



Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, May 22, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of April 24, 2018**
- 6. New Business**
 - A. *Alteration/Addition*
 - The Pink Pineapple, DRB-001160-2018
 - Marshpoint, DRB-001174-2018 (Approved March 13, 2018)
 - Shops at Port Royal, DRB-001057-2018 *
 - B. *New Development – Final*
 - Starbucks, DRB-001166-2018 (Conceptual Approval March 27, 2018) *
 - Circle K, DRB 001176-20018 (Conceptual Approval April 24, 2018) *
- 7. Board Business**
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

**Indicates projects within William Hilton Parkway and Mathews Drive intersection area.*

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
April 24, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Chairman Jake Gartner, Vice Chairman Dale Strecker, Brian Witmer, Ron Hoffman, Kyle Theodore

Board Members Excused: Michael Gentemann, Debbie Remke

Town Council Present: None

Town Staff Present: Taylor Ladd, Senior Planner; Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Chairman Gartner called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – March 27, 2018

The Board approved the minutes of the March 27, 2018 meeting by general consent.

6. New Business

A. *New Development – Conceptual*

- Circle K, DRB-000948-2018

(Vice Chairman Strecker recused himself from review of DRB-000948-2018 due to a professional conflict of interest. A Conflict of Interest form was completed, signed, and made a part of the record.)

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. The building shall include a pitched roof. Utility wells on the back of the roof are acceptable.
2. Revise the planting plan per Staff comments and to meet the LMO requirements.
3. Revise the lighting plan per Staff comments and to meet the LMO requirements.
4. Provide a Tree Removal and Preservation Plan. Include the location of existing trees to remain on the Grading Plan.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant thanked Mr. Darnell for his presentation. The applicant presented statements regarding the project and answered questions presented by the Board. In an effort to address some of Staff comments,

the applicant described the revisions submitted post-packet. The applicant is amenable to Staff comments except for the comment pertaining to the roof, as certain mechanical equipment is planned to be stored under it. The palm trees were removed and Cathedral Live Oaks are being considered to flank the building entrance. Tree sizes have been increased in the front.

Chairman Gartner requested comments from the Board. The Board generally agreed with Staff comments. The Board complimented the project and welcomed the improvement to the area. The Board emphasized it is especially critical this project meets the Design Guide. This is a predominant location on the island that can be seen from many angles. Additionally, it is diagonal from a new development (Sea Turtle Marketplace) that the Board reviewed over the course of several months.

The Board provided the following comments regarding the roof: on the left side elevation, the metal roof at the side entrance looks unnatural; the pronounced entry feature looks unnatural from the side elevations; flat roofs are generally not favored; a parapet roof all around may exacerbate the issue; relocate the mechanical equipment on the ground to achieve the pitched roof; address all four sides of the building; a creative parapet wall that has the façade of a finished roof may be an option to consider; pull back the front entry feature; provide the aesthetics of a pitched roof and allow for mechanical equipment.

The Board agreed with Staff comments regarding landscaping. Since this property is located in an Airport Overlay zone, there needs to be consideration for vegetation height. The bald cypress may be a height that needs to be avoided. A live oak provides a more suitable height and a lower canopy. The wax myrtle at the front of the property would require severe pruning, therefore, a different species should be considered.

The Board agreed with Staff comments regarding lighting. Specify on the plans that all lights will not exceed 3000K. Specify the color of the light fixtures and poles. All lighting is required to meet LMO standards.

The Board was not in favor of using the Split Face CMU material and preferred the brick water table. The Board agreed the sidewalk north of the property line should be extended to support foot traffic along Mathews Drive. Additional information will need to be provided for final submittal, including, but not limited to: a reflected ceiling plan for the gas pump area; lighting package; colors; and details of the bollards and dumpster.

Ms. Theodore made a motion to approve DRB-000948-2018 with the following conditions:

1. The building roof shall be restudied to include a pitch.
2. The planting plan shall be revised per Staff comments.
3. The lighting shall be revised per Staff comments.
4. A Tree Removal and Preservation Plan shall be submitted.
5. The water table shall be converted to a brick water table.
6. The walk shall be extended north to the property line along Mathews drive.

Mr. Hoffman seconded. The motion passed with a vote of 4-0-0.

B. Alteration/Addition

- Hilton Head Brewing Company, DRB-000834-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following condition:

1. Revise the planting plan per Staff comments and submit for Staff approval.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board. The applicant noted changes made since the Board received the meeting packet materials.

Chairman Gartner requested comments from the Board. The Board agreed with Staff comments to mass similar plantings together. The plant material proposed is acceptable. The stepping stones have been removed and will be replaced with plant material, English Boxwood. The trellis structure has been shifted to the right. The deck abuts to the pavement. The Board was concerned for adequate landscaping, as multiple large trees have been removed from the site. The suggestion was made to have landscaping on all sides of the covered porch which would also provide a buffer at the parking area. The deck stain will need to be solid and identified. The standing seam metal roof and wood trim will be bronze to match the existing doors and window frames. Regarding the heaters and fans, there will be a routed out channel for the conduit and trim to cover the exposed conduit. The applicant confirmed that conduit will not hang down from the column. The height of the header on all the doors and windows are required to match. There was discussion on the underside of the ceiling of the covered porch. Where there's not a roof rafter or purlin, there will be factory finish metal, which is typically white. The purlins will be painted to match the columns. The Board recommended that the railroad ties at the parking area are pulled back and aligned as one continuous straight line.

VC Strecker made a motion to approve DRB-000834-2018 with the following conditions:

1. Revise the planting plan per Staff comments, and submit the revised plan for Staff approval.
2. The size of the replacement tree at the planted median by the building shall be increased to a minimum 4" caliper.
3. The deck shall be a solid stain.
4. The purlins at the roof shall be painted to match the columns.
5. The electrical conduits that are routed into the backside of the columns shall be covered with trim, and submit detail for Staff approval.
6. Cut sheets for the ceiling fans and heaters shall be submitted for Staff approval.
7. The height of the header at the sliding glass door shall match the header height at the existing doors and windows.

Ms. Theodore seconded. The motion passed with a vote of 5-0-0.

- The Omni, DRB-000946-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. The shade sail is eliminated from the proposed project.
2. No additional trees are removed.

3. No additional brick pavers are added beyond existing.
4. The proposed shed is compliant with the LMO Transition Zone requirements or receives a waiver from those requirements.

Chairman Gartner asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board. The applicant indicated one existing shade sail is in a tree, therefore, it will be pulled back.

Chairman Gartner requested comments from the Board. The Board generally agreed with Staff comments. The Board discussed the shade sail. Some of the Board members expressed the shade sail may be fitting if it were a nature blending color in the beige/sand family. However, the Board has turned those down in the past, as they are not in keeping with Island Character. The Board would prefer to see something more integral to the architecture. The Board confirmed with the applicant that the proposed tile will match the existing tile below the bar area; no additional paving is being proposed; no trees are proposed to be removed; the mechanical equipment will remain as existing; and the maintenance double doors will be of exterior grade. The new storage building generally matches the pool building, with the exception of the base band that is white on the pool building.

Chairman Gartner made a motion to approve DRB-000946-2018 with the following conditions:

1. The shade sail is eliminated from the proposed project.
2. No additional trees are removed.
3. No additional brick pavers are added beyond existing.
4. The proposed shed is compliant with the LMO Transition Zone requirements or receives a waiver from those requirements.

Mr. Witmer seconded. The motion passed with a vote of 5-0-0.

7. Board Business

The Board asked for an update on its letters sent to Town Council regarding sign size and interior neon lighting. Staff will look into this and update the Board.

8. Staff Report – None

9. Appearance by Citizens – None

10. Adjournment

The meeting was adjourned at 2:50 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Jake Gartner, Chairman



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	5-8-2018
Accepted by:	Sarah W.
DRB #:	1160-2018
Meeting Date:	

Paid ch ✓

Applicant/Agent Name: Craig Cleveland Company: The Pink Pineapple
 Mailing Address: 1405 Main St City: HHI State: SC Zip: 29926
 Telephone: 8435405240 Fax: _____ E-mail: HHICraig@gmail.com
 Project Name: Building Front Paint Project Address: 841 William Hilton Parkway Unit P
 Parcel Number [PIN]: R520 011 000 025C 0000 Hilton Head Island, SC
 Zoning District: LC Overlay District(s): 29928

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Craig Cliff
SIGNATURE

5-7-18
DATE

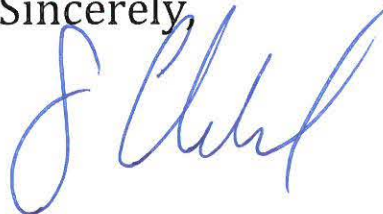
Craig Cleveland
The Pink Pineapple
1405 Main Street
Hilton Head Island, SC 29926
5/7/2018

RE: Town of Hilton Head Island, Community
Development Department

To whom it may concern:

Enclosed is our request to paint the outside wall of the location we are relocating to. The new address is 841 William Hilton Parkway, Suite P, Hilton Head Island, SC 29928. The paint color we have chosen is a muted color that we believe works with the other stores in the plaza. I have included photos with the sample against the adjacent building. Please let me know if you have any questions.

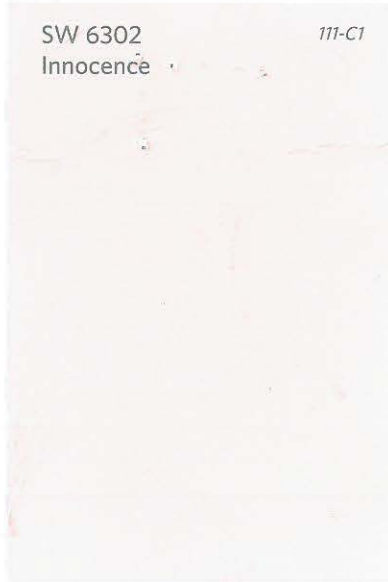
Sincerely,



Craig Cleveland

SW 6302
Innocence

111-C1



THE PINK PINEAPPLE, 841 William Hilton Parkway, HHI, SC 29928

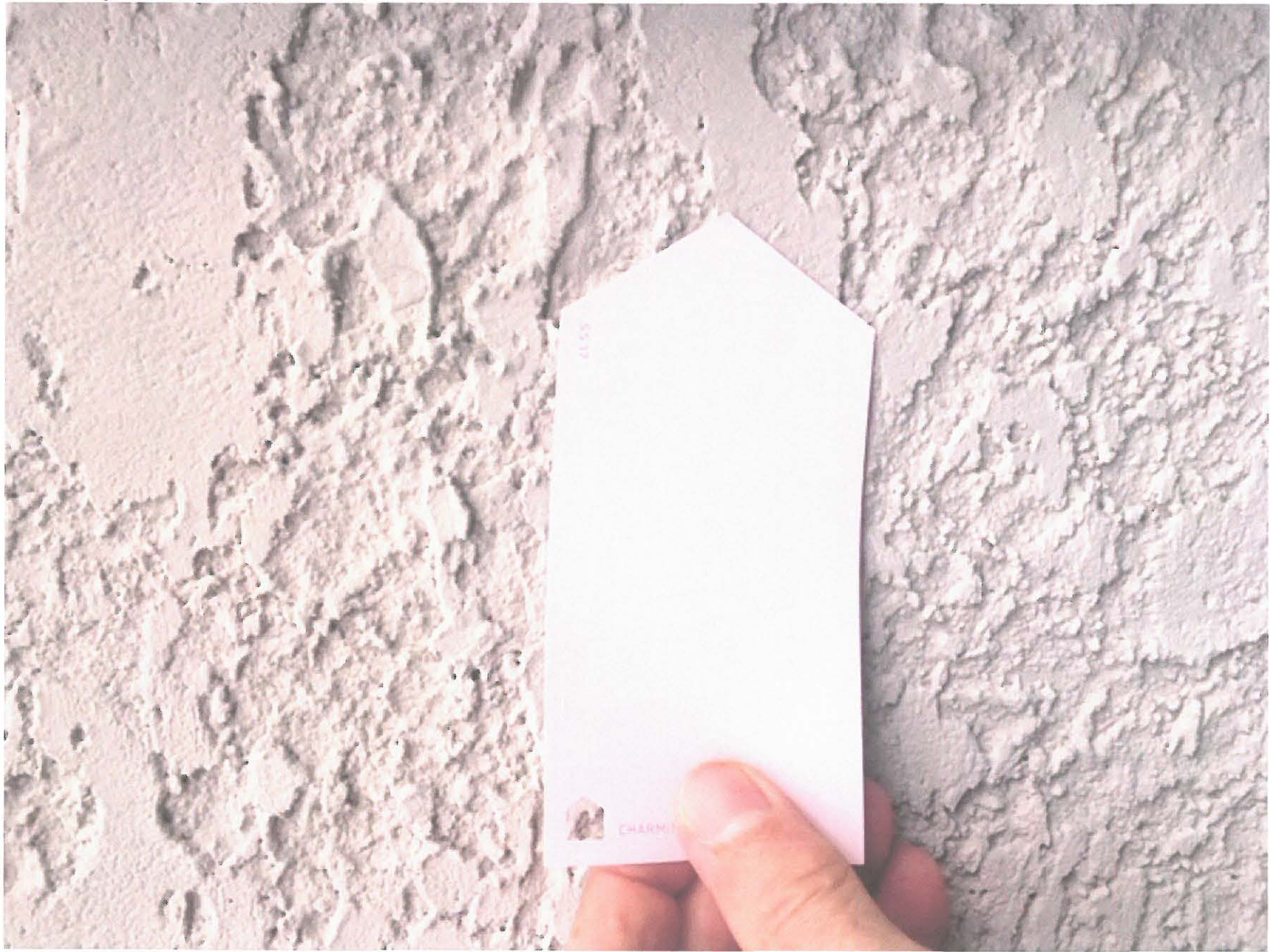


Pink
Paint
~~Paint~~





841 William Hilton Parkway Suite L
against wall at Tequila Sunrise in Shopping Center





Similar Colors in Main Street Village
The Pink House Gallery



Pink House Gallery





Darling Eye Center



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Pink Pineapple

DRB#: DRB-001160-2018

DATE: 05/09/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. SW 6302 "Innocence" is not a nature blending color and not in keeping with Island Character.
2. Taking the color of the adjacent units into consideration, Staff does not think the proposed color work on this elevation. The proposed color is too light and will wash out that part of the shopping center.
3. The applicant should consider a darker color for the building that would offset pink as an accent on the sign.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: K.C. Burmester Company: All Restoration Solutions, LLC
 Mailing Address: 5100 Kennesaw S. Ind. Pkwy City: Kennesaw State: GA Zip: 30144
 Telephone: (673) 945-0150 Fax: _____ E-mail: kc@allrestorationsolutions.com
 Project Name: Marsh Point Apartments Project Address: 100 Marsh Point Drive
 Parcel Number [PIN]: R 510 007 000 132D 0000
 Zoning District: A-7 Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

1. To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

K.C. Burmester
SIGNATURE

5/11/18
DATE



To whom it may concern,

All Restoration Solutions, (ARS), has been selected as the general contractor to perform, enhance and upgrade the property at Marsh Point Apartments, located at 100 Marsh Point Drive, Hilton Head Island, SC 29926.

ARS will be repairing, replacing damaged siding with new materials and siding to match. New double insulated windows will also be removed and replaced with new windows that meet all the local and state building codes.

ARS will be painting the exteriors of all the existing buildings on the property. This will enhance and improve the appearance value of all the existing structures on the property.

ARS has been approved by the DRB for the repairs, window replacement and color scheme submitted in February 2018.

The property owners want to add a very similar paint scheme on every other building throughout the property. This will give more character and keep within Hilton Head Islands requirements and standards. The owners would like to place a pre-engineered utility building as well as build a mailbox kiosk over existing mailbox cluster. Both are indicated on the location survey map.

Thank you,

K.C. Burmester

Office: (678) 945-0150

Mobile: (404) 242-9861



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-341-2087
 www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
 Date Received: _____
 App. #: _____
 Form revised 10-2012

**AFFIDAVIT OF OWNERSHIP AND
 HOLD HARMLESS PERMISSION TO ENTER PROPERTY**

The undersigned being duly sworn and upon oath states as follows:

1. I am the current owner of the property which is the subject of this application.
2. I hereby authorize Green Capital Full Restoration to act as my agent for this application only.
3. All statements contained in this application have been prepared by me or my agents and are true and correct to the best of my knowledge.
4. The application is being submitted with my knowledge and consent.
5. Owner grants the Town, its employees, agents, engineers, contractors or other representatives the right to enter upon Owner's real property, located at 100 Marsh Point Drive, Hilton Head (Address), SC
R51D 007 000 132D 0000 (parcel ID) for the purpose of application review, for the limited time necessary to complete that purpose.
 Description of Work: Roofing and Exterior Siding
6. Owner agrees to hold the Town harmless for any loss or damage to persons or property occurring on the private property during the Town's entry upon the property, unless the loss or damage is the result of the sole negligence of the Town.
7. I acknowledge that the Town of Hilton Head Island Municipal Code requires that all construction in a Special Flood Hazard Zone be constructed in accordance with the following provisions that:
 - a. any enclosed area below the base flood elevation will be used solely for parking of vehicles, limited storage or access to the building. This space will never be used for human habitation without first becoming fully compliant with the Town's Flood Damage Controls Ordinance in effect at the time of conversion.
 - b. all interior walls, ceilings and floors below the base flood elevation will be constructed of flood resistant materials.
 - c. all mechanical, electrical and plumbing devices will be installed above base flood elevation.
 - d. walls of the enclosed area below base flood elevation will be equipped with at least two openings which allow automatic entry and exit of flood water. Openings will be on two different walls with at least one square inch of free area for every square foot of enclosed space and have the bottom of openings no more than a foot above grade.
 - e. the structure may be subject to increased premium rates for flood insurance from the National Flood Insurance Program.
8. I understand that failure to abide by Town permits, any conditions, and all codes adopted by the Town of Hilton Head Island deems me subject to enforcement action and/or fines.

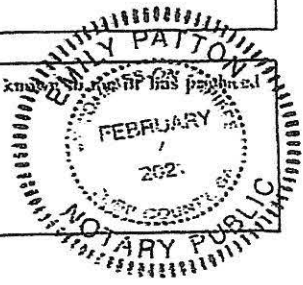
Print Name: Dimitri Novikov Owner Signature: [Signature]
 Phone No.: _____ Email: [Signature]
 Date: 1/5/18

The foregoing instrument was acknowledged before me by Dimitri Novikov who is personally known to me as identification and who did not take an oath.

WITNESS my hand and official seal this 5 day of January D. 2018

[Signature]
 Notary Public Signature

My Commission expires 2/7/2021
 Please affix seal or stamp.





Marsh Pointe Apartments - ORIGINAL IMAGE



SW 6152
Superior Bronze

Upper Body



SW 6150
Universal Khaki

Lower Body



SW 6148
Wool Skein

Trim



SW 7048
Urbane Bronze

Doors



**SW 7748
Green Earth**

Upper Body



**SW 6150
Universal Khaki**

Lower Body



**SW 6148
Wool Skein**

Trim



**SW 7048
Urbane Bronze**

Doors



Marsh Pointe Apartments - ORIGINAL IMAGE



SW 6152
Superior Bronze

Upper Body



SW 6150
Universal Khaki

Lower Body



SW 6148
Wool Skein

Trim



SW 7048
Urbane Bronze

Doors



**SW 7748
Green Earth**

Upper Body



**SW 6150
Universal Khaki**

Lower Body



**SW 6148
Wool Skein**

Trim



**SW 7048
Urbane Bronze**

Doors

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Starbucks Sea Turtle Marketplace

DRB#: DRB-001166-2018

DATE: 05/09/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Remove curb beyond existing edge of asphalt with-in dripline of the 26 Live Oak at William Hilton Parkway.
2. Add bollard to protect ground from compaction with-in dripline of the 26 Live Oak at William Hilton Parkway.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No but slope is appropriate

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Remove curb beyond existing edge of asphalt. 2. Add bollard to protect ground from compaction.

Rec'd 4:30 pm



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: 4-24-18
Accepted by: Sarah W.
DRB #: 001057-2018
Meeting Date: _____

Applicant/Agent Name: SVC, LLC Company: _____
Mailing Address: PO Box 5, Hilton Head Island City: _____ State: SC Zip: 29928
Telephone: (843) 681-4200 Fax: _____ E-mail: _____
Project Name: shops at Port Royal Plaza Project Address: 95 Matthews Dr
Parcel Number [PIN]: R511 008 000 0192 0000
Zoning District: CC Overlay District(s): Corridor

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.
Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for *All* projects:
NA Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Glidden

Trim

Field
Band

Grey Mountain
Specify #40YY 25/074

Order #A1860

*The
Master
Palette*

Designer Grey
50YY 63/041

DN042



"Medium Bronze" Metal Standing Seam Room
Building Band to match





The Purple Cow

AURORA
Beauty Salon

CONFECTIONS

COCKTAILS

ISLAND TRAVEL

Island Travel
Travel & Cruise
Concessions

Buck

ESCORTED TRAVEL

NO PARKING

Residence Club

RESERVE





♣ Bridge Club ♠





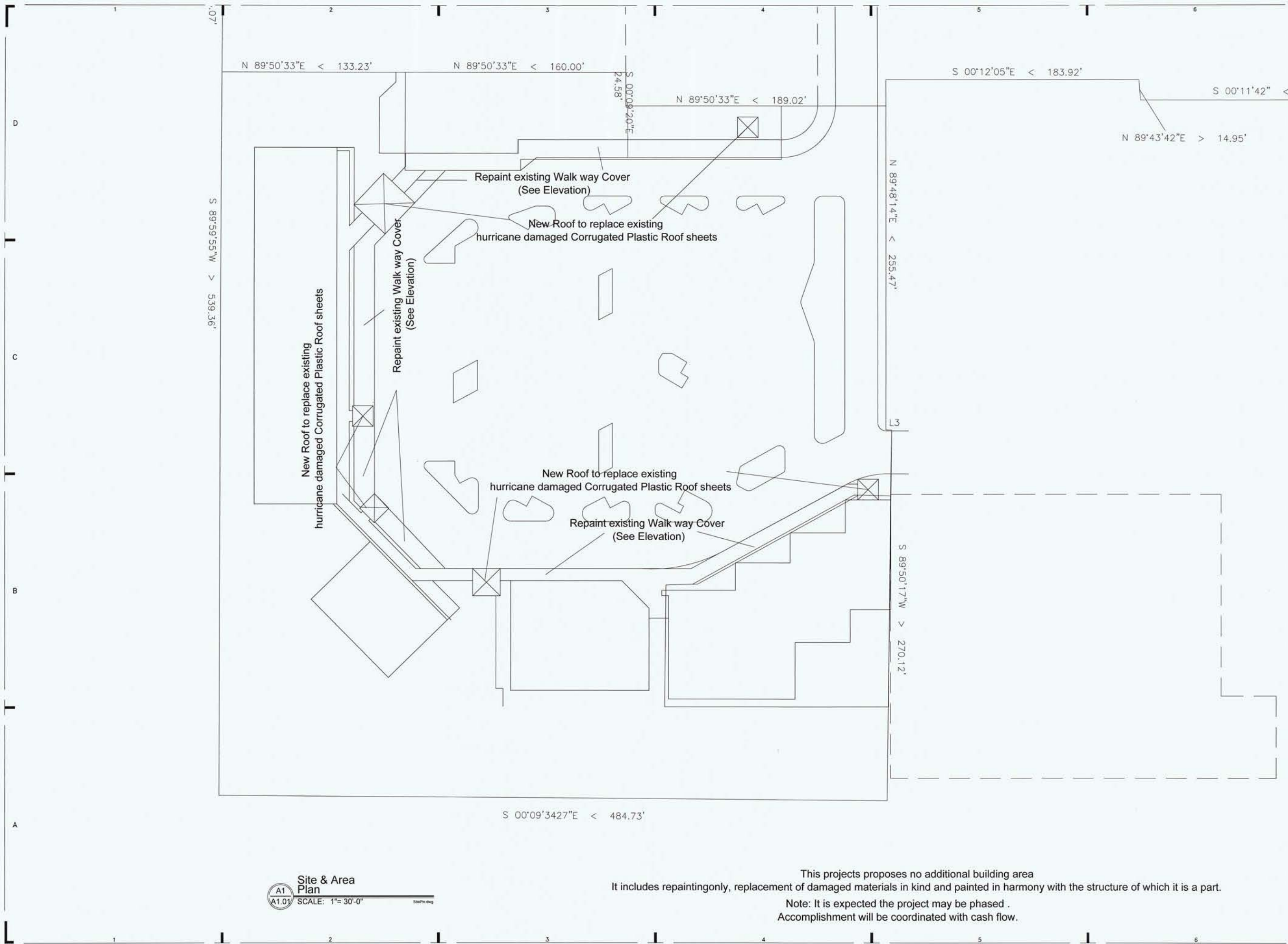


Replace

Replace







Site & Area Plan
 SCALE: 1" = 30'-0"
 SHEET NO. A1.01

This projects proposes no additional building area
 It includes repainting only, replacement of damaged materials in kind and painted in harmony with the structure of which it is a part.
 Note: It is expected the project may be phased .
 Accomplishment will be coordinated with cash flow.

Site Plan
 4-24-18

RELEASE FOR CONSTRUCTION DATE: June 25, 2018
 RELEASE FOR PERMIT DATE: June 15, 2018
 Feb 20, 2018

JYR Architect
 ARCHITECTURE, PLANNING & ENTITLEMENT
 20 Willow Oak W, Hilton Head Island, SC 29928
 (843) 368-5641
 E-Mail : jyraarchitect@gmail.com

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NO.	DATE	REVISION

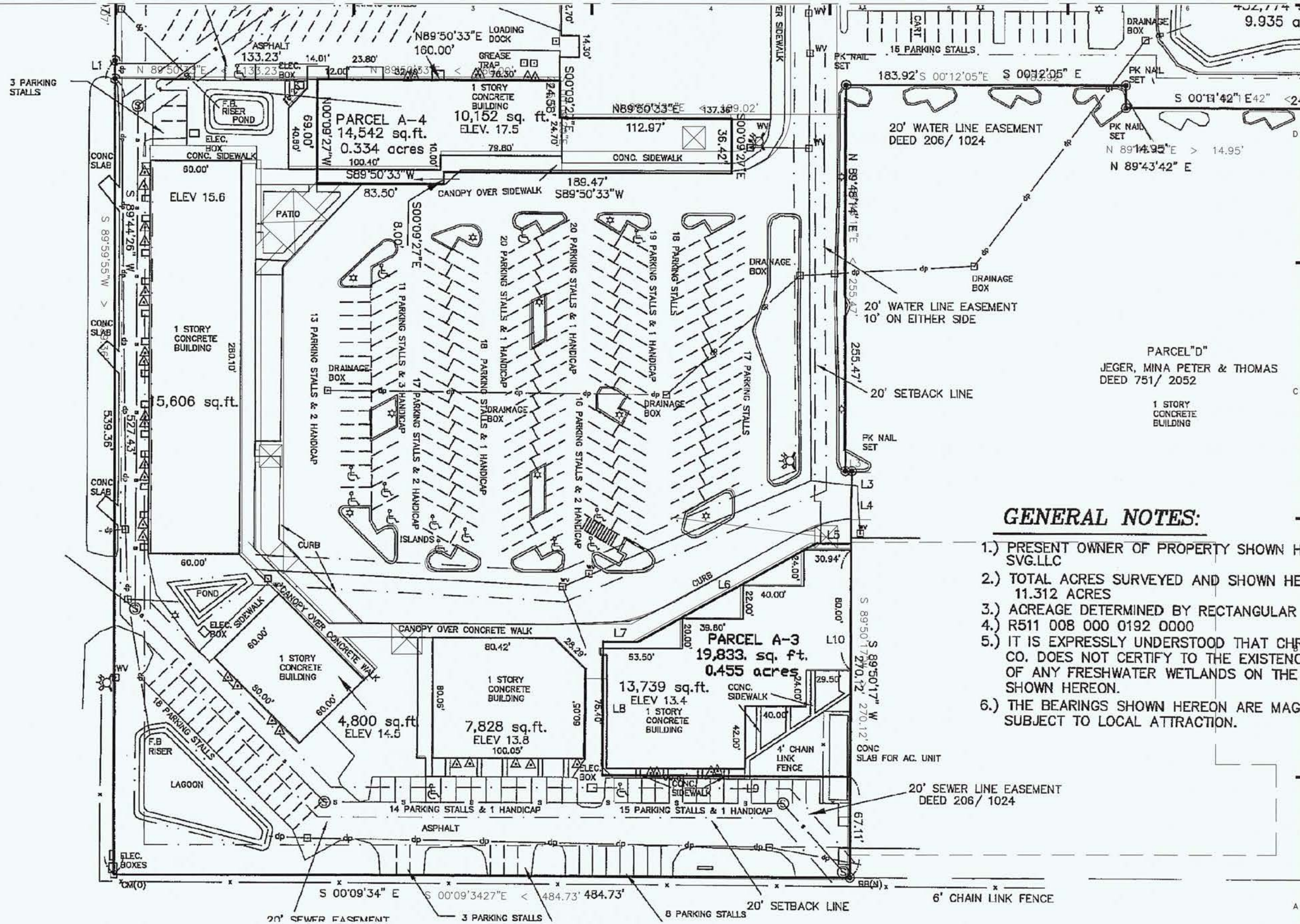
Repainting & Refurbishing
 Port Royal Plaza
 Lot 3 Port Royal Plaza
 Hilton Head Island, SC
 PREPARED FOR:
The Bradshaw Group

PROJECT NO: JYR-3073-JYR
 DRAWN BY: #
 CHECKED BY: JYR

SITE PLAN

SHEET NO.
A1.02

DRIVE 50' R/W



GENERAL NOTES:

- 1.) PRESENT OWNER OF PROPERTY SHOWN HEREIN IS SVG.LLC
- 2.) TOTAL ACRES SURVEYED AND SHOWN HEREON IS 11.312 ACRES
- 3.) ACREAGE DETERMINED BY RECTANGULAR SURVEY
- 4.) R511 008 000 0192 0000
- 5.) IT IS EXPRESSLY UNDERSTOOD THAT CHRYSLER FINANCIAL CORP. DOES NOT CERTIFY TO THE EXISTENCE OF ANY FRESHWATER WETLANDS ON THE PROPERTY SHOWN HEREON.
- 6.) THE BEARINGS SHOWN HEREON ARE MAGNETIC BEARINGS SUBJECT TO LOCAL ATTRACTION.

A1
A1.03
Site As-built Survey
SCALE: 1" = 30'-0"

This projects proposes no additional building area
It includes repainting, relighting and additional building elements such as columns, screen walls, gutters, and downspouts
Note: It is expected the project may be phased.
Accomplishment will be coordinated with cash flow.

Site Plan
4-24-18

RELEASE FOR CONSTRUCTION DATE:
June 25, 2018
RELEASE FOR PERMIT DATE:
June 15, 2018
Feb 20, 2018

JYRArchitect
ARCHITECTURE, PLANNING & ENTITLEMENT
20 Willow Oak W, Hilton Head Island, SC 29928
(843) 368-5641
E-Mail: jyrarchitect@gmail.com

NO. DATE REVISION

Repainting & Refurbishing
Port Royal Plaza
Lot 3 Port Royal Plaza
Hilton Head Island, SC
PREPARED FOR:
The Bradshaw Group

PROJECT NO: JYR-3073-JYR
DRAWN BY: R
CHECKED BY: JYR

SITE PLAN

SHEET NO.
A1.03

Final
4-24-18

STAMP:

STAMP:

RELEASE FOR CONSTRUCTION DATE:

June 25, 2018

RELEASE FOR PERMIT DATE:

June 15, 2018

Feb 20, 2018

JYRArchitect
ARCHITECTURE, PLANNING & ENTITLEMENT
20 Willow Oak W, Hilton Head Island, SC 29928
(843) 368-5641
E-Mail: jyrarchitect@gmail.com

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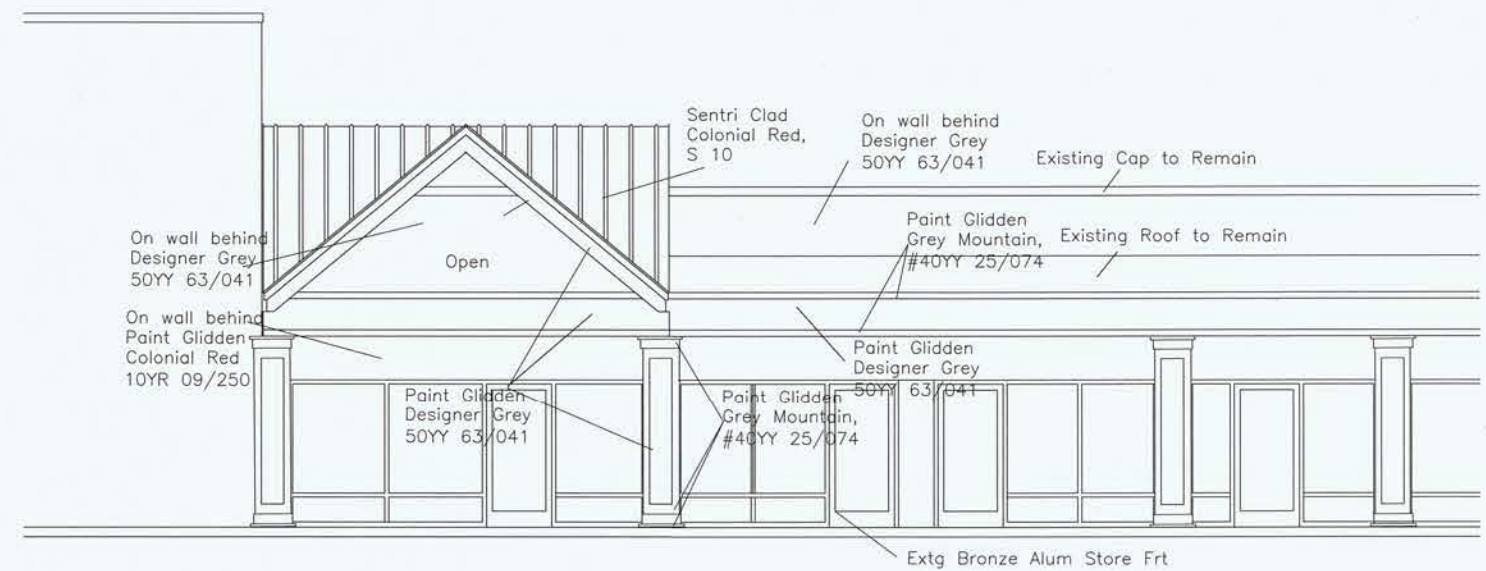
NO.	DATE	REVISION

Repainting & Refurbishing
Port Royal Plaza
Lot 3 Port Royal Plaza
Hilton Head Island, SC
PREPARED FOR:
The Bradshaw Group

PROJECT NO: JYR-3073- JYR
DRAWN BY: R
CHECKED BY: JYR

Elevations
Opt A

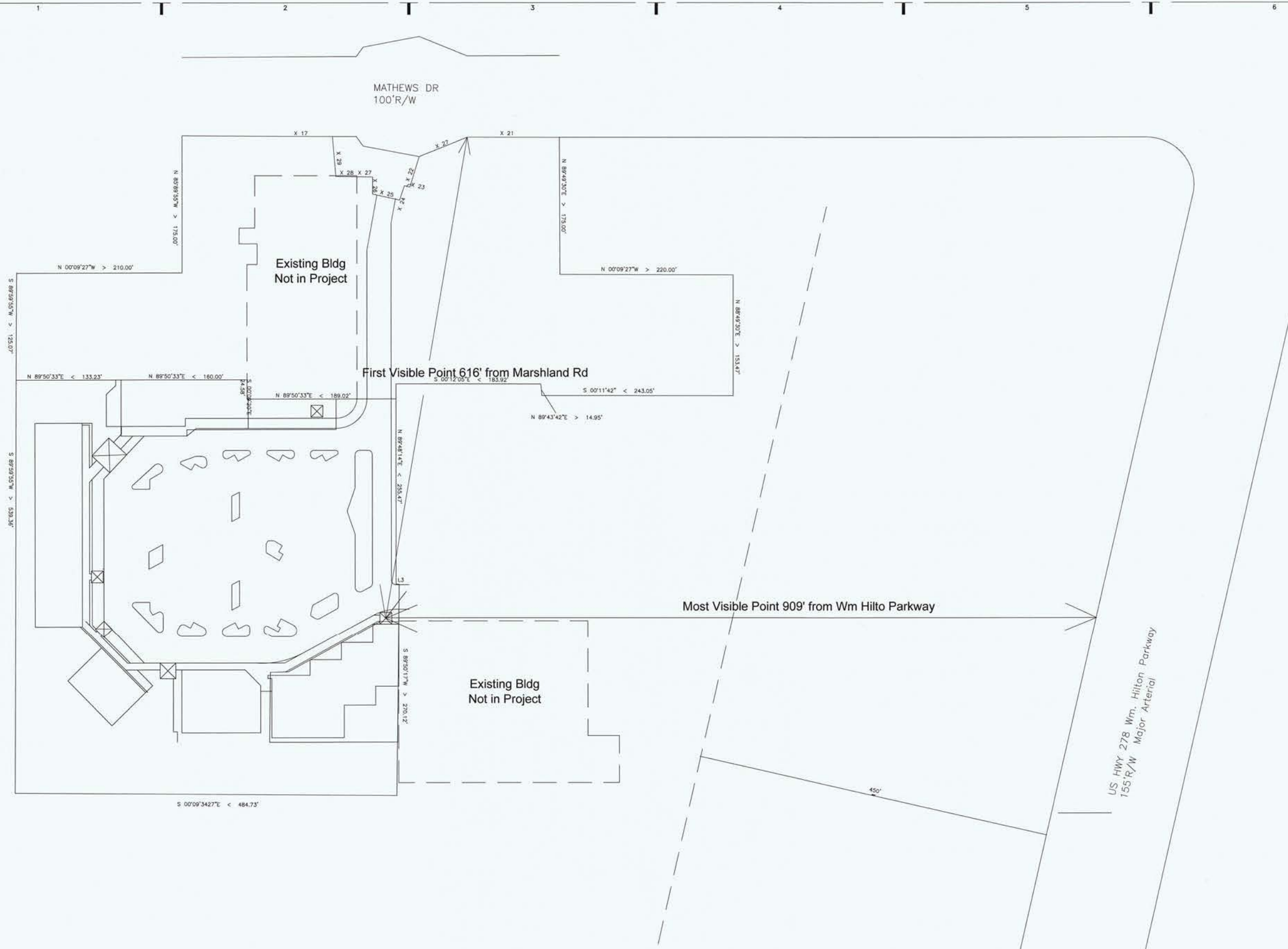
SHEET NO.
A3.01



Partial Front Elevation - Large Scale
SCALE: 1/4"=1'-0"
A1
A3.01

Note: It is expected the project may be phased .
Accomplishment will be coordinated with cash flow.

Note: All stucco is existing and should be power washed, and where necessary repointed or patched prior to re-painting.
Existing stucco texture is sand finish.



Site & Area Plan
 A1.01 SCALE: 1" = 60'-0"
 SitePlan.dwg

This projects proposes no additional building area
 It includes repainting only, replacement of damaged materials in kind and painted in harmony with the structure of which it is a part.
 Note: It is expected the project may be phased .
 Accomplishment will be coordinated with cash flow.

Site Plan
 4-24-18

RELEASE FOR CONSTRUCTION DATE:
 June 25, 2018
 RELEASE FOR PERMIT DATE:
 June 15, 2018
 Feb 20, 2018

JYRArchitect
 ARCHITECTURE, PLANNING & ENTITLEMENT
 20 Willow Oak W. Hilton Head Island, SC 29928
 (843) 368-5641
 E-Mail : jyrarchitect@gmail.com

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NO.	DATE	REVISION

Repainting & Refurbishing
 Port Royal Plaza
 Lot 3 Port Royal Plaza
 Hilton Head Island, SC
 PREPARED FOR
The Bradshaw Group

PROJECT NO: JYR-3073- JYR
 DRAWN BY: R
 CHECKED BY: JYR

SITE PLAN

SHEET NO.
A1.01

DRB-00157-2-018

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shops at Port Royal

DRB#: DRB-1057-2018

DATE: 04/25/2018

RECOMMENDATION: Approval Approval with Conditions Denial
RECOMMENDED CONDITIONS:

MISC COMMENTS/QUESTIONS

1. Specify the roof material being proposed (i.e., standing seam or 5V crimp).
2. It appears the proposed red will highlight / pull the red / pink / salmon in the current shingles of the promenade roof. Staff suggest the red be reconsidered in context with those shingles.
3. The proposed red roof and red ban above the storefront would be excessive. Use of the red should be as an accent color on a more limited basis.
4. Given the extend phasing proposed by the applicant, staff suggest a different color scheme be considered that would coordinate with the existing building colors in an effort to reduce the contrast between the two.



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Jason Broene Company: Court Atkins Group
 Mailing Address: PO Box 3979 City: Bluffton State: SC Zip: 29910
 Telephone: 843-815-2557 Fax: 843-815-2547 E-mail: Jason.Broene@courtatkins.com
 Project Name: Starbucks, Sea Turtle Marketplace Project Address: 416 William Hilton Parkway
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 0 2 4 7 0 0 0 0
 Zoning District: Community Commercial Overlay District(s): Corridor & Airport

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *ALL* projects:

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Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.
- For freestanding signs:
- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
 - _____ Proposed landscaping plan.
- For wall signs:
- _____ Photograph or drawing of the building depicting the proposed location of the sign.
 - _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

5/8/2018

DATE

DESIGN REVIEW BOARD CORRIDOR

PROJECT NARRATIVE

FINAL DRB SUBMITTAL

STARBUCKS @ SEA TURTLE MARKETPLACE

Project Information:

Project Name: Starbucks @ Sea Turtle Marketplace (Former Pineland Station) Redevelopment

Location: 430 William Hilton Parkway

Pre-Application Number: PAPP-001263-2017

Project Contacts:

Developer:

WD-1 Associates
Virginia Beach, VA 23451
404-309-3444

Architect:

Court Atkins Architects, Inc.
P.O. Box 3978
Bluffton, SC 29910
843-815-2557

Civil Engineer:

LeCraw Engineering
3475 Corporate Way, Suite A
Duluth, GA 30096
678-546-8100

Landscape:

Wood+Partners, Inc.
P.O. Box 23949
Hilton Head Island, SC 29925
843-681-6618

Project Description

Site Narrative:

The proposed site redevelopment of Starbucks at Sea Turtle Market Place addresses existing site constraints by reconfiguring vehicular circulation and the drive-thru orientation. The existing drive-thru window is located on the western side of the building, backing cars up to US Highway 278. The proposed layout relocates the drive-thru on the eastern side of the building, allowing the site to conform to current LMO stacking distance standards. An effort was made to retain as much existing vegetation as possible, while accommodating the new land plan. All proposed bike racks, bollards, and site lights will match existing fixtures in the shopping center.

In response to DRB preliminary comments, revisions were made to the land plan and landscape plan. In order to provide the 26" Live Oak with more space, the northern drive aisle was reduced to the LMO minimum of 14 feet and the plant bed between the outdoor patio and curb was slightly reduced. An agreement with staff was made to provide the 26" Live Oak in question with a pre-construction & post-construction feeding program. Bike racks have been added on site in the northern most buffer. Additionally, all Shell Ginger and Philodendron have been removed from the landscape plan.

Building Narrative:

As part of the Sea Turtle Marketplace redevelopment, the architectural design and character was intended to provide an updated beach and Lowcountry inspired aesthetic to the center with the Stein Mart façade renovation, new Junior Anchor buildings, and new out parcel buildings G and F. The next phase in the redevelopment is to replace the existing fire damaged Starbucks building with a new 2,200 sqft. Starbucks that will reflect the materials and characteristics of the recently completed buildings within the marketplace and provide its own identity on the site. The site and building design has been a collaborative design effort between the Developer, Starbucks Design Team, Court Atkins Group and Wood and Partners. Architectural elements include sloped metal roofs with generous overhangs, aluminum storefront window systems, horizontal cementitious lap siding and trim, and decorative cylindrical light fixtures. Building colors will include charcoal metal roofing, storefront frames, and light fixtures as seen throughout the marketplace and siding colors in the gray tones to include Sherwin Williams Reserved White (cementitious trim), Night Owl and Gray Clouds (3" and 6" cementitious lap siding).

In response to the DRB preliminary comments the wall sconces at the two exit / entry points of the building were reduced in size (6"x18") and light fixture cut sheets and photometrics have been provided. The light fixtures below the transom windows along the rear and sides of building were reduced in size (3x12) and their mounting height increased to match the mounting height of the light fixtures at the exit/entry locations. Light fixture cut sheets and photometrics have been provided.

The color scheme for the building is based on the following:

- Aluminum Storefront (Charcoal)-Same as PetSmart & Buildings G&F.
- Metal Roofing (Charcoal)-Same as PetSmart & Buildings G&F.
- Hardie Trim, Soffit, Fascia (Reserved White)-Same as Buildings G&F
- Hardie Siding Body Color (Gray Clouds)-Unique to Starbucks Bldg.
- Hardie Siding Accent Color (Night Owl)- Darker shade on the same color chart of Building G & F body and accent colors.
- Light Fixtures (Charcoal)-Same as PetSmart and Buildings G&F.

Lastly, based on the interior layout required Starbucks has requested to reduce the amount of storefront on the east elevation by 11'-0" and change the exterior wall surface to hardie siding. This is an update from the Conceptual DRB submittal's east elevation.

Other Review Board Approvals:

None.

ANNAPOLIS

Product Data Sheet



The Annapolis™ Bollard is a handsome sentinel that performs multiple maneuvers with style. Standard Bollard, Security Bollard and Smart Bollard share basic design and construction characteristics, specialize in their features and functions. Annapolis offers distinctive solutions in scope and detail for path making and wayfinding, safety and security in outdoor environments.

Annapolis™ Standard Bollard






- Available in 6" and 12" diameter, with or without low-voltage LED lighting.
- A protective polyethylene sleeve is available in black or silver.
- Both sizes are designed to be securely embedded in concrete.
- For additional site flexibility, the 6" diameter is offered in a surface mount and a removable style; slides into supplied, embedded, galvanized steel socket.
- A keyed lock secures the bollard when in the socket.
- Upon removal, a cover plate fits flush with the surface; secured with a chain.
- Cover plate/chain stores within the bollard base when the bollard is in the socket.
- For the hardwired lit version, the following specifications apply:
 - LED rated life: 60,000 hrs
 - lumen output: 50 lumens
 - power consumption: approximately 3 watts
 - color temperature: 3500K
 - input voltage: 120-277 VAC
- All 6" styles, including 6" removable bollard may be fitted with the Smart bollard top to provide solar powered lighting.

Annapolis™ Smart Bollard

- Embedded, removable, or surface mount bollard style.
- The monocrystalline solar panel collects energy from the sun and converts it to electrical current.
- Energy is stored in a sealed lead-acid rechargeable battery that delivers extremely reliable power output over a long period of time.
- The microprocessor-based charge controller turns lights on at dusk and off at dawn.
- 4 white LEDs (3500K) provide 360-degree visibility.
- For more detailed specifications, refer to Annapolis Smart Bollard technical chart on the following page.

Annapolis™ Security Bollard

- Available in 6" and 12" diameter. 6" dia. security bollard may be specified with Smart solar-powered LED light.
- Security bollard is designed to be permanently embedded with a reinforced footing and internal concrete/steel reinforcement. Details for an optional security footing available on our website at www.landscapeforms.com

	STYLE	DIAMETER	HEIGHT	PRODUCT WEIGHT
	6"	6"	33"	Surface Mount: 47lbs Embedded: 80lbs Removable: 107lbs
	12"	12"	33"	Embedded: 200lbs
	6" removable bollard			
	protective sleeve			
	lighted bollard top			

ANNAPOLIS

Product Data Sheet



Finishes

- Metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- Call for standard color chart.

To Specify

- Choose 6" or 12" diameter embedded style, 6" surface mount style, or 6" removable style.
- Specify black or silver protective polyethylene sleeve or without sleeve.
- Specify with or without lighting based on the following guidelines:
- 6" embedded and surface mount, available with hard wired or solar powered lighting; 6" removable only offered with solar lighting; 12" embedded only offered with hard wired lighting.

Warranty

Landscape Forms, Inc. warrants all products (other than noted exceptions) to be free from defects in material and/or workmanship for a period of three years from date of invoice. Noted exceptions: LED lighting products are warranted for six years.

Designed by Brian Kane, IDSA

Annapolis Smart Bollard is protected by U.S. Patent Nos. D6,573,659; D6,013,985

SOLAR LIGHT SPECIFICATIONS:

Lamp	4 Nichia LEDs
Color Temp	3500K
LED Luminous Flux	76 lumens
LED Energy Consumption	.43 watt max
TM21 LED Lifespan	Up to 60,000 hours
Solar Top	tempered Borosilicate glass top with Mono-Crystalline PV cells
Diffused Lens	translucent acrylic
Protection Rating	IP66 for solar light assembly
Horizontal Output	360°
Average Direct Sunlight Exposure to Maintain Function	4 hours
Latitude Range	50° S to 50° N
Battery	valve regulated lead-acid
Nominal Battery Voltage	6 volts
Capacity	7.0 amp-hr at 20-hr discharge rate
Temperature Range	-40°F to 115°F
Maximum Operation	14 hours

Visit our landscapeforms.com for more information. Specifications are subject to change without notice.

Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.

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12.5W 120V 60 DEG 3000K Alumin
 16206AZT30 (Textured Architectural Bronze)

Product Description:

A 120V 19.5 watt Design Pro LED specification-grade fixture for both new installations and existing fixture replacement. With a 3000K Pure White color temperature and a 60 degree beam spread in a Textured Architectural Bronze finish.

Available Finishes

- Textured Architectural Bronze
- Textured Architectural Bronze
- Bronzed Brass
- Bronzed Brass
- Textured White
- Textured White

Project
Type
Ordering #
Comments

Technical Information

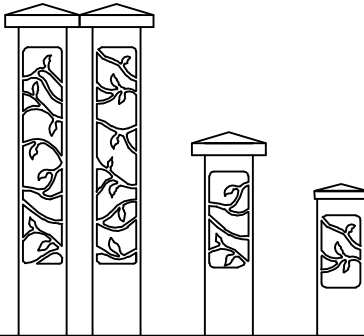
Width:	3"
Height:	4.75"
Length:	4.75"
Lamp Included:	Integrated
Weight:	1.15LBS
Glass Description:	60 BEAM SPREAD OPTIC
Voltage:	120 VAC
Safety Rated:	Wet
Dual Mount:	No
Color Rendering Index:	80
Color Temperature Range:	2975-3050
Expected Life Span:	40000 Hours
Light Source:	LED
Kelvin Temperature:	3000
Number of Bulbs:	5
Max Watt:	12.5
Operating Voltage Range:	108-130 VAC
Finish:	Textured Architectural Bronze



6x6 Series:

- 6x6x3/16" structural steel tube
- Price Group by each design
- Std Price + 15% = Premium Price
- See Galleries page for design photos

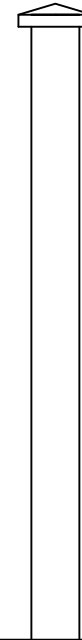
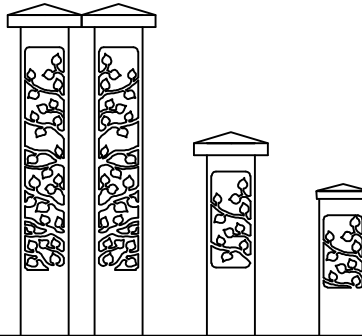
Vine Design
 Standard Price Group
 - 4 unique sides



Attraction Lights
Nature Designs (Copyrighted)

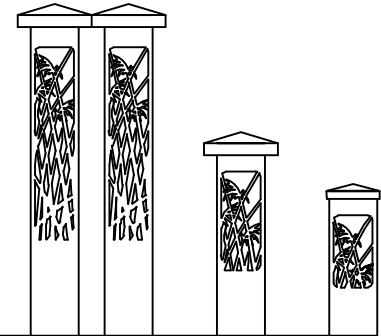
Lyle Braund - Design & Sales
 970-316-0019
 info@attractionlights.com
 www.AttractionLights.com

Aspen Design
 Premium Price Group
 - 2 unique sides

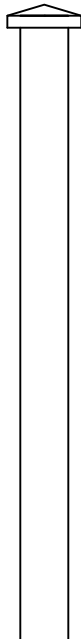
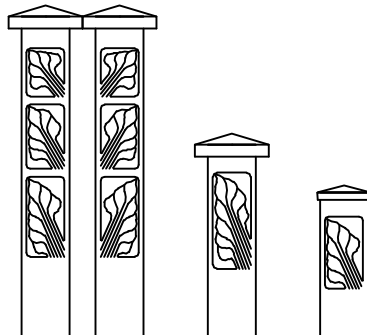


Standard Sizes:
 6x6x80" Obelisk
 6x6x42" Bollard
 6x6x26" Mini Bollard
 6x6x19" Grande Beacon
 Options not shown:
 6x6x32" and 6x6x13"

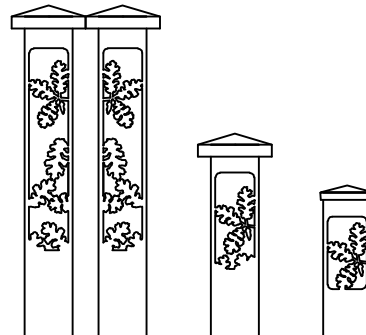
Grasses Design
 Premium Price Group



Leaf Cluster Design
 Deluxe Price Group
 - Design mirrored



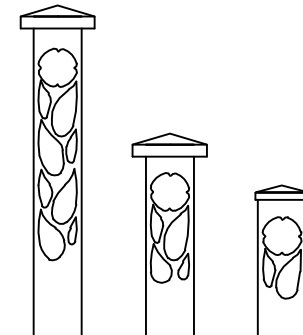
Oak Design
 Premium Price Group
 - Design Mirrored



6x6x80 available - not drawn yet

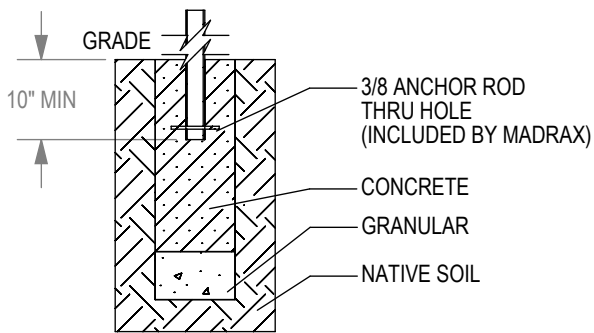
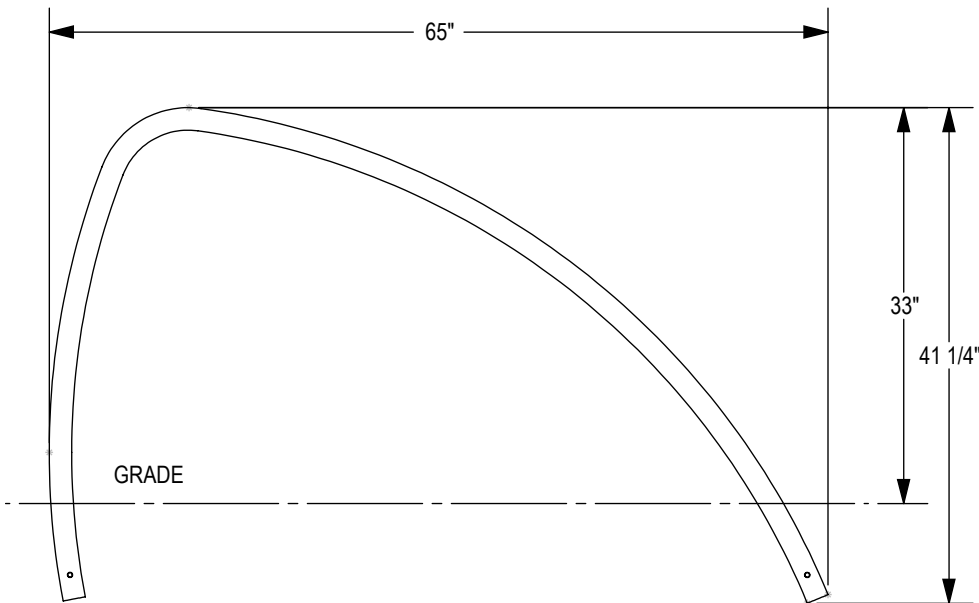
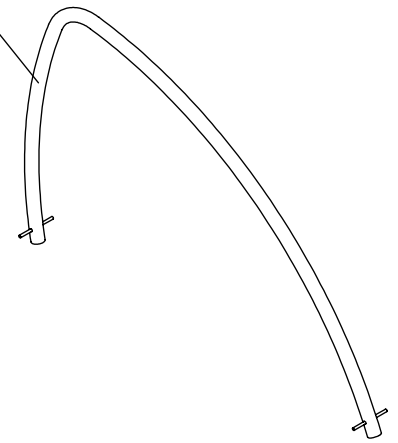
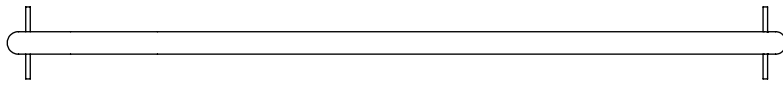


Flower
 Standard Price Group



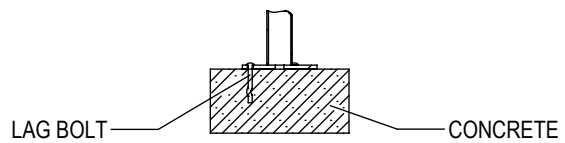


1 7/8" OD
STEEL TUBE



IN GROUND MOUNT (IG)

SECTION VIEWS
CHECK DESIRED MOUNT



SURFACE FLANGE MOUNT (SF)

PRODUCT: FIN-2-IG
DESCRIPTION: FINN BIKE RACK
2 BIKE, IN GROUND MOUNT
DATE: 5-1-14
ENG: SMC

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- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

HILTON HEAD STARBUCKS AT SEA TURTLE MARKETPLACE TYPE W2 - SMALL WALL SCONCE



3" ROUND DOWNLIGHT CYLINDER XT SERIES / 1000 LUMENS MAX LED

cylinder
series



SPC0310DLEDXT

APPLICATION

3" x 10" High Round LED XT Series Downlight LED Cylinder Luminaire.

FEATURES

Spectrum's Cylinder series provides traditional architectural style with high performance and energy efficient illumination. Rugged design with flexible mounting, finish and LED options make these extremely versatile fixtures. Integral LED driver. Quick change LED module with interchangeable optics for job site flexibility and fixture upgrade.

FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. See mounting and color pages for standard finishes. All exposed materials are chromate pretreated to resist corrosion.

ELECTRONICS

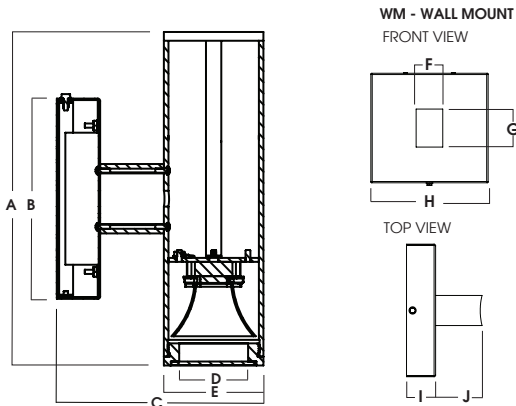
LED system features Xicato LED module with proprietary phosphor technology that provides consistent stable color with CCT control of +/- 100K over life of the light engine. Base CRI is 83 with 2 MacAdam Ellipse binning. High CRI is 98 with 1 MacAdam Ellipse binning. Variety of electronic 120V/277V and dimming drivers.

CONSTRUCTION

Fabricated seamless aluminum fixture housing. Specular primary reflector provides high efficiency illumination. Stainless steel hardware with galvanized brackets to resist corrosion. Passively cooled heatsink.

CODE COMPLIANCE

ARRA Compliant. ETL listed for damp locations. Wet location optional. Manufactured and tested to UL standard No. 1598/8750.



A	B	C	D	E	F	G	H	I	J
10.6	6.5	7.0	2.25	3.3	1.4	2.2	7.1	1.42	2.25

WATTAGE TO LUMENS UPDATE					
CURRENT PART NUMBER EXAMPLE	PREVIOUS PART NUMBER EXAMPLE	SOURCE LUMENS ¹	DELIVERED LUMENS ²	SYSTEM WATTS ³	LPW
SPC0310DLEDXT10L	SPC0310DLEDX18W	1000	548	9.1	60.2

SERIES	LUMENS ¹	CCT	BEAM	DRIVER / DIMMING ⁴	OPTIONS ⁵	MOUNTING ⁸	FINISH ⁹
SPC0310DLEDXT	10L 1000 Lm	83 CRI 27K 2700K 30K 3000K 35K 3500K 40K 4000K 98 CRI 27HK 2700K 30HK 3000K 35HK 3500K 40HK 4000K	XN 10° ND 26° MD 48° WD 60°	EX Electronic Driver, 120V/277V DS10X 10% 0-10V Dimming, 120V/277V DS2W1 ELV MLV 1% Phase Dimming, 120V Only	WL Wet Location CR Corrosion Resistant LENS GL ⁶ Glass Lens SO ⁷ Micro Prism Solite™ Lens NL No Lens	WM Wall Mount EMRM7W 7W Remote EM EMEN7W 7W Remote with Enclosure	MW ¹⁰ Matte White MB ¹⁰ Matte Black PT ¹⁰ Platinum TW Textured White TB Textured Black MT Textured Silver BZ Bronze OB Oil Rubbed Bronze CH Charcoal GH Graphite AC Champagne SN Sun Gold BR Brecchia Rust AN Anodic Natural CO Copper Metallic CC Custom Color

EXAMPLE: SPC0310DLEDXT10L30KNDEXSOWLSMPT

NOTES:

1 Nominal Source Lumens At Any CCT 2 Nominal Delivered Lumens At 83 CRI At Any CCT With MD-SO 3 At 83 CRI 4 Contact Factory for Additional Options
5 See Product Options Page for Details 6 Standard Lens XN, ND 7 Standard Lens MD, WD 8 See Mounting Page for Details on Components and Finishes
9 Contact Factory for Special Finishes 10 Standard Finishes

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



PROJECT:	TYPE:
CAT. NO.:	

WWW.SPECLIGHT.COM • 994 JEFFERSON STREET, FALL RIVER, MA 02721 • 508.678.2303 FAX 508.678.2260

LIGHTSOURCE BY
XICATO

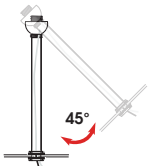




SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES. CONSULT SPECIFICATION SHEETS. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION. NOTE: THIS IS TYPICAL OF SPECULUME SPECIFICATION FOR PENDANT MOUNTING. INDIVIDUAL FIXTURES OR PROJECTS MAY HAVE SPECIALIZED REQUIREMENTS.

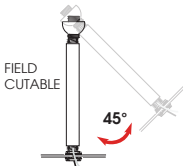
MOUNTING TYPES

HM*
HANG STRAIGHT
45° SWIVEL 1/2" STEM - 3/8" NPT

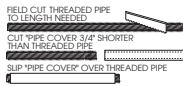


ORDER: **HM** (Length)
SPECIFY LENGTH:
HM3 - 3" **HM24** - 24"
HM6 - 6" **HM36** - 36"
HM12 - 12" **HM48** - 48"
HM18 - 18" **HM72** - 72"
HMLC(XX)
Custom Length
(Specify in Inches)

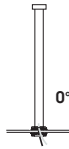
HMAT*
HANG STRAIGHT ALL THREAD
45° SWIVEL 1/2" STEM - 1/4" IP



ORDER: **HMAT** (Length)
SPECIFY LENGTH:
HMAT12 - 12"
HMAT24 - 24"
HMAT36 - 36"
HMAT48 - 48"
HMAT72 - 72"
HMATLC(XX)
Custom Length
(Specify in Inches)

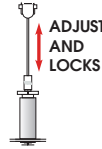


PM*
RIGID PENDANT MOUNT
RIGID 1/2" STEM - 3/8" NPT



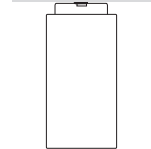
ORDER: **PM** (Length)
SPECIFY LENGTH:
PM3 - 3" **PM24** - 24"
PM6 - 6" **PM36** - 36"
PM12 - 12" **PM48** - 48"
PM18 - 18" **PM72** - 72"
PMLC(XX)
Custom Length
(Specify in Inches)

CD
CORD / CABLE MOUNT
SJ CORD WITH 1/16 SS CABLE



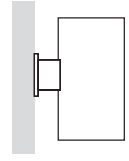
ORDER: **CD** (Length)
SPECIFY LENGTH:
CD36 - 36"
CD72 - 72"
CD144 - 144"
CDLC(XX)
Custom Length
(Specify in Inches)

SM
SURFACE MOUNT
WIRING COMPARTMENT / TOP HAT



ORDER: **SM**
TOP VIEW CANOPY
3.5
KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

WM
WALL MOUNT



ORDER: **WM**
TOP VIEW WALL MOUNTING PLATE
3.5
KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

*MAXIMUM ONE PIECE STEM LENGTH IS 72". LONGER LENGTHS ARE POSSIBLE USING MULTIPLE STEMS AND COUPLERS.

MOUNTING FINISH

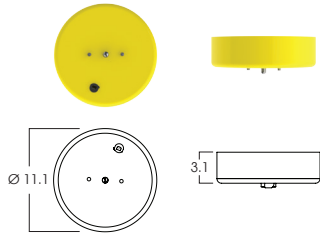
Standard Canopy / Stem or Cord mounting finish is matte white. Black fixtures receive matte black mounting finish, silver fixture receive silver mounting finish. Custom colors for canopy and stem are available upon request.

MOUNTING COMPONENTS FINISH

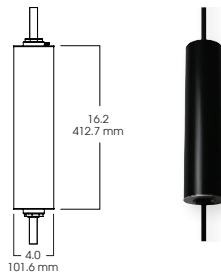
FIXTURE COLOR	CANOPY / STEM / CORD COLOR
Matte White, Textured White	Matte White
Matte Black, Textured Black, Bronze, Oil Rubbed Bronze	Matte Black
Platinum, Textured Silver, Silver	Silver
All Others	Matte White
Custom Color	Canopy / Stem Same Color as Fixture

EMERGENCY BATTERY OPTIONS

EMCP7W - LARGE DRIVER CANOPY FOR 7W EMERGENCY BATTERY (FOR ALL CEILING MOUNT TYPES)

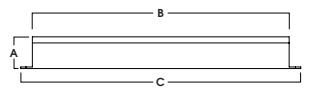


EMLN7W - 7W IN-LINE EMERGENCY BALLAST (FOR HM, HMAT, AND PM OPTIONS)



REMOTE EMERGENCY BATTERY OPTIONS

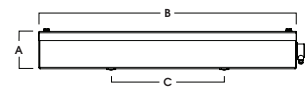
EMRM7W - REMOTE EMERGENCY BATTERY (UP TO 12W, 50" MAX)



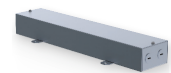
EM WATTAGE	A	B	C
EMRM5W	1.5	9.0	9.5
EMRM7W*	1.3	12.6	13.0
EMRM12W	1.3	12.8	13.3



EMEN7W - REMOTE EMERGENCY BATTERY WITH ENCLOSURE (UP TO 12W, 50" MAX)



ENCLOSURE	A	B	C
EMEN5W	2.0	17.0	6.2
EMEN7W*	2.0	17.0	6.2
EMEN12W	2.0	17.0	6.2



Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.

PROJECT:	TYPE:
CAT. NO.:	



SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES, CONSULT SPECIFICATION SHEETS.
NOTE: NO PRINTED IMAGE CAN EQUAL THE EXACT COLOR OF FINISH ON METAL.
SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION.

COMMONLY PRODUCED STANDARD FINISHES - AVAILABLE FOR QUICK SHIP



OTHER AVAILABLE STANDARD FINISHES



NON-STANDARD OPTIONAL FINISHES



Dimensions shown are nominal. Spectrum Lighting is continually improving products and reserves the right to make changes that will not alter performance or appearance with or without written notice.

PROJECT:	TYPE:
CAT. NO.:	



LitePro 2.037 Point-By-Point Results

5/3/2018

PROJECT: Starbucks/ GROUP: Lighting AREA: Typical 3" CYL-10L GRID: New Grid

PREPARED BY:

VALUES ARE FC, SCALE: 1 IN= 5.0FT, HORZ GRID (U), HORZ CALC, Z= 2.5

ROOM REFLECTANCES: 0 / 50 / 20 (Ceiling/Walls/Floor)

Computed in accordance with IES recommendations

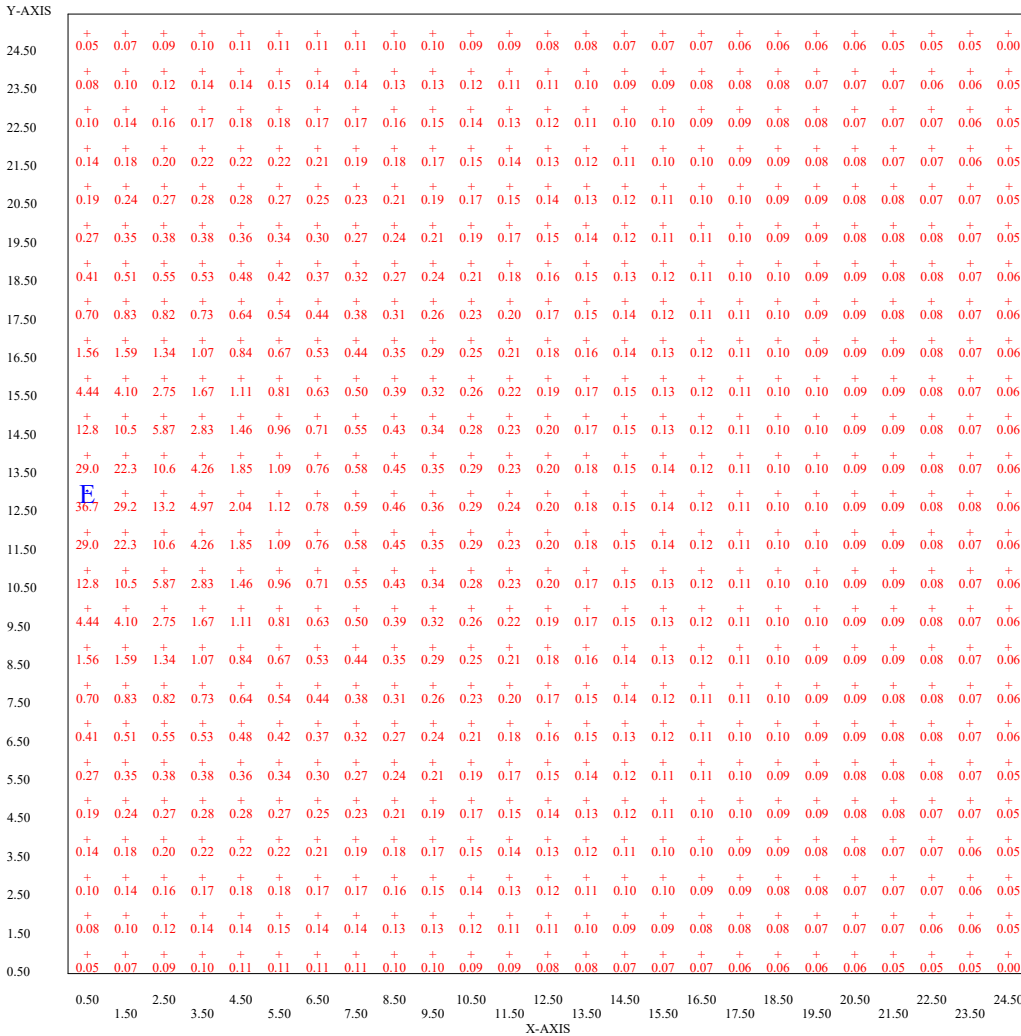
Statistics

GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.00	36.67	0.70	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
E	1	SPC0310U	Spectrum Lighti, SPC0310DLEDXT-10L-WD-xxK-E1-SO-WM-GW, 3" diam. x 10" h. cylinder wit, LAMPS: (1) N/A, 548 LUMENS, BLST: , LLF = 1.00 @7.00

3" cylinder, 1000-lm



HILTON HEAD STARBUCKS AT SEA TURTLE MARKETPLACE TYPE W1 - LARGE WALL SCNCE (AT EGRESS POINTS)



6" ROUND DOWNLIGHT CYLINDER

XT SERIES / 3000 LUMENS MAX LED

surface solutions

SPC06-LEDXT

APPLICATION

6" Round x 11", 18" or 24" High LED Cylinder Luminaire for accent and general illumination.

FEATURES

Spectrum's Cylinder series provides traditional architectural style with high performance and energy efficient illumination. Rugged design with flexible mounting, finish and LED options make these extremely versatile fixtures. Two stage optical system design delivers smooth glare-free general illumination.

FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. See mounting and color pages for standard finishes. All exposed materials are chromate pretreated to resist corrosion.

ELECTRONICS

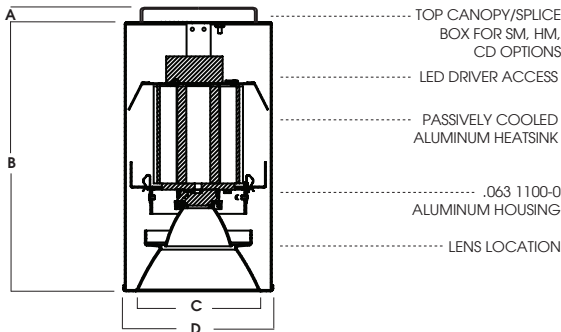
LED system features Xicato LED module with proprietary phosphor technology that provides consistent stable color with CCT control of +/- 100K over life of the light engine. Base CRI is 83 with 2 MacAdam Ellipse binning. High CRI is 98 with 1 MacAdam Ellipse binning.

CONSTRUCTION

Fabricated seamless aluminum fixture housing. Specular primary reflector provides high efficiency illumination. Stainless steel hardware with galvanized steel brackets to resist corrosion. Trim formed from .063 thick high purity aluminum and finished to specification. Passively cooled aluminum heatsink.

CODE COMPLIANCE

ARRA Compliant. ETL listed for damp locations. Wet location available. Manufactured and tested to UL standard No. 1598/8750.



SERIES	A	B	C	D
SPC0611LEDXT SPC0618LEDXT SPC0624LEDXT	0.5	11.0 18.0 24.0	5.0	6.2

WATTAGE TO LUMENS UPDATE					
CURRENT PART NUMBER EXAMPLE	PREVIOUS PART NUMBER EXAMPLE	SOURCE LUMENS ¹	DELIVERED LUMENS ²	SYSTEM WATTS	LPW
SPC0611LEDXT10L	SPC0611LEDXT15W	1000	760	9.1	83.5
SPC0611LEDXT13L	SPC0611LEDXT20W	1300	1023	13.0	78.7
SPC0611LEDXT20L	N/A	2000	1574	21.7	72.5
SPC0611LEDXT30L	N/A	3000	2361	32.6	72.4

SERIES	LUMENS ¹	CCT	BEAM	DRIVER / DIMMING ⁴	OPTIONS ⁵	TRIM / REFLECTOR	MOUNTING ⁹	FINISH ¹¹
SPC0611LEDXT 6" X 11" Cylinder	10L 1000 Lm 13L 1300 Lm 20L 2000 Lm	83 CRI 27K 2700K 30K 3000K 35K 3500K 40K 4000K	XN 10° ND 27° MD 45° WD 50° XW 58°	EX Electronic Driver, 120V/277V 0-10V Dimming to 1%, 120V/277V DS10X 0-10V Dimming to 10%, 120V/277V ELV MLV 1% Phase Dimming, 120V Only DS2W1	WL Wet Location FS Fuse Holder and Fuse Gasket GS	6454XT SG Semi Diffuse Low Intensity Clear CC Custom Color CY Same Color as Cylinder LENS ⁶ GL ⁷ Clear Glass Lens SO ⁸ Micro Prism Solite™ Lens FG Frosted Glass Lens NL No Lens	HM ¹⁰ Hang Straight HMAT ¹⁰ Hang Straight All Thread Cord / Cable Mount CD Cord / Cable Mount PM ¹⁰ Rigid Pendant Mount SM Surface Mount WM Wall Mount EMERGENCY BATTERY OPTIONS EMCP7W 7W Canopy Mounted EM EMRM7W 7W Remote EM EMEN7W 7W Remote with Enclosure EMLN7W 7W In-Line EM (For Pendants)	MW ¹² Matte White MB ¹² Matte Black PT ¹² Platinum TW Textured White TB Textured Black MT Textured Silver BZ Bronze OB Oil Rubbed Bronze CH Charcoal GH Graphite AC Champagne SN Sun Gold BR Brecchia Rust AN Anodic Natural CO Copper Metallic CC Custom Color
SPC0624LEDXT 6" X 24" Cylinder	30L ³ 3000 Lm	98 CRI ⁶ 27HK 2700K 30HK 3000K 35HK 3500K 40HK 4000K						

EXAMPLE: SPC0611LEDXT20L35KEX6454XTSGSOPM36MW

NOTES:

- 1 Nominal Source Lumens At Any CCT 2 Nominal Delivered Lumens at Any CCT at 83 CRI With XW Beam, SG Trim, No Lens 3 Open Aperture Only: No Lens
 4 Consult Factory for Additional Options 5 See Product Options Page for Details 6 Available on 10L, 13L and 20L Only 7 Standard Lens for XN, ND Up To 20L
 8 Standard Lens for MD, WD, XW Up To 20L 9 See Mounting Page for Details on Components and Finishes 10 Specify Length in Inches: See Mounting Page for Available Lengths
 11 Contact Factory for Special Finishes 12 Standard Finishes

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



PROJECT:	TYPE:
CAT. NO.:	

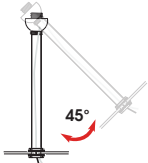




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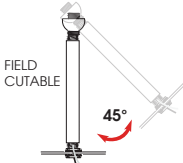
MOUNTING TYPES

HM*
HANG STRAIGHT
45° SWIVEL 1/2" STEM - 3/8" NPT

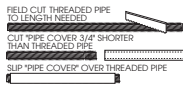


ORDER: **HM** (Length)
SPECIFY LENGTH:
HM3 - 3" **HM24** - 24"
HM6 - 6" **HM36** - 36"
HM12 - 12" **HM48** - 48"
HM18 - 18" **HM72** - 72"
HMLC(XX)
Custom Length
(Specify in Inches)

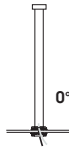
HMAT*
HANG STRAIGHT ALL THREAD
45° SWIVEL 1/2" STEM - 1/4" IP



ORDER: **HMAT** (Length)
SPECIFY LENGTH:
HMAT12 - 12"
HMAT24 - 24"
HMAT36 - 36"
HMAT48 - 48"
HMAT72 - 72"
HMATLC(XX)
Custom Length
(Specify in Inches)



PM*
RIGID PENDANT MOUNT
RIGID 1/2" STEM - 3/8" NPT



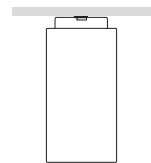
ORDER: **PM** (Length)
SPECIFY LENGTH:
PM3 - 3" **PM24** - 24"
PM6 - 6" **PM36** - 36"
PM12 - 12" **PM48** - 48"
PM18 - 18" **PM72** - 72"
PMLC(XX)
Custom Length
(Specify in Inches)

CD
CORD / CABLE MOUNT
SJ CORD WITH 1/16 SS CABLE

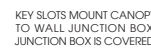


ORDER: **CD** (Length)
SPECIFY LENGTH:
CD36 - 36"
CD72 - 72"
CD144 - 144"
CDLC(XX)
Custom Length
(Specify in Inches)

SM
SURFACE MOUNT
WIRING COMPARTMENT / TOP HAT

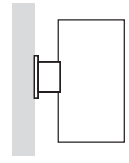


ORDER: **SM**
TOP VIEW CANOPY
3.5"

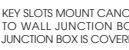


KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

WM
WALL MOUNT



ORDER: **WM**
TOP VIEW WALL MOUNTING PLATE
3.5"



KEY SLOTS MOUNT CANOPY TO WALL JUNCTION BOX. JUNCTION BOX IS COVERED.

*MAXIMUM ONE PIECE STEM LENGTH IS 72". LONGER LENGTHS ARE POSSIBLE USING MULTIPLE STEMS AND COUPLERS.

MOUNTING FINISH

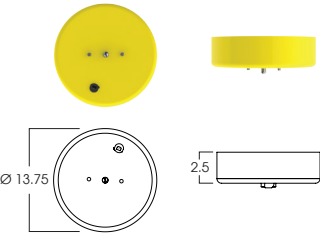
Standard Canopy / Stem or Cord mounting finish is matte white. Black fixtures receive matte black mounting finish, silver fixture receive silver mounting finish. Custom colors for canopy and stem are available upon request.

MOUNTING COMPONENTS FINISH

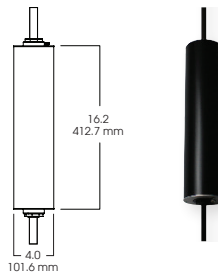
FIXTURE COLOR	CANOPY / STEM / CORD COLOR
Matte White, Textured White	Matte White
Matte Black, Textured Black, Bronze, Oil Rubbed Bronze	Matte Black
Platinum, Textured Silver, Silver	Silver
All Others	Matte White
Custom Color	Canopy / Stem Same Color as Fixture

EMERGENCY BATTERY OPTIONS

EMCP7W - LARGE DRIVER CANOPY FOR 7W EMERGENCY BATTERY (FOR ALL CEILING MOUNT TYPES)



EMLN7W - 7W IN-LINE EMERGENCY BALLAST (FOR HM, HMAT, AND PM OPTIONS)



REMOTE EMERGENCY BATTERY OPTIONS

EMRM7W - REMOTE EMERGENCY BATTERY (UP TO 12W, 50" MAX)

EM WATTAGE	A	B	C
EMRM5W	1.5	9.0	9.5
EMRM7W*	1.3	12.6	13.0
EMRM12W	1.3	12.8	13.3

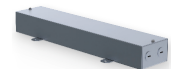
*STANDARD



EMEN7W - REMOTE EMERGENCY BATTERY WITH ENCLOSURE (UP TO 12W, 50" MAX)

ENCLOSURE	A	B	C
EMEN5W	2.0	17.0	6.2
EMEN7W*	2.0	17.0	6.2
EMEN12W	2.0	17.0	6.2

*STANDARD



Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.

PROJECT:	TYPE:
CAT. NO.:	



SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES, CONSULT SPECIFICATION SHEETS.
NOTE: NO PRINTED IMAGE CAN EQUAL THE EXACT COLOR OF FINISH ON METAL.
SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION.

COMMONLY PRODUCED STANDARD FINISHES - AVAILABLE FOR QUICK SHIP



OTHER AVAILABLE STANDARD FINISHES



NON-STANDARD OPTIONAL FINISHES



Dimensions shown are nominal. Spectrum Lighting is continually improving products and reserves the right to make changes that will not alter performance or appearance with or without written notice.



PROJECT:	TYPE:
CAT. NO.:	



LitePro 2.037 Point-By-Point Results

5/3/2018

PROJECT: Starbucks/ GROUP: Lighting AREA: Typical 6" CYL-13L GRID: New Grid

PREPARED BY:

VALUES ARE FC, SCALE: 1 IN= 5.0FT, HORZ GRID (U), HORZ CALC, Z= 2.5

ROOM REFLECTANCES: 80 / 50 / 20 (Ceiling/Walls/Floor)

Computed in accordance with IES recommendations

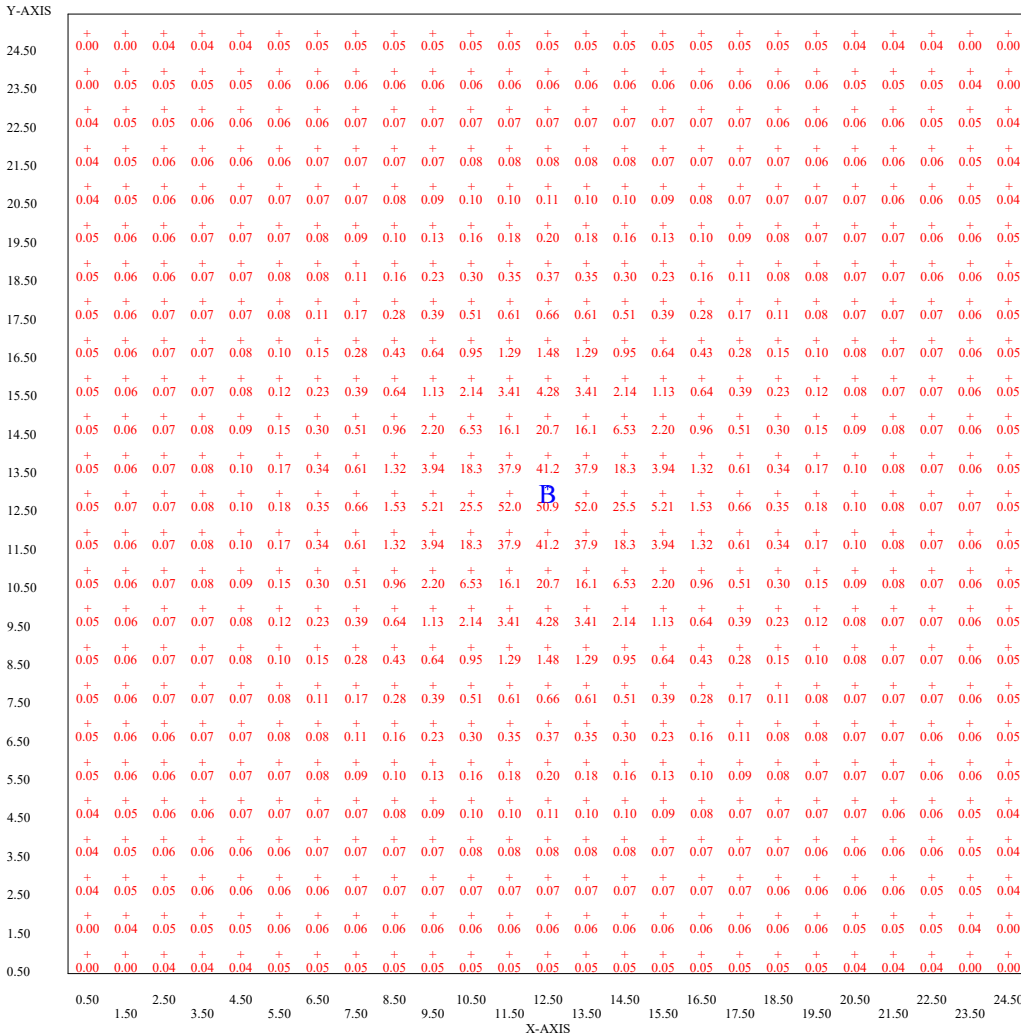
Statistics

GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.00	52.02	1.29	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
B	1	SPC06xxL	Spectrum Lighti, SPC06xxLEDXT-13L-xxK-WD-E1-AR6454XT-SG-SO, 6" Diam, LED Cylinder Downligh, LAMPS: (1) N/A, 1023 LUMENS, BLST: , LLF = 1.00 @7.00

6" cylinder, 1300-lms



ROOFING

McElroy Metals - Charcoal



TRIM, FASCIA & SOFFIT

Sherwin Williams - Reserved White (SW 7056)



7" LAP SIDING

Sherwin Williams - Night Owl (SW7061)



STOREFRONT

YKK - Charcoal



3" LAP SIDING

Sherwin Williams - Night Owl (SW7061)



7" LAP SIDING

Sherwin Williams - Gray Clouds (SW7658)



STARBUCKS AT SEA TURTLE MARKETPLACE

430 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC 29928

PROPOSED EXTERIOR MATERIALS & COLORS

May 8, 2018

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GROUP**

SITE KEY LEGEND:

S1	CONCRETE WALK W/ OYSTER SHELL FINISH DETAIL 1 / L300	S8	DECORATIVE LIGHT BOLLARD DETAIL 5 / L300
S2	CONCRETE WALK W/ BROOM FINISH DETAIL 1 / L300	S9	BIKE RACKS DETAIL 8 / L300
S3	PEDESTRIAN PAVERS DETAIL 2 / L300	S10	HD CONCRETE (BY OTHERS)
S4	ADA CURB RAMPS DETAIL 4 / L300		
S5	ALUMINUM FENCE DETAIL 7 / L300		
S6	DUMPSTER ENCLOSURE DETAIL 1 / L300		
S7	SITE BOLLARD DETAIL 6 / L300		

PAVING / MATERIAL SCHEDULE:

	CONCRETE WALK W/ OYSTER SHELL FINISH: 50:50 MIX OF #2 & #3 SHELL @ 2LBS/SF SEE DETAIL 1 / L300
	CONCRETE WALK W/ BROOM FINISH: SEE DETAIL 1 / L300
	HD CONCRETE: (SEE CIVIL PLANS)
	CONTROL JOINT: SEE DETAIL 1 / L300
	EXPANSION JOINT: SEE DETAIL 1 / L300
	PEDESTRIAN PAVERS: LOWCOUNTRY PAVER PLANTATION PAVER W/ SINGLE HEADER BORDER COLOR: DAUFUSKIE BLEND HATCH PATTERN DENOTES HERRINGBONE PATTERN DIRECTION) SEE DETAIL 2 / L300
	ADA DETECTABLE WARNING: MANUFACTURER: CASTEK, INC./TRANSPO INDUSTRIES, INC. COLOR: CHARCOAL GREY
PL	PLANTER

SITE FURNISHINGS & LIGHTING SCHEDULE:

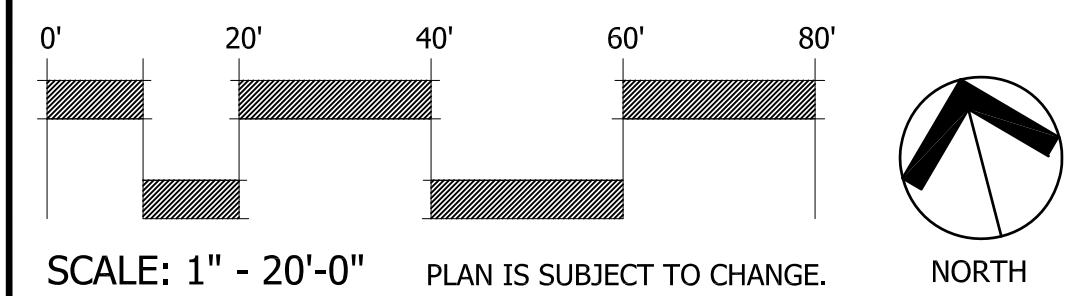
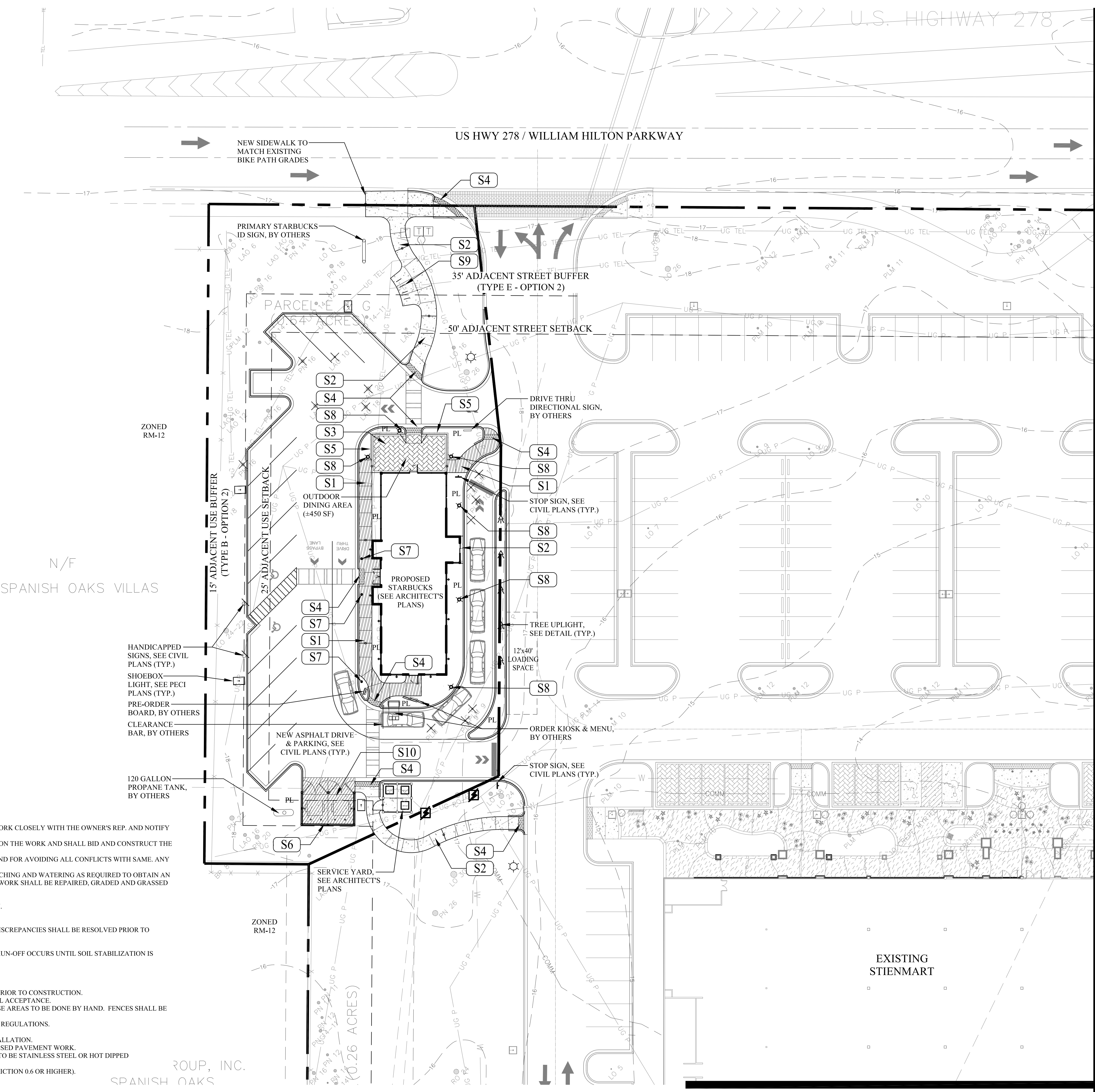
- **SITE BOLLARD (3 TOTAL):**
LANDSCAPE FORMS - ANNAPOLIS 6" EMBEDDED BOLLARD
COLOR: BRONZE
FINISH: METALLIC
SEE DETAIL 6 / L300
- ✕ **DECORATIVE BOLLARD LIGHT (6 TOTAL):**
ATTRACTION LIGHTS 6 x 6 x 42" BOLLARD LIGHT - GRASS DESIGN
POWDERCOAT W/ RUBBED BRONZE FINISH
LAMP: 10W, 3,000K LED
GROUND MOUNT PER MANUFACTURER'S RECOMMENDATION
PH: 970-316-4019
SEE DETAIL 5 / L300
- ||| **BIKE RACKS (4 TOTAL):**
SEE DETAIL 8/L-300
MADRAX FINN BIKE RACK
MODEL: FIN-34G-MS
COLOR: BRONZE
GROUND MOUNT PER MANUFACTURER'S SPECIFICATIONS
- ▲ **TREE UPLIGHT (5 TOTAL):**
KICHLER LIGHTING WIDE FLOOD UPLIGHT
MODEL: 16008-BBR30-3,000K 15609 JUNCTION
BOX MOUNTING BRACKET
COLOR: BRONZED BRASS
LAMP: 12V 6.5W 60 DEGREE WIDE FLOOD
SEE DETAIL 3 / L300
- **SITE SHOEBOX LIGHT:**
(APPROXIMATE LOCATIONS, SEE PECL PLANS)

SITE SUMMARY:

PARCEL NUMBER:	R511 008 000 0247 0000
GROSS SITE AREA:	0.64 ACRES
MAXIMUM IMPERVIOUS COVER:	60%
ZONING DISTRICT:	CC
OVERLAY DISTRICT:	CORRIDOR OVERLAY
✕	TREE TO BE REMOVED

GENERAL SITE PLAN NOTES:

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
2. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
4. ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED AND GRASSED AT THE CONTRACTOR'S EXPENSE.
5. SEE CIVIL PLANS FOR ALL DEMOLITION INFORMATION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
7. CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR TIMING OF AND RESPONSIBILITY OF DEMOLITION OPERATIONS.
9. CONTRACTOR SHALL STAKE ALL WORK TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
10. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
11. TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, & LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE. SEE ENGINEERING PLANS.
12. SEE ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES, ROADS, PARKING AND STORM DRAINAGE.
13. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
14. COORDINATE WITH PALMETTO ELECTRIC FOR AREA LIGHTS AND PROVIDE CONDUIT SLEEVING FOR ALL WIRING UNDER PAVEMENTS.
15. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
17. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
18. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
19. CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
20. CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ELECTRICAL, ETC.) WITH SUBSEQUENT DRAWINGS PRIOR TO PAVEMENT INSTALLATION.
21. CONTRACTOR SHALL PROVIDE 4' x 4' (MINIMUM) MOCK UP PANELS OF ALL PAVEMENT & PAVEMENT WORK. IF APPROVED, MOCK UP CAN BE A PART OF PROPOSED PAVEMENT WORK.
22. CONTRACTOR TO PERMANENTLY ANCHOR ALL SITE FURNISHINGS & BOLLARDS TO PAVEMENT PER MANUFACTURER'S REQUIREMENTS. ALL FASTENERS TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.
23. ALL PAVEMENT SURFACES TO BE STABLE, FIRM AND SLIP RESISTANT, COMPLYING WITH ADA STANDARDS, ASTM C-1028 (WET STATIC COEFFICIENT OF FRICTION 0.6 OR HIGHER).



Wheeler Development
 Virginia Beach, Virginia

PERMIT DOCUMENTS FOR STARBUCKS AT SEA TURTLE MARKETPLACE
 Hilton Head Island, South Carolina

DRAWN BY: DM
 CHECKED BY: TT

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#	REVISION	DATE	BY

DATE: 05-1-2018
 PROJECT NUMBER: 01-17036
 SHEET TITLE: SITE PLAN

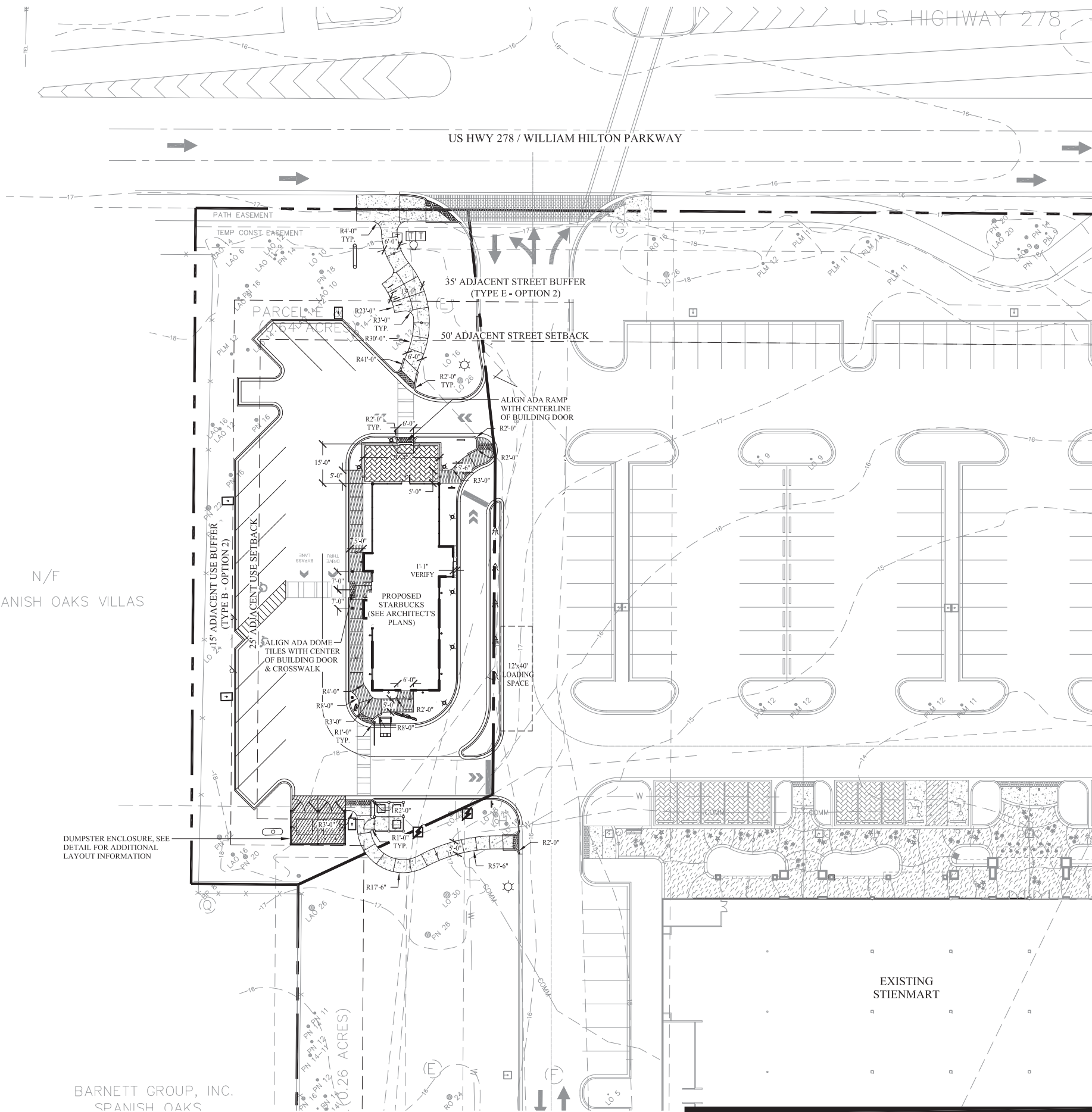
Wood+Partners Inc. WPI
 Landscape Architects
 Land Planners

PO Box 23949 ■ Hilton Head Island, SC 29925
 843.981.8618 ■ Fax 843.981.7096 ■ www.woodandpartners.com

SHEET NUMBER
L100

GENERAL LAYOUT NOTES:

1. ALL DIMENSIONS ARE TO EDGE OF PAVING UNLESS OTHERWISE INDICATED.
2. PROVIDE A MINIMUM OF 1% CROSS SLOPE (2% MAXIMUM) ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
3. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED STRUCTURES.
4. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. HARDCOPY INFORMATION SHALL PREVAIL.
5. ALL SIGNS SHALL BE STAKED IN FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, SEE SITE PLAN FOR GENERAL LOCATION.
6. CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES PRIOR TO THEIR REMOVAL. CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN.



Wheeler Development
Virginia Beach, Virginia

PERMIT DOCUMENTS
FOR
STARBUCKS
AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

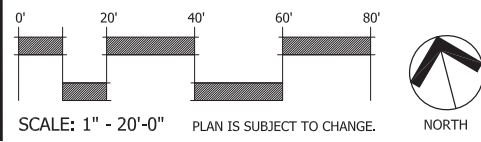
DRAWN BY: DM
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#	REVISION	DATE	BY

DATE
05-1-2018
PROJECT NUMBER
01-17036
SHEET TITLE
LAYOUT PLAN

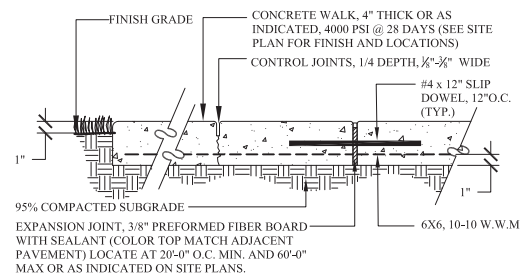
SHEET NUMBER
L200



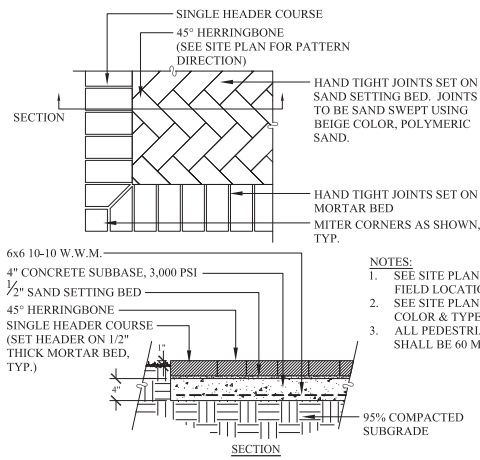
BARNETT GROUP, INC.
SPANISH OAKS

Wood+Partners Inc. WPI
Landscape Architects
Land Planners

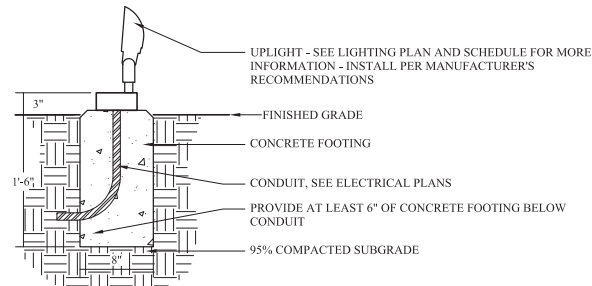
PO Box 23949 Hilton Head Island, SC 29925
843.881.2218 Fax 843.881.7388 www.woodpartners.com



- NOTES:**
1. PROVIDE 4' x 4' MOCK UP PANEL OF EACH PAVEMENT TYPE (INDICATING EACH FINISH TYPE & JOINT TYPE, ETC.) AND OBTAIN APPROVAL PRIOR TO INSTALLATION. PANELS MAY BE A PART OF FINAL WORK IF APPROVED.
 2. PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE (SEE CIVIL).
 3. SEE SITE PLAN FOR LOCATION OF EXPANSION AND CONTROL JOINTS. ALL JOINTS TO BE PERPENDICULAR TO PAVEMENT EDGES.
 4. SEE PLAN FOR PAVEMENT FINISHES:
 - 4.1. BROOM FINISH TO BE SWEPT PERPENDICULAR TO TRAVEL PATH WITH 4" WIDE SMOOTH TROWEL EDGES AND JOINTS (PICTURE FRAME). TROWEL EDGES AFTER BROOM FINISH.
 - 4.2. ALL NON-AGGREGATE FINISHES TO HAVE HAND TOOLED EDGES AND JOINTS (4" RADIUS TYP.).
 - 4.3. ALL AGGREGATE (INCLUDING SHELL) FINISHES TO HAVE SAW CUT CONTROL JOINTS.
 - 4.4. OYSTERSHELL FINISH TO HAVE 50:50 MIX OF #2 & #3 SHELL @ 2 LB/SF.



- NOTES:**
1. SEE SITE PLAN FOR PAVER FIELD LOCATIONS.
 2. SEE SITE PLAN FOR PAVER COLOR & TYPE.
 3. ALL PEDESTRIAN PAVERS SHALL BE 60 MM PAVERS.

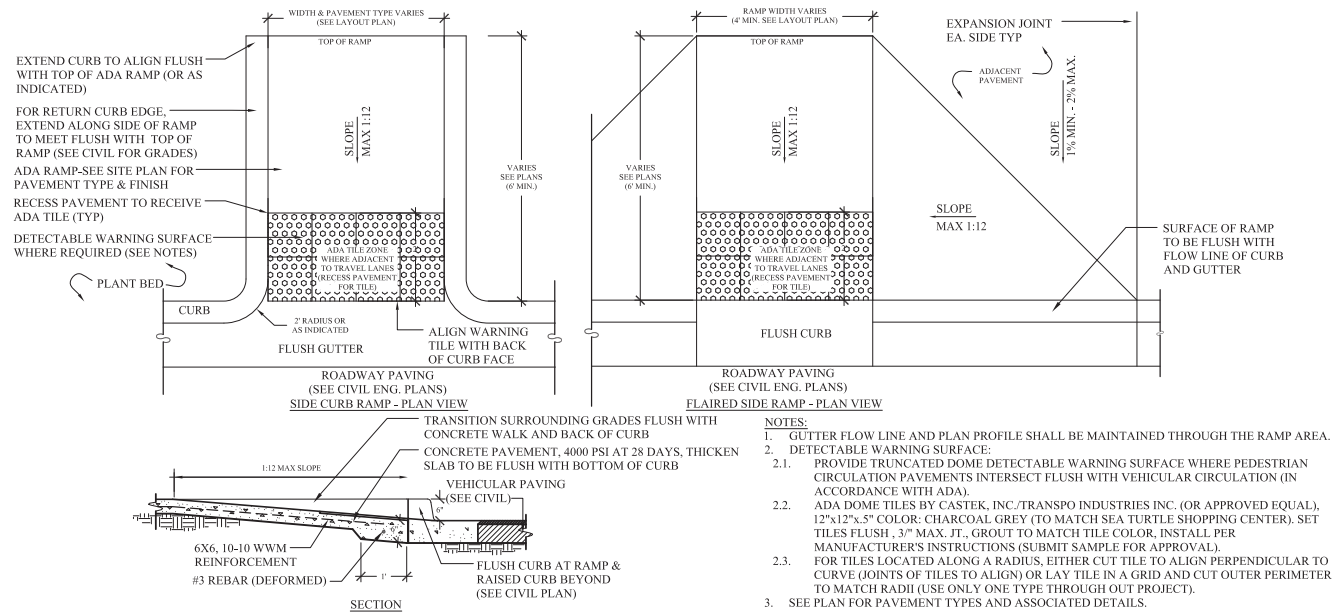


- NOTES:**
1. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
 2. LAYOUT BOLLARDS IN FIELD FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO FINAL INSTALLATION.

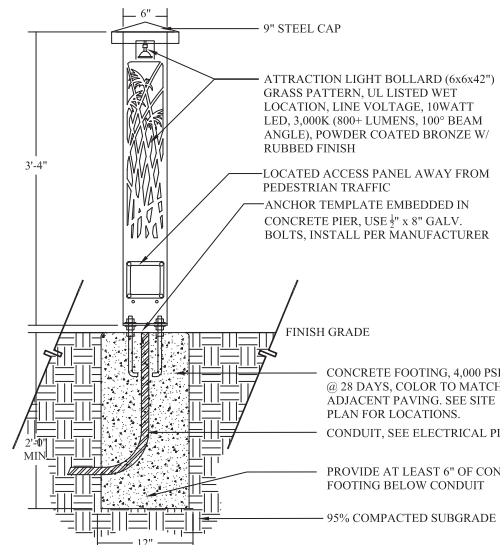
1 CONCRETE WALK / EXPANSION & CONTROL JOINTS
L300 SCALE: 1/2" = 1'-00"

2 PEDESTRIAN PAVERS
L300 SCALE: 3/4" = 1'-00"

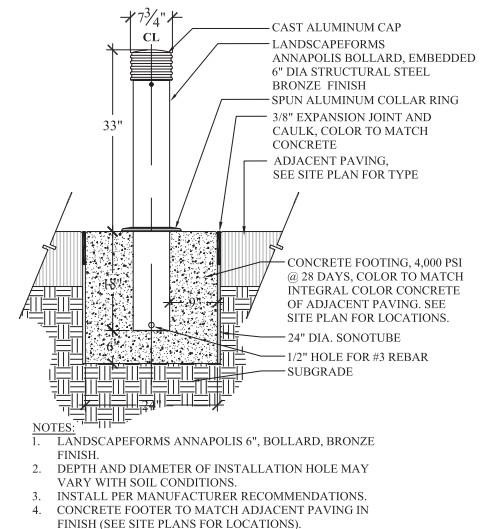
3 TREE UPLIGHT
L300 SCALE: 1" = 1'-00"



- NOTES:**
1. GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
 2. DETECTABLE WARNING SURFACE:
 - 2.1. PROVIDE TRUNCATED DOME DETECTABLE WARNING SURFACE WHERE PEDESTRIAN CIRCULATION PAVEMENTS INTERSECT FLUSH WITH VEHICULAR CIRCULATION (IN ACCORDANCE WITH ADA).
 - 2.2. ADA DOME TILES BY CASTEK, INC./TRANSPRO INDUSTRIES INC. (OR APPROVED EQUAL), 12"x12"x.5" COLOR: CHARCOAL GREY (TO MATCH SEA TURTLE SHOPPING CENTER), SET TILES FLUSH, 3/8" MAX. JT., GROUT TO MATCH TILE COLOR, INSTALL PER MANUFACTURER'S INSTRUCTIONS (SUBMIT SAMPLE FOR APPROVAL).
 - 2.3. FOR TILES LOCATED ALONG A RADIUS, EITHER CUT TILE TO ALIGN PERPENDICULAR TO CURVE (JOINTS OF TILES TO ALIGN) OR LAY TILE IN A GRID AND CUT OUTER PERIMETER TO MATCH RADIUS (USE ONLY ONE TYPE THROUGH OUT PROJECT).
 3. SEE PLAN FOR PAVEMENT TYPES AND ASSOCIATED DETAILS.
 4. SEE CIVIL FOR GRADING, ROADWAY PAVEMENTS AND CURBS...



- NOTES:**
1. SEE SITE PLAN FOR MORE INFORMATION.
 2. SUBMIT PRODUCT INFORMATION ON LIGHT FIXTURE FOR OWNER'S REVIEW PRIOR TO ORDERING.
 3. LAYOUT BOLLARDS IN FIELD FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO FINAL INSTALLATION.
 4. FIXTURES TO BE MOUNTED PLUMB VERTICAL.
 5. SEE SITE PLAN FOR ADJACENT PAVEMENT CONDITIONS.
 6. INSTALL PER MANUFACTURER'S RECOMMENDATION.

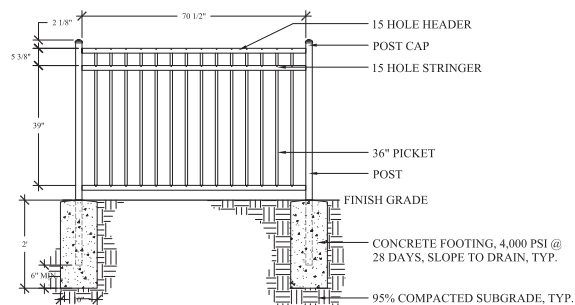


- NOTES:**
1. LANDSCAPE FORMS ANNAPOLIS 6", BOLLARD, BRONZE FINISH.
 2. DEPTH AND DIAMETER OF INSTALLATION HOLE MAY VARY WITH SOIL CONDITIONS.
 3. INSTALL PER MANUFACTURER RECOMMENDATIONS.
 4. CONCRETE FOOTER TO MATCH ADJACENT PAVING IN FINISH (SEE SITE PLANS FOR LOCATIONS).

4 ADA CURB RAMP
L300 SCALE: 1/2" = 1'-00"

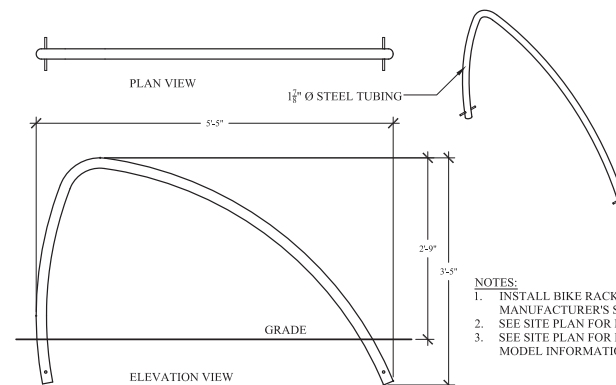
5 BOLLARD LIGHT
L300 SCALE: 1" = 1'-00"

6 SITE BOLLARD
L300 SCALE: 3/4" = 1'-00"

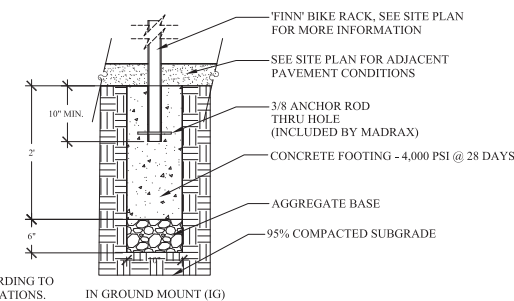


- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. FENCE COLOR SHALL BE BLACK.
- MANUFACTURER:**
JERITH MFG CO., INC.
14400 MCNULTY ROAD
PHILADELPHIA, PA 19154
TOLL FREE: 1-800-344-2242
FAX: (215) 676-9756
www.jerith.com
- FENCE MODEL:**
48" WINDSOR FENCE BY JERITH
FINISH: ALUMINUM W/ POWDERCOAT
COLOR: BLACK

7 ALUMINUM FENCE
L300 SCALE: 1/2" = 1'-00"

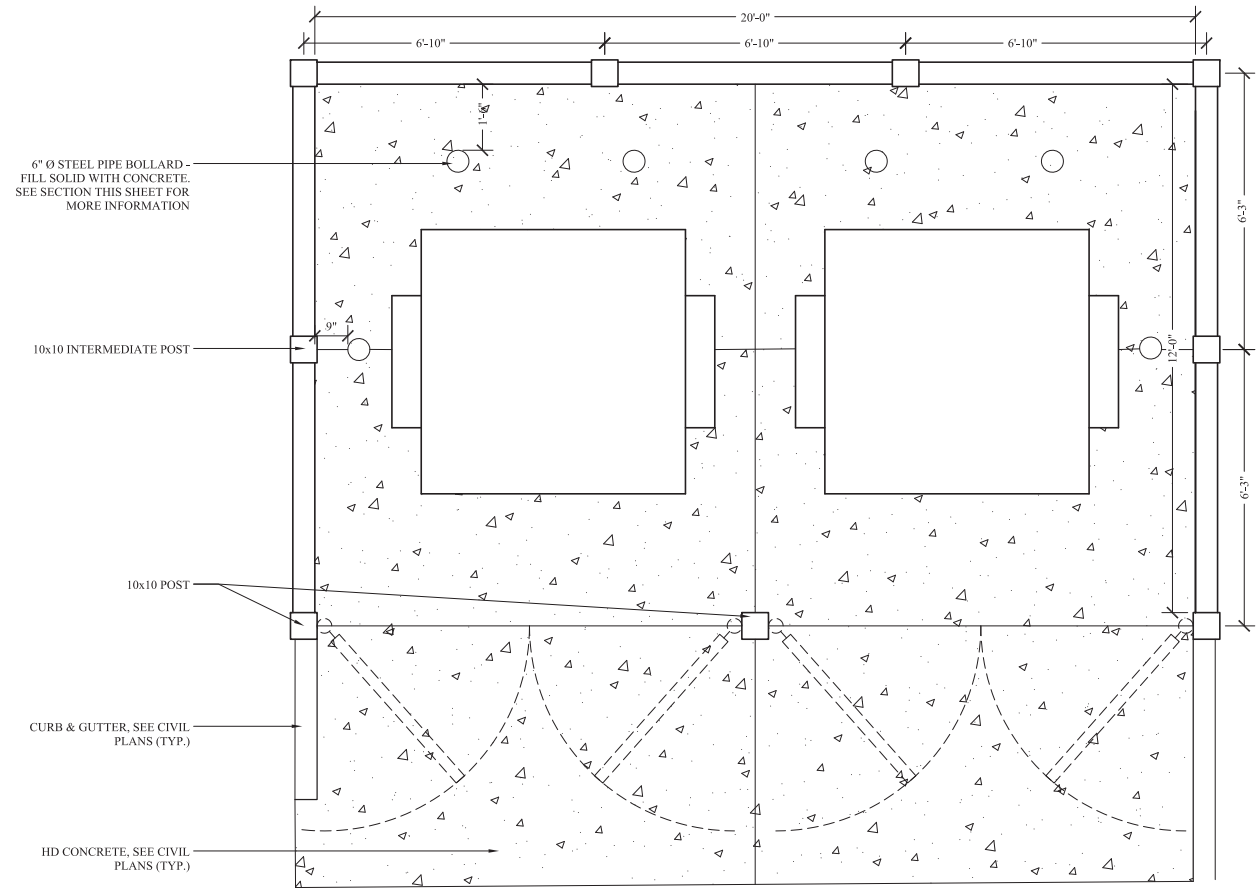


- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. SEE SITE PLAN FOR LOCATIONS.
 3. SEE SITE PLAN FOR MANUFACTURER & MODEL INFORMATION.



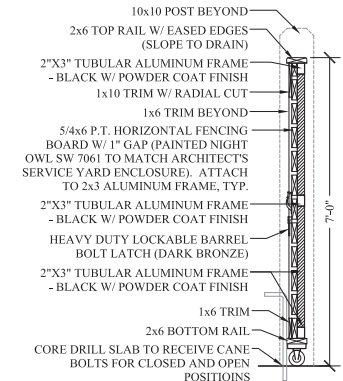
8 BIKE RACK
L300 SCALE: 3/4" = 1'-00"

#	REVISION	DATE	BY

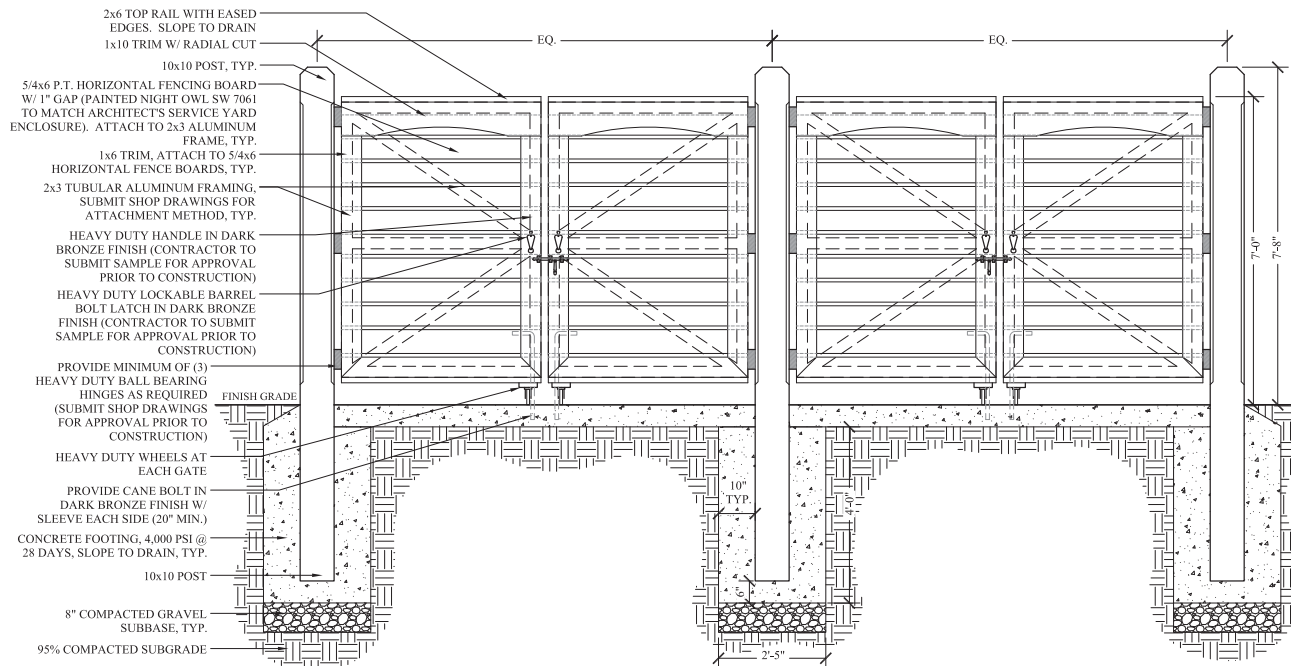


DUMPSTER ENCLOSURE PLAN VIEW

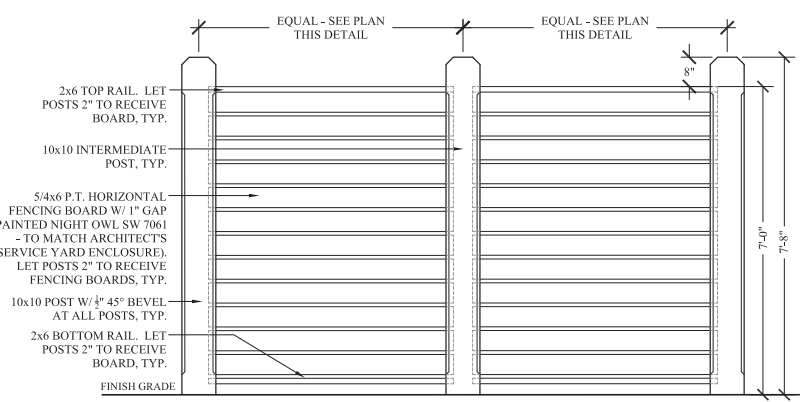
- NOTES:
1. ALL WOOD UNLESS OTHERWISE SPECIFIED, SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE, SIB GRADE NO. 1 OR BETTER S4S.
 2. ALL HARDWARE & FASTENERS SHALL BE STAINLESS STEEL.
 3. PROVIDE 2"x3" TUBULAR ALUMINUM FRAME SYSTEM FOR GATE. SUBMIT SHOP DRAWINGS FOR ATTACHMENT METHOD. POWDER COAT AND PAINT FRAME BLACK.
 4. PROVIDE HEAVY DUTY HINGES AT GATE. SUBMIT SHOP DRAWINGS AND SAMPLES OF HINGE AND LATCH SYSTEM FOR APPROVAL PRIOR TO CONSTRUCTION.
 5. SEE SITE PLAN FOR DUMPSTER LOCATIONS AND SPECIFIC DIMENSIONS.
 6. SEE CIVIL PLANS FOR HD CONCRETE DETAIL AT DUMPSTER ENCLOSURE.
 7. ENCLOSURE DOORS SHOULD SWING TO A MINIMUM OF 115° AND A MAXIMUM OF 180°.



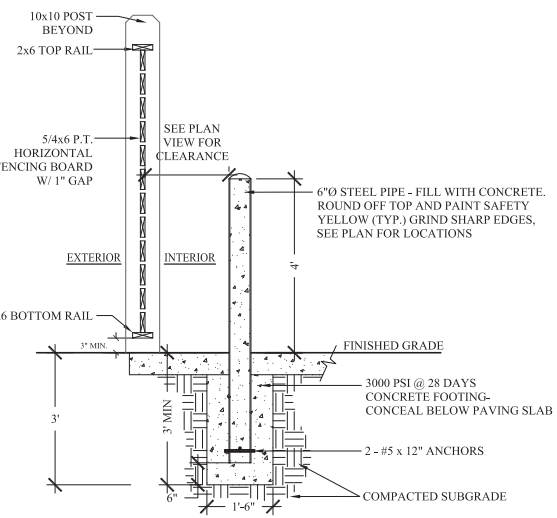
GATE SECTION



GATE ELEVATION



FENCE ELEVATION



FENCE SECTION & TYP. BOLLARD

1 DUMPSTER ENCLOSURE
L301 SCALE: 1/2" = 1'-00"

DRAWN BY: DM
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#	REVISION	DATE	BY

DATE
05-1-2018
PROJECT NUMBER
01-17036
SHEET TITLE
DETAILS

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT	SPREAD	REMARKS
CECA	3	Cercis canadensis 'Forest Pansy' TM	Forest Pansy Redbud	B & B or Cont.	1.5" Cal		6' Min.	5'-6'	Full, specimen
ILAS	3	Ilex x attenuata 'Savannah'	Savannah Holly	65 gal	2" Cal		10'-12'	6-8'	Full Tree Form, Strong Central Leader
QUVH	4	Quercus virginiana	Live Oak	B & B or Cont.	4" Cal		12'-14'	6-8'	Strong central leader; Specimen
SAPA	21	Sabal palmetto	Cabbage Palmetto	B & B			14'-18'		Smooth Clear Trunk, Hurricane Cut, Vary Height
SAPA2	5	Sabal palmetto	Cabbage Palmetto	B & B			14'		Smooth Clear Trunk, Hurricane Cut, Matched Height
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD	REMARKS		
AZAE	27	Azalea Encore 'Autumn Embers' TM	Autumn Embers Azalea	3 gal	15" - 18"	12" - 15"	Full pot		
AZAM	3	Azalea Encore 'Autumn Monarch' TM	Encore Azalea	3 gal	15" - 18"	12" - 15"	Full pot		
AZIF	23	Azalea indica 'Formosa'	Formosa Azalea	3 gal	24" - 30"	24" - 30"	Full pot		
ILSD	8	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 gal	12" - 18"	12" - 18"	Full pot		
LOCR	10	Loropetalum chinense 'Ruby'	Ruby Loropetalum	7 gal	24" - 30"	24" - 30"	Full pot		
MYCE	13	Myrica cerifera	Wax Myrtle	7 gal	36" - 48"	24" - 36"	Full pot		
OSFR	2	Osmanthus fragrans	Sweet Olive	7 gal	36" - 48"	24" - 36"	Full pot		
PAV1	22	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass	1 gal	12" - 18"	12" - 18"	Full pot		
PODP	10	Podocarpus macrophyllus 'Dwarf Pringles'	Dwarf Podocarpus	7 gal			Full pot		
RHDS	16	Rhaphiolepis x delacourii 'Snowcap'	Snowcap Indian Hawthorn	3 gal	12" - 18"	12" - 18"	Full pot		
SERC	9	Serenoa repens 'Cinerea'	Silver Saw Palmetto	3 gal	15" - 18"	12" - 18"	Full pot		
TRJC	8	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	1 gal	18" - 24"	12"	Full		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPREAD			
ANNL	77	Annual	Annual	flat					
DIVE	17	Dietes vegeta	African Iris	1 gal	18" - 24"	12" - 18"			
SOD	608 sf	Erechtholochia ophioides	Centipede Sod	sod					
LIMS	149	Liriope muscari 'Super Blue'	Super Blue Liriope	1 gal	10" - 12"	10" - 12"			
LIMS2	96	Liriope muscari 'Super Blue'	Super Blue Liriope	3 Gal.	12" - 18"	12" - 18"			

SPACING	REMARKS
12" o.c.	Selection to be approved by landscape architect
36" o.c.	Full pot
24" o.c.	Full pot
24" o.c.	Full pot

BUFFER SUMMARY

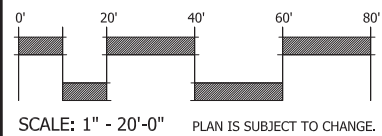
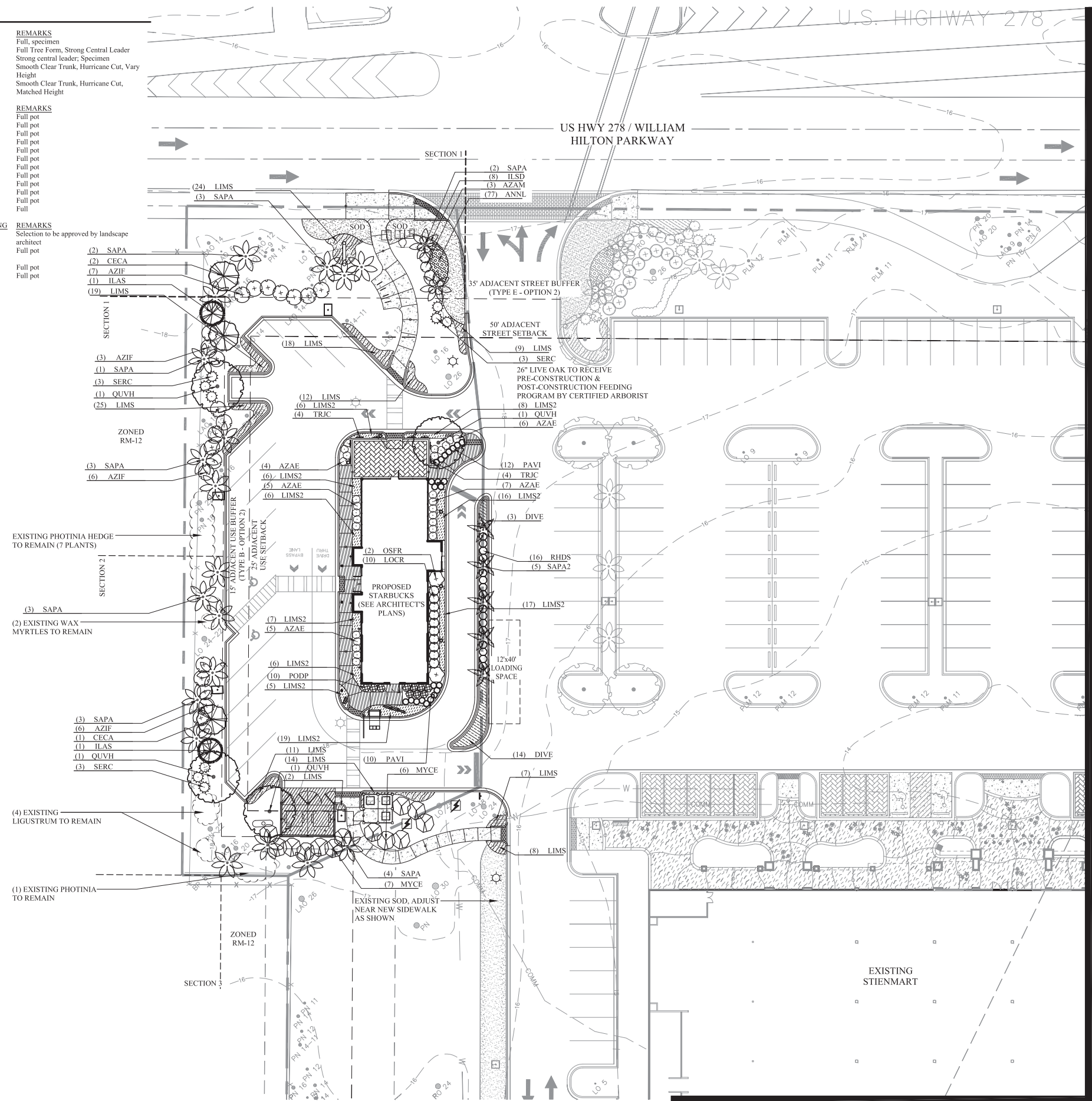
HWY 278 BUFFER:

BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (107')	E OPTION 2	5	(11 EXISTING)	7	8	27	27

WESTERN ADJACENT USE BUFFER:

BUFFER SECTION	BUFFER TYPE	OVERSTORY REQUIRED	OVERSTORY PROVIDED	UNDERSTORY REQUIRED	UNDERSTORY PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
SECTION 1 (100')	B OPTION 2	4	6 (5 EXISTING)	8	8 (1 EXISTING)	12	16 (4 EXISTING)
SECTION 2 (123')	B OPTION 2	5	*4 (3 EXISTING)	10	10 (2 EXISTING)	15	16 (7 EXISTING)
SECTION 3 (50')	B OPTION 2	2	2 EXISTING	4	4	6	6 (1 EXISTING)

*OVERSTORY BUFFER REQUIREMENTS CANNOT BE ACHIEVED DUE TO EXISTING VEGETATION & CHAINLINK FENCE WITHIN THIS BUFFER.



Wheeler Development
Virginia Beach, Virginia

PERMIT DOCUMENTS
FOR
STARBUCKS
AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY

DATE
05-1-2018
PROJECT NUMBER
01-17036
SHEET TITLE
PLANTING PLAN

SHEET NUMBER
L400

TREES TO BE REMOVED

CATEGORY	SPECIES	SIZE	TOTAL INCHES
CATEGORY I TREES REMOVED	LAUREL OAK	10"	66"
	LAUREL OAK	20"	
	LAUREL OAK	18"	
	LAUREL OAK	18"	
CATEGORY III TREES REMOVED	PINE	16"	32"
	PINE	16"	

TREE REMOVAL SUMMARY

CATEGORY	TOTAL INCHES	TOTAL REPLACEMENT NEEDED:
CATEGORY I TREES REMOVED	66"	7 TREES
CATEGORY III TREES REMOVED	32"	3 TREES

TREE REPLACEMENT SUMMARY

TREE REPLACEMENT 1 PER 10" REMOVED FOR EACH CATEGORY			
TREE CATEGORY	INCHES REMOVED	# REPLACEMENT TREES REQUIRED	# REPLACEMENT TREES PROVIDED
1	66" LAUREL OAK	7 (14" TOTAL MIN.)	4 (4" CAL.)
2	-	-	3 (2" CAL.)
3	32" PINE	3 (3" TOTAL MIN.)	26 PALMS

LANDSCAPE NOTES:

1. THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT SUBSTITUTIONS PRIOR TO PURCHASE OR INSTALLATION.
2. THE PLANT SCHEDULE INCLUDED IN THIS DRAWING WAS PREPARED FOR ESTIMATING PURPOSES & FOR THE CONTRACTORS CONVENIENCE ONLY, AND ITS ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL PERFORM HIS OR HER OWN QUANTITY TAKE-OFFS USING THE DRAWINGS TO DETERMINE THE QUANTITIES TO HIS OR HER SATISFACTION. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A FINAL BID.
3. CONTRACTOR SHALL WARRANT ALL EXTERIOR PLANTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING BUT NOT LIMITED TO DEATH AND UNSATISFACTORY GROWTH. DEFECTS ASSOCIATED WITH A LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY THE OWNER OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL WILL NOT BE COVERED BY THE ONE-YEAR WARRANTY.
4. THE CONTRACTOR SHALL VERIFY THAT ALL SELECTED PLANT SPECIES ARE DETERMINED AVAILABLE AT THEIR SPECIFIED SIZES WHEN THE TIME OF BIDDING. THE CONTRACTOR SHALL NOT MAKE PLANT SUBSTITUTIONS. IF THERE ARE DIFFICULTIES LOCATING PLANT MATERIAL AS SPECIFIED, CONTACT THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING THE BID.
5. ALL PLANT MATERIAL SHALL HAVE A WELL FORMED HEAD WITH THE MINIMUM CALIPER, HEIGHT, SPREAD AS SHOWN IN THE PLANT SCHEDULE. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
6. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE BEFORE, DURING AND AFTER INSTALLATION.
7. ALL PLANTING TECHNIQUES SHALL CONFORM TO APPROVED INDUSTRY STANDARDS.
8. ALL PLANT BEDS SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH TO A DEPTH OF 4".
9. ALL PLANT BEDS SHALL RECEIVE A WEED INHIBITOR APPLICATION AT INSTALLATION.

IRRIGATION NOTES:

1. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM SHALL INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK-FLOW, & CONTROLLERS. THE INSTALLED SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL SOD AND PLANTING BEDS. BACK FLOW PREVENTER SHALL BE SIZED TO MATCH STUB OUT DIAMETER (SEE CIVIL).
2. COORDINATE WITH BUILDING ELECTRICAL FOR IRRIGATION CONTROLLER; SEE LANDSCAPE PLAN FOR CONTROLLER LOCATION.
3. CONTRACTOR TO COORDINATE WITH OWNER TO TIE INTO EXISTING IRRIGATION MAIN LINE.
4. IRRIGATION CONTRACTOR RESPONSIBLE FOR COORDINATING WITH CONDUIT SLEEVING UNDER PAVEMENT.
5. CONTRACTOR TO SUBMIT TO OWNER AS-BUILT PLAN & DIGITAL FILE OF COMPLETED IRRIGATION SYSTEM.

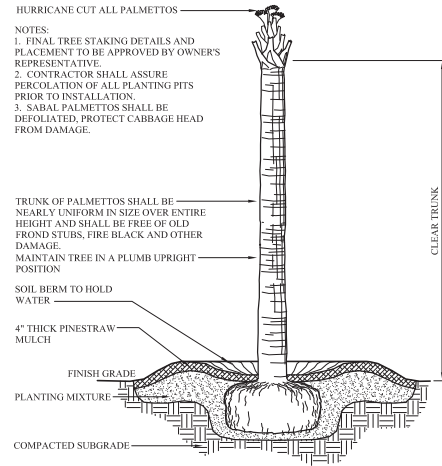
GRADING NOTES:

1. CONTRACTOR TO PERFORM FINE GRADING WITHIN ALL TURF AND PLANT BEDS. FINE GRADING SHALL CONSIST OF A HAND RAKED, SMOOTH SOIL FREE OF ROCKS, ROOTS, AND DEBRIS.

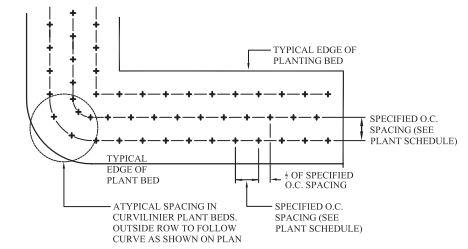
GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
2. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES. CONTRACTOR TO PERFORM SOIL TESTS AS SPECIFIED.
3. NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE A MODIFICATION TO THE PLANS. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
4. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.

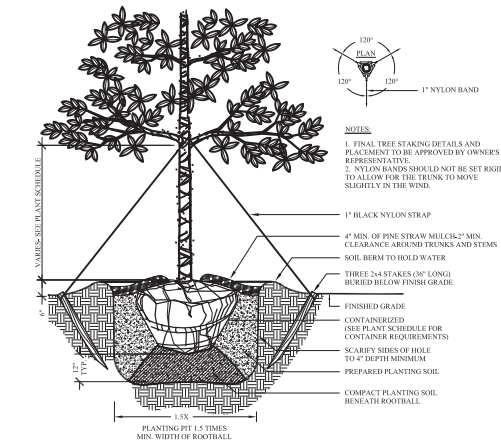
PLAN IS SUBJECT TO CHANGE.



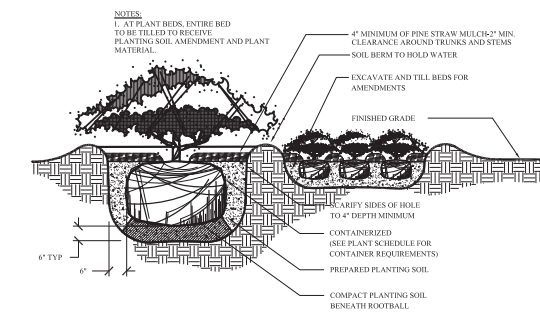
1 PALM TREE
L401 SCALE: N.T.S.



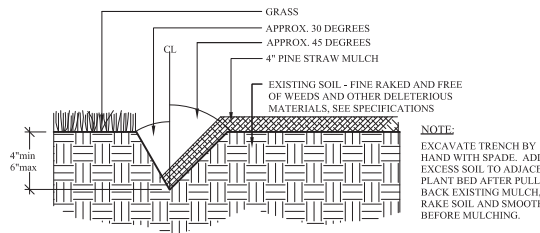
3 GROUNDCOVER SPACING
L401 SCALE: N.T.S.



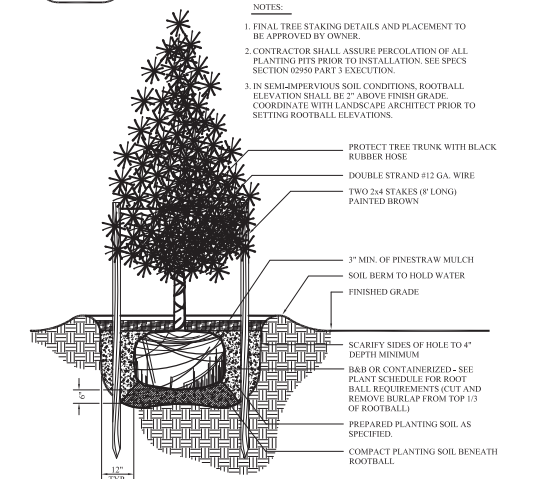
5 SHADE TREE
L401 SCALE: N.T.S.



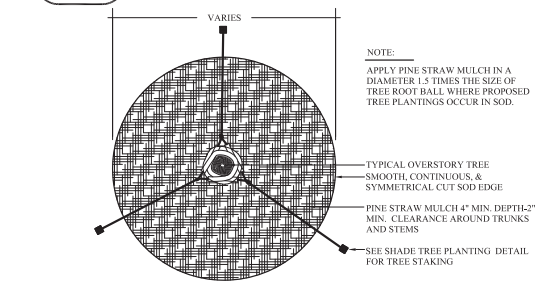
2 SHRUB PLANTING
L401 SCALE: N.T.S.



4 LANDSCAPE EDGE
L401 SCALE: N.T.S.



6 EVERGREEN TREE
L401 SCALE: N.T.S.



7 MULCH TREE RING
L401 SCALE: N.T.S.

Wheeler Development
Virginia Beach, Virginia

PERMIT DOCUMENTS
FOR
STARBUCKS
AT SEA TURTLE MARKETPLACE
Hilton Head Island, South Carolina

DRAWN BY: DM
CHECKED BY: TT

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#	REVISION	DATE	BY

DATE
05-1-2018
PROJECT NUMBER
01-17036
SHEET TITLE
PLANT DETAILS

SHEET NUMBER

L401

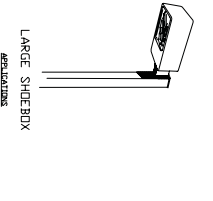
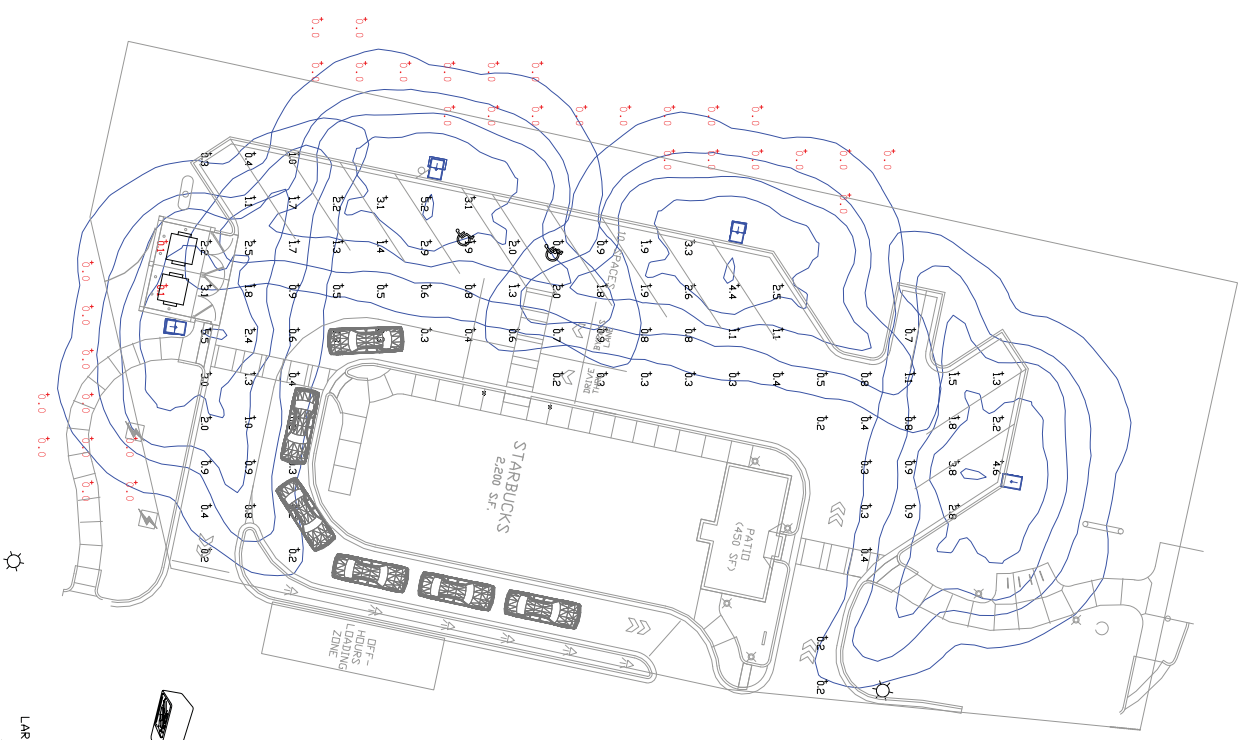
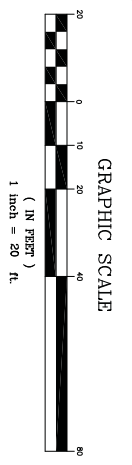
Wood+Partners Inc. WPI
Landscape Architects
Land Planners

PO Box 23949 Hilton Head Island, SC 29925
843.881.2818 • Fax 843.881.7088 • www.woodpartners.com

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUED FOR PERMIT	05/11/2016	WJ	1

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUED FOR PERMIT	05/11/2016	WJ	1

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUED FOR PERMIT	05/11/2016	WJ	1



LARGE SHIELDIX
 APPLICATIONS:
 Shopping centers, commercial and industrial
 campuses and residential areas.
 LEAST Light Emitting Diode (LED) Lighting
 Fixture. Energy Star Qualified. High Pressure
 Sodium (HPS) Fixture. High Pressure Sodium
 Fixture. High Pressure Sodium (HPS) Fixture.
 High Pressure Sodium (HPS) Fixture.

NOTES:
 1. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 2. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 3. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 4. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 5. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
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 7. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 8. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 9. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.
 10. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVT. CODES.

LIGHTING PROPOSAL FOR
 STARBUCKS-SEAWORTH
 HILTON HEAD PARKWAY
 HILTON HEAD ISLAND
 BEAUFORT COUNTY, SOUTH CAROLINA

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUED FOR PERMIT	05/11/2016	WJ	1

NO.	DESCRIPTION	DATE	BY	REVISION
1	ISSUED FOR PERMIT	05/11/2016	WJ	1



PALMETTO ELECTRIC COOPERATIVE, INC.
 1 COOPERATIVE WAY
 HANDBYVILLE, SOUTH CAROLINA 29927
 (843) 298-1001 / FAX (843) 298-1002

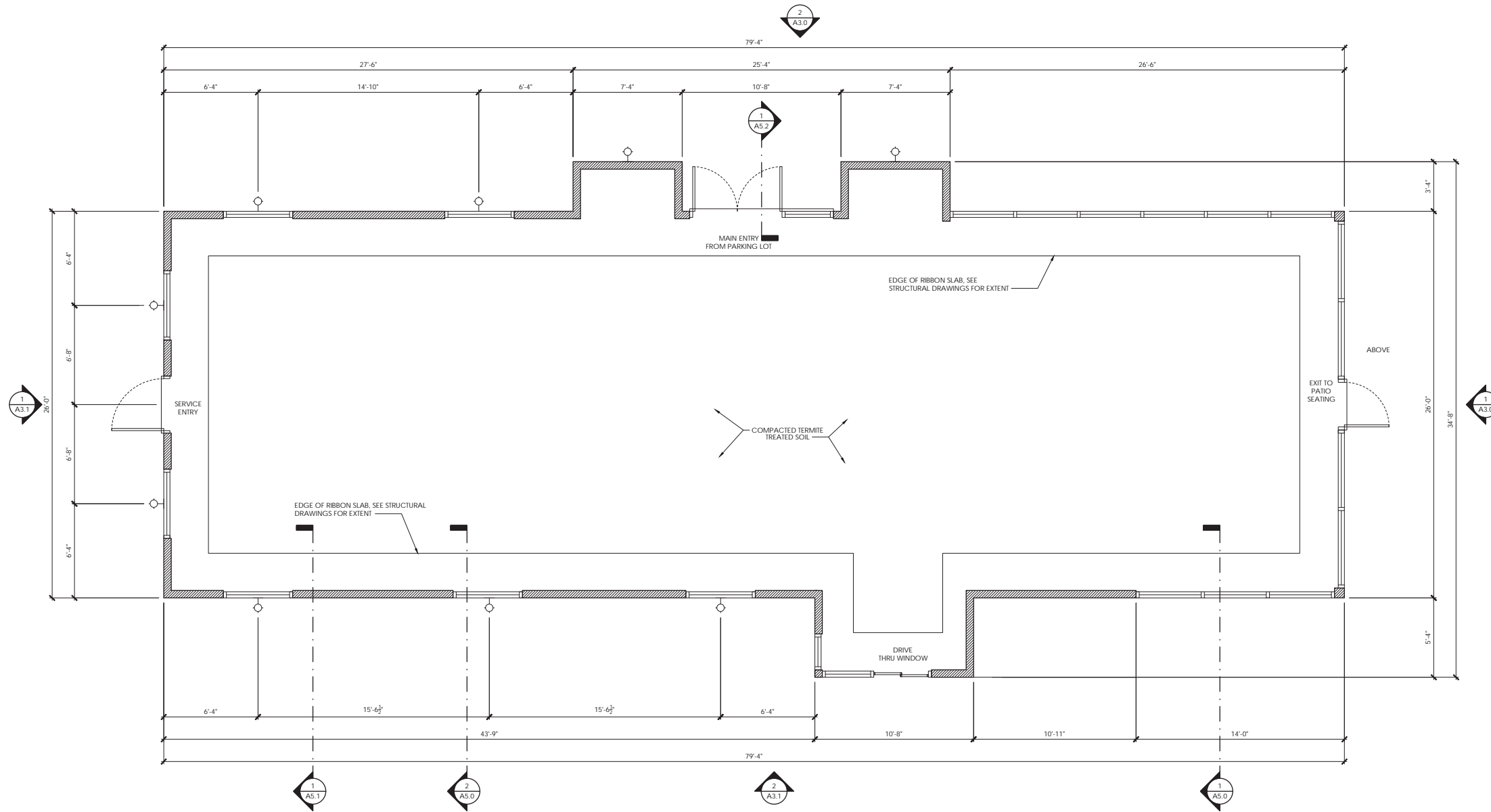


**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

**STARBUCKS @ SEA TURTLE
MARKETPLACE**
430 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA 29928

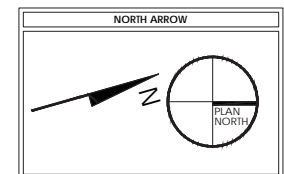


1 FLOOR PLAN
SCALE 1/4" = 1'-0"

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ISSUE	DATE	DESCRIPTION

PROJECT #: 17-029
PROJECT CONTACT: DPW
DATE: 5/8/2018



**FLOOR
PLAN
A2.0**



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MARKETPLACE**
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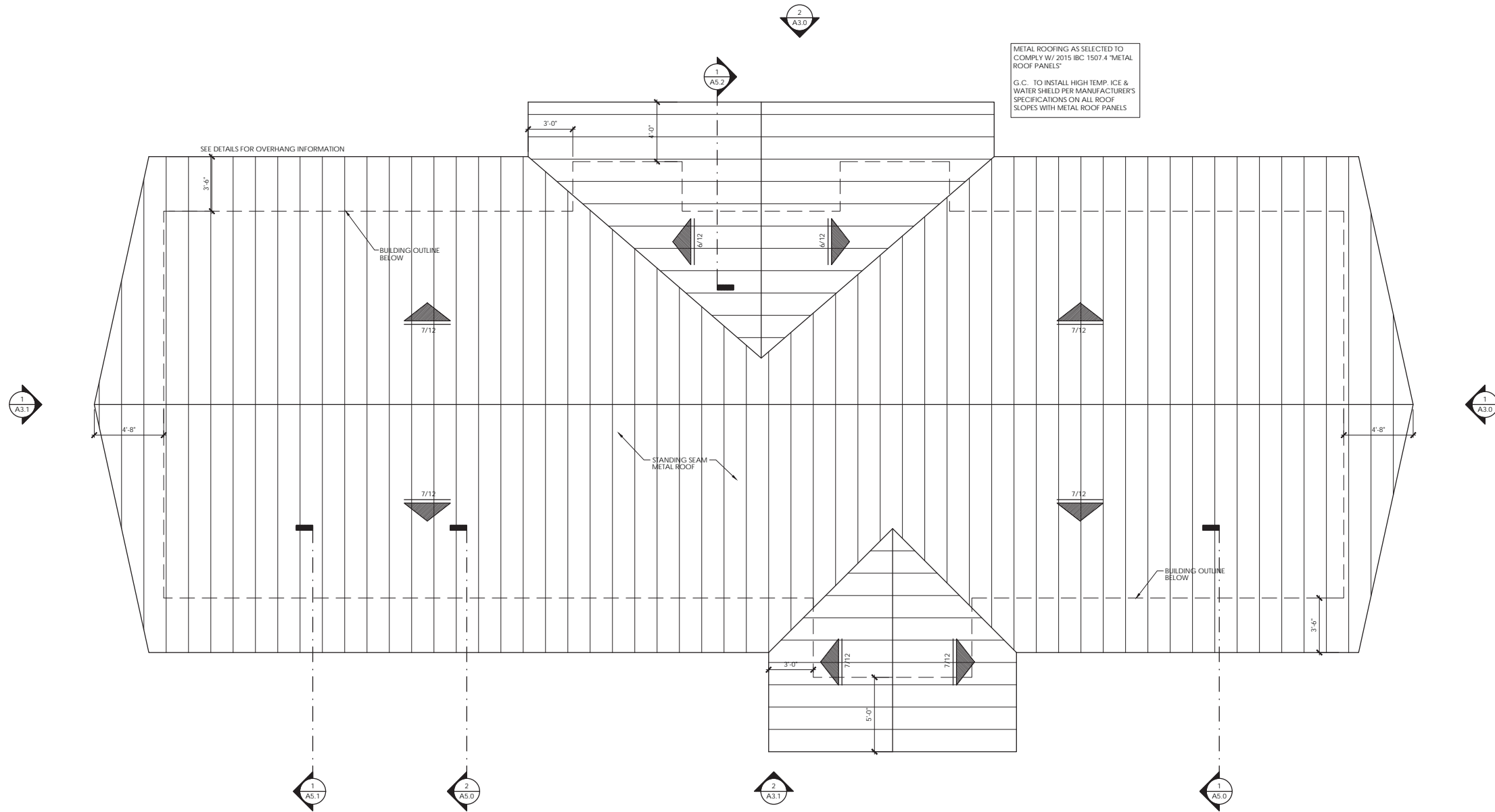
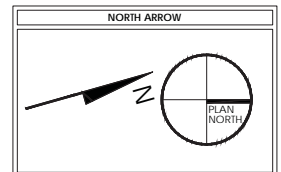
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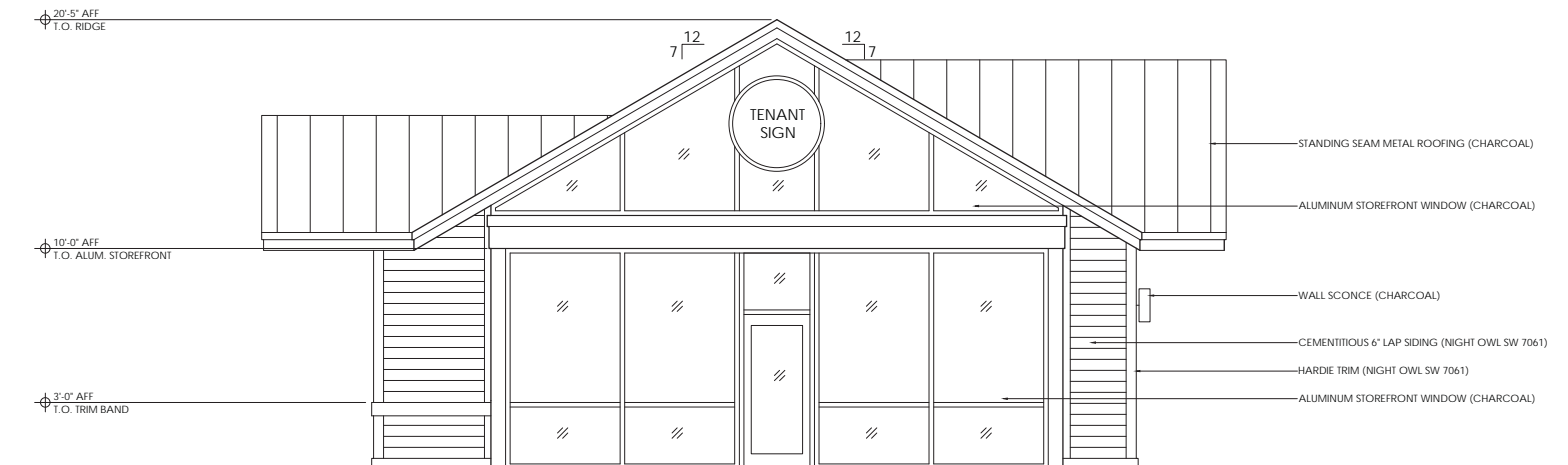
PROJECT #: 17-029
PROJECT CONTACT: DPW
DATE: 5/8/2018

**ROOF
PLAN**

A2.1



1 ROOF PLAN
A2.1 SCALE 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE				
NO.	MATERIAL	FINISH/STYLE	COLOR/DESCRIPTIONS	VENDOR/CONTACT
1	METAL ROOFING	STANDING SEAM	CHARCOAL	McELROY METAL
2	CEMENTITIOUS SIDING (BODY)	SHERWIN WILLIAMS SW7658	GRAY CLOUDS	HARDIE
3	CEMENTITIOUS SIDING (ACCENT)	SHERWIN WILLIAMS SW7061	NIGHT OWL	HARDIE
4	CEMENTITIOUS TRIM	SHERWIN WILLIAMS SW7056	RESERVED WHITE	HARDIE
5	KDAT TRIM	SHERWIN WILLIAMS SW7056	RESERVED WHITE	
6	ALUMINUM STOREFRONT	ANODIZED PLUS	CHARCOAL	YKK
7	EXTERIOR WALL SCONCE	POWER COATED	CHARCOAL	SEE CUT SHEET

FRONT ELEVATION (NORTH)

1
A3.0 SCALE 1/4" = 1'-0"



RIGHT ELEVATION (WEST)

2
A3.0 SCALE 1/4" = 1'-0"



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STARBUCKS @ SEA TURTLE
MARKETPLACE

430 WILLIAM HILTON PARKWAY
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ISSUE	DATE	DESCRIPTION

PROJECT # : 17-029
PROJECT CONTACT : DPW
DATE : 5/8/2018

EXTERIOR
ELEVATIONS
A3.0

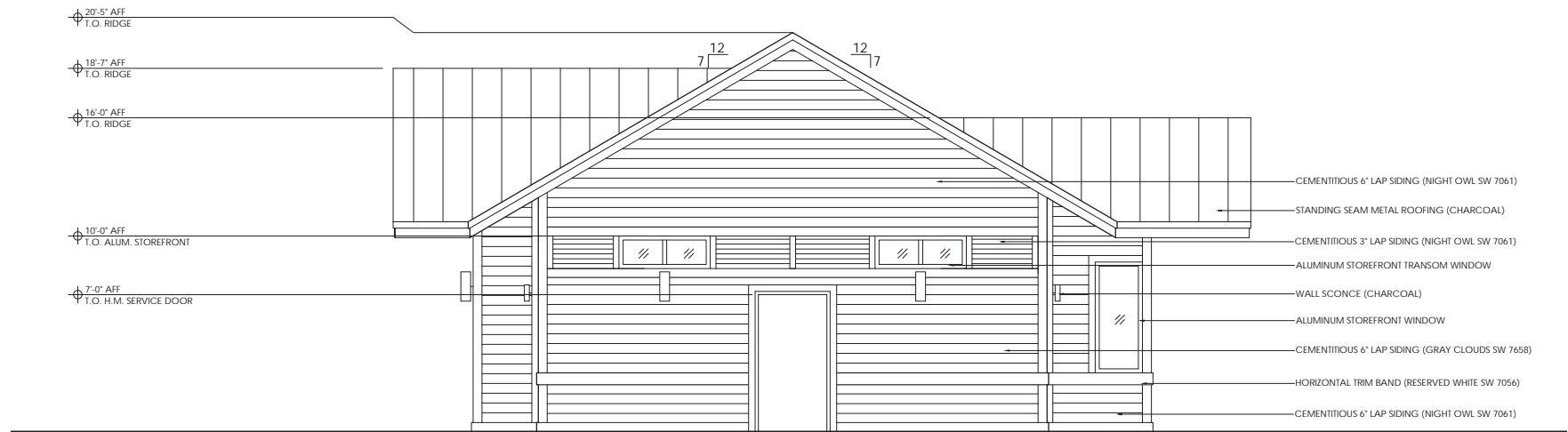


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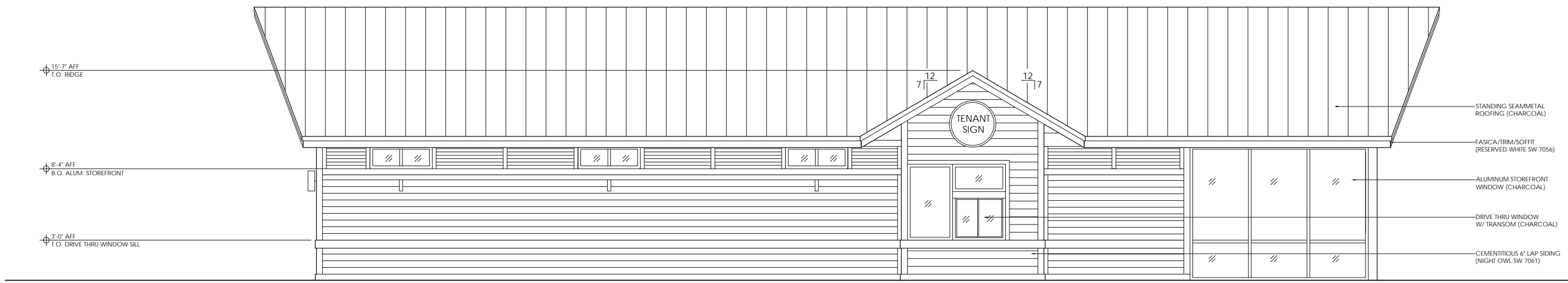
STARBUCKS @ SEA TURTLE
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430 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA 29928



EXTERIOR FINISH SCHEDULE				
NO.	MATERIAL	FINISH/STYLE	COLOR/DESCRIPTIONS	VENDOR/CONTACT
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5	KDAT TRIM	SHERWIN WILLIAMS SW7056	RESERVED WHITE	
6	ALUMINUM STOREFRONT	ANODIZED PLUS	CHARCOAL	YKK
7	EXTERIOR WALL SCONCE	POWER COATED	CHARCOAL	SEE CUT SHEET

1 REAR ELEVATION (SOUTH)

A3.1 SCALE 1/4" = 1'-0"



2 LEFT ELEVATION (EAST)

A3.1 SCALE 1/4" = 1'-0"

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PROJECT CONTACT : DPW
DATE : 5/8/2018

EXTERIOR
ELEVATIONS
A3.1

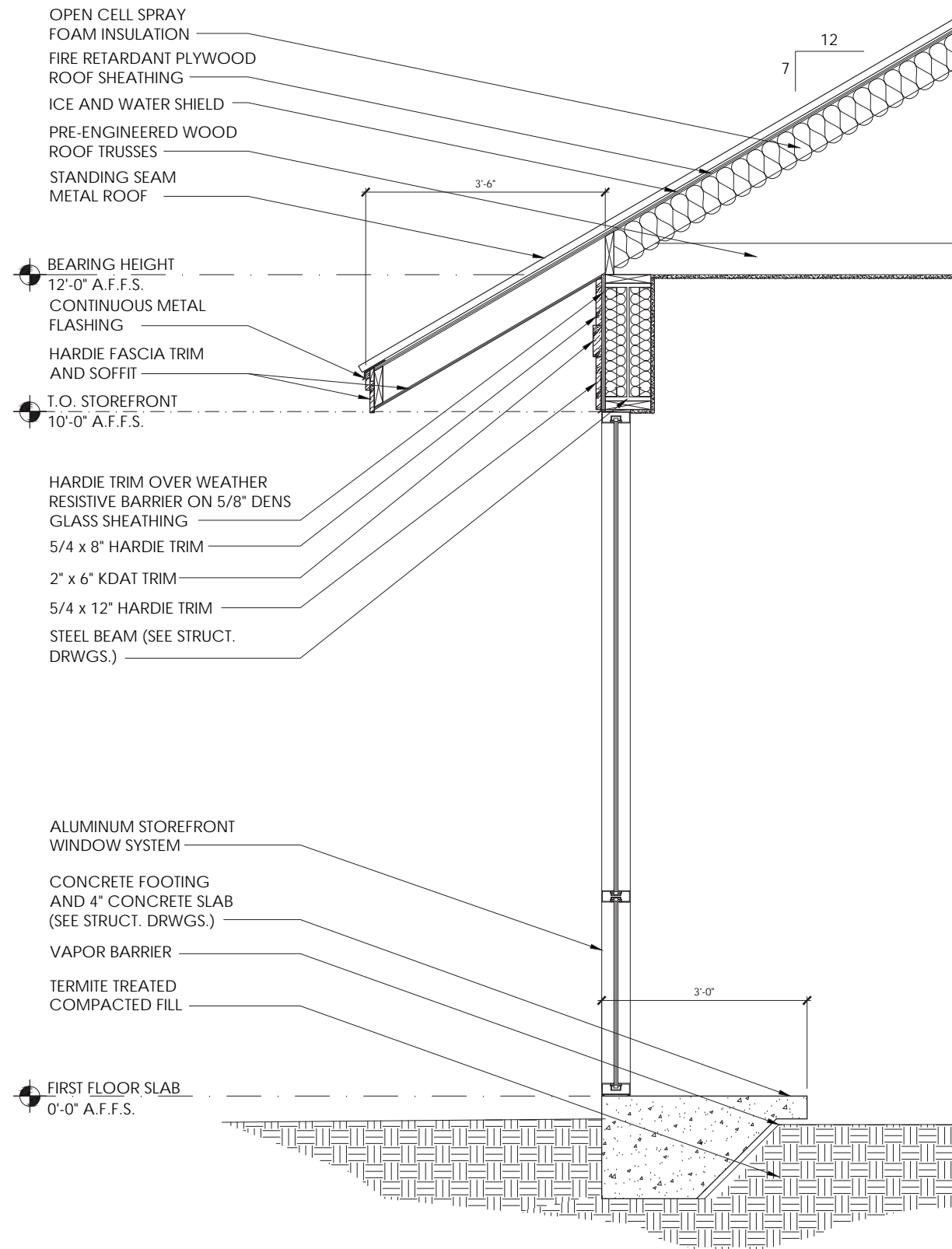


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ATKINS
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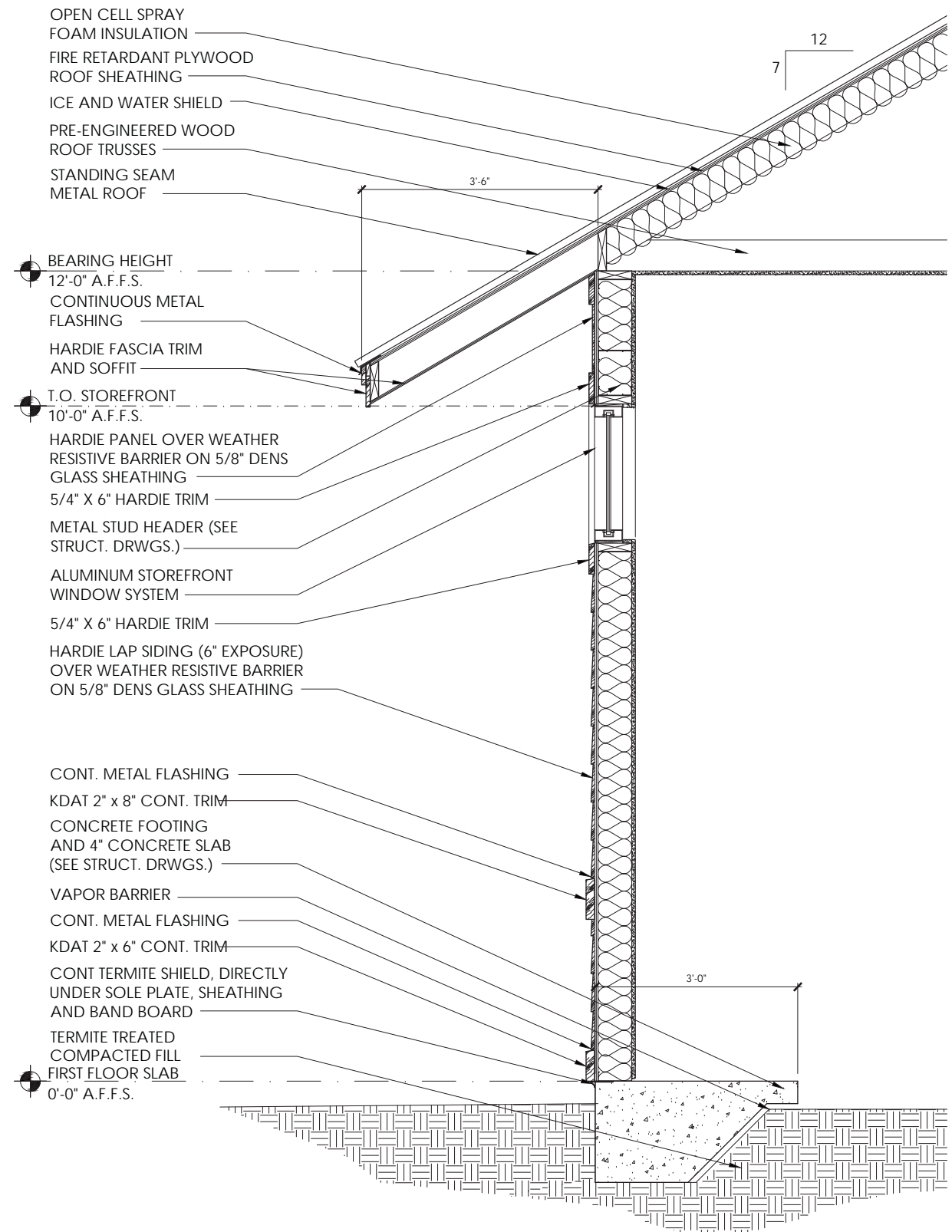
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STARBUCKS @ SEA TURTLE
MARKETPLACE
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HILTON HEAD ISLAND, SOUTH CAROLINA 29928



1 WALL SECTION
A5.0 SCALE 1" = 1'-0"



2 WALL SECTION
A5.0 SCALE 1" = 1'-0"

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ISSUE	DATE	DESCRIPTION
PROJECT #:	17-029	
PROJECT CONTACT:	DPW	
DATE:	5/8/2018	

WALL
SECTIONS
A5.0

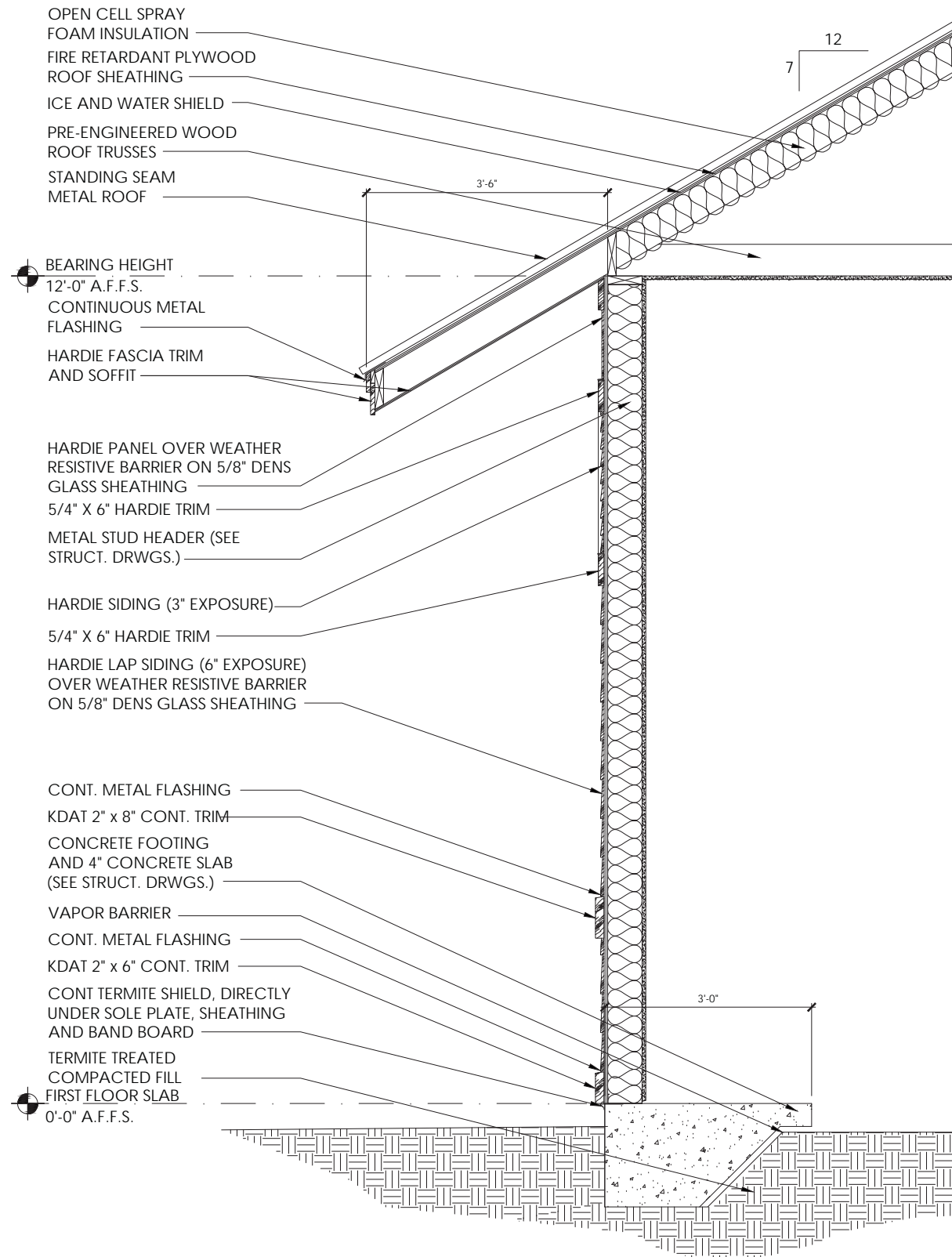


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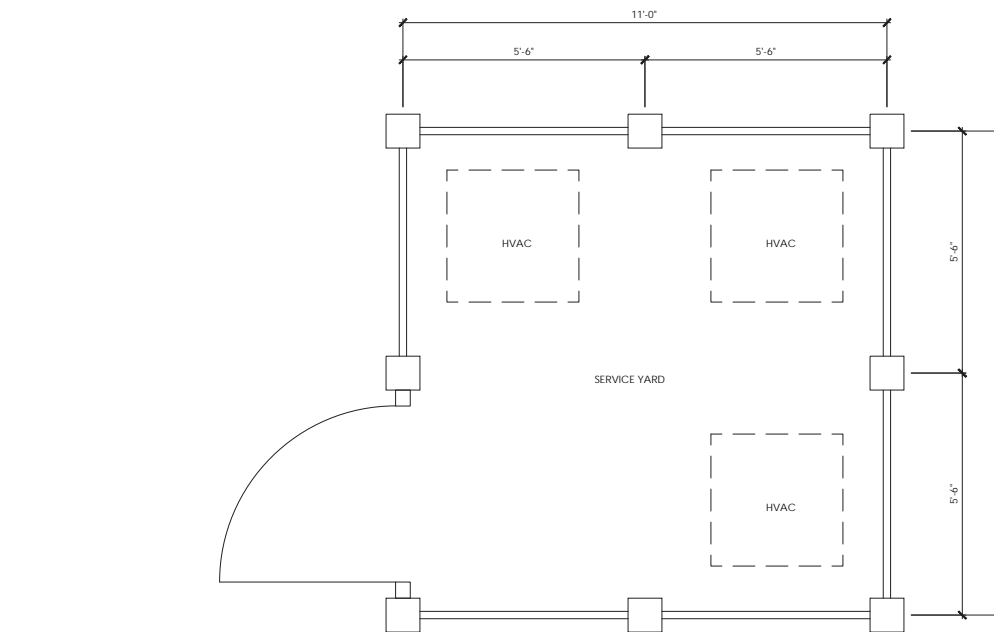
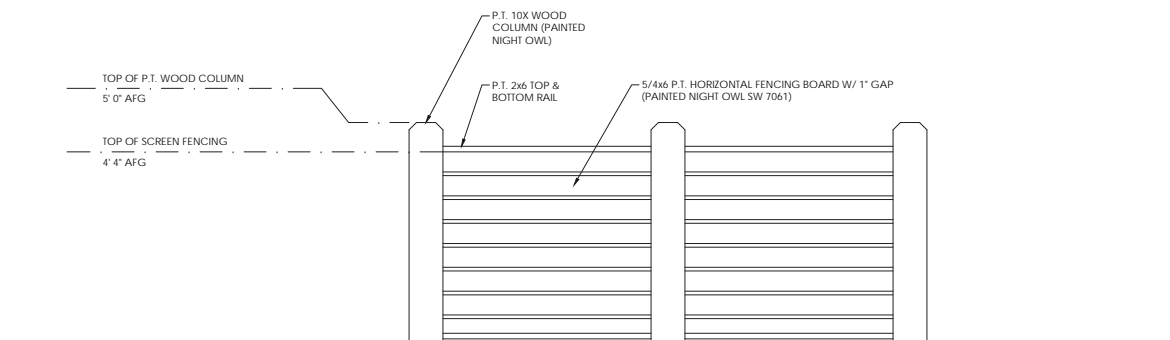
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**STARBUCKS @ SEA TURTLE
MARKETPLACE**
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1 WALL SECTION
SCALE 1" = 1'-0"



2 SERVICE YARD FENCE DETAIL
SCALE 1/2" = 1'-0"

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ISSUE	DATE	DESCRIPTION

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PROJECT CONTACT: DPW
DATE: 5/8/2018

**WALL SECTION
& DETAIL
A5.1**

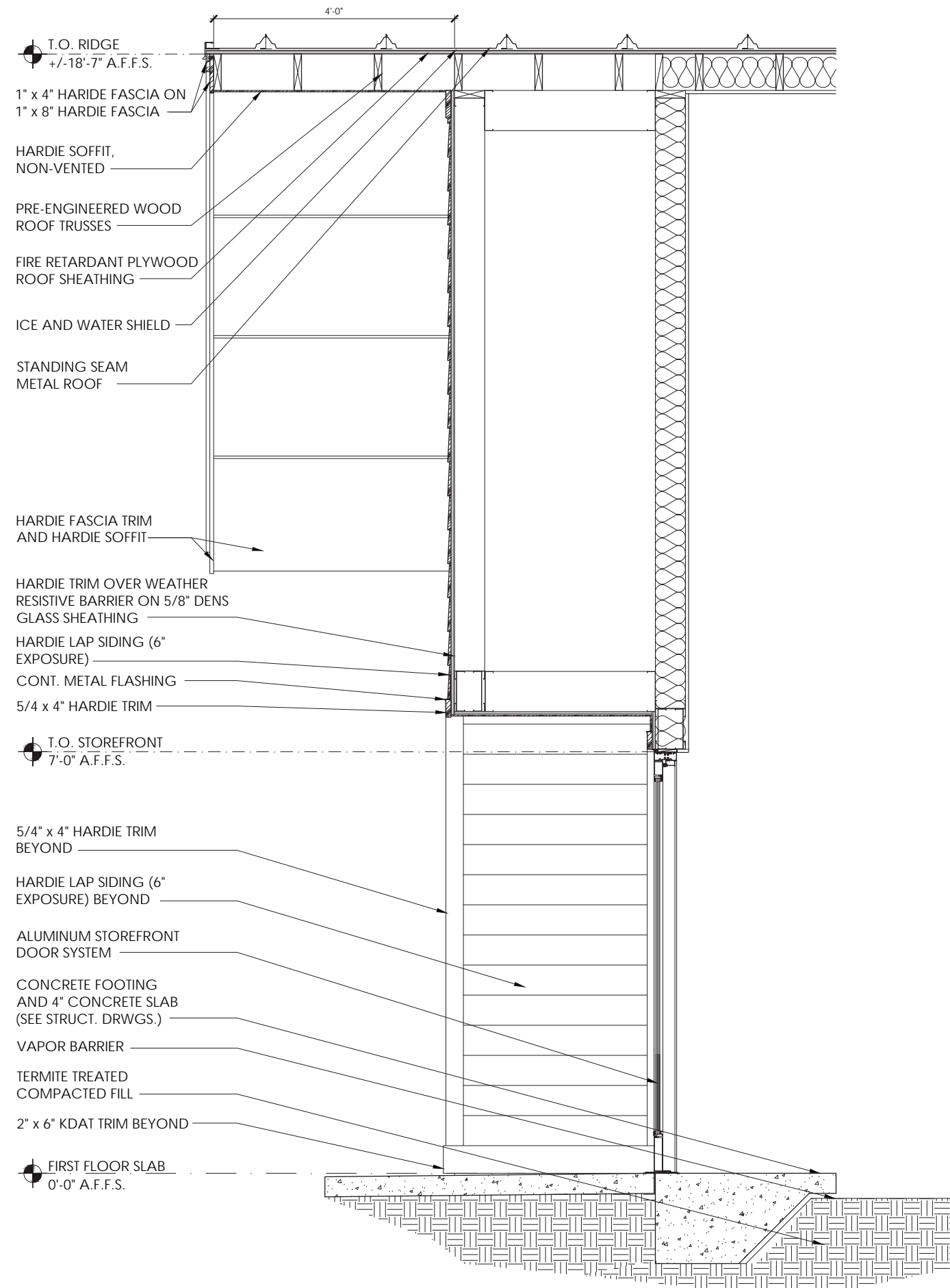


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1
A5.2 WALL SECTION
SCALE 1" = 1'-0"

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ISSUE	DATE	DESCRIPTION

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PROJECT CONTACT : DPW
DATE: 5/8/2018

WALL
SECTION
A5.2



Wheeler Starbucks Model

05/08/2018



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Wheeler Starbucks Model
05/08/2018



Wheeler Starbucks Model
05/08/2018



Wheeler Starbucks Model
05/08/2018



Wheeler Starbucks Model
05/08/2018

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Starbucks Sea Turtle Marketplace

DRB#: DRB-001166-2018

DATE: 05/09/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

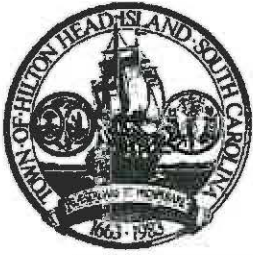
1. Remove curb beyond existing edge of asphalt with-in dripline of the 26 Live Oak at William Hilton Parkway.
2. Add bollard to protect ground from compaction with-in dripline of the 26 Live Oak at William Hilton Parkway.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No but slope is appropriate

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<ol style="list-style-type: none"> 1. Remove curb beyond existing edge of asphalt. 2. Add bollard to protect ground from compaction.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: William Scarbrough Company: Land Development Consultants, LLC
 Mailing Address: 11811 N Tatum Blvd, #1051 City: Phoenix State: AZ Zip: 85028
 Telephone: 602-850-8141 Fax: _____ E-mail: bill@LDCAZ.com
 Project Name: Circle K Project Address: 71 Mathews Dr
 Parcel Number [PIN]: R 5 1 1 0 0 8 0 0 0 1 9 1 A 0 0 0 0
 Zoning District: LC-Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.


SIGNATURE

5/8/18
DATE

Development Team

Developer: Circle K Stores Inc.
2440 Whitehall Park Drive, Suite 800
Charlotte, North Carolina 28273
Attn: Zachary Grogan
Phone: 813.240.1223
Email: zgrogan@circlek.com

Planning & Entitlements: Land Development Consultants, LLC
11811 North Tatum, Suite 1051
Phoenix, AZ 85028
Attn: William Scarbrough
Phone: 602-850-8141
Email: Bill@LDCAZ.com

The property which is the subject of this Design Review Board application is located at 71 Mathews Drive, Hilton Head Island, South Carolina, as shown below. The property includes approximately 1.5 acres and is currently developed and operated as a retail convenience grocery store with automotive fuel sales.



Proposed Development.

In order to facilitate a better retail experience for public convenience, the Circle K is proposing to demolish the existing convenience store and four (4) fuel pumps under canopy and redevelop the property with a new 4,968 square foot convenience store with six (6) fuel pumps under a canopy. The site design provides for twenty-five (25) vehicular parking spaces, and wide drive aisles to provide ample vehicular circulation through the development. The proposed development will also include a new and expand parking lot, new underground storage tanks, and new landscaping across the property. Underground storage tanks will be used to store and dispense motor vehicle fuels through a state-of-the-art and environmentally protective system, which includes a number of leak detection mechanisms. The new development will utilize the exiting (redesigned) curb cuts to provide vehicular access to the facility from William Hilton Parkway and Mathews Drive. New signage will be provided on both William Hilton Parkway and Mathews Drive, along with limited on-building signage.

Tree and topographic surveys have been conducted and found no specimen trees or significant topography related to this site. The proposed improvements are in Flood Zones B & C, where currently no special conditions apply. The street setback requirements are 50ft/75° from William Hilton Pkwy and 40ft/70° from Matthews Drive, while the setback requirements for adjacent uses is 20ft/75°. The adjacent street buffer requirements are Type E along William Hilton Pkwy and Type B along Matthews Drive. The proposed development contemplates administrative variances for the rear and front buffer and setback requirements.

Both the proposed building and canopy will feature four-sided architecture with various design elements to enhance the aesthetic quality of the development. The proposed redevelopment provides for a building orientation towards William Hilton Pkwy. The colors of the proposed structures as well as the architectural features have been coordinated and are complementary with the unique qualities and character of nearby buildings. Site lighting will be designed to provide a safe and secure facility, but also to not have an adverse impact upon the adjoining properties and the surrounding area.

The retail facility will operate 24 hours per day, 7 days per week with 1-3 employees per shift. Timing, frequency, and location of delivery services will vary depending on volume of products sold with the size and type of delivery vehicles varying from small trucks to fuel tankers. The facility will offer for sale to the general public a wide variety of packaged and fresh goods, as well as fountain soft-drinks, coffees, teas, bottled beverages, tobacco and alcohol.

Conceptual Approval Conditions:

1. The building roof shall be restudied to include a pitch.

Response: The roof of the convenience store has been restudied to include significant pitched roof elements along the store front and sides. A portion of flat roof is contemplated to house the necessary mechanical equipment to service the convenience store.

2. The planting plan shall be revised per Staff comments.

- a. Design Guide/LMO Criteria: Treats the Landscape as a major element of the project.

Staff comment: Provide a 6' planter between the front of the building and the front sidewalk. 3' is too narrow.

Response: The planter in front of the building has been removed and an additional landscape finger has been provided in front of the store.

- b. Design Guide/LMO Criteria: Landscape is designed so that it may be maintained in its natural shape and size.

Staff comment: The spacing of the wax myrtle in the front will require severe and frequent pruning. Avoid planting in rows, instead plant in masses or double staggered rows allowing room for the plants to mature naturally.

Response: The spacing of the wax myrtle has been revised per Staff comments.

- c. Design Guide/LMO Criteria: A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth.

Staff comment: Use several 4” caliper trees along Mathews and Hwy 278.

Response: We have incorporated several 4” caliper trees along both frontages.

- d. Design Guide/LMO Criteria: Proper spacing and location of plants to reach their mature size and their natural shape while avoiding excessive or unnatural pruning.

Staff comment: The spacing of the wax myrtle in the front will require severe and frequent pruning. Avoid planting in rows, instead plant in masses or double staggered rows allowing room for the plants to mature naturally.

Response: The spacing of the wax myrtle has been revised per Staff comments.

- e. Design Guide/LMO Criteria: Large grassed lawn areas encompassing a major portion of the site are avoided.

Staff comment: Eliminate or further limit the amount of lawn. The stormwater detention will need to be planted with native grasses, species selected based on if there will be standing water in the basin.

Response: The amount of lawn has been reduced and we have included native grasses in the stormwater detention area.

- f. Design Guide/LMO Criteria: An effort has been made to preserve existing trees and under story plants.

Staff comment: The cluster of existing trees at the corner of Mathews and Hwy 278 should be preserved given they are the only existing tree canopy at the corner.

Response: We have preserved the existing palms in this location as directed by Staff. We will be removing other existing trees in this area due to the compromised health of the trees.

- g. Design Guide/LMO Criteria: Supplemental and replacement trees meet LMO requirements for size, species and number.

Staff comment: Minimum height for the overstory trees is 10’.

Response: Acknowledged and the revised plan is in compliance.

3. The lighting shall be revised per Staff comments.

- a. Lighting under the canopy exceeds the 12 foot candles allowed by the LMO.

Response: Acknowledged, will comply.

- b. Specify on the plans that all lights will not exceed 3000K.

Response: Acknowledged, will comply.

- c. Include shields on lights to prevent light from crossing the property line.

Response: Acknowledged, will comply.

- d. Specify bronze light fixtures and poles.

Response: Acknowledged, will comply.

4. A tree removal and preservation plan shall be submitted.

Response: We have included a tree removal and preservation plan with this submittal.

5. The water table shall be converted to a brick water table.

Response: The water table has been converted to a brick water table.

6. The walk shall be extended north to the property line along Mathews Drive.

Response: The walk has been extended north to the property line along Mathews Drive.

Metal Picnic Table - 46" Round, Brown



Uline loves these! Attractive, rugged and built to last. Give your corporate office patio an upscale look.

- Thermoplastic coating withstands heat, cold and all weather elements.
- High gloss, smooth surface allows for easy spray paint and graffiti removal.
- 9 gauge expanded metal with 2" black steel frame.
- Rounded corners for added safety.

[More Images & Video](#)

MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)	PRICE EACH		ADD TO CART	
				1	3+	<input type="text"/>	<input type="button" value="ADD"/>
H-2127BR	46" Round	81 x 81 x 30 1/2"	255	\$740	\$690	<input type="text" value="1"/>	<input type="button" value="ADD"/>

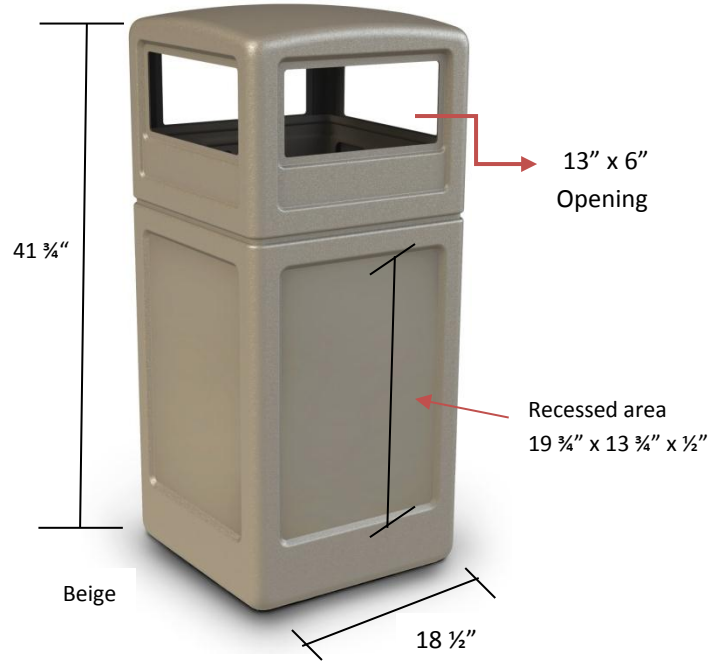
DROP SHIPS IN 1 DAY FROM NC UNASSEMBLED VIA MOTOR FREIGHT

[+ Additional Info](#) |
 [+ Parts](#) |
 [+ Email Page](#) |
 [+ Add to Favorites](#) |
 [Request a Catalog](#)

42-Gallon Square Waste Container with Dome Lid

Item#:

- 73290199 – Black
- 73290299 – Beige
- 73290399 – Gray
- 73290499 – Blue
- 73293799 – Brown
- 73295399 – Forest Green
- 73296399 – Nuthatch
- 73294799 – Dark Blue



Unit Size	Capacity	Weight
18 1/2" L x 18 1/2" W x 41 3/4" H	42-Gallons	24 lbs

Carton Size	# Cartons Shipped	Dimensional Wt.	Carton Wt.
(Ctn1) 19" L x 20" W x 35" H (Ctn2) 19" L x 19" W x 16" H	(1) Waste Container (2) Dome Lid	(Ctn1) 80 lbs (Ctn2) 35 lbs	(Ctn1) 21 lbs (Ctn2) 8 lbs

Ships at Dimensional Weight

Material Process: Blow-Molded with HDPE

Color Options

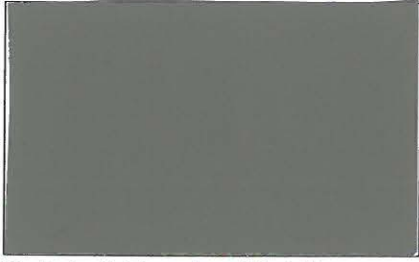


Features and Benefits

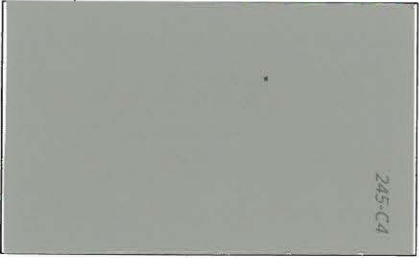
Contemporary style dome lid helps keep the weather elements out and allows for convenient disposal on all sides. This heavy-duty waste container is designed to withstand the harshest environments and is perfect for indoor or outdoor use.

- Large 42-gallon trash capacity is perfect for high traffic areas; uses 45 gallon trash bags
- Large 13" x 6" opening on all four sides allow for convenient disposal
- Lid fits snug to base and lifts off for easy trash removal. Trash receptacle includes patented Grab Bag™ system and additional routed openings to secure trash bag in place
- Environmentally friendly; molded from long-lasting recycled polyethylene; won't rust, dent or chip
- Plastic is approximately 1/8" thick for extra durability
- Molded with at least 25% recycled material
- ADA Compliant
- Made in USA
- 1-year warranty

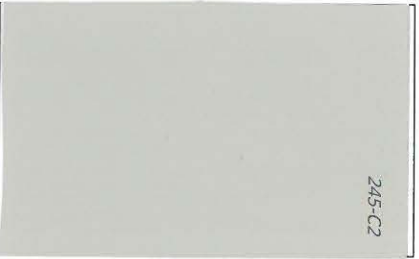
Circle K Redevelopment Color Board



Paint at Cornice Molding
Sherwin Williams
SW 7047 - Porpoise



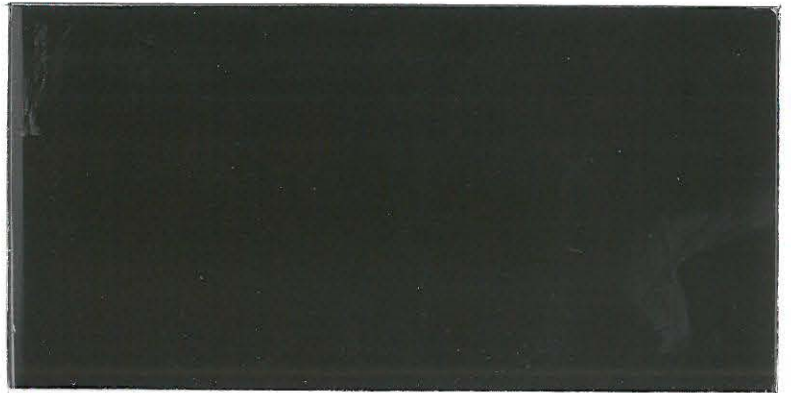
Stucco & Paint
Sherwin Williams
SW 9171 - Felted Wool



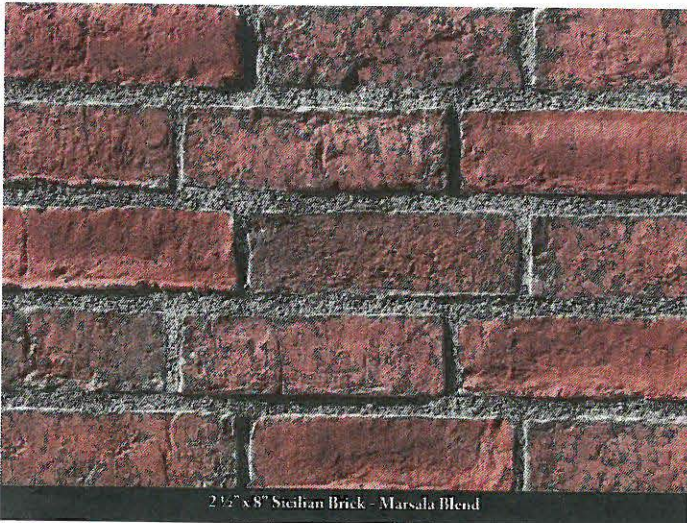
Stucco & Paint
Sherwin Williams
SW 7044 - Amazing Gray



Standing Seam Metal Roof
Firestone Una-Clad - Slate Gray

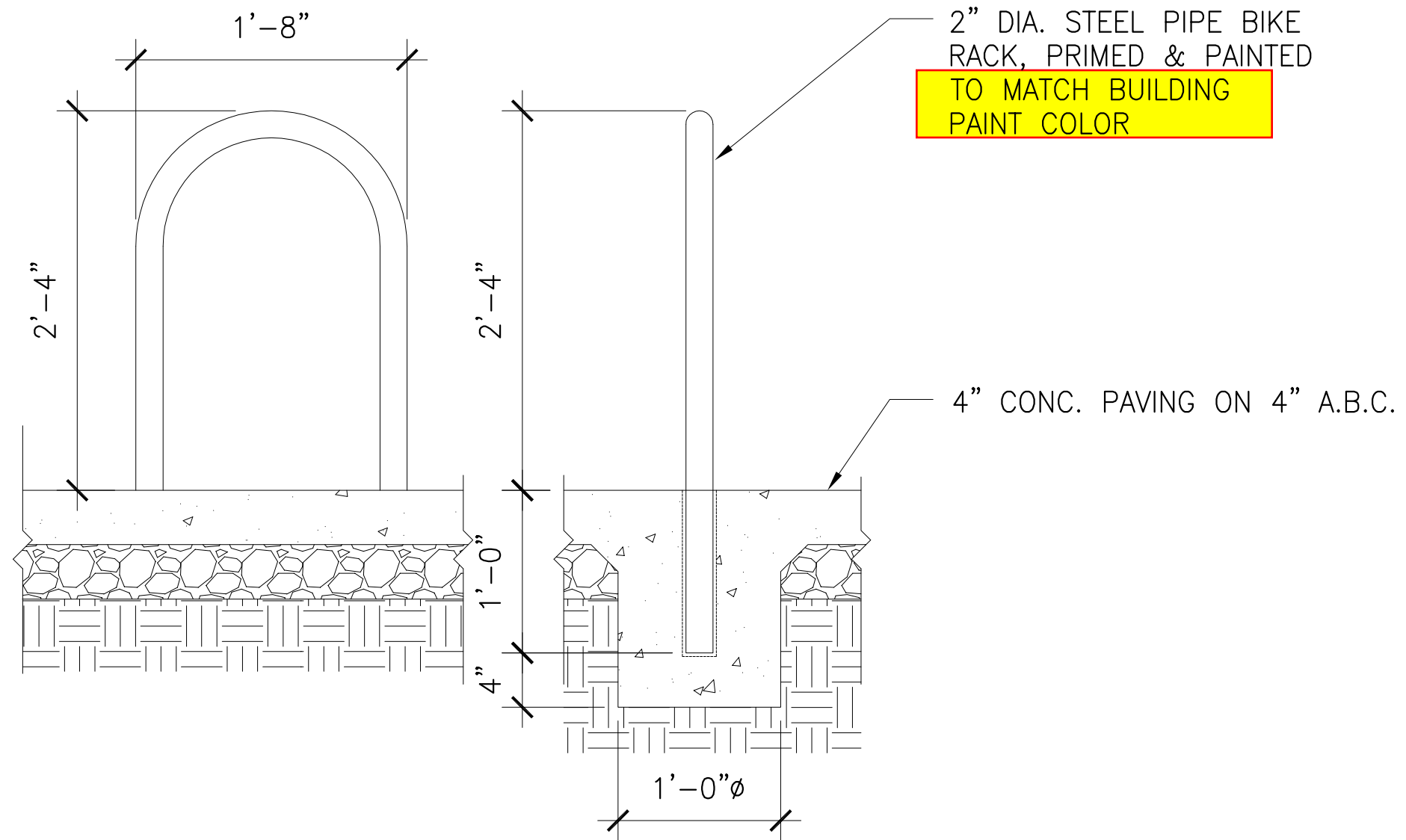


Storefront
Dark Bronze



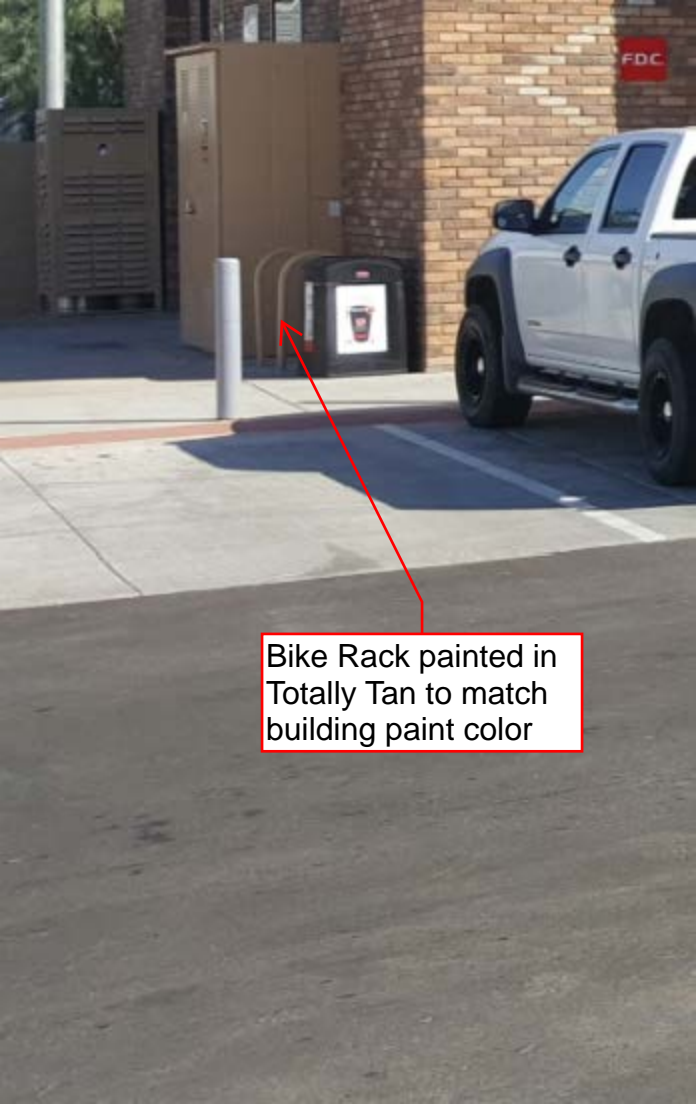
2 1/2" x 8" Sicilian Brick - Marsala Blend

Brick
Coronado Stone
Sicilian Brick
Marsala Blend



NOTE:

1. MAINTAIN 6' LONG USABLE SPACE FOR BICYCLE.
2. MAINTAIN 30" BETWEEN EACH RACK (FOR ADDITIONAL RACK)
3. MAINTAIN 15" CLEAR DISTANCE BEYOND RACK



Bike Rack painted in
Totally Tan to match
building paint color

Context Photos



Proposed Location:
71 Matthews Drive
Hilton Head Island, SC

April 10th 2018

Existing Conditions from the South looking North -



Existing Conditions from the SWC looking NE -



Existing Conditions from the West looking East -



Hampton Inn to the East -



Public Storage to the North -

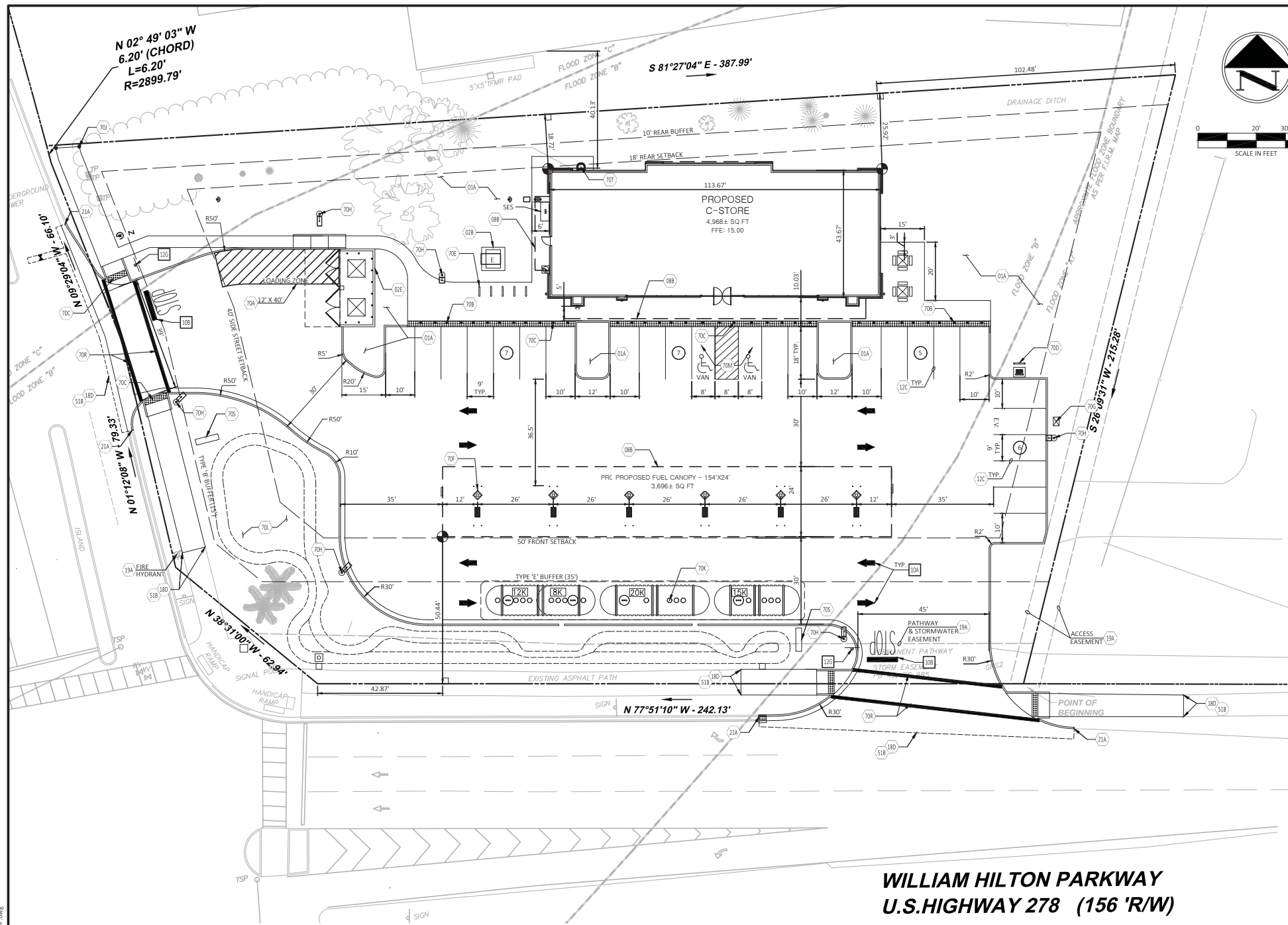


Wells Fargo to the South -



McDonald's to the South East -





GENERAL SITE NOTES

- A. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
- B. PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
- C. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- D. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- E. ALL CURBED RADII ARE TO BE 3' OR 10' UNLESS OTHERWISE NOTED.
- F. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- G. EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS. (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- I. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- J. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS.
- K. REFER TO ARCH. PLANS FOR PYLON AND/OR MONUMENT SIGNS.
- L. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- M. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
 ALL CURB AND GUTTER IN THE RIGHT-OF-WAY SHALL BE INSTALLED PER SCOTD AND HILTON HEAD ISLAND STANDARDS.
 ALL CURB AND GUTTER ON-SITE SHALL BE INSTALLED PER SCOTD AND HILTON HEAD ISLAND STANDARDS.
 PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8A OVER THE ENTIRE PARKING LOT AREA.
 ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER HILTON HEAD ISLAND STANDARDS.
- N. MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
- O. ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT SPECIFICATIONS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- P. REFERENCE DETAIL 08R FOR CONCRETE JOINT DETAILS.

FLOOD ZONE DESIGNATION

THE FLOOD ZONE LIMITS SHOWN ARE GRAPHIC ILLUSTRATIONS TAKEN FROM FIRM MAP 450250 0009 D, DATED 9-29-1986. THE SITE IS AFFECTED BY ZONES A7, B AND C.

METES & BOUNDS DESCRIPTION

REFERENCE COVER SHEET, SHEET C1.

SITE BENCHMARK

THE COORDINATES AND ELEVATIONS SHOWN ARE REFERENCED TO TIDAL BENCH MARK 896 9299 E TIDAL USING THE "GPS" VARIABLE BASE NETWORK. THE BENCHMARK USED IS A FIRST ORDER CLASS II MONUMENT. THE COORDINATES ARE TIED TO THE SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD'83 2011) AND VERTICALLY TO NAVD'88

NOTE

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

PROJECT INFORMATION

PROJECT NAME:	CIRCLE K
PROJECT ADDRESS:	71 MATHEWS DRIVE HILTON HEAD, SC 29926
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW FREE-STANDING CIRCLE K STORE WITH FUEL SALES

SITE INFORMATION

SUBJECT PROPERTY	1.479± AC / 64,422± SF
LANDSCAPE AREA (ONSITE & FRONTAGE)	0.76± AC / 33,061± S.F.
REQUIRED LANDSCAPE RATIO	40% (25,769± S.F.)
PROVIDED LANDSCAPE/PREVIOUS RATIO	40.1% (25,819± S.F.)
PROVIDED IMPERVIOUS RATIO	59.9% (38,602± S.F.)

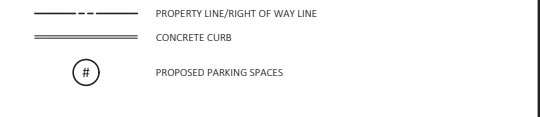
ZONING INFORMATION

JURISDICTION:	TOWN OF HILTON HEAD ISLAND
EXISTING ZONING:	LC (LIGHT COMMERCIAL)
PROPOSED ZONING:	LC (LIGHT COMMERCIAL)
MAX. BUILDING HEIGHT ALLOWED:	45'-0" MAXIMUM HEIGHT
PROPOSED BUILDING HEIGHT:	23' - 8"
SETBACKS:	BUILDING: FRONT SETBACK: 50' / 75' (WILLIAM HILTON PKWY) STREET SIDE SETBACK: 40' / 70' (MATHEWS DRIVE) SIDE SETBACK: 20' / 75' REAR SETBACK: 20' / 75' (18' ALLOWED BY VARIANCE) LANDSCAPE: WILLIAM HILTON PKWY - TYPE E (35' WIDE) MATHEWS DRIVE - TYPE B (15' WIDE)

PARKING REQUIREMENTS

PARKING REQUIRED:	CONVENIENCE STORE - 4,968 S.F. (1 / 200 SF OF GFA): 25 SPACES MIN / 26 SPACES MAX (9' X 18' STD)
PARKING PROVIDED:	STANDARD: 23 (9' X 18') ACCESSIBLE: 2 (8' X 18', 8' ACCESS SHARED AISLE) TOTAL PARKING: 25
BICYCLE PARKING REQUIRED:	120 SF (10 BICYCLE SPACES)
BICYCLE PARKING PROVIDED:	120 SF (10 BICYCLE SPACES)

PROPOSED



SITE NOTES

- 01A LANDSCAPED AREA.
- 02B TRANSFORMER PAD (PER ELEC. CO PLANS)
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- 08B OVERHEAD CANOPY - (TYP. - PER ARCH. PLANS)
- 12C 4 INCH REFLECTIVE WHITE LANE STRIPES (SEE LENGTH INDICATED AT SYMBOL)
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 19A EXISTING TO REMAIN
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 70A LOADING AREA
- 70B BOLLARD, REF PLAN FOR NO. & SPACING (PER ARCH PLANS)
- 70C 2" WIDE (MINIMUM) DETECTABLE WARNING (PER ARCH PLANS, STANDARDS)
- 70D AIR / WATER UNIT (PER ARCH PLANS)
- 70E BICYCLE RACK
- 70F FUEL PUMPS (PER ARCH PLANS)
- 70G ELECTRIC VEHICLE CHARGING STATION (PER ARCH PLANS)
- 70H LIGHT POLE (PER ARCH PLANS)
- 70J PEDESTRIAN BARRICADE
- 70K UNDERGROUND FUEL TANKS (PER ARCH PLANS)
- 70L BIO-RETENTION BASIN
- 70M ACCESSIBLE PARKING STALL
- 70R CROSSWALK MARKING
- 70S SIGNAGE (PER ARCH PLANS)
- 70T ROOF ACCESS (PER ARCH PLANS)

SITE DETAILS

- 10A TRAFFIC FLOW ARROW
- 10B STOP BAR
- 12S STOP SIGN

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

JOB # 30303 DRAWING 30303-SP.dwg LAST SAVED BY: ADOLIEF.LOCATION: P:\300001\30303_0\Drawings\Pre\30303-SP.dwg

**WILLIAM HILTON PARKWAY
U.S. HIGHWAY 278 (156' R/W)**



LAND DEVELOPMENT CONSULTANTS, LLC

CLIENT:
LAND DEVELOPMENT CONSULTANTS, LLC.
11811 N. TATUM BLVD., SUITE 1051
PHOENIX, AZ 85028
PH. 602.850.8101
FAX. 602.997.9807

PLANS PREPARED FOR:
CIRCLE K STORES, INC.
2440 WHITEHALL PARK DR.
SUITE 800
CHARLOTTE, NC 28273
PH. 480.414.2420

PRELIMINARY FOR REVIEW ONLY

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

7543 N. Ingram Ave., Suite 107 (559) 447-3119
Fresno, CA 93711 FAX: (559) 447-3129

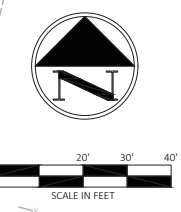
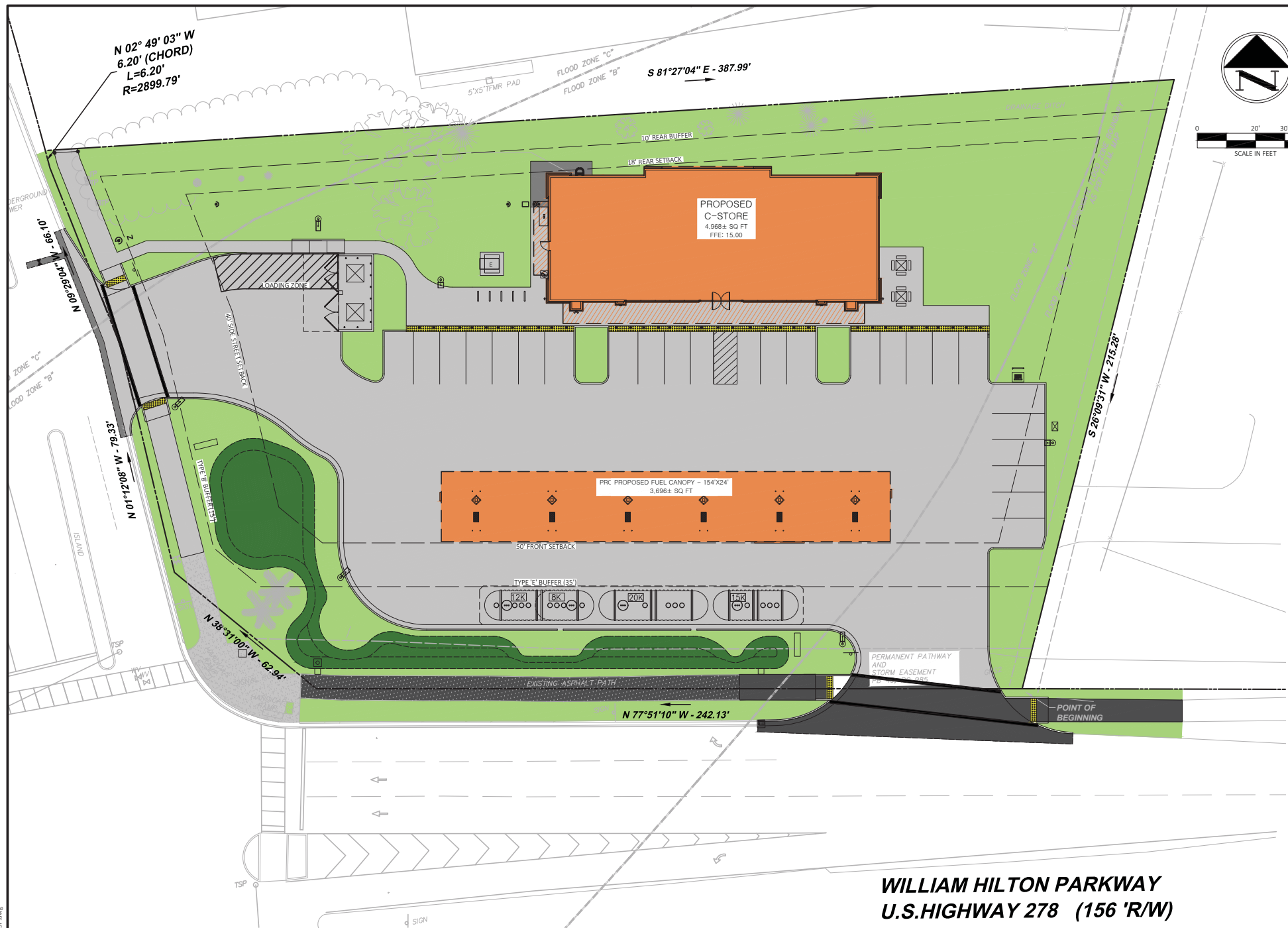
CIRCLE K
71 MATHEWS DRIVE
HILTON HEAD, SC 29926

NO.	DATE	DESCRIPTION
30303	5/7/18	REVISED
CEI PROJECT NO.	INITIAL DATE	DPQR
	PM	DES
	DRW	

SITE PLAN

REV. DATE	SHEET NO.
5/7/18	C3
REV-0	

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- REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
 - ALL CURB AND GUTTER IN THE RIGHT-OF-WAY SHALL BE INSTALLED PER SCOTCH AND HILTON HEAD ISLAND STANDARDS.
 - ALL CURB AND GUTTER ON-SITE SHALL BE INSTALLED PER SCOTCH AND HILTON HEAD ISLAND STANDARDS.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8A OVER THE ENTIRE PARKING LOT AREA.
 - ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER HILTON HEAD ISLAND STANDARDS.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% (1:48) IN ANY DIRECTION.
- ANY FACILITIES THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF CONSTRUCTION, SHALL BE REPLACED PER CURRENT SPECIFICATIONS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- REFERENCE DETAIL 08R FOR CONCRETE JOINT DETAILS.

FLOOD ZONE DESIGNATION

THE FLOOD ZONE LIMITS SHOWN ARE GRAPHIC ILLUSTRATIONS TAKEN FROM FIRM MAP 450250 0009 D, DATED 9-29-1986. THE SITE IS AFFECTED BY ZONES A7, B AND C.

METES & BOUNDS DESCRIPTION

REFERENCE COVER SHEET, SHEET C1.

SITE BENCHMARK

THE COORDINATES AND ELEVATIONS SHOWN ARE REFERENCED TO TIDAL BENCH MARK 666 9299 E TIDAL USING THE GDS VARIABLE BASE NETWORK. THE BENCHMARK USED IS A FIRST ORDER, CLASS II MONUMENT. THE COORDINATES ARE TIED TO THE SOUTH CAROLINA STATE PLAN COORDINATE SYSTEM (NAD'83 2011) AND VERTICALLY TO NAVD 88.

NOTE

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

PROJECT INFORMATION	
PROJECT NAME:	CIRCLE K
PROJECT ADDRESS:	71 MATHEWS DRIVE HILTON HEAD, SC 29926
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW FREE-STANDING CIRCLE K STORE WITH FUEL SALES
SITE INFORMATION	
SUBJECT PROPERTY:	1.479± AC / 64,422± SF
LANDSCAPE AREA (ONSITE & FRONTAGE):	0.76± AC / 33,061± S.F.
REQUIRED LANDSCAPE RATIO:	40% (25,769± S.F.)
PROVIDED LANDSCAPE/PERVIOUS RATIO:	40.1% (25,819± S.F.)
PROVIDED IMPERVIOUS RATIO:	59.9% (38,602± S.F.)
ZONING INFORMATION	
JURISDICTION:	TOWN OF HILTON HEAD ISLAND
EXISTING ZONING:	LC (LIGHT COMMERCIAL)
PROPOSED ZONING:	LC (LIGHT COMMERCIAL)
MAX. BUILDING HEIGHT ALLOWED:	45'-0" MAXIMUM HEIGHT
PROPOSED BUILDING HEIGHT:	23' - 8"
SETBACKS:	BUILDING: FRONT SETBACK: 50' / 75' (WILLIAM HILTON PKWY) STREET SIDE SETBACK: 40' / 70' (MATHEWS DRIVE) SIDE SETBACK: 20' / 75" REAR SETBACK: 20' / 75' (18' ALLOWED BY VARIANCE) LANDSCAPE: WILLIAM HILTON PKWY - TYPE E (35' WIDE) MATHEWS DRIVE - TYPE B (15' WIDE)

PARKING REQUIREMENTS	
PARKING REQUIRED:	CONVENIENCE STORE - 4,968 S.F. (1 / 200 SF OF GFA): 25 SPACES MIN / 26 SPACES MAX (9' X 18' STD)
PARKING PROVIDED:	STANDARD: 23 (9' X 18') ACCESSIBLE: 2 (8' X 18', 8' ACCESS SHARED AISLE) TOTAL PARKING: 25
BICYCLE PARKING REQUIRED:	120 SF (10 BICYCLE SPACES)
BICYCLE PARKING PROVIDED:	120 SF (10 BICYCLE SPACES)

PROPOSED	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	CONCRETE CURB
#	PROPOSED PARKING SPACES

- SITE NOTES**
- LANDSCAPED AREA.
 - TRANSFORMER PAD (PER ELEC. CD PLANS).
 - TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
 - OVERHEAD CANOPY - (TRIP - PER ARCH. PLANS).
 - 4 INCH REFLECTIVE WHITE LANE STRIPES (SEE LENGTH INDICATED AT SYMBOL).
 - MATCH EXISTING PAVEMENT ELEVATIONS.
 - EXISTING TO REMAIN.
 - TAPER CURB TO MATCH EXISTING CURB.
 - LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
 - LOADING AREA.
 - BOLLARD, REF PLAN FOR NO. & SPACING (PER ARCH PLANS)
 - 2' WIDE (MINIMUM) DETECTABLE WARNING (PER ARCH PLANS, STANDARDS)
 - AIR / WATER UNIT (PER ARCH PLANS)
 - BICYCLE RACK
 - FUEL PUMPS (PER ARCH PLANS)
 - ELECTRIC VEHICLE CHARGING STATION (PER ARCH PLANS)
 - LIGHT POLE (PER ARCH PLANS)
 - PEDESTRIAN BARRICADE
 - UNDERGROUND FUEL TANKS (PER ARCH PLANS)
 - BIO-RETENTION BASIN
 - ACCESSIBLE PARKING STALL
 - CROSSWALK MARKING
 - SIGNAGE (PER ARCH PLANS)

SITE DETAILS

10A	TRAFFIC FLOW ARROW
10B	STOP BAR
12G	STOP SIGN

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

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LAND DEVELOPMENT CONSULTANTS, LLC

CLIENT:
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11811 N. TATUM BLVD., SUITE 1051
PHOENIX, AZ 85028
PH. 602.850.8101
FAX. 602.997.9807

PLANS PREPARED FOR:
CIRCLE K STORES, INC.
2440 WHITEHALL PARK DR.
SUITE 800
CHARLOTTE, NC 28273
PH. 480.414.2420

PRELIMINARY FOR REVIEW ONLY

CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRV
30303	5/7/18	RKN	JCH	RKN	JAP

CEI Engineering Associates, Inc.
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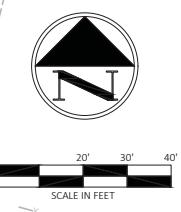
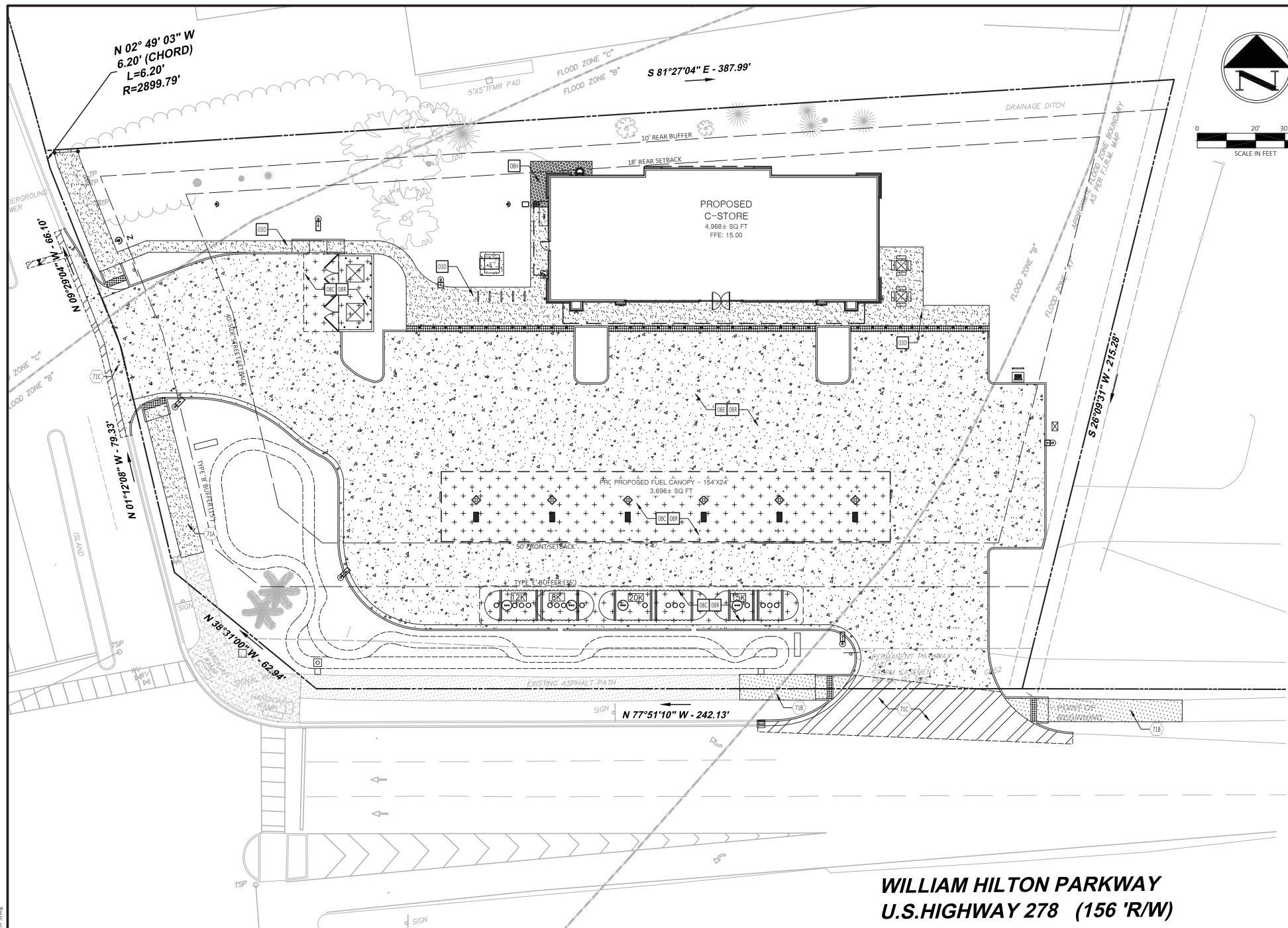
7543 N. Ingram Ave., Suite 107
Fresno, CA 93711 (559) 447-3119
FAX: (559) 447-3129

CIRCLE K
71 MATHEWS DRIVE
HILTON HEAD, SC 29926

REV. DATE	SHEET NO.
5/7/18 REV-0	C3.1

COLOR SITE PLAN

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- GENERAL SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
 - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL CURBED RADII ARE TO BE 3' OR 10' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - EXISTING STRUCTURES TO REMAIN WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED / ADJUSTED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
 - THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS.
 - REFER TO ARCH. PLANS FOR PYLON AND/OR MONUMENT SIGNS.
 - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
 - ALL CURB AND GUTTER IN THE RIGHT-OF-WAY SHALL BE INSTALLED PER SCOOT AND HILTON HEAD ISLAND STANDARDS.
 - ALL CURB AND GUTTER ON-SITE SHALL BE INSTALLED PER SCOOT AND HILTON HEAD ISLAND STANDARDS.
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8A OVER THE ENTIRE PARKING LOT AREA.
 - ALL PARKING LOT SIGN BASE SUPPORTS (EXCLUDING ACCESSIBLE PARKING SIGNAGE) SHALL BE INSTALLED PER HILTON HEAD ISLAND STANDARDS.
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 - REFERENCE DETAIL 08R FOR CONCRETE JOINT DETAILS.

- PROPOSED**
- PROPERTY LINE/RIGHT OF WAY LINE
 - CONCRETE CURB
 - LIMITS OF STANDARD DUTY CONCRETE PAVING PER DETAIL 08E
 - LIMITS OF HEAVY DUTY CONCRETE PAVING PER DETAIL 08C
 - LIMITS OF CONCRETE SIDEWALK PER DETAIL 03D
 - LIMITS OF CRUSHED STONE PAVING PER DETAIL 08H

- SITE NOTES**
- 71A CONCRETE SIDEWALK PER TOWN OF HILTON HEAD STANDARDS
 - 71B ASPHALT SIDEWALK PER TOWN OF HILTON HEAD STANDARDS
 - 71C ASPHALT PAVING PER TOWN OF HILTON HEAD STANDARDS

- SITE DETAILS**
- 03D CONCRETE SIDEWALK
 - 08C HEAVY DUTY CONCRETE PAVING
 - 08E STANDARD DUTY CONCRETE PAVING
 - 08R CONCRETE JOINT
 - 08H CRUSHED STONE PAVING

**WILLIAM HILTON PARKWAY
U.S. HIGHWAY 278 (156' R/W)**

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

NO.	DATE	REVISIONS	DESCRIPTION

CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
30303	5/7/18	RKN	JCH	RKN	JAP

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CIRCLE K
 71 MATHEWS DRIVE
 HILTON HEAD, SC 29926

REV. DATE	REV. NO.	SHEET NO.
5/7/18	REV-0	C4

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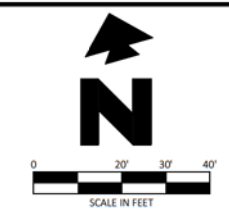
LAND DEVELOPMENT CONSULTANTS, LLC

CLIENT:
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 11811 N. TATUM BLVD., SUITE 1051
 PHOENIX, AZ 85028
 PH: 602.850.8101
 FAX: 602.997.9807

CIRCLE K

PLANS PREPARED FOR:
 CIRCLE K STORES, INC.
 2440 WHITEHALL PARK DR.
 SUITE 800
 CHARLOTTE, NC 28273
 PH: 480.414.2420

PRELIMINARY
 FOR REVIEW
 ONLY



LEGEND

— PROPERTY LINE/RIGHT OF WAY LINE

⊗ EXISTING TREE TO BE REMOVED

○ TREE PRESERVATION

— TREE PRESERVATION FENCE

TREE PRESERVATION NOTES

CONTINUOUS TREE PROTECTIVE FENCING SHALL BE PROVIDED ALONG THE BOUNDARIES OF TREE PROTECTION ZONES. THE OFFICIAL SHALL CONSIDER EXISTING SITE CONDITIONS AND THE SPECIES AND SIZE OF THE TREES TO BE PROTECTED IN DETERMINING THE EXACT LOCATION OF TREE PROTECTIVE FENCING, AND MAY REQUIRE THE FENCING TO BE EXTENDED TO INCLUDE THE CRITICAL ROOT ZONES OF TREES.

PROTECTIVE FENCING SHALL CONSIST OF A BRIGHT ORANGE PLASTIC MESH OR MORE DURABLE MATERIAL THAT IS AT LEAST FOUR FEET HIGH.

WARNING SIGNS SHALL BE INSTALLED ALONG ANY REQUIRED TREE PROTECTIVE FENCING AT POINTS NO MORE THAN 150 FEET APART. THE SIGNS SHALL BE CLEARLY VISIBLE FROM ALL SIDES OF THE OUTSIDE OF THE FENCED-IN AREA. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET. THE SIGN MESSAGE SHALL IDENTIFY THE FENCED OR MARKED AREA AS A TREE PROTECTION ZONE AND DIRECT CONSTRUCTION WORKERS NOT TO ENCROACH INTO THE AREA.

REMOVED TREES CALIPER	
CATEGORY	CALIPER
CATEGORY I (100%)	54"
CATEGORY II (75%)	82"
CATEGORY III (50%)	-
CATEGORY IV	12"

PRESERVED TREES CALIPER	
CATEGORY	CALIPER
CATEGORY I	3"
CATEGORY II	62"
CATEGORY III	40"
CATEGORY IV	0"

CONTROL POINT:
 5/8" RBS
 N: 139158.43
 E: 2092044.43
 EL: 14.41

WILLIAM HILTON PARKWAY
U.S. HIGHWAY 278 (156' R/W)

PROJECT INFORMATION	
PROJECT NAME:	CIRCLE K
PROJECT ADDRESS:	71 MATHEWS DRIVE HILTON HEAD, SC 29926
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW FREE-STANDING CIRCLE K STORE WITH FUEL SALES
SITE INFORMATION	
SUBJECT PROPERTY	1.479± AC / 64,421± SF
LANDSCAPE AREA (ONSITE & FRONTAGE)	0.59± AC / 25,817± S.F.
REQUIRED LANDSCAPE RATIO	40% (25,769± S.F.)
PROVIDED LANDSCAPE/PERVIOUS RATIO	40.1% (25,817± S.F.)
PROVIDED IMPERVIOUS RATIO	59.9% (38,605± S.F.)

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET S T A N D A R D S .



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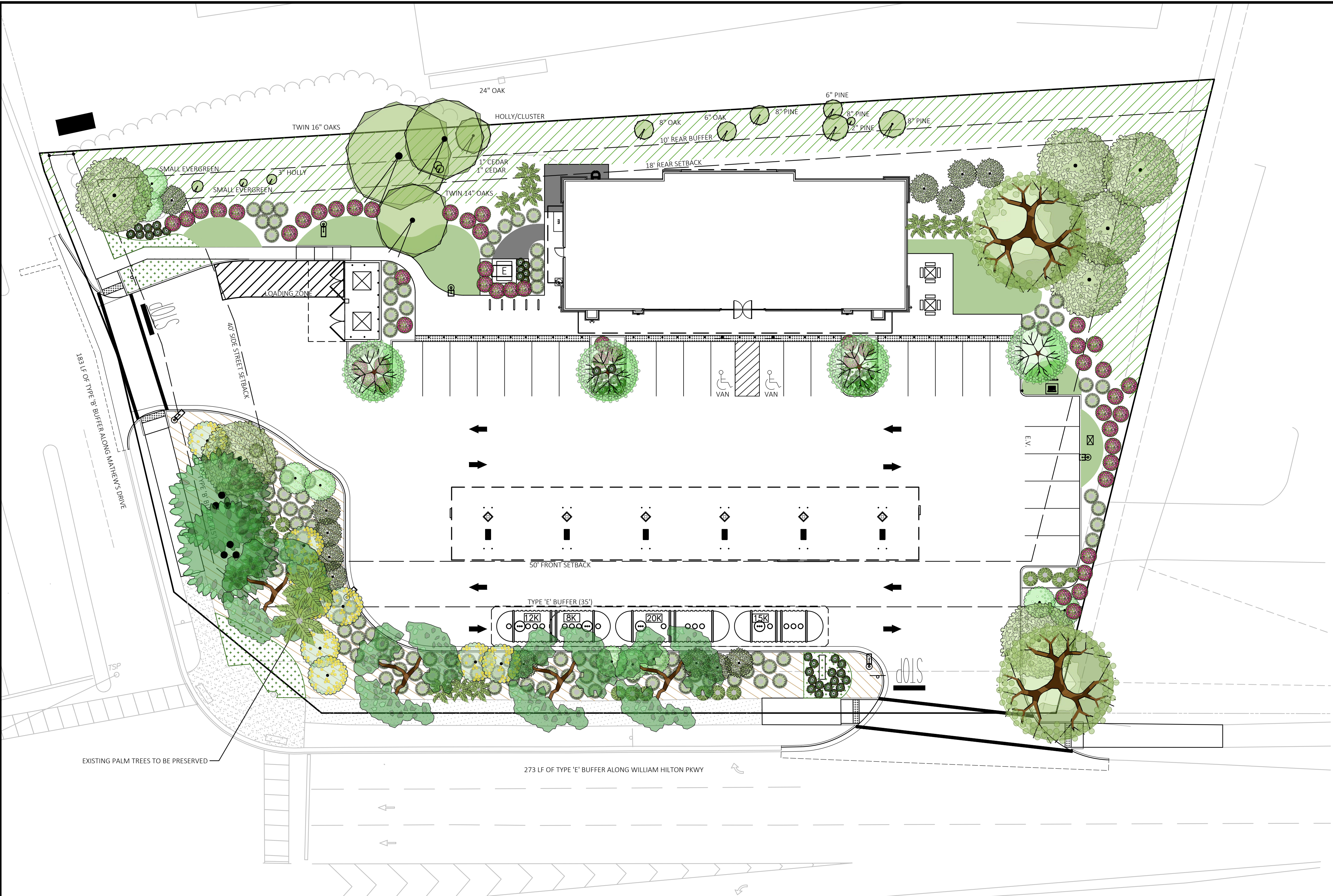
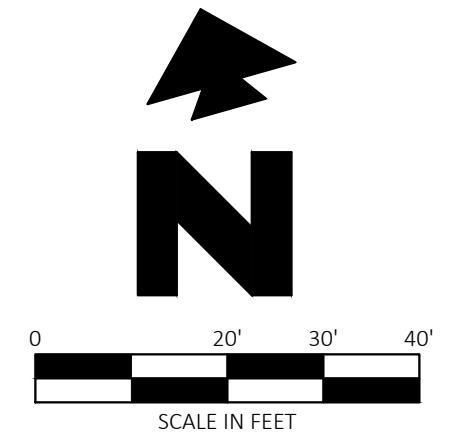
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CEI PROJECT NO.	INITIAL DATE	DPQR	PM	DES	DRW
CEI Engineering Associates, Inc.					
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7543 N. Ingram Ave., Suite 107 Fresno, CA 93711			(559) 447-3119 FAX: (559) 447-3129		
CIRCLE K					
71 MATHEWS DRIVE					
HILTON HEAD, SC 29926					
TREE REMOVAL & PRESERVATION PLAN				REV. DATE 5/7/18 REV-0	SHEET NO. LO

JOB # 30303 DRAWING: 30303 TREE REMOVAL LAST SAVED BY: INEDKOV LOCATION: P:\30303\30303.D\Drawings\Preliminary\Rev-2\30303 TREE REMOVAL.dwg



PLANT SCHEDULE						
CATEGORY	TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
CAT. IV		Cercis canadensis / Eastern Redbud Multi-trunk	B & B	1.5" Cal	10' HT	9
CAT. IV		Cornus florida / Eastern Dogwood	B & B	1.5" Cal	10' HT	9
		EXISTING TREES / TO BE PRESERVED	Existing			18
CAT. I		Savannah Holly / Ilex x attenuata 'Savannah'	65 gal		10' HT	7
CAT. II		Ilex vomitoria / Yaupon Holly	15 gal		10' HT	13
CAT. II		Liquidambar formosana / Formosa Sweetgum	B & B	2" Cal	10' HT	2
CAT. I		Quercus virginiana / Southern Live Oak	B & B	4" Cal	10' HT	4
CAT. I		Quercus virginiana 'Cathedral' / Cathedral Live Oak	15 gal	4" Cal	10' HT	4
CAT. I		Magnolia grandiflora 'Little Gem' / Little Gem Magnolia	B & B	2" Cal	10' HT	2
SHRUBS						
		Lagerstroemia indica / Crape Myrtle	3 gal		36" HT	50
		Lantana x 'Chapel Hill Yellow' / Chapel Hill Yellow Lantana	FLAT		15" O.C.	53
		Muhlenbergia capillaris / Pink Muhly	3 gal			17
		Serenoa repens / Saw Palmetto	5 gal		36" HT	13
		Spartina bakeri / Sand Cord Grass	3 gal			126
GROUND COVERS						
		Super Blue Liriope / Liriope muscari 'Super Blue'	1 gal		6" HT 18" O.C.	185
		Cynodon dactylon / Bermuda Grass	sod			1,753 sf
		Decomposed Granite	rock			250 sf
		Ground cover & Basin area	pine straw			6,836 sf
		Preservation Area	existing			8,600 sf

PROJECT INFORMATION	
PROJECT NAME:	CIRCLE K
PROJECT ADDRESS:	71 MATHEWS DRIVE HILTON HEAD, SC 29926
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PROVIDED LANDSCAPE/PERVIOUS RATIO	40.1% (25,817± S.F.)
PROVIDED IMPERVIOUS RATIO	59.9% (38,605± S.F.)

PRESERVED TREES ACI			
CATEGORY	CALIPER		ACI
CATEGORY I (100%)	3"	*1	3
CATEGORY II (75%)	62"	*.75	46.5
CATEGORY III (50%)	40"	*.50	20
TOTAL			70

REMOVED TREES MITIGATION CALCULATIONS				
CATEGORY	CALIPER	/10	REQ'D TREES	PROVIDED TREES TOTAL
CATEGORY I (100%)	54"	/10	6	17
CATEGORY II (75%)	82"	/10	9	15
CATEGORY III (50%)	-	/10	0	0
CATEGORY IV	12"	/10	2	18

BUFFER REQUIREMENTS				
BUFFER	REQUIREMENTS	LENGTH	REQUIRED	PROVIDED
MATHEWS DRIVE - TYPE B (15' WIDE)	OVERSTORY TREES : 4 EVERY 100 LINEAR FEET UNDERSTORY TREES : 8 EVERY 100 LINEAR FEET EVERGREEN SHRUBS : 12 EVERY 100 LINEAR FEET	*1.83 (183 LF OF BUFFER)	OVERSTORY TREES : 7 UNDERSTORY TREES : 15 EVERGREEN SHRUBS : 22	OVERSTORY TREES : 8 UNDERSTORY TREES : 15 EVERGREEN SHRUBS : 22
WILLIAM HILTON PKWY - TYPE E (35' WIDE)	OVERSTORY TREES : 5 EVERY 100 LINEAR FEET UNDERSTORY TREES : 7 EVERY 100 LINEAR FEET EVERGREEN SHRUBS : 25 EVERY 100 LINEAR FEET AND AT LEAST 3 FEET HIGH AT MATURITY AT LEAST 50% OF ALL TREES MUST BE EVERGREEN	*2.73 (273 LF OF BUFFER)	OVERSTORY TREES : 14 UNDERSTORY TREES : 19 EVERGREEN (3 FT HT) SHRUBS : 68	OVERSTORY TREES : 4(4" cal) + 6 (2" cal) UNDERSTORY TREES : 19 EVERGREEN (3 FT HT) SHRUBS : 68
TOTAL BUFFER PLANTING REQUIRED			OVERSTORY TREES : 21 UNDERSTORY TREES : 34 EVERGREEN (3 FT HT) SHRUBS : 90	OVERSTORY TREES : 21 UNDERSTORY TREES : 34 EVERGREEN (3 FT HT) SHRUBS : 116

LANDSCAPE REQUIREMENTS	
ACI REQUIRED	0.59± AC * 1 AC / 900 = 531 ACI REQUIRED
ACI PRESERVED TREES	70
SUPPLEMENTAL PLANTING REQ'D	531 - 70 = 461
435" O.15 = 65" OF TREES TO BE PLANTED TOTAL	
PROPOSED TREES	8 OVERSTORY (4" CAL) 32" 24 UNDERSTORY (2" CAL) 48" 18 UNDERSTORY (1.5" CAL) 27" 16 UNDERSTORY (EVERGREEN) (2" CAL) 24"
PROPOSED CALIPER TREES = 131"	



ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET S T A N D A R D S

LAND DEVELOPMENT CONSULTANTS, LLC
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CIRCLE K
 PLANS PREPARED FOR: CIRCLE K STORES, INC., 2140 WHITEHALL PARK DR., SUITE 800 CHARLOTTE, NC 28273 PH: 480.414.2420

PRELIMINARY FOR REVIEW ONLY

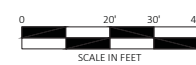
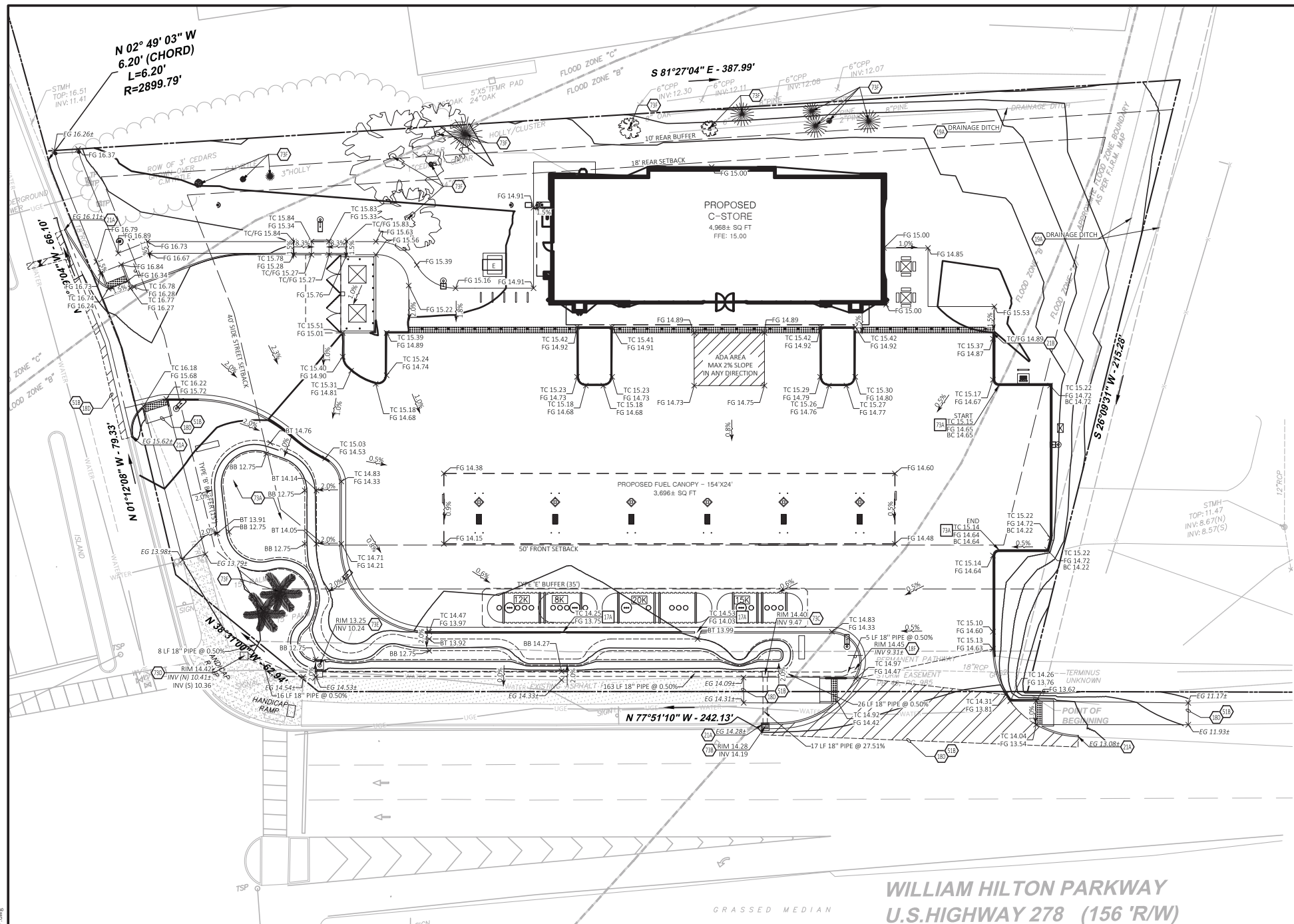
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CIRCLE K
 71 MATHEWS DRIVE
 HILTON HEAD, SC 29926

REV DATE 5/10/18 SHEET NO. L1
 REV-D

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PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- - - GRADE BREAK
- STORM DRAIN
- x XX.XX SPOT ELEVATIONS:
- BB BOTTOM OF BASIN
- BC BACK OF CURB
- BT TOP OF BASIN
- EG EXISTING GROUND
- FG FINISHED GROUND
- INV INVERT ELEVATION
- TC TOP OF CURB

GRADING NOTES

- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 18F CONNECT TO EXISTING STORM DRAIN PIPE.
- 19A EXISTING TO REMAIN.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 2 INCHES OVER 2 FEET.
- 518 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 73A BIO-RETENTION BASIN.
- 73B NYLOPLAST DRAIN BASIN WITH 2' X 3' HIGH FLOW CURB INLET (PER NYLOPLAST DWG. NO. 7002-110-087 & 7002-110-047.)
- 73C NYLOPLAST DRAIN BASIN WITH SOLID COVER (PER NYLOPLAST DWG. NO. 7001-110-298).
- 73D NYLOPLAST DRAIN BASIN WITH PEDESTRIAN COVER (PER NYLOPLAST DWG. NO. 7001-110-283).
- 73E CONCRETE BASIN OUTLET STRUCTURE.
- 73F EXISTING TREE TO REMAIN, REF LANDSCAPE PLANS.

GRADING DETAILS

- 17A CURB CUT
- 73A TYPE "E" CURB

FLOOD ZONE DESIGNATION

THE FLOOD ZONE LIMITS SHOWN ARE GRAPHIC ILLUSTRATIONS TAKEN FROM FIRM MAP 450250 0009 D, DATED 9-29-1986. THE SITE IS AFFECTED BY ZONES A7, B AND C.

METES & BOUNDS DESCRIPTION

REFERENCE COVER SHEET, SHEET C1.

SITE BENCHMARK

THE COORDINATES AND ELEVATIONS SHOWN ARE REFERENCED TO TIDAL BENCH MARK 966 9299 E TIDAL USING THE GPS VARIABLE BASE NETWORK. THE BENCHMARK USED IS A FIRST ORDER, CLASS II MONUMENT. THE COORDINATES ARE TIED TO THE SOUTH CAROLINA STATE PLAN COORDINATE SYSTEM (NAD'83 2011) AND VERTICALLY TO NAVD88

NOTE

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL GRADING NOTES

- A. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- B. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- C. CONTRACTOR HAS THE OPTION TO BID THE FOLLOWING MATERIAL FOR THE STORM SEWER SYSTEM EXCEPT WHERE OTHERWISE NOTED: RCP, PVC, OR HDPE AS INDICATED ON THIS PLAN WHERE THE WORD PIPE IS USED. ALL PIPES SHALL HAVE A MAXIMUM ROUGHNESS COEFFICIENT ("N") OF 0.012 AND SHALL MEET OR EXCEED THE PIPE MANUFACTURER'S REQUIREMENTS FOR MINIMUM AND MAXIMUM COVER. CONTRACTOR SHALL REFER TO THE SITEWORK SPECIFICATION SECTION FOR STORM SEWER SYSTEMS FOR ACCEPTABLE TYPE AND MATERIAL.
- D. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- E. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- F. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
- G. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- H. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- I. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- J. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- K. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- L. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- M. WARRANTY: ANY PERSON ISSUED A PERMIT SHALL AGREE WARRANTY AND MAINTAIN THE AREA DESCRIBED IN THE PERMIT FOR A PERIOD OF TWO YEARS AFTER THE PERMIT IS CLOSED BY THE CITY PURSUANT TO SECTION 18.44.220, OR UNTIL A BUILDING PERMIT IS ISSUED FOR THE PURPOSE OF MAINTAINING A STABILIZED SITE IN ACCORDANCE WITH THE APPROVED GSP, WHICHEVER FIRST OCCURS (THE "WARRANTY" OR "WARRANTY PERIOD"). THE CITY MAY CONDUCT INSPECTIONS OF THE PERMITTED AREA THROUGHOUT THE WARRANTY PERIOD AND REQUIRE MAINTENANCE AND CORRECTION OF THE WORK BY THE PERMIT HOLDER. FAILURE OF THE PERMIT HOLDER TO CORRECT THE WORK SHALL CONSTITUTE A FAILURE TO COMPLY WITH THE PROVISIONS OF THIS CHAPTER.
- N. PERMIT CLOSURE PROCEDURE: AFTER THE PERMITTEE COMPLETES THE GRADING UNDER THE PERMIT, THE PERMIT SHALL BE CLOSED AS PART OF THE CLOSURE PROCEDURE, THE APPLICANT MUST SUBMIT THE FOLLOWING TO THE CITY:
 - A. A STATEMENT FROM THE ENGINEER OF RECORD THAT STATES, "THE GRADING OPERATION HAS BEEN SUBSTANTIALLY COMPLETED AND GENERALLY CONFORMS TO THE APPROVED SET OF PLANS". THE PERMITTEE SHALL CALL THE PERMIT OFFICIAL TO ESTABLISH THE BEGINNING OF THE WARRANTY PERIOD AND TO NOTIFY THE PERMIT OFFICIAL THAT THE GSP HAS BEEN IMPLEMENTED.
 - B. A COPY OF THE NOTICE OF TERMINATION FILED WITH THE STATE OR DATED CONSTRUCTION SITE NOTICE, IF APPLICABLE, IN ACCORDANCE WITH CHAPTER 15.
- O. CONTRACTOR SHALL ENSURE ADA CONFORMANCE OF ALL EXISTING SIDEWALKS AND CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY WITHIN THE PROJECT LIMITS. ALL EXISTING SIDEWALKS AND CURB RAMPS SHALL CONFORM TO THE LATEST ADOPTED VERSION (AND ALL AMENDMENTS) OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN & THE ARCHITECTURAL BARRIERS TEXAS ACCESSIBILITY STANDARDS (AS). ANY EXISTING SIDEWALK THAT IS NOT IN CONFORMANCE WITH ADA REGULATIONS SHALL BE REMOVED AND REPLACED PER TDDOT DESIGN STANDARDS PED-12A AND COST SHALL BE INCLUDED IN BASE BID.

**WILLIAM HILTON PARKWAY
U.S. HIGHWAY 278 (156' R/W)**

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A. AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

NO.		DATE		DESCRIPTION	

REVISIONS					
NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
30303	5/7/18		RKN	JCH	RKN
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRV

CEI Engineering Associates, Inc.
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Fresno, CA 93711 (559) 447-3119
FAX: (559) 447-3129

CIRCLE K
71 MATHEWS DRIVE
HILTON HEAD, SC 29926

GRADING PLAN

REV. DATE	SHEET NO.
5/7/18	C5
REV-0	



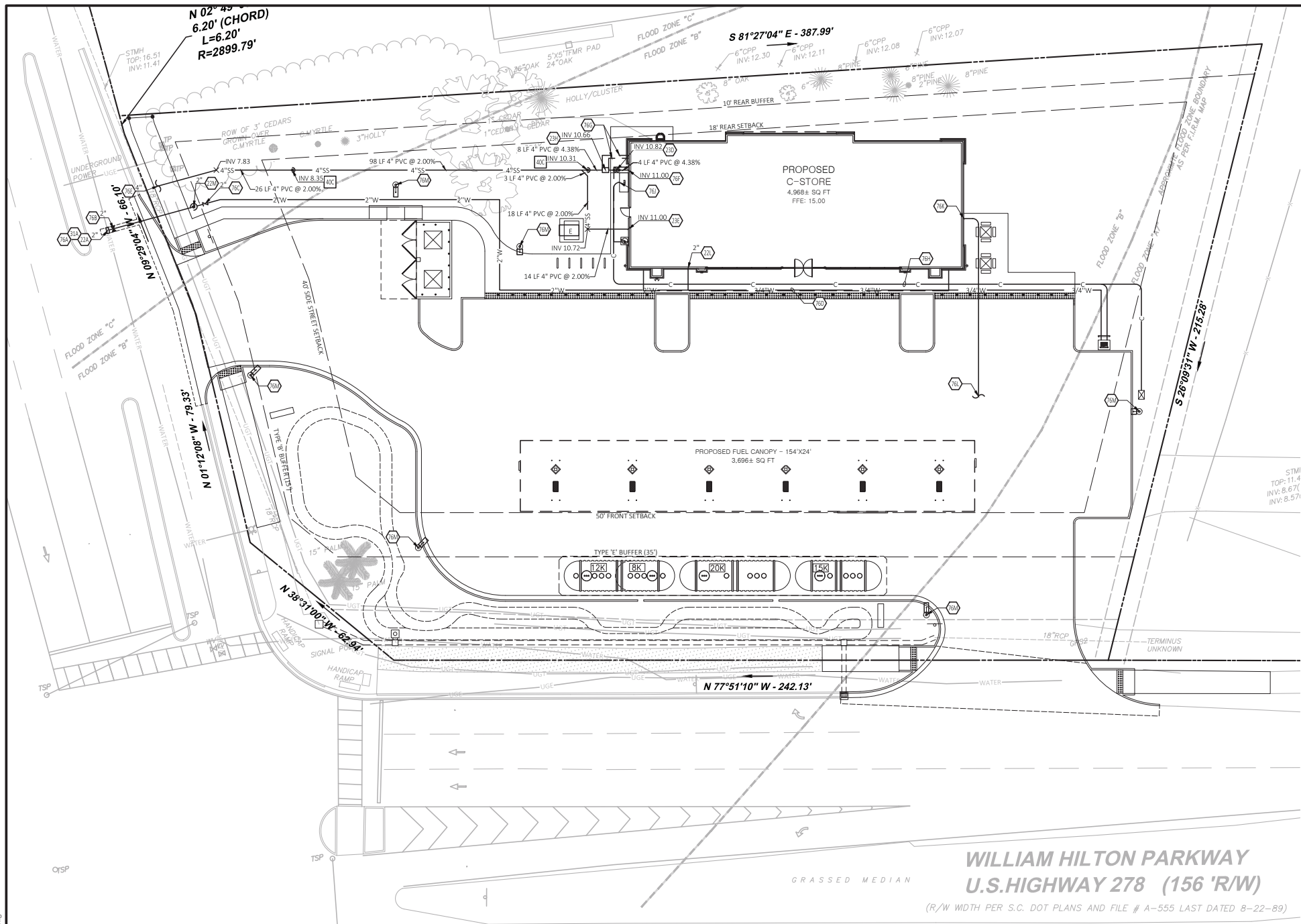
LAND DEVELOPMENT CONSULTANTS, LLC

CLIENT: LAND DEVELOPMENT CONSULTANTS, LLC, 11811 N. TATUM BLVD., SUITE 1051, PHOENIX, AZ, 85028, PH. 602.850.8101, FAX. 602.997.9807

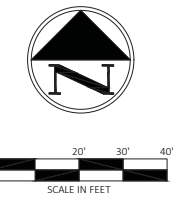
PLANS PREPARED FOR: CIRCLE K STORES, INC., 2440 WHITEHALL PARK DR., SUITE 800, CHARLOTTE, NC, 28273, PH. 480.414.2420

PRELIMINARY FOR REVIEW ONLY

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JOB # 30303 DRAWING 30303-UP.dwg LAST SAVED BY: ADOLE, LOCATION: P:\30303\30303-0\Drawings\Preliminary\Rev-2\30303-UP.dwg



PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	STORM DRAIN
	SANITARY SEWER SERVICE
	WATER SERVICE

SITE BENCHMARK

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NOTE

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

GENERAL UTILITY NOTES

- A. ALL WATER LINES 2" AND SMALLER SHALL BE SCHEDULE 40 PVC (ASTM D 1785). ALL WATER LINES SHALL HAVE 3'-0" MIN. COVER.
- B. ALL SANITARY SEWER LINES SHALL BE 6" AND SMALLER SHALL BE PVC (SDR26) WITH 3'-6" MIN. COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE PIPE TRENCHING & BEDDING SHALL BE INSTALLED IN ACCORDANCE WITH HILTON HEAD PUBLIC SERVICE DISTRICT STANDARD DRAWING NUMBER 12-01 ALL SEWER LINE PIPE TRENCHING & BEDDING SHALL BE INSTALLED IN ACCORDANCE WITH HILTON HEAD PUBLIC SERVICE DISTRICT STANDARD DRAWING NUMBER 12-01
- H. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- I. CONTRACTOR SHALL MAINTAIN A MINIMUM COVER ON ALL WATERLINES.
- J. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- K. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- L. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- M. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- N. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- O. REFER TO ELECTRIC COMPANY PLANS FOR ELECTRIC SERVICE DESIGN.
- P. REFER TO TELEPHONE COMPANY PLANS FOR TELEPHONE & DATA SERVICE DESIGN.
- Q. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM CITY OF HILTON HEAD PRIOR TO ANY WORK WITHIN CITY RIGHT-OF-WAY.

UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
- 22I METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 22M PROPOSED WATER METER (PER LOCAL CODES AND SPECIFICATIONS).
- 23D BUILDING SANITARY SEWER SERVICE CLEAN-OUT.
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- 23H GREASE INTERCEPTOR (PER ARCH. PLANS).
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 76A 2" SERVICE CONNECTION PER HILTON HEAD PUBLIC SERVICE DISTRICT STANDARD NUMBER 08-12.
- 76B VALVE AND TEE PER HILTON HEAD PUBLIC SERVICE DISTRICT STANDARD NUMBER 08-04.
- 76C BACK FLOW PREVENTOR PER HILTON HEAD PUBLIC SERVICE DISTRICT STANDARD NUMBER 08-09.
- 76D 3/4" WATER SERVICE FOR AIR / WATER UNIT.
- 76E CONNECT TO EXISTING SANITARY SEWER.
- 76F GREASE WASTE BUILDING ENTRY (PER ARCH. PLANS).
- 76G 3" UNDERGROUND VENT PIPES
- 76H ELECTRIC SERVICE TO AIR / WATER UNIT & ELECTRIC VEHICLE CHARGING STATION. (SEE ELECTRICAL PLANS).
- 76I UNDERGROUND ELECTRIC SERVICE ENTRY (PER ARCH. PLANS). REF ELECTRIC COMPANY SCHEMATIC PLANS FOR ELECTRIC SERVICE CONSTRUCTION INFORMATION.
- 76K UNDERGROUND TELEPHONE SERVICE ENTRY (PER ARCH. PLANS). REF TELEPHONE COMPANY SCHEMATIC PLANS FOR TELEPHONE SERVICE CONSTRUCTION INFORMATION.
- 76L REFER TO TELEPHONE COMPANY PLANS FOR CONTINUATION.
- 76M LIGHT POLE (REF ARCH. PLANS).

UTILITY DETAILS

- 40C SANITARY SEWER CLEAN-OUT

**WILLIAM HILTON PARKWAY
U.S. HIGHWAY 278 (156' R/W)**
(R/W WIDTH PER S.C. DOT PLANS AND FILE # A-555 LAST DATED 8-22-89)

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PLANS PREPARED FOR:
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ONLY

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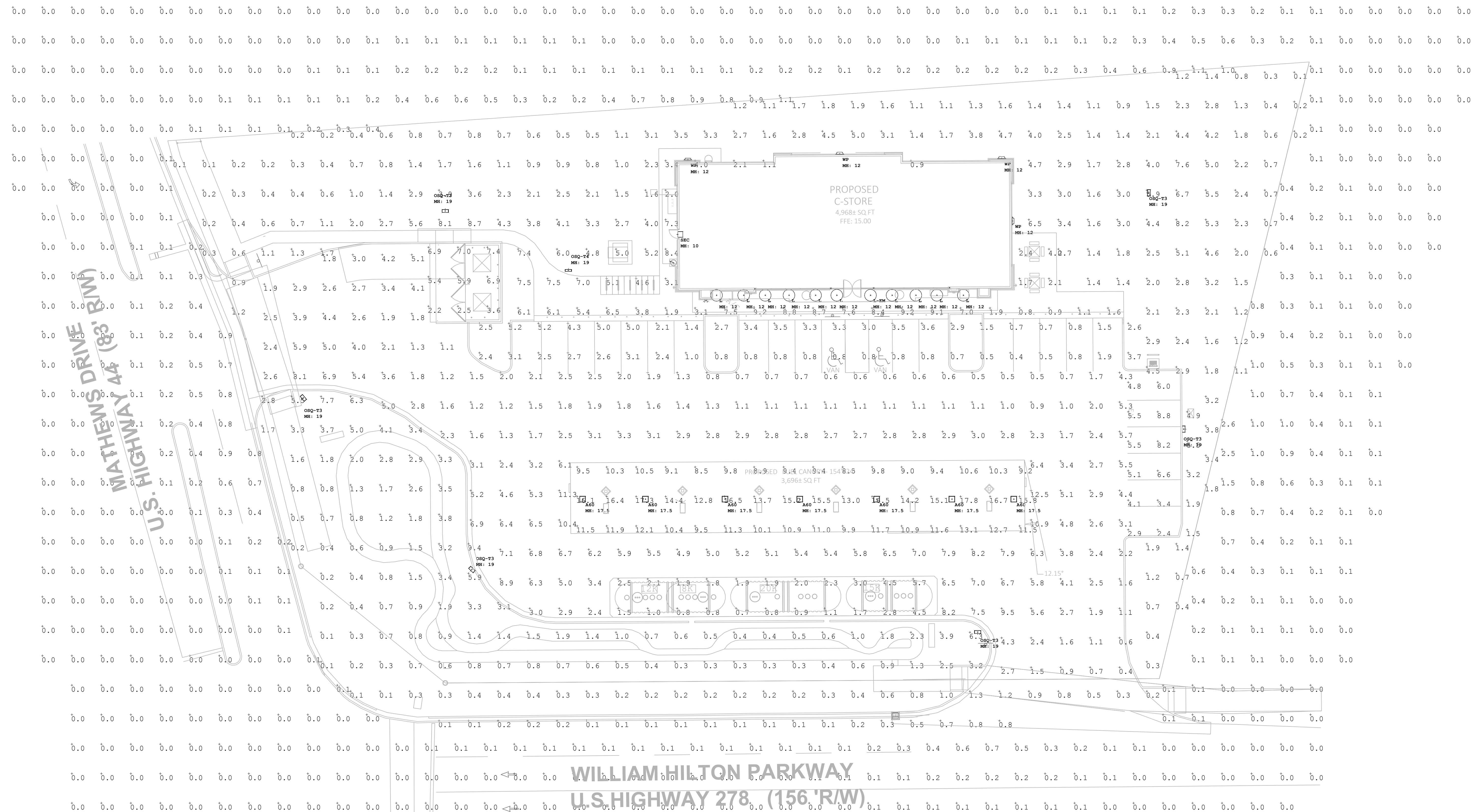
7543 N. Ingram Ave., Suite 107
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FAX: (559) 447-3129

CIRCLE K
71 MATHEWS DRIVE
HILTON HEAD, SC 29926

REV. DATE	SHEET NO.
5/7/18	C10
REV-0	

UTILITY PLAN

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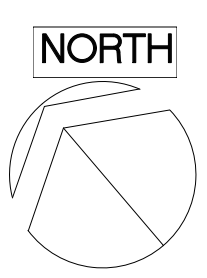


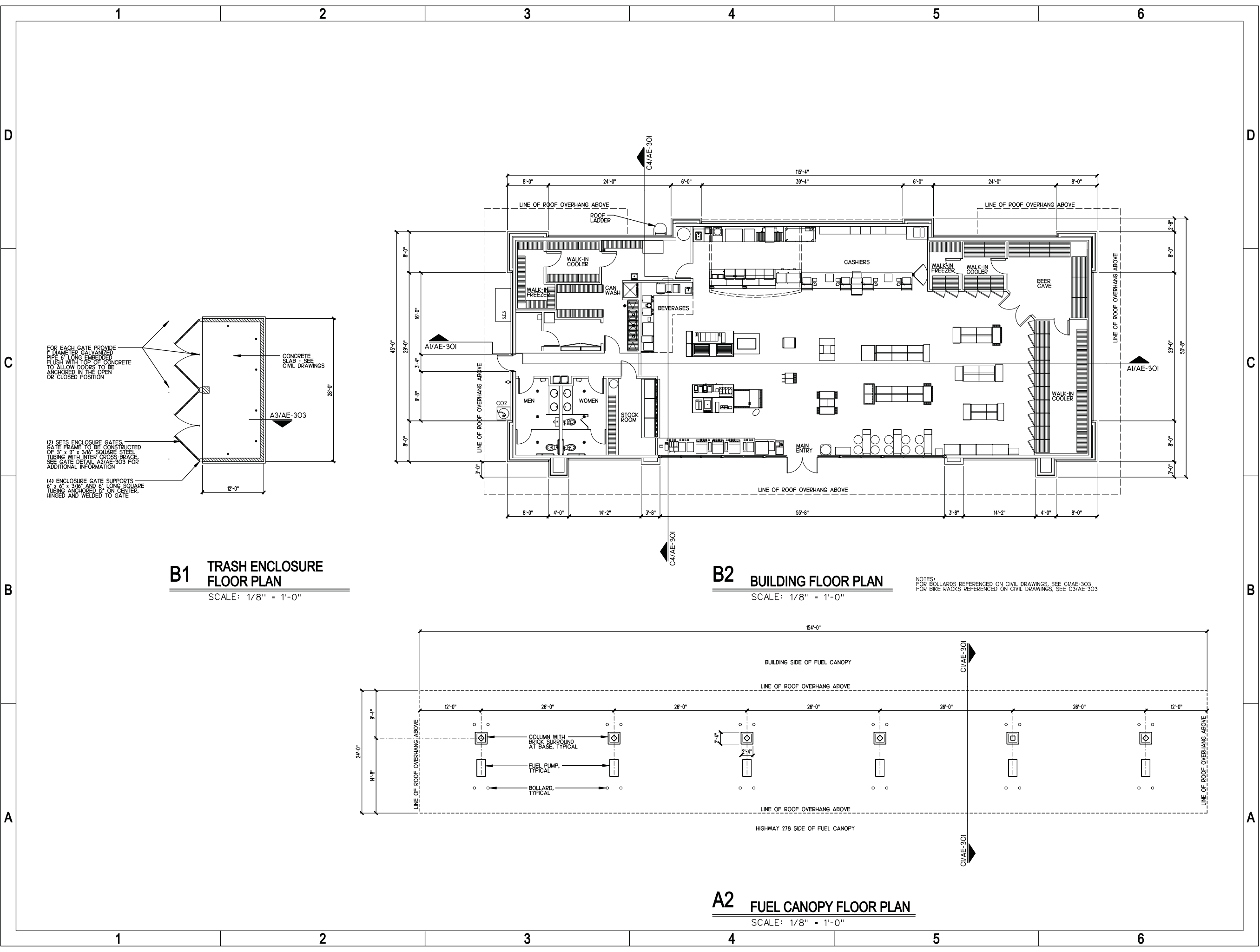
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
□	7	A60	SINGLE	1.000	CPY250-B-xx-F-B-UL-xx-30K CONFIGURED FROM CPY250-B-xx-F-B-UL-xx-57K	96
□	6	OSQ-T3	SINGLE	1.000	OSQ-A-xx-3ME-K-30K-ULxxxxx	126.59
□	1	OSQ-T4	SINGLE	1.000	OSQ-A-xx-4ME-K-30K-ULxxxxx CONFIGURED FROM OSQ-A-xx-4ME-B-30K-ULxxxxx	130
□	1	SEC	SINGLE	1.000	SH, SV, SK100 SERIES WALL SCNCE	80.4
○	10	L	SINGLE	1.000	LR6-18L-27K-GU24	22
□	4	WP	SINGLE	1.000	XSPWax3MC-U	42.96
○	1	L-EM	SINGLE	1.000	LR6-18L-27K-GU24	22

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVEWAY	Illuminance	Fc	3.30	12.5	0.4	8.25	31.25
DUMPSTER AREAS	Illuminance	Fc	5.31	7.4	2.2	2.41	3.36
LANDSCAPED AREAS	Illuminance	Fc	1.78	9.4	0.1	17.80	94.00
PARKING AREAS	Illuminance	Fc	2.90	8.8	0.4	7.25	22.00
PROPERTY LINE	Illuminance	Fc	0.11	2.6	0.0	N.A.	N.A.
STORE PERIMETER	Illuminance	Fc	5.19	9.2	0.8	6.49	11.50
UNDER CANOPY	Illuminance	Fc	12.07	17.8	8.5	1.42	2.09

NOTE:
 1. PROVIDE HOUSE SHIELD TO FIXTURES IN PROPERTY LINE.
 2. MAXIMUM COLOR TEMPERATURE SHALL BE 3000K.
 3. LIGHT FIXTURE AND POLES COLOR SHALL BE BRONZE.

1 PHOTOMETRIC PLAN
 SCALE: 3/4" = 1'-0"





B1 TRASH ENCLOSURE FLOOR PLAN
SCALE: 1/8" = 1'-0"

B2 BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:
FOR BOLLARDS REFERENCED ON CIVIL DRAWINGS, SEE C1/AE-303
FOR BIKE RACKS REFERENCED ON CIVIL DRAWINGS, SEE C3/AE-303

A2 FUEL CANOPY FLOOR PLAN
SCALE: 1/8" = 1'-0"

A New Building For
Circle K Stores, Inc.
71 Mathews Drive
Hilton Head Island, South Carolina 29926

MARK	DATE	DESCRIPTION
DRB	04/10/18	DRB CONCEPTUAL SUBMITTAL
DRB	05/08/18	DRB FINAL REVIEW SUBMITTAL

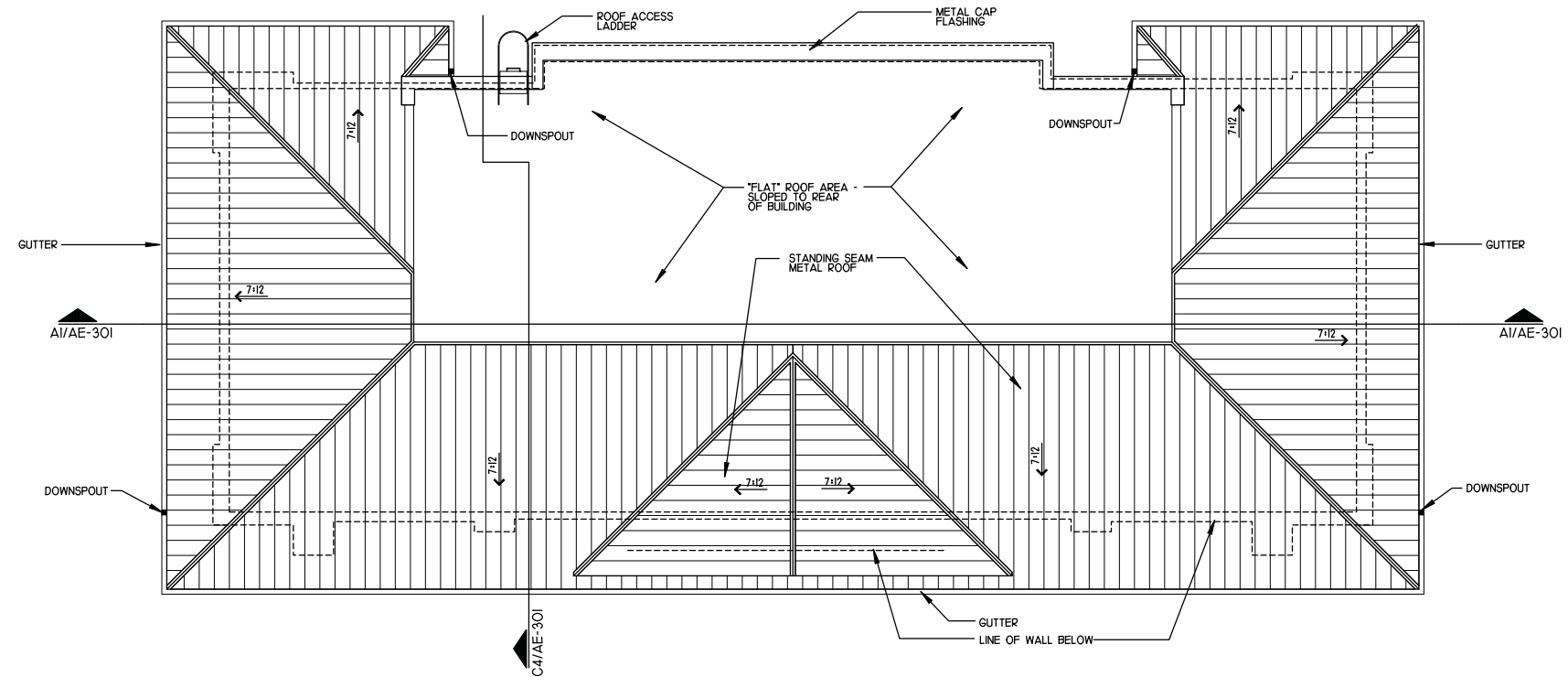
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APPROVED BY:

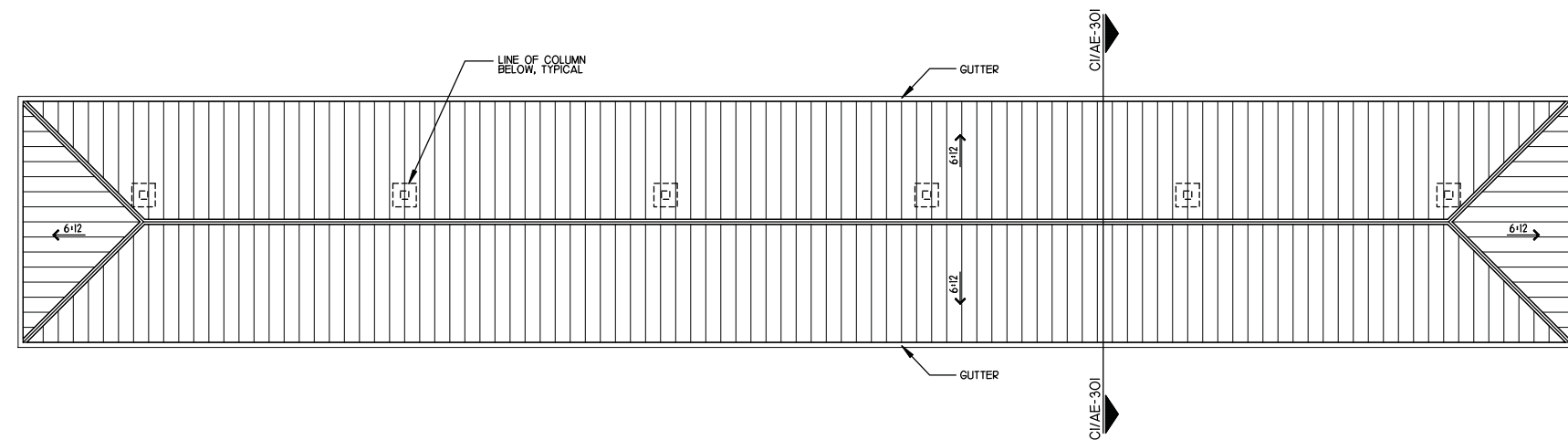
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SHEET TITLE
FLOOR PLANS

SHEET NUMBER
AE-100



C3 BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"



A2 FUEL CANOPY ROOF PLAN
SCALE: 1/8" = 1'-0"

A New Building For
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 71 Mathews Drive
 Hilton Head Island, South Carolina 29926

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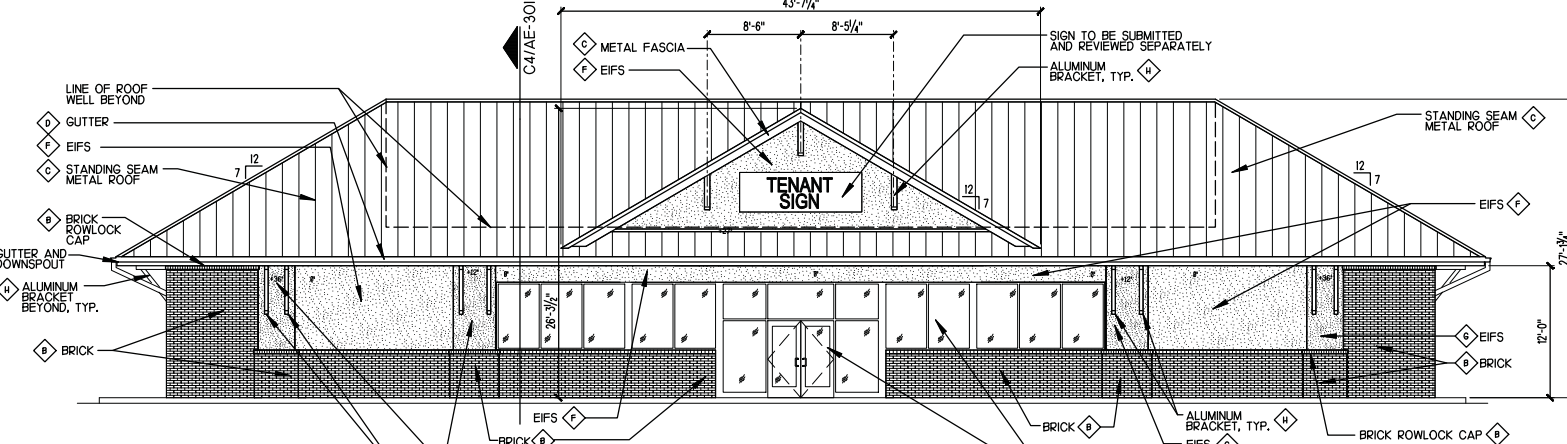
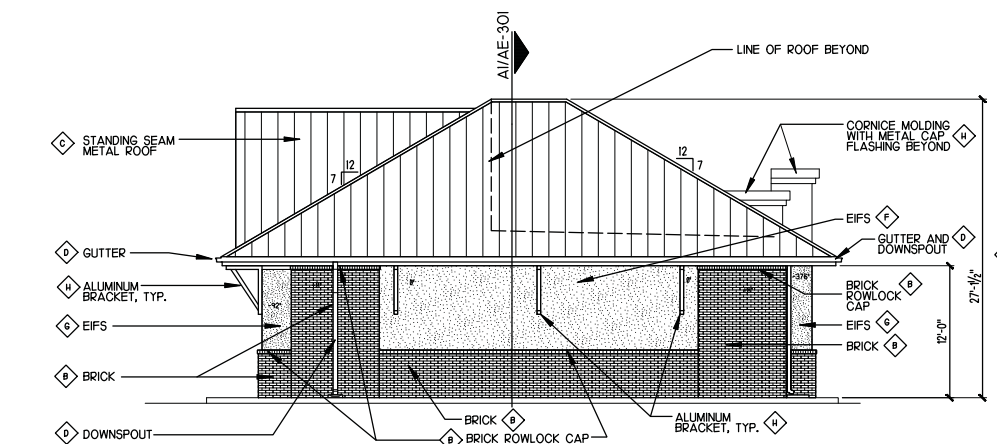
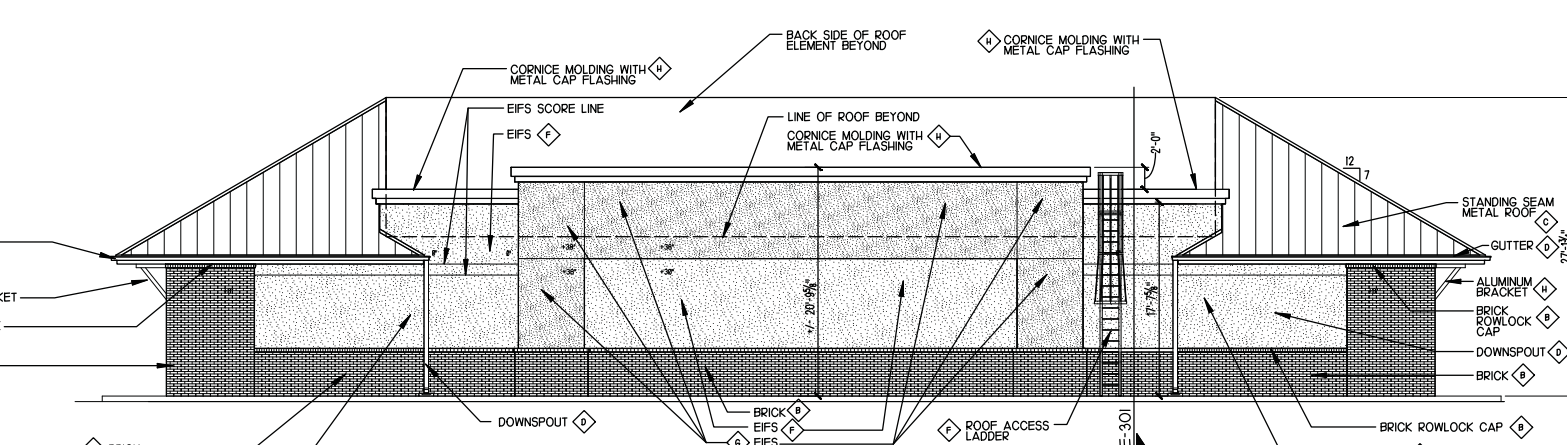
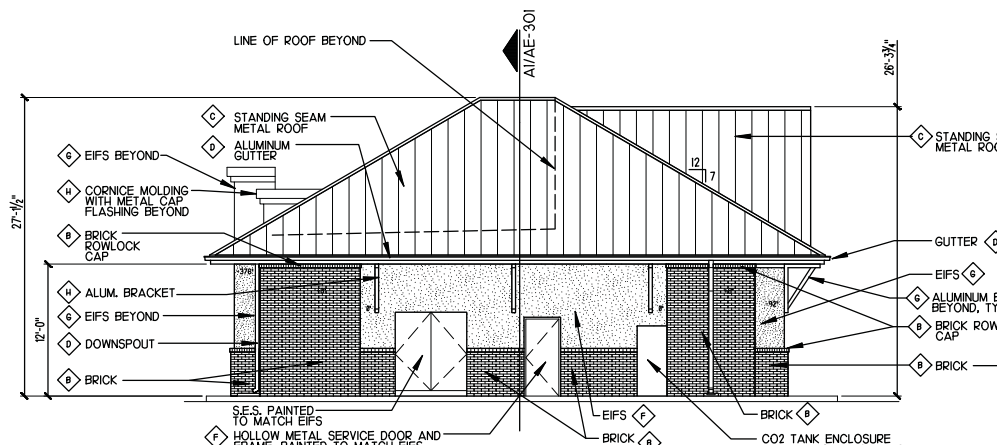
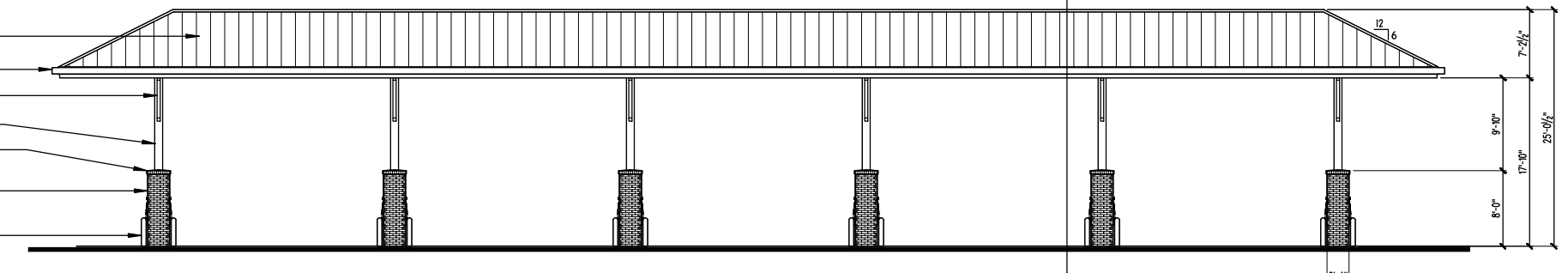
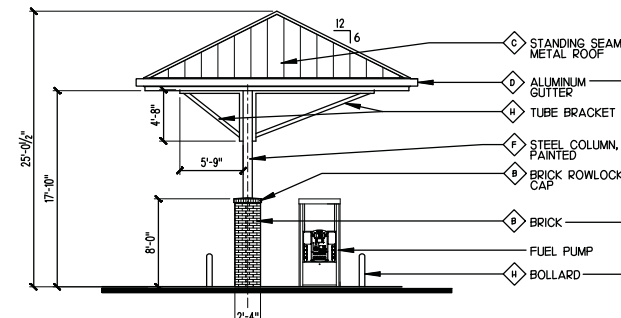
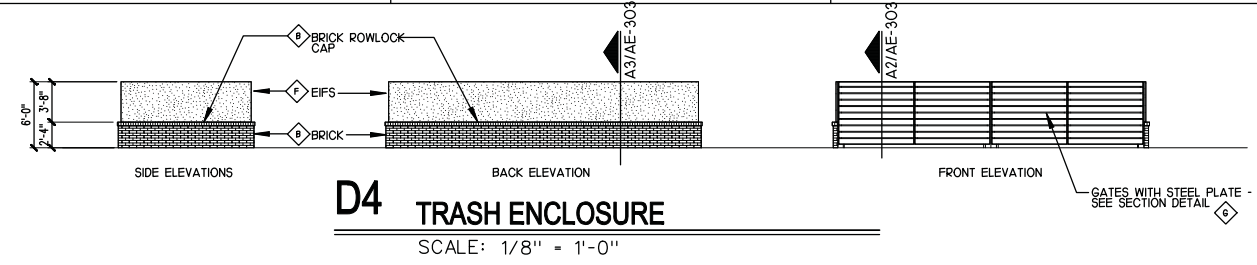
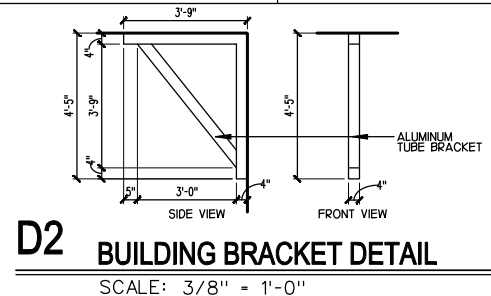
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SHEET TITLE
ROOF PLANS

SHEET NUMBER
AE-101

- ◇ ALUMINUM STOREFRONT
DARK BRONZE
- ◇ BRICK
- ◇ CORONADO STONE, SILICAN BRICK, MARSALA BLEND
- ◇ STANDING SEAM METAL ROOF
- ◇ FIRESTONE LMA-CLAD SLATE GRAY
- ◇ ALUMINUM GUTTERS AND DOWNSPOUTS
TO MATCH STANDING SEAM METAL ROOF
- ◇ NOT USED
- ◇ EIFS OR PAINT
#SW 7044 - AMAZING GRAY - SEE ELEVATION
- ◇ EIFS OR PAINT - SEE ELEVATION
#SW 9171 - FELTED WOOL
- ◇ EIFS OR PAINT - SEE ELEVATION
#SW 7047 - PORPOISE



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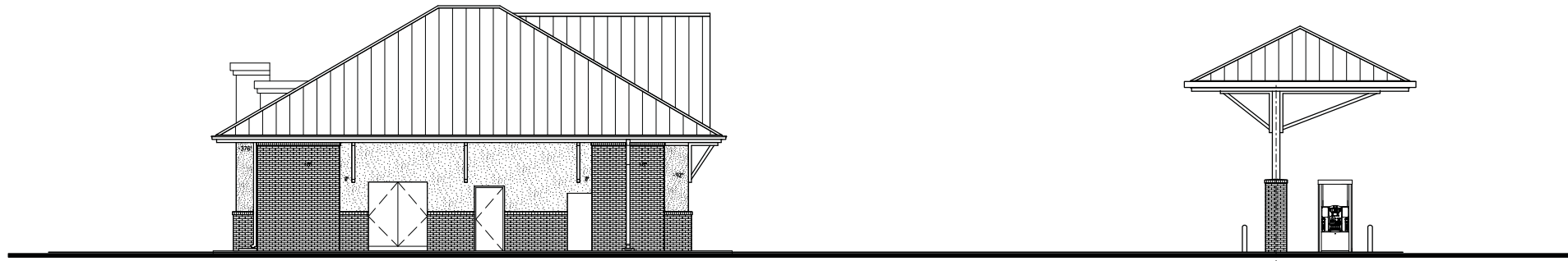
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SHEET TITLE

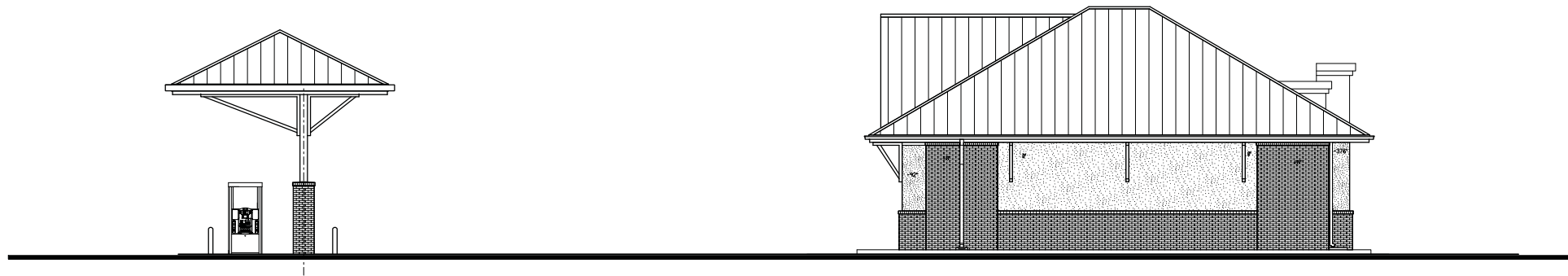
EXTERIOR ELEVATIONS

SHEET NUMBER

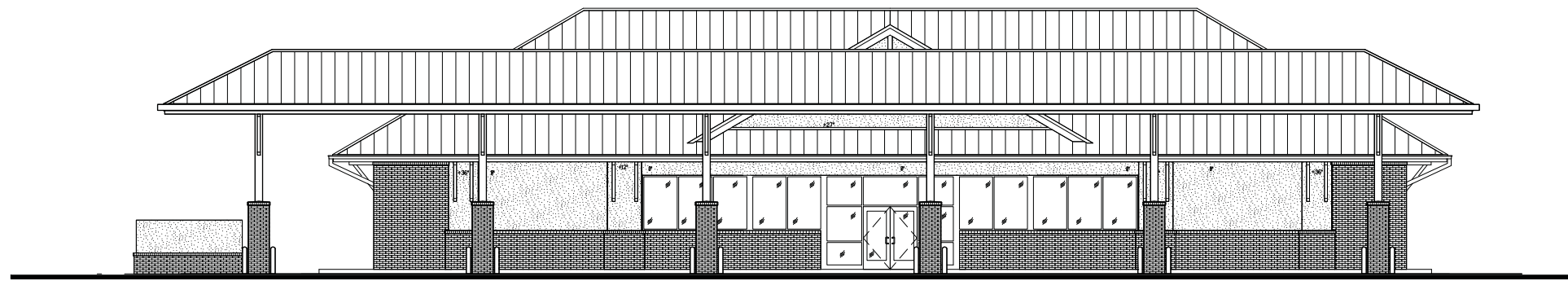
AE-102



C1 COMPOSITE LEFT ELEVATION
SCALE: 1/8" = 1'-0"



B1 COMPOSITE RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



A1 COMPOSITE FRONT ELEVATION
SCALE: 1/8" = 1'-0"

A New Building For
Circle K Stores, Inc.
 71 Mathews Drive
 Hilton Head Island, South Carolina 29926

MARK	DATE	DESCRIPTION
DRB	04/10/18	DRB CONCEPTUAL SUBMITTAL
DRB	05/08/18	DRB FINAL REVIEW SUBMITTAL

PROJECT NO: FWA 2538.01

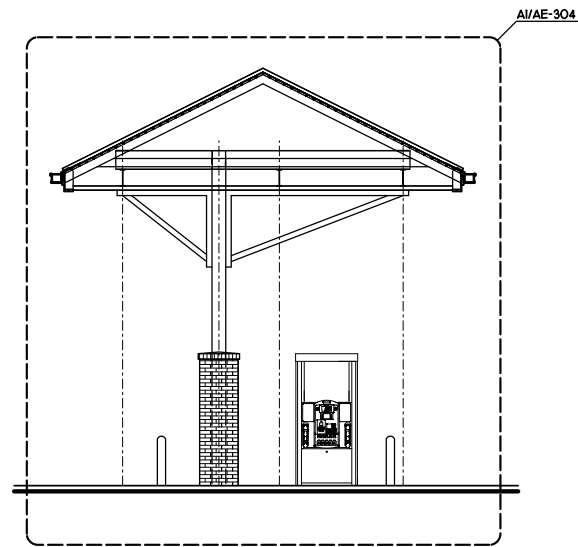
DRAWN BY: DNS
APPROVED BY:

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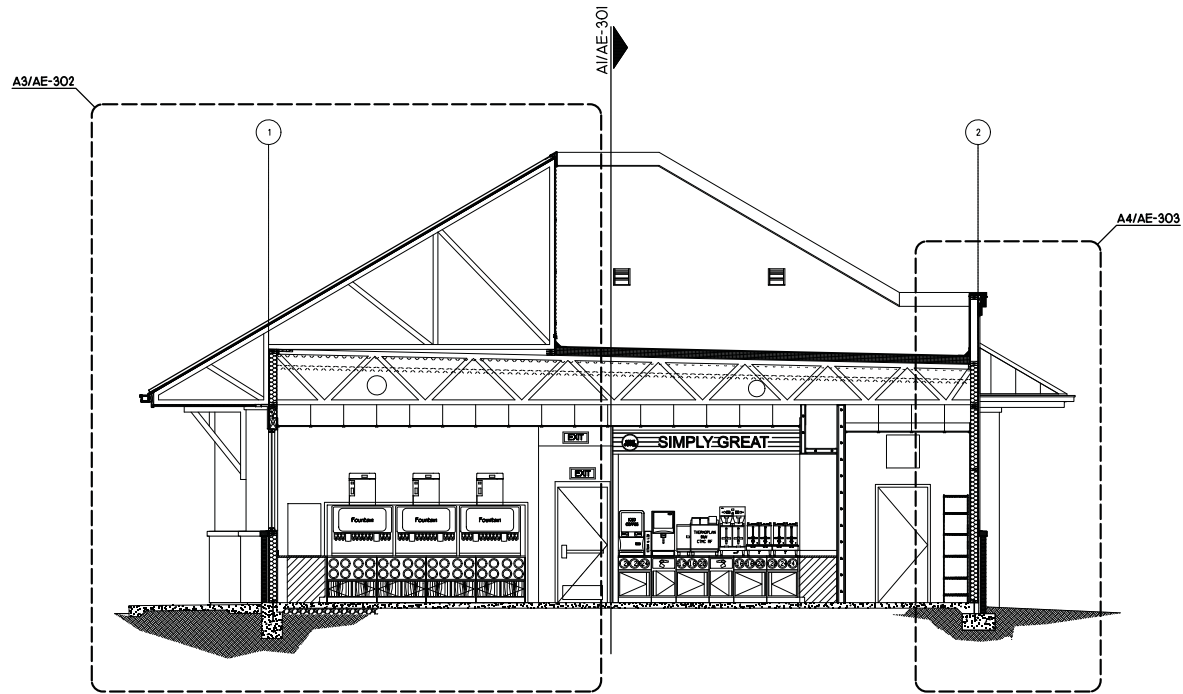
SHEET TITLE
COMPOSITE ELEVATIONS

SHEET NUMBER

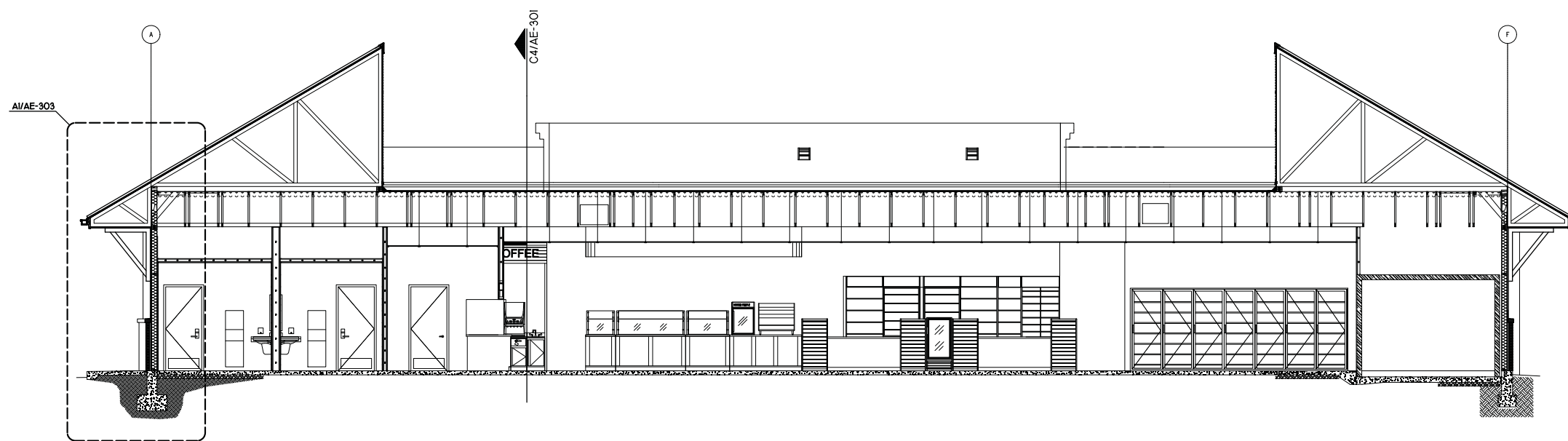
AE-103



C1 FUEL CANOPY CROSS SECTION
 SCALE: 3/16" = 1'-0"



C4 BUILDING CROSS SECTION
 SCALE: 3/16" = 1'-0"



A1 BUILDING LONGITUDINAL SECTION
 SCALE: 3/16" = 1'-0"

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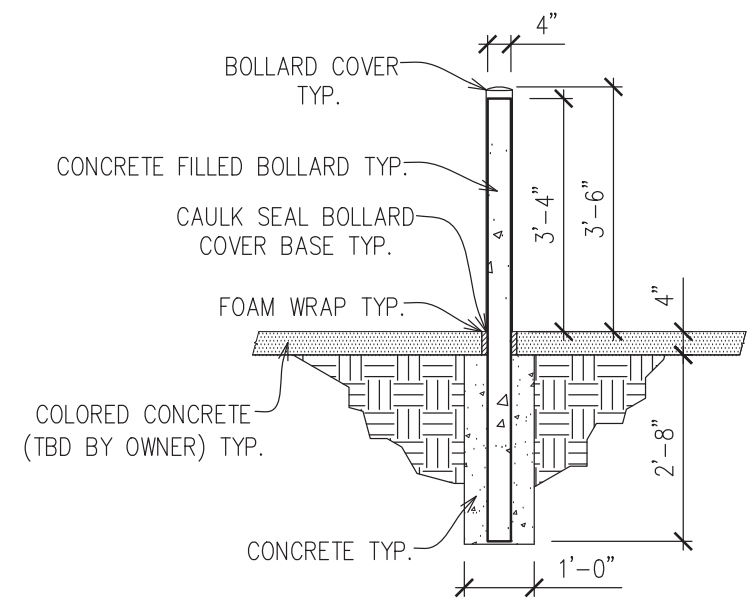
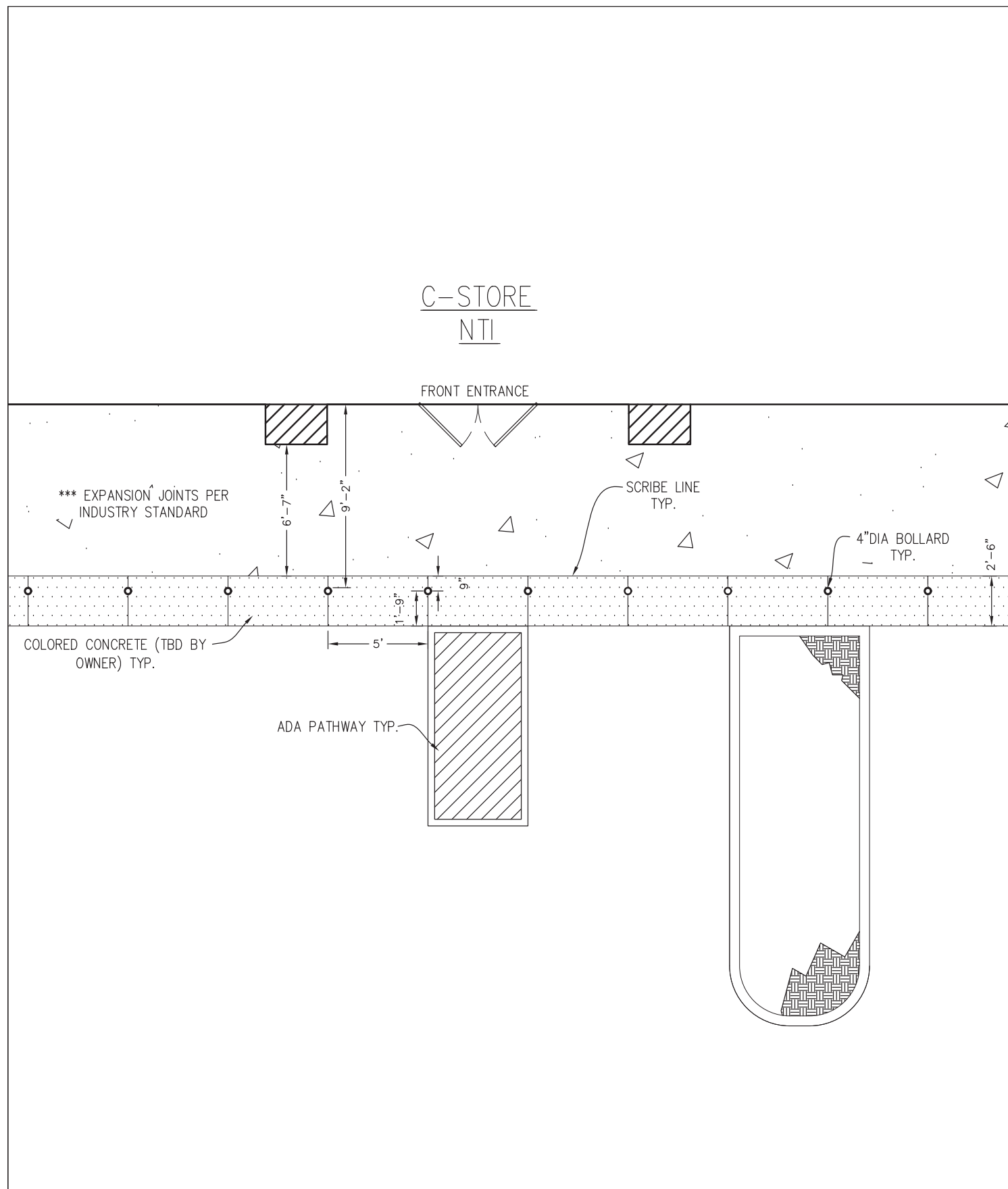
PROJECT NO: FWA 2538.01

DRAWN BY: DNS
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SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
AE-301



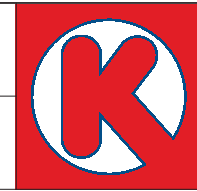
BOLLARD SECTION TYP.

NOTES :

08/12/13 | FRONT CONCRETE & BOLLARD DETAIL

Store #: NTI

Address:



DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Circle K

DRB#: DRB-001176-2018

DATE: 05/09/2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The Planting Plan needs revisions based on Staff comments below.
2. The Lighting Plan is not compliant with the LMO or DRB requirements.

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	But slope is close and appropriate

LANDSCAPE DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Proposed groundcovers are evergreen species with low maintenance needs	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	In the tree islands at the front door and around the sign provide evergreen groundcover or small shrub as a backdrop for the deciduous lantana

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Supplemental and replacement trees meet LMO	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Category I, II and III have a minimum height of 10'

requirements for size, species and number				with a minimum caliper of 2". Please specify the height of the Savannah Holly in the Plant Schedule
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<i>MISC COMMENTS/QUESTIONS</i>

- | |
|--|
| 1. Provide a lighting plan that meets LMO footcandle requirements. Parking lot lights and canopy lights should not exceed 3000K. Light should not cross the property line. |
| 2. Consider replacing the Crepe Myrtle with Wax Myrtle. |
| 3. The sides of the entrances need to be planted and not left as mulched area. |
| 4. Consider replacement for Cornus Florida. (Sweet Bay Magnolia, Crepe Myrtle, Dahoon Holly or Carolina Cherrylaurel) |