



Town of Hilton Head Island
Regular Design Review Board Meeting
Tuesday, April 24, 2018 – 1:15 p.m.
Benjamin M. Racusin Council Chambers
AGENDA

As a Courtesy to Others Please Turn Off All Cell Phones and Pagers during the Meeting.

- 1. Call to Order**
- 2. Roll Call**
- 3. Freedom of Information Act Compliance**
Public notification of this meeting has been published, posted, and mailed in compliance with the Freedom of Information Act and the Town of Hilton Head Island requirements.
- 4. Approval of Agenda**
- 5. Approval of Minutes – Meeting of March 27, 2018**
- 6. New Business**
 - A. New Development – Conceptual*
 - Circle K, DRB-000948-2018
 - B. Alteration/Addition*
 - Hilton Head Brewing Company, DRB-000834-2018
 - The Omni, DRB-000946-2018
- 7. Board Business**
- 8. Staff Report**
- 9. Appearance by Citizens**
- 10. Adjournment**

Please note that a quorum of Town Council may result if four or more of their members attend this meeting.

Town of Hilton Head Island
Minutes of the Design Review Board Meeting
March 27, 2018 at 1:15 p.m.
Benjamin M. Racusin Council Chambers

Board Members Present: Vice Chairman Dale Strecker, Debbie Remke, Brian Witmer, Ron Hoffman, Michael Gentemann

Board Members Excused: Chairman Jake Gartner, Kyle Theodore

Town Council Present: None

Town Staff Present: Chris Darnell, Urban Designer; Teresa Haley, Senior Administrative Assistant

1. Call to Order

Vice Chairman Strecker called to order the regular meeting of the Design Review Board at 1:15 p.m.

2. Roll Call – See as noted above.

3. Freedom of Information Act Compliance

The Town has met all Freedom of Information Act requirements for this meeting.

4. Approval of the Agenda

The Board approved the agenda by general consent.

5. Approval of Minutes – March 13, 2018

The Board approved the minutes of the March 13, 2018 meeting by general consent.

6. New Business

A. New Development – Conceptual

- Starbucks Sea Turtle Marketplace, DRB-000708-2018

Mr. Darnell introduced the project and described its location. Mr. Darnell presented an in depth narrative of the project as provided in the Board's packet. Staff recommends approval with the following conditions:

1. Reconsider the clearstory windows or trim to better break up the walls.
2. Reconsider sconce locations and numbers.
3. Reconsider use of Shell Ginger and Philodendron in favor of a species that is more in keeping with "Island Character".
4. Provide more room between the 26" Live Oak and the curb and eliminate the planting near the trunk.

Vice Chairman Strecker asked if the applicant would like to add to Staff's narrative. The applicant presented statements regarding the project and answered questions presented by the Board.

Vice Chairman Strecker requested comments from the Board. The Board complimented the project. The Board commended the applicant on addressing existing site constraints by reconfiguring vehicular circulation and the drive-thru stacking issue. Three Board members favored the angled roof overhang at the gabled ends and noted they are in keeping with Island Character. Two Board members were not in favor of the angled overhang and preferred a straight overhang. One Board member suggested adding dormers similar to Jersey Mike's. Two Board members were opposed to using dormers on this building because it is not large enough. The Board indicated the proposed colors generally reflect Island Character and are in keeping with existing Sea Turtle Marketplace (STMP) buildings. Some lighter shades of gray may be considered as there appears to be more darkness on this building than the others in STMP. The metal roof will be charcoal gray, which is the same color for buildings F and G. The trim color is Reserved White. The body of the rear service area will be Gray Clouds. Night Owl will be used near the clearstory windows, the entry element and under the drive-thru window going across that elevation. There was brief discussion regarding the size/height of the storefront window and consideration for pedestrian scale. It was noted that the height of the clearstory windows are balanced by the amount of glass at the storefront. The Board suggested consideration be given to incorporating materials like the brick or the tabby used in STMP to tie the whole center together. Currently, a nice buffer exists between the building and 278 and that is proposed to be significantly reduced by removing several Laurel Oaks. The Board encouraged the applicant to consider saving those oaks.

The Board made further comments and inquiries regarding: any roof elements are required to be identified and screened; consider improving signage to better identify the front entrance; façade signs cannot be above the roof eaves; reconsider the number of sconces or size and make sure the light source is only casting downward; the drive aisle at the drive-thru side shows bollards with light; find a more native species than Shell Ginger and Philodendron; include a bicycle rack near the front entry; consider providing brick or columns at the aluminum fence at the front; the entry side of the building proportion appears suitable; the drive-thru scale appears smaller; no architecture is proposed at the patio area at this time, only the extended roof overhang at the door area; consider adding more buffer plantings between the patio and the driving lane, and the median between the drive-thru and the existing driving lane; more room is needed between the 26" Live Oak and the curb; eliminate the planting near the trunk; and details on the propane tank and mechanical equipment are needed for final.

Mr. Gentemann made a motion to approve DRB-000708-2018 with the following conditions:

1. Revisit the sconce locations and numbers or scale of the sconces.
2. Reconsider use of Shell Ginger and Philodendron in favor of a species that is more in-keeping with "Island Character".
3. Provide more room between the 26" Live Oak and the curb and eliminate the planting near the trunk.
4. Provide a final color scheme, and other drawings and information required for final submittal.
5. Include a place for a bicycle rack.

Mr. Witmer seconded. The motion passed with a vote of 5-0-0.

7. Board Business – None

8. Staff Report

Mr. Darnell reported on the Minor Corridor approvals since the last Board meeting. Mr. Darnell presented upcoming Board training dates.

9. Appearance by Citizens

Thomas C. Barnwell Jr. thanked the Board for the fantastic guidance given to him and the architect for the roof on the tabby ruins.

10. Adjournment

The meeting was adjourned at 1:58 p.m.

Submitted by: Teresa Haley, Secretary

Approved:

Dale Strecker, Vice Chairman

DRAFT



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received: _____	
Accepted by: _____	
DRB #: _____	
Meeting Date: _____	

Applicant/Agent Name: Bill Scarbrough Company: Land Development Consultants, LLC
 Mailing Address: 11811 N Tatum Blvd, #1051 City: Phoenix State: AZ Zip: 85028
 Telephone: 602-850-8141 Fax: _____ E-mail: bill@LDCAZ.com
 Project Name: Circle K Project Address: 71 Mattews Dr
 Parcel Number [PIN]: R511 008 000 191A 0000
 Zoning District: LC-Light Commercial Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Concept Approval – Proposed Development | <input type="checkbox"/> Alteration/Addition |
| <input type="checkbox"/> Final Approval – Proposed Development | <input type="checkbox"/> Sign |

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

4-10-2018

DATE

Development Team

Developer: Circle K Stores Inc.
2440 Whitehall Park Drive, Suite 800
Charlotte, North Carolina 28273
Attn: Zachary Grogan
Phone: 813.240.1223
Email: zgrogan@circlek.com

Planning & Entitlements: Land Development Consultants, LLC
11811 North Tatum, Suite 1051
Phoenix, AZ 85028
Attn: William Scarbrough
Phone: 602-850-8141
Email: Bill@LDCAZ.com

The property which is the subject of this Design Review Board application is located at 71 Mathews Drive, Hilton Head Island, South Carolina, as shown below. The property includes approximately 1.5 acres and is currently developed and operated as a retail convenience grocery store with automotive fuel sales.



Proposed Development.

In order to facilitate a better retail experience for public convenience, the Circle K is proposing to demolish the existing convenience store and four (4) fuel pumps under canopy and redevelop the property with a new 4,968 square foot convenience store with six (6) fuel pumps under a canopy. The site design provides for twenty-five (25) vehicular parking spaces, and wide drive aisles to provide ample vehicular circulation through the development. The proposed development will also include a new and expand parking lot, new underground storage tanks, and new landscaping across the property. Underground storage tanks will be used to store and dispense motor vehicle fuels through a state-of-the-art and environmentally protective system, which includes a number of leak detection mechanisms. The new development will utilize the exiting (redesigned) curb cuts to provide vehicular access to the facility from William Hilton Parkway and Mathews Drive. New signage will be provided on both William Hilton Parkway and Mathews Drive, along with limited on-building signage.

Tree and topographic surveys have been conducted and found no specimen trees or significant topography related to this site. The site is affected by Flood Zones A7, B & C, where currently no special conditions apply. The street setback requirements are 50ft/75° from William Hilton Pkwy and 40ft/70° from Matthews Drive, while the setback requirements for adjacent uses is 20ft/75°. The adjacent street buffer requirements are Type E along William Hilton Pkwy and Type B along Matthews Drive. The proposed development contemplates administrative variances for the rear and front buffer and setback requirements.

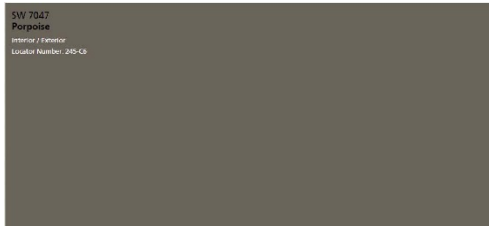
Both the proposed building and canopy will feature four-sided architecture with various design elements to enhance the aesthetic quality of the development. The proposed redevelopment provides for a building orientation towards William Hilton Pkwy. The colors of the proposed structures as well as the architectural features have been coordinated and are complementary with the unique qualities and character of nearby buildings. Site lighting will be designed to provide a safe and secure facility, but also to not have an adverse impact upon the adjoining properties and the surrounding area.

The retail facility will operate 24 hours per day, 7 days per week with 1-3 employees per shift. Timing, frequency, and location of delivery services will vary depending on volume of products sold with the size and type of delivery vehicles varying from small trucks to fuel tankers. The facility will offer for sale to the general public a wide variety of packaged and fresh goods, as well as fountain soft-drinks, coffees, teas, bottled beverages, tobacco and alcohol.

Circle K Redevelopment Hilton Head Island DRB Conceptual Submittal Color Board



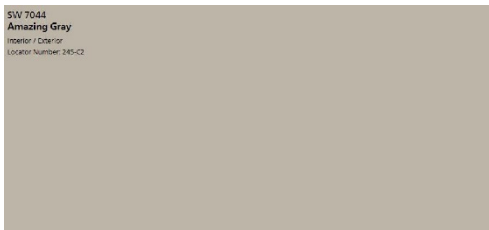
Standing Seam Metal Roof
Firestone Una-Clad
Charcoal Gray



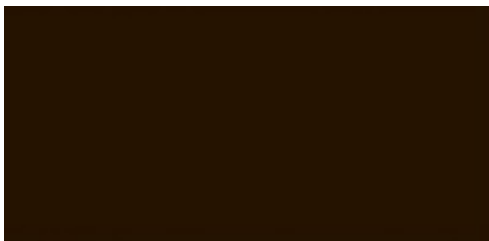
Paint
Sherwin Williams
SW 7047 - Porpoise



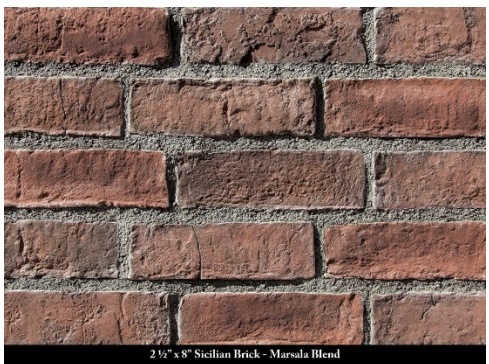
Stucco & Paint
Sherwin Williams
SW 9171 – Felted Wool



Stucco & Paint
Sherwin Williams
SW 7044 – Amazing Gray



Storefront
Dark Bronze



Split Face CMU
Superlite
Harvest Brown

Brick
Coronado Stone
Sicilian Brick
Marsala Blend



Context Photos



Proposed Location:
71 Matthews Drive
Hilton Head Island, SC

April 10th 2018

Existing Conditions from the South looking North -



Existing Conditions from the SWC looking NE -



Existing Conditions from the West looking East -



Hampton Inn to the East -



Public Storage to the North -

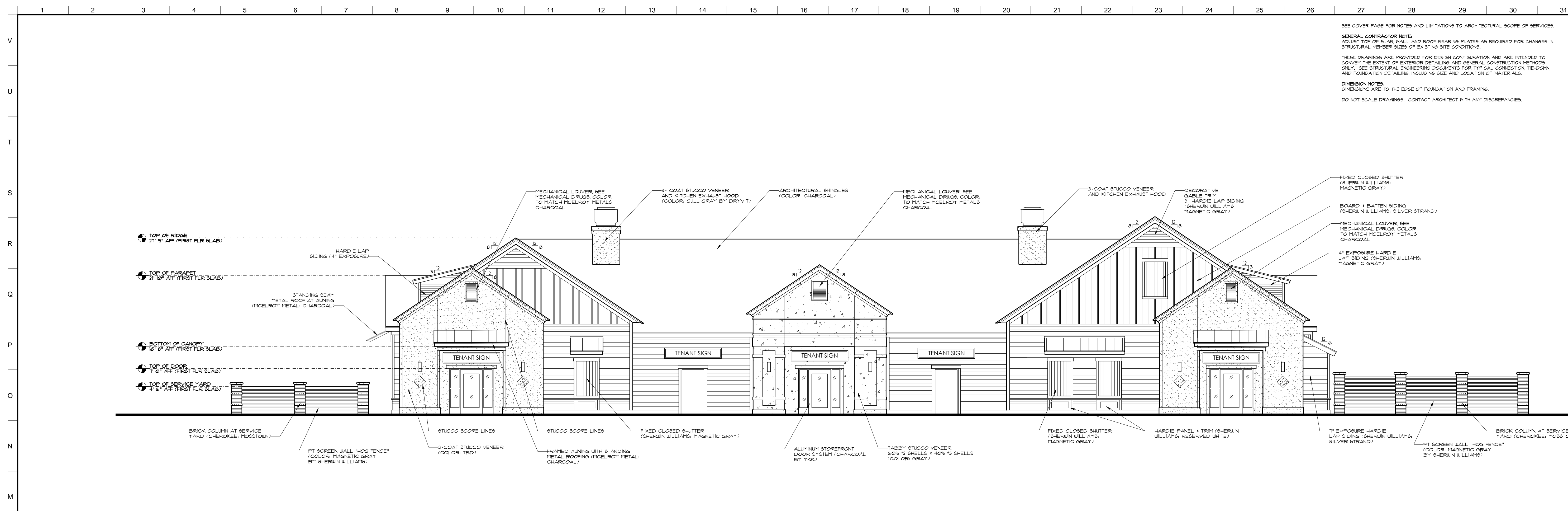


Wells Fargo to the South -

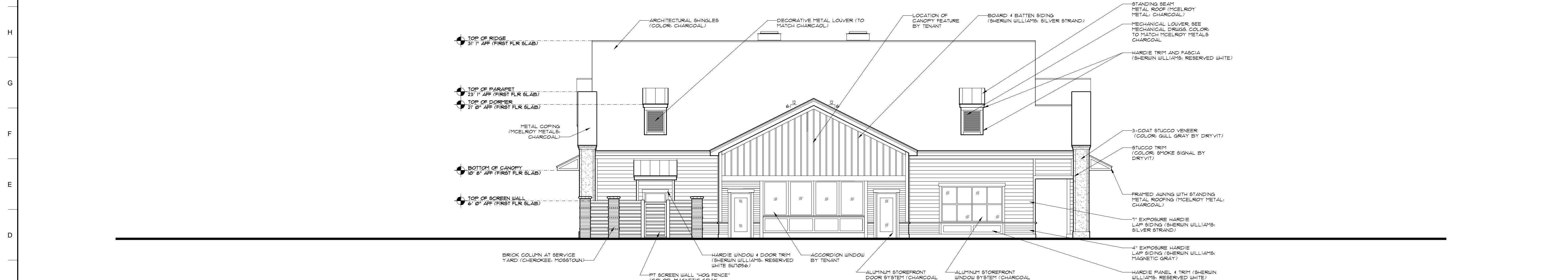


McDonald's to the South East -






1 REAR ELEVATION (SOUTH) - BUILDING F
 A3.1 SCALE 1/8" = 1'-0"



2 LEFT ELEVATION (EAST) - BUILDING F
 A3.1 SCALE 1/8" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
GENERAL CONTRACTOR NOTE:
 ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OF EXISTING SITE CONDITIONS.
 THESE DRAWINGS ARE PROVIDED FOR DESIGN CONFIGURATION AND ARE INTENDED TO CONVEY THE EXTENT OF EXTERIOR DETAILING AND GENERAL CONSTRUCTION METHODS ONLY. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR TYPICAL CONNECTION, TIE-DOWN, AND FOUNDATION DETAILING, INCLUDING SIZE AND LOCATION OF MATERIALS.
DIMENSION NOTES:
 DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING.
 DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.



COURT ATKINS ARCHITECTS

P.O. Box 3978 Bluffton, SC 29910
 P: 843.815.2557 F: 843.815.2547

OUT PARCEL - BUILDING "F" - VE
SEA TURTLE MARKETPLACE
 430 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC 29926

REVISIONS

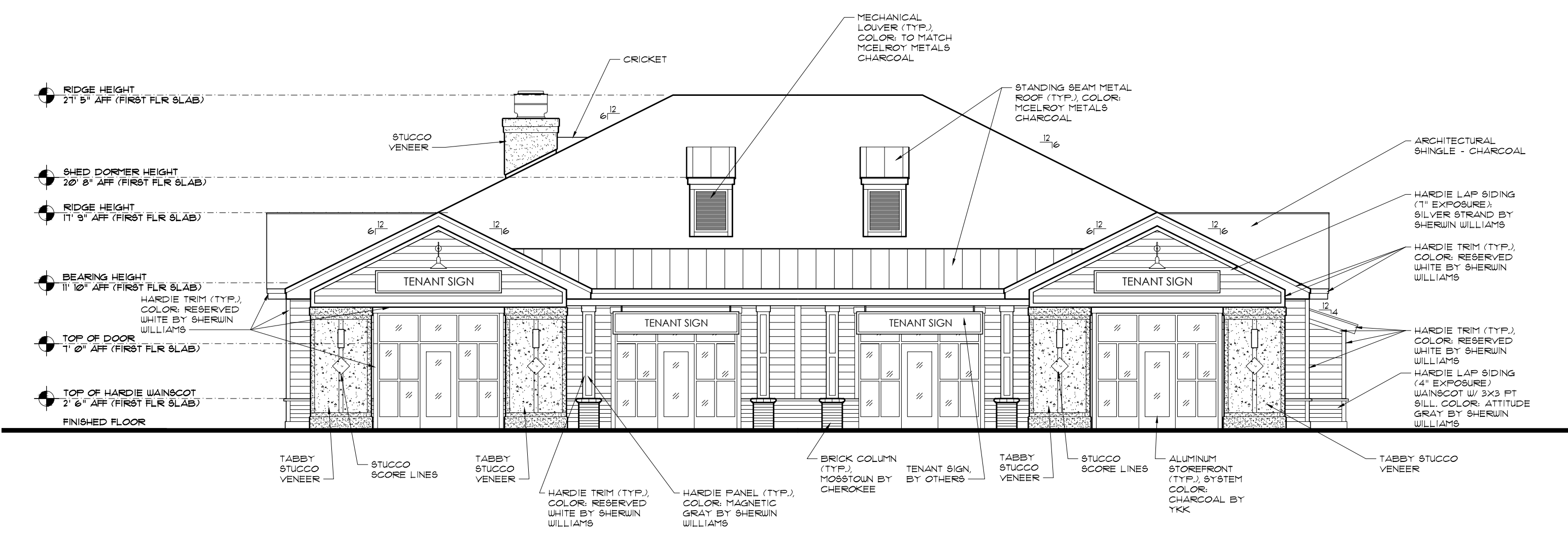
SEAL
SEAL

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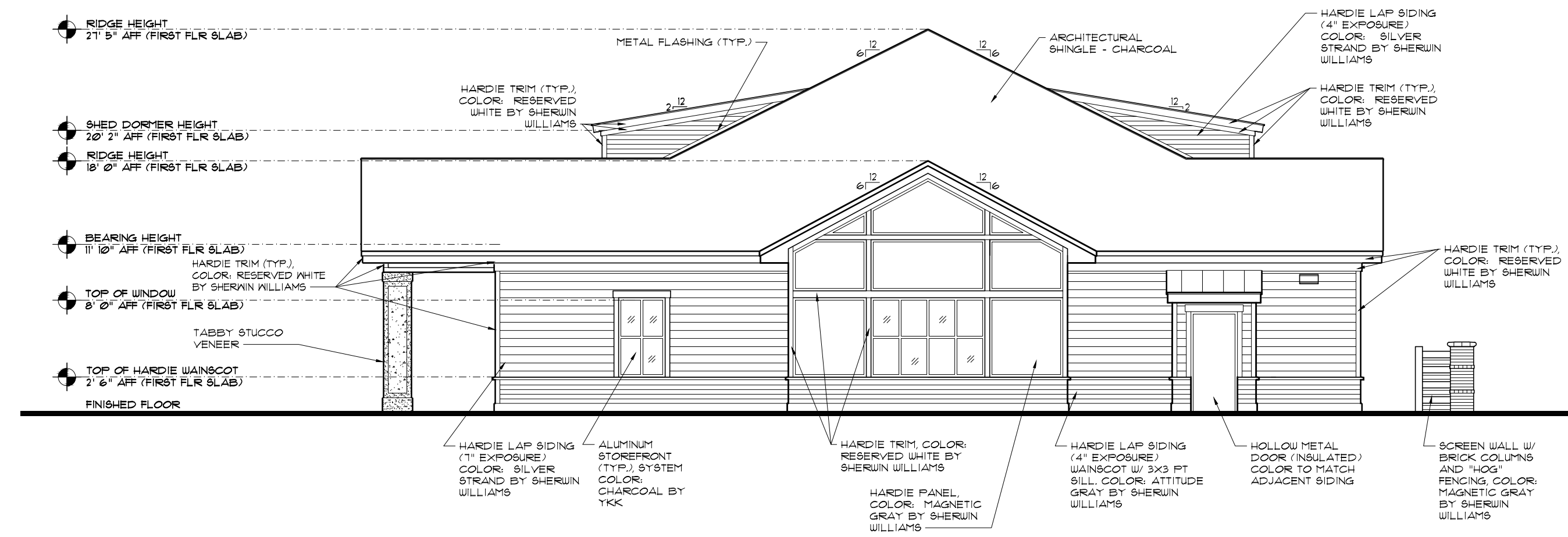
PROJECT NO. 14-163
 DATE 08/03/2017
 DRAWN BY
 CHECKED BY
 SHEET NO. **A3.1**

EXTERIOR ELEVATIONS

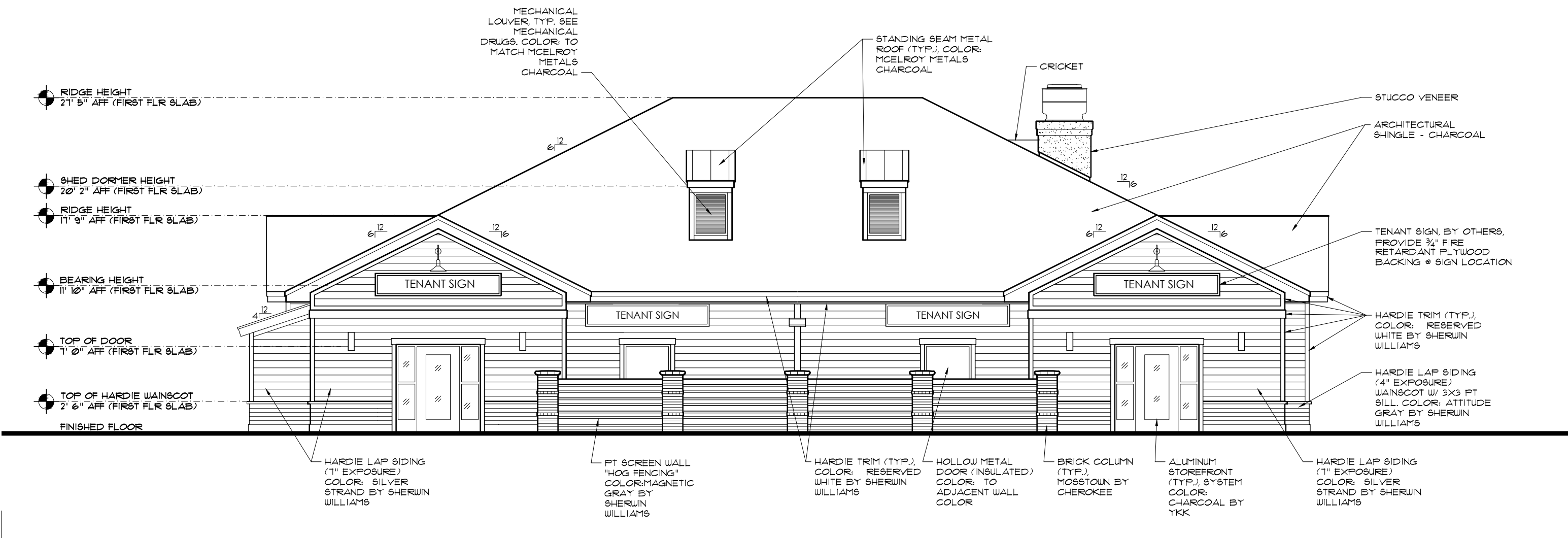
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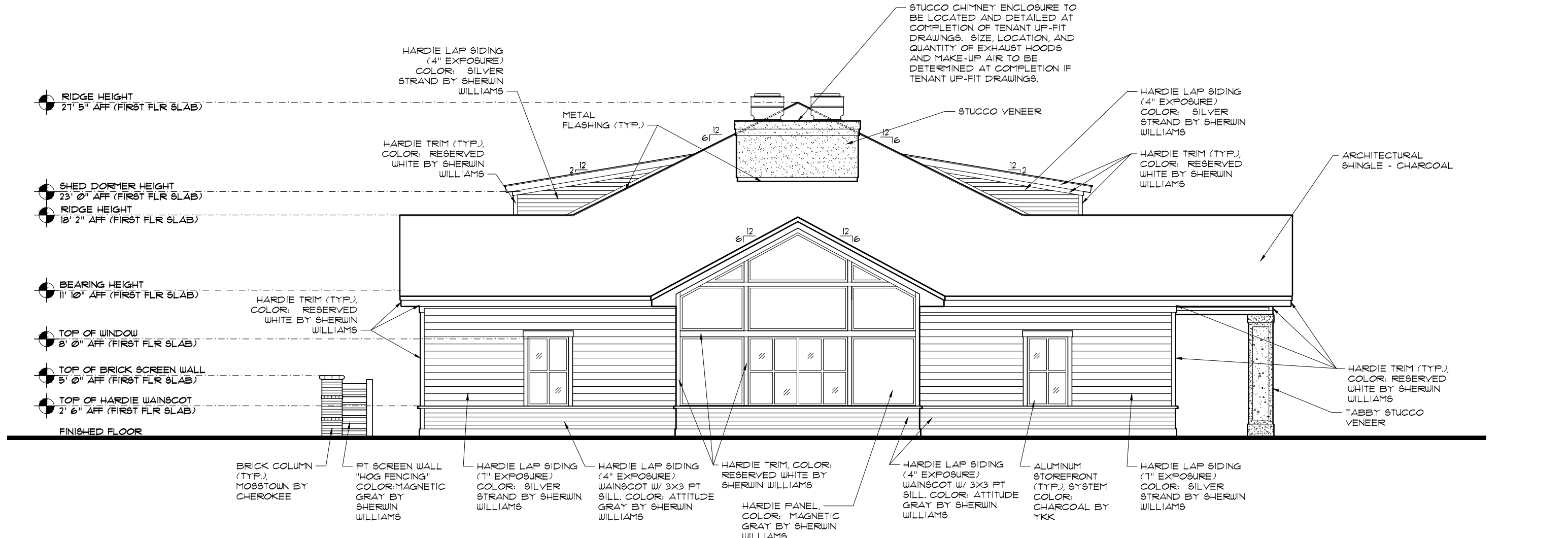
1 FRONT (SOUTH) ELEVATION - BUILDING G
 A3.0 SCALE 1/8" = 1'-0"



2 SIDE (EAST) ELEVATION - BUILDING G
 A3.0 SCALE 1/8" = 1'-0"



3 REAR (NORTH) ELEVATION - BUILDING G
 A3.0 SCALE 1/8" = 1'-0"



6 SIDE (WEST) ELEVATION - BUILDING G
 A3.0 SCALE 1/8" = 1'-0"



COURT ATKINS
 ARCHITECTS

OUT PARCEL - BUILDING "G" - VE
 SEA TURTLE MARKETPLACE
 430 WILLIAM HILTON PARKWAY, HILTON HEAD ISLAND, SC 29926

REVISIONS

SEAL
SEAL

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PROJECT NO. 14-168
 DATE 08/03/2017
 DRAWN BY
 CHECKED BY
 SHEET NO. **A3.0**
 EXTERIOR ELEVATIONS





Wheeler Starbucks Model

03/12/2018



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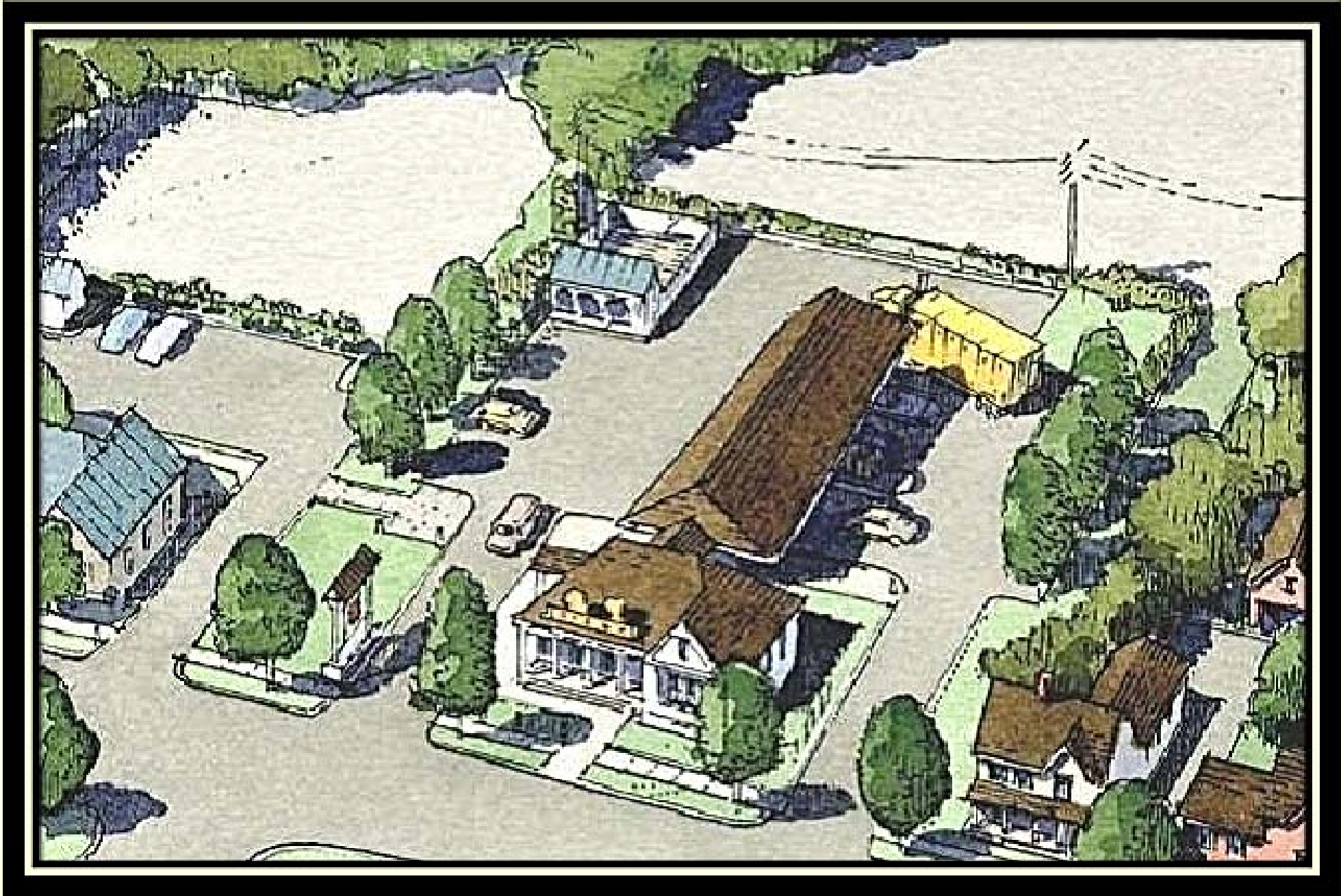


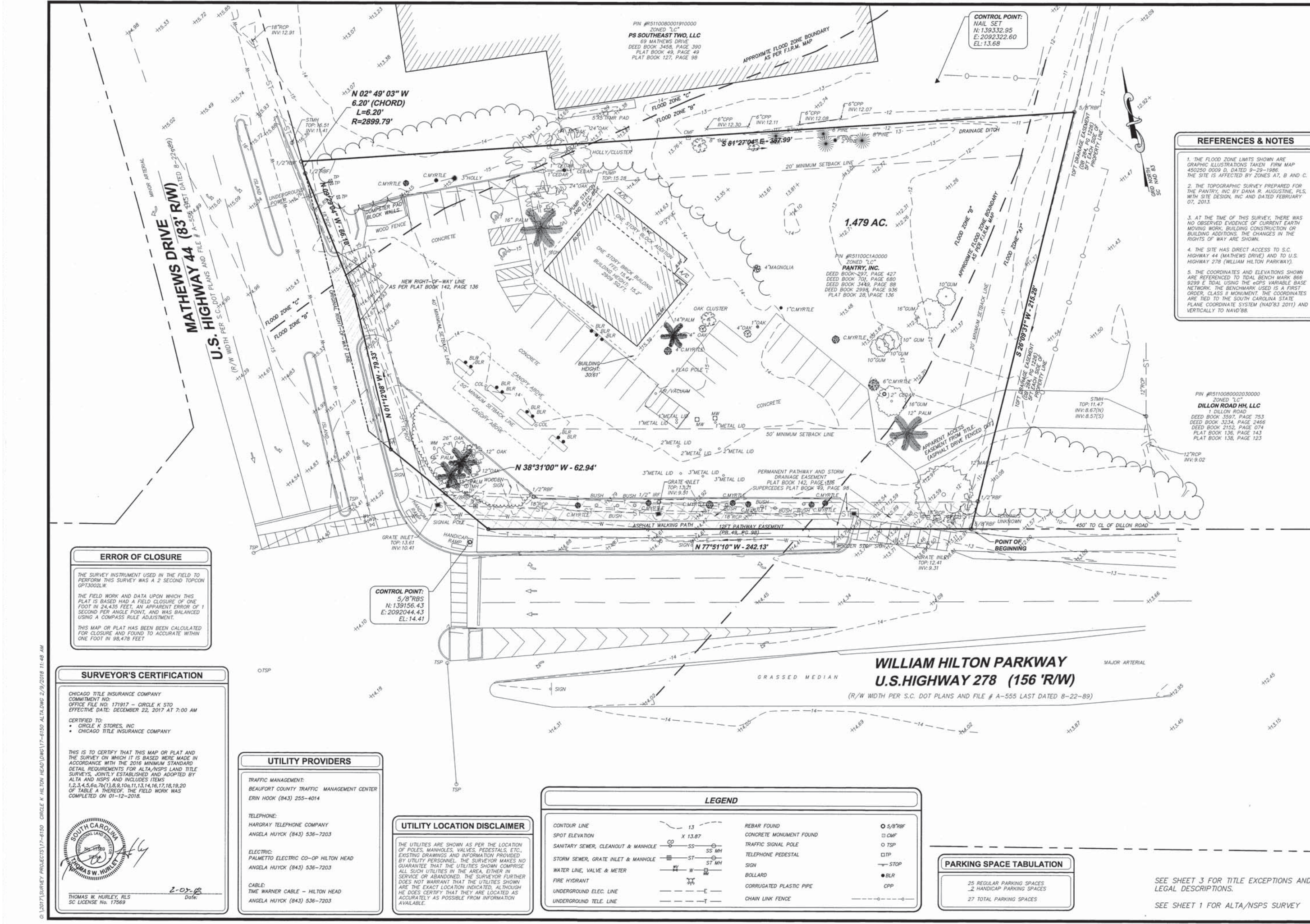


Parker's

Parker's
299
199

A TND "Gas Back" Service Station





REFERENCES & NOTES

1. THE FLOOD ZONE LIMITS SHOWN ARE GRAPHIC ILLUSTRATIONS TAKEN FROM MAP 450250 0009 D, DATED 9-29-1986. THE SITE IS AFFECTED BY ZONES A, B AND C.
2. THE TOPOGRAPHIC SURVEY PREPARED FOR THE PANTRY, INC BY DANA R. AUGUSTINE, PLS, WITH SITE DESIGN, INC AND DATED FEBRUARY 07, 2013.
3. AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. THE CHANGES IN THE RIGHTS OF WAY ARE SHOWN.
4. THE SITE HAS DIRECT ACCESS TO S.C. HIGHWAY 44 (MATHIEWS DRIVE) AND TO U.S. HIGHWAY 278 (WILLIAM HILTON PARKWAY).
5. THE COORDINATES AND ELEVATIONS SHOWN ARE REFERENCED TO TIDAL BENCH MARK 866 9299 E TIDAL USING THE GPRS VARIABLE BASE NETWORK. THE BENCHMARK USED IS A FIRST ORDER, CLASS II MONUMENT. THE COORDINATES ARE TIED TO THE SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD'83 2011) AND VERTICALLY TO NAVD'88.

PIN #R5110080002030000
DILLON ROAD HH, LLC
 1 DILLON ROAD
 DEED BOOK 3597, PAGE 753
 DEED BOOK 3234, PAGE 2466
 DEED BOOK 2152, PAGE 074
 PLAT BOOK 136, PAGE 143
 PLAT BOOK 138, PAGE 123

ERROR OF CLOSURE

THE SURVEY INSTRUMENT USED IN THE FIELD TO PERFORM THIS SURVEY WAS A 2 SECOND TOPCON GPT3002LW.

THE FIELD WORK AND DATA UPON WHICH THIS PLAT IS BASED HAD A FIELD CLOSURE OF ONE FOOT IN 24,435 FEET, AN APPARENT ERROR OF 1 SECOND PER ANGLE POINT, AND WAS BALANCED USING A COMPASS RULE ADJUSTMENT.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO ACCURATE WITHIN ONE FOOT IN 98,478 FEET

SURVEYOR'S CERTIFICATION

CHICAGO TITLE INSURANCE COMPANY
 COMMITMENT NO:
 OFFICE FILE NO: 171917 - CIRCLE K 570
 EFFECTIVE DATE: DECEMBER 22, 2017 AT 7:00 AM

CERTIFIED TO:
 • CIRCLE K STORES, INC
 • CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(1), 8, 9, 10, 11, 13, 14, 16, 17, 18, 19, 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 01-12-2018.

SOUTH CAROLINA
 PROFESSIONAL LAND SURVEYOR
 No. 17569
THOMAS W. HURLEY
 Date: 2-03-18

THOMAS W. HURLEY, RLS
 SC LICENSE No. 17569

UTILITY PROVIDERS

TRAFFIC MANAGEMENT:
 BEAUFORT COUNTY TRAFFIC MANAGEMENT CENTER
 ERIN HOOK (843) 255-4014

TELEPHONE:
 HARGRAY TELEPHONE COMPANY
 ANGELA HUYCK (843) 536-7203

ELECTRIC:
 PALMETTO ELECTRIC CO-OP HILTON HEAD
 ANGELA HUYCK (843) 536-7203

CABLE:
 TIME WARNER CABLE - HILTON HEAD
 ANGELA HUYCK (843) 536-7203

UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

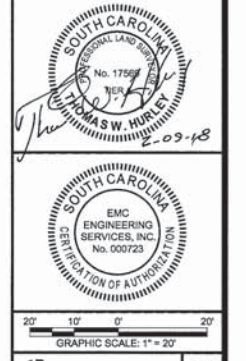
LEGEND

CONTOUR LINE	13	REBAR FOUND	○ 5/8"RBF
SPOT ELEVATION	X 13.87	CONCRETE MONUMENT FOUND	□ CMF
SANITARY SEWER, CLEANOUT & MANHOLE	○ SS	TRAFFIC SIGNAL POLE	○ TSP
STORM SEWER, GRATE INLET & MANHOLE	■ ST	TELEPHONE PEDESTAL	□ TTP
WATER LINE, VALVE & METER	W	STOP	— STOP
FIRE HYDRANT	⊕	BOLLARD	● BLR
UNDERGROUND ELEC. LINE	— E —	CORRUGATED PLASTIC PIPE	— CPP —
UNDERGROUND TELE. LINE	— T —	CHAIN LINK FENCE	— ○ —

PARKING SPACE TABULATION

25 REGULAR PARKING SPACES
 2 HANDICAP PARKING SPACES
 27 TOTAL PARKING SPACES

NO.	REVISION DESCRIPTION	BY	DATE



EMC ENGINEERING SERVICES, INC.
 10 Chatham Center South, Suite 100
 Savannah, GA 31405
 Ph: (912) 232-6533
 Fax: (912) 232-4580
 savannah@emc-eng.com
 www.emc-eng.com

CIVIL MARINE ENVIRONMENTAL

OFFICE LOCATIONS: ALBANY, ATLANTA, AUGUSTA, BRUNSWICK, COLUMBUS, SAVANNAH, STATESBORO, AND VALDOSTA

ALTA / NSPS LAND TITLE SURVEY

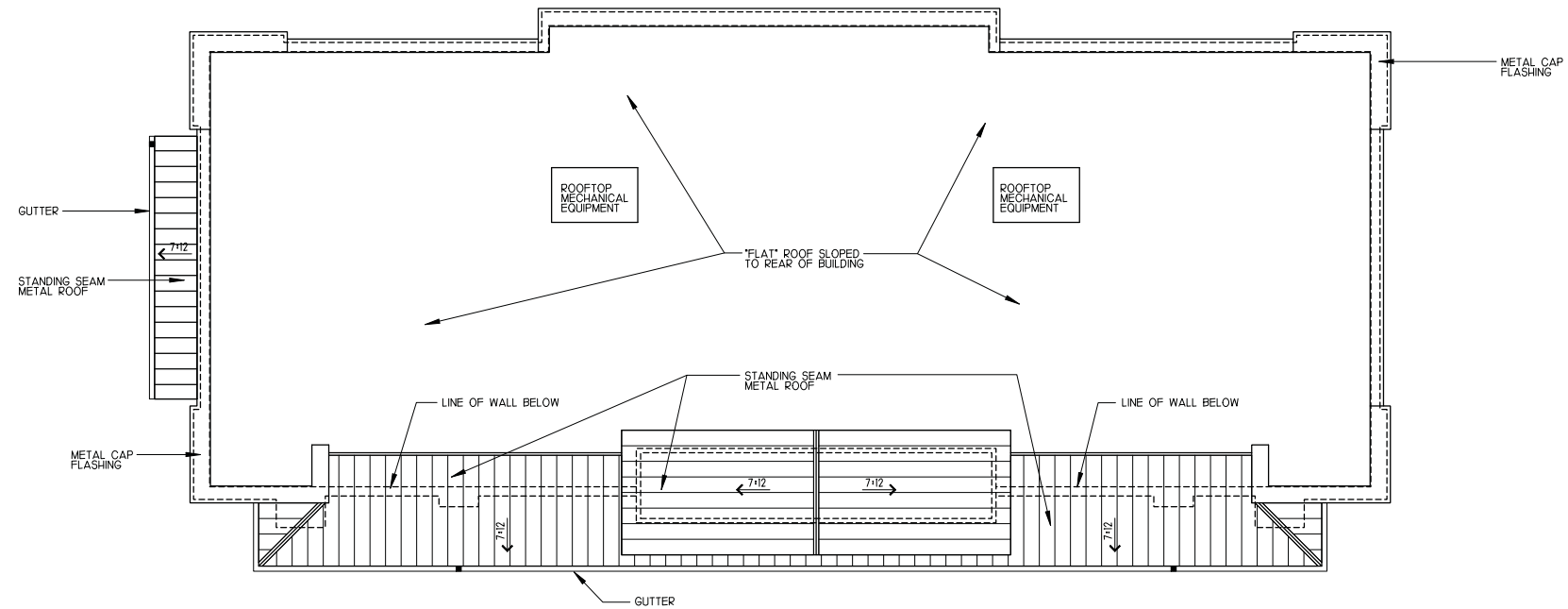
CIRCLE K STORES, INC
 71 MATHIEWS DRIVE TAX PARCEL # R511 08 000 191A 0000
 HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
 Prepared for:
 LAND DEVELOPMENT CONSULTANTS

PROJECT NO.: 17-6150
 DRAWN BY: ###
 DESIGNED BY: EMC
 SURVEYED BY: TW
 SURVEY DATE: 01/10/2018
 CHECKED BY: TwH
 SCALE: 1" = 20'
 DATE: 2/8/2018

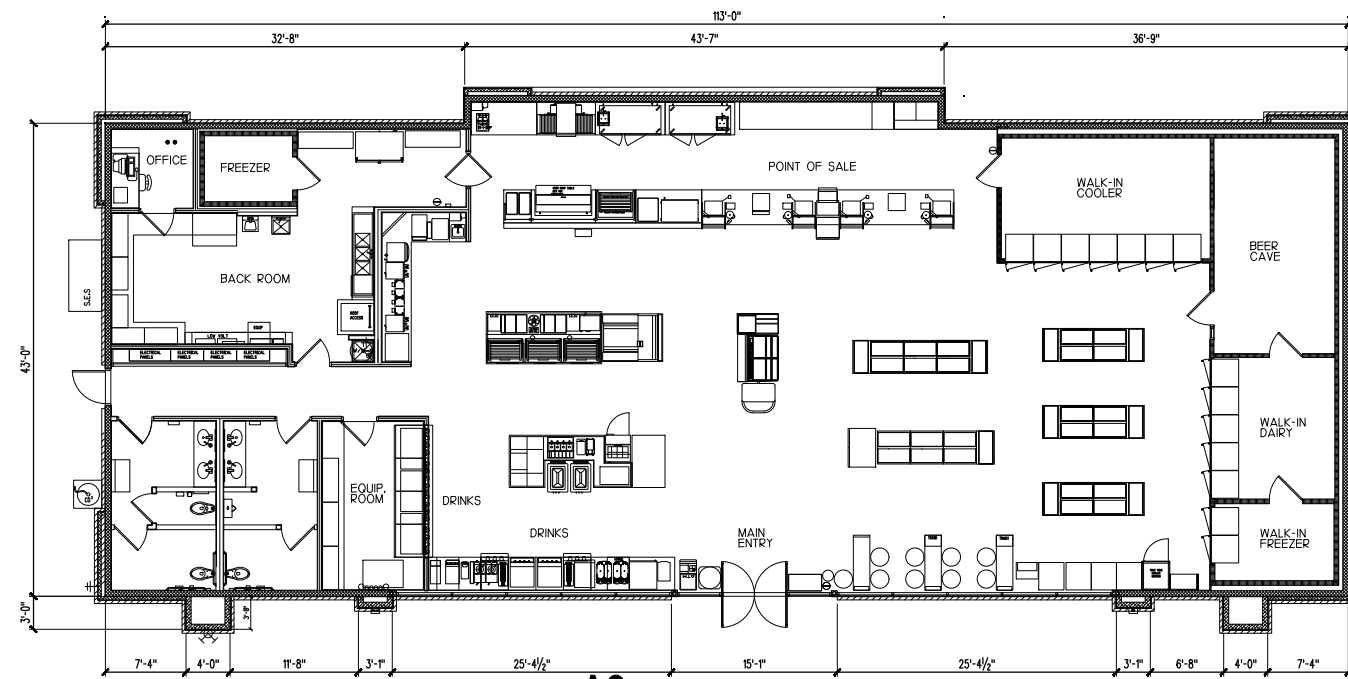
SHEET 2 OF 3

SEE SHEET 3 FOR TITLE EXCEPTIONS AND LEGAL DESCRIPTIONS.
 SEE SHEET 1 FOR ALTA/NSPS SURVEY

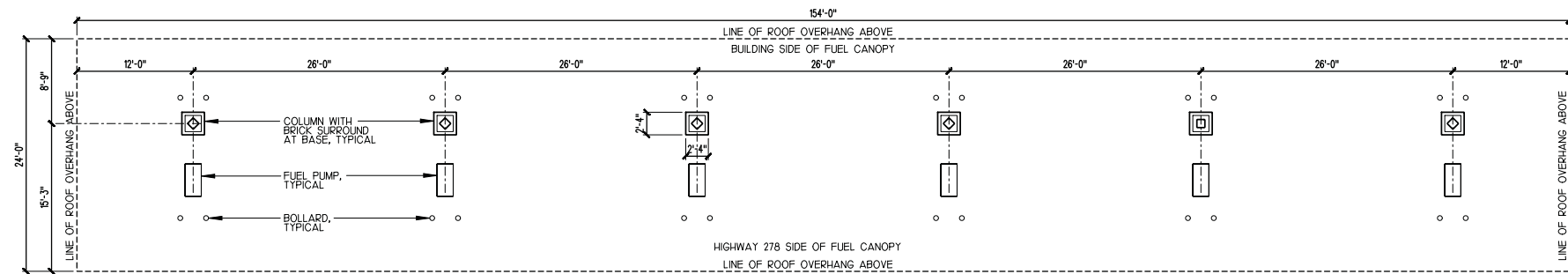
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C3 BUILDING ROOF PLAN
SCALE: 1/8" = 1'-0"



A3 BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"



A3 FUEL CANOPY FLOOR PLAN
SCALE: 1/8" = 1'-0"

A New Building For
Circle K
 Mathews Drive at William Hilton Parkway
 Hilton Head Island, South Carolina 29926

MARK	DATE	DESCRIPTION
SCHEM	03/23/18	SCHEMATIC DRAWINGS
SCHEM	03/28/18	REVISED SCHEMATIC DRAWINGS
DRB	04/10/18	DRB CONCEPTUAL SUBMITTAL

PROJECT NO: FWA 2538.01

DRAWN BY: DNS
 APPROVED BY:

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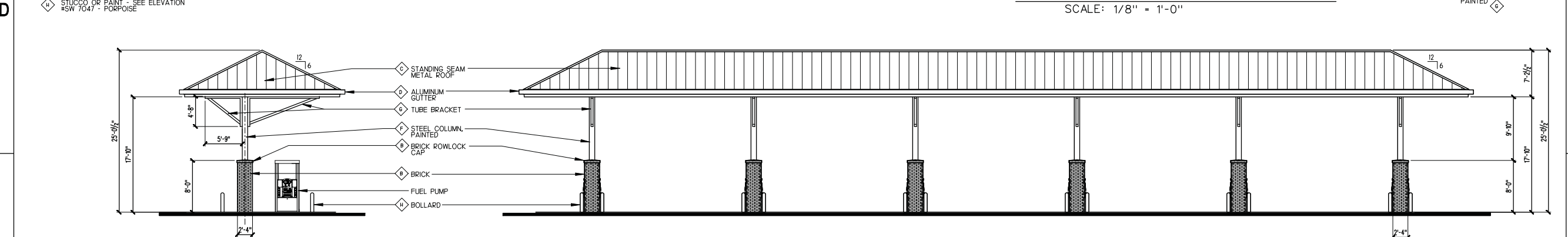
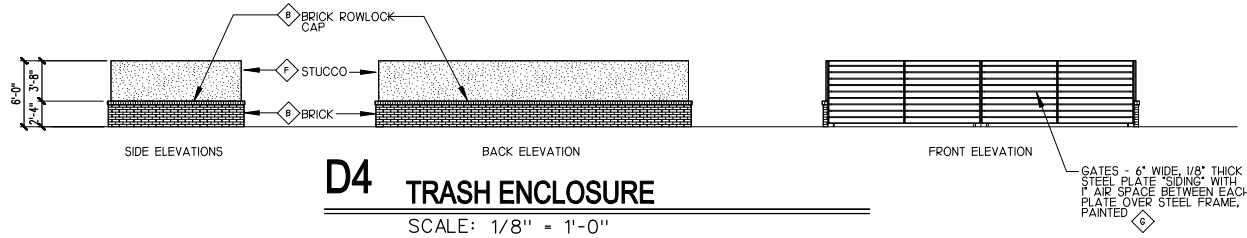
SHEET TITLE

FUEL STATION PLANS

SHEET NUMBER

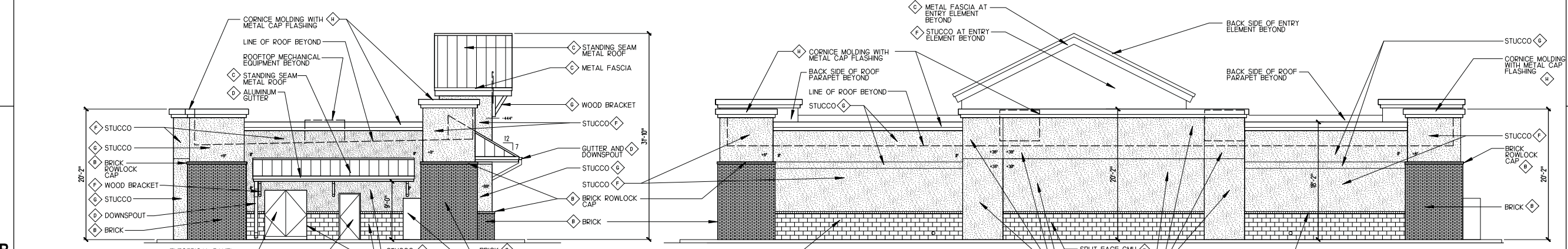
AE-100

- ◇ ALUMINUM STOREFRONT
DARK BRONZE
- ◇ BRICK
CORONADO STONE, SILICAN BRICK, MARSALA BLEND
- ◇ STANDING SEAM METAL ROOF
FREestone LINA-CLAD CHARCOAL GRAY
- ◇ ALUMINUM GUTTERS AND DOWNSPOUTS
TO MATCH STANDING SEAM METAL ROOF
- ◇ SPLIT FACE CMU
SUPERLITE, HARVEST BROWN
- ◇ STUCCO OR PAINT
#SW 7044 - AMAZING GRAY - SEE ELEVATION
- ◇ STUCCO OR PAINT - SEE ELEVATION
#SW 9171 - FELTED WOOL
- ◇ STUCCO OR PAINT - SEE ELEVATION
#SW 7047 - PORPOISE



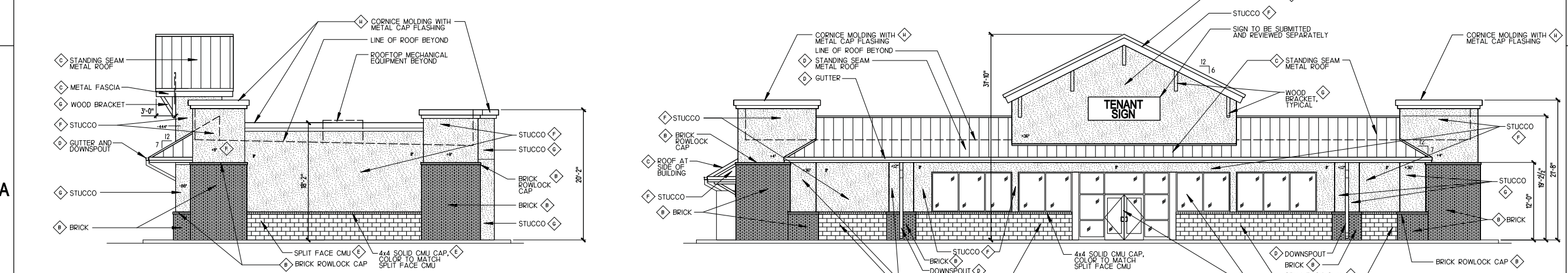
C1 FUEL CANOPY LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"
LEFT SIDE ELEVATION SIMILAR, BUT MIRRORED

C3 FUEL CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"
BACK SIDE ELEVATION SIMILAR



B1 BUILDING LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

B3 BUILDING BACK ELEVATION
SCALE: 1/8" = 1'-0"



A1 BUILDING RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

A3 BUILDING FRONT ELEVATION
SCALE: 1/8" = 1'-0"

A New Building For
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Mathews Drive at William Hilton Parkway
Hilton Head Island, South Carolina 29926

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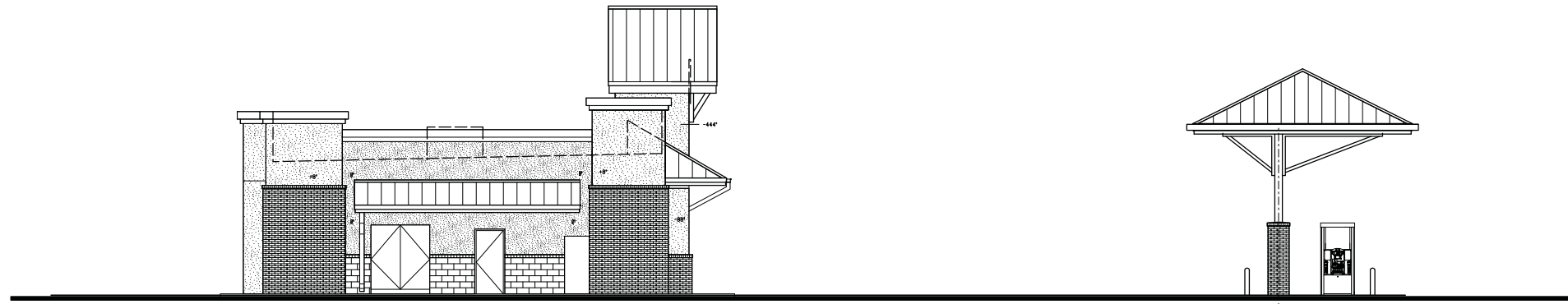
PROJECT NO: FWA 2538.01

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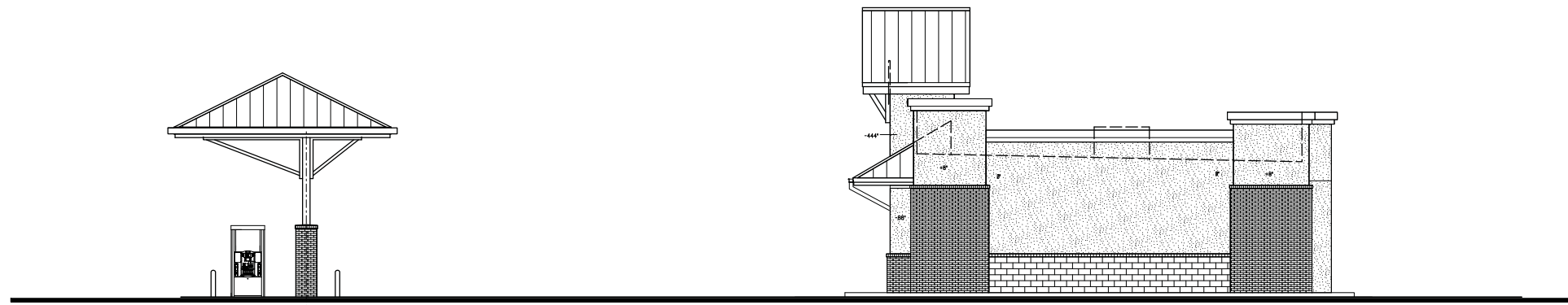
SHEET TITLE
FUEL STATION ELEVATIONS

SHEET NUMBER
AE-101



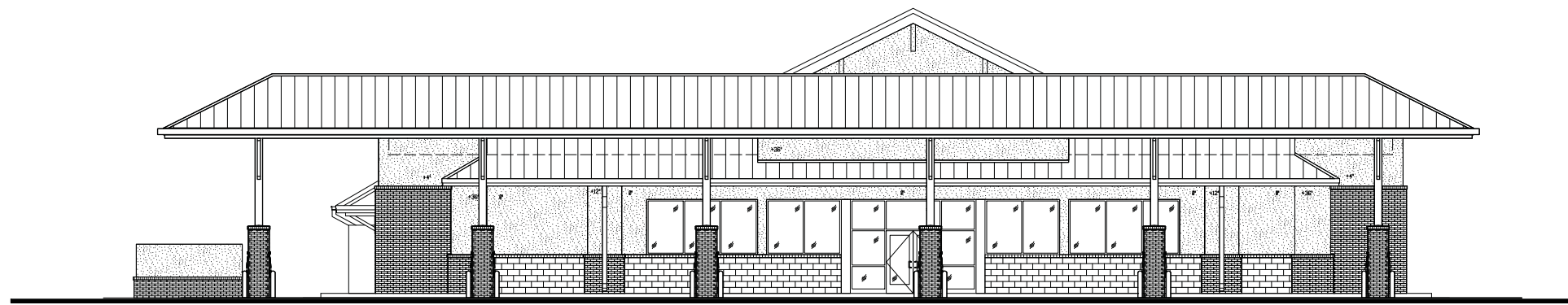
C1 COMPOSITE LEFT ELEVATION

SCALE: 1/8" = 1'-0"



B1 COMPOSITE RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



A1 COMPOSITE FRONT ELEVATION

SCALE: 1/8" = 1'-0"

A New Building For
Circle K
 Mathews Drive at William Hilton Parkway
 Hilton Head Island, South Carolina 29928

MARK	DATE	DESCRIPTION
SCHEM	03/23/18	SCHEMATIC DRAWINGS
SCHEM	03/28/18	REVISED SCHEMATIC DRAWINGS
DRB	04/10/18	DRB CONCEPTUAL SUBMITTAL

PROJECT NO: FWA 2538.01

DRAWN BY: DNS
 APPROVED BY:

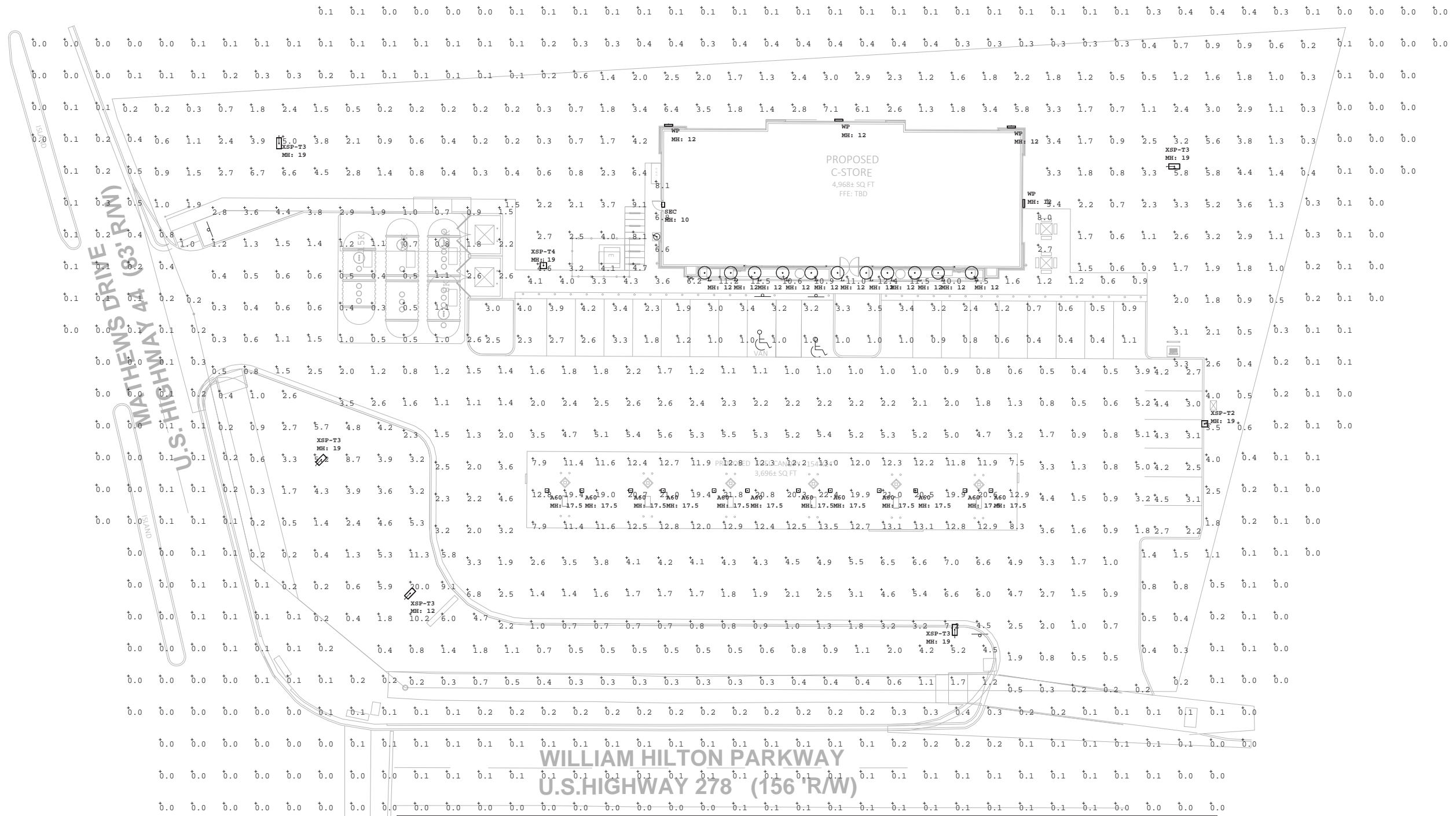
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SHEET TITLE
COMPOSITE ELEVATIONS

SHEET NUMBER

AE-102

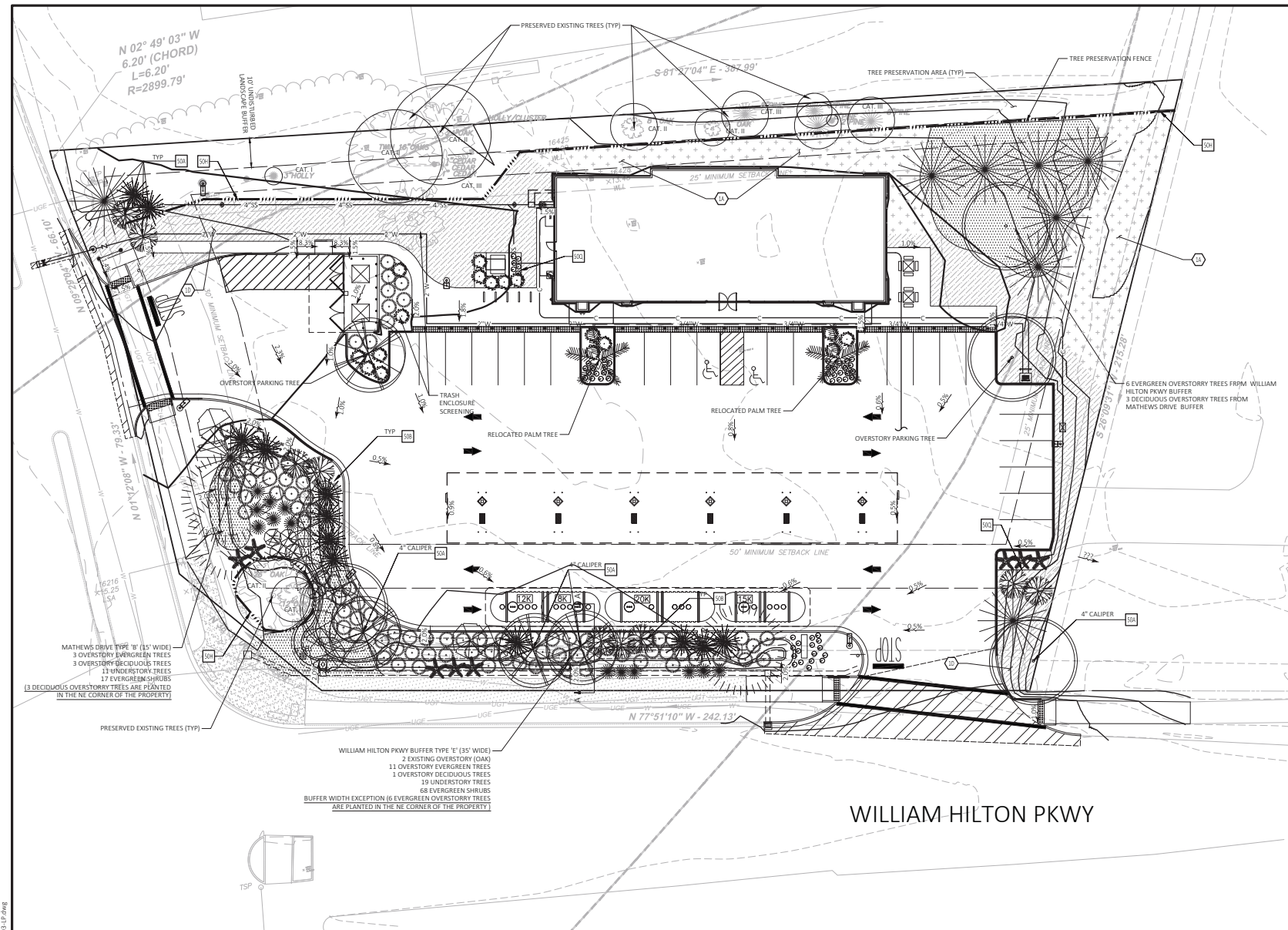
12/15/18
 12/15/18
 12/15/18



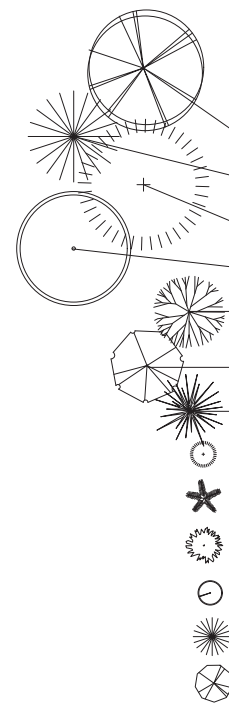
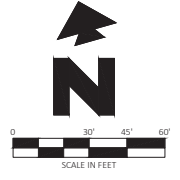
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[Symbol]	1	XSP-T2	SINGLE	1.000	BXSP-B-xx-2ME-B-57K-UL w_ XA-SP2BLS CONFIGURED FROM BXSPCxx2MEE40K-UL w_ XA-SP1B	101
[Symbol]	5	XSP-T3	SINGLE	1.000	BXSPBxx3MEB57K-UL CONFIGURED FROM BXSPBxx3MEB40K-xxxxxxx or XSPBxx3MEB40K-xxxxxxx	101
[Symbol]	1	XSP-T4	SINGLE	1.000	BXSPBxx4MEB57K-UL CONFIGURED FROM BXSPBxx4MEA40K-xxxxxxx or XSPBxx4MEA40K-xxxxxxx	101
[Symbol]	11	L	SINGLE	1.000	IES File LR6 -18L-27K-GU24	22
[Symbol]	1	SEC	SINGLE	1.000	SEC-EDG-3M-___06-D-UL-700-40K or BXSE_306D-UD7 (700mA)	133.4
[Symbol]	4	WP	SINGLE	1.000	XSPWax3MC-U	42.96
[Symbol]	12	A60	SINGLE	1.000	CPY250-A-xx-D-A-UL or BXCCAxD08-U	81.6

Label	CalcType	Units	Avg	Max	Min	Avg/Min
DRIVEWAY	Illuminance	Fc	2.25	7.2	0.2	11.25
LANDSCAPED AREAS	Illuminance	Fc	2.17	20.0	0.2	10.85
PARKING AREAS	Illuminance	Fc	2.30	4.5	0.4	5.75
PROPERTY LINE	Illuminance	Fc	0.11	0.8	0.0	N.A.
STORE PERIMETER	Illuminance	Fc	6.39	12.4	0.6	10.65
UNDER CANOPY	Illuminance	Fc	14.39	22.4	7.5	1.92

1 PHOTOMETRIC PLAN
SCALE: 3/4" = 1'-0"



- PROPOSED**
- PROPERTY LINE/RIGHT OF WAY LINE
 - BERMUDAGRASS SOD
 - BERMUDAGRASS SEED
 - TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
- LANDSCAPE DETAILS**
- 50A TREE PLANTING
 - 50B SHRUB PLANTING
 - 50H TREE PRESERVATION FENCE
 - 50Q STEEL EDGING
- LANDSCAPE NOTES**
- 01A SEEDED GREEN AREA
 - 01D BROADCAST GREEN AREA



KEY	QTY	COMMON NAME	LATIN NAME	SIZE	NOTES
LO	4	Live Oak	Quercus virginiana	OVERSTORY / 2" CAL UNLESS SPECIFIED OTHERWISE ON PLANS	PLANT AS SHOWN
AH	9	American Holly	Ilex opaca	OVERSTORY / 30 FT IN HT. EVERGREEN	PLANT AS SHOWN
BC	3	Bald Cypress	Taxodium distichum	OVERSTORY / 30 FT IN HT. EVERGREEN	PLANT AS SHOWN
SG	4	Sweet Gum	Liquidambar styraciflua	OVERSTORY / 2" CAL UNLESS SPECIFIED OTHERWISE ON PLANS	PLANT AS SHOWN
CF	9	Flowering Dogwood	Cornus florida	UNDERSTORY / 1.5" CAL	PLANT AS SHOWN
ER	9	Eastern Redbud	Eastern Redbud	UNDERSTORY / 1.5" CAL	PLANT AS SHOWN
YH	12	Yaupon Holly	Ilex vomitoria	UNDERSTORY / 6 FT IN HT. EVERGREEN	PLANT AS SHOWN
WM	94	Wax Myrtle	Myrica ceriflora	SHRUB EVERGREEN 36" IN HT.	PLANT AS SHOWN
SP	8	Saw Palmetto	Serenoa repens	PALM 36" IN HT.	PLANT AS SHOWN
CM	17	Strawberry Dazzle® Dwarf Crape Myrtle	Lagerstroemia indica Strawberry Dazzle®	SHRUB DECIDUOUS 36" IN HT.	PLANT AS SHOWN
LA	54	Lantana	Lantana ssp.	GROUND COVER	15" O.C.
MG	13	Muhley Grass	Muhlenbergia capillaris	NATIVE GRASS	PLANT AS SHOWN
SC	5	Sand Cordgrass	Spartina bakeri	NATIVE GRASS	PLANT AS SHOWN
	3,300 SF	Wild Ginger	Asarum canadense	NATIVE GROUND COVER	PLANT AS SHOWN

WILLIAM HILTON PKWY

PROJECT INFORMATION	
PROJECT NAME:	CIRCLE K
PROJECT ADDRESS:	71 MATHEWS DRIVE HILTON HEAD, SC 29926
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW FREE-STANDING CIRCLE K STORE WITH FUEL SALES
SITE INFORMATION	
SUBJECT PROPERTY:	1.479± AC / 64,421± SF
LANDSCAPE AREA (ON-SITE & FRONTAGE):	0.59± AC / 25,817± S.F.
REQUIRED LANDSCAPE RATIO:	40% (25,769± S.F.)
PROVIDED LANDSCAPE/PERVIOUS RATIO:	40.1% (25,817± S.F.)
PROVIDED IMPERVIOUS RATIO:	59.9% (38,605± S.F.)

PRESERVED TREES ACI			
CATEGORY	CALIPER	ACI	
CATEGORY I (100%)	3"	*1	3
CATEGORY II (75%)	92"	*.75	69
CATEGORY III (50%)	40"	*.50	20
TOTAL			92

LANDSCAPE REQUIREMENTS			
ACI REQUIRED	0.59± AC * 1 AC / 900 = 531 ACI REQUIRED		
ACI PRESERVED TREES	92		
SUPPLEMENTAL PLANTING REQ'D	531 - 92 = 439		
	439 * 0.15 = 65± OF TREES TO BE PLANTED TOTAL		
PROPOSED TREES	OVERSTORY (4" CAL) BUFFER TREES : 4	*14" CAL	16"
	OVERSTORY BUFFER TREES : 17	*12" CAL	36"
	UNDERSTORY BUFFER TREES : 30	*1.5" CAL	45"
	OVERSTORY PARKING TREES : 3	*12" CAL	6"
	PROPOSED CALIPER TREES = 102"		

BUFFER REQUIREMENTS		
MATHEWS DRIVE - TYPE B (15' WIDE)	OVERSTORY TREES : 4 EVERY 100 LINEAR FEET UNDERSTORY TREES : 8 EVERY 100 LINEAR FEET EVERGREEN SHRUBS : 12 EVERY 100 LINEAR FEET	*1.35 (135 LF OF BUFFER) OVERSTORY TREES : 6 UNDERSTORY TREES : 11 EVERGREEN SHRUBS : 17
WILLIAM HILTON PKWY - TYPE E (35' WIDE)	OVERSTORY TREES : 5 EVERY 100 LINEAR FEET UNDERSTORY TREES : 7 EVERY 100 LINEAR FEET EVERGREEN SHRUBS : 25 EVERY 100 LINEAR FEET AND AT LEAST 3 FEET HIGH AT MATURITY AT LEAST 50% OF ALL TREES MUST BE EVERGREEN	*2.7 (270 LF OF BUFFER) OVERSTORY TREES : 14 UNDERSTORY TREES : 19 EVERGREEN (3 FT HT) SHRUBS : 68
TOTAL BUFFER PLANTING REQUIRED		OVERSTORY TREES : 20 UNDERSTORY TREES : 30 EVERGREEN (3 FT HT) SHRUBS : 85

ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.



LAND DEVELOPMENT CONSULTANTS, LLC

CIRCLE K

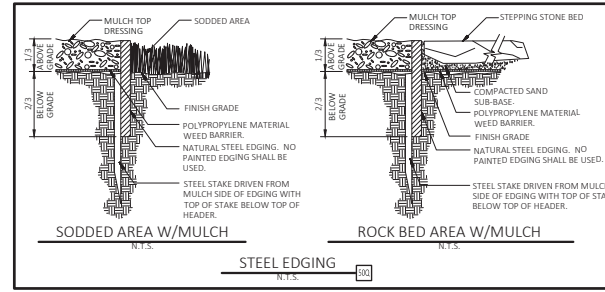
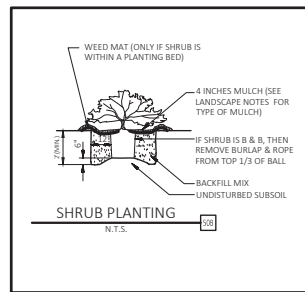
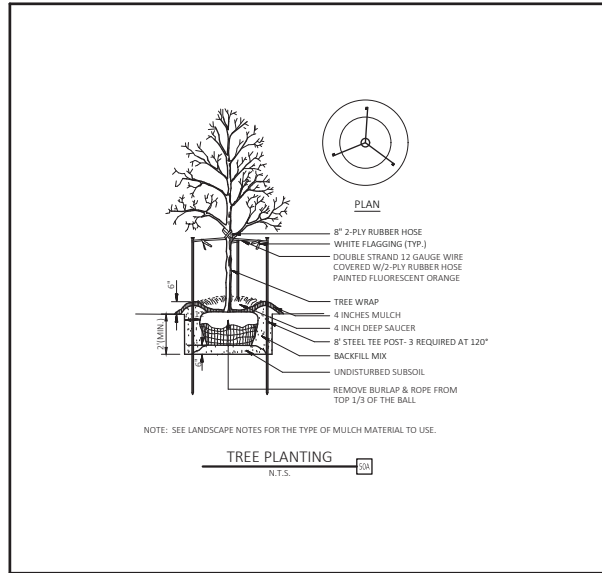
CLIENT: LAND DEVELOPMENT CONSULTANTS, LLC, 11811 N. TATUM BLVD., SUITE 1051, PHOENIX, AZ, 85028
PH: 602.850.9101 FAX: 602.907.9807

PLANS PREPARED FOR: CIRCLE K STORES, INC., 2440 WHITEHALL PARK DR., SUITE 800, CHARLOTTE, NC, 28273
PH: 480.414.2420

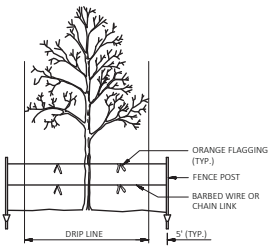
PRELIMINARY FOR REVIEW ONLY

30303	4/13/18	RKW	JCH	RKW	JAP
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
7543 N. Ingram Ave., Suite 107 Fresno, CA 93721 (559) 447-3119 FAX: (559) 447-3129					
CIRCLE K					
71 MATHEWS DRIVE					
HILTON HEAD, SC 29926					
SCHEMATIC LANDSCAPE PLAN				REV DATE 4/13/18	SHEET NO. L1

JOB # 30303 DRAWING: 30303 LP Page LAST SAVED BY: TAVARRO LOCATION: P:\30303\30303 LP.dwg (Preliminary) (Rev: 2) 3/30/2018 LP Page



- TREE PROTECTION NOTES:**
- ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF DEMOLITION/CONSTRUCTION WITH TEMPORARY FENCING. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH LANDSCAPE CONTRACTOR.
 - TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING). CLEARING SHALL BE DONE BY HAND.
 - FENCES SHALL COMPLETELY SURROUND TREE OR CLUSTERS OF TREES, SHALL BE LOCATED 5' FROM THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIP LINE), AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION BY CONTRACTOR. PROJECT IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
 - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL) OR TRENCHING.
 - WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
 - EXCEPTIONS TO INSTALLING FENCES 5' FROM TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - WHERE PERMEABLE PAVING IS TO BE INSTALLED: ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA.
 - WHERE TREES ARE CLOSE TO THE PROPOSED BUILDING: ERECT THE FENCE NO CLOSER THAN 6 FEET TO THE BUILDING.
 - WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHES) IN ADDITION TO THE REDUCED FENCING PROVIDED.
 - WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER DRIP LINES), THOSE AREAS SHOULD BE COVERED WITH 4 INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
 - ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO 2 FEET BEHIND THE GRADE CHANGE AREA. NO ROOT OVER 1 INCH DIAMETER WILL BE CUT.
 - ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED WITH A CLEAN CUT FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL IMMEDIATELY. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
 - PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
 - TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - NO CONDUIT OR UTILITIES CAN BE INSTALLED WITHIN TREE PROTECTION AREAS. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
 - NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE. GRADING LIMITED TO 3 INCH CUT.
 - PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
 - ALL PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES) BY A CERTIFIED ARBORIST AND SHALL BE APPROVED AND SUPERVISED BY OWNER'S REPRESENTATIVE OR PROJECT URBAN FORESTER.
 - DAMAGE TO TREES OR ANY NATURAL RESOURCE DUE TO CONTRACTOR'S NEGLIGENCE DURING THE CONSTRUCTION PHASE SHALL BE APPRAISED BY THE OWNER'S REPRESENTATIVE AND ORDERED REPAIRED, REPLACED, OR COMPENSATED.



ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, ACCESSIBLE PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS, AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., AND TOWN OF HILTON HEAD ISLAND REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET STANDARDS.

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LAND DEVELOPMENT CONSULTANTS, LLC

CLIENT: LAND DEVELOPMENT CONSULTANTS, LLC, 11811 N. TATUM BLVD., SUITE 105, PHOENIX, AZ, 85028, PH: 602.959.9101, FAX: 602.997.9807

CIRCLE K

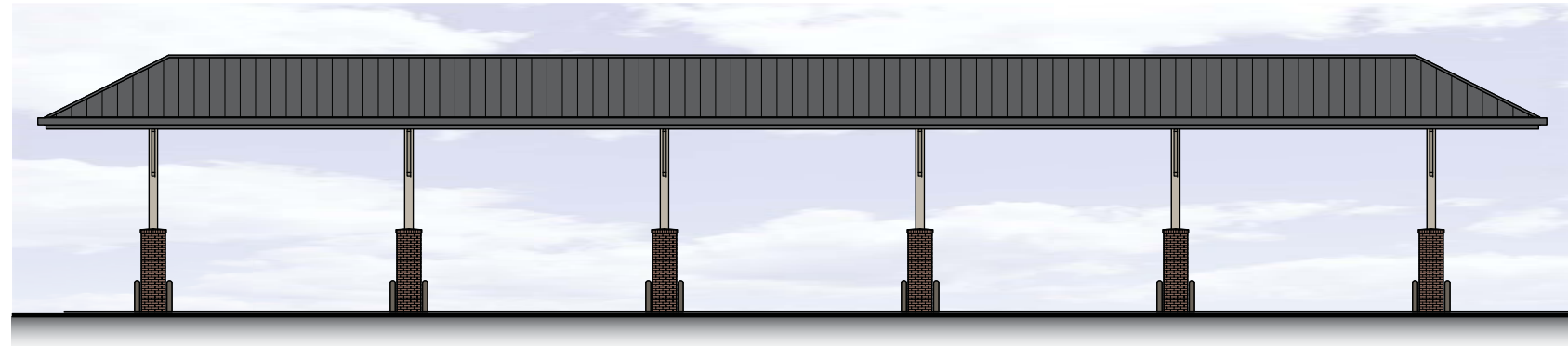
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(559) 447-3119 FAX: (559) 447-3129					
CIRCLE K					
77 MATHEWS DRIVE					
HILTON HEAD, SC 29928					
REV DATE		SHEET NO.			
4/13/18		L2			
REV-0		L2			
LANDSCAPE DETAIL					



C1 FUEL CANOPY RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

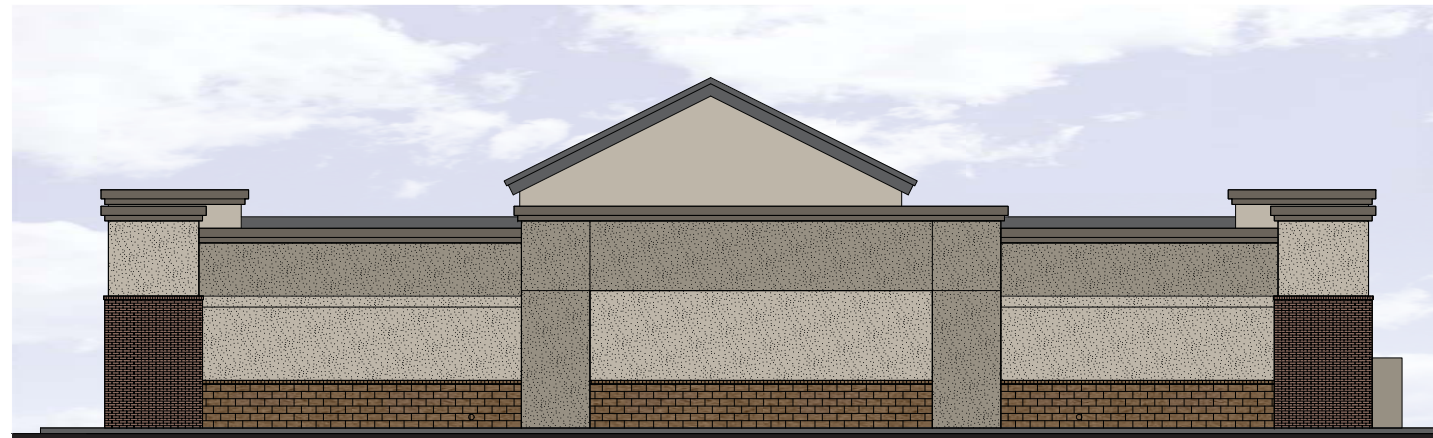


C3 FUEL CANOPY FRONT ELEVATION
SCALE: 1/8" = 1'-0"

D4 TRASH ENCLOSURE
SCALE: 1/8" = 1'-0"



B1 BUILDING LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



B3 BUILDING BACK ELEVATION
SCALE: 1/8" = 1'-0"



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SHEET TITLE
FUEL STATION ELEVATIONS

SHEET NUMBER

AE-101

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Circle K Redevelopment

DRB#: DRB-000948-2018

DATE: April 11, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise the planting plan per Staff comments and to meet the LMO requirements.
2. Revise the lighting plan per Staff comments and to meet the LMO requirements.
3. Provide a Tree Removal and Preservation Plan. Include the location of existing trees to remain on the Grading Plan.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Utilizes a variety of materials, textures and colors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Given this is a complete redevelopment, split face concrete block is not the most appropriate material in keeping with "Island Character", Design Guide, page 15.
Incorporates wood or wood simulating materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Finishes of the building façade should take cues from recently approved building in the area. (i.e., Sea Turtle Marketplace & Dollar General)

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The palms in the landscape islands in front of the building should be canopy trees, preferably evergreen. (sug. Live Oak)

Landscape is designed so that it may be maintained in its natural shape and size	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	The spacing of the wax myrtle in the front will require sever and frequent pruning unless a buffer of +/- 15' tall vegetation is anticipated.
A variety of sizes is selected to create a "layered" appearance for visual interest and a sense of depth	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use several 4" caliper trees along Mathews and Hwy 278.
Large grassed lawn areas encompassing a major portion of the site are avoided	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Eliminate or further reduce the amount of lawn.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Include existing tree to remain on the grading plan.
Supplemental and replacement trees meet LMO requirements for size, species and number	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Minimum height for the overstory trees is 10' and 2" caliper in most cases, trees must meet the minimum LMO requirements.

MISC COMMENTS/QUESTIONS

1. Lighting under the canopy exceeds the 12 foot candles allowed by the LMO.
2. Specify on the plans that all lights will not exceed 3000K.
3. Include shields on lights to prevent light from crossing the property line.
4. Specify bronze light fixtures and poles.
5. Staff suggest shifting the building forward to the corner of Hwy 278 and Mathews with the fueling canopy behind the building. This concept is currently being used at SeaTurtle Marketplace with the out building. <ul style="list-style-type: none"> a. This would improve the circulation for the fuel tankers, conceptually eliminating the "S" curve maneuver in-favor of a single arc. b. Customer vehicular circulation is unaffected. c. The corner of the site (currently unused) would be more useful. d. The allowed façade signs on the building would be more visible in addition to the allowed monument signs.



Town of Hilton Head Island
Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY

Date Received: _____
 Accepted by: _____
 DRB #: _____
 Meeting Date: _____

Applicant/Agent Name: Don Baker, AIA Company: SQUARE FEET ISLAND ARCHITECTS
 Mailing Address: 10 E Garrison Place City: HHI State: SC Zip: 29928
 Telephone: 290 6666 Fax: _____ E-mail: donl@squarefeethi.com
 Project Name: HH Brewing Co. Outdoor Patio Project Address: 1 Cardinal Court, Suite 13-14
 Parcel Number [PIN]: R510 008 000 0175 0000
 Zoning District: LC Overlay District(s): YES

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.L4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



27 MARCH 2018

SIGNATURE

DATE



■ NARRATIVE

In 1993, South Carolina amended its laws to allow craft beer breweries; the Hilton Head Brewing Company in Reilley's Plaza was the first brewery to be licensed. Their beer was good, however the area devoted to brewing was limited. In 2014, they moved the brewing operation to the Cardinal Road area, increased their capacity, and opened an integral tasting room. Since then, they again increased their capacity and stopped operating the facility in Reilley's Plaza. The brewery has become a favorite stop for both locals and tourists; it is currently #3 on Trip Advisor's Food & Drink Tours in Hilton Head.

The tasting room is constantly over-crowded. The customers and tastings are often served open air outside, which is spoiled when it rains. To meet the demand, the Ownership desires to add a ~500 square foot roofed area at their front door. To accomplish this, an existing green space will be replaced by a landscaped island in the parking lot opposite.

The structure will be a standing seam roof supported by wood columns and framing. The prime color, Sherwin Williams SW 6087 Trusty Tan, matches the existing building paint. The metal roof and wood trim, 4M Metals Dark Bronze, will match the existing doors and window frames.

A handwritten signature in blue ink, appearing to read "Dan Bole", with a long horizontal flourish extending to the right.

SQUARE FEET ISLAND ARCHITECTS

PLAN INSPECTION HISTORY REPORT (NAT-002721-2017)

Plan Type:	Natural Resources	Application Date:	12/05/2017	Address:	1 Cardinal Court
Work Class:	Natural Resources			Suite: 13	
Status:	Approved	Expiration Date:	06/04/2018	Hilton Head, SC 29926	

Scheduled Date	Inspection Type	Inspection No.	Inspection Status	Primary Inspector	Reinspection	Complete
12/06/2017	Natural Resource	021880-2017	Passed	Rocky Browder		Complete
		<u>Checklist Item</u>			<u>Passed</u>	
		Comments	Tree removals approved as requested with required mitigation. For the 11 inch Red Maple and the 15 inch sweet gum, two category two trees must be planted as mitigation. These trees must be a minimum of 10 feet tall with a 2 inch nursery stock diameter. At least one tree must be planted back in this parking island where the four trees are being removed from. Applicant may plant larger than the required minimum size as long as four nursery stock diameter inches are planted. No tree removal can occur until a mitigation plan is submitted for review and approved.		Yes	



■ COLORS, MATERIALS



SHERWIN WILLIAMS 6087
(Existing Walls)
Wood columns
Wood framing



4M METALS DARK BRONZE
(Existing door and window
frames)
New SS Metal roof
Wood trim



PAVERS: ESPRESSO BLEND
(Cream+Brown)
By LowCountry Pavers

■ **LIGHTING**



Kichler 5-Watt (40 W Equivalent) Olde Bronze Low Voltage LED Landscape Flood Light

This is uplight at palm trees.

- Olde bronze finish landscape flood light will accentuate your property in a pleasant light
- Olde bronze finished housing has a glass lens to protect the Bulb from the elements
- Includes one 5 watt GU5.3 base LED starter Bulb



allen + roth 13-ft 10-Light White Plug-in Bulbs String Lights

This is lighting under canopy.

- 10 allen + roth string lights are perfect for creating a relaxing atmosphere indoors or outdoors
- 10 vintage style Edison lights provide a soft, warm glow
- 13-ft cord with 9-ft lighted length has plugs at both ends, so you can connect with more lights (up to 6 strands)

■ LANDSCAPE



Sabal Palmetto

29 MAR 2018
16 APR 2018 rev



English Boxwood
Buxus sempervirens



Dwarf Fakahatchee-Grass
Tripsacum dactyloides



Shumard oak

Quercus shumardii

don1@squarefeethi.com

From: Don Baker, AIA <don1@squarefeethi.com>
Sent: Wednesday, April 4, 2018 9:07 AM
To: taylorl@hiltonheadislandsc.gov; Chris Darnell
Cc: Juan Brantley
Subject: Fwd: HH Brewing Company
Attachments: image003.jpg; Untitled attachment 00144.html; image001.jpg; Untitled attachment 00147.html; XDPR02 HHBPc Narrative, Color, etc.pdf; Untitled attachment 00150.html; XDPR05 HHBPc PiX Xst.pdf; Untitled attachment 00153.html; XDPR07 HHBPc Srvy.pdf; Untitled attachment 00156.html; XDPR09 HHBPc Plan.pdf; Untitled attachment 00159.html; XDPR10 HHBPc Ext Elev.pdf; Untitled attachment 00162.html; XDPR08 HHBPc Site.pdf; Untitled attachment 00165.html

20180404

Hi Taylor & Chris:

We have received approval from the Headlands ARB. Please see below.

Chris: I will send Design Review Board package to you on Thursday.

Regards,
Don Baker, AIA
Square Feet Island Architects
843 290 6666
don1@squarefeethi.com

Begin forwarded message:

From: Mike McCullion <MMcCullion@atlanticstatesmanagement.com>
Date: April 4, 2018 at 8:20:02 AM EDT

don1@squarefeethi.com <don1@squarefeethi.com>
Subject: FW: HH Brewing Company

All-
This has been approved by the Palmetto Headlands Commercial Review Board contingent upon proper town approvals and permitting.

We look forward to seeing the completed project!

Michael McCullion
1536 Fording Island Road, Suite 201
Hilton Head Island, SC 29926
Office: (843) 837-8500
Fax: (843) 837-8506
mmccullion@atlanticstatesmanagement.com









OPEN

Hilton Head
BREWING
Company

est. 1994

A

Hilton Head
BREWING
Company
est. 1994

Hilton Head
BREWING
Company
est. 1994

ENTRANCE





Hilton Head
BREWING
company
est. 1994

Hilton Head
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company
est. 1994

PARKING \$10.00

Tips



15
15

15

14

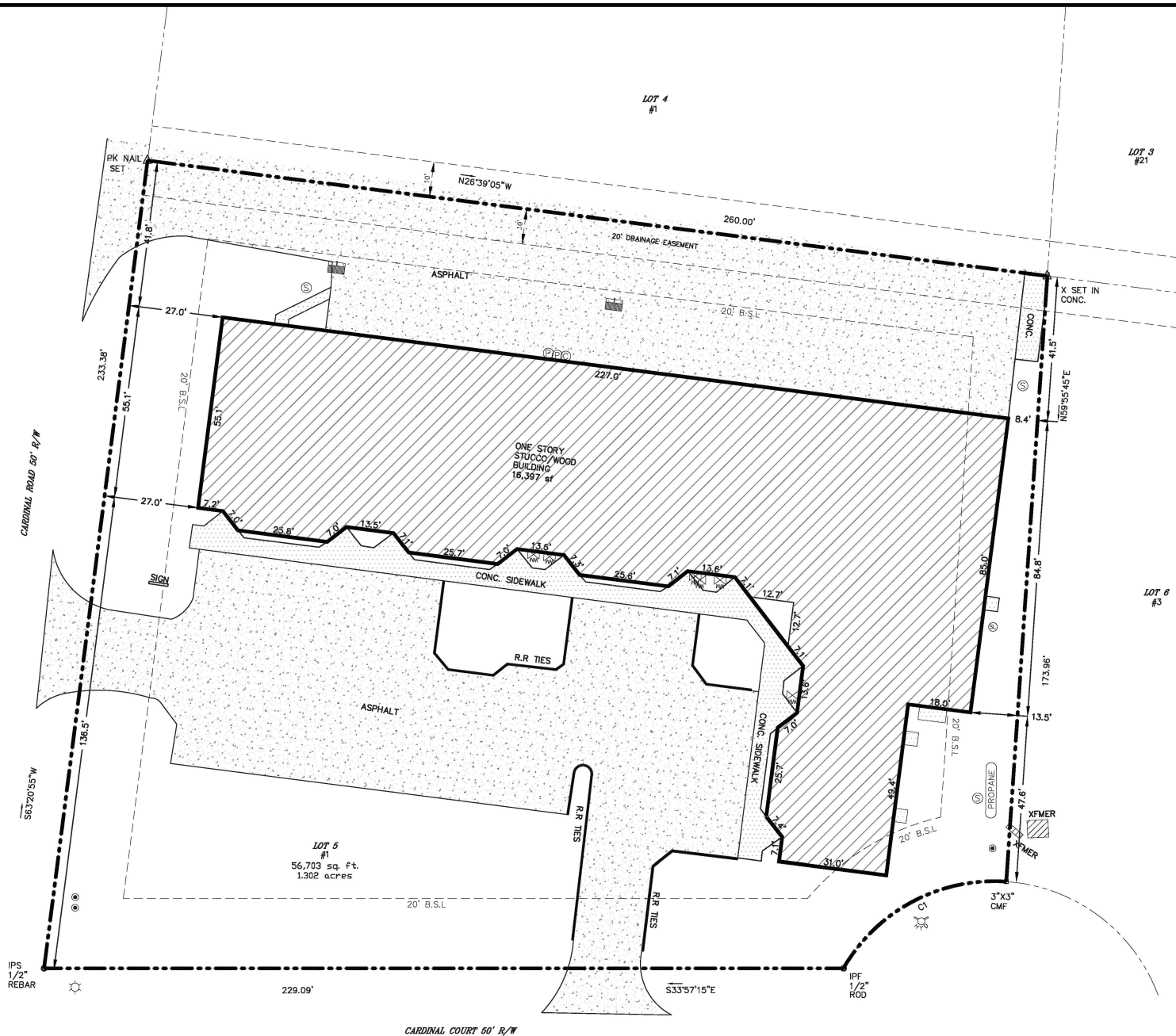
KHBC

15 10





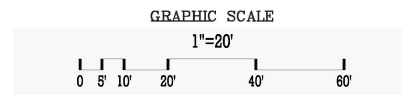
- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - ◻ CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IFF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - B.S.L. - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⊞ - XFMR - TRANSFORMER
 - ⊞ - WATER LATERAL
 - ⊞ - WATER METER
 - ⊞ - IRRIGATION CONTROL VALVE
 - ⊞ - FIRE HYDRANT
 - ⊞ - GRATE INLET
 - ⊞ - POWER POLE
 - ⊞ - O.H.P.L. - OVER HEAD POWER LINE
 - ⊞ - GUY LINE
 - ⊞ - LIGHT POLE
 - ⊞ - STORM DRAIN MANHOLE
 - ⊞ - PROPANE TANK
 - ⊞ - LIQUID CARBON DIOXIDE TANK



LOCATION MAP NOT TO SCALE

NOTE: THIS PROPERTY LIES EITHER PARTIALLY OR ENTIRELY WITHIN THE HILTON HEAD ISLAND AIRPORT OVERLAY DISTRICT AND IS SUBJECT TO NOISE THAT MAY BE OBJECTIONABLE.

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	55.74	50.00	52.90	S62°00'21"E	63°52'31"



T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 338
 139 Burnt Church Road
 Sulliton, SC 29910
 tssquare@earthlink.net
 Phone 843-757-2650 Fax 843-757-3758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

HILTON HEAD BREWING COMPANY
 AN AS-BUILT SURVEY ON LOT 5, CARDINAL COURT,
 A PORTION OF PALMETTO HEADLANDS COMMERCIAL TRACT,
 TOWN OF HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 510, MAP 8, PARCEL 175

NOTES:
 1. According To FEMA Flood Insurance Rate Map # 430201 0019 D This Lot Appears To Lie In A Federal Flood Plain Zone C, Minimum Required Elevation (W.A.T.E. NO.1029)
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 Reference This Plat
 PLAT BOOK 29 AT PAGE 199

DRAWN BY: W.J.S
 APPROVED BY: W.J.S
 PARTY CHIEF: B.M.S
 DATE: OCTOBER 30, 2017



Don Baker, AIA
 Square Feet Island Architects
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666

donl@squarefeethi.com
 HHI Bus Lic. # BLN0400739

PRELIMINARY INFORMATION
 Not For Construction

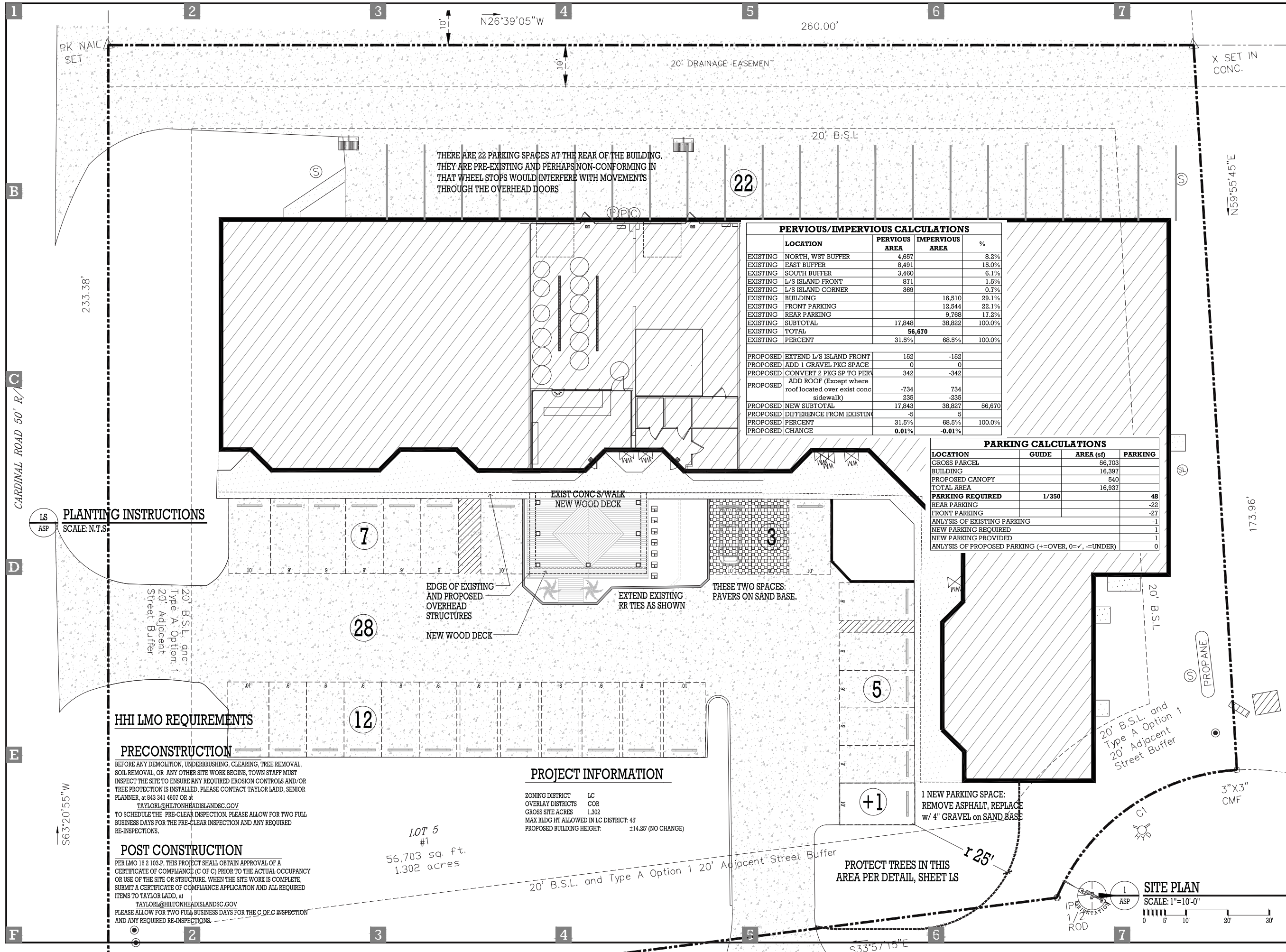
Improvements to:
HILTON HEAD BREWING Co., Inc.
 1 Cardinal Court, Suites 13-14
 Hilton Head Island, SC 29926
 PROP. I.D.: RS10 008 000 0175 0000

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Project Number HHBpc
 Issue Date 16 APR 2018
 Issuance HHI DRB & XDPR w/DRB COMMENTS

Drawing History:
 1. 27 MAR 2018 HHI DRB & XDPR
 2. 06 APR 2018 w/XDPR COMMENTS
 3. 16 APR 2018 DRB STAFF COMMENTS
 4.
 5.
 6.

Sheet Title:
 ARCHITECT'S SITE PLAN



PERVIOUS/IMPERVIOUS CALCULATIONS				
	LOCATION	PERVIOUS AREA	IMPERVIOUS AREA	%
EXISTING	NORTH, WST BUFFER	4,657		8.2%
EXISTING	EAST BUFFER	8,491		15.0%
EXISTING	SOUTH BUFFER	3,460		6.1%
EXISTING	L/S ISLAND FRONT	871		1.5%
EXISTING	L/S ISLAND CORNER	369		0.7%
EXISTING	BUILDING		16,510	29.1%
EXISTING	FRONT PARKING		12,544	22.1%
EXISTING	REAR PARKING		9,768	17.2%
EXISTING	SUBTOTAL	17,848	38,822	100.0%
EXISTING	TOTAL	56,670		
EXISTING	PERCENT	31.5%	68.5%	100.0%
PROPOSED	EXTEND L/S ISLAND FRONT	152	-152	
PROPOSED	ADD 1 GRAVEL PKG SPACE	0	0	
PROPOSED	CONVERT 2 PKG SP TO PERV	342	-342	
PROPOSED	ADD ROOF (Except where roof located over exist conc sidewalk)	-734	734	
PROPOSED	NEW SUBTOTAL	17,843	38,827	56,670
PROPOSED	DIFFERENCE FROM EXISTING	-5	5	
PROPOSED	PERCENT	31.5%	68.5%	100.0%
PROPOSED	CHANGE	0.01%	-0.01%	

PARKING CALCULATIONS			
LOCATION	GUIDE	AREA (sf)	PARKING
GROSS PARCEL		56,703	
BUILDING		16,397	
PROPOSED CANOPY		540	
TOTAL AREA		16,937	
PARKING REQUIRED	1/350		48
REAR PARKING			-22
FRONT PARKING			-27
ANALYSIS OF EXISTING PARKING			
NEW PARKING REQUIRED			1
NEW PARKING PROVIDED			1
ANALYSIS OF PROPOSED PARKING (+=OVER, 0=✓, -=UNDER)			0

THERE ARE 22 PARKING SPACES AT THE REAR OF THE BUILDING. THEY ARE PRE-EXISTING AND PERHAPS NON-CONFORMING IN THAT WHEEL STOPS WOULD INTERFERE WITH MOVEMENTS THROUGH THE OVERHEAD DOORS

PLANTING INSTRUCTIONS
 SCALE: N.T.S.

HHI LMO REQUIREMENTS

PRECONSTRUCTION
 BEFORE ANY DEMOLITION, UNDERBRUSHING, CLEARING, TREE REMOVAL, SOIL REMOVAL, OR ANY OTHER SITE WORK BEGINS, TOWN STAFF MUST INSPECT THE SITE TO ENSURE ANY REQUIRED EROSION CONTROLS AND/OR TREE PROTECTION IS INSTALLED. PLEASE CONTACT TAYLOR LADD, SENIOR PLANNER, at 843 341 4607 OR at TAYLORL@HILTONHEADISLANDSC.GOV
 TO SCHEDULE THE PRE-CLEAR INSPECTION, PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE PRE-CLEAR INSPECTION AND ANY REQUIRED RE-INSPECTIONS.

POST CONSTRUCTION
 PER LMO 16 2 103.F, THIS PROJECT SHALL OBTAIN APPROVAL OF A CERTIFICATE OF COMPLIANCE (C OF C) PRIOR TO THE ACTUAL OCCUPANCY OR USE OF THE SITE OR STRUCTURE. WHEN THE SITE WORK IS COMPLETE, SUBMIT A CERTIFICATE OF COMPLIANCE APPLICATION AND ALL REQUIRED ITEMS TO TAYLOR LADD, at TAYLORL@HILTONHEADISLANDSC.GOV
 PLEASE ALLOW FOR TWO FULL BUSINESS DAYS FOR THE C.O.F.C INSPECTION AND ANY REQUIRED RE-INSPECTIONS.

PROJECT INFORMATION

ZONING DISTRICT LC
 OVERLAY DISTRICTS COR
 GROSS SITE ACRES 1.302
 MAX BLDG HT ALLOWED IN LC DISTRICT: 45'
 PROPOSED BUILDING HEIGHT: ±14.25' (NO CHANGE)

LOT 5 #1
 56,703 sq. ft.
 1.302 acres

1 NEW PARKING SPACE:
 REMOVE ASPHALT, REPLACE w/ 4" GRAVEL on SAND BASE

PROTECT TREES IN THIS AREA PER DETAIL, SHEET LS

SITE PLAN
 SCALE: 1"=10'-0"





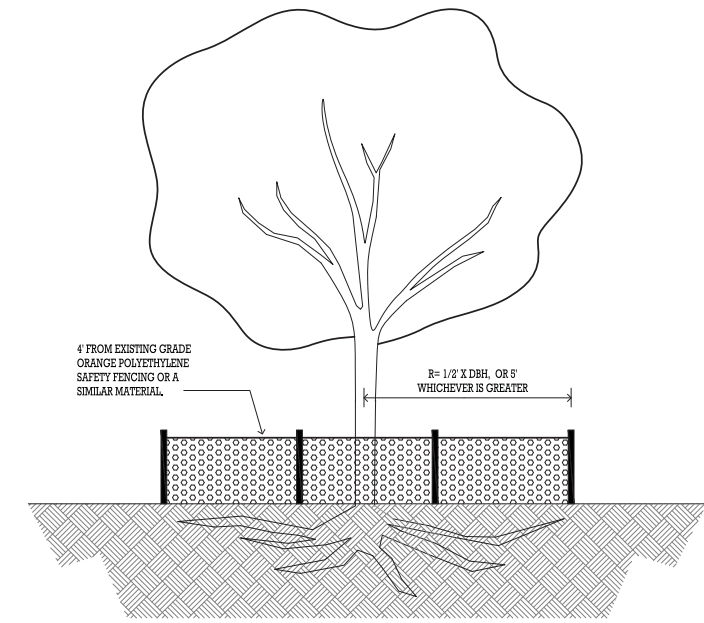
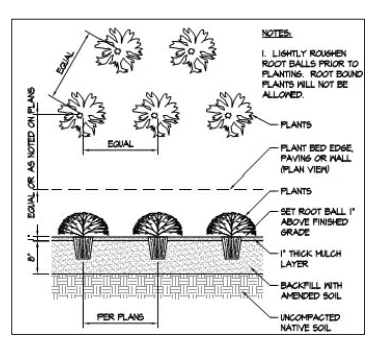
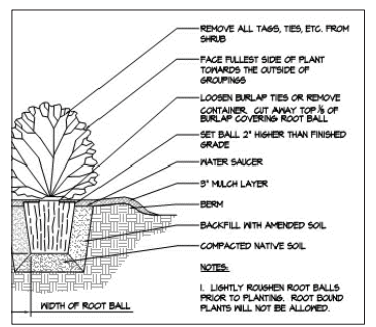
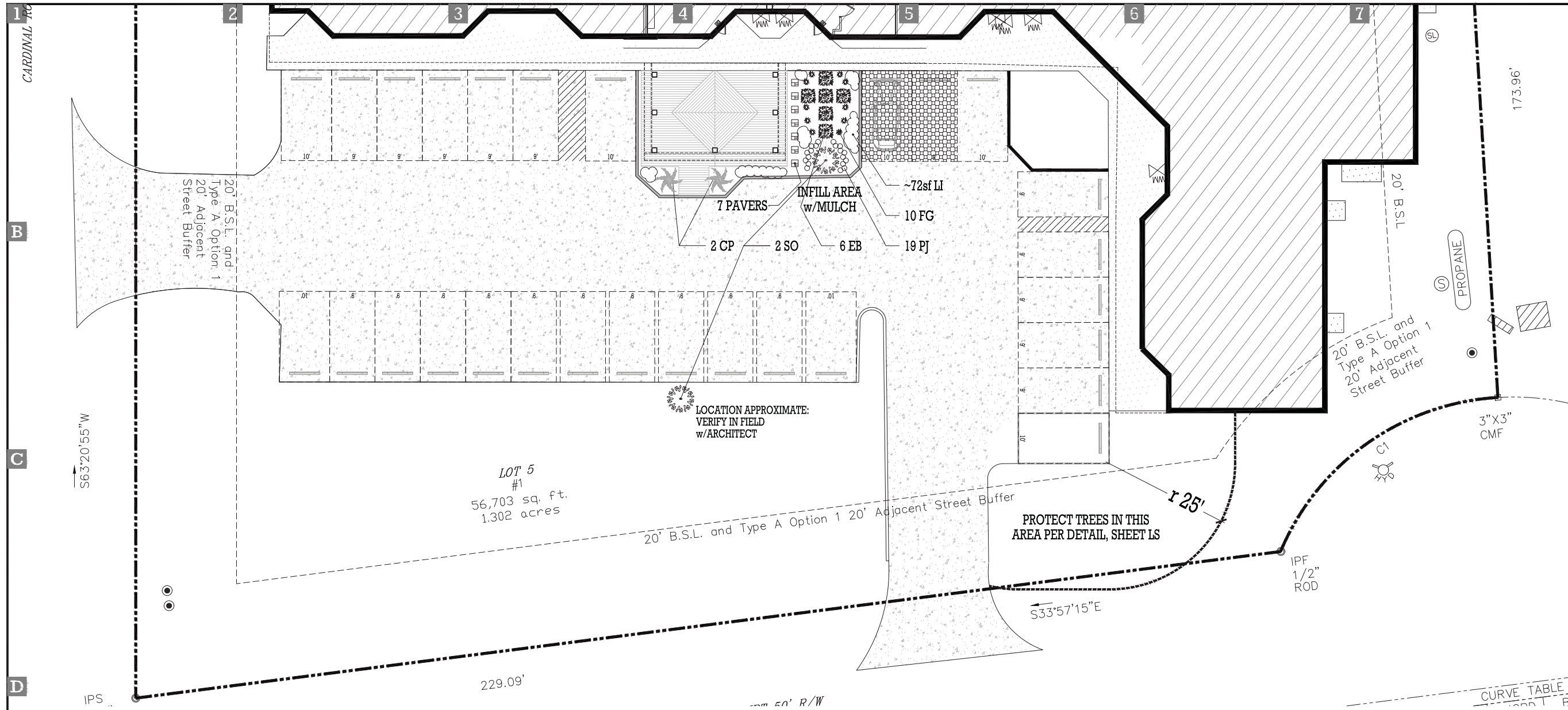
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**HILTON HEAD
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LANDSCAPE					
SYMBOL	COMMON NAME	LATIN NAME	HHI CAT' GRY	QUAN	SIZE
CP	CABBAGE PALM	<i>Sabal Palmetto</i>	III	2	10-12'
SO	SHUMARD OAK	<i>Quercus shumardii</i>	II	2	min 10-12', 2"Ø
EB	ENGLISH BOXWOOD	<i>Buxus sempervirens</i>	n/a	6	5 gal
PJ	PARSONI JUNIPER	<i>Juniperus Chinensis</i>	n/a	19	3 gal
FG	FAKAHATCHEE GRASS DWRF	<i>Tripsacum dactyloides</i>	n/a	10	1 gal
LI	LIRIOPE	<i>Liriope Muscarif (or sim)</i>	n/a	-72 sf	per nursery

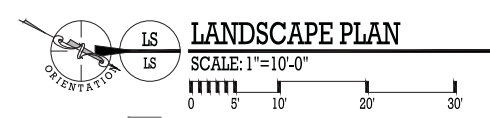
HHI PLAN INSPECTION HISTORY REPORT (NAT-002721-2017)
 Tree removals approved as requested with required mitigation. For the 11 inch Red Maple and the 15 inch sweet gum, two category two trees must be planted as mitigation. These trees must be a minimum of 10 feet tall with a 2 inch nursery stock diameter. At least one tree must be planted back in this parking island where the four trees are being removed from. Applicant may plant larger than the required minimum size as long as four nursery stock diameter inches are planted. No tree removal can occur until a mitigation plan is submitted for review and approved.

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Project Number HHBPC
 Issue Date 16 APR 2018
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Drawing History:
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 3. 16 APR 2018 DRB STAFF COMMENTS
 4.
 5.
 6.

Sheet Title:
 LANDSCAPE PLAN



LS ASP PLANTING INSTRUCTIONS SCALE: N.T.S.

SHEET

PRELIMINARY INFORMATION
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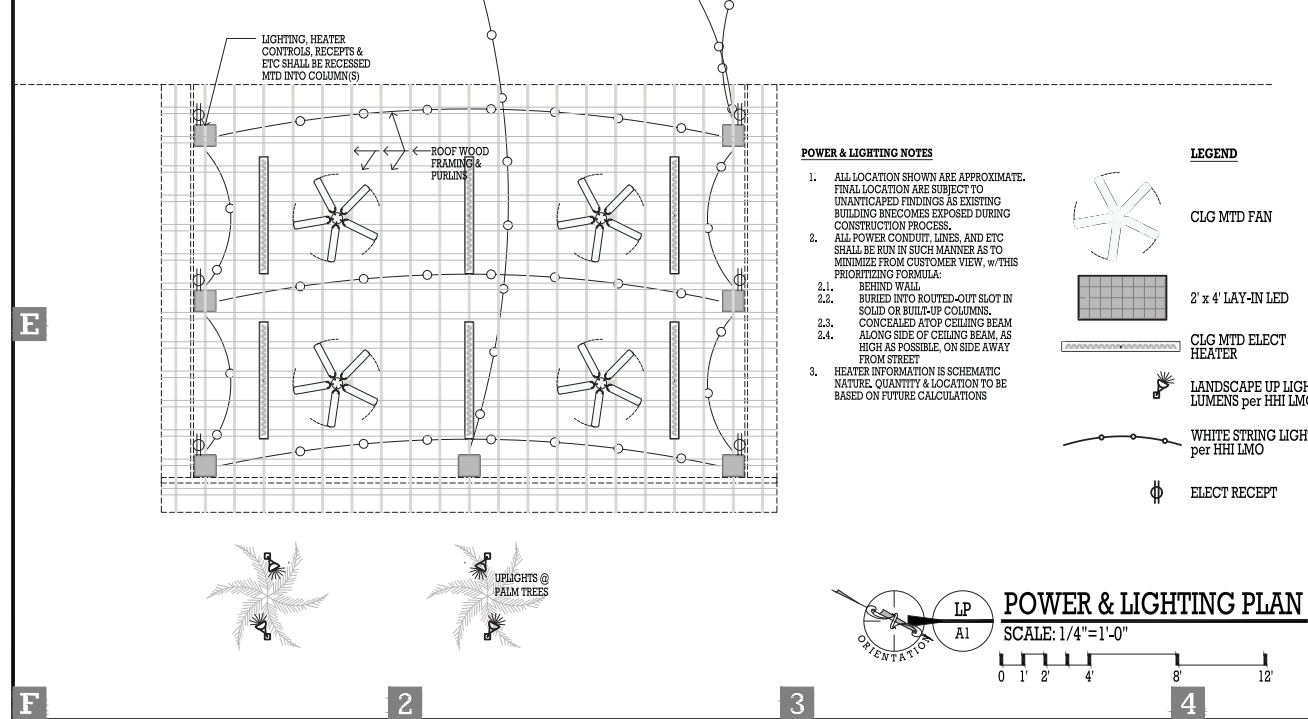
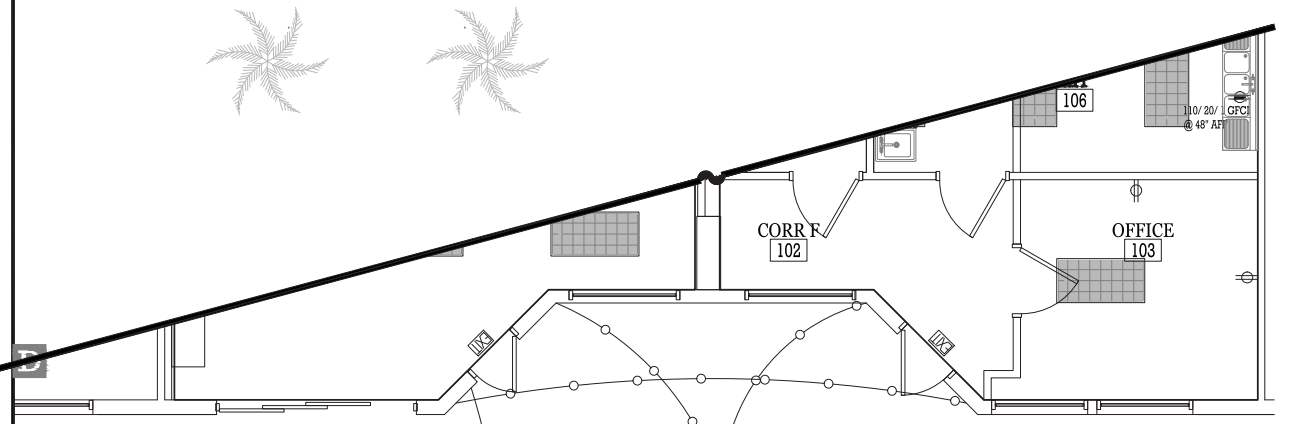
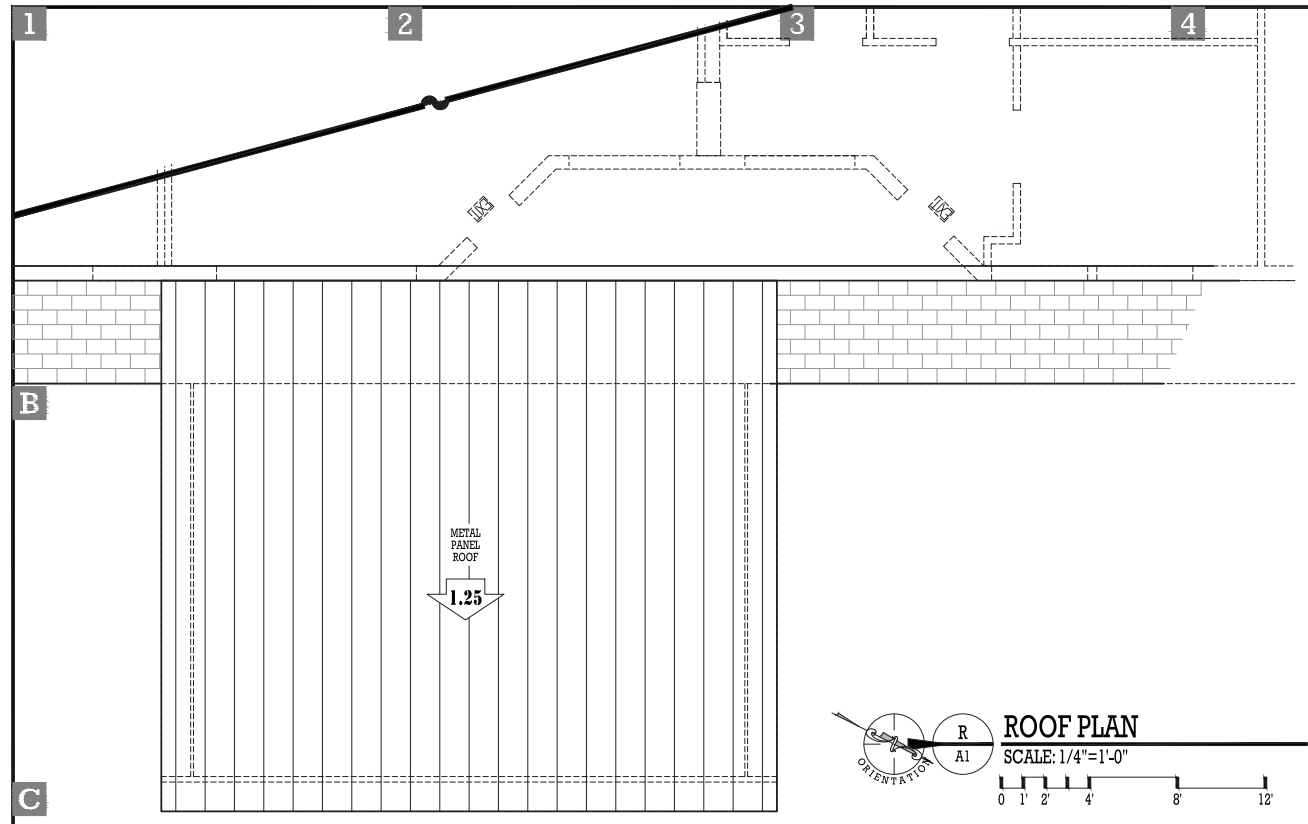
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 4.
 5.
 6.

Sheet Title:
 NEW WORK FLOOR PLAN
 ROOF PLAN
 LIGHTING & POWER

SHEET

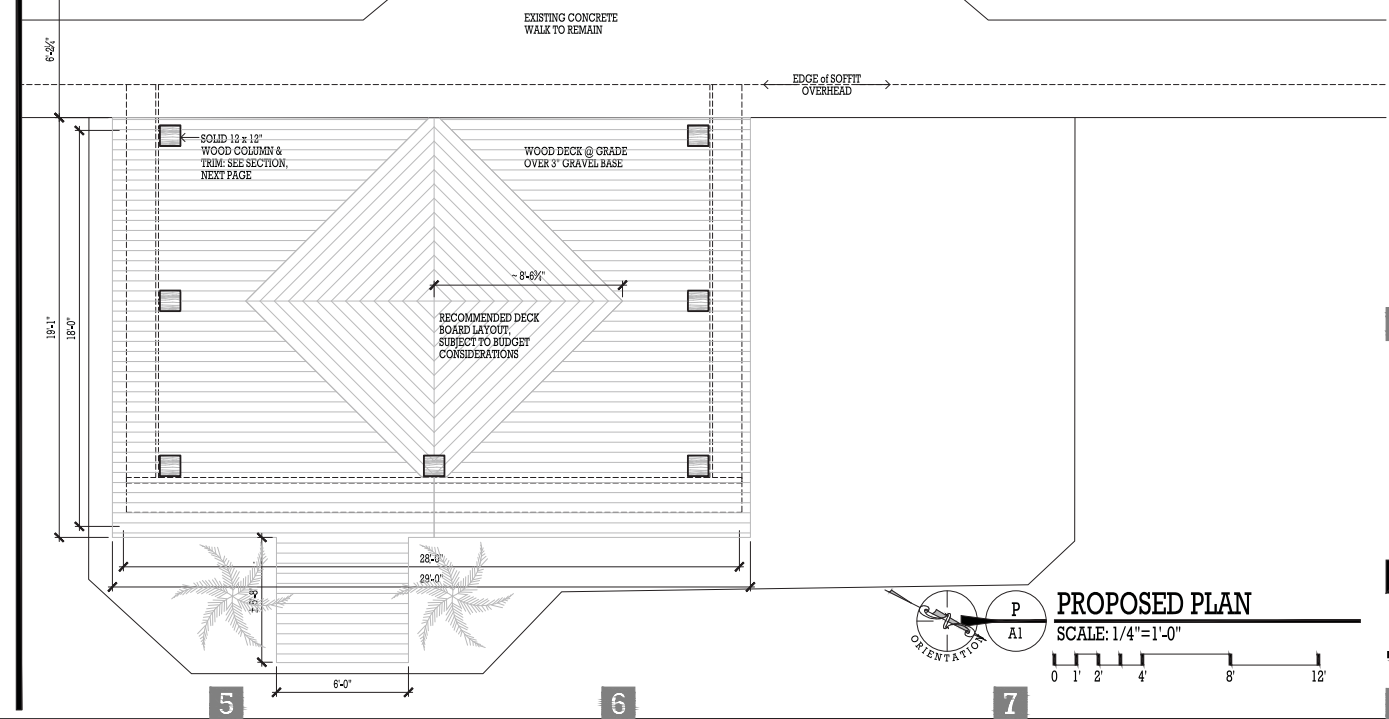
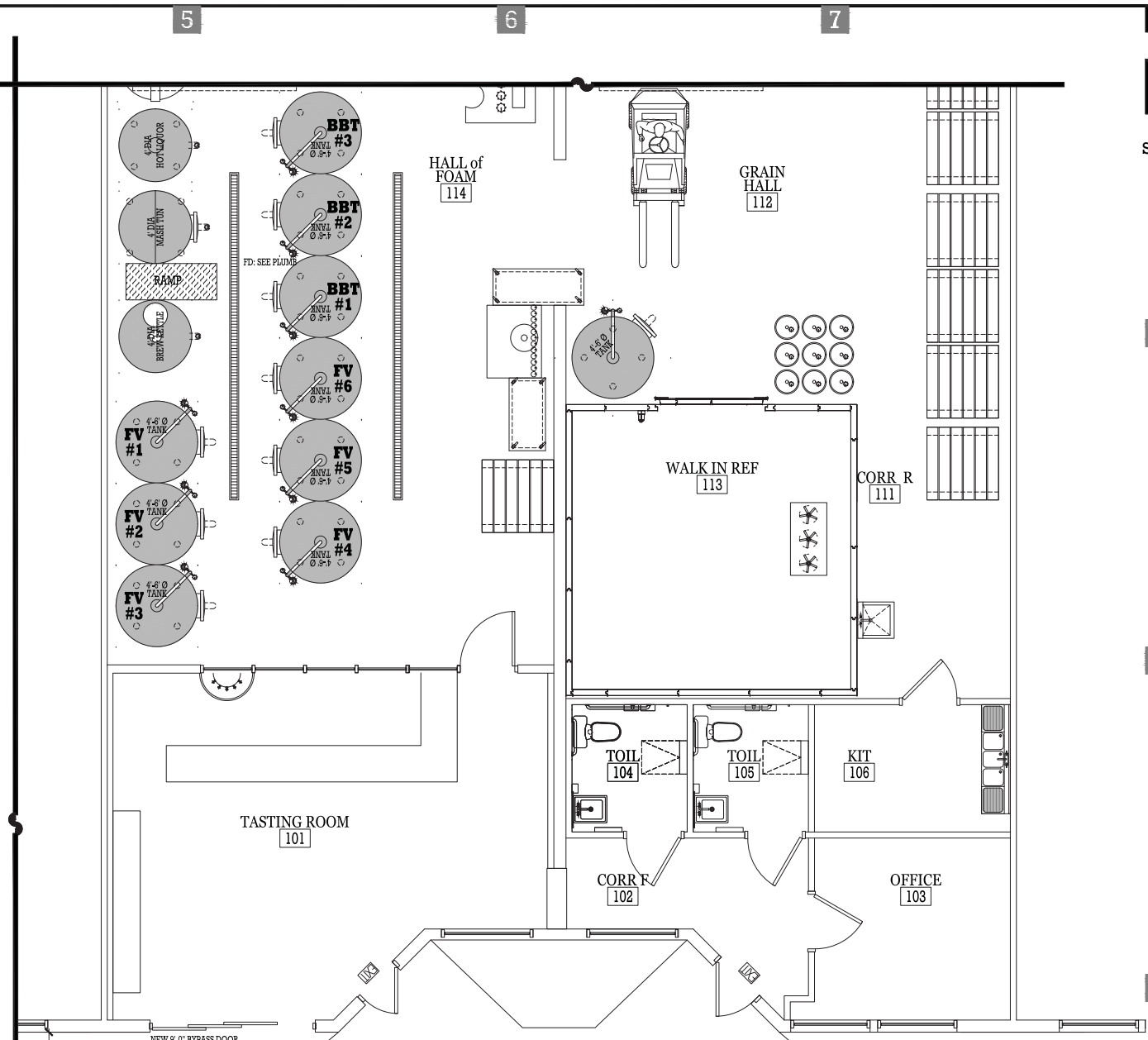


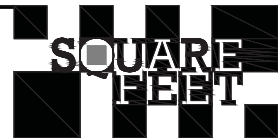
POWER & LIGHTING NOTES

1. ALL LOCATION SHOWN ARE APPROXIMATE. FINAL LOCATION ARE SUBJECT TO UNANTICIPATED FINDINGS AS EXISTING BUILDING ENDCOMES EXPOSED DURING CONSTRUCTION PROCESS.
2. ALL POWER CONDUIT, LINES, AND ETC SHALL BE RUN IN SUCH MANNER AS TO MINIMIZE FROM CUSTOMER VIEW, w/THIS PRIORITIZING FORMULA:
 - 2.1. BEHIND WALL
 - 2.2. BURIED INTO ROUTED-OUT SLOT IN SOLID OR BUILT-UP COLUMNS.
 - 2.3. CONCEALED ATOP CEILING BEAM ALONG SIDE OF CEILING BEAM, AS HIGH AS POSSIBLE, ON SIDE AWAY FROM STREET
 - 2.4. FROM STREET
3. HEATER INFORMATION IS SCHEMATIC NATURE. QUANTITY & LOCATION TO BE BASED ON FUTURE CALCULATIONS

LEGEND

- CLG MTD FAN
- 2' x 4' LAY-IN LED
- CLG MTD ELECT HEATER
- LANDSCAPE UP LIGHT. LUMENS per HHI LMO
- WHITE STRING LIGHT per HHI LMO
- ELECT RECEPT





Don Baker, AIA
 Square Feet Island Architects
 10 East Garrison Place
 Hilton Head, SC 29928

843-363-3663
 843-290-6666

donl@squarefeethi.com
 HHI Bus Lic. # BLN0400739

**PRELIMINARY
 INFORMATION**
*Not For
 Construction*

Improvements to:
**HILTON HEAD
 BREWING Co., Inc.**
 1 Cardinal Court; Suites 13-14
 Hilton Head Island, SC 29926
 PROP. I.D.: RS10 008 000 0175 0000

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 Note: All ideas, concepts, and designs described herein belong solely to the designer named on this page. These ideas, concepts, and designs are to be used only for the project, any other use constitutes fraud, and the use of these drawings will constitute any violation of the fullest extent of the law. Likewise, the use of these drawings can not be held responsible for any unauthorized use of these drawings.

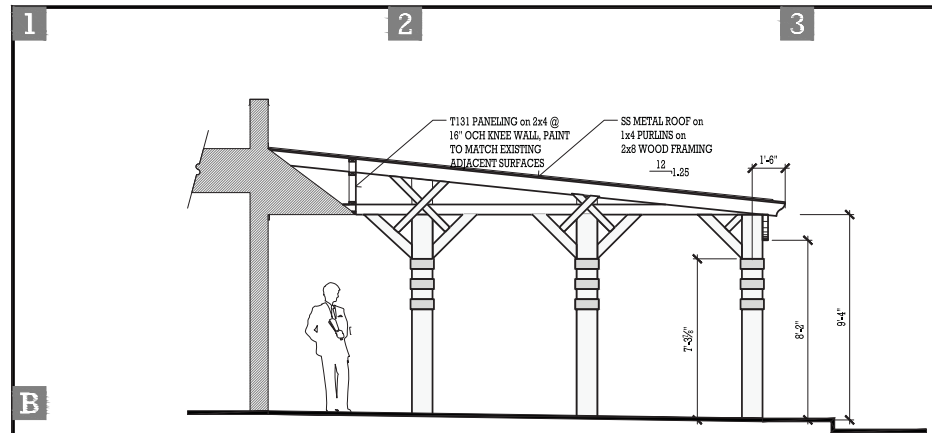
Project Number HHBPC
 Issue Date 16 APR 2018
 Issuance HHI DRB & XDPR
 w/DRB COMMENTS

Drawing History:
 1. 27 MAR 2018 HHI DRB & XDPR
 2. 06 APR 2018 w/XDPR COMMENTS
 3. 16 APR 2018 DRB STAFF COMMENTS
 4.
 5.
 6.

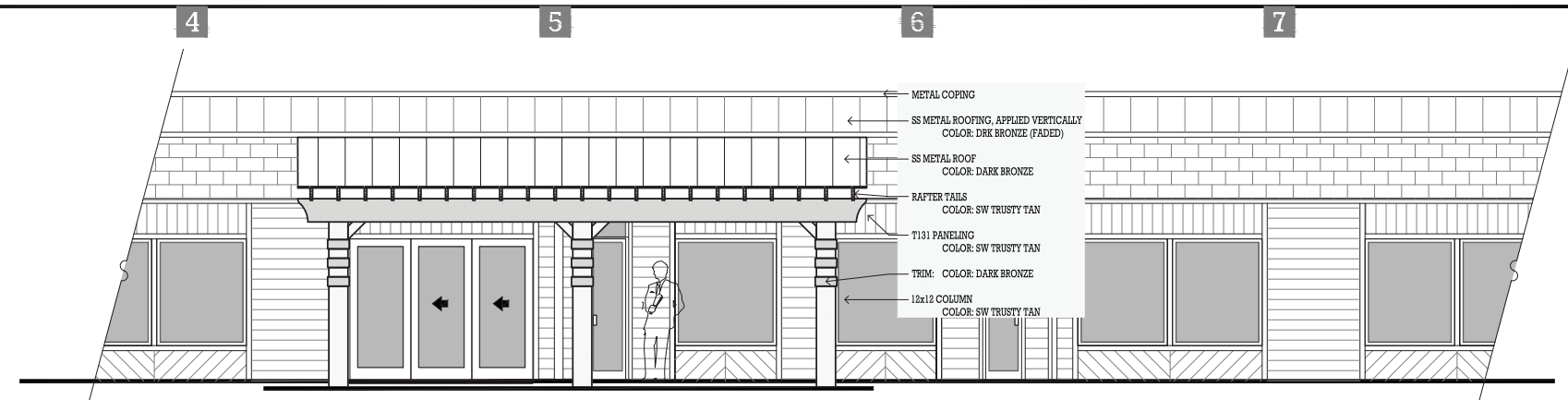
Sheet Title:
 EXTERIOR ELEVATIONS

SHEET

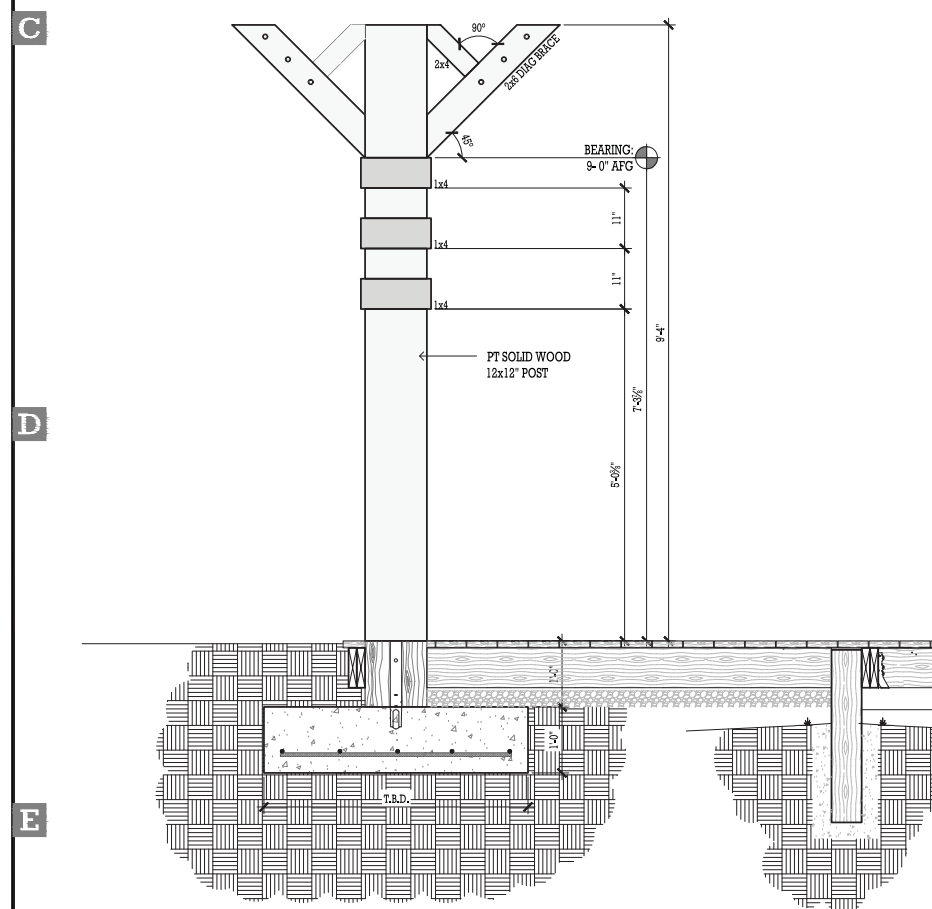
A2



SIDE VIEW



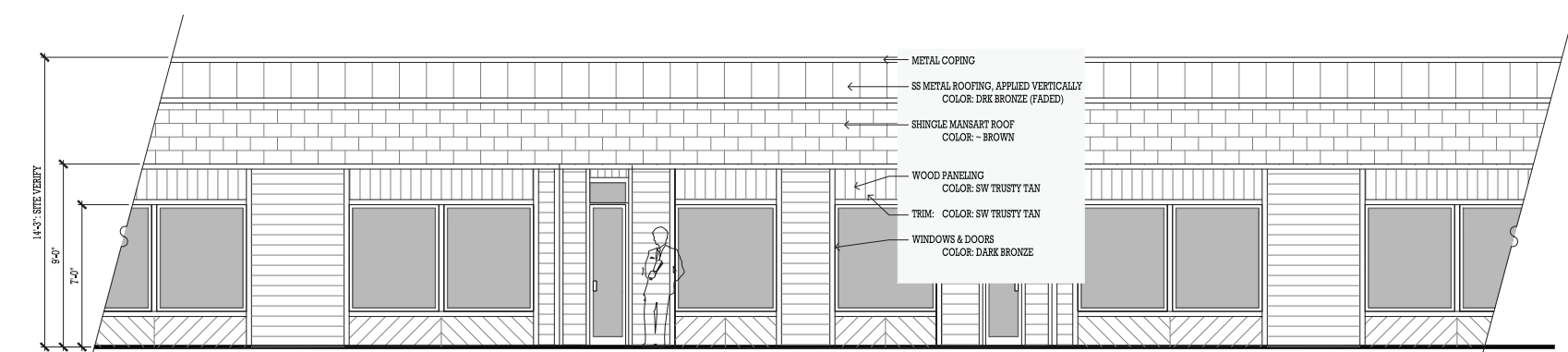
**PROPOSED ELEVATION
 @ CANOPY**



STRUCTURE DETAIL
 SCALE: 3/4"=1'-0"



**PROPOSED ELEVATION w/NEW
 DOOR @ TASTING ROOM**



EXISTING CONDITIONS

EXTERIOR ELEVATIONS
 SCALE: 1/4"=1'-0"



DESIGN TEAM/DRB COMMENT SHEET

The comments below are staff recommendations to the Design Review Board (DRB) and do NOT constitute DRB approval or denial.

PROJECT NAME: Hilton Head Brewing Company

DRB#: DRB-000834-2018

DATE: April 11, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. Revise the planting plan per Staff comments and submit for Staff approval.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Consider using ornamental grasses and groundcovers in masses or beds to compliment the outdoor experience. The proposed individual plants look like an afterthought. Add a groundcover to the left side of the patio between it and the parking stall.
<i>MISC COMMENTS/QUESTIONS</i>				
<ol style="list-style-type: none"> a. Consider pedestrian circulation and protect the planting areas between the covered patio and parking stalls with a physical barrier or thick planting sufficient to deter people. 				



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Timothy Probst Company: Parker Design Group Architects
 Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
 Telephone: 843-785-5171 Fax: _____ E-mail: wtparker@hargray.com
 Project Name: Omni Resort Sea Shack Project Address: 23 Ocean Lane
 Parcel Number [PIN]: R520 016 000 0338 0000
 Zoning District: Planned Development Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

Context photographs of neighboring uses and architectural styles.

Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

SIGNATURE

04/10/18

DATE



Omni Resort Sea Shack and Storage Structure:

This project consists of the following items:

1. Adding a trellis/ metal roof connector between (2) existing structures. This will have wood beams, posts, and exposed rafters details consistent with the rest of the walkway structures on the property.
2. Adding cement board shingles to the hexagon shaped structure to match the existing bar/ bathroom building by the pool. All the colors of this will match the existing building.
3. Extending the existing cupola up on the hexagon shaped building by adding false louvers on all (6) sides.
4. Removing (3) shed structures and replacing them with (1) single storage building roughly the same size of the sheds combined. This building will have materials and colors to match the hexagon shaped building.
5. Adding a shade sail between the new storage building and the hexagon building. This will match the sails at the existing bar/ bathroom building.

Thank you for your time and consideration of this project

A handwritten signature in blue ink, appearing to read 'Timothy C. Probst', is written over a horizontal line.

Timothy C. Probst, AIA NCARB

















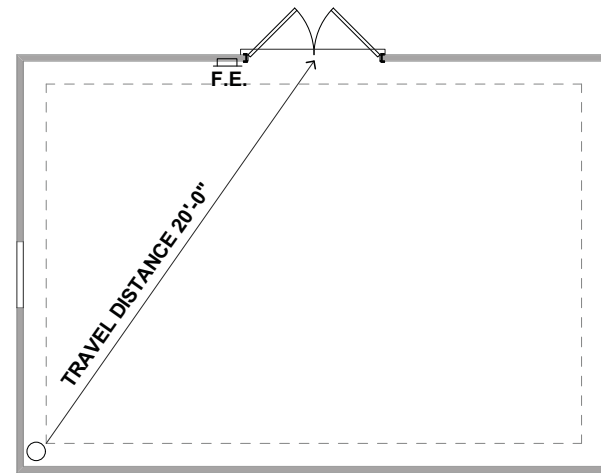




Handwritten text on a chalkboard sign, likely listing items or prices.

CODE REVIEW PLANS:

INDEX OF DRAWINGS:



1ST FLOOR CODE PLAN
SCALE: 1/4"=1'-0"

1
C-0

- ARCHITECTURAL:**
 C-0 TITLE SHEET
 S-1 SITE PLAN
 A-1 SEA SHACK PLANS AND ELEVATIONS
 A-2 SEA SHACK DETAILS
 A-3 STORAGE BUILDING
- STRUCTURAL:**
 S100 STRUCTURAL NOTES
 S200 COVERED WALKWAY PLANS
 S201 STRUCTURAL BUILDING PLANS
 S300 FOUNDATION DETAILS
 S400 STRUCTURAL DETAILS
 S401 STRUCTURAL DETAILS
 S402 STRUCTURAL DETAILS



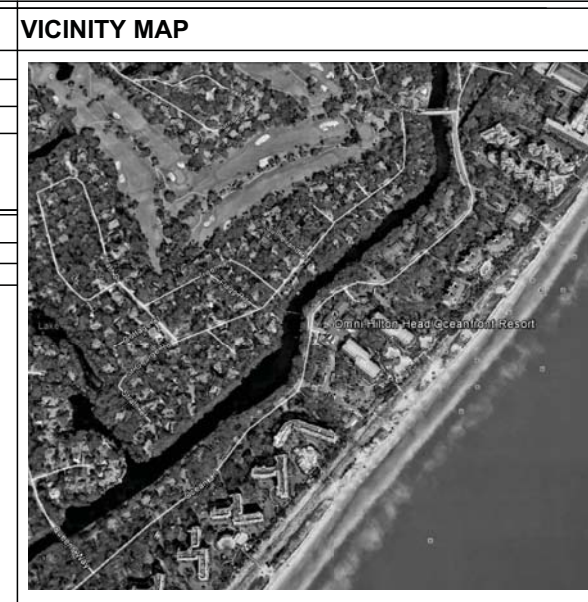
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**(4) NEW STAIR ROOF ADDITIONS FOR:
 OMNI HILTON HEAD
 OCEANFRONT RESORT**
 23 Ocean Lane
 Hilton Head Island, S.C.

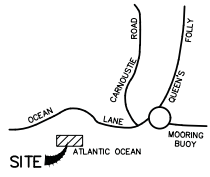
CODE ANALYSIS:

PROJECT TEAM

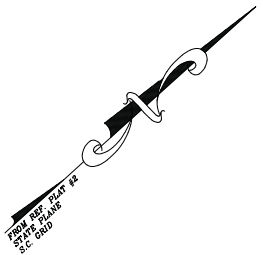
SCOPE OF WORK:	OCCUPANCY CALCULATIONS			
1. ADDING A ROOF CONNECTOR BETWEEN (2) EXISTING STRUCTURES. 2. RECLADING THE HEXAGON BUILDING WITH SIDING TO MATCH THE EXISTING BAR. 3. RENOVATING THE EXISTING CUPOLA ON THE HEXAGON STRUCTURE. 4. REPLACING (3) SHEDS WITH A NEW STORAGE STRUCTURE. 5. ADDING A SHADE SAIL TO MATCH THE EXISTING ON AT THE BAR BUILDING BETWEEN THE NEW STORAGE BUILDING AND HEXAGON BUILDING.	USE OF SPACE	FL. AREA IN SQ.FT. PER OCCUPANT	SQ. FT.	OCCUPANCY
	1st FLOOR	500 GROSS	510	1
DESCRIPTON:	TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE			
1 STORY WOOD FRAMED STRUCTURE WITH ASPHALT SHINGLE ROOF AND CEMENT BOARD SHAKE SHINGLES ON THE WALLS. THE EXTERIOR CLADDING IS METAL AND CEMENT BOARD PANELS WITH METAL ROOF.	OCCUPANCY	WITHOUT SPRINKLER	WITH SPRINKLER	
Design Criteria for Code Compliance as of: IBC 2015	UTILITY	300 FEET	400 FEET	
Occupancy: UTILITY				
Type of Construction: 5 Protected/Unprotected				
Sprinkler: NO				
ALLOWABLE BUILDING AREAS (Table 506.2):				
Building Floor Areas:	Actual	Allowed		
FIRST FLOOR				
UTILITY	390 sqft	5,500 sqft		
ALLOWABLE HEIGHTS (Table 504.3 & 504.4):				
	Actual	Allowed		
Building Height Above Grade:	12'-6"	40'-0"		
Building Height in Stories:	1	1		



ARCHITECT:	REVISIONS	DATE
PARKER DESIGN GROUP/ ARCHITECTS 10 PALMETTO BUSINESS PARK SUITE 201 HILTON HEAD, SC 29928 843-785-5171 EMAIL: TPROBST@HARGRAY.COM		
STRUCTURAL:		
CRANSTON ENGINEERING GROUP 14 WESTBURY PARK WAY SUITE 202 BLUFFTON, SC 29910 843-815-3191 EMAIL: JEAVENTSON@CRANSTONENGINEERING.COM		
ELECTRICAL:		
LONONO ENGINEERING PO BOX 433 BEAUFORT, SC 29901 PHONE: 843-263-1792 EMAIL: RLONDONO@LONDONOENGINEERING.COM		
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VICINITY MAP
N.T.S.



- LEGEND:
- TREE SIZES ARE INCHES IN DIAMETER
 - SPOT ELEVATION
 - CONTOUR
 - CONC. O. CONCRETE MONUMENT, OLD (FOUND)
 - LO LIVE OAK
 - PLM PALMETTO
 - AC AIR CONDITIONER
 - GI GRATE INLET
 - IE INVERT ELEVATION
 - NTS NOT TO SCALE
 - N/F NOW OR FORMERLY
 - DHEC DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL
 - OCRM OCEAN & COASTAL RESOURCE MANAGEMENT
 - PB POWER JUNCTION BOX
 - SN SIGN
 - PVC POLYVINYL CHLORIDE

REFERENCE PLAT:

THE PURPOSE OF THIS SURVEY IS TO SHOWN THE ASBUILT INFORMATION WITHIN THE PROJECT LIMITS. GREY-SHADED IMPROVEMENTS NOT UPDATED AT THIS TIME.

NOTES

- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE A2, A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 0014-D, COMMUNITY NO. 450250, MAP DATED 09/29/1986, BASE ELEVATION 14.0' (NGVD 29 DATUM). FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN AND ARE APPROXIMATE. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) SURVEYING CONSULTANTS CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. IF THIS DOCUMENT IS TO BE PROVIDED AS A BASE MAP FOR OTHERS, INFORMATION ADDED AFTER THE DATE OF THIS SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 7) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.

REFERENCE PLAT:

- 1) ASBUILT SURVEY OF MARINERS INN, PALMETTO DUNES RESORT, DATED: 11/23/82; LATEST REVISION: 10/24/88, BY: ROY HUSSEY, S.C.P.L.S. NO. 2373.
- 2) A PARTIAL ASBUILT SURVEY OF HILTON RESORT, PALMETTO DUNES RESORT, DATED: 11/14/1996, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059.



SITE PLAN
SCALE: 1"=0"=1/8"

S42°42'34"W 649.98'

ATLANTIC OCEAN - BEACH STRAND

PREPARED FOR: PARKER DESIGN GROUP ARCHITECTS

ADDRESS: #23 OCEAN LANE
TAX PARCEL I.D. NO. R520-016-000-0338-0000



PARTIAL ASBUILT
TREE & TOPOGRAPHIC
SURVEY OF A PORTION OF
MARINERS INN, OMNI RESORT

A SECTION OF
PALMETTO DUNES RESORT

HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1/8" = 1'-0" DATE: 03/01/2018 JOB NO: SC96263C



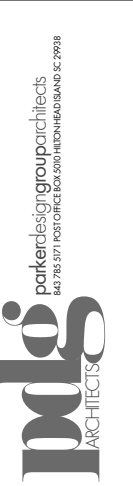
SURVEYING CONSULTANTS

17 Sherington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3305
GA Telephone: (912) 826-2775
www.SurveyingConsultants.com
Email: SC@SurveyingConsultants.com

NEW STAIR ROOF ADDITIONS FOR:
**OMNI HILTON HEAD
OCEANFRONT RESORT**
23 Ocean Lane
Hilton Head Island, S.C.

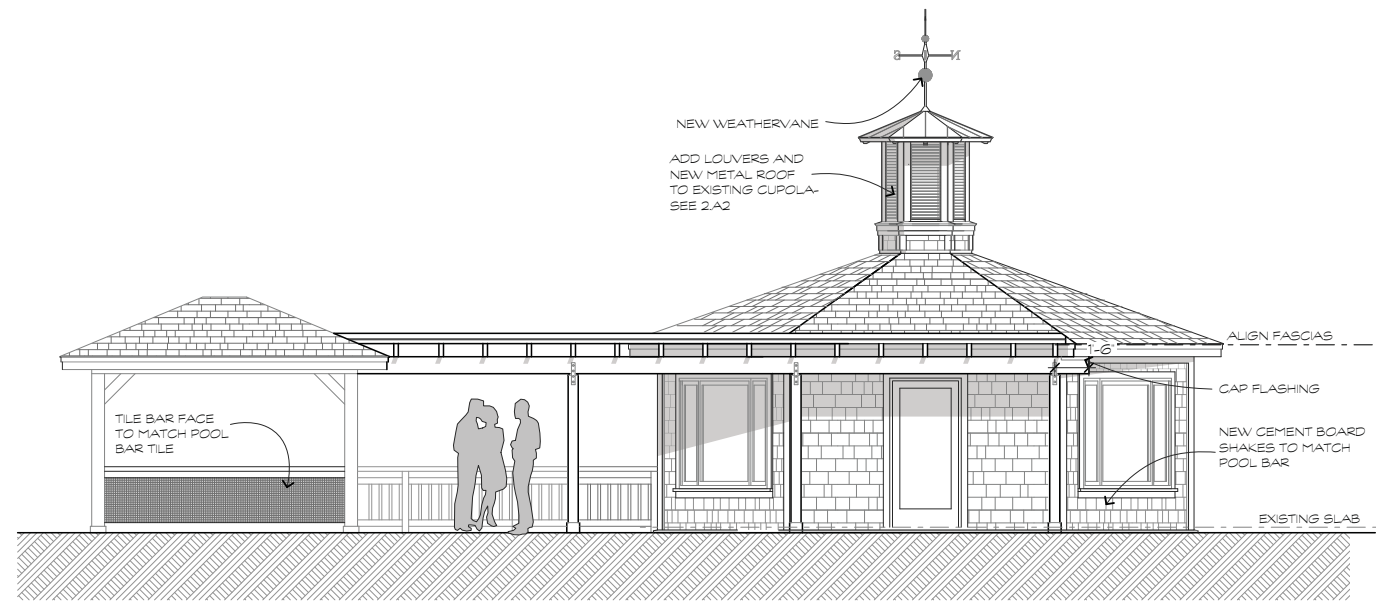
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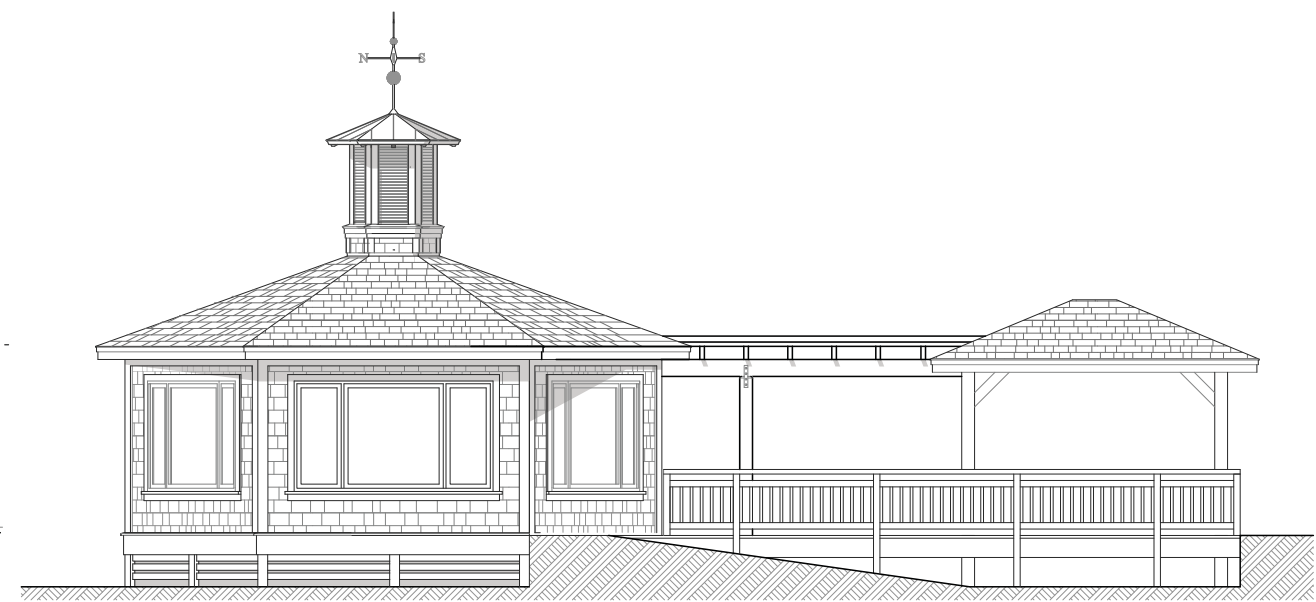
COPYRIGHT © BY SURVEYING CONSULTANTS DATE: 03/01/2018



FRONT ELEVATION

SCALE: 1/4"=1'-0"

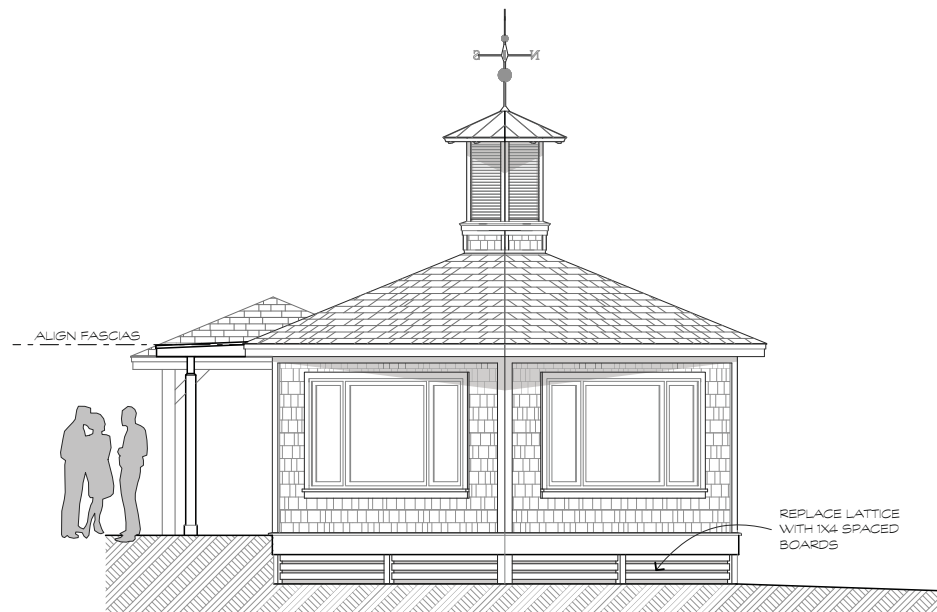
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A-1



OCEAN SIDE ELEVATION

SCALE: 1/4"=1'-0"

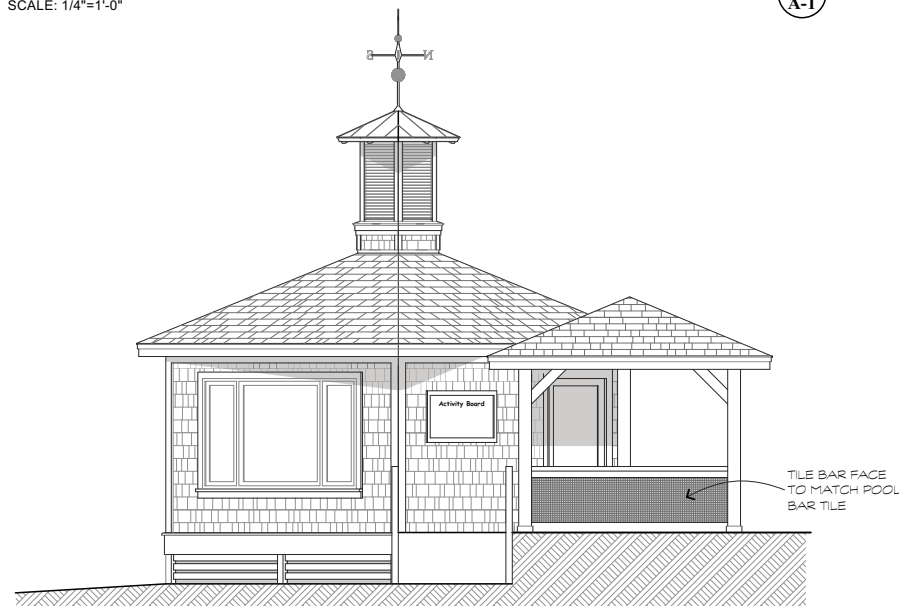
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A-1



PLAYGROUND SIDE ELEVATION

SCALE: 1/4"=1'-0"

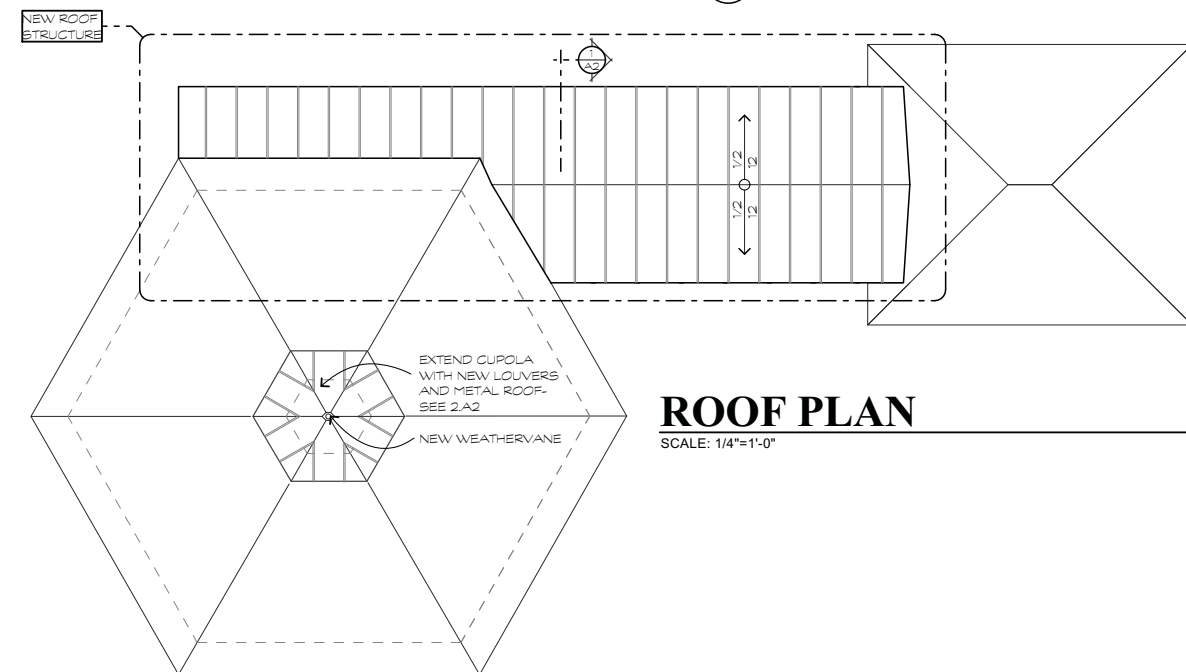
5
A-1



POOL SIDE ELEVATION

SCALE: 1/4"=1'-0"

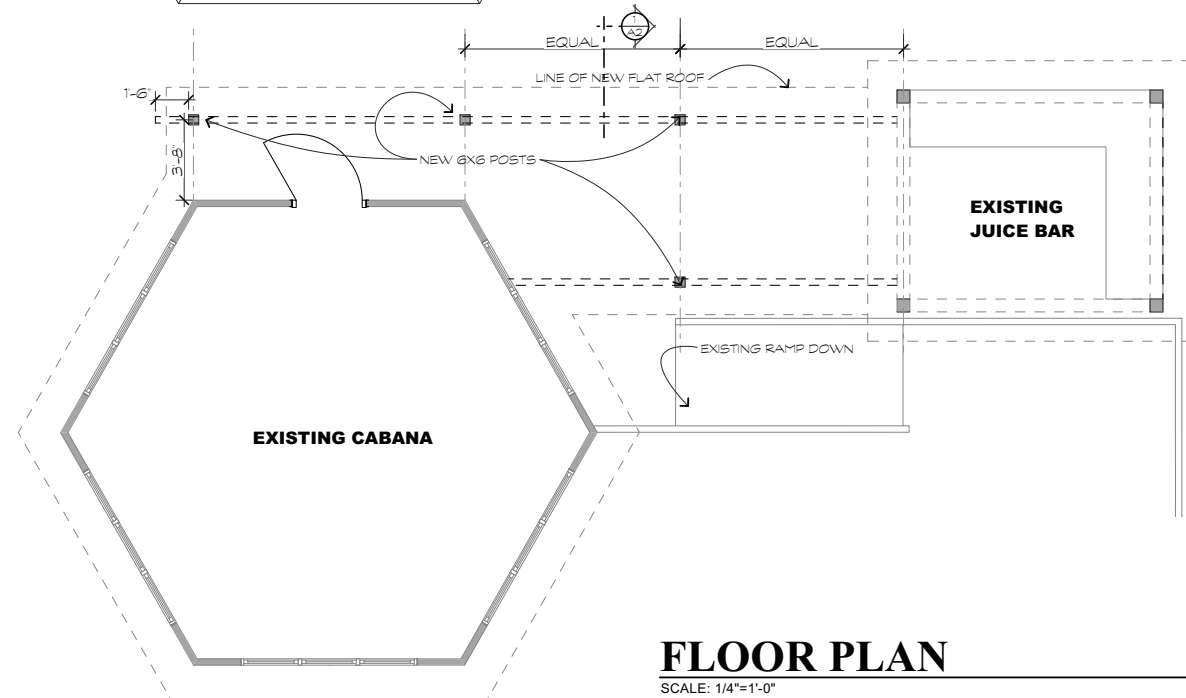
6
A-1



ROOF PLAN

SCALE: 1/4"=1'-0"

2
A-1



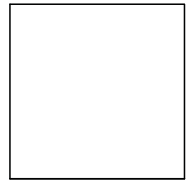
FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A-1

REVISIONS	DATE

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A.1
OF SHEETS

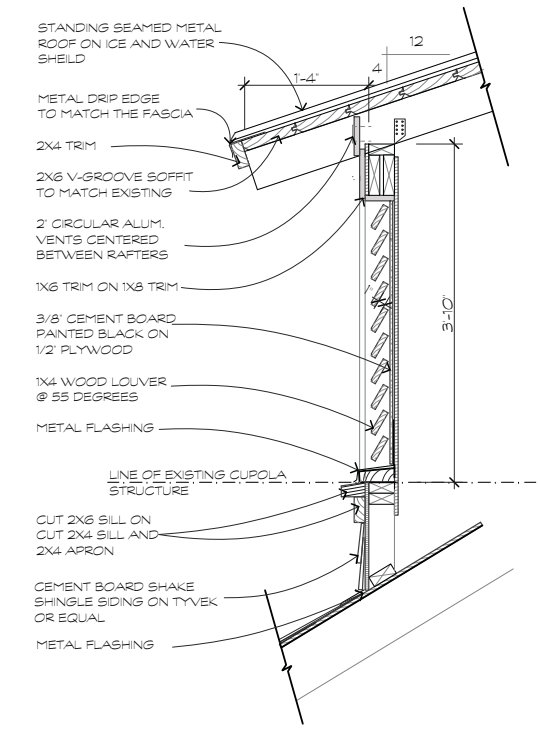


(4) NEW STAIR ROOF ADDITIONS FOR:
OMNI HILTON HEAD
OCEANFRONT RESORT
 23 Ocean Lane
 Hilton Head Island, S.C.

REVISIONS	DATE

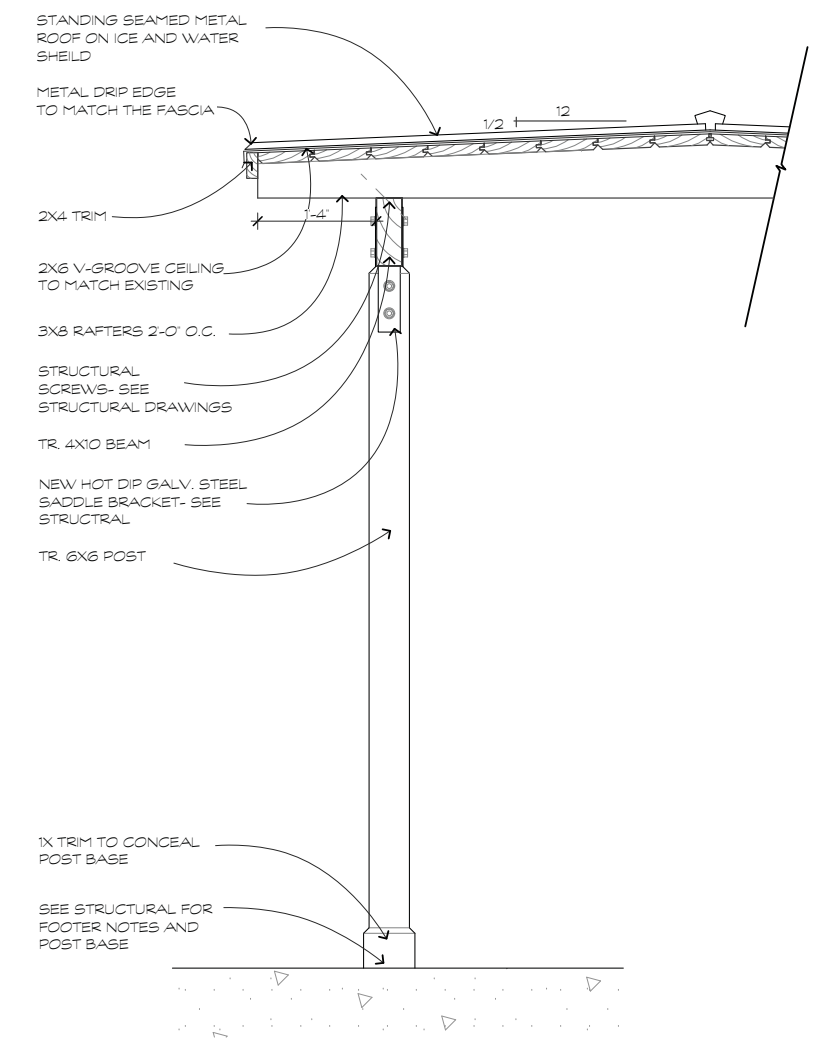
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 OF SHEETS



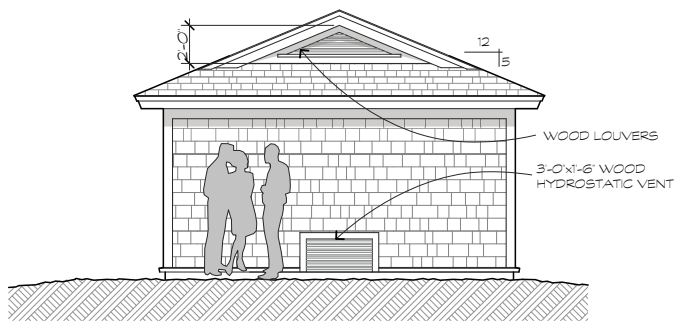
CUPOLA SECTION
SCALE: 1"=1'-0"

2
A-2



WALKWAYSECTION
SCALE: 1"=1'-0"

1
A-2



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

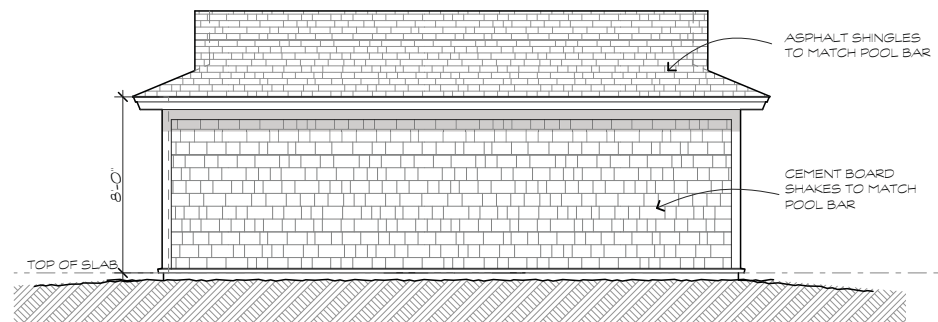
6
A-3



ENTRY ELEVATION

SCALE: 1/4"=1'-0"

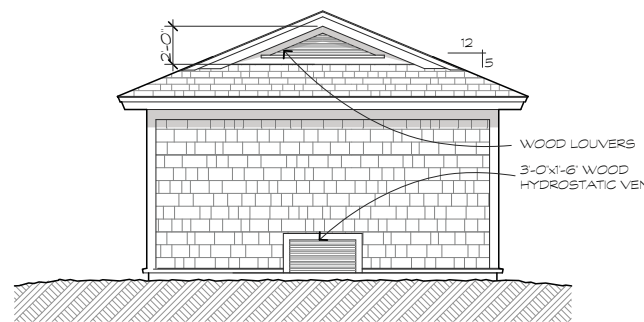
3
A-3



REAR ELEVATION

SCALE: 1/4"=1'-0"

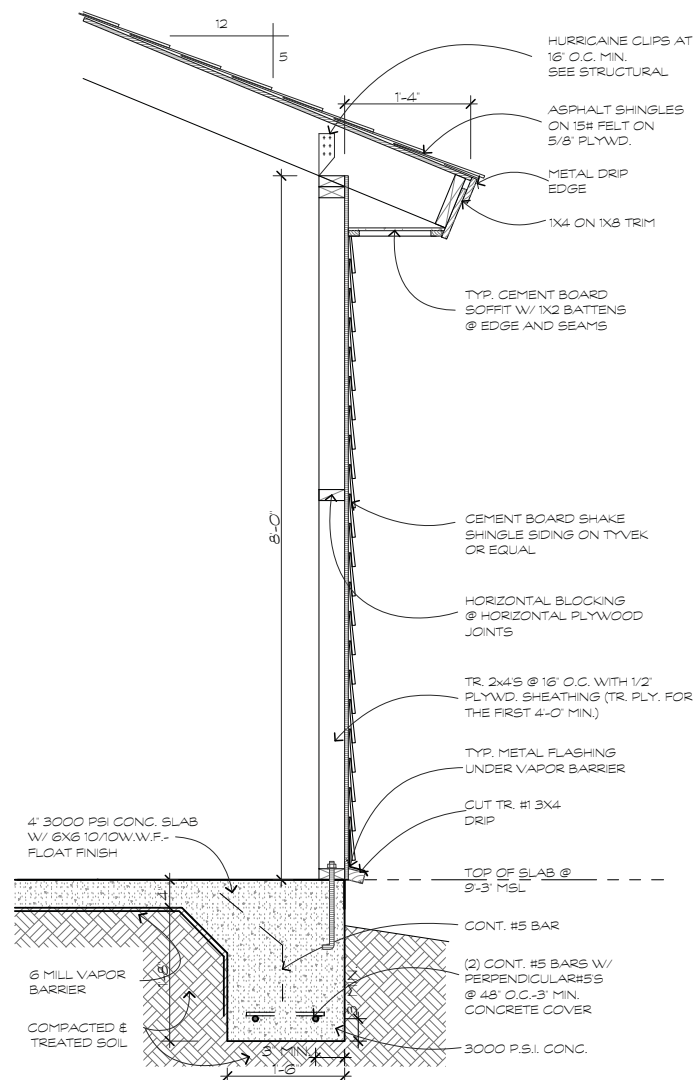
5
A-3



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

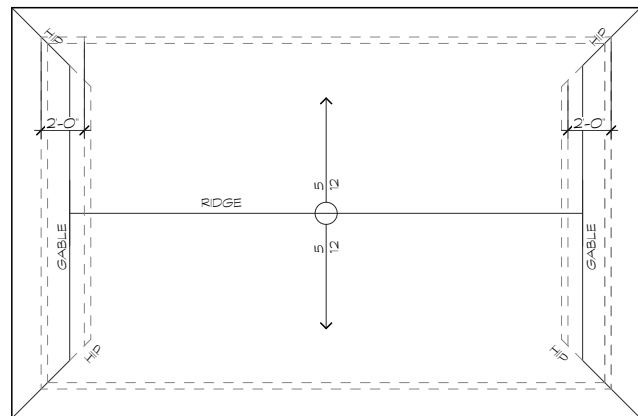
2
A-3



WALL SECTION

SCALE: 1"=1'-0"

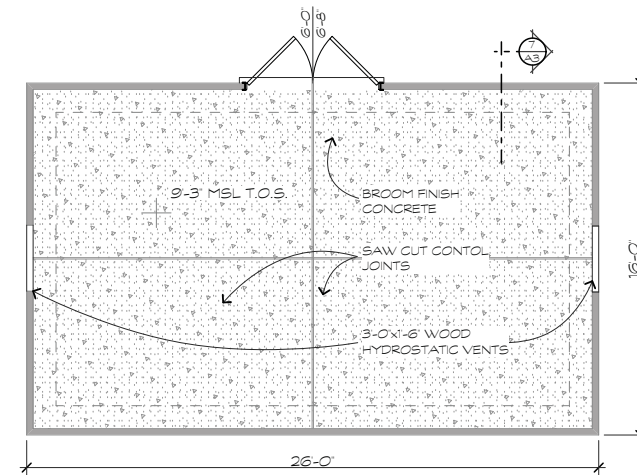
7
A-3



ROOF PLAN

SCALE: 1/4"=1'-0"

4
A-3



FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A-3

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(4) NEW STAIR ROOF ADDITIONS FOR:
OMNI HILTON HEAD
OCEANFRONT RESORT
 23 Ocean Lane
 Hilton Head Island, S.C.

REVISIONS	DATE

DRAWN BY TP
CHECKED BY TP
DATE OF ISSUE: 01/19/18
SCALE
JOB NO.
SHEET
A.3
OF SHEETS

STRUCTURAL NOTES

GENERAL REQUIREMENTS

- WHERE A SECTION OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL SIMILAR CONDITIONS.
- COORDINATE ALL LIMITS AND DEPTHS OF DEPRESSIONS FOR FLOOR FINISHES WITH ARCHITECTURAL DRAWINGS AND SCHEDULES. LIMITS SHOWN ON STRUCTURAL DRAWINGS ARE SCHEMATIC.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS SHOWN ON PLANS.
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS AND ELEVATIONS SHOWN HEREIN WITH ARCHITECTURAL PLANS, SECTIONS, AND DETAILS PRIOR TO CONSTRUCTION OR MATERIAL PURCHASE AND SHALL NOTIFY ARCHITECT OR ENGINEER IN WRITING OF DISCREPANCIES. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS NOT SHOWN HEREIN.
- DIMENSIONS INDICATED RELATIVE TO EXISTING STRUCTURE ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR MATERIALS PURCHASE. CONTRACTOR SHALL NOTIFY ARCHITECT OR ENGINEER IN WRITING OF DISCREPANCIES.
- SPECIFIED ANCHOR SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SPECIAL ATTENTION SHALL BE GIVEN TO THE DRILLING, CLEANING, AND PREPARATION OF HOLES. WHERE ADHESIVE ANCHORS ARE SHOWN, SPECIAL ATTENTION SHALL BE GIVEN TO THE REQUIRED MIXING, APPLICATION, AND CURING TIME OF ADHESIVE TYPE SPECIFIED.

SUBGRADE PREPARATION

- CONTRACTOR SHALL STRIP AND REMOVE ALL VEGETATION, TOPSOIL, ROOTS, AND ORGANIC SOILS FROM THE CONSTRUCTION AREA FOR A DISTANCE OF AT LEAST 10' BEYOND THE EXTENT OF BUILDING FOUNDATION LIMITS. THE DEPTH OF STRIPPING SHALL BE THAT REQUIRED TO REMOVE SIGNIFICANT ROOT ZONES, SMALL TREE STUMPS, AND OTHER UNACCEPTABLE MATERIALS, BUT IN NO CASE SHALL IT BE LESS THAN 12".
- AFTER TOPSOILS, ETC. HAVE BEEN REMOVED FROM THE SITE WITHIN AND TO A POINT 10' OUTSIDE THE BUILDING CONSTRUCTION AREA, THE UPPER 24" OF EXPOSED SOILS SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) BY PROOFROLLING WITH A FULLY LOADED PNEUMATIC TIRE TANDUM AXLE DUMP TRUCK CAPABLE OF TRANSFERRING A LOAD OF 10 TO 20 TONS BY OVERLAPPING PASSES. A MINIMUM OF 8 COMPLETE PASSES SHALL BE MADE WITHIN THE BUILDING AREA.
- PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF AN APPROVED TESTING LABORATORY SUPERVISED BY A GEOTECHNICAL ENGINEER. UNDERCUT, BACKFILL, AND COMPACT AREAS WHICH PUMP, DEFLECT, OR RUT EXCESSIVELY OR WHICH DO NOT STABILIZE AFTER SUCCESSIVE PASSES OF PROOFROLLING EQUIPMENT.
- AFTER COMPLETION OF DENSIFICATION OF EXISTING SOILS, PLACE STRUCTURAL FILL FOR BUILDING AND PAVEMENT AREAS IN THIN (8" TO 10") LIFTS COMPACT TO A MINIMUM DENSITY OF 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). MATERIAL USED AS STRUCTURAL FILL SHALL BE NON-PLASTIC GRANULAR MATERIAL CONTAINING LESS THAN 15% FINES PASSING THROUGH THE NO. 200 SIEVE AND FREE OF ORGANICS, BOULDERS, OR OTHER DELETERIOUS MATERIALS.

FOUNDATIONS

- ALL FOUNDATION FILL SUBGRADE SOILS SHALL BE COMPACTED AS FOLLOWS: (REF. ASTM D1557)
 - 95% MODIFIED PROCTOR FOR GREATER THAN 18" BELOW FINAL FILL.
 - 98% MODIFIED PROCTOR FOR THE UPPER 18" BENEATH BUILDINGS AND PAVEMENTS.
- SOILS TESTING LABORATORY SHALL CONDUCT COMPACTION TESTS IN ACCORDANCE WITH ASTM D698. RATE OF COMPACTION SHALL BE AS FOLLOWS:
 - ONE TEST FOR EACH SPREAD FOOTING;
 - ONE TEST FOR EACH 50 LINEAR FEET OF CONTINUOUS FOOTING;
 - ONE TEST FOR EACH 1000 S.F. OF SLAB.
- FOUNDATIONS HAVE BEEN DESIGNED FOR 1,500 PSF MINIMUM ALLOWABLE SOIL BEARING PRESSURE.
- REMOVE ALL WATER SOFTENED SOILS FROM FOOTING EXCAVATIONS PRIOR TO PLACING CONCRETE. FILL REMAINING VOIDS WITH ADDITIONAL CONCRETE.
- SUPPORT ALL BOTTOM REINFORCEMENT IN FOUNDATION WITH STANDEES OR WHOLE CONCRETE BRICKS AT 48" O.C. MAX. REQUIRED CONCRETE COVER SHALL BE MAINTAINED AT ALL TIMES.
- ALL FOOTING, PIER, AND OTHER FOUNDATION REINFORCING SHALL BE TIED IN PLACE PRIOR TO POURING CONCRETE.
- WHERE FINISHED GRADES DIFFER ON OPPOSITE SIDES OF FOUNDATION WALLS, PROVIDE TEMPORARY BRACING. PREVENT LATERAL MOVEMENT UNTIL ALL ADJACENT FILLING, COMPACTION, FLOOR SLABS, AND FRAMING AT NEXT LEVEL OVER HAS BEEN COMPLETED.
- UNLESS INDICATED ON FOUNDATION PLAN, VERTICAL STEPS IN FOOTINGS TO BE MAXIMUM 2'-0" VERTICAL SPACED NO LESS THAN 4'-0" O.C. HORIZONTALLY TO MAINTAIN MINIMUM 12" COVER BELOW FINISHED EARTH GRADE.
- WHERE GRAVITY PLUMBING LINES OCCUR BELOW TOP OF WALL FOOTING, STEP FOOTING DOWN TO PROVIDE CLEARANCES INDICATED ON PLANS. COORDINATE WITH PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND INVERTS.
- CONSTRUCTION JOINTS IN CONTINUOUS FOOTINGS TO BE FORMED VERTICALLY IN ACCORDANCE WITH FOUNDATION DETAILS IN PLANS.
- PROVIDE 1/2" EXPANSION JOINT FILLER AROUND PERIMETER OF SLABS WHERE THEY ABUT VERTICAL SURFACES AND AT COLUMN ISOLATION JOINTS AS DETAILED.

SLAB ON GRADE

- APPLY AN APPROVED CURING COMPOUND CONFORMING TO ASTM C309 AFTER FINISHING THE SLAB.
- ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185. LAP ADJOINING PIECES AT LEAST ONE FULL MESH OR 8" MINIMUM. UNLESS OTHERWISE APPROVED, ALL WELDED WIRE FABRIC SHALL BE BLOCKED INTO POSITION INDICATED WITH PRECAST CONCRETE BLOCKS HAVING A COMPRESSIVE STRENGTH EQUAL TO THAT OF THE SLAB.
- THE USE OF POLYPROPYLENE FIBERS (IN LIEU OF WELDED WIRE FABRIC) IS PROHIBITED WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.
- THE MAXIMUM SPACING OF JOINTS SHALL BE 15' OR AS SHOWN ON PLANS.
- ALL POROUS FILL MATERIAL SHALL BE A CLEAN GRANULAR MATERIAL WITH 100% PASSING 1 1/2" SIEVE AND NO MORE THAN 5% PASSING A NO. 4 SIEVE. POROUS FILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR. DRY DENSITY PER ASTM D1557.
- SLAB JOINTS SHALL BE FILLED WITH APPROVED MATERIAL. THIS SHOULD TAKE PLACE AS LATE AS POSSIBLE, PREFERABLY 4 TO 6 WEEKS AFTER THE SLAB HAS BEEN CAST. PRIOR TO FILLING, REMOVE ALL DEBRIS FROM THE SLAB JOINTS, THEN FILL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- SEE THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DEPRESSED SLAB AREAS AND DRAINS. SLOPE SLAB TO DRAINS WHERE SHOWN.
- THE FINISH TOLERANCE OF ALL SLABS SHALL BE IN ACCORDANCE WITH ACI 301, TYPE A.
- WALKWAYS AND OTHER EXTERIOR SLABS ARE NOT INDICATED ON THE STRUCTURAL DRAWINGS. SEE THE SITE PLAN AND ARCHITECTURAL DRAWINGS FOR LOCATIONS, DIMENSIONS, ELEVATIONS, JOINTING DETAILS AND FINISH DETAILS.
- CONTROL JOINT SEALANT SHALL BE SIKADUR 51 NS/SL OR APPROVED EQUAL. EXPANSION AND ISOLATION JOINT SEALANT SHALL BE SIKAFLEX 1a OR APPROVED EQUAL.

CAST-IN-PLACE REINFORCED CONCRETE

- THE FOLLOWING ACI STANDARDS (LATEST EDITION) APPLY:
 - ACI 318 - CODE
 - ACI 315 - DETAILING
 - ACI 301 - SPECIFICATIONS
 - ACI 304 - PLACING
 - ACI 347 - FORMWORK
 - ACI 211.1 - MIX PROPORTIONING
 - ACI 305 - HOT WEATHER CONCRETING
 - ACI 306 - COLD WEATHER CONCRETING

- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (145 PCF) WITH MIXES MEETING THE FOLLOWING CRITERIA:

STRUCTURAL ELEMENT	28 DAY COMPRESSIVE STRENGTH
FOOTINGS, GRADE BEAMS & FOUNDATION WALLS	3,000 PSI
SLAB ON GRADE	3,000 PSI
ELEVATED SLABS & BEAMS	4,000 PSI
COLUMNS	4,000 PSI
- SLUMP SHALL NOT EXCEED 5". SLUMP TESTS SHALL BE PERFORMED ON EACH TRUCK LOAD AND CONFORM TO ASTM C143.

REINFORCING STEEL

- ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
- ALL WELDED WIRE FABRIC SHALL BE ASTM A185, 70 KSI MINIMUM YIELD STRENGTH.
- ADDITIONAL REINFORCING AND THAT QUANTITY OF REINFORCING OCCURRING AT OPENINGS SHALL BE PLACED EQUALLY EACH SIDE OF OPENINGS AS DETAILED.
- HOOKS IN REINFORCING ARE IN ADDITION TO LENGTH SHOWN.
- REINFORCING IS TO BE SUPPORTED IN FORMS AND SPACED WITH WIRE BAR SUPPORTS ACCORDING TO CRSI "PLACING REINFORCING BARS" UNLESS NOTED OTHERWISE.
- MINIMUM REINFORCING STEEL CLEAR COVERS ARE AS FOLLOWS:
 - CONCRETE CAST DIRECTLY AGAINST EARTH.....3"
 - INTERIOR BEAMS AND COLUMNS.....1"
 - INTERIOR BEAMS AND COLUMNS.....1 1/2"
 - EXTERIOR BEAMS AND COLUMNS.....2"
 - EXTERIOR SLABS.....1 1/2"
- UNLESS NOTED OTHERWISE, ALL BAR REINFORCING LAP SPLICES SHALL HAVE A MINIMUM LAP LENGTH OF 48 BAR DIAMETERS.

DIMENSIONAL LUMBER FRAMING

- ALL STRUCTURAL LUMBER DESIGN SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS-2015).
- LOCATION, NUMBER, AND DIMENSIONS OF FRAMING MEMBERS SHOW GENERAL ARRANGEMENT ONLY. ACTUAL SPANS, SPACING, ETC. SHALL BE DETERMINED FROM ARCHITECTURAL DETAILS.
- SEE ARCHITECTURAL PLANS AND DETAILS FOR EDGE SECTIONS, HEADER AND LINTEL LOCATIONS, AND ALL NON-STRUCTURAL FRAMING AND TRIM.
- ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALLOWABLE STRESS REQUIREMENTS OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE "SCHEDULE OF REQUIRED STRESS VALUES".
- ALL STUD AND WALL FRAMING SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE (SYP). "STUD" GRADE MATERIAL IS STRICTLY PROHIBITED FROM USE.
- ALL JOIST, RAFTER & MISC. FRAMING SHALL BE NO. 2 GRADE, SOUTHERN YELLOW PINE. PROVIDE FULL-DEPTH BLOCKING AT ENDS. PROVIDE FULL-DEPTH (OR METAL) BRIDGING AT MIDSPAN AND AT A MAXIMUM SPACING OF 8'-0" O.C. IN BETWEEN.
- ALL LUMBER EXPOSED TO EXTERIOR ENVIRONMENT OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED TO A MINIMUM RETENTION OF 0.25 lbs. OF ACO PER CUBIC FOOT OF WOOD, AND EACH PIECE SHALL BEAR THE THIRD PARTY QUALITY MARK, "ABOVE GRADE USE". ALL LUMBER IN CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED TO A MINIMUM RETENTION OF 0.40 lbs. OF ACO PER CUBIC FOOT OF WOOD, AND EACH PIECE SHALL BEAR THE THIRD PARTY QUALITY MARK, "GROUND CONTACT USE". REFERENCE STANDARD AWWA C2 AND ASTM D1760 FOR PRESSURE TREATMENT OF TIMBER PRODUCTS.
- WHERE POSSIBLE ALL CUTS AND HOLES SHOULD BE COMPLETED BEFORE TREATMENT. CUTS AND HOLES DUE TO ON-SITE FABRICATION SHALL BE BRUSHED WITH 2 COATS OF COPPER NAPHTHENATE SOLUTION CONTAINING A MINIMUM OF 2% METALLIC COPPER IN SOLUTION (PER AWPS STD. M4).
- THE CONTRACTOR SHALL CAREFULLY SELECT LUMBER TO BE USED IN LOAD BEARING APPLICATIONS. THE LENGTH OF SPLIT ON THE WIDE FACE OF 2" NOMINAL LOAD BEARING FRAMING SHALL BE LIMITED TO LESS THAN 1/2 OF THE WIDE FACE DIMENSION. THE LENGTH OF SPLIT ON THE WIDE FACE OF 3" (NOMINAL) AND THICKER LUMBER SHALL BE LIMITED TO 1/3 OF THE NARROW FACE DIMENSIONS.
- ALL WOOD JOISTS AND HEADERS WHICH FRAME INTO BEAMS SHALL BE SUPPORTED BY SIMPSON LUS HANGERS WITH THE SAME WIDTH AND DEPTH OF THE MEMBER, U.N.O. USE HANGERS WITH CONCEALED FLANGES WHERE THE CONNECTOR CANNOT BE HIDDEN BY WOOD TRIM OR THE SUPPORT MEMBER IS WIDER THAN THE STANDARD FLANGE.
- PROVIDE NAILING PATTERN IN COMPLIANCE WITH IBC RECOMMENDED FASTENING SCHEDULE.
- LOAD BEARING STUD WALLS SHALL BE CONTINUOUSLY BRIDGED AT MID-HEIGHT AND UNSUPPORTED PLYWOOD WALL SHEATHING JOINTS WITH SOLID WOOD BLOCKING, U.N.O.
- NO CUTS, HOLES, OR COPIES IN STRUCTURAL WOOD FRAMING SHALL BE PERMITTED WITHOUT PRIOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER AND ARCHITECT.
- PROVIDE FULL-DEPTH BLOCKING AT ENDS OF RAFTERS AND JOISTS. PROVIDE FULL-DEPTH (OR METAL) BRIDGING AT MIDSPAN AND AT A MAXIMUM SPACING OF 8'-0" O.C. IN BETWEEN.
- STRUCTURAL STEEL PLATE CONNECTORS SHALL CONFORM TO ASTM A36 SPECIFICATIONS AND BE 1/4" THICK UNLESS OTHERWISE INDICATED. BOLTS CONNECTING WOOD MEMBERS SHALL BE PER ASTM A307 AND 3/4" DIAMETER UNLESS OTHERWISE INDICATED. PROVIDE WASHERS FOR ALL BOLT HEADS AND NUTS IN CONTACT WITH WOOD SURFACES.
- BOLT HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. BOLTED CONNECTIONS SHALL BE SNUG TIGHT BUT NOT TO THE EXTENT OF CRUSHING WOOD UNDER WASHERS.
- HOLES AND NOTCHES DRILLED OR CUT INTO WOOD FRAMING SHALL NOT EXCEED THE REQUIREMENTS OF IRC R602.8.
- ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS, AND OTHER MISCELLANEOUS HARDWARE SHALL BE HOT DIP GALVANIZED.
- ADEQUATE BRACING SHALL BE PROVIDED UNTIL PERMANENT BRACING AND/OR DIAPHRAGMS ARE INSTALLED.
- OVERLAP ALL TOP PLATES AT CORNERS.
- JOINTS IN THE DOUBLE TOP PLATES OF WALLS SHALL BE OFFSET A MINIMUM LAP LENGTH OF 4'-0" & NAILED WITH NOT LESS THAN (15) 16d FACE NAILS ON EACH SIDE OF THE JOINT.
- ALL BEAMS SHALL HAVE LATERAL SUPPORT AT THE COMPRESSION EDGE AT A MAXIMUM OF 24" O.C. AND AT BEARING POINTS, WITH A MINIMUM BEARING LENGTH OF 3 1/2".
- PROVIDE DOUBLE JOISTS OR SOLID BLOCKING AT 24" O.C. UNDER ALL PARTITIONS AND TO SUPPORT CONCENTRATED LOADS FROM FRAMING ABOVE, UNLESS NOTED OTHERWISE.
- PROVIDE DOUBLE HEADER BEAMS OF THE SAME SIZE AS JOISTS OR RAFTERS TO FRAME AROUND OPENINGS IN PLYWOOD DECK UNLESS OTHERWISE INDICATED.
- PROVIDE DOUBLE LAYER PLYWOOD UNDER ALL CERAMIC OR STONE TILE FLOORS.
- PROVIDE DOUBLE CONNECTORS, TRIMMERS, ETC. AS REQUIRED AND RECOMMENDED BY AITC TIMBER CONSTRUCTION STANDARDS AND IRC 2015 U.N.O.
- WOOD FRAMING MATERIALS:
 - ALL DIMENSIONAL LUMBER SHALL BE #2 SYP KD OR BETTER AND PROVIDE NOT LESS THAN THE FOLLOWING ALLOWABLE STRESSES:

F _b = 1,000 PSI
F _v = 600 PSI
E = 1,400,000 PSI
E _c = 1,400 PSI
F _p = 565 PSI
 - SHEATHING:

WALLS.....APA RATED SHEATHING, EXPOSURE 1 OR EXTERIOR
ROOF.....APA RATED SHEATHING, EXPOSURE 1, 2, OR EXTERIOR
FLOOR.....APA RATED STURD-I-FLOOR;
 - ALL BOLTS SHALL BE ASTM A307 WITH WASHERS, GALVANIZED;
 - D. NAILS IN ACCORDANCE WITH MINIMUM NAILING REQUIREMENTS OF IRC EXCEPT WHERE NOTED IN DETAILS OR SPECIFICATIONS. ALL NAILS TO BE GALVANIZED.

PLYWOOD / GYPSBOARD SHEATHING

- ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS.
- ALL ROOF PANEL SHEATHING SHALL BE PER PLAN. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY THE USE OF CHIPS OR BLOCKING BETWEEN FRAMING MEMBERS.
- ALL FLOOR SHEATHING SHALL BE TONGUE & GROOVE PER PLAN. FIELD-GLUE USING ADHESIVES MEETING APA SPECIFICATIONS AFG-01, APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- ALL WALL PANEL SHEATHING SHALL BE PER PLAN.
- INSTALL ALL PLYWOOD SHEATHING AT FLOOR AND ROOF WITH THE LONG DIMENSIONS OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE SHEATHING MANUFACTURER.
- ALL NAILS SHALL NOT BE OVERDRIVEN.
- ALL EXISTING WALLS SHALL BE SHEATHED PER PLAN.
- PROVIDE BLOCKING AT UNSUPPORTED PANEL EDGES AS FOLLOWS:

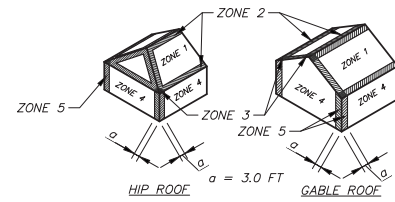
ROOFS AND FLOORS - ONLY WHERE INDICATED ON PLAN	WALLS - FULLY BLOCKED
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- WHERE EITHER 2" OR 2 1/2" FASTENER SPACINGS ARE USED FOR WOOD STRUCTURAL PANELS USED AT ROOF OR FLOOR, THE FRAMING MEMBER AT THE ADJOINING PANEL SHALL BE 3" NOMINAL WIDTH AND THE NAILS AT PANEL EDGES SHALL BE STAGGERED IN TWO LINES.
- ALL PLYWOOD AND SHEATHING SHALL BE APA RATED, BEAR THE STAMP OF AN APPROVED TESTING AGENCY, AND SHALL BE FABRICATED WITH EXTERIOR GLUE. NAILS AT ABUTTING PLYWOOD EDGES MUST PENETRATE THE SAME PIECE OF FRAMING OR BLOCKING.
- PERIMETER OF ANY OPENINGS SHALL BE FASTENED AS BOUNDARY NAILING.
- OPENINGS WITH A DIMENSION PERPENDICULAR TO THE JOISTS GREATER THAN 4'-0" SHALL BE BLOCKED BEYOND THE HEADERS, AND METAL TIES NOT LESS THAN 16 GAGE BY 1 1/2" WIDE WITH (8)-16d COMMON NAILS ON EACH SIDE OF THE HEADER-JOIST INTERSECTION SHALL BE PROVIDED.
- AT SHEAR WALLS OR DRAG STRUTS, THE PLYWOOD DIAPHRAGM MUST BE NAILED TO TOP PLATES, MEMBERS, BLOCKING, ETC. AS FOLLOWS:

EXTERIOR WALLS / DIAPHRAGM EDGES:	1x BOUNDARY NAILING
INTERIOR WALL LINES:	2x BOUNDARY NAILING

STRUCTURAL DESIGN CRITERIA

- BUILDING CODE:
2015 INTERNATIONAL BUILDING CODE
- GRAVITY LOADS (ASCE 7-10):

	CONCENTRATED	DISTRIBUTED
ROOF	LL = N/A DL = SEE PLANS	LL = 20 PSF DL = 20 PSF
1ST FLOOR	LL = 2000 LBS DL = 150 LBS	LL = 100 PSF DL = 50 PSF
COLLATERAL LOAD	SEE PLANS	CL = 5 PSF
- WIND LOADS (ASCE 7-10 / 2015 IBC):
ULTIMATE DESIGN WIND SPEED, V_{ULT} = 145mph
NOMINAL DESIGN WIND SPEED, V_{ASD} = 112mph
RISK CATEGORY II
WIND EXPOSURE D
INTERNAL PRESSURE COEFFICIENT, GC_{pi} = ±0.18
- SEISMIC LOADS (ASCE 7-10 / 2015 IRC):
RISK CATEGORY II
SEISMIC IMPORTANCE FACTOR, I_e = 1.00
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS:
S_{gs} = 0.399g; S₁ = 0.143g
SITE CLASS D
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS:
S_{ps} = 0.394g; S_{p1} = 0.212g
SEISMIC DESIGN CATEGORY D
BASIC SEISMIC FORCE-RESISTING SYSTEM:
LIGHT FRAMED WALLS W/ WOOD SHEAR PANELS
DESIGN BASE SHEAR:
V = CS
W = EFFECTIVE SEISMIC MASS
SEISMIC RESPONSE COEFFICIENT, C_s = 0.06
RESPONSE MODIFICATION FACTOR, R = 6.5
ANALYSIS PROCEDURE:
EQUIVALENT LATERAL FORCE METHOD
- SNOW LOAD (ASCE 7-10):
GROUND SNOW LOAD P_g = 0 PSF



COMPONENTS & CLADDING
WIND PRESSURES (PSF)

	ZONE	AREA(SF)	+P	-P
ROOF > 7 TO 27 DEGREES	1	10	25.8	40.9
	1	20	23.5	39.8
	1	50	20.5	38.3
	1	100	18.2	37.1
	2	10	25.8	71.2
	2	20	23.5	65.5
	2	50	20.5	58.0
	2	100	18.2	52.3
	3	10	25.8	105.3
	3	20	23.5	98.5
WALLS	3	50	20.5	89.4
	4	10	44.7	48.5
	4	20	42.7	46.5
	4	50	40.0	43.8
	4	100	38.0	41.8
	5	10	44.7	59.8
	5	20	42.7	55.8
5	50	40.0	50.5	
5	100	38.0	46.5	



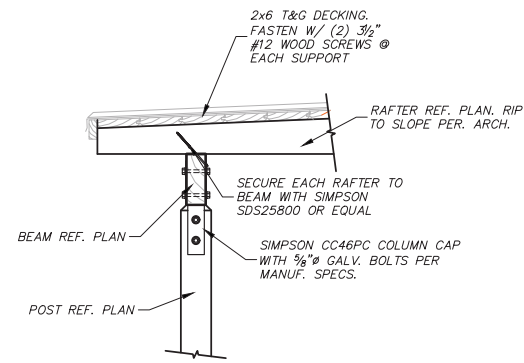
REV.	DATE	DESCRIPTION
0	04-04-2018	ISSUED FOR PERMIT

SEA SHACK COVERED WALKWAY
AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC

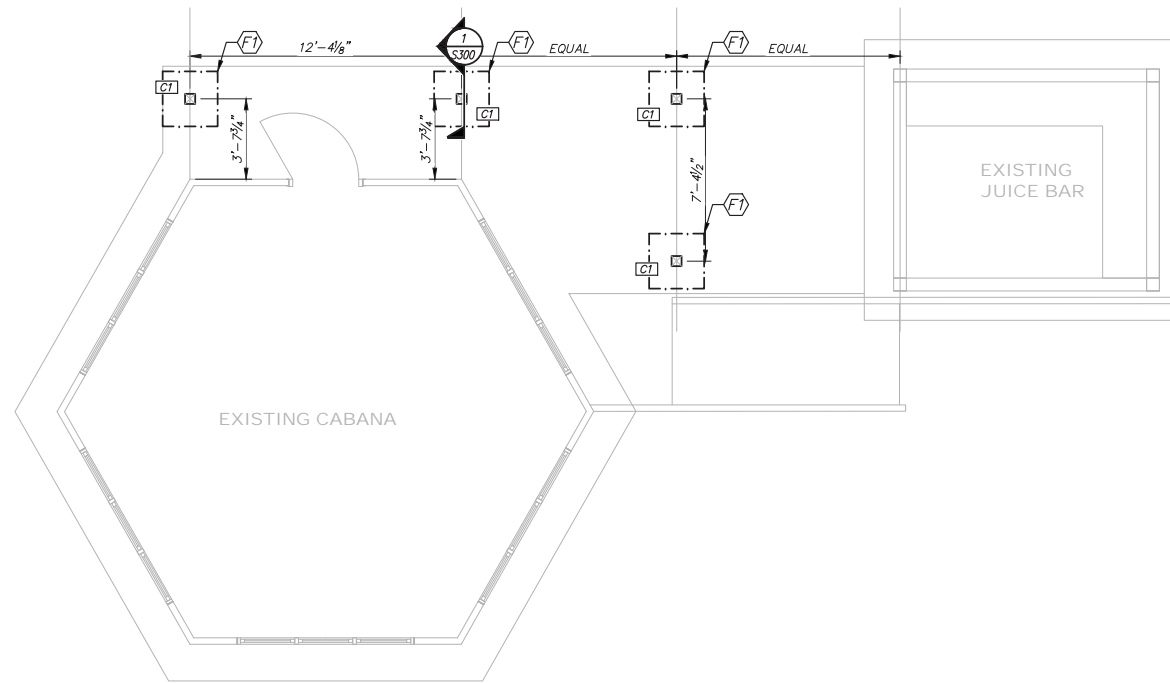
STRUCTURAL NOTES

DRAWN BY: JTB
CHECKED BY: JTB
APPROVED BY: JRE
DATE: 04-04-2018
SCALE: AS SHOWN
JOB No. 2018-0162
DRAWING No.

G:\A-ACTIVE JOB FILES\2018\2018-0162 - OMNI HILTON HEAD STORAGE BUILDING\VC-DRAWINGS\STRUCTURAL\20180162_OMNI HILTON HEAD.DWG 4/4/2018 4:04 PM



3 POST TO BEAM DETAIL
S200 NOT TO SCALE



1 COVERED WALK FOUNDATION PLAN
S200 SCALE: 1/4" = 1'-0"

LEGEND

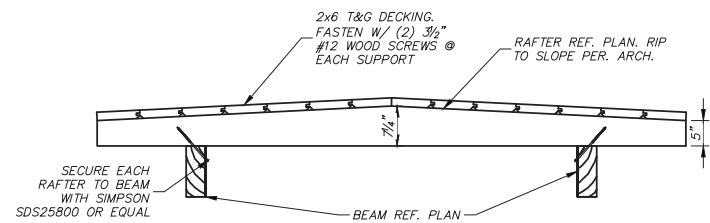
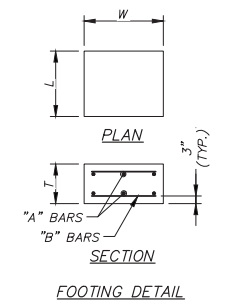
- CONTINUOUS FOOTING
- TURNDOWN SLAB
- CONTROL JOINT
- (F1) - FOOTING MARK, REF. FOOTING SCHEDULE
- (C1) - COLUMN MARK, REF. COLUMN SCHEDULE

COLUMN SCHEDULE

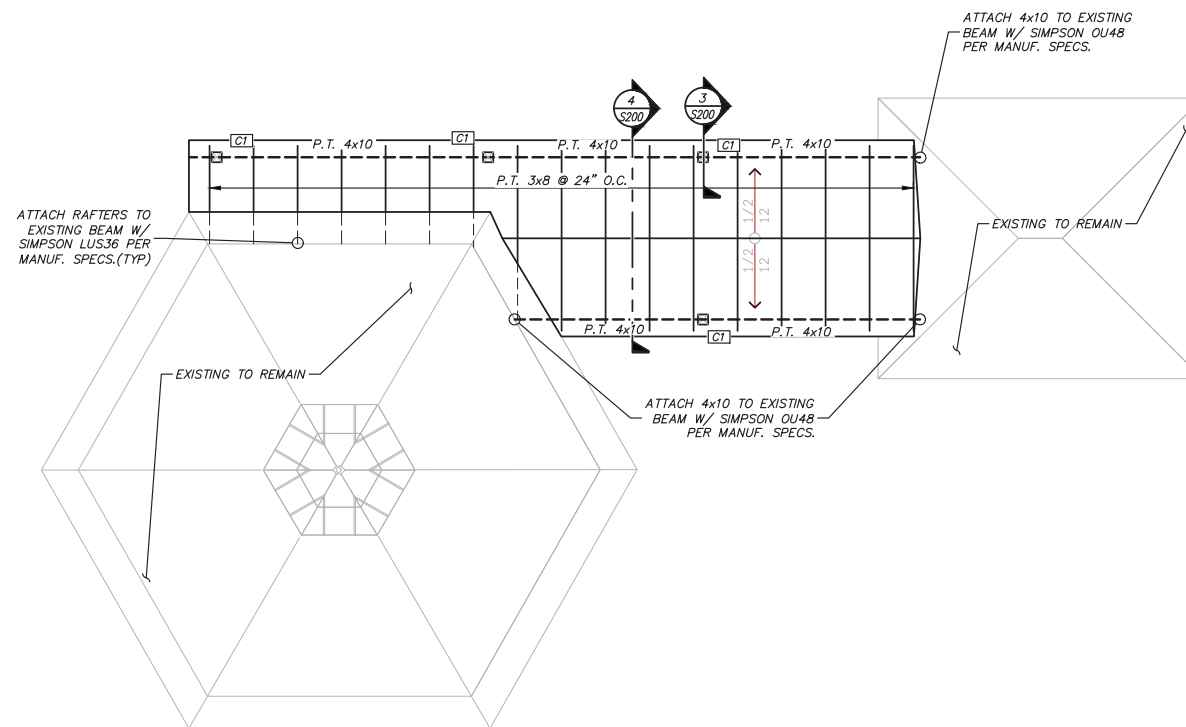
MARK	COLUMN SECTION
(C1)	P.T. 6x6 POST
(C2)	(3) 2x4 STUD PACK

FOOTING SCHEDULE

MARK	W	L	T	'A' BARS	'B' BARS
(F1)	2'-6"	2'-6"	2'-0"	(3)-#5 BOTT	(3)-#5 BOTT



4 SECTION @ COVERED WALK
S200 NOT TO SCALE



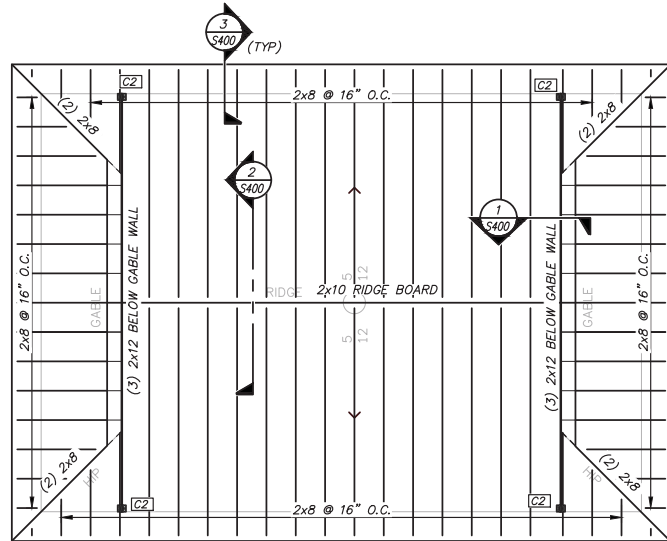
2 COVERED WALK ROOF PLAN
S200 SCALE: 1/4" = 1'-0"



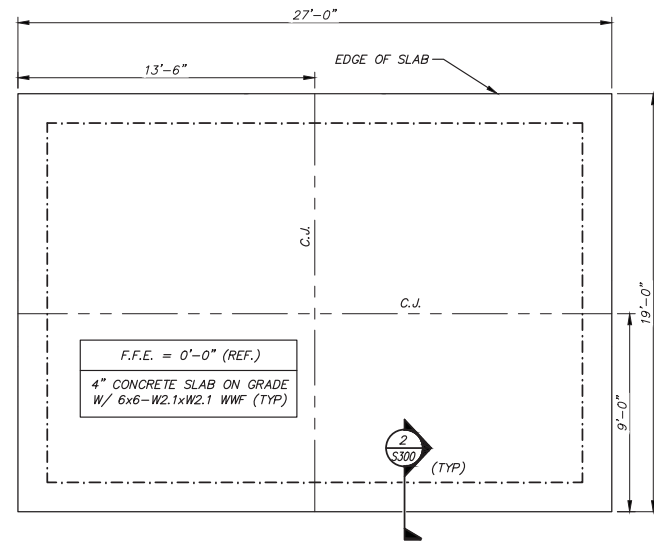
REV.	DATE	ISSUED FOR PERMIT DESCRIPTION
0	04-04-2018	

SEA SHACK COVERED WALKWAY AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC
COVERED WALK PLANS

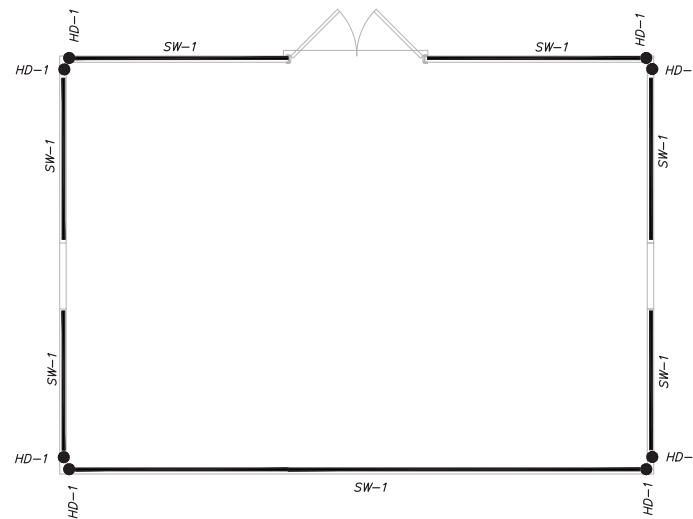
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CHECKED BY:	JTB
APPROVED BY:	JRE
DATE:	04-04-2018
SCALE:	AS SHOWN
JOB No.	2018-0162
DRAWING No.	S200



2 STORAGE ROOF PLAN
S201 SCALE: 1/4" = 1'-0"



1 STORAGE FOUNDATION PLAN
S201 SCALE: 1/4" = 1'-0"



3 STORAGE SHEARWALL PLAN
S201 SCALE: 1/4" = 1'-0"

LEGEND

- - - - - CONTINUOUS FOOTING
- - - - - TURNDOWN SLAB
- - - - - CONTROL JOINT
- (F1) - FOOTING MARK, REF. FOOTING SCHEDULE
- (C1) - COLUMN MARK, REF. COLUMN SCHEDULE

FRAMING NOTES:

- FLOOR SHEATHING:** 3/4" APA-RATED 24/16 MIN. WOOD STRUCTURAL PANELS MANUFACTURED W/ EXTERIOR-GRADE GLUE & FASTENED W/ 8d COMMON NAILS (0.131"x2.5" LONG) OR GALVANIZED 8d BOX NAILS (0.113"x2.5" LONG) AS FOLLOWS:
NAILING PATTERN:
 SUPPORTED EDGES & DIAPHRAGM BOUNDARIES: 4" O.C. FIELD & INTERMEDIATE SUPPORTS: 12" O.C.
- ROOF SHEATHING:** 15/32" APA-RATED 24/16 MIN. WOOD STRUCTURAL PANELS MANUFACTURED W/ EXTERIOR-GRADE GLUE & FASTENED W/ 8d COMMON NAILS (0.131"x2.5" LONG) OR GALVANIZED 8d BOX NAILS (0.113"x2.5" LONG) AS FOLLOWS:
NAILING PATTERN:
 SUPPORTED EDGES & DIAPHRAGM BOUNDARIES: 4" O.C. FIELD & INTERMEDIATE SUPPORTS: 12" O.C.
- ALL EXTERIOR WALLS ARE FRAMED W/ 2x4 @ 16" O.C. - U.N.O.
- ALL EXTERIOR WALL SHEATHING AS FOLLOWS (U.N.O.):
 15/32" APA-RATED 24/16 MIN. WOOD STRUCTURAL PANELS MANUFACTURED W/ EXTERIOR-GRADE GLUE & FASTENED W/ 8d COMMON NAILS (0.131"x2.5" LONG) OR GALVANIZED 8d BOX NAILS (0.113"x2.5" LONG) AS FOLLOWS:
NAILING PATTERN:
 SUPPORTED EDGES & DIAPHRAGM BOUNDARIES: 3" O.C. FIELD & INTERMEDIATE SUPPORTS: 12" O.C.

ANCHOR BOLT NOTES:

- PROVIDE 5/8" x 10" LONG ANCHOR BOLTS W/ 2"x2"x4" THICK WASHER SPACED AT 32" O.C. ALONG WALL SILL PLATE AT ALL EXTERIOR WALLS & AS INDICATED - U.N.O. PROVIDE (2) BOLTS (MIN.) PER PIECE & 12" MAX FROM EACH END OF PIECE.

COLUMN SCHEDULE

MARK	COLUMN SECTION
(C1)	P.T. 6x6 POST
(C2)	(3) 2x4 STUD PACK

SHEAR WALL LEGEND

MARK	DESCRIPTION
HD-1	HOLD DOWN PER SCHEDULE
SW-1	SHEAR WALL PER SCHEDULE

HOLD DOWN SCHEDULE

MARK	TYPE	ALTERNATE	INSTALLATION
HD-1	SIMPSON HTT5 (OR EQUAL)	3/8" THREADED ROD	PER MANUF. WITH (2) 2x6 COMPRESSION MEMBER FRAMING

SHEAR WALL SCHEDULE

MARK	SHEATHING			
	STRUCTURAL PANEL	FASTENER SIZE	SPACING @ PANEL EDGES	SPACING @ PANEL FIELD
SW-1	15/32 STRUCTURAL I	8d COMMON NAILS (0.131"x2.5" LONG) OR GALVANIZED 8d BOX NAILS (0.113"x2.5" LONG)	3" O.C.	12" O.C.



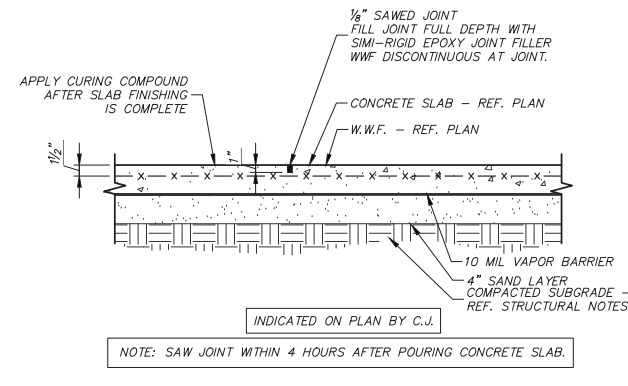
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SEA SHACK COVERED WALKWAY
AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC
STORAGE BUILDING PLANS

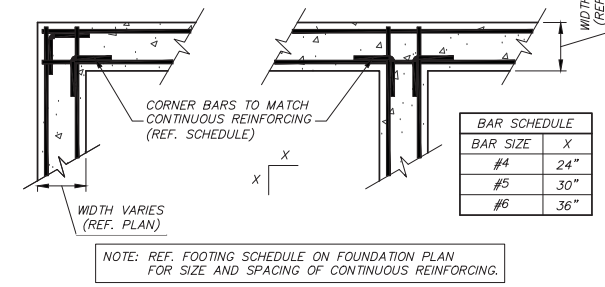
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APPROVED BY: JRE
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SCALE: AS SHOWN
JOB No. 2018-0162
DRAWING No.

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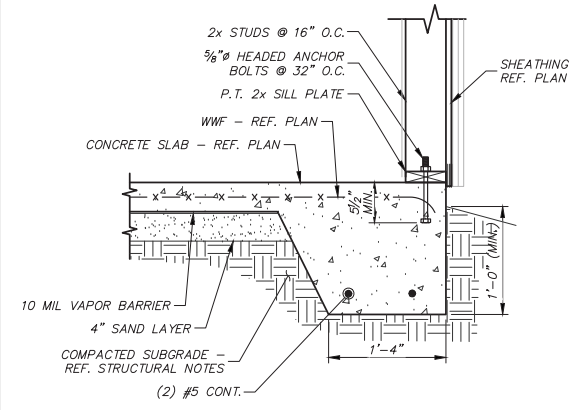
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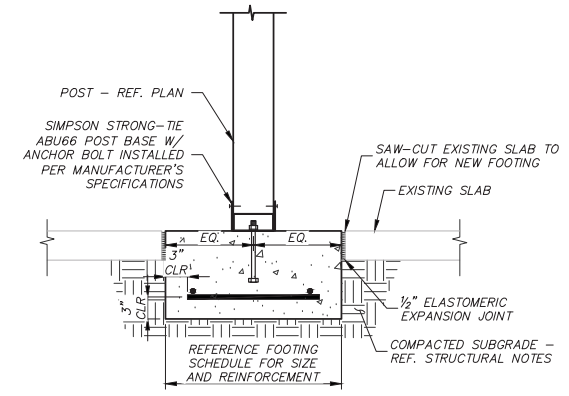
4 4" SLAB CONTROL JOINT DETAIL
S300 NOT TO SCALE



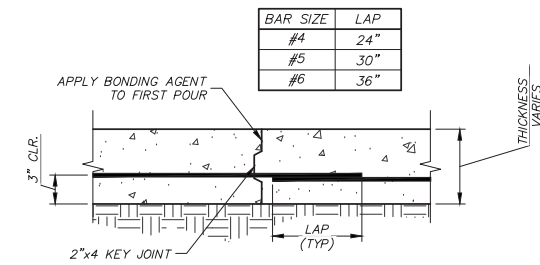
3 REINF. @ CONT. FOOTING INTERSECTIONS
S300 NOT TO SCALE



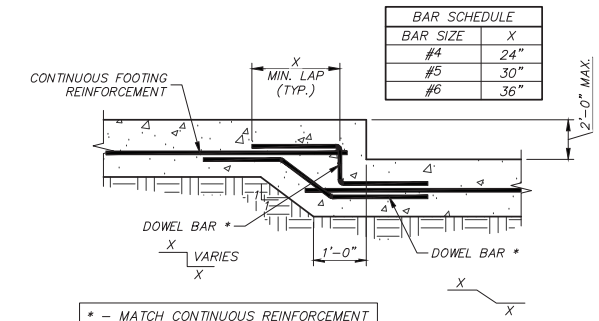
2 TYPICAL TURN DOWN SLAB
S300 NOT TO SCALE



1 FOOTING @ COLUMN DETAIL
S300 NOT TO SCALE



6 CONSTRUCTION JOINT FOR CONT. FOOTING
S300 NOT TO SCALE



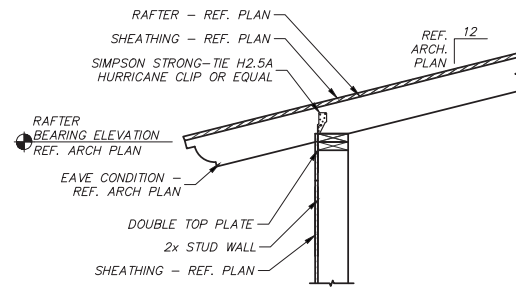
5 FOOTING STEP
S300 NOT TO SCALE



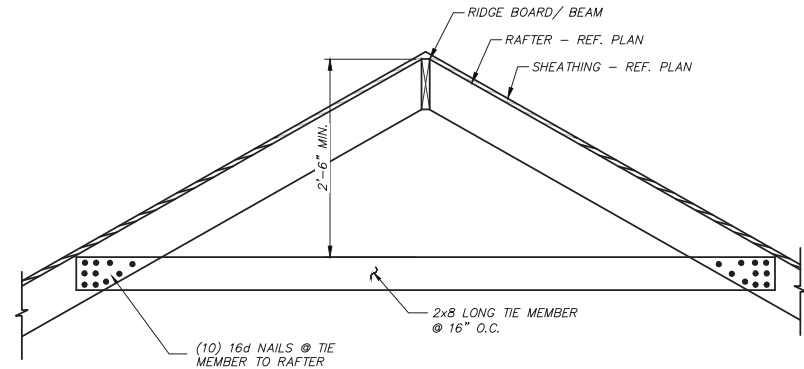
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SEA SHACK COVERED WALKWAY AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC
FOUNDATION DETAILS

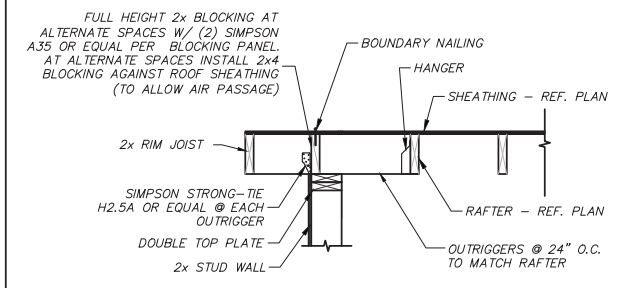
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SCALE:	AS SHOWN
JOB No.	2018-0162
DRAWING No.	S300



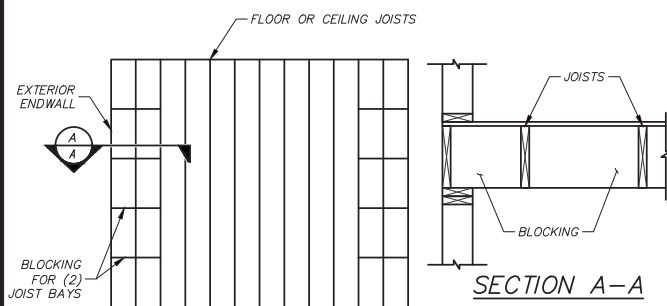
3 TYP. ROOF EAVE DETAIL
S400 NOT TO SCALE



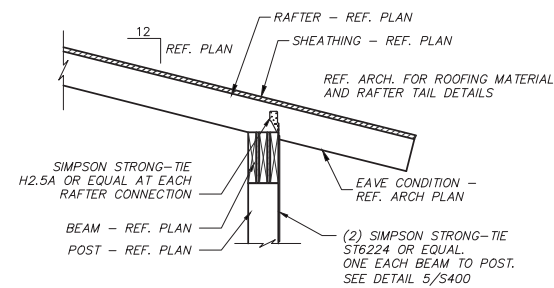
2 SECTION AT RIDGE
S400 NOT TO SCALE



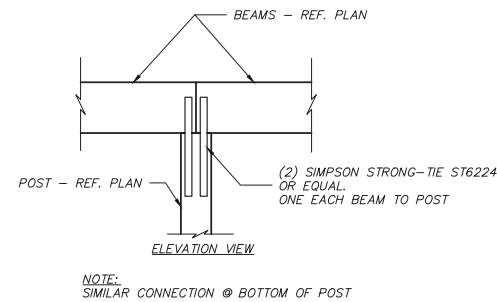
1 SECTION @ OUTRIGGERS
S400 NOT TO SCALE



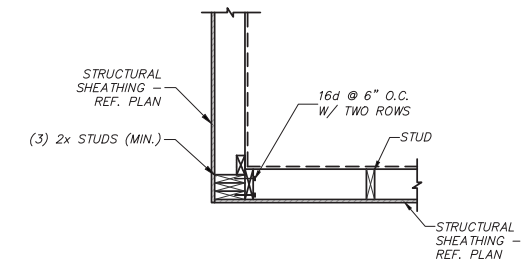
8 BLOCKING AT ENDWALL
S400 NOT TO SCALE



6 BEAM TO RAFTER CONNECTION
S400 NOT TO SCALE



5 INTERIOR POST TO BEAM CONNECTION
S400 NOT TO SCALE



4 SHEAR TRANSFER @ WALL CORNER
S400 NOT TO SCALE

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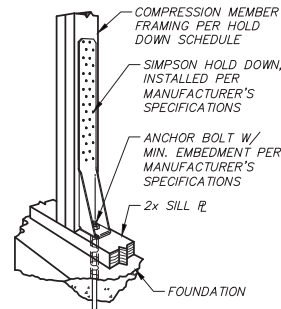


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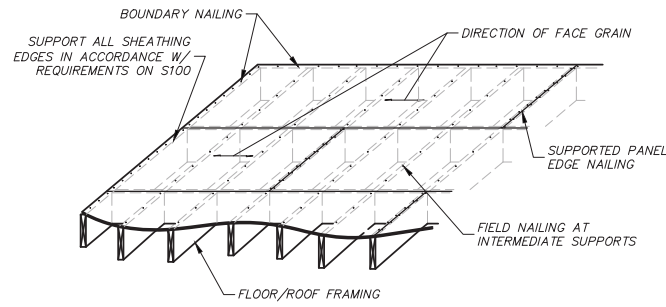
SEA SHACK COVERED WALKWAY
AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC

STRUCTURAL DETAILS

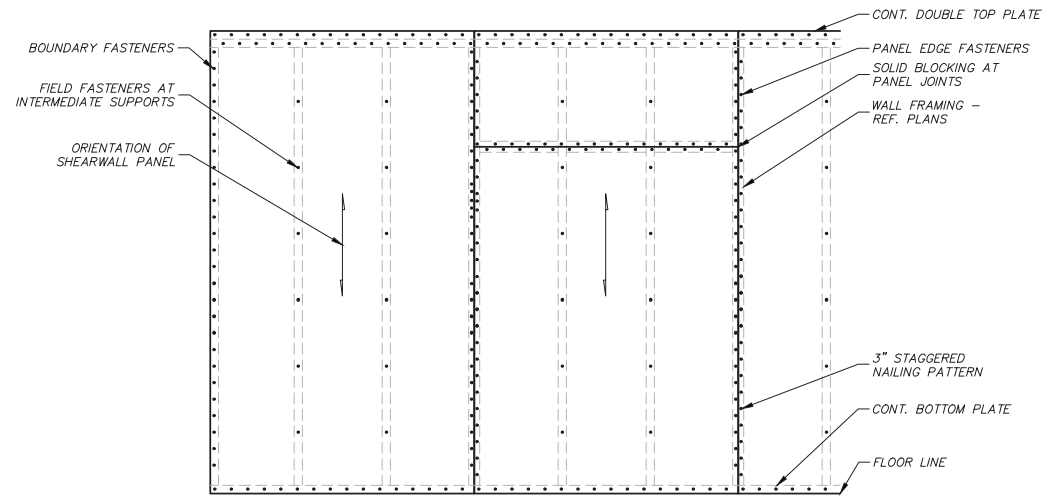
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SCALE:	AS SHOWN
JOB No.	2018-0162
DRAWING No.	S400



3 HOLD DOWN DETAIL
S401 NOT TO SCALE

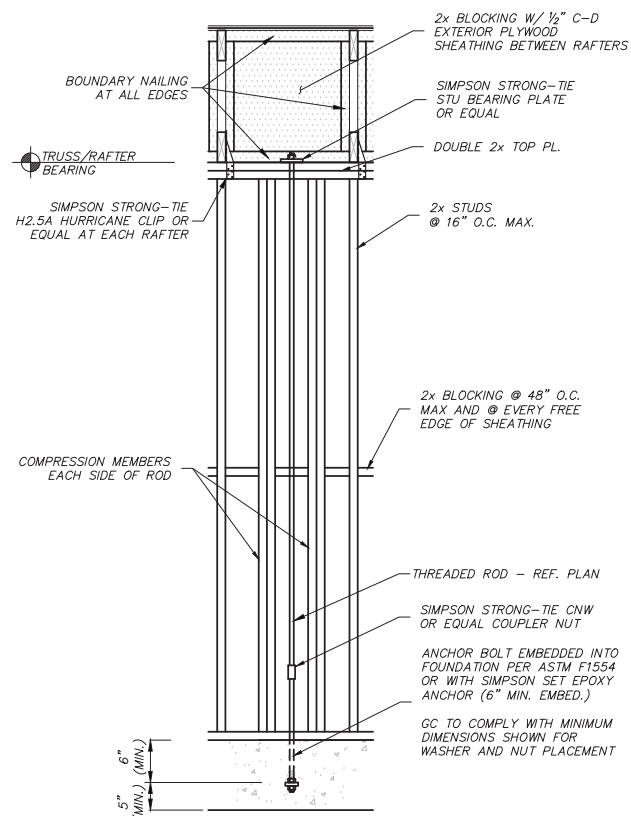


2 FLOOR AND ROOF SHEATHING
S401 NOT TO SCALE

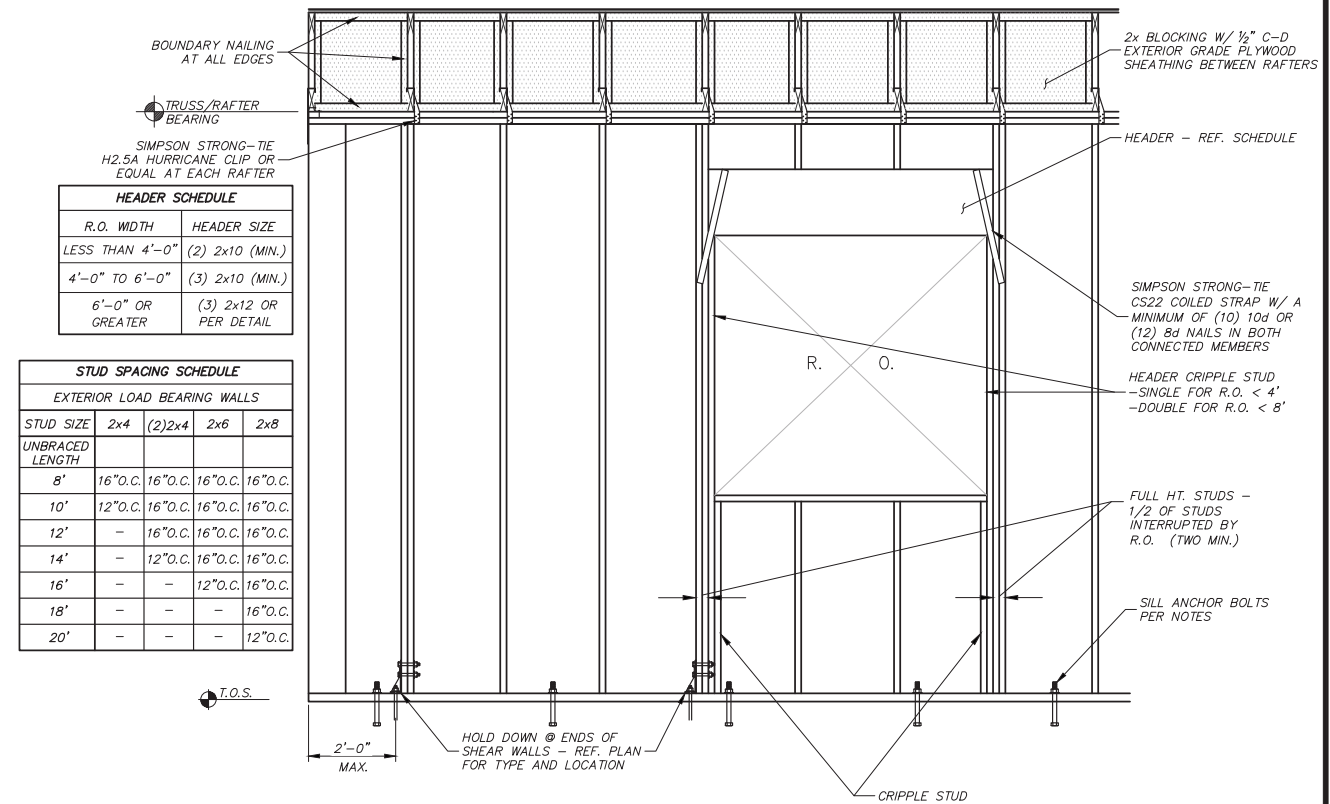


- NOTES:
- PERIMETER OF WINDOW/DOOR ROUGH OPENINGS SHALL BE FASTENED AS BOUNDARY FASTENING.
 - ALL PANEL EDGES SHALL BE BACKED WITH 2" OR WIDER (NOMINAL) FRAMING MEMBERS OR SOLID BLOCKING ON EDGE.
 - APA RATED OSB MAY BE USED IN LIEU OF CDX PLYWOOD AT WALL LOCATIONS (ONLY).

1 SHEAR WALL ONLY FASTENING DETAIL
S401 NOT TO SCALE



5 THREADED ROD HOLD DOWN DETAIL
S401 NOT TO SCALE



4 UPLIFT STRAP CONNECTION DETAIL
S401 NOT TO SCALE

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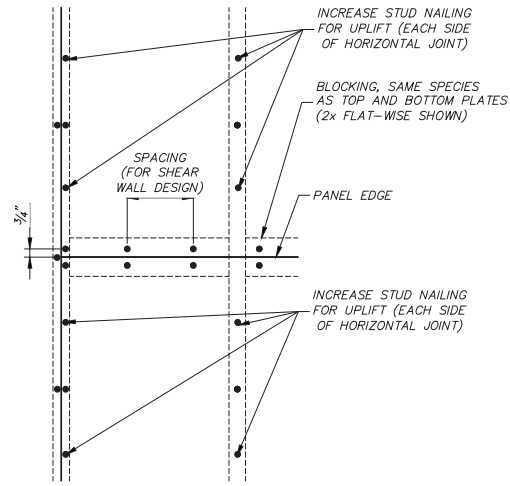


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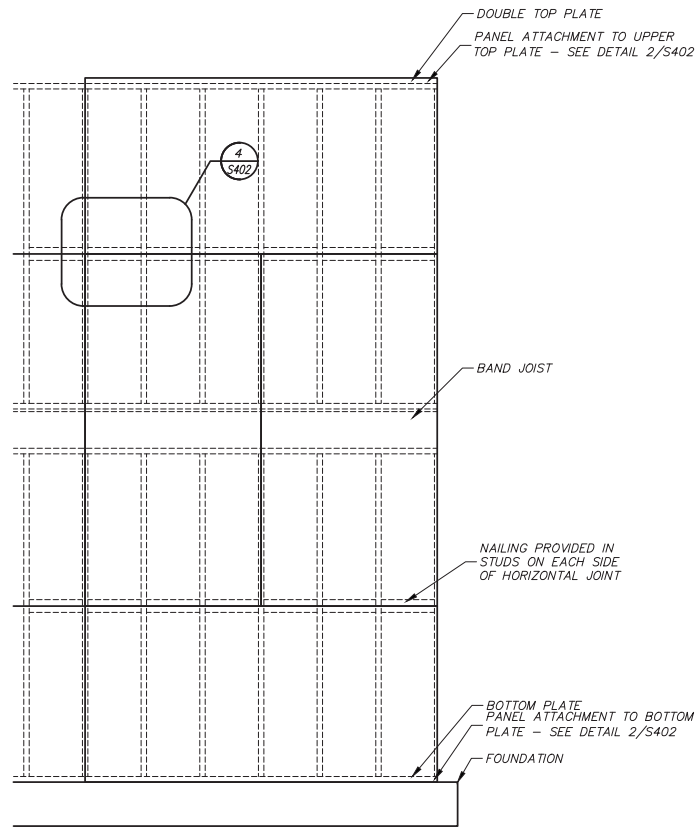
SEA SHACK COVERED WALKWAY AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC
STRUCTURAL DETAILS

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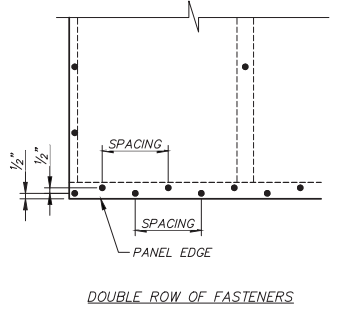
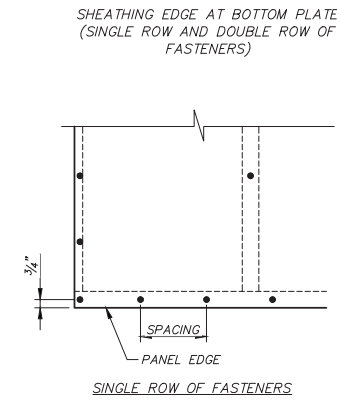
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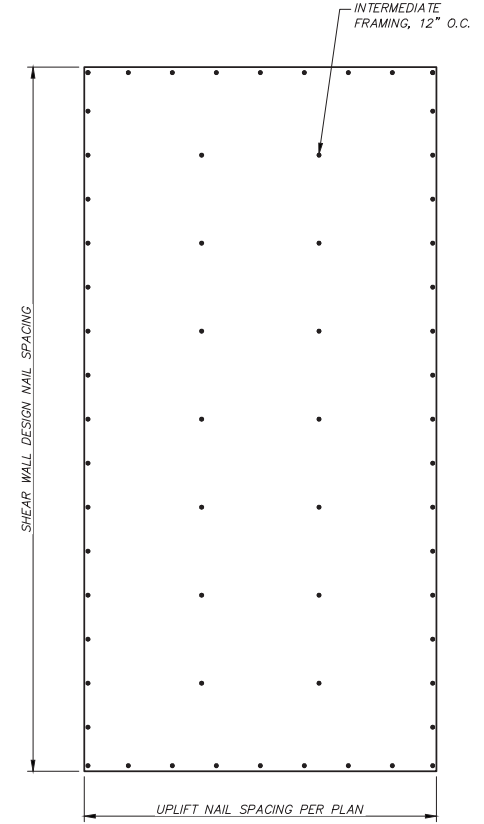
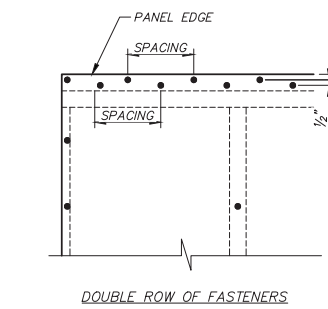
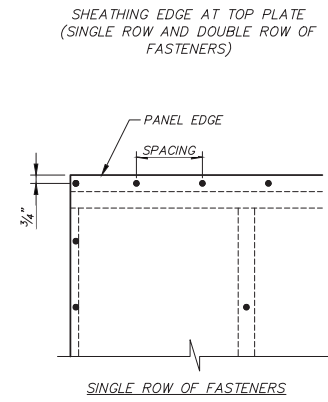
4 DETAIL
S402 NOT TO SCALE



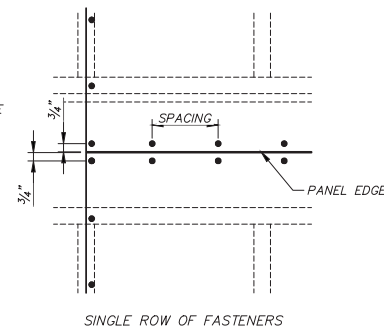
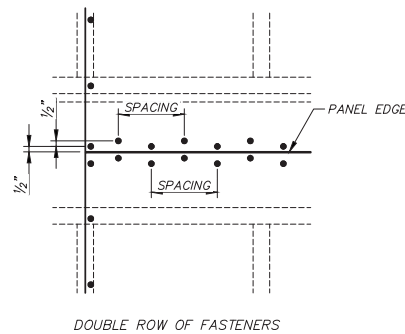
3 PANEL SPLICE OCCURRING ACROSS STUDS
S402 NOT TO SCALE



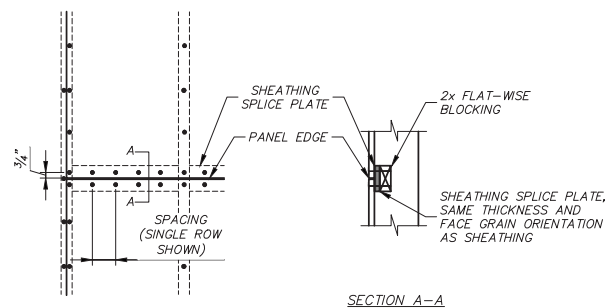
2 DETAIL
S402 NOT TO SCALE



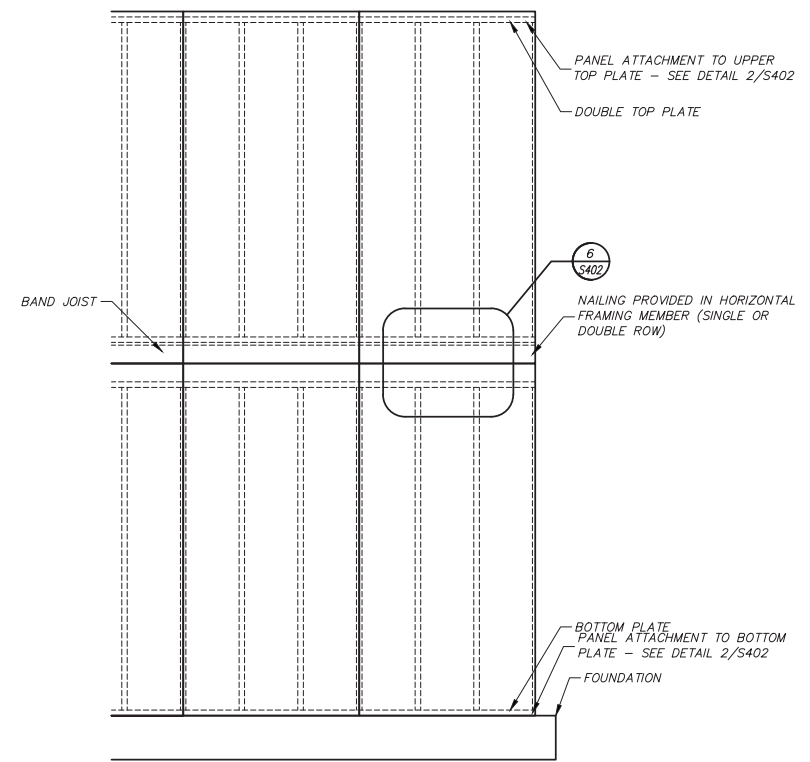
1 PANEL ATTACHMENT
S402 NOT TO SCALE



6 DETAIL
S402 NOT TO SCALE



7 SHEATHING SPLICE PLATE (ALTERNATE DETAIL)
S402 NOT TO SCALE



5 PANEL SPLICE OCCURRING OVER HORIZONTAL FRAMING MEMBER
S402 NOT TO SCALE



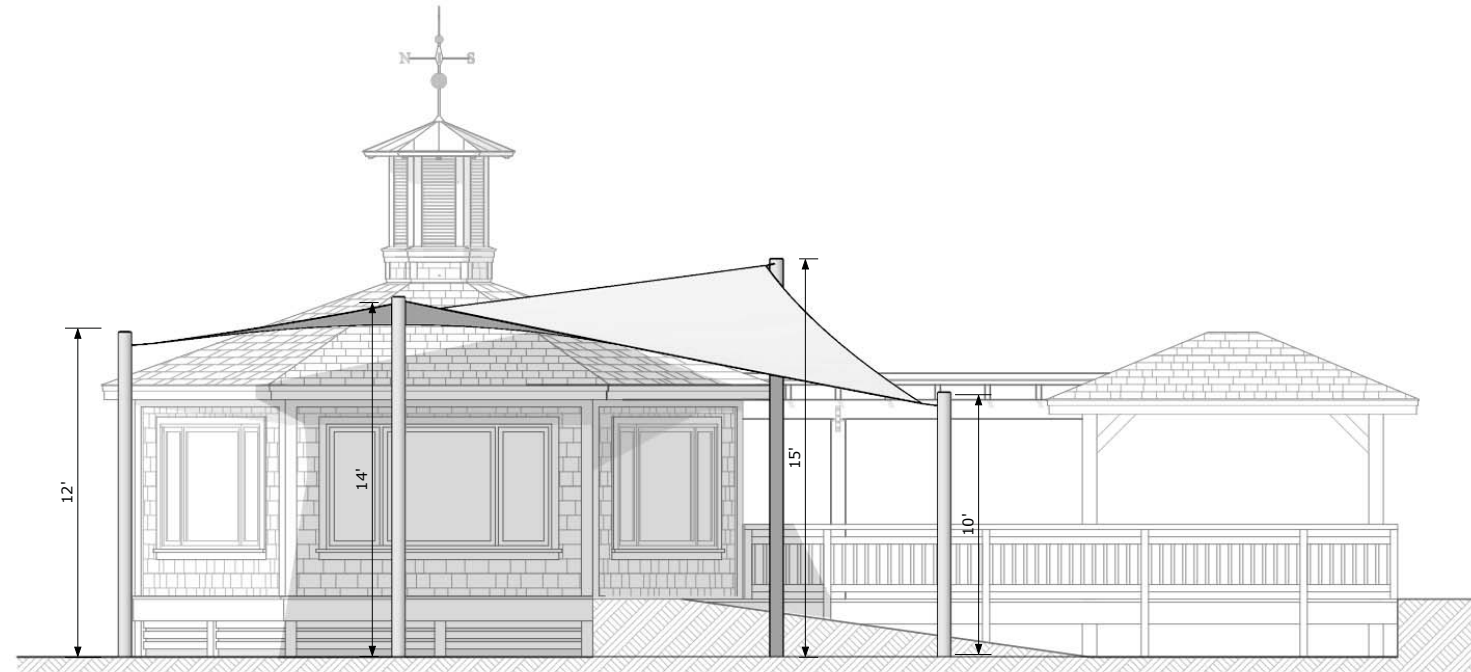
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SEA SHACK COVERED WALKWAY AND STORAGE BUILDING
OMNI HILTON HEAD
22 OCEAN LANE HHI, SC
STRUCTURAL DETAILS

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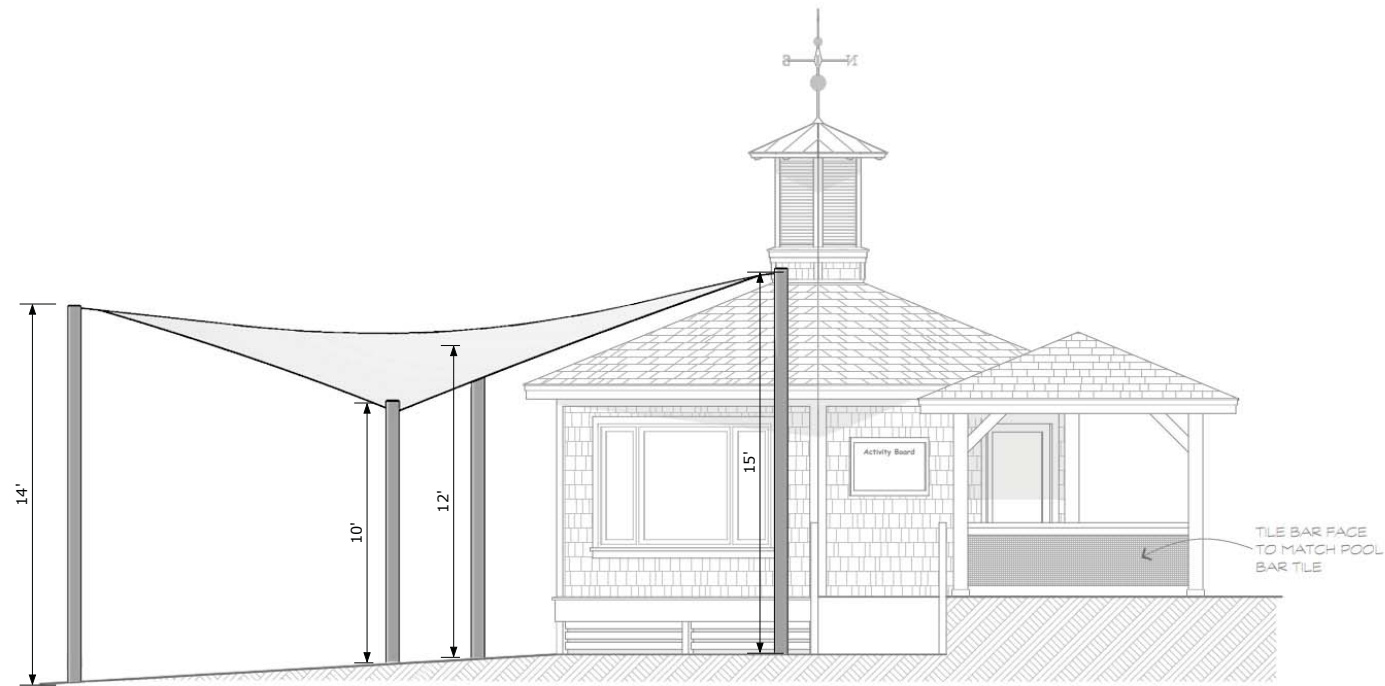
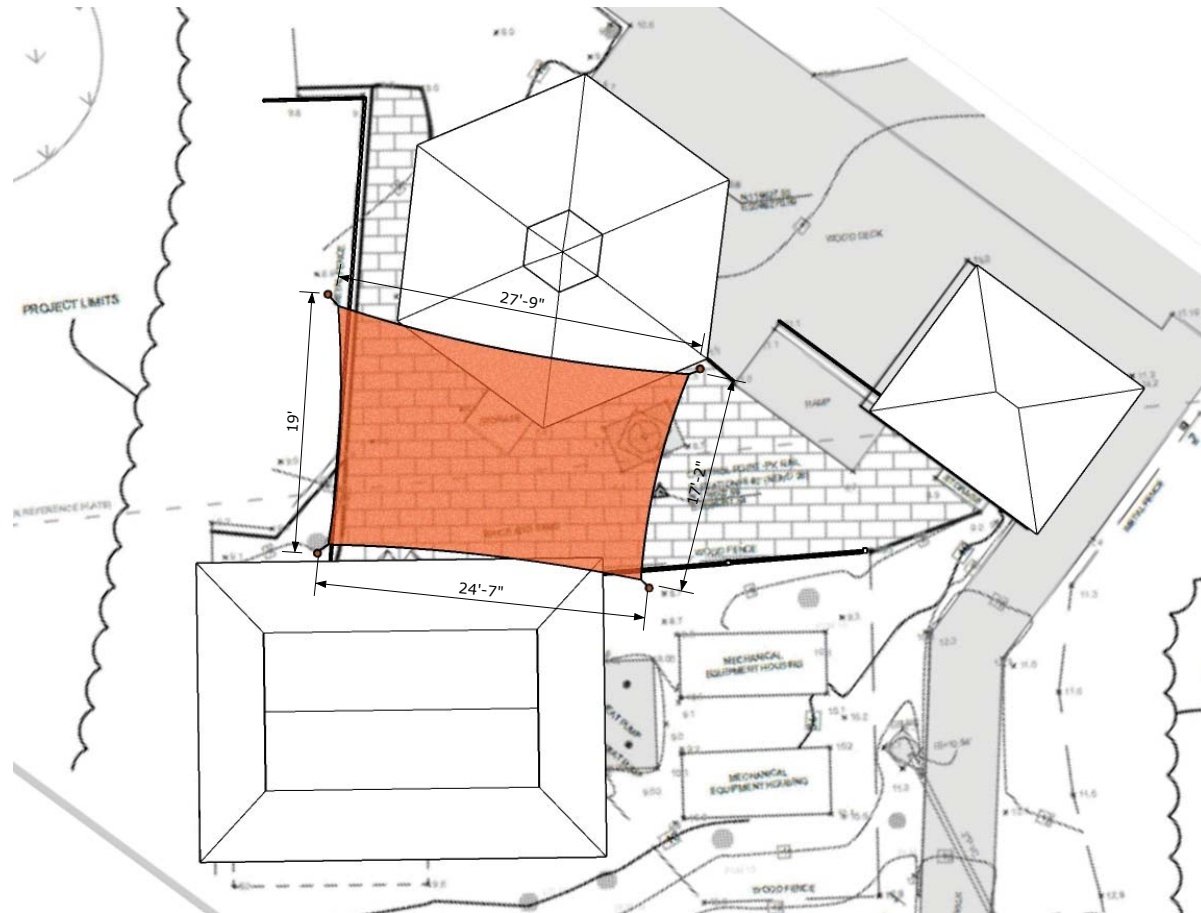
OMNI HILTON HEAD

Cabana Shade Sail



OCEAN SIDE ELEVATION

NOT TO SCALE



POOL SIDE ELEVATION

NOT TO SCALE

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OMNI RESORT
Hilton Head Island

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Date:
04/09/18

Sheet:
A-1.001

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Omni

DRB#: DRB-00946-2018

DATE: April 13, 2018

RECOMMENDATION: Approval Approval with Conditions Denial

RECOMMENDED CONDITIONS:

1. The shade sail is eliminated from the proposed project.
2. No additional trees are removed.
3. No additional brick pavers are added beyond existing.
4. The proposed shed is compliant with the LMO Transition Zone requirements or receives a waiver from those requirements.

<i>ARCHITECTURAL DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Minimum roof pitch of 6/12	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<i>LANDSCAPE DESIGN</i>				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	It appears no additional landscaping is required.

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	It appears no additional trees have been removed.

MISC COMMENTS/QUESTIONS

1. The shade sail form and color is not in keeping with island character and is not approved.