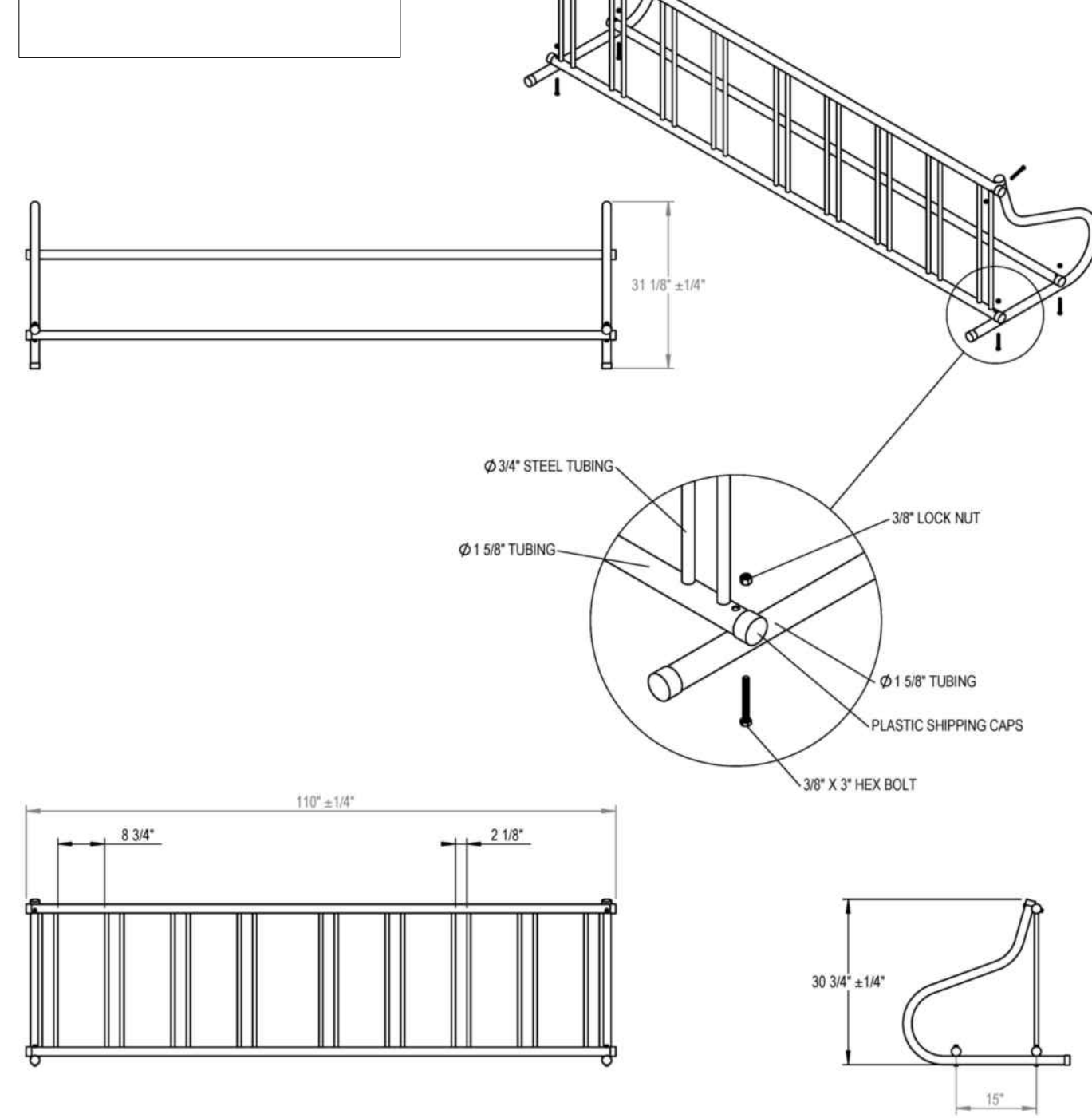
Unit Weight	Unit Shipping Wt. LBS	Unit Shipping Wt. Truck (±2 Units)	Unit Ship Size w/Pallet	Max Units Per Pallet	Pallet Size/Wt. (32" x 48")	Total No. Pkgs.	Shipping Class
105 lbs.	113 lbs./Unit	113 lbs./Unit	35 cu. ft.	4	50 lbs.	1	100

2 (SF 3) TRASH RECEPTACLE
L308 NOT TO SCALE



MADRAX DIVISION
GRABER MANUFACTURING, INC.
1060 LINEX DRIVE
WAUNAKEE, WI 53097
P(800) 448-7931, P(608) 848-1090, F(608) 848-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

BLACK POWDERCOAT

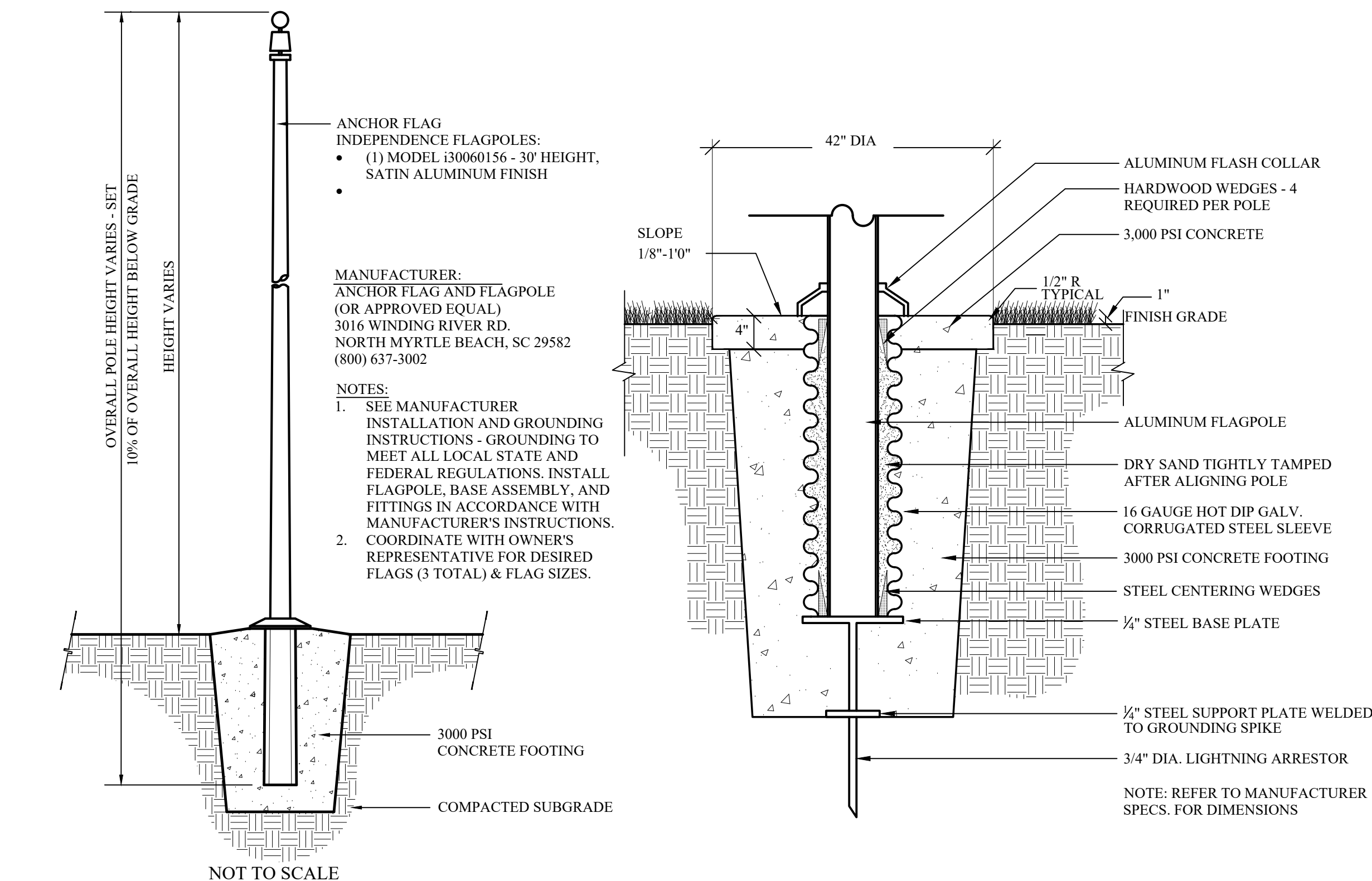


PRODUCT: GR116
DESCRIPTION: GRIDRAC BIKE RACK
9 BIKE (ONE SIDE), SURFACE MOUNT
DATE: 5-23-17
ENG: SMC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULT WITH US TO SELECT COLOR FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

3 (SF 9) BIKE RACK
L308 NOT TO SCALE



4 (SF 5) FLAGPOLE
L308 NOT TO SCALE

QTY: 5 (FINAL LOCATIONS T.B.D.)
800.364.7681



www.DOGIPOT.com

DOGIPOT® PET STATION (ITEM #1003-L)
SPECIFICATION, INSTALLATION AND OPERATION SHEET

(A) **DOGIPOT® PET SIGN (ITEM #1203 / 1204)**

- H: 18" x W: 11.5"
- 11 gauge reflective aluminum
- Weight: 1.35 lbs.
- Forest green on white

(B) **ALUMINUM DOGIPOT® JUNIOR BAG DISPENSER (ITEM #1002-2)**

- H: 12.5" x W: 9.4" x D: 3.75"
- 12 gauge powder coated forest green aluminum
- Weight: 7 lbs.
- 400 bag capacity
- Two diamond shaped bag dispenser slots
- Front locking access panel
- Clearly posted instructions

(C) **STEEL TRASH RECEPTACLE WITH LID (ITEM #1206-L)**

- H: 25" x 11.5" diameter
- 16 gauge powder coated forest green steel
- Weight: 14.5 lbs.
- 11 gallon capacity with interior trash liner bag retainer bands
- Attached stainless steel hinged lid
- One (1) box 50 count DOGIPOT® Smart Liner™ trash bags* (11 W x 24.5") included (6 bags)

(D) **TELESCOPIC GALVANIZED STEEL MOUNTING POST (ITEM #1301-P)**

- 2" x 2" x 8'
- 11 gauge galvanized steel
- Weight: 15 lbs.

TOTAL HEIGHT FROM ABOVE GROUND:
• 4' 6"

SPACE BETWEEN DISPENSER AND SIGN:
• 1.0"

SPACE BETWEEN RECEPTACLE AND DISPENSER:
• 12.5"

SPACE BETWEEN GROUND AND RECEPTACLE:
• 3.0"

HOLE:

- D: 18.0" x W: 8.0"
- Fill with 40 lbs. "ready to use" concrete

TOTAL SHIP WEIGHT: 45 LBS. (MOUNTING HARDWARE INCLUDED)

Drawn By: JS
Checked By: TT / EW
Date Plotted: 29 OCTOBER 2019
Issue Dates: _____
Issue for Pricing / Bidding: _____
Issue for Permit Application: _____
Issue for Construction: _____

Revisions:	#	DATE	COMMENTS
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△			
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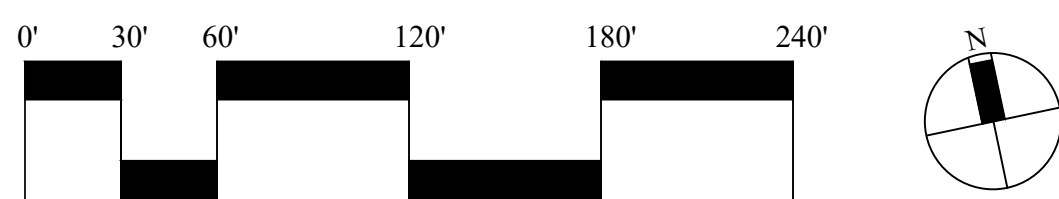
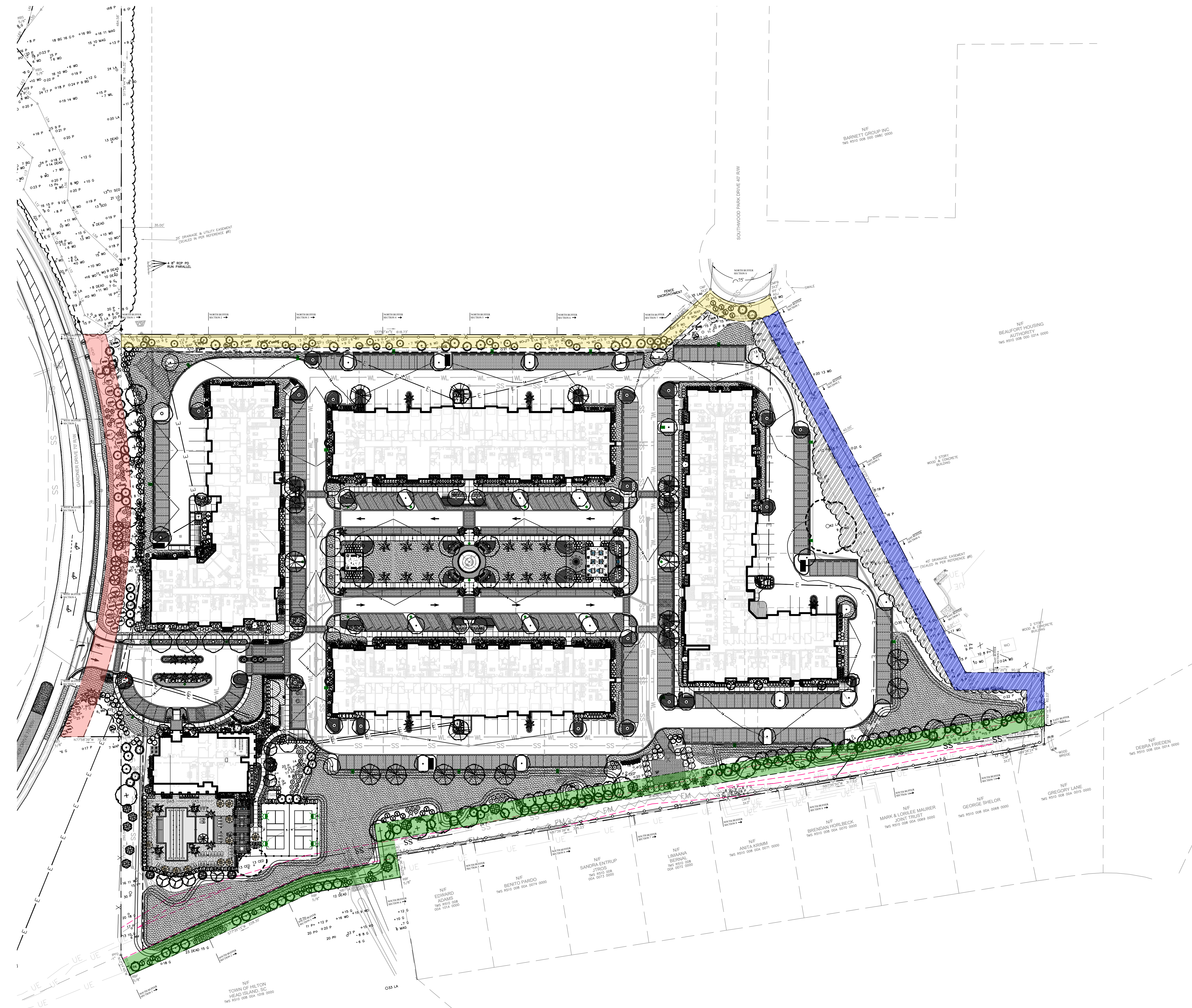
55 GARDNER DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
SPANREL DEVELOPMENT PARTNERS



SHEET CONTENTS:
Site Details

SHEET NO.

L-308



SCALE: 1" = 60'-0"

SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

PLAN IS SUBJECT TO CHANGE.

BUFFER SUMMARY									
WESTERN BUFFER - GARDNER DRIVE (±430 L.F., 25' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	B - OPT.1	3	9 Existing	6	6	10	10 (7 Existing)		
SECTION 2 (100')	B - OPT.1	3	8 Existing	6	6	10	14 (3 Existing)		
SECTION 3 (100')	B - OPT.1	3	3 (1 Existing)	6	7 (1 Existing)	10	22		
SECTION 4 (60')	B - OPT.1	2	4 Existing	4	4	6	9 Existing		
SECTION 5 (70')	B - OPT.1	2	6 Existing	4	4	7	7 Existing		
NORTHERN BUFFER + SOUTHWOOD PARK DR. (±771 L.F., 15' - 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	C - OPT.2	4	7 Existing	6	6	3' FENCE	6' FENCE		
SECTION 2 (100')	C - OPT.2	4	5 Existing	6	6	3' FENCE	6' FENCE		
SECTION 3 (100')	C - OPT.2	4	10 Existing	6	6	3' FENCE	6' FENCE		
SECTION 4 (100')	C - OPT.2	4	5 Existing	6	6	3' FENCE	6' FENCE		
SECTION 5 (100')	C - OPT.2	4	8 Existing	6	6	3' FENCE	6' FENCE		
SECTION 6 (100')	C - OPT.2	4	6 Existing	6	6	3' FENCE	6' FENCE		
SECTION 7 (96')	C - OPT.2	4	8 Existing	6	6	3' FENCE	6' FENCE		
SECTION 8 (75')	A - OPT.1	2	2 Existing	2	2	6	6		
EASTERN BUFFER (±620 L.F., 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	A - OPT.1	2	7 Existing	3	**	8	**		
SECTION 2 (100')	A - OPT.1	2	14 Existing	3	**	8	**		
SECTION 3 (100')	A - OPT.1	2	8 Existing	3	**	8	**		
SECTION 4 (100')	A - OPT.1	2	11 Existing	3	**	8	**		
SECTION 5 (100')	A - OPT.1	2	8 Existing	3	**	8	**		
SECTION 6 (120')	A - OPT.1	2	5 (4 Existing)	4	**	10	**		
SOUTHERN BUFFER (±1,091 L.F., 10' - 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	A - OPT.1	2	4 Existing	4	4	10	10		
SECTION 2 (100')	A - OPT.1	2	2 Existing	4	4	10	10		
SECTION 3 (112')	A - OPT.1	2	3 Existing	4	4	11	11		
SECTION 4 (100')	D - OPT.2	6	9 (4 Existing)	8	8	6' FENCE	6' FENCE		
SECTION 5 (100')	D - OPT.2	6	10 (5 Existing)	8	8	6' FENCE	6' FENCE		
SECTION 6 (100')	D - OPT.2	6	10 (4 Existing)	8	9	6' FENCE	6' FENCE		
SECTION 7 (100')	D - OPT.2	6	8 (7 Existing)	8	8	6' FENCE	6' FENCE		
SECTION 8 (100')	D - OPT.2	6	8 (4 Existing)	8	8	6' FENCE	6' FENCE		
SECTION 9 (100')	D - OPT.2	6	6	8	8	6' FENCE	6' FENCE		
SECTION 10 (100')	D - OPT.2	6	10 (5 Existing)	8	8	6' FENCE	6' FENCE		
SECTION 11 (79')	D - OPT.2	5	13 (12 Existing)	6	6	6' FENCE	6' FENCE		

BUFFER NOTES:
 * Section 4 of Eastern Buffer Excludes unplantable drive aisle in Buffer Calculations
 ** Seeking to Maintain Sections 1-6 of Eastern Buffer Undisturbed as Dense Native Woodlands. Additional native evergreen plant material may be added to enhance buffer if certain sections no longer meet the intent of a Type A Buffer.
 *** Counting Proposed Red Cedars, Pine Trees, Palm Trees, Hollies, and SweetBays as Understory Trees.

TREE REPLACEMENT SUMMARY (TOTAL)
 TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

CATEGORY	INCHES REMOVED	#REPLACEMENT TREES REQUIRED	#REPLACEMENT TREES PROVIDED
I	716"	(72) 2" cal.	[179] (22) 2" cal. A. Holly (5) 2" cal. Magnolia (60) 2" cal. Live Oak (38) 4" cal. Live Oak* (16) 3" cal. Cypress
72 REQ - 179 = 107 CAT 1 TREE SURPLUS SURPLUS TO BE APPLIED TO CAT 2			
II	1495"	(150) 2" cal.	[43] (19) 2" cal. Maple (19) 2" cal. S. Bay Mag (5) 2" cal. W. Oak
150 REQ - 43 - 107(CAT 1) = 0 CAT 2 MITIGATION MET			
III	1384"	(138) 1" cal.	[209] (2) 1" cal. Redbuds (51) 2" cal. Red cedar** (93) Palm Trees (12) Loblolly Pines
138 REQ - 209 = (71) CAT 3 SURPLUS TO BE APPLIED TO CAT 4			
IV	44"	(4) 1" cal.	---
4 REQ - 71 (CAT 3) = (67) CAT 4 SURPLUS ALL MITIGATION HAS BEEN MET ON SITE.			

* 4" CAL. TREES EXCEED THE 2" CAL. MINIMUM REPLACEMENT REQUIREMENT BY DOUBLE. THEREFORE, ONE 4" CAL. TREE IS EQUIVALENT TO TWO MITIGATION TREES.
 ** 2" CAL. TREES EXCEED THE 1" CAL. MINIMUM REPLACEMENT REQUIREMENT BY DOUBLE. THEREFORE, ONE 2" CAL. TREE IS EQUIVALENT TO TWO MITIGATION TREES.

SEE LANDSCAPE PLAN AND SCHEDULE FOR TREE LOCATIONS & REQUIREMENTS.

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:
 Issue for Pricing / Bidding:
 FINAL DRB SET - 29 OCT. 2019
 Issue for Permit Application:
 Issue for Construction:

Revisions:

#	DATE	COMMENTS

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55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANDEL DEVELOPMENT PARTNERS

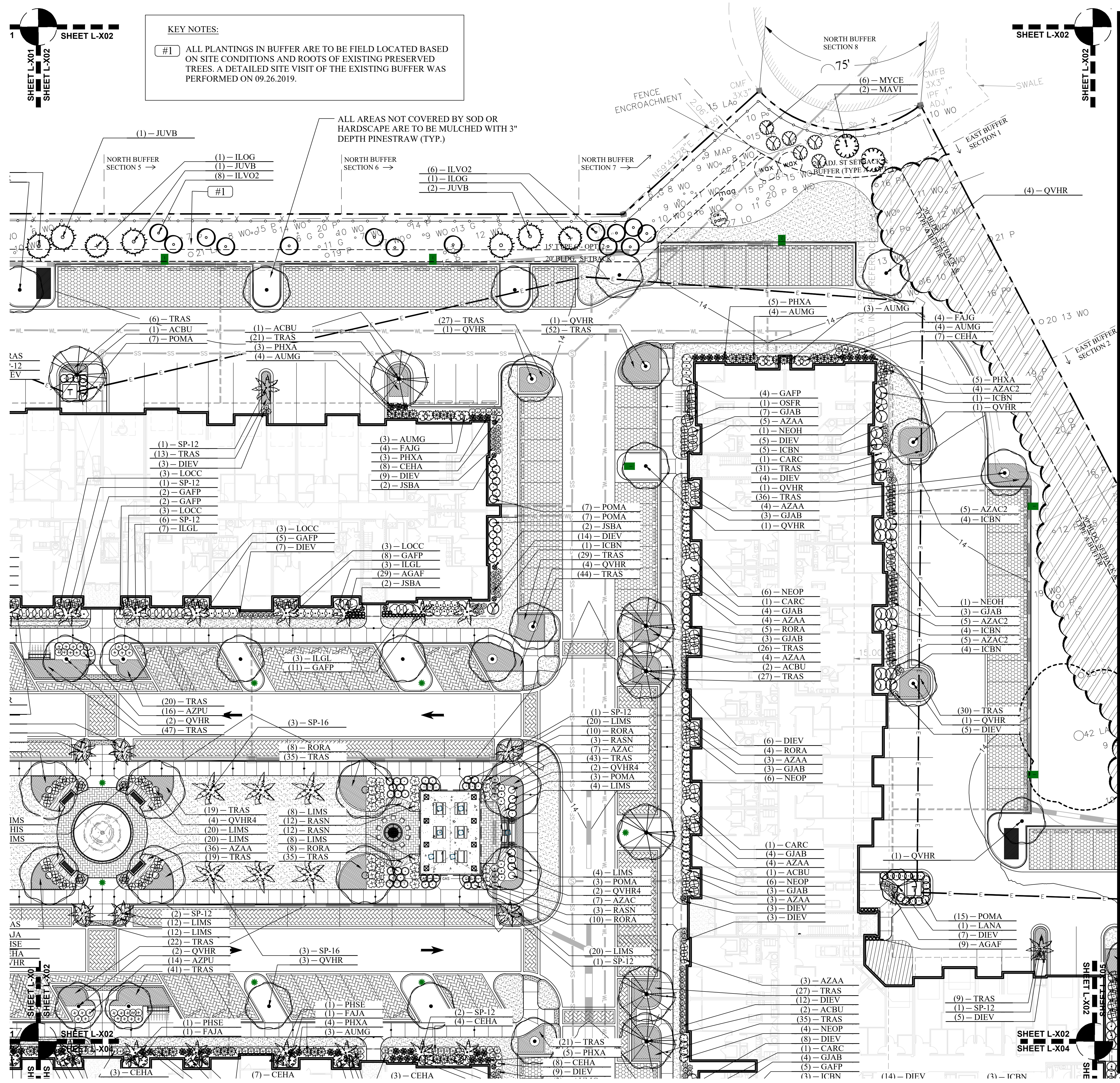
Wood+Partners Inc. WPI
 Landscape Architects
 Land Partners
 PO Box 2309 • Hilton Head Island, SC 29925
 843.811.8118 • Fax 843.811.7088 • www.woodpartners.com

SHEET CONTENTS:
 Overall Planting Plan
 SHEET NO.

L-400

BUFFER SUMMARY									
WESTERN BUFFER - GARDNER DRIVE (+430 L.F., 25' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	B-OPT.1	3	9 Existing	6	6	10	10 (7 Existing)		
SECTION 2 (100')	B-OPT.1	3	8 Existing	6	6	10	14 (3 Existing)		
SECTION 3 (100')	B-OPT.1	3	3 (1 Existing)	6	7 (1 Existing)	10	22		
SECTION 4 (60')	B-OPT.1	2	4 Existing	4	4	6	9 Existing		
SECTION 5 (70')	B-OPT.1	2	6 Existing	4	4	7	7 Existing		
NORTHERN BUFFER + SOUTHWOOD PARK DR. (+771 L.F., 15' - 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	C-OPT.2	4	7 Existing	6	6	3 FENCE	6 FENCE		
SECTION 2 (100')	C-OPT.2	4	5 Existing	6	6	3 FENCE	6 FENCE		
SECTION 3 (100')	C-OPT.2	4	10 Existing	6	6	3 FENCE	6 FENCE		
SECTION 4 (100')	C-OPT.2	4	5 Existing	6	6	3 FENCE	6 FENCE		
SECTION 5 (100')	C-OPT.2	4	8 Existing	6	6	3 FENCE	6 FENCE		
SECTION 6 (100')	C-OPT.2	4	6 Existing	6	6	3 FENCE	6 FENCE		
SECTION 7 (96')	C-OPT.2	4	8 Existing	6	6	3 FENCE	6 FENCE		
SECTION 8 (75')	A-OPT.1	2	2 Existing	2	2	6	6		
EASTERN BUFFER (+620 L.F., 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	A-OPT.1	2	7 Existing	3	**	8	**		
SECTION 2 (100')	A-OPT.1	2	14 Existing	3	**	8	**		
SECTION 3 (100')	A-OPT.1	2	8 Existing	3	**	8	**		
SECTION 4 (100')	A-OPT.1	2	11 Existing	3	**	8	**		
SECTION 5 (100')	A-OPT.1	2	8 Existing	3	**	8	**		
SECTION 6 (120')	A-OPT.1	2	5 (4 Existing)	4	**	10	**		
SOUTHERN BUFFER (+1,091 L.F., 10' - 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
SECTION 1 (100')	A-OPT.1	2	4 Existing	4	4	10	10		
SECTION 2 (100')	A-OPT.1	2	2 Existing	4	4	10	10		
SECTION 3 (112')	A-OPT.1	2	3 Existing	4	4	11	11		
SECTION 4 (100')	D-OPT.2	6	9 (4 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 5 (100')	D-OPT.2	6	10 (5 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 6 (100')	D-OPT.2	6	10 (4 Existing)	8	9	6 FENCE	6 FENCE		
SECTION 7 (100')	D-OPT.2	6	8 (7 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 8 (100')	D-OPT.2	6	8 (4 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 9 (100')	D-OPT.2	6	6	8	8	6 FENCE	6 FENCE		
SECTION 10 (100')	D-OPT.2	6	10 (5 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 11 (79')	D-OPT.2	5	33 (12 Existing)	6	6	6 FENCE	6 FENCE		

BUFFER NOTES:
 * Section 4 of Eastern Buffer Excludes unplannable drive aisle in Buffer Calculations
 ** Seeking to Maintain Sections 1-6 of Eastern Buffer Undisturbed as Dense Native Woodlands. Additional native evergreen plant material may be added to enhance buffer if certain sections no longer meet the intent of a Type A Buffer.
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Revisions:	#	DATE	COMMENTS
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△			
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55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
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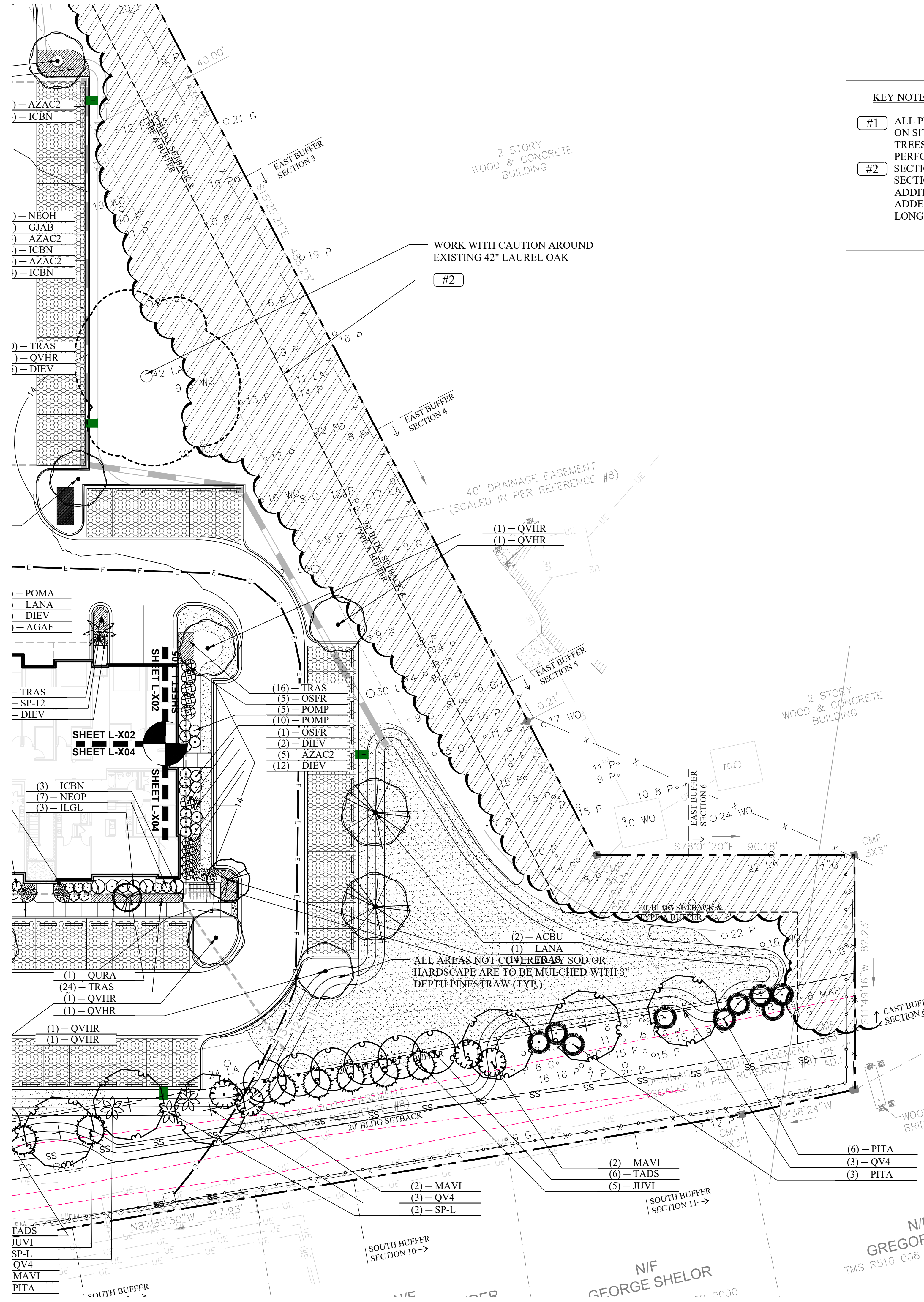
SHEET CONTENTS:
 Planting Plan

SHEET NO.
L-402

2018565

BUFFER SUMMARY									
WESTERN BUFFER - GARDNER DRIVE (+430 L.F., 25' WIDE)									
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NORTHERN BUFFER + SOUTHWOOD PARK DR. (+771 L.F., 15' - 20' WIDE)									
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SECTION 4 (100')	C-OPT.2	4	5 Existing	6	6	3 FENCE	6 FENCE		
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SOUTHERN BUFFER (+1,091 L.F., 10' - 20' WIDE)									
BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED		
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SECTION 4 (100')	D-OPT.2	6	9 (4 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 5 (100')	D-OPT.2	6	10 (5 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 6 (100')	D-OPT.2	6	10 (4 Existing)	8	9	6 FENCE	6 FENCE		
SECTION 7 (100')	D-OPT.2	6	8 (7 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 8 (100')	D-OPT.2	6	8 (4 Existing)	8	8	6 FENCE	6 FENCE		
SECTION 9 (100')	D-OPT.2	6	6	8	8	6 FENCE	6 FENCE		
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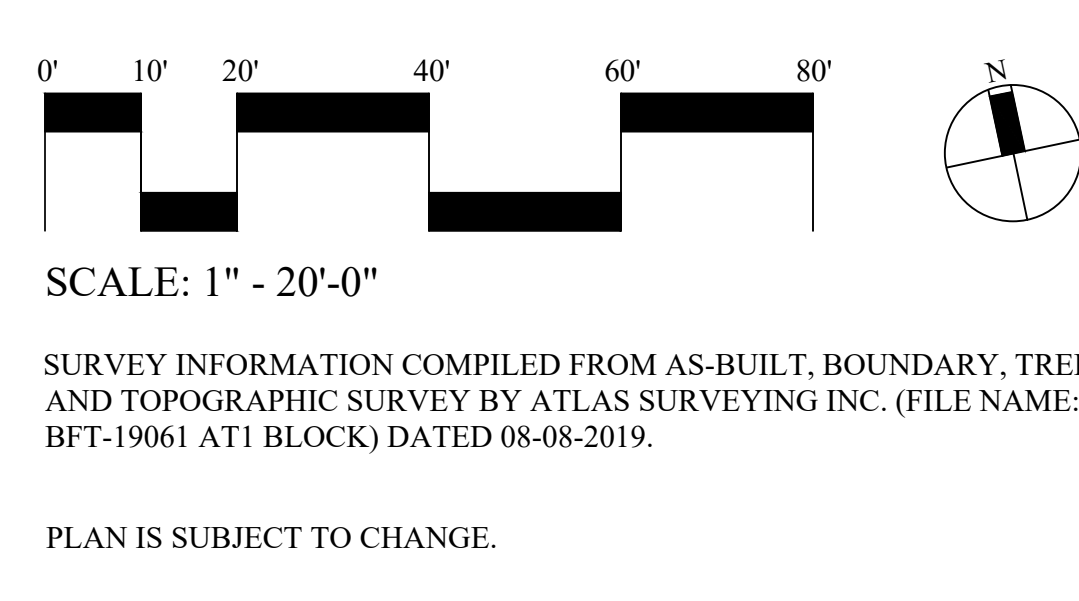
BUFFER NOTES:
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 ** Seeking to Maintain Sections 1-6 of Eastern Buffer Undisturbed as Dense Native Woodlands. Additional native evergreen plant material may be added to enhance buffer if certain sections no longer meet the intent of a Type A Buffer.
 *** Counting Red Cedars, Pine Trees, Palm Trees, Hollies, and SweetBays as Understory Trees.



KEY NOTES:

#1 ALL PLANTINGS IN BUFFER ARE TO BE FIELD LOCATED BASED ON SITE CONDITIONS AND ROOTS OF EXISTING PRESERVED TREES. A DETAILED SITE VISIT OF THE EXISTING BUFFER WAS PERFORMED ON 09.26.2019.

#2 SECTIONS OF EASTERN BUFFER ARE TO BE LEFT NATURAL. SECTIONS WERE OBSERVED ON 09.26.2019 TO BE DENSE. ADDITIONAL NATIVE EVERGREEN PLANT MATERIAL MAY BE ADDED TO ENHANCE BUFFER IF CERTAIN SECTIONS NO LONGER MEET THE INTENT OF A TYPE 'A' BUFFER.



SHEET L-X05

SHEET L-X05

SHEET L-X05

SHEET L-X05

Drawn By: JS
 Checked By: TT / EW
 Date Plotted: 29 OCTOBER 2019
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55 GARDNER DRIVE
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 BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

Wood+Partners Inc. WPI
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 P.O. Box 2300 • Hilton Head Island, SC 29925
 843.818.8188 • Fax 843.818.7088 • www.woodpartners.com

SHEET CONTENTS:
 Planting Plan

SHEET NO.
L-405

2018565

N/F DEBRA FRIEDEN
 TMS R510 008 00A 0014 0000

N/F GREGORY LANE
 TMS R510 008 00A 0015 0000

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
ACBU	19	Acer buergerianum	Trident Maple	Cont. or FG	2"Cal		10'-12"	5'-6"	
CECR	2	Cercis canadensis 'Rising Sun'	Rising Sun Redbud	Cont. or FG	1"Cal		8'		
ERIA	6	Eriobotrya japonica	Loquat	Cont. or FG					
ILOG	22	Ilex opaca 'Greenleaf'	Greenleaf Holly	B & B or Cont.	2"Cal		10'-12"	5'-6"	Full to base, 10' Min.
ILVP	3	Ilex vomitoria 'Pendula'	Weeping Yaupon Holly	Cont. or FG			8'		
ILVO2	31	Ilex vomitoria 'Pride of Houston'	Pride of Houston Yaupon	Cont.			6' MIN.	3'-4'	Full to the Ground, Multi-Stem, 6' Min
JUVI	36	Juniperus virginiana	Eastern Red Cedar	Cont. or FG	2"Cal		10' Min.	5'-6"	
JUVB	15	Juniperus virginiana 'Brodie'	Eastern Red Cedar	Cont. or FG	2"Cal		10' Min.	3'-4'	
LANA	12	Lagerstroemia x 'Natchez' STD	Crape Myrtle Standard	Cont. or FG			8'		
LATU	6	Lagerstroemia x 'Tuscarora'	Crape Myrtle Coral Pink	Cont. or FG			8'		
MAGD	4	Magnolia grandiflora 'DD Blanchard'	Southern Magnolia	Cont. or FG	2"Cal		10'-12"	6'-8"	
MAGR	1	Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	Cont. or FG	2"Cal		10'-12"	4'-6"	
MAVI	19	Magnolia virginiana	Sweet Bay	Cont. or FG	2"Cal		10' Min.		Multi-Stem, FTG
PITA	12	Pinus taeda	Loblolly Pine	Cont.	2"Cal		8'-10'	3'-4'	Full to the Ground
QURA	5	Quercus robur x alba 'JFS-KW2QX' TM	Skinny Genes Oak	Cont. or FG	2"Cal		10' Min.		
QV4	20	Quercus virginiana	Southern Live Oak	Cont. or FG	4"Cal		14'-16'	6'-8"	
QVHR	60	Quercus virginiana 'High Rise'	High Rise Live Oak	Cont. or FG	2"Cal		10'-12"		
QVHR4	18	Quercus virginiana 'High Rise'	High Rise Live Oak	Cont. or FG	4"Cal		16'-18'	6'-8"	
TADS	16	Taxodium distichum 'Shawnee Brave' TM	Bald Cypress	B & B or Cont.	3"Cal		12'-14'	8'-10'	Thick & Full
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
SP-L	15	Sabal palmetto	Cabbage Palmetto	B & B or Cont.			8'-12'	4'-6"	
SP-12	52	Sabal palmetto	Cabbage Palmetto	B & B			12'		
SP-16	16	Sabal palmetto	Cabbage Palmetto	B & B			16'		
SP-18	10	Sabal palmetto	Cabbage Palmetto	B & B			18'-20'		10' CT, Matching Hts., Hurricane-Cut
TRFO	4	Trachycarpus fortunei	Windmill Palm	B & B					
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
AGAF	102	Agapanthus africanus 'Blue'	Blue Lily of the Nile	1 gal	10"-12"	8"-10"			
AUMG	70	Aucuba japonica 'Mr. Goldstrike'	Mr. Goldstrike Aucuba	3 gal	16"-18"	12"-18"			
AZAC	27	Azalea Encore	Autumn Chiffon Encore Azalea	3 gal	18"-20"	18"-20"			
AZPU	30	Azalea Encore - Purple	Purple Encore Azalea	3 gal	18"-20"	18"-20"			
AZAA	66	Azalea Encore 'Autumn Angel' TM	Autumn Angel Azalea	3 gal	18"-20"	18"-20"			
AZAC2	67	Azalea Encore 'Autumn Carnation' TM	Autumn Carnation Encore Azalea	3 gal	18"-20"	18"-20"			
AZEA	37	Azalea Encore 'Autumn Twist' TM	Autumn Twist Azalea	3 gal	18"-20"	18"-20"			
AZFO	57	Azalea indica 'Formosa'	Formosa Azalea	7 gal	24"-36"	18"-24"			
AZFO2	2	Azalea indica 'Formosa' Standard	Standard Formosa Azalea	Cont. or FG	5'		Standard; 3 foot clear trunk		
AZIM	43	Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Azalea	7 gal	36" Min.	30"-36"			
BUMW	29	Buxus microphylla koreana 'Wintergreen'	Korean Boxwood	3 gal	10"-12"	10"-12"			
CARC	31	Callistemon x 'Red Cluster'	Red Cluster Bottlebrush	7 gal	24"-36"	24"-36"			
CANL	4	Camellia sasanqua 'Northern Lights'	Northern Lights Camellia	7 gal	24"-30"	24"-30"			
CEHA	96	Cephalotaxus harringtonia prostrata	Prostrate Plum Yew	3 gal	18"-24"	18"-24"			
DIEV	298	Dietes vegeta	African Iris	3 gal	16"-18"	12"			
FAUG	54	Farfugium japonicum 'Giganteum'	Giant Leopard Plant	3 gal	12"-18"	12"-18"			
FAJA	12	Fatsia japonica	Japanese Fatsia	7 gal	24"-30"	24"-30"			
GJAB	39	Gardenia jasminoides 'August Beauty'	Gardenia	3 gal	12"-18"	12"-18"			
GAFP	94	Gardenia jasminoides 'Frostproof'	Frostproof Gardenia	3 gal	14"-18"	14"-18"			
GAJR	6	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	3 gal	18"-24"	18"-20"			
ICBN	110	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	7 gal	24"-30"	24"-30"			
ICHE	13	Ilex crenata 'Heleni'	Helen Japanese Holly	3 gal	18"-20"	18"-20"			
ILCS	7	Ilex crenata 'Steeds'	Steeds Japanese Holly	7 gal	18"-20"	18"-20"			
ILGL	47	Ilex glabra	Inkberry Holly	3 gal	18"-24"	18"-24"			
ILSD	18	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal	12"-18"	18"-24"			
JSBA	19	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	7 gal	3'-4'	18"-24"			
LACH	5	Lantana x 'Chapel Hill Yellow'	Chapel Hill Yellow Lantana	1 gal	24"	24"			
LISB	126	Liriope muscari 'Super Blue'	Lily Turf	1 gal	8"-10"	8"-10"			
LOCC	46	Loropetalum chinense 'Crimson Fire'	Crimson Fire Loropetalum	3 gal	24"-30"	24"-30"			
LOCP	33	Loropetalum chinense 'Purple Diamond'	Loropetalum	3 gal	24"-30"	24"-30"			
MYCE	68	Myrica cerifera	Wax Myrtle	7 gal	30"-36"	20"-24"	Full pot		
NEOH	3	Nerium oleander 'Hardy Red'	Hardy Red Oleander	7 gal	24"-36"	24"-36"			
NEOP	56	Nerium oleander 'Petite Pink'	Petite Pink Oleander	3 gal	18"-24"	18"-24"			
OSFR	19	Osmanthus fragrans	Sweet Olive	7 gal	24"-36"	24"-30"			
PHSE	12	Philodendron selloum	Split Leaf Philodendron	3 gal	12"-18"	12"-18"			
PHXA	115	Philodendron x 'Xanadu'	Xanadu Philodendron	3 gal	18"-24"	18"-24"			
POMA	114	Podocarpus macrophyllus maki	Shrubby Yew	7 gal	3'-4'	24"-36"			
POMP	35	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	3 gal	18"-20"	20"-24"			
RHIS	4	Raphiolepis indica STD	Standard Indian Hawthorn	Cont. or FG	5'		Standard; 3 foot clear trunk		
RASN	77	Raphiolepis umbellata 'Snow White'	Yedda Hawthorn	3 gal	16"-18"	18"-20"			
ROCD	37	Rosa x 'Coral Drift'	Coral Drift Rose	3 gal	12"-18"	12"-18"			
RODS	2	Rosa x 'Double Knockout' STD	Double Knockout Red Patio Rose	Cont. or FG	5'		Standard; 3 foot clear trunk		
RORA	79	Rosa x 'Radtkopink'	Pink Double Knock Out Rose	3 gal	18"-24"	18"-24"			
ROWD	28	Rosa x 'White Drift'	White Drift Rose	3 gal	10"-12"	12"-18"			
SERC	79	Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 gal	36" Min.	24"-36"			
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
MUCA	72	Muhlenbergia capillaris	Pink Muhly	3 gal	24"-30"	18"-24"			
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
ANPE	130	Annuals & Perennials	Annuals & Perennials	1 gal			18" o.c.		
DITV	185	Dianella tasmanica 'Variegata'	Variegated Flax Lily	1 gal			24" o.c.		
LIMS	551	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal			24" o.c.		
TRAS	1,627	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal			24" o.c.		
TRJC	87	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	1 gal			36" o.c.		
TUVI	50	Tulbaghia violacea	Society Garlic	1 gal			36" o.c.		
SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
STSP	=71,750 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Grass	sod					
MULCH	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING	REMARKS	
PINE STRAW MULCH	T.B.D.	--	--	--	--	--	--	--	

TREE REPLACEMENT SUMMARY (TOTAL)

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY

CATEGORY	INCHES REMOVED	#REPLACEMENT TREES REQUIRED	#REPLACEMENT TREES PROVIDED
I	716"	(72) 2" cal.	[179]
72 REQ - 179 = 107 CAT 1 TREE SURPLUS SURPLUS TO BE APPLIED TO CAT 2			
II	1495"	(150) 2" cal.	[43]
150 REQ - 43 - 107(CAT 1) = 0 CAT 2 MITIGATION MET			
III	1384"	(138) 1" cal.	[209]
138 REQ - 209 = (71) CAT 3 SURPLUS TO BE APPLIED TO CAT 4			
IV	44"	(4) 1" cal.	---
4 REQ - 71 (CAT 3) = (67) CAT 4 SURPLUS ALL MITIGATION HAS BEEN MET ON SITE.			

* 4" CAL. TREES EXCEED THE 2" CAL. MINIMUM REPLACEMENT REQUIREMENT BY DOUBLE. THEREFORE, ONE 4" CAL. TREE IS EQUIVALENT TO TWO MITIGATION TREES.
** 2" CAL. TREES EXCEED THE 1" CAL. MINIMUM REPLACEMENT REQUIREMENT BY DOUBLE. THEREFORE, ONE 2" CAL. TREE IS EQUIVALENT TO TWO MITIGATION TREES.

SEE LANDSCAPE PLAN AND SCHEDULE FOR TREE LOCATIONS & REQUIREMENTS.

Total Cat 1 Removed	Total Cat 2 Removed	Total Cat 3 Removed	Total Cat 4 Removed
716 inches	1495 inches	1384 inches	44 inches

# of Trees Required	# of Trees Required	# of Trees Required	# of Trees Required
72 Trees	150 Trees	138 Trees	4 Trees

Cat 1	In (")	Cat 2	In (")	Cat 3	In (")	Cat 4	In (")
Cypress	10	Bay	9	Palm	20	Crape M.	9/8/8/7/6/6
Cypress	9	Bay	17	Palm	12		
Cypress	11	Black Gum	23	Palm	20		
Cypress	11	Black Gum	20	Palm	30		
Cypress	9	Black Gum	12	Palm	10		
Cypress	10	Cherry	9	Palm	9		
Cypress	11	Gum	7	Palm	12		
Cypress	8	Gum	10	Palm	19		
Cypress	12	Gum	6	Palm	11		
Cypress	9	Gum	9	Palm	11		
Cypress	13	Gum	9	Palm	10		
Laurel Oak	8	Gum	14	Palm	13		
Laurel Oak	8	Gum	10	Pine	22		
Laurel Oak	8	Gum	12	Pine	23		
Laurel Oak	7	Gum	6	Pine	19		
Laurel Oak	7	Gum	8	Pine	17		
Laurel Oak	7	Gum	11	Pine	15		
Laurel Oak	6	Gum	6	Pine	19		
Laurel Oak	6	Gum	6	Pine	13		
Laurel Oak	28	Gum	11	Pine	19		
Laurel Oak	9	Gum	18	Pine	16		
Laurel Oak	11	Gum	18	Pine	15		
Laurel Oak	15	Gum	17	Pine	14		
Laurel Oak	10	Gum	10	Pine	15		
Laurel Oak	24	Gum	14	Pine	16		
Laurel Oak	11	Gum	10	Pine	20		
Laurel Oak	10	Gum	7	Pine	18		
Laurel Oak	6	Gum	7	Pine	22		
Laurel Oak	10	Gum	11	Pine	20		
Laurel Oak	13	Gum	9	Pine	19		
Laurel Oak	9	Gum	6	Pine	14		
Laurel Oak	12	Gum	9	Pine	20		
Laurel Oak	13	Gum	11	Pine	15		
Laurel Oak	12	Gum	18	Pine	20		
Laurel Oak	19	Gum	10	Pine	16		
Laurel Oak	15	Gum	7	Pine	16		
Laurel Oak	17	Gum	6	Pine	15		
Laurel Oak	14	Gum	9	Pine	17		
Laurel Oak	15	Gum	12	Pine	17		
Laurel Oak	19	Gum	22	Pine	14		
Laurel Oak	31	Gum	14	Pine	16		
Laurel Oak	19	Gum	13	Pine	16		
Laurel Oak	15	Gum	6	Pine	18		
Laurel Oak	22	Gum	15	Pine	15		
Laurel Oak	13	Gum	10	Pine	20		
Laurel Oak	21	Gum	9	Pine	17		
Laurel Oak	14	Gum	9	Pine	14		
Live Oak	8	Gum	8	Pine	20		
Live Oak	11	Gum	8	Pine	20		
Magnolia	16	Gum	15	Pine	16		
Magnolia	12	Gum	10	Pine	28		
Magnolia	14	Gum	18	Pine	25		
Magnolia	13	Gum	11	Pine	16		
Magnolia	18	Gum	9	Pine	20		
Magnolia	17	Gum	6	Pine	20		
Magnolia	10	Gum	8	Pine	11		
		Gum					

LANDSCAPE NOTES:

- The landscape architect shall approve all plant substitutions prior to purchase or installation.
- The plant schedule included in this drawing was prepared for estimating purposes & for the contractors convenience only, and its accuracy is not guaranteed. The contractor shall perform his or her own quantity take-offs using the drawings to determine the quantities to his or her satisfaction. The contractor shall report any discrepancies to the landscape architect prior to submitting a final bid.
- Contractor shall warranty all exterior plants for one year from the date of substantial completion, against defects including but not limited to death and unsatisfactory growth. Defects associated with a lack of adequate maintenance, neglect, or abuse by the owner or incidents that are beyond contractor's control will not be covered by the one-year warranty.
- The contractor shall verify that all selected plant species are determined available at their specified sizes when the time of bidding. The contractor shall not make plant substitutions. If there are difficulties locating plant material as specified, contact the landscape architect prior to submitting the bid.
- All plant material shall have a well formed head with the minimum caliper, height, spread as shown in the plant schedule, trunks shall be undamaged and shape shall be typical of the species.
- All plant material shall be subject to approval by the landscape architect or owners representative before, during and after installation.
- All planting techniques shall conform to approved industry standards.
- The contractor shall coordinate with the owner's representative to establish a planting schedule that prioritizes the planting of all trees and lawn areas.
- All plant beds shall be mulched with double ground hardwood mulch to a depth of 4".
- All plant beds shall receive a weed inhibitor application at installation.
- All landscape material shall be correctly laid out and installed per the plans. The contractor is responsible by any means (survey, staking, etc.) to insure the correct plant layout and may seek the landscape architects approval for landscape material layouts prior to installation. The contractor shall coordinate with the landscape architect for these approvals and shall have all required plant material placed in their proposed locations prior to the landscape architects on-site approval. All plant material placement is subject to re-placement and layout per the landscape architects discretion if the layout does not follow the plans.
- The landscape contractor shall leave all plant identification hangtag's on each plant until final approval has been granted per the Landscape Architects final punch / field report. Once the final approval is obtained, the hangtag's may be removed.

IRRIGATION NOTES:

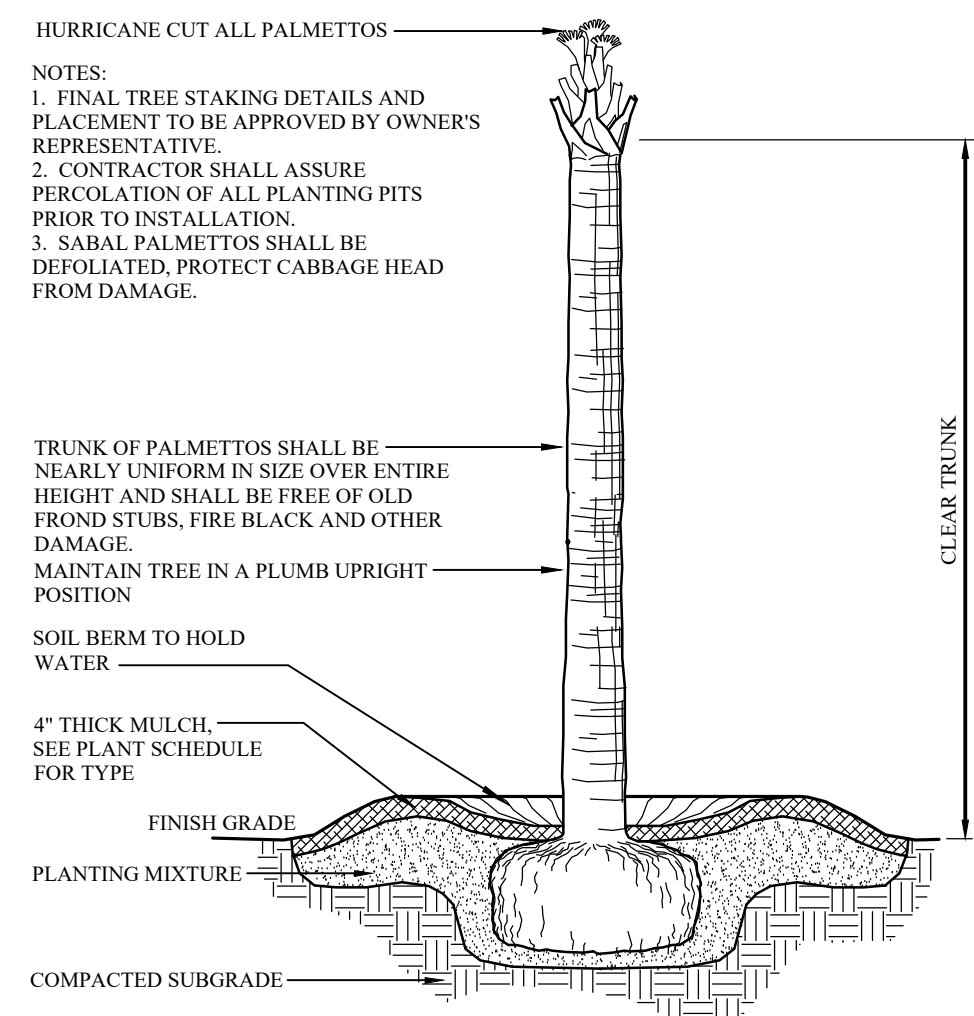
- Contractor to supply automatic irrigation system, complete and installed. System shall include all valves, pipes, heads, fittings, back-flow, & controllers. The installed system shall provide 100% coverage of all sod, hydro-seed, planting bed, and trees

GRADING NOTES:

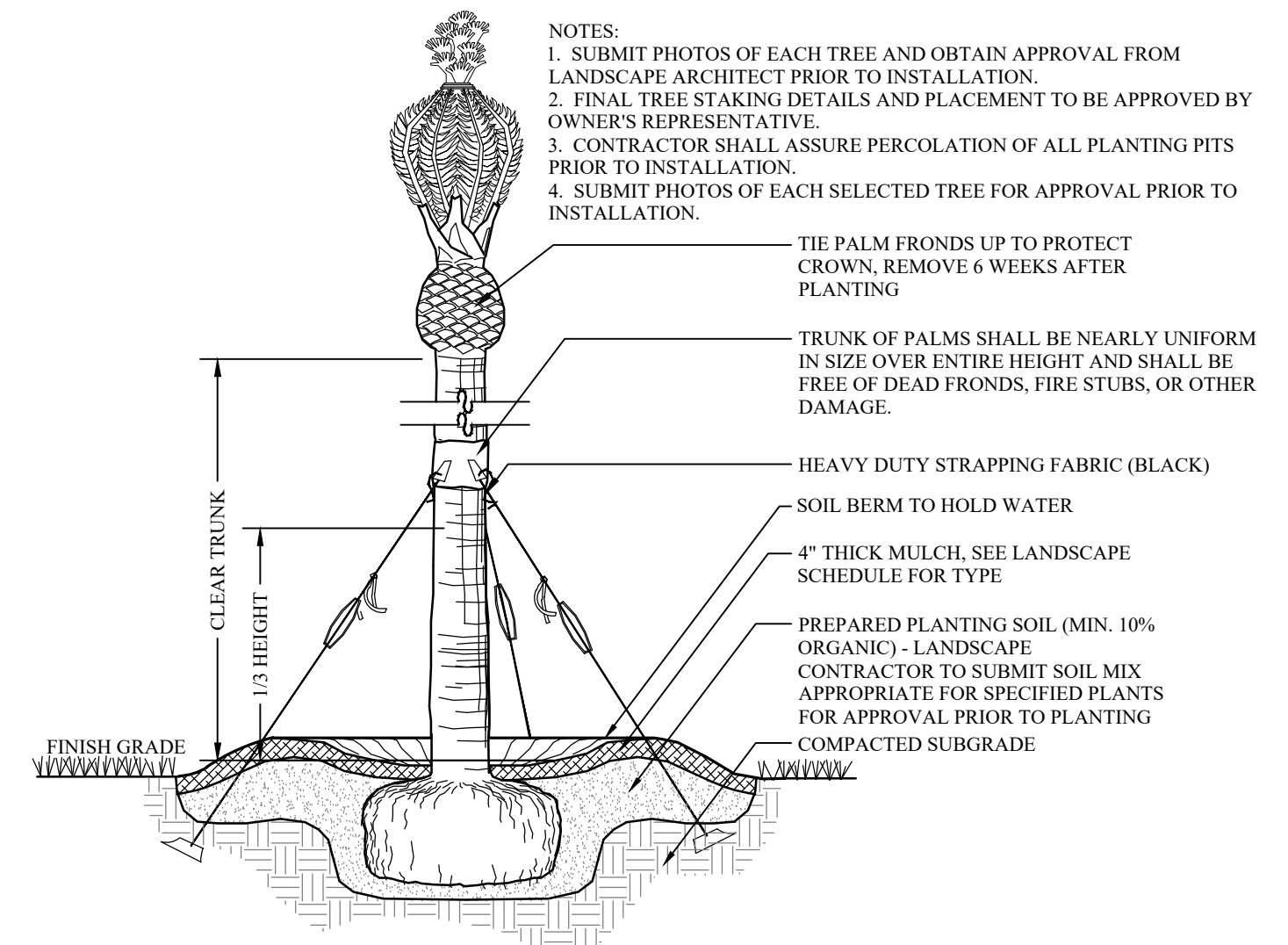
- Contractor to perform fine grading within all turf and plant beds. Fine grading shall consist of a hand raked, smooth soil free of rocks, roots, and debris.

GENERAL NOTES:

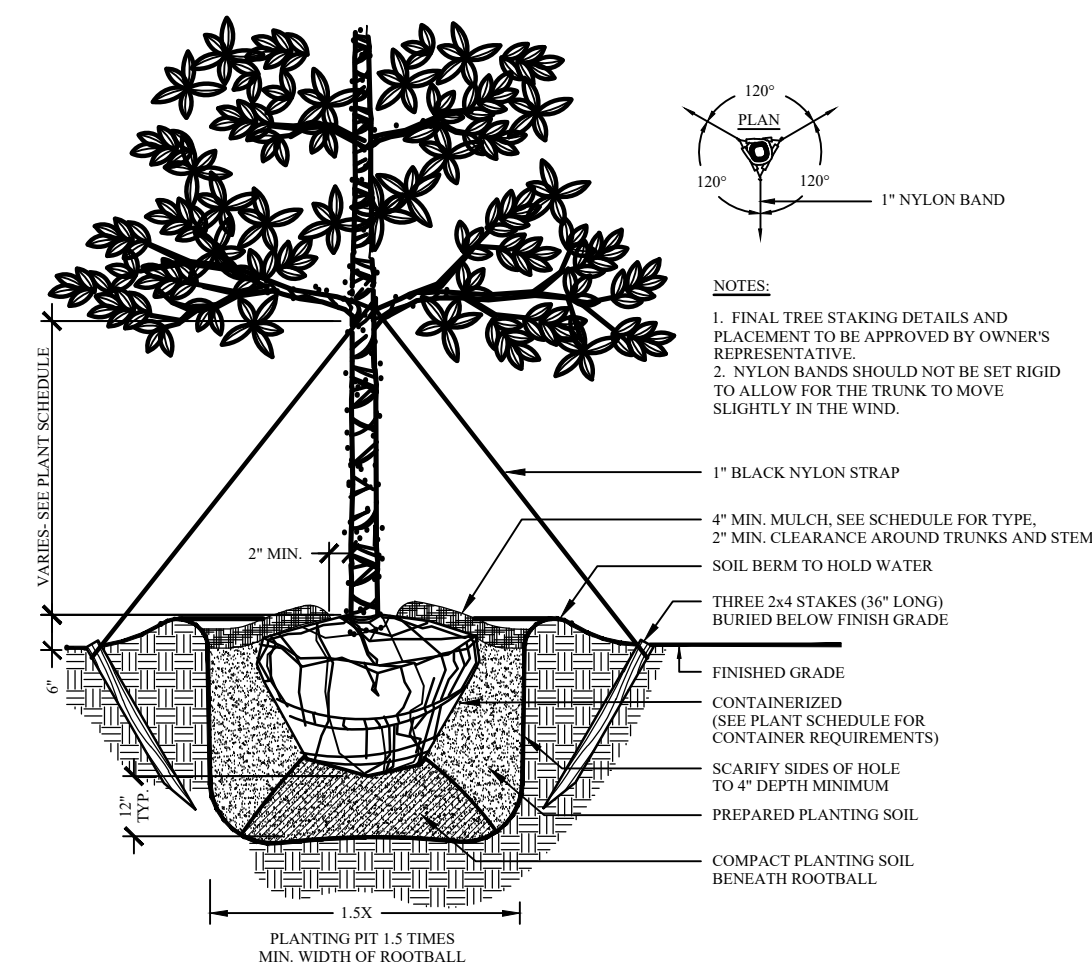
- Contractor is responsible for locating existing utilities and is responsible for any damage that may occur to existing utilities.
- Contractor is responsible for inspection of existing conditions and promptly reporting any discrepancies. Contractor to perform soil tests as specified.
- Notify landscape architect of any site conditions which may necessitate a modification to the plans. Landscape architect shall, if necessary, make "in-field modifications".
- Any deviation from these plans must be specifically approved by the landscape architect or owner's representative.



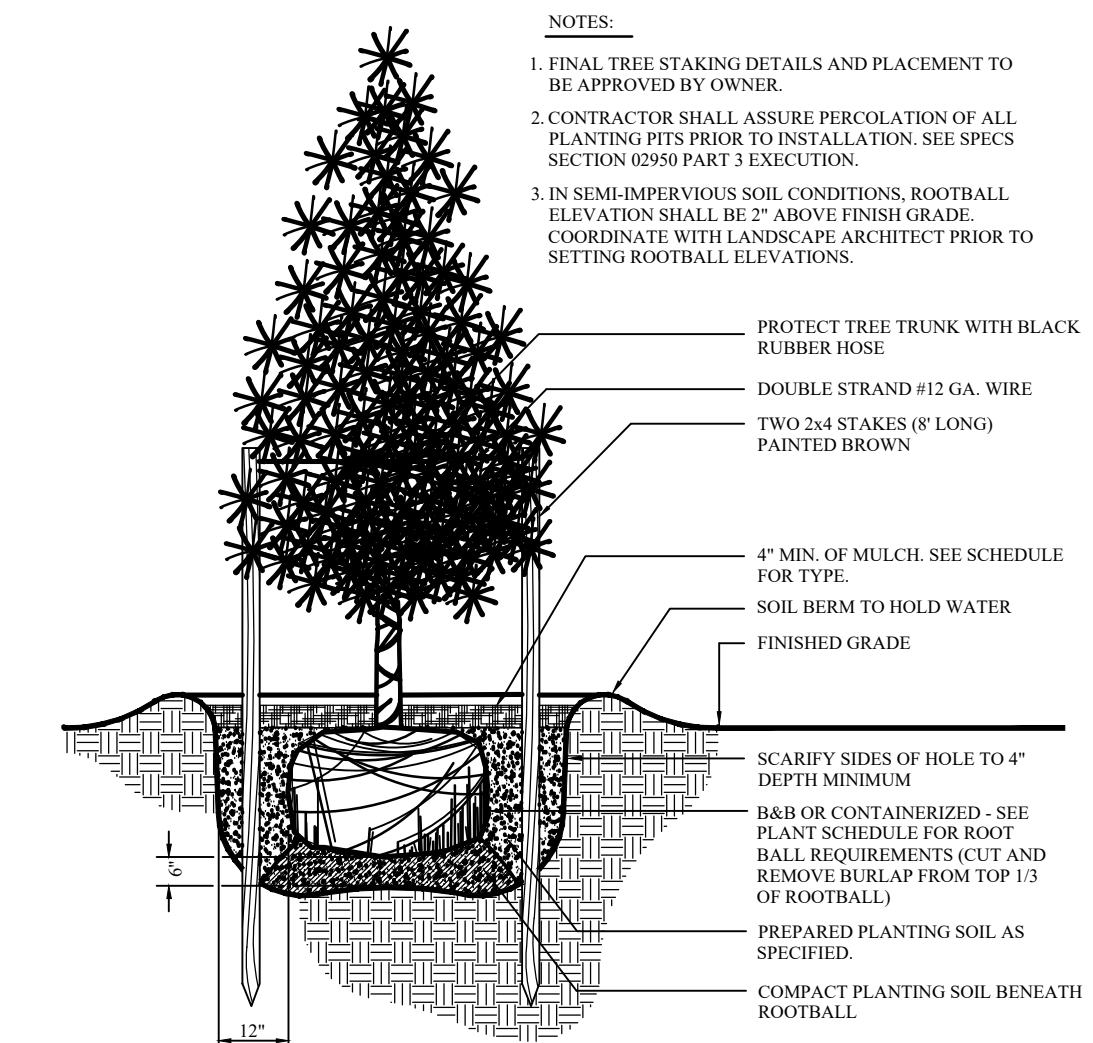
1 PALM TREE
SCALE: NOT TO SCALE



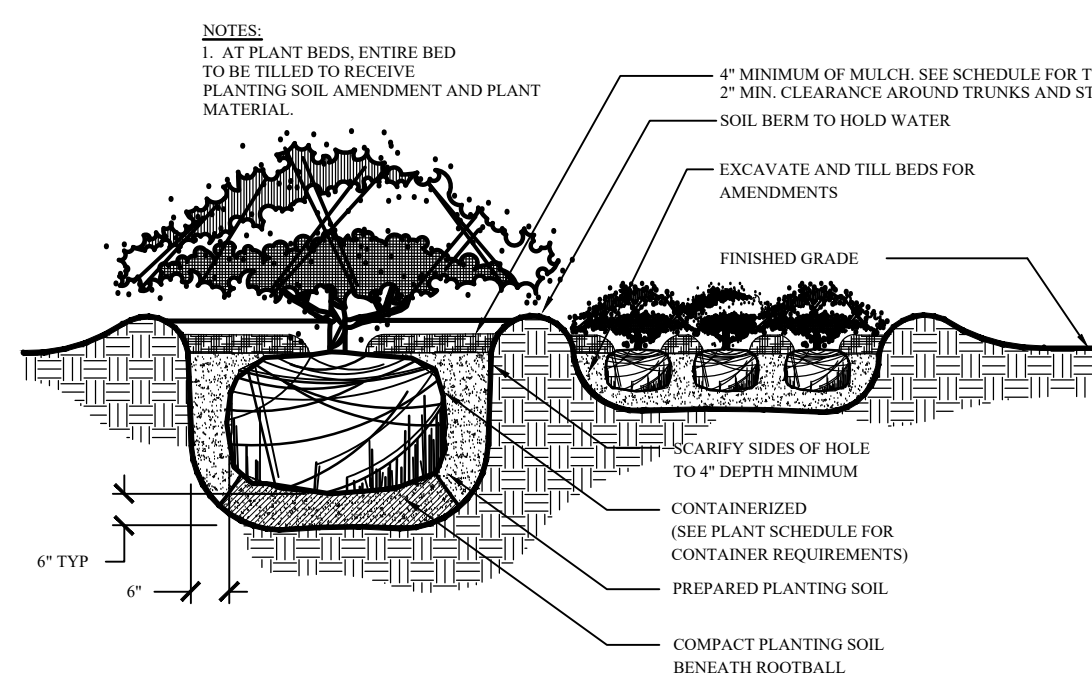
2 SPECIMEN PALM
SCALE: NOT TO SCALE



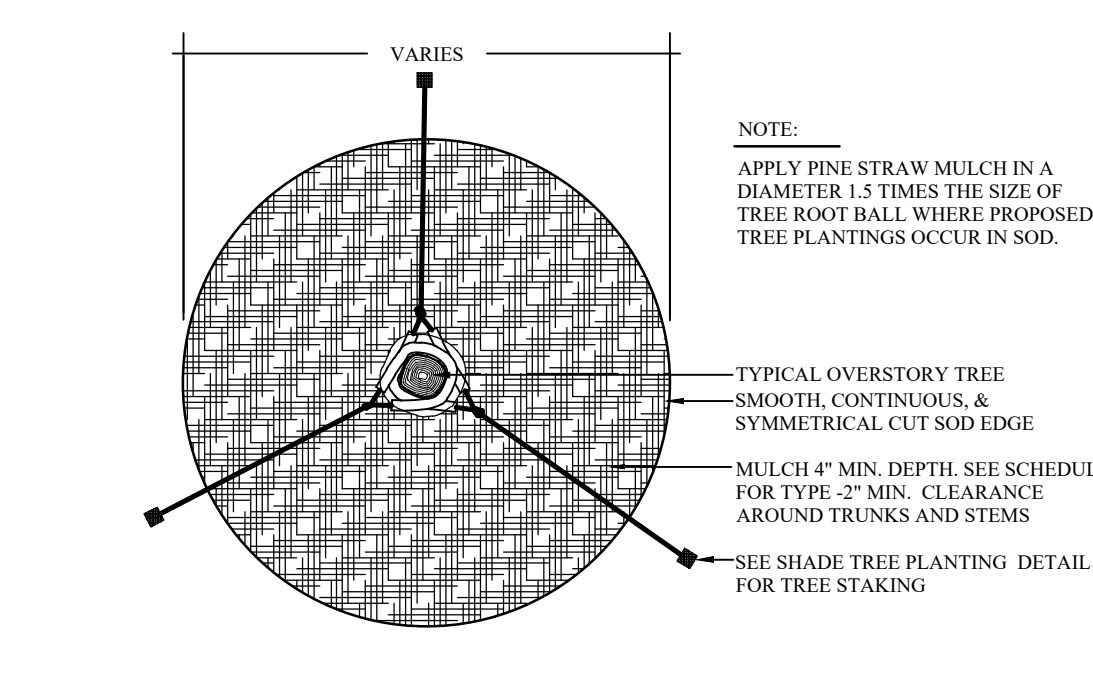
3 SHADE TREE
SCALE: NOT TO SCALE



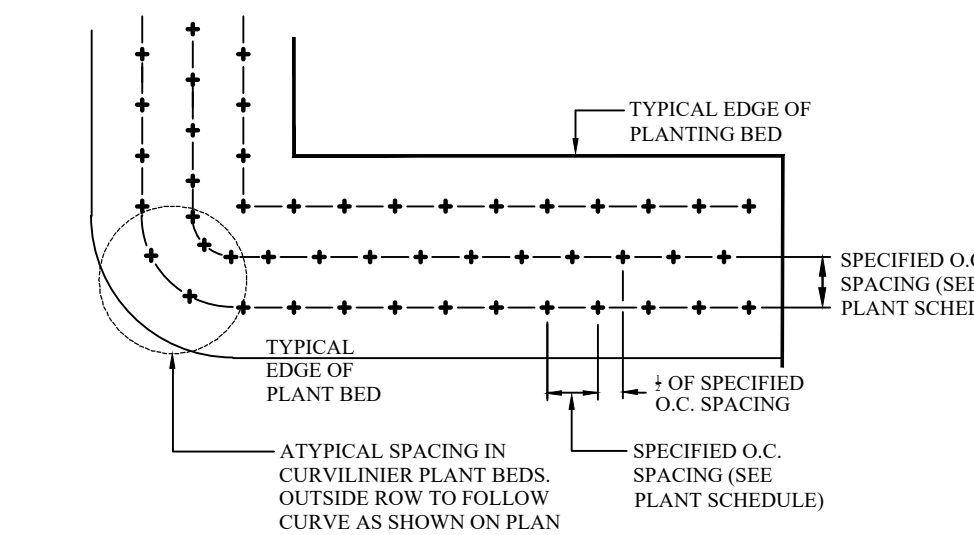
4 PINE TREE
SCALE: NOT TO SCALE



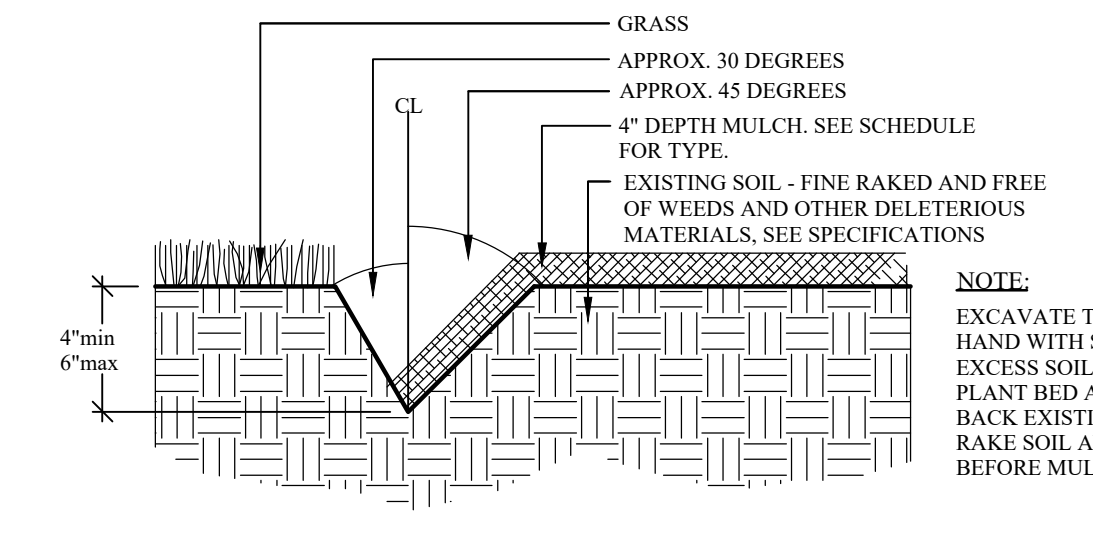
5 SHRUB PLANTING
SCALE: NOT TO SCALE



6 MULCH TREE RING
SCALE: NOT TO SCALE



7 GROUNDCOVER SPACING
SCALE: NOT TO SCALE



8 LANDSCAPE EDGE
SCALE: NOT TO SCALE

Drawn By: JS
Checked By: TT / EW
Date Plotted: 29 OCTOBER 2019
Issue Dates: _____

Issue for Pricing / Bidding:	
FINAL DRB SET - 29 OCT. 2019	
Issue for Permit Application:	
Issue for Construction:	

Revisions:		
#	DATE	COMMENTS

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55 GARDNER DRIVE
HILTON HEAD ISLAND
BEAUFORT COUNTY, SOUTH CAROLINA
SPANDREL DEVELOPMENT PARTNERS

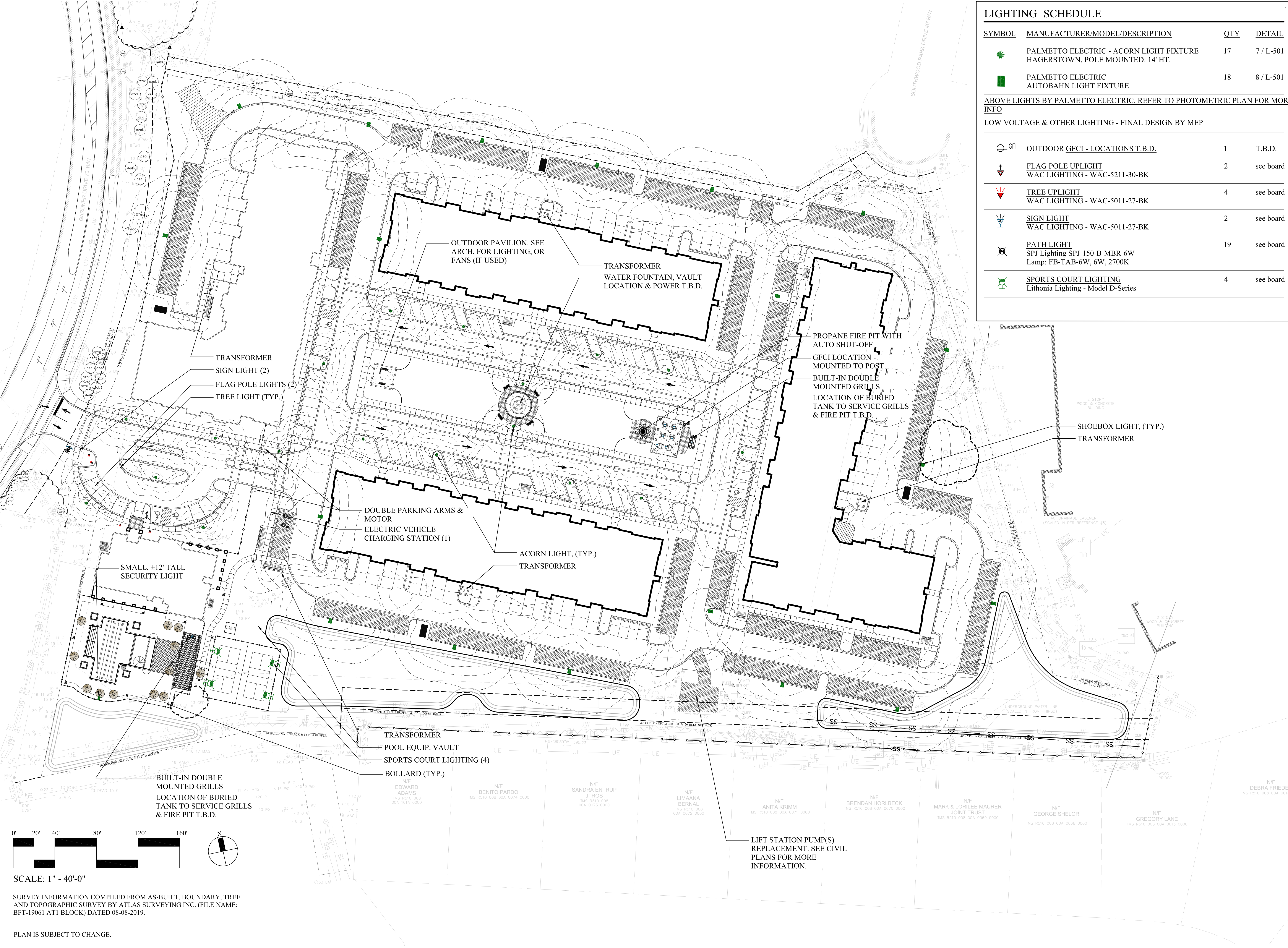
Wood+Partners Inc.
Landscape Architects
Landscape Architects
Land Partners
PO Box 2399 • Hilton Head Island, SC 29925
843.881.8818 • Fax 843.881.7088 • www.woodpartners.com

SHEET CONTENTS:
Planting Notes
& Details

SHEET NO.

L-407

2018565



LIGHTING SCHEDULE

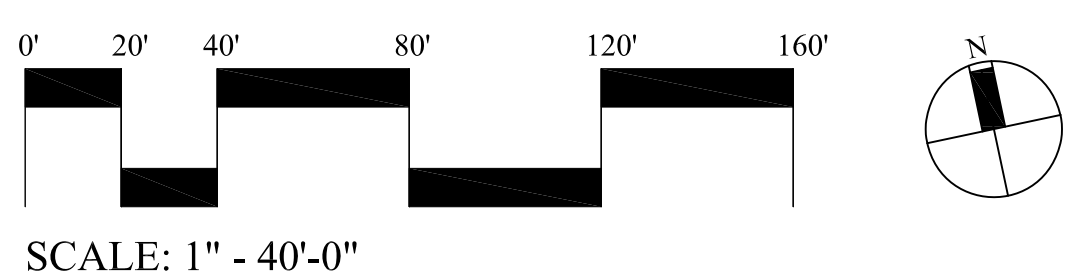
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	PALMETTO ELECTRIC - ACORN LIGHT FIXTURE HAGERSTOWN, POLE MOUNTED: 14' HT.	17	7 / L-501
	PALMETTO ELECTRIC AUTOBAHN LIGHT FIXTURE	18	8 / L-501
ABOVE LIGHTS BY PALMETTO ELECTRIC. REFER TO PHOTOMETRIC PLAN FOR MORE INFO			
LOW VOLTAGE & OTHER LIGHTING - FINAL DESIGN BY MEP			
	OUTDOOR GFCI - LOCATIONS T.B.D.	1	T.B.D.
	FLAG POLE UPLIGHT WAC LIGHTING - WAC-5211-30-BK	2	see board
	TREE UPLIGHT WAC LIGHTING - WAC-5011-27-BK	4	see board
	SIGN LIGHT WAC LIGHTING - WAC-5011-27-BK	2	see board
	PATH LIGHT SPJ Lighting SPJ-150-B-MBR-6W Lamp: FB-TAB-6W, 6W, 2700K	19	see board
	SPORTS COURT LIGHTING Lithonia Lighting - Model D-Series	4	see board

Drawn By: JS
 Checked By: TT/EW
 Date Plotted: 29 OCTOBER 2019
 Issue Dates:

Issue for Pricing / Bidding:	
FINAL DRB SET - 29 OCT. 2019	Issue for Permit Application:
Issue for Construction:	

Revisions:		
#	DATE	COMMENTS

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SCALE: 1" = 40'-0"
 SURVEY INFORMATION COMPILED FROM AS-BUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY BY ATLAS SURVEYING INC. (FILE NAME: BFT-19061 AT1 BLOCK) DATED 08-08-2019.

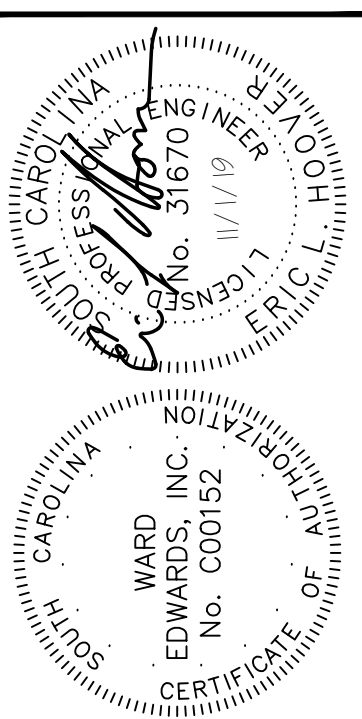
PLAN IS SUBJECT TO CHANGE.

55 GARDNER DRIVE
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA
 SPANDREL DEVELOPMENT PARTNERS



SHEET CONTENTS:
 Schematic Lighting Plan
 SHEET NO.

L-500



NOTES:

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
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10		

NO.	DESCRIPTION	DATE
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2		
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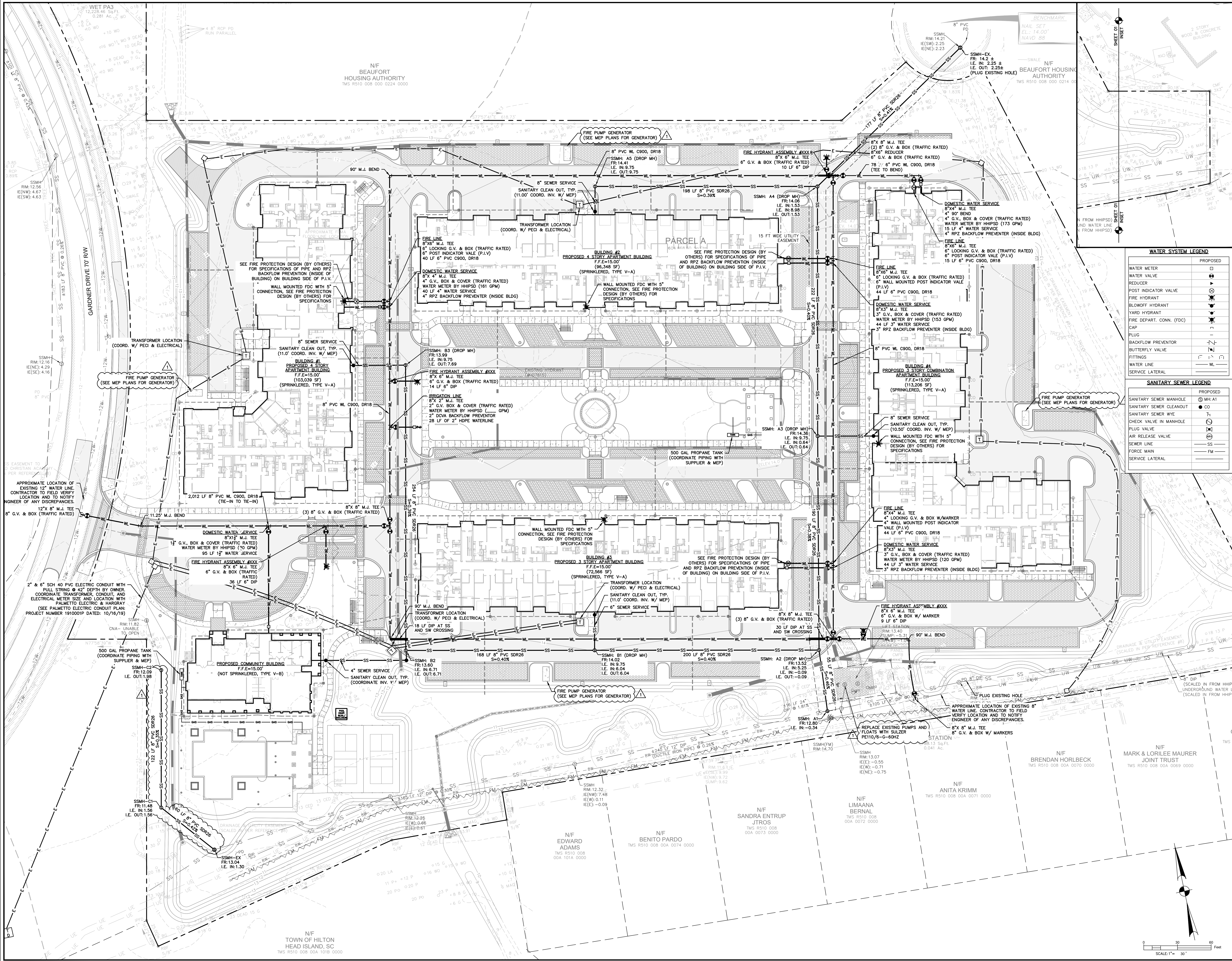
Ward Edwards
ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH: (843) 831-7256
WWW.WARDEWARDS.COM

55 GARDNER DRIVE
BEAUFORT COUNTY, SOUTH CAROLINA
SOP HHI, LLC
NEW YORK, NEW YORK
UTILITY PLAN

VERTICAL DATUM:
NAVD88

PROJECT # 180271
DATE 10/19/19
DESIGNED BY TOL
CHECKED BY ELH

SHEET
C701



WATER SYSTEM LEGEND

PROPOSED	PROPOSED
WATER METER	□
WATER VALVE	○
REDUCER	○
POST INDICATOR VALVE	○
FIRE HYDRANT	○
BLOWOFF HYDRANT	○
YARD HYDRANT	○
FIRE DEPART. CONN. (FDC)	○
CAP	○
PLUG	○
BACKFLOW PREVENTER	○
BUTTERFLY VALVE	○
FITTINGS	○
WATER LINE	—
SERVICE LATERAL	—

SANITARY SEWER LEGEND

PROPOSED	PROPOSED
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEANOUT	○
SANITARY SEWER WYE	○
CHECK VALVE IN MANHOLE	○
PLUG VALVE IN MANHOLE	○
AIR RELEASE VALVE	○
SEWER LINE	—
FORCE MAIN	—
SERVICE LATERAL	—

WATER SYSTEM LEGEND

PROPOSED	PROPOSED
WATER METER	□
WATER VALVE	○
REDUCER	○
POST INDICATOR VALVE	○
FIRE HYDRANT	○
BLOWOFF HYDRANT	○
YARD HYDRANT	○
FIRE DEPART. CONN. (FDC)	○
CAP	○
PLUG	○
BACKFLOW PREVENTER	○
BUTTERFLY VALVE	○
FITTINGS	○
WATER LINE	—
SERVICE LATERAL	—

SANITARY SEWER LEGEND

PROPOSED	PROPOSED
SANITARY SEWER MANHOLE	○
SANITARY SEWER CLEANOUT	○
SANITARY SEWER WYE	○
CHECK VALVE IN MANHOLE	○
PLUG VALVE IN MANHOLE	○
AIR RELEASE VALVE	○
SEWER LINE	—
FORCE MAIN	—
SERVICE LATERAL	—

55 GARDNER DRIVE
BEAUFORT COUNTY, SOUTH CAROLINA
SOP HHI, LLC
NEW YORK, NEW YORK
UTILITY PLAN

VERTICAL DATUM:
NAVD88

PROJECT # 180271
DATE 10/19/19
DESIGNED BY TOL
CHECKED BY ELH

SHEET
C701

IF THIS SHEET IS LESS THAN 30" X 42" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 55 Gardner

DRB#: DRB-002262-2019

DATE: 10/30/2019 11/5/19

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise site lighting for staff review and approval as follows:
 - a. On the plans, revise the “Uplight” and pickle ball court lights specification to 3000K of less,
 - b. Shield the back parking lot lights on the southern property line,
 - c. Note on the plans there are no lights on the buildings at the garage doors.
2. Revise the color specification of the truncated domes to brown.
3. Provide a tree preservation plan for staff review and approval that:
 - a. ~~Shows the location of tree protection fencing around individual and groups of trees,~~
 - b. Provides for pre-construction cambistat or equal treatment of key existing trees,
 - c. ~~Provides for preservation of existing trees within the buffer.~~
4. ~~Revise the planting plans for staff review and approval as follows:~~
 - a. ~~Revise the southern buffer species mix to provide 60% evergreen canopy trees (for screening),~~
 - b. ~~Revise the Gardner Road and southern buffer to include the LMO required shrubs at the required height,~~
 - c. ~~Add trees between the parking lot and stormwater detention basins.~~

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per DRB Conceptual: consider a second roofing material to break up the asphalt shingles.
Decorative lighting is limited and low wattage and adds	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. It is unclear that the “Uplights: Tower and

to the visual character				Building Corners” are specified at 3000K or less. 2. What is the temperature specification of the pickleball court lights?
Accessory elements are design to coordinate with the primary structure	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The truncated domes should be specified as brown.

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Preserves a variety of existing native trees and shrubs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Existing trees in southern buffer shall be preserved.
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide additional trees adjacent to the parking, in the stormwater detention areas on the southern side.
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The southern buffer needs to include mostly evergreen canopy trees to provide year round screening. Staff suggest 60% of the canopy trees should be evergreen. The species mix should include pine for quick screening.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. No grading is allowed inside the buffer areas where there is existing vegetation. 2. Provide a tree preservation plan <ol style="list-style-type: none"> a. Show tree protection fence the entire length of the street, northern and eastern buffers. b. Show tree protection at least 15’ from preserved trees on the southern buffer. e. Show tree protection around the specimen oak. d. Show tree protection around clusters of trees to the north and east of the clubhouse. 3. Specify a pre-construction cambistat treatment for the 28” & 23” pines at the

				clubhouse.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Per Sec. 16-5-103.I.Buffer Materials of the LMO all shrubs in the buffer shall be 3' height at installation. The specifications for AZIM does not meeting this requirement. The specification for SERC would allow smaller plants. It appears there are no shrubs specified in the southern buffer. Existing shrubs to be preserved should be identified in the northern buffer.

<i>MISC COMMENTS/QUESTIONS</i>				
1. Staff is unclear if there are lights over the garage doors and if so what is the specification?				
2. Staff suggest the east most parking lot lights on the southern property line be shielded to protect the adjacent single family neighborhood.				



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	10/7/19
Accepted by:	JW
DRB #:	208619
Meeting Date:	

Applicant/Agent Name: Stephanie Horrell Company: Sign D'Sign
 Mailing Address: 270 Red Cedar Street, 102 City: Bluffton State: SC Zip: 29910
 Telephone: 843-757-7057 Fax: _____ E-mail: Shorrell@sign-dsign.com
 Project Name: Courtyard by Marriott Project Address: 79 Pope Ave Hilton Head Island SC
 Parcel Number [PIN]: R _____
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 _____ Concept Approval – Proposed Development
 _____ Final Approval – Proposed Development
 _____ Alteration/Addition
X Sign

Submittal Requirements for *All* projects:

X Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

X Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

_____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

_____ Context photographs of neighboring uses and architectural styles.

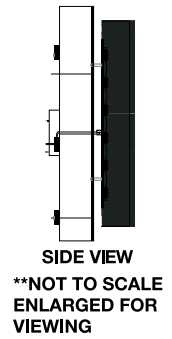
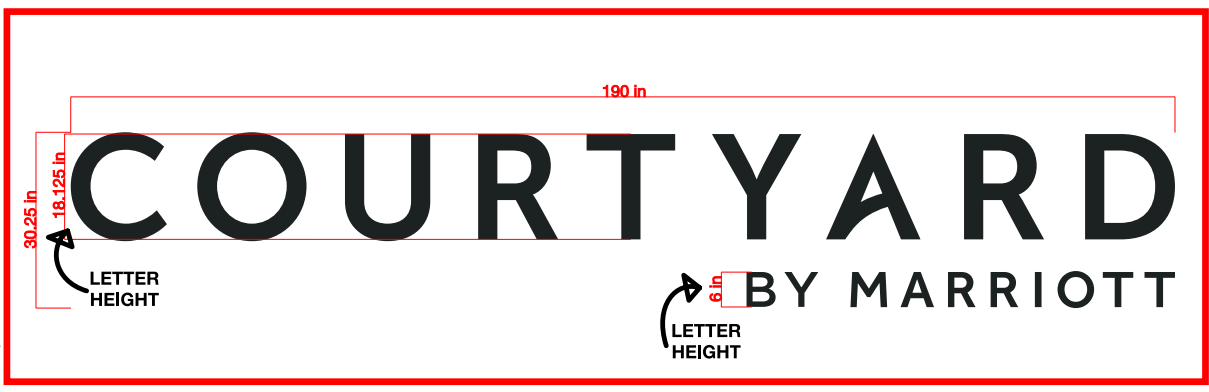
_____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

_____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

COURTYARD BY MARRIOTT | REVERSE CHANNEL LETTERS

One new set of reverse lit channel letters to read "<LOGO> Courtyard by marriott". The letters are to be installed onto the building in the area shown in the below rendering and as marked on the enclosed site map. The letters will be 4" deep channel letters with 0.040" thick aluminum returns and .125" thick clear acrylic backs and 0.063" thick painted aluminum faces. The returns will be painted to match the color of the faces. The sign will be illuminated from behind with a HALO light using white LED lights. The letters will be mounted using 1/4" by 6" threaded aluminum rods (toggle bolts) to penetrate the wall; and industry standard mounting techniques and hardware. The letters will be manufactured and painted to the outlined size and color specifications listed below with the font being a custom logo font.

● PMS 426 ↻ EXPOSED SIGN SURFACE COLORS



SIGN COPY & LETTER STYLE

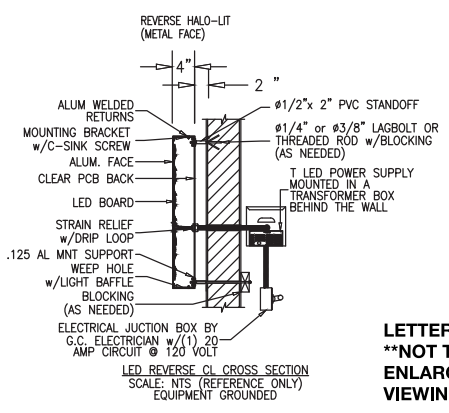
39.9 ft²



Daytime Appearance

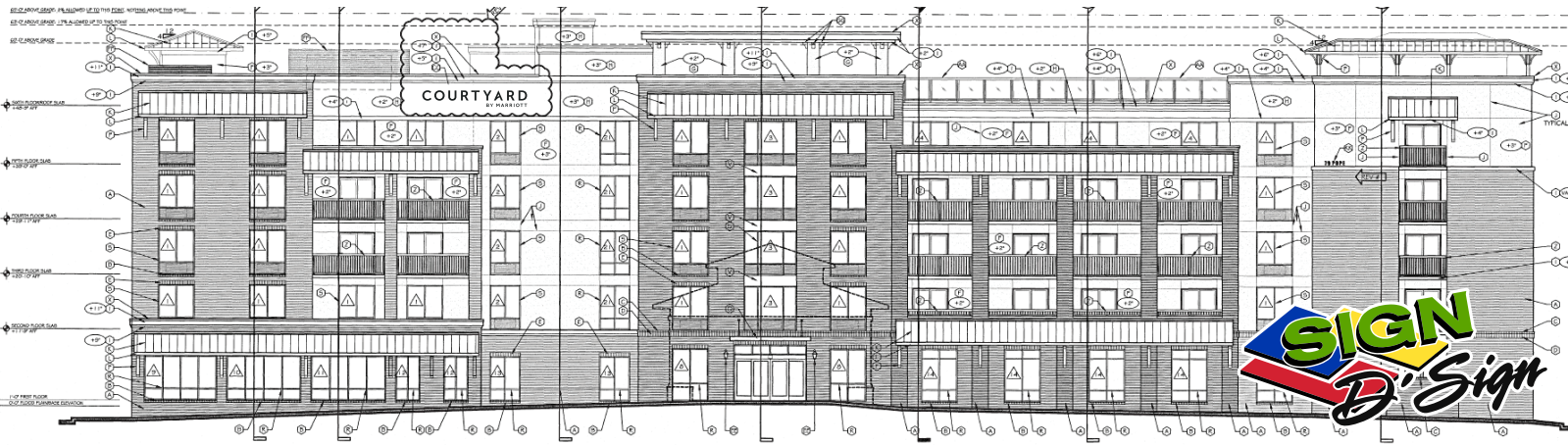


Nighttime Appearance



LETTER SPECS
**NOT TO SCALE
ENLARGED FOR VIEWING

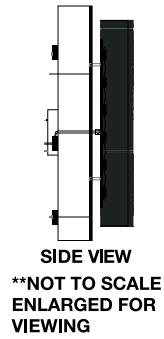
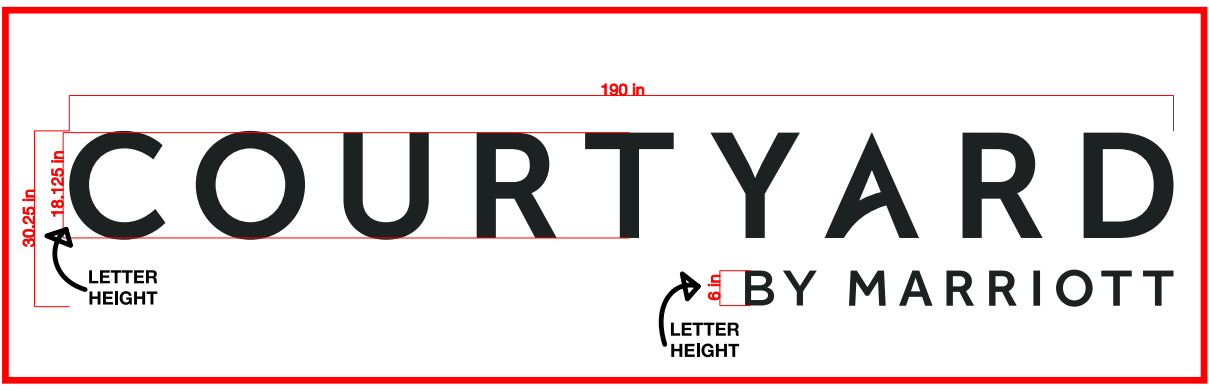
PROPOSED | SITE 1 ON MAP



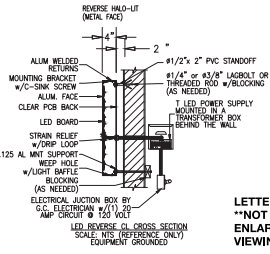
COURTYARD BY MARRIOTT | REVERSE CHANNEL LETTERS

One new set of reverse lit channel letters to read "<LOGO> Courtyard by marriott". The letters are to be installed onto the building in the area shown in the below rendering and as marked on the enclosed site map. The letters will be 4" deep channel letters with 0.040" thick aluminum returns and .125" thick clear acrylic backs and 0.063" thick painted aluminum faces. The returns will be painted to match the color of the faces. The sign will be illuminated from behind with a HALO light using white LED lights. The letters will be mounted using 1/4" by 6" threaded aluminum rods (toggle bolts) to penetrate the wall; and industry standard mounting techniques and hardware. The letters will be manufactured and painted to the outlined size and color specifications listed below with the font being a custom logo font.

PMS 426 ↖ **EXPOSED SIGN SURFACE COLORS**

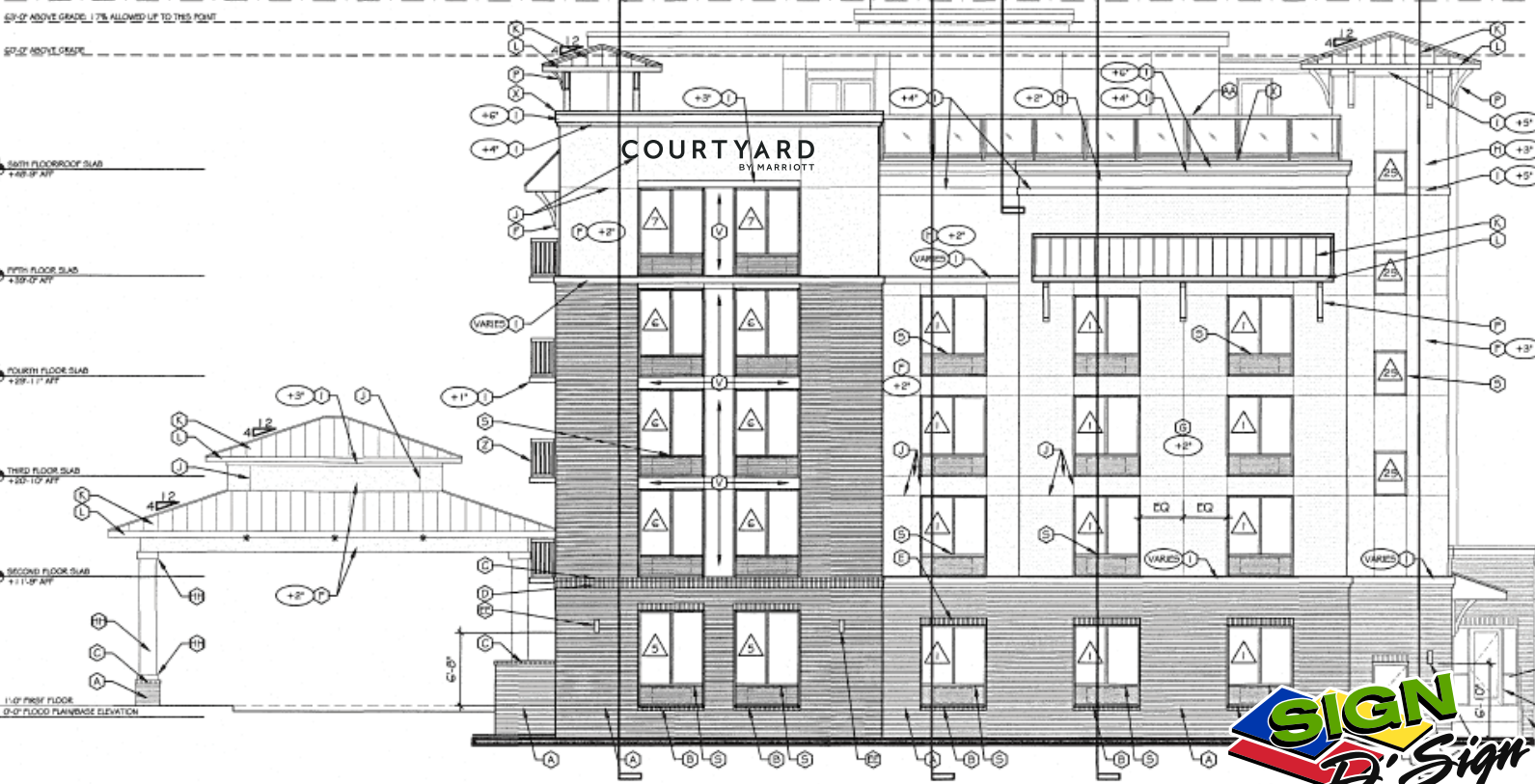


SIGN COPY & LETTER STYLE



LETTER SPECS
**NOT TO SCALE ENLARGED FOR VIEWING

PROPOSED | SITE 2 ON MAP



END ELEVATION (EAST SIDE)

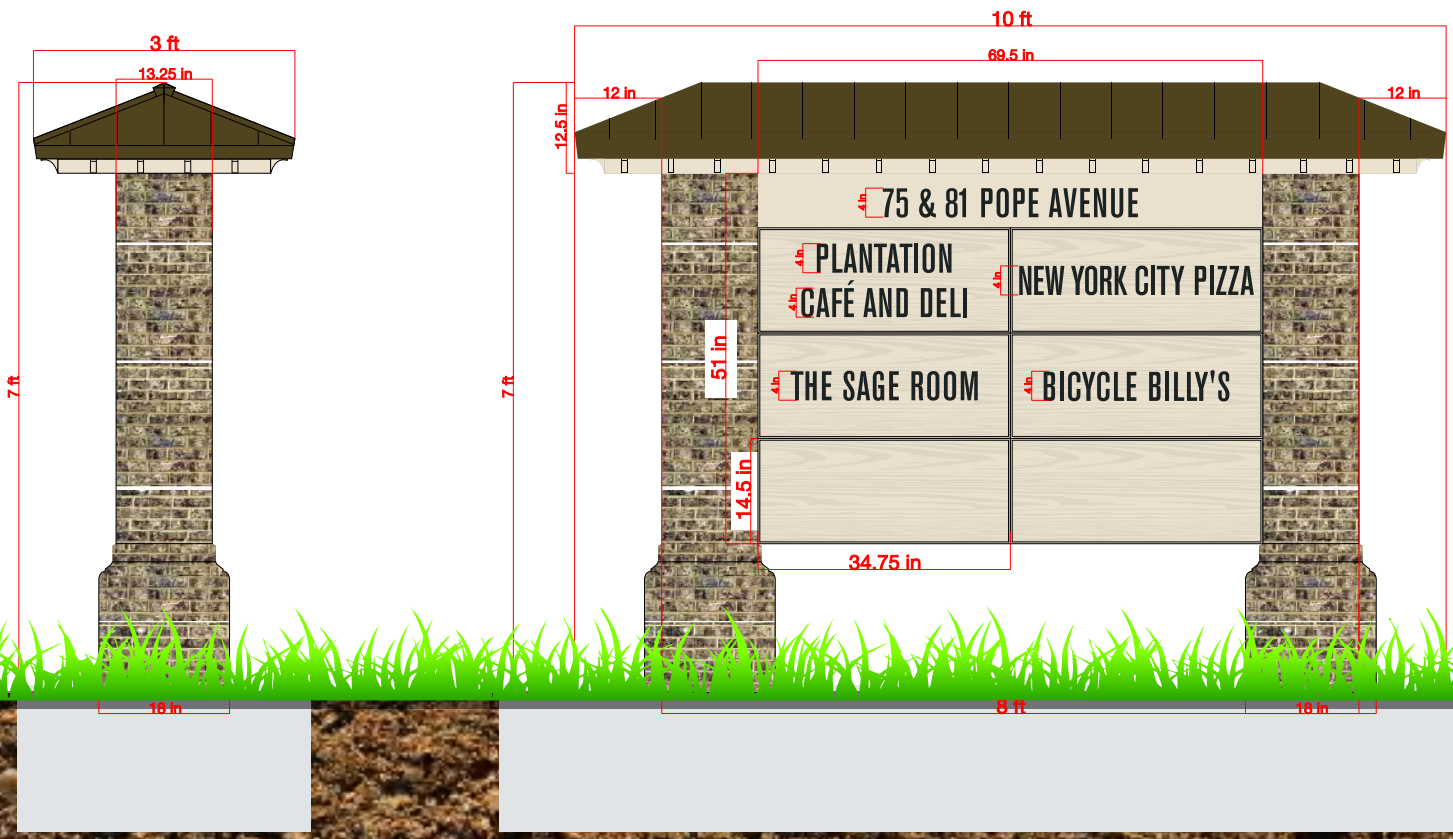


COURTYARD BY MARRIOTT

DOUBLE FACED MULTI-TENANT MONUMENT SIGN

One new double faced, multi-tenant monument sign to feature six (6) tenants on each face in rows of two (2) and columns of (3). Monument to be constructed using standard building techniques using brick, block and stucco with a wooden roof structure to accept a standing seam metal roofing. Standing seam metal roof to be Roman Bronze to match the building. The face of the monument will be stucco and painted to match the building. The tenant panels will be made from 1.5" HDU with raised copy and borders with a recessed background consisting of a simulated wood grain texture. All bolts, screws, brackets and other mounting hardware will be painted to match the face. The monument face will feature six (6) tenant panels on each side. They'll be routed out at approximately 1/4" depth with the copy rising above the surface. The tenant panels will be mounted to the monument face using screws in each of the four corners. The address letters will be constructed of 1/2" thick flat cut acrylic - painted PMS 426 to match the building letters - and will be stud mounted on either side of the monument in the location shown. The monument and tenant panels will all be constructed to the outlined size and color specifications listed below and will not be internally illuminated. The sign will be set into the ground with a concrete footer forthcoming engineer calculations.

PMS 426
 SW 6140 - MODERATE WHITE
 CHEROKEE BRICK MOSSTOWN
 ROMAN BRONZE
 EXPOSED SIGN SURFACE COLORS

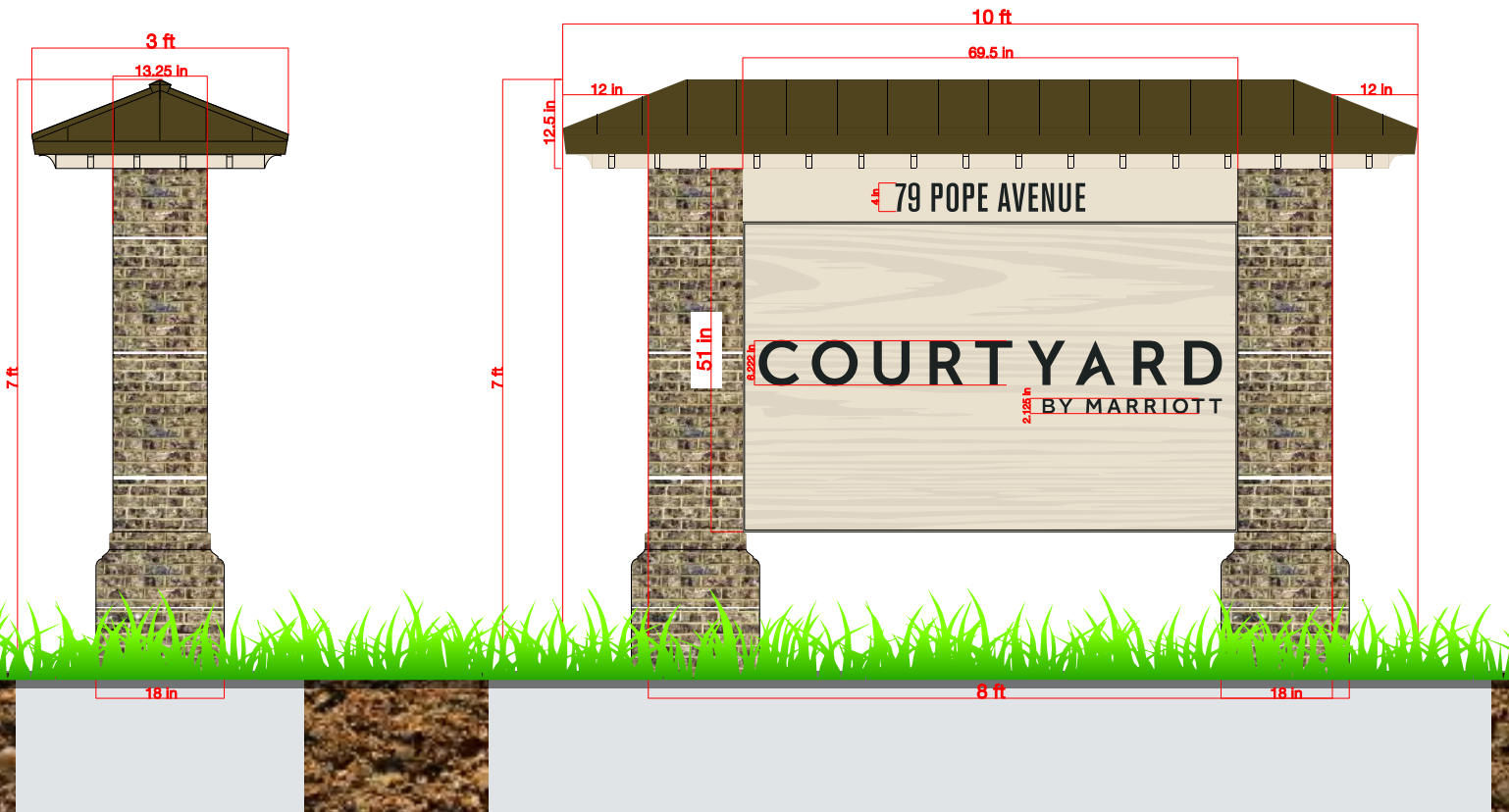


COURTYARD BY MARRIOTT DOUBLE FACED MONUMENT SIGN

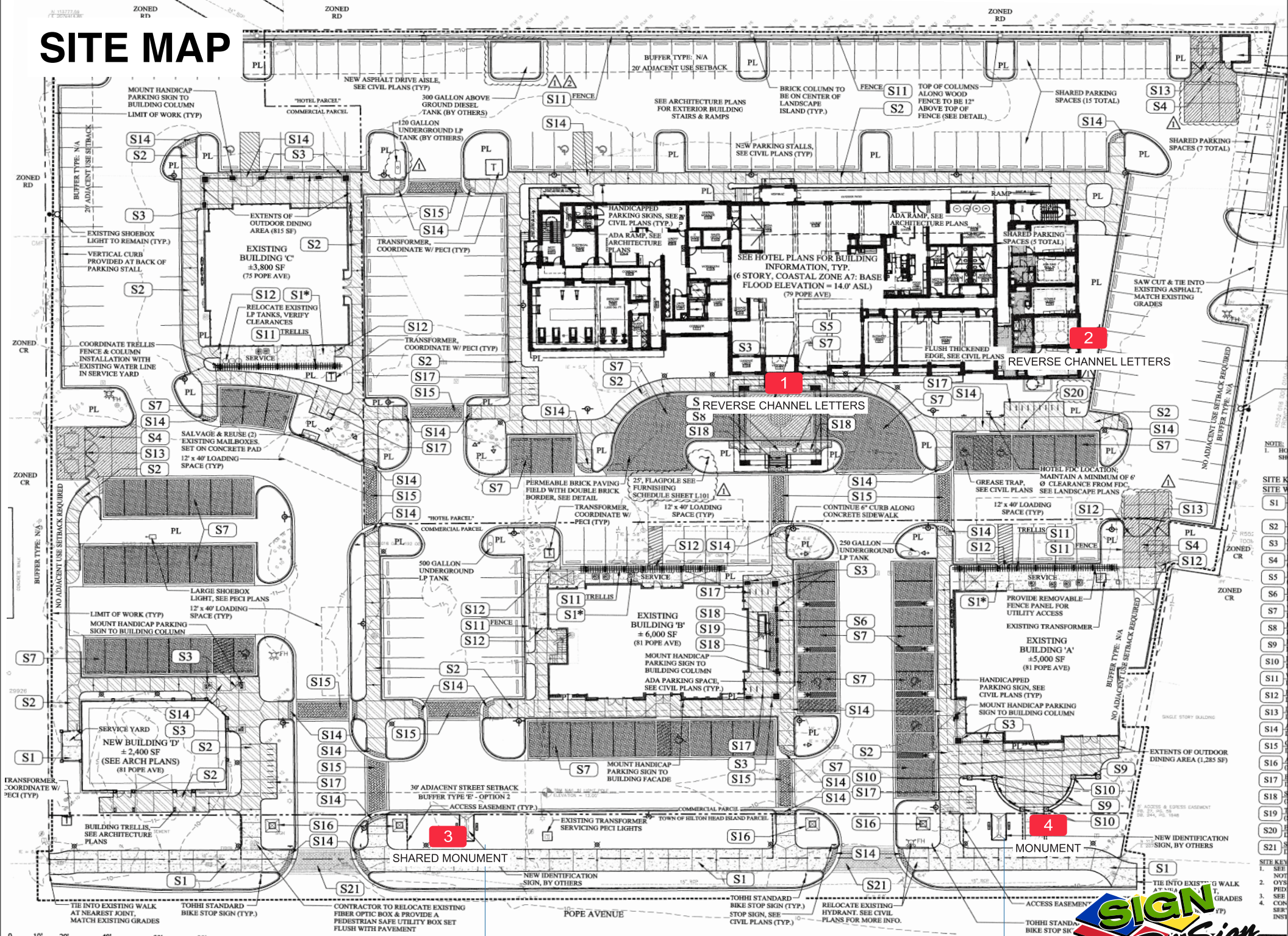
One new double faced monument sign to read "<Logo> Courtyard by Marriott" on both sides. Monument to be constructed using standard building techniques using brick, block and stucco with a wooden roof structure to accept a standing seam metal roofing. Standing seam metal roof to be Roman Bronze to match the building. The face of the monument will be stucco and painted to match the building. The tenant sign will be made from 1.5" HDU with raised copy and borders with a recessed background consisting of a simulated wood grain texture. All bolts, screws, brackets and other mounting hardware will be painted to match the face. The monument face will feature one (1) tenant sign on each side. They'll be routed out at approximately 1/4" depth with the copy rising above the surface. The tenant sign will be mounted to the monument face using screws in each of the four corners. The address letters will be constructed of 1/2" thick flat cut acrylic - painted PMS 426 to match the building letters - and will be stud mounted on either side of the monument in the location shown. The monument and tenant sign will all be constructed to the outlined size and color specifications listed below and will not be internally illuminated. The sign will be set into the ground with a concrete footer forthcoming engineer calculations.

PMS 426
 SW 6140 - MODERATE WHITE
 CHEROKEE BRICK MOSSTOWN
 ROMAN BRONZE

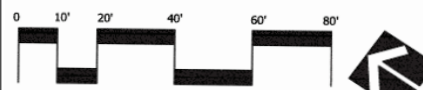
EXPOSED SIGN SURFACE COLORS



SITE MAP



200'-0" required between monuments



NOTE: 1. HIGH SIDE OF ROAD

2. SEE CIVIL PLANS

3. SEE CIVIL PLANS

4. SEE CIVIL PLANS

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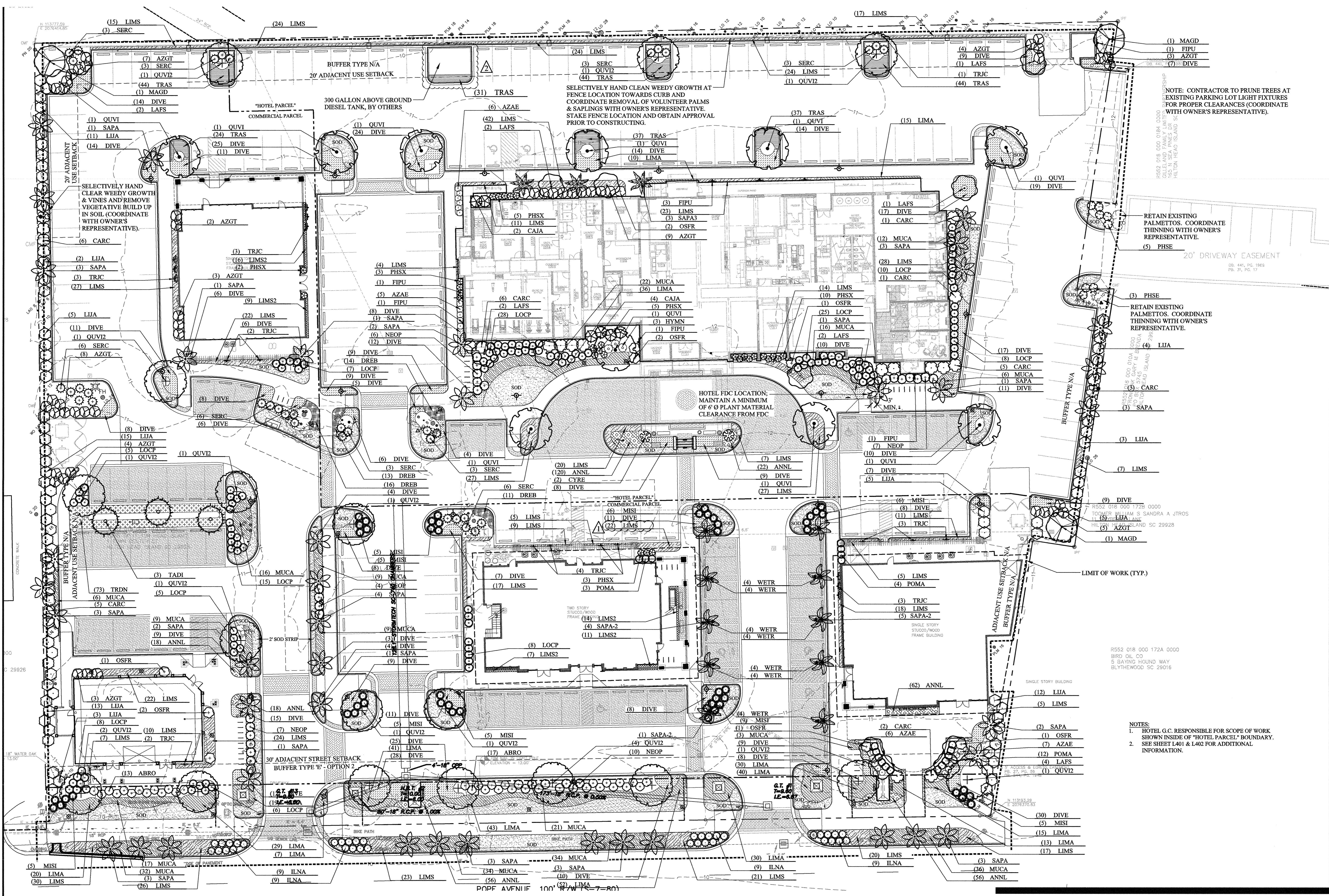
96. SEE CIVIL PLANS

97. SEE CIVIL PLANS

98. SEE CIVIL PLANS

99. SEE CIVIL PLANS

100. SEE CIVIL PLANS



BCHilton Head, LLC
 2743 Perimeter Parkway, Bldg. 100, Suite 370
 Augusta, GA 30909

CONSTRUCTION DOCUMENTS
HERITAGE PLAZA
 Hilton Head Island, South Carolina



DRAWN BY:
DM
 CHECKED BY:
TT

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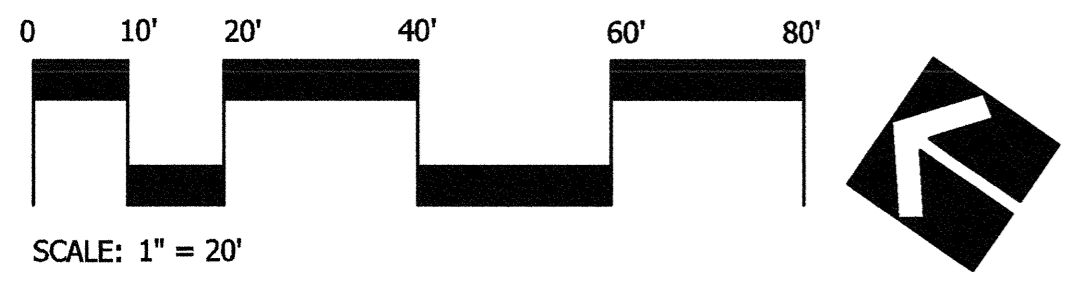
#	REVISION	DATE	BY
1	DPR SUBMITTAL	12-25-16	DM
2	DPR RESUBMITTAL	1-5-17	DM
3	DPR RESUBMITTAL	2-3-17	DM
4	DPR - HOTEL BLDG COORDS	10-17-17	DM
5	PERMITTING REVISIONS	3-16-18	DM

DATE
02-16-2018
 PROJECT NUMBER
01-14042
 SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L400

Wood+Partners Inc. **WPI**
 Landscape Architects
 Land Planners

PO Box 23849 • Hilton Head Island, SC 29925
 843.681.6618 • Fax 843.681.7086 • www.woodpartners.com



- NOTES:
- HOTEL G.C. RESPONSIBLE FOR SCOPE OF WORK SHOWN INSIDE OF "HOTEL PARCEL" BOUNDARY.
 - SEE SHEET L401 & L402 FOR ADDITIONAL INFORMATION.

NOTE: CONTRACTOR TO PRUNE TREES AT EXISTING PARKING LOT LIGHT FIXTURES FOR PROPER CLEARANCES (COORDINATE WITH OWNER'S REPRESENTATIVE).

RETAIN EXISTING PALMETTOS. COORDINATE THINNING WITH OWNER'S REPRESENTATIVE.

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SELECTIVELY HAND CLEAN WEEDY GROWTH AT FENCE LOCATION TOWARDS CURB AND COORDINATE REMOVAL OF VOLUNTEER PALMS & SAPLINGS WITH OWNER'S REPRESENTATIVE. STAKE FENCE LOCATION AND OBTAIN APPROVAL PRIOR TO CONSTRUCTING.

HOTEL FDC LOCATION, MAINTAIN A MINIMUM OF 6' Ø PLANT MATERIAL CLEARANCE FROM FDC.

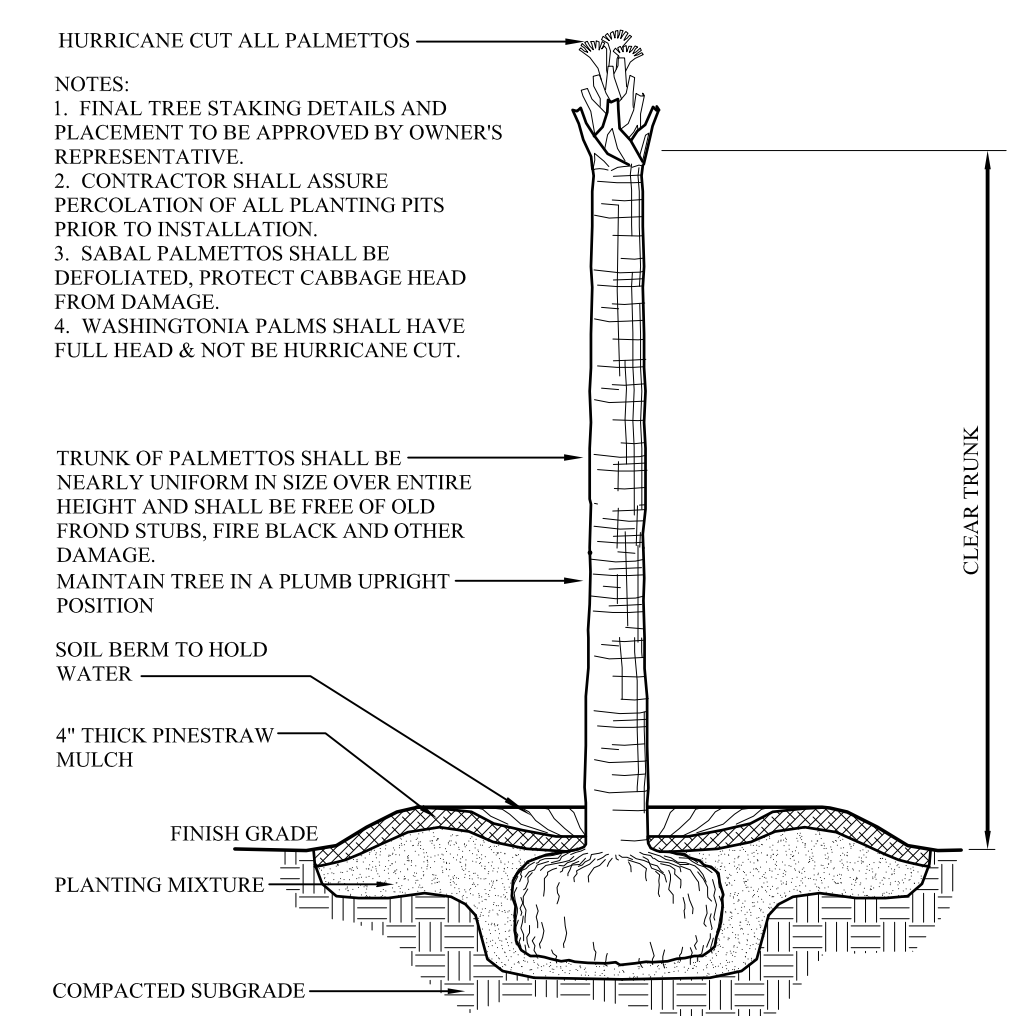
SELECTIVELY HAND CLEAR WEEDY GROWTH & VINES AND REMOVE VEGETATIVE BUILD UP IN SOIL (COORDINATE WITH OWNER'S REPRESENTATIVE).

SELECTIVELY HAND CLEAR WEEDY GROWTH & VINES AND REMOVE VEGETATIVE BUILD UP IN SOIL (COORDINATE WITH OWNER'S REPRESENTATIVE).

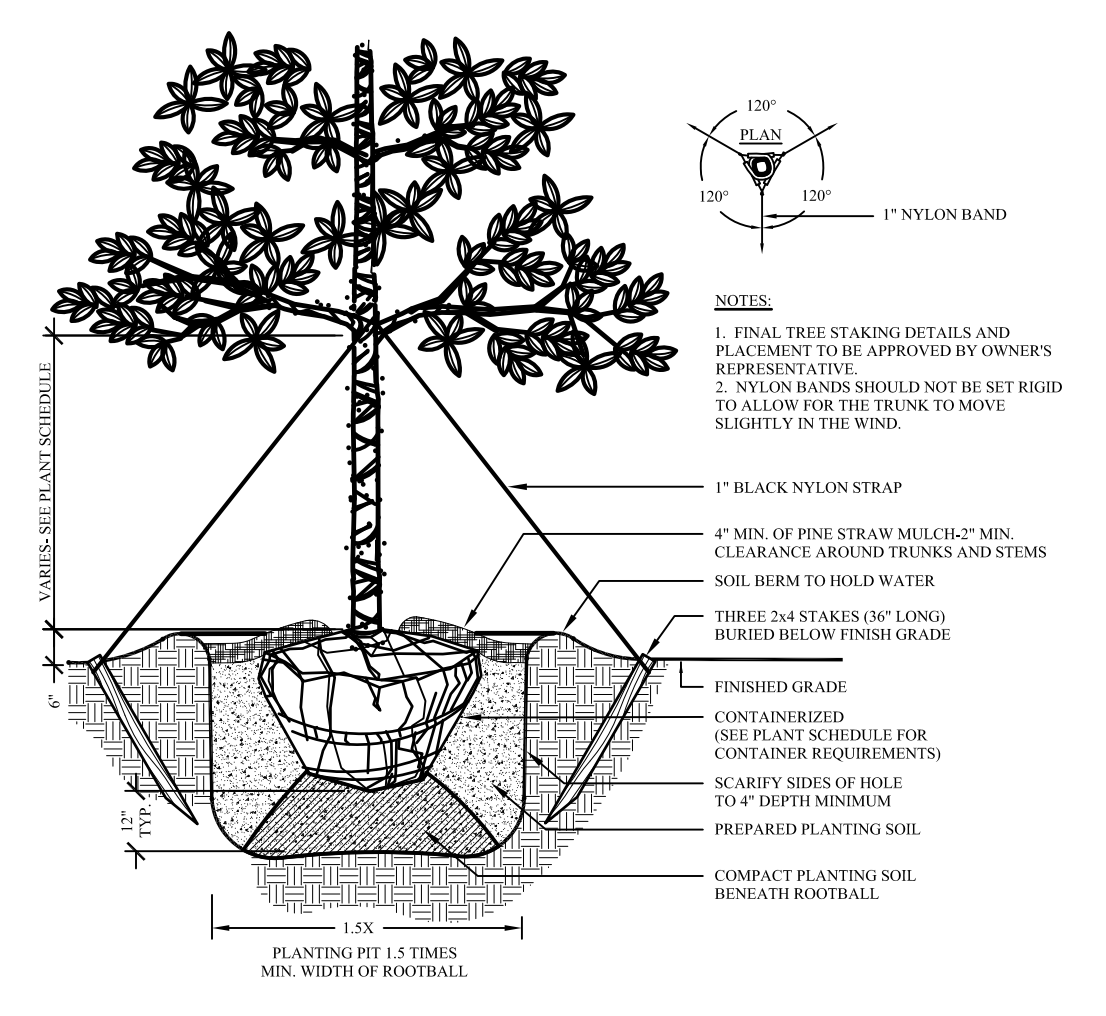
SELECTIVELY HAND CLEAR WEEDY GROWTH & VINES AND REMOVE VEGETATIVE BUILD UP IN SOIL (COORDINATE WITH OWNER'S REPRESENTATIVE).

PLANT SCHEDULE HERITAGE PLAZA

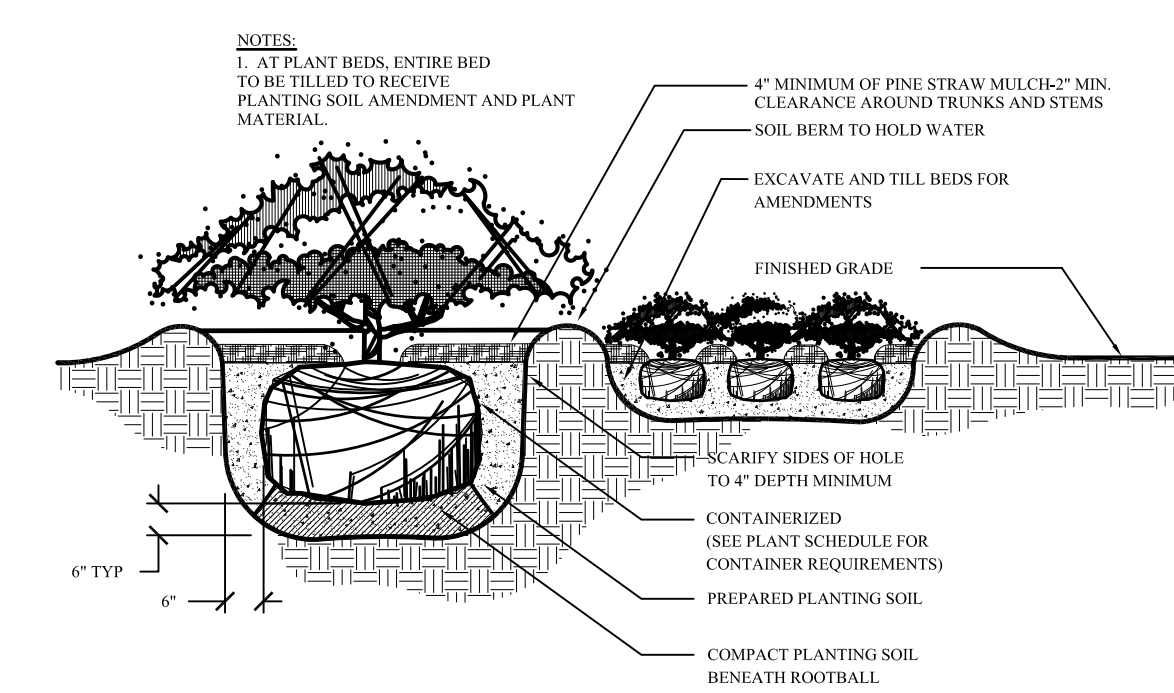
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
LAFS	14	Lagerstroemia fauriei 'Sara's Favorite'	Sara's Favorite Crape Myrtle	B & B	3"Cal		8'-10'	6'-8'	3 Canes, matched
MAGD	3	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	FG B&B	4"Cal		15'-18'	8'-10'	Full to Ground
QUV12	15	Quercus virginiana 'High Rise'	High Rise Live Oak	FG B&B	4"Cal		12'-14'	6'-8'	Single Leader; Full Crown
QUV1	10	Quercus virginiana 'High Rise'	High Rise Live Oak	FG B&B	6"Cal		16'-18'	8'-10'	Single Leader; Full Crown; Specimen
SAPA	41	Sabal palmetto	Cabbage Palmetto	B & B			12'-16'		Smooth Clear Trunk, Hurricane Cut, Vary Height
SAPA-3	3	Sabal palmetto	Cabbage Palmetto	B & B			14' Matched		Matched, smooth clear trunk, hurricane cut
SAPA-2	10	Sabal palmetto	Cabbage Palmetto	B & B			16' Matched		Matched, Smooth Clear Trunk, Hurricane Cut
SAPA-4	2	Sabal palmetto	Cabbage Palmetto	B & B			18'-20'		Smooth Clear Trunk, REFOLIATED, Match Height
TADI	3	Taxodium distichum	Bald Cypress	B & B	4"Cal		10'-12'	5'-6'	Full, specimen
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD			REMARKS
ABRO	30	Abelia x 'Rose Creek'	Rose Creek Abelia	3 gal	18"-24"	12"-18"			Full
AZAE	24	Azalea Encore 'Autumn Chiffon' TM	Autumn Chiffon Azalea	3 gal	15" - 18"	12" - 15"			Full
AZGT	50	Azalea indica George Taber	George Taber Azalea	7 gal	36"-42"	30"-36"			Full pot
CARC	29	Callistemon rigidus 'Clemson Hardy'	Clemson Hardy Bottle Brush	15 gal	4'-5'	3'-4'			Full, Specimen
CAJA	6	Camellia japonica 'Kramer's Supreme' TM	Kramer's Supreme Camellia	15 gal	5'-6'	3'-4'			Full, Specimen
CYRE	2	Cycas revoluta	Sago Palm	15 gal	30"-36"	30"-36"			Full, specimen
FIPU	8	Ficus pumila	Creeping Fig	1 gal	12"				Full pot
HYMN	3	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	7 gal	30"-36"	30"-36"			Full pot
ILNA	36	Ilex vomitoria 'Nana'	Dwarf Yaupon	3 gal	36"-42"	30"-36"			Full
LJJA	78	Ligustrum japonicum	Japanese Privet	15 gal	4'-6'	3'-4'			Full pot
LOCP	125	Loropetalum chinense 'Sizzling Pink'	Fringe Flower	3 gal	24"-36"	24"-36"			Full pot
NEOP	34	Nerium oleander 'Petite Pink'	Petite Pink Oleander	3 Gal.	24"-30"	18"-24"			Full pot
OSFR	10	Osmanthus fragrans	Sweet Olive	7 gal	36"-48"	24"-36"			Full pot
PHSE	8	Philodendron selloum	Split Leaf Philodendron	3 gal	24"-36"	24"-36"			Full
PHSX	25	Philodendron selloum 'Xanadu'	Split Leaf Philodendron	3 gal	15" - 18"	15" - 18"			Full pot
POMA	21	Podocarpus macrophyllus	Yew Pine	7 gal	24"-30"	12"-18"			Full
SERC	33	Serenoa repens	Saw Palmetto	3 gal	15" - 18"	12"-18"			Full pot
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD			REMARKS
MISI	51	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	3 gal	18"-24"	18"-24"			Full pot
VINES	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD			REMARKS
TRJC	22	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	1 gal	18"-24"	12"			Full - PROVIDE S.S. CABLE & ANCHORS FOR VINE TO CLIMB, SEE LANDSCAPE PLAN FOR LOCATIONS.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	SPACING		REMARKS
ANNL	352	Annual	Annual	flat			12" o.c.		Selection to be approved by landscape architect
DIVE	580	Dietses vegeta	African Iris	1 gal	18-24"	12"-18"	30" o.c.		Full pot
DREB	54	Dryopteris erythrosora 'Brilliance'	Autumn Fern	1 gal	12-18"	10-12"	24" o.c.		Full Pot
LIMA	400	Liriope muscari 'Aztec Grass'	Aztec Grass	1 gal	8"-12"	8"-12"	24" o.c.		Full pot
LIMS	654	Liriope muscari 'Super Blue'	Super Blue Liriope	1 Gal.	12"-14"	12" - 15"	24" o.c.		Full pot
LIMS2	77	Liriope muscari 'Super Blue'	Big Blue Lilyturf	1 gal	10"-12"	10"-12"	18" o.c.		Full pot
MUCA	282	Muhlenbergia capillaris	Pink Muhly	1 gal	12"-18"	12"-18"	36" o.c.		Full pot
TRAS	220	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	1 gal	18"-20"	12-24"	18" o.c.		Full pot
TRDN	73	Tripsacum dactyloides nana	Dwarf Fakahatchee Grass	1 gal	12"-18"	10"-12"	36" o.c.		Full pot
WETR	28	Wedelia trilobata	Wedelia	1 gal	6" - 8"	8"-12"	18" o.c.		Full pot
SOD	5,599 sf	Zoysia x 'Zeon'	Zeon Zoysia	sod					



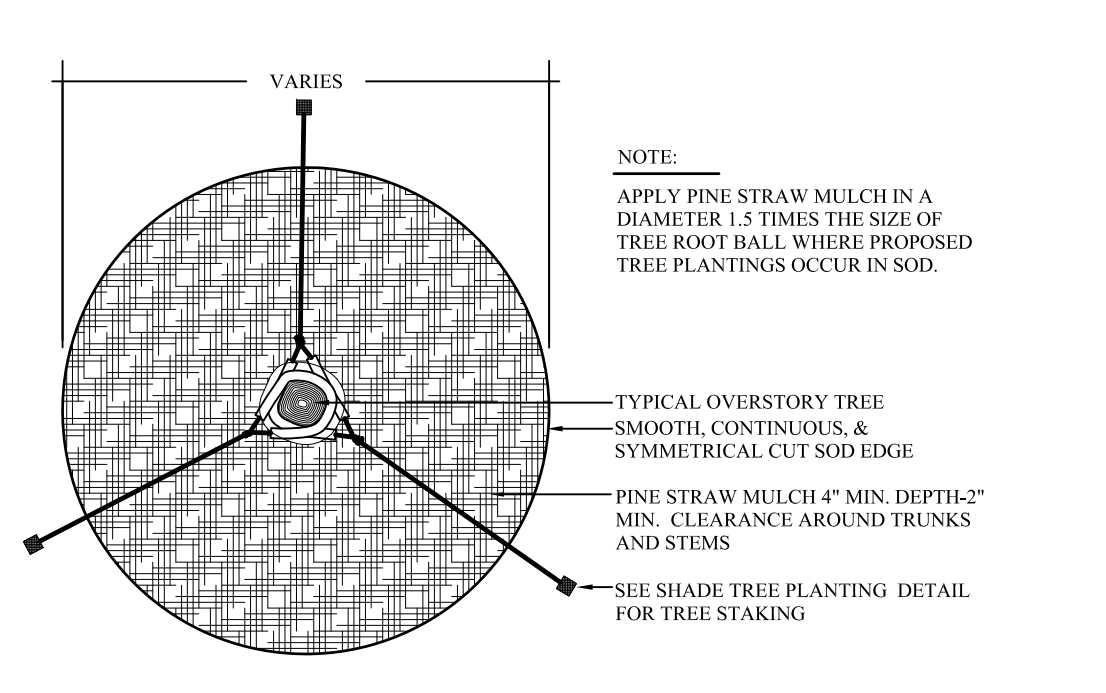
1 PALM TREE
L401 SCALE: N.T.S.



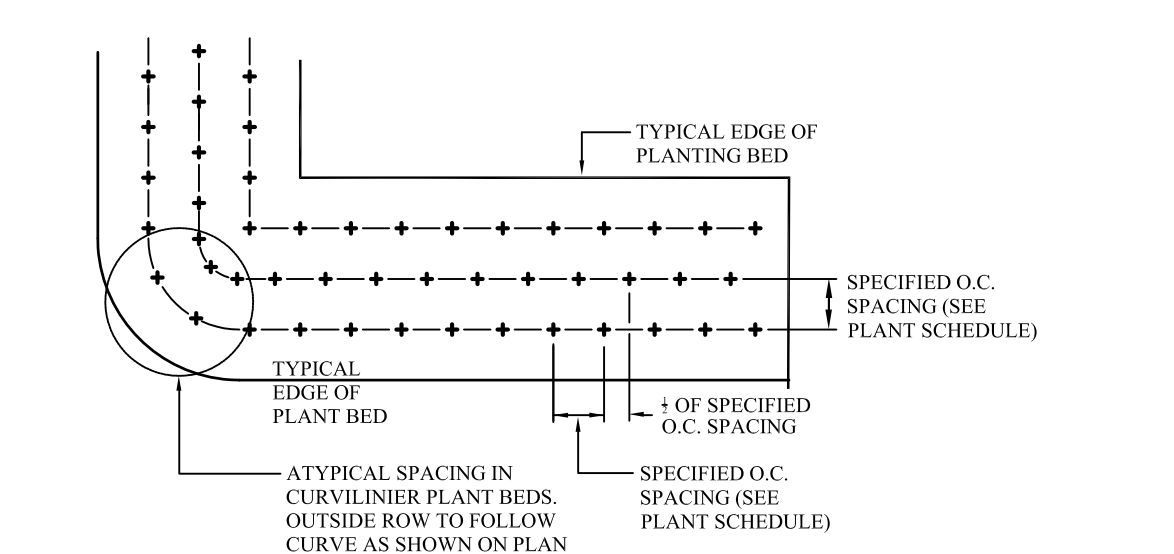
2 SHADE TREE
L401 SCALE: N.T.S.



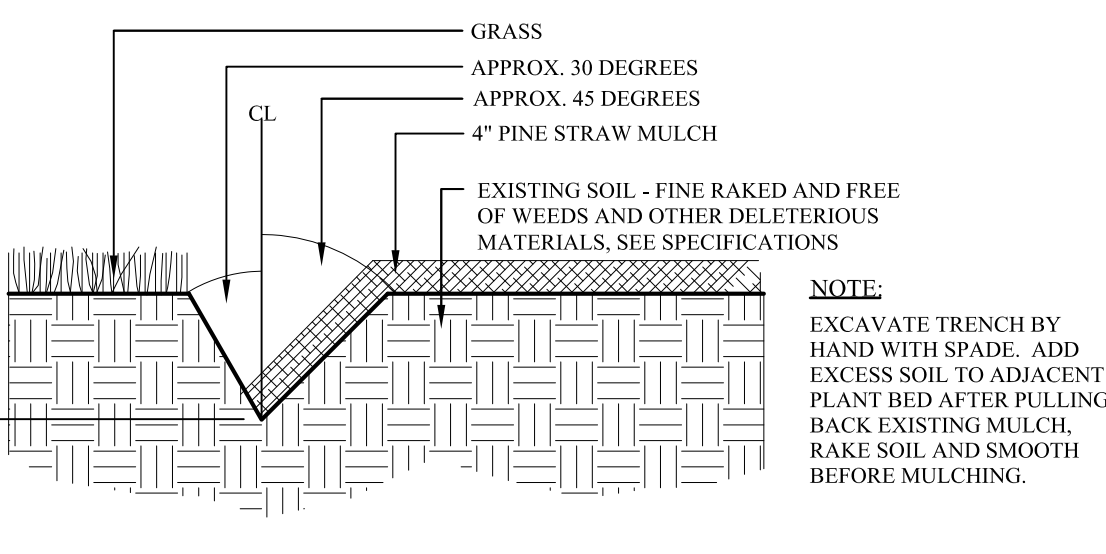
3 SHRUB PLANTING
L401 SCALE: N.T.S.



4 MULCH TREE RING
L401 SCALE: N.T.S.



5 GROUNDCOVER SPACING
L401 SCALE: N.T.S.



6 LANDSCAPE EDGE
L401 SCALE: N.T.S.

TREES REMOVED

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LIVE OAK	12"	152"
	LIVE OAK	26"	
	LIVE OAK	22"	
	LIVE OAK	26"	
	LIVE OAK	20"	
	LIVE OAK	20"	
CATEGORY II TREES REMOVED	WAX	6"	245"
	WAX	8"	
	WAX	6"	
	GUM	14"	
	GUM	12"	
	GUM	18"	
	GUM	16"	
	GUM	10"	
	GUM	10"	
	GUM	12"	
	GUM	10"	
	GUM	10"	
	HICKORY	12"	
	HICKORY	16"	
	HICKORY	8"	
	WATER OAK	22"	
	WATER OAK	14"	
	WATER OAK	10"	
BIRCH	10"		
BIRCH	8"		
BIRCH	13"		
CATEGORY III TREES REMOVED	PALM	12"	418"
	PALM	12"	
	PALM	14"	
	PALM	16"	
	PALM	16"	
	PALM	14"	
	PALM	14"	
	PALM	14"	
	PALM	14"	
	PALM	14"	
	PALM	14"	

TREE REMOVAL SUMMARY

CATEGORY	TOTAL INCHES	TOTAL REPLACEMENT NEEDED:
CATEGORY I TREES REMOVED	152"	15 TREES
CATEGORY II TREES REMOVED	245"	25 TREES
CATEGORY III TREES REMOVED	418"	42 TREES

TREE REPLACEMENT SUMMARY

TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
1	152" LIVE OAK	15	64 (10) 6" cal. Oak (15) 4" cal. Oak (3) 4" cal. Bald Cypress (3) 4" cal. Meg.
2	20" WAX MYRTLE 112" SWEET GUM 36" HICKORY 46" WATER OAK 31" RIVER BIRCH	25	25 (25) Trees borrowed from cat. 1
3	418" PALM	42	56 (54) Sabal Palms (2) Washingtonia Palms

GENERAL PLANTING & IRRIGATION NOTES:

- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, HYDRO-SEED AND PLANTING BEDS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF IRRIGATION CONTROLLER & BACK FLOW PREVENTER. CONTRACTOR TO ENSURE FULL IRRIGATION COVERAGE OF VINES AT BUILDING TRELLIS FEATURE.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF ROCKS, ROOTS, AND OTHER DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING, INCLUDING LAWN AREAS IF APPLICABLE, AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
- MULCH ALL PLANTING BEDS WITH PINE STRAW OR HARDWOOD MULCH TO A 4" DEPTH SEE PLANS FOR LOCATIONS.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID PROPOSAL IS SUBMITTED. DO NOT MAKE SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT LANDSCAPE ARCHITECT OR OWNER'S REP. PRIOR TO BIDDING.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES FOR THE CONTRACTOR'S CONVENIENCE ONLY. ITS ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL MAKE OWN QUANTITIES TAKEOFF USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER/OWNER'S REPRESENTATIVE TO ESTABLISH A PLANTING SCHEDULE THAT PRIORITIZES THE PLANTING OF ALL TREES AND LAWN AREAS.
- ALL PLANTS SHALL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REP. BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OR THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAUNAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- ANNUALS TO BE PER OWNER'S CHOICE FOR SEASON OF INSTALLATION.
- WARRANT EXTERIOR PLANTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTORS CONTROL.
- ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF GREEN OR EQUAL.

BCH Hilton Head, LLC
2745 Perimeter Parkway, Bldg. 100, Suite 370
Augusta, GA 30909

CONSTRUCTION DOCUMENTS
HERITAGE PLAZA
Hilton Head Island, South Carolina

DRAWN BY:
DM
CHECKED BY:
TT

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#	REVISION	DATE	BY
1	DRP SUBMITTAL	12-20-16	
2	DRP RESUBMITTAL	4-3-17	
3	DRP RESUBMITTAL	6-30-17	
4	DRP - HOTEL BLDG. COORDS	10-17-17	
5	PERMITTING REVISIONS	6-16-18	
6	DRP RESUBMITTAL	3-8-18	
7	DRP RESUBMITTAL	7-18-18	
8	BLDG. & SERVICE YARD	2-26-19	

DATE
8-16-2018
PROJECT NUMBER
01-14042
SHEET TITLE
PLANT DETAILS

Wood+Partners Inc. WPI
Landscape Architects
Landscape Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
843.681.6618 ■ Fax 843.681.7066 ■ www.woodandpartners.com

SHEET NUMBER
L401

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- X _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- X _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- X _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Stephanie Horrell
SIGNATURE

07/23/2019
DATE

DESIGN TEAM/DRB COMMENT SHEET SIGNS

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Courtyard Marriott/Old Heritage Plaza

DRB#: DRB-002086-2019

DATE: November 4, 2019

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The color of the façade channel letters and text on the freestanding signs match the Roman Bronze color of the roof elements on the building and signs.
2. UL Stickers on façade signs be placed on the top of the letters.
3. The background color is changed from the SW 6140 Moderate White to SW 6141 Softer Tan, which is also a building color. The color on the renderings does not represent Moderate White accurately.
4. If the signs are illuminated, the brick base should be extended across the bottom of the sign to prevent the light from being visible underneath the sign to oncoming traffic.
5. Fixtures are a maximum of 3000K or consistent with other lighting approved for the site.
6. Wind load calculations are included with the sign permit application.
7. Prior to any other sign approvals, a sign system must be approved for the other buildings.

APPLICATION MATERIALS

REQUIRED MATERIALS	Yes	No	N/A	Comments & Questions
If the sign (including structure) is larger than 40 square feet, wind load calculations stamped and signed by a certified engineer stating the sign can withstand winds of up to 130 miles per hour.		X		

DESIGN REVIEW

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
All dimensions match the Town-approved sign system, if applicable.				Application should include a sign system for all buildings.

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
Every color used is identified by manufacturer name and number, e.g. “SW 6112 Biscuit”, “BM OC-95 Navajo White”. Pantone colors are not used.		X		Tenant panel background color is too close to white. Letter color should relate to the building colors, for example a dark brown to match the Roman Bronze roof features.

LIGHTING

REQUIRED INFORMATION & DESIGN STANDARDS	Yes	No	N/A	Comments & Questions
For new signs or signs without existing lighting, rendering states: “New lighting will be installed” or “The sign will not be illuminated.”		X		No lighting information included. Suggest lighting monument signs from under roof feature. If ground level lighting is proposed, please extend the brick base fully across the bottom of the sign.
Channel letters: Rendering states UL or any other required labels will be placed on the top of the letters.		X		